

LEE COUNTY BUILDING INSPECTIONS

100 Orr Avenue - Opelika, Alabama 36803

Phone: 334-737-7014 Hours: M-F 7am-3:30pm

Email: buildinginspection@leeco.us

PERMIT APPLICATION SUBMITTAL REQUIREMENTS

ITEMS NEEDED UPON APPLICATION FOR BUILDING PERMIT

1. Complete Application

****Owner acting as builder must complete "OWNER ACTING AS BUILDER APPLICATION"**

****Commercial Project must submit "COMMERCIAL BUILDING PERMIT APPLICATION"**

2. Address – obtain from Lee County 911 Communication Coordinator (334-749-6091)

3. City of Smiths Station Approved Zoning Certificate – IF within the City Limits of Smiths Station

4. Access Permit Approval – a copy of the approved Access Permit from the Lee County Highway Department – 334-737-7011 (M-Th. 6am-4:30pm CST) highway@leeco.us

5. Plans – A) Residential – 2 full sets; including foundation plan

B) Commercial – 2 full sets; Architect or Engineer Stamped as required

(If commercial building is over 2500 sq ft or if educational/ assembly)

6. Site Plan – Scaled plot plan showing property boundaries, all existing & proposed structures (include distances), septic components, driveway location, and any water bodies.

7. Health Department Approval for septic system – copy of ADPH 'Permit to Install' and copy of complete application (334-745-5765, 1801 Corporate Drive, Opelika 36804)

8. Survey/Deed/Proof of Ownership

9. Contractor & Sub-Contractor Information as follows:

Contractor: Copy of current Alabama Home Builders License and Alabama State Privilege License

Sub-Contractor: Copy of current State License and Alabama State Privilege License

10. Floodplain Development Permit Application – must be submitted if any Special Flood Hazard Area (SFHA) is shown on parcel – this form **MUST** be signed by the property owner.

NOTE: Structures of two or more stories or bonus rooms must have floor/ceiling truss plans and beams and girders calculated for the loads imposed. All Engineered products must have layout and load calculations provided by the manufacturer. This is usually provided by the manufacturer at little or no charge. See your material supplier for details.

NO BUILDING OR HOME IS TO BE OCCUPIED PRIOR TO PASSING FINAL INSPECTIONS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY

**Sworn Statement
of party claiming exemption from the requirements of the
Home Builders Licensure Law, Ala. Code §34-14A-1, et seq. (1975).**

I do hereby solemnly swear that I, or the business entity of which I am the designated qualifying representative, am exempt from the licensing requirements of the State of Alabama Home Builders Licensure law pursuant to Section 34-14A-5 for the following reason: (Please mark appropriate response).

_____ I am an authorized employee of a federal, State, or local government exempt from this law and do not hold myself out for hire or otherwise engage in contracting except in accordance with my employment. Section 34-14A-6(b).

_____ I am a General Contractor holding a current and valid license issued prior to January 1, 1992. General Contractors license# _____ Section 34-14A-6(c).

_____ I am the Property Owner acting as my own contractor and providing all material supervision myself on property for my own occupancy or use, and not offered for sale. I do not intend to use this permit for the constructing or superintending of the construction of any residential building or structure for sale. (Proof of the sale, or offering for sale, of structure by an owner-builder within one year after substantial completion of same is presumptive evidence that the construction was undertaken for the purpose of sale). Section 34-14A-6(e). **I understand that this exemption is not transferable. I will not hire or compensate anyone to supervise the building or improvement of this residence.**

I understand that by claiming exempt status, I waive my rights for protection under the provisions of the Home Builders Licensure law and that in the event of litigation involving activities resulting from the grant of this permit, I may not make demand of any money from the Homeowner's Recovery Fund, established by the Home Builders Licensure law.

I sign this statement under penalties of perjury.

Homeowner's Signature

Witness

Business Entity, if applicable

Date

Date

Building Permit No: _____

***Violation of the Alabama Home Builders Licensure Law is a Class A misdemeanor (§34-14A-14) punishable by up to 12 months in jail and fines up to \$6,000.00.**

Lee County Building Inspections

Plan Submittal Requirements

This information is intended to give you a general summary about the plans required for most building permits for work on residential projects. Your individual project may require more or less detail than described here.

After you begin work, you may decide to make changes to the plans that were originally approved. To revise your plans after they have been approved, you will need to show the changes on an additional sets of plans and submit a Revision. Please do not mark up the originally approved set!



PLAN PREPARATION:

- Residential plans may be drawn by anyone with enough skill to draw straight lines, to measure accurately and to put those measurements down on paper and all plans must be to scale.
- Typical plans include:
 - Site plan
 - Floor plans
 - Elevation views
 - Cross section and detail drawings
 - **PHOTOS ARE NOT ALLOWED**
- Your plans must clearly show all the work you intend to do on the building as well as the existing conditions. Existing conditions and new construction must be clearly delineated. Plans must also show where the building sits on your property in relationship to property lines and other buildings on the site, or a site plan/ plot plan be provided.
- The plans must be on normal paper sizes.
 - Drawings may contain color.
 - Permanent black ink must be used.
 - Please do not copy a tracing paper original.
 - Line quality and contrast must be clear and legible.
 - Dimensions and notes must be must clear and legible.
- All plans must be drawn to scale.
 - 1/4 inch = 1 foot is the most common scale used for residential floor plans and section views.
 - The scale used must be clearly shown and the site plan must show the entire lot or greater portion of the lot where building is occurring. .
 - Building elevations must be to scale and show the slope of the ground adjacent to the building.

Site Plan

A site plan is a graphic representation of all existing and proposed improvements to a site. Sometimes referred to as a plot plan, the site plan functions as a map for a development project, incorporating all aspects of landscaping, construction, paving, utilities, and terrain features in a single depiction.

Minimum Requirements:

Property Lines: All property lines or boundary lines of the parcel with dimensions.

All existing structures (labeled "existing") and any proposed structures (labeled "proposed") with dimensions, square footage and distances from other structures and property lines. The use should be labeled on each structure.

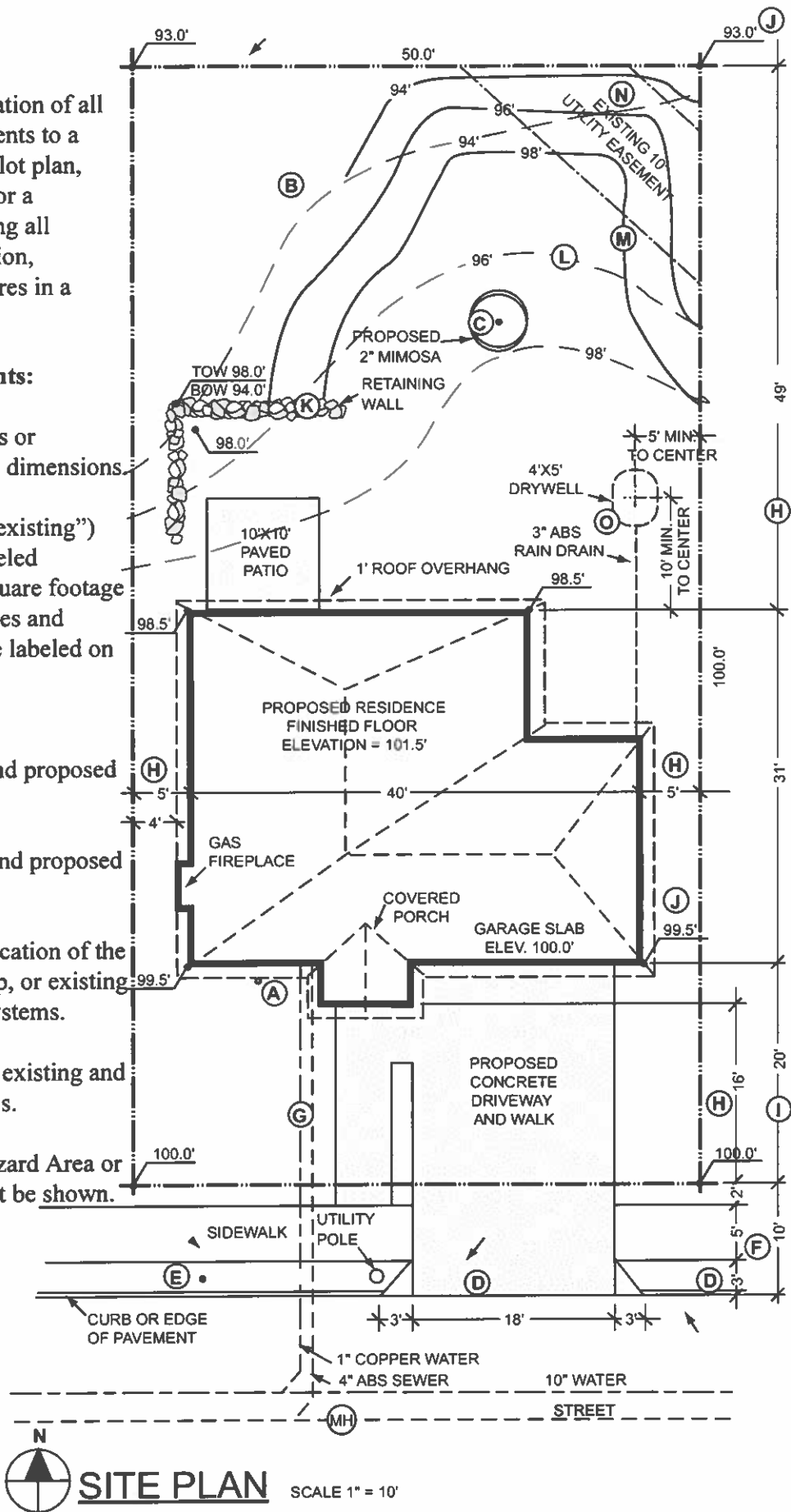
The location, dimensions and surface material of all existing and proposed parking and driveways.

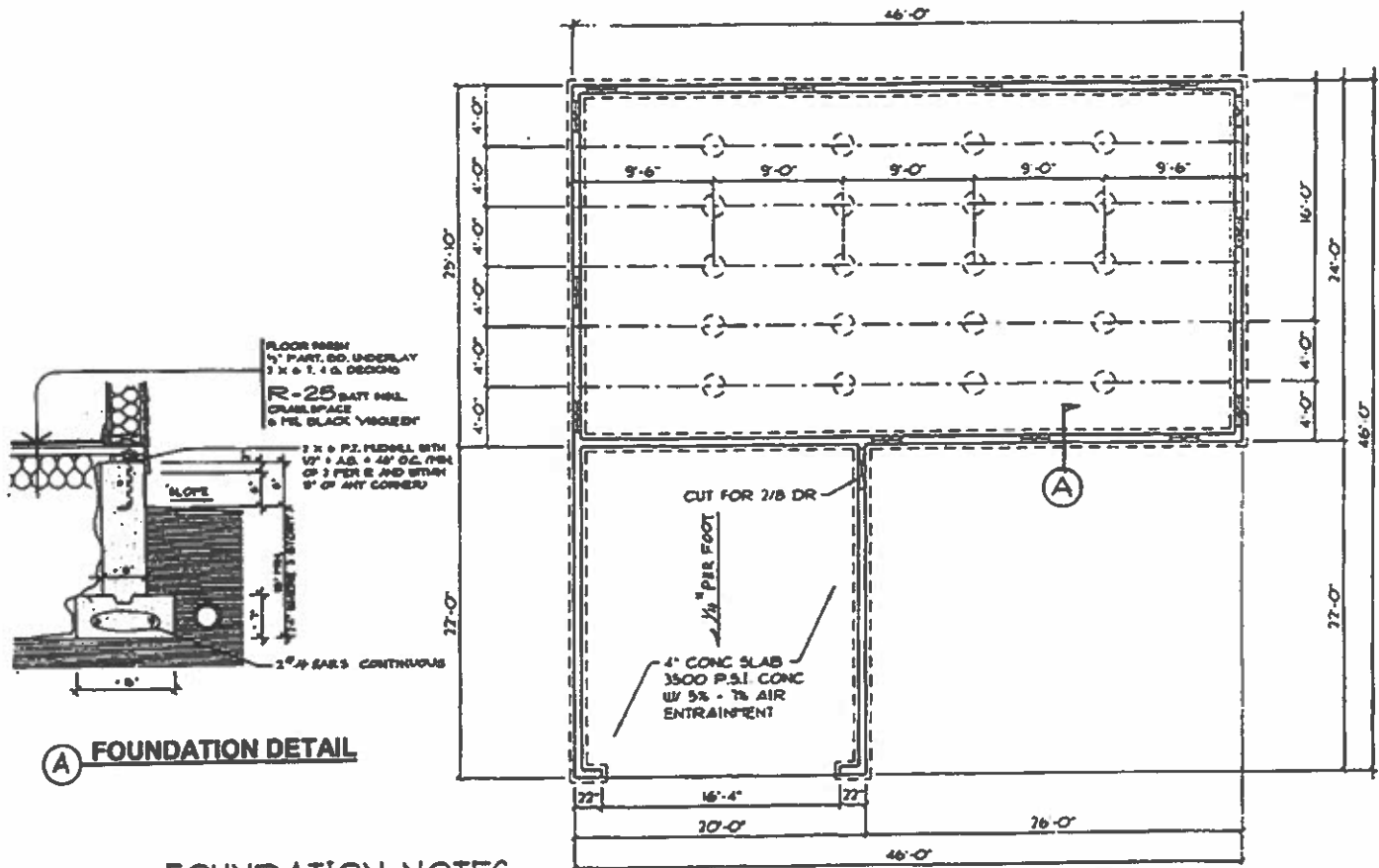
Wells: The location of existing and proposed water wells on-site.

Sewers and Septic Tanks: The location of the septic tank, public sewer hook-up, or existing and proposed sewage disposal systems.

Storm Drainage: The location of existing and proposed storm drainage facilities.

If located in a Special Flood Hazard Area or wetland area the boundaries must be shown.





FOUNDATION NOTES

ALL CONC SHALL BE MIN. 2500 P.S.I.
 DESIGN SOIL BEARING PRESSURE - 1500 P.S.F.
 FLOOR BEAMS ARE 4x4 ON 4x4 POSTS ON 18" x 8" CONC FTGS.
 PROVIDE 1/2" AIRSPACE AT SIDES AND ENDS OF BEAMS IN POCKETS & FLASH POCKET BOTTOMS
 EXCAVATE 18" MIN. BELOW BEAMS
 FND. VENTS SHOWN ARE 24"x6" SCREENED W/ 1/4" MESH GALV. HOUE. CLOTH
 AND PROVIDE 1 SQ.FT. OF VENT AREA FOR EA. 150 SQ. FT. OF CRAWL SPACE
 SLOPE UNDERFLOOR AREA TO DRAIN

Section Drawings

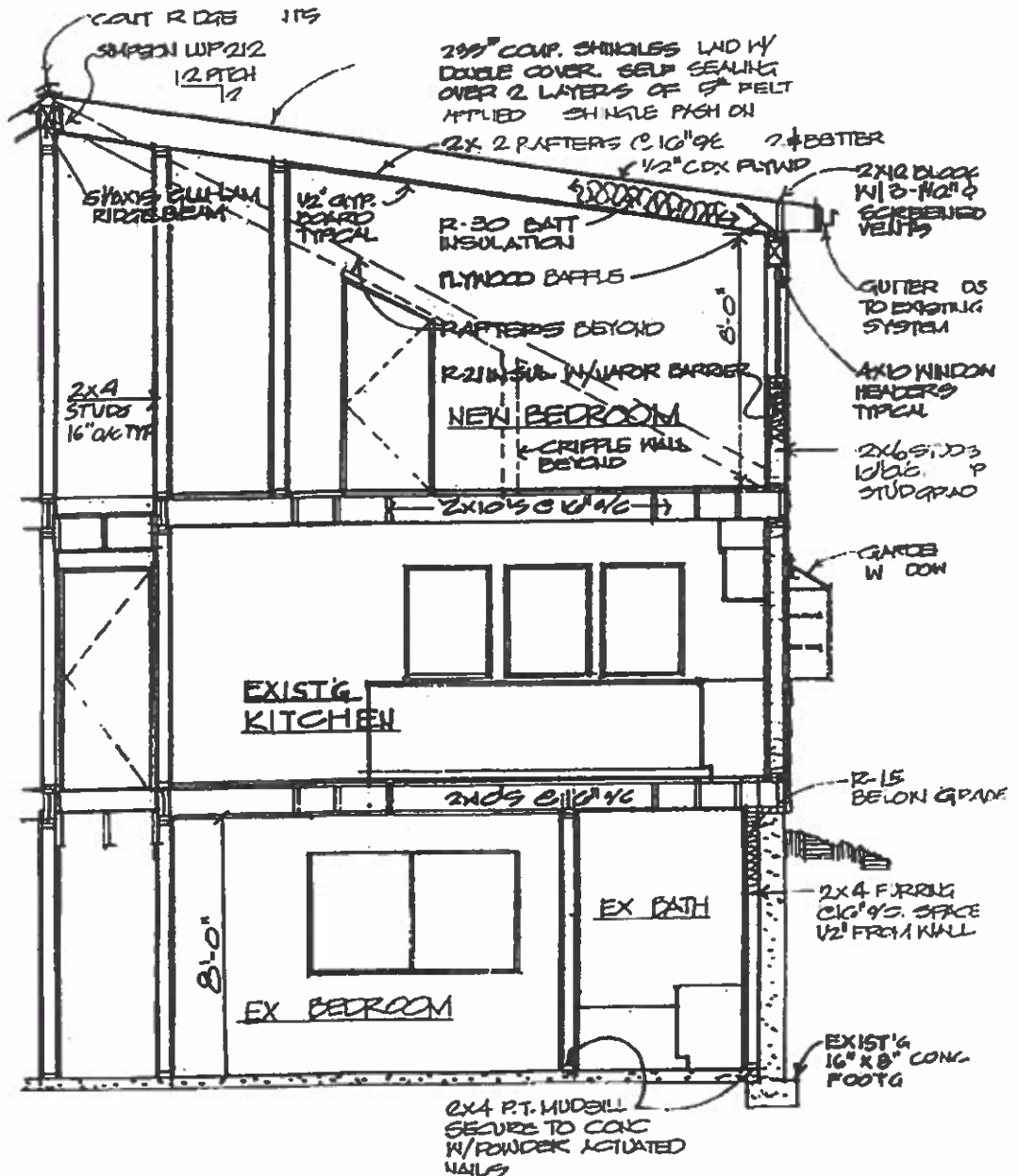
- Section drawings, sometimes called cross sections, are what you would see if you cut vertically through a building from the tip of the roof down through the ground, and then looked at what the cut exposed. Include gutters and downspouts
- Section drawings are a useful way of displaying structural information and information about construction materials that are needed to do our code review. Full sections for residential construction are usually drawn at a scale of at least 1/4 inch = 1 foot and wall section and details at a scale of at least 1/2 inch = 1 foot. Partial sections may be drawn at a larger scale to show something in detail such as footings, overhangs and stairs.
- To obtain a building permit for new construction or an addition, you must provide section drawings that show typical building conditions.

- For simple projects, a single section drawing showing:

- the size of the footing and the distance between ground level and the bottom of the footing;
- the size of the foundation wall and how high it will rise above the ground;
- the size and spacing of structural members such as beams, joists, studs and rafters which are not shown on other drawings;
- wall, ceiling and roof coverings and finishes;
- wall, floor and ceiling insulation;
- ceiling heights;
- eaves, decks and other projections.

- For more complex buildings or additions, full sections through the work in multiple directions and at different locations may be required to fully explain the work. Separate structural section drawings or details may be required, in addition to building or architectural sections.

- For buildings containing new or revised stairways, stair details must be provided which indicate the construction materials, structural support and dimensional relationships to surrounding construction.



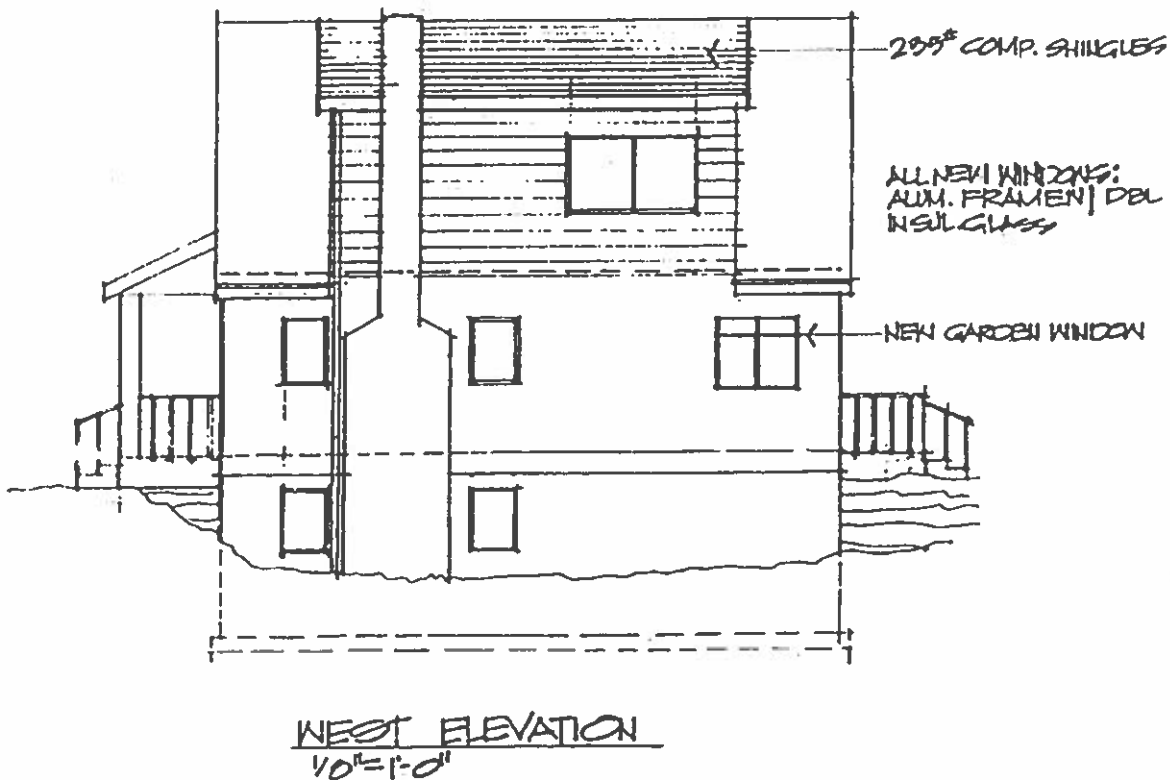
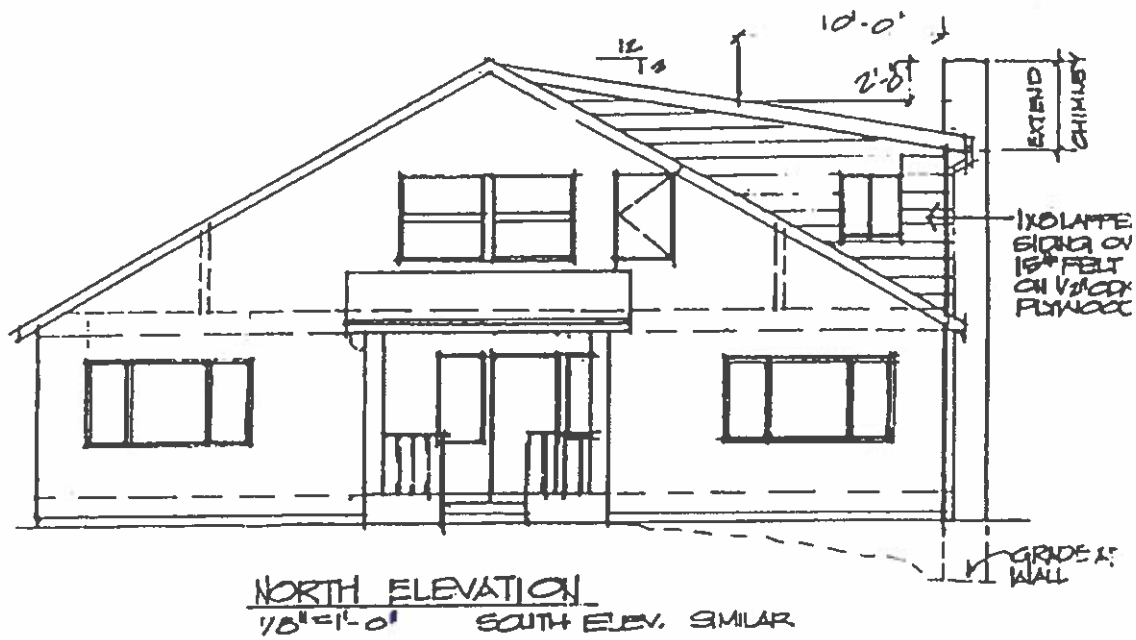
- The purpose of building plans is to provide a complete and accurate description of your proposed project. If there is something you think you will need to explain when we review your application and plans, please put it on the drawings.

Sample Section Plan

Building Elevation Drawings

Building elevation drawings are exterior views of the building, sometimes identified as front, rear, left, right; or north, south, east, west. Any project that requires a change in the exterior of the building must have building elevation drawings.

Elevations must be drawn to scale,
example: 1/4 inch = 1 foot



Lee County Alabama

Building Inspections

P. O. Box 362, Opelika, AL. 36803

100 Orr Avenue

Phone: 334-737-7014 Email: buildinginspection@leeco.us

Application for a Building Permit as an Owner/Builder

Project Information					
Project Street Address			City/Town	State	Zip
Subdivision			Lot Number	Project Type	
			Residential <input type="checkbox"/>	Commercial <input type="checkbox"/>	Industrial <input type="checkbox"/>
				Other <input type="checkbox"/>	

Owner Information			
First Name		Last Name	
Street Address		City/Town	State Zip
Phone:	Cell:	Email:	

Project Information (Please mark all that apply)			
<input type="checkbox"/> New Residence	<input type="checkbox"/>	Wood Frame Utility/Storage	<input type="checkbox"/>
<input type="checkbox"/> Addition	<input type="checkbox"/>	Deck	<input type="checkbox"/>
<input type="checkbox"/> Remodel	<input type="checkbox"/>	Porch	<input type="checkbox"/>
<input type="checkbox"/> Garage	<input type="checkbox"/>	Other Residential Accessory Bldg	<input type="checkbox"/>
<input type="checkbox"/> Carport	<input type="checkbox"/>	Alteration Commercial	<input type="checkbox"/>
<input type="checkbox"/> Other: Describe	<input type="checkbox"/>	New Commercial	<input type="checkbox"/>
		Light Weight Metal Utility/Storage	<input type="checkbox"/>
		Electrical Only	<input type="checkbox"/>
		Mechanical Only	<input type="checkbox"/>
		Plumbing Only	<input type="checkbox"/>
		Swimming Pool	<input type="checkbox"/>
		Steel or Red Iron Building	<input type="checkbox"/>

Describe the work to be performed:

Type of Work	Estimated Cost	Type of Work	Estimated Cost	Type of Work	Estimated Cost
Building Foundation		Plumbing		Concrete (slab, etc)	
Building Framing		Electrical		Supervision/Mgmt	
Heating/Air Cond.		Insulation		Total Est. Cost	

Please enter the square footage for each item below or N/A if not applicable.

Basement		4th Floor		Garage/Carport	
1st Floor		Bonus Room/Finished Attic		Decks/Porches	
2nd Floor		Accessory Building		Utility Bldg/Misc	
3rd Floor		Total Square Feet			

Septic Tank in Use?

Yes: No: If yes, provide Health Department Approval.

NOTICE: Any person paid by you (regardless of the amount) to manage or supervise the project or to perform electrical, plumbing, or heating/air work must be State certified and licensed. In addition, any person being paid an aggregate sum of \$10,000.00 or more for one or more construction phases (carpentry, framing, foundation, etc.) must possess a valid Alabama Home Builders License.

Project Manager or Construction Supervisor Name (if not owner)				AL. Contractor or Home Builders License #	
Street Address			City/Town	State	Zip
Phone	Fax	Cell	Email		
Foundation/Footing (Name of Contractor or Individual/Company Doing the Work)				AL. Contractor or Home Builders License #	
Street Address			City/Town	State	Zip
Phone	Fax	Cell	Email		
Framing (Name of Contractor or Individual/Company Doing the Work)				AL. Contractor or Home Builders License #	
Street Address			City/Town	State	Zip
Phone	Fax	Cell	Email		
Electrical Contractor Name				AL. Electrical Contractor License #	
Street Address			City/Town	State	Zip
Phone	Fax	Cell	Email		
Plumbing Contractor Name				AL. Plumbing Contractor License #	
Street Address			City/Town	State	Zip
Phone	Fax	Cell	Email		
Heating/Air Conditioning Contractor Name				AL. HVAC/Mechanical Contractor License #	
Street Address			City/Town	State	Zip
Phone	Fax	Cell	Email		



Office Use Only

<i>Office Use Only</i>		Date:
Occupancy Group:		Permit Number:
Construction Type:		Valuation:
Sprinkler Required: Yes No		Permit Fee:
Flood Plain: Yes No		Notes:

Structure Form

Date: _____

This form needs to be completed with permit application

Air Conditioning

- Central Air
- Electric
- Heat Pump
- Wall Units
- Other _____

Basement

- Crawl Space
- Full
- Half
- Other _____

Exterior Walls

- Aluminum
- Brick
- Stone
- Hardi Plank
- Stucco
- Vinyl
- Metal
- Other _____

Foundation

- Concrete Block
- Conventional
- Conventional Crawl Space
- Conventional Slab
- Poured Wall
- Slab on Grade
- Other _____

Framing

- Steel
- Wood
- Other _____

Heating

- Electric
- Heat Pump
- Natural Gas
- Oil
- Propane
- Radiant Floor
- Other _____

Other Heating

- Fire Place (1)
- Fire Place - Gas
- Wood Stove
- Other _____

Roofing

- Fiberglass
- Metal
- Tile
- Asphalt
- Wood
- Other _____

Termite Treatment

- Spray
- Bait System
- Boric Acid
- Other _____

Insulation

- Fiberglass Batten
- Spray Foam
- Other _____

____ # of Bedrooms

____ # of Bathrooms

Signed by: _____

Mandatory Energy Code Component Worksheet for Plan Review

This form must be completed and submitted with all building plans

Project address: _____ City: _____ State: _____ Zip: _____

Building Envelope Information	Type	R-value	Marked On Plan AS
Flat Ceiling R-value: (R30 min)	_____	_____	_____
Sloped Ceiling / Roof Deck R-value: (R30 min), (R19 w/REScheck)	_____	_____	_____
Exterior Wall R-value: (R13 min)	_____	_____	_____
Attic Knee Wall R-value: (R13 min)	_____	_____	_____
Attic Knee Wall Sheathing R-value: (R5 min)	_____	_____	_____
Basement Stud Wall R-value: (R13 min)	_____	_____	_____
Basement Mass Wall R-value: (R5 min)	_____	_____	_____
Sealed Crawlspace Stud Wall R-value: (R13 min)	_____	_____	_____
Sealed Crawlspace Mass Wall R-value: (R5 min)	_____	_____	_____
Floor over Unconditioned Space R-value: (R19 min)	_____	_____	_____
Floor over Air R-value: (R19 min)	_____	_____	_____
Other Insulation R-value and description: _____			

<u>Window Size</u>	<u>Qty</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>Marked On Plan AS</u>
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
Skylight	_____	_____	_____	_____
Glazed Door	_____	_____	(> 50% glazed) _____	_____
Opaque Door	_____	_____	(< 50% glazed)	_____

If you are an owner and intend to do the work or subcontract the work out, an Owner Affidavit is required certifying that you are the owner of this tract or parcel of land, that you have applied for this permit, and are not subject to licensing as a contractor or subcontractor. (You must provide the names of all people that will be paid for working on the project. Proof of proper State Certification and/or business licenses may be required before the commencement of any work.) Signing the Owner Affidavit, and in turn obtaining the permit in your name makes you, as the owner, responsible for the quality of the work, and compliance with applicable state and local building codes. In addition, you may be responsible for employment taxes and workmen compensation insurance. This Owner Affidavit must be completed, with the signature of a person who witnesses your signature to this document, acknowledging your compliance with the Alabama Home Builders Licensure Law and/or the State of Alabama Licensing Board for General Contractors.

I, as the OWNER, will be responsible for the work performed on my property, and shall be responsible for compliance with all State laws regulating building construction and use, and compliance with all County ordinances.

Owner's Signature	Date	Please print or type owner's name legibly

I, as a WITNESS, saw the owner of this property affix his/her signature to this affidavit, certifying that he/she is not subject to licensure as a General Contractor, Subcontractor, or Home Builder in the State of Alabama.

Witness Signature	Date	Please print or type witness' name legibly

Approval of this building permit application and issuance of a permit does not give authority to any person to violate any State Law, County Ordinance or any other policy or regulation.

I hereby certify that I am the owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I hereby acknowledge that I have read this application and know the same to be true and agree to comply with all State laws and Lee County ordinances regulating building construction and use. In addition, if a permit for work described in this application is issued, I certify that the Code Official or the Code Official's representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Applicant's Signature _____ Date: _____

**HOMEOWNER'S RESPONSIBILITIES
FOR BUILDING A HOME OR
FOR ALTERATIONS, REPAIRS OR IMPROVEMENTS
TO A HOME AS AN OWNER/BUILDER**

Please check the appropriate blank:

- I plan to build a single-family home that will be owned and occupied by me; OR
- I plan to alter, repair or make improvements to a home owned and occupied by me; OR
- I plan to build or improve a free-standing accessory structure located on my property.

An Owner/Builder Permit carries serious responsibilities and is not appropriate for everyone. Please read each of the following statements. If you agree with a statement and your answer to it is "yes", then place a check mark in the blank.

If you do not answer "yes" to every statement, you should seriously reconsider applying for an Owner/Builder Permit.

You will be required to submit this checklist (signed, with each item marked) with your Owner/Builder Permit application. This signed statement will be kept on record with the permit application as proof of your assumption of the risks and liabilities associated with a Owner/Builder Permit.

Please check next to each of the following statements you agree with:

- I understand I must apply for my Owner/Builder Permit by myself and cannot delegate this task to any one.
- I am familiar with the construction process and know enough about building to be my own contractor.
- I am familiar with the rules and regulations of the Alabama Home Builders Licensure Law and the building requirements for Lee County.
- I will comply with all applicable building codes and requirements.

- I will call for inspections at appropriate times and will make my premises accessible to the inspector.
- I understand that a re-inspection fee may be required if I call for an inspection when work is not ready and/or the work to be inspected is not accessible to the inspector.
- I understand that I am acting as my own contractor.
- I understand that, as the owner/builder, I can hire subcontractor(s) to perform all or any portion of the work.
- I understand that before I hire any subcontractor I must verify that, if required, he/she is duly certified/licensed in Alabama to perform the type of work for which I intend to hire them.
- I understand that, as the owner/builder, I may physically do the work myself and/or hire employees.
- If I hire anyone (besides a licensed subcontractor) to assist me in building, altering or repairing, I understand that person will be my employee and under my direction.
- I understand that I may have to pay hourly wages to my employee(s) and no other form of compensation.
- If I hire any employee(s), I understand I may have to secure State and Federal Employer Tax Numbers.
- I understand that I may have to make my State and Federal Employer Tax Numbers available to State or Federal entities upon request.
- I understand that I must withhold all required State and Federal taxes, Social Security, etc. from the wages I pay to my employee(s).
- I understand that I may have to make my payroll records available to State or Federal entities per their request.
- I understand I may have to carry Workers' Compensation insurance if I employ a total of three or more persons (not including subcontractors).
- I understand that if I do not carry Workers' Compensation insurance, I may be financially responsible if any employees are injured while working on my premises. This financial liability may also include employees for whom I was not required to carry Workers Compensation insurance.

- If I hire a subcontractor and he does not carry Workers' Compensation, I understand I may be financially responsible if any of his workers are injured while working on my premises.
- If I hire a "construction manager" or "superintendent" or "foreman" to oversee my work, I understand such person must be licensed by the State as a Home Builder.
- If I hire a "construction manager" or "superintendent" or "foreman" to oversee my work, I understand that, as the owner/builder, I am still the responsible party for compliance with all building codes and construction requirements and for the quality and completion of all contracting work performed under my owner/builder permit by my subcontractor(s), employee(s), and me.
- If I hire a licensed contractor to supervise my work, I understand that I may have to void my owner/builder permit and the licensed contractor may have to permit the project under his own license.
- I understand that if I do not want to be responsible for the quality and completion of all work on my home and for compliance with all building codes and construction requirements, I should not obtain an owner/builder permit. Rather, I should hire a licensed general contractor to take over those responsibilities.
- If I am building my own home and during the process of building, I decide not to own and/or occupy the home when it is completed, I understand that I am no longer eligible for an owner/builder permit and I will immediately cancel my permit and hire a licensed general contractor to complete the work.
- I understand my owner/builder permit is only for general construction building. Any electrical, mechanical or plumbing work must be permitted separately.
- I understand electrical and/or plumbing work must be performed by a properly licensed contractor unless I have the ability to do such work. This includes: (1) Having my submitted plans approved and (2) obtaining all required permits and calling for all required inspections.
- I understand that, under no circumstances, can I perform HVAC freon or propane gas work under my permit, and I must hire an appropriately licensed subcontractor who will obtain his own permit for performing such work.
- I understand that if I hire a subcontractor to do the electrical and/or plumbing work, that subcontractor must obtain his own permit for his portion of the work.

- I understand that I must correct any cited code violation in a timely manner and call for a re-inspection.
- I understand that if I fail to call for a final inspection, the owner/builder permit is revoked and I am in violation of State and local laws.
- I understand that I must call for and pass all required inspections, including a final inspection, in order to obtain a Certificate of Occupancy.
- I understand that I may not occupy my home (or addition to my home) until a Certificate of Occupancy has been issued by the Building Official.
- I understand that if I disregard the law and occupy my home (or addition) prior to final inspection, no Certificate of Occupancy will be issued to me after final inspection or at any time in the future.
- I understand that I may have difficulty in closing on a construction loan, refinancing my home or selling my home in the future if I do not follow all laws and procedures and obtain a Certificate of Occupancy.
- I understand the Certificate of Occupancy will clearly state my home (or addition) was built under a owner/builder permit.
- I understand that I will have limited remedies available because I have assumed the responsibilities for this project that would have normally been assumed by a licensed home builder.

I have read the above statements and understand the requirements and responsibilities that accompany a Owner Builder Permit, and I agree to be bound by all applicable codes, law, rules, regulations, requirements and responsibilities.

 Signature of Homeowner

Print Name: _____

Address: _____

Telephone: _____

Date: _____

NOTE: This signed copy is to be attached to the Owner/Builder Permit application. A copy is to be given to the homeowner named above.