

PUBLIC NOTICE

CITY OF BERKLEY, MICHIGAN SPECIAL MEETING OF THE CITY PLANNING COMMISSION

Tuesday, October 11, 2022
7:00PM – City Hall Council Chambers
Information: 248-658-3320

CALL TO ORDER
PLEDGE OF ALLEGIANCE
ROLL CALL
APPROVAL OF AGENDA
APPROVAL OF MINUTES
COMMUNICATIONS
CITIZEN COMMENTS

OLD BUSINESS

NEW BUSINESS

1. **PSP-16-22: 3120 W. Eleven Mile – Moses Roses Provisioning Center:** The applicant, Joseph Aiello on behalf of Moses Roses, is requesting a site plan approval for the renovation of the existing building to be a retail marihuana dispensary at 3120 W. Eleven Mile Road, Parcel # 04-25-18-453-031, North side Eleven Mile Road, East of Gardner Avenue and West of Griffith Avenue

LIAISON REPORTS
COMMISSIONER / STAFF COMMENTS
ADJOURN

Notice: Official Minutes of the City Planning Commission are stored and available for review at the office of the City Clerk. The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days notice to the city. Individuals with disabilities requiring auxiliary aids or services should contact the city by writing or calling: City Clerk, ADA Contact, Berkley City Hall, 3338 Coolidge, Berkley, Michigan 48072, (248) 658-3300.

You can watch the meeting on Channel 10 for both Comcast and WOW, at <http://www.youtube.com/CityofBerkley> or <http://www.berkleymich.org/livestream>.



CITY OF BERKLEY **COMMUNITY DEVELOPMENT**

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

MEMORANDUM

To: Planning Commission

From: Kristen Kapelanski, Community Development Director

Subject: **PSP-16-22: 3120 W. Eleven Mile– Moses Roses**
Site Plan Approval

Date: October 6, 2022

The applicant, Joseph Aiello on behalf of Moses Roses, is requesting site plan approval for conversion of an existing building to a retail marihuana dispensary use at 3120 W. Eleven Mile Rd. on the north side of Eleven Mile Rd., west of Griffith Ave. An addition will also be added to the building and the existing auto service use would remain, but in a smaller footprint. At buildout, approximately 2,600 sq. ft. of the building will be used for the provisioning center and the remaining approximately 550 sq. ft. will be used for the auto service center.

Attached are the following reviews for the site plan submitted:

Planning Review from Carlisle Wortman Associates (CWA) dated September 19, 2022

CWA had several items of note in their review but did recommend conditional approval. Items included:

1. The Planning Commission must determine whether the reduced drive aisle width proposed on the site (24 ft. required, 22 ft. provided) should be approved. The Planning Commission may alter or revise the aisle width requirements if the Commission finds that the strict application of the requirements would endanger pedestrians or vehicular traffic.
2. Planting details of the live wall should be provided prior to the pre-construction meeting.
3. Green roof details should be provided prior to the pre-construction meeting.
4. The applicant is providing lighting far exceeding normal standards for a retail use. Pole footcandles should be reduced.
5. Confirmation should be provided on the elevations that the parapet wall is high enough to screen exterior appliances. This can be confirmed on the building permit plans.

Review from City of Berkley Department of Public Works (DPW) dated September 20, 2022

DPW noted the following comments and asked that plans be resubmitted before approval was granted:

1. The City's engineering consultant, Hubbell, Roth & Clark (HRC) will review the geotechnical report, storm water detention calculations and grading.
 2. The plan shows the removal of the existing storm structure and a portion of the piping. The applicant will need to verify if this is the full extent of piping to be removed.
 3. An updated traffic control plan encompassing the full project scope is required.
-

Engineering Review from Hubbell, Roth & Clark (HRC) dated September 23, 2022

HRC recommended approval of the proposed Site Plan subject to the following:

1. An updated traffic control plan is required.
2. The source of the C-value used for the permeable paver area must be provided.
3. Additional soil borings are required to ensure that there is not groundwater present within 2 ft. of the bottom of the proposed stone layer.

Review from City of Berkley Fire Inspector

Fire Inspector Jon Roberts stamped the plan set approved on September 16, 2022.

Summary and Recommendation

Should the Planning Commission choose to approve the plan, the following findings and conditions should be included:

1. Planning Commission reduction of the drive aisle width from 24 ft. to 22 ft.;
2. A reduction of the pole lights that results in lower footcandles for the site;
3. Compliance with the items noted in the CWA September 19, 2022, DPW September 20, 2022 and HRC September 23, 2022 review letters.



CITY OF BERKLEY COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in **substantially complete form** at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name: Moses Roses

Applicant: Joseph Aiello

Mailing Address: 32411 Mound Road, Warren MI 48092

Telephone: [REDACTED]

Email: michiganmedical@icloud.com

Property Owner(s), if different from Applicant: Ryszard Lada & Ewa Laskowska-Lada

Mailing Address: 5100 Wan Ta Wan, Clarkston, MI 48348

Telephone: [REDACTED]

Email: [REDACTED]

Applicant's Legal Interest in Property: Executed Purchase Agreement

LOCATION OF PROPERTY:

Street Address: 3120 W. 11 mile Rd

Nearest Cross Streets: 11 mile and Griffith Ave

Sidwell Number(s): 25-18-453-031

PROPERTY DESCRIPTION:

Provide lot numbers and subdivision: East, 15.54 feet of Lot 108 and
all of Lots 109 and 110. Meadow Farms Subdivision

Property Size (Square Feet): _____ (Acres): 0.43 Acres.

EXISTING ZONING DISTRICT (please check):

- | | | |
|-------------------------------|---|-------------------------------------|
| <input type="checkbox"/> R-1A | <input type="checkbox"/> Local Business | <input type="checkbox"/> Coolidge |
| <input type="checkbox"/> R-1B | <input type="checkbox"/> Office | <input type="checkbox"/> Downtown |
| <input type="checkbox"/> R-1C | <input type="checkbox"/> Community Centerpiece | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> R-1D | <input type="checkbox"/> Woodward | <input type="checkbox"/> Cemetery |
| <input type="checkbox"/> RM | <input checked="" type="checkbox"/> Eleven Mile | <input type="checkbox"/> Parking |
| <input type="checkbox"/> RMH | <input type="checkbox"/> Twelve Mile | |

Present Use of Property: Auto Repair Shop

Proposed Use of Property: Auto Repair Shop & Cannabis
Retail

Is the property located within the Downtown Development Authority? ☐ Yes ☒ No

PROJECT DESCRIPTION:

Re-use existing Building, Add addition, Re-do
Parking Lot + landscape, Ltg. Upgrade MEP Services, and add
roof Eaveless

Does the proposed project / use of property require Special Land Use approval? ☐ Yes ☒ No

Does the proposed project require Variance(s) from the Zoning Board of Appeals? ☐ Yes ☒ No

If yes, please describe Variances required:

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office				
Commercial	2	2,799 S.F.	15 Spaces	4 max, 2 ea Tenant
Industrial				
Other				

PROFESSIONALS WHO PREPARED PLANS: JGA

A. Name: Ken Nisch (Contact: Angela Hill)
Mailing Address: 2910 Inkster Road Suite 800 / Southfield
Telephone: [REDACTED]
Email: [REDACTED]
Design Responsibility (engineer, surveyor, architect, etc.): Architect

B. Name: Joseph Anderson, Giffels Webster
Mailing Address: 1035 E. Maple Suite 100 / Birmingham
Telephone: [REDACTED]
Email: [REDACTED]
Design Responsibility: Engineer

SUBMIT THE FOLLOWING:

1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
2. A pdf file of the site plans, submitted to the Community Development Director.
3. Proof of property ownership (title insurance policy or registered deed with County stamp).
4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:

- ☐ Road Commission for Oakland County
☐ MI Dept. of Transportation

- ☐ Oakland County Health Division
☐ MI Dept. of Environment, Great Lakes & Energy

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line)

R.2 C.L.L. I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

APPLICANT'S ENDORSEMENT: (Initial each line)

A All information contained therein is true and accurate to the best of my knowledge.

Dr I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

J I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

Joseph Aiello

June 29 2022

Signature of Applicant

Date

Joseph Aiello, President of Yellow Tail Ventures Inc.

Applicant Name (Print)

Signature of Applicant

Date

Applicant Name (Print)

E. Lorlow He - Looe

6-29-22

Signature of Property Owner Authorizing this Application

Date

Ryszard Lada

Ryszard Lada, Member of Berkley Auto Service, LLC

6-29-22

Property Owner Name (Print)

OFFICE USE ONLY

Received _____ Receipt # _____ Meeting Date _____ Case # _____

Fees: Site Plan Review \$600 Façade Change: \$200 Revision: \$300
 Extension \$200 Engineering: Multi-family \$1,500 + \$30/unit
 Escrow (New construction) \$1,000 Commercial \$1,000

MOSES ROSES

LOCATION

3120 WEST 11 MILE ROAD | BERKLEY, MICHIGAN

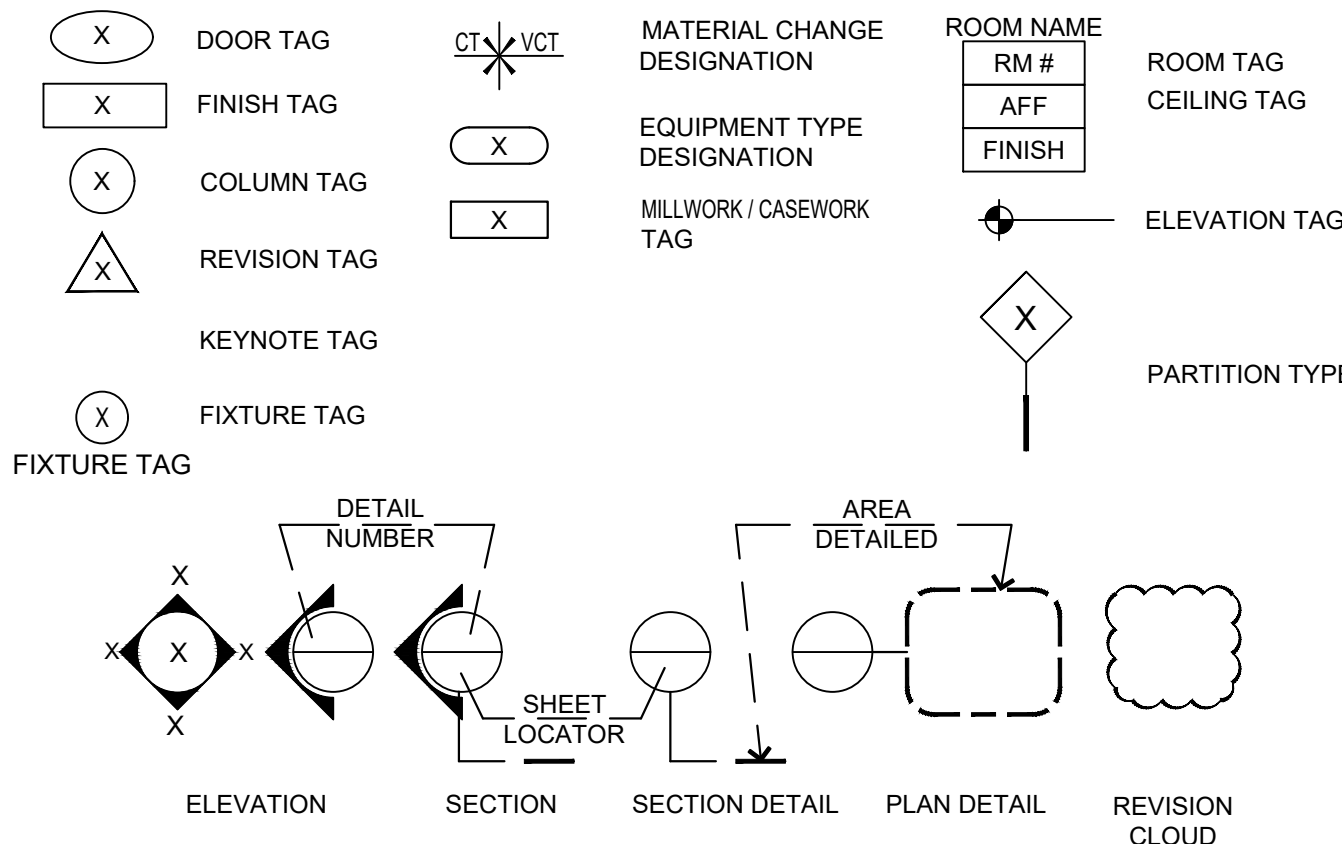
REFERENCE STANDARDS

AA	=	ALUMINUM ASSOCIATION
AAMA	=	AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION
ACI	=	AMERICAN CONCRETE INSTITUTE
ADC	=	AIR DIFFUSER COUNCIL
AGA	=	AMERICAN GAS ASSOCIATION
AIEE	=	AMERICAN INSTITUTE OF ELECTRICAL ENGINEERS
AISC	=	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AISI	=	AMERICAN IRON AND STEEL INSTITUTE
AMCA	=	AIR MOVING AND CONDITIONING ASSOCIATION
ANSI	=	AMERICAN NATIONAL STANDARDS INSTITUTE
APA	=	AMERICAN PLYWOOD ASSOCIATION
ARI	=	AIR CONDITIONING AND REFRIGERATION INSTITUTE
ASHRAE	=	AMERICAN SOCIETY OF HEATING, REFRIG. AND A/C ENGINEERS
ASME	=	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASTM	=	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWI	=	ARCHITECTURAL WOODWORK INSTITUTE
AWPA	=	AMERICAN WOOD PRESERVERS ASSOCIATION
AWS	=	AMERICAN WELDING ASSOCIATION
BIA	=	BRICK INSTITUTE OF AMERICA
CRSI	=	CONCRETE REINFORCING STEEL INSTITUTE
ETL	=	ELECTRICAL TESTING LABORATORIES
FGMZ	=	FLAT GLASS MARKETING ASSOCIATION
FS	=	FIRE RATED OR RETARDANT
IES	=	ILLUMINATION ENGINEERING SOCIETY
MIA	=	MARBLE INSTITUTE OF AMERICA
NAAMM	=	NATIONAL ASSOC. OF ARCHITECTURAL METAL MANUF.
NBS	=	NATIONAL BUREAU OF STANDARDS
NCMA	=	NATIONAL CONCRETE MASONRY INSTITUTE
NEMA	=	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NFPA	=	NATIONAL FIRE PROTECTION ASSOCIATION
NSF	=	NATIONAL SANITATION FOUNDATION
NTMA	=	NATIONAL TERRAZZO AND MOSAIC ASSOCIATION
PCA	=	PORTLAND CEMENT ASSOCIATION
PS	=	PRODUCT STANDARD, U.S. DEPT. OF COMMERCE
SIGMA	=	SEALED INSULATING GLASS MANUFACTURERS ASSOCIATION
SMACNA	=	SHEET METAL AND A/C CONTRACTORS NATIONAL ASSOC.
SSPC	=	STEEL STRUCTURES PAINTING COUNCIL
TCA	=	TILE COUNCIL OF AMERICA
UL	=	UNDERWRITERS LABORATORIES, INC.
WCLIB	=	WEST COAST LUMBER INSPECTION BUREAU
WWPA	=	WESTERN WOOD PRODUCTS ASSOCIATION
SPIB	=	SOUTHERN PINE INSPECTION BUREAU

ABBREVIATIONS AND DEFINITIONS

ADJ.	- ADJUSTABLE	MECH.	- MECHANICAL
A.F.F.	- ABOVE FINISHED FLOOR	MED.	- MEDIUM
ALT.	- ALTERNATE	MFR.	- MANUFACTURER
ALUM.	- ALUMINUM	MIN.	- MINIMUM
ANOD.	- ANODIZED	M.	- MIRROR
AUTO.	- AUTOMATIC	MISC.	- MISCELLANEOUS
APPROX.	- APPROXIMATE	MLD'G.	- MOLDING
B/O	- BY OWNER	MTD.	- MOUNTED
BD.	- BOARD	MTL.	- METAL
BLK.	- BLOCK	NO.	- NUMBER
BLK'G.	- BLOCKING	NOM.	- NOMINAL
BOT.	- BOTTOM	NON-COM.	- NON-COMBUSTIBLE
CLG.	- CEILING	N.T.S.	- NOT TO SCALE
CLR.	- CLEAR	O.C.	- ON CENTER
COL.	- COLUMN	PLAS. LAM.	- PLASTIC LAMINATE
CONST.	- CONSTRUCTION	PTD.	- PAINTED
CONT.	- CONTINUOUS	RAD.	- RADIUS
CONTR.	- CONTRACTOR	REF.	- REFERENCE
DET.	- DETAIL	REM.	- REMOVE
DIAG.	- DIAGONAL	REQ'D.	- REQUIRED
DIAM.	- DIAMETER	RET.	- RETURN
DIM.	- DIMENSION	REV.	- REVISION
DN.	- DOWN	SECT.	- SECTION
DWG.	- DRAWING	S.F.	- SQUARE FOOT
EA	- EACH	SHT.	- SHEET
ELECT.	- ELECTRICAL	SIM.	- SIMILAR
EQ.	- EQUAL	SPEC.	- SPECIFICATION
EQUIP.	- EQUIPMENT	SQ.	- SQUARE
EXIST'G.	- EXISTING	STD.	- STANDARD
EXT.	- EXTERIOR	SYM.	- SYMMETRICAL
FLR.	- FLOOR	SYS.	- SYSTEM
F.R.P.	- FIBERGLASS REINFORCED PLASTIC	TEMP.	- TEMPORARY
F.R.T.	- FIRE RETARDANT TREATED	TYP.	- TYPICAL
FURR'G.	- FURRING	U.O.N.	- UNLESS OTHERWISE NOTED
HD.	- HEAVY DUTY	VERT.	- VERTICAL
HDWR.	- HARDWARE	V.I.F.	- VERIFY IN FIELD
HORZ.	- HORIZONTAL	W/	- WITH
HR.	- HOUR	W/O	- WITHOUT
HT.	- HEIGHT	&	- AND
L.P.	- LIGHT PANEL	@	- AT
MAX.	- MAXIMUM	€	- CENTER LINE

SYMBOLS



PROJECT DIRECTORY

TENANT:	TENANT'S DESIGN CONSULT:	STRUCTURAL ENGINEER:
MOSES ROSES VENTURES, LLC 400 MONROE, SUITE 480 DETROIT, MICHIGAN 48226 TEL:	TYLER RINK DESIGN LLC 15311 WOOD HOW LN NORTHPORT, MI 49670 TEL: 641.563.2458	ROBERT DARAVAS ASSOCIATES 440 SOUTH MAIN STREET ANN ARBOR, MI 48104
CONTACT: TITLE: EMAIL:	CONTACT: TYLER RINK TYLER@TYLERRINK.DESIGN	CONTACT: BRAD CUTTER 734-761-8713 BCUTTER@ROBERTDARAVAS.COM
TENANT'S ARCHITECT:	M.E.P. ENGINEER:	CIVIL ENGINEER:
KEN NISCH, AIA 29110 INKSTER RD SUITE 200 SOUTHFIELD, MI 48034	SELLINGER ASSOCIATES, INC. 19821 FARMINGTON ROAD LIVONIA, MI 48152	GIFFELS WEBSTER 1025 E. MAPLE, SUITE 100 BIRMINGHAM, MI 48009 TEL: 248-852-3100
CONTACT: ANGELA HILL 248-663-1675 ABIANCO@JGA.COM	CONTACT: STEVEN J. BENASKE, PE 248-482-0045 SBNASK@SELLINGERINC.COM	CONTACT: JOSEPH K. ANDERSON 248-852-3100 JANDERSON@GIFFELASWEBSTER.COM

PROJECT CODE ANALYSIS

THESE PLANS COMPLY WITH THE PROVISION OF TITLE III OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) PUBLIC LAW 101-336, FOR HANDICAPPED ACCESSIBILITY FOR CUSTOMER AND EMPLOYEES.

ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA OF THE LANDLORD, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR.

THESE PLANS ARE IN CONFORMANCE WITH THE FOLLOWING CODES:

BUILDING:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
PLUMBING:	CITY OF BERKLEY ZONING ORDINANCE
MECHANICAL:	2015 MICHIGAN PLUMBING CODE
ACCESSIBILITY:	2015 MICHIGAN MECHANICAL CODE
ELECTRICAL:	MICHIGAN BARRIER FREE DESIGN LAW, P. A. 1966 AS AMENDED AND THE 2009 ICC/ANSI A117.1 STANDARD AS REFERENCED FROM CHAPTER 11 OF THE 2015 MICHIGAN BUILDING CODE
ENERGY CODE:	2017 MICHIGAN ELECTRIC & NEC 2017 WITH PART 8 CODE RULES
FIRE SAFETY CODE:	2015 INTERNATIONAL FUEL GAS CODE
USE GROUP:	2015 FIRE CODE., NFPA 13-2007, NFPA 72-2007
CONSTRUCTION TYPE:	M - MERCANTILE (SECTION 309) MARIJUANA RETAIL/ PROVISIONING FACILITY
COMPLIANCE METHOD:	IIIB PER SECTION 602.2; TABLE 601 UNPROTECTED COMBUSTIBLE WALL CONSTRUCTION NON-SPRINKLED
COMPLIANCE METHOD:	WORK AREA - ALTERATION LEVEL 3 (SECTION 505 OF 2015 MICHIGAN REHABILITATION CODE)

NOTE: THE DEVELOPER WILL BE REQUIRED TO PREPARE AND ENTER INTO A PERPETUITY MAINTENANCE AGREEMENT WITH THE CITY FOR THE PROPOSED PRIVATE STORMWATER SYSTEMS. THE APPLICANT MUST CONTACT THE CITY DPW REGARDING THESE ITEMS PRIOR TO COMMENCING CONSTRUCTION.

AREA CALCULATIONS

GROSS SQUARE FOOTAGE	
SALES AREA:	614
RECEPTION AREA:	375
BACK OF HOUSE AND TOILET ROOMS:	1,317
TENANT SPACE (BERKLEY AUTO CENTER):	590
VOID/ UNCONDITIONED SPACE:	389
TOTAL:	3,285

OCCUPANT LOAD (PER SECTION 1004.1.2):

SINGLE-LEVEL TENANT OCCUPIED SPACE	
SALES AREA (MERCANTILE):	614 SF 1/60 SF PER PERSON = 11 PEOPLE
RECEPTION AREA (ASSEMBLY):	375 SF 1/15 SF PER PERSON = 25 PEOPLE
BACK OF HOUSE AND TOILET ROOMS (MERCANTILE):	1,317 SF 1/300 SF PER PERSON = 5 PEOPLE
TENANT SPACE (BERKLEY AUTO CENTER) (B)	590 SF 1/150 SF PER PERSON = 4 PEOPLE

TOTAL OCCUPANT LOAD: = 45 PEOPLE

EXIT REQUIREMENTS: (PER 1006.2.1):

NUMBER OF EXITS REQUIRED: 1 NUMBER OF EXITS PROPOSED: 3
(1) EXITS FOR OCCUPANT LOAD OF 1 - 49

MAX TRAVEL DISTANCE 75' FOR NON-SPRINKLED

EXIT WIDTH REQ'D. FOR TENANT SPACE (PER 1005.3.2): PROVIDED:
0.2 X 45 (OCCUPANT LOAD) = 9" 36" EXIT WIDTH

aisle width req'd. (per 1018.3, table 1020.2) 44" MIN. W/ GREATER THAN 50 OCCUPANCY
MIN. AISLE ACCESS WAY REQ'D IN GROUP M (PER 1018.4): 30" MIN. ON AT LEAST 1 SIDE OF EACH DISPLAY CASE

MINIMUM PLUMBING FIXTURE REQUIREMENTS

(PER TABLE 403.1 - 2015 MI PLUMBING CODE)

OCCUPANCY	USE	OCC. LOAD	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAIN		SERVICE SINK REQUIRED	
			REQUIRED RATIO	REQUIRED PROVIDED	REQUIRED RATIO	REQUIRED PROVIDED	REQUIRED RATIO	REQUIRED PROVIDED	REQUIRED RATIO	REQUIRED PROVIDED
MERCH. (SALES AREA)	12.0		1/500 OCCUPANTS TOTAL FOR MALE AND FEMALE	0.02	1/750 OCCUPANTS TOTAL FOR MALE & FEMALE	.016	1/1000 OCCUPANTS	.012	1 SERVICE SINK (D)	
ASSEMBLY (RECEPT.)	27.00		1/25 OCCUPANTS FOR FIRST 50 AND 1/50 FOR THOSE EXCEEDING 50 OCCUPANCY FOR MALE AND FEMALE	1.08 1	1/40 OCCUPANTS FOR FIRST 80 AND 1/80 FOR THOSE EXCEEDING 80	.68 1	1/100 OCCUPANTS FOR MALE AND FEMALE	.27 1	N/A	1 1
STORAGE	7		1/100 OCCUPANTS FOR MALE AND FEMALE	.07	1/100 OCCUPANTS FOR MALE AND FEMALE	.07	1/100 OCCUPANTS FOR MALE AND FEMALE	.07	N/A	
GRAND TOTAL			1.17 1		.77 1		.46 1		1 (D) 1 (D)	

FOOTNOTES:
(A) DRINKING FOUNTAIN SHALL MEET ADA ACCESSIBILITY STANDARDS; ONE STANDING HEIGHT AND ONE FOR SEATED USED.
(B) UP TO 1/2 OF REQUIRED MALE WATER CLOSETS CAN BE REPLACED WITH URINALS.
(C) FOR ALL OCCUPANCIES COMBINED.
(D) FOR BUSINESS AND MERCANTILE OCCUPANCIES WITH AN OCCUPANT LOAD OF 15 OR FEWER, SERVICE SINKS SHALL NOT BE REQUIRED.
(E) IN OTHER OCCUPANCIES WHERE DRINKING FOUNTAINS ARE REQUIRED, WATER DISPENSERS SHALL BE PERMITTED TO BE SUBSTITUTED FOR NOT MORE THAN 50 PERCENT OF THE REQUIRED NUMBER OF DRINKING FOUNTAINS.

PROJECT DRAWING LIST

ARCHITECTURAL		REV	DATE	08.26.2022	SITE PLAN REVIEW	1	2	3	4	5	6
DRAWING #	DRAWING NAME										
A-0.0	COVER SHEET										
A-0.1	SITE PLAN PAKRING										
A-0.2	SITE PHOTOMETRICS										
F-1.1	FIXTURE FLOOR PLAN										
A-1.2	ROOF PLAN										
A-2.1	REFLECTED CEILING & LIGHTING PLAN										
A-3.1	EXTERIOR RENDERINGS										
A-3.2	EXTERIOR RENDERINGS										
A-4.1	FRONT EXTERIOR ELEVATIONS										
A-4.2	SIDE EXTERIOR ELEVATIONS										
A-4.3	REAR EXTERIOR ELEVATIONS										
CIVIL											
C-200	BOUNDARY AND TOPOGRAPHIC SURVEY										
C-300	DEMOLITION PLAN										
C-600	GRADING AND PAVING PLAN										
C-700	UTILITY PLAN										
C-720	UTILITY CALCULATIONS AND DETAILS										
L-100	LANDSCAPE PLAN										
L-200	LANDSCAPE DETAILS										

KEN NISCH, AIA

29110 INKSTER ROAD
SUITE 200
SOUTHFIELD, MI 48034
248-355-0890
248-355-0895 FAX
WWW.JGA.COM

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Certification:

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME AND OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE THEY CONFORM TO CODES AND ORDINANCES OF THE MUNICIPALITY



ARCHITECTURAL REG. 1301029210
EXPIRATION DATE 07/31/2023
TODAY'S DATE 08/26/2022

Consultants:



BRANDED ENVIRONMENTS

29110 INKSTER ROAD
SUITE 200
SOUTHFIELD, MI 48034
248-355-0890
248-355-0895 FAX
WWW.JGA.COM

MOSES ROSES

3120 W 11 MILE ROAD
BERKLEY, MICHIGAN 48072
± 3,285 SQUARE FEET

REVISION:

DRAWINGS ISSUED FOR:

08.26.2022 SITE PLAN SUBMITTAL

09.12.2022 SITE PLAN RESUBMITTAL

ARCH PROJECT NO.: 1-222-040

KN PROJECT NO.: N/A

DRAWN BY: PB

CHECKED BY: AH, KD

APPROVED BY: KN

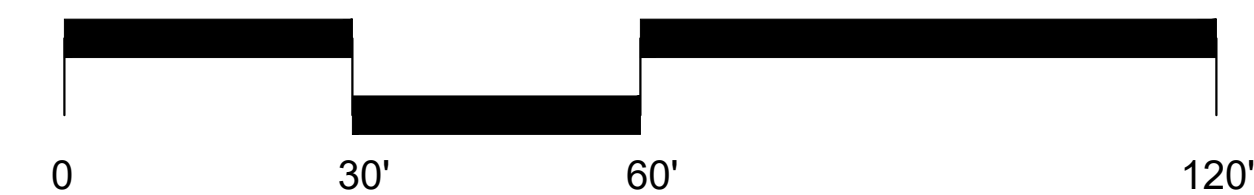
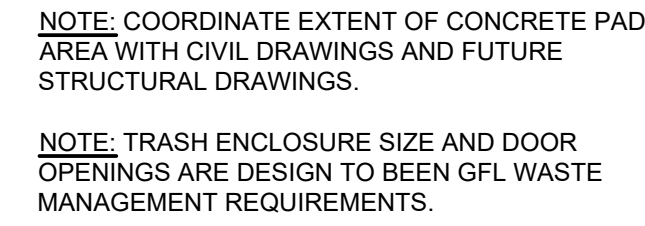
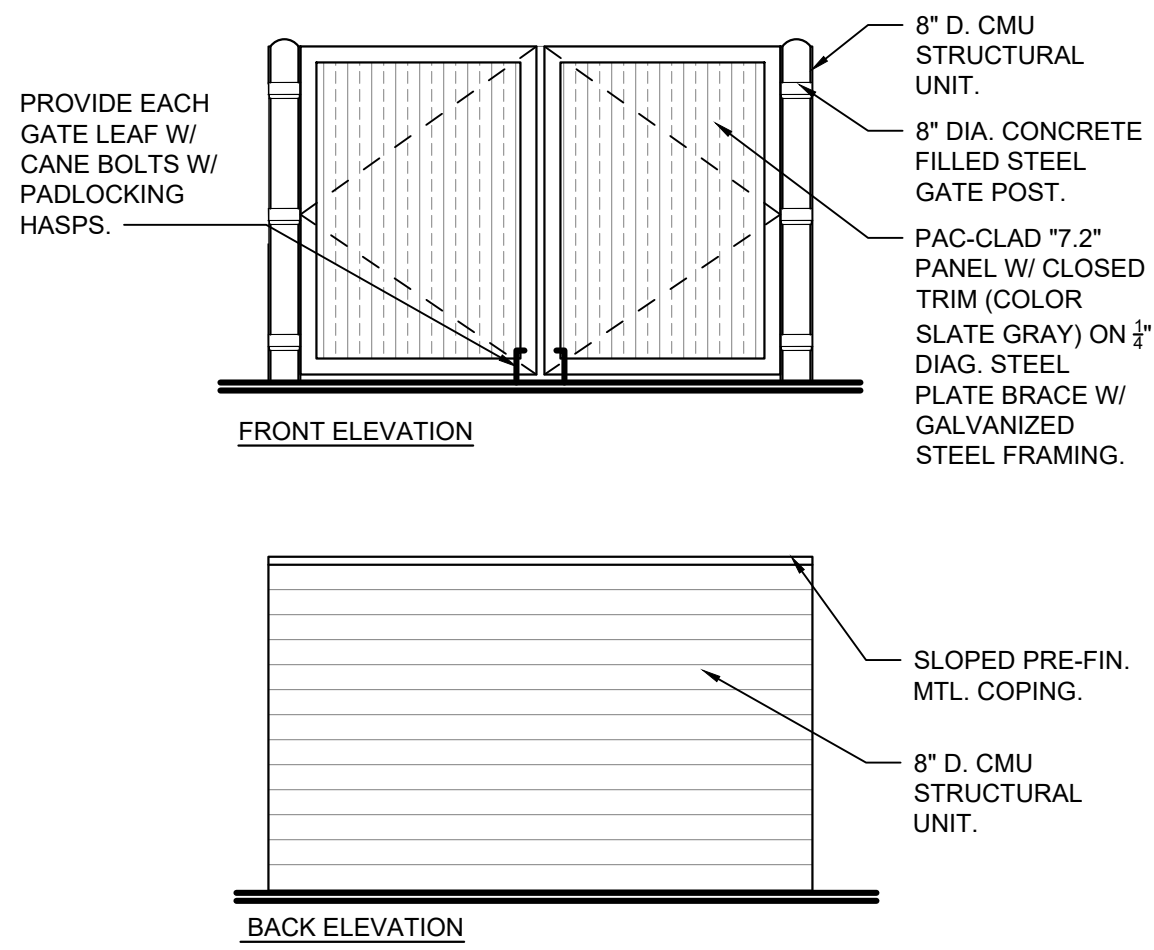
SCALE: AS NOTED

SHEET TITLE:

COVER SHEET

SHEET NO.

A-0.0



29110 INKSTER ROAD
SUITE 200
SOUTHFIELD, MI 48034
248-355-0890
248-355-0895 FAX
WWW.JGA.COM

3120 W 11 MILE ROAD
BERKLEY, MICHIGAN 48072
± 3,285 SQUARE FEET

DRAWINGS ISSUED FOR:	
08.26.2022	SITE PLAN SUBMITTAL
09.12.2022	SITE PLAN RESUBMITTAL

SHEET NO: **A-0.1**

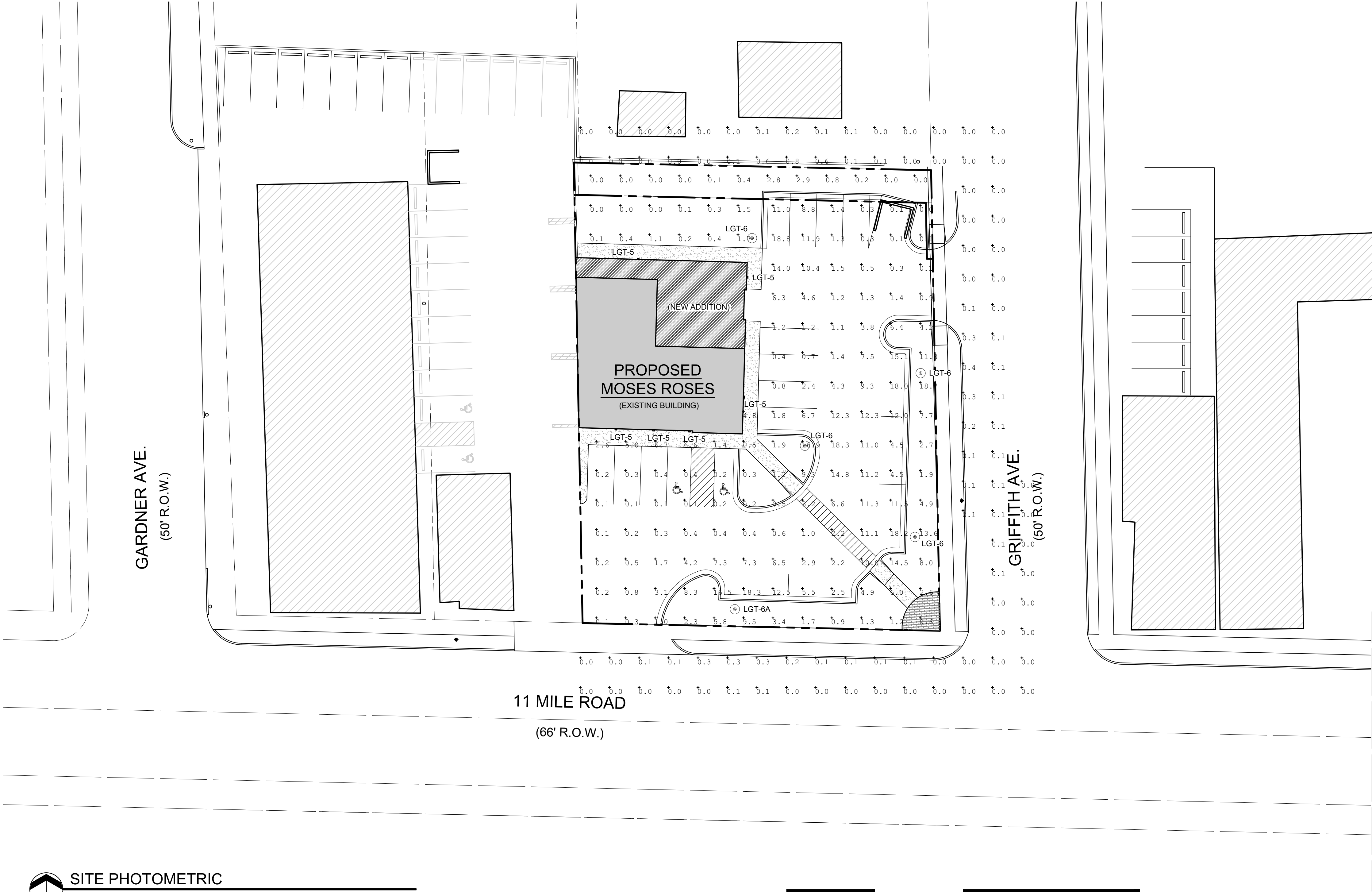
LIGHTING FIXTURE SCHEDULE									
TYPE	SYMBOL	MANUFACTURER	CATALOG NUMBER / INFORMATION	DESCRIPTION	TRIM & HSNQ.	WATTS	VOLTS	LAMP TYPE	REMARKS
LGT-6		LITHONIA LIGHTING	DSX2 LED P1 40K TFTM MVOLT HS	LED POST TOP LIGHT D SERIES SIZE 2 AREA LUMINAIRE	BLACVK	140W	120V	LED	POLE HEIGHT AT 10' AFF
LGT-6A		LITHONIA LIGHTING	DSX2 LED P1 40K T3M MVOLT HS	LED POST TOP LIGHT D SERIES SIZE 2 AREA LUMINAIRE	BLACK	140W	120V	LED	POLE HEIGHT AT 10' AFF
LGT-5		LIGHTOLOGY	CER880149	CALX OUTDOOR DOWNLIGHT WALL SCONCE, 2700K	MATTE GREY	14W	120V	LED	MOUNTED ON STOREFRONT @ 7'-6 1/2"
NOTE: THE CONTRACTOR IS RESPONSIBLE TO VERIFY WITH LOCAL CODES AND ORDINANCES THE USE OF THERMALLY PROTECTED LIGHTING FIXTURES. ALSO, RECESSED FIXTURES SHALL COMPLY WITH ARTICLES #410-64, #410-68, AND #410-73 OF THE NATIONAL ELECTRICAL CODE REGARDING TEMPERATURE, CLEARANCE, CONSTRUCTION AND INSTALLATION.									



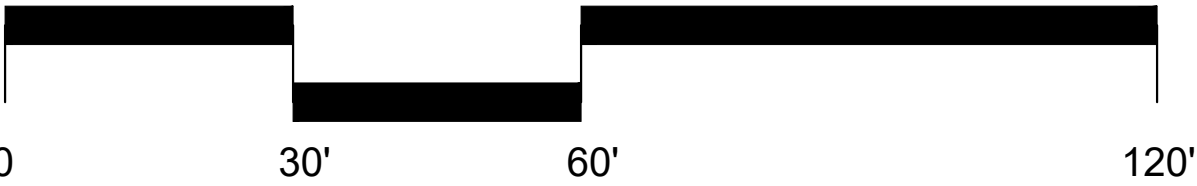
LGT-5



LGT-6 & LGT-6A



 SITE PHOTOMETRIC
SCALE: 1" = 20'-0"

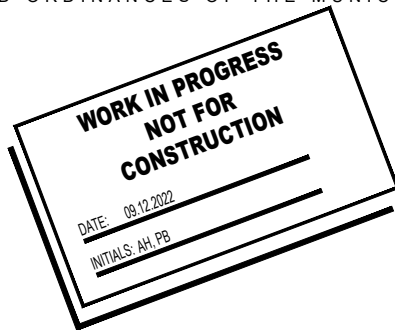


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EXPIRATION DATE 07/01/2023
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Consultants:



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MOSES ROSES

3120 W 11 MILE ROAD
BERKLEY, MICHIGAN 48072
± 3,285 SQUARE FEET

REVISION:

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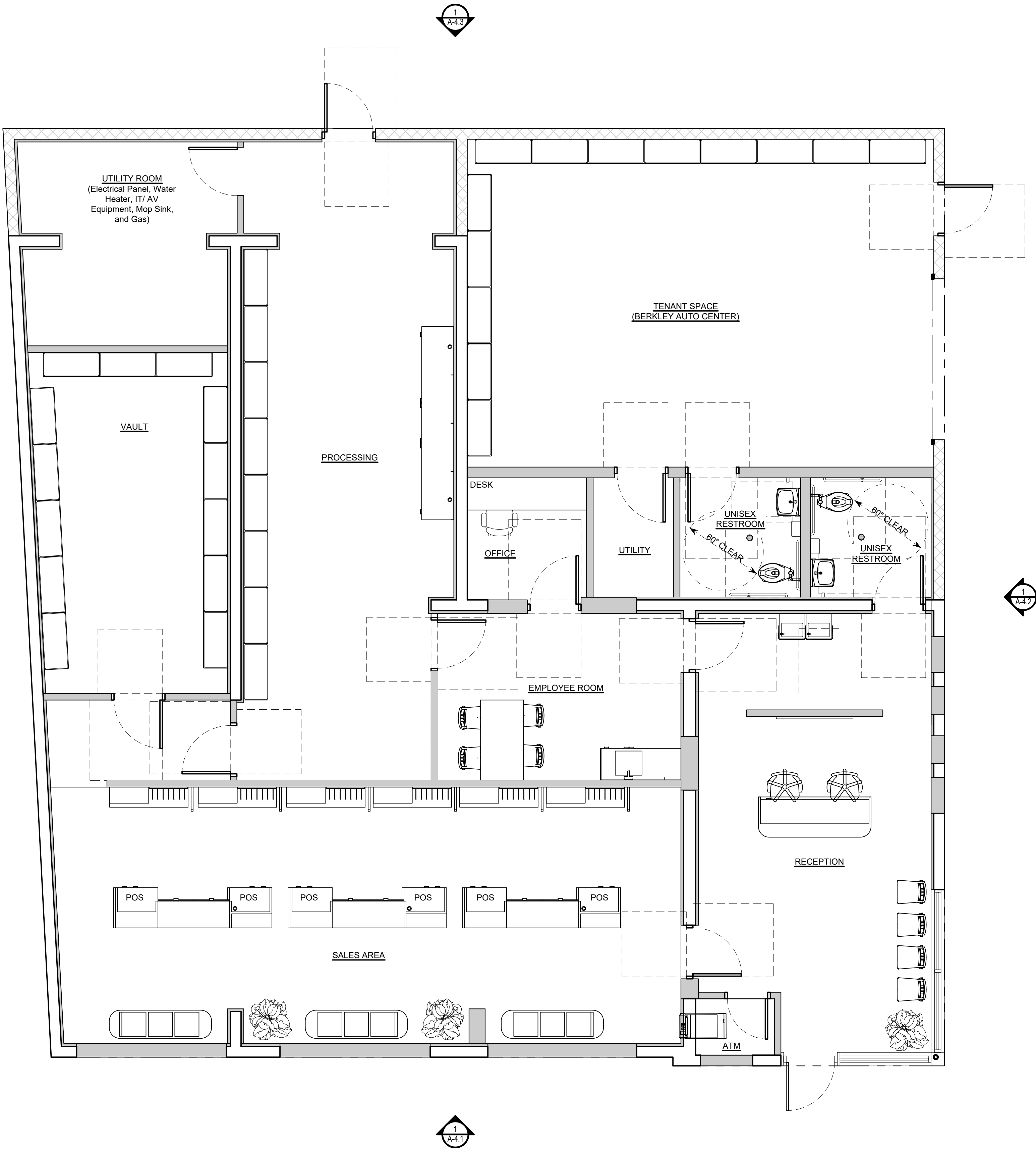
ARCH PROJECT NO.: 1-222-040
KN PROJECT NO.: N/A
DRAWN BY: PB
CHECKED BY: AH, KD
APPROVED BY: KN
SCALE: AS NOTED

SHEET TITLE:

SITE PLAN
PHOTOMETRIC

SHEET NO:

A-0.2



FIXTURE PLAN
SCALE: 1/4" = 1'-0"



PROPOSED INTERIOR RENDERINGS
SCALE: N/A

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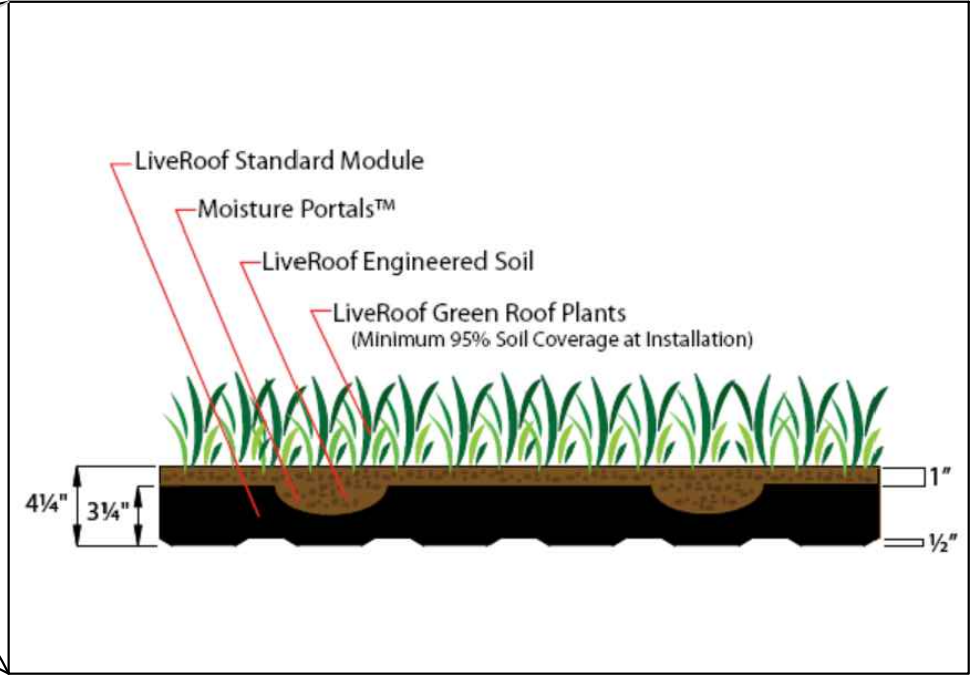
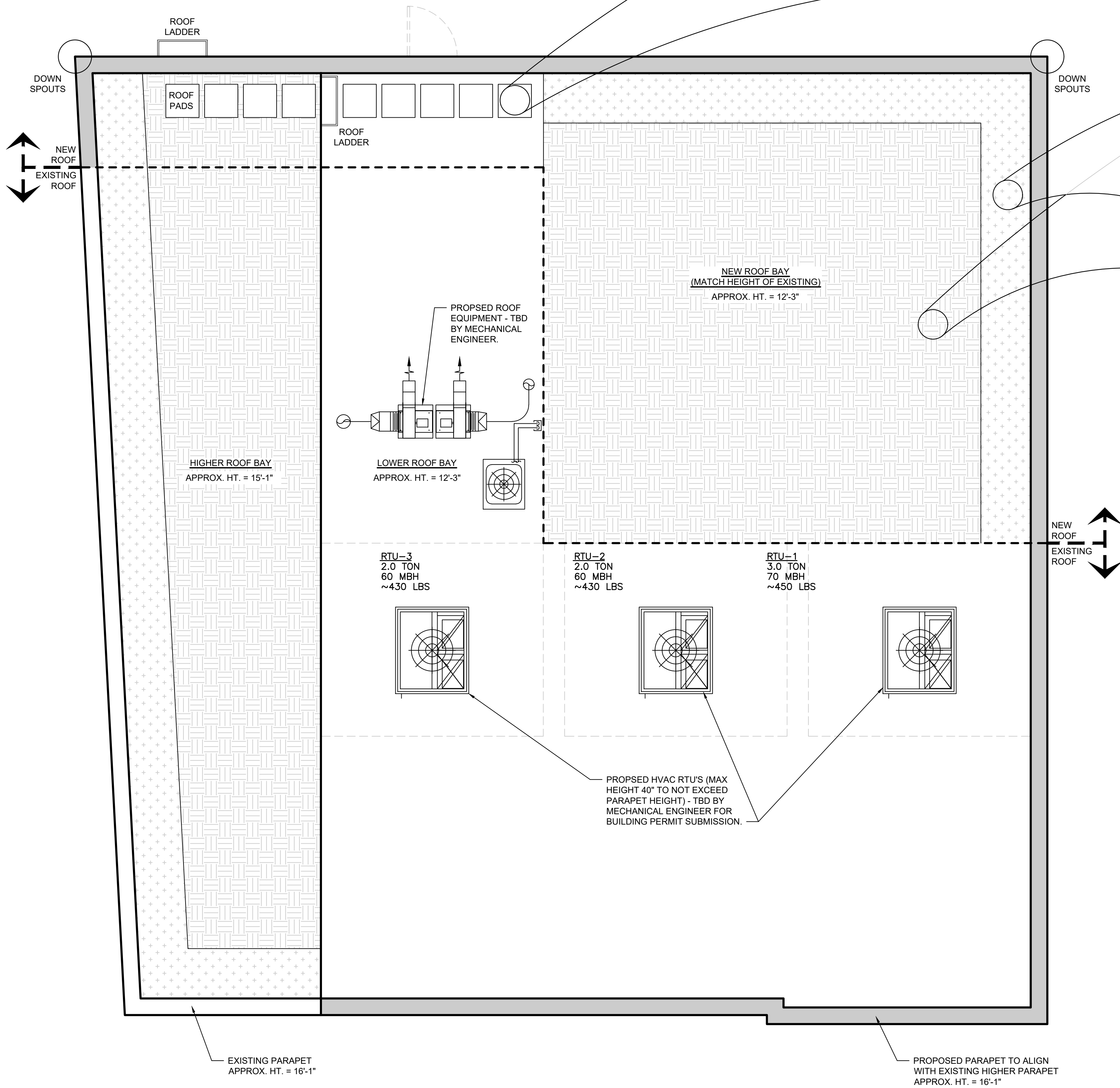
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APPROVED BY: KN
SCALE: AS NOTED

SHEET TITLE:

FIXTURE FLOOR PLAN
& RENDERINGS

SHEET NO.

F-1.1



ROOF LEGEND:

ROOF AREA: 3,298 SF

GREEN ROOF AREA:
HIGHER BAY - 685 SF
NEW ROOF BAY - 829 SF

TOTAL SF OF GREEN ROOF: 1,514 SF
46% OF ROOF AREA

PREMIUM MISED LOW GROWING PLANTS

MIXED LOW GROWING PLANTS

NOTE: REFER TO SHEET L200 FOR DETAILS AND SUGGESTED PLANTINGS.

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SHEET TITLE:

ROOF PLAN

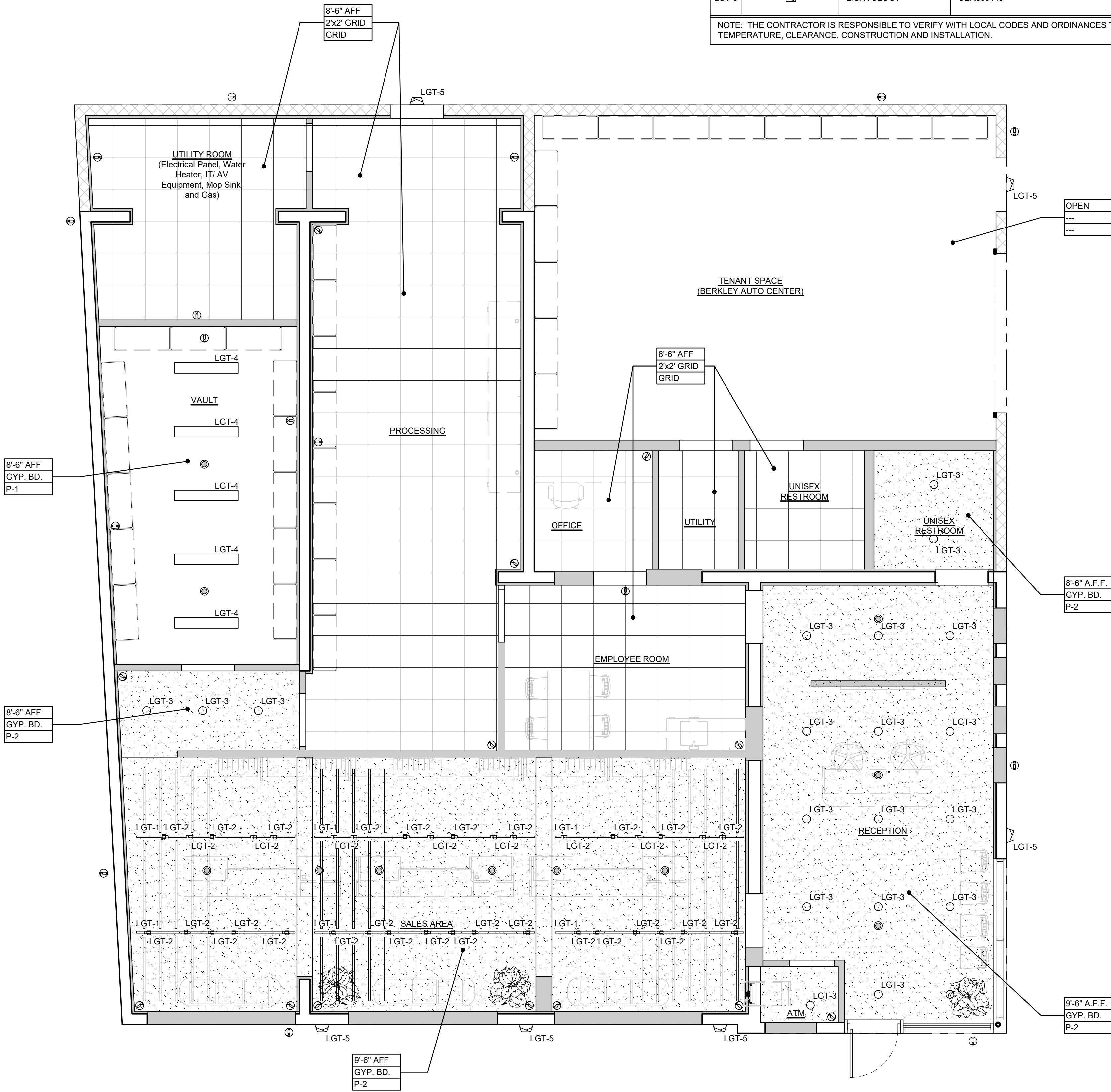
SHEET NO.

A-1.2



REFLECTED CEILING & LIGHTING PLAN

SCALE: 1/4" = 1'-0"



LIGHTING FIXTURE SCHEDULE

TYPE	SYMBOL	MANUFACTURER	CATALOG NUMBER / INFORMATION	DESCRIPTION	TRIM & HSNQ.	WATTS	VOLTS	LAMP TYPE	REMARKS
LGT-1		WAC	HT(X)-BK	120V SINGLE CIRCUIT "H" TRACK.	BLACK	N/A	120V	LED	LENGTH VARIES. PROVIDE NECESSARY CONNECTOR AND SUSPENSION ACCESSORIES. UNDERSIDE OF TRACK TO INSTALLED 8'-0" AFF.
LGT-2		WAC	SILO X20	BEAMSHIFT TRACK HEAD, DIMMABLE, 3000K, H-TRACK.	BLACK	20W	120V	LED	MOUNTED TO TRACK AS SHOW IN PLAN.
LGT-3		WAC	R2ARDL-S827-BK	2" TRIMLESS RECESSED DOWNLIGHTING, DIMMABLE, 3000K, 40 DEGREE BEAM ANGLE, 90 CRI	BLACK	15W	120V	LED	RECESSED IN GYP. BOARD CEILING AT RESTROOM, REFER TO PLAN.
LGT-4		MAXIM	53V74	SKY PANEL 48" BRUSHED ALUMINUM LED CEILING LIGHT, 3000K	WHITE	42W	120V	LED	SURFACE MOUNTED TO GYP. BOARD, REFER TO PLAN.
LGT-5		LIGHTOLOGY	CER880149	CALX OUTDOOR DOWNLIGHT WALL SCONCE, 2700K	MATTE GRAY	14W	120V	LED	

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SYMBOL LEGEND

SYMBOL	DESCRIPTION
	SURFACE MOUNTED 360° CAMERA
	SURFACE MOUNTED DIRECTIONAL CAMERA

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KN PROJECT NO.: N/A
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CHECKED BY: AH, KD
APPROVED BY: KN
SCALE: AS NOTED

SHEET TITLE:

REFLECTED CEILING
& LIGHTING PLAN

SHEET NO.

A-2.1



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SHEET TITLE:

EXTERIOR RENDERINGS

SHEET NO.

A-3.1



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SHEET TITLE:

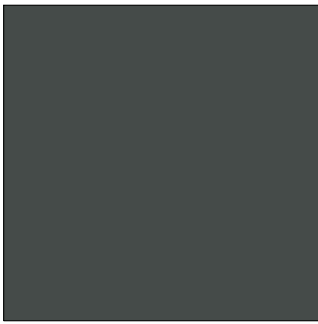
EXTERIOR RENDERINGS

SHEET NO.

A-3.2



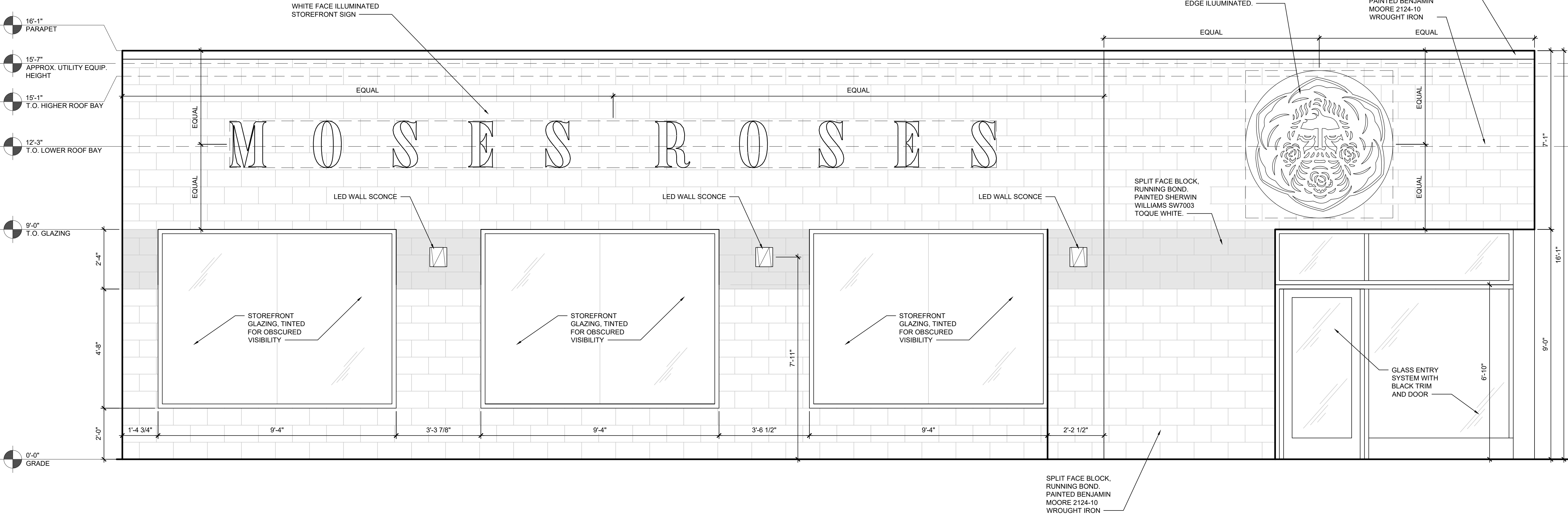
SHERWIN WILLIAMS
SW7003 TOQUE WHITE



BENJAMIN MOORE
2124-10 WROUGHT IRON

PROPOSED STOREFRONT GLAZING	
- BUILDING ELEVATION SQUARE FOOTAGE ON 11 MILE FRONTAGE =	885.5 S.F.
- REQUIRED STOREFRONT GLAZING SHALL BE 20 - 60% (177.1 S.F. - 531.3 S.F.)	
- STOREFRONT GLAZING PROVIDED =	287.5 S.F.

PROPOSED SIGNAGE	
- WHITE FACED TEXT SIGNAGE =	55 S.F.
- MEDALLION SIGN =	33 S.F.
- TOTAL SIGNAGE (MAX 100 S.F. PER ORDINANCE) =	88 S.F.



1 FRONT ELEVATION
A-4.1 SCALE: 1/2" = 1'-0"

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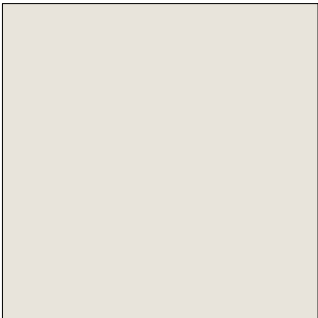
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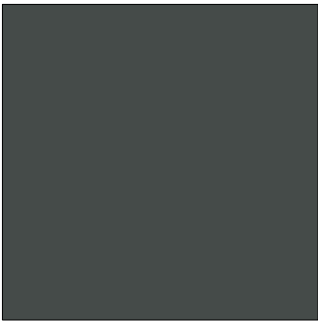
FRONT
EXTERIOR ELEVATION

SHEET NO:

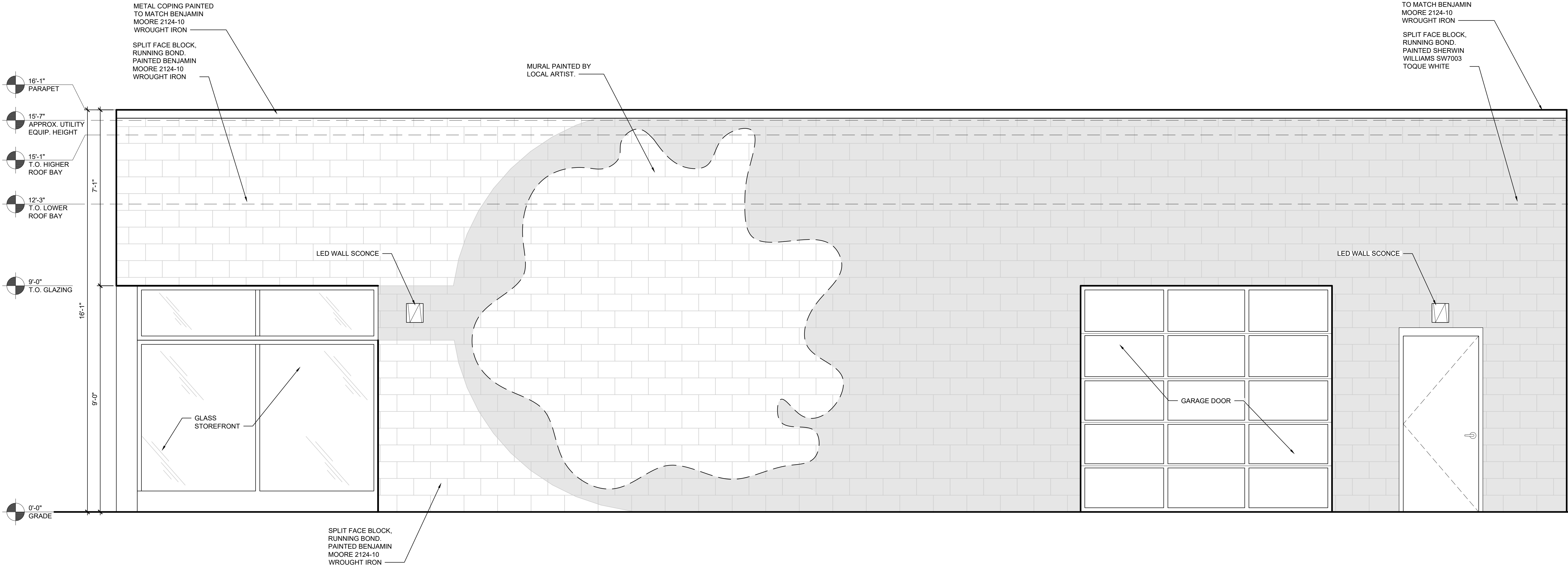
A-4.1



SHERWIN WILLIAMS
SW7003 TOQUE WHITE



BENJAMIN MOORE
2124-10 WROUGHT IRON



1 SIDE ELEVATION
A-4.2 SCALE: 1/2" = 1'-0"



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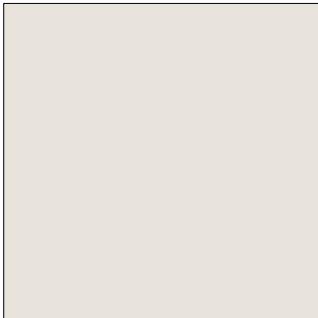
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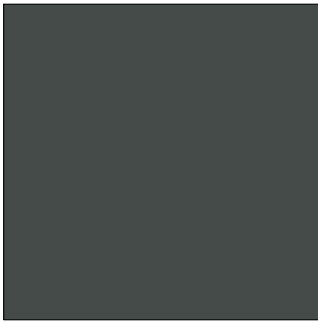
SIDE
EXTERIOR ELEVATION

SHEET NO:

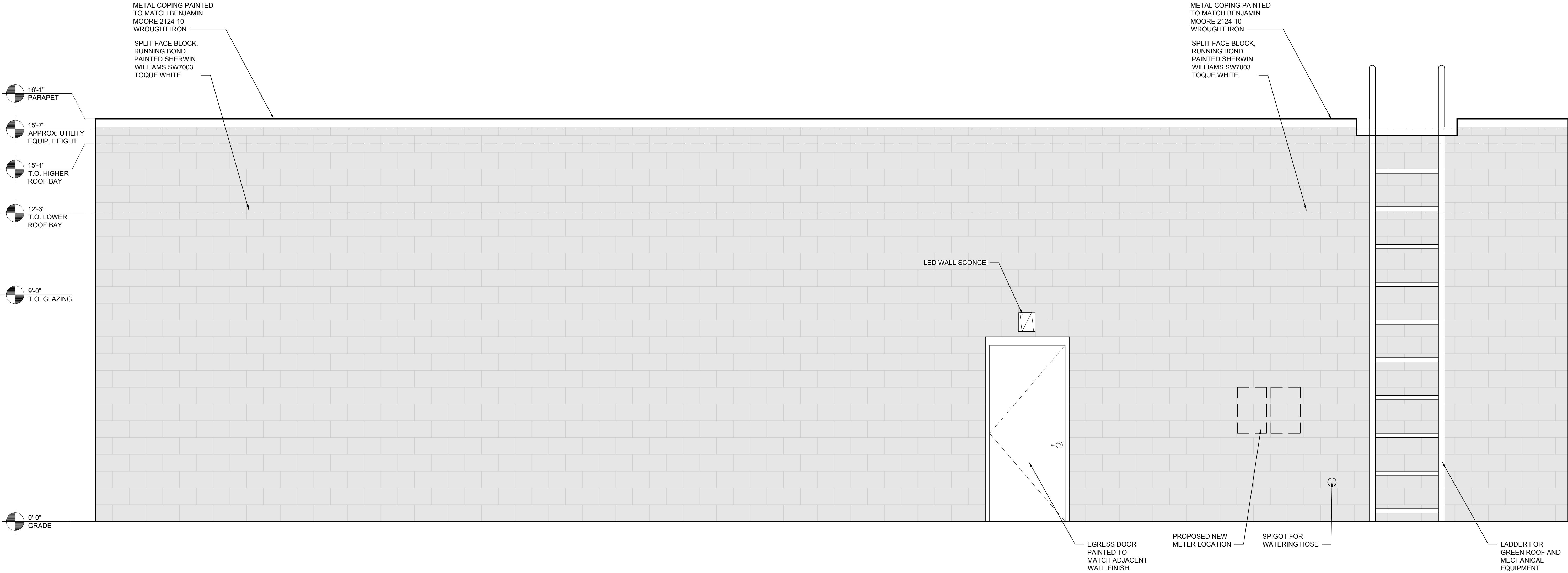
A-4.2



SHERWIN WILLIAMS
SW7003 TOQUE WHITE



BENJAMIN MOORE
2124-10 WROUGHT IRON



1 REAR ELEVATION
A-4.3 SCALE: 1/2" = 1'-0"



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SHEET TITLE:

REAR
EXTERIOR ELEVATION

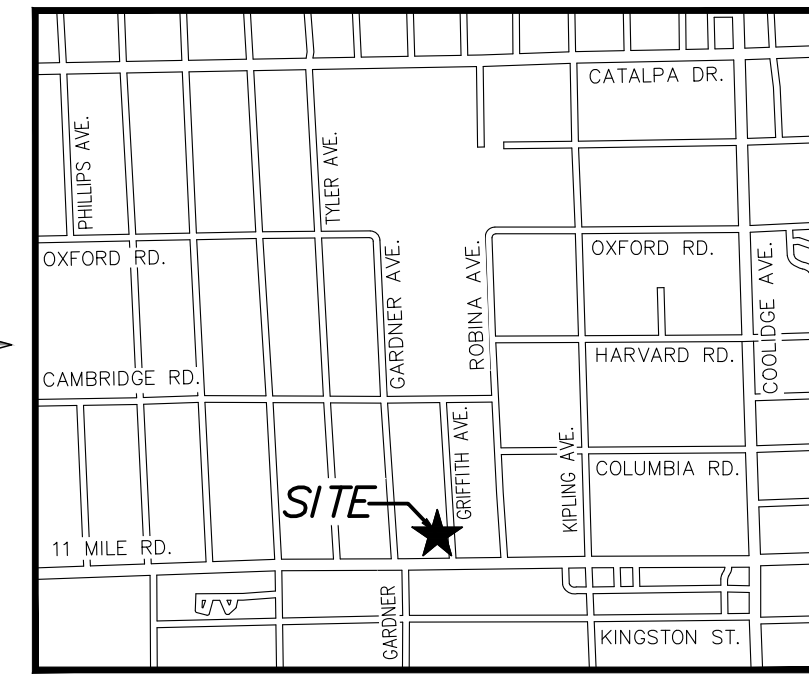
SHEET NO:

A-4.3

	SECTION LINE
	E/ PAVEMENT
	CURB
	E/ GRAVEL
	CL ROAD
	E/ WALK
	RAILROAD
	E/ BRICK
	MISC. LINE
	FENCE
	GUARD RAIL
	WALL
	BLDG. LINE
	OVERHEAD WIRES
	RAILING
	OVERHANG LINE
	T/ BANK
	B/ BANK
	CL DITCH/STREAM
	SHRUB LINE
	TREE LINE
	WATER EDGE
	WETLAND LINE
	STORM LINE
	SAN. LINE
	WATER LINE
	GAS LINE
	UG ELEC. LINE
	UG TEL. LINE
	UG CABLE TV LINE
	PAINT STRIPE
	COMBINED SEWER
	PLD LINE
	STEAM LINE
	ELECTRIC OVERHEAD
	TELEPHONE OVERHEAD

[illegible]

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
220	STORM MANHOLE	6" PVC	674.11	-2.48	671.63	EAST, NO FLOW.	NO OTHER PIPES VISIBLE. FULL OF WATER.
221	GATE VALVE	T/VALVE	674.84	-5.46	669.38		NO PIPES VISIBLE
222	SANITARY MANHOLE	12"	674.80	-5.72	669.08	WEST-NORTHWEST	
		CL 12" CHANNEL	674.80	-10.15	664.65	EAST & WEST, FLOWS EAST.	
		12" CONC.	674.80	-4.42	670.38	SOUTH	
223	CATCH BASIN		674.96		674.96		COULD NOT OPEN
224	GATE VALVE		675.45		675.45		COULD NOT OPEN
225	CATCH BASIN	PVC PIPE	674.51			NORTH	UNABLE TO DROP DUE TO BEING HEAVILY OFFSET W/ CLOSED LID. NO OTHER PIPES VISIBLE. FULL OF WATER.
		T/DEBRIS	674.51	-4.30	670.21		
253	CATCH BASIN	T/DEBRIS	673.99	-6.14	667.85		UNABLE TO OPEN WITHOUT POTENTIALLY DROPPING IN. SEALED LID. ABLE TO GET T/DEBRIS THROUGH HOLE.
308	ELECTRIC MANHOLE	BOTTOM	676.75	-8.94	667.81	WIRES EAST & WEST	
347	STORM MANHOLE	T/WATER	677.19	-2.80	674.39	NO PIPES VISIBLE	2" DIA. CONC. STRUCTURE. FULL OF WATER.
		T/DEBRIS	677.19	-4.64	672.55	NO PIPES VISIBLE	
373	TELEPHONE MANHOLE	BOTTOM	678.23	-8.34	669.89	WIRES SOUTH & WEST	
415	SANITARY MANHOLE	12"	678.38	-11.40	666.98	EAST, FLOWS EAST.	NO OTHER PIPES VISIBLE
		6" (DEGRADED)	678.38	-6.59	671.79	SOUTH	
464	STORM MANHOLE	6" PVC	676.37	-1.88	676.49	EAST	NO OTHER PIPES VISIBLE. FULL OF WATER.
466	ROUND CATCH BASIN	8" PVC	678.27	-2.63	675.64	NORTH & NORTHWEST	NO OTHER PIPES VISIBLE. FULL OF WATER.
		6" PVC	678.27	-2.26	676.01	WEST	
475	CATCH BASIN	T/10" PVC	678.22	-3.98	674.24	SOUTHWEST	COMES OUT OF SOUTHWEST WALL & BENDS DOWN TO BOTTOM. NO OTHER PIPES VISIBLE. FULL OF WATER.
		12" CONC.	678.22	-4.25	673.97	WEST TO STRUCTURE NO. 478	NO OTHER PIPES VISIBLE. FULL OF WATER.
476	SANITARY MANHOLE	12"	678.55	-9.85	668.70	NORTHWEST	NO OTHER PIPES VISIBLE
			678.55	-10.25	668.30	NORTH, FLOWS NORTH.	
			678.55	-5.55	673.00	NORTHEAST	
477	GATE VALVE	T/VALVE	678.72	-3.19	675.53		NO PIPES VISIBLE
478	CATCH BASIN	12" CONC.	678.48	-3.92	674.56	EAST TO CATCH BASIN	NO OTHER PIPES VISIBLE. FULL OF WATER.
521	TELEPHONE MANHOLE	T/DEBRIS	677.83	-7.70	670.13	WIRES NORTH & SOUTH	
522	TELEPHONE MANHOLE	T/DEBRIS	677.96	-7.55	670.41	WIRES NORTH & EAST	
551	ROUND CATCH BASIN	T/4" PIPE	678.05	-1.54	676.51		PIPE GOES STRAIGHT DOWN & THERE IS A BEND TO THE WEST. PIPE IS CAPPED AT TOP.
		T/BEND	678.05	-2.01	676.04	WEST	NO OTHER PIPES VISIBLE. FULL OF WATER.
		BOTTOM	678.05	-3.37	674.68		
692	ROUND CATCH BASIN	TOP OF CAPPED METAL PIPE	676.29	-0.82	675.47	SOUTHWEST & WEST	NO OTHER PIPES VISIBLE. FULL OF WATER.
		T/DEBRIS	676.29	-2.07	674.22		

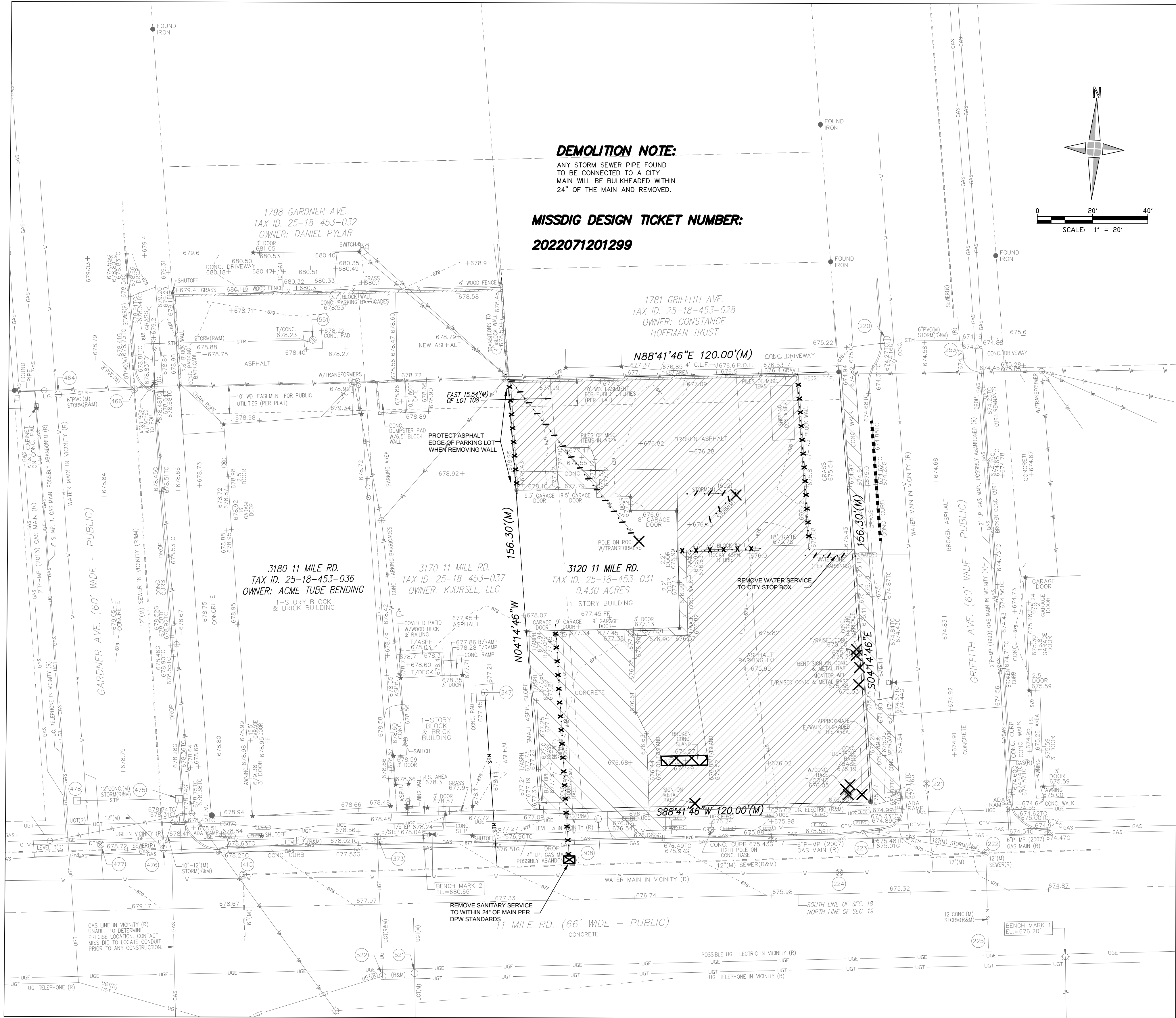


2022071201299



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H:\2020\2020\20281_00 Moses Roses Benkley\Design\CAD\SITE PLAN\300 DEMO PLAN\MOSES ROSES SP.dwg



DEMOLITION NOTE:
ANY STORM SEWER PIPE FOUND TO BE CONNECTED TO A CITY MAIN WILL BE BULKHEADED WITHIN 24" OF THE MAIN AND REMOVED.

MISSDIG DESIGN TICKET NUMBER:
2022071201299

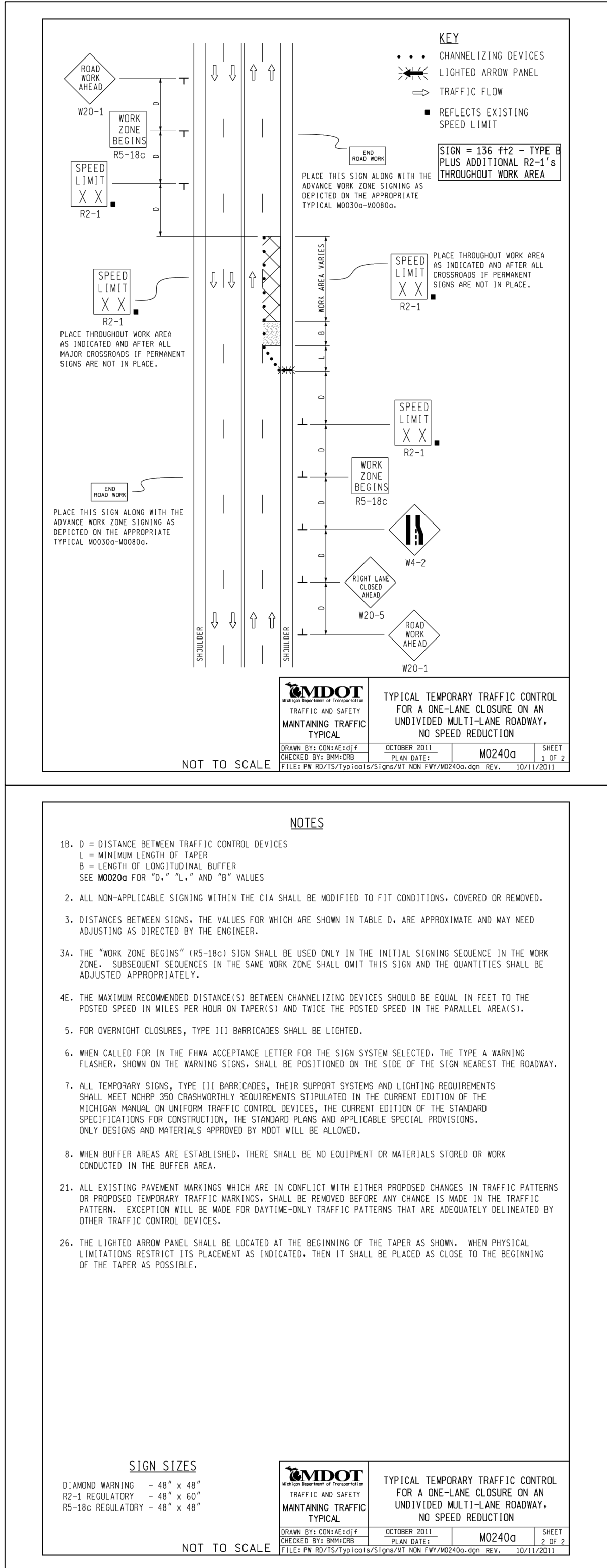
- CONSTRUCTION SCHEDULE:**
1. PRECONSTRUCTION: NOVEMBER 1-9, 2022
 2. MOBILIZATION: NOVEMBER 10-14, 2022
 3. SOIL EROSION MEASURES: NOVEMBER 15-16, 2022
 4. SITE GRADING / STORM SYSTEM: NOVEMBER 17-29, 2022
 5. BUILDING FOOTINGS: DECEMBER 1-13, 2022
 6. R.O.W. WORK (UTILITIES & DRIVES): DECEMBER 14-21, 2022
 7. BUILDING INTERIOR WORK: JANUARY 1 - FEBRUARY 27, 2022
 8. EXTERIOR BUILDING WORK: MARCH 1-21, 2022
 9. SITE LANDSCAPE: MARCH 22 - APRIL 7, 2022
 10. SITE CLOSEOUT: APRIL 7-14, 2022

- DEMOLITION LEGEND:**
- X REMOVE OBJECT
 - · · · · REMOVE WALL / FENCE
 - - - - - ABANDON / REMOVE UTILITY
 - CUT AND BULKHEAD UTILITY
 - REMOVE EXISTING CURB
 - REMOVE STRUCTURE
 - REMOVE ASPHALT PAVEMENT
 - REMOVE CONCRETE SURFACE

- ROW WORK NOTES:**
1. CALL INSPECTOR OR PERMIT SUPERVISOR BEFORE BEGINNING ANY WORK IN ROW.
 2. PROPER SIGNING IS REQUIRED BEFORE ANY WORK IN THE ROW IS STARTED.
 3. LANE CLOSURES ARE RESTRICTED TO 9-3 MONDAY THRU FRIDAY.
 4. MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES.
 5. A FLAG PERSON IS REQUIRED FOR TEMPORARY ONE LANE ROADS.
 6. UTILITIES WITHIN THE INFLUENCE OF THE ROADBED SHALL HAVE MDOT CLASS II SAND, COMPACTED TO 95% MAX. UNIT DENSITY.
 7. HAND DIG AROUND ALL UTILITY CROSSINGS.
 8. FULL DEPTH SAWCUT CONCRETE PAVEMENT, WITH LOCATION / WIDTH AS DIRECTED BY CITY INSPECTOR.
 9. REPLACE 11 MILE ROAD CONCRETE PER CITY STANDARDS / AS DIRECTED BY CITY INSPECTOR

TRAFFIC CONTROL NOTES FOR WORK IN ROW

1. PRIOR TO START OF CONSTRUCTION, THE GENERAL CONTRACTOR PERFORMING THE WORK WILL PREPARE A TRAFFIC CONTROL PLAN AND SEQUENCE OF CONSTRUCTION FOR REVIEW/APPROVAL BY THE CITY OF BERKLEY DPW. ALL WORK WILL BE PERMITTED BY THE CITY OF BERKLEY.
2. A QUALIFIED CONTRACTOR WILL PROVIDE ALL SIGNS & CONES FOR LANE CLOSURES AND REDIRECTS. THE WORK FOR NEW CURB, STORM SEWER TIE-IN WILL BE PERFORMED SIMULTANEOUSLY TO MINIMIZE DISRUPTION, AND WILL BE COMPLETED WITHIN A THREE-WEEK WINDOW. THE CREWS WILL PUT THE CONES BACK TO FREE UP THE LANES ON NIGHTS AND WEEKENDS.
3. CONTRACTOR TO UTILIZE MDOT TEMPORARY TRAFFIC CONTROL PROCEDURES FOR A ONE-LANE CLOSURE ON AN UNDIVIDED MULTI-LANE ROADWAY FOR THE NORTHERLY WESTBOUND LANE ON WEST 11 MILE ROAD PER DRAWING M0240A IN THE MDOT STANDARDS.



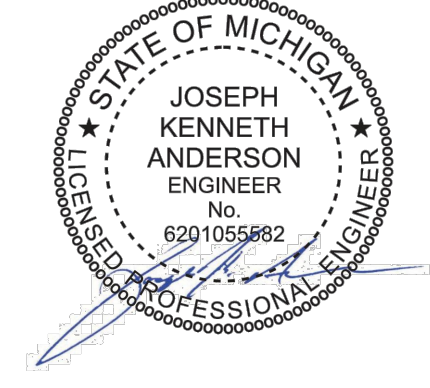
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Executive: MP
Manager: JKA
Designer: JKA
Quality Control: MP
Section: 18
T-01-N R-11-E

Professional Seal:



811

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DATE:	ISSUE:
08.26.2022	SITE PLAN SUBMITTAL
08.12.2022	SITE PLAN RESUBMITTAL

Developed For:

JGA
29110 INKSTER ROAD
SUITE 200
SOUTHFIELD, MI 48034
248-340-9400

DEMOLITION PLAN

MOSES ROSES

CITY OF BERKLEY
OAKLAND COUNTY
MICHIGAN

Date: 08.19.2022
Scale: 1" = 20'
Sheet: C-300
Project: 20281.00

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T-01-N R-11-E	

A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the name "JOSEPH KENNETH ANDERSON", the title "ENGINEER", the word "No.", and the license number "6201055682". A blue ink signature is written across the bottom half of the seal.

Know what's below.
Call before you dig.

[illegible]

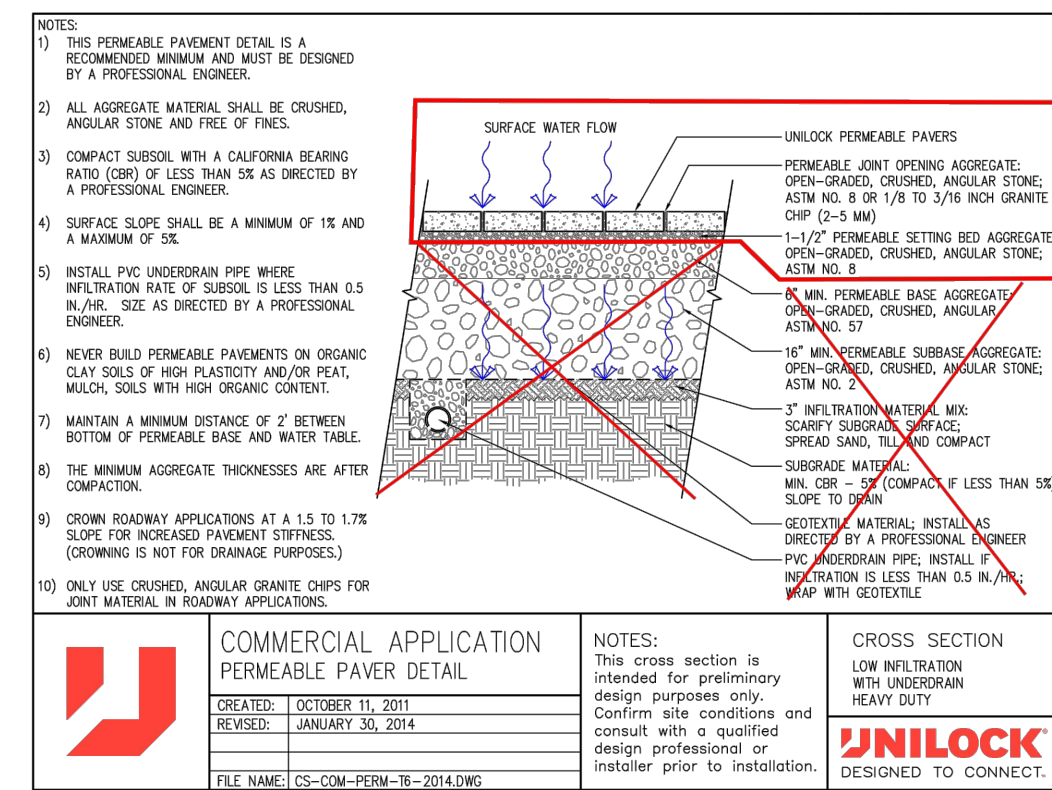
JGA
WILKINSON ROAD
SUITE 200
FIELD, MI 48034

248-340-9400

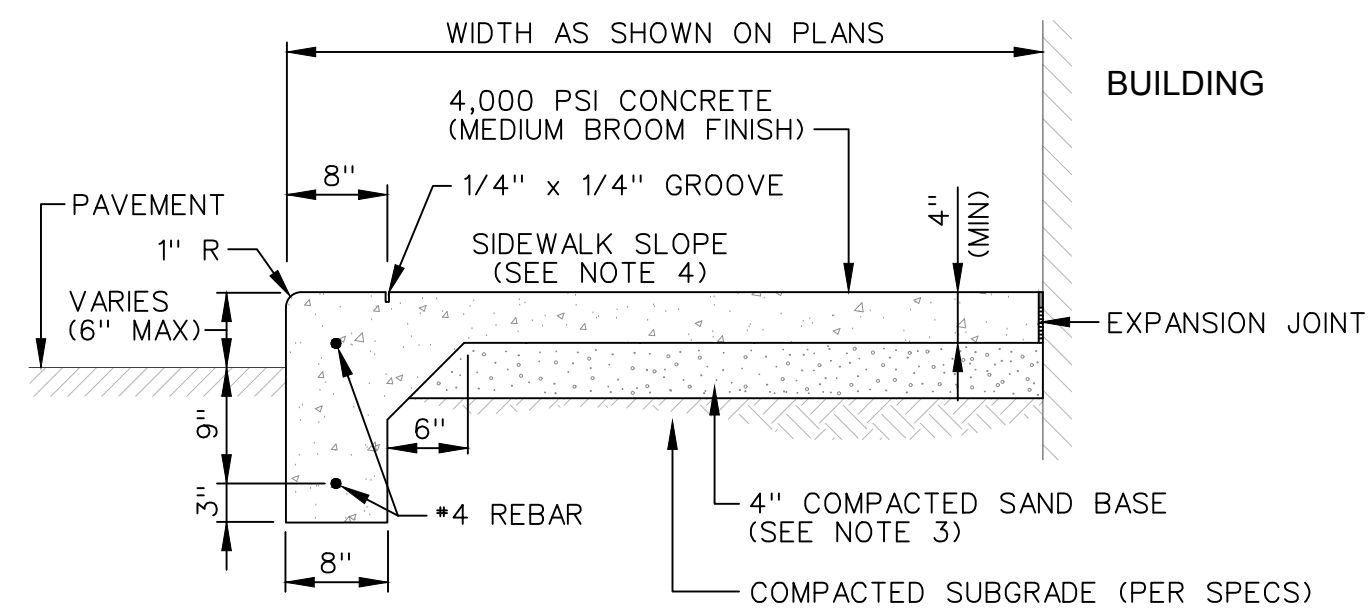
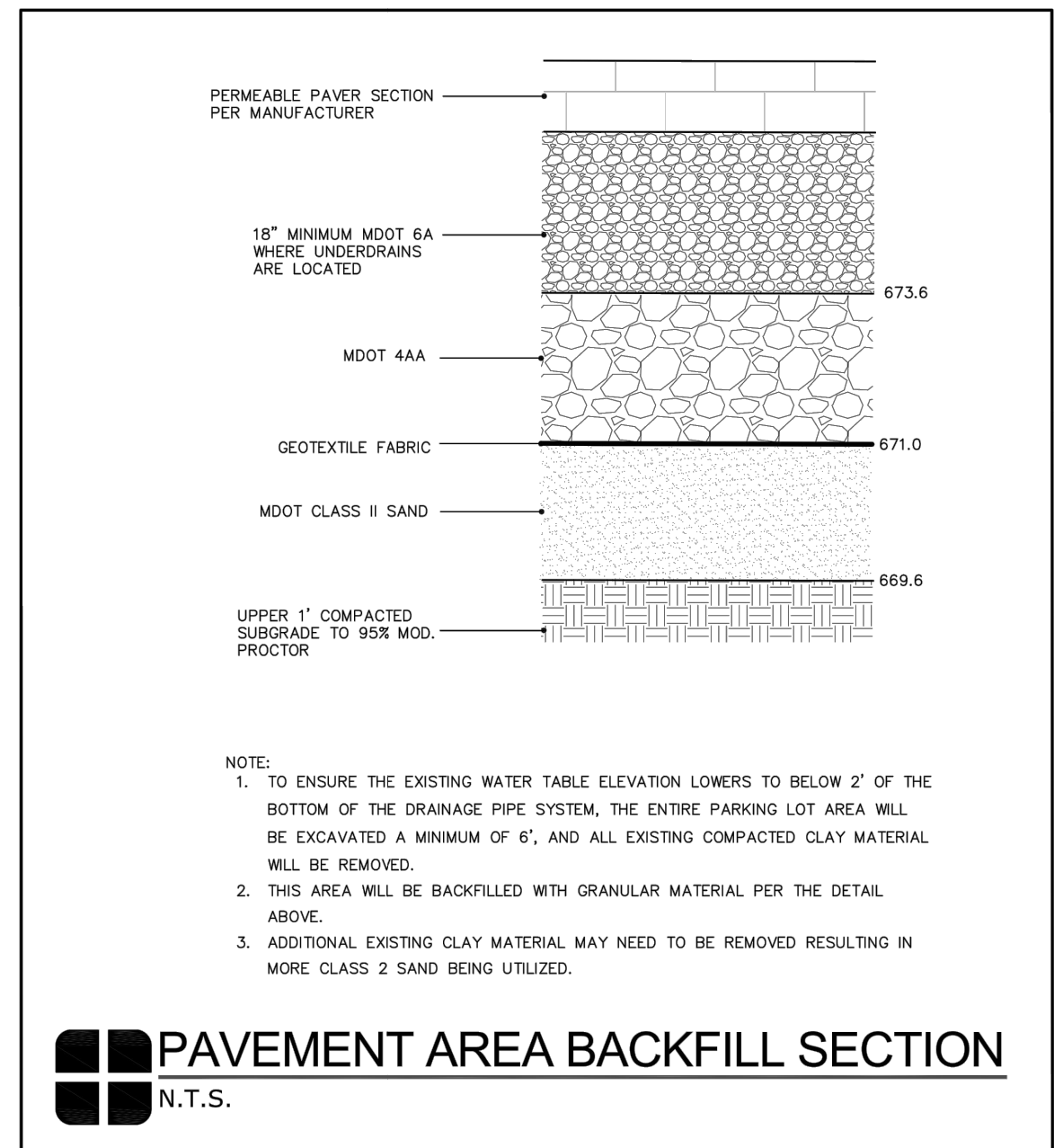
MOSES ROSES

Date:	08.19.2022
Scale:	1" = 20'
Sheet:	C-600
Project:	20281.00

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Environmentally friendly paving continues to be on the forefront of our agenda for the future. This paver has gained world-wide acceptance as the paver-of-choice for performance and as an environmental solution for stormwater runoff. Only the patented "L" shaped design allows you to achieve a superior lock-up that can withstand even the heaviest of loads residentially and commercially. The innovative design creates small voids between the pavers providing drainage into the sub-base.



NOTES:

1. EXPANSION JOINTS: 1/2" WIDE x FULL DEPTH, AT 25' INTERVALS TRANSVERSELY, AROUND EMBEDDED ITEMS SUCH AS LIGHT BASES AND AT ABUTTING STRUCTURES SUCH AS BUILDINGS OR CURBS.
2. CONTRACTION JOINTS: 1/4" WIDE x 1" DEEP, ARRANGE TO FORM PANELS 6' MAXIMUM IN EITHER DIRECTION.
3. SAND BASE MATERIAL SHALL MEET THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.
4. SIDEWALK SLOPE SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.0%.

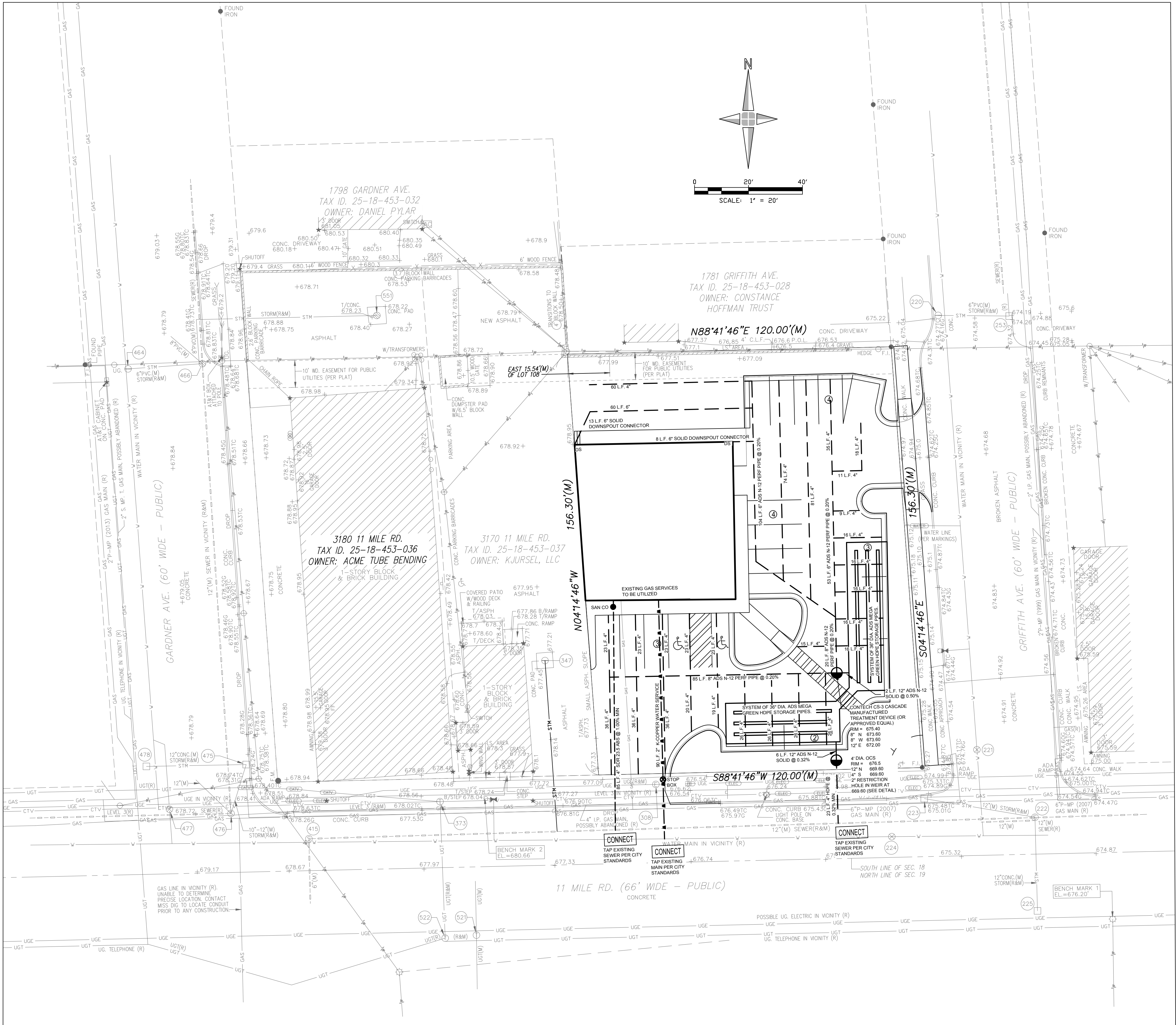
NOT TO SCALE

PR 4" CONCRETE PAVEMENT

PR TOP OF WALK GRADE
PR TOP OF PAVEMENT GRADE
PR TOP OF CURB GRADE
PR GUTTER GRADE
PR FINISH GRADE

3. RAMPS: CROSS SLOPES SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPES SHALL NOT EXCEED 8.3%.

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CONNECT NOTE:

CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS AND CROSSINGS AND SUPPLY ELEVATIONS AND LOCATIONS TO THE DESIGN ENGINEER TO CONFIRM OR ADJUST DESIGN.

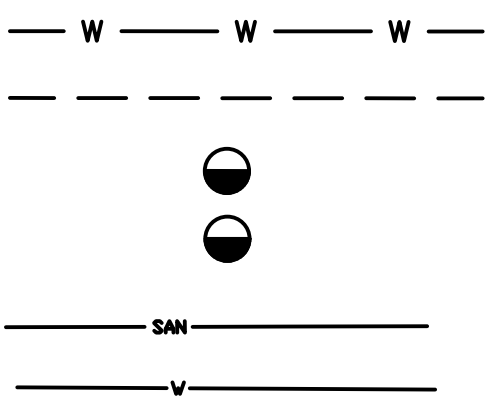
UTILITY PIPE MATERIALS:

STORM SEWER - ADS-N12, RCP CLIV, OR APPROVED EQUAL
SANITARY LEAD - 4" SDR 23.5 ABS, OR CITY APPROVED EQUAL
WATER SERVICE - 2" K-COPPER OR CITY APPROVED EQUAL

STORMWATER SYSTEM NOTE:

STORMWATER MANAGEMENT SYSTEM WILL BE A PRIVATE SYSTEM UNDER THE MAINTENANCE OF THE PROPERTY OWNER. A MAINTENANCE AGREEMENT BETWEEN OWNER AND CITY OF BERKLEY WILL BE PROVIDED ONCE PLAN IS APPROVED. ALL NECESSARY EXHIBITS WILL BE INCLUDED WITH THE AGREEMENT.

LEGEND



PR WATER SERVICE
PR STORM SEWER
PR OUTLET CONTROL STRUCTURE
PR MANUFACTURED TREATMENT DEVICE
EX SANITARY LEAD
EX WATER SERVICE

SITE CIVIL NOTES OF INTENT

- GRADING AND SESC: ALL GRADING AND SOIL EROSION & SEDIMENTATION CONTROL MEASURES WILL BE IMPLEMENTED AND STRICTLY ENFORCED THROUGHOUT CONSTRUCTION.
- SANITARY SERVICE: THE EXISTING SANITARY SERVICE IS PROPOSED TO BE REMOVED. A NEW SANITARY LEAD WILL BE INSTALLED.
- WATER SERVICE: THE EXISTING WATER SERVICE WILL BE REMOVED TO THE CITY STOP BOX. A NEW 2" SERVICE WILL BE CONNECTED AND INSTALLED TO THE BUILDING. THE BUILDING WILL NOT BE FIRE SUPPRESSED.
- STORMWATER MANAGEMENT: A GREEN ROOF, AND PERMEABLE INTERLOCKING CONCRETE PAVERS (PICP) ARE PROPOSED TO REDUCE THE OVERALL STORMWATER RUNOFF FOR THE SITE.
- THE EXISTING STORM CATCH BASIN IN THE PARKING LOT WILL BE REMOVED AND DISCONNECTED FROM ANY CITY SEWERS AND BULK HEADED WITHIN 24" OF CITY MAIN.
- THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER STORMWATER ENGINEERING DESIGN STANDARDS, UPDATED 11/22/2021, DO NOT APPLY TO THIS DEVELOPMENT PROJECT AS THE SITE IS LESS THAN 1 ACRE. HOWEVER, LOW IMPACT DESIGN ENGINEERING PRACTICES HAVE BEEN UTILIZED TO GREATLY REDUCE THE EFFECTS OF STORMWATER RUNOFF FROM THIS PROJECT AS DESCRIBED HEREIN, AND THE DESIGNED STORAGE DOES MEET OCWRC STANDARDS.
- THERE WILL BE A NETWORK OF PERFORATED PIPES UNDER THE PERMEABLE PAVERS TO DIRECT THE INFILTRATED STORMWATER TO THE MECHANICAL TREATMENT DEVICE. THESE PIPES WILL BE SET ABOVE THE HIGH WATER TABLE LEVEL DESCRIBED IN THE SOIL REPORT OF 6733.6.
- AN ADDITIONAL 12" OF IN SITU SOIL WILL BE REMOVED AND REPLACED WITH 4AA STONE TO AID IN THE LOWERING OF THE WATER TABLE ELEVATION. THIS STONE WILL BE BELOW THE NETWORK OF PERFORATED PIPES.
- ALL PAVEMENT AND SOIL REMOVAL WILL BE DONE IN ACCORDANCE WITH EGLE REQUIREMENTS.
- THIS SITE WILL ALSO UTILIZE A CASCADE SWIRL CHAMBER TO CAPTURE FLOATABLES AND FILTER OUT SEDIMENT. THIS UNIT HAS NJDEP CERTIFICATION.
- THE PROPOSED OUTLET CONTROL STRUCTURE NEAR 11 MILE ROAD WILL BE RESTRICTED TO ALLOW 0.09cfs OUTFLOW AND DEWATER WITHIN 50 HOURS. (SEE CALCULATIONS).

MISSDIG DESIGN TICKET NUMBER:

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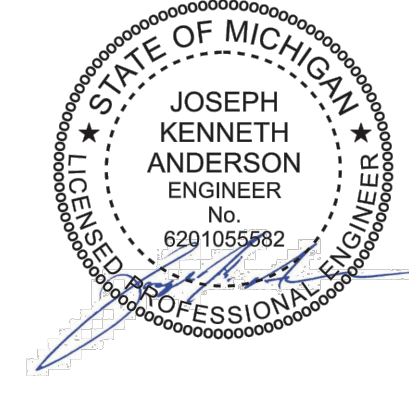
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Professional Seal:



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DATE:	ISSUE:
08.26.2022	SITE PLAN SUBMITTAL
08.12.2022	SITE PLAN RESUBMITTAL

Developed For:

JGA
29110 INKSTER ROAD
SUITE 200
SOUTHFIELD, MI 48034
248-340-9400

UTILITY PLAN

MOSES ROSES

CITY OF BERKLEY
OAKLAND COUNTY
MICHIGAN

Date:	08.19.2022
Scale:	1" = 20'
Sheet:	C-700
Project:	20281.00

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Weighted "C" Calculation									
	Area (acres)	C	Area x C						
Building Roofs (Standard)	0.04	0.95	0.04						
Building Roofs (Green)	0.04	0.35	0.01						
Pavement (Standard Concrete)	0.03	0.95	0.03						
Pavement (Permeable Conc. Pavers)	0.21	0.50	0.11						
Lawn Areas	0.11	0.35	0.04						
Total	0.43		0.22						
$C = \frac{\text{Area} \times C}{\text{Area}}$			0.22			0.52			

Water Quality Control									
Mechanical Separators: Mechanical separators designed for the required TSS removal at a peak flow rate (Q_{peak}) generated by a 1-year peak flow. Calculate Time of Concentration - Time required for water to travel from the hydraulically most remote point of the drainage sub-area to a design point. Sheet Flow (no more than 300')									
Velocity of sheet flow, V_{sheet}	=	K	$K = 0.48$	x	$S^{0.5}$	$S = 1.00$	Slope of flow path in percent		
V_{sheet}	=	0.48		x	1.00	0.68			
V_{sheet}	=	0.48		$S^{0.5}$					
	=			L	112	ft	Flow Length		
Travel Time, T_{sheet}	=	$\frac{L}{V_{\text{sheet}}}$		x	V_{sheet}				
T_{sheet}	=	3.600							
T_{sheet}	=	3.600		x	0.48				
T_{sheet}	=	0.06		hours	=	3.89	minutes		

Pipe Flow									
T_{pipe}	=	1.00	minutes	(from pipe network calculations, subtract initial T_C (15 or 20 minutes) from ending T_C)					
Time of Concentration T_C	=	T_{sheet}	+	T_{runway}	+	T_{pipe}	+	Infiltration	Added time for infiltration through pavers and stone bed.
T_C	=	3.89	+	0.00	+	1.90	+	13.70	
Time of Concentration T_C	=	18.59	minutes						
Peak Rainfall Intensity I_p	=	35.44	/	(T_C	$+ 9.17^{\beta^{0.1}}$			
I_p	=	35.44	/	(18.59	$+ 9.17^{\beta^{0.1}}$			
I_p	=	2.40	inches / hour						
C Factor	=	0.52		I_p	=	2.40	in/hr	Property Area	= 0.43 acres
Peak Flow Rate Q_{peak}	=	C	x	I_p	x	A			
Q_{peak}	=	0.52	x	2.40	x	0.43			
Q_{peak}	=	0.54	cfs						

Detention and Flood Control									
The allowable 100-year post-development peak flow rate (Q_{peak}) shall be approved by the OCWRPC office on a case-by-case basis and will be calculated one of two ways: 1. Using the Variable Release Rate (see equations below); 2. County-determined peak flow rate based on a documented County Drain flow capacity or other known downstream. Prior to commencing with site plan design, contact the OCWRPC Permitting Department to confirm which of the above methods is more restrictive and will apply to your site.									
Allowable 100-year Post Development Peak Flow Rate Q_{peak}	=	Q_{peak}	x	A					
Q_{peak}	=	0.20	x	0.43					
Q_{peak}	=	0.09	cfs						
C Factor	=	0.52		Property Area	=	0.43	acres		
100-year Peak Rainfall Intensity I_{100}	=	83.3	/	(T_C	$+ 9.17^{\beta^{0.1}}$			
I_{100}	=	83.3	/	(18.59	$+ 9.17^{\beta^{0.1}}$			
I_{100}	=	5.64	inches / hour						
C Factor	=	0.52		I_{100}	=	5.64	in/hr	Property Area	= 0.43 acres
100-year Peak Inflow Rate Q_{peak}	=	C	x	I_{100}	x	A			
Q_{peak}	=	0.52	x	5.64	x	0.43			
Q_{peak}	=	1.26	cfs						
Q_{peak}	=	0.09	cfs		Q_{peak}	=	1.26	cfs	
Storage Curve Factor R	=	$\left[\frac{0.206}{1 + 0.15n} \right] \left(\frac{Q_{100P}}{Q_{100N}} \right)$							
R	=	$\left[\frac{0.206}{1 + 0.15n} \right] \left(\frac{0.09}{1.26} \right)$							
R	=	0.61							
V_{det}	=	4.232	cubic feet	R	=	0.61	V_{det}	=	1.057
V_{det}	=	4.232	cubic feet						(provided OVPC volume)
Required 100-year Detention Volume V_{det}	=	(V_{det}	x	R)	-	V_{det}	
V_{det}	=	(4.232	x	0.61)	-	0	
V_{det}	=	2.578	cubic feet						

Storage Volume Provided									
UNDERGROUND DETENTION SYSTEM									
388 ft of 36" dia pipe provides 2743 cf of storage.									
Total Volume Provided	=	2.743	cubic feet						
Total Volume Required	=	2.578	cubic feet						

Outlet Structure Calculations									
Extended Detention Outlet Calculations (If Forebay utilized, outlet is the same)									
Released over a period of 48 hours.									
V_{det}	=	48.00	hours						
Q_{avg}	=	$\frac{V_{\text{det}}}{T_{\text{det}}}$		=	1.545	=	0.0089	cfs	
Q_{avg}	=	172.800							
Q_{avg}	=	$C \times A_p \times (2 \times 32.2 \times h_{\text{outlet}})^{0.5}$			$C = 0.62$				
Q_{avg}	=	1.50	ft						
h_{outlet}	=	$\frac{Q_{\text{avg}}^2}{0.62^2 (64.4 \times h_{\text{outlet}})^{0.5}}$							
h_{outlet}	=	0.0089							
A_p	=	0.62	x (64.4	x	1.50	$)^{\beta^{0.5}}$		
A_p	=	0.00147							
Use 1, 1/2" holes at outlet elevation				A_p	=	0.00140	in ²		
Q_{avg}	=	$C \times A_p \times (64.4 \times h_{\text{outlet}})^{0.5}$							
Q_{avg}	=	0.62	x	0.00140	x (64.4	x	1.50	$)^{\beta^{0.5}}$
Q_{avg}	=	0.009	cfs						
Dewatering Time	=	V_{det}	=	1.545	=	50.30	hr		
Q_{avg}	=	0.009							

The Cascade Separator®

Advanced Sediment Capture Technology

The Cascade Separator® is the newest innovation in stormwater treatment from Contech. The Cascade Separator was developed by Contech's stormwater experts using advanced modeling tools and Contech's industry leading stormwater laboratory.

This innovative hydrodynamic separator excels at sediment capture and retention while also removing hydrocarbons, trash, and debris from stormwater runoff. What makes the Cascade Separator unique is the use of opposing vortices that enhance particle settling and a unique skirt design that allows for sediment transport into the sump while reducing turbulence and resuspension of previously captured material. These two factors allow the Cascade Separator to treat high flow rates in a small footprint, resulting in an efficient and economical solution for any site.

FEATURE	BENEFIT
Unique skirt design & opposing vortices	Superior TSS removal; reduced system size and costs
Inlet area accepts wide range of inlet pipe angles	Design and installation flexibility
Accepts multiple inlet pipes*	Eliminates the need for separate junction structure
Grate inlet option*	Eliminates the need for a separate grate inlet structure
Internal bypass	Eliminates the need for a separate bypass structure
Clear access to sump and stored pollutants	Fast, easy maintenance

* NJDEP testing based on Cascade Separator with one inlet pipe and no grate inlet

The Cascade Separator has received New Jersey Department of Environmental Protection (NJDEP) Certification*

An efficient and economical solution

CONTECH
ENGINEERED SOLUTIONS

N-12® Mega Green® ST IB Pipe (per ASTM F2648)

N-12 Mega Green ST IB pipe (per ASTM F2648) has recycled content and provides material properties to meet or exceed the demands of the market.

N-12 Mega Green ST IB contains a superior built-in bell-and-spigot joint. The joints are sealed by high-quality, factory-installed rubber gaskets that meet all the requirements of ASTM F477. A polyethylene bell minimizes joint distortion. The chipping and cracking that is common to concrete bells is eliminated.

Applications

- Storm sewers
- Golf, Turf & Recreation
- Mining, Forestry & Industrial
- Land reclamation

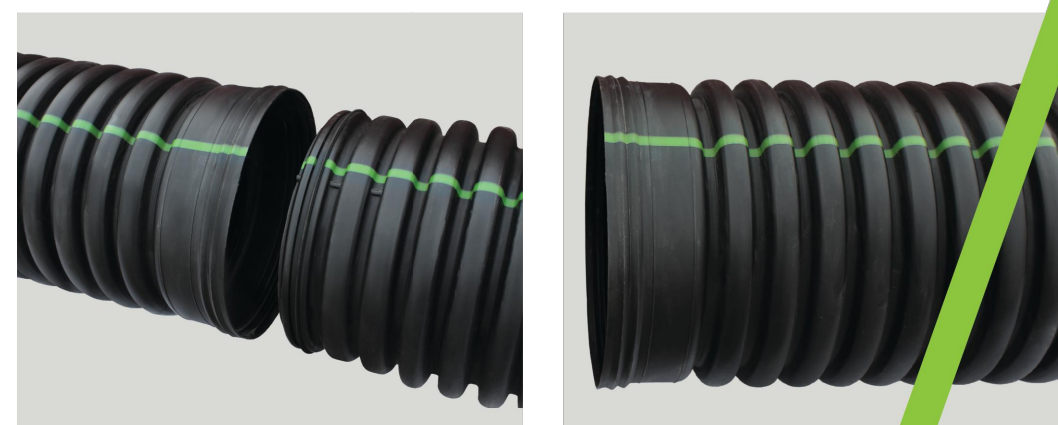
Features

- 4"-60" (100-1500 mm) diameters available
- Nominal 20' (6 m) and 13' (4 m) lengths available
- In-line bell and spigot joint design
- Exceptional joint strength
- Light weight
- Fast installation times
- Structural strength will support H-25 live loads with 12" (300 mm) minimum cover; 60" (1500 mm) requires 24" (600 mm) cover for H-25 live loads

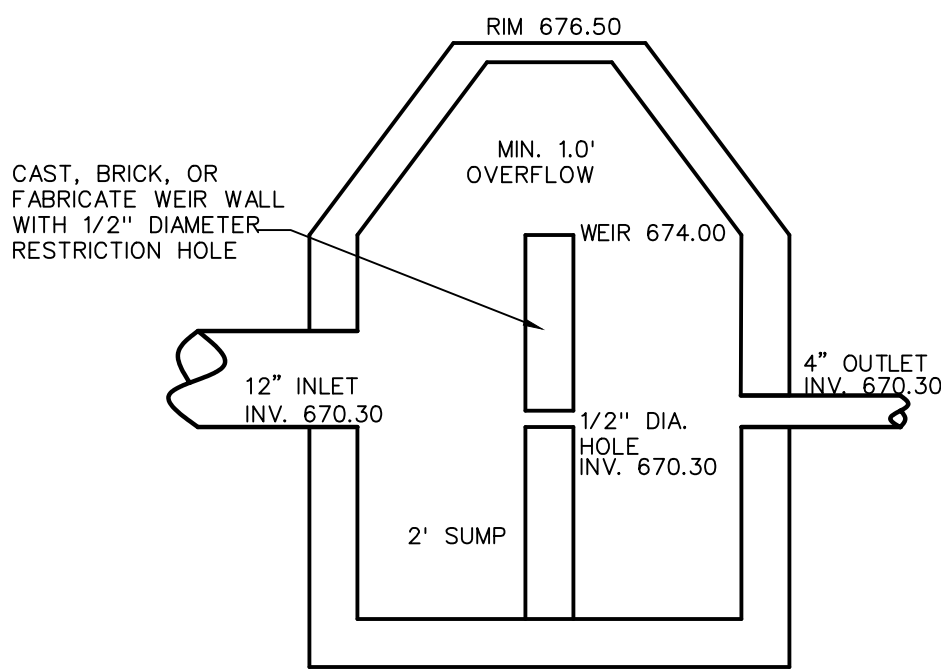
- Retention & Detention
- Waterways
- Grain Aeration
- Ditch enclosures

Benefits

- Variety of diameters and lengths that will fit any project
- Joint only requires lube for fitting - ends are pushed together for easy field installation
- Pipe requires no additional gasket materials, grout or sealing bands to transport and apply
- Installation cost savings from lower shipping costs, reduced labor and less heavy equipment
- Hydraulic efficiency from smooth interior



ADS



NOTES:

McDowell & Associates
Geotechnical, Environmental & Hydrogeological Services • Materials Testing & Inspection
21355 Hatcher Avenue • Ferndale, MI 48220
Phone: (248) 399-2066 • Fax: (248) 399-2157
www.mcdowellinc.com

July 12, 2022

Mr. Christopher Aiello
32411 Mound Road
Warren, Michigan 48092

Job No. 22-263

Subject: Infiltration Study
Proposed Stormwater Management System
3120 West 11 Mile Road
Berkley, Michigan

Dear Mr. Aiello:

In accordance with your request, we have performed an Infiltration Study at the subject site. The purpose of this study is to evaluate infiltration capabilities of the subsols relative to the proposed stormwater management system. Our findings are presented below.

Two Soil Test Borings, designated as 1 and 2, were performed at the subject property at the approximate locations shown on the Soil Boring Location Plan which accompanies this report. The boring locations were field located by our drillers. The borings were advanced to depths of about fifteen feet (15') below the existing ground surface. Soil descriptions, groundwater observations and the results of field and laboratory tests are to be found on the accompanying Logs of Soil Test Borings. Infiltration tests were not performed due to a relatively high water table and the presence of soil conditions not suitable for significant infiltration.

Soil descriptions and depths on the boring logs are approximate indications of change from one soil type to another and are not intended to represent an area of exact geologic change or stratification. Due to the manners of deposition, the transition from one soil type to the next may be gradual rather than abrupt.

It is understood that the proposed project consists of constructing a stormwater management system with an "infiltration to the ground" component at the subject property.

Groundwater was encountered in Borings 1 and 2 at initial respective depths of two feet (2') and one foot ten inches (1'10") below the existing ground surface. Upon completion of drilling, the groundwater level in Boring 1 was recorded at two feet eleven inches (2'11") below existing ground surface and Boring 2 was dry. It should be noted that short-term groundwater observations may not provide a reliable indication of the depth of the water table. In soils with significant fines content (clay and/or silt), this is due to the slow rate of infiltration of water into the borehole as well as the potential for water to become trapped in overlying layers of granular soils during periods of heavy rainfall. Water levels in granular soils fluctuate with seasonal and climatic changes as well as the amount of rainfall in the area immediately prior to the measurements. It should be expected that

<div><div>MA</div><div>McDOWELL & ASSOCIATES Geotechnical, Environmental, & Hydrogeologic Services 21355 Hatcher Avenue • Ferndale, MI 48220 Phone: (248) 399-2066 • Fax: (248) 399-2157</div></div>		<div>LOG OF SOIL BORING NO. 2 PROJECT: Infiltration Study LOCATION: 3120 W. 11 Mile Road Berkley, Michigan</div>								
JOB NO. 22-263		DATE 7-06-2022								
SURFACE ELEV. _____										
Series & Type	Depth	Logged	SOIL DESCRIPTION	Penetration Blow/ft	Moisture %	Natural RH (%)	Dry Density lb/ft ³	Unit Comp Weight (pcf)	So. Cons. Strength	
	1		ASPHALT							
	2		Most brown silty SAND & GRAVEL, aggregate fill							
A	UL 3		Compact moist to wet brown and discolored silty fine SAND with traces of gravel and clay and wet silt and fine sand seams (slight odor), fill		3					
	4				22.1					
B	UL 5									
	6			4	14.1					
	7									
C	UL 8									
	9									
	10			5						
D	UL 11									
	12									
	13									
	14			7						
	15									
E	UL 16									
	17									
	18									
	19									
	20									
	21									
	22									
	23									
	24									
	25									

TYPE OF SAMPLE:
D. - DISTURBED
UL - UNDISTURBED
B.T. - BUREY TUBE
S.G. - SURVECTION
R.C. - ROCK CORE
() - REMOVED







REMARKS:

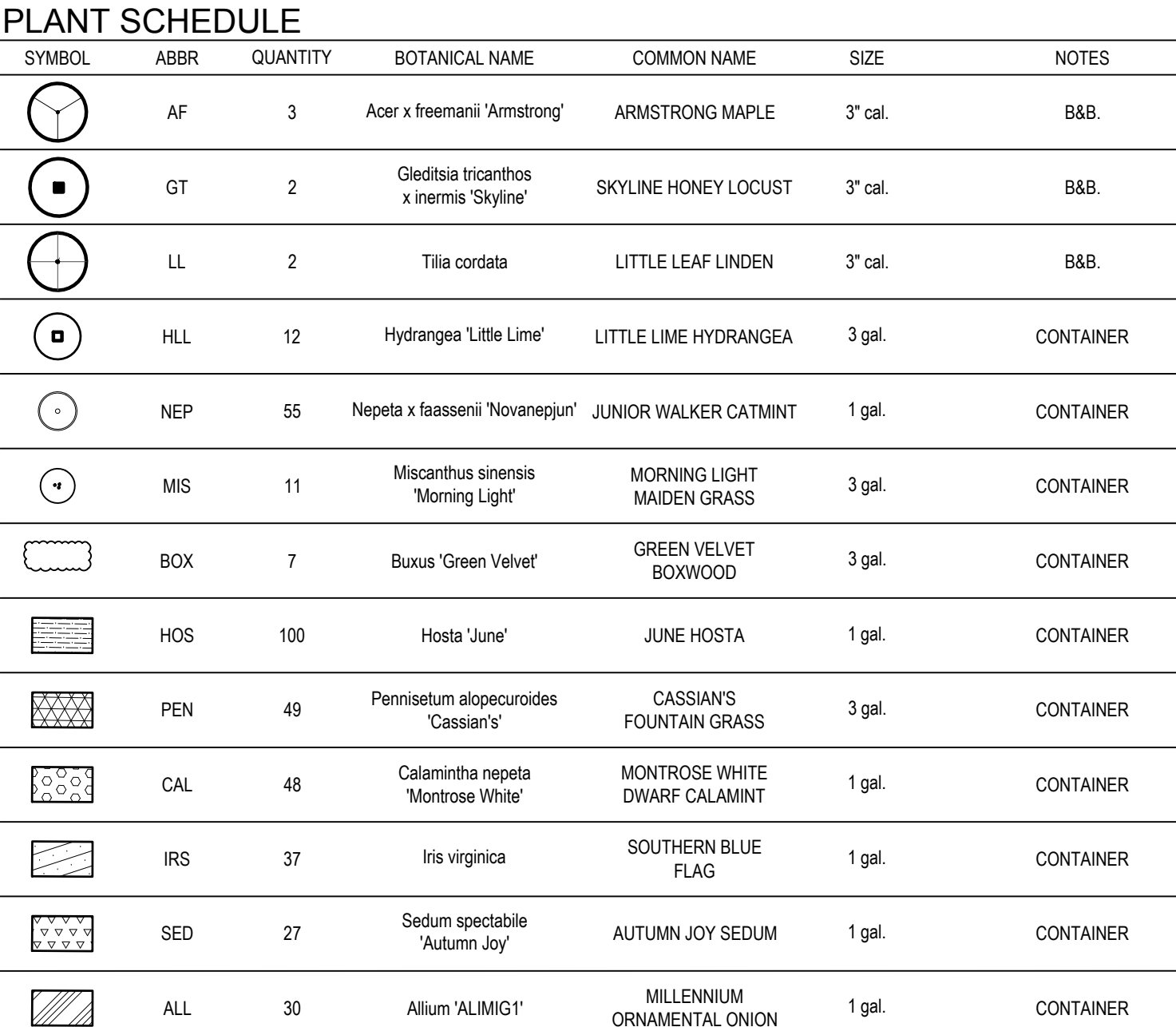
(1) Used automatic hammer

(2) Patched boring upon completion with cold patch asphalt

GROUND WATER OBSERVATIONS

G.W. ENCOUNTERED AT 1 FT. 10 INS.
G.W. ENCOUNTERED AT FT. INS.
G.W. AFTER CORRECTION Dy FT. INS.
G.W. AFTER HRS. FT. INS.
G.W. VOLUMES L/min

<div></div> <div>McDOWELL & ASSOCIATES Geotechnical, Environmental, & Hydrogeologic Services 21355 Hatcher Avenue • Ferndale, MI 48220 Phone: (248) 399-2066 • Fax: (248) 399-2157</div>		<div>LOG OF SOIL BORING NO. 1</div> <div>Infiltration Study</div> <div>Project: Underground Detection System</div> <div>Location: 3120 W. 11 Mile Road, Berkley, Michigan</div>							
JOB NO. 22-263		DATE 7-06-2022							
SURFACE ELEV. _____									
Series (1 Type)	Depth	Log/Legend	SOL DESCRIPTION	Penetration Blows 1/2'F	Moisture % (1/2'F)	Natural Mo. (%)	Dr. Den. Mo. (%)	UML Comp. Strength (PSI)	St. %
	1		0-3' ASPHALT						
	2		Compact moist to wet brown and discolored brown silty fine to medium SAND with trace of gravel, fill		1				
A	2		UL		4	16.8			
	3				3				
	4		30"						
R	4				2				
UL	5		Medium compact wet brown to black silty SAND with traces of gravel, asphalt and clay (strong odor), fill		2	13.3			
	6				2				
	7		74"						
C	7				1				
UL	8		Very stiff moist wet silty CLAY with sand and pebbles		8				
	9								
	10		80"						
D	10				8				
	11		Extremely stiff moist brown silty CLAY with sand and pebbles		15				
	12				22				
	13		120"						
	14								
	15		Extremely stiff moist blue silty CLAY with sand and pebbles		2				
E	15				12				
UL	16			16					
	17								
	18								
	19								
	20								
	21								
	22								
	23								
	24								
	25								
NOTES:									
(1) Used automatic hammer									
(2) Patched boring upon completion with cold patch asphalt									



1. Plant materials shall be sound, healthy vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6: above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A300204.)
2. Planting bed soil for annuals shall be screened topsoil. To deter weed growth during the establishment of annual, & perennial bed, apply a pre-emergent ('Preen' or equal) after planting 2-3 times per growing season, at a rate per recommendation of product manufacturer.
3. Planting pockets shall be no deeper than the height of the root ball, saucer shall be made on the edges of the plant pocket.
4. All tree wrap shall be removed upon planting.
5. Mulch shall be shredded hardwood bark natural in color, free from deleterious materials and suitable as a top dressing of planting beds and individual tree plantings.
6. Trees shall be mulched with minimum of 4" deep hardwood bark mulch.
7. Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn.
8. Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to the expiration of the guarantee period, in accordance with the local ordinance requirements. Failing plants should be replaced within 3 months of failing.
9. Contractor shall provide in writing a list of recommended maintenance procedures for the first two (2) growing seasons.
10. Remove top 1/3 of burlap on root ball or all if wrapped in plastic covering and/or nylon cord.
11. Plant materials shall be used in compliance with the provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the standards of the American Association of Nurserymen, and shall have passed inspections required under state regulations. In addition, plant materials shall be Upper Midwest/Great Lakes growth. No. 1 grade.
12. Plant materials shall be planted within the annual planting window of March 15-Nov 15.
13. Any plant substitutions must be approved in writing by the City prior to installation.

1. All Construction shall conform to the current standards and specifications of local ordinances.
2. All areas not built, landscaped, or paved upon shall be seeded or sodded. Terra seed system or approved equal is encouraged.
3. All lawn areas shall be irrigated with an underground automatic irrigation system. Irrigation heads shall be placed such that water will not hit any hard surfaces or structures.
4. Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit. This is the first of two (1 of 2) required City inspections of the Landscape Plan installation.
5. A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
6. Building Department will not release construction bonds until City landscape architect has inspected the site and approved the installation of landscape plans. Final bond will not be released until the two (2) year guarantee expires and final inspection is made.
7. Owner is then responsible for care and maintenance of all plants upon return of bonds. All plant material is to be maintained for the natural life of the plant. No removal of any plants material is permitted without replacement.
8. Detention Basin plant material shall be sufficiently watered as needed to establish growth and heartiness.
9. Contractors must maintain 10 feet minimum between fire hydrants and any proposed tree plantings.
10. If construction leads to the demise of any trees by roots being cut on adjacent property, replacement to be facilitated by property owner.
11. No tree to be planted closer than 5' to R.O.W.

It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant material, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

giffels
webster

Engineers
Surveyors
Planners
Landscape Architects

025 East Maple Road
Suite 100
Birmingham, MI 48009
p (248) 852-3100
f (313) 962-5068
www.giffelswebster.com

Executive:	MP
Manager:	JKA
Designer:	JKA
Quality Control:	MP
Section:	18
T-01-N R-11-E	

Professional Seal:



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Call before you dig.

[illegible]

Developed For

JGA
29110 INKSTER ROAD
SUITE 200
SOUTHFIELD, MI 48034
248-340-9400

LANDSCAPE PLAN

MOSES ROSES

CITY OF BERKLEY
OAKLAND COUNTY
MICHIGAN

Date:	08.19.2022
Scale:	1"=10'
Sheet:	L100
Project:	20281.00

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Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: September 19, 2022

Site Plan Review For City of Berkley, Michigan

Applicant: Moses Roses Ventures, LLC

Project Name: Moses Roses

Plan Date: September 12, 2022

Location: 3120 W. Eleven Mile Road

Zoning: Eleven Mile District

Action Requested: Site Plan Approval

SITE DESCRIPTION

The applicant is proposing to repurpose the existing building at 3120 W. Eleven Mile Road, and add a small addition. At final buildout, +/-2,600 of the approximate +/- 3,300 square foot, one-story building, will be repurposed for a marihuana provisioning center. The remaining 550 sq/ft of the building will continue to be used by Berkley Auto Service.

In addition to the proposed addition, the applicant proposes the following site improvements:

- Façade improvements
- Landscape improvements
- Wall Mural
- Art Sculpture
- Green infrastructure
 - Rain Garden
 - Livewall along alley

- Permeable paving
- Streetscape improvements
 - Bike rack
 - Bench
 - Landscaping
 - Dog waste station
 - Pavers

The site is zoned Eleven Mile District. A marihuana use is a permitted use but must meet the zoning requirements set forth in Section 138-528 Marihuana Business Regulations.

Site Location:



Proposed Use of Subject Parcel:

+/- 3,300 square foot, one-story building, will include a small addition and repurposed for a marihuana provisioning center, with 550 square feet to remain as the Berkley Auto Service.

Surrounding Property Details:

Direction	Zoning	Use
North	Single Family Residential R-1D	Single Family Residential
South	Oak Park	Light Industrial / Office
East	Eleven Mile	Auto Repair
West	Eleven Mile	Restaurant

Items to be addressed: None.

The site has been graded for a building and parking lot. There are no existing natural resources.

Items to be addressed: None.

Outside of a small addition to the rear of the existing building, the building layout will remain in its current configuration.

Items to be addressed: None.

Sec. 138-526. - Schedule of regulations of the Zoning Ordinance establishes the dimensional requirements for the Eleven Mile District.

	Required / Allowed	Provided	Compliance
Front (Eleven Mile)			
Front yard setbacks shall be ten feet or equal to the setback of the adjacent buildings, whichever is less.	10-feet	Over 10-feet	Complies
Front (Griffith)			
Front yard setbacks shall be ten feet or equal to the setback of the adjacent buildings, whichever is less.	10-feet	Over 10-feet	Complies

	Required / Allowed	Provided	Compliance
Side (west) No side yards are required along the interior side lot lines except as otherwise specified in the building code. On the exterior side yard that borders on a residential district, there shall be provided a setback of at least ten feet on the side or residential street.	West: 0-feet	0	Complies
Rear (South)	10-foot minimum setback	Over 10 feet	Complies
Building Height	40-foot maximum height	16 feet	Complies

Items to be addressed: None

PARKING

	Required	Provided
Retail: One per 225 square feet of usable floor area	2,600 usable square feet (as noted on plan set)/ 225 = 12 spaces	18 onsite, 14 shared parking on adjacent parcels (7 on parcel to east, 7 on parcel to west)
Auto Repair: One space per 200 sq/ft plus three screened storage spaces per service bays	624 sq/ft 200 + (0/3)= 3	
Barrier Free	1	2
Bicycle Parking	2	2
Loading	0	0
Total	15 spaces	18 onsite, 14 shared parking on adjacent parcels.

Shared Parking Agreement

The applicant notes a shared parking agreement with both the east and west adjacent parcels. The applicant shall provide the shared parking agreements to be reviewed by City Attorney.

Items to be Addressed: Provide shared parking agreements to be reviewed by City Attorney.

SITE ACCESS AND CIRCULATION

Primary access will remain with one point on Eleven Mile and one point on Griffith Avenue. The applicant proposes internal curbing to better differentiate site access and define on-site parking space. The proposed drive-aisle dimensions are 22-feet in width, where 24-feet is required. The Planning Commission may alter or revise the aisle width requirements, if the Commission finds that strict application of said requirements would endanger pedestrians or vehicular traffic.

Items to be Addressed: Planning Commission to consider reducing drive-aisle width by 2-feet.

LANDSCAPING AND SITE AMENITIES

A landscaping plan has been provided. The applicant is proposing a robust plan which includes building planting, ROW planting, parking lot planting, a livewall along northern property line, and a green roof. As set forth in Section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require additional landscaping to be planted on or near the site consistent with the elements of the adopted City Master Plan.

Screening Along Northern Property Line:

The applicant proposes to screen the property along the northern property with a livewall. The applicant notes that planting details of the livewall will be provided at the pre-construction meetings.

Trash Enclosure:

The applicant is providing trash dumpster location at the northeast corner of the site. The applicant is screening the trash dumpster with a masonry wall.

Green Roof:

The applicant proposes a green roof. The applicant notes that planting details of the green roof will be provided at the pre-construction meetings.

Items to be Addressed: 1). Provide livewall details at pre-construction meeting; and 2). Provide green roof plant material at pre-construction meeting.

PHOTOMETRICS

A photometric plan was provided. The applicant is proposing a total of four (4) parking lot pole lights, and five (5) building lights. We note that the pole lights project a maximum footcandles of eighteen (18) footcandles.

Eighteen (18) footcandles is extremely bright for a retail use. For example, the average gas station canopy lighting ranges from 10 to 15 footcandles.

Items to be Addressed: *Reduce pole footcandles.*

EXTERIOR APPLIANCES

The applicant is proposing a parapet to screen the roof top equipment. The applicant should confirm on elevations that the parapet wall is high enough to screen exterior appliances (air conditioners, generators, etc.) to ensure compliance with Section 138-73.

Items to be Addressed: *Confirm on elevations that the parapet wall is high enough to screen exterior appliances (air conditioners, generators, etc.) to ensure compliance with Section 138-73.*

Floor plans and elevations have been provided. The applicant is making significant elevation improvements.

Items to be Addressed: *None*

MARIHUANA BUSINESS REGULATIONS

Section 138-528 Marihuana Business Regulations, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

- a) **A marihuana business must front on a major thoroughfare with the primary ingress/egress onto a major thoroughfare.**

CWA Response: The marihuana business fronts on Eleven Mile Road, with ingress/egress onto a major thoroughfare.

- b) **The marihuana business must have all applicable state and local licenses and approvals to operate.**

CWA Response: The marihuana business will be required to obtain all applicable state license prior to any final approvals.

- c) **The property where the marihuana business will be located must be entirely within the boundaries of the city and must not be within 1,000 feet of a pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.**

CWA Response: The marihuana business is located entirely within the boundaries of the City. The marihuana business is not within 1,000 feet with any pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.

- d) **Notwithstanding any other provision in the zoning ordinance, a marihuana business must operate within a fully enclosed building.**

CWA Response: The marihuana business will operate within a fully enclosed building.

- e) **Pursuant to article XV of [chapter 30](#) of the Berkley City Code, all marihuana business license approvals are subject to the following:**
- i. **Public notice requirements as outlined in [Section 30-806](#); and**
 - ii. **Site plan approval from the planning commission must be obtained prior to receiving license approval from the city council. Failure to do so will result in license denial as outlined in [Section 30-813](#).**

CWA Response: 1). Public notice requirement was met; and 2). The applicant is seeking site plan approval from the Planning Commission. If granted site plan approval, the applicant would then seek license approval from the City Council.

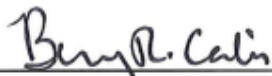
Items to be Addressed: None

RECOMMENDATION

The Planning Commission needs to decide whether to reduce the drive-aisle width by 2-feet. Overall, the applicant is making a significant investment into the site as noted in our report. We recommend site plan approval with the following conditions:

1. Provide shared parking agreements to be reviewed by City Attorney.
2. Provide livewall details at pre-construction meeting.
3. Provide green roof plant material at pre-construction meeting.
4. Reduce pole footcandles.
5. Confirm on elevations that the parapet wall is high enough to screen exterior appliances (air conditioners, generators, etc.) to ensure compliance with Section 138-73.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



CITY OF BERKLEY **DEPARTMENT OF PUBLIC WORKS**

3238 BACON AVE, BERKLEY, MICHIGAN 48072

Transmittal Memo

To: Kristen Kapelanski, Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)
Ric Chalmers, Assistant DPW Director (via email)
Eddie Zmich, HRC (via email)

From: Shawn Young, DPW Director 

Date: September 20, 2022

Subject: Moses Roses Provisioning Center
3120 Eleven Mile Rd Review #2

We have reviewed the site plans provided by the Community Development Department on September 12th, 2022

1. The site plans will be reviewed by the City's engineering consultant, Hubbell, Roth & Clark (HRC). Among other things, HRC will review the geotechnical report, storm water detention calculations and grading.
2. The existing sanitary lead is shown to be replaced on the plan. Please note that our records indicate that there may be more than one sewer/storm lead onto the property. A pipe graph report is attached for clarification.
3. Please note the proposed stormwater management system will be a private system under the maintenance of the property owner. A template approved by the City Attorney is attached for use. Exhibits will need to be prepared by the applicant and included with the document.
4. The demolition plan calls for the removal of the existing storm structure and a portion of the piping. The applicant will need to verify that this is the full extent of the piping to be removed. If storm was connected directly to the city mainline it will need to be retired within 24" of the main sewer. This work could potentially impact the 11 mile right of way and the location should be indicated on the plan.

5. A traffic control plan has been added to the plan set to account for the proposed work in the 11 Mile roadway but it does not appear to cover the scope of work that will need to be completed. The plan is for a single lane closure and it appears that a multiple lane closure with a traffic shift would be needed to safely accommodate the utility work. A multilane closure would push traffic onto the eastbound side of 11 mile that is owned and maintained by the City of Oak Park. An updated traffic control plan should be submitted to both the City of Berkley and the City of Oak Park with the City of Oak Park's response shared before final approval.
6. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill.

A response letter from the applicant to the comments noted above would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.



September 23, 2022

City of Berkley
3338 Coolidge Highway
Berkley, Michigan 48072

Attention: Ms. Kristen Kapelanski, Community Development Director
Mr. Matthew Baumgarten, City Manager

Re: Moses Roses
3120 W Eleven Mile Rd
Engineering Site Plan – Review No. 2
City of Berkley, MI

HRC Job No. 20220698.02

Dear Ms. Kapelanski and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development located at 3120 W Eleven Mile Road for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Ken Nisch, AIA, of Southfield, Michigan with an issue date of September 19, 2022 with the engineering site plans created by Giffels-Webster of Birmingham, Michigan. The proposed project scope includes the renovation of the existing building and replacement of the existing parking lot and other site features. We hereby offer the following comments:

General:

1. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required. **This item is still applicable.**
2. The existing sanitary lead is proposed to be reused. The applicant must have the lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for reuse prior to construction. **A new sanitary lead and connection has been shown on the plans in lieu of reusing the existing lead. This item is no longer applicable.**

Storm Drainage and Detention/Sanitary Sewer:

1. Stormwater runoff calculations have been provided using a 100-year, 24-hour storm event and appear to show that the proposed detention system will provide adequate storage for the site. The source of the C-value used for the permeable paver area must be provided to confirm that the runoff coefficient for the site used in the calculations is reasonable. **This item is still applicable.**
2. A geotechnical investigation was performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs are shown on the plans. The report recommends that infiltration will not be feasible in native soils on the site and mentions that groundwater was encountered in Boring 1 at a depth of 2' which dropped to 2' 11" at the conclusion of testing. The applicant has proposed a stone cross section and perforated pipe system to collect and store stormwater in a manner that is not dependent on infiltration into the native soils, however, additional borings must be performed to ensure that there is not groundwater present within 2 feet of the bottom of the proposed stone layer as per Oakland County design requirements. **This item is still applicable.**

3. The stormwater collection system must have a separate connection to the City sewer rather than tapping into the existing inlet at the Griffith intersection. In addition, the 12" pipe must be reduced to a maximum 4" prior to connection. **A separate connection for the storm sewer has been shown on the plans. This item has been satisfactorily addressed.**
4. The perforated pipe must be wrapped with a geotextile and shown on the permeable paver section. **The geotextile wrap has been shown on the plans. This item has been satisfactorily addressed.**
5. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction. **This item is still applicable. In addition to the maintenance agreement, the City will require that the constructed storm detention system be certified by way of a signed/sealed letter by the Applicant's engineer upon completion.**

Recommendation:

Based on our aforementioned comments, we recommend approval of the proposed Site Plan subject to the applicant submitting the traffic control plan and maintenance agreement and confirming that groundwater is not present within two (2) feet of the bottom of the proposed storm system via additional borings.

If you have any questions or require any additional information, please contact the undersigned.
Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Edward D. Zmich
Project Manager



Mitch Stark
Review Engineer

EDZ/MAS/mas

pc: City of Berkley; Shawn Young, Kim Anderson
HRC; R. Alix, File
Giffels Webster; Joseph K. Anderson
Ken Nisch, AIA; Angela Hill



Kristen Kapelanski <kkapelanski@berkleymich.net>

Moses Roses - Berkley_Site Plan Submission

Aaron Geyer <aaron.chrisaiello@gmail.com>

Wed, Sep 28, 2022 at 3:56 PM

To: Kristen Kapelanski <kkapelanski@berkleymich.net>, Kim Anderson <kanderson@berkleymich.net>, John Staran <jstaran@berkleymich.net>, Eddie Zmich <ezmich@hrcengr.com>, MStark@hrcengr.com, Shawn Young <syoun@berkleymich.net>

Cc: Angela Hill <abianco@jga.com>, Matthew Baumgarten <mbaumgarten@berkleymich.net>, Joseph Aiello <michiganmedical@icloud.com>, Christopher Aiello <chris@chrisaiello.com>, "Joseph K. Anderson" <janderson@giffelswebster.com>, Daniel Caudill <daniel@bedrock.com>

Ms. Kapelanski:

We have read the DPW review from Shawn Young as well as the other outstanding items from CWA and HRC.

As the spokesperson for the Applicant, please convey to the panel that we are willing to accept the recommendations of these individuals/entities that would become conditions of Site Plan approval. While we still believe additional borings would only confirm what we already know (there is clay in the soil that will be removed to bring the water level down), we are willing to do the additional borings as a condition for approval.

Please include this communication with the Planning Commission packets for the October 11th meeting that we (1) appreciate scheduling this meeting and (2) are willing to accept those items to be addressed as conditions of Site Plan approval.

Thank you,

Aaron Geyer
Attorney at Law
aaron@chrisaiello.com

[Quoted text hidden]

THE CITY OF BERKLEY
Building Department
3338 Coolidge Hwy., Berkley MI 48072
(248) 658-3320

NOTICE OF PUBLIC MEETING
BERKLEY PLANNING COMMISSION

NOTICE IS HERBY GIVEN, in accordance with Section 138-528 and Section 30-806 of the Berkley City Code, that there will be a meeting of the Berkley Planning Commission to be held at the City of Berkley in the Council Chambers, 3338 Coolidge Hwy., Berkley Michigan, on Tuesday, October 11, 2022 at 7:10 pm, or as near thereto as the matter may be reached. Furthermore, if the Planning Commission approves the site plan, this matter will appear before the City Council for final approval of the Marihuana Business License at their regularly scheduled meeting to be held at the City of Berkley in the Council Chambers, 3338 Coolidge Hwy., Berkley Michigan, on Monday, October 17, 2022 at 7:00 pm. Should the Planning Commission not approve the site plan, the item would not appear before the City Council.

APPLICATION PSP-16-22

Joseph Aiello, on behalf of Moses Roses, is requesting a site plan approval for the renovation of the existing building to be a retail marihuana dispensary at 3120 W Eleven Mile Road, Parcel # 04-25-18-453-031, North side Eleven Mile Rd., East of Gardner Ave. and West of Griffith Ave.

Complete application information is available for review at
www.berkleymich.org/urbanplanning.

Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Building Department or email to kkapelanski@berkleymich.net before 5:00 pm on the date of the Planning Commission and/or City Council meeting.

You can watch the meeting: <https://www.berkleymich.org/livestream/index.php>

KRISTEN KAPELANSKI
COMMUNITY DEVELOPMENT DIRECTOR

Publish Once:

Royal Oak Tribune
Friday, September 23, 2022