

**CITY OF BERKLEY PUBLIC NOTICE  
REGULAR CITY COUNCIL MEETING  
Monday, July 19, 2021  
7:00 P.M. – City Hall  
248-658-3300**

**CALL 38<sup>th</sup> COUNCIL TO ORDER  
APPROVAL OF AGENDA  
INVOCATION – PASTOR TAL SULLIVAN  
PLEDGE OF ALLEGIANCE  
PUBLIC COMMENT  
ORDER OF BUSINESS**

**Consent Agenda**

1. **APPROVAL OF THE MINUTES:** Matter of [approving the minutes](#) of the 38<sup>th</sup> Regular City Council Meeting on Monday, June 21, 2021 and Special City Council Meeting on Tuesday, June 22, 2021.
2. **WARRANT:** Matter of [approving Warrant](#) No. 1364.
3. **ORDINANCE NO. O-06-21:** Matter of [considering the Second Reading and Adoption](#) of an Ordinance of the Council of the City of Berkley, Michigan to Amend Division 4 of Article VIII of Chapter 82, Offenses and Miscellaneous Provisions, of the City of Berkley Code of Ordinances to Prohibit the Possession and Use of Cigarettes, Tobacco, and Nicotine Products to Persons Under the Age of 21, and the Sale, Giving, or Furnishing of Cigarettes, Tobacco, and Nicotine Products, Including Electronic Cigarettes, to Persons Under the Age of 21, and to Prescribe Penalties for Violations.
4. **RESOLUTION NO. R-25-21:** Matter of [adopting a resolution of the City Council](#) of the City of Berkley, Michigan in opposition to legislation restricting voting rights or interfering with local clerk election procedures.
5. **PROCLAMATION NO. P-23-21:** Matter of [proclaiming July 22, 2021 as Master Plan Day](#).

**Regular Agenda**

1. **RECOGNITIONS/PRESENTATIONS:** Matter of any recognitions or presentations from the Consent Agenda.
2. **PRESENTATION:** Matter of receiving a presentation by Annaka Norris of Main Street Oakland County regarding the City of Berkley's Main Street Accreditation Certificate and the importance Main Street has for the City.
3. **RESOLUTION NO. R-26-21:** Matter of [approving the community distribution](#) of the Draft Master Plan.
4. **MOTION NO. M-42-21:** Matter of [authorizing the purchase and install](#) of new play equipment at Community Park at a cost not to exceed \$155,512 from MidStates Recreation, 1279 Hazelton-Etna Road SW Pataskala, OH 43062. Funds for this expenditure will come from Account 615-950-974-000.
5. **PRESENTATION:** Matter of receiving a [presentation on the 2020 Planning](#) Commission Annual Report.
6. **MOTION NO. M-43-21:** Matter of [considering a bid from WCI Contractors Inc](#), 20210 Conner St, Detroit, MI 48234, for \$160,594 for the BHS Plaza Project. Costs are to be shared evenly with the Berkley Downtown Development Authority and Berkley School District.

**COMMUNICATIONS**

7. **CLOSED SESSION:** Matter of considering whether to enter into a Closed Session for the purpose of consulting with the City's attorneys to discuss strategy and confidential attorney/client privileged

communications relating to pending litigation, specifically, Yellow Tail Ventures, et al v City of Berkley, et al, and Fire Farm LLC, et al, v City of Berkley, et al, Oakland County Circuit Court case nos. 2020-184751-CZ and 2020-184754-CZ.

## **ADJOURN**

**HYBRID MEETING OPTION AVAILABLE: TO JOIN THE ELECTRONIC MEETING, VISIT [HTTPS://berkleymich.ZOOM.US/J/94929846645](https://berkleymich.zoom.us/j/94929846645) OR CALL 1-312-626-6799. THE MEETING ID IS 949 2984 6645.**

Note: The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days notice to the City. Individuals with disabilities requiring auxiliary aids or services should contact the City by writing or calling: Victoria Mitchell, ADA Contact, Berkley City Hall, 3338 Coolidge Highway, Berkley, MI 48072 (1-248-658-3310).

Note: Official minutes of City Council Meetings and supporting documents for Council packets are available for public review in the City Clerk's Office during normal working hours. Anyone wishing to submit correspondence for the meeting may send an email to [clerk@berkleymich.net](mailto:clerk@berkleymich.net) or call 248-658-3310 by 5 p.m. on the day of the meeting.

**THE ELECTRONIC REGULAR MEETING OF THE THIRTY-EIGHTH COUNCIL OF THE CITY OF BERKLEY, MICHIGAN WAS CALLED TO ORDER AT 7:00 PM ON MONDAY, JUNE 21, 2021 BY MAYOR TERBRACK**

**PRESENT:** Steve Baker, Berkley, Oakland County, Michigan  
Jack Blanchard, Berkley, Oakland County, Michigan  
Bridget Dean, Berkley, Oakland County, Michigan  
Ross Gavin, Berkley, Oakland County, Michigan  
Dennis Hennen, Berkley, Oakland County, Michigan  
Natalie Price, Berkley, Oakland County, Michigan  
Daniel Terbrack, Berkley, Oakland County, Michigan

**APPROVAL OF AGENDA**

Councilmember Hennen moved to approve the Agenda

Seconded by Councilmember Blanchard

Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack

Nays: None

Motion Approved.

**INVOCATION:** Berkley Public Safety Chaplain Jim Smith

**PUBLIC COMMENT – ITEMS ON THE AGENDA**

Phil O' Dwyer, Berkley, thanked the mayor, city council, and city administration for honoring Reverend Peter Moore of Greenfield Presbyterian Church. He talked about how he has been a great figure for the community. He said Rev. Moore made his church a welcoming place and was also known for his dedication to the poor. Mr. O'Dwyer said he finds it fitting that the Council recognizes his retirement and wishes him well.

***Consent Agenda***

Mayor Pro Tem Dean moved to approve the following Consent Agenda, seconded by Councilmember Blanchard.

**APPROVAL OF THE MINUTES:** Matter of approving the minutes of the 38<sup>th</sup> Regular City Council Meeting on Monday, June 7, 2021.

**RESOLUTION NO. R-23-21:** Matter of celebrating the retirement of Greenfield Presbyterian Church Reverend Peter Moore.

**PROCLAMATION NO. P-22-21:** Matter of proclaiming July 2021 as Parks and Recreation Month.

Ayes: Dean, Gavin, Hennen, Price, Baker, Blanchard, and Terbrack

Nays: None

Motion Approved.

***Regular Agenda***

**RESOLUTION NO. R-24-21:** Matter of recognizing the outgoing Berkley School District Superintendent Dennis McDavid.

Councilmember Blanchard moved to approve Resolution No. R-24-21

Seconded by Councilmember Price

Ayes:

Nays:

**MOTION NO. M-30-21:** Matter of approving the appointments to various boards and commissions.

Councilmember Baker moved to approve Motion No. M-30-21

Seconded by Councilmember Gavin

Ayes: Hennen, Price, Baker, Blanchard, Dean, Gavin, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-31-21:** Matter of receiving and filing the Berkley Department of Public Safety 2020 Annual Report.

Councilmember Blanchard moved to approve Motion No. M-31-21

Seconded by Councilmember Hennen

Ayes: Price, Baker, Blanchard, Dean, Gavin, Hennen, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-32-21:** Matter of approving the purchase of the remainder of the P25 Radio System Equipment from ComSource, Inc., 41271 Concept Dr., Plymouth, MI 48170 at a price not to exceed \$50,033.15 from the "Radio Equipment" Account 101-310-984-000. This purchase will be made from the State of Michigan's Extended Purchasing Program (MiDEAL) Contract 190000001544.

Councilmember Blanchard moved to approve Motion No. M-32-21

Seconded by Councilmember Gavin

Ayes: Baker, Blanchard, Dean, Gavin, Hennen, Price, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-33-21:** Matter of approving the purchase of two 2021 Ford Police Interceptor Utility AWD marked police vehicles for \$74,852 (\$37,426 each) and two 2021 Ford F150 Super Crew 4x4 Police Responder unmarked police vehicles for \$74,886 (\$37,443 each) for the Department of Public Safety from Signature Ford, 1960 East Main Street, Owosso, MI 48867 at a total cost of \$149,738 from the Vehicles Account 101-310-985-000.

Councilmember Blanchard moved to approve Motion No. M-33-21

Seconded by Councilmember Baker

Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack

Nays: None

Motion Approved.

**ORDINANCE NO. O-06-21:** Matter of considering the First Reading of an Ordinance of the Council of the City of Berkley, Michigan to Amend Division 4 of Article VIII of Chapter 82, Offenses and Miscellaneous Provisions, of the City of Berkley Code of Ordinances to Prohibit the Possession and Use of Cigarettes, Tobacco, and Nicotine Products to Persons Under the Age of 21, and the Sale, Giving, or Furnishing of Cigarettes, Tobacco, and Nicotine Products, Including Electronic Cigarettes, to Persons Under the Age of 21, and to Prescribe Penalties for Violations.

Councilmember Gavin moved to approve Ordinance No. O-06-21

Seconded by Councilmember Price

Ayes: Dean, Gavin, Hennen, Price, Baker, Blanchard, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-34-21:** Matter of approving the purchase of a Variable Message Board Sign and a Compact Light Tower at a total cost of \$24,360 from Truck & Trailer Specialties utilizing the MITN Cooperative Bid.

Mayor Pro Tem Dean moved to approve Motion No. M-34-21

Seconded by Councilmember Blanchard

Ayes: Gavin, Hennen, Price, Baker, Blanchard, Dean, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-35-21:** Matter of approving the purchase of a 2021 Ford Transit Cargo Van with Buildout at a total cost of \$70,265 from Signature Ford and Truck & Trailer Specialties utilizing the Macomb County and MITN Cooperative Bids.

Councilmember Price moved to approve Motion No. M-35-21

Seconded by Councilmember Blanchard

Ayes: Hennen, Price, Baker, Blanchard, Dean, Gavin, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-36-21:** Matter of appointing the Public Works Director, Derrick Schueller, as the City of Berkley's representative and the City Manager, Matthew Baumgarten, as the alternate representative to the Southeastern Oakland County Resource Recovery Authority (SOCRRA) Board of Trustees for the fiscal year beginning July 1, 2021; and instruct the City Clerk to send a copy of this motion to the SOCRRA Board.

Councilmember Gavin moved to approve Motion No. M-36-21

Seconded by Councilmember Hennen

Ayes: Price, Baker, Blanchard, Dean, Gavin, Hennen, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-37-21:** Matter of appointing the Berkley Public Works Director, Derrick Schueller, as the City of Berkley's representative and the City Manager, Matthew Baumgarten, as the alternate representative to the Southeastern Oakland County Water Authority (SOCWA) Board of Trustees for the fiscal year beginning July 1, 2021; and instruct the City Clerk to send a copy of this motion to the SOCWA Board.

Mayor Pro Tem Dean moved to approve Motion No. M-37-21

Seconded by Councilmember Hennen

Ayes: Baker, Blanchard, Dean, Gavin, Hennen, Price, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-38-21:** Matter of appointing the Chief Innovation Officer, Stan Lisica, as the City of Berkley's representative and the City Manager, Matthew Baumgarten, as the alternate representative to the Intergovernmental Cable Communications Authority (ICCA) Board for the fiscal year beginning July 1, 2021; and instruct the City Clerk to send a copy of this motion to the ICCA Board.

Councilmember Blanchard moved to approve Motion No. M-38-21

Seconded by Councilmember Price

Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack

Nays: None

Motion Approved.

**MOTION NO. M-39-21:** Matter of appointing the Community Engagement Officer, Torri Mathes, as the City of Berkley's representative to the Community Media Network Public Access TV (CMNtv) Board of Trustees for the fiscal year beginning July 1, 2021; and to instruct the City Clerk to send a copy of this motion to the CMNtv Board.

Councilmember Hennen moved to approve Motion No. M-39-21

Seconded by Councilmember Gavin  
Ayes: Dean, Gavin, Hennen, Price, Baker, Blanchard, and Terbrack  
Nays: None  
Motion Approved.

**RESOLUTION NO. R-22-21:** Matter of approving the Consent Judgment in settlement of the lawsuit, Giarmarco v Berkley, Oakland County Circuit Court Case no. 2021-187187-AA.  
Councilmember Price moved to approve Resolution No. R-22-21  
Seconded by Councilmember Blanchard  
Ayes: Gavin, Price, Baker, Blanchard, Dean, and Terbrack  
Nays: Hennen  
Motion Approved.

**MOTION NO. M-40-21:** Matter of authorizing the City Manager to sign the Application for Additional Service Credit Purchase for Shawn Young approving two years of additional service credit. This service credit purchase is allowed by the City of Berkley MERIT System of Human Resource Management Section 1001.08 and meets all of the requirements of the MERS Plan Document which would allow for this service credit purchase.  
Councilmember Baker moved to approve Motion No. M-40-21  
Seconded by Councilmember Blanchard  
Ayes: Hennen, Price, Baker, Blanchard, Dean, Gavin, and Terbrack  
Nays: None  
Motion Approved.

**MOTION NO. M-41-21:** Matter of Authorizing the amendment of the 2020-2021 Budget as presented.  
Councilmember Baker moved to approve Motion No. M-41-21  
Seconded by Mayor Pro Tem Dean  
Ayes: Price, Baker, Blanchard, Dean, Gavin, Hennen, and Terbrack  
Nays: None  
Motion Approved.

## **PUBLIC COMMENT – ITEMS NOT ON THE AGENDA**

There was no one present wishing to speak.

## **COMMUNICATIONS**

**COUNCILMEMBER BAKER:** stated that the Downtown Development Authority (DDA) recently met on June 9<sup>th</sup> and the current Executive Director is stepping down. He said a search is happening now to find a replacement. He stated the DDA is still trying to seek guidance for its design guidelines. He mentioned the City's downtown website, [www.downtownberkley.org](http://www.downtownberkley.org) and encouraged people to visit it to find out about upcoming events. He said two upcoming events include the Berkley Street Art Fest on Saturday, Aug. 7<sup>th</sup> and the Berkley Art Bash on Saturday, Sept. 11<sup>th</sup>. Councilmember Baker stated the Historical Museum opened back up to the public last week. He said the Historical Committee will be selling more Berkley street signs at the museum once they become available. He said the Historical Committee is looking into and starting to move forward with being able to take credit cards as a form of payment for future museum souvenirs that will go on sale. Councilmember Baker stated the Technology Advisory Committee met last week on Wednesday, June 16<sup>th</sup>. He said there was discussion that the City's website will be able to become a secure website at some point in the future. He said the Committee is waiting to hear updates about the Alexa Skill the Committee had started working on a while ago. He said once available to residents it could give information about upcoming events in the City. Councilmember Baker shared a cyber tip in regards to keeping your credit information safe. He said there are apps from the major credit bureaus that provide the

ability to keep your credit information locked and unlocked when needed. Councilmember Baker quoted Dr. Christopher Avery's book, *Teamwork is an Individual Skill*, "Trust is the residue of promises kept." He emphasized the importance of when making commitments to others - after making sure that communication is clear between you and the other person - you must follow through with matters. Councilmember Baker praised Berkley for the high COVID-19 vaccination rates.

**COUNCILMEMBER PRICE:** stated starting tomorrow the Berkley Public Library will no longer have time-limited visits. She added as of today at the library, seating, computers, and newspapers will be available for use once again. She said the expanded library hours will begin on Tuesday, July 6<sup>th</sup>. Councilmember Price said the Citizens Engagement Advisory Committee (CEAC) is currently highlighting resources for LGBTQIA+ residents on its Berkley community resources Facebook page. She congratulated the CEAC new appointees whom include Sandy Fisher, Brandon Moss, and Katie Ware. She said the Committee's next meeting is 7 p.m. Wednesday, July 14<sup>th</sup>. Councilmember Price thanked everyone that participated in the City's Annual Tree Walk. She said free tree planting applications were distributed to eligible homes and if anyone is interested in the program, please visit the Berkley Department of Public Works website. Councilmember Price said she looks forward to seeing everyone in person for the City Council meeting in July.

**COUNCILMEMBER BLANCHARD:** stated the Berkley Art Bash and the Berkley Street Art Fest are quickly approaching. Councilmember Blanchard discussed firework safety points as The 4<sup>th</sup> of July holiday would take place before the next meeting. He read a list of safety tips for properly handling fireworks. Councilmember Blanchard quoted Eric Wittager, "Emergency preparedness is a team sport."

**MAYOR PRO TEM DEAN:** congratulated Mr. Petrosky who was just appointed to the Planning Commission and was also present at the meeting. Mayor Pro Tem Dean stated the newly named and updated Oxford Park grand reopening took place on June 11<sup>th</sup>. She recognized Parks and Recreation Director Theresa McArleton and her staff for all of their hard work. She said that today is the first day of Summer Camp for the Parks and Recreation Department and everyone is excited to attend again. She announced the Community Center is now open for senior programming and indoor rental space is available as well. She said there is still space available for second session summer programs and specialty camps. She directed everyone to either visit the Parks and Recreation website or go to the Community Center for more information and to sign up. Mayor Pro Tem Dean stated 7 p.m. June 22<sup>nd</sup> is the outdoor movie in the park event through the Parks and Recreation Department. She said it will take place on the Community Center lawn. She said there will be more summer events coming at the end of July and August.

**COUNCILMEMBER HENNEN:** stated there are no new updates for Zoning Board of Appeals (ZBA). He said if the ZBA does have a case, the next meeting would be 7 p.m. Monday, July 12<sup>th</sup> in person. Councilmember Hennen stated that the City's tree planting program as of Sunday, had 316 requests for trees and there are only 250 available this year. He did mention that anyone still interested can be put on a waiting list since it does roll onto the next year's tree planting program. He said the next meeting for the Tree Board will be on Monday, July 12<sup>th</sup>. Councilmember Hennen shared some vaccination data from Michigan Department of Health and Human Services. He said as of May 22<sup>nd</sup>, 75 percent of Berkley adults started their COVID-19 vaccinations and 68 percent have completed them. He was pleased to see the percentage so high in Berkley and encourages people who have yet to be vaccinated to receive their shots as soon as possible to help stop community spread and protect people who are either unable to be vaccinated or people that are too young.

**COUNCILMEMBER GAVIN:** stated the next Planning Commission meeting will take place Tuesday, June 22<sup>nd</sup>. He said the Environmental Advisory Committee (EAC) did not meet in June, but will meet next month at 6:30 p.m. on Thursday, July 15<sup>th</sup>. Councilmember Gavin said the Master Plan Steering Committee (MPSC) met last week and will be presenting their Master Plan draft for feedback to the Planning Commission during the June 22<sup>nd</sup> meeting. He said the next MPSC meeting is scheduled for 7 p.m. Tuesday, July 20<sup>th</sup>. Councilmember Gavin welcomed Reid Klintworth to the EAC and Dan Petrosky to the Planning Commission along with everyone else recently appointed to boards and commissions.

**CITY MANAGER BAUMGARTEN:** stated the Master Plan is making a lot of progress. He stated that if residents want more information about the Master Plan, they can visit the City's website at [www.berkleymich.org](http://www.berkleymich.org). He thanked everyone that has been a part of the master planning process including providing input and executing the final plan. City Manager Baumgarten discussed Coolidge Highway and the project that is taking place there. He stated data is being gathered along with input from the Coolidge Highway stakeholders. He said the project will be moving forward and is no longer stagnant. City Manager Baumgarten complimented the Parks and Recreation Department for the Oxford Park splash pad grand opening and also for the summer camp that they run.

**ATTORNEY STARAN:** announced that the Michigan Department of Health and Human Services Emergency COVID-19 Order regarding face masks and gathering restrictions will expire midnight Tuesday, June 22<sup>nd</sup>. Attorney Staran discussed the laws regarding purchasing and letting off fireworks for The 4<sup>th</sup> of July holiday. He said Michigan does allow the purchases of fireworks, but it is only lawful to discharge them starting Tuesday, June 29<sup>th</sup> through Sunday, July 4<sup>th</sup> for the year 2021. He said the State Law also says that fireworks may only be discharged until 11:45 pm each night during the previously stated dates. He stated that fireworks may only be discharged on private property with the permission of the owner and to also be aware of your surrounding neighbors who may be sensitive to loud noises.

**MAYOR TERBRACK:** recognized Resolution R-23-21 for the retirement of Reverend Peter Moore from Greenfield Presbyterian Church. He said Reverend Moore was an integral part of the community through his dedicated to not only serving those in need, but also the community as a whole for more than 30 years. Mayor Terbrack congratulated the Berkley Dad's Club and the Berkley Cubs travel teams for the 16<sup>th</sup> Annual Berkley Summer Classics Tournament. He also recognized how the teams in the baseball tournament show respect and good sportsmanship during the tournament which in return shines a positive light on the City. Mayor Terbrack wished his wife Jacqueline a Happy 18<sup>th</sup> Wedding Anniversary.

**CLOSED SESSION:** Matter of considering whether to meet in Closed Session for the purpose of discussing labor negotiations.

Councilmember Hennen moved to meet in Closed Session

Seconded by Councilmember Baker

Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack

Nays: None

Motion Approved.

A Closed Session of the thirty-eighth Council of the City of Berkley, Michigan was called to order at 9:26 p.m. on Monday, June 21, 2021 by Mayor Terbrack.

**PRESENT:** Steve Baker, Berkley, Oakland County, Michigan  
Jack Blanchard, Berkley, Oakland County, Michigan  
Bridget Dean, Berkley, Oakland County, Michigan  
Ross Gavin, Berkley, Oakland County, Michigan  
Dennis Hennen, Berkley, Oakland County, Michigan  
Natalie Price, Berkley, Oakland County, Michigan  
Daniel Terbrack, Berkley, Oakland County, Michigan

Councilmember Baker moved to suspend the rules to go beyond the 10 p.m. meeting deadline

Seconded by Mayor Pro Tem Dean

Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack

Nays: None

Motion Approved.

Councilmember Blanchard moved to adjourn the Closed Session at 10:18 p.m.

Seconded by Councilmember Hennen

Ayes: Dean, Gavin, Hennen, Price, Baker, Blanchard, and Terbrack

Nays: None

Motion Approved.

The electronic Regular Meeting of the thirty-eighth Council of the City of Berkley, Michigan was called back to order at 10:21 p.m. on Monday, June 21, 2021 by Mayor Terbrack.

**PRESENT:** Steve Baker, Berkley, Oakland County, Michigan  
Jack Blanchard, Berkley, Oakland County, Michigan  
Bridget Dean, Berkley, Oakland County, Michigan  
Ross Gavin, Berkley, Oakland County, Michigan  
Dennis Hennen, Berkley, Oakland County, Michigan  
Natalie Price, Berkley, Oakland County, Michigan  
Daniel Terbrack, Berkley, Oakland County, Michigan

#### **ADJOURNMENT**

Councilmember Baker moved to adjourn the Regular Meeting at 10:21 p.m.

Seconded by Councilmember Hennen

Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack

Nays: None

Motion Approved.

**THE ELECTRONIC SPECIAL MEETING OF THE THIRTY-EIGHTH COUNCIL OF THE CITY OF BERKLEY, MICHIGAN WAS CALLED TO ORDER AT 3:00 PM ON TUESDAY, JUNE 22, 2021 BY MAYOR TERBRACK**

**PRESENT:** Steve Baker, Berkley, Oakland County, Michigan  
Jack Blanchard, Berkley, Oakland County, Michigan  
Bridget Dean, Berkley, Oakland County, Michigan  
Ross Gavin, Berkley, Oakland County, Michigan  
Dennis Hennen, Berkley, Oakland County, Michigan  
Natalie Price, Berkley, Oakland County, Michigan  
Daniel Terbrack, Berkley, Oakland County, Michigan

**APPROVAL OF AGENDA**

Councilmember Price moved to approve the Agenda  
Seconded by Mayor Pro Tem Dean  
Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack  
Nays: None  
Motion Approved.

**PUBLIC COMMENT**

There was no one present wishing to speak.

**CLOSED SESSION:** Matter of considering whether to enter into a Closed Session for the purpose of consulting with the City's attorneys to discuss strategy and confidential attorney/client privileged communications relating to pending litigation, specifically, Yellow Tail Ventures, et al v City of Berkley, et al, and Fire Farm LLC, et al, v City of Berkley, et al, Oakland County Circuit Court case nos. 2020-184751-CZ and 2020-184754-CZ.

Councilmember Baker moved to meet in Closed Session  
Seconded by Councilmember Gavin  
Ayes: Dean, Gavin, Hennen, Price, Baker, Blanchard, and Terbrack  
Nays: None  
Motion Approved.

A Closed Session of the thirty-eighth Council of the City of Berkley, Michigan was called to order at 3:05 p.m. on Tuesday, June 22, 2021 by Mayor Terbrack.

**PRESENT:** Steve Baker, Berkley, Oakland County, Michigan  
Jack Blanchard, Berkley, Oakland County, Michigan  
Bridget Dean, Berkley, Oakland County, Michigan  
Ross Gavin, Berkley, Oakland County, Michigan  
Dennis Hennen, Berkley, Oakland County, Michigan  
Natalie Price, Berkley, Oakland County, Michigan  
Daniel Terbrack, Berkley, Oakland County, Michigan

Councilmember Blanchard moved to adjourn the Closed Session at 3:55 p.m.  
Seconded by Mayor Pro Tem Dean  
Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack

Nays: None  
Motion Approved.

The electronic Special Meeting of the thirty-eighth Council of the City of Berkley, Michigan was called back to order at 3:55 p.m. on Tuesday, June 22, 2021 by Mayor Terbrack.

**PRESENT:** Steve Baker, Berkley, Oakland County, Michigan  
Jack Blanchard, Berkley, Oakland County, Michigan  
Bridget Dean, Berkley, Oakland County, Michigan  
Ross Gavin, Berkley, Oakland County, Michigan  
Dennis Hennen, Berkley, Oakland County, Michigan  
Natalie Price, Berkley, Oakland County, Michigan  
Daniel Terbrack, Berkley, Oakland County, Michigan

**ADJOURNMENT**

Mayor Pro Tem Dean moved to adjourn the Regular Meeting at 3:56 p.m.  
Seconded by Councilmember Baker  
Ayes: Blanchard, Dean, Gavin, Hennen, Price, Baker, and Terbrack  
Nays: None  
Motion Approved.



CITY OF BERKLEY  
CHECK WARRANT  
#1364  
JUNE 2021

Check Date	Check	Vendor Name	Description	Amount	Voided?
06/04/2021	60689	MICH MUN.LIABILITY & PROP POOL	CLAIM DEDUCTIBLE FOR YELLOW TAIL VENTURE	10,000.00	
06/11/2021	60690	NATIONWIDE RETIREMENT SOLUTIONS	EMPL. DEDUCT. (NATIONWIDE 457) - PR #10 EMPL. DEDUCT. (ROTH) - PR #10 (RE-ISSUE)	5,022.11 1,560.33	
				6,582.44	
06/10/2021	60691	ALERUS FINANCIAL	HEALTH CARE SAVINGS PLAN #6304 - PR #12	4,365.00	
06/10/2021	60692	MISDU	CHILD SUPPORT CASE NO. 913340822 - PR #1 CHILD SUPPORT CASE NO. 913286400 - PR #1 CHILD SUPPORT CASE NO. 913488854 - PR #1	82.99 128.05 64.14	
				275.18	
06/10/2021	60693	NATIONWIDE RETIREMENT SOLUTIONS	EMPL. DEDUCT. (NATIONWIDE 457) - PR #12 EMPL. DEDUCT. (ROTH) - PR #12	5,222.69 1,544.75	
				6,767.44	
06/10/2021	60694	VANTAGEPOINT TRNSFR AGENTS-107930	EE/ER CONTRIB. (401) - PR #12	570.77	
06/10/2021	60695	VANTAGEPOINT TRNSFR AGENTS-303792	EMPLOYEE DEDUCT. (ICMA 457) - PR #12 EMPLOYEE DEDUCT. - LOAN - PR #12	2,315.86 123.40	
				2,439.26	
06/10/2021	60696	VANTAGEPOINT TRNSFR AGENTS-706259	EMPLOYEE DEDUCT. (ICMA ROTH) - PR #12	105.00	
06/15/2021	60697	21ST CENTURY MEDIA - MICHIGAN	ORDINANCE SYNOPSIS	103.30	
06/15/2021	60698	AAA ICE CREAM CARTS	PROGRAM SUPPLIES	367.00	
06/15/2021	60699	ADKISON, NEED, ALLEN & RENTROP PLLC	MBL LAWSUIT CORRESPONDENCE	90.00	
06/15/2021	60700	ADT COMMERCIAL LLC	6/27/21 - 7/26/21 DPW ALARM MONITORING	81.63	
06/15/2021	60701	ADVANCE AUTO PARTS	#1/#19 BALL JOINTS #1 DPW TIE ROD END-APPLY CM 578192 DPW/PS/P&R	267.86 31.70 80.88	
				380.44	
06/15/2021	60702	ALLIED SCREEN & GRAPHIC	3445 ROBINA AVE.	50.00	
06/15/2021	60703	AMAZON CAPITAL SERVICES	HELMET LIGHT CLIPS SPOONS COFFEE & PLATES ICE MACHINE (REPLACEMENT) LAPTOP MEMORY IPHONE CASE SSD BRACKET SPACE HEATER DELL HDD ADAPTER HOLSTER - GABRIEL FILTERS FOR FRIDGE 1 CASE WIPES REMOVES CARCINOGENS/ASH/TOX	4.99 18.65 140.47 2,016.95 231.95 15.99 10.20 29.99 10.94 46.33 47.58 52.95	
				2,626.99	
06/15/2021	60704	AMCOMM TELECOMMUNICATIONS, INC.	OXFORD PARK CONDUIT INSTALL	7,347.50	
06/15/2021	60705	AMICI'S KITCHEN AND LIVING ROOM	BERKLEY BUCKS	220.00	
06/15/2021	60706	ANGANA SHAH	PARK BENCH DONATION	30.00	
06/15/2021	60707	ANNA MULVIHILL	3795 OAKSHIRE AVE.	50.00	
06/15/2021	60708	APPLIED IMAGING	DPW COPIER FINANCE COPIER	1.18 0.84	
				2.02	
06/15/2021	60709	ASHLEY MERZ	WORK IN THE CLERK'S OFFICE	56.00	
06/15/2021	60710	AT&T	ACCT. NO. 24854624000218 - 05/25/21 - 06	786.02	

06/15/2021	60711	AT&T	AT&T FIBER INTERNET	149.00
06/15/2021	60712	BELL EQUIPMENT COMPANY	#22 SWEEPER - FLANGE	1.14
			#22 SWEEPER NOZZLES & CONNECTORS	122.78
				<b>123.92</b>
06/15/2021	60713	BERKLEY DAD'S CLUB	PARK BENCH REFUND	30.00
06/15/2021	60714	BIG D LOCK CITY	EQUIPMENT MAINTENANCE	294.50
			KEYS	25.00
			KEYS FOR MCINERNEY	10.55
				<b>330.05</b>
06/15/2021	60715	BILLINGS LAWN EQUIPMENT	DPW BATTERIES / CHARGER	583.91
			DPW LAWN EQUIP. FILTERS	61.79
			P&R MOWER - BLADE & FILTER	116.60
				<b>762.30</b>
06/15/2021	60716	BLUE CROSS BLUE SHIELD OF MICH	MAY 2021 CLAIMS	117,229.43
06/15/2021	60717	BOOKPAGE	BOOKPAGE SUBSCRIPTION	588.00
06/15/2021	60718	CAMELOT CLEANERS	PRISONER BLANKETS - MAY	34.80
06/15/2021	60719	CARLETON EQUIPMENT	#19 DPW - FILTERS & SWITCH	235.52
06/15/2021	60720	CDW GOVERNMENT, INC.	SCANNER	331.55
			WINDOWS 10 LICENSES	1,158.66
				<b>1,490.21</b>
06/15/2021	60721	CHET'S RENT-ALL	EQUIPMENT MAINTENANCE	77.84
06/15/2021	60722	CINTAS	MED BOX REFILL	104.43
			CONTRACTUAL SERVICES	80.15
				<b>184.58</b>
06/15/2021	60723	CITY OF BERKLEY	BEAR'S 3 YR. DOG LICENSE	20.00
06/15/2021	60724	CITY OF BERKLEY-LIB PETTY CASH	PETTY CASH REIMBURSEMENT	116.93
06/15/2021	60725	CITY OF ROCHESTER HILLS	CAMP CONTRACTUAL	80.00
06/15/2021	60726	CLIMAX SOLAR	892 PRINCETON RD. - RE-ISSUE CHECK #6046	100.00
06/15/2021	60727	CMV LANDSCAPE & EQUIPMENT COMPANY	29001 WOODWARD CONCRETE ROAD REPAIR	7,956.00
			3878 ROBINA CONCRETE RD REPAIR/LEAD SERV	3,897.50
				<b>11,853.50</b>
06/15/2021	60728	CONTRACTORS CLOTHING CO.	UNIFORMS - S. YOUNG	210.30
06/15/2021	60729	CREGGER PLUMBING	DPW - GARAGE BACKFLOW TESTING	400.00
06/15/2021	60730	DANIEL PATRICK SCULLY	1340 HARVARD RD.	75.00
06/15/2021	60731	DAVID GELBACH	PRECINCT WORKER - RE-ISSUE CHECK #58979	230.00
06/15/2021	60732	DEALER AUTO PARTS SALES	PS PARTS - BATTERY	126.16
			PS PARTS - BATTERY	121.16
			PS PARTS - IGNITION COILS	70.64
			DPW / P&R PARTS	337.35
				<b>655.31</b>
06/15/2021	60733	DELL MARKETING LP	COMPUTER MONITORS	2,397.00
06/15/2021	60734	DELWOOD SUPPLY CO.	BUBBLER KIT	88.38
06/15/2021	60735	DETROIT BUILD, INC.	2733 COOLIDGE HWY. 2743	500.00
06/15/2021	60736	DU-ALL CLEANING INC.	CUSTODIAL SERVICES	1,350.00
			JANITORIAL SERVICES CITY HALL	1,300.00
			MONTHLY JANITORIAL	1,500.00
			DPW MAY 2021 CUSTODIAL SERVICES	700.00
			JANITORIAL SERVICES - MAY	2,000.00
			CUSTODIAL SERVICES - RE-ISSUE CHECK #587	3,350.00
				<b>10,200.00</b>
06/15/2021	60737	EARLE CONSTRUCTION LLC	2039 WILTSHIRE	65.00
06/15/2021	60738	EGANIX	JUNE 2021 - GREASE CONTROL/SEWERS	480.00

06/15/2021	60739	EJ USA, INC.	FLAGS	128.64
06/15/2021	60740	FAN GEAR JUNKIE	50 K9 TSHIRTS	675.00
06/15/2021	60741	FERGUSON WATERWORKS #3386	4" METER - ANDERSON MIDDLE SCHOOL	3,299.33
			NSF BLUE	193.30
			BALL CORP	473.61
				<b>3,966.24</b>
06/15/2021	60742	FRIENDS OF BERKLEY PARKS & REC.	PARK BENCH REFUND	60.00
06/15/2021	60743	GORDON FOOD SERVICE INC.	SENIOR PROGRAM SUPPLIES	98.20
06/15/2021	60744	GREAT WESTERN STATES SUPPLY LLC	POLICE BADGE STICKERS	513.51
06/15/2021	60745	GUARDIAN TRACKING, LLC	GUARDIAN TRACKING - ANNUAL	2,356.00
06/15/2021	60746	GUNNERS METERS & PARTS INC.	CLAMPS	710.00
06/15/2021	60747	HAFELI, STARAN, & CHRIST, P.C.	CITY ATTORNEY SERVICES	10,683.75
06/15/2021	60748	HENRY FORD @ WORK	PRE-EMPLOYMENT EXAM FOR E. BUDZINSKI	160.00
06/15/2021	60749	HYDROCORP	MAY 2021 CROSS CONNECTION SERVICES	1,658.00
06/15/2021	60750	INTEGRATED SUPPLY NETWORK	TOOLS (SOCKET SET)	219.98
			TOOLS - WRENCH SET	131.98
				<b>351.96</b>
06/15/2021	60751	INTERSTATE BILLING SERVICE	#17 DPW - VANE SENSOR	200.21
06/15/2021	60752	J SAF CONTRACTING INC	3060 GARDNER AVE.	75.00
06/15/2021	60753	J.H. HART URBAN FORESTRY	TREE REMOVAL - STUMP 5/24/21 - 5/28/21	5,368.00
			TREE TRIM, STUMP, LOG GRAPPLE 5/17/21 -	20,620.75
				<b>25,988.75</b>
06/15/2021	60754	JACK DEMMER FORD, INC.	DPW TRUCKS (ELEMENTS)	98.80
06/15/2021	60755	JACOB E. HAF	2259 BUCKINGHAM	5.00
06/15/2021	60756	JAY'S SEPTIC TANK SERVICE	CONTRACTUAL	115.00
			CONTRACTUAL	115.00
			CONTRACTUAL SERVICES (LAZENBY)	115.00
			CONTRACTUAL SERVICES (TENNIS COURTS)	287.50
				<b>632.50</b>
06/15/2021	60757	JCR SUPPLYEZELL SUPPLY	DISP - RE-ISSUE CHECK #60399	8.01
			SOAP & DISP. & EYESALINE - RE-ISSUE CHEC	321.55
				<b>329.56</b>
06/15/2021	60758	JESSIE URBAN-GUZMAN	CAMP REFUND	100.00
06/15/2021	60759	JLG HOSPITALITY GROUP LLC	BERKLEY BUCKS	180.00
06/15/2021	60760	JOHN R. SPRING & TIRE CENTER	DPW #1 OUTSIDE REPAIR (ALIGNMENT)	84.95
06/15/2021	60761	KANOPY, INC.	KANOPY DIGITAL CONTENT	127.00
06/15/2021	60762	KONICA MINOLTA BUSINESS SOLUTIONS	COPIER CHARGES	106.07
			OFFICE EQUIPMENT RENTAL	99.00
			DPW COPIER	82.85
			PDF OPTION	9.10
			CITY HALL COPIER	414.10
				<b>711.12</b>
06/15/2021	60763	KRISTEN WOZNAK	CAMP REFUND	422.00
			CAMP REFUND	165.00
				<b>587.00</b>
06/15/2021	60764	LARRY'S WELDING SUPPLY	CYLINDER RENTAL MAY 2021	62.65
06/15/2021	60765	LAW OFFICES OF JEFFREY S. KRAGT	PROFESSIONAL SERVICES THROUGH MAY 31, 20	497.25
06/15/2021	60766	LEGACY TITLE AGENCY	SIDWELL #04-25-17-408-029 - RE-ISSUE CHE	128.49
06/15/2021	60767	LINDA HUYGHE	PARK BENCH REFUND	30.00
06/15/2021	60768	MACKELLAR PROMOTIONAL MARKETING	CAMP CONTRACTUAL	1,857.00
06/15/2021	60769	MAD SCIENCE OF DETROIT	MAD SCIENCE SUMMER READING	249.00
06/15/2021	60770	MALONEY TRUCKING	HAUL IN / HAUL OUT TOPSOIL & DIRT	1,130.00
06/15/2021	60771	MCKENNA	PARK BENCH DONATION	30.00
06/15/2021	60772	METRO PUMP SERVICE	MAY 2021 FUEL ISLAND MAINT.	477.95
06/15/2021	60773	MICHELLE MYNDERSE	CAMP REFUND	77.00
06/15/2021	60774	MIDWEST TAPE	HOOPLA DIGITAL CONTENT	861.86

06/15/2021	60775	MIKE KERBY	PARK BENCH REFUND	30.00
06/15/2021	60776	MIRACLE RECREATION	LAND IMPROVEMENTS	44,425.00
06/15/2021	60777	MOTOR CITY FASTENER, LLC	DPW PARTS - SCREWS	159.00
06/15/2021	60778	MR. KABOB	GAS & PROPANE	153.44
06/15/2021	60779	MR. ROOF HOLDING COMPANY LLC	2714 BUCKINGHAM RD.	75.00
06/15/2021	60780	NATALIE PRICE	PARK BENCH REFUND	30.00
06/15/2021	60781	NEWEGG BUSINESS, INC.	COMPUTER MEMORY	48.13
06/15/2021	60782	NOLAN LANGLOIS	1841 EATON	15.00
06/15/2021	60783	NORFIELD DEVELOPMENT PARTNERS, LLC	MISS DIG SOFTWARE JUNE 2021	199.00
06/15/2021	60784	NORTHERN HOME BUILDERS LLC	3824 CATALPA	640.00
06/15/2021	60785	NYE UNIFORM	BELT KEEPERS & MACE CASE - MCINERNEY	41.50
			UNIFORMS NEW HIRE - MCINERNEY	1,447.84
				<b>1,489.34</b>
06/15/2021	60786	NYE UNIFORM EAST	ACO - NYLON BELT KEEPERS & RADIO HOLDER	93.00
06/15/2021	60787	OAKLAND COMMUNITY COLLEGE/CREST	PAPKE - SWAT ADV. POLICE TRNG.	360.00
06/15/2021	60788	OAKLAND COUNTY	MAY 2021 SEWAGE TREATMENT	238,366.09
06/15/2021	60789	OLIVER HOME IMPROVEMENT	2669 SUNNYKNOLL AVE.	75.00
			2822 CENTRAL AVE.	50.00
				<b>125.00</b>
06/15/2021	60790	ON DUTY GEAR	BODY ARMOR REPLACEMENT FOR # 452, 451, &	3,420.00
06/15/2021	60791	OVERDRIVE, INC.	OVERDRIVE DIGITAL CONTENT	1,083.88
06/15/2021	60792	PARTSMASTER	DPW - OPEN/SHUT AEROSOL	58.71
			PARTS FOR DPW/PS/P&R	62.54
				<b>121.25</b>
06/15/2021	60793	PITNEY BOWES GLOBAL FINANCIAL SERV.	DPW FOLDER 3/30/21 - 6/29/21	924.72
06/15/2021	60794	PITNEY BOWES INC.	PSX LETTER SORT FEE FOR APRIL 2021	77.31
			PSX APRIL 2021 - PROGRAM FEE	5.00
				<b>82.31</b>
06/15/2021	60795	POWERDMS, INC.	POWERDMS	7,053.58
06/15/2021	60796	PRESIDIO NETWORKED SOLUTIONS GROUP	WIRELESS NETWORK ADAPTER	83.54
06/15/2021	60797	QUANTUM SERVICES GROUP, LLC	SERVER/FIREWALL MONITORING	539.00
			SERVER BACKUP SYSTEM	400.00
			SERVER/FIREWALL MONITORING	539.00
				<b>1,478.00</b>
06/15/2021	60798	RACHAEL CAUDILL	PARK BENCH REFUND	30.00
06/15/2021	60799	RKA PETROLEUM COS, INC	#2 ULTRA LOW SULFUR DIESEL	1,467.55
06/15/2021	60800	ROCHESTER MIDLAND	SANOR SERVICE FOR CITY HALL	71.47
06/15/2021	60801	RON LAING	PARK BENCH DONATION	30.00
06/15/2021	60802	S/E OAK. CTY WATER AUTHORITY	MAY 2021 - BULK WATER	74,421.25
06/15/2021	60803	S/E OAK.CTY RESOURCE REC. AUTH	TRASH, RECYCLE, PICK UPS 5/16/21 - 5/31/	49,953.00
06/15/2021	60804	SALIENT SIGN STUDIO	2733 COOLIDGE HWY. 2743	50.00
06/15/2021	60805	SEHI COMPUTER PRODUCTS	SECURITY CAMERA SWITCHES	7,464.00
			HP TONER CARTRIDGES	720.56
				<b>8,184.56</b>
06/15/2021	60806	SJR PAVEMENT REPAIR	SPRAY PATCH - HARVARD, EARLMONT, OAKSHIR	24,941.51
06/15/2021	60807	SPARTAN DISTRIBUTORS INC.	EQUIPMENT	19,964.50
06/15/2021	60808	SPONSORSHIP SOLUTIONS LLC	SUMMERFEST CONTRACTUAL	900.00
06/15/2021	60809	STAPLES	ENVELOPES, TAPE, PENS, PAINT MARKERS	135.72
			OFFICE SUPPLIES	400.66
			DPW SUPPLIES - INK, CLIPS, GLUESTICKS	199.15
			CAMP PROGRAM SUPPLIES	38.17
				<b>773.70</b>
06/15/2021	60810	STATE OF MICH-DEPT OF TREASURY	MAY 2021 MI TAX WITHHOLDING FOR ACTIVES	20,001.98
06/15/2021	60811	STATE OF MICH-DEPT OF TREASURY	MAY 2021 MI TAX WITHHOLDING FOR RETIREES	3,063.75

06/15/2021	60812	STEPHANIE SPUNT	PRECINCT WORKER - RE-ISSUE CHECK #59120	230.00
06/15/2021	60813	STICKY FINGERS COOKING REAL V LLC	PROGRAM FEE	125.00
06/15/2021	60814	SUMMER WALKER	PARK BENCH DONATION	30.00
06/15/2021	60815	T & F CONSTRUCTION INC.	2913 CUMMINGS AVE.	75.00
06/15/2021	60816	T-MOBILE	T-MOBILE WIFI HOTSPOTS	89.58
06/15/2021	60817	TECHRADIUM, INC.	ANNUAL IRIS SERV. FEE	88.00
06/15/2021	60818	TELVUE CORPORATION	DIGITAL SIGNAGE ADAPTERS	7,286.00
06/15/2021	60819	THE LUNCH CAFE	SENIOR CONTRACTUAL	324.00
06/15/2021	60820	THE PRINT STOP, INC	1000 ENVELOPES 200 GOLF OUTING LETTERS	363.00
			VEH. RELEASE RECEIPT BOOKS (4)	100.00
				<b>463.00</b>
06/15/2021	60821	TIA WALLINGTON	CAMP REFUND	1,370.00
06/15/2021	60822	TRANSUNION RISK AND ALTERNATIVE	INVEST. SERV.	114.00
06/15/2021	60823	TREDROC TIRE SERVICES LLC	PS TIRES	961.10
06/15/2021	60824	TRINITY TRANSPORTATION	CAMP CONTRACTUAL	350.00
			CAMP CONTRACTUAL	350.00
			CAMP CONTRACTUAL	350.00
			CAMP CONTRACTUAL	350.00
			CAMP CONTRACTUAL	350.00
			CAMP CONTRACTUAL	350.00
			CAMP CONTRACTUAL	350.00
			CAMP CONTRACTUAL	350.00
				<b>2,800.00</b>
06/15/2021	60825	TRUCK & TRAILER SPECIALTIES, INC.	NEW #44 - BODIES	35,412.30
			NEW #44 - BUILD OUT	3,230.11
			NEW #44 - BUILDOUT	121,436.70
			NEW #44 - BODIES	25,386.90
				<b>185,466.01</b>
06/15/2021	60826	VERIZON WIRELESS	FOR SERVICE 04/21/21 - 05/20/21	1,837.42
			FOR SERVICE 05/02/21 - 06/01/21	228.06
				<b>2,065.48</b>
06/15/2021	60827	VITRINE GALLERY AND GIFTS	BERKLEY BUCKS	580.00
06/15/2021	60828	WEINGARTZ	P&R MOWER (GASKETS)	6.38
06/15/2021	60829	WINDER POLICE EQUIPMENT	#44 NEW BUILD RADIO / EMERGENCY EQUIPMEN	2,333.82
			#411 NEW BUILD EMERGENCY EQUIPMENT	2,017.35
			#411 NEW BUILD LABOR INVOICE	2,460.00
			411 NEW BUILD EMERGENCY EQUIPMENT	800.20
			411 NEW BUILD EMERGENCY EQUIPMENT	2,330.62
			EMERGENCY MIRROR LIGHTS ON UNIT 41	1,590.73
			BUILD OF NEW #44 EMERGENCY LIGHTING	2,337.90
			#44 NEW BUILD EMERGENCY EQUIPMENT	2,343.50
			#44 NEW BUILD LABOR INVOICE	4,495.00
			#411 NEW BUILD EMERGENCY EQUIPMENT	2,282.80
				<b>22,991.92</b>
06/15/2021	60830	WINDSTREAM	PHONE SERVICE	628.13
06/15/2021	60831	WOW! BUSINESS	CABLE	35.69
			WOW INTERNET SERVICE	220.99
				<b>256.68</b>
06/15/2021	60832	XEROX CORPORATION	XEROX USER FEES 4/21 - 05/21/21	76.22
06/24/2021	60833	ALERUS FINANCIAL	HEALTH CARE SAVINGS PLAN #6304 - PR #13	4,415.00
06/24/2021	60834	HOME DEPOT CREDIT SERVICES	WIRING SUPPLIES	62.97
06/24/2021	60835	MISDU	CHILD SUPPORT CASE NO. 913340822 - PR #1	82.99
			CHILD SUPPORT CASE NO. 913286400 - PR #1	128.05
			CHILD SUPPORT CASE NO. 913488854 - PR #1	64.14
				<b>275.18</b>
06/24/2021	60836	NATIONWIDE RETIREMENT SOLUTIONS	EMPL. DEDUCT. (NATIONWIDE 457) - PR #13	5,406.66

			EMPL. DEDUCT. (ROTH) - PR #13	1,571.11
				<b>6,977.77</b>
06/24/2021	60837	VANTAGEPOINT TRNSFR AGENTS-107930	EE/ER CONTRIB. (401) - PR #13	<b>570.77</b>
06/24/2021	60838	VANTAGEPOINT TRNSFR AGENTS-303792	EMPLOYEE DEDUCT. (ICMA 457) - PR #13	2,374.78
			EMPLOYEE DEDUCT. - LOAN - PR #13	123.40
				<b>2,498.18</b>
06/24/2021	60839	VANTAGEPOINT TRNSFR AGENTS-706259	EMPLOYEE DEDUCT. (ICMA ROTH) - PR #13	<b>105.00</b>
06/30/2021	60840	24 SECONDS BAR	OAKLAND COUNTY RESTAURANT RELIEF	<b>1,266.90</b>
06/30/2021	60841	4IMPRINT	PROMO ITEM - KIDS BUBBLES	<b>388.00</b>
06/30/2021	60842	A & M SERVICE CENTER INC.	#21-2758 VEH BROUGHT IN FOR PROCESSING	<b>120.00</b>
06/30/2021	60843	ADVANCE AUTO PARTS	OIL FILTERS	23.84
			DPW GARAGE - AUTO BODY MASKING TAPE	54.52
			#71 DPW LUBE (GARBAGE TRUCK)	19.77
			MISC. PARTS FOR DPW / PS / P&R	92.00
			FLUID FILM FOR DPW/PS/P&R	60.66
				<b>250.79</b>
06/30/2021	60844	ADVANCED MARKETING PARTNERS, INC.	PRINTING OF SUMMER TAX BILLS	<b>387.00</b>
06/30/2021	60845	AIRGAS USA, LLC	CYLINDER RENTAL - MAY 2021	<b>30.62</b>
06/30/2021	60846	ALAYNA SCHRAFFENBERGER	LNO REIMBURSEMENT	<b>49.30</b>
06/30/2021	60847	AMANDA WOODS	CAMP REFUND	<b>143.00</b>
06/30/2021	60848	AMAZON CAPITAL SERVICES	REPLACEMENT WALL CLOCK	18.61
			WIRELESS NETWORK ADAPTER	44.99
			FOLDING TABLE	48.25
			BROCHURE HOLDER	41.97
			IPHONE ADAPTER	15.98
			SCREEN CLEANER	14.82
			TV MOUNTS	159.98
			BATTERIES / METER READERS / METAL DETECT	420.38
			DPW TRUCK TRAILER HITCHES	100.72
			TRAILER HITCHES - TRUCKS	13.29
			PROMO ITEM FOR BHWTA TRIP	21.99
				<b>900.98</b>
06/30/2021	60849	AMICI'S KITCHEN AND LIVING ROOM	OAKLAND COUNTY RESTAURANT RELIEF	<b>1,266.90</b>
06/30/2021	60850	ANDREANO CONSTRUCTION LLC	3829 PRAIRIE AVE.	<b>1,000.00</b>
06/30/2021	60851	ANTO GLASS BLOCK INC.	4139 ROBINA AVE.	<b>50.00</b>
06/30/2021	60852	APPLIED IMAGING	COPIER USAGE	<b>7.72</b>
06/30/2021	60853	AQUA-FLO	3268 CATALPA SPRINKLER SYSTEM REPAIR / S	<b>65.00</b>
06/30/2021	60854	ARMSTRONG PLUMBING, SEWER AND DRAIN	4232 GREENFIELD RD.	<b>500.00</b>
06/30/2021	60855	ASHLEY MERZ	WORK IN THE CLERK'S OFFICE	<b>126.00</b>
06/30/2021	60856	ASHOR ASSOCIATES LLC	2312 PHILLIPS AVE.	<b>100.00</b>
06/30/2021	60857	ASI SIGNAGE INNOVATIONS	28105 WOODWARD AVE.	<b>50.00</b>
06/30/2021	60858	BASIC	ADMINISTRATION FEE FOR JUNE 2021	<b>80.00</b>
06/30/2021	60859	BCM HOME IMPROVEMENT	738 COLUMBIA RD.	<b>75.00</b>
06/30/2021	60860	BELFOR USA GROUP INC.	3544 KENMORE RD.	<b>100.00</b>
06/30/2021	60861	BELL EQUIPMENT COMPANY	#22 SWEEPER MISC. PARTS	969.35
			#22 SWEEPER PRESSURE SWITCH	121.10
			#22 SWEEPER HYDRAULIC FILTER	585.62
			#22 SWEEPER - SPRAY NOZZLE	5.39
				<b>1,681.46</b>
06/30/2021	60862	BELLE ISLE AWNING CO	1850 ELEVEN MILE RD.	<b>50.00</b>
06/30/2021	60863	BEN BANCROFT	CONTRACTUAL GIRLS BBALL	<b>2,004.97</b>
06/30/2021	60864	BERKLEY COMMON	OAKLAND COUNTY RESTAURANT RELIEF	<b>1,266.90</b>
06/30/2021	60865	BIG D LOCK CITY	EQUIPMENT SUPPLIES	22.70
			KEYS (DPW)	1.89
				<b>24.59</b>
06/30/2021	60866	BILLINGS LAWN EQUIPMENT	DPW LAWN EQUIP. - GASKETS	5.07
			DPW LAWN EQUIPMENT PARTS	41.73
			P&R MOWER - GASKET / MUFFLER	1.84

				<b>48.64</b>
06/30/2021	60867	BS & A SOFTWARE	TRAINING - GL, FA, CR	<b>2,000.00</b>
06/30/2021	60868	CADEN CONSTRUCTION	1340 HARVARD RD.	<b>75.00</b>
06/30/2021	60869	CAPITAL PLUMBING	3701 PHILLIPS AVE.	<b>500.00</b>
06/30/2021	60870	CARLESIMO PRODUCTS, INC.	MANHOLE PIPES - COVER	<b>711.60</b>
06/30/2021	60871	CASHWAY BUILDING CO	2519 ELLWOOD AVE.	<b>500.00</b>
06/30/2021	60872	CATALYST MEDIA FACTORY	MEDIA RELATIONS	<b>390.00</b>
06/30/2021	60873	CDW GOVERNMENT, INC.	TEMPERATURE SENSOR	208.47
			COUNCIL CHAMBERS TVS	1,676.28
			DOCUMENT SCANNER	331.55
			OFFICE PC MEMORY MODULES	146.89
				<b>2,363.19</b>
06/30/2021	60874	CINTAS	CITY HALL MATS JUNE 2021	176.20
			CITY HALL MATS	176.20
			DPW FIRST AID SUPPLIES	77.55
				<b>429.95</b>
06/30/2021	60875	CITY OF BERKLEY-TREASURY PETTY CASH	PETTY CASH REIMBURSEMENT	<b>535.49</b>
06/30/2021	60876	CMV LANDSCAPE & EQUIPMENT COMPANY	2259 BACON / PRIVATE CONCRETE RD. REPAIR	8,500.00
			2705 GRIFFITH CONCRETE RD. REPAIR/PRIVAT	1,440.00
			2972 COOLIDGE CONCRETE RD. REPAIR	2,808.00
			1412 PRINCETON CONCRETE RD. REPAIR / PRI	641.25
			3753 KIPLING CONCRETE RD. REPAIR / PRIVA	581.25
			2100 BACON CONCRETE RD. REPAIR / PRIVATE	620.00
			3599 GARDNER CONCRETE RD. REPAIR / PRIVA	2,625.00
				<b>17,215.50</b>
06/30/2021	60877	COCO FAIRFIELD'S	OAKLAND COUNTY RESTAURANT RELIEF	<b>1,266.90</b>
06/30/2021	60878	CONSTRUCTION GENIUS GROUP LLC	1845 TYLER AVE.	<b>100.00</b>
06/30/2021	60879	CONTRACTORS CLOTHING CO.	UNIFORMS - J. GROZDE	<b>256.47</b>
06/30/2021	60880	CONTRACTORS CONNECTION	#54 - CONCRETE SAW BLADE	2,400.00
			SAFETY VESTS	537.00
			WORK ZONE SIGNS	108.70
				<b>3,045.70</b>
06/30/2021	60881	CREGGER PLUMBING	3060 GARDNER AVE.	500.00
			3834 OAKSHIRE AVE.	500.00
				<b>1,000.00</b>
06/30/2021	60882	DACO CONSTRUCTION INC.	3336 KIPLING AVE.	<b>75.00</b>
06/30/2021	60883	DANA STEVENS ARBORIST, INC.	MULTIPLE SITES IN CITY TREES INSPECTION	<b>200.00</b>
06/30/2021	60884	DEALER AUTO PARTS SALES	EQUIPMENT MAINTENANCE	<b>475.27</b>
06/30/2021	60885	DELL MARKETING LP	DPW GARAGE LAPTOP	<b>1,676.47</b>
06/30/2021	60886	DORIS SHEIKH	SENIOR CONTRACTUAL	<b>102.90</b>
06/30/2021	60887	DU-ALL CLEANING INC.	JANITORIAL SERVICES	1,500.00
			CUSTODIAL SERVICES	1,350.00
			CUSTODIAL SERVICES	1,350.00
				<b>4,200.00</b>
06/30/2021	60888	DURST LUMBER CO	MISC. ITEMS	<b>481.97</b>
06/30/2021	60889	ECOWORKS	ENERGY CONSULTING	<b>6,150.21</b>
06/30/2021	60890	EJ USA, INC.	GATE VALVES & MEGA LUGS	932.00
			FLG REPAIR KIT	128.60
			HARDWARE	79.85
				<b>1,140.45</b>
06/30/2021	60891	FEDEX OFFICE	FOIA COPIES	21.18
			FOIA COPIES	42.36

				<b>63.54</b>
06/30/2021	60892	FERGUSON WATERWORKS #3386	BALL VALVES	<b>156.44</b>
06/30/2021	60893	FORCE SCIENCE INSTITUTE	DT COURSE FOR SGT. PAPKE & 1 OTHER OFFIC	<b>3,300.00</b>
06/30/2021	60894	FOUNDATION SYSTEMS OF MICHIGAN	2827 GARDNER AVE.	<b>100.00</b>
06/30/2021	60895	FRONT LINE SERVICES, INC.	NEW FIRE FOAM TRAINING	3,532.50
			REPLACEMENT HOSE S-4	1,398.31
			MCINERNEY - NEW HIRE FIRE GEAR	<u>3,124.95</u>
				<b>8,055.76</b>
06/30/2021	60896	GABRIEL ROEDER SMITH & COMPANY	RETIREMENT BENEFIT STATEMENTS AS OF JUNE	2,080.00
			ACTUARIAL SERVICES DURING 2020-2021 PLAN	12,500.00
			SERVICE PURCHASE CALCS FOR ONESKO & FROS	2,600.00
			ACTUARIAL SERVICES FOR K. HERRIMAN	<u>1,300.00</u>
				<b>18,480.00</b>
06/30/2021	60897	GINA HAROLD	REIMBURSEMENT FOR WINDSHIELD FROM TRAINI	<b>200.00</b>
06/30/2021	60898	GOLD STAR PROPERTY RESTORATION INC.	2256 OXFORD RD.	<b>50.00</b>
06/30/2021	60899	GORDON FOOD SERVICE INC.	SUMMERFEST SUPPLIES	151.43
			PROGRAM SUPPLIES	<u>56.88</u>
				<b>208.31</b>
06/30/2021	60900	GRAINGER	DPW PARTS - PUMP DIAPHRAGM	<b>386.04</b>
06/30/2021	60901	GREAT LAKES PEST CONTROL CO	MONTHLY PEST CONTROL	75.00
			DDA PEST CONTROL	40.00
			PEST CONTROL CITY HALL	60.00
			DPW PEST CONTROL JUNE 2021	<u>40.00</u>
				<b>215.00</b>
06/30/2021	60902	GREAT LAKES WATER AUTHORITY	IWC MAY 2021	<b>3,068.69</b>
06/30/2021	60903	GREEN LANTERN	OAKLAND COUNTY RESTAURANT RELIEF	<b>1,266.90</b>
06/30/2021	60904	GRENNAN CONSTRUCTION	3981 CUMBERLAND RD.	<b>50.00</b>
06/30/2021	60905	GUNNERS METERS & PARTS INC.	CLAMPS, COUPLING, COPPER TUBING	<b>950.00</b>
06/30/2021	60906	HONORS	NAME BADGES	<b>21.20</b>
06/30/2021	60907	HUNT SIGN CO LTD	PUSH BUTTON FOR COOLIDGE CROSSWALK	144.00
			PLANNING / WAYFINDING	<u>4,544.00</u>
				<b>4,688.00</b>
06/30/2021	60908	INTERSTATE BILLING SERVICE	RADIO/GATOR	263.09
			P&R - NEW TRACTOR	<u>858.48</u>
				<b>1,121.57</b>
06/30/2021	60909	J.H. HART URBAN FORESTRY	TREE TRIM / STUMP 6/14/21 - 6/18/21	5,311.00
			TREE TRIM / STUMP 6/7/21 - 6/11/21	5,090.00
			TREE TRIM & STUMP 5/31/21 - 6/4/21	<u>4,729.50</u>
				<b>15,130.50</b>
06/30/2021	60910	JACK DEMMER FORD, INC.	PS RIMS	905.20
			#77 (P&R) BATTERY - APPLY CM796999	<u>121.00</u>
				<b>1,026.20</b>
06/30/2021	60911	JAMES AQWA	3141 ROBINA AVE.	<b>800.00</b>
06/30/2021	60912	JAY'S SEPTIC TANK SERVICE	CONTRACTUAL LAZENBY	115.00
			CONTRACTUAL (TENNIS COURTS)	<u>230.00</u>
				<b>345.00</b>
06/30/2021	60913	JCR SUPPLY / EZELL SUPPLY	PAPER TOWELS	<b>203.14</b>
06/30/2021	60914	JORDAN KOBERNICK	REIMBURSEMENT FOR A CONDENSATE PUMP	<b>77.59</b>
06/30/2021	60915	JOSEPH SERMO	BOYS BBALL CONTRACTUAL	<b>2,014.25</b>
06/30/2021	60916	KASCO INC.	LOBBY RENO.	<b>14,583.30</b>

06/30/2021	60917	KEARNS BROS. INC.	1249 LARKMOOR BLVD. 2729 BACON AVE.	65.00 75.00
				<b>140.00</b>
06/30/2021	60918	KIM JERDINE	CAMP REFUND	<b>670.00</b>
06/30/2021	60919	KONICA MINOLTA BUSINESS SOLUTIONS	PAYMENT FOR CITY HALL COPIER	<b>406.70</b>
06/30/2021	60920	LAKE ORION PLUMBING & HEATING	1627 PRINCETON RD.	<b>1,500.00</b>
06/30/2021	60921	LAKEVIEW CONTRACTING INC.	1949 TYLER AVE.	<b>1,500.00</b>
06/30/2021	60922	LAWSON PRODUCTS, INC.	PARTS FOR DPW/PS/P&R DPW GARAGE - ELECTRICAL DPW TOOLS/PARTS FOR DPW/PS/P&R PARTS FOR DPW/PS/P&R NUTS/BOLTS FOR DPW/PS/P&R	699.13 56.03 1,528.79 43.03 120.15
				<b>2,447.13</b>
06/30/2021	60923	LEACH CONSTRUCTION, LLC	3252 CATALPA DR.	<b>75.00</b>
06/30/2021	60924	LYNN MAZANKA	1628 WEST BLVD.	<b>75.00</b>
06/30/2021	60925	MAIN DRAIN SEWER & REPAIR LLC	4236 PHILLIPS AVE. 2428 CAMBRIDGE RD. 2428 CAMBRIDGE RD.	1,000.00 500.00 1,000.00
				<b>2,500.00</b>
06/30/2021	60926	MAJIK GRAPHICS, INC.	DECALS & OUTSIDE GRAPHICS FOR #64 / #16 OUTSIDE VEHICLE REPAIR #44 - GRAPHICS F.D. TSHIRTS - TRAINING SHIRTS	392.00 160.00 1,646.00
				<b>2,198.00</b>
06/30/2021	60927	MALONEY TRUCKING	HAUL IN FILL SAND HAUL IN/OUT DIRT & FILL SAND	535.00 4,740.00
				<b>5,275.00</b>
06/30/2021	60928	MARATHON	GAS/OIL FOR COLD PATCH MACHINE - RE-ISSU	<b>22.50</b>
06/30/2021	60929	MARK SAWICKI	1992 DOROTHEA RD.	<b>800.00</b>
06/30/2021	60930	MERCURY PROMOTIONS & FULFILLMENT	SPLASH PAD OPENING - PROMO ITEM	<b>3,102.75</b>
06/30/2021	60931	MERS OF MICHIGAN	SERVICE CREDIT PURCHASE FOR SHAWN YOUNG	<b>47,835.00</b>
06/30/2021	60932	MICH ASSOC OF MUN CLERKS	MIPMC APPLICATION	<b>140.00</b>
06/30/2021	60933	MICHELLE MYNDERSE	CAMP REFUND	<b>77.00</b>
06/30/2021	60934	MICHIGAN GRAPHICS & AWARDS	MAINTENANCE SUPPLIES	<b>25.00</b>
06/30/2021	60935	MICHIGAN MUNICIPAL LEAGUE	DDA JOB POSTING	<b>25.56</b>
06/30/2021	60936	MICHIGAN PETROLEUM	OIL MECHANIC - APPLY CM 22850 FLUID/OIL (MECHANIC)	272.70 1,275.20
				<b>1,547.90</b>
06/30/2021	60937	MITCHELL D. & MICHELLE L. ERICKSON	3183 GRIFFITH AVE.	<b>50.00</b>
06/30/2021	60938	MNC & ANC PROFESSIONAL SERVICES	EQUIPMENT MAINTENANCE	<b>4,190.00</b>
06/30/2021	60939	MOTOROLA	RADIO EQUIP. RADIO EQUIP.	3,097.50 4,896.00
				<b>7,993.50</b>
06/30/2021	60940	MR. ROOF HOLDING COMPANY LLC	3035 GRIFFITH AVE.	<b>75.00</b>
06/30/2021	60941	MUNICODE	ONLINE CODE ADMIN. MUNICODE FEE	700.00 350.00
				<b>1,050.00</b>
06/30/2021	60942	NELSON BROTHERS SEWER & PLUMBING	PLUMBING REPAIR 2143 ROBINA AVE. PLUGGED TOILET / REPAIRS	468.00 1,000.00 130.00
				<b>1,598.00</b>

06/30/2021	60943	NEW MOON VISIONS, INC.	BRAND REFRESH, GUIDE, & AD CAMPAIGN	3,091.66
06/30/2021	60944	NYE UNIFORM	BEAR BADGE	125.00
			3 PANTS, 1 L/S SHIRT, 1 DUTY BELT - CHIL	342.97
				<b>467.97</b>
06/30/2021	60945	O'REILLY AUTOMOTIVE, INC.	ACO TRUCK BATTERY	283.38
			CONSOLE, 3 PK PAPER OLD 48 / NEW 417 - G	18.98
			VEH CLEANING SUPPLIES	88.92
				<b>391.28</b>
06/30/2021	60946	OAKLAND COUNTY	REAL PROP/PERSONAL PROP ASSESSMENTS	113,296.96
06/30/2021	60947	OLIVER CONSTRUCTION	1292 DOROTHEA RD.	1,500.00
			1895 COLUMBIA RD.	1,500.00
			1907 COLUMBIA RD.	1,500.00
			1800 ROYAL AVE.	1,500.00
				<b>6,000.00</b>
06/30/2021	60948	OLSON ROOFING AND SIDING INC.	2193 TYLER AVE.	75.00
06/30/2021	60949	P. A. MORRIS COMPANY	MEETING ATTENDANCE/MINUTES FOR 06/09/21	150.00
06/30/2021	60950	PITNEY BOWES GLOBAL FINANCIAL SERV.	LEASE	680.01
06/30/2021	60951	PK CONTRACTING	LAND IMPROVEMENTS	950.00
06/30/2021	60952	QUANTUM SERVICES GROUP, LLC	SERVER BACKUP SYSTEM	400.00
06/30/2021	60953	RACHAEL CARPENTER	CAMP REFUND	318.00
06/30/2021	60954	RAL LAWN & SHRUB CARE	LAWN TREATMENT - CITY HALL	126.00
06/30/2021	60955	READY DIG EXCAVATION	3861 PHILLIPS AVE.	500.00
06/30/2021	60956	REPUBLICA	OAKLAND COUNTY RESTAURANT RELIEF	1,266.90
06/30/2021	60957	RKA PETROLEUM COS, INC	89 MIDGRADE GAS FUEL/OIL	14,807.51
			#2 ULTRA LOW SULFUR DIESEL	1,656.95
				<b>16,464.46</b>
06/30/2021	60958	ROAD COMMISSION OF OAKLAND CO	SIGNAL MAINT. / MAY 2021	1,349.47
06/30/2021	60959	ROBERT SCHILLING	1796 TYLER AVE.	50.00
06/30/2021	60960	S & B LANDSCAPING	MISC. LAWN REPAIRS DAMAGED BY ROAD REPAI	430.00
06/30/2021	60961	S/E OAK.CTY RESOURCE REC. AUTH	MAY 2021 CITY PICK-UPS & SPECIALS	1,150.17
			TRASH, RECYCLE PICK-UPS MAY 2021 (MID-MO	43,649.00
				<b>44,799.17</b>
06/30/2021	60962	SARAH TUPICA BERARD	CAMP REFUND	1,245.00
06/30/2021	60963	SCOTT JENNEX	REIMBURSEMENT FOR THE HENRY FORD RESERVA	272.00
06/30/2021	60964	SJR PAVEMENT REPAIR	SPRAY PATCH - TYLER, GARDNER, BACON, & G	20,071.58
			SPRAY PATCH - WILTSHIRE & BACON	20,554.08
				<b>40,625.66</b>
06/30/2021	60965	STATE CRUSHING, INC.	CRUSHED CONCRETE	81.70
			CRUSHED CONCRETE	277.00
			CRUSHED CONCRETE	204.74
			CRUSHED CONCRETE	171.65
			CRUSHED CONCRETE	108.72
				<b>843.81</b>
06/30/2021	60966	STATE OF MICHIGAN	BOILER INSPECTION	60.00
			DPW BOILER INSPECTION	60.00
				<b>120.00</b>
06/30/2021	60967	STATE WIRE & TERMINAL INC.	HOSE CLAMPS FOR DPW/PS/P&R	5.60
			MISC. PARTS FOR DPW/PS/P&R	274.59
				<b>280.19</b>
06/30/2021	60968	STREET DUTY	PAPKE - PARKA MULTI CAM, LEG SHROUD W/ S	238.00
			1 CUFF / MAG POUCH	32.00

			2 HOLSTERS, 2 HOLSTER GUARDS	120.00
				<b>390.00</b>
06/30/2021	60969	SWANK MOTION PICTURES, INC.	SUMMERFEST CONTRACTUAL	<b>435.00</b>
06/30/2021	60970	TARGETSOLUTIONS LEARNING LLC	TRUCK CHECK PROGRAM	<b>738.37</b>
06/30/2021	60971	TEAM SPORTS INC.	PROGRAM SUPPLIES - GIRLS BBALL	<b>193.78</b>
06/30/2021	60972	THE LIBRARY NETWORK	INTERNET CIRCUIT	1,645.13
			BOOKS, CDS, DVDS, BOOKS ON CD	5,427.84
				<b>7,072.97</b>
06/30/2021	60973	THE PRINT STOP, INC	CAMP CONTRACTUAL	<b>65.00</b>
06/30/2021	60974	THOMAS JOSEPH BERTA	1838 WILTSHIRE RD.	<b>1,500.00</b>
06/30/2021	60975	TIMOTHY CHERVENAK	SOCCER CAMP PARTIAL REFUND	<b>29.00</b>
06/30/2021	60976	TREDROC TIRE SERVICES LLC	PS TIRES	<b>1,652.16</b>
06/30/2021	60977	TRESNAK CONSTRUCTION	2481 PHILLIPS AVE.	<b>100.00</b>
06/30/2021	60978	TROMBLEY EXCAVATING	1221 EATON RD.	<b>1,500.00</b>
06/30/2021	60979	TRUCK & TRAILER SPECIALTIES, INC.	OUTSIDE REPAIR - DUMPSTER BODY	<b>3,297.06</b>
06/30/2021	60980	VERIZON WIRELESS	FOR SERVICE 05/21/21 - 06/20/21	<b>1,704.50</b>
06/30/2021	60981	VICKIE NOVELL	REFUND FOR 2 LOST AND PAID BOOKS	<b>18.98</b>
06/30/2021	60982	VICTORIA MITCHELL	REIMBURSEMENT FOR DINNER WHILE AT INSTIT	11.51
			MILEAGE REIMBURSEMENT	160.16
				<b>171.67</b>
06/30/2021	60983	VINSETTA GARAGE	OAKLAND COUNTY RESTAURANT RELIEF	<b>1,266.90</b>
06/30/2021	60984	WARREN CONTRACTORS & DEVELOPMENT	LAND IMPROVEMENTS	<b>71,379.00</b>
06/30/2021	60985	WINDER POLICE EQUIPMENT	THERMAL IMAGE SYSTEM FOR UNIT #48	3,480.00
			FLARE BOX FOR POLICE VEHICLES	152.00
			NEW ELECTRICAL WIRING HARNESS FOR UNIT #	555.00
			LABOR FOR NEW BUILD #48 - APPLY CM 21117	1,149.60
			CONSOLE AND COMPUTER EQUIP. NEW #48	2,260.89
			PUSH BUMPER / REAR CARGO EQUIP. NEW #48	2,411.60
			EMERGENCY LIGHTS FOR NEW #48	1,839.70
			SIREN AND COMMUNICATION EQUIP. FOR NEW #	2,274.40
			NEW LIGHT BAR UNIT #48	2,084.00
			NEW BUILD OF UNIT #48	2,179.00
			ROAD FLARES FOR PATROL	268.00
				<b>18,654.19</b>
06/30/2021	60986	WOLVERINE FREIGHTLINER EASTSIDE	#43 - OUTSIDE REPAIR TO CHASSIS	<b>639.00</b>
Total of 298 Checks:				1,556,932.80
Less 0 Void Checks:				0.00
Total of 298 Disbursements:				1,556,932.80

CITY OF BERKLEY  
ACH TRANSFERS

VENDOR

6/10/2021	MERS	\$	82,937.94
6/11/2021	PSO UNION DUES	\$	800.00
6/11/2021	PS COMMAND UNION DUES	\$	360.00
6/11/2021	DPW UNION DUES	\$	308.00
6/11/2021	INTERNAL REVENUE SERVICE	\$	40,615.02
6/25/2021	PSO UNION DUES	\$	800.00
6/25/2021	PS COMMAND UNION DUES	\$	360.00
6/25/2021	INTERNAL REVENUE SERVICE	\$	46,090.59
6/28/2021	PITNEY BOWES	\$	4,000.00
		\$	<u>176,271.55</u>

We hereby certify that the foregoing is a true and correct list of bills and that they have been approved by the City Council and this is the authority to issue checks in the amounts stated and charge them in the various accounts.

\_\_\_\_\_  
*Daniel J. Terbrack, Mayor*

\_\_\_\_\_  
*Victoria Mitchell, City Clerk*

**AN ORDINANCE**

**of the Council of the City of Berkley, Michigan**  
**Amending Division 4 of Article VIII of Chapter 82, Offenses and Miscellaneous Provisions,**  
**of the City of Berkley Code of Ordinances to Prohibit the Possession and Use of Cigarettes,**  
**Tobacco, and Nicotine Products to Persons Under the Age of 21, and the Sale, Giving, or**  
**Furnishing of Cigarettes, Tobacco, and Nicotine Products, Including Electronic Cigarettes,**  
**to Persons Under the Age of 21, and to Prescribe Penalties for Violations.**

**THE CITY OF BERKLEY ORDAINS:**

**SECTION 1:** Division 4 of Article VIII of Chapter 82 of the Berkley Code of Ordinances shall be amended, as follows:

**Sec. 82-385. – Definition.**

For the purposes of this division, the following terms shall be defined as follows:

*Nicotine product* means the highly toxic alkaloid found in tobacco, presented in tobacco, or in some other form for ingestion, including, but not limited to water soluble nicotine containing substances and devices which deliver nicotine through vapor or other means for inhalation or ingestion, including electronic cigarettes, hookah pens, or other similar devices.

**Sec. 82-386. – Furnishing to minors.**

It shall be unlawful within the city for any person to sell, give to or in any way furnish any cigarettes, tobacco, or nicotine products in any form to any person under the age of 21 years. In an action for a violation of this section, proof that the defendant demanded and was shown, before selling, giving, or furnishing any cigarettes, tobacco, or nicotine product to a person under the age of 21, a driver's license or other bonafide photographic identification showing the person's age and identity, shall be a defense.

**Sec. 82-387. – Possession by minors.**

It shall be unlawful within the city for any person under the age of 21 years to possess or have on their person any cigarettes, tobacco, or nicotine products in any form.

**Sec. 82-388. – Use by minors in public places.**

No person under the age of 21 years shall smoke, inhale, ingest, or use cigarettes, tobacco, or nicotine products in any form on any public highway, street, alley, park or other lands used for public purposes, or in any public place of business or amusement.

**Sec. 82-389. – Harboring minors for purposes of indulgence; rights of parents.**

No person shall knowingly harbor any person under the age of 21 years or grant to persons under the age of 21 years the privilege of gathering upon or frequenting any property or lands held by him for the purpose of indulging in the use of cigarettes, tobacco, or nicotine products in any form; provided, however, that no part of this division shall be construed as to interfere with the right of parents or lawful guardians in the rearing and management of their minor children or wards within the bounds of their own private premises.

**Sec. 82-390. – Penalties.**

- (a) A person who violates sections 82-387 or 82-388 is responsible for a municipal civil infraction, with a fine up to \$100 or community service.
- (b) A person who violates sections 82-386 or 82-389 of this division is guilty of a misdemeanor, with a maximum penalty of up to 90 days in jail and/or a fine of up to \$500.

**SECTION 2:** Severability Clause

Should any word, phrase, sentence, paragraph, or section of this Ordinance be held invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

**SECTION 3:** Effective Date

This Ordinance shall become effective 30 days following the date of adoption.

**SECTION 4:** Publication

The City Council directs the City Clerk to publish a summary of this ordinance in compliance with Public Act 182 of 1991, as amended, and Section 6.5 of the Berkley City Charter.

Introduced on the First Reading at the Regular City Council Meeting on Monday, June 21, 2021.

Passed on the Second Reading at the Regular City Council Meeting on Monday, July 19, 2021.

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Daniel J. Terbrack  
Mayor

Attest:

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Victoria Mitchell  
City Clerk

**A RESOLUTION**  
**OF THE CITY COUNCIL OF THE CITY OF BERKLEY, MICHIGAN**  
**IN OPPOSITION TO LEGISLATION RESTRICTING VOTING RIGHTS**  
**OR INTERFERING WITH LOCAL CLERK ELECTION PROCEDURES**

**WHEREAS,** Full and open participation in our democracy is fundamental to our system of governance; and

**WHEREAS,** Berkley voters overwhelmingly voted in favor of Proposal 18-3 in the November 2018 General Election which enshrined various voting rights into the State of Michigan Constitution including universal ballots and other measures that expand access to the ballot; and

**WHEREAS,** The Berkley City Clerk conducted four elections since Proposal 3 without incident, including three which took place during the COVID-19 pandemic and during periods of unreliable mail delivery, and the City Clerk's secure ballot drop boxes were critical to allowing voters to exercise their right to vote without subjecting themselves or Election Workers to the risks posed by in-person voting; and

**WHEREAS,** The Secretary of State conducted a risk-limiting audit following the November 2020 General Election and found no evidence of widespread fraud or election irregularities, including Berkley's own audited precincts and all seven of Berkley's absentee voting precincts; and

**WHEREAS,** Several bills have been introduced in the Michigan Legislature that restrict voting rights including limiting the use of ballot drop boxes that are a safe and efficient way to cast a vote, limiting voting by mail to those with a copy machine to scan additional documentation, and giving election challengers stronger protections than poll workers on Election Day that could significantly lengthen in-person voting wait times; and

**WHEREAS,** Additional bills have been introduced in the Legislature which could negatively impact the local City Clerk's ability to properly administer elections including restricting the amount of time local clerks have to process absentee ballots that could significantly delay election results, creating unnecessarily strict requirements for the challenging and inspection process, eliminating the option for voters who do not have photo ID with them on Election Day to sign an affidavit affirming their identity before casting a ballot and instead mandating a provisional ballot be cast requiring additional time of poll workers and City Clerks, giving unelected canvassing boards more power to reject certification of legitimate elections, and requiring unreasonable time restraints that could prevent clerks from counting all valid ballots.

**NOW, THEREFORE, BE IT RESOLVED;**

**SECTION 1:** That the Council of the City of Berkley *stands in opposition* to any legislation or effort of Michigan legislators to restrict voting rights and hamper election administration.

**SECTION 2:** That the Council of the City of Berkley *urges* Michigan legislators to follow the advice of local clerks on how legislation meant to ensure election integrity will impact their ability to conduct efficient and accurate elections or interfere with citizens' ability to exercise their right to vote.

**SECTION 3:** That the City Clerk be directed to forward this Resolution to the elected officials in the Michigan legislature that represent the City of Berkley and the leadership of the Michigan House and Senate with the request that they advocate for the expansion, not restriction, of voting rights and supporting, not hampering, election administration as part of their legislative priorities while also working for the integrity of elections by focusing on the Oakland County Clerks Association resolution pertaining to Election Legislation and that it be carefully considered by the State of Michigan Legislature.

Introduced and passed at a Regular City Council Meeting on Monday, July 19, 2021.

---

Daniel J. Terbrack, Mayor

Attest:

---

Victoria Mitchell  
City Clerk

**A PROCLAMATION**  
**of the Council of the City of Berkley, Michigan**  
**Declaring July 22, 2021 as Master Plan Day**

**P-23-21**

- WHEREAS,** A community Master Plan is a road map for land use, development, reinvestment, transportation, and housing to guide the City from a known present to an unknown future; and
- WHEREAS,** The City of Berkley has been actively engaged in working with Carlisle Wortman Associates, a professional planning consultant firm, to update the City's Master Plan; and
- WHEREAS,** The draft Master Plan was steered by a committee of 15 community stakeholders and the Berkley Planning Commission with assistance from Carlisle Wortman Associates; and
- WHEREAS,** The City of Berkley has engaged in a yearlong public engagement campaign to garner public input using various methods, including, surveys, webinars, stakeholder discussions, focus group interviews, Planning Commission workshops, community meetings, and a virtual open house; and
- WHEREAS,** The draft Master Plan was reviewed by the Planning Commission and approved to be sent to the City Council for review; and
- WHEREAS,** The draft Master Plan is ready to be reviewed by City Council, and with their approval for distribution to the community at-large, as well as adjacent communities, Oakland County, regional agencies, and public utilities for public comment

**NOW, THEREFORE, THE CITY OF BERKLEY HEREBY PROCLAIMS**

- SECTION 1:** That July 22, 2021 is hereby proclaimed as *Master Plan Day* in the City of Berkley.
- SECTION 2:** The City of Berkley calls upon the citizens, business owners, and those representing all facets of the Berkley community, to participate in the Master Planning process by reviewing the draft of the Community Master Plan.
- SECTION 3:** The City of Berkley further encourages all members of the community to remain constructively engaged with future Master Plan as it heads into its final reviews and revisions ahead of adoption later this year.

*Proclaimed this 19<sup>th</sup> day of July, 2021 at a Regular Meeting of the Berkley City Council.*

Attest:

\_\_\_\_\_  
*Daniel J. Terbrack, Mayor*

\_\_\_\_\_  
*Victoria Mitchell, City Clerk*

**RESOLUTION**

**DISTRIBUTE THE DRAFT MASTER PLAN FOR PUBLIC COMMENT IN ACCORDANCE WITH PA 33 OF 2008 (MICHIGAN PLANNING ENABLING ACT)**

**WHEREAS**, the Berkley Planning Commission has the responsibility of developing a Master Plan and any updates; and

**WHEREAS**, the Berkley Planning Commission determined in 2019 that a Master Plan update was necessary; and

**WHEREAS**, the Berkley City Council created and appointed community stakeholders to form the Master Plan Steering Committee in order to guide the development of the Plan, as well as communicate updates to the public; and

**WHEREAS**, the Master Plan Steering Committee, members of City staff, and consultants from Carlisle Wortman Associates have engaged in an extensive public engagement campaign to garner feedback from residents, business and property owners in the community; and

**WHEREAS**, the Berkley Planning Commission has reviewed the draft Master Plan and has recommended to City Council to distribute the document in accordance to PA 33 of 2008 (Michigan Planning Enabling Act); and

**WHEREAS**, the Berkley City Council has the responsibility of distributing a Master Plan and any updates for the public comment period in accordance to PA 33 of 2008 (Michigan Planning Enabling Act).

**THEREFORE**, the Berkley City Council resolves to direct staff to distribute the draft Master Plan to surrounding communities, Berkley School District, Oakland County, Michigan Department of Transportation, Southeast Michigan Council of Governments, public utility companies for the required 63-day public comment period.

**IT IS FURTHER RESOLVED**, the draft Master Plan shall be available for viewing on the City's website, as well as printed copies shall be located at city facilities for public review.

**IT IS FURTHER RESOLVED**, the 63-day period shall begin July 22, 2021 and shall conclude September 23, 2021.

**IT IS FURTHER RESOLVED**, members of the public are encouraged to provide comments to the Community Development Department.

**RESOLUTION DECLARED ADOPTED.**

**YEAS:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSTENTIONS:** \_\_\_\_\_

STATE OF MICHIGAN            )  
  ) ss  
COUNTY OF OAKLAND        )

I, Victoria Mitchell, City Clerk, of the City of Berkley, Michigan, do hereby certify that the foregoing is a true and complete copy of a resolution adopted at a regular meeting of the City Council of the City of Berkley, Oakland County, Michigan on the 19<sup>th</sup> day of July 2021, the original of which is on file in my office.

**IN WITNESS WHEREOF**, I have hereunto affixed my official signature this \_\_\_\_ day of \_\_\_\_\_  
2021.



# CITY OF BERKLEY

## COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

### MEMORANDUM

**To:** Berkley City Council

**From:** Berkley Planning Commission  
Erin Schlutow, Community Development Director

**Subject:** **Draft Master Plan Distribution to Adjacent Communities for Public Comment**

**Date:** July 14, 2021

---

Over the past several months, Megan Masson-Minock and Ben Carlisle from Carlisle Wortman Associates have been working closely with the Master Plan Steering Committee and Planning Commission to finalize the draft Master Plan that is being presented to you today.

There has been a lot of good discussion between the two bodies as they reviewed and analyzed the public feedback that was received during the many community engagement sessions that were held throughout this process.

For your reference, below is a summary of the timeline of the project:

- September 2019 – City Council approves the contract for Carlisle Wortman to develop the Master Plan
  - October 2019 – Intent to Plan letters mailed to adjacent communities, school district, public utility companies, Oakland County, RCOC, MDOT, SEMCOG, SMART)
  - November/December 2019 – City Council establishes and appoints residents to serve on the Master Plan Steering Committee
  - January – March 2020 – In person community engagement activities
    - Stakeholder discussions
    - Pop-up chats at boards, commissions, PTA, Chamber meetings
  - March 2020 – Pandemic lockdown cancels all in-person public engagement; brainstorming to modify approach
  - April 2020-March 2021 – Virtual community engagement activities
    - Community survey
    - 8-part webinar series & drop-in chats
    - Social media polls
    - Chats with regional agencies (MDOT, SEMCOG, RCOC)
    - Virtual focus groups and stakeholder discussions
    - Missing Middle Housing Activity (MPSC, PC, CC)
    - Corridor Walking Tours
    - Virtual Open House
  - April 2021-June 2021 – Draft text review by MPSC and PC
-

- July 2021 – Planning Commission recommended to City Council to approve to distribute the draft Master Plan to the public, adjacent communities, agencies, in compliance with PA 33 of 2008, the Michigan Planning Enabling Act.

As you can see, a lot of work has gone into the development of the Berkley Master Plan, including a yearlong community engagement campaign. It is truly a community-wide effort and we greatly appreciate the feedback received from the community, as well as the commitment and dedication of time and effort that was put forth by members of the MPSC and the PC.

The remaining process for the Master Plan is as follows:

- City Council approval for review of draft by public, adjacent communities, agencies
- 63-day review period
- Planning Commission Public Hearing
- Planning Commission Recommendation
- City Council Approval

For fun, we wanted to highlight some of the high points that have occurred during the course of the development of this Plan:

- Two babies were born to members of the Master Plan Steering Committee
- Concussions
- Broken bones, surgeries
- Young children of staff were potty trained
- Member of City staff leashed trained a cat
- Adoption of the Parks and Recreation Plan
- Long time Public Safety Officer and veteran Sergeant Justin Frost retired
- Purchase of a new ladder truck
- City wide Santa Parade
- Immersive 2020 State of the City address by future Academy Award winner, Mayor Dan Terbrack

If you have any questions, please let me know.

Thank you.



# City of Berkley

Master Plan | Draft June 29, 2021

# Acknowledgments

Special thanks to the following individuals who contributed to the development of this Master Plan:

**Master Plan Steering Committee**

Matt Baumgarten, City Manager  
Erin Schlutow, Community Development Director  
Ross Gavin, City Councilmember  
Lisa Kempner, Planning Commissioner  
Joseph Bartus, Planning Commissioner  
Sue McAlpine, Zoning Board of Appeals Member  
Jennifer Finney, Executive Director for the  
Downtown Development Authority  
Tricia Losey, Tree Board Member  
Dan Mihaescu, Beautification Committee  
Mark Richardson, Environmental Advisory Board  
Mike Kerby, Recreation Advisory Board Member  
Kurt Hite, Community Member-At-Large  
Alexandra Donnelly, Community Member-At-Large  
Audra Rowley, Community Member-At-Large  
Carolyn Cregar, Community Member-At-Large

**Planning Commission**

Kristen Kapelanski, Chairperson  
Joseph Bartus  
Shiloh Dahlin  
Lisa Kempner  
Greg Patterson  
Daniel Petrosky  
Mark Richardson, Secretary  
Martin J. Smith, Vice Chairperson  
Julie Stearn  
Matthew Trotto

**City Council**

Mayor Daniel Terbrack  
Mayor Pro-Tem Bridget Dean  
Councilmember Jack Blanchard  
Councilmember Steven Baker  
Councilmember Ross Gavin  
Councilmember Dennis S. Hennen  
Councilmember Natalie Price

**City Staff**

Matt Baumgarten, City Manager  
Erin Schlutow, Community Development Director  
Torri Mathes, Community Engagement Officer  
Daniel Hill, Public Policy Assistant

**The hundreds of members of the public who  
contributed their time and voices.**



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# Executive Summary

The Berkley Master Plan is the result of over a year of intensive community engagement, data analysis and collaborative decision-making. Begun in the winter of 2019 and ending in the fall of 2021, the process reached the Berkley community as broadly as possible through interviews, focus groups, webinars, surveys, social media polls, walking tours, a virtual open house, and more. A Master Plan Steering Committee, representative of the community, guided the process with continuous input from the City Planning Commission and staff. The Master Plan is a long-term document to guide the formation of policy in the future but not to serve as law.

The Master Plan is centered the City’s Vision, Mission and Values:

**Vision**  
Berkley will be a thriving 21st century municipality, rooted in strong neighborhoods and a walkable design, supported by a caring community that helps every resident, business, and visitor to flourish.

**Mission**  
Berkley will strive to enhance economic vitality, preserve neighborhoods, and foster progress to implement the City’s vision and values.

- Values**
- Berkley is caring
  - Berkley is innovative
  - Berkley is welcoming
  - Berkley is active

The document is also based on previous planning efforts, Berkley’s history, current land use and demographic data. The key factors discovered were:

- Designed during a building boom in the 1910’s and 1920’s, the layout of the City is still attractive due to its walkable design with a historic downtown and a range of residential lot sizes, leading to a diversity of professions and incomes.
- The same design has created challenges for construction of larger, 21st century buildings, upgrades of regional infrastructure, and finding space for additional parks and civic space.
- The City is almost completely built out, with only 6.6 acres of vacant land, occupied mostly by single-family houses (73% of the City’s area).
- The number of people in Berkley is projected to remain the same, the population is predicted to become older and more diverse in the next 20 years.
- Due to demographics and market trends, single family houses will hold their value but the demand for different types of housing will likely increase.

In addition to recommendations for future land use, the Master Plan delves deeper into Neighborhoods, Corridors and Systems in the following ways:

- Neighborhoods are holistic places where parks, places of worship, schools and infrastructure contribute to the vibrancy and value of single family houses. The Neighborhoods Chapter has recommendations on infill housing, buffers between neighborhoods and commercial corridors, neighborhood maintenance, and aging in place, including diversifying housing types to include accessory dwelling units to single-family attached housing.

- Corridors - 12 Mile, Coolidge Highway, 11 Mile, Woodward and Greenfield – are envisioned to be vibrant places that offer a variety of transportation choices, are inviting places to walk and linger, with public art and a mix of uses, including a range of housing choices. The corridors must be well-buffered from adjacent neighborhoods to protect the well-being and investment of residents to the greatest extent possible. In specific areas, the City may consider, at the request of property owners, the rezoning of single-family properties for the installation of buffers as part of a commercial redevelopment or development. Design guidelines or study recommendations are included for each corridor.
- Systems run through the City of Berkley transporting people, energy, water and waste. They should be designed, built and maintained to maintain safety, increase efficiency, create sustainability, decrease energy consumption, and minimize environmental pollution. The Systems Chapter includes recommendations on infrastructure, energy, transportation and natural systems.



# Background

In the winter of 2019, the City of Berkley began an update of the City’s Master Plan, last revised in 2007. Despite a global pandemic, the process reached the Berkley community as broadly as possible to create a community-based vision and plan. This document is the result of over a year of intensive community engagment, data analysis and collaborative decision-making to create a vision for the City of Berkley with an actionable, realistic policy road map for implementation.

## WHAT IS A MASTER PLAN?

The Master Plan plays several roles:

**Vision:** The Master Plan lays out the future vision of Berkley, as well as a road map - with goals policies, strategies and actions - to achieve that vision.

**Aid in daily decision-making:** The Master Plan guides the Planning Commission, City Council, and other City bodies in their deliberations on zoning, subdivision, capital improvements and matters related to land use and development. It provides a stable, long-term basis for decision-making.

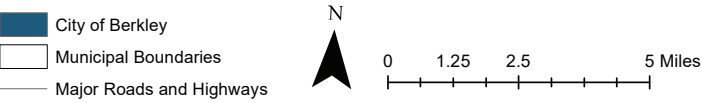
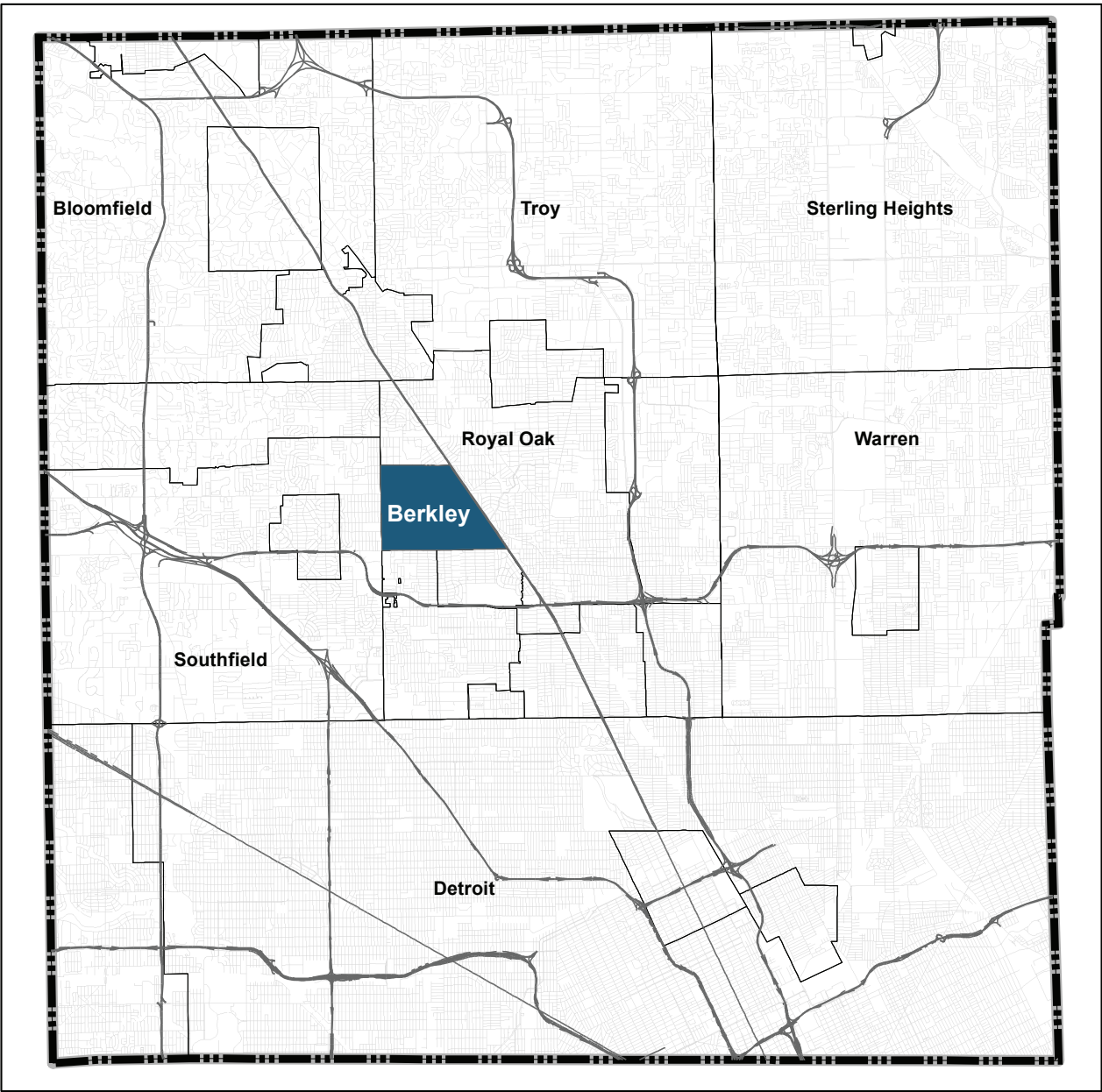
**Statutory Basis:** The Master Plan provides the statutory basis upon which zoning decisions are made. The Michigan Planning Enabling Act (P.A. 33 of 2008, as amended) requires that the zoning ordinance be based upon a plan designed to promote the public health, safety and general welfare. The Master Plan and accompanying maps do not replace other City Ordinances, specifically the Zoning Ordinance and Map.

**Public/Private Coordination:** The Master Plan attempts to coordinate public improvements and private developments supported by the Capital Improvements Plan. For example, public investments such as road or sewer and water improvements should be located in areas identified in the Plan as resulting in the greatest benefit to the City and its residents.

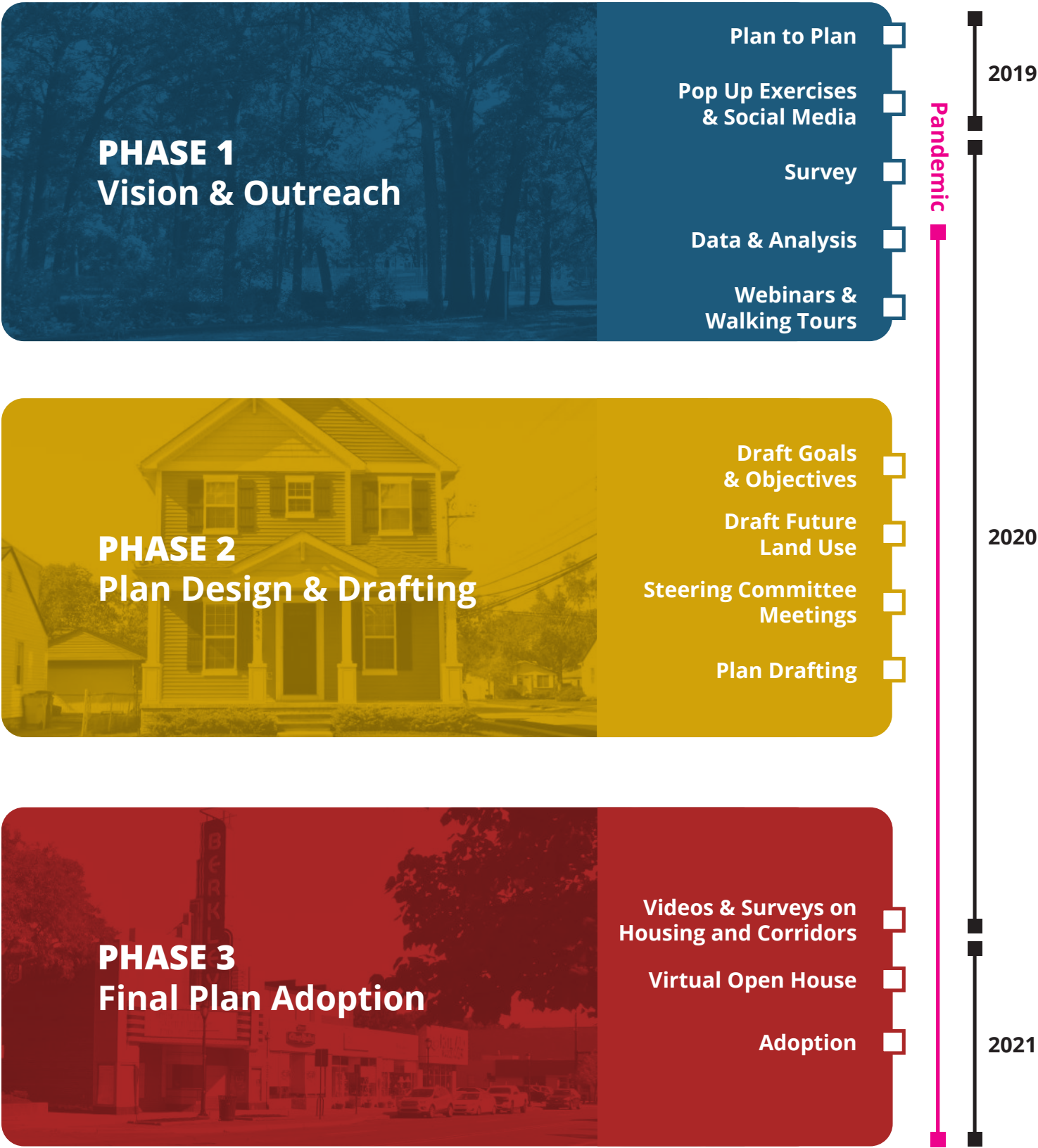
**Education Tool:** The Master Plan serves as an educational tool and gives citizens, property owners, developers and adjacent communities a clear indication of the City’s direction for the future.

**Location:** Berkley is in a prime location in the southeastern Michigan region, located within a half hour driving distance of downtown Detroit as well as many other job centers and cultural amenities in the region. In a 2020 survey conducted as part of this process, almost 75% of respondents chose the city’s location in the region as one of the things they like best about Berkley.

## City of Berkley Location Map



City of Berkley Master Plan Process



COMMUNITY ENGAGEMENT

The community engagement component of the Master Plan process was started in 2019. Working with the Master Plan Steering Committee, a group representative of the Berkley community appointed by the City Council, City staff and consultants adapted to the circumstances of the pandemic for the Berkley community to contribute in a safe and meaningful manner. The Master Plan Process diagram on the previous page shows the community engagement events.

Pop Up Exercises

In January through March of 2020, City staff and consultants went to various city and community meetings asking what people liked, would improve, would change or what is missing in Berkley. These activities were cut short by the pandemic and the rest of the community engagement activities moved on-line or outdoors.

2020 Community Survey

Over 1,300 people, including 1,280 Berkley residents, responded to the survey conducted in the spring of 2020. Survey results are in the appendix and referred to throughout the Master Plan.

Webinars & Walking Tours

Eight webinars covered the basics of master plans, parking, green infrastructure, gathering places, housing, and draft Master Plan vision, mission and values. The webinars were posted on the City's YouTube channel as well. Walking tours of 11 Mile, Greenfield, 12 Mile and Woodward happened in October 2020.

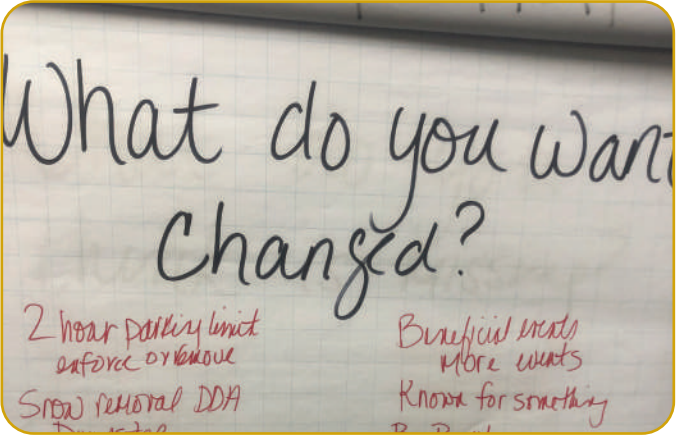
Steering Committee Meetings

The Plan Design and Drafting occurred during virtual Steering Committee and Planning Commission meetings in the fall and winter of 2020 and the early months of 2021.

Surveys, Videos & Virtual Open House

Additional community input was needed on corridors and housing. Surveys, with educational videos, were conducted. The results were shared at a virtual Open House, where participants discussed these issues.

Community Engagement Examples



Source: City of Berkley Staff



Source: CWA photo of Woodward Walking Tour



Source: City of Berkley Master Plan Website

Planning History Timeline

2007



City of Berkley Master Plan

2012



Woodward Transit-Oriented Development Corridor Study for South Oakland County

2012



Multi Modal Transportation Plan

2017



Residential Future Land Use Master Plan Amendment

2019



Downtown Plan

2019



City of Berkley Energy Plan

2014



Woodward Complete Streets Master Plan

2014



Bike Route Recommendations to City Council

2016



Parks and Recreation Plan Update

2020

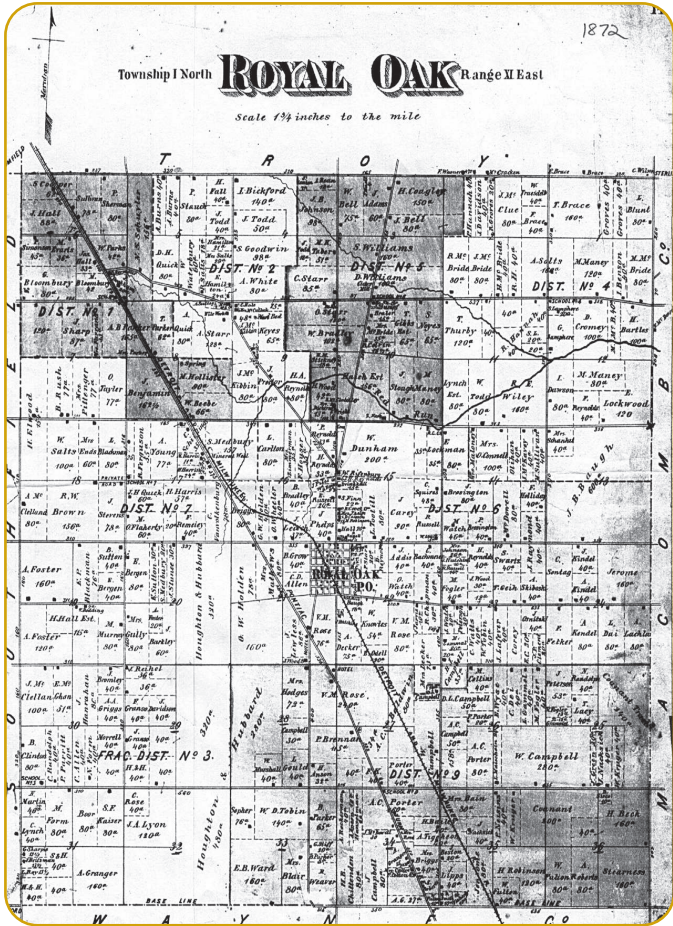


Parks and Recreation Plan Update

Planning History

This Master Plan has been built on previous planning efforts, bringing the most pertinent steps to the forefront in an understandable, achievable manner. Plans and amendments include those listed in the Planning Timeline.

1872 Map of Royal Oak Township



Coolidge Highway in 1921



Source: Berkley Historical Museum

HISTORY

Berkley today is a 21st Century community, with a design from the 1910's and 1920's, before the dominance of the car. The city's history has created some of the city's best assets and greatest challenges.

Early History

Prior to and into the early 1800's, the area that would become Berkley was not settled by native peoples since it was mostly forest and swamp. There was an area known as Ottawa Indian Gardens (now Roseland Cemetery) that was sheltered and dry enough for native peoples to plant gardens of squash and corn which they would harvest in the fall as they returned from making a circuit through Canada or Ohio.

After the war of 1812, land grants were distributed to white settlers of this area, known as Royal Oak Township, which now is home to Berkley, Clawson, Ferndale, Hazel Park, Huntington Woods, Madison Heights, Oak Park, Pleasant Ridge, Royal Oak and Royal Oak Township. The forests were replaced with farms, mostly dairy farms, and by 1900 the area had a population of 468 people.

Founding of Berkley & Building Boom

The 1910s brought significant growth to the area with the completion of the Highland Park Ford Plant. Between 1910 and 1920, the last of Berkley's farms were sold and turned into subdivisions, and the first phone line and electric lights were introduced. In 1923, Berkley officially became a village and with that came the first election, fire and police departments, and basic infrastructure. In 1927, the infrastructure of the village - sewers, water, sidewalks and streets - were built.

Great Depression & World War II

Growth in Berkley came to a grinding halt in 1929 with the stock market crash and the Great Depression that followed. 90% of the 5,558 residents in Berkley lost their jobs when the market crashed. The residents could no longer afford their taxes and as a result many services were canceled or reduced. The loss in tax revenue also forced shut off of the electric street lights. In

1932, Berkley became a city to lower taxes to an affordable level for residents. Berkley continued to struggle up until the start of World War II, which caused another surge of growth for the city.

Post World War II

In the 1940s, suburbanization and the post-war boom economy drove significant development in the area, as you can see by the photograph of 12 Mile in the center from the late 1940's. The city reached a population peak of 23,375 in the 1960.

1960's to Today

From 1960 to 2010, Berkley's population steadily declined, with the biggest loss in the 1970's. Meanwhile, Berkley became part of regional infrastructure systems.

From the beginning, the City's sewer system combined sanitary sewer waste water and rain water together and drained by gravity. In the 1970's, the City joined Oakland County's Twelve Towns combined relief sewer, which linked to a regional system. Up until 1995, the amount of rain in 10-year storms decreased but has been on an upward trend since. Houses and streets in Berkley and in the Twelve Towns system routinely experience flooding during storms.

Since 2010, the population has slightly increased. Throughout its history, Berkley has been known as a good place to live. In 2017, Berkley was listed as the 28th best place to live for the money in the United States by Money Magazine.

Twelve Mile in 1948



Source: Berkley Historical Museum

BERKLEY’S HISTORY: ASSETS & CHALLENGES

Berkley’s history has created assets and challenges for the City today. In terms of assets, the City’s walkable design and range of single-family lot sizes make the City a great place to live. The City’s grid road system, small blocks and tree lined streets lend themselves to walking, leading to high walk scores throughout the community, meaning that most errands can be accomplished on foot. The variety of lot sizes, ranging from 40 feet to 100 feet in width, has allowed for a diversity of professions and incomes to live in Berkley. Finally, Berkley has a historic downtown, which is still thriving.

However, the City’s history presents a number of challenges. The size and shape of lots make construction of 21st Century buildings other than single-family challenging. Infrastructure is not easily updated to deal with climate change. Also, space is scarce for additional parks and civic spaces.

The early 20th century design, has not allowed commercial areas to flourish in the same manner as the City’s neighborhoods. Commercial areas on 12 Mile and Coolidge Highway were originally platted as 20 foot wide and 100 foot deep lots. A modern building with parking and loading on site is more often 200 feet wide and over 300 feet deep. Redevelopment or even updates of existing buildings has been difficult without room for parking or building additions. However, over 50% of the survey respondents chose “more shopping options” as a change they would like to see in Berkley.

Different types of housing, ranging from townhouses to multiple-family buildings, are not easily built on these small lots either. The shallow lots leave little to no room for parking or yards for any housing on these corridors. Moreover, the single-family lots on 11 Mile and Greenfield are also too small to accommodate any residential type other than single-family. Lot assembly would likely have to occur for any new housing in Berkley, other than single-family. The combined, gravity-fed, regionally linked sewer system cannot be easily updated to improve its ability to function, adapt and absorb the stresses of climate

Assets

- Walkable design
- Range of lots sizes
- Diversity of professions & incomes
- Historic Downtown

Challenges

- Lot size & shape often too small for 21st century buildings
- Regional infrastructure difficult to upgrade
- Lack of space for additional parks and civic space

change. The City has very little vacant land and no natural storm water outlets, such as a creek, river or lake and most of the soils have poor drainage.

Finally, the original plats for the City did not reserve space for parks, schools and other civic spaces. As the City has grown and needs have changed, additional space for parks, schools and City buildings has been difficult to find. Almost half of the 2020 Community Survey respondents selected “more recreational opportunities” as a change they would like to see in Berkley.

LAND USE

The data presented here and in the following section on demographics is drawn from the following sources:

- 2019 Windshield Survey: The survey was done by the consultant team driving through Berkley and then double checked with City assessing codes.
- SEMCOG Community Profile: The Southeastern Michigan Council of Governments (SEMCOG) keeps up to date demographic and building permit data.
- 2019 Community 360 Metrics Report: This report, found in the appendix, uses a variety of data sources to provide up to date demographic and market information.

Vacant Land is Scarce

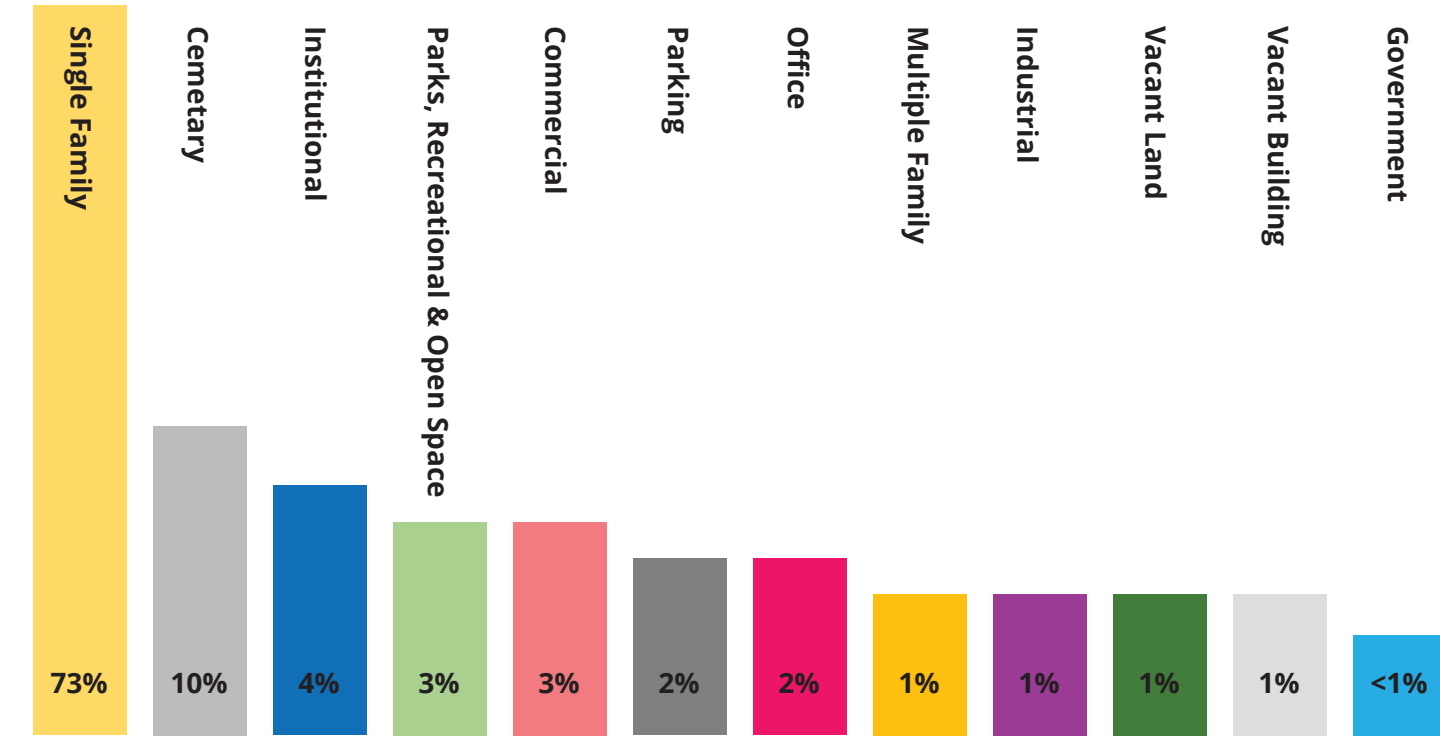
Only 6.6 acres of the 1,655.6 acres of Berkley is vacant, leaving little room for new development. The largest vacant parcel is owned by the City of Berkley, adjacent to Oxford Park. Other vacant properties are along the corridors of Greenfield and 12 Mile or in neighborhoods just north of 11 Mile.

Single Family Houses Largest Land Use

The predominant land use, shown in yellow, is single-family residential, accounting for 936 acres or 73% of the City, which is the same percentage of land area in an existing land use survey done in 2001. According to SEMCOG building permit data, 379 single-family home building permits were issued in Berkley between 2000 and 2019, while 217 housing units were demolished.

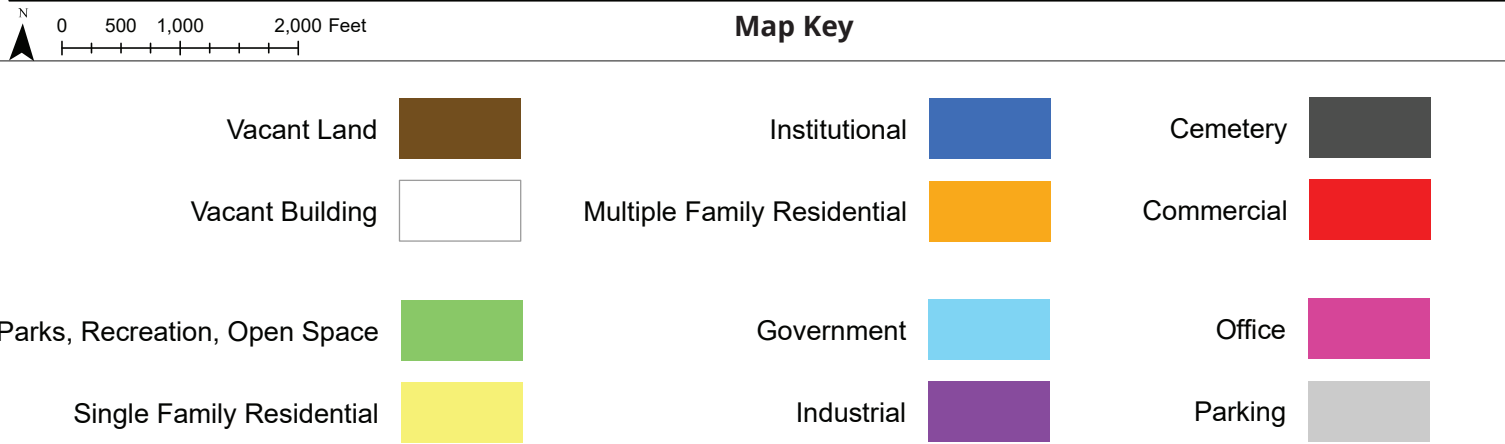
The renovation and/or demolition and rebuilding of single-family homes will likely continue. The 2019 Community 360 Metrics Report estimates that 80% of the housing in the City of Berkley was built before 1960. In the community survey conducted in 2020, many of the respondents shared concerns about reconstruction of single-family houses where the new homes were out of context, in terms of style and size, with the existing neighborhoods.

Existing Land Use Percentages



Source: 2019 Windshield Survey. Percentages are based on Geographic Information System (GIS) mapping data and do not include the acreages of streets or right of way.

Existing Land Use Map



Source: 2019 Windshield Survey

Other Types of Housing are Limited

Multiple-family housing is clustered near Coolidge Highway, south of Catalpa, or on the edges of single-family neighborhoods. Multiple-family dwelling units, according to the 2019 Community 360 Metrics Report, are just over 12% of the existing housing. Moreover, housing units in buildings with less than 10 units, usually the size of multiple-family or attached single-family housing that best fit within or adjacent to a single-family neighborhood, is estimated to be only 4% of the overall dwelling units available.

Non-Residential Uses are on Corridors

Commercial, office and industrial uses, which collectively account for less than 6% of the City's area, are along the corridors of 11 Mile, 12 Mile, Woodward, and Coolidge Highway. In the 2020 survey, respondents indicated preferences for commercial, entertainment, and mixed use, walkability, bikeability, and placemaking on these corridors.

Parking Lots are Buffer Neighborhoods

Parking occupies 30 acres or just over 2% of the land use area. These parking lots are often at the rear of properties fronting corridors or next to institutional uses, abutting single-family residential properties.

Parks, Schools & Institutions are in Neighborhoods and Corridors

The parks/recreation/open space and institutions (schools, churches, etc.) has increased in acreage from 46 acres to 74, now accounting for nearly 6% of the City's area. Institutional uses tend to be on corridors or the edges of neighborhoods, while parks are either near schools or scattered within neighborhoods.

Cemetery is Sizable

Roseland Park Cemetery accounts for 10% of the land use area in Berkley. More importantly, it is privately held and occupies the northeast corner of the City, along the high traffic corridors of Woodward Avenue and Coolidge Highway.

Government is Light

Government land uses (city or county facilities) only occupy 4.1 acres or less than 1% of the land use area. These facilities are usually on corridors or adjacent to parks.



One of two Townhouse style housing complexes in Berkley  
Source: Kurt Hite



12 Mile Corridor with commercial, office & institutional uses.  
Source: CWA



Roseland Cemetery is a landmark and 10% of the land area in Berkley.  
Source: Roselandparkcemetery.com

DEMOGRAPHIC SHIFTS

The demographic shifts below impact the Master Plan:

Population Stable but Aging

The population of Berkley peaked in 1960 at 23,275 people, dropping significantly through the late 20th century. The population then stabilized in the 2010’s, ranging between 14,000 and 15,000 residents. Berkley’s historic population trends are similar to other older communities nearby, such as Oak Park and Huntington Woods and to some extent Royal Oak. According to SEMCOG by 2045, Berkley’s population is anticipated to decrease by 1%, while the neighboring communities and the region grow slightly.

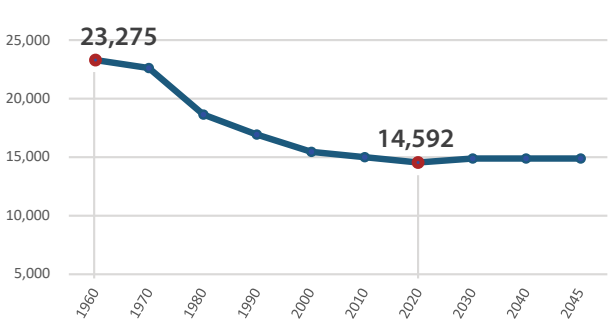
While the overall population number is predicted to decrease, the number of senior citizens is anticipated to rise. Residents 65 or older are forecasted to nearly double from 1,819 to 3,127 or 21% of the population. The need for senior housing, transportation, and services will increase. In the 2020 Community Survey, over 61% of respondents identified planning for housing for seniors as very important or important.

Population Becoming More Diverse, with Younger New Residents

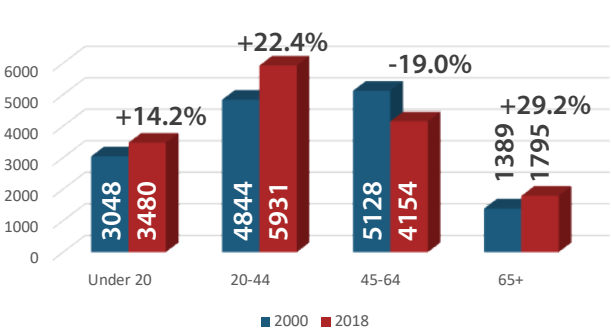
Though slightly more than 7% of the population are minorities, the racial and ethnic diversity of Berkley has increased since 2000, when the City was 98% white. Since 2010, minority populations have grown by 3.4% and now make up almost 12% of the total population. Hispanics made the largest gains, growing from 1.8% in 2010 to 3.5% in 2018. Multi-racial (1.1%) and African American (0.9%) populations also saw modest gains.

Per the 2019 Community 360 Metrics Report, the majority of the new residents in the past three years were under the age of forty and lived in homes valued between \$150,000 and \$300,000. Also, 56% of the population 25 years or older holds an Associate’s degree or higher. Sixty percent of the new residents were single. Berkley can anticipate a more diverse and younger incoming population in the next 10 years.

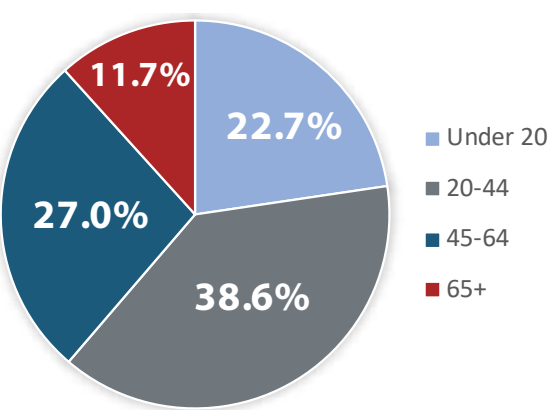
Berkley Population Trends 1960-2045



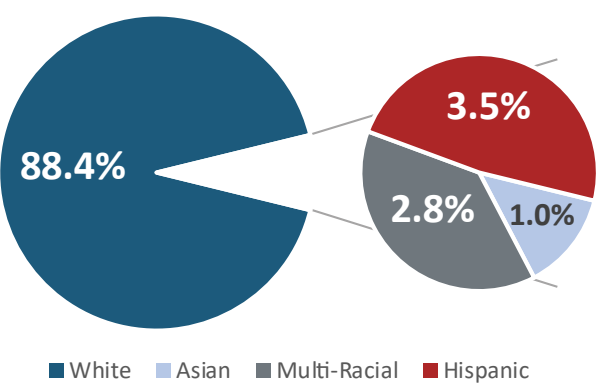
Berkley Age Distribution 2000-2018



Berkley Age Distribution 2018



Berkley Racial Composition 2018



For racial composition, the percentages are taken from US Census race & ethnicity data sets and do not add up to 100% due to data crossover between the two sets. Source: SEMCOG Community Profile

Single Family Houses Holding Their Value

Data from Zillow in the 2019 Community 360 Metrics Report showed continued house appreciation, 39.3% over the last five years and 41.5% over the last decade. Between 2019 and 2024, the value of housing is anticipated to rise, especially for homes valued between \$300,000 to \$500,000 or more. In 2019, the average home sale price was \$221,700.

PREFERENCE SHIFTS

The preference shifts highlighted below will likely influence land use and future planning in Berkley:

Desire to Live in a Walkable Community

Due to a variety of reasons including health, transportation costs, and quality of life, people prefer to live in a walkable community. Berkley residents can complete most of their errands on foot, the basis for the community’s high walk score of 77 out of 100. For context, walk scores of 90 or higher are for places where daily errands do not require a vehicle.

More Interest to Live in “Green” Communities

Greening of communities encompasses everything from multimodal transportation to more parks and open space, to carbon neutrality and renewable energy. Berkley has committed to these greening initiatives in planning documents and infrastructure investments while striving to implement green infrastructure on commercial and municipal properties.

More Desire for Restaurants but Less for Chain Retail

More people have been eating food prepared outside of the house more often since 2010, leading to an increased desire for restaurants, particularly fast casual like Chipolte or Panera.

In the late 2010’s, demand for new retail space by national and regional chains diminished substantially. With the economic downturn and increased shopping with home delivery, the demand for retail space and more service type uses will remain low. In the 2020 Community Survey, most of the respondents wanted to see more retail and restaurant options on 11 Mile, 12 Mile and Coolidge.



Berkley houses, like this bungalow, have risen in value since 2010. Source: CWA



Splash Pad in Oxford Park. Source: City of Berkley



Demand for local restaurants, like the one pictured above, are anticipated to increase. Source: CWA

Decrease in Demand for Office Space

Telecommuting and working from home has been rising, dampening the demand for office space. Many employers are expected to decrease their office space after the pandemic, if their work forces continue to be effective working from home.

Berkley already has a significant amount of home-based businesses. In the 2019 Community 360 Metrics Report, business services at non-commercial sites, located mostly in neighborhoods, accounted for the largest group - 30 entities - in a single Standad Industrial Classification code.



Demand for office space, like this building on Coolidge, is expected to decrease.  
Source: CWA

Increased Demand for Housing Other than Single-Family Homes

As Baby Boomers age and Millennials delay home purchases, single-family housing often no longer fits the needs of newly minted senior citizens or is not affordable for debt-carrying younger adults. Also, single-family houses, especially older homes, are not accessible for the disabled. Almost 62% of the respondents to the 2020 Community Survey felt it was important or very important to plan housing for the disabled.



Duplex in Berkley pictured above. This housing type is often more affordable than a single-family home.  
Source: CWA

On a national and regional level, households are looking for options other than the single-family home. According to a study by the Joint Center for Housing Studies of Harvard University, 43 million families and individuals lived in rental housing in mid-2015, up nearly 9 million from 2005, the largest gain in any 10-year period on record. All age groups, income brackets and household types were part of the increase.



Townhouses, such as those shown above, could provide other housing options in Berkley.  
Source: Teska

Planning and zoning for different housing types has supporters and detractors in Berkley. In the 2020 Community Survey, respondents in open-ended questions were concerned about the size and height of apartment buildings. In the 2021 survey specifically about different housing types - from accessory dwelling units to apartment buildings - the majority of respondents supported duplexes and townhouses in areas zoned for low-density multiple-family and 2-story apartments in corridors. In that same survey, a minority - ranging from 14% - 44% depending on the housing type - did not support additional housing types.

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# Vision, Mission and Values

The vision, mission and values of this Master Plan are the guiding ideas for future land use and other related policy decisions for the City of Berkley. These statements were developed in conjunction with the Master Plan Steering Committee and the Planning Commission, with input from the public. They should be used by the Planning Commission, City Council, and other City bodies in their deliberations on zoning, subdivision, capital improvements and matters related to land use and development.

The vision is what the City of Berkley aspires to be in the future. It is the starting point for the policy road map that is the Master Plan. All goals policies, strategies and actions should achieve this vision.

The mission is what City officials and staff do daily to achieve the vision. The mission should aid in daily decision-making.

The values are principles that guide decisions to stay on mission and achieve the vision for the City. While these aid in daily decision-making, elected and appointed bodies should use the values as touchstones during their deliberations.

## Vision

Berkley will be a thriving 21st century municipality, rooted in strong neighborhoods and a walkable design, supported by a caring community that helps every resident, business, and visitor to flourish.

## Mission

Berkley will strive to enhance economic vitality, preserve neighborhoods, and foster progress to implement the City's vision and values.

## Values

### Berkley is caring

Berkley will make thoughtful decisions, such as providing excellent services, offering programs for young and old and helping those in need. In each decision, the City should inquire and consider how those impacted will be affected.



Source: City of Berkley

### Berkley is innovative

Berkley will make decisions that foster and welcome progress in terms of technology, sustainability, and policy, such as energy-efficient lighting, green infrastructure, and updated zoning.



Source: City of Berkley

### Berkley is welcoming

Berkley will welcome change, current and new residents, businesses, and visitors. The City will continue to maintain a business-friendly atmosphere and to host events, drawing visitors from around the region.



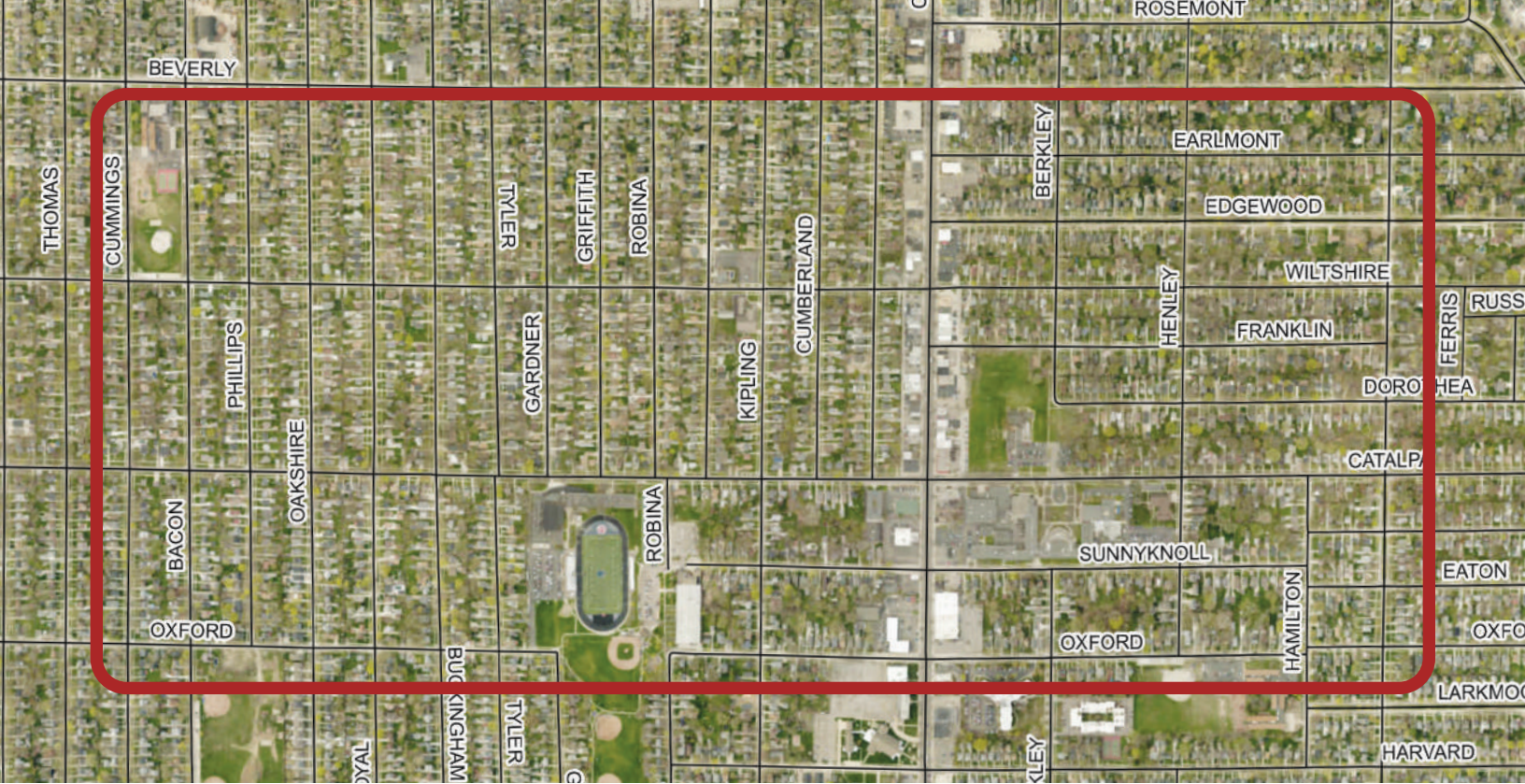
Source: City of Berkley

### Berkley is active

Berkley will make decisions to keep the City active, such as maintaining its walkable design, honoring the needs of pedestrians and cyclists as well as drivers, and creating and maintaining places where people of all ages can be active.



Source: City of Berkley



# Future Land Use

The Future Land Use Plan implements the Vision and Values of Berkley, by designating specific areas of the City for anticipated land uses and functions. This chapter contains an explanation of the difference between planning and zoning, the Future Land Use Map, and a description of the why, what, where and how of each future land use category.

In the Future Land Use map, the Master Plan identifies areas of the city most appropriate for future uses, using the vision and the values identified by and incorporated into the Plan. The Future Land Use Map is intended to guide new development in Berkley for the next ten to twenty years.

The land use categories discussed in this chapter and identified on the future land use map classify areas appropriate for the current and future land uses described within the respective categories. They are planning districts and their designations are suggestions of what could happen in the future, not prescriptions of what will happen.

Legally permissible uses of land within the city are determined solely by the zoning districts in the Berkley Zoning Ordinance. Any future change in permissible land use in Berkley must be made by the

Planning Commission and City Council in accordance with the Zoning Code and state law. Zoning changes governed by this process can include establishing new zoning districts, eliminating zoning districts, changing the zoning map, or changing allowable uses within a zoning district. The Master Plan is an important factor in determining whether to make zoning changes, but it is not the sole factor.

During the Master Plan update, there have been several questions related to “rezoning of properties”. It is important to note that the Master Plan Future Land Use Map and a request for Rezoning of property or properties are vastly different. The Future Lane Use Map is adopted as part of the overall Master Plan, while a Rezoning request is reviewed separately, based upon criteria in the Zoning Ordinance to ensure that any zoning changes are in line with the Future Land Use Map and Master Plan, and does not negatively impact adjacent property owners. The graphic on the following page describes the difference between the Master Plan and the Zoning Ordinance, as well as between the Future Land Use Map and the Zoning Map.

## The difference between the Master Plan & the Zoning Ordinance

### Master Plan

- Is a long-term guiding policy document
- Applies 5-20 years into the future
- Has goals and objectives based on community input.
- Includes analysis and recommendations on economy development, housing, transportation, infrastructure, land use, etc.
- Must be reviewed once every 5 years by State Law
- Is not intended or expected to serve as law

### Zoning Ordinance

- Is the law
- Applies now
- Is subject to Federal and State law, and Federal and State case law
- Regulates land use, building size, form, placement, parcel area, width, depth, parking, landscaping, etc.
- Must be based on a Master Plan, per State Law
- Is used to implement the Master Plan

### Future Land Use Map

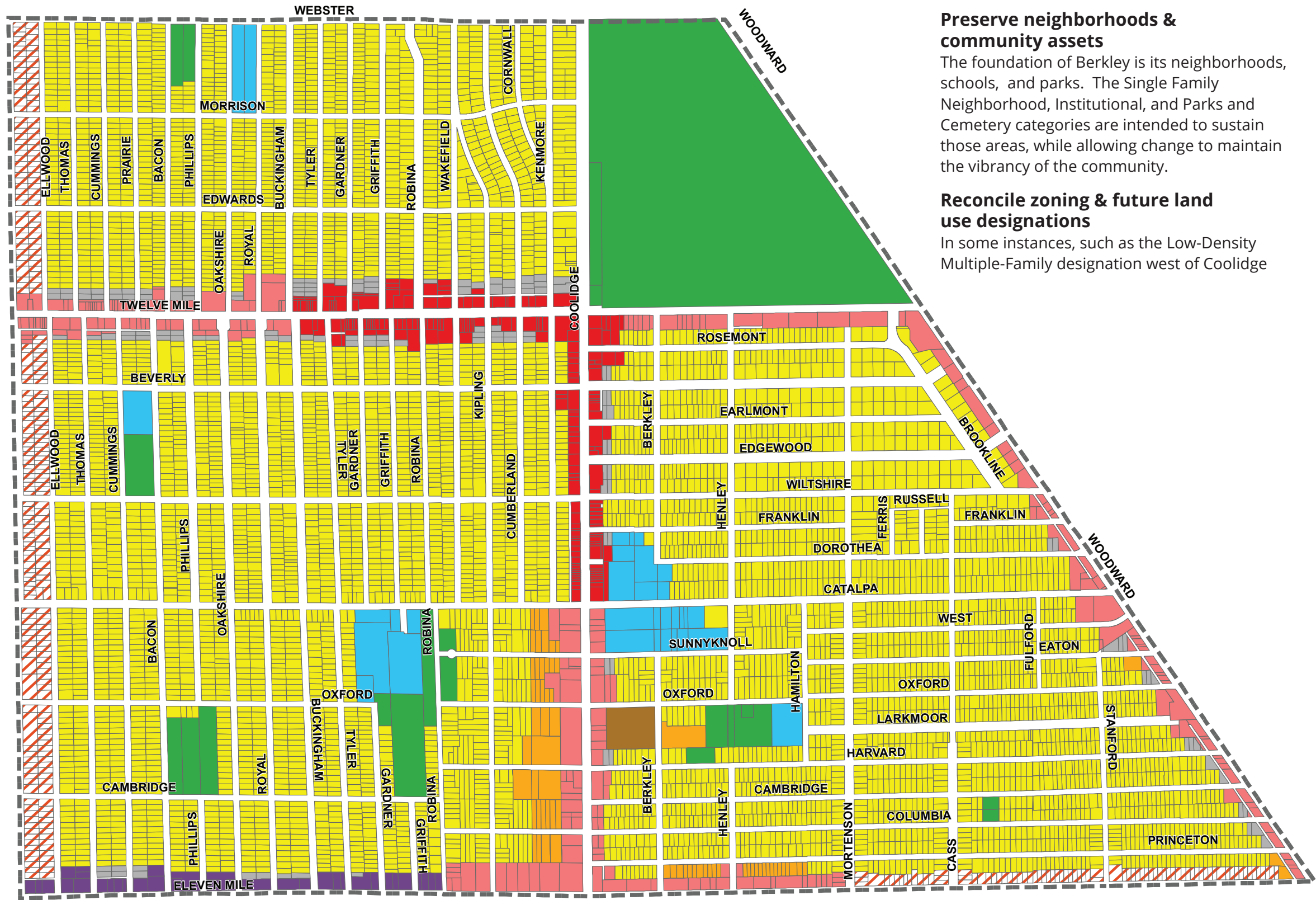
- Is a visual guide for future planning
- Applies now and up to 20 years into the future
- Has future land use categories, which describe what may be considered if zoning changes
- Provides descriptions on types of uses that are appropriate in particular areas and details on desired density, height, design, landscaping, etc.
- Show possibilities, not guaranteed changes
- Changed as a Master Plan Update, which has extensive community input, a recommendation by the Planning Commission, and approval by the City Council.

### Zoning Map

- Is the law
- Applies now
- Has zoning districts, which state what land uses, building types can be built now
- Mandates land use, building size, form, placement, parcel area, width, depth, etc. for each zoning district
- Must be followed for all new development
- Can only be changed by a Rezoning or Zoning Map Amendment process, a multi-step approval process that includes a public hearing and recommendation by the Planning Commission, and two readings before the City Council.

Future Land Use Map

Future Land Use Map Principles



Preserve neighborhoods & community assets

The foundation of Berkley is its neighborhoods, schools, and parks. The Single Family Neighborhood, Institutional, and Parks and Cemetery categories are intended to sustain those areas, while allowing change to maintain the vibrancy of the community.

Reconcile zoning & future land use designations

In some instances, such as the Low-Density Multiple-Family designation west of Coolidge

between Catalpa and Columbia, the zoning does not match the existing land use or previous future land use maps. In order to minimize conflicts, those areas have been changed to the future land use category most similar to current zoning.

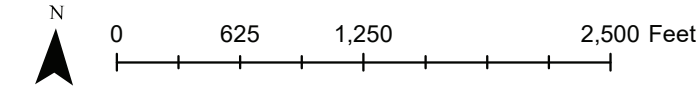
Blend new housing using good design to complement existing character

Any new development should complement, rather than detract from, existing buildings and areas. The Low-Density Multiple Family, Residential Corridor, Gateway Corridor, and Downtown categories propose a variety of housing types coupled with design guidelines.

Enhance corridors as vibrant business areas

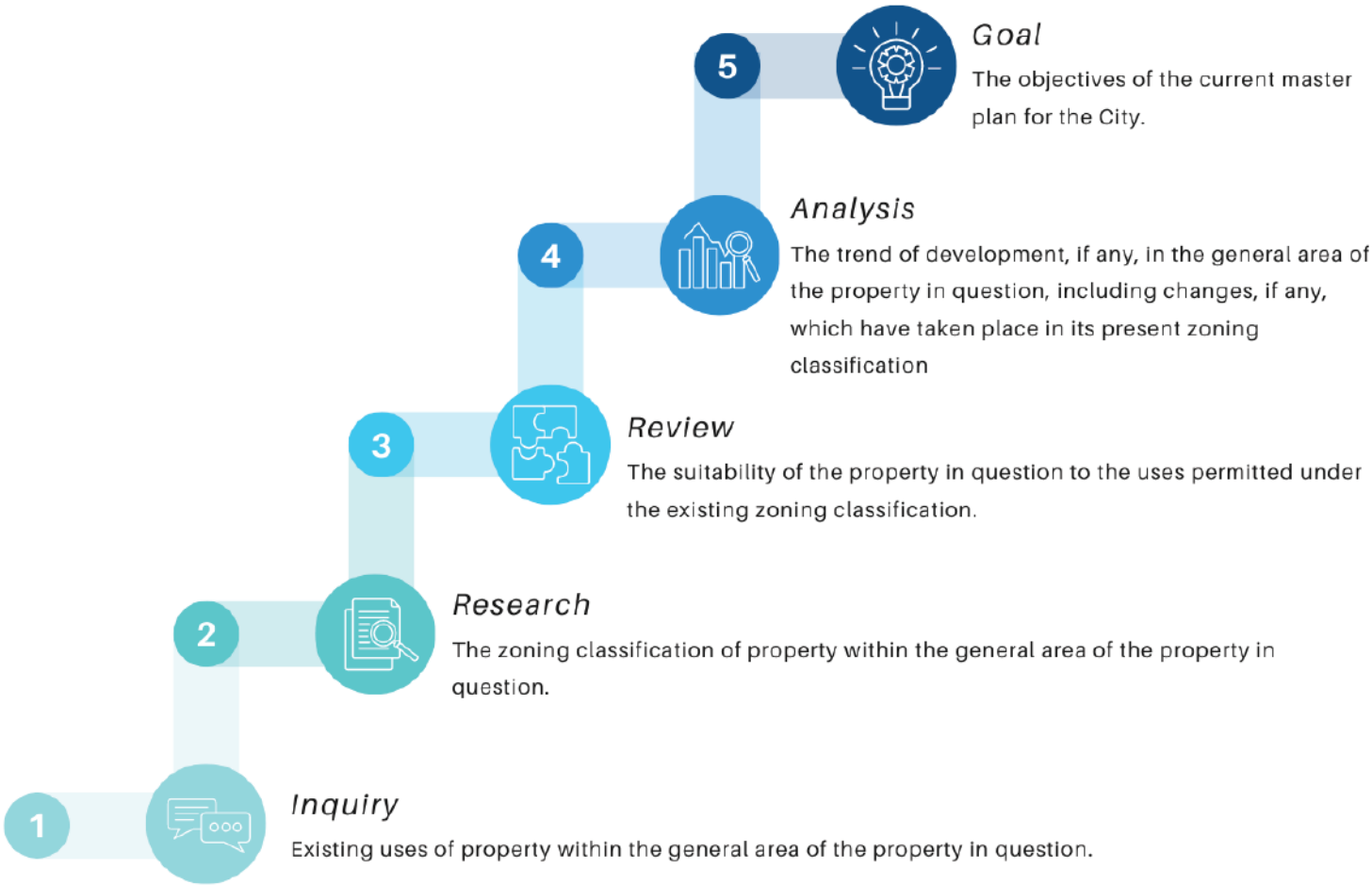
Most of the City's businesses are located on the corridors of Woodward, Twelve Mile, Coolidge, and Eleven Mile. Future land use designations for these corridors include a mix of uses to be implemented in concert with design guidelines found in the Corridors Chapter.

- Single Family Neighborhood
- Low-Density Multiple Family
- High-Density Multiple Family
- Residential Corridor
- Downtown
- Gateway Corridor
- Potential Corridor Expansion / Transitional Buffer
- Industrial / Retail
- Institutional
- Parks & Cemetery



Source: CWA GIS Community Maps, Oakland County GIS

The Rezoning Process



Source: City of Berkley

A Rezoning or Map Amendment is:

- Generally parcel-specific
- Can be initiated by a property owner or by city staff.
- Must be in line with the adopted Future Land Use map as part of the Master Plan
- A multi-step approval process that includes a public hearing and recommendation by the Planning Commission, and two readings before the City Council.
- The City Council has the authority to grant or deny a proposed Rezoning or Zoning Map Amendment.

SINGLE FAMILY NEIGHBORHOOD

Why

The Single Family Neighborhood category is intended to preserve the quality of existing residential neighborhoods while recognizing the need for other uses to support the quality of life within them.

Where

Single Family Neighborhoods are located in the original residential plats of Berkley, which have not been repurposed to other uses. The neighborhoods are in the following areas, with the Institutional future land use category scattered within:

- South of Webster to northern edge of the Twelve Mile corridor, between Ellwood and Coolidge.
- Between the southern corridor edge of Twelve Mile and Catalpa, between Ellwood and Kenmore.
- South of Catalpa to the northern edge of the Eleven Mile corridor, between Ellwood and the middle of the block between Kipling and Coolidge
- East of the western corridor edge of the Coolidge corridor and Brookline or the western edge of the Woodward corridor, between Rosemont and Princeton.

What

The following land uses are anticipated to continue in Single Family Neighborhoods:

- Single family homes
- Home-based businesses
- Parks
- Institutions, such as places of worship
- Utility Buildings appropriate in residential areas

The following land uses may be added in the future to the zoning districts associated with this category:

- Accessory Dwelling Units
- Duplexes in existing locations, with further study on changing zoning to allow additional duplexes.



Source: City of Berkley



Source: CWA



Source: City of Berkley



Source: City of Berkley



Source: City of Berkley



Source: CWA

**How**

The current regulations and zoning work well to preserve single family neighborhoods and should be kept for the large part. The following steps are outlined in the Neighborhoods and Implementation Chapters:

- Consider updating zoning to allow accessory dwelling units (ADU's), a separate dwelling unit within a single-family home, as long as the site can accomodate additional parking and lot coverage requirements.
- Study whether and, if so, how duplexes could be integrated into Single Family Neighborhoods. Items that could be considered may be: frontage on high traffic corridors or streets, location at edges of neighborhoods, serving as a transition between neighborhoods and more intense land uses, and the parcel size needed to accommodate parking and other City requirements.
- Investigate appropriateness of zoning regulations to help newly constructed single family homes to blend with the existing character of Single Family Neighborhoods.
- Streamline processes and policies to allow seniors to age in place in single-family homes, such as universal design, placement of ramps, etc.

**LOW-DENSITY MULTIPLE FAMILY**

**Why**

The Low-Density Multiple Family future land use category aims to provide a range of detached and attached housing that complements the existing, adjacent neighborhoods.

**Where**

These areas have multiple-family housing or are zoned multiple-family. They are generally located between an existing neighborhood and a corridor – Woodward, Eleven Mile or Coolidge. While some duplexes or buildings with three or more dwelling units exist in the areas, many lots are currently occupied by single family homes. This land use category is limited to:

- South of Catalpa to Columbia, from the middle of the block between Kipling and Coolidge and the western edge of the Coolidge corridor. Predominantly single-family in use but zoned multiple-family, these lots are deeper than most other residential parcels in the City.
- The eastern block face of Berkley, midway between Oxford and Harvard.
- Entire southern block face of Princeton from Berkley to Henley and most of the southern block face of Princeton from Henley to Mortenson.

If expansion of this category is contemplated, the following factors should be considered: the capacity of the road system, strain on existing infrastructure, whether parcels are large enough to accommodate more than a single dwelling unit and the character of the adjacent neighborhoods.

**What**

The following land uses are anticipated to continue in Low-Density Multiple Family areas:

- Single family homes
- Duplexes
- Two-story multiple family buildings with a similar design as the surrounding area
- Home-based businesses
- Utility buildings appropriate in residential areas

**Examples of Low-Density Multiple Family in Berkley**



Duplex  
Source: Kurt Hite



Townhouses at Harvard Commons  
Source: Lisa Kempner



2-Story Apartment Building  
Source: Joseph Bartus

Examples of Attached Single-Family Housing

The images of low-density housing types shown below were chosen by the Master Plan Steering Committee and Planning Commission as the style and type of low-density housing appropriate for Berkley.



Source: Teska



Source: Teska



Source: Teska

The following land use may be added in the future to the zoning districts associated with this category:

- Accessory Dwelling Units

How

Few multiple-family developments have been built in the past decade. While a lack of available land was a factor, the R-2 and RM zoning may also contribute to the situation. The following steps are outlined in the Implementation chapter:

- Update R-2 and RM zoning to reflect the parcel size and setbacks for existing duplexes and future multiple family buildings to match the size and scale of houses in adjacent neighborhoods.
- Add design requirements for duplexes and multiple family buildings to the R-2 and RM zoning.

HIGH-DENSITY MULTIPLE FAMILY

Why

The High-Density Multiple Family category preserves existing multiple family buildings to serve the residential needs of individuals or households wanting or needing an apartment with central services. The number of existing units within this geographic area is intended to be maintained in the future.

Where

This area is limited to the Oxford Towers, the senior housing high-rise building, at the southwest corner of Oxford and Berkley. If this designation were to expand beyond areas designated on the Future Land Use Map, the Planning Commission and City Council would need to find that the expansion would not have a detrimental effect on the surrounding land area and adequate buffers and transitions were present.

What

The following land uses are anticipated to continue in High-Density Multiple Family areas:

- Multiple family buildings, ranging from low-rise to high-rise
- Home-based businesses
- Business services within low-rise and high-rise multiple family buildings, offering goods and services primarily to building residents
- Utility Buildings appropriate in residential areas

How

The current regulations and zoning should be maintained since they work well to preserve Oxford Towers and the nearby multiple-family uses. However, the City should evaluate whether current regulations would allow a 21st century high-rise if Oxford Towers would ever need to be replaced or renovated.

Example of High Density Multiple Family in Berkley



Source: Realtor.com



Source: Apartments.com



Source: Apartmentfinder.com

RESIDENTIAL CORRIDOR

Why

The Residential Corridor category focuses on providing a mix of residential options including single-family, townhomes, and low rise multiple family, but also allows for office and other institutional/civic uses or spaces.

Where

This category is limited to high-traffic corridors, with mostly single-family uses, that border an adjacent municipality:

- Greenfield and Ellwood from Webster to the northern edge of the Twelve Mile corridor.
- Greenfield and Ellwood from the southern edge of the Twelve Mile corridor to the northern edge of the Eleven Mile corridor.
- Eleven Mile from Mortenson to the western edge of the Woodward corridor.

What

The following land uses are anticipated to continue in Residential corridor areas:

- Single family homes
- Home-based businesses
- Offices in adaptively re-used houses (on Eleven Mile and Greenfield)
- Institutions, such as places of worship
- Utility Buildings appropriate in residential areas

The following land use may be added in the future to the zoning districts associated with this category:

- Accessory Dwelling Units for single family homes
- Duplexes, townhomes, and multiple family buildings that follow the design guidelines in the Corridors chapter.



Houses on 11 Mile  
Source: CWA



Example of Townhouse appropriate for 11 Mile  
Source: Teska

How

In order to encourage new residential options in these corridors, the zoning for these areas needs to be updated.

The following steps are outlined in the Corridors and Implementation chapters:

- Update the Greenfield zoning district to reflect the Residential Corridor design guidelines in the Corridors chapter. Change the zoning on Greenfield and the western block face of Ellwood to match the Master Plan.
- Review Single Family Residential R1-D zoning on Eleven Mile to consider the addition of duplexes and attached single-family housing.

DOWNTOWN

Why

The Downtown future land use district is intended to create a vibrant city center with offices, entertainment, retail businesses, and restaurants serving Berkley residents, daytime businesses, and nighttime entertainment populations.

Where

The Downtown category applies to Berkley’s historic Downtown core on Twelve Mile and Coolidge:

- Twelve Mile between Buckingham and Coolidge.
- Coolidge between Twelve Mile and Catalpa.

What

The land uses and building design should contribute to making the Downtown area a vibrant, walkable area. The following land uses are expected to continue:

- Mixed-use buildings (no more than 4 stories), upper story residential allowed
- Offices
- Entertainment
- Retail businesses
- Restaurants
- Public spaces
- Institutions, such as places of worship

Automobile-oriented uses, such as drive-throughs or gasoline service stations, are not allowed in this area.

How

The following actions are further described in the Downtown Plan and the Corridors chapter:

- Implement zoning strategy in the Downtown Berkley Master Plan.
- Placemaking steps such as streetscape improvements and gathering spots.
- Updating parking requirements in the Zoning Ordinance.



Source: CWA



Source: CWA



Source: CWA

GATEWAY CORRIDOR

Why

The intent of the Gateway Corridor future land use category is to improve the function, investment value and aesthetics of these corridors as mixed-use, walkable places.

Where

Gateway Corridor are located along Twelve Mile and Coolidge, outside of the Downtown, Woodward, and Eleven Mile near Coolidge. The category is located in the following areas:

- Twelve Mile from Greenfield to Buckingham and from Woodward to mid-block between Coolidge and Berkley.
- Woodward from Twelve Mile to Eleven Mile.
- Coolidge from Catalpa to Eleven Mile.
- Eleven Mile from Robina to Mortenson.

What

The following land uses are expected to continue:

- Mixed-use buildings (no more than 3 stories)
- Offices
- Retail
- Restaurants
- Public spaces
- Institutions, such as places of worship
- Auto-oriented uses, such as gas stations or vehicle repair shops

The following land uses should be added to these areas if they are not allowed presently:

- Upper story residential
- Multiple family buildings (no more than 3 stories)



MSU Credit Union on Coolidge  
Source: CWA



Drought on 11 Mile  
Source: CWA



Articipate on West 12 Mile  
Source: CWA



Republica on Coolidge  
Source: CWA



Coolidge south of Catalpa  
Source: CWA

How

The following actions are further described in the Downtown Plan and the Corridors chapter:

- Placemaking steps such as streetscape improvements.
- Implement zoning strategy in the Downtown Berkley Master Plan.
  - o Update zoning districts to allow upper story residential and multiple family buildings with appropriate design requirements.
  - o Consider whether the Twelve Mile, Woodward and Coolidge zoning districts could be combined into a single use district with different design requirements for each corridor.
- Updating Zoning Ordinance parking requirements.

POTENTIAL CORRIDOR EXPANSION/  
TRANSITIONAL BUFFER

Why

The parcels on Coolidge, Woodward, 12 Mile and 11 Mile, originally platted almost a century ago, often do not have room to accommodate the vehicles that visit or service land uses of today. The intent of the Potential Corridor Expansion/ Transitional Buffer is to show where corridors may expand into the adjacent neighborhoods to accommodate redevelopment with proper buffers for adjacent neighborhoods.

Where

These areas are limited to the areas shown in gray on the Future Land Use Map. The following guidelines were used for this designation:

- The parcels were shown on the 2008 Master Plan as a corridor future land use.
- The side yard of an adjacent residential lot abuts the corridor, as on the eastern side of Coolidge, not the rear yard, as on the western side of Coolidge.
- The expansion is limited in depth to existing encroachments on that side of the corridor.

Shallow Lots on Corridors

The aerial photograph below shows how parking is limited for shallow lots on 12 Mile.



Source: Aerial Photograph - Oakland County. Graphis - CWA

What

Single-family uses and associated zoning are expected to remain until a rezoning request comes as part of a redevelopment. The graphic on the following page shows the multi-step process that would need to occur.

The following circumstances should be in place to consider a rezoning from single-family:

- The parcel or parcels in question are adjacent to a property zoned for mixed used or commercial uses with frontage on 12 Mile, 11 Mile, Coolidge, or Woodward.
- Mechanisms are in place - in zoning or as a part of a conditional rezoning or planned unit development - to assure a substantial buffer, with a combination of landscaping, screening, and fencing, between single family neighborhoods and non-residential or mixed use areas shown in the graphic in the lower right corner of this page.



The follow land uses could be allowed, if rezoned, in the Potential Corridor Expansion/Transitional Buffer

- Buffers using green infrastructure, landscaping, walls, and other structures to protect adjacent neighborhoods from the noise, odor, lights, traffic, and activity of corridor land uses as well as to assure privacy of neighborhood residents.
- Parking or loading.
- In cases of exceptional design, corridor buildings may occupy portions of these parcels.

How

Parcels planned for Potential Corridor Expansion/Transitional Buffer will be rezoned on a case by case basis as part of a development, redevelopment, or re-use. To assure proper buffers are in place, the zoning requirements for buffers between corridors and neighborhoods should be updated to match the design guidelines in the Corridors chapter.



3966 11 Mile  
Source: Teska

INDUSTRIAL/RETAIL

Why

The purpose of the Industrial/Retail category is to improve the function, investment value and aesthetics of this section of Eleven Mile, while allowing a range of land uses.

Where

This future land use category is limited to Eleven Mile between Greenfield and Robina.

What

The following land uses are expected to continue:

- Industrial
- Research
- Service and retail
- Auto-oriented uses
- Office

The following land uses may be added to the corridor:

- Restaurants and bars.

How

The Eleven Mile Zoning District should be updated to match the intent and uses described in this chapter and the design guidelines in the Corridors chapter. Programs, such as a façade improvement program, should accompany policy changes to kick start redevelopment of this area.



CB Hill Company on 11 Mile  
Source: CWA



West 11 Mile - Streetscape elements outlined in the Corridors Chapter would make this section of 11 Mile more appealing to pedestrians.  
Source: CWA



Berkley Community Schools properties fall into institutional future land use category.  
Source: CWA



Berkley Community Center is a recreation building that is classified as institutional.  
Source: CWA

INSTITUTIONAL

**Why**  
The intent of this category to accommodate institutional land uses, including but not limited to recreation centers and schools, that contribute to surrounding residential neighborhoods.

**Where**  
The category is limited to areas currently zoned Community Centerpiece.

**What**  
The following uses are expected to continue:

- Schools
- Recreation buildings
- Municipal buildings
- Institutions, such as place of worship

If uses change, single-family residential or residential developments similar to those proposed for the residential corridor could be considered, as well as senior independent living or child care facilities.

**How**  
The Community Centerpiece zoning district works well to protect existing schools and other community assets.

PARKS & CEMETERY

**Why**  
The Park and Cemetery category enshrines established land uses that provide recreational and open spaces to the community.

**Where**  
This category is limited to City parks and the Roseland Memorial Park Cemetery.

**What**  
The following uses are expected to continue:

- Parks
- Recreation buildings or centers
- Athletic fields
- Cemetery

**How**  
The Community Centerpiece zoning district works well to protect existing park and recreation areas, while the Cemetery zoning district does the same for Roseland Memorial Park Cemetery. The City should implement the most current Parks and Recreation Plan, while looking for partnership opportunities with the cemetery to create parks or walking paths along Coolidge and Twelve Mile.



All Berkley parks are in the Parks & Cemetery Future Land Use Category.  
Source: CWA



Roseland Cemetery, 10% of the City's area, is classified as Parks & Cemetery  
Source: Roselandparkcemetery.com



Splash Pad in Oxford Park.  
Source: City of Berkley

ZONING PLAN

The following table lists each future land use category with the associated zoning districts in the City of Berkley Zoning Ordinance, at the time of the adoption of the Master Plan. The table designates which zoning district is anticipated to be compatible with the Master Plan. The table is a guide, not a set menu, since unforeseen circumstances may occur between the adoption of this plan and a rezoning request.

Future Land Use Category	Zoning District
Single Family Neighborhood	Single Family Residential R-1A
	Single Family Residential R-1B
	Single Family Residential R-1C
	Single Family Residential R-1D
Low Density Multiple Family	Two Family Residential R-2
	Multiple Family Residential RM
High Density Multiple Family	Multiple Family Residential RMH
Residential Corridor	Single Family Residential R-1D
	Two Family Residential R-2
	Office District
	Greenfield District (Greenfield & Ellwood only)
Downtown	Downtown District
	Gateway District
	Coolidge District (Coolidge only)
Gateway Corridors	Gateway District
	Local Business District
	Office District
	Industrial (Eleven Mile only)
	Eleven Mile District (Eleven Mile only)
	Woodward District (Woodward only)
	Twelve Mile District (Twelve Mile only)
Potential Corridor Expansion/Transitional Buffer	Parking
	Adjacent business district*
Industrial/Retail	Eleven Mile District
Institutional	Community Centerpiece
Parks & Cemetery	Community Centerpiece
	Cemetery District

\* Only in cases where design enhances quality of the project and protection of an adjacent neighborhood.



Neighborhoods

Neighborhoods are the foundation of Berkley. Single-family residential is the largest land use in the City, accounting for 73% of the City’s area. Berkley neighborhoods embody a classic neighborhood design. The streets are lined with trees and sidewalks. Generally, a park or place where the public gathers - a school, community center or place of worship – is within a ten to fifteen minute walk of all homes. In addition, retail and services, particularly for daily needs, are often a short walk for most residents, with multi-use corridors on the edges of most neighborhoods. Finally, in the survey completed in the beginning of the Master Plan process, many respondents listed their neighbors or neighborhood as the attribute they liked best about Berkley.

The Master Plan looks holistically at single-family residential areas as neighborhoods, recognizing houses as the main land use while other land uses (parks, places of worship and schools) and infrastructure (sidewalks, streets, water and sewer systems) contribute to the vibrancy and values of homes. This chapter contains principles for neighborhoods, appropriate land uses and how the values of Berkley apply to neighborhoods.

It also has recommendations on infill housing, buffers between neighborhoods and commercial corridors, neighborhood maintenance, and aging in place.

Principles

Principles from the Future Land Use Chapter that apply to neighborhoods are:

- Preserve neighborhoods and community assets.
- Blend new housing using good design to complement existing character.

Land Uses

The following future land use categories, described in more detail in the Future Land Use chapter, are appropriate in neighborhoods:

- Single Family Neighborhood
- Institutional
- Parks and Cemetery

NEIGHBORHOOD BUFFERS

Due to its early 20th century design, Berkley neighborhoods directly abut commercial corridors, often with little in the way of fencing or landscaping in between. Adjacent commercial uses can place strain on nearby residents in terms of parking on residential streets, noise, odor and litter drifting into yards. Equally important to planning for commercial corridor expansion, more fully addressed in the Corridors chapter, is protecting existing residential properties with buffers that provide sufficient separation of uses and screening.

In community surveys and deliberations during the Master Plan process, design ideas for buffers were shared and discussed. A buffer with a masonry wall and landscaping was considered the best option, which is required under current zoning. That type of buffer is usually 10 to 15 feet in width, a quarter to a third of the width of a typical Berkley residential lot and for shallow commercial lots, necessitates expansion into adjoining neighborhoods (see corridors chapter for more detail).

Infill Housing

Berkley has a variety of single family homes, ranging from bungalows to larger two-story homes. Within neighborhoods, new or infill houses have been built on existing lots, sometimes replacing older homes, with increasing frequency in the past decade. The size, bulk and design of these new homes can influence the character of neighborhoods and have increasingly become a concern of the community. However, newer single-family homes bring re-investment, keeping neighborhoods vibrant, and bolstering the City’s financial sustainability.

The challenge faced by Berkley policy makers is how to maintain the existing character of neighborhoods while encouraging redevelopment within them. A number of zoning tools have been used by communities to lessen the impact of infill houses – decreasing maximum heights, requiring roof pitches more in keeping with the area, limiting the bulk of home through floor to area ratios or maximum impervious surface ratios.

Why Infill Houses are Bigger than a Bungalow?

- 1. Basements of new homes are generally taller, to create livable basement space and to mitigate basement flooding.
- 2. First floor heights are often higher than older Berkley homes since modern construction has a minimum of 9 foot ceilings, sometimes higher, whereas when most of original homes in Berkley were built, industry standard was 8 foot ceilings.
- 3. Floor joists, the material that the floor is laid over, are now thicker, 14 inches compared to 10 or 12 inches previously, due to longer spans.
- 4. People want larger living spaces, resulting in larger footprints.
- 5. A two-story house is more cost-effective to build than the classic Berkley bungalow and infill housing construction does not offer the economies of scale available to original developers of Berkley



Example of an infill house next door to an older 1-story house. Source: City of Berkley

Example of a Visual Preference Survey

Teska Associates used the visual preference survey below with the Steering Committee to determine housing styles appropriate for Greenfield.

GREENFIELD ROAD RESIDENTIAL

A B C

DRAFT CITY OF BERKLEY MASTER PLAN DESIGN GUIDELINES DEC. 16, 2020 ARCHITECTURAL DESIGN GUIDE: TOWNHOUSE DEVELOPMENT SAMPLE CHARACTER IMAGES VISUAL PREFERENCE DISCUSSION Carlisle Wortman

GREENFIELD ROAD RESIDENTIAL

D E F

DRAFT CITY OF BERKLEY MASTER PLAN DESIGN GUIDELINES DEC. 16, 2020 ARCHITECTURAL DESIGN GUIDE: TOWNHOUSE DEVELOPMENT SAMPLE CHARACTER IMAGES VISUAL PREFERENCE DISCUSSION Carlisle Wortman

GREENFIELD ROAD RESIDENTIAL

G H I

DRAFT CITY OF BERKLEY MASTER PLAN DESIGN GUIDELINES DEC. 16, 2020 ARCHITECTURAL DESIGN GUIDE: TOWNHOUSE DEVELOPMENT SAMPLE CHARACTER IMAGES VISUAL PREFERENCE DISCUSSION Carlisle Wortman

GREENFIELD ROAD RESIDENTIAL

J K L

DRAFT CITY OF BERKLEY MASTER PLAN DESIGN GUIDELINES DEC. 16, 2020 ARCHITECTURAL DESIGN GUIDE: TOWNHOUSE DEVELOPMENT SAMPLE CHARACTER IMAGES VISUAL PREFERENCE DISCUSSION Carlisle Wortman

GREENFIELD ROAD RESIDENTIAL

M N O

DRAFT CITY OF BERKLEY MASTER PLAN DESIGN GUIDELINES DEC. 16, 2020 ARCHITECTURAL DESIGN GUIDE: TOWNHOUSE DEVELOPMENT SAMPLE CHARACTER IMAGES VISUAL PREFERENCE DISCUSSION Carlisle Wortman

Source: Teska

When looking at policy tools, Berkley decision makers should consider the following:

Discern the problem

In the Master Plan process, residents expressed concern about the size of infill homes. To continue the conversation started in the Master Plan process, the City should use public engagement tools, like a visual preference survey, to discern the elements of change in infill housing that is affecting neighborhood character.

Consult with builders and developers as well as the community

While community members should be heard, residential builders and developers should be included in discussions, in order to avoid unintended consequences. At times, over restrictive zoning tools can sometimes halt redevelopment. Builders and developers can share market and financing aspect of which the general public is not aware, bring real world experience, and can identify unknown issues.

Choose the appropriate policies, programs and/or tools

The solution to preserving neighborhood character while still encouraging redevelopment within neighborhoods is likely more than a simple zoning change. Zoning amendments may need to be bolstered with other policy changes, perhaps around stormwater, and programs to preserve neighborhoods, further explored in the next section of this chapter.

NEIGHBORHOOD MAINTENANCE

The majority of Berkley’s neighborhoods were built between 1940 and 1970. While Berkley neighborhoods have remained attractive, as evidenced by increasing home values, continued investment and maintenance is essential to sustain the vibrancy of the community. Home improvement, code enforcement, continuous City communication, quality city services and infrastructure are components of neighborhood maintenance.

Home Improvement and Rehabilitation

Each neighborhood is the sum of its houses. The City should continue to assist homeowners to rehabilitate existing dwellings, make housing repairs, undertake emergency repairs and continue basic maintenance. The City can connect Berkley residents to Oakland County’s Home Improvement Program for repair and improvement grants and Housing Counseling Services, which includes foreclosure prevention and home buying advice. Oakland Livingston Human Services Agency (OLHSA) offers similar services. The City can also partner with local and national businesses to offer free or discounted supplies, ranging from smoke alarms to paint.

Energy Efficiency

To achieve the City’s Energy Plan vision of becoming a sustainable, efficient city powered increasingly by renewable energy, the City should become a clearinghouse for information and connections to energy efficiency programs for Berkley residents. Opportunities could range from weatherization programs offered by OLHSA to home energy checkups and rebates on home improvements and appliance replacement from DTE Energy. The City should also encourage improvements within houses to increase sustainability, such as 240-Volt electric hook ups for electric vehicle charging.

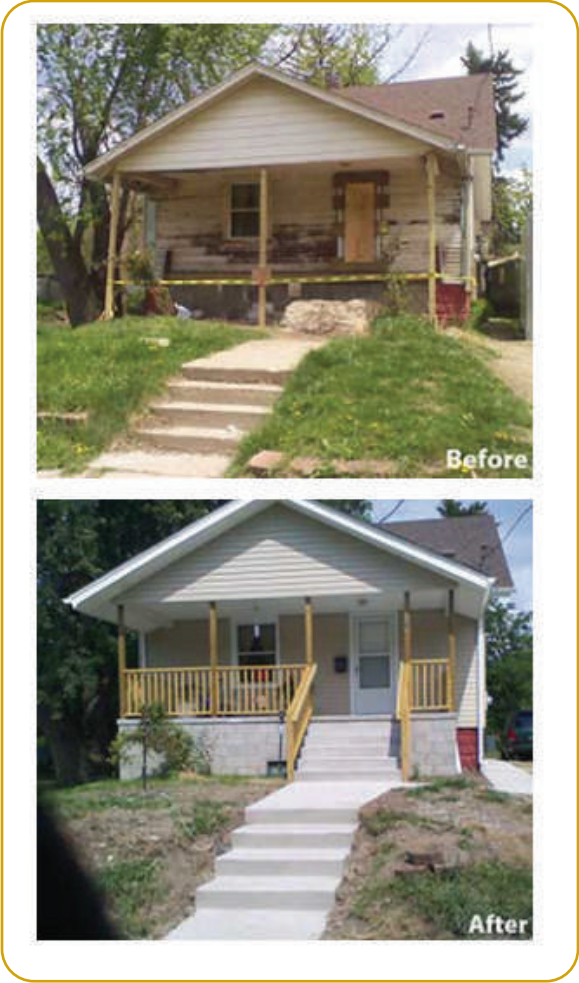
City Services

In interviews, focus groups and survey during the Master Plan process, residents continually praised the quality of City services. The City is committed to maintaining quality code enforcement, excellent public safety, and reliable trash-pick up.

In addition to traditional services, Berkley sees it’s communications with residents as an essential service, especially to neighborhoods. The City uses a variety of platforms, from paper to digital, to continually engage residents – building relationships and social capital as vital to vibrant neighborhoods as well-maintained homes and streets.

Infrastructure

Infrastructure knits neighborhoods together and with the rest of the City. Berkley is dedicated to continuous maintenance and improvement to its municipal water and sewer systems, in coordination



Oakland County offers a Home Improvement Program. Above are before and after photographs of a house that participated in their program. Source: <https://www.oakgov.com/advantageoakland/communities/Pages/Home-Improvement-Program-and-Contractor-Opportunities.aspx>



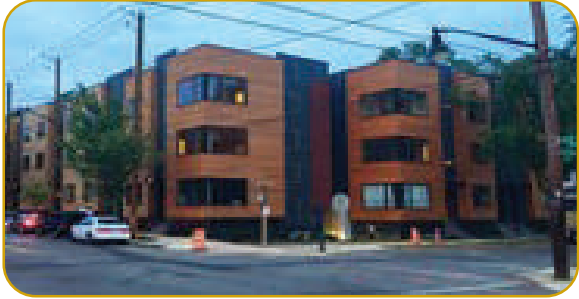
Sidewalks, trees and community facilities are valuable infrastructure that add to the quality of neighborhoods. Source: CWA



An example of an accessory dwelling unit in a detached building in a rear yard. Source: Carlisle Wortman Associates



Example of attached single-family housing. Source: Teska Associates



Example of stacked flats. This type of housing would be most appropriate on corridors in Berkley. Source: PocketNeighborhoods.net

with regional partners. Moreover, the City recognizes the role that well-maintained streets, sidewalks and street trees play in creating the walkable neighborhoods of Berkley. The Sidewalk Replacement and Fall Tree Replacement programs maintain and beautify neighborhoods and provide needed green infrastructure to mitigate increased stormwater. Sidewalks and walkability are further explored in the Systems Chapter of this Master Plan.

HOUSING CHOICES

The following types of housing are planned for Berkley, within or nearby neighborhoods, to give more choice to residents:

Accessory Dwelling Units (ADU’s): An accessory dwelling unit or ADU is an apartment attached to or within a single-family home. Also known as a mother-in-law suites and granny flats, these dwellings are sometimes attached to the house, above the garage or in a detached structure in the back yard. While the dwelling unit may be rented, ADU’s provide a living arrangement for a young adult or an aging relative to live in close proximity to family with a greater degree of privacy than together in the primary residence. ADU’s will be considered in the future as a potential accessory use in all Berkley single-family neighborhoods, contingent upon the site’s ability to accommodate additional parking and lot coverage within the City’s regulations.

Attached Single-Family Housing: Including duplexes, townhouses and multi-plexes, attached single-family housing is two or more dwelling units attached horizontally to each other. Maintenance of common areas are typically the responsibility of a condominium association or building owner, easing resident responsibilities. These types of units are often more affordable than single-family homes as well. Attached single-family housing is planned for corridors. In the Corridors Chapter, the type of attached single-family appropriate for each section of the City’s corridors are described. Further study of whether and, if so, how duplexes may be considered in the single-family neighborhoods is needed.

Stacked Flats: Stacked flats consist of two or more stacked dwelling units, one on top of the other. Typically, these units share a single entry. Barrier free access to upper floors can be achieved with elevators. This housing type lessens the burden of

yard and home maintenance. As a form of multiple-family housing, stacked flats are planned in low-density multiple-family areas, residential corridors and mixed use corridors.

**Bungalow Court:** Bungalow courts are smaller, one story houses where multiple homes surround a shared court, typically perpendicular to the street. The shared court takes the place of a private rear yard. The single story design offers those with mobility challenges safer living conditions. As with attached single-family housing, outdoor areas are typically maintained by a condominium association or the court’s owner, reducing burdens of property maintenance. A bungalow court would be appropriate in the low-density multiple-family areas or residential corridors. The site shown in the Greenfield concept plan, shown in the Corridors Chapter, could accommodate a bungalow court development.

**Co-Housing:** Co-housing is an intentional community of homes clustered around shared space, both indoor and outdoor. In the United States, co-housing is typically attached single-family units with common building with a shared kitchen and dining. While a resident will have responsibility for some outdoor space, most is communally maintained by the community members. Seniors are also embedded within a community, providing a sense of belonging. Co-housing would fit within the low-density multiple-family areas and residential corridors. The Greenfield concept plan in the Corridors Chapter could be modified as a co-housing development.

AGING IN PLACE

Berkley has an aging population, with the number of residents 65 years or older expected to double by 2045. To accommodate, Berkley wants to help residents as they age to live in the home and community of their choice, often referred to as “Aging in Place”. Aging in Place approaches use regulations, programs and designs to allow people, as they become older, to retain a sense of belonging, have a sense of purpose and maintain a sense of well-being. The City of Berkley can increase residents’ ability to age in place by expanding housing choices as described in the previous section, embracing universal design and improving places and programs.

Housing Choices and Seniors

While many seniors do remain in single-family homes,



Example of a bungalow court, which would be appropriate on residential corridors or low-density multiple-family future land use categories. Source: www.city-data.com



Co-Housing in Scio Township, near Ann Arbor. A larger site would likely be needed to develop the housing and community facilities in a co-housing community. Source: CWA



Opportunities for seniors to have a sense of purpose, such as this gardening club, are part of an Aging in Place strategy. Source: City of Berkley

Universal Design Principals

Equitable Use

The design is useful and marketable to people with diverse abilities.

Flexibility in Use

The design accommodates a wide range of individual preferences and abilities.

Simple and Intuitive Use

The design is easy to understand, regardless of the user’s experience, knowledge, language skills, or current concentration level.

Perceptible Information

The design communicates necessary information effectively to the user, regardless of ambient conditions or the user’s sensory abilities.

Tolerance for Error

The design minimizes hazards and the adverse consequences of accidental or unintended actions.

Low Physical Effort

The design can be used efficiently and comfortably and with minimum fatigue.

Size and Space for Approach and Use

Appropriate size and space is provided for approach, reach, manipulation, and use regardless of user’s body size, posture, or mobility.

often the challenges of home maintenance, yard upkeep and even climbing stairs can become too much. Without specific financing and regulations, none of the housing types described previously are guaranteed to be occupied by seniors and/or persons with disabilities. If the City desires designated housing for seniors, financing and programs will need to be utilized, in addition to zoning and policy changes. In addition, any housing type is more conducive to aging in place when Universal Design, is employed.

Universal Design

Any dwelling unit in Berkley, even those housing types described previously, will not facilitate aging in place, unless the home itself is designed for people of all abilities. Through education and policy changes, municipalities have promoted Universal Design, defined by the National Association of Home Building as the “the design of products and environments to be usable by all people, to the greatest extent possible, without the need for adaptation or specialized design”. Principles and strategies of Universal Design, as well as methods for promoting Universal Design are described on this and the follwing page.

The City should undertake the following to promote univernal design in Berkley:

**Resident Universal Design Education:** The City should consider educating residents on Universal Design. The program should cover Universal Design principles, strategies to incorporate Universal Design, associated costs, and additional resources. Several education methods should be used, such as handouts at City Hall and material on the City’s website to educate residents in understanding Universal Design, an information session with a Universal Design expert, an expert available at City Hall to advise and answer questions, as well as provide examples of return on investment analysis for Universal Design modifications on a typical Berkley home.

**Building Universal Design Education:** The City can also share Universal Design resources with builders during the project design phase and include Universal Design literature with building permit applications and on the City website.

Zoning Changes: Outdoor ramps, lifts, or no-step entrances are sometimes not allowed due to setback requirements and lot coverage zoning regulations. These and other Universal Design alterations may not meet variance standards considered by the Zoning Board of Appeals. The Zoning Ordinance could be amended to add a provision that permits latitude from the setbacks and lot coverage requirements to allow for an accessibility improvement.

Setting an Example: The City can set a good example by incorporating Universal Design principles into any future City building and retrofit where feasible.

PLACES AND PROGRAMS

The City provides places and programs for residents, within and nearby neighborhoods, to interact with each other, exercise and enjoy experiences. Recreation and social interaction are essential for a sense of belonging and a sense of well-being, fundamentals of aging in place. The City can facilitate aging in place by creating great places and programs as described below:

Walkability: Berkley is a walkable place, with a walk score of 77 out of 100. In the 2020 Parks and Recreation Plan, priority is placed on the development of trails connecting the parks to form a continuous park system tying community facilities, schools, neighborhoods, downtown Berkley, and regional recreation facilities together.

Park Design: Parks should be designed for people of all ages and abilities, with fitness equipment and passive recreation areas for all persons to relax, talk or observe nature. The “Inclusive Playground” design approach addresses the needs of all people including those who have autism, intellectual disabilities, hearing impairments, cerebral palsy, spina bifida

Universal Design Strategies

Access into the home

- No-step front door entrance or a no-step entrance to another location provides access to the main living space.
- Access Ramp creates a no-step entrance.
- Exterior doorway with a 32-inch clear opening, and exterior lighting controlled from inside the residence or automatic or continuously on.
- An exterior or interior elevator, lift, or stair glide unit.

Interior of home

- Interior doorway with a 32-inch clear opening to accommodate wheelchairs and walkers.
- Open single floor living: Eliminate need to navigate stairs and doors by increasing mobility in homes with at least 5 foot diameter turnarounds, and powered door operators. If home is multi-story, incorporate one accessible bathroom on main floor.
- Reachable switches and outlets: Switches should be placed at 44 - 48” high, while outlets should be at least 18” high.
- Friendly floors: Flooring should be a matte slip-resistant surface or low pile carpeting to reduce potential for slips or falls, and ease operation of wheelchair or walker.
- Accessible countertops, cabinets and storage: Countertops can be at varying heights of 28-42”, with at least 50% of all storage less than 54” high.

Accommodations for individuals with sensory disabilities

- Alarm, appliance, and control structurally integrated to assist with a sensory disability.

Accessible bathroom features

- Maneuverable bathroom or kitchen.
- Walls around a toilet, tub, or shower reinforced and properly installed grab bars.
- Accessibility-enhanced bathroom, including a walk-in-or roll-in shower or tub



The dentist's office above is an example of a medical facility within walking distance of homes.  
Source: CWA

and other disabilities. The 2020 Parks and Recreation Plan has an action items to “upgrade playground equipment at all city parks and add structures which appeal to a variety of ages and abilities” and “provide accessible routes to all park amenities.”

Accessible Medical Facilities: To allow access by residents of all abilities, medical facilities should be allowed close to neighborhoods, required to be universally accessible and able to be reached safely by pedestrians, cyclists, transit riders and vehicle passengers alike. Medical facilities should be located at the edges where neighborhoods meet the commercial corridors are appropriate.

Social and Cultural: The City can enhance the social and cultural lives of its residents by improving places and continuing programs that bring residents together for social and cultural events. Parks, City facilities, and commercial corridors, particularly those in the Downtown, should be inviting and engaging public spaces. The Parks and Recreation Plan, the Downtown Plan and the Corridors chapter of this Master Plan have physical improvements and policy changes to improve the sense of place in these areas. Equally important, the City should continue its Parks and Recreation programming as well as its festivals and events to give residents opportunities to interact and have shared experiences.



Events like the Art Bash provide Berkley seniors and the community opportunities to come together as a community.  
Source: City of Berkley



# Corridors

Berkley’s high traffic roadways, or corridors – 12 Mile, Coolidge Highway, 11 Mile, Woodward and Greenfield – provide some of the most memorable places in the City. Residents on their daily commute, by foot, car, bicycle or bus, likely travel one or more of these corridors. They host Berkley’s popular community events – such as the Art Bash, the Woodward Dream Cruise and more. They are also where Berkley residents and visitors eat, shop, worship, play and live.

Respondents to the 2020 Survey indicate a strong desire for commercial, entertainment, and mixed uses on Berkley corridors but often physical constraints, from street layouts to parcel depths, have constrained redevelopment of these corridors. This chapter lays out steps for corridors overall and in particular how they can become lively, vibrant places.

## Principles

Principles from the Future Land Use Chapter that apply to corridors are:

- Enhance corridors as vibrant business areas.
- Blend new housing types using good design to complement existing character.

## Previous Plans

Previously adopted plans are relevant to corridors include:

- 2012 Woodward Transit-Oriented Development Corridor Study for South Oakland County
- 2012 Multi Modal Transportation Plan
- 2018 Downtown Design Guidelines
- 2019 Downtown Plan
- 2020 Parks and Recreation Plan Update

## Land Uses

The following future land use categories are appropriate in corridors:

- Downtown
- Gateway Corridor
- Industrial/Retail
- Residential Corridor

## CORRIDORS

The Master Plan envisions vibrant and inviting corridors, each with their own sense of place. The following strategies should be used in all corridors throughout the City:

### Offer Transportation Choices

Corridors should be improved with safe transportation choices for pedestrians, cyclists and transit riders as well as motorists and vehicle passengers. Possible improvements include bike lanes, integrating bus stops with new development or property redevelopment, and expanded transit service. The creation of transit “nodes” on corridors, wider sidewalks and more intensive development at transit stops, is an economic development tool to increase foot traffic and economic activity at key intersections. Transit nodes should be implemented on 12-Mile Road, Coolidge Highway, and Woodward Avenue.

### Encourage Corridors to become Complete Streets

Complete Streets encourages safe street design accessible to all users regardless of their age, ability, or transportation choices. In 2018, the City adopted a Complete Streets Ordinance making the policy of the city to encourage complete streets through planning and zoning approvals. In addition, the City, through public-private partnerships, should provide targeted right-of-way (ROW) improvements to ensure greater connectivity and easier navigation for motorists, transit users, bicyclists, and pedestrians. Complete street principles should be explored on 12-Mile Road, Woodward Avenue, 11-Mile Road, Greenfield Road, and continued along Coolidge Highway. Any roadway configuration changes or improvements on corridors that border other municipalities – 11 Mile, Greenfield and Woodward – should be in cooperation with adjacent communities and the agency that controls the street.

### Improve the Pedestrian Experience

The pedestrian experience along corridors can be improved through design and investment where people walk. This includes the area between the back of curb and front buildings facades, known as the pedestrian realm. A well designed pedestrian realm includes sidewalks and crosswalks of the appropriate width, street trees and street furniture (light poles,



The MoGo Bike station off of 12 Mile is an example of transportation choices beyond the automobile in Berkley. Source: CWA



Coolidge during the road diet as a Complete Street with separate areas for vehicles, bicycles and pedestrians. Source: City of Berkley



The bench, flowers, trash receptacle and lighting on 12 Mile provide an inviting pedestrian realm. Source: City of Berkley



The mural shown above a Nova Chiropractic is one of 13 murals in Downtown Berkley. Source: City of Berkley DDA



The sketch up rendering above show how a buffer with trees, green space and trees would fit along side Berkley neighborhoods. Source: CWA



The building on Coolidge and Edgewood has upper story residential. Source: CWA

benches, etc.) between the sidewalk and the roadway, and a defined area for semi-public activity, like outdoor dining or sidewalk sales. These elements combined are referred to as the “streetscape”. The streetscape of corridors should be designed for pedestrians first, and motorists second. A common streetscape program should be designed and implemented for Coolidge and 12 Mile, based on the existing streetscape and plans for the Downtown Development Authority (DDA) with individual streetscapes for 11 Mile Road and Woodward Avenue.

Promote Public Art

Public art incorporated into public spaces, such as the murals in Berkley’s Downtown, promotes commercial investment, creates attractive sites for community and private events, fosters a sense of community ownership, and enhances the overall quality of life for residents and visitors. Working in partnership with organizations like the DDA, arts groups, private property owners and businesses, the City should promote public art in corridors through building relationships, ease of permitting processes, in-kind labor or services (city staff time or free trash pick-up), and possible financial support. Public art at key intersections and major destinations contributes to Berkley’s identity, fosters community pride, and provides visual interest for residents and visitors.

Create Better Buffers

Due to the nature of Berkley’s layout, corridors more often than not abut single-family properties. This can create stress between the quiet residential neighborhoods and the bustle of commercial corridors. In order to achieve a better relationship, the City requires a landscaped buffer with a masonry wall, at least 10 feet in depth. Through zoning ordinance amendments, the City should maintain and strengthen this requirement, with encouragement of decorative walls and green alleys. The buffer should protect the well-being and investment of residents to the greatest extent possible. In certain portions of corridors, the typical lot sometimes cannot accommodate both the required buffer and parking. In these cases, re-purposing of residential lots may be considered

Diversify Housing Choices in Corridors

Corridors are prime properties for new housing development in Berkley, including townhomes, courtyard apartments, and upper story lofts. A diversity of housing types allows for a range of options for various populations, ages, and incomes. Residents also then have the opportunity to stay in Berkley, at various stages in life. The City should allow additional housing types that fit within the character of each corridor, from upper story lofts in the downtown to duplexes on Greenfield and 11 Mile. Design guidelines for each corridor are included later in this chapter.

Mix Uses in Corridors

The Master Plan envisions the corridors in Berkley to fully transition from areas dominated by a single type of land use to a mix of uses. Mix of uses could include commercial, office, service, or residential. That mix is determined by the character of each area – the buildings, existing and surrounding land uses, the size and speed of each street and the function that corridor serves for Berkley as a community.

The following sections in this chapter identify “character zones” and design guidelines along the City’s corridors where mixed-use sites and corridors



Coolidge features a mix of uses throughout the corridor. Source: City of Berkley



The Berkley Public Library is an example of an institutional use on a corridor in Berkley. Source: CWA

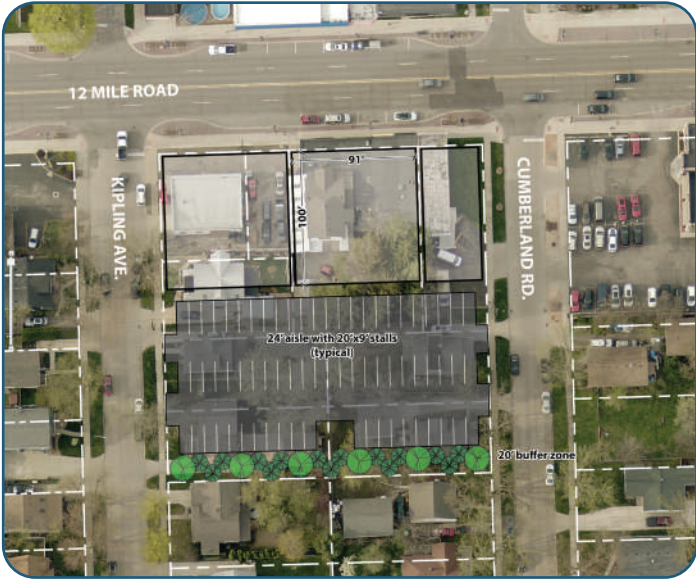


Restaurant uses, like Amici’s, are mixed with other uses in Berkley’s corridors. Source: CWA

Berkley Corridor Redevelopment Arithmetic



Source: Aerial Photograph - Oakland County. Graphis - CWA



provide commercial, residential, and office space in a manner that builds on Berkley’s best assets and protects neighborhoods. The character zones based on those in the 2019 Downtown Berkley Master Plan and the corridor future land categories of Residential Corridor, Downtown and Gateway Corridor.

While several factors limit redevelopment of property along Berkley’s corridors, many of which cannot be addressed or fixed within a Master Plan, shallow depths, particularly lots 100 feet deep or less, are challenging for re-use or redevelopment:

- A standard lot is 40 feet wide by 100 feet deep
- 10 feet (buffer) + 40 feet (parking & access aisle) = 50 feet
- 40 foot width = 4 parking spaces maximum
- 2,000 square foot building – Retail = 7 parking spaces, Restaurants = 24 parking space

**Conclusion:**  
There is not enough space to accommodate the buffer, parking and the building on the site.

Recommendations

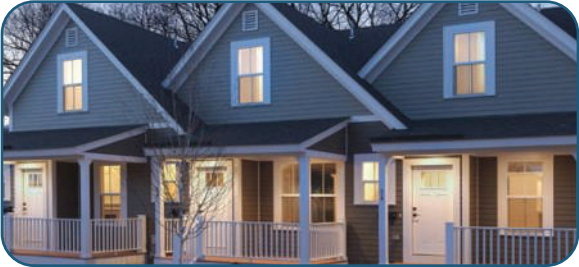
**Re-purpose residential property**  
Commercial corridor properties can be expanded by re-purposing adjacent residential property. The “Potential Corridor Expansion/Transitional Buffer” future land use category indicates where residential property could transition to provide additional space for corridor properties. Such expansions should be considered on a case-by-case basis as part of a zoning approval process. The main part of that process is to ensure future commercial expansion does not adversely impact the adjacent residential parcels.

**Change parking regulations**  
Relaxing parking requirements is appropriate when other parking options may be possible – municipal parking lots or shared parking – such as in the Downtown

GREENFIELD

Greenfield is a five-lane high-speed road and the City’s western boundary with Southfield. On Berkley’s side, it is predominately single-family residential with a few multiple-family buildings and houses converted to office or retail uses. , There are a variety of land uses on Southfield’s side, from big-box commercial to multiple-family to a County park. The goal for the corridor is for the residential uses to be bolstered with adaptive re-use of houses for offices and retail, while also allowing for multiple-family development along Greenfield and possibly Ellwood.

Design guidelines for Greenfield and a concept plan for a multiple family development were created to showcase a possible development in the corridor. A full description of the process and design guidelines can be found in the Appendix.



The above photos are examples are appropriate to face Ellwood.



The above photos represent sample housing developments that are appropriate for Greenfield Road.  
Source: Teska

Greenfield Road Residential

The following planning principles, developed for the concept plan, apply to residential corridor areas on Greenfield and Ellwood:

- Buildings should front onto Ellwood Avenue and present a continuous front door appearance and lower building scale that is compatible with the neighborhood.
- Buildings located Greenfield may be taller in scale, though not to exceed 3 stories in height.
- Buildings should be grouped into clusters to provide common green open spaces.
- No driveways should be on Ellwood Avenue. All driveway access should be on Greenfield Road or perpendicular side streets as possible.
- Resident parking should be internal to the development and landscaped.
- On-street visitor parking should be placed in small groupings and should be landscaped.
- Pedestrian walkways should provide access to common spaces and surrounding sidewalks.
- Sustainable site, building and landscaping elements are encouraged and should be incorporated as appropriate to the site and program.



Greenfield Road | Concept Plan



11 MILE

Eleven Mile Road is a four-lane road along Berkley's southern border with Oak Park and Huntington Woods. The right-of-way is 66 feet with sidewalks and planting strips on both sides, varying in width from 6 to 12 feet. Due to the land uses and traffic patterns along 11 Mile, the corridor is planned for three different character areas and corresponding future land use categories.

As redevelopment occurs on 11 Mile, the City should implement unifying streetscape elements such as landscaping, seating, pedestrian lighting, and others as appropriate. Streetscapes should be coordinated with Oak Park and Huntington Woods, when possible

11 Mile Design Guidelines

The following design guidelines apply to the entire corridor:

- Sidewalks should meet accessibility standards and should be appropriately lighted for bicycle and pedestrian traffic.
- Pedestrian crosswalks should be meet accessibility standards and should be well marked.
- Areas adjacent to the curb should be planted with lawn and canopy trees, as space allows.
- On-street parking on side streets should be well defined. On-street parking on 11 Mile is not allowed.
- Sustainable streetscape features such as permeable pavements, rain gardens and LED lighting are encouraged.



11 Mile  
Source: CWA

Design Guidelines

The following design guidelines apply to 11 Mile between Woodward and Mortenson:

- Buildings should front onto 11 Mile. Front yard setbacks along 11 Mile should match those of the adjacent existing homes.
- Buildings should be no taller than two stories.
- Attached single-family housing may range in groupings from 2 to 5 units per building.
- All driveway access should be on 11 Mile Road or side streets, as possible.
- Pedestrian walkways should provide access from the front door to the sidewalk and parking areas, as well as common open spaces.
- Facades should incorporate front porches and clear visibility to front doors.
- Facades should incorporate a consistent rhythm of windows. Windows between lower and upper floors on adjacent buildings should relate to one another.
- Façade materials should be brick, stone, and wood to be consistent with existing housing types in Berkley.
- Rooflines should reflect the rooflines of this portion of 11 Mile, which include gable and hip roofs.
- Rooflines should be arranged to provide visual interest and differentiation between units.
- Sustainable site, building and landscaping elements are encouraged and should be incorporated as appropriate.

Woodward to Mortenson Residential Corridor

This section of 11 Mile should remain primarily single-family housing. However, at intersections corners, attached single-family housing, such as duplexes and townhouses, could be allowed.



Single Family Houses on 11 Mile  
Source: CWA



Office use in house on 11 Mile  
Source: CWA



Duplex on 11 Mile  
Source: CWA

Mortenson to Robina Gateway Corridor

The intersection of Coolidge Highway and 11 Mile is one of the most visible entrances to the City. While maintaining small-scale commercial and office uses, attached single-family housing should be allowed to enter the mix along this section of 11 Mile. Redevelopment of older and obsolete buildings should include an architecturally pleasing façade treatment for the elevation that fronts 11 Mile, much like the “before” and “after” photographs on this page. Public art, such as murals, should be encouraged.



Photo examples show how modest building improvements, such as window replacements, paint, signage and lighting, have dramatically improved Berkley's local building character and appearances.  
Source: Google & Teska

Design Guidelines

The following design guidelines apply to 11 Mile, between Mortenson and Robina:

- Main building entrances should be prominent and visible from the street.
- Building windows should front onto the street.
- Driveways and parking areas should be clearly visible from the street and landscaped.
- Off-street parking lots, including those that abut the sidewalk, are screened with a masonry or decorative wall and landscaping.
- Monument style signs and building mounted signs should be incorporated into the site and building.
- Dumpsters should be screened from view via enclosures.
- Outdoor seating areas are encouraged as appropriate to building use.
- Building mounted lighting should complement the building.
- Sustainable features such as permeable pavements, LED lighting, native landscaping, locally sourced and recycled materials are encouraged.

Eleven Mile Road | Concept Rendering & Design Guidelines



Source: Teska Associates

Private building and parking enhancements:

- Main building entrances should be prominent and visible from the street.
- Building windows should front onto the street.
- Driveways and parking areas should be clearly visible from the street and landscaped.
- Monument style signs and building mounted signs should be incorporated into the site and building.
- Dumpsters should be screened from view via enclosures.
- Buildings and parking areas should be enhanced with landscaping.
- Outdoor seating areas are encouraged as appropriate to building use.
- Building mounted lighting should complement the building.
- Sustainable features such as permeable pavements, LED lighting, native landscaping, locally sourced and recycled materials are encouraged.

Public right of way (ROW) enhancements:

- Sidewalks should meet accessibility standards and should be appropriately lighted.
- Pedestrian crosswalks should be meet accessibility standards and should be well marked.
- Parkways should be planted with lawn and canopy trees as space allows.
- On-street parking should be well defined.
- Sustainable streetscape features such as permeable pavements, rain gardens and LED lighting are encouraged.

Robina to Greenfield – Industrial/Retail

A unique mix of industrial and retail, this portion of 11 Mile is starting to redevelop as a walkable corridor. The City should allow re-use of industrial buildings as lofts and other multiple-family uses here. The design guidelines as illustrated on this page should be implemented via zoning changes. Improvements within the public right-of-way (R.O.W.) and private properties should be coordinated to improve the overall corridor.

WOODWARD

Traveling 21 miles through 11 communities, Woodward is one of the most studied and planned corridor in southeast Michigan. Regional plans for Woodward envision a multi-modal street with dedicated lanes for buses or trains, bicycles as well as vehicles with wide sidewalks and more intense development at transit stations. The 2020 Parks and Recreation Plan specifies connecting Berkley's trails and pathways to the regional system developing along Woodward Avenue in Oakland County.

In its 1.8-mile stretch in Berkley, Woodward is a divided boulevard with eight lanes of traffic and a 200-foot wide right-of-way. Roseland Park Cemetery occupies over a of a third of Berkley's frontage on Woodward and is a planned as Parks & Cemetery. The rest of the corridor in Berkley is planned as Gateway Corridor.



The Woodward Dream Cruise in an annual event on Woodward  
Source: City of Berkley

Study Recommendations

The City is committed, to the greatest extent possible, to the following recommendations for Woodward in the 2012 Woodward Avenue TOD Corridor Study for South Oakland County and the 2015 Woodward Avenue Action Association Woodward Avenue Complete Street Plan.

- Reduction to six lanes of traffic, with expanded sidewalks, two-way raised cycle tracks, dedicated bus rapid transit
- Bus rapid transit stops were planned at 11 Mile and 12 Mile, with increased development. Taller buildings at 12 Mile and Woodward may not be possible due to the shallow lots in this area and deed restrictions of the original plat.
- Coordinated streetscape with adjacent communities include permeable paving, street lighting and landscaping.
- Parking policies requiring less parking where transit stops are within a 5-minute walk.

Design Guidelines

- The following design guidelines apply to East 12 Mile:
- Connect sidewalks and trails along East 12 Mile to the regional network along Woodward and the planned trail on the edge of Roseland Park Cemetery.
  - Continue the street trees at regular intervals, pedestrian scale decorative lighting and wayfinding signs in other parts of 12 Mile throughout this section.
  - Repair and maintain the sidewalk on the south side of East 12 Mile.
  - Parking lot areas should be in the side yard, setback from the sidewalk and screened with a masonry or decorative wall and a landscaped area.
  - New buildings should be no higher than two stories.
  - Parking, loading, trash and service areas should be screened from the street and buffered from the adjacent neighborhood. In some cases, these may be in a side yard with appropriate screening to minimize neighborhood impacts.

EAST 12 MILE

Between Woodward and Coolidge, this portion of 12 Mile features Roseland Park Cemetery along it entire northern frontage. On the south side of the street, uses vary from medical offices with large parking lots to single family homes to vacant land. The lots are shallow, 115 to 135 feet in depth, and back up to the rear yards of the Oakland Manor neighborhood. Due to the lot sizes and surrounding land uses, this area is suited for single-family attached housing or small scale office, personal service or retail uses.



View of Roseland Cemetery from the south side of East 12 Mile  
Source: CWA

WEST 12 MILE

The portion of 12 Mile west of the Downtown, from Greenfield Road to Buckingham Avenue, is planned as a Gateway Corridor. This portion of 12 Mile has a second story residential and live/work units.

The 2018 Downtown Design Guidelines and the 2019 Downtown Master Plan have more in-depth recommendations that should be followed in additon to the design guidelines on this page.



Black Ritual Tattoo on West 12 Mile.  
Source: CWA

Design Guidelines

- The following design guidelines apply to West 12 Mile:
- Continue the brick pavers, street trees at regular intervals, pedestrian scale decorative lighting and wayfinding signs throughout this section of 12 Mile.
  - New buildings should be built to the street edge and have public and semi-public space.
  - Outdoor product displays should be allowed and engaging storefront encouraged, with vibrant window displays.
  - New buildings should be two stories at the street edge, with a third story allowed if stepped back from the street edge
  - Buildings should transition and connect 12 Mile to adjacent neighborhoods by stepping down in height and scale at rear property lines, buffering parking and landscaping at borders.
  - The variety of building materials should be preserved and encouraged.
  - Off-street parking lots, including those that abut the sidewalk, are screened with a masonry or decorative wall and landscaping.

Design Guidelines

- The following design guidelines apply to South Coolidge:
- Upper floor residential and townhouses are encouraged in a greater proportion than in the Downtown.
  - Buildings have entrances directly to the street for pedestrians.
  - Buildings may be at the sidewalk’s edge or slightly setback to allow for landscaped yards, outdoor dining and display areas.
  - Underutilized parking lots can be repurposed for dining patios, sitting areas or outdoor display areas.
  - New development is two stories at the street edge, with an occasional third story set back from the street and adjacent neighborhoods.
  - The use of traditional materials is promoted to maintain continuity within the Downtown.
  - Underused parking lots are adapted to include beautification elements, access and passive use alternatives.
  - Buildings and sites should transition to adjacent neighborhoods by stepping down in height and scale at rear property lines, buffering parking, and landscaping at borders.
  - Curb extensions should be installed at intersections to aid pedestrian safety and provide landscaped areas.
  - Off-street parking lots, including those that abut the sidewalk, are screened with a masonry or decorative wall and landscaping.
  - Parking areas are buffered from the sidewalk and adjacent residential uses.
  - Traditional pedestrian-scale light fixtures should be installed throughout this part of Coolidge.

SOUTH COOLIDGE

Bordered by Catalpa to the north and 11 Mile to the south, this area is envisioned to be a mixed-use area with residential, offices, restaurants and shopping, less dense than downtown but with the same degree of walkability.



Office use on South Coolidge  
Source: CWA



Ice cream shop on South Coolidge  
Source: CWA

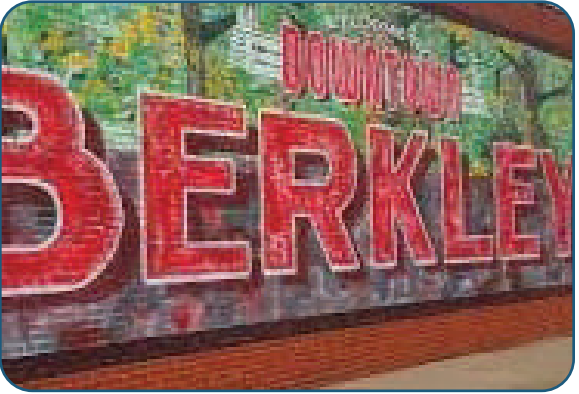
DOWNTOWN

Berkley’s traditional downtown is on 12 Mile, between Buckingham and Coolidge, and on Coolidge from 12 Mile to Catalpa. The Downtown is home to distinctive buildings from the 1920’s, 1930’s, 1950’s and 1960’s, including the iconic Berkley Theater. Characterized by older buildings set close to the sidewalk, shops and restaurants, this area was designated as the “Downtown Core” in the 2019 Downtown Berkley Master Plan.

The 2018 Downtown Design Guidelines provide specific design guidelines for three distinct areas within the Downtown.



Repurposed parking lot for outdoor dining in 2020  
Source: City of Berkley



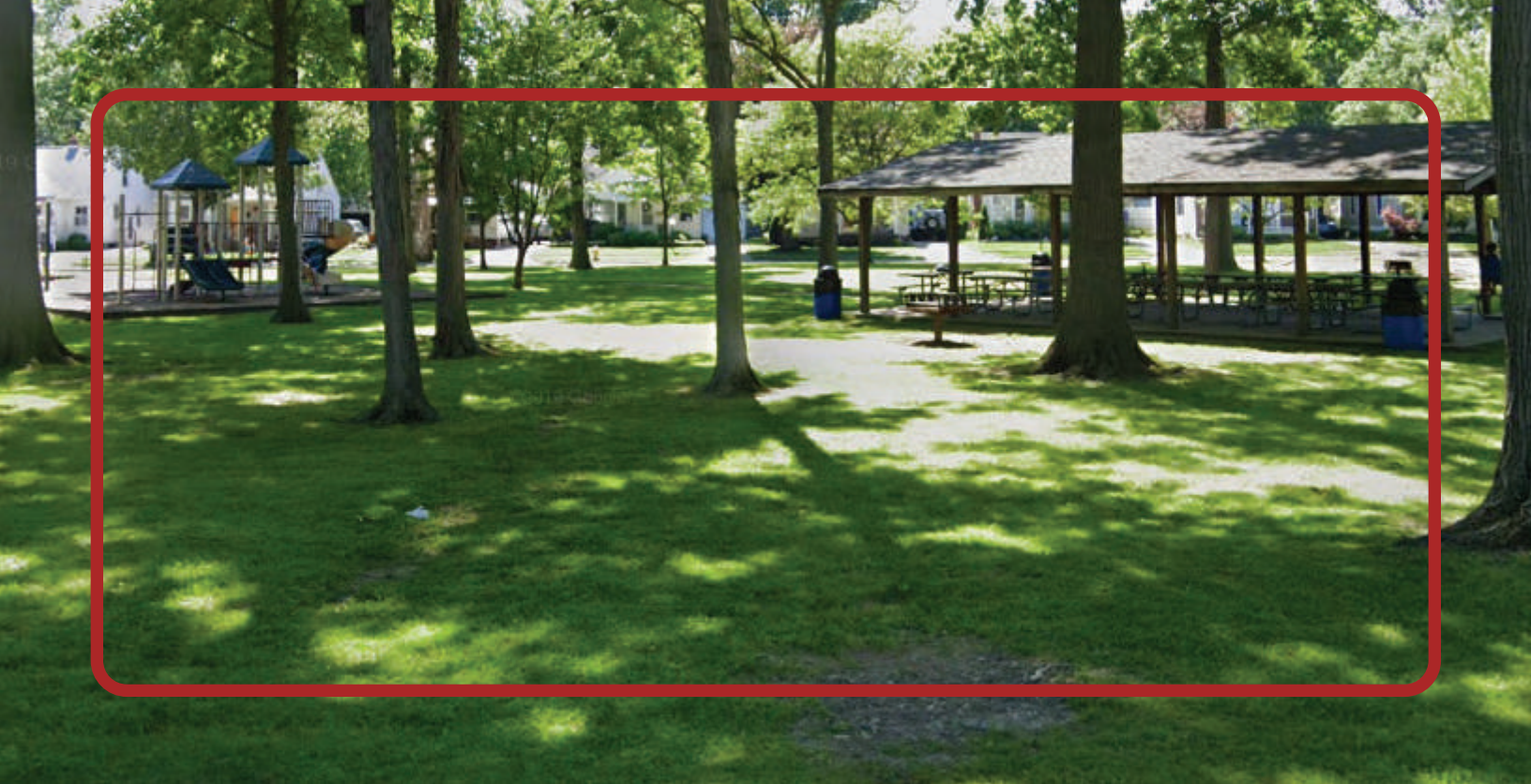
Gateway Mural at 12 Mile and Coolidge in Downtow  
Source: City of Berkley

Design Guidelines

- The following design guidelines apply to Downtown Berkley:
- Buildings align at the sidewalk edge, with some variety allowed, to create a consistent street wall.
  - New development is two stories at the street edge with a third story that is set back from the sidewalk and adjacent areas of lower scale, such as neighborhoods.
  - The use of traditional materials is promoted to maintain continuity within the Downtown.
  - Underused parking lots are adapted to include beautification elements, access and passive use alternatives.
  - Institutional uses remain in the Downtown, to keep foot traffic and vibrancy.
  - The streetscape is consistent and unified in appearance with curbside brick paving along the sidewalks, landscaping in corner planting areas and curb extensions, and low-scale, traditional light fixtures.
  - On-street parallel parking is allowed throughout the Downtown, including on Coolidge.
  - Off-street parking lots, including those that abut the right-of-way, are screened with a masonry or decorative wall and landscaping.



Source: Carlisle Wortman Associates



# Systems

Systems run through the City of Berkley transporting people, energy, water and waste. Public buildings, parks, roads and streets, and infrastructure systems should be designed, built and maintained using principles and methods that protect and enhance the quality of life in Berkley by minimizing energy consumption and environmental pollution. This chapter lays out actions to create sustainable infrastructure, energy, transportation and natural resource systems in Berkley.

## Principles

Systems should be designed, built and maintained to:

- Maintain safety
- Increase efficiency
- Create sustainability
- Decrease energy consumption
- Minimize environmental pollution

## Previous Plans

Previously adopted plans that are relevant to systems include:

- 2012 Multi Modal Transportation Plan
- 2019 Energy Plan
- 2020 Parks and Recreation Plan Update

## Land Uses

Systems are integral to all of the future land use categories. However, the following future land use categories are places where investments and improvements can improve the sustainability of the City:

- Neighborhoods
- Institutional
- Parks & Cemetery
- Downtown
- Gateway Corridor

## INFRASTRUCTURE

Infrastructure includes the City’s facilities, public utilities owned by the City (water and sewer), and privately owned utilities (electricity, broadband), roads and sidewalks, which are owned and/or managed by the City, Oakland County or the Michigan Department of Transportation. This section concentrates on the City combined sewer system, with electricity and roads addressed in the Energy and Transportation sections, respectively.

The City of Berkley has over 60 miles of combined waste and storm sewer. The system is gravity-fed and drains to the regional Twelve Towns combined relief sewer. The capacity of the system has been overwhelmed by storm events in recent years, leading to improvements intended to decrease the amount of rain water entering the system, including green infrastructure.

### Green Infrastructure

Green infrastructure uses ecological features – trees, rain gardens and bio-swales - to first handle water from rain and storms, rather than sewer pipes. The City can integrate green infrastructure in all levels of development and infrastructure improvements by taking the following actions:

Add Green Infrastructure to Parks: The 2020 Parks and Recreation Plan has an action item for parks to “plant shade trees and add other sustainable features such as rain gardens to help mitigate stormwater issues.” Demonstration rain gardens are planned for all Berkley parks.

Add Green Infrastructure to Municipal Parking: The City should, where feasible, update city owned parking lots with bio-swales, rain gardens and green alleys. The municipal parking lot planned for 12 Mile and Cummings should include a green infrastructure demonstration project.

## Examples of Green Infrastructure

The following examples of green infrastructure on a small and medium scale were shared in the Green Infrastructure webinar.



Volunteers planting a rain garden at a school.  
Source: Presentation on Green Infrastructure Webinar

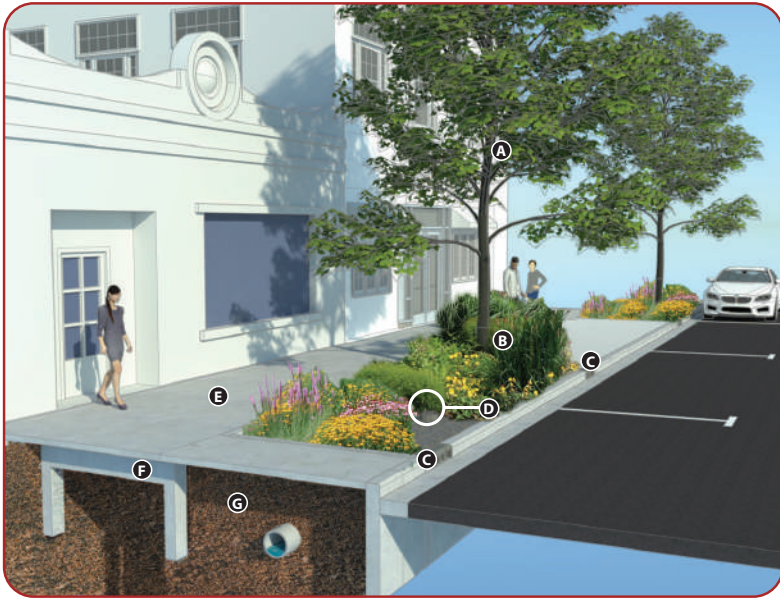


Green infrastructure in downtown streetscape  
Source: Presentation on Green Infrastructure Webinar

Green Infrastructure Options in Berkley Parks & Streets



- A. Trees
- B. Rain Gardens or Planted Swales
- C. Permeable Pavers
- D. Green Roof
- E. Recessed Playing Fields and Amenities
- F. Underground Stormwater Vaults
- G. Retention/Detention Ponds & Constructed Wetlands



- A. Street Trees
- B. Rain Gardens
- C. Inflow Grates
- D. Overflow to Traditional Stormwater Piping
- E. Permeable Paving
- F. Vaults and/or Sidewalk Support Structures
- G. Uncompacted Soil or Structural Soil

Explore Green Infrastructure in City Streets: The City's engineers have advised Berkley to undertake a feasibility study for the implementation of bioswales / bioretention within City road rights-of-way.

Offer Green Infrastructure Education & Resources to Businesses & Residents: The City should encourage business and residential owners to incorporate improvements such as rain barrels, rain gardens, pervious surfaces etc. through an education program. The City participates in the WaterTown program, through the

Clinton River Watershed Council, that provides resources to communities to improve water quality and alleviate climate change impacts by promoting and implementing green infrastructure and advancing water-oriented community and recreation opportunities. The program has education and resources for rain gardens, permeable pavers, and bioretention cells.

ENERGY

The 2019 Energy Plan has recommendations for project selection and implementation, funding, staffing, policies and procedures, data and communications. While the Environmental Advisory Committee will guide implementation of the Energy Plan, the following actions should be pursued in the Master Plan to help realize the City's vision of becoming a sustainable, efficient municipality, powered increasingly by renewable energy.

**Energy Efficiency Guiding Principle in Capital Improvements**

Energy efficiency should be a guiding principle for capital improvement budgets and decisions across all City departments. The Energy Plan recommended that the City identify a suite of clean energy and energy saving projects to undertake in the short-term. In addition, when reviewing the Capital Improvement Program, the Planning Commission and City Council should prioritize the following type of improvements:

- Energy savings and clean energy projects identified in the Energy Plan.
- Conversion of lighting in City facilities and street lights to LED lighting.
- Installations of submeters for public buildings.
- Increased energy efficiency, including recycling considerations, when purchasing supplies, equipment, etc.
- Costs of equipment purchase or replacement that result in savings over the lifetime of the equipment are a higher priority.
- Improvements for facilities to meet the minimum requirements of the National Fire Protection Association and National Electrical Code.

**Increased Funding for Energy Efficiency and Renewable Energy**

In the Energy Plan, the City committed to increasing funding for municipal energy efficiency and renewable energy projects through internal and external sources. The City should designate staff or consultant time to pursue funding from federal, state, and private sources.

**Municipal Facilities**

The municipal facilities shown below are examples of places where energy efficiency could be enhanced.



The Berkley Historical Museum and City Hall can become more energy-efficient through capital improvements. Source: City of Berkley



Upgrading street lights like the one shown here to LED lights would increase energy efficiency and save the City funds in the long run. Source: City of Berkley

## Sustainable Building and Site Design Features

- Water Use Reduction
- Water Efficient Landscaping
- Innovative Wastewater Technologies
- Low Impact Stormwater Management
- Optimization Of Energy Performance
- On-Site Renewable Energy
- Passive Solar Heating
- Reuse/Recycled/ Renewable Materials
- Indoor Air Quality Or Other Elements identified as sustainable by established groups such as the US Green Building Council (LEED), ANSI National Green Building Standards, or SEMCOG Low Impact Design Manual

### Revolving Energy Fund for Municipal and Private Energy Improvement Projects

A goal of the Energy Plan is to establish a revolving energy fund. The fund would be used to invest in energy improvement projects, such as LED street lights, and then reinvest at least 80 percent of the resulting savings into subsequent energy saving or demonstration projects. The fund should focus on municipal projects first, and then private and non-profit projects. Once established, the Revolving Energy Fund could support an Energy Manager position for the City.

### Develop Plans and Policies to Increase Energy Efficiency

The Energy Plan includes recommendations to develop plans and policies to increase energy efficiency and the City’s resilience. While touched on in this Master Plan, the following should be developed as part of the implementation of this plan and subsequent updates:

- Sustainability standards for maintaining, remodeling, upgrading and replacing municipal buildings.
- A stand-alone Sustainability or Climate Action Plan
- Incentives for use of sustainability standards in private sector construction and maintenance activities.

### Amend City Zoning Ordinance to Codify Sustainability

The following zoning amendments would codify sustainability in development, increasing energy efficiency in the City overall:

- Mixed use corridors with a residential component and increased density.
- Sustainability measures in new developments or renovations such as required bicycle parking and pedestrian improvements, installation of electronic vehicle infrastructure, LED lighting, and landscaping with green infrastructure components.
- Incentives of zoning flexibility where sustainable building and site design features, transit amenities, public art, open space, green roofs or “cool roofs”



Sidewalks in neighborhoods should be regularly maintained.  
Source: CWA



Bike route markers help cyclists to navigate.  
Source: CWA



The bicycle lane on Woodward planned across communities would be part of a continuous system.  
Source: Woodward Area Action Association

## TRANSPORTATION

The transportation system in Berkley has streets, sidewalks, bicycle lanes and paths as well as stops for a regional mass transit system and multi-jurisdiction bike share program. The City is highly walkable, with a Walk Score of 77 out of 100.

Seventy-seven is a high score, signifying that most errands can be accomplished on foot. The City should build on the strengths of the existing transportation system while preparing for future transportation innovations that would increase the quality of life and sustainability of Berkley. The following strategies should be pursued:

### Regular Investments to Maintain Walkability

In 2020, the City of Berkley pivoted its Sidewalk Replacement Program from a 15-year replacement cycle to a five-year cycle by section of the City. This program, combined with the yearly Fall Tree Replacement program, offers continuous investment to maintain the walkability of Berkley neighborhoods. The Downtown Development Authority and the City also invest to improve and maintain the City’s corridors as pleasant places to walk, gather and shop. The City can further aid pedestrian access by improving street crossings, installing additional marked cross walks, and partner with the county to create more mid-block crossings.

### Continuous Trail System Connecting Adjacent Communities & Key Locations

The 2012 Multi-modal Transportation Policy and 2020 Parks and Recreation Plan prioritize the development of trails connecting the parks to form a continuous park system tying together community facilities, schools, neighborhoods, downtown Berkley, and regional recreation facilities. The system should include site amenities such as bike racks, benches, trash receptacle, mile markers, and signs along the trails and at destination points.

Rethink the Role of Parking Lots

Currently, the City's policies treat parking lots as needed places to store vehicles, assumed to be the primary mode of transportation. The City should amend its policies and programs for parking lots as opportunities for sustainable design and places that welcome all forms of transportation. Zoning amendments could include increased flexibility for parking in mixed-use corridors, decreased vehicle parking requirements overall, requiring bicycle parking, allowances for permeable pavers, and requirements or incentives for green infrastructure within parking lots.



Green infrastructure in parking lot islands.  
Source: Presentation on Green Infrastructure Webinar

Bicycle and Transit Improvements within Street Projects

The City should integrate bicycle and transit improvements in street projects, such as repaving. To prepare for these opportunities, the City should evaluate the feasibility of bike lanes or wide right turn lanes at major intersections, identify upgrades for bus stops and seek funding sources to support those improvements.



The road diet on Coolidge with on-street parking and a bicycle lane is an example of a Complete Streets improvement.  
Source: Google Streetview

Policy and Infrastructure for Sustainable Transportation

The City should support policy and infrastructure for sustainable transportation – such as bicycle parking, electric vehicle charging, and micro-mobility. Actions could vary from zoning amendments for bicycle parking, to incentives for or actual construction of electric vehicle charging, to permitting processes for scooter share stations in street rights-of-way.



Bicycle parking, electric charging stations and micro-mobility kiosks with scooters could be incorporated on Coolidge and other corridors in Berkley.  
Source: CWA

NATURAL SYSTEMS

Natural systems, such as the tree canopy and green infrastructure, weave throughout Berkley. Adding and strengthening these natural systems can improve the quality of life in Berkley, increase energy efficiency, manage stormwater and lessen pollution. The following recommendations should be undertaken:

Increase Green Space

The 2020 Parks and Recreation plan recommended that the City Council and Planning Commission, when reviewing development proposals, encourage developers to set aside open space and parkland. The City could also develop regulations to require green space and parkland for developments, based on their size and use.

Maintain and increase Berkley's Tree Canopy

Berkley's tree canopy, the percentage of Berkley's area covered by trees, should be maintained and increased. The 2020 Parks and Recreation plan recommended prioritizing replacement and upgrade of existing tree canopy using the criteria of potential for stormwater capture/detention. The Fall Tree Replacement Program currently offers new tree planting in the street right-of-way for Berkley residents on a first come, first serve basis. The City should include tree maintenance and planting, as feasible, in all projects and improvements.

Increase Green Infrastructure

As discussed in the Infrastructure section of this chapter, The City can integrate green infrastructure in all levels of development and infrastructure improvements.



City parks offer opportunities to increase green space, the City's tree canopy and green infrastructure.  
Source: CWA



# Implementation

Steps to implement the Master Plan are summarized in the Implementation Matrix on the following pages. The Implementation Matrix should be used for the following functions:

- Annual Municipal Budget
- Capital Improvment Plan
- Annual Planning Commission Report
- Planning Commission Work Plan
- Community Development Department Work Plan
- Master Plan Update in 2026

CHAPTER	STRATEGY	PRIORITY	TIMEFRAME	RESPONSIBILITY
Neighborhoods	Update zoning to allow ADU's	High	1-3 years	Planning Commission City Council
Neighborhoods	Study whether additional duplexes could be integrated into Single Family Neighborhoods	Medium	3-5 years	Planning Commission City Council
Neighborhoods	Amend the Zoning Ordinance to permit latitude for accessibility improvements	High	1-3 years	Community Development & Building Depts.
Neighborhoods	Update R-2 and RM zoning parcel size & setbacks to allow attached single-family housing matching size & scale of adjacent houses	Medium	3-5 years	Planning Commission City Council
Neighborhoods	Add design requirements for duplexes and multiple family buildings to the R-2 and RM zoning	Medium	3-5 years	Planning Commission City Council
Neighborhoods	Connect homeowners to home improvement programs	High	Ongoing	Community Development Dept.
Neighborhoods	Engage residents via City communications to build and cultivate relationships and create social capital	High	Ongoing	City Manager's Office
Neighborhoods	Provide information to residents and builders on Universal Design	Low	5-10 years	Community Development & Building Depts.
Neighborhoods	Continue excellent City services for neighborhoods	High	Ongoing	All City Departments
Systems	Cooperate with regional partners to maintain and improve water and sewer systems.	High	Ongoing	Department of Public Works
Corridors	Create mural program for corridors outside of the DDA boundaries	Medium	3-5 years	Community Development Det.
Corridors	Create sign and/or façade improvement program for corridors outside of the DDA boundaries	Medium	3-5 years	Community Development Dept.
Corridors	Update the Greenfield zoning district to reflect the Greenfield Corridor design guidelines	Medium	3-5 years	Planning Commission City Council
Corridors	Review R1-D zoning on East 11 Mile to include attached single-family	Low	5-10 years	Planning Commission City Council
Corridors	Implement zoning strategy in the Downtown Berkley Master Plan	High	1-3 years	Planning Commission City Council
Corridors	Update zoning to diversify housing choices in corridors	High	1-3 years	Planning Commission City Council
Corridors	Update zoning to implement design guidelines for corridors	High	1-3 years	Planning Commission City Council

CHAPTER	STRATEGY	PRIORITY	TIMEFRAME	RESPONSIBILITY
Corridors	Updating zoning parking requirements	High	1-3 years	Planning Commission City Council
Corridors	Updating buffer requirements between corridors & neighborhoods	High	1-3 years	Planning Commission City Council
Systems	Integrate Bicycle and Transit Improvements within Street Projects	High	Ongoing	City Council Department of Public Works MDOT, Oakland County Road Commission
Systems	Create a revolving energy fund for municipal projects	High	1-3 years	City Council
Systems	Extend revolving energy fund to private & non-profit projects	Medium	3-5 years	City Council
Systems	Connect Berkley residents to energy-efficiency opportunities and programs	Medium	3-5 years	Community Development & Building Depts.
Systems	Offer Green Infrastructure Education & Resources to Businesses & Residents	Low	5-10 years	Community Development & Building Depts.
Systems	Update zoning to require bicycle parking and pedestrian improvements installation of electronic vehicle infrastructure, LED lighting, and landscaping with green infrastructure components	Medium	3-5 years	City Council Planning Commission
Systems	Add flexibility in zoning for building and site design features, transit amenities, public art, open space, green roofs or “cool roofs”	Medium	3-5 years	City Council Planning Commission
Systems	Develop a community-wide pathway plan, using existing sidewalks and roadways	High	1-3 years	Department of Public Works, Parks & Recreation, Community Development Depts.
Systems	Create incentives for and/or fund construction of electric vehicle charging	Medium	1-3 years	City Manager Department of Public Works
Systems	Establish permitting processes for scooter share stations in street rights-of-way	Low	5-10 years	Department of Public Works
Systems	Explore the potential for creating a dedicated Sustainability Plan or Climate Action Plan.	High	1-3 years	City Manager Community Development Dept.
Systems Neighborhoods	Continue Sidewalk Replacement and Fall Tree Replacement Programs.	Medium	Ongoing	Department of Public Works

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## Appendix



July 19, 2021 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to authorize the purchase and install of new play equipment at Community Park at a cost not to exceed \$155,512 from MidStates Recreation, 1279 Hazelton-Etna Road SW Pataskala, OH 43062. Funds for this expenditure will come from Account 615-950-974-000.

Ayes:

Nays:

Motion:

## Parks & Recreation

Memo

To: Matthew Baumgarten, City Manager  
Cc: Mark Pollock, Finance Director  
  
From: Theresa McArleton, Parks & Recreation Director  
Date: 7/12/21  
Subject: Recommendation for Award of new Play Equipment at Community Park

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As part of the FY 2021-2022 budget, funding was allocated for the purchase and installation of new play equipment at Community Park. This equipment is to replace the existing playground at the park that has aged.

The attached quote and design from Midstates Recreation was procured through the purchasing cooperative Sourcwell which allows the city to work directly with the equipment supplier to design a unique play experience as well as receive discounts on the project total. Working directly with Midstates Recreation to design and develop a new play area has allowed the city to bring both accessible and inclusive play equipment to this park.

The department most recently worked with Midstates Recreation on the play equipment that was installed at the newly developed Oxford Park and had an extremely favorable experience with their work, timing, installation and more. I feel confident they will do a great job on Community Park as well.

Included with this memo and attached quote is the design for this play area. It includes an accessible ramp from the sidewalk to play equipment as well a system known as the Infinet Structure which allows for imaginative play in many forms. When working with Midstates to design this play area, we considered the small area to be used as well as keeping in mind the beautiful and mature trees in the area. We believe the structures to be used work well in the space and will provide new ways to play for multiple ages for years to come.

This play area will continue to use engineered wood fiber safety surfacing. We priced out accessible turf surfacing, but it would increase the design and space by approximately \$60,000. The ramp play equipment will be accessible from the current walkway.

I recommend moving forward with purchase of this play equipment from Midstates Recreation at a cost not to exceed \$155,512.00 which includes removal of the old equipment, installation of drainage, play surface and new equipment at Community Park. Funds for this expenditure are allocated in account number 614-950-974-000. This pricing was obtained through the purchasing cooperative Sourcwell which the city has used for past purchases.

Please do not hesitate to call me with any questions or concerns.

ATTACHMENTS



1279 Hazelton-Etna Road SW  
Pataskala, OH 43062  
614-855-3790  
www.midstatesrecreation.com

## QUOTATION

<b>Sold To</b>	City of Berkley MI City of Berkley 2400 Robina Berkley, MI, 48072 United States	<b>Ship To</b>	City of Berkley MI City of Berkley 2400 Robina Berkley, MI, 48072 United States
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Date	Quote #	Terms	Rep	Project	Ship Contact
2021-07-06	QTN-07906-1 <b>Valid Until</b> 08-06-2021		Brion Kilpela	2021 06 Community Park Playscape - Mi Berkley City Of	

Item Code	Description	Qty	Rate	Amount
Drawing #	Drawing #21-2566A Infinet Structure and ramp structure w/ aeroglider.	1.0 Unit	\$ 119,509.00	\$ 119,509.00
ZZXX0653	WELCOME SIGN - AGES 2-12	1.0 Unit	\$ 614.00	\$ 614.00
ZZXX0652	WELCOME SIGN - AGES 5-12	1.0 Unit	\$ 614.00	\$ 614.00
APS-Border 12"	12" Playground Border with Spike	36.0 Unit	\$ 50.00	\$ 1,800.00
Freight	Shipping Charges are estimated and are subject to actual shipping charges incurred at time of shipment.	1.0 Unit	\$ 2,820.00	\$ 2,820.00
Installation Charges	Sitework includes excavation of areas includes demo of existing play equipment and border. Providing a 3" drainage layer of pea stone and layer of fabric. Removal of side walk by others. Provide safety fencing during project. Clean up and restore areas disturbed by construction. Haul spoils off site	1.0 Unit	\$ 18,938.50	\$ 18,938.50
Installation Charges	Installation Charges:Take delivery of play equipment,signs border and install per plan. Haul spoils off site.	1.0 Unit	\$ 28,261.00	\$ 28,261.00
Wood Fiber	(cy) Playground Engineered Wood Fiber Safety Surfacing - ASTM Compliant	175.0 Each	\$ 35.00	\$ 6,125.00



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## QUOTATION

Item Code	Description	Qty	Rate	Amount
Installation Charges	Provide 220 LF of 4" perforated draitile/w sock in pea stone trench and tap catch basin to the north of play area. Includes restoration	1.0 Unit	\$ 4,600.00	\$ 4,600.00
Sourcewell Customer Discount - Member ID #	Sourcewell Customer Discount - Member ID #	1.0 Unit	\$ -27,769.50	\$ -27,769.50

**Subtotal** \$ 155,512.00

**Michigan Sales Tax** \$ 0.00

**Total** \$ 155,512.00

Signature \_\_\_\_\_  
(Approval)

Printed Name \_\_\_\_\_

Title \_\_\_\_\_

Date \_\_\_\_\_



Community Park Playscape



21-2566B



Community Park Playscape



21-2566B



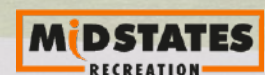
Community Park Playscape



21-2566B



Community Park Playscape



21-2566B



Community Park Playscape



21-2566B



Community Park Playscape



21-2566B

# 2020 PLANNING COMMISSION ANNUAL REPORT



**CITY OF BERKLEY**

**JUNE 2021**

# 2020 PLANNING COMMISSION ANNUAL REPORT

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## INTRODUCTION

The Michigan Planning Enabling Act (PA 33 of 2008, as amended) requires the Planning Commission to prepare an annual report documenting its operations and status of all planning activities. The MPEA states in part:

*“A planning commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding action by the legislative body related to planning and development.”*

This report will fulfill the state requirement. Beyond satisfying the state requirement, this document will also provide an overview of the Community Development Department, as well as a summary of permitting and inspection activities, code enforcement successes, and overall accomplishments. Also included is a comprehensive 2021 Work Plan for the Planning Commission and Community Development Department that will include short-term and long-term projects we hope to achieve in the coming year.

The 2020 Annual Report encompasses Fiscal Year 2020, which includes all planning activities from July 1, 2020 through June 30, 2021.

The Annual Report will be presented to the Planning Commission at their regular June meeting for their consideration and approval to present to the City Council at their regular July meeting.

## PLANNING COMMISSION

The Berkley Planning Commission is comprised of seven (7) members, from a variety of professional backgrounds. The varied perspectives of the members make for a well-rounded Commission that conducts fair and thoughtful deliberations.

Commissioner	Appointment Date
Kristen Kapelanski, Chair	2015
Martin Smith, Vice-Chair	2000
Mark Richardson, Secretary	2011
Joe Bartus	2020
Shiloh Dahlin	2020
Lisa Kempner	2018
Greg Patterson	2018
Julie Stearn	2020
Matt Trotto	2018



The Planning Commission held 12 regular meetings and six (6) work sessions during FY 2020 and reviewed:

- 3 site plans
- 1 special land uses
- 7 zoning text amendments

All regular meetings and work sessions were held virtually via Zoom from April 2020 until present.

## Summary of Planning Commission Activities

### **SITE PLAN PROJECTS**

Project No.	Name	Address	Description	Decision	Meeting Date
SP-03-20	Amici's Kitchen & Living Room	3241 & 3249 Twelve Mile	Façade change; includes removal of stone and metal awning and replacement with a painted brick veneer and new canvas awning across entire façade. Also includes removal of a doorway.	Approved	Sept. 22, 2020
SP-04-20	3180 Coolidge	3180 Coolidge	Expansion and Façade change; includes increase building height to 21 ft. Façade change will include addition of cultured stone, horizontal metal siding, metal canopies, and increase in number of windows.	Approved with conditions	Nov. 24, 2020
SP-05-20	Vibe Credit Union	3082 Coolidge	Site improvements to the parking area, including a parking modification and alternate traffic flow with new landscaping	Approved	Nov. 24, 2020

### **SPECIAL LAND USES**

Project No.	Name	Address	Description	Decision	Meeting Date
SU-01-21	Berkley Realty Group	3445 Robina	Office uses on the first floor require special land use approval in the Downtown District	PC Recommended City Council Approved	Feb. 23, 2021 March 1, 2021

## 2020 PLANNING COMMISSION ANNUAL REPORT

### ZONING TEXT AMENDMENTS

Ordinance No.	Description	Public Hearing	Ordinance Adoption
O-13-20	Amendment for the removal of BOCA from the Zoning Ordinance	June 23, 2020	First Reading – July 6, 2020 Second Reading – Sept. 21, 2020
O-14-20	Amendment that adds site regulations for Local Business District in the Schedule of Regulations	June 23, 2020	First Reading – July 6, 2020 Second Reading – Sept. 21, 2020
O-15-20	Amendment to allow the Planning Commission to modify the numerical parking requirement during site plan review	September 22, 2020	First Reading – Oct. 19, 2020  Second Reading – Nov. 16, 2020
O-16-20	Amendment to allow extensions of site plan approval before a plan expires	September 22, 2020	First Reading – Oct. 19, 2020  Second Reading – Nov. 16, 2020
O-17-20	Amendment to allow permeable pavement in commercial parking areas, subject to Planning Commission approval	October 27, 2020	First Reading – Nov. 16, 2020  Second Reading – Dec. 7, 2020
O-1-21	Amendment to clarify projections on residential properties	January 26, 2021	First Reading – Feb. 1, 2021 Second Reading – March 1, 2021
O-2-21	Amendment codifying requirements for exterior appliances that distinguishes regulations between air conditioning units and generators	January 26, 2021	First Reading – Feb. 1, 2021  Second Reading – March 1, 2021



## **Master Plan**

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In late 2019, the City of Berkley began an update of the City's Master Plan. The City retained the planning consultant services of Carlisle Wortman Associates to assist with the development of the Master Plan and facilitate the community engagement strategy. It was essential to reach as many Berkley residents, business owners, property owners, and stakeholders as possible to garner thoughts, feelings, ideas, feedback on the future direction of Berkley.

As the project was gaining momentum, the global pandemic caused worldwide closures and restricted public gatherings. City staff and the consultant team brainstormed on alternative methods to engage the public and keep the project moving forward. The team relied heavily upon the Master Plan Steering Committee to aid in advising outreach methods, as well as promoting the engagement sessions and ensuring public interest.

### ***Master Plan Steering Committee***

As a way to promote community engagement and advise the consultant team, the City Council appointed 15 persons to serve on the Master Plan Steering Committee. The MPSC was appointed to be a group representative of the Berkley community, and included members of the city staff, City Council, Planning Commission, Zoning Board of Appeals, Tree Board, Environmental Advisory Board, Downtown Development Authority, Parks and Recreation Advisory Board, as well as business owners and residents-at-large.

### ***Community Engagement***

As noted above, the community engagement component of the Master Plan project was the most important to ensure that all community members were able to participate in and comment on proposed ideas and text prior to adoption. Despite the restrictions of the pandemic, city staff and consultants adapted quickly and thought outside the box to facilitate socially distant and online engagement events. This included an 8-part webinar series, social media polls, a community survey, recorded videos, stakeholder interviews, corridor walking tours and a virtual Open House.

### ***Adoption Timeline***

Once the community engagement component of the plan was completed, the consultant team went to work compiling all the thoughts and feedback in draft text to be reviewed by the MPSC and Planning Commission.

The updated timeline is as follows:

- May 25, 2021 – Draft text to the Planning Commission
- June 15, 2021 – Draft text to the MPSC with PC edits
- June 22, 2021 – Draft text to the Planning Commission with MPSC edits. Anticipated recommendation to City Council to release draft text to public, surrounding communities
- July 19, 2021 – Review by City Council and release to the public for 63-day period of public comment (July 20, 2020)
- September 21, 2021 – 63-day public comment period ends
- September 28, 2021 – Planning Commission receives comments from public. Set public hearing.
- October 26, 2021 – Public Hearing. Planning Commission recommends adoption to City Council
- November 1, 2021 – Master Plan Adoption by City Council

# 2020 PLANNING COMMISSION ANNUAL REPORT

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## **Next Steps...**

After the Master Plan has been adopted by City Council, the next steps include a technical review of the Zoning Ordinance to ensure newly adopted Plan aligns with the regulations of the ZO.

This will be a lengthy process, as the ZO has not received a comprehensive review in many years. The Community Development Department has budgeted for a third-party consultant to assist with the technical review of the Ordinance and recommendations for a complete re-write of the Ordinance.

## **COMMUNITY DEVELOPMENT DEPARTMENT**

The Community Development Department is comprised of a Director, a Building Clerk, a Licensing Clerk, a Building Official and a Code Enforcement Officer. The team works together to ensure that the needs and wants of the residents and business owners are answered and addressed in a timely and efficient manner.

The required halting of construction activities March – early May 2020 was difficult for a city department that largely operates through face-to-face interaction. As the restrictions allowed, we continued working and communicating with the public through email, phone calls, and receiving applications through the secure drop box at City Hall.

When some office operations resumed, the Building Department kicked back into high gear and have not slowed or stopped.

## **PERMITS AND INSPECTIONS**

The City of Berkley contracts with McKenna Associates for Building Department services, include Building Official duties, plan reviews, trade inspections, and Code Enforcement. Despite the “pause” that occurred early 2020, the department has been busy permitting and inspecting projects throughout the City.

The below table shows the number of permits issued for FY2020 and previous years, for reference.

	<b>FY2020</b> <b>7.1.20 – 6.21</b>	<b>FY2019</b> <b>7.1.19 – 6.30.20</b>	<b>FY 2018</b> <b>7.1.18 – 6.30.2-19</b>	<b>FY 2017</b> <b>7.1.17 – 6.30.2-18</b>
<b>Building</b>	477	475	565	573
<b>Electrical</b>	449	386	536	548
<b>Mechanical</b>	362	335	402	431
<b>Plumbing</b>	176	202	238	269
<b>Sewer</b>	118	85	110	130
<b>Zoning</b>	226	185	205	215



The below table shows the number of inspections conducted for FY 2020.

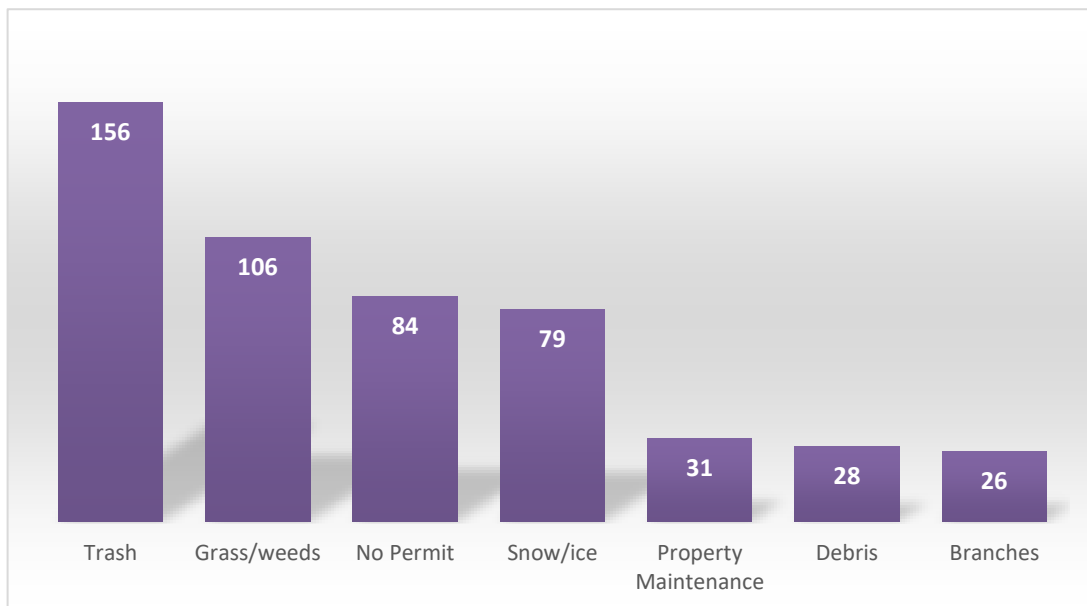
Inspection Type	Inspector	Total
Building	David Reilly	2,411
Mechanical	Aaron Garcia	483
Plumbing	George Beattie	345
Electrical	John Brunning	458
Electrical	Sean Dar	346

## CODE ENFORCEMENT

Code Enforcement has also been busy over the past year, and we have had some personnel changes, as well.

In FY2020, 772 enforcements were logged in BS&A and 664 have been closed. This would equate to an 86% success/compliance rate.

The majority of the Open/Pending enforcements were entered since May and each are being investigated accordingly. Below is a breakdown of the most popular or repeated enforcement actions in the City.



# 2020 PLANNING COMMISSION ANNUAL REPORT

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## ACCOMPLISHMENTS

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The Community Development Department worked really hard over the past year, through the pandemic and adjusting to constant changing and new normal. We want to share some of our accomplishments:

### 1. Transition to Work from Home

City staff worked very hard to continue to serve and support Berkley residents and businesses while working from home. Email threads and Zoom calls became the normal interaction methods to discuss projects and submission requirements.

### 2. Temporary Outdoor Dining, Sales, Service Areas

In order to aid local businesses as they navigated through the pandemic restrictions, City Council adopted a resolution to temporarily allow outdoor dining, sales and service areas on sidewalks, private or municipal parking areas. The temporary measure was extended through the winter, wherein several businesses opted for tents or igloos in order to serve patrons outside. It was a highly successful venture that has aided several businesses.

### 3. Temporary Closure of Griffith at Twelve Mile

Another measure to aid local businesses included the temporary closure of residential side streets at Twelve Mile and Coolidge. There were five (5) residential side streets that were identified by City staff as being areas that would garner the most attention and to benefit multiple businesses in the area. One business took advantage of that opportunity and Griffith has been temporarily closed to through traffic since July 2020.

### 4. Extensions of Board Approvals

Due to the restrictions and difficulties over the year, City Council extended all Planning Commission and Zoning Board of Appeals approvals until December 2021. This measure was proposed and supported as a way to support businesses and homeowners who had received approvals for projects but had to suspend plans due to construction restrictions or changes in financial abilities to support such projects.

### 5. Master Plan Community Engagement

As noted above, the Master Plan project continued on through the pandemic. City staff and the consultant team worked together to transition from a predominately face-to-face community engagement strategy to an exclusively online format. The quick-thinking adaptive plan allowed for longer engagement with the public and received attention from the Michigan Association of Planning and the Michigan Municipal League.

### 6. City Staff Guest Speaking Engagements

Based on initiatives that were adopted by the City over the past year, several members of City staff were invited to speak at various conferences and explain our project, how it has helped the public, and to answer questions for other communities to engage similar ideas.

- a) Michigan Association of Planning (MAP) – Megan Masson-Minock from CWA, Torri and Erin gave a presentation on community engagement during a pandemic. It was highly successful. April 2020.
- b) Southeast Michigan Council of Governments (SEMCOG) – Megan Masson-Minock from CWA and Torri gave a presentation on community engagement during a pandemic. Erin was unable to attend. June 2020.



- c) Institute of Transportation Engineers (ITE) – Erin and Derrick gave a presentation on successes and lessons learned regarding the temporary road closure on Griffith for outdoor dining. This included discussions from the planning perspective and also the implications or hurdles for Public Works. December 2020.

#### **7. Updated Planning & Permit Application Packets**

City staff worked together to update planning and permit application packets in order to garner additional information from the public about proposed projects. The intent is to streamline the process so as to prevent city staff from having to follow-up and ask additional questions for each project. All forms have been loaded on the website in a fillable format to make it more easily accessible to the public.

#### **8. Updated Fee Schedule – adopted by Council June 2021**

City staff worked together to update applicable fees to ensure that city expenses are covered. This includes updates to planning fees, sewer bonds, removal of yard waste stickers, and more. The updated fee schedule was presented to and was adopted by the City Council at the June 7, 2021 meeting. All updated fees go into effect July 1, 2021.

#### **9. Update Business License Application and Creation of How to Open a Business Brochure and Land Use Matrix**

Due to repeated phone calls and inquiries to the Building Department, city staff worked together to update the business license application, as well as the creation of a How to Open a Business Brochure and a reference Land Use Matrix. The business license application has been in circulation since May 2021. The brochure and land use matrix will be loaded on the City's website, along with an interactive website June 2021.

#### **10. Update to PC, ZBA Rules of Procedure**

In 2021, City staff worked with the PC, ZBA, and City Attorney to update the Boards and Commissions Bylaws and Rules of Procedure to incorporate the attendance policy, as well as the new member training and continued education requirement. This was included so as to ensure that any new member is fully aware of the responsibilities of serving on the Board or Commission.

## **2021 WORK PLAN**

In addition to reporting on the activities and successes of the Planning Commission and Community Development Department, it is important to set goals for the next year and what we would like to accomplish.

#### **1. Adopt Master Plan**

City staff is really excited about the progress of the Master Plan and look forward to adoption later this year. This has been a long-term project and we are excited to begin implementing the goals and objectives that have been recommended to keep Berkley engaging and welcoming.

#### **2. Redevelopment Ready Community Certification**

The City of Berkley began steps for Redevelopment Ready Community Certification in 2018. One of the main hurdles included an updated Master Plan and Zoning Ordinance. The adoption of the Master Plan will check off a big box on the "To Do" list. City staff has been working behind the

## 2020 PLANNING COMMISSION ANNUAL REPORT

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scenes to check off other boxes on the list, including updating permit applications, development flow charts and other administrative tasks that will lead to an easier method of engaging with the public and a more transparent process for developers.

### **3. Zoning Ordinance Technical Review**

The Michigan Planning Enabling Act states that zoning decisions must be based on a plan. Once the Master Plan has been adopted, it will provide the basis for making decisions and amendments to the Zoning Ordinance. The last comprehensive update to Chapter 138 was 1981. Since then, there have been several amendments that address specific issues, but not a comprehensive update. A ZO Technical Review will provide guidance for future updates to bring into compliance with case law, as well as address conflicting sections or overall holes in the Ordinance.

### **4. Sign Ordinance Re-Write**

The Sign Ordinance is not located in the Zoning Ordinance; however, we will address the updates with the Planning Commission as they may review site plans that include new commercial signage. The focus of the Sign Ordinance re-write is to bring it into compliance with Reed v. Gilbert and regulate based on the size, scale, location and materials of signs, rather than the content. City staff will work with the City Attorney to ensure that all proposed changes are defensible.

### **5. DDA Guidelines & Overlay District**

This project has been put on hold for quite some time. It had gained forward momentum in March 2020, but was halted due to the lockdown. With the Master Plan moving into its adoption phase, it is time to focus attention on this project and finalize the Ordinance language for adoption.

The Community Development Department is excited to continue working with the Planning Commission, DDA, City Council and other community groups to serve Berkley residents.





**CITY OF BERKLEY**  
**COMMUNITY DEVELOPMENT**  
3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072



## Community Development Team

### Contact Information

#### City of Berkley

3338 Coolidge Hwy  
Berkley, Michigan 48070  
248-658-3320  
[building@berkleymich.net](mailto:building@berkleymich.net)

July 19, 2021 City Council Meeting

Moved by Councilmember \_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_ to consider a bid from WCI Contractors Inc, 20210 Conner St, Detroit, MI 48234, for \$160,594 for the BHS Plaza Project. Costs are to be shared evenly with the Berkley Downtown Development Authority and Berkley School District.

Ayes:

Nays:

Motion:

# Memo

To: Mayor Terbrack and City Council

From: Matthew Baumgarten, City Manager

Date: July 16, 2021

Subject: Motion to consider a bid from WCI Contractors Inc, 20210 Conner St, Detroit, MI 48234, for \$160,594 for the BHS Plaza Project. Costs are to be shared evenly with the Berkley Downtown Development Authority and Berkley School District.

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Mr. Mayor and Members of City Council,

At its August 10, 2020 meeting, the City Council approved motion M-45-20 which adopted an intergovernmental agreement with the Berkley DDA and School District to improve the landscape located at 2524 Coolidge Hwy. Under this agreement, the three entities jointly fund the construction of a public plaza along Coolidge on a parcel of land that was recently purchased by the District and partially converted to a parking lot.

The project went to bid in September 2020 but was delayed due to the circumstances surrounding the COVID pandemic. As we restarted this project, the lowest three qualified bidders were invited to update their prices. The lowest bid was received from WCI Contractors out of Detroit at \$160,594.00 who also indicated that the project could be completed this year.

This updated bid shows a modest increase and a rebid at this point could bring the potential for a much larger number. Additionally, given today's construction market, scarcity of materials and labor, large lead times, and other concerns, moving forward with WCI's revised pricing is in the best interest for all involved. Approval also puts the three entities in the best position to complete this project in a timely way with the funds committed by all three governing bodies.

The same agenda item went before the School Board on July 12<sup>th</sup> and the DDA Board of Trustees on July 14<sup>th</sup>. Both governing bodies approved the expenditure contingent upon the approval of all three entities.

In addition to providing the space for the potential plaza, the School District committed to providing construction oversight and the project will not require engineering expenditures from the City or the DDA. The plaza will be open to the public and will eventually have art displays, tables, seating, as well as greenery and plantings.

Thank you,



Matthew Baumgarten  
Berkley City Manager

SECTION 004200 - PROPOSAL FORM

Name of Bidding Contractor: \_\_\_\_\_

1. CERTIFICATIONS AND BASE BID

Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder hereinafter referred to as Contractor, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications and all subsequent Addenda, as prepared by Grissim Metz Andriese Associates, and their consultants, having visited the site and being familiar with all conditions and requirements agrees to contract with Berkley DDA, hereinafter referred to as Owner, and agrees to furnish all material, labor, tools, equipment, utility transportation services and supervision, including all scheduled allowances necessary to perform and complete, in a satisfactory manner, all work required in conjunction with the above-named project, according to the requirements of the Procurement and Contracting Documents, and to accept as full payment thereof, subject to additions and / or deletions required by Contract, the stipulated sum of:

TOTAL BASE BID:

A. one hundred sixty-four thousand four hundred ninety-four <sup>00/100</sup> Dollars (\$ 160,594.00)  
B. The above amount may be modified in the future by amounts indicated in the Alternates Section.

2. ANALYSIS OF BID:

Unit Costs submitted for Contract additions / deletions, inclusive of any maintenance and guarantee period not separately listed. Total must equal Base Bid above. Contractor is responsible for verifying estimated quantities of materials. All work to be installed complete, as detailed on the Drawing(s), within quote Base Bid.

3. TIME OF COMPLETION \* to be revised for 2021

The undersigned Bidder proposes and agrees hereby to commence the Work of the Contract Documents no later than October 12, 2020, and shall fully complete the Work by November 23, 2020.

4. SITE HARDSCAPE AND LANDSCAPE WORK:

Item	Unit	Quantity	Unit Price	Total
<b>General Conditions</b>				
Mobilization	lump	1	7,300.00	\$ 7,300.00
General conditions	lump	1	10,500.00	\$ 10,500.00
Soil erosion control measures	lump	1	1,200.00	\$ 1,200.00
Traffic control / signage	lump	1	6,900.00	\$ 6,900.00
<b>General Conditions Total:</b>				\$ 25,900.00
<b>Demolition</b>				
Existing sidewalk in ROW removed complete inc. curb cut	lump	1	6,600.00	\$ 6,600.00
<b>General Demolition Total:</b>				\$ 6,600.00
<b>Grading/Site Work</b>				
Site excavation complete for new improvements	lump	1	4,800.00	\$ 4,800.00
Site grading complete	lump	1	11,900.00	\$ 11,900.00
<b>Grading / Site Work Total:</b>				\$ 16,700.00
<b>Hardscape</b>				
Precast concrete seatwalls complete	f.f.	194	\$ 67.00	\$ 12,998.00
Concrete straight curb complete	l.f.	28	\$ 54.00	\$ 1,512.00
Light duty non-colored concrete complete	s.f.	1,090	\$ 12.00	\$ 13,080.00
Light duty colored concrete complete	s.f.	1,260	\$ 22.00	\$ 27,720.00
Heavy duty non-colored concrete complete	s.f.	300	\$ 18.00	\$ 5,400.00
Heavy duty colored concrete complete	s.f.	170	\$ 32.00	\$ 5,440.00
6A Washed maintenance stone complete	c.y.	1	\$ 720.00	\$ 720.00
Skatestops complete	e.a.	33	\$ 98.00	\$ 3,234.00
Ornamental Metal Fence	l.f.	135	\$ 105.00	\$ 14,175.00
Ornamental Metal Gate	ea	1	\$ 2,100.00	\$ 2,100.00
<b>Hardscape Total:</b>				\$ 86,379.00

Landscape	Ulmus' Frontier', 3" cal.	ea.	5	\$ 920.00	\$ 4,600.00
	Pennisetum alopecuroides 'Hameln', 3 gal.	ea.	87	\$ 45.00	\$ 3,915.00
	Liriope spicata, 1 gal.	ea.	275	\$ 17.00	\$ 4,675.00
	Plant Mix	c.y.	30	\$ 135.00	\$ 4,050.00
	Shredded Bark Mulch	c.y.	5	\$ 115.00	\$ 575.00
	One year warranty and maintenance per spec	lump	1		\$ 7,200.00
Landscaping Total:					\$ 25,015.00
TOTAL FOR SITE IMPROVEMENTS WORK:					\$ 160,594.00

Add Alternates	Spring 2021 installation in lieu of Fall 2020 installation (Alt. 1)	lump	—	N/A	\$ N/A
	Bollards with footings complete (Alt. 2)	ea.	3	2,770.00	\$ 8,310.00
Add / Deduct Alternates Total:					\$ 8,310.00

##### 5. SUBCONTRACTORS AND SUPPLIERS

The following companies shall execute subcontracts for the portions of the Work indicated:

1. Concrete Work: Albanelli Cement
2. Precast Unit Work: D+E Landscape
3. Landscape Work: D+E Landscape
4. Fence / Gate Work: Future Fence

##### 6. ADDENDA

Contractor acknowledges following addenda covering revisions to Drawing(s) or Specifications;  
Cost of such revisions has been included in quoted Base Bid.

Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_  
Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_  
Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_  
Addendum No. \_\_\_\_\_ Dated \_\_\_\_\_

##### 7. SUBMISSION OF BID

Respectfully submitted this 25 June, 2021 day of ~~September~~, 2020: M

Submitted By: WCI Contractors, Inc.  
(Name of bidding firm of corporation)

Authorized Signature: [Signature]  
(Handwritten signature)

Signed By: Thomas A. Maliszewski III  
(Type or print name)

Title: Vice-president  
(Owner/Partner/President/Vice President)

Circle One: Corporation Partnership / Individual

Street Address: 20210 Conner  
City, State, Zip: Detroit, MI 48234  
Phone: 313-368-2100  
License No.: \_\_\_\_\_  
Federal ID No.: 38-3007970