

LEE COUNTY BUILDING INSPECTIONS

100 Orr Avenue - Opelika, Alabama 36803

Phone: 334-737-7014 Hours: M-F 7am-3:30pm

Email: buildinginspection@leeco.us

PERMIT APPLICATION SUBMITTAL REQUIREMENTS

ITEMS NEEDED UPON APPLICATION FOR BUILDING PERMIT

1. Complete Application

****Owner acting as builder must complete "OWNER ACTING AS BUILDER APPLICATION"**

****Commercial Project must submit "COMMERCIAL BUILDING PERMIT APPLICATION"**

2. Address – obtain from Lee County 911 Communication Coordinator (334-749-6091)

3. City of Smiths Station Approved Zoning Certificate – IF within the City Limits of Smiths Station

4. Access Permit Approval – a copy of the approved Access Permit from the Lee County Highway Department – 334-737-7011 (M-Th. 6am-4:30pm CST) highway@leeco.us

5. Plans – A) Residential – 2 full sets; including foundation plan

B) Commercial – 2 full sets; Architect or Engineer Stamped as required

(If commercial building is over 2500 sq ft or if educational/ assembly)

6. Site Plan – Scaled plot plan showing property boundaries, all existing & proposed structures (include distances), septic components, driveway location, and any water bodies.

7. Health Department Approval for septic system – copy of ADPH 'Permit to Install' and copy of complete application (334-745-5765, 1801 Corporate Drive, Opelika 36804)

8. Survey/Deed/Proof of Ownership

9. Contractor & Sub-Contractor Information as follows:

Contractor: Copy of current Alabama Home Builders License and Alabama State Privilege License

Sub-Contractor: Copy of current State License and Alabama State Privilege License

10. Floodplain Development Permit Application – must be submitted if any Special Flood Hazard Area (SFHA) is shown on parcel – this form **MUST** be signed by the property owner.

NOTE: Structures of two or more stories or bonus rooms must have floor/ceiling truss plans and beams and girders calculated for the loads imposed. All Engineered products must have layout and load calculations provided by the manufacturer. This is usually provided by the manufacturer at little or no charge. See your material supplier for details.

NO BUILDING OR HOME IS TO BE OCCUPIED PRIOR TO PASSING FINAL INSPECTIONS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY

Lee County Building Inspections

Plan Submittal Requirements

This information is intended to give you a general summary about the plans required for most building permits for work on residential projects. Your individual project may require more or less detail than described here.

After you begin work, you may decide to make changes to the plans that were originally approved. To revise your plans after they have been approved, you will need to show the changes on an additional sets of plans and submit a Revision. Please do not mark up the originally approved set!



PLAN PREPARATION:

- Residential plans may be drawn by anyone with enough skill to draw straight lines, to measure accurately and to put those measurements down on paper and all plans must be to scale.
- Typical plans include:
 - Site plan
 - Floor plans
 - Elevation views
 - Cross section and detail drawings
 - **PHOTOS ARE NOT ALLOWED**
- Your plans must clearly show all the work you intend to do on the building as well as the existing conditions. Existing conditions and new construction must be clearly delineated. Plans must also show where the building sits on your property in relationship to property lines and other buildings on the site, or a site plan/ plot plan be provided.
- The plans must be on normal paper sizes.
 - Drawings may contain color.
 - Permanent black ink must be used.
 - Please do not copy a tracing paper original.
 - Line quality and contrast must be clear and legible.
 - Dimensions and notes must be must clear and legible.
- All plans must be drawn to scale.
 - 1/4 inch = 1 foot is the most common scale used for residential floor plans and section views.
 - The scale used must be clearly shown and the site plan must show the entire lot or greater portion of the lot where building is occurring. .
 - Building elevations must be to scale and show the slope of the ground adjacent to the building.

Site Plan

A site plan is a graphic representation of all existing and proposed improvements to a site. Sometimes referred to as a plot plan, the site plan functions as a map for a development project, incorporating all aspects of landscaping, construction, paving, utilities, and terrain features in a single depiction.

Minimum Requirements:

Property Lines: All property lines or boundary lines of the parcel with dimensions

All existing structures (labeled "existing") and any proposed structures (labeled "proposed") with dimensions, square footage and distances from other structures and property lines. The use should be labeled on each structure.

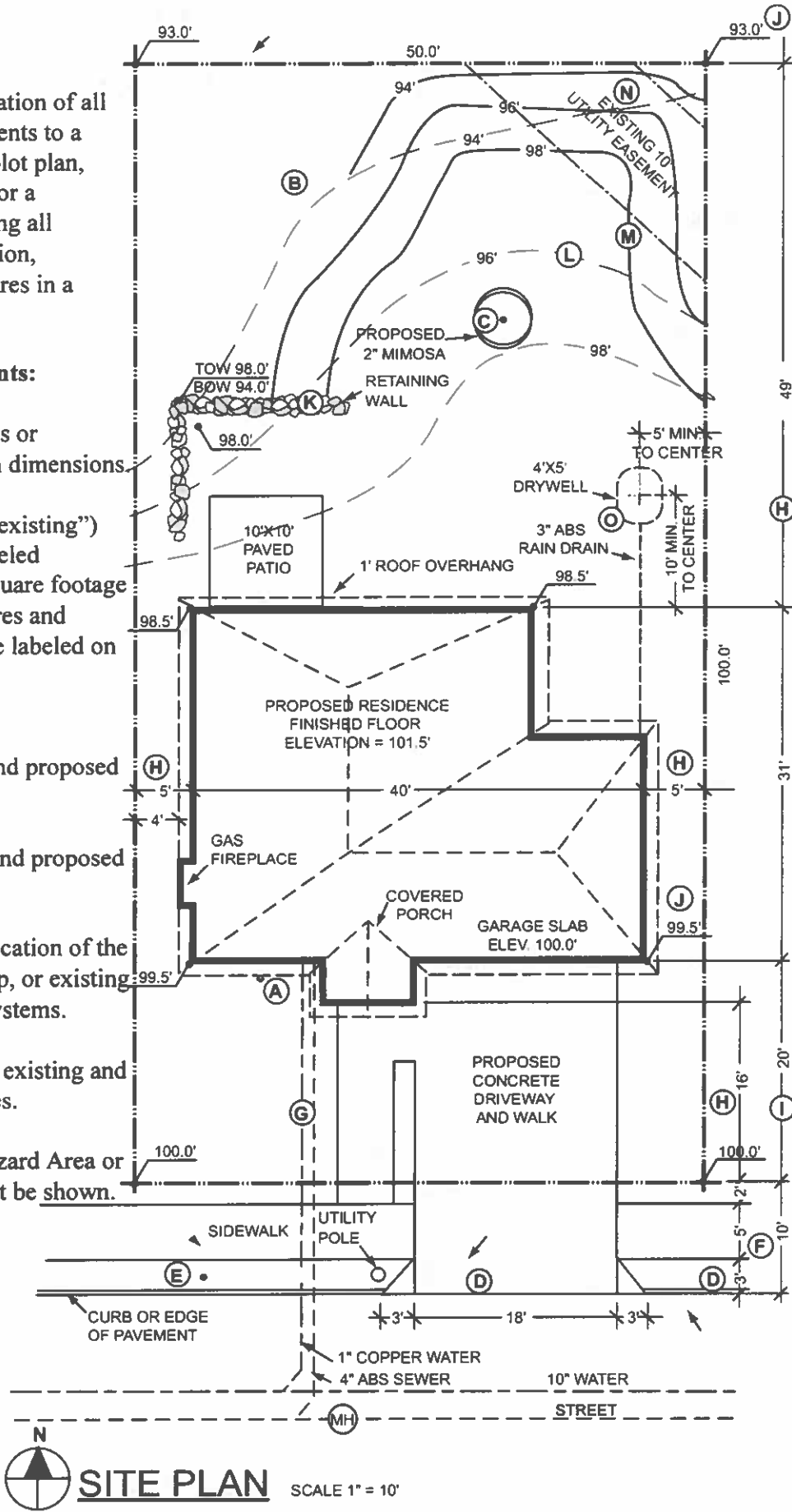
The location, dimensions and surface material of all existing and proposed parking and driveways.

Wells: The location of existing and proposed water wells on-site

Sewers and Septic Tanks: The location of the septic tank, public sewer hook-up, or existing and proposed sewage disposal systems.

Storm Drainage: The location of existing and proposed storm drainage facilities.

If located in a Special Flood Hazard Area or wetland area the boundaries must be shown.

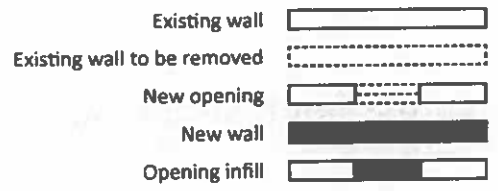
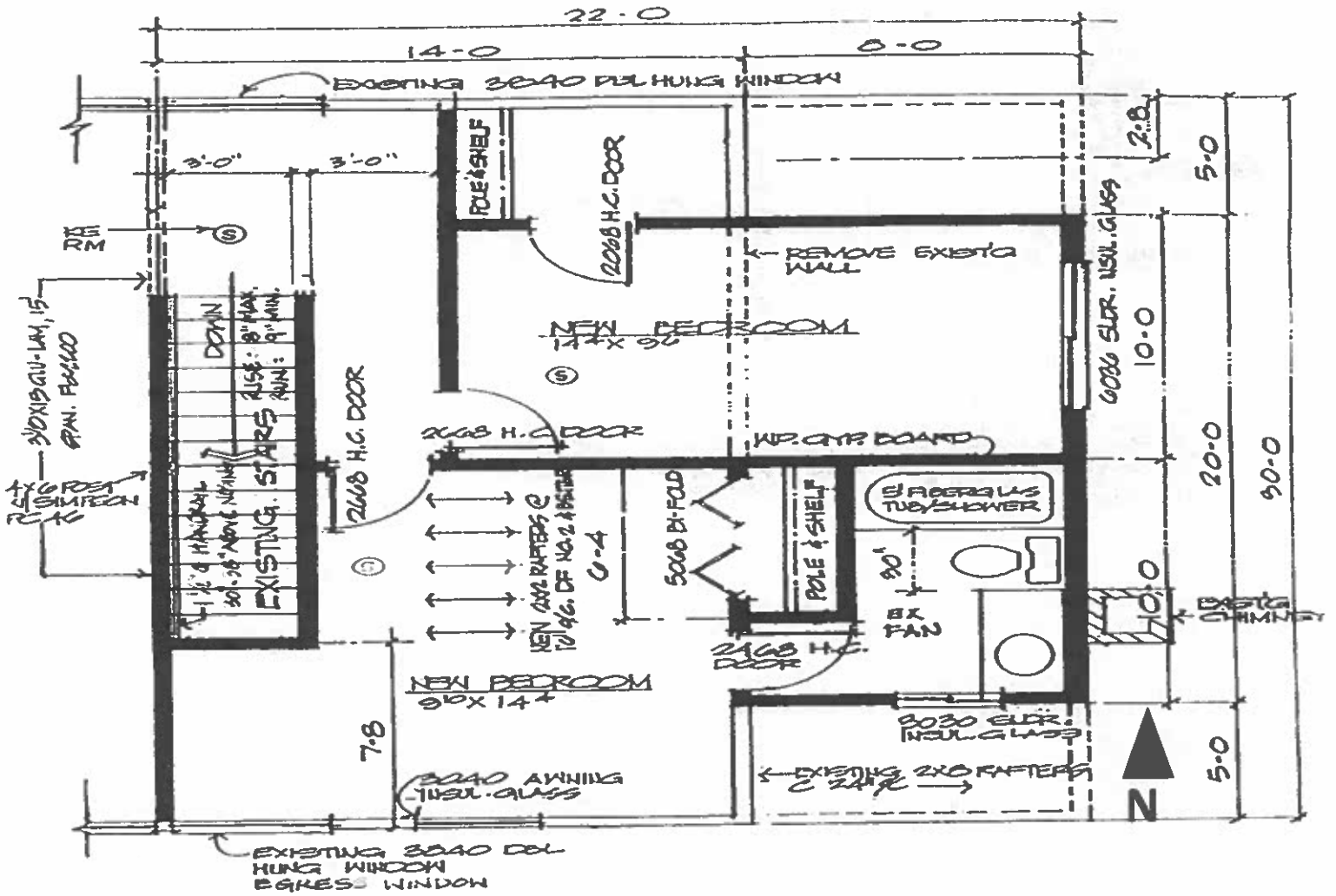


Sample Site Plan

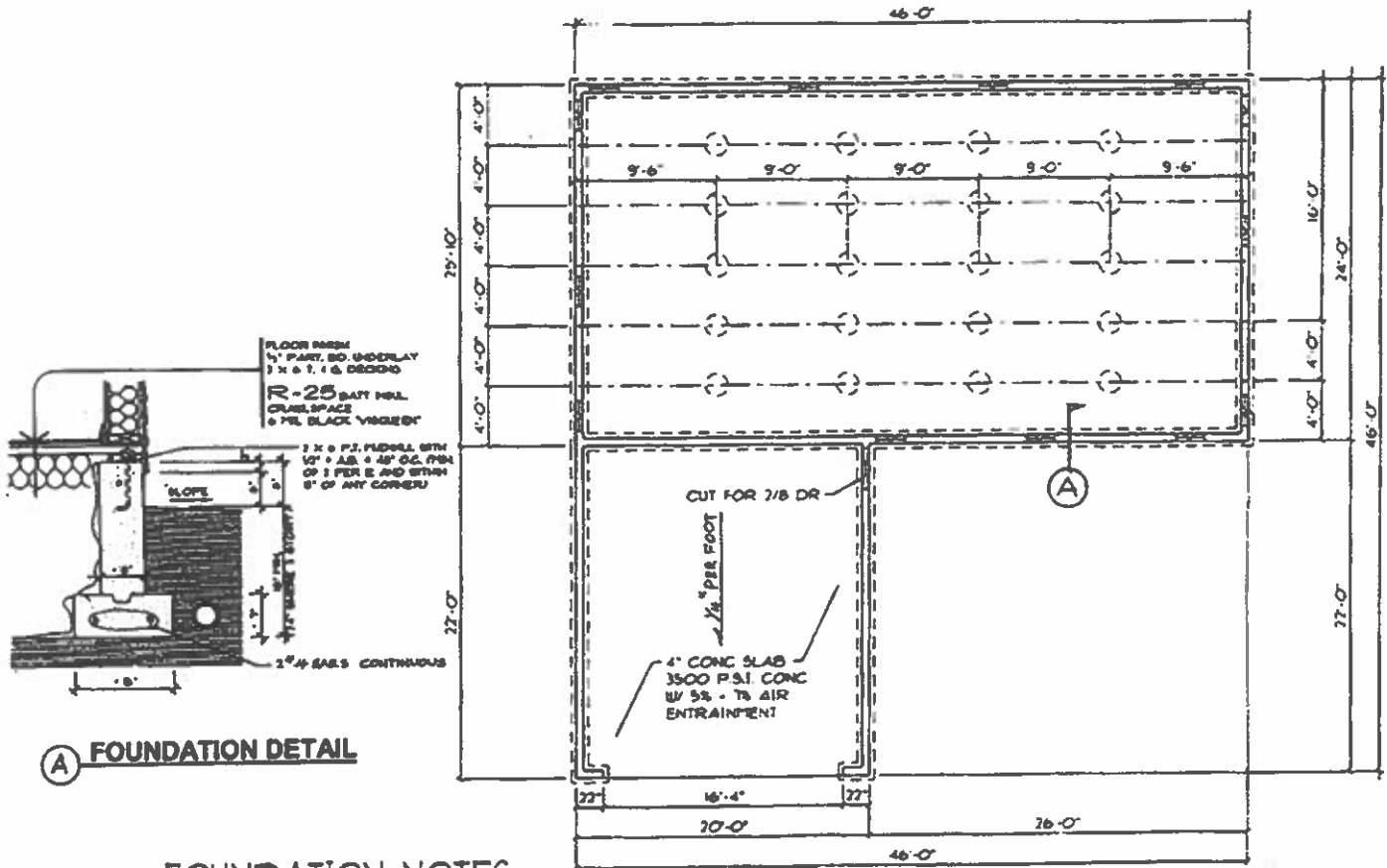
Floor and Foundation Drawings

A floor plan, also known as a plan view, is what you would see if you were to look straight down at a floor or basement with the roof or floors above removed. You will need to provide a roof plan and one floor plan for each level of the building on which work is being done, that clearly shows existing and proposed work.

- If you are constructing a new building or an addition, you will also need to provide us with a foundation plan. This plan should show the layout, dimensions and details of continuous concrete slabs, footings, reinforcing steel, and the strength of the concrete to be used. The location of the crawl space access and the foundation vents must also be shown.
- A floor plan for each level of the building being constructed or remodeled must show the location of all full and partial height walls, the size and proposed use of all rooms affected by the work and a north arrow.
- The location, size and type of each window must be shown on the floor plan. Be advised that any window required to be egress shall have a net clear opening of 5.7 sq. ft.
- The location of bearing walls, headers, beams, and other structural members supporting loads from above must also be shown on the floor plans or shown on separate framing plans. Engineered lumber and truss specifications shall be provided by the manufacturer/supplier.



Sample Floor Plan



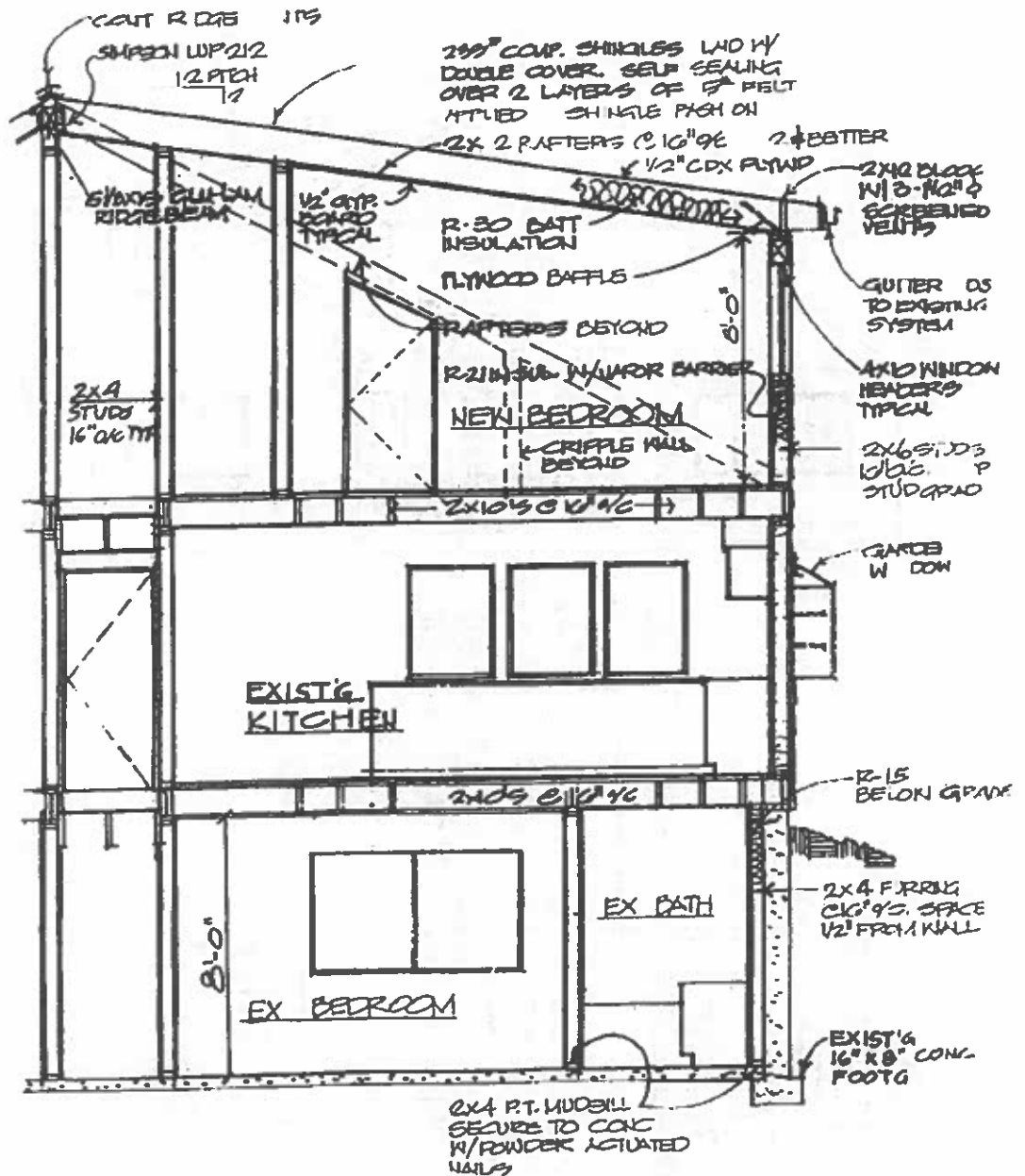
FOUNDATION NOTES

ALL CONC SHALL BE MIN. 2500 P.S.I.
 DESIGN SOIL BEARING PRESSURE - 1500 P.S.F.
 FLOOR BEAMS ARE 4x8 ON 4x4 POSTS ON 18"Ø x 8" CONC FTGS.
 PROVIDE 1/2" AIRSPACE AT SIDES AND ENDS OF BEAMS IN POCKETS & FLASH POCKET BOTTOMS
 EXCAVATE 18" MIN. BELOW BEAMS
 FND. VENTS SHOWN ARE 24"x6" SCREENED W/ 1/4" MESH GALV HDQE. CLOTH
 AND PROVIDE 1 SQ.FT. OF VENT AREA FOR EA. 150 SQ. FT. OF CRAWL SPACE
 SLOPE UNDERFLOOR AREA TO DRAIN

Sample Foundation Plan

Section Drawings

- Section drawings, sometimes called cross sections, are what you would see if you cut vertically through a building from the tip of the roof down through the ground, and then looked at what the cut exposed. Include gutters and downspouts
- Section drawings are a useful way of displaying structural information and information about construction materials that are needed to do our code review. Full sections for residential construction are usually drawn at a scale of at least 1/4 inch = 1 foot and wall section and details at a scale of at least at 1/2 inch = 1 foot. Partial sections may be drawn at a larger scale to show something in detail such as footings, overhangs and stairs.
- To obtain a building permit for new construction or an addition, you must provide section drawings that show typical building conditions.
- For simple projects, a single section drawing showing:
 - the size of the footing and the distance between ground level and the bottom of the footing;
 - the size of the foundation wall and how high it will rise above the ground;
 - the size and spacing of structural members such as beams, joists, studs and rafters which are not shown on other drawings;
 - wall, ceiling and roof coverings and finishes;
 - wall, floor and ceiling insulation;
 - ceiling heights;
 - eaves, decks and other projections.
- For more complex buildings or additions, full sections through the work in multiple directions and at different locations may be required to fully explain the work. Separate structural section drawings or details may be required, in addition to building or architectural sections.
- For buildings containing new or revised stairways, stair details must be provided which indicate the construction materials, structural support and dimensional relationships to surrounding construction.



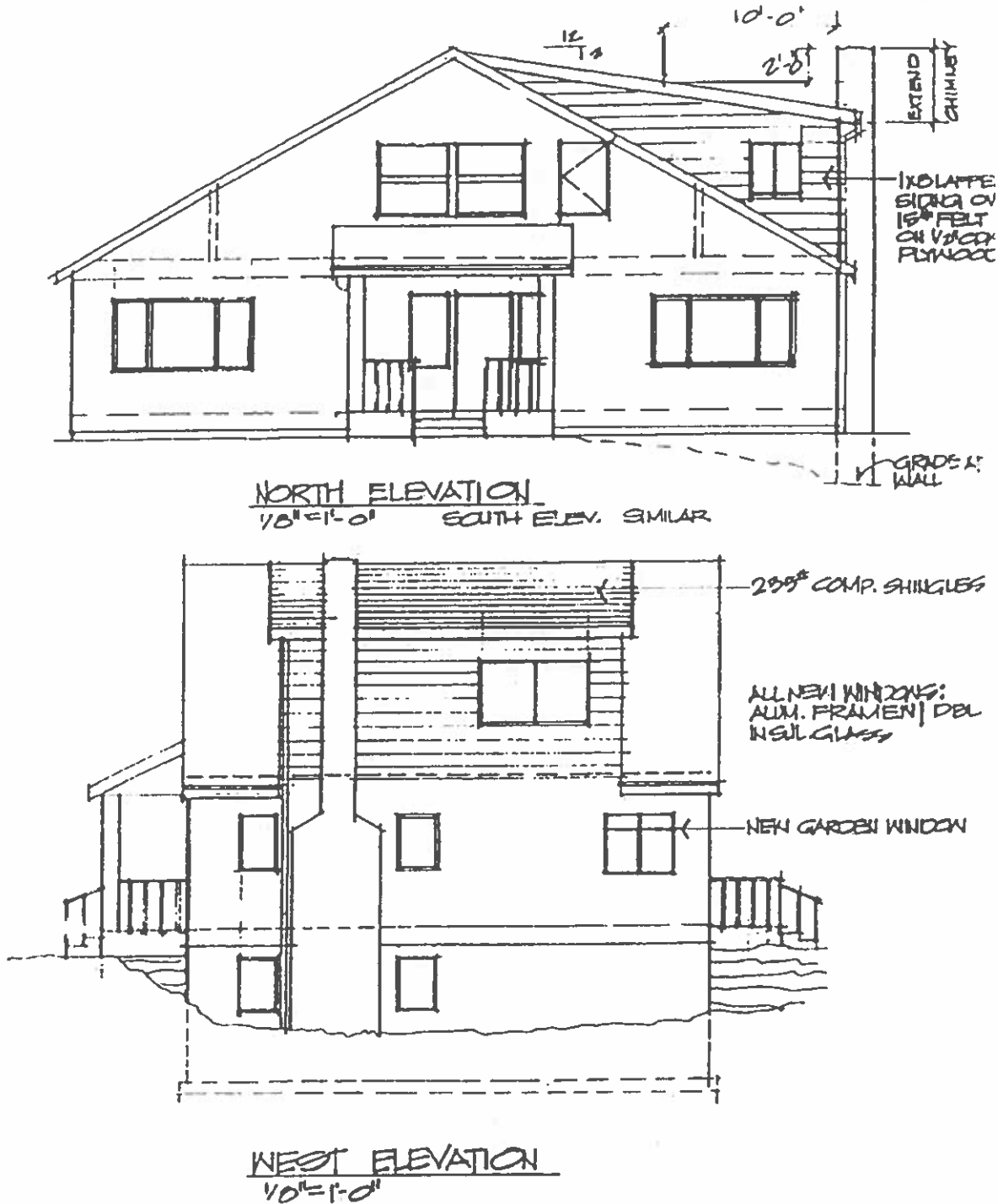
- The purpose of building plans is to provide a complete and accurate description of your proposed project. If there is something you think you will need to explain when we review your application and plans, please put it on the drawings.

Sample Section Plan

Building Elevation Drawings

Building elevation drawings are exterior views of the building, sometimes identified as front, rear, left, right; or north, south, east, west. Any project that requires a change in the exterior of the building must have building elevation drawings.

Elevations must be drawn to scale,
example: 1/4 inch = 1 foot



Lee County Alabama

Building Inspections

P. O. Box 362, Opelika, AL. 36803

100 Orr Avenue

Phone: 334-737-7014 Fax: 334-745-9813

Application for a Building Permit as an Owner/Builder

Project Information					
Project Street Address			City/Town	State	Zip
Subdivision			Lot Number	Project Type	
			Residential <input type="checkbox"/>	Commercial <input type="checkbox"/>	Industrial <input type="checkbox"/>
				Other <input type="checkbox"/>	

Owner Information			
First Name		Last Name	
Street Address		City/Town	State Zip
Phone:	Cell:	Email:	

Project Information (Please mark all that apply)			
<input type="checkbox"/> New Residence	<input type="checkbox"/>	Wood Frame Utility/Storage	<input type="checkbox"/>
<input type="checkbox"/> Addition	<input type="checkbox"/>	Deck	<input type="checkbox"/>
<input type="checkbox"/> Remodel	<input type="checkbox"/>	Porch	<input type="checkbox"/>
<input type="checkbox"/> Garage	<input type="checkbox"/>	Other Residential Accessory Bldg	<input type="checkbox"/>
<input type="checkbox"/> Carport	<input type="checkbox"/>	Alteration Commercial	<input type="checkbox"/>
<input type="checkbox"/> Other: Describe	<input type="checkbox"/>	New Commercial	<input type="checkbox"/>
		Light Weight Metal Utility/Storage	<input type="checkbox"/>
		Electrical Only	<input type="checkbox"/>
		Mechanical Only	<input type="checkbox"/>
		Plumbing Only	<input type="checkbox"/>
		Swimming Pool	<input type="checkbox"/>
		Steel or Red Iron Building	<input type="checkbox"/>

Describe the work to be performed:

Type of Work	Estimated Cost	Type of Work	Estimated Cost	Type of Work	Estimated Cost
Building Foundation		Plumbing		Concrete (slab, etc)	
Building Framing		Electrical		Supervision/Mgmt	
Heating/Air Cond.		Insulation		Total Est. Cost	

Please enter the square footage for each item below or N/A if not applicable.					
Basement		4th Floor		Garage/Carport	
1st Floor		Bonus Room/Finished Attic		Decks/Porches	
2nd Floor		Accessory Building		Utility Bldg/Misc	
3rd Floor		Total Square Feet			

Septic Tank in Use?

Yes: No: If yes, provide Health Department Approval.

Structure Form

Date: _____

This form needs to be completed with permit application

Air Conditioning

- Central Air
- Electric
- Heat Pump
- Wall Units
- Other _____

Basement

- Crawl Space
- Full
- Half
- Other _____

Exterior Walls

- Aluminum
- Brick
- Stone
- Hardi Plank
- Stucco
- Vinyl
- Metal
- Other _____

Foundation

- Concrete Block
- Conventional
- Conventional Crawl Space
- Conventional Slab
- Poured Wall
- Slab on Grade
- Other _____

Framing

- Steel
- Wood
- Other _____

Heating

- Electric
- Heat Pump
- Natural Gas
- Oil
- Propane
- Radiant Floor
- Other _____

Other Heating

- Fire Place (1)
- Fire Place - Gas
- Wood Stove
- Other _____

Roofing

- Fiberglass
- Metal
- Tile
- Asphalt
- Wood
- Other _____

Termite Treatment

- Spray
- Bait System
- Boric Acid
- Other _____

Insulation

- Fiberglass Batten
- Spray Foam
- Other _____

___ # of Bedrooms

___ # of Bathrooms

Signed by: _____

NOTICE: Any person paid by you (regardless of the amount) to manage or supervise the project or to perform electrical, plumbing, or heating/air work must be State certified and licensed. In addition, any person being paid an aggregate sum of \$10,000.00 or more for one or more construction phases (carpentry, framing, foundation, etc.) must possess a valid Alabama Home Builders License.

Project Manager or Construction Supervisor Name (if not owner)			AL. Contractor or Home Builders License #	
Street Address			City/Town	State
				Zip
Phone	Fax	Cell	Email	
Foundation/Footing (Name of Contractor or Individual/Company Doing the Work)			AL. Contractor or Home Builders License #	
Street Address			City/Town	State
				Zip
Phone	Fax	Cell	Email	
Framing (Name of Contractor or Individual/Company Doing the Work)			AL. Contractor or Home Builders License #	
Street Address			City/Town	State
				Zip
Phone	Fax	Cell	Email	
Electrical Contractor Name			AL. Electrical Contractor License #	
Street Address			City/Town	State
				Zip
Phone	Fax	Cell	Email	
Plumbing Contractor Name			AL. Plumbing Contractor License #	
Street Address			City/Town	State
				Zip
Phone	Fax	Cell	Email	
Heating/Air Conditioning Contractor Name			AL. HVAC/Mechanical Contractor License #	
Street Address			City/Town	State
				Zip
Phone	Fax	Cell	Email	



Office Use Only

<i>Office Use Only</i>		Date:
Occupancy Group:		Permit Number:
Construction Type:		Valuation:
Sprinkler Required: Yes No		Permit Fee:
Flood Plain: Yes No		Notes:

If you are an owner and intend to do the work or subcontract the work out, an Owner Affidavit is required certifying that you are the owner of this tract or parcel of land, that you have applied for this permit, and are not subject to licensing as a contractor or subcontractor. (You must provide the names of all people that will be paid for working on the project. Proof of proper State Certification and/or business licenses may be required before the commencement of any work.) Signing the Owner Affidavit, and in turn obtaining the permit in your name makes you, as the owner, responsible for the quality of the work, and compliance with applicable state and local building codes. In addition, you may be responsible for employment taxes and workmen compensation insurance. This Owner Affidavit must be completed, with the signature of a person who witnesses your signature to this document, acknowledging your compliance with the Alabama Home Builders Licensure Law and/or the State of Alabama Licensing Board for General Contractors.

I, as the OWNER, will be responsible for the work performed on my property, and shall be responsible for compliance with all State laws regulating building construction and use, and compliance with all County ordinances.

Owner's Signature	Date	Please print or type owner's name legibly

I, as a WITNESS, saw the owner of this property affix his/her signature to this affidavit, certifying that he/she is not subject to licensure as a General Contractor, Subcontractor, or Home Builder in the State of Alabama.

Witness Signature	Date	Please print or type witness' name legibly

Approval of this building permit application and issuance of a permit does not give authority to any person to violate any State Law, County Ordinance or any other policy or regulation.

I hereby certify that I am the owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I hereby acknowledge that I have read this application and know the same to be true and agree to comply with all State laws and Lee County ordinances regulating building construction and use. In addition, if a permit for work described in this application is issued, I certify that the Code Official or the Code Official's representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Applicant's Signature _____ Date: _____