

Planning Commission

Regular Meeting

January 19, 2022
6:30PM

Big Rapids City Hall
226 N Michigan Ave

Hybrid Meeting is also accessible via Zoom:

<https://us02web.zoom.us/j/86320142610?pwd=Yit6UytpdSswVHFyWnUrSmZ1SmR1QT09>

Meeting ID: 863 2014 2610

Passcode: 479355

Phone Login: Dial (312) 626-6799

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes
 - a. December 15, 2021
5. Public Comment Unrelated to Items on the Agenda
6. Public Hearing
7. General Business
 - a. Study Session: Proposed Zoning Ordinance Amendment to allow Marihuana Businesses to engage in Curbside Pickup
 - b. Study Session: Zoning Ordinance Amendments related to Redevelopment Ready Communities regarding Housing Types
8. Unscheduled Business
9. Adjourn

CITY OF BIG RAPIDS
PLANNING COMMISSION MINUTES
JOINT MEETING WITH THE CITY AND HOUSING COMMISSIONS
December 15, 2021
Unapproved

Chair Jane called the December 15, 2021 regular meeting of the Planning Commission to order at 6:29 p.m.

PLEDGE OF ALLEGIANCE

PRESENT Kasey Thompson, Chris Jane, Rory Ruddick, Sarah Montgomery, and Jacob Buse

EXCUSED Megan Eppley

ABSENT None

ALSO PRESENT Mark Gifford, City Manager
Tammy Gillis, City Clerk
Eric Williams, City Attorney
Aaron Kuhn, City Treasurer
Emily Szymanski, Planning & Zoning Technician
Paula Priebe, Community Development Director
Todd Richter, Fleis & VandenBrink

City Commission:

Fred Guenther, Mayor
Jennifer Cochran, City Commissioner
Robert Andrews, City Commissioner
Karen Simmon, City Commissioner
Jonathon Eppley, City Commissioner

Housing Commission:

Mark Sochocki, Executive Director
Linda Miller, Assistant Director of Programs
Dan Farrow, President
Carlleen Rose, Chair
Ruth York, Housing Commissioner

There were 4 audience members.

APPROVAL OF MINUTES

Motion was made by Jacob Buse, seconded by Rory Ruddick to approve the minutes of the September 15, 2021 meeting of the Planning Commission as presented, with no changes. Motion was passed with all in favor.

PUBLIC COMMENT NOT RELATED TO ITEMS ON THE AGENDA

None heard

GENERAL BUSINESS

Joint Session with the City Commission and the Housing Commission to Discuss Upcoming Housing Projects in Big Rapids, with a Focus on Mechanic Street

Staff Report

Mr. Mark Gifford summarized the Staff Report, stating that the City is in desperate need of new housing options to meet the current demand. One area in mind is the undeveloped portion of Mechanic Street. Gifford stated that the Housing Commission traded a lot on Division Street to acquire the west side of Mechanic Street in 2012. Since that time, City Staff have been discussing the feasibility of developing the street. Mr. Todd Richter, from the engineering firm Fleis & VandenBrink, summarized Phase 1 of the project. Fleis & VandenBrink examined the extension of Mechanic Street and all utilities along the west side of Mechanic Street, which would consist of approximately seven or eight lots. The project entails storm sewer, sanitary sewer, and water utilities as well as road construction. Richter stated that Fleis & VandenBrink also conducted a preliminary examination of Phase 2 of the project, which consists of the extension of the east side of Mechanic Street.

Discussion ensued over the following topics:

- Mayor Guenther asked if the sewer line would be large enough to handle the expansion. Richter stated that sewer line is currently running up Mechanic Street and would be able to handle Phase 1 of the project. There is another sewer line on DeKrafft that could be extended to handle Phase 2.
- Jane stated that he has concerns regarding the costs associated with the project and how long it would take to recuperate the investment. How would the cost-share relationship work? Gifford stated that there is a program called the 'Neighborhood Improvement Authority'. This program designates an area for future improvements and future tax increases are captured to pay for these improvements. Another option is to come up with the funds and have an agreement with the Housing Commission (i.e. if the Housing Commission would be responsible for building/selling lots and the City would be responsible for infrastructure).
- A resident stated that an old City dump was located on the undeveloped portion of Mechanic Street. Environmental quality tests need to be done. If it is a brownfield site, proper procedure will be followed.
- Ms. Rose stated that the City has a housing shortage and this is a project that should have happened years ago. The City and the Housing Commission need to go forward at some point and if both entities move forward carefully and deliberately, this is an opportunity to begin to address the lack of available housing units.

- What housing types are ideal for this area? Should the City focus on affordable housing or just new housing? Sochocki stated that the vision for the Mechanic Street expansion would be single-family homes, similar to those of Brookside Court, and they will strive to keep the costs as attainable as possible given building costs.
- With material and labor costs continuing to rise, the best option would be to start the work now.

City Staff will work further with Fleis & VandenBrink to work out all pre-construction duties and Staff will update Commissions once a definite plan is organized.

PUBLIC HEARING

Site Plan Review for a New Wendy's Drive-Through Restaurant at 614 S State Street (PIN 17-15-283-006)

The Public Hearing was opened at 7:35 PM

Staff Report

Szymanski summarized the Staff Report, stating that the City received a Site Plan Review application for 614 S State Street, which is the site of the Wendy's. The property is zoned C-3 Commercial and the proposed plan in the Site Plan includes a complete demolition and removal of the current structure and all pavement on site, then for the site to be rebuilt with a new Wendy's and parking lot. The Site Plan was reviewed by various City Staff to determine if they follow City Ordinances. After reviewing, Public Safety had no concerns. Public Works stated that all materials and sizing requirements meet code for storm water review, and grades and elevation look adequate. However, Matt Ruelle, Engineering Technician, stated that he had concerns regarding the proposed idea to use 2-inch water utility lines instead of 1 inch. He suggested that the Site Plan be approved with the condition of using the existing 1-inch water utility line. He also recommended that they utilize existing utility hookups rather than create a new one which would require tearing up newly paved Clark St.

Those Who Spoke in Favor of the Request: None heard

Those Who Spoke in Opposition of the Request: None heard

Telephonic or Written Correspondence Received by Staff:

Eric Podehl of 321 Sanborn Avenue spoke in favor of the request but stated he had concerns with adding new utility lines when Clark Street was just repaved, and new lines installed only three years ago. He recommended the engineers utilizing the existing lines.

The Public Hearing was closed at 7:42

Commissioners discussed the following items:

- Commissioners agreed that the Site Plan seems like a major improvement from the existing layout of Wendy's.
- Jane asked if the Applicants would be willing to use the existing connection. The Applicant stated that they would use the existing 1-inch lines over the proposed 2-inch lines.

Motion

Motion was made by Kasey Thompson, seconded by Sarah Montgomery, that the Site Plan Application for a new Wendy's drive-through at 614 S State Street (PIN 17-15-283-006), be approved with conditions. The Application meets the Criteria for Review set in Section 9.6 of the Zoning Ordinance, but conditions are required to protect the natural environment and conserve natural resources and energy.

The following conditions are required to address this need:

- Use the existing utility connections on Clark Street and revise plans to show existing 1-inch water lines.

A revised, dated site plan and documents addressing the above shall be submitted for staff approval within 60 days.

UNSCHEDULED BUSINESS None

There being no further business, Chair Jane adjourned the meeting at 7:46 PM with all in favor.

Respectfully submitted,

Emily Szymanski
Planning & Zoning Technician and Planning Commission Secretary

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Community Development Director
SUBJECT: Study Session: Proposed Zoning Ordinance Amendments to allow Marihuana Businesses to engage in Curbside Pickup
DATE: January 19, 2022

Introduction

The City Commission adopted a series of Ordinances in October 2019 to permit and regulate marihuana businesses in the City of Big Rapids. In the more than two years between then and now, the Ordinances have been in active use as businesses apply for Permits to open marihuana facilities in Big Rapids. A number of amendments to these Ordinances are being proposed by City Staff to correct issues and address concerns that have arisen since the Ordinances were initially adopted.

The majority of these changes are to the City Code of Ordinances in Title 11 Chapter 116, where the authorizing and regulating Ordinances reside. These changes are primarily procedural in nature and will address discrepancies within the Ordinances and between the local Ordinances and State rules.

One proposed change is of a more substantive nature: whether to allow curbside sales and dispensing of marihuana in commercial type facilities. Due to the site specific nature of this use, it is regulated both in the City Code and in the Zoning Ordinance, and thus must be approved by both the Planning Commission and the City Commission.

Curbside Sales and Dispensing Designation

Ordinance No. 752-10-19 amended the Zoning Ordinance to define and permit certain State licensed marihuana businesses. While the initial Ordinance expressly prohibited “drive-through, drive-up, or curbside services”, several months after the Ordinance was enacted, the Covid-19 pandemic began and almost all businesses in every sector pivoted to offering curbside service for public health and safety reasons and as a way to remain open to customers when federal and state regulations did not allow customers inside businesses. The City allowed marihuana businesses to conduct curbside service as an “emergency provision” during the ongoing pandemic until the Ordinance could be amended to address this issue.

The Community Development Director and City Attorney worked closely together to draft the proposed amendments. The staff recommendation proposed is: Amendment to Section 11.1:29 (2) (e) of the Zoning Ordinance

All activities, including all transfer of marihuana, shall be conducted within the building and out of public view. Drive-through, ~~drive-up, or curbside service~~ facilities are prohibited. **Curbside sales and dispensing of marihuana and marihuana-infused products are lawful with an approved “Curbside Sales and Dispensing Designation” as approved by City Code of Ordinances Section 116.**

This change would align the Zoning Ordinance with the proposed changes to the City Code, which has a similar proposed change: Amendment to City Code of Ordinances Title 11 Chapter 116.116 (B) (7)

Mobile marihuana facilities and drive-through operations are prohibited. Curbside sales and dispensing only allowed in private, off-street parking lots when a “Curbside Sales and Dispensing Designation” has been approved as part of the Municipal Marihuana Operating Permit.

These two related amendments functionally do two things: 1) formally allow for regulated marihuana curbside pickup, and 2) prohibit marihuana curbside pickup on public streets and in public parking lots.

This would impact all the local marihuana businesses in some way. Those with private, off-street parking lots would need to request a “Curbside Sales and Dispensing Designation” and meet the requirements to receive one in order to engage in curbside service. Those marihuana businesses in the downtown area which do not have private, off-street parking lots and rely on public parking lots and on-street parking spaces would be prohibited from engaging in curbside service.

Next Steps

The Planning Commission will discuss this topic at the January meeting. If there is consensus to move forward, Staff will prepare for the formal Public Hearing at the February 2022 meeting for a recommendation to be made to the City Commission. The City Commission has already held a Study Session on all the proposed amendments to the marihuana ordinances. They will vote on all of them at one time, after receiving a recommendation from the Planning Commission as regards curbside sales and dispensing.

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Emily Szymanski, Planning & Zoning Technician
Paula Priebe, Community Development Director
SUBJECT: Continued Discussion of Proposed RRC and Form-Based Code Amendments to the Zoning Ordinance – Housing Types
DATE: 19 January 2022

Introduction

The topic of housing has been of focus for City staff for many years and has been brought to the Planning Commission several times in the form of the housing study report, Redevelopment Ready Communities (RRC), and Form-based Code amendments to the Zoning Ordinance. Tonight's meeting will provide a recap on the housing study and the Use Table for the Zoning Ordinance while also discussing the residential building standards.

Discussion Thus Far

Housing Study

The need to complete a housing study was identified in the 2019 Strategic Plan and conducted in 2020. The complete report was presented during the September 1, 2020 Planning Commission meeting. Two larger findings were discovered from the study:

1. There is a great potential for new larger apartment buildings to free up single-family houses.
2. There are gaps for all other housing types, especially traditional houses (both for rent and to own) and 50+ apartment units. An overview of missing middle housing are attached to this Packet. The Housing Study Narrative and Full Report are available on the City website.

Use Table

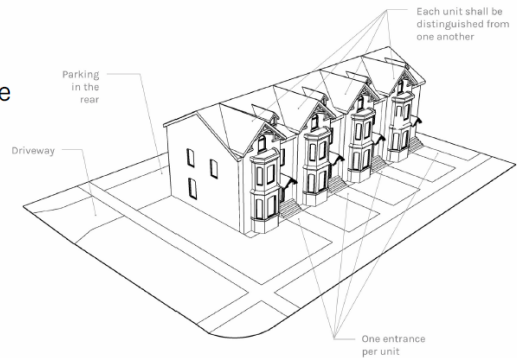
Adding a Use Table is a substantial but necessary change to the Zoning Ordinance. Staff last presented the draft Use Table during the September 15, 2021 Planning Commission meeting. The Table will replace the 'Principle Uses and Structures' Sections within Article 3 of the Zoning Ordinance. Rather than flipping through countless pages and reading through a laundry list of uses, having a designated Use Table will allow for a more user-friendly experience.

Tonight's Meeting

The attached Housing Study presentation provides an overview of potential housing types, some of which are currently prohibited in the City. Aside from a detached or semi-detached house, other housing types that would help meet the goals from the Strategic Plan and the Housing Study, include:

Townhouse

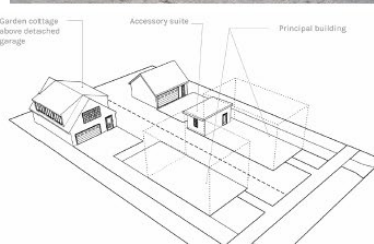
The **Townhouse** building type consists of structures that contain three or more dwelling units placed side by side. Townhouses are narrow, 2-3 story residential buildings with each unit having a pedestrian entrance directly to the street. Diversity in facade composition between individual townhouse units is intended to promote variety and visual interest and better match the rhythm of traditional neighborhoods' residential units.



Accessory Dwelling Units

"GRANNY FLATS"

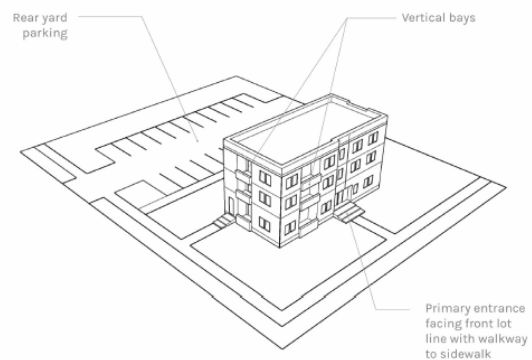
- Flexibility to accommodate multiple generations on one lot
- Owner-occupied principal building
- Income-generating rental unit
- Garden cottage (converted garage or other detached unit)
- Accessory suite (attached to principal structure)



Flats/small apartments

Flats consists of multiple dwelling units placed side by side or stacked, typically with one shared entry and a common internal hallway. This building type is appropriately scaled to fit adjacent to single-family neighborhoods transitioning to nearby mixed-use districts.

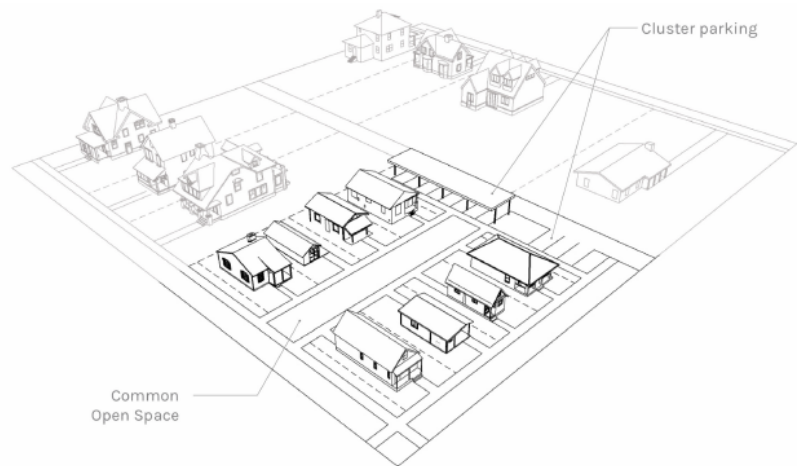
Flats can also be stacked on top of storefronts and are often called "lofts".



Trend: A return to early 20th century neighborhoods where small apartments fit into the fabric of the neighborhood

Cottage Courts

- **Cottage courts** are a grouping of small, single-family dwelling units clustered around a common area and developed with a coherent plan for the entire site.



The Table below is part of the broader Use Table and lists the housing allowed within each District.

Use	Residential					SmithGroup focus			Mixed-Use/Commercial		Industrial		Additional Conditions / (Use Standards?)
	Single Family	Single and Two-Family	Single & MF Units and Office	Mobile Home Park District	Residential Professional	Restricted Residence District	Commercial District	Commercial District	Commercial District	Industrial District			
	R-1	R-2	R-3	R-4	R-P	RR	C-1	C-2	C-3	I			
Residential													
Houses	P	P	P		P	P							
Townhouses		P	P			P		P					
Flats/Small Apartments			P			P		P					
Apartment Complexes			SLU										
Accessory Dwelling Units (ADUs)	P	P	P		P	P							
Cottage Courts		P	P									New types (above line) to replace three below.	
Single-Family detached dwelling unit	P	P	P		P	P							
Two- or Three-Family attached dwelling unit		P	P		SLU	P						add non-conforming language for R-P	
Multiple-Family Dwellings			P			P		P				11.1:13 (just design standards? Not conditions?)	
Mobile Home Parks				P									
Home Occupations	SLU	SLU	P		P	P		P				11.1:10	
Live-Work Units			P		P	P		P					

Residential Building Standards

One other major change to the Zoning Ordinance includes adding Section 4.2 to Chapter 4: General Provisions. This new Section will address architectural standards in the various Districts and also establish both residential design standards and building type standards in the Ordinance. Draft language for this new Section is attached to this Packet.

In addition to new language, Table 4.25(a) Residential General Building Standards will apply to all residential buildings in the City of Big Rapids. This is a necessary addition primarily because the current Ordinance lacks façade standards entirely.

Table 4.2-5(a) RESIDENTIAL GENERAL BUILDING STANDARDS		
(a) Fenestration		The primary facade shall have no less than 25% of the total facade comprised of windows and doorways. First story windows shall be taller than second story windows
(b) Facade Articulation		Blank walls over 30' in length are not permitted
(c) Front Porch or Stoop		(a) Front porches and stoops shall not extend into the public right-of-way. (b) Front porches may be covered by a roof or an open stoop. (c) Finished floor height of the porch deck shall be no more than 7 inches below the first interior finished floor level of the building. (d) Each residential unit with a separate entrance shall include a stoop of not more than 5' deep and 6' wide (not including steps or ramp) or a porch between 7' and 9' deep
(d) Allowed building materials	1. Primary Facade	a. Brick (natural, glazed) b. Stone (natural, synthetic) c. Fiber Cement Board Siding (eg Hardie Panel) d. Wood Siding (natural, composite) e. Vinyl Siding
	2. Secondary Facade and up to 50% of Primary Facade	f. Stucco (traditional cementitious, EIFS) g. Architectural Metal Panel (insulated, composite) h. Decorative cast concrete screens
(e) Utility Services		Services and utility hookups shall not be visible from the primary street frontage.
(f) Garage/Parking		a. Garages or carports may only occupy a maximum of 40% of the front facade. b. Temporary carports are not permitted. See also Sec. X.X Accessory Structures c. Driveways and parking areas shall be setback at least five (5) feet from the side or rear lot lines. d. Off-street parking and loading areas shall be surfaced with asphalt, bituminous or concrete pavement, brick or other permanent material as approved by the Director of Public Works. All parking areas shall be graded and drained to dispose of all surface water.

Add 4.1:25 Single Family Dwellings here?

Next Steps

This is an informational session only.

It has been decided by staff that the best way to move forward is to bring the downtown Form-based Code changes, the Use Table, Building Design Standards, Residential Building Type changes, and added definitions to the Planning Commission for adoption all at one time.

HOUSING

2020 MARKET STUDY AND STRATEGY



CITY OF
BIG RAPIDS
MICHIGAN

SMITHGROUP
LandUseUSA

OWN VS. RENT AND HOUSING TYPES

A Reminder:

- Condo is an ownership structure, not a housing type
 - Not all apartments are rentals and not all houses are owner-occupied
-
- The market analysis breaks down housing types by character AND by owner or renter
 - As we look to update zoning, remember that zoning cannot regulate ownership status – only by housing type

Typical Housing Types by Ownership Status

	Own	Rent
Detached	Typical single-family home or one side of a duplex	May be one house rented to one household or divided into 2-4 units
Attached	Typical condo style ownership of lofts or townhouses	Lofts, apartments, or townhouses

As you will see, the market isn't showing potential for more of these types of units

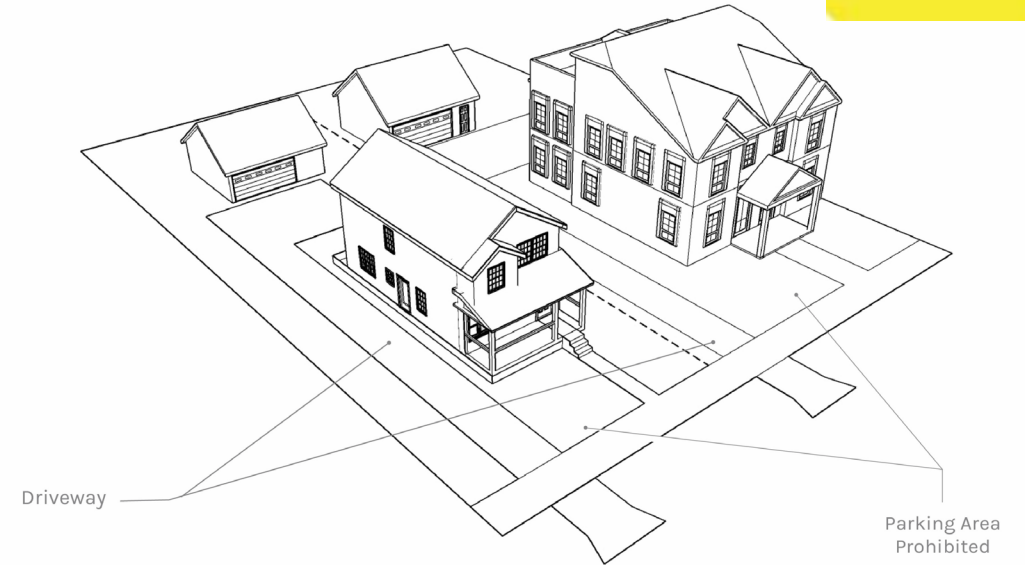
HOUSING TYPES

Type	Photo Examples	Form
 House	 	1-3 units, detached or semi-detached
 Townhouse		3 or more units, each with own entrance
 Flat		Flats/apartments with common hall and single entrance

HOUSE



The **House** building type consists of structures that contain one or more dwelling units stacked or placed side by side with each unit having access directly to the street. This building type has the appearance of a small- to medium-sized home and is appropriately scaled to fit within traditionally single-family neighborhoods.



Trend: Duplexes or triplexes that look like detached houses and match the character of the neighborhood – these are known as “semi-detached houses”



SEMI-DETACHED HOUSES

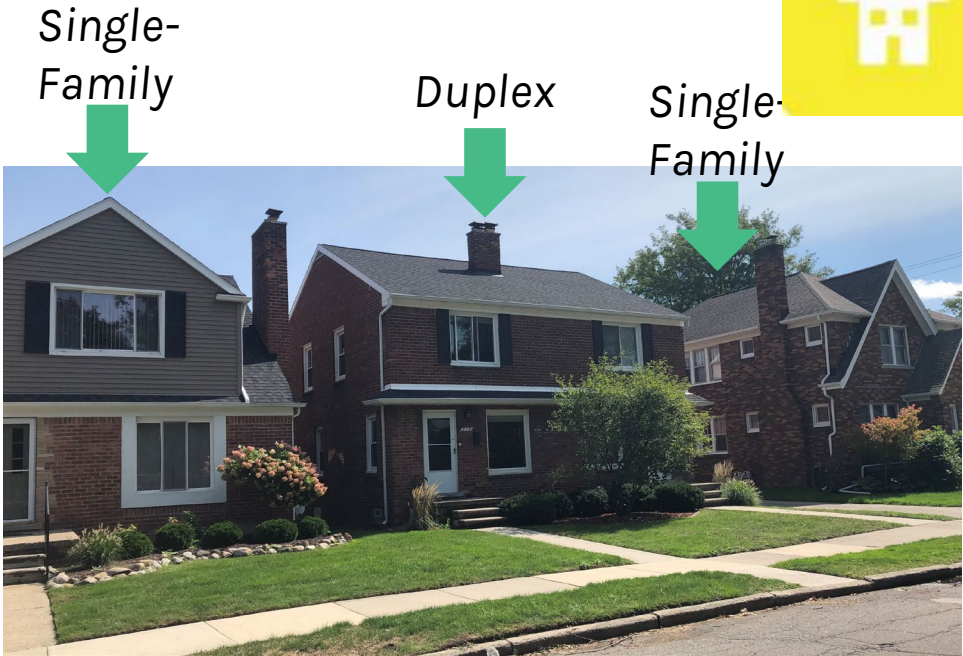
CAN FIT IN WITH TRADITIONAL SINGLE-FAMILY HOMES



Quadplex -4 units!



Mirrored Duplex



Mirrored Duplex



Triplex (mailboxes indicate)



Asymmetrical Duplex

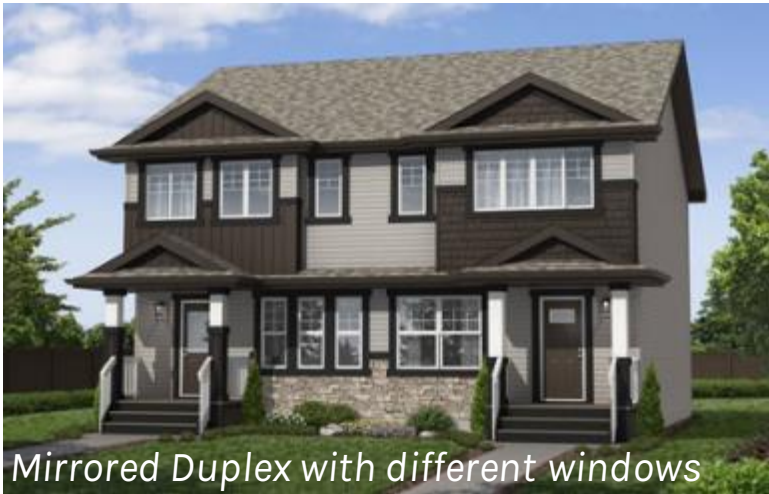


Mirrored Duplex

SEMI-DETACHED HOUSES



Triplex



Mirrored Duplex with different windows



Asymmetrical Duplex



Mt. Pleasant Triplex

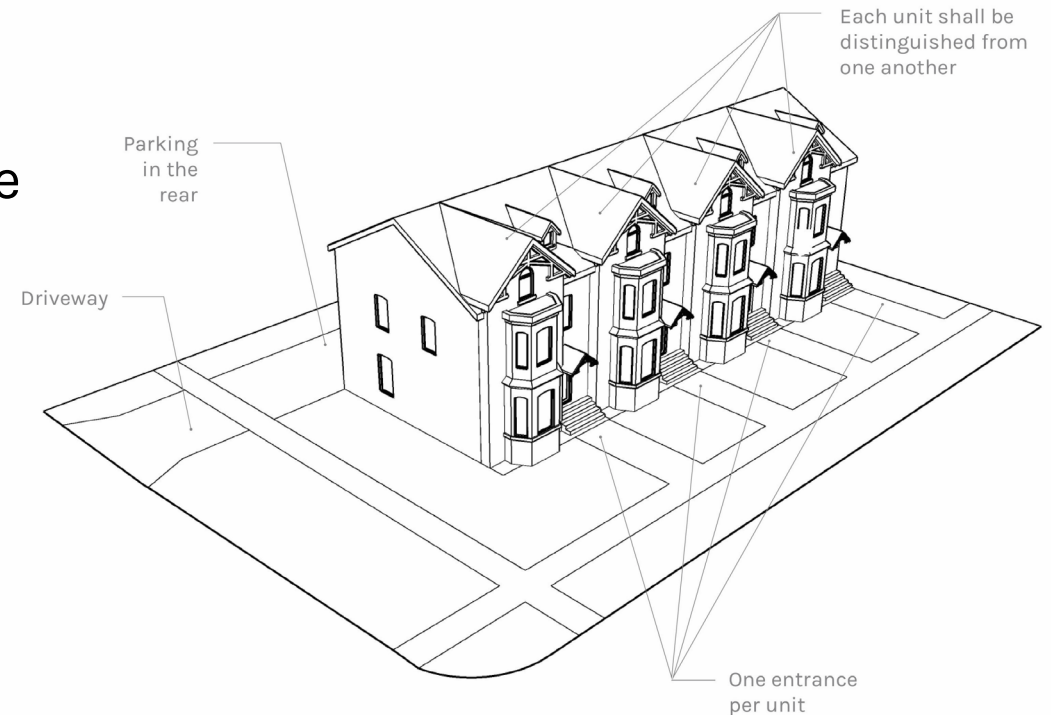


Mt. Pleasant Semi-Detached

TOWNHOUSE



The **Townhouse** building type consists of structures that contain three or more dwelling units placed side by side. Townhouses are narrow, 2-3 story residential buildings with each unit having a pedestrian entrance directly to the street. Diversity in facade composition between individual townhouse units is intended to promote variety and visual interest and better match the rhythm of traditional neighborhoods' residential units.



TOWNHOUSE EXAMPLES

Each has own entry
Side-by-side “rowhouse” style



TOWNHOUSES

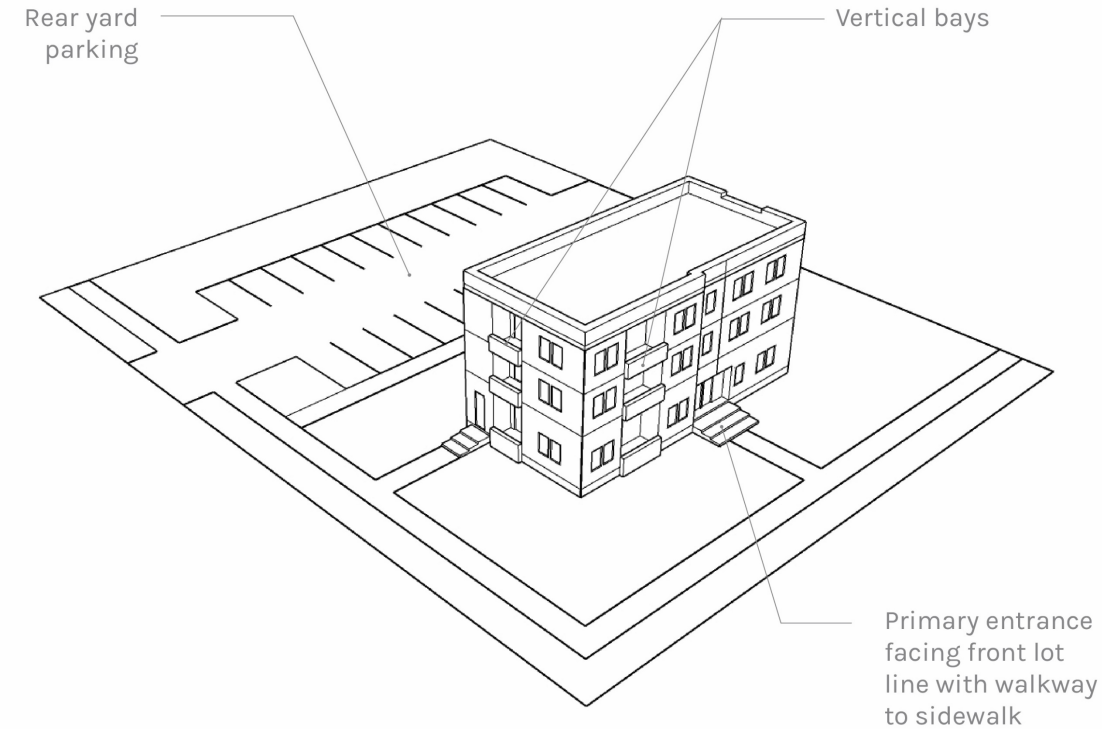


FLATS/LOFTS



Flats consists of multiple dwelling units placed side by side or stacked, typically with one shared entry and a common internal hallway. This building type is appropriately scaled to fit adjacent to single-family neighborhoods transitioning to nearby mixed-use districts.

Flats can also be stacked on top of storefronts and are often called “lofts”.



Trend: A return to early 20th century neighborhoods where small apartments fit into the fabric of the neighborhood

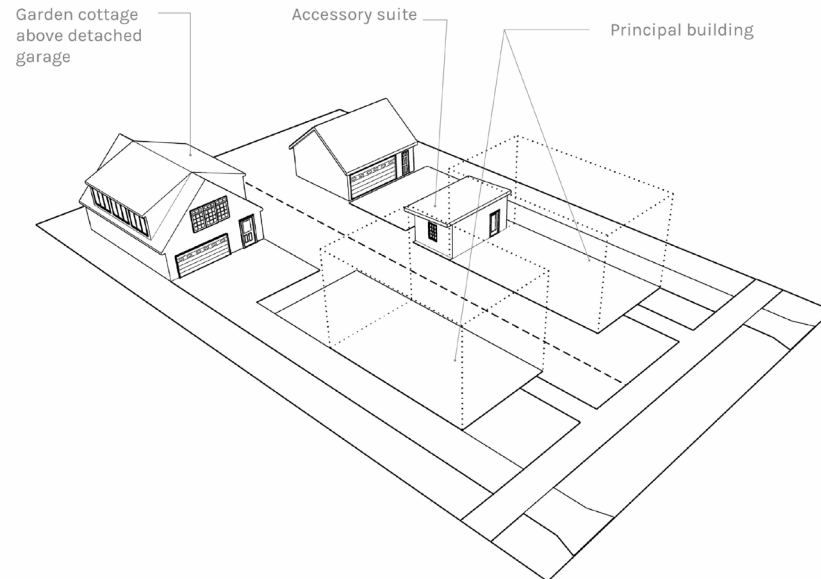
FLATS EXAMPLES



ACCESSORY DWELLING UNITS

“GRANNY FLATS”

- Flexibility to accommodate multiple generations on one lot
- Owner-occupied principal building
- Income-generating rental unit
- Garden cottage (converted garage or other detached unit)
- Accessory suite (attached to principal structure)



LARGE APARTMENT BUILDINGS

MID-RISE

- Apartment complexes on large parcels
- Planned sites with amenities such as fitness centers or pools



SMALL LOT SINGLE-FAMILY – “COTTAGE” STYLE BUNGALOWS



- Cottage style home appeals to empty nesters, young families, and singles

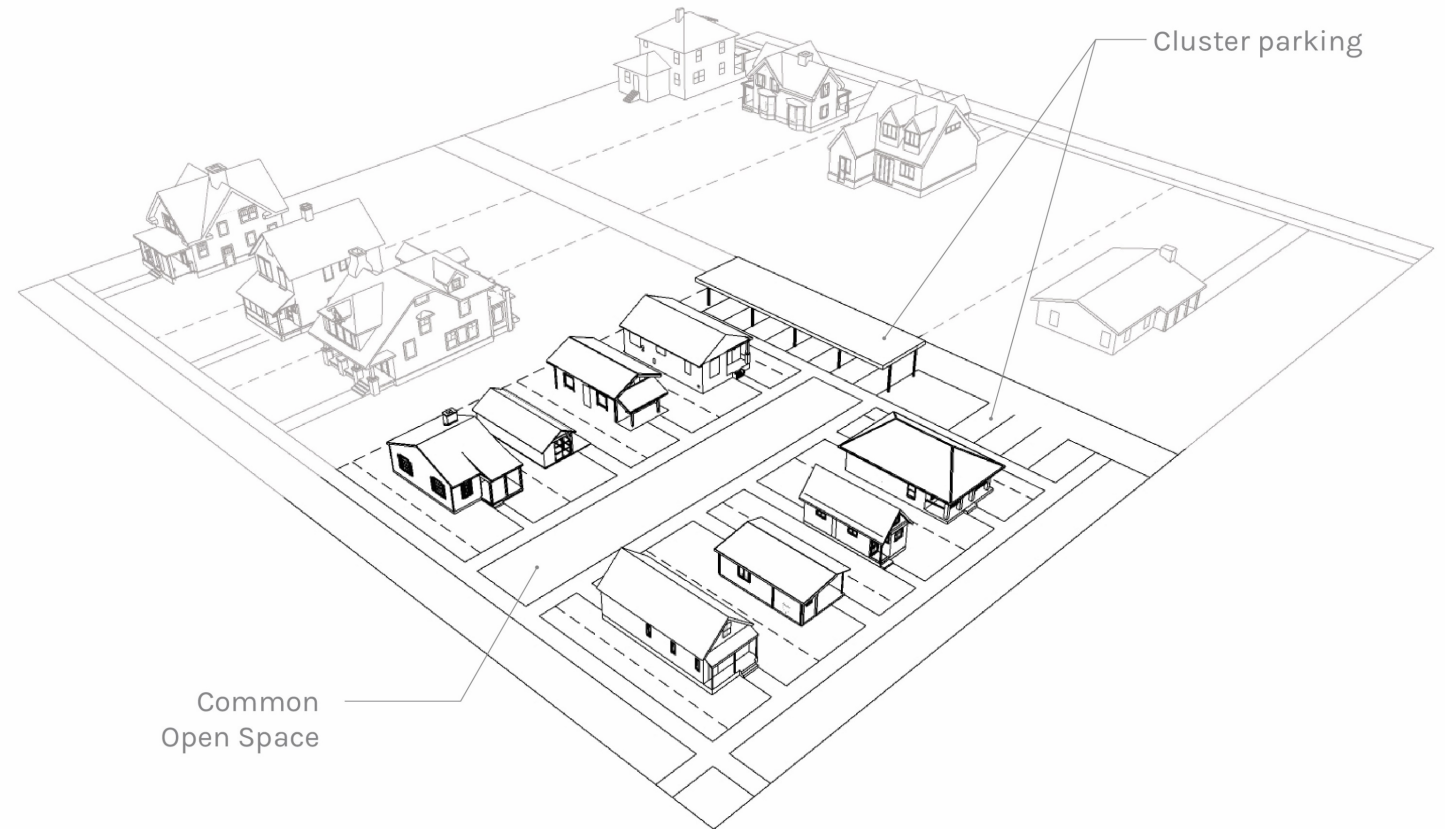


Trend: Cottage houses can be more affordable and offer the perks of maintaining a detached house at a smaller scale

COTTAGE COURT



- **Cottage courts** are a grouping of small, single-family dwelling units clustered around a common area and developed with a coherent plan for the entire site.



4.2. DESIGN STANDARDS (NEW SECTION IN 4: GENERAL PROVISIONS)

4.2:1 INTRODUCTION.

This section sets forth the architectural standards applicable to the various zoning districts in the City of Big Rapids. These standards supplement those stated for each Zoning District. These standards are intended to result in construction and development that reinforces the urban form and character of development as well as use and intensity of use established in the City of Big Rapids Master Plan.

4.2:2 APPLICABILITY

- (1) **New Construction.** This Section shall apply to all new construction and shall consist of those materials and design standards as set forth in this Section. Architecture shall be reviewed by the zoning administrator as a part of the site plan or building permit review under the requirements of this article.
- (2) **Existing Buildings.** The following shall apply to additions or remodeling of existing buildings or to accessory buildings on existing sites:
 - (a) Where a new wall material is proposed for an existing building wall, only that portion of the building being altered shall be subject to this Section. However, in considering the proposed alteration, the City may modify the material requirements of this Section to ensure consistency with the architecture of the remainder building.
 - (b) Where an addition is proposed to an existing building the Zoning Administrator may allow the use of existing or compatible wall materials for the addition; provided that the design of the alteration is consistent with the existing building wall design, and in accordance with the building design standards in this section.

4.2:3 MODIFICATIONS

The planning commission may grant modifications to the requirements of this section if it finds that a proposed building design is in keeping with the intent of this section and the recommendations of the master plan and meets all of the following conditions:

- (1) It is determined to not be grossly dissimilar in exterior design and appearance to nearby buildings and it does not adversely affect property values in the surrounding area.
- (2) It does not adversely affect the desirability of immediate and neighboring areas.
- (3) It does not impair the stability of the area or prevent the most appropriate use and development of real estate.
- (4) It does not adversely affect the public health, safety, comfort, and welfare of the citizens of the city
- (5) A structure may be determined to be compatible in design and appearance to other structures in the context in which it is to be located, even if it does not comply with

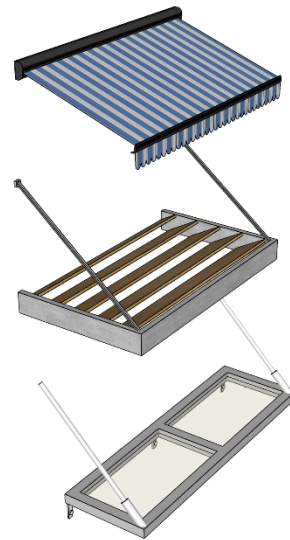
the above criteria, if it has other design features that make it harmonious with other structures or improve the character of the area in which it is located.

4.2:4 GENERAL ARCHITECTURAL

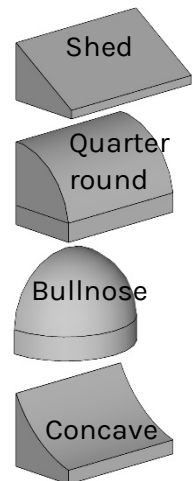
STANDARDS

(1) Awnings and overhangs

- (a) Awning and canopies may project over the sidewalk, provided the awning or canopy is at least eight (8) feet above the sidewalk and does not project closer than two (2) feet from the back of the street curb.
- (b) Awnings shall be of traditional, shed design and shall be made from fabric or metal materials and not from plastic, vinyl, or fiberglass.
- (c) Architectural horizontal canopies or sunshades are permitted and shall be made from metal or wood materials.
- (d) No internal illumination is permitted through the awning or overhang.
- (e) Quarter round, bullnose, concave configurations are permitted only on residential buildings.



*Retractable fabric,
wood louver, or glass/
metal sunshade
canopies*



*Shed is the
preferred
awning profile.
The other
awning types
are permitted
on residential
only.*

(2) Balconies and Fire Escapes

- (a) Balconies and fire escapes shall not be located within 5 feet of any common lot line and shall not encroach into the public right-of-way.
- (b) Balconies may be a single level or multiple balconies stacked vertically for multiple stories.
- (c) The balcony support structure shall be integrated with the building facade; separate columns or posts supporting any balcony from the ground are prohibited.
- (d) The balcony or fire escape design and material shall be compatible with the overall architectural style and color palette of the building.
- (e) Balconies, railings and porch structures shall be metal, wood, glass, cast concrete or stone.
- (f) Exterior stairs leading to upper story dwellings (fire escapes) may not be located in the front yard.

- (g) Balconies, porches, and fire escapes shall not contain permanent outdoor storage. Seasonal furniture intended for outdoor use and short-term storage of bicycles or similar are permitted when screened with railings integrated into the design of the building.
- (h) Fire escapes shall be designed in accordance with the applicable building codes and review by the Fire Marshal.

(3) Fenestration

- (a) Reflective, mirrored, or heavily tinted glass shall not be permitted.
- (b) In non-residential buildings, ground floor windows may not be obstructed by display cases, furniture, or stock (excepting operable sunscreen devices).
- (c) For multiple tenant buildings, the minimum ground floor transparency requirement must be met by each suite or tenant.

(4) Materials and Color

- (a) Durable building materials which provide an attractive, quality appearance shall be utilized.
- (b) For existing buildings, material replacement shall closely match or complement the character of the existing or original materials used on the structure.
- (d) Primary exterior building materials shall be of subtle, neutral, or earth tone colors.
- (e) The use of high intensity colors such as neon or fluorescent for the window and door trim, facade and roof of the building are prohibited except as approved by the Zoning Administrator.
- (f) Mechanical and service features such as gutters, ductwork, and service doors that cannot be screened must be of a color that blends in with the color of the building exterior.
- (g) The following exterior finish materials shall be required for walls visible from streets or an adjacent residential district:
 - 1. Primary Materials must be used to compose a minimum of 75% of wall area of the building base and 50% of wall area for the upper floors.
 - 2. Secondary Materials are allowed to compose a maximum of 25% of wall area in the building base and 50% of wall area for the upper floors.
 - 3. The exterior finish materials shall consist of no more than four (4) unique materials, excluding architectural detail, accent, or trim; and balconies and railings. A change in color, pattern, or profile shall constitute a unique material.

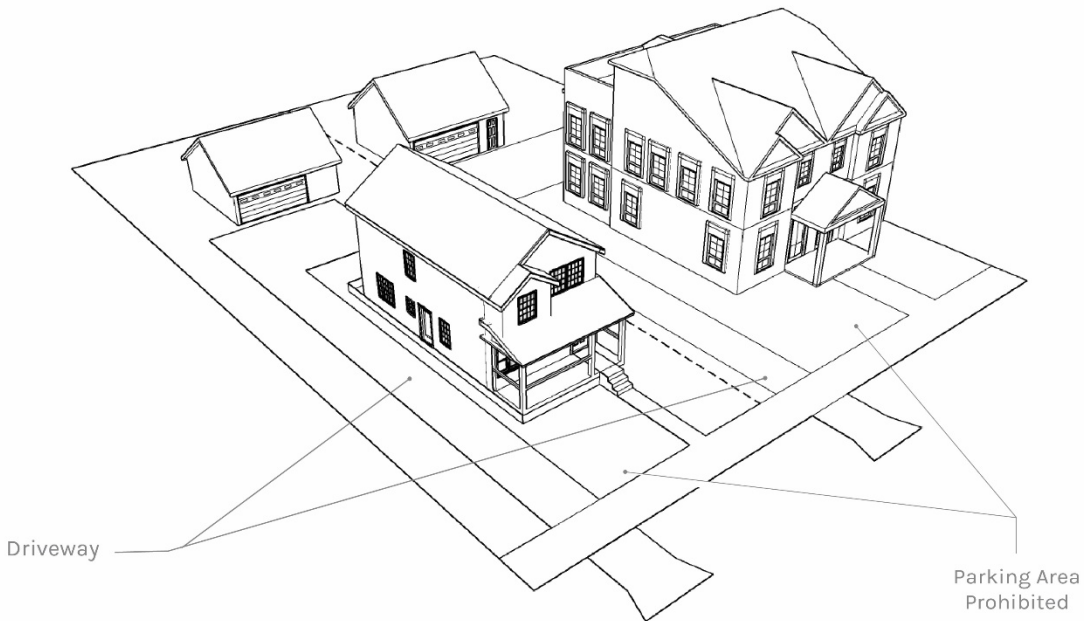
4.2:5 RESIDENTIAL BUILDING DESIGN STANDARDS

(1) **General Residential Standards.** The general standards in Table 4.2:5(a) apply to all residential buildings.

Table 4.2:5(a) RESIDENTIAL GENERAL BUILDING STANDARDS		
(a) Fenestration		The primary facade shall have no less than 25% of the total facade comprised of windows and doorways. First story windows shall be taller than second story windows
(b) Facade Articulation		Blank walls over 30' in length are not permitted
(c) Front Porch or Stoop		<p>(a) Front porches and stoops shall not extend into the public right-of-way.</p> <p>(b) Front porches may be covered by a roof or an open stoop.</p> <p>(c) Finished floor height of the porch deck shall be no more than 7 inches below the first interior finished floor level of the building.</p> <p>(d) Each residential unit with a separate entrance shall include a stoop of not more than 5' deep and 6' wide (not including steps or ramp) or a porch between 7' and 9' deep</p>
(d) Allowed building materials	1. Primary Facade	<p>a. Brick (natural, glazed)</p> <p>b. Stone (natural, synthetic)</p> <p>c. Fiber Cement Board Siding (eg Hardie Panel)</p> <p>d. Wood Siding (natural, composite)</p> <p>e. Vinyl Siding</p>
	2. Secondary Facade and up to 50% of Primary Facade	<p>f. Stucco (traditional cementitious, EIFS)</p> <p>g. Architectural Metal Panel (insulated, composite)</p> <p>h. Decorative cast concrete screens</p>
(e) Utility Services		Services and utility hookups shall not be visible from the primary street frontage.
(f) Garage/Parking		<p>a. Garages or carports may only occupy a maximum of 40% of the front facade.</p> <p>b. Temporary carports are not permitted. See also Sec. X.X Accessory Structures</p> <p>c. Driveways and parking areas shall be setback at least five (5) feet from the side or rear lot lines.</p> <p>d. Off-street parking and loading areas shall be surfaced with asphalt, bituminous or concrete pavement, brick or other permanent material as approved by the Director of Public Works. All parking areas shall be graded and drained to dispose of all surface water.</p>

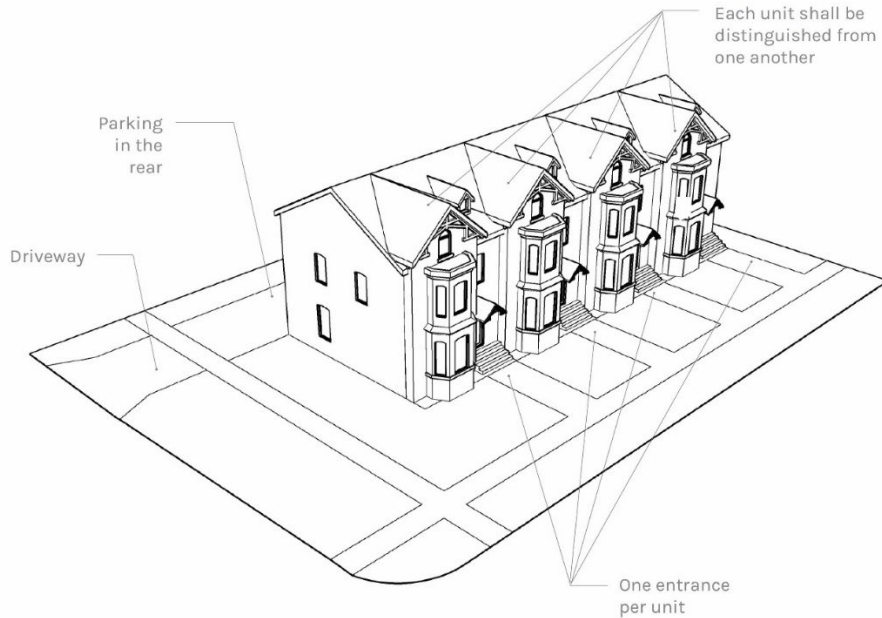
Add 4.1:25 Single Family Dwellings here?

(2) Building Type Standards. In addition to the General Standards in [Table 4.2:5\(a\)](#), the following building standards apply to specific residential building types according to permitted uses as defined in the District Articles.

(a) Houses	
	
1. Description	Houses are a building type that has the appearance of a single-family detached house that is appropriately scaled to fit within historically single-family neighborhoods. A house may consist of a detached structure incorporating one unit or semi-detached incorporating two or three units stacked or placed side by side with each unit having access directly to the street.
2. Building Entrance Orientation	<ul style="list-style-type: none"> a. All buildings shall provide at least one primary entrance facing the front lot line. A door may face a side lot line when the porch or stoop faces the front lot line. Any entrances to additional units may face a side lot line. b. Garages, carports, and overhead doors may not apply as the primary entrance. c. A walkway must extend from each dwelling primary entry to the sidewalk.
3. Parking Access and Location	<ul style="list-style-type: none"> a. Driveways may be located adjacent to the building. b. Parking may be provided on a driveway, garage, or carport in the rear or side yard. c. Garages shall not extend further into the front yard than the rest of the front facade. d. Parking areas shall not be located in any required front or side street yard, except in the case of a dwelling with a driveway

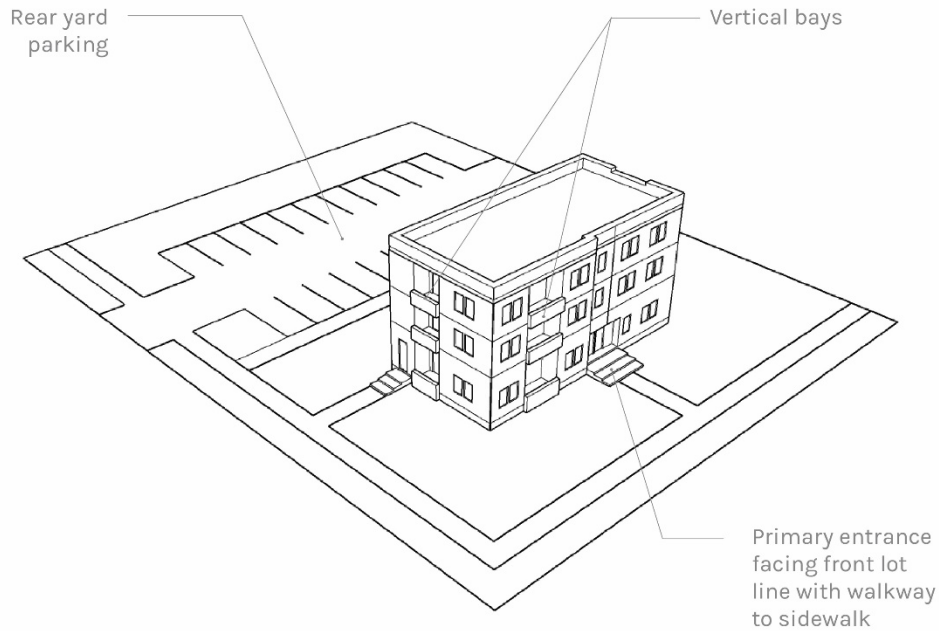
	<p>leading to a garage or parking area the drive may be used for parking.</p> <p>e. Multiple driveway entrances off the street or alley are prohibited.</p> <p>f. The driveway should be less than 40% of the front yard area.</p>
4. Applicable Districts	R-1, R-2, R-3, R-P, R-R

(b) Townhouses



1. Description	The Townhouse building type consists of structures that contain three or more dwelling units placed side by side. Townhouses are typically narrow, 2-3 story residential buildings with each unit having direct access to the street.
2. Building Entrance Orientation	<ul style="list-style-type: none"> i. Each dwelling shall provide a separate pedestrian entryway facing the front lot line with direct access to the sidewalk by way of a front porch or stoop with steps. ii. Primary entry for each unit or separated occupancy must face onto and connect to the primary street. The corner unit may face the secondary street. Secondary entries permitted from the side or rear.
3. Parking Access and Location	<ul style="list-style-type: none"> i. Garages or carports must be accessed from the rear yard via an alley. Where no alley exists, a driveway shall lead to rear access drive. ii. Parking may be provided on a driveway, garage, or carport located in the rear yard.
4. Articulation	Adjoined dwelling units shall be distinguishable through a change in plane, change in material, or architectural expression.
5. Applicable Districts	R-2, R-3, R-R, C-2

(c) Flats/Small Apartments



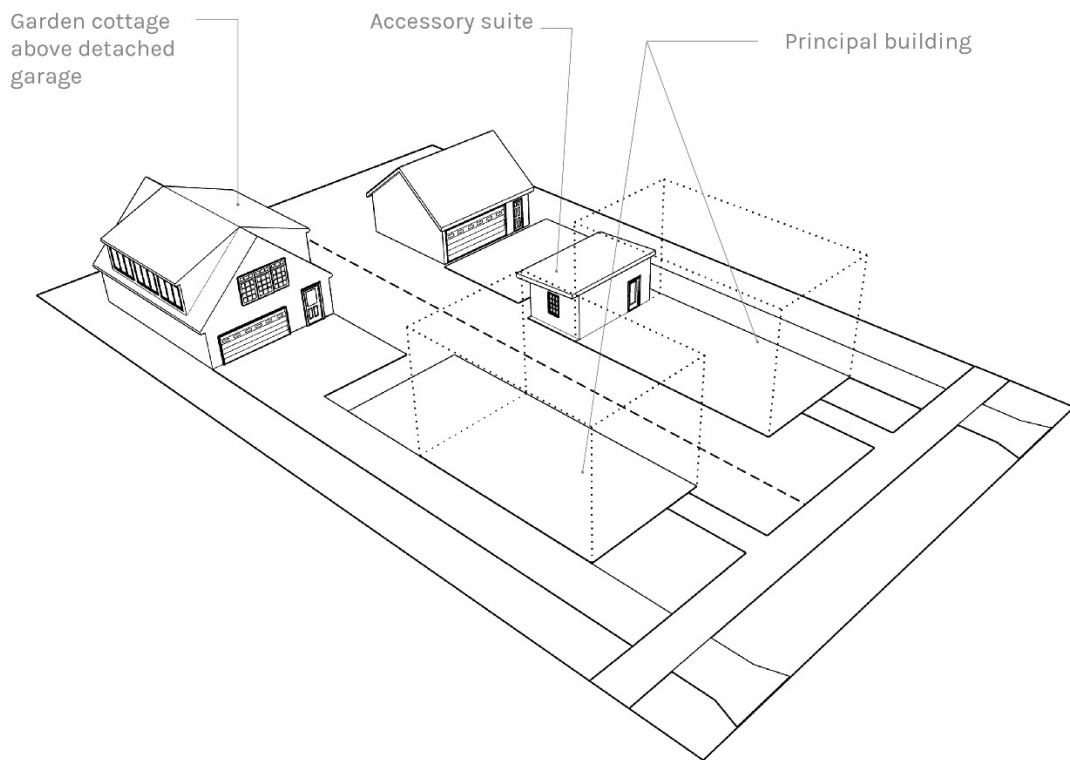
1. Description	This building type consists of multiple dwelling units placed side by side or stacked, typically with one shared entry. It is appropriately scaled to fit adjacent to single-family neighborhoods transitioning to nearby commercial districts.
2. Building Entrance Orientation	<ul style="list-style-type: none"> i. All buildings shall provide at least one pedestrian door facing the front lot line. ii. Secondary entries permitted from the side or rear.
3. Parking Access and Location	<ul style="list-style-type: none"> i. Building integrated parking permitted in rear of building. ii. Off-street parking shall be in rear yard. iii. Masonry screen wall required between parking and property line iv. Driveways must be located in the side or rear yard.
4. Articulation	Employ vertical bays- through change in material, transparency, or plane- to distinguish building entrance, dwelling units, or unit layouts.
5. Applicable Districts	R-3, R-R, C-2

(d) Apartment Complexes



1. Description	Apartment complexes are intended for larger scale, planned multi-family development consisting of apartment buildings. Apartment complexes should be designed with a campus-like character, providing shared open space, landscape buffering, and consistent site design features.
2. Building Entrance Orientation	<ul style="list-style-type: none">i. Sidewalks shall be provided along both sides of all drives within the developmentii. Entrances may face interior parking but should have pedestrian connections to the public right-of-way sidewalks.
3. Articulation	<ul style="list-style-type: none">i. Employ vertical bays- through change in material, transparency, or plane- to distinguish building entrance, dwelling units, or unit layouts.ii. No building shall exceed 150 feet in length
4. Open Space	At least 200 square feet of usable open space shall be provided for each apartment dwelling unit. Examples of usable open space include balconies with direct access to the dwelling unit, courts and yards which are open to the sky, or a roof which is developed exclusively for recreational use.
5. Permitted Districts	R-3

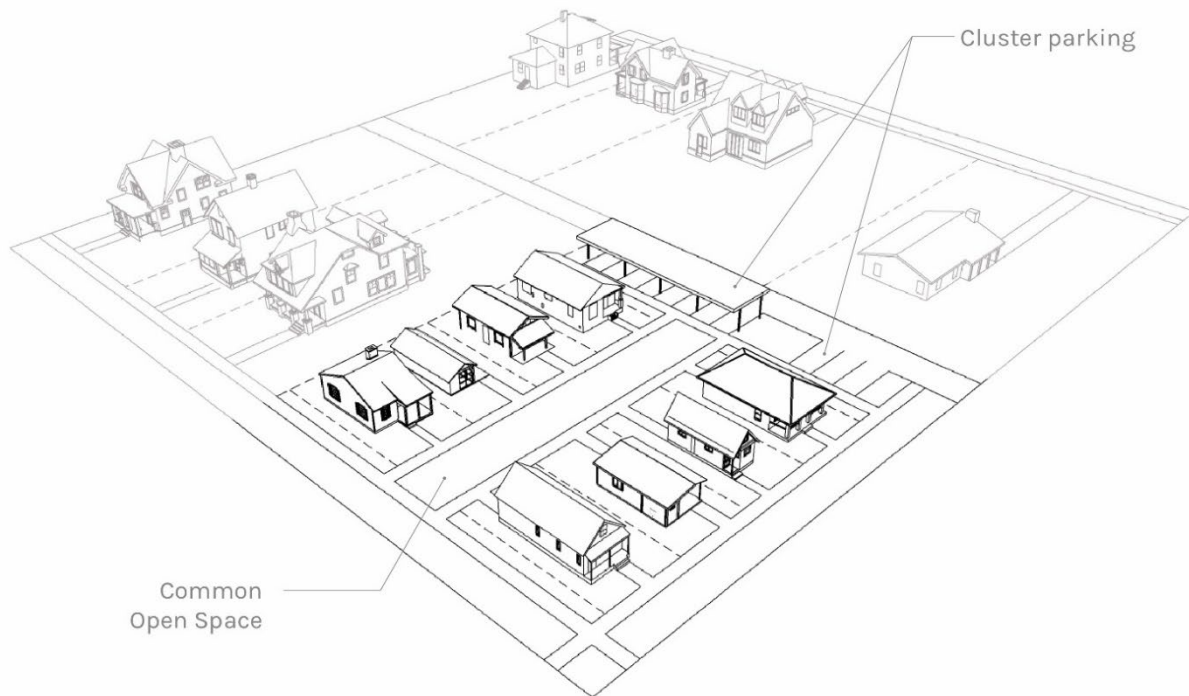
(e) Accessory Dwelling Units (ADUs)



1. Description	<p>A smaller secondary home on the same lot as a primary dwelling. ADUs are independent, habitable, and provide basic requirements of shelter, heating, cooking, water, and sanitary services. There are two types of ADUs: Garden Cottage and Accessory Suite.</p> <ol style="list-style-type: none">Garden Cottages are detached structures, either as a smaller, secondary home on the same lot as a primary dwelling or a suite above a detached garage.Accessory Suites are attached or are part of the primary dwelling.
2. Purpose	<p>Accessory dwelling units are allowed in certain situations to</p> <ol style="list-style-type: none">Create new housing units while respecting the look and scale of detached housing development;Support more efficient use of existing housing stock and infrastructure;Offer environmentally friendly housing choices with less average space per person and smaller associated carbon footprints;Provide housing that responds to changing family needs, smaller households, and increasing housing costs; andProvide accessible housing for seniors and persons with disabilities.

3. General Standards	<ul style="list-style-type: none"> a. Number. One ADU is permitted per residentially zoned lot. b. Creation. An ADU may be created through new construction, conversion of an existing structure, addition to an existing structure, or conversion of a qualifying existing house to a garden cottage while simultaneously constructing a new primary dwelling on the site. c. Use. Occupancy and use standards for an ADU shall be the same as those applicable to a primary dwelling on the same site. d. Height and Setbacks. ADUs shall meet the siting and massing standards of the district in which they are located. e. Yard Setbacks. No portion of an existing building that encroaches within a required yard setback may be converted to or used as a detached garden cottage unless the building complies with setback exemptions available elsewhere in the code. f. Alteration. If a garden cottage is proposed for an existing detached accessory structure that does not meet one or more of the above standards, the structure is exempt from the standard(s) it does not meet. Alterations that would move the structure out of conformance with standards it does meet are not allowed.
4. Building Entrance Orientation	<ul style="list-style-type: none"> a. Only one entrance may be located on the front facade of the primary dwelling facing the street, unless the primary dwelling contained additional entrances before the accessory suite was created. An exception to this regulation is entrances that do not have access from the ground such as entrances from balconies or decks. b. Entrance may face secondary street c. ADU may be accessed via external stairs per <i>Section 4.2:4(2) Balconies and Fire Escapes</i>
5. Building Design	<ul style="list-style-type: none"> a. Size. An ADU may be no more than 600 square feet or the size of the primary dwelling, whichever is less. b. Parking. No additional parking is required for an ADU. Existing required parking for the primary dwelling must be maintained or replaced on-site. c. Exterior finish materials. Exterior finish materials must visually match in type, size and placement, the exterior finish materials of the primary dwelling. d. Roof pitch. The roof pitch must be the same as the predominant roof pitch of the primary dwelling. e. Windows. If the street-facing facade of the ADU is visible from the street, its windows must match, in proportion and orientation, the windows of the primary dwelling. f. Eaves. The ADU must have eaves that project the same distance as the primary dwelling's eaves or greater from the building.
6. Permitted Districts	R-1, R-2, R-3, R-P, R-R

(f) Cottage Courts



1. **Description.** Cottage courts are a grouping of small, single-family dwelling units clustered around a common area and developed with a coherent plan for the entire site.
2. **Purpose.** The purpose of Cottage Courts is to:
 - a. Provide a housing type that responds to changing household sizes, ages and financial security (e.g., retirees, small families, single-person households, young professionals);
 - b. Provide opportunities for ownership of small, detached units within a neighborhood;
 - c. Encourage creation of more shared usable space for residents of the development through flexibility in density and lot standards;
 - d. Contribute to a strong sense of community through cluster arrangement;
 - e. Provide guidelines to ensure compatibility with surrounding uses; and
 - f. Allow for residential development in areas with environmental constraints like floodplains and woodlands.
3. **Definition.** A cottage shall be defined as:
 - a. A single-family dwelling of conventional modern construction and built to all Michigan building and sanitary codes;
 - b. Placed on a permanent foundation;
 - c. Has a total square footage of between 500 and 1,200;
 - d. Is sited on legally created parcel, subject to setbacks of this ordinance; and
 - e. Is connected to the municipal water and sewer systems.

4. **Accessory dwelling units.** Accessory dwelling units (ADUs) shall not be permitted in cottage court developments.

5. **Cottage Lot Requirements.**

1. Lot Width. Minimum width per lot shall be 18 feet. Maximum width per lot 30 feet.
2. Lot Depth. Minimum depth per lot 50 feet. Maximum depth per lot 100 feet

7. **House Site Arrangement.**

- a. Cottage courts shall contain a minimum of four cottages, with a maximum of 12 cottages per grouping. A development may contain multiple groupings.
- b. Groups of cottages shall be arranged on at least two sides of a common open space, or a configuration as otherwise approved by the director.
- c. On a lot to be used for a cottage court, existing detached single-family residential structures, which may be nonconforming with respect to the standards of this section, shall be permitted to remain, but the extent of the nonconformity may not be increased. Such nonconforming dwelling units shall be included in the maximum permitted cottage density.

8. **Height Limit and Roof Pitch.**

- a. The height limit permitted for structures in cottage court developments shall be 18 feet.
- b. The ridge of pitched roofs with a minimum slope of six to 12 (6:12) may extend up to 28 feet. The ridge of pitched roofs with a minimum slope of four to 12 (4:12) may extend up to 23 feet. All parts of the roof above 18 feet shall be pitched.

9. **Lot Coverage and Floor Area.**

- a. The maximum lot coverage permitted for buildings in cottage court developments shall not exceed 60 percent.
- b. The maximum main floor area is 700 square feet.
- c. The total floor area of each cottage shall not exceed either one and one-half times the area of the main level or 1,200 square feet, whichever is less. Enclosed space in a cottage located either above the main level and more than 12 feet above finished grade, or below the main level, shall be limited to no more than 50 percent of the enclosed space of the main level, or 400 square feet, whichever is less. This restriction applies regardless of whether a floor is proposed in the enclosed space, but shall not apply to attic or crawl spaces (less than six feet in height).
- d. Attached garages shall be included in the calculation of total floor area.
- e. Areas that do not count as total floor area are:
 - i. Unheated storage space located under the main floor of the cottage.
 - ii. Attached roofed porches.
 - iii. Detached garages or carports.
 - iv. Spaces with the ceiling height of six feet or less measured to the exterior walls, such as a second floor area under the slope of a roof.
 - v. The total square foot area of a cottage dwelling unit may not be increased under any circumstance.

10. Setbacks and Yards.

- a. Yards. The front yard setback for cottage courts shall be 15 feet.
- b. Rear Yards. The minimum rear yard for a cottage court housing development shall be 10 feet.
- c. Side Yards. The minimum required side yard shall be 5 feet.
- d. Interior Separation for cottages. The separation between cottages shall be between 5 and 15 feet.
- e. Courtyard. The minimum required courtyard width is 30 feet.

11. Required Open Space.

- a. Quantity of Open Space. A minimum of 400 square feet per unit of landscaped open space is required. This quantity shall be allotted as follows:
 - i. A minimum of 250 square feet per dwelling unit shall be provided as common open space. (Setbacks and private open space shall not be counted as common open space.)
 - ii. A maximum of 200 square feet per unit may be private usable open space (setbacks and common open space shall not be counted as private open space); and
- b. Setbacks, stormwater management facilities, parking areas, buffers, and driveways do not qualify as open space area.
- c. Required common open space shall be provided at ground level in one contiguous parcel. Each cottage shall abut the common open space, and the common open space shall have cottages abutting at least two sides.
- d. The minimum horizontal dimension for common open space shall be 10 feet.
- e. Each house shall abut its private open space, if provided. A fence or hedge not to exceed three feet shall separate private open space from common open space.
- f. If provided, private usable open space shall be in one contiguous area with a maximum area of 200 square feet. No horizontal dimension of the open space shall be less than 10 feet and shall be oriented toward the common open space, as much as possible.

12. Building Entrance Orientation.

- a. Primary entry shall be oriented towards the common open space area.
- b. Sidewalk connections shall be provided from primary entrances to sidewalks.
- c. Covered front porches are required with a minimum area of 60 square feet with a minimum dimension of six feet on any side.
- d. Secondary entrances facing a street or sidewalk shall have a five-foot by five-foot porch.
- e. Five-foot-wide pedestrian pathways (sidewalks) must be included to provide for movement of residents and guests from parking areas to homes and other amenities.

13. Building Design.

- a. Separation of Identical Building Elevations. Units of identical elevation types must be separated by at least two different elevations. This will result in at least three

different elevation plans per cluster. No two adjacent structures shall be built with the same building size or orientation (reverse elevations do not count as different building elevations), facade, materials, or colors.

- b. **Variety in Building Design.** A variety of building elements and treatments of cottages and garage or carport must be incorporated. Structures must include articulation, change in materials or texture, windows, or other architectural feature as shown in the city's design standards. No blank walls are allowed.

14. Parking. Parking shall be:

- a. Located on the cottage court development property.
- b. Located in clusters of not more than five adjoining spaces.
- c. Screened from public streets and adjacent residential uses by landscaping or architectural screening.
- d. Parking is allowed between or adjacent to structures only when it is located toward the rear of the principal structure and is served by an alley or private driveway.
- e. Not located in the front yard.
- f. Off-street parking requirements are as follows:
 - i. Units under 700 square feet: one space per unit;
 - ii. Units between 700 and 1,200 square feet: one and one-half spaces per unit
 - iii. At least one parking stall per dwelling will be enclosed or covered.
- g. Access to parking shall be from an alley or a private drive that is accessible from a public road. A private drive must meet the city's engineering design and development standards.

15. Covered Parking. Covered parking areas should be located so their visual presence is minimized, and associated noise or other impacts do not intrude into public spaces. These areas should also maintain the single-family character along public streets.

- a. For shared detached garages, the design of the structure must be similar and compatible to that of the dwelling units within the development.
- b. Shared detached garage structures shall be reserved for the parking of vehicles owned by the residents of the development. Storage of items which precludes the use of the parking spaces for vehicles is prohibited.
- c. The design of carports must include rooflines similar and compatible to those of the dwelling units within the development.

16. Screening Requirements.

- a. Boundaries between cottages and neighboring properties shall be screened with landscaping to reduce the appearance of bulk or intrusion onto adjacent properties, or otherwise treated (i.e., through setbacks or architectural techniques) to meet the intent of this section.
- b. Common waste and other storage receptacles shall not be placed in the front yard setback area.
- c. Common waste and other storage receptacles shall be architecturally screened and/or screened with landscaping so as to mask their appearance to residents, adjacent property owners, and the public rights-of-way.

17. **Requests for Modifications to Standards.** The City Manager or Zoning Administrator may approve minor modifications to the general parameters and design standards set forth in this chapter, provided the following criteria are met:
- a. The site is constrained due to unusual shape, topography, easements, flood prone, or sensitive areas.
 - b. The modification is consistent with the objectives of this chapter.
 - c. The modification will not result in a development that is less compatible with neighboring land uses.
18. **Maintenance of open space and utilities.**
- a. Before Final approval is granted, the applicant shall submit covenants, deeds and homeowners association bylaws and other documents guaranteeing maintenance and common fee ownership of public open space, community facilities, private roads and drives, and all other commonly owned and operated property. These documents shall be reviewed, approved, and recorded at the County.
19. **Permitted Districts.** R-2, R-3.