



IMAGINE BELTON STANDARDS

DRAFT For Review, April 9, 2024

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CHAPTER 1

Introduction

Division 1.1 Plan Authority

1.1.1 Title

This document is the Imagine Belton Standards and will be referred to throughout the document as the "Imagine Standards."

1.1.2 Effective Date

The Imagine Standards was adopted on (DATE) and went into effect on (DATE)

1.1.3 Zoning Authority

A. Local Government Code

This planning effort is consistent with the Constitution and laws of the State of Texas, including Local Government Code Chapter 211, where the zoning regulations being adopted in accordance with the City of Belton Comprehensive Plan with the purpose to:

1. lessen congestion in the streets;
2. secure safety from fire, panic, and other dangers;
3. promote health and general welfare;
4. provide adequate light and air;
5. prevent the overcrowding of land;
6. avoid undue concentration of population; and
7. facilitate the adequate provision of transportation, water, sewers, schools, parks, and other public requirements.

B. Belton Zoning Ordinance and Subdivision Ordinance

The Imagine Standards is an amendment to the existing zoning ordinance (Ordinance No. 22790-1 as amended), where as it acts as a special district containing unique zones. Elements in the Imagine Standards shall additionally act as an amendment to the City of Belton Subdivision Ordinance.

Division 1.2 Purpose and Applicability

1.2.1 Introduction

The Imagine Standards was initiated as a result of recommendations from the Imagine Belton Plan. The Imagine Belton Plan is a visionary document that is intended to act as a guide for future growth and development in Downtown Belton, striving to capitalize on the unique features of the plan area. As part of that effort, the plan identified the City's existing regulatory environment as a limiting factor to accommodating new growth and recommended the creation of unique planning standards for the plan's implementation.

1.2.1 Purpose

A. Implementing a Vision

The Imagine Standards organizes the changes to the built environment that accommodate the community-supported vision of the Imagine Belton Plan. This effort includes both preserving the important existing character and guiding new development that so that it meets the desired look and function for the built environment.

B. Clear and Predictable Development Environment

1. The Imagine Standards is intended to promote new opportunities for mixed-use development and expanded residential housing while continuing to enable the high-performing elements of the built environment, such as streets and blocks, that make the existing Downtown Belton desirable.
2. This effort is supported through a code that focuses on the relationship between the public realm of streets and the building's form, massing, and orientation.

1.2.3 Intent

A. Expand Opportunity

The Imagine Standards are intended to provide more by right opportunities for development, by redirecting the codes emphasis away from use and more towards form. This is accomplished through the following code initiatives:

1. Promote the development of storefronts outside the existing downtown core to help address shortage in these spaces.
2. Improve pedestrian infrastructure and street infrastructure to address access and safety for vehicles and pedestrians.
3. Develop building standards that promote increased compatibility between buildings.
4. Direct building massing that reestablishes the role the of building architecture in creating a sense of place that contributes to expanding the character that is currently only found in the downtown core.
5. Increase shared parking and cross access to improve functionality of the built environment in regards to vehicular experiences.

B. Increase Housing

Increasing housing opportunities provides additional support for the downtown business environment through an increased number of patrons and workforce that can be found in close proximity. Increasing housing units and variety is intended to attract and retain a wider variety of residents who want to live near vibrant downtowns and unique open space like those found in Belton. This is accomplished through the following code initiatives:

1. Expand housing types that are allowed by right.
2. Create development standards that are responsive to an efficient lot use.
3. Increase the overall areas where housing is allowed to occur by right.
4. Establish standards that promote desirable, sustainable, and efficient housing.

C. Guide Development

As a means to encourage development, the communication of the regulatory environment should be done in a manner that is comprehensible and reduces as many unnecessary burdens as possible. This is accomplished through the following code initiatives:

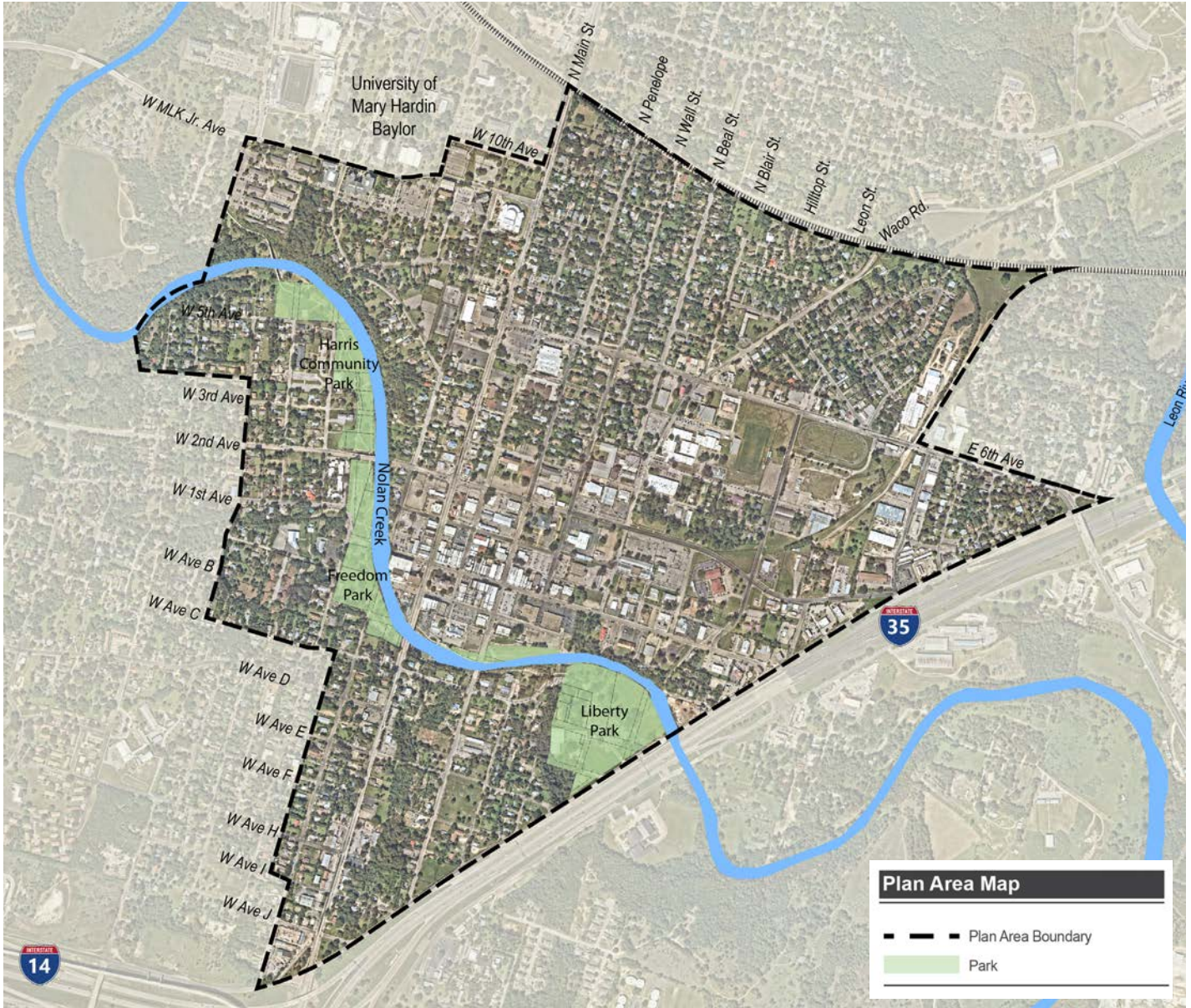
1. A development process that is predictable, efficient, and coordinated.
2. A regulatory document that is easy to follow and provides context and intent.
3. Establishes standards that encourage interconnected development patterns that support improved vehicular and pedestrian access and more efficient use of infrastructure resources.
4. Development solutions that have flexibility and provide incentives for property owners and developers to initiate projects in in the plan area.

1.2.4 Applicability

A. Location

The Imagine Standards applies to all property within the boundary as shown in Figure 1.2.1 Imagine Belton Standards Boundary and the City Belton Zoning Map.

Figure 1.2.1 Imagine Belton Standards Boundary



Division 1.3 Existing Codes

1.3.1 Conflicting Provisions

A. Text

Where the City's existing zoning and subdivision ordinances conflict with standards established in the Imagine Standards, the standards of this code take precedence. Where the Imagine Standards are silent, the Belton Zoning Ordinance, Design Standards, and Subdivision Ordinance shall prevail.

B. Illustrations

Illustrations, photographs, diagrams, and other graphics included within this document are used to further explain the intent or guidances of requirements found in this code. In instances where a conflict occurs between the text of the Imagine Standards and illustration, images, diagram, or other graphics, the text shall be followed.

1.3.2 Ongoing Code Updates

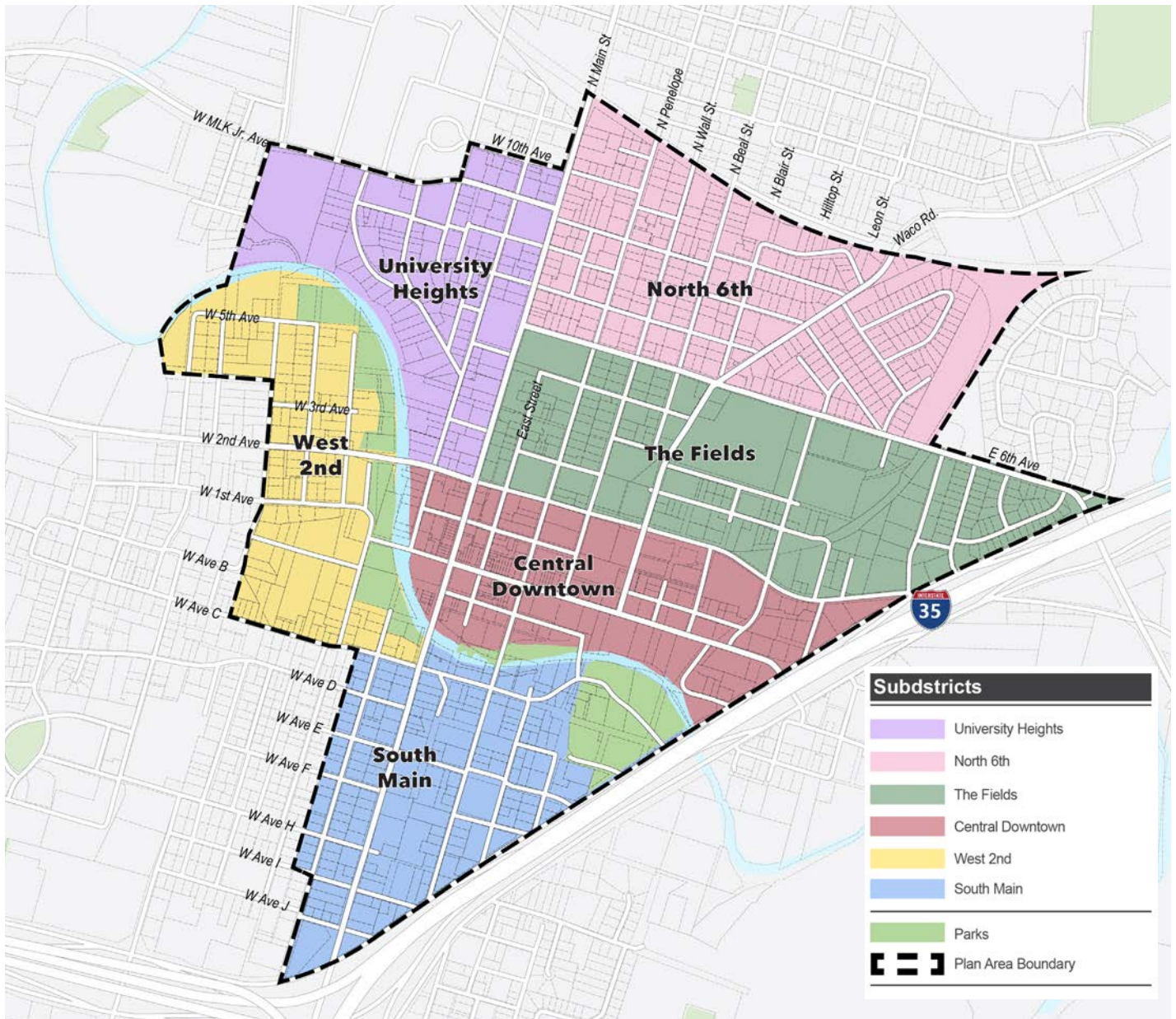
The Imagine Standards shall be reviewed with a more comprehensive review of the code once every 3 years by City Staff to determine necessary recommendations for text amendments.

Division 1.4 Imagine Belton Subdistricts

1.4.1 Imagine Belton Subdistricts

The Imagine Belton Plan divided Downtown Belton into subdistricts allowing each unique area to better define its role within Downtown and for plan recommendations to respond to their corresponding issues within that subdistrict. The six subdistricts, illustrated in Figure 1.4.1 Subdistricts, were determined based on delineation of streets, existing land uses, and built environment character considerations. Each subdistrict has key projects and land use recommendations that are intended to guide future development in the area. Together, these subdistricts create a cohesive and connected Downtown. These subdistricts are not to be confused with the Imagine Standard's zones that guide use and development standards. These subdistricts identified below should be thought of as something closer to a neighborhood, in that their role is contributing to a unique sense of place within the downtown.

Figure 1.4.1 Subdistricts



1.4.2 Development Within Subdistrict

The six subdistricts of the Imagine Belton Plan Area's have different composition of land uses, with all but the Central Downtown allowing for multiple residential housing types. The Central Downtown subdistrict, as the name would suggest, is the center of the Imagine Belton's Plan area's vibrancy and activity where shopping, dining, and entertainment are most prevalent. The Fields and the University Heights subdistricts are the areas most receptive to growth and are likely to show the widest variety of activity or mix of uses. South Main is defined by the Main Street corridor and underdeveloped property that would be ideal for new housing. West Second has some of the best access to Nolan Creek's park land and, as such, is a good location for receiving more housing opportunity and neighborhood scaled commercial. North 6th has as strong residential fabric with retail and dining opportunities abutting the heavily traveled 6th Street.

Together these subdistricts all have some variety of land use which requires a perspective in planning that best complements the subdistrict. Ultimately this may best be represented in Figure 1.4.2, below, that shows the central portion of plan area having the highest activity levels and most commercial opportunities which gradually transition outward to lesser activity levels and more housing. Additionally, this development correlates with infrastructure needs where pedestrian and vehicle traffic are greater in the Central Downtown, The Fields, and University Heights subdistricts. Where as the traffic levels lessens in the South Main, West 2nd, North 6th subdistricts, the infrastructure will still focus on a complete approach to addressing vehicular and pedestrian demands.

Figure 1.4.2 Subdistricts and the Desired Activity, Housing, and Commerce

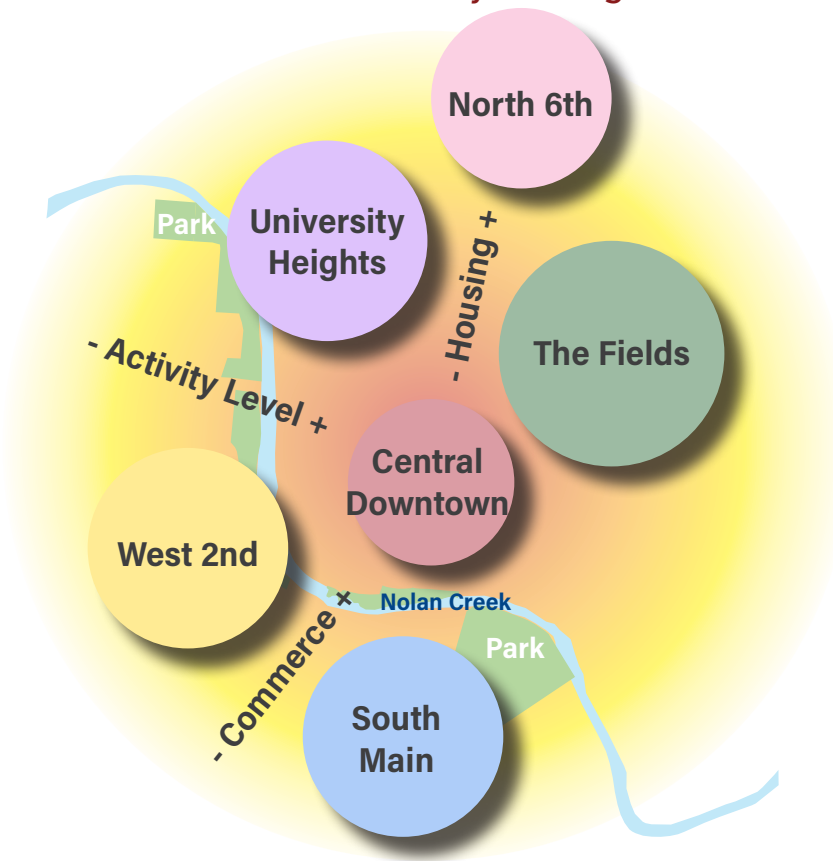


Table 1.4.1 District Character

Subdistricts	The Character of the Subdistrict is...
Central Downtown	a vibrant and active center for shopping, dining, employment, and entertainment.
The Fields	a continuation of the Central Downtown with a mixed-use approach that encourages more residential.
South Main	a strong commercial presence along Main Street transition into a mix of residential that supports.
University Heights	a transition environment of retail, housing, office, education, and administrative uses that helps meld the University of Mary Hardin-Baylor into Downtown Belton.
West 2nd	a residential neighborhood that transition from traditional single-family to supporting the higher activity along Nolan Creek with the introduction of limited retail, dining, and personal service uses.
North 6th	commercial uses located along 6th Street and residential neighborhoods, which are primarily single-family.

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CHAPTER 2

Development Framework

Division 2.1 Imagine Belton Standards Zones

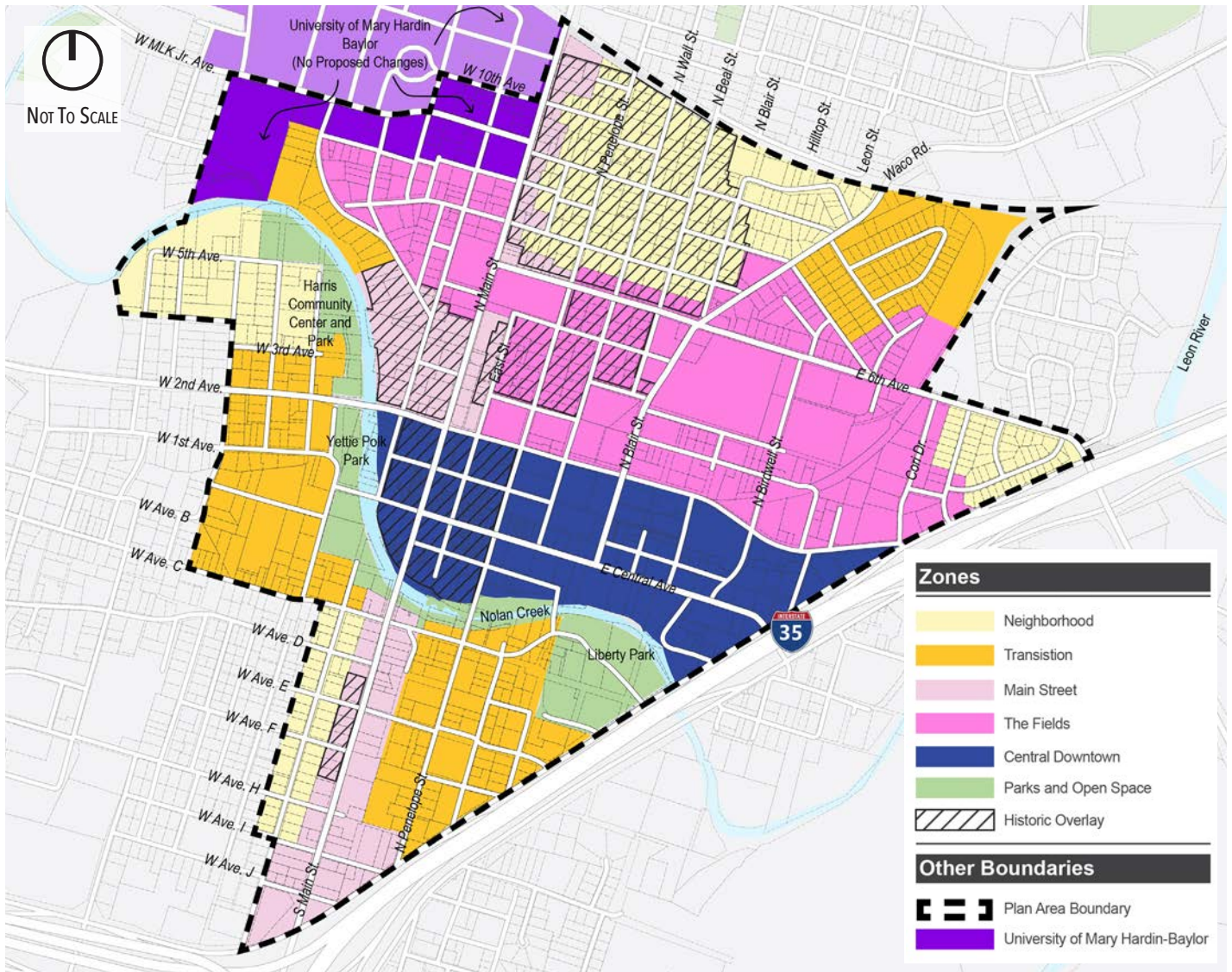
2.1.1 Imagine Belton Standards Zone Map

The Imagine Standards provides the locational organization for development types in the Imagine Belton plan area and its adjoining neighborhoods. Figure 2.1.1 Zones Map creates zone composition and identifies the corresponding zone boundaries within the plan area. The Imagine Standards are intended to provide flexibility in the development process and the illustration below is to be viewed as a guide with precise block size and street layout being formalized in the subdivision process. As the plan area is already developed, the guidance of block size and street layout is to be referenced a part of redevelopment efforts, specifically for larger tracts and lot consolidation.

Figure 2.1.1 below is the Zones Map that illustrates the following:

- A series of zones to guide land use decision making to ensure compatibility and range of uses that will result in complete and context sensitive neighborhoods.
- A pattern of blocks that promotes a walkable built environment that encourages a sociable neighborhood with less vehicle dependency.
- A network of streets that unifies the plan area in the provision of access, both pedestrian and vehicular, within the plan area.
- A strong core of open space that provide opportunities for additional connectivity, and both passive and active recreation outlets.

Figure 2.1.1 Zones Map



2.1.2 Imagine Belton Zones Descriptions

The desired intent for the individual Imagine Belton Zones is explained on the following pages. This information is intended to provide additional context for property owners, developers, and the City decisions when planning and evaluating projects within the Imagine Belton plan area. Providing narrative that describes the composition of the built environment for each respective zone gives additional clarity for the plan's built in flexibility towards meeting the overall vision for the Imagine Belton plan area.

A. Neighborhood Zone



The Neighborhood Zone is used to promote housing types that are predominately owner occupied. These areas are found on the periphery of the Imagine Belton Standards plan area. Alternative housing types may be considered, but they still are intended further the single-family detached and owner occupied characteristics of the neighborhood. The mix of single-family detached, two-family, cottage style housing, attached single family, and accessory dwelling units provide a variety of housing options to meet the spectrum of the downtown Belton workforce, college students, and empty-nesters. This includes accommodating smaller lots, which are often enabled by alleys, single lane driveways, and shared access considerations to allow for parking to occur in the rear of property.

Defining Characteristics

- Walkable street environment
- Limited front yard driveway width and garage as a percentage of front facade
- Prominent street trees with small front lawns or planting beds
- Porches and stoops
- Variety of single family housing types
- Limited rental, ADUs and Two-family Dwelling
- Structure limited, 2-3 stories

B. Transition Zone



The Transition Zone focuses on accommodating housing near activity nodes such as parks, the central downtown, or busy corridors. These areas are defined by a mix of housing that include neighborhood scaled apartments, townhouses, multiplexes, and live work buildings. This housing is intended to enable a mix of renter and owner occupied units. Additionally this zone allows for dining, retail, office, and neighborhood services, however the facilities are limited in their size so that they are secondary to the zone's focus on housing.

Defining Characteristics

- Walkable street environment
- Short building setbacks, porches and building frontages engaging the street
- No parking between structure and street
- Variety of owner occupied and rental housing product
- Limited commercial presence, neighborhood scale
- Structures intended to be more vertical, 4 story limit

C. Main Street Zone



The Main Street Zone allows for a range of commercial uses that serve the surrounding residential as well as visitors to the zone. The scale and intensity of the buildings are sensitive to the adjacent residential. Buildings will typically front the street to maximize the buildable area of the lot and contribute to a high level of street engagement. Parking should be located to the side or rear of the primary structures. This zone also includes a number of adaptive reuse structures that were once residential homes that have been converted to businesses. These buildings have maintained their residential architecture and may be protected by a historic preservation designation.

Defining Characteristics

- Attractive streetscape
- Storefront sidewalk engagement
- On-street parking where possible, cross access and shared parking strategies
- Off-street parking located in side or rear of property
- Variety of retail, dining, office, personal service establishments
- Outdoor dining and retail displays allowed in right-of-way
- Moderate height limitations 2-3 stories, 4 story allowed adjacent to more intense development
- No drive-throughs

D. The Fields Zone



The Fields Zone is intended to enable a range of uses. The emphasis is on the built form and how it maintains a strong connection to the street environment and pedestrian scale. The important and defining factor of the The Field Zone is extending the functional elements that make the downtown core popular for businesses and visitors to Belton. This zone may have vertical mix of uses within a building or across a site. Parking will require strategies to maximize the use which is supported by positioning complementary uses with varying peak demands. Additionally, streetscape enhancements are important for encouraging the type of activities that will help make the zone vibrant. Outdoor dining, retail display, enhanced landscaping, adjoining plaza and screened/buffered surface parking lots are intended to be common occurrences.

Defining Characteristics

- Vertical mixed use, highly encouraged
- Attractive streetscape
- Storefront sidewalk engagement
- On-street parking where possible, cross access and shared parking strategies
- Off-street parking located in side or rear of property
- Variety of retail, dining, office, personal service establishments, multi-family, limited light industrial
- Outdoor dining and retail displays allowed in right-of-way
-

E. Central Downtown Zone



The Central Downtown Zone is effectively fully built and the development guidance will focus on maintaining the existing framework elements of the zone's built environment. The variety of uses found within the zone continue to be an important resource for the community and are integral to this zones character. The zone is applied to a heavily trafficked pedestrian environment and the development guidance in this plan will help maintain and improve that functionality when possible.

Defining Characteristics

- Walkable
- Engaging ground floor businesses
- No first floor residential
- Preservation of historical character
- Belton themed/marked streetscape environment

F. Historic Overlay



The purpose of the Historic Overlay is to maintain the culturally significant contribution of a buildings architecture. For additional information see Chapter 3 Division 3.4 Historic District Overlay.

Defining Characteristics

- Preservation of architectural significance
- Flexible use and site development standards, that maintain key historical character elements

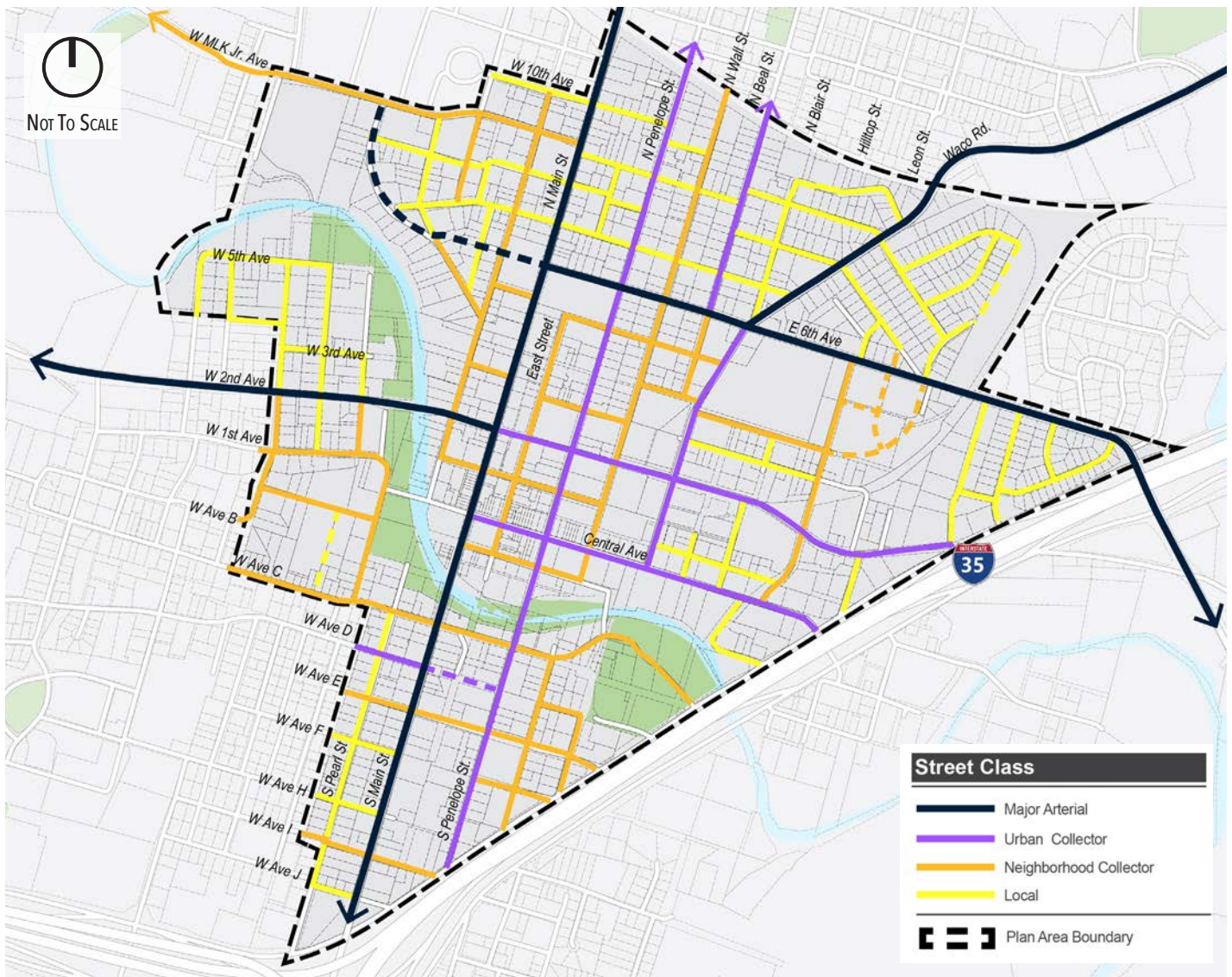
Division 2.2 Streets

The street network is made up of different street classes which are reflective of a hierarchy that relates to the role of the street in providing connectivity. All streets with these classifications shall be built or reconstructed, either by private developers or the City of Belton, to conform to the construction standards set forth in the corresponding street section and the City of Belton Public Works Design Manual. The designation of street network is not intended to be flexible. However, the Imagine Standards are intended to be an enabling regulatory document that allows for flexibility within the street right-of-way, provided the intent of street class met. The Imagine Belton Standard's street network builds upon the City of Belton's Thoroughfare Plan street classification use of arterials and collectors.

2.2.1 Street Network

Streets are important to the success of a development, affecting both form and function. In regards to access, street classes frame the characteristics of access for adjacent properties. The selection of street class is determined in the development process where a concept plan is submitted for review by the City. The overall street network identifies which street class best complements the context of the street location to better align access to development type of the respective Imagine Belton zones. Each street class has a specific programming with spatial requirements. The design or modification of streets within the plan area should include the components found in the following pages of this document. Block structure and street alignment may deviate from the Figure 2.2.1 Street Network, however the respective programming element of the respective street shall be followed.

Figure 2.2.1 Street Network



A. Major Arterial

Major arterials in the Imagine Belton Standards plan area include Main Street, W 2nd Street, and 6th Street. All are streets that handle significant vehicular traffic into and through the plan area. These road facilities are also under the oversight of the Texas Department of Transportation and as such require more coordination and review in the programming and any corresponding reconstruction. The Imagine Standards recognizes the important role these roads play. The degree of coordination required during redevelopment is beyond this documents ability to use simple standards for establishment of programming. Separate detailed corridor plans for establishing the design guidance for the streets are the preferred method for addressing redevelopment.

B. Urban Collector

The urban collector is intended to be a variation to the minor collectors identified in the Major Thoroughfare Plan, as well as some street that are without a designation. This collector is intended to handle high volumes of both pedestrian and vehicular traffic through active commercial corridors. These streets provide continuous corridors into and out of the Imagine Belton Standards plan area. The following imagery is intended to highlight some of the characteristics of this Street Class.



Angled parking can be integrated into the existing right-of-way to add additional parking spaces, this may be most appropriate for streets with more office or retail uses.



Wider sidewalks can be prioritized in areas where street activation by pedestrian and outdoor dining would suit the adjoining business.

C. Neighborhood Collector

The neighborhood collector, like the urban collector, is intended to be a variation to the minor collector. However, unlike the urban collector, none of these streets were originally shown on the Major Thoroughfare Plan at time of the Imagine Standards adoption. The role of these streets is to support the adjacent residential, civic building, business, and other land uses in a more direct manner compared to typical suburban development type streets. On-street parking, wider sidewalks, and streetscape planting are intended to balance traffic levels with higher comfort levels for pedestrians. The following imagery is intended to highlight some of the characteristics of this street class.



Streets with parallel parking and landscape planting strips can soften the overall street feel, blending both commercial and residential uses



More compact housing types are supported by both sidewalks and on-street parking. The streets provide important connections and additional parking capacity to nearby amenities, businesses, and residential guest parking.

D. Local

The local street is not a shown street in the Major Thoroughfare Plan, instead it is an established minimum standard for public streets. The nature of both the existing and future built environment within the Imagine Belton Standards plan areas justifies an additional program elements to the local street. The increase in programming will better server the adjoining properties as it is intended to improve the street for both pedestrian and vehicles, as well as for residents, business owners, and visitors to the area. The following imagery is intended to highlight some of the characteristics of this street class.



Local streets may need to delineate travel lanes and parking spots in areas where adjacent development has a higher concentration of housing units.



Local streets with rear access may not always need on-street parking spaces. Bulbouts and expanded landscape strips can be added at intersections or midblock as traffic calming measures and to improve pedestrian visibility.

2.2.2 Street Class Programming

The street class and its corresponding programming were developed to best support the activity types and level of the residents and businesses it serves. Arterials are not programmed in the Imagine Belton Standards as they will require site specific design solutions and include additional governmental coordination with Texas Department of Transportation. The following pages provide the programming and spatial requirements for the respective street classes. Streets are typically dedicated and constructed as part of the development process.

A. Urban Collector

The Urban Collector street type carries moderate vehicular traffic volumes and high pedestrian activity. They are often found in high activity corridors that connect arterials. These streets provide ample space for street furnishing to accommodate retail displays and outdoor dining. On-street parking is encouraged adjacent to both commercial and residential uses.

Table 2.2.1 Urban Collector

Street Programming of Right-of-way		
A	Travel Lanes	2, 12' one each direction
B	Parking	20' 45 degree Parking or 8' Parallel
C	Planting Strip	8' length by 8' wide minimum
D	Sidewalk	8'
E	Encroachment Zone	5'

Figure 2.2.2 Urban Collector



1

ENCROACHMENT ZONE

Provide 5 feet for seating, retail displays, and messaging adjacent business storefront. This public space allows for the adjoining business to activate and engage the street.

2

POCKET PLANTINGS

Interrupt consecutive number of parking stalls with pocket plantings and street trees.

3

ON-STREET PARKING

Locate parallel or angled parking next to business entrances. Potential for winding travel lane through the mix between parallel and angled parking stalls.

4

WIDE PEDESTRIAN WALK

Increase walkway width for higher volume of pedestrians in town center.



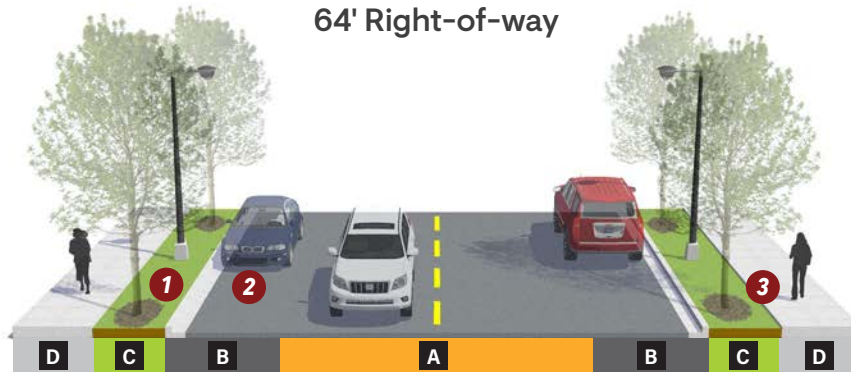
B. Neighborhood Collector

These are streets that serve both commercial and higher density residential zones. They promote comfortable sidewalks conditions to encourage walking. On-street parking may lack delineation in residential setting, but should be striped when abutting commercial.

Table 2.2.2 Neighborhood Collector

Street Programming of Right-of-way		
A	Travel Lanes	2, 12' one each direction
B	Parking	8'
C	Planting Strip	6' in width and continuous. Root barrier required, may be a mix of planters and hard scape in commercial environments
E	Sidewalk	6'

Figure 2.2.2 Neighborhood Collector



- 1** **STREET PLANTING**
Minimize planting to turf and street trees
- 2** **ON-STREET PARKING**
Allow non-designated parallel parking on each side of street
- 3** **PEDESTRIAN WALK**
Walk with a minimum 6' width shall be located on at least one side of the street



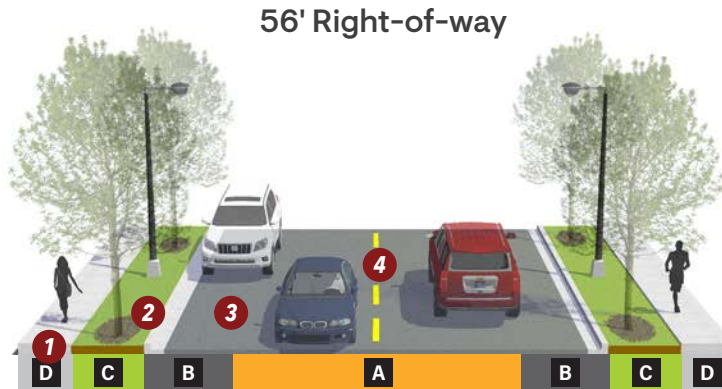
C. Local

The Local street type focuses on serving adjacent properties with parking and walkways. Traffic calming is important to create a more pedestrian oriented setting. These streets are used in lower traffic volume areas and are not always part of a continuous grid but connect into the plan area collectors.

Table 2.2.3 Local

Street Programming of Right-of-way		
A	Travel Lane	2, 12' one each direction
B	Parking	7' both sides or 8' one side
C	Planting Strip	6' in width and continuous. Root barrier required in commercial settings.
D	Sidewalk	4'

Figure 2.2.2 Local



- 1** **NARROW SIDEWALKS**
Narrow width of sidewalks for more intimate pedestrian setting.
- 2** **STREET PLANTING**
Minimize planting to turf and street trees.
- 3** **ON-STREET PARKING**
Allow non-designated parallel parking on each side of street.
- 4** **NARROW TRAVEL LANES**
Increase traffic calming through the narrowing of travel lanes.



2.2.3 Street Alternatives

The following section identifies street alternatives that may be used in scenarios where existing conditions limit the full build out of the respective street class. Since street right-of-way defines block edges, provide parking, and enable vehicle/pedestrian connections, specific elements will need to be accounted for to preserve these characteristics in their respective context.

A. Neighborhood Collector Alternative

The neighborhood Collector Alternative should be used in scenarios where street right-of-way is limited. This alternative approach maintains 6' sidewalk, with changes to both on-street parking and planting strip spacing. The smaller right-of-way will require extra attention to placement and spacing of street lights, street trees, stormwater inlets, and utility line locations.

50' Right-of-way

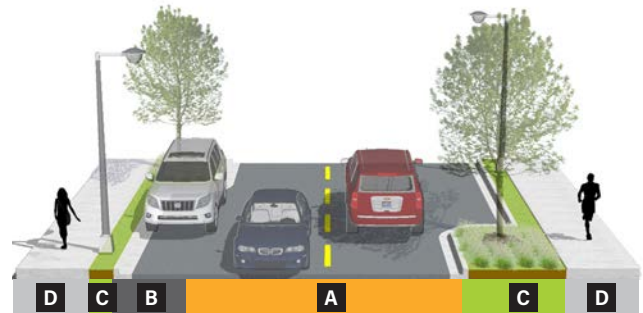


Table 2.2.4 Neighborhood Collector Alternative

Street Programming of Right-of-way		
A	Travel Lane	2, 12' one each direction including 1' (gutter)
B	Parking	7' both sides
C	Planting Strip/Buffer	2' to 9', 2' buffer strips may be paved, root barrier required around tree planting
D	Sidewalk	6'

B. Private Lane

The private lane is an elective approach to meeting both block length and access demands. The narrow right-of-way is made possible as public utility lines such as water and sewer are absent. Both commercial and residential buildings may front and address off of this facility, provided they meet signage and landscape standards.

42' Public Access Easement

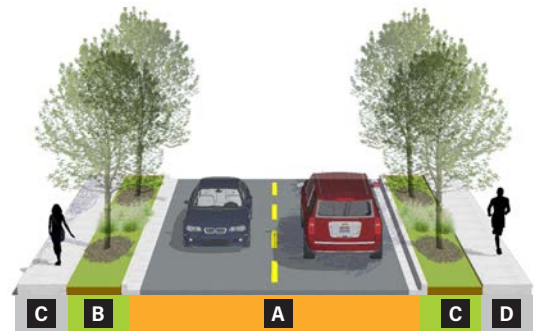


Table 2.2.5 Private Lane

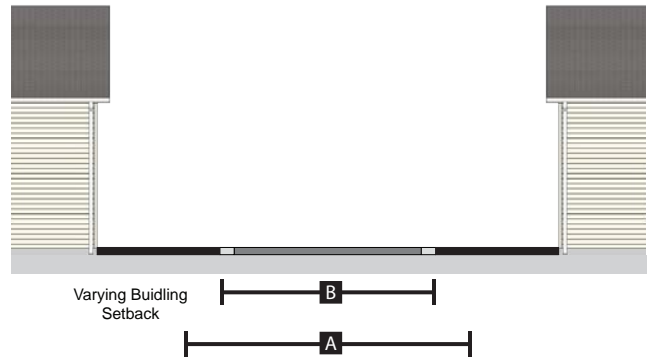
Street Programming		
A	Travel Lane	2, 12' one each direction including 1' (gutter)
	Parking	Not required, if added public access easement width increases proportionally
B	Planting Strip/Buffer	5', curb may be included
C	Sidewalk	4'

C. Alley or Shared Private Drive

Alleys or shared private drives are an important supporting infrastructure for attached single-family (such as townhouses) and small lot apartment homes. These facilities support the more compact development by allowing the public right-of-way to maintain a safe and comfortable pedestrian environment. The removal of street facing garages increases the aesthetic contributions of building architecture.

Table 2.4.6 Alley

Programming of Facility		
A	Minimum width	20' of unobstructed travel way
B	Travel Lane	15' minimum, 20' if acting as fire lane
	Parking	No Parking within the alley
	Planting	Adjacent surfaces to paving should be turf or other low maintenance and durable low growing ground cover, landscape rock or decomposed granite is acceptable

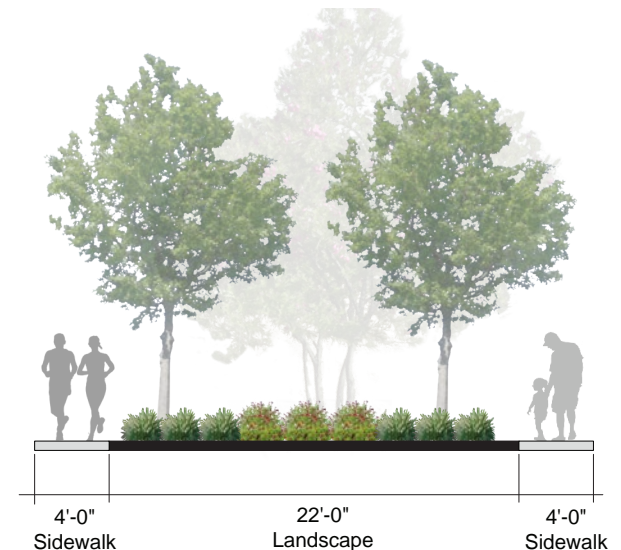


D. Pedestrian Greenway

The greenway is a connectivity alternative to a street. It allows for longer blocks without sacrificing the commitment to a walkable built environment. Additionally, they provide an alternative corridor for buildings to orient the front facade to face the greenway as opposed to an adjoining street. Building fronting pedestrian greenway would require a supporting alley.

Table 2.2.7 Pedestrian Greenway

Programming of Facility	
Sidewalk/Trail	Two 4' sidewalks or one 8' multi-use path
Right-of-way	30' minimum
Landscape	Landscape can be turf, plantings, ornamental or shade trees.
Clear zone	2' buffer from sidewalks and multi-use path free of boulders, furnishings, and trees
Furnishings	Seating may be added and trash cans are encouraged



Division 2.3 Subdivision and Blocks

2.3.1 Subdivision

The City of Belton's subdivision ordinance applies within the boundaries of the Imagine Belton Plan, except as expressly set out within the Imagine Standards. The Imagine Standards supersedes any conflicting provisions of Belton's subdivision ordinance. The Imagine Standards provides specifications for:

- Block and lot dimensions
- Street designations
- Streetscape
- Access for streets, including vehicular and pedestrian
- Street/R.O.W. frontage requirements for lots

Blocks Standards In Developed Area

In developed areas block standards may not initially seem to be relevant and in many development applications that will be the case. Having block dimensional standards is important for the less frequent, but often more impactful redevelopment projects that need direction when consolidating multiple lots or proposing a reconfiguration of a street to better utilize developable areas. These additional standards relating to block dimension are intended to communicate the intent of the built environment framework and how flexibility is built into the subdivision process. The extra level of direction provided in these standards can be utilized earlier in the planning process by a developer as it is considered a "by right" development standard.

2.3.2 Blocks

Downtown Belton was developed with standard block dimensions of 300 feet by 300 feet, a spacing that is ideal for a walkable setting. That block structure is still strong in the downtown core, but due to natural features, the construction of Interstate-35, and other development factors, many blocks within the plan area deviate from the grid consistency. Future redevelopment may provide the opportunity to improve the block structure through lot consolidation, designated pedestrian throughways, street additions, or street abandonment. As such this plan provides some direction for block redevelopment.

A. Block Structure

The basis for block size is related to three different measurements: block length, block depth, and block perimeter. These measurements are to be taken from the edge of street right-of-way. Table 2.3.1 Block Dimensions By Zone, identifies the maximum block length, block depth, and block perimeter (as illustrated in Figure 2.3.1 Block Diagram). The review and approval of block structure occurs during the subdivision process. The application of dead end streets and cul-de-sacs are discouraged, but may be approved by the Director of Planning, dead end-streets are not allowed to exceed 150' in length to center of cul-de-sac.

Each zone has different block standards, which work complementary to the street types, to meet the desired goal of context-sensitive approach to development.

B. Block Flexibility

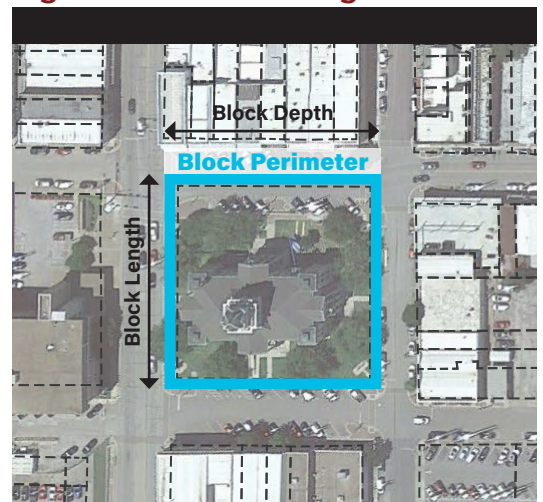
As a means to be responsive to the existing conditions in the development or redevelopment process there are two methods to provide additional flexibility. This is accomplished through the administrative approval of block length and depth expansion up to 25% and the use of block extenders.

1. An administrative approval by the Director of Planning of up to 25% shall be allowed provided block does not inhibit vehicular and pedestrian connection and block extension does not disrupt the continuation of an existing street by creating an offset intersection.
2. Block length may be doubled, provided there is a block extender facility such as a pedestrian greenway or private lane.

Table 2.3.1 Block Dimensions By Zone

Zone	Block Length	Block Depth	Block Perimeter
Neighborhood	500'	240'	1600'
Transition	400'	280'	1500'
Main Street	300'	300'	1400'
The Fields	400'	400'	1800'
Central Downtown	300'	300'	1400'

Figure 2.3.1 Block Diagram



C. Redevelopment

In instances where lots are consolidated to a degree that they require dedication of public Right-of-way for street placement the standards in this document should be followed. The replatting of existing lots should correspond to the street types for right-of-way and the block dimensions per zone. The complexities of the site, infrastructure, and street layout may require creative solutions.

Those solution should abide by the following design criteria:

1. Improves pedestrian connectivity.
2. Reduces and improves driveway and/or intersection spacing where close proximity creates conflict points, specifically along I-35 frontage.
3. Adheres to block dimensions for the zone or meet the administrative approval for block flexibility.
4. Adds additional on-street parking.
5. Accommodates sidepath or trail facility.
6. Enables off-street shared parking between different uses.
7. Utilizes street type alternatives to complement surrounding block pattern.

Division 2.4 Open Space and Trails

Open space and parks are a fundamental component to the success of a development focused on a live, work, and play environment. These spaces provide opportunities for exercise, entertainment, and opportunity for neighborly fellowship. Open space and trails consist of a variety of park or park like facilities and shared use paths.

2.4.1 Open Space and Trail Network

Figure 2.4.1 Open Space and Trails Network, shows the existing park location and proposed trail facilities. The City's existing series of parks found along Nolan Creek meets current and future park needs for the plan area's residents based on both acreage and proximity considerations. Future programming of this park space will likely need to evolve to meet user expectations. Additional trails are intended to provide safe bicycle and pedestrian connections to the Nolan Creek Parks and the existing trail corridor. The precise placement of these facilities is intended to be flexible, but ultimately these locations should be established in the subdivision process. This process follows the discretion awarded to the Director of Planning in consultation with the City's Parks and Recreation Department.

The desire to increase housing within the Imagine Belton Plan boundary will naturally result in a more urban feel of the built environment. With that comes different ways to accommodate the leisure and recreational opportunities found in parks and other public space. These types of spaces include greens, parklets, and plazas of which all are expected to see expanded use and accommodate high levels of activities. As such, they may offset higher acreage requirements of parkland dedication and provide opportunities for public-private maintenance/operations agreements to better meet the needs of the development. The following pages provide the programming and spatial requirements for the respective open space and trail facilities that are unique to the Imagine Belton Plan area.

Figure 2.4.1 Open Space and Trails Network



2.4.2 Trail Facilities

There are two types of trail facilities that make up the trails network within the Imagine Standards Boundary: park trails and sidepaths. They are similar in that they both enable improved pedestrian and bicycle facilities, with the difference being the location within the built environment. Park trails are a dedicated corridor of open space or parkland, and sidepaths are located within or directly adjacent to the street right-of-way

A. Park Trail

Trails in the plan area are off-street shared-use pedestrian and bicycle facilities. Ultimately the trail will be part of a regional network that not only connects the plan area to adjacent development, but also to the larger Belton area.

Table 2.4.1 Park Trail

Programming of Facility	
Paving	10' minimum width, 12' is preferred in area with higher levels of use. (Example would be areas in the Central Downtown Zone or next to higher density development)
Right-of-way	20' minimum
Landscape Buffer	5' turf either side, turf and shade trees acceptable planting
Clear zone	2' buffer free of boulders, furnishings, and trees
Furnishings	Seating should be found at intervals of no less than 1 bench per every 1/4 mile. Trash cans should be located at entry points



A. Sidepath

Sidepaths are shared-use pedestrian and bicycle facilities located within the street right-of-way. The placement of sidepaths within the right-of-way may be impacted by utilities and other supporting infrastructure.

Table 2.4.2 Sidepath

Programming of Facility	
Paving	8' minimum width, 10' is preferred in high trafficked areas (Example would be areas in the Central Downtown Zone or next to higher density development)
Right-of-way	Within the street's respective right-of-way
Planting Strip	8' turf and shade trees acceptable planting, streetscape planting requirement of respective street class takes precedent
Clear zone	2' buffer free of boulders, furnishings, and trees
Furnishings	Furnishing should respond to needs of adjacent land uses



2.4.3 Greens and Parklets

A. Description

Greens and parklets are smaller parcels, typically less than 1 acre, but more than 4,000 sq. ft. of open space. Greens may be either spaces completely surround by streets or a shared space adjacent to residential lots. Parklets can be stand alone spaces or a part of a larger tract of open space. These spaces are typically privately owned and maintained by a neighborhood association as a public space or private amenity area. Within the boundaries of the Imagine Standards plan to be considered eligible for parkland dedication these spaces may be no less than 4,000 sq. ft. and front public R.O.W or trail corridor no less than 60 feet in width.

B. Design Intent

Greens and parklets are intended to complement smaller lot development or to meet private neighborhood amenity needs. Their placement may occur within a block or as a small independent block. Pedestrian accessibility should be a priority with sidewalks and multi-use trails being adequate methods of access. Nearby on-street parking can account for vehicle parking demands, however provision of parking is not a requirement for these spaces. Greens are comprised of lawn, landscaping, and trees and are absent of programmed recreation. Parklets are small parcels with landscaping and tree plantings, that include amenities for recreation or gatherings. Seating should accompany lawns and amenities found in greens and parklets.

Greens should have no less than two sides of street frontage, of which one may be a private lane. Parklets may only have one street frontage if it is connected to a multi-use trail/greenway on the other side, otherwise they require two street frontages. For parklets, one of the required street frontages may be a private lane. A private lane and a multi-use trail/green would meet the intent of the requirement for parklet street frontage. Greens and parklets should be highly visible, with pedestrians having the ability to see across the space. Shade and lighting elements are important components to both greens and parklets, as they promote safety and comfort of the space.

C. Programming

There are no specific program elements required for greens or parklets. However, depending on the scale and/or size of amenities, consider the use of planting and fencing to screen adjacent residential uses, specifically highly used amenities like basketball courts, playgrounds, pools, etc.



A green's primary feature should be the unprogrammed lawn, typically surrounded by a walk on all sides.



Not large enough to be considered a park, parklets provide spaces for amenities such as play grounds, sports courts, yard games, or picnic facilities.

2.4.4 Plazas

A. Description

Plazas provide gathering spaces for social and community events, within a formal and relatively compact space. Plazas are at least 1,000 sq. ft. and minimum of 40' in width. These spaces are most typically found amongst commercial or office development as flexible space for gatherings, entertainment, and special event displays. These spaces can be either publicly or privately maintained, however private ownership allows for surrounding business to have more influence and control over the spaces use and programming.

B. Design Intent

Plazas should complement the surrounding environment with prominent connections and engagement. Plazas are a mix of hardscape, plantings, shade trees, and furnishings that result in ample seating opportunities. They should have at least one street frontage which provides clear visibility into the space. The spaces should be designed to handle high amounts of pedestrian traffic. Lighting is important in creating a safe environment and enabling evening activities. These spaces should include infrastructure to accommodate vendors for weekend markets, art shows, craft fairs, etc.

C. Programming

These spaces are relatively unprogrammed to allow for flexibility and creativity for hosting events and gatherings. Each space should consider identifying the placement or inclusion of a permanent structure for the hosting of bands or other performance guests. Fountains and other water features are a welcomed addition, so long as they don't make the space unusable for other program elements.



Plaza can be a mix of permanent and movable elements to increase the spaces flexibility.



In-ground sprays can act as both an aesthetic water features and an interactive element.

2.4.5 Parkland Dedication

Pursuant to the City of Belton parkland dedication ordinances, found in Section 517 of the City's Subdivision Ordinance, the subdivider of any residential subdivision within the City of Belton shall set aside and dedicate to the public sufficient and suitable land for the purpose of parkland and/or make a financial contribution for acquisition and development of such parkland. Additionally, the parkland dedication ordinance allows for this dedication requirement to be met with a fee-in-lieu payment. Parkland dedication shall be the equivalent to 1 acre of parkland per 100 new dwelling units projected for full development. For many of developments and redevelopments within the boundaries of the Imagine Belton plan area, the fee-in-lieu method will likely be the only feasible method for accounting for parkland dedication for new dwelling units.

A. Parkland Dedication Calculation

The unique characteristics of the desired built environment allows for additional approaches for meeting parkland dedication in certain zones as shown in Table 2.4.3 Parkland Dedication. The parkland dedication amount shall maintain its 1 acre per 100 new dwelling units, with the exception being plaza, which shall meet parkland dedication requirements with half the acreage or .5 acres per 100 dwelling units. Parkland dedication shall meet the minimum sizes, design intent, and programming identified in Section 2.4.3 and 2.4.4. Where the payment of a fee-in-lieu of Parkland dedication is required or acceptable, such fee shall be in an amount in the Fee Schedule on file in the City Clerk's office.

Table 2.4.3 Parkland Dedication Matrix

Zone	Parkland Dedication Method				
	Fee-In-Lieu	Plaza	Green	Parklet	Trail
Neighborhood	A	-	-	-	A
Transition	A	A	A	A	A
Main Street	A	A	-	-	A
The Fields	A	A	A	A	A
Central Downtown	A	A	-	-	A

A: Allowed, - Not Permitted

B. Private Amenity as Part of Parkland Dedication

For parkland dedication of one acre or less, up to 50% may be used for the programming of private amenity space that is reserved for the development and its residents, provided the following occurs:

1. The developer or property manager will enter into an agreement with the City of Belton Parks and Recreation Department to oversee and maintain the remaining parkland.
2. The remaining parkland that is to be dedicated is accessible by the general public in accordance with Belton Parks and Recreation Department hours of operation standards.

CHAPTER 3

Use & Development Standards

Division 3.1 Land Uses

3.1.1 Use Table

The Imagine Standards allowable uses promotes an easier interpretation experience. Use groups are further broken down into more distinct sub-groups. Light industrial uses are intended to be limited, to allow for employment opportunities, provided they are not a nuisance to nearby commercial and residential uses. Public facilities, schools, parks, churches are allowable in all zones.

	Neighborhood Zone	Transition Zone	Main Street Zone	The Fields Zone	Central Downtown Zone
Residential					
Detached Single-Family	P	PC	-	-	-
Cottage	P	PC	-	-	-
Duplex	P	PC	-	-	-
Townhouse	PC	P	-	P	-
Courtyard House	-	P	-	P	-
Live-work	-	P	P	P	P
Multiplex	-	P	-	P	-
Neighborhood Apartment	-	P	-	P	PC
Commercial					
Dining	-	PC	P	P	P
Retail	-	PC	P	P	P
Office	-	PC	P	P	P
Personal Service	-	PC	P	P	P
Artisan Food and Beverage	-	-	P	P	P
Entertainment	-	-	-	P	P
Overnight Accommodations	-	P	P	P	P
Drive Through Establishment	-	-	-	PC	PC
Industrial					
Limited Light Industrial	-	-	-	PC	-
Government and Institutional					
Places of Worship	P	P	P	P	P
State, County, City Uses	P	P	P	P	P
University, Colleges, Medical Facilities	-	P	P	P	P
Utilities					
Personal Wireless Facilities	-	PC	PC	PC	PC
Sewage Pump Station	-	PC	PC	PC	PC
Water stand pipe or elevated storage	PC	PC	PC	PC	PC
Water reservoir well or pumping station	PC	PC	PC	PC	PC
Utilities other than listed	PC	PC	PC	PC	PC
Vehicle Sales and Services					
Auto Sales	-	-	-	PC	PC
Motorcycle and Scooter Sales	-	-	-	PC	PC
Gas Station	-	-	-	PC	PC
Auto Repair/Service	-	-	-	PC	PC

P: Permitted, PC: Permitted with Conditions (See Section 3.1.5 Conditions), - Not Permitted

3.1.2 Residential Uses



Detached Single-Family

Traditional housing type, with one primary living structure per lot.



Cottage Lot

The cottage lot housing type, is a small cluster of single family detached structure (1,300 sq. ft. or less). This can allow for multiple units on one lot that is held in common, with shared elements such as parking.



Duplex

The duplex housing type is a two-family structure located on one property. The side by side version of the duplex has the two units separate by a vertical partition wall. The stacked version of the duplex has the two units separate by a vertical separated by floors, but both having separate ground floor entrances



Townhouse

The townhouse housing type is a single-family attached structure. The shared walls create zero lot setbacks with each unit located on its own parcel.



Courtyard House

The courtyard house housing type is a series of detached or attached single-family units oriented around a shared green or open space. Other common areas may include parking or storage buildings.



Live Work

The live work housing type is a single-family structure with an office or storefront space found on the ground floor. The building fronts a street which has on-street parking to accommodate visitors.



Multiplex

The multiplex housing type is a multi-unit building in one encompassing structure. This housing type is some times referred to as a Mansion Apartment and would include triplex, quadplex, etc. unit adaptations. Each unit would have its own separate ground floor exterior entrance. The units may be separated by floor or vertical partition wall. It does not allow for external unit entrances on uppers stories.



Neighborhood Apartment

The neighborhood apartment housing unit, is an interior access multi-unit dwelling. The number of units, building height, and architectural style are to be complementary to the walkable and human scaled nature of the neighborhood. This unit type is intended to respond to the development standards of the zone in which it is located. Mixed use buildings that include commercial uses are allowed base on respective zone. This housing type use is considered to enable student or dormitory housing when affiliated with an institutional use such as a university.

3.1.3 Commercial Uses

Dining

- Alcoholic beverages for on-premise consumption
- Brewpub and winery
- Restaurant
- Cafe
- Coffee Shop

Retail

- Discount, variety, or department store
- Fabric store
- Food or grocery store
- Furniture and appliance store
- Florist
- Antique shop (no permanent outside sales or display)
- Art gallery
- Bookstore or card shop
- Candy or cake shop
- Bicycle shop
- Clothing
- Sporting Goods
- Plumbing or electrical supply (retail sales)
- Hardware (no outdoor sale)
- Nursery or plant sales (outdoor sales permitted, no outdoor storage of mulch, aggregate, or other dust inducing materials)
- Drug store or pharmacy
- Office supply

Office

- Bank
- Professional office (engineer, services, administration)
- Outpatient medical clinics, offices of physicians, dentists, osteopaths, and similar or allied professions, such as drug stores
- University or school administration operations

Personal Services

- Studio: decorator, artist, photographer, music, dance, or drama
- Perform services on the premises such as: repair shops, tailor shops, beauty parlors or barber shops, photographic studios, and similar uses
- Fitness Center/Gym
- Pet grooming/animal boarding as interior use only

Artisan Food & Beverage

- Butcher, bakery, or other food preparation establishment where at least 25% ground floor space is dedicated to retail or seating/dining
- Coffee Roasters where at least 25% of ground floor space is dedicated to sales or seating/dining
- Brewery or distillery where at least 25% of ground floor space is dedicated to sales, tasting, or seating/dining

Entertainment

- Theaters, auditoriums and other similar entertainment facilities
- Arcade (electronic entertainment)
- Bowling Alley

Overnight Accommodations

- Hotel
- Bed and Breakfast

3.1.4 Industrial Uses

Limited Light Industrial

- Carpentry, cabinet, painting, plumbing, welding or tinsmithing shops
- Newspaper printing
- Upholstery shop
- Shoe manufacturing
- Sporting and athletic equipment manufacture
- Testing, research and scientific laboratories
- Musical instruments assembly and manufacture
- Information Technology
- Bio-medical
- Laboratory: scientific, research, testing, medical or optical so long as all operations are conducted indoors and no residual waste products are generated
- Mini-Storage (internal access only)

3.1.5 Conditions

These standards apply to the uses with the designation of PC or permitted with conditions in the Use Table.

A. Residential Conditions

The following conditions for the uses called out in the residential section of the use table:

1. Detached Residential, Cottage, and Duplex housing types are permitted in the Transition Zone provided they follow the respective development standards found in Section 3.2.2 Neighborhood Zone.
2. The Neighborhood Apartments type is allowed in Central Downtown Zone provided housing units are not located on the ground floor and a dedicated parking space is provided at no less than one space per unit. Parking can either be on site or off-site, but not further than 2 blocks away from the housing unit.
3. Townhouses in neighborhood zone are allowed as group of 2 units only.

B. Commercial Conditions

The following conditions for the uses called out in the Commercial section of the use table:

1. Transition Zone: For dining, retail, office, and personal service uses are only permitted provided they are part of larger mixed-use development, with residential being the primary composition of uses, or if these uses are secondary to an overnight accommodation use. Development with dining, retail, office, and personal services uses shall follow the development standards found in section 3.2.3 *Neighborhood Zone* sub-section B, C, D, E, H, and I.
2. The Fields and Central Downtown Zones: Drive-through establishment uses are allowed within a 500' distance from the I-35 frontage road.

C. Light Industrial

The following conditions for the uses called out in the Industrial section of the use table:

1. The Fields Zone: All light industrial uses shall abide by compatibility requirements in *Division 3.3 Compatibility Standards* and hours of any outdoor operations, excluding deliveries, are limited to the hours of 7 am to 9 pm.

D. Utilities

The following conditions for the uses called out in the Utilities section of the use table:

1. All Zones: The Personal Wireless Facilities shall follow the provision laid forth in Section 33.20 Personal Wireless Service Facilities of the City of Belton Zoning Ordinance, which requires a Specific Use Permit. Additionally, Section 33.20 Personal Wireless Service, Part 1, Subsection 3 Administrative Review, Item f. shall include all zones of the Imagine Standards.
2. All Zones: For all other utilities uses they shall follow Division 3.3 Compatibility Standards for light industrial uses, where screening occurs adjacent to all ground mechanical and infrastructure.

E. Vehicle Sales and Services

1. The Fields and Central Downtown Zones: Vehicle sales and services uses are allowed within a 500' distance from the I-35 frontage road.

3.1.6 New or Unlisted Uses

New or unforeseen land uses may seek to be located within the plan area. As a means to account for these occurrences, the determination of the appropriate classification has two options. Option one is a Director of Planning administration approval. Option two is the consideration by Planning and Zoning Commission approach set forth in City of Belton's Zoning Ordinations *Section 44 Classification of New and Unlisted Uses*. If the Director of Planning deems the proposed land use inappropriate for administrative approval, option two consideration by the Planning and Zoning Commission, may be recommended.

A. New or Unlisted Use, Administrative Approval

A person may request that a new or unlisted use be reviewed administratively by the Director of Planning. The request for a new or unlisted use may be approved if the uses possess a majority of the characteristics of another listed use that is permitted in that particular zone.

1. The following elements should be submitted as part of a request for administrative approval:
 - a. anticipated building size, orientation, and lot coverage demand;
 - b. the intent of the land uses dwellings, sales, services, dining, etc.;
 - c. occupancy and operations characteristics;
 - d. the intended type(s) of products to be sold, produced, or consumed;
 - e. ancillary use such as outdoor storage, sales, etc.;
 - f. nature of vehicle access for customers and service providers;
 - g. nuisance considerations like noise, odor, dust, etc.; and
 - h. utility demands, such as water and wastewater, or other special public services
2. Criteria to be considered as part of the administrative review:
 - a. the relative amount of property and developable space available to the proposed development, as well as its relationship to the existing built environment;
 - b. the characteristics of the intended use;
 - c. the activity levels related to residents, employees, customers, visitors, etc.;
 - d. vehicular impacts on street network and existing built environment, including, but not limited to vehicle trips and parking demand;
 - e. impacts of ancillary uses on the built environment;
 - f. impacts on capacity of existing infrastructure; and
 - g. special considerations for positive and complementary additions or impacts on surrounding uses

Division 3.2 Development Standards

The application of development standards that dictate lot size, building placement, building massing, buildable area, and considerations for accessory structures are important to promote a consistent and predictable built form. These code elements (for individual lot development) will be reviewed against the standards established for each zone in this section to gain approval from the City of Belton Planning Department.

3.2.1 Development Standard Terms

The following are terms that will be used as the defining requirements for development review. These terms are depicted on the figures to the right.

A. Structure Type

A building typology as it relates to the land use within a given property.

A Primary Structure: The main building that is associated with the primary use of the property.

B Accessory Structure: Any building that is supportive to the primary structure or use on the property. Accessory structures are typically associated with residential development as commercial properties have more intricacies in the relationship between buildings and the primary use of a property.

B. Lot Size

The physical dimension and spacing that determines the boundaries of an individual parcel of property.

C Lot Area: All area within the property boundary of a individual property.

D Lot Width: The distance between the side property lines.

E Lot Depth: The distance from the front of the lot to the back of the lot.

Corner Lot: Any lot where a side property line and front property line face a street right-of-way.

C. Setbacks and Building Massing

The form and spacing of a building within a lot.

F Setback: The distance from the property line where a structure may be erected. These are referred to as front yard, side yard, rear yard, and side street yard.

G Building Height: The vertical measurement of the building. This distance is measured from the average finished grade to the highest external point of the roof. Additionally, this refers to the number of floors from ground level.

D. Buildable Area

H Lot Coverage: The area of the ground plane of a lot that is covered with a structure or paving.

Pervious Bonus: An additional allotment of lot coverage that is allowed at a 1:1 area ratio of pervious paving surfacing, which allows for the infiltration of precipitation and/or stormwater into the soil profile.

E. Alleys

The alley rear of lot shared drive that provides access to multiple lots. The alley is considered enabling infrastructure that supports reduced building setbacks.

Figure 3.2.1 Structure Type and Lot Size



Figure 3.2.2 Setbacks and Building Massing



Figure 3.2.3 Buildable Area



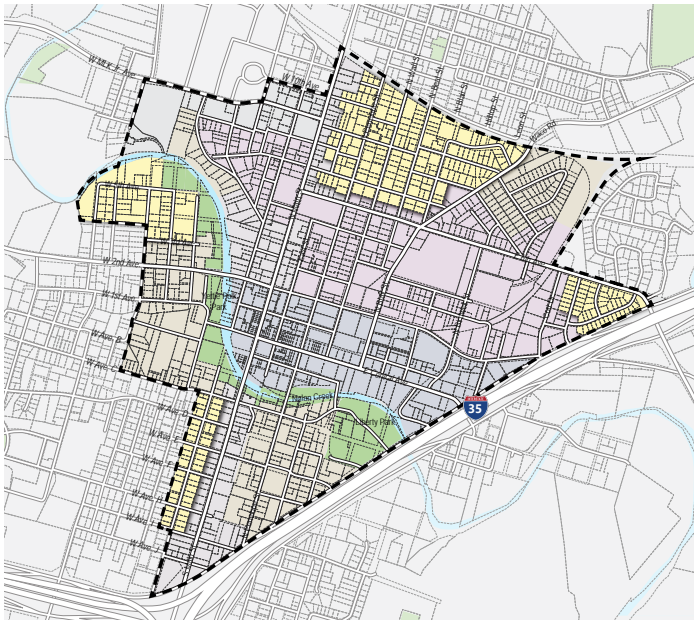
3.2.2 Neighborhood Zone

A. Intent

The Neighborhood Zone is intended to accommodate single-family and two-family homes. The mix of housing that promotes a variety of owner occupied units.

Unit Type	Units per acre
Single-family detached	10
Duplex	14
Cottage	16
Townhouse	16

Neighborhood Zone Reference Map

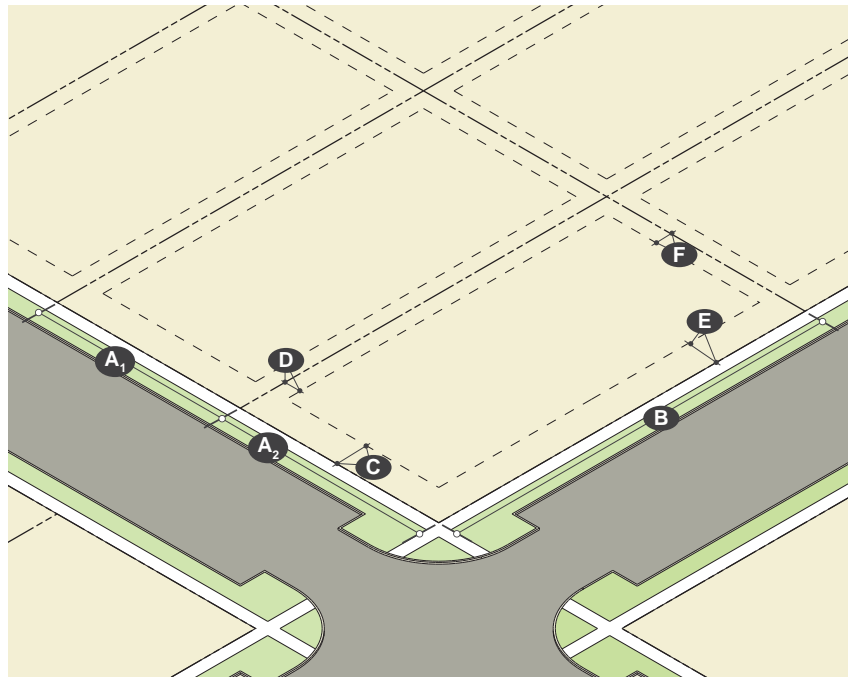


B. Duplex, Detached Single-Family Lot Dimensions and Setbacks

Lot Size	With Alley Minimum	Minimum	Maximum
A Width	40'	60'	80'
A₁ Width, Corner Lot	45'	65'	85'
B Depth	100'	100'	120'
Setbacks	With Alley Minimum	Minimum	Maximum
C Front Yard	15'	20'	-
D Side Street Yard	10'	20'	-
E Side Yard	5'	5'	-
F Rear Yard	5'	5'	-
Accessory Structure Set backs	With Alley Minimum	Minimum	Maximum
Front Yard	20'*	25'	
Side Street Yard	10'	20'	
Side Yard	5'	5'	
Rear Yard	5'	5'	

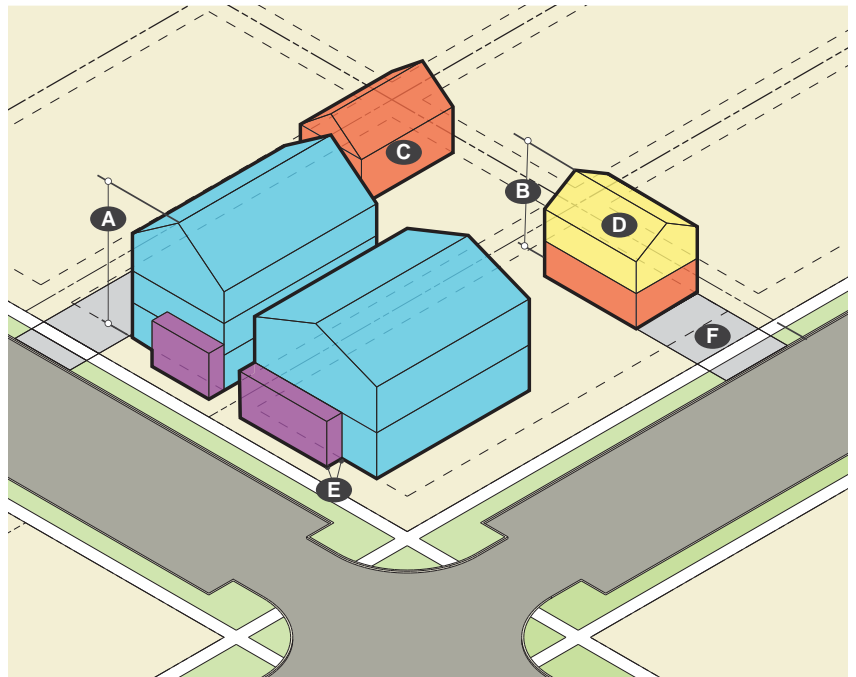
*Front facing garages must be at least 5' behind front building wall

**Accessory structures may not project past side building wall of primary structure



C. Duplex, Detached Single-Family Lot Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	-	35' or 3 stories
B Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	60%	70%
Structure Size		
Primary Structure	N/A	
C Garage	600 sq. ft. max.	
D ADU (Accessory Dwelling Unit)	Not to exceed 25% of primary structure up to a maximum of 800 sq. ft.	
Miscellaneous Structures	All combined sq. ft. of accessory structure not to exceed 60% of primary structures.	
Encroachment		
E Porch	5' into front setback	
Access		
F Driveway width 20' max. Lots less than 60' in width 12' front driveway max width.		
2 parking spaces behind front building wall.		



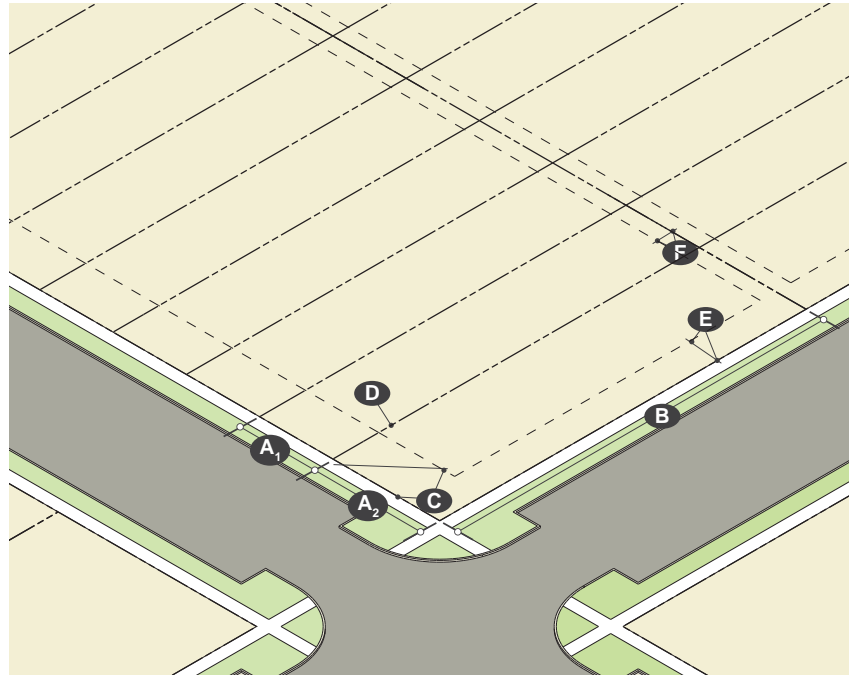
D. Townhouse Lot Dimensions and Setbacks

Lot Size	Minimum	Maximum
A₁ Width	24'	35'
A₂ Width, Corner Lot	35	45'
B Depth	90' with alley, or 100'	120'
Setbacks	Minimum	Maximum
C Front Yard	15'	25'
D Side Street Yard	10'	-
E Side Yard	0*, 5'	-
F Rear Yard	5'	-
Accessory Structure Set backs	Minimum	
Front Yard	20*	
Side Street Yard	10**	
Side Yard	0*	
Rear Yard	5'	

*

**Front facing garages must be setback at least 5' behind front building wall.

***Accessory structures may not project past side building wall of primary structure.



E. Townhouse Lot Lot Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	-	35' or 3 stories
B Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	60%	70%
Structure Size		
Primary Structure	N/A	
C Garage	600 sq. ft. max.	
ADU	Not permitted	
Miscellaneous Structures	All combined sq. ft. of accessory structure not to exceed 40% of primary structures.	
Encroachment		
D Porch	5' into front setback	
Access		
E	20' max rear access or shared driveway. Front driveway width 12' max. 2 parking spaces behind front building wall.	



F. Additional Townhouse Standards:

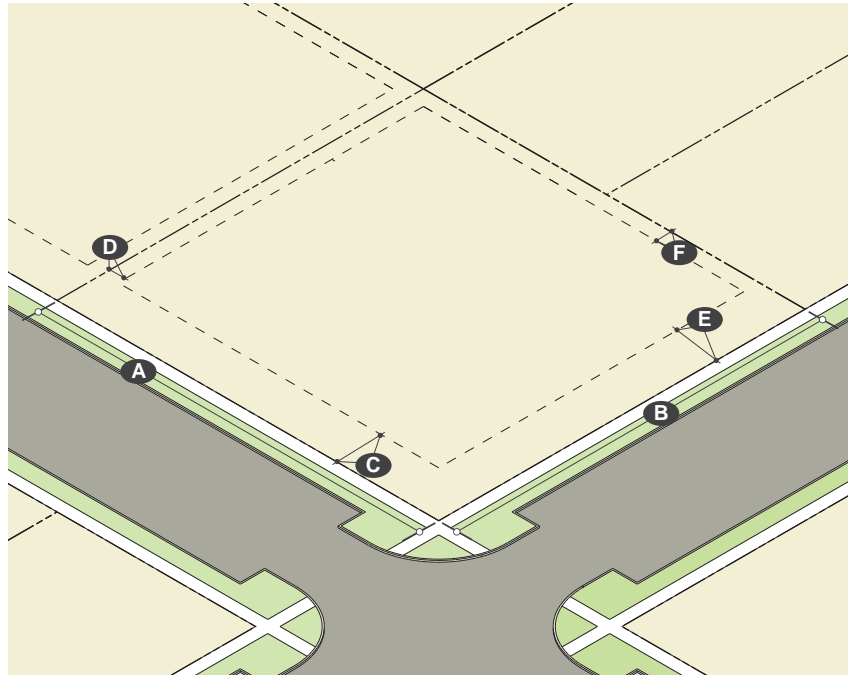
1. Maintenance Easement. In order to provide for maintenance and repair of a structures located on the zero lot line, a permanent five-foot wide wall/maintenance easement shall be provided on the parcel adjacent to the zero lot property line which, with the exception of walls and/or fences, shall be kept clear of structures. This easement shall be shown on the parcel/tract map and incorporated into each deed transferring title to the subject property.
2. Roof Design. The roofs of the structures shall be designed to ensure that water runoff from the dwelling located on the common lot line is limited to the easement area.
3. Projections Prohibited. Structures or architectural elements shall not project over any property line. This does not prohibit shared roof or gutter systems.

G. Cottage Lot Dimensions and Setbacks

Lot Size	Minimum	Maximum
Width	120'	160'
A Width, Corner Lot	125'	165'
B Depth	100'	150'
Setbacks	Minimum	Maximum
C Front Yard	15'	25'
D Side Street Yard	15'	25'
E Side Yard	5'	-
F Rear Yard	5'	-
Accessory Structure Set backs	Minimum	
Front Yard	20'	*
Side Street Yard	10'	**
Side Yard	5'	
Rear Yard	5'	

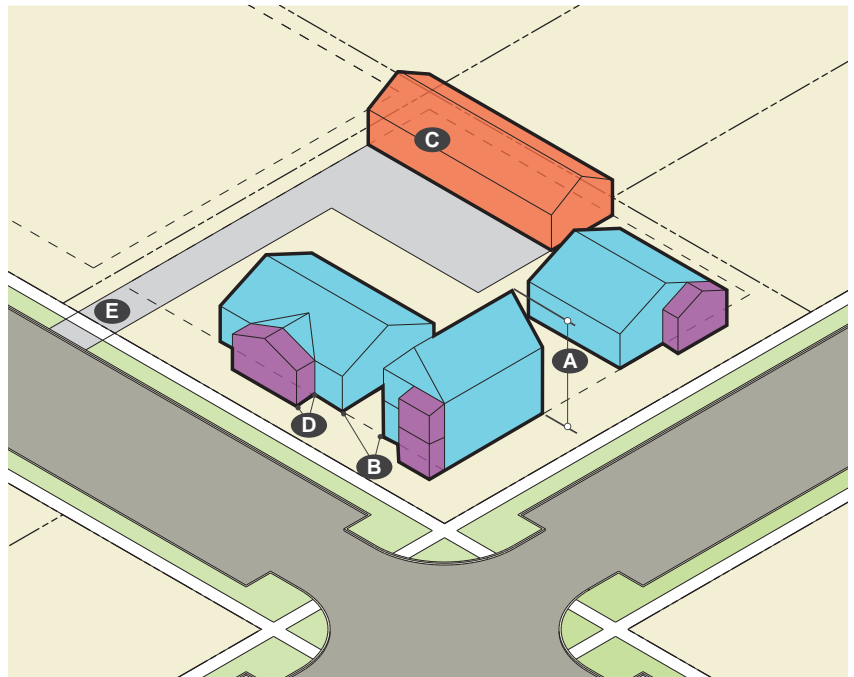
*Front facing garages must be setback at least 5' behind front building wall.

**Accessory structures may not project past side building wall of primary structure.



H. Cottage Lot Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	-	30' or 3 stories
B Primary Structure Separation	10', 15' if facing adjacent unit	
Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	60%	70%
Structure Size		
Primary Structure	1,300 sq. ft max	
C Garage	600 sq. ft. max. per unit	
ADU	Not permitted	
Miscellaneous Structures	Not to exceed 200 sq. ft. per unit for a total of 800 sq. ft. including garage.	
Encroachment		
D Porch	5' into front setback or side street setback	
Access		
E	20' max driveway width, limit 1 driveway entrance per street.	
	Parking spaces shall be behind front building wall of all structures.	



3.2.3 Transition Zone

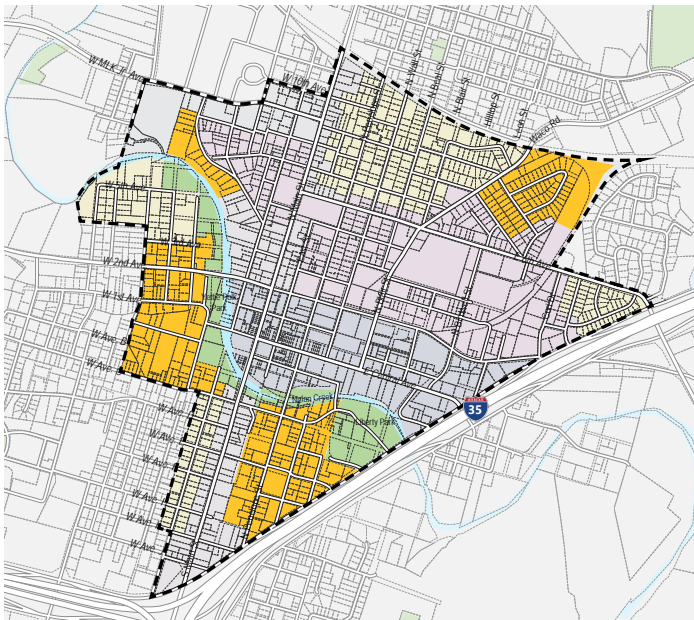
A. Intent

The Transition Zone provides flexibility in the development opportunities, but primarily focuses on enabling residential housing choice. This zone promotes a variety of housing that focuses on engaging the street with a scale of development that transitions in terms of height and building mass between the Neighborhood Zone and the downtown core.

Unit Type	Units per acre
Multiplex	18
Townhouse/Live-work	16
Courtyard Housing	24
Neighborhood Apartment	30

Unit Type	
Single-family detached	Shall follow the standards established in <i>Section in 3.2.2 Neighborhood Zone.</i>
Duplex	
Cottage	

Transition Zone Reference Map



Courtyard Housing



Neighborhood Apartment



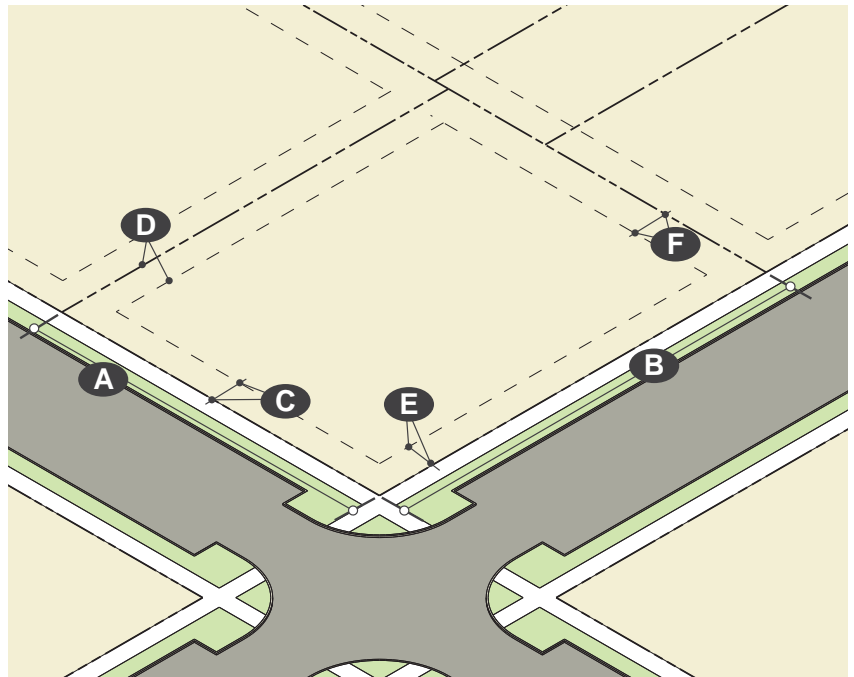
Small Footprint Mixed Use

B. Neighborhood Apartment Lot Dimensions and Setbacks

Lot Size	With Alley Minimum	Minimum	Maximum
Width	95'	105'	200'
A Width, Corner Lot	105'	115	200'
B Depth	115'	135'	150'
Setbacks	With Alley Minimum	Minimum	Maximum
C Front Yard	10'	10'	25'
D Side Street Yard	10'	10'	25'
E Side Yard	5'	5'	-
F Rear Yard	5'	10'	-
Accessory Structure Set backs	With Alley Minimum	Minimum	
Front Yard	10'*	25'	
Side Street Yard	10'**	20'	
Side Yard	5'	10'	
Rear Yard	5'	10'	

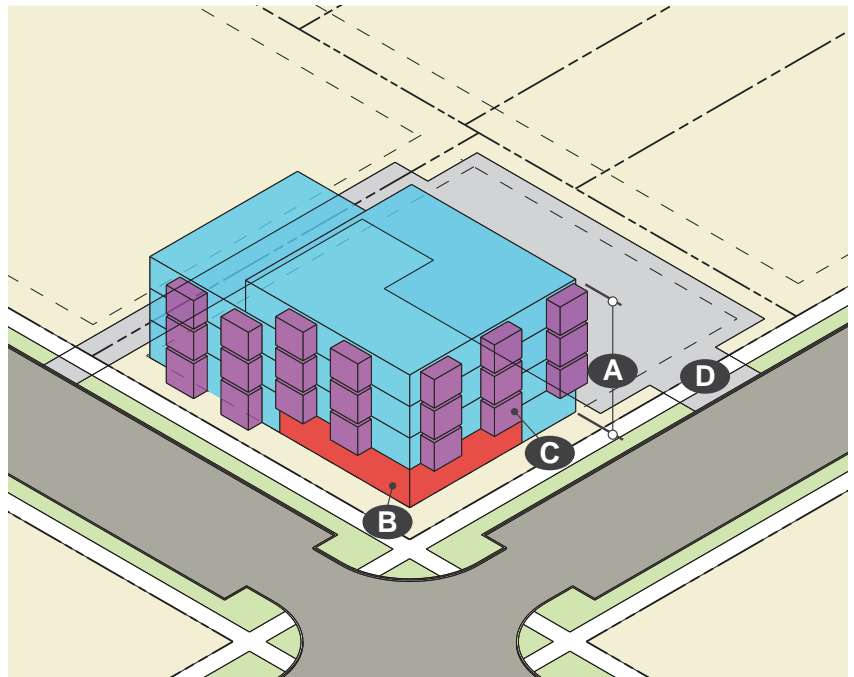
*Accessory structures must be setback at least 5' behind front building wall.

**Accessory structures may not project past side building wall of primary structure.



C. Neighborhood Apartment Lot Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	10' ground story floor to floor	45' or 4 stories
Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	70%	80%
Structure Size		
Primary Structure	N/A	
B Commercial	Not to exceed 25% of total sq. ft. Ground story only	
Garage	600 sq. ft. per unit	
ADU	Not permitted	
Miscellaneous Structures	Not to exceed 200 sq. ft. per unit for a total of 800 sq. ft. including garage.	
Encroachment		
C Porch, balcony	5' into front or side street setback	
Access		
D Driveway width 24' max		
All off-street parking spaces behind front building wall.		

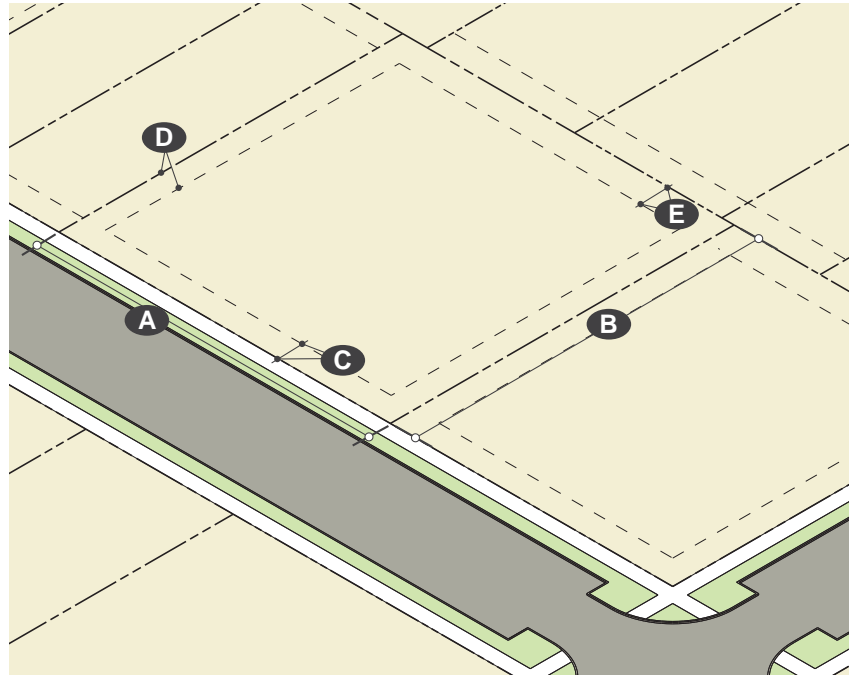


D. Courtyard House Lot Dimensions and Setbacks

Lot Size	With Alley Minimum	Minimum	Maximum
A Width	110'	125'	160'
A₂ Width, Corner Lot	105'	135'	165'
B Depth	115'	135'	150'
Setbacks	With Alley Minimum	Minimum	Maximum
C Front Yard	10'	10'	25'
D Side Street Yard	10'	10'	25'
E Side Yard	10'	10'	-
F Rear Yard	10'	10'	-
Accessory Structure Set backs	With Alley Minimum	Minimum	
Front Yard	10'*	25'	
Side Street Yard	10'**	20'	
Side Yard	5'	10'	
Rear Yard	5'	10'	

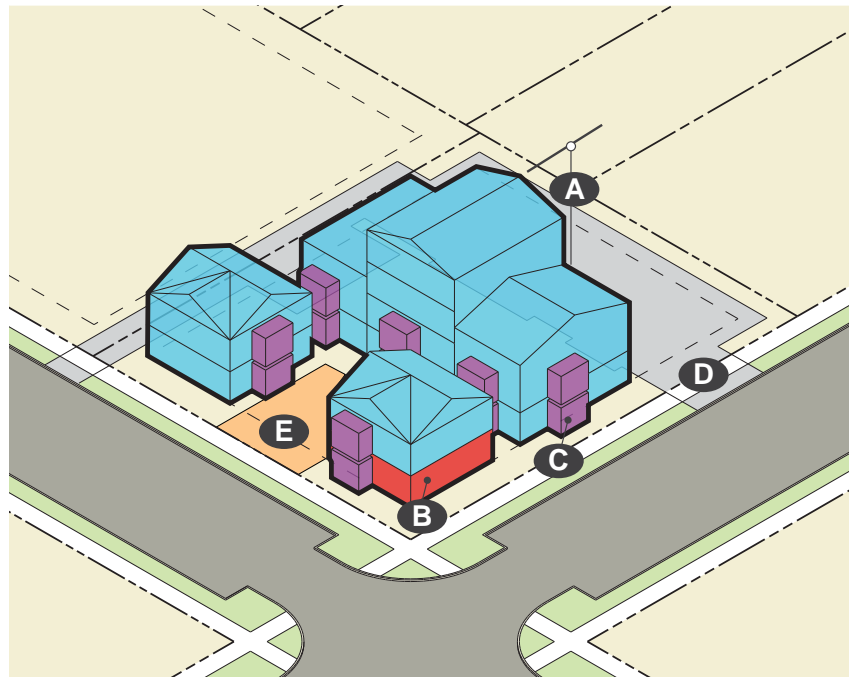
*Accessory structures must be setback at least 5' behind front building wall.

**Accessory structures may not project past side building wall of primary structure.



E. Courtyard House Lot Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	10' ground story floor to floor	45' or 4 stories
Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	65%	70%
Structure Size		
Primary Structure	N/A	
B Commercial	Not to exceed 25% of total of all structures sq. ft. ground story only	
Garage	600 sq. ft. per unit	
ADU	Not permitted	
Miscellaneous Structures	Not to exceed 200 sq. ft. per unit for a total of 800 sq. ft. including garage.	
Encroachment		
C Porch, balcony	5' into front or side street setback	
Access		
D Driveway width 24' max	All off-street parking spaces behind front building wall corresponds with courtyard.	
E Courtyard minimum of 30' by 40' with an additional 100 sq. ft. per each unit over 12.		

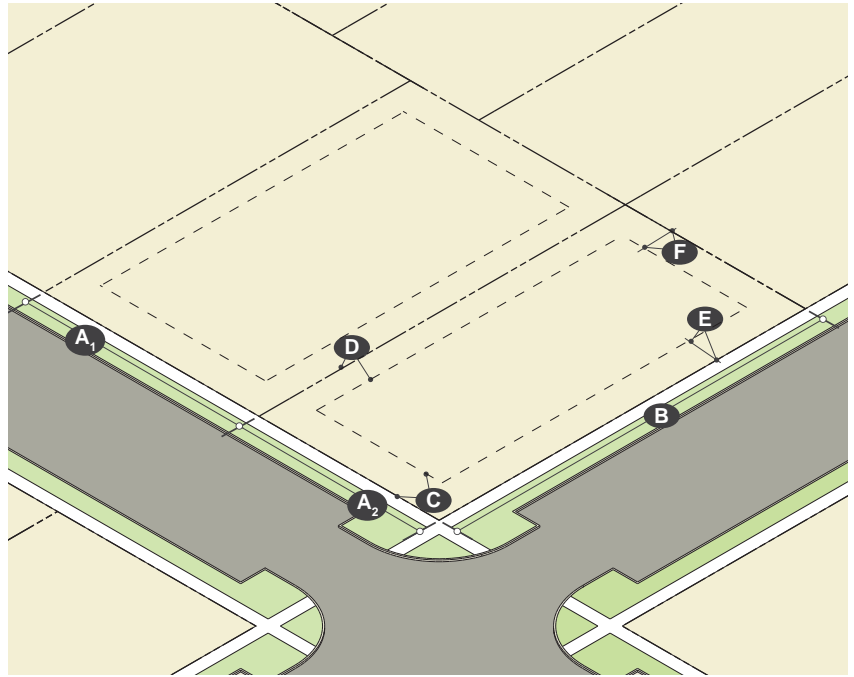


F. Multiplex Lot Dimensions and Setbacks

Lot Size	With Alley Minimum	Minimum	Maximum
A Width	40'	50'	160'
A₂ Width, Corner Lot	45'	55'	165'
B Depth	90'	100'	150'
Setbacks	With Alley Minimum	Minimum	Maximum
C Front Yard	10'	10'	25'
D Side Street Yard	10'	10'	25'
E Side Yard	10'	10'	-
F Rear Yard	10'	10'	-
Accessory Structure Set backs	With Alley Minimum	Minimum	
Front Yard	10'*	25'	
Side Street Yard	10'**	20'	
Side Yard	5'	10'	
Rear Yard	5'	10'	

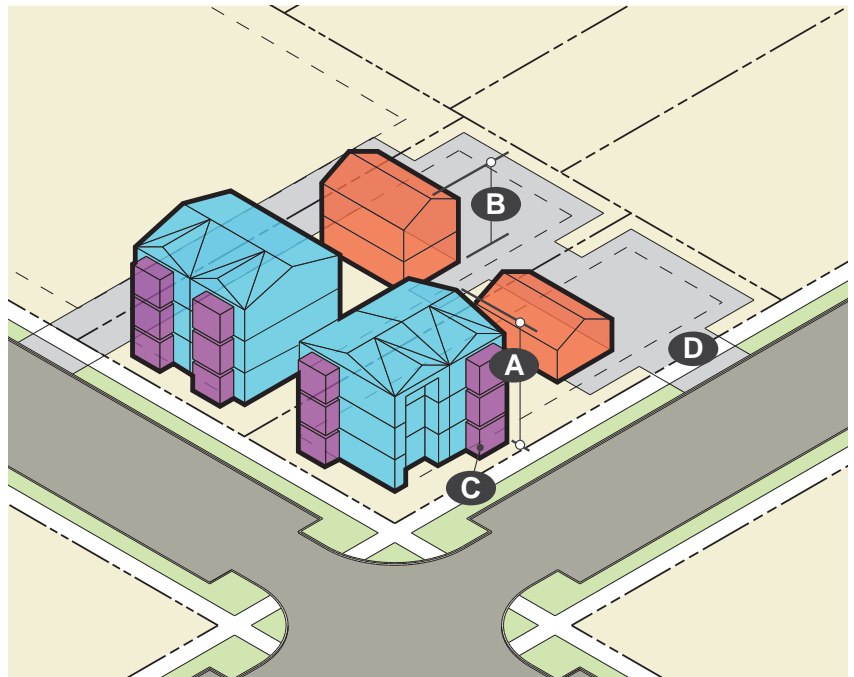
*Accessory structures must be setback at least 5' behind front building wall.

**Accessory structures may not project past side building wall of primary structure.



G. Multiplex Lot Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	10' ground story floor to floor	45' or 4 stories
B Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	65%	70%
Structure Size		
Primary Structure	N/A	
Commercial	Not permitted	
Garage	600 sq. ft. per unit	
ADU	Not permitted	
Miscellaneous Structures	Not to exceed 200 sq. ft. per unit for a total of 800 sq. ft. including garage.	
Encroachment		
C Porch, balcony	5' into front or side street setback	
Access		
D Driveway width 20' max	All off-street parking spaces behind front building wall. The front building wall is determined by side of the structure with the most unit entrances of facing street.	

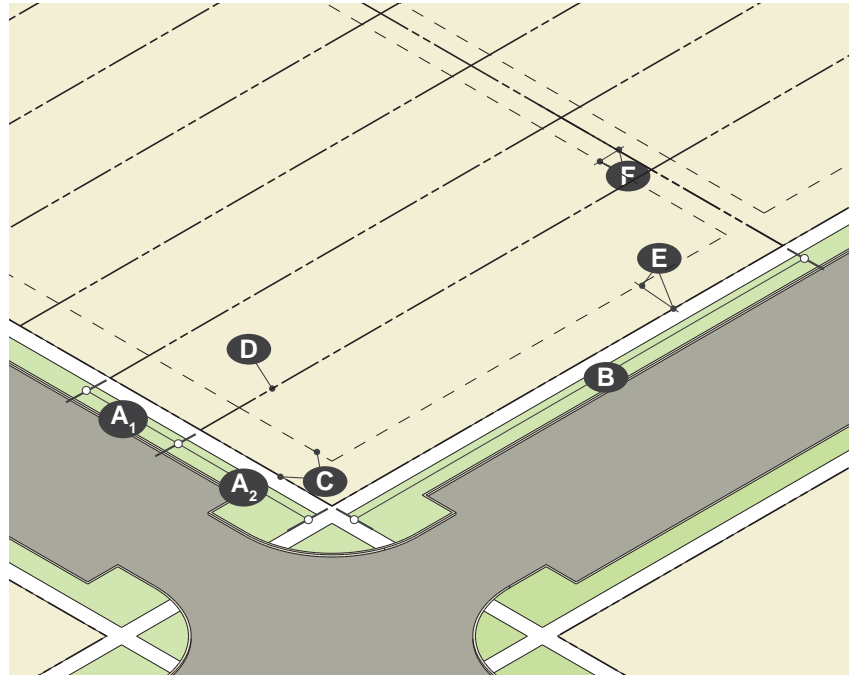


H. Townhouse & Live-work Lot Dimensions and Setbacks

Lot Size	With Alley Minimum	Minimum	Maximum
A Width	22'	30'	40'
A₂ Width, Corner Lot	35'	40'	45'
B Depth	90'	100'	150'
Setbacks	With Alley Minimum	Minimum	Maximum
C Front Yard	10'	10'	25'
D Side Street Yard	10'	10'	25'
E Side Yard	0'	0'	-
F Rear Yard	5'	5'	-
Accessory Structure Set backs	Alley Min.	Min.	
Front Yard	10'*	25'	
Side Street Yard	10'**	20'	
Side Yard	0'	10'	
Rear Yard	5'	10'	

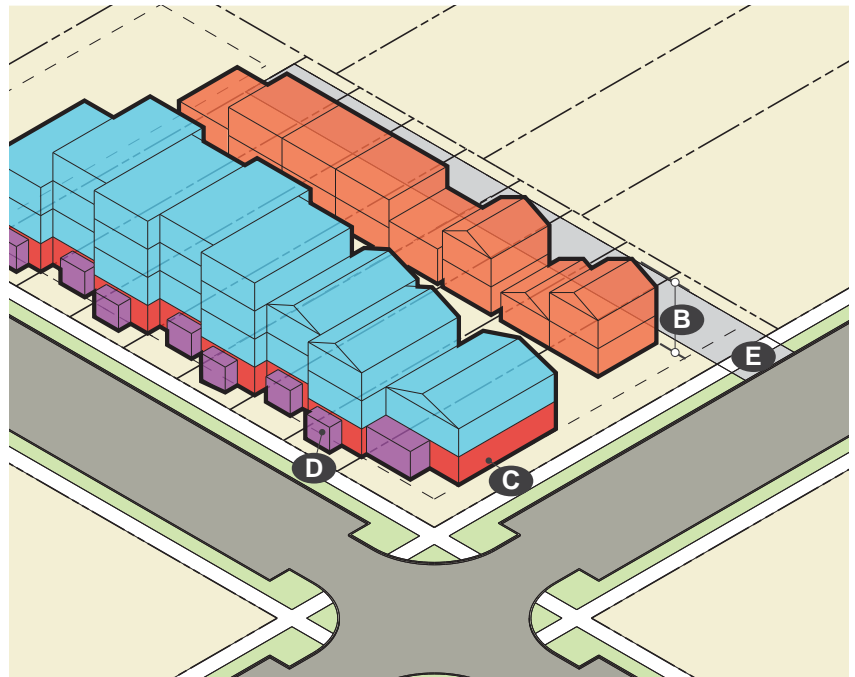
*Accessory structures must be setback at least 5' behind front building wall.

**Accessory structures may not project past side building wall of primary structure.



I. Townhouse & Live-work Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	10' ground story floor to floor	40' or 4 stories
B Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	65%	70%
Structure Size		
Primary Structure	N/A	
C Commercial	Max 50% of total sq. ft. 1st floor only	
Garage	600 sq. ft. per unit	
ADU	Not permitted	
Miscellaneous Structures	Not to exceed 200 sq. ft. per unit for a total of 800 sq. ft. including garage.	
Encroachment		
D Porch, balcony	5' into front or side street setback	
Access		
E Driveway width 20' max	2 parking spaces behind front building wall.	



J. Additional Townhouse Standards:

1. Maintenance Easement. In order to provide for maintenance and repair of a structures located on the zero lot line, a permanent five-foot wide wall/maintenance easement shall be provided on the parcel adjacent to the zero lot property line which, with the exception of walls and/or fences, shall be kept clear of structures. This easement shall be shown on the parcel/tract map and incorporated into each deed transferring title to the subject property.
2. Roof Design. The roofs of the structures shall be designed to ensure that water runoff from the dwelling located on the common lot line is limited to the easement area.
3. Projections Prohibited. Structures or architectural elements shall not project over any property line. This does not prohibit shared roof or gutter systems.

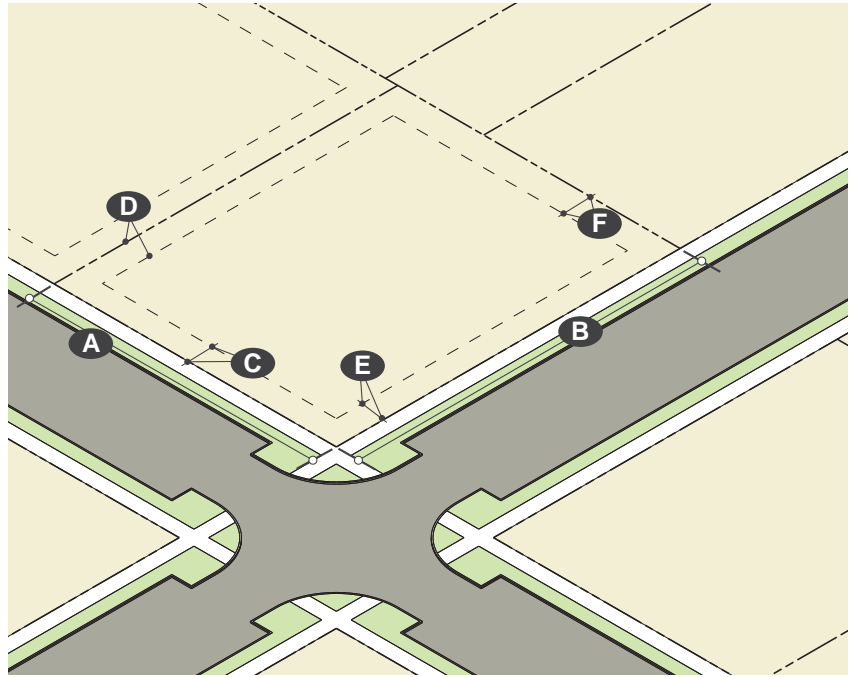
K. Hotel Lot Dimensions and Setbacks

Lot Size	Minimum	Maximum
A Width	100'	300'
Width, Corner Lot	100'	300'
B Depth	115'	300'

Setbacks	Minimum	Maximum
C Front Yard	10'	25'
D Side Street Yard	10'	25'
E Side Yard	10'	-
F Rear Yard	10'	-

Accessory Structure Set backs

Setback for accessory structures are the same as the primary structure setbacks. Accessory structures may not project past front or side street building wall of primary structure.



L. Hotel Massing and Access

Building Height	Minimum	Maximum
A All Structures	10' ground story floor to floor	60' or 5 stories

Buildable Area	Maximum	Pervious Bonus
Lot coverage	70%	80%

Structure Size

Primary and accessory structures N/A

Encroachment

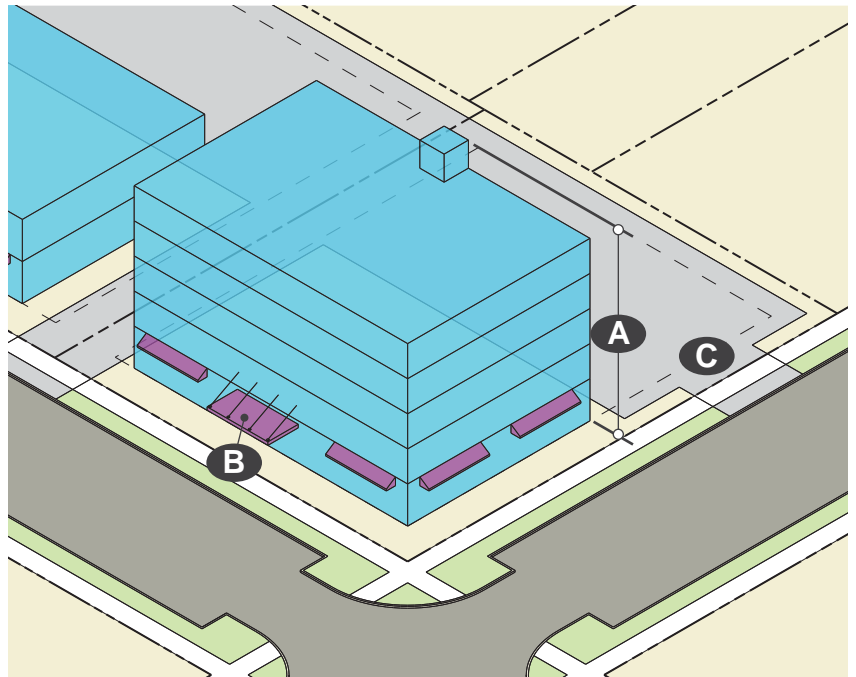
B Awning 5' into front or side street setback

Access

C Driveway width 24' max

All off-street parking spaces behind front building wall.

These standards are specific to a hotel in the Transition Zone.



3.2.4 Main Street Zone

A. Intent

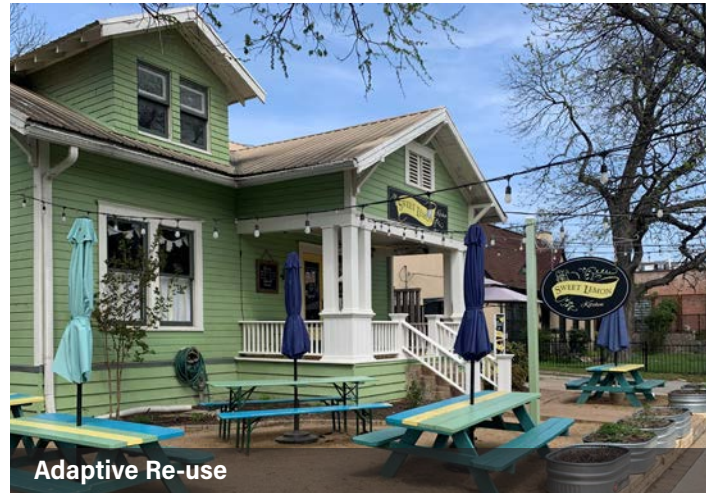
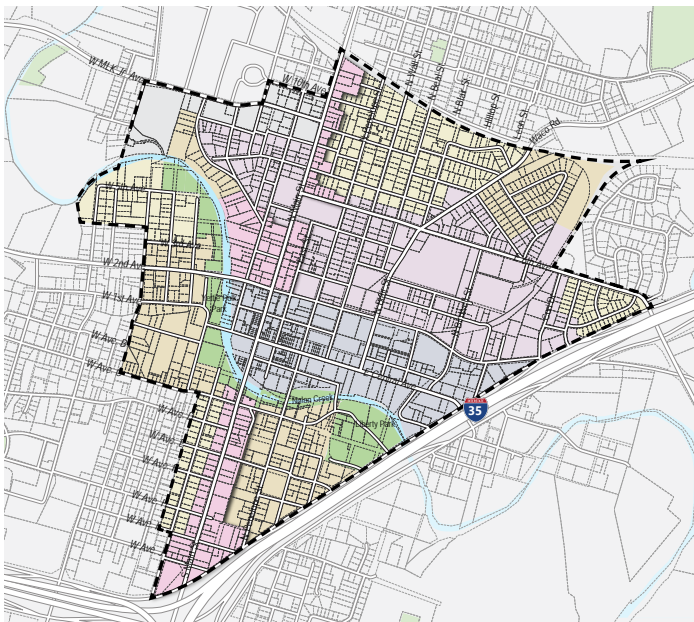
The Main Street Zone is a mix of traditional commercial and housing that has been adapted into commercial spaces. This zone is located along important corridors that provide connections into the downtown. This zone supports the nearby residential.

Unit Type	Units per acre
Live-work	14

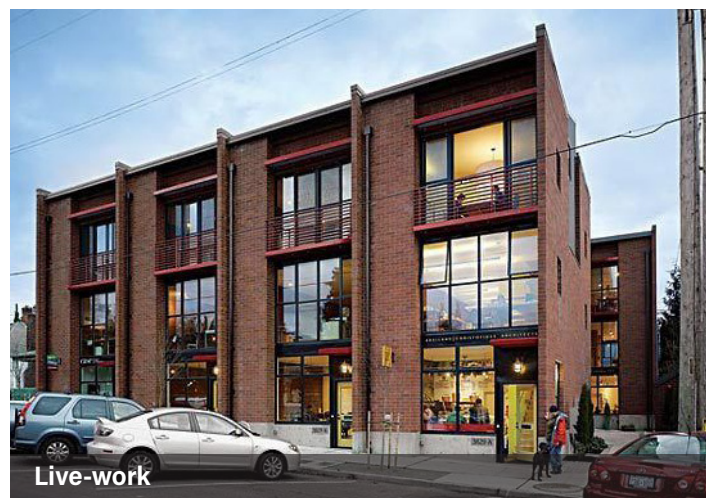


Commercial Fronting the Street

Main Street Zone Reference Map



Adaptive Re-use



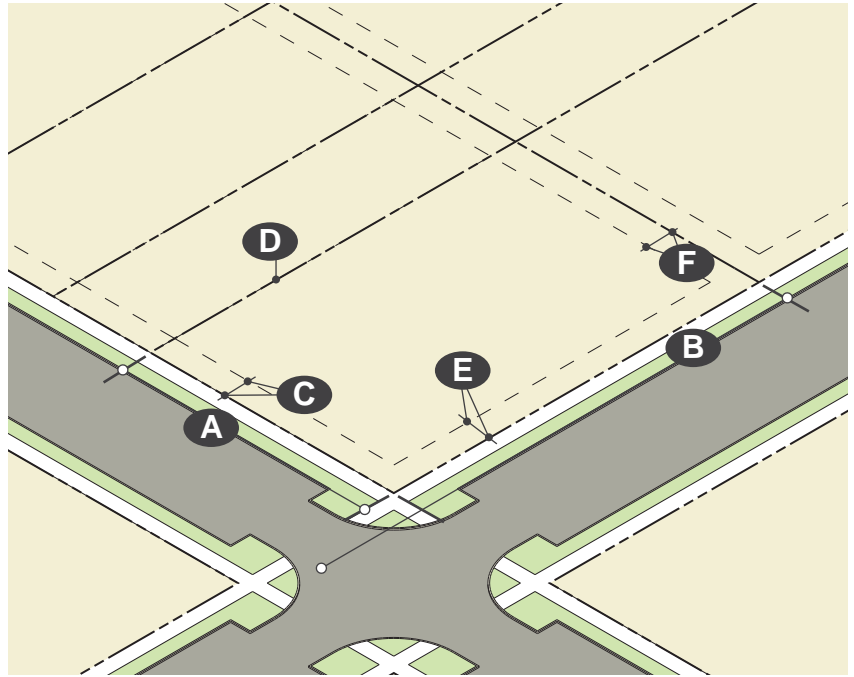
Live-work

B. Lot Dimensions and Setbacks

Lot Size	Minimum	Maximum
A Width	40'	300'
Width, Corner Lot	40'	300'
B Depth	100'	300'
Setbacks	Minimum	Maximum
C Front Yard	0'	10'*
D Side Street Yard	0'	-
E Side Yard	10'	-
F Rear Yard	10'	-
Accessory Structure Set backs	Minimum	

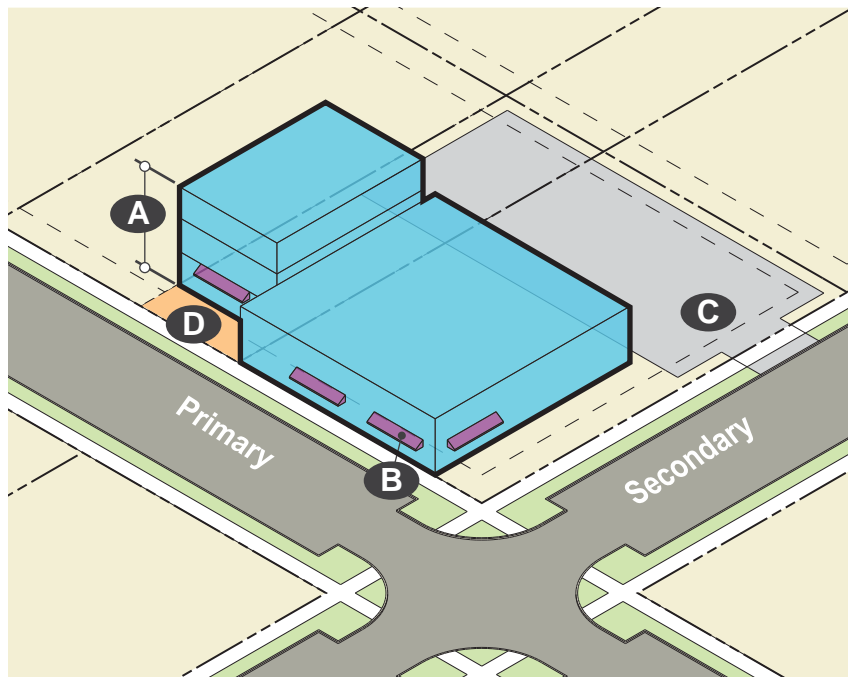
Setback for accessory structures are the same as the primary structure setbacks. Accessory structures may not project past front or side street building wall of primary structure.

*If property contains an adaptive reuse of single-family structure: the existing front building wall may act as a setback if less than 25'. For blocks with existing adaptive re-use of single-family structures a 25' front setback is allowed for new construction/additions, or setback may be the same as an adjacent property with single family structure.



C. Lot Massing and Access

Building Height	Minimum	Maximum
A All Structures	10' ground story floor to floor	35' or 3 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	80%	90%
Structure Size	N/A	
Primary and Accessory structures	N/A	
Encroachment	10' into right-of-way provided doesn't interfere with infrastructure	
B Marquee, Portico, Awnings	10' into right-of-way provided doesn't interfere with infrastructure	
Access	Driveway width 24' max. All off-street parking spaces behind front building wall	
C Driveway width 24' max.	All off-street parking spaces behind front building wall	
D Exceeding 10' setback is allowed for plaza, outdoor dining space, or landscape area/lawn.	Exceeding 10' setback is allowed for plaza, outdoor dining space, or landscape area/lawn.	
Building Street Frontage (% of build to)		
Primary Street	75%	
Secondary Street	0%	
Windows (walls with building frontage)		
Ground floor Primary Street	35%	
Ground Floor Secondary Street and Upper Story(s)	20%	
Windows (walls with building street frontage) Min.		
Ground Story Primary Street	35%	
Ground Story Secondary Street and Upper Story(s)	20%	

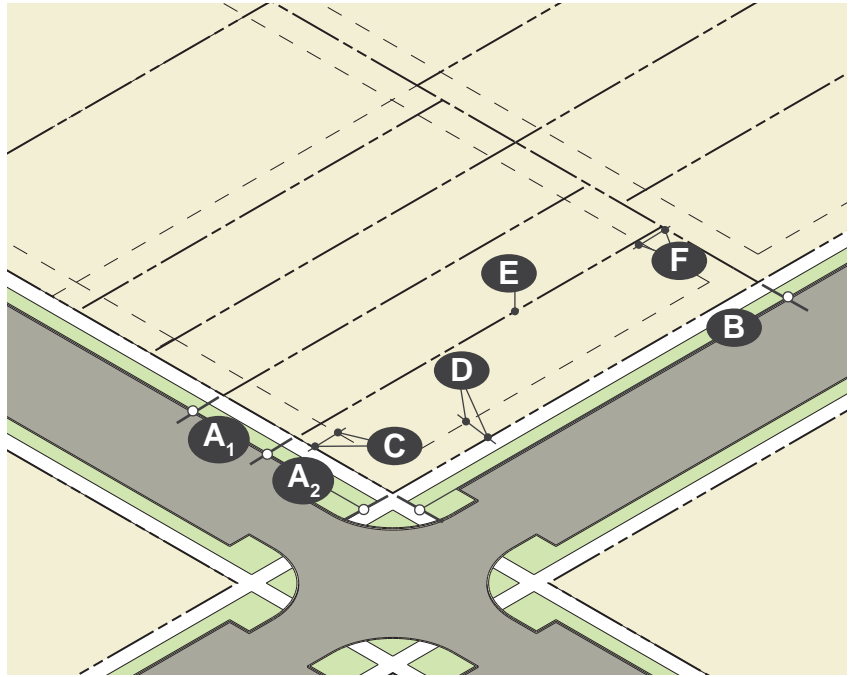


D. Live-work Lot Dimensions and Setbacks

Lot Size	Minimum	Maximum
A₁ Width	30'	40'
A₂ Width, Corner Lot	40'	45'
B Depth	100'	150'
Setbacks	Minimum	Maximum
C Front Yard	0'	10'
D Side Street Yard	0'	10'
E Side Yard	10'*	-
F Rear Yard	10'	-
Accessory Structure Set backs	Minimum	

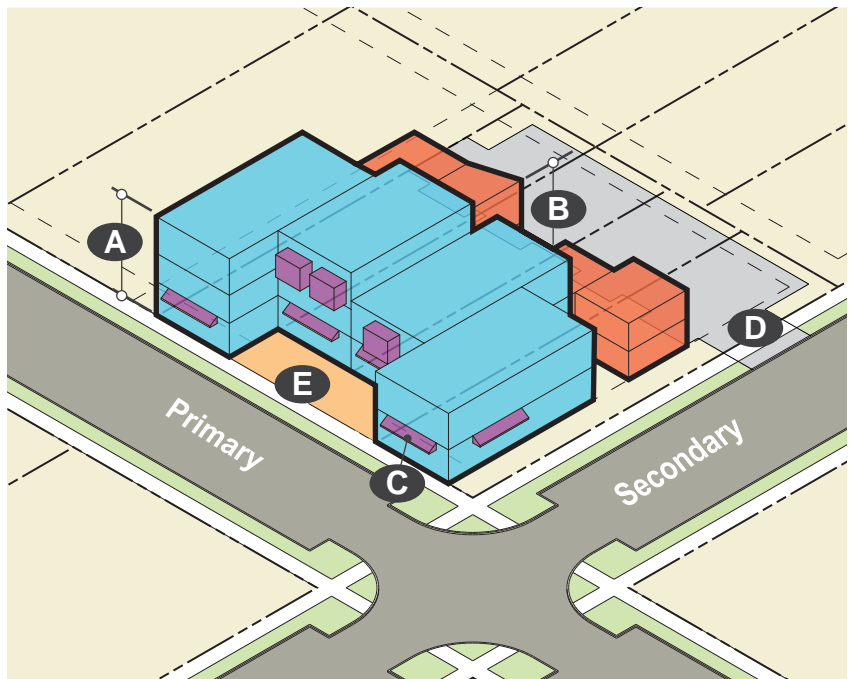
Setback for accessory structures are the same as the primary structure setbacks. Accessory structures may not project past front or side street building wall of primary structure.

*0' Shared setback is allowed on the shared wall lot line



E. Live-work Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	10' ground story floor to floor	35' or 3 stories
B Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	80%	90%
Structure Size		
Primary Structure	N/A	
Commercial	1st floor only	
Garage	600 sq. ft. per unit	
ADU	Not permitted	
Miscellaneous Structures	Not to exceed 200 sq. ft. per unit for a total of 800 sq. ft. including garage	
Encroachment		
C Awning	3' into right-of-way provided it doesn't interfere with infrastructure	
Access		
E Driveway width 20' max.	2 parking spaces behind front building wall	
Building Street Frontage (% of build to)		
Primary Street	75%	
Secondary Street	0%	
Windows (walls with building street frontage) Min.		
Ground Story Primary Street	35%	
Ground Story Secondary Street and Upper Story(s)	20%	



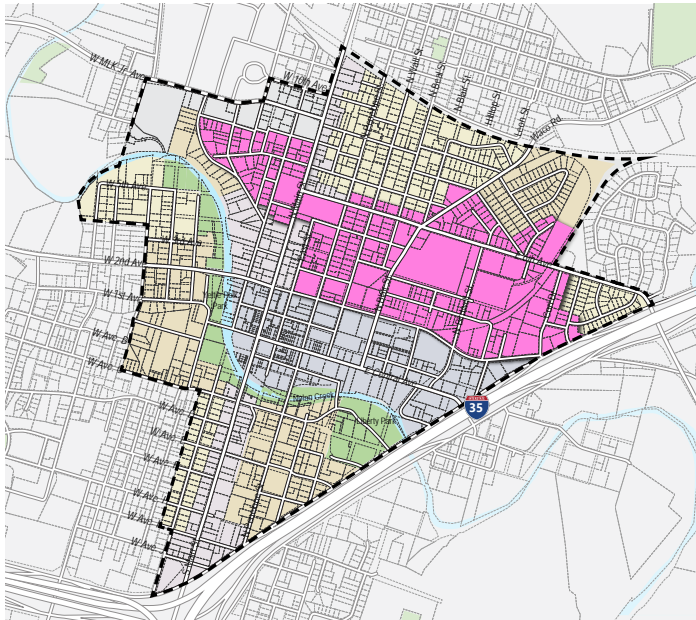
3.2.5 The Fields Zone

A. Intent

The Fields Zone is intended to accommodate residential, commercial, and in limited light industrial uses. This approach to having a mix of uses is intended to help expand upon that activities and vibrancy of Belton's downtown, while enabling housing choice that currently is absent.

Unit Type	Units per acre
Multiplex	24
Townhouse/Live-work	16
Courtyard Housing	24
Neighborhood Apartment	40

The Fields Zone Reference Map



Mixed Use Buildings



Duplex



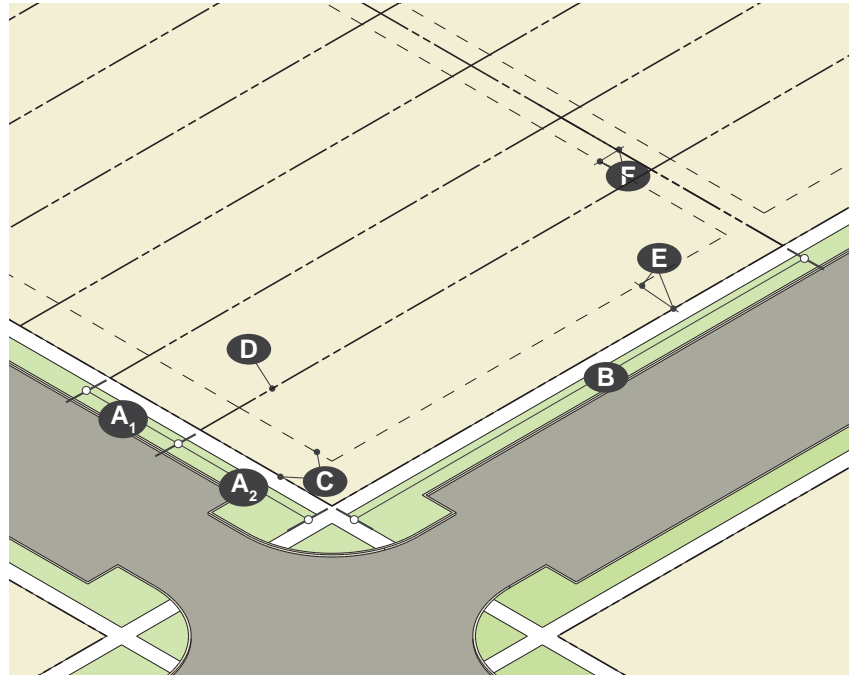
Street Fronting Residential

B. Townhouse & Live-work Lot Dimensions and Setbacks

Lot Size	With Alley Minimum	Minimum	Maximum
A Width	22"	30'	40'
A₂ Width, Corner Lot	35'	40'	45'
B Depth	90'	100'	150'
Setbacks	With Alley Minimum	Minimum	Maximum
C Front Yard	0'	0'	15'
D Side Street Yard	0'	0'	15'
E Side Yard	0'	0'	-
F Rear Yard	5'	5'	-
Accessory Structure Set backs	With Alley Minimum	Minimum	Maximum
Front Yard	10'*	25'	
Side Street Yard	10'**	20'	
Side Yard	0'	10'	
Rear Yard	5'	10'	

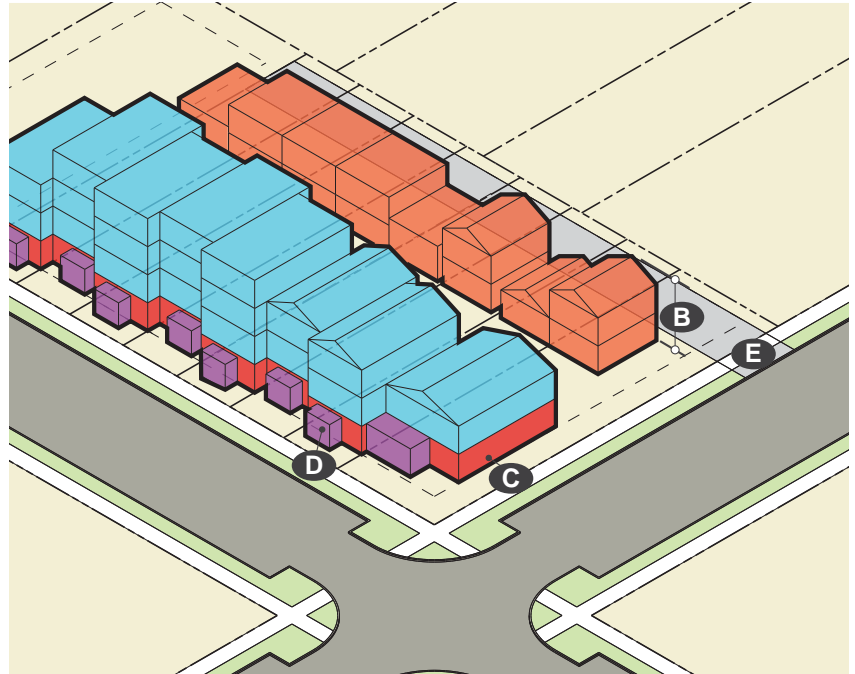
*Accessory structures must be setback at least 5' behind front building wall

**Accessory structures may not project past side building wall of primary structure



C. Townhouse & Live-work Massing and Access

Building Height	Minimum	Maximum
A Primary Structure	10' ground story floor to floor	40' or 4 stories
B Accessory Structure	-	25' or 2 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	65%	70%
Structure Size		
Primary Structure	N/A	
C Commercial	Max 50% of total sq. ft. 1st floor only	
Garage	600 sq. ft. per unit	
ADU	Not permitted	
Miscellaneous Structures	Not to exceed 200 sq. ft. per unit for a total of 800 sq. ft. including garage	
Encroachment		
D Porch, balcony	5' into front or side street setback	
Access		
E Driveway width 20' max.		
2 parking spaces behind front building wall		
Windows (walls with building street frontage) Min.		
Ground Story Primary Street	35%	
Ground Story Secondary Street and Upper Story(s)	20%	



D. Additional Townhouse and Lot Standards:

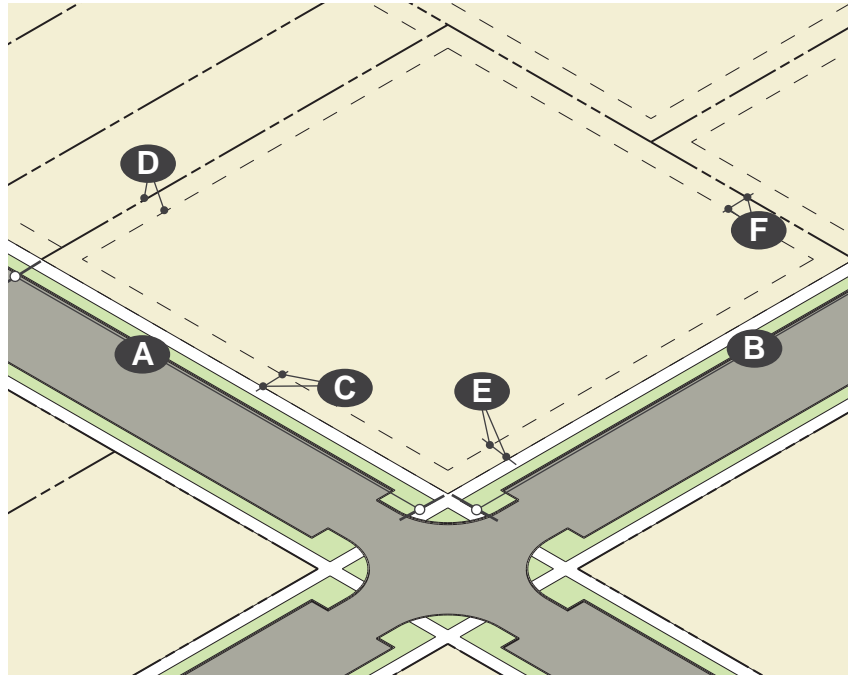
1. Maintenance Easement. In order to provide for maintenance and repair of a structures located on the zero lot line, a permanent five-foot wide wall/maintenance easement shall be provided on the parcel adjacent to the zero lot property line which, with the exception of walls and/or fences, shall be kept clear of structures. This easement shall be shown on the parcel/tract map and incorporated into each deed transferring title to the subject property.
2. Roof Design. The roofs of the structures shall be designed to ensure that water runoff from the dwelling located on the common lot line is limited to the easement area.
3. Projections Prohibited. Structures or architectural elements shall not project over any property line. This does not prohibit shared roof or gutter systems.

E. All Other Uses Lot Dimensions and Setbacks

Lot Size	Minimum	Maximum
A Width	40'	400'
Width, Corner Lot	40'	400'
B Depth	100'	400'
Setbacks	Minimum	Maximum
C Front Yard	0'	10'
D Side Street Yard	0'	10'
E Side Yard	10 [*]	-
F Rear Yard	10'	-
Accessory Structure Set backs	Min.	

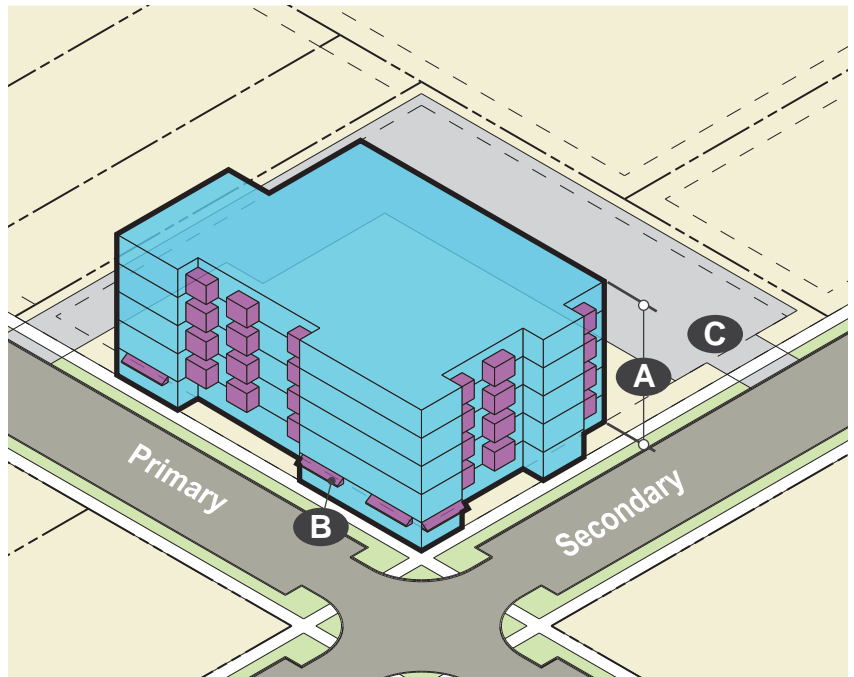
Setback for accessory structures are the same as the primary structure setbacks. Accessory structures may not project past front or side street building wall of primary structure.

*0' Shared setback is allowed on the shared wall lot line



F. All Other Uses Lot Massing and Access

Building Height	Minimum	Maximum
A All Structures	10' ground story floor to floor	60' or 5 stories
Buildable Area	Maximum	Pervious Bonus
Lot coverage	80%	90%
Structure Size	N/A	
Primary and accessory structures	N/A	
Encroachment	May encroach 3' into the right-of-way provided it doesn't interfere with infrastructure	
B Awnings	May encroach 3' into the right-of-way provided it doesn't interfere with infrastructure	
Access	C Driveway width 24' max. All off-street parking spaces behind front building wall For Courtyard House minimum of 30' by 40' with an additional 50 sq. ft. per each unit over 12, Exceeding 10' setback is allowed for plaza, outdoor dining space, or landscape area/lawn.	
Building Street Frontage (% of build to)		
Primary Street	80%	
Secondary Street	40%	
Windows (walls with building street frontage) Min.		
Ground Story Primary Street	35%	
Ground Story Secondary Street and Upper Story(s)	20%	

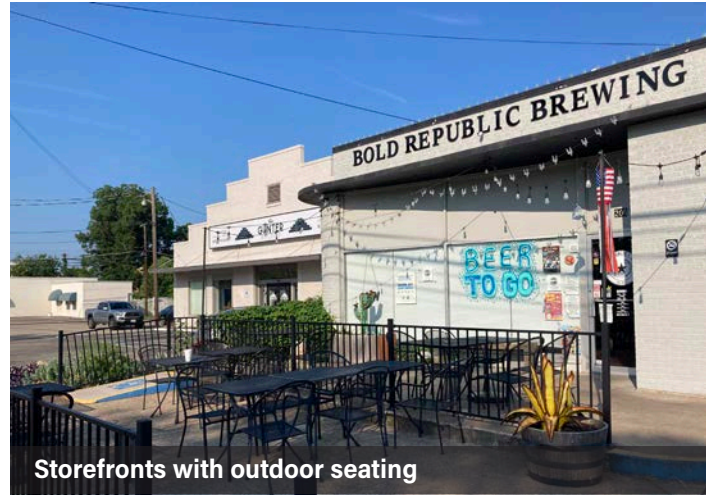


3.2.6 Central Downtown Zone

A. Intent

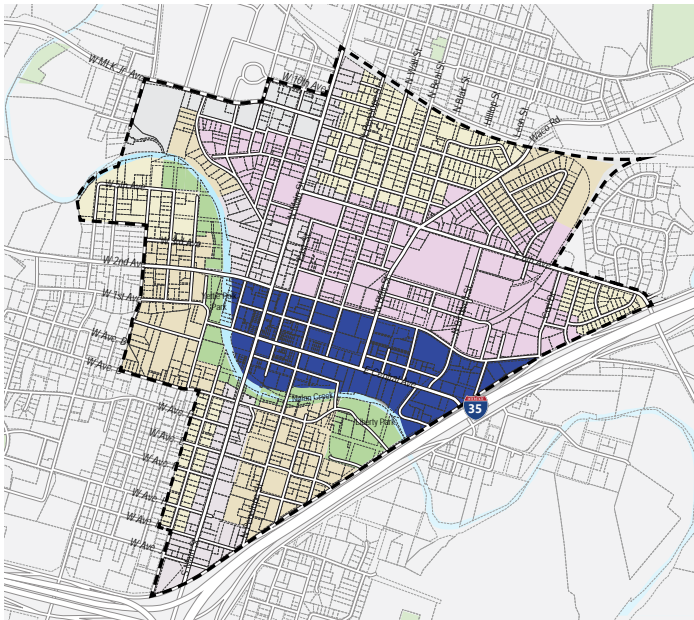
The Central Downtown Zone is an active area of commerce with historic structures that promote the authentic character of Belton. New development is intended to match that character through complementing the existing patterns. This includes build to line for new construction and first floor storefronts.

Unit Type	Units per acre
Neighborhood Apartment	40



Storefronts with outdoor seating

Central Downtown Zone Reference Map



Continuous Storefronts



Respectful Infill

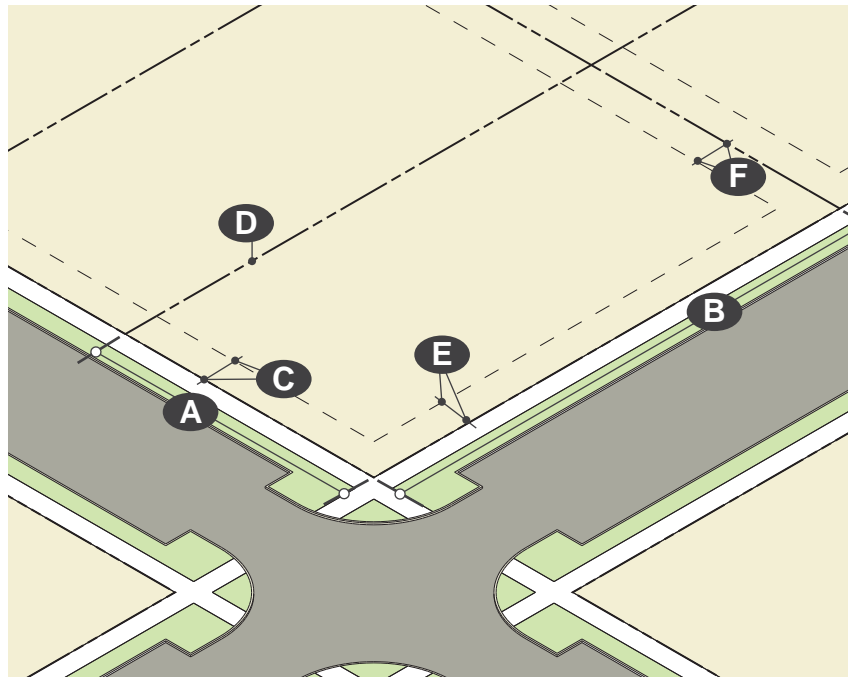
B. All Use Lot Dimensions and Setbacks

Lot Size	Minimum	Maximum
A Width	30'	300'
Width, Corner Lot	40'	300'
B Depth	100'	300'
Setbacks	Minimum	Maximum
C Front Yard	0'	0'*
D Side Street Yard	0'	10'*
E Side Yard	10'***	-
F Rear Yard	10'	-
Accessory Structure Set backs	Minimum	

Setback for accessory structures are the same as the primary structure setbacks. Accessory structures may not project past front or side street building wall of primary structure.

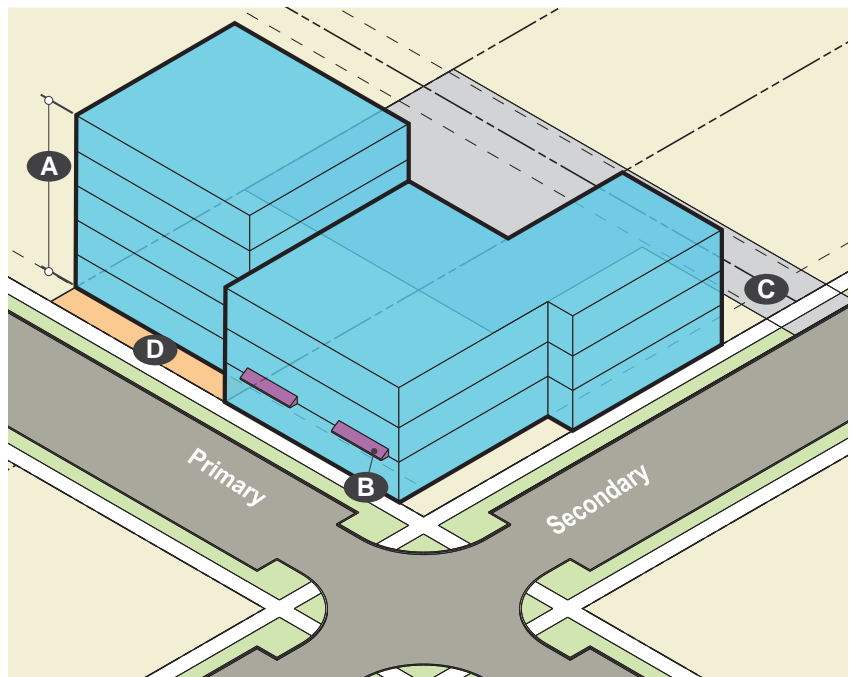
*Exceeding setback is allowed for plaza, outdoor dining space, or landscape area/lawn.

**0' Shared setback is allowed on the shared wall lot line.



C. All Uses Lot Massing and Access

Building Height	Minimum	Maximum
A All Structures	10' ground story floor to floor	60' or 5 stories
Buildable Area	Maximum	Pervious Paving Bonus
Lot coverage	80%	90%
Structure Size		
Primary and accessory structures	N/A	
Encroachment		
B Awnings	3' into right-of-way provided it doesn't interfere with infrastructure	
Access		
C Driveway width 24' max.	All off-street parking spaces behind front building wall	
D Exceeding 10' setback is allowed for plaza, outdoor dining space, or landscape area/lawn.		
Building Street Frontage (% of build to)		
Primary Street	90%	
Secondary Street	80%	
Windows (walls with building street frontage) Minimum		
Ground Story Primary Street	35%	
Ground Story Secondary Street and Upper Story(s)	20%	



Division 3.3 Compatibility Standards

As a means to ensure the desired function and harmony of the built environment, the application of compatibility standards is intended to account for improving the transition between uses and elements of the built environment. These compatibility standards identify a series of additional development requirements that create a buffer and/or transition between uses, parking, service areas, and mechanical areas.

3.3.1 Application of Compatibility Standards

The following elements outline the necessary considerations to identify and address the requirements of the compatibility standards.

A. Residential Proximity Slope

The residential proximity slope is applicable in all zones except Central Downtown. If a new building that is over 30' in height regardless of use is being constructed next to existing single-family duplex, cottage, or townhouse properties, that building shall observe a 35 degree angle residential proximity slope, as identified in **Figure 3.3.1 Residential Proximity Slope**. The beginning point of the 35 degree angle shall start at the property line. If an existing residential building is greater than 30' in height, residential proximity slope is not applicable.

B. Compatibility Matrix

For all zones, Table 3.3.1 Compatibility Matrix identifies the compatibility requirements needed and which type is required. There are three types of compatibility requirements which are further explained in each respective section. Those instances are indicated in Table 3.3.1 as well. If there is street right-of-way between differing zones, then there are no compatibility requirements. Trees and shrubs shall meet the requirements for planting set in **Division 4.2 Landscape Standards**.

Figure 3.3.1 Residential Proximity Slope

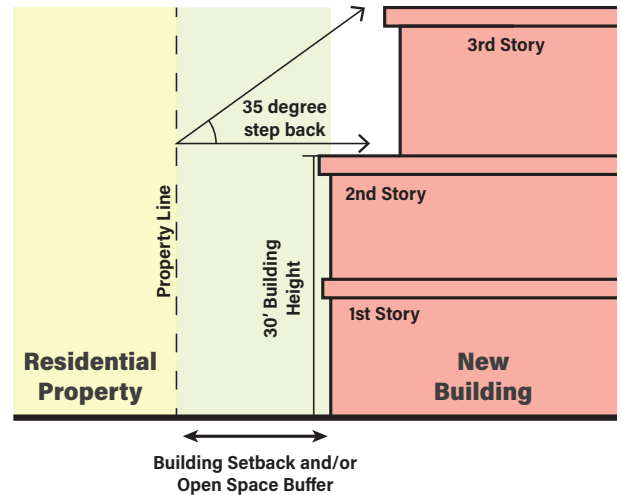


Table 3.3.1 Compatibility Matrix

Compatibility Type	Neighborhood Zone	Transition Zone	Main Street Zone	The Fields Zone	Central Downtown Zone
Type 1, Land Uses	None	Required	Required	Required	None
Type 2, Service Areas, Detention/Retention, and Parking	None	Required	Required	Required	Required
Type 3, Refuse and Mechanical Areas	Required	Required	Required	Required	Required

3.3.2 Type 1, Land Uses

A. Applicability

The following are the instances when Type 1, Land Uses compatibility standard are applicable:

1. New construction along directly shared property lines between single-family detached, cottages, and duplex residential uses and all other land uses and housing series. New construction that abuts a shared alley with single-family detached, cottages, and duplex residential uses do not require Type 1 compatibility.
2. New construction of Limited Light Industrial uses along directly shared property with any Residential Uses, Outdoor Dining, Parklets, Greens, Plazas, or Trails.

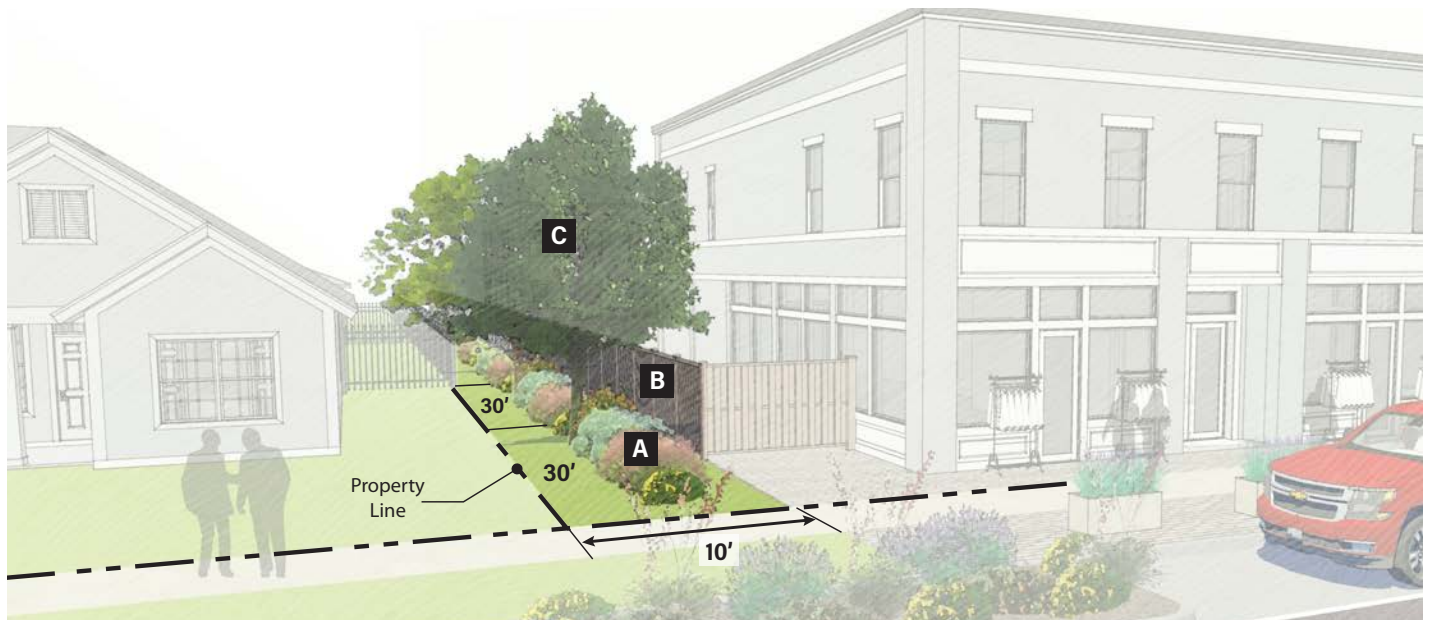
B. Requirements of Type 1, Land Uses

Type 1 Compatibility is applicable between zones that contain uses that are not always complementary when located in close proximity. These requirements are to occur at the adjoining property boundaries. **See Figure 3.3.2 Type 1 Land Use**

The following elements are required as part of Type 1 Compatibility:

1. 10' open space buffer, which can occur within building setbacks. Open space must be vegetative.
2. 6' tall opaque screen, or 8' tall opaque screen if Limited Light Industrial use. If opaque screen is a fence it can be located anywhere within the open space buffer. Opaque screens comprised of planting should be within the 10' open space buffer.
3. Opaque screens comprised of planting shall center the planting within the 10' open space buffer. If opaque screen is solid fence, the 1st 5' adjacent to the property line must be free of paving, while the remaining 5' can be either sidewalk or parking stall, but not a drive aisle. A drainage facility may be allowed within the open space buffer so long as the corresponding planting requirements are met.
4. 1 shade tree or 2 ornamental trees per every 30' of length of 10' buffer space.
5. 6 formal per every 30' of length of 10' buffer space.

Figure 3.3.2 Type 1, Land Uses



A 6 Shrubs for every 30'

B 6' Opaque Screen

C 1 Ornamental or Shade Tree for every 40'

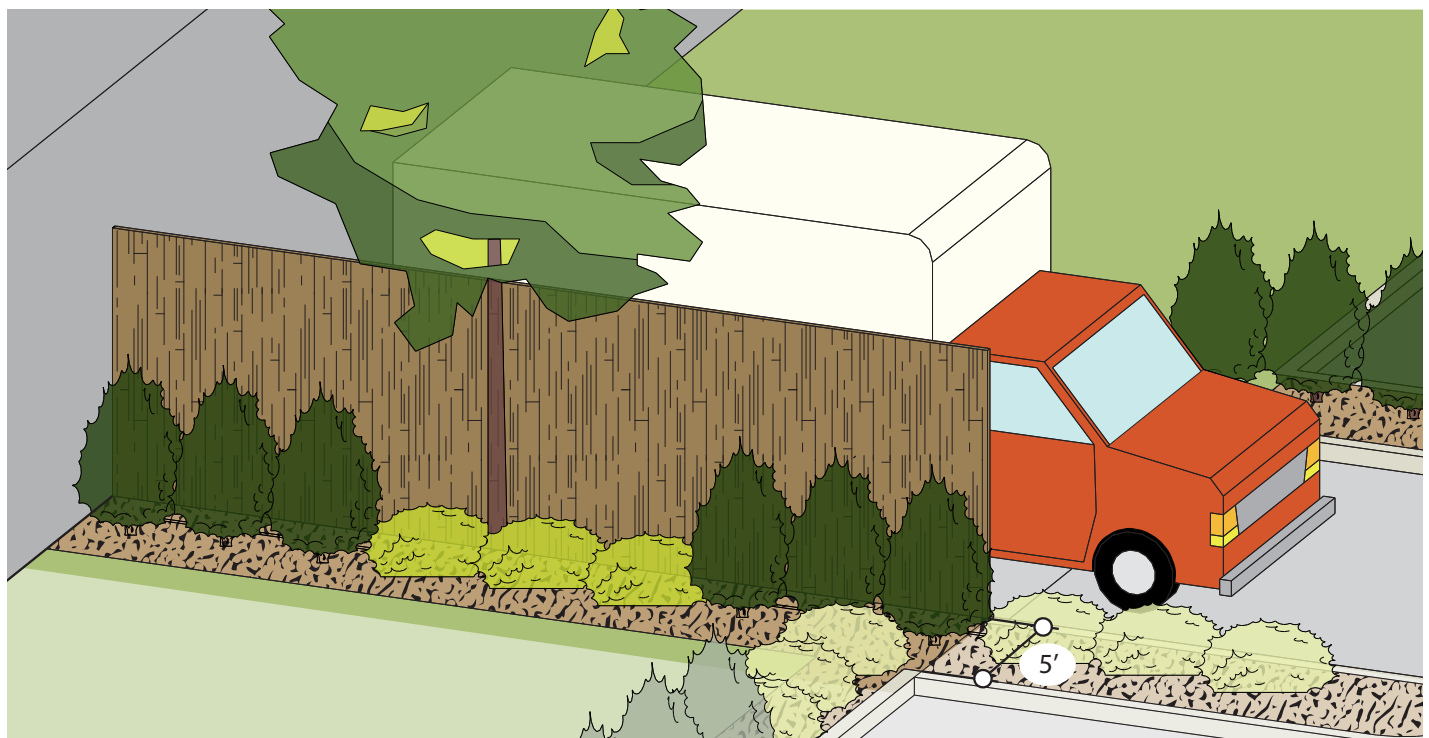
3.3.2 Type 2, Service Areas, Detention/Retention, and Parking

A. Type 2.1, Service Areas Screening Applicability

Where applicable, service area screening is required for all uses.

1. The following are the standards for of loading and service areas:
 - a. Areas not screened by the rear or side of building, or that open onto employee-only parking lots, and temporary storage/loading, areas shall provide an 8' opaque screen wall between the street right-of-way or adjacent properties. If loading or service areas are accessed from a shared alley, only the area between the alley and rear of the building shall be screened.
 - b. 1 Shade tree or 2 ornamental trees and 6 formal plantings for every 40' linear feet of opaque screen shall be provided. Formal plantings and trees shall be planted within 5' of the opaque screen wall. Minimum planting bed width is 4'.

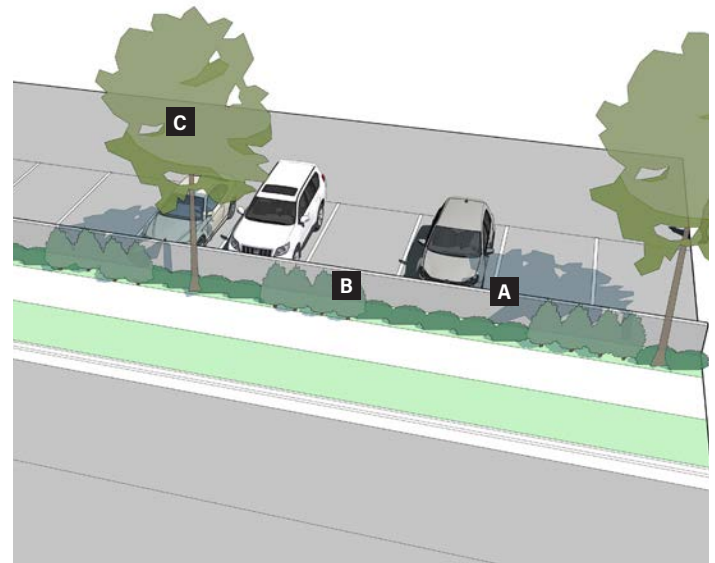
Figure 3.3.2 Type 2.1, Service Area Screening



B. Type 2.2, Parking, Planting with Screening Wall Requirements

1. Applicable in both the Central Downtown Zone and The Fields Zones for parking lots that are adjacent to Major Arterials, Minor Arterials, Urban Collectors, Neighborhood Collectors.
2. Parking lots and parking garages that are directly adjacent to the street right-of-way shall meet the following requirements for Type 2.2 Parking, Planting with Screening Wall:
 - a. A minimum of a 5' wide planting bed is required between all parking lots, including parking garages, and street right-of-way.
 - b. Within the 5' planting bed a row of continuous formal plantings, with 50% of the formal planting being evergreens.
 - c. For parking lots 1 Shade tree or 2 ornamental trees for every 40' linear feet of screening planting bed. Tree requirement is not applicable to parking garages structures not required.
 - d. A solid wall or fence 3' in height is required between sidewalk and the planting bed. Parking lot screening wall/fences are allowed up to 8' in height provided the remaining wall/fence needs above 3' is at least 50% open. Post and columns are allowed up to the 8' in height with caps extending an additional 6", provided the width of the post or column does not cause the fencing surface to exceed the requirement for 50% open above 3'. If the parking garage has a raised wall as part of its structure this would meet this requirement.

Figure 3.3.2 Type 2.2, Planting with Screening Wall

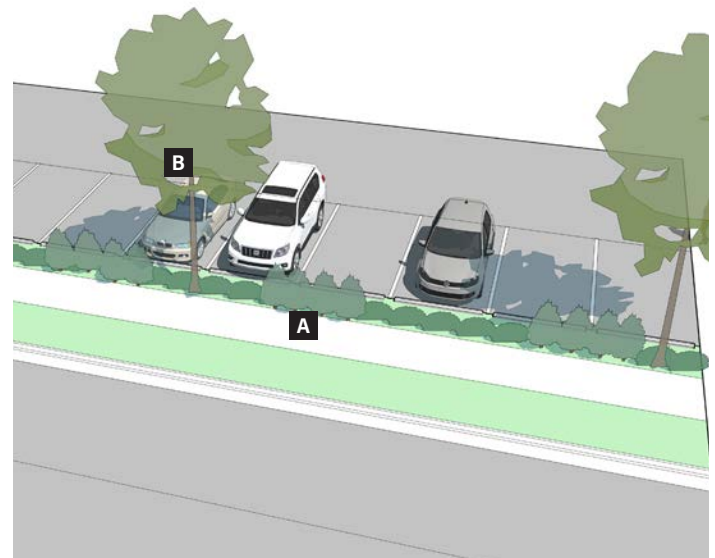


- A** 3' solid wall
- B** Continuous row of formal plantings
- C** 1 shade tree or 2 ornamental trees for every 40 linear feet

Figure 3.3.2 Type 2.3, Detention/Retention and Parking with Planting Screening

C. Type 2.3, Detention/Retention and Parking, Planting Screening Alone Requirements

1. Applicable in all zones that do not require a Type 2.2 Parking Lot with Screen Wall for parking lots and detention facilities that front public right-of-way or directly share a property line.
2. Parking lots and parking garages that are directly adjacent to the street right-of-way shall meet the following requirements for Type 2.3 Detention/Retention and Parking, Planting Screening Alone:
 - a. A minimum of a 5' wide planting bed is required between all detention facilities parking lots, including parking garages, and street right-of-way.
 - b. Within the 5' planting bed a row of continuous formal plantings shall occur, with 50% of the formal planting being evergreens.
 - c. For detention and parking lots 1 shade tree or 2 ornamental trees for every 40' linear feet of planting bed. Tree requirement is not applicable to parking garages structures.



- A** Continuous row of formal plantings
- B** 1 shade tree or 2 ornamental trees for every 40 linear feet

3.3.3 Type 3, Refuse and Mechanical Area

A. Type 3.1, Refuse Screening Requirements

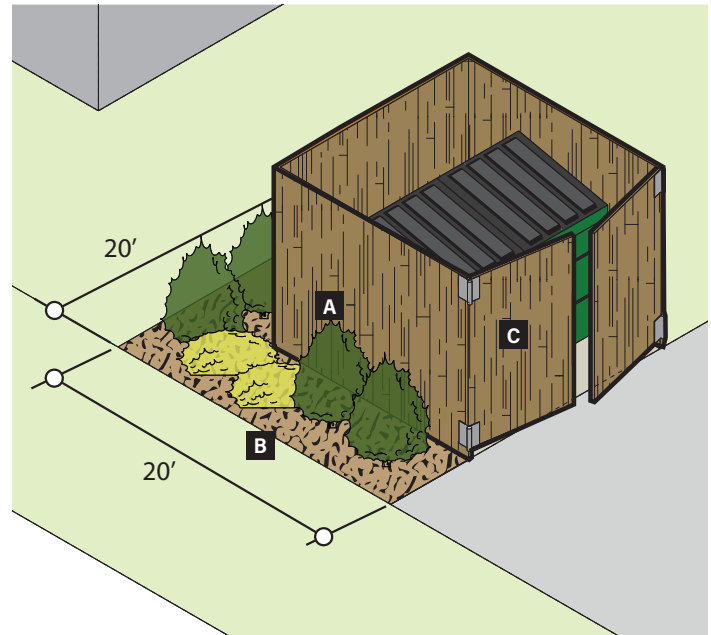
1. Refuse area screening is required for all uses in all zones, except single-family, duplex, and cottage residential.

2. The following are the standards for refuse container placement and screening:
 - a. Refuse container storage shall be located in the rear or side yards, or adjacent to the alley.
 - b. An opaque wood or masonry fence (or material that matches primary structure) shall screen refuse containers from public view. Fences shall be at least 1' higher than refuse containers on all sides.
 - c. A 4' minimum planting strip with a continuous row of formal planting shall be used as a buffer adjacent to refuse screening fences.
 - d. Refuse containers shall include an enclosure gate/doors if visible from public right-of-way.

B. Type 3.2, Mechanical Area Screening Requirements

1. Type 3.2 Mechanical Area Screening compatibility requirements apply in all zones for HVAC infrastructure and other mechanical infrastructure. The Type 3.2 Mechanical Screening requirements do not apply to roof type solar panels, but any other supporting infrastructure or ground level solar panels shall meet the requirements in the section.
2. The following standards are required for placement and screening as for Type 3.2, Mechanical Area Screening compatibility standards:
 - a. HVAC infrastructure and other mechanical infrastructure shall be placed in rear or side yards, or mounted on the roof of the structure.
 - b. The placement and HVAC shall be done so that it is screened from public view by structure, wood/masonry fence, metal panel screen, or landscaping.

Figure 3.3.2 Type 3.1, Refuse Screening



- A** Solid wood, masonry, or matching material fence 1' taller refuse container
- B** 4' minimum planting strip with continuous row of formal planting.
- B** Refuse containers shall include an enclosure gates/doors if visible from public right-of-way.

Division 3.4 Historic District Overlay

3.4.1 Historic District Overlay

A. Purpose

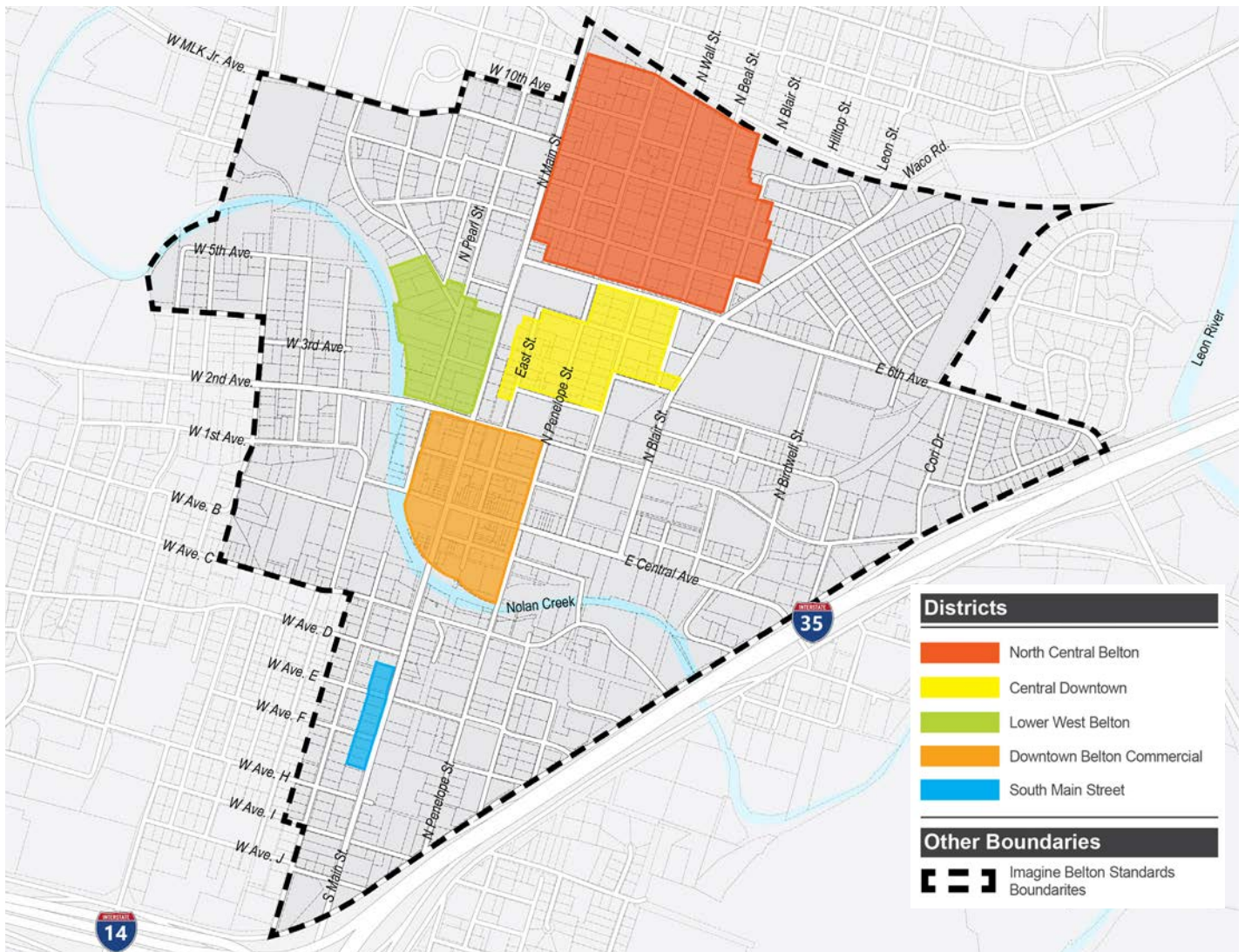
An overlay zone or district introduces additional standards or limitations to the underlying base zone. The purpose of the Historic District Overlay is to protect, enhance, and preserve landmarks and districts of architectural, archaeological, cultural, and historic significance is necessary to promote the economic, cultural, educational, and general welfare of the public. Specifically within Belton, the Historic District Overlay is intended to:

1. protect and enhance the landmarks and districts which represent distinctive elements of Belton's historic, architectural, and cultural heritage;
2. foster civic pride in the accomplishments of the past;
3. protect and enhance Belton's attractiveness to visitors in support of the economy;
4. ensure the orderly, efficient, and appropriate growth and development of the City;
5. promote economic stability and prosperity of the Community by encouraging the most appropriate use of historic properties within the City; and
6. encourage stabilization, restoration, and improvements of such properties and their values by offering incentives for rehabilitation.

B. Historic Districts

All of the City's Historic Districts can be found inside the boundaries of the Image Belton Standards plan area. The different Historic Districts and their locations are highlighted in the Figure 3.4.1 Historic Districts Map, found below.

Figure 3.4.1 Historic Districts Map



3.4.2 Historic District Governing Structure.

The organizational approach for establishing and overseeing the City's Historic Districts can be found in *Section 29: Historic Preservation Ordinance of Belton's Zoning Code*. This includes the structure and responsibilities of the historic preservation commission, the duties and responsibilities of the Historic Preservation Officer (HPO), the criteria for designation of historic properties or districts and the corresponding process for establishing a newly designated historic district. The regulatory elements of the Historic Overlay District are part of the City's overall zoning code which can be found in *Section 29 Belton's Zoning Code*. The Historic Overlay District deals with the following topics:

- Demolition by Neglect
- Certificate of Relocation
- Economic Hardship
- Ordinary Maintenance and Minimum Maintenance Standards
- Certificates of Appropriateness
- Enforcement
- Penalties

3.4.3 Applicability of the Historic Overlay District in the Imagine Belton Standards Plan Area

A. Certificate of Appropriateness

A certificate of appropriateness is required before the commencement of development within, or work upon any property within the historic overlay zoning, in accordance with:

1. Whenever such work or development on a contributing property requires a building permit or certificate of zoning compliance issued by the City for a contributing structure.
2. Non-contributing properties are to be reviewed by the HPO to determine if there proposed impact would affect a neighboring contributing property. If impact is determined to be detrimental, the HPO can recommend the development proposal to Historic Preservation Commission for certificate of appropriateness as a requirement of applying for a building permit. If the proposed development is determined not to have a detrimental on a neighboring contributing property the HPO may issue a certificate of appropriateness.
3. Changes to a site as identified in the *Section 3.4.4 Adaptive Reuse* can be reviewed HPO, who may issue a certificate of appropriateness.
4. A denial decision by the HPO on the granting of a certificate of appropriateness by an applicant and /or property owner can request to have the development proposal to be reviewed by the Historic Preservation commission for further determination for a certificate of appropriateness.

3.4.4 Adaptive Reuse in a Historic District

To improve the certainty and ability to maintain the market feasibility of structures in a Historic District, this section provides additional consideration to the base zone and Historic District Overlay standards. These additional considerations are not to be considered as enabling alterations or additions to the primary structure. The HPO shall review these standards in accordance with the administrative review for the certificate of appropriateness. The underlying zone standards in which the subject property is located still applies and the following standards are not to circumvent the base zone's development standards unless explicitly highlighted below.

A. Parking and Parking Lots

The following standards related to parking shall be specifically for multi-unit dwellings and non-residential uses.

1. Parking lots are permitted, provided they are located behind the front building wall and screened from the public right-of-way with a Type 2 compatibility requirement. For corner lots parking lots may be placed behind rear building wall and shall be screened from public right-of-way with a Type 2.2 compatibility screening.
2. A reduction of 25% to base parking requirements with directly adjacent on-street parking contributing to meeting parking requirements.

B. Accessory Structures

The following standards related to accessory structures shall apply to non-residential uses.

1. Accessory structures can be no larger than the primary structure in both square footage and building height, this takes precedent over the zone's development standards for allowable heights of accessory structures.
2. The combined square footage of multiple accessory structures shall not exceed 3 times the primary structure. Lot coverage standards from the underlying zone are still applicable.
3. Accessory structures that are visible from the public right-of-way or adjoining residential property shall match the primary structure's architectural style and building materials, including roofing.

C. Porches and decks

The following standards apply specifically to ground floor porches and decks.

1. Porches and decks shall be allowed provided they do not exceed the primary structure's square footage and adhere to the building setback requirements.
2. Porches and decks shall use the same architectural style/elements as the primary structure and be constructed of materials and paint colors that are complementary to the primary structures. Covered porches shall follow the architectural style of primary structure and use the same roofing material and color.
3. Porches and decks can be used for outdoor dining and merchandising space.

D. Outdoor Gathering Areas

The following standards apply to outdoor gathering areas, including outdoor dining space.

1. Softscapes, such as decomposed granite, decorative gravel, and artificial turf are acceptable materials for outdoor gathering spaces. These materials can be used in the front yard of single-family structures that have been converted to a commercial use, including but not limited to restaurants, cafes, and office space.

Figure 3.4.2 Adaptive Reuse Exhibit



Adaptive Reuse Elements

- A** Outdoor Gathering Area
- B** Decomposed Granite
- C** Covered Porch

Figure 3.4.2 Adaptive Reuse Exhibit highlights an existing example of a single-family house that was converted to a cafe. The property is located within an active downtown, where redevelopment pressures are very high. The elements called out are important to enabling the space to function with a higher level of patrons than would otherwise be possible, making the property more fiscally sustainable and a better service to the downtown activity.

CHAPTER 4

General Development Standards

Division 4.1 Parking Standards

The role of parking should correspond with the character of the respective zone. As such, different standards are established for each respective zone. Parking is a necessity of the built environment, however if done incorrectly parking can be over supplied and create disharmony within a development. Parking requirements consider the nearby availability of on-street parking per the respective zone and responds accordingly.

4.1.1 Required Parking Spaces

This section identifies the requirements for off-street parking. Accounting for base level parking demand of the development utilizes a simplified approach related to the nature of the land uses. Parking requirements are reflective of the proposed use being allowable in Section 3.1 Land Uses.

A. Off Street Parking Requirement

The off-street parking requirements are determined by both zone and land use category. Individual developments must provide access to parking spaces at the minimum recommended spaces, as identified in Table 4.1.1 Required Off-street Parking. Off-street parking shall meet the dimensional standards found in Table 4.1.2 Parking Dimensional Standards and Illustrated in Figure 4.1.1 Parking Diagram.

Table 4.1.1 Required Off-street Parking

Residential Uses	
All Zone	Minimum
Single-family Dwelling	2 parking spaces unit. Cottage housing can utilize on-street parking that is directly adjacent to the subject lot for 50% of its required parking spaces.
Multi-dwelling Building	1 parking space per efficiency unit; 1.5 parking space per 1 bedroom units; 2 parking spaces per 2 or more bedroom unit, and 1 guest space for per every 10 dwelling units. For Central Downtown Zone, 1 parking space is required per unit regardless of size.
Live-work	2 parking spaces per unit. Street parking availability for customers and employees.
Commercial Uses	
Transition	Minimum
Office/Personal Service	1 parking space per every 400 sq. ft. of building area.
Retail	1 parking space per every 500 sq. ft. of building area.
Overnight Accommodations	0.8 per guestroom, plus 1 per 500 sq. ft. of meeting, conference, or lounge area. (Parking for meeting, conference, or lounge area can be met off-site with parking agreement).
Dining	1 parking space per every 250 sq. ft. of dining area, including outdoor dining space, and 1 per every 400 sq. ft. of food preparation area.
Main Street and The Fields	
	Minimum
Office/Personal Service	1 parking space per every 400 sq. ft. of building area.
Retail/Artisan Food and Beverage	1 parking space per every 400 sq. ft. of building area.
Overnight Accommodations	0.5 per guestroom, plus 1 per 500 sq. ft. of meeting, or lounge area. (parking for meeting, conference, or lounge area can be met off-site with parking agreement)
Dining	1 parking space per every 150 sq. ft. of dining area, including outdoor dining space, and 1 per every 300 sq. ft. of food preparation area.
Entertainment/Indoor Recreation	1 parking space per every 400 sq. ft. and/or 1 parking spaces per 8 seats in assembly space.
Light Industrial	
The Fields	Minimum
Office/Retail Space	1 parking space per every 400 sq. ft. office or retail space within building area.
Manufacturing or Production Space	1 parking space per every 600 sq. ft. manufacture or production space within building area.
Civic, Institutional, Place of Worship All Zones	
All Zones (Except Central Downtown)	Minimum
Civic/Institutional/Place of Worship	1 parking spaces per 8 seats in assembly space; 1 space per every 500 sq. ft., meeting space or 1.25 spaces per classroom.
Central Downtown Zone	

There are no parking requirement for businesses found in the Central Downtown Zone.

Partial parking spaces are to be rounded to the nearest whole number.

B. Parks and Open Space Parking Requirements

There are no off-street parking requirements or parking minimums for parks and open space related uses/sites.

Table 4.1.2 Parking Dimensional Standards

Standard Vehicle Parking					
Parking Angle (Degrees)	Stall Width	Aisle Length Adjacent to Stall	Stall Depth Perpendicular to Aisle	One-way Aisle	Two-way Aisle
	A	B	C	D	
0	8'	23'	8'	12'	24'
30	9'	18'	16.8'	11'	22'
45	9'	12.7'	19.1'	13'	22'
60	9'	10.4'	20.1'	18'	23'
90	9'	9'	18'	24'	24'

Drive Aisle and Parking Stall Placement	
E	No turning motion to parking space or drive aisle shall occur within 20' of driveway entrance to a parking lot measured from public right-of-way/property line.

Sidewalk Access	
F	A sidewalk of no less than 4' in width shall connect the building entrance to the nearest public sidewalk found within the right-of-way. Drive aisle crossings should be clearly marked. No parking space shall be more than 300' from a sidewalk connecting to a building entrance. Delineation of crossing can include striping or change in paving material.

C. Shared Parking

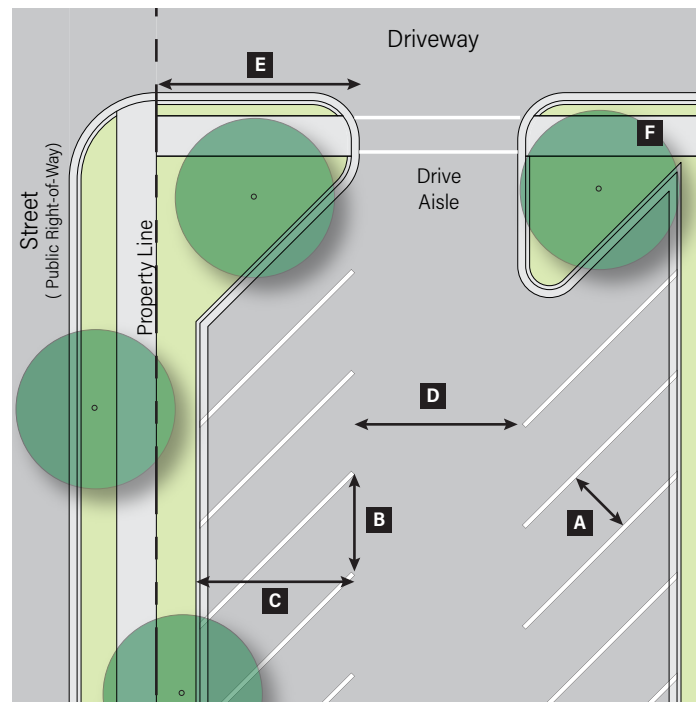
A reduction of required parking spaces of up to 15% is allowed for commercial uses when adjacent properties provide cross access and enter into a written shared parking agreement.

D. Parking Study

A parking study may be submitted for mixed-use developments to determine the appropriate parking requirements. A parking study will be reviewed by the Director of Planning and deemed acceptable according to the following considerations:

- A proposed development parking study shall include estimates of parking demand based on methods from the Institute of Traffic Engineers, Urban Land Institute, or other acceptable approaches as approved by the Director of Planning.
- A formal agreement that outlines the parking arrangement for properties and/or businesses affected.

Figure 4.1.1 Parking Diagram



Division 4.2 Landscape Standards

The landscape requirements for the Imagine Belton Standards plan area are important to realizing the desired character, as well as providing beautification and place making impacts. The standards are set for the public and private realm in both commercial and residential settings.

4.2.1 Plant Standards

The following subsections identify different plant groups and the standards for plantings for each plant type. These standards only apply to plants required to meet the required landscape standards. These landscape standards are to be required as part of new development.

A. Trees

Trees provide vertical relief for the built environment. These plants are important for their aesthetic contributions and provision of shade, which improves pedestrian comfort. The following are the minimum planting standards acceptable for each tree type:

1. Street trees and shade trees shall have a 2" minimum diameter breast height and 60 gallon container size at time of planting. Street and shade trees shall be at least 10' in height and a 5' canopy spread.
2. Ornamental trees should be a minimum of 8' in height and 30 gallon container size.

B. Formal Plantings

Formal plantings include shrubs, ornamental grasses, succulents, and perennials. These plants are intended to provide the ground level vegetation necessary to soften the built environment. Formal plants that are used for screening shall be evergreen, providing year round foliage. The following is the minimum type of planting standards acceptable for each plant type:

1. Shrubs and perennials shall have a minimum 3 gallon container size and be 1.5' in height at time of planting.
2. Ornamental grasses and succulents shall have a minimum 3 gallon container size and be 1' in height at time of planting.

C. Turfgrass

Turfgrass is a perennial ground cover for recreational and formal lawns as well as the primary composition of yards and right-of-way plantings. The following standard is required for turfgrass establishment:

1. Turfgrass planted adjacent to public sidewalks shall be a minimum 2' strip of sodded turfgrass.

D. Planting Environment

Plants are intended to contribute to the desired character of the plan area which corresponds to the following planting environments:

1. The streetscape planting environment refers to the area designated as the planting strip within the right-of-way as referenced in **Section 2.2.1 Street Networks** for the respective street class. The plants in these areas need to balance their aesthetic contributions with durability to maintain a functional and inviting built environment.
2. The parking lot planting environment utilizes plants to break up the scale and visual monotony of parking lots. Trees provide the added benefit of mitigating the impacts of the heat island effect.
3. The compatibility planting environment is intended to reinforce the purposes identified in Division 3.3 Compatibility Standards, by helping the transition between different uses.
4. The residential planting environment is intended to act as a complementary aesthetic appeal to the character of the single-family architecture. Plants should provide seasonal or aesthetic interest and be used to frame elements of the structure.
5. Plazas, greens, sidepaths/urban trails, and Pedestrian Greenway planting environments should encourage plants that are durable and complementary to high traffic and activity levels. Trees and formal plantings should contribute to defining a sense of place.
6. Park trail corridors and other open space planting environments should focus on plants that are native or adapted, contribute to improved wildlife habitat, and provide seasonal interest. These plants and the planting design of these areas should be done with a mindset of reducing maintenance and increasing drought tolerance.
7. Water conservation in the landscaping is encouraged and nothing in the Imagine Standards should be viewed as prohibiting xeriscape approaches or use of native and drought tolerant plantings where appropriate.

E. Plant List

Appendix A is a list of plant types that are acceptable for use in for meeting the landscape standards of the Imagine Belton Standards.

The use of plants not included in Table 4.2.1 can be submitted for review to the Director of Planning who will determine their suitability based on the following criteria:

1. Plants are native or adapted to Central Texas.
2. Plants are considered non-desirable if they are either prohibited, invasive, or a disease susceptible plant species.
3. Provision of a complete list of plants should be submitted for as part of this review. The list should include respective genus and species names of the plant.

4.2.2 Streetscape Standards

Streetscape requirements are to be addressed as part of the development for landscaping that occurs within the public right-of-way. The streetscape shall meet the following subsection requirements.

A. Street Trees

Street trees shall meet the following requirements:

1. Street tree selection shall alternate by block. For larger developments with at least two complete blocks no less than 4 different tree species are to be used.
2. Street tree quantity and plant spacing shall be 1 shade tree at 40' on center. Spacing may be adjusted to account for infrastructure or other immovable infrastructure. Local street tree spacing can be extended up to 80' if accommodating on street parking.
3. Adjustments to tree spacing requirements are allowed to better accommodate utilities and other essential infrastructure.
4. In circumstances that inhibit practical growth of a street tree species, an ornamental tree may be used at a spacing of 20' on center. (For example, would be where overhead utilities are present and shade tree growth would be a disruptive force.)

B. Planting Strip

1. The planting strip shall meet the corresponding dimensional width and planting type of the corresponding street class as identified in **Section 2.2.1 Street Networks**. The length of a planting bed shall, at a minimum, match the planting strip width (i.e. a width of 8' shall have a bed length of at least 8'). The type of planting is determined by zone and identified in Table 4.2.1 Streetscape Planting. The following are the requirements for planting:
 - a. Formal plantings, where recommended, shall have 12 plants per 40' of front-yard or side-yard street frontage. This requirement applies to both residential (including live-work) and non-residential property.
 - b. In non-residential settings with on-street parking present, formal planting requirements may be addressed through the use of planters. Additionally, planting beds are not necessary where tree grates are used. Tree grates are required to be a minimum dimension of 5' wide by 5' in length.
 - c. Turfgrass, where required, shall be a drought tolerant plant species. In the Fields Zone turfgrass is permitted as an allowed alternative to formal plantings adjacent to residential uses.
 - d. All public sidewalks and shared use paths should be maintained to be free of debris and clutter.

Table 4.2.1 Streetscape Planting

	Formal Plantings	Turfgrass
Neighborhood Zone	○	●
Transition Zone	○	●
Main Street Zone	●	-
The Fields Zone	●	○
Central Downtown Zone	●	-

● Required
○ Allowed Alternative

C. Paving Within Planting Strip

For non-residential properties, hardscape is permissible in the planting strip up to the following percentage of the block, excluding driveways:

1. Not Applicable in Neighborhood Zone
2. Transition Zone 50%
3. Main Street Zone 80%
4. The Fields Zone 70%
5. Central Downtown Zone 90%

4.2.3 Parking Lot Standards

The landscape standards for parking lots apply in all zones that utilize parking lots including both multi-family and non-residential uses. Figure 4.2.2 Parking Lot Diagram is intended to help illustrate these standards.

A. Parking Lot Buffer

Parking lots and parking garages that are directly adjacent to the street right-of-way shall meet the required Type 2 compatibility standard for parking lot screening, see **Section 3.3.3 Type 2, Service Areas, Detention/Retention, and Parking**.

B. Parking Lot Planting Area

For the purpose of meeting parking lot planting requirements, the acceptable planting area shall include all areas within the 5' buffer planting bed, parking lot islands, and any area up to 10' in distance from the edge of the parking lot or drive aisles paving.

C. Parking Lot Islands

Parking lot islands are required for parking lots that are more than 30 parking spaces in a Transition Zone, The Fields Zone and Main Street Zone. Central Downtown Zone does not have requirements for parking lot islands and the corresponding plantings. Parking areas with shared parking or lot access and are connected with drive aisles shall be considered one single parking lot.

1. A minimum 5' wide planting bed should buffer parking lot driveways or collector drive aisles. A collector drive aisle is considered an internal parking lot drive that provides access to multiple parking bays.
2. A landscaped parking island shall be provided for every 10 parking spaces.

3. Parking islands must be a minimum 9' in width and 150 sq. ft. in area for a single row of parking or 300 sq. ft. in area for a double row of parking.
4. Parking islands shall be installed below the level of the parking lot surface, and breaks in curbs are recommend to allow for drainage into island.

D. Parking Lot Trees

Parking lot trees are intended to be placed within both parking lot islands and on boundary edges of the parking lot paving.

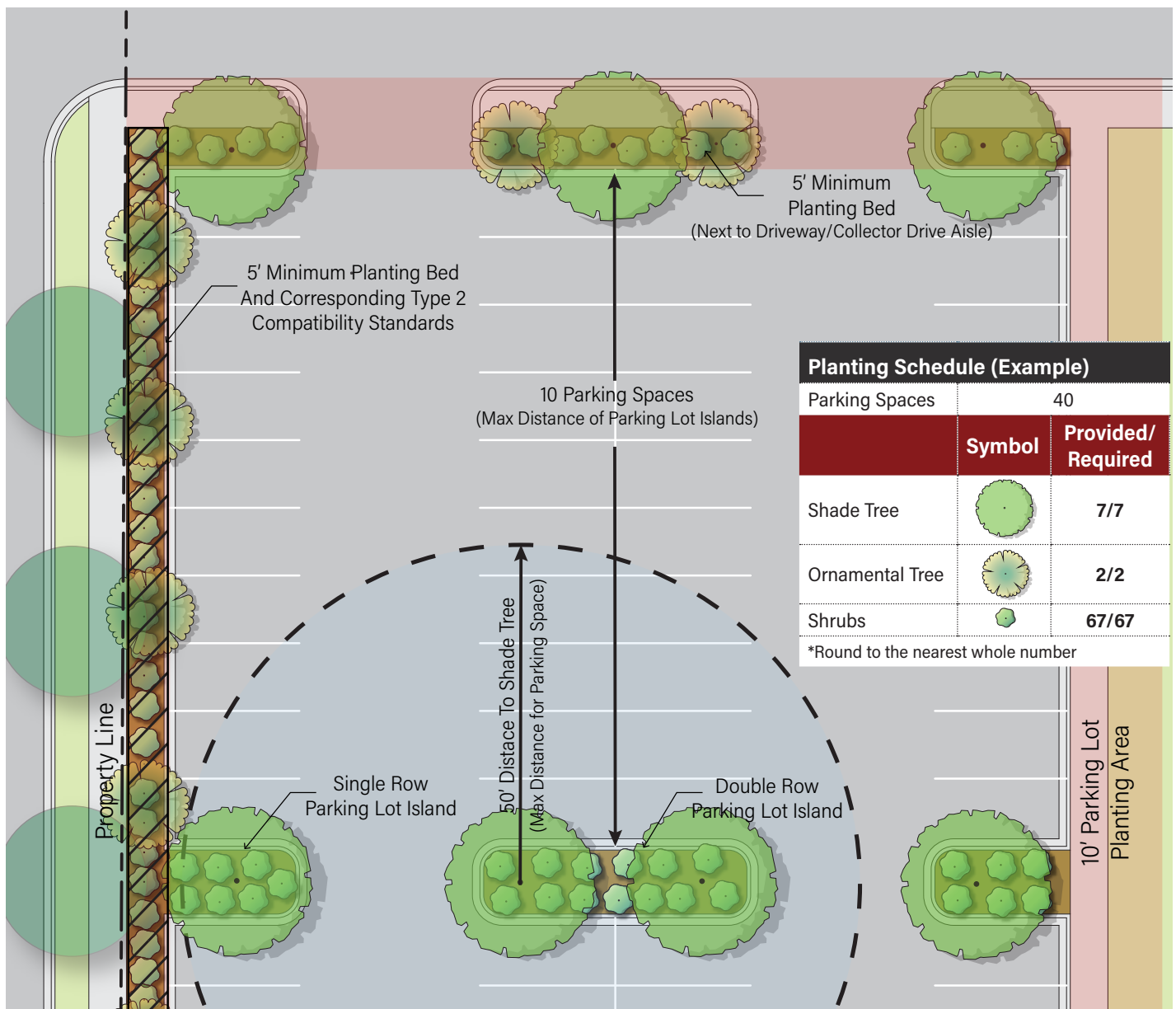
1. There shall be 1 shade tree and for every 6 parking spaces, up to 50% of shade trees can be replaced by ornamental trees at a 2 to 1 ratio.
2. All parking spaces shall be within 50 linear feet of a shade tree.
3. Either 2 shade trees or 1 shade tree and 2 ornamental trees shall be placed in double row parking lot islands.

E. Parking Lot Formal Plantings

Parking lot formal plantings are intended to soften the edges of the parking lot. They are to be placed within both parking lot islands and along the boundary edges of the parking lot.

1. There shall be 10 formal plantings per every 6 parking spaces.
2. At least 3 formal plantings for each 150 sq ft of parking lot island, shall be placed within a parking lot island (single row or double row).

Figure 4.2.1 Parking Lot Planting Diagram



F. Parking Garages

1. Parking garages shall follow right-of-way screening standards, see *Section 3.3.3 Type 2, Service Areas, Detention/Retention, and Parking*. In addition, 25% of the ground floor shall have an opaque vegetative screen of no less than 8' in height.

G. Parking Lot Screening Wall/Fence

1. Parking lot screening wall/fences are allowed up to 8' in height. The wall or fence may be solid to 3' in height; the remaining wall/fence needs to be 50% open. Post and columns are allowed up to the 8' in height with caps extending an additional 6", provided the width of the post or column does not cause the fencing surface to exceed the requirement for 50% open above 3'.

4.2.3 Residential Standards

Residential landscape standards are intended to ensure a minimum level of planting is addressed.

A. Single-Family/Duplex/Cottage/Townhouse Residential

1. Neighborhood Zone lots shall have 1 shade tree and 1 ornamental tree and 12 formal plantings per every 40' of front yard and side yard abutting right-of-way. These plants shall be placed between the building wall and right-of-way. Shade trees shall be planted no closer than 15' from the building wall of the residence. If not possible because of obstruction (such as the building), ornamental should be used. For corner lots, do not double count front yards that transition to side yards.
2. Transition Zone and The Fields Zones lots shall have 1 ornamental tree and 12 formal plantings for every 40' of front yard and side yard abutting right-of-ways. For corner lots, do not double count front yards that transition to side yards.

B. Multi-family

1. In Transition Zone and The Fields Zone there shall be 1 shade tree or 1 ornamental and 12 formal plantings per every 40' of front yards and side yards abutting right-of-way. These plants shall be placed between the building wall and right-of-way. Shade trees shall be planted no closer than 15' from the building wall of the residence. If not possible because of obstruction (such as the building), ornamental should be used. For corner lots, do not double count front yards that transition to side yards. A 50% reduction in tree requirements is allowed for sites in The Fields Zone where buildings fronting the primary street are built to the property line for a length of at least 30'.

4.2.4 Non-residential Standards

Non-residential landscape standards are intended to promote the desired landscape character for each zone.

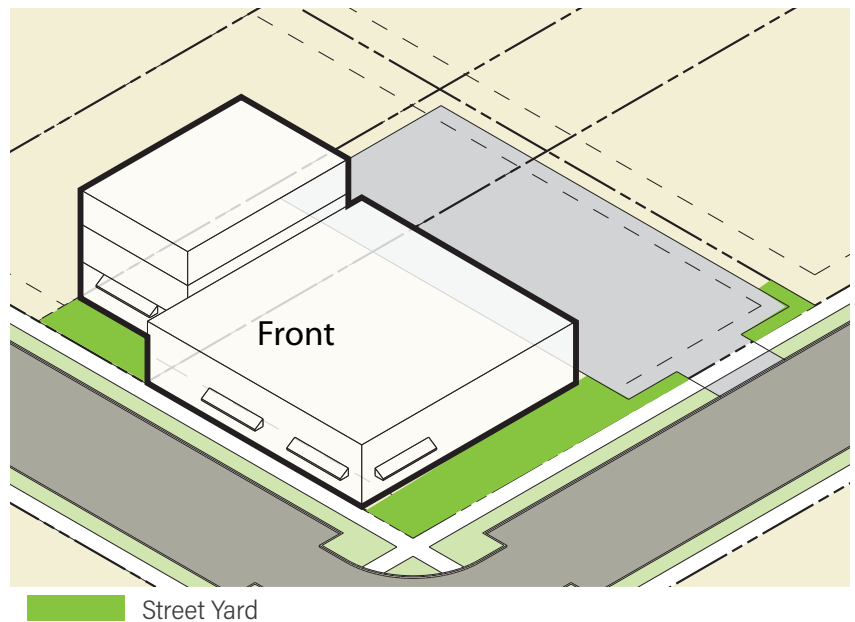
A. Transition Zone, Main Street Zone, The Fields Zone

1. Street yards shall be calculated as the area from the front building wall extended on a plain to side or rear property line. This area would exclude parking lots and sidewalk areas from the calculation street yard area. If part of a multi-use development, the street yard is only calculated for the portion of the building that where ground floor non-residential uses are present.
2. Street yards planting shall be planted at 12 formal planting and 1 shade tree or 2 ornamental trees per 150 sq. ft.
3. If parklets, plazas, or greens are incorporated as part of the development, the landscape standards shall be met for those elements.

B. Central Downtown Zone

There is no minimum requirement for landscape planting in the Central Downtown Zone. Planters, window boxes, or hanging pots are allowed provided they do not block the adjoining public sidewalk. If parklets, plazas, or greens are incorporated as part of the development, the landscape standards shall be met for those elements.

Figure 4.2.2 Street Yard Diagram



4.2.8 Parks and Open Space Standards

Parks and Open Space standards are intended to provide direction to both privately and publicly accessible spaces, *See Division 2.4 Open Space and Trails*. Standards are to be considered minimums.

A. Parklets and Greenways

Parklet spaces shall meet the following minimum standards for planting:

1. Parklets and Greenways shall provide 8 shade trees per acre.
2. Structures over 400 sq. ft. in size shall provide 1 tree (shade or ornamental) and 6 formal plantings.
3. Where signs are present there shall be 3 formal plantings for every 6' of sign length. Directional or pole signs less than 4' in width do not need to provide plantings.
4. Parklets shall be planted formal plantings, turfgrass, or wildflowers and native grasses.
5. Greenways shall be planted with formal plantings or turfgrass.

B. Plazas

Plaza spaces shall meet the following minimum standards for planting:

1. Plazas and squares shall provide 1 shade tree or 2 ornamental trees and 6 formal plantings for every 1,000 sq. ft.
2. In plazas, formal planting requirements may be addressed through the use of planters.

C. Greens

Greens shall meet the following minimum standards:

1. Greens shall be comprised of no less than 75% manicured and irrigated turfgrass.
2. Water conservation practices for greens are acceptable and encouraged for the months of June, July, August, and September.

D. Detention Areas

Detention landscape standards are applicable in all zones.

1. All detention areas shall have a Type 2 compatibility standard if adjacent to street.
2. 25% of the perimeter of detention areas should have a 5' minimum width planting bed with 6 formal plantings per 100 sq. ft. of planting bed.
3. 1 tree per 40 linear feet of detention area perimeter. These can be planted within 10' of the detention area.
4. Turfgrass or wildflowers and native grasses shall be planted as an acceptable ground cover, excluding areas that are designated planting beds.

E. Park trails and Open Space

Park trail corridors and open space areas that has been disturbed shall be replanted with the following standard:

1. Open space areas shall be replanted with 4 shade trees and a minimum of 10,000 sq. ft. of wildflower or native grass plantings per acre of disrupted area.
2. Park Trail access points shall have a planting bed of 100 sq. ft. with 1 shade tree or two ornamental trees along with 6 shrubs
3. A Park Trail corridor should have a 1 shade tree per 150' linear feet of trail to be placed within 10 feet of the edge of the trail facility.
4. Landscape requirements for sidepaths are met through the streetscape landscaping requirements.

4.2.9 Tree Preservation

The section provides direction on preserving existing trees within the development and how that preservation will count to meeting landscape requirements.

A. Tree Credits

The preservation trees shall count towards meeting streetscape, parking lot, residential, non-residential, or parks and open space standards tree requirements at the following rate:

1. Trees are only eligible for tree credits if the tree trunk is located within or partially within the respective landscape area for the streetscape, parking lot, residential, non-residential, or parks and open space standards. For park trails, trees eligible for tree credits must be within 15' of the centerline of the trail facility.
2. Tree over 8" shall count towards 1 required trees.
3. Trees over 16" shall count towards 2 required trees.
4. The following trees are excluded from contributing towards preservation tree credits Hackberry, Chinaberry, Ashe Juniper (cedar), Mountain Cedar, Blueberry Juniper, Post Cedar, Chinese Tallow, and Mesquite.

Division 4.3 Signage

This section establishes the signage standards for properties and development within the plan area. This section replaces the provisions of Section 38 of City's Zoning Ordinance According to Sign Type for the Imagine Belton plan area. Each new sign or modification of an existing sign on property within the plan areas shall be designed and constructed in accordance with these standards.

4.3.1 Sign Administration.

All signs must conform with the following standards before approval of sign or building permit.

A. General

1. A building or property is allowed to have multiple sign types.
2. Signs shall not visually or physically block building or driveway entrances or other points of ingress/egress from building or property. Architectural elements should not be obscured by signage.
3. A sign may not be erected in violation of the City's building code.
4. The following signage is allowed and not to be considered signs governed by the section:
 - a. Address and post box numerals;
 - b. Governmental signs that city, county, state or federal governments erect in furtherance of their governmental responsibilities;
 - c. Signs inside a building, not attached to window or door, and not legible from a distance of more than 5' beyond the lot line of the property on which such sign is located.
 - d. Works of art that do not include a commercial message;
 - e. Memorial signs or tablets including headstones in cemeteries; and
 - f. Signs or messaging related to the functional element of drive through services.

B. Maintenance

1. Each sign, the supporting hardware, and sign bases shall be maintained in good condition and operate or function properly.
2. Damage to a sign shall be fixed in a timely manner, including the failure to illuminate, within 21 days from damage.
3. Repairs shall be conducted with materials and design equivalent to or exceeding the original construction.
4. Install blank sign faces or signs with faces removed due to vacancy of building.
5. When a sign is removed supporting hardware, sign bases, and other related supports shall be removed.

C. Allowed Signage Types

Signs are permitted at a zone level in accordance with Table 4.3.1 Allowed Signage Types. Neon lighting is allowed as part of the signage in Main Street, The Fields, and Central Downtown Zones.

Table 4.3.1 Allowed Signage Types

Sign Type	Neighborhood Zone	Transition Zone	Main Street Zone	The Fields Zone	Central Downtown Zone	Greenways & Open Space
Gateway/Pole	-	○	-	○	○	-
Monument	●	●	●	●	●	●
Wall Sign	-	●	●	●	●	-
Marquee Sign	-	-	-	●	●	-
Window	-	●	●	●	●	-
Mural	●	●	●	●	●	-
Directory Sign	●	●	●	●	●	●
Shingle/Hanging	●	●	●	●	●	-
Projecting/Blade Sign	-	●	●	●	●	-
Yard Sign	-	-	●	●	-	●
Sandwich Board Sign	-	●	●	●	●	-
Flag Pole	●	●	●	●	●	●

● Allowed ○ Limited Allowance For Properties Adjacent to I-35 Frontage

4.3.2 Sign Standards

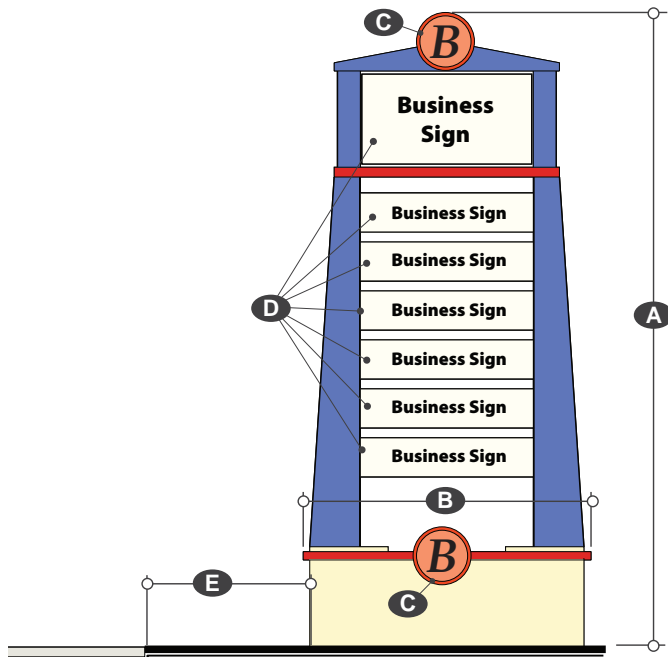


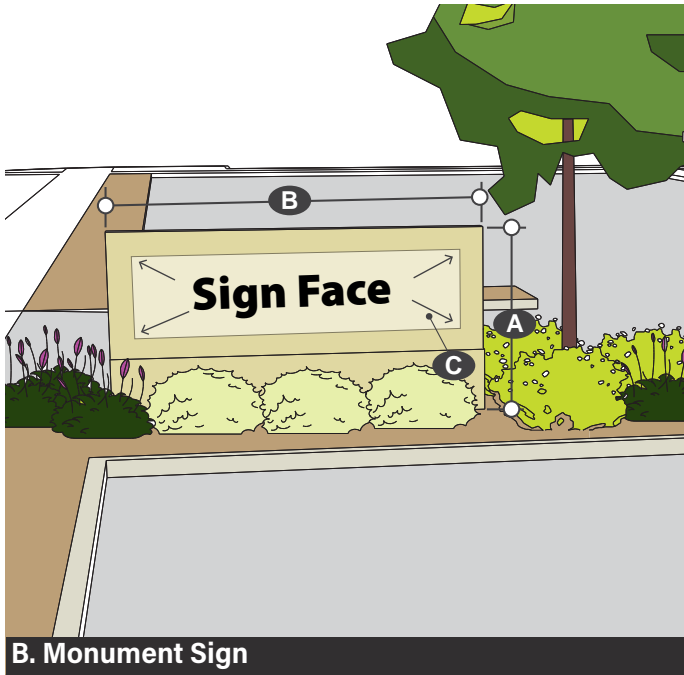
Table 4.3.2 Gateway/Pole Sign

	Transition I-35 Frontage Max.	The Fields & Central Downtown I-35 Frontage
A Sign height	40'	100'
B Sign width	14'	-
C Brand Icon	9 sq. ft.	9 sq. ft.
D Total sign face area	300 sq. ft.	-
	Min.	Min.
E Setback from adjacent sidewalk	10'	10'
Multi-tenant		
E Different business signs allowed	7	7

A. Gateway/Pole Sign

Gateway signs are signs and complementary structures that are intended to contribute to the character and sense of place of the plan area. The following are standards for gateway signage.

1. Gateway/pole signs shall be constructed of durable materials that are able to withstand environmental impacts of weathering and fading. Materials shall be compatible to those found within the rest of the development and may include masonry, wood, wrought iron, and metal.
2. The design of signage including graphics, colors, and materials shall be a complement to the built environment context the sign is located, including the adjacent public realm, adjoining streets, and open space environments.
3. Gateway signs are allowed 1 cumulative sign face and 2 brand icons (logo, etc.) per distinct side of gateway sign (each brand icon is not to exceed 9 sq ft.).
4. Gateway/pole signs provide both a branding opportunity and tenant identification for commercial developments. These signs are auto-oriented in size and scale, with their visibility from major corridors being important. 1 gateway/pole Sign is allowed per 400' of street frontage along a I-35 frontage, for properties with less than 200' of frontage gateway/pole signs are not allowed. The sign element of the gateway is limited to the advertisement of 7 different businesses located within the development. This limitation is intended to minimize visual clutter that negatively impacts the gateway element.



B. Monument Sign

Monument signs are used for the identification of businesses or residential subdivisions.

1. Materials shall be compatible to those found within the rest of the development and may include masonry, wood, wrought iron, and metal.
2. In all zones one monument sign is allowed per every 200' of street right-of-way frontage. No more than two different business signs are allowed per monument. These signs combined shall not exceed the sign face area allowed.
3. Monument signs should be placed a minimum of 100' apart.
4. For lots with less than 200' of street right-of-way frontage a monument sign is not allowed.
5. For lots with directly fronting I-35 frontage monument signs are allowed to be larger in size as identified in Table 4.3.3
6. Monument signs are allowed two sign faces, one per each side of monument sign.
7. Monument signs shall be constructed of durable materials that are able to withstand environmental impacts of weathering and fading.

Table 4.3.3 Monument Sign

	All Zones Maximum	All Zones I-35 Frontage
A Sign height	4'	6'
B Sign width	10'	12'
C Sign face area	26 sq. ft.	40 sq. ft.
Multi-tenant		
Different Developments/ Business Signs allowed per monument sign	1	2



C. Wall Sign

Wall signs are flat against the building facade consisting of individual letters applied directly to the exterior surface of the structure or painted directly on the surface of the building.

1. One wall sign is allowed per business. Business on corner lots are allowed and one additional wall sign on secondary street building wall.
2. Wall signs are limited to ground floor placement and ground floor building tenants.
3. Background panel shall not exceed the maximum sign height or maximum sign width.
4. One additional brand icon or business logo 3' high by 3' wide is allowed per business street frontage or building wall.
5. Wall sign shall not cover windows
6. If a second business is present within the building an additional wall sign may be allowed, not to exceed 8' feet in width. Business on corner lots are allowed and one additional second story wall sign on secondary street building wall not to exceed 8' in length.

Table 4.3.4 Wall Sign

	All Zones Minimum	All Zones Maximum
A Sign height	-	4'
B Sign face height	-	3'
C Sign width as % of building face	-	80%
D Clearance from opening or building edge	1.5"	-
E Second story wall sign width, if applicable		8'



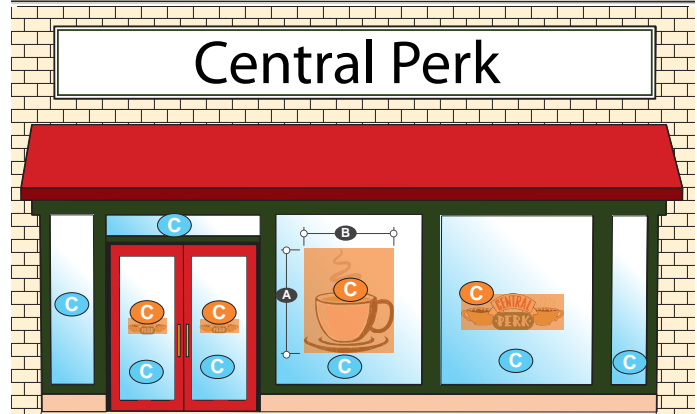
D. Marquee Sign

Marquee signs provide information related to a showing or performance at an individual venue. In some instances, these signs project out from the building face into and above the public right-of-way. The following are standards for marquee signs:

1. Marquee signs are allowed for venues or theaters that provide entertainment either in the form of live performances or film showings.
2. One marquee sign is allowed per venue or theater.
3. Programmable electric sign, such as LED, are allowed and they count to sign face area.
4. No more than two sign faces, with total sign face area not to exceed 120 sq. ft.

Table 4.3.5 Marquee Sign

	Minimum	Maximum
Sign height	-	7'
Sign width	-	22'
Sign face height	-	6'
Sign face width	-	20'
Max projection into public right-of-way		10'; shall be no closer than 4' from the edge of the street curb.
Clearance above sidewalk	10'	-



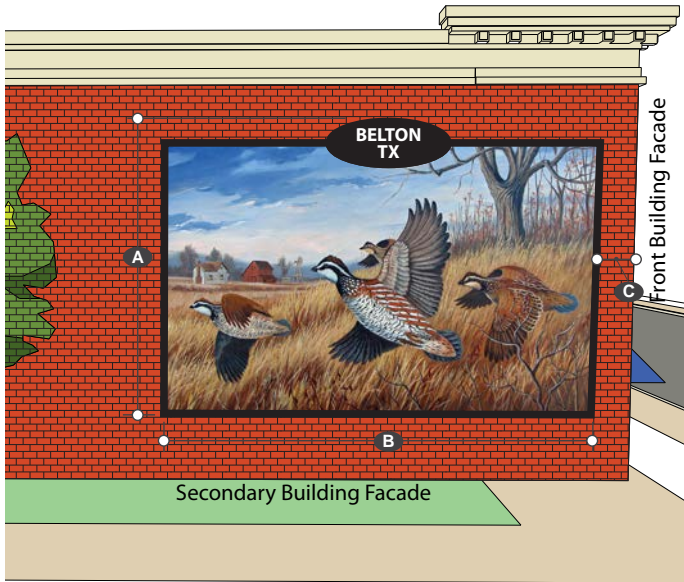
E. Window Sign

Window Signs include graphics, messaging, or business names painted, fixed, or applied directly to the building storefront window.

1. The measurement shall be done as a rectangle area based on extent of both the width and height of the window sign's graphic, messaging, or business name extent. This measurement shall include the complete graphic.

Table 4.3.6 Window Sign

	Minimum	Maximum
A Height as % of window/door height	-	75%
B Widths as % of window/door width	-	75%
C Area as % of total window/door area	-	35%



F. Mural Sign

Mural signs include graphics, messaging, or business names painted to a building wall.

1. No accessory structure shall be erected for the creation of a mural sign. Billboards are not considered a mural sign.
2. Mural signs are only allowed on secondary building facades.
3. Murals may include advertising, but messaging for advertisement is limited to 50% of the composition of the mural.
4. For historic structures/properties a certificate of appropriateness is required.
5. Additionally the mural shall meet the “policies for murals” established by the Belton Beautification Committee.

Table 4.3.7 Mural Sign

		Minimum	Maximum
A	Height as % of the building face	-	80%
B	Widths as % of building facade	-	60%
C	Clearance from building edge	1'	-

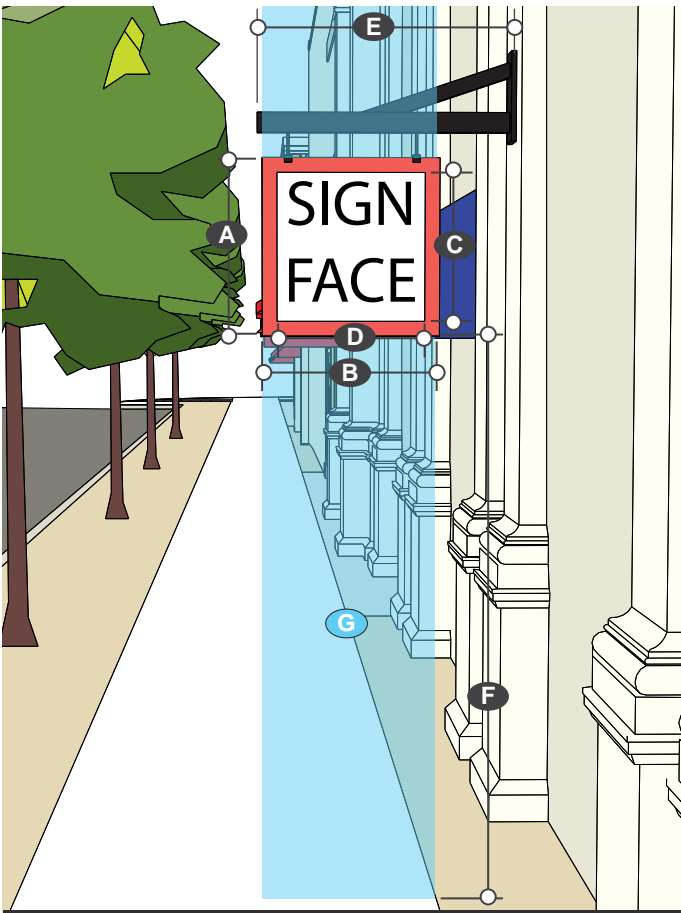


G. Directory Sign

Directory signs are a wall sign that provides pedestrian wayfinding information for multi-tenant buildings or complexes.

Directory signs shall meet the following standards:

1. Directory signs should not exceed six sq. ft. in total sign area.
2. Directory signs should be illuminated. Neon light is a prohibited illumination method.
3. Digital directory signs are permitted so long as their sole purpose is to provide wayfinding and occupancy information for buildings or complexes.
4. This sign shall be affixed directly to the building and not impede any public sidewalk or entrance to the building.
5. This sign does not count towards any other sign type.



H. Shingle/Hanging Sign

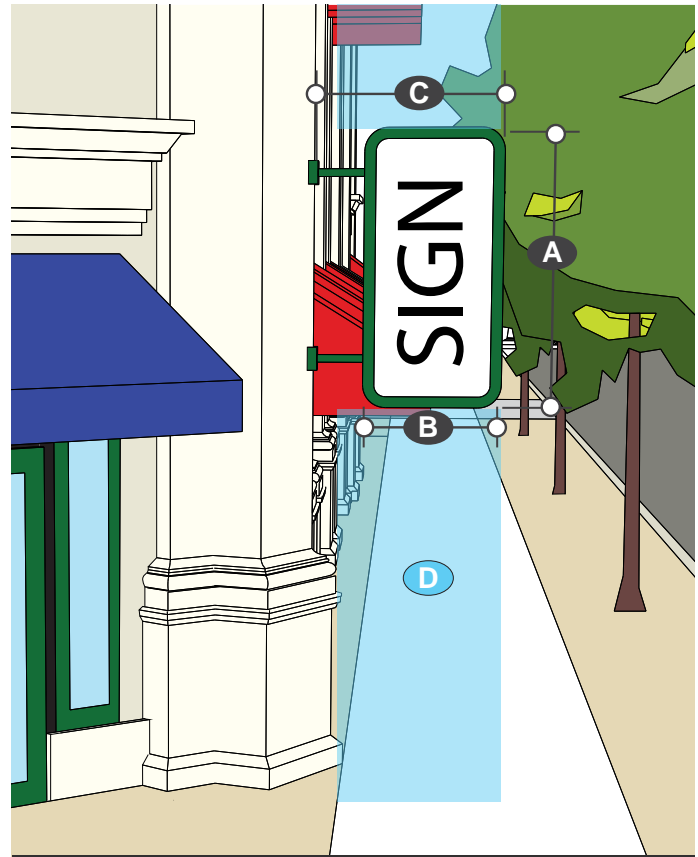
Shingle/Hanging signs are used to identify a business names at a pedestrian scale.

1. Shingle/hanging signs are only allowed for businesses operating on the ground floor.
2. Shingle/hanging signs may be attached directly to the building facade or project perpendicularly to the building wall.
3. One sign is allowed per business.
4. Shingle/hanging signs shall be placed adjacent to storefront entrance.
5. Shingle/hanging signs are to be placed no closer than 20' from adjacent shingle/hanging sign.
6. Sign may be externally or internally illuminated.

Table 4.3.8 Shingle/Hanging Sign

	Minimum	Maximum
A Sign height	-	3'
B Sign width	-	3'
C Sign face height	-	2.5'
D Sign face width	-	2.5'
Sign depth (thickness)	-	6"
E Projection from building wall facade	-	4'
F Vertical clearance*	-	7' or 8'
G Encroachment into right-of-way	-	4'

*If sign is located above a sidewalk.



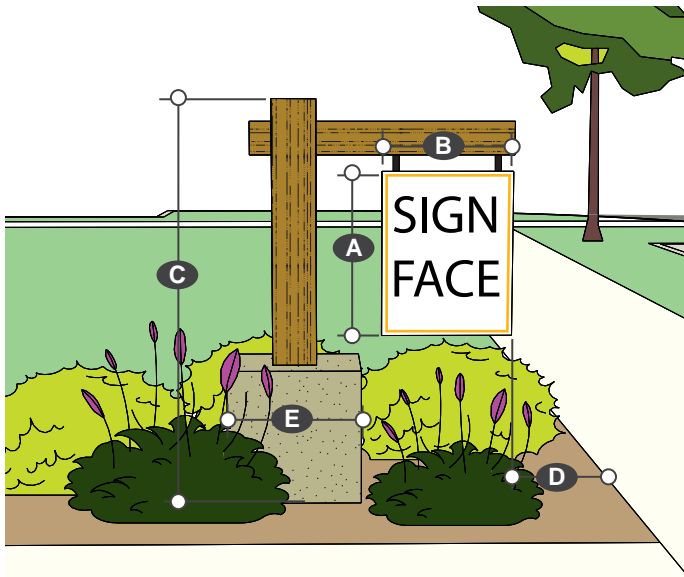
I. Projecting/Blade Sign

Projecting or blade signs are mounted to be displayed perpendicular to the building wall.

1. One sign is allowed per 40' of linear length of building wall.
2. Projecting/blade signs are to be spaced no closer than 30' to adjacent projecting/blade sign.
3. Projecting/blade sign are to be placed no closer than 20' from adjacent shingle/hanging sign.
4. Signs are allowed to be placed on either ground floor or second floor.
5. Signs in the Main Street Zone are allowed to encroach 4' into right-of- way.
6. Sign may be externally or internally illuminated.

Table 4.3.9 Projecting/Blade Sign

	Minimum	Maximum
A Sign height	-	6'
B Sign width	-	3'
Sign depth (thickness)	-	1'
C Projection from building wall facade	-	4'
D Vertical Clearance	8'	-
Right of Way Encroachment		4'



J. Yard Sign

Yard signs provide a freestanding messaging opportunity with more flexibility of placement.

1. Yard signs may be placed in the right-of-way with the approval of the Director of Planning.
2. One sign is allowed per every 1/2 acre of lot size. Additional yard signs for directional signage purposes may be allowed, provided the messaging is specific to navigation of the property.

Table 4.3.10 Yard Sign

	Minimum	Maximum
A Sign face height	-	2.5'
B Sign face width	-	2'
C Top of pole sign height	-	6'
D Setback from sidewalk	1'	-
Setback from street or drive aisle	2'	-
E Sign post or base width and length	-	2'



K. Sandwich Board

Sandwich board signs are portable displays used to advertise services, specials, and other business related messaging.

1. Signs shall be constructed with durable materials able to withstand inclement weather and shall be maintained in a properly functioning manner.
2. One Sandwich board sign is allowed per business.
3. Signs shall not contain add-ons such as fliers, posters, pamphlets, balloons, streamers, etc.
4. Signs may be placed on any public sidewalk, provided there remains a 5' wide through way.
5. Signs shall be spaced no closer than 15' to an intersection or driveway entrance. Signs shall not visually impair or obstruct vehicle or pedestrian movements.

Table 4.3.11 Sandwich Board

	Minimum	Maximum
Sign height	-	4'
Sign width	-	2'
Total sign face area	-	8' sq. ft



L. Development or Real Estate Signs

Development or real estate signs are those related to real estate and construction.

1. One sign is allowed per street bordering the property.
2. Signs are not to encroach in the right-of-way
3. For signs/vinyl prints that are mounted on a temporary fence used for security and/or screening there is no limitation for sign width, but sign height shall be no taller than 10'.

Table 4.3.11 Temporary Sign

	Minimum	Maximum
Sign height	-	10'
Sign width	-	10'*
Sign face height	-	10'
Sign face width	-	10'*

*No limit on width of sign when mounted to temporary security/ construction fence



M. Flag Pole

Flags, while not traditional signage, can be used to display civic or business related messaging.

1. No more than three flagpoles, towers or similar structures shall be allowed per parcel or lot.
2. No more than three flags may be mounted vertically and/or displayed on each flagpole, Branching poles with multiple mounting structures shall not be allowed.
3. Small flags (not to exceed 24 sq. ft.) mounted in stanchions on the face/eaves of buildings and flags which are displayed flush to the face of the building are not limited in number.
4. Flags may be of federal, state, or local governmental signs, or a flag depicting the business name, logo, and company branded related imagery.

Table 4.3.12 Flag Pole

Flag Pole/Structure	Flag Size
20 ft.	4' by 6'
25 ft.	5' by 8'

Flag Poles Large than 25' are not permitted

Division 4.4 Lighting, Mechanical, and Utilities

This section identifies the requirements for lighting, mechanical support, and utilities.

4.4.1 Lighting

This subsection outlines the requirements for lighting using a zone based approach. Regardless of zone, dark sky lighting principles are recommended.

A. Lighting Levels

Average foot candle (fc) for public right-of-ways, public or private pedestrian areas, and other miscellaneous common spaces shall meet the averages identified in **Table 4.4.1 Lighting Levels**.

1. Average light levels in pedestrian areas, such as sidewalks, may be addressed through a combination of pedestrian-level pole, bollard, or building-mounted lighting.
2. Alley lighting shall be located on garage walls or light poles facing the alley.

B. Lighting Elements

1. The following lighting elements will be permitted: color corrected LED (3000-4000 Kelvin), incandescent, metal halide, or halogen. The following lighting elements shall not be permitted: flood, cobra head, HID-mercury vapor and sodium vapor, HPS, and florescent lights.
2. Street lights will be approved by the City and may contain an exposed, color-corrected lighting source and horizontal or downward focus. Acorn, lantern, or clear LED fixtures will be used to prevent glare.
3. Neon, as a lighting source, may be permitted at the discretion of the Director of Planning provided with the provision:
 - a. Is not located on a building face that's adjacent or across the street from single-family residential.
 - b. If lighting is intended to communicate messages or branding it shall abide by the respective sign type requirements.

Table 4.4.1 Lighting Levels

Residential Zones	
	Average Lighting Level
Residential (Common Space or Alleys)	0.5 fc
Multi-dwelling Building	1 fc
Civic, Institutional, or Public Use	1 fc
Parks or Open Space*	1.5 fc
Parking Lot	1 fc
Local Streets	0.5
Collector Streets	0.6
Street Intersections (collector street or greater)	2 fc
Commercial Zones	
	Average Lighting Level
Office, Retail, Restaurant, Other	2 fc
Civic, Institutional, or Public Use	2 fc
Park or Open Space*	1.5 fc
Parking Lot	1 fc
Streets (all streets)	1 fc
Street Intersection	2 fc

*For gathering or amenity spaces, to be lit during hours open to public.

C. Screened Lighting Source

All lighting shall be focused downward and narrowly focused on its intended target such as signs, parking, and pedestrian walkways. Glare from any lighting source will not be directly visible from public view or from a residential unit.

4.4.2 Mechanical and Utilities.

This section provides the requirements for screening and buffering of service areas, site mechanicals, and site utility features.

A. Utilities

The following are standards for utility facilities related to placement and screening:

1. In all zones, overhead electrical power lines intended to serve individual properties are prohibited.
2. Where alleys are present, utilities may be placed within alleys with adjacent individual properties obtaining service access from these facilities.
3. Utility meters and electrical boxes shall be screened from public view through the use of landscaping.

B. Mechanical

The following are standards for mechanical facilities related to placement and screening:

1. HVAC infrastructure and other mechanical infrastructure shall be placed in rear or side yards, or mounted on the roof of the structure.
2. The placement and HVAC shall be done so that it is screened from public view by structure, wood/masonry fence, metal panel screen, or landscaping.

Division 4.5 Fencing

Fencing shall be designed and implemented as to further the desired character of the Imagine Belton Standards plan area.

4.5.1 Fencing Requirements

Fences shall follow placement, height, and material requirements found within the section.

A. Fence Placement and Fence Height

1. Fences shall not obstruct visibility of driveways or intersections.
2. Front-yard fences or walls shall not be more than 4' in height and shall maintain a minimum of 50% opacity. For fences or walls located in a side-street yard, the front-yard fence provisions shall apply to the area perpendicular to the side building wall 30' back from the front building wall. For the remainder side street yard, the side yard fence requirements shall apply.
3. Rear-yard and side-yard fences or walls shall not be more than 8' in height. Opaque fences more than 4' in height are not allowed from a point perpendicular to the side building wall 20' back from the front building wall. For rear-yard fences with two side-street yards shall meet one of the two requirements:
 - a. fences that are over 4' in height shall maintain a 50% opacity; or
 - b. side-street yards fences that are opaque and exceed 4' in height shall be setback 5' from property line.

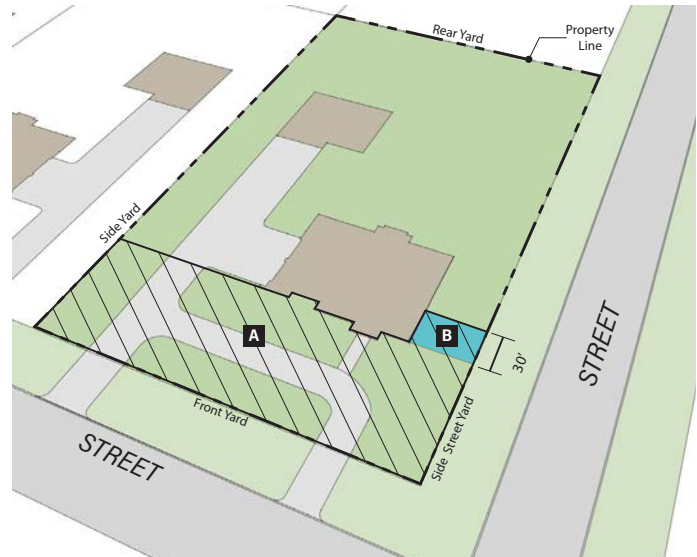
Table 4.5.1 Fences

Front-yard Fence	Minimum	Maximum
Fence height	-	4'
Fence Opacity (Openness)	50%	-
Rear-yard & Side-yard Fence	Minimum	Maximum
Fence height	-	8 ft.

B. Fencing Materials

1. Fences, walls, screens, enclosures, and gates must be constructed of one or a combinations of the following materials:
 - a. Natural stone;
 - b. Pre-cast concrete;
 - c. Stucco;
 - d. Split faced block;
 - e. Smooth faced block;
 - f. Tubular steel;
 - g. Tubular aluminum;
 - h. Decorative vinyl (pvc);
 - i. Wood planks;
 - j. Wrought iron; or
 - k. Other decorative fence upon approval of Planning Director
2. Vinyl coated chain link fences may be used for the following purposes:
 - a. Security fences for commercial purposes (i.e. outdoor storage);
 - b. Sports courts or safety fences (i.e. for pools) in residential settings; or
 - c. Parks and open space areas, or other safety fences related to an amenity space.

Figure 4.5.1 Front-yard Fence Area



A Front Yard Fence Area: Portion of property where front-yard fence provisions apply.

B Side Building Wall Setback: Distance perpendicular to the side building wall 30' back from the front building wall.

Figure 4.5.2 Rear-yard and Side-Yard Fence Area



A Side-yard and Yard Fence Area: Location where front-yard fence provisions apply.

B Side-yard Opaque Fence Setback: Distance perpendicular to the side building wall 20' back from the front building wall.

C Side Street Opaque Fence Setback: Area adjacent to property line that prohibits opaque fences more than 4' in height.

Division 4.6 Sidewalks

Sidewalks are an important contribution to the built environment and their inclusion in proposed developments is necessary to realizing the desired outcomes for the Imagine Belton Standards plan area.

A. 4.6.1 Sidewalk Requirements

In addition to this set of standards, sidewalks are required as per *Section 503, Sidewalk Standards and Policy* of the City of Belton's Subdivision Ordinance.

1. Sidewalks shall be required on all streets within the Imagine Belton Standards plan area and built according to street class designation and programming found in *Division 2.2 Streets*.
2. Sidewalks shall be installed by the subdivision developer, prior to acceptance of the subdivision. This requirement may be deferred to the builder provided this requirement is noted on the plat. If installed by the builder, installation is required prior to issuance of a Certificate of Occupancy for that property. Sidewalks shall be constructed along the full length of the property adjoining street right-of-way.
3. If no plat is required, sidewalks shall be required, and shall be installed in conjunction with a building permit for all new and infill buildings for the property's frontage length adjoining the public streets.
4. Sidewalks shall be constructed in accordance with the Public works Design Manual. The City must approve all sidewalk plans and construction details prior to construction of the sidewalk.
5. If the City determines that required sidewalks should not be constructed until a later date, the funds estimated by the City for the construction of said sidewalks shall be placed in the City's sidewalk escrow account approved by the City. If the funds for sidewalk construction are not expended by the City within seven (7) years of the date received, the funds and interest will be returned. The payment in lieu of building the sidewalk or trail shall be in accordance with the City's Fee Schedule, if applicable, or a construction estimate, approved by the City, whichever is greater.
6. The following site work does not require sidewalk construction:
 - a. Renovations or additions to the site buildings, provided the cost construction does not exceed 50% of the existing site improvement values. Renovation or additions that are greater than 50% of the site improvements shall require sidewalk construction. The Bell County Appraisal District tax appraisal for site improvement values will be used to determine existing value of site improvements.
 - b. Clearing or grading of a site.

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CHAPTER 5

Guidelines and Interpretations

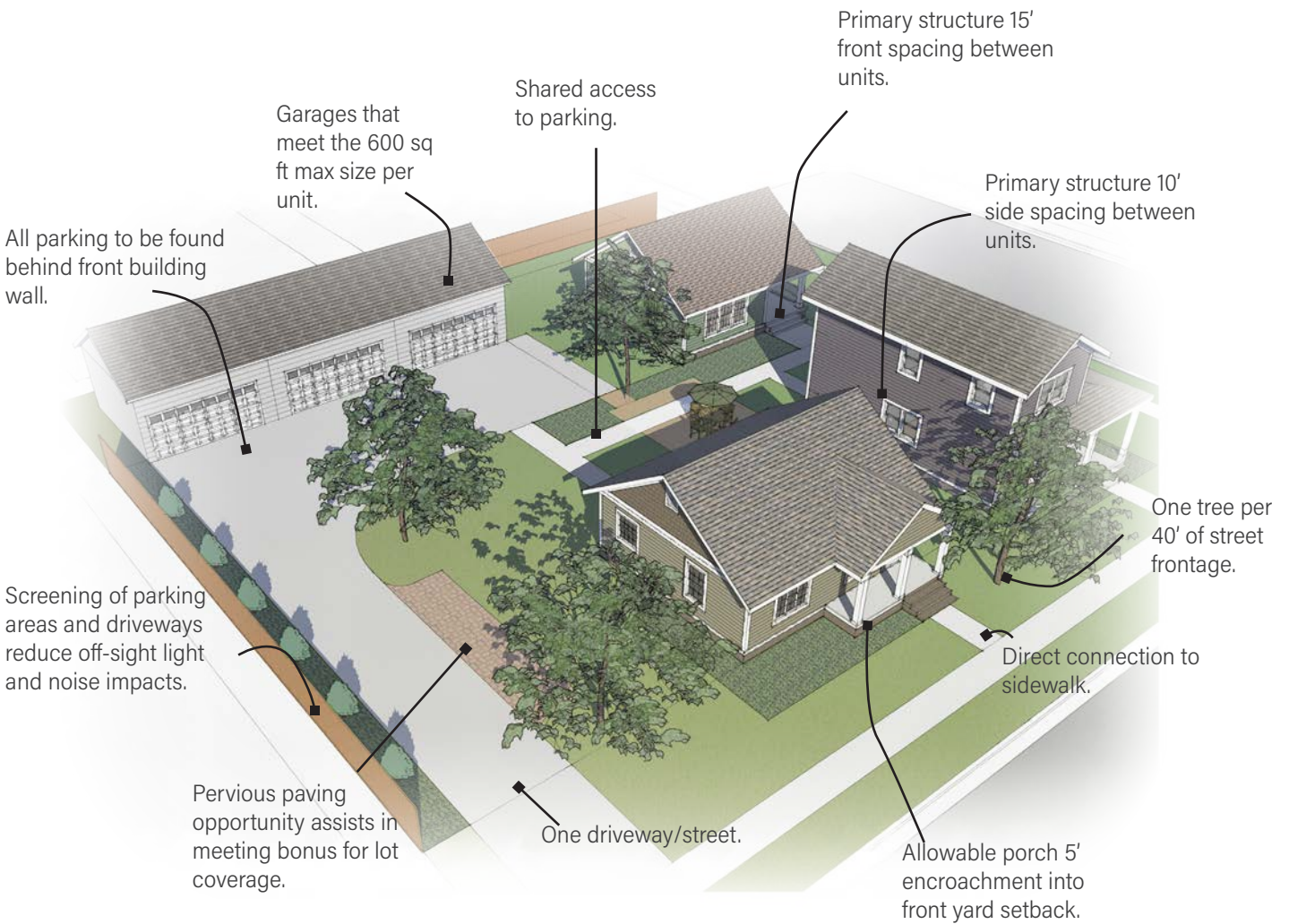
Division 5.1 Guidelines

5.1.1 Purpose

The following guidelines are intended to provide additional direction when developing the corresponding housing types. These housing types are not a typical architectural and use type found in central Texas, however the ability to provide additional housing choice is essential to the desired future of Belton and its surrounding neighborhoods. These guidelines follow the development and massing standards found within this code. These guidelines are not intended to be regulatory, but illustrative examples of the implementation of the Imagine Belton Standards.

A. Cottage Lot

The illustration below provides a depiction of a cottage lot development.



For definition of a cottage lot housing type see section **3.1.2 Residential Uses**

For lot dimension, setbacks, massing, and access standards see section **3.2.2 Neighborhood Zone, subsection F & G**

B. Multiplex

The below illustration provides a depiction of a multiplex development.

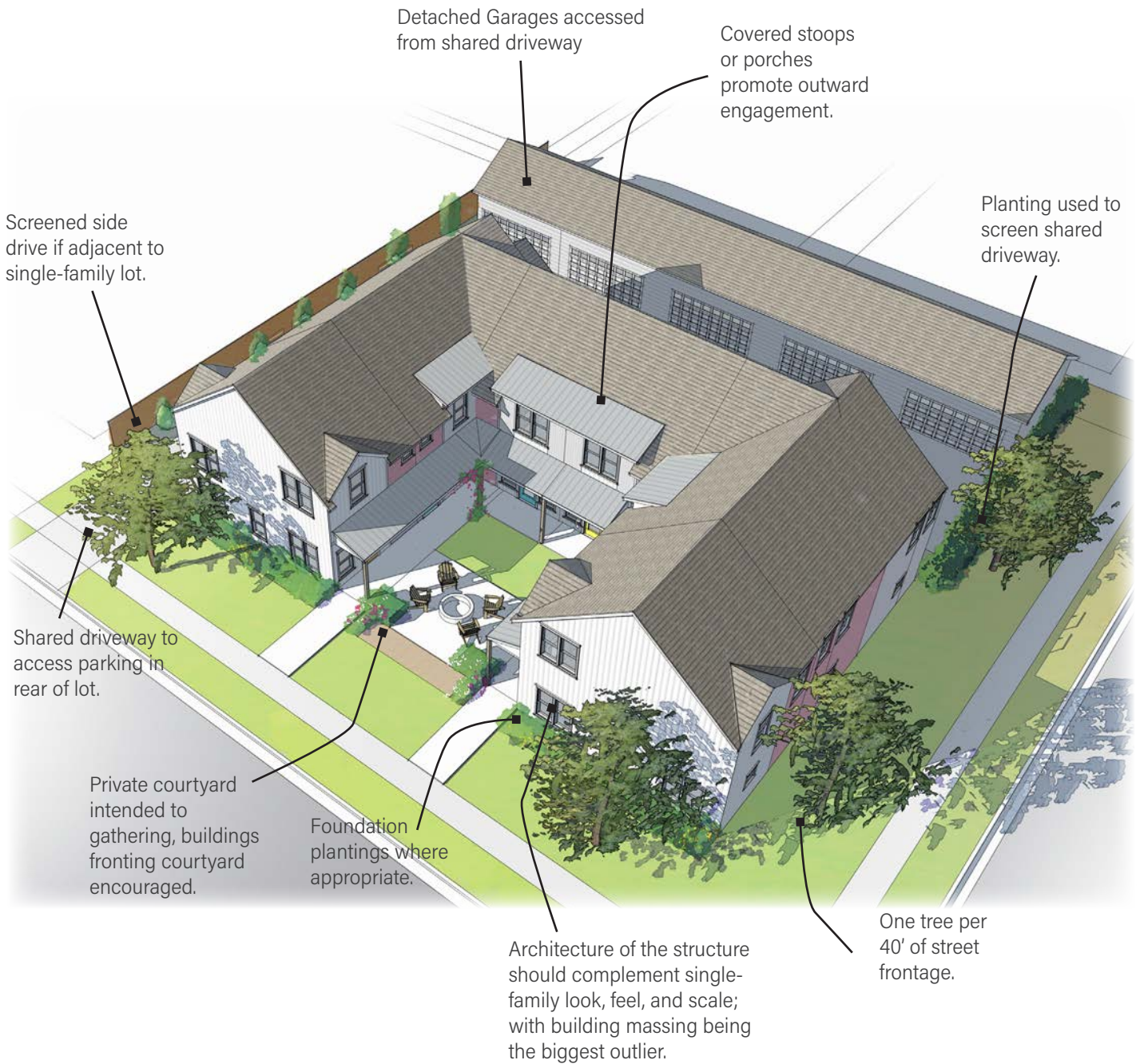


For definition of a multiplex housing type see section **3.1.2 Residential Uses**

For lot dimension, setbacks, massing, and access standards see section **3.2.3 Transition Zone, subsection F & G**

C. Courtyard House

The illustration below provides a depiction of a courtyard house development with a shared driveway.

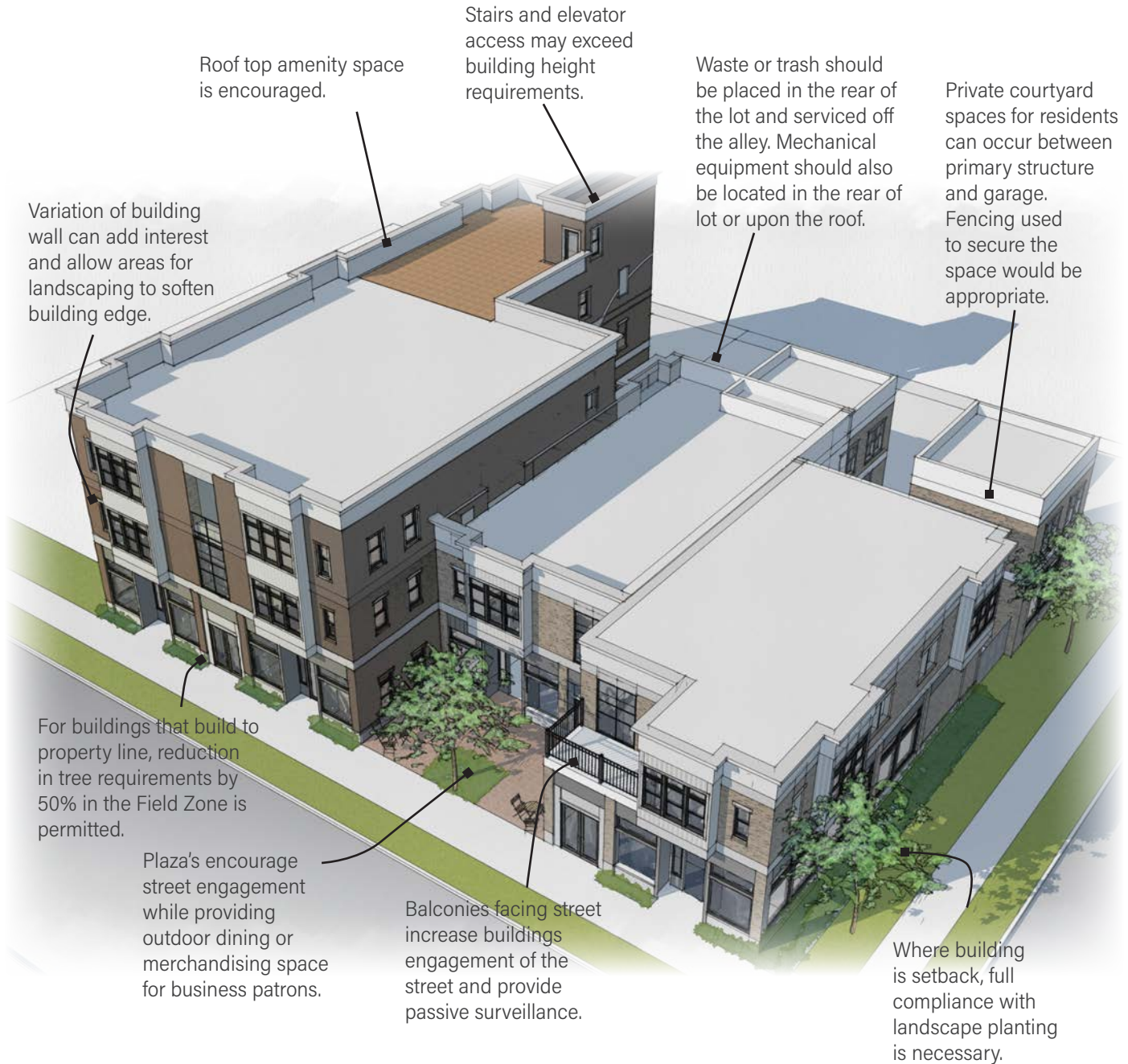


For definition of a courtyard house housing type see section **3.1.2 Residential Uses**

For lot dimension, setbacks, massing, and access standards see section **3.2.3 Transition Zone, subsection D&E**

D. Live-work and Mixed Use Development

The illustration below provides a depiction of a live work development and a mixed use building supported by an alley.



For definition of a live work housing type see section **3.1.2 Residential Uses**

For lot dimension, setbacks, massing, and access standards see section **3.2.3 Transition Zone, sub-section H & I** or **3.2.4 Main Street Zone, subsection D&E**

E. Neighborhood Apartment

The illustration below provides a depiction of a neighborhood apartment development.



For definition of a courtyard house housing type see section **3.1.2 Residential Uses**

For lot dimension, setbacks, massing, and access standards see section **3.2.3 Transition Zone, subsection B & C**

Division 5.2 Interpretations

5.2.1 Encroachments

Encroachments to building setbacks or height limitations may be appropriate in certain circumstances, the section contains those additional development standards.

A. Intent

1. Provide further direction on the encroachment of site and structure elements into the setback and rights-of-way.
2. If specific encroachments are identified in **Division 3.2 Development Standards** those standards take precedent.

B. Applicability

1. Applies to elements that protrude past the primary structure building walls.
2. Applies to all zones and uses unless specifically called out.
3. Table 5.2.1 provide specific standards for encroachment.
4. An administration exception may be petitioned to the Planning Direction for an additional 25% encroachment, provided the request maintains the intent and spirit of the Imagine Belton Standards.

Table 5.2.1 Encroachments

Encroachment Type		Front /Street Yard*	Rear Yard	Side Yard	Right-of-way*	Building Height (Exceed)
Architectural Details Integral building elements that contribute to the architectural character associate with the structures outward building wall. Examples include: shutters, cornices, sill, brick coursing, columns, chimneys (residential only), window shades	Encroachment max	1'	1'	1'	0.5'	1'
	Distance form lot line min	4'	4'	4'	N/A	N/A
Roof Projections The continuation of the roof beyond the building wall. Examples include eaves, overhangs gutters	Encroachment max	2'	2'	2'	0'	1'
	Distance form lot line min	Varies based on Zone Setback	3'	3'	N/A	N/A
Unenclosed Structures Permanent structures without a solid wall that are complementary to the existing home or accessory structure. Examples include: Awnings, arcades canopies, porches, decks, stoops, trellises arbors, pergolas, balconies. exterior stairs to upper stories	Encroachment max	5**	0'	0'	Same as zone	10***
	Distance form lot line min	5'	Full setback	Full setback	N/A	N/A
Mechanical/Electrical Equipment Equipment that proves on-site function for support of the building mechanical system, plumbing, or telecommunications. Examples include: HVAC, generators (include solar panels and wind turbines) , electrical meters, gas meters, exterior water heaters, satellite dishes	Encroachment max	0'	0'	0'	0'	6****
	Distance form lot line min	Full setback	Full setback	Full setback	N/A	N/A
Detached Residential Garages Garages that do not include habitable spaces as part of the structure located in the Neighborhood Zone and Transition zone may encroach into side and rear setbacks behind the rear building wall of the primary structure. Alley facing garages need to adhere to the rear yard setback.	Encroachment max	0'	2'	2'	0'	0'
	Distance form lot line min	Full setback	3'	3'	N/A	N/A
Waste Receptacle Individual property or collective storage containers/bins for recycling, trash, or yard waste/composting and any complementary structures or screening. This is not applicable to residential waste receptacles that are rollable/movable and less approximately 96 gallons in size, however placement of this facility in front yard is not permissible except on designated waste collection days.	Encroachment max	0'	0'	0'	0'	0'
	Distance form lot line min	Full setback	Full setback	Full setback	N/A	N/A
Signs Signs should follow standards found in Section 4.3.2 Sign Standards						
Stairs Stairs that provide access to the first floor of structure, including decks an porches.	Encroachment max	Full setback	0'	0'	0'	0'
	Distance form lot line min	0'	Full setback	Full setback	N/A	N/A

*For zones with a 0' setback this encroachment is applicable and distance from lot line are superseded by the allowance to build to the property line. No encroachment into the Right-of-way is allowed, unless specified.

**Covered porches roof structure is allowed an additional 1' encroachment in to front /street yard setback provided it adheres to the 5' distance minimum from the lot line.

***This shall include enclosed elevator or stair access to the roof.

****For mechanical/electrical equipment must be setback from the building edge at a 2 feet of length for each foot of height for the equipment.

5.2.2 Building Height

The measurement of structures vertical dimension in both terms of unit of measure and number of stories.

A. Intent

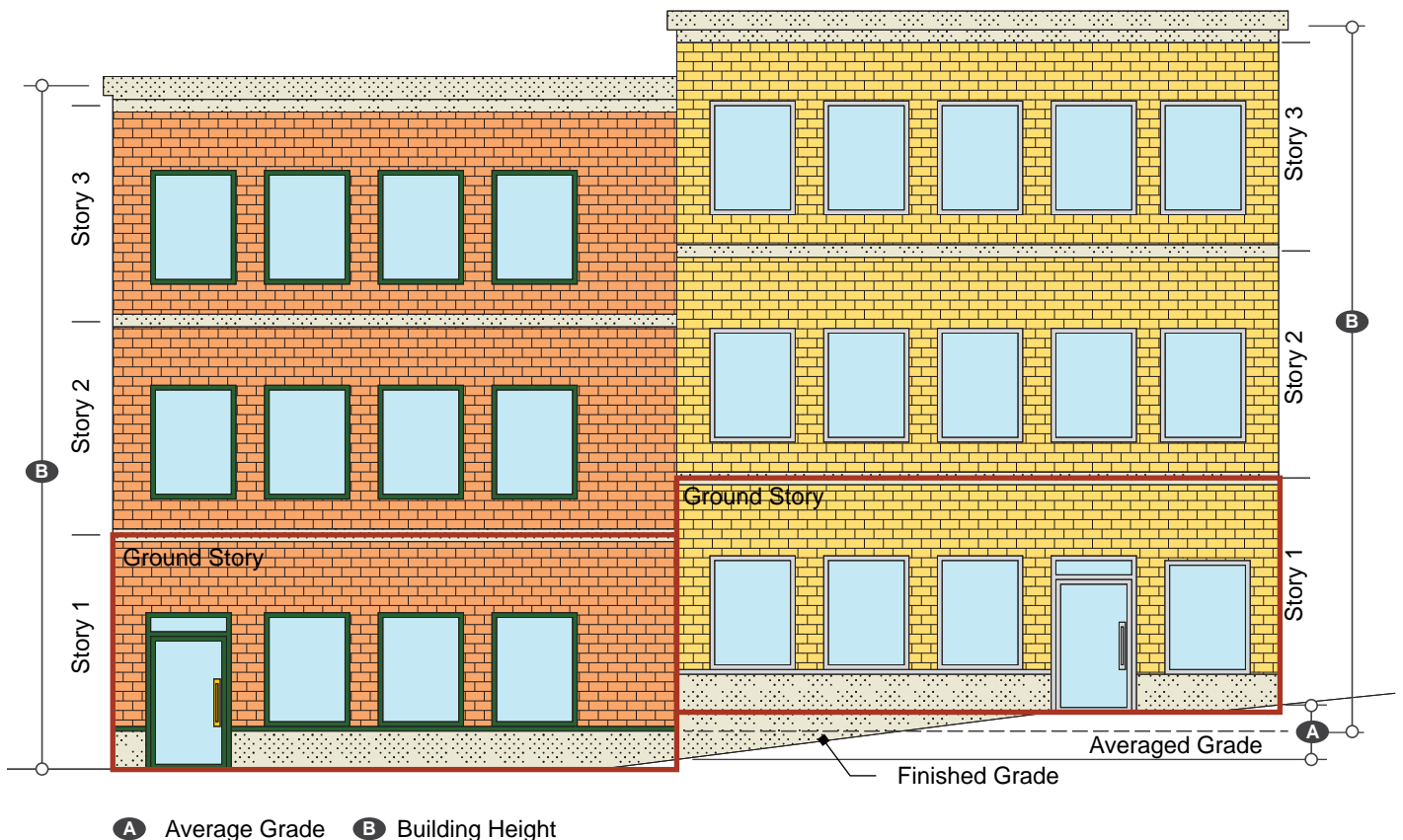
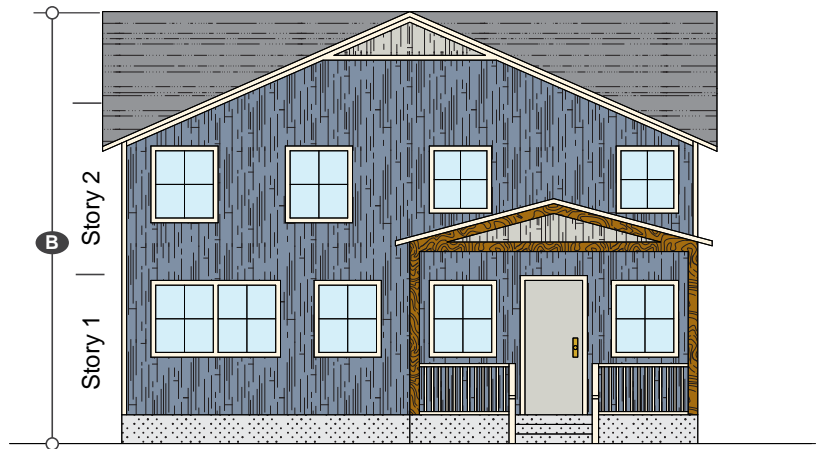
1. To clearly illustrate how building height will be measured.

B. Applicability

1. Applies to all buildings in all zones.

C. Standards

1. No building, including the contributing elements of the structure, shall exceed the maximum number of feet or stories allowed in the massing standards of the respective zone.
2. Measurements:
 - a. Height shall be measured from the averaged grade of the ground story to the top of the structure or roof. Average grade is calculated from the addition of the highest finished grade point and the lowest finished grade point on the buildings frontage and dividing by two. Allowed encroachments above the roof line are identified in **Table 5.2.1 Encroachments**.
 - b. A story should be measured from the surface of one floor to the surface of the next floor. If there is not an above floor the ceiling would be the defining limit.
 - c. Ground story shall meet the minimum height as identified in the massing standards of the respective zone.
 - d. Basements are considered occupied space below the ground story and they shall not count toward the maximum height or stories.
 - e. Attics are allowed above the topmost story and are defined as an unfinished room located just below the roof.



5.2.3 Building Street Frontage

The amount of building that directly faces the street within the build to area.

A. Intent

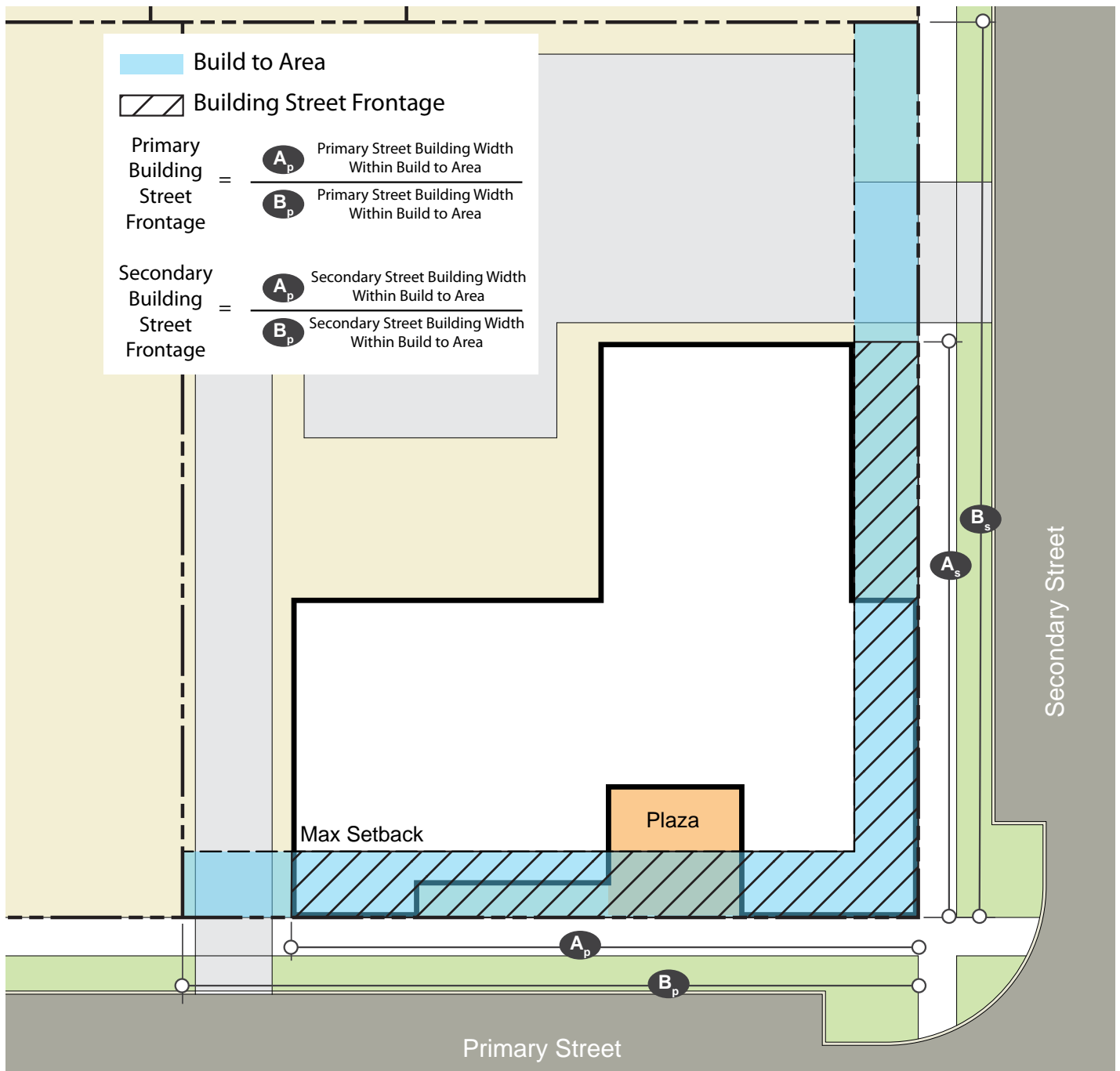
1. To show the parameters of how to meet the building street frontage.

B. Applicability

1. Applies to buildings in the Main Street, The Fields, and Central Downtown Zones

C. Standards

1. The building shall, at a minimum, meet the required building street frontage percentage for the primary streets and secondary streets (if present/required) as per the massing standards of the respective zone. The build to area being a continuous from side and rear property lines to street right-of-way, with the depth being determined by the max setback.
2. Buildings are allowed to vary the building face depth within the build to area and still have it contribute to meeting the building street frontage requirement, provided that building face depth variation occurs within the build to area.
3. Plaza may contribute toward meeting the building street frontage.
4. Once the minimum percentage of building street frontage is met, the remainder of structure does not have to fall within the build to area.



5.2.3 Windows

The amount of fenestration on buildings facing streets.

A. Intent

1. To ensure that buildings have long-term flexibility in land use and contribute to engagement of the adjoining streets. This is accomplished through establishing storefronts and connections, where a visual engagement exist between the buildings interior and the adjoining street environment.

B. Applicability

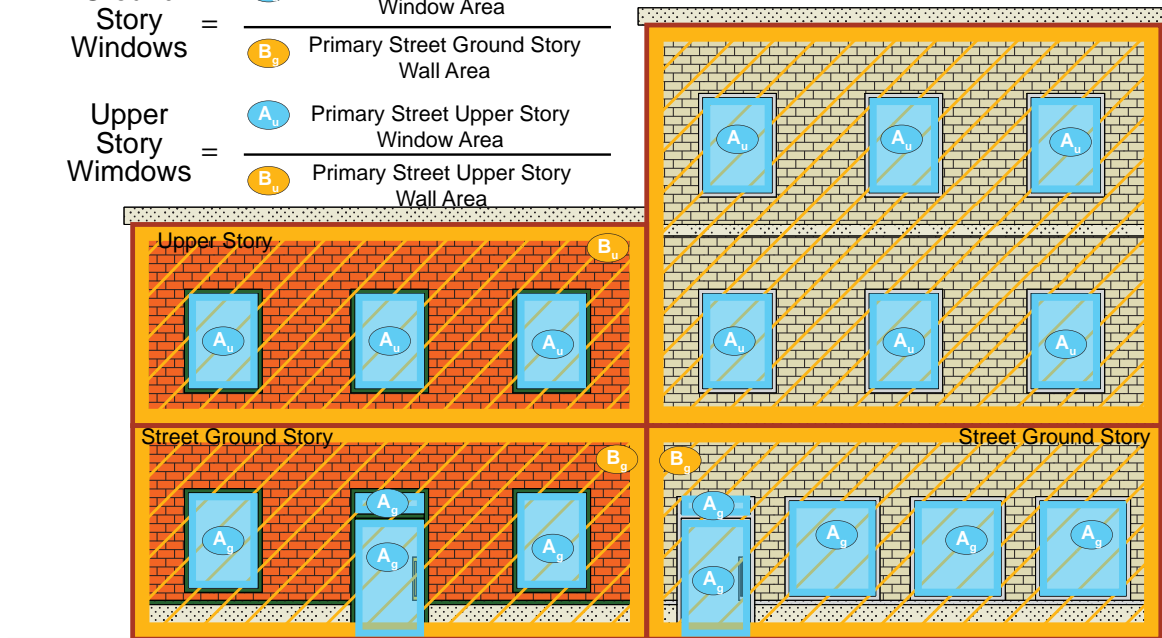
1. Applies to buildings in the Main Street, The Fields, and Central Downtown Zones

C. Standards

1. Building shall provide window and doors that shall meet the ground story and upper story window percentages per the massing standards of the respective zone. Ground story window area percentage of wall area shall be calculated separately than the upper story, as well as for building frontages along primary street and secondary street.

$$\text{Ground Story Windows} = \frac{A_g \text{ Primary Street Ground Story Window Area}}{B_g \text{ Primary Street Ground Story Wall Area}}$$

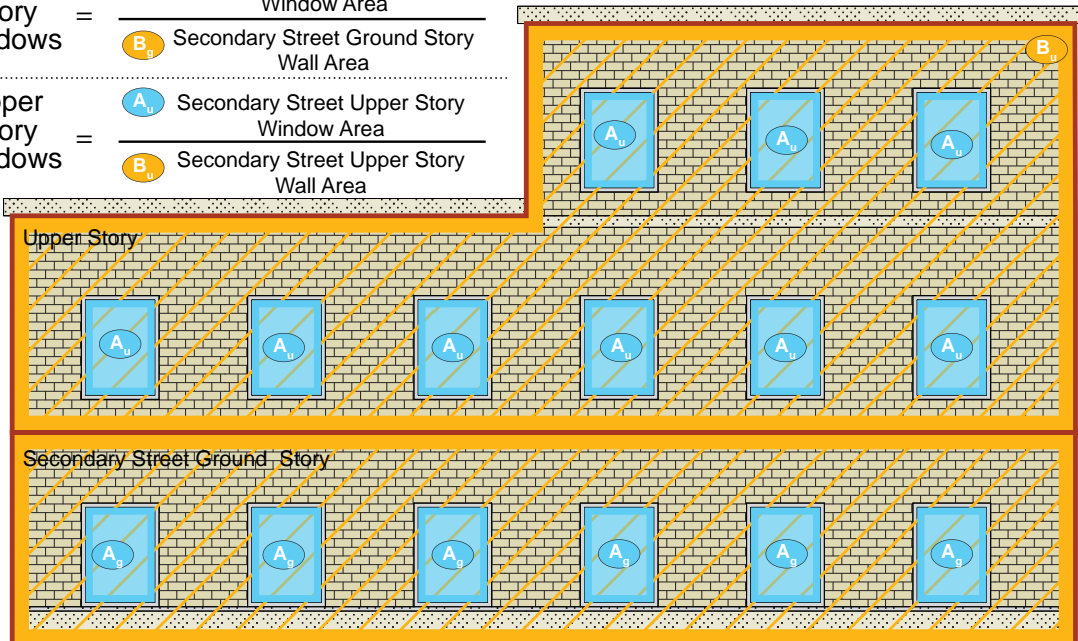
$$\text{Upper Story Windows} = \frac{A_u \text{ Primary Street Upper Story Window Area}}{B_u \text{ Primary Street Upper Story Wall Area}}$$



Building Fronting Primary Street

$$\text{Ground Story Windows} = \frac{A_g \text{ Secondary Street Ground Story Window Area}}{B_g \text{ Secondary Street Ground Story Wall Area}}$$

$$\text{Upper Story Windows} = \frac{A_u \text{ Secondary Street Upper Story Window Area}}{B_u \text{ Secondary Street Upper Story Wall Area}}$$



Building Fronting Secondary Street

5.2.3 Driveways and Parking Location

The locations and allowance for driveways and parking within the development side and adjoining street.

A. Intent

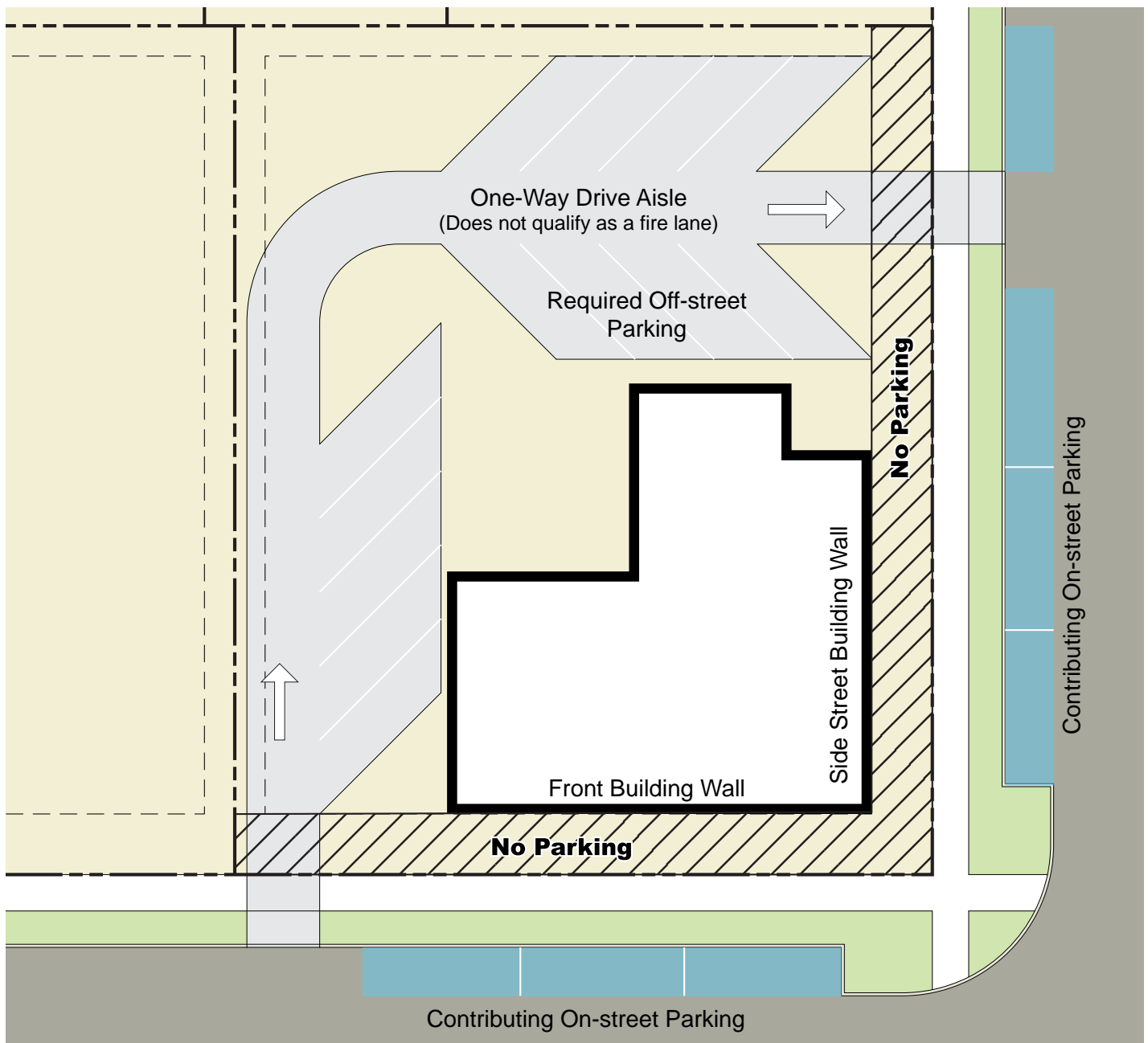
1. To provide additional guidance in meeting parking demands in a manner that best reflects the ability to balance a site's capacity with supporting opportunities to provided by the adjoining street right-of- way.

B. Applicability

1. Applies to all sites in all zones.

C. Standards

1. No parking areas are allowed to occur between front building wall or side street building wall, and the street. For single-family residential driveways that terminate into a front facing garage, front yard parking may occur provided its outside the right-of-way, however that parking shall not contribute to meeting the off-street parking development minimum of 2 parking spaces behind front building wall.
2. Upon meeting required off-street parking (off-street parking will not always be required to meet required parking), on-street parking that is adjacent to the property may count to meeting the remaining required parking spaces. These parkings spaces must meet full parking lot stall dimension as identified in **Table 4.1.2 Parking Dimensional Standards**.



Division 5.3 Nonconformities

5.3.1 Nonconformities

This section is to provide direction for uses and structures that do not align with the regulating elements found within the Imagine Belton Standards.

A. Intent

1. The intent of this section is to define how nonconforming status shall exist under the following provisions of the Imagine Belton Standards.

B. Applicability

1. When a use or structure, which does not conform to the regulations prescribed in the zone in which such use or structure is located, was in existence and lawfully operating prior to the adoption of the previous Zoning Ordinance, adopted December 9, 1975, and has been operating since, without discontinuance.
2. When on the effective date of the Imagine Belton Standards, the use or structure was in existence and lawfully constructed, located and operating in accordance with the provisions of the previous Zoning Ordinance or which was a nonconforming use there under, or which use or structure does not now conform to the regulations herein prescribed for the zone in which the use or structure is located.

C. General Rules

1. A lot, building, site improvement, use, or structure that meets the applicability of a legal nonconforming may continue indefinitely, provided it is not changed or modified.
2. Repairs and normal maintenance may be made to a nonconforming building provided that no structural alterations, expansions, or extensions shall be made, except those required by law or ordinance.
3. A demolition that reduces compliance with the standards or rules of the zone is not allowed, except in cases where additional development or project construction allows for the undertaking to become an allowable use and abide by the corresponding development standards.
4. Nothing in this division should be interpreted to hinder a nonconforming use or structure being changed, subject to a partial demolition/remodel, or reconstruction that would make the nonconforming use or structure fully compliant with the Imagine Belton Standards.

5.3.2 Discontinuance of Non-conforming Use

A. Intent

1. To provide direction of when nonconforming uses lose their legally nonconforming status.

B. Applicability

1. A building, lot, or structure that contained a nonconforming uses that has been discontinued for a continuous period of one year or more shall only be reoccupied by a use that conforms to the allowable use and building standards for that respective zone.
2. Nonconforming uses on a property that is an accessory or supporting to a the primary nonconforming uses of a building shall be discontinued on the same date as the primary nonconforming use of the site and/or occupied buildings is discontinued.
3. A property that was previously subject of a nonconforming use, but which was occupied by a conforming use, may not revert back to a nonconforming use.

5.3.3 Expansion of Nonconforming Structure and Site

A. Intent

1. Allow new development, reconstruction, and addition to move towards a non-conforming structure or use towards compliance.

B. Applicability

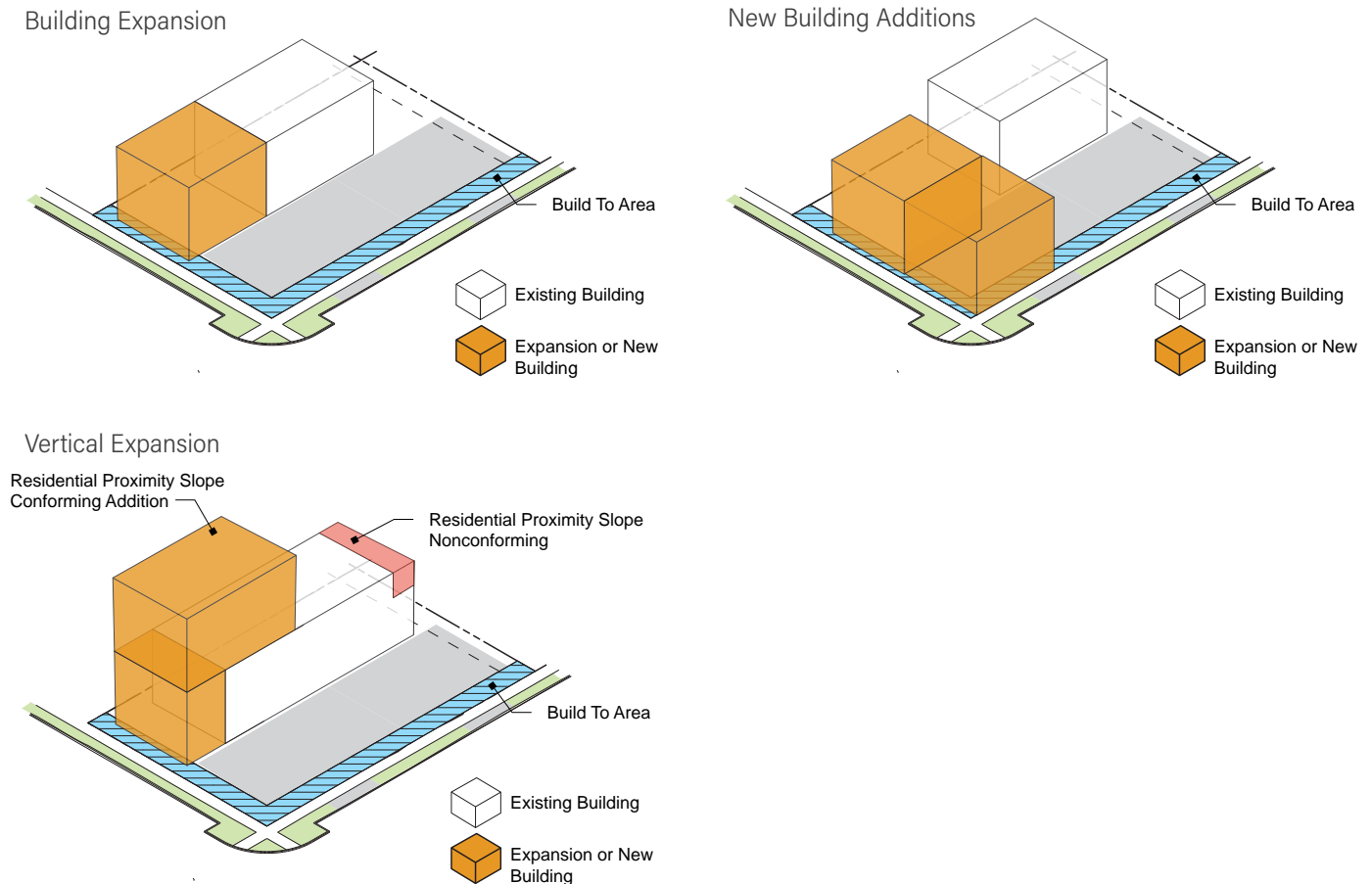
1. A proposed development, reconstruction, or additions shall be deemed acceptable if it moves the structure closer to meeting the development standards of the respective zone.
2. A lot where a non-conforming structure that has less than minimum allowable building street frontage may expand provided the expansion increases the site's building street frontage percentage.
3. Existing buildings that do not meet the **Section 3.3.2, Type 1 Land Use, C. Residential Proximity Slope**, may expand along portions of the building not under affect of the Residential Proximity Slope requirements.
4. A change in use that doesn't meet minimum parking requirements allowed provided a building expansion is not proposed that would make the increase the nonconformity of parking space requirements.

C. General Rules

1. All expansions of nonconforming structures allowed under the provisions listed above shall abide by all other applicable development standards for the respective zone.

- Any proposed expansion of a nonconforming structure shall in writing, identify the nonconformity and how the proposed expansion is moving towards conformity.

Figure: 5.3.1 Example Diagrams of Allowable Expansion of a Nonconforming Structure



D. Administrative Exception for Expansion of a Nonconforming Structure

A. Intent

- Establish a process in which an expansion of a nonconforming structure can be reviewed administratively by the Director of Planning and evaluated against the spirit and intent of the Imagine Belton Standards.

B. Applicability

- Consideration of administrative exception of a nonconforming structure shall meet the following requirements:
 - Proposed use must be allowed in the respective zone.
 - Administrative exception applies to existing structures only.

C. General Rules

- A written request that identifies the intended purpose of the development, the existing nonconformity, and a statement on how the project furthers the vision of the Imagine Belton Standards shall be provided.
- Administrative exceptions will be evaluated on the following considerations:
 - Structure maintains or expands building storefront.
 - Structure incorporates mixed-use development.
 - Structure increases housing opportunities.
 - Structure meets minimum parking standards or has parking study to support proposed development parking levels.
 - Corresponding site work promotes pedestrian connectivity and adds on-street parking.
 - Expansion of nonconformity does not exceed a 10% increase in nonconformity.
- All proposed expansions of nonconforming structures applying for an administrative exception, shall abide by all other applicable development standards for the respective zone.

Definitions

The following definitions are provided as are unique to the Imagine Belton plan area

Term	Definitions
Adaptive Reuse	A process of re purposing an existing building or site to a different use than its originally intended function.
ADU, Accessory Dwelling Unit	A separate dwelling unit on the same property as a primary use, like a single-family home. These structures are to follow the development standards of the respective zone.
Basement	A space having one-half or more of its floor-to-ceiling height below the average level of the adjoining ground and with a floor-to-ceiling height of no less than seven feet.
Blank Wall Area	Any portion of a facade that does not include fenestration or surface relief through the use of windows, columns, cornices, moldings, piers, pilasters, sills, sign bands, or other equivalent architectural features that either recess or project from the plane of the facade or building wall.
Build to Area	An area between the minimum building setback and the maximum building setback.
Building Street Frontage	A required percentage of building to be located within the build to area, determined by the lot width or depth measure against the adjoining primary or secondary street.
Building Height	The vertical distance from the average grade of the building's ground plane of a building or structure to either the highest point of the building or the structure's roof or roof ridge.
Clear Zone	Space directly adjacent to trails or shared use paths that is to remain free and clear of debris or vertical elements, to insure paved or unpaved trail free of clutter and with visible edges.
Façade or Building wall, Front	All exterior walls of a building or structure that are oriented in whole or in part toward a front lot line or a portion of the lot facing the primary street.
Furnishings	Decorative elements found within the public right-of-way. May include, but not limited too, seating, waste containers, bollards, lighting, etc.
Encroachment	The physical penetration of a structural element or use into a building setback or public right-of-way. Encroachment are not allow unless specifically enable by the Imagine Belton Standards.
Encroachment Zone	Portion of the right-of-way dedicated to expanded pedestrian environment adjacent to a building that allows for outdoor dining and merchandising from adjacent businesses.
Lot Coverage	The portion of a zoning lot that is covered by a building or structure, as measured from the outside of the building or structure at ground level, and expressed as a percentage of the area of the zoning lot.
Opaque Screen	A continuous evergreen vegetative or constructed wall/fence that restricts visual access to or from adjoining properties. Heights of an opaque screen are determined by the respective development standard requirement.
Planting Strip/Buffer	The area between the street curb and the sidewalk, that is used for planting. This may include either shrub beds, turf or street trees. In setting with more active pedestrian traffic and sidewalks that extend to curbs the planting strip may include the use of raised planters or tree grates. If the composition of planting is limited its this spaces role providing separation between pedestrian and vehicular traffic is still applicable, hence it also being referred to as a buffer.
Primary Street	The street and streetscape on which the front entrance of the building is to be located. All lots will have a primary street. The primary street corresponds to the determination front yard and the front yard setback requirements.
Root Barrier	A material used to stop, confine, or deter root growth of trees and other planting.
Secondary Street	The street and streetscape that adjoins any lot that is not designated as the primary street. Building entrances may be located along secondary streets. If a lot is surrounded by two or more streets, there is only one primary street, the other would be secondary streets. The secondary street corresponds to the determination side street yard and the side street yard setback requirements.
Service Areas	An area for vehicle storage, loading, assembly, temporary storage or other secondary uses to a commercial or industrial use. These area are often flexible in there application, but are responsible for more than just providing employee parking.
Sidpath	A shared-use pedestrian and bicycle facilities located within the street right-of-way

Term	Definitions
Storefront	A ground-story portion of a front facade consisting of an entrance and window for the display of goods, services, and signage associated with a non-residential use.
Streetscape	Landscape that is located in the public right-of-way that is adjacent to roadways and sidewalks and is intended account for beautification of street environment.
Story, Ground	The lowest story of a building or structure for which the height of the finished floor is at or above the established grade at the center of the front of such building or structure.
Story, Upper	Any story of a building or structure above its ground story.
Unenclosed Structures	Permanent structures without a solid wall that are complementary to the existing home or accessory structure.

Terms not defined here in are defined by the Belton Zoning Ordinance, Belton Design Standards, the International Residential Code, the International Building Code or by common usage

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APPENDIX A

Plant List

Table A.1 Plant List

Plant Type	Common Name Scientific Name (Genus species)	Planting Environment						
		Streetscape	Parking Lot	Compatibility	Residential	Parks	Square, Plaza, & Greens	Open Space & Greenways
Trees								
Shade	Bald Cypress <i>Taxodium distichum</i>	●	●		●	●	●	●
Shade	Bur Oak <i>Quercus macrocarpa</i>				●	●		●
Shade	Cathedral Live Oak <i>Quercus virginiana</i> 'Cathedral'	●	●	●	●	●		
Shade	Cedar Elm <i>Ulmus crassifolia</i>	●	●	●	●	●	●	
Shade	Chinese Pistache <i>Pistacia chinensis</i>	●		●		●		
Shade	Chinkapin Oak <i>Quercus muehlenbergii</i>		●	●	●	●		●
Shade	Lacebark Elm <i>Ulmus parvifolia</i>		●	●	●	●	●	●
Shade	Live Oak <i>Quercus virginiana</i>			●	●	●	●	●
Shade	Mexican White Oak <i>Quercus polymorpha</i>	●	●	●	●	●	●	●
Shade	Mexican Sycamore <i>Platanus mexicana</i>	●	●					
Shade	Texas Ash <i>Fraxinus texensis</i>	●		●	●	●		●
Shade	Texas Red Oak <i>Quercus texana</i>	●		●	●	●		●
Shade	Thornless Honeylocust <i>Gleditsia triacanthos</i>	●		●			●	
Ornamental	Anacacho Orchid <i>Bauhinia lunarioides</i>		●	●	●		●	
Ornamental	Arizona Cypress <i>Cupressus arizonica</i>	●		●		●		●
Ornamental	Crape Myrtle <i>Lagerstoemia indica</i>	●	●	●	●	●	●	
Ornamental	Desert Willow <i>Chilopsis linearis</i>	●	●	●				
Ornamental	Mexican Buckeye <i>Ungnadia speciosa</i>		●	●	●	●		
Ornamental	Mexican Redbud <i>Cercis canadensis var. mexicana</i>			●	●		●	
Ornamental	Palo Verde <i>Parkinsonia aculeata</i>	●		●	●		●	
Ornamental	Possumhaw Holly <i>Ilex decidua</i>	●	●	●	●	●		●
Ornamental	Texas Mountain Laurel <i>Sophora secundiflora</i>	●	●	●	●	●		●
Ornamental	Texas Persimmon <i>Diospyros texana</i>			●		●		●
Ornamental	Vitex <i>Vitex agnus-castus</i>		●	●	●			
Ornamental	Wax Myrtle <i>Morella cerifera</i>	●		●				

● Recommended

Table A.1 Plant List

Plant Type	Common Name Scientific Name (<i>Genus species</i>)	Planting Environment						
		Streets- cape	Parking Lot	Compatibility	Residential	Parks	Square, Plaza, & Greens	Open Space & Greenways
Shrubs	Agarita <i>Berberis trifoliata</i>			●	●			●
Shrubs	American Beautyberry <i>Callicarpa americana</i>	●	●	●	●	●		●
Shrubs	Bicolor Iris <i>Diets bicolor</i>	●	●	●	●	●	●	●
Shrubs	Burford Holly <i>Ilex cornuta 'Burfordii nana'</i>			●	●			●
Shrubs	Bush Germander <i>Teucrium fruticans</i>	●	●	●	●	●	●	
Shrubs	Butterfly Bush <i>Buddleia davidii</i>	●	●	●	●	●	●	●
Shrubs	Cast Iron Plant <i>Aspidistra elatior</i>	●			●		●	
Shrubs	Cotoneaster <i>Cotoneaster spp.</i>		●	●	●	●		●
Shrubs	Dwarf Loropetalum <i>Loropetalum chinense</i>	●	●	●	●	●	●	●
Shrubs	Dwarf Yaupon Holly <i>Ilex vomitoria 'Nana'</i>	●	●	●	●	●	●	●
Shrubs	Greek Myrtle <i>Myrtus communis</i>		●		●			●
Shrubs	Evergreen Sumac <i>Rhus virens</i>			●		●		●
Shrubs	Flame Acanthus <i>Anisacanthus w rightii</i>		●	●		●		●
Shrubs	Glossy Abelia <i>Abelia grandiflora</i>	●		●	●	●		●
Shrubs	Indian Hawthorn <i>Raphiolepis indica</i>	●	●	●	●	●	●	●
Shrubs	Japanese Aralia <i>Fatsia japonica</i>	●		●	●	●	●	●
Shrubs	Pineapple Guava <i>Eijoa sellowiana</i>		●	●	●	●	●	
Shrubs	Texas Dwarf Palmetto <i>Sabal minor</i>				●	●		●
Shrubs	Texas Sage <i>Leucophyllum frutescens</i>	●	●	●	●	●	●	●
Shrubs	Upright Rosemary <i>Rosmarinus officinalis</i>	●	●	●	●		●	
Shrubs	White Mistflower <i>Ageratina havanensis</i>	●	●	●	●	●	●	●
Ornamental Grass	Big Muhly <i>Muhlenbergia lindheimeri</i>	●		●	●	●		●
Ornamental Grass	Blue Grama <i>Bouteloua gracilis</i>	●	●			●		●
Ornamental Grass	Deer Muhly <i>Muhlenbergia rigens</i>	●	●	●	●	●	●	●

● Recommended

Table A.1 Plant List

Plant Type	Common Name <i>Scientific Name (Genus species)</i>	Planting Environment						
		Streets-cape	Parking Lot	Compatibility	Residential	Parks	Square, Plaza, & Greens	Open Space & Greenways
Ornamental Grass	Gulf Muhly <i>Muhlenbergia capillaris</i>	●	●	●	●	●	●	●
Ornamental Grass	Inland Sea Oats <i>Chasmanthium latifolium</i>	●			●	●	●	●
Ornamental Grass	Little Bluestem <i>Schizachyrium scoparium</i>					●		●
Ornamental Grass	Little Kitten Grass <i>Miscanthus sinensis</i>	●	●	●	●	●	●	●
Ornamental Grass	Meadow Sedge <i>Carex perdentata</i>	●	●	●	●	●	●	●
Ornamental Grass	Pine Muhly <i>Muhlenbergia dubia</i>	●	●	●	●	●	●	●
Ornamental Grass	Sideoats Grama <i>Bouteloua curtipendula</i>	●	●					●
Ornamental Grass	Switchgrass <i>Panicum virgatum</i>					●		●
Succulent	Century Plant <i>Agave americana</i>	●					●	
Succulent	Paleleaf Yucca <i>Yucca pallida</i>	●	●		●	●	●	●
Succulent	Parry's Agave <i>Agave parryi var. truncata</i>	●	●		●		●	
Succulent	Prickly Pear Cactus <i>Optunia spp.</i>	●	●		●			●
Succulent	Red Yucca <i>Hesperaloe parviflora</i>	●	●	●	●	●	●	●
Succulent	Texas Sotol <i>Dasyilirion texanum</i>	●		●	●			●
Succulent	Twistleaf Yucca <i>Yucca rupicola</i>	●	●		●	●	●	●
Succulent	Whale's Tongue Agave <i>Agave ovatifolia</i>	●	●		●		●	
Perennial	Artemisia <i>Artemisia 'Powis Castle'</i>	●	●	●	●	●	●	●
Perennial	Batface Cuphea <i>Cuphea llavea</i>	●	●	●	●		●	●
Perennial	Cherry Sage <i>Salvia greggii</i>	●	●	●	●	●	●	●
Perennial	Gaura <i>Gaura lindheimeri</i>		●		●		●	
Perennial	Gregg Mistflower <i>Conoclinium greggii</i>	●	●	●	●	●		●
Perennial	Fall Obedient Plant <i>Phystostegia virginiana</i>	●			●		●	
Perennial	Mexican Bush Sage <i>Salvia leucantha</i>	●	●	●	●	●	●	●
Perennial	Mexican Butterfly Weed <i>Asclepias currasavica</i>	●		●	●		●	●

● Recommended

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