

PUBLIC NOTICE

CITY OF BERKLEY, MICHIGAN REGULAR MEETING OF THE CITY PLANNING COMMISSION

Tuesday, March 22, 2022
7:00PM – City Hall Council Chambers
Information: 248-658-3320

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES – *Meeting minutes of February 22, 2022 and Work Session minutes of March 1, 2022*

COMMUNICATIONS

CITIZEN COMMENTS

OLD BUSINESS

1. **DDA Guidelines:** Review of ordinance language to implement the DDA Guidelines, based on March 1, 2022 Work Session.
2. **Rules of Procedure:** Update from work session.

NEW BUSINESS

3. **Capital Improvements Plan**
4. **PSP-03-22: 1949 Twelve Mile – Lume:** Sketch Plan for the conversion of 6,764 square feet of the existing building to a retail marihuana dispensary and office use for the remaining 17,677 square feet.
5. **PSP-07-22: 3916 W. Eleven Mile – Quality Roots:** Sketch Plan for the renovation of the existing building to a retail marihuana dispensary and office tenant space.
6. **PSP-06-22: 3737 Twelve Mile – New Construction of Rowhomes:** Daniel Stakhiv, on behalf of Berkley Deal LLC, 3737 Twelve Mile Road, Parcel #25-18-126-020, is requesting site plan approval of a new seven-unit rowhomes development in the Twelve Mile District.

LIAISON REPORTS

COMMISSIONER / STAFF COMMENTS

ADJOURN

Notice: Official Minutes of the City Planning Commission are stored and available for review at the office of the City Clerk. The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days notice to the city. Individuals with disabilities requiring auxiliary aids or services should contact the city by writing or calling: City Clerk, ADA Contact, Berkley City Hall, 3338 Coolidge, Berkley, Michigan 48072, (248) 658-3300.

You can watch the meeting on Channel 10 for both Comcast and WOW, at <http://www.youtube.com/CityofBerkley> or <http://www.berkleymich.org/livestream>.

THE REGULAR MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:03 PM, FEBRUARY 22, 2022 AT BERKLEY CITY HALL BY CO-CHAIR MARTIN SMITH.

The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, on-demand, on the city's YouTube channel: <https://www.youtube.com/user/cityofberkley>.

PRESENT: Martin Smith Joe Bartus
Lisa Kempner Greg Patterson
Mark Richardson Shiloh Dahlin

ABSENT: Kristen Kapelanski (Excused)
Daniel Petrosky (Excused)
Julie Stearn (Excused)

ALSO, PRESENT: Megan Masson-Minock, Interim Community Development Director
Matthew Baumgarten, City Manager
Danny Amori, 3249 Wakefield Rd, Berkley
Teresa Forman, 2221 Princeton, Berkley
Mary Ann Noble, 2251 Princeton, Berkley
Paul Belleau, 2211 Princeton, Berkley

Motion by Commissioner Kempner to excuse the absences of Commissioner Kapelanski, Commissioner Petrosky, and Commissioner Stearn. Motion supported by Commissioner Patterson.

AYES: Bartus, Dahlin, Kempner, Patterson, Richardson, Smith
NAYS: NONE
ABSENT: Kapelanski, Petrosky, Stearn

MOTION CARRIED

APPROVAL OF AGENDA

It was moved by Commissioner Richardson to approve the agenda and supported by Commissioner Kempner.

AYES: Bartus, Dahlin, Kempner, Patterson, Richardson, Smith
NAYS: NONE
ABSENT: Kapelanski, Petrosky, Stearn

MOTION CARRIED

APPROVAL OF THE MINUTES

It was moved by Commission Kempner to approve the minutes from the regular Planning Commission meeting on January 25, 2022 and supported by Commissioner Bartus.

AYES: Bartus, Dahlin, Kempner, Patterson, Richardson, Smith
NAYS: NONE
ABSENT: Kapelanski, Petrosky, Stearn

MOTION CARRIED

COMMUNICATIONS

Planning & Zoning News
Michigan Association of Planning Magazine
Letter from Five-Eights on DDA Design Guidelines

CITIZEN COMMENTS

NONE

OLD BUSINESS

- 1. PSP-02-21; 2400 Greenfield Rd - New Construction of Office Building: T. Fought & Associates, on behalf of 2400 Trust, 2400 Greenfield Rd, Parcel #25-18-301-031, is requesting site plan approval for the development of a new six-unit office building in the Greenfield District 2.**

Interim Community Development Director Mason-Minock reviewed the main changes that has happened since the initial review in October, it was previously proposed to be a medical office. The applicant has revised it an office use. Interim Community Development Director Mason-Minock gave an overview of the planning review from Carlisle Wortman & Associates, a letter from Hubbell Roth & Clark Inc. (HRC), and the letter from the Department of Public Works (DPW).

Applicant Presentation

Tim Fought
T. Fought & Associates, Architect of Record
30701 Barrington Street Suite 100
Madison Heights, MI 48071

Petitioner, Mr. Fought, clarified that 50% of the building will be medical and 50% of it will be office to meet the requirements. Mr. Fought also clarified the issues that had been changed and how recommendations had been met from the last time this was presented to the Planning Commission.

There was no public comment.

The Commissioners discussed various aspects of the project, such as the parking, separation and setback, drainage, elevation, and building appearance.

The Commissioners also discussed that when the Zoning Ordinance is revising that the definitions and use of separation and setback requirements needs to be clarified.

Commissioners also commented on photometrics of the property and wanted to make sure the lights are not impacting anybody next door. Commissioners and Interim Community Development Director Mason-Minock had a discussion on the verbiage of the setback and separation for this distinction of the property.

Co-Chair Smith suggested that the dimensions be revisited, and suggested parking changes. He also asked other finite details on the building including stone finishes, landscaping and photometrics.

Commissioner Richardson moved to approve the site plan for agenda item PSP-02-21 as submitted, approving the transparency as proposed, with the following conditions:

- Requirements in letters from CWA, DPW, HRC, and Fire Inspector cited in the Staff Review are met.
- Approval by the Road Commission of Oakland County.
- Openings in the bottom of the screen wall.

The motion was seconded by Commissioner Kempner.

AYES: Bartus, Dahlin, Kempner, Patterson, Richardson, Smith

NAYS: NONE

ABSENT: Kapelanski, Petrosky, Stearn

MOTION CARRIED

2. **PSP-03-21: 3462 - 3478 Greenfield Rd - New Construction of Office Building: T. Fought & Associates, on behalf of North Green Trust, 3462-3478 Greenfield Rd, Parcels #25-07-355-013, #25-07-355-014, #25-07-355-015, is requesting site plan approval for the development of a new six-unit office building in the Greenfield District.**

Interim Community Development Director Mason-Minock stated that the applicant is requesting site plan approval for the development of a new six-unit office building in the Greenfield District. Interim Community Development Director Mason-Minock gave a summary of this application and the areas that needed to be addressed. There was also a review of the letters from HRC, Carlisle Wortman & Associates, and DPW in terms of recommendations, including conditions for approval.

Applicant Presentation

Tim Fought
T. Fought & Associates, Architect of Record
30701 Barrington Street Suite 100
Madison Heights, MI 48071

Petitioner, Mr. Fought, gave a summary of the project, such as the stone and brick being used, landscaping, and transparency.

PUBLIC COMMENT

William Seaman, 3461 Ellwood - Wanted to know if the screening wall is going to match the wall that is there already. It would be nice to see the new wall match the current brick wall. Noted that drainage would be a big help, because there is a lot of water on that wall currently.

The commissioners discussed to add more landscaping to the building and inquired about snow removal from this property. The commissioners also suggested having security lighting for tenants in the office building. The commissioners also discussed the change in window transparency and the effort that was made.

The commissioners discussed in general parking that should happen in front of buildings or in the back of the buildings. In an ideal world, Commissioner Richardson would like to see buildings in the front and parking in the back, but the Planning Commission does not have the legal ability to make that demand.

PUBLIC COMMENT

Jarrett Sanders, 3493 Ellwood - Likes the idea of parking in the back would allow for landscaping. He has spent a bunch of money planting arborvitae to add privacy to his yard, and if the building backs up it will kill his trees. Between his fence and this wall, how does the maintenance work? Technically, that piece is their property so they have to maintain that property.

Commissioner Richardson moved to approve PSP-03-21 as submitted, approving the transparency as proposed, with the following conditions:

- Requirements in letters from CWA, DPW, HRC, and Fire Inspector cited in the Staff Review are met.
- Requirement to add vegetation along the northwest portion of the parcel staying out of sight vision line for the intersection.
- The screen wall needs to have a split face color to match close to the existing brick walls.
- One to two security lights must be added in the back.

The motion was seconded by Commissioner Kempner.

AYES: Bartus, Dahlin, Kempner, Patterson, Richardson, Smith

NAYS:

ABSENT: Kapelanski, Petrosky, Stearn

MOTION CARRIED

3. **DDA Guidelines:**

Interim Community Development Director Mason-Minock stated that there will be a work session on this March 1st at 7:00 p.m. This will be discussion to create DDA Design Overlay District and adopt ordinance language related to the DDA Guidelines, as well as discussion on the Architectural Design Checklist.

Commissioner Kempner reminded Interim Community Development Director Mason-Minock to invite DDA board member Matteo Passalacque to the work session.

NEW BUSINESS

1. **PSP-02-22: 2222. W. Eleven Mile** - Discussion on Sketch Plan for proposed building renovation for marihuana provisioning center.

Interim Community Development Director Mason-Minock went over how this item is an informal discussion and the applicant can present and discuss the site plan. This is strictly a discussion of the site plan and not the use.

Interim Community Development Director Mason-Minock stated to the board that they will need to give input on the issue on the rear yard screen wall and design, as well as the sewer and easement in the northwest corner. She stated that the Huntington Woods Christian School was considered during the City Council review of the provisioning center license. Interim Community Development Director Mason-Minock stated that the meeting with the City Attorney determined that the preschool is not subject to the ordinance section 138-528c, which reflects the provisions of state law in terms of where marihuana provisions centers can be located.

APPLICANT PRESENTATION:

Grant Jeffries
Five/Eights Architecture, Architect
2321 Wolcott St
Ferndale, MI 48220

Chris Klampkin, Founder of Operation Grow LLC, DBA Butter

Dan Amori, Chief Executive Officer, Operation Grow LLC, DBA Butter

Mr. Jeffries gave an overview of the current building as well as the plans to renovate the building. Mr. Jeffries stated the changes for a pedestrian walkway, exterior materials, previous improvements, landscape, and roof changes were to meet the merit-based point system for the provisioning license. Mr. Jeffries stated that the letter from HRC stated specific details, which they intend to do during the building permit application.

PUBLIC COMMENT

Denise Losey, 2189 Princeton - Stated that she is concerned with what is going to happen right behind their house. There is a dead space behind their house between their fence and wall, since the space is not theirs, how is it going to be maintained? She stated that they will see the side of the building, and possibly have some trees to make it feel like they have some privacy in their yard.

David Losey, 2189 Princeton - Stated history of the last owner of the business about what was done on the sewer line that goes down the center of the alley. He stated that the sewer line goes down the alley, and he put his fence, when the city came out after to find a manhole. He wanted everyone to be aware of the issue of the sewer line that is there.

Theresa Foreman, 2221 Princeton - Wanted to know the hours of the operating business. Mr. Klampkin stated the hours will be 10 a.m. to 9 p.m. seven days a week. Ms. Foreman stated that her house is directly behind this business. She stated that her first issue is if the city or any big machinery has to get in the only way they can do that is through the residents' yards. The second issue is the hours of this operation. Ms. Foreman stated that she will have six LED lights on the west side that will illuminate her backyard, resulting in no privacy in the backyard and a lower quality of life, as well as five LED lights on the northside facing into her yard. Ms. Foreman stated the third issue is traffic. There are already issues on Henley because of Drought.

Jorge Martinez, 13125 W 11 Mile Rd Huntington Woods - Stated that he lives right across the street from this business. This is the first time he has been notified of the specifics of this business. Mr. Martinez stated that his quality of life will be going down, with the hours of operation and that traffic will be insane. Mr. Martinez stated that this is a huge concern especially with him having small children.

Paul Belleau, 2211 Princeton - Stated that his big concern is the wall that will be going up in their back yard, what is it going to be made of, how tall is it? With already having a fence in their backyard, will they be losing that?

Mary Ann Noble, 2251 Princeton - Expressed that she had spent \$2,600 to put up a vinyl fence, and wants to know, with the additional parking in the Masonic Temple, will it cause a problem to her fence? Will there be a new wall built covering the existing fence? She does not have that kind of money to build a new fence.

Interim Community Development Director Mason-Minock clarified some things that were addressed in the public comment including drive through, fence, and parking. City Manager, Matt Baumgarten, clarified the timeline of notices and operations.

The Commissioners discussed the sewer line that is in the alley between residential and the property with the site plan. The Commissioners also discussed the traffic that would impact this site. There was mention of getting a TIA traffic analysis and enforcement issues would be the backup traffic.

Commissioner Kempner discussed her findings from driving around to other marihuana centers, specifically parking, the number of checkout stations and circulation of the properties. Commissioner Kempner stated that she can see traffic backing up on Eleven Mile from this facility and that the circulation for cars to get in and out is not great.

The commissioners and applicants discussed snow storage, the shared parking agreement, the tenant suites, parking spots, and dumpster location.

Commissioner Richardson asked the applicant if they have any empirical data on their facilities. The applicant stated there are resources out there to find that data, but they currently do not have anything on hand for their facilities. Commissioner Patterson asked about the lighting issue with this facility.

Mr. Jeffries addressed the questions from the commissioners, and some of the public comment concerns with the barrier wall and easement for sewer.

The commissioners discussed options of the screen wall, landscaping, snow removal, requiring traffic studies, green infrastructure and the roof. Mr. Jeffries addressed the commissioners' concerns with the clay, pavement, and roof renovation.

Co-Chair Smith commented on the accessible path that includes the bike racks, designate demolition sites on the site plans, and other specifics that are on the site plan.

Mr. Klampkin asked the commissioners specifics about what they can do with changing the site plan, what is allowed and what is not, as well as parking agreement questions.

Co-Chair Smith reiterated that this is a new thing coming to Berkley and everyone is on edge about the traffic and the resident's comments on traffic do matter, wishing them all the success, but take the things stated tonight into consideration. Co-Chair Smith inquired more about how deliveries and products are brought to the store, as well as the roof and the plans with it, and the lighting especially since bleed over is not allowed for residential property. Traffic and parking are the board's biggest recommendations.

PUBLIC COMMENT

David Losey, 2189 Princeton - stated maybe the wall can be moved too. The prior business built the wall right where it was before.

Jorge Martinez, 13125 W 11 Mile Rd Huntington Woods - brought to the attention of commissioners that there at one point was a thought process on a bicycle lane on Eleven Mile, which may impact this as well, and that the road is a speed trap. Mr. Martinez also stated that emergency vehicles will have to travel that road and could be impacted with the traffic.

Theresa Foreman, 2221 Princeton - stated that she would like the board to look at an agreement with the Masonic Temple, how do you differentiate employee spaces versus overflow spaces.

Denise Losey, 2189 Princeton - stated that the fences that are currently present were allowed to go eight feet on them, not six feet, which could be a solution.

LIAISON REPORTS

Commissioner Kempner stated that the DDA worked on revising their vision and mission statements. The DDA concluded they need someone who knows crosswalks and to help them keep Coolidge crosswalks safe. The mural funding has increased from \$2,500 to \$4,000. The DDA also started looking at pocket parks and funding for those locations.

COMMISSIONER COMMENTS

Commissioner Patterson asked City Manager, Matt Baumgarten, about what the process is with the new marihuana centers coming to Berkley, what is the process if the board denies an application. City Manager Matt Baumgarten stated that the next eligible applicant with the next highest score would be able to apply.

Commissioner Kempner asked City Manager, Matt Baumgarten, how the decision was made to get to just the basic retail as the parking? Interim Community Development Director Mason-Minock stated that was made when the checklist started back in 2019 in terms of the method for calculating the required parking. City Manager, Matt Baumgarten, reiterated that during that time period, peer communities had further the same standard as the retail location.

Co-Chair Smith suggested that staff go back and alert other applicants about parking situations and circulation.

Commissioner Richardson stated a general comment that he would like to see the city do much more to encourage shared parking. If the city took more of a proactive role it could work better. Co-Chair Smith states that the city has several shared parking agreements that do work well.

Commissioner Dahlin stated that with the retail qualifications on parking, how they can order online and come to the parking lot and delivery of goods to your window, it is almost a drive-through setup. Just to consider the extra addition of people coming into the parking lot and leaving.

Co-Chair Smith commented on a prior comment that five facilities in the community that is Berkley's size is quite a bit. He feels that this is not the right direction for the community.

Commissioner Bartus asked if the board has any input on hours of operation, the board can have limits, but cannot dictate it. If the use was a special land use, the Planning Commission would have more leeway to place conditions.

Co-Chair Smith commented that the notifications that are sent out to people are a good standard and relationship for the community.

STAFF COMMENTS

Interim Community Development Director Mason-Minock provided the Community Development report. She also updated the Planning Commission; the city had just issued site plan number six for 2022.

Interim Community Development Director Mason-Minock suggested going over the rules and procedures during the March work session, suggesting that the board may want to put parameters on how long meetings will go or how many agenda items will be discussed during a meeting.

ADJOURNMENT

Motion to adjourn by Commissioner Kempner. Motion supported by Commissioner Patterson.

AYES: Bartus, Dahlin, Kempner, Patterson, Richardson, Smith

NAYS:

ABSENT: Kapelanski, Petrosky, Stearn

With no further business, the meeting was adjourned at 10:04 p.m.

DRAFT

**THE WORK SESSION OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER
AT 7:00 PM, MARCH 1, 2022 AT BERKLEY CITY HALL BY CHAIR KRISTEN KAPELANSKI.**

The minutes from this meeting are in summary form capturing the actions taken on each agenda item.

PRESENT: Kristen Kapelanski Martin Smith
Joe Bartus Daniel Petrosky
Lisa Kempner Greg Patterson
Mark Richardson Shiloh Dahlin
Julie Stearn

ABSENT: NONE

ALSO, PRESENT: Megan Masson-Minock, Interim Community Development Director
Ben Carlisle, Carlisle Wortman & Associates
Matteo Passalacqua, DDA Board Member, 3609 Robina, Berkley

COMMUNICATIONS

NONE

CITIZEN COMMENTS

NONE

1. **DISCUSSION:** Matter of discussing creation of DDA Design Overlay District and ordinance language related to the DDA Guidelines.

Planning Consultant Ben Carlisle reviewed the memorandum in the packet on the survey sent to the Planning Commission and DDA Board and an analysis of how the items in the Downtown Design Guidelines were ranked in importance by survey participants, whether or not the item was regulated currently in the Zoning Ordinance and recommendations. He laid out steps that could be implemented in the near term, mid term and long term.

Interim Community Development Director Mason-Minock led the Planning Commission and DDA Board Member Matteo Passalacqua in a group writing exercise to adapt the Troy Site Plan Review Design Standards.

The Planning Commission asked Carlisle Wortman Associates to draft Zoning Ordinance amendments based on the discussion at the work session for the next Planning Commission meeting.

2. **DISCUSSION:** Matter of discussing rules of procedure.

Interim Community Development Director Mason-Minock reviewed the previous changes to the by-laws. She suggested that with the number of site plans submitted already this year, the Planning Commission may wish to amend the by-laws to limit the length of meetings, the number of agenda items, etc. The Planning Commission discussed the by-laws and meeting length. It was the general consensus that limits on meeting were not necessary. Planning Commissioners asked that staff inquire as to whether the excusing of absences was a required City policy. Many felt uncomfortable making that decision. Interim Community Development Director Mason-Minock said she would research that item and report back.

ADJOURNMENT

With no further business, the meeting was adjourned at 8:30 p.m.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

TO: City of Berkley Planning Commission

FROM: Ben Carlisle, AICP
Megan Masson-Minock, AICP

DATE: March 17, 2022

RE: Site Plan Design Standards

Thank you for your contributions at the March 1st Planning Commission work session. Based on your discussion, we have updated the proposed Site Plan Review Design Standards, as shown below with tracked changes for the text shared with you previously. Please come prepared to the regular March 22 Planning Commission to offer any changes.

Revised Site Plan Design Standards

Proposed to be inserted as part of Sec. 138-679 Standards in Division 7. Site Plan Review

1. Development shall ensure compatibility ~~to-with~~ existing commercial districts and ~~provide-include~~ a transition between land uses through application of the following requirements:
 - a. Building design shall ~~enhance-improve~~ the character of the surrounding area in relation to building ~~placement, and parking placement~~, landscape and streetscape features, and architectural design.
 - b. Street fronts shall provide a variety of architectural expression that is appropriate in its context and ~~prevents monotony~~ creates variety and enhances visual interest.
 - c. Building design shall achieve a compatible transition between areas with different height, massing, scale, and architectural style.
 - ~~e.d.~~ For proposals in the Downtown Development District, the applicant shall explain, and the Planning Commission should consider how the proposal implements the site design elements in Chapter II and character areas in Chapter V of the Berkley Downtown Design Guidelines. The Planning Commission may require changes to the site plan based on the Berkley Downtown Design Guidelines.
2. Development shall incorporate the following recognized best architectural building design practices:
 - a. Foster a lasting impact on the community through the provision of high quality design, ~~and~~ construction, ~~and detailing~~.
 - b. Provide high quality, durable materials, such as but not limited to stone, brick, ~~and~~ glass, ~~and metal~~. E.I.F.S., metal or material equivalent shall only be used as an accent material.
 - c. Develop buildings with creativity that includes balanced compositions and forms.

- d. Design roofs that are appropriate to the architectural style of the building ~~and create an appropriate visual exterior mass of the building~~ and contextual to the surrounding area. given the context of the site.
 - e. For commercial buildings, incorporate clearly defined, highly visible customer entrances that face the street, using features such as canopies, porticos, arcades, arches, wing walls, ground plane elements, and/or landscape planters.
 - f. ~~Include~~ New development or site redevelopment shall incorporate community amenities that add value to the development such as patio/ seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located in areas accessible to the public. Such improvements shall be proportionate to the proposed scope of site work.
 - ~~f.g.~~ Buildings shall be designed to fit the character and architectural style of the community.
 - h. For proposals in the Downtown Development District, the applicant shall explain, and the Planning Commission should consider how the proposal implements the character areas in Chapter V of the Berkley Downtown Design Guidelines and the provisions of the following:
 - i. Chapter III of the Berkley Downtown Design Guidelines for new construction; or
 - ii. Chapter IV of the Berkley Downtown Design Guidelines for renovations or façade alterations.

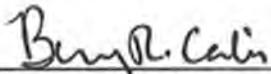
The Planning Commission may require changes to the site plan based on the Berkley Downtown Design Guidelines.
3. Enhance the character, environment, ~~safety, and access for motorized and non-motorized transportation and safety for pedestrians and motorists~~ through the following requirements:
- a. Provide elements that ~~define-distinguish~~ the street and the pedestrian realm (area from the back of the street curb to the building front).
 - b. Create a non-motorized pedestrian connection between the public right of way and ground floor activities.
 - c. Create a safe environment by employing design features to reduce vehicular and pedestrian ~~conflict~~use, while not sacrificing design excellence.
 - d. Enhance the pedestrian realm by framing the sidewalk area with trees, awnings, and other features.
 - e. Improve safety and access for pedestrians through site design ~~measures~~elements and lighting.
 - f. For proposals in the Downtown Development District, the applicant shall explain, and the Planning Commission should consider how the proposal implements the site design elements in Chapter II and character areas in Chapter V of the Berkley Downtown Design Guidelines. The Planning Commission may require changes to the site plan based on the Berkley Downtown Design Guidelines.

Based on your feedback, we will then put the Site Plan Review Design Standards and the following changes in Ordinance amendment format for your review:


- Establish build-to-line for Coolidge
- Permit greater setbacks based on first floor use
- Strengthen requirements for pedestrian connection from parking to front building entrance.
- Require parking only behind front building Allow parking only in side and rear yards
- Require parking lots that are adjacent to roadway to be screened via screen wall or landscaping
- Require “activity” to be visual from the street
- Reduce height adjacent to residential
- Limit window signage
- Insert specific requirements of awning and canopies
- Strengthen exterior lighting requirements especially for the pedestrian realm
- Work with City Engineer to incorporate stormwater management best practices
- Strengthen material requirements

Please consider whether you would like to review the proposed amendment at your next regular meeting or at a work session. Let us know if you have any questions or concerns!

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



CARLISLE/WORTMAN ASSOC., INC.
Megan Masson-Minock, AICP
Planner



CITY OF BERKLEY **COMMUNITY DEVELOPMENT**

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

MEMORANDUM

To: Berkley Planning Commission

From: Megan Masson-Minock, Interim Community Development Director

Subject: **PC Rules of Procedure - Excusing of Absences**

Date: March 16, 2022

At the March 1, 2022 work session, Planning Commissioners asked if the agenda item and requirements in the by-laws to require excusing of absences would be possible. I consulted the City Attorney who said that City Code sec. 2-178(b), which relates to board and commission attendance requirements and seems to require that for an absence to be excused, it must be done "by the members of the board and the reasons therefore entered into the official record and minutes of the board." Therefore, the by-laws must remain as written on this item,

If there are other suggestions to the Rules of Procedure, please do not hesitate to contact me. If you do not instruct me at the meeting to update any other portion of the by-laws, we will consider your annual review of the Rules of Procedure to be complete.

Thank you.



March 2, 2022

Via Email:

comdirector@berkleymich.net

City of Berkely
Attn: Community Development Director
3338 Coolidge Hwy
Berkley, MI 48072

Re: Request for Sketch Plan Review for March 22, 2022 Planning Commission Meeting

Dear Community Development Director:

Per our architect's, Chris Enright, discussion with the interim Community Development Director, Meagan Masson-Minock, Attitude Wellness LLC is requesting to be considered for a Sketch Plan Review at the March 22, 2022 City of Berkley Planning Commission meeting for its proposed marihuana facility at 1949 W. 12 Mile Road, Berkley, MI, 48072.

Thank you for your time. We look forward to presenting to the Planning Commission on March 22, 2022.

John Abbo, Counsel for Attitude Wellness LLC



APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in **substantially complete form** at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name: Lume Berkley Provisioning Center

Applicant: Christopher Enright

Mailing Address: 626 East Parent Ave, Suite 106, Royal Oak, MI 48067

Telephone: [REDACTED]

Email: cenright@enrightarchitects.com

Property Owner(s), if different from Applicant: David Farbman

Mailing Address: 28400 Northwestern Highway Fourth Floor, Southfield, MI 48034

Telephone: 248.353.0500

Email: dfarbman@farbman.com david@dfarbman.com

Applicant's Legal Interest in Property: _____

LOCATION OF PROPERTY:

Street Address: 1949 Twelve Mile Road

Nearest Cross Streets: Woodward Ave. / Rosemont Road

Sidwell Number(s): 25-17-126-002. 25-17-126-003

PROPERTY DESCRIPTION:Provide lot numbers and subdivision: 32 to 43, inclusive and 44 to 55 inclusiveStephenson-Barbara Roseland SubdivisionProperty Size (Square Feet): 1.48764,795 (Acres): 1.487**EXISTING ZONING DISTRICT** *(please check):*

- | | | |
|-------------------------------|--|-------------------------------------|
| <input type="checkbox"/> R-1A | <input checked="" type="checkbox"/> Local Business | <input type="checkbox"/> Coolidge |
| <input type="checkbox"/> R-1B | <input checked="" type="checkbox"/> Office | <input type="checkbox"/> Downtown |
| <input type="checkbox"/> R-1C | <input type="checkbox"/> Community Centerpiece | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> R-1D | <input type="checkbox"/> Woodward | <input type="checkbox"/> Cemetery |
| <input type="checkbox"/> RM | <input type="checkbox"/> Eleven Mile | <input type="checkbox"/> Parking |
| <input type="checkbox"/> RMH | <input type="checkbox"/> Twelve Mile | |

Present Use of Property:

Medical Office Building

Proposed Use of Property:

Marihuana Provision Center and Office Lease SpaceIs the property located within the Downtown Development Authority? ☒ Yes ☐ No**PROJECT DESCRIPTION:**

Existing building partially converted to Marihuana Provisioning Center with the remainder of
building to be office space available for lease.

Does the proposed project / use of property require Special Land Use approval? ☒ Yes ☐ NoDoes the proposed project require Variance(s) from the Zoning Board of Appeals? ☐ Yes ☒ No

If yes, please describe Variances required:

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office	3	17,677 SF	87	
Commercial	1	6,764 SF	30	APPROX. 9
Industrial				
Other				

PROFESSIONALS WHO PREPARED PLANS:

A. Name: Stucky Vitale Architects

Mailing Address: 626 East Parent Ave, Suite 106, Royal Oak, MI 48067

Telephone: [REDACTED]

Email: mdragan@suckyvitale.com

Design Responsibility (engineer, surveyor, architect, etc.): Architect

B. Name: PEA GROUP

Mailing Address: 7927 Nemco Way, Suite 115, Brighton, MI. 48116

Telephone: 517-546-8583

Email: speruski@peagroup.com

Design Responsibility: Surveyor Civil Engineer

SUBMIT THE FOLLOWING:

1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
2. A pdf file of the site plans, submitted to the Community Development Director.
3. Proof of property ownership (title insurance policy or registered deed with County stamp).
4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:

- | | |
|---|--|
| <input type="checkbox"/> Road Commission for Oakland County | <input type="checkbox"/> Oakland County Health Division |
| <input type="checkbox"/> MI Dept. of Transportation | <input type="checkbox"/> MI Dept. of Environment, Great Lakes & Energy |

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line)



I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

APPLICANT'S ENDORSEMENT: (Initial each line)

CVE All information contained therein is true and accurate to the best of my knowledge.

CVE I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

CVE I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

Signature of Applicant

Date

Applicant Name (Print)

Signature of Applicant

Date

Applicant Name (Print)

DocuSigned by:



7-14-21

Signature of Property Owner Authorizing this Application

Date

David Farbman, Manager of Monarch Acquisitions LLC

Property Owner Name (Print)

OFFICE USE ONLY

Received _____ Receipt # _____ Meeting Date _____ Case # _____

Fees: Site Plan Review \$350 Façade Change: \$200 Revision: \$100

Engineering TBD



CITY OF BERKLEY
COMMUNITY DEVELOPMENT
 3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

APPLICATION FOR SPECIAL LAND USE REVIEW

NOTICE TO APPLICANT: Applications for Special Land Use review by the Planning Commission must be submitted to the City of Berkley Building Department in ***substantially complete form*** at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fee.

The Planning Commission will hold the required *public hearing* and will make a recommendation to the City Council. Special Land Use approval shall be obtained from the City Council.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072. The City Council meets the first and third Mondays of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Special Land Use Review and provide the following information to assist in the review:

Project Name: Lume Berkley Provisioning Center

Applicant: Christopher Enright

Mailing Address: 626 East Parent Ave, Suite 106, Royal Oak, MI 48067

Telephone: [REDACTED]

Email: cenright@enrightarchitects.com

Property Owner(s), if different from Applicant: David Farbman

Mailing Address: 28400 Northwestern Highway Fourth Floor, Southfield, MI 48034

Telephone: 248.353.0500

Email: dfarbman@farbman.com david@dfarbman.com

Applicant's Legal Interest in Property: Architect

LOCATION OF PROPERTY:

Street Address: 1949 Twelve Mile Road

Nearest Cross Streets: Woodward Ave/Rosemont Road

Sidwell Number(s): 25-17-126-002 25-17-126-003

PROPERTY DESCRIPTION:

Provide lot numbers and subdivision: 32 to 43, inclusive and 44 to 55 inclusive
Stephenson-Barbara Roseland Subdivision

Property Size (Square Feet): 64,795 (Acres): 1.487

EXISTING ZONING DISTRICT *(please check):*

- | | | |
|-------------------------------|--|-------------------------------------|
| <input type="checkbox"/> R-1A | <input checked="" type="checkbox"/> Local Business | <input type="checkbox"/> Coolidge |
| <input type="checkbox"/> R-1B | <input checked="" type="checkbox"/> Office | <input type="checkbox"/> Downtown |
| <input type="checkbox"/> R-1C | <input type="checkbox"/> Community Centerpiece | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> R-1D | <input type="checkbox"/> Woodward | <input type="checkbox"/> Cemetery |
| <input type="checkbox"/> RM | <input type="checkbox"/> Eleven Mile | <input type="checkbox"/> Parking |
| <input type="checkbox"/> RMH | <input type="checkbox"/> Twelve Mile | |

Present Use of Property: Medical Office Building

Proposed Use of Property: Marihauna Provision Center and Office Lease Space

Is the property located within the Downtown Development Authority? ☒ Yes ☐ No

PROJECT DESCRIPTION:

Existing building partially converted to Marihuana Provisioning Center with the remainder of
building to be office space available for lease.

Does the proposed project / use of property require Site Plan Approval? ☒ Yes ☐ No

Does the proposed project require Variance(s) from the Zoning Board of Appeals? ☐ Yes ☒ No

If yes, describe the variances that will be required: _____

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office	3	17,677 SF	87	
Commercial	1	6,764 SF	30	APPROX. 9
Industrial				
Other				

STANDARDS FOR SPECIAL LAND USE APPROVAL:

To be considered for Special Land Use approval, the Planning Commission and City Council shall consider the following standards. Please address **how** the proposed use satisfies each standard, as specified in Section 138-653.

1. The proposed use will promote the use of land in a socially and economically desirable manner.

The proposed use will bring an economically viable business to a soon to be
vacant building provide prime office space for lease in an newly renovated structure.

2. The proposed use is necessary for the public convenience at that location.

Project is located within the designated "Green Zone" as shown on
the City of Berkley - Marihuana Business Allowable Location Map

3. The proposed use is compatible with adjacent land uses.

The office use complies with existing zoning and the Marihuana Provisioning Center is located within
the designated "Green Zone" and its use is consistent with the existing Local Business Zone

4. The proposed use is designed so that the public health, safety and welfare shall be protected.

This project is designed in accordance with all public health, safety, and welfare requirements
as set forth by the Marijuana Regulatory Agency and the Bureau of Fire Safety of the State of Michigan.

5. The proposed use will not cause injury to other property in the neighborhood.

The proposed use revitalizes a currently vacant building, and is located in a designated

"Green Zone"

PROFESSIONALS WHO PREPARED PLANS:

A. Name: Stucky Vitale Architects
Mailing Address: 27172 Woodward Ave, Royal Oak, MI 48067
Telephone: [REDACTED]
Email: mdragan@suckyvitale.com
Design Responsibility (engineer, surveyor, architect, etc.): Architect

B. Name: PEA Group
Mailing Address: 7927 Nemco Way, Suite 115, Brighton, MI. 48116
Telephone: 517-546-8583
Email: speruski@peagroup.com
Design Responsibility: Surveyor, Civil Engineer

SUBMIT THE FOLLOWING:

1. Ten (10) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor. If copies are submitted simultaneously for Site Plan Review, then submittal of ten (10) additional copies is not necessary.
2. A pdf file of the plan and any supporting documents, emailed to the Community Development Director.
3. Proof of property ownership (title insurance policy or registered deed with County stamp).

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Special Land Use request may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Special Land Use application or to revoke any permits granted subsequent to the Site Plan Approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission and City Council meetings are recorded and televised.

^{DS}
PROPERTY OWNER'S APPROVAL: (Initial each line)

 I hereby authorize and give permission for the City of Berkley to install one or more temporary signs on my property, in order to notify the public of the required public hearing related to the Special Land Use request.

 CVE I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above referenced property in relation to the above request.

APPLICANT'S ENDORSEMENT: (Initial each line)

 CVE All information contained therein is true and accurate to the best of my knowledge.

 CVE I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted.

 CVE I acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this Special Land Use application.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.



April 23, 2021

Signature of Applicant

Date


Christopher Enright

Applicant Name (Print)

Signature of Applicant

Date

Applicant Name (Print)

DocuSigned by:

BA31CA90F015422...

7-13-2021

Signature of Property Owner Authorizing this Application

Date

David Farbman, Manager of Monarch Acquisitions LLC
Property Owner Name (Print)

OFFICE USE ONLY

Received _____ Receipt # _____ Meeting Date _____ Case # _____

Fee: Special Land Use \$400

CHRISTOPHER ENRIGHT ARCHITECTS

A PROFESSIONAL CORPORATION

628 E. Parent Avenue
Suite 106
Royal Oak, MI 48067

Tel: (248) 258-6485
Cell: [REDACTED]
E-Mail: cenright@enrightarchitects.com

Letter of Transmittal

Date: July 15, 2021

To: Erin Schlutow, Director,
Community Development
City of Berkley
3338 Coolidge Hwy
Berkley, MI. 48072

Re: Lume Berkley Provisioning Center
1949 Twelve Mile Road
Site Plan Review (SPA)
Special Land Use (SLU)

We are transmitting to you via:

<input type="checkbox"/> U.S. Mail	<input type="checkbox"/> Pick-up
<input type="checkbox"/> FED EX	<input checked="" type="checkbox"/> Hand Delivery

The Following Items:

<input checked="" type="checkbox"/> Drawings	<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Sketches	<input checked="" type="checkbox"/> Files on Disk
<input type="checkbox"/> Specifications	<input type="checkbox"/> Samples	<input type="checkbox"/> Change Order	<input checked="" type="checkbox"/> Other:

Copies	Dated	Description
1	07/15/2021	Lume – Application for Site Plan Review + \$350 fee
1	07/15/2021	Lume – Application for Special Land Use Review + \$400 fee
1	07/15/2021	Lume – USB Thumb Drive with Electronic copies
1	07/15/2021	Lume – Deed 1949 Twelve Mile Rd.
25	07/15/2021	Lume – Set of (21) Sheets of 24" x 36" Drawings

These are transmitted:

Received:



Christopher Enright, NCARB
President

Received By

LUME | BERKLEY | PROVISIONING CENTER

1949 12 MILE RD., BERKLEY, MI 48237

OWNER:
MONARCH ACQUISITIONS LLC

LESSEE:
ATTITUDE WELLNESS LLC D/B/A LUME
CANNABIS CO.

ARCHITECT:
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

CIVIL ENGINEER:
PEA GROUP
7927 NEMCO WAY, SUITE 115
BRIGHTON, MICHIGAN, 48116
(517) 546-8583

PROJECT DATA:

BUILDING CODE AUTHORITY:
CITY OF BERKLEY

TYPE OF CONSTRUCTION:
II-B

USE GROUP:
M - MERCANTILE

PROJECT AREA:
EXISTING BUILDING BASEMENT +2 STORY ABOVE GROUND

GROSS FLOOR AREA :	+/- 24,000 SF
GROSS FLOOR AREA AFTER REMODEL :	+/- 27,319 SF
LOWER LEVEL	8,119 SF
FIRST FLOOR :	518 SF
SECOND FLOOR:	1,075 SF
ROOF AREA TOTAL :	8,607 SF
(LIVE ROOF + SOLAR PANELS :	4,544 SF)
PROPOSED TENANT REMODEL	
LUME PROVISIONING CENTER:	
LOWER LEVEL AREA:	1,075 SF
FIRST FLOOR AREA +ELEVATOR LOBBY AND STAIR:	581 SF
SECOND FLOOR AREA :	5,108 SF
TOTAL GROSS FLOOR AREA	6,764 SF

EXISTING TENANTS	
LOWER LEVEL:	
VACANT TENANT SPACE :	6,687SF (APPROX.)
GROUND FLOOR:	
WILLIAM BEAUMONT HOSPITAL	
NORTHPOINTE HEALTH CENTER	
INTERNAL MEDICINE AND GERIATRICS SUITE:	7,357 SF
SECOND FLOOR:	
VACANT TENANT SUITE:	2,977 SF (APPROX.)



CONCEPTUAL DESIGN RENDERING



PROJECT AREA:
REFER TO ENLARGED SITE PLAN
ON SHEET SP1.1

AERIAL MAP
SCALE: NTS

SHEET INDEX		ISSUED FOR			
DRAWING INDEX KEY:					
<input type="checkbox"/> NOT ISSUED					
<input type="checkbox"/> PREVIOUSLY ISSUED					
<input checked="" type="checkbox"/> ISSUED					
<input checked="" type="checkbox"/> REFERENCE					
		06.24.21 SPA and SLU	07.14.21 SPA and SLU		
GENERAL					
TS1.1	TITLE SHEET AND SHEET INDEX AND OVERALL SITE PLAN				
CIVIL					
	COVER PAGE				
C-1.0	TOPOGRAPHIC SURVEY				
C-2.0	PRELIMINARY SITE PLAN				
C-3.0	PRELIMINARY GRADING PLAN				
C-4.0	PRELIMINARY UTILITY PLAN				
C-5.1	STORM WATER MANAGEMENT SYSTEM (WEST)				
C-5.2	STORM WATER MANAGEMENT SYSTEM (EAST)				
C-6.0	NOTES AND DETAILS				
L-1.0	OVERALL SITE AMENITIES				
L-1.1	LANDSCAPE PLAN				
L-1.2	LANDSCAPE DETAILS				
ARCHITECTURAL					
EC1.1	EXISTING CONDITIONS				
SP1.0	SITE VICINITY				
A1.0	LOWER LEVEL FLOOR PLAN				
A1.1	FIRST FLOOR PLAN				
A1.2	SECOND FLOOR PLAN				
A1.3	ARCHITECTURAL ROOF PLAN				
A3.1	EXTERIOR ELEVATIONS				
A3.2	EXTERIOR ELEVATIONS - COLORED				
A3.3	CONCEPTUAL RENDERINGS				



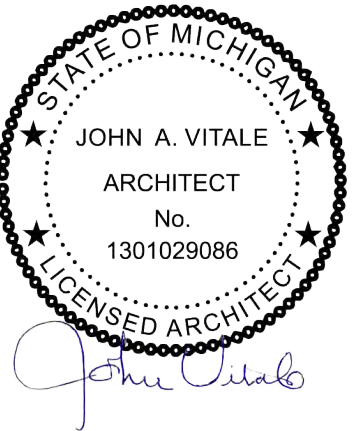
2020.154

LUME - BERKLEY - PROVISIONING CENTER
1949 12 MILE ROAD,
BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

SPECIAL LAND USE/ SITE PLAN APPROVAL

JULY 14, 2021



SHEET:

TS1.1

PRELIMINARY SITE PLAN (B)

LUME - BERKLEY

1949 12 MILE ROAD
CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN



PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
6/24/2021		CITY SITE PLAN



INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	PRELIMINARY SITE PLAN
C-3.0	PRELIMINARY GRADING PLAN
C-4.0	PRELIMINARY UTILITY PLAN
C-5.1	STORM WATER MANAGEMENT PLAN (WEST)
C-5.2	STORM WATER MANAGEMENT PLAN (EAST)
C-6.0	DETAILS
L-1.0	OVERALL SITE AMENITIES PLAN
L-1.1	LANDSCAPE PLAN
L-1.2	LANDSCAPE DETAILS

DESIGN TEAM

OWNER	ARCHITECT	LANDSCAPE ARCHITECT
MONARCH ACQUISITIONS LLC 28400 NORTHWESTERN HIGHWAY SOUTHFIELD, MI 48034	STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MI 48067 CONTACT: ANDREW DANAHER PHONE: 248.546.6700 EMAIL: ADANAHER@STUCKYVITALE.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM
APPLICANT/LESSEE	CIVIL ENGINEER	
ATTITUDE WELLNESS LLC D/B/A LUME CANNABIS CO. 769 CHICAGO ROAD TROY, MI 48063 CONTACT: JOHN ABBO PHONE: 248.877.2336 EMAIL: JOHN.ABBO@LUME.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: SCOTT A. PERUSKI, PE PHONE: 844.813.2949 EMAIL: SPERUSKI@PEAGROUP.COM	



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	6/24/2021



BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
GEAR PIN IN THE SOUTH SIDE OF A 10" TREE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 200'± EAST FROM THE CENTERLINE OF HENLEY AVENUE.
ELEV. 378.86

BM #301
RR SPIKE IN THE SOUTH SIDE OF A POWER POLE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 175'± SOUTHWEST FROM THE CORNER OF THE MAUSOLEUM.
ELEV. - 673.39

BM #302
FOUND MAG NAIL IN THE NORTH SIDE OF A POWER POLE LOCATED APPROX. 30'± SOUTHEAST FROM THE SOUTHWEST BUILDING CORNER, AND APPROX. 50'± SOUTHWEST FROM THE SOUTHEAST BUILDING CORNER OF 1949 12 MILE ROAD.
ELEV. - 676.24

LEGAL DESCRIPTION

PARCEL 25-17-126-002
T1N, R11E, SEC 17 STEPHENSON-BARBERS ROSELAND SUB LOTS 44 TO 55 INCL, ALSO ALL OF VAC ALLEY ADJ TO SAME 1-5-01 CORR

PARCEL 25-17-126-003
T1N, R11E, SEC 17 STEPHENSON-BARBERS ROSELAND SUB LOTS 32 TO 43 INCL, ALSO ALL OF VAC ALLEY ADJ TO SAME 1-5-01 CORR

LEGEND

●

IRON FOUND

●

IRON SET

●

NAIL FOUND

●

NAIL & CAP SET

●

BRASS PLUS SET

●

MONUMENT FOUND

●

MONUMENT SET

●

SEC. CORNER FOUND

●

RECORDED

●

MEASURED

●

CALCULATED

EXISTING

—

ELEC. PHONE OR CABLE TV O/L LINE, POLE & GUY WIRE

—

UG-CATV

—

UG-PHONE

—

UG-ELEC

—

ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE

—

GAS MAIN, VALVE & GAS LINE MARKER

—

WATERMAIN HYD. GATE VALVE, TAPPING SLEEVE & VALVE

—

SEWERY SEWER, CLEANOUT & MANHOLE

—

STORM SEWER, CLEANOUT & MANHOLE

—

COMBINED SEWER & MANHOLE

—

SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN

—

POST INDICATOR VALVE

—

WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF

—

MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE

—

UNIDENTIFIED STRUCTURE

—

SPOT ELEVATION

—

CONTOUR LINE

—

FENCE

—

GUARD RAIL

—

STREET LIGHT

—

SIGN

—

CONC.

—

ASPH.

—

GRAVEL

—

CONCRETE

—

ASPHALT

—

GRAVEL SHOULDER

REFERENCE DRAWINGS

CABLE

AT&T MAP A1, DATED 10/29/2020

123 NET MAP, EMAIL DATE 1/28/2020

ELECTRIC

DTE ELECTRIC FACILITY MAP #310-386, DATED 11/3/2020

CONSUMERS QUARTER SECTION MAP 01-61-17-2M DATED 02-22-2019

GAS

CITY OF BERKLEY GIS MAPS, EMAIL DATED 10/29/2020

CITY OF BERKLEY GIS MAPS & SKETCHES, EMAIL DATED 10/29/2020

STORM SEWER

CITY OF BERKLEY GIS MAPS & SKETCHES, EMAIL DATED 10/29/2020

WATER MAIN

CITY OF BERKLEY GIS MAPS & SKETCHES, EMAIL DATED 10/29/2020

PEA GROUP

TROY • WASHINGTON TWP
BRIGHTON • DETROIT
t: 844.813.2949

www.peainc.com

NORTH

0

10

20

40

SCALE: 1" = 20'

811

Know what's below.
Call before you dig.

CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

STUCKY VITALE
ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067

PROJECT TITLE

LUME
DEVELOPMENT
1949 12 MILE ROAD
BERKLEY, MICHIGAN

Lume.

CANRABIS CO.

REVISIONS

ORIGINAL ISSUE DATE:

JUNE 24, 2021

DRAWING TITLE

TOPOGRAPHIC
SURVEY

PEA JOB NO.

2020-0224

P.M.

SAP

DN.

SAP

DES.

SAP

DRAWING NUMBER:

C-1.0

The map shows a topographic survey of Parcel No. 25-17-126-003, which is a portion of the Stephenson-Barber's Roseland Subdivision. The parcel is bounded by 1949 12 Mile Road to the north and east, and by other parcels to the south and west. The map includes detailed information about the parcel's boundaries, including bearings and distances. It also shows various utility lines, including electric, gas, water, and sewer lines, as well as structures such as a concrete sidewalk, a concrete trash enclosure, a brick wall, and a wood chip pile. The map is oriented with North at the top. The drawing is dated June 24, 2021, and is titled "TOPOGRAPHIC SURVEY".

S:\PROJECTS\2020\2020-0224 - 80 LUME - BERKLEY\MOIST SITE PLANS\C-1.0 TOPO-20-0224.dwg

(GPS DERIVED - NAVD88)

BM #301
RR SPIKE IN THE SOUTH SIDE OF A POWER POLE LOCATED ON THE
NORTH SIDE OF 12 MILE ROAD, APPROX. 175'± SOUTHWEST FROM
THE CORNER OF THE MAUSOLEUM.
ELEV. - 673.39

BM #302
FOUND MAG NAIL IN THE NORTH SIDE OF A POWER POLE LOCATED
APPROX. 30'± SOUTHEAST FROM THE SOUTHWEST BUILDING
CORNER, AND APPROX. 50'± SOUTHWEST FROM THE SOUTHEAST
BUILDING CORNER OF 1949 12 MILE ROAD.
ELEV. - 676.24

PARCEL 25-17-126-002
T1N, R11E, SEC 17 STEPHENSON-BARBERS ROSELAND SUB LOTS 44
TO 55 INCL, ALSO ALL OF VAC ALLEY ADJ TO SAME 1-5-01 CORR












PARCEL 25-17-126-003
T1N, R11E, SEC 17 STEPHENSON-BARBERS ROSELAND SUB LOTS 32
TO 43 INCL, ALSO ALL OF VAC ALLEY ADJ TO SAME 1-5-01 CORR









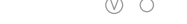



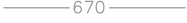






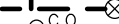














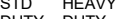






TWELVE MILE ROAD
(66' PUBLIC)

NORTH LINE OF SECTION 17

NOTE:
ALL WORK WITHIN THE 12 MILE ROAD
RIGHT-OF-WAY IS UNDER THE JURISDICTION
OF THE OAKLAND COUNTY ROAD
COMMISSION AND REQUIRES A PERMIT.

CAUTION!!

 IRON FOUND  RON SET  NAIL FOUND  NAIL & CAP SET	 BRASS PLUG FOUND  MONUMENT FOUND  MONUMENT SET	 SEC. CORNER FOUND  R RECORDED  M MEASURED  C CALCULATED
---	--	---

<p><u>EXISTING</u></p>  OVERHEAD ELECTRIC, POWER POLE, GUY AND/OR FIBER OPTIC  TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE  ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE  GAS MAIN, VALVE & GAS LINE MARKER  WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE  SANITARY SEWER, CLEANOUT & MANHOLE  STORM SEWER, CLEANOUT & MANHOLE  SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN  POST INDICATOR VALVE  MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE  UNIDENTIFIED STRUCTURE  SPOT ELEVATION  CONTOUR LINE  FENCE  GUARD RAIL  STREET LIGHT  SIGN  CONCRETE  ASPHALT	<p><u>PROPOSED</u></p>  OVERHEAD ELECTRIC, POWER POLE, GUY AND/OR FIBER OPTIC  TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE  ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE  GAS MAIN, VALVE & GAS LINE MARKER  WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE  SANITARY SEWER, CLEANOUT & MANHOLE  STORM SEWER, CLEANOUT & MANHOLE  SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN  POST INDICATOR VALVE  MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE  UNIDENTIFIED STRUCTURE  SPOT ELEVATION  CONTOUR LINE  FENCE  GUARD RAIL  STREET LIGHT  SIGN  CONCRETE  ASPHALT  PERVIOUS PAVERS  ROADWAY  WALKWAY
---	--

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GROUP

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5 10 2

SCALE: 1" = 10'

811. Know what's below. Call before you dig.

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT

**STUCKY VITALE
ARCHITECTS**
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067

PROJECT TITLE

**LUME
DEVELOPMENT**
1949 12 MILE ROAD
BERKLEY, MICHIGAN



REVISIONS

ORIGINAL ISSUE DATE:

DRAWING TITLE

PRELIMINARY GRADING PLAN

PEA JOB NO 2020-0224

PM SAF

DN	SAR
----	-----

BN.	SAT
BFC	SAT

DES.

NOT FOR CONSTRUCTION

C-3.0

\\projects\2020\2020-0224 JOB LUME - BERKLEY\DWG\SITE PLANS\C-3.0) GRADE-20-0224.DWG

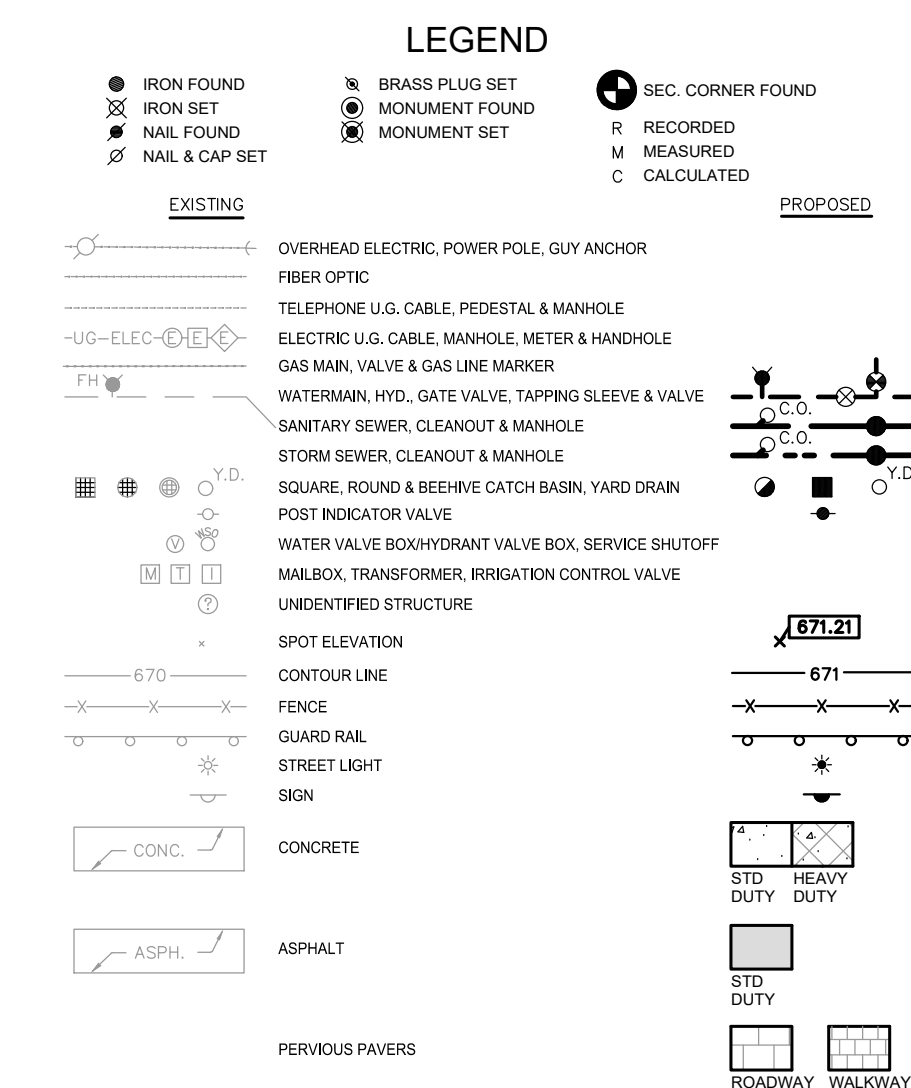
(GPS DERIVED - NAVD88)

BM #301
RR SPIKE IN THE SOUTH SIDE OF A POWER POLE LOCATED ON THE
NORTH SIDE OF 12 MILE ROAD, APPROX. 175'± SOUTHWEST FROM
THE CORNER OF THE MAUSOLEUM.
ELEV. - 673.39

BM #302
FOUND MAG NAIL IN THE NORTH SIDE OF A POWER POLE LOCATED
APPROX. 30'± SOUTHEAST FROM THE SOUTHWEST BUILDING
CORNER, AND APPROX. 50'± SOUTHWEST FROM THE SOUTHEAST
BUILDING CORNER OF 1949 12 MILE ROAD.
ELEV. - 676.24

PARCEL 25-17-126-002
T1N, R11E, SEC 17 STEPHENSON-BARBERS ROSELAND SUB LOTS 44
TO 55 INCL, ALSO ALL OF VAC ALLEY ADJ TO SAME 1-5-01 CORR

PARCEL 25-17-126-003
T1N, R11E, SEC 17 STEPHENSON-BARBERS ROSELAND SUB LOTS 32
TO 43 INCL, ALSO ALL OF VAC ALLEY ADJ TO SAME 1-5-01 CORR



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5 10 2

SCALE: 1" = 10'



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ARCHITECTS**
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067

**LUME
DEVELOPMENT**
1949 12 MILE ROAD
BERKLEY, MICHIGAN

[illegible]

ORIGINAL ISSUE DATE:
JUNE 24, 2021

DRAWING TITLE

**PRELIMINARY
UTILITY PLAN**

P.M.	SAR
DN.	SAR
DES.	SAR

DRAWING NUMBER

NOT FOR CONSTRUCTION

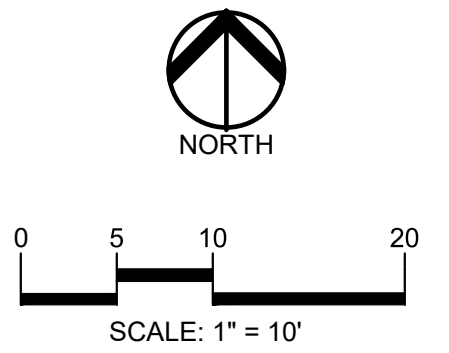
C-4.0

TWELVE MILE ROAD
(66' PUBLIC)

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Coefficient of Runoff (Cr):	0.81
(Represents Future Developed Conditions)	

$Q_o = ((Q_a)/(A)(Cr):$	0.23	cfs/acre impervious
$T = -25 + ((10312.5/Q_o))^{0.5}:$	186.75	minutes
$V_s = (16500(T)/(T+25)) - 40Q_o(T):$	12,834	cf/acre impervious
$V_t = (V_s)(A)(Cr):$	2,195	cft

WEST PARKING LOT STORM WATER SUMMARY

PRE-TREATMENT IN THIS PARKING LOT WILL BE PROVIDED BY INFILTRATION AND UNDERDRAIN PIPING THROUGH PERVIOUS PAVERS AS ALLOWED BY OAKLAND COUNTY. INSERTA-TEE CONNECTIONS TO THE STORMTECH SYSTEM AND STORMTECH ISOLATOR ROWS WILL PROVIDE SEDIMENT CAPTURE.

THREE RAIN GARDENS WILL PROVIDE WATER QUALITY IN THE OPEN SPACE AREAS. EXISTING ON-SITE PAVEMENTS (OUTSIDE THE PROJECT LIMITS) ARE NOT TRIBUTARY TO THE PROPOSED STORM WATER MANAGEMENT SYSTEM.

THE EXISTING OUTLET CONTROL STRUCTURE SHALL REMAIN AND WILL RETROFITTED TO DISCHARGE THE STORMTECH SYSTEM AT A RATE NOT TO EXCEED 0.2 CFS/ACRE PRIOR TO DISCHARGING INTO THE CITY COMBINED SEWER.

CLIENT

**STUCKY VITALE
ARCHITECTS**

27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067

PROJECT TITLE
**LUME
DEVELOPMENT**
1949 12 MILE ROAD
BERKLEY, MICHIGAN



REVISIONS

ORIGINAL ISSUE DATE:
JUNE 24, 2021

DRAWING TITLE
STORM WATER
MANAGEMENT
PLAN (EAST)

PEA JOB NO.	2020-0224
P.M.	SAP
DN.	SAP
DES.	SAP

DRAWING NUMBER:

NOT FOR CONSTRUCTION

C-5.2

LANDSCAPE CALCULATIONS:

PER CITY OF BERKLEY ZONING ORDINANCE

GREENBELT @ 12 MILE RD.

REQUIRED: 1 TREE ALONG GREENBELT

PROVIDED: 1 DEC. TREE

TREE REPLACEMENT

REQUIRED: 8-11" DBH REPLACEMENT AT 1:1 REMOVING 1, 8" TREE

PROVIDED: 1, 2.5" CAL DEC TREE

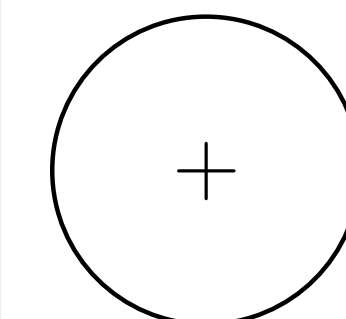
RAIN GARDENS

PROVIDED: SHRUBS AND PERENNIALS TO BE DETAILED IN CONSTRUCTION

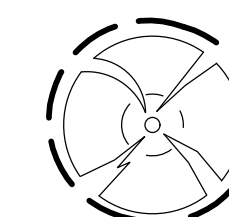
GENERAL SITE TREES

PROVIDED: 5 DEC. TREES

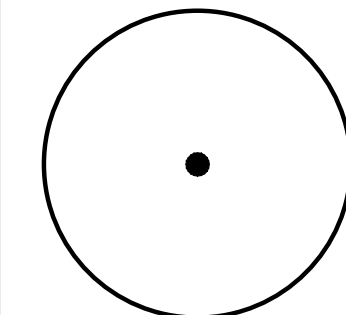
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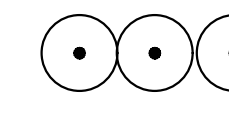
= GREENBELT TREE



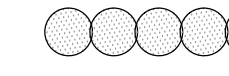
= EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCE



= REPLACEMENT TREE



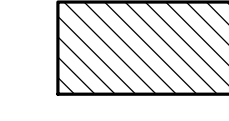
= SHRUBS



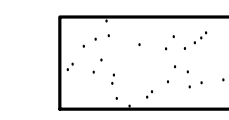
= ORNAMENTAL GRASS



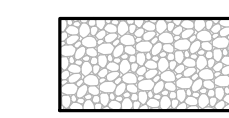
= PERENNIALS



= RAIN GARDEN PLANTINGS TO BE DETAILED DURING CONSTRUCTION DRAWINGS



= IRRIGATED SOD LAWN



= ROCK MAINTENANCE EDGE SEE DETAIL SHEET L-1.2

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ARCHITECTS
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ROYAL OAK, MICHIGAN 48067

PROJECT TITLE

LUME
DEVELOPMENT
1949 12 MILE ROAD
BERKLEY, MICHIGAN



REVISIONS

ORIGINAL ISSUE DATE:
JUNE 24, 2021

DRAWING TITLE

OVERALL SITE
AMENITIES
PLAN

PEA JOB NO. 2020-0224

P.M. SAP

DN. CR

DES. JE

DRAWING NUMBER:

L-1.0

NOT FOR CONSTRUCTION

TWELVE MILE ROAD
(66' PUBLIC)

2. RAIN BARRELS/CISTERN,
SEE DETAIL SHEET L-1.2

BACKLESS BENCH SEATING AREA,
SEE BENCH DETAIL SH. L-1.2

PROPOSED PUBLIC ART SCULPTURE,
REFER TO ARCH. PLANS.

BACKED BENCH SEATING AREA,
SEE BENCH DETAIL SHEET L-1.2

PEDESTRIAN PEROUS
PAVERS, SEE DETAIL
SHEET L-1.2 TYP.

EX. 10'± WIDE
CONCRETE SIDEWALK

4 RAISED PLANTERS,
SEE DETAIL SHEET L-1.2

EX. ROW

ELEVATOR
&
VESTIBULE

1.5' MIN. WIDE ROCK
MAINTENANCE STRIP, TYP.
SEE DETAIL SHEET L-1.2

BY ARCH: 3 STEEL
CABLE TRELLIS W/
CLIMBING VINE

BUILDING ACCENT PANELS,
REFER TO ARCH. PLANS.

BY ARCH: 4 STEEL
CABLE TRELLIS W/
CLIMBING VINE

BY ARCH: 7 STEEL
CABLE TRELLIS W/
CLIMBING VINE

NO PLANTINGS TO
BLOCK FIRE DEPT.
CONNECTION.

FOR PLANTINGS TYPE AND QTY,
SEE SHEET L-1.1 TYP.

2' MIN. WIDE ROCK
MAINTENANCE STRIP, TYP.
SEE DETAIL SHEET L-1.2

VEHICULAR PEROUS
PAVERS, TYP. SEE
DETAIL SHEET L-1.2

EX. DOOR

EX. SITE
LIGHTING, TYP.

EX. OVERHANG

EX. DOOR

PEDESTRIAN PEROUS PAVERS,
TYP. SEE DETAIL SHEET L-1.2

BACKED BENCH SEATING AREA, TYP.
SEE BENCH DETAIL SHEET L-1.2

2. RAIN BARRELS/CISTERN,
SEE DETAIL SHEET L-1.2

STAIR ADDITION

RAIN GARDEN B

RAIN GARDEN C

RAIN GARDEN TO BE DETAILED
IN CONSTRUCTION DWGS, TYP.

1949 12 MILE ROAD

EXISTING 2-STORY
BUILDING

WATER VALVE

VEHICULAR PEROUS
PAVERS, TYP. SEE
DETAIL SHEET L-1.2

6, 4' X 8' PUBLIC
ART PANELS BY
OTHER (ARCH)

CONCRETE SIDEWALK

EX. TRANSFORMER

EXISTING FIRE HYDRANT

EX. TRASH ENCLOSURE

WOOD CHIPS
(TYP.)

EX. SITE
LIGHTING, TYP.

EXISTING TREE
TO REMAIN TYP.

PROVIDE TREE PROTECTION
FENCE AROUND EXISTING
TREES TO REMAIN, TYP.

PEDESTRIAN
PEROUS PAVERS
SEE DETAIL SHEET
L-1.2

BICYCLE PARKING,
SEE BIKE RACK
DETAIL SHEET L-1.2

12" RCP
ST

CONCRETE TRASH
ENCLOSURE

12" RCP
ST

6" SAN
SEWER (REF)

ASPHALT

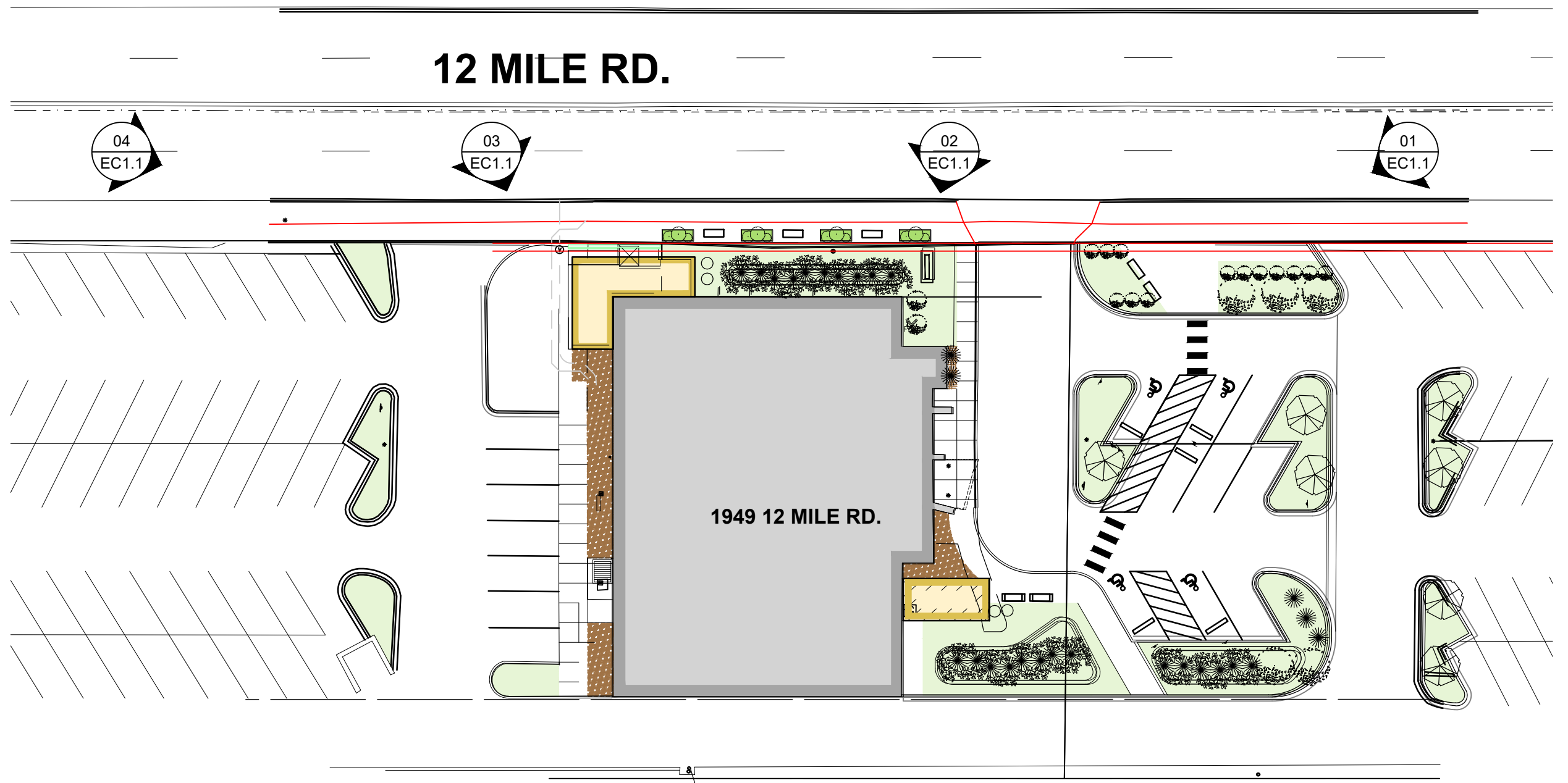
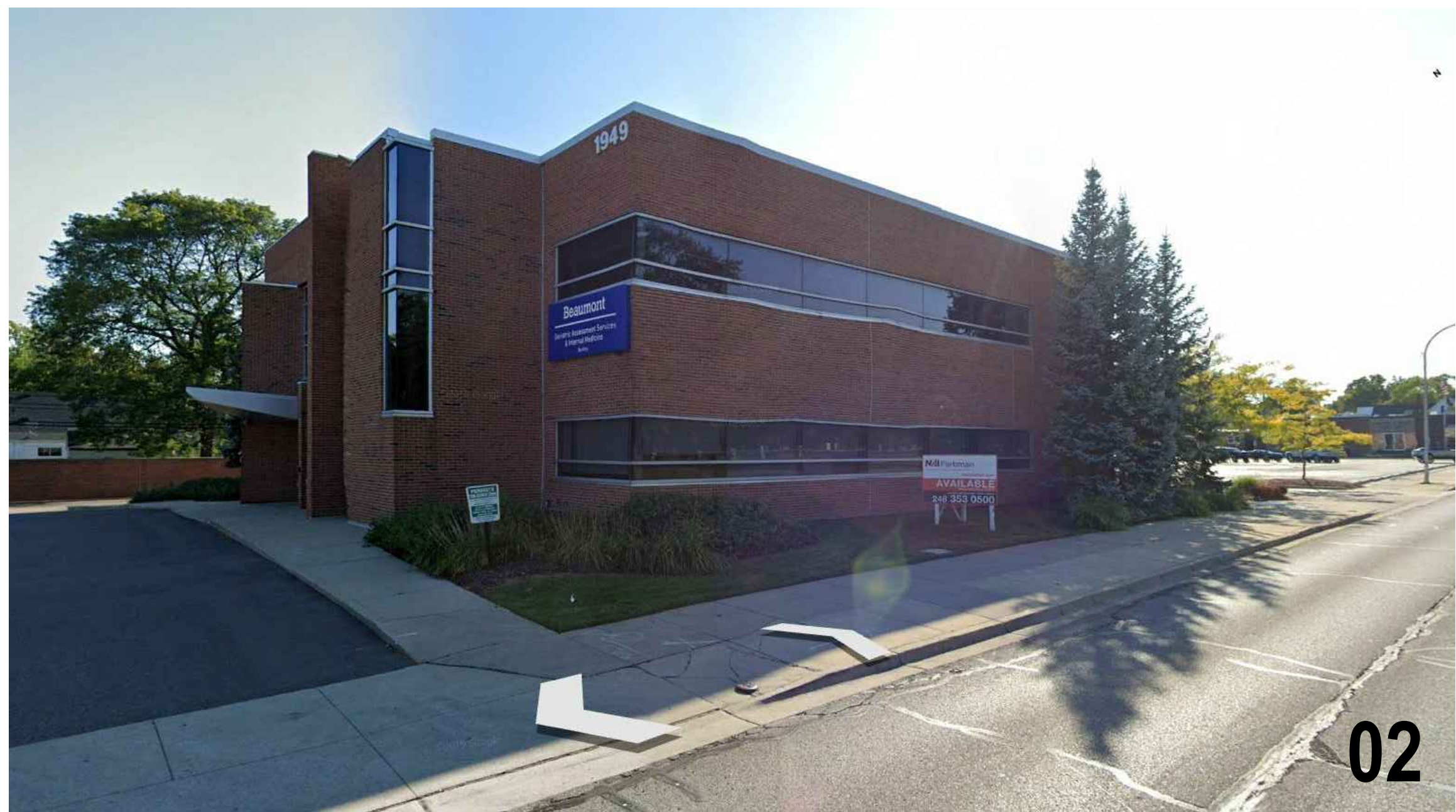
CONCRETE SIDEWALK

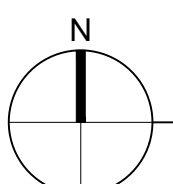
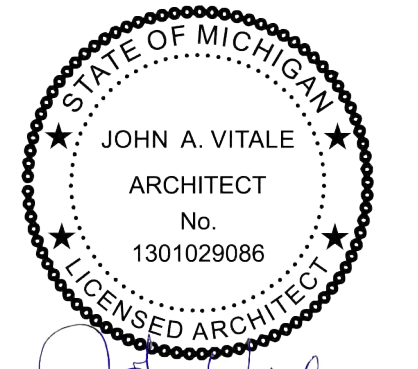
UG-COMM (123.NET-REF)

2' --- 6" PVC ST ---

6" CLAY
ST

6" SAN
SEWER




KEY PLAN
 SCALE: NOT TO SCALE




2020.154

LUME - BERKLEY - PROVISIONING CENTER
 1949 12 MILE ROAD,
 BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

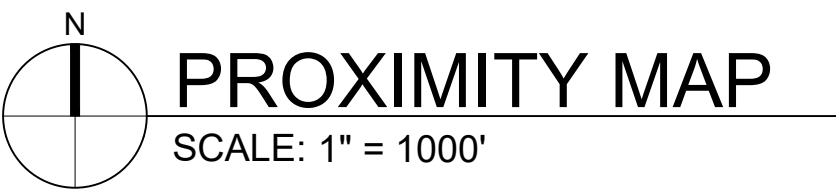
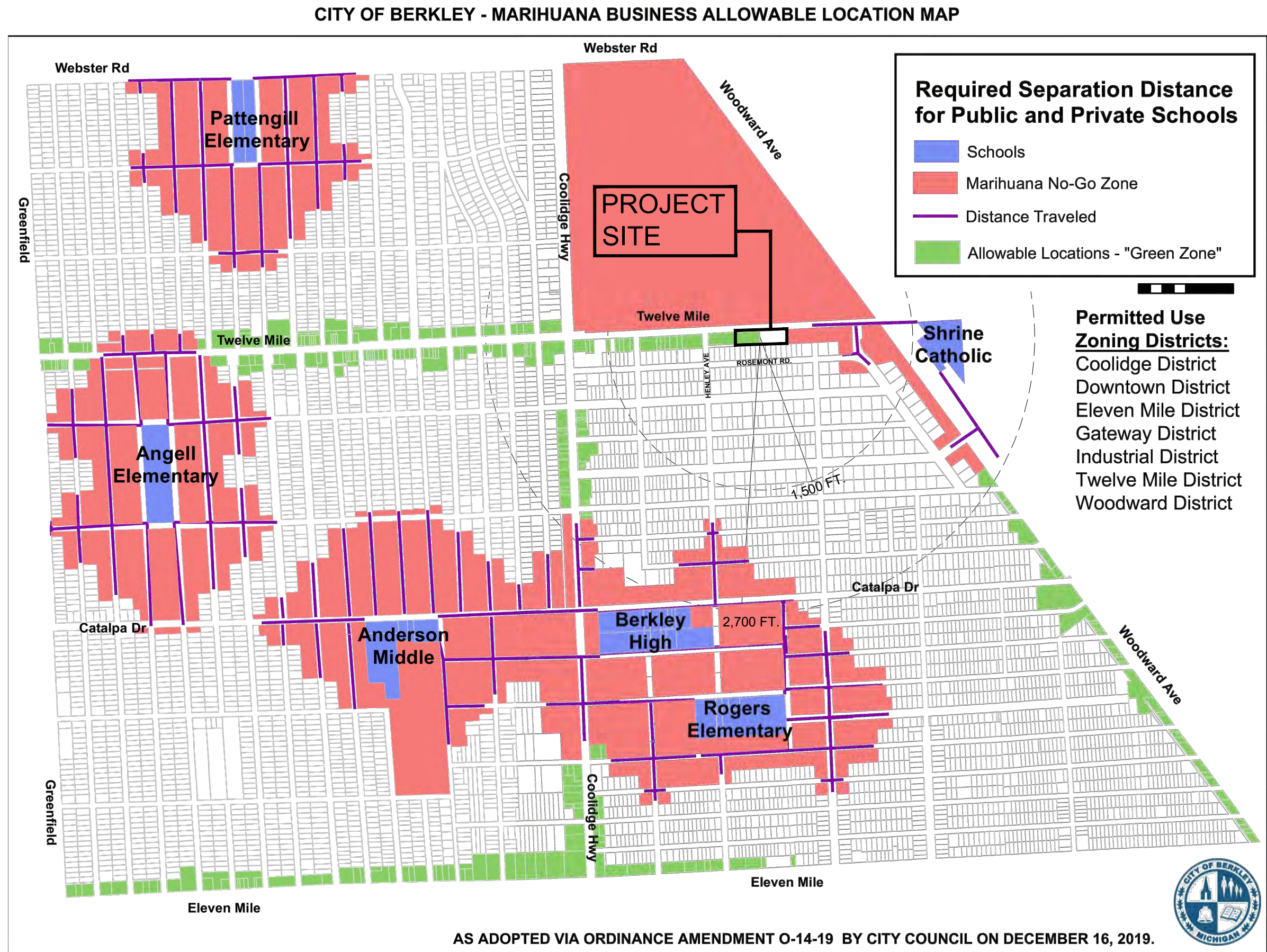
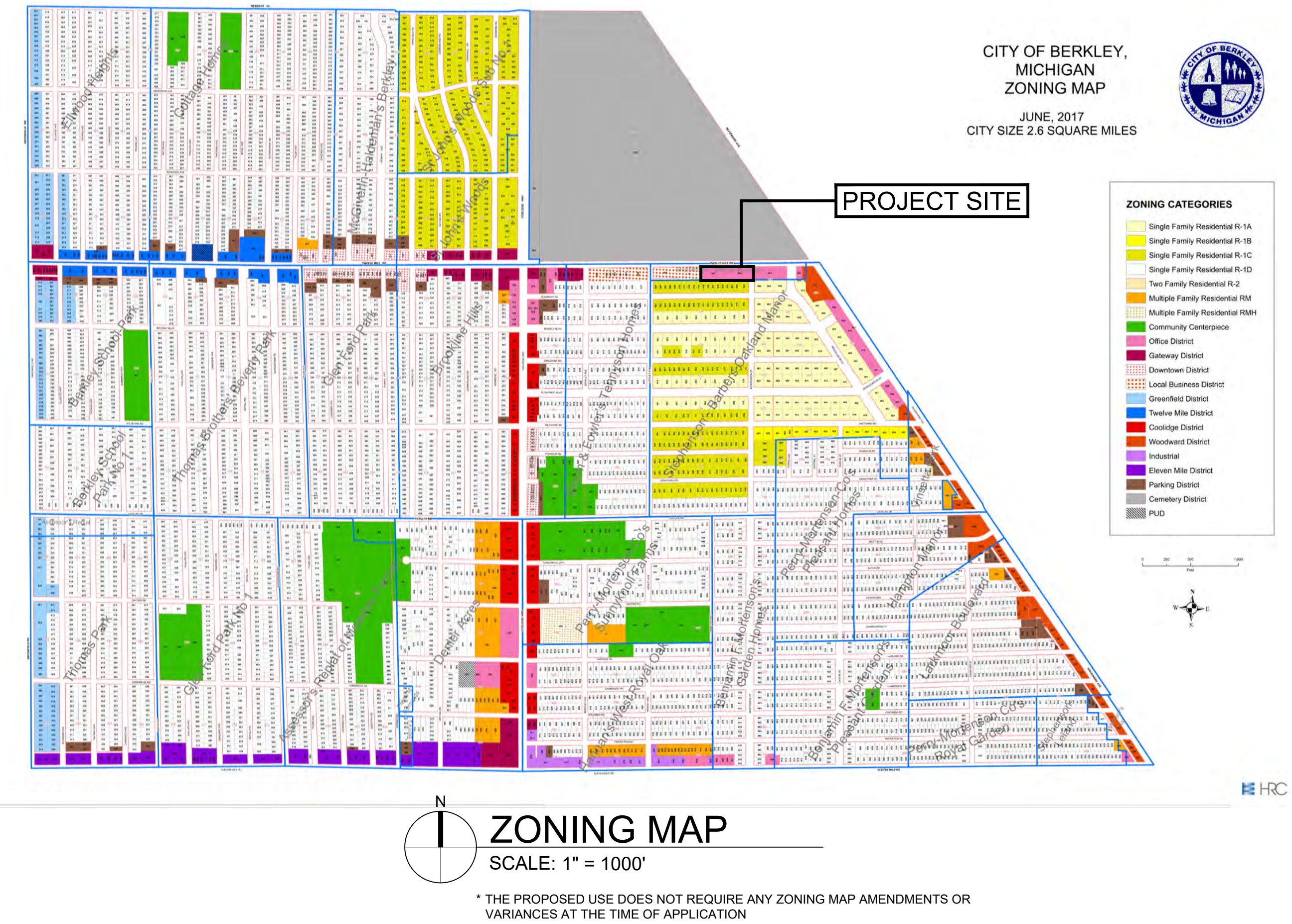
SPECIAL LAND USE/ SITE PLAN APPROVAL

JULY 14, 2021

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LUME - BERKLEY - PROVISIONING CENTER

SHEET:
EC1.1



CITY OF BERKLEY
MARIHUANA BUSINESS LICENSE APPLICATION
EVALUATION MERIT POINT SYSTEM

Key Terms Defined:

Common Control:
For purposes of these criteria, *under common control* means having the power to direct or cause the direction of management, operations, and policies of a person, organization, or entity, whether by stock ownership, voting rights, contract, or otherwise.

Managing Stakeholder:
For purposes of these criteria, *Managing stakeholder* refers to any stakeholder or employee involved in managing the business or making management decisions.

Redevelopment:
For purposes of these criteria, *redevelopment* means any proposed expansion, addition, or major facade change to an existing building, structure, or parking facility. Site redevelopment includes equal or greater stormwater control than the previous development.

Scientifically backed:
As included in point value 12, scientifically backed shall refer to stormwater management systems that are supported and "green infrastructure" by the U.S. Environment Protection Agency.

Stakeholder:
As outlined within the Licensing ordinance (Chapter 30 Article XV), *stakeholder* means, with respect to a trust, the trustee and beneficiaries; with respect to a limited liability company, all members and managers; with respect to a corporation, whether profit or non-profit, all stockholders, directors, corporate officers or persons with equivalent titles; and with respect to a partnership or limited liability partnership, all partners and investors.

Requirements*	Pass/Fail
Application submitted has all required materials	P/F
Subject Parcel falls outside of designated proximity to a school	P/F
Cannabis business complies with Existing Zoning	P/F
Off-street parking requirements for retail use has been met, per Section 138-219 of the Zoning Ordinance.	P/F
Odor control system preventing dispersion in neighborhood	P/F
All disclosed stakeholders are clear of recorded detrimental acts to public good	P/F
*These items must all be satisfied to be considered for the point evaluation.	

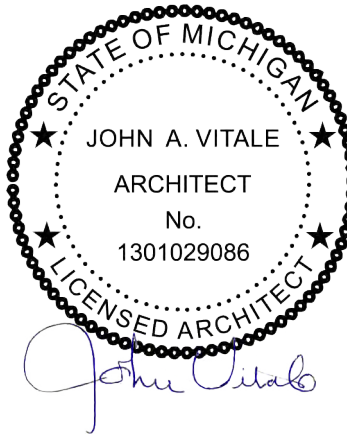
Adopted by City Council Resolution R-01-20 on February 3, 2020

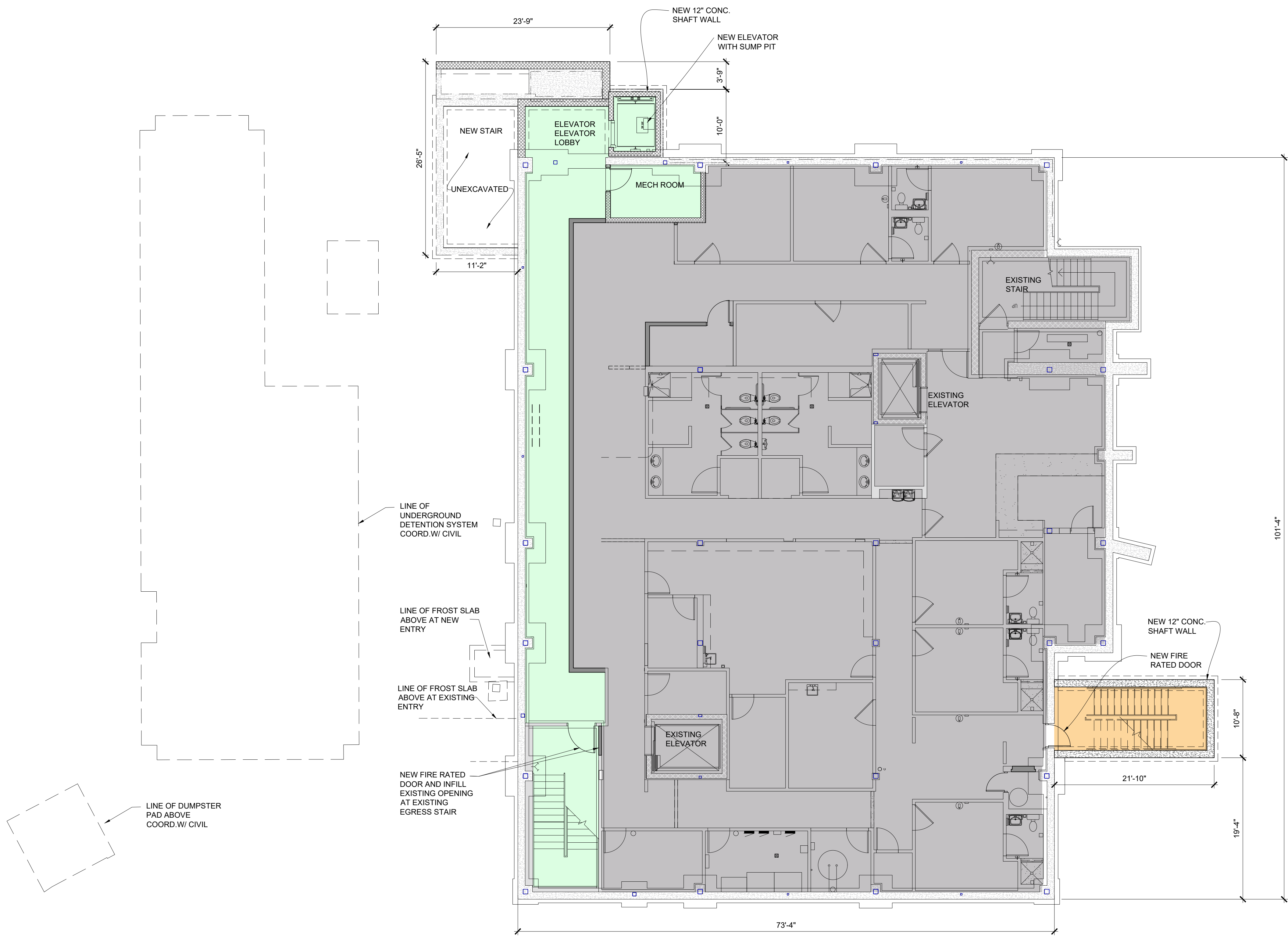
Merit Based Criteria	Point Value**
Applicant can demonstrate the ability to successfully operate a marihuana business by means of: -Has a supply with a State licensed cultivation facility. (Sub score: 16) -At least one Managing Stakeholder demonstrates at least 1 year of experience operating a licensed marihuana business (caregiver, provisioning, grower, etc.) in Michigan. (sub score: 5) -At least one Managing Stakeholder demonstrates at least 1 year of experience operating a licensed marihuana business (caregiver, provisioning, grower, etc.) in other legal jurisdictions. (sub score: 5)	26 (Total dependent on satisfaction of sub scoring)
Application Proposes the Redevelopment of Vacant or Underused building or property. (Defined as a structure or property that has been at least 50% vacant for a period of 4 months or longer)	25
Proposed redevelopment is comprised of a multi-tenant building or buildings, on the same or contiguous parcels. Separate tenant spaces within a single building must have separate means of public ingress/egress from the exterior or from a common lobby area.	24
All Managing Stakeholders can demonstrate a history of lawfully operating a business compliant with applicable federal, state, and local regulations.	23
Proposed development does not displace existing operational business in Berkley	22
The marihuana business and property are under common ownership or control	21
Proposed development demonstrates and provides physical improvements to the area around the property or other areas contiguous to the property: -Trees; noninvasive species (Sub score: 5) -Public art; e.g. murals, sculptures, installations as approved by appropriate body (Sub score: 5) -Green Space (Sub score: 5) -Public areas such as alleyways, parking areas, sidewalks, plazas, etc. (Sub score: 5)	20 (Total dependent on satisfaction of sub scoring)
Proposed Site is located in the following areas, as permitted by the Zoning Ordinance: Eleven Mile Road, Woodward Ave, Twelve Mile Road (Coolidge to Woodward)	19
Proposed redevelopment is projected to add 15 or more new jobs (includes cannabis and non-cannabis uses) The majority of the jobs must be full time.	18
At least one Stakeholder is either a current property owner in Berkley or is a current majority owner or stakeholder of an existing Berkley Business. (Purchase agreements or similar mechanisms do not count towards the majority ownership criteria.)	17
Proposed marihuana business property does not immediately abut or share a common boundary line with one-family residential zoned property. (For purposes of this criterion, parcels of property that are separated by a public or private street or alley are not considered to abut or to share a common boundary).	16
Application has disclosed 100% of owners and stakeholders, including those with less than 10% stake.	15
Proposed development eliminates or brings into compliance an existing nonconforming use or structure	14
Sustainable building materials and energy efficient elements will be used during construction and/or renovation of the structure.	13
Proposed development incorporates Green Infrastructure into Stormwater management plan: -PerVIOUS Parking; e.g. pervious concrete or pavement, pavers, infiltration systems, etc. (Sub score: 4) -Green Roof (Sub score: 4) -Rain Garden, Bioswales, or Stormwater Planters (Sub score: 2) -Other scientifically backed stormwater infrastructure systems (Sub score: 2)	12 (Total dependent on satisfaction of sub scoring)
Application demonstrates benefits to the community other than an increase in taxable value	11
Proposed development adds streetscape elements to the publicly owned right-of-way, including but not limited to benches, bike racks, planters, etc.	10
The proposed uses do not require any zoning map amendments or variances at the time of application.	9

**For each criterion met by the applicant, the applicant shall receive the entire assigned point value or associated sub scores.

Maximum Points Available: 315 [70% Requirement: 221]

SPECIAL LAND USE/ SITE PLAN APPROVAL

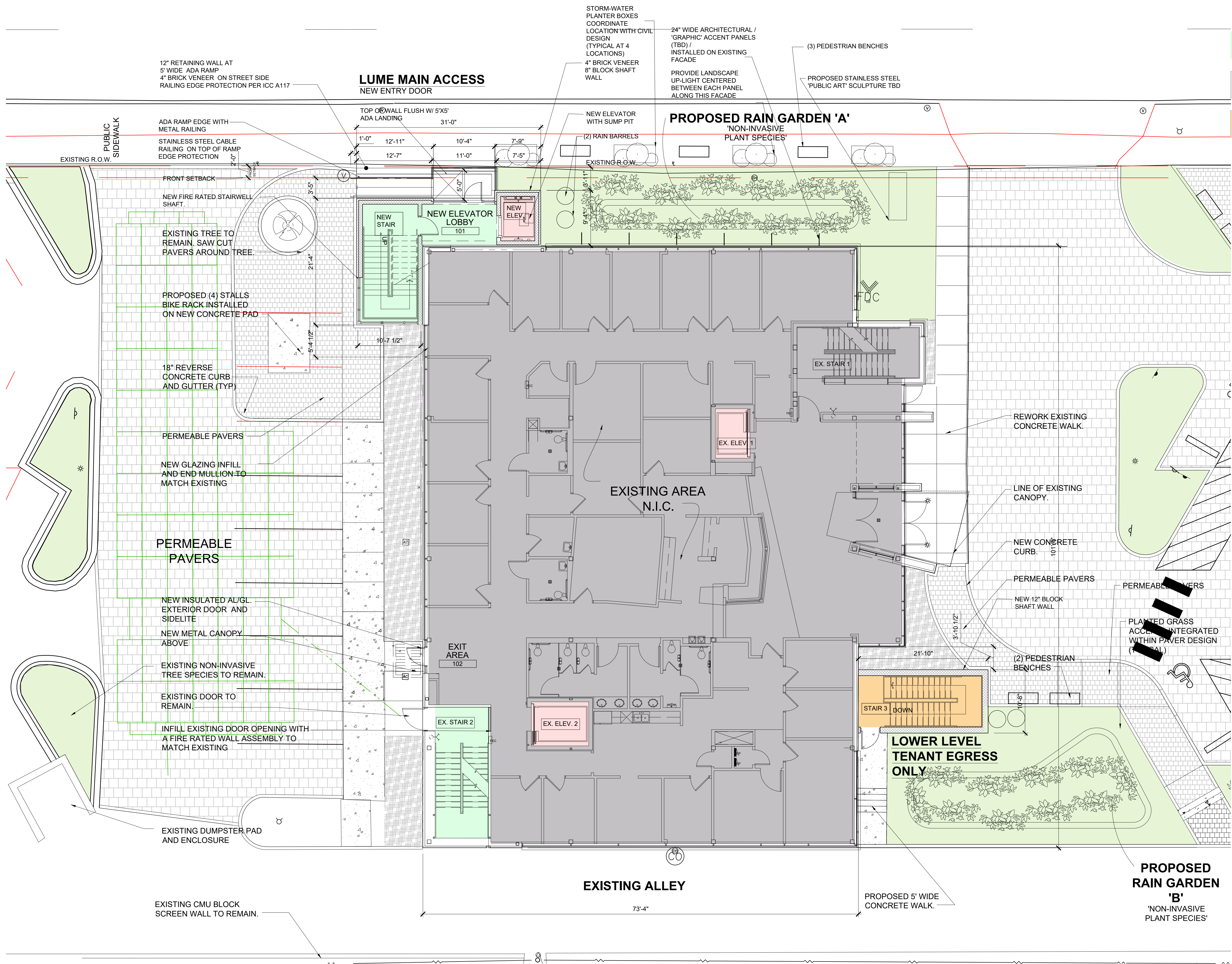




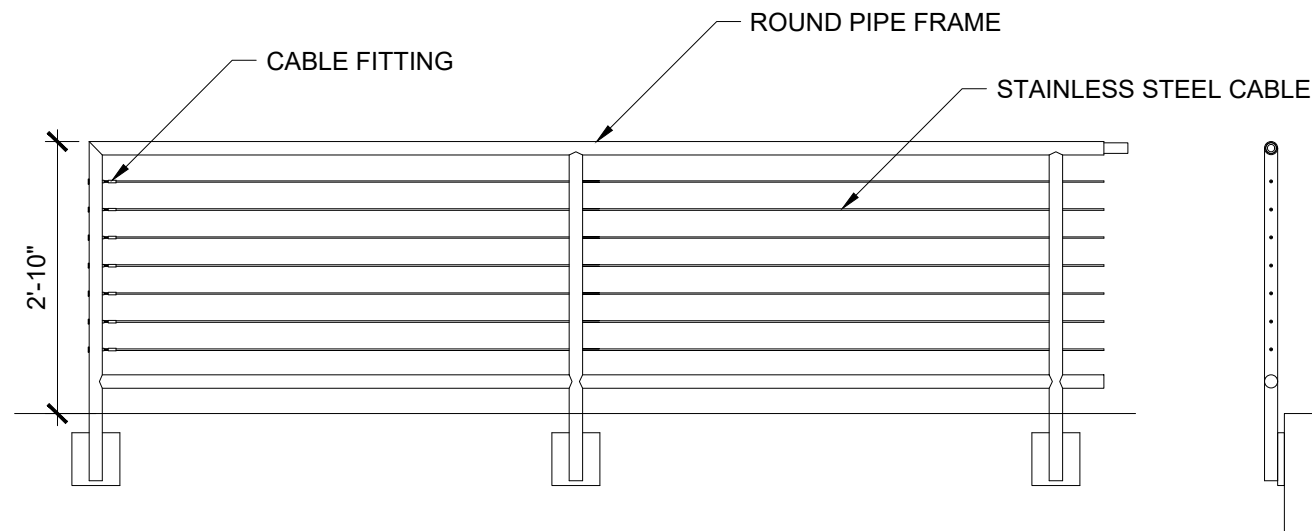
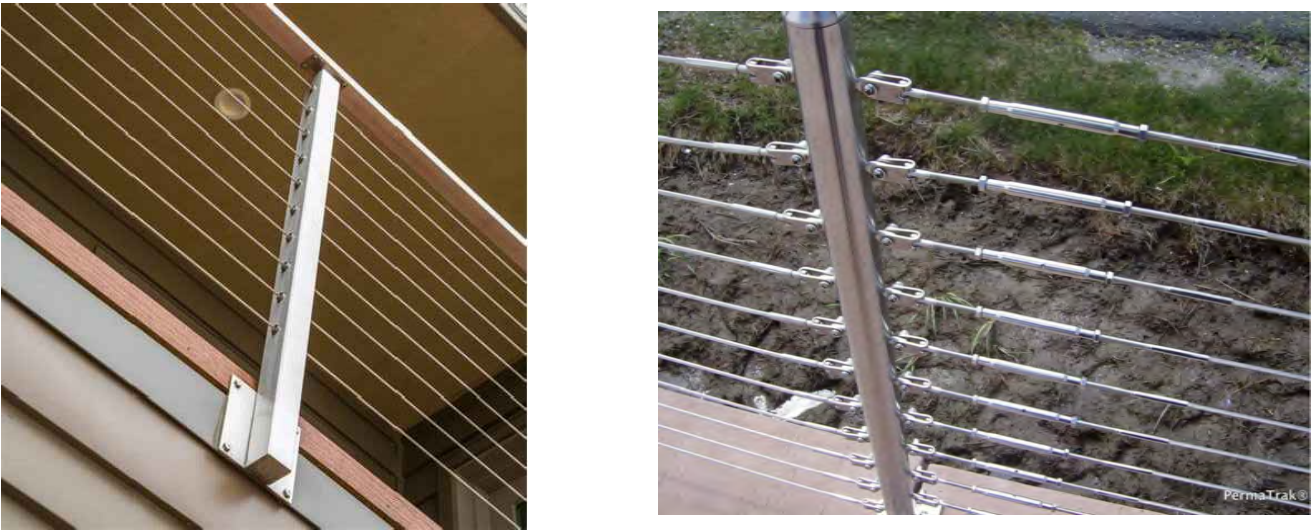
	LUME TENANT SPACE	1,075 SF
	VACANT TENANT SPACE :	6,506 SF
	INTERIOR RECONFIGURATION AREA (INCLUDED IN VACANT AREA)	475 SF
	ACCESS STAIR ADDITION	181 SF
	TOTAL GROSS AREA	8,237 SF

LOWER LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"





LUME TENANT SPACE	581 SF
BEAUMONT HEALTH :	7,357 SF
LOWER LEVEL TENANT ACCESS:	181 SF
TOTAL GROSS FLOOR AREA	8,119 SF



STAINLESS STEEL CABLE RAILING FASCIA
MOUNT TO NEW ADA RAMP
TREX/ COMMERCIAL - CASINO CABLE
RAILING

FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

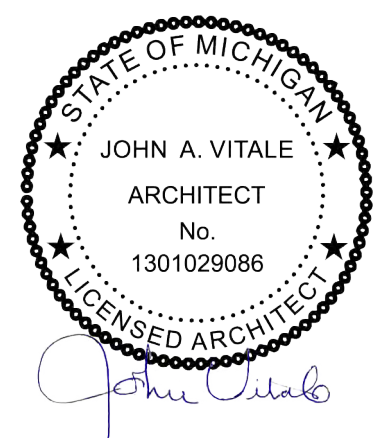


2020.154
LUME - BERKLEY - PROVISIONING CENTER
1949 12 MILE ROAD,
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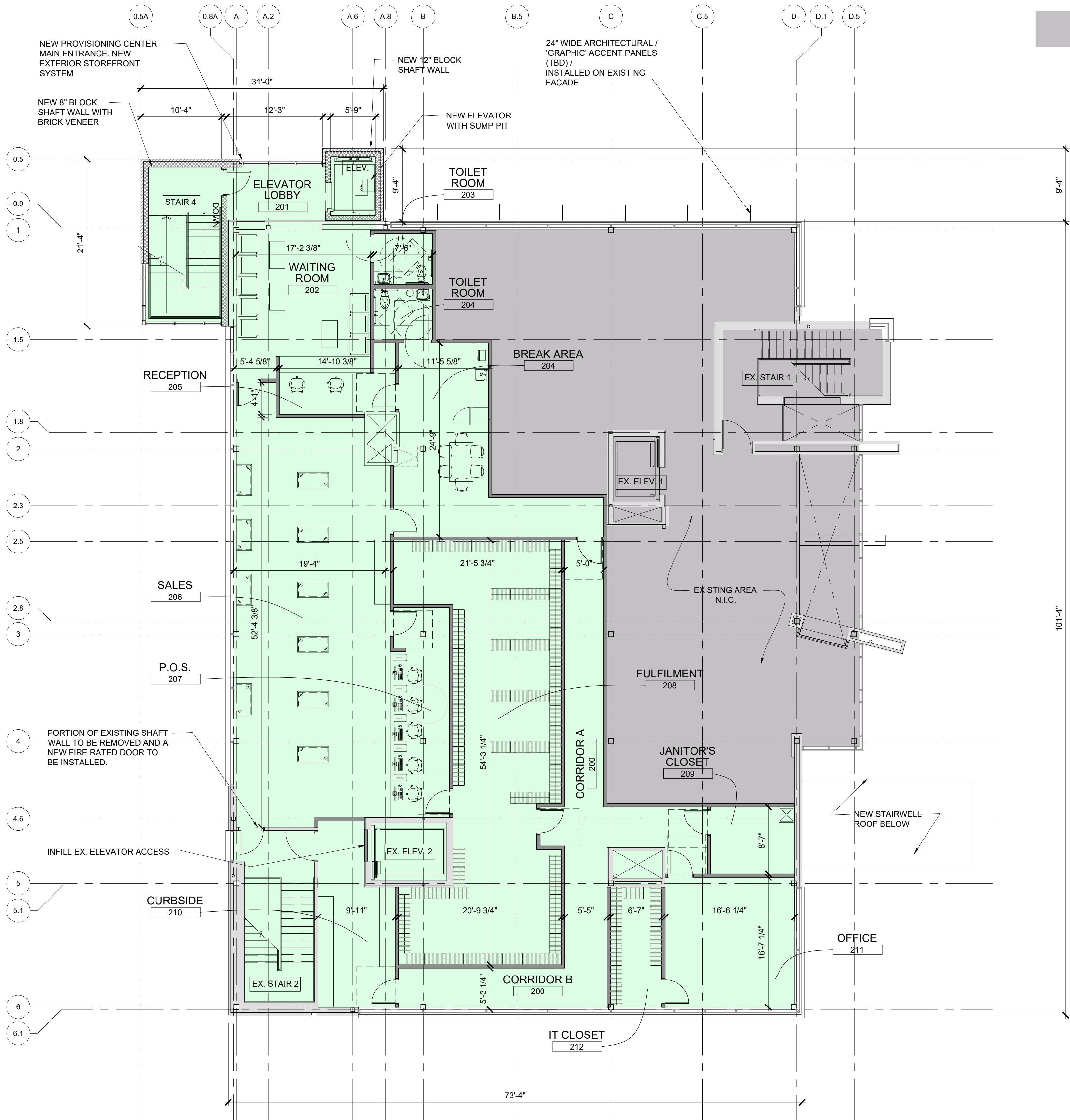
CONCEPTUAL DESIGN PACKAGE

SPECIAL LAND USE/ SITE PLAN APPROVAL

JULY 14, 2021

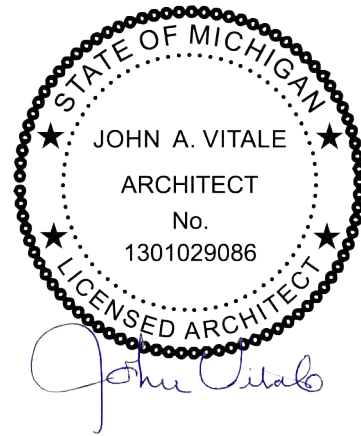


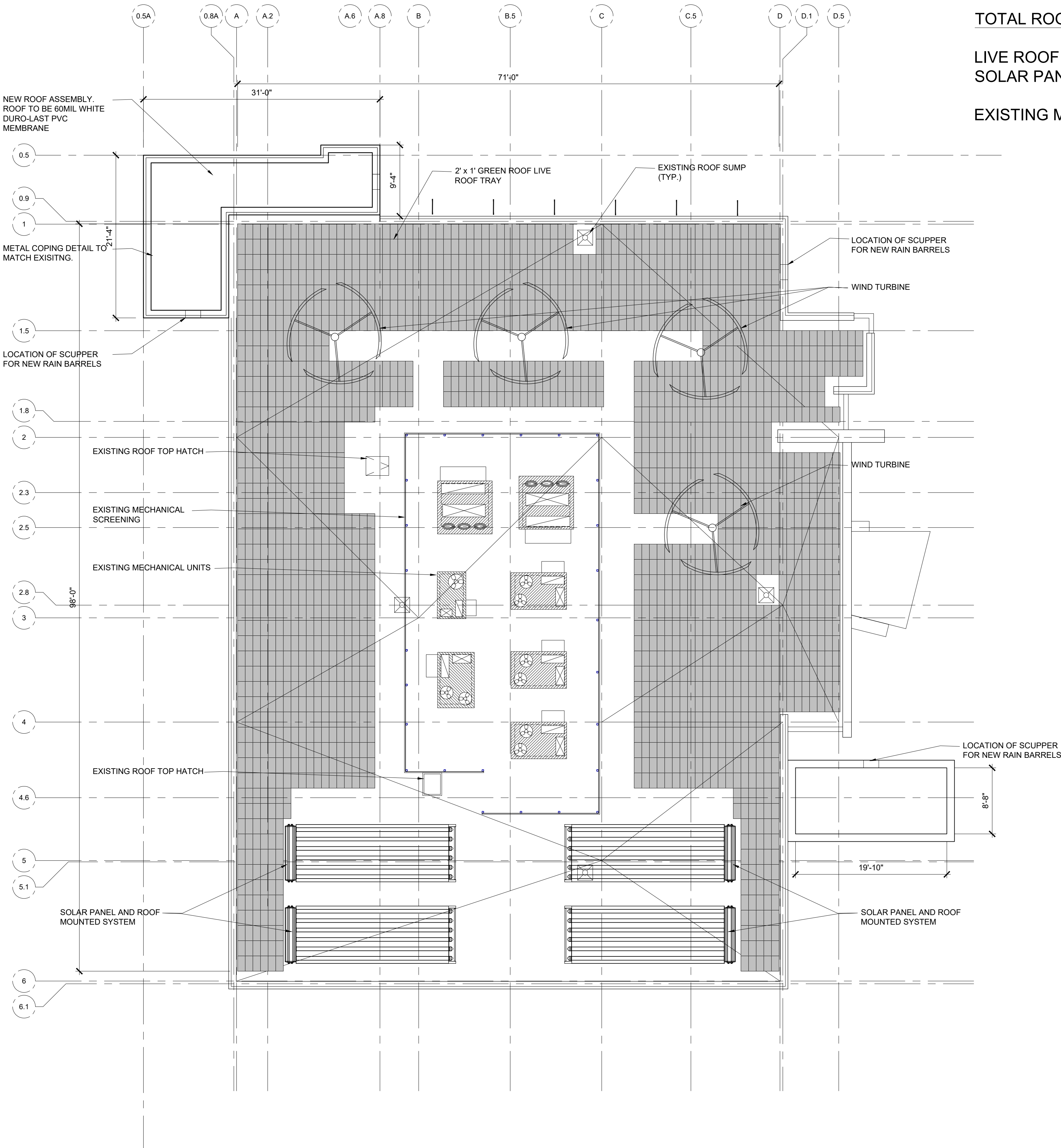
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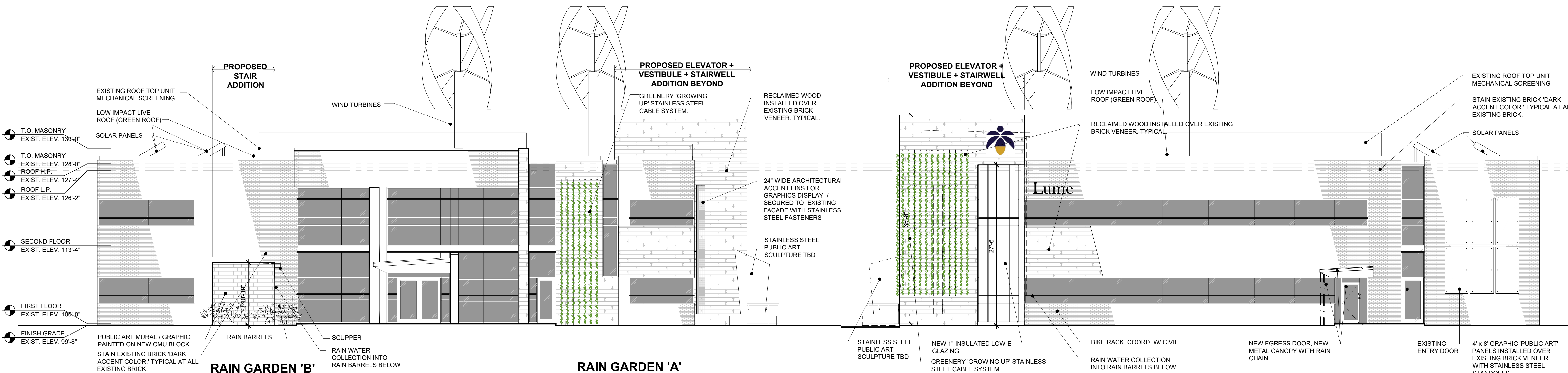
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

LUME TENANT SPACE 5,108 SF
VACANT SPACE : 2,977 SF
TOTAL GROSS FLOOR AREA 8,085 SF





TOTAL ROOF AREA : 8,607 SF
LIVE ROOF AREA : 3, 864 SF
SOLAR PANEL INSTALLATION: 4 PANELS @ 170 SF = 680 SF
EXISTING MECHANICAL ENCLOSURE: 1,236 SF

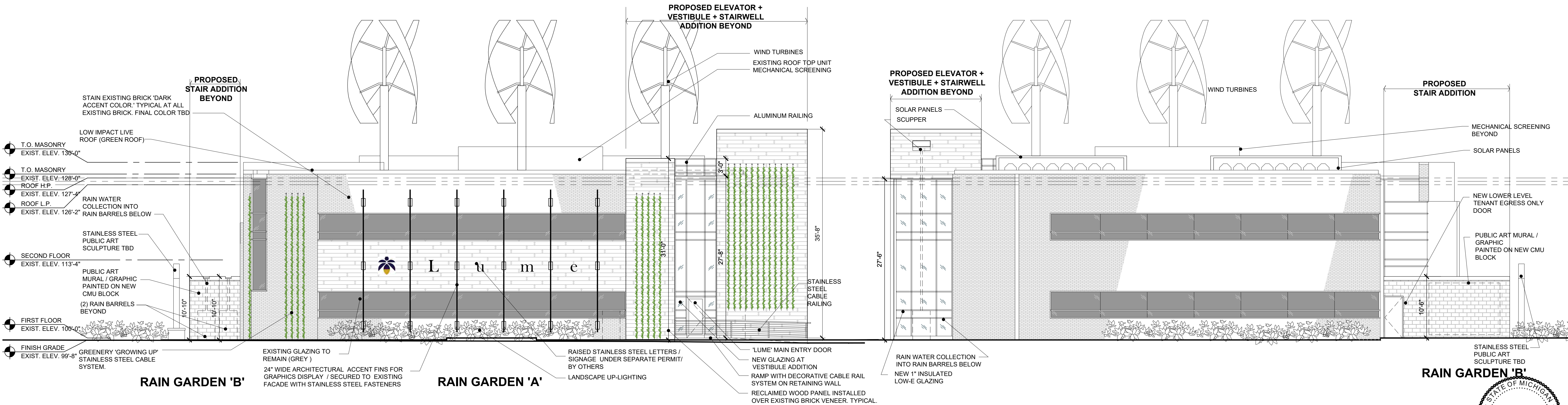


EAST ELEVATION

SCALE: 1/8" = 1'-0"

WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION (12 MILE ROAD)

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

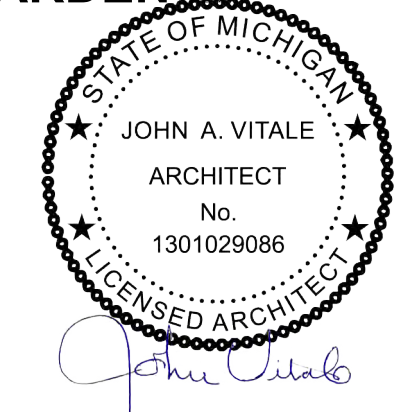


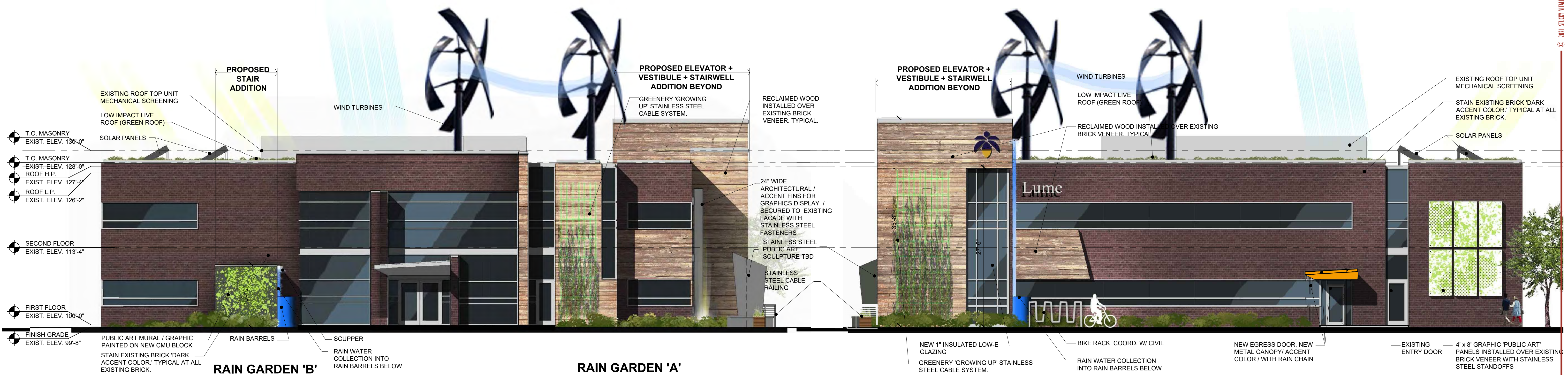
2020.154

LUME - BERKLEY - PROVISIONING CENTER
1949 12 MILE ROAD,
BERKLEY, MI

SPECIAL LAND USE/ SITE PLAN APPROVAL

JULY 14, 2021



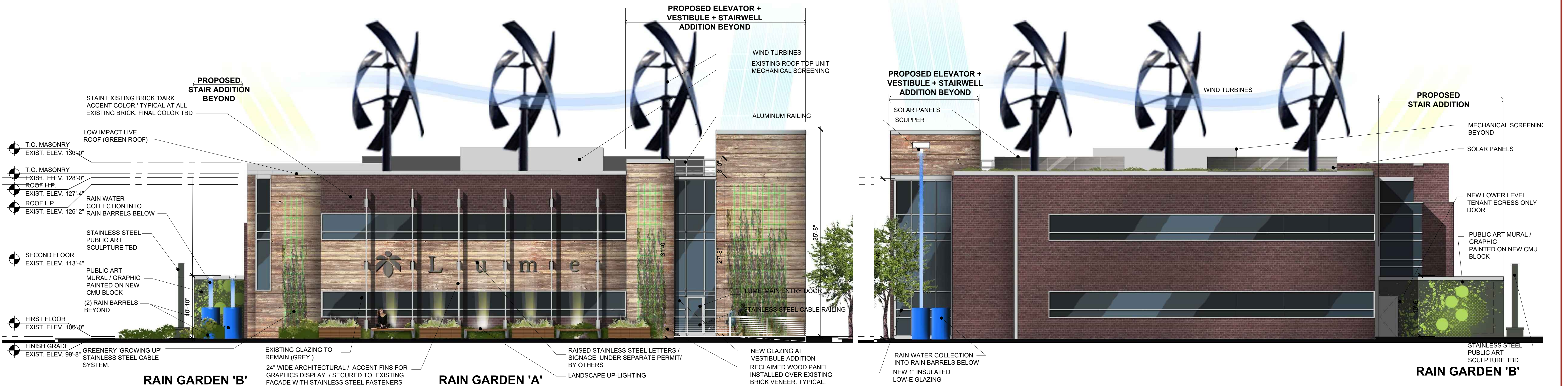


EAST ELEVATION

SCALE: 1/8" = 1'-0"

WEST ELEVATION

SCALE: 1/8" = 1'-0"

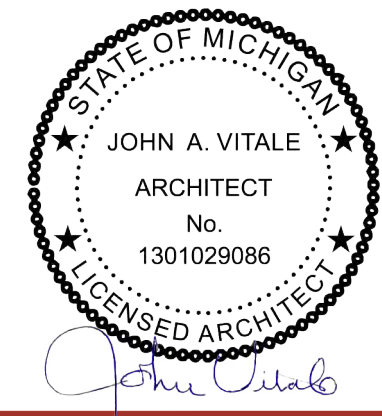


NORTH ELEVATION (12 MILE ROAD)

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



2020.154

LUME - BERKLEY - PROVISIONING CENTER
1949 12 MILE ROAD,
BERKLEY, MI

SPECIAL LAND USE/ SITE PLAN APPROVAL

CONCEPTUAL DESIGN PACKAGE

JULY 14, 2021

NOTE:
THE IMAGERY ON THIS SHEET IS STRICTLY FOR GRAPHICAL REPRESENTATION & MEANT TO CONVEY OVERALL DESIGN INTENT.

REFER TO SHEET A3.2 FOR FURTHER INFORMATION ON EXTERIOR ELEVATIONS AND EXTERIOR MATERIALS



01 - CONCEPTUAL STREETVIEW PERSPECTIVE



02 - CONCEPTUAL BIRDSEYE AERIAL



N
KEY PLAN
SCALE: NOT TO SCALE



2020.154
LUME - BERKLEY - PROVISIONING CENTER
1949 12 MILE ROAD,
BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

SPECIAL LAND USE/ SITE PLAN APPROVAL

JULY 14, 2021

© 2021 STUCKY VITALE ARCHITECTS

LUME - BERKLEY - PROVISIONING CENTER



SHEET:

A3.3

LIBER 53478 PAGE 486
 \$21.00 DEED - COMBINED
 \$4.00 REMONUMENTATION
 \$5.00 AUTOMATION

11/07/2019 10:11:04 AM RECEIPT# 136579
 PAID RECORDED - Oakland County, MI
 Lisa Brown, Clerk/Register of Deeds

OAKLAND COUNTY TREASURERS CERTIFICATE
 This is to certify that there are no delinquent property
 taxes as of this date owed to our office on this property.
 No representation is made as to the status of any taxes,
 tax liens or titles owed to any other entities.

NOV 04 2019 *KED*

ANDREW E. MEISNER, County Treasurer
 Sec. 135, Act 206, 1893 as amended

5.00

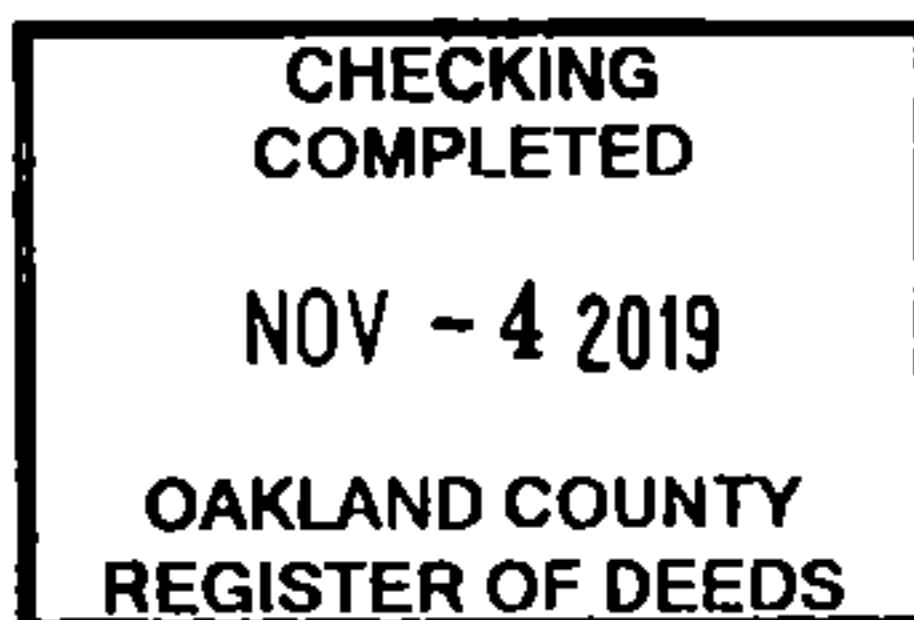
002729

COVENANT DEED

BERKLEY TWELVE ASSOCIATES II, L.L.C., a Michigan limited liability company ("Grantor"), whose address is 28400 Northwestern Highway, 4th Floor, Southfield, Michigan 48034, hereby sells, conveys, grants, and bargains to MONARCH ACQUISITIONS LLC, a Michigan limited liability company ("Grantee"), whose address is 28400 Northwestern Highway, 4th Floor, Southfield, Michigan 48034, the property situated in the City of Berkley, County of Oakland, State of Michigan, more specifically described in Exhibit A attached hereto and made a part hereof (the "Property"), for the sum set forth on the Real Estate Transfer Tax Valuation Affidavit filed herewith.

Grantor, for itself, its successors and assigns, hereby covenants, grants, bargains, and agrees to and with Grantee, its successors and assigns, that subject to the exceptions set forth on Exhibit B hereto, Grantor has not done, committed, knowingly suffered to be done, or committed any act, matter, or thing whatsoever, whereby the premises hereby granted, or any part thereof, is, or shall or may be, charged or encumbered in title, estate or otherwise.

[Remainder of page intentionally left blank; signature page follows.]



*HP
ASK*

2019 NOV - 4 PM 12:15

OK - MH

RECEIVED
OAKLAND COUNTY
REGISTER OF DEEDS
32428625

**SIGNATURE PAGE
TO
COVENANT DEED**

Dated as of October 28, 2019

GRANTOR:

BERKLEY TWELVE ASSOCIATES II, L.L.C.,
a Michigan limited liability company

By: 

Name: Andrew L. Gutman

Its: Authorized Signatory

STATE OF MICHIGAN)
) SS.
COUNTY OF Oakland)

This instrument was acknowledged before me on this 25th day of October, 2019, by Andrew L. Gutman, the Authorized Signatory of BERKLEY TWELVE ASSOCIATES II, L.L.C., a Michigan limited liability company, on behalf of such limited liability company.

Sandy Eisho
Print Name of Notary Public: Sandy Eisho
Notary Public, State of Michigan, County of Oakland
My commission expires: July 22, 2021
Acting in the County of Oakland

Drafted by:
Jonathan S. L. Demers
Honigman LLP
660 Woodward Avenue
2290 First National Building
Detroit, MI 48226-3506

Send recorded deed, subsequent tax bills to:
Monarch Acquisitions LLC
28400 Northwestern Highway, 4th Floor
4th Floor
Southfield, Michigan 48034

Recording Fee: \$ 35.00

See Real Estate Transfer Tax Valuation Affidavit for County and State Transfer Tax

Return Recorded Documents To:

A.S.K. Services, Inc.
40600 Ann Arbor Rd E, Ste 200
Plymouth, MI 48170

EXHIBIT A
Legal Description

LAND SITUATED IN THE CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN,
DESCRIBED AS FOLLOWS:

LOT 32 THROUGH 55, INCLUSIVE, STEPHENSON-BARBERS ROSELAND
SUBDIVISION, AS RECORDED IN LIBER 31 OF PLATS, PAGE 5, OAKLAND COUNTY
RECORDS. ALSO, ALL OF THE EAST-WEST 20 FOOT WIDE PUBLIC ALLEY
ABUTTING ON THE SOUTH SIDE OF SAID LOTS.

APN: ~~(04)~~25-17-126-002 AND ~~(04)~~25-17-126-003

¹
lots 44 to 55

lots 32 to 43

EXHIBIT B
Permitted Exceptions

1. - Real estate property taxes and assessments which are a lien but not yet due and payable.
2. Any laws, regulations, or ordinances regarding the use, occupancy, subdivision, or improvements of the Property.
3. Rights of tenants, as tenants only, in possession under unrecorded lease agreements, without any rights or options of purchase, first offer, or first refusal.
4. Easements and the terms, conditions, and provisions thereof which are recited in the Reciprocal Easement Agreement recorded in Liber 10944, Page 508, as amended and restated in Liber 22233, Page 706.
5. Easements and the terms, conditions, and provisions thereof which are recited in the Reciprocal Easement Agreement recorded in Liber 21555, Page 815.
6. Any easements or rights of way for existing utilities or other rights of way over those portions of said Land laying within the public right of way as recited in the following:

Recording No: Liber 22038, Page 177

7. Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document:

Granted to: Detroit Edison Company
Recording No: Liber 23955, Page 428

8. Matters shown and reserved pertain to the Michigan Right to Farm Act as described by that Quit Claim deed recorded in Liber 22038, Page 177, Oakland County Records.
9. All matters as would be shown on a current, accurate survey of the Property.
10. Any laws, regulations, or ordinances regarding the use, occupancy, subdivision, or improvement of the Property, or the effect of any non-compliance with or any violation thereof.
11. Covenants, restrictions, easements, and other matters that do not materially impair the value or use of the Property.



CITY OF BERKLEY COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

MEMORANDUM

To: Planning Commission

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: **PSP-03-22, Sketch Plan for Lume Provisioning Center at 1949 Twelve Mile**

Date: March 16, 2022

The applicant has asked for a sketch plan review for the conversion of 6,764 square feet of the existing building at 1949 Twelve Mile to a retail marihuana dispensary and office use for the remaining 17,677 square feet. Section 138-681 – Approval Process allow sketch plan review by the Planning Commission as follows:

“Sketch plan (optional). An item may be submitted to the planning commission for informal discussion. No approval shall be granted. However, the applicant may wish to present and discuss a proposed project and any anticipated problems before applying for site plan approval.”

The applicant filed a site plan review application on February 2, 2022. The site plan was sent for review and comments to HRC, Carlisle Wortman Associates, DPW and the Fire Inspector. Their review letters are included in the packet. With the exception of the Fire Inspector, none of the reviewers recommended the site plan for approval by the Planning Commission.

The Zoning Ordinance and state law requires that marihuana businesses “must not be within 1,000 feet of a pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.” Staff and the City Attorney have researched whether the KinderCare child care center, located at 1695 Twelve Mile, would qualify as a school requiring the 1,000-foot separation. As confirmed by a telephone call with the Center’s Director, the Berkley Kinder Care child care center offers pre-kindergarten classes and the separation requirement does not apply.

Please come prepared to share your questions and concerns about the sketch plan.

Thank you.

Cc: Matt Baumgarten, City Manager
John Staran, City Attorney
Christopher Enright, applicant’s representative



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 7, 2022

Site Plan Review For City of Berkley, Michigan

Applicant: Monarch Acquisitions LLC

Project Name: Lume Berkley Provisions

Plan Date: July 14, 2021

Location: 1949 Twelve Mile Road

Zoning: Local Business District

Action Requested: Site Plan Approval

SITE DESCRIPTION

The subject site is on the south side of Twelve Mile, south of Roseland Park Cemetery, between Henley Avenue and Brookline Street. The building includes a basement and two stories above grade. The applicant proposes to remodel the existing 24,000 sq/ft and two small staircase, and vestibule additions to the existing office building.

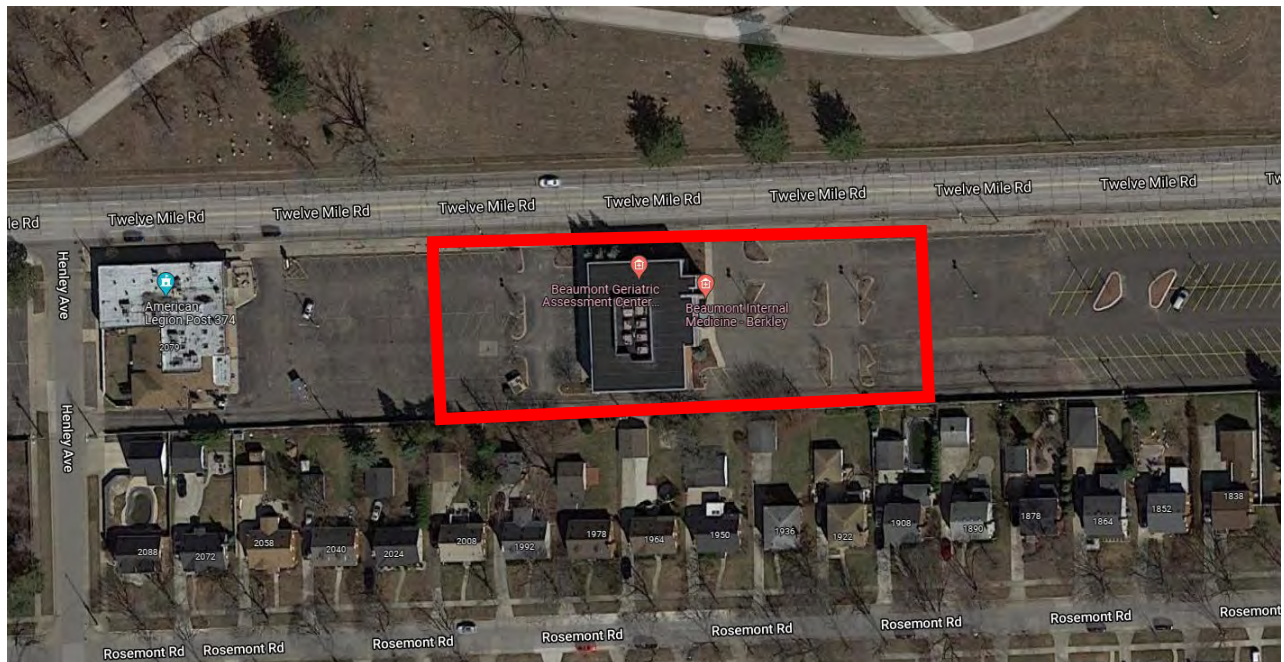
One small addition is located at the northwest corner (adjacent to Twelve Mile) of the building and at the southeast corner of the building. The proposed uses include a mix of commercial uses in a marijuana provisioning center. There are no proposed changes or enlargement to the existing building. Site improvements include:

- Removal of existing asphalt and replacement with pervious pavers

- Installation of rain gardens, and rain cisterns
- Decorative bike rack
- Installation of benches
- Increased landscaping
- Quality architecture improvements
- Green roof:
 - Solar system
 - Wind system
 - Rain capture

The site is zoned Local Business District. Marihuana use is a permitted use but must meet the zoning requirements set forth in Section 138-528 Marihuana Business Regulations.

Site Location:



Proposed Use of Subject Parcel:

24,000 sq/ft mixed tenant commercial building including a marihuana provisioning use.

Current Use of Subject Property:

24,000 sq/ft mixed tenant commercial building

Surrounding Property Details:

Direction	Zoning	Use
North	Cemetery District	Roseland Park Cemetery
South	R1-C, Single Family Residential	Single Family Residential
East	Office District	Medical Office
West	Local Business District	Institutional (Legions Club)

Items to be addressed: None.

NATURAL FEATURES

The site has been graded for an office building and parking lot. There are no existing natural resources.

BUILDING ARRANGEMENT AND SITE DESIGN

The site and building layout will remain in its current configuration. The square foot arrangement of the building is as follows:

Floor	Tenant/Use (square feet)			Total Square Footage
Lower Level	Lume: 1,075	Vacant: 6,506	Utility Area: 475	8,056
First	Lume: 581	Beaumont Health: 7,357	Utility Area: 475	8,413
Second	Lume: 5,108	Vacant: 2,977		8,085
Total				24,554

Items to be addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Sec. 138-526. - Schedule of regulations of the Zoning Ordinance establishes the dimensional requirements for the Local Commercial District.

	Required / Allowed	Provided	Compliance
Front (Twelve Mile) Front yard setbacks shall be ten feet or equal to the setback of the adjacent buildings, whichever is less.	0-feet setback based upon adjacent building to east	5-feet	Complies
Side (east and west)	0-feet	Greater than 0 feet	Complies
Rear (South)	10-foot minimum setback	20 feet	Complies
Building Height	40-feet maximum height	35-8 feet	Complies

Items to be addressed: None

PARKING

The applicant did not provide a parking table or confirm onsite dedicated parking spaces to confirm if parking is sufficient. This information is required in order to complete the review. Ensuring parking is an important zoning standard that needs to be confirmed.

Items to be Addressed: Provide parking table and confirm amount of dedicated parking spaces

SITE ACCESS AND CIRCULATION

Site access and circulation remain as currently situated. There are two points of access off Twelve Mile, and cross-access with adjacent parcels. Furthermore, there is 20-foot alley that runs behind the building. There is an existing 10-foot sidewalk on Twelve Mile and there is direct pedestrian access from Twelve Mile to front entrances.

Items to be Addressed: None

LANDSCAPING AND SITE AMENITIES

A landscaping plan has been provided on sheet L-1.1 and L-1.2. The applicant is proposing a robust plan which includes building planting, ROW planting, parking lot planting, and a green roof. As set forth in section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require additional landscaping to be planted on or near the site consistent with the elements of the adopted city master plan.

Trash Enclosure:

The existing trash enclosure to remain.

Items to be Addressed: *Planning Commission to review landscaping.*

GREEN ROOF

The applicant is proposing a green roof, which includes

- Solar panels
- Wind turbines
- Water collection

We support the sustainable and creative use of the green roof. Wind turbines are regulated by Section 138-99. Requirements include:

Maximum Height from Roof	Setback	Other Regulations
10 feet	No portion of the system's blades, rotor or other exposed moving part shall extend beyond the edge of the building line to which it is attached	Wind energy systems with a rated capacity of up to 2 kilowatts (2 kW) and solar energy systems shall be allowed as an accessory use subject to the required standards of this section; provided they are incidental and subordinate to a use on the same parcel, and shall supply electrical power exclusively for on-site consumption

Items to be Addressed: *Confirm that requirements of Section 138-99 are met.*

PHOTOMETRICS

A photometric plan was not provided. Building and site lighting information should be provided.

Items to be Addressed: *Provide photometric plan*

EXTERIOR APPLIANCES

Applicant has shown exterior appliances (air conditioners, generators, etc.) on site plan to ensure that they are in compliance with Sec. 138-73.

Items to be Addressed: *None.*

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations have been provided. The applicant is making significant elevation improvements to the existing building including stairwell addition, new stain existing brick, new sign lettering (reviewed under separate sign permit), green roof, public art mural, landscape growing cable system, and architectural accent fins.

Items to be Addressed: *None*

MARIHUANA BUSINESS REGULATIONS

Section 138-528 Marihuana Business Regulations, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

- a) **A marihuana business must front on a major thoroughfare with the primary ingress/egress onto a major thoroughfare.**

CWA Response: The marihuana business fronts on Twelve Mile Road, with ingress/egress onto a major thoroughfare.

- b) **The marihuana business must have all applicable state and local licenses and approvals to operate.**

CWA Response: The marihuana business will be required to obtain all applicable state license prior to any final approvals.

- c) **The property where the marihuana business will be located must be entirely within the boundaries of the city and must not be within 1,000 feet of a pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.**

CWA Response: The marihuana business will not be located with 1,000 feet of any pre-existing public or private school.

- d) **Notwithstanding any other provision in the zoning ordinance, a marihuana business must operate within a fully enclosed building.**

CWA Response: The marihuana business will operation within a fully enclosed building.

- e) **Pursuant to article XV of [chapter 30](#) of the Berkley City Code, all marihuana business license approvals are subject to the following:**
- i. **Public notice requirements as outlined in [section 30-806](#); and**
 - ii. **Site plan approval from the planning commission must be obtained prior to receiving license approval from the city council. Failure to do so will result in license denial as outlined in [section 30-813](#).**

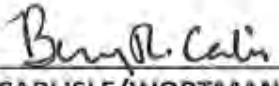
CWA Response: 1). Public notice requirement was met; and 2). The applicant is seeking site plan approval from the Planning Commission. If granted site plan approval, the applicant would then seek license approval from the City Council.

Items to be Addressed: None

RECOMMENDATION

Overall the applicant is making a significant investment into the site as noted in our report. However prior to placement on the Planning Commission agenda, we request the following information:

1. *Provide parking table and confirm amount of dedicated parking spaces*
2. *Confirm that requirements of Section 138-99 are met*
3. *Provide photometric plan including building and site lighting*




CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

Transmittal Memo

To: Megan Masson-Minock, Interim Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)
Shawn Young, DPW Foreman (via email)
Eddie Zmich, HRC (via email)

From: Derrick Schueller, DPW Director 

Date: February 14, 2022

Subject: Lume Provisioning Center
1949 12 Mile
Site Plan Review #1

We have reviewed the site plans provided by the Community Development Department on February 2 and prepared by Stucky Vitale Architects and PEA Group. Please find below our initial comments:

1. The site plans will be reviewed by the City's engineering consultant, Hubbell, Roth & Clark (HRC). Among other things, HRC will review the geotechnical report, storm water detention calculations and grading.
2. A parcel combination will be required as part of this project. We defer to Community Development on the process and procedure for joining parcels.
3. A Design Miss Dig ticket number shall be indicated on the Topographic Survey.
4. A Demolition Sheet shall be added to the plan set indicating all removals, including pavement and pipe.
5. We recommend the existing sanitary lead be examined by a licensed plumber prior to site plan resubmittal. The replacement of this pipe, due to condition, may impact site layout and scope.
6. The existing public water main easement shall be shown on the drawings or a new one proposed at this time (south hydrant).
7. The relocated water main for the south hydrant will require a new live tap and a straight alignment with minimal bends.
8. Detention in accordance with current standards must be provided for the full site.
9. A new outlet control structure shall be constructed for the east detention system.
10. Please note the proposed stormwater management system will be a private system under the maintenance of the property owner. A template approved by the City Attorney is attached for use. Exhibits will need to be prepared by the applicant and included with the document.
11. The applicant shall verify the new development will not negatively impact the adjacent properties and existing drainage conditions.
12. Note the Community Development Department will review the striping plan for verification of number of stalls required, sizing, handicap considerations and general site circulation.
13. A traffic control plan shall be added to the plan set to account for the proposed work in the 12 Mile roadway.

14. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).

A response letter from the applicant to the comments noted above would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.

AGREEMENT FOR STORM WATER SYSTEM MAINTENANCE

This Agreement is made on _____, by _____, (“Developer”), a
(corporation, limited liability company, partnership) whose address is _____;
and the CITY OF BERKLEY (the “City”), whose address is 3888 Coolidge Hwy, Berkley, MI 48879.

WHEREAS, Developer owns and proposes to develop the Property described in attached **Exhibit A**; and

WHEREAS, the proposed development of the Property will alter the natural flow of surface and storm water drainage; and

WHEREAS, Developer has proposed, and the City has approved, a storm water management system (the “System”) as described and depicted in the plan attached as **Exhibit B**; and

WHEREAS, the parties will benefit from the proper operation, use, and maintenance of the System and enter into this agreement to provide for the same.

THEREFORE, the parties agree:

1. **Use of the System:**

Components of the System, including any and all water conveyance, detention and water quality treatment facilities and devices, pumping system, storm sewer pipe, catch basins, manholes, end-sections, ditches, swales, open water courses and rip-rap, shall be used solely for the purpose of conveying, detaining and treating storm and surface drainage on the property until such time as: (i) The City determines and notifies Developer or Developer’s successors, grantees or assigns, in writing, that it is no longer necessary to convey, detain or treat the storm and surface drainage; and (ii) An adequate alternative for conveying, detaining and treating storm and surface drainage has been provided which is acceptable to the City and which includes the granting of any easements to the City or third parties as may be required or necessary for the alternative drainage system.

2. **Maintenance:**

- A. Developer shall be responsible for the proper maintenance, repair and replacement of the System and all parts thereof as detailed in the Maintenance Plan attached as **Exhibit C**.

- B. Proper maintenance of the System shall include, but is not limited to: (i) Removing accumulated sediment, trash and debris from the detention basin and at inlet pipes; (ii) Managing deleterious vegetative growth; (iii) Maintaining storm sewer, structures, end-sections and safety features; (iv) Controlling the effects of erosion; (v) Inspection and cleaning of the water quality treatment device; (vi) Inspection of inlet and outlet pipes for structural integrity; (vii) Inspection and replacement of riprap at inlet pipes; (viii) Inspection and cleaning of the storm sewer and catch basins upstream from the detention basin; (ix) Inspection and replacement of stone around the outlet pipe; and (vi) Any other maintenance that is reasonable and necessary to facilitate and continue the proper operation and use of the System.

3. **Action by City:**

If, at any time, Developer or Developer's successors, grantees or assigns neglect or fail to properly maintain the System or any part thereof, the City may notify Developer or Developer's successors, grantees or assigns. The notice shall be in writing and shall list and describe maintenance deficiencies and demand that they be corrected within thirty (30) days.

The notice shall further specify a date and place for a hearing to be held at least fourteen (14) days after the date of the notice before the City Council, or such other board or official as the City Council may designate. At the hearing, the City Council (or other designated board or official) may affirm or modify the list and description of maintenance deficiencies and, for good cause shown, may extend the time for the deficiencies to be corrected.

Thereafter, if the maintenance deficiencies are not corrected within the time allowed, the City may undertake the necessary corrective actions, and the City may maintain the System for up to one (1) year. Such maintenance of the System by the City shall not be construed to be a trespass or a taking of the Property, nor shall the City's actions vest in the public any right to enter or use the Property. Thereafter, if Developer or Developer's successors, grantees or assigns do not properly maintain the System, the City may, after providing similar written notice, schedule and hold another hearing to determine whether the City should maintain the System for another year, and subject to a similar notice, hearing and determination, in subsequent years.

In the event the City determines an emergency or public nuisance condition caused by or relating to the System threatens the public health, safety or general welfare, the City shall have the right to immediately and without notice enter the Property and undertake appropriate corrective action.

4. **Charges:**

The City shall charge to the current owner of the Property the cost of maintenance or other corrective action undertaken by the City under this agreement, plus a ten percent (10%) administrative fee. If not timely paid, the City may place the charges on the City's tax roll, which charges shall be a lien on the Property and shall be collectable and enforceable in the same manner general property taxes are collected and enforced.

5. **Notice:**

Any notices required under this agreement shall be sent by certified mail to the address for each party set forth below, or to such other addresses as such party may notify the other parties in writing:

To _____:

To the City:

City Manager
City of Berkley
3888 Coolidge Hwy
Berkley, MI 48879

6. **Successors and Assigns:**

This agreement shall bind and inure to the benefit of the parties and their respective successors, grantees and assigns. The benefits, burdens, rights, obligations and responsibilities hereunder shall run with the land and shall bind all current and future owners of the Property and any divisions thereof.

7. **Recording of Agreement:**

This agreement shall be recorded at the Oakland County Register of Deeds.

By: _____

Its: _____

CITY OF BERKLEY

By: _____

Matthew Baumgarten, City Manager

STATE OF MICHIGAN
:ss
COUNTY OF _____

This agreement was acknowledged before me on _____, by _____
_____ of _____ on behalf of the _____.

Notary public
County, Michigan
My commission expires: _____

STATE OF MICHIGAN
:ss
COUNTY OF OAKLAND

This agreement was acknowledged before me on _____, by Matthew Baumgarten, City Manager, of the City of Berkley, on behalf of the City.

Notary public
County, Michigan
My commission expires: _____

Drafted by:
John D. Staran, Esq.
2055 Orchard Lake Road
Sylvan Lake, MI 48320

When Recorded Return to:
City Clerk
City of Berkley
3888 Coolidge Hwy.
Berkley, MI 48879

City of Berkley
3338 Coolidge Highway, Berkley, MI 48072



"We Care"

Fire Inspector
Office: 248-658-3326
Fax: 248-658-3301
Email: pkelly@berkleymich.net

TO: John Vitale, Architect
John Lipchick, Building Official
Monarch Acquisitions, Owner

RE: 1949 W. Twelve Mile Rd.

Dear Interested Parties:

2/3/2022

I have received and reviewed the site plan/conceptual design package for the above address, and approved them subject to the following:

- 1) Sprinkler system modifications not shown, must be submitted for review.
- 2) Existing/new fire extinguishers not shown.
- 3) Note that no processing of marijuana is permitted in the City in buildings within 300' of residential property.

Please contact me if you have any questions regarding this communication.

Respectfully,

A handwritten signature in black ink, appearing to read "P. Kelly", is written over a faint, larger version of the same signature.

Pete Kelly
Fire Inspector

February 16, 2022

City of Berkley
3338 Coolidge Highway
Berkley, Michigan 48072

Attention: Ms. Megan Masson-Minock, Community Development Director
Mr. Matthew Baumgarten, City Manager

Re: Lume
1949 Twelve Mile Road
Engineering Site Plan – Review No. 1
City of Berkley, MI

HRC Job No. 20200908.02

Dear Ms. Masson-Minock and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development located at 1949 Twelve Mile Road for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Stucky-Vitale Architects of Royal Oak, Michigan with the engineering site plan created by PEA Group of Brighton, Michigan. The plans have an issue date of February 7, 2022. The proposed project scope includes the renovation of the existing building and replacement of the existing parking lot and other site features. We hereby offer the following comments:

General:

1. A Road Commission for Oakland County (RCOC) permit will be required for proposed work within the 12-Mile Road right-of-way as well as for construction signage.
2. A traffic control, or Maintenance of Traffic (MOT), plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required.
3. A separate demolition sheet must be provided in the plan set that shows all site demolition work including any exterior building work which may impact the site.
4. The extent of curb, sidewalk, and pavement removal and replacement must be clearly shown on the plans. In addition, the City may require additional sections of existing curb and gutter and sidewalks along 12 Mile Road to be removed and replaced as part of the proposed project in order to address the current deteriorated conditions and will defer comment to the City.

Water and Fire Protection Services:

1. The proposed 8" water main has a note stating "connect to existing water service into building". It appears that this connection would be to the existing 8" main for the south hydrant, not for the building service, and the note must be updated to reflect this.

2. The relocation of the 8" water main will require a new connection with a new tapping sleeve, valve and well.

Storm Drainage and Detention/Sanitary Sewer:

1. Stormwater runoff calculations are provided using a 100-year, 24-hour storm event and show the required storage volume for the proposed site. Calculations and details must also be added to the plans demonstrating that the storage volume provided by the proposed stormwater management system meets or exceeds this requirement. Further, sources for the values of the runoff coefficients must be cited on the plans for the proposed permeable pavement areas.
2. A geotechnical investigation must be performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs must be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system.
3. Grades must be provided for inverts of proposed storm sewer and structures.
4. Details of the proposed outlet control structure and diversion manholes must be shown on the plans.
5. Cross-sectional details and proposed composition of the rain gardens must be shown on the plans.
6. The types of pre-treatment proposed for each area of collection must be specified.
7. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction.
8. A note indicates the existing building sanitary lead will remain in place and be re-utilized. The applicant must have the sanitary lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction.

Recommendation:

Based on our aforementioned comments, we do not recommend approval of the proposed Site Plan at this time. The plans must be revised to address all of the above comments and resubmitted to the City of Berkeley for further review.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Edward D. Zmich
Project Manager



Mitch Stark
Review Engineer

EDZ/MAS/mas

pc: City of Berkley; Mr. Derrick Schueller, Mr. Shawn Young
HRC; R. Alix, File
PEA Group; S. Peruski
Stucky-Vitale; M. Dragan



Comm Dev Director <comdirector@berkleymich.net>

Residents objection and comments regarding application PSP -03-22

Bill Scarmeas

To: comdirector@berkleymich.net

Cc: Jackie

Tue, Mar 15, 2022 at 10:03 PM

Dear Berkley planning commission,

I would like offer my comments and objection to the purposed marihuana provisioning center located at 1949 Twelve mile road.

Since my Rosemont property backs the commercial use property just East of the purposed dispensary at [1949 Twelve Mile Road](#), I formally object to this provisioning location, and encourage the planning commission NOT to approve this location based the observation that this dispensary appears to be within 1000 feet from a pre-existing private educational center known as KinderCare, located at [1695 Twelve mile Rd](#).

According to their website, KinderCare provides multiple programs from infant day care for children 6 weeks to 1 year and multiple educational programs such as Pre-Kindergarten to Kindergarten for older children ages 5 to 6.

Reviewing the Berkley Ordinance governing marihuana provisioning centers, it states in Section 8 Sec. 138-528. Marihuana Business Regulations: "The Property where the Marihuana Business will be located must not be within 1,000 feet of a pre-existing public or Private school providing education in Kindergarten or any grades 1-12.

KinderCare appears to be within the 1000 foot of the proposed provisioning center and offers said educational programs for children.

I do not speak on behalf of KinderCare, nor do I have any personal or vested interest in this company, I am however a concerned homeowner who lives in the neighborhood and strongly object to a marihuana provisioning center so close to a child educational center.

Looking at the site plan, I also see the potential where patrons of the provisioning center could potential share a common parking area of KinderCare. Additionally, children in the center who will play outside in their designated protected area as well as parents who pick up their children will be within sight and unfortunately, walking distance to a marihuana dispensary.

I have other concerns about the site plan that I will address at meeting, however at this time I ask the planing commission to take my concerns into consideration and review this application carefully.

As it appears, the close proximity of a child educational center could disqualify [1949 Twelve Mile road](#) for a licensed marihuana provisioning center.

Kind regards,

Bill and Jackie Scarneas

[1878 Rosemont Rd, Berkley](#)



Comm Dev Director <comdirector@berkleymich.net>

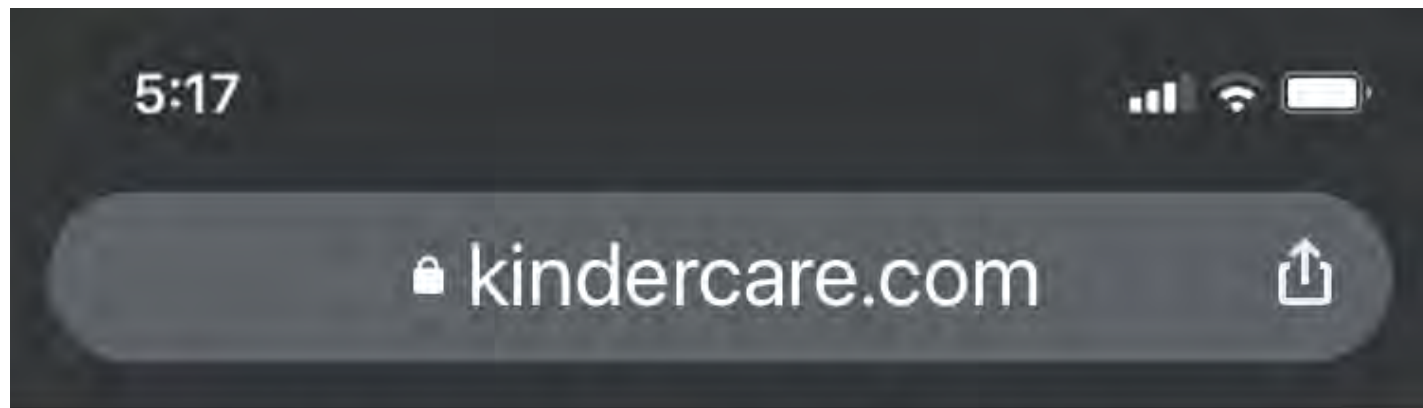
Residents objection and comments regarding application PSP -03-22

Bill Scarmeas [REDACTED]
To: comdirector@berkleymich.net
Cc: Jackie [REDACTED]

Wed, Mar 16, 2022 at 7:05 AM

Dear planning commission,

Following up on my previous email, kindly see the screen shot below from KinderCare website with description of educational options provided by KinderCare including Kindergarten program.



Employer Sponsored Care

Before- & After- School Care



Programs by Age

Early Education Programs Overview

Infant Daycare (6 weeks to 1 year)

Toddler Daycare (1 to 2)

Discovery Preschool (2 to 3)

Discovery Preschool (2 to 3)

Preschool Program (3 to 4)

Prekindergarten Program (4 to 5)

Transitional Kindergarten (4 to 5)

Kindergarten (5 to 6)

Interactive Kindergarten (5 to 6)

Additional Programs

Elementary School Distance
Learning



Bill Scarmeas

On Mar 15, 2022, at 10:03 PM, Bill Scarmeas [REDACTED] wrote:

Dear Berkeley planning commission,
[Quoted text hidden]

THE CITY OF BERKLEY
Building Department
3338 Coolidge, Berkley, Michigan 48072
(248) 658-3320

NOTICE OF PUBLIC MEETING
BERKLEY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN, in accordance with Section 138-528 and Section 30-806 of the Berkley City Code, that there will be a meeting of the Berkley Planning Commission to be held at the City of Berkley in the Council Chambers, 3338 Coolidge Hwy, Berkley Michigan, on **Tuesday, March 22, 2022** at 7:10 pm, or as near thereto as the matter may be reached.

APPLICATION PSP-03-22

Christopher Enright, on behalf of David Farbman, 1949 Twelve Mile Rd., Parcels #25-17-126-002 and #25-17-126-003, is requesting a sketch plan for the conversion of 6,764 square feet of the existing building to a retail marihuana dispensary and office use for the remaining 17,677 square feet.

Complete application information is available for review at www.berkleymich.org/urbanplanning.

Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Building Department or email to comdirector@berkleymich.net before 5:00p.m on the date of the Planning Commission meeting.

You can watch the meeting: <https://www.berkleymich.org/livestream/index.php>

MEGAN MASSON-MINOCK
INTERIM COMMUNITY DEVELOPMENT DIRECTOR

Publish Once:
Royal Oak Tribune
Friday, March 4, 2022

DOROTHY ROY
ROBERT ROY
1950 ROSEMONT RD
BERKLEY MI 48072 3305

LARRY FONS
TERESA FONS
1908 ROSEMONT RD
BERKLEY MI 48072 3305

KURT SCHLAU
MARYBETH SCHLAU
1907 ROSEMONT RD
BERKLEY MI 48072 3307

JASON NABER
2008 ROSEMONT RD
BERKLEY MI 48072 3306

MARK ROEDER
REBECCA KENNEDY
1992 ROSEMONT RD
BERKLEY MI 48072 3305

CHRISTINE GAIL APEL
1864 ROSEMONT RD
BERKLEY MI 48072 1846

ANDREW LOCKMAN
2023 ROSEMONT RD
BERKLEY MI 48072 3308

WILLIAM BOTENS
ROCHELLE BOTENS
2088 ROSEMONT RD
BERKLEY MI 48072 3306

JAMES SKAGGS
1978 ROSEMONT RD
BERKLEY MI 48072 3305

BRENDA DUNLOP
2057 ROSEMONT RD
BERKLEY MI 48072 3308

JOSHUA STAPP
2040 ROSEMONT RD
BERKLEY MI 48072 3306

Occupant
1964 ROSEMONT RD
BERKLEY MI 48072 3305

PAUL LAURENCELLE
1963 ROSEMONT RD
BERKLEY MI 48072 3307

GILBERT TECKER
1877 ROSEMONT RD
BERKLEY MI 48072 1845

1964 ROSEMONT LLC
3532 HALLA LN
BLOOMFIELD HILLS MI 48301 2127

JO ANNE RODDY
2071 ROSEMONT RD
BERKLEY MI 48072 3308

JORDAN D PATERRA
2007 ROSEMONT RD
BERKLEY MI 48072 3308

TIMOTHY SWEENEY-DUCHENE
CHELSEA SWEENEY-DUCHENE
1936 ROSEMONT RD
BERKLEY MI 48072 3305

Occupant
29001 WOODWARD AVE
BERKLEY MI 48072 0917

Occupant
2087 ROSEMONT RD
BERKLEY MI 48072 3308

GAMAL ELBIALY
1949 ROSEMONT RD
BERKLEY MI 48072 3307

MIDWEST MEMORIAL GROUP LLC
31300 SOUTHFIELD RD STE 1
BEVERLY HILLS MI 48025 5456

JOHN S SPARLING JOINT TRUST
MARY LYNN SPARLING JOINT TRUST
2111 ROSEMONT RD
BERKLEY MI 48072 1847

MICHAEL A COLLING
1889 ROSEMONT RD
BERKLEY MI 48072 1845

Occupant
1949 12 MILE RD
BERKLEY MI 48072 1853

JASON J FULKS
AKEMI FULKS
1921 ROSEMONT RD
BERKLEY MI 48072 3307

LAWRENCE SERMO
1890 ROSEMONT RD
BERKLEY MI 48072 1846

MONARCH ACQUISITION LLC
28400 NORTHWESTERN HWY FL 4
SOUTHFIELD MI 48034 8349

MATTHEW D DEFEVER
SHERRI A DEFEVER
1991 ROSEMONT RD
BERKLEY MI 48072 3307

RICHARD IORIO
TAMARA ROBEY
2024 ROSEMONT RD
BERKLEY MI 48072 3306

CHARLES DALY IV
2072 ROSEMONT RD
BERKLEY MI 48072 3306

MONARCH ACQUISITION LLC
28400 NORTHWESTERN HWY FL 4
SOUTHFIELD MI 48034 8349

DIANE WINTERS
1935 ROSEMONT RD
BERKLEY MI 48072 3307

DOTTIE PAYNE
1922 ROSEMONT RD
BERKLEY MI 48072 3305

DAN R UHLEY
2039 ROSEMONT RD
BERKLEY MI 48072 3308

ELIZABETH A MORRISON
2058 ROSEMONT RD
BERKLEY MI 48072 3306

ZACHARY TYLER
GLYNIS TYLER
1977 ROSEMONT RD
BERKLEY MI 48072 3307

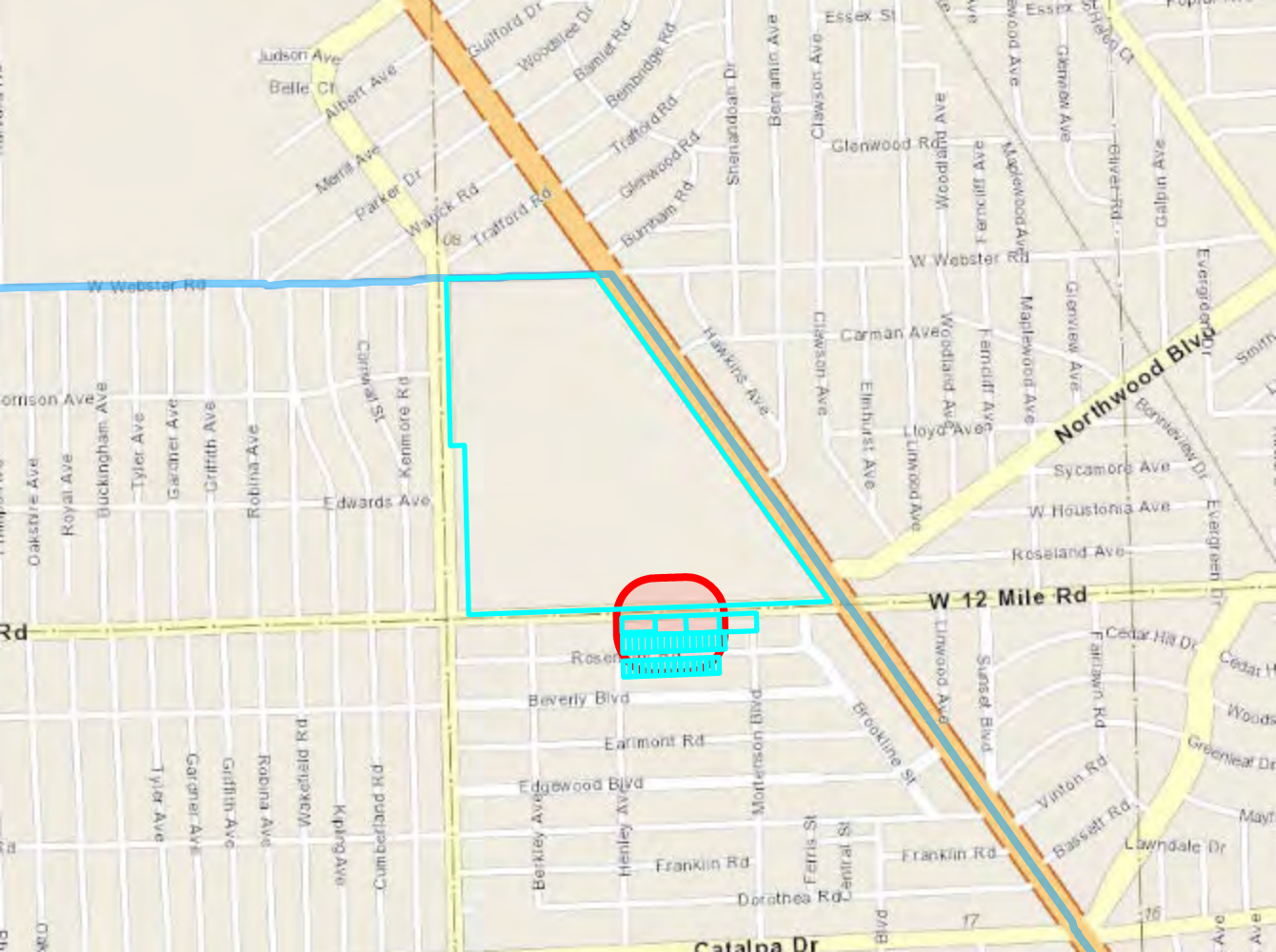
Occupant
1695 12 MILE RD
BERKLEY MI 48072 2182

814 BERKLEY LLC
3221 W BIG BEAVER RD STE 111
TROY MI 48084 2810

WILLIAM SCARMEAS
JACQUELINE SCARMEAS
1878 ROSEMONT RD
BERKLEY MI 48072 1846

AMERICAN LEGION
2079 12 MILE RD
BERKLEY MI 48072 1854

Occupant
1949 12 MILE RD
BERKLEY MI 48072 1853





SKETCH PLAN REVIEW REQUEST

To: Megan Masson-Minock, AICP
Interim Community Development Director
City of Berkley

From: John A. Vitale, AIA NCARB

Date: March 2, 2022

Re: Quality Roots – Berkley – Marihuana Retailer
Architect's Project No.: 2020.153

Good afternoon, Megan,

The intent of this letter is to request a sketch plan review with the City of Berkley Planning Commission.
The proposed project address is 3916 W. Eleven Mile Rd. Berkley Michigan 48072.

Please find attached, the package that we are submitting to be reviewed.

Thank you for your time.

John A. Vitale.

QUALITY ROOTS | BERKLEY PROVISIONING CENTER

3916 ELEVEN MILE ROAD
BERKLEY, MI 48237



CONCEPTUAL RENDERING
SCALE: N.T.S.

OWNER:
QUALITY ROOTS

ARCHITECT:
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

CIVIL ENGINEER:
NOWAK AND FRAUS
46777 WOODWARD AVENUE
PONTIAC, MI 48342
(248) 332-7931

PROJECT DATA:

BUILDING CODE AUTHORITY:
CITY OF BERKLEY

TYPE OF CONSTRUCTION:
II-B

USE GROUP:
M - MERCANTILE

PROJECT AREA:
EXISTING
FIRST FLOOR = 5,724 SF
QUALITY ROOTS
SECOND FLOOR = 686 SF
CPA/ AU ENTERPRISE

OFF STREET PARKING REQUIREMENTS
(USEABLE FLOOR AREA) :
SEC. 138-217 BERKLEY ORDINANCE

FIRST FLOOR = 2,837 SF
OFFICE: 102 SF
RECEIVING ROOM: 236 SF
TRANSACTION AREA: 394 SF
SHOWROOM: 1,672 SF
WAITING ROOM: 375 SF
CHECK IN: 58 SF

2,837/ 225 = 12.61 = 13 PARKING STALLS

SECOND FLOOR = 686 SF
OFFICE: 481

481/225 = 2.14 = 3 PARKING STALLS
13 + 3 = 16 PARKING STALLS

SEC. 138-268 BERKLEY ORDINANCE: PARKING CREDIT
Bicycle parking may be used to reduce the number of required off-street parking spaces. Existing developments may elect to reduce the required off-street parking by two car parking spaces by providing four bicycle parking spaces (i.e., by installing two inverted U, loop style, or other approved style of bicycle rack).

16 - 2 = 14 REQUIRED PARKING STALLS

SHEET INDEX		ISSUED FOR				
DRAWING INDEX KEY:		03.02.22 SKETCH PLAN REVIEW				
<input type="checkbox"/> NOT ISSUED						
<input type="checkbox"/> PREVIOUSLY ISSUED						
<input checked="" type="checkbox"/> ISSUED						
<input checked="" type="checkbox"/> REFERENCE						
GENERAL						
TS1.1	TITLE SHEET AND SHEET INDEX AND LOCATOR PLAN		<input checked="" type="checkbox"/>			
			<input checked="" type="checkbox"/>			
CIVIL						
1 of 1	ALTA SURVEY		<input checked="" type="checkbox"/>			
C-1	SITE PLAN		<input checked="" type="checkbox"/>			
SITE						
1 of 1	PHOTOMETRIC PLAN		<input checked="" type="checkbox"/>			
SP1.3	SITE PLAN RENDERING		<input checked="" type="checkbox"/>			
SP1.4	SITE PLAN RENDERING		<input checked="" type="checkbox"/>			
ARCHITECTURAL						
A1.1	ARCHITECTURAL FLOOR PLAN		<input checked="" type="checkbox"/>			
A1.3	SECURITY PLAN PLAN		<input checked="" type="checkbox"/>			
A3.1	EXTERIOR ELEVATIONS		<input checked="" type="checkbox"/>			
A3.2	EXTERIOR RENDERING		<input checked="" type="checkbox"/>			
A3.3	EXTERIOR RENDERING		<input checked="" type="checkbox"/>			
A4.1	INTERIOR RENDERING		<input checked="" type="checkbox"/>			

APPLICABLE CODES: (COMMERCIAL):
BUILDING CODE:
2015 MICHIGAN REHABILITATION FOR EXISTING BUILDING

MECHANICAL CODE:
2015 MICHIGAN MECHANICAL CODE AS AMENDED
PLUMBING CODE:
2015 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE:
2017 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN AMENDMENTS PART 8.

FIRE CODE:
2015 INTERNATIONAL FIRE CODE REFERENCED IN 2015 MICHIGAN BUILDING CODE

BARRIER FREE REQUIREMENTS:
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2012 (CHAPTER 11)
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

LIFE SAFETY CODES:
2015 NFPA 101 LIFE SAFETY CODE
2013 NFPA 13 STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS
2013 NFPA 72 NATIONAL FIRE ALARM CODE



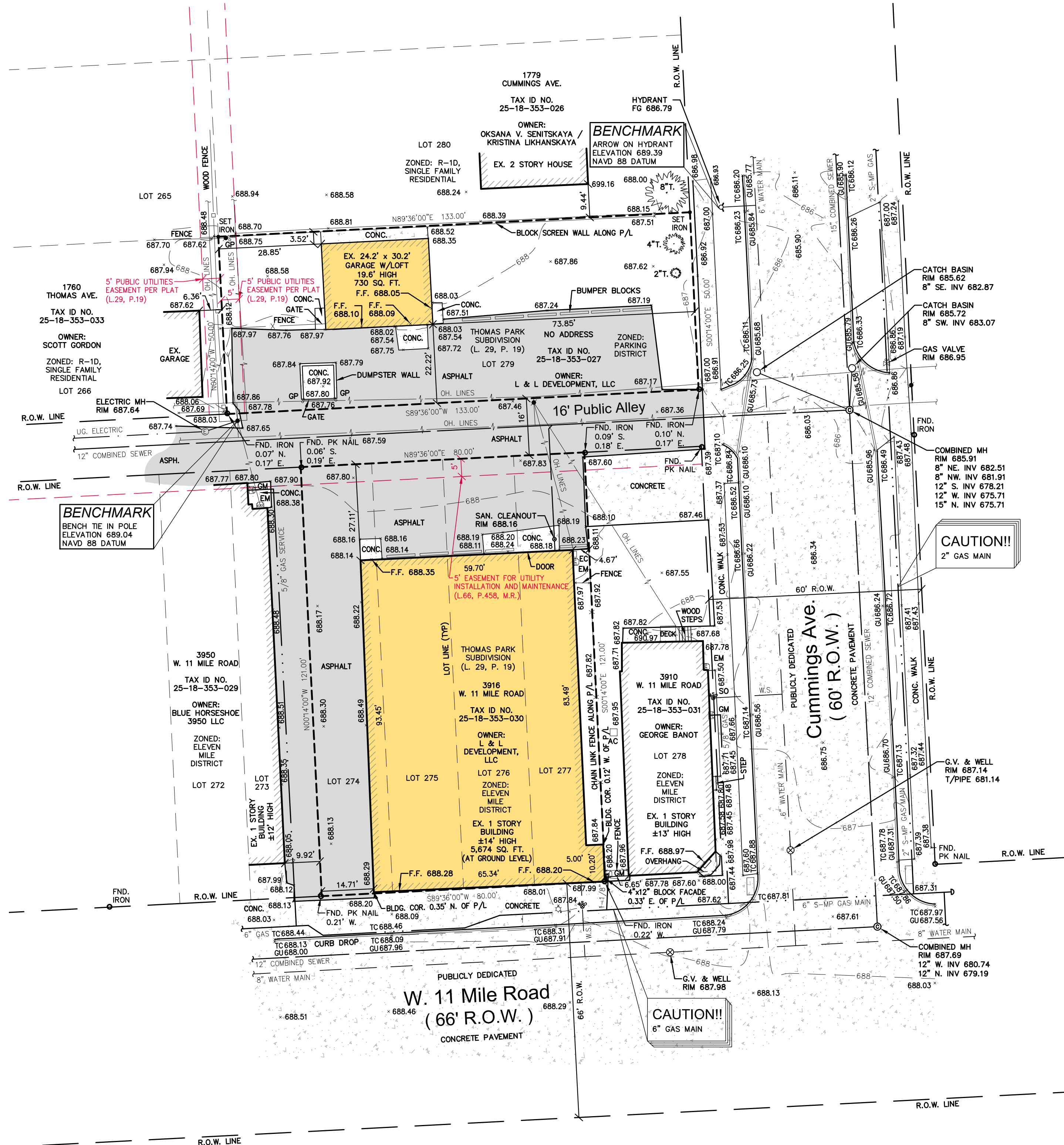
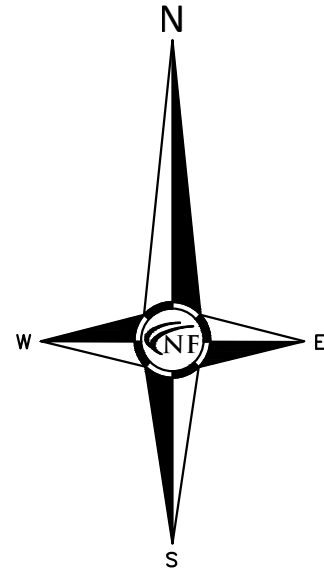
2020.153

QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT
3916 ELEVEN MILE RD.
BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

SKETCH PLAN REVIEW

MARCH 2, 2022



TITLE REPORT NOTES

REFERENCE TITLE CONNECT (AGENT FOR: NORTH AMERICAN TITLE INSURANCE COMPANY) COMMITMENT NUMBER: TC13-89984C, COMMITMENT DATE: DECEMBER 11, 2019.

SCHEDULE B, PART II - EXCEPTIONS:

EXCEPTIONS: 1, 2, 5, 6, 12, 13, 14 AND 15 REFER TO THE OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE.

3. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN THE PUBLIC RECORDS.

4. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT RECORDED IN THE PUBLIC RECORDS.

7. RIGHTS OF THE PUBLIC AND ANY GOVERNMENTAL UNIT IN ANY PART OF THE LAND TAKEN, DEEDED OR USED FOR STREET, ROAD OR HIGHWAY PURPOSES.

8. COVENANTS, CONDITIONS AND RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 66MR, PAGE 488, OAKLAND COUNTY RECORDS. (RESTRICTIONS: C) NO BUILDING SHALL BE ERECTED ON ANY RESIDENTIAL BUILDING PLOT NEARER THAN 30 FEET TO THE FRONT LOT LINE, NOR NEARER THAN 5 FEET TO ANY SIDE STREET LINE. NO BUILDING, EXCEPT A GARAGE OR OTHER OUTBUILDING LOCATED 100 FEET OR MORE FROM THE FRONT LOT LINE, SHALL BE LOCATED NEARER THAN 5 FEET TO ANY SIDE LOT LINE. D) NO RESIDENTIAL STRUCTURE SHALL BE ERECTED OR PLACED ON ANY BUILDING PLOT, WHICH PLOT HAS AN AREA OF LESS THAN 6600 SQUARE FEET NOR A WIDTH OF LESS THAN 50 FEET AT THE FRONT BUILDING SET BACK LINE, EXCEPT THAT A RESIDENCE MAY BE ERECTED OR PLACED ON LOTS 236, 233, 309, 322, 335, 349, 365, 403 AND 421 AS SHOWN ON THE RECORDED PLAT. I) AN EASEMENT IS RESERVED OVER THE REAR FIVE FEET OF EACH LOT FOR UTILITY INSTALLATION AND MAINTENANCE. (PLOTTED HEREON) J) NO BUILDING SHALL BE ERECTED ON ANY LOT FRONTING ON NORTH AND SOUTH STREETS NEARER THAN 10 FEET TO THE SOUTH SIDE LOT LINE NOR NEARER THAN 5 FEET TO THE NORTH SIDE LOT LINE. AND NO BUILDING SHALL BE ERECTED ON ANY LOT FRONTING ON EAST AND WEST STREETS NEARER THAN 10 FEET TO THE WEST SIDE LOT LINE NOR NEARER THAN 5 FEET TO THE EAST SIDE LOT LINE.

9. SUBJECT TO THE EASEMENTS, RESTRICTIONS AND RESERVATIONS CONTAINED IN THE THOMAS PARK PLAT RECORDED AT LIBER 29, PAGE(S) 19, OAKLAND COUNTY RECORDS. (PLOTTED HEREON)

10. INTEREST OF OTHERS IN OIL, GAS AND MINERAL RIGHTS, IF ANY, WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS.

11. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER AND THAT MAY BE PRODUCED FROM THE CAPTIONED LAND.

16. RIGHTS OF TENANTS UNDER ANY UNRECORDED LEASES, AS TO TENANTS ONLY.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND NO MAP HAS BEEN PUBLISHED FOR THIS COMMUNITY ACCORDING TO THE MAP INDEX FOR OAKLAND COUNTY, INDICATING MAP NUMBER 26125C0677F, PANEL NOT PRINTED.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A200520244, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEYOR HAS REFLECTED ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON FEBRUARY 21, 2020. THE SURVEYOR ONLY REFLECTED THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

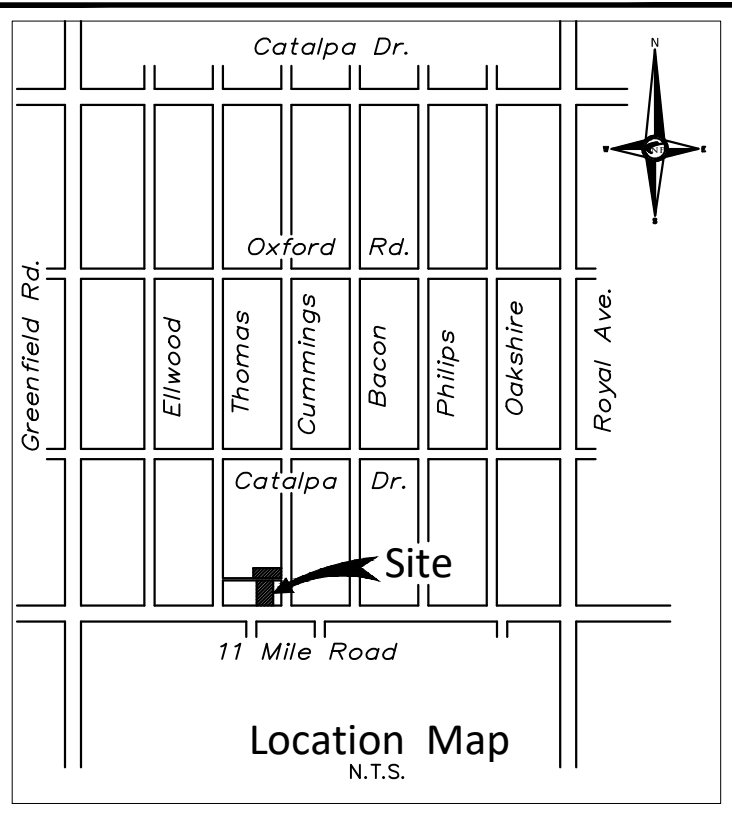
CERTIFICATE OF SURVEY

CERTIFIED TO:

-KLAR FAMILY INVESTMENTS, LLC
-L & L DEVELOPMENT, LLC, A MICHIGAN LIMITED LIABILITY COMPANY
-TITLE CONNECT
-NORTH AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 17, 2020.

KEVIN NAVAROLI, P.S. NO. 53503
DATE: 4-14-2020



LEGAL DESCRIPTION - PER TITLE COMMITMENT

LAND SITUATED IN THE CITY OF BERKLEY, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

LOTS 274, 275, 276, 277 AND 279, THOMAS PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 29 OF PLATS, PAGE 19, OAKLAND COUNTY RECORDS.

ADDRESS: 3916 W 11 MILE ROAD, BERKLEY, MI 48072
TAX ID NUMBER: 25-18-353-026 (LOTS 274-277)
25-18-353-027 (LOT 279)

SURVEY DATA

SITE AREA:
LOTS 274-277: 9,679.96 SQUARE FEET OR 0.222 ACRES
LOT 279: 6,649.97 SQUARE FEET OR 0.153 ACRES
TOTAL: 16,329.93 SQUARE FEET OR 0.375 ACRES

ZONED:
LOTS 274-277: ELEVEN MILE DISTRICT
LOT 279: PARKING DISTRICT

PARKING SPACES:
LOTS 274-277: NO STRIPED PARKING SPACES
LOT 279: NO STRIPED PARKING SPACES

MAXIMUM BUILDING HEIGHT:
ELEVEN MILE DISTRICT: 40 FEET
PARKING DISTRICT: 15 FEET

BUILDING SETBACKS:
ELEVEN MILE DISTRICT: FRONT: 10 FEET (J, K) (M) 10 FEET
PARKING DISTRICT: 10 FEET (J, K) (M) 10 FEET

(J): PARKING SHALL BE PERMITTED IN THE FRONT YARD AFTER APPROVAL OF THE PARKING PLAN LAYOUT AND POINTS OF ACCESS BY THE PLANNING COMMISSION. THE SETBACK SHALL BE MEASURED FROM THE NEAREST SIDE OF EXISTING AND/OR PROPOSED RIGHT-OF-WAY LINES.

(K): FRONT YARD SETBACKS SHALL BE TEN FEET OR EQUAL TO THE SETBACK OF THE ADJACENT BUILDINGS, WHICHEVER IS LESS.

(M): NO SIDE YARDS ARE REQUIRED ALONG THE INTERIOR SIDE LOT LINES EXCEPT AS OTHERWISE SPECIFIED IN THE BUILDING CODE. ON THE EXTERIOR SIDE YARD THAT BORDERS ON A RESIDENTIAL DISTRICT, THERE SHALL BE PROVIDED A SETBACK OF AT LEAST TEN FEET ON THE SIDE OR RESIDENTIAL STREET.

A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERESTED PARTY OR AN INTEREST OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BERKLEY TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THERE IS NO VISIBLE EVIDENCE OF ANY WETLAND AREAS.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE PROPERTY AS DETERMINED BY OBSERVED EVIDENCE OR EVIDENCE FROM PLANS REQUESTED BY THE SURVEYOR AND OBTAINED FROM UTILITY COMPANIES.

THE SUBJECT PROPERTY HAS ACCESS TO 11 MILE ROAD, BEING A PUBLICLY DEDICATED ROAD AND THROUGH A PUBLIC ALLEY.

BASIS OF BEARING NOTE

ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED WEST RIGHT-OF-WAY LINE OF CUMMINGS AVENUE (60' WIDE) OF THOMAS PARK SUBDIVISION AS RECORDED IN LIBER 29 OF PLATS, PAGE 19, OAKLAND COUNTY RECORDS. (N.014°W.)

LEGEND

MANHOLE(MH)	EXISTING SANITARY SEWER
CO	EXISTING SAN. CLEAN OUT
HYDRANT(HYD)	GATE VALVE(GV)
MANHOLE(MH)	EXISTING WATER MAIN
CATCH BASIN(CB)	EXISTING STORM SEWER
CBB	EX. BEEHIVE CATCH BASIN
UTILITY POLE	EX. UNDERGROUND (UG.) CABLE
GUY POLE	OVERHEAD (OH.) LINES
LP	LIGHT POLE
WIRE	SIGN
SPK	EXISTING GAS MAIN
(R)	RECORD
(M)	MEASURED
P/L	PROPERTY LINE
SO	SHUT OFF
GM	GAS METER
EM	ELECTRIC METER
EC	ELECTRIC CABINET
AC	AIR CONDITIONING UNIT
GP	GUARD POST
ASPH.	ASPHALT
CONC.	CONCRETE
FD. / FND.	FOUND
RET. WALL	RETAINING WALL
R.O.W.	RIGHT-OF-WAY
SPK	SET PK NAIL
(TYP)	TYPICAL
(R)	RECORD
(M)	MEASURED
P/L	PROPERTY LINE
SO	SHUT OFF
GM	GAS METER
EM	ELECTRIC METER
EC	ELECTRIC CABINET
AC	AIR CONDITIONING UNIT
GP	GUARD POST



NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

SEAL

PROJECT

3916 11 Mile Road
Berkley, MI 48072-1005

CLIENT

Quality Roots

PROJECT LOCATION

Part of the SW 1/4
of Section 18
T.1N., R.11E.,
City of Berkley,
Oakland County, Michigan

SHEET

ALTA/NSPS Land Title /
Topographic Survey



DATE ISSUED/REVISED

DATE	ISSUED/REVISED
02-21-20	PRELIMINARY SURVEY ISSUED
02-25-20	SURVEY ISSUED
04-14-20	REVISED PER CLIENT
12-07-20	CONCEPT SITE LAYOUT
02-22-22	REVISED CONCEPT SITE LAYOUT
02-22-22	REVISED CONCEPT SITE LAYOUT
03-02-22	SKETCH SITE PLAN REVIEW

DRAWN BY:

M. Carnaghi

DESIGNED BY:

APPROVED BY:

K. Navaroli

DATE:

February 25, 2020

SCALE: 1" = 20'

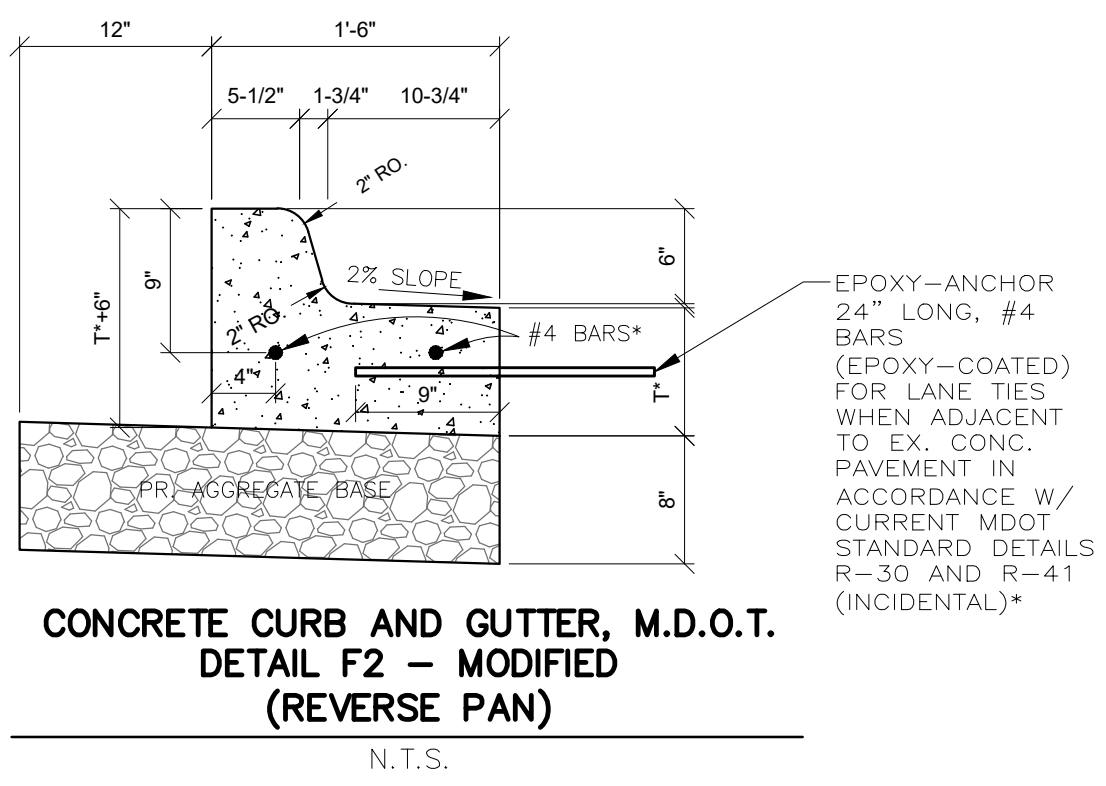
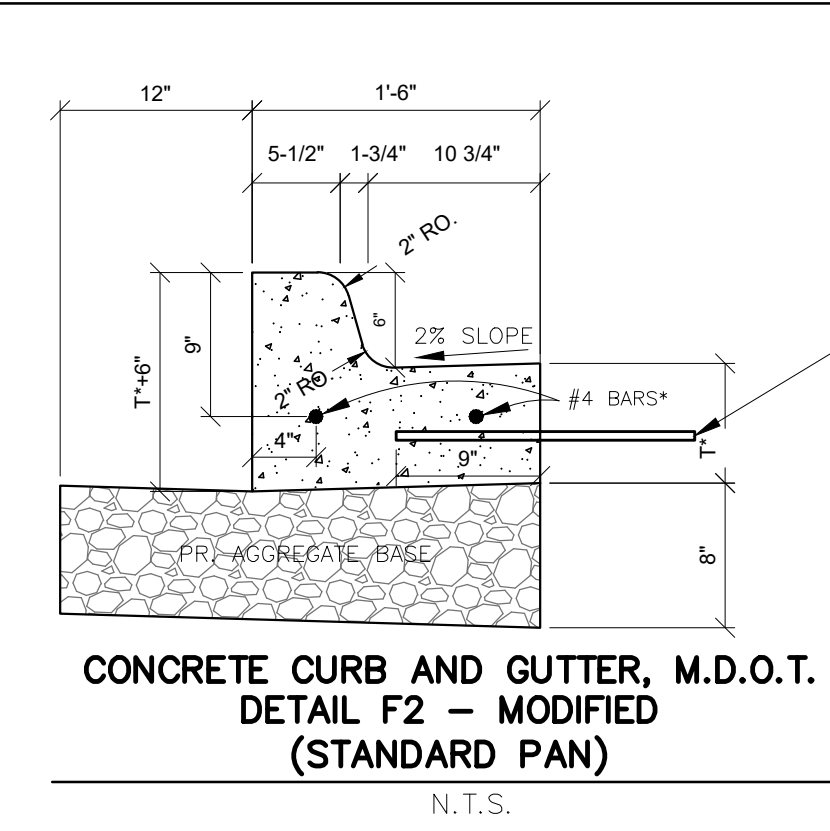
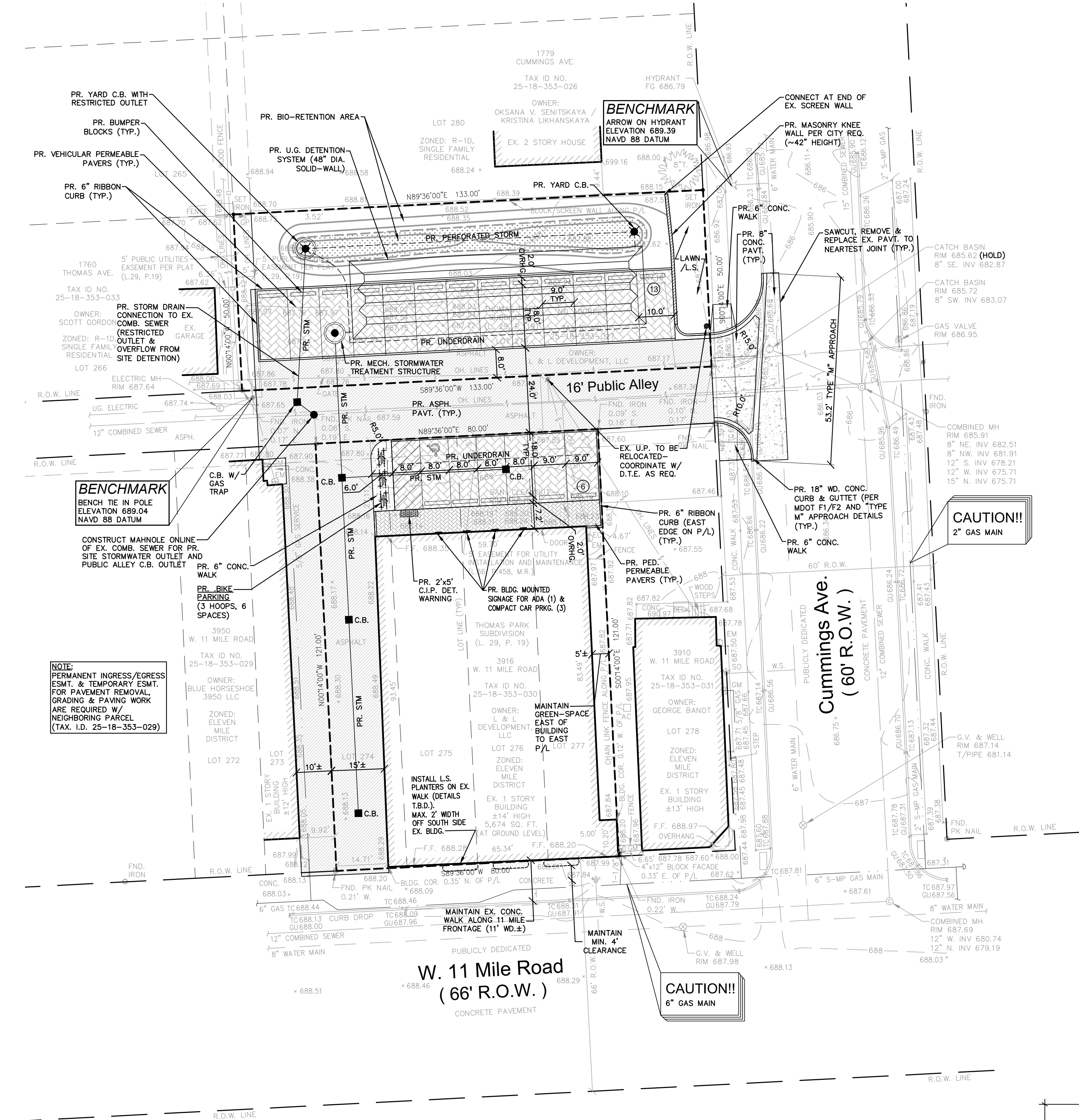
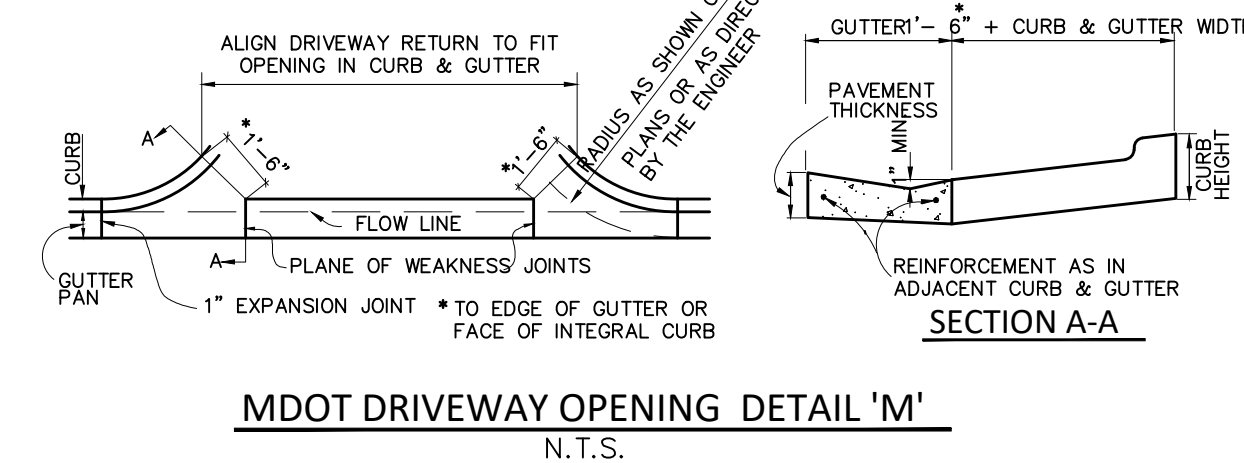
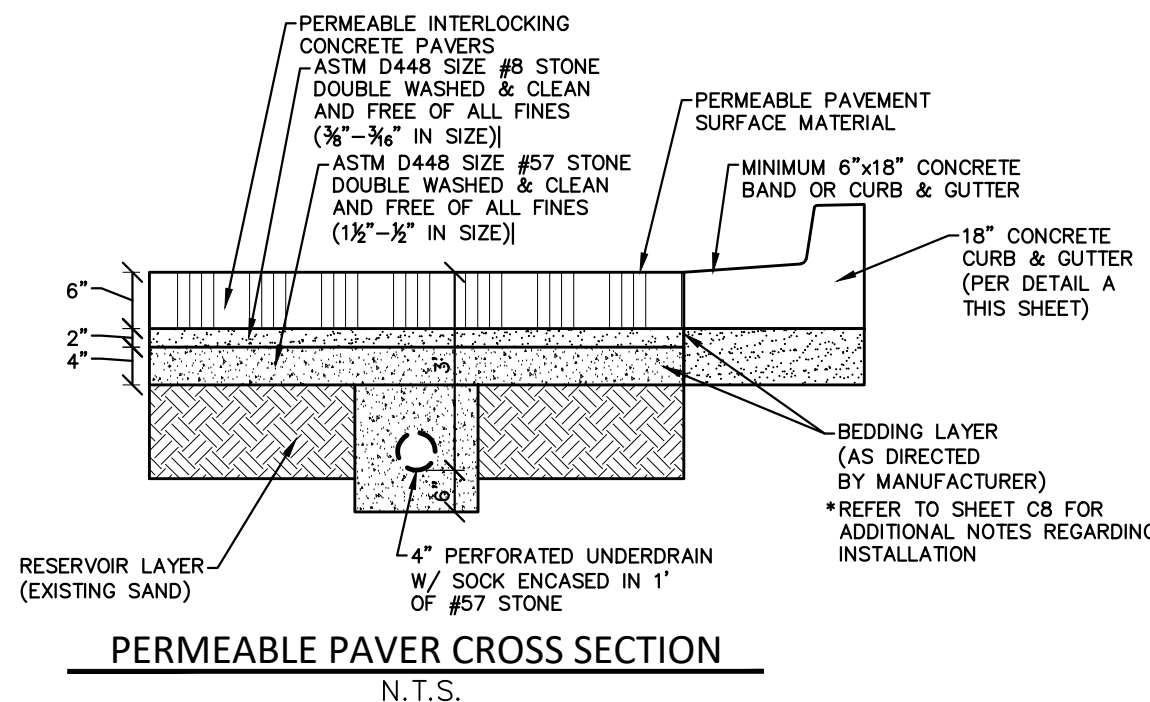
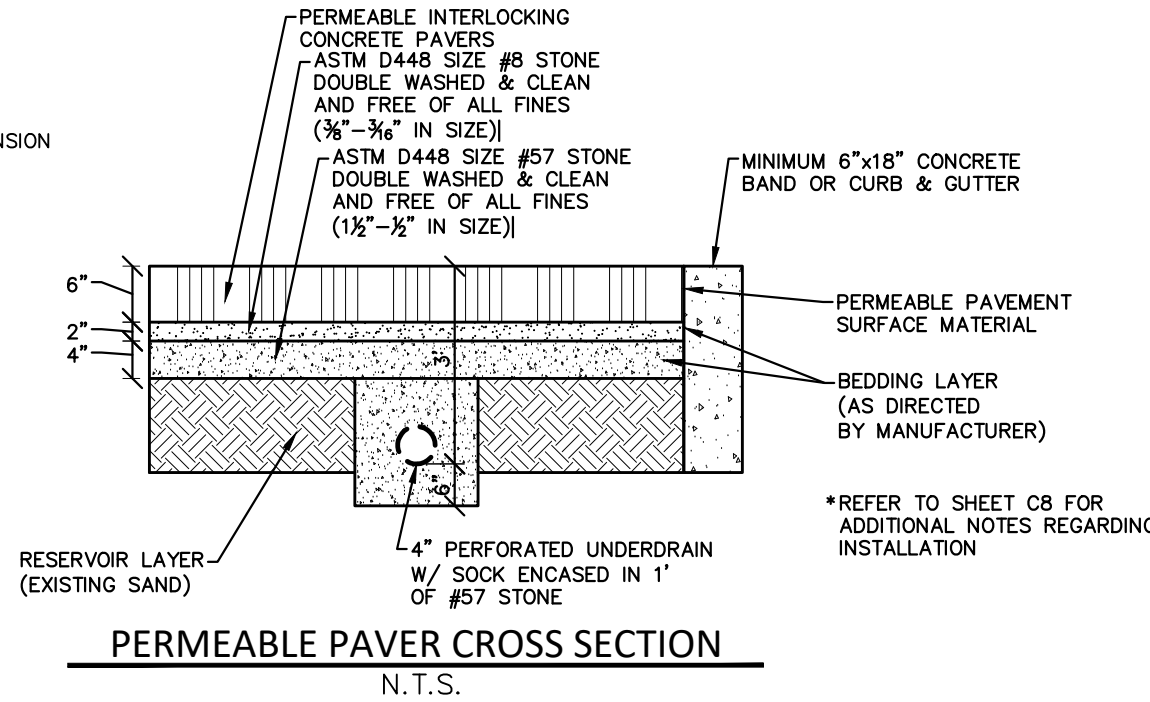
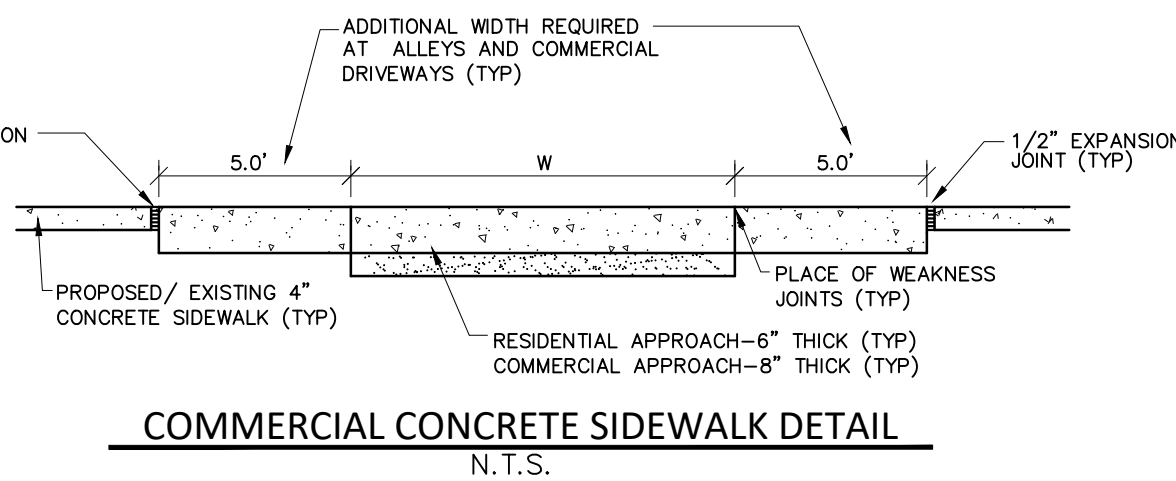
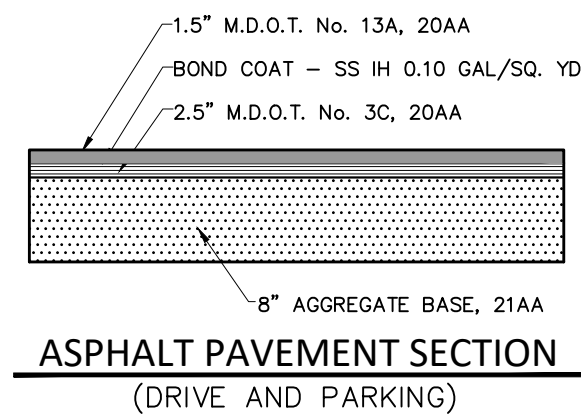
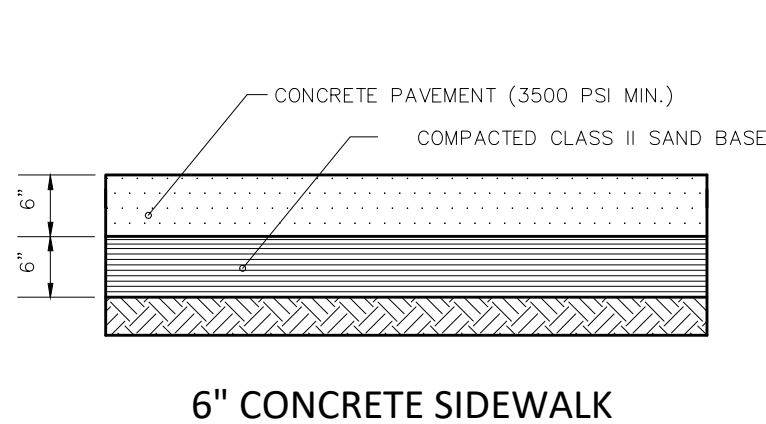
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NFE JOB NO.

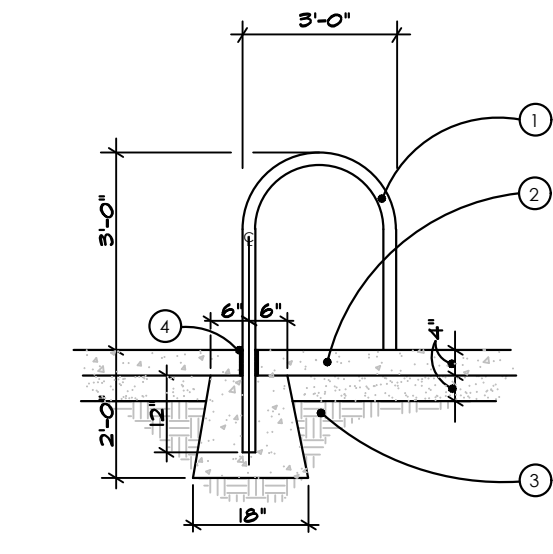
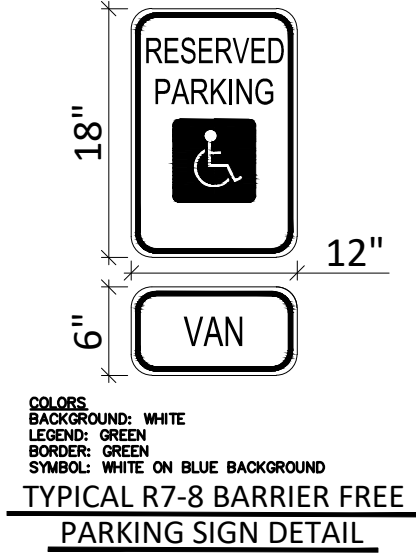
C360-02

SHEET NO.

1 of 1



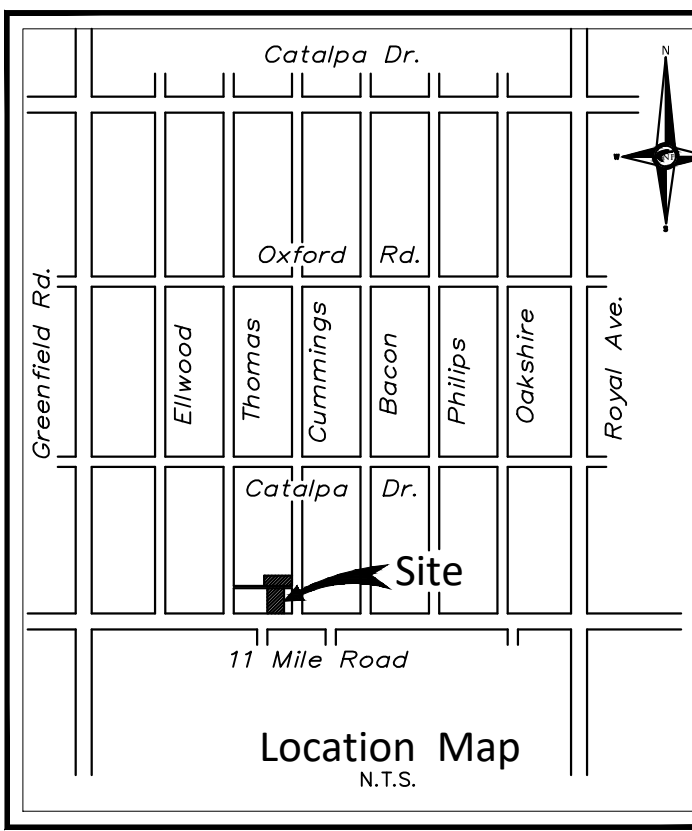
- GENERAL PAVING NOTES
- 1. "T" IS EQUAL TO THE THICKNESS & SLOPE IS EQUAL TO THE CROSS-SLOPE OF THE CONCRETE PAVEMENT WHEN CURB & GUTTER IS POURED INTEGRAL TO THE PAVEMENT.
- 2. OMIT #4 LONGITUDINAL EPOXY COATED BARS WHEN CURB & GUTTER IS POURED INTEGRAL TO THE PAVEMENT OR TIED TO A NON-REINFORCED CONCRETE PAVEMENT.
- 3. PROPOSED CURB HEIGHTS INDICATED ARE TYPICAL, AND VARY WHERE INDICATED ON PLAN. CURB HEIGHTS SHALL MATCH EXISTING AT REPAIR LIMITS.
- 4. PROVIDE COMPACTED 21AA CRUSHED LESTON AGGREGATE BASE UNDER CURB & GUTTER AND WITHIN 12" MINIMUM BEYOND BACK OF CURB; THICKNESS TO MATCH AGGREGATE BASE LAYER THICKNESS OF ADJACENT PROPOSED PAVEMENT.
- 5. OMIT 24" LONG #4 EPOXY COATED BARS WHEN CURB & GUTTER IS POURED INTEGRAL TO THE PAVEMENT.



- 1. POWDER COATED BIELOOP, COLOR SHALL BE BLACK.
- 2. 4" CONC. SLAB THICKENED TO ACCEPT BIELOOP INSTALLATION OR 4" COMP. SAND AS SHOWN.
- 3. COMP. SUBGRADE TO 95% MOD. PROC.
- 4. EXPANSION JOINT W/ SEALANT-SEE SPECS.

PAVING LEGEND	
	PROPOSED CONCRETE PAVT./WALK
	PROPOSED ASPHALT PAVEMENT
	PROPOSED PERMEABLE PAVERS (VEHICLE CROSS-SECTION)
	PROPOSED PERMEABLE PAVERS (VEHICLE CROSS-SECTION)

LEGEND	
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE



50 NF ENGINEERS
1969 - 2019

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LAND SURVEYORS
LAND PLANNERS

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PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM

SEAL

PROJECT
3916 11 Mile Road
Berkley, MI 48072-1005

CLIENT
Quality Roots

PROJECT LOCATION
Part of the SW 1/4
of Section 18
T.1N., R.11E.,
City of Berkley,
Oakland County, Michigan

SHEET
Overall Site Plan



DATE	ISSUED/REVISED
02-21-20	PRELIMINARY SURVEY ISSUED
02-25-20	SURVEY ISSUED
04-14-20	REVISED PER CLIENT
12-07-20	CONCEPT SITE LAYOUT
02-22-22	REVISED CONCEPT SITE LAYOUT
02-22-22	REVISED CONCEPT SITE LAYOUT
03-02-22	SKETCH SITE PLAN REVIEW

DRAWN BY:
P. Tulikangas

DESIGNED BY:
P. Tulikangas

APPROVED BY:
B. Buchholz

DATE:
February 25, 2020






SCALE: 1" = 20'

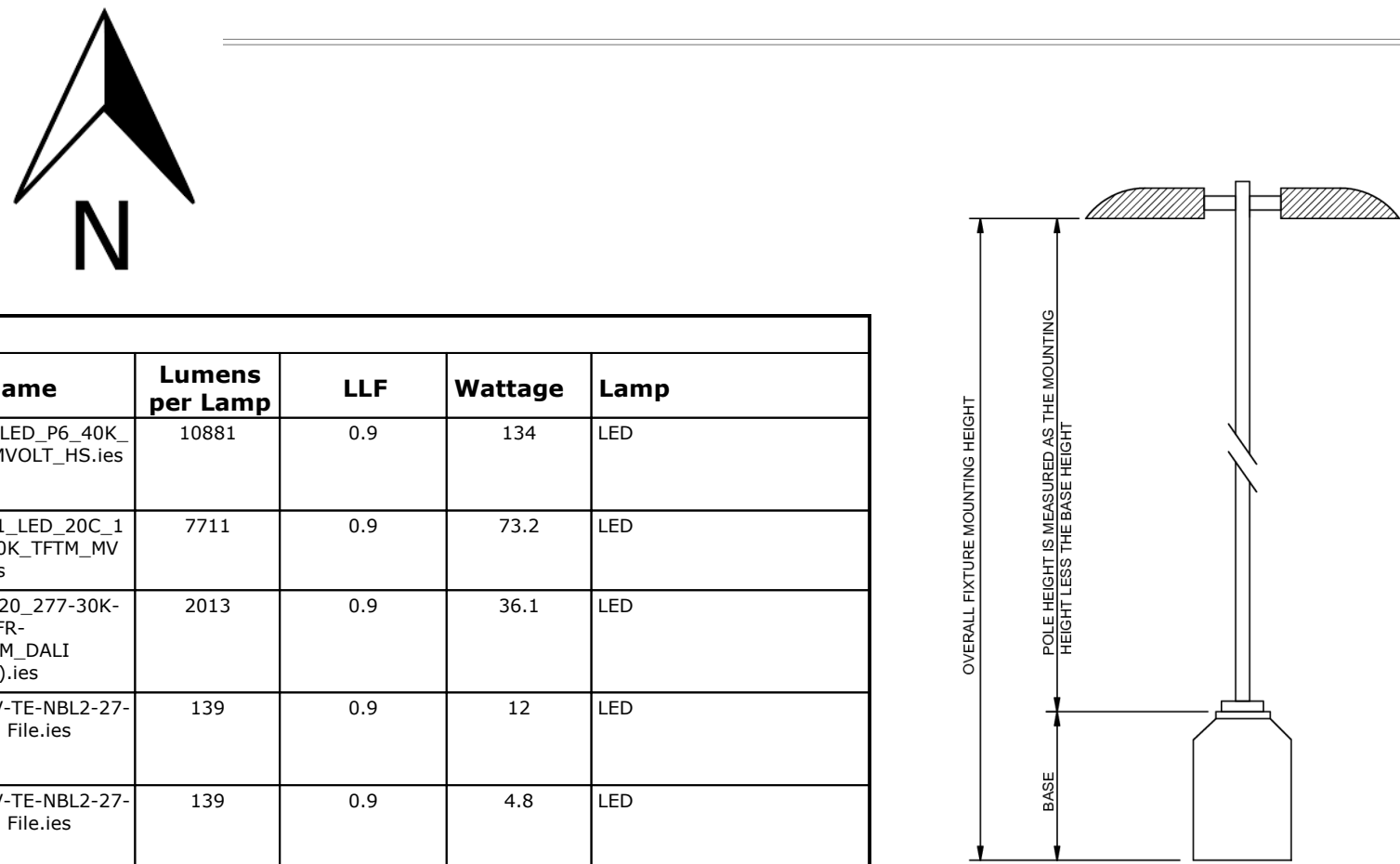
NFE JOB NO. 360-02 SHEET NO. C1

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS
DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA
CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

[illegible][illegible]

Schedule											
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage	Lamp
	A	3	Lithonia Lighting	DSXO LED P6 40K T5W MVOLT HS	DSXO LED P6 40K T5W MVOLT with houseside shield	1	DSXO_LED_P6_40K-T5W_MVOLT_HS.ies	10881	0.9	134	LED
	B	9	Lithonia Lighting	DSXW1 LED 20C 1000 40K TFTM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K, @ 1000ma.	1	DSXW1_LED_20C_1000_40K_TFTM_MVOLT.ies	7711	0.9	73.2	LED
	C	18	LUMENPULSE	LBIL-120_277-30K-WW-SFR-NO_DIM_DALI (TILT5)	LUMENBEAM INGROUND LARGE	1	LBIL-120_277-30K-WW-SFR-NO_DIM_DALI (TILT5).ies	2013	0.9	36.1	LED
	D	13	DIODELED	2.4w/ft 5ft run	5ft	1	DI-24V-TE-NBL2-27-32-IES File.ies	139	0.9	12	LED
	E	2	DIODELED	2.4w/ft 2ft run	2ft	1	DI-24V-TE-NBL2-27-32-IES File.ies	139	0.9	4.8	LED





BIRDS EYE VIEW LOOKING SOUTHWEST (NIGHT TIME)
SCALE: N.T.S.



EXTENSIVE GREEN ROOF | ROOF TOP RAIN GARDEN
WHITE DURO-LAST PVC ROOF (LOCALLY SOURCED)
ROOF MOUNTED SOLAR PANELS
ROOF MOUNTED WIND TURBINES
RAIN BARRELS AT FINISH GRADE
PERMEABLE PAVERS WITH GREEN STORM WATER PLANTERS LOCATED
IN PROPOSED ALLEYWAY. BENCHES TO BE LOCATED ALONG ALLEYWAY

LED LIGHTS ON BUILDING FOR SAFETY
BIKE RACKS
BENCHES
VEGETATIVE BIOSWALE AND RAIN GARDEN LOCATION OF APPROVED ART
INSTALLATION, UNDERGROUND DETENTION BASIN DESIGNED FOR 100 YEAR STORM
ENERGY EFFICIENT LED STREET LAMPS
NON-INVASIVE TREE SPECIES
PERMEABLE PAVERS TO BE INSTALLED AT PARKING STALL LOCATIONS

BIRDS EYE VIEW LOOKING SOUTHWEST (DAY TIME)
SCALE: N.T.S.



2020.153

QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT
3916 ELEVEN MILE RD.
BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

SKETCH PLAN REVIEW

MARCH 2, 2022



BIRDS EYE VIEW LOOKING NORTHBOUND (NIGHT TIME)
SCALE: N.T.S.



ART MURAL TO BE PAINTED ON EXISTING CMU WALL
VEGETATIVE BIOSWALE. LOCATION OF APPROVED ART INSTALLATION.
UNDERGROUND DETENTION BASIN DESIGNED FOR 100 YEAR STORM
PERMEABLE PAVERS TO BE INSTALLED AT PARKING STALL LOCATIONS

SUN SHADE AT SOUTH AND WEST SIDE (REDUCES HEAT GAIN)
LOW-E GLASS

ROOF MOUNTED WIND TURBINES
WHITE DURO-LAST PVC ROOF (LOCALLY SOURCED)
EXTENSIVE GREEN ROOF | ROOF TOP RAIN GARDEN
ROOF MOUNTED SOLAR PANELS
ART MURAL TO BE PAINTED ON EXISTING BUILDING BLOCK WALL W/
LED LIGHTING SITE SAFETY
STORM WATER PLANTERS
BENCHES
GREEN BELT WITH (5) NON-INVASIVE TREE SPECIES

BIRDS EYE VIEW LOOKING NORTHBOUND (DAY TIME)
SCALE: N.T.S.

SKETCH PLAN REVIEW



2020.153
QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT
3916 ELEVEN MILE RD.
BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

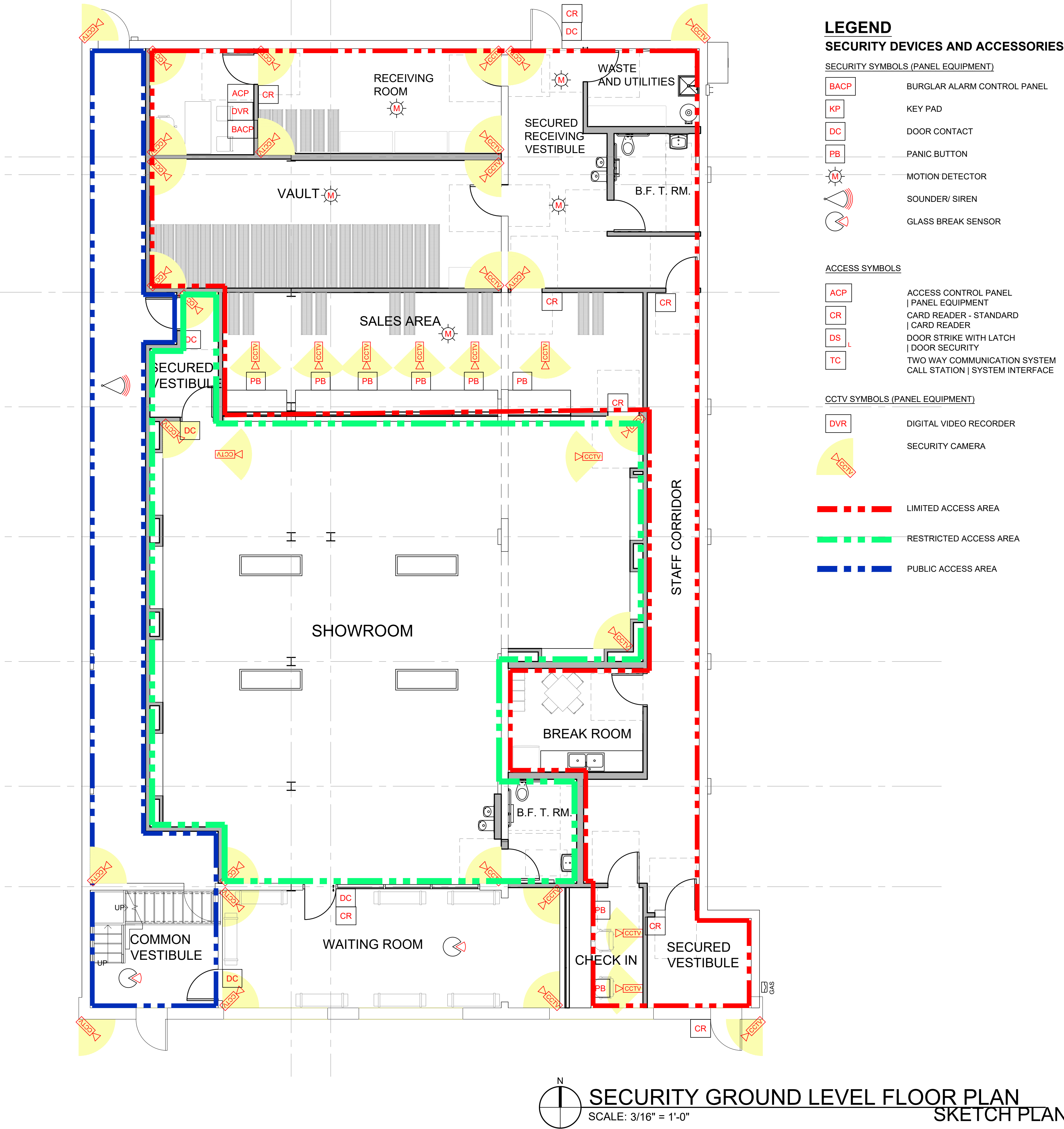
MARCH 2, 2022

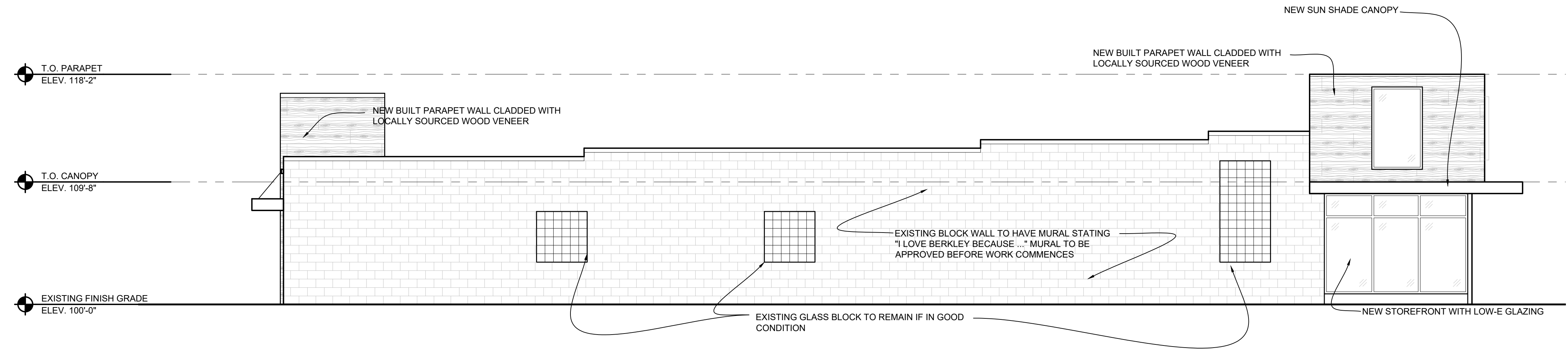
© 2019 STUCKY VITALE ARCHITECTS

QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT

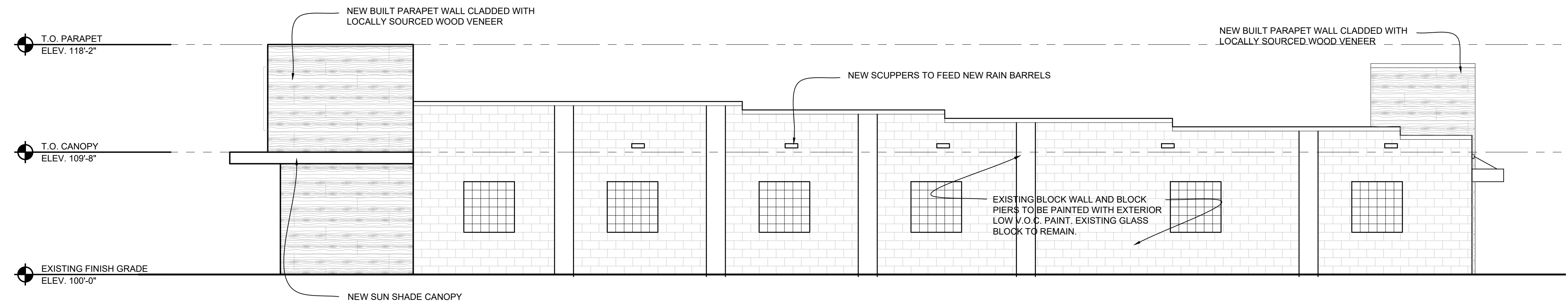
SHEET:
SP1.4



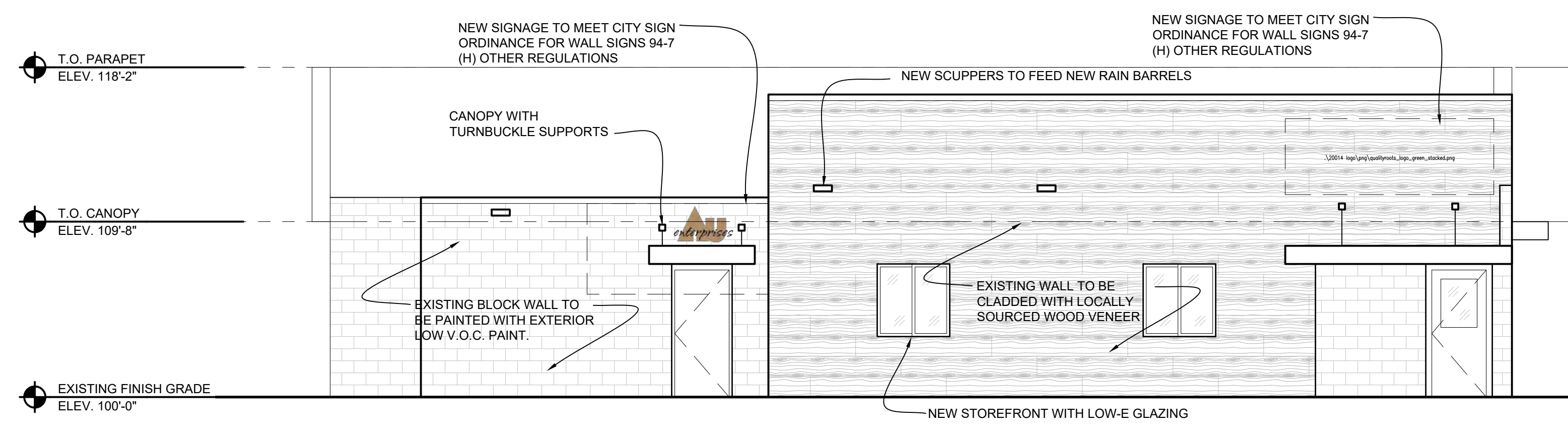




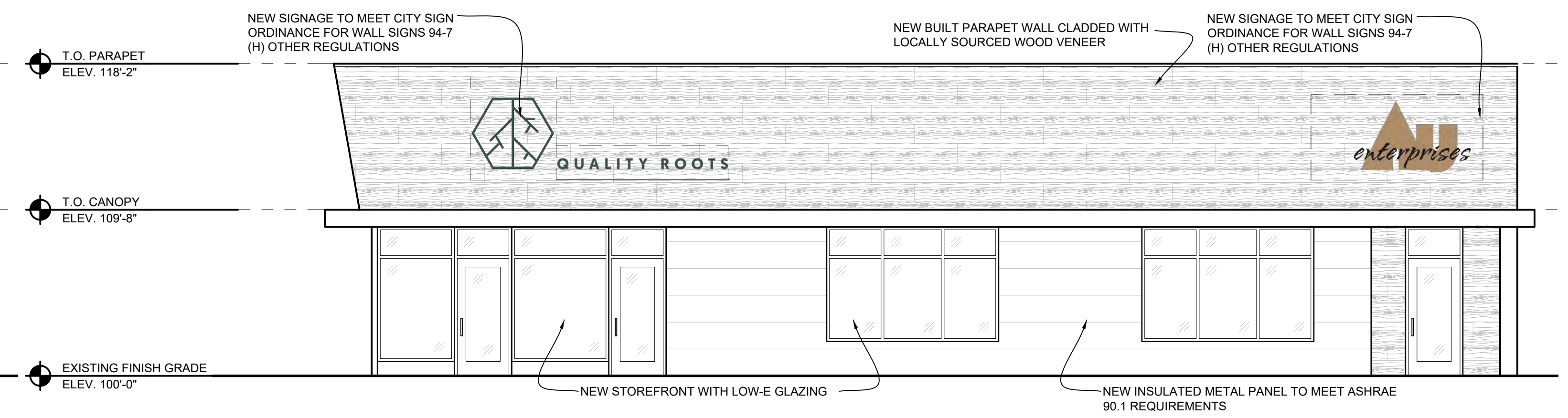
CONCEPTUAL WEST ELEVATION
SCALE: 3/16" = 1'-0"



CONCEPTUAL EAST ELEVATION
SCALE: 3/16" = 1'-0"



CONCEPTUAL NORTH ELEVATION
SCALE: 3/16" = 1'-0"



CONCEPTUAL SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2020.153

QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT
3916 ELEVEN MILE RD.
BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

SKETCH PLAN REVIEW

MARCH 2, 2022

SHEET:
A3.1



EXISTING VIEW FROM 11 MILE
SCALE: N.T.S.



CONCEPTUAL RENDERING VIEW FROM 11 MILE (DAY TIME)
SCALE: N.T.S.



CONCEPTUAL RENDERING VIEW FROM 11 MILE (NIGHT TIME)
SCALE: N.T.S.



2020.153

QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT
3916 ELEVEN MILE RD.
BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

MARCH 2, 2022

SKETCH PLAN REVIEW



EXISTING VIEW FROM REAR PARKING LOT
SCALE: N.T.S.



CONCEPTUAL RENDERING VIEW FROM THE PARKING LOT (DAY TIME)
SCALE: N.T.S.



CONCEPTUAL RENDERING VIEW FROM THE PARKING LOT (NIGHT TIME)
SCALE: N.T.S.



2020.153

QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT
3916 ELEVEN MILE RD.
BERKLEY, MI

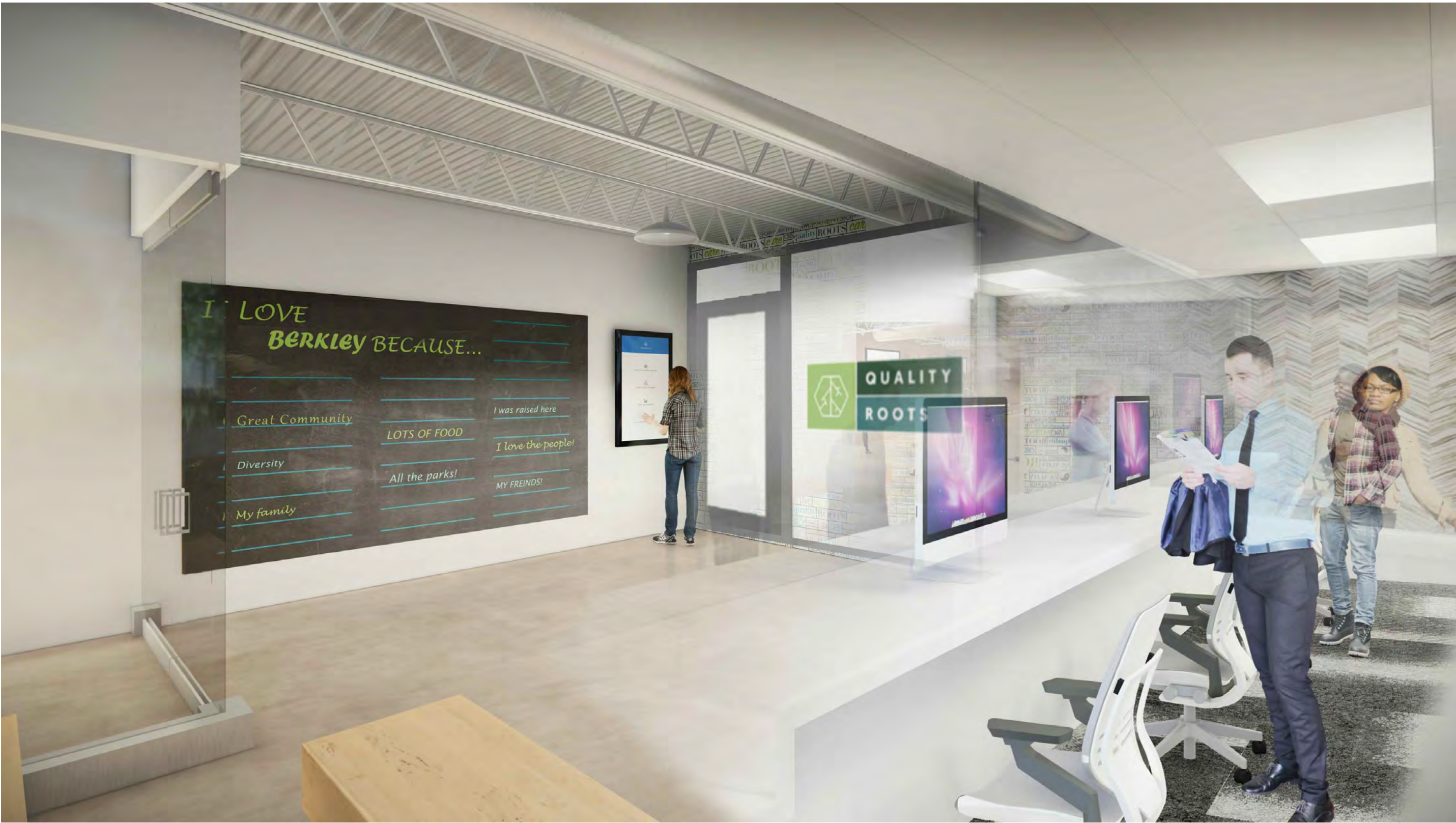
CONCEPTUAL DESIGN PACKAGE

SKETCH PLAN REVIEW

MARCH 2, 2022



INTERIOR RENDERING FROM THE SHOWROOM
SCALE: N.T.S.



INTERIOR RENDERING FROM THE WAITING AREA
SCALE: N.T.S.



INTERIOR RENDERING FROM THE TRANSACTION AREA
SCALE: N.T.S.



2020.153

QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT
3916 ELEVEN MILE RD.
BERKLEY, MI

CONCEPTUAL DESIGN PACKAGE

SKETCH PLAN REVIEW

MARCH 2, 2022

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QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAILER ESTABLISHMENT

SHEET:
A4.1



CITY OF BERKLEY COMMUNITY DEVELOPMENT

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

MEMORANDUM

To: Planning Commission

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: **PSP-07-22, Sketch Plan for Quality Roots Provisioning Center at 3916 W. Eleven Mile**

Date: March 16, 2022

The applicant has asked for a sketch plan review for the proposed renovation of the existing building at 3916 W. Eleven Mile Road as a retail marihuana dispensary and office tenant space. Section 138-681 – Approval Process allow sketch plan review by the Planning Commission as follows:

“Sketch plan (optional). An item may be submitted to the planning commission for informal discussion. No approval shall be granted. However, the applicant may wish to present and discuss a proposed project and any anticipated problems before applying for site plan approval.”

On February 15, 2022, the applicant had a pre-application meeting with staff from myself, DPW Director Schueller, Fire Inspector Kelly, and Eddie Zmich and Mitchell Stark for HRC. The applicant revised the plans and submitted for sketch plan review on March 2, 2022. As no fees are required for sketch plan, the revised plans were not reviewed by this department, the Fire Inspector, DPW or the planning and engineering consultants.

Please note that there are some inconsistencies in the parking layout on the sheets in the sketch plan submitted. Sheet C-1 shows parking spaces along the rear property line in single row, where the site plan renderings (SP1.3 and SP1.4) show stadium style parking (double stacked spaces with no access aisle) in the northeast corner of the site. During the pre-application meeting, the applicant was advised that the stadium style parking did not meet the Zoning Ordinance.

Please come prepared to share your questions and concerns about the sketch plan.

Thank you.

Cc: Matt Baumgarten, City Manager
John Staran, City Attorney
John A. Vitale, applicant's representative

THE CITY OF BERKLEY
Building Department
3338 Coolidge, Berkley, Michigan 48072
(248) 658-3320

NOTICE OF PUBLIC MEETING
BERKLEY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN, in accordance with Section 138-528 and Section 30-806 of the Berkley City Code, that there will be a meeting of the Berkley Planning Commission to be held at the City of Berkley in the Council Chambers, 3338 Coolidge Hwy, Berkley Michigan, on **Tuesday, March 22, 2022** at 7:10 pm, or as near thereto as the matter may be reached.

APPLICATION PSP-07-22

John Vitale, on behalf of L & L Development LLC, 3916 W. Eleven Mile Rd., Parcels #25-18-353-030 and #25-18-353-027, is requesting a sketch plan for the renovation of the existing building to a retail marihuana dispensary and office tenant space.

Complete application information is available for review at www.berkleymich.org/urbanplanning.

Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Building Department or email to comdirector@berkleymich.net before 5:00p.m on the date of the Planning Commission meeting.

You can watch the meeting: <https://www.berkleymich.org/livestream/index.php>

MEGAN MASSON-MINOCK
INTERIM COMMUNITY DEVELOPMENT DIRECTOR

TIM ORAVETZ
1810 CUMMINGS AVE
BERKLEY MI 48072 3249

Occupant
1828 THOMAS AVE
BERKLEY MI 48072 3232

FERSTLE HARDING LLC
26670 HARDING AVE
OAK PARK MI 48237 1043

Occupant
1799 THOMAS AVE
BERKLEY MI 48072 1030

ACER INVESTMENTS LLC
5308 PLEASANT VIEW CT
WEST BLOOMFIELD MI 48323 2222

4000 WEST ELEVEN MILE ROAD II LLC
4000 11 MILE RD
BERKLEY MI 48072 1006

JOAN K BARTH
PAUL F BARTH
2505 TOWNHILL
TROY MI 48084 1029

FERSTLE HARDING LLC
26670 HARDING AVE
OAK PARK MI 48237 1043

Occupant
1800 CUMMINGS AVE
BERKLEY MI 48072 3249

KEVIN KRUEGER
1800 THOMAS AVE
BERKLEY MI 48072 3232

Occupant
15255 W 11 MILE RD
OAK PARK MI 48237 1041

SHAWN P THOMPSON
10501 MORNING LIGHT CT
SOUTH LYON MI 48178 8043

BARRY MCMINN
ANNE MCMINN
1780 CUMMINGS AVE
BERKLEY MI 48072 1015

JOLE LLC
313 E HUDSON AVE
ROYAL OAK MI 48067 3712

4000 WEST ELEVEN MILE ROAD II LLC
4000 11 MILE RD
BERKLEY MI 48072 1006

Occupant
3890 11 MILE RD
BERKLEY MI 48072 1004

4000 WEST ELEVEN MILE ROAD II LLC
4000 11 MILE RD
BERKLEY MI 48072 1006

PHILLIP ZANG
1789 CUMMINGS AVE
BERKLEY MI 48072 1014

BGB INVESTORS LLC
740 WELCH RD
COMMERCE TOWNSHIP MI 48390 3812

BELINDA MIESCH
JOHN MIESCH
1827 CUMMINGS AVE
BERKLEY MI 48072 1076

SARAH M RABE
JASON DREWEK
1828 CUMMINGS AVE
BERKLEY MI 48072 3249

OKSANA SENITSKAYA
1779 CUMMINGS AVE
BERKLEY MI 48072 1014

Occupant
1809 THOMAS AVE
BERKLEY MI 48072 3234

JONATHAN RAWLIK
KATELYN TERBRACK
1780 THOMAS AVE
BERKLEY MI 48072 1031

Occupant
3800 11 MILE RD
BERKLEY MI 48072 1004

RONALD SMITH
SUSAN SMITH
1071 MAYNARD PATH
THE VILLAGES FL 32163 5636

Occupant
1789 BACON AVE
BERKLEY MI 48072 1008

BERKLEY ONE LLC
14790 LORETTA PL
OAK PARK MI 48237 1016

L & L DEVELOPMENT LLC
3916 11 MILE RD
BERKLEY MI 48072 1005

NEIL KASPER
3040 GOODRICH ST
FERNDAL MI 48220 1071

Occupant
3910 11 MILE RD
BERKLEY MI 48072 1005

GEORGE WAMBAUGH
JASON WAMBAUGH
1760 CUMMINGS AVE
BERKLEY MI 48072 1015

AARON W FEYS
1845 CUMMINGS AVE
BERKLEY MI 48072 1076

GEORGE BANOT
18536 HILLCREST ST
LIVONIA MI 48152 3338

Occupant
3966 11 MILE RD
BERKLEY MI 48072 1005

Occupant
15101 W 11 MILE RD
OAK PARK MI 48237 1004

STEPHEN BATSON
JANET BATSON
1809 BACON AVE
BERKLEY MI 48072 1062

DAMICO REAL ESTATE INVESTMENTS LLC
20700 BREEZEWOOD CT
BEVERLY HILLS MI 48025 2822

CORSAUT BUILDING VENTURES LLC
26640 HARDING ST
OAK PARK MI 48237 1043

CORSAUT BUILDING VENTURES LLC
26640 HARDING ST
OAK PARK MI 48237 1043

L & L DEVELOPMENT LLC
3916 11 MILE RD
BERKLEY MI 48072

JAMES OZANICH
1844 CUMMINGS AVE
BERKLEY MI 48072 3249

SCOTT GORDON
1760 THOMAS AVE
BERKLEY MI 48072 1031

SHERRI S SMITH
1846 THOMAS AVE
BERKLEY MI 48072 3232

CORSAUT BUILDING VENTURES LLC
26640 HARDING ST
OAK PARK MI 48237 1043

Occupant
14925 W 11 MILE RD
OAK PARK MI 48237 1013

Occupant
3950 11 MILE RD
BERKLEY MI 48072 1005

RAINE VENTURES LLC
26640 HARDING ST
OAK PARK MI 48237 1043

BLUE HORSESHOE 3950 LLC
18311 W 10 MILE RD STE 200
SOUTHFIELD MI 48075 2623

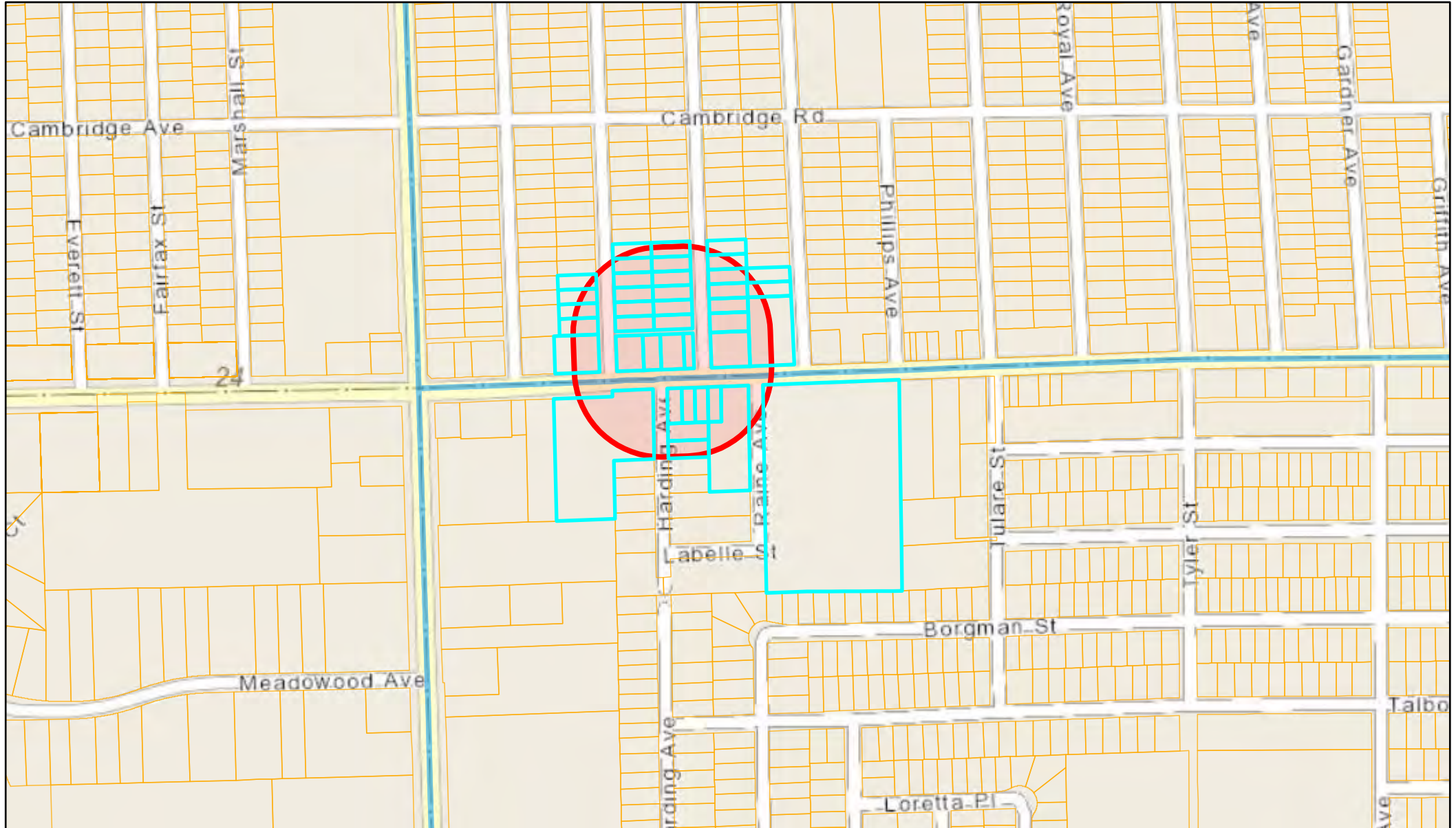
G F BOYCE
1809 CUMMINGS AVE
BERKLEY MI 48072 1076

CORSAUT BUILDING VENTURES LLC
26640 HARDING ST
OAK PARK MI 48237 1043

MARK A NESBITT
1810 THOMAS AVE
BERKLEY MI 48072 3232

CORSAUT BUILDING VENTURES LLC
26640 HARDING ST
OAK PARK MI 48237 1043

3916 11 Mile Mailing

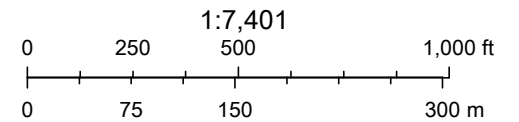


Wed Mar 02 2022

Override 1

Override 1

RCOCAppMapService_5220



March 14, 2022

Re: 3737 Twelve Mile Rd., 25-18-126-020

Dear Planning Commission,

3737 Twelve Mile, LLC is pleased to submit documents for Site Plan Review for the redevelopment of 3737 Twelve Mile Rd. We are asking for conditional approval on a geotechnical report due to existing buildings on site and timing based on bank financing. We are currently under contract to buy the property and were given a relatively short due diligence phase to get site plan review approval. Without approval or approval with conditions, our bank can't finance the project, and the seller of the property has the right not to extend our contract. We are aware of the clay soil conditions in Berkley, and our stormwater system is designed with that in mind. We will submit our findings to the city before or during the building permit phase.

Sincerely,
Daniel Stakhiv
3737 Twelve Mile, LLC
248-763-0401

Date: 03/14/2022

Ms. Megan Masson-Minock
Community Development Director
City of Berkley

Re: Proposed Storm Sewer Management System at 3737 12-Mile Rd, Berkley

Dear Ms. Megan Masson-Minock:

We have designed the proposed storm sewer system to store the runoff water within a 72" diameter perforated pipe. Also, as part of this system, we are using the voids in the stone surrounding the pipe to store at stone porosity ratio of 20%. The runoff water will be stored within the perforated pipe and surrounding stone then will be release into the city sewer system.

We took into consideration the nature of city clayey soil. Our design has not counted for any infiltration into the soil from the proposed system. Infiltration rate has been assumed to be 0.0 in/hr.

Please let me know if you have any questions

Sincerely,

Ghassan Khalaf

Ghassan Khalaf, P.E.

Tel: 313-377-9449

E-mail: gkci@outlook.com

March 14, 2022

**RE: Site Plan Review Comments
The Phillip Rowhomes
3737 Twelve Mile
Berkley, Michigan**

Megan,

The following is an itemized response to the comments contained within HRC Site Plan Review Letter dated March 7, 2022

General

1. A Road Commission for Oakland County (RCOC) permit will be required for proposed work within the 12-Mile Road right-of-way as well as for construction signage.

Note is added to sheet C-02 and will be provided during building permit.

2. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required.

Has been provided to county/city and notes added to plans.

3. All existing utilities and service leads must be shown on the plans.

Plans has been revised accordingly.

Water and Fire Protection Services

1. As discussed in the pre-application meeting, the proposed water service must connect to the 12" water main in Twelve Mile Road, rather than the 6" main in Phillips Ave. The City was open to allowing the stormwater connection to be made in Phillips Ave to avoid utilities running under the proposed building.

Water service line is branching from 12-Mile Road (sheet C-02)

Storm Drainage and Detention/Sanitary Sewer

2. A geotechnical investigation must be performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs must be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system.

We are requesting for conditional approval with geotechnical report to be submitted with building permit. This is due to the existing buildings on the site and the bank financing/closing is based on building design approval. We have a very limited due diligence phase to get site plan review done.

3. This office has conducted a review of the stormwater calculations. The plans include 100-year stormwater detention volume calculations in accordance with current Oakland County WRC standards, as well as details and calculations showing the provided storage from the proposed stormwater management system. As such, the system appears to be adequately sized to detain stormwater from the proposed development, however, the feasibility of the proposed system in regards to the site soils must be confirmed through the geotechnical investigation as stated above.
4. Note that downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area. They may also be directed through the proposed restricted-outlet structure. The location of the proposed downspouts and the above note must be shown on the plans.

Downspouts discharge into grass areas (Sheet C-02)

5. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction.

Storm management agreement and exhibits will be prepared during the permitting process.

6. A note indicates the existing building sanitary lead will remain in place and be re-utilized. The applicant must have the sanitary lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction.

Note is added on sheet C-02

7. The existing sanitary sewer leads must be properly abandoned via a spot liner or another DPW approved method. The Applicant is responsible for any roadwork and restoration associated with the new utility connections which must be shown on the submitted plans.

Note is added on sheet C-02

Should you have any questions, please do not hesitate to contact me.

Sincerely,
Daniel Stakhiv
3737 Twelve Mile, LLC
248-763-0401

March 14, 2022

**RE: Site Plan Review Comments
The Phillip Rowhomes
3737 Twelve Mile
Berkley, Michigan**

Megan,

The following is an itemized response to the comments contained within DPW Site Plan Review Letter dated March 3, 2022

1. The site plans will be reviewed by the City's engineering consultant, Hubbell, Roth & Clark (HRC). Among other things, HRC will review the storm water detention calculations and site grading.
2. A Design Miss Dig ticket shall be requested by the applicant so existing utilities can be shown on the drawings. The ticket number shall be indicated on the Topographic Survey.

Miss-Dig design ticket No. has been added to survey sheet. 2022011900544

3. The existing water and sanitary pipes and connections from the office and home shall be shown on the survey and demolition/removal plan. These lines are private and may require a licensed plumber to verify locations and size. The storm pipe and connection for the existing catch basin must also be shown. All existing sewer connections cannot be reused and are required to be abandoned within 2' of the public main. Please indicate this work on the demolition plan with 12 Mile impacts shown.

A note has been added that existing water and sanitary connections will be verified by a licensed plumber. The catch basin was full of ice. The invert and size of storm pipe will be added at a later time. Existing sewer connections will not be used and will be abandoned as per city engineering standards.

4. A 100-year detention system will be required per current Oakland County standards. Any storage utilizing pipe perforation, existing soils or open stone will require a geotechnical report and confirmation prior to site plan approval.

Geotechnical report will be performed and submitted to the city during building permit.

5. Please note the proposed stormwater management system will be a private system under the maintenance of the property owner. A template approved by the City Attorney is attached for use. Exhibits will need to be prepared by the applicant and included with the document.

Storm management agreement and exhibits will be prepared during the permitting process.

6. The new water supply lines and sanitary lead are required to come off of the existing public utilities along 12 Mile Road (address frontage). The existing 6" main on Phillips was not designed to support a development of this size and vertical elevation.

Water service line connection has been relocated to 12 Mile Road.

7. The applicant shall verify the new development will not negatively impact the adjacent properties and existing drainage conditions.

Site will be graded to provide High points lines at the south and west property lines to prevent any drainage into adjacent properties.

8. Note the Community Development Department will review the striping plan for verification of number of stalls required, sizing, handicap considerations and general site circulation.
9. A traffic control plan shall be added to the plan set to account for the proposed impacts in the 12 Mile and Phillips right-of-way.

MDOT traffic control standards are added to the plans.

10. 12 Mile is under the jurisdiction of the Road Commission for Oakland County. The applicant shall share feedback received from the County and/or an approved RCOC plan.

We will share all RCOC future comments.

11. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).

Should you have any questions, please do not hesitate to contact me.

Sincerely,
Daniel Stakhiv
3737 Twelve Mile, LLC
248-763-0401

March 14, 2022

**RE: Site Plan Review Comments
The Phillip Rowhomes
3737 Twelve Mile
Berkley, Michigan**

Megan,

The following is an itemized response to the comments contained within CWA Site Plan Review Letter dated February 18, 2022

Area, Width, Height, Setbacks

Items to be addressed: 1). Planning Commission to consider waiver from Twelve Mile setback, Phillips, and side yard setback;

Want to confirm the setbacks because it looks like there is mis-interrupted answers. Setbacks ranges from 4.75 inches to 1 foot 9.375 inches due to the irregular shape of the site.

2). Planning Commission should discuss potential need for a higher parapet along the southern portion of the roof deck to block noise, light, and views.

We don't see a need for a higher parapet wall seeing that the roof deck is more towards Twelve Mile Road and the rear of the deck is setback 60' from South property line. If planning commission disagrees, we are willing to entertain an additional screening/fence of some degree.

Parking

Items to be Addressed: Indicate bicycle parking

We added a bike rack in the rear next to the trash enclosure. Just a reminder that every tenant has an oversized 1.5 car garage for additional storage as well.

Building Design Standards

Items to be Addressed: Planning Commission to consider waiver for transparency requirements.

Windows on the West façade are cost prohibited due to them having to be fire rated. From an architectural standpoint, the west façade is cohesive with the rest of the building and the use of different textures and warmer colored materials make this an appealing building.

Landscaping and Screening

Items to be Addressed: Screen trash enclosure with masonry material to match the building.

Trash enclosure will match masonry of main building. Noted on plans.

Photometrics

Items to be Addressed: Indicate lighting along front elevation.

Updated plans accordingly. PH-01

Exterior Appliances

Items to be Addressed: Applicant shall show exterior appliances (air conditioners, generators, etc.) on site plan to ensure compliance with Sec. 138-73.

AC condensers will be located on roof and screened by parapet walls. Noted on plans.

Floor Plan and Elevations

Items to be Addressed: Insert windows on west elevation. If the applicant cannot include windows due to fire code separation requirements, we recommend some other form of architectural treatment to break up the massing of that side elevation.

Windows on the West façade are cost prohibited due to them having to be fire rated. From an architectural standpoint, the west façade is cohesive with the rest of the building and the use of different textures and warmer colored materials make this an appealing building.

Should you have any questions, please do not hesitate to contact me.

Sincerely,
Daniel Stakhiv
3737 Twelve Mile, LLC
248-763-0401



CITY OF BERKLEY
COMMUNITY DEVELOPMENT
 3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in **substantially complete form** at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name: THE PHILLIP ROWHOMES

Applicant: DANIEL STAKHIV

Mailing Address: 2838 COOLIDGE HWY BERKLEY MI 48072

Telephone: 248-763-0401

Email: [REDACTED]

Property Owner(s), if different from Applicant: Berkley Deal LLC
2679 Warwick Court, Bloomfield Hills, MI 48304

Mailing Address: [REDACTED]

Telephone: [REDACTED]

Email: hassan@brighterestates.com

Applicant's Legal Interest in Property: 3737 TWELVE MILE, LLC TO PURCHASE SITE. UNDER CONTRACT

LOCATION OF PROPERTY:

Street Address: 3737 TWELVE MILE AND 3363 PHILLIPS AVE

Nearest Cross Streets: TWELVE MILE AND PHILLIPS

Sidwell Number(s): 25-18-126-020

PROPERTY DESCRIPTION:

Provide lot numbers and subdivision: LOTS 557 to 562 THOMAS BROTHERS

BEVERLY PARK SUBDIVISION

Property Size (Square Feet): 12,197 SF (Acres): .28 acres

EXISTING ZONING DISTRICT (please check):

- | | | |
|-------------------------------|---|-------------------------------------|
| <input type="checkbox"/> R-1A | <input type="checkbox"/> Local Business | <input type="checkbox"/> Coolidge |
| <input type="checkbox"/> R-1B | <input type="checkbox"/> Office | <input type="checkbox"/> Downtown |
| <input type="checkbox"/> R-1C | <input type="checkbox"/> Community Centerpiece | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> R-1D | <input type="checkbox"/> Woodward | <input type="checkbox"/> Cemetery |
| <input type="checkbox"/> RM | <input type="checkbox"/> Eleven Mile | <input type="checkbox"/> Parking |
| <input type="checkbox"/> RMH | <input checked="" type="checkbox"/> Twelve Mile | |

Present Use of Property:

VACANT RETAIL (3737) AND OCCUPIED DUPLEX (3363)

Proposed Use of Property:

TOWNHOUSES

Is the property located within the Downtown Development Authority? ☒ Yes ☐ No

PROJECT DESCRIPTION:

NEW CONSTRUCTION OF (7) TOWNHOMES

Does the proposed project / use of property require Special Land Use approval? ☐ Yes ☒ No

Does the proposed project require Variance(s) from the Zoning Board of Appeals? ☒ Yes ☐ No

If yes, please describe Variances required:

FIRST FLOOR GLAZING REQUIREMENTS. REQUIRED 40%.
PROVIDED 26.3%. FRONT AND SIDE SETBACK NEEDS
PLANNING COMMISSION APPROVAL.

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential	7	15,900	14	
Office				
Commercial				
Industrial				
Other				

PROFESSIONALS WHO PREPARED PLANS:

- A. Name: KELSEY REYNOLDS, RA
Mailing Address: 2240 IROQUOIS ST DETROIT MI 48214
Telephone: [REDACTED]
Email: [REDACTED]
Design Responsibility (engineer, surveyor, architect, etc.): ARCHITECT
- B. Name: SH CONSTRUCTION, LLC
Mailing Address: 2240 IROQUOIS ST DETROIT MI 48214
Telephone: 248-763-0401
Email: [REDACTED]
Design Responsibility: DESIGN + G.C.

SUBMIT THE FOLLOWING:

1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
2. A pdf file of the site plans, submitted to the Community Development Director.
3. Proof of property ownership (title insurance policy or registered deed with County stamp).
4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:

- ☐ Road Commission for Oakland County
☐ MI Dept. of Transportation


- ☐ Oakland County Health Division
☐ MI Dept. of Environment, Great Lakes & Energy

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.


Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.


We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.


PROPERTY OWNER'S APPROVAL: (Initial each line)

 I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.


APPLICANT'S ENDORSEMENT: (Initial each line)

 All information contained therein is true and accurate to the best of my knowledge.

 I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

 I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.


Signature of Applicant

2-17-22

Date

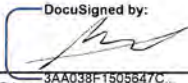
DANIEL STAKHIV

Applicant Name (Print)

Signature of Applicant

Date

Applicant Name (Print)

DocuSigned by:


2/17/2022

Signature of Property Owner Authorizing this Application

Date

Berkley Deal LLC, member Hassan Imran

Property Owner Name (Print)

OFFICE USE ONLY

Received _____ Receipt # _____ Meeting Date _____ Case # _____

Fees: Site Plan Review \$600 Façade Change: \$200 Revision: \$300
 Extension \$200 Engineering: Multi-family \$1,500 + \$30/unit
 Escrow (New construction) \$1,000 Commercial \$1,000

LIBER 53104 PAGE 158
\$21.00 MISC RECORDING
\$4.00 REMONUMENTATION
\$5.00 AUTOMATION
08/05/2019 06:03:22 PM RECEIPT# 87487
PAID RECORDED - Oakland County, MI
Lisa Brown, Clerk/Register of Deeds

MEMORANDUM OF LAND CONTRACT

THIS MEMORANDUM OF LAND CONTRACT entered into this 26th day of July, 2019, by and between EUGENE J. TATA, Trustee of the EUGENE J. TATA TRUST AGREEMENT, dated May 16, 1974, and amended September 11, 1986 ("SELLER") whose address is 27725 Spring Arbor Drive, Southfield, MI 48076 and BERKLEY DEAL LLC, A MICHIGAN LIMITED LIABILITY COMPANY ("BUYER"), whose address is 2679 Warwick Court, Bloomfield Hills, MI 48304 (the "Land Contract").

WITNESSETH:

WHEREAS, BUYER and SELLER entered into a Land Contract dated July 26, 2019; and,

WHEREAS, the parties desire to enter into this Memorandum of Land Contract and to give record notice of existence of said Land Contract.

NOW THEREOF, in consideration of the Property and for other good and valuable consideration SELLER acknowledges and agrees that it has sold to BUYER on the Land Contract dated July 26, 2019, the following described premises situated in the City of Berkley, Oakland County, Michigan, and legally described as:

Lot 557 through Lot 562, inclusive, of Thomas Brothers Beverly Park Subdivision of part of the North ½ of Section 18, Town 1 North, Range 11 East, according to the plat thereof as recorded in Liber 15 of Plats, Page 6, Oakland County Records.

Tax Parcel No.: 04-25-18-126-020

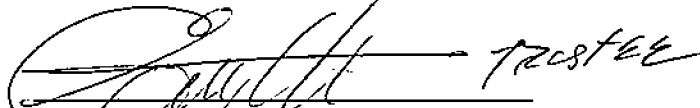
Commonly known as: 3363 Phillips Avenue, Berkley, MI 48072 & 3737 Twelve Mile Road, Berkley, MI 48072

The purpose of this Memorandum of Land Contract is to give record notice to the existence of the aforesaid Land Contract.

IN WITNESS WHEREOF, the parties hereto have executed this Memorandum of Land Contract and have caused their hands and seals to be affixed hereto this 26th day of July 2019.

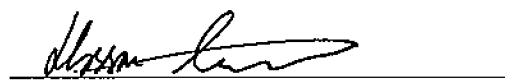
SELLER:

EUGENE J. TATA TRUST AGREEMENT
dated May 16, 1974, and amended September 11, 1986


By: **EUGENE J. TATA**
Its: **Trustee**

BUYER:

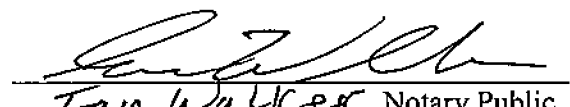
BERKLEY DEAL, LLC
A Michigan Limited Liability Company


By: **Hassan Imran**
Its: **Member**

STATE OF MICHIGAN)
COUNTY OF Macomb) SS.

On this 26th day of July, 2019, before me, a notary public in and for the aforesaid State and County, personally appeared EUGENE J. TATA, Trustee of the EUGENE J. TATA TRUST AGREEMENT, dated May 16, 1974, and amended September 11, 1986 and Hassan Imran, member of Berkley Deal LLC, a Michigan Limited Liability Company, who executed the foregoing Memorandum of Land Contract and acknowledged the execution of same to be their free act and deed.

IAN WALKER
Notary Public, State of Michigan
County of Macomb
My Commission Expires 11-23-2022
Acting in the County of Macomb


Ian Walker, Notary Public
Macomb, County, Michigan
Acting in Macomb County, Michigan
My Commission Expires: 11/23/22

Drafted by and Return to:
Richard D. Linnell (P59339)
Attorney at Law
2804 Orchard Lake Rd., Ste. 203
Keego Harbor, Michigan 48320
Telephone: (248) 977-4182

Send Subsequent Tax Bills to:
BERKLEY DEAL LLC
2679 Warwick Court
Bloomfield Hills, MI 48304

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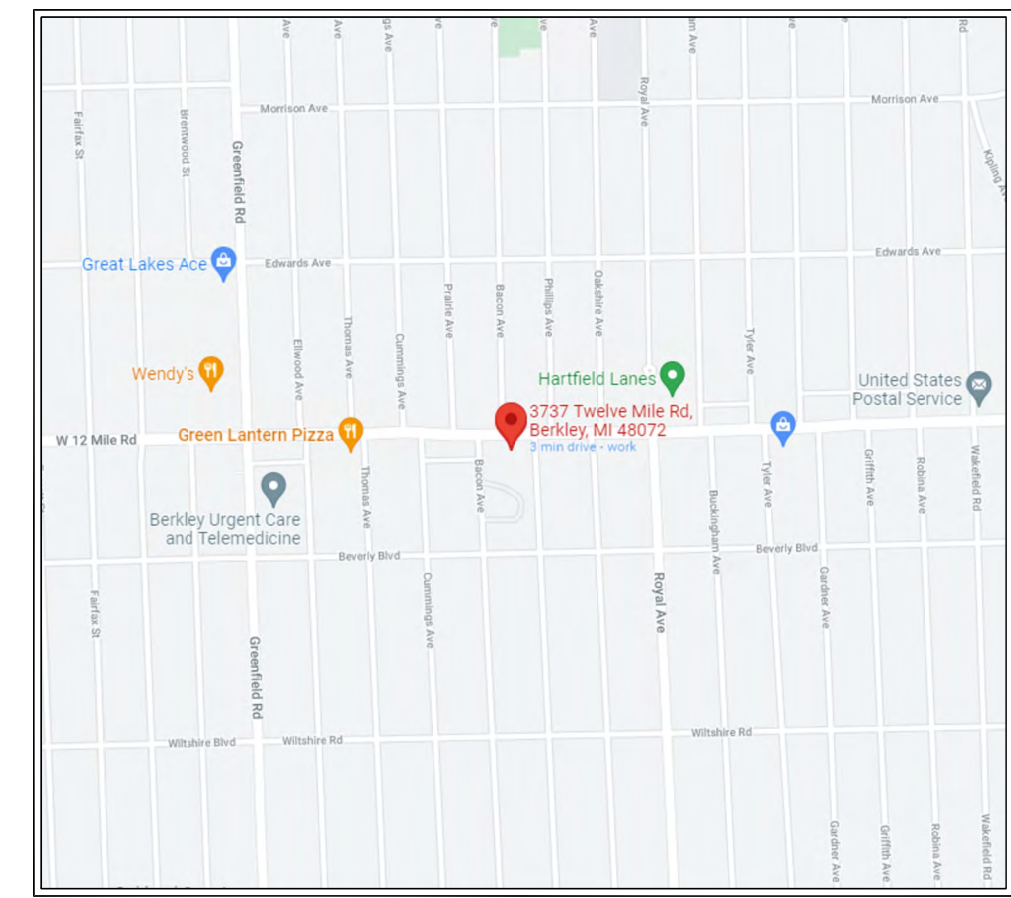
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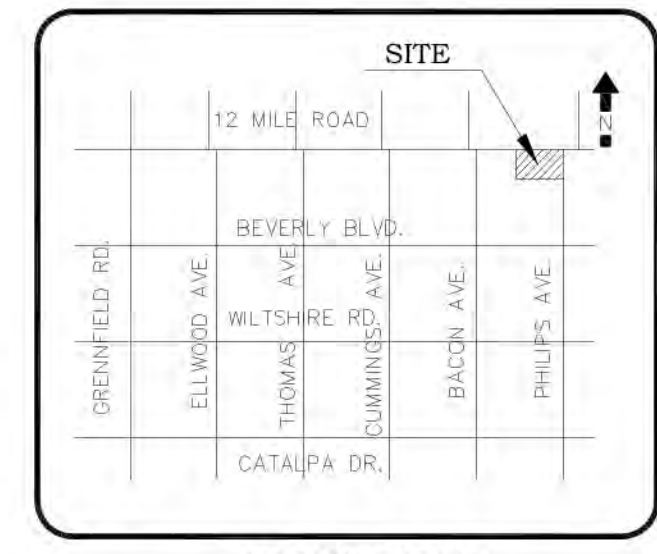
- H

3d Rendering - View from 12 Mile

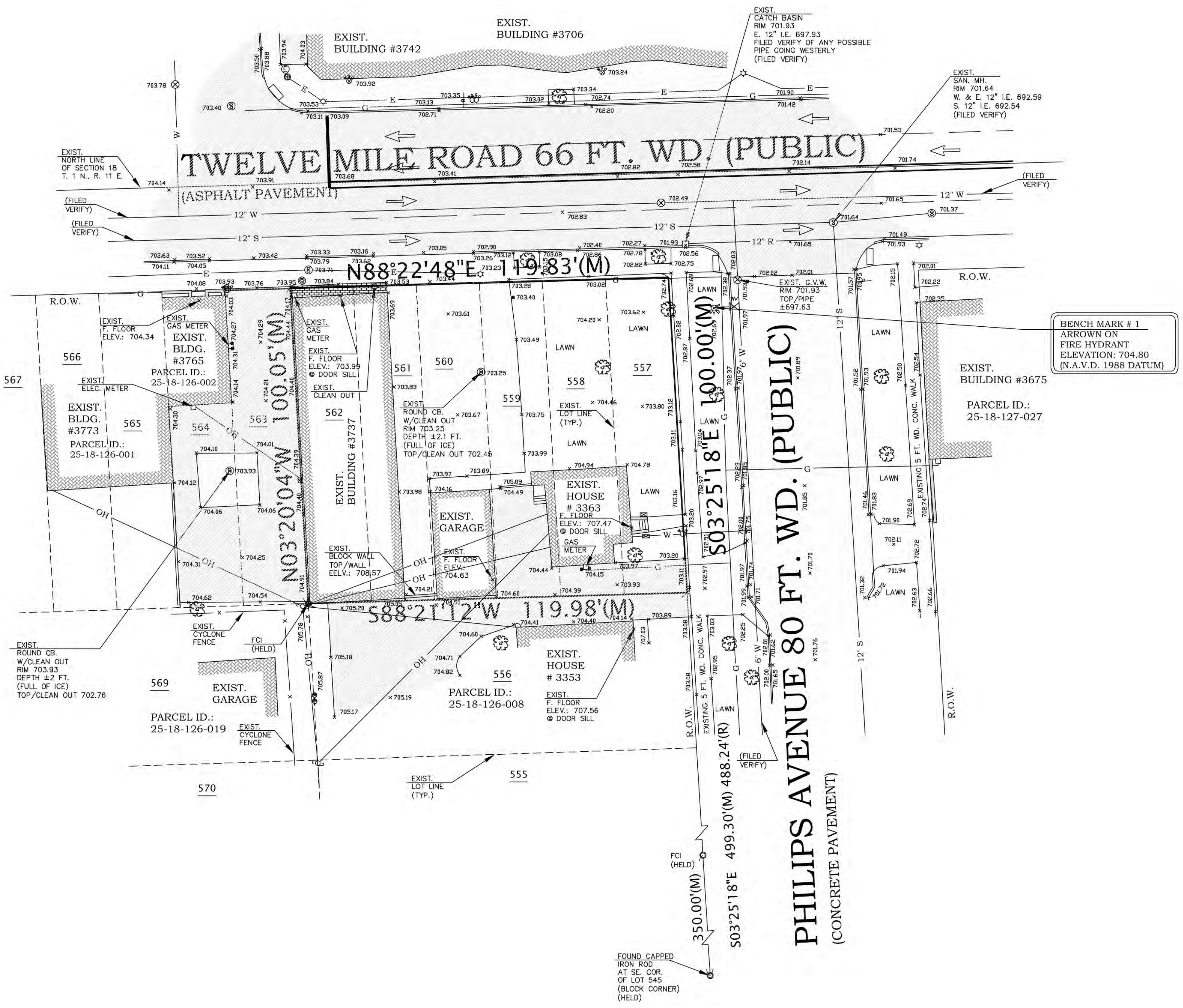
COVER SHEET



BOUNDARY AND TOPOGRAPHIC SURVEY



LOCATION MAP
NOT TO SCALE



LEGEND OF SYMBOLS & ABBREVIATIONS

- | | |
|----------|----------------------------|
| (M) | FIELD MEASUREMENT |
| (R) | OTHER RECORDED MEASUREMENT |
| (TYP.) | TYPICAL |
| EXIST. | EXISTING |
| CONC. | CONCRETE |
| R.O.W | RIGHT-OF-WAY |
| FT. | FEET |
| WD. | WIDE |
| TYP. | TYPICAL |
| AVE. | AVENUE |
| ELEC. | ELECTRIC |
| BLDG | BUILDING |
| — OH — | BOUNDARY LINE |
| — S — | OVERHEAD ELECTRIC LINES |
| — W — | SANITARY SEWER |
| — R — | WATER |
| — G — | STORM SEWER |
| — E — | GAS |
| — U — | UNDERGROUND ELECTRIC |
| — | SIGN |
| — | FIRE HYDRANT |
| — | WATER SHUT-OFF—VALVE |
| — | WATER IN THE BOX |
| — | GATE VALVE & WELL |
| — | SQUARE CATCH BASIN |
| — | ROUND CATCH BASIN |
| — | SANITARY SEWER MANHOLE |
| — | TRAFFIC SIGNAL POLE |
| — | TRAFFIC PEDESTAL SIGNAL |
| — | TREE |
| × 705.00 | SPOT ELEVATION |
| — | STEEL POST |
| — | LIGHT POLE |
| — | UTILITY POLE |
| — | GUY WIRE |
| — | ASPHALT PAVEMENT |
| — | CONCRETE SURFACE |
| — | BRICK PAVER |

PROPERTY DESCRIPTION: (AS PROVIDED BY CLIENT)

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF BERKLEY, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND MORE PARTICULARLY DESCRIBED AS:

LOTS 557 TO 562, INCLUSIVE; "THOMAS BROTHERS" BEVERLY PARK SUBDIVISION, OF PART OF NORTH 1/2 OF SECTION 18, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 15 OF PLATS, PAGE 8 OF OAKLAND COUNTY RECORDS.

MORE COMMONLY KNOWN AS:

EXISTING BUILDING # 3737
EXISTING HOUSE & GARAGE # 3363
12 MILR ROAD, CITY OF BERKLEY, OAKLAND COUNTY, MI 48072
PARCEL ID.: 25-18-126-020

SURVEYOR'S NOTES:

1. SINCE OUR SURVEY WORK DOES NOT INCLUDE A TITLE SEARCH AT TIME OF SURVEY, THERE MAY BE EASEMENT AND/OR ENCUMBRANCES UPON THE LAND WHICH ARE NOT SHOWN ON OUR SURVEY AT THIS TIME.

2. THE SURVEY HAS BEEN PERFORMED UNDER SEVERE SNOW AND WEATHER CONDITION
DATE OF SURVEY: JANUARY 01, 2022

FLOOD HAZARD NOTE:

THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREAS AS INDICATED BY "FIRM" THE FLOOD INSURANCE RATE MAP, MAP NUMBER 26125C05395 (NOT PRINTED)
CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN.
EFFECTIVE DATE: SEPTEMBER 29, 2006
AS PREPARED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITY NOTES:

ALL UTILITIES DEPICTED HEREON ARE FROM VISIBLE EVIDENCE. SURVEYOR DID NOT CONTACT SUBSURFACE UTILITY LOCATOR SERVICE. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS, EXACTNESS OF LOCATION OR ACCURACY THEREOF. THE CONTRACTOR / OWNER SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION OR ANY SITE MODIFICATION.

ACCURATE SURVEYING AND MAPPING
LAND SURVEYORS/DEVELOPMENT CONSULTANT



Ph: 313-506-3160
Ph: 734-437-7740
Fax: 734-437-7759

19500 Middlebelt Road, Suite 340E
Livonia, MI 48152
www.accurate-surveying.com

SEAL:



DATE: FEBRUARY 17, 2022

CLIENT:

GHASSAN KHALAF, P.E.
OK Consulting Inc.
Building & Civil Engineering
5644 Middlebelt Road,
Garden City, MI 48135
Ph.: (313) 377-9449

PROJECT LOCATION:

"EXISTING BUILDING # 3737"
& HOUSE / GARAGE # 3363
12 MILE ROAD, CITY OF BERKLEY,
OAKLAND COUNTY,
MI. 48072

SHEET:

BOUNDARY AND
TOPOGRAPHIC SURVEY



DATE: REVISION:

DRAWN BY:

DESIGNED BY:

APPROVED BY:

SURVEY DATE:
FEBRUARY 01, 2022

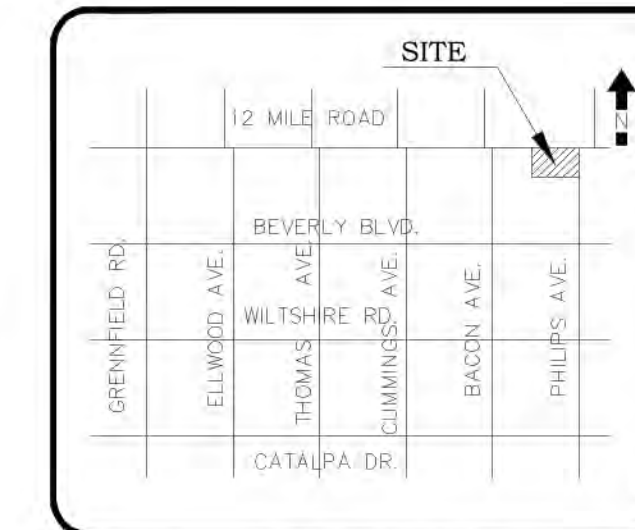
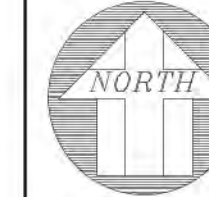
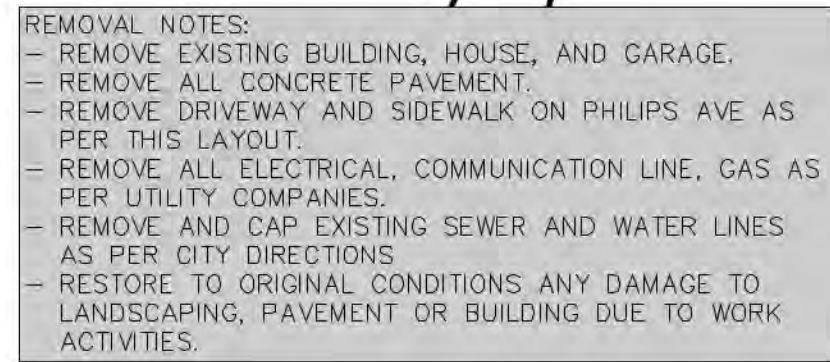
SCALE:
1" = 20'

BOOK #:
B-102

JOB NO. SHEET NO.
022-103 1 OF 1

MISS DIG Ticket number 2022011900544-000

C-01	REMOVAL SITE PLAN
S-01	BOUNDARY AND TOPOGRAPHICAL SURVEY
C-02	PRELIMINARY GRADING PLAN
C-03	MDOT TRAFFIC CONTROL STANDARDS
C-04	UTILITY / STORM MANAGEMENT PLAN AND DETAILS
C-05	STORM SEWER MANAGEMENT DETAILS
LP-01	LANDSCAPING PLANTING PLAN
PH-01	PHOTOMETRIC PLAN



LOCATION MAP
NOT TO SCALE

GK
CONSULTING INC.

GHASSAN KHALAF, P.E.
TEL: 313-377-9449
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ADDRESS: 5644 MIDDLEBELT RD
GARDEN CITY, MI 48135

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of the State of Michigan
by my hand and seal.



Ghassan Khalaf

3737 TWELVE MILE
BERKLEY, MI 48072

NOTE:

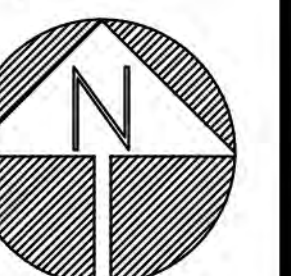
OWNER AND THE CONTRACTORS ARE THE SOLELY RESPONSIBLE FOR THE PERFORMANCE AND THE EXECUTION OF THE PROJECT AND IT IS THEIR RESPONSIBILITY FOR THE SAFETY OF THE BUILDING STRUCTURE AND THE MATERIALS USED TO RENOVATE AND CONSTRUCT THE PROPOSED FACILITY SHOWN ON THE PLANS

SHEET TITLE
REMOVAL SITE PLAN

SCALE

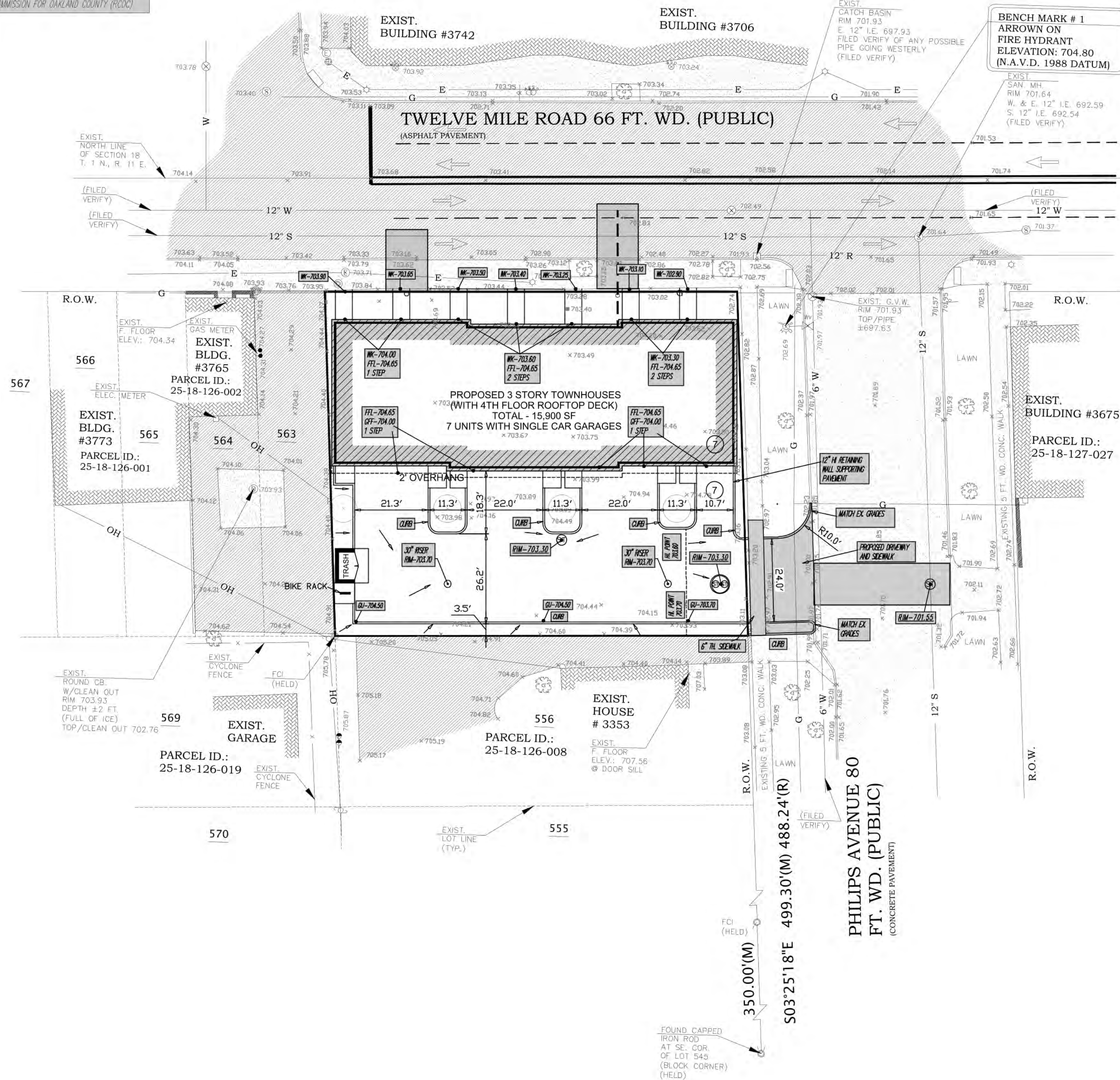
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SHEET No. _____



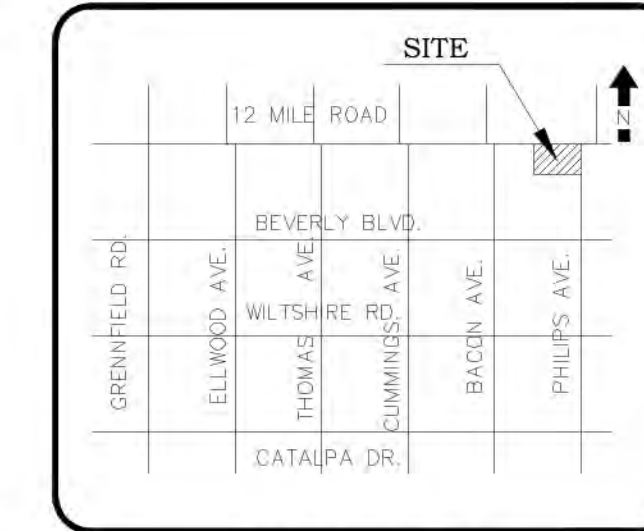
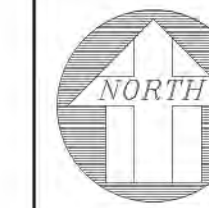
1" = 20'-0"

ALL WORK WITHIN 12'-MILE ROAD RIGHT-OF-WAY INCLUDING CONSTRUCTION SIGNAGE MUST BE PERMITTED BY ROAD COMMISSION FOR OAKLAND COUNTY (RCOC)



PRELIMINARY GRADING PLAN

1" = 20'-0"



LOCATION MAP
NOT TO SCALE

MARK	DATE	DESCRIPTION
	3-14-22 02/17/22	PER CITY COMMENTS SITE PLAN REVIEW

GK
CONSULTING INC.

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Ghassan Khalaf

THE PHILLIP ROWHOMES

3737 TWELVE MILE
BERKLEY, MI 48072

DRAWN BY: NL
DESIGNED BY: GK
CHECKED BY:

NOTE:

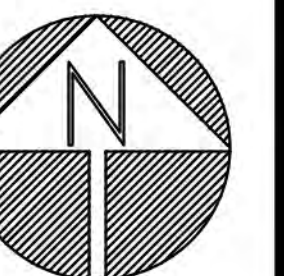
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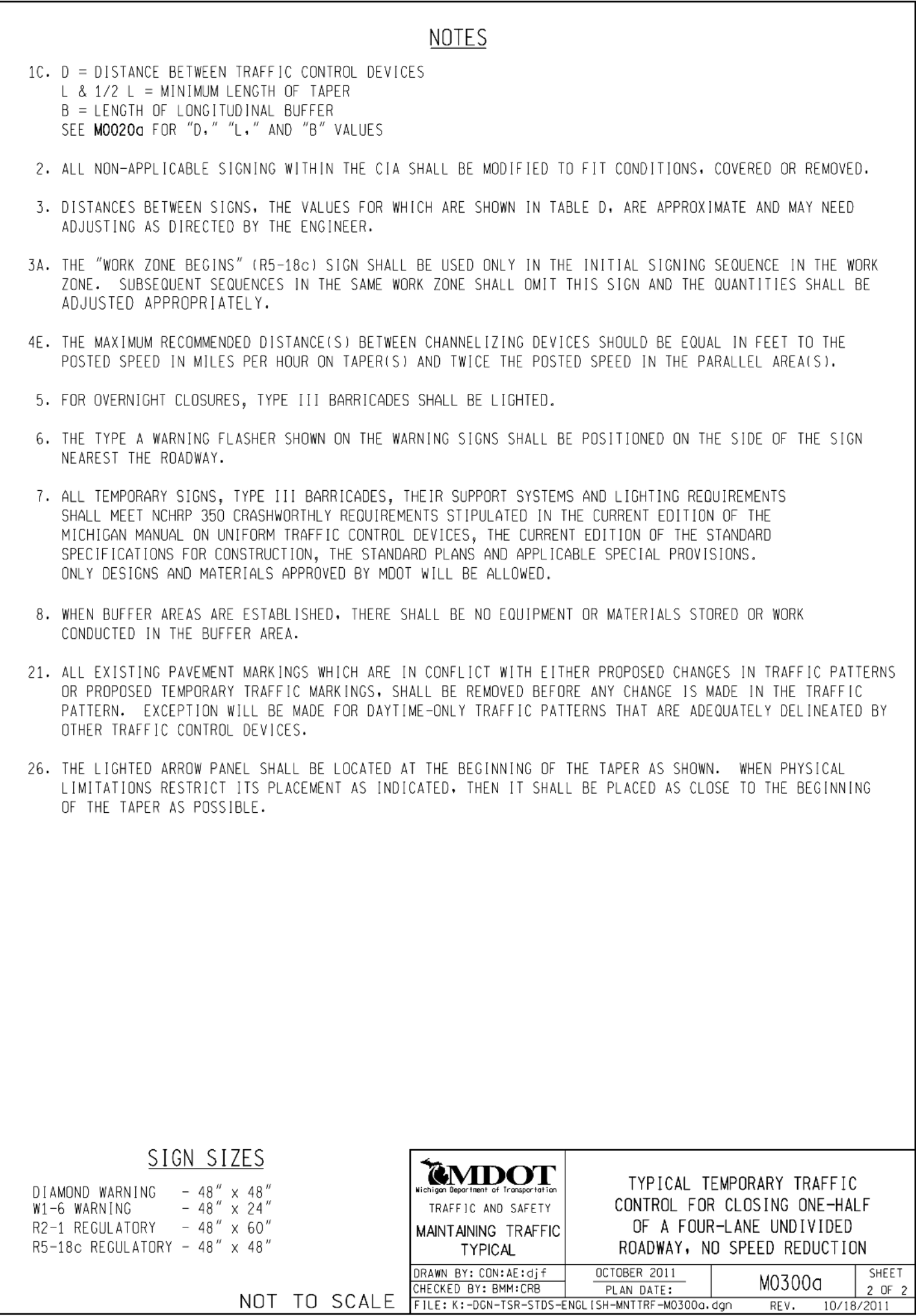
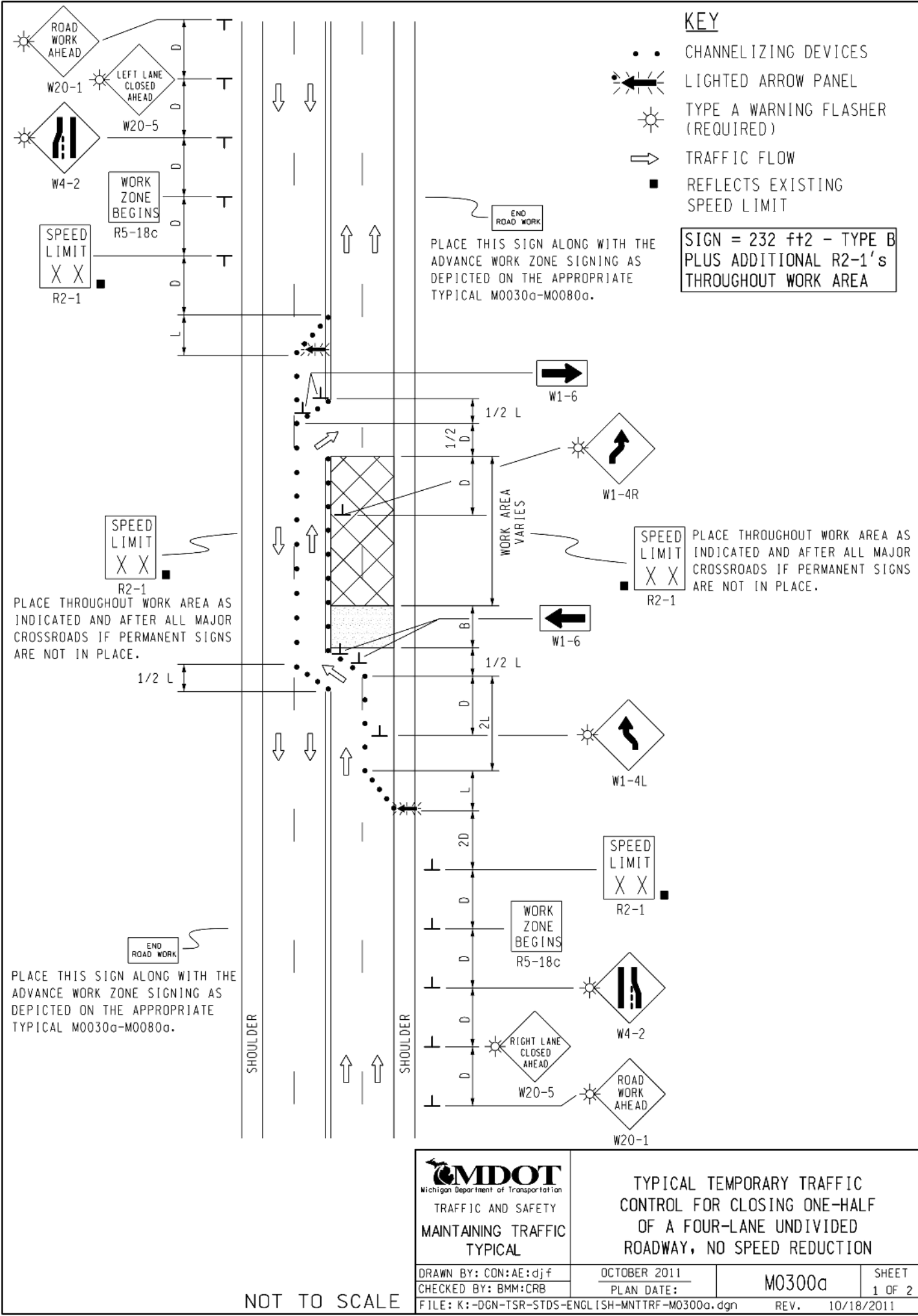
SHEET TITLE
GRADING PLAN

SCALE
AS NOTED

SHEET No.

C-02





OFFSET FEET	MINIMUM MERGING TAPER LENGTH "L" (FEET)									
	POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)									
	25	30	35	40	45	50	55	60	65	70
1	10	15	20	27	45	50	55	60	65	70
2	21	30	41	53	90	100	110	120	130	140
3	31	45	61	80	135	150	165	180	195	210
4	42	60	82	107	180	200	220	240	260	280
5	52	75	102	133	225	250	275	300	325	350
6	63	90	123	160	270	300	330	360	390	420
7	73	105	143	187	315	350	385	420	455	490
8	83	120	163	213	360	400	440	480	520	560
9	94	135	184	240	405	450	495	540	585	630
10	104	150	204	267	450	500	550	600	650	700
11	115	165	225	293	495	550	605	660	715	770
12	125	180	245	320	540	600	660	720	780	840
13	135	195	266	347	585	650	715	780	845	910
14	146	210	286	374	630	700	770	840	910	980
15	157	225	307	400	675	750	825	900	975	1050

THE FORMULAS FOR THE MINIMUM LENGTH OF A MERGING TAPER IN DERIVING THE "L" VALUES SHOWN IN THE ABOVE TABLES ARE AS FOLLOWS:

$$L = \frac{W \times S^2}{60}$$

WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 40 MPH OR LESS

$$L = S \times W$$

WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 45 MPH OR GREATER

L = MINIMUM LENGTH OF MERGING TAPER
S = POSTED SPEED LIMIT IN MPH
PRIOR TO WORK AREA
W = WIDTH OF OFFSET

TYPES OF TAPERS

UPSTREAM TAPERS

MERGING TAPER

SHIFTING TAPER

SHOULDER TAPER

TWO-WAY TRAFFIC TAPER

DOWNSIDE TAPER

(USE IS OPTIONAL)

TAPER LENGTH

L - MINIMUM

1/2 L - MINIMUM

1/3 L - MINIMUM

100' - MAXIMUM

100' - MINIMUM

(PER LANE)

MDOT
Michigan Department of Transportation
TRAFFIC AND SAFETY
MAINTAINING TRAFFIC
TYPICAL

TABLES FOR "L", "D" AND "B" VALUES

DRAWN BY: CONAE1GJF
CHECKED BY: BMHICRB
FILE: K:\230N\154\5\05\ENGLISH\N11TH\A0020c.dgn

JUNE 2006
PLAN DATE:
M0020c
SHEET 1 OF 2
REV. 08/21/2006

DISTANCE BETWEEN TRAFFIC CONTROL DEVICES "D" AND LENGTH OF LONGITUDINAL BUFFER SPACE ON "WHERE WORKERS PRESENT" SEQUENCES

"D" DISTANCES	POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)									
	25	30	35	40	45	50	55	60	65	70
D (FEET)	250	300	350	400	450	500	550	600	650	700

GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE "B"

SPEED MPH	LENGTH FEET
20	33
25	50
30	83
35	132
40	181
45	230
50	279
55	329
60	411
65	476
70	542

* POSTED SPEED, OFF PEAK 65TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED

1. BASED UPON AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) BRAKING DISTANCE PORTION OF STOPPING SIGHT DISTANCE FOR HET AND LEVEL PAYMENTS (A POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS), AASHTO. THIS AASHTO DOCUMENT ALSO RECOMMENDS ADJUSTMENTS FOR THE EFFECT OF GRADE ON STOPPING AND VARIATION FOR TRUCKS.

MDOT
Michigan Department of Transportation
TRAFFIC AND SAFETY
MAINTAINING TRAFFIC
TYPICAL

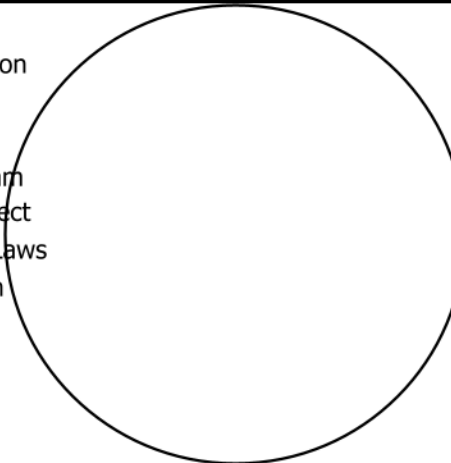
TABLES FOR "L", "D" AND "B" VALUES

DRAWN BY: CONAE1GJF
CHECKED BY: BMHICRB
FILE: K:\230N\154\5\05\ENGLISH\N11TH\A0020c.dgn

JUNE 2006
PLAN DATE:
M0020c
SHEET 2 OF 2
REV. 08/21/2006

	02/17/22	SITE PLAN REVIEW
MARK	DATE	DESCRIPTION
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THE PHILLIP ROWHOMES

3737 TWELVE MILE
BERKLEY, MI 48072

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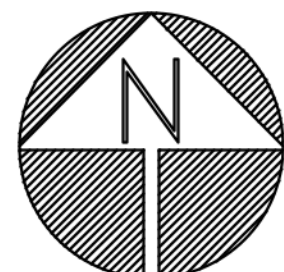
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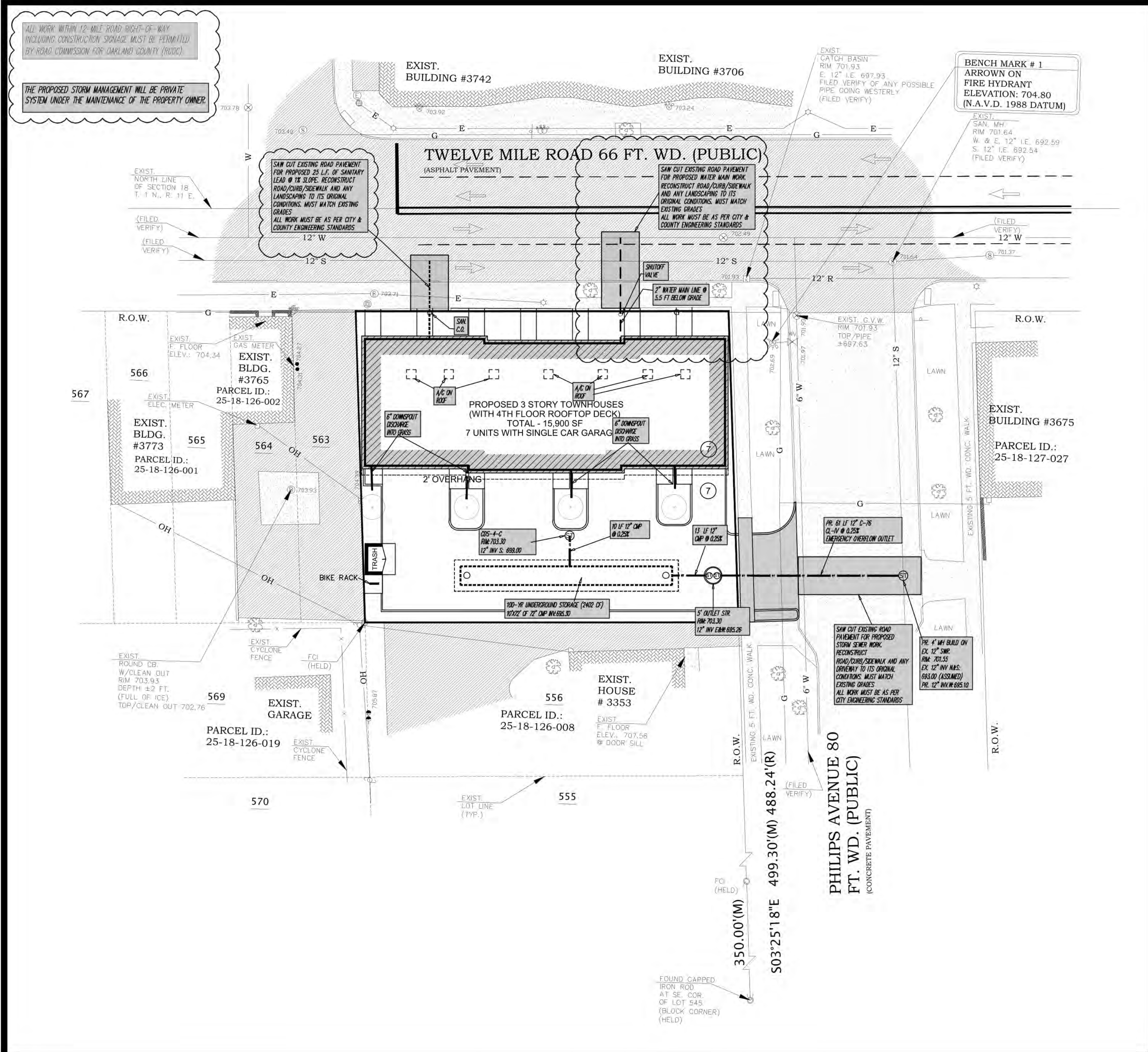
MDOT TRAFFIC CONTROL STANDARDS FOR ROAD PARTIAL CLOSER

SCALE

SHEET No.

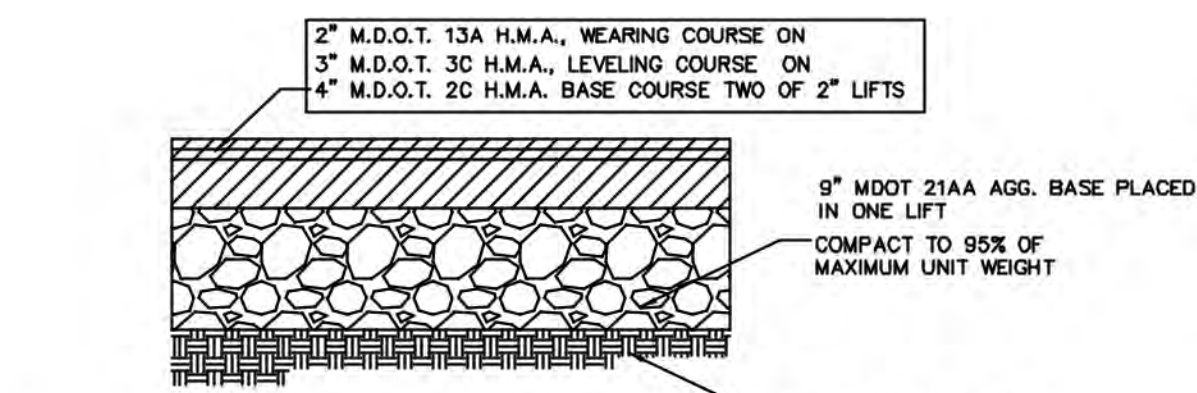
C-03



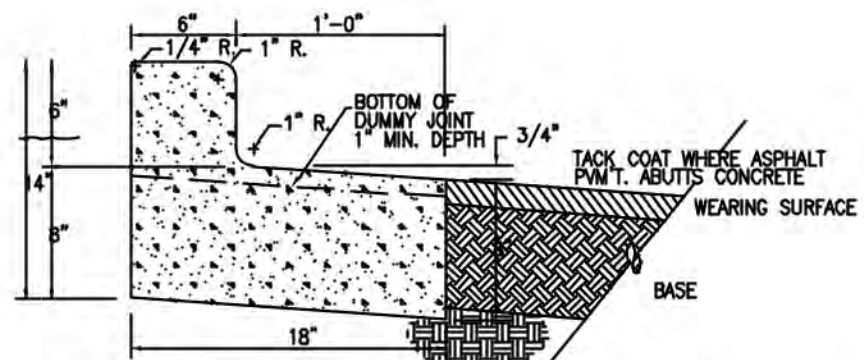


UTYILTY / STORM MANAGEMENT PLAN

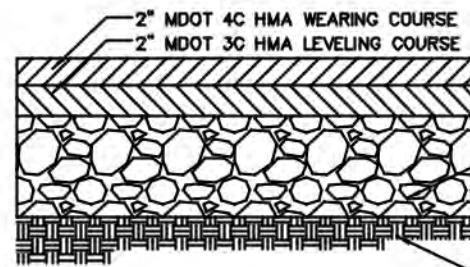
1" = 20'-0"



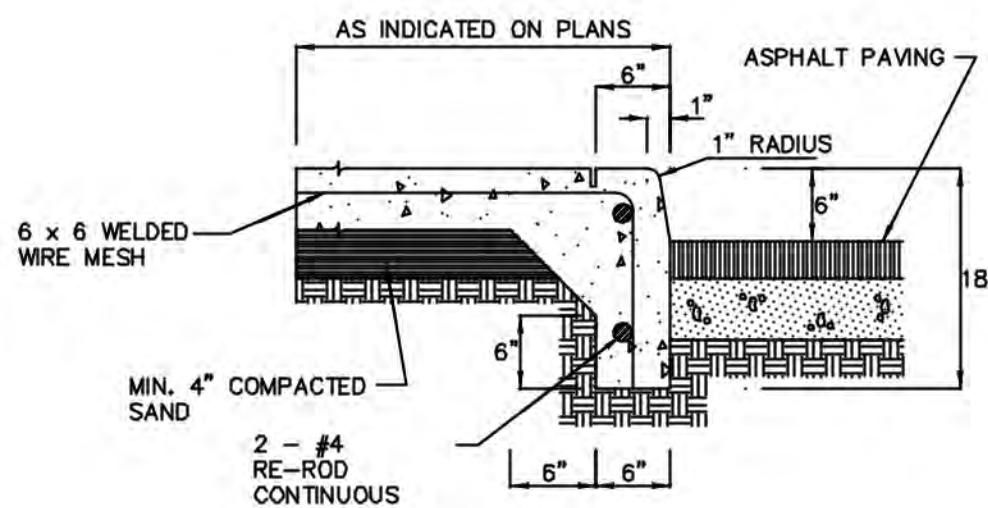
HMA PAVEMENT DETAIL (PHILIPS AVE DRIVEWAY)



PITCH OUT (REVERSED) CURB & GUTTER DETAIL



STANDARD DUTY HMA PAVEMENT DETAIL (PARKING LOT)



INTEGRAL CURB AND WALK

STORM SEWER NOTES:

- 1- STORM SEWER RUN OF TO BE COLLECTED FROM SITE BY USING CDS-4-C (AS INLETS) THEN TREATED MECHANICALLY THEN DISCHARGE INTO UNDER GROUND STORAGE SYSTEM.
- 2- STORM-CEPTOR 1 HANDLES PEAK DISCHARGE OF 1.0 CFS
- 3- UNDERGROUND STORAGE CONSISTS OF 72" DIA CMP WITH STORAGE WITHIN STRUCTURAL STONE. STONE VOIDS AT 20%.
- 4- THEN DISCHARGE INTO OUTLET CONTROL STRUCTURE, WHICH ALSO HANDLE THE EMERGENCY OVER FLOW.
- 5- 100-YR STORM WILL BE DISCHARGE THRU 8" DIA HOLE IN THE OUTLET CONTROL STRUCTURE WALL.
- 6- EMERGENCY OVERFLOW WILL BE RELEASE ABOVE THE WALL AT THE OUTLET CONTROL THEN INTO 12" PIPE @ 0.25% SLOPE.
- 7- THEN DISCHARGE WILL GO INTO PROPOSED MANHOLE (TO BE BUILT ON EXISTING COMBINED 12" SEWER LINE ON PHILIPS AVE)

EXISTING 6" SANITARY LEAD CHECK:

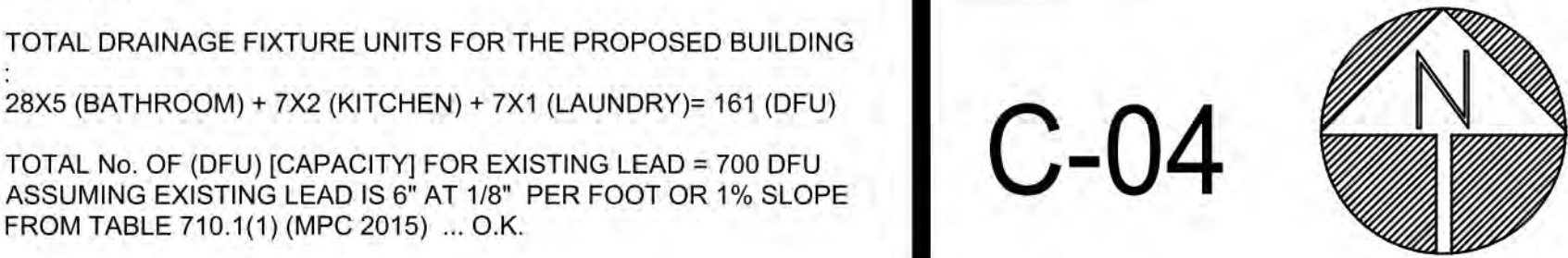
- 1- TOTAL NO OF BATHROOMS = 28
- 2- TOTAL NUMBER OF KITCHENS = 7
- 3- TOTAL NUMBER OF LAUNDRIES = 7

FROM TABLE 709.1 (MPC 2015)
DRAINAGE FIXTURE UNITS FOR FIXTURES AND GROUPS

- 1- BATHROOM = 5
- 2- KITCHEN SINK = 2
- 3- LAUNDRY = 1

TOTAL DRAINAGE FIXTURE UNITS FOR THE PROPOSED BUILDING
28X5 (BATHROOM) + 7X2 (KITCHEN) + 7X1 (LAUNDRY)= 161 (DFU)

TOTAL No. OF (DFU) [CAPACITY] FOR EXISTING LEAD = 700 DFU
ASSUMING EXISTING LEAD IS 6" AT 1/8" PER FOOT OR 1% SLOPE
FROM TABLE 710.1(1) (MPC 2015) ... O.K.



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	3-14-22	PER CITY COMMENTS
	02/17/22	SITE PLAN REVIEW

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SHEET TITLE

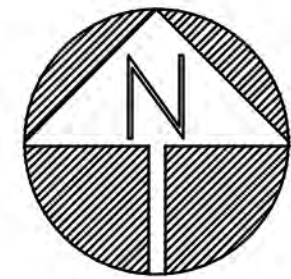
UTILITY / STORM MANAGEMENT PLAN AND DETAILS

SCALE

AS NOTED

SHEET No.

C-04



Characteristic	Existing Conditions	Proposed Conditions
Total Development Area (ac)	0.28	0.28
Impervious Area (ac)	0.19	0.23
Total Pervious Area (ac)	0.08	0.04
Pervious Area Breakdown by Cover Type		
Meadow/fallow/natural areas (non-cultivated) (ac)	0.00	0.00
Predominant NRCS Soil Type (A, B, C, or D)	N/A	N/A
Improved areas (turf grass, landscape, row crops) (ac)	0.08	0.04
Predominant NRCS Soil Type (A, B, C, or D)	Type C	Type C
Wooded Areas (ac)	0.00	0.00
Predominant NRCS Soil Type (A, B, C, or D)	N/A	N/A
	Calculated CPVC Volume (cubic feet)	1,090.09
	CPVC Volume Provided (cubic feet)	0.00
	CPVC Volume Provided (cubic feet)	1,593.21

Infiltration rate = 0.00 in/hr

Infiltration rate > 0.24in/hr? No
Dry Pond Design? No

Surface Type	A (ac)	C	AxC			
Pervious	0.04	0.25	0.01	1860		
Impervious	0.23	0.95	0.22	10127	84.5%	Yes
Total	0.275		0.23	11987		No

$$C_{ave} = \sum (A \times C) / A$$

$$C_{ave} = 0.23 / 0.275 = 0.84$$

Sheet Flow

$$T_1 = L / V$$

$$V = K \times S^{0.5}$$

S = 2.00 %

$$K = 0.48$$

L = 87.00 ft

$$T_1 = 87 / (0.48 \times 2^{0.5} \times 60) = 2.136 \text{ min.}$$

$$T_2 = L / 3600V$$

$$V = 2.50 \text{ f/sec}$$

L = 10.00 ft

$$T_1 = 10 / (2.5\text{fps} \times 3600) = 0.001 \text{ min.}$$

T = 3 min

$$I_{100} = 83.3 / (9.17 + T)^{0.841}$$

$$v_{100} = 83.3 / (9.17 + 3)^{0.81} = 11 \text{ in/hr}$$

$$V_{CPVC} = A \times C \times 4719$$

$$V_{CPVC} = 0.275 \times 0.84 \times 3,630 = 1090.09 \text{ ft}^3$$

$$V_{OPRC} = A \times C \times 6,897$$

$$V_{CPRC} = 0.275 \times 0.84 \times 6,897 = 1593.21 \text{ ft}^3$$

$$Q_{\text{allowable}} = 1.1055 - 0.207 \ln(A) \quad (\text{max. } 1.0 \text{ cfs/ac})$$

$$Q_{\text{allowable}} = 1.1055 - 0.207 \ln(0.275) = 1.37 \text{ cfs/ac}$$

1.00 cfs/ac (max.)

$$Q_o = A \times Q_{\text{allowable}}$$

$$Q_o = 0.275 \times 1 = 0.28 \text{ cfs}$$

$$Q_l = C \times I \times A$$

$$Q_1 = 0.84 \times 11 \times 0.275 = 2.54 \text{ cfs}$$

$$V_r = A \times C \times 18,900$$

$$V_r = 0.275 \times 0.84 \times 18,900 = 4365.9 \text{ ft}^3$$

$$V_t = V_r \times (0.206 - 0.15 \ln(Q_o/Q_t))$$

$$V_s = 4365.9 \times (0.206 - 0.151 \ln(0.28/2.54)) = 2343.48 \text{ ft}^3$$

$$\text{CPCV} = 1,090.09 \text{ ft}^3$$

CPRC = 1,593.21 ft³

Flood Control = 2,343.48 ft³

USE CDS-4-C INLET (TO TREAT MAX. 1.0 CFS 100-YR STORM)

LANDSCAPE DEVELOPMENT NOTES:

PLANTING

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Berkeley, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, pit trees three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of four inches (4"). Only natural color shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All lawn areas shall be seeded with a Grade A Kentucky Blue Grass blend over the topsoil. Existing lawn in generally good condition but with bare, sparse, or weedy areas must be renovated by filling in low areas, raking, overseeding, and top dressing all sparse and bare spots and continuing with a weed and feed program.
- All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Plant trees and shrubs no closer than the following minimum distances from sidewalks, curbs, and parking stalls:

a. Shade/Canopy Trees	Three feet (3')
b. Ornamental/Flowering Trees	Five feet (5')
c. Evergreen Trees	Two feet (2')
d. Evergreen/Flowering Shrubs	Four feet (4')
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site; b. Call the City for an inspection prior to backfilling; c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.

If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.
- Edging shall consist of Ryerson Steel edging, Perma-Loc aluminum edging, or approved equivalent.
- Elevate the rootballs of Yew shrubs to allow for better drainage.

MATERIAL

- Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be: a. Nursery grown; b. State Department of Agriculture inspected; c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched according to the details provided; and e. Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clay loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Chewing Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- Proposed perennials shall be full, well-rooted plants.
- Cobblestone mulch to consist of two inch to six inch (2"-6") cobbles, eight inches (8") deep, with geotextile fabric beneath.
- Gallery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

GENERAL

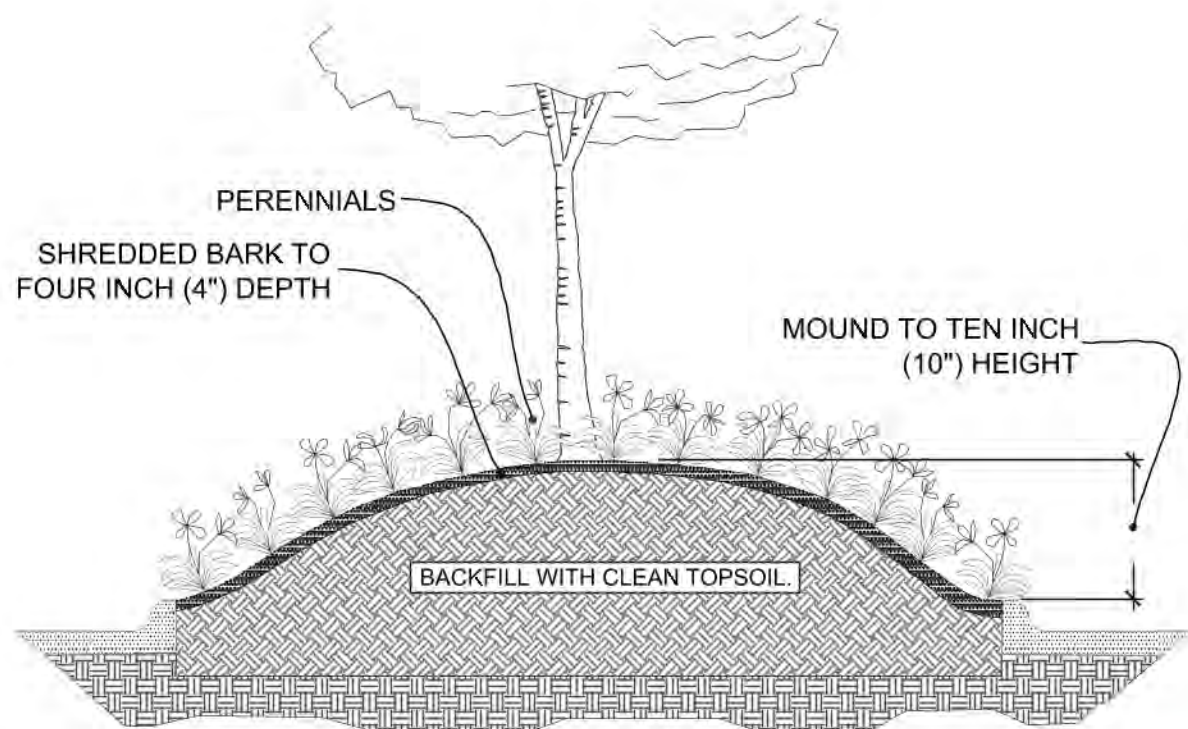
- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- All landscape areas including parking lot islands shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- All written dimensions override scale dimensions on the plans.
- Report all changes, substitutions, or deletions to the Owner's representative.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.
- All ground mounted mechanical units shall be screened on three (3) sides with living plant material.

MAINTENANCE OF GENERAL LANDSCAPE AREAS

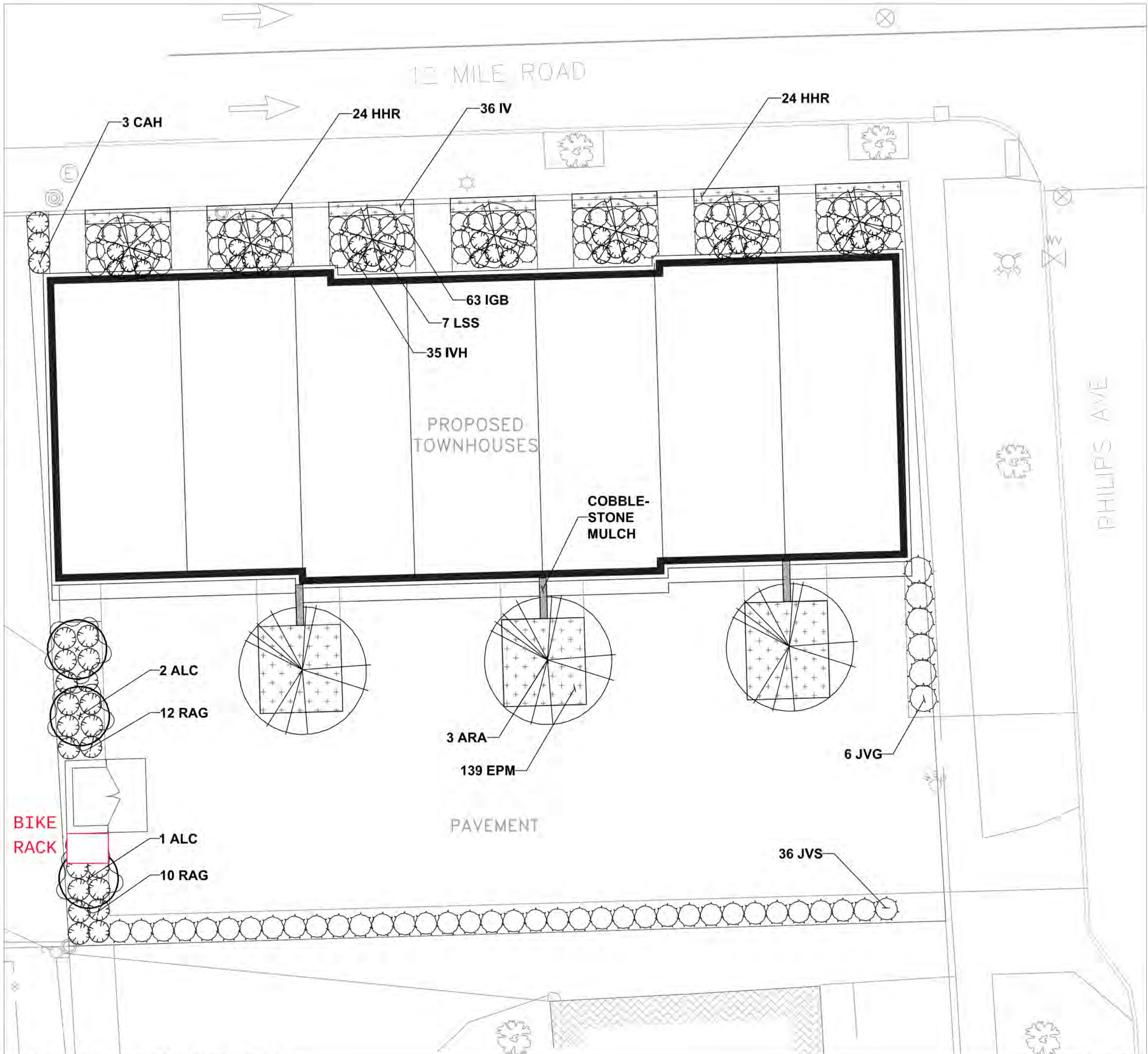
- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed. The cobblestone bed shall be maintained by removing seedlings and weeds on a regular basis as needed. Do not let tree roots become established.
- Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
FOUNDATION PLANTINGS				
CAH	3	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	30" ht. B&B
IGB	63	<i>Ilex glabra</i> 'Gem Box'	Gem Box Inkberry	24" ht. B&B
IVL	35	<i>Itea virginiana</i> 'Little Henry'	Little Henry Sweetspire	24" ht. B&B
LSS				
LSS	7	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Slender Silhouette American Sweetgum	3" cal. B&B
HHR	48	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 24" o.c.
IV	36	<i>Iris versicolor</i> 'Gerald Darby'	Gerald Darby Iris	1 gal. pot, 24" o.c.
PARKING LOT PLANTINGS				
ALC	3	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Serviceberry	2" cal. B&B
ARA	3	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	3" cal. B&B
JVG	6	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Spreading Juniper	24" spr., 3 gal. pot
JVS	36	<i>Juniperus virginiana</i> 'Skyrocket'	Skyrocket Upright Juniper	4' ht. B&B
RAG	22	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
EPM	139	<i>Echinacea purpurea</i> 'Pixie Meadowbrite'	Pixie Meadowbrite Purple Coneflower	1 gal. pot, 36" o.c.

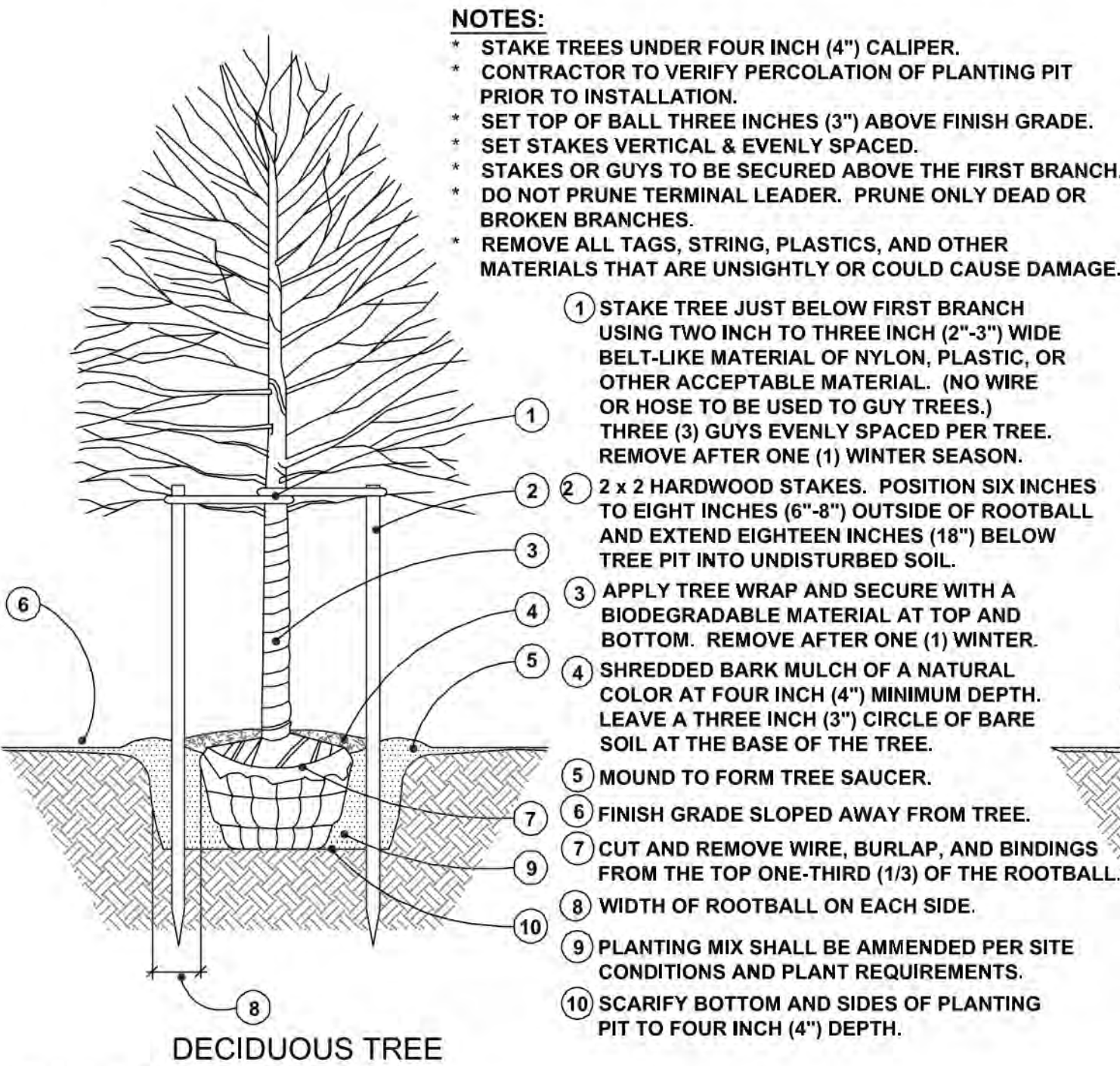


PARKING LOT ISLAND DETAIL not to scale

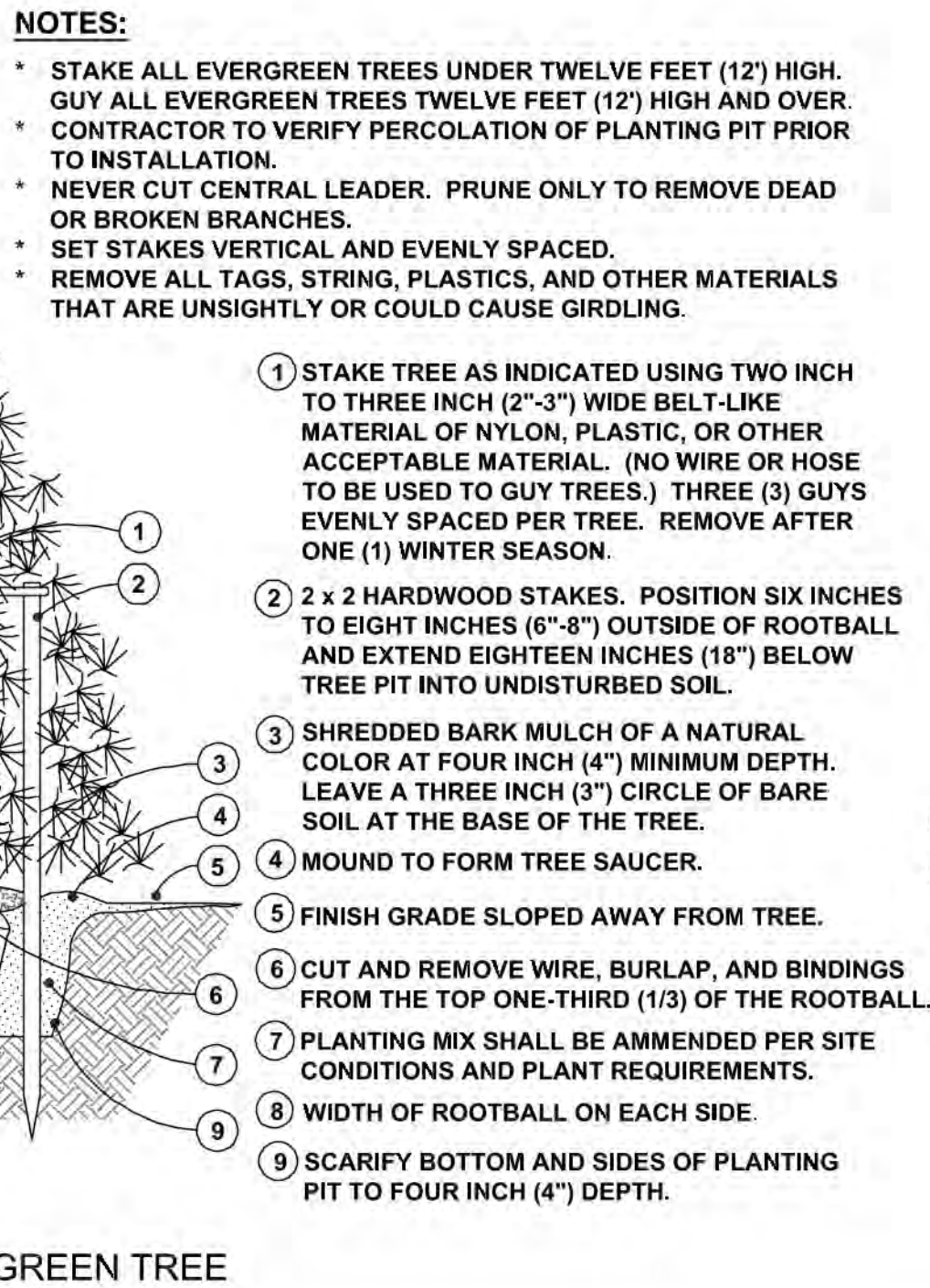


LANDSCAPE PLANTING PLAN

scale: 1" = 10'



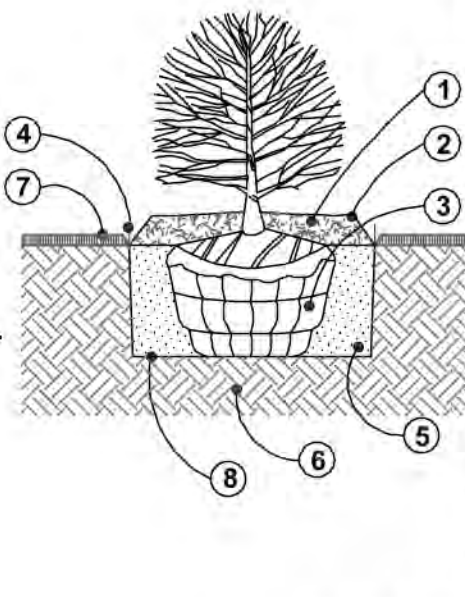
PLANTING DETAILS



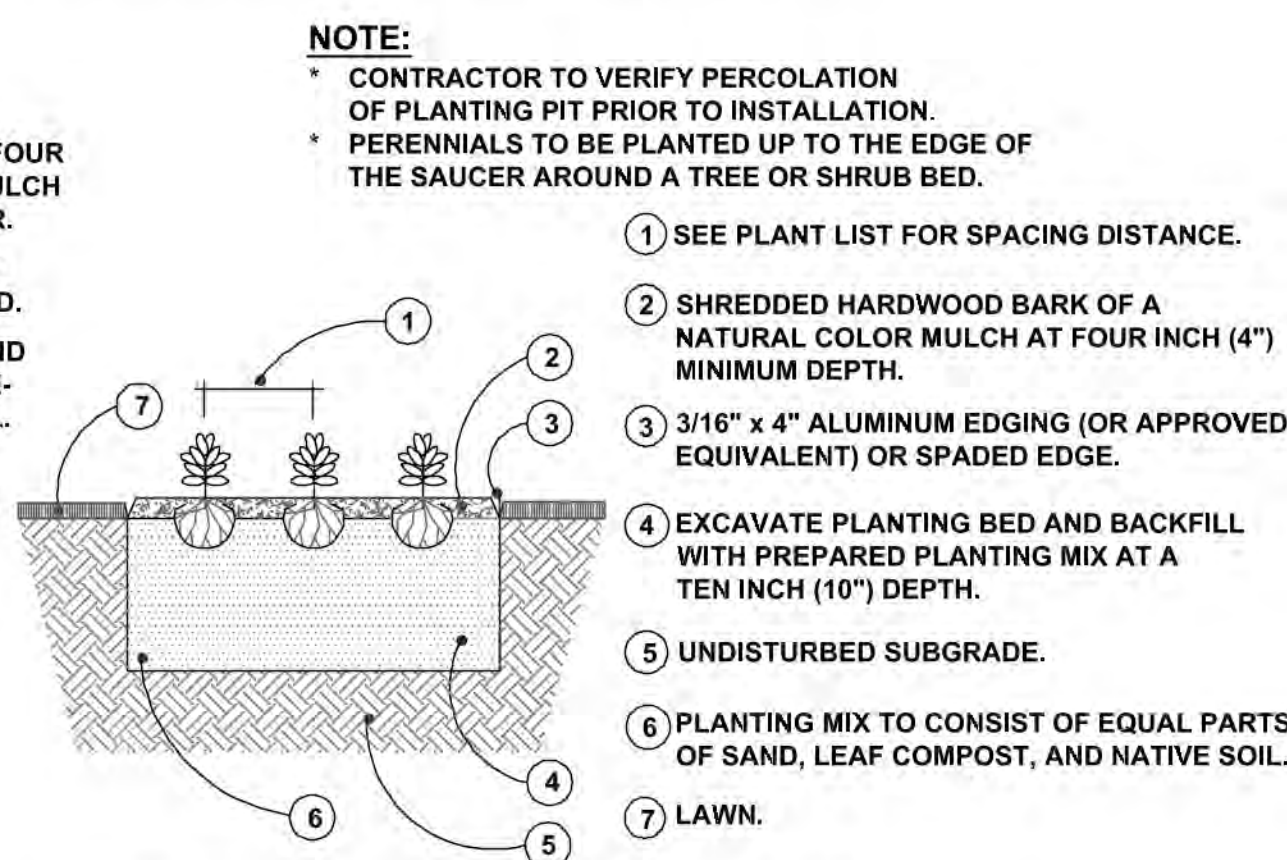
EVERGREEN TREE

- GENERAL NOTES FOR ALL PLANTINGS:**
- DO NOT CUT CENTRAL LEADER.
 - REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
 - PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
 - CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

- NOTE:**
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.



SHRUB



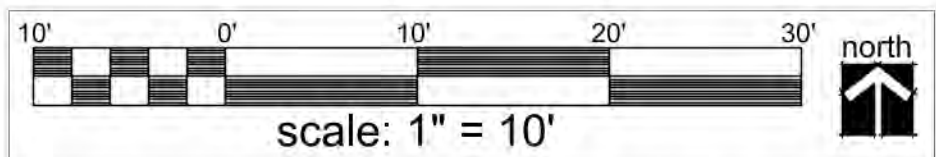
ANNUAL / PERENNIAL / GROUND COVER

not to scale



LOCATION MAP

not to scale



LANDSCAPE PLAN FOR:
GK Consulting, Inc.
5644 Middlebelt Road
Garden City, Michigan
48135
(313) 377-9449

PROJECT LOCATION:
Twelve Mile Road
Townhouse Apartments
3737 Twelve Mile Road
Berkely, Michigan

LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave
Livonia, Michigan 48150
(734) 634 9208

LP-1: LANDSCAPE PLANTING PLAN

* Base data provided by GK Consulting, Inc.

date: February 15, 2022
revised:



CITY OF BERKLEY LIGHTING REQUIREMENTS

Sec. 138-143. - Requirements.

All districts.

All lights shall be shielded in such a way as to direct all light toward the Earth's surface and away from reflective surfaces.

Light fixtures or lamps shall be shielded/shaded in such a manner as to direct incident rays away from all adjacent property.

Lights on poles, including the base, shall not be taller than the building whose area they illuminate nor taller than 20 feet, whichever is shorter.

Luminaires shall shield the source of glare above 72 degrees from the vertical.

All fixtures shall meet the building code requirements for their particular zoning district.

Lighting shall not be arranged in such a way that it will shine toward roadways, onto adjacent residential property, or into the night sky.

Except as stated elsewhere in these regulations, light levels shall be limited to those published as recommended by the Illuminating Engineering Society of North America. Nonresidential districts.

Any light fixture shall be placed in such a manner that no light source is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at eye level.



The level of lighting shall not exceed 0.5 footcandles at any residential property line or 1.0 footcandles at any nonresidential property line.

Any canopy structure used at a business location shall have recessed lights with diffusers that do not extend below the surface of the canopy.

Any luminaire on a pole, stand or mounted on a building shall have a shield, an adjustable reflector and nonprotruding diffuser.

Lighting of off-street parking areas. Except for single-family and two-family residential parking lots, all parking lots shall be lighted after dark throughout the hours when they are accessible to the public. Such lighting shall not exceed an intensity of five footcandles nor shall it be less than 1½ footcandles at pavement level. The installation of such lighting shall be hooded or shielded as to reflect the light away from abutting or neighboring property.

Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	MOUNTING HEIGHT
	A		4	Lithonia Lighting	DSXW2 LED 20C 350 50K T3M MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED's, 350mA DRIVER, 5000K LED, TYPE 3 MEDIUM OPTIC	1	3018	1	25	19'

B: 4" RECESSED LED LIGHT (8.5W)
UNDER FRONT CANOPY FOR EACH
UNIT. TOTAL OF 7.
No photometric reading provided due to
existence of street lighting

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	0.7 fc	1.9 fc	0.0 fc	N/A	N/A

TWELVE MILE ROAD

WEST:
3765 12 MILE
LAW OFFICE
ZONED -
12 MILE
DISTRICT

Twelve Mile District

GARAGE

Single Family
Residential R-1D

SOUTH:
3357 PHILLIPS
DUPLEX
ZONED R1-D

PHILLIPS AVE

PROPOSED 3 STORY TOWNHOUSES
(WITH 4TH FLOOR ROOFTOP DECK)
TOTAL - 15,900 SF
7 UNITS WITH SINGLE CAR GARAGES

Twelve Mile District

D-Series Size 2 LED Wall Luminaire

Specifications

Width: 18-1/2" (46.0 cm) | Depth: 10" (25.4 cm) | Height: 7-3/8" (18.4 cm) | Weight: 21 lbs (9.5 kg)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) | Depth: 1-1/2" (3.8 cm) | Height: 4" (10.2 cm) | Weight: 1 lbs (0.5 kg)

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#) [Link to DTL DLI](#)

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXXD

Color	Temp	Power	Beam Angle	Mounting	Finish	Options
DSXW2 LED	20C	350	50K	T3M	MVOLT	
DSXW2 LED	30C	350	50K	T3M	MVOLT	
DSXW2 LED	40C	350	50K	T3M	MVOLT	
DSXW2 LED	50C	350	50K	T3M	MVOLT	
DSXW2 LED	60C	350	50K	T3M	MVOLT	
DSXW2 LED	70C	350	50K	T3M	MVOLT	
DSXW2 LED	80C	350	50K	T3M	MVOLT	
DSXW2 LED	90C	350	50K	T3M	MVOLT	
DSXW2 LED	100C	350	50K	T3M	MVOLT	
DSXW2 LED	110C	350	50K	T3M	MVOLT	
DSXW2 LED	120C	350	50K	T3M	MVOLT	
DSXW2 LED	130C	350	50K	T3M	MVOLT	
DSXW2 LED	140C	350	50K	T3M	MVOLT	
DSXW2 LED	150C	350	50K	T3M	MVOLT	
DSXW2 LED	160C	350	50K	T3M	MVOLT	
DSXW2 LED	170C	350	50K	T3M	MVOLT	
DSXW2 LED	180C	350	50K	T3M	MVOLT	
DSXW2 LED	190C	350	50K	T3M	MVOLT	
DSXW2 LED	200C	350	50K	T3M	MVOLT	
DSXW2 LED	210C	350	50K	T3M	MVOLT	
DSXW2 LED	220C	350	50K	T3M	MVOLT	
DSXW2 LED	230C	350	50K	T3M	MVOLT	
DSXW2 LED	240C	350	50K	T3M	MVOLT	
DSXW2 LED	250C	350	50K	T3M	MVOLT	
DSXW2 LED	260C	350	50K	T3M	MVOLT	
DSXW2 LED	270C	350	50K	T3M	MVOLT	
DSXW2 LED	280C	350	50K	T3M	MVOLT	
DSXW2 LED	290C	350	50K	T3M	MVOLT	
DSXW2 LED	300C	350	50K	T3M	MVOLT	

Shipped Installed

SP Single face (120, 277, 347V)¹

DF Double face (208, 240, 480V)¹

HS House-able shield¹

SPO Separate surge protection¹

Shipped separately¹

BSW Blind-sensor cables

VG Vandal guard

Finish Options

DSXW2 Dark bronze

DSXW3 Black

DSXW4 Natural aluminum

DSXW5 White

DSXW6 Satin chrome

DSXW7 Textured dark bronze

DSXW8 Textured black

DSXW9 Textured natural aluminum

DSXW10 Textured white

DSXW11 Textured sandstone

PHOTOMETRIC PLAN

SCALE 1" = 10'

2-7-22 PERMITS

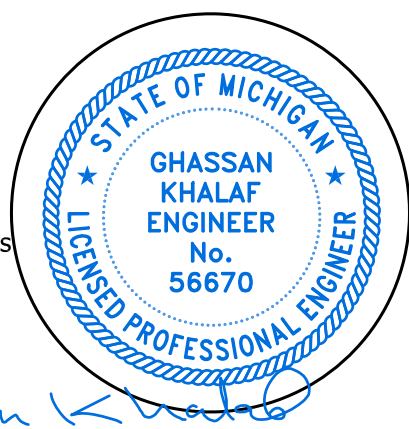
MARK DATE DESCRIPTION

GK
CONSULTING INC.

GHASSAN KHALAF, P.E.
TEL: 313-377-9449
e-mail: gkci@outlook.com
ADDRESS: 5644 MIDDLEBELT RD
GARDEN CITY, MI 48135

COPYRIGHT
DUPLICATION STRICTLY PROHIBITED WITHOUT
THE WRITTEN CONSENT OF CONSULTANT.

I hereby certify that
this plan and specification
was prepared by me or
under my direct
supervision and that I am
a duly registered Architect
or Engineer under the Laws
of the State of Michigan
by my hand and seal.



GHASSAN KHALAF

3737 TWELVE MILE
BERKLEY, MI

APPLICANT:

NOTE:

OWNER AND THE CONTRACTORS ARE THE SOLELY
RESPONSIBLE FOR THE PERFORMANCE AND THE
EXECUTION OF THE PROJECT AND IT IS THEIR
RESPONSIBILITY FOR THE SAFETY OF THE
BUILDING STRUCTURE AND THE MATERIALS
USED TO RENOVATE AND CONSTRUCT THE
PROPOSED FACILITY SHOWN ON THE PLANS

Applicable codes:

2015 Michigan Building Code
ANSI 117.1-2003 Accessibility
2009 Michigan Energy Code -
ASHREA 90.1-2007
2012 International Fire Code
2015 Michigan Plumbing Code
2015 Michigan Mechanical Code
2014 national Electric Code, with Part 8

SHEET TITLE

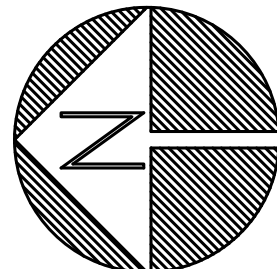
PHOTOMETRIC
PLAN

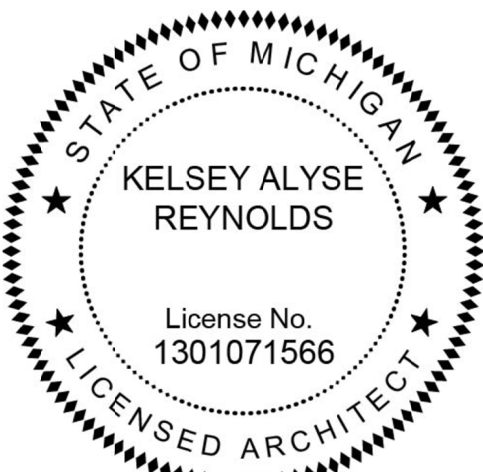
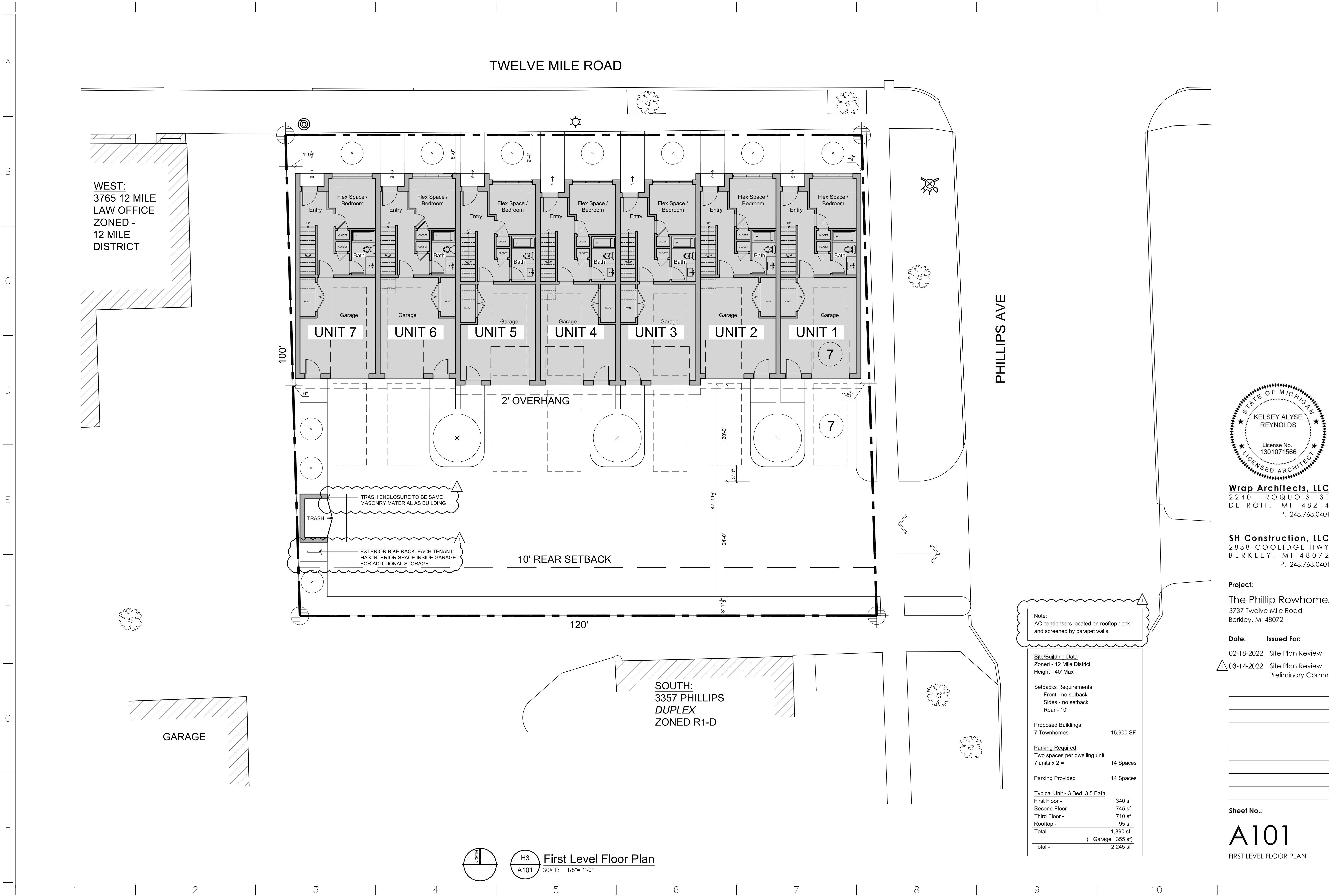
SCALE

AS NOTED

SHEET No.

PH-01





Wrap Architects, LLC
2240 IROQUOIS ST
DETROIT, MI 48214
P. 248.763.0401

SH Construction, LLC
2838 COOLIDGE HWY
BERKLEY, MI 48072
P. 248.763.0401

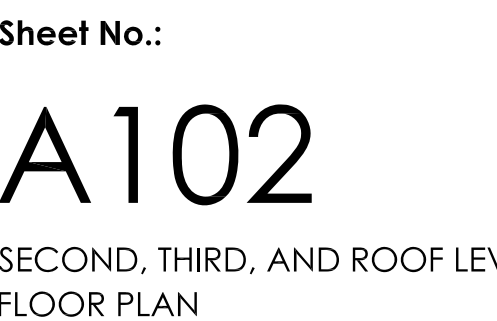
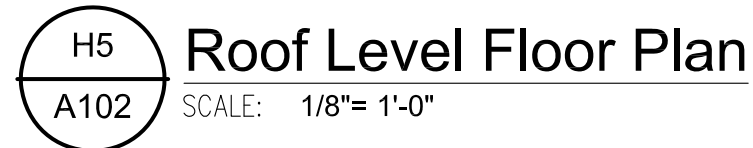
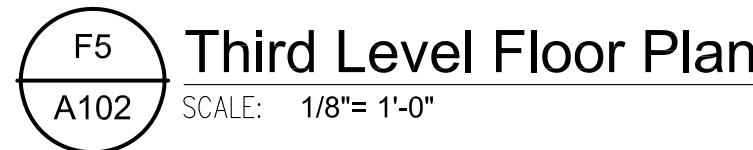
Project:
The Phillip Rowhomes
3737 Twelve Mile Road
Berkley, MI 48072

Date: 02-18-2022 **Issued For:** Site Plan Review
03-14-2022 Site Plan Review
Preliminary Comments

Sheet No.:
A101
FIRST LEVEL FLOOR PLAN

Note:
AC condensers located on rooftop deck
and screened by parapet walls

Site/Building Data	
Zoned - 12 Mile District	
Height - 40' Max	
Setbacks Requirements	
Front - no setback	
Sides - no setback	
Rear - 10'	
Proposed Buildings	
7 Townhomes -	15,900 SF
Parking Required	
Two spaces per dwelling unit	
7 units x 2 =	14 Spaces
Parking Provided	
14 Spaces	
Typical Unit - 3 Bed, 3.5 Bath	
First Floor -	340 sf
Second Floor -	745 sf
Third Floor -	710 sf
Rooftop -	95 sf
Total -	1,890 sf
(+ Garage 355 sf)	
Total -	2,245 sf



A

B

C

D

E

F

G

H

T.O. ROOFTOP STAIRWAY
ELEV. = 138'-0"

ROOF PARAPET
ELEV. = 133'-2"

ROOF
ELEV. = 129'-8"

THIRD LEVEL
ELEV. = 120'-4"

SECOND LEVEL
ELEV. = 110'-0"

FIRST LEVEL
ELEV. = 100'-8"

GROUND LEVEL
ELEV. = 100'-0"



D5 North Elevation
A201 SCALE: 3/16"= 1'-0"

FIRST FLOOR GLAZING REQUIREMENTS	
REQUIRED - 40%	
PROVIDED - 26.3%	
TOTAL FIRST FLOOR FRONTAGE AREA -	941.33 sf
PROVIDED AREA -	247.31 sf
247.31 / 941.33 = 26.3%	

T.O. ROOFTOP STAIRWAY
ELEV. = 138'-0"

ROOF PARAPET
ELEV. = 133'-2"

ROOF
ELEV. = 129'-8"

THIRD LEVEL
ELEV. = 120'-4"

SECOND LEVEL
ELEV. = 110'-0"

FIRST LEVEL
ELEV. = 100'-8"

GROUND LEVEL
ELEV. = 100'-0"



H5 South Elevation
A201 SCALE: 3/16"= 1'-0"



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DETROIT, MI 48214
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2838 COOLIDGE HWY
BERKLEY, MI 48072
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Project:
The Phillip Rowhomes
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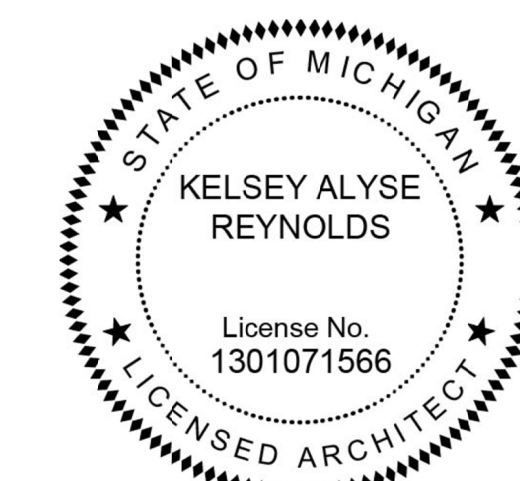
Date: 02-18-2022 **Issued For:** Site Plan Review
03-14-2022 Site Plan Review
Preliminary Comments

Sheet No.:
A201
NORTH AND SOUTH COLOR
EXTERIOR ELEVATIONS

H



3D RENDERINGS - VIEWS FROM 12 MILE



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DETROIT, MI 48214
P. 248.763.0401

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P. 248.763.0401

Project:
The Phillip Rowhomes
3737 Twelve Mile Road
Berkley, MI 48072

Date:	Issued For:
02-18-2022	Site Plan Review
03-14-2022	Site Plan Review
	Preliminary Comments

Sheet No.:

A202

EAST AND WEST EXTERIOR COLO
ELEVATIONS + MATERIALS



CITY OF BERKLEY
COMMUNITY DEVELOPMENT
3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

MEMORANDUM

TO: Berkley Planning Commission

FROM: Megan Masson-Minock; Interim Community Development Director

SUBJECT: **PSP-06-22: 3737 Twelve Mile – New Construction of Rowhomes**
Site Plan Approval
Plan Date: March 14, 2022 & previous submittal dated February 18, 2022

DATE: March 18, 2022

Attached are the following reviews for the site plan submitted:

Planning Review from Carlisle Wortman Associates (CWA) dated March 15, 2022, for plans date March 14, 2022

CWA noted that the Planning Commission needs to consider the following waivers:

- Twelve Mile setback
- Phillips Avenue setback
- Side yard setback
- Front elevation transparency

CWA recommended approval of the site plan with the following conditions:

1. Install a higher parapet along the southern portion of the roof deck to block noise, light, and views.
2. Insert windows on west elevation. If the applicant cannot include windows due to fire code separation requirements, CWA recommended some other form of architectural treatment to break up the massing of that side elevation.

In the letter from the applicant to me dated March 14, 2022, the applicant noted the following:

- Since the rear of the deck is setback sixty feet from the rear lot line, they do not see a need for a higher parapet but are willing to entertain additional screening or a fence.
 - Installation of windows on the west façade is cost-prohibitive and they feel the façade as proposed is cohesive and appealing.
-

Engineering Review from Hubbell, Roth & Clark (HRC) dated March 7, 2022, for plans dated February 18, 2022

HRC did not recommend approval of the site plan, based on the number of outstanding items. With a standard two-week review window, HRC has not yet reviewed the plans submitted this past Monday. Please note the following item from HRC's review letter which was not completed per the applicant's response letter:

- HRC requires a geotechnical investigation to evaluate the feasibility of the proposed stormwater management system. The applicant has requested conditional approval with the geotechnical report to be submitted with the building permit.

Review for City of Berkley Department of Public Works (DPW) dated March 3, 2022

DPW did not recommend approval of the site plan, based on HRC's review and several outstanding items. As with HRC, DPW has not yet reviewed the plans submitted this past Monday. The Planning Commission should note the following items from the applicant's response letter:

- DPW requires a geotechnical report and confirmation for any stormwater management system with storage utilizing pipe perforation. The applicant has asked that geotechnical report be a condition of approval for the site plan. DPW is concerned that if the soils are not able to handle the proposed system, that the changes needed would have significant impacts on the site layout and overall costs.
- Item 10 of DPW's review requires feedback received from the Road Commission of Oakland County (RCOC) and/or an approved RCOC plan. The applicant has stated that they will share all future RCOC future comments. According to DPW Director Schueller, the City typically has the Road Commission's initial feedback prior to site plan approval. It is unclear if the applicant has started the RCOC approval process.

Please note that Fire Inspector Pete Kelly has signed and approved the site plan submitted on March 14, 2022.

Summary and Recommendation

The Planning Commission needs to make a determination on the following:

1. **Waiver of the 0-foot setback for the proposed 8-foot setback from Twelve Mile:** To grant the waiver, the Planning Commission must find that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space. The Planning Commission indicated during the sketch plan review of this site that the proposed setback would be needed space to create a functional pedestrian space in front of the proposed residential buildings.
2. **Waiver of the 0-foot setback for the proposed 1-foot, 9-inch setback from Phillips:** To grant the waiver, the Planning Commission must find that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space. The applicant is seeking relief due to the irregular shape of the lot. The Planning Commission may find the request reasonable due to the that unique circumstance.

3. **Waiver of the 0-foot setback for the proposed 4.75-inch side yard setback:** To grant the waiver, the Planning Commission must find that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space. The applicant is seeking relief due to the irregular shape of the lot. The Planning Commission may find the request reasonable due to the that unique circumstance.
4. **Waiver of the minimum 40 percent transparency for 26.3 percent transparency on front faced facing Twelve Mile:** The Planning Commission may revise this requirement if the Commission finds that the standards for site plan approval, as outlined in Section 138-678, have been met.

In addition, the Planning Commission should give the applicant direction as to whether a higher parapet is needed and whether changes are needed to the west façade per the recommendations from CWA.

We recommend the Planning Commission table this site plan request until the following steps have been taken:

1. A geotechnical investigation to evaluate the feasibility of the proposed stormwater management system has been submitted, reviewed, and approved DPW and HRC.
2. Initial feedback from the Road Commission of Oakland County on the proposed work in the Twelve Mile right-of-way.

If the Planning Commission chooses to approve the site plan, we recommend that the following items be conditions of approval:

1. RCOC approval for work in the Twelve Mile right-of-way; and
2. All issues in the following review letters are addressed:
 - a. City Department of Public Works dated March 3, 2022
 - b. Hubbell, Roth & Clark dated March 7, 2022



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 28, 2022
March 15, 2022

Site Plan Review For City of Berkley, Michigan

Applicant: 3737 Twelve Mile, LLC

Project Name: The Phillip Rowhomes

Plan Date: March 14, 2022

Location: 3737 Twelve Mile Road and 3363 Phillips Avenue

Zoning: Twelve Mile District

Action Requested: Site Plan Approval

SITE DESCRIPTION

The applicant is proposing a new seven unit rowhomes development at 3737 Twelve Mile Road and 3363 Phillips Avenue. The buildings will front on Twelve Mile. Vehicular access to the site will be off Phillips Avenue. The buildings are three (3) stories with a fourth story roof deck. All three (3) structures on the existing site will be removed.

The site is zoned Twelve Mile District, and rowhomes is a permitted use.

Site Location:Proposed Uses of Subject Parcel:

A 7-unit rowhome development

Current Use of Subject Property:

The subject property currently consists of a single-family home with detached garage and office building.

Surrounding Property Details:

Direction	Zoning	Use
North	Twelve Mile District	Commercial
South	Single Family Residential, R1-D	Single-Family Residential
East	Twelve Mile District	Phillips Avenue / Commercial
West	Twelve Mile District	Commercial

Items to be addressed: None.

A Sketch Plan was reviewed on January 25, 2022, by the Planning Commission. The minutes from that meeting has more details. The Planning Commission greatly supported the plan, the use of the property, and the setback allowances (see area, width, height, and setback section of this review for more details). However, the Planning Commission also noted that the site was overparked by four (4) spaces, and to not include the top black box on the dumpster, include bicycle racks, and more greenery.

The site has been graded for previous development. No natural features exist.

The buildings will front on Twelve Mile. Vehicular access to the site will be off Phillips Avenue.

Items to be addressed: None

Sec. 138-397 - Schedule of Regulations of the Zoning Ordinance establishes the dimensional requirements for the Twelve Mile District.

	Required	Provided	Compliance
Front (Twelve Mile Road)	No setback shall be permitted, unless the Planning Commission finds that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space.	8 Feet	Need Planning Commission consideration
Front (Phillips)	No setback shall be permitted, unless the Planning Commission finds that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space.	1-foot, 9-inches	Need Planning Commission consideration

Side	No setback shall be permitted, unless the Planning Commission finds that the proposed setback shall be developed as a defined plaza, outside eating area, or other pedestrian space.	4.75-inches	Need Planning Commission consideration
Rear	10-feet	46-Feet	Complies
Building Height	Maximum 40 feet	38 Feet (as noted on site plan), with roof deck	Complies

The applicant is providing a setback of eight (8) feet from Twelve Mile Road to provide a small lawn/landscape area and pedestrian sidewalk. The proposed 8-foot setback is reasonable to accommodate the residential use.

The applicant is seeking a relief from the Planning Commission from the required side yard (west) and front yard (Phillips) setback due to irregular shape of the lot. The request relief is reasonable due to the irregular shape of the lot.

We note the inclusion of a roof deck, which will be approximately thirty (30) feet in height. The roof deck is a valuable and supported amenity to the development. However, we note that, although the deck is surrounded by a 4-foot parapet, there is potential for negative impacts on the single-family homes south of the development. Impacts of particular concern are noise, light, and potential views into second stories of adjacent homes. The Planning Commission should discuss potential need for a higher parapet along the southern portion of the roof deck to block noise, light, and views.

Items to be addressed: 1). Planning Commission to consider waiver from Twelve Mile setback, Phillips, and side yard setback; and 2). Planning Commission should discuss potential need for a higher parapet along the southern portion of the roof deck to block noise, light, and views.

PARKING

Section 138-219 of the Zoning Ordinance requires:

	Required	Provided
Single-family residential detached or attached: 2 spaces per unit	7 units = 14 spaces	14

For each unit, one (1) space is located in an at-grade garage and one (1) space is located in driveway spot behind garage door. The applicant is distinguishing the driveway spots with curbing and landscaping.

The applicant has included an onsite bike rack.

Items to be Addressed: *None*

Building Design Standards

Sec. 138-462. - Building design requirements.

- a) **The first floor elevation of a building that fronts a street shall be composed of a minimum of 40 percent and a maximum of 80 percent windows. When there is a choice between a major thoroughfare and a minor street, the elevation that faces the major thoroughfare shall be considered the front.**

CWA Response: The applicant is providing 26.3% transparency on front (Twelve Mile) elevation. The applicant notes that due to costs and because it is a residential use, they would like to maintain privacy. The applicant is seeking relief from the Planning Commission.

- b) **The building elevation that fronts a street shall contain an entrance. The entrance shall access the first floor of the building. When there is a choice between a major thoroughfare and a minor street, the elevation that faces the major thoroughfare shall be considered the front.**

CWA Response: The primary building entrance fronts on Twelve Mile Road.

- c) **Siding, generally considered residential, regardless of orientation, and T111-type material shall not be permitted.**

CWA Response: The applicant proposes metal cladding siding.

- d) **The Planning Commission may revise these requirements, if the commission finds that the standards for site plan approval, as outlined in Section 138-678, have been met.**

CWA Response: The Planning Commission is asked to consider a waiver for transparency based on the proposed residential use and subsequent desire for privacy.

Items to be Addressed: *Planning Commission to consider waiver for transparency requirements.*

LANDSCAPING AND SCREENING

A landscaping plan has been provided on sheet LP-1. The applicant proposes robust landscaping in both the front of the buildings adjacent to Twelve Mile Road and in the rear in the parking area. Landscaping includes ornamental trees, shrubs, flowers, and evergreen screening along the southern property line.

As set forth in Section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require trees to be planted on or near the site consistent with the elements of the adopted city master plan.

Trash Enclosure:

The applicant is proposing one (1) trash enclosure with the rear parking area. The applicant has indicated the screening of the trash enclosure will be masonry that matches the building.

Items to be Addressed: None

PHOTOMETRICS

A photometric plan has been provided. The applicant is proposing four (4) building lights that are mounted above garage, and seven (7) can LED lights along front elevation.

Items to be Addressed: None

EXTERIOR APPLIANCES

Applicants notes that AC units will be located on roof and screened by parapet.

Items to be Addressed: None

Floor plans and elevations have been provided. Materials include brick first floor, and metal cladding on upper floors. The applicant is not indicating any windows on the west elevation. If they cannot include windows due to fire code separation requirements, we recommend some other form of architectural treatment to break up the massing of that side elevation.

Applicant notes that widows on west façade are cost prohibitive due to them having to be fire rated. Applicant finds that the west façade is cohesive with the rest of the building and the use of different textures and warmer colored materials make this an appealing building.

Items to be Addressed: *Insert windows on west elevation. If the applicant cannot include windows due to fire code separation requirements, we recommend some other form of architectural treatment to break up the massing of that side elevation.*

DESIGN STANDARDS AND SITE PLAN REVIEW STANDARDS

As set forth in Sec. 138-679. – Standards, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

1. The site meets the requirements of this Code.

CWA Response: Outside of the requested noted waivers, the site meets all Code requirements. The Planning Commission should discuss the waivers requested.

2. The proposed development does not create adverse effects on public utilities, roads, or sidewalks.

CWA Response: The proposed development does not create adverse effects on public utilities, roads, or sidewalks.

3. Pedestrian and vehicular areas are designed for safety, convenience, and compliment adjacent site design.

CWA Response: The applicant has designed the site to provide safe and convenient vehicular and pedestrian access and circulation.

4. Site design, architecture, signs, orientation, and materials are consistent with the city's master plan objectives and the design of the neighboring sites and buildings.

CWA Response: The development advances the City's master plan objectives, complements and enhances the existing built environment, and the use is complementary to neighboring properties.

5. Landscaping, lighting, dumpster enclosures, and other site amenities are provided where appropriate and in a complementary fashion.

CWA Response: The applicant is greatly improving the site with increased landscaping, new lighting, and has sited the dumpster enclosure in a proper location.

6. Site engineering has been provided to ensure that existing utilities will not be adversely affected.

CWA Response: The development is to be reviewed by the City Engineer to ensure existing utilities will not be adversely affected.

Provided that the applicant can address the outstanding items in our report, we find the site plan review standards have been met.

RECOMMENDATION

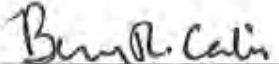
The Planning Commission should consider the following waivers:

- Twelve Mile setback
- Phillips Avenue setback
- Side yard setback
- Front elevation transparency

Based on Planning Commission discussion, we recommend Planning Commission approval with the following conditions:

1. *Install a higher parapet along the southern portion of the roof deck to block noise, light, and views.*
2. *Insert windows on west elevation. If the applicant cannot include windows due to fire code separation requirements, we recommend some other form of architectural treatment to break up the massing of that side elevation.*


Sincerely,


CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

Transmittal Memo

To: Megan Masson-Minock, Interim Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)
Shawn Young, DPW Foreman (via email)
Eddie Zmich, HRC (via email)

From: Derrick Schueller, DPW Director 

Date: March 3, 2022

Subject: Proposed Phillips Townhomes (The Phillip Rowhomes)
3737 12 Mile
Site Plan Review #1

We have reviewed the site plans provided by the Community Development Department on February 18 and prepared by Wrap Architects and GK Consulting. Please find below our initial comments:

1. The site plans will be reviewed by the City's engineering consultant, Hubbell, Roth & Clark (HRC). Among other things, HRC will review the storm water detention calculations and site grading.
2. A Design Miss Dig ticket shall be requested by the applicant so existing utilities can be shown on the drawings. The ticket number shall be indicated on the Topographic Survey.
3. The existing water and sanitary pipes and connections from the office and home shall be shown on the survey and demolition/removal plan. These lines are private and may require a licensed plumber to verify locations and size. The storm pipe and connection for the existing catch basin must also be shown. All existing sewer connections cannot be reused and are required to be abandoned within 2' of the public main. Please indicate this work on the demolition plan with 12 Mile impacts shown.
4. A 100-year detention system will be required per current Oakland County standards. Any storage utilizing pipe perforation, existing soils or open stone will require a geotechnical report and confirmation prior to site plan approval.
5. Please note the proposed stormwater management system will be a private system under the maintenance of the property owner. A template approved by the City Attorney is attached for use. Exhibits will need to be prepared by the applicant and included with the document.
6. The new water supply lines and sanitary lead are required to come off of the existing public utilities along 12 Mile Road (address frontage). The existing 6" main on Phillips was not designed to support a development of this size and vertical elevation.
7. The applicant shall verify the new development will not negatively impact the adjacent properties and existing drainage conditions.
8. Note the Community Development Department will review the striping plan for verification of number of stalls required, sizing, handicap considerations and general site circulation.
9. A traffic control plan shall be added to the plan set to account for the proposed impacts in the 12 Mile and Phillips right-of-way.
10. 12 Mile is under the jurisdiction of the Road Commission for Oakland County. The applicant shall share feedback received from the County and/or an approved RCOC plan.

11. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).

A response letter from the applicant to these comments would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.

**AGREEMENT FOR
STORM WATER SYSTEM MAINTENANCE**

This Agreement is made on _____, by _____, (“Developer”), a (corporation, limited liability company, partnership) whose address is _____; and the CITY OF BERKLEY (the “City”), whose address is 3888 Coolidge Hwy, Berkley, MI 48879.

WHEREAS, Developer owns and proposes to develop the Property described in attached **Exhibit A**; and

WHEREAS, the proposed development of the Property will alter the natural flow of surface and storm water drainage; and

WHEREAS, Developer has proposed, and the City has approved, a storm water management system (the “System”) as described and depicted in the plan attached as **Exhibit B**; and

WHEREAS, the parties will benefit from the proper operation, use, and maintenance of the System and enter into this agreement to provide for the same.

THEREFORE, the parties agree:

1. **Use of the System:**

Components of the System, including any and all water conveyance, detention and water quality treatment facilities and devices, pumping system, storm sewer pipe, catch basins, manholes, end-sections, ditches, swales, open water courses and rip-rap, shall be used solely for the purpose of conveying, detaining and treating storm and surface drainage on the property until such time as: (i) The City determines and notifies Developer or Developer’s successors, grantees or assigns, in writing, that it is no longer necessary to convey, detain or treat the storm and surface drainage; and (ii) An adequate alternative for conveying, detaining and treating storm and surface drainage has been provided which is acceptable to the City and which includes the granting of any easements to the City or third parties as may be required or necessary for the alternative drainage system.

2. **Maintenance:**

- A. Developer shall be responsible for the proper maintenance, repair and replacement of the System and all parts thereof as detailed in the Maintenance Plan attached as **Exhibit C**.

- B. Proper maintenance of the System shall include, but is not limited to: (i) Removing accumulated sediment, trash and debris from the detention basin and at inlet pipes; (ii) Managing deleterious vegetative growth; (iii) Maintaining storm sewer, structures, end-sections and safety features; (iv) Controlling the effects of erosion; (v) Inspection and cleaning of the water quality treatment device; (vi) Inspection of inlet and outlet pipes for structural integrity; (vii) Inspection and replacement of riprap at inlet pipes; (viii) Inspection and cleaning of the storm sewer and catch basins upstream from the detention basin; (ix) Inspection and replacement of stone around the outlet pipe; and (vi) Any other maintenance that is reasonable and necessary to facilitate and continue the proper operation and use of the System.

3. **Action by City:**

If, at any time, Developer or Developer's successors, grantees or assigns neglect or fail to properly maintain the System or any part thereof, the City may notify Developer or Developer's successors, grantees or assigns. The notice shall be in writing and shall list and describe maintenance deficiencies and demand that they be corrected within thirty (30) days.

The notice shall further specify a date and place for a hearing to be held at least fourteen (14) days after the date of the notice before the City Council, or such other board or official as the City Council may designate. At the hearing, the City Council (or other designated board or official) may affirm or modify the list and description of maintenance deficiencies and, for good cause shown, may extend the time for the deficiencies to be corrected.

Thereafter, if the maintenance deficiencies are not corrected within the time allowed, the City may undertake the necessary corrective actions, and the City may maintain the System for up to one (1) year. Such maintenance of the System by the City shall not be construed to be a trespass or a taking of the Property, nor shall the City's actions vest in the public any right to enter or use the Property. Thereafter, if Developer or Developer's successors, grantees or assigns do not properly maintain the System, the City may, after providing similar written notice, schedule and hold another hearing to determine whether the City should maintain the System for another year, and subject to a similar notice, hearing and determination, in subsequent years.

In the event the City determines an emergency or public nuisance condition caused by or relating to the System threatens the public health, safety or general welfare, the City shall have the right to immediately and without notice enter the Property and undertake appropriate corrective action.

4. **Charges:**

The City shall charge to the current owner of the Property the cost of maintenance or other corrective action undertaken by the City under this agreement, plus a ten percent (10%) administrative fee. If not timely paid, the City may place the charges on the City's tax roll, which charges shall be a lien on the Property and shall be collectable and enforceable in the same manner general property taxes are collected and enforced.

5. **Notice:**

Any notices required under this agreement shall be sent by certified mail to the address for each party set forth below, or to such other addresses as such party may notify the other parties in writing:

To _____:

To the City:

City Manager
City of Berkley
3888 Coolidge Hwy
Berkley, MI 48879

6. **Successors and Assigns:**

This agreement shall bind and inure to the benefit of the parties and their respective successors, grantees and assigns. The benefits, burdens, rights, obligations and responsibilities hereunder shall run with the land and shall bind all current and future owners of the Property and any divisions thereof.

7. **Recording of Agreement:**

This agreement shall be recorded at the Oakland County Register of Deeds.

By: _____

Its: _____

CITY OF BERKLEY

By: _____

Matthew Baumgarten, City Manager

STATE OF MICHIGAN
:SS
COUNTY OF _____

This agreement was acknowledged before me on _____, by _____
_____ of _____ on behalf of the _____.

Notary public
County, Michigan
My commission expires: _____

STATE OF MICHIGAN
:SS
COUNTY OF OAKLAND

This agreement was acknowledged before me on _____, by Matthew Baumgarten, City Manager, of the City of Berkley, on behalf of the City.

Notary public
County, Michigan
My commission expires: _____

Drafted by:
John D. Staran, Esq.
2055 Orchard Lake Road
Sylvan Lake, MI 48320

When Recorded Return to:
City Clerk
City of Berkley
3888 Coolidge Hwy.
Berkley, MI 48879

March 7, 2022

City of Berkley
3338 Coolidge Highway
Berkley, Michigan 48072

Attention: Ms. Megan Masson-Minock, Community Development Director
Mr. Matthew Baumgarten, City Manager

Re: The Phillips Rowhomes
3737 Twelve Mile Road
Engineering Site Plan – Review No. 1
City of Berkley, MI

HRC Job No. 20220175.02

Dear Ms. Masson-Minock and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Wrap Architects of Detroit, Michigan with the engineering site plan created by GK Consulting of Garden City, Michigan. The plans have an issue date of February 18, 2022. The proposed project scope includes the renovation of an existing commercial building as well as a residential home and garage, and construction of a 7-unit Townhome complex. We hereby offer the following comments:

General:

1. A Road Commission for Oakland County (RCOC) permit will be required for proposed work within the 12-Mile Road right-of-way as well as for construction signage.
2. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required.
3. All existing utilities and service leads must be shown on the plans.

Water and Fire Protection Services:

1. As discussed in the pre-application meeting, the proposed water service must connect to the 12" water main in Twelve Mile Road, rather than the 6" main in Phillips Ave. The City was open to allowing the stormwater connection to be made in Phillips Ave to avoid utilities running under the proposed building.

Storm Drainage and Detention/Sanitary Sewer:

2. A geotechnical investigation must be performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs must be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system.

Delhi Township
2101 Aurelius Rd.
Suite 2A
Holt, MI 48842
517-694-7760

Detroit
535 Griswold St.
Buhl Building, Ste 1650
Detroit, MI 48226
313-965-3330

Grand Rapids
801 Broadway NW
Suite 215
Grand Rapids, MI 49504
616-454-4286

Howell
105 W. Grand River
Howell, MI 48843
517-552-9199

Jackson
401 S. Mechanic St.
Suite B
Jackson, MI 49201
517-292-1295

Kalamazoo
834 King Highway
Suite 107
Kalamazoo, MI 49001
269-665-2005

Lansing
215 S. Washington SQ
Suite D
Lansing, MI 48933
517-292-1488

3. This office has conducted a review of the stormwater calculations. The plans include 100-year stormwater detention volume calculations in accordance with current Oakland County WRC standards, as well as details and calculations showing the provided storage from the proposed stormwater management system. As such, the system appears to be adequately sized to detain stormwater from the proposed development, however, the feasibility of the proposed system in regards to the site soils must be confirmed through the geotechnical investigation as stated above.
4. Note that downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area. They may also be directed through the proposed restricted-outlet structure. The location of the proposed downspouts and the above note must be shown on the plans.
5. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction.
6. A note indicates the existing building sanitary lead will remain in place and be re-utilized. The applicant must have the sanitary lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction.
7. The existing sanitary sewer leads must be properly abandoned via a spot liner or another DPW approved method. The Applicant is responsible for any roadwork and restoration associated with the new utility connections which must be shown on the submitted plans.

Recommendation:

Based on our aforementioned comments, we do not recommend approval of the proposed Site Plan at this time. The plans must be revised to address all of the above comments and resubmitted to the City of Berkley for further review.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Edward D. Zmich
Project Manager



Mitch Stark
Review Engineer

EDZ/MAS/mas

pc: City of Berkley; Derrick Schueller, Shawn Young, Kim Anderson
HRC; R. Alix, File
3737 Twelve Mile, LLC; Daniel Stakhiv
Wrap Architects; Kelsey Reynolds
GK Consulting; Ghassan Kalaf