PUBLIC NOTICE

CITY OF BERKLEY, MICHIGAN SPECIAL MEETING OF THE CITY PLANNING COMMISSION

Tuesday, June 7, 2022 7:00PM – City Hall Council Chambers Information: 248-658-3320

CALL TO ORDER
PLEDGE OF ALLEGIANCE
ROLL CALL
APPROVAL OF AGENDA
APPROVAL OF MINUTES — Meeting minutes of May 24, 2022
COMMUNICATIONS
CITIZEN COMMENTS

OLD BUSINESS

PSP-04-21: Lot 53 on Oxford Road – The Ivy: Site Plan for Phase II of the approved project at 2219
Coolidge for the removal of the existing parking lot and construction of two multiple family buildings with
a total of 24 dwelling units and a parking lot.

NEW BUSINESS

- 2. PSP-12-22: 28557 Woodward Seven Point Provisioning Center: Sketch Plan for the renovation of the existing building to be a retail marihuana dispensary at 28557 Woodward Avenue, Parcel #25-17-257-025, associated parking in the existing parking lot at Parcel #25-17-257-008, and proposed parking at 1299 Wiltshire Road, Parcel #25-17-257-007, and 1276 Franklin Road, Parcel #25-17-257-023.
- 3. Election of Officers
- 4. Huntington Woods Master Plan Response

LIAISON REPORTS COMMISSIONER / STAFF COMMENTS ADJOURN

Notice: Official Minutes of the City Planning Commission are stored and available for review at the office of the City Clerk. The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days notice to the city. Individuals with disabilities requiring auxiliary aids or services should contact the city by writing or calling: City Clerk, ADA Contact, Berkley City Hall, 3338 Coolidge, Berkley, Michigan 48072, (248) 658-3300.

You can watch the meeting on Channel 10 for both Comcast and WOW, at http://www.youtube.com/CityofBerkley or http://www.berkleymich.org/livestream.

THE REGULAR MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:01 PM, MAY 24, 2022 AT BERKLEY CITY HALL BY CHAIR KRISTEN KAPELANSKI.

The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, ondemand, on the city's YouTube channel: https://www.youtube.com/user/cityofberkley.

PRESENT: Kristen Kapelanski Joe Bartus

Greg Patterson Julie Stearn

Lisa Kempner

ABSENT: Daniel Petrosky (Unexcused; pending resignation)

Shiloh Dahlin (Excused) Mark Richardson (Excused)

ALSO, PRESENT: Megan Masson-Minock, Interim Community Development Director

Ross Gavin, City Council Liaison Bill Scarmeas, 1878 Rosemont, Berkley Aaron Geyer, 1722 Roszel, Royal Oak

Aric Klar, 637 Overbrook, Bloomfield Township

Michael Klar, 5071 Village Place, West Bloomfield Township

Motion by Commissioner Patterson to excuse the absences of Commissioner Dahlin and Commissioner Richardson. Motion supported by Commissioner Stearn.

Voice Vote to approve the absences of Commissioner Dahlin and Commissioner Richardson.

AYES: 5 NAYS: 0

ABSENT: Dahlin, Petrosky, Richardson

MOTION CARRIED

APPROVAL OF AGENDA

Motion by Commissioner Kempner to approve the agenda supported by Commissioner Patterson. With clarification from Interim Community Development Director Masson-Minock stating under new business item one, the "on behalf" individuals stated after that has changed based on a request from the applicant.

Voice vote to approve the agenda

AYES: 5 NAYS: 0

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ABSENT: Dahlin, Petrosky, Richardson

MOTION CARRIED

APPROVAL OF THE MINUTES

Motion by Commission Kempner to approve the minutes from the regular Planning Commission meeting on April 26, 2022 and supported by Commissioner Bartus.

Draft Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Voice vote to approve the meeting minutes on April 26, 2022.

AYES: 5 NAYS: 0

ABSENT: Dahlin, Petrosky, Richardson

MOTION CARRIED

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COMMUNICATIONS

Community Development Department Report Emails from Mr. & Mrs. Scarmeas on Lume Email from Scott Gordon on Quality Roots

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CITIZEN COMMENTS

Robert Rivait, 4292 Ellwood - Addressed the Planning Commission on an Airbnb that is next to his property. Mr. Rivait stated that last month in April nine people were killed in an Airbnb. He stated that the Airbnb next to his house is a party house. Mr. Rivait stated the garbage has been constant and all over his yard. Across the country, they are trying to curtail or ban Airbnb's because they are taking always from our kids and the schools, the crime has increased tremendously with Airbnb's. You do not know who your neighbor is going to be and Mr. Rivait stated that they are parking in front of his garage/driveway.

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OLD BUSINESS

NONE

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NEW BUSINESS

1. <u>PSP-03-22: 1949 Twelve Mile - Lume:</u> Christopher Enright, on behalf of Attitude Wellness LLC and Monarch Acquisitions LLC, 1949 Twelve Mile Rd., Parcels #25-17-126-002 and #25-17-126-003, is requisition site plan approval for the conversion of 6,764 square feet of the existing building to a retail marihuana dispensary and office use for the remaining 17,677 square feet.

Interim Community Development Director Masson-Minock provided an overview of this applicant and highlights from the review letter with five suggested conditions of approval.

APPLICANT PRESENTATION

Chris Enright
Christopher Enright Architects PC
628 E Parent Ave #106, Royal Oak, MI 48067

Mr. Enright clarified the changes that were made based on the discussion from when the sketch plan was before the Planning Commissions. Mr. Enright stated the plans with the most current submission include the entire parking lot.

PUBLIC COMMENT

Bill Scarmeas, 1878 Earlmont - Stated his objection on the dispensary location on 1949 Twelve Mile road. Mr. Scarmeas stated that his first concern is that this property backs up residents on Rosemont, being too close to residents affecting the property value. The second objection is that Lume will be 1,000 ft from a pre-existing private educational facility KinderCare. He also stated his concern on parking and traffic patterns along the Brookline entrance, with close proximity to KinderCare and kids getting picked up there. Mr. Scarmeas stated that he is opposed to this and hopes that the Planning Commission takes these points into consideration while voting on the final approval.

Larry Sermo, 1890 Rosemont - Stated that he lives right next to Bill Scarmeas and addressed concerns about drainage. Mr. Sermo stated that his house on Rosemont floods every time. Mr. Sermo stated that towards the end of the summer where KinderCare and the projected project is going there was a new parking lot put in about two years ago that is uneven, can't walk in it after it rains, and wondered if that drainage is going to be addressed? Mr. Sermo stated that last year the city brought out drain cleaners and the parking lot has not had much flooding since. The drains run through Rosemont to the back of that parking lot and there is an issue there and does not want to see this project put pavers in and ultimately rip them out again. Mr. Sermo stated that since this backs up to his lot, he does not want the lights shining in his yard, if there are shields that are going on these lights. Mr. Sermo stated he is worried about through traffic and what the city is going to do, and suggested putting no thru traffic signs up.

Larry Fonz, 1908 Rosemont - Mr. Fonz questioned the installation of the fan that is going on the building, how loud are the fans going to be, does it generate electricity?

Interim Community Development Director Masson-Minock addressed the question on lighting concerns from public comment.

Mr. Enright clarified the questions on the wind turbine as well as the drainage on Twelve Mile with parking and the sidewalk. Mr. Enright stated that since they will be changing the use and voluntarily making changes to the exterior of the site, it triggers the requirement that the entire property has to be brought up to current drainage standards. The drainage and parking will be improved.

Interim Community Development Director Masson-Minock included that there was a concern about the existing pipe lead. From HRC there was a requirement to have the sanitary lead inspected and video footage submitted to the city verifying the lead is suitable for reuse. The lead is suitable for use. Mr. Enright stated that the lead inspected was a sanitary sewer lead but the storm sewer pipe on site would be replaced.

The Planning Commission determined that the landscaping is adequate and meets the standards.

Commissioner Bartus stated that the shared parking agreement is something the city attorney would follow up with. The parking calculations look fine, and adequate for future use. He also addressed the RCOC permit on Twelve Mile. Commission Bartus also addressed two other items that will come later in the process of the application.

Commissioner Stearn asked Mr. Enright on clarification on the traffic pattern, arrows that are presented, stating that it is not wide enough for two cars and wants to ensure that Mr. Enright is going to have proper signage so people are not driving the wrong way.

Mr. Enright clarified and explained the intention and plan with the way the parking is and how the parking and traffic pattern will theoretically work.

Commissioner Stearn recommended a do not enter sign to help mitigate the traffic pattern.

Draft Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Motion by Commissioner Kempner to approve application PSP 03-22; with the condition that the applicant work with the City to work on signage for the alley direction and the items mentioned in the staff cover letter dated May 19, 2022, and a finding that the landscaping meets the site plan approval standards of Section 130-37 of the Zoning Ordinance. The motion was supported by Commissioner Bartus.

AYES: Patterson, Stearn, Bartus, Kempner, Kapelanski

NAYS: NONE

ABSENT: Dahlin, Petrosky, Richardson

MOTION CARRIED

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2. <u>PSP-09-22: 3916 W. Eleven Mile - Quality Roots:</u> John Vitale, on behalf of L & L Development LLC, 3916 W. Eleven Mile Rd., Parcels #25-18-353-030 and #25-18-353-027, is requesting site plan approval for the renovation of the existing building to a retail marihuana dispensary and office tenant space.

Interim Community Development Director Masson-Minock provided an overview of the proposed renovation of the existing multi-unit tenant building on 3316 W Eleven Mile. Interim Community Development Director Masson-Minock stated specific details that are presented in the application, wanting more clarification on some things that were in the application. There were multiple comments from DPW, but can be taken care of in between site plan and the pre-construction meeting. Interim Community Development Director Masson-Minock stated what needed to be discussed by the Planning Commission.

APPLICANT PRESENTATION

Michal Klar Andrew Danaher, Architect Vice president, Co-founder of Quality Roots Stucky-Vitale Architects

Mr. Danaher clarified the comments that were presented from Interim Community Development Director Masson-Minock. Mr. Danaher explained the lighting concerns, trash and storage, the windmill, permeable pavers, and landscaping.

PUBLIC COMMENT

Email from Scott Gordon, 1760 Thomas - in favor of this particular project.

Commissioner Kempner asked Mr. Danaher about the back-parking area and landscaping aspect of the design. Mr. Danaher explained that there is no additional parking proposed in this site plan anymore. It is being proposed as the parking presents itself today. They are only requesting to make the alley bigger. Mr. Klar stated that the extra six spots are not a need, but would be utilized as employee parking, asking about it now because to go back in to add those six spots it would be very costly.

The Planning Commission agreed that they would rather see more landscaping than parking in the back area.

There was also discussion with Mr. Danaher, Interim Community Development Director Masson-Minock and the Planning Commission about the neighboring building, conversations with the property owner, and the potential future use of that building with the limited parking on-site and current zoning.

The Commission discussed with Mr. Danaher and Mr. Klar about the permeable pavers, and snow removal. The Planning Commission determined that the landscaping is adequate and meets the standards.

Draft Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Motion by Commissioner Bartus to approve application PSP 09-09-22 subject to the recommendations in the staff letter dated May 19, 2022, and a finding that the landscaping meets the site plan approval standards of Section 130-37 of the Zoning Ordinance. The motion was seconded by Commissioner Stern.

AYES: Kempner, Patterson, Stearn, Bartus, Kapelanski

NAYS: NONE

ABSENT: Dahlin, Petrosky, Richardson

MOTION CARRIED

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LIAISON REPORT

Commissioner Kempner reported that the DDA is focused on trying to reopen or add some more crosswalks especially across Coolidge. The DDA is trying to get the Coolidge Task Force to meet to give recommendations so they can go to the City Council.

Events that are happening in June are Ladies Night Out on June 2nd from 5 p.m. to 9 p.m., Art Bash on June 11th from 10 a.m. to 6 p.m., and the Pride Block Party at Robina North, on June 26th from 12 p.m. to 4 p.m.

Commissioner Bartus asked Commissioner Kempner on what the DDA is looking to install on the crosswalks, flashing lights? Commissioner Kempner stated that they are looking for signs right now then reactivating the lights that Berkley does have right now.

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COMMISSIONER COMMENTS

Commissioner Patterson stated that from the last meeting he was stunned that Commissioner Smith had stepped down. Commissioner Patterson gave a huge thank you to Commissioner Smith's multiple decades of service, wealth of knowledge, and it was always an asset to have him on the Commission.

STAFF COMMENTS

Interim Community Development Director Masson-Minock clarified that with the pending resignation of Dan Petrosky, the Planning Commission has seven members, and per the bylaws they need to have five for quorum, so their presence is essential. She thanked the members of the Commission that were there today.

Interim Community Development Director Masson-Minock also told the Commission to please let staff know if they know anyone who would serve well on the planning commission because of the vacancies. The City Council looks at appointments in June and training and attendance.

Interim Community Development Director Masson-Minock also stated to let staff know of any comments for Huntington Woods Master Plan. There will be a write up with a review for the packet on June 7th. At that meeting, the Commission will have a sketch plan for the proposed Seven Point Provisioning Center and The Ivy has resubmitted plans.

ADJOURNMENT

Motion to adjourn by Commissioner Kempner supported by Commissioner Patterson.

Voice vote for adjournment

AYES: 5 NAYS: 0

ABSENT: Dahlin, Petrosky, Richardson

With no further business, the meeting was adjourned at 8:13 p.m.



APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED E	TO BE COMPLETED BY APPLICANT:				
I (We), the undersigned information to assist in	I, do hereby respectfully request Site Plan Review and provide the following the review:				
Project Name:	THE IVY				
Applicant:	DEPORRE BULLDING, LLC (JOHN DEPORRE)				
Mailing Address:					
Telephone:					
Email:					
Property Owner(s), if di	fferent from Applicant: 2219 Coeridae, LLC				
Mailing Address:					
Telephone:					
Email:					
Applicant's Legal Interest in Property: Construct a multi-family development					
and associated	site improvements				
LOCATION OF PROPE	RTY:				
Street Address:	Oxford Road - West of 2219 Coolidge Highway				
Nearest Cross Streets:	Oxford Road & Coolidge Highway				
Sidwell Number(s):	25-18-431-030				

	Y DESCRIPTION: numbers and subdivision:	^o ar	t of Lots 53 & 64, [Denler Ac	res		
Property S	ize (Square Feet): ±39,24	48	(Acr	es): 0.901			
			, ·	,	T. Halland		
EXISTING	ZONING DISTRICT (please	che	ck):				
	R-1A		Local Business		Coolidge		
	R-1B		Office		Downtown		
	R-1C		Community Centerpiece		Industrial		
	R-1D		Woodward		Cemetery		
	RM		Eleven Mile		Parking		
	RMH		Twelve Mile				
Vacant Lot	e of Property: Use of Property:		·				
	eartment / Townhomes		T				
Is the prope	erty located within the Downt	own	Development Authority?		Yes		No
	DESCRIPTION: ed two (2) - three (3)	stoı	y apartment building	gs (±10,60	00 SF foo	tpr	int)
with ass	sociated parking lot	, la	ndscaping, & lighti	ng improv	vements		
Does the pr	oposed project / use of prop	erty	require Special Land Use a	oproval?	∃ Yes		No
Does the pr	oposed project require Varia	nce(s) from the Zoning Board of	Appeals?	Yes		No
	e describe Variances require		ested for the parapet to	screen roo	oftop equip	me	ent.
Propose	ed height = 34 FT; F	Rec	uired = 30 FT				

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential	24	10,600 SF	46	
Office				
Commercial				
Industrial				77. The second of the second o
Other				

ROF	ESSIONALS WH	O PREPARED PLANS:			
A.	Name:	Michael Gold			
	Mailing Address	:_			
	Telephone:	2			
	Email:	r			
	Design Respons	sibility (engineer, surveyor, arch	itect	ct, etc.): Civil Engineer	
В.	Name:	Daniel De Martinis			
	Mailing Address				
	Telephone:	-			
	Email:				
	Design Respons	ibility: Architect			
UBMI	T THE FOLLOW	NG:			
	registered archite	ect, engineer, or surveyor.		ans, measuring 24" x 36", sealed by a	
	 A pdf file of the site plans, submitted to the Community Development Director. Proof of property ownership (title insurance policy or registered deed with County stamp). 				
4.	Review commen	ts or approval received from Co the project, including, but not lir	ounty	ty, State or Federal agencies that have	
	jurisdiction over	are project, morading, but not m			

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line)

I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

APPLICANT'S ENDORSEMENT: (Initial each line)

All information contained therein is true and accurate to the best of my knowledge.

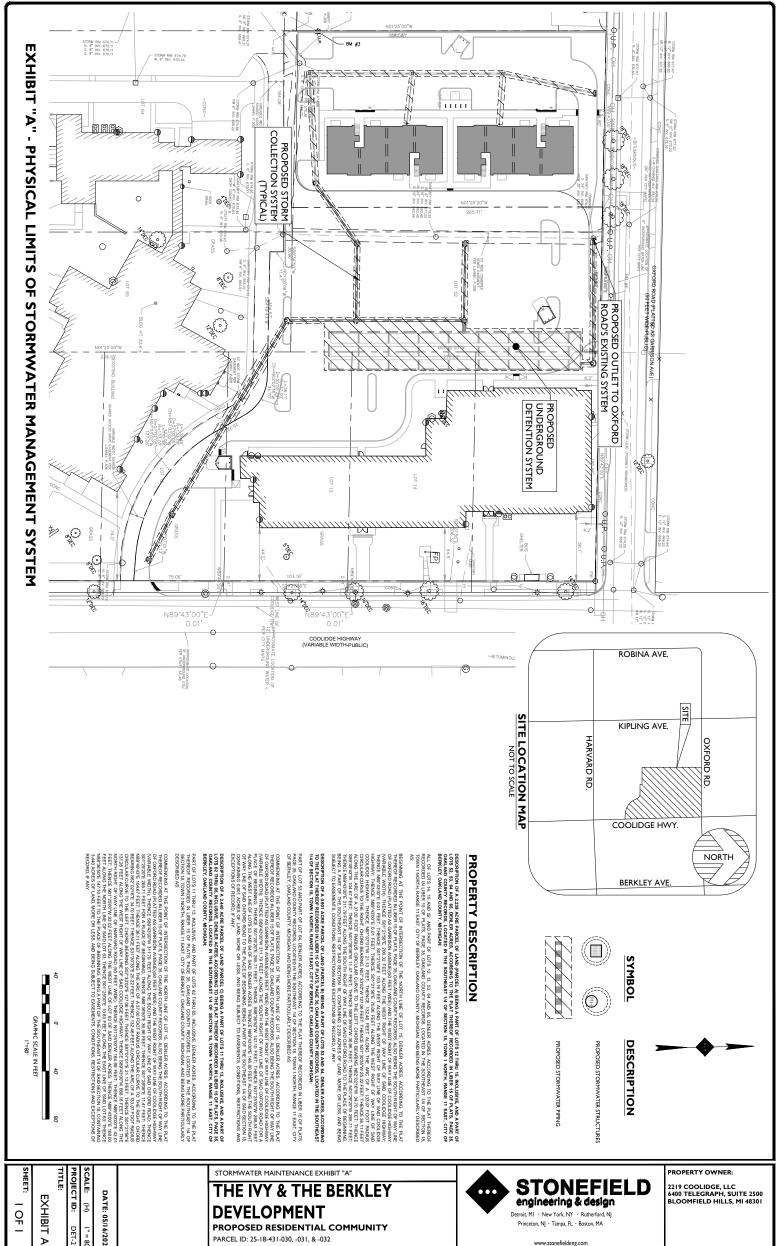
I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

1halla	12/1/21
Signature of Applicant	Date
John DEPARRE	
Applicant Name (Print)	
Signature of Applicant	Date
Applicant Name (Print)	
S22	12/1/21
Signature of Property Owner Authorizing this Application	Date
Steve Friedman	
Property Owner Name (Print)	

OFFICE USE ONLY				
Received	Receipt #	Meeting Date	Case #	
Fees:	Site Plan Review \$600	Façade Change: \$200	Revision: \$300	
	Extension \$200	Engineering: Multi-family \$1,500 + \$30/unit		
	Escrow (New construction)	Commercial \$ \$1,000	\$1,000	



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DATE: 05/16/2022 I" = 80'

DET-210004

DEVELOPMENT

PROPOSED RESIDENTIAL COMMUNITY

PARCEL ID: 25-18-431-030, -031, & -032 LOT 53 OXFORD ROAD CITY OF BERKLEY OAKLAND COUNTY, MICHIGAN 48072



STÖNEFIELD engineering & design etroit, MI · New York, NY · Rutherford, NJ Princeton, NJ · Tampa, FL · Boston, MA

607 Shelby Suite 200, Detroit, MI 48226 Phone 248.247.1115

2219 COOLIDGE, LLC 6400 TELEGRAPH, SUITE 2500 BLOOMFIELD HILLS, MI 48301

EXHIBIT "B" - STORM WATER MANAGEMENT SYSTEM LONG-TERM MAINTENANCE PLAN

A. Physical Limits of the Storm Water Management System

The storm water management system (SWMS) subject to this long-term maintenance plan (Plan) is depicted on Exhibit A to the permit and includes without limitation the storm sewers, swales, catch basins, manholes, inlets, manufactured treatment system, detention basin, flow restrictor structure and outlet pipe that conveys flow from the detention basin into the Oxford Road storm system. For the purposes of this plan, this SWMS and all of its components as shown in Exhibit A is referred to as "The Ivy Residential Community SWMS".

B. Time Frame for Long-Term Maintenance Responsibility

2219 Coolidge, LLC is responsible for maintaining The Ivy Residential Community SWMS including complying with applicable requirements of the local or Oakland County soil erosion and sedimentation control program until Oakland County releases the construction permit. Long-term maintenance responsibility for The Ivy Residential Community SWMS commences when defined by the maintenance permit issued by the County. Long-term maintenance continues in perpetuity.

C. Manner of Insuring Maintenance Responsibility

The City of Berkley has assumed responsibility for long-term maintenance The Ivy Residential Community SWMS. The resolution by which The City of Berkley has assumed maintenance responsibility is attached to the permit as Exhibit C. 2219 Coolidge, LLC, through a maintenance agreement with the City of Berkley, has agreed to perform the maintenance activities required by this plan. The City of Berkley retains the right to enter the property and perform the necessary maintenance of The Ivy Residential Community SWMS if 2219 Coolidge, LLC fails to perform the required maintenance activities.

To ensure that The Ivy Residential Community SWMS is maintained in perpetuity, the map of the physical limits of the storm water management system (Exhibit A), this plan (Exhibit B), the resolution attached as Exhibit C, and the maintenance agreement between the City of Berkley and the property owner will be recorded with the Oakland County Register of Deeds. Upon recording, a copy of the recorded documents will be provided to the County.

D. Long-Term Maintenance Plan and Schedule

Table 1 identifies the maintenance activities to be performed, organized by category (monitoring/inspections, preventative maintenance, and remedial actions). Table 1 also identifies site-specific work needed to ensure that the storm water management system functions properly as designed.

MAINTENANCE ACTIVITIES	SYSTEM COMPONENTS	Storm Collection System (Sewers, Swales, Catch Basins, Manholes)	Inlets to Detention Basin	Underground Detention Basin	Flow Restrictor Structure & Outlet Pipe	Pavement Areas	FREQUENCY
Inspect for Sediment Accumulation/Clogging		Χ	Χ	Χ	Χ		Annually
Inspect For Floatables, Dead Vegetation & Debris		Χ	Χ	Χ	Χ		Annually & After Major
Inspect For Erosion And Integrity of System		Χ	Χ	Χ	Χ		Annually & After Major
Monitor Plantings/Vegetation							2 Times per Year
Inspect All Components During Wet weather & Compare to As-Built Plans		Х	Χ	Χ	Х		Annually
Ensure Maintenance Access Remain Open/Clear		Χ	Χ	Χ	Χ		Annually
Mowing							As Needed
Remove Accumulated Sediments		Χ	Χ	Χ	Χ		As Needed (See Note Below)
Remove Floatables, Debris, Invasive & Dead Vegetation		Χ	Χ	Χ	Х		As Needed
Replace or Wash & Reuse risers stone filters							As Needed
Sweeping of Paved Surfaces						Χ	As Needed
Repair/Stabilize Areas of Erosion							As Needed
Replace Dead Plantings & Reseed Bare Areas							As needed
Structural Repairs		Χ	Χ	Χ	Χ		As Needed
Make Adjustments/Repairs to Ensure Proper Functioning		Χ	Χ	X	Х		As Needed

PROJECT:	PROPERTY OWNER:	ENGINEER:	DATE: 05	/16/	2022	
The Ivy & The Berkley – Proposed Residential	2219 Coolidge, LLC 6400 Telegraph Road, Suite 2500	Stonefield Engineering & Design, LLC 607 Shelby, Suite 200				
Community	Bloomfield Hills, Michigan 48301	Detroit, Michigan 48226				
2219 Coolidge Hwy. City of Berkley		Phone: (248) 247-1115 www.stonefieldeng.com	SHEEET	1	OF	1
Oakland County, Michigan		-				



LOCATION MAP

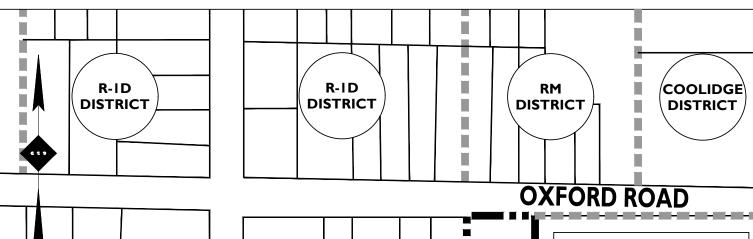
SCALE: $I'' = 2000' \pm$

SITE DEVELOPMENT PLANS **FOR**

THE IVY APARTMENTS

PROPOSED RESIDENTIAL COMMUNITY

PARCEL ID: 25-18-431-030 LOT 53 OXFORD ROAD CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN 48072



DISTRICT

DISTRICT

DISTRICT

DISTRICT

DISTRICT

SOURCE: OAKLAND COUNTY PROPERTY VIEWER & CITY OF BERKLEY ZONING MAI

COOLIDGE DISTRICT PROJECT SITE PARCEL ID: 25-18-431-030

DISTRICT

COOLIDGE

DISTRICT

COOLIDGE DISTRICT

OFFICE DISTRICT

DISTRICT

DISTRICT

DISTRICT

ZONING MAP

OFFICE

DISTRICT

DISTRICT

HARVARD ROAD

SCALE: I" = 150'±

AERIAL MAP

SCALE: $I'' = 150' \pm$

PROJECT SITE

PLANS PREPARED BY:



Detroit, MI · Rutherford, NJ · New York, NY Princeton, NJ · Tampa, FL · Boston, MA www.stonefieldeng.com

607 Shelby Suite 200, Detroit, MI 48226 Phone 248.247.1115

PLAN REFERENCE MATERIALS:

- I. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS **INCLUDING, BUT NOT LIMITED TO:** ALTA/NSPS LAND TITLE & TOPOGRAPHIC SURVEY
- PREPARED BY ATWELL GROUP DATED: 02/24/2022 ARCHITECTURAL PLANS PREPARED BY FIVE / EIGHTHS
- GEOTECHNICAL REPORT PREPARED BY PEA, INC. DATED:
- ZONING MAP OBTAINED FROM OAKLAND COUNTY PROPERTY VIEWER AND CITY OF BERKLEY ZONING MAP

AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO

LOCATION MAP OBTAINED FROM USGS ONLINE 2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF

SHEET INDEX	
DRAWING TITLE	SHEET#
COVER SHEET	C-I
SITE PLAN (OVERALL)	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
STORMWATER MANAGEMENT PLAN	C-6
UTILITY PLAN	C-7
LIGHTING PLAN	C-8
LANDSCAPING PLAN	C-9
SOIL EROSION & SEDIMENT CONTROL PLAN	C-10
CONSTRUCTION DETAILS	C-11 & C-12

ADDITIONAL SHEET INDEX			
TITLE	SHEET#		
"THE BERKLEY RESIDENTIAL COMMUNITY" - STORMWATER DRAINAGE MAP	C-5		
ALTA / NSPS LAND TITLE SURVEY	I OF I		
OCWRC WATER MAIN DETAILS	I THRU 4		
OCWRC STORM DRAIN NOTES & DETAILS	I OF I		
OCWRC SOIL EROSION DETAILS	I OF I		

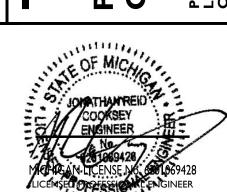
APPLICANT

2219 COOLIDGE, LLC 6400 TELEGRAPH ROAD, SUITE 2500 **BLOOMFIELD HILLS, MICHIGAN, 48301**

ARCHITECT

MARTINI-SAMARTINO DESIGN GROUP, LLC 920 EAST LONG LAKE ROAD, SUITE 200B **TROY, MICHIGAN 48085**

NOT APPROVED FOR CONSTRUCTIO





SCALE: AS SHOWN PROJECT ID: DET-210004

COVER SHEET

C-I

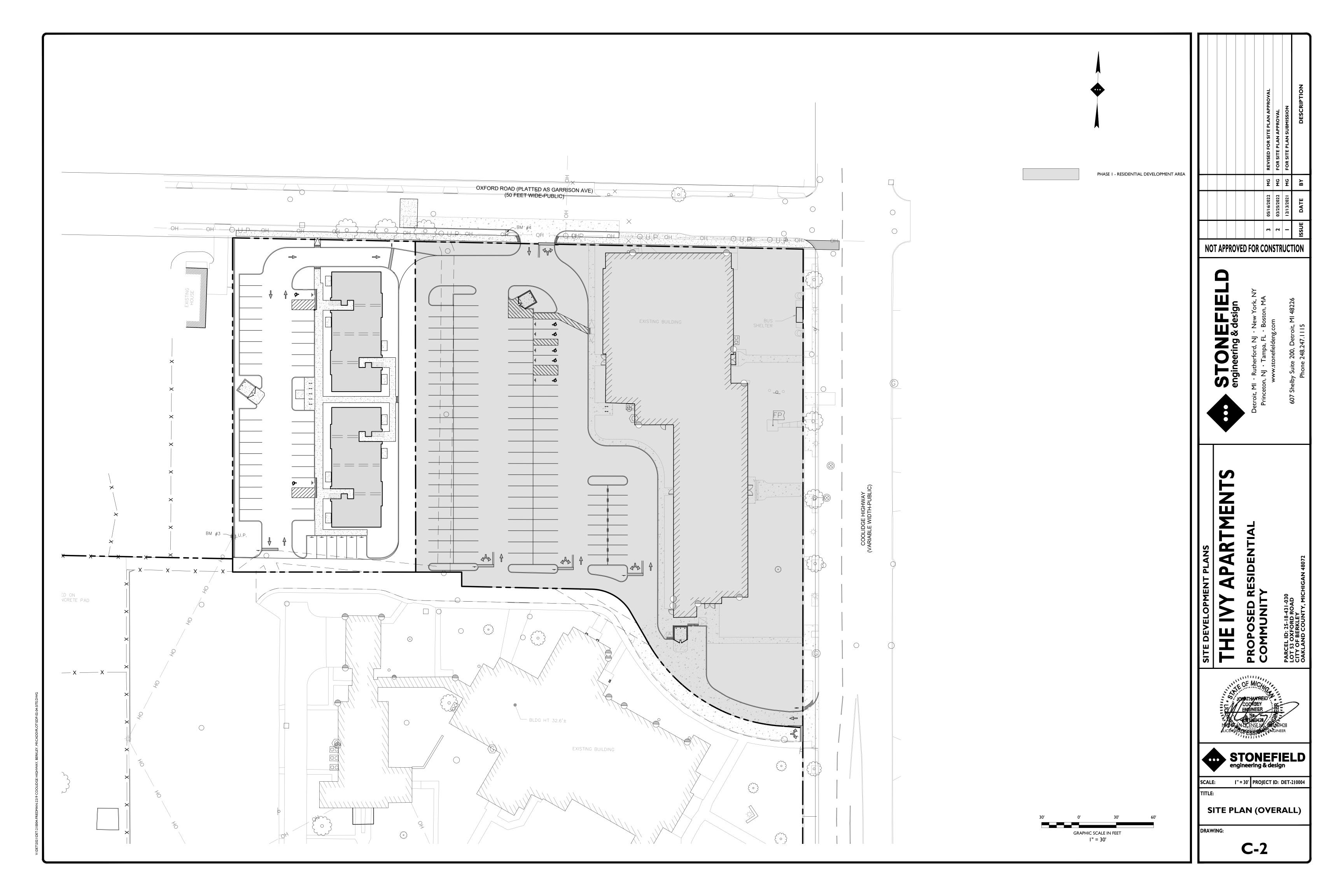
DRAWING:

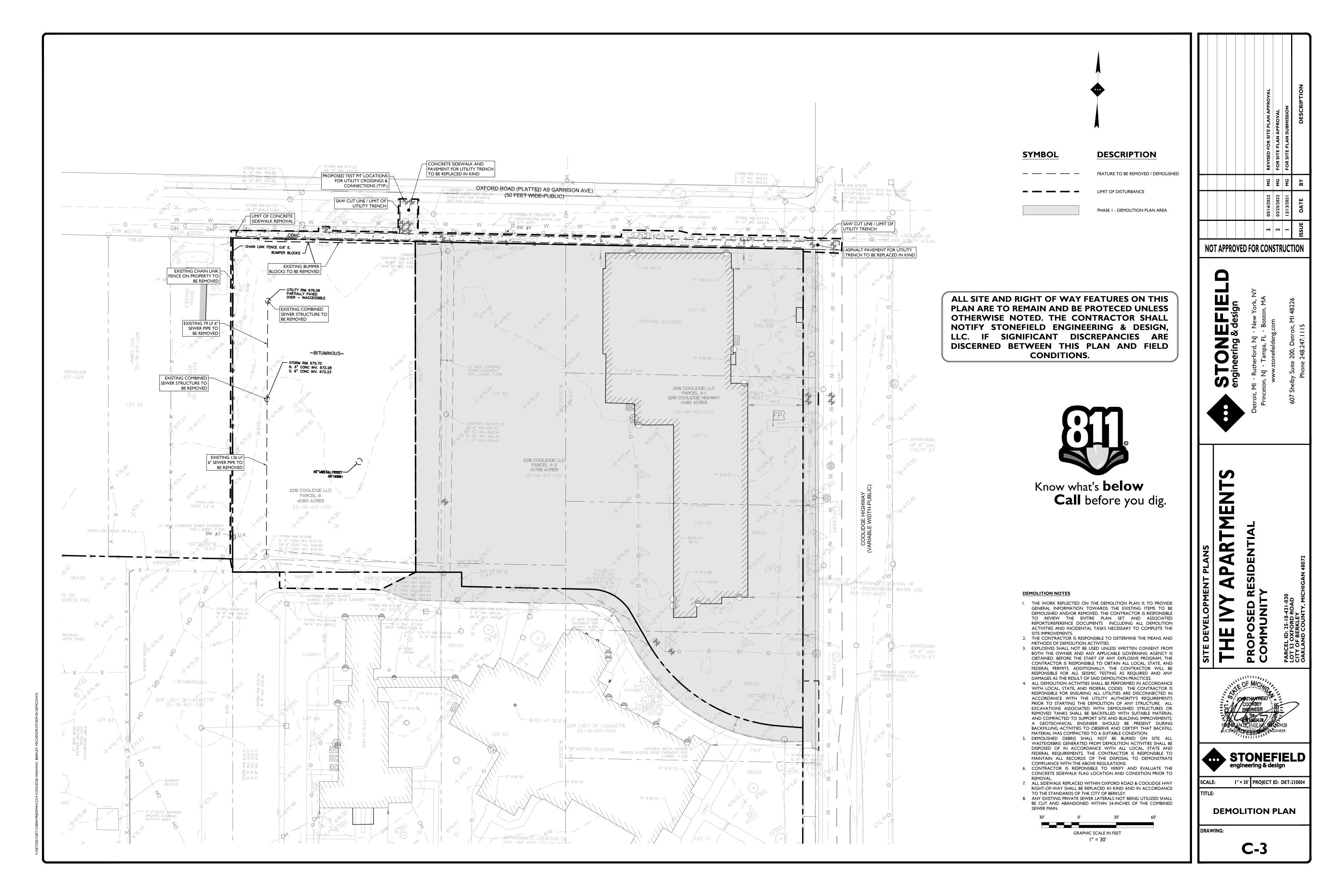


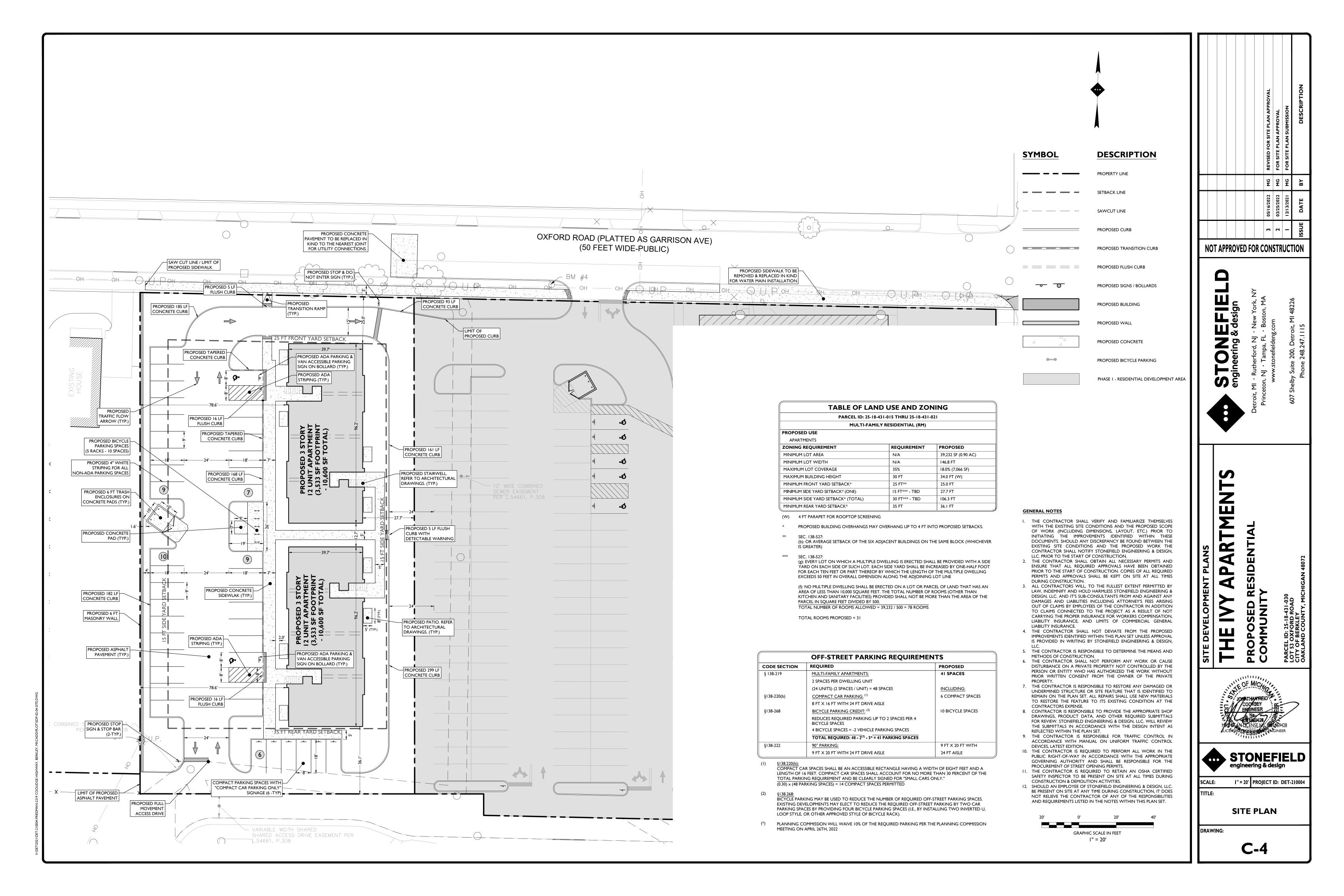
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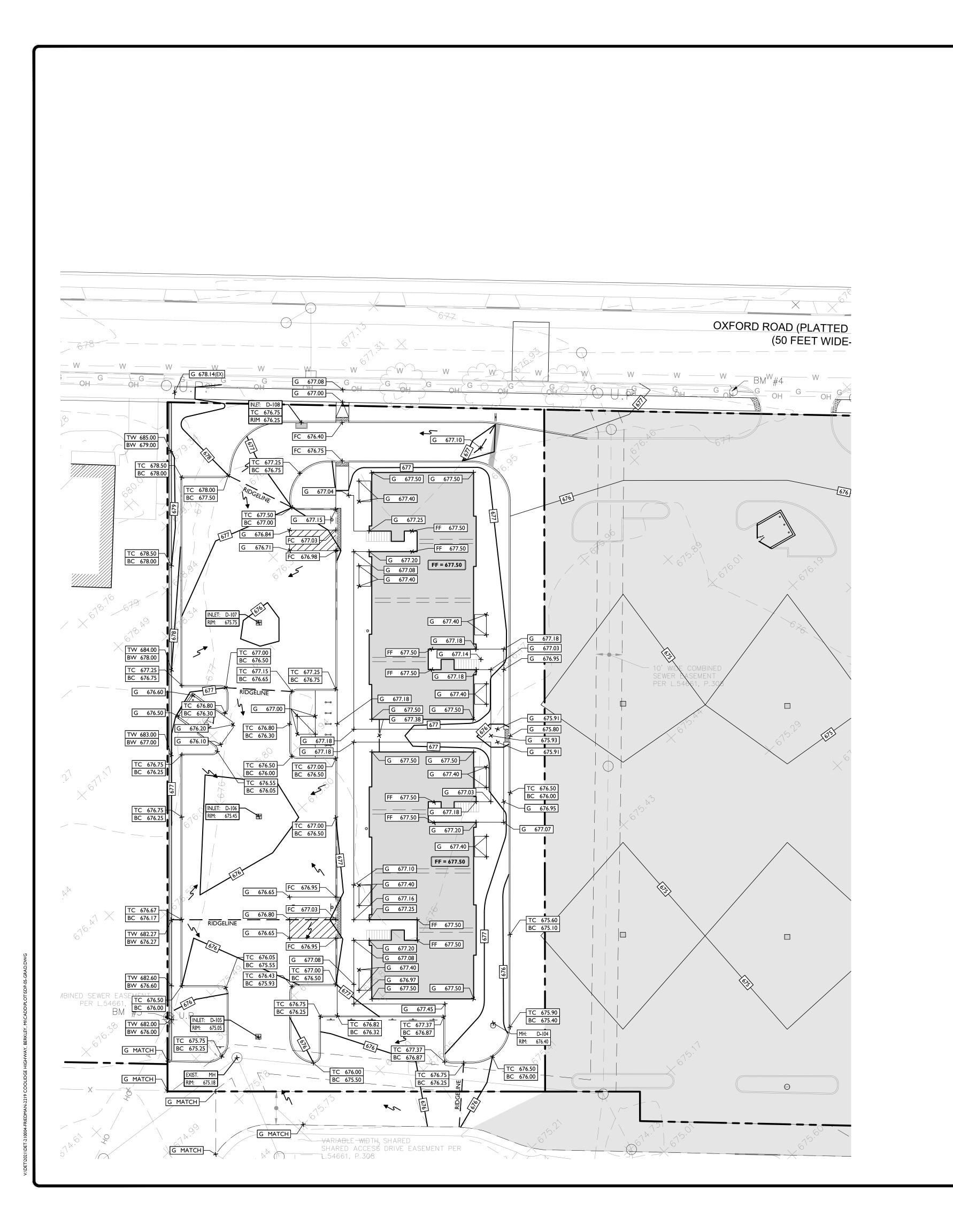
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SOURCE: GOOGLE EARTH PRO











SYMBOL **DESCRIPTION**

PROPERTY LINE PROPOSED GRADING CONTOUR PROPOSED GRADING RIDGELINE RIDGELINE

PROPOSED DIRECTION OF DRAINAGE FLOW

PROPOSED GRADE SPOT SHOT

PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

X FC 100.00 PROPOSED FLUSH CURB SPOT SHOT

X TW 100.50 BW 100.00 PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

PHASE I - RESIDENTIAL DEVELOPMENT AREA

GRADING NOTES

X G 100.00

- 2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- 3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- 4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY **AUTHORITY REGULATIONS.**
- 5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS
- 6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD

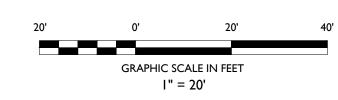
- I. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN
- ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- 4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED
- 6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- 8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN I UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

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- I. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.

- CURB GUTTER:
- CONCRETE SURFACES: 1.00%
- ASPHALT SURFACES:
- ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. 7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS
- 2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL
- 3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- OTHERWISE WITHIN THE PLAN SET. 5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- 7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- 9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR



STONEFIELD engineering & design

I" = 20' PROJECT ID: DET-210004

GRADING PLAN

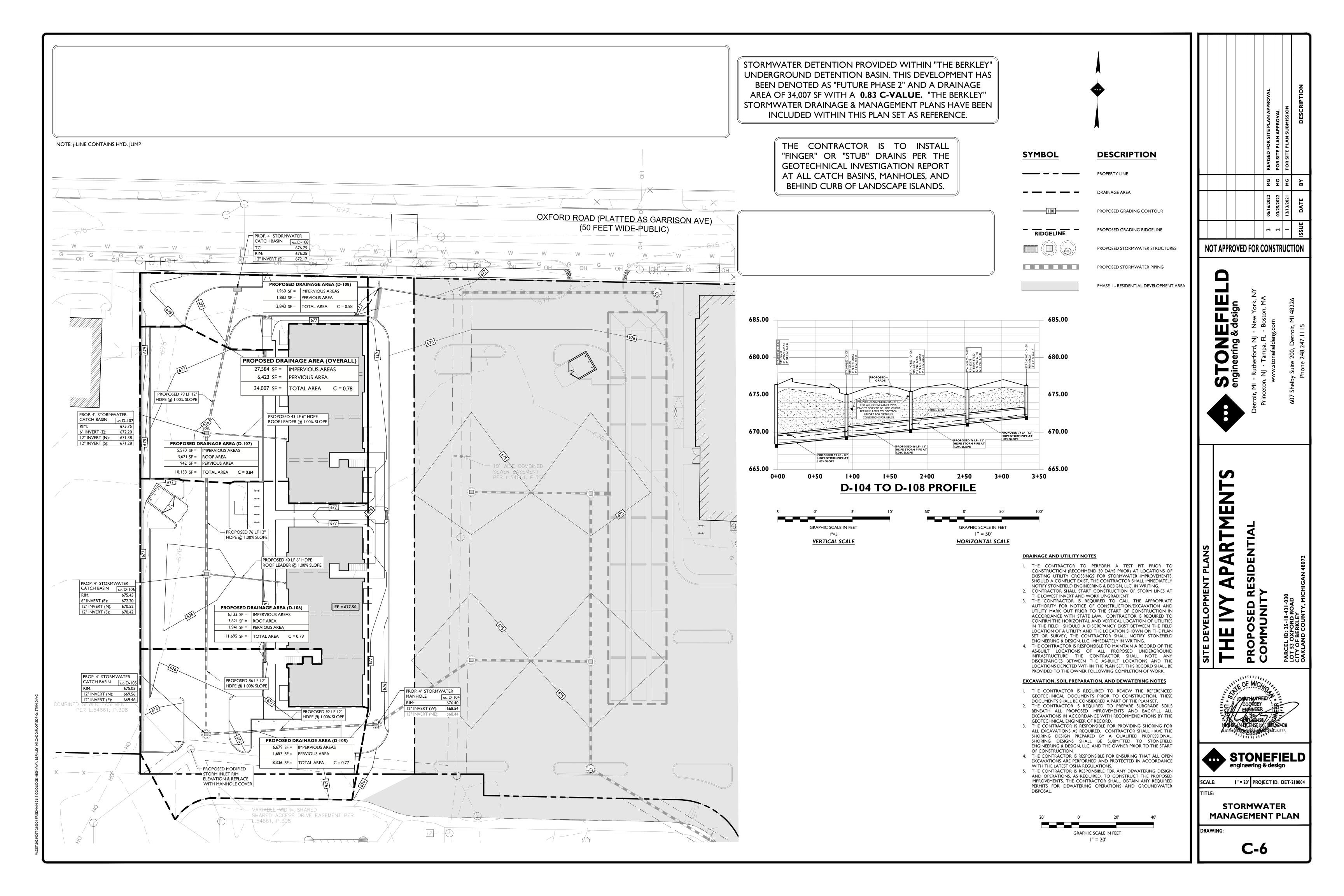
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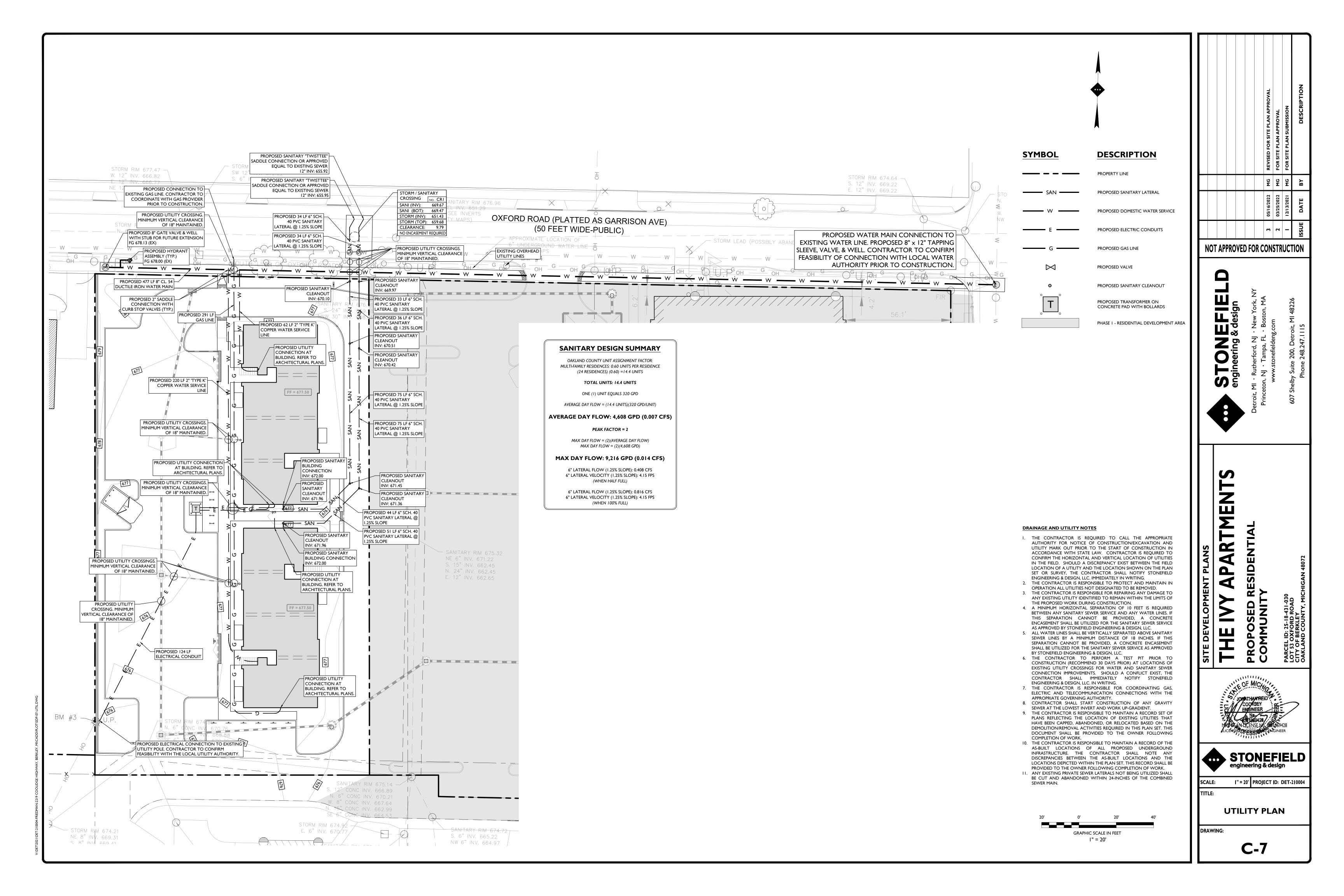
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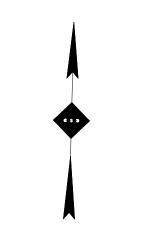
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SYMBOL

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PROPOSED LIGHTING INTENSITY (FOOTCANDLES)

DESCRIPTION

PROPOSED LIGHTING FIXTURE

(MOUNTING HEIGHT)

PHASE I - RESIDENTIAL DEVELOPMENT AREA

PROPOSED LUMINARIES SCHEDULE								
SYMBOL	LABEL	QUANTITY	LIGHTING	DISTRIBUTION	LLF	WATTS	MANUFACTURER	IES FILE
	A	4	MIRADA MEDIUM - LED AREA POLE LIGHT WITH INTEGRAL LOUVER HOUSE SIDE SHIELD 9 LUMENS - 3,000 K	FT	0.90	69 W	LSI	MRM-LED-09L-SIL-FT-30-70CRI-IL.ies
	В	8	MIRADA - LED WALL SCONCE 8 LUMENS - 3,000 K	FT	0.90	62 W	LSI	XWM-FT-LED-8L-30.ies



LIGHTING REQUIREMENTS					
REQUIREMENT	PROPOSED				
§ 138-143(a.3): LIGHTS ON POLES, INCLUDING THE BASE, SHALL NOT BE TALLER THAN THE BUILDING WHOSE AREA THEY ILLUMINATE NOR TALLER THAN 20 FEET, WHICHEVER IS SHORTER.	16 FT				
§ 138-143(b.2): LEVEL OF LIGHTING SHALL NOT EXCEED 0.5 FC AT ANY RESIDENTIAL PROPERTY LINE OR 1.0 FC AT ANY NONRESIDENTIAL PROPERTY LINE	PROVIDED				
§ 138-223: OFF-STREET PARKING AREAS SHALL BE LIGHTED AND NOT EXCEED A MAXIMUM OF 5.0 FC NOR LESS THAN 1.5 FC AT PAVEMENT LEVEL.	PROVIDED				

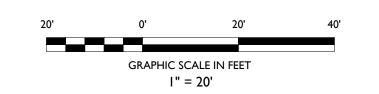
FIXTURES 'A'



FIXTURE 'B'

GENERAL LIGHTING NOTES

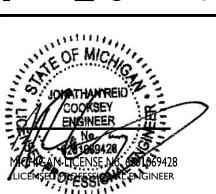
- I. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH ARE WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- 2. WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR
- LIGHTING FIXTURE MODEL. 3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS: LIGHT EMITTING DIODES (LED): 0.90 HIGH PRESSURE SODIUM:
- METAL HALIDE: 4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- 5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



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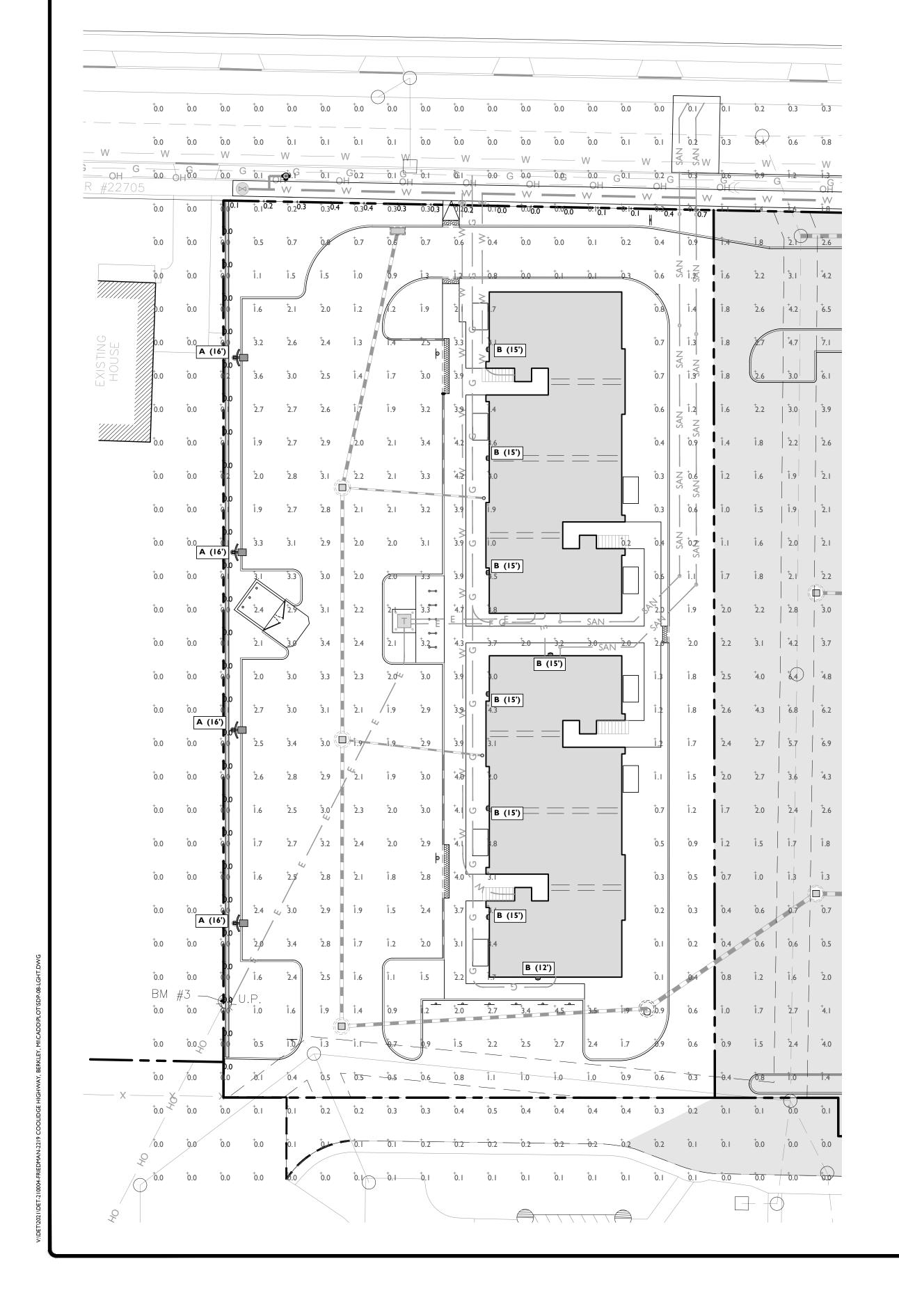


I" = 20' PROJECT ID: DET-210004

LIGHTING PLAN

DRAWING:

C-8





PHASE I - RESIDENTIAL DEVELOPMENT AREA

PLANT SCHEDULE								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	
+	QHP	3	QUERCUS PHELLOS	WILLOW OAK	2" - 2.5" CAL	B&B	NATIVE	
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	
3+4 3+4	THU	60	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5` - 6` HT	B&B	NOT NATIVE	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	
+	CAM	24	CEANOTHUS AMERICANUS	NEW JERSEY TEA	24" - 30"	РОТ	NATIVE	
0	DLN	14	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	24" - 30"	РОТ	NATIVE	
0	РОТ	25	POTENTILLA FRUTICOSA	BUSH CINQUEFOIL	24" - 30"	POT	NATIVE	
①	ROS	28	ROSA CAROLINA	CAROLINA ROSE	24" - 30"	POT	NATIVE	
\bigcirc	SYR	6	SYRINGA VULGARIS	COMMON LILAC	24" - 30"	РОТ	NATIVE	
\bigcirc	VIB	6	VIBURNUM DENTATUM	VIBURNUM	24" - 30"	РОТ	NATIVE	
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	
Andrew Control	PAN	64	PANICUM VIRGATUM `SHENANDOAH`	SHENANDOAH SWITCH GRASS	I GAL.	РОТ	NATIVE	
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	
	СРЕ	161	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	I GAL.	POT, 24" O.C.	NATIVE	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS	
	ASC	108	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	I GAL.	POT, 18" O.C.	NATIVE	
	CLA	38	COREOPSIS LANCEOLATA	LANCELEAF TICKSEED	I GAL.	POT, 24" O.C.	NATIVE	

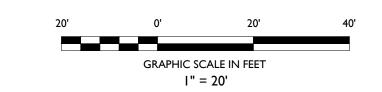
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

IRRIGATION NOTE:

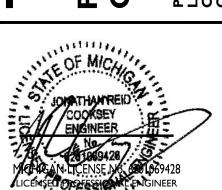
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- I. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- 3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- 4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- 5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- 6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING



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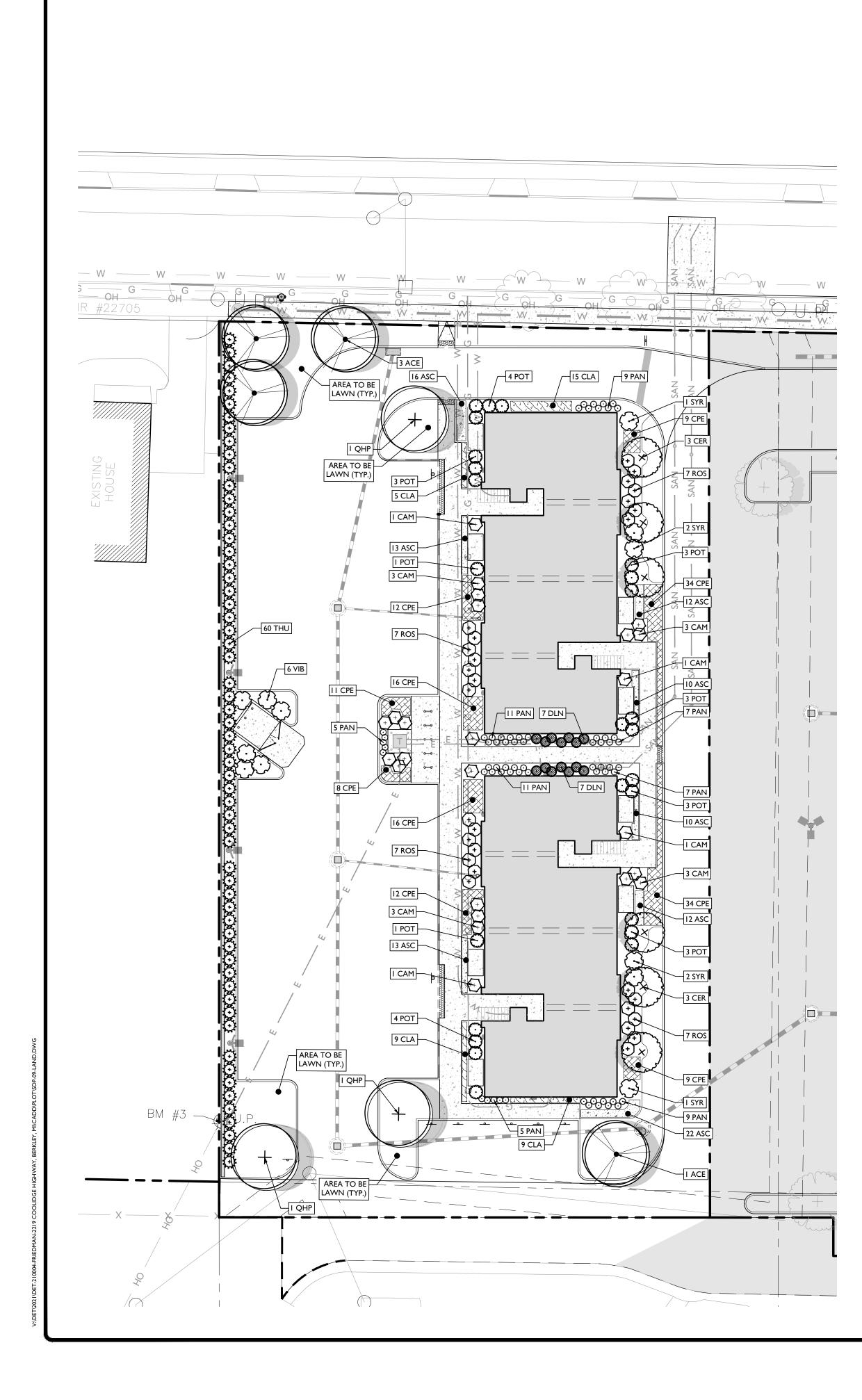


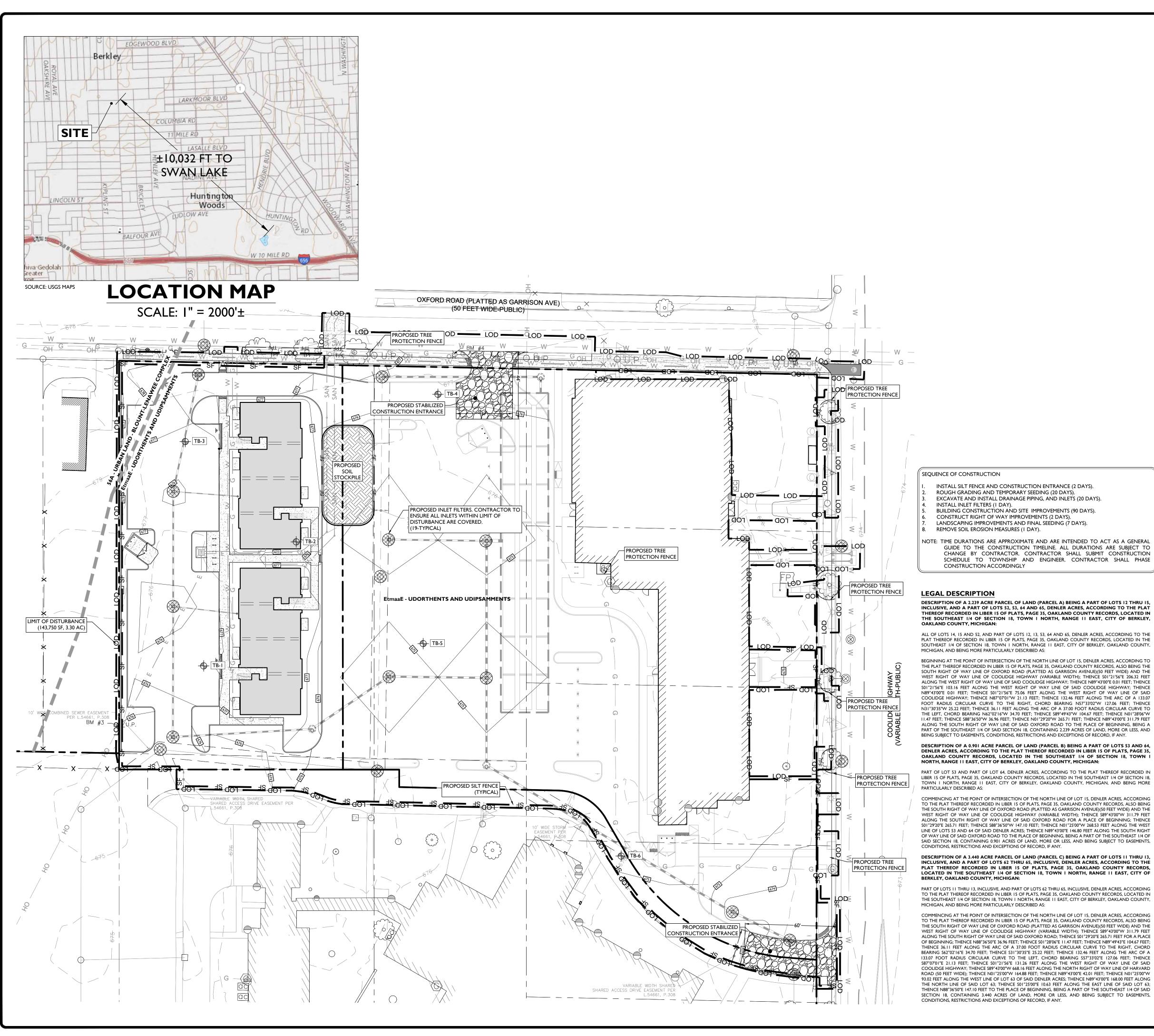


I" = 20' PROJECT ID: DET-210004

LANDSCAPING PLAN

DRAWING:







SYMBOL DESCRIPTION PROPERTY BOUNDARY ADJACENT PROPERTY BOUNDARY PROPOSED LIMIT OF DISTURBANCE PROPOSED SILT FENCE PROPOSED TREE PROTECTION FENCE PROPOSED STOCKPILE & **EQUIPMENT STORAGE** PROPOSED STABILIZED CONSTRUCTION ENTRANCE PROPOSED INLET PROTECTION FILTER

SOIL EROSION AND SEDIMENT CONTROL NOTES

- I. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL
- REQUIREMENTS. 2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY
- 3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN I INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

ENVIROMENTAL NOTES:

- THERE ARE NO RIPARIAN ZONES ON SITE NO PORTION OF THIS SITE LIE WITHIN A FLOOD HAZARD AREA
- THERE ARE NO WETLANDS ON SITE THERE ARE NO STREAMS OR WATERWAYS ON SITE ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM

LEGAL DESCRIPTION

DESCRIPTION OF A 2.239 ACRE PARCEL OF LAND (PARCEL A) BEING A PART OF LOTS 12 THRU 15, INCLUSIVE, AND A PART OF LOTS 52, 53, 64 AND 65, DENLER ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, LOCATED THE SOUTHEAST 1/4 OF SECTION 18, TOWN I NORTH, RANGE 11 EAST, CITY OF BERKLE

ALL OF LOTS 14, 15 AND 52, AND PART OF LOTS 12, 13, 53, 64 AND 65, DENLER ACRES, ACCORDING TO TH PLAT THEREOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, LOCATED IN THI SOUTHEAST 1/4 OF SECTION 18, TOWN I NORTH, RANGE II EAST, CITY OF BERKLEY, OAKLAND COUNTY MICHIGAN, AND BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF LOT 15, DENLER ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, ALSO BEING TH SOUTH RIGHT OF WAY LINE OF OXFORD ROAD (PLATTED AS GARRISON AVENUE)(50 FEET WIDE) AND TH WEST RIGHT OF WAY LINE OF COOLIDGE HIGHWAY (VARIABLE WIDTH); THENCE SOI "21'56"E 206.32 FEE" ALONG THE WEST RIGHT OF WAY LINE OF SAID COOLIDGE HIGHWAY; THENCE N89°43'00"E 0.01 FEET; THENC S01°21'56"E 103.16 FEET ALONG THE WEST RIGHT OF WAY LINE OF SAID COOLIDGE HIGHWAY; THENCE N89°43'00"E 0.01 FEET; THENCE S01°21'56"E 75.06 FEET ALONG THE WEST RIGHT OF WAY LINE OF SAID COOLIDGE HIGHWAY; THENCE N87°07'01"W 21.13 FEET; THENCE 132.46 FEET ALONG THE ARC OF A 133.07 FOOT RADIUS CIRCULAR CURVE TO THE RIGHT, CHORD BEARING N57°33'02"W 127.06 FEET; THENC N31°30'35"W 25.22 FEET; THENCE 36.11 FEET ALONG THE ARC OF A 37.00 FOOT RADIUS CIRCULAR CURVE TO THE LEFT, CHORD BEARING N62°02'16"W 34.70 FEET; THENCE S89°49'43"W 104.67 FEET; THENCE N01°28'06"W 11.47 FEET; THENCE S88°36'50"W 36.96 FEET; THENCE N01°29'20"W 265.71 FEET; THENCE N89°43'00"E 311.79 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF SAID OXFORD ROAD TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHEAST 1/4 OF SAID SECTION 18, CONTAINING 2.239 ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS AND EXCEPTIONS OF RECORD, IF ANY.

DESCRIPTION OF A 0.901 ACRE PARCEL OF LAND (PARCEL B) BEING A PART OF LOTS 53 AND 64, DENLER ACRES, ACCORDING TO THE PLAT THERÈOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 18, TOWN I NORTH, RANGE II EAST, CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN:

PART OF LOT 53 AND PART OF LOT 64, DENLER ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, LOCATED IN THE SOUTHEAST 1/4 OF SECTION 18, TOWN I NORTH, RANGE II EAST, CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN, AND BEING MORE

COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF LOT 15, DENLER ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, ALSO BEING THE SOUTH RIGHT OF WAY LINE OF OXFORD ROAD (PLATTED AS GARRISON AVENUE)(50 FEET WIDE) AND THE WEST RIGHT OF WAY LINE OF COOLIDGE HIGHWAY (VARIABLE WIDTH): THENCE S89°43'00"W 311.79 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF SAID OXFORD ROAD FOR A PLACE OF BEGINNING; THENCE S01°29'20"E 265.71 FEET; THENCE S88°36'50"W 147.10 FEET; THENCE N01°25'00"W 268.53 FEET ALONG THE WEST LINE OF LOTS 53 AND 64 OF SAID DENLER ACRES; THENCE N89°43'00"E 146.80 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF SAID OXFORD ROAD TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHEAST 1/4 OF SAID SECTION 18, CONTAINING 0.901 ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS AND EXCEPTIONS OF RECORD, IF ANY.

DESCRIPTION OF A 3.440 ACRE PARCEL OF LAND (PARCEL C) BEING A PART OF LOTS 11 THRU 13, INCLUSIVE, AND A PART OF LOTS 62 THRU 65, INCLUSIVE, DENLER ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS. LOCATED IN THE SOUTHEAST 1/4 OF SECTION 18, TOWN I NORTH, RANGE II EAST, CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN:

PART OF LOTS 11 THRU 13, INCLUSIVE, AND PART OF LOTS 62 THRU 65, INCLUSIVE, DENLER ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, LOCATED IN BENCHMARK #2: GEAR PIN IN SOUTH FACE OF UTILITY POLE ON THE SOUTHEAST 1/4 OF SECTION 18, TOWN I NORTH, RANGE 11 EAST, CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN, AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF LOT 15, DENLER ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 15 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, ALSO BEING BENCHMARK #3: GEAR PIN IN EAST FACE OF UTILITY POLE ON THE SOUTH RIGHT OF WAY LINE OF OXFORD ROAD (PLATTED AS GARRISON AVENUE) (50 FEET WIDE) AND THE WEST SIDE OF SITE WEST RIGHT OF WAY LINE OF COOLIDGE HIGHWAY (VARIABLE WIDTH); THENCE S89°43'00"W 311.79 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF SAID OXFORD ROAD; THENCE S01°29'20"E 265.71 FEET FOR A PLACE OF BEGINNING; THENCE N88°36'50"E 36.96 FEET; THENCE S01°28'06"E 11.47 FEET; THENCE N89°49'43"E 104.67 FEET; THENCE 36.11 FEET ALONG THE ARC OF A 37.00 FOOT RADIUS CIRCULAR CURVE TO THE RIGHT, CHORD BEARING \$62°02'16"E 34.70 FEET; THENCE \$31°30'35"E 25.22 FEET; THENCE 132.46 FEET ALONG THE ARC OF A 133.07 FOOT RADIUS CIRCULAR CURVE TO THE LEFT, CHORD BEARING \$57°33'02"E 127.06 FEET; THENCE S87°07'01"E 21.13 FEET; THENCE S01°21'56"E 131.26 FEET ALONG THE WEST RIGHT OF WAY LINE OF SAID COOLIDGE HIGHWAY; THENCE S89°43'00"W 668.16 FEET ALONG THE NORTH RIGHT OF WAY LINE OF HARVARD ROAD (50 FEET WIDE); THENCE N01°25'00"W 164.88 FEET; THENCE N89°43'00"E 42.01 FEET; THENCE N01°25'00"W 93.02 FEET ALONG THE WEST LINE OF LOT 63 OF SAID DENLER ACRES; THENCE N89°43'00"E 168.00 FEET ALONG THE NORTH LINE OF SAID LOT 63; THENCE S01°25'00"E 10.63 FEET ALONG THE EAST LINE OF SAID LOT 63; THENCE N88°36'50"E 147.10 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE SOUTHEAST 1/4 OF SAID SECTION 18, CONTAINING 3.440 ACRES OF LAND, MORE OR LESS, AND BEING SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS AND EXCEPTIONS OF RECORD, IF ANY.

UDORTHENTS & UDIPSAMMENTS (EtmmaE)

TYPE OF SOIL	UDORTHENTS
HYDROLOGIC SOIL GROUP	С
DEPTH TO RESTRICTIVE LAYER	ABOUT 39 INCHES
SOIL PERMEABILITY	0.00 TO 0.01 IN/HR
DEPTH TO WATER TABLE	> 80 INCHES
TYPE OF SOIL	UDIPSAMMENTS
HYDROLOGIC SOIL GROUP	A
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	2.00 TO 20.00 IN/HR

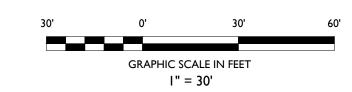
URBAN LAND - BLOUNT - LENAWEE (56A)					
TYPE OF SOIL	BLOUNT				
HYDROLOGIC SOIL GROUP	С				
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES				
SOIL PERMEABILITY	0.06 TO 0.57 IN/HR				
DEPTH TO WATER TABLE	ABOUT 12 TO 36 INCHES				
TYPE OF SOIL	LENAWEE				
HYDROLOGIC SOIL GROUP	C/D				
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES				
SOIL PERMEABILITY	ABOUT 0.20 TO 0.57 IN/HR				
DEPTH TO WATER TABLE	0 INCHES				

BENCHMARK #1: ARROW ON HYDRANT ON SOUTH SIDE OF SITE ELEVATION: 677.30 (NAVD88)

SOUTH SIDE OF SITE **ELEVATION: 676.10 (NAVD88)**

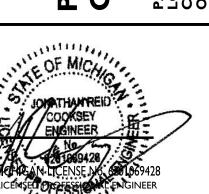
ELEVATION: 677.34 (NAVD88)

BENCHMARK #4: ARROW ON HYDRANT ON NORTH SIDE OF SITE **ELEVATION: 679.27 (NAVD88)**



			REVISED FOR SITE PLAN APPROVAL	FOR SITE PLAN APPROVAL	FOR SITE PLAN SUBMISSION	DESCRIPTION
			ЭМ	ЭМ	MG	ВY
			05/16/2022	03/25/2022	12/13/2021	DATE
			3	2	-	ISSUE

NOT APPROVED FOR CONSTRUCTION



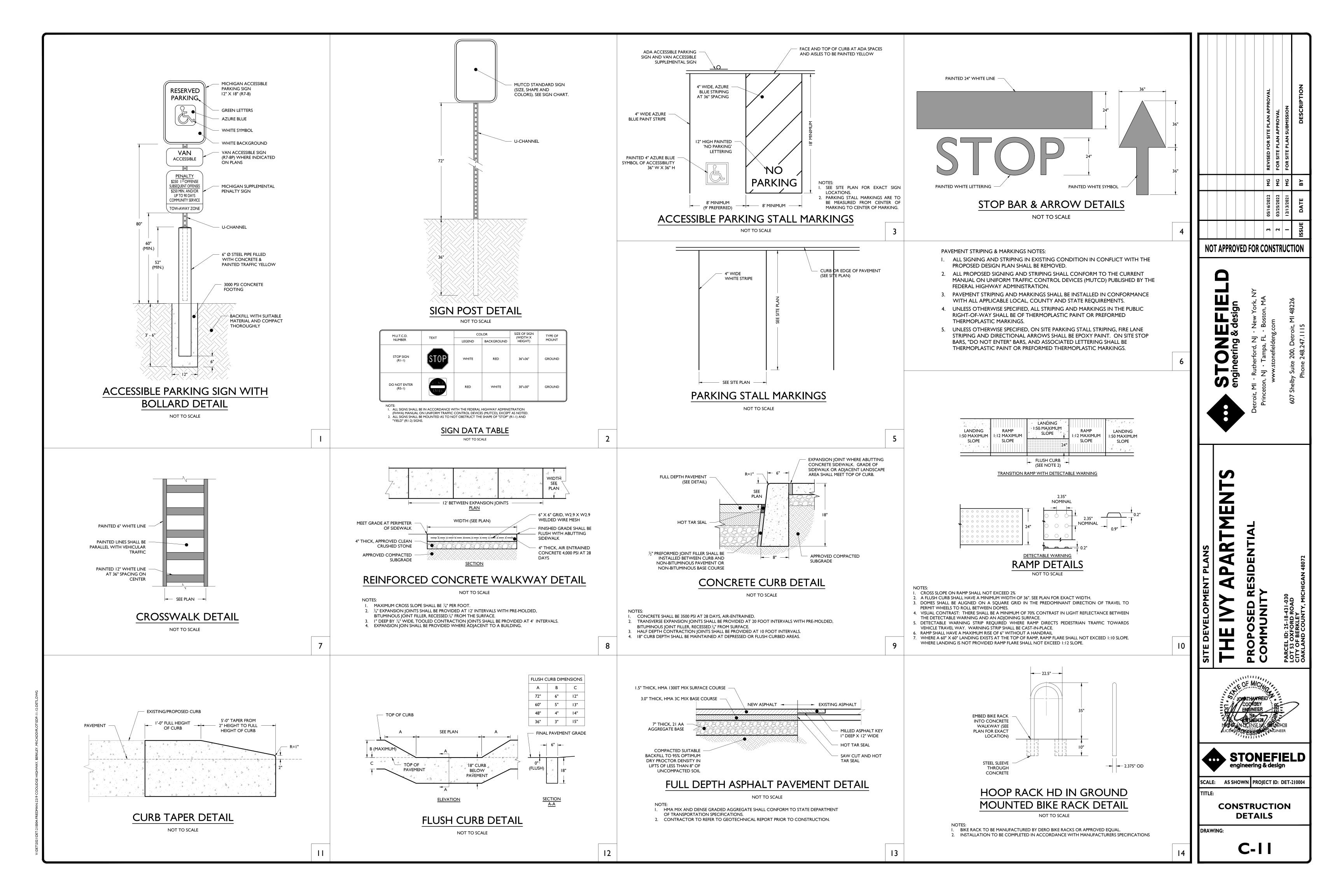


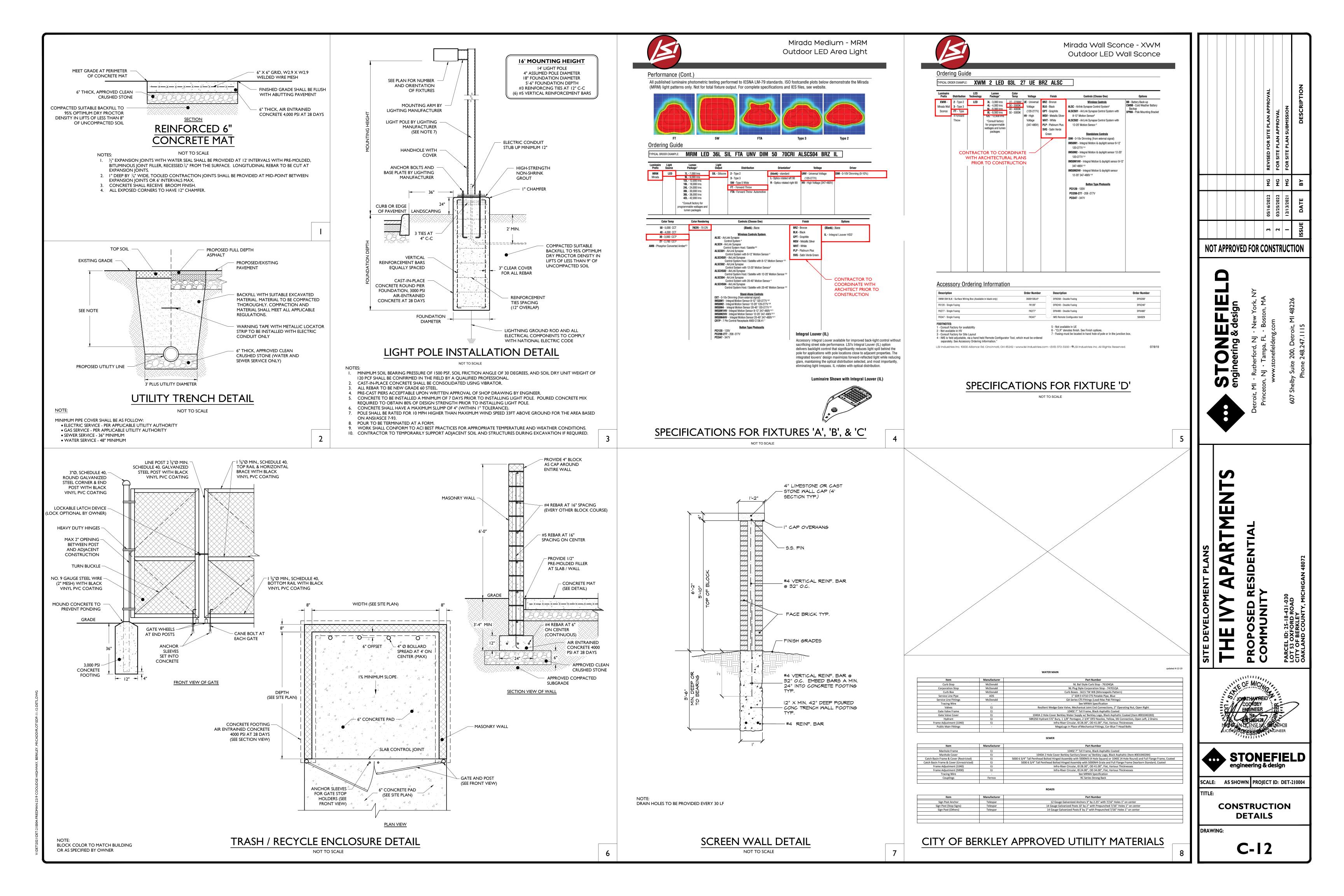
I" = 30' PROJECT ID: DET-210004

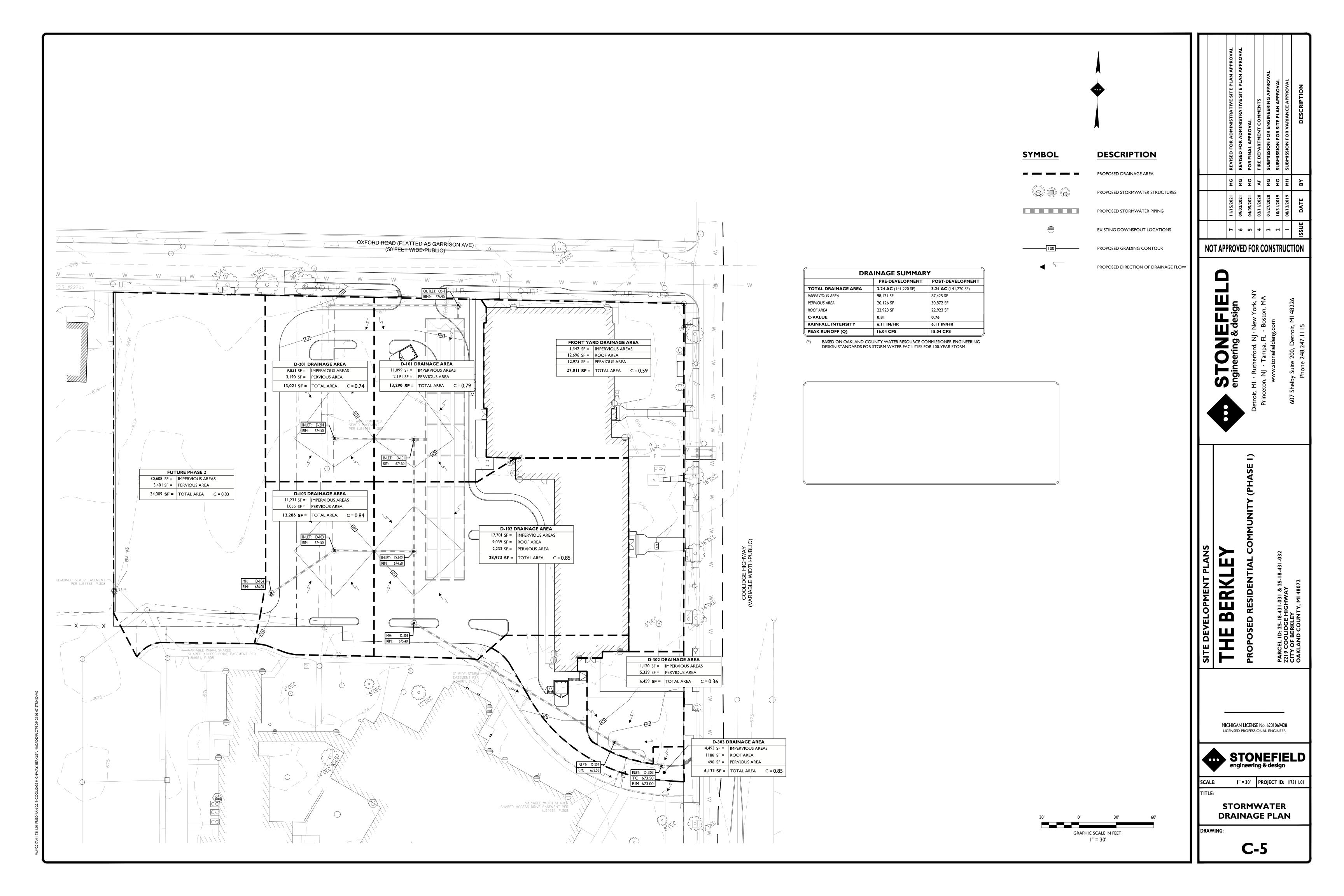
SOIL EROSION & SEDIMENT CONTROL PLAN

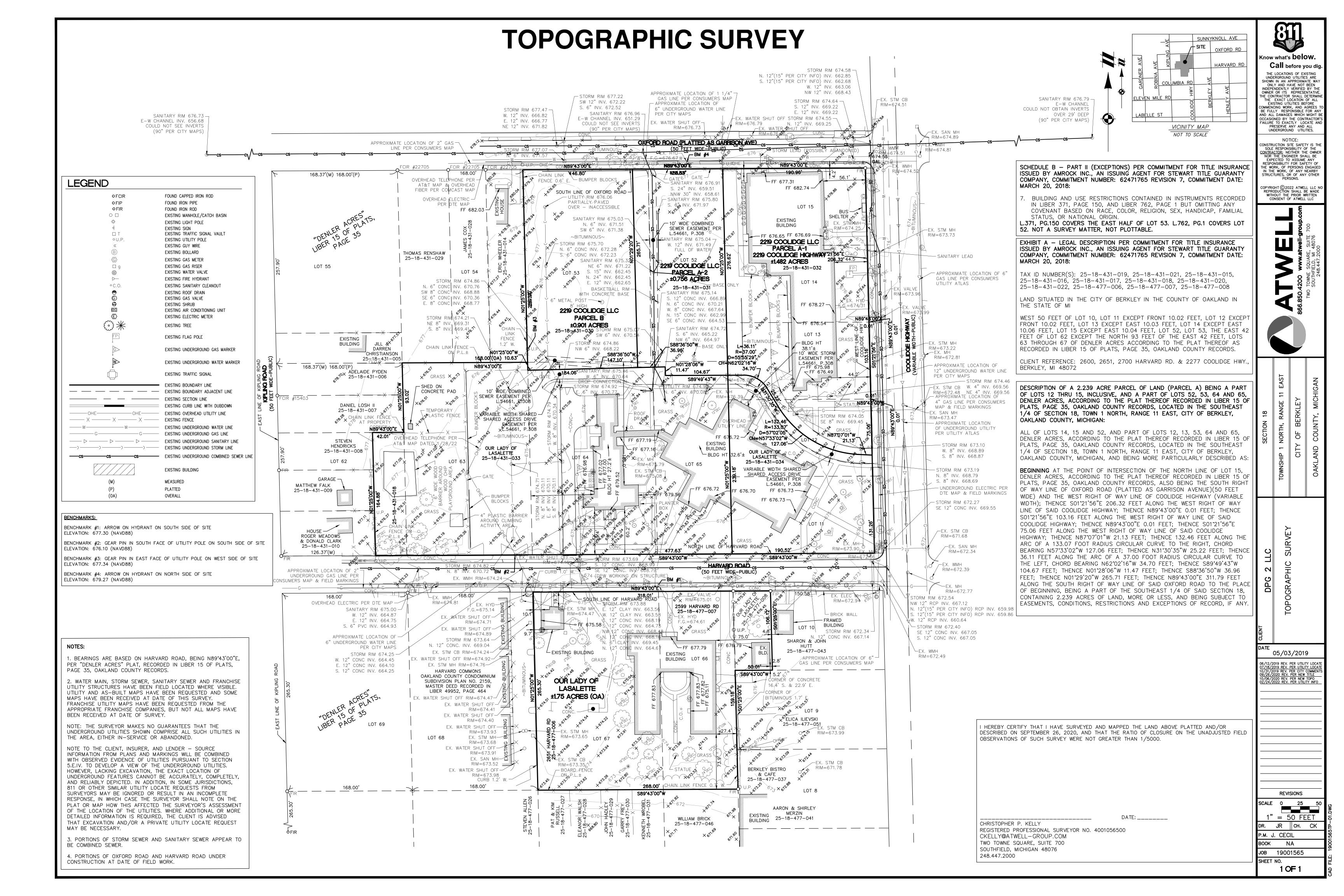
DRAWING:

C-10









GENERAL NOTES

- 1. ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE WATER RESOURCES COMMISSIONER'S OFFICE AND/OR THE LOCAL MUNICIPALITY.
- 2. THE CONTRACTOR SHALL OBTAIN AN WATER RESOURCES COMMISSIONER'S OFFICE WATER INSPECTION PERMIT PRIOR TO THE START OF CONSTRUCTION. SEE CORRESPONDING WATER MAIN CONSTRUCTION PERMIT REQUEST LETTER FOR COST OF THE PERMIT.
- 3. A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION AND SHALL BE SCHEDULED BY THE LOCAL MUNICIPAL ENGINEER. THOSE IN ATTENDANCE SHALL INCLUDE 1) LOCAL MUNICIPAL ENGINEER, 2) DESIGN ENGINEER, 3) OWNER/DEVELOPER, 4) ROAD COMMISSION FOR OAKLAND COUNTY, 5) OAKLAND COUNTY WATER RESOURCES COMMISSIONER'S OFFICE (WATER, SEWER AND STORM DIVISIONS) AND 6) ALL UTILITY COMPANIES. CONTRACTOR SHALL PROVIDE MATERIALS LISTING FOR APPROVAL BY MUNICIPAL ENGINEER AND OCWRC.
- 4. CONTRACTOR MUST CONTACT MISS DIG (1-800-482-7171) THREE WORKING DAYS BEFORE THE START OF CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. ALL UTILITIES SHALL BE STAKED BEFORE CONSTRUCTION STARTS.
- 5. ALL NECESSARY EASEMENTS FOR WATER MAINS SHALL BE PROVIDED IN THE NAME OF THE OWNER OF THE WATER MAIN PRIOR TO CONSTRUCTION AND ACCEPTANCE OF THE WATER DISTRIBUTION SYSTEM FOR OPERATION.
- 6. ALL WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OF FIVE AND ONE—HALF (5-1/2) FEET BELOW FINISHED GRADES INCLUDING OPEN DRAINAGE COURSES.
- 7. ALL TRENCHES UNDER OR WITHIN A 1:1 RATIO OF EXISTING OR PROPOSED PAVEMENT OR DRIVEWAYS SHALL BE BACKFILLED WITH THOROUGHLY COMPACTED CLASS II SAND TO GRADE AT NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT
- 8. WHERE TWO UTILITIES CROSS, PROVIDE CLASS II BACKFILL MATERIAL IN TWELVE (12) INCH COMPACTED LAYERS TO THE UNDERSIDE OF THE
- 9. WHERE WATER MAINS MUST DIP TO PASS UNDER OTHER UTILITIES, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH AND SHALL BE CONSTRUCTED WITH ELEVEN AND ONE—QUARTER (11-1/4) DEGREE VERTICAL BENDS, PROPERLY ANCHORED. BENDS GREATER THAN 11-1/4° MUST HAVE ROD RESTRAINTS.
- 10. ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE MANUFACTURED TO CONFORM WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS, EXCEPT WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C 443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
- 11. CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 2 (i.e. 2'-0" BETWEEN GATE WELL WALL & CENTERLINE OF OPERATING NUT) TO ALLOW PROPER OPERATION OF VALVE THROUGH GATEWELL OPENING. FAILURE TO DO SO WILL REQUIRE CONTRACTOR TO CORRECT AT HIS EXPENSE.
- 12. ALL CROSS-CONNECTION CONTROL DEVICES SHALL BE INSTALLED AS REQUIRED BY THE LOCAL PLUMBING INSPECTOR AND IN ACCORDANCE WITH THE STANDARDS OF THE WATER RESOURCES COMMISSIONER'S OFFICE OPERATION AND MAINTENANCE DIVISION AND THE MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES AND ENERGY, DIVISION OF DRINKING WATER AND ENVIRONMENTAL HEALTH DIVISION
- 13. ALL WATER SERVICE CONNECTIONS TWO (2) INCHES AND SMALLER SHALL BE MADE BY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION AFTER WATER MAIN ACCEPTANCE AND APPLICABLE TAP PERMITS ARE OBTAINED.
- 14. ALL FITTINGS AND BENDS SHOULD BE BLOCKED IN ACCORDANCE WITH THRUST BLOCK DETAILS, UNLESS ALTERNATE THRUST RESTRAINT SYSTEM, AS INDICATED IN PLANS AND SPECIFICATIONS, IS APPROVED BY WATER RESOURCES COMMISSIONER'S OFFICE AND THE LOCAL
- 15. ALL STEEL AND IRON MATERIAL AND PRODUCTS FOR PERMANENT INCORPORATION INTO THE WORK SHELL MEET BUY AMERICA REQUIREMENT, FEDERAL CODE OF REGULATIONS SECTION 635.410

WATER MAIN MATERIALS NOTES

- 1. WATER SUPPLY SYSTEM PIPING (3-INCH & LARGER) SHALL BE DUCTILE IRON OR HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE APPROVED BY THE LOCAL COMMUNITY.
- 2. DUCTILE IRON PIPE SHALL BE CLASS 54 FOR SIZES THREE (3) INCH THROUGH EIGHTEEN (18) INCH, CLASS 55 FOR TWENTY (20) INCH, AND CLASS 56 FOR TWENTY—FOUR (24) INCH AND LARGER. (ABBREVIATED "D.I." IN DETAILS AND ON THIS SHEET).
- 3. PIPES OF SIZES LARGER THAN TWENTY-FOUR (24) INCHES IN NOMINAL DIAMETER SHALL MEET ALL THE REQUIREMENTS OF THE CURRENT AWWA C100 FOR DUCTILE IRON WATER PIPE.
- 4. THE DUCTILE IRON PIPE TO BE FURNISHED AND DELIVERED UNDER THIS SPECIFICATION SHALL MEET ALL THE REQUIREMENTS OF THE CURRENT AWWA C151 (ANSI A21.5), EXCEPT AS OTHERWISE SPECIFIED HEREIN. PIPE SHALL BE DOUBLE CEMENT—LINED AND SEAL COATED WITH AN APPROVED BITUMINOUS SEAL COAT IN ACCORDANCE WITH AWWA C104 (ANSI A21.4).
- 5. REFER TO SHEET 5 FOR HDPE MATERIAL REQUIREMENTS.
- 6. MECHANICAL AND SLIP-ON JOINTS FOR DUCTILE IRON WATER MAIN SHALL BE IN ACCORDANCE WITH AWWA C111 (ANSI A21.11).
- 7. FLANGE JOINTS FOR DUCTILE IRON WATER MAIN SHALL BE IN ACCORDANCE WITH AWWA C110 (ANSI A21.10).
- 8. FITTINGS FOR DUCTILE IRON PIPE SHALL BE DUCTILE IRON OR CAST IRON AND SHALL MEET REQUIREMENTS OF AWWA C110 (ANSI A21.10) OR AWWA C153 (ANSI A21.53). DUCTILE IRON FITTINGS SHALL BE RATED FOR 350 PSI, PIPE SIZES TWENTY—FOUR (24) INCH DIAMETER AND LESS AND 250 PSI FOR PIPE SIZES OVER TWENTY—FOUR (24) INCH DIAMETER. DUCTILE IRON FLANGE FITTINGS SHALL BE RATED FOR 250 PSI FOR ALL PIPE DIAMETERS.
- 9. INSTALL BRASS WEDGES AT ALL PUSH ON JOINTS IN DUCTILE IRON PIPE INSTALLATIONS. TWO (2) WEDGES PER JOINT FOR PIPES 12 INCH IN DIAMETER AND LESS, FOUR WEDGES PER JOINT FOR PIPES GREATER THAN 12 INCHES IN DIAMETER.
- 10. ALL WATER MAINS SHALL BE DESIGNED FOR 150 PSI MINIMUM WORKING PRESSURE.
- 11. ALL BURIED BOLTS, NUTS, AND WASHERS SHALL BE AWWA C111 LOW ALLOY STEEL COATED WITH A MINIMUM OF TWO (2) COATS OF FLUOROPOLYMER EPOXY COATING AND HEAT CURED (COR-BLUE OR APPROVED EQUAL) AND POLY-WRAPPED WHEN SPECIFIED.
- 12. ALL BURIED BOLTS, NUTS, AND WASHERS FOR ALL FLANGED CONNECTIONS SHALL BE STAINLESS STEEL (ASTM A320, GRADE B8M) AND HAVE A NEVER SEIZE TYPE COMPOUND APPLIED TO THE THREADS PRIOR TO INSTALLATION.
- 13. CORPORATION STOPS USED FOR INSERTION INTO MAINS SHALL BE MUELLER TYPE H-15000, FORD METER BOX FB-1000-X-Q-NL OR FORD METER BOX FB1000-4-Q-NL. ALL STOPS SHALL HAVE BRONZE CAST BODIES, KEYS. STEM WASHERS AND NUTS. INLET THREADS SHALL CONFORM TO THE LATEST VERSION OF AWWA C800.
- 14. TEMPORARY CONNECTIONS, WHICH MAY BE MADE FOR CHLORINATING AND FLUSHING PURPOSES, SHALL INCLUDE A TESTABLE REDUCE PRESSURE ZONE (RPZ) VALVE WITH CURRENT CERTIFICATION.

VALVE AND SLEEVE NOTES

- 1. GATE VALVES, SIZES THREE (3) INCH THROUGH SIXTEEN (16) INCH AND TAPPING VALVES SHALL BE LOCAL MUNICIPAL STANDARD AS DETAILED WITH NON-RISING STEM.
- 2. ALL IN LINE GATE VALVES THREE (3) INCH AND LARGER SHALL BE IN WELLS AS DETAILED. SPECIFICATIONS SHALL INCLUDE THE DIRECTION OF OPERATION OF ALL VALVES.
- 3. ALL GATE WELL COVERS SHALL BE LOCAL MUNICIPAL STANDARD AS DETAILED.
- 4. ALL GATE VALVES WITH OPERATING NUTS AT A DISTANCE GREATER THAN FIVE (5) FEET BELOW GROUND SURFACE SHALL BE PROVIDED WITH A STAINLESS STEEL EXTENSION STEM. THE LENGTH OF THE EXTENSION STEM SHALL REACH WITHIN FIVE (5) FEET FROM THE GROUND SURFACE. WHEN AN EXTENSION STEM IS USED, IT SHALL BE HELD IN PLACE BY A STAINLESS STEEL EXTENSION STEM GUIDE SUITABLY FASTENED TO THE WALL OF THE GATE WELL. THE EXTENSION STEM SHALL BE MECHANICALLY ATTACHED TO THE OPERATING NUT. DETAILS OF THE EXTENSION SYSTEM AND THE METHOD OF INSTALLATION SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- 5. TAPPING VALVES SHALL BE AWWA C515 FL X MJ AS MANUFACTURED BY EJ WITH RESILIENT SEATED GATE VALVES AS APPROVED BY LOCAL MUNICIPALITY.
- 6. TAPPING SLEEVES SHALL BE ALL STAINLESS STEEL (BODY, FLANGE AND HARDWARE), MANUFACTURED BY ROMAC INDUSTRIES SST; JCM 432; SMITH-BLAIR 663/665 OR APPROVED EQUAL BY THE WATER RESOURCES COMMISSIONER'S OFFICE.

HYDRANT REQUIREMENTS

- . ALL HYDRANTS SHALL BE CONSTRUCTED WITH A SIX (6) INCH COMPANION GATE VALVE IN A THREE (3) PIECE, ADJUSTABLE DUCTILE IRON VALVE BOX, WHICH SHALL INCLUDE A FIVE AND ONE-QUARTER (5-1/4) INCH SCREW SHAFT. VALVE BOXES SHALL BE SERIES 6860 AS MANUFACTURED BY TYLER PIPE, EJ VALVE BOX NO. 8560 OR APPROVED EQUAL.
- 2. ALL HYDRANTS SHALL BE EJ 5BR250 TRAFFIC MODEL, OR APPROVED EQUAL WITH A MINIMUM OF 6'-0" DEPTH OF BURY UNLESS OTHERWISE INDICATED. SELF-DRAINING HYDRANTS SHALL NOT BE USED. ALL HYDRANTS SHALL BE LOCAL MUNICIPAL STANDARD AS DETAILED. HYDRANTS SHALL HAVE BREAKAWAY FLANGE.
- 3. ALL HYDRANTS SHALL BE PAINTED RED ABOVE GROUND AND BLACK BELOW GROUND WITH A FINISH COAT OF GLAMORTEX 501 ENAMEL, COLOR 314 VERMILLION OR APPROVED EQUAL. HYDRANT CAP SHALL BE PAINTED SAME COLOR AS THE HYDRANT. FOR PONTIAC: YELLOW RUST-OLEUM #7543 SAFETY YELLOW.

ACCEPTANCE OF NEW WATER MAINS

- 1. PRIOR TO WATER MAIN ACCEPTANCE THE FOLLOWING CONDITIONS MUST BE MET:
- 1.1. PRESSURE TESTING AND BACTERIA TESTING MUST BE COMPLETED IN ACCORDANCE WITH THE WATER RESOURCES COMMISSIONER'S OFFICE REQUIREMENTS
- 1.2. ALL EASEMENT AND RIGHT-OF-WAY ACQUISITION MUST BE ACCEPTED BY THE WATER RESOURCES COMMISSIONER'S OFFICE, RIGHT-OF-WAY DIVISION
- 1.3. THE LOCAL MUNICIPALITY MUST BE PROVIDED WITH THE BILL OF SALE
- 1.4. ALL "RECORD DRAWINGS" MUST BE ACCEPTED AND APPROVED BY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION. THE WATER RESOURCES COMMISSIONER'S OFFICE AND LOCAL ENGINEER MUST WITNESS THE CONNECTION OF THE WATER MAIN TO THE EXISTING WATER MAIN, AFTER WHICH RESIDENTIAL AND COMMERCIAL TAPS WILL BE
- 2. THE CONTRACTOR SHALL NOTIFY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION THROUGH THE LOCAL ENGINEER FOR NEW CONSTRUCTION TAP, PRESSURE TESTING, BACTERIOLOGICAL SAMPLING, CONNECTIONS TO EXISTING WATER MAIN AND FINAL FIELD REVIEW. A SEVENTY—TWO (72) HOUR ADVANCE NOTICE IS REQUIRED.
- 3. THE CONTRACTOR SHALL DISINFECT AND PRESSURE TEST ALL NEW WATER MAIN CONSTRUCTION PURSUANT TO THE CURRENT STANDARDS SPECIFIED BY THE WATER RESOURCES COMMISSIONER'S
- 4. HYDROSTATIC TESTING FOR DUCTILE IRON WATER MAIN SHALL BE COMPLETED IN ACCORDANCE WITH ANSI/AWWA C600, SEC 5.2. THE SPECIFIED TEST PRESSURE IS 150 PSI OR 1.5 TIMES THE MAXIMUM ALLOWABLE OPERATING PRESSURE (MAOP) OF THE TEST SECTION, WHICHEVER IS GREATER. THE TEST METHOD IS GENERALLY SUMMARIZED AS FOLLOWS:
- 4.1. SLOWLY FILL PIPELINE WITH WATER, VENTING ENTRAPPED AIR AS NECESSARY.
- 4.2. REPAIR ANY VISIBLE LEAKS THAT OCCUR DURING FILLING OR AT ANY POINT DURING THE TEST.
- 4.3. GRADUALLY APPLY PRESSURE UP TO THE SPECIFIED WORKING PRESSURE USING A SUITABLE PUMP CONNECTED TO THE PIPELINE, BLEEDING TRAPPED AIR, AND ADDING WATER AS NECESSARY UNTIL A STABLE PRESSURE IS HELD.
- 4.4. HYDROSTATIC TEST BEGINS AFTER THE PIPELINE IS STABILIZED AT THE WORKING PRESSURE BY INCREASING THE PRESSURE UP TO THE SPECIFIED TEST PRESSURE AND HOLD IT WITHIN PLUS/MINUS 5 PSI FOR THE DURATION OF THE TEST, OR A MINIMUM OF TWO HOURS.
- 4.5. CAREFULLY RECORD THE AMOUNT OF MAKEUP WATER ADDED DURING THE TEST. THE HYDROSTATIC TEST PASSES IF THE AMOUNT OF MAKEUP WATER DOES NOT EXCEED THE TESTING ALLOWANCE
- ALLOWANCE.

 4.6. IF THE TESTING ALLOWANCE IS EXCEEDED, LOCATE AND REPAIR ANY LEAKS AND REPEAT TEST.
- 5. REFER TO SHEET 5 FOR HYDROSTATIC TESTING REQUIREMENTS FOR HDPE PIPE.
- 6. PRESSURE TESTING AGAINST VALVES PHYSICALLY CONNECTED TO AN EXISTING WATER SUPPLY SYSTEM IS STRICTLY PROHIBITED.
- 7. WHERE CONTRACTOR SUPPLIED GAUGES ARE REQUIRED, MINIMUM SIZE SHALL BE 3½" DIAMETER OR LARGER GRADUATED IN ONE (1) OR TWO (2) POUND INCREMENTS FROM 1 TO 160 P.S.I. OR HIGHER.
- 8. PRESSURE TESTING AND BACTERIA TESTING MUST BE SUCCESSFULLY COMPLETED PRIOR TO CONNECTING TO THE EXISTING WATER SUPPLY SYSTEM.

WATER RESOURCES COMMISSIONER WATER SYSTEM STANDARDS — GATE VALVES

DIRECTION		<u>VALVE_TYPE</u>			
COMMUNITY	TO OPEN	STD. GATE VALVE	TAPPING VALVE		
BINGHAM FARMS	RIGHT	C515	C515		
BLOOMFIELD HILLS	RIGHT	C515	C515		
COMMERCE TOWNSHIP	LEFT	C515	C515		
FARMINGTON HILLS	RIGHT	C515	C515		
HIGHLAND TOWNSHIP	LEFT	C515	C515		
KEEGO HARBOR	RIGHT	C515	C515		
OAKLAND TOWNSHIP	LEFT	C515	C515		
ORCHARD LAKE VILLAGE	LEFT	C515	C515		
OXFORD TOWNSHIP	LEFT	C515	C515		
PONTIAC	LEFT	C515	C515		
ROYAL OAK TOWNSHIP	RIGHT	C515	C515		
SPRINGFIELD TOWNSHIP	LEFT	C515	C515		
WALLED LAKE	LEFT	C515	C515		

^{1.)} C515 RESILIENT SEATED GATE VALVE — MANUFACTURED BY U.S. PIPE, MUELLER, EAST JORDAN IRON WORKS, AMERICAN FLOW CONTROL OR APPROVED EQUAL.

FIRE HYDRANT NOZZLE SIZE AND THREAD SPECIFICATIONS

CVT	PUMPER NOZZLE	HOSE NOZZLE	OPERATING NUT	DEPTH OF BURY	STYLE	MODEL #
BINGHAM FARMS	(1) - 3-3/4"-DFD	(2) - 2-1/2*-DFD	1-1/8"	5'-6"	5BR250	54826D
BLOOMFIELD HILLS	(1) - 3-3/4"-DFD	(2) - 2-1/2"-DFD	1-1/8"	6'-0"	5BR250	55825D
COMMERCE TWP/ WOLVERINE LAKE	(1) - 5"-STORZ	(2) - 2-1/2"-NST	1-1/2"	5'-6"	5BR250	54913D
FARMINGTON HILLS	(1) - 3-3/4"-DFD	(2) - 2-1/2*-NST	1-1/8"	5'-6"	5BR250	54329D
HIGHLAND TWP	(1) - 5"-STORZ	(2) - 2-1/2"-NST	1-1/2"	5'-6"	5BR250	54913D
KEEGO HARBOR	(1) - 3-3/4"-DFD	(2) - 2-1/2*-DFD	1-1/8"	5'-6"	5BR250	54826D
OAKLAND TWP	(1) - 4"-STORZ	(2) - 2-1/2"-DFD	1-1/2"	5'-6"	5BR250	54831D
ORCHARD LAKE	(1) - 3-3/4"-DFD	(2) - 2-1/2*-DFD	1-1/8"	6'-0"	5BR250	55825D
OXFORD TWP	(1) - 5"-STORZ (1) - 4-1/2"-NST		1-1/2"	6'-0 "	5BR250	55601D
PONTIAC	(1) - 3-3/4"-DFD	(2) - 2-1/2"-DFD	1-1/2"	6'-0"	5BR250	55822D
ROYAL OAK TWP	(1) - 3-3/4"-DFD	(2) - 2-1/2"-NST	1-1/8"	5'-6"	5BR250	54329D
SPRINGFIELD TWP	(1) - 5"-STORZ	(2) - 2-1/2*-NST	1-1/2"	5'-6"	5BR250	54913D
WALLED LAKE	(1) - 4-1/2-NST	(2) - 2-1/2"-NST	1-1/8"	5'-6"	5BR250	54534D

- 1. D.F.D. DETROIT FIRE DEPARTMENT THREAD
- 2. N.S.T. NATIONAL STANDARD THREAD
- 3. STORZ NOZZLES SHALL BE COMPATIBLE WITH STORZ COUPLED LARGE DIAMETER FIRE HOSE. NOZZLES SHOULD BE MADE OF "LEAD FREE" BRASS OR ALUMINUM, AS APPROVED BY LOCAL CITY, VILLAGE OR TOWNSHIP. THE NOZZLE SHALL BE AN INTEGRAL PART OF THE HYDRANT, RESISTANT TO TAMPER AND REMOVAL. ENGAGEMENT LUGS SHALL BE ON THE NOZZLE AND CAP TO PREVENT FAILURE UNDER HIGH PRESSURE. NOZZLE AND CAP SHALL MEET AWWA C502 SPECIFICATIONS. NOZZLE SHALL BE COMPATIBLE WITH HOSE LOCK TO PREVENT HOSE FROM DISCONNECTING WHILE IN USE.

WATER RESOURCES COMMISSIONER'S OFFICE WATER SYSTEMS OPERATIONS AND MAINTENANCE DIVISION RECORD DRAWING SPECIFICATIONS

IN AREAS WHERE WATER SYSTEMS ARE OPERATED AND MAINTAINED BY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION, FINAL ACCEPTANCE OF THE WATER SYSTEM MUST BE RENDERED BY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION, BEFORE THE SYSTEM CAN BE USED FOR THE SERVICE INTENDED.

ONE ITEM REQUIRED FOR FINAL ACCEPTANCE SHALL BE THE SUBMISSION OF RECORD DRAWINGS TO THE WATER RESOURCES COMMISSIONER, OPERATIONS AND MAINTENANCE DIVISION, BY THE DESIGN ENGINEER. RECORD DRAWINGS SHALL BE DEFINED AS AND CONTAIN THE FOLLOWING INFORMATION:

- 1. THE DESIGN ENGINEER SHALL FURNISH "RECORD DRAWINGS" WATER MAIN PLANS UPON JOB COMPLETION. "RECORD DRAWINGS" SHALL BE FORWARDED TO THE WATER RESOURCES COMMISSIONER BY THE LOCAL MUNICIPAL ENGINEER AFTER THEIR REVIEW AND APPROVAL.
- 2. THE COVER SHEET SHALL BE SIGNED AND SEALED BY THE PROJECT DESIGN ENGINEER AND INCLUDE THE FOLLOWING CERTIFICATION STATEMENT:

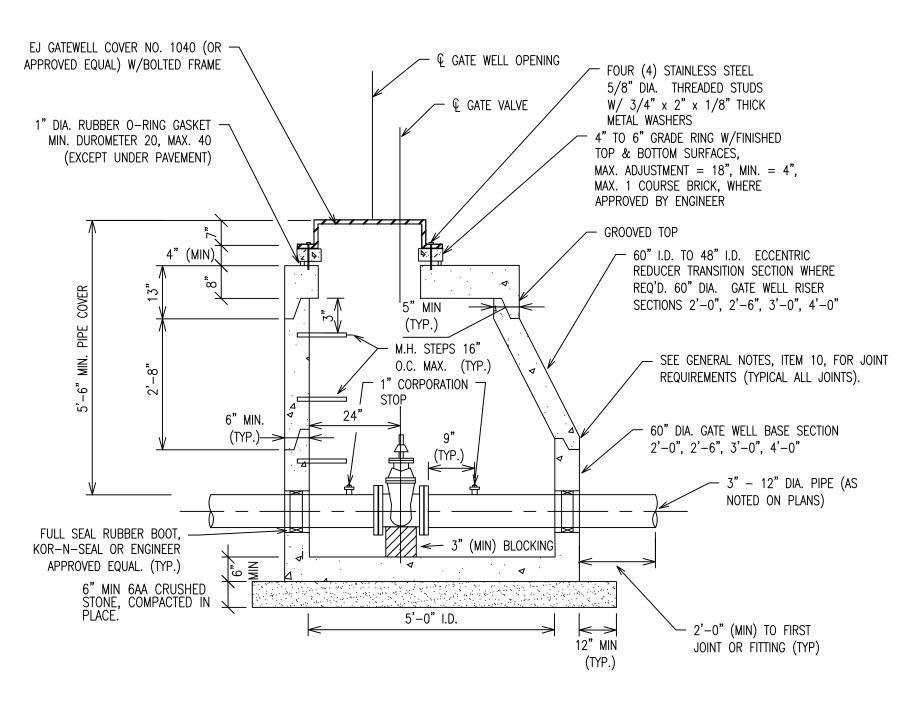
	HEREBY CERTIFY THAT OUR FIRM HAS PREPARED THESE RECORD DRAWINGS OF THE MPROVEMENTS AS CONSTRUCTED, AND THAT TO THE BEST OF MY KNOWLEDGE THOSE MPROVEMENTS NOTED AS "RECORD DRAWINGS" WERE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS; AND ALSO THAT THE WATER MAIN AND STRUCTURES, AS CONSTRUCTED, LIE WITHIN THE EASEMENT DESCRIPTIONS REQUIRED BY THE WATER RESOURCES COMMISSIONER'S OFFICE.
-	(COMPANY NAME)
-	(ENGINEER'S SIGNATURE)
	PROFESSIONAL ENGINEER NO
	ENGINEER SEAL

- 3. THE MINIMUM SCALE SHALL BE ONE (1) INCH EQUALS FIFTY (50) FEET.
- 4. THE SIZE, LENGTH, CLASS AND MANUFACTURER OF PIPE INSTALLED SHALL BE INDICATED.
- 5. THE SIZE, BRAND AND MODEL NUMBERS OF ALL VALVES AND HYDRANTS INSTALLED SHALL BE INDICATED.
- 6. A TOTAL RECORD DRAWING QUANTITY LIST SHALL BE INCLUDED, AS WELL AS A RECORD DRAWING QUANTITY LIST ON EACH INDIVIDUAL SHEET.
- 7. THE LOCATIONS SHALL BE SHOWN ON THE PLANS WITH AN ACCURACY OF ONE (1) FOOT.
- 8. THE OFFSET OF THE WATER MAIN FROM PROPERTY LINES SHALL BE INDICATED.
- 9. ALL GATE VALVE WELLS, HYDRANTS AND ALL WATER SYSTEM APPURTENANCES SHALL BE LOCATED FROM THE NEAREST PROPERTY CORNER.
- 10. ALL UNDERGROUND APPURTENANCES, SUCH AS GATE VALVE WELLS, METER PITS, PRESSURE REDUCING VALVE PITS, ETC. SHALL BE LOCATED FROM THE NEAREST HYDRANT THAT IS CONNECTED TO THE SAME WATER MAIN AS THE APPURTENANCE.
- 11. THE LOCATION, SIZE, BRAND AND MODEL NUMBER OF EVERY RESTRAINED JOINT SHALL BE NOTED.
- 12. THE ACCURATE LOCATION OF ALL UTILITY CROSSINGS WHERE THE RECOMMENDED SEPARATION, VERTICALLY OR HORIZONTALLY, IS LESS THAN THE TEN STATE STANDARDS SHALL BE NOTED.
- 13. WATER MAINS 12" AND LARGER IN DIAMETER SHALL BE DRAWN IN PROFILE VIEW IN ADDITION TO PLAN VIEW ON THE CONSTRUCTION PLANS.

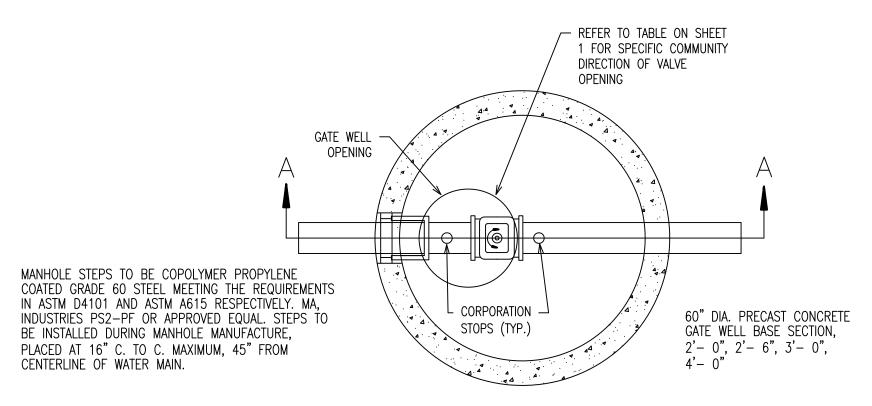
WATER MAIN STANDARD DETAILS

Data	Pata Source / Source Date: N/A								
Rev. No		Rev. Date:	Description:	Description:					
1	DL	03/23/15	FINAL CHANGES	TO GATE VALVE STANDARDS, HYDRANT SPECIFICATIO	ONS AND PIPE CLASS UPDATES				
2	DL	01/03/17	UPDATE "DIRECT	ION TO OPEN" COMMERCE TOWNSHIP FROM RIGHT TO	DLEFT				
3	KB	02/14/18	MARKUPS PER G	MARKUPS PER G. APPEL					
4	HRC	08/31/20	GENERAL UPDAT	GENERAL UPDATE					
OR	G. D	ATE:	01/01/01	MADC	ONE PUBLIC WORKS DRIVE. BLDG 95 WES				
SCALE: NONE		NONE	WRC	WATERFORD, MICHIGAN 48328-1907					
DES	SIGN	ED BY:	WRC	WATER RESOURCES COMMISSIONER Iim Nash	SHEET NO.:				
DR	AWN	BY: W	RC Mapping		1 of 7				

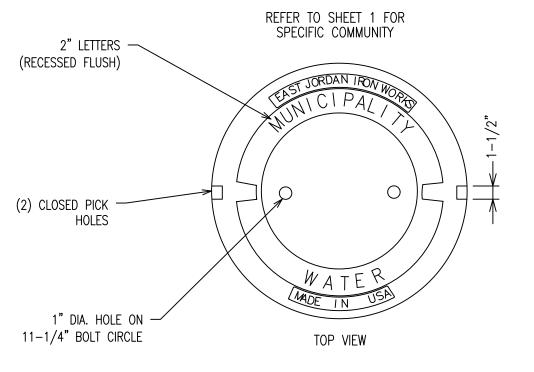
GATE VALVE & WELL DETAILS



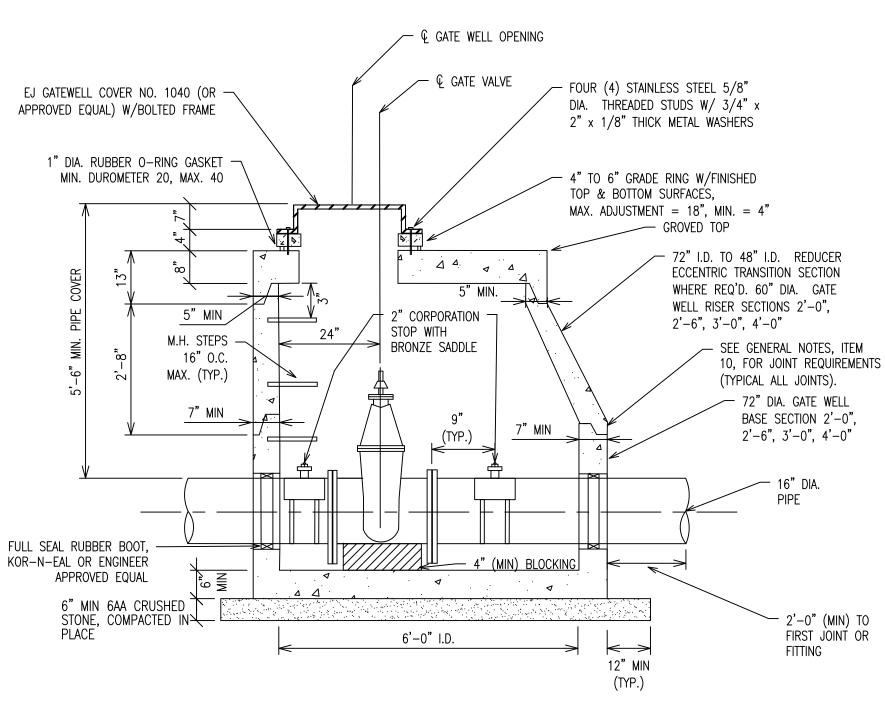
3" THRU 12" GATE WELL



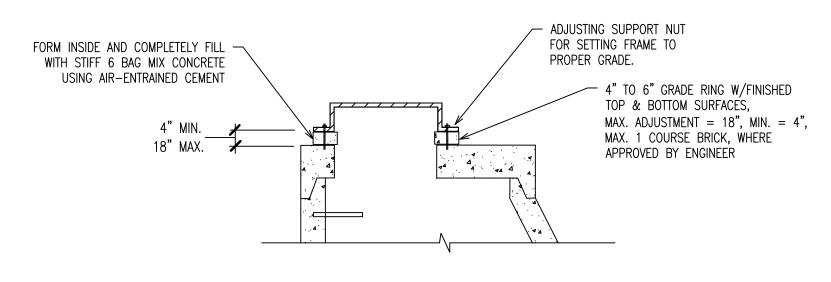
<u>PLAN GATE WELL TYPICAL</u>



LETTERING LAYOUT FOR GATEWELL COVERS

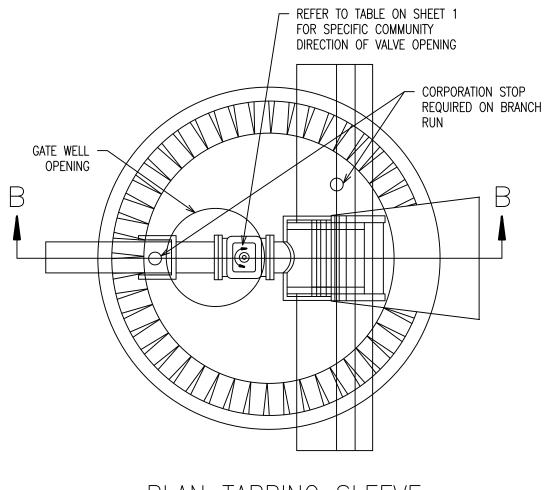


16" GATE WELL

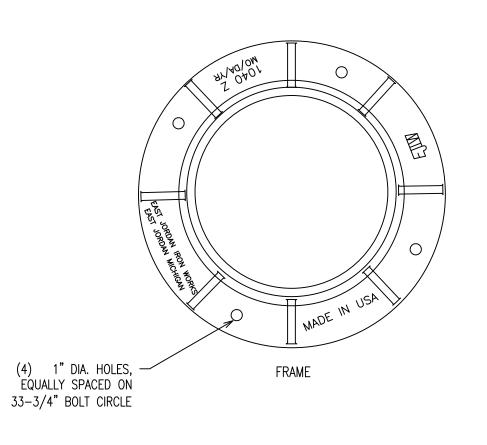


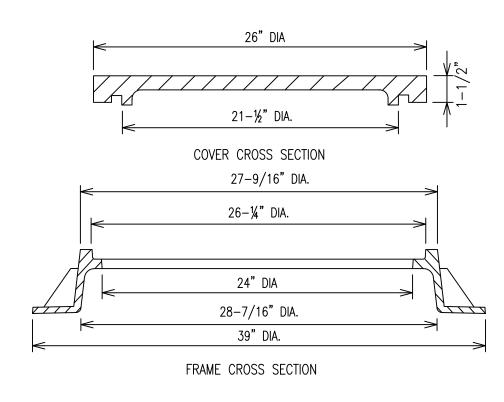
GATE WELL TOPS WITHIN PAVEMENT AREAS

RUBBER O'RINGS SHALL
NOT BE USED IN PAVEMENT

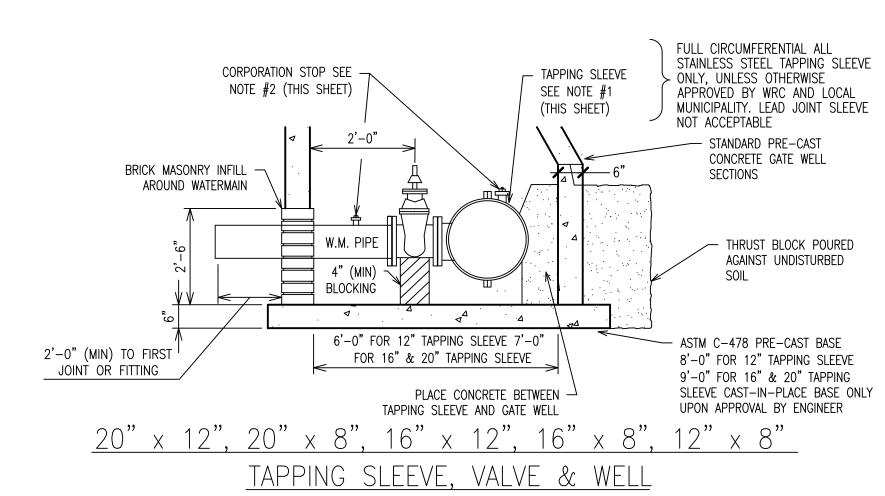


PLAN TAPPING SLEEVE
VALVE & WELL (TYPICAL)





FRAME

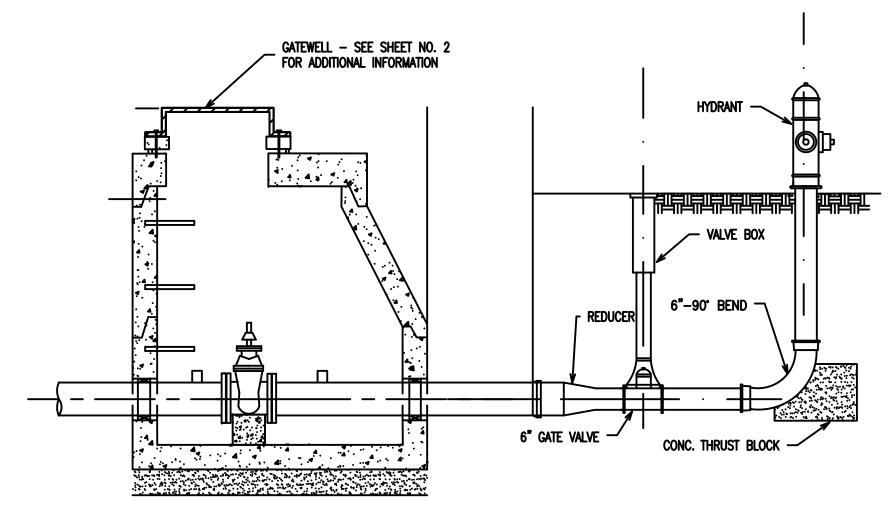


NOTES:

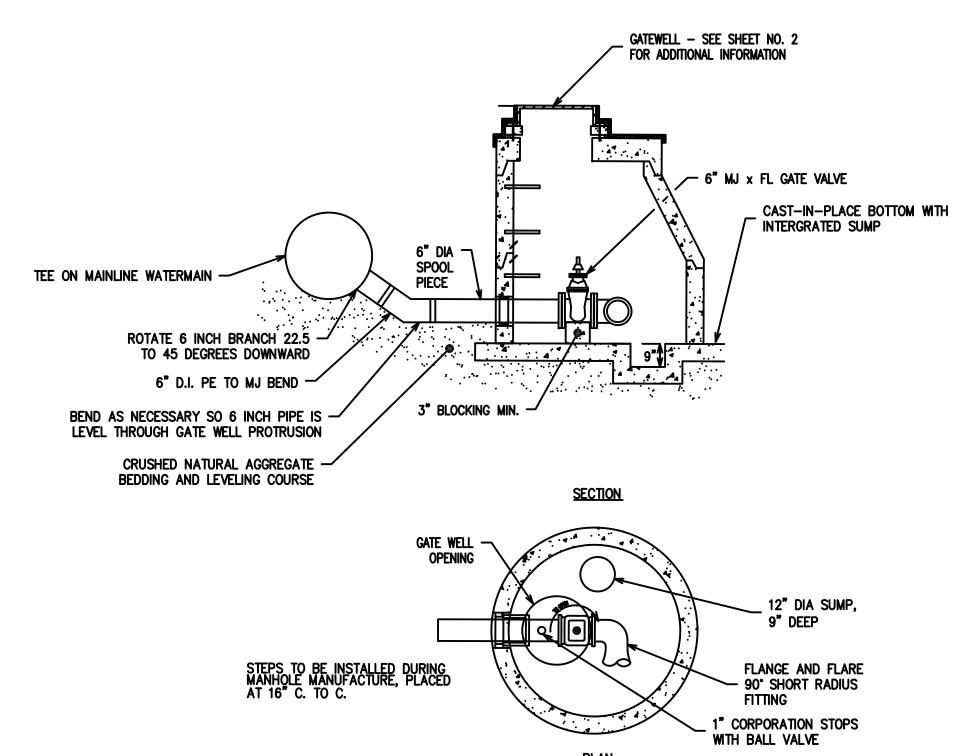
- 1. REFER TO NOTE 7 OF "VALVE AND SLEEVE NOTES" ON SHEET 1.
 2. FOR PIPE SMALLER THAN 16" USE 1" CORPORATION STOP, FOR 16"
- PIPE OR LARGER USE 2" CORPORATION STOP WITH BRONZE SADDLE.
- 3. WRC DOES NOT RECOMMEND SIZE ON SIZE TAPPING.



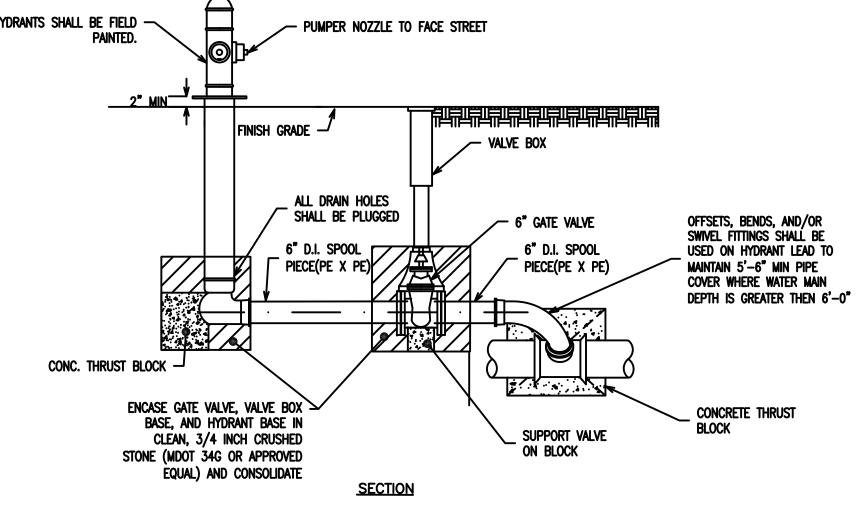


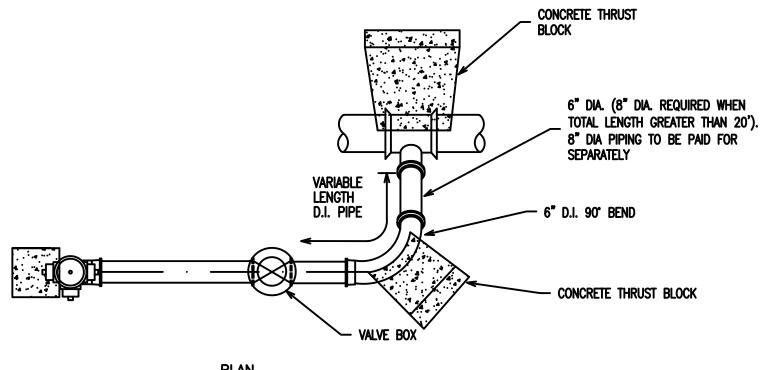


DEAD END BLOWOFF CONNECTION



BLOW-OFF VALVE AND WELL

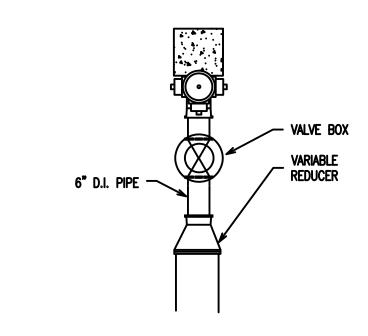




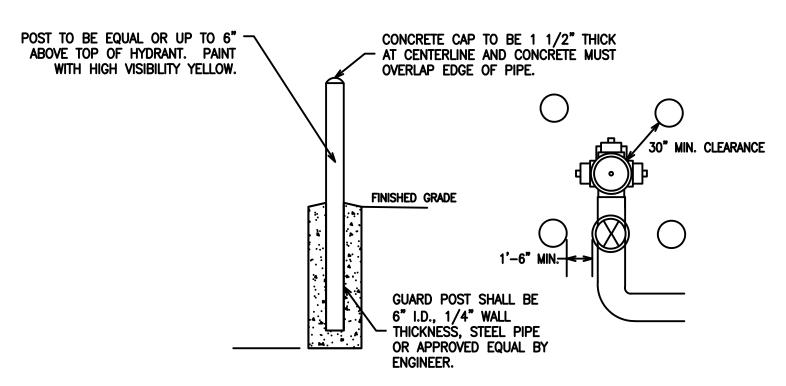
6" HYDRANT SIDE OUTLET

- 1. HYDRANT EXTENSIONS BETWEEN THE STANDPIPE LOWER SECTION & STANDPIPE UPPER ARE LIMITED TO 18 INCHES
- 2. ALL HYDRANTS COMPANION VALVES, BENDS, AND TEES TO BE FULLY RESTRAINED BY MECHANICAL
- JOINT RESTRAINT SYSTEM FITTINGS (MEGA-LUG OR APPROVED EQUAL).

 3. THRUST BLOCKS ARE REQUIRED AT ALL TEES, BENDS AND ENDS.
- 4. ALL HARDWARE (BOLTS, NUTS, WASHERS, ETC.) FOR HYDRANT ASSEMBLIES SHALL BE COR-BLUE OR APPROVED EQUAL.



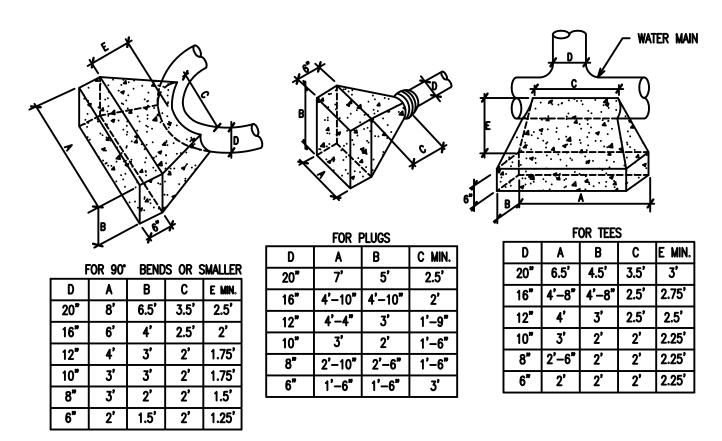
PLAN 6" HYDRANT WATER MAIN END



GUARD POST

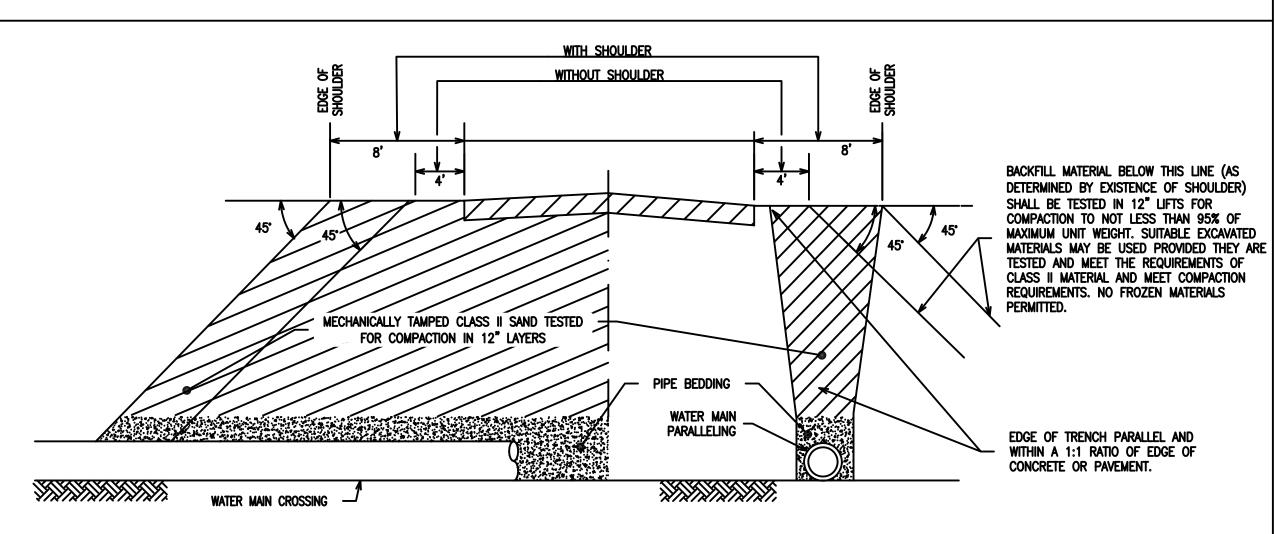
NOTES:

 GUARD POST SHALL NOT INTERFERE WITH HYDRANT OPERATION
 TO BE INSTALLED IN ALL PAVED AREAS PARKING LOTS, PARKS, PLAZAS, ETC. (NOT RIGHT-OF-WAYS)SPACE WHERE VEHICLE EQUIPMENT DAMAGE TO HYDRANT IS POSSIBLE.

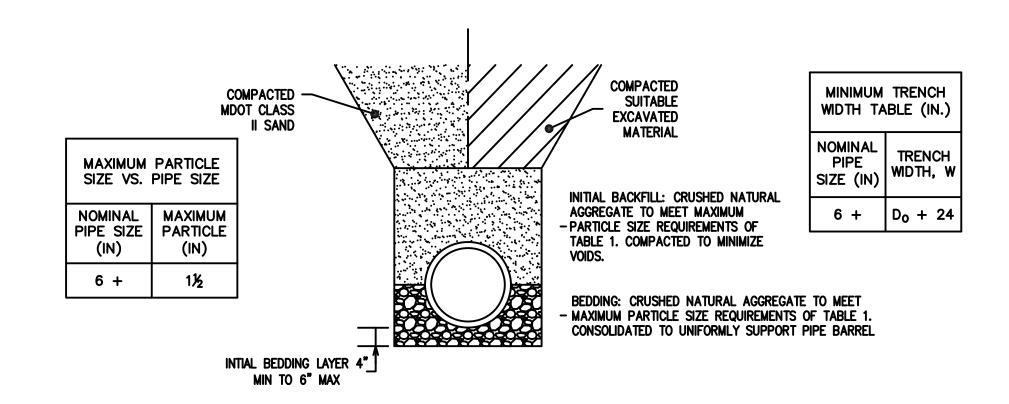


THRUST BLOCK DETAILS

1. 3000 PSI CONCRETE TO BE USED. THRUST BLOCK TO ABUT & REST AGAINST UNDISTURBED SOIL OR EARTH COMPACTED TO 95% MODIFIED PROCTER.



MINIMUM BACKFILL UNDER OR NEAR PAVEMENT



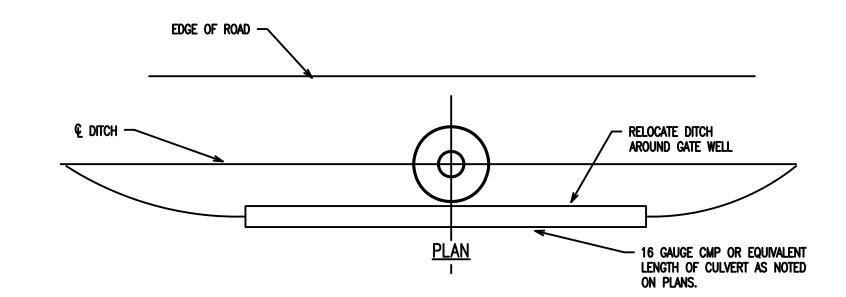
DUCTILE IRON PIPE TRENCH DETAIL

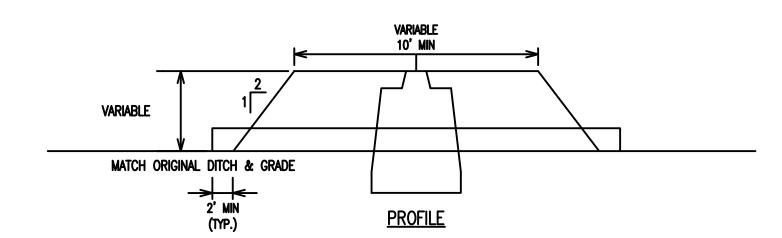
NOTES:

- 1. DUCTILE IRON PIPE IS CONSIDERED A FLEXIBLE PIPE THAT WHEN INSTALLED UNDERGROUND IS DESIGNED TO DEFLECT UNDER LOAD.
- 2. DO NOT COMPACT INNER BEDDING OF INITIAL BEDDING LAYER.
- 3. CAREFULLY EXCAVATE BELL OR COUPLING HOLES FROM THE INITIAL BEDDING LAYER.4. SHOVEL SLICE BEDDING MATERIAL IN THE HAUNCH AREA ALONG THE BOTTOM CIRCUMFERENCE OF THE PIPE TO
- CONSOLIDATE BEDDING AND UNIFORMLY SUPPORT THE PIPE BARREL.
- 5. COMPACT INITIAL BACKFILL MATERIALS IN LIFTS NOT EXCEEDING 6 INCHES BY HAND TAMPING AROUND AND DIRECTLY ABOVE PIPE TO MINIMIZE VOIDS.
- 6. DO NOT USE MECHANICAL COMPACTION EQUIPMENT DURING INITIAL BACKFILL OPERATIONS UNTIL MATERIAL HAS BEEN BROUGHT TO 12 INCHES ABOVE THE TOP OF PIPE BARREL.
- 7. COMPACT SAND BACKFILL AND STANDARD TRENCHES OUTSIDE OF PIPE ZONE TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT IN LIFTS NOT EXCEEDING 12 INCHES.
- MAXIMUM UNIT WEIGHT IN LIFTS NOT EXCEEDING 12 INCHES. 8. FOR MINIMUM TRENCH WIDTHS, REFER TO TABLE 2, MAXIMUM TRENCH WIDTH = $D_0 + 2D_0$ UNLESS MINIMUM
- TRENCH WIDTH IS GREATER.

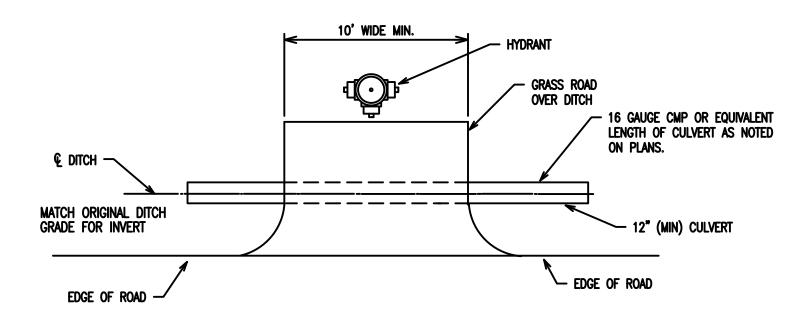
 9. IF THE PIPE IS LOCATED BENEATH THE GROUND WATER TABLE, THE PIPE ZONE SHALL BE WRAPPED IN A GEOTEXTILE SEPARATOR TO MINIMIZE MIGRATION OF SOIL INTO THE PIPE ZONE.

REVISION BLOCK Data Source / Source Date: N/A Rev. Rev. Rev. Rev. Date: Date: Date: No.: By: Date: Da





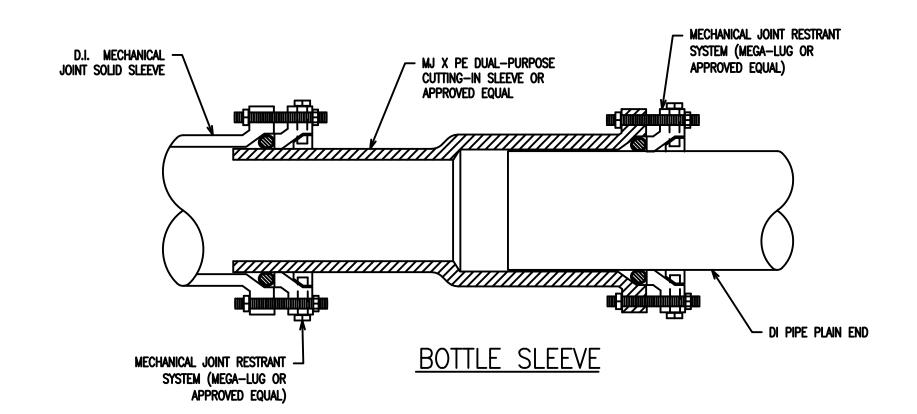
DITCH ENCLOSURE AT GATE WELL

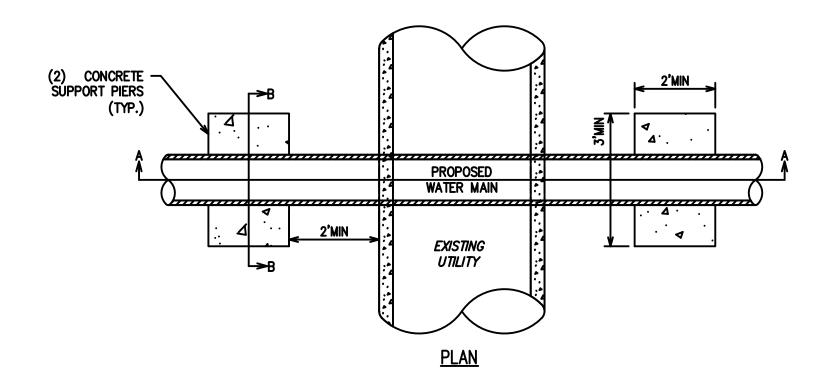


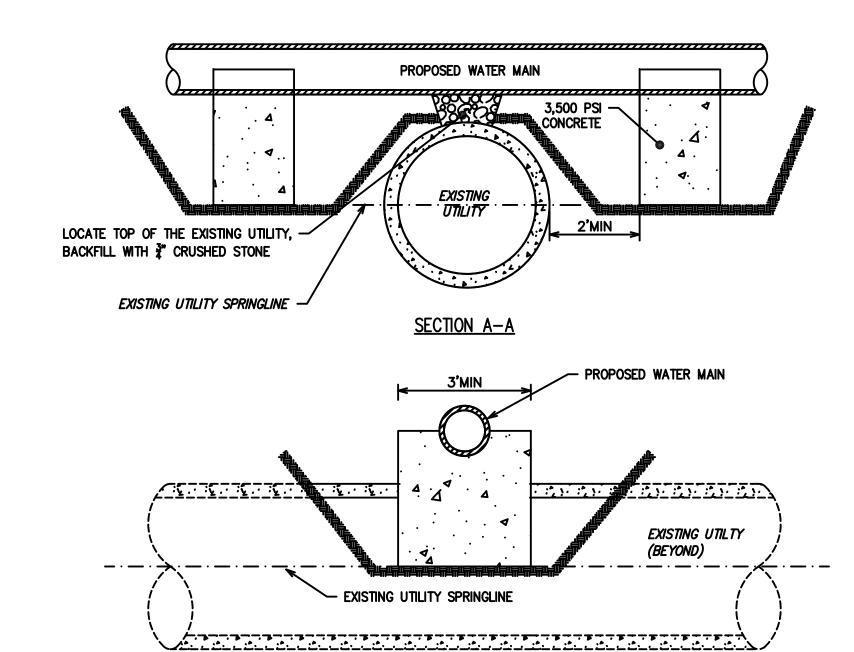
DITCH ENCLOSURE AT HYDRANT

NOTES:

- 1) REQUIRED FOR DITCHES GREATER THAN 18 INCHES IN DEPTH.
- 2) CULVERT SHALL BE SIZED BASED ON THE EXISTING CARRY CAPACITY OF THE DITCH OR AS REQUIRED BY THE PERMITTING AUTHORITY FOR THE LOCAL ROAD AGENCY. STAMPED ENGINEERING CALCULATIONS ARE REQUIRED FOR ALL CULVERT INSTALLATION.
- 3) MINIMUM DEPTH OF COVER FOR CULVERT PIPE IS 12 INCHES UNLESS OTHERWISE AUTHORIZED BY CULVERT MANUFACTURER.
- 4) END SECTIONS ON CULVERTS GREATER THAN 12 INCHES IN DIAMETER.





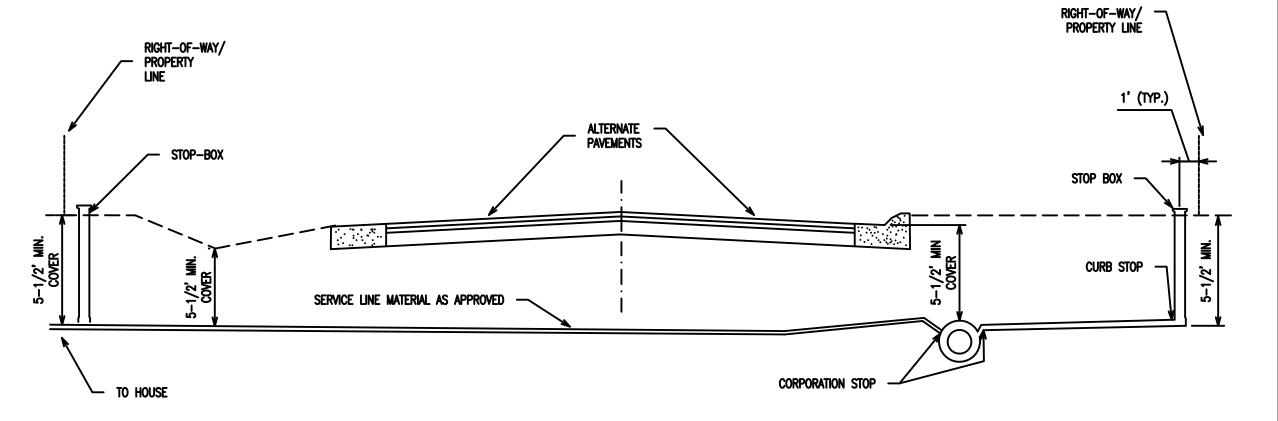


WATER MAIN CROSSING BRIDGE

SECTION B-B

NOTES:

- 1. CROSSING BRIDGE IS REQUIRED WHEN 18 INCHES OF CLEARANCE OR GREATER ABOVE (WITHIN A 1:1 INFLUENCE OF THE SPRING LINE) AN EXISTING UTILITY CANNOT BE MAINTAINED.
- 2. WATER MAIN PIPE SPANNING THE EXISTING UTILITY MUST BE CENTERED BETWEEN JOINTS OVER THE EXISTING UTILITY.
- 3. ALL WORK NECESSARY TO INSTALL THE WATER MAIN CROSSING BRIDGE AS SHOWN SHALL BE CONSIDERED INCLUDED IN THE COST OF THE PROJECT UNLESS OTHERWISE NOTED.
- 4. CROSSING FOR PROPOSED WATER MAIN 16—INCH AND LARGER SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.



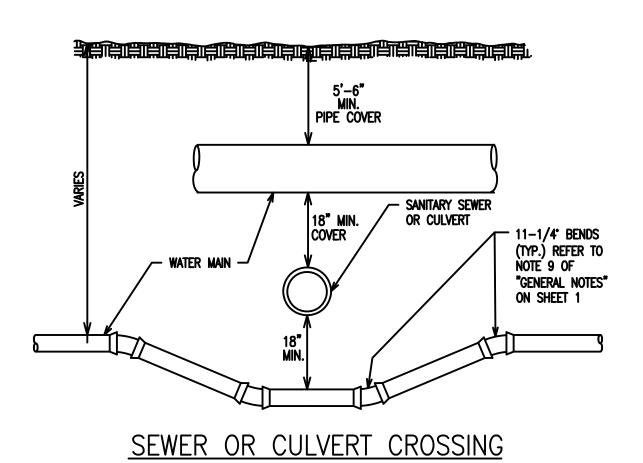
TYPICAL PUBLIC ROAD WATER SERVICE CONNECTION

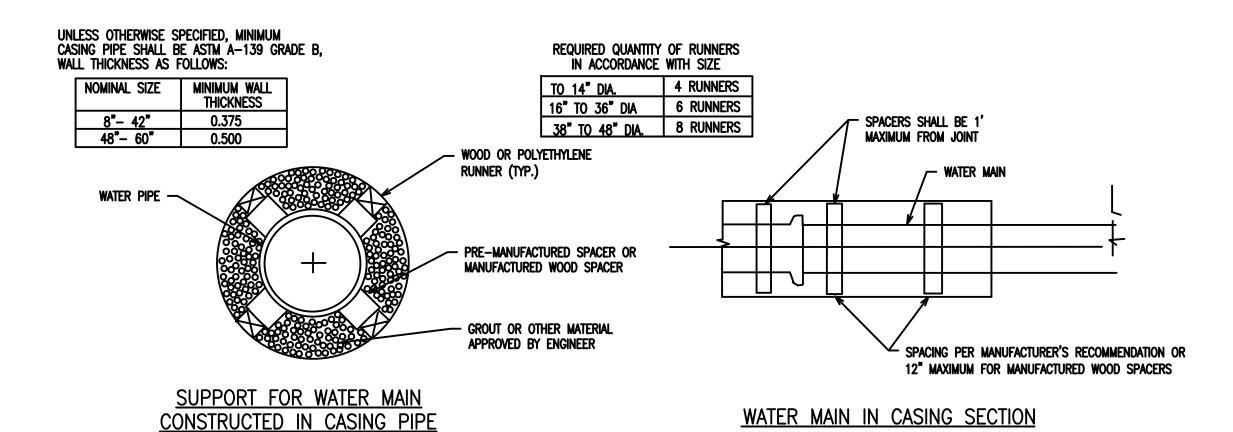
NOTES:

1. WATER SERVICE CURB STOP TO BE PLACED ONE (1) FOOT OFF THE PROPERTY LINE.

2. LATERAL LOCATION SHALL BE AS REQUESTED BY THE ABUTTING PROPERTY OWNER.

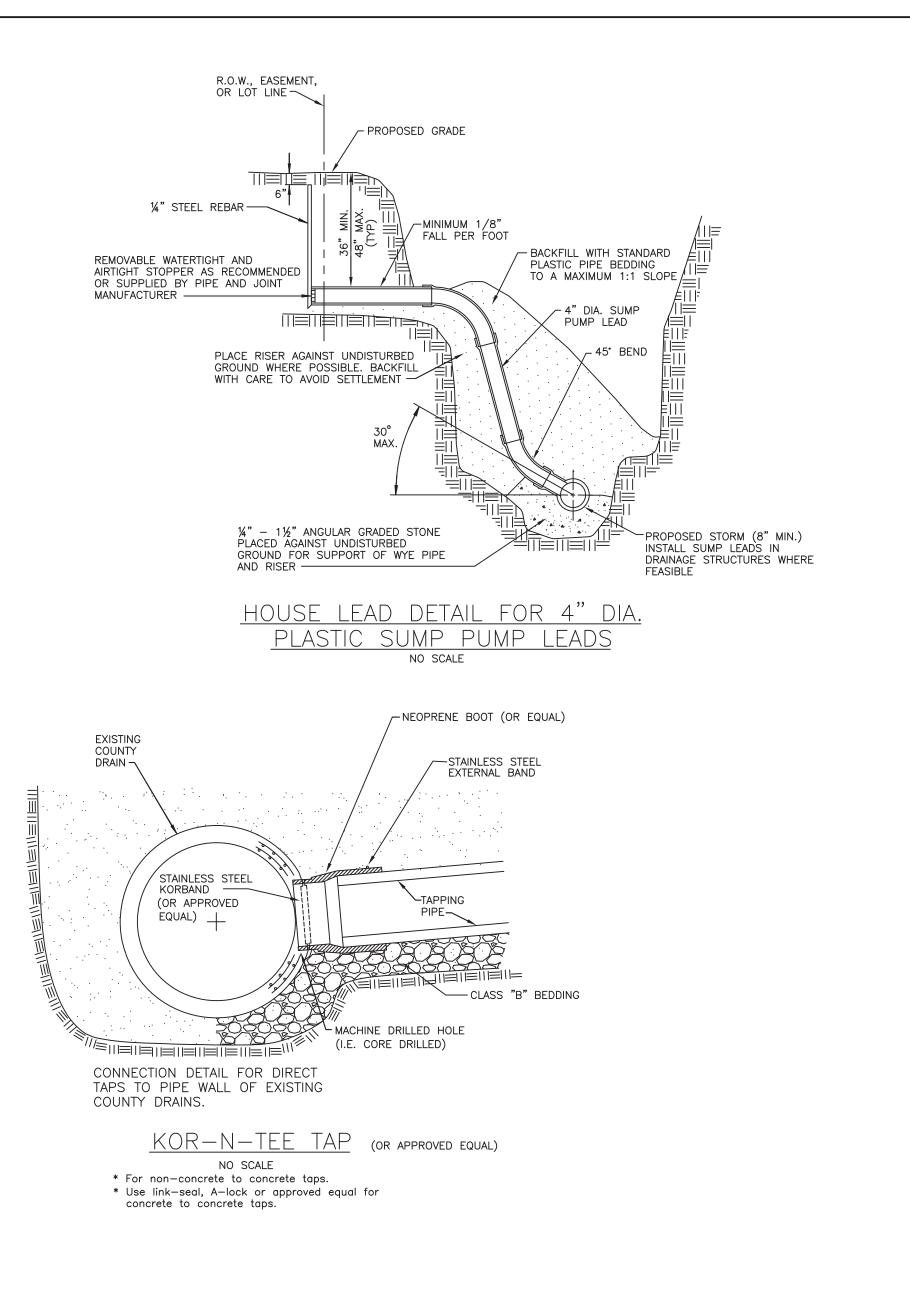
3. SERVICE TAP LOCATION TO BE AT CLOCK POSITION 10:30 OR 1:30 UNLESS





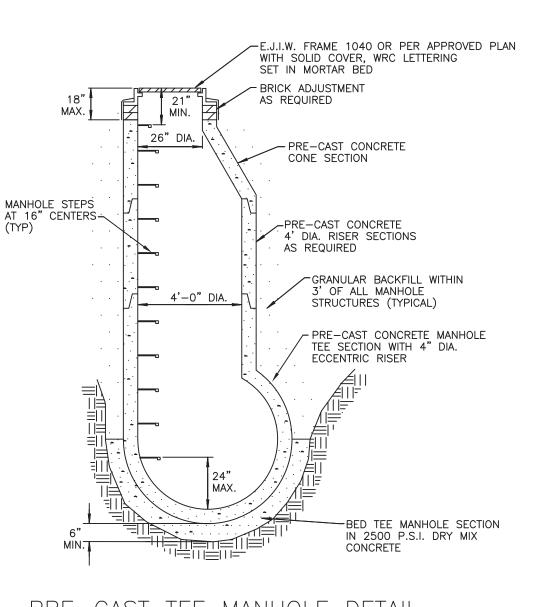
WATER MAIN IN CASING DETAILS



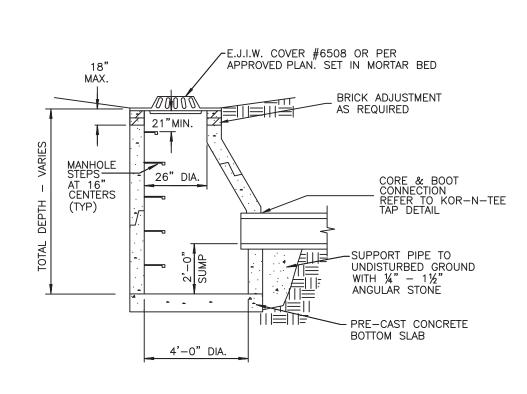


-MINIMUM 8" TO 15"

RIP-RAP ROCK FRAGMENT



PRE-CAST TEE MANHOLE DETAIL



PRE-CAST CATCH BASIN DETAIL

-MINIMUM 8" TO 15"

CRUSHED STONE

END HEADER OR

APPROVED EQUAL

-ANCHOR PIN

- 3000 P.S.I.

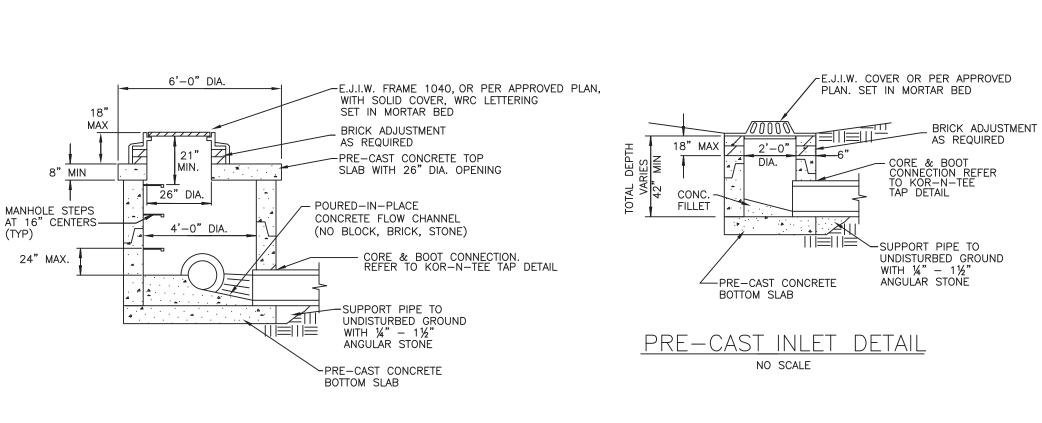
CONCRETE

RIP-RAP ROCK FRAGMENT

TOE IN FABRIC

PER MANUFACTURER'S

RECOMMENDATION



PRE-CAST LOW HEAD MANHOLE DETAIL NO SCALE (PRIOR APPROVAL ONLY)

-E.J.I.W. FRAME 1040 OR PER APPROVED PLAN

WITH SOLID COVER, WRC LETTERING

PRE-CAST CONCRETE

-PRE-CAST CONCRETE

4' DIA. RISER SECTIONS

CONCRETE FLOW CHANNEL (NO BLOCK, BRICK, STONE

& BOOT CONNECTION.
TO KOR-N-TEE TAP DETAIL

SUPPORT PIPE TO UNDISTURBED GROUND

WITH $\frac{1}{4}$ " - 1\(\frac{1}{2}\)' ANGULAR STONE

--PRE-CAST CONCRETE

BOTTOM SLAB

PRE-CAST MANHOLE

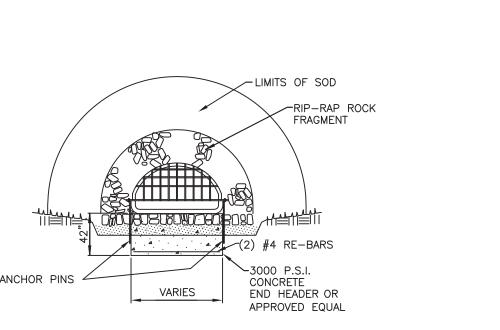
CONE SECTION

AS REQUIRED

AT 16" CENTERS-

SET IN MORTAR BED

- BRICK ADJUSTMENT



END SECTION AND BAR SCREEN DETAIL NO SCALE

PROFILE VIEW

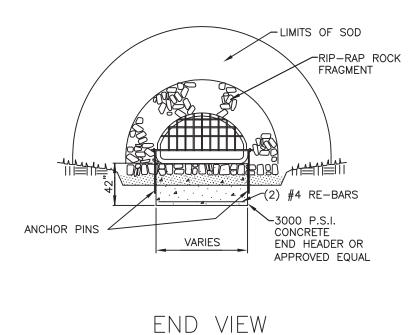
-4' SOD STAKED IN PLACE

(2) #4 RE-BARS-/

BAR SCREEN DETAILS PER MOOT ROAD

& BRIDGE STANDARD PLANS, STEEL GRATES FOR END SECTIONS. BARS ARE TO BE CUT OFF AT EDGE OF END SECTION

2' RIP-RAP



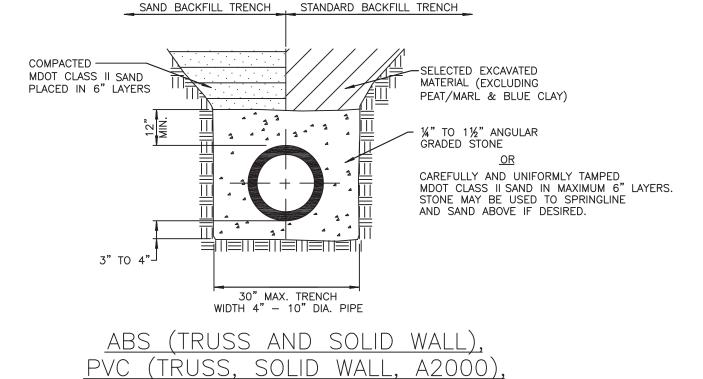
TOE IN FABRIC

PER MANUFACTURER'S

GEOTEXTILE FABRIC -

PIPE BEDDING-

RECOMMENDATION —

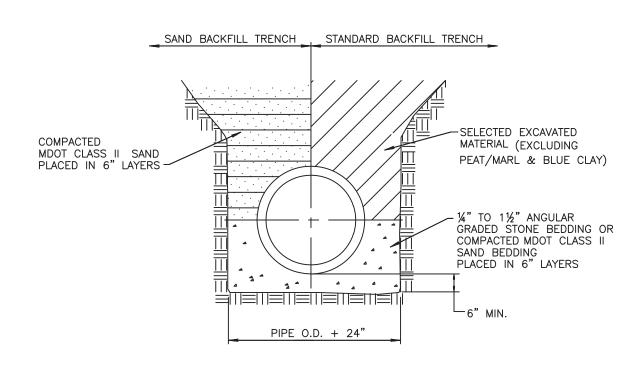


ADS N-12 WT PIPE BEDDING DETAIL

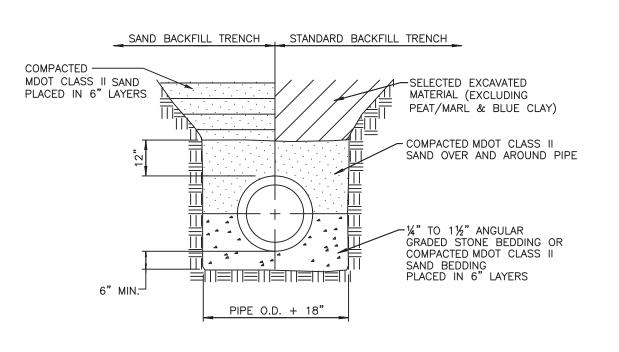
NO SCALE

STAKED IN PLACE SOD

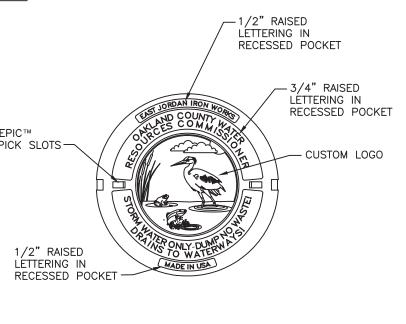
<u>PLAN VIEW</u>

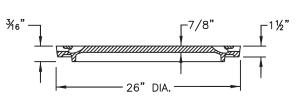


CLASS "B" BEDDING TRENCH DETAIL FOR 27" DIAMETER AND LARGER CONCRETE PIPE NO SCALE



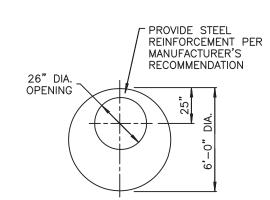
CLASS "B" BEDDING TRENCH DETAIL FOR 24" DIAMETER AND SMALLER CONCRETE PIPE NO SCALE





EAST JORDAN IRON WORKS OR APPROVED EQUAL HEAVY DUTY MATERIAL ASTM A48 CL.35B CATALOG NO. 1040A PATTERN NO. 1040A, PRODUCT NO. 104718 OAKCOSTD. 2" HIGH RAISED LETTERS, 1" WIDE RAISED LETTERS ALL IN RECESSED POCKET.

LETTERED MANHOLE COVER FOR WRC NO SCALE



PRECAST CONCRETE TOP SLAB DETAIL

GENERAL NOTES

-E.J.I.W. FRAME 1040 OR PER APPROVED PLAN

- ½"CEMENT PLASTER ON OUTSIDE OF STRUCTURE

SUPPORT PIPE TO UNDISTURBED GROUND

ANGULAR STONE

- PRE-CAST CONCRETE

BOTTOM SLAB

BLOCK MANHOLE (PRIOR APPROVAL ONLY)

POURED-IN-PLACE(NO BLOCK, BRICK, STONE)
CONCRETE FLOW CHANNEL

USE 12" MANHOLE BLOCK

FOR DEPTHS GREATER THAN

WITH SOLID COVER, WRC LETTERING SET IN MORTAR BED

- BRICK ADJUSTMENT

8" MANHOLE BLOCK

AS REQUIRED

26" DIA.

MANHOLE STEPS

STANDARD MANHOLE DETAILS

NO SCALE

AT 16" CENTERS-

- 1. Type and class of pipe shall be as specified on plans.
- 2. Class "B" bedding shall be used throughout, unless otherwise specified on the plan.
- 3. All end sections 18" and larger shall be provided with a bar screen unless otherwise approved.
- 4. Standard rip—rap shall be 8"—15" fragmented rock, heavy
- rip—rap shall be 16"—24" fragmented rock. (No Broken Concrete)
- 5. MANHOLE REQUIREMENTS:
- All new catch basins, inlets, and manholes are to be manufactured to ASTM C-478 specifications.
- All new catch basins, inlets, and manholes shall have WRC approved flexible, watertight seals where pipes pass through walls. Manholes shall be of precast sections with modified groove tongue and rubber gasket type joints. Pre cast manhole cone sections shall be WRC approved modified eccentric cone type.
- Taps through manhole joints or cone sections are prohibited unless otherwise approved.
- Manhole steps to be plastic coated steel meeting the requirements in ASTM D 2146, Type II, Grade 49108, MA. Industries P.S.I. Polypropylene, (or approved equal). Steps to be installed during manhole manufacture. Place at 16" centers 45° from centerline of sewer.
- Cone section with modified groove tongue joints and with stud inserts cast in place. Top to have flush surface.
- ASTM C-478 riser section with modified groove tongue joints.
- Res-seal, link-seal, press wedge II, or kor-n-seal boot (with stainless
- steel korband) flexible rubber manhole joints. (or approved equal). - The inside joints of manholes, catch basins, and pipe sizes over 42"
- and larger in diameter shall be pointed up with mortar upon completion of backfilling.
- 6. CONCRETE PIPE REQUIREMENTS:
- Concrete pipe to be per ASTM C76 standards
- It will be required to TV all pipe 30 days after installation — The contractor shall provide reinforced concrete pipe as
- specified on the plans. - All reinforced concrete pipe shall have modified grooved tongue joints
- with o-ring type rubber gasket, per A.S.T.M. specifications C443.
- The inside joints of manholes, catch basins, and pipe sizes over 42" and larger in diameter shall be pointed up with mortar upon completion of backfilling.
- 7. SUMP PUMP LEAD REQUIREMENTS:
- All sump pump leads connected to a County Drain pipe shall be
- pre-manufactured. - Sump pump leads connected to a manhole shall be cored and
- booted. Refer to Kor-N-Tee Tap Detail. - Sump pump mains and leads shall be
- ABS (truss and solid wall), PVC (truss, solid wall , A2000), ADS N-12 WT with premium joints.
- Ends of all 4" sump pump leads shall be temporarily capped and their location staked, witnessed and recorded.
- All sump pump leads to be taken to the property line,
- easement line or as indicated on the plan. - Sump pump mains must have a cleanout with a minimum inside
- diameter of 24" and be constructed at changes of alignment, ends of sump pump mains or as indicated on the plan.
- 8. RESTORATION REQUIREMENTS:
 - All disturbed area within the County Drain right—of—way shall be restored as follows:
- Under roads, sidewalks, driveways and parking areas, backfill material shall be placed loosely into trenches in six (6) inch layers with each layer compacted to not less than 95% of maximum dry density as determined by the ASTM D 1557 Compaction Standard (modified proctor compaction test). All other areas shall have each layer compacted to not less than
- 90% of maximum dry density. - Finish subgrade
- Place 3" thickness clean topsoil acceptable to the engineer to attain finished grade. Topsoil must not be contaminated and may not be a mixture of natural underlying soils, subbase materials, or other materials It must consist of natural loam, sandy loam, silty loam or clay loam humus—bearing soil adapted to the sustenance of plant life. Topsoil must be neither excessively acidic nor excessively alkaline. It must be
- of mineral origin, exclusive of any peat or muck. - Apply seed and fertilizer as follows:*

Location		Fertilizer <u>Requirement</u>
Slopes and Ditch, Banks, Etc.	M.D.O.T. "Roadside Mix" Turf Seed Mixture TGM (10% Kentucky Blue, 20% Perennial Rye, 30% Hard Fescue, 40% Creeping Red Fescue) applied at 220 lb/acr	M.D.O.T. Seeding and Sodding Fertilizers, Class A

Other Areas M.D.O.T. "Roadside Mix" M.D.O.T. Turf Seed Mixture THM Seeding and (30% Kentucky Blue, 20% Sodding Perennial Rye, 50% Creeping Fertilizers,

Red Fescue) applied at

220 lb/acre * Sod is required in maintained lawn areas. Refer to WRC General Specifications for additional requirements and information. - apply straw or marsh hay mulch in an air-dry condition to all seeded

Class A

- areas over the surface to a uniform thickness at 2 tons/acre. - mulch shall be anchored in place with biodegradable netting, not larger than $1\frac{1}{2}$ " by 2" nor smaller than $\frac{1}{2}$ " by $\frac{1}{2}$ ".
- The contractor shall be responsible to insure the growth of all seeded areas, and shall re-seed as necessary to accomplish this. 9. The Storm Drain Notes and Details Sheet shall be a supplement to WRC
- Standards and Specifications, which are available on the WRC website (www.oakgov.com/water).

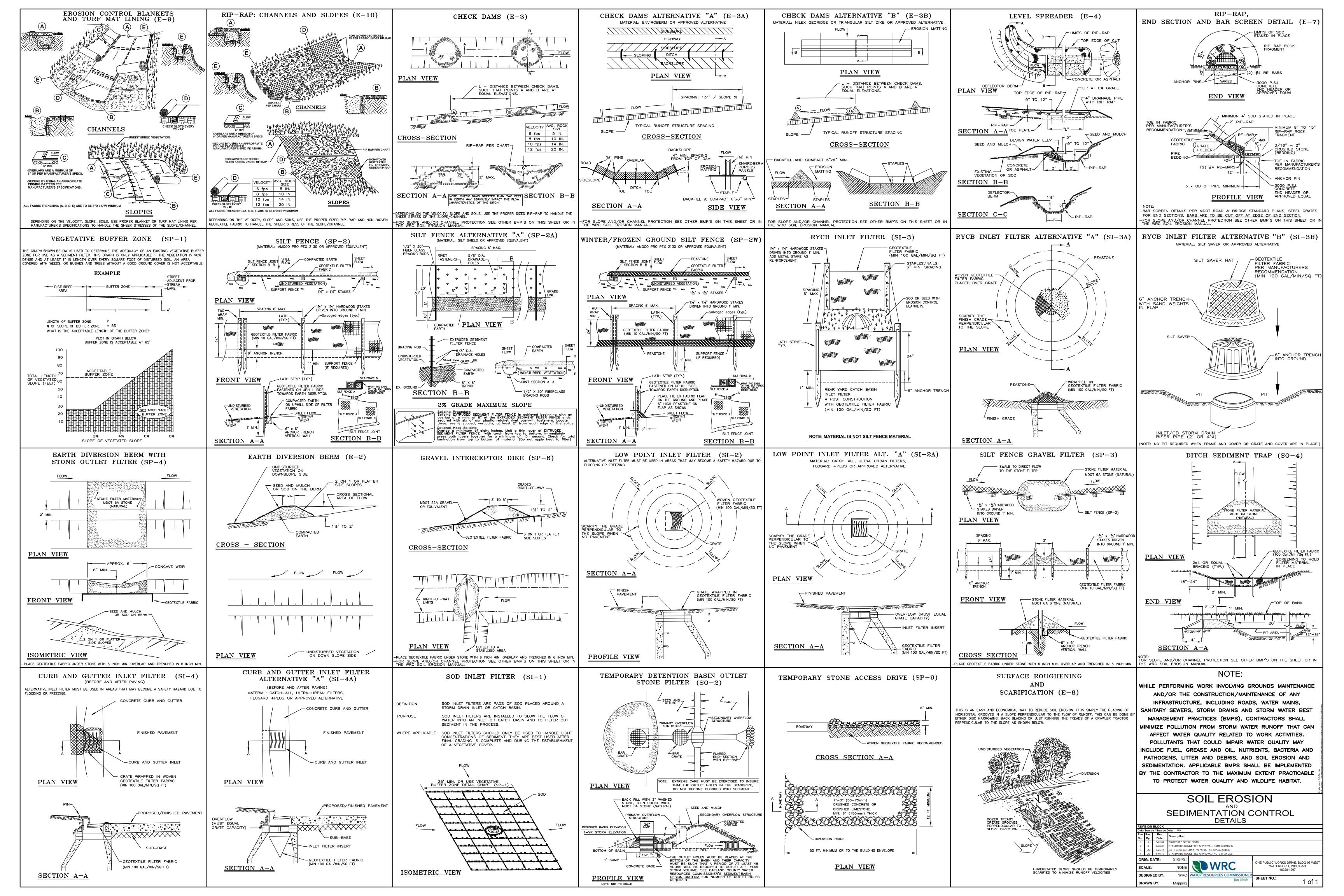
STORM DRAIN NOTES

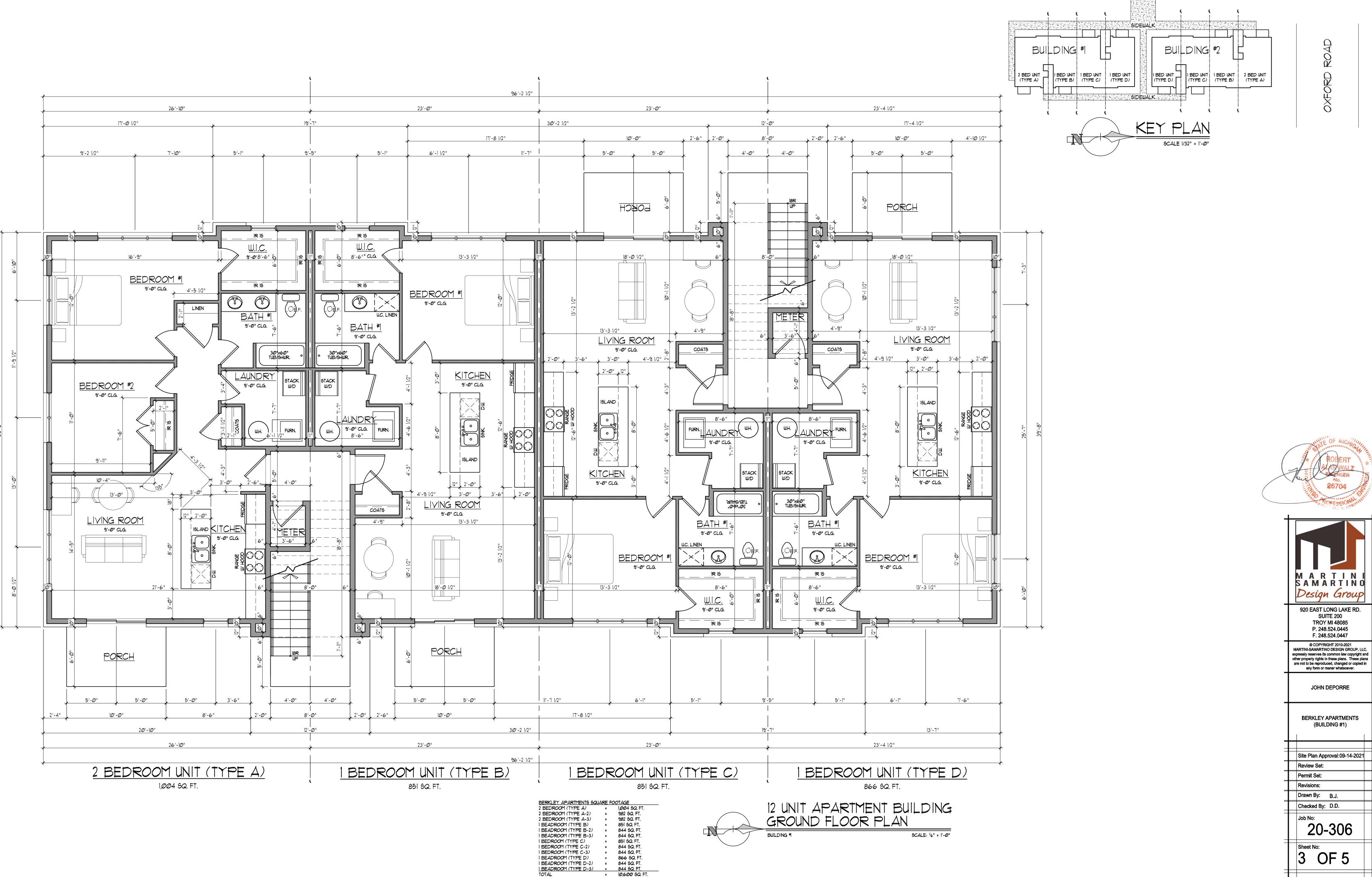
DETAILS ORIG. DATE: 05/05/97 ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD, MICHIGAN

DESIGNED BY:

DRAWN BY:

48328-1907 SHEET NO.: Jim Nash 1 of 1









JOHN DEPORRE

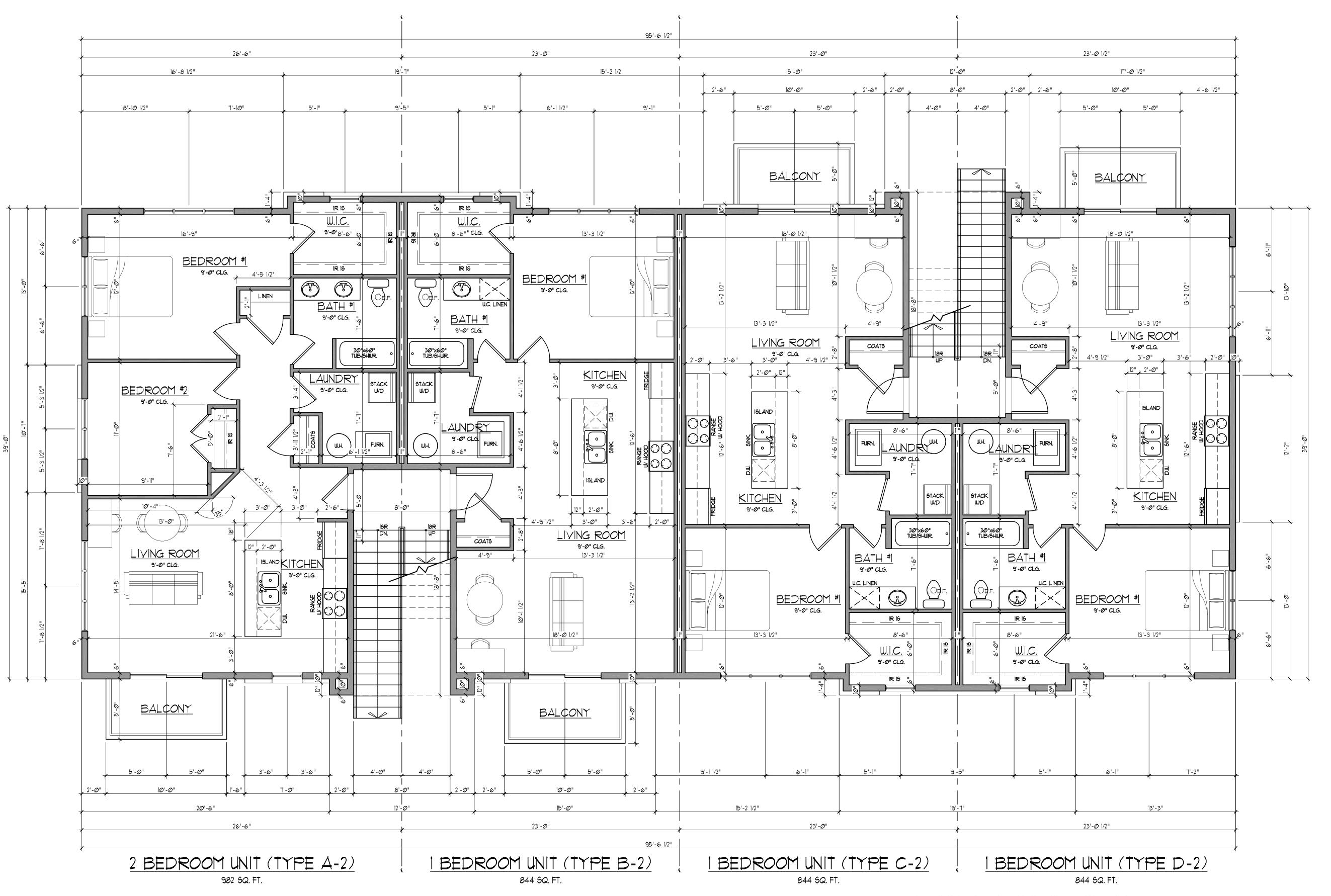
BERKLEY APARTMENTS

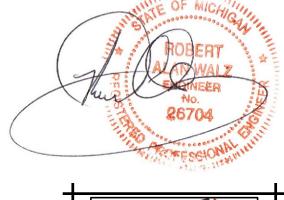
Site Plan Approval:09-14-2021

Drawn By: B.J. Checked By: D.D.

20-306

OF 5







JOHN DEPORRE

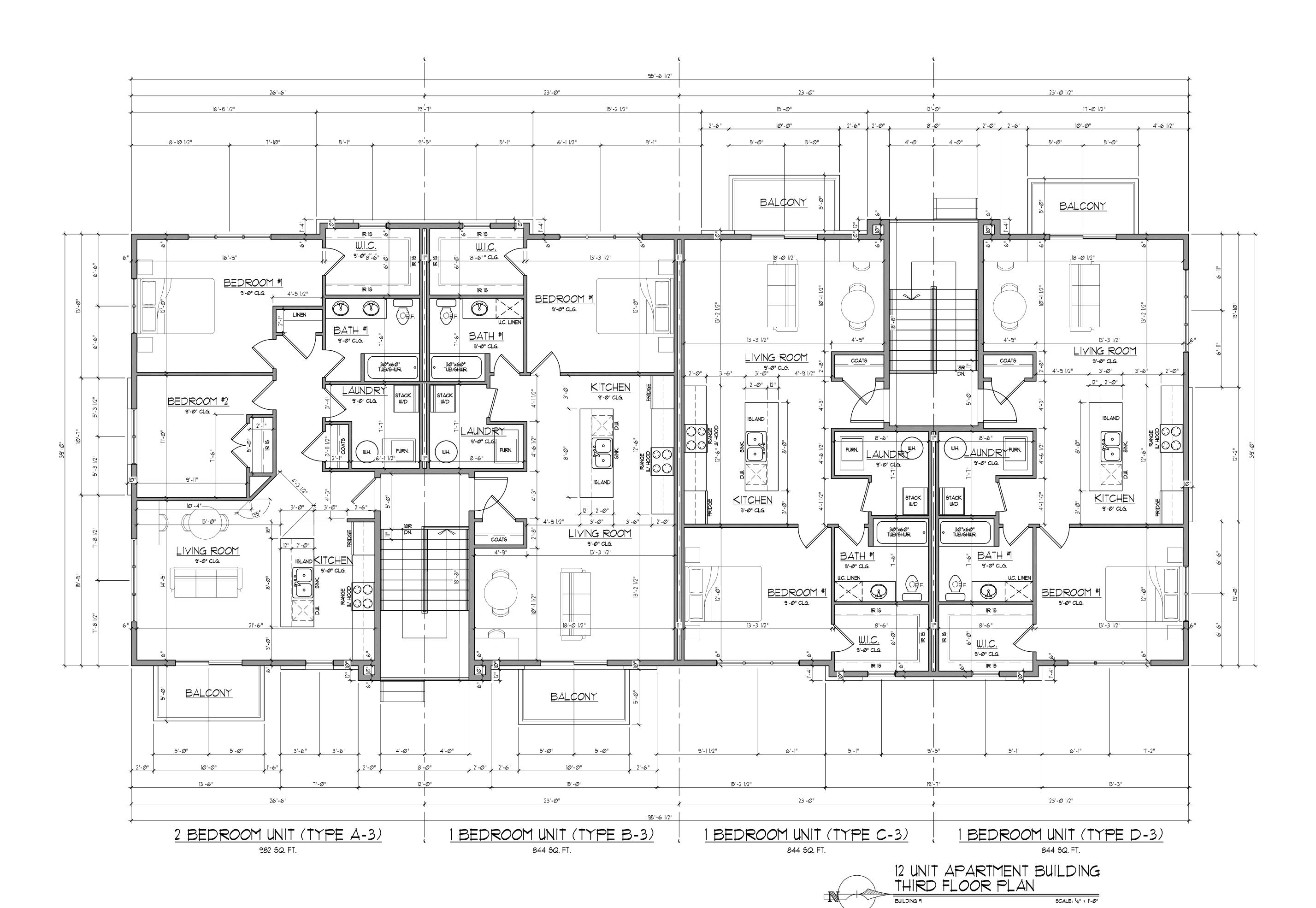
BERKLEY APARTMENTS (BUILDING #1)

(BUILDING #1)

Site Plan Approval:09-14-2021
Review Set:
Permit Set:
Revisions:
Drawn By: B.J.
Checked By: D.D.
Job No:
20-306

Sheet No:
4 OF 5







M A R T I N I S A M A R T I N O Design Group	
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JOHN DEPORRE

BERKLEY APARTMENTS (BUILDING #1)

Site Plan Approval:09-14-2021

Review Set:

Permit Set:

Revisions:

Drawn By:

B.J.

Checked By:

D.D.

20-306

Sheet No: OF 5

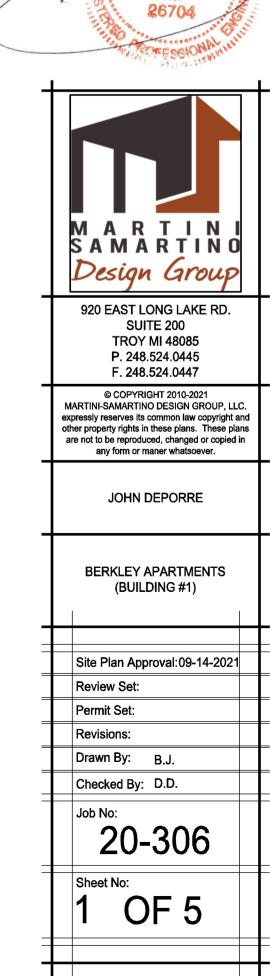




NORTH ELEVATION

SCALE: 1/4" = 1'-0"









SOUTH ELEVATION

SCALE: 14" = 1'-0"





2 OF 5

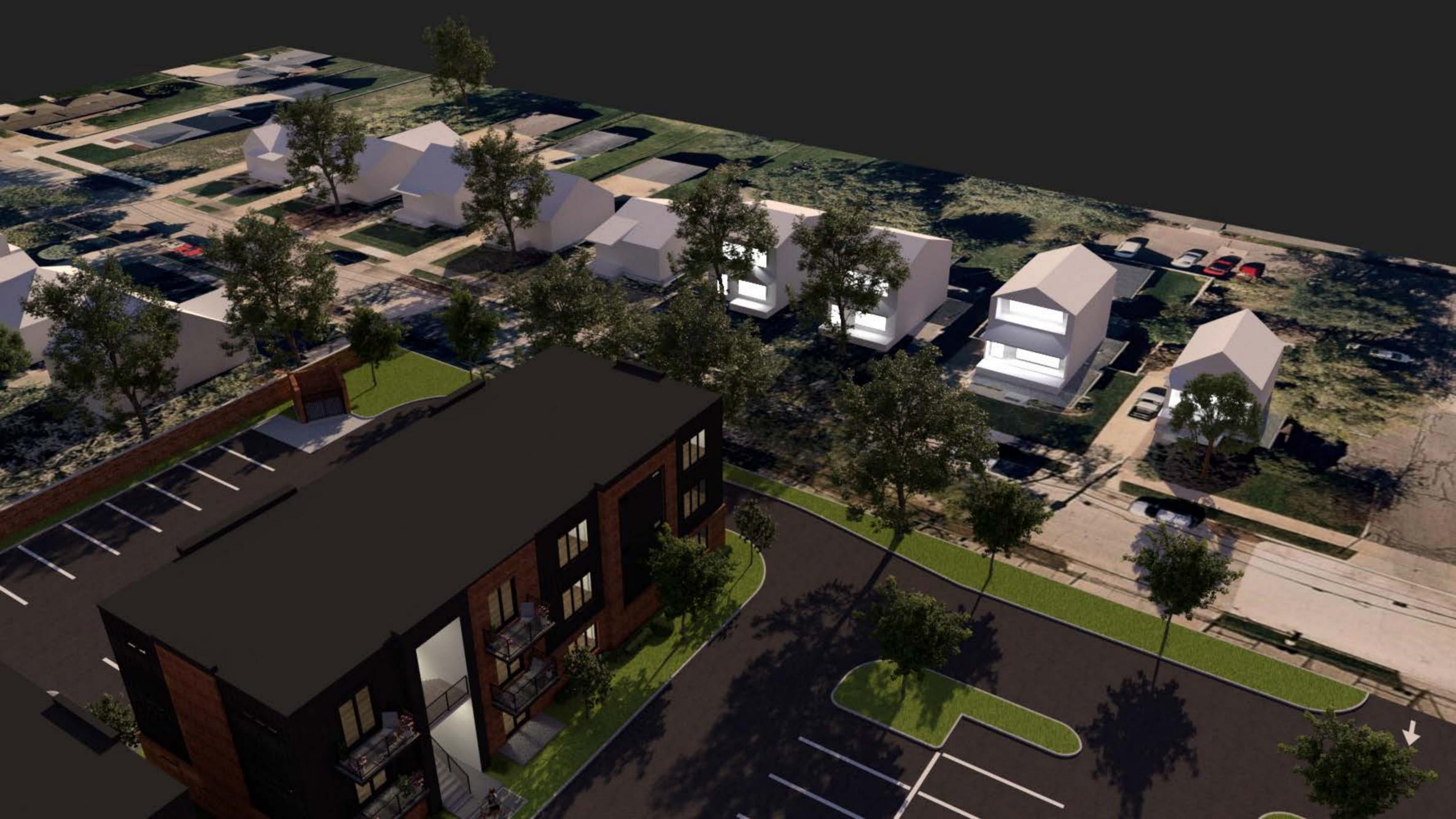






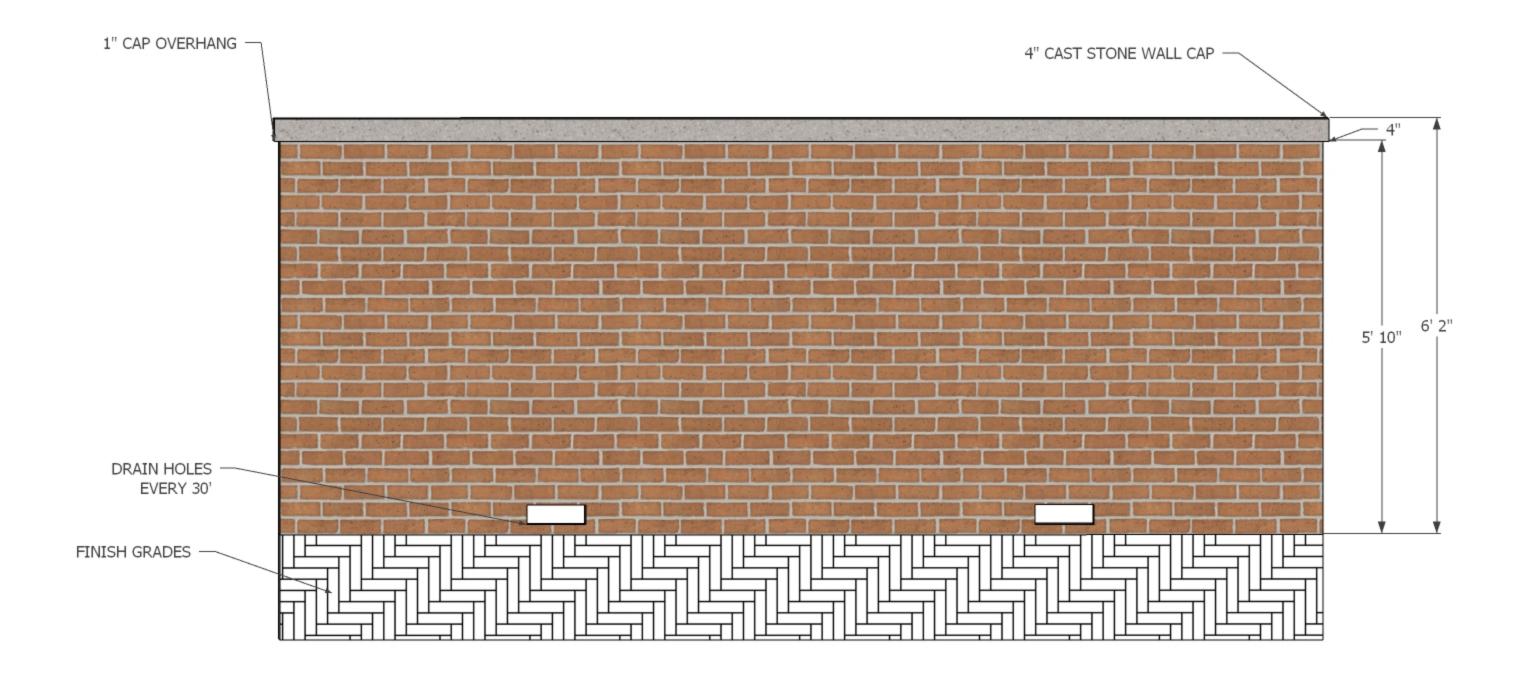












THE REGULAR MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:00 PM, APRIL 26, 2022 AT BERKLEY CITY HALL BY CHAIR KRISTEN KAPELANSKI.

The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, ondemand, on the city's YouTube channel: https://www.youtube.com/user/cityofberkley.

PRESENT: Kristen Kapelanski Martin Smith

Joe BartusLisa KempnerGreg PattersonJulie StearnMark RichardsonShiloh Dahlin

ABSENT: Daniel Petrosky (Excused)

ALSO, PRESENT: Megan Masson-Minock, Interim Community Development Director

Matthew Baumgarten, City Manager

Motion by Commissioner Patterson to excuse the absence of Commissioner Petrosky. Motion supported by Commissioner Stearn.

Voice Vote to approve the absence of Commissioner Petrosky.

AYES: 8 NAYS: 0

ABSENT: Petrosky

MOTION CARRIED

* * * * * * * *

APPROVAL OF AGENDA

Motion by Commissioner Kempner to approve the agenda supported by Commissioner Bartus.

Voice vote to approve the agenda

AYES: 8 NAYS: 0

ABSENT: Petrosky

MOTION CARRIED

* * * * * * * *

APPROVAL OF THE MINUTES

Motion by Commission Kempner to approve the minutes from the regular Planning Commission meeting on March 22, 2022 and supported by Commissioner Patterson.

Voice vote to approve the meeting minutes on March 22, 2022.

AYES: 8 NAYS: 0

ABSENT: Petrosky

MOTION CARRIED

* * * * * * * * *

COMMUNICATIONS

Community Development Department Report
Emails on Marihuana used in packet
Email from Chuck Tyrell on Lot 53 on Oxford Road
Notification from Huntington Woods with their Master Plan process

CITIZEN COMMENTS

NONE

* * * * * * * *

OLD BUSINESS

 <u>DDA Guidelines:</u> Review of ordinance language to implement the DDA guidelines, based on March 1, 2022 Work Session.

Interim Community Development Director Masson-Minock reviewed each item with context for the Planning Commission

The Planning Commission discussed various questions and suggestions. They felt comfortable with some of the items moving forward for a public hearing and other items needed to be discussed further at a future work session.

2. <u>Capital Improvements Plan:</u> Presentation and discussion of the proposed Berkley Capital Improvement Plan by City Manager Matt Baumgarten.

City Manager Matt Baumgarten discussed with the Planning Commission that the CIP requires approval from both the Planning Commission and the City Council to get adopted into the fiscal year budget.

City Manager Matt Baumgarten presented the draft Capital Improvement Plan with the changes from the last discussion and Commissioners asked questions related to the proposed CIP

Motion by Commissioner Richardson to approve the City of Berkley 2022-2029 Capital Improvement Plan. Motion supported by Commissioner Kempner.

AYES: Bartus, Dahlin, Kempner, Patterson, Stearn, Richardson, Smith, Kapelanski

NAYS: NONE ABSENT: Petrosky

MOTION CARRIED

* * * * * * * *

NEW BUSINESS

1. <u>PSP-04-21: Lot 53 on Oxford Road - The lvy:</u> Site Plan for Phase II of the approved project at 2219 Coolidge for the removal of the existing parking lot and construction of two multiple family buildings with a total of 24 dwelling units and a parking lot.

Interim Community Development Director Masson-Minock gave a presentation and overview of the Phase I and highlighted points of information to look at for Phase II and the four terms recommended as conditions for approval.

APPLICANT PRESENTATION

Brad Freeman John DePorre
Project Manager DePorre Building, LLC

Mr. Freeman, addressed the overall concerns that were recommended to them by staff in the staff review.

Mr. DePorre stated that he spoke with former Community Development Director Erin Schlutow about design and keeping it within the ordinances. Mr. DePorre also asked for clarification from the Carlisle Wortman letter.

Michael Gold Stonefield Engineering Civil Engineer

Mr. Gold explained the decision on parking spaces on this site. The applicants discussed green space and pavement with Chair Kapelanski.

PUBLIC COMMENT

Eric Wheeler, 2679 Oxford - Stated that his concern here is having a big impact on residents on that street with traffic and noise. He stated that people divert and travel on Kipling which tends to upset those residents. He suggested that the Commission wait and see what the finished development with the school is going to be. If the result is detrimental, it will result in unhappy residents.

Chair Kapelanski stated that this is a permitted use, and provided that the applicant meets all the requirements the Commission as a body has to approve them, taking in and working with them on tweaks and alterations to address resident and city concerns.

Chris Lattin, 2735 Oxford - Stated that his concern is the increased volume of traffic. This is all being funneled on one access point on Oxford, causing traffic in the neighborhood. He also stated the infrastructure is a dated combined sewage and storm system and will it be able to handle the additional volume getting added to it. Also, will there be a traffic study done on this site?

John Paradise, 2750 Oxford - Stated that he has concerns on the traffic standpoint and knowing where the playground area is with no stop sign. Cars are going through that area at higher rates of speed and can see people cutting through that area.

Pat Meslowsky, 1829 Kipling - Questioned if there is not an exit for those cars to leave on Harvard. She also stated that traffic goes fast on Kipling and if there was an exit on Harvard it would seem that traffic would turn left and go to the light.

Email correspondence from Chuck Tyrell - concerns were centered around how this proposal differs from previous proposals that were talked about for this site, parking was a concern, access by emergency vehicles, context with surrounding neighborhood, and storm and waste drainage.

Chair Kapelanski addressed the questions that were mentioned in public comment and offered a suggestion of an easement to the applicants.

There was discussion with the Commission and applicants on traffic, infrastructure on the storm water detention, access points, additional green space, and parking spaces.

The Commission discussed pedestrian circulation and how to make it less awkward with the sidewalk connections and parking spaces with the applicant.

The Commission discussed the dumpsters that are proposed for this site with the applicant, and suggested the moving of dumpsters or having one dumpster instead of two.

Interim Community Development Director Masson-Minock reiterated to the Commission that they have the authority to grant or deny the requested modification based on finding factors she stated.

The Commission stated to the applicants that they can lose five parking spaces and add bike racks from the current plan and specific areas to add greenery.

There was more discussion amongst the Commission and applicants about designs of the building, open stairwells, sidewalks, and the storm water detention system.

Motion to postpone PSP-04-21 by Commissioner Kempner supported by Commissioner Richardson

AYES: Bartus, Dahlin, Kempner, Patterson, Stearn, Richardson, Smith, Kapelanski

NAYS: NONE ABSENT: Petrosky

* * * * * * * *

 PSP-05-22: 2576 Coolidge Highway - BP America: Site Plan for a new canopy, parking reconfiguration, pump island reconfiguration, new landscaping and building facade improvements of the existing gasoline station.

Interim Community Development Director Masson-Minock provided an overview for the application and details for a non-conforming use. The applicant is not increasing the intensity of the use or increasing any dimensional non-conformity. If the Planning Commission grants site plan approval there are seven items in the staff review that would need to be included as conditions.

APPLICANT PRESENTATION

Jason Yaldoo Catie Schmitz
Owner of the BP gas station JSN Architecture

Mr. Yaldoo stated that the goal of this is to make the gas station a nice place for the community. With the development of the plaza in front of the gas station, this upgrade hopes to bring back business.

Ms. Schmitz stated that there is agreement on everything in the review letter except for the extending or adding of a stone base to the canopies. Ms. Schmitz stated that it would be a waste of money the way the poles are designed and provided an overview of how the canopies are designed for the space.

PUBLIC COMMENT

NONE

The Commissioners provided feedback on the base of the canopy, agreeing that adding masonry on the bottom should not be required.

The Commissioners asked specific questions pertaining to the placement of pumps, canopies, and drives of this site. The Commissioners also discussed with the applicant about the separation between sidewalk and road, for safety concerns of pedestrians and cars, suggesting an easement or a mountable curb. There was also discussion on other landscaping options for this site and retaining the landscape island along Coolidge.

Motion by Commissioner Patterson to approve PSP-05-22 with support from Commissioner Kempner with conditions that:

- 1. Items 1-7 noted in the staff letter dated April 21, 2022
- 2. Retain the landscape island on Coolidge
- 3. Define sidewalks on Catalpa with clear demarcation, such as a mountable curb with distinguishing concrete or a rock garden with perennials
- 4. Provide planters as can be maintained by the gas station staff
- 5. Dimensions of the canopy are specified on revised plans
- 6. Decorative block matching the building on the outside of the dumpster enclosure

AYES: Bartus, Dahlin, Kempner, Patterson, Stearn, Richardson, Smith, Kapelanski

NAYS: NONE ABSENT: Petrosky

* * * * * * * * *

LIAISON REPORT

Commissioner Patterson stated that Parks and Recreation is hosting a fundraiser for Jaycee park, for an all-inclusive park. If the city raises 50,000 the State of Michigan will match that. Commissioner Patterson thanked the businesses that donated to the cause already.

* * * * * * * * *

COMMISSIONER COMMENTS

Commissioner Richardson thanked Carlisle Wortman for the proposed ordinance amendment language and was impressed with the body of work it presented.

Commissioner Smith stated that he will be resigning after the end of this meeting. After 22 years, he will be resigning from the board. The Commissioners gave their appreciation to Commissioner Smith and all the work he did on the board for 22 years.

* * * * * * * * *

STAFF COMMENTS

Interim Community Development Director Masson-Minock discussed with Commissioners and asked for their input on the next two meetings, what the agenda would look like, and changing a work session into a meeting with the amount of agenda items that were submitted on Tuesday, April 26th.

* * * * * * * * *

ADJOURNMENT

Motion to adjourn by Commissioner Kempner supported by Commissioner Stearn.

Voice vote for adjournment

AYES: 8 NAYS: 0

ABSENT: Petrosky

With no further business, the meeting was adjourned at 10:45 p.m.



MEMORANDUM

To: Planning Commission

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: PSP-04-21: Lot 53, Oxford Road – The Ivy

Site Plan Approval

Plan Date: May 16, 2022

Date: May 31, 2022

At the Planning Commission's April 26, 2022 meeting, the Planning Commission postponed this case with the following requests in italics font to be fulfilled in a resubmittal (regular font indicates how the request was addressed in revised plans):

- Access easement for vehicles to Harvard to allow access to the south.
 Done. Access easement to the south shown. All easements will need to be approved by the City Attorney and recorded with Oakland County.
- 2. Shorten the parking spaces to 18 feet where allowed by the Zoning Ordinance and add green space on the site.
 - Done. Along the western property line the applicant has added a screen of arborvitae in front of the masonry wall with the additional space. They have also increased the number of plantings around the buildings.
- 3. Planning Commission committed to a 10 percent parking reduction, asking the applicant to use the decrease of 5 parking spaces to increase the green space on the site.

 Done. Forty-one (41) parking spaces are proposed on the site. The Planning Commission will need to approve the waiver as part of any motion to approve.
- 4. Improve the pedestrian circulation with a sidewalk around the buildings and better connections to the sidewalks adjacent to the site, including those surrounding the church to the south. To accommodate the sidewalk around the buildings, the buildings may be reoriented to mirror one another so that patios are on the same side of both buildings. Striping or concrete variation may be used in parking lot to designate areas for pedestrian routes.
 - Done. The buildings have been reoriented to mirror one another and a direct sidewalk/pedestrian connection from the sidewalk on Oxford Road to the site. No striping or concrete variations are proposed in the parking lot to designate pedestrian routes.

- 5. Consolidate the proposed dumpsters to a single dumpster in the middle of the site. Done. A single dumpster is proposed near the western property line.
- 6. Plant a tree in the parking lot island in the southeast corner where the dumpster is to be removed from.

Done. A willow oak is proposed to be planted in that location.

- Native species are encouraged in the landscaping.
 Done. The following are native species according to <u>Michigan Native Plants Database</u>: Emerald Green Arborvitae, Bush Cinquefoil, Shenandoah Switch Grass, Pennsylvania Sedge, Butterfly Milkweed, and Lanceleaf Tickseed.
- 8. Sample board to be brought to next Planning Commission review.

 A sample board was not submitted but is expected for the Planning Commission meeting.

Attached are the following reviews for the site plan submitted:

Planning Review from Carlisle Wortman Associates (CWA) dated May 26, 2022

CWA recommended approval of the site plan with conditions. The review deferred to the Fire Department, Department of Public Works and the City Engineer (HRC) on whether access and circulation were sufficient.

The review noted that the Planning Commission should:

Review the landscaping.

CWA recommended the following conditions of site plan approval:

- Review of access and circulation by City Fire Marshall and City Engineer, HRC;
- Amended Landscape Plan, if necessary, based on Planning Commission review.

Review from City of Berkley Department of Public Works (DPW) dated May 27, 2022

DPW noted that the drawings are in substantial compliance with their previous comments. They asked that the following items be provided to the Community Development Department prior to a preconstruction meeting:

- 1. A plan approval letter from the City's engineering consultant, Hubbell, Roth & dark (HRC).
- 2. An EGLE PA 399 water main permit is required for the new public main.

- 3. City of Berkley Material Specifications to be attached to sheet C-7.
- 4. Any existing private sanitary leads within the Oxford Road frontage of Lot 53 must be identified on the demolition plan (sheet C-3) with a proper disconnection made within 24" of the public sewer. This work will impact the roadway and traffic control plans.
- 5. A traffic control plan shall be added to the plan set to account for the proposed work on both Coolidge and on Oxford.
- 6. A construction schedule shall be provided with dates and durations of all major work items, including final restoration.
- 7. Bonding (Performance, Labor & Material and Maintenance & Guarantee) and escrow requirements will be outlined by HRC. All of the bonds and the construction escrow must be posted with the City.
- 8. Electronic as-built drawings will be required following the utility installations.

Review from Hubbell, Roth & Clark (HRC) dated April 11, 2022

On May 31, 2022, we received an e-mail from HRC stating that, as per their previous review letter dated April 11, 2022, they recommended approval of the plans subject to any applicable permits and shop drawings being submitted to the City prior to construction. The Planning Commission should note the following requested plan revisions and permits:

- 1. A soil erosion permit will likely be required from the Oakland County Water Resources Commissioner (OCWRC).
- 2. The City may require additional sections of existing curb and gutter and sidewalks along Oxford Road to be removed and replaced as part of the proposed project in order to address any current deteriorated conditions and will defer comment to the City.
- Detail sheets for the proposed storm sewers must be provided with structures, covers, pipe
 requirements/cross sections and connection/tap details in accordance with City and County
 Standards. In addition, shop drawings for the said appurtenances will be required to be reviewed
 by the City and HRC.

Review from City of Berkley Fire Inspector dated December 22, 2021

Fire Inspector Pete Kelly approved the plans with the following conditions:

- 1. Smoke detectors are required in each unit, per IFC #907.
- 2. Fire extinguishers with a minimum rating of 1A/10B/C required in each unit per IFC 906.1.

He stamped the plans dated May 16, 2022 as approved with a reference to the above review letter.

Summary and Recommendation

The Planning Commission needs to make the following determinations:

- 1. <u>Standards for Site Plan Approval Landscaping:</u> The Planning Commission must determine whether the landscaping, as presented, meets the standards for Site Plan approval, per Section 138-678.
- 2. <u>Parking Requirement Modification:</u> Section 138-226 allows the Planning Commission to grant a parking modification up to ten percent of the total parking requirement for a particular use based on consideration of the following:
 - a. Current or anticipated levels of employees and/or patrons;
 - b. Peak period usage versus normal usage;
 - c. Banked or reserved parking for future use;
 - d. Opportunities to provide or accommodate green space, additional landscaping and to minimize impervious areas on the site;
 - e. Provision of valet parking or other means of accommodating parking off-site that will not overburden public parking and is a reasonable alternative to on-site parking. Further, the applicant must demonstrate that such valet parking will be available for the days and times needed and will not conflict with other businesses that share the same parking facility or valet service;
 - f. Neighborhood or other surrounding characteristics justify the requested deviation;
 - g. Strict application of the ordinance would unreasonably hinder development of the site for a permitted use, and an alternate parking requirement would be appropriate;
 - h. Modification will not negatively impact public parking in the city;
 - i. Proximity of the site to local or regional transit, including but not limited to SMART bus stops, bicycle sharing stations, lite rail, etc.

The Planning Commission had noted during the April 26, 2022 meeting that they were willing to grant the waiver based on the opportunity to provide green space and additional landscaping.

If the Planning Commission chooses to grant site plan approval, we recommend that the following items be stated as findings or conditions of approval:

1. The Planning Commission finds that the landscaping, as presented in the site plan dated as revised May 16, 2022, meet the standards for Site Plan approval, per Section 138-678.

- 2. The Planning Commission finds that the green space and additional landscaping, as presented in the site plan dated as revised May 16, 2022, warrants a reduction of required parking spaces of of 10% or 5 parking spaces, for a total of forty-one (41) required parking spaces. The modification is contingent on the continuing multiple-family use of the property as approved. Any change in the use, scope or intensity of the property use will invoke reinstatement and application of the standard parking requirements.
- 3. A pre-construction meeting is required. Before scheduling of that meeting, all items listed the City's DPW review letter, dated May 27, 2022, must be received by the City.
- 4. Approval from the City's Engineer that all permits, required shop drawings or details required, as noted in their review letter dated April 11, 2022, have been met.
- 5. Smoke detectors are required in each unit, per IFC #907 and fire extinguishers with a minimum rating of 1A/10B/C required in each unit per IFC 906.1, per the review letter from the City's Fire Inspector, dated December 22, 2021.
- 6. All easements must be approved by the City Attorney and recorded with Oakland County.



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: January 11, 2022

March 29, 2022

May 26, 2022

Site Plan Review For City of Berkley, Michigan

Applicant: 2219 Coolidge LLC

Project Name: The lvy Apartments

Plan Date: May 16, 2022

Location: Oxford Road, west of Coolidge Highway (25-18-431-030)

Zoning: RM, Multiple Family Residential

Action Requested: Site Plan Approval

SITE DESCRIPTION

The subject site is located on Oxford Road, just west of the converted LaSalette school building. The applicant proposes to construct two (2), 3-story apartments buildings as an infill project on the former LaSalette school building parking lot. Each building is twelve (12) units, totaling twenty-four (24) apartments units. The site will be accessed via a shared drive on Oxford Road and via a cross-access with the LaSalette Church parking lot to the south.

The site is approximately 0.9 acres in area. The site is zoned RM, Multiple Family Residential and the proposed apartments are a permitted use.

Site Location:



Proposed Uses of Subject Parcel:

Twenty-four (24) apartment units broken into two (2) buildings of twelve (12) units each.

Current Use of Subject Property:

The subject property is currently a vacant parking lot.

Current Zoning:

The property is currently zoned RM, Multiple Family Residential

Surrounding Property Details:

Direction	Zoning	Use
North	RM, Multiple Family Residential	Single Family Residential
South	RM, Multiple Family Residential	Church / Parking Lot
East	RM, Multiple Family Residential (conditional rezoning)	Parking / Converted LaSalette School Building
West	R1-D, Single Family Residential	Single Family Residential

Carlisle Wortman Associates, Inc.

NATURAL FEATURES

The site has been graded for a parking lot. No natural features exist.

Items to be addressed: None

BUILDING ARRANGEMENT AND SITE DESIGN

The site will be accessed via a shared drive on Oxford Road and via a cross-access with the LaSalette Church parking lot to the south. The buildings are located along the eastern property line, with parking between the buildings and the adjacent single-family residential to the west.

Items to be addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Sec. 138-526. - Schedule of regulations of the Zoning Ordinance establishes the dimensional requirements for the RM, Multiple Family Residential District.

	Required	Provided	Compliance
Front (Oxford Road)	The front yard setback shall be 25 feet or equal to the average setback of the six adjacent buildings on the same block, whichever is greater.	25-feet	Complies
Side (east and west)	Every lot on which a multiple dwelling is erected shall be provided with a side yard on each side of such lot. 10-foot minimum setback plus each side yard shall be increased by one-half foot for each ten feet or part thereof by which the length of the multiple dwelling exceeds 50 feet in overall dimension along the adjoining lot line.	26.3 feet (one) and 107.2 feet (total)	Complies
Rear (South)	35-foot minimum setback	36.1 feet	Complies
Building Height 30-feet maximum height		34-feet (includes 4-foot parapet)	Complies
Lot Coverage	Lot Coverage 35%		Complies

	Required	Provided	Compliance
Minimum Size of Lot Per Unit	No multiple dwelling shall be erected on a lot or parcel of land that has an area of less than 10,000 square feet. The total number of rooms (other than kitchen and sanitary facilities) provided shall not be more than the area of the parcel in square feet divided by 500. 39,232 / 500 = 78 rooms	31 rooms	Complies

The definition of building height in the Zoning Ordinance excludes parapet walls not exceeding four (4) feet in height from the measurement of the height of a building. Nevertheless, of particular importance is to ensure that the proposed height does not negatively impact adjacent properties. The building should be of a height that provide an appropriate transition between the three (3) story LaSalette converted school building and the one and two-story adjacent single-family homes

The applicant has provided a 3-D model to show building in context with the surrounding properties.

Items to be addressed: None

PARKING

At their April 26, 2022 meeting, the Planning Commission indicated that they would consider a ten percent (10%) parking modification. Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Residential (General): 2 spaces per unit	24 units = 48 spaces	
Parking Credit: Bicycle parking may be used to reduce the number of required off-street parking spaces. Existing	- 2 spaces	
developments may elect to reduce the required off-street parking by two car parking spaces by providing four bicycle parking spaces (i.e., by installing two inverted U, loop style, or other approved style of bicycle rack).	by providing 4 bicycle parking spaces	41 spaces
Parking Modification: Section 138-226 allows the Planning Commission to grant a parking modification up to ten	- 5 spaces	
percent of the total parking requirement for a particular use	48 spaces x .1 = 5	
Required Parking after credit & modification	41 spaces	

Carlisle Wortman Associates, Inc.

	Required	Provided
Barrier Free	2	2
Bicycle Parking	0	4
Loading	0	0
Total	41 spaces	41 spaces in surface lots

All parking is in the surface parking lot.

Items to be Addressed: None

SITE ACCESS AND CIRCULATION

The site will be accessed via a shared drive on Oxford Road and via a cross-access with the LaSalette Church parking lot to the south. Access and circulation shall be reviewed by the City Fire Marshall and City Engineer, HRC.

The applicant is providing a direct sidewalk/pedestrian connection from the sidewalk on Oxford Road to the site, which connects to the sidewalk around the building.

Items to be addressed: Review of access and circulation by City Fire Marshall and City Engineer, HRC

LANDSCAPING AND SCREENING

A landscaping plan has been provided on sheet C-9. The applicant proposes a mix of deciduous and evergreen trees, and shrubs. As set forth in section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require trees to be planted on or near the site consistent with the elements of the adopted city master plan.

Masonry Screening:

The applicant proposes a 6-foot-tall masonry screen wall along the western property line to screen the site from the adjacent single-family residential. The wall is architecturally consistent with building.

Trash Enclosure:

The applicant is proposing one (1) trash enclosure. The location of the trash enclosure is sufficient.

The applicant proposes to screen the dumpster with a six-foot tall enclosure and landscaping.

Items to be Addressed: Planning Commission to review the landscape plan

PHOTOMETRICS

A photometric plan has been provided. A total of four (4) pole mounted parking lot lights and eight (8) building light fixtures are proposed. The pole-mounted fixtures are noted as having a height of 16 feet (where the maximum height is 20 feet). Because the pole lights are adjacent to single family residential, as requested the applicant has added a shield to screening lights from residential property. The photometrics meet Zoning Ordinance requirements.

Items to be Addressed: None

EXTERIOR APPLIANCES

Applicant notes that mechanicals will be located on roof and screened via parapet.

Items to be Addressed: None

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations have been provided. Materials include brick, board and batten siding, and hardie reveal panel system. The applicant has provided a color rendering of the building, and a 3-D model of the building and site to assess compatibility and the appropriate transition between the single-family to the north and west and the LaSalette buildings to the south and east.

Items to be Addressed: None

DESIGN STANDARDS AND SITE PLAN REVIEW STANDARDS

As set forth in Sec. 138-679. – Standards, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

- 1. The site meets the requirements of this Code.
- 2. The proposed development does not create adverse effects on public utilities, roads, or sidewalks.
- 3. Pedestrian and vehicular areas are designed for safety, convenience, and compliment adjacent site design.
- 4. Site design, architecture, signs, orientation, and materials are consistent with the city's master plan objectives and the design of the neighboring sites and buildings.
- 5. Landscaping, lighting, dumpster enclosures, and other site amenities are provided where appropriate and in a complementary fashion.
- 6. Site engineering has been provided to ensure that existing utilities will not be adversely affected.

Carlisle Wortman Associates, Inc.

We find that the required standards have been met.

Items to be Addressed: None.

SUMMARY

The proposed development and the proposed use meet the requirements of the RM zoning district and comply with the required site plan standards.

We recommend Planning Commission approval with the following conditions:

- 1. Review of access and circulation by City Fire Marshall and City Engineer, HRC;
- 2. Amended Landscape Plan, if necessary, based on Planning Commission review.

Sincerely,

CARLISLE/WORTMAN ASSOC., INC. Benjamin R. Carlisle, LEED AP, AICP

yor. Cali



Transmittal Memo

To:

Megan Masson-Minock, Interim Community Development Director (via email)

Cc:

Kim Anderson, Community Development Department (via email)

Ric Chalmers Asst. DPW Director (via email)

Eddie Zmich, HRC (via email)

From

Shawn Young, DPW Director

Date:

May 27th, 2022

Subject:

The Ivy Apartments Lot 53 Oxford Road Plan Review #3

We have reviewed the revised site plans provided by the Community Development Department on May 19th and prepared by Stonefield Engineering & Design.

The drawings are in substantial compliance with the previous DPW comments.

The following items shall be provided to the City prior to scheduling a preconstruction meeting:

- 1. A plan approval letter from the City's engineering consultant, Hubbell, Roth & Clark (HRC).
- 2. An EGLE PA 399 water main permit is required for the new public main. HRC will provide guidance on this multi-jurisdictional review process.
- 3. City of Berkley Material Specifications to be attached to sheet C-7.
- 4. Any existing private sanitary leads within the Oxford Road frontage of Lot 53 must be identified on the demolition plan (sheet C-3) with a proper disconnection made within 24" of the public sewer. This work will impact the roadway and traffic control plans. Pipe graph reports with tap locations were previously provided to the applicant.
- 5. A traffic control plan shall be added to the plan set to account for the proposed work on both Coolidge and on Oxford.
- 6. A construction schedule shall be provided with dates and durations of all major work items, including final restoration.

7.	Bonding (Performance, Labor & Material and Maintenance & Guarantee) and escrow requirements
	will be outlined by HRC. All of the bonds and the construction escrow must be posted with the
	City.

8. Please note electronic as-built drawings will be required following the utility installations.

Please feel free to contact me with any questions or concerns.



MAILING: PO Box 824 Bloomfield Hills, MI 48303-0824

SHIPPING: 555 Hulet Drive Bloomfield Hills, MI 48302-0360

PHONE: 248-454-6300 WEBSITE: hrcengr.com

HRC Job No. 20190914.02

April 11, 2022

City of Berkley 3338 Coolidge Highway Berkley, Michigan 48072

Attention: Ms. Megan Masson-Minock, Community Development Director

Mr. Matthew Baumgarten, City Manager

Re: Proposed "The Ivy" Residential Community

Lot 53, Oxford Rd

Engineering Site Plan – Review No. 2

City of Berkley, MI

Dear Ms. Masson-Minock and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Stonefield Engineering and Design, LLC of Royal Oak, Michigan with a revision date of March 25, 2022. The proposed project is submitted as Phase II to the previously submitted and approved project at 2219 Coolidge Ave ("The Berkley"). The scope includes the removal of the existing parking lot in Lot 53 on Oxford Road and the construction of a new multifamily dwelling and parking lot. The site is a 0.78-acre parcel of land located on the south side of Oxford Road near Coolidge Highway. We hereby offer the following comments:

General:

- 1. A soil erosion permit will likely be required from the Oakland County Water Resources Commissioner (OCWRC). If a soil erosion permit is required, it must be obtained, and a copy of the approved permit provided to the City prior to commencing construction. Regardless of whether a permit is required, the City will require silt fence to be installed around the perimeter of the site, filter fabric installed in nearby catch basins, and a temporary maintenance aggregate/mud mat constructed for access to and from the proposed site. **This item is still applicable.**
- 2. The City may require additional sections of existing curb and gutter and sidewalks along Oxford Road to be removed and replaced as part of the proposed project in order to address any current deteriorated conditions and will defer comment to the City. **This item is still applicable.**

Water and Fire Protection Services:

- 1. Permits may be required from the Department of Environment, Great Lakes, and Energy (EGLE) and from OCWRC for the installation and connection of the new water main service. **This item is still applicable.**
- 2. The proposed water main along Oxford Road must be labeled to show the proposed size and length. Note that the City requires Ductile Iron Pipe, Class 54. The proposed water main has been revised. This item has been satisfactorily addressed.



- 3. The plans must include calculations for the new Residential Equivalent Unit (REU) value of the proposed (building) structures. These calculations must also support that the proposed water service is sufficiently sized for the new REU values. REU values have been added to the plans that suggest the proposed water service is sufficiently sized. This item has been satisfactorily addressed.
- 4. Proposed finish grades for Gate Wells and Hydrants must be provided. Finish grades have been provided. This item has been satisfactorily addressed.

Storm Drainage and Detention/Sanitary Sewer:

- 1. This office has conducted a review of the stormwater calculations. The plans show a proposed average runoff coefficient of 0.81. The underground detention system previously approved for "The Berkley" development, which this site drains into, was designed and approved assuming a coefficient of 0.83 for the proposed "The Ivy" development. The plans also include calculations demonstrating that the proposed stormwater pipes are sized in accordance with 10-year stormwater system design standards. As such, the system appears to be adequately sized to detain stormwater from the proposed development.
- 2. The plans show the proposed sewer leads connecting to the 90 inch WRC sewer. There is an existing City of Berkley combined sewer in Oxford Road that must be shown on the plans and the proposed sewer leads must connect to the City's sewer in lieu of the WRC interceptor. The sewer connections have been revised. This item has been satisfactorily addressed.
- 3. The stormwater maintenance agreement submitted as part of "The Berkley" development does not include the proposed storm pipes and structures as part of the physical limits shown in the agreement. That agreement must be updated to include the proposed stormwater features, or a separate agreement submitted for maintenance of the proposed storm system for "The Ivy". The maintenance agreement for "The Berkley" has been revised to include the additional proposed storm system. This item has been satisfactorily addressed.
- 4. The type of cover to be utilized on the proposed drainage structures must be indicated on the plans. Restricted covers may need to be utilized if required by the City's DPW being that the City's sewer system is combined. The Applicant must inquire directly with the DPW. The City has confirmed that the Applicant will not be required to utilize restricted covers. This item has been satisfactorily addressed.
- 5. Detail sheets for the proposed storm sewers must be provided with structures, covers, pipe requirements/cross sections and connection/tap details in accordance with City and County Standards. In addition, shop drawings for the said appurtenances will be required to be reviewed by the City and HRC. This item is still applicable. Details and shop drawings as required or requested by the City must be provided prior to construction.
- 6. The proposed sanitary lead connection type (TwisTee sewer saddle, as per the City DPW, or approved equal) must be labeled on the plan. The connection type has been labeled on the plans. This item has been satisfactorily addressed.



Recommendation:

Based on our aforementioned comments, we recommend approval of the proposed Site Plan subject to the applicant obtaining and submitting copies of any permits to the City and providing any required shop drawings or details prior to construction.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.

Edward D. Zmich Project Manager Mitch Stark Review Engineer

EDZ/mas

pc: City of Berkley; Mr. Derrick Schueller, Mr. Shawn Young

HRC; R. Alix, File



APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED I	BY APPLICANT:			
I (We), the undersigned information to assist in	d, do hereby respectfully request Site Plan Review and provide the following the review:			
Project Name:	Seven Point Berkley			
Applicant:	Seven Point Dispensing of Michigan, LLC			
Mailing Address:				
Telephone:				
Email:				
Property Owner(s), if di	fferent from Applicant: Greenside Trust			
Mailing Address:				
Telephone:				
Email:				
Applicant's Legal Intere	est in Property: Applicant is an ancillary beneficiary of the Greenside Trust.			
LOCATION OF PROPE	ERTY:			
Street Address:	dress: 28557 Woodward Avenue			
Nearest Cross Streets:	Woodward Avenue and Wiltshire Road			
Sidwell Number(s):	2517257025 and 2517257008			

PROPERTY DESCRIPTION: Lots 356 to 358 Vinsetta Park Subdivision Provide lot numbers and subdivision: 5,314 Square Feet 0.12 acres Property Size (Square Feet): _ (Acres): **EXISTING ZONING DISTRICT** (please check): □ R-1A ☐ Local Business ☐ Coolidge □ R-1B □ Office □ Downtown ☐ R-1C ☐ Community Centerpiece ☐ Industrial □ R-1D Woodward □ Cemetery □ RM ☐ Eleven Mile □ Parking □ RMH ☐ Twelve Mile Present Use of Property: 28557 Woodward Avenue is currently vacant. Proposed Use of Property: Marihuana Adult-use and medical provisioning Is the property located within the Downtown Development Authority? ☐ Yes No PROJECT DESCRIPTION: Marihuana Adult-use retailer and medical provisioning center. Does the proposed project / use of property require Special Land Use approval? ☐ Yes No Does the proposed project require Variance(s) from the Zoning Board of Appeals? Yes If yes, please describe Variances required:

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office				
Commercial	1	3,405 Square Feet	56 (including 3 barrier free spaces)	TBD
Industrial			nee spaces)	
Other				

PROF	ESSIONALS WHO	PREPARED PLANS:		-		
A.	Name:	Brian Howard/HF Architecture				
	Telephone:					
	Email:					
	Design Respons	ibility (engineer, surveyor, arch	itect	etc.): Architect		
B.	Name:	Brian Sinnott/Fleis & Vanden	brink			
	Mailing Address:					
	Telephone:					
	Email:					
Design Responsibility: Civil Engineer						
		500000000000000000000000000000000000000				
SUBM	T THE FOLLOWI	NG:				
1.	the site plans, measuring 24 x 30 , sealed by a					
2.	registered architect, engineer, or surveyor. A pdf file of the site plans, submitted to the Community Development Director.					
3.						
4.						
4.3	□ Road Commission for Oakland County □ Oakland County Health Division □ MI Dept. of Transportation □ MI Dept. of Environment, Great Lakes & En					

PLEASE NOTE: The applicant, or a designated representative, MUST BE PRESENT at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

APPLICANT'S ENDORSEMENT: (Initial each line)

All information contained therein is true and accurate to the best of my knowledge.

I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

Updated 07.01.2021 4 | P a g e

The tele	5 16 22
Signature of Applicant	Date
Gabe Rubin on behalf of Seven Point Dispensing of Michigan, LLC	
Applicant Name (Print)	
Signature of Applicant	Date
Applicant Name (Priot)	5/16/22
Signature of Property Owner Authorizing this Application	Date
Dan Winter an authorized representative of The Greenside Trust	
Property Owner Name (Print)	

OFFICE USE ONLY						
Received	Receipt #	Meeting Date	Case #			
Fees:	Site Plan Review \$600	Façade Change: \$200	Revision: \$300			
	Extension \$200 Engineering: Multi-family \$1,500 + \$30/unit Commercial \$1,000					
	Escrow (New construction)	\$1,000				

SEVEN POINT.

May 16, 2022

Megan A. Masson-Minock, AICP Interim Community Development Director City of Berkley

Re: Sketch Plan Review Request

Dear Megan,

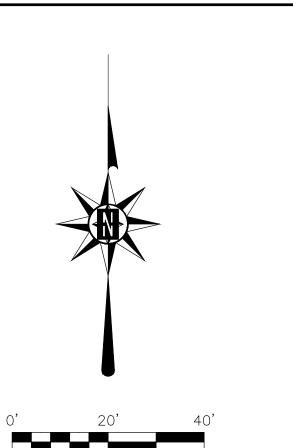
Seven Point Dispensing of Michigan LLC is submitting the site plan for its proposed marihuana adult-use and medical establishment at 28557 Woodward Avenue, Berkley, MI 48072 to be reviewed by the Planning Department and Planning Commission as a Sketch Plan Review.

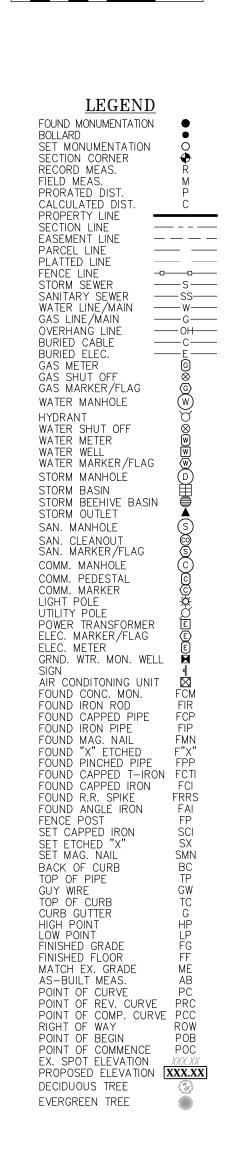
Please find attached the site plan and related documents.

Thank you,

Gabe Rubin







LEGAL DESCRIPTIONS

PARCEL ID# 25-17-257-025

PART OF LOTS 356-358 INCLUSIVE AND PART OF THE ADJACENT VACATED WILTSHIRE ROAD (60 FEET WIDE), OF "VINSETTA PARK", A SUBDIVISION BEING PART OF SECTIONS 16 AND 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 30 OF OAKLAND COUNTY RECORDS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT 358; THENCE NORTH 33 DEGREES 37 MINUTES 16 SECONDS WEST 115.96 FEET; THENCE NORTH 89 DEGREES 51 MINUTES 45 SECONDS EAST 67.83 FEET; THENCE SOUTH 33 DEGREES 37 MINUTES 16 SECONDS EAST 78.63 FEET; THENCE SOUTH 56 DEGREES 28 MINUTES 30 SECONDS WEST 56.56 FEET TO THE POINT OF BEGINNING. CONTAINING 0.13 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

PARCEL ID# 25-17-257-008

LOT 427, OF "VINSETTA PARK", A SUBDIVISION BEING PART OF SECTIONS 16 AND 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 30 OF OAKLAND COUNTY RECORDS. CONTAINING 0.17 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

PARCEL ID# 25-17-257-007

LOT 205, OF "STEPHENSON-BARBER'S OAKLAND MANORS SUB'N", OF PART OF SECTION 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 22 OF OAKLAND COUNTY RECORDS. CONTAINING 0.29 ACRES OF LAND MORE OR LESS. SUBJECT TO ANY AND ALL EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

PARCEL ID# 25-17-257-024

LOT 425, OF "VINSETTA PARK", A SUBDIVISION BEING PART OF SECTIONS 16 AND 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 30 OF OAKLAND COUNTY RECORDS. CONTAINING 0.21 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

PARCEL ID# 25-17-257-023

LOT 426, OF "VINSETTA PARK", A SUBDIVISION BEING PART OF SECTIONS 16 AND 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 30 OF OAKLAND COUNTY RECORDS. CONTAINING 0.16 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

ZONING REQUIREMENTS

R-1B SINGLE FAMILY RESIDENTIAL PARCEL ID# 25-17-257-007 LOT - MIN. AREA: 8,800 FT.² - MIN. WIDTH: 80 FT. COVERAGE - MAX. BLD.: 35% SETBACKS - FRONT YARD: 25 F REAR YARD: 20 FT. - SIDE YARD: 5 FT. - SIDE TOTAL: 15 FT HEIGHT - MAX. BLD.: 30 FT. LOT - AREA: 12,822 FT.² WIDTH: 100 FT. COVERAGE - BLD.: 3,146 FT.² 24.5%

PARCEL ID# 25-17-257-008 LOT - MIN. AREA: N/A - MIN. WIDTH: N/A COVERAGE - MAX. BLD.: N/A HEIGHT - MAX. BLD.: 15 FT. EXISTING CONDITIONS LOT - AREA: 7,518 FT.² WIDTH: ≈30 FT. COVERAGE - BLD.: VACANT - PARKING LOT

WOODWARD DISTRICT

PARCEL ID# 25-17-257-025 LOT - MIN. AREA: N/A – MIN. WIDTH: N/A COVERAGE - MAX. BLD.: XX% SETBACKS - FRONT YARD: 10 FT. - REAR YARD: 10 FT - SIDE YARD: XX FT. - SIDE TOTAL: XX FT. HEIGHT - MAX. BLD.: 50 FT. WIDTH: ≈79 FT. COVERAGE - BLD.: 4,705 FT.² 85.5%

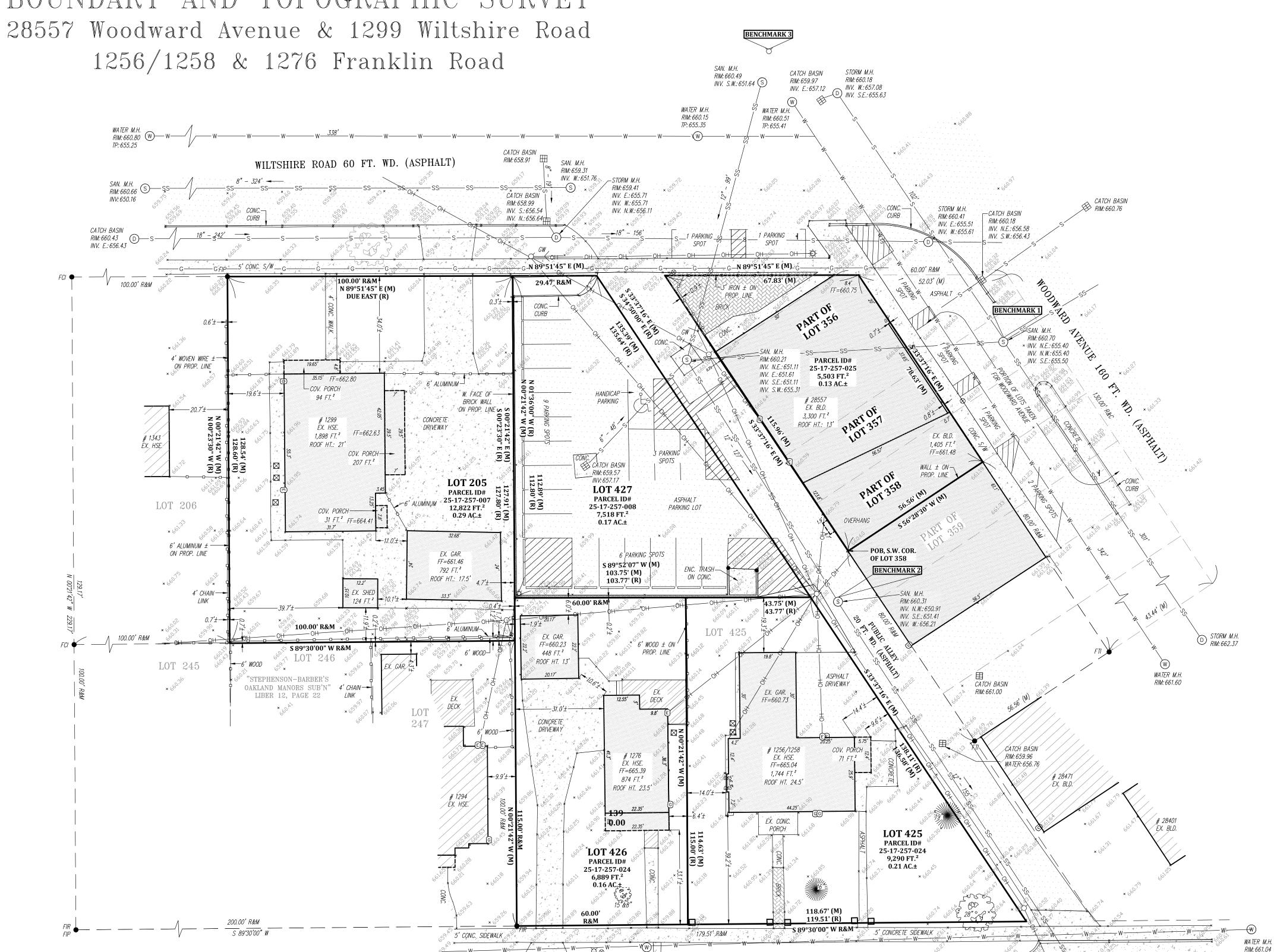
R-2 TWO FAMILY RESIDENTIAL

PARCEL ID# 25-17-257-024 LOT - MIN. AREA: 4,000 FT.² MIN. WIDTH: 40 FT COVERAGE - MAX. BLD.: 35% SETBACKS - FRONT YARD: 25 FT - REAR YARD: 35 FT. - SIDE YARD: 5 FT. - SIDE TOTAL: 15 FT. HEIGHT - MAX. BLD.: 30 FT. WIDTH: ≈100 FT. COVERAGE - BLD.: 1,815 FT.² 19.5%

R-2 TWO FAMILY RESIDENTIAL

PARCEL ID# 25-17-257-023 LOT - MIN. AREA: 4,000 FT.² MIN. WIDTH: 40 FT COVERAGE - MAX. BLD.: 35% SETBACKS - FRONT YARD: 25 FT. REAR YARD: 35 FT. SIDE YARD: 5 FT. SIDE TOTAL: 15 FT. HEIGHT - MAX. BLD.: 30 FT. EXISTING CONDITIONS LOT - AREA: 6,889 FT.² WIDTH: 60 FT. COVERAGE - BLD.: FT.² %

BOUNDARY AND TOPOGRAPHIC SURVEY



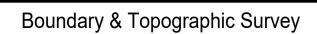
CATCH BASIN

FRANKLIN ROAD 50 FT. WD. (CONCRETE)

₹ RIM: 660.35

-\INV. N.W.: 650.50

INV. W.: 650.25



-007 PART OF "STEPHENSON-BARBER'S OAKLAND MANORS SUB'N." BEING PART OF N.E. $\frac{1}{4}$ OF SEC. 17, T.1N., R.11E., CITY OF BERKLEY, OAKLAND CO., MICH.

-008, -025, -024, -023 Part of "vinsetta Park" being part of N.E. $\frac{1}{4}$ of Sec. 17, T.1N., R.11E., CITY OF BERKLEY, OAKLAND CO., MICH.

SAN. M.H.

28531-28557 WOODWARD AVENUE BERKLEY, MICHIGAN

SHEET INDEX:

ARCHITECTURAL SITE PLAN AS00

BOUNDARY + TOPOGRAPHIC SURVEY 1 OF 1

PROPOSED FLOOR PLAN

A101

WILTSHIRE ROAD (6) NEW BIKE RACKS/BIKE REPAIR
STATION. (2) BIKE PER RACK = 12 BIKES

OF THEE

OF THE PER CACK = 12 BIKES

NEW TRASH
RECYCLING BIN NEW LANDSCAPED BIO-SWALE PROPOSED ADULT USE RETAIL AND PROVISIONING CENTER CUSTOMER PARKING LOT

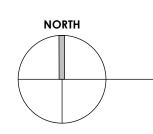
53 PARKING SPACES PROVIDED

+3 BARRIER-FRE-SPACE = 56 TDTAL SPACES

CONDITIONAL RE-ZONING:

PARKING 1346 WILTSHIRE 220 DRY CLEANERS 28505 WOODWARD AVENUE SEPARATE PROPERTY/BUILDING 28471 WOODWARD AVE.

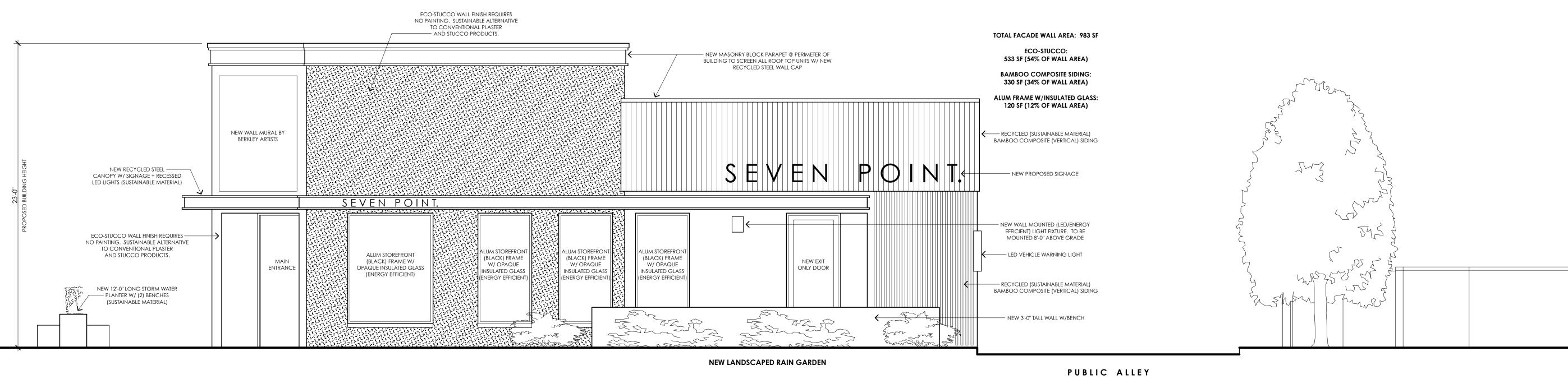
FRANKLIN ROAD



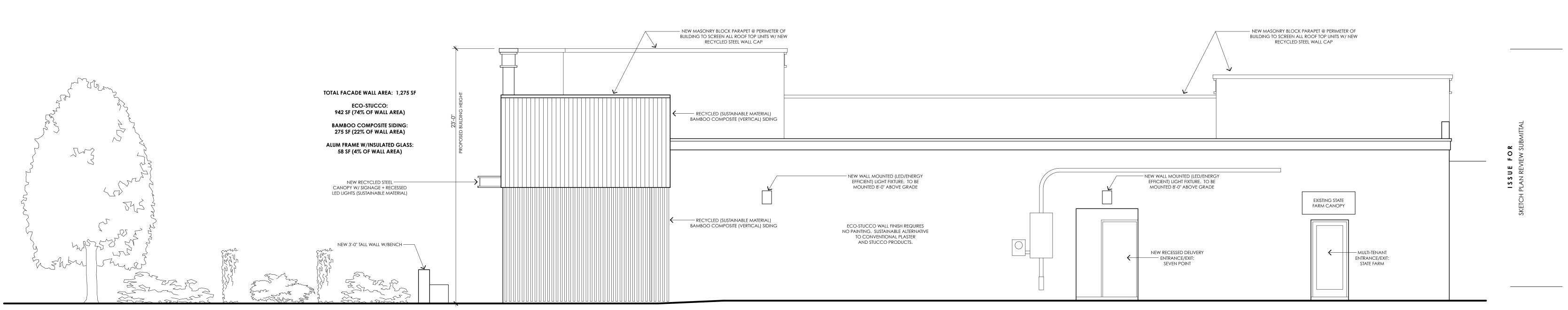
ARCHITECTURAL SITE PLAN

AS00





WILTSHIRE ROAD (NORTH) ELEVATION



NEW LANDSCAPED RAIN GARDEN

PUBLIC ALLEY (WEST) ELEVATION

SCALE: 1/4" = 1'-0"

SEVEN POINT: ADULT USE RETAIL
AND PROVISIONING CENTER
28531-28557 WOODWARD AVENUE









MEMORANDUM

To: Planning Commission

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: PSP-12-22, Sketch Plan for Seven Point Provisioning Center at 28557 Woodward

Avenue

Date: June 1, 2022

The applicant has asked for a sketch plan review for the proposed renovation of the existing building at 28557 Woodward Avenue Road as a retail marihuana dispensary at 28557 Woodward Avenue. The applicant is also proposing associated parking in the existing parking lot at Parcel #25-17-257-008, and proposed parking at 1299 Wiltshire Road, Parcel #25-17-257-007, and 1276 Franklin Road, Parcel #25-17-257-023.

Section 138-681 – Approval Process allow sketch plan review by the Planning Commission as follows:

"Sketch plan (optional). An item may be submitted to the planning commission for informal discussion. No approval shall be granted. However, the applicant may wish to present and discuss a proposed project and any anticipated problems before applying for site plan approval."

On April 12, 2022, the applicant had a pre-application meeting with staff from myself, DPW Director Schueller, Fire Inspector Kelly, and Eddie Zmich and Mitchell Stark for HRC. The applicant submitted a conditional rezoning request for 1276 Franklin Road on April 25, 2022 and for 1299 Wiltshire on April 28, 2022. After review by the City Attorney and Planning Consultant, it was determined that the conditional rezonings needed to be approved concurrently with the site plan for the project due to the conditions offered by the applicant. On May 16, 2022, the applicant filed a site plan review application and request for sketch plan review. All three applications are included in the Planning Commission packet.

As no fees are required for sketch plan, the revised plans were not reviewed in full by this department, the Fire Inspector, DPW or the engineering consultants.

Planning Review from Carlisle Wortman Associates (CWA) dated May 26, 2022

Per my request, Carlisle Wortman Associates (CWA) has provided a preliminary review of the proposed conditional rezonings in conjunction with the sketch plan. They found that the proposed rezonings are inconsistent with the Master Plan, and rezoning the Frankly parcel would create a spot zone, isolate 1256 Franklin, and not provide an adequate buffer to either adjacent single-family home.

Parking and Other Proposed Marihuana Provisioning Centers in Berkley

The applicant has indicated that, based on observing the site plan proceedings by the Planning Commission for other marihuana provisioning centers, additional parking and circulation could be required by the Planning Commission as part of site plan review. The conditional rezoning requests were brought to address those potential concerns.

To provide context between this sketch plan and the the other provisioning center site plans that have approved site plans from the Planning Commission, the table below summarizing the square footage of each provisioning center, parking requirements, parking proposed and notes:

Provisioning Center	Uses & Square Footage	Required Parking	Proposed Parking	Notes
PSP-03-22: 1949 Twelve Mile Lume	Provisioning Center: 16,141 s.f. Office: 8,413 s.f.	69	124	While 17 spaces were required for provisioning use, the applicant anticipated the need for 34 spaces. There is a shared parking with an adjacent property for overflow.
PSP-09-22: 3916 W. Eleven Mile Quality Roots	Provisioning Center: 5,724 s.f. Office: 686 s.f.	13	19	The applicant had six additional spaces in a previous submittal, but replaced them with landscaping.
PSP-12-22: 28557 Woodward Seven Point	Provisioning Center: 3,405 s.f. Office: 1,305 s.f.	11	53	

Summary and Recommendation

Please come prepared to share your questions and concerns about the sketch plan and the associated conditional rezonings. The applicant has requested direction on whether to continue to pursue the conditional rezonings. Please note that the process for a rezoning of any type is a recommendation by the Planning Commission and approval by the City Council.

Thank you.

Cc: Matt Baumgarten, City Manager

John Staran, City Attorney

Gabe Rubin, Representative for Seven Point Dispensing of Michigan, LLC



APPLICATION FOR AMENDMENT TO THE ZONING MAP (REZONING)

NOTICE TO APPLICANT: Applications to amend the Zoning Map must be submitted to the City of Berkley Building Department in *substantially complete* form at least 30 days prior to the Planning Commission meeting, at which the proposal will be considered. Petitions for rezoning of a specific site shall be accompanied by a plot plan or survey of the property.

The Planning Commission will hold the required *public hearing* and will make a recommendation to the City Council. Amendments to the Zoning Map (Rezoning) shall be granted by the City Council.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072. The City Council meets the first and third Monday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name:	Seven Point Berkley-Franklin
Applicant:	Seven Point Dispensing of Michigan, LLC
Mailing Address:	
Telephone:	
Email:	
Property Owner(s), if	different from Applicant:Diana Tien Le
Mailing Address:	
Telephone:	
Email:	
	Fully executed Purchase Agreement dated February 29, 2022 heter

Applicant's Legal Interest in Property: Fully executed Purchase Agreement dated February 28, 2022 between

Brad Zerman, Managing Member of Seven Point Dispensing of Michigan, LLC (Buyer) and Diana Tien Le (Seller)

LOCATION	OF PROPE	RTY:						
Street Addr	ess:	1276 Fra	anklin Road	d				
Nearest Cr	oss Streets:	Woodw	ard Avenu	e and Catalpa				
Sidwell Nur	mber(s):	04-25-1	7-257-023					
PROPERT	Y DESCRIPT	ION:			***************************************			
Provide lot	numbers and	subdivis	ion: Lot 42	26 Vinsetta Park Sub				
				Feet		0.1	16	
Property Le	egal Description	on: T1N	, R11E, SE	EC 17 Vinsetta Park Sub L	ot 426			
					- 0			
EXISTING	ZONING DIS	TRICT (p	lease ched	ck):				
	R-1A			Local Business			Coolidge	
	R-1B			Office			Downtown	
	R-1C			Community Centerpiece			Industrial	12
	R-1D			Woodward			Cemetery	
✓	RM			Eleven Mile			Parking	
	RMH			Twelve Mile				
Requested	Zoning for Pr	operty: _	Parking [District				
Present Us	e of Property:	_	Single Fa	mily Residence				
Proposed L	Jse of Propert	.y: _	Seven Po	oint Employee only surface	parking lo	ot wi	th 12 parking s	paces
Is the prope	erty located w	ithin the (Downtown	Development District?			Yes ✓	No

PROJECT DESCRIPTION:

parking	ish existing structures and develop a surface parking lot that will be designage with 12 parking spaces. There will be underground stormwater on this parcable pavers with a surface drain, four landscaped areas.	ted as el tha	s Seve at inclu	n Poin des an	t employe 8' wide s
Does t	ne proposed project / use of property require site plan approval?	✓	Yes		No
Does t	ne proposed project require variance(s) from the Zoning Board of Appeals?		Yes	✓	No
If yes,	describe the variances that will be required:				
JUSTII	FICATION FOR PROPOSED REZONING				
	complete the following questions with as much detail as possible so as to e al (attach additional sheets, if needed):	valua	ite the	rezonii	ng
1.	Is the proposed rezoning consistent with the Berkley Master Plan and the I See EXHIBIT A	-uture	e L <mark>a</mark> nd	Use N	lap?
2.	Is the proposed rezoning consistent with the zoning classification of surrou	nding	parce	ls?	
	See EXHIBIT A	***			_
3.	Are the site's physical or environmental features suitable for the range of urrequested zoning district?	ses p	ermitte	ed in th	e
	See EXHIBIT A				
4.	Would the uses permitted in the proposed zoning district be compatible wit and zoning, in terms of views, noise, air quality, traffic, density, the environ land values?				

Updated 07.01.2021

5.	Does the public infrastructure (roads, water and sewer system) have capacity to accommodate the uses permitted in the proposed zoning district? See EXHIBIT A							
		-						
6.	Provide any additional information that should be considered with your application and request: See EXHIBIT A							
PROFI	SSIONALS WHO PREPARED PLANS:							
A.	Name: Brian Howard/HF Architecture							
	Mailing Address:	23						
	Telephone:							
	Email:							
	Design Responsibility (engineer, surveyor, architect, etc.):							
В.	Name: Fleis & Vandenbrink	_						
	Mailing Address:	-						
	Telephone:	_						
	Email:	_						
	Design Responsibility: Civil Engineer							

SUBMIT THE FOLLOWING:

- 1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor. If copies are submitted simultaneously for site plan review, then submittal of ten (10) additional copies is not necessary.
- 2. A pdf file of the plans and any supporting documents, emailed to the Community Development Director.
- 3. Proof of property ownership (title insurance policy or registered deed with County stamp).

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the request may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of the map amendment application.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission, City Council and audience to give your project the attention it deserves. Planning Commission and City Council meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line)

I hereby authorize and give permission for the City of Berkley to install one or more temporary signs on my property, in order to notify the public of the requested public hearing related to the zoning map amendment (rezoning) request.

I hereby authorize employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above referenced property in relation to the above request.

APPLICANT'S ENDORSEMENT: (Initial each line)

_____ All information contained therein is true and accurate to the best of my knowledge.

I acknowledge that the Planning Commission and City Council will not review my application unless all information in this application has been submitted.

I acknowledge that the City and its employees or appointed or elected officials shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this application.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

Signature of Applicant

Gabe Rubin as a representative of Seven Point Dispensing of Michigan LLC

Applicant Name (Print)

Signature of Applicant

Date

Applicant Name (Print)

Diana Tien Le

O4-22-2022

Signature of Property Owner Authorizing this Application

Date

Diana Tien Le

Property Owner Name (Print)

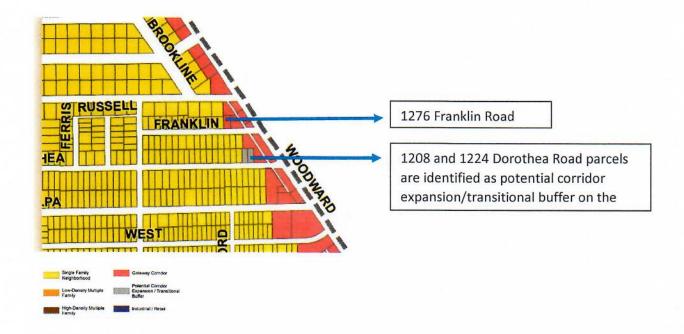
OFFICE USE ONLY							
Received		Receipt #	Meeting Date	Case #			
Fee:	\$750						

APPLICATION FOR AMENDMENT TO THE ZONIBNG MAP (REZONING) EXHIBIT A-JUSTIFICATION FOR PROPOSED REZONING

Is the proposed rezoning consistent with the Berkley Master Plan and the Future Land Use Map?

The marihuana adult-use and medical use municipal retail and provisioning center license was approved by the Berkley City Council for this location. However, this use is not part of the City of Berkley's Master Plan or Future Land Use Map as the Master Plan did not contemplate marijuana uses generally and the high-traffic nature of these uses specifically. As a result, the Master Plan did not consider the need for additional parking for this use and other retail uses along Woodward Avenue (MDOT 2019 80,000 cars per day). The Future Land Use Map identifies properties west of the parcels along Woodward Avenue (Gateway Corridor) as Potential Corridor Expansion/Transitional Buffer.

Nonetheless, the proposed rezoning of the property located at 1276 Franklin Road from Multiple Family Residential RM to Parking District is consistent with the Berkley Master Plan and Future Land Use if compared to other properties that are classified as either Gateway Corridor use or potential corridor expansion/transitional buffer. To illustrate, there are two single-family homes located on Dorothea Road (1208 and 1224). These two properties are labeled in the Future Land Use Map as Potential Corridor Expansion/Transitional Buffer and currently zoned Single Family Residential R-1D. A rezoning of the subject property would follow the existing land use pattern for properties abutting Woodward Avenue and would serve to support both the Woodward corridor and the adjacent residential neighborhoods. It should be noted that the subject property (1276 Franklin Road) is currently zoned Multiple Family Residential RM, but the current use is a single-family residential home. According to the City of Berkley Master Plan, the parcels on Woodward were originally platted over a century ago and lack an adequate buffer between the high-traffic retail locations on Woodward Avenue and the residential properties immediately adjacent to them. This issue was addressed in the Future Land Use Map, which called for additional buffers between the high-traffic retail locations on Woodward and the residential neighborhoods immediately behind them.



2. Is the proposed rezoning consistent with the zoning classification of surrounding areas?

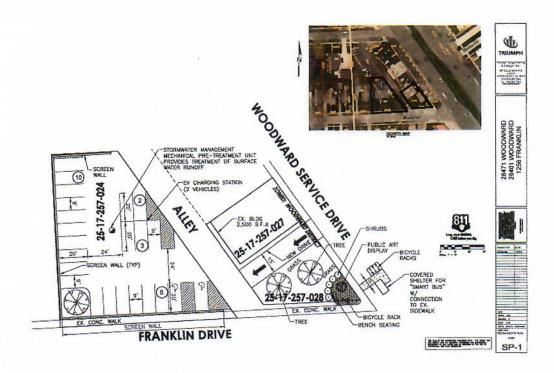
Yes, the proposed rezoning is consistent with the zoning classification of the surrounding areas. The following parcels are examples of surrounding Berkley properties along the Woodward Avenue corridor that are consistent with our request to conditionally rezone 1276 Franklin Road from Multiple Family Residential RM to Parking District.

28653 Woodward Avenue/Flagstar Bank Branch: This property is located directly north of the subject property on the other side of Wiltshire Road. As indicated in the aerial picture below, the western property line of the Flagstar Bank property is in line with the western property line of 1299 Wiltshire Road, which we are also proposing to rezone to parking. The proposed rezoning of the property will create a congruent layout within this section of Woodward Avenue, Franklin Rd, and Wiltshire Rd. The Flagstar Bank property is zoned Woodward District.



1256 Franklin Road/Multiple Family Residential Property:

The Planning commission approved the conditional rezoning application of another marihuana business license applicant from Multifamily Residential to Parking on January 29, 2020. The rezoning designation as Parking was contingent on the award of a marihuana business license to the applicant. This property is adjacent to the subject property and like 1256 Franklin, also abuts the currently existing parking lot.



27659 Woodward Avenue/Westborn Market:

This property is zoned Gateway District and Parking District. The parking lot of Westborn market abuts single family residential and is a large parking lot that accommodates the traffic at Westborn market. This property is less than one-half mile south of the subject property along Woodward Avenue.



Westborn Market Surface parking lot to accommodate the high traffic along Woodward Avenue

3. Are the site's physical or environmental features suitable for the range of uses permitted in the requested zoning district?

Yes, the site's physical and environmental features are more than suitable for the range of uses permitted in the requested zoning district. The proposed site plan for 1276 Franklin Road includes underground stormwater management (8' wide strip of permeable pavers with surface drains), green space in the front yard area of the parcel that will include two benches and a dogwalking station, and landscaped areas. Additionally, there will be a screening wall (6' brick wall with limestone cap) around the perimeter of the subject parcel that will have the same characteristics as the screening wall along the western portion of the Flagstar Bank property located at 28653 Woodward Avenue and along the perimeter of the parcel located at 1299 Wiltshire Road. The parking lot will have new LED pole lights indicated on the site plan to increase the safety and security of employees, customers, and nearby residents.

4. Would the uses permitted in the proposed zoning district be compatible with surrounding uses and zoning, in terms of views, noise, air quality, traffic, density, the environment, drainage, and land values?

Yes, the use permitted in the proposed zoning district (Parking District) would be compatible with surrounding uses and zoning, similar to the Flagstar Bank parking lot immediately to the North. For example, our parking lot will look similar to other surrounding parking lot uses and will have similar if not better landscaping compared to similarly situated Woodward parking parcels. Our screening walls will have the same characteristics as the screening walls of other similarly zoned sites in the surrounding area. Our proposed site plan includes two landscaped areas within the employee parking area and two landscaped areas located on the front yard of the parcel on either side of the one-way drive isle. The landscaped area to the East will include new park benches with a dog walking station. The landscaping will improve air quality and the environment in the immediate area and look similar to other parking districts in Berkley such as the Public Library.

Traffic will be similar to other parking lots in the surrounding area that have a surplus of parking to keep the flow moving, which would prevent customers from parking directly on the residential side streets or causing backups on Woodward Avenue, similar to what happens at the Starbucks on Woodward Avenue. Traffic will not be affected on Franklin Road due to the increased parking area which provides twelve designated parking spaces for Seven Point employees. Unlike store patrons, who will only park for a brief period of time and then exit towards Woodward soon thereafter, employees' vehicles will be more stationary and parked for hours at a time. We will also be taking additional proactive measures to keep traffic off Franklin Road. The installation of signage at the Franklin exit of our designated employee only parking lot will state "Left Turn Only," which will keep vehicles off of the residential sections of Franklin Road, instead directing them to Woodward Avenue. Similar "Left Turn Only" signage will additionally be installed at the south end of the alley, at Franklin Road, behind our retail storefront.

Drainage of excess rainwater will be compatible with other parking districts located in Berkley along the Woodward Corridor once we complete our stormwater management at the site. Numerous research studies show marihuana businesses increase property values of neighboring real estate, including neighboring residential properties. However, Marihuana businesses, like all businesses, require ample parking to serve their patrons and to add value to the business while minimizing potential traffic concerns for nearby residents. Unlike many other Woodward parking lots, which were developed without stormwater management considerations, our site plan is, based on the stormwater management plans included with this application, in addition to proposed stormwater management plans which will be submitted for our primary site located at 28557 Woodward Ave. The implementation of the additional stormwater management at 1276 Franklin Road will help prevent localized flooding and increase the value of the residential properties in the area.

In sum, the proposed rezoning of 1276 Franklin Road from Multiple Family Residential RM to Parking District will be compatible with other commercial properties along Woodward Avenue that require parking to support their business along the Woodward Avenue corridor and is aligned with the need to provide a buffer between high-traffic retail locations on Woodward and the adjacent residential neighborhoods.

5. Does the public infrastructure (roads, water, and sewer system) have capacity to accommodate the uses permitted in the proposed zoning district?

Yes. As indicated on the site plan, the property located at 1276 Franklin Road will be developed into surface parking that will be designated as Seven Point employee parking. The new surface employee-only parking lot will have an 8-foot-wide strip of permeable concrete with surface drains. There will also be four landscaped areas indicated in the site plan. These systems will reduce the strain on the city of Berkley's stormwater/sewer infrastructure and add value to the surrounding properties.

Moreover, Woodward Avenue is more than adequate to serve the high-traffic retail location that the subject property will service. We will be taking steps, such as the "Left Turn Only" sign at the employee-parking lot exit and at the south end of our alley at Franklin Road, to ensure that all such traffic is funneled directly to Woodward Avenue, which has more than enough capacity to handle such traffic.

6. Provide any additional information that should be considered with your application and request:

We are seeking this conditional rezoning as part of a rezoning package that includes 1299 Wiltshire and 1276 Franklin in order to ensure our employees and customers have adequate parking are able to park in a well-lit and safe area, while also ensuring that they do not park directly on Franklin Road or Wiltshire Road and interfere or become a nuisance to nearby residents. We believe our plan would benefit nearby residents and our employees and customers.

Our rezoning is in alignment with Berkley and other nearby municipality's' desire to balance the high-traffic retail uses on Woodward with their surrounding neighborhoods. To this point, the Master Plan states the following circumstances should be in place to consider a rezoning from single-family:

- The parcel or parcels in question are adjacent to a property zoned for mixed use or commercial uses with frontage on Twelve Mile, Eleven Mile, Coolidge, or Woodward.
- Mechanisms are in place in zoning or as a part of a conditional rezoning or planned unit development - to assure a substantial buffer, with a combination of landscaping, screening, and fencing, between single family neighborhoods and non-residential or mixed uses.

Our plan, as described above, addresses these considerations. We therefore respectfully request that you approve our application for rezoning of the subject property.



APPLICATION FOR AMENDMENT TO THE ZONING MAP (REZONING)

NOTICE TO APPLICANT: Applications to amend the Zoning Map must be submitted to the City of Berkley Building Department in *substantially complete* form at least 30 days prior to the Planning Commission meeting, at which the proposal will be considered. Petitions for rezoning of a specific site shall be accompanied by a plot plan or survey of the property.

The Planning Commission will hold the required *public hearing* and will make a recommendation to the City Council. Amendments to the Zoning Map (Rezoning) shall be granted by the City Council.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072. The City Council meets the first and third Monday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name:	Seven Point Berkley-Wiltshire
Applicant:	Seven Point Dispensing of Michigan, LLC
Mailing Address:	
Telephone:	
Email:	
Property Owner(s), if diff	erent from Applicant: Majid Cholak
Mailing Address:	
Telephone:	
Email:	
Applicant's Legal Interes	t in Property: Brad Zerman

(Managing Member of Seven Point Dispensing of Michigan, LLC) on behalf of an entity to be formed on or before closing (Buyer) and Majid Cholak (Seller)

LOCATION OF PROPI	ERIY:				
Street Address:	1299 Wiltshire Ro	ad Berkley, MI 48072			
Nearest Cross Streets:	Woodward Avenu	e and Catalpa			
Sidwell Number(s):	25-17-25-7007				
PROPERTY DESCRIP	TION:		N .		
		05/Stephenson-Barber's O	akland Manor	s Sub	
Property Size (Square I	eet): 12,807 Squa	re Feet	(Acres): 0.2	29	
		henson-Barber's Oakland N			ed in
Liber 12, Page 22 of P					
EXISTING ZONING DIS	STRICT (please che	eck):			
□ R-1A		Local Business		Coolidge	
✓ R-1B		Office	_	Downtown	
□ R-1C		Community Centerpiece	_	Industrial	
□ R-1D		Woodward		Cemetery	
□ RM	_	Eleven Mile	_	Parking	
□ RMH		Twelve Mile		raiking	
	_	i weive iville			
Requested Zoning for F	Property: Parking Di	strict			
Present Use of Property	/;	nily Residence			
Proposed Use of Prope	Surface pa rty: <u>adult-use</u> a	rking that will be combined nd medical provisioning cer	with the parkin ter located at	ig lot for the Seve 28557 Woodwa	en Point marihuana rd Avenue.
Is the property located v					No

PROJECT DESCRIPTION:

וטו נוופ	lish existing structures and develop a surface parking lot that will be used to a Seven Point adult-use retail and medical provisioning center located at 2855	accor 57 W	mmoda oodwar	te the d Ave	park nue.
Does t	he proposed project / use of property require site plan approval?	₩.	Yes		No
Does t	he proposed project require variance(s) from the Zoning Board of Appeals?		Yes	•	No
f yes,	describe the variances that will be required:		*	1000	
					-
USTI	FICATION FOR PROPOSED REZONING				
	complete the following questions with as much detail as possible so as to eval (attach additional sheets, if needed):	valua	te the r	ezonii	ng
1.	Is the proposed rezoning consistent with the Berkley Master Plan and the F	uture	e Land	Use N	1ap?
	See EXHIBIT A				
2.	Is the proposed rezoning consistent with the zoning classification of surrou		7.1.241		
2.	Is the proposed rezoning consistent with the zoning classification of surroun. See EXHIBIT A		7.1.241		
2.	Is the proposed rezoning consistent with the zoning classification of surrour		7.1.241		
	Is the proposed rezoning consistent with the zoning classification of surroun. See EXHIBIT A	nding	parcel:	s?	
	Is the proposed rezoning consistent with the zoning classification of surrour	nding	parcel:	s?	e
	Is the proposed rezoning consistent with the zoning classification of surrount. See EXHIBIT A Are the site's physical or environmental features suitable for the range of use	nding	parcel:	s?	e
	See EXHIBIT A Are the site's physical or environmental features suitable for the range of us requested zoning district?	nding	parcel:	s?	e
	See EXHIBIT A Are the site's physical or environmental features suitable for the range of us requested zoning district? See EXHIBIT A	nding	ermitte	s? d in th	
3.	See EXHIBIT A Are the site's physical or environmental features suitable for the range of us requested zoning district?	nding ses p	ermitte	s? d in th	S

Updated 07.01.2021

5.	Does the public infrastructure (roads, water and sewer system) have capacity to accommodate the uses permitted in the proposed zoning district? See EXHIBIT A						
6.	Provide any additional information that should be considered with your application and request: See EXHIBIT A						
PROF	ESSIONALS WHO PREPARED PLANS:						
A.	Name: Brian Howard/HF Architecture						
	Mailing Address: _ Telephone: Email: Design Responsibility (engineer, surveyor, architect, etc.): _Architect						
В.	Name: Fleis & Vandenbrink Mailing Address:						

SUBMIT THE FOLLOWING:

- 1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor. If copies are submitted simultaneously for site plan review, then submittal of ten (10) additional copies is not necessary.
- 2. A pdf file of the plans and any supporting documents, emailed to the Community Development Director.
- 3. Proof of property ownership (title insurance policy or registered deed with County stamp).

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the request may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of the map amendment application.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission, City Council and audience to give your project the attention it deserves. Planning Commission and City Council meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line)

I hereby authorize and give permission for the City of Berkley to install one or more temporary signs on my property, in order to notify the public of the requested public hearing related to the zoning map amendment (rezoning) request.

hereby authorize employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above referenced property in relation to the above request.

APPLICANT'S ENDORSEMENT: (Initial each line)

All information contained therein is true and accurate to the best of my knowledge.

GK I acknowledge that the Planning Commission and City Council will not review my application unless all information in this application has been submitted.

I acknowledge that the City and its employees or appointed or elected officials shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this application.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

The The	4/25/2022	
Signature of Applicant	Date	
Gabe Rubin as a representative of Seven Point Dispensing of Mich	ichigan, LLC	
Applicant Name (Print)	The state of the s	
Signature of Applicant	Date	
Applicant Name (Print)		
MIN DE COM	4-28-2022	
Signature of Property Owner Authorizing this Application	4-2 <i>9-20</i> 22 Date	

OFFICE USE ONLY					
Received		Receipt #	Meeting Date	Case #	
Fee:	\$750				

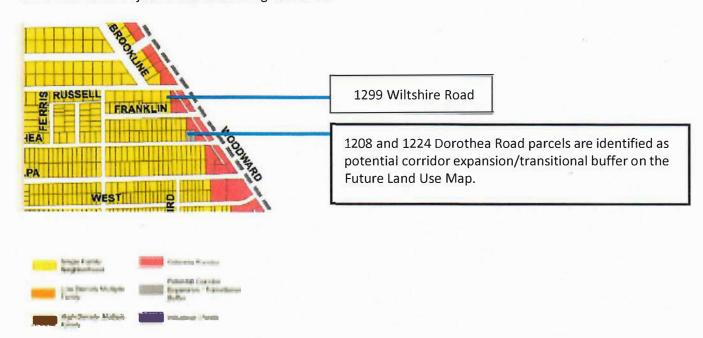
APPLICATION FOR AMENDMENT OT THE ZONING MAP EXHIBIT A-JUSTIFICATION FOR PROPOSED REZONING

1. Is the proposed rezoning consistent with the Berkley Master Plan and the Future Land Use

The marihuana adult-use and medical use municipal retail and provisioning center license was approved by the Berkley City Council for this location. However, this use is not part of the City of Berkley's Master Plan or Future Land Use Map as the Master Plan did not contemplate marijuana uses generally and the high-traffic nature of these uses specifically. As a result, the Master Plan did not consider the need for additional parking for this use and other retail uses along Woodward Avenue (MDOT 2019 80,000 cars per day). The Future Land Use Map identifies properties west of the parcels along Woodward Avenue (Gateway Corridor) as Potential Corridor Expansion/Transitional Buffer.

Nonetheless, the proposed rezoning of the property located at 1299 Wiltshire is consistent with the Berkley Master Plan and Future Land Use if compared to other properties that have been identified as either Gateway corridor use or potential corridor expansion/transitional buffer. To illustrate, the Flagstar bank property directly north of the subject property is categorized on the Future Land Use map as the Gateway Corridor and has the same western property line as 1299 Wiltshire Road. According to the City of Berkley Master Plan, the parcels on Woodward were originally platted over a century ago and lack an adequate buffer between the high-traffic retail locations on Woodward Avenue and the residential properties immediately adjacent to them. This issue was addressed in the future land use map, which called for additional buffers between the high-traffic retail locations on Woodward and the residential neighborhoods immediately behind them.

For example, there are two single family homes located on Dorothea Road (1208 and 1224). These two properties are identified in the future land use map as Potential Corridor Expansion/ Transitional Buffer. A rezoning of the subject property would follow the existing land use pattern for properties abutting Woodward Avenue and would serve to support both the Woodward corridor and the adjacent residential neighborhoods.



2. Is the proposed rezoning consistent with the zoning classification of surrounding areas?

Yes, the proposed rezoning is consistent with the zoning classification of the surrounding areas. The following parcels are examples of surrounding Berkley properties along the Woodward Avenue corridor that are consistent with our request to conditionally rezone 1299 Wiltshire Road.

28653 Woodward Avenue/Flagstar Bank Branch: This property is located directly north of the subject property on the other side of Wiltshire Road. As indicated in the aerial picture below, the western property line of the Flagstar Bank property is in line with the western property line of 1299 Wiltshire Road. The proposed rezoning of the property will create a congruent layout within this section of Woodward Avenue and Wiltshire Road. The Flagstar Bank property is zoned Woodward District.



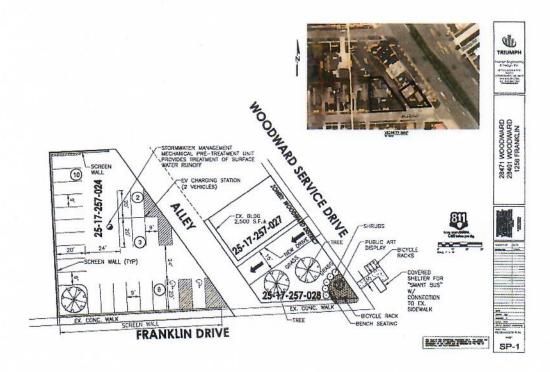
27365 Woodward Avenue/Einstein Bros. Bagels:



Surface parking lot for Einstein Bros bagel multiuse building

1256 Franklin Road/Multiple Family Residential Property:

The Planning commission approved the conditional rezoning application of another marihuana business license applicant from Multifamily Residential to Parking on January 29, 2020. The rezoning designation as Parking was contingent on the award of a marihuana business license to the applicant. This property is less than one hundred feet from the subject property.



27659 Woodward Avenue/Westborn Market:

This property is zoned Gateway District and Parking District. The parking lot of Westborn market abuts single family residential and is a large parking lot that accommodates the traffic at Westborn market. This property is less than one-half mile south of the subject property along Woodward Avenue.



Surface parking lot was developed for Westborn Market to accommodate the high traffic along Woodward Avenue

3. Are the site's physical or environmental features suitable for the range of uses permitted in the requested zoning district?

Yes, the site's physical and environmental features are more than suitable for the range of uses permitted in the requested zoning district. The proposed site plan for 1299 Wiltshire Road includes underground stormwater management, permeable pavers with surface drains, substantial landscaping along the inside perimeter and a 6-foot brick screening wall with a limestone cap-the same characteristics as the screening wall along the western portion of the Flagstar Bank property located at 28653 Woodward Avenue. In addition, the parking lot will have new LED pole lights indicated on the site plan to increase the safety and security of customers and nearby residents.



6-foot-tall brick screening wall with limestone cap located along the western property line at the Flagstar Bank property.

4. Would the uses permitted in the proposed zoning district be compatible with surrounding uses and zoning, in terms of views, noise, air quality, traffic, density, the environment, drainage, and land values?

Yes, the use permitted in the proposed zoning district (Parking District) would be compatible with surrounding uses and zoning, similar to the Flagstar Bank parking lot immediately to the North. For example, our parking lot will look similar to other surrounding parking lot uses and will have similar if not better landscaping compared to similarly situated Woodward parking parcels. Our screening walls will have the same characteristics as the screening walls of other similarly zoned sites in the surrounding area. Our proposed site plan includes a tree buffer and landscaping that will improve air quality and the environment in the immediate area and look similar to other parking districts in Berkley such as the Public Library.

Traffic will be similar to other parking lots in the surrounding area that have a surplus of parking to keep the flow moving, which would prevent customers from parking directly on Wiltshire or causing backups on Woodward Avenue similar to what happens at the Starbucks on Woodward Avenue. Traffic will not be affected on Wiltshire Road due to the increased parking area which provides more than the recommended amount of parking so the parking lot flow will keep moving. We will also be taking additional proactive measures to keep traffic off Wiltshire. The installation of signage at the Wiltshire exit of our parking lot will state "Right Turn Only", which will keep vehicles off of the residential sections of Wiltshire Road, instead directing them to Woodward. There will be a similar "Left Turn Only" sign when exiting the site via the alley to Franklin.

Drainage of excess rainwater will be compatible with other parking districts located in Berkley along the Woodward Corridor once we complete our stormwater management at the site. Numerous research studies show marihuana businesses increase property values of neighboring

real estate, including neighboring residential properties. However, Marihuana businesses, like all businesses, require ample parking to serve their patrons and to add value to the business while minimizing potential traffic concerns for nearby residents. Unlike many other Woodward parking lots, which were developed without stormwater management considerations, our site plan is, based on the stormwater management plans included with this application, in addition to proposed stormwater management plans which will be submitted for our primary site located at 28557 Woodward Ave. The implementation of the additional stormwater management at 1229 Wiltshire will help prevent localized flooding and increase the value of the residential properties in the area.

In sum, the proposed rezoning of 1229 Wiltshire Road to Parking District will be compatible with other commercial properties along Woodward Avenue that require parking to support their business along the Woodward Avenue corridor and is aligned with the need to provide a buffer between high-traffic retail locations on Woodward and the adjacent residential neighborhoods.

5. Does the public infrastructure (roads, water and sewer system) have capacity to accommodate the uses permitted in the proposed zoning district?

Yes. As indicated on the site plan, the property located at 1299 Wiltshire will be developed into surface parking for the Seven Point adult-use retail and medical provisioning establishment. The new surface parking lot, which will include 1299 Wiltshire, will have underground stormwater management in addition to the extensive stormwater management on the property located at 28557 Woodward Avenue including, landscaping, rain gardens, and green roof. These systems will reduce the strain on the city of Berkley's stormwater/sewer infrastructure and add value to the surrounding properties.

Moreover, Woodward Avenue is more than adequate to serve the high-traffic retail location that the subject property will service. We will be taking steps, such as the "Right Turn Only" sign at the parking lot exit, to ensure that all such traffic is funneled directly to and from Woodward Avenue, which has more than enough capacity to handle such traffic.

6. Provide any additional information that should be considered with your application and request:

We are seeking this conditional rezoning in order to ensure our customers are able to park in a well-lit and safe area, while also ensuring that they do not park directly on Wiltshire and interfere or become a nuisance to nearby residents. We believe our plan would benefit both nearby residents and our customers.

Our rezoning is in alignment with Berkley and other nearby municipalities desire to balance the high-traffic retail uses on Woodward with the neighborhoods that border it. To this point, the Master Plan states the following circumstances should be in place to consider a rezoning from single-family:

- The parcel or parcels in question are adjacent to a property zoned for mixed use or commercial uses with frontage on Twelve Mile, Eleven Mile, Coolidge, or Woodward.
- Mechanisms are in place in zoning or as a part of a conditional rezoning or planned unit development - to assure a substantial buffer, with a combination of landscaping, screening, and fencing, between single family neighborhoods and non-residential or mixed uses.

Our plan, as described above, addresses these considerations. We therefore respectfully request that you approve our application for rezoning of the subject property.



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

To: City of Berkley Planning Commission

From: Ben Carlisle, AICP

Date: May 26, 2022

Re: Sketch Plan: Franklin and Wiltshire Rezoning

An application has been submitted for a conditional rezoning of two (2) parcels; one (1) that fronts on Franklin Road (1276 Franklin) and one (1) that fronts on Wiltshire Road (1299 Wiltshire). The purpose of the conditional rezoning is to provide parking for a proposed marihuana retail and provisioning center that fronts on Woodward. Though just a sketch plan, we have been asked to provide comments to guide Planning Commission discussion. The sketch plan is contingent on the rezoning, and as such focused our review on the rezoning.



Zoning

The Wiltshire parcel is zoned R1-B. The Franklin parcel is zoned RM. Neither R1-B nor RM permit parking as a principal use.



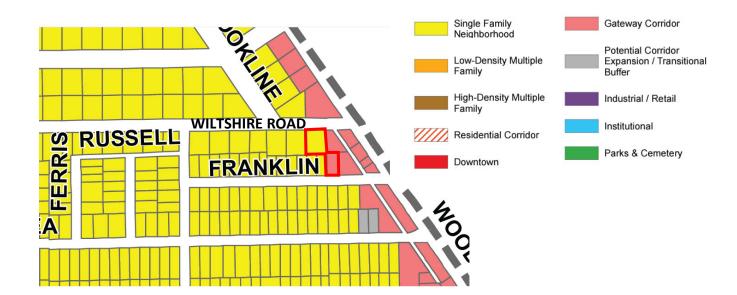
Master Plan

The Wiltshire parcel is future land use planned as Single-Family Residential. One of the items that was discussed during the master planning process was "zoning" creep, where zoning the corridors would extended "too far" into the neighborhoods. For that reason, the "Potential Corridor Expansion/Transitional Buffer" future land use category was strategically guide potential corridor zoning expansion. This site was not designed for that expansion purpose.

The Franklin parcel is future land use planned as Gateway Corridor. The intent of the Gateway Corridor future land use category is to improve the function, investment value and aesthetics of these corridors as mixed-use, walkable places.

The following land uses are expected to continue:

- Mixed-use buildings (no more than 3 stories)
- Offices
- Retail
- Restaurants
- Public spaces
- Institutions, such as places of worship
- Auto-oriented uses, such as gas stations or vehicle repair shops



Without a consideration of context, the rezoning to parking may be consistent with the Master Plan. However, reviewing the rezoning in context, the following points must be considered:

- The parcel is not adjacent to the alley, and the existing Woodward zoned area. Essentially, the rezoning would skip over the parcel at 1256/1258 Franklin. Its is not good zoning practice to have what could be considered a spot zone.
- If 1276 Franklin were rezoned, 1256/1258 Franklin would be surrounded by a parking lot north, an alley to the east and parking to the west.
- 1276 Franklin is very narrow, which doesn't allow any landscaping buffer between the two adjacent residential homes. A tenant of the Master Plan is for any rezoning or change of use is the protection adjacent residential properties.

Rezoning Standards

As set forth in Section. 138-585.of the Zoning Ordinance, the Planning Commission shall use the following standards in reviewing the application for rezoning:

- 1. Existing uses of property within the general area of the property in question;
- 2. The zoning classification of property within the general area of the property in question;
- 3. The suitability of the property in question to the uses permitted under the existing zoning classification;
- 4. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification; and
- 5. The objectives of the current master plan for the city.

The city planning commission shall not recommend the adoption of a proposed amendment unless it finds that the adoption of such amendment is not detrimental to the public interest.

The Planning Commission shall discuss these standards in the context of the proposed rezoning.

Summary

We find that the rezoning is inconsistent with the Master Plan. The Wiltshire parcel is master planned to remain single-family residential. Rezoning the Franklin parcel would create a spot zone, isolate 1256 Franklin, and not provide for an adequate buffer to either adjacent existing single-family home.

Sincerely.

CARLISLE/WORTMAN ASSOC., INC. Benjamin R. Carlisle, LEED AP, AICP

THE CITY OF BERKLEY Building Department 3338 Coolidge, Berkley, Michigan 48072 (248) 658-3320

NOTICE OF PUBLIC MEETING BERKLEY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN, in accordance with Section 138-528 and Section 30-806 of the Berkley City Code, that there will be a meeting of the Berkley Planning Commission to be held at the City of Berkley in the Council Chambers, 3338 Coolidge Hwy, Berkley Michigan, on <u>Tuesday</u>, <u>June 7</u>, <u>2022</u> at 7:10 pm, or as near thereto as the matter may be reached.

APPLICATION PSP-12-22

Seven Point Dispensing of Michigan, on behalf of The Greenside Trust, is requesting a sketch plan for the renovation of the existing building to be a retail marihuana dispensary at 28557 Woodward Avenue, Parcel #25-17-257-025, associated parking in the existing parking lot at Parcel #25-17-257-008, and proposed parking at 1299 Wiltshire Road, Parcel #25-17-257-007, and 1276 Franklin Road, Parcel #25-17-257-023.

Complete application information is available for review at www.berkleymich.org/urbanplanning.

Comments regarding the request may be made in person on the night of the meeting or may be made in writing. All written comments must be submitted to the Building Department or email to comdirector@berkleymich.net before 5:00p.m on the date of the Planning Commission meeting.

You can watch the meeting: https://www.berklevmich.org/livestream/index.php

MEGAN MASSON-MINOCK
INTERIM COMMUNITY DEVELOPMENT DIRECTOR

THE CITY OF BERKLEY Building Department 3338 Coolidge, Berkley, Michigan 48072 (248) 658-3320

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MEGAN MASSON-MINOCK
INTERIM COMMUNITY DEVELOPMENT DIRECTOR

Publish Once:

Royal Oak Tribune Friday, May 20, 2022 Occupant 28201 WOODWARD AVE BERKLEY MI 48072 0911 IRONHEAD TRUST 1359 DAVIS AVE BIRMINGHAM MI 48009 2075 28454 WOODWARD LLC 28454 WOODWARD AVE ROYAL OAK MI 48067 0937

FRANKLIN CORNERS ASSOCIATION 30600 NORTHWESTERN HWY STE 430 FARMINGTON HILLS MI 48334 MAJID D CHOLAK 1299 WILTSHIRE RD BERKLEY MI 48072 2136 Occupant 28300 WOODWARD AVE ROYAL OAK MI 48067 0936

Occupant 28478 WOODWARD AVE ROYAL OAK MI 48067 0937 THOMAS F ROLEWICZ JR MARY D GLYNN 1350 FRANKLIN RD BERKLEY MI 48072 2169 SEVILLE MOTEL PROPERTIES L.L.C. 701 MINNESOTA DR TROY MI 48083 6203

28454 WOODWARD LLC 28454 WOODWARD AVE ROYAL OAK MI 48067 0937 DUANA SCOTT 1294 FRANKLIN RD BERKLEY MI 48072 2116 AUDREY L STONE TOMAS STONE 1348 WILTSHIRE RD BERKLEY MI 48072 2150

ROBERT O'BRIEN WARD CONNIE ANN WARD 2936 BROOKLINE ST BERKLEY MI 48072 2101 Occupant 1265 FRANKLIN RD BERKLEY MI 48072 2115 DIANA TIEN LE 1276 FRANKLIN RD BERKLEY MI 48072 2116

Occupant 1256 FRANKLIN RD BERKLEY MI 48072 2116 DEREK PAUCK SHELLY A PAUCK 5003 ELMHURST ROYAL OAK MI 48073 SONRISA INVESTMENTS LLC 28401 WOODWARD AVE BERKLEY MI 48072 0912

DANIEL GABAY YISROEL GREEN 12357 MAGNOLIA BLVD APT 10 VALLEY VILLAGE CA 91607 2537 RENE TAVARES CHRISTIAM V GARCIA 1293 FRANKLIN RD BERKLEY MI 48072 2115 Occupant 28505 WOODWARD AVE BERKLEY MI 48072 0913

Occupant 28471 WOODWARD AVE BERKLEY MI 48072 0912 Occupant 28653 WOODWARD AVE BERKLEY MI 48072 0928 EDWARD COOPERSMITH 740 WELCH RD COMMERCE TOWNSHIP MI 48390 3812

CHRIST NATSIS
CHRISTINE MASON
25285 APPLETON DR
FARMINGTON HILLS MI 48336 1608

FLAGSTAR BANK FSB MSC T-100-BRET 5151 CORPORATE DR TROY MI 48098 2639 DANIEL LEE VERES TRUSTEE 1336 FRANKLIN RD BERKLEY MI 48072 2169

SSWC LLC 28747 WOODWARD AVE BERKLEY MI 48072 0929 FISHER-WOODWARD LLC 28506 WOODWARD AVE ROYAL OAK MI 48067 0938 TIMOTHY R PRYOR JR LAUREN FANT 1308 FRANKLIN RD BERKLEY MI 48072 2169 DYLLAN MCNAMARA 1321 FRANKLIN RD BERKLEY MI 48072 2171 DEREK PAUCK SHELLY A PAUCK 5003 ELMHURST ROYAL OAK MI 48072

Occupant 28531 WOODWARD AVE BERKLEY MI 48072 0913 Occupant 1241 FRANKLIN RD BERKLEY MI 48072 2115

IRONHEAD TRUST 1359 DAVIS AVE BIRMINGHAM MI 48009 2075 GEORGE KUCYJ 4769 PIER DR TROY MI 48098 4178

JOANNE M STENQUIST 1343 WILTSHIRE RD BERKLEY MI 48072 2137

Occupant 28530 WOODWARD AVE ROYAL OAK MI 48067 0938

PT PROPERTIES L.L.C. 25455 YORK RD ROYAL OAK MI 48067 3021

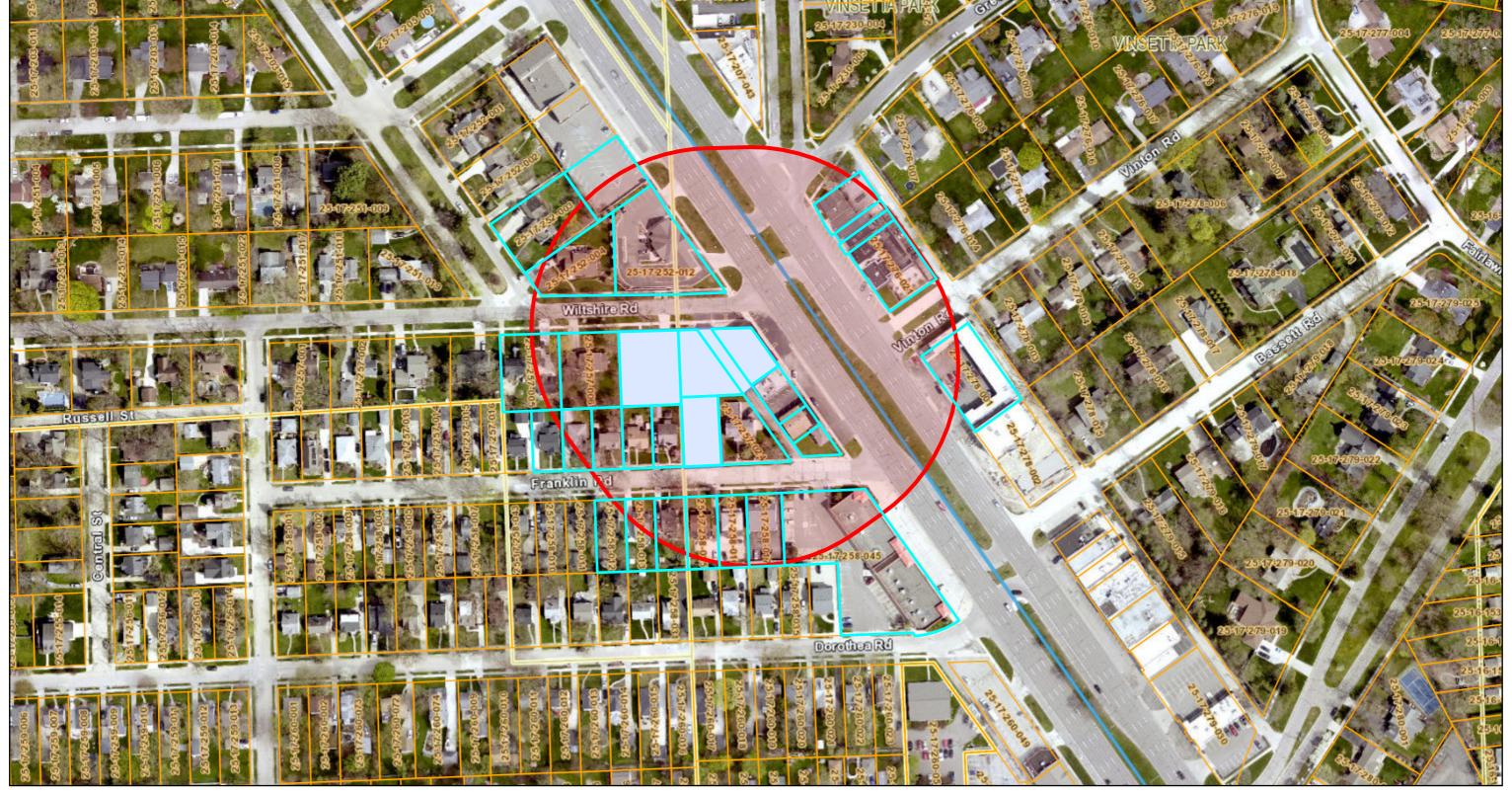
AMY DEE-ANNE IRWIN 1322 FRANKLIN RD BERKLEY MI 48072 2169

ELLORIE SILVER 1363 WILTSHIRE RD BERKLEY MI 48072 2137

ALAN N BURGY DINALE M BURGY 1307 FRANKLIN RD BERKLEY MI 48072 2171

Occupant 1247 FRANKLIN RD BERKLEY MI 48072 2115

7 Points Mailing Labels





RCOCAppMapService_5220



MEMORANDUM

To: Berkley Planning Commission

From: Megan Masson-Minock, Interim Community Development Director

Subject: Planning Commission Election of Officers

Date: June 1, 2022

The City of Berkley Planning Commission Rules of Procedure states that if there is a vacancy in the office of vice-chair for whatever reason, the commission shall select a successor to the office of vice-chair at the earliest practicable time. With the limited number of Planning Commissioners and summer vacations on the horizon, we are requesting that you elect a vice-chair at your June 7, 2022 meeting to assure that, in case the chair cannot attend, there is someone designated to chair the meeting.

The duties of the Vice Chair detailed in Section Three, item 2 of the Rules of Procedure are "If the chair is not able to chair a meeting or portion of a meeting, the vice chair shall act in place of the chair for that meeting or portion of meeting. The vice-chair shall act in the capacity of the chair and shall succeed to the office of chair in the event of a vacancy in that office."

The Rules of Procedure also require election of officers at your July meeting, when you will have at least two new members. At that time, you will elect a chair, vice-chair and secretary, so the vice-chair elected in June could serve for a short time!

Thank you.



MEMORANDUM

To: Planning Commission

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: Cover Memo for Response to Draft Master Plan for Huntington Woods

Date: June 2, 2022

Please find attached a draft response to the Huntington Woods draft Master Plan. At your upcoming meeting, please let me know of any edits or suggestions. The response does not need a motion, unless you want the response to be from the Planning Commission.

Thank you.



DRAFT

MEMORANDUM

To: Hank Berry, Zoning Administrator, City of Huntington Woods

From: Megan A. Masson-Minock, Interim Community Development Director

Subject: Response to Draft Master Plan for Huntington Woods

Date: June 2, 2022

We have reviewed February 2022 draft report for the Huntington Wood Master Plan Update. The following items in the report would impact the City of Berkley and generally agree with Berkley's recently adopted Master Plan:

Eleven Mile

- On the Future Land Use Map, the Eleven Mile Corridor is noted as "Enhance Corridor."
- Most of the Eleven Mile properties are designated "Preserve" on the Future Land Use map, with the
 retail area on the corner of Eleven Mile and Coolidge Highway designated as "Enhance."
- The existing parks and open space along Eleven Mile are planned as "Park and Open Space"
- The City Campus area on the southwest corner of Eleven Mile and Scotia Road is shown on the Future Land Use Map as "Invest." The recommendations for this area include focusing on rehabbing and upgrading the Public Safety Building and considering issuing a Request for Proposal to gauge developer interest in the Public Safety Building. The Berkley properties on the north side of Eleven Mile opposite this site are planned for Gateway Corridor, which would be compatible with a variety of USES.
- The Complete Streets Plan includes the following recommendations for Eleven Mile, all of which should be in cooperation with the City of Berkley:
 - New pedestrian mid-block crossings near Scotia and Meadowcrest.
 - A Safe Routes to School Study should be completed for the pedestrian crossings along Eleven Mile.
 - The lane reconfiguration along Eleven Mile to three-lane configuration. We appreciate that the draft report notes that coordination with the City of Berkley would be critical to successful implementation.

Woodward

- Woodward is also noted on the Future Land Use Map as an "Enhance Corridor."
- The Complete Streets Plan proposes pedestrian crossing improvements at Eleven Mile and Woodward and a dedicated bike lane or off-road bike facility along Woodward, continuing into City of Berkley.
- The report supports the station area/mobility hub at Eleven Mile and Woodward proposed in the Regional Transit Authority Mobility-Oriented Development Study of the Woodward. The City of Berkley's Master Plan references that report as well and supports its implementation.
- Streetscape improvements, façade improvements and infill development are recommendations in the Woodward Avenue Corridor Plan proposed in the report. These recommendations are compatible with Berkley's vision for its portion of the Woodward Corridor.

Coolidge Highway

- On the Future Land Use Map, the Coolidge Highway Corridor is also noted as "Enhance Corridor."
- The Coolidge Highway Corridor Plan in the report proposes streetscape improvements and access management that fit with Berkley's vision for Coolidge within its boundaries. The infill development opportunities noted in the report are south of the border with Berkley.

Thank you.

Cc: Berkley Planning Commission
Berkley City Council
Matt Baumgarten, City Manager
John Staran, City Attorney