PUBLIC NOTICE

CITY OF BERKLEY, MICHIGAN REGULAR MEETING OF THE CITY PLANNING COMMISSION

Tuesday, June 28, 2022 7:00PM — City Hall Council Chambers Information: 248-658-3320

CALL TO ORDER
PLEDGE OF ALLEGIANCE
ROLL CALL
APPROVAL OF AGENDA
APPROVAL OF MINUTES – Meeting minutes of June 7, 2022
COMMUNICATIONS
CITIZEN COMMENTS

OLD BUSINESS

- 1. <u>PSP-02-22: 2222 Eleven Mile Rd. Butter Provisioning:</u> The applicant, Grant Jeffries, on behalf of Operation Grow, LLC, d.b.a. Butter Provisioning Center, 2222 Eleven Mile Rd., Parcel #25-17-358-018, north side of Eleven Mile, between Berkley Ave. and Henley Ave., is requesting site plan approval for the renovation of the existing building to a retail marihuana dispensary and a separate warehouse tenant space.
- 2. <u>PSP-06-22: 3737 Twelve Mile Rd. The Phillip Rowhomes:</u> Daniel Stakhiv, on behalf of Berkley Deal LLC, 3737 Twelve Mile Road, Parcel #25-18-126-020, is requesting final site plan approval of a new seven-unit Row Homes development in the Twelve Mile District.

NEW BUSINESS

3. PSU-01-22: 2684 – 2688 Coolidge Highway – The Black Hop Brewery: The applicant, Dorian Hill on behalf of The Black Hop Brewery, 2684 Coolidge Hwy, Parcel #25-17-155-030, east side of Coolidge Hwy., between Catalpa Dr. and Franklin Rd, is requesting special land use approval for an outdoor seating/eating area accessory to a bar.

LIAISON REPORTS COMMISSIONER / STAFF COMMENTS ADJOURN

Notice: Official Minutes of the City Planning Commission are stored and available for review at the office of the City Clerk. The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days notice to the city. Individuals with disabilities requiring auxiliary aids or services should contact the city by writing or calling: City Clerk, ADA Contact, Berkley City Hall, 3338 Coolidge, Berkley, Michigan 48072, (248) 658-3300.

You can watch the meeting on Channel 10 for both Comcast and WOW, at http://www.youtube.com/CityofBerkley or http://www.berkleymich.org/livestream.

THE SPECIAL MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:00 PM, JUNE 7, 2022 AT BERKLEY CITY HALL BY CHAIR KRISTEN KAPELANSKI.

The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, ondemand, on the city's YouTube channel: https://www.youtube.com/user/cityofberkley.

PRESENT: Kristen Kapelanski Joe Bartus Greg Patterson Julie Stearn

Lisa Kempner Julie Stearn

Mark Richardson

Shiloh Dahlin

ABSENT: NONE

ALSO, PRESENT: Megan Masson-Minock, Interim Community Development Director Aaron Geyer, 32411 Mound, Warren Jason Silver, 1363 Wiltshire, Berkley Gabe Rubin, 3445 Robina, Berkley Joanne Stenquist, 1343 Wiltshire, Berkley

Matthew Breda, 1935 Wiltshire, Berkley

John and Judy McNalley, 1408 Wiltshire, Berkeley

John and Judy McNalley, 1408 Wiltshire, Berkeley

Martha and Bill Sauer, 1591 Wiltshire, Berkley
Mary Glynn, 1330 Franklin, Berkley
Daniel Veres, 1336 Franklin, Berkley

Jim and Nancy McChesney, Berkley

* * * * * * * *

APPROVAL OF AGENDA

Motion by Commissioner Patterson to approve the agenda supported by Commissioner Kempner.

Voice vote to approve the agenda

AYES: 7 NAYS: 0

ABSENT: NONE

MOTION CARRIED

APPROVAL OF THE MINUTES

Motion by Commission Kempner to approve the minutes from the regular Planning Commission meeting on May 24, 2022 and supported by Commissioner Stearn.

Voice vote to approve the meeting minutes on May 24, 2022.

AYES: 7 NAYS: 0

ABSENT: NONE

MOTION CARRIED

COMMUNICATIONS

Email from Thomas Rolewicz of Seven Point

CITIZEN COMMENTS

NONE

* * * * * * * *

* * * * * * * *

OLD BUSINESS

1. <u>PSP-04-21: Lot 53 on Oxford Road – The Ivy:</u> Site Plan for Phase II of the approved project at 2219 Coolidge for the removal of the existing parking lot and construction of two multiple family buildings with a total of 24 dwelling units and a parking lot

Interim Community Development Director Masson-Minock stated that all of the requests that the Planning Commission had made of this applicant had essentially been done. This applicant will need approval from the Planning Commission on whether the landscaping is adequate. The Planning Commission, as part of the motion to approve if they chose, should make findings on the landscaping meeting site plan standards, and that the additional green space warrants the parking reduction, as they indicated that they would be award at the last meeting.

APPLICANT PRESENTATION

Brad Freeman Michael Gold

Project Manager Civil Engineer, Stonefield Engineering

Public Comment

NONE

Commissioner Kempner asked the applicant a specific question on the none striping where the pedestrian crossing is located? The applicant agreed to strip the pedestrian crossing.

Commissioner Richardson asked specifics on the screening wall and preventing the area from becoming a trash collection area.

Commissioners commented on vegetation for the site plan.

Chair Kapelanski thanked the applicant for accommodating all of the requests from the last meeting, and that this provides a nice plan for the community.

Commissioner Richardson asked for a point of clarification if the Commission is allowed to act since this was a work session. Interim Community Development Director Masson-Minock stated that this was advertised as a special meeting and that action can be taken.

Motion by Commissioner Kempner to approve PSP-04-21 finding that the landscaping as presented meets the standards and any additional condition of approval as noted in the staff letter. With finding that the parking modification is given because of the increased green space and screening, and that there is pedestrian stripping. The Motion was supported by Stearn.

AYES: Bartus, Kempner, Patterson, Stearn, Richardson, Dahlin, Kapelanski

NAYS: NONE ABSENT: NONE

MOTION CARRIED

NEW BUSINESS

1. <u>PSP-12-22: 28557 Woodward – Seven Point Provisioning Center:</u> Sketch Plan for the renovation of the existing building to be a retail marihuana dispensary at 28557 Woodward Avenue, Parcel #25-17-257-025, associated parking in the existing parking lot at Parcel #25-17-257-008, and proposed parking at 1299 Wiltshire Road, Parcel #25-17-257-007, and 1276 Franklin Road, Parcel #25-17-257-023.

Interim Community Development Director Masson-Minock detailed the purpose and scope of a sketch plan review and how no binding decisions are made. Interim Community Development Director Masson-Minock raised a couple of things on this particular proposal, stating that this has had two conditional rezonings that have been applied for previously. There was clarification on what the new proposed conditional rezoning is

and the associated timeline. The conditions are tied to the site plan and they will come concurrently. Based on the new Master Plan that was adopted in November of 2021, the proposed conditional rezoning does not match the Master Plan.

Questions were asked from the Commissioners to Interim Community Development Director Masson-Minock about if the request is one or two requests, the prior application and how it related to the master plan, and the procedural process of rezoning.

Applicant Presentation

Gabe Ruben Brian Howard Scott Roberts

Partner of Seven Point dispensing LLC Architect, HF: architecture Attorney, Scott Roberts Law

Julie Kroll

Parking Consultant, Fleece and VandenBrink Engineering

Mr. Roberts stated that they are here to decide if additional parking is needed, on Wiltshire and Franklin. The concern is that there is a high traffic nature to this, and that there will spill over on streets, and doing this voluntarily. They want the Commission's opinion. The other topic for discussion and recommendation is for the two possible rezonings. Mr. Roberts explained the parking study that stated Seven Point would need 48 spaces where they currently have 20 spaces, resulting in parking encroaching into neighborhoods.

Mr. Howard provided an overview of the building and the intent for the exterior of the building and the intent of entering and exiting. Mr. Howard also detailed the sustainability features that will be provided, the main focus will be internal, retail facilities. Mr. Howard also presented the potential of the new parking lots on Wiltshire and Franklin. Mr. Howard talked about the storm water retention, rain garden, and bioswales on the property.

Mr. Roberts stated that there was a community meeting at least three people got the notification, providing an overview of what was discussed at that meeting.

PUBLIC COMMENT

Aaron Dyer, an attorney, that was involved with the rezoning of an adjacent site, 1256 Franklin. Mr. Dyer addressed the question that Commissioner Bartus had, stating that 1256 Franklin was part of a Marihuana proposal which included two lots on Woodward being 28401 and 28453 Woodward. The rezoning of 1256 Franklin is a completely different subject matter than what will be before the Commission. Mr. Dyer is associated with a forthcoming marijuana provisioning center site plan.

John McNalley, 1408 Wiltshire - stated that he lives three houses away from this proposed provisioning center and two houses away from the proposed developed parking lot. Mr. McNalley stated that he was not noticed for this, and that his meeting was not on the normal schedule. Mr. McNalley stated that he lived at this address for 23 years and will oppose any aspect of the business that denied his ability to have a life that encroaches on his serenity. Mr. McNalley also stated that if parking lots go in replacing houses, it hardly enhances the quality of life in the neighborhood. Mr. McNalley also brings to concern signage and lighting, weed smells, and armed robberies. Mr. McNalley asked the Commission to consider all of these before deciding.

Sam Graff, 1256 Franklin - Stated that her and her husband have worked in the cannabis industry for a while. Asked the Commission to not annex this to the rest of the neighborhood. Ms. Graff also expressed her concern with armed robberies, and the alley way that attaches to her driveway, along with the lights and security.

William Sauer, 1591 Wiltshire - Stated that he is the President of Oakland Manor Homeowners Subdivision. Mr. Sauer stated that Oakland Manor has a number of deed restrictions including that a residential property cannot be torn down and made into commercial parking lots. Oakland Manor will take City and developers to local county circuit court.

John Stevens, 1922 Edgewood - Stated that he is the Treasurer of Oakland Manor Association, which covers residential properties from Rosemont all the way down to Catalpa. The particular lot on Wiltshire is covered in the subdivision primary purpose to protect the enforcement of deed restrictions. The Oakland Manor Association will be in circuit court very quickly if this is passed by the City.

Audrey Stone, 1348 Wiltshire - Stated that she lives directly behind Flagstar bank. Her question today is in reference to the high traffic business comment, is there a certain number of spots they need and why was the parking assessment not done prior to granting the ability for this business to come today if we feel it did not have enough parking to accommodate it?

Richard Melin, 1615 Wiltshire - Stated that he is worried about the traffic if this does pass. Wiltshire is a straight shot through Berkley, there will be people entering in off of Woodward, and entering in off of Wiltshire. How is the drive through going to work? This could be a real traffic problem if there is backup on Woodward. Mr. Melin also stated that he has a business right by LIV in Ferndale, and states that the traffic is bad there as well.

Matt Breda 1935 Wiltshire - Stated that this is a terrible location for something with high traffic. Wiltshire is an emergency route from the police department to enter onto Woodward. Wiltshire is in bad shape for a road. This is a terrible location with police and fire trucks going down this road, the traffic will slow them down.

Duana Scott, 1294 Franklin - Stated that she lives right next to the proposed parking lot. Being a single woman, Ms. Scott is concerned about safety, noise, lighting, security, and the parking lot next to her home is not beautiful. Ms Scott asked how tall will the buffer walls be, it is a beautiful place to live, safe place to live, and living next to the parking lot, she is unwilling to stay in the area.

Ian Whitelaw, Central Properties Group - Stated that he is the owner of the property and the business owner of the corner of Franklin 28401 Woodward. Also, here to represent the owners of the duplex next to him. Mr. Whitelaw stated that there needs to be something done with the commercial business. The commercial duplex is for sale and cannot sell it right now because of timing, and what we can put into there. Mr. Whitelaw stated that he is concerned about the overflow parking since Franklin is the only overflow parking, and has zero parking which is hard to sell.

Mary Glynn, 1350 Franklin - Expressed concern about the flooding concerns and the alley drain goes to Franklin. Ms. Glynn stated that she does not think they need that many parking spots, almost tripling the spots now. Ms Glynn offered suggestions on employee parking agreements with other businesses on Woodward. She had concerns about the traffic flow, property values, noise, light, odor and loitering.

Dan Veres, 1336 Franklin -Stated that he runs the length of Woodward all the time, stating there is at least six parcels that have parking lots they can utilize. Being active in other communities passing by other dispensaries, has never seen dispensaries that have the need for 50 spots.

Joanna Stenquist, 1343 Wiltshire - Stated that she will have a parking lot next to property, and suggested suing other properties on Woodward they can utilize. Ms. Stenquist stated that she would prefer to have a spill out over the neighborhood, instead of a parking lot next to her house. She also stated concern with noise with them being open seven days a week until 10 p.m., negatively impacting the value of her house.

Nancy McChesney, 1491 Wiltshire - Stated that one of her concerns is potential runoff for flooding. She expressed her concern for the Planning Commission to please pay attention to the flooding, because residents live here, and how are the guards going to be working on this premise. Ms. McChesney also expressed concern about sound, safety, lighting, and landscaping.

Diane Burgy, 1307 Franklin - Stated that she did not move there to live across from a parking lot, flooding is a problem, hope that if parking happens the customers can't turn down Franklin and expressed traffic patterns that could potentially happen on Franklin.

Kevin Graff, 1256 Franklin - Mr. Graff asked that the Commission please consider not annexing this house into this area. Mr. Graff stated that he has worked in the industry for his life, and is not pro dispensary 100 ft from his house. Understands for a city what this type of business can provide, but also understands how people in this industry with way too much money can make gross decisions, affecting the people in communities. Mr. Graff does not want to deal with coming home in his driveway and not being able to get in. Mr. Graff stated the neighborhood does not need people loitering, getting high in the parking lot, trash, there will be issues that arise.

Email from Tom Rolewicz, 1350 Franklin

Chair Kapelanski addressed the statement of the special meeting and notices. There was clarification on who gets noticed for public notices. Chair Kapelanski also addressed the city's involvement on enforcement of deed restriction comments, and the parking spillover with the need for additional parking.

Chair Kapelanski asked the applicants questions regarding parking, and the need for additional parking. Ms. Kroll walked through the copy of the parking study that was provided, basing the parking off of 85% utilization.

Chair Kapelanski asked about the strong transportation network that Woodward has with bussing, will there be customers coming that way. This study did not include that factor.

There was discussion on the projected ideal daily operations and anticipated hours 9 a.m. - 10 p.m. seven days a week with peak hours utilization happening on a regular basis.

The applicant also withdrew the conditional rezoning for 1276 Franklin. The proposal for 1299 Wiltshire will be congruent with Flagstar, the same six-foot brick screen wall.

Commissioner Patterson asked the applicant about the high number of employees that are needed and how security will be operating.

Commissioners asked the applicant if they considered in their pro forma the other four applications going into Berkley and the others in the area about parking and peak times for their business. There was also discussion on exploring other businesses with shared parking.

Point of clarification that the Master Plan does not support a rezoning and an explanation when a rezoning can be approved that does comply with the Master Plan.

Commissioner Kempner stated that the applicant does need to have more parking somewhere, with 58 spaces seeming like way too many but 20 not enough. Shared parking would be ideal, so there are no issues with people parking inform of houses with spillover.

Commissioner Bartus agreed that more parking is necessary.

Commissioner Patterson expanded on Commissioner Bartus's comment about if this parking was granted it would make the sawtooth worse on Woodward, and agree that more parking is needed, but not next to the four homes it would affect.

Commissioner Stearn asked the applicant about the two spots to the north, in which the applicant stated that it is going to be part of their greenspace.

Commissioner Dahlin agrees with the other comments on needing more parking and has concerns about making the sawtooth more severe. Commissioner Dahlin commented on the buffer that was presented and parking suggestions.

Commissioner Richardson stated that he is a great fan of shared parking, despite the fact that a sawtooth effect is being created. Marihuana dispensaries were not considered in the Master Plan, which do require more parking than what is stated. Commissioner Richardson is leaning toward rezoning reluctantly.

Interim Community Development Director Masson-Minock stated that when looking at a conditional rezoning, the applicant can offer conditions i.e., deal with number of customers, number of transactions, or number of employees, which might be hard to enforce. She asked if there is a situation where what is going on inside the building could reduce the number of parking spaces needed.

Commissioner Stearn asked if there was a way to reduce the amount of transaction desks that are presented. The applicant explained how the transaction centers are set up in the facility and conversation with the Commissioners about average numbers of transaction desks.

There was conversation between the Interim Community Development Director, the Commissioners and the applicant about what can be reduced so it benefits all and the negative impacts of reduction in numbers.

Commissioner Kempner suggested if the applicant can bank the nine spaces were landscaped for now and in the future, you can turn those into additional spaces.

There were general comments on parking spaces and other options of shared parking agreements from the Planning Commission.

Commissioner Bartus stated that with the appropriate conditions the rezoning seems appropriate for the property, suggesting banking parking, phasing the project, and something regarding additional parking required.

Commissioner Stearn stated that she is not in support of this, there hasn't been any conditions given, and would like to see shared parking with the eye center and the bank.

Commissioner Patterson stated that he does not like the idea of turning residential lots into commercial lots, especially after the extensive time with the new Master Plan. There have not been conditions heard from the applicant, the number of employees seem to be high, and would like to see bank shared parking, and suggested other parking for employees, and does not support this.

Commissioner Kempner stated that she is leaning toward approving this, going forward with this, parking would be in the streets and wants to prevent that. Commissioner Kempner suggested bank shared parking, and present lots of landscaping so it has some benefit.

Commissioner Dahlin stated that she is hesitant with the conditional rezoning, but if there is a lot of buffering, and the stormwater helps the people upstream, that would go a long way to help convince her it is a good idea.

Commissioner Richardson stated that he is reluctant to approve the rezoning, and agrees with the comments on landscaping. He suggested shared parking, and does not want to see traffic congestion in the intersection

There was also discussion on the site plan itself, discussing drainage, the facade of window ordinance standards, the bike racks, the green improvements that will be happening on this building, mimicking the bank's right of way, dumpster, curbside pickup, and outdoor seating and bench areas

2. Election of Officers Matter of electing a Vice Chair

Motion by Commissioner Patterson to appoint Commissioner Lisa Kempner as vice-chair of Planning Commission. Motion was supported by Commissioner Richardson

Voice vote to approve the nomination of Vice-Chair

AYES: 7 NAYS: 0

ABSENT: NONE

MOTION CARRIED

3. Huntington Woods Master Plan Response

No edits or comments were mentioned, will be sending the draft to Huntington Woods

LIAISON REPORT

Commissioner Richardson stated that the Environmental Advisory Committee will have a bike corral at Art Bash on the North side of 12 Mile and Tyler from 10-4.

* * * * * * * * *

* * * * * * * * *

COMMISSIONER COMMENTS

Art Bash is happening this weekend in Berkley

* * * * * * * * *

STAFF COMMENTS

Interim Community Development Director Masson-Minock stated to the Planning Commission that a couple of Commissioners have not submitted their hours of training. If the Commissioners need training contact Mike Smith, and he can sign them up and have the City pay for training.

ADJOURNMENT

Motion to adjourn by Commissioner Patterson supported by Commissioner Richardson.

Voice vote for adjournment

AYES: 7 NAYS: 0

ABSENT: NONE

With no further business, the meeting was adjourned at 9:35 p.m.



Comm Dev Director < comdirector@berkleymich.net>

follow up to rezoning meeting june 7, 2022

1 message

John McNally	
To: comdirector@berkleymich.net	
Cc: JUDY MCNALLY	

Mon, Jun 13, 2022 at 11:11 AM

Attention Director,

I would like to inform the Berkley Planning Commission, that I (John McNally) am property owner, jointly with my wife Judy McNally of the residential property at address 1408 Wiltshire. 1408 Wiltshire is physically located within 250 feet from property at address 1299 Wiltshire. As you may know, 1299 Wiltshire, is being reviewed for potential rezoning. Myself, nor Judy (my Wife) have NOT been notified from the city of Berkley, of any rezoning efforts of stated 1299 Wiltshire address.

Several of my neighbors within 300 feet of 1299 Wiltshire have NOT been notified from the City of Berkley, of any rezoning efforts, likewise.

Per the City code, and as discussed at the rezoning meeting of June7, 2022, we trust the Planning Commission, will insure the afforementioned information oversight does not happen again. Please review all property lines within 300 feet of any property line defining 1299 Wiltshire, and any other property slated for rezoning, and please inform all affected property owners, of any and all future rezoning efforts and property usage requirements.

As a very close neighboring resident, We would also like to be informed of the developmental meetings regarding the marijuana business being considered on Woodward Ave, adjacent to 1299 Wiltshire.

I would also like to point out a few material facts of marijuana businesses that should be considered as development of codes are written, regarding these very new and very different businesses.

- Marijuana businesses, consumption, and possession, though codified by the State of Michigan, is Federally illegal.
- Most Banks and Federally Licensed Financial Institutions will not accept, trade in, nor have any dealings with money derived from a Marijuana business.
- Marijuana Businesses are primarily cash based transactional businesses, and are trying to find a way of accepting credit cards, however, being Federally illegal, have very few effective solutions.
- Marijuana businesses do not enjoy all the same tax deductible avenues other businesses enjoy, due to their federal Illegal status.
- Very large sums of cash are kept on site for extended periods of time, creating a target of criminals.
- Armored cars weigh over 15,000 pounds, with some weighing as much as 35,000 pounds.
- Armored car delivery routes and frequency will add wear and tear to existing roadway, and alleyway infrastructure.

- A Very large black market of organized and unorganized crime still surrounds marijuana consumption.
- Berkley Police Officers, when asked, do not support the licensing of Marijuana businesses, within Berkley.

Please share this notice with The Berkley Planning Commission and the City Council.

Thank You,

Respectfully,

John and Judy McNally

1408 Wiltshire Rd

Berkley MI 48072

This e-mail, and anything transmitted with it, may be protected from disclosure as privileged, proprietary, or confidential. No privilege or confidentiality is intended to be waived. This e-mail is intended only for the person to whom it is addressed. If you are not the intended recipient/addressee, any use of the e-mail and/or its contents, including, but not limited to, dissemination or copying is strictly prohibited and may be unlawful, and you must not take any action in reliance on it. If you receive this e-mail in error, please immediately notify the sender, and delete the original message and any copies of it from your computer system. We deny any liability for damages resulting from the use of this e-mail by an unintended recipient, including a recipient in error.



TO BE COMPLETED BY APPLICANT:

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in **substantially complete form** at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:					
Project Name:	OPERATION GROW, LLC - d.ba. BUTTER PROVISIONING CENTER				
Applicant:	GRANT JEFFRIES				
Mailing Address:					
Telephone:					
Email:					
Property Owner(s), if dif	ferent from Applicant: <u>OPERATION GROW LLC</u>				
Mailing Address:					
Telephone:					
Email:					
Applicant's Legal Interest in Property:ARCHITECT					
LOCATION OF PROPERTY:					
Street Address:	2222 W. ELEVEN MILE ROAD				
Nearest Cross Streets:	W. ELEVEN MILE & BERKLEY AVE.				
Sidwell Number(s):	25-17-358-018				

Updated 02.21.2021 1 | P a g e

PROPERTY DESCRIPTION:					
Provide lot	numbers and subdivision: _	LOT	5 284 TO 288 INCLUSIVE	ALSO	1/2 OF VALATED
AUGY	ADJACENT OF HANNAI	v's	WEST ROYAL OAK SUB	PIUISION	J
Property S	ize (Square Feet):	10	(Acres): _	0.27	5
EXISTING	ZONING DISTRICT (please	che	ok):		
	R-1A		Local Business		Coolidge
	R-1B		Office		Downtown
	R-1C		Community Centerpiece		Industrial
	R-1D		Woodward		Cemetery
	RM		Eleven Mile		Parking
	RMH		Twelve Mile		
	e of Property:				
	Use of Property:				
Is the prope	erty located within the Downt	own	Development Authority?		Yes 🗹 No
PROJECT	DESCRIPTION:				
RENOVAT	TION OF EXISTING 4	1,71	B S.F. BUILDING TO B	E RET	ALL MARIHUANA
DISPENSA	try AND ONE ADDI	7121	IN TENANT SUITE (ENAN	7 T.B.D.)
Does the pr	oposed project / use of prope	erty	require Special Land Use approv	/al? □] Yes No
Does the pr	oposed project require Varia	nce(s) from the Zoning Board of App	eals?] Yes ☑ No
f yes, please describe Variances required:					

Updated 07.01.2021 2 | P a g e

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office				
Commercial				
Industrial	2	4,237 SF.	13	12
Other				

PROFESSIONALS WHO PREPARED PLANS:							
A. Name:	EFFRIES						
Mailing Address: Telephone:							
Email:							
Design Responsibility (engineer, so	urveyor, architect, etc.): ARCHITECT						
B. Name: JOSEPH AND	ERSO N						
Mailing Address: _							
Telephone:							
Email:							
Design Responsibility:	ENGINEER						
SUBMIT THE FOLLOWING:							
 Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor. 							
	ed to the Community Development Director.						
 Proof of property ownership (title insurance policy or registered deed with County stamp). Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to: 							
jurisdiction over the project, including	ng, but not infilted to.						
jurisdiction over the project, includir ☐ Road Commission for Oakland Co ☐ MI Dept. of Transportation							

Updated 07.01.2021 3 | P a g e

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line) I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.
APPLICANT'S ENDORSEMENT: (Initial each line)
All information contained therein is true and accurate to the best of my knowledge.
I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.
I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.
If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

Updated 07.01.2021 4 | Page

But Mull	1-19-22
Signature of Applicant	Date
GRANT JEFFRIES	
Applicant Name (Print)	
Signature of Applicant	Date
Applicant Name (Print)	
plon _	1-21-2022
signature of Property Owner Authorizing this Application	Date
Daniel Ameri	
Property Owner Name (Print)	

OFFICE USE ONLY					
Received	Receipt #	Meeting Date	Case #		
Fees:	Site Plan Review \$600	Façade Change: \$200	Revision: \$300		
	Extension \$200	Engineering: Multi-family \$ Commercial \$			
	Escrow (New construction) 9	\$1,000	en siene en de de		

BUTTER PROVISIONING CENTER

2222 WEST ELEVEN MILE ROAD - BERKLEY - MICHIGAN - 48072 REVISED SITE PLAN REVIEW DRAWINGS

PROJECT TITLE 3

ARCHITECT:

FIVE - EIGHTHS 2321 WOLCOTT STREET FERNDALE - MI - 48220

CONTACT - GRANT JEFFRIES 248 - 981 - 8744 GRANT@5-8THS.COM

CIVIL ENGINEER:

1025 E MAPLE - SUITE 100 BIRMINGHAM - MI - 48009

CONTACT - JOSEPH ANDERSON 248 - 852 - 3100 JANDERSON@GIFFELSWEBSTER.COM

STRUCTURAL ENGINEER:

RESURGET ENGINEERING PC 28 WEST ADAMS AVE - SUITE 1710 DETROIT - MI - 48228

CONTACT - SEAN GODIN 313 - 315 - 3331 SEAN.GODIN@RESURGET.ENGINEERING

MEP ENGINEER:

STRATEGIC ENERGY SOLUTIONS 4000 WEST ELEVEN MILE ROAD BERKLEY - MICHIGAN - 48072

CONTACT - PAMELA HARTSELL 248 - 988 - 4718 PHARTSELL@SESNET.COM

OWNER:

OPERATION GROW LLC D.B.A. BUTTER PROVISIONING 3249 WAKEFIELD RD BERKLEY - MI - 48072 CONTACT - DANIEL AMORI

517 - 881 - 2216 DANNY@OPERATIONGROW.BIZ

GENERAL CONTRACTOR:

THREE RIVERS CORPORATION P.O. BOX 1467 MIDLAND - MI - 48461

CONTACT - RICK PARKER 989 RPARKER@TRCCOMPANY.COM

NOTE: REFER TO SHEET A/9.01 FOR A LARGER VERSION OF THIS RENDERING AS WELL AS ADDITIONAL VIEWS

PREVIEW RENDERING 5

BUSINESS TENANT (KIRCO MANAGEMENT). Beaumont Hospita Roseland Park Cemete ional Shrine of the

RENOVATION OF AN EXISTING BUILDING WITH A NON-CONFORMING USE TO BE A NEW MULTI-TENANT BUILDING. ONE SUITE WILL BE USED FOR A MARIHUANA PROVISIONING CENTER NAMED "BUTTER", THE OTHER SUITE WILL BE RENTED OUT FOR INDUSTRIAL ZONE APPROVED WAREHOUSE USE, BY A SEPARATE, NON-MARIHUANA RELATED

THE RENOVATION INCLUDES ALL NEW MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM UPGRADES TO MORE EFFICIENT SYSTEMS, AN ALL NEW LAYOUT AND FINISHES ON THE INTERIOR, NEW OPENINGS FOR ALUMINUM & GLASS CURTAIN WALLS TO INCREASE NATURAL LIGHT WITHIN THE BUILDING, AND INSTALLATION OF A GREEN

SITE IMPROVEMENTS INCLUDE A NEW PARKING LOT PAVED WITH PERVIOUS PAVERS, A NEW ENCLOSURE FOR TRASH AND RECYCLING CONTAINERS, NEW MASONRY SCREENWALLS, NEW NATIVE LANDSCAPING, RAIN HARVESTING BARRELS, AND NEW STREETSCAPE ELEMENTS SUCH AS BIKE RACKS, BENCHES, BOLLARDS, AND PLANTER

ADDITIONALLY, THE BUILDING DIRECTLY TO THE EASTOF THE PROPERTY (2200 W 11 MILE RD) HAS BEEN PURCHASED BY OPERATION GROW LLC, AND THE EXISTING TENANT WILL REMAIN IN THE BUILDING (KIRCO MANAGEMENT). THE OFF-STREET PARKING FOR BOTH BUILDINGS WILL BE A SHARED LOT, AND MINOR EXTERIOR IMPROVEMENTS TO THE 2200 BUILDING ARE PROPOSED TO MAKE IT LOOK SIMIALR TO THE BUTTER PROVISIONING CENTER.

TITLE SHEET GENERAL NOTES

TOPOGRAPHIC SURVEY SURVEY INFORMATION DEMOLITION PLAN

GRADING & PAVING PLAN SITE PLAN - STREETSCAPE ELEMENTS

STORMWATER CALCS & SITE DETAILS

LANDSCAPE PLAN

FLOOR PLAN - PROPOSED ROOF PLAN - PROPOSED EXTERIOR ELEVATIONS - 2222 W. 11 MILE EXTERIOR ELEVATIONS - 2200 W. 11 MILE DETAILS - SITE ELEMENTS

EXTERIOR RENDERINGS EXTERIOR RENDERINGS

EXTERIOR LIGHTING - PHOTOMETRICS EXTERIOR LIGHTING - CUT SHEETS



04 / 22 / 2022 04 / 29 / 2022 05 / 27 / 2022



PROJECT DIRECTORY 10

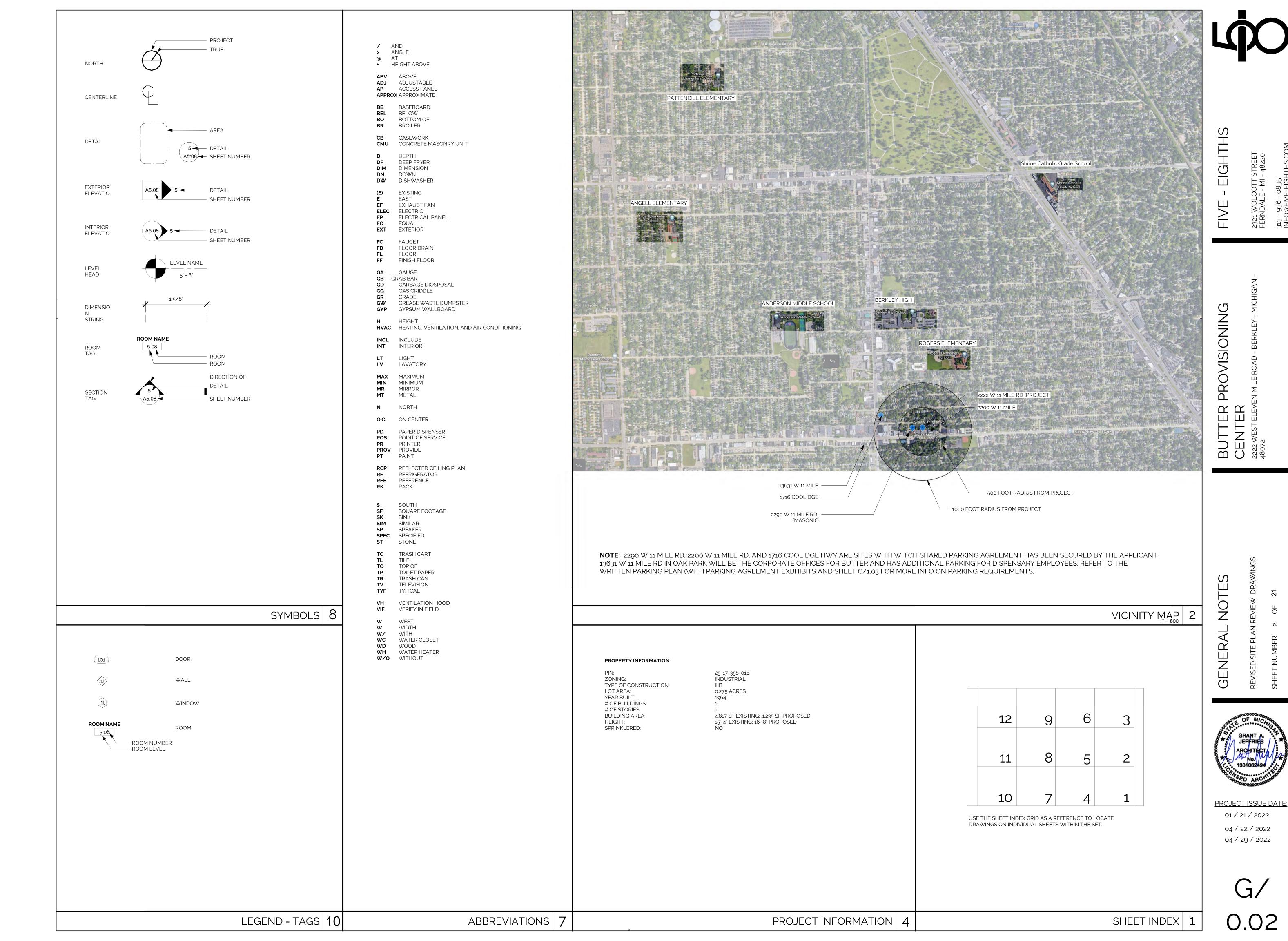
Indian Cuisine

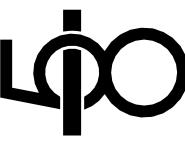
PROJECT LOCATION 7

Pleasant Ridge

PROJECT DESCRIPTION

SHEET LIST 1





E - EIGHTHS

2321 WOLCOTT STREET FERNDALE - MI - 48220

PROVISIONING

'EN MILE ROAD - BERKLEY - MICHIGAN -

PLAN - EXISTING

GRANT A.

JEFFRIES

ARCHITECT

No.

1301062494

PROJECT ISSUE DATE: 01 / 21 / 2022

01 / 21 / 2022 04 / 22 / 2022 04 / 29 / 2022

G/

1.00



giffels webster

Engineers
Surveyors
Planners
Landscape Architects

1025 East Maple Road Suite 100 Birmingham, MI 48009 p (248) 852-3100 f (313) 962-5068

www.giffelswebster.com

Executive:	MP
Manager:	JKA
Designer:	JKA
Quality Control:	MP
Section:	17 &20
	T-01-N R-11-E

Professional Seal:





DATE:	ISSUE:
04.22.2022 04.29.2022	Submit for Site Plan Approval Rev. 01
05.27.2022	Revised Site Plan Review Drawings

Developed For:

Operation Grow LLC
d.b.a.

Butter Provisioning Center 3249 Wakefield Rd. Berkley, MI 48072

danny@operationgrow.biz

TOPOGRAPHIC SURVEY

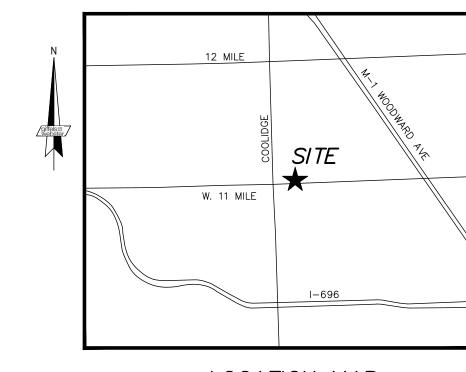
Butter Provisioning Center

CITY OF BERKLEY OAKLAND COUNTY MICHIGAN

Date:	04.22.2022
Scale:	1"=10'
Sheet:	C/ 1.00
Project:	19823.10
•	

Copyright © 2022 Giffels Webster.

No reproduction shall be made without the prior written consent of Giffels Webster.



LOCATION MAP (NOT TO SCALE)

PROPERTY DESCRIPTION 2222 West 11 Mile Road

(OKLAND COUNTY RECORDS)

CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN T1N, R11E, SEC 17 & 20 LOTS 284 TO 288 INCLUSIVE, ALSO 1/2 OF VACATED ALLEY ADJACENT OF. HANNAN'S WEST ROYAL OAK SUBDIVISION, L.14, P.3

PROPERTY DESCRIPTION 2200 West 11 Mile Road

(OKLAND COUNTY RECORDS)

CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN T1N, R11E, SEC 17 & 20 LOTS 289 TO 292 INCLUSIVE, ALSO 1/2 OF VACATED ALLEY ADJACENT OF. HANNAN'S WEST ROYAL OAK SUBDIVISION, L.14, P.3

SCHEDULE OF STRUCTURES

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
50	GATE VALVE		671.75	-3.52	668.23		MEASURED TO TOP OF VALVE, FULL OF WATER, NO PIPES VISIBLE
51	CATCH BASIN	12"	671.33	-3.51	667.82	EAST	
52	CATCH BASIN	12"	671.42	-4.22	667.20	EAST	
142	ROUND CATCH BASIN		672.35	-3.00	669.35		MEASURED TO TOP OF DEBRIS, FULL OF DEBRIS
142	ROUND CATCH BASIN		672.35	-1.22	671.13		MEASURED TO TOP OF PIPE
143	ROUND CATCH BASIN	6"	671.94	-3.81	668.13	NORTHEAST	
143	ROUND CATCH BASIN		671.94	-3.95	667.99		MEASURED TO BOTTOM OF STRUCTURE
212	ROUND CATCH BASIN	6"	672.84	-2.55	670.29	NORTH	
252	SANITARY MANHOLE		672.40				UNABLE TO OPEN LID, MANHOLE IS UNDER A FENCE LINE

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/ OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

MISS DIG DESIGN TICKET NUMBER: B003110842-00B

LEGEND — EXISTING

	- SECTION LINE	S	SAN. MH	G	GAS METER	*	MISC. TOPO. SHOT
	- E/ PAVEMENT	○c.o	. SAN. CLEAN OUT		GAS RISER	\triangle	SURVEY CONTROL POINT
		Ŝ	SAN. RISER	GAS ►	GAS VALVE	•	FOUND IRON
	- E/ GRAVEL - CL ROAD	P.S.	SAN. PUMP STATION	G	GAS MH	*	FOUND NAIL
	- CL ROAD - E/ WALK	©	COMB. MH	\triangle	TELE. RISER	"×"	F. CUT CROSS
. 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	•	\otimes	GATE VALVE	T	TELE. MH	lacktriangle	SECTION COR.
	- E/ BRICK	\bigcirc	HYDRANT	T	TELE. CROSS BOX	\odot	FENCE POST
	- MISC. LINE	H	WATER VALVE	\triangle	CABLE RISER	4	BENCHMARK
x	- FENCE	$\langle W \rangle$	WATER METER	[]	DAY DUONE	\odot	FOUND PIPE
	- GUARD RAIL		POST INDICATOR VALVE	[\$	PAY PHONE	•	FOUND MON.
	BLDG. LINE	\bigcirc	WELL HEAD	\bigcirc	MANHOLE	ASPH.	ASPHALT
———— OH ————		>	FDC CONNECTION		SIGN	CONC.	CONCRETE
		W	IRRIGATION CONTROL BOX	\odot	PROT. POST/GUARD POST	A.C.	AIR CONDITIONER
		\ominus	STORM MH	<	GUY	G.P.	GUARD POST
			CATCH BASIN	0	DECIDUOUS TREE	C.L.F.	CHAIN-LINK FENCE
	,		BEEHIVE CB	*	CONIFEROUS TREE	D.L.	DOOR LEDGE
	•	>	CULVERT E.S.	\boxtimes	DEAD TREE	F.F.	FINISHED FLOOR
	· TREE LINE	$^{\circledR}$	ROOF/DOWN SPOUT	(UT FLAG)	UTILITY FLAG	O.H.	OVERHANG
	- WATER EDGE	\bigotimes	OVERFLOW/OUTLET STRUCTURE	*	BLDG. CORNER (FIELD LOCATED)	F.I.	FOUND IRON
· · ·		Oc.0	. STORM CLEAN OUT	Ġ	HANDICAP PARKING	S.I.	SET IRON
STM			ROUND CB	*	WETLAND FLAG	F.I.P.	FOUND IRON PIPE
——————————————————————————————————————		\Diamond	LIGHT POLE		BUSH/SHRUB	M.	MEASURED
GAS		Ø	UTILITY POLE	\odot	PARKING METER	R.	RECORD
———— UGE ———		E	ELEC. TRANS.		RESIDENTIAL MAILBOX	F.M.	FOUND MONUMENT
UGT		AC	AIR CONDITIONER	U.S.	U.S. MAILBOX	S.N.	SET NAIL
CTV		E	ELEC. MH		CVICTINIO FLEVATIONI	CMP	CORREGATED METAL PIPE
	- PAINT STRIPE	Œ	ELEC. METER	000.00+00	EXISTING ELEVATION	RCP	REINFORCED CONCRETE PIPE
——————————————————————————————————————		Æ	ELEC. RISER	♦	SOIL BORING	G.L.	GROUND LIGHT
STEAM		С	TRAFFIC CONTROL BOX	\bigcirc	MONITORING WELL		
\w\w\w		ST	STEAM MH	+	LAWN IRRIG. HEAD		
TEL	- TELEPHONE OVERHEAD	Ĺ	PUBLIC LIGHTING MH		CENTERLINE R.R. TRACK		

NOTES:

- GAS UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY. NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.

BENCH MARK DATA (N.A.V.D.88) DATUM

SITE BENCH MARK NO. 1

ARROW ON HYDRANT ON THE NORTH SIDE OF W. 11 MILE ROAD, +/- 55 FEET EAST OF THE SOUTHEAST CORNER OF BUILDING AT ADDRESS NO. 2222. (HYDRANT STAMPED WITH YEAR 2007)

ELEVATION: 674.39'

SITE BENCH MARK NO. 2

ARROW ON HYDRANT ON THE SIDE SOUTH OF W. 11 MILE ROAD, AT HOUSE NO. 13139 (HYDRANT STAMPED WITH YEAR 2008)

ELEVATION: 674.47'

Engineers Surveyors **Planners**

Landscape Architects 1025 East Maple Road Suite 100

Birmingham, MI 48009 p (248) 852-3100 f (313) 962-5068 www.giffelswebster.com

Executive:	MP
Manager:	JKA
Designer:	JKA
Quality Control:	MP
Section:	17 &20
	T-01-N R-11-E

Professional Seal:





DATE:	ISSUE:
04.22.2022	Submit for Site Plan Approval
04.29.2022	Rev. 01
05.27.2022	Revised Site Plan Review Drawings

Developed For: Operation Grow LLC

Butter Provisioning Center 3249 Wakefield Rd. Berkley, MI 48072

danny@operationgrow.biz

SURVEY INFORMATION

Butter Provisioning Center

CITY OF BERKLEY OAKLAND COUNTY MICHIGAN

Date:	04.22.2022
Scale:	NA
Sheet:	C/ 1.01
Project:	19823.10

Copyright © 2022 Giffels Webster.

No reproduction shall be made without the prior written consent of Giffels Webster.

TRAFFIC CONTROL NOTES FOR WORK IN ROW

- 1. PRIOR TO START OF CONSTRUCTION, THE GENERAL CONTRACTOR PERFORMING THE WORK WILL PREPARE A TRAFFIC CONTROL PLAN AND SEQUENCE OF CONSTRUCTION FOR REVIEW/APPROVAL BY THE CITY OF BERKLEY DPW. ALL WORK WILL BE PERMITTED BY THE CITY OF BERKLEY.
- 2. "GIVE 'EM A BRAKE SAFETY" (GEBS) WILL BE CONTRACTED TO PROVIDE ALL SIGNS & CONES FOR LANE CLOSURES AND REDIRECTS. THE WORK FOR NEW CURB, STORM SEWER TIE-IN, AND FIRE HYDRANT RELOCATION WILL BE PERFORMED SIMULTANEOUSLY TO MINIMIZE DISRUPTION, AND WILL BE COMPLETED WITHIN A THREE-WEEK WINDOW. THE CREWS WILL PUT THE CONES BACK TO FREE UP THE LANES ON NIGHTS AND WEEKENDS.
- 3. GEBS TO UTILIZE MDOT TEMPORARY TRAFFIC CONTROL PROCEDURES FOR A ONE-LANE CLOSURE ON AN UNDIVIDED MULTI-LANE ROADWAY FOR THE NORTHERLY WESTBOUND LANE ON WEST 11 MILE ROAD PER DRAWING MO240A IN THE MDOT STANDARDS.

DEMOLITION LEGEND:

REMOVE OBJECT REMOVE WALL / FENCE \cdot \times \cdot \times \cdot \times \cdot \times \cdot \times \cdot ABANDON UTILITY PIPE . / . / . / . / . / . / . .

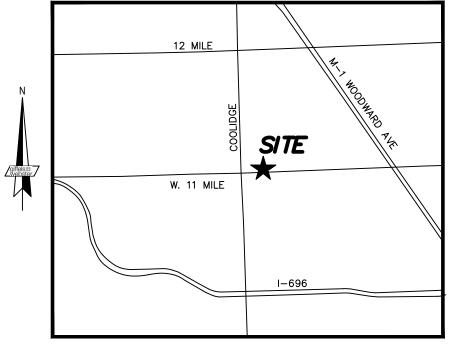
CUT AND BULKHEAD UTILITY REMOVE EXISTING CURB ---------REMOVE STRUCTURE

REMOVE ASPHALT PAVEMENT

REMOVE CONCRETE SURFACE



LOCATION MAP (NOT TO SCALE)



MP Manager: JKA Designer: JKA Quality Control: MP 17 &20

giffels

Surveyors

Planners

Landscape Architects

1025 East Maple Road

Suite 100

Birmingham, MI 48009

p (248) 852-3100

f (313) 962-5068

www.giffelswebster.com

T-01-N R-11-E Professional Seal:





ı	DATE:	1880E:
	04.22.2022 04.29.2022	Submit for Site Plan Approval Rev. 01
l	05.27.2022	Revised Site Plan Review Drawings
l		
l		
l		
l		
l		
l		
l		
l		
l		
l		
	Developed	
1	Developed Fo	UI.

Operation Grow LLC **Butter Provisioning Center** 3249 Wakefield Rd. Berkley, MI 48072

danny@operationgrow.biz

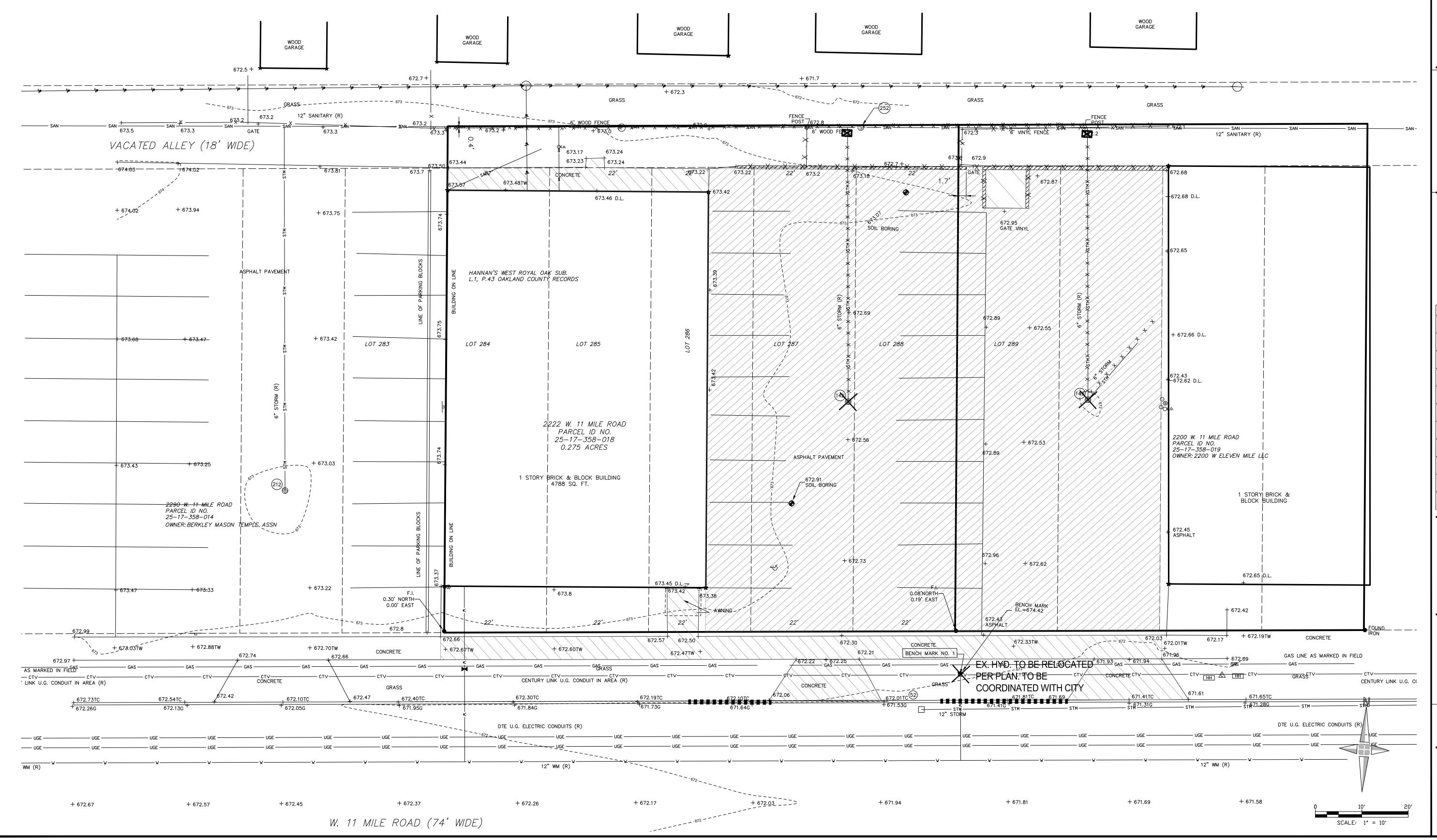
DEMOLITION PLAN

Butter Provisioning Center

CITY OF BERKLEY OAKLAND COUNTY MICHIGAN

04.22.2022 1"=10' C/ 1.02 19823.10 Copyright © 2022 Giffels Webster. No reproduction shall be made without the

prior written consent of Giffels Webster.



313 - 936 - 0835 INFO@FIVE-EIGH



PROJECT ISSUE DATE: 01 / 21 / 2022

04 / 22 / 2022 04 / 29 / 2022 05 / 27 / 2022

SITE PLAN - CUSTOMER PARKING

PER SECTION 138-219 - OFF-STREET PARKING REQUIREMENTS OF THE BERKLEY ZONING ORDINANCE:

RETAIL STORE (2222 SUITE A):

ONE PER 225 SQUARE FEET OF USABLE FLOOR AREA

WHOLESALE AND WAREHOUSE ESTABLISHMENTS (2222 SUITE B & 2200):

ONE PER 250 SQUARE FEET OF USABLE FLOOR AREA

PROPOSED RENOVATION TO 2222 WEST ELEVEN MILE ROAD:

TOTAL AREA OF BUILDING (SQUARE FEET):

SUITE A: 3,438 GROSS X (0.7) = 2,407 USABLE FLOOR AREA SUITE B: 797 GROSS X (0.7) = 558 USABLE FLOOR AREA

2,407 / 225 = 10.7 558 / 250 = 2.2

SUBTOTAL

10.7 + 2.2 =

(ROUND UP TO 13) 12.9

EXISTING BUILDING & USE AT 2200 WEST ELEVEN MILE ROAD:

3,780 GROSS X (0.7) = 2,646 USABLE FLOOR AREA

10.6 **(ROUND UP TO 11)** 2,646 / 250 =

SECTION 138-218 - SHARED PARKING/PARKING WAIVERS

(a) IN COMPUTING CAPACITIES FOR ANY JOINT USE, THE OFF-STREET PARKING REQUIREMENT IS THE SUM OF THE INDIVIDUAL REQUIREMENTS THAT WILL OCCUR AT THE SAME TIME. IN COMPUTING THE REQUIRED PARKING SPACES FOR THE TOTAL OF JOINT OFF-STREET PARKING, THE TOTAL SPACES REQUIRED MAY BE REDUCED BY THE ZONING OFFICER WHENEVER THE FACILITIES SERVED DO NOT OPERATE DURING THE SAME HOURS OF THE DAY OR NIGHT AND IT CAN BE CLEARLY ESTABLISHED THAT A SIMULTANEOUS NEED FOR JOINT USE PARKING WILL NOT OCCUR.

KIRCO (THE TENANT OCCUPYING THE 2200 W ELEVEN MILE BUILDING) USES THE 2200 BUILDING FOR STORAGE AND ONLY NEEDS TO ACCESS IT IN THE EARLY MONRING BEFORE BUTTER WILL BE OPEN, AND ONLY NEEDS ONE OR TWO PARKING SPACES AT A TIME IN ADDITION TO THE CLEAR UNLOADING SPACE IN FRONT OF THE OVERHEAD DOOR ON THEIR BUILDING. REFER TO THE SHARED PARKING AGREEMENT (EXHIBIT A) IN THE WRITTEN PARKING PLAN FOR MORE DETAILS.

THEREFORE, SINCE THE TWO BUILDINGS OPERATE DURING DIFFERENT HOURS, THE MAXIMUM PAKRING SPACES NEEDED AT ANY TIME PER THE REQUIREMENTS OF THE ORDINANCE IS 13 SPACES.

PER SECTION 138-220(B) - PARKING DIMSENSIONS OF THE BERKLEY ZONING ORDINANCE, NO MORE THAN 30 PERCENT OF THE REQUIRED PARKING SPACES

MAY BE 8' X 16' FOR COMPACT CAR SPACES.

THEREFORE, NO MORE THAN 3 OF THE 13 SPACES MAY BE COMPACT SPACES.

PER SECTION 138-221 OF THE BERKLEY ZONING ORDINANCE, 1 BARRIER FREE PARKING SPACE IS REQUIRED FOR PARKING LOTS WITH UP TO 25 SPACES.

THEREFORE, 1 BARRIER FREE SPACE IS REQUIRED.

 $(0.3) \times (13) = 3.9$

PER SECTION138-268. - PARKING CREDIT OF THE BERKLEY ZONING ORDINANCE, "BICYCLE PARKING MAY BE USED TO REDUCE THE NUMBER OF REQUIRED OFF-STREET PARKING SPACES. EXISTING DEVELOPMENTS MAY ELECT TO REDUCE THE REQUIRED OFF-STREET PARKING BY TWO CAR PARKING SPACES BY PROVIDING FOUR BICYCLE PARKING SPACES"

PARKING FOR 4 BIKES IS PROVIDED, THEREFORE THE REQUIRED NUMBER OF PARKING SPACES IS REDUCED TO 11, BUT 19 SPACES ARE PROVIDED.

PROPOSED PARKING SPACES ON THE COMBINED SITE OF 2200 AND 2222 W ELEVEN MILE RD:

14 STANDARD SPACES, 3 COMPACT SPACES, 1 BARRIER-FREE VAN ACCESSIBLE SPACE, 1 STANDARD BARRIER-FREE FOR A TOTAL OF 19 SPACES [COMPLIES]

IN ADDITION TO THE 19 SPACES LISTED ABOVE, BUTTER HAS A SHARED PARKING AGREEMENT THAT GIVES THEM ACCES TO AN ADDITIONAL 11 SPACES DURING THEIR HOURS OF OPERATION AND AN ADDITIONAL 9 SPACES UNTIL 6 PM. REFER TO EXHIBIT B IN THE WRITTEN PARKING PLAN FOR MORE DETAIL REGARDING THE TERMS OF THIS AGREEMENT.

GENERAL NOTES - SHARED PARKING AGREEMENTS | 8

1. REFER TO **EXHIBIT A** IN THE WRITTEN PARKING PLAN FOR THE SHARED

2. REFER TO **EXHIBIT B** IN THE WRITTEN PARKING PLAN FOR THE SHARED

BOTH BUILDING ARE OWNED BY OPERATION GROW LLC.

MASON TEMPLE ASSOCIATION.

REGARDING EMPLOYEE PARKING.

PARKING AGREEMENT WITH THE TENANT THAT OCCUPIES 2200 W. ELEVEN

PARKING AGREEMENT WITH THE TENANT THAT OCCUPIES 2290 W. ELEVEN

MILE RD. (BERKLEY MASONIC TEMPLE). THIS AGREEMENT IS IN RELATION TO

THE EXISTING PARKING LOT TO THE WEST OF THE DISPENSARY (PARKING

SPACES #20 THROUGH #39). THIS BUILDING IS OWNED BY THE BERKLEY

3. BUTTER EMPLOYEES WILL PARK OFF-SITE AND BE SHUTTLED TO AND FROM

THE DISPENSARY AT THE BEGINNING AND END OF THEIR SHIFTS. BUTTER

WILL ALSO OFFER INCENTIVES FOR EMPLOYEES TO WALK, BIKE, CARPOOL,

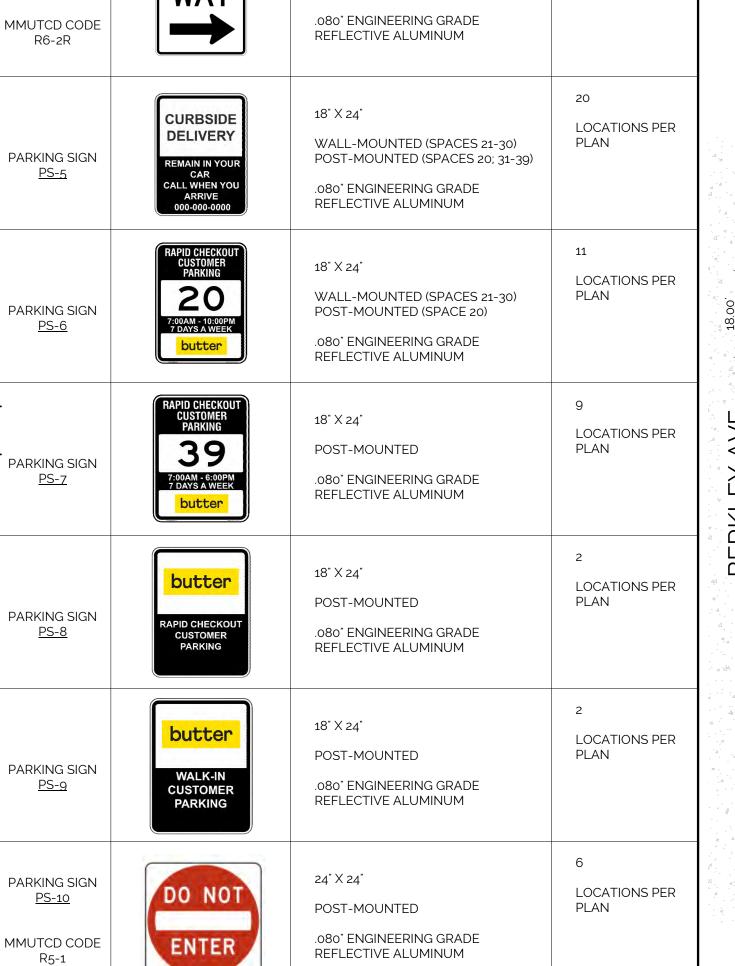
WRITTEN PARKING PLAN AND **EXHIBITS C AND D** FOR MORE INFORMATION

AND TAKE RIDESHARE SERVICES TO AND FROM WORK. REFER TO THE

MILE RD. AND SUITE B IN 2222 W. ELEVEN MILE RD (KIRCO MANAGEMENT

INC). THIS AGREEMENT IS IN RELATION TO THE NEW COMBINED PARKING LOT BETWEEN THE TWO BUILDINGS (PARKING SPACES #1 THROUGH #19).

GENERAL NOTES - OFF-STREET PARKING REQUIREMENTS 2



SCHEDULE - PARKING SIGNS 10

SIZE / MOUNTING / MATERIAL

18" X 24"

18" X 24"

18" X 24"

18" X 24"

POST-MOUNTED

POST-MOUNTED

POST-MOUNTED

POST-MOUNTED

.080" ENGINEERING GRADE

.080" ENGINEERING GRADE

.080" ENGINEERING GRADE

REFLECTIVE ALUMINUM

REFLECTIVE ALUMINUM

REFLECTIVE ALUMINUM

QUANTITY

LOCATION

LOCATIONS PER

LOCATIONS PER

LOCATIONS PER

PLAN

PLAN

TAG

PARKING SIGN

<u>PS-1</u>

PARKING SIGN

<u>PS-2</u>

PARKING SIGN

<u>PS-3</u>

MMUTCD CODE

R6-2L

PARKING SIGN

<u>PS-4</u>

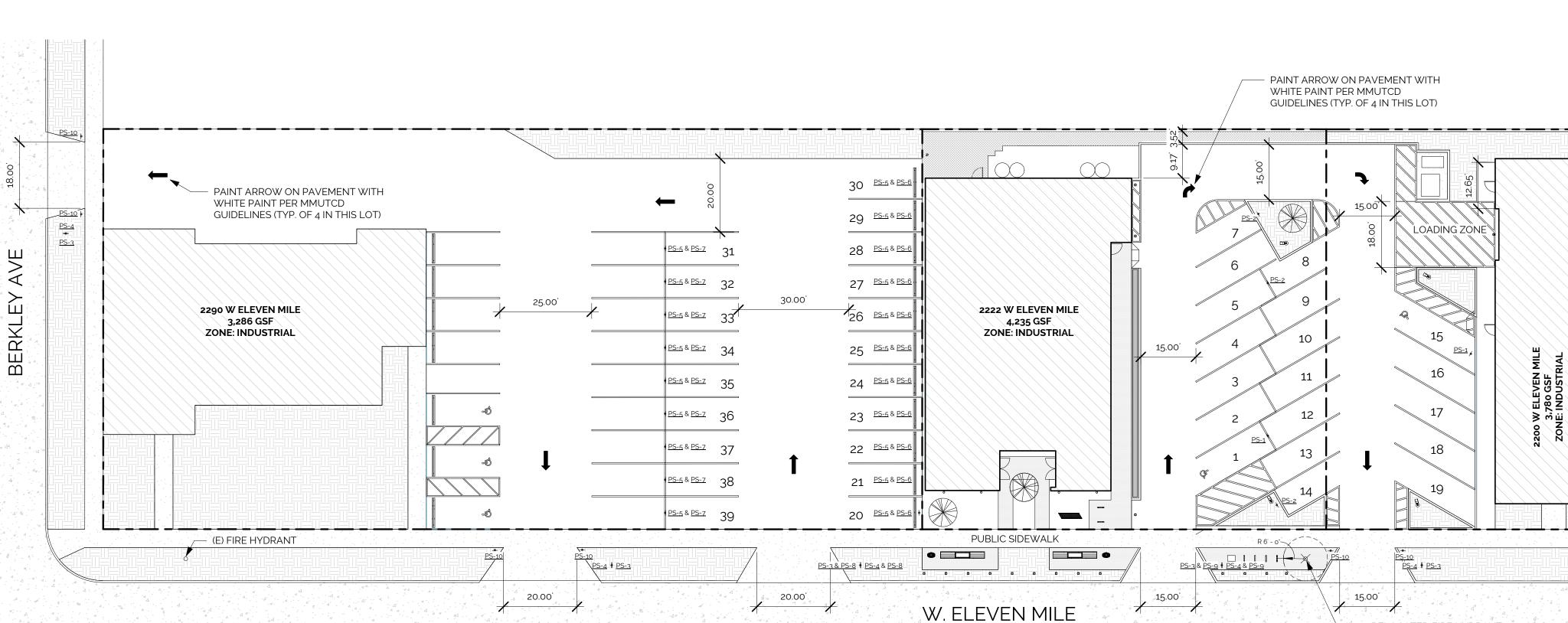
IMAGE

VAN

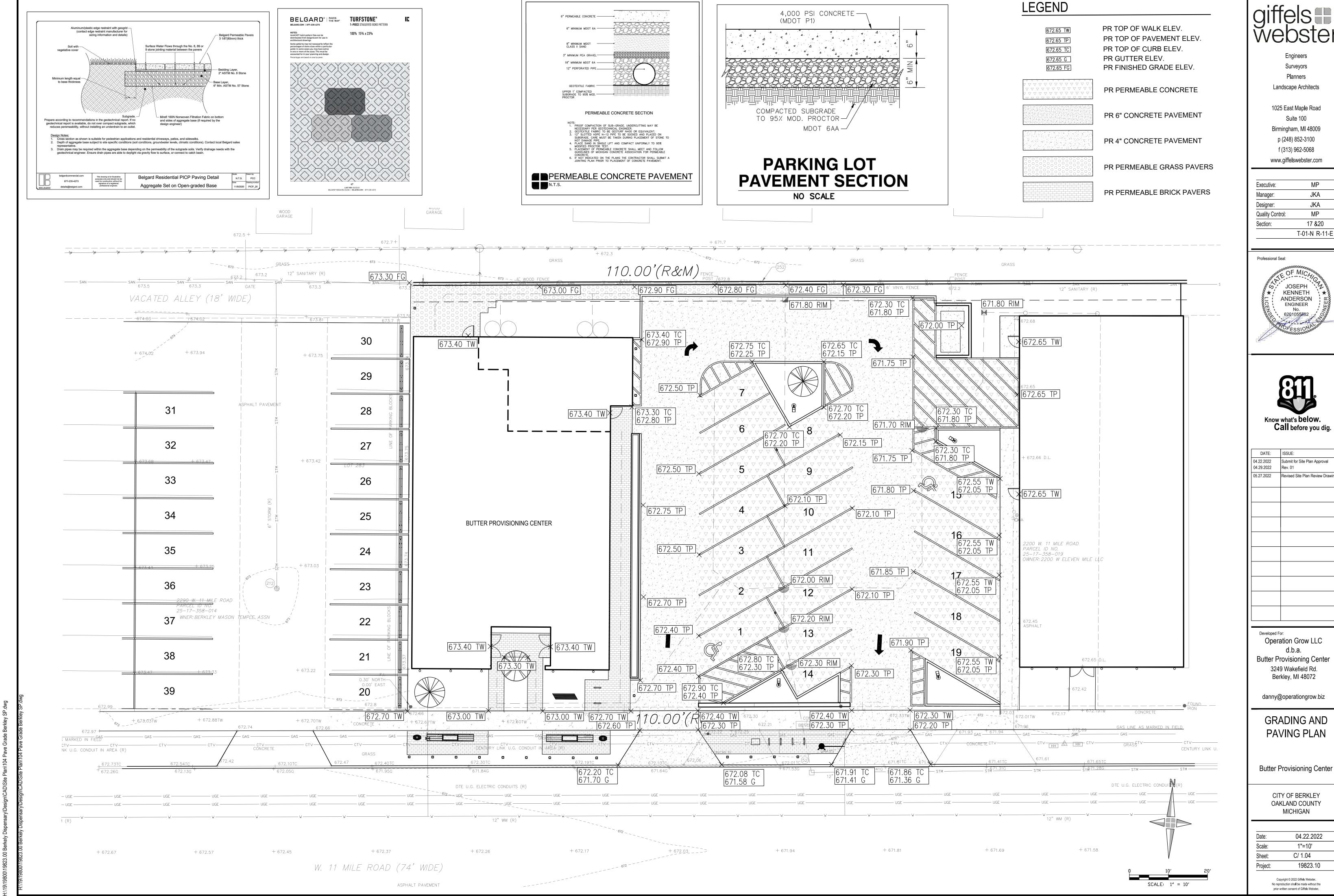
COMPACT

PARKING

ONE



- RELOCATED FIRE HYDRANT



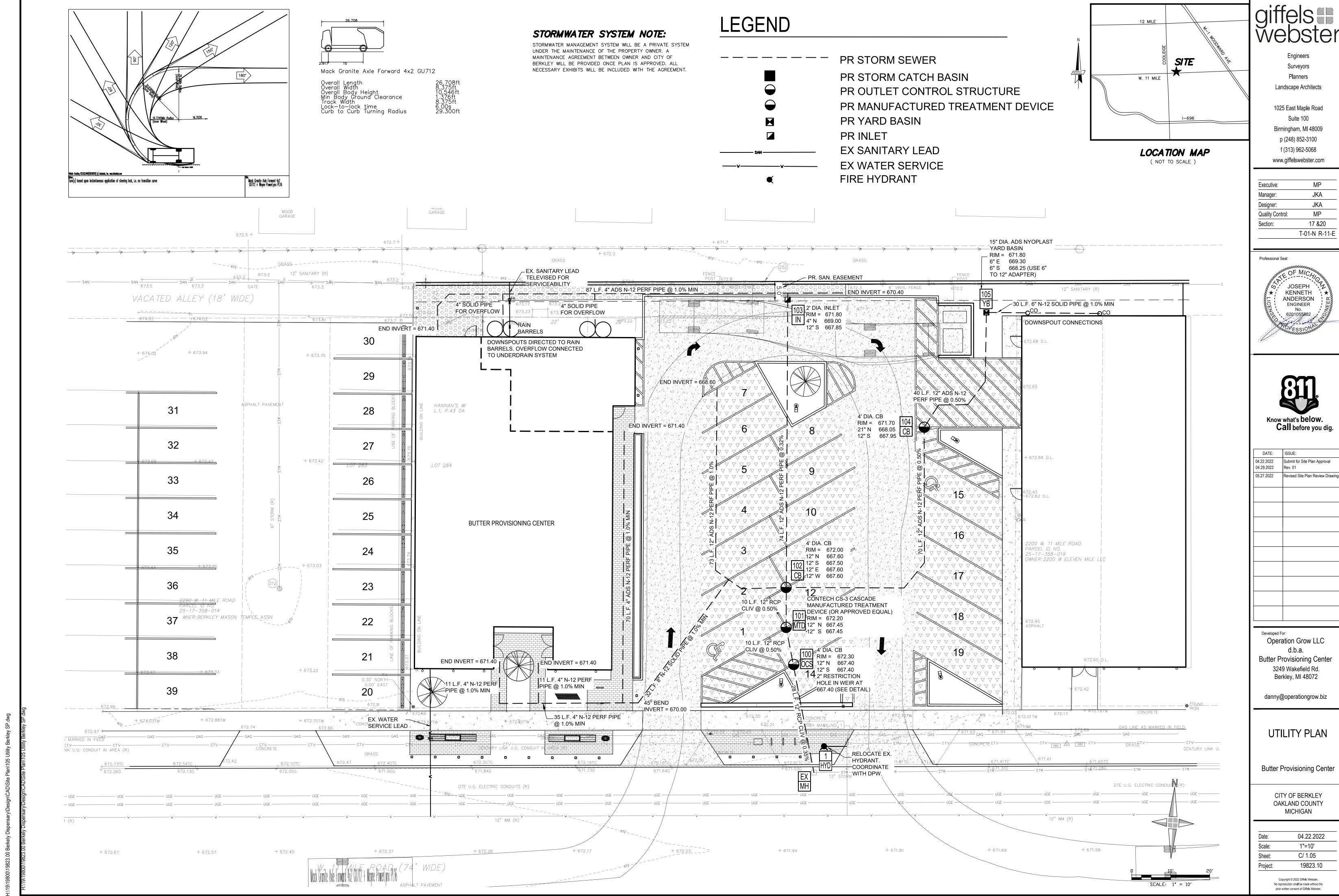
MP JKA JKA MP



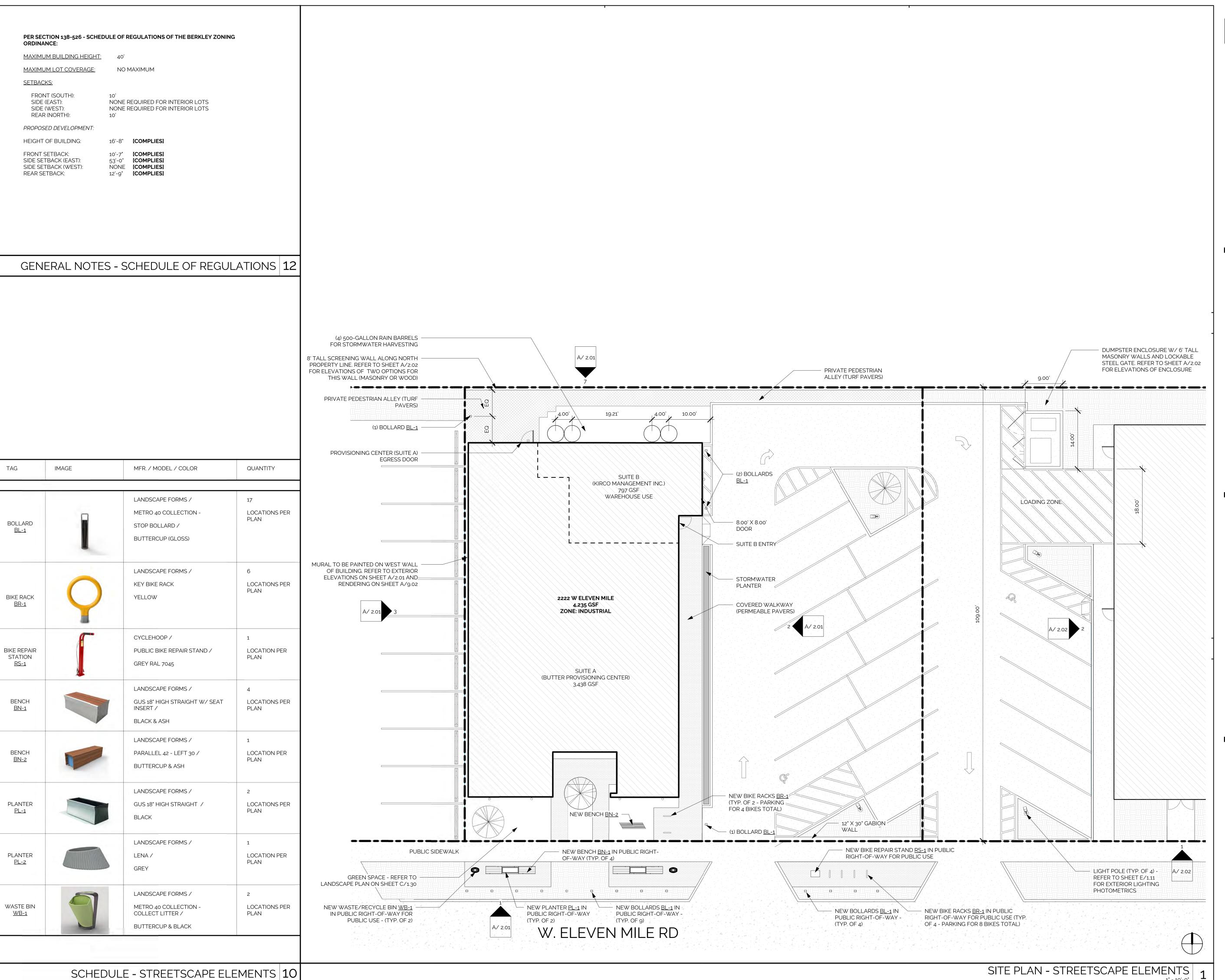


DATE:	ISSUE:
04.22.2022	Submit for Site Plan Approval
04.29.2022	Rev. 01
05.27.2022	Revised Site Plan Review Drawings

Date:	04.22.2022	
Scale:	1"=10'	
Sheet:	C/ 1.04	
Project:	19823.10	



Revised Site Plan Review Drawings



/E - EIGHTH!

CHIGAN - FERNDALI

BUTTER PROVISIONING
CENTER
2222 WEST ELEVEN MILE ROAD - BERKLEY - MICHIGA

TE PLAN - STREETSCAP
EMENTS

GRANT A.

JEFFRIES

ARCHITECT

No.

1301062494

PROJECT ISSUE DATE:

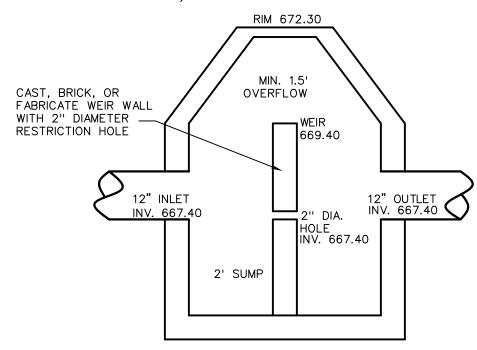
01 / 21 / 2022 04 / 22 / 2022 04 / 29 / 2022 05 / 27 / 2022

C/

1.06

SITE CIVIL NOTES OF INTENT

- GRADING AND SESC: ALL GRADING AND SOIL EROSION & SEDIMENTATION CONTROL MEASURES WILL BE IMPLEMENTED AND STRICTLY ENFORCED THROUGHOUT CONSTRUCTION.
- SANITARY SERVICE: THE EXISTING SANITARY SERVICE IS PROPOSED TO BE UTILIZED. THE EXISTING SANITARY LEAD HAS BEEN TELEVISED TO ENSURE SERVICEABILITY.
- WATER SERVICE: THE EXISTING WATER SERVICE IS PROPOSED TO BE UTILIZED. BUILDING WILL NOT BE FIRE SUPPRESSED AND NO NEW WATER SERVICES ARE ANTICIPATED.
- STORMWATER MANAGEMENT: A GREEN ROOF, POROUS INTERLOCKING CONCRETE PAVERS (PICP), GRASS PAVERS, AND PERMEABLE CONCRETE PAVEMENT ARE PROPOSED TO REDUCE THE OVERALL STORMWATER RUNOFF FOR THE SITE.
- •• THE EXISTING CATCH BASINS IN BOTH PARKING LOTS WILL BE REMOVED AND DISCONNECTED FROM THE COMBINED SEWER IN THE REAR OF THE LOTS.
- •• THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER STORMWATER ENGINEERING DESIGN STANDARDS, UPDATED 11/22/2021, DO NOT APPLY TO THIS DEVELOPMENT PROJECT AS THE SITE IS LESS THAN 1 ACRE. HOWEVER, LOW IMPACT DESIGN ENGINEERING PRACTICES HAVE BEEN UTILIZED TO GREATLY REDUCE THE EFFECTS OF STORMWATER RUNOFF FROM THIS PROJECT AS DESCRIBED HEREIN, AND THE DESIGNED STORAGE DOES MEET OCWRC STANDARDS.
- •• A TOTAL OF MINIMUM 41" THICK PERVIOUS CONCRETE PAVEMENT SECTION, EXCEEDING THE RECOMMENDED SECTION IN THE GEOTECHNICAL REPORT, WILL PROVIDE STORAGE AND TRANSMISSION OF STORMWATER RUNOFF.
- •• THE BOTTOM 18" STONE LAYER BASE (MDOT 6A), ASSUMING A 35% VOID SPACE, CAN HOLD 2,745cf OF STORMWATER, 2,566cf ARE SUGGESTED. (SEE CALCULATIONS)
- THE SUBBASE OF THE PERMEABLE CONCRETE PARKING AREAS WILL BE GRADED TO SLOPE TOWARDS THE PERFORATED UNDERDRAIN PIPES.
- •• THIS SITE WILL ALSO UTILIZE A CASCADE SWIRL CHAMBER TO CAPTURE FLOATABLES AND FILTER OUT SEDIMENT. THIS UNIT HAS NJDEP CERTIFICATION.
- •• THE PROPOSED OUTLET CONTROL STRUCTURE NEAR THE DRIVE ENTRANCE WILL BE RESTRICTED TO ALLOW 0.11cfs OUTFLOW AND DEWATER WITHIN 40 HOURS. (SEE CALCULATIONS).



CASCADE separator®

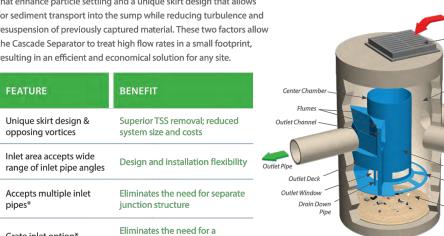
4' DIA. OUTLET CONTROL

STRUCTURE DETAIL

The Cascade Separator®

Advanced Sediment Capture Technology The Cascade Separator® is the newest innovation in stormwater treatment from Contech. The Cascade Separator was developed by Contech's stormwater experts using advanced modeling tools and Contech's industry leading stormwater laboratory.

This innovative hydrodynamic separator excels at sediment capture and retention while also removing hydrocarbons, trash, and debris from stormwater runoff. What makes the Cascade Separator unique is the use of opposing vortices that enhance particle settling and a unique skirt design that allows for sediment transport into the sump while reducing turbulence and resuspension of previously captured material. These two factors allow the Cascade Separator to treat high flow rates in a small footprint, resulting in an efficient and economical solution for any site.



Grate inlet option* separate grate inlet structure Eliminates the need for a separate bypass structure Clear access to sump and

stored pollutants

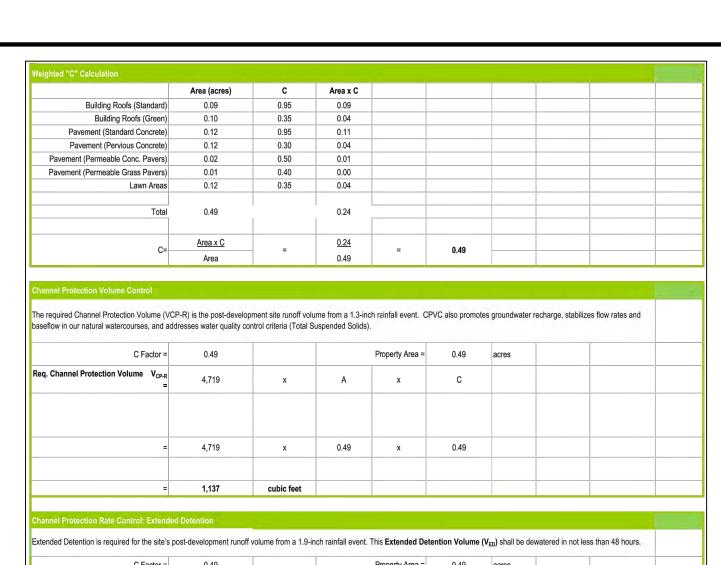
Cascade provides unobstructed access to stored pollutants, making it easy to maintain using a vacuum truck, with no requirement to enter the unit. * NJDEP testing based on Cascade Separator with one inlet pipe and no grate inlet The Cascade Separator has received New Jersey Department

of Environmental Protection (NJDEP) Certification*

CASCADE MAINTENANCE

An efficient and economical solution

CINTECH



x A x C

6,897 x 0.49 x 0.49

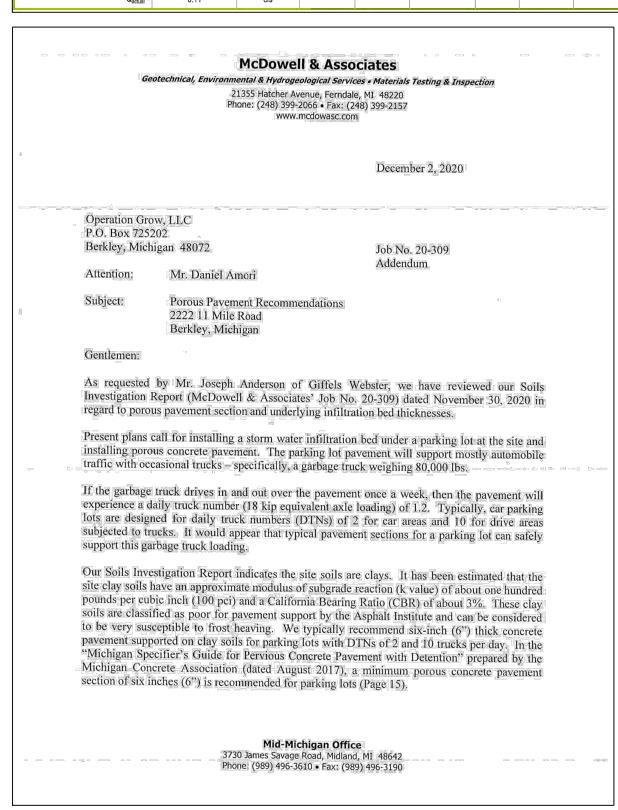
Extended Detention Volume V_{ED} =

6.897

				-			+		-
=	1,662	cubic feet							
Water Quality Control			-	*	*				
Mechanical Separators: Mechanical separato	rs designed for the rec	uired TSS removal a	at a peak flow r	ate (Q _{wq}) generate	ed by a 1-year peak	flow			
Calculate Time of Concentration - Time require									
Sheet Flow (no more than 300')									
	K =	= 0.48		S =	= 1.00	Slope of flow	path in percent		
Velocity of sheet flow, v _{sheet} =	K	Х	S ^{0.5}						
				0.50		4			
V _{sheet} =	0.48	X	1.00	0.30					
v _{sheet} =	0.48	ft/s							-
vsheet	0.40	103							
	L:	= 100	ft	Flow Length					
Travel Time, T _{tsheet} =		L							
	3,600	x	V _{sheet}						
T _{tsheet} =	25.7.202	100	1 57.67						
	3,600	X	0.48						-
т -	0.06	hours	=	3.47	minuton				
T _{tsheet} =	0.06	hours	7	3.47	minutes				
Pipe Flow									
T _{tpipe} =	5.00	minutes	(from pipe net	work calculations, s	subtract initial Tc (15	or 20 minutes)	from ending Tc)		
Time of Concentration T _c =	T _{tsheet}	+	T _{twaterway}	+	T _{tpipe}	+	Infiltration	Added time for infiltr pervious concrete ar	
T _c =	3.47	+	0.00	+	5.00	+	20.00	pervious concrete ai	la storic bea.
10	0.47		0.00		0.00	1	20.00		
Time of Concentration T _C =	28.47	minutes							
Peak Rainfall Intensity I ₁ =	35.44	1		(T _C	+ 9.17)0.81		1		
, can rainian monony i	00.44	,		, ,,	1 3.11)				
=	35.44	1		(28.47	+ 9.17)0.81		1		
	00.11	<u>'</u>		20.41	1 3.17)				
=	1.88	inches / hour			1		1		
-	1.00	inches / nour					1	-	
C Factor =	0.40	1 -	4.00	i=/b=		Dranarty Area	0.40		
C Factor =	0.49	I ₁ =	1.88	in/hr	-	Property Area =	0.49	acres	
Broth Films Bata O			1						
Peak Flow Rate Q _{wQ} =	С	X	I ₁	Х	A				
=	0.49	x	1.88	х	0.49				
=	0.4	5 cfs					1	1	
	••••								
Data di a cod Flord Control									
Detention and Flood Control									

=	0.49	X	1.88	х	0.49				
=	0.45	cfs							
Igntion and Flood Control									
e allowable 100-year post-development lease Rate (see equations below), 2. Co sign, contact the OCWRC Permitting Dep	unty-determined peak flow	rate based on a doo	umented County [Drain flow capacit	ty or other known dov				
Allowable 100-year Post Development Peak Flow Rate: Q _{100P} =	Q _{VRR}	x	A						
Q _{100P} =	0.20	X	0.49						
0 -	0.40	of o							
Q _{100P} =	0.10	cfs							
C Factor =	0.49		Property Area =	0.49	acres				
100-year Runoff Volume V _{100R} =	18,895	X	С	х	A				
=	18,895	X	0.49	х	0.49				
=	4,554	cubic feet							
	4,004	Cubic feet							
Time of Concentration T _C =	28.47	minutes							
100-year Peak Rainfall Intensity L ₁₀₀ =	83.3	1 (T _C	+ 9.17) ^{0.81}					
=	83.3	1 (28.47	+ 9.17)0.81					
=	4.41	inches / hour							
C Factor =	0.49	I ₁₀₀ =	4.41	in/hr	Property Area =	0.49	acres		
100-year Peak Inflow Rate Q _{100IN} =	С	х	I ₁₀₀	Х	A				
=	0.49	x	4.41	Х	0.49				
	1.06	ofo							
=	1.06	cfs							
Q _{100P} =	0.10	cfs	Q _{100IN} =	1.06	cfs				
Storage Curve Factor R =	[0.206 -	0.15ln (Q100P	1	Q100IN)]			
=	[0.206 -	0.15ln (0.10	1	1.06)]			
=	0.56								
V _{100R} =	4,554	cubic feet	R=	0.56	V _{CP-R} =	1,137	cubic feet	(provided CVPC volume)	
Required 100-year Detention Volume V _{100D} =		V _{100R}	x	R)	-	V _{CP-R}	,	
=	,	4,554		0.56		_	0		
=	(4,054	х	0.50	,		U		
=	2,566	cubic feet							
	I .			1	1		I .	1	

Storage Volume Provided									
		Forebay Detention Pond							
	Elevation	Area (sft)	Incremental Cumulative Volume (cft) Volume (cft)		Area Elevation (sft)		Incremental Volume (cft)	Volume (cft)	
		(213)	((/		()	((3.4)
								0	7,842
		0	_	_				_	
		0	0	0				0	7,842
		0	0	0				0	7,842
		0							1,012
			0	0				0	7,842
		0				668.95	5,228		
			0	0		-		7,842	7,842
		0				667.45	5,228		
				_	USE 0.35 AS VO	S VOID SPACE PERCENTAGE IN 7842 x		7842 x 0.35	_
	Foreba	y Volume Provided=	0	cubic feet		Total Volume Provided=		2,745	cubic feet
	Forebay	y Volume Required=	131	cubic feet		Total Volume Required=		2,566	cubic feet
Restricted Outlet Calculations					_				
Q _{allowable} =	0.10	cfs							
H _{100yr} =	HW	-	Bottom Elev.	=	1.50	ft			
2/3 H _{100yr} =	1.01	ft							
A _{0-100yr} =	Q _{allowable} / (0.62*(2*32.2*2/	(3H _{100yr}) ^{0.5})							
A _{0-100yr} =				0.10					
	0.62	*(2	*	32.2	*	1.01)0.5	
A _{0-100yr} =	0.020	ft²							
Use a 2" restriction within the outlet pipe			Α:	0.0218	ft ²				
Q _{actual} =	A*0.62*(2*32.2*2/3H _{100yr}) ⁰	.5							
Q _{actual} =	0.022	* 0.62	* (2	*	32.2	*	ft)0.5	
Q _{actual} =	0.11	cfs							



Page -2-

Job No. 20-309 Addendum

For the infiltration bed, we suggest the following system. First, a geotextile fabric (Geoturf N400 or equivalent) should be placed over the clay subgrade soils. Next, an eight-inch (8") thick reservoir course consisting of MDOT #6A coarse aggregate should be placed over the geotextile. Four-inch (4") diameter slotted and socked PVC drainage pipes should be installed in the reservoir course at the geotextile level at twenty-foot (20') spacing and allowed to drain to an existing catch basin or manhole. A three-inch (3") thick filter blanket consisting of pea gravel should be placed over the reservoir course. Next, an eight-inch (8") thick filter course consisting of compacted MDOT Class II sand should be installed. The sand should be placed in one lift and compacted uniformly to a minimum density of 95% of its maximum value as determined by the Modified Proctor Test (ASTM D-1557 or AASHTO T-180). A six-inch (6") choker aggregate base course consisting of MDOT #6A stone should be installed over the filter course. Finally, the six-inch (6") thick porous concrete pavement should be installed over the choker aggregate base course. The total thickness of the porous pavement system would then be about thirty-one inches (31").

Before installing the geotextile fabric, the subgrade soils should be prepared as follows. The existing pavement materials should be removed from the new porous pavement area. All topsoil, buried topsoil, loose soil, soft soil, organic soil or other obviously objectionable materials should be removed and the subgrade thoroughly proof-compacted with heavy, rubber-tired equipment. If during the proof-compaction operation areas are found where the soils yield excessively, the yielding materials should be scarified, dried and recompacted or removed and replaced with similar material or clean 1" x 3" crushed concrete or stone. Undercutting and placement of clean crushed concrete or crushed stone may be required in areas of unstable subgrade. After proofcompaction, the upper one foot (1') of the grade should be compacted to a minimum density of 95% of its maximum dry density as determined by the Modified Proctor Test. Care must be taken not to undermine any nearby building's footings.

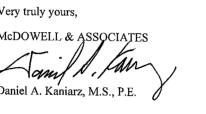
All paving operations should conform with any applicable State of Michigan Department of Transportation (MDOT), Oakland County Road Commission, and City of Berkley specifications.

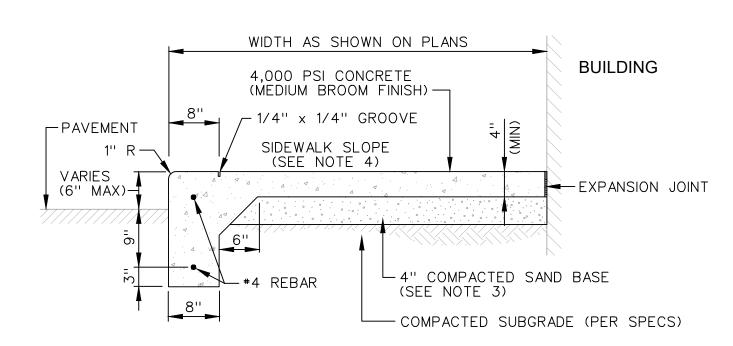
Note that retained water in the infiltration bed could seep towards, and adversely affect, any close residential basements or below-grade structures causing potential wet basement walls or possible flooding. The nearest houses are about sixty feet (60') away; thus, it would appear that water seepage would probably not be a concern. However, this is not known for certain.

If you have any questions or if we can be of any further service, please feel free to call.

DAK/nm

Very truly yours, McDOWELL & ASSOCIATES

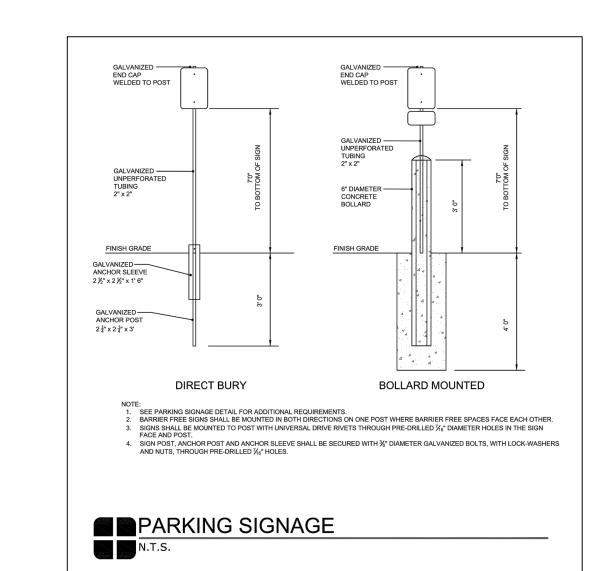




1. EXPANSION JOINTS: 1/2" WIDE x FULL DEPTH, AT 25' INTERVALS TRANSVERSELY, AROUND EMBEDDED ITEMS SUCH AS LIGHT BASES AND AT ABUTTING STRUCTURES SUCH AS BUILDINGS OR CURBS.

- 2. CONTRACTION JOINTS: 1/4" WIDE x 1" DEEP, ARRANGE TO FORM PANELS 6' MAXIMUM IN EITHER DIRECTION.
- 3. SAND BASE MATERIAL SHALL MEET THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.
- 4. SIDEWALK SLOPE SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.0%.

INTEGRAL CONCRETE CURB AND SIDEWALK DETAIL NOT TO SCALE



Engineers Surveyors Planners Landscape Architects

1025 East Maple Road Suite 100 Birmingham, MI 48009 p (248) 852-3100 f (313) 962-5068

Executive:	MP
Manager:	JKA
Designer:	JKA
Quality Control:	MP
Section:	17 &20
	T-01-N R-11-E

www.giffelswebster.com

Professional Seal: JOSEPH KENNETH **ANDERSON** ENGINEER



DATE:	ISSUE:
04.22.2022 04.29.2022	Submit for Site Plan Approval Rev. 01
05.27.2022	Revised Site Plan Review Drawings

Operation Grow LLC d.b.a. Butter Provisioning Center

3249 Wakefield Rd.

Berkley, MI 48072

danny@operationgrow.biz

STORMWATER CALCS AND SITE DETAILS

Butter Provisioning Center

CITY OF BERKLEY OAKLAND COUNTY MICHIGAN

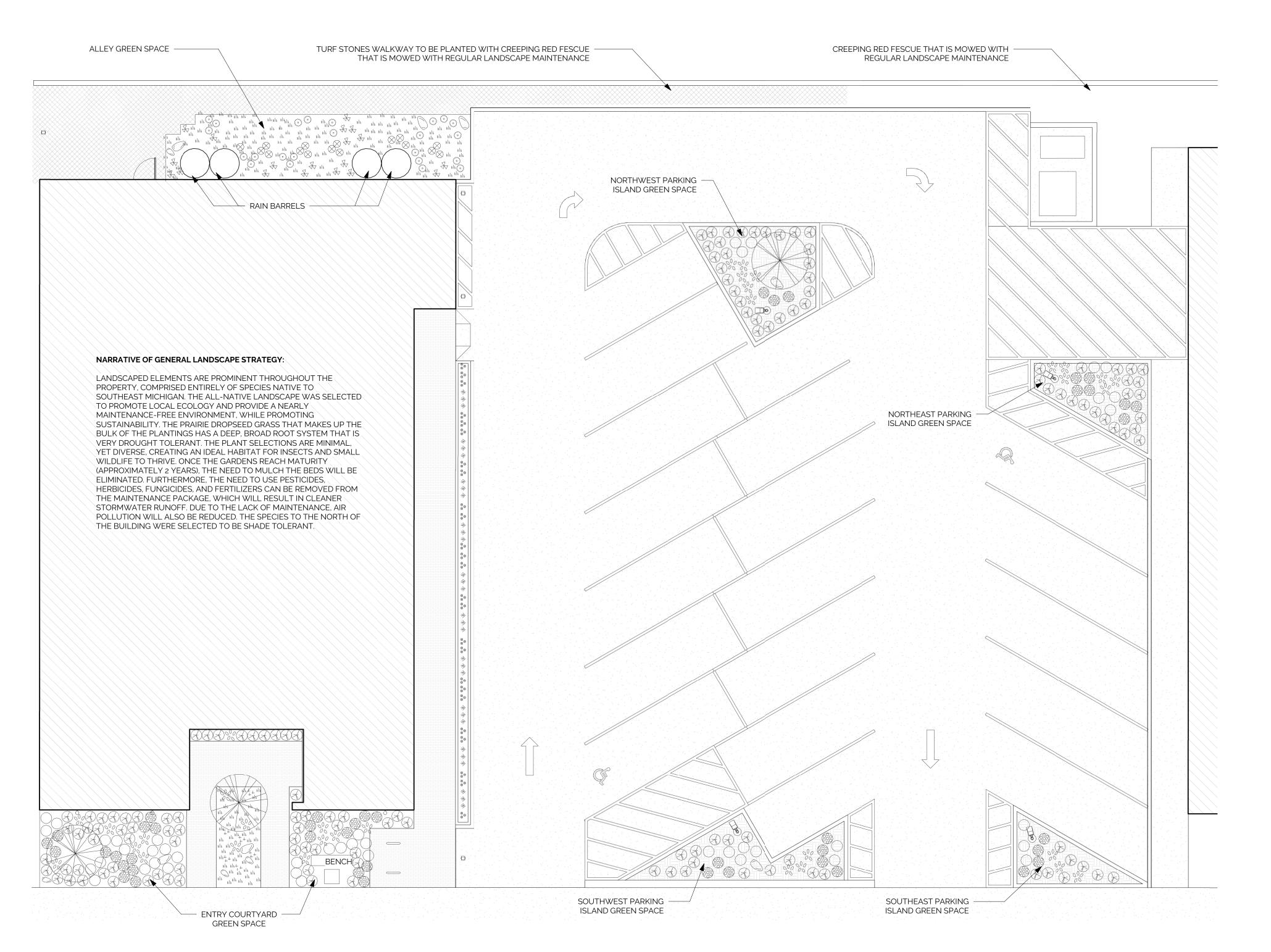
Date:	04.22.2022
Scale:	1"=10'
Sheet:	C/ 7.00
Proiect:	19823.10

Copyright © 2022 Giffels Webster. No reproduction shall be made without the prior written consent of Giffels Webster.

2. REFER TO THE EXTERIOR RENDERINGS ON SHEET A/9.01 AND A/9.02 FOR PHOTOREALISTC DEPICTIONS OF THE LANDSCAPED GREEN SPACES.

GENERAL NOTES - LANDSCAPE PLAN 12

IMAGE	SYMBOL	SPECIES / CULTIVAR / TYPE	SIZE / SPACING	
		MULTI-STEM EASTERN REDBUD CERCIS CANADENSIS NATIVE DECIDUOUS TREE	6' - 8' LOCATION PER PLAN	
		PRAIRIE DROPSEED SPOROBOLUS HETEROLEPIS NATIVE PRAIRIE GRASS	2 GALLON 18" - 24" O.C.	
		PENNSYLVANIA SEDGE CAREX PENSYLVANICA NATIVE FLOWERING PLANT	1 QUART 12" O.C.	
		'UNMOWED' CREEPING RED FESCUE FESTUCA RUBRA NATIVE BUNCHGRASS	SEEDED	
		NORTHERN OAK FERN GYMNOCARPIUM DRYOPTERIS NATIVE DECIDUOUS FERN	1 GALLON 12" - 18" O.C.	
		MARSH BLAZING STAR LIATRIS SPICATA NATIVE FLOWERING PLANT	1 GALLON 18" - 24" O.C.	
		WILD BEGAMONT 'BEE BALM' MONARDA FITULOSA NATIVE WILDFLOWER	1 GALLON 18" - 24" O.C.	
	000	YELLOW CONEFLOWER RATIBIDA PINNATA NATIVE FLOWERING PLANT	1 GALLON 12" - 18" O.C.	
		SHORT'S ASTER SYMPHYOTRICHUM SHORTII NATIVE FLOWERING PLANT	1 GALLON 12" O.C.	
		WOOD GERANIUM GERANIUM MACULATUM NATIVE PERENNIAL PLANT	1 GALLON 12" O.C.	
	++	SHOOTING STAR DODECATHEON MEADIA NATIVE FLOWERING PLANT	1 GALLON 12" - 18" O.C.	
		PRAIRIE PHLOX PHLOX PILOSA NATIVE HERBACEOUS PLANT	1 QUART 12" O.C.	
		LOCALLY SOURCED LANDSCAPE BOULDER	2' - 4'	





ANDSC,



PROJECT ISSUE DATE: 01 / 21 / 2022

04 / 22 / 2022 04 / 29 / 2022 05 / 27 / 2022

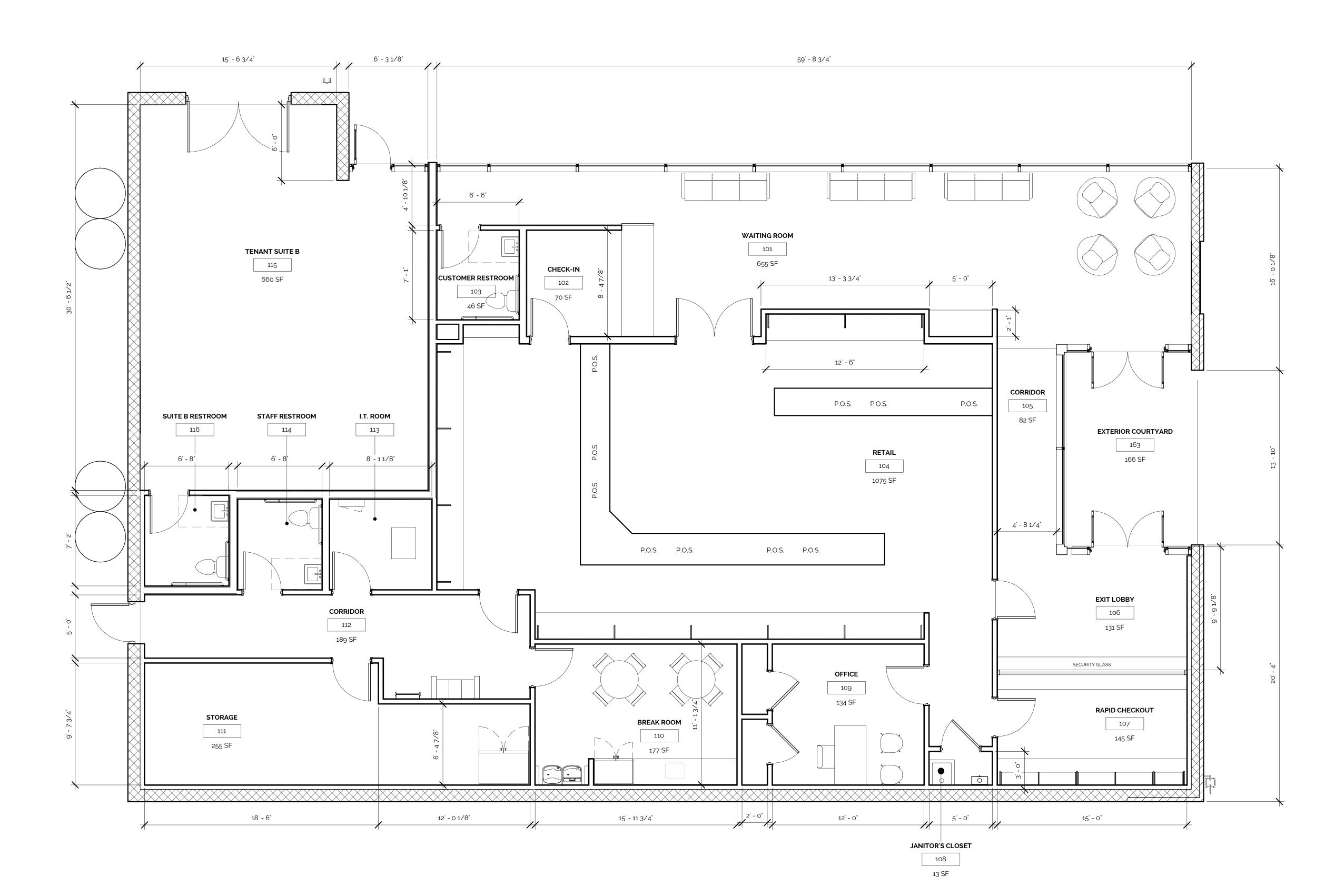
SCHEDULE - LANDSCAPE 10

LANDSCAPE PLAN
1/8" = 1'-0"

01 / 21 / 2022 04 / 22 / 2022 04 / 29 / 2022

A/

FLOOR PLAN - PROPOSED 1/4" = 1'-0' 1





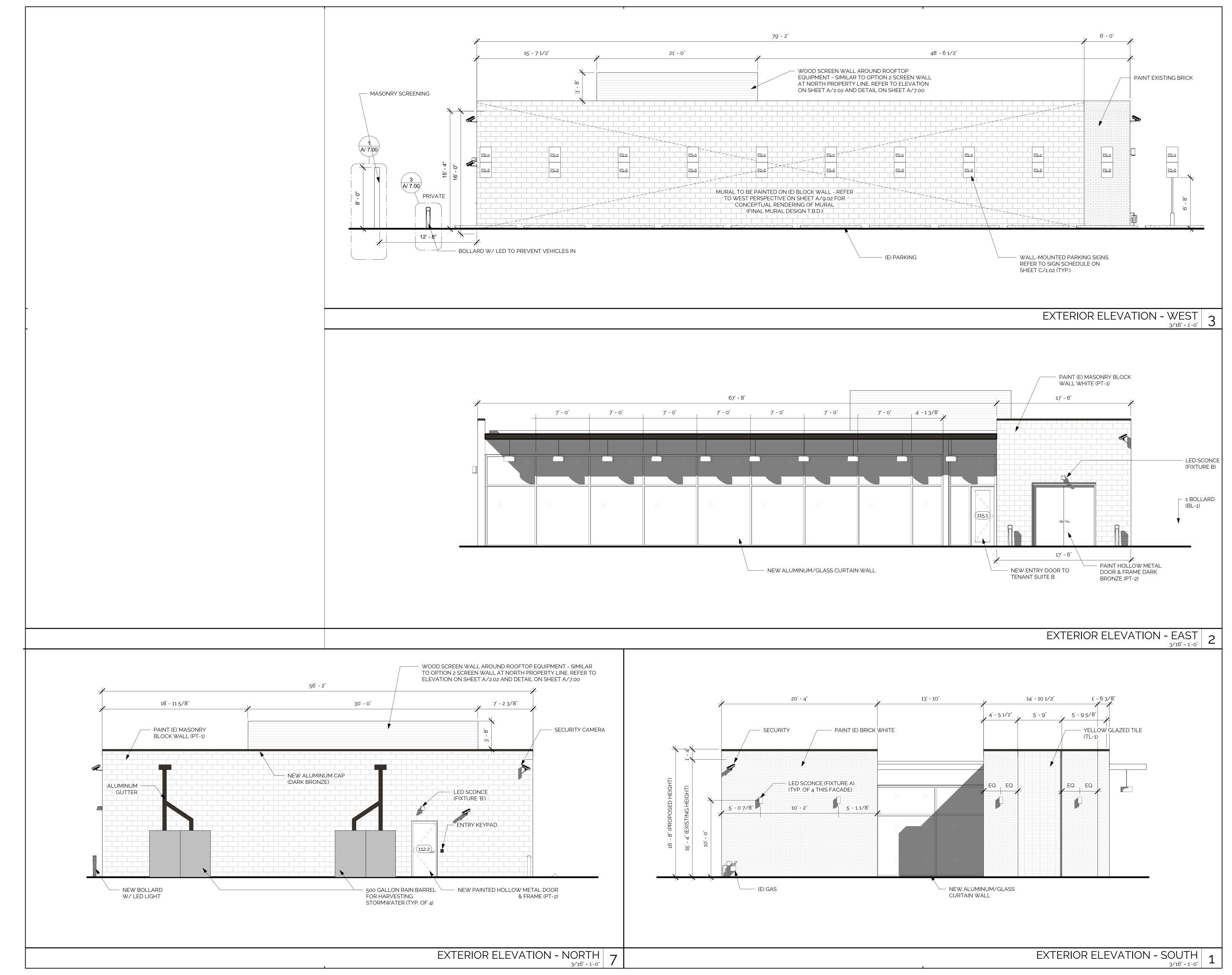
PROVISIONING

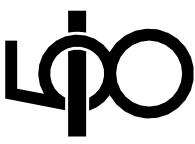
PROPOSED



PROJECT ISSUE DATE:

01 / 21 / 2022 04 / 22 / 2022 04 / 29 / 2022





EIGHTHS

313 - 936 - 0835 INFO@FIVE-EIGHTHS.

OVISIONING PR

EVATIONS EXTERIOR 2222 W. 11



PROJECT ISSUE DATE: 01 / 21 / 2022

04 / 22 / 2022 04 / 29 / 2022

2.01

GABION WALL - ELEVATION 3/8" = 1'-0" 7



EIGH-

VISIONING

PRO

ELEVATIONS . I MILE

TERIOR 00 W. 11

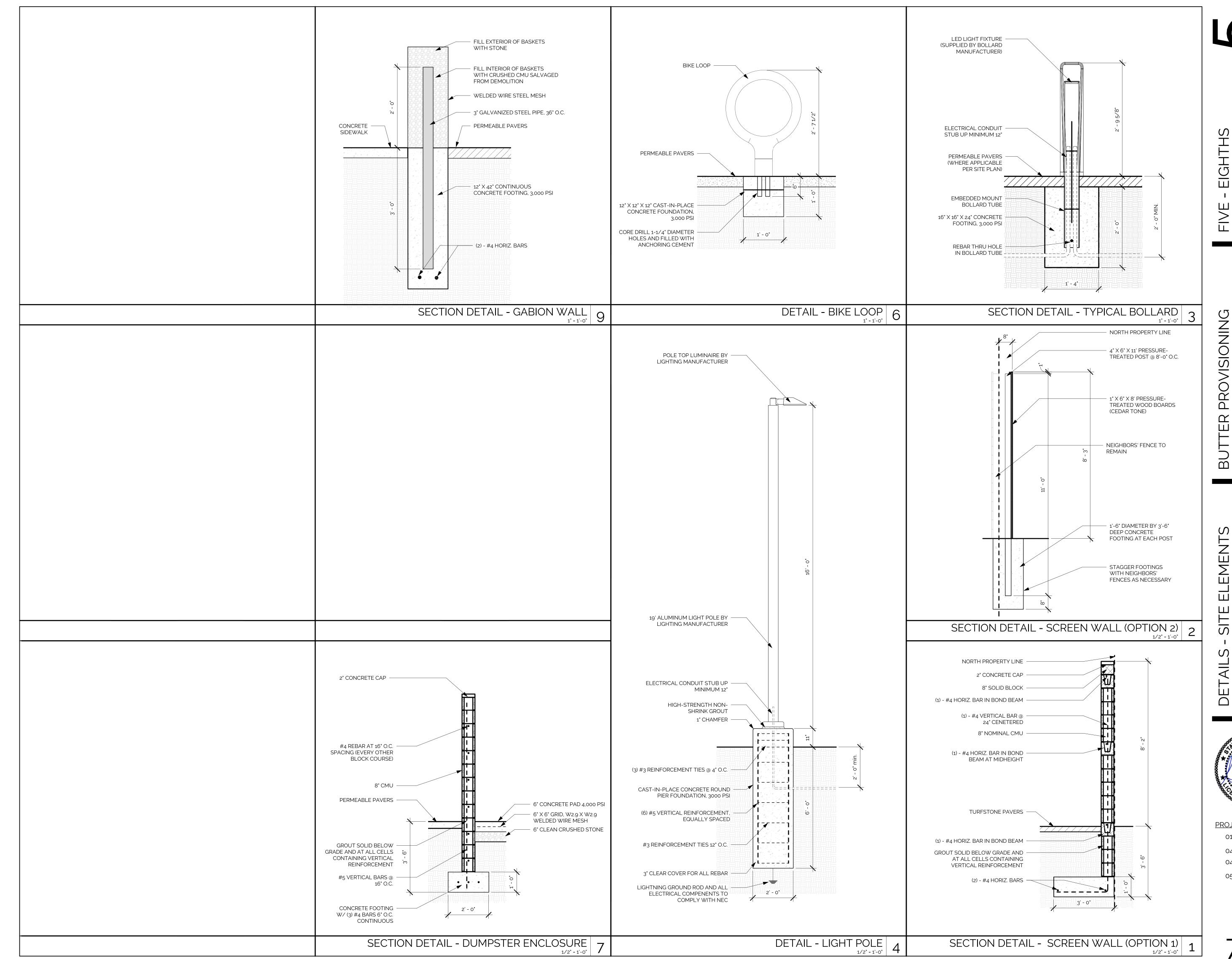
313 - 936 - 0835 INFO@FIVE-EIGH[·]

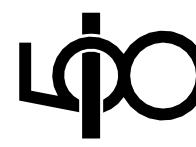
04 / 22 / 2022 04 / 29 / 2022 05 / 27 / 2022 2.02

PROJECT ISSUE DATE:

01 / 21 / 2022

EXTERIOR ELEVATION - 2200 SOUTH





EIGHT

313 - 936 - 0835 INFO@FIVE-EIGH[·]

MENT Ш

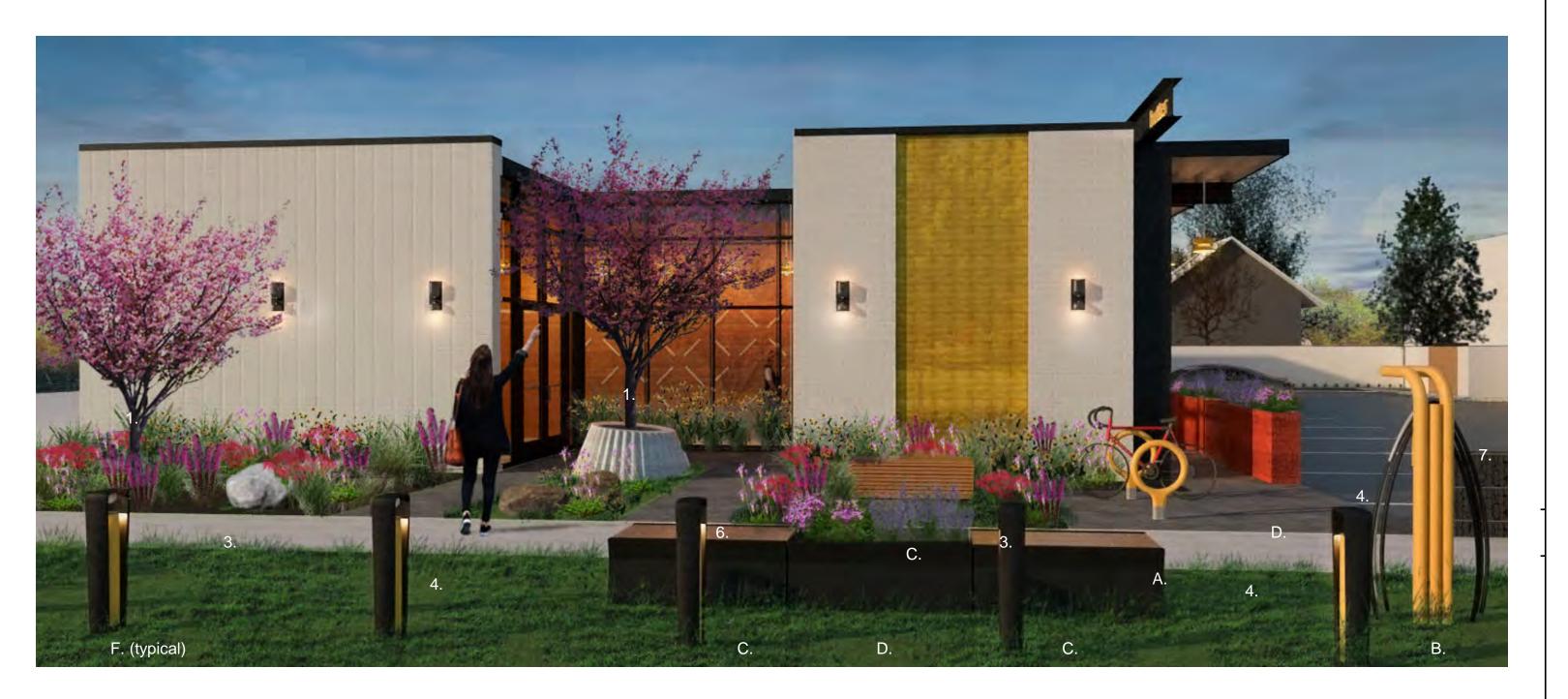
ARCHITECT

PROJECT ISSUE DATE: 01 / 21 / 2022 04 / 22 / 2022 04 / 29 / 2022

05 / 27 / 2022

04 / 22 / 2022 04 / 29 / 2022

9.01



NOTES:

1. REFER TO KEY NOTE LEGENDS ON SHEET A/9.02 FOR DESIGNATIONS OF STREETSCAPE ADDITION TAGS (A., B. C., ETC.) AND PHYSICAL IMPROVEMENTS TAGS (1., 2., 3., ETC).
2. THESE RENDERINGS WERE COMPLETED FOR THE APPLICATION DOCUMENTS THAT WERE DATED 03/27/2020 AND DO NOT REFLECT CHANGES TO THE SITE PLAN THAT HAVE BEEN MADE SINCE

EXTERIOR PERSPECTIVE - SOUTH 2



NOTES:

1. REFER TO KEY NOTE LEGENDS ON SHEET A/9.02 FOR DESIGNATIONS OF STREETSCAPE ADDITION TAGS (A., B. C., ETC.) AND PHYSICAL IMPROVEMENTS TAGS (1., 2., 3., ETC).
2. THESE RENDERINGS WERE COMPLETED FOR THE APPLICATION DOCUMENTS THAT WERE DATED 03/27/2020 AND DO NOT REFLECT CHANGES TO THE SITE PLAN THAT HAVE BEEN MADE SINCE

04 / 22 / 2022 04 / 29 / 2022

REFER TO THE FOLLOWING TAGS IN THE RENDERINGS TO SEE DEPICTIONS OF THE PROPOSED STREETSCAPE ADDITIONS.

A. NEW BIKE LOOPS (NOT ALL BIKE LOOPS ARE VISIBLE IN RENDERING. REFER TO SITE PLAN FOR LOCATIONS OF ALL PROPOSED LOOPS)

B. NEW PUBLIC BIKE REPAIR STAND

C. NEW BENCH

D. NEW PLANTER BOX

E. NEW WASTE/RECYCLE BINS (NOT VISIBLE IN RENDERINGS - REFER TO SITE PLAN ON SHEET C/1.20 FOR LOCATIONS)

F. NEW BOLLARDS WITH LED LIGHTING

REFER TO THE FOLLOWING TAGS IN THE RENDERINGS TO SEE DEPICTIONS OF THE PROPOSED PHYSICAL IMPROVEMENTS TO THE PROPERTY AND CONTIGUOUS AREAS AS PART OF THE NEW DEVELOPMENT.

1. NEW NON-INVASIVE TREE

2. PUBLIC ART

3. GREEN SPACE

4. PERMEABLE PAVERS (PARKING LOT AND SIDEWALKS)

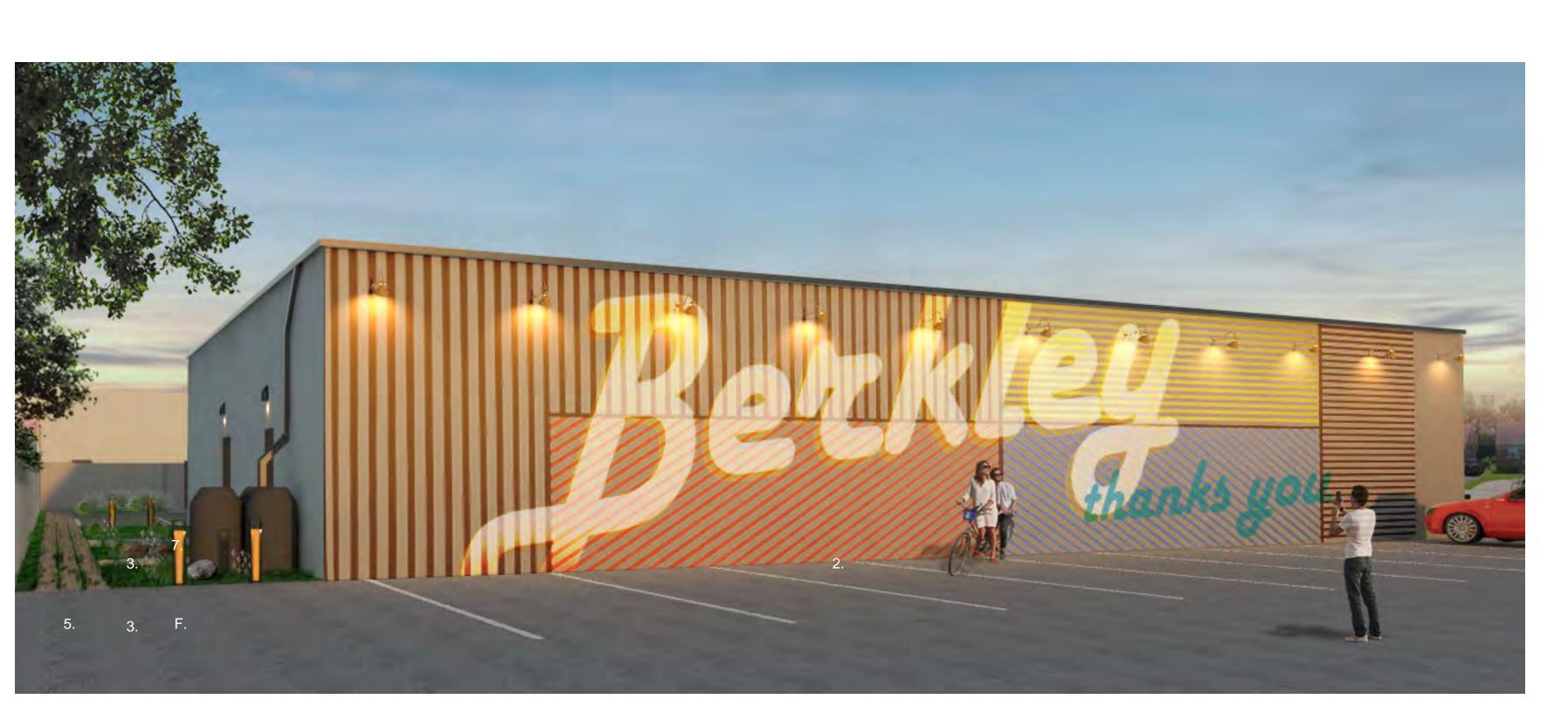
5. TURF PAVERS (PUBLIC ALLEYWAY)

6. COURTYARD

7. NEW DUMPSTER/RECYCLING BIN ENCLOSURE

KEY NOTES - STREETSCAPE ELEMENTS 5

KET NOTES - PHYSICAL IMPROVEMENTS 2

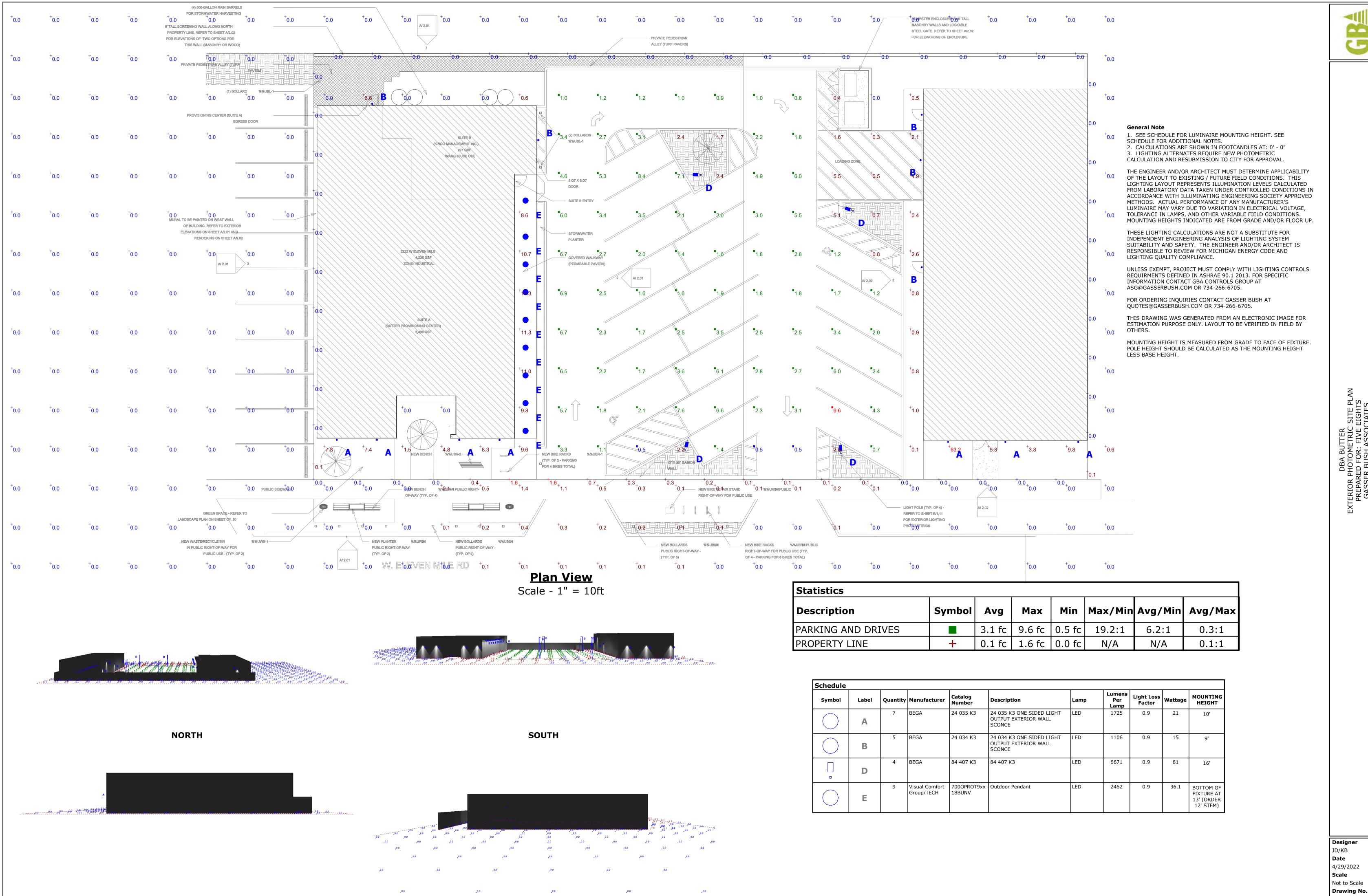


NOTES:

1. REFER TO KEY NOTE LEGENDS ON SHEET A/9.02 FOR DESIGNATIONS OF STREETSCAPE ADDITION TAGS (A., B. C., ETC.) AND PHYSICAL IMPROVEMENTS TAGS (1., 2., 3., ETC).

2. THESE RENDERINGS WERE COMPLETED FOR THE APPLICATION DOCUMENTS THAT WERE DATED 03/27/2020 AND DO NOT REFLECT CHANGES TO THE SITE PLAN THAT HAVE BEEN MADE

3. MURAL DEPICTED FOR CONCEPTUAL PURPOSES ONLY. FINAL MURAL DESIGN TO BE DETERMINED AND APPROVED BY APPROPRAITE CHANNELS.



WEST

EAST

n**er** 022 Scale

E/1.11 **20 of 21** ROTON 18 PENDANT

shown in bronze.

ROTON IS PENDANT

shown in black

Type:

Project:

Madified:

BEGA Product:

BEGA

The Roton pendant makes an impressive design statement in the simplicity and scale of its cylindrical geometry. Featuring a spun aluminum body and subtle diffuser, the Roton pendant houses a powerful LED light source designed to deliver softly diffused down lighting for controlled and distinctive Illumination.

Outstanding protection against the elements:

Powder coat finishes

· Stainless Steel mounting hardware · Impact-resistant, UV stabilized lensing • IP65 Rated

Adjustable distance from ceiling

SPECIFICATIONS

WARRANTY*

WATT5	36
VOLTAGE	Universal 120-277V
DIMMING	0-10, ECV, TRIAC
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Ceiling
ADJUSTABILITY	Adjustable stem length (3°, 6° and 12 Integrated ball joins that accommoda

sloped reiling up to 45° CCT 2700K, 3000K or 4000K CRI COLOR BINNING

BUG RATING B1-U2-G1 DARK 5KY Non-compliant WET LISTED GENERAL LISTING

CALIFORNIA TITLE 24 24 Part 6 for outdoor use Registration with START TEMP -30°C HELD SERVICEABLE LED CONSTRUCTION Alummom HARDWARE Stainless Steel FINISH Powder Coat

* Visit rechlighting.com for specific warranty limitables and rists....

ORDERING INFORMATION

Techtighting.com

DELIVERED LUMENS 2554

1.70 > 60,000 Haum LED LIFETIME

5 Years

9.B (bs. Manurate, hanging guidoor futures are not miser for areas wen high winto-which can cause damage to the fixture.

ROTON 18 PENDANT

shown in charcoal

BEGA Product:

Project:

Modified:

Pole-top luminaire - asymmetric distribution

LED pole top luminaires with twin nead and asymmetric light distribution ideal of the illumination of roadways, squares, driveways and pedestran areas while meeting full cut-off requirements, Slip fits 3" O.D. pole top of

Luminaire housing and pole fitter constructed of die-cast marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy

Clear safety glass Reflector made of pure anodized aluminum High temperature sillcone gasket Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations. Protection class IP66 Weight: 14 1 lbs

EPA (Effective projection area): 0.65 sq. ff. Electrical Operating voltage Minimum start temperature

-30°C -55.3W -61.0W LED module wattage System wattage 0-TOV dimmable Controllability Color rendering index Ra > 80 6,872 lumens (4000K) 232,000 h (L70) Luminaire lumens Lifetime at Ta = 15°C

LED color temperature 4000K - Product number + K4 3500K - Product number + K35 3000k - Product number + K3 2700K - Product number + K27

Lifetime at Ta = 35°C

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

73,000 h (L70)

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness. Available colors Black (BLK) White (WHT) RAL-

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Bronze (BRZ) Silver (SLV) CUS:

LED pole-top - asymmetrie distribution

Recommended for the with ±41 to 25 poles.

Due to the dynamic nature of lighting products and the associated declinologies. Limited with an expected subject to change of the association of ESSA North America. For the most current factions date, present one to properly decided to the change of the

Application LED wall luminaires with directed narrow beam light distribution on one side that can be oriented upward or downward. Arranged individually or in groups, they are great design elements for a host of lighting applications.

LED wall luminaires - one-sided light output

Luminaire housing and faceplate constructed of die-cast marine grade. copper free (≤0,3% copper content) A360.0 aluminum alloy Clear safety glass Reflector made of pure anodized aluminum

High temperature silicone gasket Mechanically captive stainless steel fasteners NRTL listed to North American Standards, suitable for well locations Protection class IP65

Weight: 6.6 lbs Electrical Operating voltage Minimum start temperature LED module wattage System wattage Controllability IJ-#0V dimmable Calor rendering Index Luminaire lumens 1,725 lumens (3000K) Lifetime at Ta=15°C Lifetime at Ta=30°C 295,000 N (L70)

☐ 4000K - Product number + K4 ☐ 3500k - Product number + K35 ☐ 3000K - Product number + K3 ☐ 2700k - Product number + K27

LED color temperature

Opi

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

All BEGA standard finishes are malte, textured polyester powder coal with minimum 3 mil thickness. Available colors:

□ Black (BLK).

□ White (WHT): □ RAL: ☐ Bronze (BRZ) ☐ Silver (SLV) ☐ CUS:

Available Accessories ☐ 79547 Surface mounted wiring box See individual accessory speciaheet for details.



BEGA Product:

Available Accessories

Due to me dynamic, nature of lighting products and the associated sectionogies, luminate data on this sheet is subject to change of the description in DEGA front America. For the inter-current facilities facilities of copyright DEGA 2019.

□ 79547 Surface mounted wiring box

See individual accessory speciaheet for details.

Project:

Madified:

LED wall luminains one-sided light corpur 24 035 18:1 W 6 HW 70 H

a = Béain anglé

BEGA 1000 BEGA Way, Carpintens, CA 93013 (805) 684-0533 info@bega-us.com Dud to the dynamic return of lighting products and the appointed technologies. Limited lighting data on this sheet is subject to change of the decision in EBSA front America. For the most current frictiment data, please refer to pega-us, non-change of the decision is copyright decision.

LED wall luminaires - one-sided light output

LED wall luminaires with directed narrow beam light distribution on one side that can be oriented upward or downward. Arranged individually or in groups, they are great design elements for a host of lighting applications.

Luminaire housing and faceplate constructed of die-cast marine grade. copper free (≤0.3% copper content) A360.0 aluminum alloy Clear safety glass

Reflector made of pure anodized aluminum High temperature silicone gasket Mechanically captive stainless steel fasteners NRTL listed to North American Standards, suitable for well locations Protection class IP 65 Weight: 4.4 lbs

Electrical 120-277VAC -30°C 12-1W Operating voltage Minimum start temperature LED module wattage 14.0W System wattage 0-10V dimmable Controllability Color rendering Index Ha > 80 1,106 lumens (3000K) Luminaire lumens Lifetime at Ta = 15° C 380,000 h (L70) 230,000 N (L70) Lifetime at Ta=40°C

LED color temperature ☐ 4000K - Product number + K4 ☐ 3500K - Product number + K35 ☐ 3000k - Product number + K3 ☐ 2700k - Product number + **K27** BEGA can supply you with suitable LED replacement modules for up to

20 years after the purchase of LED luminaires - see website for details All BEGA standard finishes are malte, textured polyester powder coal with minimum 3 mil thickness. Available colors:

Black (BLK):

White (WHT):

RAL:

☐ Bronze (BRZ) ☐ Silver (SLV) ☐ CU5:

p = Beain bryle BEGA 1000 BEGA Way, Carpinteris, CA 93013 (805)684-0533 info@bega-us.com

LED wall luminaire one sided light corpur

Schedule Light Loss Wattage Lumens **MOUNTING** Catalog Label Quantity Manufacturer Description Per HEIGHT Factor Lamp 24 035 K3 ONE SIDED LIGHT BEGA 24 035 K3 1725 0.9 OUTPUT EXTERIOR WALL SCONCE 5 BEGA 24 034 K3 ONE SIDED LIGHT 0.9 15 OUTPUT EXTERIOR WALL SCONCE 4 BEGA 84 407 K3 6671 0.9 61 9 Visual Comfort | 700OPROT9xx | Outdoor Pendant 2462 0.9 36.1 Group/TECH 18BUNV

> Designer JD/KB Date 4/29/2022 Scale Not to Scale Drawing No. E/1.12

> > 21 of 21

BOTTOM OF FIXTURE AT 13' (ORDER 12' STEM)

SOILS INVESTIGATION UNDERGROUND DETENTION SYSTEM 2222 11 MILE ROAD BERKLEY, MICHIGAN

OPERATION GROW, LLC P.O. BOX 725202 BERKLEY, MICHIGAN 48072

NOVEMBER 30, 2020 BY McDOWELL & ASSOCIATES

McDowell & Associates

Geotechnical, Environmental & Hydrogeological Services • Materials Testing & Inspection

21355 Hatcher Avenue, Ferndale, MI 48220

www.mcdowasc.com

November 30, 2020

Operation Grow, LLC P.O. Box 725202 Berkley, Michigan 48072

Job No. 20-309

Attention: Mr. Daniel Amori

Subject: Soils Investigation

Underground Detention System

2222 11 Mile Road Berkley, Michigan

Gentlemen:

In accordance with your request, we have performed a Soils Investigation at the subject project.

Two (2) Soil Test Borings, designated as 1 and 2, were performed at the locations you required. The approximate locations of the borings are shown on the Soil Boring Location Plan which accompanies this report. The borings were advanced to a depth of ten feet six inches (10'6") below the existing pavement surface at the boring locations.

Soil descriptions, groundwater observations, and the results of field and laboratory tests are to be found on the accompanying Logs of Soil Borings.

The borings encountered two and three-quarters-inch (2¾") and four-inch (4") thick asphalt pavement, two feet eleven inches (2'11") and three feet seven and one-quarter inches (3'7¼") of fill soils consisting of buried topsoil, dark brown and black gravelly sand to sand and gravel, and firm to stiff brown and dark brown silty clay, nine inches (9") and one foot three inches (1'3") of medium compact to compact brown fine sand, followed by firm to extremely stiff brown to variegated silty clay which were found throughout the remainder of the borings. Buried topsoil was found in Boring 2 between the depths of two feet ten inches (2'10") and three feet three inches (3'3").

Soil descriptions and depths shown on the boring logs are approximate indications of change from one soil type to another and are not intended to represent an area of exact geological change or stratification. Also, the site shows signs of modification which could indicate fill and soil conditions different from those encountered at the boring locations.

Water was encountered in Boring 2 at a depth of four feet (4') below the existing pavement surface. Boring 2 was found dry upon completion of the drilling operation. No water was

encountered in Boring 1. It should be noted that short-term groundwater observations may not provide a reliable indication of the depth of the water table. In clay soils this is due to the slow rate of infiltration of water into the borehole as well as the potential for water to become trapped in overlying layers of granular soils during periods of heavy rainfall. It should be expected that groundwater level fluctuations may occur on a seasonal basis and that seams of water-bearing sands or silts could be found within the various clay strata at the site.

Standard Penetration Tests were made during sampling using an automatic hammer. These tests indicate that the fill soils have fair densities while the underlying native soils have fair to very good strengths and densities. Tests taken at a depth of two feet six inches (2'6") gave results of 5 and 7 blows per foot. The five-foot (5') test values were 5 and 7 blows per foot. At depths of seven feet six inches (7'6") and ten feet (10"), test values ranged from 17 to 33 blows per foot.

Falling Head Permeability Tests were performed on Samples 1B and 2B. Coefficient of permeability (k) values of 1.9×10^{-6} and 2.8×10^{-4} centimeters per second (cm/sec) were obtained. The lower value was obtained on the native clay soils in Boring 1 and the higher value was obtained on the native sand soils in Boring 2.

It is understood that an underground storm water retention system is planned to be installed in the vicinity of the borings. The system will consist of tanks and pipes which may slowly release storm water into the site granular soils. No specific details of the system have been provided to us. It is assumed that the tanks and pipes will transmit relatively light loads to the supporting soils.

Based on the project information provided and the results of field and laboratory tests, it is believed that the tanks and pipes could be supported on properly installed and compacted bedding material and/or engineered fill which will need to extend through any existing fill soil and rest on native non-organic granular or cohesive soils at the site. The tanks and pipes will need to be designed to resist uplift buoyancy forces when these structures are empty if they are installed below the site groundwater level.

If the tanks are supported on conventional spread, strip or mat-type footings, then these footings should be constructed at or below a minimum frost penetration depth of three feet six inches (3'6") below finished grade. All footings should extend through non-engineered fill soils, soils containing a significant amount of organic substances, or excessively weak soils. All strip footings should be continuously reinforced in order to minimize the noticeable effects of differential settlement.

Footings constructed at the boring locations could be proportioned for the design soil pressures listed in the table below provided this results in the footings bearing on natural non-organic soils.

Boring		<u>Depth</u>		Soil Pressure (psf)
1	4'0"	to	6'0"	2,000
2	3'6"	to	6'0"	2,500

Water was encountered in Boring 2 at a depth of four feet (4'). Depending upon the depth of the footings relative to the existing ground surface and the actual conditions at the time of construction, it may be necessary to depress the water table in this location to allow for footings to be constructed. Water seepage in sands above clay in the vicinity of this boring should be manageable with construction pumping and sumps. If large volumes of water or saturated granular soils are encountered, then special dewatering techniques may be required. Extreme care must be exercised during any dewatering operation if any nearby structures or utilities are sensitive to settlement. Care must be taken to minimize the removal of soil fines during any pumping operation.

The borings encountered a relatively thin sand layer below depths of three feet three inches (3'3") and three feet ten inches (3'10"). It appears the sands have an infiltration rate of about 2.8×10^{-4} cm/sec or 0.4" per hour. We would suspect this granular material would have a very limited assimilation capacity for any storm water release from the retention system. The underlying clay soils should be considered practically impervious to any water assimilation.

Experience indicates that the actual subsoil conditions at the site could vary from those found at the two (2) test borings made at specific locations. It is, therefore, essential that McDowell & Associates be notified of any variation of soil conditions to determine their effects on the recommendations presented in this report. The evaluations and recommendations presented in this report have been formulated on the basis of reported or assumed data relating to the proposed project. Any significant change in this data in the final design plans should be brought to our attention for review and evaluation with respect to the prevailing subsoil conditions.

It is recommended that the services of McDowell & Associates be engaged to observe the soils in the footing excavations prior to concreting in order to test the soils for the required bearing capacities. Testing should also be performed to check that suitable materials are being used for controlled fills and that they are properly placed and compacted.

If you have any questions or if we can be of any further service, please feel free to call.

Very truly yours,

McDOWELL & ASSOCIATES

Daniel A. Kaniarz, M.S., P.E.

DAK/nm



McDOWELL & ASSOCIATES

Geotechnical, Environmental, & Hydrogeologic Services 21355 Hatcher Avenue • Ferndale, MI 48220

LOG OF SOIL	
BORING NO.	1

PROJECT

Soils Investigation

JOB NO._ 20-309

LOCATION

Detention System 2222 11 Mile Road Berkley, Michigan

		SUR	RFACE ELE	V	DATE <u>11-11-20</u>			erkley, Mic			
Sample & Type	Depth	Legend		c	OIL DESCRIPTION	Penetration	Moisture	Natural	Dry Den	Unc. Comp.	Str.
атуре			0'23/4"	ASPHALT	OIL DESCRIPTION	Blows for 6"	%	Wt. P.C.F.	Wt. P.C.F.	Strength PSF.	%
	1	11111	1'0"		rown to black SAND & GRAVEL			-			
		/////	1	with stones	and traces of concrete and metal,						
Α	2			fill	and motal,	1					
ÜL			2'2"	Firm moist o	liscolored brown silty CLAY with	2		3.000 L.000			
	3		7	sand and pe	ebbles and moist fine sand lenses,	3					
			-	fill	in the same to the						
	4	/////	3'10"	Firm moist b	rown silty CLAY with traces of						
В			3 10	sand and pe	bbles and topsoil streaks, fill				Andrewsky		de de la constitución de la cons
UL	5	~~~~	4'7"		npact moist brown fine SAND	1_1_					
		HHH	0.000			3	16.4	131 1.9x10 ⁻⁶			
	6			Firm moist v	ariegated silty CLAY with traces		κ=	1.9X10-0	cm/sec		
-	1			of sand and	pebbles						
С	7	HHH	6'8"								
ÜL						6					
11000	8			Very stiff mo	ist variegated silty CLAY with	8	13.5	131	*	(0000)	
-	0		1	sand and pe	bbles	9			•	(2000)	
	9	HHH	8'8"			-					
D	9										
UL	40			Extremely st	iff moist brown silty CLAY with	6					
OL.	_10			sand and pe	bbles	12					
-	11		10'6"			15					
-	11										
	10										
-	12										
	10										
	13										
	14										
	-		N			11-		the same of the same of			
	15			Notes:							
				10 00 M							
	16			 Used a 	utomatic hammer.						
		11		2) Databa	d basing						
	17			2) Patche	d boring upon completion with tch asphalt.		A company				
	-			cold pa	сп аэрпан.						
	18										
	-										
	19										
	20										
	21										
	22										
	0.5										
	23										
	24										
	25										
TYPI	OF SAMPLE		REMARKS:	*Calibrated	Penetrometer						700000

TYPE OF SAMPLE
D. - DISTUBBED
U.L. - UNDIST. LINER
S.T. - SHELBY TUBE
S.S. - SPLIT SPOON
R.C. - ROCK CORE
() - PENETROMETER

Standard Penetration Test - Driving 2" OD Sampler 1' With 140# Hammer Falling 30": Count Made at 6" Intervals

GROUND WATER OBSERVATIONS

G.W. ENCOUNTERED AT G.W. ENCOUNTERED AT G.W. AFTER COMPLETION G.W. AFTER HRS. G.W. VOLUMES

FT. INS. INS. FT. None INS. INS.



McDOWELL & ASSOCIATES Geotechnical, Environmental, & Hydrogeologic Services 21355 Hatcher Avenue • Ferndale, MI 48220

SURFACE ELEV.

LOG OF SOIL	
BORING NO.	2

PROJECT

Soils Investigation

Light

JOB NO.____ 20-309

LOCATION

Detention System 2222 11 Mile Road Berkley, Michigan

		SUF	RFACE EI	LEV	DATE	Berkley, Michigan							
Samole & Type	Depth	Legend			SOIL DESCRIPTION	Penetration Blows for 6*	Moisture %	Natural Wt. P.C.F.	Dry Den Wt. P.C.F.	Unc. Comp.	Str.		
		onenenenen	_₹ 0'4"		PHALT	1	/6	1107.037.	WL F.C.F.	Strength PSF.	%		
L	1 1	<i>\////</i>	1'0"	Mois	st dark brown gravelly SAND, fill						 		
	1	<i>\\\\\\</i>	1	Stiff	moist discolored brown silty CLAY with								
A UL	2	<i>\////</i>	1	sand	d and pebbles, trace of brick and moist fine	2		ļ					
<u> </u>	3	<i>\\\\\\</i>	1 2.2'10"		d lenses, fill	5					<u> </u>		
	<u> </u>		3'3"		npact moist dark brown to black TOPSOIL,	<u> </u>		ļ .					
	4		33	fill				 			<u> </u>		
В			410"	— Con	npact moist to wet brown fine SAND with	4					<u> </u>		
UL	5	IIIII	4'6"		-	3	19.1	124			 		
	ļ	IIII	1	— Stiff pebl	moist variegated silty CLAY with sand and	4		2.8x10 ⁻⁴	cm/sec		 		
	6	HH	6'0"	peni	oles .								
С	7	IIIII	1 ~ ~			ļ							
ÜL			1			. 7							
	8	IIIII	1	Extre	emely stiff moist brown silty CLAY with	10 15	13.9	134	*	(0000			
	<u> </u>		1	trace	es of sand and pebbles	15		ļ		(9000+)			
	9	IIIII	1					 -					
D	i		9'6"			7			·				
ÜL	10_		١٠٠	Extre	emely stiff moist brown silty CLAY with	14			-		_		
		IIIII	10'6"	sand	and pebbles	19							
	11		'``										
	10	4											
	12	İ											
	13	-											
-	13	1											
	14		ĺ										
		İ	!										
	15]		Note	s:								
]		43						·	_		
-	16			1)	Used automatic hammer.						-		
	<u> </u>			2)	Patched boring upon completion with cold								
	17			•	patch asphalt.								
-	18												
\dashv	10	}											
- -	19								<u> </u>				
	 												
	20					_							
	21		'										
_													
	22												
	23					 							
	24												
						 	- ·						
	25					+							
	OF SAMPLE		REMARKS	*Ca	librated Penetrometer		GR	OUND WATE	R OBSERVA	TIONS			
U.L.	 DISTURBE UNDIST. L 	INER				01475							
	- SHELBY T - SPLIT SPC					G.W. Er	NCOUNTER NCOUNTER	ED AT	· 4 FT				
R.C.	- ROCK CO	RE		Standard	Penetration Test - Driving 2" OD Sampler 1' With	G.W. Al G.W. Al	FTER COMF FTER	PLETION HRS.	Dry FT	. INS.			
()	PENETRO	METER		140# ⊩	lammer Falling 30": Count Made at 6" Intervals		OLUMES		F1	ins.			

No Scare

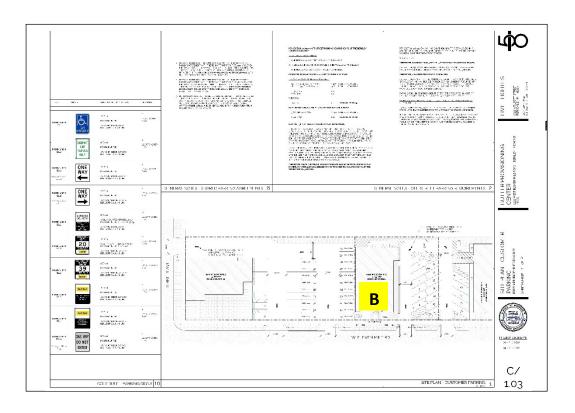


Sar BORNG LOCATION PLAN #10-309

TRAFFIC IMPACT ASSESSMENT

OF PROPOSED BUILDING RE-USE AND SITE IMPROVEMENT AT 2222 W 11 MILE ROAD, BERKLEY, MI

d.b.a. BUTTER PROVISIONING CENTER



Prepared for
Operation Grow, LLC
Berkley, Michigan
By
Giffels Webster
Birmingham, Michigan

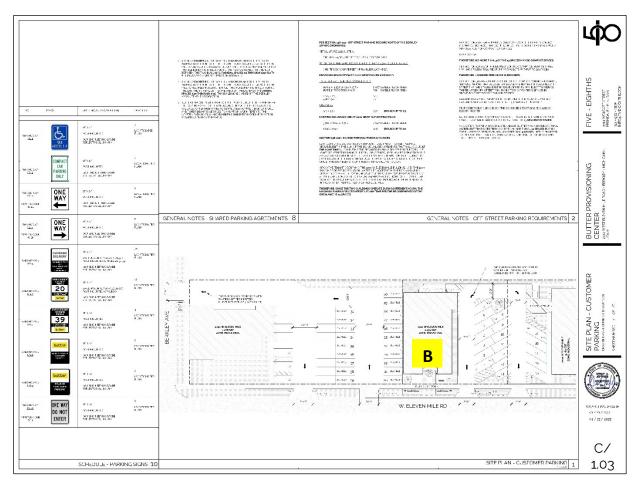
Project 19823.10 April 2022

CONTENTS

EXECUTIVE SUMMARY	ii
INTRODUCTION	1
TRIP GENERATION	1
EXISTING TRAFFIC VOLUMES	6
PROJECT PHASING	6
TRIP DISTRIBUTION AND ASSIGNMENT	6
ACCESS	. 11
KEY FINDINGS AND CONCLUSIONS	.11
APPENDICES A: Resume of Preparer B: Traffic Counts C: ITE Trip Generation Data	
TABLES	
Trip Generation Forecast for 2222 W 11 Mile Road	
FIGURES	
 Vicinity Aerial	3 4 7 9
·	

These parking areas will be served by five existing driveways, all to be converted to one-way use.

- Two existing parking lots to the east will be consolidated into a single lot with angled parking, one-way circulation, and one-way access drives. A sign will be posted to advise customers desiring to park and walk into the store to use the east lot. Parking lot attendants will be provided at all times to direct such customers to the west lot should the east lot be full.
- Given all of the above improvements to the site, its operation should be safe and efficient, and its traffic impacts to adjacent streets minimal. This project will significantly improve an existing industrial-use site.



Please refer to full-size version of sheet C/1.03 for larger, more legible version of parking plan.

TRAFFIC IMPACT ASSESSMENT OF PROPOSED BUILDING RE-USE AND SITE IMPROVEMENT AT 2222 W 11 MILE ROAD, BERKLEY, MI (d.b.a. Butter Provisioning Center)

INTRODUCTION

Operation Grow, LLC proposes to re-use and improve the existing one-story building and its site at 2222 W 11 Mile Road in the City of Berkley. The site is on the north side of 11 Mile 1½ blocks east of Coolidge Highway, 1 mile north of the I-696 freeway, and 1.1 mile west of Woodward (**Figure 1**). 11 Mile is a 30-mph, four-lane undivided arterial under City of Berkley jurisdiction. The nearest traffic signals along 11 Mile relative to the site are at Coolidge and at Woodward.

The improved building will include a 3,438 s.f. marijuana dispensary (Butter Provisoning Center) and 797 s.f. of storage space to be sublet to Kirco Management for a low-activity use unrelated to the dispensary. Nineteen parking spaces will be available east of the subject building and 20 spaces will be available west of the building, some spaces owned by Operation Grow, LLC and some reserved via shared parking agreements. Signs will be posted to encourage customers walking in from their vehicles to park east of the store and those arriving for rapid-checkout service to park west of the store. Employees will park in reserved off-site locations and be shuttled to the store. Five driveways will be available for parking access and signed for appropriate one-way operation (**Figures 2-3**).

The dispensary and sublet, unrelated storage area are expected to open for business within a year of site plan approval.

The City has requested that a traffic impact assessment be prepared in accordance with guidelines established by the Michigan Department of Transportation (MDOT), and Operation Grow, LLC has contracted with Giffels Webster to conduct that assessment. This report summarizes the completed assessment (see **Appendix A** for resume of study preparer).

TRIP GENERATION

Table 1 (following Figure 3 below) summarizes the study's trip generation forecasts. Trips to and from the dispensary were forecasted by applying nationally sampled average trip rates, per methodology recommended by the Institute of Transportation Engineers (ITE). In attempting to also use ITE data to forecast trips for the warehousing portion of the building, however, it was quickly found that that approach would not produce consistent or reliable results for such a small floor area (**Appendix B**). An alternative approach was followed instead, as explained in table footnote 2.

(continued)

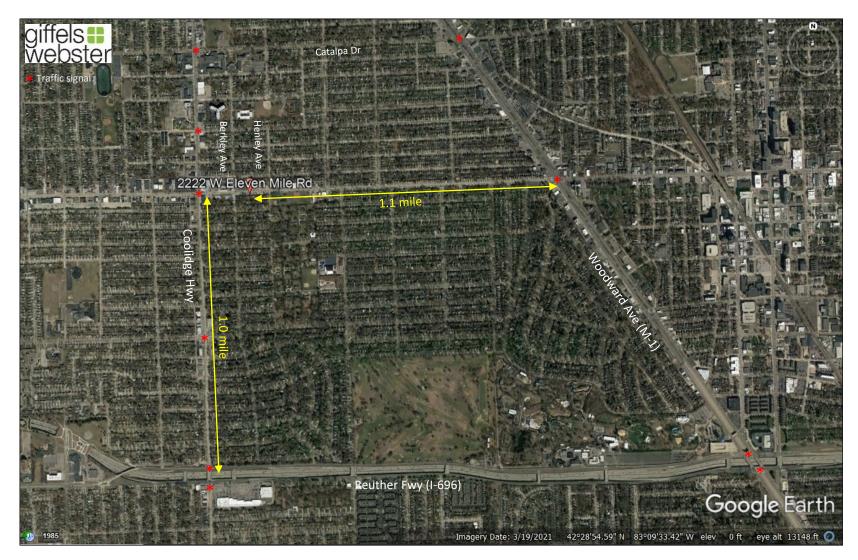


Figure 1. Vicinity Aerial



Figure 2. Site Aerial

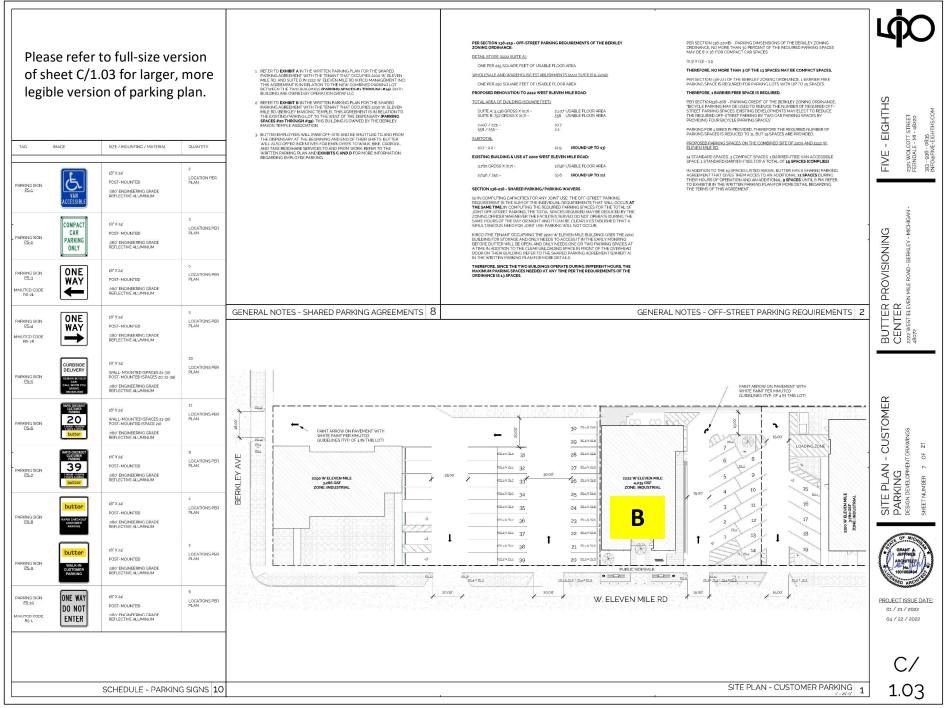


Figure 3. Site Plan

Table 1. Trip Generation Forecast for 2222 W 11 Mile Road¹

Land Use	ITE Use	Size (square	Square Weekday Hour Trips Trips		ak-Hour	Saturday		day Peak- enerator					
	Code	feet)	Trips	In	Out	Total	In	Out	Total	Trips	In	Out	Total
Marijuana Dispensary	882	3,438	726	19	17	36	32	33	65	892	49	50	99
Warehousing	150²	797	28	2	1	3	1	2	3	1	1	2	3
Combination of	2 Uses	4,235	754	21	18	39	33	35	68	893	50	52	102

¹ A trip is a one-directional vehicular movement into or out of the site (e.g., 754 weekday trips here represent 377 round trips). Forecast for Marijuana Dispensary is based on trip data and application methodology recommended by Institute of Transportation Engineers in its *Trip Generation Manual – 11th Edition* (2021) and *Trip Generation Handbook – 3rd Edition* (2017).

² ITE data do not apply for this small of a use. The forecast shown in this table assumes one on-site employee and a maximum of one visitor at a time (two being the maximum occupant load for the space). Daily trips for the use are assumed to be proportionally larger than the PM peak-hour trips by the same ratio as the ITE average rates suggest for use 150 (9.2:1).

EXISTING TRAFFIC VOLUMES

Current peak-period volumes "adjacent to the site" were counted at the intersection of 11 Mile and Berkley Avenue between the hours of 7-9 a.m. and 4-6 p.m. on Wednesday, March 16, 2022. The results are detailed in **Appendix B** and summarized for the peak hours within those periods in **Figure 4** (i.e., 7:45-8:45 a.m. and 4:30-5:30 p.m., respectively).

A search was made for available historic count data in the study area. According to the Southeast Michigan Council of Governments (SEMCOG) data base, the annual average daily traffic (AADT) volumes on 11 Mile in 2016 were 5,850 vehicles westbound east of Greenfield and 6,010 vehicles eastbound west of Woodward. It therefore appears that 11 Mile near the site was then serving roughly 12,000 vehicles per day. On Coolidge 100 ft north of 11 Mile, the 2016 AADT volumes were 11,927 northbound and 11,760 southbound.

PROJECT PHASING

As indicated above, the proposed marijuana dispensary and storage area to be sublet to Kirco Management are expected to open within a year.

TRIP DISTRIBUTION AND ASSIGNMENT

The existing traffic pattern at 11 Mile and Berkley Avenue is described in **Table 2**. The percentages of peak-hour traffic to and from each of the four directions are quite similar, so they were averaged in the rightmost column of the table. This study then assumed that:

- The weekday AM and PM peak-hour traffic patterns are sufficiently similar that a single overall distribution of site traffic is reasonably representative of all three peak hours.
- The percentages shown for Berkley Avenue are more variable, but they likely reflect local traffic generators unrepresentative of the proposed marijuana dispensary; hence, it would be reasonable and appropriate to round these percentages down to a single nominal value.

Based on the preceding, this study assumes that 45% of the new (site-generated) trips will travel to and from each direction on 11 Mile, and 5% of the new trips will travel to and from each direction on Berkley Avenue.

The above percentages are split between the five available access drives based on the developer's estimate that 65% of customers will park and walk in from the east parking lot, 35% of customers will utilize the west lot for rapid checkout, and the one-way flows illustrated on the architect's site plan. **Figure 5** shows the forecasted trip distribution on a percentage basis.

Site trips are assigned to the five access drives and the 11 Mile/Berkley Avenue intersection in **Figure 6**. These assignments resulted from multiplying the total trip generation listed in Table 1 by the distribution percentages shown in Figure 6. The illustrated driveway volumes are conservatively high since employees will be parking off-site and as well as provided incentives to encourage their use of alternative travel modes.



Figure 4. Current Peak-Hour Traffic Volumes at 11 Mile Road and Berkley Avenue

Table 2. Distribution of Current Peak-Hour Traffic

Direction of	Fro	om	Т	·o	Average
Approach/Departure	Volume	Percent	Volume	Percent	Percent
		AM Peak Hou	r		
East on 11 Mile Rd	553	47%	439	38%	42%
West on 11 Mile Rd	484	41%	577	49%	45%
North on Berkley Ave	94	8%	119	10%	9%
South on Berkley Ave	39	3%	35	3%	3%
Total	1170	100%	1170	100%	100%
		PM Peak Hou	r		
East on 11 Mile Rd	547	42%	667	51%	47%
West on 11 Mile Rd	670	51%	531	41%	46%
North on Berkley Ave	60	5%	42	3%	4%
South on Berkley Ave	27	2%	64	5%	3%
Total	1304	100%	1304	100%	100%



Figure 5. Trip Distribution



Figure 6. Peak-Hour Site Trips

ACCESS

MDOT guidelines for a traffic impact assessment call for an assessment to "identify the location of any existing drives within approximately 450 ft of the site," along with the location of the proposed drives. "A proposed driveway spacing based on a 50 MPH (80 Km/h) [sic] posted speed limit is suggested, if feasible." Since the *Michigan Access Management Guidebook* (MDOT, 2001) recommends a minimum driveway spacing of 455 ft on a 50-mph road, it is clear that the interest in knowing of existing drives within 450 ft of a site is based on the driveway spacing guideline.

In this particular case, however, the posted speed limit is 30 mph. MDOT's preferred minimum driveway spacing for a 30-mph road is 185 ft (per Table 3-5 of the above reference). This distance was considered in scaling the locations of the existing driveways shown in Figure 2 (above). The existing driveway spacings along 11 Mile Road in this area are generally well less than 185 ft, however, and it would be impractical to alter this situation in the foreseeable future.

When its preferred minimum driveway spacing guideline is impractical, MDOT recommends instituting one-way driveway operation where feasible; doing so at exit-only locations provides a greater spacing between drivers exiting neighboring driveways, thus improving the sight distance afforded those drivers, and doing so at enter-only locations increases the distance afforded following drivers to safely respond to vehicles slowing to turn into consecutive driveways.

At the subject location, Operation Grow, LLC proposes to consolidate the two parking areas east of the 2222 W 11 Mile building so as to facilitate a one-way clockwise circulation, with the drive nearer the building (#2) being enter-only and the next drive to the east (#1) being exit-only. The consolidated lot will be posted to encourage its use by customers parking and walking in. Parking lot attendants will be provided at all times to direct arrivals such arrivals to the west lot should the east lot be full.

The first drive west of the building (#3) will be signed for enter-only operation, and the next drive to the west (#4) will be signed for exit-only operation. To ensure safe internal circulation in the shared west parking lot, the driveway on Berkley Avenue will be signed for exit-only operation.

KEY FINDINGS AND CONCLUSIONS

- The proposed marijuana dispensary and unrelated warehousing space can be expected to generate 754 one-way vehicle trips in the course of a typical weekday, 39 in the AM peak hour (21 entering and 18 exiting) and 68 in the PM peak hour (33 entering and 35 exiting). On a typical Saturday when traffic on 11 Mile is less than during the commuting hours of a weekday, the site can be expected to generate 920 one-way vehicle trips (460 entering and 460 exiting, 102 of them in the peak hour of the generator (50 entering and 52 exiting).
- The site-generated peak-hour trips can be expected to arrive and depart to the east and
 west in the same proportion, 45% each way. The remaining 10% of trips are assumed to
 arrive and depart in equal measure on Berkley Avenue north and south of 11 Mile.

- Multiple parking areas will be available for the building's employees and visitors, either through direct ownership or via formal parking agreements on neighboring properties.
 These parking areas will be served by five existing driveways, all to be converted to one-way use.
- Two existing parking lots to the east will be consolidated into a single lot with angled parking, one-way circulation, and one-way access drives. A sign will be posted to advise customers desiring to park and walk into the store to use the east lot. Parking lot attendants will be provided at all times to direct such customers to the west lot should the east lot be full.
- Given all of the above improvements to the site, its operation should be safe and efficient, and its traffic impacts to adjacent streets minimal. This project will significantly improve an existing industrial-use site.

APPENDIX A:

RESUME OF PREPARER





YEARS OF EXPERIENCE

EDUCATION

Master of Engineering, Civil Engineering Texas A&M University

Bachelor of Science in Engineering, Civil Engineering University of Michigan

LICENSES/REGISTRATION

Professional Engineer Michigan

MEMBERSHIPS

Institute of Transportation Engineers, Fellow-Life Member

AWARDS

DCA Certificate of Achievement, 1974; ITE Past Presidents' Award, Honorable Mention, 1978; APA Vernon Deines Awards for Outstanding Small Town Plans, 2007 & 2017 (team member)

SPECIAL EXPERTISE

Traffic Safety Research Facility Safety Auditing Crash Litigation Support Site Plan Traffic Review Traffic Impact Analysis Access Management Shared Parking

William A. Stimpson, PE Senior Traffic Engineer

William Stimpson has over 50 years of experience in transportation and traffic engineering, specializing in traffic safety and site planning. His traffic safety work has included applied research, facility safety auditing, and crash litigation support. His site planning work has included plan development and review, parking studies, traffic impact analysis, and access management. He has also dealt with a wide variety of other traffic planning issues, including freight transportation and ridesharing and bicycling incentives.

Mr. Stimpson has performed traffic reviews of hundreds of site plans; prepared shared parking studies, thoroughfare plans, crash data studies, corridor safety evaluations, and access management studies; conducted and reviewed numerous traffic impact studies; and completed signal warrant evaluations and cut-through traffic studies for both public and private clients. He has also investigated individual traffic crashes relative to alleged personal, premises, highway-tort, and auto product liability; conducted crash causation analyses; and provided expert testimony as requested.

Traffic Safety Research

Diagnostic studies of visual communication Driver Expectancy Concept (co-developer) National guidelines for Right Turn on Red Revised national standards for road striping Timing of yellow traffic signal

Facility Safety Auditing

Proving Ground Safety Consultant (Ford Motor) Traffic Engineering Supervisor (Ada Co., ID) FHWA Geometric Design Lab (Program Mgr.) Interactive Highway Safety Design Model SEMCOG Traffic Safety Manual (lead author) Corridor & crash site safety evaluations

Crash Litigation Support

Investigations of over 150 individual crashes Personal, premises, highway-tort, product liability Specialization in crash causation analysis Testimony in both civil & criminal cases

Site Plan Traffic Review

Municipal reviews via nominal pass-through fee Requested access & circulation improvements Reductions in impervious parking surfaces Pedestrian safety improvements

Parking

FHWA study on fringe parking for carpoolers Permit parking programs in various cities Shared parking evaluations

Alternative Modes

Bike route planning & implementation (Boise) Complete Streets Ordinance (Lathrup Village) Americans with Disabilities Act standards

Freight Transportation

FHWA research studies on heavy trucks Assembly sequencing to reduce delivery costs

Traffic Impact Analysis

Numerous studies, beginning in 1974; e.g.: Francis Scott Key Mall The Mall at Partridge Creek Twelve Oaks Mall Loves Travel Stop & Country Store **Emagine Theaters** Plymouth High School South Lyon East High School Liberty Middle School Field, Eriksson, & Gallimore E.S. Perfecting Church Mt. Zion Church Kensington Community Church St. Joseph Mercy Hospital Mattawan LDFA TIS & interchange design Croswell TIS & MI Sugar site planning Catalyst Mixed-Use Building **Brookside Mixed-Use Building** Multifamily residential (Berkley) Birmingham Boutique Hotel Peabody Site Development (Birmingham) **Detroit Pistons Performance Center** Highland Park Manufacturing Plant Lavender Ridge Townhomes (Orion Twp) Seven Mile Mixed-Use Development New TIS policy for several communities TIS reviews for municipal clients Cut-through traffic studies

Access Management

Ada Co. traffic engineering supervision MDOT Access Mgmt. Handbook training Plan for M-24, Oakland Co. line to I-69 Plan for Allen & West Roads (Woodhaven) Ordinance policy for Grand Blanc Twp. Plan for Van Dyke Ave (Shelby Township) Plan for Orchard Lk Rd (Farmington Hills) Plan for 23 Mile Rd (Chesterfield Twp.)

APPENDIX B:

TRAFFIC COUNTS

BUTTER PROVISIONING CENTER, CITY OF BERKLEY AM Vehicular Turning-Movement Count at 11 Mile Road and Berkley Avenue

Cumulative Turning-Movement Count

15 Minutes Ending	E	B 11 Mile R	d	WB 11 Mile Rd			N	B Berkley A	ve	S	Total		
(Enter Data)	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	Total
7:15	1	24	1	1	58	0	0	0	2	3	0	3	93
7:30	2	64	2	3	133	2	0	0	4	6	0	12	228
7:45	6	120	2	3	248	5	2	1	6	7	2	16	418
8:00	23	205	3	7	397	14	2	6	10	7	3	28	705
8:15	63	321	6	14	528	29	2	18	13	14	5	57	1070
8:30	72	418	7	16	624	33	4	21	17	19	12	79	1322
8:45	75	528	9	20	754	35	5	21	22	22	13	84	1588
9:00	76	603	10	23	891	38	6	21	27	25	13	90	1823

Turning-Movement Count by 15-Minute Interval

15 Minutes Ending	I	EB 11 Mile R	d	٧	WB 11 Mile Rd			NB Berkley Ave			SB Berkley Ave			
15 Minutes Ending	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	Total	
7:15	1	24	1	1	58	0	0	0	2	3	0	3	93	
7:30	1	40	1	2	75	2	0	0	2	3	0	9	135	
7:45	4	56	0	0	115	3	2	1	2	1	2	4	190	
8:00	17	85	1	4	149	9	0	5	4	0	1	12	287	
8:15	40	116	3	7	131	15	0	12	3	7	2	29	365	
8:30	9	97	1	2	96	4	2	3	4	5	7	22	252	
8:45	3	110	2	4	130	2	1	0	5	3	1	5	266	
9:00	1	75	1	3	137	3	1	0	5	3	0	6	235	
TOTAL	76	603	10	23	891	38	6	21	27	25	13	90	1823	

Hourly Total

Hour Posinnins	EB 11 Mile Rd			WB 11 Mile Rd			NB Berkley Ave			S	Total		
Hour Beginning	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	Total
7:00	23	205	3	7	397	14	2	6	10	7	3	28	705
7:15	62	297	5	13	470	29	2	18	11	11	5	54	977
7:30	70	354	5	13	491	31	4	21	13	13	12	67	1094
7:45	69	408	7	17	506	30	3	20	16	15	11	68	1170
8:00	53	398	7	16	494	24	4	15	17	18	10	62	1118

AM Peak Hour

Hour Beginning	EB 11 Mile Rd			WB 11 Mile Rd			NB Berkley Ave			SB Berkley Ave			Total
Hour Beginning	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	TOtal
7:45	69	408	7	17	506	30	3	20	16	15	11	68	1170
PHF (Peak-Hour Factor)	0.43	0.88	0.58	0.61	0.85	0.50	0.38	0.42	0.80	0.54	0.39	0.59	0.80
Till (I cak-flour factor)		0.76			0.85			0.65			0.62		0.80

BUTTER PROVISIONING CENTER, CITY OF BERKLEY PM Vehicular Turning-Movement Count at 11 Mile Road and Berkley Avenue

Cumulative Turning-Movement Count

15 Minutes Ending	I	B 11 Mile R	d	V	VB 11 Mile F	Rd	N	B Berkley A	ve	S	B Berkley A	ve	Total
(Enter Data)	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	Total
4:15	4	136	3	4	118	2	1	0	0	1	3	8	280
4:30	10	274	9	8	249	7	2	2	2	4	4	10	581
4:45	11	428	14	13	380	9	2	4	5	10	5	14	895
5:00	16	569	20	20	525	12	3	6	9	11	8	24	1223
5:15	22	720	25	29	626	16	3	8	18	20	11	30	1528
5:30	33	899	31	43	749	19	3	9	21	27	11	40	1885
5:45	38	1053	39	53	859	20	4	11	24	30	12	44	2187
6:00	42	1196	43	58	986	21	5	11	31	31	15	48	2487

Turning-Movement Count by 15-Minute Interval

15 Minutes Ending	E	EB 11 Mile R	d	V	VB 11 Mile F	ld	N	B Berkley A	ve	S	B Berkley A	/e	Total
13 Williates Enailig	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	TOLAT
4:15	4	136	3	4	118	2	1	0	0	1	3	8	280
4:30	6	138	6	4	131	5	1	2	2	3	1	2	301
4:45	1	154	5	5	131	2	0	2	3	6	1	4	314
5:00	5	141	6	7	145	3	1	2	4	1	3	10	328
5:15	6	151	5	9	101	4	0	2	9	9	3	6	305
5:30	11	179	6	14	123	3	0	1	3	7	0	10	357
5:45	5	154	8	10	110	1	1	2	3	3	1	4	302
6:00	4	143	4	5	127	1	1	0	7	1	3	4	300
TOTAL	42	1196	43	58	986	21	5	11	31	31	15	48	2487

Hourly Total

Hour Poginning		EB 11 Mile R	d	V	VB 11 Mile F	₹d	N	IB Berkley A	ve	S	B Berkley A	/e	Total
Hour Beginning	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	TOtal
4:00	16	569	20	20	525	12	3	6	9	11	8	24	1223
4:15	18	584	22	25	508	14	2	8	18	19	8	22	1248
4:30	23	625	22	35	500	12	1	7	19	23	7	30	1304
4:45	27	625	25	40	479	11	2	7	19	20	7	30	1292
5:00	26	627	23	38	461	9	2	5	22	20	7	24	1264

PM Peak Hour

Hour Reginning	E	B 11 Mile R	d	V	VB 11 Mile F	ld	N	IB Berkley A	ve	S	B Berkley A	⁄e	Total
Hour Beginning	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	TOtal
4:30	23	625	22	35	500	12	1	7	19	23	7	30	1304
PHF (Peak-Hour Factor)	0.52	0.87	0.92	0.63	0.86	0.75	0.25	0.88	0.53	0.64	0.58	0.75	0.91
Fill (Feak-flour factor)		0.85			0.88			0.61			0.83		0.91

APPENDIX C:

TRIP GENERATION DATA

Land Use: 882 **Marijuana Dispensary**

Description

A marijuana dispensary is a stand-alone facility where cannabis is sold to patients or retail consumers in a legal manner. Marijuana cultivation and processing facility (Land Use 190) is a related land use.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (https://www.ite.org/technical-resources/topics/tripand-parking-generation/).

The sites were surveyed in the 2010s in California, Colorado, Massachusetts, and Oregon.

Source Numbers

867, 893, 919, 1041, 1059



Marijuana Dispensary

(882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday

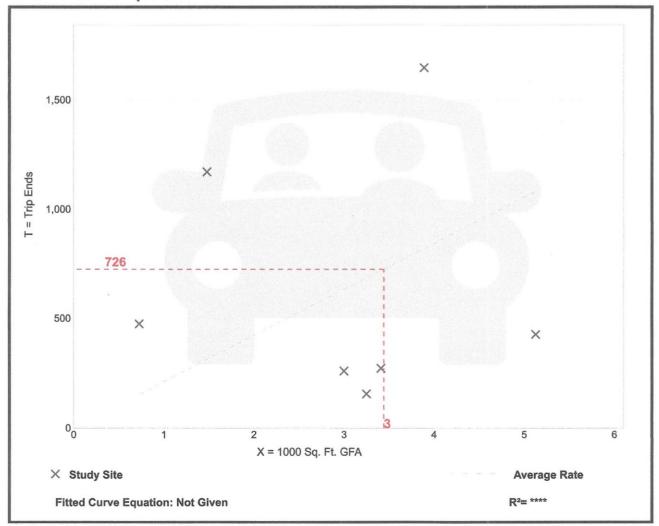
Setting/Location: General Urban/Suburban

Number of Studies: 7 Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
211.12	48.00 - 791.22	246.90



Marijuana Dispensary

(882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

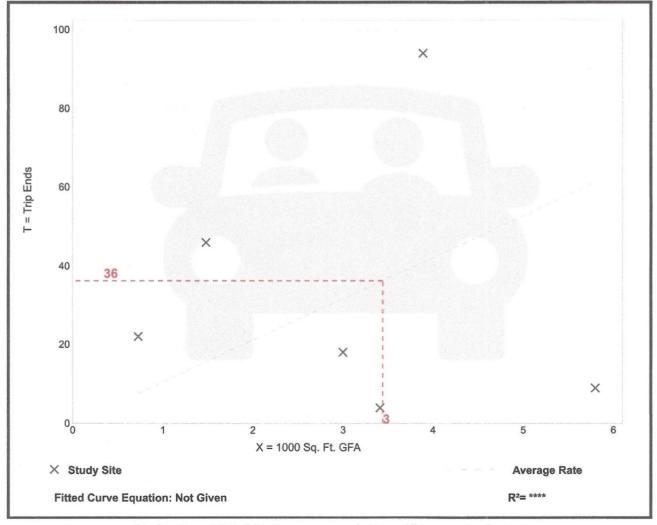
Number of Studies:

Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 52% entering, 48% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
10.54	1 17 - 31 08	12.69



Marijuana Dispensary

(882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

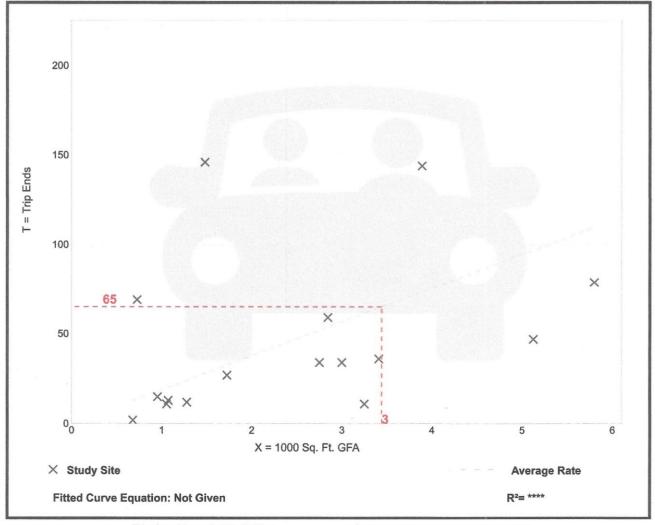
Number of Studies:

Avg. 1000 Sq. Ft. GFA: 2

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
18.92	2.94 - 98.65	21.73



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Saturday

Setting/Location: General Urban/Suburban

Number of Studies: 4 Avg. 1000 Sq. Ft. GFA: 2

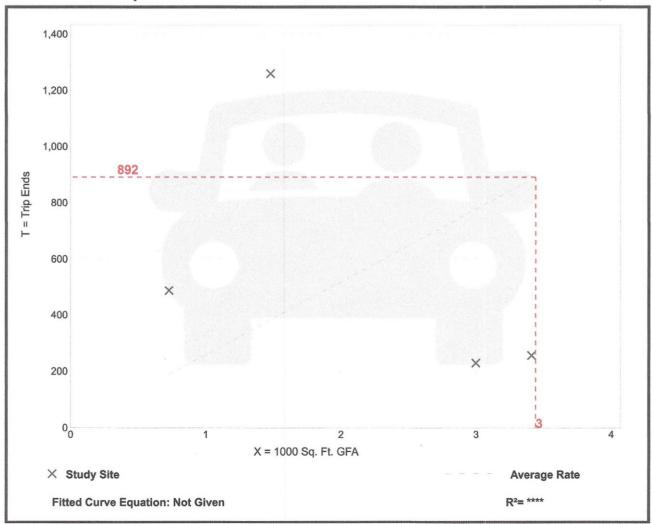
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
259.31	75.34 - 852.03	364.24

Data Plot and Equation

Caution - Small Sample Size



Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban

Number of Studies:

Avg. 1000 Sq. Ft. GFA: 3

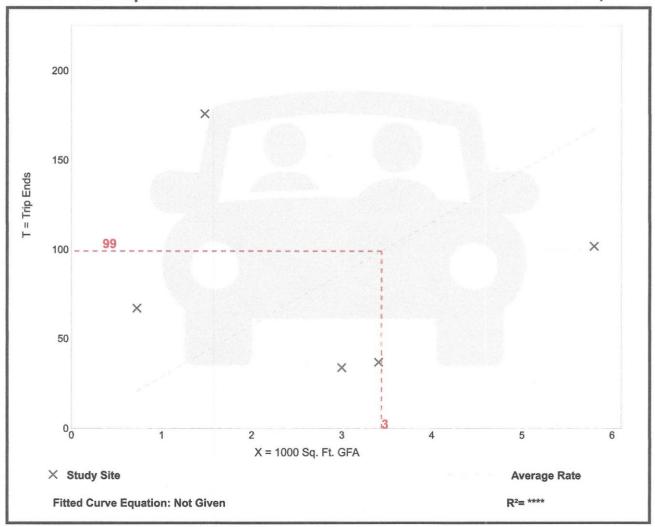
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
28.85	10.85 - 118.92	39.14

Data Plot and Equation

Caution - Small Sample Size



Warehousing

(150)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday

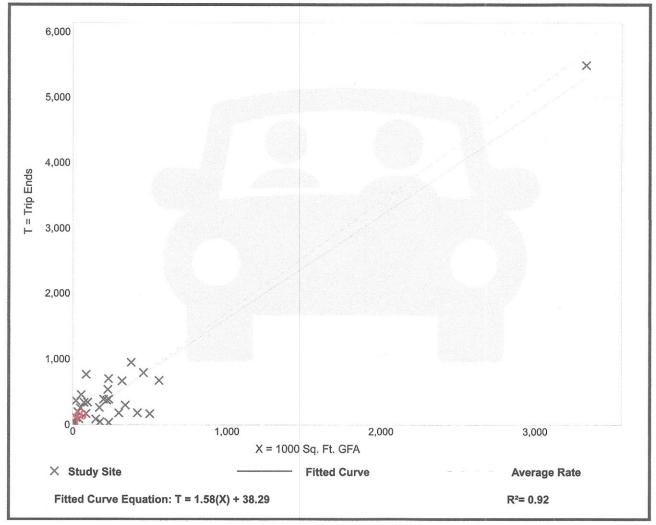
Setting/Location: General Urban/Suburban

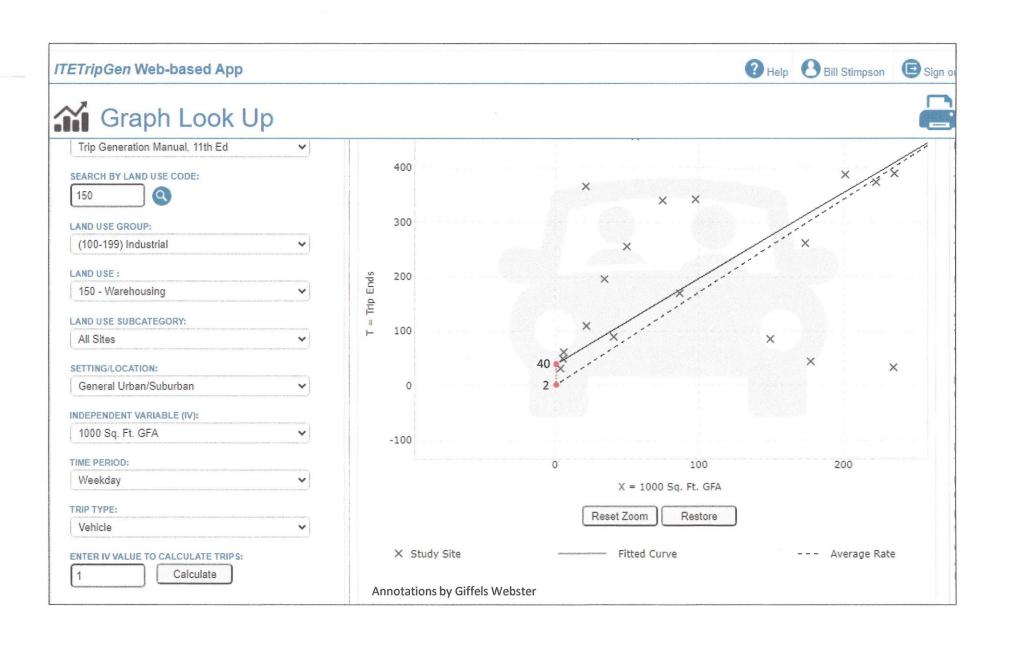
Number of Studies: 31 Avg. 1000 Sq. Ft. GFA: 292

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.71	0.15 - 16.93	1.48





Warehousing

(150)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies:

Avg. 1000 Sq. Ft. GFA: 448

Directional Distribution: 77% entering, 23% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate

Range of Rates

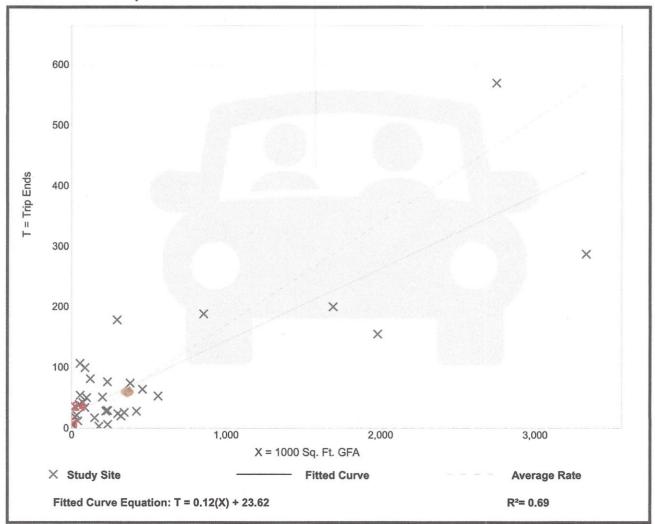
Standard Deviation

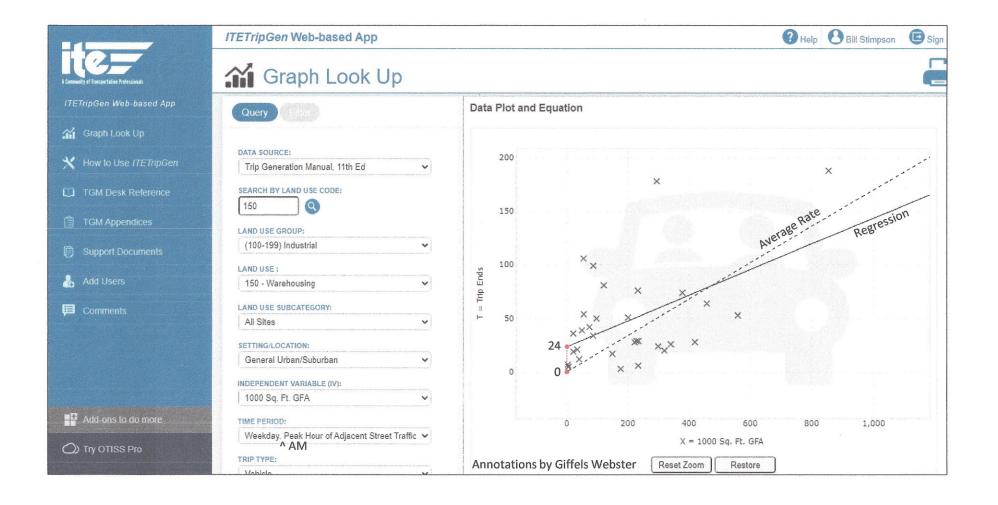
0.17

0.02 - 1.93

0.19

Data Plot and Equation





Warehousing

(150)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.

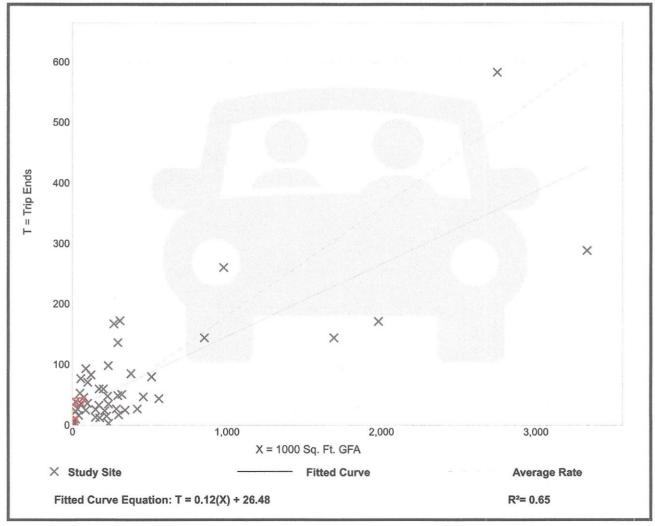
Setting/Location: General Urban/Suburban

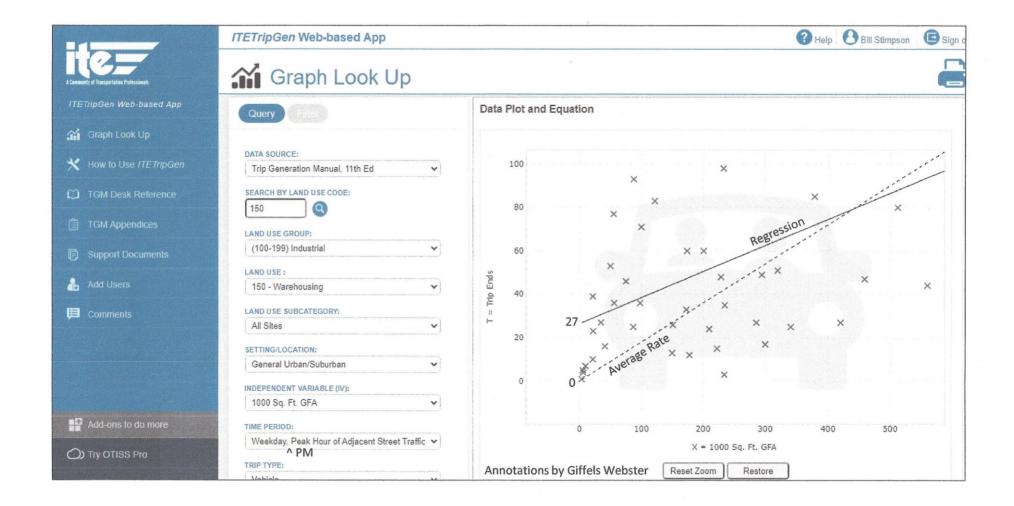
Number of Studies: 49 Avg. 1000 Sq. Ft. GFA: 400

Directional Distribution: 28% entering, 72% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Data Plot and Equation





2321 WOLCOTT - FERNDALE - MICHIGAN - 48220 WWW.FIVE-EIGHTHS.COM

BUTTER PROVISIONING CENTER 2222 W ELEVEN MILE ROAD PARKING PLAN SUMMARY APRIL 22, 2022

When the "sketch" site plan for the referenced project was reviewed by the Berkley Planning Commission at the February 22nd meeting, one of the biggest concerns the commissioners had was the amount of off-street parking spaces provided as well as the lack of circular vehicular flow through the site. The sketch version of the plan provided 13 spaces as well as a shared parking agreement for 10 spaces in the adjacent lot to the west (Masonic Temple located at 2290 W Eleven Mile Rd.) that could be utilized for employee parking from 7:00am to 6:00pm, seven days a week. The parking lot at 2222 W Eleven Mile only had one two-way drive aisle as an entrance and exit. There were also concerns about a shared loading/turnaround space in front of the overhead door to suite B.

We have taken several measures to address those concerns and the following is a summary of those revisions.

Purchase of 2200 W. Eleven Mile Rd

Butter has purchased the building directly to the east of the Provisioning Center (the purchase agreement with the current owner has been included with the revised site plan review documents for proof of ownership), which allows for a combined parking layout between the two buildings. This revised parking lot has angled parking and a one-way drive aisle, which allows for circular flow through the lot with a separate entrance and exit. Refer to the revised Site Plan Review Drawings for the parking layout. Additionally, there will be a shared dumpster enclosure for the two buildings with easier access for the garbage truck than the previous layout.

The tenant of the 2200 building is a property management called Kirco and has two years remaining on their lease. They use the space for storage of appliances and furniture for the various properties they manage. They only need to access the building occasionally in the mornings when they need to drop off or pick up equipment. Butter and Kirco have a shared parking agreement between them that stipulates that Kirco only needs access to a few spaces prior to 9:00am each day in addition to 24/7 access to the unloading zone in front of the overhead door located on their building. Refer to the attached **Exhibit A** said agreement.

Revised Shared Parking Agreement with the Masonic Temple

Butter has revised the shared parking agreement they have with their neighbors to the west (2290 W Eleven Mile Rd), the Masonic Temple. The revised agreement gives Butter full access to the 11 spaces directly the west of the Provisioning Center from 7:00am to 10:00pm, seven days a week (which means they will have access to them during all hours of operation), and lifts the "employees only" stipulation from theose spaces. Additionally, there are another 9 spaces that Butter has full access to from 7:00am to 6:00pm seven days a week. After 6:00pm, the spaces will be dedicated for use by the Masonic Temple if they have an event going on that particular night, otherwise Butter will be allowed to use them until 10:00pm. The Mason's lot will have separate, one-way entrance and exits to help keep vehicular flow though the site orderly. Refer to Exhibit B for the revised version of the parking agreement with the Masonic Temple.

2321 WOLCOTT - FERNDALE - MICHIGAN - 48220 WWW.FIVE-EIGHTHS.COM

Employee Parking

Butter has taken several measures to try and ensure that most or all of the employees working at the Provisioning Center at any given time will be parked off-site. Please refer to the attached parking agreements regarding separate Employee parking.

- Exhibit C 1716 Coolidge Highway in Berkley shared parking agreement for 12 spaces from 5:00pm to Midnight Monday through Friday, 1:00pm to Midnight on Saturday, and 8:00am to Midnight on Sunday.
- **Exhibit D** 13631 11 Mile Rd in Oak Park lease for a building that has 15 spaces off-street parking spaces that will be utilized by Butter employees

Shuttles will be provided at shift change for arriving and departing employees, employees will have the option to Take the shuttle or walk on the sidewalk to 2222 W Eleven Mile Rd. Three times a day a shuttle will make a trip to both parking lots to accommodate transfer to and from the Provisioning Center.

Additionally, employees will also be able to take advantage of our reduce-driving incentives as listed below:

- Ride share credits for employees who decide to use a service such as Uber or Lyft to get to work
- Carpool signups and incentives for multiple employees to arrive in one car.
- Locals who can walk or bike to work will be given incentive to do so.
- Butter will have a few company-owned bikes that can be utilized by employees to get to and from the off-site parking lots.

Site Organization Measures

Parking lot attendants will be present in the parking lot to facilitate our parking agreements and coordinate circular flow of customers during all hours of operation. Parking agreement members will have a phone number to call to report and resolve parking issues.

Several signs will be added to the three adjacent sites on w Eleven Mile Rd to help direct customers to the proper locations. Refer to the customer parking plan on sheet C/1.03 in the revised site plan review drawings for signage locations and information.

EXHIBIT A

AGREEMENT FOR EXCLUSIVE USE OF PARKING SPACES

This AGREEMENT FOR EX	CLUSIVE USE	OF PARKING SPA	ACES ("Agree	ment") is made
and entered into as of this	day of			OPERATION
GROW, LLC, a Michigan	limited liability of			
MANAGEMENT SERVICE	ES, LLC, a Mich	higan limited liab	ility company	("Kirco"), the
address of which is .	274 4557.4 77 5 557			(121100), the

RECITALS

- A. As of this date, Operation Grow is the Land Contract purchaser of a parcel of property located at 2222 W. Eleven Mile Road, Berkley, Michigan (the "2222 11 Mile Property") and intends to purchase the property located immediately to the east, at 2200 W. Eleven Mile Road, Berkley, Michigan (the "2200 11 Mile Property"). The 2222 11 Mile Property and the 2200 11 Mile Property are more particularly described on the attached Exhibit A.
- B. Kirco currently leases the building and all of the parking spaces located upon the 2200 11 Mile Property, pursuant to a Lease entered into by Kirco, as tenant and 2200 W. 11 Mile Rd., L.L.C. as landlord, which Lease is dated June 23, 2021. (the "2200 Lease"). Pursuant to the terms of the 2200 Lease, Kirco has the exclusive right to utilize all of the parking spaces located upon the 2200 11 Mile Property.
- C. In connection with the ownership and operation of the 2222 11 Mile Property, Operation Grow has determined that it will need more parking spaces for its employees, customers, invitees and guests, than are currently located on the 2222 11 Mile Property. Operation Grow has requested, and Kirco has agreed, subject to the terms and conditions as set forth below, to grant to Operation Grow the exclusive right to utilize _____ (___) parking spaces located upon the 2200 11 Mile Property, to be used in connection with the operation of Operation Grow's business at the 2200 11 Mile Property.

ACCORDINGLY, the parties agree as follows:

1. <u>Use of Parking Spaces</u>. Effective as of the date that Operation Grow enters into a Land Contract to purchase the 2200 11 Mile Property, Operation Grow shall have the exclusive right to use those parking spaces as specifically set forth on the attached <u>Exhibit A</u>, located upon the 2200 11 Mile Property, which parking spaces shall be utilized by the employees, customers, guests and invitees of Operation Grow, subject to all applicable statutes, ordinances and regulations. Notwithstanding Operation Grow's exclusive right to utilize all of the parking spaces as provided for above, Kirco shall have the limited right to utilize parking spaces 15 and 16 and the loading zone as depicted on the attached <u>Exhibit A</u>, daily from the hours of 6:00 a.m. to 9:00 a.m. for purposes of loading and unloading goods to and from the building. Kirco acknowledges that Operation Grow shall have the right to reconfigure the parking spaces located upon the 2200 11 Mile Road to satisfy all requirements as set forth by the City of Berkley, to provide for a circular drive and access. Operation Grow shall be solely responsible for all costs and expenses associated with such reconfiguration.

- 2. <u>Maintenance of Parking Lot</u>. Operation Grow shall be solely responsible for the maintenance, repair, restriping and snow removal in connection with the entire parking area located upon the 2200 11 Mile Property.
- 3. <u>Compliance With Laws</u>. Each of the parties hereto shall fully comply with all applicable laws, statutes and regulations affecting the use of the 2200 11 Mile Property, including those as may be adopted and/or promulgated by the City of Berkley with respect to the ownership and operation of a cannabis facility.
- 4. Partial Lease of 2222 11 Mile Property. In consideration for the exclusive use of the parking spaces, as provided for in Paragraph 1 above, Kirco has requested and Operation Grow has agreed to lease to Kirco, approximately 797 square feet of space located in the building located on the 2222 11 Mile Property, which space is more particularly described on the attached Exhibit A. Simultaneously with the execution of this Agreement, the parties shall enter into a Lease in the form attached as Exhibit B, which shall set forth the terms upon which such space shall be leased to Kirco.
- 5. <u>No Defaults</u>. Kirco hereby represents and warrants to Operation Grow that as of the date of this Agreement, there are no defaults under the 2200 Lease.
- 6. <u>Term of Agreement</u>. The term of this Agreement shall continue for so long as the 2200 Lease remains in full force and effect.
- 7. Warranty of Authority. Each party warrants to the others that it is authorized and has the power to perform the terms of this Agreement, the execution and performance have been authorized by all necessary action and this Agreement is valid and binding upon such party in accordance with its terms.
- 8. <u>Transfers and Conveyances</u>. Each party shall have the right to sell, assign, transfer or convey its respective real property, leasehold interest, structures and improvements and its rights under this Agreement, provided no such transfer shall relieve any party of its obligations under this Agreement unless the written consent of the remaining parties is first obtained.
- 9. <u>Notices</u>. All notices or communications under this Agreement shall be in writing and shall be served by email, personally or by registered or certified mail, addressed to the following:

If To Operation Grow:

Operation Grow, LLC Daniel Amori 3249 Wakefield Road Berkley, MI 48072

With A Copy To:

Dykema Gossett, PLLC 39577 Woodward Avenue, Suite 300 Bloomfield Hills, MI 48304 Attention: Scott A. Steinhoff, Esq.

If To Kirco:	
	Attention:Email:
With A Copy To:	
	Attention:

- 10. <u>Amendment</u>. This Agreement may only be amended by a written agreement signed by all the parties.
- 11. <u>Waiver</u>. The waiver of any breach of this Agreement by a party shall not operate or be construed as a waiver by any party of any subsequent breach. Each and every right, remedy and power granted to a party under this Agreement or allowed by law shall be cumulative and not exclusive of any other.
- 12. <u>Enforceability</u>. If any of the provisions of this Agreement or its application to any party under any circumstances is determined to be invalid or unenforceable, such invalidity or unenforceability shall not affect any other provision of this Agreement or its application.
- 13. Entire Agreement. This Agreement and the Exhibits to same constitute the entire agreement between the parties with respect to the matters set forth in this Agreement, except for the agreements referenced herein. This Agreement supersedes and terminates any and all other previous or contemporaneous communications, representations, understandings, agreements, negotiations, discussions, whether oral or written, between the parties with respect to the amounts to be charged for the reserved parking spaces described in this Agreement.
- 14. Governing Law. This Agreement shall be governed by the laws of the state of Michigan.
- 15. **Execution of Agreement.** This Agreement may be executed in duplicate original counterparts and all copies of this Agreement so executed shall be deemed to be one agreement.
- 16. <u>Interpretation</u>. The language set forth in this Agreement is the result of comprehensive negotiations between the parties. In the event there is any ambiguity of any of the provisions of this Agreement, such ambiguity shall not be construed against either party.

[Signatures on following page]

This Agreement has been entered into as of the date set forth above.

OPERATION GROW:

OPERATION GROW, LLC, a Michigan limited liability company

Name: Christophs Klamkin

Its: CEO + Co-Found

KIRCO:

KIRCO MANAGEMENT SERVICES, LLC

By:
Name:
Its:

EXHIBIT A

DESCRIPTION OF 2222 11 MILE PROPERTY AND 2200 11 MILE PROPERTY



EXHIBIT B

FORM OF LEASE



EXHIBIT B

SHARED PARKING AND ALLEY INGRESS/EGRESS AGREEMENT

- Lessor grants Lessee the following rights to lease:
 - a. Lessor grants exclusive lease rights to eleven (11) parking spaces within Lessors parking lot ("Parking Lot") located at 2290 West 11 Mile Road, Berkley, Michigan (the "Property"), which spaces abut 2222 West 11 Mile Road, seven (7) days a week, 365 days per year, 7 a.m. to 10 p.m. for a period of three (3) years ("the Term") for use of customers, employees and business partners of Lessee (see Exhibit 1 below).
 - b. Lessor grants non-exclusive lease rights to nine (9) additional parking spaces in the next row west within the Parking Lot seven (7) days a week, 365 days a year for a term of 3 years; provided that Lessor's tenants and rental function clients shall have priority parking rights to said spaces after 6 p.m. and Lessee's parking security staff shall enforce said priority parking rights.
 - c. Lessee shall insure that the remaining parking spaces, (not covered in Paragraph 1a and 1b) are <u>not</u> used by Lessee's customers, employees and business partners; and ensure that routes of ingress and egress, shown on Exhibit 1 are kept open and unobstructed.
- The above lease rights notwithstanding, when the Berkley Masonic Temple has special
 meetings or events, and 10 days notice has been given to Lessee, Lessee shall make the
 parking spaces identified in Paragraph 1 available for said special events, <u>inter alia</u> St.
 Patrick's Day, Derby Day, Cruise Day.
- 3. The Term shall automatically renew for an additional period of 3 years ("Subsequent Term") unless either party provides written notice of its intention not to renew at least sixty (60) days prior to term expiration.
- 4. Lessee shall pay Lessor \$1,000.00 per month for the aforesaid lease rights during the initial term of the lease, Lessee shall pay Lessor a deposit of \$3,000.00 upon signing this agreement which will be applied to the first three (3) month's rent payments. For any subsequent term, Lessee shall pay a 10% increase. Rent shall be paid by the 1st of the month. Payments not received by the 10th of the month shall be subject to a 5% per month late charge.
- 5. Should Lessee fail to perform its lease obligations under Paragraphs 1 and 4 above, Lessor may serve Lessee with a Notice of Intent to Terminate Lease. Upon receipt of said notice, Lessee shall have 20 days to cure its non-performance of its obligations. If Lessee fails to cure, Lessee may terminate the lease agreement and Lessee's lease rights under it.
- 6. Notices shall be given to the parties as follows:

To Lessor at: swayzepl@gmail.com and

jstevens@mathesonparr.com

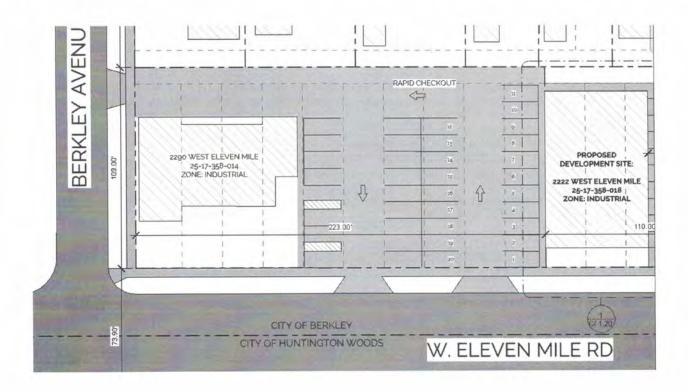
To Lessee at: danny@operationgrow.biz and

chris@butterworld.com

7. Lessor grants Lessee permission to install necessary signage and Lessee agrees to pay for signage for the leased spaces. Lessee intends to place such signage on its building in front of each space, with language stating or similarly conveying as follows: "butter Customer Parking Only All Others Will be Towed."

- 8. Lessor agrees to allow the Lessee to install up to six light fixtures on the west façade of the building located at 2222 W. Eleven Mile Road that will overhang the shared property line. These light fixtures will serve the dual purpose of lighting the mural that will be painted on that wall and the 10 parking spaces along the east property line of the Lessor's property, which are included in this agreement. The fixtures will hang over the property line by roughly seven feet, will be at least 12 feet above the ground, will adhere to all city ordinances, and will be installed, powered, and maintained by the Lessee.
- Lessee agrees to provide a parking security employee to provide traffic management during
 the hours of operations to facilitate traffic flow and/or extra spots The Berkley Masonic
 Temple and/or The Masonic Temple tenants may need in the event of a last-minute
 demand.
- 10. Lessee agrees to allow Lessor the ability to utilize the entire parking lot on Lessor's Property, for one (1) calendar day per year, (the Monday before the Woodward Dream Cruise) during the Term and any Subsequent Term.
- The initial rental term will begin when Lessee completes construction for a marijuana retail facility at 2222 W 11 Mile Rd in Berkley.
- 12. This Agreement shall be binding upon and inure to the benefit of the parties and their respective permitted successors and assigns. This Agreement constitutes the entire agreement and understanding of the parties pertaining to the subject matter contained herein and supersedes all prior and contemporaneous agreements, representations, and understandings, whether written or oral, as to the matters herein set forth. This Agreement shall be governed and construed under the laws of the State of Michigan.
- 13. Lessor agrees to continue to be responsible for maintenance and repair of the parking lot, including snowplowing as necessary; however Lessee shall reimburse Lessor for 50% of repair and snow removal costs, upon submission of receipts for same.

Exhibit 1



IN WITNESS WHEREOF, the parties hereto have executed this Shared Parking and Alley Ingress/Egress Agreement on the day and year first above written.

LESSOR:

BERKLEY MASONIC TEMPLE

Name: Paul Swayze

Its:

LESSEE:

OPERATION GROW LLC

Name: Daniel Amori

Its: Chief Compliance Officer

EXHIBIT C

2321 WOLCOTT - FERNDALE - MICHIGAN - 48220

WWW.FIVE-EIGHTHS.COM

PARKING AGREEMENT

THIS PARKING AGREEMENT ("Agreement") is made this 2 day of More . 2022 (the "Effective Date"), by and between ALAN GARNSEY, an individual, having an address of 895 Rivenoak, Birmingham, MI 48009 (the "Lessor"), and OPERATION GROW LLC, a Michigan limited liability company, having an address of 2222 W 11 Mile Rd, Berkley, MI 48072 ("Lessee").

For good and valuable consideration, as set forth herein, Lessor and Lessee (collectively, the "Parties") agree as follows:

- 1. Lessor will grant Lessee (including its members, employees, licensees, agents, and designees) the unlimited and exclusive right to utilize twelve (12) parking spaces at the parking lot ("Parking Lot") located at Lessor's property, commonly known as 1716 Coolidge Hwy, Berkley, MI 48072 (the "Property"), seven (7) days per week, three hundred sixty five (365) days per year, from the hours of 5:00 p.m. to Midnight Monday through Friday, 1:00 p.m. to Midnight on Saturday, and 8:00 a.m. to Midnight on Sunday, for a period of twenty four (24) months (the "Term") beginning on the date Lessee completes construction at 2222 W 11 Mile Rd in Berkley MI but no later than October 31, 2022 (collectively referred to as Lessee's "Parking Rights").
- Lessee will have the right (the "Option") to renew the Agreement for a period of two (2) years ("Option Term"). Lessee
 may exercise its Option by sending written notice to Lessor prior to or within fourteen (14) days after the expiration of
 the Term.
- Lessee will have the right (the "Second Option") to renew the Agreement for a period of two (2) years ("Second Option Term") consecutive to the Option Term. Lessee may exercise it's Second Option by sending written notice to Lessor prior to or within fourteen (14) days after the expiration of the Option Term.
- 4. Lessor will have the right (the "Second Option Refusal"), if Lessor decides to sell Lessor's property, to not accept Lessee's Second Option by sending written notice with a check for \$1,000 to Lessee thirty (30) days prior to the expiration of the Option Term.
- If Lessor exercises their Second Option Refusal, Lessee will have the right (the "Right of First Refusal") to purchase Lessor's property at 1716 Coolidge Highway, Berkley, MI 48072 for a price equal to that of the offer Lessor plans to accept. However, if Lessor plans to accept a purchase offer from Durst Lumbar Lessee will pay 5% above the purchase price.
- 6. Lessee shall pay to Lessor \$150 per month for the Term, \$175 per month for the Option Term, and \$200 per month for the Second Option Term. Rent shall be paid each month by the 4th of each month, or is subject to a \$10 per month late charge. A deposit of \$450, which represents the first three (3) months of rent payments, will be due upon the Effective Date of this agreement. At the conclusion of the Term, if the Option is not exercised by either Party, the Parking Agreement will convert to a month-to-month parking agreement, which may be terminated by either Party upon thirty (30) days prior written notice. At the conclusion of the Option Term, if the Second Option is not exercised by either Party, the Parking Agreement will convert to a month-to-month parking agreement, which may be terminated by either Party upon thirty (30) days prior written notice. At the conclusion of the Second Option Term, the Parking Agreement will convert to a month-to-month parking agreement, which may be terminated by either Party upon thirty (30) days prior written notice.
- 7. Lessee's rights under this Agreement run with the land for the Term and Option Term, and the Second Option Term, and is binding on any subsequent owners and current or future tenants of the Property. This Agreement shall be binding upon and inure to the benefit of the parties and their respective permitted successors and assigns. This Agreement constitutes the entire agreement and understanding of the parties pertaining to the subject matter contained herein and supersedes all prior and contemporaneous agreements, representations and understandings, whether written or oral, as to the matters herein set forth. This Agreement shall be governed and construed under the laws of the State of Michigan.
- Lessor will be responsible for the maintenance and snow removal of the Parking Lot at 1716 Coolidge Hwy, Berkley, MI 48072

IN WITNESS WHEREOF, the parties hereto have executed this Parking Agreement on the day and year first above written.

LESSOR:

ALAN GARNSEY

Name:

Nam Its: LESSEE:

OPERATION GROW LLC

By:_

Name: Variet

ts: Coo

2321 WOLCOTT - FERNDALE - MICHIGAN - 48220 WWW.FIVE-EIGHTHS.COM

EXHIBIT D

COMMERCIAL LEASE

This Commercial Lease ("Lease") is entered into as of April 15, 2022 ("Effective Date"), by and between RAUT PROPERTIES LLC, a Michigan limited liability company (hereinafter called "LESSOR"), and OPERATION GROW, LLC, a Michigan limited liability company, d/b/a butter (hereinafter called "LESSEE"), for valuable consideration, the receipt and sufficiency of which are hereby acknowledged, LESSOR and LESSEE do hereby covenant, contract and agree as follows:

- 1. **PREMISES AND TERM.** LESSOR hereby leases to LESSEE for the term commencing on the Effective Date ("Commencement Date") and ending on the 31st day of October, 2025 ("Term") the following described premises, including all improvements thereon, as defined below, located at 13631 W. 11 Mile Rd., Oak Park, Oakland County, Michigan, and more particularly described on Exhibit A attached hereto (hereinafter called the "Premises" or "Leased Premises").
- 2. **RENT.** The LESSEE agrees to pay the monthly rent indicated below ("Rent"), without offset or deduction of any kind, in accordance with the following schedule:

Monthly Rent	Total Annual Rent
	N/A
100	\$28,200.00
	\$29,400.00
The state of the s	\$30,600.00
	\$15,900.00
	Monthly Rent \$0.00 \$2,350.00 \$2,450.00 \$2,550.00 \$2,650.00

Rent shall be payable in equal monthly installments as set forth above, shall be paid in advance, at LESSOR'S address, set forth in Paragraph 31, on the first day of each calendar month throughout the term of this Lease. If LESSEE'S obligation to pay Rent commences other than the first day of the calendar month, the first month's Rent shall be prorated accordingly and paid at the commencement of the obligation to pay Rent. Any payment by LESSEE or acceptance by LESSOR of a lesser amount than shall be due from LESSEE to LESSOR shall be treated as payment on account. The acceptance by LESSOR of a check for a lesser amount with an endorsement or statement thereon, or upon any letter accompanying such check, that such lesser amount is payment in full, shall be given no effect, and LESSOR may accept such check without prejudice to any other rights or remedies which LESSOR may have against LESSEE. Notwithstanding the foregoing, LESSEE shall pay the first month's Rent hereunder immediately upon execution of this Lease.

LESSOR'S address shall be as from time to time designated by LESSOR to LESSEE in writing.

3. LATE CHARGES. LESSEE shall pay a late charge in the amount of five percent (5%) or two hundred dollars (\$200.00), whichever is greater (but not in excess of the maximum amount allowed by law) of the outstanding delinquent balance for any payment of the Rent not made within every five (5) days after the due date to cover the extra expense involved in handling late payments. This charge is in addition to any other rights or remedies of LESSOR.

- 4. UTILITIES & MAINTAINANCE. LESSEE will pay all charges made against said Leased Premises for all utilities, including (without limitation) electricity, internet, cable, phone, gas and water, as the same shall become due. The obligation of LESSEE to pay for said utilities shall commence as of the commencement date. LESSEE agrees to open accounts with the electric, internet, cable, phone, gas and water companies that it may require to individually serve its Premises, including the acquisition and installation of the same. LESSEE shall be responsible for and pay for any repairs to or replacements of lighting fixtures, including (without limitation) all lighting tubes and bulbs. LESSEE agrees to maintain the front lawn and pay for lawn service. LESSEE will be responsible for the removal of snow, ice, trash and other debris from the premises.
- 5. CONDITION OF PREMISES; LESSEE'S WORK. LESSEE acknowledges that it has examined the Premises prior to execution of this Lease and agrees that it is accepting the Premises in its present "AS-IS" condition with no expectation that LESSOR will perform or contribute towards the cost of any leasehold improvements required to prepare the Premises for LESSEE's occupancy or to obtain a Certificate of Occupancy for the Premises. LESSEE, at its sole cost and expense, shall complete all work necessary to make the Premises ready for LESSEE to conduct its business therein, if any, in accordance with the guidelines set forth in Exhibit B attached hereto.
- 6. USE OF PREMISES. LESSOR agrees that LESSEE, upon paying the Rent and on performing all terms of this Lease, shall peaceably enjoy the Leased Premises during the term of this Lease. LESSEE agrees:
 - (a) To use the Leased Premises for any lawful purpose.
 - (b) To surrender the Leased Premises to LESSOR at the end of the Term or any renewal without the necessity of any notice from either LESSOR or LESSEE to terminate the same, and LESSEE hereby expressly waives all rights to any notice which may be required under any laws now or hereafter enacted and in force.
 - (c) To surrender possession of the Leased Premises at the expiration of this Lease or upon termination of this Lease as described above without further notice to quit, in substantially the same condition as currently exists, damage by fire and other casualty (subject to the provisions of Section 24 below) and reasonable wear and tear excepted.
 - (d) To keep the Premises in good condition and repair at LESSEE's own expense, including all parking lot spaces and/or structures, but with damage by fire and other casualty (subject to the provisions of Section 24 below) and reasonable wear and tear excepted.
 - (e) To perform, fully obey and comply with all ordinances, rules, regulations and laws of all public authorities, boards and officers relating to the use of the Premises.
 - (f) Not to make any occupancy of the Leased Premises contrary to law or contrary to any directions, rules, regulations, regulatory bodies, or officials having jurisdiction or which shall be injurious to any person or property.
 - (g) Not to permit waste or nuisance.

LESSEE shall pay (a) for any expense, damage or repair occasioned by the stopping of waste pipes or overflow from bathtubs, closets, washbasins, basins or sinks caused by LESSEE or LESSEE'S guests, visitors, customers and invitees, and (b) for any damage to window shades, curtain rods, wallpaper, furnishings, or any other damage to the interior of the Leased Premises.

LESSEE shall upon the end of the Term of the Lease or upon the earlier termination, remove any signs placed upon or about such Leased Premises, and LESSEE shall repair any damage to the Leased Premises which shall be occasioned by reason of such removal or placement.

All repairs, except those specific repairs set forth below which are the responsibility of the LESSOR, shall be made by the LESSEE at its own expense. If LESSEE fails to make such repairs within ten (10) days after LESSOR provides LESSEE with written notice, then LESSOR may make such repairs on behalf of LESSEE and LESSEE shall reimburse LESSOR for such amount on demand by LESSOR.

LESSOR shall be responsible for making only the following repairs: structural repairs to exterior walls, structural columns and structural floors which collectively enclose the Premises, the roof over the Premises, window glass, window casings, window frames, and windows; provided, however, that LESSEE will be required to reimburse LESSOR upon demand if such repairs are caused or contributed by the negligence, gross negligence, or intentional or willful misconduct of LESSEE or LESSEE'S employees, guests, visitors, customers, or invitees. Though this list is not exhaustive, for the purpose of clarity, the following items are expressly the responsibility of LESSEE: doors, door frames, or any attachment thereto, and attachments to said building or Premises used in connection therewith unless otherwise expressly excluded herein, and parking lot.

LESSEE shall perform and pay for routine maintenance of the HVAC UNITS serving the Premises at least one time during the period beginning on September 1st and ending on November 30th of each lease year, at least one time during the period beginning on May 1st and ending on July 31st, of each lease year. LESSEE shall provide to LESSOR proof of the performance of such maintenance upon written request. If LESSEE fails to perform the HVAC UNITS maintenance required under this paragraph, LESSEE shall be solely liable for any repairs required to be made to the HVAC UNITS serving the Premises.

LESSOR will provide HVAC warranty for the first year of the Term. From and after the first year of the Term, LESSEE shall be responsible for the first \$500 of each repair cost of HVAC UNITS; provided, however, LESSEE will be required to pay for all repairs and/or replacements of the HVAC UNITS, which are caused or contributed by the negligence, gross negligence, or intentional or willful misconduct of LESSEE or LESSEE'S employees, guests, visitors, customers, or invitees.

LESSEE shall give LESSOR notice of the necessity for such repairs and that such repairs did not arise from nor were they caused by the negligence or willful acts of LESSEE, its agents, concessionaires, officers, employees, licensees, invitees, or contractors.

7. FIXTURES AND TRADE FIXTURES. LESSEE shall make no changes, improvements, alterations, or additions to the Leased Premises unless such changes, improvement, alterations, or additions: (a) are first approved in writing by LESSOR; or (b) will not materially

alter the character of the Leased Premises and will not substantially lessen the value of the Leased Premises. All improvements made by LESSEE to the Premises which are so attached to the Premises that they cannot be removed without material damage to the Premises, shall become the property of LESSOR upon installation. Not later than the last day of the Term, LESSEE shall, at LESSEE's expense, remove all of LESSEE's personal property and those improvements made by LESSEE which are not fixtures; repair all injury done by or in connection with the installation or removal of such property and improvements; and surrender the Premises in as good condition as they were at the beginning of the Term, reasonable wear and tear, and (except as provided in Section 25 below) damage by fire, the elements, casualty, or other cause not due to the misuses or neglect by LESSEE or LESSEE's agents, employees, visitors, or licensees, excepted. All property of LESSEE remaining on the Premises after the last day of the Term of this Lease shall be conclusively deemed abandoned and may be removed by LESSOR, and LESSEE shall reimburse LESSOR for the cost of such removal.

- 8. SECURITY DEPOSIT. LESSOR acknowledges that LESSEE has deposited with LESSOR the sum of \$5,000.00 ("Security Deposit"), as security, for the full and faithful performance by LESSEE of each and every covenant, condition and agreement of this Lease. In the event LESSEE defaults under this Lease, LESSOR may, but shall not be required to, use, apply or retain the whole or any part of the Security Deposit for the payment of such rent or other payment in default or for any other sum which LESSOR may expend or may be required to expend by reason of LESSEE's default. Whenever and as often as the amount of Security Deposit shall be diminished by LESSOR's application thereof, LESSEE shall, upon demand, immediately deposit additional money with LESSOR sufficient to restore the Security Deposit to the original amount set forth in this Section 8. LESSOR shall not be obligated to keep such Security Deposit as a separate fund but may commingle such Security Deposit with LESSOR's own funds. In the event that LESSEE faithfully and fully complies with all of the terms of this Lease, the Security Deposit or any balance thereof shall be returned to LESSEE after the expiration of this Lease. LESSEE shall not be entitled to any interest on the Security Deposit.
 - 9. INTEREST. Any delinquent payment of Rent or any other monetary obligation that is not paid to LESSOR by LESSEE on or prior to the date such payment is due to LESSOR shall bear interest at a rate of 12% per annum, such interest to be computed from and including the date such payment was due through and including the date of the payment; provided, however, in no event shall LESSEE be obligated to pay interest and late fees higher than the maximum legal rate then in effect.

10. **DEFAULT.** Each of the following shall be deemed an Event of Default:

- Default in the payment of Rent or other payments hereunder beyond five (5) days following LESSEE'S receipt of a written notice of default from LESSOR. Notwithstanding the foregoing, LESSOR shall not be required to provide more than two (2) notices of default in the payment of Rent or other payments hereunder. From and after LESSOR'S delivery of a second (2nd) notice of default to LESSEE, it shall be deemed an Event of Default if LESSEE defaults in the payment of Rent or other payments hereunder when the same are due under this Lease.
- Default in the performance or observance of any covenant or condition of this Lease by the LESSEE required to be performed or observed, which is not cured within twenty (20) days following LESSEE'S receipt of a written notice of default from LESSOR.
 - Abandonment of the Premises by LESSEE. (c)

- (d) The filing or execution or occurrence of:
 - (i) Filing a petition in bankruptcy by or against LESSEE.
 - (ii) Filing a petition or answer seeking a reorganization, arrangement, composition, readjustment, liquidation, dissolution or other relief of the same or different kind under any provision of the Bankruptcy Act.
 - (iii) Adjudication of LESSEE as bankrupt; or insolvent; or insolvency in the bankruptcy equity sense.
 - (iv) An assignment for the benefit of creditors whether by trust, mortgage, or otherwise.
 - (v) A petition or other proceeding by or against LESSEE for, or the appointment of, a trustee, receiver, guardian, conservator or liquidator of LESSEE with respect to all or substantially all its property.
 - (vi) A petition or other proceeding by or against LESSEE for its dissolution or liquidation, or the taking of possession of the property of the LESSEE by any governmental authority in connection with dissolution or liquidation.
- option, and in addition to any remedy or right given hereunder or by law, give notice to LESSEE that this Lease shall terminate upon the date specified in the notice unless prohibited by applicable law. The foregoing provisions for the termination of this Lease shall not operate to exclude or suspend any other remedy of the LESSOR for breach, or for the recovery of said Rent for the full term.
- 12. **REPOSSESSION.** Upon termination of this Lease as provided herein, or pursuant to statute, or by summary proceedings or otherwise, the LESSOR may enter forthwith, without further demand or notice to LESSEE, and resume possession of the Leased Premises unless prohibited by applicable law. In no event shall such re-entry or resumption of possession or reletting as hereafter provided be deemed to be acceptance or surrender of this Lease or a waiver of the rights or remedies of LESSOR hereunder.
- 13. **DEFAULT BY LESSOR.** In the event of any default by LESSOR, LESSEE, before exercising any rights that it may have at law to cancel this Lease, must first send notice by registered or certified mail, or hand delivery, to LESSOR, and shall have offered LESSOR fifteen (15) days in which to correct and cure the default or commence a good faith effort to cure such default.
- 14. RELETTING AFTER DEFAULT. Upon default by LESSEE hereunder and retaking of possession by LESSOR without termination of this Lease, LESSOR shall use reasonable efforts to relet the Premises.
- 15. **DAMAGES.** Upon default by LESSEE hereunder, LESSEE shall pay to LESSOR without demand or notice the following:
 - (a) All Rent and other payments accrued to the date of such termination and a proportionate part of the rent otherwise payable for the month in which such termination occurs.

- (b) All future Rent and other payments to be due under the terms of this Lease to the extent LESSOR has not been able to offset same by reletting the Premises.
- (c) The costs of making all repairs, alterations and improvements required to be made by LESSEE hereunder, and of performing all covenants of LESSEE relating to the condition of the Premises during the Term and upon expiration hereunder, and of performing all covenants of LESSEE relating to the condition of the Premises during the Term and upon expiration or sooner termination of this Lease, such costs to be deemed prima facie to be the costs estimated by a reputable architect or contractor selected by LESSOR or the amounts actually expended or incurred thereafter by LESSOR.
- (d) LESSOR'S attorneys' fees and other costs incurred as a result of LESSEE'S default.
- 16. **EXCLUSIVITY OF LESSOR'S REMEDIES.** The receipt of Rent after default, or after judgment or after execution, shall not deprive the LESSOR of other actions against the LESSEE for possession or for Rent or for damages, and all such remedies are non-exclusive and can be exercised concurrently or separately, as LESSOR desires.
- PROPERTY. LESSOR shall not be liable and LESSEE shall defend, indemnify and hold LESSOR harmless for any injury or damage to any person or to any property at any time on said Premises from any cause whatever that may at any time exist from the use or condition of the Premises from any cause, during the Term or any renewal of this Lease. It is understood and agreed that all personal property of any kind, nature or description whatsoever, kept, stored or maintained upon or in the Premises shall be kept, stored or maintained at the sole risk and responsibility of LESSEE exclusively.
- 18. TAXES. Property taxes on the Leased Premises shall be the responsibility of LESSOR. Taxes on the personal property of LESSEE and any sales taxes or other taxes relating to the operation of the Leased Premises shall be the responsibility of LESSEE. All other taxes shall be the responsibility of the party incurring them.
- others, to enter the Premises at reasonable hours, upon at least 24 hours advance notice to LESSEE (except in the event of emergency, in which event, notice shall not be required) to examine or exhibit the Premises, or to make such repairs and alterations as shall be deemed necessary for the safety and preservation of the Premises, to inspect and examine, to post such notices as LESSOR may deem necessary to protect LESSOR against loss from liens of laborers, materialmen or others, and for the purpose of permitting or facilitating LESSOR's performance of its obligations hereunder, or for any other reasonable purpose which does not materially diminish LESSEE's enjoyment or use of the Premises. LESSOR shall use commercially reasonable efforts to minimize any interruption of LESSEE'S use of the Premises during the exercise of its rights under this Section 19. Upon request, LESSEE shall provide to LESSOR a copy of a key sufficient for LESSOR to enter the Premises.
- 20. HOLDOVER. If LESSEE shall holdover after the expiration of the Term hereof, with the written consent of LESSOR, such tenancy shall be from month to month only, and not a renewal hereof; LESSEE agrees to pay rent and all other charges as provided herein, and also to

comply with all covenants of this Lease for the time LESSEE holds over. LESSEE shall be entitled to possession until LESSOR has given LESSEE thirty (30) days' notice that such month-to-month tenancy shall be terminated; otherwise, notice is only required as hereinafter provided as notice of default. If LESSEE shall hold over without the written consent of LESSOR, then LESSEE shall be construed to be a tenant at sufferance at double the Rent herein provided, prorated by the day until possession is returned to LESSOR. LESSEE's holding over beyond the expiration of the notice period of a lawful Notice of Termination constitutes holding over without the consent of the LESSOR, and LESSEE shall be construed to be a tenant at sufferance, at double the Rent herein provided, prorated by the day until possession is returned to LESSOR, without limitation to LESSOR's remedies and rights of recovery under applicable law.

- 21. **NATURE OF RELATIONSHIP BETWEEN PARTIES.** The sole relationship between the parties created by the agreement is that of LESSOR and LESSEE. Nothing contained in this Lease shall be deemed, held, or construed as creating a joint venture or partnership between the parties.
- 22. RIGHT OF LESSOR TO PAY OBLIGATIONS OF LESSEE TO OTHERS. If LESSEE shall fail or refuse to pay any sums due to be paid by it under the provisions of the Lease, or fail or refuse to maintain the Leased Premises or any part thereof as herein provided then, and in such event, LESSOR, after ten (10) days' notice in writing by LESSOR to LESSEE, shall have the right to pay any such sum or sums due to be paid by LESSEE and to do and perform any work necessary to the proper maintenance of the Leased Premises; and the amount of such sum or sums paid by LESSOR for the account of LESSEE and the cost of any such work, together with interest on such amount at the maximum legal rate from the date of payment by LESSOR until the repayment to LESSOR by LESSEE, shall be paid by LESSEE upon demand in writing. The payment by LESSOR of any such sum or sums or the performance by LESSOR of any such work shall be prima facie evidence of the necessity for such work.
- and improvements at all times during the Term free of mechanics and materialmen's liens and other liens of like nature that arise out of or are attributable to an act or omission of LESSEE, and at all times shall fully defend, indemnify, and hold LESSOR harmless against all such liens or claims and against all attorneys' fees and other costs and expenses growing out of incurred by reason or on account of any such liens or claims. Should LESSEE fail to fully discharge any such lien or claim, LESSOR, at its option, may pay the same or any part thereof, and LESSOR shall be the sole judge of the validity of such lien or claim. All amounts so paid by LESSOR, including reasonable attorneys' fees, together with interest the maximum legal rate from the time of payment by LESSOR until repayment by LESSEE, shall be paid by LESSEE upon demand, and if not so paid, shall continue to bear interest at the aforesaid rate, interest payable monthly, as additional rent.
- 24. **CONDEMNATION.** In the event that all or a part of the Premises is taken by eminent domain, if the Leased Premises cannot reasonably be used by LESSEE for their intended purpose, or if LESSOR elects to terminate this Lease, then this Lease will terminate effective as of the date that the condemning authority shall take possession of the same. LESSOR shall be solely entitled to any just compensation awarded; provided, however, LESSOR shall have no interest in any award made to LESSEE for loss of business or for the taking of LESSEE'S trade fixtures, furnishings and other personal property.

25. CASUALTY. LESSEE agrees to notify LESSOR of any damages to the Leased Premises by fire or other hazard and also of any dangerous or hazardous condition within the Leased Premises immediately upon the occurrence of such fire or other hazard or discovery of such condition.

Upon occurrence of a fire or other hazard, LESSOR shall make repairs as soon as reasonably possible, unless LESSOR, at its option, decides to not make the repairs, in which case, LESSOR may terminate this Lease by giving LESSEE written notice of termination.

If the LESSOR does not terminate this Lease pursuant to the paragraph above, then LESSOR has thirty (30) days after the date of occurrence to give written notice to LESSEE setting forth its commitment to make all necessary repairs or replacements, the projected date of commencement of such repairs, and LESSOR's best good faith estimate of the date of completion of the same.

If LESSOR fails to give such notice, or if the date of completion is more than 90 days after the date of the occurrence, then LESSEE may, at its option, terminate this Lease and LESSOR will be obliged to refund to LESSEE any rent allocable to the period subsequent to the date of the fire.

Subject to the following paragraph, LESSEE will have no obligation to pay Rent for the portion of the Leased Premises materially damaged as described in this Section 25 until and unless LESSOR substantially completes any required repairs.

Notwithstanding the foregoing, if the fire or other hazard in question is the result of the action or inaction or default by LESSEE, LESSEE shall not have the right to terminate this Lease, Rent and other charges due from LESSEE hereunder shall not be abated during the period of repair and LESSEE shall be obligated to pay the costs of repair (to the extent in excess of the insurance proceeds received by LESSOR and which are available to pay the costs of repair) and all other damages, loss, costs and expenses suffered or incurred by LESSOR as a result of such fire or other hazard.

- of its rights under this Lease upon nonperformance by the LESSEE of any condition, covenant or provision herein contained shall not be considered a waiver, nor shall any waiver of nonperformance of any such condition, covenant or provision by the LESSOR be construed as a waiver of the rights of LESSOR as to any subsequent defective performance or nonperformance hereunder.
- 27. PAROL EVIDENCE CLAUSE. This instrument constitutes the final, fully integrated expression of the agreement between the LESSOR and the LESSEE, and it cannot be modified or amended in any way except in writing signed by the LESSOR and LESSEE.
- 28. **SUBORDINATION.** This Lease is subordinate to the lien of all present or future mortgages that affect the Leased Premises and to all renewals, modifications, replacements, and extensions of this Lease. This clause shall be self-operative but, in any event, LESSEE agrees to execute and deliver within ten (10) days any estoppel certificate or other assurances that LESSOR may request in furtherance of this provision.

- 29. **ESTOPPEL CERTIFICATE**. Within ten (10) days after request by LESSOR at any time or times, LESSEE shall execute in recordable form and deliver to LESSOR a statement, in writing, certifying (i) that this Lease is in full force and effect, (ii) the Commencement Date of this Lease, (iii) that rent is paid currently without any offset or defense thereto, (iv) the amount of rent, if any, paid in advance, and (v) that there are no uncured defaults by LESSOR or stating with specificity those defaults claimed by LESSEE.
- and during the entire Term hereof keep in full force and effect, at its sole cost and expense, comprehensive public liability, personal property damage insurance and products liability insurance with limits of public liability not less than Two Million Dollars (\$2,000,000.00) per person and Three Million Dollars (\$3,000,000.00) per accident, and with limits of property damage liability not less than One Million Dollars (\$1,000,000.00). Such policy shall name LESSOR and any other parties in interest designated by LESSOR, including, without limitation, LESSOR and its lender(s), as loss payee and additional insured, as their respective interests may appear, shall be maintained on an occurrence basis and shall contain a provision that the insurer will not cancel, change or fail to renew the insurance without giving LESSOR thirty (30) days' prior written notice. All policies maintained by LESSEE shall be maintained with insurance companies approved by LESSOR, which shall not be unreasonably withheld. LESSEE shall furnish to LESSOR such evidence as LESSOR may require that the insurance referred to in this Section 30 is in full force and effect and that the premiums therefor have been paid.
 - be or is required to be given shall be served personally or sent by Registered Mail by the United States mail, postage prepaid, and addressed to such party, or transmitted by overnight courier or sent via email. Any written notice served personally shall be deemed served on the date of its receipt. Any written notice sent by mail shall be deemed served two (2) business days following the date it is placed in the possession of the United States Postal Service or the next business day with an overnight courier. Any written notice transmitted via email shall be deemed served on the date it is sent so long as it is addressed to the email addresses listed below. Each party may designate by notice in writing, at least five (5) business days before its effective date, a new address or addressee to which any notice may thereafter be given, served, or sent. Such communications must be sent to the respective parties at the following addresses (or at such other address for a party as shall be specified in a notice given in accordance with this Section 31).

LESSOR:

Raut Properties, LLC 1821 Oak Forest Drive E Troy, Michigan 48085 Attn: Tapan Raut

LESSEE:

Operation Grow, LLC dba butter 13631 W. 11 Mile Rd. Oak Park, MI 48237 Attn: Christopher Klamkin and Daniel Amori

- part of the Leased Premises, the same shall operate to release LESSOR from any future liability upon any of the covenants or conditions, express or implied, herein contained in favor of LESSEE, and in such event LESSEE agrees to look solely to the responsibility of the successor in interest of LESSOR in and to the this Lease. This Lease shall not be affected by any such sale, and LESSEE agrees to attorn to the purchaser or assignee. LESSEE agrees to permit LESSOR or its agents, at any time, to place upon or in the window of the leased premises any usual or ordinary For Rent or For Sale signs and to allow prospective Lessees, applicants or agents of LESSOR to enter and examine the Leased Premises and to permit LESSOR or LESSOR's agents, at any time during the term hereof, to conduct prospective purchasers through the Leased Premises during reasonable business hours. LESSOR will use reasonable efforts to provide LESSEE with advance notice of such entry, unless it is impossible, impractical, or unreasonable to do so; however, LESSOR's failure to provide advance notice of entry will not constitute a default or breach of this Lease.
 - 33. COURT ACTION, ATTORNEY'S FEES AND COSTS. If, upon failure of the LESSEE to comply with any of the covenants, conditions, rules or regulations of and in this Lease, suit should be brought for damages on account, or to enforce the payment of Rent herein stipulated, or to recover possession of the Premises or to enforce any provision hereof, LESSEE agrees to pay to the prevailing party attorneys' fees, costs and expenses incurred in prosecuting these suits.
 - ASSIGNMENT AND SUBLEASING. LESSEE shall not assign, mortgage, or encumber this Lease or any interest in this Lease, nor sublet or permit the Premises or any part thereof to be used by others, without the prior written consent of LESSOR. If LESSEE is not a person, then any sale or transfer of any equity in LESSEE (stock, LLC membership interest, etc.) in excess of 25% of the issued or outstanding equity as of the date hereof shall be deemed an assignment subject to the terms hereof. If this Lease is assigned, or if the Premises or any part thereof is sublet or occupied by any party or entity other than LESSEE, all rights to extend or renew this Lease, if any, shall, at the option of LESSOR, be deemed null and void, and LESSOR may, after default by LESSEE, collect rent from the assignee, sublessee, or occupant and apply the net amount collected to the rent herein reserved. No such assignment, subletting, occupancy, or collection shall be deemed a waiver of this covenant, or the acceptance of the assignee, sublessee, or occupant as Lessee, or a release of LESSEE from the further performance by LESSEE of the covenants in this Lease, including the full payment of all rent and charges under this Lease. The consent by LESSOR to an assignment or subletting shall not be construed to relieve LESSEE from obtaining the consent in writing of LESSOR to any further assignment or subletting. In the event LESSEE shall assign or sublet this Lease, all sums or other economic consideration received by LESSEE as a result of such subletting or assignment, whether denominated as rentals or otherwise, which exceed, in the aggregate, the total sums which LESSEE is obligated to pay LESSOR under this Lease (prorated to reflect obligations allocable to that portion of the Premises subject to such sublease or assignment, if less than the whole Premises), shall be paid to LESSOR. LESSEE shall reimburse LESSOR for any costs and expenses that LESSOR incurs, including (without limitation) attorneys' fees, in connection with any request for an assignment or sublease of the Premises.

- 35. **INTERPRETATION.** Whenever any word is used in this Lease in the masculine gender, it shall also be construed as being used in the feminine and neuter genders, and singular usage shall include the plural and vice versa, all as the context shall require.
- 36. **MODIFICATION.** Any modification or amendment of this Lease shall be in writing and shall be executed by all parties.
- NOTWITHSTANDING LIMITATION OF LESSOR'S LIABILITY. 37. ANYTHING CONTAINED HEREIN TO THE CONTRARY, LESSOR'S LIABLITY UNDER OR RELATED TO THIS LEASE SHALL BE LIMITED TO LESSOR'S INTEREST IN THE PREMISES. IN NO EVENT WILL LESSOR HAVE ANY LIABILITY IN EXCESS OF ITS INTEREST IN THE PREMISES. LESSEE IRREVOCABLY AGREES TO LOOK SOLELY TO LESSOR'S INTEREST IN THE PREMISES FOR RECOVERY OF ANY AMOUNTS DUE FROM LESSOR UNDER OR AS A RESULT OF LESSOR'S OBLIGATIONS UNDER THIS LEASE. IN ADDITION, UNDER ANY AND ALL CIRCUMSTANCES, LESSOR'S AGGREGATE LIABILITY AND OBLIGATION TO PAY UNDER, WITH RESPECT TO OR ARISING IN ANY WAY FROM THIS LEASE OR THE TRANSACTION CONTEMPLATED HEREIN (WHETHER IN CONTRACT, TORT OR OTHERWISE) SHALL BE LIMITED TO \$7,000 AND LESSEE HEREBY WAIVES ANY CLAIM OR RIGHT TO SPECIAL, PUNITIVE OR CONSEQUENTIAL DAMAGES.
 - 38. **SEVERABILITY CLAUSE.** If any term, covenant, condition, or provision of this Lease is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remainder of the provisions shall remain in full force and effect and shall in no way be affected, impaired, or invalidated.
 - 39. LAW TO APPLY. This Lease shall be construed under and in accordance with the laws of the State of Michigan without regard to conflict of law principles. Those laws shall govern every aspect of the enforcement of this Lease.
 - uses and for no other purposes without the prior written consent of LESSOR. LESSEE represents and warrants that it has or shall obtain any necessary permits required for such use prior to the Commencement Date. LESSEE's failure or inability to obtain such permits shall not diminish or obviate any of LESSEE's obligations under this Lease. LESSEE shall not use the Premises for any purpose in violation of any law, municipal ordinance, or regulation, nor shall LESSEE perform any acts or carry on any practices which may injure the Premises or be a nuisance.
 - 41. SIGNS. LESSEE shall not erect or install any exterior or interior roof, wall, window or door signs, advertising media, lettering or placards, without the prior written consent of LESSOR. The installation, maintenance and removal of all signage shall be at LESSEE'S sole cost and expense. LESSEE, at its cost, shall be responsible for obtaining all municipal approvals for such signage. LESSEE shall not install any exterior lighting or plumbing fixtures, shades or awnings, any exterior decorations or painting, or build any fences or make any changes to the fascia of the premises, including windows and window treatments, without the prior written consent of LESSOR. Any signs (including but not limited to lettering size and style) must conform

to LESSOR'S building standards, and as per the code of City of Oak Park, which may be changed from time to time.

- 42. **PERSONAL GUARANTY**. Christopher Klamkin and Daniel Amori shall, jointly and several, guaranty LESSEE's obligations under this Lease pursuant to the Personal Guaranty attached to this Lease as <u>Exhibit C</u> and incorporated herein.
- 43. **REAL ESTATE BROKERS.** LESSOR and LESSEE covenant, warrant and represent to each other that neither party has engaged a broker in connection with this Lease and that no conversation or prior negotiations were had with any broker concerning the renting of the Premises to LESSEE. LESSOR and LESSEE shall protect, indemnify, save and hold harmless the other against and from all liabilities, claims, losses, costs, damages and expenses, including reasonable attorneys' fees and costs, arising out of, resulting from or in connection with a breach of the foregoing covenant, warranty and representation.

Signatures on the Following Page

The undersigned LESSOR and LESSEE execute this Lease to be effective as of the Effective Date.

LESSEE:

OPERATION GROW, LLC

a Michigan limited liability company

d/b/a butter

By:

Christopher Klamkin

Its:

Authorized Member

By:

Daniel Amori

Its:

Authorized Member

LESSOR:

RAUT PROPERTIES, LLC,

a Michigan limited liability company

By:

Tapan Rauf

Its:

Authorized Member

Exhibit A

Legal Description of Premises

Land situated in the City of Oak Park, Oakland County, Michigan, described as:

Lots 51, 52 and 53 Northhaven Subdivision, according to the plat thereof as recorded in liber 35, page(s) 26 of plats, Oakland County Records.

Parcel ID: 25-19-227-042

Commonly Known As: 13631 W. 11 Mile Rd., Oak Park, Michigan 48237

Exhibit B

(LESSEE's Work Guidelines)

- (a) Any work or improvements that LESSEE shall seek to construct at the Premises ("LESSEE's Work") shall be completed in accordance with the plans and specifications for improvements ("Plans and Specifications") that shall be submitted to LESSOR for its prior approval and be made a part hereof. LESSEE's Work shall not deviate from such specifications without LESSOR's prior written consent thereto.
- (b) LESSEE agrees to complete all of its work at its own cost and expense. LESSEE shall not permit the imposition of any lien or other security interest against the Building or the Real Property.
- (c) LESSEE hereby indemnifies and holds LESSOR and the principals, agents and employees of LESSOR, harmless from and against any and all damages, claims, costs and/or expenses (including reasonable attorneys' fees) which LESSOR or its principals, agents and/or employees may suffer or incur as a consequence of the construction and/or installation of any improvements by LESSEE or LESSEE's employees, agents or independent contractors.
- (d) All of LESSEE's Work shall conform to applicable statutes, ordinances, regulations and codes of all governmental units having jurisdiction over the Premises and any improvements installed therein.
- (e) LESSEE and LESSEE's contractors shall carry such type of insurance and in such amounts as shall be reasonably designated by LESSOR and all such policies shall name LESSOR as an additional insured party.
- (f) Neither LESSEE nor LESSEE's agents or independent contractors shall be entitled to cut and/or patch openings in the roof for ducts, vents, etc., and the right to so cut and/or patch openings in roof shall exclusively belong to LESSOR. However, the actual, reasonable cost of such work will be at the expense of LESSEE requiring said work.
- (g) No approval by LESSOR required hereunder shall be deemed valid unless the same shall be in writing and signed by LESSOR or LESSOR's designated agent. LESSOR shall provide LESSEE with written notice of the designation of each and every agent of LESSOR for purposes of this Exhibit B.
- (h) LESSEE agrees to conform its exterior sign to LESSOR's reasonable sign criteria and to provide a drawing of such sign to scale with all specifications written thereon for LESSOR's prior approval. LESSEE agrees to obtain, at its sole cost and expense, necessary permits and to conform to applicable codes.

Exhibit B

(LESSEE's Work Guidelines)

- (a) Any work or improvements that LESSEE shall seek to construct at the Premises ("LESSEE's Work") shall be completed in accordance with the plans and specifications for improvements ("Plans and Specifications") that shall be submitted to LESSOR for its prior approval and be made a part hereof. LESSEE's Work shall not deviate from such specifications without LESSOR's prior written consent thereto.
- (b) LESSEE agrees to complete all of its work at its own cost and expense. LESSEE shall not permit the imposition of any lien or other security interest against the Building or the Real Property.
- (c) LESSEE hereby indemnifies and holds LESSOR and the principals, agents and employees of LESSOR, harmless from and against any and all damages, claims, costs and/or expenses (including reasonable attorneys' fees) which LESSOR or its principals, agents and/or employees may suffer or incur as a consequence of the construction and/or installation of any improvements by LESSEE or LESSEE's employees, agents or independent contractors.
- (d) All of LESSEE's Work shall conform to applicable statutes, ordinances, regulations and codes of all governmental units having jurisdiction over the Premises and any improvements installed therein.
- (e) LESSEE and LESSEE's contractors shall carry such type of insurance and in such amounts as shall be reasonably designated by LESSOR and all such policies shall name LESSOR as an additional insured party.
- (f) Neither LESSEE nor LESSEE's agents or independent contractors shall be entitled to cut and/or patch openings in the roof for ducts, vents, etc., and the right to so cut and/or patch openings in roof shall exclusively belong to LESSOR. However, the actual, reasonable cost of such work will be at the expense of LESSEE requiring said work.
- (g) No approval by LESSOR required hereunder shall be deemed valid unless the same shall be in writing and signed by LESSOR or LESSOR's designated agent. LESSOR shall provide LESSEE with written notice of the designation of each and every agent of LESSOR for purposes of this <u>Exhibit B</u>.
- (h) LESSEE agrees to conform its exterior sign to LESSOR's reasonable sign criteria and to provide a drawing of such sign to scale with all specifications written thereon for LESSOR's prior approval. LESSEE agrees to obtain, at its sole cost and expense, necessary permits and to conform to applicable codes.

Exhibit C

PERSONAL GUARANTY

The undersigned, Christopher Klamkin, whose address is 22596 King Richard Ct., Beverly Hills, MI 48025, and Daniel Amori, whose address is 3249 Wakefield, Berkley, MI 48072, in consideration of the leasing of the Premises described in that certain Lease (hereinafter referred to as the "Lease"), dated as of April 1, 2022, between RAUT REAL ESTATE LLC, a Michigan limited liability company, whose address is 1821 Oak Forest Drive E, Troy, Michigan 48085, as lessor (hereinafter referred to as "Lessor") and OPERATION GROW, LLC d/b/a butter, a Michigan limited liability company, as lessee (hereinafter referred to as "Lessee"), does hereby covenant and agree as follows:

The undersigned does hereby guarantee the full, faithful and timely payment and performance by Lessee of all of the payments, covenants and other obligations of Lessee under or pursuant to the Lease. If Lessee shall default at any time in the payment of any rent or any other sums, costs or charges whatsoever, or in the performance of any of the other covenants and obligations of Lessee, under or pursuant to the Lease, then the undersigned, at its expense, shall on demand of Lessor fully and promptly, and well and truly, pay all rent, sums, costs and charges to be paid by Lessee, and perform all the other covenants and obligations to be performed by Lessee, under or pursuant to the Lease, and in addition shall on Lessor's demand pay to Lessor any and all sums due to Lessor, including (without limitation) all interest on past due obligations of Lessee, costs advanced by Lessor, and damages and all expenses (including attorneys' fees and litigation costs), that may arise in consequence of Lessee's default. The undersigned hereby waives all requirements of notice of the acceptance of this Guaranty and all requirements of notice of breach or nonperformance by Lessee

The obligations of the undersigned hereunder are independent of the obligations of Lessee. A separate action or actions may, at Lessor's option, be brought and prosecuted against the undersigned, whether or not any action is first or subsequently brought against Lessee, or whether or not Lessee is joined in any such action, and the undersigned may be joined in any action or proceeding commenced by Lessor against Lessee arising out of, in connection with or based upon the Lease. The undersigned waives any right to require Lessor to proceed against Lessee or pursue any other remedy in Lessor's power whatsoever, any right to complain of delay in the enforcement of Lessor's rights under the Lease, and any demand by Lessor and/or prior action by Lessor of any nature whatsoever against Lessee, or otherwise.

This Guaranty shall remain and continue in full force and effect and shall not be discharged in whole or in part notwithstanding (whether prior or subsequent to the execution hereof) any alteration, renewal, extension, modification, amendment or assignment of, or subletting, concession, franchising, licensing or permitting under the Lease. The undersigned hereby waives notices of any of the foregoing, and agrees that the liability of the undersigned hereunder shall be based upon the obligations of Lessee set forth in the Lease as the same may be altered, renewed, extended, modified, amended or assigned. For the purpose of this Guaranty and the obligations and liabilities of the undersigned hereunder, "Lessee" shall be deemed to include any and all concessionaires, licensees, franchisees, department operators, assignees, sublessees, permittees or others directly or indirectly operating or conducting a business in or from the Premises, as fully as if any of the same were the named Lessee under the Lease.

The undersigned's obligations hereunder shall remain fully binding although Lessor may have waived one or more defaults by Lessee, extended the time of performance by Lessee, released, returned or misapplied other collateral at any time given as security for Lessee's obligations (including other guaranties) and/or released Lessee from the performance of its obligations under the Lease.

This Guaranty shall remain in full force and effect notwithstanding the institution by or against Lessee, of bankruptcy, reorganization, readjustment, receivership or insolvency proceedings of any nature, or the disaffirmance of the Lease in any such proceedings or otherwise

If this Guaranty or any other Guaranty of this Lease is signed by more than one party, their obligations shall be joint and several, and the release of one of such guarantors shall not release any other of such guarantors.

Neuter terms should also refer, where applicable, to the feminine gender and the masculine gender; the singular reference shall also include the plural of any word if the context so requires.

This Guaranty shall be applicable to and binding upon the heirs, executors, administrators, representatives, successors and assigns of Lessor, Lessee and the undersigned. Lessor may, without notice, assign this Guaranty in whole or in part.

In the event that Lessor should institute any suit against the undersigned for violation of or to enforce any of the covenants or conditions of this Guaranty or to enforce any right of Lessor hereunder, or should the undersigned institute any suit against Lessor arising out of or in connection with this Guaranty, or should either party institute a suit against the other for a declaration of rights hereunder, or should either party intervene in any suit in which the other is a party to enforce or protect its interest or rights hereunder, the prevailing party in any such suit shall be entitled to the fees of its attorney(s) in the reasonable amount thereof, to be determined by the court and taxed as a part of the costs therein.

The execution of this Guaranty prior to execution of the Lease shall not invalidate this Guaranty or lessen the obligations of Guarantor(s) hereunder.

Upon Lessor's written request, the undersigned shall promptly furnish Lessor (in any event, within twenty (20) days of request), from time to time, with financial statements (including, without limitation, operating statements including an annual profit and loss statement for the individual store unit covered by the Lease) reflecting the undersigned's current financial condition, and written evidence of ownership of managing and controlling interests in the undersigned and in any entities which directly or indirectly control or manage the undersigned.

The undersigned shall, without charge and within twenty (20) days after any request of Lessor, certify in writing to any person specified in such request, as to the existence, amendment, validity of this Guaranty, the existence of any default or counterclaim hereunder or under the Lease and any other matter reasonably requested. Any such certificate may be relied upon by any party requesting it and by any person to whom the same may be exhibited.

This Guaranty is made pursuant to and shall be interpreted and applied in accordance the laws of the State of Michigan.

The undersigned has executed this Guaranty this 1st day of April, 2022.

By:

Christopher Klamkin

Address: 22596 King Richard Ct.

Beverly Hills, Michigan 48025

By:

Daniel Amori

Address: 3249 Wakefield

Berkley, Michigan 48072

FIVE - EIGHTHS



2321 WOLCOTT - FERNDALE - MICHIGAN - 48220 WWW.FIVE-EIGHTHS.COM

TRAFFIC CONTROL PLAN 2222 WEST ELEVEN MILE ROAD BERKLEY, MI 48072

Prior to the start of construction, the general contractor (GC) performing the work will prepare a traffic control plan and sequence of construction to the City of Berkley for review/approval. The GC's contact info is below:

Rick Parker, Project Manager Three Rivers Corporation P.O. Box 1467 Midland, MI 48461 989-631-9726 rparker@trccompany.com

Three Rivers will be hiring Give 'Em a Brake Safety (GEBS) to provide all the signs and cones for lane closures and redirects. The work for the new curb cuts, storm sewer tie in, and fire hydrant relocation will all be done simultaneously to minimize disruption, and will be completed within a three week window. The crews will pull the cones back to free up the lane more on nights/weekends.

Refer to the attached documents from MDOT for temporary traffic control procedures for a one-lane closure on an undivided multi-lane roadway. These procedures will be followed by GEBS.

Contact info for GEBS:

Jesse Kerr Branch Manager 17625 23 Mile Rd Macomb, MI 48042 586-842-1800 jkerr@gebsafety.com

MINIMUM MERGING TAPER LENGTH "L" (FEET)

OFFSET		POS	STED SP	EED LII	MIT, MF	H (PRI	OR TO V	ORK AR	EA)		
FEET	25	30	35	40	45	50	55	60	65	70	
1	10	15	20	27	45	50	55	60	65	70	
2	21	30	41	53	90	100	110	120	130	140	
3	31	45	61	80	135	150	165	180	195	210	ΕI
4	42	60	82	107	180	200	220	240	260	280	FEE
5	52	75	102	133	225	250	275	300	325	350	Z
6	63	90	123	160	270	300	330	360	390	420	
7	73	105	143	187	315	350	385	420	455	490	٦,,
8	83	120	163	213	360	400	440	480	520	560	_=
9	94	135	184	240	405	450	495	540	585	630	LENGTH
10	104	150	204	267	450	500	550	600	650	700	LEI
11	115	165	225	293	495	550	605	660	715	770	<u>~</u>
12	125	180	245	320	540	600	660	720	780	840	TAPER
13	135	195	266	347	585	650	715	780	845	910	
14	146	210	286	374	630	700	770	840	910	980	
15	157	225	307	400	675	750	825	900	975	1050	

THE FORMULAS FOR THE <u>MINIMUM LENGTH</u> OF A MERGING TAPER IN DERIVING THE "L" VALUES SHOWN IN THE ABOVE TABLES ARE AS FOLLOWS:

"L" = $\frac{W \times S^2}{60}$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 40 MPH OR LESS

"L" = S x W WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 45 MPH OR GREATER

L = MINIMUM LENGTH OF MERGING TAPER

S = POSTED SPEED LIMIT IN MPH

PRIOR TO WORK AREA

W = WIDTH OF OFFSET

TYPES OF TAPERS

UPSTREAM TAPERS

MERGING TAPER

SHIFTING TAPER

SHOULDER TAPER

TWO-WAY TRAFFIC TAPER

DOWNSTREAM TAPERS
(USE IS OPTIONAL)

TAPER LENGTH

L - MINIMUM

1/2 L - MINIMUM

1/3 L - MINIMUM

100 ' - MAXIMUM

100 ' - MINIMUM

100 ' - MINIMUM

(PER LANE)

Michigan Department of Transportation

TRAFFIC AND SAFETY

MAINTAINING TRAFFIC TYPICAL

TABLES FOR "L", "D" AND "B" VALUES

DRAWN BY: CON:AE:djf JUNE 2006 M0020d SHEET CHECKED BY: BMM PLAN DATE: M0020d 1 OF 2 FILE: K:/DGN/TSR/STDS/ENGLISH/MNTTRF/M0020d.dgn REV. 08/21/2006

DISTANCE BETWEEN TRAFFIC CONTROL DEVICES "D" AND LENGTH OF LONGITUDINAL BUFFER SPACE ON "WHERE WORKERS PRESENT" SEQUENCES

"D "		Р	OSTED :	SPEED L	IMIT,	MPH (PF	RIOR TO	WORK	AREA)	
DISTANCES	25	30	35	40	45	50	55	60	65	70
D (FEET)	250	300	350	400	450	500	550	600	650	700

GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE "B"

SPEED* MPH	LENGTH FEET
20	33
25	50
30	83
35	132
40	181
45	230
50	279
55	329
60	411
65	476
70	542

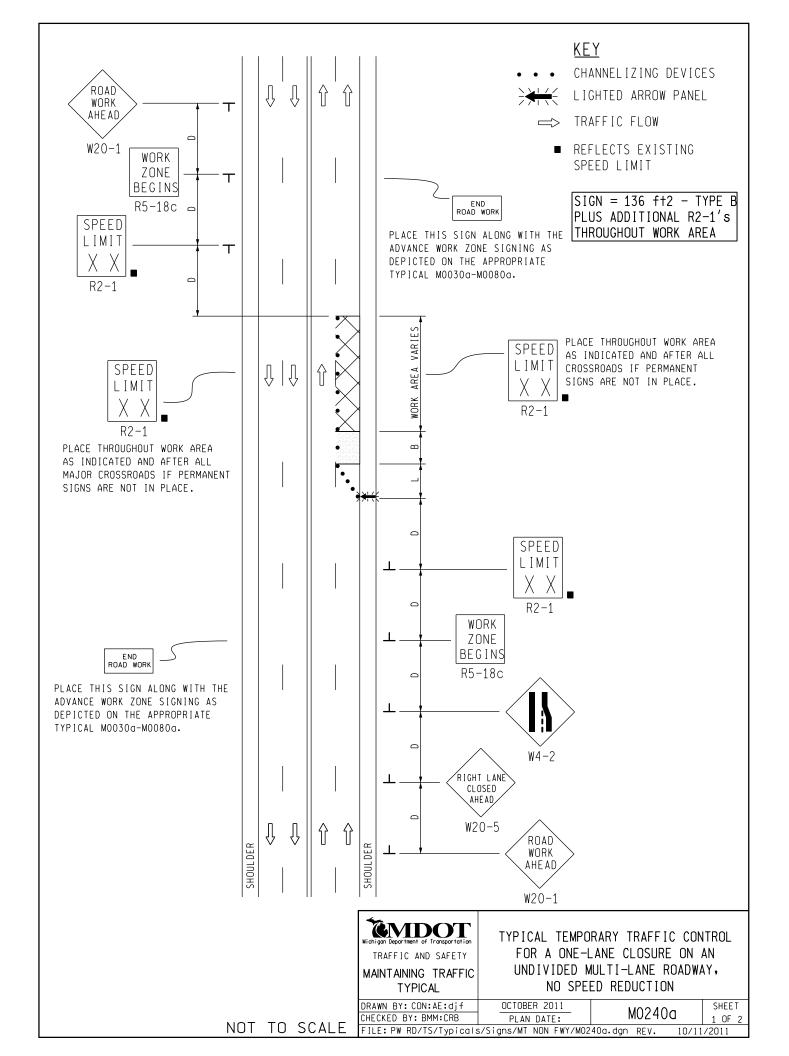
- * POSTED SPEED, OFF PEAK 85TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED
- 1 BASED UPON AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO)
 BRAKING DISTANCE PORTION OF STOPPING SIGHT DISTANCE FOR WET AND LEVEL PAVEMENTS (A POLICY
 ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS), AASHTO. THIS AASHTO DOCUMENT ALSO RECOMMENDS
 ADJUSTMENTS FOR THE EFFECT OF GRADE ON STOPPING AND VARIATION FOR TRUCKS.

Michigan Department of Transportation TRAFFIC AND SAFETY MAINTAINING TRAFFIC TYPICAL	TABLES FOR "L	", "D" AND "B" V	ALUES
DRAWN BY: CON:AE:djf	JUNE 2006	MOODOG	SHEET
CHECKED BY: BMM	DI ANI DATE •	M0020a	2 0 5 2

REV.

08/21/2006

FILE: K:/DGN/TSR/STDS/ENGLISH/MNTTRF/M0020a.dgn



NOTES

- 1B. D = DISTANCE BETWEEN TRAFFIC CONTROL DEVICES
 - L = MINIMUM LENGTH OF TAPER
 - B = LENGTH OF LONGITUDINAL BUFFER
 - SEE MO020a FOR "D," "L," AND "B" VALUES
- 2. ALL NON-APPLICABLE SIGNING WITHIN THE CIA SHALL BE MODIFIED TO FIT CONDITIONS, COVERED OR REMOVED.
- 3. DISTANCES BETWEEN SIGNS, THE VALUES FOR WHICH ARE SHOWN IN TABLE D, ARE APPROXIMATE AND MAY NEED ADJUSTING AS DIRECTED BY THE ENGINEER.
- 3A. THE "WORK ZONE BEGINS" (R5-18c) SIGN SHALL BE USED ONLY IN THE INITIAL SIGNING SEQUENCE IN THE WORK ZONE. SUBSEQUENT SEQUENCES IN THE SAME WORK ZONE SHALL OMIT THIS SIGN AND THE QUANTITIES SHALL BE ADJUSTED APPROPRIATELY.
- 4E. THE MAXIMUM RECOMMENDED DISTANCE(S) BETWEEN CHANNELIZING DEVICES SHOULD BE EQUAL IN FEET TO THE POSTED SPEED IN MILES PER HOUR ON TAPER(S) AND TWICE THE POSTED SPEED IN THE PARALLEL AREA(S).
- 5. FOR OVERNIGHT CLOSURES, TYPE III BARRICADES SHALL BE LIGHTED.
- 6. WHEN CALLED FOR IN THE FHWA ACCEPTANCE LETTER FOR THE SIGN SYSTEM SELECTED, THE TYPE A WARNING FLASHER, SHOWN ON THE WARNING SIGNS, SHALL BE POSITIONED ON THE SIDE OF THE SIGN NEAREST THE ROADWAY.
- 7. ALL TEMPORARY SIGNS, TYPE III BARRICADES, THEIR SUPPORT SYSTEMS AND LIGHTING REQUIREMENTS SHALL MEET NCHRP 350 CRASHWORTHLY REQUIREMENTS STIPULATED IN THE CURRENT EDITION OF THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS. ONLY DESIGNS AND MATERIALS APPROVED BY MOOT WILL BE ALLOWED.
- 8. WHEN BUFFER AREAS ARE ESTABLISHED, THERE SHALL BE NO EQUIPMENT OR MATERIALS STORED OR WORK CONDUCTED IN THE BUFFER AREA.
- 21. ALL EXISTING PAVEMENT MARKINGS WHICH ARE IN CONFLICT WITH EITHER PROPOSED CHANGES IN TRAFFIC PATTERNS OR PROPOSED TEMPORARY TRAFFIC MARKINGS, SHALL BE REMOVED BEFORE ANY CHANGE IS MADE IN THE TRAFFIC PATTERN. EXCEPTION WILL BE MADE FOR DAYTIME-ONLY TRAFFIC PATTERNS THAT ARE ADEQUATELY DELINEATED BY OTHER TRAFFIC CONTROL DEVICES.
- 26. THE LIGHTED ARROW PANEL SHALL BE LOCATED AT THE BEGINNING OF THE TAPER AS SHOWN. WHEN PHYSICAL LIMITATIONS RESTRICT ITS PLACEMENT AS INDICATED, THEN IT SHALL BE PLACED AS CLOSE TO THE BEGINNING OF THE TAPER AS POSSIBLE.

SIGN SIZES

DIAMOND WARNING - 48" x 48" R2-1 REGULATORY - 48" x 60" R5-18c REGULATORY - 48" x 48"

Michigan Department of Transportation
TRAFFIC AND SAFETY
MAINTAINING TRAFFIC
TYPICAL

TYPICAL TEMPORARY TRAFFIC CONTROL FOR A ONE-LANE CLOSURE ON AN UNDIVIDED MULTI-LANE ROADWAY, NO SPEED REDUCTION

DRAWN BY: CON: AE:djf CHECKED BY: BMM: CRB PLAN DATE: MO240d SHEET 2 OF 2

FILE: PW RD/TS/Typicals/Signs/MT NON FWY/M0240a.dgn REV. 10/11/2011

NOT TO SCALE



MEMORANDUM

To: Planning Commission

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: <u>PSP-02-22: 2222 Eleven Mile – Butter Provisioning Center</u>

Site Plan Approval

Plan Date: May 27, 2022

Date: June 21, 2022

Attached are the following reviews for the site plan submitted:

Planning Review from Carlisle Wortman Associates (CWA) dated June 7, 2022

CWA noted in their review that the applicant is applying for shared parking/parking waivers, per Sec. 138-218. That section states when computing parking for any joint use, the off-street parking is the sum of the individual requirements that will occur at the same time. The applicant notes that due to the current use of the building for warehousing, only 14 spaces are required. They are providing 19 on site in addition to other shared parking agreements. CWA recommended that if the waiver is approved, any change of use at 2200 Eleven Mile be limited by the available parking.

CWA recommended preliminary site plan approval with the following conditions:

- 1. Shared parking agreement to be reviewed by the City Attorney.
- Condition that any change of use of 2200 W. Eleventh Street would be limited by available
 parking, which would either be reviewed by the Planning Commission as part of a site plan or by
 staff.
- 3. Applicant to provide details on use and operations for 1716 Coolidge Highway and 13631 11 Mile to confirm excess parking.

Review from City of Berkley Department of Public Works (DPW) dated June 7, 2022

DPW noted the following comments:

1. The City's engineering consultant, Hubbell, Roth & Clark (HRC) will review the geotechnical report, storm water detention calculations and grading.

- 2. Proposed hydrant relocation to be coordinated with Public Works and Public Safety to confirm requirements and location. The hydrant must have a minimum clear space of 6' from any adjacent obstacle or approach.
- 3. An existing public sewer is shown on the north side of the property. Either the existing easement shall be shown via title documentation or the applicant will need to grant a half width (10') public easement for this City utility. The existing private sewer lateral is to remain the responsibility of the property owner and new physical obstructions, like a screening wall, shall not be placed within the easement to allow for future City maintenance and repair.
- 4. The City Attorney is responsible for approving agreements the placement of new items in the public right-of-way and execution of the Stormwater Maintenance Agreement.
- 5. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).
- 6. A Construction Schedule will be required prior to the start of construction. This schedule shall include approximate dates for and Road or Sidewalk Closures, Utility Installations, Restoration Timelines, etc.

Engineering Review from Hubbell, Roth & Clark (HRC) dated June 9, 2022

Per their letter dated June 9, 2022, HRC recommended approval of the proposed Site Plan subject to the applicant obtaining and submitting copies of any required permits.

Traffic Impact Assessment Review from Hubbell, Roth & Clark (HRC) dated June 8, 2022

Per their letter dated June 8, 2022, HRC agreed with the applicant that, based the development's land use and size, a traffic impact study (TIS) is not required and a traffic impact assessment (TIA) was needed. Based on the TIA and other information submitted, HRC had no objections to approval from a traffic standpoint.

HRC recommended that the site plan be revised to show the DO NOT ENTER sign size should as 30" x 30" on Sheet C/1.03.

Review from City of Berkley Fire Inspector

Fire Inspector Pete Kelly stamped the plan set dated as revised on May 27, 2022 as approved on May 30, 2022.

Summary and Recommendation

The Planning Commission needs to make the following determinations:

- 1. Parking Waiver Reduction of Shared Parking for 2200 Eleven Mile to 14 spaces: Per Sec. 138-218, when computing the required parking spaces for the total of joint off-street parking, "the total spaces required may be reduced by the zoning officer whenever the facilities served do not operate during the same hours of the day or night and it can be clearly established that a simultaneous need for joint use parking will not occur." We are asking that Planning Commission to decide this waiver request under the power given to them under Sec. 138-226, based on the anticipated levels of employees at 2200 Eleven Mile.
- 2. <u>Standards for Site Plan Approval Landscaping</u>: CWA stated in their review that the applicant was providing landscaping with a native landscaping/grasses/wildflower theme with building planting, ROW planting, parking lot planting, and a green roof. The Planning Commission must determine whether the landscaping, as presented, meets the standards for Site Plan approval, per Section 138-678.

If the Planning Commission chooses to grant site plan approval, we recommend that the following items be conditions of approval:

- 1. The following items are must receive approval from the City Attorney:
 - a. Shared parking agreements:
 - b. Agreements on the placement of new items in the public right-of-way; and
 - c. Stormwater Maintenance Agreement.
- Any change of use of 2200 W. Eleventh Street would be limited by available parking, which would either be reviewed by the Planning Commission as part of a site plan or by staff for a process that does not require Planning Commission review. A flag should be placed on the file in the City's BS&A database to this extent.
- Applicant provide details to the Community Development Department on use and operations for 1716 Coolidge Highway and 13631 11 Mile for staff to confirm that these sites have excess parking.
- 4. The DO NOT ENTER sign size is 30" x 30".
- 5. A pre-construction meeting is required. Before scheduling of that meeting, all items listed the City's DPW review letter, dated June 7, 2022, must be received by the City.
- 6. Approval from the City's Engineer that any required permits to the City of Berkley, as noted in their review letter dated June 9, 2022, have been submitted and/or met.



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 10, 2022

May 3, 2022

June 7, 2022

Site Plan Review For City of Berkley, Michigan

Applicant: Grant Jefferies, Five-Eighths

Project Name: Butter Provisioning Center

Plan Date: May 27, 2022

Location: 2222 W. Eleven Mile Road

Zoning: Industrial District

Action Requested: Site Plan Approval

SITE DESCRIPTION

The applicant is proposing to repurpose the existing building at 2222 W. Eleven Mile Road. The approximate 4,200 square foot, one-story building, will be split into two (2) tenant spaces. A 3,300 square foot space will be repurposed for a marihuana provisioning center. The remaining 900 square foot space will be repurposed for a future light industrial/warehousing use.

The building is not proposed to expand. However, the applicant proposes the following site improvements:

- Landscape improvements
- Mural (public art)
- Green infrastructure
 - Permable paving
 - Stormwater planters/parking blocks
 - Turf paving pedestrian alley
 - Rain barrells
- Streetscape improvements
 - o Bike rakes
 - o Bike repair stand
 - o Bench
 - o Landscaping
 - o Recycle/trash receptacles
 - o Rain capture

The site is zoned Industrial District. A marihuana use is a permitted use but must meet the zoning requirements set forth in Section 138-528 Marihuana Business Regulations.

Site Location:



Proposed Use of Subject Parcel:

4,200 sq/ft mixed tenant commercial building including a marihuana provisioning use.

Surrounding Property Details:

Direction	Zoning	Use
North	Cemetery District	Single Family Residential
South	Huntington Woods	Single Family Residential
East	Industrial District / Office District	Office
West	Industrial District	Institutional (Masonic Temple)

Items to be addressed: None.

NATURAL FEATURES

The site has been graded for an office building and parking lot. There are no existing natural resources.

Items to be addressed: None

BUILDING ARRANGEMENT AND SITE DESIGN

The building layout will remain in its current configuration. The applicant has purchased 2200 W. 11 Mile (see parking section for more detail) and revised the parking lot to provide angled parking and a one-way drive aisle, which allows for circular flow through the lot with a separate entrance and exit.

Items to be addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Sec. 138-526. - Schedule of regulations of the Zoning Ordinance establishes the dimensional requirements for the Industrial District.

	Required / Allowed	Provided	Compliance
Front (Eleven Mile) Front yard setbacks shall be ten feet or equal to the setback of the adjacent buildings, whichever is less.	10-feet	10-feet, seven- inches	Complies

Carlisle Wortman Associates, Inc.

	Required / Allowed	Provided	Compliance
Side (east and west)	East: 0-feet West: 53-feet	Greater than 0 feet	Complies
No side yards are required along the interior side lot lines except as otherwise specified in the building code. On the exterior side yard that borders on a residential district, there shall be provided a setback of at least ten feet on the side or residential street.			
Rear (South)	10-foot minimum setback	12-feet, 9-inches	Complies
Building Height	40-feet maximum height	15-feet, 4-inches	Complies

Items to be addressed: None

PARKING

The applicant has purchased 2200 W. 11 Mile, which was included in the parking table below:

	Required	Provided
Retail: One per 225 square feet of usable floor area	2,407 usable	
	square feet / 225 =	19 onsite, 11 on the
	11 spaces	adjacent site to the
Wholesale and warehouse establishments: One per	558 usable square	east, and 27 spaces
250 square feet of usable floor area	feet / 225 = 3	offsite shared parking.
	spaces	onsite shared parking.
Office: One per 225 square feet of usable floor area	2,646 / 250 = 11	
	spaces	
Barrier Free	1	1
Bicycle Parking	2	2
Loading	0	0
Total	25 spaces	19 spaces onsite 11 on
		the adjacent site to
		the east, and 27
		spaces offsite shared
		parking.
		plus 2 bike spaces

Parking Exhibit:



1716 Coolidge Highway in Berkley: shared Parking Agreement: up to 12 spaces

13631 11 Mile Rd in Oak Park: Shared Parking Agreement: up to 15 spaces Masonic Temple: shared Parking: up to 11 spaces Provisioning Center: Purchased: 14 spaces 2200 W. 11 Mile Rd: Purchased: 5 spaces

See details below of each parking "arrangement."

Purchase of 2200 W. 11 Mile

The applicant has purchased the building directly to the east, which allows for a combined parking layout between the two buildings. In total, both sites provide 19 spaces. The applicant has revised the parking lot to provide angled parking and a one-way drive aisle, which allows for circular flow through the lot with a separate entrance and exit. 2200 W. 11 Mile is used by a property management company for storage of appliances and furniture for the various properties they manage. According to the applicant, they do not need any parking, only the loading space to drop off or pick up equipment.

The applicant is applying the Shared Parking/Parking Waivers as set forth in section 138-218, which states that in computing parking for any joint use, the off-street parking is the sum of the individual requirements that will occur at the same time. The applicant notes that due to the current use of the building for warehousing, only 14 spaces are required, and they are providing 19 on site in addition to other shared parking agreements.

If this application is approved, any change of use of 2200 W. 11 Mile would be limited by available parking, which would either be reviewed by the Planning Commission as part of a site plan or by staff.

Masonic Temple

The applicant is proposing a shared parking with the adjacent Masonic Temple, for employee parking for a total of 11 spaces. The 11 spaces are located adjacent to the applicant's building. The revised agreement gives the applicant full access to the 11 spaces from 7:00 am to 10:00 pm, seven days a week.

1716 Coolidge Highway in Berkley

The site is located apparently 0.2 miles to the east. The applicant has a shared parking agreement for up to 12 spaces. Please note that we have not reviewed the use and operations of 1716 Coolidge to confirm that the applicant has excess parking for use as shared employee parking.

13631 11 Mile Rd in Oak Park.

The site is located apparently 0.2 miles to the east. The applicant has a shared parking agreement for up to 15 spaces. Please note that we have not reviewed the use and operations of 13631 11 Mile Coolidge to confirm that the applicant has excess parking for use as shared employee parking.

Items to be Addressed: 1). Shared parking agreements and purchase agreement to be reviewed by City Attorney; 2). Condition that any change of use of 2200 W. Eleventh Street would be limited by available parking, which would either be reviewed by the Planning Commission as part of a site plan or by staff; and 3). Details on use and operations for 1716 Coolidge Highway and 13631 11 Mile to confirm excess parking.

SITE ACCESS AND CIRCULATION

Site access and circulation has been altered. The applicant has applied a trash pickup turning template. Access and circulation are sufficient.

Items to be Addressed: None

LANDSCAPING AND SITE AMENITIES

A landscaping plan has been provided on sheet L-1.1 and L-1.2. The applicant is proposing a robust plan which includes a native landscaping/grasses/wildflower theme with building planting, ROW planting, parking lot planting, and a green roof. As set forth in section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require additional landscaping to be planted on or near the site consistent with the elements of the adopted City Master Plan.

<u>Screening Along Northern Property Line:</u>

The applicant proposes to screen the property along the northern property with a masonry screen wall. The applicant has provided an elevation of the screen wall.

Trash Enclosure:

The applicant is providing trash enclosure with 6-foot-tall masonry screen wall along eastern property line. The applicant has provided an elevation of the masonry screen wall.

Items to be Addressed: None

PHOTOMETRICS

A photometric plan was provided for both this site and the adjacent site (2200 W. Eleven Street) to provide lighting consistency for both sites. The applicant is proposing a total of four (4) parking lot pole lights, and twenty-four (24) building lights in the form of sconces, wall packs, and pendants. Fixtures and photometrics comply with ordinance requirements.

Items to be Addressed: None

EXTERIOR APPLIANCES

Applicant has shown exterior appliances (air conditioners, generators, etc.) on the roof plan. The applicant proposes to screen the roof top equipment with a wood screen wall.

Items to be Addressed: None

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations have been provided. The applicant is making significant elevation improvements to the existing building including glass curtain wall, metal overhang, painting brick, glazed tile, green roof, and public art mural.

Items to be Addressed: None

MARIHUANA BUSINESS REGULATIONS

Section 138-528 Marihuana Business Regulations, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

a) A marihuana business must front on a major thoroughfare with the primary ingress/egress onto a major thoroughfare.

CWA Response: The marihuana business fronts on Eleven Mile Road, with ingress/egress onto a major throughfare.

b) The marihuana business must have all applicable state and local licenses and approvals to operate.

CWA Response: The marihuana business will be required to obtain all applicable state license prior to any final approvals.

c) The property where the marihuana business will be located must be entirely within the boundaries of the city and must not be within 1,000 feet of a pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.

CWA Response: The marihuana business is located entirely within the boundaries of the City. The marihuana business is not within 1,000 feet with any pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.

d) Notwithstanding any other provision in the zoning ordinance, a marihuana business must operate within a fully enclosed building.

CWA Response: The marihuana business will operate within a fully enclosed building.

- e) Pursuant to article XV of <u>chapter 30</u> of the Berkley City Code, all marihuana business license approvals are subject to the following:
 - i. Public notice requirements as outlined in section 30-806; and

ii. Site plan approval from the planning commission must be obtained prior to receiving license approval from the city council. Failure to do so will result in license denial as outlined in section 30-813.

CWA Response: 1). Public notice requirement was met; and 2). The applicant is seeking site plan approval from the Planning Commission. If granted site plan approval, the applicant would then seek license approval from the City Council.

Items to be Addressed: None

RECOMMENDATION

Overall, the applicant is making a significant investment into the site as noted in our report. We recommend preliminary site plan approval with the following conditions:

- 1. Shared parking agreement to be reviewed by the City Attorney.
- Condition that any change of use of 2200 W. Eleventh Street would be limited by available parking, which would either be reviewed by the Planning Commission as part of a site plan or by staff.
- 3. Applicant to provide details on use and operations for 1716 Coolidge Highway and 13631 11 Mile to confirm excess parking.

Sincerely,

CARLISLE/WORTMAN ASSOC., INC. Benjamin R. Carlisle, LEED AP, AICP



Transmittal Memo

To:

Megan Masson-Minock, Interim Community Development Director (via email)

Cc:

Kim Anderson, Community Development Department (via email)

Ric Chalmers, Assistant DPW Director (via email)

Eddie Zmich, HRC (via email)

From:

Shawn Young, DPW Director

Date:

June 7, 2022

Subject:

Butter Provisioning Center 2222 West 11 Mile Rd

We have reviewed the site plans provided by the Community Development Department on May 26, 2022. Please find our comments below:

- The site plans will also be reviewed by the City's engineering consultant, Hubbell, Roth & Clark (HRC). Among other things, HRC will review the geotechnical report, storm water detention calculations and grading.
- 2. Proposed hydrant relocation to be coordinated with Public Works and Public Safety to confirm requirements and location. Hydrant must have a minimum clear space of 6' from any adjacent obstacle or approach.
- 3. An existing public sewer is shown on the north side of the property. Either the existing easement shall be shown via title documentation or the applicant will need to grant a half width (10') public easement for this City utility. Sample easement documents can be provided. Please note that the existing private sewer lateral is to remain the responsibility of the property owner and new physical obstructions, like a screening wall, shall not be placed within the easement to allow for future City maintenance and repair.
- 4. We defer to the City Attorney on the placement of new items in the public right-of-way and execution of the Stormwater Maintenance Agreement

- 5. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).
- 6. A Construction Schedule will be required prior to the start of construction. This schedule shall include approximate dates for and Road or Sidewalk Closures, Utility Installations, Restoration Timelines, etc.

A response letter from the applicant to the comments noted above would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.

Shawn Young

Director of Public Works

555 Hulet Drive Bloomfield Hills, MI 48302-0360

248-454-6300

www.hrcengr.com



June 8, 2022

City of Berkley 3338 Coolidge Highway Berkley, Michigan 48072

Attn: Ms. Megan Masson-Minock, Community Development Director

Re: Butter Provisioning Center Development HRC Job No. 20200909

Traffic Impact Assessment Review #2

Dear Ms. Masson-Minock:

At your request, Hubbell, Roth & Clark, Inc. (HRC) has performed a review of the following items for the proposed Butter Provisioning Center Development:

- Traffic Impact Assessment conducted by Giffels Webster dated May 2022
- Revised Site Plan Review Drawings designed by Five-Eights dated May 27, 2022
- Traffic Control Plan developed by Five-Eights
- Parking Plan Summary developed by Five-Eights dated May 27, 2022

The Site Plan (Sheet C/1.06) dated May 27, 2022 shows a proposed marijuana dispensary (3,438 square feet) and warehouse (797 square feet) development. The report indicates the proposed development will not generate a significant amount of traffic (100 peak hour trips) that would require a traffic impact study (TIS) by industry standards. Based on the development's land use and size, HRC agrees a TIS is not required. However, the development does meet the requirements for a traffic impact assessment (TIA).

HRC has the following comment regarding the Site Plan Drawings:

- Revised Site Plan Review Drawings
 - Sheet C/1.03 shows a 24" x 24" DO NOT ENTER sign, but it is not a standard size. The DO NOT ENTER sign size should be 30" x 30".

Based on the TIA, Revised Site Plan Review Drawings, Traffic Control Plan, and Parking Plan Summary, HRC has no objections to approval from a traffic standpoint. If the site plan were to change (development size increases) and trigger a traffic impact study, Giffels Webster would have to provide a more thorough traffic study with a capacity analysis.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.

Nicholas Nicita, PE, PTOE

Project Engineer - Transportation Department

Bloomfield Hills | Delhi Township | Detroit | Grand Rapids | Howell | Jackson | Kalamazoo | Traverse City | Troy





pc: Berkley; S. Young, M. Baumgarten, K. Anderson HRC; R. Alix, E. Zmich, C. Hill-Stramsak, M. Stark, File

555 Hulet Drive Bloomfield Hills, MI 48302-0360

HRC Job No. 20200909.02

248-454-6300

www.hrcengr.com



June 9, 2022

City of Berkley 3338 Coolidge Highway Berkley, Michigan 48072

Attention: Ms. Megan Masson-Minock, Community Development Director

Mr. Matthew Baumgarten, City Manager

Re: Butter Provisioning Center 2222 W Eleven Mile Rd

Engineering Site Plan – Review No. 3

City of Berkley, MI

Dear Ms. Masson-Minock and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Five-Eighths Architects of Ferndale, Michigan with the engineering site plan created by Giffels-Webster of Detroit, Michigan. The plans have a revision date of May 27, 2022. The proposed project scope includes the renovation of the existing building and replacement of the existing parking lot and other site features. We hereby offer the following comments:

General:

- 1. The proposed compact car spaces and ADA parking space must have signage clearly stating as such. These signs must be included in the plans. *The proposed signage has been shown on the parking plan. This item has been satisfactorily addressed.*
- 2. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required. The traffic control plan has been submitted. Estimated dates and durations of lane closures must be provided prior to construction.
- 3. All existing utilities and service leads must be shown on the plans. This item has been satisfactorily addressed.
- 4. The site plan indicates that a geotechnical investigation was performed and a report prepared for this project. The report must be submitted along with the plans in order to evaluate the feasibility of the proposed stormwater management system. The soil logs from the investigation must be shown on the plans, including the elevation of the groundwater table, soil types encountered, and the written report indicating the design recommendations or comments on the proposed stormwater collection system. The geotechnical report has been submitted and the recommended cross sections have been shown on the plans. This item has been satisfactorily addressed.
- 5. The extent of demolition and building modifications are unclear from the plans. A separate demolition sheet must be provided in the plan set that shows all site demolition work including any exterior building work which may impact the site. A demolition plan has been added to the plan set. This item has been satisfactorily addressed.

Bloomfield Hills | Delhi Township | Detroit | Grand Rapids | Howell | Jackson | Kalamazoo | Traverse City | Troy



- 6. Cross-sectional details for all proposed pavement, driveways, curbs, sidewalks, and sidewalk ramps must be provided on the plans. *The proposed cross sections have been shown on the plans. This item has been satisfactorily addressed.*
- 7. The extent of curb, sidewalk, and pavement removal and replacement must be clearly shown on the plans. In addition, the City may require additional sections of existing curb and gutter and sidewalks along 11 Mile Road to be removed and replaced as part of the proposed project in order to address the current deteriorated conditions and will defer comment to the City. The pavement extents have been shown on the plans. This item has been satisfactorily addressed.

Water and Fire Protection Services:

1. The plans must include REU value calculations demonstrating that the existing water lead is sufficiently sized to be reused for the proposed new establishment. The applicant's engineer contacted HRC and verified that the 1" water lead is sufficiently sized for re-use. This item has been satisfactorily addressed.

Storm Drainage and Detention/Sanitary Sewer:

- 1. Stormwater runoff calculations are provided using a 100-year, 24-hour storm event and appear to show that the proposed pavement section will provide adequate storage for the site. This must be confirmed through details which show the depth and materials of the proposed section and by submitting the geotechnical report to verify feasibility of the proposed section for the site soil characteristics, as stated above. Stormwater calculations following the current OCWRC stormwater standards have been provided for the original site area. However, the entirety of the proposed site including the recently purchased lot to the east must be included in these calculations. As has been the practice with previous Site Plan Reviews, the City of Berkley requires following the current OCWRC stormwater standards regardless of the size of the site. Therefore, the total site area and required storm detention must be revised in the calculations and the proposed stormwater detention system must be capable of detaining the required storage volume for the full site. Stormwater calculations have been provided for the full site, and the calculations show that there is adequate storage provided on site. This item has been satisfactorily addressed.
- 2. The site plan includes a note that the existing downspouts direct water directly into the existing parking lots on each side of the building. Note that downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area. They may also be directed through the proposed restricted-outlet structure. The location of the proposed downspouts and the above note must be shown on the plans. The downspouts are shown discharging into rain barrels, with overflow into the underground detention system. This item has been satisfactorily addressed.
- 3. Details of the outlet control structure and the connection to the existing combined system must be shown on the plans. *Details of the proposed stormwater structures have been shown on the plans. This item has been satisfactorily addressed.*
- 4. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction. The maintenance agreements have been submitted. This item has been satisfactorily addressed.
- 5. Rim and invert grades are missing for the rear yard basins and the rear east cleanout. *Grades for the proposed basins have been provided. This item has been satisfactorily addressed.*



6. A note indicates the existing building sanitary lead will remain in place and be re-utilized. The applicant must have the sanitary lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction. The video footage and report have been submitted showing the lead to be in suitable condition for re-use. This item has been satisfactorily addressed.

Recommendation:

Based on our aforementioned comments, we recommend approval of the proposed Site Plan subject to the Applicant obtaining and submitting copies of any required permits.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.

Edward D. Zmich Project Manager Mitch Stark Review Engineer

EDZ/MAS/mas

pc: City of Berkley; Mr. Shawn Young

HRC; R. Alix, File

Giffels-Webster; Joseph Anderson Five-Eighths; Grant Jeffries

THE CITY OF BERKLEY Building Department 3338 Coolidge, Berkley, Michigan 48072 (248) 658-3320

NOTICE OF PUBLIC MEETING BERKLEY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN, in accordance with Section 138-528 and Section 30-806 of the Berkley City Code, that there will be a meeting of the Berkley Planning Commission to be held Tuesday, June 28, 2022 at 7:00 p.m. or as near thereto as the matter may be reached at the City Hall Council Chambers, 3338 Coolidge, Berkley, Michigan.

Application Number PSP-02-22

The applicant, Grant Jeffries, on behalf of Operation Grow, LLC, - d.b.a. Butter Provisioning Center, 2222 Eleven Mile Rd., Parcel 25-17-358-018, north side of Eleven Mile, between Berkley Ave. and Henley Ave., is requesting site plan approval for the renovation of the existing building to a retail marihuana dispensary and a separate warehouse tenant space.

Complete application information is available for review at: www.berkleymich.org/urbanplanning

Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Building Department or emailed to comdirector@berkleymich.net before 5:00 p.m. on the date of the Planning Commission meeting.

You can watch the meeting: https://www.berkeymich.org/livestream/index.php

MEGAN MASSON-MINOCK
INTERIM COMMUNITY DEVELOPMENT DIRECTOR

THE CITY OF BERKLEY Building Department 3338 Coolidge, Berkley, Michigan 48072 (248) 658-3320

NOTICE OF PUBLIC MEETING BERKLEY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN, in accordance with Section 138-528 and Section 30-806 of the Berkley City Code, that there will be a meeting of the Berkley Planning Commission to be held Tuesday, June 28, 2022 at 7:00 p.m. or as near thereto as the matter may be reached at the City Hall Council Chambers, 3338 Coolidge, Berkley, Michigan.

Application Number PSP-02-22

The applicant, Grant Jeffries, on behalf of Operation Grow, LLC, - d.b.a. Butter Provisioning Center, 2222 Eleven Mile Rd., Parcel 25-17-358-018, north side of Eleven Mile, between Berkley Ave. and Henley Ave., is requesting site plan approval for the renovation of the existing building to a retail marihuana dispensary and a separate warehouse tenant space.

Complete application information is available for review at: www.berkleymich.org/urbanplanning

Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Building Department or emailed to comdirector@berkleymich.net before 5:00 p.m. on the date of the Planning Commission meeting.

You can watch the meeting: https://www.berkeymich.org/livestream/index.php

MEGAN MASSON-MINOCK
INTERIM COMMUNITY DEVELOPMENT DIRECTOR

Publish Once:

Royal Oak Tribune Friday, June 10, 2022 ROBERT A MURRAY LIVING TRUST 2318 11 MILE RD BERKLEY MI 48072 3003 JULIEN RIBOT JULIE DOLLONE 2147 PRINCETON RD BERKLEY MI 48072 3010 BRIAN LUTHER
JESSICA BLAIR DOWNEY
13160 KINGSTON AVE
HUNTINGTON WOODS MI 48070 1017

GAYLE SOKOLSKY 2185 COLUMBIA RD BERKLEY MI 48072 1712 Occupant 2222 11 MILE RD BERKLEY MI 48072 3048 Occupant 13153 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009

MIRRIAH E JACKSON 2180 PRINCETON RD BERKLEY MI 48072 3019 OPERATION GROW PO BOX 725202 BERKLEY MI 48072 5202

BINNO & BINNO INVESTMENT COMPANY L 3943 SHELLMARR LN BLOOMFIELD HILLS MI 48302 4056

BRADLEY E REYNOLDS MARY M REYNOLDS 2313 PRINCETON RD BERKLEY MI 48072 3020 SHERI KASH PAUL R BELLEAU 2211 PRINCETON RD BERKLEY MI 48072 3907

MATTHEW H GROSS ELENA L GROSS 13154 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017

JOSEPH A SERMO MEGHAN T SERMO 13128 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017 MARY ANN NOBLE 2251 PRINCETON RD BERKLEY MI 48072 3907

Occupant 13111 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009

VICTORIA H MELLER 13122 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017 BERKLEY MASON TEMPLE ASSN 2290 11 MILE RD BERKLEY MI 48072 3048

PAUL BLOETSCHER 738 N DENWOOD ST DEARBORN MI 48128 1567

CHRISTOPHER SAADATJOO 13139 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009 THOMAS R SACCARO DENISE A SACCARO 2231 COLUMBIA RD BERKLEY MI 48072 1774 VINCENT MINSTER 13107 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009

AARON TURNER 2230 PRINCETON RD BERKLEY MI 48072 3906 HALSTON Q HERRERA 2200 PRINCETON RD BERKLEY MI 48072 3906 Occupant 2158 11 MILE RD BERKLEY MI 48072 3017

MARK GIBSON JADA GIBSON 13135 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009 JERRY F MCCLURE JR STACEY L MCCLURE 2176 PRINCETON RD BERKLEY MI 48072 3019 EDDIES REAL ESTATE VENTURE LLC 39439 VASSAR CT STERLING HEIGHTS MI 48313 5575

JORGE A MARTINEZ 13125 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009 WILLIAM GRACE DEBORAH GRACE 13108 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017 ZACK T GILMAN REBECCA L GILMAN 2155 PRINCETON RD BERKLEY MI 48072 3010 JOSHUA HAMILTON KATRINA HAMILTON 2269 PRINCETON RD BERKLEY MI 48072 3907 GARRETT M CLAMPITT 2290 PRINCETON RD BERKLEY MI 48072 3906 Occupant 2280 PRINCETON RD BERKLEY MI 48072 3906

TYLER LEHMAN NICOLE PROPST 2231 PRINCETON RD BERKLEY MI 48072 3907 JACOB WEST KAMILA WEST 2140 PRINCETON RD BERKLEY MI 48072 3019 MARY HOFFMAN 1754 PAWNEE TRL WEST BRANCH MI 48661 9734

ELIZABETH JOYCE 2139 PRINCETON RD BERKLEY MI 48072 3010

PATRICIA A WATTS 2270 PRINCETON RD BERKLEY MI 48072 3906

CAROL LEE HOUSE 13117 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009

AGNIESZKA A PODSIADLO 2221 COLUMBIA RD BERKLEY MI 48072 1774 F & L BERKLEY LLC 2114 11 MILE RD BERKLEY MI 48072 3002 SHIRLEY NEILSON 2130 PRINCETON RD BERKLEY MI 48072 3019

Occupant 2210 PRINCETON RD BERKLEY MI 48072 3906 TERESA FORMAN 2221 PRINCETON RD BERKLEY MI 48072 3907

LEAH A RODRIGUEZ-SOTO 13129 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009

ELISE GORDILLO 19785 W 12 MILE RD PMB 173 SOUTHFIELD MI 48076 2584 Occupant 2200 11 MILE RD BERKLEY MI 48072 3048 BRIAN H HULETT 13147 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009

JENNIFER L SNELL 2136 PRINCETON RD BERKLEY MI 48072 3019 2200 W. ELEVEN MILE LLC 26711 WOODWARD AVE STE 307 HUNTINGTON WOODS MI 48070 1369 MARY JO LAMBERT GERALD LAMBERT 13134 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017

SEYMOUR C SCHWARTZ 13116 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017 JOSHUA M CYCCONE STEPHANIE L FUJIWARA 2251 COLUMBIA RD BERKLEY MI 48072 1774 BRADLEY J COON 13102 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017

JEFFRY D KLEIN 13143 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009 ERIC WEST 2211 COLUMBIA RD BERKLEY MI 48072 1774 PAUL R RETASKIE 13142 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017

ALISON RIDGWAY 2220 PRINCETON RD BERKLEY MI 48072 3906 BRANDON BARLOW 13121 W 11 MILE RD HUNTINGTON WOODS MI 48070 1009 STEPHEN BOGDAN PAM BOGDAN 26815 HENLEY AVE HUNTINGTON WOODS MI 48070 1015 CITY OF HUNTINGTON WOODS 26815 SCOTIA RD HUNTINGTON WOODS MI 48070 1101 WILLIAM SCARMEAS JACQUELINE SCARMEAS 1878 ROSEMONT RD BERKLEY MI 48072 1846

ANDREW GARMAN LAURA GARMAN 2175 COLUMBIA RD BERKLEY MI 48072 1712

CHRISTOPHER S PETERS JENNIFER A CRACKEL 2193 COLUMBIA RD BERKLEY MI 48072 1712

SHIRLEY NEILSON 2130 PRINCETON RD BERKLEY MI 48072 3019

MARGARET A GAGNIUK 13148 KINGSTON AVE HUNTINGTON WOODS MI 48070 1017

MARC MERCER 2283 PRINCETON RD BERKLEY MI 48072 3907

DAVID C MIDDLEWOOD JODI MIDDLEWOOD 2175 PRINCETON RD BERKLEY MI 48072 3010

TIMOTHIE DAVIS 2185 PRINCETON RD BERKLEY MI 48072 3010

DAVID LOSEY 2189 PRINCETON RD BERKLEY MI 48072 3010

PSP-02-22 2222 11 Mile

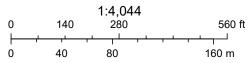


Wed Jun 08 2022

Override 1

RCOCAppMapService_5220

Override 1





APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:					
I (We), the undersigned information to assist in t	, do hereby respectfully request Site Plan Review and provide the following he review:				
Project Name:	THE PHILLIP ROWHOMES				
Applicant:	DANIEL STAKHIV				
Mailing Address:					
Telephone:					
Email:	Berkley Deal LLC				
Property Owner(s), if dif					
Mailing Address:	_				
Telephone:	_				
Email:					
Applicant's Legal Interes	st in Property: 3737 TWELVE MILE LLC TO PURCHASE SITE. UNDER CONTRACT				
LOCATION OF PROPE	RTY:				
Street Address:	3737 TWELVE MILE AND 3363 PHILLIPS AVE				
Nearest Cross Streets:	TWELVE MILE AND PHILLIPS				
Sidwell Number(s):	25-18-126-020				

PROPERT	Y DESCRIPTION:						
Provide lot	numbers and sub	division: L	.0	TS 557 to 50	07 -	THOMAS	BROTHER
BEVER	LY PARK SI	UB DIVIS					
Property S	ize (Square Feet):	12,197	7 5	(Acres):	. 28	acres	
		,				-	
EXISTING	ZONING DISTRIC	T (please ch	hec	rk):			
	R-1A			Local Business		Coolidge	
	R-1B			Office		Downtown	
	R-1C			Community Centerpiece		Industrial	
	R-1D			Woodward		Cemetery	
	RM			Eleven Mile		Parking	
	RMH	7	×.	Twelve Mile			
Present Us	e of Property:	_ (3737)	>	AND OCCUPIED	DUPLE	x (3363)	
	Ise of Property:						
Is the prope	erty located within t	he Downtow	vn [Development Authority?	×	Yes	□ No
	TO PARTIE OF THE CONTROL OF THE CONT		del mongon, pe		Market State Anni Confederace Anni Construction Construct		
PROJECT	DESCRIPTION:						
NEW	CONSTRUC	TION (OF	(7) A TOWNHOU	MES		
Does the pr	oposed project / us	se of propert	ty r	equire Special Land Use appro	oval?] Yes	ĭX No
Does the pr	oposed project req	uire Varianc	ce(s	s) from the Zoning Board of Ap	peals?	Yes	□ No
f yes, pleas	e describe Variand	es required:	:				
FIRST	FLOOR G	ALAZING	7	REQUIREMENTS. RE	QUIRE	> 407	6.
PROVII	DED 26.3	7. F	R	ONT AND SIDE	SETE	BACK 1	NEEDS
	NIAVA CAR	1111111		LOGO NILL			

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential	フ	15,900	14	the frequency
Office				
Commercial	* *			
Industrial				
Other				

1	DD	OF	FS	AOIS	IAI	9	WHO	PREP	ADEL	DI	ANIC	
	r	UL	E3	יוטוכ		·O	VVIIC	JEREF	AREL	, – .	CKIN	

A.	Name:	KE	LSEY	REYNO	405,	BA			
	Mailing Address: _	2							
	Telephone:	č							***************************************
	Email:	K							
	Design Responsib	ility (e	ngineer, s	urveyor, a	rchitect,	etc.): _	ARCH!	TECT	
В.	Name:	SH	CONST	RULTI	יאים	LL			
	Mailing Address: _	-							
	Telephone:	á							
	Email:								
	Design Responsibi	ility: _	DESIG	in t	G.C	•.			

SUBMIT THE FOLLOWING:

- 1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
- 2. A pdf file of the site plans, submitted to the Community Development Director.
- 3. Proof of property ownership (title insurance policy or registered deed with County stamp).
- 4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:

Road Commission for Oakland County	Oakland County Health Division
MI Dept. of Transportation	MI Dept. of Environment, Great Lakes & Energy

Updated 07.01.2021

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line) I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property. APPLICANT'S ENDORSEMENT: (Initial each line)

All information contained therein is true and accurate to the best of my knowledge.

I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

Updated 07.01.2021 4 | P a g e

Xm/ 5	F		2-17-2	2
Signature of Applicant			Date	
DANIEL STAKH	h✓			
Applicant Name (Print)		,	· · · · · · · · · · · · · · · · · · ·	
Signature of Applicant			Date	
Applicant Name (Print)				
DocuSigned by:			2/17/2022	
Signature of Property Owner A	uthorizing this A	pplication	Date	
Berkley Deal LLC, member	' Hassan Imra	1		
Property Owner Name (Print)	:	***************************************		
OFFICE USE ONLY				
ReceivedRecei	ipt #	Meeting Date	Case #	
Fees: Site Plan Revie	ew \$600	Façade Change: \$200	Revision: \$3	00

Engineering: Multi-family \$1,500 + \$30/unit Commercial \$1,000

Extension \$200

Escrow (New construction) \$1,000

LIBER 53104 PAGE 158

0125259

LIBER 53104 PAGE 158 \$21.00 MISC RECORDING \$4.00 REMONUMENTATION \$5.00 AUTOMATION 08/05/2019 06:03:22 PM RECEIPT# 87487 PAID RECORDED - Oakland County, MI Lisa Brown, Clerk/Register of Deeds

MEMORANDUM OF LAND CONTRACT

THIS MEMORANDUM OF LAND CONTRACT entered into this day of ______, 2019, by and between EUGENE J. TATA, Trustee of the EUGENE J. TATA TRUST AGREEMENT, dated May 16, 1974, and amended September 11, 1986 ("SELLER") whose address is 27725 Spring Arbor Drive, Southfield, MI 48076 and BERKLEY DEAL LLC, A MICHIGAN LIMITED LIABILITY COMPANY ("BUYER"), whose address is 2679 Warwick Court, Bloomfield Hills, MI 48304 (the "Land Contract").

WITNESSETH:

WHEREAS, BUYER and SELLER entered into a Land Contract dated July 36, 2019; and,

WHEREAS, the parties desire to enter into this Memorandum of Land Contract and to give record notice of existence of said Land Contract.

Lot 557 through Lot 562, inclusive, of Thomas Brothers Beverly Park Subdivision of part of the North ½ of Section 18, Town 1 North, Range 11 East, according to the plat thereof as recorded in Liber 15 of Plats, Page 6, Oakland County Records.

Tax Parcel No.: 04-25-18-126-020

Commonly known as: 3363 Phillips Avenue, Berkley, MI 48072 & 3737 Twelve Mile

Road, Berkley, MI 48072

The purpose of this Memorandum of Land Contract is to give record notice to the existence of the aforesaid Land Contract.

TRUSTEE

SELLER:

EUGENE J. TATA TRUST AGREEMENT

dated May 16, 1974, and amended September 11, 1986

BUYER:

BERKLEY DEAL, LLC

A Michigan Limited Liability Company

By: Hassan Imran Its: Member

STATE OF MICHIGAN

SS.

On this 26 day of , 2019, before me, a notary public in and for the aforesaid State and County, personally appeared EUGENE J. TATA, Trustee of the EUGENE J. TATA TRUST AGREEMENT, dated May 16, 1974, and amended September 11, 1986 and Hassan Imran, member of Berkley Deal LLC, a Michigan Limited Liability Company, who executed the foregoing Memorandum of Land Contract and acknowledged the execution of same to be their free act and deed.

> IAN WALKER Notary Public, State of Michigan County of Macomb My Commission Expires 11-23-2022

Acting in the County of Macon b

Cer, Notary Public Acting in Macom b County, Michigan County, Michigan

My Commission Expires:

Drafted by and Return to:

Richard D. Linnell (P59339) Attorney at Law 2804 Orchard Lake Rd., Ste. 203 Keego Harbor, Michigan 48320

Telephone: (248) 977-4182

Send Subsequent Tax Bills to:

BERKLEY DEAL LLC 2679 Warwick Court Bloomfield Hills, MI 48304

THE PHILLIP ROWHOMES

3737 Twelve Mile Berkley, Michigan 48072

Building Code Information:

2015 Michigan Building Code / Residential Code 2018 Michigan Plumbing Code 2015 Michigan Mechanical Code 2017 National Electrical Code 2015 Michigan Fire Code Michigan Barrier Free Design Law / 2009 ANSI A117.1

Project Description:

The referenced property is currently comprised of one parcel and houses a single story retail building, and a legal non-conforming use duplex located off Phillips Avenue, both would be demolished to make way for the proposed 7 residential townhomes.

Legal Description:

LOTS 557 TO 562, INCLUSIVE; "THOMAS BROTHERS" BEVERLY PARK SUBDIVISION, OF PART OF NORTH 1/2 OF SECTION 18, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 15 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

PIN: 25-18-126-020

Zoning District: Twelve Mile District Proposed Use: Townhomes (Sec. 138-457. - Principal uses permitted (13) Apartments or townhouses) Flood Plain: No special hazard area Lot area: 0.28 acres Miss Dig Ticket - 2022011900544

Sec. 138-219. - Parking space requirements by use.

(1) Residentail - Multifamily: 2 spaces per dwelling unit 14 spaces provided (7 units x 2 spaces)

Sec. 138-462. - Building design requirements

(a) Percentage of windows on first floor: 26.3% provided (40% min req.) - variance requested (b) Entrance required when fronting a street Entrances provided along Twelve Mile Rd.

Section 138-526 - Schedule of Regulations

Twelve Mile District Minimum Lot Size: Area: Width:	Requirement - -	Proposed 12,197 sf 117'-8"
Maximum Height:	40'	39'-6"
Maximum Lot Coverage:	_	5,266 sf
Setbacks:		
Front Yard	no setback permitted	8'-0"
Rear Yard	10'	47'-3½ "
Side Yards	no setback permitted	$4\frac{3}{4}$ " - 1'- $9\frac{3}{8}$ " (varies - irregular shaped lot. see site plan)

Building Area:

Gross Floor Area Calculations

	First Floor	2,467	G.S.F.
	Garage (First Floor)	2,471	G.S.F.
	Second Floor	5,266	G.S.F.
	Third Floor	5,037	G.S.F.
	Roof (Fourth Floor)	659	G.S.F.
-	Total (building area)	15,900	G.S.F.

3737 Twelve Mile, LLC 31150 Northwestern Hwy #100 Farmington Hills, MI 48334 T: 248.763.0401 Contact: Daniel Stakhiv

Architect:

Wrap Architects, LLC 2240 Iroquois St Detroit, MI 48214 T: 248.763.0401 Contact: Kelsey Reynolds

SH Construction 2838 Coolidge Hwy Berkley, MI 48072 T: 248.763.0401 Contact: Daniel Stakhiv

Occupancy Group: R-2, Residential Building Height: 39'-6" / 3 Story + Roof Deck

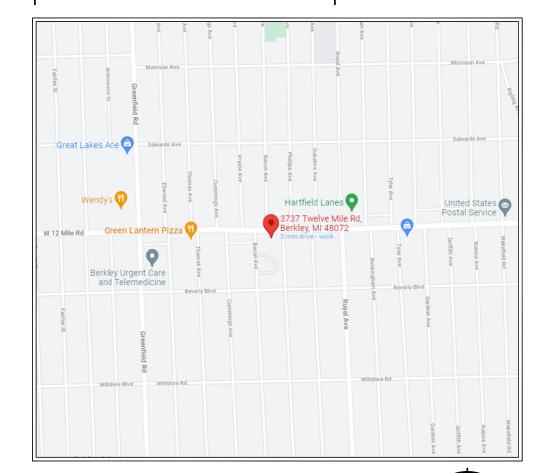
Owner:

Construction Manager:

Building Information:



3d Rendering - View from 12 Mile



Site Location Map:

Sheet Index:

● ISSUED / REVISED O ISSUED FOR REFERENCE ONLY A000 COVER SHEET TS—01 TOPOGRAPHICAL SURVEY C—01 REMOVAL SITE PLAN C—02 GRADING PLAN C—03 UTILITY / STORM MANAGEMENT PLAN AND DETAILS C—04 STORM SEWER MANAGEMENT DETAILS C—05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C—06 STORM SEWER MANAGEMENT EXHIBITS C—07 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN C—09 MAINTENANCE OF TRAFFIC PLAN C—01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR CLOR ELEVATIONS A202 EAST AND WEST EXTERIOR COLOR ELEVATIONS + MATERIALS O ■ ■ ■ ■ ■ ■ ■ ■ ■ ■ ■ ■ ■ ■ ■ ■ ■ ■				ELIMINARY COMMENTS	MMENTS	MMENTS			
CIVIL TS—01 TOPOGRAPHICAL SURVEY C—01 REMOVAL SITE PLAN C—02 GRADING PLAN C—03 UTILITY / STORM MANAGEMENT PLAN AND DETAILS C—04 STORM SEWER MANAGEMENT DETAILS C—05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C—06 STORM SEWER MANAGEMENT EXHIBITS C—07 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN C—09 PHOTOMETRIC PLAN CANADA ON ON ON ON ON ON ON ON ON ON ON ON ON) [:	SSUED / REVISED	EW	EW PR	EW CC	EW CC			
CIVIL TS—01 TOPOGRAPHICAL SURVEY C—01 REMOVAL SITE PLAN C—02 GRADING PLAN C—03 UTILITY / STORM MANAGEMENT PLAN AND DETAILS C—04 STORM SEWER MANAGEMENT DETAILS C—05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C—06 STORM SEWER MANAGEMENT EXHIBITS C—07 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN LP—1 LANDSCAPING PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS O O O O O O O O O O O O O O O O O O O	O !	SSUED FOR REFERENCE ONLY	N REVI	REVI	V REVI	REWI			
CIVIL			E PLAN-	E PLAN- -14-20	E PLAN-27-2	E PLAN-21-20			
CIVIL TS—01 TOPOGRAPHICAL SURVEY C—01 REMOVAL SITE PLAN C—02 GRADING PLAN C—03 UTILITY / STORM MANAGEMENT PLAN AND DETAILS C—04 STORM SEWER MANAGEMENT DETAILS C—05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C—06 STORM SEWER MANAGEMENT EXHIBITS C—07 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN C—08 MAINTENANCE OF TRAFFIC PLAN C—0 MAINTENANCE OF TRAFFIC PLAN C—1 LANDSCAPING PLAN PH—01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS O ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○	A 000		_			_		\vdash	
TS-01 TOPOGRAPHICAL SURVEY C-01 REMOVAL SITE PLAN C-02 GRADING PLAN C-03 UTILITY / STORM MANAGEMENT PLAN AND DETAILS C-04 STORM SEWER MANAGEMENT DETAILS C-05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C-06 STORM SEWER MANAGEMENT EXHIBITS C-07 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN C-09 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS O O O O A201 O O O O A201 O O O O O A201 O O O O O O O O O O O O O O O O O O O	<u> </u>	COVER SHEET							
TS-01 TOPOGRAPHICAL SURVEY C-01 REMOVAL SITE PLAN C-02 GRADING PLAN C-03 UTILITY / STORM MANAGEMENT PLAN AND DETAILS C-04 STORM SEWER MANAGEMENT DETAILS C-05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C-06 STORM SEWER MANAGEMENT EXHIBITS C-07 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN C-09 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS O O O O A201 O O O O A201 O O O O O A201 O O O O O O O O O O O O O O O O O O O									
C-01 REMOVAL SITE PLAN ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ●	CIVIL								
C-02 GRADING PLAN ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ● ●	TS-01	TOPOGRAPHICAL SURVEY	•	•	0	0			
C-03 UTILITY / STORM MANAGEMENT PLAN AND DETAILS C-04 STORM SEWER MANAGEMENT DETAILS C-05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C-06 STORM SEWER MANAGEMENT EXHIBITS C-07 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN - TRAFFIC SIGNAL PLAN LP-1 LANDSCAPING PLAN PH-01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN ARCHITECTURAL A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	C-01	REMOVAL SITE PLAN	0	0	0	0			
C-04 STORM SEWER MANAGEMENT DETAILS C-05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C-06 STORM SEWER MANAGEMENT EXHIBITS C-07 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN - TRAFFIC SIGNAL PLAN LP-1 LANDSCAPING PLAN PH-01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	C-02	GRADING PLAN	0	0	0	0			
C-05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS C-06 STORM SEWER MANAGEMENT EXHIBITS C-07 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN - TRAFFIC SIGNAL PLAN LP-1 LANDSCAPING PLAN PH-01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	C-03	UTILITY / STORM MANAGEMENT PLAN AND DETAILS	0	0	0	•			
C-06 STORM SEWER MANAGEMENT EXHIBITS C-07 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN - TRAFFIC SIGNAL PLAN LP-1 LANDSCAPING PLAN PH-01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	C-04	STORM SEWER MANAGEMENT DETAILS		0	0	0			
C-07 MAINTENANCE OF TRAFFIC PLAN C-08 MAINTENANCE OF TRAFFIC PLAN - TRAFFIC SIGNAL PLAN LP-1 LANDSCAPING PLAN PH-01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	C-05	SOIL EROSION MEASURES AND DRIVEWAY DETAILS				0			
C-08 MAINTENANCE OF TRAFFIC PLAN - TRAFFIC SIGNAL PLAN LP-1 LANDSCAPING PLAN PH-01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	C-06	STORM SEWER MANAGEMENT EXHIBITS			0	0			
LP-1 LANDSCAPING PLAN PH-01 PHOTOMETRIC PLAN ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	C-07	MAINTENANCE OF TRAFFIC PLAN			0	0			
ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	C-08	MAINTENANCE OF TRAFFIC PLAN - TRAFFIC SIGNAL PLAN			0	0			
ARCHITECTURAL A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	LP-1	LANDSCAPING PLAN	0	0	0	0			
A101 FIRST LEVEL FLOOR PLAN A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	PH-01	PHOTOMETRIC PLAN	0	0	0	0			
A102 SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN A201 NORTH AND SOUTH EXTERIOR ELEVATIONS O O O	ARCHIT	ECTURAL							
A201 NORTH AND SOUTH EXTERIOR ELEVATIONS	A101	FIRST LEVEL FLOOR PLAN	0	0	0	0			
	A102	SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN	0	0	0	0			
A202 EAST AND WEST EXTERIOR COLOR ELEVATIONS + MATERIALS • O • •	A201	NORTH AND SOUTH EXTERIOR ELEVATIONS	0	0	0	0			
	A202	EAST AND WEST EXTERIOR COLOR ELEVATIONS + MATERIALS	0	0	0	0			



SH Construction, LLC 2838 COOLIDGE HWY BERKLEY, MI 48072

P. 248.763.0401

P. 248.763.0401

Project:

The Phillip Rowhomes 3737 Twelve Mile Road Berkley, MI 48072

Date:	Issued For:
02-18-2022	Site Plan Review
03-14-2022	Site Plan Review

•••	
	Preliminary Comm
05-27-2022	Site Plan Review

Comments

06-21-2022	Site Plan Review
	Comments

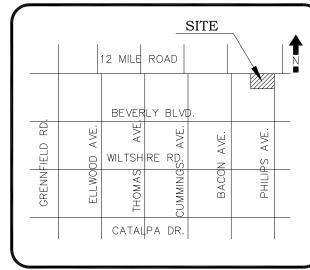
Sheet No.:

COVER SHEET

10

BOUNDARY AND TOPOGRAPHIC SURVEY





 $\frac{\text{LOCATION MAP}}{\text{NOT TO SCALE}}$

PROPERTY DESCRIPTION: (AS PROVIDED BY CLIENT)

12 MILR ROAD, CITY OF BERKLEY, OAKLAND COUNTY, MI 48072

1- SINCE OUR SURVEY WORK DOES NOT INCLUDE A TITLE SEARCH

ENCUMBRANCES UPON THE LAND WHICH ARE NOT SHOWN ON OUR

2- THE SURVEY HAS BEEN PERFORMED UNDER SEVERE SNOW AND

THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREAS

AS INDICATED BY "FIRM" THE FLOOD INSURANCE RATE MAP,

AS PREPARED BY THE NATIONAL FLOOD INSURANCE PROGRAM,

ALL UTILITIES DEPICTED HEREON ARE FROM VISIBLE EVIDENCE.

THIS PLAN ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER

SURVEYOR DID NOT CONTACT SUBSURFACE UTILITY LOCATOR SERVICE. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON

COMPLETENESS, EXACTNESS OF LOCATION OR ACCURACY THEREOF. THE CONTRACTOR / OWNER SHALL BE EXCLUSIVELY RESPONSIBLE FOR

UTILITIES AND PROPOSED UTILITIES CROSSINGS IN THE FIELD PRIOR TO

DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING

AT TIME OF SURVEY, THERE MAY BE EASEMENT AND/ OR

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF BERKLEY,

LOTS 557 TO 562, INCLUSIVE; "THOMAS BROTHERS" BEVERLY PARK SUBDIVISION,

OF PART OF NORTH 1/2 OF SECTION 18, TOWN 1 NORTH, RANGE 11 EAST, ROYAL

OAK TOWNSHIP (NOW CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS

RECORDED IN LIBER 15 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

COUNTY OF OAKLAND, STATE OF MICHIGAN, AND MORE PARTICULARLY

AND MAPPIN



SEAL:

DATE: FEBRUARY 17, 2022

CLIENT:

GHASSAN KHALAF, P.E.

GK Consulting Inc. Building & Civil Engineering

5644 Middlebelt Road, Garden City, MI 48135 Ph.: (313) 377-9449

PROJECT LOCATION:

BUILDING # 3737" & HOUSE / GARAGE #3363 12 MILE ROAD, CITY OF BERKLEY, OAKLAND COUNTY,

SHEET:

MI. 48072

BOUNDARY AND TOPOGRAPHIC SURVEY

REVISION: DATE:

DRAWN BY: DESIGNED BY:

APPROVED BY:

SURVEY DATE: FEBRUARY 01, 2022 SCALE:

1'' = 20'BOOK #: B-102

JOB NO. SHEET NO. 022-103 1 Of 1

DESCRIBED AS:

MORE COMMONLY KNOW AS: EXISTING BUILDING # 3737

PARCEL ID.: 25-18-126-020

SURVEYOR'S NOTES:

SURVEY AT THIS TIME.

WEATHER CONDITION

FLOOD HAZARD NOTE:

UTILITY NOTES:

MAP NUMBER 26125C0539E (NOT PRINTED)

EFFECTIVE DATE: SEPTEMBER 29, 2006

EXPRESSED OR IMPLIED AS TO THE

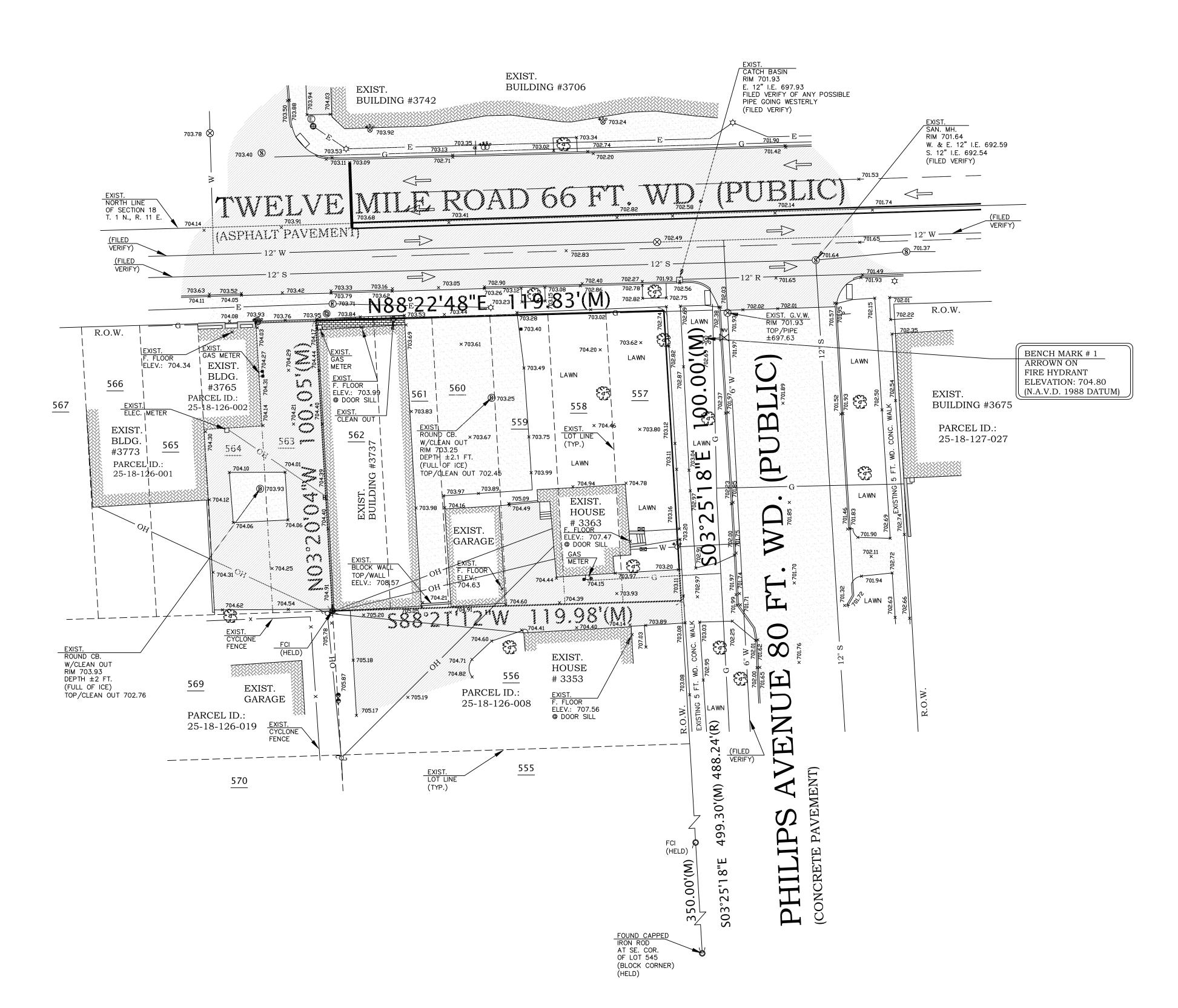
CONSTRUCTION OR ANY SITE MODIFICATION.

CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN.

FEDERAL EMERGENCY MANAGEMENT AGENCY.

DATE OF SURVEY: JANUARY 01, 2022

EXISTING HOUSE & GARAGE # 3363"



LEGEND OF SYMBOLS & ABBREVIATIONS

FIELD MEASUREMENT OTHER RECORDED MEASUREMENT (R)

(TYP.) EXIST. **EXISTING** CONC. CONCRETE R.O.W RIGHT-OF-WAY FT. FEET WIDE TYP. TYPICAL AVE. AVENUE ELEC. ELECTRIC BLDG BUILDING BOUNDARY LINE

OVERHEAD ELECTRIC LINES SANITARY SEWER WATER STORM SEWER

UNDERGROUND ELECTRIC FIRE HYDRANT

WATER SHUT-OFF-VALVE WATER IN THE BOX GATE VALVE & WELL SQUARE CATCH BASIN

TRAFFIC SIGNAL POLE TRAFFIC PEDESTAL SIGNAL

ROUND CATCH BASIN

SANITARY SEWER MANHOLE

TREE

×705.00 SPOT ELEVATION STEEL POST LIGHT POLE UTILITY POLE GUY WIRE

ASPHALT PAVEMENT CONCRETE SURFACE

BRICK PAVER

CIVIL ENGINEERING PLANS SHEET INDEX

REMOVAL SITE PLAN

BOUNDARY AND TOPOGRAPHICAL SURVEY

S-01 PRELIMINARY GRADING PLAN

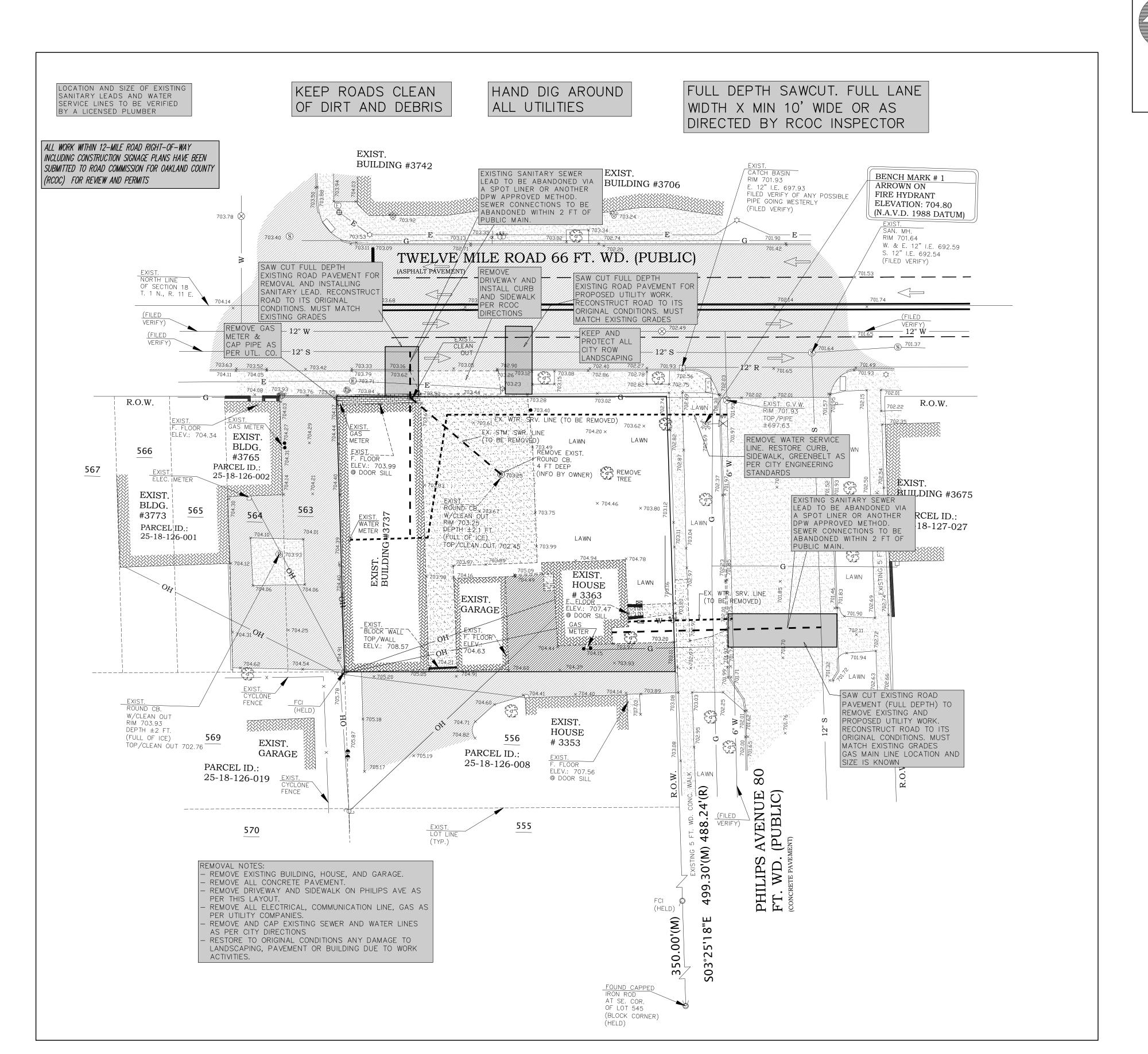
C-03 UTILITY / STORM MANAGEMENT PLAN AND DETAILS

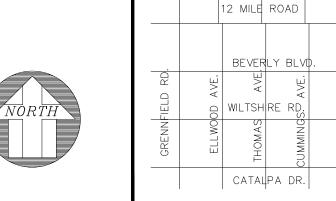
C-04 STORM SEWER MANAGEMENT DETAILS

C-05 SOIL EROSION MEASURES AND DRIVEWAY DETAILS STORM SEWER MANAGEMENT EXHIBITS

1 AND 2 MAINTENANCE OF TRAFFIC PLAN LP-01 LANDSCAPING PLANTING PLAN

PHOTOMETRIC PLAN PH-01





LOCATION MAP NOT TO SCALE

6-21-22 | SITE PLAN REVIEW COMMENT 5-27-22 | PER CITY COMMENTS 3-14-22 | PER CITY COMMENTS 02/17/22 SITE PLAN REVIEW

CONSULTING INC.

MARK DATE DESCRIPTION

GHASSAN KHALAF, P.E. TEL: 313-377-9449

e-mail: gkci@outlook.com ADDRESS: 5644 MIDDLEBELT RD

GARDEN CITY, MI 48135

COPYRIGHT

by my hand and seal.

DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.

I hereby certify that this plan and specification was prepared by me or under my direct supervision and that I am a duly registered Architect or Engineer under the Laws of the State of Michigan

GHASSAN KHALAF ENGINEER 56670



THE PHILLIP **ROWHOMES**

3737 TWELVE MILE BERKLEY, MI 48072

DRAWN BY: NL DESIGNED BY: GK CHECKED BY

NOTE:

OWNER AND THE CONTRACTORS ARE THE SOLELY RESPONSIBLE FOR THE PERFORMANCE AND THE EXECUTION OF THE PROJECT AND IT IS THEIR RESPONSIBILITY FOR THE SAFETY OF THE BUILDING STRUCTURE AND THE MATERIALS USED TO RENOVATE AND CONSTRUCT THE PROPOSED FACILITY SHOWN ON THE PLANS

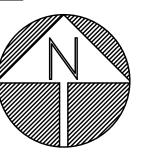
SHEET TITLE

REMOVAL SITE PLAN

SCALE

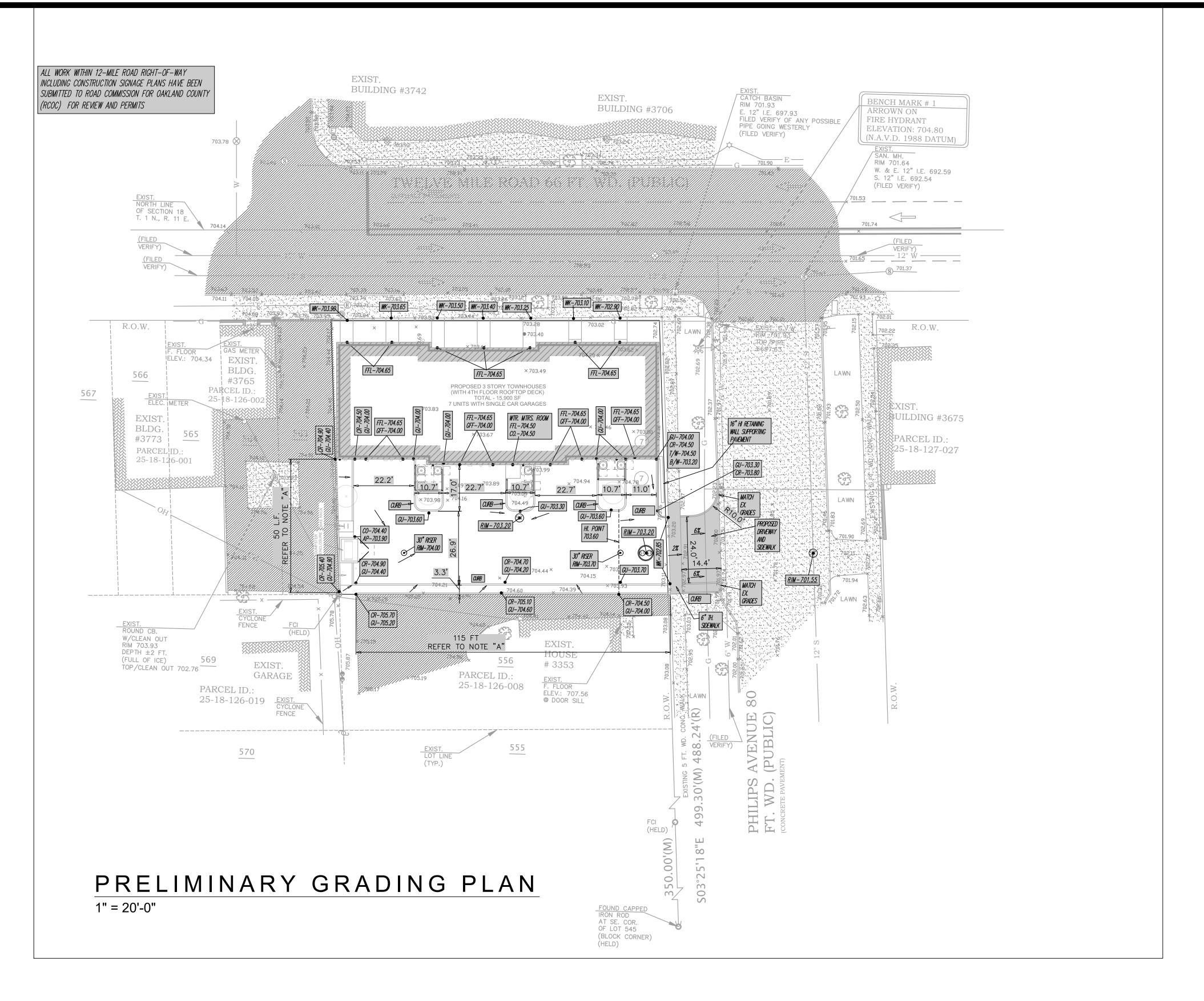
AS NOTED

SHEET No.

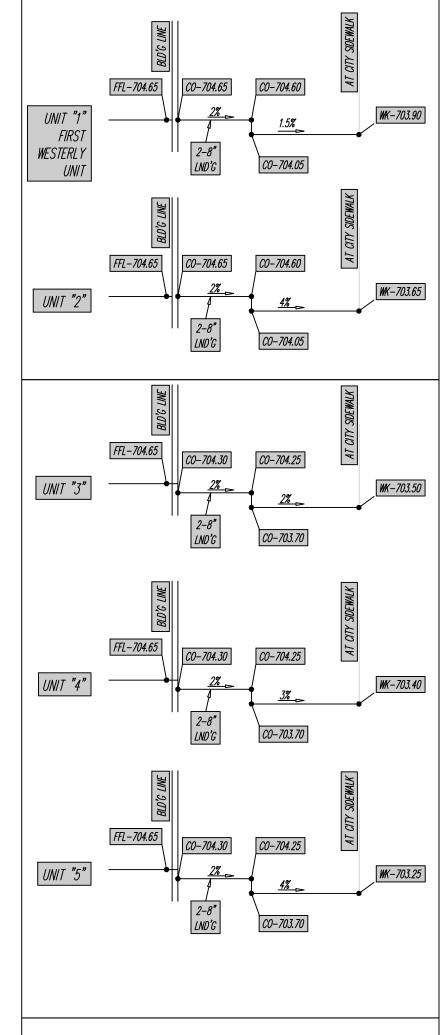


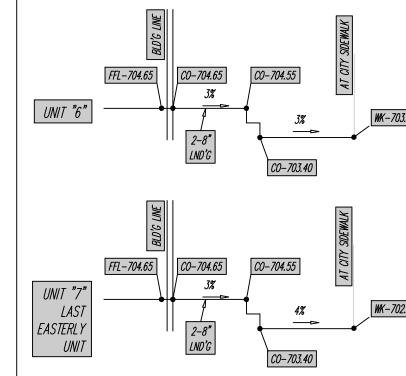
CONSTRUCTION STAKING NOTE: CONTRACTOR MUST FOLLOW THE ARCHITECTURAL PLANS INCLUDING FOUNDATION PLANS TO OBTAIN THE MOST ACCURATE DIMENSIONS OF PROPOSED BUILDING. CONTRACTOR MUST LOCATE PROPERTY CORNERS PRIOR TO ANY

CONSTRUCTION ACTIVITIES









6-21-22 | SITE PLAN REVIEW COMMENT 5-27-22 PER CITY COMMENTS 3-14-22 PER CITY COMMENTS 02/17/22 SITE PLAN REVIEW

MARK DATE DESCRIPTION

CONSULTING INC.

GHASSAN KHALAF, P.E. TEL: 313-377-9449

e-mail: gkci@outlook.com
ADDRESS: 5644 MIDDLEBELT RD

GARDEN CITY, MI 48135 COPYRIGHT

DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.

I hereby certify that this plan and specification was prepared by me or supervision and that I am a duly registered Architect or Engineer under the Laws of the State of Michigan by my hand and seal.





THE PHILLIP **ROWHOMES**

3737 TWELVE MILE BERKLEY, MI 48072

DRAWN BY: NL DESIGNED BY: GK CHECKED BY

OWNER AND THE CONTRACTORS ARE THE SOLELY RESPONSIBLE FOR THE PERFORMANCE AND THE EXECUTION OF THE PROJECT AND IT IS THEIR RESPONSIBILITY FOR THE SAFETY OF THE **BUILDING STRUCTURE AND THE MATERIALS** USED TO RENOVATE AND CONSTRUCT THE PROPOSED FACILITY SHOWN ON THE PLANS

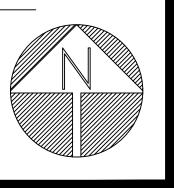
SHEET TITLE

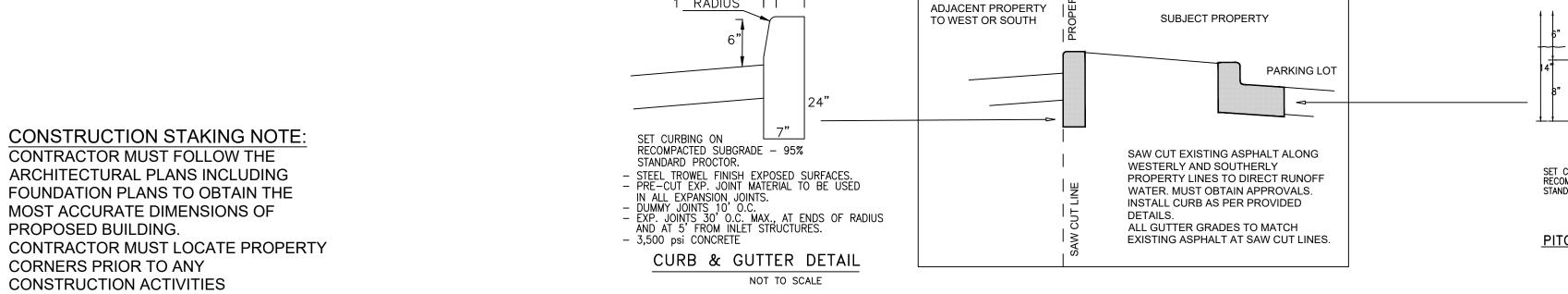
GRADING PLAN

SCALE

AS NOTED

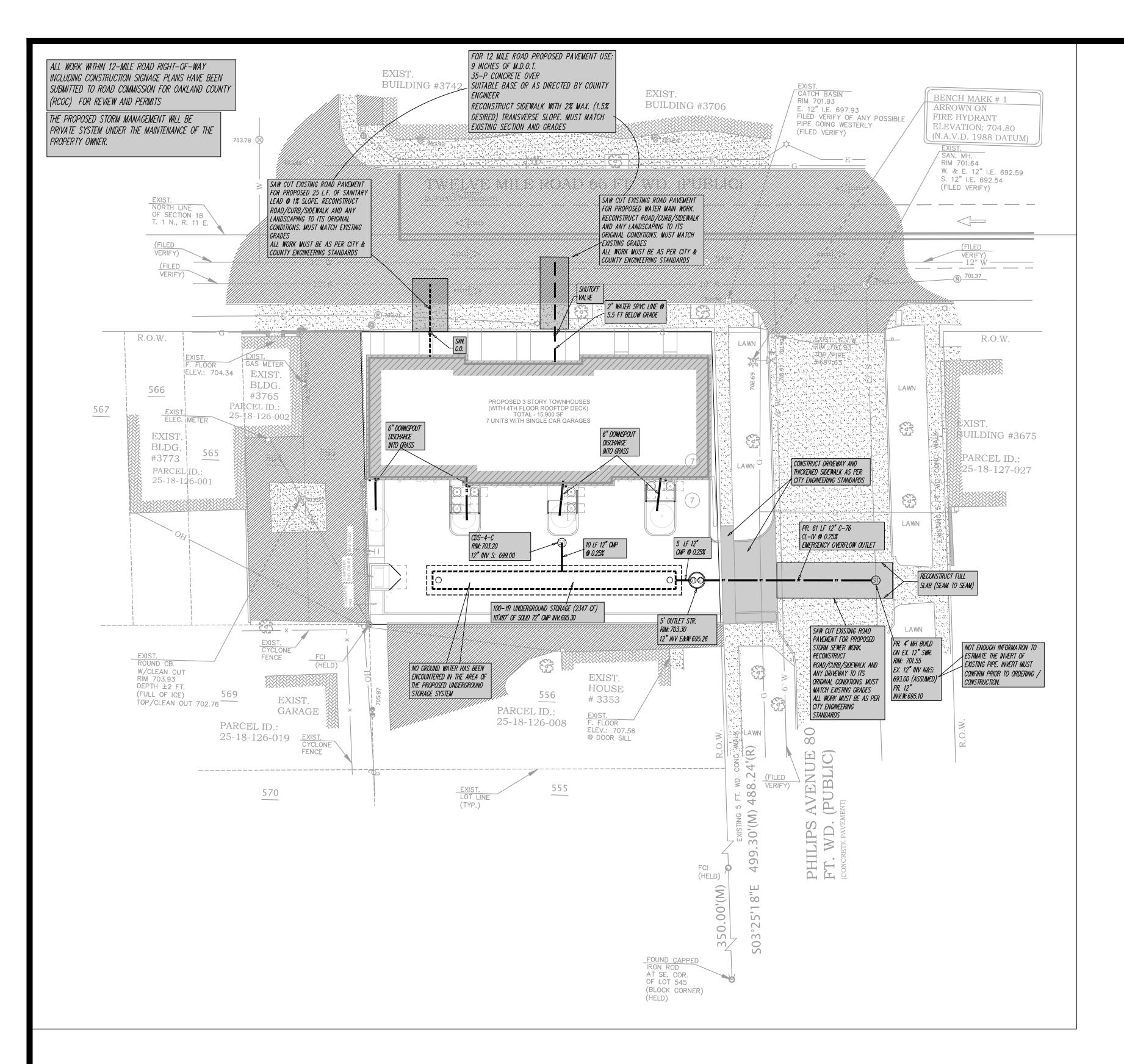
SHEET No.





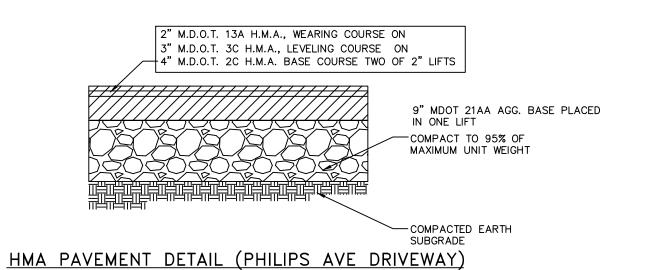
PITCH OUT (REVERSED) CURB

FOUNDATION PLANS TO OBTAIN THE MOST ACCURATE DIMENSIONS OF PROPOSED BUILDING. CONTRACTOR MUST LOCATE PROPERTY CORNERS PRIOR TO ANY





CONSTRUCTION STAKING NOTE: CONTRACTOR MUST FOLLOW THE ARCHITECTURAL PLANS INCLUDING FOUNDATION PLANS TO OBTAIN THE MOST ACCURATE DIMENSIONS OF PROPOSED BUILDING. CONTRACTOR MUST LOCATE PROPERTY CORNERS PRIOR TO ANY **CONSTRUCTION ACTIVITIES**



SET CURBING ON RECOMPACTED SUBGRADE — 95% STANDARD PROCTOR.

PITCH OUT (REVERSED) CURB

-2" MDOT 4C HMA WEARING COURSE

2" MDOT 3C HMA LEVELING COURSE

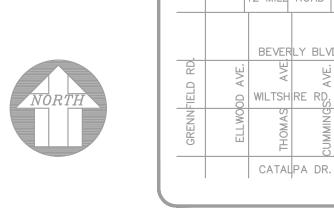
STANDARD DUTY HMA PAVEMENT DETAIL (PARKING LOT)

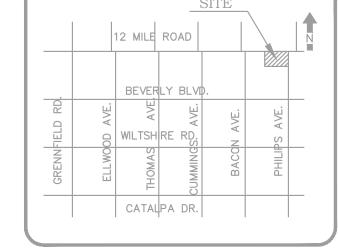
WIDTH PER PLAN

DETAIL FOR CONC. SIDEWALK AND CONC. PAD

WEARING SURFACE

6" MDOT 21AA





LOCATION MAP

NOT TO SCALE

6-21-22 | SITE PLAN REVIEW COMMENT 5-27-22 PER CITY COMMENTS 3-14-22 | PER CITY COMMENTS 02/17/22 SITE PLAN REVIEW

MARK DATE DESCRIPTION

CONSULTING INC.

GHASSAN KHALAF, P.E. TEL: 313-377-9449

e-mail: gkci@outlook.com ADDRESS: 5644 MIDDLEBELT RD

GARDEN CITY, MI 48135

COPYRIGHT

DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.

I hereby certify that this plan and specification was prepared by me or under my direct **GHASSAN** supervision and that I am KHALAF a duly registered Architect **ENGINEER** or Engineer under the Laws No. of the State of Michigan 56670 by my hand and seal.



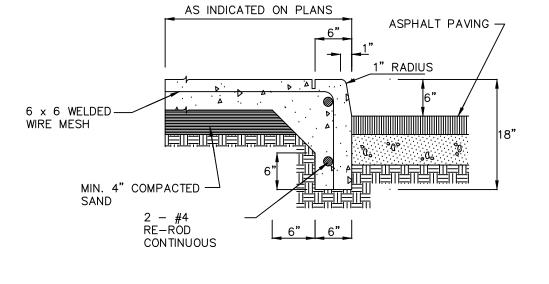
Shassan Khali

THE PHILLIP **ROWHOMES**

3737 TWELVE MILE BERKLEY, MI 48072

DRAWN BY: NL DESIGNED BY: GK CHECKED BY

OWNER AND THE CONTRACTORS ARE THE SOLELY RESPONSIBLE FOR THE PERFORMANCE AND THE EXECUTION OF THE PROJECT AND IT IS THEIR RESPONSIBILITY FOR THE SAFETY OF THE BUILDING STRUCTURE AND THE MATERIALS USED TO RENOVATE AND CONSTRUCT THE PROPOSED FACILITY SHOWN ON THE PLANS



INTEGRAL CURB AND WALK

1- STORM SEWER RUN OF TO BE COLLECTED FROM SITE BY USING CDS-4-C (AS INLETS) THEN TREATED MECHANICALLY THEN DISCHARGE INTO UNDER GROUND STORAGE SYSTEM. 2- STORM-CEPTOR 1 HANDLES PEAK DISCHARGE OF 1.0 CFS

3- UNDERGROUND STORAGE CONSISTS OF 72" DIA CMP WITH STORAGE WITHIN STRUCTURAL STONE. STONE VOIDS AT 20%. 4- THEN DISCHARGE INTO OUTLET CONTROL STRUCTURE, WHICH ALSO HANDLE THE EMERGENCY OVER FLOW. 5- 100-YR STORM WILL BE DISCHARGE THRU X" DIA HOLE IN THE OUTLET CONTROL STRUCTURE WALL.

7- EMERGENCY OVERFLOW WILL BE RELEASE ABOVE THE WALL AT THE OUTLET CONTROL THEN INTO 12" PIPE @ 0.25% SLOPE. 8- THEN DISCHARGE WILL GO INTO PROPOSED MANHOLE (TO BE BUILT ON EXISTING COMBINED 12" SEWER LINE ON PHILIPS AVE)

> **EXISTING 6" SANITARY LEAD CHECK:** 1- TOTAL NO OF BATHROOMS = 28 2- TOTAL NUMBER OF KITCHENS = 7

3- TOTAL NUMBER OF LAUNDRIES = 7

FROM TABLE 709.1 (MPC 2015) DRAINAGE FIXTURE UNITS FOR FIXTURES AND GROUPS 1- BATHROOM = 5 2- KITCHEN SINK = 2

3- LAUNDRY = 1

TOTAL DRAINAGE FIXTURE UNITS FOR THE PROPOSED BUILDING

28X5 (BATHROOM) + 7X2 (KITCHEN) + 7X1 (LAUNDRY)= 161 (DFU)

TOTAL No. OF (DFU) [CAPACITY] FOR EXISTING LEAD = 700 DFU ASSUMING EXISTING LEAD IS 6" AT 1/8" PER FOOT OR 1% SLOPE FROM TABLE 710.1(1) (MPC 2015) ... O.K.

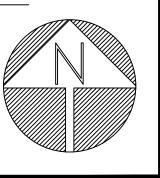
SHEET TITLE

UTILITY / STORM MANAGEMENT PLAN AND DETAILS

SCALE

AS NOTED

SHEET No.



Land Use Summary Existing Proposed **Conditions** Characteristic Conditions Total Development Area (ac) 0.28 0.28 Impervious Area (ac) 0.19 0.23 Total Pervious Area (ac) 0.08 0.04 Pervious Area Breakdown by Cover Type 0.00 Meadow/fallow/natural areas (non-cultivated) (ac) 0.00 Predominant NRCS Soil Type (A, B, C, or D) N/A N/A Improved areas (turf grass, landscape, row crops) (ac) 0.04 0.08 Predominant NRCS Soil Type (A, B, C, or D) Type C Type C 0.00 0.00 Wooded Areas (ac) redominant NRCS Soil Type (A, B, C, or D) N/A N/A 1,090.09 Calculated CPVC Volume (cubic feet) CPVC Volume Provided (cubic feet) 0.00 CPRC Volume Provided (cubic feet) 1,593.21

CONSTRUCTION STAKING NOTE CONTRACTOR MUST FOLLOW THE **ARCHITECTURAL** PLANS INCLUDING **FOUNDATION PLANS** TO OBTAIN THE MOST ACCURATE DIMENSIONS OF PROPOSED

TRAFFIC RATED MANHOLE

SURFACE

VEHICULAR WEARING

NOT THE RISER.

CORRUGATIONS.

COMPACTED

750.27

SUBGRADE

OR CATCH BASIN (BY CONTRACTOR

GRATE FRAME INSIDE DIAMETER

APPROXIMATELY (RISER Ø + 3")

REINFORCED CONCRETE MANHOLE CAP

1. THE CONCRETE CAP (BASE COLLAR/SLAB) SHALL BE SIZED AND DESIGNED

2. THE CONCRETE CAP SHALL BE SIZED TO PROVIDE AN ADEQUATE BOTTOM

ENOUGH SO THAT THE CONCRETE CAN NEVER ENGAGE WITH THE RISER

AREA BASED ON THE ALLOWABLE BEARING CAPACITY OF THE SOIL.

3. THE FLEXIBLE JOINT MATERIAL (RECYCLED VINYL OR EQ.) TO BE STIFF

BY OTHERS SO THAT THE LOADS ARE TRANSMITTED TO THE SOIL, AND

(BASE COLLAR/SLAB) DESIGNED BY ENGINEER

SIZE REINFORCING

BY ENGINEER

- SHOULD EQUAL

BUILDING

3737 12 Mile Rd. Project

Infiltration rate = 0.00 in/hr		in/hr	Infiltration rate > 0.24in/hr? No Dry Pond Design? No		
Surface Type	A (ac)	С	AxC		
Pervious	0.04	0.25	0.01	1860	
Impervious	0.23	0.95	0.22	10127 84.5% Yes	
Total	0.275		0.23	11987 No	
C _{ave} = 3	Σ(AxC)/A				
$C_{ave} = 0$	$C_{ave} = 0.23 / 0.275 = 0.84$			0.84	
TIME OF CONCENTE Sheet Flow $T_1 = 1$		JLATIONS			
$V = K \times S^{0.5}$				Sheet Flow	
S =	2.00			2.00 %	
K =	0.48			0.48	
L = 87.00 ft				87.00 ft	
$T_1 = 87 / (0.48 \times 2^{0.5} \times 60) = 2.136 \text{ min.}$			2.136 min.	2.14 min.	
Shallow Flow					
T ₂ =	L/ 3600V				
V =	2.50	f/sec		2.50 Shallow Flow	

10.00 ft 10.00 ft $T_1 = 10 / (2.5 \text{fps x } 3600) = 0.001 \text{ min}$ 0.00 min.

3 min

 $I_{100} = 83.3 / (9.17 + T)^{0.841}$ $I_{100} = 83.3 / (9.17 + 3)^{0.81} = 11 in/hr$ 11.00 in/hr $V_{CPVC} = A \times C \times 4719$ $V_{CPVC} = 0.275 \times 0.84 \times 3,630 = 1090.09 \text{ ft}$ 1.090.09 ft³ Infiltration

 $V_{CPRC} = 0.275 \times 0.84 \times 6,897 = 1593.21 \text{ ft}$ 1.593.21 ft Bank Ful $Q_{allowable} = 1.1055 - 0.207 Ln(A)$ (max. 1.0 cfs/ac) $Q_{\text{allowable}} = 1.1055 - 0.207 \, \text{Ln} \, (0.275) = 1.37 \, \text{cfs/ac}$ 1.37 cfs/ac $Q_o = A \times Q_{allowable}$ $Q_0 = 0.275 \times 1 = 0.28 \text{ cfs}$ 0.28 cfs

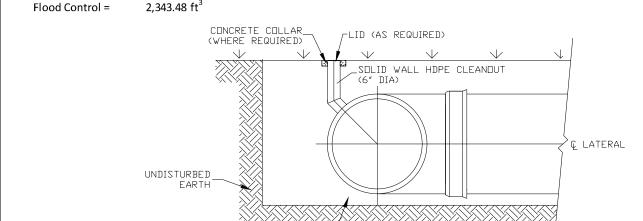
 $Q_i = C \times I \times A$ $Q_i = 0.84 \times 11 \times 0.275 = 2.54 \text{ cfs}$ 2.54 cfs $V_r = A \times C \times 18,900$ $V_r = 0.275 \times 0.84 \times 18,900 = 4365.9 \text{ ft}$ 4,365.90 ft⁻³ $V_s = V_r x (0.206 - 0.15 Ln (Q_o / Q_i))$

The Site Plan must be designed to accommodate the following volumes: $CPCV = 1.090.09 \text{ ft}^3$

 $V_s = 4365.9 x (0.206 - 0.15 Ln (0.28 / 2.54)) = 2343.48 ft3$

 $CPRC = 1,593.21 \text{ ft}^3$ Volume Control is NOT met, then:

 $V_{CPRC} = A \times C \times 6,897$

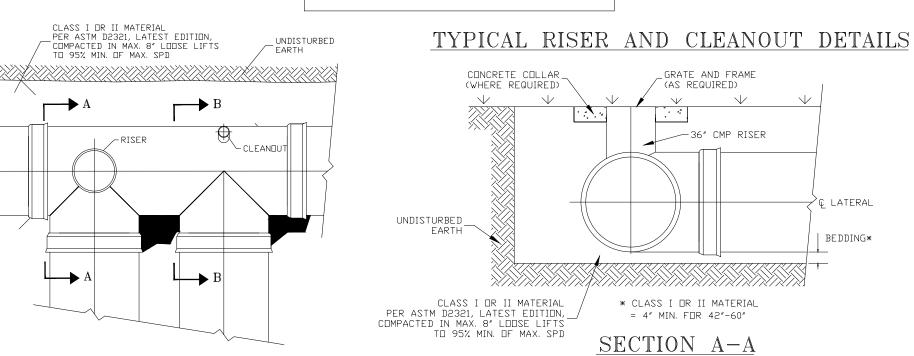


CLASS I OR II MATERIAL PER ASTM D2321, LATEST EDITION, COMPACTED IN MAX. 8" LODSE LIFTS TO 95% MIN. OF MAX. SPD SECTION B-B

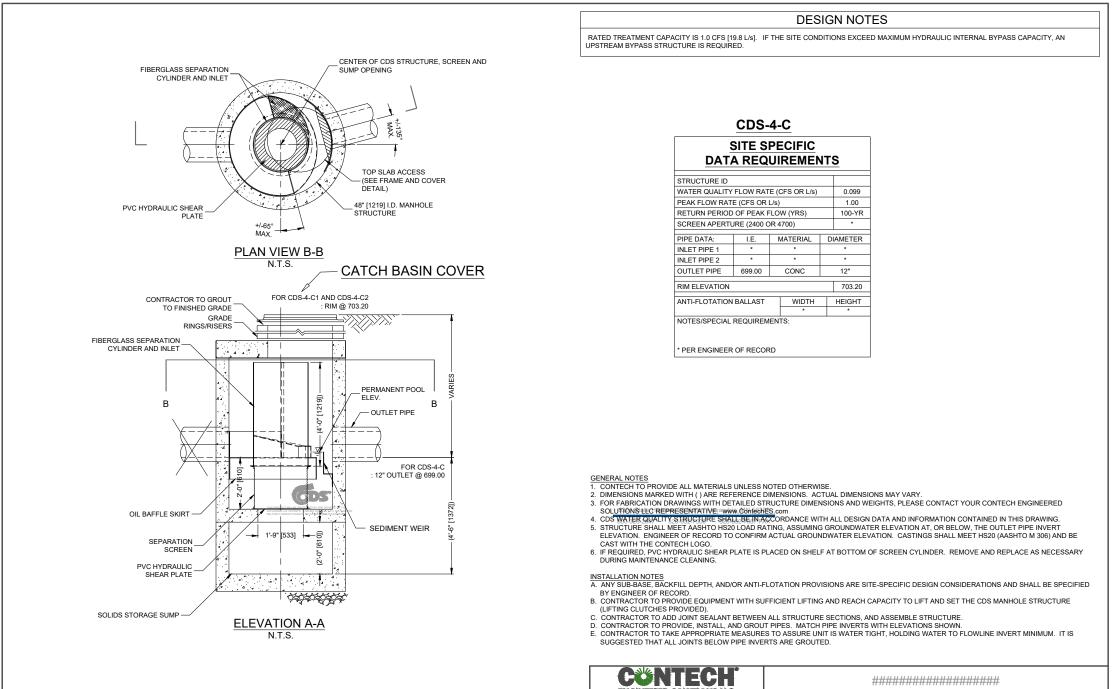
NOT TO SCALE

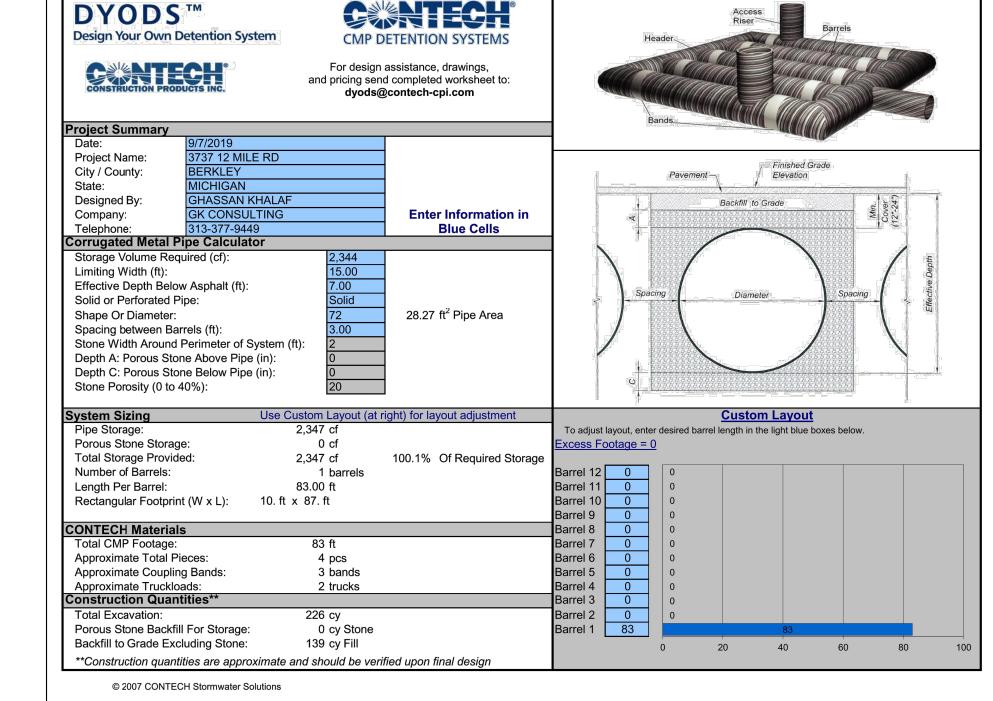
100-Year Storage

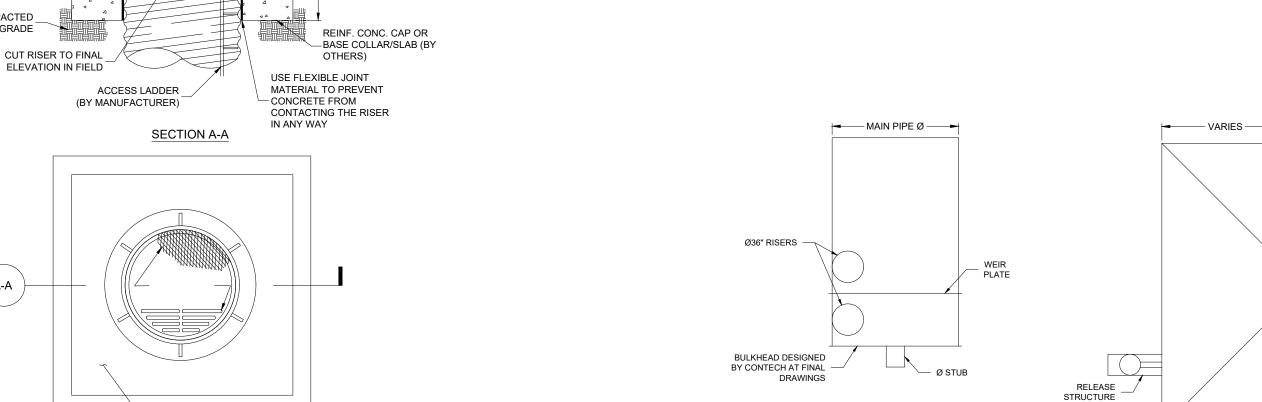
2,343.48 ft³

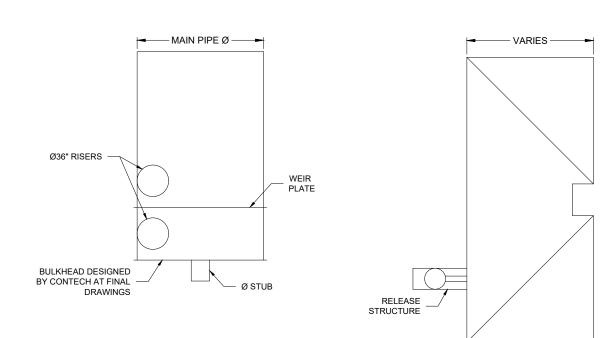


USE CDS-4-C INLET (TO TREART MAX. 1.0 CFS 100-YR STORM)



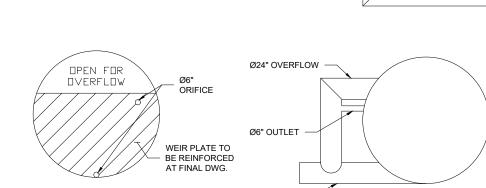


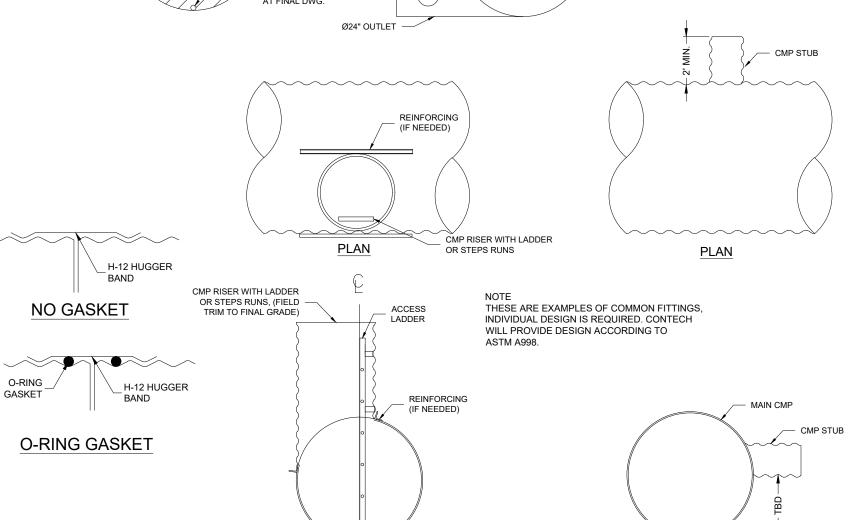




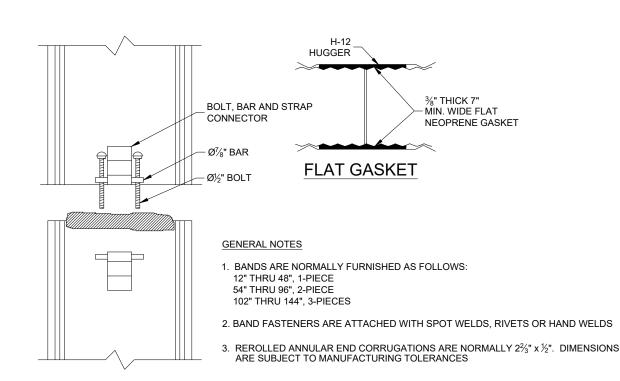
############

STANDARD DETAIL



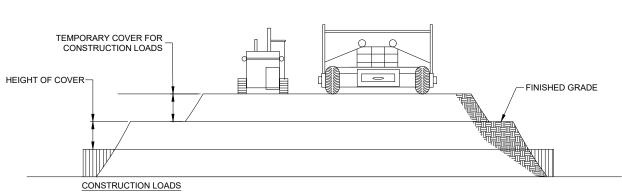


RISER SECTION



CONNECTION DETAIL SINGLE BOLT. BAR AND STRAP

STUB SECTION



FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED. OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE

PIPE SPAN, INCHES	AXLE LOADS (kips)				
	18-50	50-75	75-110	110-150	
	MINIMUM COVER (FT)				
12-42	2.0	2.5	3.0	3.0	
48-72	3.0	3.0	3.5	4.0	
78-120	3.0	3.5	4.0	4.0	
126-144	3.5	4.0	4.5	4.5	

*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

INSTALLATION SPECIFICATION

FOUNDATION/BEDDING PREPARATION

PRE-CONSTRUCTION MEETING IT IS RECOMMENDED THAT PRIOR TO MANUFACTURING OF THE DETENTION SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE DETENTION SYSTEM, THE GENERAL SUB CONTRACTORS AND THE ENGINEER.

PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE THE PREPARATION IS COMPLETE, THE 4 INCHES OF A WELL-GRADED GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

IT IS RECOMMENDED THE BACKFILL SHALL BE AN A1, A2 OR A3 GRANULAR FILL PER AASHTO M-145 OR A GRANULAR FILL AS APPROVED BY THE ENGINEER (SEE INSTALLATION GUIDELINES). THE MATERIAL SHALL 8-INCH LOOSE LIFTS AND COMPACTED TO 90% AASHTO T99 STANDARD PROCTOR DENSITY. WHEN PLACING LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL
BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG
THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE

MINIMUM COVER BACKFILL SHALL BE PLACED TO THE PROPER ELEVATION OVER THE SYSTEM AS OUTLINED IN THE PLANS. MINIMUM COVER
FOR CONSTRUCTION LOADING NEEDS TO BE DETERMINED BASED ON THE TYPE OF EQUIPMENT THAT IS CONSTRUCTION. PROPER COVER FOR CONSTRUCTION EQUIPMENT SHALL BE DETERMINED PRIOR TO THE PRE 6-21-22 | SITE PLAN REVIEW COMMENTS |5-27-22 | PER CITY COMMENTS |02/17/22| SITE PLAN REVIEW

MARK DATE DESCRIPTION

CONSULTING INC.

GHASSAN KHALAF, P.E.

TEL: 313-377-9449 e-mail: gkci@outlook.com ADDRESS: 5644 MIDDLEBELT RD

COPYRIGHT

DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.

GARDEN CITY, MI 48135

hereby certify that this plan and specification vas prepared by me or under my direct **GHASSAN** supervision and that I an KHALAF a duly registered Architect **ENGINEER** or Engineer under the Laws of the State of Michigan 56670 by my hand and seal.



THE PHILLIP **ROWHOMES**

3737 TWELVE MILE BERKLEY, MI 48072

DRAWN BY: NL **DESIGNED BY: GK CHECKED BY**

NOTE:

OWNER AND THE CONTRACTORS ARE THE SOLELY RESPONSIBLE FOR THE PERFORMANCE AND THE EXECUTION OF THE PROJECT AND IT IS THEIR RESPONSIBILITY FOR THE SAFETY OF THE BUILDING STRUCTURE AND THE MATERIALS USED TO RENOVATE AND CONSTRUCT THE PROPOSED FACILITY SHOWN ON THE PLANS

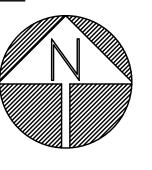
SHEET TITLE

STORM SEWER **MANAGEMENT DETAILS**

SCALE

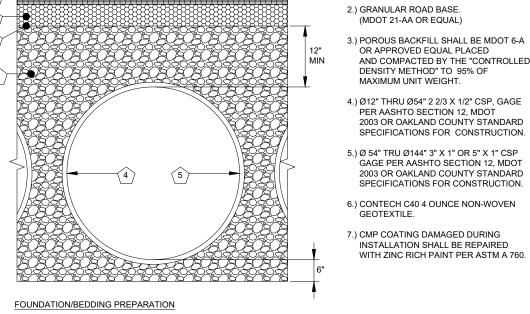
AS NOTED

SHEET No.



MICHIGAN OAKLAND COUNTY

1.) RIGID OR FLEXIBLE PAVEMENT.



PRIOR TO PLACING THE BEDDING. THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER. ONCE

THE MATERIAL SHALL BE PLACED IN 8-INCH LOOSE LIFTS AND COMPACTED TO 95% AASHTO T99 STANDARD PROCTOR DENSITY. WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE

PLACED AS THE BEDDING.

PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (16") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

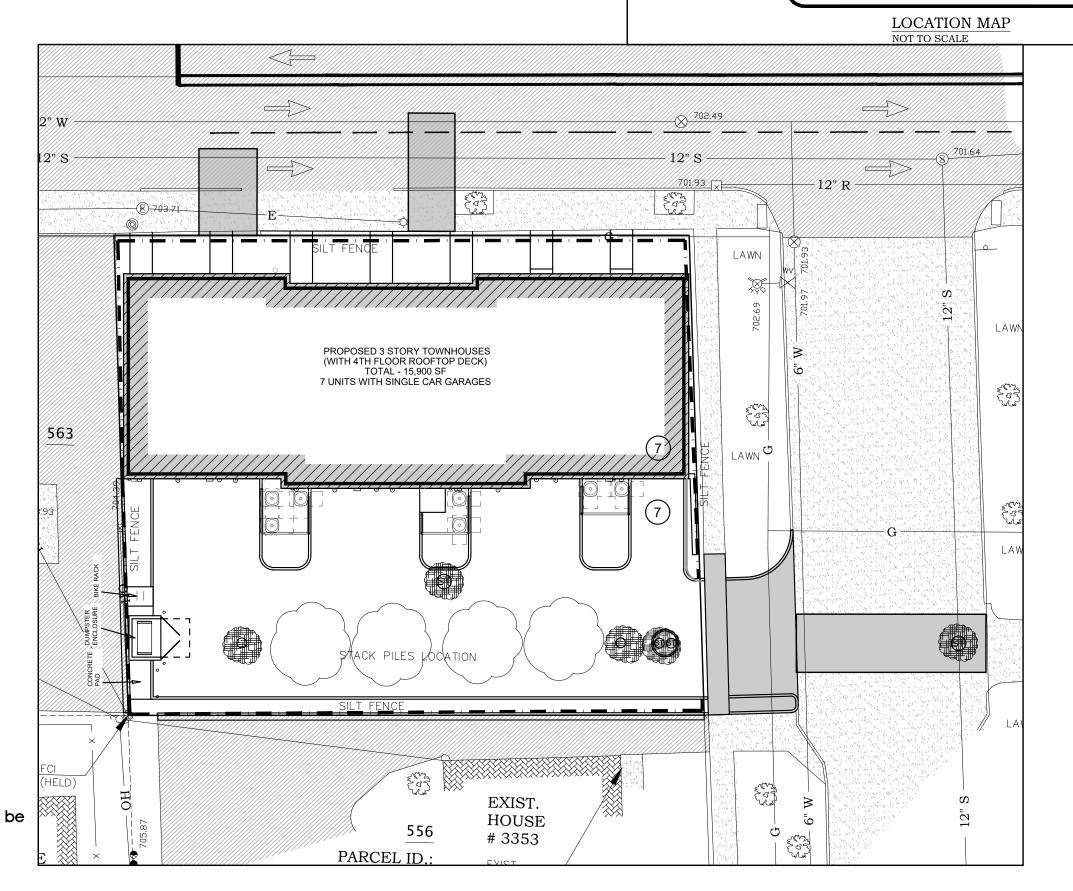
THE FOUNDATION PREPARATION IS COMPLETE, THE 4 INCHES OF A WELL-GRADED GRANULAR MATERIAL SHALL BE

- 1. All erosion and sediment control work shall conform to standards and specifications of the Oakland County Drain Commissioner.
- 2. All temporary and permanent (post construction) soil erosion and sediment control measures shall conform to the CITY OF BERKLEY current MS4 permit. Any conflict between these standards and the MS4 permit, the permit's conditions shall take precedence.
- 3. Daily inspections shall be made by the Contractor for effectiveness of erosion and sedimentation control measures, and any necessary repairs shall be performed without delay.
- 4. Any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways.
- 5. Contractor shall apply temporary erosion and sedimentation control measures when required and as directed on these plans. Temporary measures shall be removed as soon as permanent stabilization of slopes, ditches, and other earth changes have been accomplished per Oakland County Drain Commissioner's standards. This would include temporary sedimentation ponds and temporary SO2 filters.
- 6. Staging the work will be done by the Contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
- 7. Soil erosion control practices shall be established in the early stages of construction by the Contractor. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the site.
- 8. Failure to comply with approved soil erosion and sedimentation measures may result in work stoppage by appropriate authority.
- 9. Exceptions to timing of control measures' installation will only be permitted where trees and stumps need to be removed to install soil erosion and sedimentation control measures.

10. Contractor is to provide the City with permit renewals, violation corrections, and/or releases.

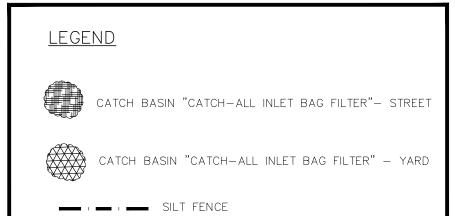
Erosion Control Measures and Sequence of Construction

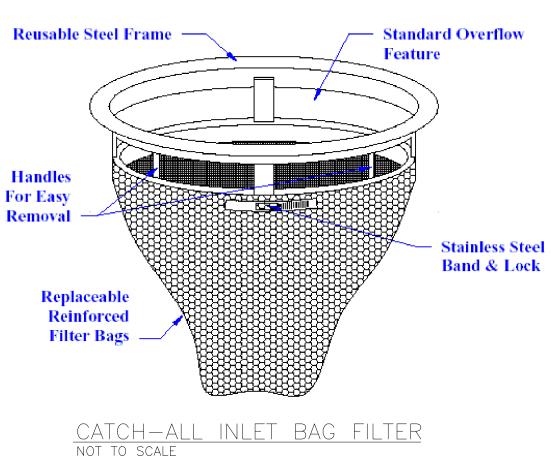
- 1. Install sediment and erosion control systems as shown
- 2. Clear, grub, and complete tree removal
- 3. Install geotextile fabric cloth on all catch basins + inlet structures
- 4. Install tree protection and temporary stone access drive
- 5. Land balancing and storm drainage
- 6. All dirt and mud tracked onto public roads shall be removed immediately
- 7. Street catch basins to be periodically cleaned and filter cloth changed and maintained
- 8. Install utilities and foundation excavation
- 9. Construct swales and sewer extension
- 10. Final grade, spread stockpiled topsoil, seeding
- 11. Parking lot final surface, pavement markings
- 12. Following completion of paving, removal of forms, grading of R.O.W., temporary seed and mulch must be completed.
- 13. After vegetation is established, soil erosion control measures shall be removed

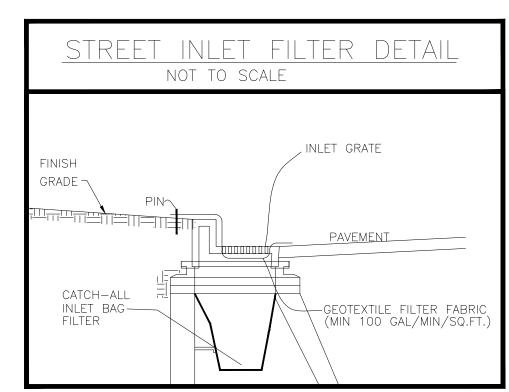


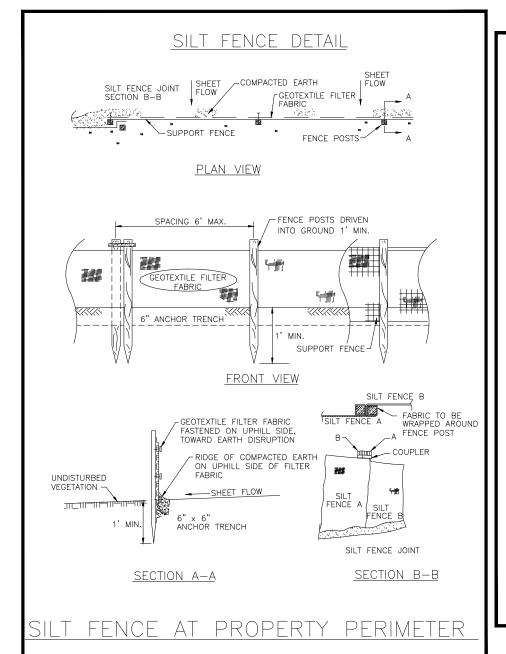
12 MILE ROAD

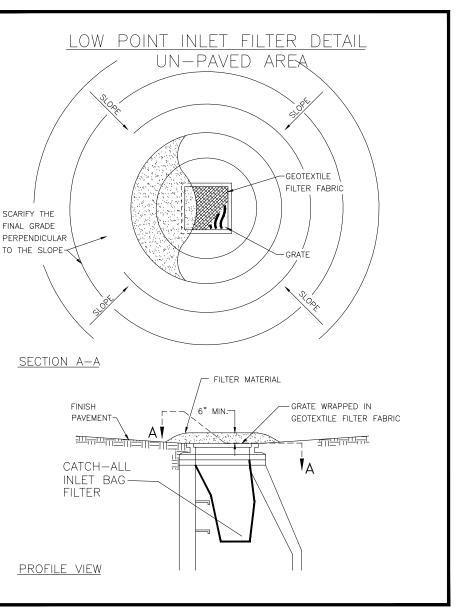
BEVERLY BLVI

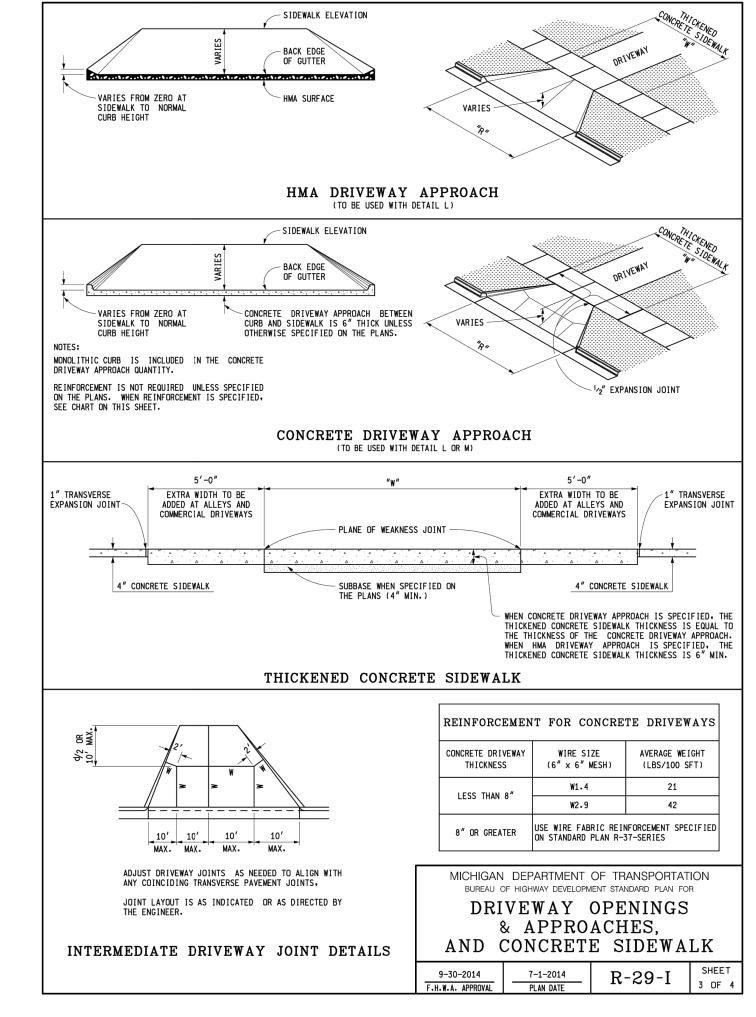


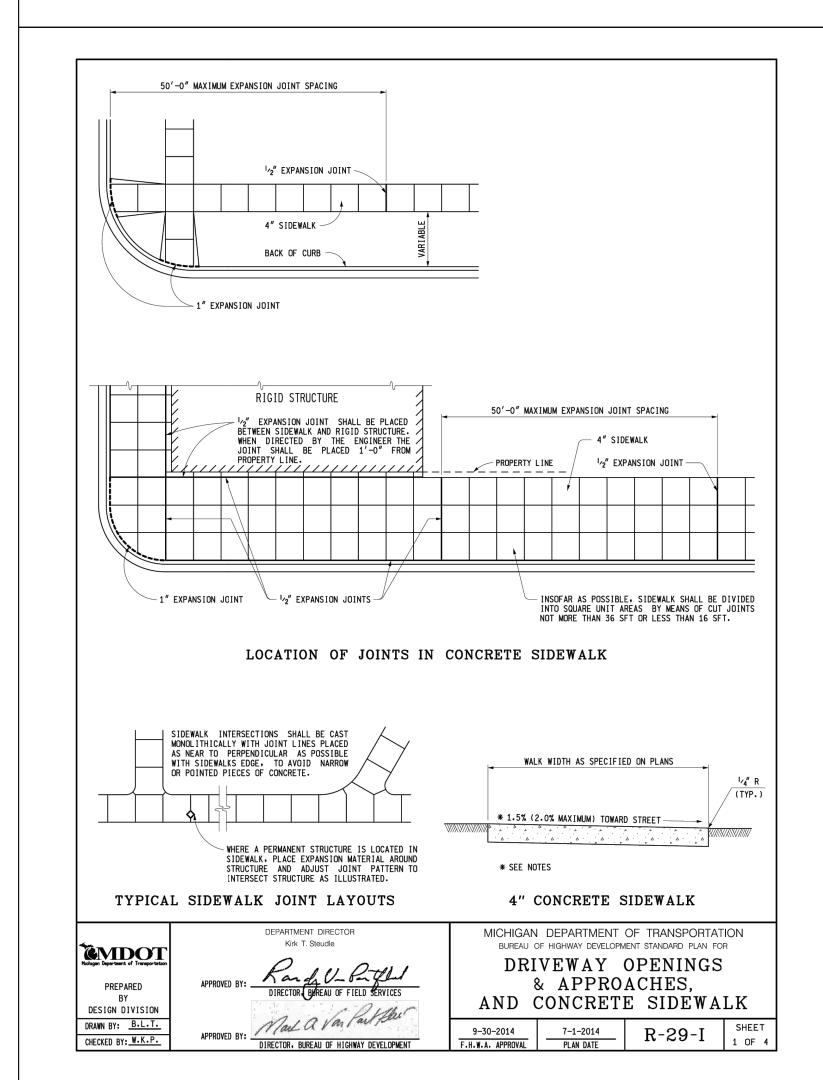


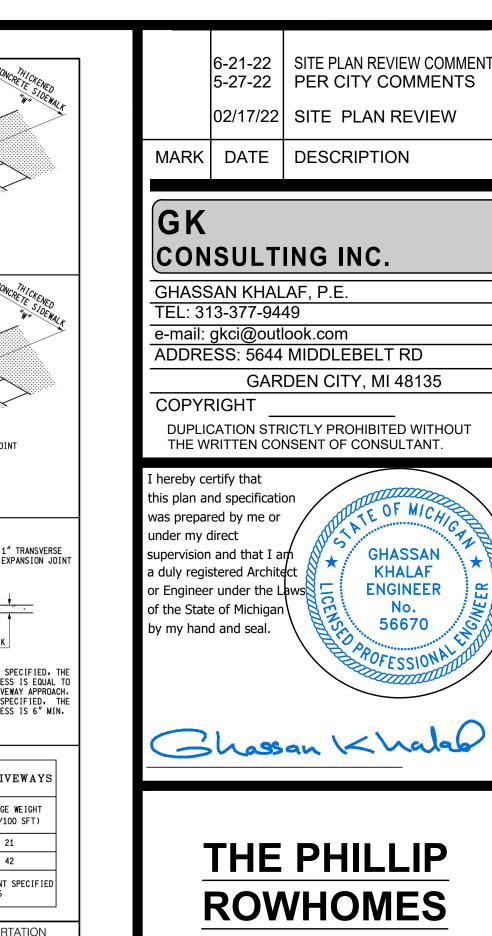












THE PHILLIP **ROWHOMES**

GHASSAN

ENGINEER

56670

KHALAF

3737 TWELVE MILE BERKLEY, MI 48072

DRAWN BY: NL DESIGNED BY: GK CHECKED BY

OWNER AND THE CONTRACTORS ARE THE SOLELY RESPONSIBLE FOR THE PERFORMANCE AND THE EXECUTION OF THE PROJECT AND IT IS THEIR RESPONSIBILITY FOR THE SAFETY OF THE BUILDING STRUCTURE AND THE MATERIALS USED TO RENOVATE AND CONSTRUCT THE PROPOSED FACILITY SHOWN ON THE PLANS

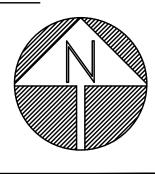
SHEET TITLE

SOIL EROSION MEASURES AND **DRIVEWAY DETAILS**

SCALE

AS NOTED

SHEET No.



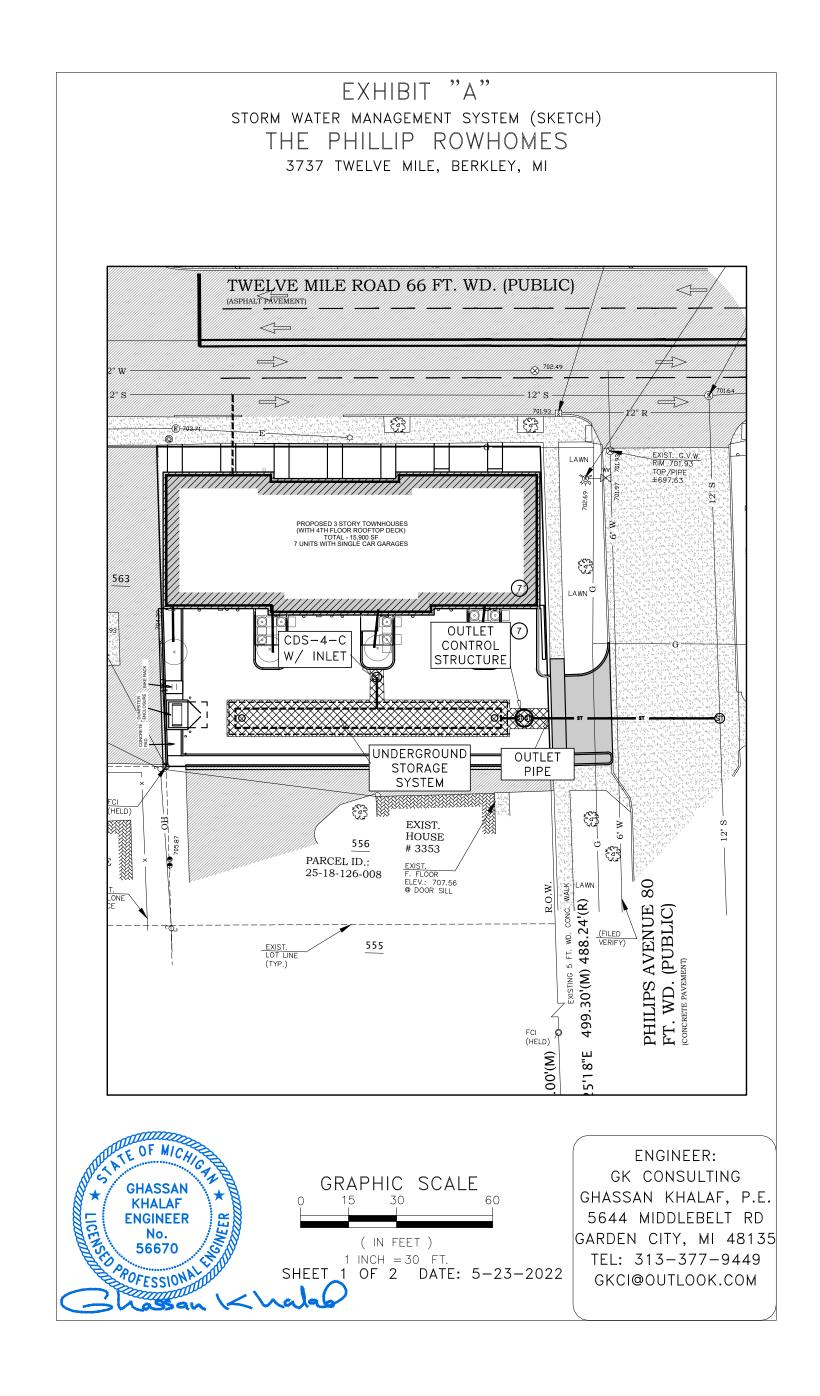


EXHIBIT "A"

STORM WATER MANAGEMENT SYSTEM (SKETCH) THE PHILLIP ROWHOMES 3737 TWELVE MILE, BERKLEY, MI

PROPERTY DESCRIPTION: (AS PROVIDED BY CLIENT)

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF BERKLEY, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND MORE PARTICULARLY DESCRIBED AS:

LOTS 557 TO 562, INCLUSIVE; "THOMAS BROTHERS" BEVERLY PARK SUBDIVISION, OF PART OF NORTH 1/2 OF SECTION 18, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 15 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

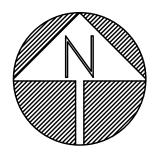
MORE COMMONLY KNOW AS: EXISTING BUILDING # 3737 EXISTING HOUSE & GARAGE # 3363" 12 MILR ROAD, CITY OF BERKLEY, OAKLAND COUNTY, MI 48072 PARCEL ID.: 25-18-126-020

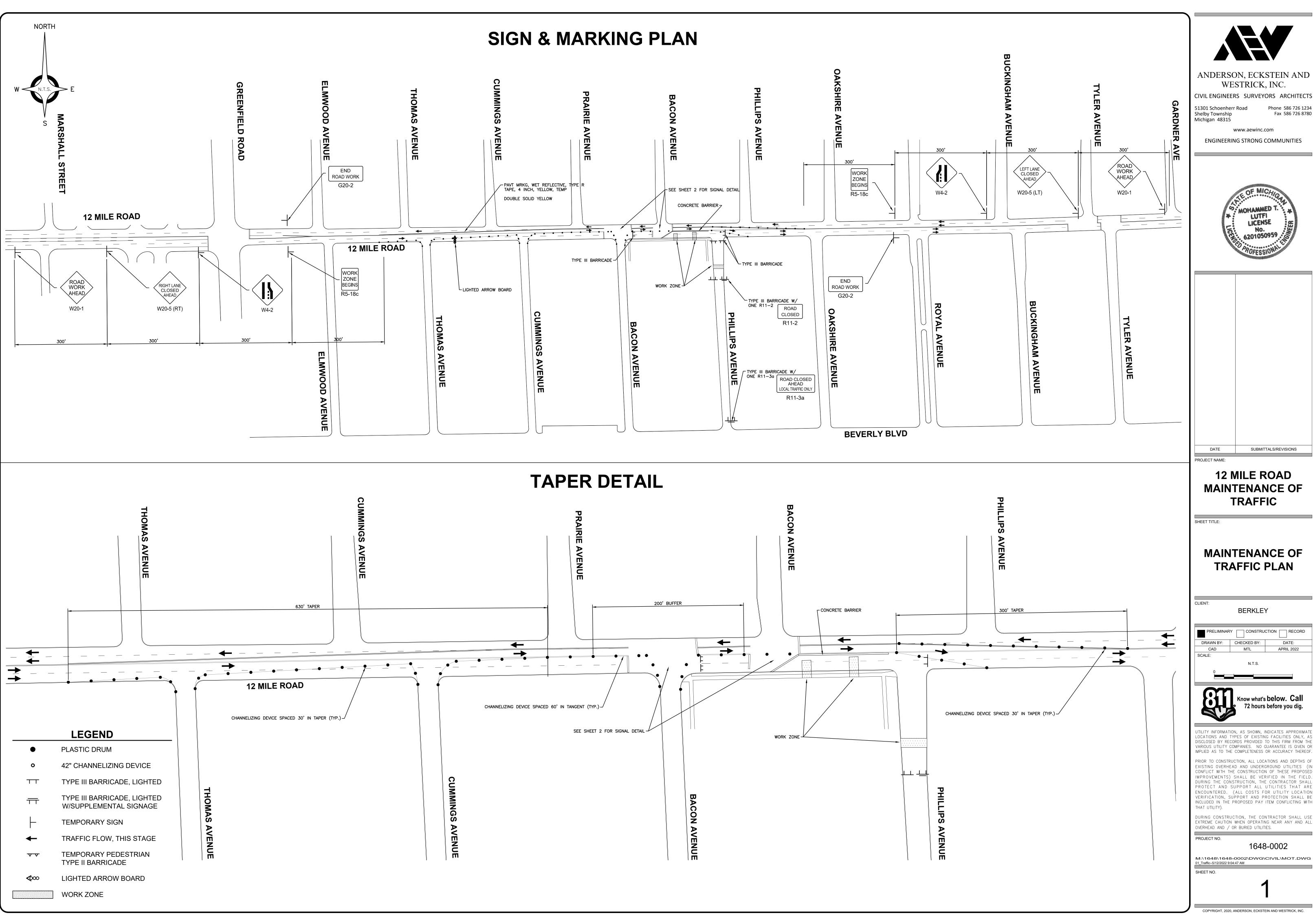
GHASSAN KHALAF ENGINEER No. 56670 SHEET 2 OF 2 DATE: 5-23-2022

ENGINEER: GK CONSULTING GHASSAN KHALAF, P.E. 5644 MIDDLEBELT RD GARDEN CITY, MI 48135 TEL: 313-377-9449 GKCI@OUTLOOK.COM SHEET TITLE

STORM SEWER MANAGEMENT EXHIBITS

SHEET No.







ANDERSON, ECKSTEIN AND WESTRICK, INC.

Shelby Township

www.aewinc.com



12 MILE ROAD MAINTENANCE OF

TRAFFIC

SUBMITTALS/REVISIONS

SHEET TITLE:

MAINTENANCE OF TRAFFIC PLAN

BERKLEY



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS

DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF

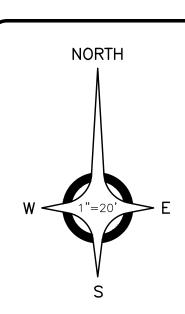
EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH

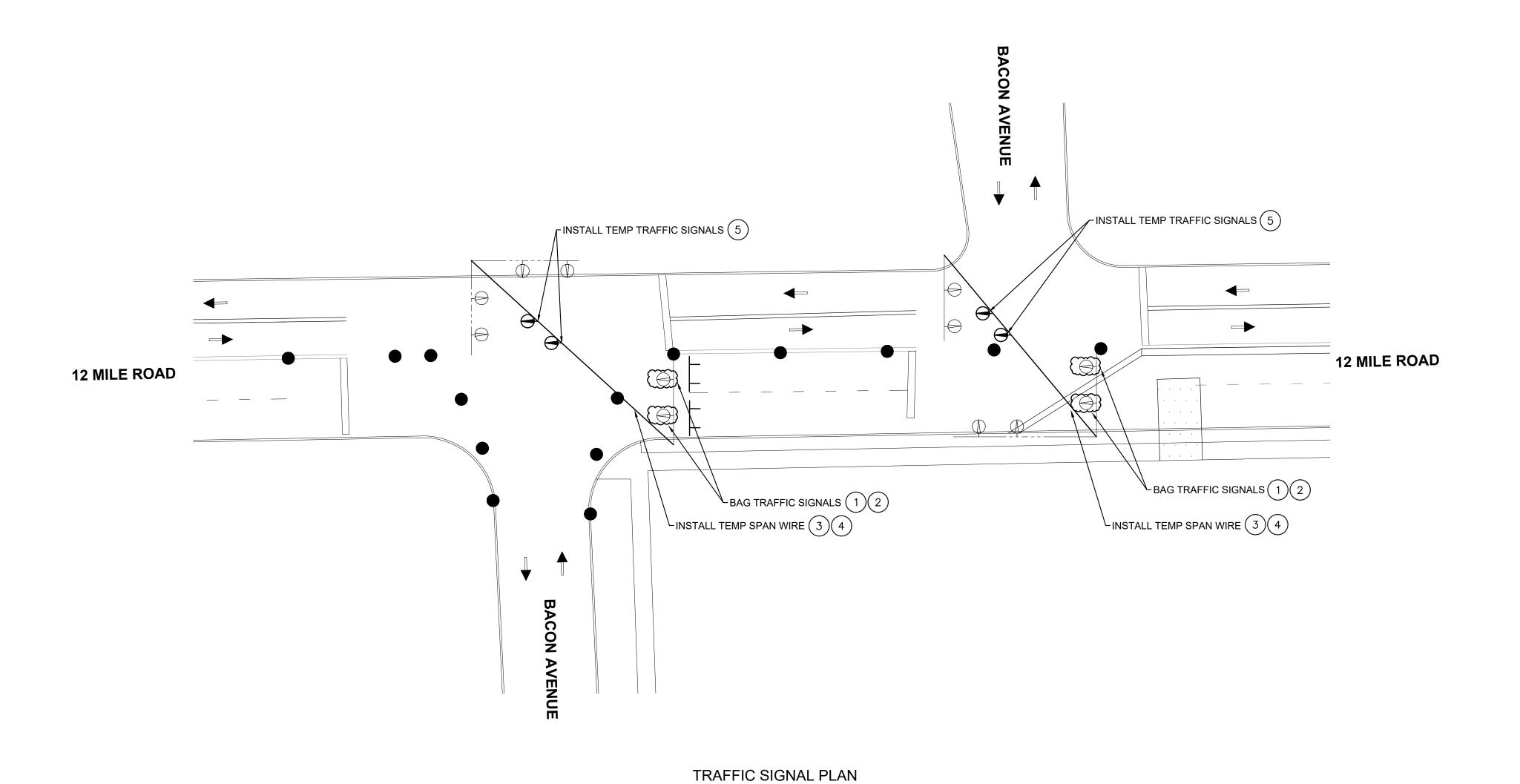
DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

1648-0002

M:\1648\1648-0002\DWG\CIVIL\MOT.DWG

COPYRIGHT, 2020, ANDERSON, ECKSTEIN AND WESTRICK, INC.





•	PLASTIC DRUM

42" CHANNELIZING DEVICE

TYPE III BARRICADE, LIGHTED

TYPE III BARRICADE, LIGHTED W/SUPPLEMENTAL SIGNAGE

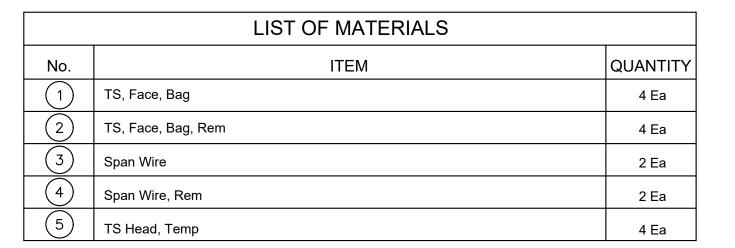
— TEMPORARY SIGN

★ TRAFFIC FLOW, THIS STAGE

TEMPORARY PEDESTRIAN
TYPE II BARRICADE

♦ LIGHTED ARROW BOARD

WORK ZONE



1"=20'

NOTE: REMOVE ALL TEMPORARY SIGNALS, SPAN WIRE, AND TS BAGS AFTER CONSTRUCTION



ANDERSON, ECKSTEIN AND WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS
51301 Schoenherr Road Phone 586 726 1234

Shelby Township Fax 586 726 8780

Michigan 48315

www.aewinc.com
ENGINEERING STRONG COMMUNITIES



DATE SUBMITTALS/REVISIONS
PROJECT NAME:

12 MILE ROAD
MAINTENANCE OF
TRAFFIC

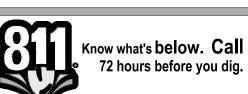
SHEET TITLE:

MAINTENANCE OF TRAFFIC PLAN TRAFFIC SIGNAL PLAN

CLIENT:

BERKLEY

PRELIMINARY CONSTRUCTION RECORD					
DRAWN BY:	CHECKED BY:	DATE:			
JPE	MTL	APRIL 2022			
SCALE:					
	1"=20'				
0	10' 20'	40'			



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH

THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

1648-0002

M:\1648\1648-0002\DWG\CIVIL\MOT.DWG 02_Signal--5/12/2022 8:43:39 AM SHEET NO.

2

COPYRIGHT, 2020, ANDERSON, ECKSTEIN AND WESTRICK, INC.

CITY OF BERKLEY LIGHTING REQUIREMENTS

Sec. 138-143. - Requirements.

All districts.

All lights shall be shielded in such a way as to direct all light toward the Earth's surface and away from reflective surfaces.

Light fixtures or lamps shall be shielded/shaded in such a manner as to direct incident rays away from all adjacent property.

Lights on poles, including the base, shall not be taller than the building whose area they illuminate nor taller than 20 feet, whichever is shorter.

Luminaires shall shield the source of glare above 72 degrees from the vertical.

All fixtures shall meet the building code requirements for their particular zoning district. Lighting shall not be arranged in such a way that it will shine toward roadways, onto adjacent residential property, or into the night sky.

Except as stated elsewhere in these regulations, light levels shall be limited to those published as recommended by the Illuminating Engineering Society of North America. Nonresidential districts.

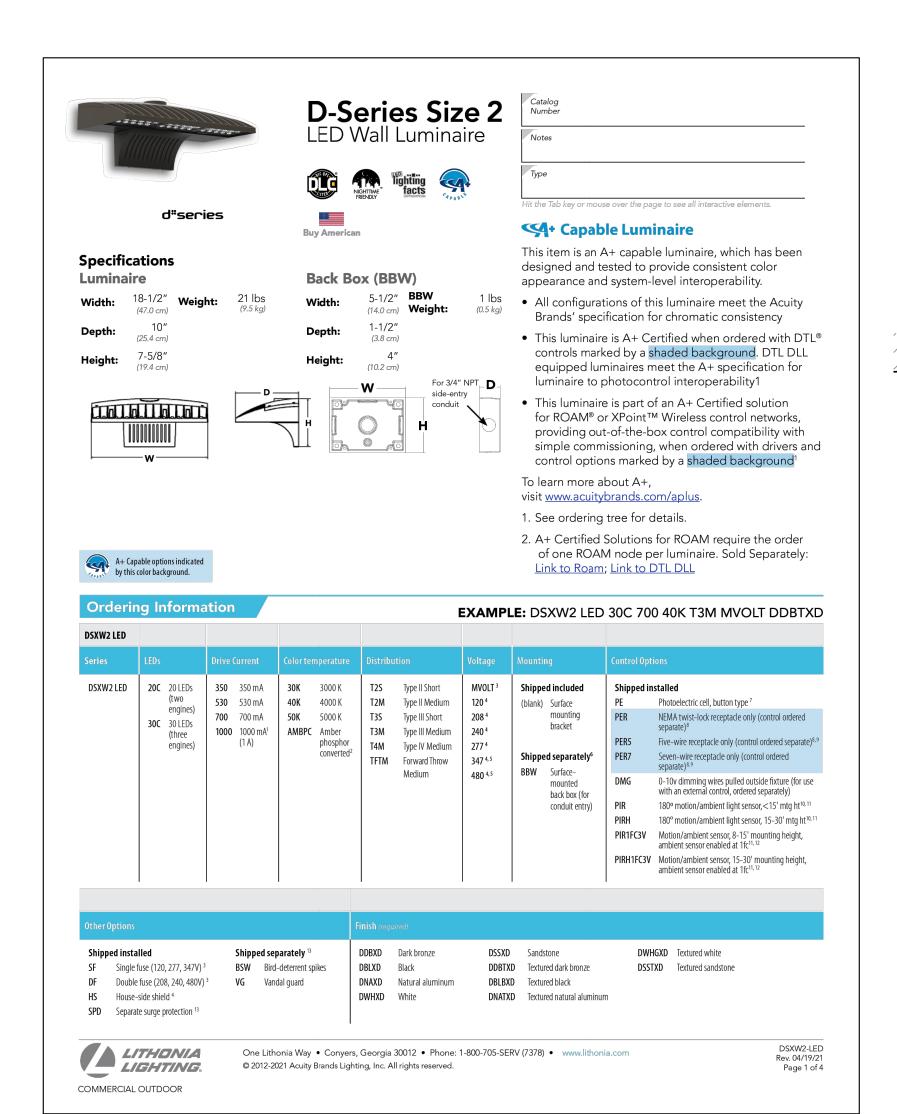
Any light fixture shall be placed in such a manner that no light source is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at eye level.

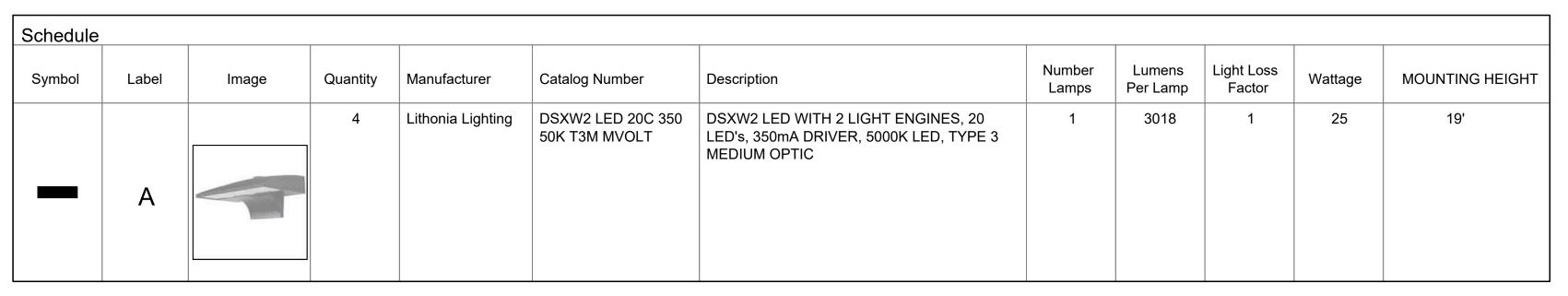
The level of lighting shall not exceed 0.5 footcandles at any residential property line or 1.0 footcandles at any nonresidential property line.

Any canopy structure used at a business location shall have recessed lights with diffusers that do not extend below the surface of the canopy.

Any luminaire on a pole, stand or mounted on a building shall have a shield, an adjustable reflector and nonprotruding diffusor.

Lighting of off-street parking areas. Except for single-family and two-family residential parking lots, all parking lots shall be lighted after dark throughout the hours when they are accessible to the public. Such lighting shall not exceed an intensity of five footcandles nor shall it be less than 1½ footcandles at pavement level. The installation of such lighting shall be hooded or shielded as to reflect the light away from abutting or neighboring property.

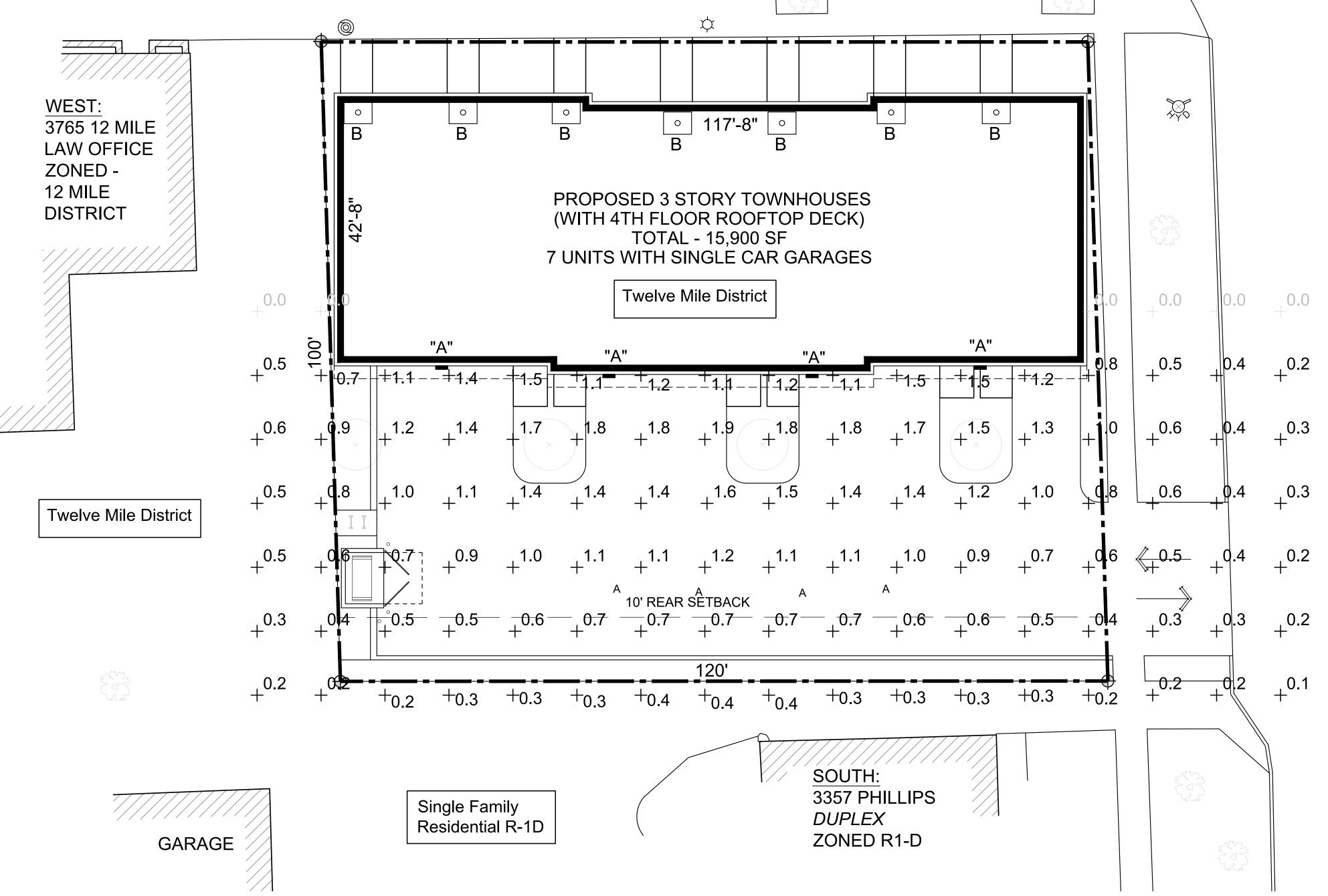




B: 4" RECESSED LED LIGHT (8.5W) UNDER FRONT CANOPY FOR EACH UNIT. TOTAL OF 7. No photometric reading provided due to existence of street lighting

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
Calc Zone #3	+	0.7 fc	1.9 fc	0.0 fc	N/A	N/A	

TWELVE MILE ROAD



MARK DATE DESCRIPTION GK

6-21-22 | SITE PLAN REVIEW COMMENTS 5-27-22 PLAN REVIEW COMMENTS

2-17-22 | SITE PLAN REVIEW

CONSULTING INC.

GHASSAN KHALAF, P.E TEL: 313-377-9449

e-mail: gkci@outlook.com ADDRESS: 5644 MIDDLEBELT RD

COPYRIGHT

DUPLICATION STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CONSULTANT.

GARDEN CITY, MI 48135

GHASSAN

ENGINEER

56670

KHALAF

I hereby certify that this plan and specification was prepared by me or under my direct upervision and that I am

a duly registered Architect or Engineer under the Laws of the State of Michigan y my hand and seal.

- hassan

SHASSAN KHALAF

3737 TWELVE MILE BERKLEY, MI

APPLICANT:

S

OWNER AND THE CONTRACTORS ARE THE SOLELY RESPONSIBLE FOR THE PERFORMANCE AND THE EXECUTION OF THE PROJECT AND IT IS THEIR RESPONSIBILITY FOR THE SAFETY OF THE **BUILDING STRUCTURE AND THE MATERIALS** USED TO RENOVATE AND CONSTRUCT THE PROPOSED FACILITY SHOWN ON THE PLANS

Applicable codes: 2015 Michigan Building Code ANSI 117.1-2003 Accessibility 2009 Michigan Energy Code -ASHREA 90.1-2007 2012 International Fire Code

2015 Michigan Plumbing Code 2015 Michigan Mechanical Coe 2014 national Electric Code, with Part 8

SHEET TITLE

PHOTOMETRIC PLAN

SCALE

AS NOTED

SHEET No.



PHOTOMETRIC PLAN SCALE 1" = 10'

LANDSCAPE DEVELOPMENT NOTES:

PLANTING

- 1. Installation of all plant material shall be in accordance with the latest edition of the American Association of Nurserymen Standards for Nursery Stock and with the specifications set forth by the City of Berkley, Michigan,
- 2. The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for* Nursery Stock.
- 3. The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- 4. Plants designated "B&B" shall be balled and burlapped with firm balls of earth. 5. Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly
- 6. The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- 7. When the plant has been properly set, the pit shall be backfilled with the topsoil

mixture, gradually filling, patting, and settling with water.

- 8. Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4') deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of four inches (4"). Only natural color shredded hardwood bark mulch will be accepted.
- 9. Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- 10.All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- 11.Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- 12.All lawn areas shall be seeded with a Grade A Kentucky Blue Grass blend over the topsoil. Existing lawn in generally good condition but with bare, sparse, or weedy areas must be renovated by filling in low areas, raking, overseeding, and top dressing all sparse and bare spots and continuing with a weed and feed program.
- 13.All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- 14. Plant trees and shrubs no closer than the following minimum distances from sidewalks, curbs, and parking stalls:
- a. Shade/Canopy Trees
- Three feet (3') Five feet (5') b. Ornamental/Flowering Trees Two feet (2')
- c. Evergreen Trees d. Evergreen/Flowering Shrubs
- Four feet (4'). 15.Backfill directly behind all curbs and along sidewalks and compact to the to of curbs or
- walk to support vehicle and pedestrian weight without settling. 16.All landscape areas, especially parking lot islands and landscape beds next to
- buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan. 17.Conversion of all asphalt and gravel areas to landscape planting beds shall be done in
- the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site; b. Call the City for an inspection prior to backfilling; c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
- If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades
- 18. Edging shall consist of Ryerson Steel edging, Perma-Loc aluminum edging, or approved equivalent.
- 19. Elevate the rootballs of Yew shrubs to allow for better drainage.

PLANTING DETAILS

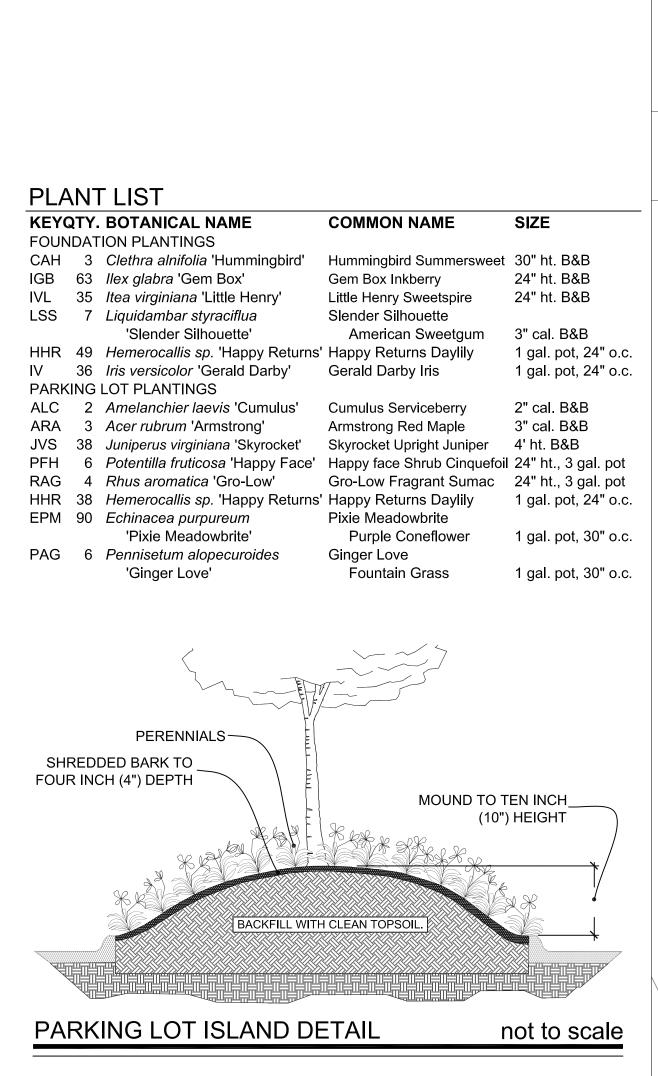
MATERIAL

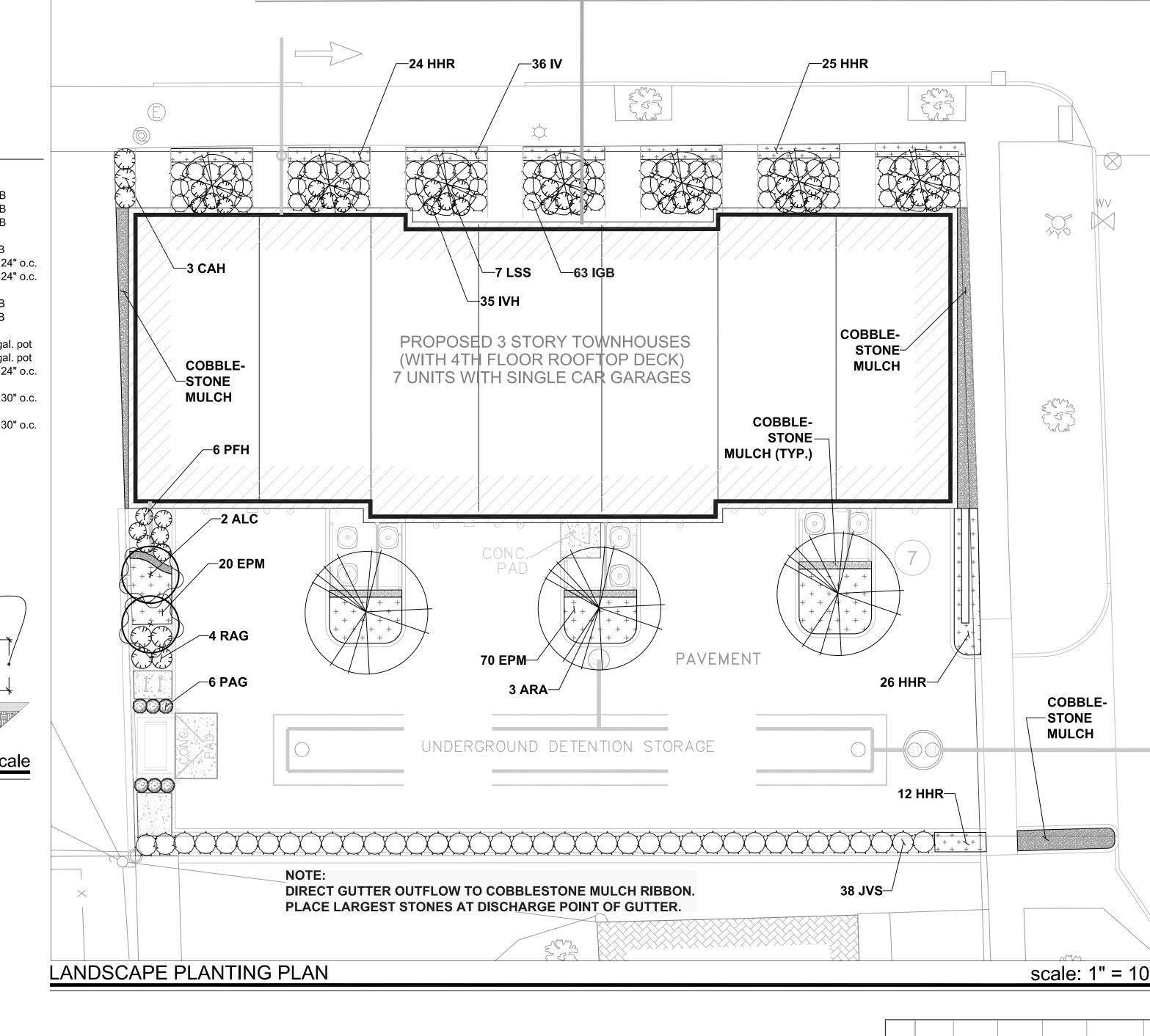
- 1. Required landscape material shall satisfy the criteria of the *American* Association of Nurserymen Standards for Nursery Stock and be: a. Nursery grown; b. State Department of Agriculture inspected; c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched according to the details provided; and e. Guaranteed for one (1) year.
- 2. Topsoil shall be friable, fertile soil of clay loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- 3. The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Chewing Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per
- 4. Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- 5. Proposed perennials shall be full, well-rooted plants.
- 6. Cobblestone mulch to consist of two inch to six inch (2"-6") cobbles, eight inches (8") deep, with geotextile fabric beneath.
- 7. Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

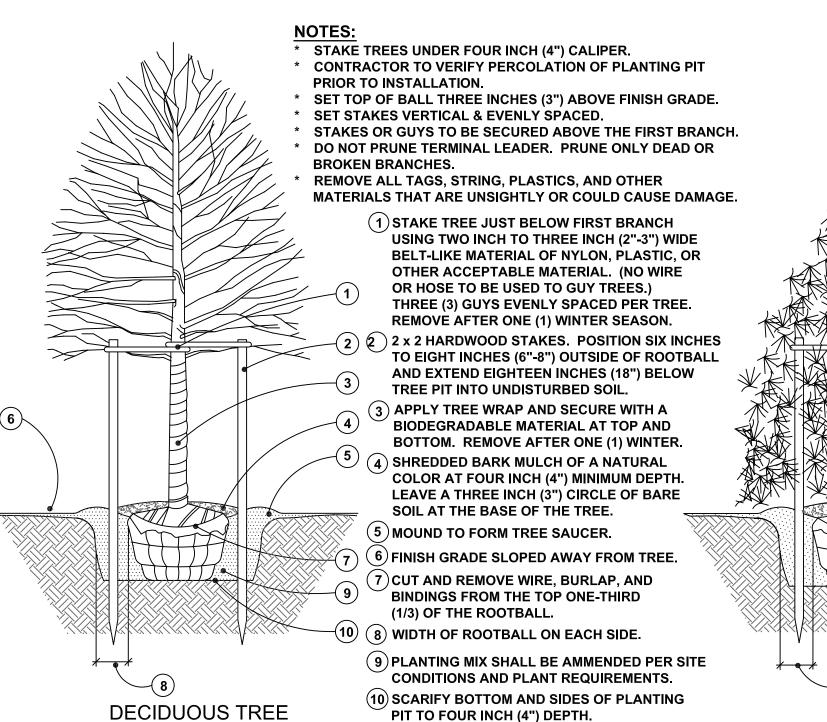
- 1. Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- 2. The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- 3. The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- 4. All landscape areas including parking lot islands shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- 5. All written dimensions override scale dimensions on the plans.
- 6. Report all changes, substitutions, or deletions to the Owner's representative. 7. All bidders must inspect the site and report any discrepancies to the Owner's
- 8. All specifications are subject to change due to existing conditions.
- 9. The Owner's representative reserves the right to approve all plant material. 10.All ground mounted mechanical units shall be screened on three (3) sides with

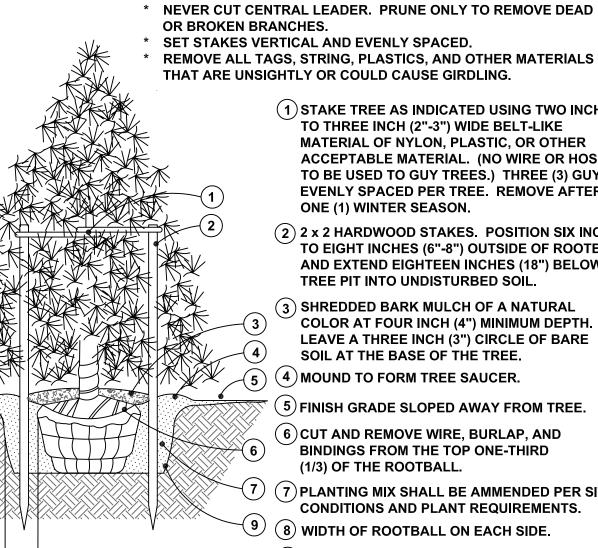
living plant material. MAINTENANCE OF GENERAL LANDSCAPE AREAS

- 1. The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- 2. The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- 3. The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- 4. All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- 5. Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- 6. All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed. The cobblestone bed shall be maintained by removing seedlings and weeds on a regular basis as needed. Do not let tree roots become established.
- 7. Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.









EVERGREEN TREE

NOTES:

* STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH. **GUY ALL EVERGREEN TREES TWELVE FEET (12') HIGH AND OVER.** CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION. NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD

> (1) STAKE TREE AS INDICATED USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS **EVENLY SPACED PER TREE. REMOVE AFTER** ONE (1) WINTER SEASON.

2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.

3) SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE. 4) MOUND TO FORM TREE SAUCER.

5) FINISH GRADE SLOPED AWAY FROM TREE.

(1/3) OF THE ROOTBALL. (7) PLANTING MIX SHALL BE AMMENDED PER SITE **CONDITIONS AND PLANT REQUIREMENTS.**

(8) WIDTH OF ROOTBALL ON EACH SIDE. (9) SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.

(1) SHREDDED BARK MULCH AT FOUR INCH (4") MINIMUM DEPTH. MULCH SHALL BE NATURAL IN COLOR. (2) FORM A SAUCER WITH MULCH AND SOIL AROUND SHRUB BED. (3) CUT AND REMOVE BURLAP AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL. (4) 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE. 5) EXCAVATE PLANTING HOLE AND BACKFILL WITH PREPARED PLANTING MIX. 6 UNDISTURBED SUBGRADE. 7 LAWN. (8) SCARIFY SUBGRADE.

GENERAL NOTES FOR ALL PLANTINGS:

* DO NOT CUT CENTRAL LEADER.

GENTLY TAMP IF NEEDED.

SHRUB

* CONTRACTOR TO VERIFY PERCOLATION

OF PLANTING PIT PRIOR TO INSTALLATION.

* PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED. 7 LAWN.

ANNUAL / PERENNIAL / GROUNDCOVER

* CONTRACTOR TO VERIFY PERCOLATION

OF PLANTING PIT PRIOR TO INSTALLATION.

* REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL

NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS. * CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE

WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB.

FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

* PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE

(1) SEE PLANT LIST FOR SPACING DISTANCE. (2) SHREDDED HARDWOOD BARK OF A NATURAL COLOR MULCH AT FOUR INCH (4") MINIMUM DEPTH. (3) 3/16" x 4" ALUMINUM EDGING (OR APPROVED **EQUIVALENT) OR SPADED EDGE.**

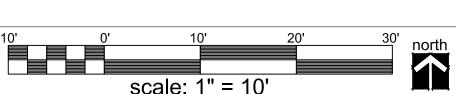
4 EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH.

date: February 15, 2022 (5) UNDISTURBED SUBGRADE. 05-23-2022 Revise for City review 8 6 PLANTING MIX TO CONSIST OF EQUAL PARTS $^{\prime}$ OF SAND. LEAF COMPOST. AND NATIVE SOIL.

not to scale

site plan changes 06-20-2022 Revise for S.P. changes.

12 MILE ROAD EVERLY BLVD CATALPA DR LOCATION MAP not to scale



LANDSCAPE PLAN FOR: GK Consulting, Inc. 5644 Middlebelt Road Garden City, Michigan 48135 (313) 377-9449

LANDSCAPE PLAN BY: Nagy Devlin Land Design ##! 31736 West Chicago Ave ੴ № № 1260 . Livonia, Michigan 48150

Townhouse Apartments 3737 Twelve Mile Road Berkely, Michigan

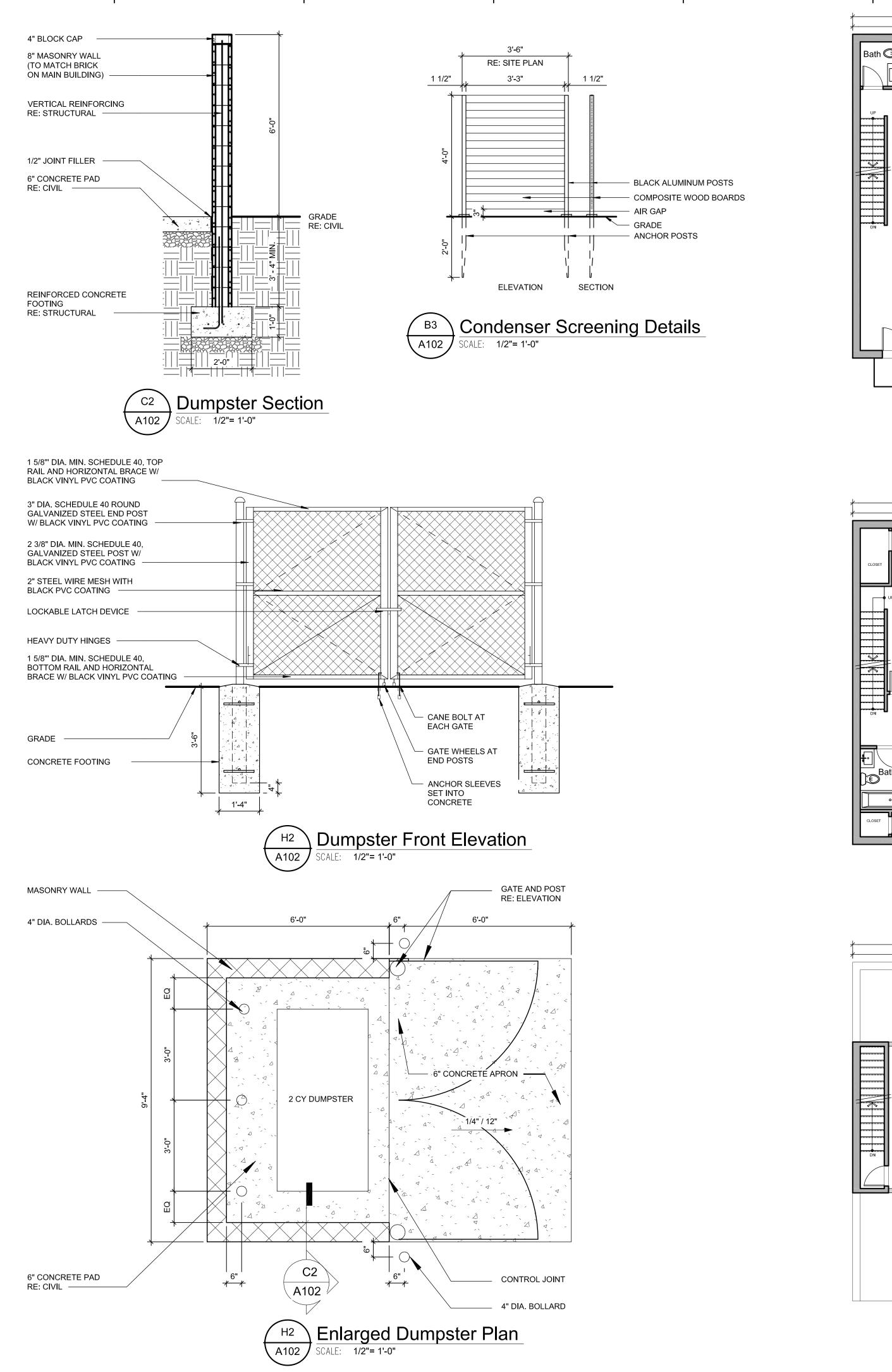
PROJECT LOCATION:

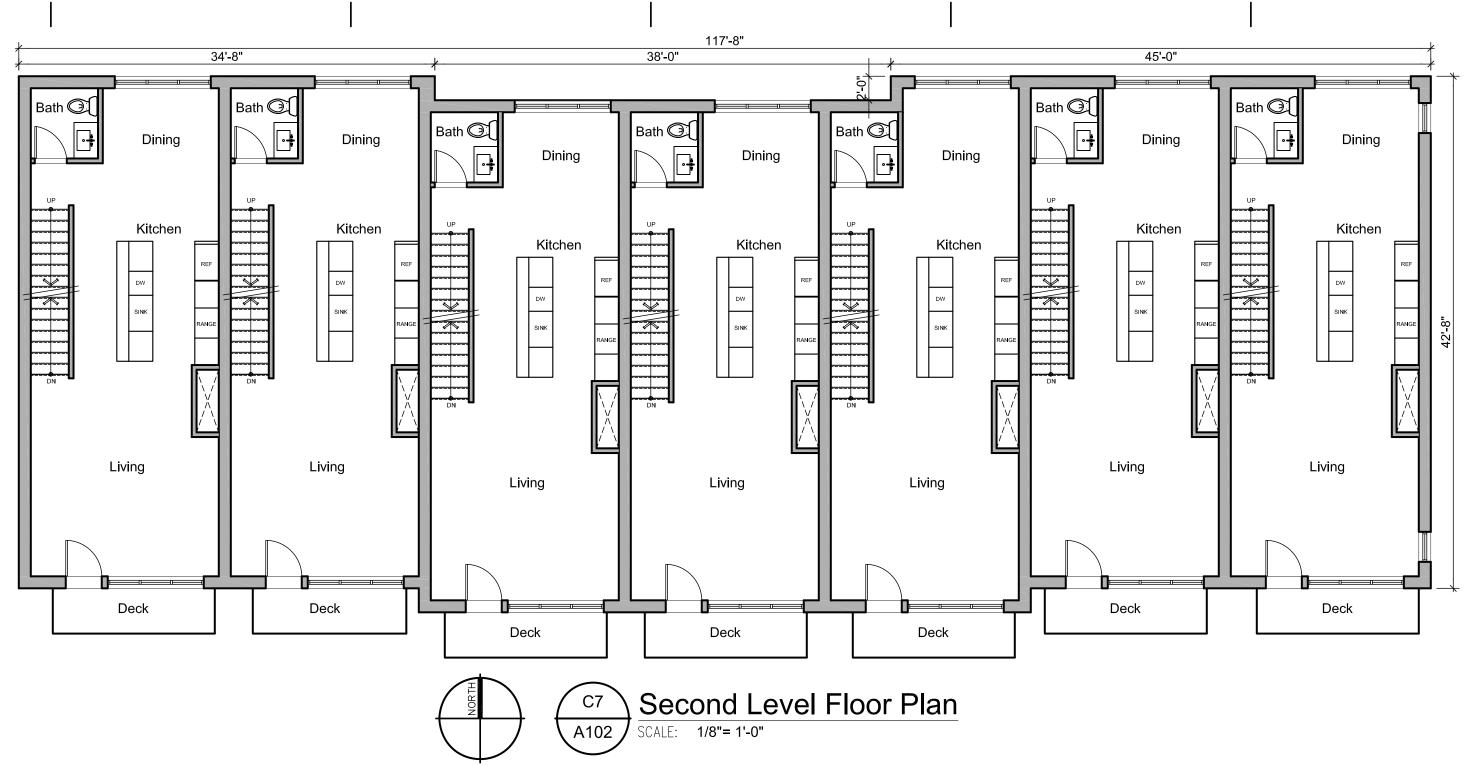
Twelve Mile Road

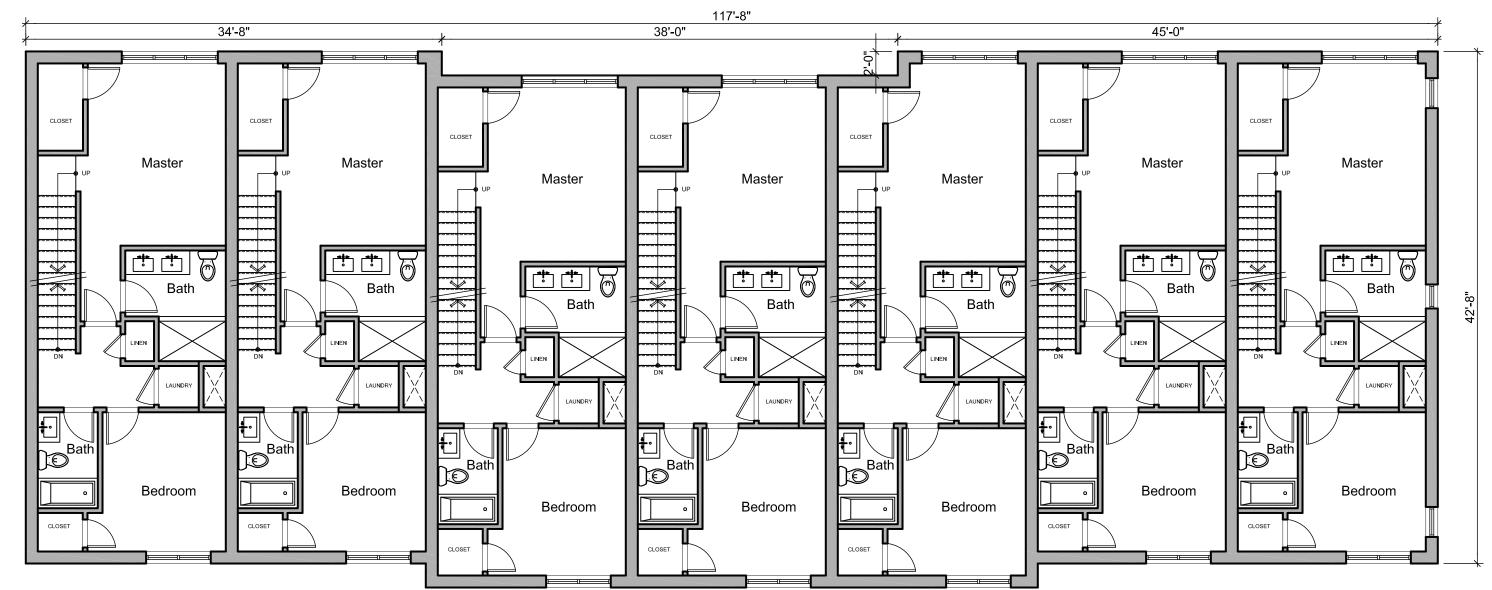
(734) 634 9208 LP-1: LANDSCAPE PLANTING PLAN

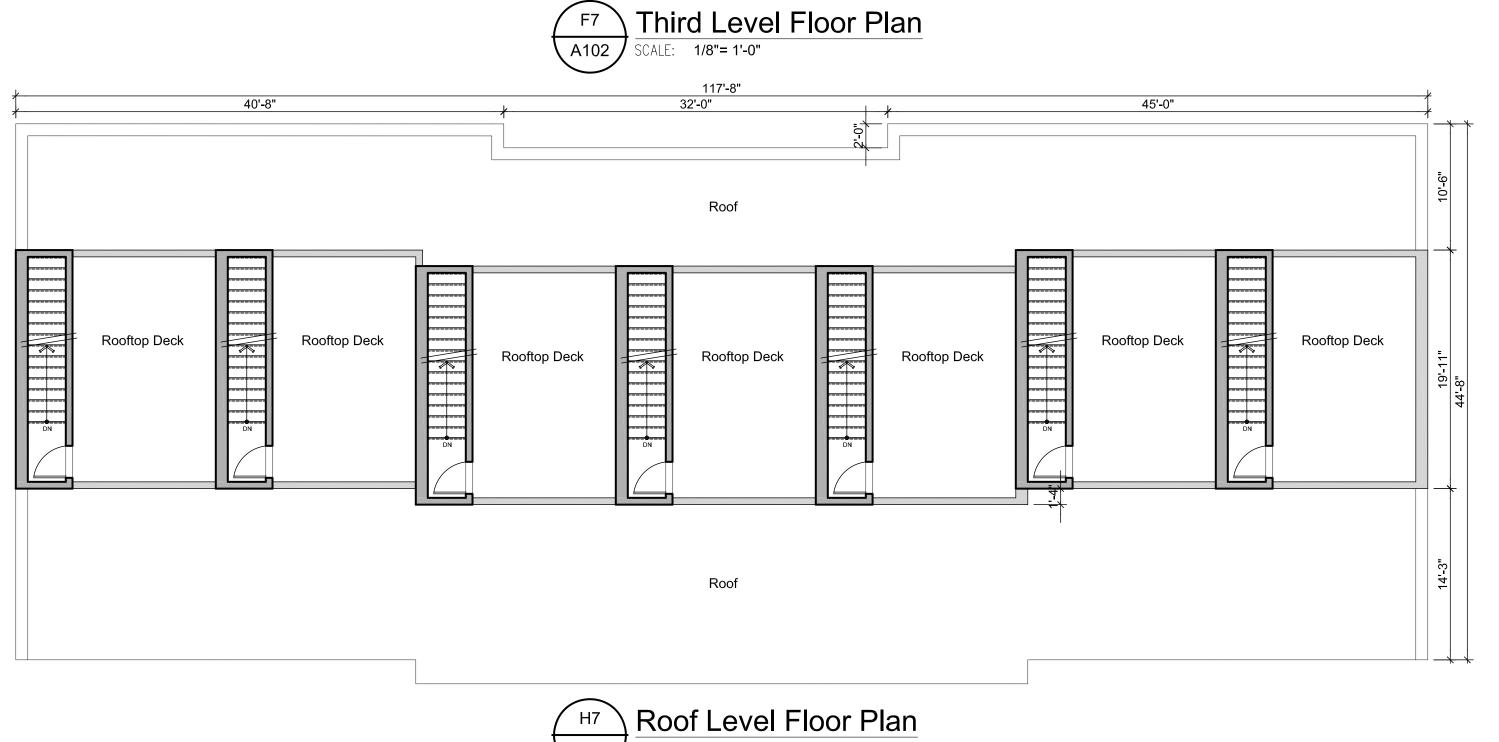
* Base data provided by GK Consulting, Inc.













Wrap Architects, LLC
2240 IROQUOIS ST
DETROIT, MI 48214
P. 248.763.0401

SH Construction, LLC 2838 COOLIDGE HWY BERKLEY, MI 48072 P. 248.763.0401

Project:

The Phillip Rowhomes 3737 Twelve Mile Road Berkley, MI 48072

Date: Issued For:

02-18-2022 Site Plan Review

03-14-2022 Site Plan Review

Preliminary Comments

05-27-2022 Site Plan Review Comments

06-21-2022 Site Plan Review

Comments

Comments

Sheet No.:

10

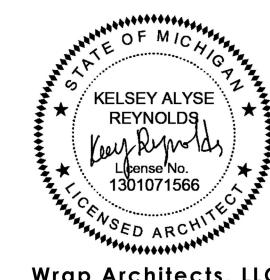
4102

SECOND, THIRD, AND ROOF LEVEL FLOOR PLAN









FIRST FLOOR GLAZING REQUIREMENTS

Wrap Architects, LLC 2240 IROQUOIS ST DETROIT, MI 48214 P. 248.763.0401

SH Construction, LLC 2838 COOLIDGE HWY BERKLEY, MI 48072 P. 248.763.0401

Project:

The Phillip Rowhomes 3737 Twelve Mile Road Berkley, MI 48072

Date: Issued For:

02-18-2022 Site Plan Review 03-14-2022 Site Plan Review

Preliminary Comments

05-27-2022 Site Plan Review Comments

06-21-2022 Site Plan Review

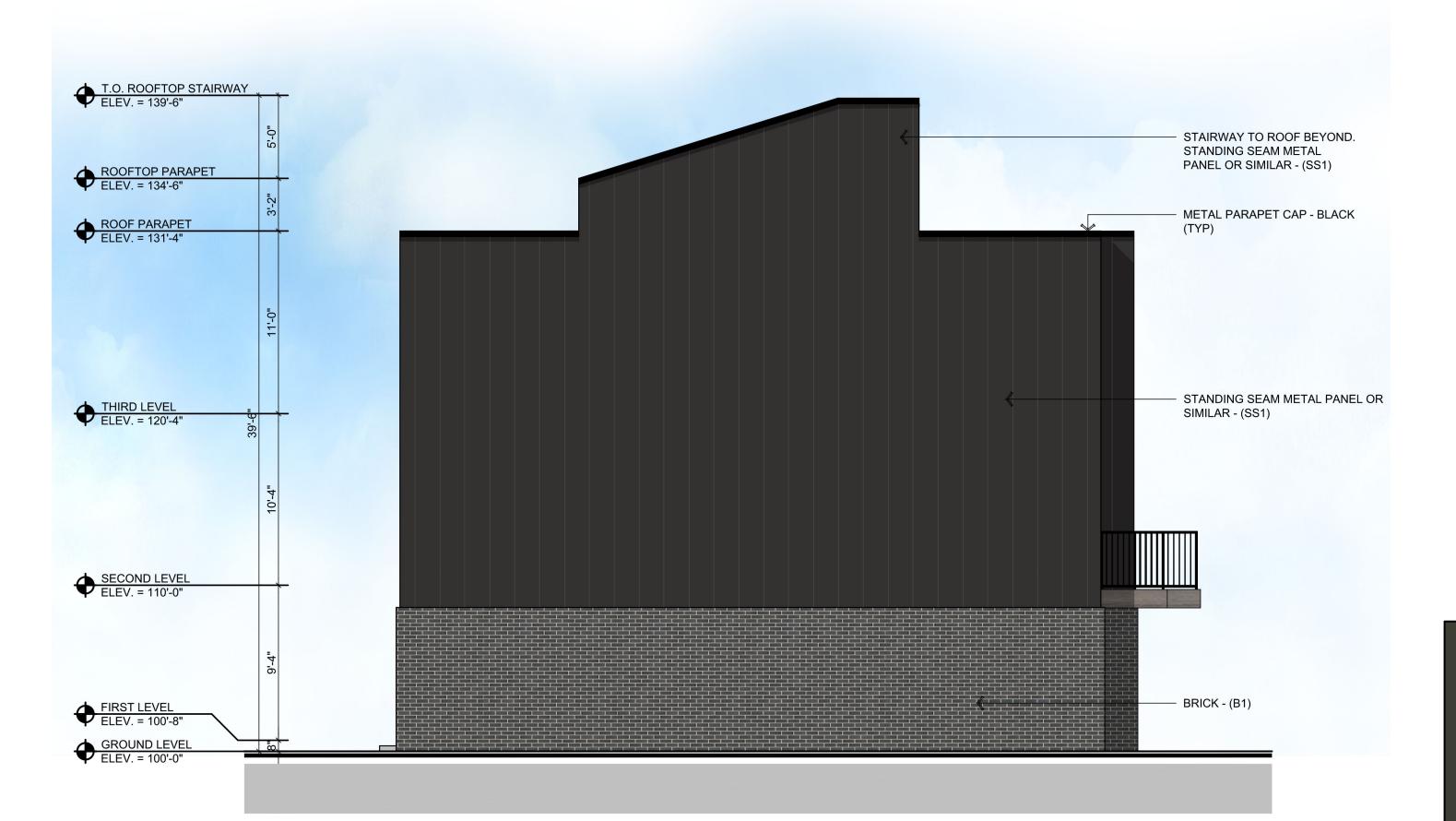
Comments

Sheet No.:

10

NORTH AND SOUTH COLOR EXTERIOR ELEVATIONS





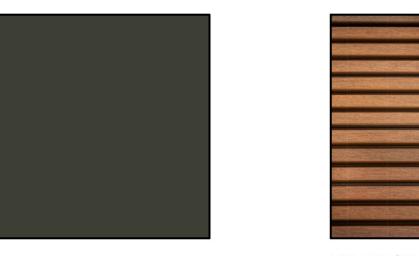








3D RENDERINGS - VIEWS FROM 12 MILE



SS1 ATAS - STANDING SEAM
COLOR - 01 CLASSIC BRONZE



NEWTECH WOOD
NORWEGIAN BOARD
COLOR - PERUVIAN TEAK



B1) BRICK
GLEN-GERY - EBONITE VELOUR



Wrap Architects, LLC
2240 IROQUOIS ST
DETROIT, MI 48214
P. 248.763.0401

SH Construction, LLC 2838 COOLIDGE HWY BERKLEY, MI 48072 P. 248.763.0401

Project:

The Phillip Rowhomes 3737 Twelve Mile Road Berkley, MI 48072

Date: Issued For:

02-18-2022 Site Plan Review
03-14-2022 Site Plan Review
Preliminary Comments

05-27-2022 Site Plan Review Comments

06-21-2022 Site Plan Review
Comments

Comments

Sheet No.:

A202

EAST AND WEST EXTERIOR COLOR ELEVATIONS + MATERIALS

| 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

Re: 3737 Twelve Mile Rd., 25-18-126-020

The Phillip Rowhomes

Megan,

3737 Twelve Mile, LLC is pleased to resubmit documents for Site Plan Review for the redevelopment of 3737 Twelve Mile Rd. We have addressed and satisfied everything based on the Planning Commission approved meeting minutes dated April 26, 2022.

The building design has stayed true to what was presented in March with a few minor adjustments that we would like to point out. The third-floor balconies were removed along with the second-floor overhang per my structural engineer's requests. A new second-floor deck has been added to the rear of the building off the living room. The building materials have been finalized to Atas standing seam metal panels with faux wood accents over the front entries and a brick base.

We removed the dumpster enclosure for a transformer pad, and each tenant will store their own garbage and recycling bins inside their own garage.

Should you have any questions, please do not hesitate to contact me.

Sincerely, Daniel Stakhiv 3737 Twelve Mile, LLC RE: Site Plan Review Comments
The Phillip Rowhomes
3737 Twelve Mile
Berkley, Michigan

Megan,

The following is an itemized response to the comments contained within HRC Site Plan Review Letter dated March 29, 2022

General

1. A Road Commission for Oakland County (RCOC) permit will be required for proposed work within the 12-Mile Road right-of-way as well as for construction signage.

RCOC did a preliminary review dated March 30, 2022, and based on their comments we commissioned to have traffic control maintenance plans drawn up and we formally submitted for RCOC permit May 25, 2022.

2. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required.

This item has been satisfied by the above response.

3. All existing utilities and service leads must be shown on the plans.

Plans have been revised accordingly.

Water and Fire Protection Services

1. As discussed in the pre-application meeting, the proposed water service must connect to the 12" water main in Twelve Mile Road, rather than the 6" main in Phillips Ave.

Water service line is branching from 12-Mile Road (sheet C-03)

Storm Drainage and Detention/Sanitary Sewer

1. A geotechnical investigation must be performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs must be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system.

Geotechnical report is complete, and the report is included in this submittal. Due to the clay soil on site, we have revised our storm water management system to a solid pipe. 2. This office has conducted a review of the stormwater calculations. The plans include 100-year stormwater detention volume calculations in accordance with current Oakland County WRC standards, as well as details and calculations showing the provided storage from the proposed stormwater management system. As such, the system appears to be adequately sized to detain stormwater from the proposed development, however, the feasibility of the proposed system in regards to the site soils must be confirmed through the geotechnical investigation as stated above.

This item has been satisfied by the above response.

3. Note that downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area. They may also be directed through the proposed restricted-outlet structure. The location of the proposed downspouts and the above note must be shown on the plans.

The downspouts have been shown on the plans and discharge into green space areas. This item has been satisfactorily addressed. (Sheet C-03)

4. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction.

We are prepared to sign the Stormwater Management agreement and exhibits are shown on Sheet C-05.

5. A note indicates the existing building sanitary lead will remain in place and be reutilized. The applicant must have the sanitary lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction.

The plans have been revised to include a new sanitary lead rather than reusing the existing commercial lead. This item is no longer applicable.

6. The existing sanitary sewer leads must be properly abandoned via a spot liner or another DPW approved method. The Applicant is responsible for any roadwork and restoration associated with the new utility connections which must be shown on the submitted plans.

Note is added on sheet C-03

Should you have any questions, please do not hesitate to contact me.

Sincerely, Daniel Stakhiv 3737 Twelve Mile, LLC RE: Site Plan Review Comments
The Phillip Rowhomes
3737 Twelve Mile
Berkley, Michigan

Megan,

The following is an itemized response to the comments contained within DPW Site Plan Review Letter dated March 29, 2022

1. The existing water and sanitary pipes and connections from the office and home shall be shown on the survey and demolition/removal plan. These lines are private and may require a licensed plumber to verify locations and size. The storm pipe and connection for the existing catch basin must also be shown. All existing sewer connections cannot be reused and are required to be abandoned within 2' of the public main. Please indicate this work on the demolition plan with 12 Mile impacts shown.

Plans has been revised accordingly to address this item.

2. A 100-year detention system will be required per current Oakland County standards. Any storage utilizing pipe perforation, existing soils or open stone will require a geotechnical report and confirmation prior to site plan approval.

Geotechnical report is complete, and the report is included in this submittal. Due to the clay soil, we have revised our storm water management system to a solid pipe.

3. Please note the proposed stormwater management system will be a private system under the maintenance of the property owner. A template approved by the City Attorney was previously provided to the applicant. Exhibits will need to be prepared by the applicant's engineer and included with the document.

We are prepared to sign the Stormwater Management agreement and exhibits are shown on Sheet C-05.

4. A traffic control plan shall be added to the plan set to account for the proposed impacts in the 12 Mile and Phillips right-of-way.

RCOC did a preliminary review dated March 30, 2022, and based on their comments we commissioned to have traffic control maintenance plans drawn up and we formally submitted for RCOC permit May 25, 2022.

5. 12 Mile is under the jurisdiction of the Road Commission for Oakland County. The applicant shall share feedback received from the County and/or an approved RCOC plan.

RCOC did a preliminary review dated March 30th, 2022, stating "this project will require extensive traffic control/staging plans. also, traffic signal permit will be required. advanced warnings to be 350' from start of taper. all pavement marking to be type r wet reflective tape." We hired Anderson, Eckstein and Westrick, Inc. to develop Maintenance of Traffic Plans. A formal RCOC permit was submitted 5-25-2022 with the plans. RCOC's initial markups are included digitally with this submission.

Should you have any questions, please do not hesitate to contact me.

Sincerely, Daniel Stakhiv 3737 Twelve Mile, LLC RE: Site Plan Review Comments
The Phillip Rowhomes
3737 Twelve Mile
Berkley, Michigan

Megan,

The following is an itemized response to the comments contained within the Planning Commission approved meeting minutes dated April 26, 2022.

- 1. Waiver for the setback on Twelve Mile based on the provision of front yards for pedestrian space is approved as proposed.
- 2. Waiver of the setbacks on Phillips and side yard setback so the building is parallel to Twelve Mile creating a better pedestrian space on Twelve Mile and Phillips is approved as proposed.
- 3. Waiver of transparency for what is shown on the site plan based on the finding that the site plan as proposed meets section 138-678, is approved as proposed.
- 4. The site plan is approved with the following conditions:
 - a. RCOC approval;

RCOC did a preliminary review dated March 30th, 2022, stating "this project will require extensive traffic control/staging plans. also, traffic signal permit will be required. advanced warnings to be 350' from start of taper. all pavement marking to be type r wet reflective tape." We hired Anderson, Eckstein and Westrick, Inc. to develop Maintenance of Traffic Plans. A formal RCOC permit was submitted 5-25-2022 with the plans.

b. Approval from City of Berkley DPW;

Please see above letter addressing Berkley DPW comments.

c. Approval from the consulting engineer, HRC;

Please see above letter addressing HRC comments.

d. The dumpster screening detail is included on the final site plan; and

Added note on A101 that "All trash & recycling bins to be stored in the garage of the units and brought to the curb on pickup day."

- e. The bike rack is moved to the north side of the dumpster. **Bike rack has been adjusted accordingly.**
- 5. The conditions of approval are finalized with a review by the Planning Commission.

Should you have any questions, please do not hesitate to contact me.

Sincerely, Daniel Stakhiv 3737 Twelve Mile, LLC RE: Site Plan Review Comments
The Phillip Rowhomes
3737 Twelve Mile
Berkley, Michigan

Megan,

The following is an itemized response to the comments contained within HRC Site Plan Review Letter dated June 9, 2022

General

1. A Road Commission for Oakland County (RCOC) permit will be required for proposed work within the 12-Mile Road right-of-way as well as for construction signage. This item is still applicable. *The approved RCOC permit must be submitted to the City prior to construction.*

RCOC has been submitted and still under review. Order number 4126227

2. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required. *Traffic control plans have been added to the plan set. These will require approval by RCOC along with the right-of-way permit. The sequence of construction including lane closure dates and durations must be submitted prior to construction.*

Permit has been submitted to RCOC. We will provide a schedule prior to construction.

3. All existing utilities and service leads must be shown on the plans. The existing utilities have been shown on the plans. *This item has been satisfactorily addressed*.

Water and Fire Protection Services:

1. As discussed in the pre-application meeting, the proposed water service must connect to the 12" water main in Twelve Mile Road, rather than the 6" main in Phillips Ave. *The water main connection has been moved to Twelve Mile Road. This item has been satisfactorily addressed.*

Storm Drainage and Detention/Sanitary Sewer:

1. A geotechnical investigation must be performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs must be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system. The geotechnical report has been submitted. The report states that the site's soils are not suitable for infiltration, and thus, the previous design that included perforated pipe and aggregate storm water storage is not recommended for this site. The previous plan set showed the stone surrounding the underground pipe providing a portion of the proposed storage, which would not be feasible per this report. The plans were revised to reflect this, with the pipe being changed to solid-walled, the stone

- surrounding the underground storm system not providing any storage on the current plan set, and the length of the proposed underground storm system being increased to provide the required amount of storage. As such, this item has been satisfactorily addressed.
- 2. This office has conducted a review of the stormwater calculations. The plans include 100-year stormwater detention volume calculations in accordance with current Oakland County WRC standards, as well as details and calculations showing the provided storage from the proposed stormwater management system. As such, the system appears to be adequately sized to detain stormwater from the proposed development, however, the feasibility of the proposed system in regards to the site soils must be confirmed through the geotechnical investigation as stated above. This item has been satisfactorily addressed.
- 3. Note that downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area. They may also be directed through the proposed restricted-outlet structure. The location of the proposed downspouts and the above note must be shown on the plans. The downspouts have been shown on the plans and discharge into green space areas. *This item has been satisfactorily addressed*.
- 4. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction. The stormwater maintenance agreement has been submitted. This item has been satisfactorily addressed. The maintenance agreement must ultimately be reviewed and approved by the City and their attorney.
- 5. A note indicates the existing building sanitary lead will remain in place and be reutilized. The applicant must have the sanitary lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction. The plans have been revised to include a new sanitary lead rather than reusing the existing commercial lead. This item is no longer applicable.
- 6. The existing sanitary sewer leads must be properly abandoned via a spot liner or another DPW approved method. The Applicant is responsible for any roadwork and restoration associated with the new utility connections which must be shown on the submitted plans. A note has been added to the plans in regard to the existing commercial sanitary lead in Twelve Mile Road; however this item is also applicable to the residential lead in Phillips Ave. This lead must be shown on the plans and noted for abandonment as well. The residential lead has been noted for abandonment in accordance with City standards. This item has been satisfactorily addressed.

Should you have any questions, please do not hesitate to contact me.

Sincerely, Daniel Stakhiv 3737 Twelve Mile, LLC RE: Site Plan Review Comments
The Phillip Rowhomes
3737 Twelve Mile
Berkley, Michigan

Megan,

The following is an itemized response to the comments contained within DPW Site Plan Review Letter dated June 9, 2022

- The latest plan shows the elimination of a dumpster pad/enclosure and adds the use of multiple single cans. The maximum number of cans allowable per service address is two. The use of a single central waste collection/disposal point shall be shown on the plan.
 Dumpster pad/enclosure was added back into the set. REF A102
- 2. We defer to HRC for confirmation of detention system requirements and observation of utility installations in the Right of Way.
- 3. Please note the proposed stormwater management system will be a private system under the maintenance of the property owner. We defer to the City Attorney for confirmation of completed maintenance agreements.
- 4. It appears that the proposed storm connection work on Phillips will negatively impact the traffic flow to the neighboring business at 3675 Twelve Mile. This will need to be communicated with the business owner prior to the start of construction.
 Noted and we will communicate with the owner of 3675 Twelve Mile once we have a date of construction.
- 5. A traffic control plan has been added to the plan set to account for the proposed impacts in the 12 Mile and Phillips right-of-way. This plan has the potential to impact the traffic flow of the neighboring business at 3675 Twelve Mile. Please revise the Traffic Plan to minimize the impact to the neighboring business.
 - Noted and we will communicate with the owner of 3675 Twelve Mile once we have a date of construction.
- 6. Please note that a large portion of Phillips Ave is scheduled for reconstruction within the next 6 weeks. Once reconstruction has been completed all restoration work will be full slab seam to seam only.
 - We would appreciate any communication with the city so we can coordinate our utility work and the city's road construction at the same time.
- 7. A detailed construction schedule including restoration timelines shall be provided prior to the start of construction.
 - We will provide a schedule prior to construction.

Should you have any questions, please do not hesitate to contact me.

Sincerely, Daniel Stakhiv 3737 Twelve Mile, LLC

AGREEMENT FOR STORM WATER SYSTEM MAINTENANCE

This Agreement is made on 5/27/2027, by 3737 TWELVE MILE, LLC ("Developer"), a (corporation, limited liability company, partnership) whose address is 3737 TWELVE MILE RD, BERKLEY, MI 48072; and the CITY OF BERKLEY (the "City"), whose address is 3888 Coolidge Hwy, Berkley, MI 48879.

WHEREAS, Developer owns and proposes to develop the Property described in attached Exhibit A; and

WHEREAS, the proposed development of the Property will alter the natural flow of surface and storm water drainage; and

WHEREAS, Developer has proposed, and the City has approved, a storm water management system (the "System") as described and depicted in the plan attached as **Exhibit B**; and

WHEREAS, the parties will benefit from the proper operation, use, and maintenance of the System and enter into this agreement to provide for the same.

THEREFORE, the parties agree:

1. Use of the System:

Components of the System, including any and all water conveyance, detention and water quality treatment facilities and devices, pumping system, storm sewer pipe, catch basins, manholes, end-sections, ditches, swales, open water courses and rip-rap, shall be used solely for the purpose of conveying, detaining and treating storm and surface drainage on the property until such time as: (i) The City determines and notifies Developer or Developer's successors, grantees or assigns, in writing, that it is no longer necessary to convey, detain or treat the storm and surface drainage; and (ii) An adequate alternative for conveying, detaining and treating storm and surface drainage has been provided which is acceptable to the City and which includes the granting of any easements to the City or third parties as may be required or necessary for the alternative drainage system.

2. Maintenance:

A. Developer shall be responsible for the proper maintenance, repair and replacement of the System and all parts thereof as detailed in the Maintenance Plan attached as **Exhibit C.**

B. Proper maintenance of the System shall include, but is not limited to: (i) Removing accumulated sediment, trash and debris from the detention basin and at inlet pipes; (ii) Managing deleterious vegetative growth; (iii) Maintaining storm sewer, structures, end-sections and safety features; (iv) Controlling the effects of erosion; (v) Inspection and cleaning of the water quality treatment device; (vi) Inspection of inlet and outlet pipes for structural integrity; (vii) Inspection and replacement of riprap at inlet pipes; (viii) Inspection and cleaning of the storm sewer and catch basins upstream from the detention basin; (ix) Inspection and replacement of stone around the outlet pipe; and (vi) Any other maintenance that is reasonable and necessary to facilitate and continue the proper operation and use of the System.

3. Action by City:

If, at any time, Developer or Developer's successors, grantees or assigns neglect or fail to properly maintain the System or any part thereof, the City may notify Developer or Developer's successors, grantees or assigns. The notice shall be in writing and shall list and describe maintenance deficiencies and demand that they be corrected within thirty (30) days.

The notice shall further specify a date and place for a hearing to be held at least fourteen (14) days after the date of the notice before the City Council, or such other board or official as the City Council may designate. At the hearing, the City Council (or other designated board or official) may affirm or modify the list and description of maintenance deficiencies and, for good cause shown, may extend the time for the deficiencies to be corrected.

Thereafter, if the maintenance deficiencies are not corrected within the time allowed, the City may undertake the necessary corrective actions, and the City may maintain the System for up to one (1) year. Such maintenance of the System by the City shall not be construed to be a trespass or a taking of the Property, nor shall the City's actions vest in the public any right to enter or use the Property. Thereafter, if Developer or Developer's successors, grantees or assigns do not properly maintain the System, the City may, after providing similar written notice, schedule and hold another hearing to determine whether the City should maintain the System for another year, and subject to a similar notice, hearing and determination, in subsequent years.

In the event the City determines an emergency or public nuisance condition caused by or relating to the System threatens the public health, safety or general welfare, the City shall have the right to immediately and without notice enter the Property and undertake appropriate corrective action.

4. Charges:

The City shall charge to the current owner of the Property the cost of maintenance or other corrective action undertaken by the City under this agreement, plus a ten percent (10%) administrative fee. If not timely paid, the City may place the charges on the City's tax roll, which charges shall be a lien on the Property and shall be collectable and enforceable in the same manner general property taxes are collected and enforced.

5. Notice:

Any notices required under this agreement shall be sent by certified mail to the address for each party set forth below, or to such other addresses as such party may notify the other parties in writing:

TO ARI ZARTARIAN: 31150 NORTHWESTERN HWY #100
FARMINATON HILLS, MI 48334

To the City:

City Manager City of Berkley 3888 Coolidge Hwy Berkley, MI 48879

6. Successors and Assigns:

This agreement shall bind and inure to the benefit of the parties and their respective successors, grantees and assigns. The benefits, burdens, rights, obligations and responsibilities hereunder shall run with the land and shall bind all current and future owners of the Property and any divisions thereof.

7. Recording of Agreeme	ent:	
This agreement shall be	recorded at the Oal	kland County Register of Deeds.
	Ву:	
	Its:	
		CITY OF BERKLEY
	Ву:	Matthew Baumgarten, City Manager
STATE OF MICHIGAN		Matthew Baumgarten, City Manager
COUNTY OF		
This agreement was acknowled	ged before me onon bel	, by
		Notary public County, Michigan
		My commission expires:
STATE OF MICHIGAN :ss		
COUNTY OF OAKLAND		
This agreement was acknowledged of Berkley, on behalf of the City	ged before me on	, by Matthew Baumgarten, City Manager, of the City
		Notary public
		County, Michigan

<u>Drafted by:</u> John D. Staran, Esq. 2055 Orchard Lake Road Sylvan Lake, MI 48320 When Recorded Return to: City Clerk

City of Berkley 3888 Coolidge Hwy. Berkley, MI 48879

My commission expires:

SOILS INVESTIGATION PROPOSED THREE-STORY TOWNHOUSE 3737 12 MILE ROAD BERKLEY, MICHIGAN

3737 TWELVE MILE, LLC 31150 NORTHWESTERN HIGHWAY, #100 FARMINGTON HILLS, MICHIGAN 48334

> MAY 6, 2022 BY McDOWELL & ASSOCIATES

McDowell & Associates

Geotechnical, Environmental & Hydrogeological Services • Materials Testing & Inspection 21355 Hatcher Avenue • Ferndale, MI 48220

www.mcdowasc.com

May 6, 2022

3737 Twelve Mile, LLC 31150 Northwestern Highway, # 100 Farmington Hills, Michigan 48334

Job No. 22-131

Attention: Mr. Daniel Stakhiv

Subject: Preliminary Soils Investigation

Proposed Three-Story Townhouse

3737 12 Mile Road Berkley, Michigan

Dear Mr. Stakhiv:

In accordance with your request, we have made a Preliminary Soils Investigation at the subject project.

Field Work and Laboratory Testing

Four Soil Test Borings, designated as 1 through 4, were performed at the subject property at the approximate locations shown on the Soil Boring Location Plan which accompanies this report. The boring locations were field located by our drillers. The borings were advanced to depths ranging from about twenty feet (20') to twenty five feet (25') below the existing ground surface at the boring locations.

Soil descriptions, groundwater observations and the results of field and laboratory tests are to be found on the accompanying Logs of Soil Test Borings.

Borings 1 and 2 encountered about one foot five inches (1'5") of surficial topsoil underlain by fill soils consisting of firm brown silty clay to a depth of about two feet three inches (2'3"). Borings 3 and 4 encountered fill to about two feet (2') consisting of surficial asphalt or concrete, aggregate fill and firm clay. The underlying apparent native soils in all four borings generally consisted of firm to extremely stiff brown then gray/blue silty clay with sand and pebbles to the termination of the deepest boring at twenty five feet six inches (25'6") below existing ground.

Soil descriptions and depths shown on the boring logs are approximate indications of change from one soil type to another and are not intended to represent an area of exact geologic change or stratification.

Groundwater was not encountered in Borings 1, 2 and 4. Groundwater was encountered in Boring 3 at depths of five inches (5") and nineteen feet two inches (19'2") below the existing ground surface. Boring 3 was found dry upon completion of drilling. It should be noted that short-term groundwater observations may not provide a reliable indication of the depth of the water table. In clay or clayey soils, this is due to the slow rate of infiltration of water into the borehole as well as the potential for

Page -2- Job No. 22-131

water to become trapped in overlying layers of granular soils during periods of heavy rainfall. It should be expected that groundwater fluctuations could occur on a seasonal basis and that seams of water-bearing sands or silts could be found within the various clay strata at the site.

Standard Penetration Tests (SPTs) made during the sampling operation indicate that the site soils have fair to very good strengths and densities. The tests at a depth of **two feet three inches (2'3")** resulted in penetration indices ranging from 5 to 10 blows per foot. Tests at depths of five feet (5') and below had penetration indices ranging from 15 to 38 blows per foot. SPTs in Borings 1 and 4 were performed with a standard rope and cathead safety hammer. SPTs in Borings 2 and 3 were performed with an automatic hammer. Considering our drilling equipment and procedures, it has been seen that blow counts with an automatic hammer should be increased by a factor of about 1.4 to be comparable with typical blow counts using a safety hammer

Project Description

It is understood that the project will consist of constructing a new three-story, slab-on-grade townhome building at the subject property. It is further understood that you are proposing an underground detention system with a desired "infiltration to the ground" component. It is anticipated that the structure will transmit relatively light loads to the supporting soils, and the proposed underground detention system will extend roughly ten feet (10') below the existing ground surface.

Foundation Recommendations

Based on the project information provided and the results of field and laboratory tests, the indications are that the structure could be supported by conventional spread or strip footings. All exterior footings should be constructed at, or below, a minimum frost penetration depth of three feet six inches (3°6") below finished grade. All interior and exterior load-bearing footings should extend through non-engineered fill soils if any, soils containing significant amounts of organic substances, or excessively weak soils. All strip footings should be continuously reinforced in order to minimize any noticeable effects of differential settlement.

Footings constructed at the following boring locations could be proportioned for the design soil pressures shown below, provided this results in the footings bearing on native, non-organic soils:

Boring		Deptl	<u>1</u>	Soil Pressure (psf)
1	2'3"	to	4'6"	2,500
	4'6"	to	8'0"	4,500
2	2'3"	to	4'0"	1,500
	4'0"	to	8'0"	4,500
3	2'0"	to	4'0"	2,500
	4'0"	to	8'0"	4,500

Based on the above chart, it appears that lower strength soils may be encountered at the top layer **at Boring 2** which may necessitate slightly deeper or larger than normal footing sizes. Higher design soil pressures are available at various depths in the borings and could be detailed, if desired.

Groundwater Considerations

Based on the indications from the borings, footing excavations should be in primarily clay type soils at each of the borings. What appears to be perched water was encountered below the surficial concrete in Boring 3. Seepage from perched water or from wet sand or silt seams should be manageable with construction pumping and sumps. However, this is not known for certain. If large volumes of water or saturated granular soils are encountered, special dewatering techniques may be required. Care must be taken to minimize the removal of soil fines during any pumping operations. If standing water remains on the clay type footing invert soils for an extended period of time, it may result in a couple inches of "slop" material at the footing invert. This material should be removed prior to the placement of concrete.

Floor Slabs

Fill soils were encountered in the borings to depths of about two feet (2') or two feet three inches (2'3"). If the possibility of more than normal differential settlement can be tolerated, slab-on-grade floors or floor-supporting backfill could be placed at, or near, the present grade in the vicinity of these borings. Any topsoil or other obviously objectionable material should be removed and the subgrade thoroughly proof-compacted. If, during the proof-compaction operation, areas are found where the soils yield excessively, the yielding materials should be scarified, dried, and recompacted or removed and replaced with engineered fill. Where fill or backfill is required to raise the subgrade for concrete floors or backfill utility trenches, it is suggested that clean, well-graded granular soils be used. If clay material is utilized, it should be placed within 3% of its optimum moisture content. The fill should be deposited in horizontal lifts not to exceed nine inches (9") in thickness with each lift being compacted uniformly to a minimum density of 95% of its maximum value as determined by the Modified Proctor Test (ASTM D-1557).

If the possibility of more than normal differential movement cannot be tolerated, then all existing fill soils should be removed and replaced with engineered fill meeting the requirements outlined above, or the floor slab should be structurally supported.

If any existing structures are found, they should be entirely removed from the proposed building area. Buried utilities should be removed or grouted in place. Resulting excavations should be backfilled with engineered fill meeting the requirements outlined above.

To minimize capillary action under floor slabs, we suggest placing at least four inches (4") of clean material on the subgrade followed by a suitable plastic vapor barrier between the clean material and the concrete slab. The clean material could consist of pea stone, MDOT Class I sand, 2NS sand or 6AA crushed stone.

Infiltration

It is understood that Boring 4 was performed at the location of the proposed underground detention system. Based on the project information provided and the results of field and laboratory tests, the indications are that the site soils at the location of Boring 4 are not suitable for infiltration. It is our understanding that a minimum infiltration rate of 0.24 in/hr is required by Oakland County. We

would typically expect these clay-type soils to have permeabilities of less than 1.0×10^{-6} cm/s. Because soils suitable for infiltration were not encountered in Boring 4, infiltration testing was not performed.

Closing

Experience indicates that actual subsurface conditions at the site could vary from those found at the four test borings made at specific locations. It is, therefore, essential that McDowell & Associates be notified of any variation of soil conditions to determine their effects on the recommendations presented in this report. The evaluations and recommendations presented in this report have been formulated on the basis of reported or assumed data relating to the proposed project. Any significant change in the final design plans should be brought to our attention for review and evaluation with respect to the prevailing subsoil conditions.

It is recommended that the services of McDowell & Associates be engaged to observe the soils in the footing excavations prior to concreting in order to test the soils for the required bearing capacities. Testing should also be performed to check that suitable materials are being used for controlled fills and that they are properly placed and compacted.

If we can be of any further service, please feel free to call.

Very truly yours,

Alfone Re

McDOWELL & ASSOCIATES

Tony (Antoine) Merheb, P.E. Senior Geotechnical Engineer

David Quintal, M.S., P.E. Geotechnical Engineer

TM/



S.T. - SHELBY TUBE

S.S. - SPLIT SPOON

- PENETROMETER

R.C. - ROCK CORE

McDOWELL & ASSOCIATES

Geotechnical, Environmental, & Hydrogeologic Services 21355 Hatcher Avenue • Ferndale, MI 48220

JOB NO._____ 22-131

iuale, IVII 46220	PROJ
	PROJ

BORING NO. -Soils Investigation ECT

1

Proposed Three-Story Townhouse **LOCATION**

G.W. ENCOUNTERED AT

G W AFTER

G.W. VOLUMES

G.W. AFTER COMPLETION

HRS.

NONE

FT.

FT.

INS.

INS.

INS.

LOG OF SOIL

3737 12 Mile Road

DATE 5-4-2022 Berkley, Michigan SURFACE ELEV._ Penetration Unc. Comp. Sample Natural Moisture Str Depth Legend SOIL DESCRIPTION Strength PSF. & Type Moist dark brown clayey TOPSOIL with trace of brick, fill 1 1'4" Firm moist discolored brown silty CLAY with 2 topsoil streaks, fill 2 UL 2'3" 3 18.4 125 (2500)3 6 Stiff moist variegated silty CLAY with traces of sand and pebbles 4 2 4'6" UL 5 12.5 132 8 16 (9000+)Very stiff moist variegated silty CLAY with sand 6 and pebbles 7 8 7'0" UL 14 8 18 9 8 UL 10 15 13.1 135 23 (9000+)Extremely stiff moist brown silty CLAY with sand 11 and pebbles 12 13 14 8 14'6" UL 15 10 17 16 Extremely stiff moist blue silty CLAY with sand and pebbles 17 17'6" 18 19 Very stiff moist blue silty CLAY with sand and pebbles UL 20 9 10 20'6" 21 22 23 Note: Used track rig 24 25 REMARKS: TYPE OF SAMPLE **GROUND WATER OBSERVATIONS** *Calibrated penetrometer D. - DISTURBED UI - UNDIST LINER G.W. ENCOUNTERED AT

Standard Penetration Test - Driving 2" OD Sampler 1' With 140# Hammer Falling 30": Count Made at 6" Intervals



TYPE OF SAMPLE

D

- DISTURBED

UI - UNDIST LINER

S.T. - SHELBY TUBE

S.S. - SPLIT SPOON

- PENETROMETER

R.C. - ROCK CORE

McDOWELL & ASSOCIATES

Geotechnical, Environmental, & Hydrogeologic Services 21355 Hatcher Avenue • Ferndale, MI 48220

PROJECT

Soils Investigation

2

LOCATION

LOG OF SOIL

BORING NO.

Proposed Three-Story Townhouse

GROUND WATER OBSERVATIONS

NONE

HRS.

FT.

FT.

INS.

INS.

INS.

G.W. ENCOUNTERED AT

G.W. ENCOUNTERED AT

G W AFTER

G.W. VOLUMES

G.W. AFTER COMPLETION

3737 12 Mile Road

DATE 5-4-2022 Berkley, Michigan SURFACE ELEV. Penetration Unc. Comp. Sample Natural Moisture Str Depth SOIL DESCRIPTION Legend & Type Strength PSF. Moist dark brown clayey TOPSOIL with trace of brick, fill 1 1'5" Firm moist brown silty CLAY with topsoil streaks, 2 1 UL 2'3" 2 16.5 122 (1000-8000)3 3 Firm moist variegated silty CLAY with traces of sand and pebbles 4 4'0" 6 UL 5 10 12.3 134 Very stiff moist variegated silty CLAY with sand 15 (9000+)and pebbles 6 6'0" 7 8 Extremely stiff moist variegated silty CLAY with UL 16 sand and pebbles 8 21 8'6" 9 6 UL 12.5 11 138 10 17 (9000+)Extremely stiff moist brown silty CLAY with sand 11 and pebbles 12 13 13'0" 14 8 UL 15 10 15 16 17 Very stiff moist blue silty CLAY with sand and pebbles 18 19 UL 20 8 10 20'6" 21 22 23 Note: Used track rig 24 25 REMARKS:

*Calibrated penetrometer

Standard Penetration Test - Driving 2" OD Sampler 1' With

140# Hammer Falling 30": Count Made at 6" Intervals



S.T. - SHELBY TUBE

S.S.

- SPLIT SPOON

- PENETROMETER

- ROCK CORE

McDOWELL & ASSOCIATES

Geotechnical, Environmental, & Hydrogeologic Services 21355 Hatcher Avenue • Ferndale, MI 48220

JOB NO._____

LOG OF SOIL	_
BORING NO	3

G.W. ENCOUNTERED AT

G W AFTER

G.W. VOLUMES

G.W. AFTER COMPLETION

HRS.

19 FT.

LIGHT

FT.

FT.

2 INS.

INS.

INS.

PROJECT

Soils Investigation

LOCATION

Proposed Three-Story Townhouse

3737 12 Mile Road Berkley, Michigan

SURFACE ELEV. Unc. Comp. Sample Penetration Natural Moisture Str Depth SOIL DESCRIPTION Legend & Type Strength PSF. 0'5" CONCRETE 1 Wet brown fine SAND with trace of gravel, fill 0'11" Firm moist discolored brown silty CLAY with traces 2 2 2'0" of sand and pebbles and topsoil seams, fill UL 4 14.7 130 (5500) 3 6 Stiff moist variegated CLAY with traces of sand and pebbles 4 4'6" UL 12.5 127 5 11 Extremely stiff moist variegated silty CLAY with 13 (9000+)traces of sand and pebbles 6 6'0" 7 8 UL 16 8 20 Extremely stiff moist brown silty CLAY with sand and pebbles 9 6 UL 15 12.8 136 10 20 (9000+)11 12 13 13'6" 14 5 UL 15 10 13.8 135 20 (5500)Extremely stiff moist blue silty CLAY with sand and 16 17 18 19 19'0" UL 20 7 Very stiff moist blue silty CLAY with sand and 8 pebbles and occasional wet fine sand lenses 21 22 22'6" 23 Extremely stiff moist blue silty CLAY with sand and 24 pebbles G 5 UL 25 8 Note: Used automatic hammer 10 25'6" REMARKS: TYPE OF SAMPLE **GROUND WATER OBSERVATIONS** *Calibrated penetrometer D. - DISTURBED UI - UNDIST LINER G.W. ENCOUNTERED AT

Standard Penetration Test - Driving 2" OD Sampler 1' With

140# Hammer Falling 30": Count Made at 6" Intervals

DATE 5-4-2022



McDOWELL & ASSOCIATES

SURFACE ELEV.

Geotechnical, Environmental, & Hydrogeologic Services 21355 Hatcher Avenue • Ferndale, MI 48220

JOB NO.	22-131

OB NO.	22-131
_	

LOG OF SOIL 4 BORING NO.

PROJECT LOCATION Soils Investigation Proposed Three-Story Townhouse

3737 12 Mile Road

Berkley, Michigan

Sample & Type		Depth	Legend		SOIL DESCRIPTION	Penetration Blows for 6"	Moisture %	Natural Wt. P.C.F.	Dry Den Wt. P.C.F.	Unc. Comp. Strength PSF.	Str. %
				0'21/2"	ASPHALT					·	
		1	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	0'5"	CONCRETE						
	T	•		0'9"	Very moist brown gravelly SAND, aggregate fill						
Α		2		└							
UL			//////	2'0"	Firm moist brown silty CLAY with traces of sand	1	40.0	440			-
UL					and pebbles and topsoil streaks, fill	2	19.2	119	*	(2500)	
		3		←—	Firm moist variegated silty CLAY with traces of	3			"	(2500)	
				3'6"	sand and pebbles						
		4		30	•						
В						7					
UL		5				10	12.3				
						13	12.0		*	(9000+)	
					Very stiff moist variegated silty CLAY with traces					(00001)	
	\dashv	6			of sand and pebbles						
С		7		7'0"		8					
UL				l ′ ઁ		12	12.6	134			
		8		1		19			*	(9000+)	
				l	Extremely stiff moist brown silty CLAY with traces					,	
	+			1	of sand and pebbles						-
		9		l							
D			//////	9'6"		8					
UL		10		" "		14					
				l		19					
		11		1							
				l							
	\forall	12		1							
	\dashv	12		l	Extremely stiff moist brown silty CLAY with sand						
	\dashv			l	and pebbles						
		13		1							
				l							
		14		1							
Е				14'6"		8					
UL		15		14.6		13					
		10		l		17					
	_	40		l		17					
		16		1	=						
				l	Extremely stiff moist blue silty CLAY with sand and						
		17		1	pebbles						
				l							
		18									
	П			18'0"							
	\dashv	10		l							
		19		1	Very stiff moist blue silty CLAY with sand and						-
F				l	pebbles	7				ļ	
UL		20		l	PODDIOS	8					
				20'6"		11					
	T	21		1200							
	\dashv	22									
	\dashv	23			Note: Used automatic hammer.						-
		24									
		25									
	\dashv										
	<u> </u>	05.04145/		REMARK	S. 40 W. 41	I .	L				
TY D.		OF SAMPLE - DISTURBI		KEWAKK	*Calibrated penetrometer		GF	ROUND WAT	ER OBSERV	ATIONS	
		- UNDIST. L				G.W.	ENCOUNTE	RED AT		FT. INS	3.
		- SHELBY 1				G.W.	ENCOUNTE	RED AT		FT. INS	S.
		 SPLIT SP ROCK CC 			Standard Denotration Test Deliving 2" OD Committee 41 Mills		AFTER COM			FT. INS	
		- PENETRO			Standard Penetration Test - Driving 2" OD Sampler 1' With 140# Hammer Falling 30": Count Made at 6" Intervals		AFTER VOLUMES	HRS.	NONE	FT. INS	٥.

DATE <u>5-4-2</u>022





LEGEND



Soil Boring Locations, 1through 4: Drilled by McDowell & Associates



McDowell & Associates 21355 Hatcher Avenue Ferndale, Michigan 48220

Soil Boring Location Plan

Job No. 22-131



MEMORANDUM

To: Planning Commission

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: <u>PSP-06-22: 3737 Twelve Mile – The Phillip Rowhomes</u>

Final Site Plan Approval Plan Date: June 21, 2022

Date: June 21, 2022

At the Planning Commission's March 22, 2022 meeting, the Planning Commission approved this site plan with the following conditions (regular font indicates how the request was addressed in revised plans):

Road Commission of Oakland County (RCOC) approval.
 The letter from the applicant dated June 21, 2022 indicates that a permit has been submitted to RCOC and is under review.

2. Approval from City of Berkley DPW.

The letter dated June 9, 2022 from Shawn Young had outstanding items for the plans dated May 27, 2022. In correspondence with Director Young, he indicated that he would be comfortable with final sign off from the Planning Commission if a dumpster was used, as originally proposed. The applicant then submitted revised plans dated June 21, 2022, showing a dumpster.

- Approval from the consulting engineer, HRC.
 In their letter dated June 9, 2022, HRC recommended approval of the proposed Site Plan subject to the applicant obtaining and submitting copies of any required permits.
- The dumpster screening detail is included on the final site plan.
 The dumpster screening detail is included on Sheet A102 of the plans dated revised June 21, 2022.
- The bike rack is moved to the north side of the dumpster.
 The plans dated revised June 21, 2022 show the bike rack on the north side of dumpster.
- 6. The conditions of approval are finalized with a review by the Planning Commission. The purpose of this agenda item is review completions of the conditions of approval.

Planning Review from Carlisle Wortman Associates (CWA) dated June 16, 2022

CWA recommended final site plan approval. They noted slight modifications to the front elevations.

Review from City of Berkley Department of Public Works (DPW) dated June 9, 2022

DPW noted the following comments:

- 1. The latest plan shows the elimination of a dumpster pad/enclosure and adds the use of multiple single cans. The maximum number of cans allowable per service address is two. The use of a single central waste collection/disposal point shall be shown on the plan.
- 2. HRC should confirmation of detention system requirements and observation of utility installations in the Right of Way.
- 3. The proposed stormwater management system will be a private system under the maintenance of the property owner. The City Attorney should approve completed maintenance agreements.
- 4. It appears that the proposed storm connection work on Phillips will negatively impact the traffic flow to the neighboring business at 3675 Twelve Mile. This will need to be communicated with the business owner prior to the start of construction.
- 5. A traffic control plan has been added to the plan set to account for the proposed impacts in the 12 Mile and Phillips right-of-way. This plan has the potential to impact the traffic flow of the neighboring business at 3675 Twelve Mile. Please revise the Traffic Plan to minimize the impact to the neighboring business.
- 6. A large portion of Phillips Ave is scheduled for reconstruction within this summer. Once reconstruction has been completed all restoration work will be full slab seam to seam only.
- 7. A detailed construction schedule including restoration timelines shall be provided prior to the start of construction.

Review from Hubbell, Roth & Clark (HRC) dated June 9, 2022

Per their letter dated June 9, 2022, HRC recommended approval of the proposed Site Plan subject to the applicant obtaining and submitting copies of any required permits.

Summary and Recommendation

For this final site plan approval, the applicant made two submissions, on May 27, 2022 and June 21, 2022. We have included the cover letters from the applicant for both submittals and the plans from June 21, 2022. We feel that the cover letters document the changes between the plans you reviewed in March

and the plans submitted for final approval but felt that it would be potentially confusing to include both sets of plans.

If the Planning Commission chooses to grant site plan approval, we recommend that the following items be stated as findings or conditions of approval:

- 1. RCOC Approval.
- 2. Approval of the stormwater maintenance agreement by the City Attorney.
- 3. A pre-construction meeting is required. Before scheduling of that meeting, all items listed the City's DPW review letter, dated June 9, 2022, must be received by the City.
- 4. Approval from the City's Engineer that all permits, as noted in their review letter dated June 9, 2022, have been met.



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 28, 2022

March 15, 2022 June 16, 2022

Final Site Plan Review For City of Berkley, Michigan

Applicant: 3737 Twelve Mile, LLC

Project Name: The Phillip Rowhomes

Plan Date: May 27, 2022

Location: 3737 Twelve Mile Road and 3363 Phillips Avenue

Zoning: Twelve Mile District

Action Requested: Final Site Plan Approval

SITE DESCRIPTION

The applicant is proposing a new seven unit rowhomes development at 3737 Twelve Mile Road and 3363 Phillips Avenue. The buildings will front on Twelve Mile. Vehicular access to the site will be off Phillips Avenue. The buildings are three (3) stories with a fourth story roof deck. All three (3) structures on the existing site will be removed.

The site is zoned Twelve Mile District, and rowhomes is a permitted use.

Site Location:



Proposed Uses of Subject Parcel:

A 7-unit rowhome development

Current Use of Subject Property:

The subject property currently consists of a single-family home with detached garage and office building.

Surrounding Property Details:

Direction	Zoning	Use
North	Twelve Mile District	Commercial
South	Single Family Residential, R1-D	Single-Family Residential
East	Twelve Mile District	Phillips Avenue / Commercial
West	Twelve Mile District	Commercial

Items to be addressed: None.

NATURAL FEATURES

The site has been graded for previous development. No natural features exist.

BUILDING ARRANGEMENT AND SITE DESIGN

The buildings will front on Twelve Mile. Vehicular access to the site will be off Phillips Avenue.

Items to be addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Sec. 138-397 - Schedule of Regulations of the Zoning Ordinance establishes the dimensional requirements for the Twelve Mile District.

	Required	Provided	Compliance
Front (Twelve Mile Road)	No setback shall be permitted, unless the Planning Commission finds that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space.	8 Feet	Granted waiver as part of the preliminary site plan
Front (Phillips)	No setback shall be permitted, unless the Planning Commission finds that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space.	1-foot, 9- inches	Granted waiver as part of the preliminary site plan
Side	No setback shall be permitted, unless the Planning Commission finds that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space.	4.75-inches	Granted waiver as part of the preliminary site plan
Rear	10-feet	46-Feet	Complies
Building Height	Maximum 40 feet	38 Feet (as noted on site plan), with roof deck	Complies

The applicant is providing a setback of eight (8) feet from Twelve Mile Road to provide a small lawn/landscape area and pedestrian sidewalk. The proposed 8-foot setback is reasonable to accommodate the residential use.

Carlisle Wortman Associates, Inc.

The applicant is seeking a relief from the Planning Commission from the required side yard (west) and front yard (Phillips) setback due to irregular shape of the lot. The request relief is reasonable due to the irregular shape of the lot.

The Planning Commission approved the waivers as part of the preliminary site plan approval.

We note the inclusion of a roof deck, which will be approximately thirty (30) feet in height. The roof deck is a valuable and supported amenity to the development. However, we note that, although the deck is surrounded by a 4-foot parapet, there is potential for negative impacts on the single-family homes south of the development. Impacts of particular concern are noise, light, and potential views into second stories of adjacent homes. The Planning Commission should discuss potential need for a higher parapet along the southern portion of the roof deck to block noise, light, and views.

The Planning Commission discussed the roof deck and found the proposed screening to be adequate.

Items to be addressed: None

PARKING

Section 138-219 of the Zoning Ordinance requires:

	Required	Provided
Single-family residential detached or attached:	7 units = 14 spaces	14
2 spaces per unit	7 units = 14 spaces	14

For each unit, one (1) space is located in an at-grade garage and one (1) space is located in driveway spot behind garage door. The applicant is distinguishing the driveway spots with curbing and landscaping.

The applicant has included an onsite bike rack.

Items to be Addressed: None

Building Design Standards

Sec. 138-462. - Building design requirements.

a) The first floor elevation of a building that fronts a street shall be composed of a minimum of 40 percent and a maximum of 80 percent windows. When there is a choice between a major thoroughfare and a minor street, the elevation that faces the major thoroughfare shall be considered the front.

CWA Response: The applicant is providing 26.3% transparency on front (Twelve Mile) elevation. The applicant notes that due to costs and because it is a residential use, they would like to maintain privacy. The applicant is seeking relief from the Planning Commission.

b) The building elevation that fronts a street shall contain an entrance. The entrance shall access the first floor of the building. When there is a choice between a major thoroughfare and a minor street, the elevation that faces the major thoroughfare shall be considered the front.

CWA Response: The primary building entrance fronts on Twelve Mile Road.

c) Siding, generally considered residential, regardless of orientation, and T111-type material shall not be permitted.

CWA Response: The applicant proposes metal cladding siding.

d) The Planning Commission may revise these requirements, if the commission finds that the standards for site plan approval, as outlined in Section 138-678, have been met.

CWA Response: The Planning Commission is asked to consider a waiver for transparency based on the proposed residential use and subsequent desire for privacy.

Items to be Addressed: Planning Commission to consider waiver for transparency requirements.

LANDSCAPING AND SCREENING

A landscaping plan has been provided on sheet LP-1. The applicant proposes robust landscaping in both the front of the buildings adjacent to Twelve Mile Road and in the rear in the parking area. Landscaping includes ornamental trees, shrubs, flowers, and evergreen screening along the southern property line.

As set forth in Section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require trees to be planted on or near the site consistent with the elements of the adopted city master plan.

Trash Enclosure:

The applicant is proposing one (1) trash enclosure with the rear parking area. The applicant has indicated the screening of the trash enclosure will be masonry that matches the building.

Carlisle Wortman Associates, Inc.

Items to be Addressed: None

PHOTOMETRICS

A photometric plan has been provided. The applicant is proposing four (4) building lights that are mounted above garage, and seven (7) can LED lights along front elevation.

Items to be Addressed: None

EXTERIOR APPLIANCES

Applicants notes that AC units will be located on roof and screened by parapet.

Items to be Addressed: None

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations have been provided. Materials include brick first floor, and metal cladding on upper floors. In our previous review we raised the issue of a lack of transparency on the west elevation. The applicant notes that widows on west façade are cost prohibitive due to them having to be fire rated. The applicant finds that the west façade is cohesive with the rest of the building and the use of different textures and warmer colored materials make this an appealing building. In further discussion, the Planning Commission found the west elevation as submitted to be adequate.

The applicant has made slight modifications to the front elevation.

Items to be Addressed: None

DESIGN STANDARDS AND SITE PLAN REVIEW STANDARDS

As set forth in Sec. 138-679. – Standards, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

1. The site meets the requirements of this Code.

CWA Response: Outside of the requested noted waivers, the site meets all Code requirements. The Planning Commission granted the noted waivers as part of the preliminary site plan.

2. The proposed development does not create adverse effects on public utilities, roads, or sidewalks.

CWA Response: The proposed development does not create adverse effects on public utilities, roads, or sidewalks.

3. Pedestrian and vehicular areas are designed for safety, convenience, and compliment adjacent site design.

CWA Response: The applicant has designed the site to provide safe and convenient vehicular and pedestrian access and circulation.

4. Site design, architecture, signs, orientation, and materials are consistent with the city's master plan objectives and the design of the neighboring sites and buildings.

CWA Response: The development advances the City's master plan objectives, complements and enhances the existing built environment, and the use is complementary to neighboring properties.

5. Landscaping, lighting, dumpster enclosures, and other site amenities are provided where appropriate and in a complementary fashion.

CWA Response: The applicant is greatly improving the site with increased landscaping, new lighting, and has sited the dumpster enclosure in a proper location.

6. Site engineering has been provided to ensure that existing utilities will not be adversely affected.

CWA Response: The development is to be reviewed by the City Engineer to ensure existing utilities will not be adversely affected.

WAIVERS

As part of the approval of the preliminary site plan the Planning Commission granted the following waivers:

- Twelve Mile setback
- Phillips Avenue setback
- Side yard setback
- Front elevation transparency

RECOMMENDATION

We recommend final site plan approval.

Sincerely,

CARLISLE/WORTMAN ASSOC., INC. Benjamin R. Carlisle, LEED AP, AICP



To: Megan Masson-Minock, Interim Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)

Ric Chalmers, Asst DPW Director (via email)

Eddie Zmich, HRC (via email)

From: Shawn Young, DPW Director

Date: June 9th, 2022

Subject: Proposed Phillips Townhomes (The Phillip Rowhomes)

3737 12 Mile Site Plan Review#3

We have reviewed the revised site plans provided by the Community Development Department on May 27th and prepared by Wrap Architects and GK Consulting. Please find below our comments:

- 1. The latest plan shows the elimination of a dumpster pad/enclosure and adds the use of multiple single cans. The maximum number of cans allowable per service address is two. The use of a single central waste collection/disposal point shall be shown on the plan.
- We defer to HRC for confirmation of detention system requirements and observation of utility installations in the Right of Way.
- Please note the proposed stormwater management system will be a private system under the maintenance of the property owner. We defer to the City Attorney for confirmation of completed maintenance agreements.
- 4. It appears that the proposed storm connection work on Phillips will negatively impact the traffic flow to the neighboring business at 3675 Twelve Mile. This will need to be communicated with the business owner prior to the start of construction.
- 5. A traffic control plan has been added to the plan set to account for the proposed impacts in the 12 Mile and Phillips right-of-way. This plan has the potential to impact the traffic flow of the neighboring business at 3675 Twelve Mile. Please revise the Traffic Plan to minimize the impact to the neighboring business.
- 6. Please note that a large portion of Phillips Ave is scheduled for reconstruction within the next 6 weeks. Once reconstruction has been completed all restoration work will be full slab seam to seam only.
- 7. A detailed construction schedule including restoration timelines shall be provided prior to the start of construction.

A response letter from the applicant to these comments would be helpful in subsequent reviews.

Feel free to contact me if there are any questions or concerns,



MAILING: PO Box 824 Bloomfield Hills, MI 48303-0824

SHIPPING: 555 Hulet Drive Bloomfield Hills, MI 48302-0360

PHONE: 248-454-6300 WEBSITE: hrcengr.com

HRC Job No. 20220175.02

June 9, 2022

City of Berkley 3338 Coolidge Highway Berkley, Michigan 48072

Attention: Ms. Megan Masson-Minock, Community Development Director

Mr. Matthew Baumgarten, City Manager

Re: The Phillips Rowhomes

3737 Twelve Mile Road

Engineering Site Plan – Review No. 3

City of Berkley, MI

Dear Ms. Masson-Minock and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Wrap Architects of Detroit, Michigan with the engineering site plan created by GK Consulting of Garden City, Michigan. The plans have a revision date of May 27, 2022. The proposed project scope includes the renovation of an existing commercial building as well as a residential home and garage, and construction of a 7-unit Townhome complex. We hereby offer the following comments:

General:

- 1. A Road Commission for Oakland County (RCOC) permit will be required for proposed work within the 12-Mile Road right-of-way as well as for construction signage. **This item is still applicable. The approved RCOC permit must be submitted to the City prior to construction.**
- 2. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required. Traffic control plans have been added to the plan set. These will require approval by RCOC along with the right-of-way permit. The sequence of construction including lane closure dates and durations must be submitted prior to construction.
- 3. All existing utilities and service leads must be shown on the plans. The existing utilities have been shown on the plans. This item has been satisfactorily addressed.

Water and Fire Protection Services:

1. As discussed in the pre-application meeting, the proposed water service must connect to the 12" water main in Twelve Mile Road, rather than the 6" main in Phillips Ave. *The water main connection has been moved to Twelve Mile Road. This item has been satisfactorily addressed.*



Storm Drainage and Detention/Sanitary Sewer:

- 1. A geotechnical investigation must be performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs must be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system. The geotechnical report has been submitted. The report states that the site's soils are not suitable for infiltration, and thus, the previous design that included perforated pipe and aggregate storm water storage is not recommended for this site. The previous plan set showed the stone surrounding the underground pipe providing a portion of the proposed storage, which would not be feasible per this report. The plans were revised to reflect this, with the pipe being changed to solid-walled, the stone surrounding the underground storm system not providing any storage on the current plan set, and the length of the proposed underground storm system being increased to provide the required amount of storage. As such, this item has been satisfactorily addressed.
- 2. This office has conducted a review of the stormwater calculations. The plans include 100-year stormwater detention volume calculations in accordance with current Oakland County WRC standards, as well as details and calculations showing the provided storage from the proposed stormwater management system. As such, the system appears to be adequately sized to detain stormwater from the proposed development, however, the feasibility of the proposed system in regards to the site soils must be confirmed through the geotechnical investigation as stated above. **This item has been satisfactorily addressed.**
- 3. Note that downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area. They may also be directed through the proposed restricted-outlet structure. The location of the proposed downspouts and the above note must be shown on the plans. The downspouts have been shown on the plans and discharge into green space areas. This item has been satisfactorily addressed.
- 4. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction. The stormwater maintenance agreement has been submitted. This item has been satisfactorily addressed. The maintenance agreement must ultimately be reviewed and approved by the City and their attorney.
- 5. A note indicates the existing building sanitary lead will remain in place and be re-utilized. The applicant must have the sanitary lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction. The plans have been revised to include a new sanitary lead rather than reusing the existing commercial lead. This item is no longer applicable.
- 6. The existing sanitary sewer leads must be properly abandoned via a spot liner or another DPW approved method. The Applicant is responsible for any roadwork and restoration associated with the new utility connections which must be shown on the submitted plans. A note has been added to the plans in regard to the existing commercial sanitary lead in Twelve Mile Road; however this item is also applicable to the residential lead in Phillips Ave. This lead must be shown on the plans and noted for abandonment as well. The residential lead has been noted for abandonment in accordance with City standards. This item has been satisfactorily addressed.



Recommendation:

Based on our aforementioned comments, we recommend approval of the proposed Site Plan subject to the Applicant obtaining and submitting copies of any required permits.

If you have any questions or require any additional information, please contact the undersigned. Very truly yours,

HUBBELL, ROTH & CLARK, INC.

Edward D. Zmich Project Manager Mitch Stark Review Engineer

EDZ/MAS/mas

pc: City of Berkley; Derrick Schueller, Shawn Young, Kim Anderson

HRC; R. Alix, File

3737 Twelve Mile, LLC; Daniel Stakhiv Wrap Architects; Kelsey Reynolds GK Consulting; Ghassan Kalaf



TO BE COMPLETED BY APPLICANT:

APPLICATION FOR SPECIAL LAND USE REVIEW

NOTICE TO APPLICANT: Applications for Special Land Use review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fee.

The Planning Commission will hold the required *public hearing* and will make a recommendation to the City Council. Special Land Use approval shall be obtained from the City Council.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072. The City Council meets the first and third Mondays of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

I (We), the undersigned following information to	I, do hereby respectfully request Special Land Use Review and provide the assist in the review:
Project Name:	The Black Hop Briwery
Applicant:	Don Hall
Mailing Address:	outhfield M1 48
Telephone:	
Email:	
• Property Owner(s), if di	fferent from Applicant: RB (roperties LLC Linda Chappelle
Mailing Address:	42402 Can In Dr. Sterling Hts My 48313
Telephone:	04° 016 7805
	Chappell linda @ amail.com
	Purchase of Properties

Updated 02.21.2021

LOCATION OF PROPERTY:									
Street Add	Street Address: 2684-2688 Coolidge Highway, Berkley, MI 48072								
Nearest Cr	st Cross Streets: Catalpa Dr & Coolidge Highway								
Sidwell Nur	Sidwell Number(s): 04-25-17-155-030								
PROPERT	Y DESCRIP	ΓΙΟΝ:							
Provide lot	numbers and	d subdivision: LC)T 1	47 & PART OF LOT 148 OF BROOKLI	NE	HILL	.S,		
REFER TO	ARCHITECT	URAL SITE PLAN	N FC	OR FULL LEGAL DESCRIPTION					
Property Si	ze (Square F	_{eet):} _5,036 \$	Sq.	Ft(Acres): _0.12	<u>}</u>	_			
EXISTING	ZONING DIS	STRICT (please o	chec	ck):					
	R-1A			Local Business		Co	olidge		
	R-1B			Office	Ø	Do	wntown		
	R-1C			Community Centerpiece		Ind	lustrial		
	R-1D			Woodward		Ce	metery		
□ RM				Eleven Mile		Pa	rking		
	RMH			Twelve Mile					
Present He	e of Property		Ret	ail					
Tresent ose or Toperty.				staurant/Tavern					_
									— No
is the prope	irty located w	num the Downto	VV11	bevelopment Admonty:			103		140
PROJECT I	DESCRIPTION	ON:							
		•		and bakery spaces into a brewe beer garden seating.	ı ry	with	the va	can	t
Does the pr	oposed proje	ect / use of prope	rty ı	require Site Plan Approval?			Yes	✓	Νo
Does the pro	Does the proposed project require Variance(s) from the Zoning Board of Appeals? □ Yes ☑ No								No

Updated 02.21.2021 2 | P a g e

If yes, describe the variances that will be required:	
N/A	

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office				
Commercial		2,077 Sq. Ft.	0 Vehicular	
Industrial				
Other				

STANDARDS FOR SPECIAL LAND USE APPROVAL:

To be considered for Special Land Use approval, the Planning Commission and City Council shall consider the following standards. Please address **how** the proposed use satisfies each standard, as specified in Section 138-653.

1.	The proposed use will promote the use of land in a socially and economically desirable manner.
	The property will be used per the zoning ordinance with proposed outdoor seating to support the local community.

2. The proposed use is necessary for the public convenience at that location.

A more desirable atmosphere as well as additional seating will be provided for the patrons of the brewery and assist in beautifying the surrounding neighborhood.

3. The proposed use is compatible with adjacent land uses.

There are other restaurants within walking distance of the site which have outdoor seating occupying their parking areas.

4. The proposed use is designed so that the public health, safety and welfare shall be protected.

The patrons will be protected and shielded from the shipping and receiving areas as well as the parking in the adjacent lot. All outdoor materials and furniture are durable and will have minimal maintenance required.

Updated 02.21.2021 3 | ₱ a g e

5. The proposed use will not cause injury to other property in the neighborhood.

The proposed use will not cause injury to other properties. A meeting was held with the adjacent property owner in conjunction with the city of Berkley to ensure the health and safety of the adjacent site are being met.

PROF	ESSIONALS WH	O PREPARED PLANS:
A.	Name:	Harold J Remlinger, AIA
	Mailing Address	
	Telephone:	
	Email:	
	Design Respons	sibility (engineer, surveyor, architect, etc.): Architect
В.	Name:	
	Mailing Address	:
	Telephone:	
	Email:	
	Design Respons	sibility:

SUBMIT THE FOLLOWING:

- 1. Ten (10) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor. If copies are submitted simultaneously for Site Plan Review, then submittal of ten (10) additional copies is not necessary.
- 2. A pdf file of the plan and any supporting documents, emailed to the Community Development Director.
- 3. Proof of property ownership (title insurance policy or registered deed with County stamp).

Updated 02.21.2021 4 | № a g e

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Special Land Use request may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Special Land Use application or to revoke any permits granted subsequent to the Site Plan Approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission and City Council meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line)					
I hereby authorize and give permission for the City of Berkley to install one or more temporary signs on my property, in order to notify the public of the required public hearing related to the Special Land Use request.					
I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above referenced property in relation to the above request.					
APPLICANT'S ENDORSEMENT: (Initial each line)					
All information contained therein is true and accurate to the best of my knowledge.					
I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted.					
I acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this Special Land Use application.					
If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.					

Updated 02.21.2021 5 | ℝ a g e

Signature of Applicant	5-27-2622 Date
Doria Hall Applicant Name (Print)	
Signature of Applicant	Date
Applicant Name (Print)	
	5-27-2020
Signature of Property Owner Authorizing this Application	Date
Property Owner Name (Print)	

OFFICE USE ONLY			
Received	Receipt #	Meeting Date	Case #

Fee: Special Land Use \$400

THE BLACK HOP - SPA + SLU REVISIONS



DORTHEA

CATALPA DRIVE

LOCATION MAP

N.T.S.

TABLE OF CONTENTS:

2 A-201 FLOOR PLAN & REAR BEER GARDEN PLAN

A-301 CONCEPTUAL RENDERINGS

A-302 CONCEPTUAL RENDERINGS

A-100 GENERAL NOTES

2 1 A-200 ARCHITECTURAL SITE PLAN

2 A-300 ELEVATIONS

- SITE LOCATION

2684-2688 COOLIDGE HIGHWAY BERKLEY, MI 48072

BUILDING	DATA:		
ZONED:	DOUNTOUN DISTRICT		
CONSTRUCTION TYPE:	V-B		
USE GROUP:	ASSEMBLY A-2		
GOVERNING BUILDING CODE:	MICHIGAN REHABILITA BUILDINGS 2015 - ALT	ATION CODE FOR EXISTING ERATION LEVEL 3	G
BUILDING AREA:	2688 COOLIDGE HWY. 2684 COOLIDGE HWY.		
PARKING REQUIREMENTS:	EXEMPT PER SECTION LOT LOCATION, DESIG	I 138-222 - PARKING N, AND CONSTRUCTION	
OCCUPANCY:	STORAGE*: 330 SQ. FT BREW HOUSE: 290 SQ. KITCHEN/BAR: 416 SQ	FT. /IØØ = 2	
	TAP ROOM: 623 SQ. F BAR SEATING: = OUTDOOR SEATING: 8' STANDING ONLY: 50 S TOTAL:	27 12 SQ. FT. /I5 = 58	
RESTROOM REQUIRED & PROVIDED:	EXISTING MEN WOMEN UNISEX	WATER CLOSET	LAVATORY
	REQUIRED MEN WOMEN UNISEX	 	1 1 Ø
DRINKING FOUNTAINS:	NOT REQUIRED		
FIRE SUPPRESSION:	NOT REQUIRED		
SERVICE SINK:	EXISTING:		
	REQUIRED:		



EXTERIOR CORNER ENTRANCE CONCEPTUAL RENDER N.T.S.

DIRECTORY						
CLIENT	DORIAN HALL & JAMES ELLISON BLACK HOP BREWERY	2688 COOLIDGE HIGHWAY BERKLEY, MI 48Ø72	(313) 587-3522			
ARCHITECT	HAROLD J REMLINGER AIA, LEED AP DESIGNTEAM PLUS, INC.	975 E. MAPLE RD, SUITE 210 BIRMINGHAM, MI 48009	(248) 559-1 <i>000</i>			
BREWING EQUIPMENT CONSULTANT	CHRIS BREIMAYER PSYCHO BREW LLC	300 GREENVILLE W DR. GREENVILLE, MI 48838	(616) 204-2438			

I. V.I.F VERIFY IN FIELD	15. MAT'L MATERIAL
2. O.C ON CENTER	16. REQ'D REQUIRED
3. U.O.N UNLESS OTHERWISE NOTED	17. MFR MANUFACTURER
4. S&V - STAIN AND VARNISH	18. WD WOOD
5. PTD PAINTED	19. EXT'G EXISTING
6. V.T.O VENT TO OUTSIDE	20. MTD MOUNTED
7. U.S UNDERSIDE	21. STD STANDARD
8. AFF ABOVE FINISH FLOOR	22. ABV ABOVE
9. TYP TYPICAL	23. E.P ELECTRICAL PANEL
10. H HIGH (HEIGHT)	24. M.T MARBLE THRESHOL
II. N.T.S NOT TO SCALE	25. T & B - TOP AND BOTTOM
12. TM.E TO MATCH EXISTING	26. P.T PRESSURE TREATED
13. L LONG (LENGTH)	27. Y.W.O VERIFY WITH OWNE
14. W WIDE (WIDTH)	28. C.T CERAMIC TILE
	29. N.I.C NOT IN CONTRACT

O.S. ON SERVER	is: Itas: Itaaiits
U.O.N UNLESS OTHERWISE NOTED	17. MFR MANUFACTURER
SEV - STAIN AND VARNISH	18. WD WOOD
PTD PAINTED	19. EXT'G EXISTING
V.T.O VENT TO OUTSIDE	20. MTD MOUNTED
U.S UNDERSIDE	21. STD STANDARD
AFF ABOVE FINISH FLOOR	22. ABV ABOVE
TYP TYPICAL	23. E.P ELECTRICAL PANEL
H HIGH (HEIGHT)	24. M.T MARBLE THRESHOLD
N.T.S NOT TO SCALE	25. T & B - TOP AND BOTTOM
TME TO MATCH EXISTING	26. P.T PRESSURE TREATED
L LONG (LENGTH)	27. Y.W.O VERIFY WITH OWNER
W WIDE (WIDTH)	28. C.T CERAMIC TILE
	29. N.I.C NOT IN CONTRACT



DesignTeam +
975 E. Maple Road, Suite 210
Birmingham, Michigan 48009

P: 248. 559. 1000 into@designteamplus.com

DORIAN HALL

2684-2688 COOLIDGE HIGHWAY, BERKLEY, MI 48072

THE BLACK HOP

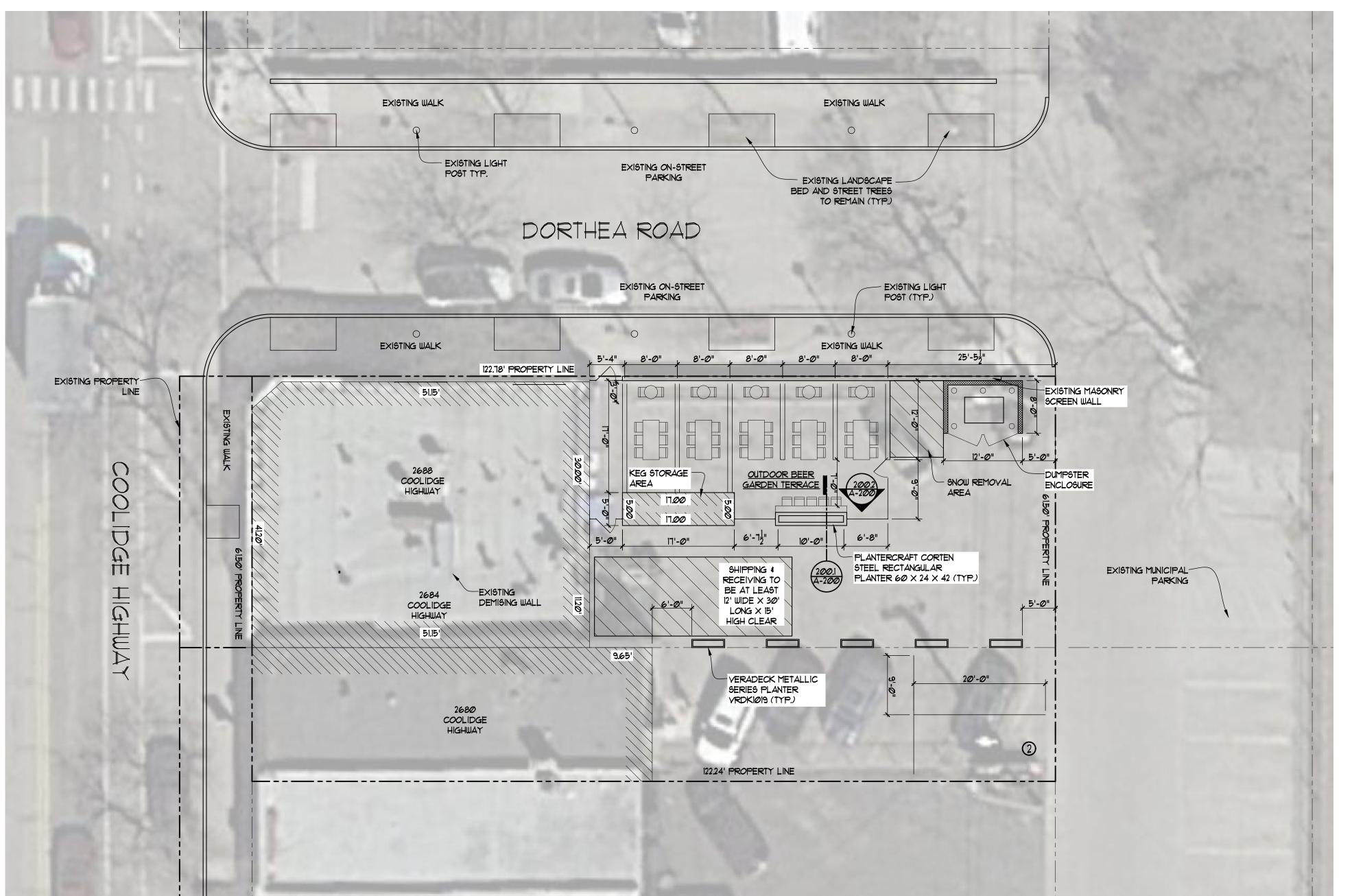
2684-2688

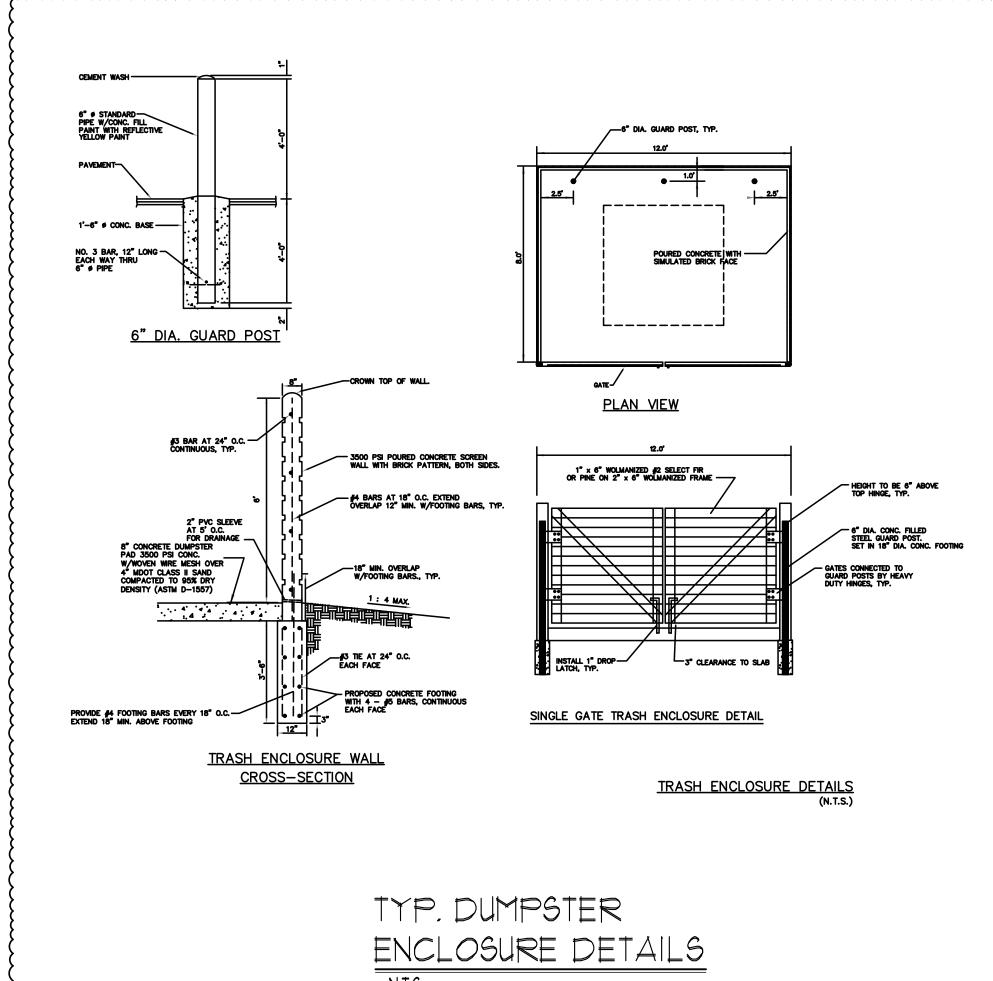
COOLIDGE HIGHWAY, BERKLEY, MI 48072 Designed/Drawn JA/TD/JB Checked/Approved

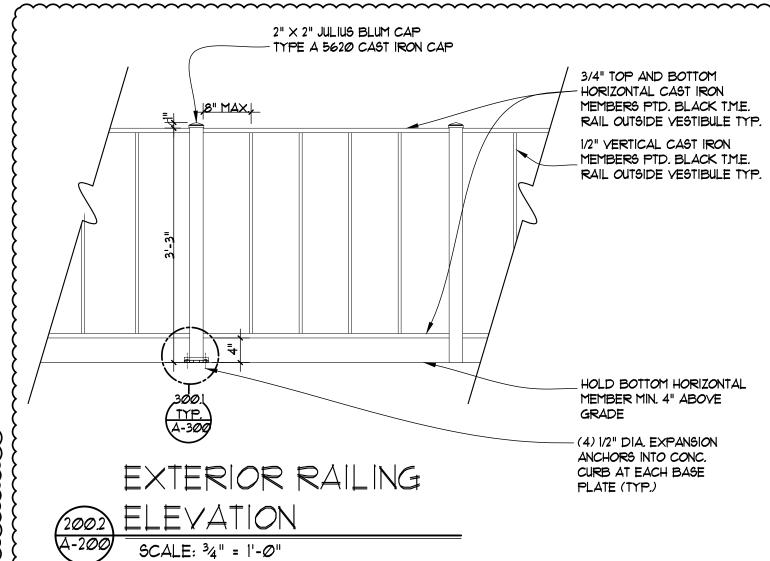
382-2022

File: Black H	=ile: Black Hop Brewery CDs_2022.dwg		
Date/Revisions	Issue for		
04/22/22	SPA		
05/27/22	SPA + SLU REVISIONS		
06/09/22	CITY REQUESTED SPA + SLU REVISIONS		

COPYRIGHT 2
DesignTeam Plus, Inc.
ALL RIGHTS RESERVED This Document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of DesignTeam Plus, Inc.



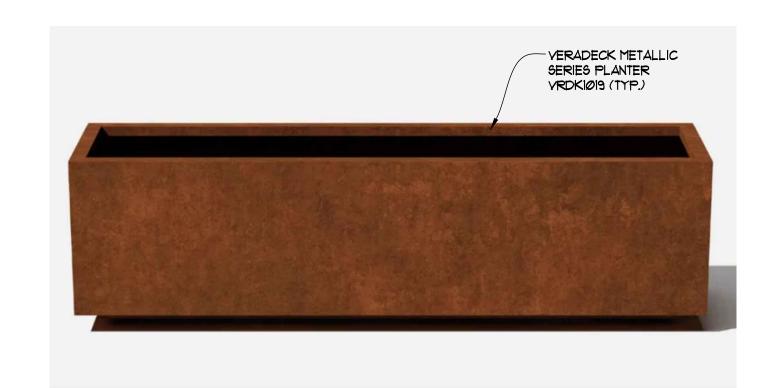




NOTE: INFORMATION SHOWN ON ARCHITECTURAL SITE PLAN WAS TAKEN FROM SURVEY PROVIDED BY ALEXANDER NICOLAESCU LAND SURVEYOR NO. 22705 \$ UNDERLAY AERIAL IMAGE TAKEN

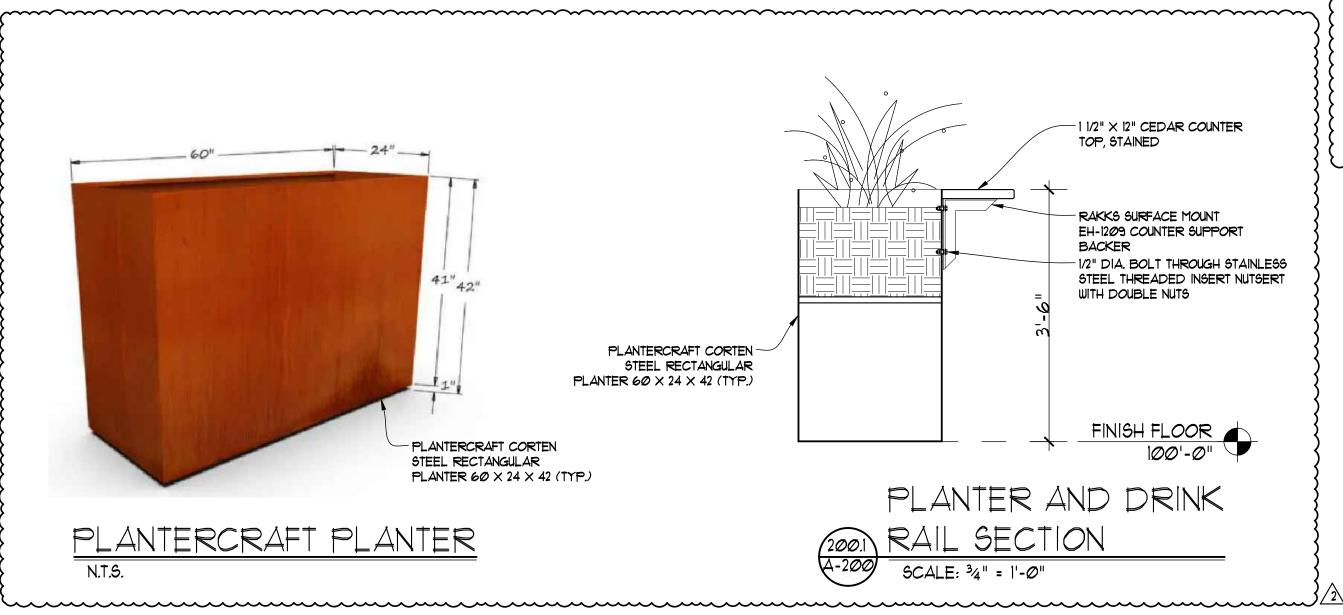
FROM GOOGLE EARTH.





VERADECK PLANTER

N.T.S.



LEGAL DESCRIPTION

LOT 141 EXCEPT THE WESTERLY 9.16 FEET AND NORTH 1/2 OF LOT 148 EXCEPT THE WESTERLY 9.82 FEET OF BROOKLINE HILLS, A PART OF THE N.E. 1/4 OF SECTION 18, AND A PART OF THE N.W. 1/4 OF SECTION 17, TOWN I NORTH, RANGE II EAST, ROYAL OAK TOWNSHIP (NOW CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 13 OF PLATS, PAGE 36 OF OAKLAND COUNTY RECORDS.

Date/Revisions 04/22/22 SPA + SLU REVISIONS \ 05/27/22 CITY REQUESTED SPA + SLU REVISIONS <u>/2</u>\ 06/09/22

File: Black Hop Brewery CDs_2022.dwg

DesignTeam +

Birmingham, Michigan 48009

info@designteamplus.com

DORIAN HALL

COOLIDGE HIGHWAY, BERKLEY, MI 48072

THE BLACK HOP

JA/TD/JB

COOLIDGE HIGHWAY,

BERKLEY, MI 48072

2684-2688

2684-2688

Designed/Drawn

Checked/Approved

P: 248. 559. 1000

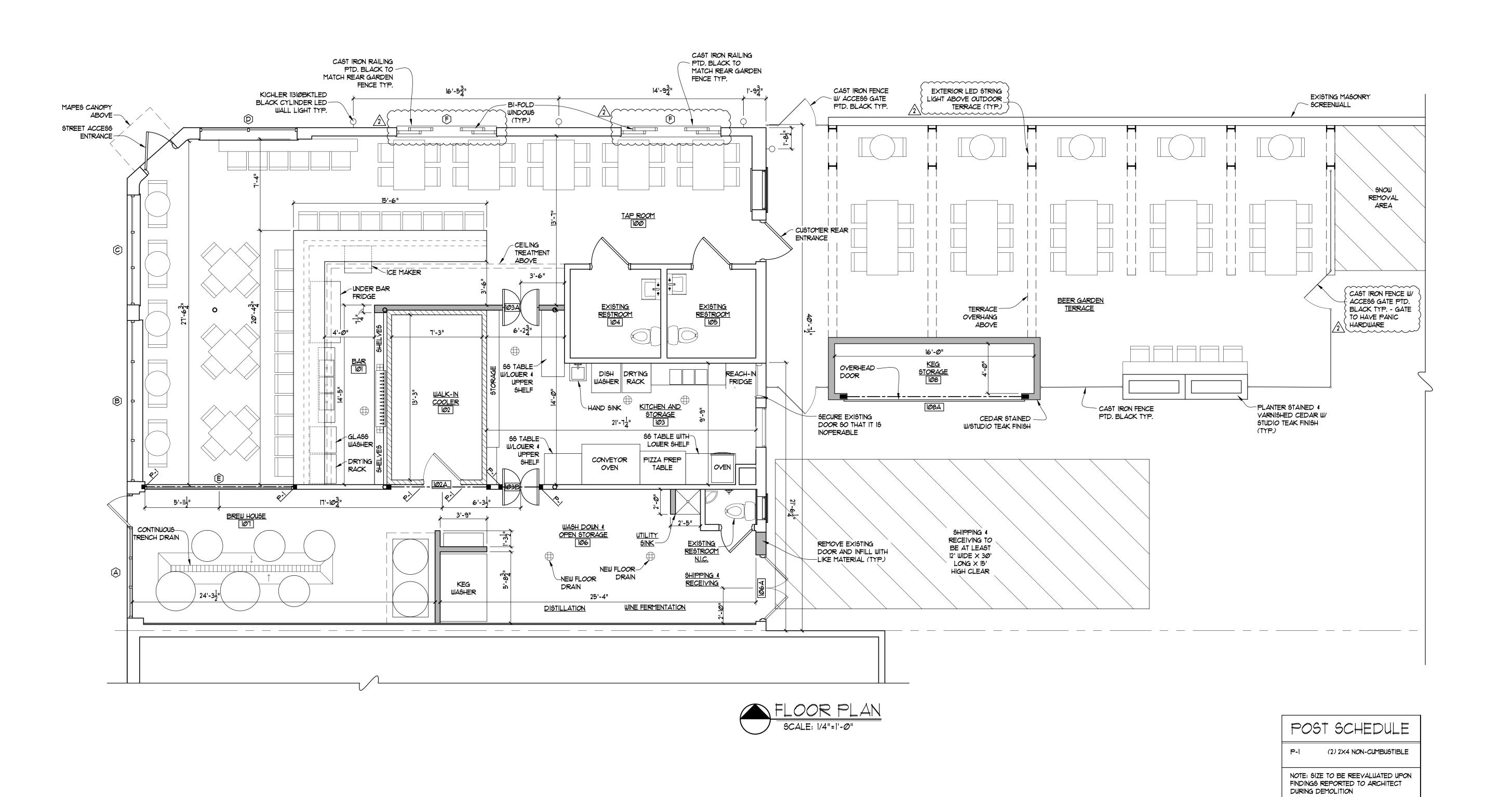
Design Team +

Architecture Interior Design

COPYRIGHT 2022 © DesignTeam Plus, Inc. ALL RIGHTS RESERVED This Document and the subject matter contained therein is proprietary and is not to be used or

reproduced without the written permission of DesignTeam Plus, Inc.

A-200







DesignTeam + 975 E. Maple Road, Suite 210 Birmingham, Michigan 48009

P: 248. 559. 1000

info@designteamplus.com

DORIAN HALL

2684-2688 COOLIDGE HIGHWAY, BERKLEY, MI 48072

THE BLACK HOP

2684-2688 COOLIDGE HIGHWAY, BERKLEY, MI 48072

Checked/Approved HJR 382-2022 Black Hop Brewery CDs_2022.dwg

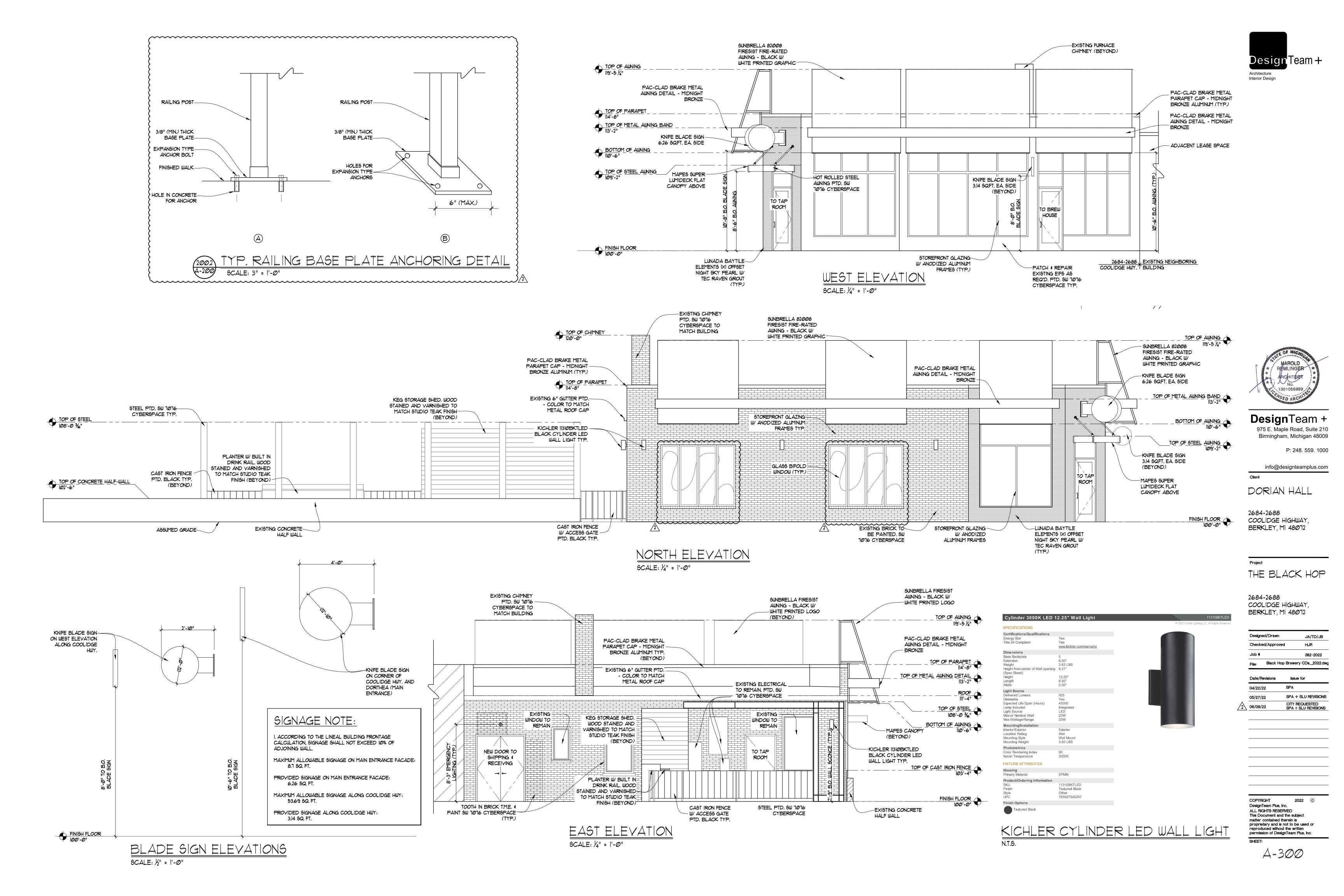
JA/TD/JB

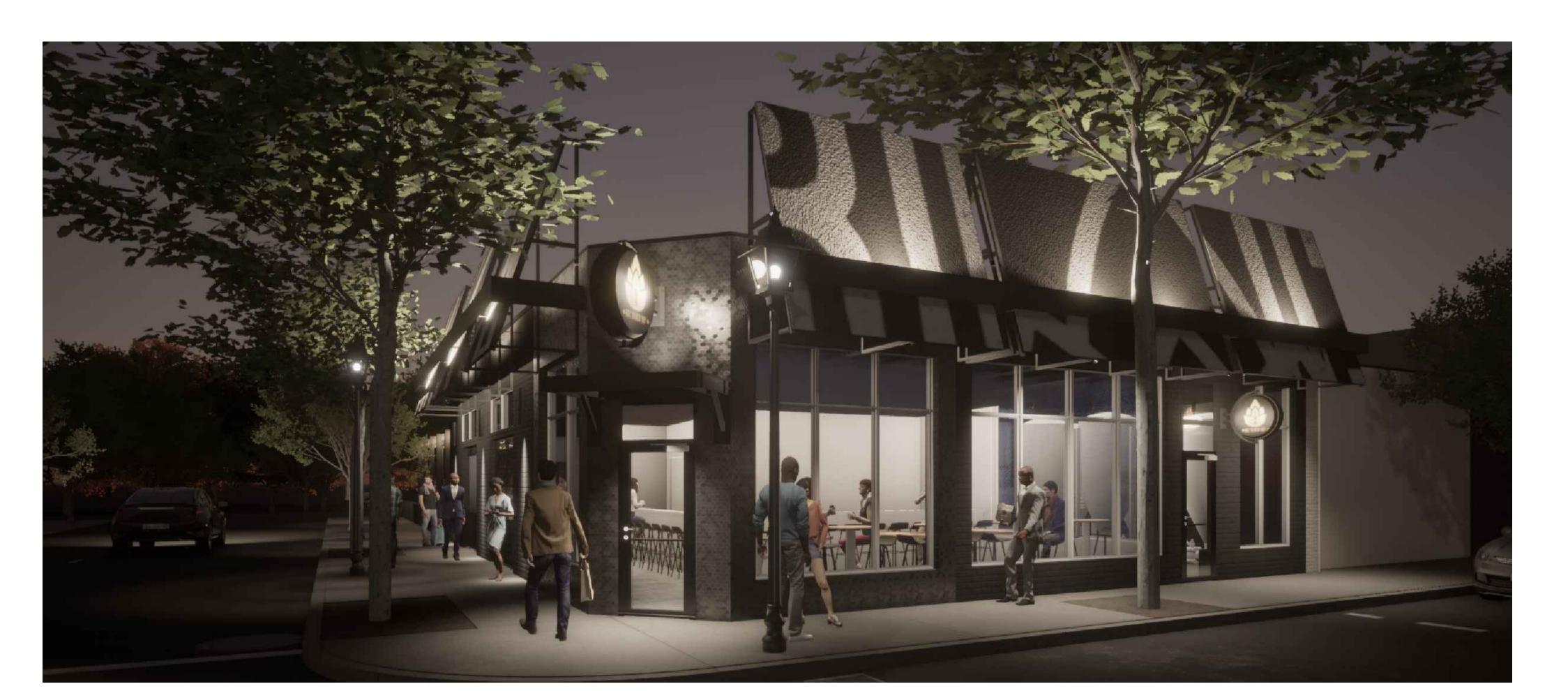
Designed/Drawn

Date/Revisions 04/22/22 SPA + SLU REVISIONS 05/27/22 CITY REQUESTED SPA + SLU REVISIONS 06/09/22

> COPYRIGHT 2022 © DesignTeam Plus, Inc. ALL RIGHTS RESERVED This Document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of DesignTeam Plus, Inc.

A-202





CONCEPTUAL ENTRANCE NIGHT RENDERING NOT TO SCALE



CONCEPTUAL BEER GARDEN DAY RENDERING NOT TO SCALE





DesignTeam +
975 E. Maple Road, Suite 210
Birmingham, Michigan 48009

P: 248. 559. 1000

DORIAN HALL

2684-2688 COOLIDGE HIGHWAY, BERKLEY, MI 48072

THE BLACK HOP

2684-2688 COOLIDGE HIGHWAY, BERKLEY, MI 48Ø72

	Checke	ed/Approved	HJR
	Job #		382-2022
	File:	Black Hop Brewe	ry CDs_2022.dwg

Date/Revisions	Issue for
04/22/22	SPA
05/27/22	SPA + SLU REVISIONS
06/09/22	CITY REQUESTED SPA + SLU REVISIONS

COPYRIGHT 2022 ©
DesignTeam Plus, Inc.
ALL RIGHTS RESERVED
This Document and the subject
matter contained therein is
proprietary and is not to be used or
reproduced without the written
permission of DesignTeam Plus, Inc.

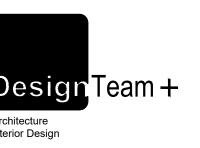
4-301



CONCEPTUAL COOLIDGE HWY, RENDERING NOT TO SCALE



CONCEPTUAL DORTHEA ROAD RENDERING
NOT TO SCALE





DesignTeam +
975 E. Maple Road, Suite 210
Birmingham, Michigan 48009

P: 248. 559. 1000

info@designteamplus.com

DORIAN HALL

2684-2688 COOLIDGE HIGHWAY, BERKLEY, MI 48072

THE BLACK HOP

2684-2688 COOLIDGE HIGHWAY, BERKLEY, MI 48Ø72

Designed/Drawn Checked/Approved Black Hop Brewery CDs_2022.dwg

SPA + SLU REVISIONS CITY REQUESTED SPA + SLU REVISIONS

COPYRIGHT 2022 ©
DesignTeam Plus, Inc.
ALL RIGHTS RESERVED
This Document and the subject
matter contained therein is
proprietary and is not to be used or
reproduced without the written
permission of DesignTeam Plus, Inc.

A-3Ø2



MEMORANDUM

To: Planning Commission

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: PSU-01-22: 2684-2688 Coolidge Highway – The Black Hop Brewery

Special Land Use Approval Plan Date: June 9, 2022

Date: June 22, 2022

The applicant submitted plans on April 22, 2022 for outdoor seating, interior and exterior renovations to convert the spaces at 2684 and 2688 Coolidge into a brewery, distillery, and tap room.

The renovations for 2684-2688 Coolidge Highway included interior and exterior renovations of the buildings, including the conversion of two individual units into a single business. The scope of the project altered less than 50 percent of the exterior surface materials of both facades of the buildings (facing Coolidge Highway and facing Dorothea), increased the number of windows facing Dorothea and maintained the number and size of windows facing Coolidge Highway. The proposal did not add floor area or height or height to the building and no additional parking is proposed. Per Section 138-678, Planning Commission review and approval is not required and the site plan can be reviewed administratively. These renovations were administratively approved with conditions on May 11, 2022. A copy of the administrative approval is included int the packet.

The proposed outdoor seating requires special land use. Per Sec. 38-657, the Planning Commission holds a public hearing on the special land use, and makes a recommendation to City Council in the form of a motion. The recommendation may be subject to certain conditions or changes being made. The City Council then, after considering the Planning Commission's recommendation, approves, approves with conditions or denies the special land use.

Attached are the following reviews for the special land use submitted:

Planning Review from Carlisle Wortman Associates (CWA) dated June 20, 2022

CWA noted in their review that the Planning Commission should discuss the following items with the applicant as part of the public hearing:

- 1. What are the specific hours of operation for the outdoor seating area?
- 2. Is waiver for the proposed lighting warranted?

Review from City of Berkley Department of Public Works (DPW) dated June 7, 2022

DPW noted the following comments:

- 1. A Design Miss Dig ticket shall be requested by the applicant so existing utilities can be shown on the drawings. The ticket number shall be indicated on the Architectural Site Plan.
- It is recommended that the existing private sanitary sewer lateral be investigated for size and condition.
- 3. It is recommended that the existing private water service is investigated to confirm size, material type, and condition.
- 4. The proposed outdoor seating and loading may be problematic when dealing with snow removal operations. Snow must not be deposited in adjacent public or private properties. A snow removal area has been shown on the plan but appears that it may be difficult to access. Please clarify how this area will be utilized.
- There is a general concern on the wastewater discharge from these types of sites. All wastewater discharges must meet current and future City, GLWA and WRC standards. Industrial Waste Charges may apply.
- 6. There appears to be no changes in drainage pattern on the proposed plan.
- 7. Note the Community Development Department will review the striping plan for verification of number of stalls required, sizing, handicap considerations and general site circulation.
- 8. A traffic control plan shall be added to the plan set to account for any proposed Right of Way impacts. This includes any potential sidewalk closures during construction.
- 9. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).

Review from City of Berkley Fire Inspector

Fire Inspector Pete Kelly approved the revised plans with the following condition:

1. Rear (east) Gate from outdoor seating area must swing in direction of egress, and all gates must be equipped with panic hardware.

Summary and Recommendation

The lighting proposed requires a waiver per Sec. 138-143, since the light source of the string lights would be visible from Dorothea at eye level.

The Planning Commission needs to make the following determination as to whether the application meets the standards in Sec. 138-653:

- 1. The proposed use will promote the use of land in a socially and economically desirable manner.
- 2. The proposed use is necessary for the public convenience at that location.
- 3. The proposed use is compatible with adjacent land uses.
- 4. The proposed use is designed so that the public health, safety and welfare shall be protected.
- 5. The proposed use will not cause injury to other property in the neighborhood.

The Planning Commission should discuss whether the hours of operation and noise will be a nuisance to adjacent properties and recommend any conditions that they feel are needed. Also, the Planning Commission should discuss the snow removal and storage noted by DPW.

If the Planning Commission chooses to recommend special land use approval, we recommend that the following items be finding and conditions of that recommendation:

- 1. The lighting as proposed gives adequate consideration to the conservation of energy, minimization of glare, light pollution and light trespass.
- 2. The special land use application meets the standards in Sec. 138-653, with the following conditions:
 - a. Restriction on hours of operation and/or noise levels determined by the Planning Commission. Please note that measurable details should be part of the motion.
 - b. Snow must not be deposited in adjacent public or private properties.
 - c. An on-site pre-construction meeting is held before infrastructure and/or exterior site work begins. Before scheduling of that meeting, all items listed the City's DPW review letters, dated May 6, 2022 and June 7, 2022 and the City Fire Inspector's review letters dated April 27, 2022 and May 31, 2022 must be received by the City.



MEMORANDUM

To: Kim Anderson, Building Clerk

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: PSP-11-22 - Exterior and Interior Renovations – 2684-2688 Coolidge Highway

Date: May 11, 2022

We have reviewed the plans for 2684-2688 Coolidge Highway dated April 22, 2022 and prepared by Design Team+ Architecture Interior Design, submitted as part of site plan application PSP-11-22. The plans were also distributed to Carlisle Wortman Associates, the Department of Public Works and the Fire Inspector for plan review and comments.

Carlisle Wortman submitted a memorandum dated April 28, 2022, noting that an administrative approval was possible but recommending that the applicant pursue a site plan and special land use, required for outdoor seating beyond December 31, 2022. In discussions with Design Team+ Architecture Interior Design, we understand that applicant would like to withdraw the outdoor seating component and pursue an administrative approval of the site plan.

The renovations for 2684-2688 Coolidge Highway include interior and exterior renovations of the buildings, including the conversion of two individual units into a single business. The scope of the project alters less than 50 percent of the exterior surface materials of both facades of the buildings (facing Coolidge Highway and facing Dorethea), increases the number of windows facing Dorothea and maintains the number and size of windows facing Coolidge Highway. The proposal does not add floor area or height or height to the building and no additional parking is proposed. Per Section 138-678, Planning Commission review and approval is not required and the site plan can be reviewed administratively.

Administrative Review Comments:

- 1. The site is zoned DT Downtown. The proposed use as a bar/tavern is a principal permitted use in that zoning district.
- The proposed outdoor seating is a special land use in the DT Zoning District, which is granted by the City Council with a recommendation from the Planning Commission. For administrative approval, the outdoor seating must be removed from the site plan.
- 3. The proposed keg storage in a detached accessory building could be included in the administrative approval, but due to the needed removal of the outdoor seating, it would be premature to include the keg storage building in the administrative approval. We recommend the applicant include the proposed keg storage station as part of the special land use application.

- 4. The Building Design Requirements for the DT Zoning District in Section 138-421 are met.
- 5. The proposed wall lights on the Dorethea façade meet the standards in Division 4.5 Outdoor Lighting.
- 6. No on-premise parking is required since municipal parking abuts the rear of the site, per Section 138-222(c)(1)
- 7. We recommend the applicant work with the property owner at 2680 Coolidge in any resubmittal for outdoor seating or changes in the rear parking area to define areas for the accessory building for keg storage, the trash dumpster with screening, vehicle and bicycle parking, deliveries, outdoor seating, pedestrian and vehicle circulation and associated easements. We recommend including a note on the revised plans for administrative approval indicating that these changes will be handled under a future special land use application.

The site plan is approved administratively with the following conditions:

- 1. All conditions and comments from Fire Inspector Pete Kelly in his memorandum dated April 27, 2022 should be incorporated and plans should be amended, as necessary.
- 2. All conditions and comments from DPW Director Shawn Young in his memorandum dated May 6, 2022 should be incorporated and plans should be amended, as necessary.
- The site plan is revised to show interior and exterior building renovations only. Proposed outdoor seating, vehicle and bicycle parking, and the proposed detached accessory building for keg storage are not part of this administrative approval.
- 4. All proposed signs in the site plan submitted must be reviewed and approved under a sign permit application, which requires a separate fee and application.

A revised site plan meeting the conditions above must be received and approved by the Community Development Director before building permits may be issued.

Please contact me if you have any questions.

Thank you.

Attachments: Memorandum from Fire Inspector Pete Kelly dated April 27, 2022

Memorandum from DPW Director Shawn Young dated May 6, 2022

Cc: Shawn Young, DPW Director

John Lipchik, Building Official Pete Kelly, Fire Inspector

Michael McGuiness, DDA Executive Director

Dorian Hall, Applicant

Linda Chappelle, Resident Agent for the property owner Harold J. Remlinger, AIA, Architect for the applicant

City of Berkley

3338 Coolidge Highway, Berkley, MI 48072



"We Care"

Fire Inspector
Office: 248-658-3326
Fax: 248-658-3301
Email: pkelly@berkleymich.net

TO: Megan Masson-Minick, City Planner John Lipchik, Building Official Harold Remlinger, Architect Dorian Hall, Owner

RE: 2684/2688 Coolidge / Plan Review #22-24

Dear Interested Parties:

4/27/2022

I have received and reviewed the plans for the remodeling/alterations at the above address, and approved them subject to the following:

- 1) Occupant loads appear accurate, but on completion, before occupancy, I will review them and provide Occupant Load signs for posting.
- 2) Gates in fences around outdoor seating will require panic hardware, as will the building doors.

Please contact me if you have any questions regarding this communication.

Respectfully,

Pete Kelly Fire Inspector



Transmittal Memo

To: Megan Masson-Minock, Interim Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)

Ric Chalmers, Assistant DPW Director (via email)

Eddie Zmich, HRC (via email)

From: Shawn Young, DPW Director

Date: May 6th, 2022

Subject: Blackhop Brewstillery

2684-2688 Coolidge Hwy

We have reviewed the site plans provided by the Community Development Department on April 25th, 2022. Please find below our initial comments:

- A Design Miss Dig ticket shall be requested by the applicant so existing utilities can be shown on the drawings. The ticket number shall be indicated on the Architectural Site Plan.
- 2. It is recommended that the existing private sanitary sewer lateral be investigated for size and condition.
- 3. It is recommended that the existing private water service is investigated to confirm size, material type, and condition.
- 4. The proposed outdoor seating and loading may be problematic when dealing with snow removal operations. A snow removal plan will be required with the plan. Snow must not be deposited in adjacent public or private properties.
- 5. There is a general concern on the wastewater discharge from these types of sites. All wastewater discharges must meet current and future GLWA and WRC standards. Industrial Waste Charges may apply.
- 6. The applicant shall verify the new development will not negatively impact the adjacent properties and existing drainage conditions.

- 7. Note the Community Development Department will review the striping plan for verification of number of stalls required, sizing, handicap considerations and general site circulation.
- 8. A traffic control plan shall be added to the plan set to account for any proposed Right of Way impacts.
- 9. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).

A response letter from the applicant to these comments would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.

Shawn Young

DPW Director



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: June 20, 2022

Site Plan and Special Use Review For City of Berkley, Michigan

Applicant: Dorian Hall

Project Name: Black Hop

Plan Date: June 9, 2022

Location: 2684 and 2688 Coolidge Highway

Zoning: Downtown District

Action Requested: Site Plan Approval

SITE DESCRIPTION

Black Hop Brewery has opened a new facility at the northeast corner of Coolidge Highway and Dorothea Road. The use of the facility includes a brewery, distillery, and tap room. The uses are permitted in the Downtown District and have been approved administratively. The site is adjacent to a municipal parking lot. The applicant is seeking site plan and special land use approval for an outdoor seating area. The outdoor seating area is in the rear of the building adjacent to the alley and the sidewalk along Dorothea Road.

The outdoor seating area requires a special use. Improvements in the outdoor seating area includes tables and chairs, keg storage area, terrace, planter boxes, and a cast iron gate securing the space.

Site Location:



Proposed Use of Subject Parcel:

Brewery, tap room, and outdoor seating.

Surrounding Property Details:

Direction	Zoning	Use
North	Downtown District	Parking lot / Cleaner
South	Downtown District	Commercial
East	Parking	Municipal Parking/Alley
West	Coolidge District	Office / Commercial

NATURAL FEATURES

The site has been graded for parking. There are no existing natural resources.

BUILDING ARRANGEMENT AND SITE DESIGN

The building arrangement does not change, other than non-permanent structures that are used as part of the outdoor seating area.

Items to be addressed: None

PARKING

As set forth in Section of 133-222, if a non-residential use is within 500 feet of a municipal parking lot, without crossing a major thoroughfare, no on-premises parking is required.

Items to be Addressed: None

LANDSCAPING AND SITE AMENITIES

The Applicant proposes planter boxes and a cast iron fence. A detail of fence and planter box were provided. Also, the applicant proposes a series of five (5) veradeck planter boxes to physically separate an adjacent parking lot.

Trash Enclosure:

The applicant has indicated a trash enclosure and screening located in the rear of the site. A cross-section of the trash enclosure screening has been provided but an elevation has not.

Items to be Addressed: None

PHOTOMETRICS

A photometric plan was not provided. The applicant has indicated via email that the lighting will be limited to the wall sconces and string lighting. A detail of the full cut off wall sconces has been provided and the string lighting is shown in the rendering. The string lights do not meet all the requirements of Sec. 138-43, in that the light source would be visible from Dorothea at eye level. However, the Planning Commission may waive any provision in Section 138-43, with a determination that an exception is necessary for the lighting application.

Items to be Addressed: Planning Commission decision on lighting waiver.

IMPACTS

A limited sized outdoor seating area, in the rear of the building, adjacent to a public alley and street should not have a negative impact. However, we asked the applicant to supply the following information to confirm potential impact. Listed below are the questions and their response:

1. What are the hours of operation?

<u>Applicant</u>: Hours of operation are 6:00 a.m. to 2:00 a.m. The outdoor seating operations will mirror their interior hours of operations.

2. Will there be outdoor noise and/or amplification?

Applicant: The Black Hop intends on having live musical entertainment in doors. The entertainment will be acoustic or amplified and will be based on the musical group being hired. The hours of the performance will be typically between 7-11 p.m. At the outdoor seating, they are looking at providing speakers to play ambient music for the enjoyment of their patrons.

3. Will there be any outdoor lighting?

<u>Applicant:</u> Yes, the wall sconces shown on the site plan and string lighting shown in the rendering.

4. Can you remove the rear gate to prevent patrons conflicting with traffic in the alley?

<u>Applicant:</u> For security reasons, we will keep the gate closed and locked to prevent a conflict with traffic.

We ask the applicant to provide additional information with regards to hours of operation, noise, and outdoor lighting, specifically:

Items to be Addressed: None.

SPECIAL USE STANDARDS

As set forth in Section 138-653, the special use application shall be reviewed by the planning commission and city council and approved upon finding that:

1. The proposed use will promote the use of land in a socially and economically desirable manner.

- 2. The proposed use is necessary for the public convenience at that location.
- 3. The proposed use is compatible with adjacent land uses.
- 4. The proposed use is designed so that the public health, safety and welfare shall be protected.
- 5. The proposed use will not cause injury to other property in the neighborhood.

We find that the Special Use standards have been met provided that the applicant can prove to the satisfaction of the Planning Commission that hours of operation and noise shall not be a nuisance upon adjacent properties. Please note that Chapter 74 – Noise of the City's ordinances specifies that playing of any radio, television set, phonograph or any musical instrument that disturbs the quiet of offices or dwellings is prohibited between 10:00 p.m. and 7:00 a.m.

RECOMONDATION

Overall, the applicant is making a significant investment into the site as noted in our report. A limited sized outdoor seating area, in the rear of the building, adjacent to a public alley and street should not have a negative impact.

As part of the review, the Planning Commission should discuss the following items with the applicant:

- 1. What are the specific hours of operation for the outdoor seating area?
- 2. Is waiver for the proposed lighting warranted?

Because this is a Special Use the Planning Commission may put reasonable conditions upon specific operational uses of the proposed application.

We recommend approval of the special use for outdoor seating with any reasonable conditions the Planning Commission finds necessary.

Sincerely,

CARLISLE/WORTMAN ASSOC., INC. Benjamin R. Carlisle, LEED AP, AICP



Transmittal Memo

To:

Megan Masson-Minock, Interim Community Development Director (via email)

Cc:

Kim Anderson, Community Development Department (via email)

Ric Chalmers, Assistant DPW Director (via email)

Eddie Zmich, HRC (via email)

From:

Shawn Young, DPW Director

Date:

June 7, 2022

Subject:

Blackhop Brewstillery

2684-2688 Coolidge Hwy

We have reviewed the site plans provided by the Community Development Department on May 27, 2022. Please find below our initial comments:

- A Design Miss Dig ticket shall be requested by the applicant so existing utilities can be shown on the drawings. The ticket number shall be indicated on the Architectural Site Plan.
- 2. It is recommended that the existing private sanitary sewer lateral be investigated for size and condition.
- 3. It is recommended that the existing private water service is investigated to confirm size, material type, and condition.
- 4. The proposed outdoor seating and loading may be problematic when dealing with snow removal operations. Snow must not be deposited in adjacent public or private properties. A snow removal area has been shown on the plan but appears that it may be difficult to access. Please clarify how this area will be utilized.
- 5. There is a general concern on the wastewater discharge from these types of sites. All wastewater discharges must meet current and future City, GLWA and WRC standards. Industrial Waste Charges may apply.
- 6. There appears to be no changes in drainage pattern on the proposed plan.
- 7. Note the Community Development Department will review the striping plan for verification of number of stalls required, sizing, handicap considerations and general site circulation.

- 8. A traffic control plan shall be added to the plan set to account for any proposed Right of Way impacts. This includes any potential sidewalk closures during construction.
- 9. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).

A response letter from the applicant to these comments would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.

Shawn Young

DPW Director

City of Berkley

3338 Coolidge Highway, Berkley, MI 48072



"We Care"

Fire Inspector
Office: 248-658-3326
Fax: 248-658-3301
Email: pkelly@berkleymich.net

TO: Megan Masson-Minick, City Planner John Lipchik, Building Official Harold Remlinger, Architect Dorian Hall, Owner

RE: 2684/88 Coolidge / Plan Review #22-40

Dear Interested Parties:

5/31/2022

I have received and reviewed the revised plans submitted for the above address, and approved them subject to the following:

1) Rear (east) Gate from outdoor seating area must swing in direction of egress, and all gates must be equipped with panic hardware.

Please contact me if you have any questions regarding this communication.

Respectfully,

Pete Kelly Fire Inspector

THE CITY OF BERKLEY Building Department 3338 Coolidge, Berkley, Michigan 48072 (248) 658-3320

NOTICE OF PUBLIC HEARING BERKLEY PLANNING COMMISSION

In accordance with the Berkley City Code, Chapter 138 *Zoning*, Article VI *Administration and Enforcement*, Division 6 *Special Uses*, Section 138-656 *Notice of Public Hearing*, a Public Hearing will be held by the Berkley Planning Commission, Tuesday, June 28, 2022 at 7:00 p.m. or as near thereto as the matter may be reached at the City Hall Council Chambers, 3338 Coolidge, Berkley, Michigan to determine the necessity for and effect of a special land use request.

Application Number PSU-01-22

The applicant, Dorian Hill on behalf of The Black Hop Brewery, 2684 Coolidge Hwy, parcel #25-17-155-030, east side of Coolidge Hwy., between Catalpa Dr. and Franklin Rd, is requesting special land use approval for an outdoor seating/eating area accessory to a bar.

Berkley City Code

Berkley City Code, Article V District Regulations, Division 9 Downtown District, Section138-418 Special Uses (4) Outdoor sales or eating areas, when developed as accessory to primary uses and structures.

Complete application information is available for review at: www.berkeymich.org/urbanplanning

Comments regarding the request may be made in person on the night of the Public Hearing or may be made in writing. All written comments must be submitted to the Building Department or emailed to **comdirector@berkleymich.net** before 5:00 p.m. on the date of the Public Hearing.

You can watch the meeting: https://www.berkleymich.org/livestream/index.php

Megan Masson-Minock
Interim Community Development Director

THE CITY OF BERKLEY Building Department 3338 Coolidge, Berkley, Michigan 48072 (248) 658-3320

NOTICE OF PUBLIC HEARING BERKLEY PLANNING COMMISSION

In accordance with the Berkley City Code, Chapter 138 *Zoning*, Article VI *Administration and Enforcement*, Division 6 *Special Uses*, Section 138-656 *Notice of Public Hearing*, a Public Hearing will be held by the Berkley Planning Commission, Tuesday, June 28, 2022 at 7:00 p.m. or as near thereto as the matter may be reached at the City Hall Council Chambers, 3338 Coolidge, Berkley, Michigan to determine the necessity for and effect of a special land use request.

Application Number PSU-01-22

The applicant, Dorian Hill on behalf of The Black Hop Brewery, 2684 Coolidge Hwy, parcel #25-17-155-030, east side of Coolidge Hwy., between Catalpa Dr. and Franklin Rd, is requesting special land use approval for an outdoor seating/eating area accessory to a bar.

Berkley City Code

Berkley City Code, Article V District Regulations, Division 9 Downtown District, Section138-418 Special Uses (4) Outdoor sales or eating areas, when developed as accessory to primary uses and structures.

Complete application information is available for review at: www.berkeymich.org/urbanplanning

Comments regarding the request may be made in person on the night of the Public Hearing or may be made in writing. All written comments must be submitted to the Building Department or emailed to **comdirector@berkleymich.net** before 5:00 p.m. on the date of the Public Hearing.

You can watch the meeting: https://www.berkleymich.org/livestream/index.php

Megan Masson-Minock
Interim Community Development Director

Publish Once:

Royal Oak Tribune

Publish: Friday, June 10, 2022

ANN POWELL 2665 COOLIDGE HWY BERKLEY MI 48072 1554 JEFFREY MATTHEW KALIL LIVING TRUST 10321 CHINOOK DR ALLENDALE MI 49401 8018 Occupant 2685 COOLIDGE HWY BERKLEY MI 48072 1554

GREGORY R BERNARDON 2744 KENMORE RD BERKLEY MI 48072 1583 Occupant 2688 COOLIDGE HWY BERKLEY MI 48072 1555 JENNA IN WHITE LLC 4260 PEMBERTON CIR BRIGHTON MI 48114 4994

ROTTERDAM 1732 LLC 2790 COOLIDGE HWY BERKLEY MI 48072 1557 RB COOLIDGE PROPERTIES LLC 42402 CANNON DR STERLING HEIGHTS MI 48313 2615 Occupant 2782 COOLIDGE HWY BERKLEY MI 48072 1557

Occupant 2676 COOLIDGE HWY BERKLEY MI 48072 1555 BERKLEY SCHOOL DISTRICT 14700 W LINCOLN ST OAK PARK MI 48237 1366 ANDREW T GILBERT LISA F GILBERT 2680 COOLIDGE HWY BERKLEY MI 48072 1555

0612 INVESTMENT PROPERTIES LLC 6789 TREE KNOLL DR TROY MI 48098 6504 Occupant 2745 COOLIDGE HWY BERKLEY MI 48072 1556 Occupant 2733 COOLIDGE HWY BERKLEY MI 48072 1556

JOSEPH GARDELLA MARY GARDELLA 2730 COOLIDGE HWY BERKLEY MI 48072 1557 SR3 LLC 500 S OLD WOODWARD AVE BIRMINGHAM MI 48009 6655 SR3 LLC 500 S OLD WOODWARD AVE BIRMINGHAM MI 48009 6655

STEVEN VAFEAS DENISE VAFEAS 2718 KENMORE RD BERKLEY MI 48072 1583 CITY OF BERKLEY 3338 COOLIDGE HWY BERKLEY MI 48072 1636 ANN POWELL 2665 COOLIDGE HWY BERKLEY MI 48072 1554

Occupant 2656 KENMORE RD BERKLEY MI 48072 1516 Occupant 2752 COOLIDGE HWY BERKLEY MI 48072 1557 Occupant 2758 COOLIDGE HWY BERKLEY MI 48072 1557

HOMEWISE SOULUTIONS RENTALS LLC 9464 MOON RD SALINE MI 48176 9411 DETROIT URBAN DESIGN STUDIO 790 W LINCOLN ST BIRMINGHAM MI 48009 4117 DETROIT URBAN DESIGN STUDIO LLC 790 W LINCOLN ST BIRMINGHAM MI 48009 4117

Occupant 2686 KENMORE RD BERKLEY MI 48072 1516 COMPASS DEVELOPMENT GROUP LLC 2658 COOLIDGE HWY BERKLEY MI 48072 1555 BERKLEY SCHOOL DISTRICT 14700 W LINCOLN ST OAK PARK MI 48237 1366 Occupant 2717 COOLIDGE HWY BERKLEY MI 48072 1556 Occupant 2670 COOLIDGE HWY BERKLEY MI 48072 1555 MAISOUN ALIAS **ROMIL ALIAS** 7106 TIMBERVIEW TRL WEST BLOOMFIELD MI 48322 3343

BLACK DOG ATELIER LLC 26736 WYOMING RD **HUNTINGTON WOODS MI 48070 1235**

0612 INVESTMENT PROPERTIES LLC 6789 TREE KNOLL DR TROY MI 48098 6504

BKR INVESTMENT CO 2635 COOLIDGE HWY BERKLEY MI 48072 1554

FREDERIC INVESTMENTS LLC 2695 COOLIDGE HWY BERKLEY MI 48072 1554

Occupant 2691 COOLIDGE HWY BERKLEY MI 48072 1554 Occupant 2705 COOLIDGE HWY BERKLEY MI 48072 1556

LISA J SANFIELD 2784 KENMORE RD BERKLEY MI 48072 1583 FREDERIC INVESTMENTS LLC 2695 COOLIDGE HWY BERKLEY MI 48072 1554

JOEL BACOW 1525 E NINE MILE RD FERNDALE MI 48220

MICHAEL GUSWAY 2756 KENMORE RD BERKLEY MI 48072 1583 LAAM MANAGEMENT LLC 2680 COOLIDGE HWY BERKLEY MI 48072 1555

PAPAS PROPERTY ONE LLC 2626 COOLIDGE HWY BERKLEY MI 48072 1555

CITY OF BERKLEY 3338 COOLIDGE HWY BERKLEY MI 48072 1636 Occupant 2685 COOLIDGE HWY BERKLEY MI 48072 1554

JORDAN MACHALA 2636 KENMORE RD BERKLEY MI 48072 1516

Occupant

2789 COOLIDGE HWY BERKLEY MI 48072 1556 JENNA IN WHITE LLC 4260 PEMBERTON CIR **BRIGHTON MI 48114 4994** LYNN MCNAMEE STEPHANIE SPUNT 2646 KENMORE RD BERKLEY MI 48072 1516

ROSEWOOD INVESTMENTS LLC 2799 COOLIDGE HWY BERKLEY MI 48072 1556

JASON DAVID PAVLIK RACHEL LAUREN HARBIN 2676 KENMORE RD BERKLEY MI 48072 1516

MARIE NALEZYTY 2451 FRANKLIN RD BERKLEY MI 48072 3304

Occupant 2675 COOLIDGE HWY BERKLEY MI 48072 1554 BERKLEY SCHOOL DISTRICT 14700 W LINCOLN ST OAK PARK MI 48237 1366

BRICKS + MORTAR 2769 COOLIDGE LLC 2769 COOLIDGE HWY BERKLEY MI 48072

TRAVIS ALIAS 7106 TIMBERVIEW TRL WEST BLOOMFIELD MI 48322 3343 Occupant 2646 COOLIDGE HWY BERKLEY MI 48072 1555 MHG INC 2689 COOLIDGE HWY BERKLEY MI 48072 1554 KEVIN D HOLMES AMY M GARRETT 2694 KENMORE RD BERKLEY MI 48072 1516 CITY OF BERKLEY 3338 COOLIDGE HWY BERKLEY MI 48072 1636

Occupant 2770 COOLIDGE HWY BERKLEY MI 48072 1557 Occupant 2645 COOLIDGE HWY BERKLEY MI 48072 1554

BERKLEY WELLNESS LLC 25831 CONCORD RD HUNTINGTON WOODS MI 48070 1636 BERKLEY DENTAL PC 13350 SHERWOOD DR HUNTINGTON WOODS MI 48070 1433

Occupant 2783 COOLIDGE HWY BERKLEY MI 48072 1556 Occupant 2730 KENMORE RD BERKLEY MI 48072 1583

UNIVERSAL ELECTRIC 1361 HOSKINS DR HOWELL MI 48855 6736 2730 KENMORE RD. LLC 36536 RAYBURN ST LIVONIA MI 48154 1822

JOHN A GOODWIN 2437 FRANKLIN RD BERKLEY MI 48072 3304 Occupant 2365 FRANKLIN RD BERKLEY MI 48072 1815

Occupant 2666 COOLIDGE HWY BERKLEY MI 48072 1555 BERKLEY SCHOOL DISTRICT 14700 W LINCOLN ST OAK PARK MI 48237 1366

2666 COOLIDGE HIGHWAY LLC 25892 WOODWARD AVE ROYAL OAK MI 48067 0910 Occupant 2211 OAKSHIRE AVE BERKLEY MI 48072 1290

ROBERT MCGOWAN 2660 COOLIDGE HWY BERKLEY MI 48072 1555 BERKLEY SCHOOL DISTRICT 14700 W LINCOLN ST OAK PARK MI 48237 1366

STACI GISKE 2669 COOLIDGE HWY BERKLEY MI 48072 1554

PSU-01-22 2684 Coolidge

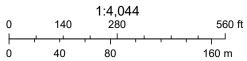


Wed Jun 08 2022

Override 1

RCOCAppMapService_5220

Override 1





Comm Dev Director < comdirector@berkleymich.net>

In response to the Notice of Public Hearing letter / zoning / for Black Hop Brewery

Katie Forte
To: comdirector@berkleymich.net
Cc: Nick Forte

Mon, Jun 20, 2022 at 3:19 PM

Good Afternoon Megan,

While we will not be able to attend the upcoming hearing on Tuesday, June 28th, we do have a comment we would like to share and have provided in written form below:

We are *for approving* The Black Hop Brewery to be permitted to develop an outdoor seating/eating area accessory to a bar at 2684 Coolidge Hwy. We feel this location is perfect for this land use as it is not directly near any immediate residences within one block, and it should provide adequate distance not to raise any noise concerns. We have seen this work to great success in other communities, for example, Griffin Claw Brewing Company in Birmingham.

After reviewing the application information and current plans, we can see that The Black Hop Brewery intends to invest a great deal in the community with their planned building improvements. We are confident they will be a great addition to the city of Berkley, to the Coolidge corridor, and feel it would boost the local economy and foot traffic to many of the surrounding businesses. We feel their plan with the approved outdoor seating/eating area is a model land use example of Enhancing corridors as vibrant business areas, outlined under Future Land Use in the Berkley Master Plan, and we are thrilled they are willing to seek the proper land use approval as required in the zoning ordinance.

Furthermore, we feel that in the current state of the ongoing global pandemic, having a plan for outdoor seating is necessary for any food/beverage establishments. It provides an option for health-conscious consumers that may otherwise not visit the establishment. It also provides a well-designed, approved solution for outdoor seating, rather than relying on temporary structures and tents that work against the long-term plans of both the city master plan and businesses' that want to ensure their investments have long-term viability.

Thank you for your time, Katie and Nick Forte Property owners of 2670 + 2676 Coolidge Hwy (next to the planned location)

Please let us know if you have any questions for our comment and we thank you for your time, Katie and Nick Forte

Katie Forte | she, her, hers june & december co-founder + creative director |

See the stories behind our goods

Instagram : Facebook : Pinterest

"What would it be like ... to consider the tree in the Kleenex, the algae in the toothpaste, the oaks in the floor, the grapes in the wine; to follow back to the thread of life in everything and pay it respect?

Once you start, it's hard to stop, and you begin to feel yourself awash in gifts." -Robin Wall Kimmer, Braiding Sweetgrass



MEMORANDUM

To: Berkley City Council

Berkley Planning Commission Berkley Zoning Board of Appeals

From: Megan Masson-Minock, Interim Community Development Director

Subject: Community Development Department Report (May 2022)

Date: June 15, 2022

The following Community Development report has been provided to the Berkley City Council, Planning Commission and Zoning Board of Appeals to provide an update on ongoing planning and zoning cases, ordinance amendments, and building department activities. The staff is excited to report on the progress of existing development projects that have been reviewed by the PC, cases reviewed by the ZBA, and other duties, such as, zoning administration, ordinance review and future amendments, building permits, Community Development Block Grant (CDBG), etc.

The following report will cover activities that have occurred **May 2022**, as well as an update on past projects:

- 1. Planning Activities, including a summary of applications with the Planning Commission, Zoning Board of Appeals and/or City Council.
- 2. Zoning Administration, including business licenses and commercial renovation projects that do not require Planning Commission review and approval.
- 3. Zoning Ordinance, including summary and status of ordinance amendments.
- 4. Building Department, including permits issued, rental certificates, certificates of occupancy.
- 5. Community Development Block Grant (CDBG) Program.
- 6. Other Community Development Projects
- 7. Staff Updates

1. Planning Activities - PC, ZBA

Name of Project or Topic	Project Number	Current Status and Progress
Yanke Art Studio	PSP-05-19	Proposed façade change received site plan approval with
0040 7 1 1411		specific conditions at the August 27, 2019 Planning
3818 Twelve Mile		Commission meeting.
Yanke Art Studio		Applicant and adjacent property owners have resolved
		outstanding issues related to easement and masonry fence.

Name of Project or Topic	Project Number	Current Status and Progress
3818 Twelve Mile continued		Building permits have been issued. Work is ongoing on the project.
La Salette Multiple Family Redevelopment 2219 Coolidge Hwy	PSP-06-19	At the November 26, 2019 meeting, the Planning Commission approved the site plan with conditions to redevelop the existing La Salette school building for multiple family housing. The applicant has noted that they will work with City staff to address the outstanding issues noted in the Community Development, Engineer, and Fire Safety review letters related to the project. Revised plans have been submitted to the satisfaction of reviewing bodies. Developer has submitted construction plans for building permit, which are being reviewed by McKenna. Applicant has reconfigured the parking areas, which has removed the parking area on the south side of the building, facing Coolidge. Plans did not need to return to PC for approval and were approved administratively. Interior building permits have been issued. Updated insurance is needed prior to exterior work.
		A pre-construction meeting was held in early May.
KinderCare 1695 Twelve Mile	PSP-07-19	At the October 22, 2019 meeting, the Planning Commission approved the site plan with conditions. The applicant has reached out to the Community Development Director to address the outstanding issues.
		Revised site plans submitted and approved by reviewing bodies.
		The developer has secured building permits and are working on the interior renovation. The parking area has been resurfaced. The business license was issued April 2021. The child care facility has opened and is operating.
		Community Development and the Building Official met with building management on-site. An amended site plan for additional windows has been approved administratively. Building permits for the windows and repair to the Porte Cochere have issued.

Name of Project or Topic	Project Number	Current Status and Progress
Multi-tenant building (AquaTots, retail, restaurant) 2485 Coolidge Hwy	PSP-08-19	At the December 17, 2019 meeting, the Planning Commission approved the site plan with conditions. The applicant has agreed to work with city staff to address the conditions and update the outstanding issues. Applicant submitted revised final site plan and were approved by reviewing bodies.
		Developer has paused moving forward due to the delays as a result of COVID-19. Owner has placed property for sale, pursing other opportunities. Developer has expressed desire to locate in Berkley, even if the current site is no longer available.
		Farina's has been demolished. Construction of building is underway.
		Staff has approved a site plan amendment to change from two (2) retail units of 1,400 square feet each and a 2,250 square foot restaurant to a 1,300 square foot carry-out restaurant, a 1,220 square foot restaurant, and a 2,00 square foot space which could be retail / restaurant / professional office / medical office and convert the outdoor patio dining space to outdoor space. Building permits for the carryout restaurant use have been issued.
		Building permits have been issued and construction has started on the pool for the swimming school.
		On the June 13, 2022, the Zoning Board of Appeals approved variances to allow wall signs for each tenant on the Coolidge façade and larger identification signs on the façade facing the rear parking lot.
Vibe Credit Union – Façade Change 3082 Coolidge Hwy	PSP-01-20; PSP-05-20	At the May 26, 2020 meeting, the Planning Commission reviewed a site plan for a proposed façade change at the bank. The Planning Commission approved the plans with conditions related to window coverage, signage, and illumination of the site with pole lighting.
		After PC approval, the applicant discussed with city staff the possibility of site improvements that were not included on the approved plans that would include additional landscaping and reworking the parking area on the site. The changes require a review by the Planning Commission and discussion for reduction of parking requirements.

Name of Project or	Project Number	Current Status and Progress
Topic	,	
3082 Coolidge Hwy. continued		The applicant returned to the Planning Commission at the November 24, 2020 for review of site improvements that included approval of parking modification. The property has been approved to reduce three (3) parking spaces for added landscaping and revised layout of the parking spaces.
		Construction is nearing completion on the project. The temporary space has closed and operations have resumed inside the building.
		Owner has contracted with structural engineer to review the masonry wall at the east side of the property. Report submitted. Staff working with manager and neighbor to work through next steps.
		Staff has met with the neighbor and is investigating whether light levels in the parking lot match the approved photometric plan.
Amici's Kitchen and Living Room – Façade Change 3241 & 3249 Twelve Mile Rd.	PSP-03-20	At the September 22, 2020 meeting, the Planning Commission reviewed a site plan for proposed façade change at Amici's pizza restaurant on Twelve Mile Rd. The proposed façade change includes removing the existing stone and replacing with brick, removing an existing doorway, and changing the material for the awning.
		The Planning Commission granted site plan approval, as presented.
		The applicant has indicated intent to apply for a Façade Grant through the DDA.
		The construction on the project has been completed. There are a couple smaller items that still need to be addressed, but the construction for the façade change has completed.
		Final inspections and all work on the project were completed in March 2022.
		Final release of building permits and bonds is on hold until the outdoor wall-mounted lights are brought into compliance with zoning regulations.

Name of Project or Topic	Project Number	Current Status and Progress
Vacant Building – Façade Change 3180 Coolidge Hwy	PSP-04-20	At the October 27, 2020 meeting, the Planning Commission reviewed a site plan for proposed façade change at 3180 Coolidge Hwy. The building has been vacant for many years and the owner has not yet signed a new tenant. The façade change includes change in configuration of windows, stone and brick materials, and metal siding. The Planning Commission tabled the site plan request so the applicant could update the plans and provide additional information on the materials, chimney, and illumination levels for lighting the site. At the November 2020 meeting, the PC reviewed the updated plans and gave site plan approval of the proposed façade change. Building permit was issued June 8, 2021. Property owner has been trying to secure contractors for the project.
		The building permit has been extended to October 24, 2022.
Perch 313 – Façade Change 2717 Coolidge Hwy	PSP-01-21	At the September 28, 2021 meeting, the Planning Commission reviewed the plans for the façade change at 2717 Coolidge Hwy, the former Disabled Veterans of America building. The new owner will be opening a retail vintage rug store and has proposed upgrades to the exterior of the building, including the removal of the beige vertical siding, shingled mansard roof and awnings and replace with painted brick veneer, large storefront windows, and a decorative front door with window paneling. The Planning Commission reviewed the submitted plans and approved the site plan with minor conditions. The applicant will be working with City staff to address the outstanding issues. The applicant has applied for but not yet received a business license. Building permits have been issued and work is underway.

Name of Project or Topic	Project Number	Current Status and Progress
Green Medical Office Center – New Construction Multi-Tenant Medical Office Building	PSP-02-21	At the October 26, 2021 meeting, the Planning Commission reviewed the plans for new construction of a multi-tenant medical office building. The proposed structure will be constructed on a vacant property that has been previously reviewed for multi-family housing.
2400 Greenfield		The Planning Commission reviewed the plans and letters provided by HRC, DPW, Fire Marshal and Community Development. Each review letter determined that there were several items that needed to be addressed or modified prior to granting site plan approval. The Planning Commission postponed the site plan application until a future date when the applicant and developer has submitted revised plans.
		The site plan was approved with conditions at the February 22, 2022 Planning Commission meeting.
		Building permits have been submitted and are under review.
Green Office Suites - New Construction Multi-Tenant Office Building	PSP-03-21	At the October 26, 2021 meeting, the Planning Commission reviewed the plans for new construction of a multi-tenant office building. The proposed structure will be constructed on three parcel that have been used as single-family housing. The structures are currently vacant.
3462 – 3478 Greenfield Green Office Suites continued		The Planning Commission reviewed the plans and letters provided by HRC, DPW, Fire Marshal and Community Development. Each review letter determined that there were several items that needed to be addressed or modified prior to granting site plan approval. The Planning Commission postponed the site plan application until a future date when the applicant and developer has submitted revised plans.
		The site plan was approved with conditions at the February 22, 2022 Planning Commission meeting.
		Building permits have been submitted and are under review.
Oxford Lot of 2219 Coolidge (La Salette) - The Ivy	PSP-04-21	HRC, CWA, DPW and the Fire Marshall have reviewed the site plan submitted for two three-story multiple-family buildings. The applicant has revised the site plan based on those reviews.

Name of Project or Topic	Project Number	Current Status and Progress
		The revised plans were on the April 26, 2022 Planning Commission meeting agenda. The case was postponed to allow the applicant to address Planning Commission concerns about circulation and landscaping. The site plan was approved with conditions at the June 7, 2022 Special Planning Commission meeting.
2465 & 2475 Cambridge, 2466 & 2476 Columbia Rezoning	PRZ-01-21	A public hearing was held by the Planning Commission on this rezoning request from Coolidge District to Gateway District at their January 25, 2022 meeting. The Planning Commission recommended approval. The City Council approved the rezoning at its second reading at their March 7, 2022 meeting.
3737 12 Mile – Sketch Plan	PSP-01-22	At its January 25, 2022 meeting, the Planning Commission reviewed a sketch plan for townhouses at this location. The applicant has applied for site plan review which has been assigned a different PSP number.
2222 Eleven Mile – Renovation of existing building for Butter Provisioning	PSP-02-22	A site plan for this site with an approved marijuana provisioning license has been submitted and is being reviewed by HRC, DPW, the Fire Marshal and CWA. On February 16, 2022, the applicant had a pre-application meeting with staff from Community Development and DPW, the Fire Inspector and HRC. At its February 22, 2022 meeting, the Planning Commission reviewed a sketch plan for the provisioning center at this location and heard comments from the public. The applicant submitted plans on April 22, 2022. Per HRC and DPW, the site plan needs to be revised before Planning Commission review. The applicant submitted revised plans in May, which will be on the June 28 th Planning Commission agenda for site plan approval.

Name of Project or Topic	Project Number	Current Status and Progress
1949 Twelve Mile – Renovation of portion of existing building for Lume	PSP-03-22	A site plan for this site with a pending marijuana provisioning license has been submitted and is being reviewed by HRC, DPW, the Fire Marshal and CWA.
Berkley Provisioning Center		At its March 22, 2022 meeting, the Planning Commission reviewed a sketch plan for the provisioning center at this location.
		On April 22, 2022, the applicant submitted revised site plans for Planning Commission review.
		This site plan was approved with conditions at by the Planning Commission at their May 24 th meeting.
3171 Twelve Mile – The Peninsulas Façade Change	PSP-04-22	The proposed façade changes were repainting the façade, installing new windows and doors in different locations. Since the exterior materials were changing by less than 50%, the façade was approved administratively. A DDA façade grant is expected for this property.
		Building permits have been issued and work is underway.
2576 Coolidge – Relocation of Gas Pumps & New Canopy at BP Gas	PSP-05-22	A site plan was submitted on February 18, 2022. CWA, HRC and DPW found the plans to be insufficient and asked for resubmittal.
Station		The revised site plan was approved with conditions at the April 26, 2022 Planning Commission meeting.
3737 12 Mile – New construction of townhouses	PSP-06-22	On February 15, 2022, the applicant had a pre-application meeting with staff from Community Development and DPW, the Fire Inspector and HRC.
		A site plan was submitted on February 18, 2022. HRC and DPW found the plans to be insufficient and asked for resubmittal.
3737 12 Mile cont.		The second set of plans was approved with conditions by the Planning Commission at their March 22, 2022 meeting.
		The applicant submitted plans in May to be on the Planning Commission June 28th agenda, to verify that conditions of approval have been met.

Name of Project or Topic	Project Number	Current Status and Progress
3916 W. Eleven Mile - Renovation of existing building for Quality Roots Provisioning Center	PSP-07-22	On February 15, 2022, the applicant had a pre-application meeting with staff from Community Development and DPW, the Fire Inspector and HRC. At its March 22, 2022 meeting, the Planning Commission reviewed a sketch plan for the provisioning center at this location. The applicant submitted for a formal site plan, which was given the case number PSP-09-22.
3784 W. Eleven Mile – Nu-Tech Façade change	PSP-08-22	A site plan for a façade change was submitted on March 24, 2022. After the review by Carlisle Wortman Associates (CWA), the applicant revised their proposal to paint, restore and repair the existing brick façade, which was approved administratively with conditions on April 27, 2022. A building permit has been issued for the restoration and repair of the existing brick façade.
3916 W. Eleven Mile - Renovation of existing building for Quality Roots Provisioning Center	PSP-09-22	On March 28, 2022, the applicant submitted site plans for Planning Commission review. Per HRC and DPW, the site plan needed to be revised before Planning Commission review. On April 22, 2022, the applicant submitted revised site plans for Planning Commission review. This site plan was approved with conditions at by the Planning Commission at their May 24 th meeting.
Vinsetta Garage Eaton & Oxford Parking Lots	PSP-10-22	The applicant submitted plans on April 22, 2022. Per CWA, HRC and DPW, the site plan needs to be revised before Planning Commission review.
2684-2688 Coolidge – Façade Change and Outdoor Seating for Black Hop Brewstillery	PSP-11-22	The applicant submitted plans on April 22, 2022. The proposed outdoor seating requires special land use and the façade change is an administrative review. The façade was administratively approved with conditions on May 11, 2022. The Special Land Use for outdoor seating will be on the June 28th Planning Commission agenda.

Name of Project or Topic	Project Number	Current Status and Progress
Conditional Rezoning for 1276 Franklin Road	PRZ-01-22	The application was submitted on April 22, 2022. Per the City Attorney and CWA, the conditional rezoning must be reviewed concurrently with the associated site plan for Seven Point Berkley Dispensing at 28557 Woodward. The application is on hold until the site plan is received. During the sketch plan review for Seven Point Berkley Dispensing, the applicant withdrew this application.
Conditional Rezoning for 1299 Wiltshire	PRZ-02-22	The application was submitted on April 22, 2022. Per the City Attorney and CWA, the conditional rezoning must be reviewed concurrently with the associated site plan for Seven Point Berkley Dispensing at 28557 Woodward. The application is on hold until the site plan is received.
28557 Woodward - Renovation of existing building for Seven Point Berkley Dispensing	PSP-12-22	On May 16, 2022, the applicant submitted plans and a request for a sketch plan review by the Planning Commission, which was held at their special June 7, 2022 meeting.

Zoning Board of Appeals – Variance (PBA), Interpretation, Appeal of Admin Decision, Mural			
Name, Address	Project Number	Current Status and Progress	
Dimensional Variance – 3679 Royal	PBA-10-21	The Zoning Board of Appeals held a public hearing on January 11, 2022 on the dimensional variance for 15 feet between dwellings. At the meeting, the applicant requested the case be tabled and has since withdrawn the application entirely.	
Appeal of Administrative Decision – 1490 Franklin	PBA-11-21	The Zoning Board of Appeals held a public hearing on January 11, 2022 on an appeal, interpretation and/or use variance as to whether the definition of a home occupation includes a Federally Licensed Firearm Dealer. The applicant is appealing the decision of the City Manager that this use did not qualify as a home occupation. The Zoning Board of Appeals modified the City Manager's decision at their meeting on February 14, 2022 to allow the	

Zoning Board of Appeals – Variance (PBA), Interpretation, Appeal of Admin Decision, Mural		
Name, Address	Project Number	Current Status and Progress
Appeal of Administrative Decision – 1490 Franklin cont.		home occupation based on additional information provided and the following conditions (paraphrased from the motion): advertising may not include direct sales, annual paperwork with the number and type of transaction, monitoring of compliance by the City and the City will notify the ATF if Mr. Nowak's name is removed from the deed of the address.
Dimensional Variances – 2740 Gardner	PBA-01-22	The Zoning Board of Appeals held a public hearing on February 14, 2022 on request for dimensional variances for 15 feet between dwellings and the rear yard setback. The rear yard dimensional setback variance was granted and the request for less than 15 feet between dwellings was tabled.
Dimensional Variances – 2233 Earlmont	PBA-02-22	The Zoning Board of Appeals held a public hearing on March 14, 2022 on request for dimensional variances for the eastern side yard setback and the combined side yard setback. The eastern side yard dimensional setback variance was granted and the request for the combined side yard setback variance was denied.
Dimensional Sign Variance – 28913 Woodward	PBA-03-22	The Zoning Board of Appeals held a public hearing on April 11, 2022 on request for dimensional variances to construct a roof sign that would cause the total area of all the roof signs on the building to be more than the minimum of 100 square feet. The variance was granted.
Parking Variance – 3020 Coolidge	PBA-04-22	The Zoning Board of Appeals held a public hearing on May 9, 2022 on request for a parking waiver for a beauty salon/spa. The variance was granted with conditions.
<u>Dimensional Sign Variance – 28105 Woodward</u>	PBA-05-22	The Zoning Board of Appeals held a public hearing on May 9, 2022 on request for dimensional variances to change the copy on a nonconforming pole sign. The variance was granted with conditions.

2. Zoning Administration		
In May 2022, the Building Department issued two (2) business licenses in the City of Berkley.		
Endless Flowers	3678 W. Eleven Mile	Florist
HealthCall of Detroit	28105 Woodward Avenue	Medical Office

3. Zoning Ordinance (Adopted and Proposed)		
Proposed Amendment	Current Status and Progress	
State Licensed Residential Facilities	At the April meeting, the PC began discussing regulations related to State Licensed Residential Facilities in single family residential districts. This includes in home daycare, as well as other residential facilities. The MZEA allows cities to require special land use for such residential facilities, under certain circumstances.	
	Currently, the Zoning Ordinance does not have any regulations related to in home child care and has historically interpreted the use as a Home Occupation.	
	The State has its own requirements for such facilities, but such regulations are related to the care of the children in the home and not to the site, neighbors, or other community specific concerns.	
State Licensed Residential Facilities (continued)	The Planning Commission requested additional information. Planning Commission met at the June work session to discuss ordinance amendments. It was determined to amend the ordinance to permit residential facilities, up to six (6) persons by principle use, and seven (7) to twelve (12) by special land use.	
	The Planning Commission asked for clarification on requirements for outdoor playspace per child in residential care homes.	
	Staff contacted LARA for clarification on outdoor playspace requirements per child. Updated language will be reviewed by Planning Commission.	

4. Building Department (Permits and Certificates issued)

Permits Issued	Мау	2022 YTD
Building	49	193
Electrical	47	182
Mechanical	26	136
Plumbing	20	101
Temporary Sign	-	-
Sewer	24	95
Sign	3	12
Zoning Certificates	16	69
Temporary Use	3	5
Woodward Dream Cruise	-	-

Rental Certificates	53	177
Vacant Property	-	5
Commercial Owner	3	15

Total Permits/ Certificates Per	224	(average) 169
Month		

Year	Total Bldg. Permits Issued
2017	638
2018	558
2019	551
2020	470
2021	534
2022	193

Total Value of Construction	\$
2017	\$19,628,724
2018	\$16,834,163
2019	\$21,634,840
2020	\$13,765,659
2021	\$13,105,530
May 2022	\$1,315,876
2022 (YTD)	\$12,977,966

5. Community Development Block Grant (CDBG) Program

The Community Development Director attended the PY 2022 CDBG Workshop on October 13, 2021. The annual CDBG workshop provides valuable information related to PY2021, anticipated allocations for PY2022 and a refresher of the application process and submittal deadlines.

City staff have been discussing potential projects to program for PY2022. At the November 15, 2021 meeting, the City Council held the public hearing and approved the resolution for the proposed projects and fund allocations for PY2022. The projects identified include:

- City park sidewalk replacement Community Park
- Snow shoveling services for senior residents
- Large print books at City Library
- HAVEN

Application materials were submitted to Oakland County on December 7, 2021.

6. Other Commun	ity Development Projects
Redevelopment Ready Communities	One of the most important components to receiving RRC status is an updated Master Plan. Once the plan has been adopted, we can begin a technical review of the Zoning Ordinance to ensure our current ordinances are in line with the goals and objectives in the Master Plan. City staff has been addressing some of the administrative elements, such as updating planning applications, creating the development guide and flowcharts, etc.
Outdoor Dining, Enclosures, Signs	Due to restrictions that have impacted retail and restaurants, the City has worked with the business community to relax standards of approval for outdoor dining, retail, service areas, as well as signs that advertise businesses are open to the public. The relaxation of ordinances allows for outdoor areas to be installed in private and municipal parking areas, sidewalks, and specific residential road closures connected to Twelve Mile and Coolidge. Most applications were for outdoor dining areas. Berkley Common was approved to close Griffith Rd from alleyway to Twelve Mile. The City has not received requests for closure of any other roadways. The outdoor areas were permitted June 15 – October 1. As the restrictions for indoor spaces are still in place, the City Council extended the outdoor areas until March 31, 2021, with the inclusion of permitting temporary enclosures on private patios. The City of Berkley is also working with Oakland County to secure propane, greenhouse enclosures, and sanitizing devices for restaurants to use, as part of the Oakland Together Restaurant Relief Program.

6. Other Commun	ity Development Projects
Outdoor Dining, Enclosures, Signs (continued)	At the March 1, 2021 meeting, the City Council approved the extension of outdoor dining and road closures until September 30, 2021. City staff has explored Outdoor Social Dining Districts and other opportunities for local businesses.
	At the August 9, 2021 meeting, City Council approved to extend outdoor dining resolution until December 31, 2022 in order to actively research and discuss ordinance amendments, feasibility studies for the creation of public plazas and more.
Development Guide, including updating applications	In order to better assist developers, the Community Development Department is putting together a Development Guide that will explain all necessary steps for approval.
	Updated planning applications have been uploaded on the City website. The Development Guide is being drafted, along with flow charts and easy to reference guides.
How to Open a Business Brochure	Similar to the development guide, the Community Development Department is working with the DDA to design a "How to Open a Business" brochure that will walk a business owner through the application, inspection, permitting processes that are required prior to a Grand Opening. The brochure is intended to better assist new business owners, as they may be unfamiliar with opening a business. We hope to make the process as easy and enjoyable as possible.
	The business license application has been updated and uploaded on the City website. The Brochure is being printed and will be put up at City facilities. The website includes a Land Use Matrix to guide future business owners in their quest to find the perfect property in Berkley.
Mural Program	The DDA's Mural Program has received a lot of positive feedback from residents and the business community. There has been a great deal of interest from properties located in the DDA and elsewhere to install murals and other public works of art on their properties. Currently, the Zoning Ordinance does not specify requirements or steps for approval for any public art.
	Text is being drafted and reviewed by City staff.
Approval Extensions	City Council adopted a resolution to extend planning and zoning approvals due to construction delays related to COVID-19 until December 31, 2021. This includes site plan, special land use, rezoning, variance, and other approvals that were granted by Planning Commission, Zoning Board of Appeals, and City Council. This was done to assist business and property owners who had secured approvals but have incurred delays out of their control and so to prevent the approvals from expiring.

6. Other Commun	ity Development Projects
Social Districts	In researching ways to assist our local businesses, city staff, DDA and the Chamber are working together and discussing the possibility of Social Districts in Berkley. City staff has reached out to several other communities to better understand the process and the potential hiccups with the new policy.
	There are 11 restaurants that serve alcohol in the City. Staff has reached out to each to gauge their level of interest.
	Based on the level of interest, City staff has determined not to move forward with establishing Social Districts at this time.
	The City continues to reach out to businesses and property owners to assist and find alternate methods to aid local businesses.
Downtown Design Guidelines & Overlay District	Members of city staff have met with members of the PC and DDA to go over the draft language for the Overlay District and plans to implement and adopt the Downtown Design Guidelines. Draft language is still being finalized. The City hopes to have draft language for public bodies to review in the coming months.
	Draft language has been sent to City Attorney John Staran for his review to ensure that we are on the right foot moving forward. Any recommendations will be discussed with the internal team.
	The draft text was reviewed by the DDA at their November 10, 2021 meeting and reviewed by the Planning Commission at their November 23, 2021 meeting.
	The Planning Commission held a work session on the draft zoning ordinance amendments on March 1, 2022.
	The Planning Commission reviewed draft amendments to the site plan standards at their March 22, 2022 meeting. Draft zoning ordinance amendments are expected at their April 26, 2022 meeting.
Vinsetta Lots	Houses on Eaton and Oxford have been demolished or in process of being demolished. City staff have reached out to the development team for Vinsetta regarding the progress of the parking lot plans and subsequent plans for new homes.
	Mid-September, the development team submitted conceptual parking plans. Community Development reviewed the conceptual plans but they were deemed to be largely incomplete to move forward with a pre-application meeting. Comments were forwarded to the development team.
	The Interim Community Development Director has resumed weekly e-mail updates to residents near the Vinsetta Garage related to the progress of the future parking lots on Eaton and Oxford that will service the Vinsetta Garage restaurant.
	On March 2, 2022, the applicant had a pre-application meeting with staff from Community Development and DPW, the Fire Inspector and HRC.

6. Other Community Development Projects		
Vinsetta Lots cont.	Union Joints submitted a site plan on April 22, 2022. Per CWA, HRC and DPW, the site plan needs to be revised before Planning Commission review.	

7. Staff Updates

On May 29, 2022, Danna Bauer had a healthy baby girl, Ivy Elise, who weighed seven pounds, ten ounces and was twenty inches long. Danna will be on maternity leave until the beginning of September 2022. Laura Gray from McKenna Associates will be filling in as the Licensing Clerk from 8:30 a.m. to 12:30 p.m. M-F, until Danna returns.

Have a safe and happy week!



MEMORANDUM

To: Berkley Planning Commission

From: Megan Masson-Minock, Interim Community Development Director

Subject: Planning Commission Appointments & New Community Development Director

Date: June 22, 2022

The Planning Commission membership will be changing in July 2022. Planning Commissioner Mark Richardson chose not to serve another term on the Planning Commission. I am grateful to Commissioner Richardson for his contributions on the Planning Commission and the Master Plan Steering Committee. Please take a moment to thank him for his years of service.

Two new members were appointed by City Council on June 20, 2022: Lisa Hamameh and Matteo Passalaqua. They will be brought on board in July. Please welcome them!

As you know, Chair Kapelanski will be resigning from the Planning Commission to take over the reigns as the City's Community Development Director. Two seats on the Planning Commission will be empty at the start of July. If you have any suggestions, please let us know.

Finally, I want to thank each of you for your patience and support, during the Master Plan process and particularly in the last six months. I have learned a tremendous amount, met extraordinary people and stretched my organizational skills while since December 2021. At Carlisle Wortman, we aim to build long-lasting relationships with clients and I hope you will invite us back to work with the City of Berkley soon!

Thank you.