

Planning Commission

Regular Meeting

May 18, 2022

6:30PM

Big Rapids City Hall
226 N Michigan Ave

Hybrid Meeting is also accessible via Zoom:

<https://us02web.zoom.us/j/81759916464?pwd=RmN0cmx0a09SV1M4aTE2R3hrVmRHQT09>

Meeting ID: 817 5991 6464 Passcode: 858662 Phone Login: Dial (312) 626-6799

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes
 - a. April 20, 2022
5. Public Comment Unrelated to Items on the Agenda
6. Public Hearing
 - a. Site Plan Review for a Facility Expansion at 602 S Bronson Ave
 - b. Special Land Use Permit Application for a New Drive-Through Restaurant at 1250 Perry Ave
 - c. Site Plan Review for New Drive-Through Restaurant at 1250 Perry Ave
 - d. Site Plan Review for a Facility Expansion at 730 Water Tower Rd
 - e. Request to Vacate an Easement in Rust Avenue for Road Extension
7. General Business
8. Unscheduled Business
9. Adjourn

CITY OF BIG RAPIDS
PLANNING COMMISSION MINUTES
April 20, 2022
Unapproved

Vice Chair Eppley called the April 20, 2022 regular meeting of the Planning Commission, to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE

PRESENT Megan Eppley, Jacob Buse, Kate McLeod, Kasey Thompson, Rory Ruddick, and Sarah Montgomery

EXCUSED Chris Jane

ABSENT None

ALSO PRESENT Paula Priebe, Community Development Director
Emily Szymanski, Planning & Zoning Technician

There were 10 audience members.

APPROVAL OF MINUTES

Motion was made by Rory Ruddick, seconded by Jacob Buse, to approve the minutes of the March 16, 2022 meeting of the Planning Commission as presented, with no changes. Motion was passed with all in favor.

PUBLIC COMMENT NOT RELATED TO ITEMS ON THE AGENDA

None heard

PUBLIC HEARINGS

Zoning Ordinance Map Amendment Application to Rezone 126 S Dekrafft Avenue from R-1 Residential to I Industrial

The Public Hearing was opened at 6:33 PM.

Staff Report

Priebe summarized the Staff Report stating that City staff received an application to rezone this property by the property owner, Michigan Pipe Dreams LLC. The owners also own the other three parcels of the block as well and have received special land uses for marihuana grow facilities 126 S Dekrafft Avenue is currently zoned R-1 Residential and is vacant. The applicants are requesting the property be rezoned I Industrial. In the Industrial District, it is intended to provide areas of industrial development for trades and light industries. This District permits primarily manufacturing and warehouse uses as well as offices and other accessory uses related to a principal industrial use. Marihuana growers and processors are permitted in the I Industrial District as a Special Land Use. Staff supports recommendation adoption of the Zoning Ordinance Map Amendment to rezone the property from R-1 Residential to I Industrial as it meets the Standards set in Section 14.2:4 of the Zoning Ordinance.

Kimberly Yob, Chief Operating Officer of Michigan Pipe Dreams, stated that the main reason for the rezoning request is for possible expansion of the marihuana grow and process facility in the future. Although there are no plans to expand right now, if the business ever needed more space, 126 S Dekrafft would be available to them.

Those Who Spoke in Favor of the Request: None heard

Those Who Spoke in Opposition of the Request:

Jean Schneidt, of 22101 13 Mile Road, stated that she has concerns regarding the lack of “buffer zones” between industrial and residential. Mrs. Schneidt suggested that the property be rezoned Commercial to provide a smoother buffer between residential and industrial. Ms. Paula Priebe stated that in Section 8.3 – Minimum Buffer Zones of the Zoning Ordinance, adjacent uses that have potential conflict, there are required levels of “buffer”. However, the Zoning Ordinance does not require a buffer from one use to another use, the Minimum Buffer Zones described in Section 8.3 are more so regarding landscaping and fencing buffer requirements. R-1 Residential uses are considered a level one use and I Industrial uses are considered a level four use. This requires the highest level of buffer (trees and hedges four feet in height or an eight-foot fence). If there is ever an expansion, the owners would be required to go through the Site Plan Review process and buffering would be one required element included in the plans.

Telephonic or Written Correspondence Received by Staff: None received

Vice Chair Eppley closed the Public Hearing at 6:44 PM and the Commission entered into Fact Finding.

- Eppley stated that if there are no current plans of expanding, why would the Applicant wish to rezone the parcel right now? Mrs. Yob stated that rezoning to parcel from R-1 Residential to I Industrial would ensure the owners that expansion could happen if they ever need to.

- Thompson clarified that if the Applicant received the rezoning approval, the Applicant would most likely expand in the future. Mrs. Yob stated that yes, expansion is the plan.

Motion

Motion was made by Rory Ruddick, seconded by Sarah Montgomery to move that the Rezoning Application for 126 S Dekrafft Avenue (Parcel #17-14-454-002) from R-1 Residential to I Industrial be recommended to the City Commission for approval because it meets the Standards set in Section 14.2:4 of the Zoning Ordinance.

Motion passed with all in favor.

Request to Discontinue Two Alleys that Enter Maple Street Adjacent to Big Rapids Products

The Public Hearing was opened at 6:55 PM.

Staff Report

Priebe stated that the City Commission received a request to discontinue two alleys that enter Maple Street adjacent to Big Rapids Products. Priebe stated that Big Rapids Products has safety concerns due to the heavy vehicle traffic that use the alleys. As part of this review process, several departments in the City were consulted regarding the proposal of vacating two alleys, and their feedback is provided in the packet created for this meeting. Upon review of the proposal and in recognition of feedback by the departments, staff encourages the Planning Commission to recommend denial of the request to discontinue use of two alleys that enter Maple Street adjacent to Big Rapids Products.

Mr. John Chaput, President of Big Rapids Products, was not present at the meeting, however, did submit a letter in support of the two alleys being discontinued. A summary of the letter is included below.

“...Closing the alleys would complete the original intent and goals of the City so many years ago, reduce the City’s maintenance costs, make the neighborhood safer, and make traffic flow on Maple Street smoother and safer... If the continued use of the alleys is to be allowed, an alternative solution would be to widen and pave the alleys, give them names, street signs, intersection lights, and punctuate them with STOP signs. This would clearly be more expensive and goes against the City’s original intent of closing Pemberton and Gilbertson Streets in the first place.”

To read Mr. Chaput’s letter in full, please see the attached letter at the end of these minutes.

Those Who Spoke in Favor of the Request: None heard

Those Who Spoke in Opposition of the Request:

Jean Schneidt of 22101 13 Mile Road stated that the City never intended to close any alleys, like Mr. Chaput stated in his letter. Mrs. Schneidt said that previous City Managers have asked Mr. Chaput what his intentions were for the properties he purchased, and Mr. Chaput would not disclose any information. She also expressed concerns regarding the amount of noise that is heard by residences that are close to Big Rapids Products. The landscaping buffer that is in place does not do anything to improve the noise pollution produced from the business. If the intent was to expand and add an office space, why not disclose that information? Adding a building might help to buffer the noises created by Big Rapids Products. The alleys in question are used heavily by the surrounding neighborhood and Mrs. Schneidt stated that Mr. Chaput will not allow cul-de-sacs on his property to accommodate traffic, garbage, and snow removal that is required. The biggest issue is that Maple Street is not the truck route. The truck route came in by Simmonds and the old Hanchett building, and all Federal Screw trucks still use that route.

Roger Schneidt of 22101 13 Mile Road stated that the cul-de-sacs needed will have to be large enough to accommodate garbage removal and that is a major concern due to residences placing their garage in the alley for pickup. Since Maple Street is not a truck route, Mr. Schneidt doesn't know why there is such conflict. Not knowing Mr. Chaput's intent is alarming because the City cannot make decisions without a plan.

Telephonic or Written Correspondence Received by Staff:

Jean Schneidt of 22101 13 Mile Road wrote a letter to City Officials stating her concerns. Most concerns were heard during the public comment portion of the meeting. To read Mrs. Schneidt's letter in response to the request to discontinue two alleys, please see the attached letter at the end of these minutes.

Vice Chair Eppley closed the Public Hearing at 7:15 PM and the Planning Commission entered into Fact Finding.

- Ruddick, Eppley, and Montgomery stated that they don't understand why this is necessary. Both Commissioners are open to the discussion, but not enough information was provided to even consider this request.
- McLeod stated that it doesn't seem like Big Rapids Products is overly concerned, otherwise a representative would have attended. Priebe stated that the Applicant was notified of the meeting.

Motion

Motion was made by Jacob Buse, seconded by Rory Ruddick to recommend that the Request to Discontinue Two Alleys that Enter Maple Street Adjacent to Big Rapids Products be denied.

Motion passed with all in favor.

UNSCHEDULED BUSINESS

None

There being no further business, Vice Chair Eppley adjourned the meeting at 7:20 PM with all in favor.

Respectfully submitted,

Emily Szymanski
Planning & Zoning Technician and Planning Commission Secretary

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Community Development Director
SUBJECT: Site Plan Review for a Facility Expansion at 602 S Bronson Ave
DATE: May 18, 2022

Introduction

Applicant JBS Contracting, Inc. on behalf of the Mecosta Osceola Intermediate School District is applying for Site Plan Review for facility expansion at their 602 S Bronson Avenue (PIN 17-14-200-019) location in Big Rapids. This 6.94-acre site is zoned R-1 Residential and is located on the east side of Big Rapids.

The facility at 602 S Bronson Ave is an existing metal arched building used as the MOISD Bus Garage. Staff and busses park on the large gravel driveway/parking area. A Location Map and several images of the site are attached. See also the set of Site Plans included with the packet.

Site Plan Review Process and Procedure

The Site Plan Review Application was received by the Community Development Department on April 19, 2022 and was deemed in compliance with Section 9.4. of the Zoning Ordinance which stipulates required Site Plan Review application materials. As required by Ordinance, Site Plan Reviews must go through a public hearing process. Notice was posted in the Big Rapids Pioneer on Wednesday, May 4, 2022 and sent to all property owners within 300 ft of the site.

The Site Plans were shared with the Fire Marshal, the Public Works Department's Engineering staff, the Building Official, and the Zoning Administrator for their review.

Public Safety – Fire Marshal Jeff Hull reviewed the site plans and found no issues with the Site Plans and preliminary drawings.

Public Works - Plans were by Engineering Technician Matt Ruelle as regards infrastructure connections and stormwater. He found no issues with the Site Plans.

Building Official – The Mecosta County Building Official, Mr. Aaron Holsworth, also reviewed the plans. He did not provide feedback by the time this packet was published. Any comments from Mr. Holsworth will be provided at the Public Hearing.

Zoning – Plans were reviewed by the Community Development Director as to their standings as regards the Zoning Ordinance. This review found that the plans are mostly in compliance with Zoning Ordinance requirements. School facilities are a principal use in the R-1 Residential District. While large garage facilities would not generally be allowed in the R-1, this is an existing, school-related facility on a very large lot, and thus expansion of this facility is not in opposition to the intent of the Ordinance.

Two required items were not clearly articulated in the Site Plan that staff wanted clarity regarding:

- 1) Parking. Section 9.4:3(12) requires “the location, size, and number of parking space in off-street parking areas, service lanes thereto, and service parking and delivery or loading areas (to determine compliance with parking space and off-loading space requirements)”. This facility has a gravel drive and parking area, thus it is not striped and specific parking spaces are not delineated. This is acceptable. However, while it appears the expanded gravel drive will have ample space for staff and bus drive lanes and parking, Staff cannot confirm this without more detail.
- 2) Site Lighting. Section 9.4:3(17) requires “the location, intensity, and orientation of all on site lighting (to determine compliance with requirements regarding lighting being directed off adjacent premises and rights-of-way)”. As this documentation was not provided, Staff cannot speak to whether the lighting meets Ordinance requirements.

If the Applicant to speak to these requirements and their plans to meet them, staff has no further concerns from a Zoning review perspective.

Criteria for Review of Site Plan Review Applications

Section 9.6 of the Zoning Ordinance sets criteria for reviewing Site Plan Review applications:

- 9.6:1 That there is a proper relationship between the existing streets and highways within the vicinity and proposed deceleration lanes, service drives, entrance and exit driveways and parking areas to ensure the safety and convenience of pedestrian and vehicular movement. With respect to vehicular and pedestrian circulation, including walkways, interior drives, and parking, the site shall be developed so that access points, general interior traffic circulation, pedestrian circulation, and parking areas are safe and convenient and, insofar as practicable, do not detract from the design of the proposed buildings and existing structures on neighboring properties.
- 9.6:2 All elements of the site plan shall be harmoniously and efficiently organized in relation to the topography, the size and type of the lot, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
- 9.6:3 That as many natural features of the landscape shall be retained as possible where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes and where they assist in preserving the general appearance of the neighborhood. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which will result in maximum harmony with adjacent areas.
- 9.6:4 That any adverse effects of the proposed development and activities emanating there from which affect adjoining residents or owners shall be minimized by appropriate screening, fencing, landscaping, setback and location of buildings, structures and entryways. All loading and unloading areas and outside storage areas, including areas for the storage of refuse, which face or are visible from residential districts or public thoroughfares, shall be screened by a vertical screen consisting of structural or plant materials no less than six (6) feet in height.

- 9.6:5 That the layout of buildings and improvements will minimize any harmful or adverse effect which the development might otherwise have upon the surrounding neighborhood. Physical improvements including sidewalks, drives and parking areas shall be built to adequate standards to minimize premature deterioration. Sites at which hazardous substances are stored, used or generated shall be designed to prevent spill or discharges to the air, surface of the ground, groundwater, streams, drains or wetlands. Secondary containment for above ground storage of hazardous material shall be provided.
- 9.6:6 That all provisions of all local ordinances, including the City Zoning Ordinance, are complied with unless an appropriate variance therefrom has been granted by the Zoning Board of Appeals.

Planning Commissioners are encouraged to review the Application against the Criteria in Section 9.6 to decide if they find it meets or fails to meet them. These Criteria shall be used to decide the Action taken by the Planning Commission.

Recommendation

Staff recommends approval of the Site Plan Review Application for a facility expansion at 730 Water Tower Road (PIN 17-14-200-019), as it meets the Criteria for Review found in Section 9.6.6 of the Zoning Ordinance.

Action

Three options lay before the Planning Commission regarding Site Plan Review Applications: Approval, Denial, or Approval with Conditions. Explanations and sample motions are below.

Approval

An approval motion is appropriate when the Application meets the Standards of the Zoning Ordinance and approves the Application. Sample motion:

“I move that the Site Plan Review Application for a facility expansion at 602 S Bronson Avenue (PIN 17-14-200-019), be approved, because it meets all of the Criteria for Review set in Section 9.6 of the Zoning Ordinance.”

Approval with Conditions

An approval with conditions motion is appropriate when the Application meets the Standards of the Zoning Ordinance, but the Planning Commissioners believe a few minor conditions or alterations are required. This motion approves the Application contingent upon the listed conditions. Sample motion:

“I move that the Site Plan Review Application for a facility expansion at 602 S Bronson Avenue (PIN 17-14-200-019), be approved with conditions. The Application meets the Criteria for Review set in Section 9.6 of the Zoning Ordinance, but conditions are required to *(select from the relevant reasons below)*

- (1) Ensure that public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity.
- (2) Protect the natural environment and conserve natural resources and energy.
- (3) Ensure compatibility with adjacent uses of land.
- (4) Promote the use of land in a socially and economically desirable manner.

The following conditions are required to address this need: *(list conditions [such as requiring additional permits, revising plans to show needed changes, demonstrating adequacy of the stormwater detention facilities, among others] here).*

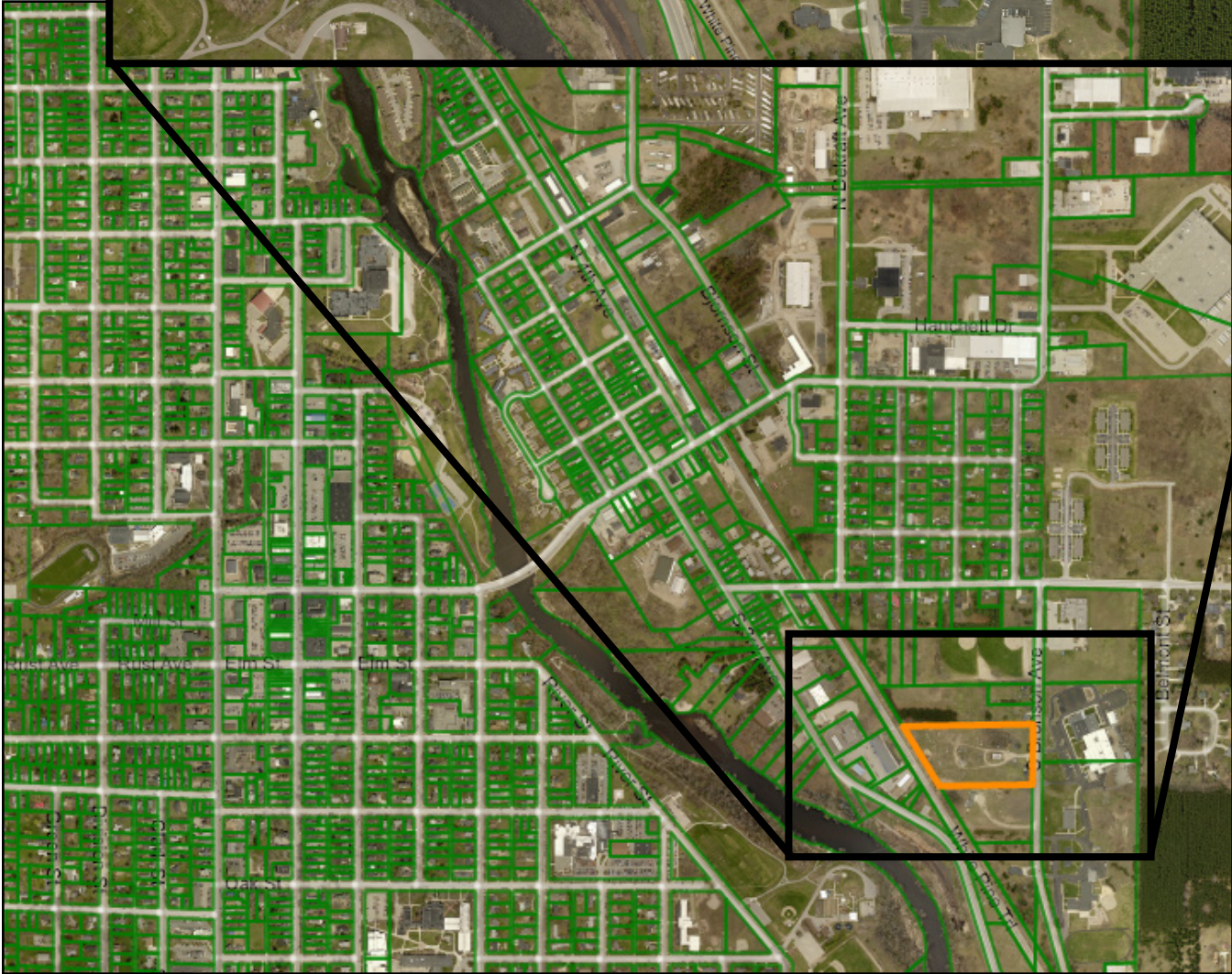
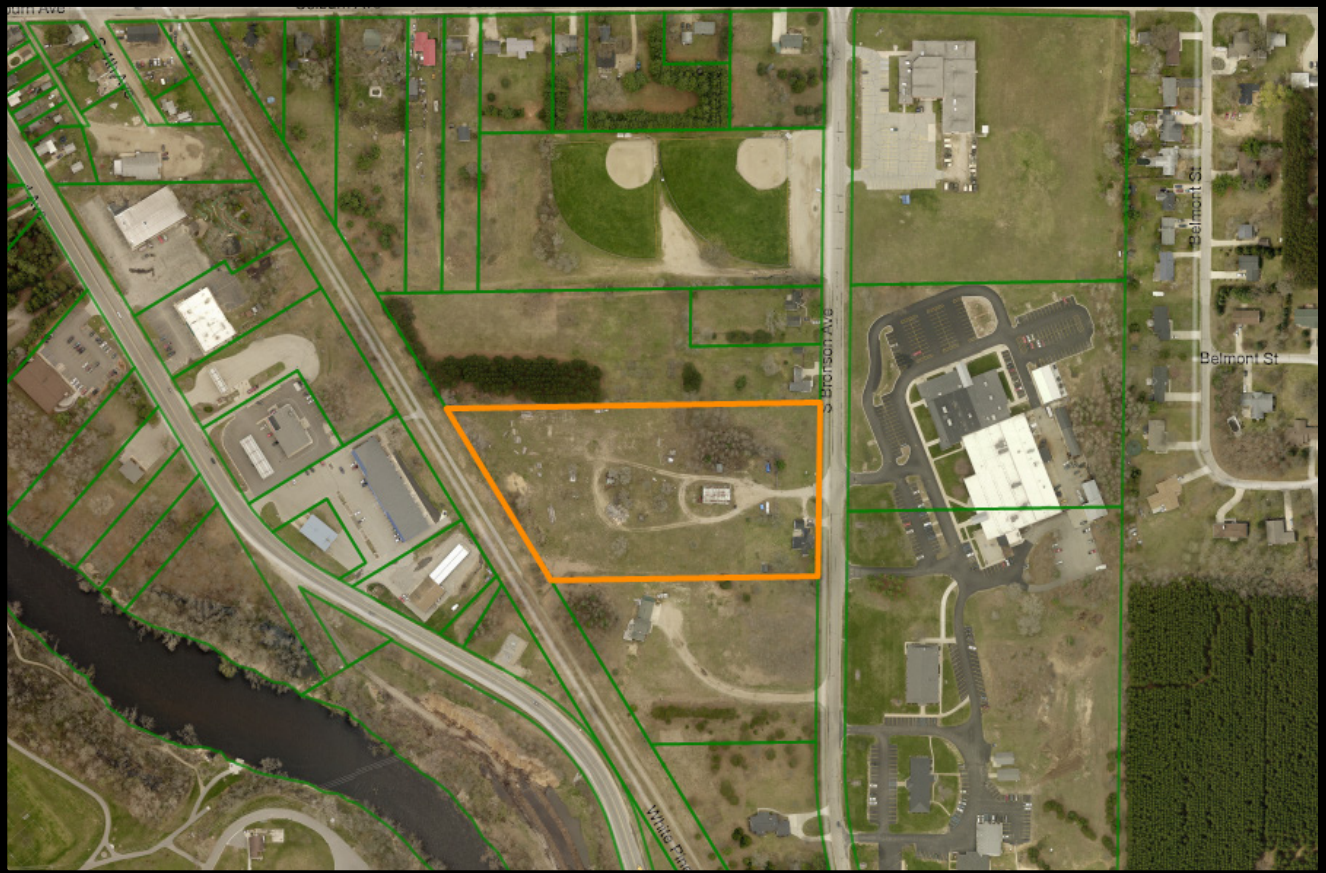
A revised, dated site plan and documents addressing the above shall be submitted for staff approval within 60 days.”

Denial

A denial motion is appropriate when the Application fails to meet the Standards of the Zoning Ordinance and ends the application process. Sample motion:

“I move to deny the Site Plan Review Application for a facility expansion at 602 S Bronson Avenue (PIN 17-14-200-019), because it does not meet Criteria 9.6:X of the Zoning Ordinance. *(Fill in the X with which number Criteria the application does not meet.)*”

Location Maps



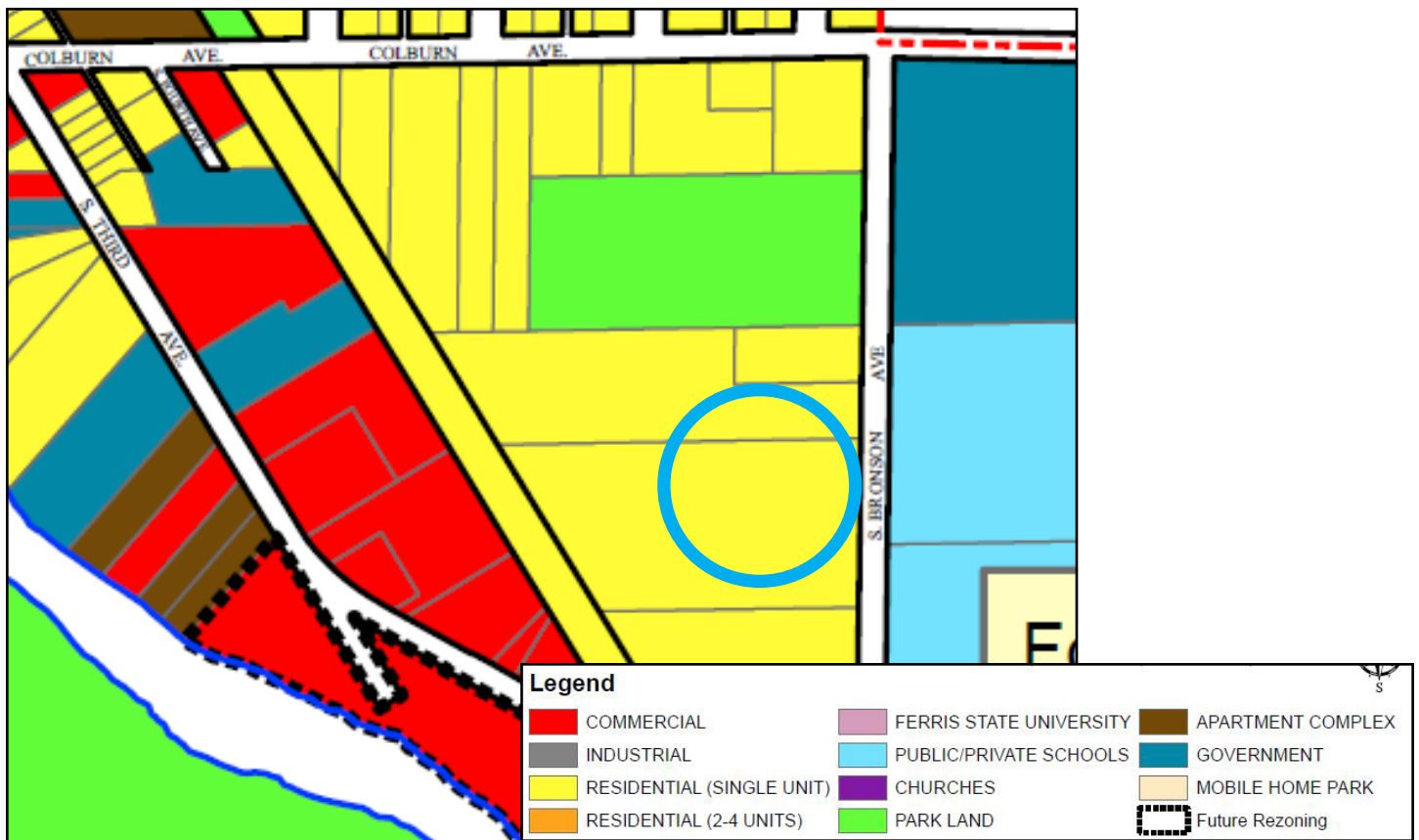
Aerial Imagery



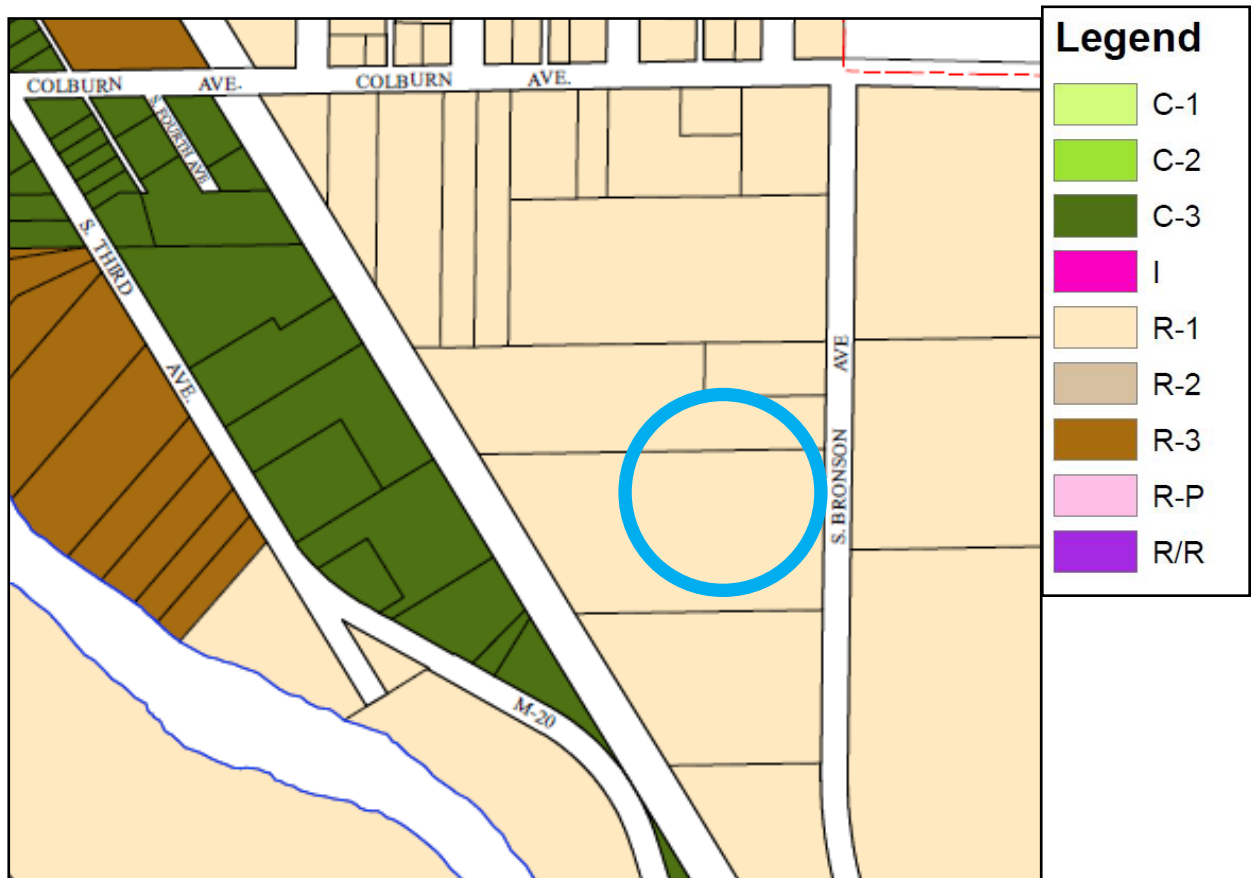
Aerial Imagery - Google Earth



Excerpt from Future Land Use Map



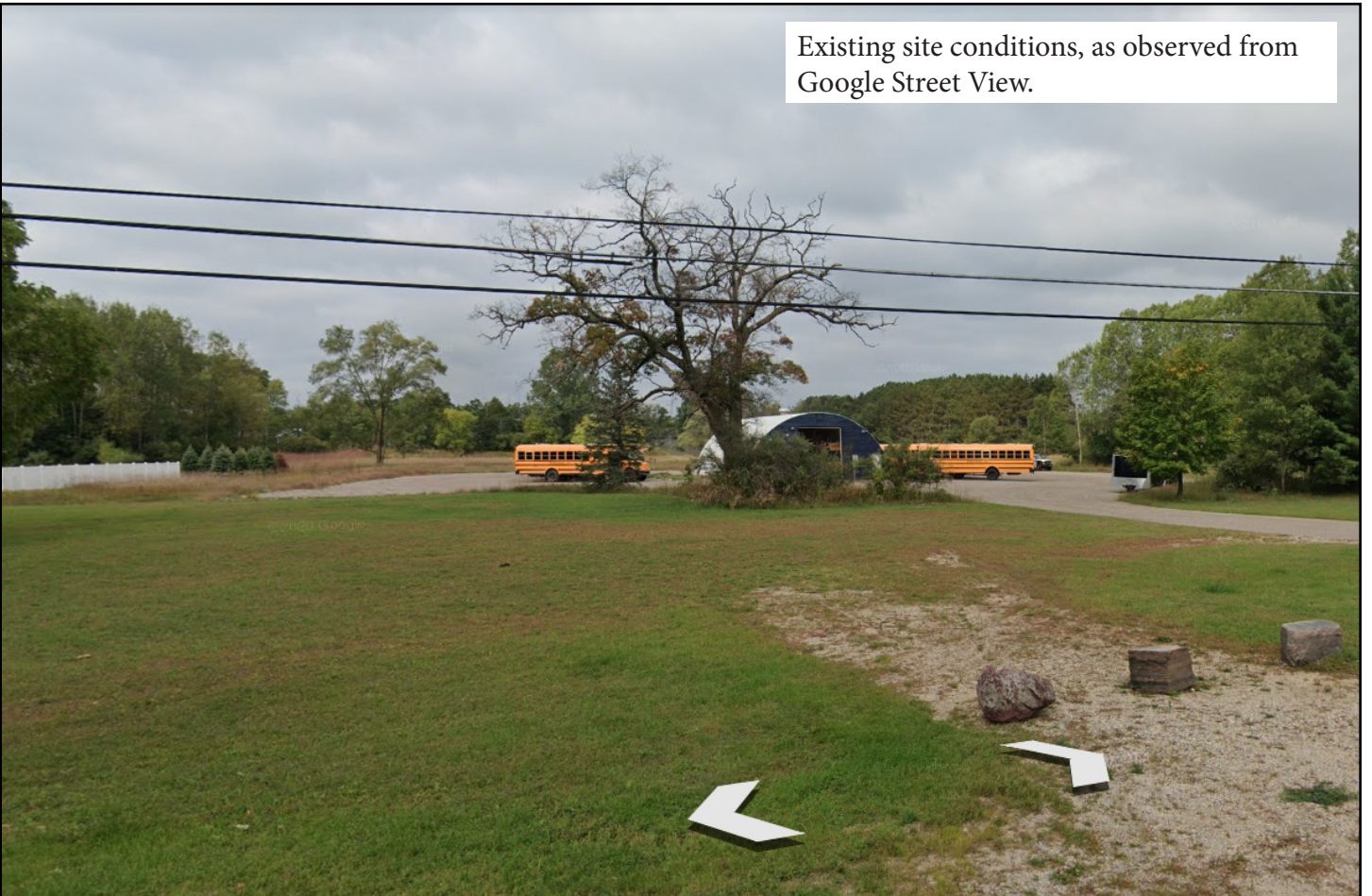
Excerpt from Zoning Map



Existing site conditions from S Bronson Ave.



Existing site conditions, as observed from Google Street View.





CITY OF BIG RAPIDS
DEPARTMENT OF COMMUNITY DEVELOPMENT

SITE PLAN REVIEW APPLICATION

APPLICANT NAME: JBS Contracting, Inc.

APPLICANT ADDRESS: PO Box 370 Mt. Pleasant, MI 48804

APPLICANT PHONE NUMBER: 989-773-0770 | Email hnivison@jbscontracting.com

PROJECT TITLE: MOISD Bus Garage Addition

PROJECT ADDRESS/LOCATION: 620 S Bronson Ave Big Rapids, MI 49307

SUBJECT PROPERTY OWNER: Mecosta Osceola Intermediate School District

LEGAL DESCRIPTION OF PROPERTY (attach separate sheet)

SUBJECT PROPERTY ZONING: R-1 **SITE SIZE (ACRES):** 6.94

LIST ALL REQUIRED STATE AND FEDERAL PERMITS ON SEPARATE SHEET

In compliance with Section 9.4 of the City of Big Rapids Zoning Ordinance, twelve copies of a complete proposed site plan must be submitted to the Department of Community Development, a minimum of twenty one days prior to the Planning Commission hearing date. Failure to submit complete plans, a completed application form and filing fee may result in the site plan review hearing being delayed.

SITE PLAN INFORMATION REQUIREMENTS

TWELVE COPIES (12) of the proposed site plan, drawn on 24" x 36" paper

SCALE OF 1" = 20' for sites up to three acres and **1" = 100'** for sites over three acres

LEGEND including north arrow, scale, date of preparation and name, address and telephone number of individual or firm preparing the plan

SEAL of professional architect, engineer or surveyor preparing the plan

LOCATION MAP indicating relationship of the site to surrounding land use

LOT LINES together with dimensions, angles and size correlated with the legal description, which is tied to existing monumentation

TOPOGRAPHY of the site in two foot contour intervals

NATURAL FEATURES such as wood lots, streams, rivers, lakes, wetlands, unstable soils and similar items

MAN MADE FEATURES within 100 feet of the site

BUILDING SIZE, height, finish floor and grade line elevations, yard setbacks and square footage. Front, side and rear elevations drawings of proposed structures.

FLOOR PLAN of structures showing existing and proposed uses (used to verify gross vs. usable floor areas and principal vs. accessory uses).

STREETS, driveways, sidewalks and other vehicle or pedestrian circulation features upon and adjacent to the site shall be shown

PARKING SPACES, location, size and number, service lanes, delivery and loading areas

CROSS SECTIONS illustrating construction of drives and parking areas

LANDSCAPING, together with open spaces, screening, fences, walls and proposed alterations of topography or other natural features.

SERVICE DEMANDS from the community to support proposed operations on the site

EARTH CHANGE plans required by State law

SITE LIGHTING including location, intensity and orientation

SURFACE WATER DRAINAGE

UTILITY LOCATION and size for sanitary sewer, water, storm sewer, natural gas, electricity, telephone, coaxial cable, fiber optic, etc.

FIRE LANES

OUTDOOR STORAGE

TRASH RECEPTACLES

HAZARDOUS MATERIAL storage facilities, including type, quantity, location and secondary containment provisions

OTHER INFORMATION as required by the Plan Board

DIGITAL COPY submitted in anAutoCAD compatible format

SITE PLAN REVIEW FEE \$200

I have read the requirements of submittal and review of a site plan by the City of Big Rapids Planning Commission and attest that the provided site plan is complete:

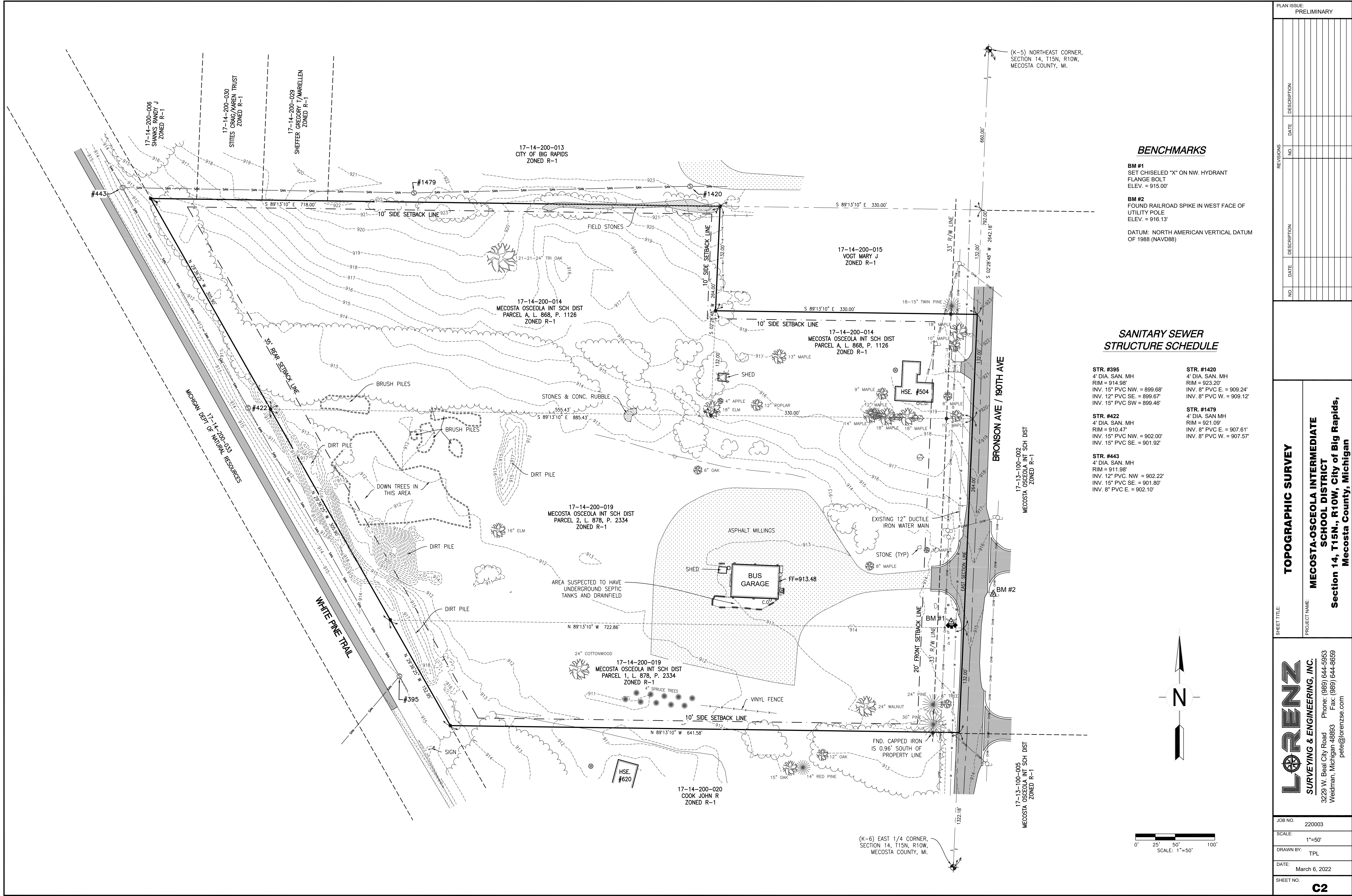


Applicant Signature

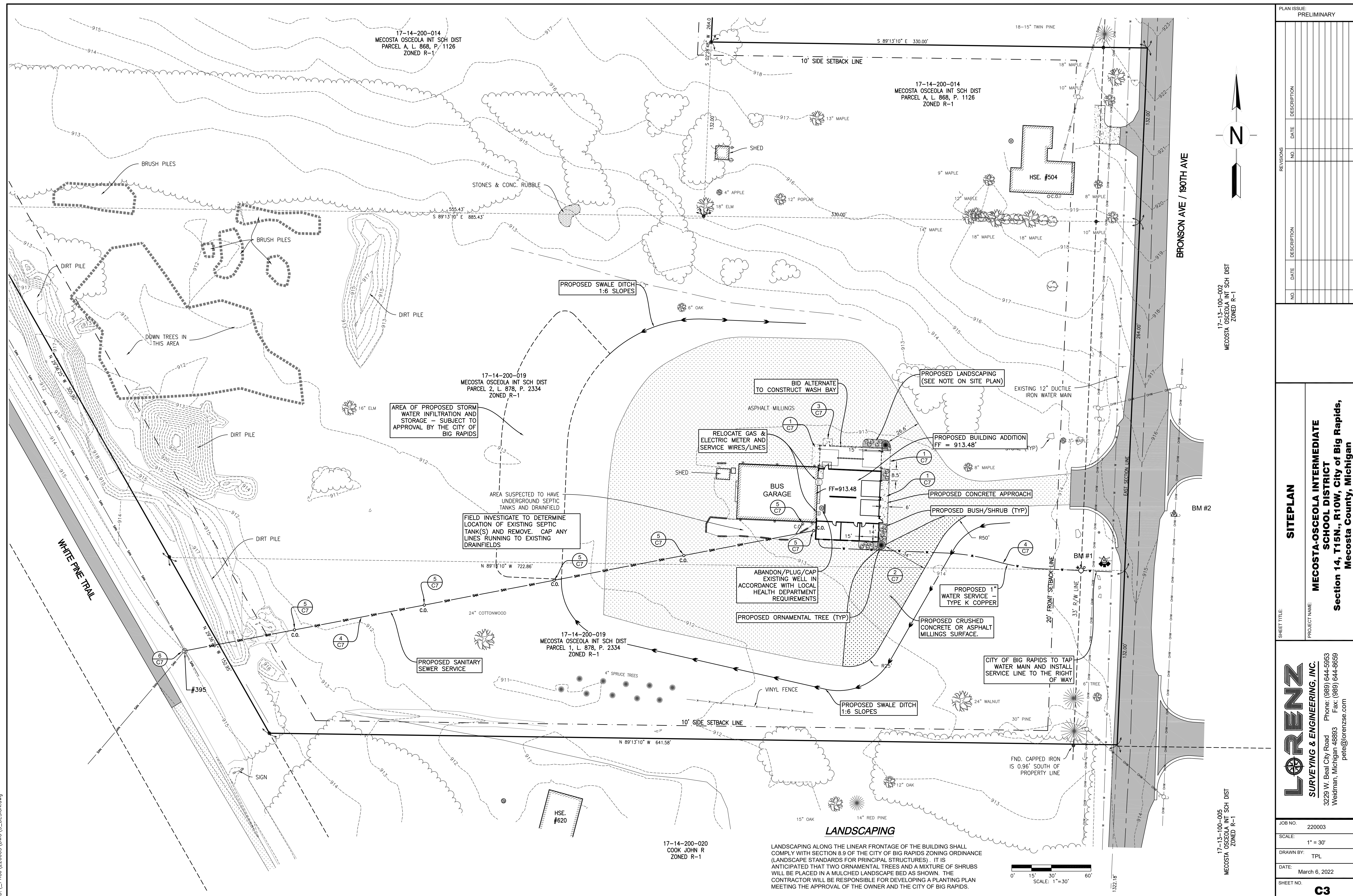


Date

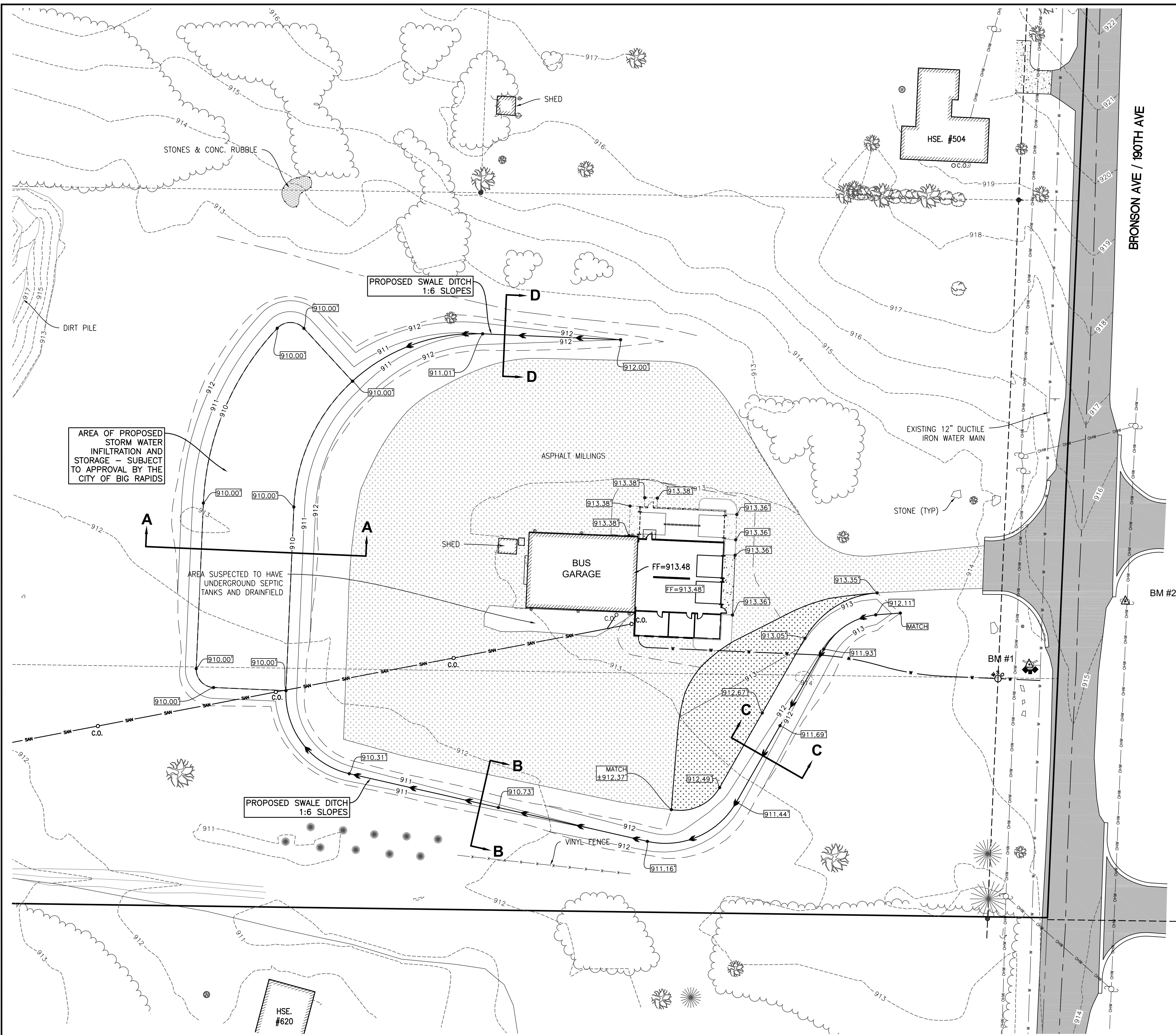
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PLAN ISSUE:		PRELIMINARY	
REVISIONS	NO.	DATE	DESCRIPTION
REVISIONS	NO.	DATE	DESCRIPTION
TOPOGRAPHIC SURVEY			
MECOSTA-OSCEOLA INTERMEDIATE SCHOOL DISTRICT			
Section 14, T15N., R10W, City of Big Rapids, Mecosta County, Michigan			
SHEET TITLE:		PROJECT NAME:	
LORENZ SURVEYING & ENGINEERING, INC.		3229 W. Beal City Road Weidman, Michigan 48893 Phone: (989) 644-5953 Fax: (989) 644-9659 pete@lorenzse.com	
JOB NO.		220003	
SCALE:		1"=50'	
DRAWN BY:		TPL	
DATE:		March 6, 2022	
SHEET NO.		C2	

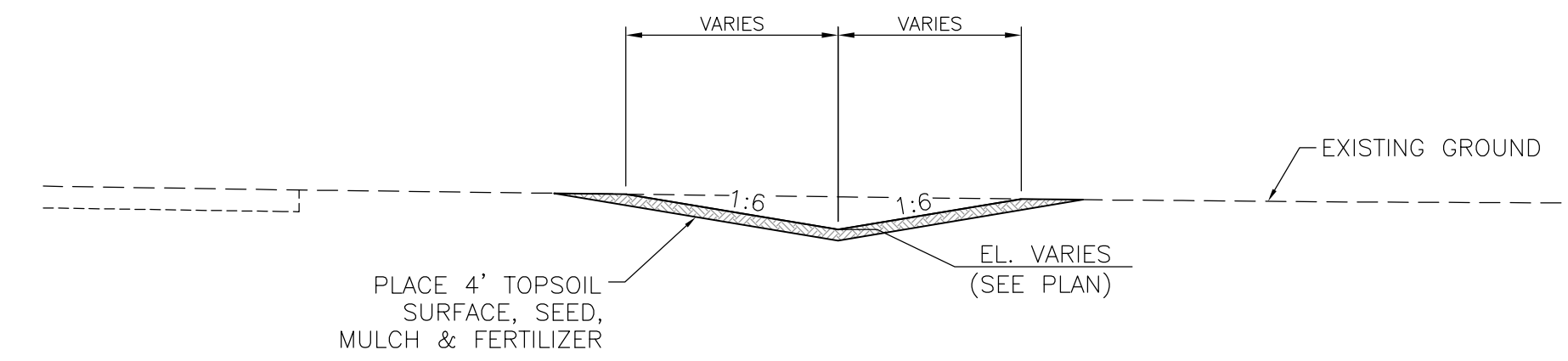


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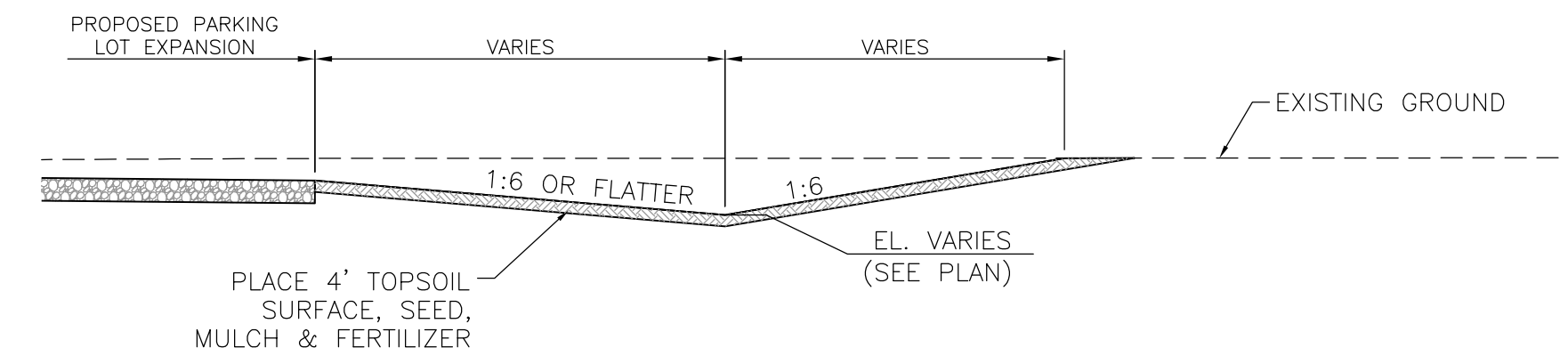


SECTION A-A
SCALE: 1"=5'

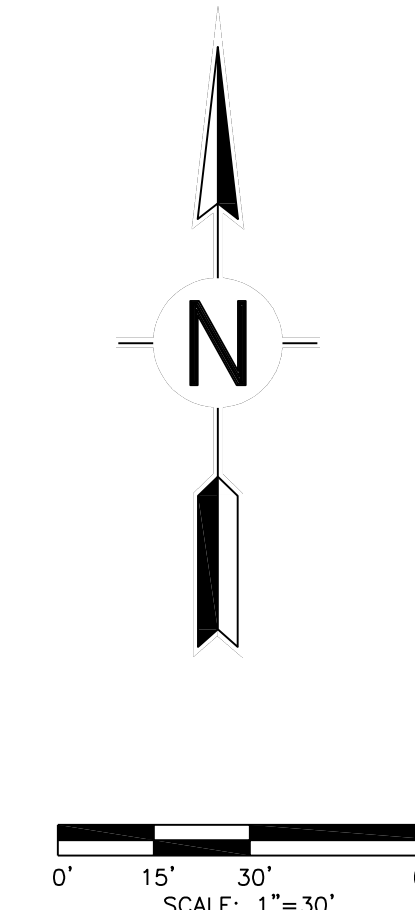
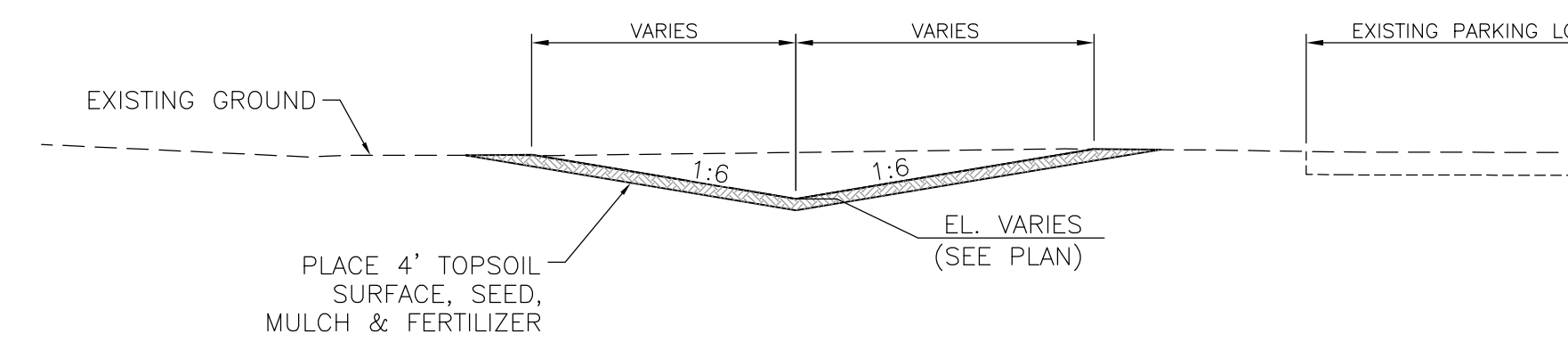
SECTION B-B
SCALE: 1"=5'




SECTION C-C
SCALE: 1"=5'



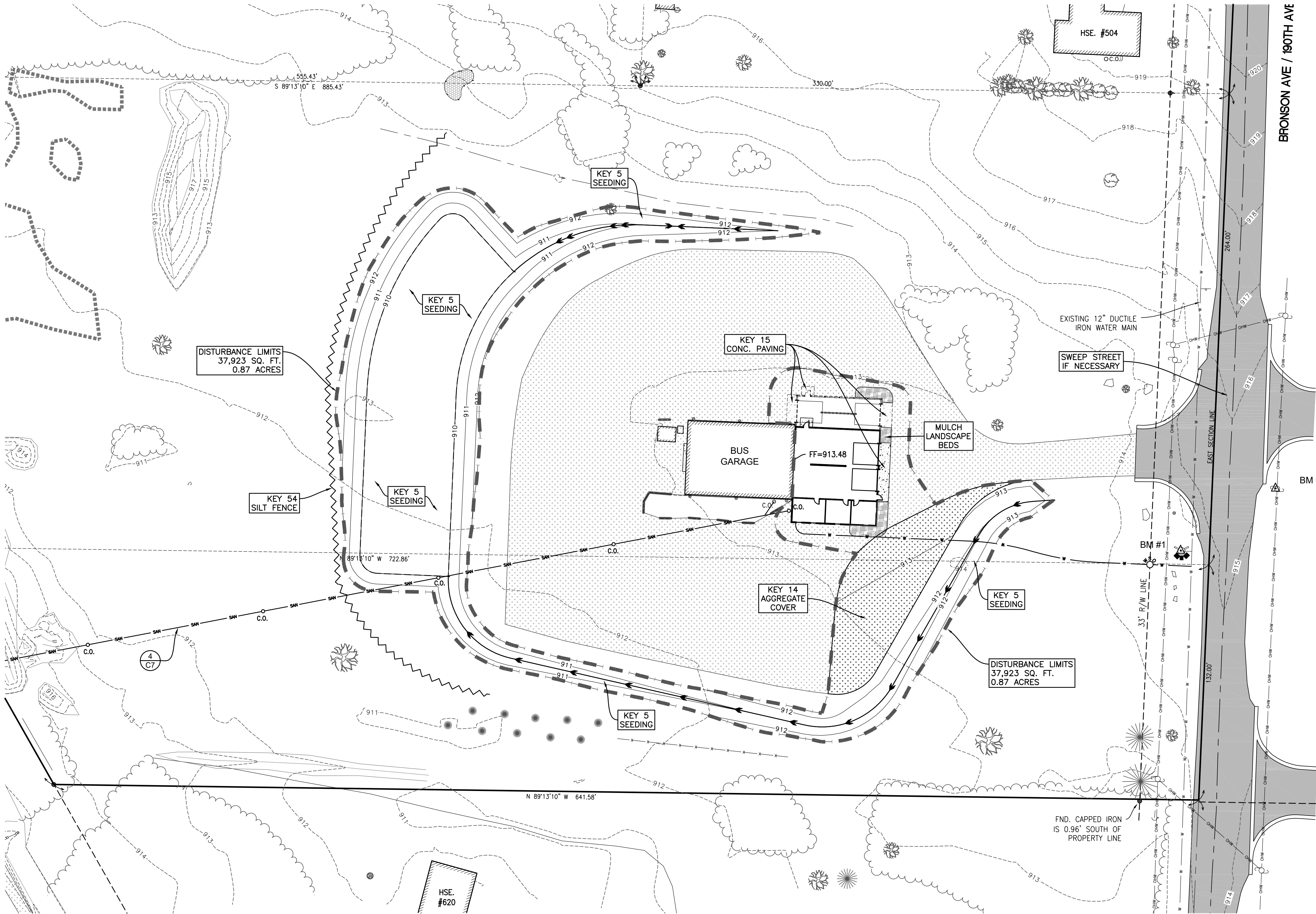
SECTION D-D
SCALE: 1"=5'



PLAN ISSUE:		PRELIMINARY	
		REVISIONS	
		NO.	DATE
SHEET TITLE:		GRADING & STORM WATER MANAGEMENT	
PROJECT NAME:		MECOSTA-OSCEOLA INTERMEDIATE SCHOOL DISTRICT Section 14, T15N., R10W, City of Big Rapids, Mecosta County, Michigan	
			
SURVEYING & ENGINEERING, INC.			
3229 W. Beal City Road Weidman, Michigan 49893		Phone: (989) 644-5953 Fax: (989) 644-8659	
pete@lorenzse.com			
JOB NO.		220003	
SCALE:		1" = 30'	
DRAWN BY:		TPL	
DATE:		March 6, 2022	
SHEET NO.		■■■■	

LORENZ
SURVEYING & ENGINEERING, INC.
3229 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-9659
pate@lorenzse.com

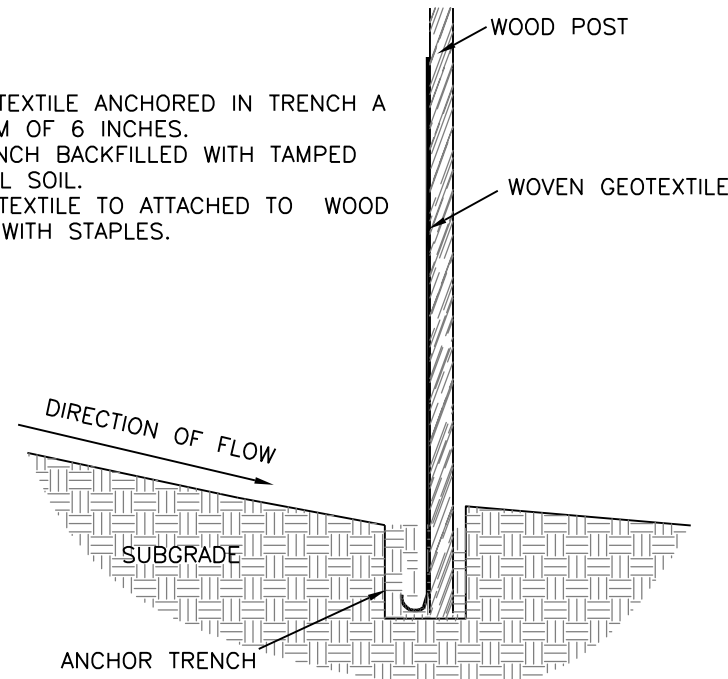
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SILT FENCE INSTALLATION

NO SCALE

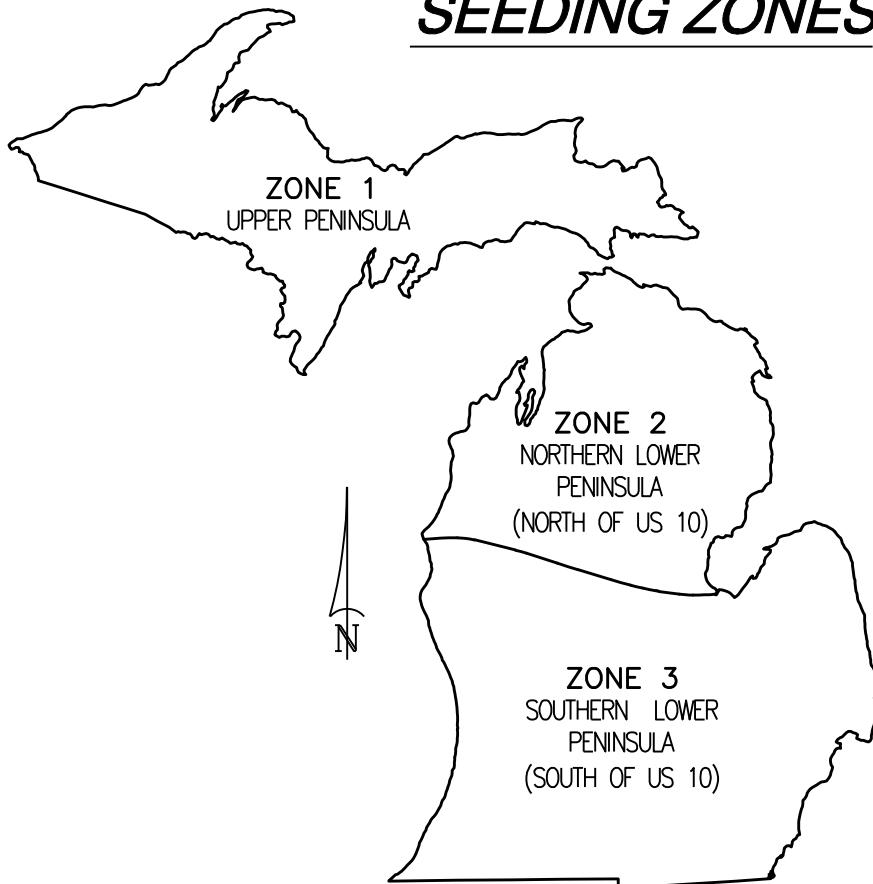
NOTES:
1. GEOTEXTILE ANCHORED IN TRENCH A MINIMUM OF 6 INCHES.
2. TRENCH BACKFILLED WITH TAMPED NATURAL SOIL.
3. GEOTEXTILE TO ATTACHED TO WOOD POSTS WITH STAPLES.



MICHIGAN UNIFIED KEYING SYSTEM

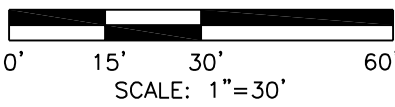
KEY	DETAIL	CHARACTERISTICS
5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE STABILIZES SOIL, THIS MINIMIZES EROSION PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME SHOULD INCLUDE PREPARED TOPSOIL BED
10	MULCHING	USED ALONE TO PROTECT EXPOSED AREAS FOR SHORT PERIODS PROTECTS SOIL FROM IMPACT OF FALLING RAIN PRESERVES SOIL MOISTURE AND PROTECTS GERMINATING SEED FROM TEMPERATURE EXTREMES
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, THIS MINIMIZES EROSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY, IRREGULAR SURFACE WILL HELP SLOW VELOCITY
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES, EASY TO CONSTRUCT AND LOCATE AS NECESSARY

SEEDING ZONES



PLAT TYPE	SEEDING FOR TEMPORARY VEGETATION COVER TYPES			POUNDS PER 1,000 SQUARE FEET	POUNDS PER ACRE
	1. UPPER PENINSULA	2. NORTHERN LOWER PENINSULA	3. SOUTHERN LOWER PENINSULA		
BUCKWHEAT	6/15 TO 7/15	6/1 TO 7/15	6/1 TO 7/15	2	75
CEREAL RYE	8/1 TO 10/1	8/1 TO 10/10	8/1 TO 10/15	3	120
OATS	5/1 TO 8/1	4/15 TO 8/1	4/1 TO 9/15	2	96
PERENNIAL RYGRASS	8/1 TO 10/1	6/1 TO 8/1	8/1 TO 10/15	0.5	20
SUNDANGRASS	NOT RECOMMENDED	6/1 TO 7/15	6/1 TO 7/15	1	40
WHEAT	9/10 TO 10/1	9/10 TO 10/1	9/20 TO 10/15	3	120

SEEDING DATE RANGES FOR PERMANENT VEGETATION COVER			
PLANTING ZONE	WITH IRRIGATION AND/OR MULCH	WITHOUT IRRIGATION OR MULCH	DORMANT SEEDING
1. UPPER PENINSULA	5/1 TO 9/10	5/1 TO 6/15 OR 8/1 TO 9/20	10/25 TO FREEZE-UP
2. NORTHERN LOWER PENINSULA	5/1 TO 9/20	5/1 TO 6/10 OR 8/1 TO 9/20	10/25 TO FREEZE-UP
3. SOUTHERN LOWER PENINSULA	4/1 TO 10/1	4/1 TO 5/20 OR 8/10 TO 10/1	11/1 TO FREEZE-UP



GENERAL NOTES

- STAGE 1
SITE STRIPPING AND EXCAVATION FOR FOOTINGS
 - PLACE GEOTEXTILE SILT FENCE (PRIOR TO COMMENCING ANY WORK)
 - CONTROL MUD FROM TRACKING OFF SITE AND SWEEP STREET IF NECESSARY
- STAGE 2
GRAVEL PARKING LOT EXPANSION & BUILDING CONSTRUCTION
 - MAINTAIN SILT FENCE
 - CONTROL MUD FROM TRACKING OFF SITE AND SWEEP STREET IF NECESSARY
- STAGE 3
CONSTRUCT SWALES, INFILTRATION BASIN & FINAL RESTORATION
 - MAINTAIN SILT FENCE
 - CONTROL MUD FROM TRACKING OFF SITE AND SWEEP STREET IF NECESSARY
 - PLACE TOPSOIL SURFACE IN ALL DISTURBED AREAS AND PERMANENT SEEDING PRIOR TO OCT. 1.

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TEMPORARY AND PERMANENT CONTROL MEASURES UNTIL VEGETATION HAS BEEN ESTABLISHED ON ALL DISTURBED AREAS. MAINTENANCE SHALL INCLUDE: PERIODIC INSPECTIONS, REMOVING ACCUMULATED SEDIMENT AND REPAIRING OR REPLACING DAMAGED CONTROL MEASURES. INSPECTIONS SHALL BE PERFORMED DAILY DURING THE CONSTRUCTION PROCESS. FOLLOWING CONSTRUCTION INSPECTIONS SHALL BE PERFORMED AT LEAST ON A WEEKLY BASIS AND AFTER EVERY SIGNIFICANT RAIN EVENT UNTIL VEGETATION HAS BEEN ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TEMPORARY CONTROL MEASURES AFTER ALL DISTURBED AREAS HAVE BEEN RESTORED AND VEGETATION HAS BEEN ESTABLISHED. ALL CATCH BASINS WITHIN THE CONSTRUCTION INFLUENCE AREA SHALL BE PROTECTED UNTIL PERMANENT MEASURES HAVE TAKEN EFFECT. INLETS SHALL BE PROTECTED WITH GEOTEXTILE SILT SACKS. INSTALL SILT FENCES PRIOR TO ANY SITE WORK.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF PERMANENT CONTROL MEASURES AFTER THE ESTABLISHMENT OF VEGETATION ON DISTURBED AREAS. THE OWNER SHALL MAKE PERIODIC INSPECTIONS, AND REPLACE OR REPAIR DAMAGED PERMANENT CONTROL MEASURES AS REQUIRED.
- PERMANENT CONTROL MEASURES SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL EARTH CHANGE IS COMPLETED.
- PERMANENT SEEDING SHALL BE PLACED BY OCTOBER 1. IF PERMANENT SEEDING CAN NOT BE PLACED BY OCTOBER 1, TEMPORARY SEEDING SHALL BE PLACED FOR WINTER STABILIZATION.

DISTURBANCE AREA

TOTAL DISTURBANCE AREA
37,923 SQ. FT. OR 0.87 ACRES



PLAN ISSUE:
PRELIMINARY

REVISIONS	NO.	DATE	DESCRIPTION

SOIL EROSION CONTROL PLAN

MECOSTA-OSCEOLA INTERMEDIATE SCHOOL DISTRICT

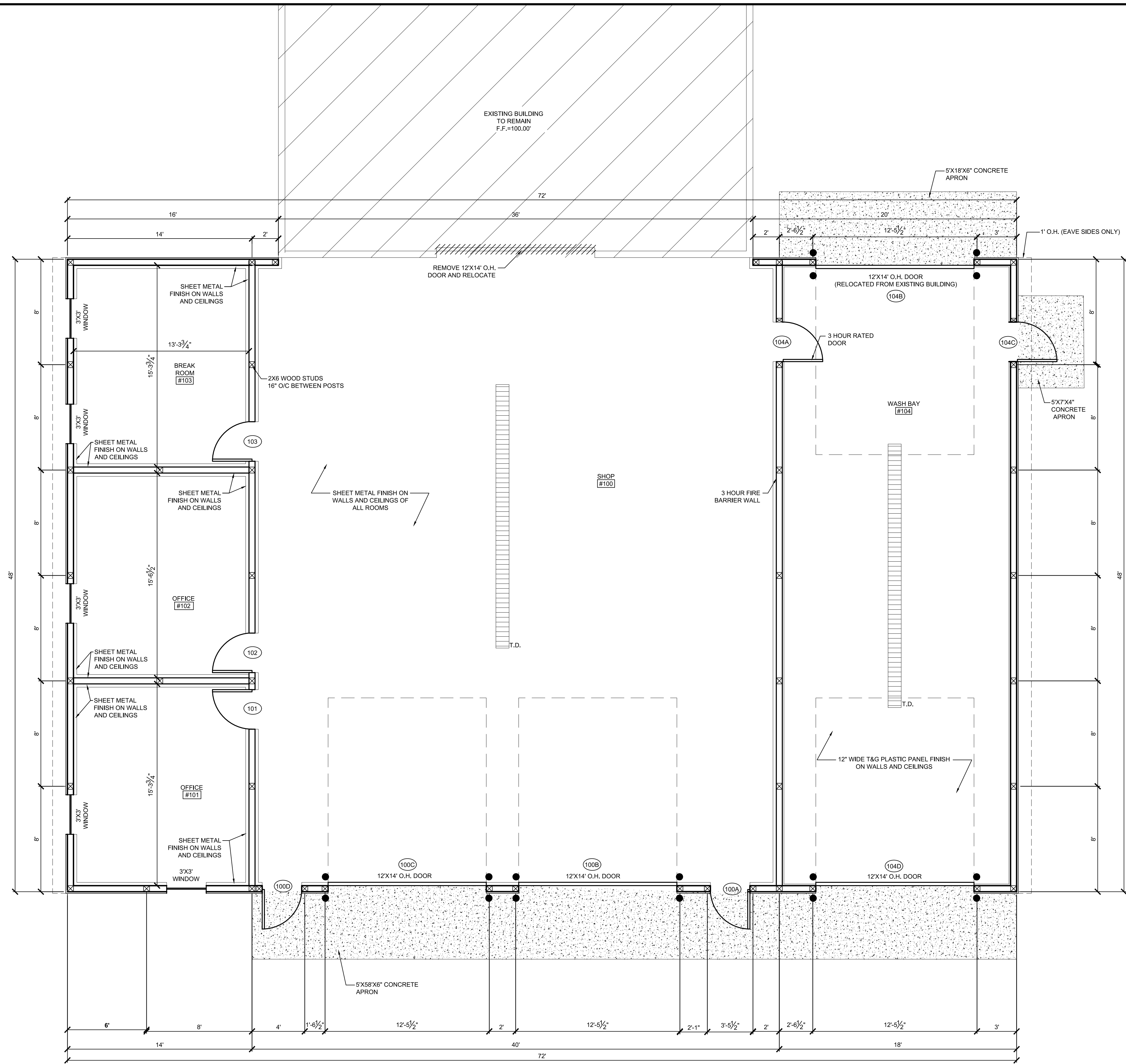
Section 14, T15N., R10W, City of Big Rapids, Mecosta County, Michigan

SHEET TITLE:
PROJECT NAME:

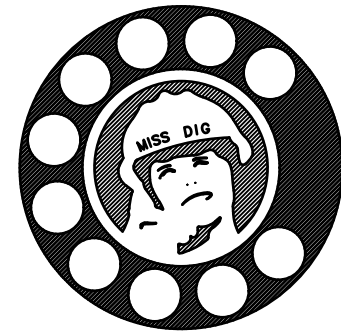
LORENZ
SURVEYING & ENGINEERING, INC.

3229 W. Beal City Road
Weidman, Michigan 48893
Phone: (989) 644-5953
Fax: (989) 644-9659
pete@lorenzse.com

JOB NO. 220003
SCALE: 1" = XX'
DRAWN BY: TPL
DATE: March 6, 2022
SHEET NO. **C6**



FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
FOR THE LOCATION OF
UNDERGROUND FACILITIES

REVISIONS		
TAG:	DATE:	CHANGE:

MOISOD BUS GARAGE
602 SOUTH BRONSON AVE.
BIG RAPIDS, MI 49307

COMMERCIAL/INDUSTRIAL
CONSTRUCTION

JBS Contracting Inc.
1680 GOVER PARKWAY
MT. PLEASANT, MI 48858
(989) 773-0770

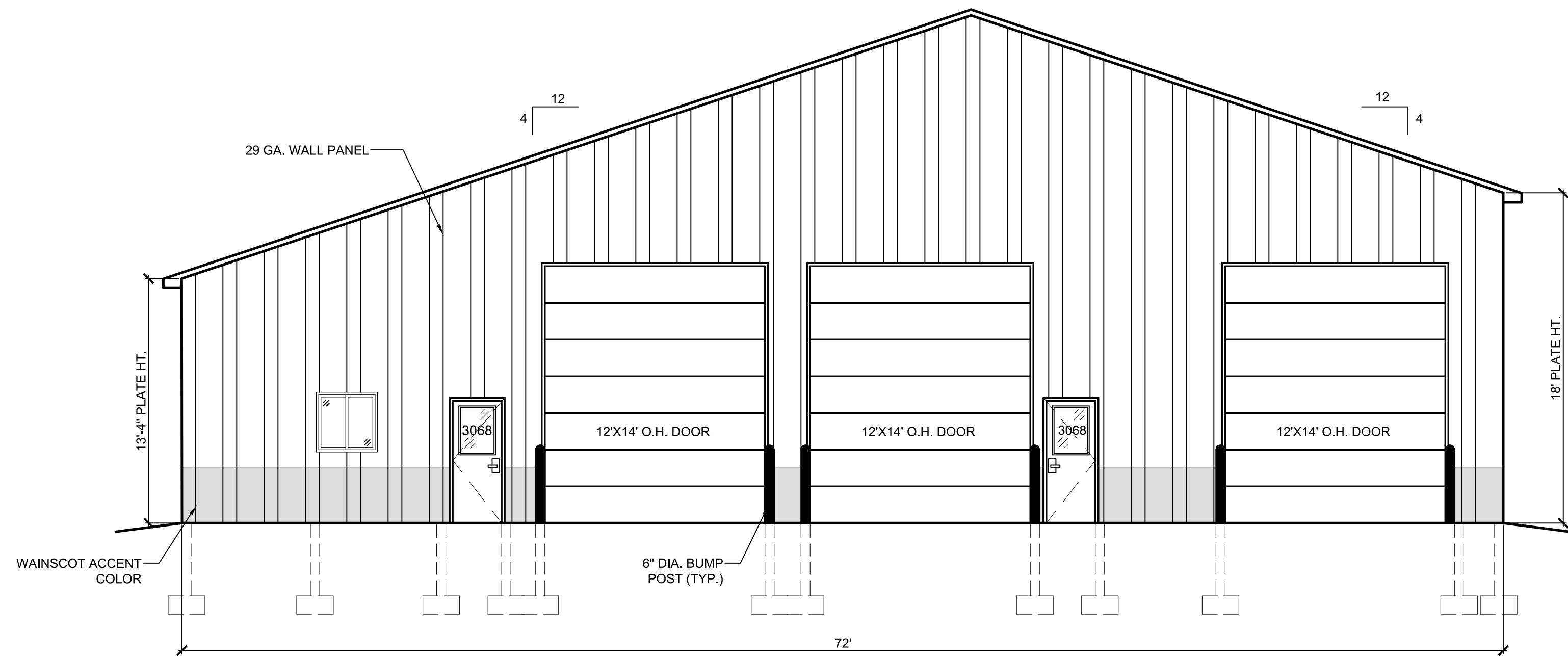
SCALE:
1/4" = 1'-0"

A1

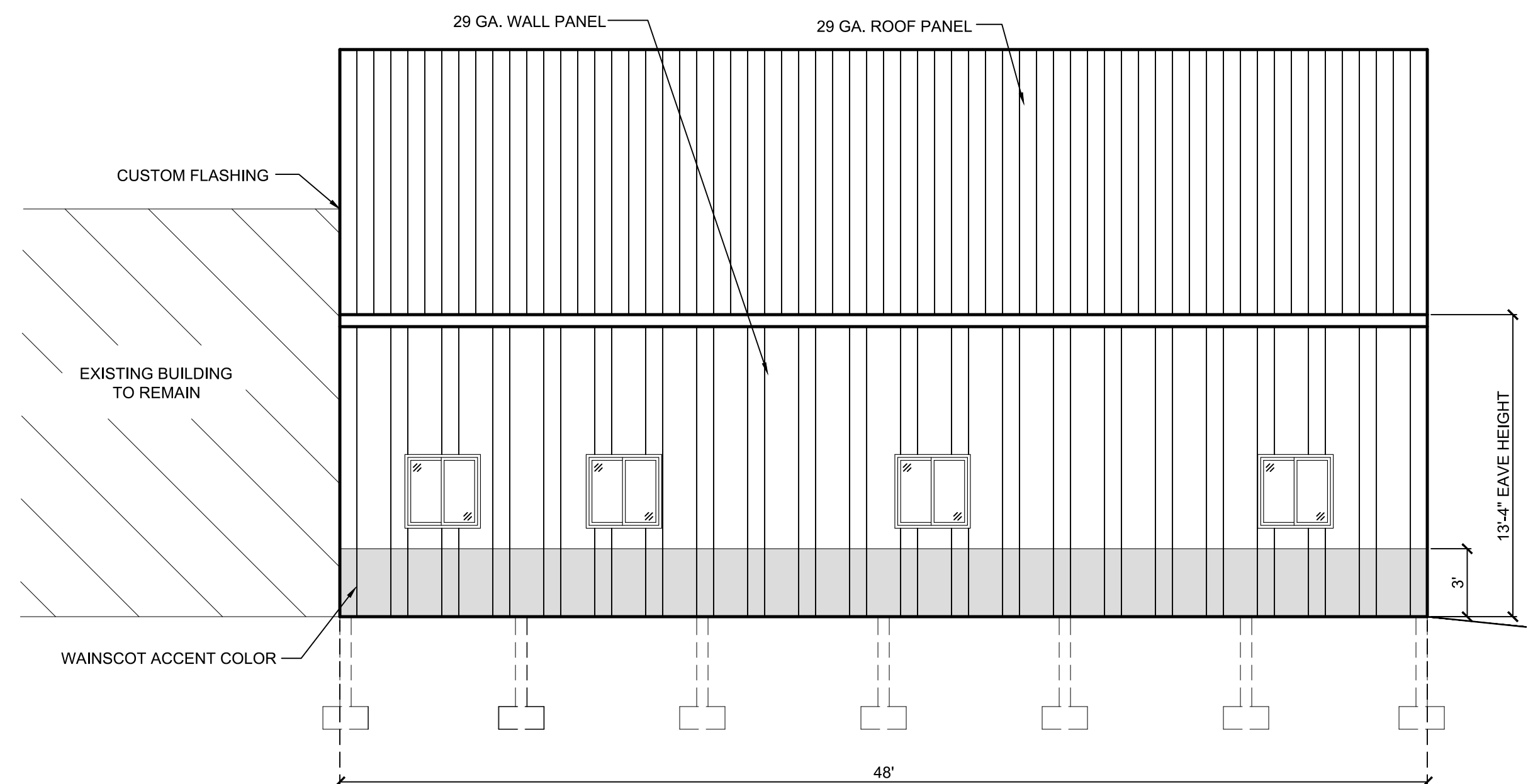
MOISOD BUS GARAGE

JBS JOB NUMBER:
DRAWING NAME: FLOOR PLAN
DRAWN BY: DJC
REVIEWED BY:
FIELD SUPERVISOR:
DATE: 4-18-2022

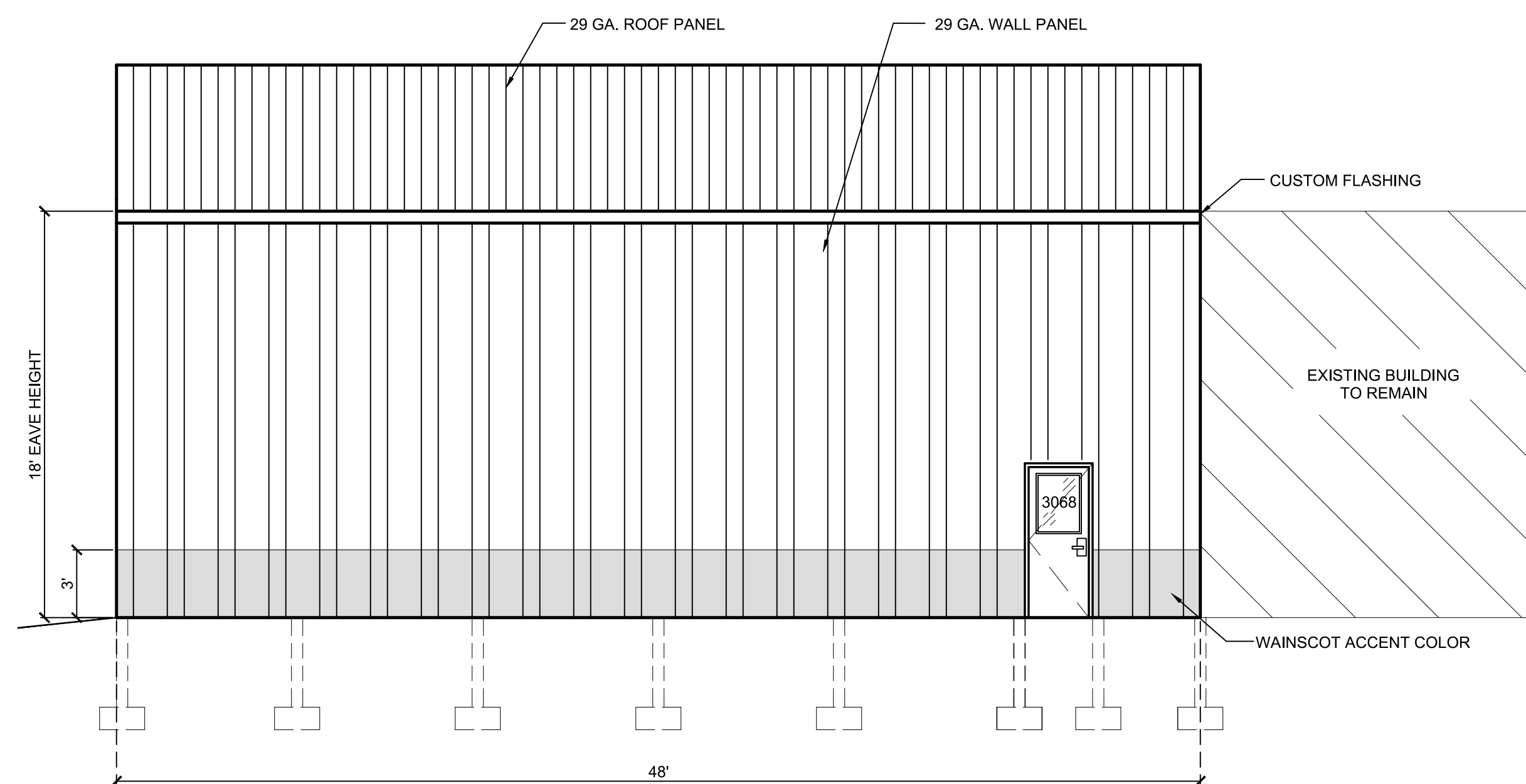
ENGINEER'S SEAL:



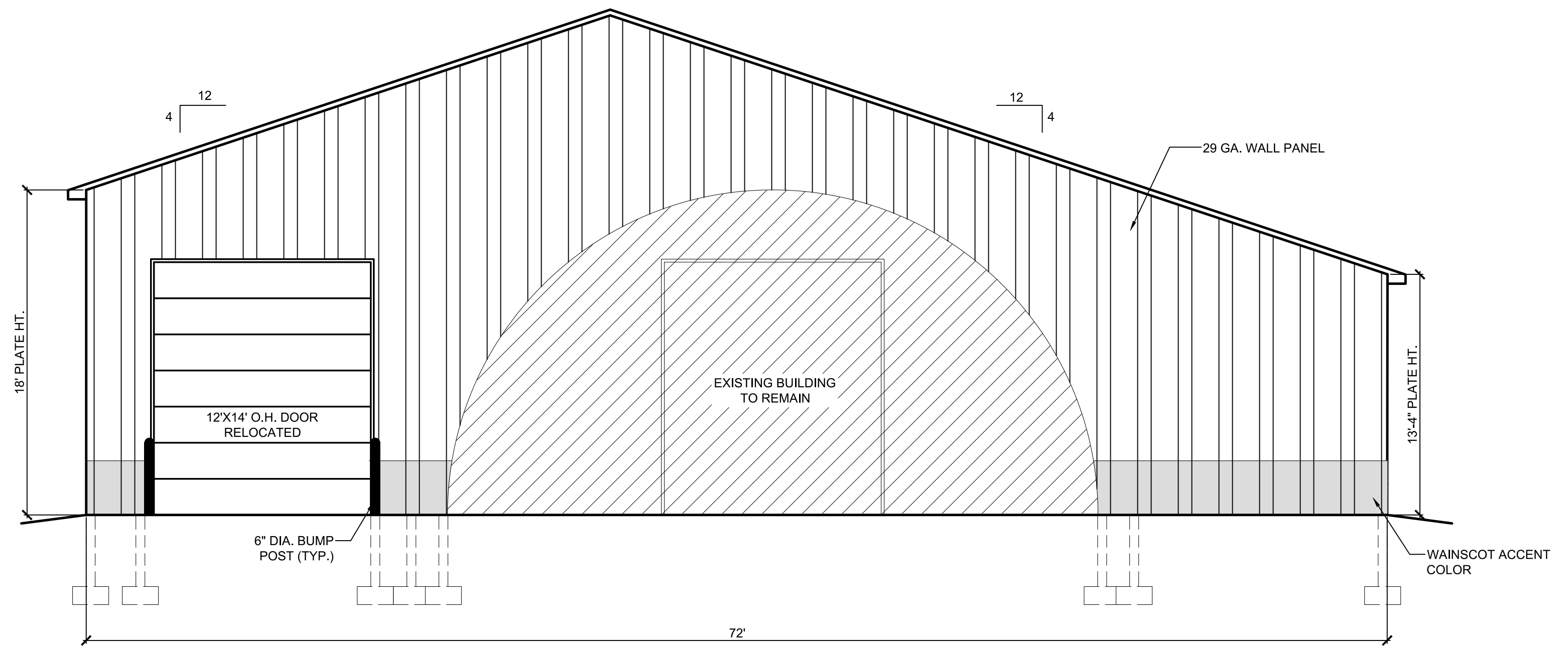
EAST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"



REVISIONS		
TAG:	DATE:	CHANGE:

JBS JOB NUMBER:
DRAWING NAME: ELEVATIONS
DRAWN BY: DJC
REVIEWED BY:
FIELD SUPERVISOR:
DATE: 4/18/2022

ENGINEER'S SEAL:

MOISD BUS GARAGE
602 SOUTH BRONSON AVE.
BIG RAPIDS, MI 49307

COMMERCIAL/INDUSTRIAL
CONSTRUCTION

JBS Contracting Inc.
1680 GOVER PARKWAY
MT. PLEASANT, MI 48858
(989) 773-0770

SCALE:
3/16" = 1'-0"

A2

MOISD BUS GARAGE

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Community Development Director
SUBJECT: Special Land Use Permit Application for a new Drive-Through Restaurant at
1250/1254 Perry Avenue
DATE: May 18, 2022

Introduction

Applicant Krisandra Lippert, Pre-Development Manager for Scooter's Coffee, is applying for a Special Land Use Permit for a new Scooter's Coffee drive-through restaurant at 1250/1254 Perry Avenue. These two addresses make up the Ferris Commons shopping center. Scooters Coffee will be utilizing the currently vacant outlot site along Perry Avenue, located within the 1254 Perry Ave parcel (PIN 17-15-300-034), and given the new street address of 1278 Perry Ave. "Drive-in restaurants" are permitted in the C-1 Commercial District as special land uses in Section 3.9:6 of the Zoning Ordinance

This property is located on the far west side of the City and is in the C-1 Commercial District. See the attachments for maps and images of the property. The outlot parcel being utilized by Scooter's Coffee has approximately 133 feet of frontage on Perry Avenue and is about 145 feet deep into the parent parcel, for a total size of 0.47 acres.

Special Land Use Process and Procedure

The Special Land Use Permit Application was received by the Community Development Department on April 26, 2022. The Applicant is also applying for a Site Plan Review, as the project includes new construction.

All Special Use Permit Applications require a Public Hearing. Notice was posted in the Big Rapids Pioneer on Wednesday, May 4, 2022 and sent to all property owners within 300 feet of 1250/1254 Perry Ave. Staff received 0 calls from neighboring property owners in advance of the hearing.

Standards for this Special Land Use

Section 10.3:8 of the Zoning Ordinance clearly lays out a series of standards for Special Land Uses, stating as follows:

Standards. No special land use shall be recommended by the Planning Commission unless such Board shall find:

- (1) That the establishment, maintenance or operation of the special land use will not be detrimental to or endanger the public health, safety or general welfare.
- (2) That the special land use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor shall it substantially diminish and impair property values within its neighborhoods.

- (3) That the establishment of the special land use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (4) That adequate utilities, access roads, drainage and necessary facilities have been or are being provided.
- (5) That adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.
- (6) That the special land use shall, in all other respects conform to the applicable regulations of the district in which it is located, any specific requirements established for that use in Article 11 and to any additional conditions or procedures as specified in Section 10.4.

Section 3.9:6 (4) of the Zoning Ordinance lists drive-through restaurants as a Special Land Use in the C-1 District, subject to the conditions of Section 11.1:20. Those standards state that “planned shopping centers, restaurants/bars, motels and hotels, and drive-through establishments may be permitted in the C-1 Commercial District as a special land use under the following conditions:

- (1) All points of vehicular ingress and egress are clearly defined.
- (2) All pedestrian areas on the site are clearly defined.”

The Applicant has addressed both of these sets of Standards in their own words in the Special Land Use Permit Application (attached).

Planning Commissioners are encouraged to review the Application against the Standards in Section 10.3:8 and Section 11.1:20 to decide if they find it meets or fails to meet them and make their decision on this case in accordance.

Recommendation

Staff recommends **approval** of the Special Land Use Permit Application for a new drive-through restaurant at 1254 Perry Avenue (PIN 17-15-300-034), as it meets the Standards set in Section 10.3:8 and Section 11.1:20 of the Zoning Ordinance.

Action

Three options lay before the Planning Commission regarding Special Land Use Permit Applications: Approval, Denial, or Table. Explanations and sample motions are included below.

Approval

An approval motion is appropriate when the Application meets the Standards of the Zoning Ordinance and sends the Application to the next step in the process where City Commission has final say in approving or denying the request.

“I move that the Special Land Use Permit Application for a restaurant at 1254 Perry Avenue (PIN 17-15-300-034) be recommended to the City Commission for approval, because it meets the Standards set in Section 10.3:8 and Section 11.1:20 of the Zoning Ordinance. [*If any conditions on approval, list them here.*]”

Denial

A denial motion is appropriate when the Application fails to meet the Standards of the Zoning Ordinance and ends the application process.

“I move to deny the Special Land Use Permit Application for a restaurant at 1254 Perry Avenue (PIN 17-15-300-034), because it does not meet Standard 10.3:X of the Zoning Ordinance.
(*Fill in the X with which number Standard the application does not meet.*)”

Table

A Table motion is appropriate when more information is needed before reaching a decision regarding the Application and pauses the process until a later date.

“I move to table a decision on the Special Land Use Permit Application for a restaurant at 1254 Perry Avenue (PIN 17-15-300-034) until the June 15, 2022 meeting of the Planning Commission, because (*list your reason for tabling the decision here.*)”

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Community Development Director
SUBJECT: Site Plan Review for a New Drive-Through Restaurant at 1254 Perry Avenue
DATE: May 18, 2022

Introduction

Applicant Krisandra Lippert, Pre-Development Manager with Scooter's Coffee is applying for Site Plan Review for new drive-through restaurant at 1254 Perry Avenue (PIN 17-15-300-034). These two addresses make up the Ferris Commons shopping center. Scooter's Coffee will be utilizing the 0.47 acre, currently vacant, outlot site along Perry Avenue, located within the 1254 Perry Ave parcel, and given the new street address of 1278 Perry Avenue. This parcel is zoned C-1 Commercial and is located on the west side of Big Rapids.

A Location Map and several images of the site are attached. See also the set of Site Plans included with the packet.

Site Plan Review Process and Procedure

The Site Plan Review Application was received by the Community Development Department on April 26, 2022 and was deemed in compliance with Section 9.4. of the Zoning Ordinance which stipulates required Site Plan Review application materials. As required by Ordinance, Site Plan Reviews must go through a public hearing process. Notice was posted in the Big Rapids Pioneer on Wednesday, May 4, 2022 and sent to all property owners within 300 ft of the site.

The Site Plans were shared with the Fire Marshal, the Public Works Department's Engineering staff, the Building Official, and the Zoning Administrator for their review.

Public Safety – Fire Marshal Jeff Hull reviewed the site plans and found no issues with the Site Plans and preliminary drawings.

Public Works - Plans were by Engineering Technician Matt Ruelle as regards infrastructure connections and stormwater. He found no significant issues with the Site Plans, though he did remark that the site is very flat. There is likely to be some water pooling on the site during major rain events.

Building Official – The Mecosta County Building Official, Mr. Aaron Holsworth, also reviewed the plans. He did not provide feedback by the time this packet was published. Any comments from Mr. Holsworth will be provided at the Public Hearing.

Zoning – Plans were reviewed by the Community Development Director as to their standings as regards the Zoning Ordinance. This review found that the plans are in compliance with the Ordinance as regards setbacks, parking spaces and drive lanes, landscaping, and lighting.

Criteria for Review of Site Plan Review Applications

Section 9.6 of the Zoning Ordinance sets criteria for reviewing Site Plan Review applications:

- 9.6:1 That there is a proper relationship between the existing streets and highways within the vicinity and proposed deceleration lanes, service drives, entrance and exit driveways and parking areas to ensure the safety and convenience of pedestrian and vehicular movement. With respect to vehicular and pedestrian circulation, including walkways, interior drives, and parking, the site shall be developed so that access points, general interior traffic circulation, pedestrian circulation, and parking areas are safe and convenient and, insofar as practicable, do not detract from the design of the proposed buildings and existing structures on neighboring properties.
- 9.6:2 All elements of the site plan shall be harmoniously and efficiently organized in relation to the topography, the size and type of the lot, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
- 9.6:3 That as many natural features of the landscape shall be retained as possible where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes and where they assist in preserving the general appearance of the neighborhood. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which will result in maximum harmony with adjacent areas.
- 9.6:4 That any adverse effects of the proposed development and activities emanating there from which affect adjoining residents or owners shall be minimized by appropriate screening, fencing, landscaping, setback and location of buildings, structures and entryways. All loading and unloading areas and outside storage areas, including areas for the storage of refuse, which face or are visible from residential districts or public thoroughfares, shall be screened by a vertical screen consisting of structural or plant materials no less than six (6) feet in height.
- 9.6:5 That the layout of buildings and improvements will minimize any harmful or adverse effect which the development might otherwise have upon the surrounding neighborhood. Physical improvements including sidewalks, drives and parking areas shall be built to adequate standards to minimize premature deterioration. Sites at which hazardous substances are stored, used or generated shall be designed to prevent spill or discharges to the air, surface of the ground, groundwater, streams, drains or wetlands. Secondary containment for above ground storage of hazardous material shall be provided.
- 9.6:6 That all provisions of all local ordinances, including the City Zoning Ordinance, are complied with unless an appropriate variance therefrom has been granted by the Zoning Board of Appeals.

Planning Commissioners are encouraged to review the Application against the Criteria in Section 9.6 to decide if they find it meets or fails to meet them. These Criteria shall be used to decide the Action taken by the Planning Commission.

Recommendation

Staff recommends **approval** of the Site Plan Review Application for a facility expansion at 1254 Perry Avenue (PIN 17-15-300-034), as it meets the Criteria for Review found in Section 9.6.6 of the Zoning Ordinance.

Action

Three options lay before the Planning Commission regarding Site Plan Review Applications: Approval, Denial, or Approval with Conditions. Explanations and sample motions are below.

Approval

An approval motion is appropriate when the Application meets the Standards of the Zoning Ordinance and approves the Application. Sample motion:

“I move that the Site Plan Review Application for a facility expansion at 1254 Perry Avenue (PIN 17-15-300-034), be approved, because it meets all of the Criteria for Review set in Section 9.6 of the Zoning Ordinance.”

Approval with Conditions

An approval with conditions motion is appropriate when the Application meets the Standards of the Zoning Ordinance, but the Planning Commissioners believe a few minor conditions or alterations are required. This motion approves the Application contingent upon the listed conditions. Sample motion:

“I move that the Site Plan Review Application for a facility expansion at 1254 Perry Avenue (PIN 17-15-300-034), be approved with conditions. The Application meets the Criteria for Review set in Section 9.6 of the Zoning Ordinance, but conditions are required to *(select from the relevant reasons below)*

- (1) Ensure that public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity.
- (2) Protect the natural environment and conserve natural resources and energy.
- (3) Ensure compatibility with adjacent uses of land.
- (4) Promote the use of land in a socially and economically desirable manner.

The following conditions are required to address this need: *(list conditions [such as requiring additional permits, revising plans to show needed changes, demonstrating adequacy of the stormwater detention facilities, among others] here).*

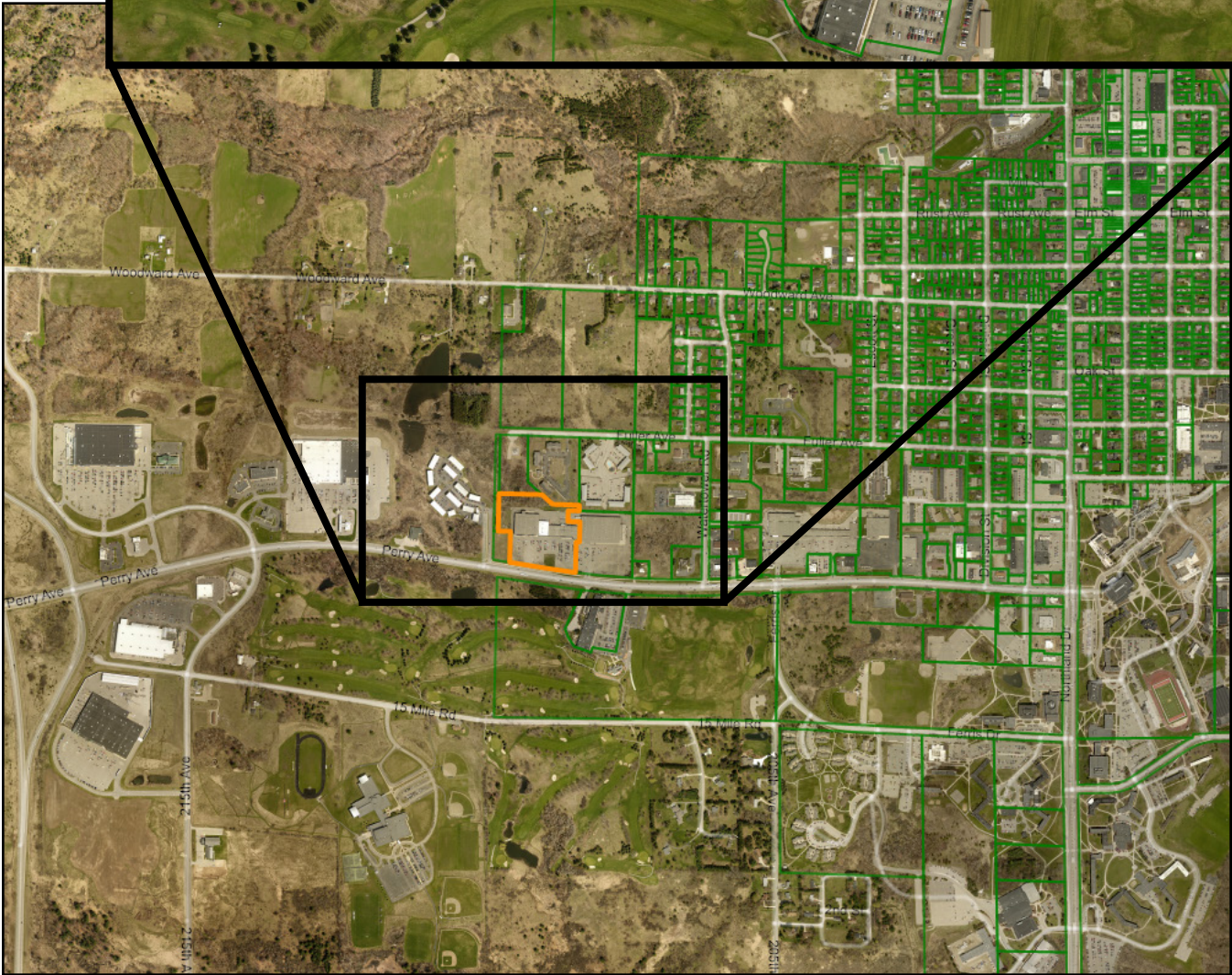
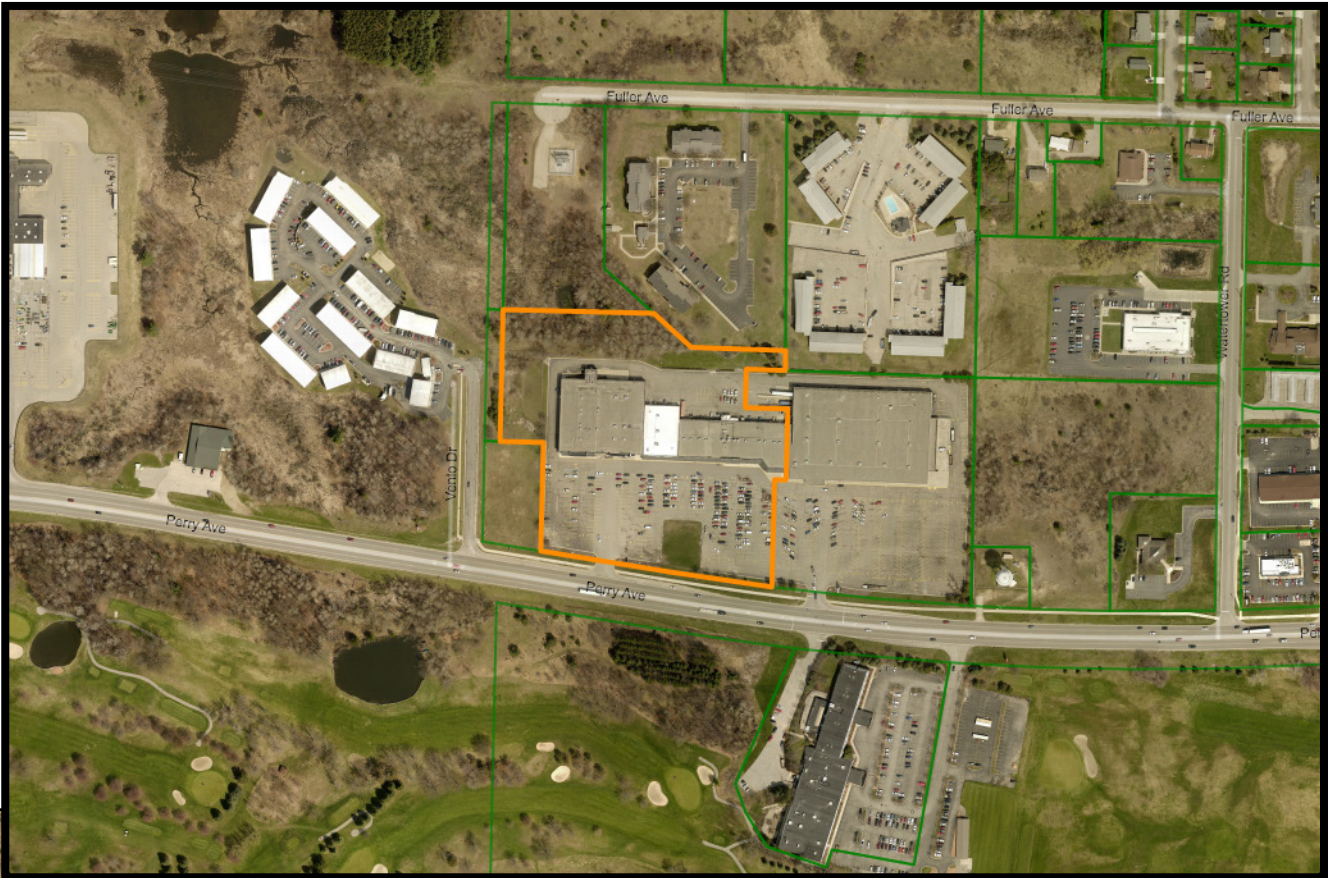
A revised, dated site plan and documents addressing the above shall be submitted for staff approval within 60 days.”

Denial

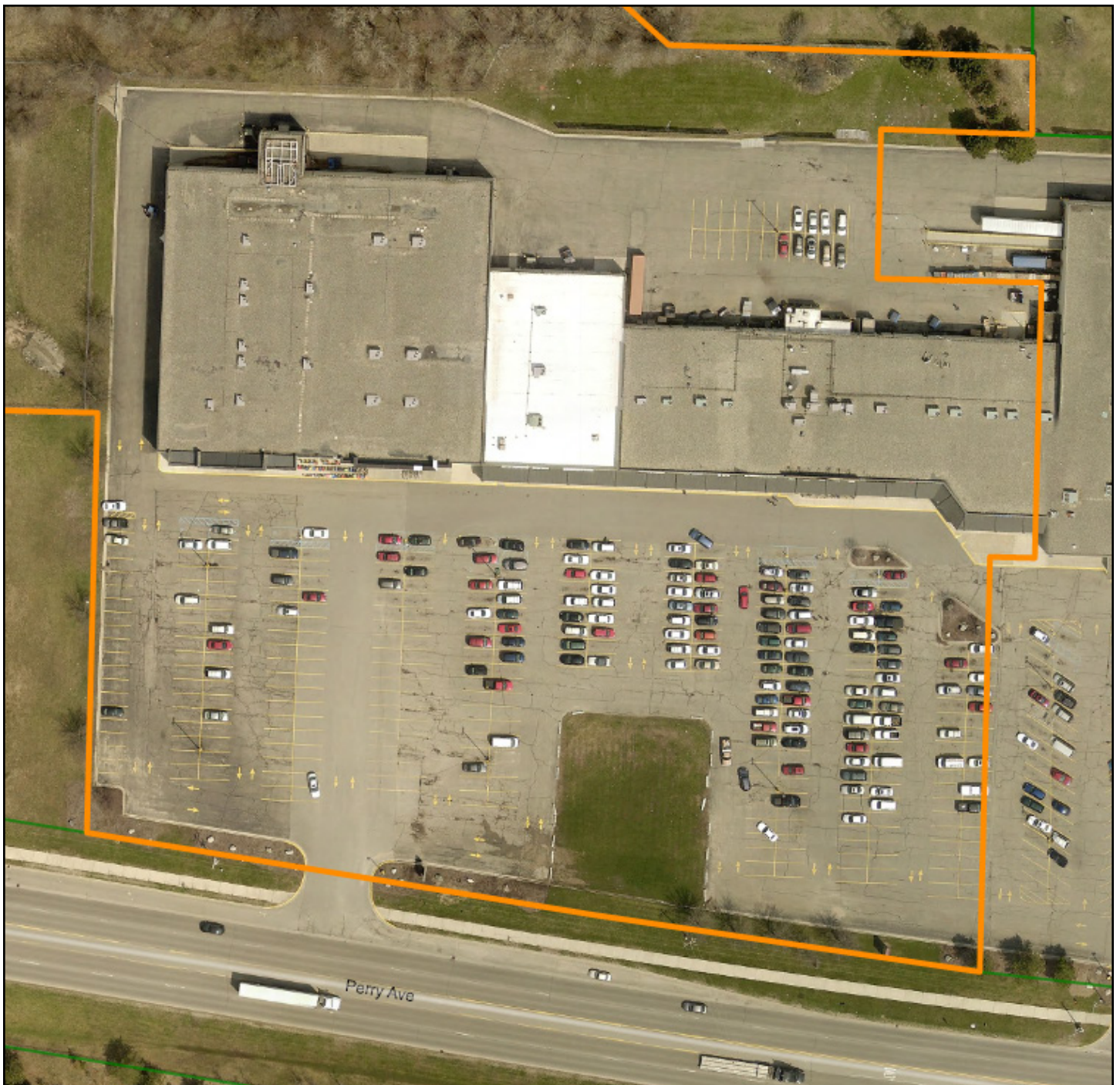
A denial motion is appropriate when the Application fails to meet the Standards of the Zoning Ordinance and ends the application process. Sample motion:

“I move to deny the Site Plan Review Application for a facility expansion at 1254 Perry Avenue (PIN 17-15-300-034), because it does not meet Criteria 9.6:X of the Zoning Ordinance. *(Fill in the X with which number Criteria the application does not meet.)*”

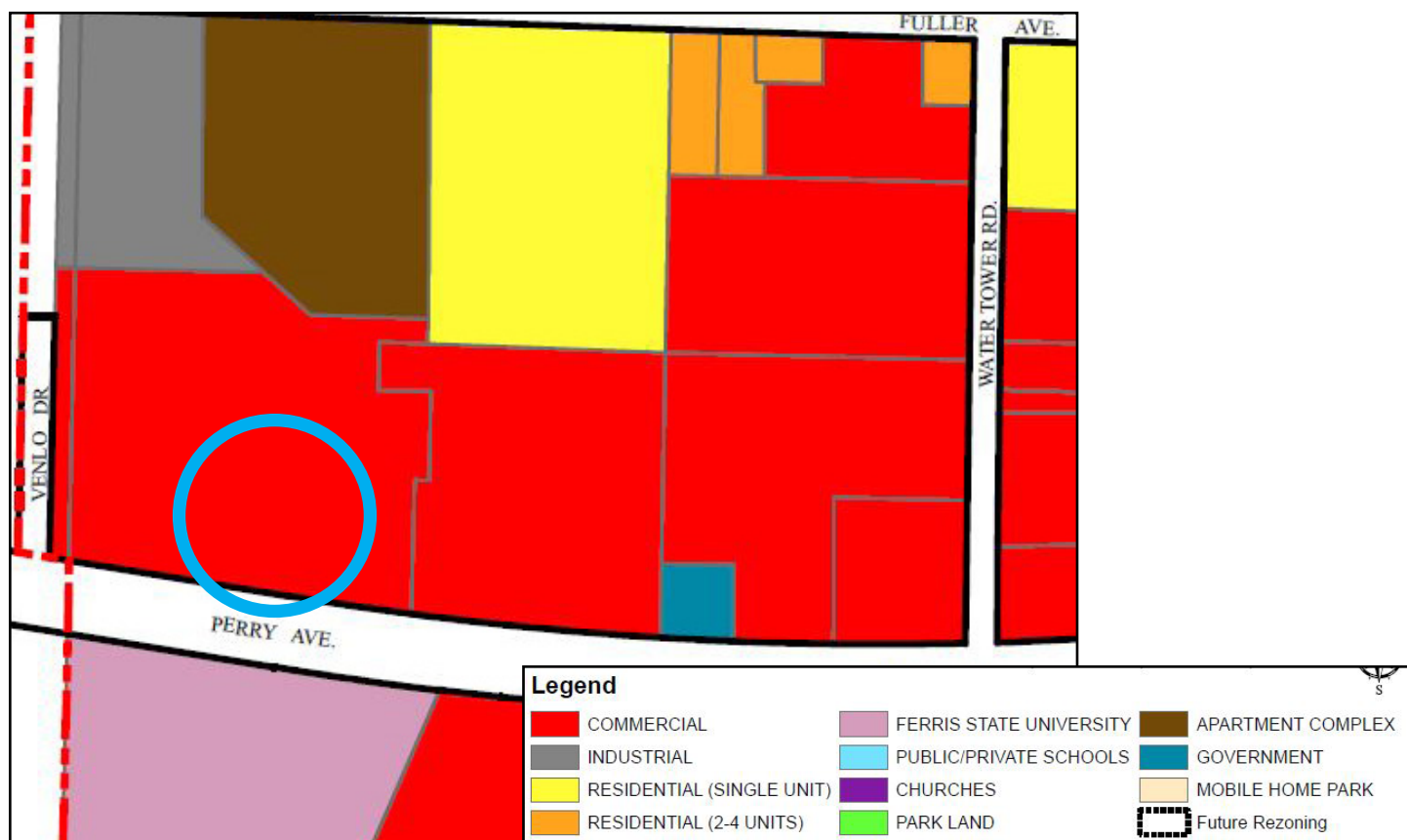
Location Maps



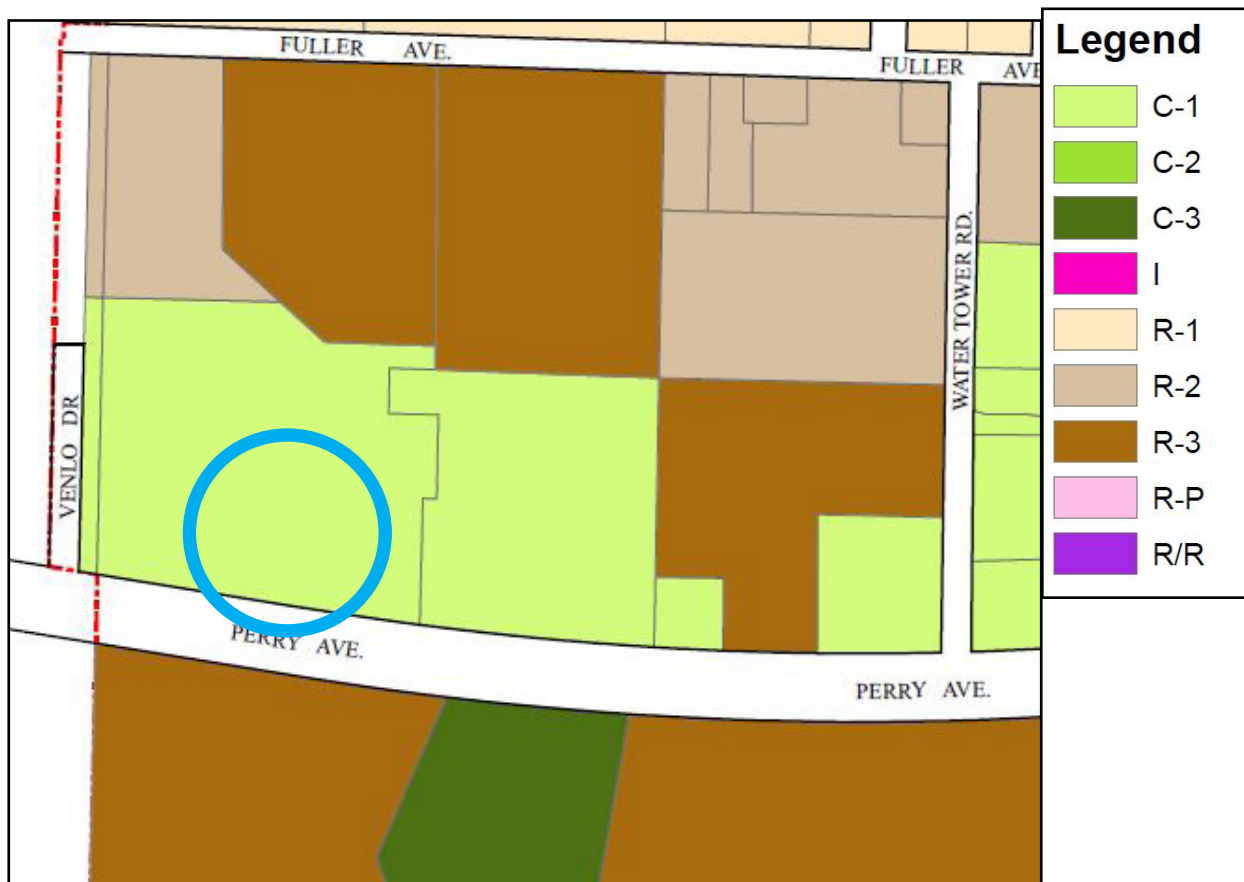
Aerial Imagery



Excerpt from Future Land Use Map



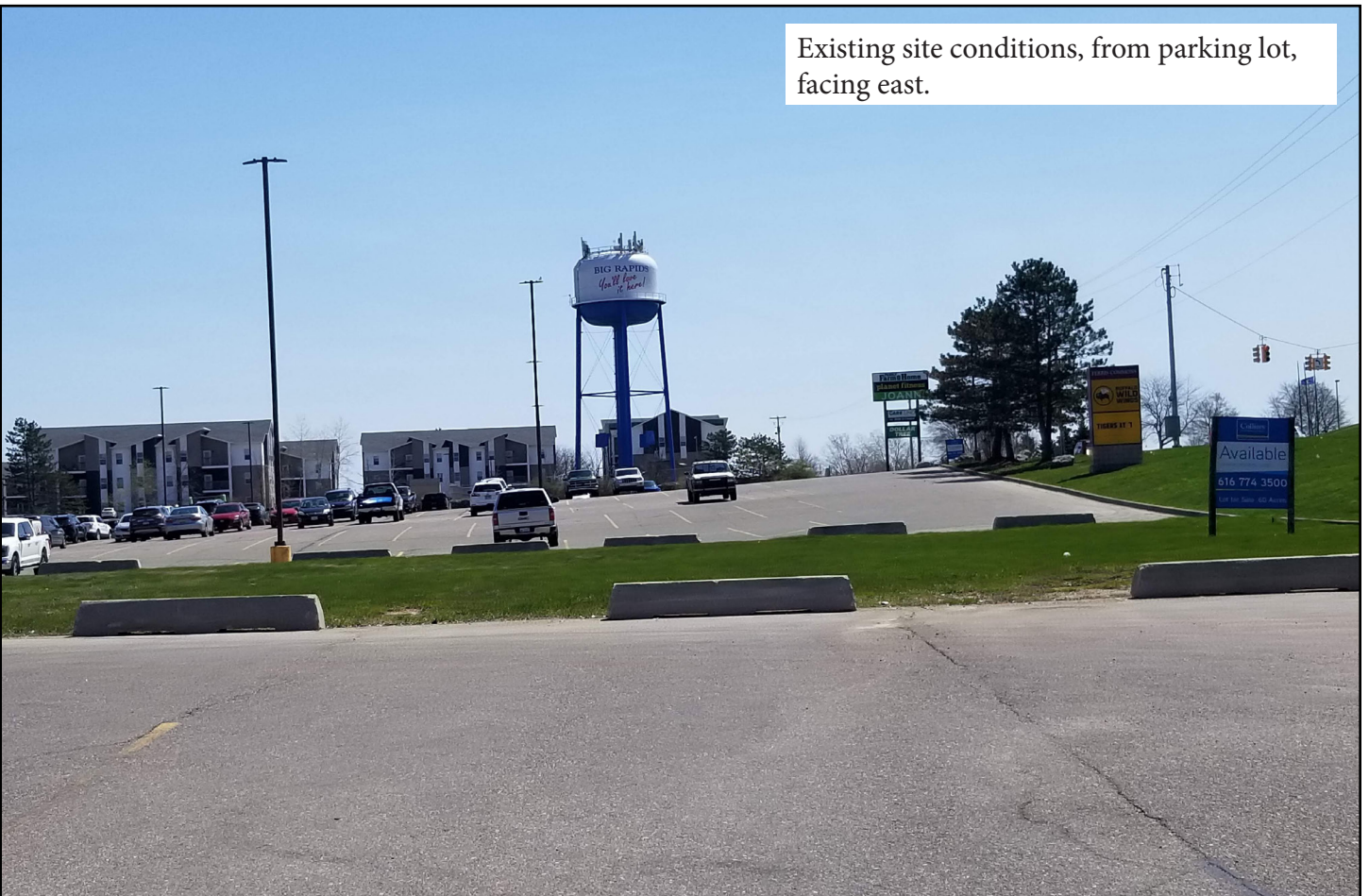
Excerpt from Zoning Map



Existing site conditions from Perry Ave.



Existing site conditions, from parking lot, facing east.



Existing site conditions, from parking lot,
facing south toward Perry Ave.



Existing site conditions, from parking lot,
facing west.





City of Big Rapids

Department of Community Development Application to the Planning Commission for Zoning Request

Application Date: April 26, 2022

Applicant Information:

Name:	Krisandra Lippert, Scooter's Coffee
Address:	2950 Dean Parkway #2205, Minneapolis, MN 55416
Phone Number:	210-818-5293
Property Zoning:	C-1
Request Property Address:	1250 Perry Ave
Explanation of Request:	Special use for drive-thru

Please check one of the following:

- ☒ Special Land Use Permit, Please include the following information
1. A legal description of the property.
 2. Twelve (12) copies of a site plan meeting the requirements of Section 9.4 of the Big Rapids Zoning Ordinance as amended.
 3. A written description of the use.
 4. A written statement addressing use standards set forth in Section 10.3:8.
 5. \$200.00 Application Fee
- ☐ Zoning Amendment Review, Please include the following information:
- ☐ Zoning Map Amendment (Rezoning)
1. A legal description of the property.
 2. A written description of reasons for rezoning and proposed new zoning classification.
 3. A written statement addressing the requirements set forth in Section 14.2:4.
 4. A location map.
 5. \$200.00 Application Fee
- ☐ Text Amendment
1. A written description of proposed changes and reasons why.
 2. Proposed new text.
 3. A written statement addressing the requirements set forth in Section 14.2:2.
 4. \$200.00 Application Fee
- Email: krisandra.lippert@scooterscoffee.com

eSigned via SeamlessDocs.com
Krisandra Lippert
Key: 10e77fd834513a64a4a1826a17f0788b

Signature of applicant or property owner

04/26/2022

(Date)



CITY OF BIG RAPIDS
DEPARTMENT OF COMMUNITY DEVELOPMENT

SITE PLAN REVIEW APPLICATION

APPLICANT NAME: Krisandra Lippert, Scooter's Coffee

APPLICANT ADDRESS: 2950 Dean Parkway #2205, Minneapolis, MN 55416

APPLICANT PHONE NUMBER: 210-818-5293 | Email krisandra.lippert@scooterscoff

PROJECT TITLE: Scooter's Coffee
Big Rapids

PROJECT ADDRESS/LOCATION: 1250 Perry Ave

SUBJECT PROPERTY OWNER: GEN3 Investments, LLC

LEGAL DESCRIPTION OF PROPERTY (attach separate sheet)

SUBJECT PROPERTY ZONING: C-1 **SITE SIZE (ACRES):** 0.46

LIST ALL REQUIRED STATE AND FEDERAL PERMITS ON SEPARATE SHEET

In compliance with Section 9.4 of the City of Big Rapids Zoning Ordinance, twelve copies of a complete proposed site plan must be submitted to the Department of Community Development, a minimum of twenty one days prior to the Planning Commission hearing date. Failure to submit complete plans, a completed application form and filing fee may result in the site plan review hearing being delayed.

SITE PLAN INFORMATION REQUIREMENTS

TWELVE COPIES (12) of the proposed site plan, drawn on 24" x 36" paper

SCALE OF 1" = 20' for sites up to three acres and **1" = 100'** for sites over three acres

LEGEND including north arrow, scale, date of preparation and name, address and telephone number of individual or firm preparing the plan

SEAL of professional architect, engineer or surveyor preparing the plan

LOCATION MAP indicating relationship of the site to surrounding land use

LOT LINES together with dimensions, angles and size correlated with the legal description, which is tied to existing monumentation

TOPOGRAPHY of the site in two foot contour intervals

NATURAL FEATURES such as wood lots, streams, rivers, lakes, wetlands, unstable soils and similar items

MAN MADE FEATURES within 100 feet of the site

BUILDING SIZE, height, finish floor and grade line elevations, yard setbacks and square footage. Front, side and rear elevations drawings of proposed structures.

FLOOR PLAN of structures showing existing and proposed uses (used to verify gross vs. usable floor areas and principal vs. accessory uses).

STREETS, driveways, sidewalks and other vehicle or pedestrian circulation features upon and adjacent to the site shall be shown

PARKING SPACES, location, size and number, service lanes, delivery and loading areas

CROSS SECTIONS illustrating construction of drives and parking areas

LANDSCAPING, together with open spaces, screening, fences, walls and proposed alterations of topography or other natural features.

SERVICE DEMANDS from the community to support proposed operations on the site

EARTH CHANGE plans required by State law

SITE LIGHTING including location, intensity and orientation

SURFACE WATER DRAINAGE

UTILITY LOCATION and size for sanitary sewer, water, storm sewer, natural gas, electricity, telephone, coaxial cable, fiber optic, etc.

FIRE LANES

OUTDOOR STORAGE

TRASH RECEPTACLES

HAZARDOUS MATERIAL storage facilities, including type, quantity, location and secondary containment provisions

OTHER INFORMATION as required by the Plan Board

DIGITAL COPY submitted in anAutoCAD compatible format

SITE PLAN REVIEW FEE \$200

I have read the requirements of submittal and review of a site plan by the City of Big Rapids Planning Commission and attest that the provided site plan is complete:

eSigned via SeamlessDocs.com
Krisandra Lippert
Key: 97bcd0ec233e03494cc53d2c7bb54b55

Applicant Signature

04/26/2022

Date



April 25th, 2022

City of Big Rapids
Community Development
226 N Michigan Avenue
Big Rapids, MI 49307
Attn: Paula Priebe

Re: Scooters Coffee Site Plan/Project Review

Dear Ms. Priebe;

Please accept this cover letter as our statement and narrative for the above design review in the City of Big Rapids.

Scooters is very excited to working with the City of Big Rapids, and we are looking forward to building a long-term relationship while becoming part of the local community.

Scooter's Coffee was founded in the Omaha area in 1998 and is rapidly growing. In 2021 (90+) new stores opened and this year we are well on our way to exceeding last year's growth. To date we have 357 stores open and operating!

Scooter's Coffee is relatively new to Michigan, with existing stores coming in Commerce Township, Grand Rapids, Cascade Township, Burton, Sterling Heights, Kentwood, Lowell, and of course here in Big Rapids!

Scooters is a drive-thru concept serving specialty coffee drinks, real-fruit smoothies, power drinks and breakfast food, including hand-made from scratch cinnamon rolls in the facility in Omaha. We also work directly with the growers to single source only the 10% highest quality beans available anywhere in the world!

Our roots are set in the drive-thru model, with no interior seating, patio, or public access. This not only helps with quality and speed, but it reduces waste and provides a cleaner site environment as well.

Our motto is "Amazing People, Amazing Drinks, Amazingly Fast". We are all about positive interactions with our customers, with a major focus on moving them through our line as fast as possible.

Customer service and sharing smiles is our priority and this, along with speed at our drive-thru is what drives us, ever striving to grow and improve while maintaining the consistency our customers expect.

While the previously attached profile shows our mission, our core competencies are what really make Scooters so special; Integrity, Love, Humility, & Courage.

Every person who joins the Scooters team truly believes in these core values and as such, we subscribe to these values individually, with our teammates, and ultimately with our customers and communities.



This location will employ approximately 10- 15 employees and partner alongside the local neighborhood to support and respect its families and patrons.

Site/Building Data:

This model is approx. 670 sq ft and serves pre-packaged breakfast items so there is no hood, gas, or dish machine; it also has no fire alarm or sprinklers. Because it is drive-thru only, it is better for the environment using less materials thereby creating less waste with no exterior ground trash etc.

The trash enclosure will be fully enclosed, and parking is minimal for employees, traveling managers and small deliveries only.

The general scope includes construction of the new kiosk and trash enclosure (elevation drawings included in the submission package) with landscaping, drive lane and signage.

Schedule:

Project scheduling is contingent upon city approval; once we have Commission approval, we will submit for a building permit at the County. We would like to start construction as soon as possible thereafter, which is a typical 16-week construction schedule and two weeks to prepare the store and its employees for the grand opening!

Again, we look forward to joining you in Big Rapids, and are here to answer any questions you may have along the way.

Respectfully,

Krisandra Lippert

Krisandra Lippert
Development Project Manager
Scooters Coffee, Inc
210.818.5293
krisandra.lippert@scooterscoffee.com



SCOOTER'S COFFEE : COMPANY PROFILE

THE SCOOTER'S COFFEE STORY

It all started in 1998 with one small coffee drive-thru. While living in California, co-founders Don and Linda Eckles witnessed the development of the specialty coffee industry and the drive-thru coffee model. They decided to fuse the two concepts together and bring the idea back to their home state of Nebraska.

The Eckles opened the first Scooter's Coffee in Bellevue, Nebraska, on March 23, 1998. On that blustery morning, Linda Eckles flashed her signature smile, opened the drive-thru window and served the very first cup of world-class Scooter's Coffee. The instant warmth from the friendly conversation, the unique smiley face stickers and the freshly brewed coffee kept the customers coming back for more.

Today, you can visit one of our many stores located across the country, and you will still feel the spirit of that very first store in every single sip! The roots of the company remain at our headquarters in Omaha, where we roast only the top beans from across the world and bake from scratch our signature cinnamon rolls and pastries.

OUR MISSION

Our mantra is "Amazing People ...Amazing Drinks... Amazingly Fast!"® and reflects a steady commitment to providing an unforgettable experience for our customers.

OUR STORES

The Scooter's Coffee "drive-thru kiosk" model is the original business model of the company and remains at the core of our brand. However, we have also experienced success with our drive-thru coffeehouses, where it serves as a gathering place for our customers to enjoy quality coffee, impeccable service and a welcoming atmosphere.

We are in states such as Texas, Florida, Iowa, Illinois, Kansas, Oklahoma, Colorado, Missouri, Utah, New Mexico and more. We are currently moving into Wisconsin, Minnesota and the Dakota's - to date we have 346 stores open and operating, with more coming every month!



SCOOTER'S COFFEE: OUR PRODUCTS

Scooter's Coffee offers a vast range of incomparable products that our customers can enjoy in stores, at home and on-the-go.

Coffee: We pride ourselves on crafting world-class coffee. We roast from only the top 10% of the coffee beans in the world and the result is a rich, smooth, delicious, "warm your heart and make you feel good" cup of coffee.

COFFEE	FLAVOR PROFILE
Scooter's Blend	Medium roast, rich, smooth flavor, easy finish
Ethiopian Select	Bold roast, smooth, full body, floral notes
Guatemala Finca Especial	Bold roast, slightly sweet, smokey flavor
Columbia Decaf	Medium roast, full body, rich, creamy
Scooter Doodle	Medium roast, cinnamon and hazelnut flavor
Hazelnut	Medium roast, hazelnut flavor
Caribbean Caramel (seasonal)	Medium roast, caramel and chocolate flavor
Pumpkin Spice (seasonal)	Medium roast, pumpkin and spice flavor

Specialty Drinks: Hot, iced and blended espresso beverages, real fruit smoothies, "power" smoothies, tea and more! Our signature drink is the Caramelicious®, a caramel-based latté that is drizzled in sweet, caramel syrup and topped with homemade whipped cream. Other customer favorites include the Red Bull Vertigo Smoothie and Candy Bar lattes.

Fresh-Baked Pastries: Muffins, cinnamon rolls, scones, cookies, breads and more... all baked with extra love at the Scooter's Coffee bakery located at our Omaha headquarters.

On-the-Go Food: Breakfast burritos, breakfast sandwiches and healthy oatmeal.

Retail Products: Whole bean and ground coffee, single serve Cups (compatible with Keurig® K-Cup® Machines), Espresso Meltaways (our branded chocolate line), gift cards, mugs, tumblers, etc. We have also recently introduced ready-to-drink cold brew cans with flavors including Scooter Doodle, Guatemala, and Costa Rica Micro Mill.

THE STORY BEHIND THE SMILE

In 1998, Linda Eckles bought happy face stickers at a local store and began placing them on every drink she sold. Customers loved the added touch so much that they often commented on how it made their day a little more special. In 2010, we commissioned a children's book illustrator to create Scooter's Coffee's very own "happy face family." The stickers continue to represent our commitment that you will always walk (or drive) out of a Scooter's Coffee with a world-class cup of coffee and a smile on your face!





402.614.1723

10500 Sapp Brothers Dr
Omaha, NE 68138

scooterscoffee.com

SCOOTERS COFFEE WRITTEN ASSURANCES (10.3.8)

The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety or general welfare.

Scooters Coffee will not be detrimental or endanger the welfare of the neighborhood, employees, or guests.

The conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor shall it substantially diminish and impair property values within its neighborhoods.

Scooters Coffee will create enjoyment to the adjacent neighboring businesses, homes & community, and shall not diminish or impair property values.

The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Scooters Coffee will not impede the development and improvement of the surrounding property, but rather add value and service to the community.

Adequate utilities, access roads, drainage and necessary facilities have been or are being provided.

All utilities, access roads and drainage is accessible to Scooters Coffee.

Adequate measures have been or will be taken to provide ingress or egress so designed as to minimize traffic congestion in the public streets.

Scooters Coffee has all necessary ingress & egress to serve this project.

The conditional use shall, in all other respects conform to the applicable regulations of the district in which it is located, any specific requirements established for that use in Article 11 and to any additional conditions or procedures as specified in Section 10.4.

Scooters Coffee drive-thru will conform to any and all requirement established for that use in Article 11 and to any additional conditions as specified in Section 10.4.



SCOOTER'S
COFFEE DRIVE-THRU



PRODUCT SUPPORT

Resource Center

Frequently Asked Questions

Installation

Technical Bulletins

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FIRE PREVENTION FAQ

Are your products 1-hour fire-rated?

While JamesHardie® products will not ignite when exposed to direct flame or contribute fuel to a fire, heat will transfer through them. Because of this, the product itself is not 1-hour fire rated. However, they do qualify for use in certain 1-hour fire rated **Warnock Hersey and UL assemblies**. Think of JH products as a pan used for cooking. The pan can be directly exposed to a stove's flame and not burn, yet the food in the pan will cook in time. Having an interior wallboard that resists burning for 1-hour buys time for the homeowner and fire professionals.

What constitutes a 1-hour fire-rated assembly?

The period of time a fire resistant building element like JamesHardie® Siding along with other components of the assembly maintains the ability to confine a fire, continues to perform a given structural function, or both, as determined by ASTM E 119 tests.

Are James Hardie products a masonry product?

The Uniform Building Code defines masonry as a form of construction composed of stone, brick, concrete, gypsum, tile, glass block or other materials laid up unit by unit and set in mortar. Although James Hardie products are installed with nails, like most masonry materials, they are primarily cement with performance characteristics similar to brick, stucco and stone. These characteristics include fire, moisture and insect resistance. Many cities include fiber-cement in their masonry definitions for these very reasons.

What is fire resistance?

The property of a wall assembly used in conjunction with JamesHardie Fiber Cement that prevents or retards the passage of excessive heat, hot gases or flames under conditions of use.

Can James Hardie products be used around a masonry fireplace?

Yes, HardieBacker® 1/4" Cement Board is deemed noncombustible when tested to ASTM E 136 and can be used in conjunction with other noncombustible materials around a fireplace. This does not mean that clearances to combustible building materials can be reduced by using HardieBacker 1/4". Clearances to combustible building materials shall be obeyed even if they are protected by noncombustible materials, please refer to your local building and fire code for specific combustible clearance details around masonry fireplaces.

Can you substitute JH products for gypsum to achieve a 1-hour rating?

Because heat will transfer through JH products, they cannot be substituted for Type X, fire-rated gypsum.

Can I receive a discount on home insurance for using JH products?

Because JH products are non-combustible, many insurance companies offer a discount. We recommend sharing the information on this page with your insurance company if they are not familiar with fiber-cement siding's fire-resistance.

REQUEST INFORMATION

- Request a Quote
- Find a Contractor
- Request a Brochure
- Request a Sample
- Request a Catalog
- Request the Re-Side Guide
- Find a Dealer

PRODUCTS

- All Products
- HardiePlank® Lap Siding
- HardieShingle® Siding
- HardiePanel® Vertical Siding
- HardieTrim® Boards
- HardieSoffit® Pre-Cut Panels
- Artisan® by James Hardie
- HardieWrap® Weather Barrier
- HardieBacker® Cement Board

QUICK LINKS

- Exterior House Color Visualizer
- Explore House Siding Colors
- House Siding Ideas Gallery
- Performance and Durability
- Superior Siding
- ColorPlus® Technology
- Lifetime Value
- Resource Center

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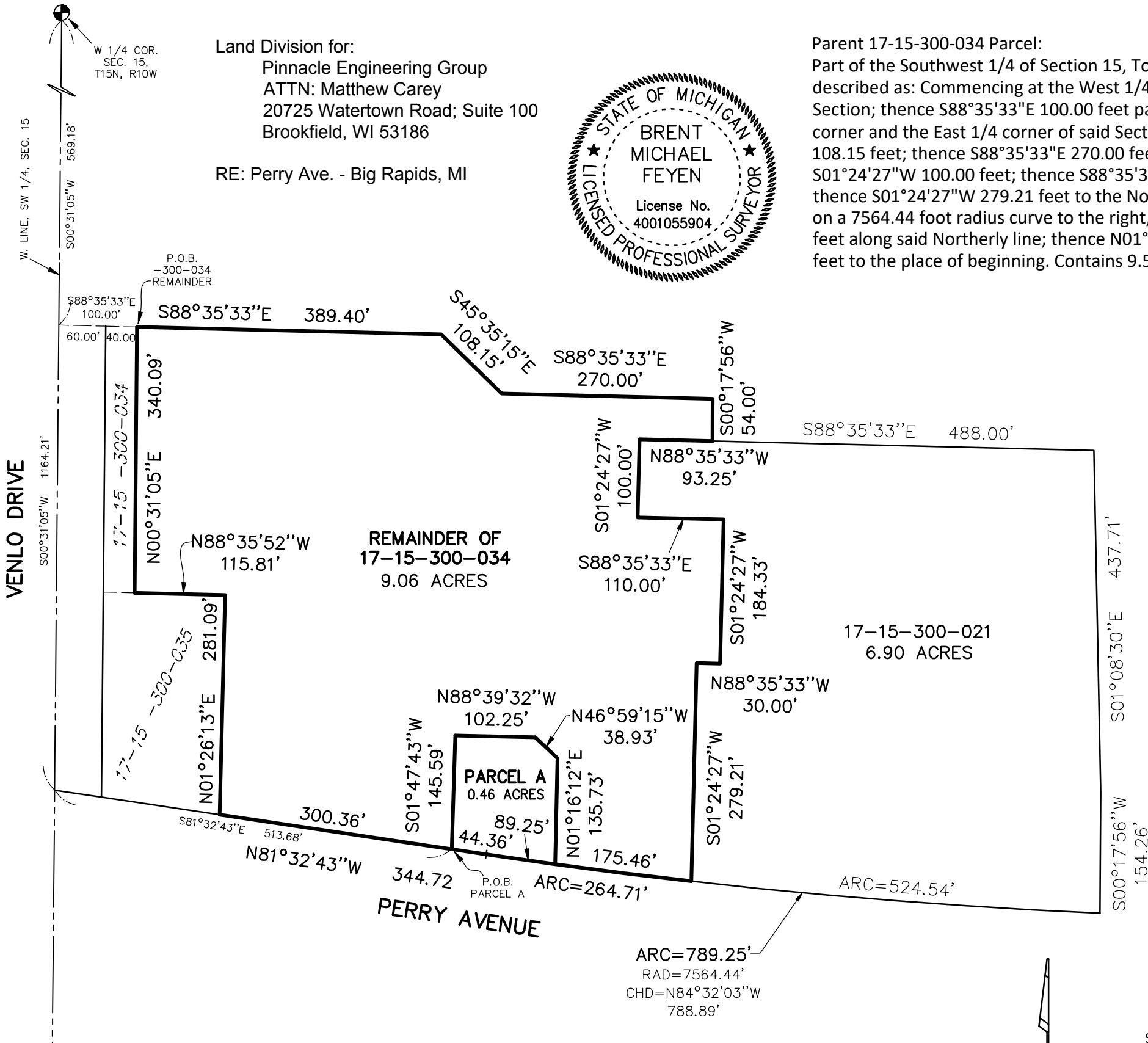
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Privacy Policy

Terms & Use



Questions? 1-888-J-HARDIE (1-888-542-7343)



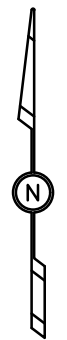
Land Division for:
Pinnacle Engineering Group
ATTN: Matthew Carey
20725 Watertown Road; Suite 100
Brookfield, WI 53186

RE: Perry Ave. - Big Rapids, MI

Parent 17-15-300-034 Parcel:
Part of the Southwest 1/4 of Section 15, Town 15 North, Range 10 West, City of Big Rapids, Mecosta County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence S00°31'05"W 569.18 feet along the West line of said Section; thence S88°35'33"E 100.00 feet parallel with the East-West 1/4 of said Section as defined as between the West 1/4 corner and the East 1/4 corner of said Section to the Point of Beginning; thence S88°35'33"E 389.40 feet; thence S45°35'15"E 108.15 feet; thence S88°35'33"E 270.00 feet; thence S00°17'56"W 54.00 feet; thence N88°35'33"W 93.25 feet; thence S01°24'27"W 100.00 feet; thence S88°35'33"E 110.00 feet; thence S01°24'27"W 184.33 feet; thence N88°35'33"W 30.00 feet; thence S01°24'27"W 279.21 feet to the Northerly line of Perry Avenue; thence Westerly 264.71 feet along said Northerly line on a 7564.44 foot radius curve to the right, the chord of which bears N82°32'52"W 264.69 feet; thence N81°32'43"W 344.72 feet along said Northerly line; thence N01°26'13"E 281.09 feet; thence N88°35'52"W 115.81 feet; thence N00°31'05"E 340.09 feet to the place of beginning. Contains 9.52 acres. Subject to easements, restrictions and rights-of-way of record.

Remainder 17-15-300-034 Parcel:
Part of the Southwest 1/4 of Section 15, Town 15 North, Range 10 West, City of Big Rapids, Mecosta County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence S00°31'05"W 569.18 feet along the West line of said Section; thence S88°35'33"E 100.00 feet parallel with the East-West 1/4 of said Section as defined as between the West 1/4 corner and the East 1/4 corner of said Section to the Point of Beginning; thence S88°35'33"E 389.40 feet; thence S45°35'15"E 108.15 feet; thence S88°35'33"E 270.00 feet; thence S00°17'56"W 54.00 feet; thence N88°35'33"W 93.25 feet; thence S01°24'27"W 100.00 feet; thence S88°35'33"E 110.00 feet; thence S01°24'27"W 184.33 feet; thence N88°35'33"W 30.00 feet; thence S01°24'27"W 279.21 feet to the Northerly line of Perry Avenue; thence Westerly 175.46 feet along said Northerly line on a 7564.44 foot radius curve to the right, the chord of which bears N82°53'08"W 175.45 feet; thence N01°16'12"E 135.73 feet; thence N46°59'15"W 38.93 feet; thence N88°39'32"W 102.25 feet; thence S01°47'43"W 145.59 feet to said Northerly line; thence N81°32'43"W 300.36 feet along said Northerly line; thence N01°26'13"E 281.09 feet; thence N88°35'52"W 115.81 feet; thence N00°31'05"E 340.09 feet to the place of beginning. Contains 9.06 acres. Subject to easements, restrictions and rights-of-way of record.

Description of Parcel A:
Part of the Southwest 1/4 of Section 15, Town 15 North, Range 10 West, City of Big Rapids, Mecosta County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence S00°31'05"W 569.18 feet along the West line of said Section to its intersection with the Northerly line of Perry Avenue; thence S81°32'43"E 513.68 feet along said Northerly line to the PLACE OF BEGINNING of this description; thence S81°32'43"E 44.36 feet along said Northerly line; thence Easterly 89.25 feet along said Northerly line on a 7,564.44 foot radius curve to the left, the chord of which bears S81°52'59"E 89.25 feet; thence N01°16'12"E 135.73 feet; thence N46°59'15"W 38.93 feet; thence N88°39'32"W 102.25 feet; thence S01°47'43"W 145.59 feet to the place of beginning. Contains 0.46 acres. Subject to easements, restrictions and rights-of-way of record.

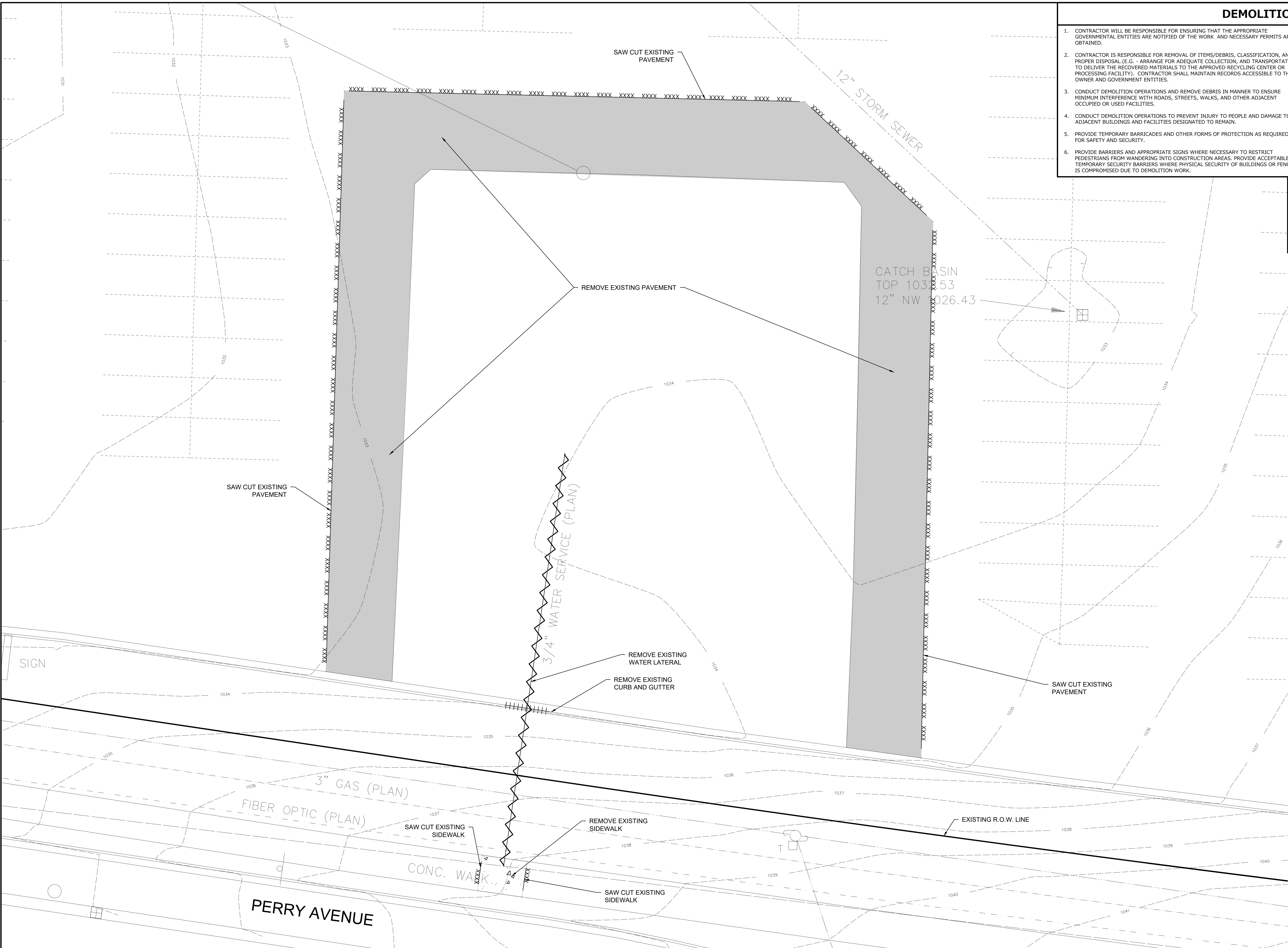


- Scale 1" = 150'
- D = Deeded dimension
 - M = Measured dimension
 - P = Platted dimension
 - = Set iron stake
 - = Found iron stake
 - ⊙ = Concrete monument
 - x- = Fence line

exxel engineering, inc.
planners • engineers • surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 www.exxelengineering.com

FILE NO.: S221287 DATE: 4/25/2022

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REVIEWED: MAC
DESIGNED: KJB
DRAFTED: KJB



DEMOLITION & CLEARING

1. CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT THE APPROPRIATE GOVERNMENTAL ENTITIES ARE NOTIFIED OF THE WORK AND NECESSARY PERMITS ARE OBTAINED.

2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ITEMS/DEBRIS, CLASSIFICATION, AND PROPER DISPOSAL (E.G., ARRANGE FOR ADEQUATE COLLECTION, AND TRANSPORTATION TO DELIVER THE RECOVERED MATERIALS TO THE APPROVED RECYCLING CENTER OR PROCESSING FACILITY). CONTRACTOR SHALL MAINTAIN RECORDS ACCESSIBLE TO THE OWNER AND GOVERNMENT ENTITIES.

3. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS IN MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.

4. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES DESIGNATED TO REMAIN.

5. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR SAFETY AND SECURITY.

6. PROVIDE BARRIERS AND APPROPRIATE SIGNS WHERE NECESSARY TO RESTRICT PEDESTRIANS FROM WANDERING INTO CONSTRUCTION AREAS. PROVIDE ACCEPTABLE TEMPORARY SECURITY BARRIERS WHERE PHYSICAL SECURITY OF BUILDINGS OR FENCES IS COMPROMISED DUE TO DEMOLITION WORK.

7. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE NO WATER LEAKAGE OR DAMAGE OCCURS TO STRUCTURE OR INTERIOR AREAS OF EXISTING BUILDING.

8. ERECT TEMPORARY ENCLOSURES AS NECESSARY TO LIMIT DUST. USE WATER AS NECESSARY TO LAY DUST WHEN CHIPPING, CORING, OR SAWING CONCRETE, MASONRY OR SIMILAR MATERIALS. WATER MUST BE CONTROLLED INSIDE BUILDINGS BY DAMMING, OR OTHER CONTAINMENT METHOD.

9. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURES AND ADJACENT FACILITIES THAT ARE NOT PART OF DEMOLITION.

10. PERFORM WORK IN SAFE AND SYSTEMATIC MANNER.

11. WEAR PROPER PERSONAL PROTECTIVE EQUIPMENT AT ALL TIMES.

12. COMPLETELY BACKFILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM UTILITY REMOVAL AND OTHER DEMOLITION WORK WITH CLOSE GRADED AGGREGATE OR COHESIVE STRUCTURAL FILL.

13. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED.

CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

LEGEND

REMOVE EXISTING PAVEMENT

REMOVE EXISTING UTILITY

REMOVE EXISTING CURB AND GUTTER

SAW CUT EXISTING PAVEMENT

LEGEND

= CONCRETE MONUMENT

= IRON STAKE FOUND

= IRON STAKE SET

= UTILITY POLE & GUY WIRE

= LIGHT POLE

= SIGN

= HYDRANT

= VALVE

= CATCH BASIN

= MANHOLE

= BURIED GAS LINE MARKER

= CLEANOUT

= TELEPHONE BOX

= FIBER-OPTIC HANDHOLE

= ELECTRIC HANDHOLE

= FENCE LINE

= OVERHEAD WIRES

NORTH

GRAPHICAL SCALE (FEET)

0

1" = 10'

20'

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(262) 754-8888

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SCOOTER'S COFFEE

BIG RAPIDS, MI

EXISTING CONDITIONS & DEMOLITION PLAN

REVISIONS	

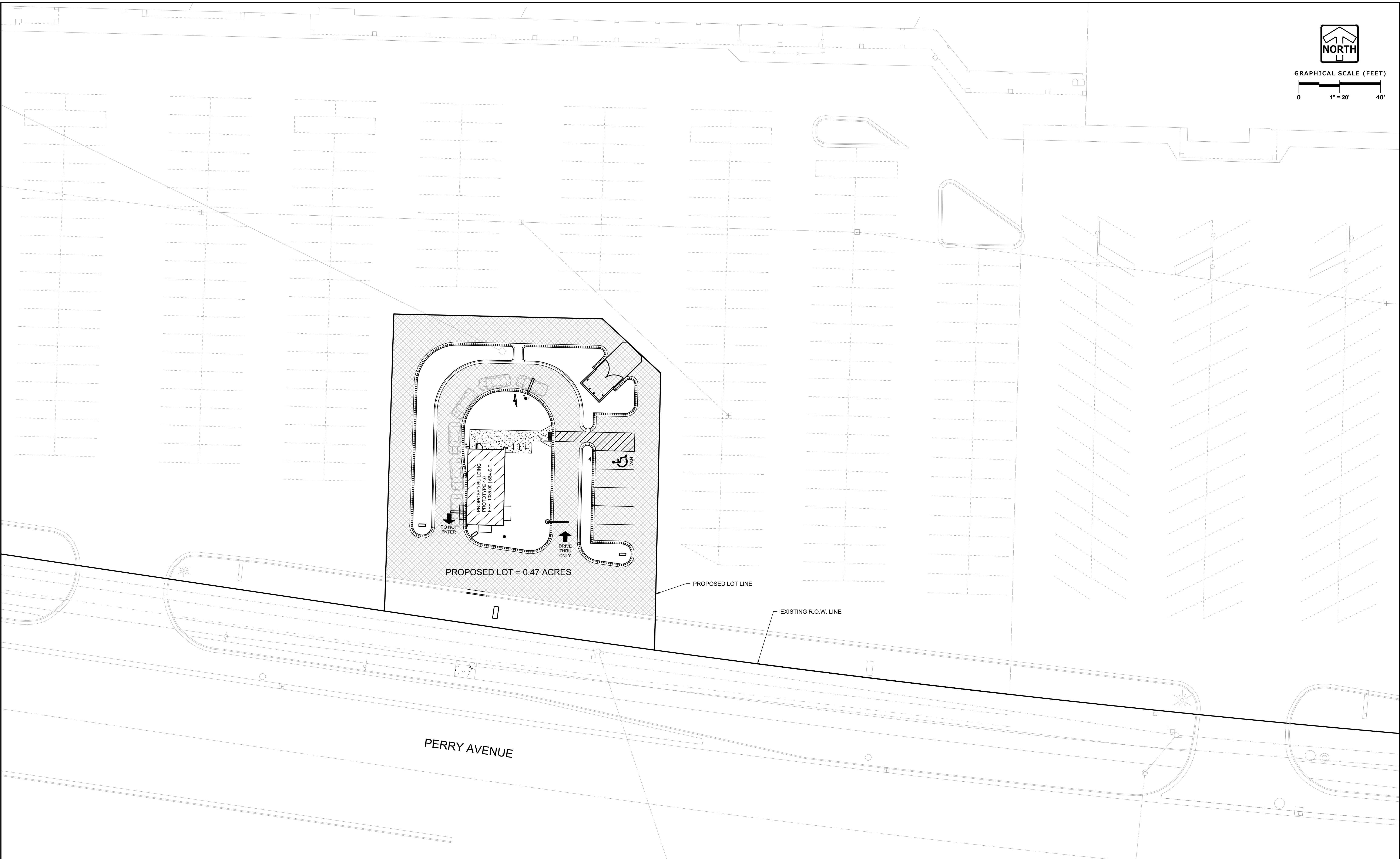
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START DATE 04/18/22
SCALE

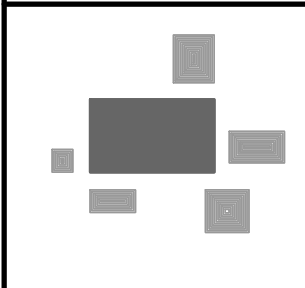
SHEET
C-2
OF
C-9

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SCOOTER'S COFFEE

BIG RAPIDS, MI

SITE OVERVIEW

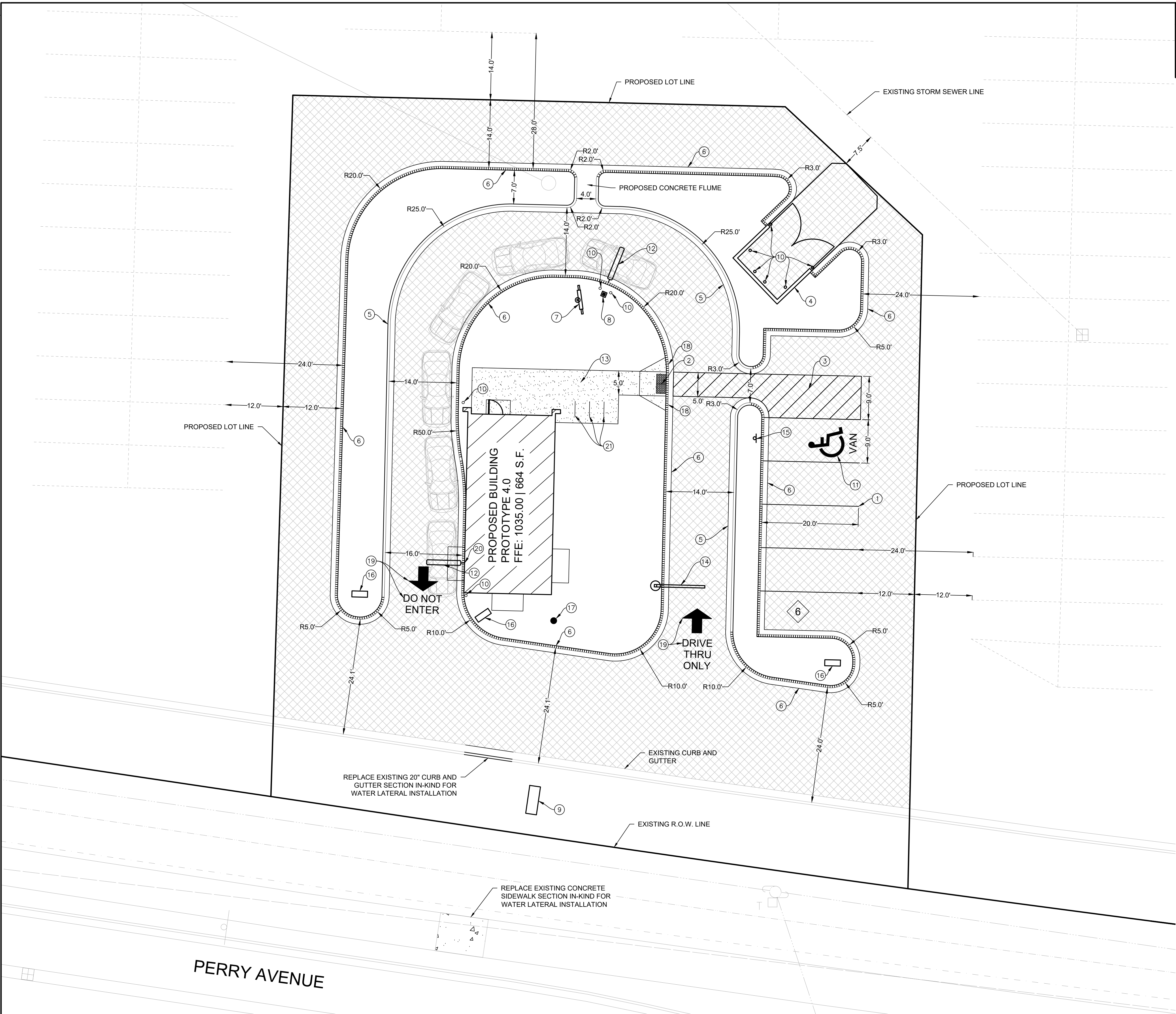
REVISIONS	

REG JOB No: 2836.00-MI
REG PM: MAC
START DATE: 04/18/22
SCALE:

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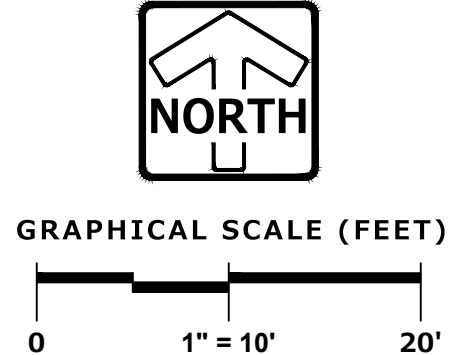


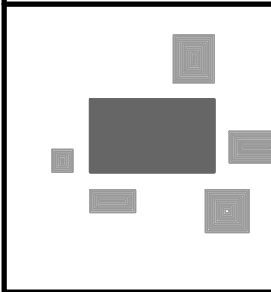
SITE DATA TABLE	
TOTAL SITE AREA/ PROPOSED LOT SIZE:	0.47 AC (20,285 S.F.)
BUILDING SIZE:	0.02 AC (664 S.F.)
PROPOSED PARKING SPACES:	6 (1 A.D.A)

SITE KEYNOTES:	
1.	INSTALL 4-INCH WHITE PAVEMENT STRIPING. PAINT SHALL MEET OR EXCEED CITY OF BIG RAPIDS STANDARD SPECIFICATIONS (TYP.).
2.	CONSTRUCT (TYPE 3) CURB RAMP PER ADA REGULATIONS, LOCAL JURISDICTIONAL REQUIREMENTS. (SEE DETAIL)
3.	INSTALL 4-INCH WHITE PAVEMENT STRIPING AT 45°, 2- FEET O.C. PAINT SHALL MEET OR EXCEED CITY OF BIG RAPIDS STANDARD SPECIFICATIONS (TYP.)
4.	TRASH ENCLOSURE. REFERENCE ARCHITECTURAL PLANS. CONSTRUCT HEAVY DUTY PAVEMENT APRON AS SHOWN ON PLANS.
5.	18" VERTICAL FACE CURB AND GUTTER, REGULAR STYLE (SEE DETAIL)
6.	18" VERTICAL FACE CURB AND GUTTER, REVERSE STYLE (SEE DETAIL)
7.	MENU BOARD. REFERENCE ARCHITECTURAL PLANS.
8.	SPEAKER POST. REFERENCE ARCHITECTURAL PLANS. SEPARATE SIGN PERMIT REQUIRED.
10.	CONSTRUCT BOLLARD (SEE DETAIL)
11.	INSTALL ADA PARKING STALL AND ASSOCIATED STRIPING AND SIGNAGE PER ADA REGULATIONS AND LOCAL JURISDICTIONAL REQUIREMENTS. (SEE DETAIL)
12.	LOOP SENSOR. REFER TO ARCHITECTURE PLANS.
13.	CONSTRUCT 5-INCH P.C.C. SIDEWALK. (SEE DETAIL)
14.	HEIGHT CLEARANCE BAR, REFER TO ARCHITECTURE PLANS.
15.	INSTALL ADA/SIGN BOLLARD. (SEE DETAIL)
16.	DIRECTIONAL SIGN DISPLAY, REFER TO ARCHITECTURE PLANS.
17.	FLAG POLE, REFER TO ARCHITECTURE PLANS.
18.	CURB TAPER. (SEE DETAIL)
19.	DIRECTIONAL PAVEMENT MARKING. (AS SHOWN)
20.	PICK-UP WINDOW ON BUILDING.
21.	BIKE CORRAL, REFER TO ARCHITECTURE PLANS.

NOTES	
1.	ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT; EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
2.	ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
3.	ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
4.	BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5.	THE CONTRACTOR SHALL CONTACT MISS DIG 811 (1-800-482-7171) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
6.	IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
7.	REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
8.	SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
9.	ALL PAVING SHALL CONFORM TO THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, APPLICABLE CITY OF BIG RAPIDS ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
10.	CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
11.	PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
12.	THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR IS RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
13.	DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
14.	LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
15.	PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
16.	BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
17.	ASPHALTIC CONCRETE PAVING SPECIFICATIONS- CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 302, 305, 306 AND 501 OF THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, EDITION OF 2012. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE MDOT CONSTRUCTION SPECIFICATIONS. WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
	GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION. CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 302, 305, AND 306, MDOT CONSTRUCTION SPECIFICATIONS. BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 501, MDOT CONSTRUCTION SPECIFICATIONS. SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTION 501, MDOT CONSTRUCTION SPECIFICATIONS. ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 501, MDOT CONSTRUCTION SPECIFICATIONS. SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING. CONCRETE PAVING SPECIFICATIONS- CODES AND STANDARDS: CONCRETE PAVEMENTS SHALL CONFORM TO SECTIONS 601 AND 602, MDOT CONSTRUCTION SPECIFICATIONS. DOWEL BARS: PLACE AT ALL TRANSVERSE AND LONGITUDINAL JOINTS IN TRUCK LOADING DOCK AREAS AND AT ALL TRANSVERSE JOINTS IN ENTRANCE AREAS/ROADS. TIE BARS: PLACE AT ALL LONGITUDINAL JOINTS IN ENTRANCE AREAS/ROADS. PLACE IN CURB AND GUTTER.

LEGEND	
*PAVEMENT SECTIONS TO BE FINALIZED BY GEOTECHNICAL ENGINEER	
	CONCRETE PAVEMENT - 6" MDOT 21AA DENSE-GRADED AGGREGATE OR APPROVED EQUIVALENT - 6" MDOT S1 PCC (3500 PSI AIR ENTRAINED CONCRETE)
	CONCRETE SIDEWALK - 6" MDOT 22A DENSE-GRADED AGGREGATE OR APPROVED EQUIVALENT - 5" PCC (3500 PSI AIR ENTRAINED CONCRETE)
	STORAGE SPACE COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)





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SCOOTER'S COFFEE

BIG RAPIDS, MI

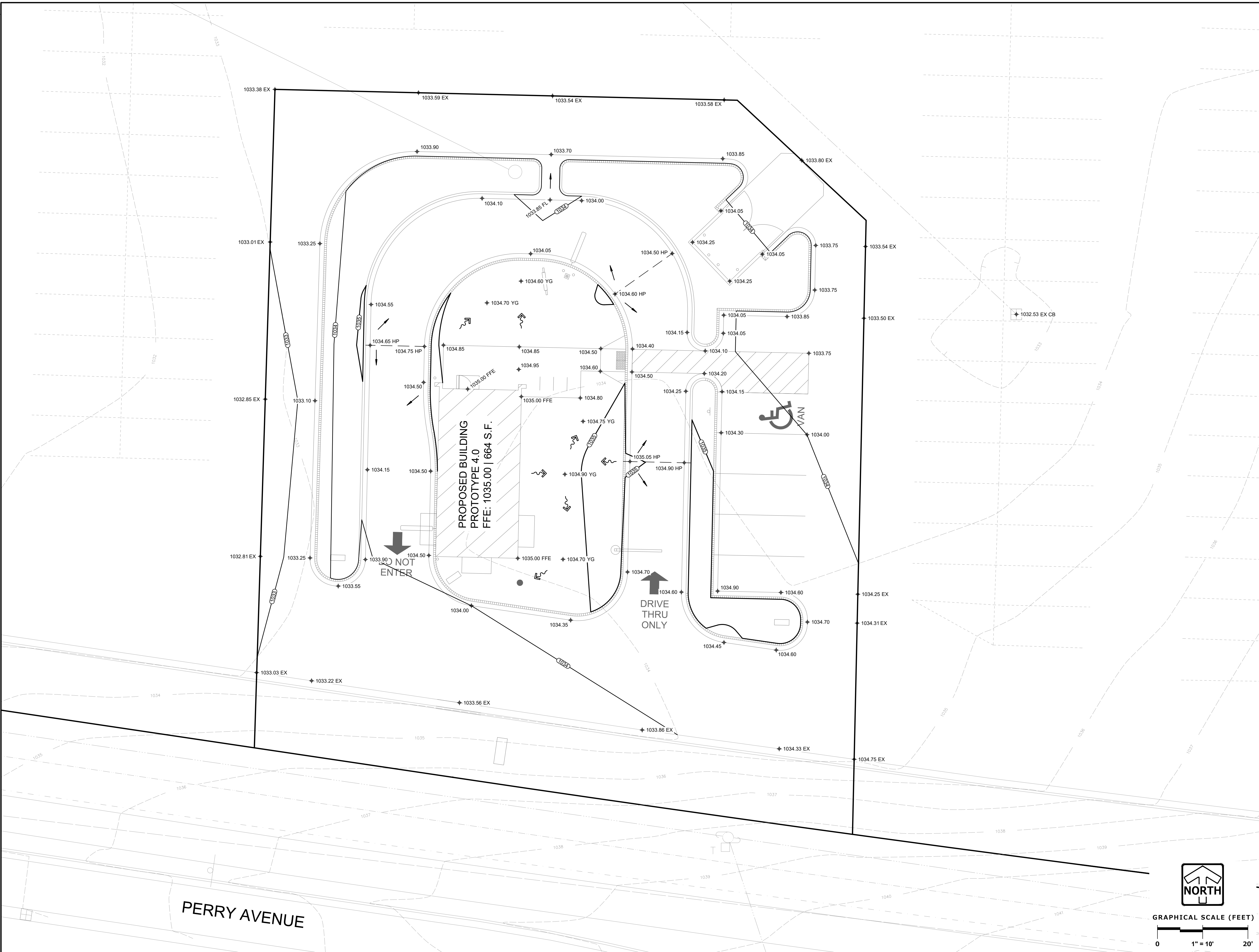
SITE DIMENSIONAL & PAVING PLAN

REVISIONS		SHEET
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REC JOB No. 2836.00-01
MAC
REC PM
START DATE 04/18/22
SCALE

SHEET

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GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.

CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.

THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT MISS DIG 811 (800-482-7171) FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL MECOSTA COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
- LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
- TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.
- SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY EXCEL ENGINEERING, INC. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

LEGEND

- | | |
|--|--|
| | STORM SEWER MANHOLE |
| | STORM SEWER CATCH BASIN- ROUND CASTING |
| | STORM SEWER CATCH BASIN- RECTANGULAR CASTING |
| | PROPOSED CONCRETE FLARED END SECTION |
| | PROPOSED CONTOUR |
| | EXISTING SPOT ELEVATION |
| | SPOT ELEVATION |
| | DIRECTION OF SURFACE FLOW |
| | DITCH OR SWALE |
| | DIVISION SWALE |
| | OVERFLOW RELIEF ROUTING |
| | CONCRETE SIDEWALK |
| | CURB AND GUTTER |
| | DEPRESSED CURB |
| | REVERSE PITCH CURB & GUTTER |
| | GRAVEL |
| | EXISTING GRADE |
| | FINISHED FLOOR |
| | TOP OF WALL |
| | BOTTOM OF WALL |
| | YARD GRADE |
| | HIGH POINT |
| | CATCH BASIN RIM |
| | FUTURE PAVEMENT GRADE |



GRAPHICAL SCALE (FEET)

0 1" = 10' 20'

SCOOTER'S COFFEE

BIG RAPIDS, MI

GRADING PLAN

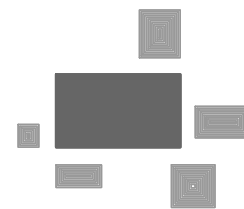
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SHEET

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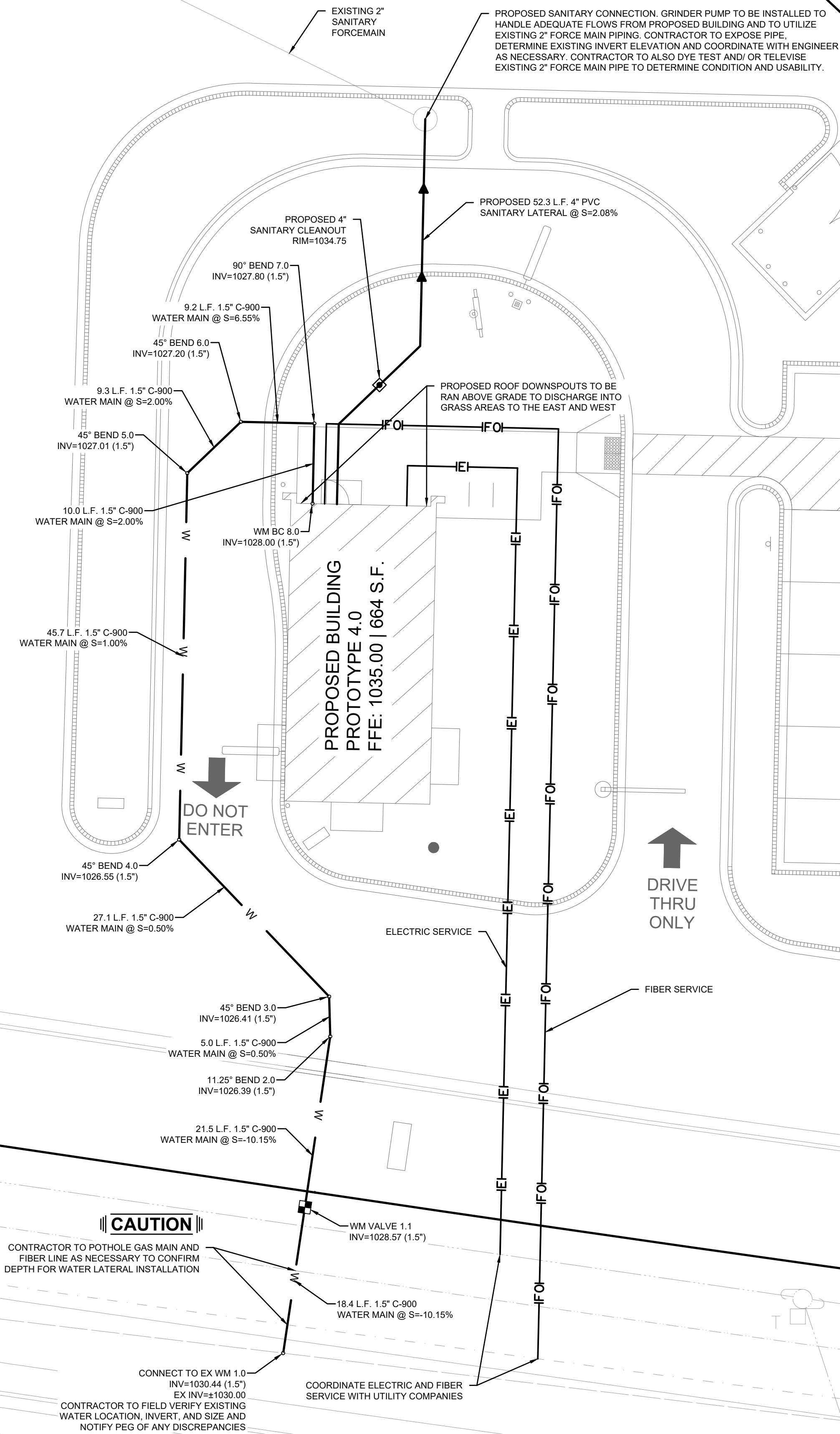
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PERRY AVENUE



LEGEND

	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	PRECAST CONCRETE FLARED END SECTION
	CLEANOUT
	VALVE BOX
	FIRE HYDRANT
	SANITARY SEWER
	FORCE MAIN
	STORM SEWER
	DRAIN TILE
	WATER MAIN
	FIRE PROTECTION
	UTILITY CROSSING
	ELECTRICAL CABLE
	GAS MAIN
	TELEPHONE LINE
	OVERHEAD WIRES
	LIGHTING
	ELECTRICAL TRANSFORMER OR PEDESTAL
	POWER POLE
	POWER POLE WITH LIGHTS
	STREET SIGN
	UTILITY TO BE REMOVED

UTILITY NOTES

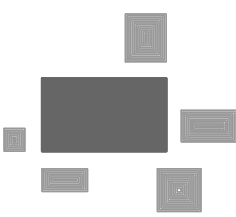
- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL MISS DIG 811 (800-482-7171) PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION IN MICHIGAN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH 2015 MICHIGAN PLUMBING CODE.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER EXCEPT THOSE NOTED AS PUBLIC.
- ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
- STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

HEIGHT OF COVER (FEET):	0-2	2-3	3-6	6-15	15-25	25+
MINIMUM CONCRETE PIPE CLASSIFICATION:	IV	III	II	III	IV	ENGINEER TO SPECIFY

HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
INLETS/CATCH BASINS - FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL.
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
- WATER MAIN SPECIFICATIONS -
PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500. GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF KENTWOOD AND IN ACCORDANCE WITH 2015 MICHIGAN PLUMBING CODE. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO SECTION 823 OF THE MDOT 2020 STANDARD SPECIFICATIONS FOR CONSTRUCTION.
BACKFILL - GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL.
- SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.
BACKFILL - GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL.
MANHOLES - STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
- SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET.
- TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
- SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.



GRAPHICAL SCALE (FEET)
0 1" = 10' 20'



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SCOOTER'S COFFEE

BIG RAPIDS, MI

UTILITY PLAN

REVISIONS

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REG JOB No 2836.00-MI
MAC
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START DATE 04/18/22
SCALE

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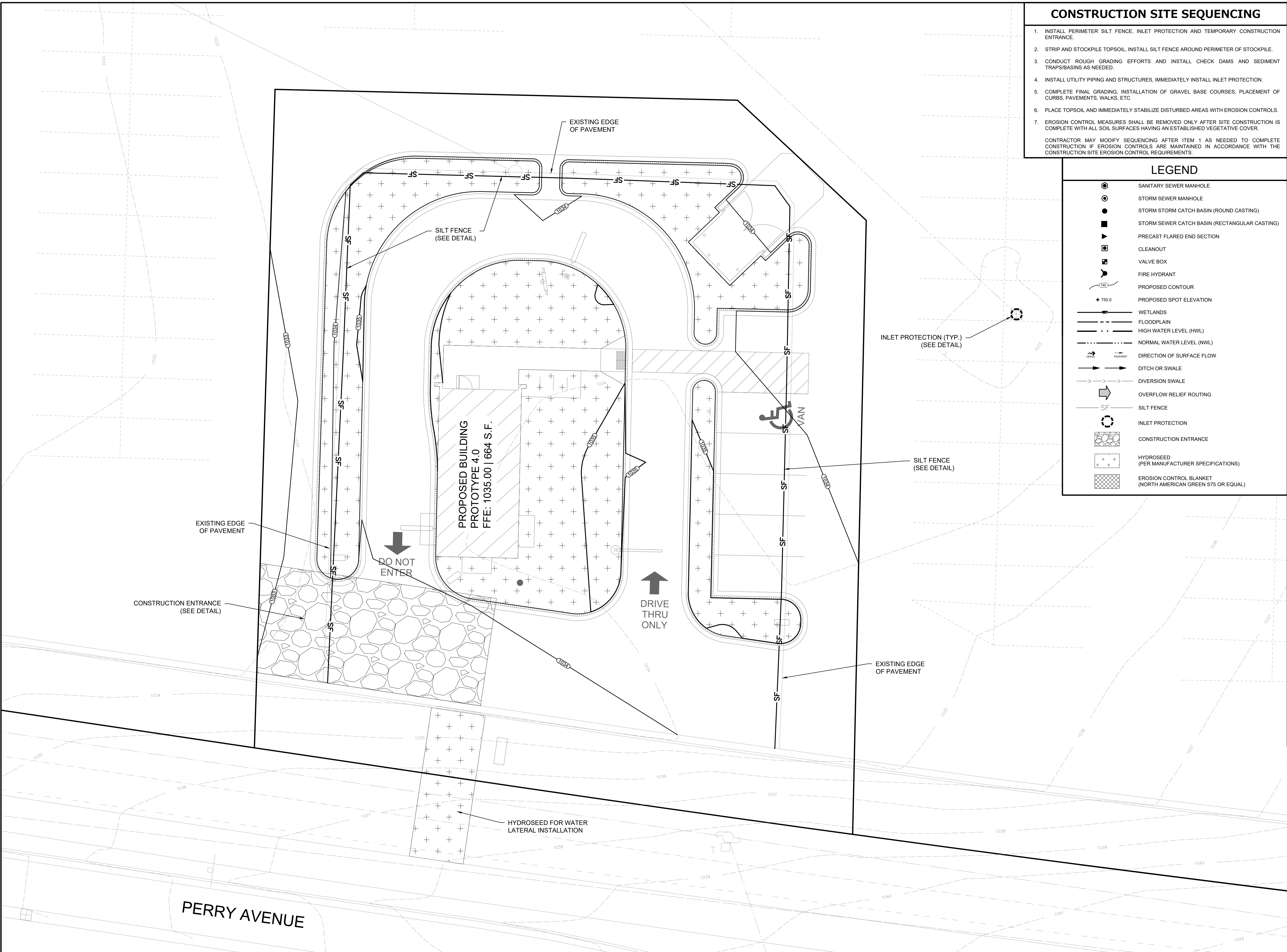
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UTILITY PLAN

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CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
 4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

LEGEND

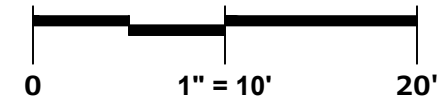
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- WETLANDS
- FLOODPLAIN
- HIGH WATER LEVEL (HWL)
- NORMAL WATER LEVEL (NWL)
- DIRECTION OF SURFACE FLOW
- DITCH OR SWALE
- DIVERSION SWALE
- OVERFLOW RELIEF ROUTING
- SILT FENCE
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- HYDROSEED (PER MANUFACTURER SPECIFICATIONS)
- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT (PERMIT NO. MISO40000) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONSTRUCTION MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST.
14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH OF THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
21. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.



GRAPHICAL SCALE (FEET)



SCOOTER'S COFFEE

BIG RAPIDS, MI

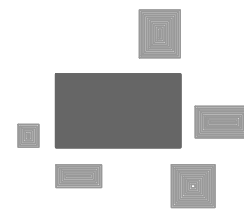
SITE STABILIZATION PLAN

REVISIONS

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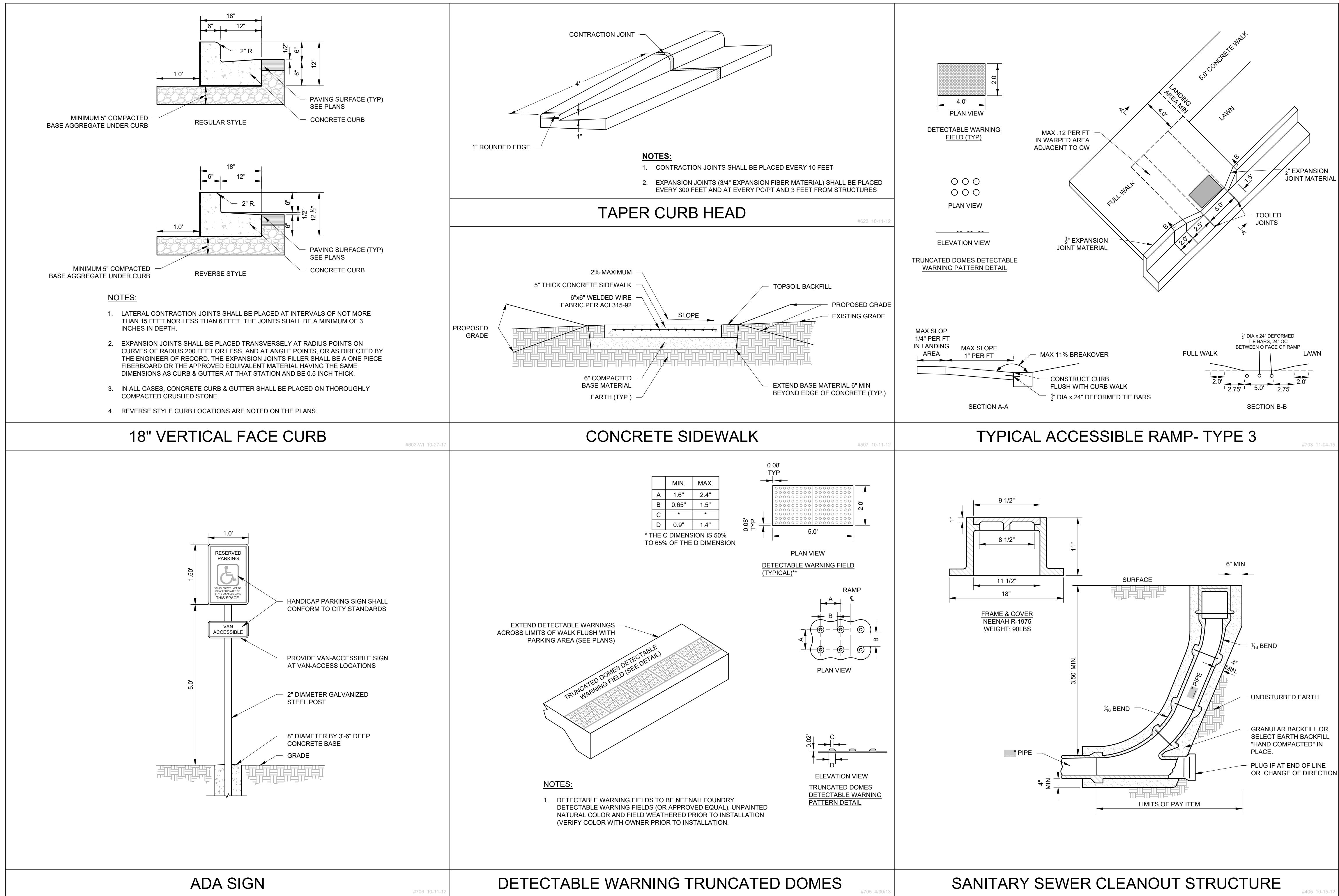
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DESIGNED: KJB
DRAFTED: KJB
REVIEWED: MAC

S51

SILT FENCE

SPACING 6-10' MAX.
ROLL JOINT
FENCE POSTS DRIVEN INTO GROUND 1' MIN.
6" ANCHOR TRENCH
1' MIN.
SILT FENCE B
FABRIC TO BE WRAPPED AROUND FENCE POST
ROLL JOINTS
GEOTEXTILE FILTER FABRIC FASTENED ON UPHILL SIDE, TOWARDS EARTH DISRUPTION
RIDGE OF COMPACTED EARTH ON UPHILL SIDE OF FILTER FABRIC
SHEET FLOW
UNDISTURBED VEGETATION
1' MIN.
6"x6" ANCHOR TRENCH

STANDARD SYMBOL

STATE OF MICHIGAN
DEPARTMENT OF TECHNOLOGY,
MANAGEMENT AND BUDGET
STATE FACILITIES ADMINISTRATION

S51

SILT FENCE SPECIFICATIONS

When

- A temporary measure for preventing sediment movement.

Why

- Used to prevent sediment suspended in runoff from leaving an earth change area.

Where

- Use adjacent to critical areas, wetlands, base of slopes, and watercourses.

How

- Install parallel to a contour.
- The silt fence should be made of woven geotextile fabric.
- Silt fence should accomodate no more than 1/2 to 1 acre of drainage per 100' of fence.
- Dig a 6" trench along the area where the fence is to be installed.
- Place 6" of the silt fence bottom flap into the trench.
- Backfill the trench with soil and compact the soil on both sides. Create a small ridge on the up-slope side of the fence.
- Install wooden stakes 6 - 10' apart and drive into the ground a minimum of 12".
- Staple the geotextile fabric to the wooden stakes.
- Join sections of silt fence by wrapping ends together (See drawing).

Maintenance

- Inspect frequently and immediately after each storm event. Check several times during prolonged storm events. If necessary, repair immediately.
- If the sediment has reached 1/3 the height of the fence, the soil should be removed and disposed of in a stable upland site.
- The fence should be re-installed if water is seeping underneath it or if the fence has become ineffective.
- Silt fence should be removed once vegetation is established and up-slope area has stabilized.

STANDARD SYMBOL

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S51

SILT FENCE SPECIFICATIONS

Limitations

- Silt fence may cause temporary ponding and could fail if too much water flows through the area.
- Do not use in areas with concentrated flows.
- Chance of failure increases if fence is installed incorrectly or if sediment accumulation is not removed.

STANDARD SYMBOL

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S58

INLET PROTECTION – FABRIC DROP

INLET GRATE
1" REBAR FOR BAG REMOVAL FROM INLET
ISOMETRIC VIEW
INSTALLATION DETAIL

STANDARD SYMBOL

STATE OF MICHIGAN
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S53

STABILIZED CONSTRUCTION ACCESS

50' MINIMUM LENGTH
LENGTH OF STABILIZED ROAD
SEDIMENT SUMP
12' MINIMUM
WIDTH
SEDIMENT SUMP
PLAN VIEW
FLOW
50' MINIMUM LENGTH
LENGTH OF STABILIZED ROAD
2"-3" CRUSHED ROCK (8" DEPTH)
NON-WOVEN GEOTEXTILE FABRIC
PROFILE
EXISTING GROUND

NOTES:

- Establish stabilized construction entrance prior to the initiation of site construction activities.
- Care should be taken to prevent material movement into adjacent wetlands/waterbodies.
- Care should be taken to maintain existing roadside drainage via culvert installation, with sediment sump placed downflow of culvert.

STANDARD SYMBOL

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S53

STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS

When

- Construction traffic is expected to leave a construction site.
- Stabilization of interior construction roads is desired.

Why

- To minimize tracking of sediment onto public roadways and to minimize disturbance of vegetation.

Where

- Stabilized construction entrances shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor.

How

- Stabilized construction access road should be established at the onset of the construction activities and maintained in place for the duration of the construction project.
- Installation of this practice should be the responsibility of the site clearing or excavating contractor.
- Access location should be cleared of woody vegetation.
- Non-woven geotextile fabric shall be placed over the existing ground prior to placing stone.
- Access size should be a minimum of 50'. (30' for single residence lot).
- Access width should be 12' minimum, flared at the existing road to provide a turning radius.
- Crushed aggregate (2" to 3"), or reclaimed or recycled concrete equivalent, shall be placed at least 8" deep over the length and width of the ingress/egress corridor.

Maintenance

- Periodic inspection and needed maintainence shall be provided after each rain event.
- Stabilized entrances shall be repaired and rock added as necessary.

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S53

STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS

Maintenance (cont.)

- Sediment deposited on public rights-of-way shall be removed immediately and returned to the construction site.
- If soils are such that washing of tires is required, it shall be done in a wash rack area, stabilized with stone, immediately prior to the construction access stabilized corridor.
- At the project completion, rock access road should be removed and disposed of unless utilized as subgrade for final road.

Limitations

- Effectiveness limited, sediment may be tracked onto roads requiring additional action.

STANDARD SYMBOL

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S58

INLET PROTECTION – FABRIC DROP SPECIFICATIONS

When

- When sediment laden stormwater requires treatment before entering a stormwater drainage system.

Why

- To prevent sediment from entering stormwater systems.

Where

- Use in or at stormwater inlets, especially at construction sites or in streets.

How

- A filter fabric bag is hung inside the inlet, beneath the grate.
- Replace grate, which will hold bag in place.
- Anchor filter bag with 1" rebar for removal from inlet.
- Flaps of bag that extend beyond the bag can be buried in soil in earth areas.

Maintenance

- Drop inlet filters should be inspected routinely and after each major rain event.
- Damaged filter bags should be replaced.
- Clean and/or replace filter bag when 1/2 full.
- Replace clogged fabric immediately.
- If needed, initiate repairs immediately upon inspection.
- Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.

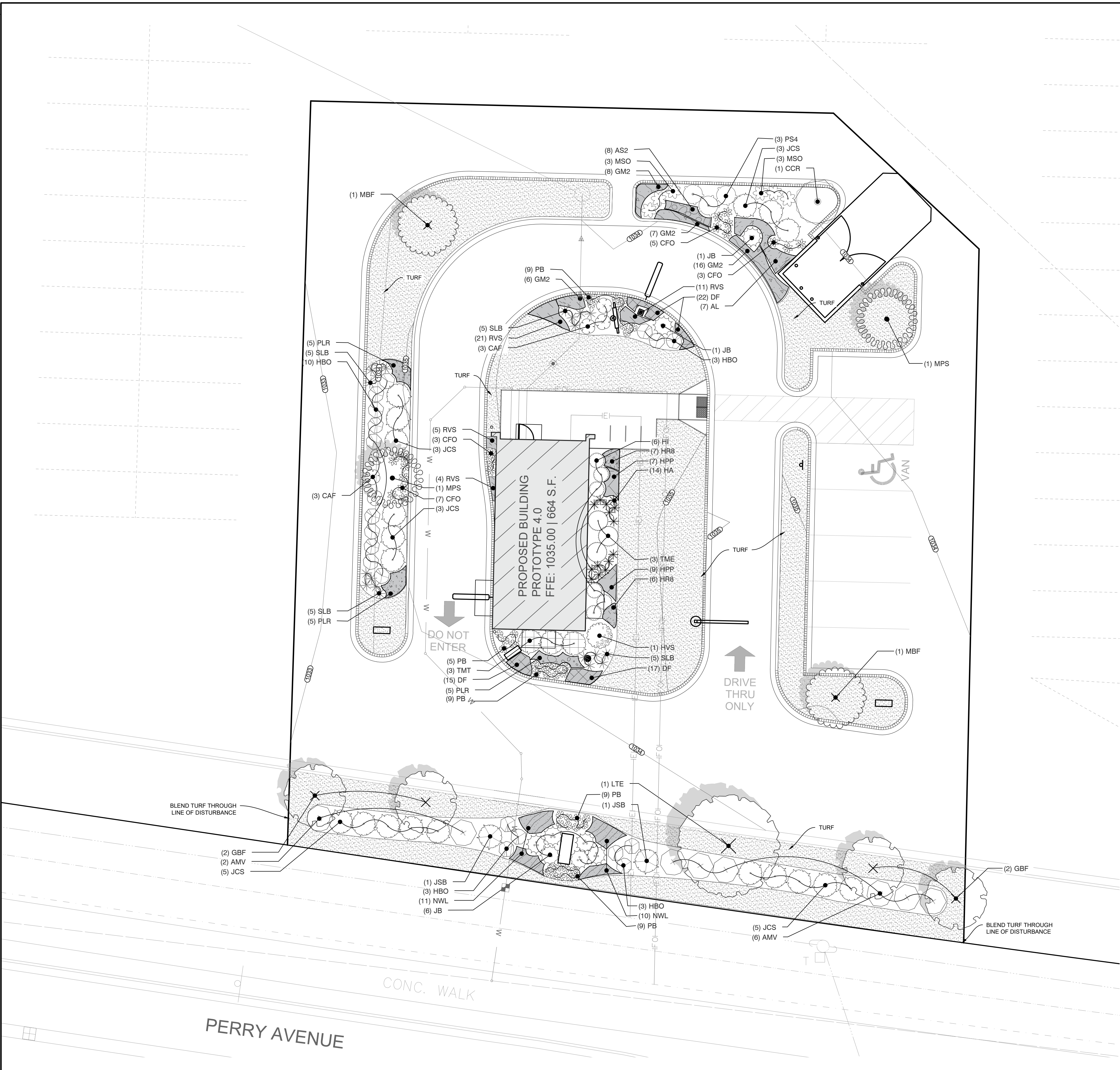
Limitations

- Can only accommodate small flow quantities.
- Requires frequent maintenance.
- Ponding may occur around storm drains if filter is clogged.

STANDARD SYMBOL

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DESIGNED: SAT
DATE: SAT
REVIEWED: DUB



OVERALL PLANT SCHEDULE

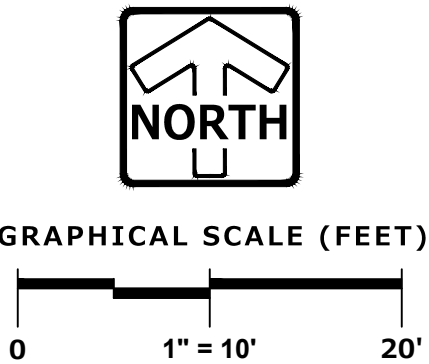
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
GBF	4	Ginkgo biloba 'Fastigiata'	Fastigate Maidenhair Tree	1.75' Cal.	40' T x 15' W	
LTE	1	Liriodendron tulipifera 'Emerald City'	Emerald City Tulip Tree	2.5' Cal.	55' T x 25' W	
MBF	2	Magnolia x 'Butterflies'	Butterflies Magnolia	1.75' Cal.	17' T x 12' W	
MPS	2	Malus 'Malusquest'	Pink Sparkles Crabapple	1.75' Cal.	15' T x 12' W	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
AMV	8	Aronia melanocarpa 'Viking'	Viking Chokeberry	2' Ht.	5' T x 5' W	
CAF	6	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	2' Ht.	4' T x 4' W	
CCR	1	Cotinus coggygria 'Royal Purple'	Royal Purple Smokebush	6' Ht.	12' T x 12' W	
HJ	6	Hydrangea arborescens 'NCHA1' TM	Invincibelle Spirit Hydrangea	18' Ht.	4' T x 4' W	
HVS	1	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	2' Ht.	7' T x 5' W	
HBO	19	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	18' Ht.	3' T x 4' W	
PS4	3	Physocarpus opulifolius 'Seward' TM	Summer Wine Ninebark	2' Ht.	5' T x 4' W	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
JCS	19	Juniperus chinensis 'Sea Green'	Sea Green Juniper	2' Ht.	5' T x 5' W	
JSB	2	Juniperus sabina 'Buffalo'	Buffalo Juniper	12' Ht.	1' T x 7' W	
JB	8	Juniperus squamata 'Blue Star'	Blue Star Juniper	12' Ht.	3' T x 4' W	
TME	3	Taxus x media 'Everlow'	Everlow Yew	18' Ht.	3' T x 5' W	
TMT	3	Taxus x media 'Tauntonii'	Taunton Yew	18' Ht.	4' T x 5' W	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	
CFO	18	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.	24" T x 24" W	
HA	14	Hakonechloa macro 'Aureola'	Golden Variegated Forest Grass	1 gal.	18" T x 28" W	
MSO	6	Miscanthus sinensis 'Oktoberfest'	Oktoberfest Miscanthus	1 gal.	48" T x 36" W	
PB	40	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1 gal.	15" T x 18" W	
SLB	20	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem Grass	1 gal.	30" T x 28" W	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
AS2	8	Allium x Summer Beauty'	Summer Beauty Ornamental Onion	4.5" cont.	18" o.c.	18" T x 18" W
AL	7	Aster novae-angliae 'Grape Crush'	Grape Crush New England Aster	4.5" Cont.	28" o.c.	2' T x 3' W
DF	54	Dianthus gratianopolitanus 'Feuerhexe'	Firewitch Cheddar Pink	4.5" Cont.	12" o.c.	4' T x 12" W
GM2	37	Gaillardia x grandiflora 'Mesa Yellow'	Mesa Yellow Blanketflower	4.5" Cont.	18" o.c.	18" T x 20" W
HPP	15	Heuchera m 'Palace Purple'	Palace Purple Coral Bells	4.5" cont.	17" o.c.	18" T x 18" W
HR8	13	Hosta x 'Rainforest Sunrise'	Rainforest Sunrise Hosta	4.5" Cont.	16" o.c.	12" T x 18" W
NWL	21	Nepeta x 'Walker's Low'	Walker's Low Catmint	4.5" cont.	24" o.c.	20" T x 28" W
PLR	15	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5" cont.	23" o.c.	24" T x 24" W
RVS	41	Rudbeckia f 'Viette's Little Suzy'	Viette's Little Suzy Showy Coneflower	4.5" Cont.	12" o.c.	10" T x 12" W

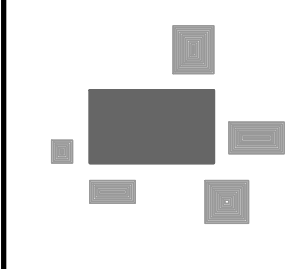
TURF	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
	3,910 sf	Turf Hydroseed	Drought Tolerant Fescue Blend	

GREENBELT PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
GBF	4	Ginkgo biloba 'Fastigiata'	Fastigate Maidenhair Tree	1.75' Cal.	40' T x 15' W
LTE	1	Liriodendron tulipifera 'Emerald City'	Emerald City Tulip Tree	2.5' Cal.	55' T x 25' W
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AMV	8	Aronia melanocarpa 'Viking'	Viking Chokeberry	2' Ht.	5' T x 5' W
HBO	6	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	18' Ht.	3' T x 4' W
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
JCS	10	Juniperus chinensis 'Sea Green'	Sea Green Juniper	2' Ht.	5' T x 5' W
JSB	2	Juniperus sabina 'Buffalo'	Buffalo Juniper	12' Ht.	1' T x 7' W
JB	6	Juniperus squamata 'Blue Star'	Blue Star Juniper	12' Ht.	3' T x 4' W

LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
GREENBELT FRONTAGE 132 LF • TREES @ 1/30LF	5	5
PARKING LOT • TREES @ 1 / 7 SPACES	1	2





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BIG RAPIDS, MI

LANDSCAPE PLAN

REVISIONS

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REG JOB NO: 2836.00-01
REG PM: MAC
START DATE: 04/18/22
SCALE: 1" = 10'

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OF
L-2

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DESIGNED: DUB

DESIGNED: SAT

DRAFTED: SAT

GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 4B. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL $\frac{2}{3}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDD AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT MISS DIG 811.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE

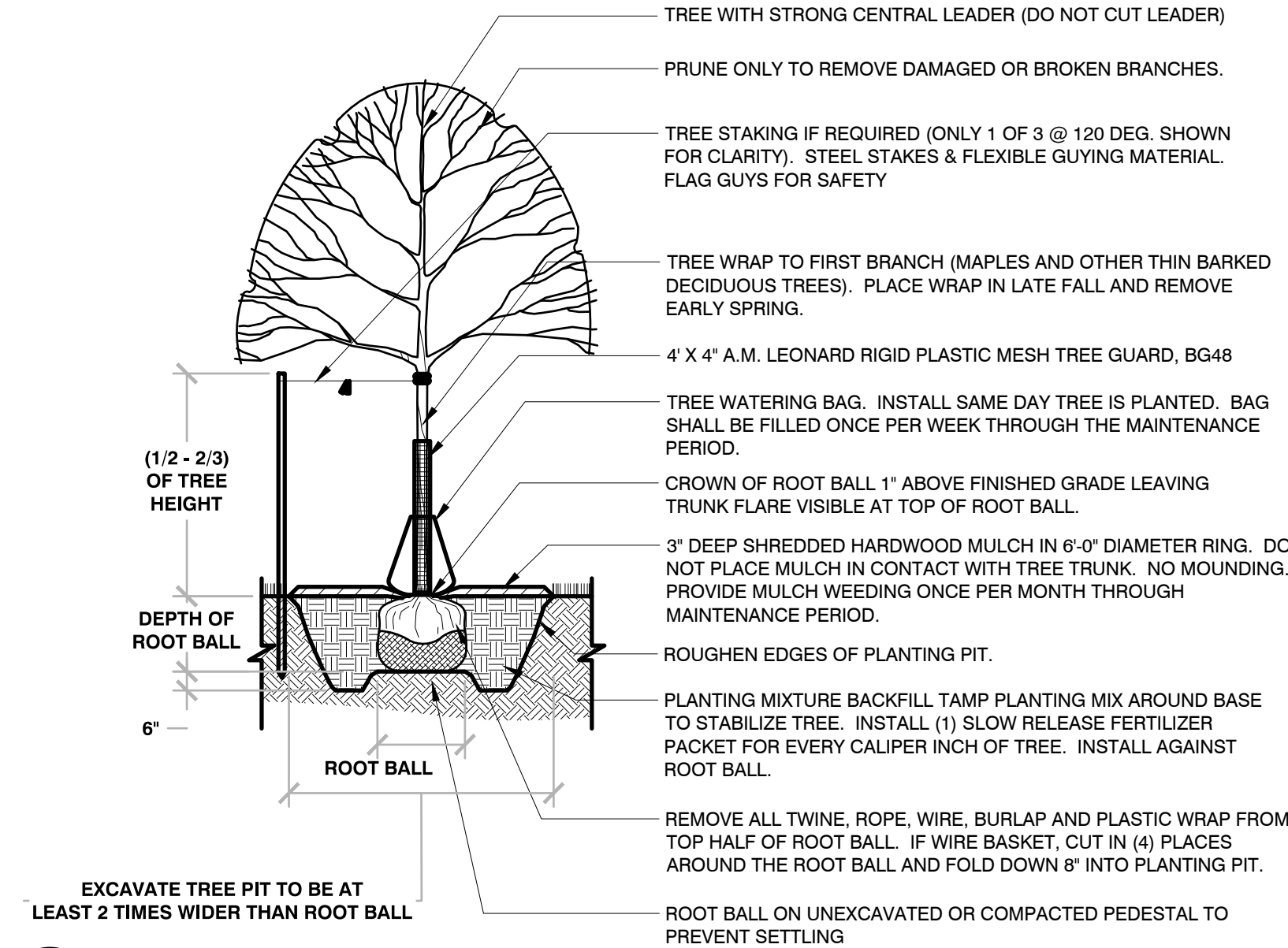
- TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
 - THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
 - THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
 - PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENEED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENEED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

IRRIGATION SYSTEM NOTES

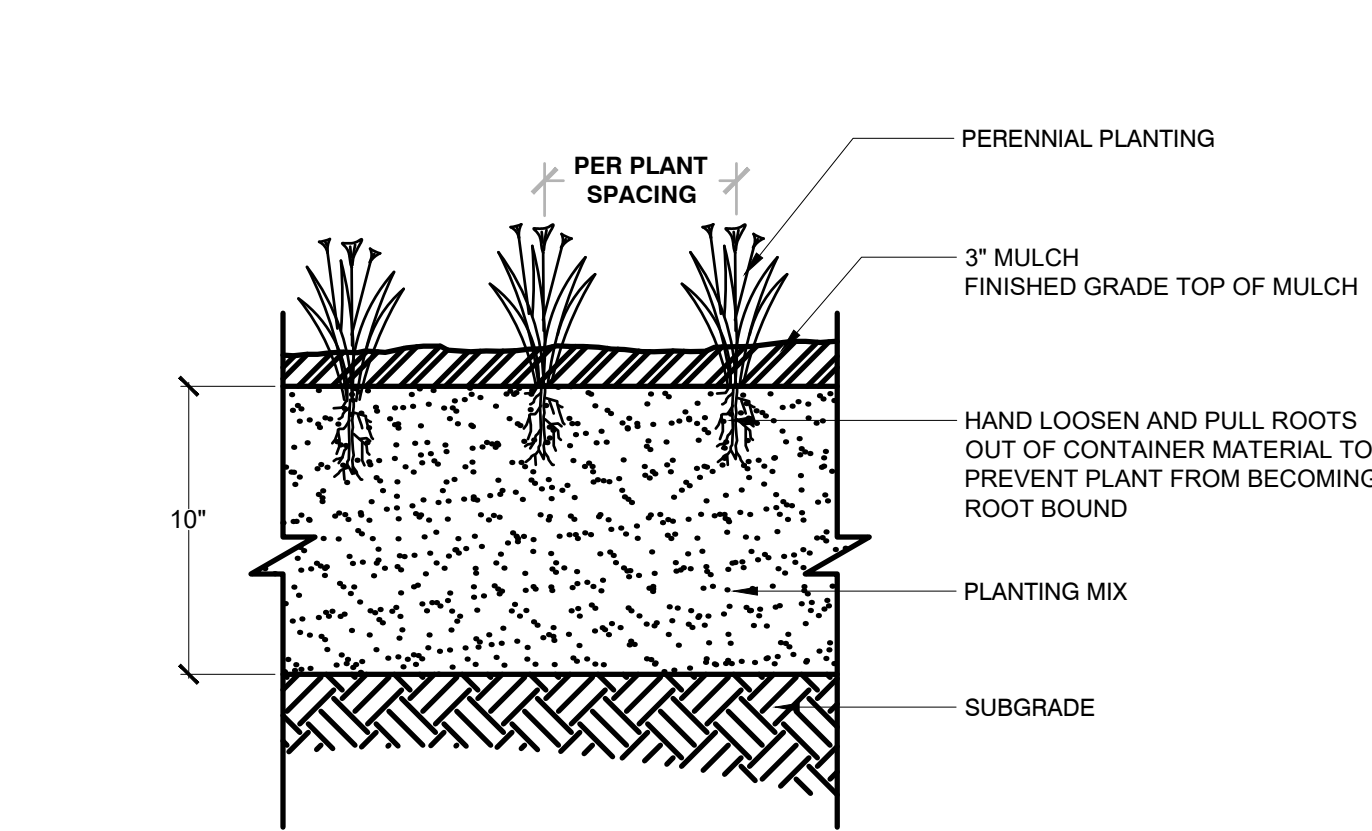
- THE PLUMBING CONTRACTOR SHALL DESIGN AND INSTALL AN IRRIGATION SYSTEM FOR THE SITE. TURF AREAS SHALL RECEIVE SPRAY IRRIGATION, AND BED AREAS SHALL RECEIVE EITHER A SPRAY OR DRIP IRRIGATION SYSTEM.
- IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED PER INDUSTRY STANDARDS.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED UTILIZING IRRIGATION PRODUCTS BY TORO, HUNTER, OR RAINBIRD AND A SINGLE MANUFACTURER SHALL BE USED FOR ALL COMPONENTS.



1 TREE PLANTING

1/4" = 1'-0"

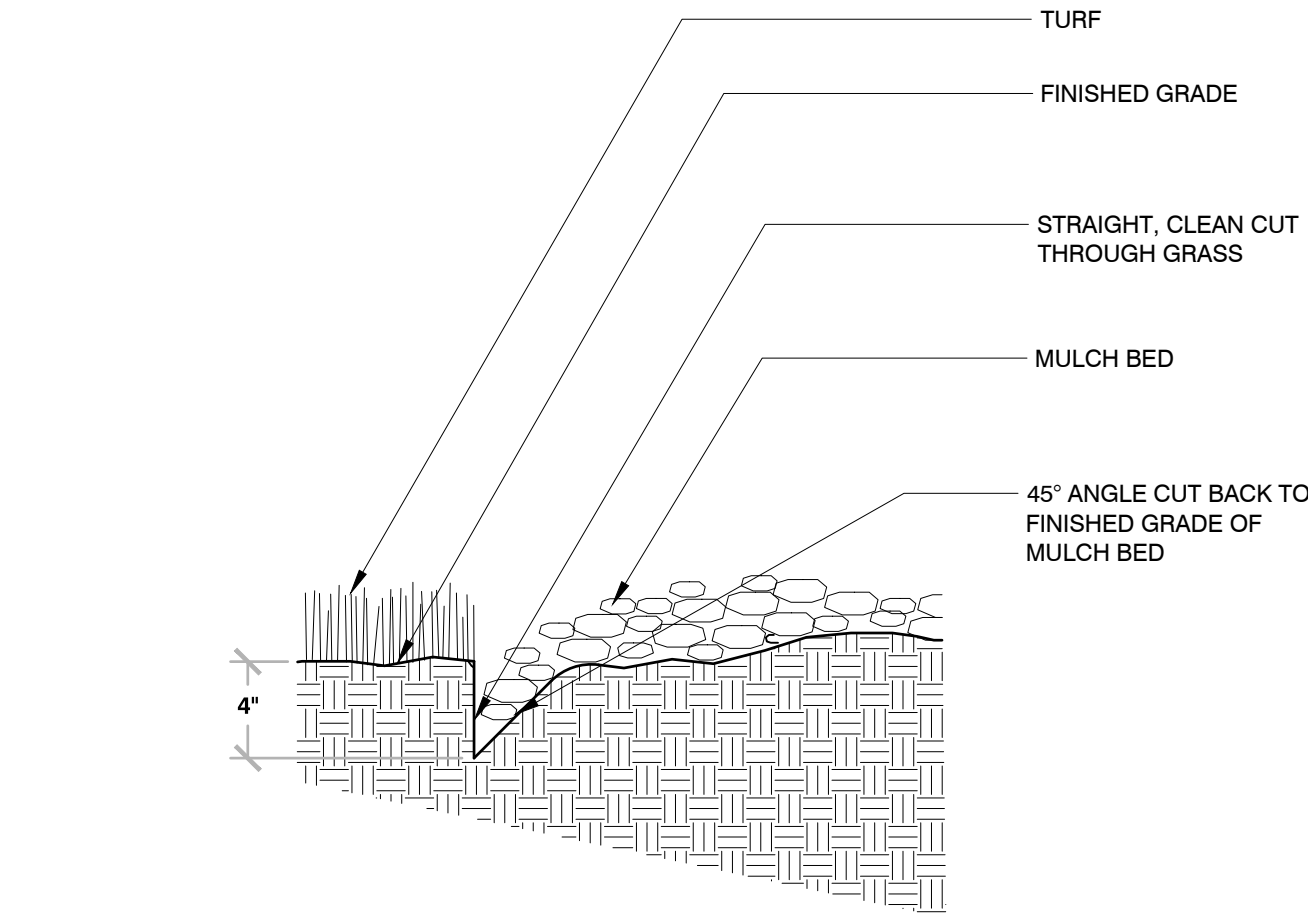
329343-01



3 PERENNIAL PLANTING

1" = 1'-0"

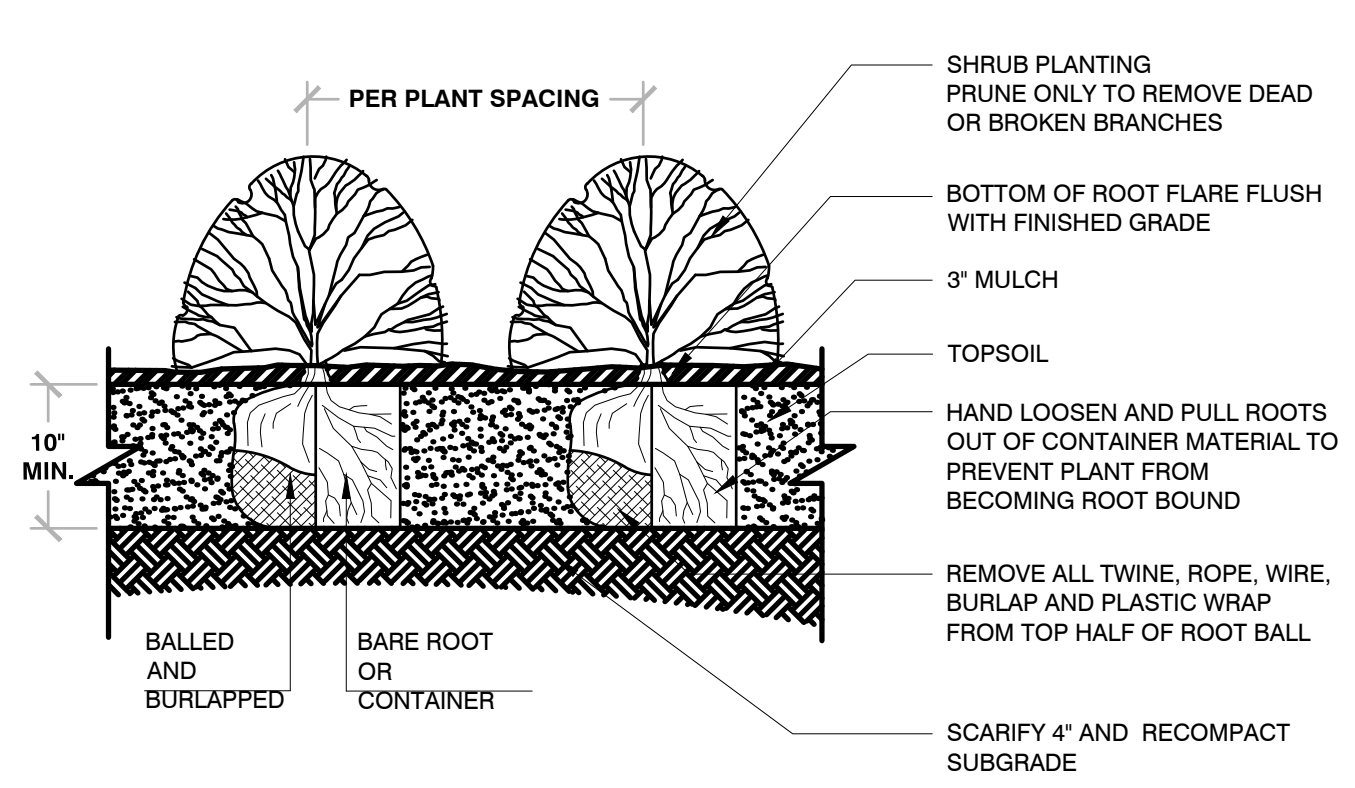
3293-01



5 TRENCHED BED EDGE

3/4" = 1'-0"

3293-03

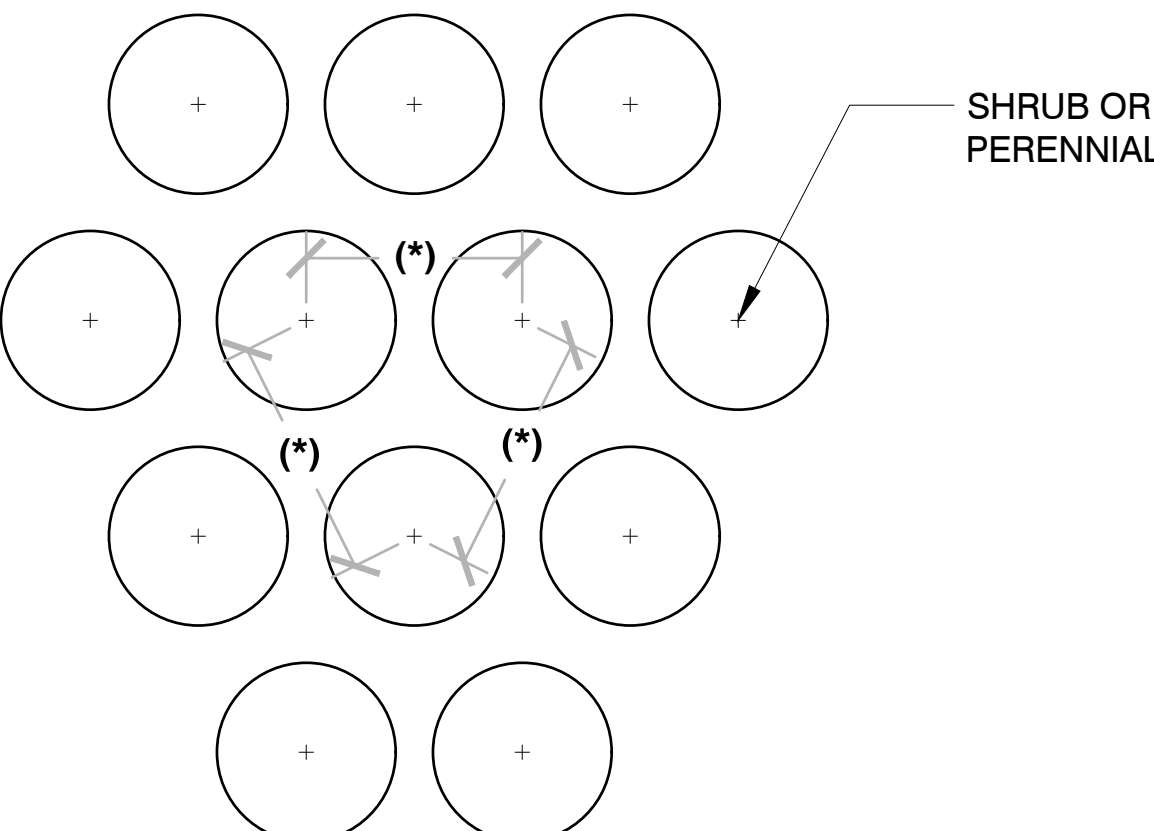


- BAREROOT PLANTING NOTES:**
- SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
 - SCARIFY SIDES AND BOTTOMS OF HOLE.
 - PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
 - TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
 - WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
 - BACKFILL VOIDS AND WATER SECOND TIME.
 - PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

2 SHRUB PLANTING

1/2" = 1'-0"

329333-02

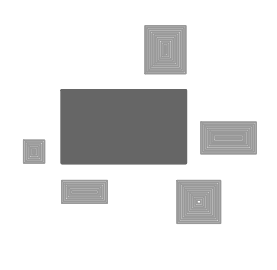


(*) = SPECIFIED PLANT SPACING PER PLANTING LIST

4 PLANT SPACING

3/4" = 1'-0"

3293-02



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SCOOTER'S COFFEE

BIG RAPIDS, MI

LANDSCAPE NOTES & DETAILS

REVISIONS

—	—	—	—
—	—	—	—
—	—	—	—
—	—	—	—

SHEET
L-2
OF
L-2

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1.

HARDIE PLANK HZ10 LAP SIDING CEDARMILL 6-1/4", SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2.

HARDIE REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3.

3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4.

20 GUAGE METAL ACCENTS AND SOFFITS - COLOR: BLACK
5.

INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6.

QUICKSERVE 48X48 WINDOW - COLOR : DARK BRONZE
7.

AWNING BY OTHERS - COLOR: RED
8.

INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9.

PEEP HOLE, BY DOOR MANUFACTURER
10.

DOOR BELL
11.

20 GUAGE METAL PARAPET CAP
12.

LINE OF ROOF BEYOND
13.

ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14.

ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15.

MAILBOX BY OWNER
16.

WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17.

LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18.

SES PANEL, SEE ELECTRICAL DRAWINGS
19.

ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20.

HOSE BIBB, SEE PLUMBING DRAWINGS
21.

SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT

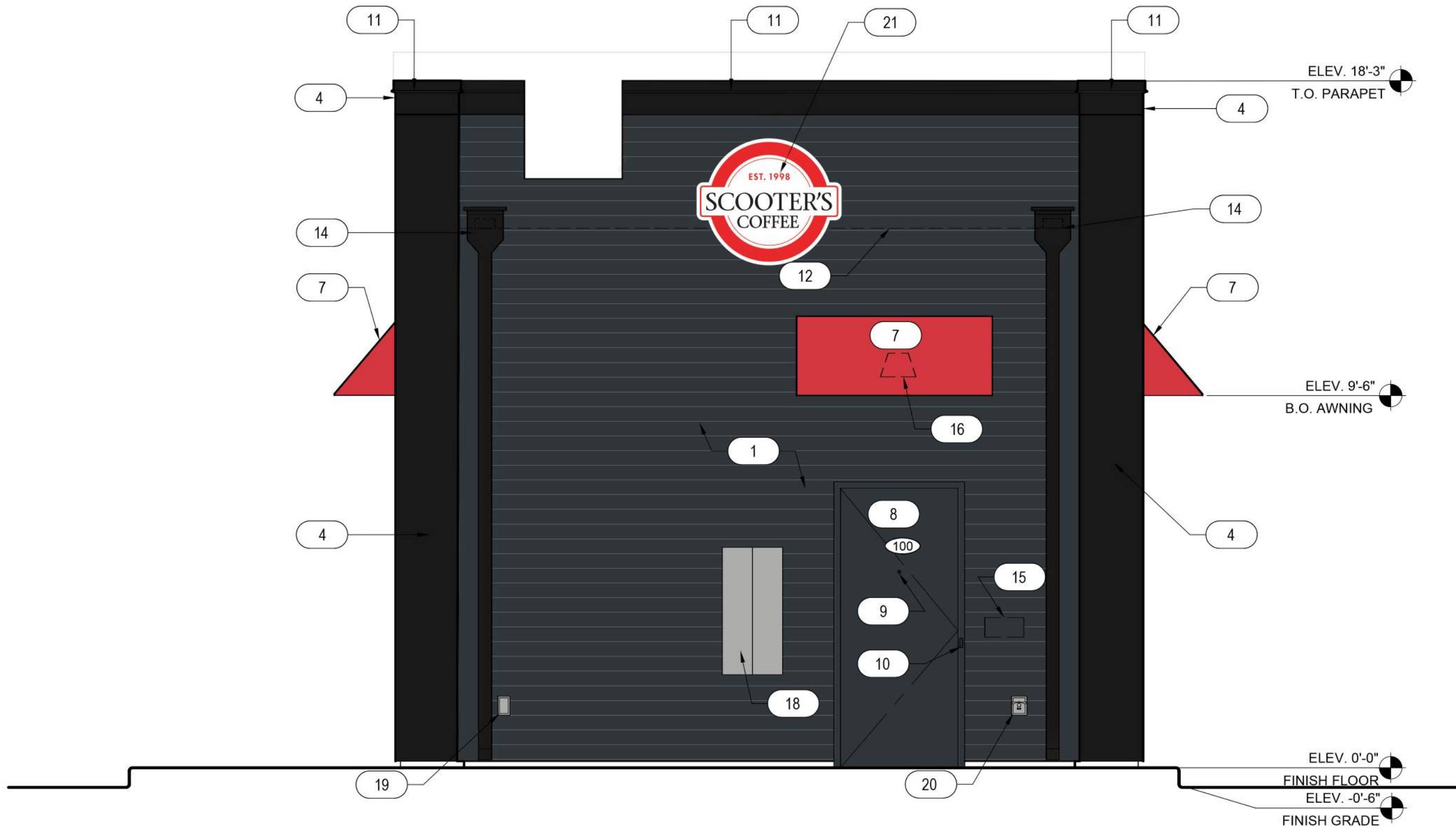


2

EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"

BUILDING AREA : 557 S.F.



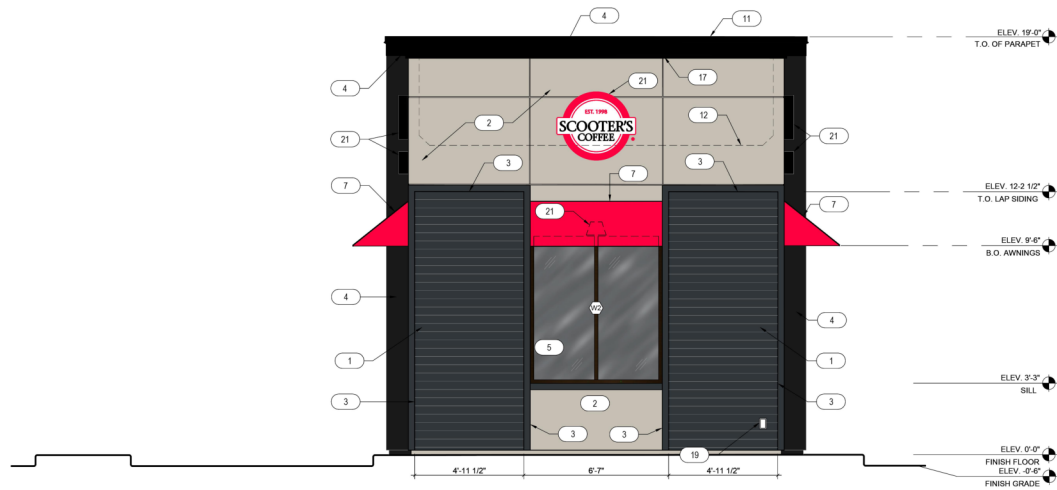
1

EXTERIOR ELEVATIONS

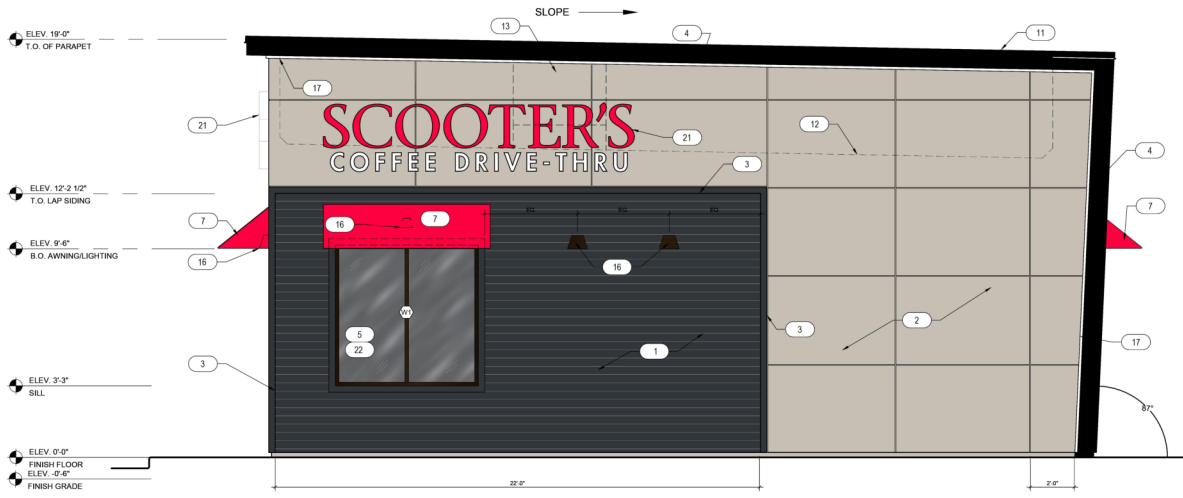
SCALE: 3/8" = 1'-0"

BUILDING AREA : 557 S.F.

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2 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

KEYNOTES

1. HARDIE PLANK H210 LAP SIDING CEDARMILL 6-1/4", SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2. HARDIE REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4. 20 GAUGE METAL ACCENTS AND BOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT
22. SPANDREL GLASS



PROJECT ADDRESS:
-

REVISIONS:

TITLE:
EXTERIOR
ELEVATIONS

DATE:
-
PROJECT NO.
-

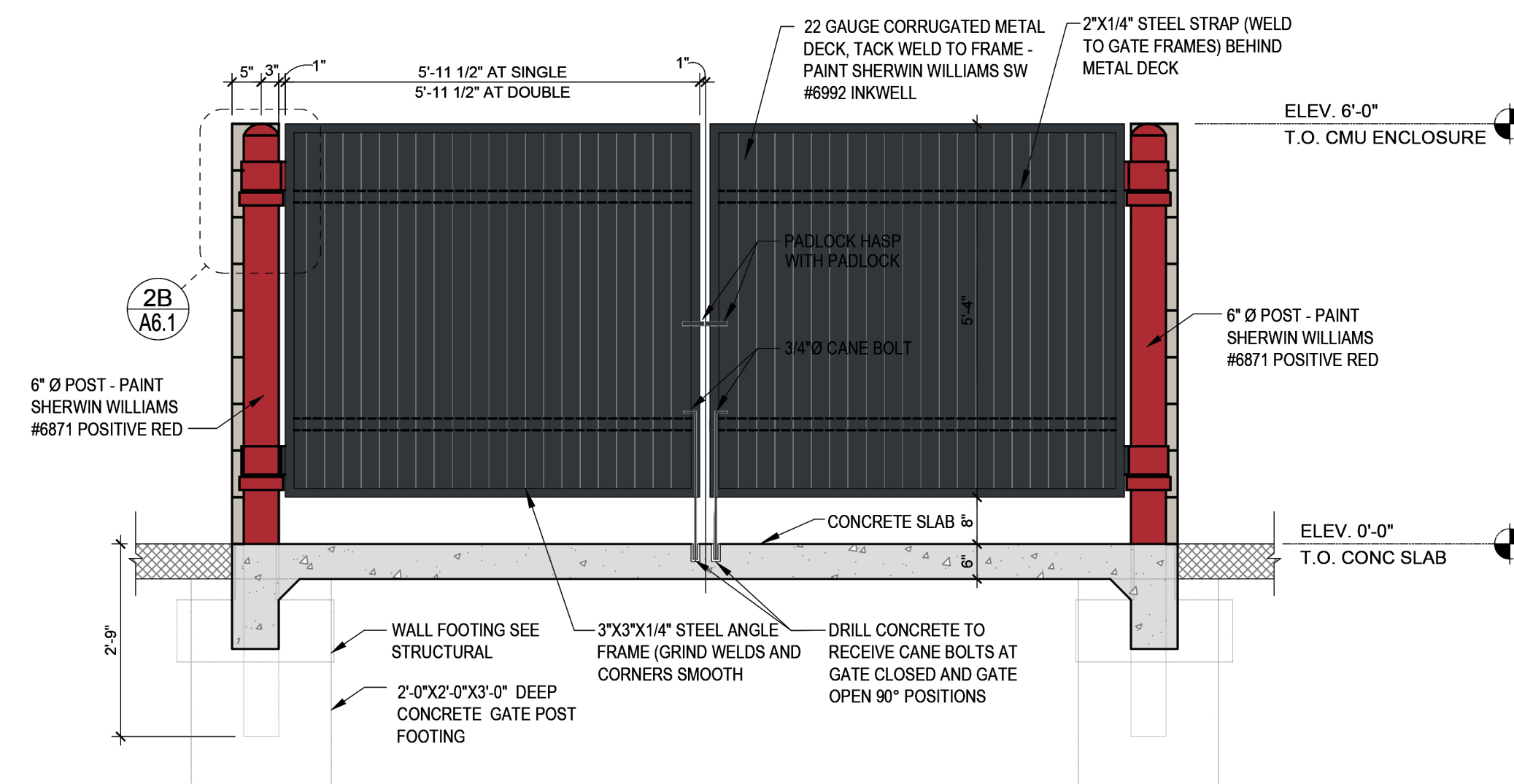
- ☐ DESIGN DEVELOPMENT
☒ PERMIT SUBMITTAL
☐ BID PACKAGE
☐ CONSTRUCTION ISSUE
SHEET NO.

A3.2

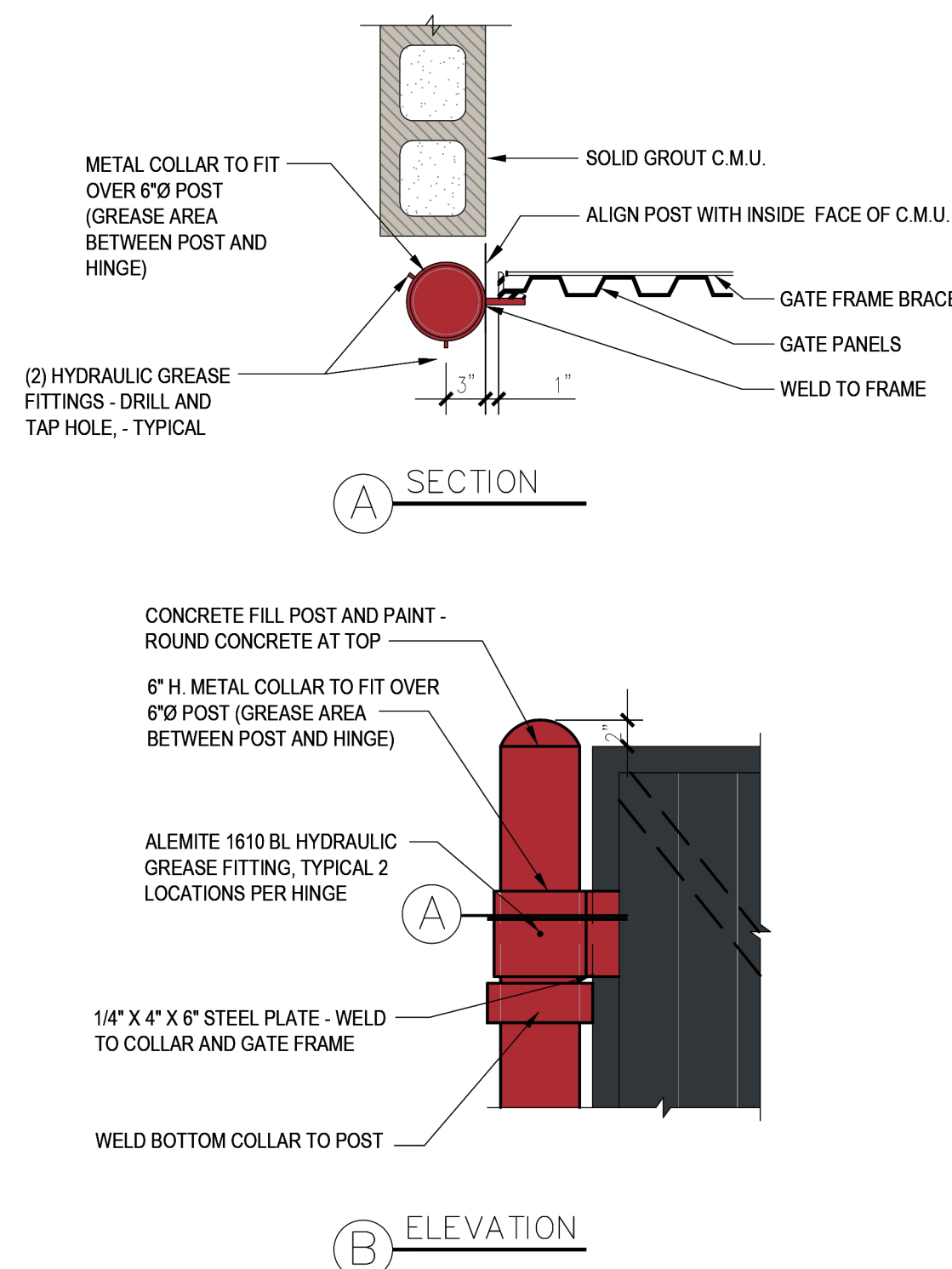
REVISIONS:

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TWENTY FIVE YEARS
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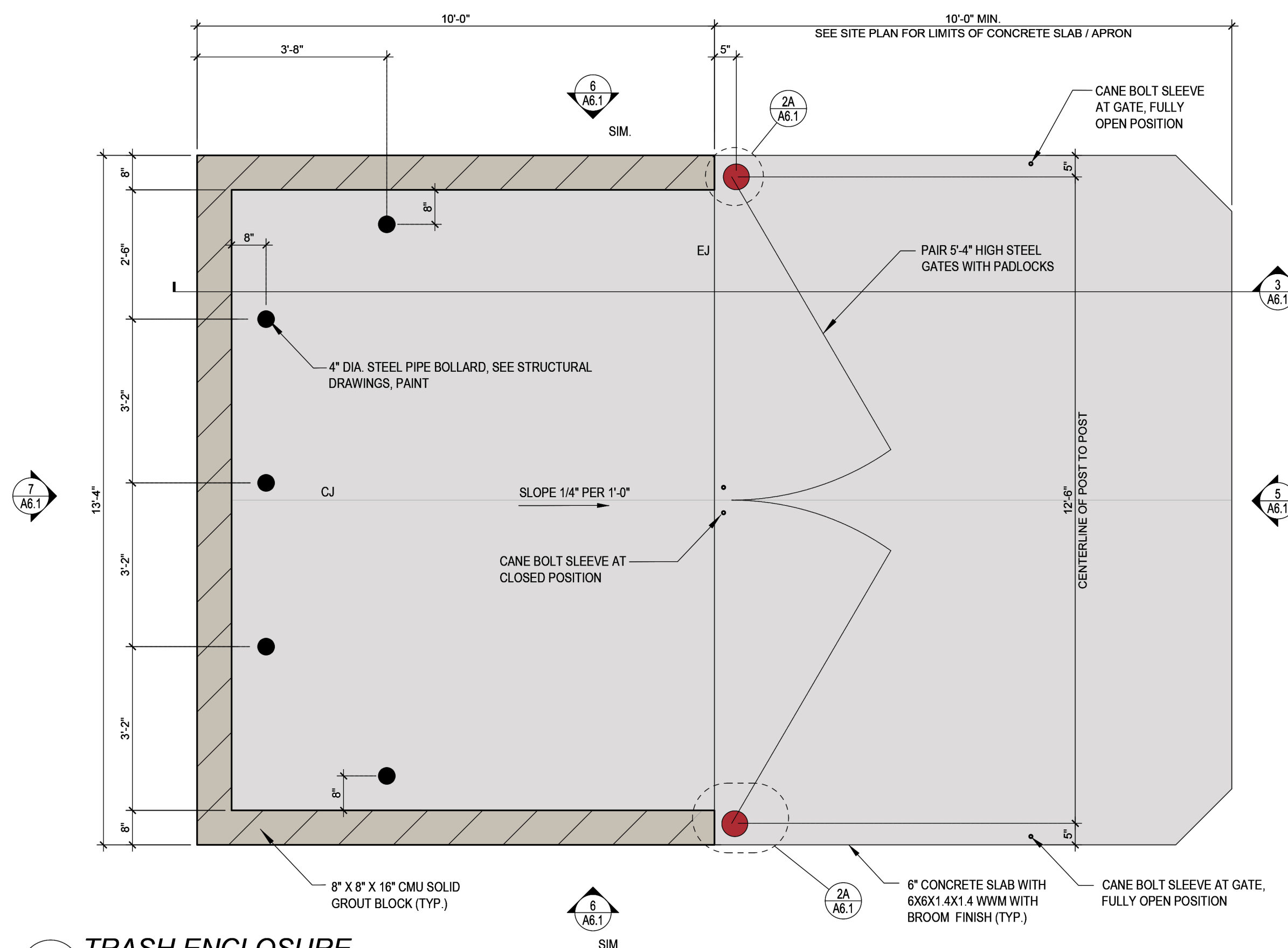


5 **TRASH ENCLOSURE -FRONT ELEVATION**
SCALE: 1/2" = 1'-0"

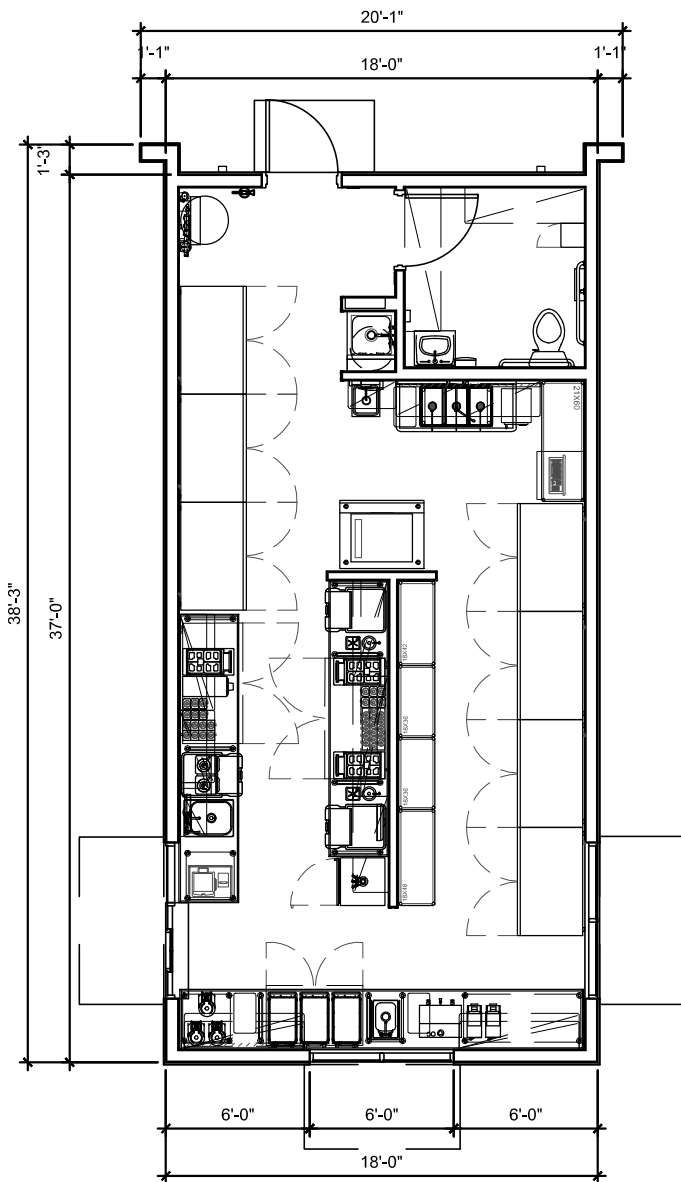


2 HINGE AT TRASH GATE

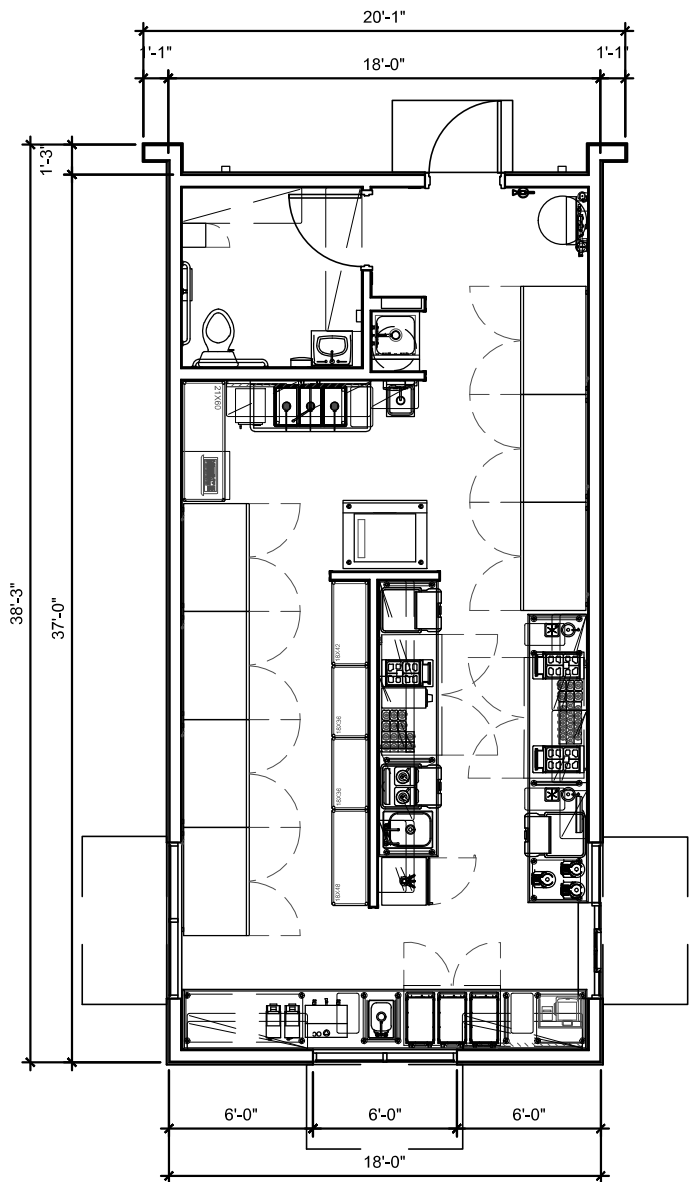
SCALE: NTS



1 TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN - FLIP
SCALE: 1/8" = 1'-0"



D/F MONUMENT SIGN DISPLAY:
SCALE: 3/8" = 1'-0"

DRAWING #: 121772

PROJECT ID: n/a

SALES PERSON: Andy Nelson

DRAWN BY: Sean Cornett

DATE: 10.01.19 **INSPECTED BY:**

Revised:



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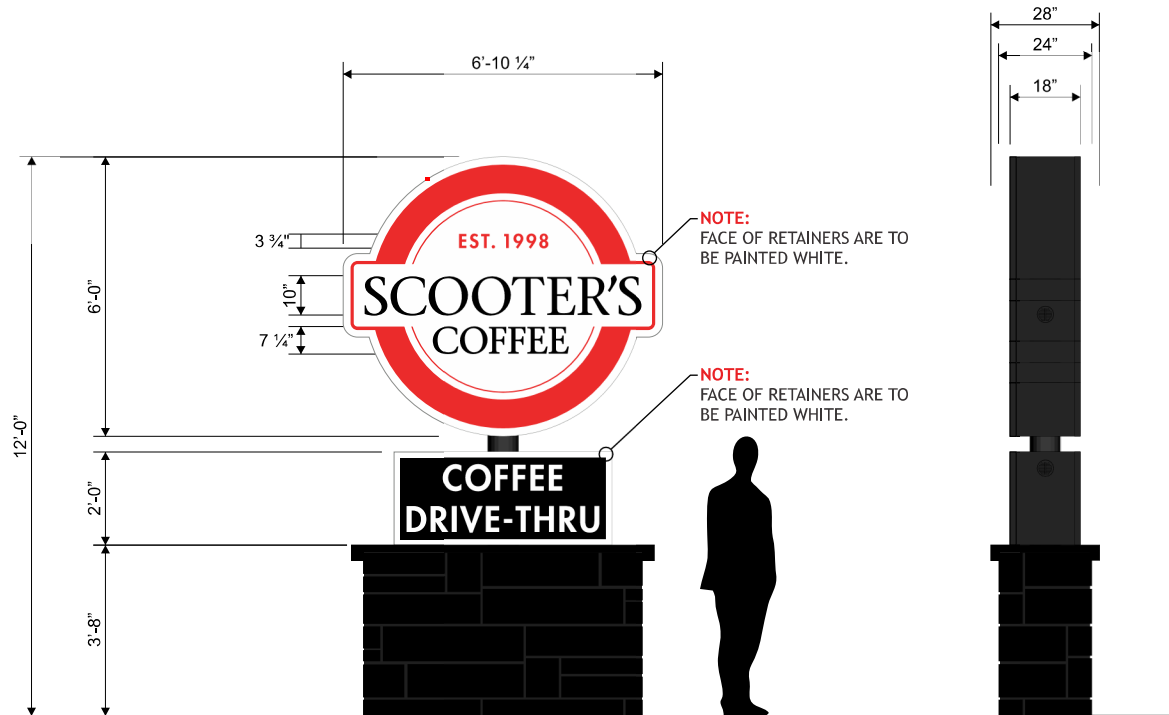
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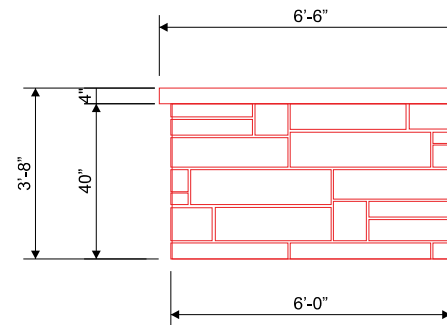
Signed _____ Date _____
Sales Rep. _____ Date _____

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

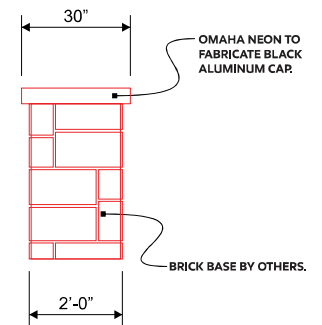


SPREAD FOOTING DETAIL
DEPTH: 5'-0"
FACE WIDTH: 7'-0"
END WIDTH: 3'-0"
TYPE: SPREAD
STEEL SIZE: 6 INCH STD.

TO BE VERIFIED



BASE DETAIL: FACE



BASE DETAIL: END

SCOOTER'S
COFFEE DRIVE-THRU

SPECIFICATIONS

D/F SIGN CABINET(S)

FABRICATED FROM .050 ALUMINUM OVER AN INTERNAL ANGLE FRAME WITH WHITE PRE-FINISHED ALUMINUM SKIN. RETAINERS ARE TO BE WHITE PRE-FINISHED ALUMINUM. FACES ARE TO BE WHITE LEXAN WITH 3M VINYL GRAPHICS APPLIED TO THE FIRST SURFACE (AS NOTED). INTERNAL ILLUMINATION WITH ONE (1) ROW OF SYLVANIA OSRAM D/S LED LIGHTING. CABINET IS TO BE MOUNTED TO SINGLE POLE STRUCTURE (AS NOTED).

3M Series 230
TRANSLUCENT FILM



STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Community Development Director
SUBJECT: Site Plan Review – 730 Water Tower Road
DATE: May 18, 2022

Introduction

Applicant Terri Vantias on behalf of Baldwin Family Health Care is applying for Site Plan Review for facility expansion at their 730 Water Tower Road location in Big Rapids. This 2.36-acre site is zoned R-2 Residential and is located on the west side of Big Rapids. A Location Map and several images of the site are attached. See also the set of Site Plans included with the packet.

History of the Property

The office building at 730 Water Tower Road was built in 2001 with a Special Land Use Permit to locate in the R-2 District.

In May 2019, a second Special Land Use Permit was approved, for a change of use from office to health care. Both uses are permitted as Special Land Uses in the R-2 District. Since that time, it has been the Big Rapids location of Family Health Care, a community health care center which provides full-service affordable care and has six locations in central Michigan.

In July 2020, Baldwin Family Health Care applied for a Special Land Use Permit to add a second driveway to the site. The Site Plan was conditionally approved, pending staff approval of updated plans to show proper stormwater detention on site. As stated in Section 9.11 of the Big Rapids Zoning Ordinance, physical construction of an approved project must begin within 12 months of Site Plan Approval and must be completed within 18 months of the commencement of physical construction. As this second driveway project was not begun within the 12 month deadline, that Site Plan Approval is no longer valid. If the applicant wishes to continue with that project, they must reapply for a new Site Plan Approval.

Site Plan Review Process and Procedure

The Site Plan Review Application was received by the Community Development Department on April 28, 2022 and was deemed in compliance with Section 9.4. of the Zoning Ordinance which stipulates required Site Plan Review application materials. As required by Ordinance, Site Plan Reviews must go through a public hearing process. Notice was posted in the Big Rapids Pioneer on Wednesday, May 4, 2022 and sent to all property owners within 300 ft of the site.

The Site Plans were shared with the Fire Marshal, the Public Works Department's Engineering staff, the Building Official, and the Zoning Administrator for their review.

Public Safety – Fire Marshal Jeff Hull reviewed the site plans and found no issues with the Site Plans and preliminary drawings.

Public Works - Plans were by Engineering Technician Matt Ruelle and Engineering Consultant with Fleis and Vandenbrink Todd Richter as regards infrastructure connections and stormwater. The summary is that the plans provided do not meet the Ordinance requirements. **Public Works staff would need to see revised plans addressing their concerns before they could support approval of this Site Plan.**

Their primary concern is that the plans show that all stormwater will run off the site. The proposed retention pond needs additional inlets and needs to be deeper. The top of the berm around the pond must be 5 feet wide, as per Ordinance. And “Drainage Structure 8” does not meet Ordinance regulations as proposed.

Building Official – The Mecosta County Building Official, Mr. Aaron Holsworth, also reviewed the plans. He did not provide feedback by the time this packet was published. Any comments from Mr. Holsworth will be provided at the Public Hearing.

Zoning – Plans were reviewed by the Community Development Director as to their standings as regards the Zoning Ordinance. The plans were compliant with the Ordinance regulations in a few areas, including setback regulations, site lighting, required parking lot trees, and trash receptacles.

The plans were not found to be compliant with the Ordinance in a few areas, as explained below:

1. Parking
 - a. Number of Parking Spaces. Section 5.2:2 sets Parking Space Maximums, stating *“to limit excessive areas of pavement, no parking lot shall exceed the required number of parking spaces by more than 15%, except as approved by the Planning Commission. In requesting additional spaces beyond the allowed 15%, the Applicant shall provide a Parking Demand Study with their Site Plan Review application”*. The facility requires 57 parking spaces and they Site Plan proposes to provide 70 spaces. This is 122% of the required spaces, and above the 115% threshold. No Parking Demand Study was provided. **According to Staff analysis, the Applicant can have no more than 65 spaces without express approval by the Planning Commission upon review of a Parking Demand Study demonstrating the need for the additional parking spaces.**
 - b. Bicycle Parking. Section 5.7:2(1) sets Required Bicycle Parking spaces, stating *“any development requiring motor vehicle parking spaces is required to provide bicycle parking. Off-street parking areas are required to contain at least one bicycle parking space for every 10 spaces provided for motor vehicles, or a fraction thereof, with a minimum of 2 and a maximum of 12 bicycle parking spaces provided”*. Bicycle parking spaces must meet the requirements outlined in the rest of Section 5.7:2. No bicycle parking spaces are shown on the Site Plan. **According to staff analysis, the facility must provide space for at least 6 bicycles.**

2. Landscaping

- a. Green Belts Required Along the Public Right of Way. Section 8.6 states that “*a green belt shall be planted adjacent to the right of way, within private property, of any public street or approved private street*”. This requirement is for at least one canopy tree per 30 linear feet of frontage, including openings for driveways and sidewalks. The site has 208 feet of frontage along Fuller Ave; the required green belt is met by retaining existing trees along this frontage. The site also has 158 feet of frontage along Water Tower Road. The site plan identifies some existing trees/shrubs to maintain along the side lot lines up to the street. These count for some of the requirement but do not fully satisfy the requirement. **According to staff review, at least 2 new deciduous canopy trees must be planted as greenbelt along the public right-of-way on Water Tower Road.**
- b. Landscape Standards for Principal Structures. As stated in Section 8.9, “*required principal structure landscaping shall be provided adjacent to or within close proximity to the perimeter of the principal structure. Foundation plantings shall be provided along the front and/or sides of any buildings that face a public road and/or is adjacent to a parking lot or other area which provides access to the building by the general public*”. For a commercial structure, the requirement is for landscaping along 75% of the linear feet of frontage, excluding ingress/egress areas of the building. Section 8.9:2 clearly notes that “*deciduous canopy trees and large evergreens will not be credited for principal structure landscape requirements. Grass, lawn, or sod will not be credited for principal structure landscape requirements*”. **According to the staff review of the plans provided, no principal structure landscaping is shown, however it will be required along the north, east, south, and partial west faces of the building.**

Criteria for Review of Site Plan Review Applications

Section 9.6 of the Zoning Ordinance sets criteria for reviewing Site Plan Review applications:

- 9.6:1 That there is a proper relationship between the existing streets and highways within the vicinity and proposed deceleration lanes, service drives, entrance and exit driveways and parking areas to ensure the safety and convenience of pedestrian and vehicular movement. With respect to vehicular and pedestrian circulation, including walkways, interior drives, and parking, the site shall be developed so that access points, general interior traffic circulation, pedestrian circulation, and parking areas are safe and convenient and, insofar as practicable, do not detract from the design of the proposed buildings and existing structures on neighboring properties.
- 9.6:2 All elements of the site plan shall be harmoniously and efficiently organized in relation to the topography, the size and type of the lot, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
- 9.6:3 That as many natural features of the landscape shall be retained as possible where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes and where they assist in preserving the general appearance of the neighborhood. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which will result in maximum harmony with adjacent areas.

- 9.6:4 That any adverse effects of the proposed development and activities emanating there from which affect adjoining residents or owners shall be minimized by appropriate screening, fencing, landscaping, setback and location of buildings, structures and entryways. All loading and unloading areas and outside storage areas, including areas for the storage of refuse, which face or are visible from residential districts or public thoroughfares, shall be screened by a vertical screen consisting of structural or plant materials no less than six (6) feet in height.
- 9.6:5 That the layout of buildings and improvements will minimize any harmful or adverse effect which the development might otherwise have upon the surrounding neighborhood. Physical improvements including sidewalks, drives and parking areas shall be built to adequate standards to minimize premature deterioration. Sites at which hazardous substances are stored, used or generated shall be designed to prevent spill or discharges to the air, surface of the ground, groundwater, streams, drains or wetlands. Secondary containment for above ground storage of hazardous material shall be provided.
- 9.6:6 That all provisions of all local ordinances, including the City Zoning Ordinance, are complied with unless an appropriate variance therefrom has been granted by the Zoning Board of Appeals.

Planning Commissioners are encouraged to review the Application against the Criteria in Section 9.6 to decide if they find it meets or fails to meet them. These Criteria shall be used to decide the Action taken by the Planning Commission.

Recommendation

Staff recommends **denial** of the Site Plan Review Application for a facility expansion at 730 Water Tower Road (PIN 17-15-300-003), as it fails to meet the Criteria for Review found in Section 9.6.6 of the Zoning Ordinance, in that the Site Plans as provided do not comply with all local Ordinances.

If the Commission wants to move this project forward, they could Approve with Conditions that revised Site Plans receive Staff approval.

Action

Three options lay before the Planning Commission regarding Site Plan Review Applications: Approval, Denial, or Approval with Conditions. Explanations and sample motions are below.

Approval

An approval motion is appropriate when the Application meets the Standards of the Zoning Ordinance and approves the Application. Sample motion:

“I move that the Site Plan Review Application for a facility expansion at 730 Water Tower Road (PIN 17-15-300-003), be approved, because it meets all of the Criteria for Review set in Section 9.6 of the Zoning Ordinance.”

Approval with Conditions

An approval with conditions motion is appropriate when the Application meets the Standards of the Zoning Ordinance, but the Planning Commissioners believe a few minor conditions or alterations are required. This motion approves the Application contingent upon the listed conditions. Sample motion:

“I move that the Site Plan Review Application for a facility expansion at 730 Water Tower Road (PIN 17-15-300-003), be approved with conditions. The Application meets the Criteria for Review set in Section 9.6 of the Zoning Ordinance, but conditions are required to *(select from the relevant reasons below)*

- (1) Ensure that public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity.
- (2) Protect the natural environment and conserve natural resources and energy.
- (3) Ensure compatibility with adjacent uses of land.
- (4) Promote the use of land in a socially and economically desirable manner.

The following conditions are required to address this need: *(list conditions [such as requiring additional permits, revising plans to show needed changes, demonstrating adequacy of the stormwater detention facilities, among others] here).*

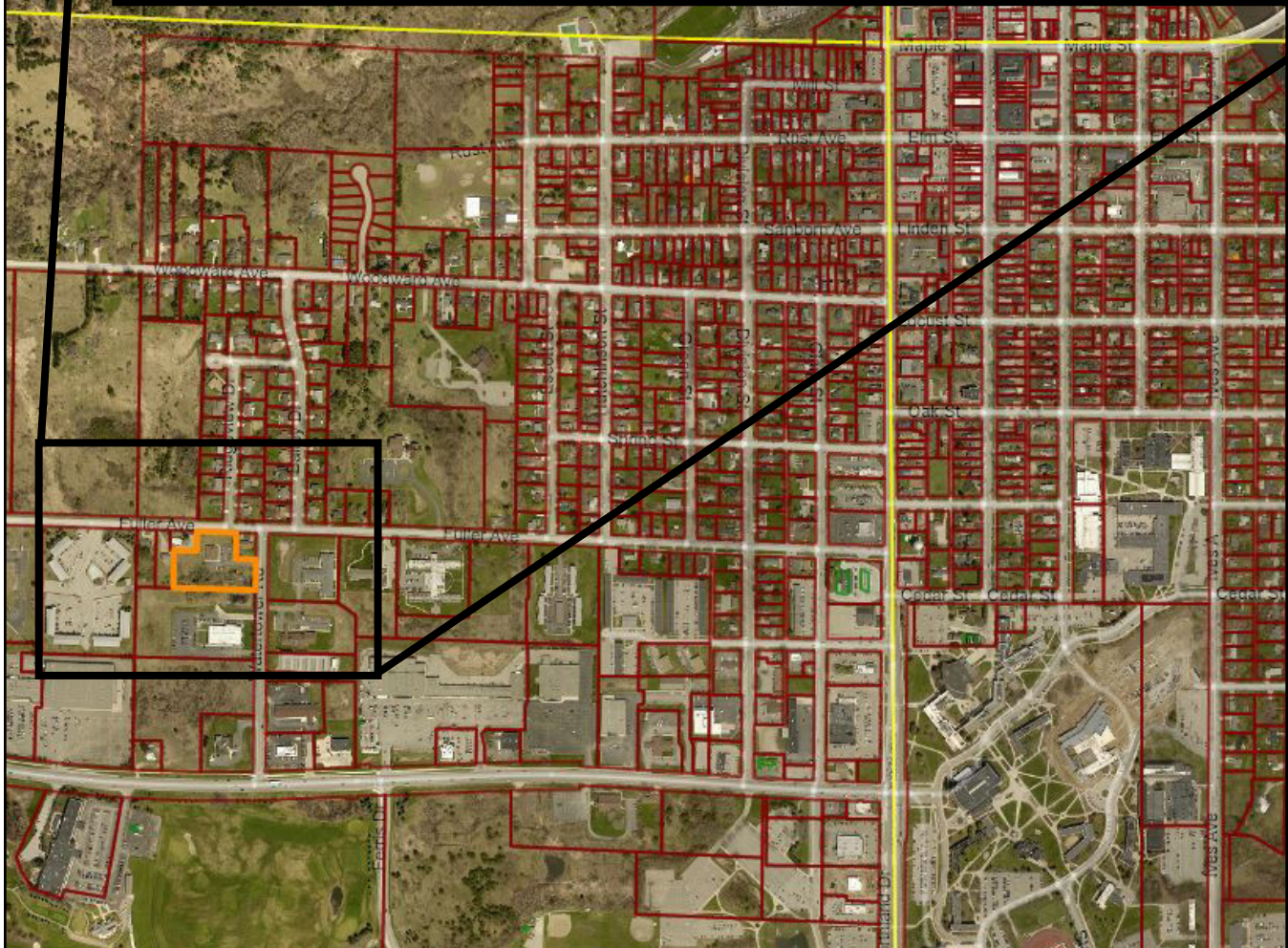
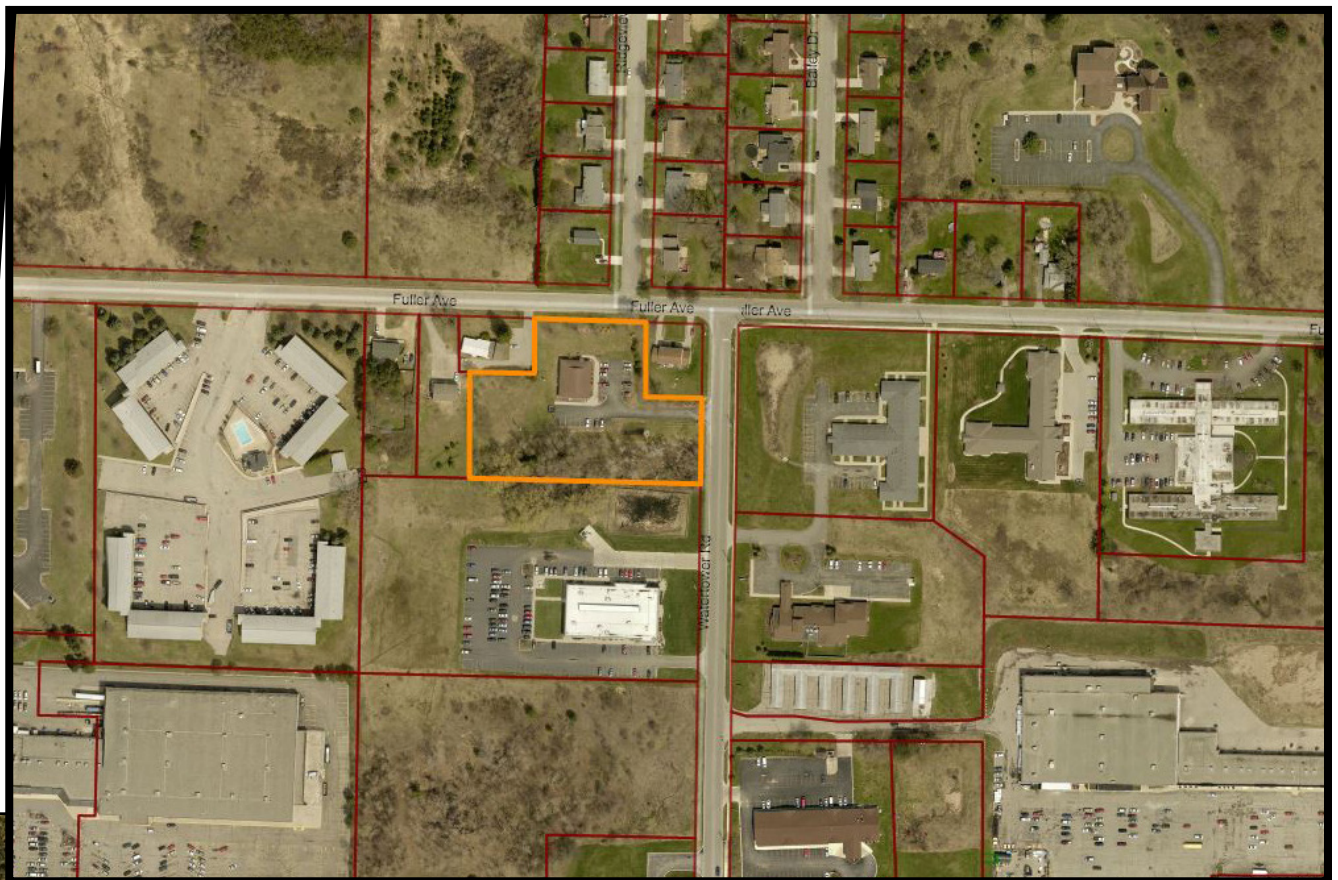
A revised, dated site plan and documents addressing the above shall be submitted for staff approval within 60 days.”

Denial

A denial motion is appropriate when the Application fails to meet the Standards of the Zoning Ordinance and ends the application process. Sample motion:

“I move to deny the Site Plan Review Application for a facility expansion at 730 Water Tower Road (PIN 17-15-300-003), because it does not meet Criteria 9.6:X of the Zoning Ordinance. *(Fill in the X with which number Criteria the application does not meet.)*”

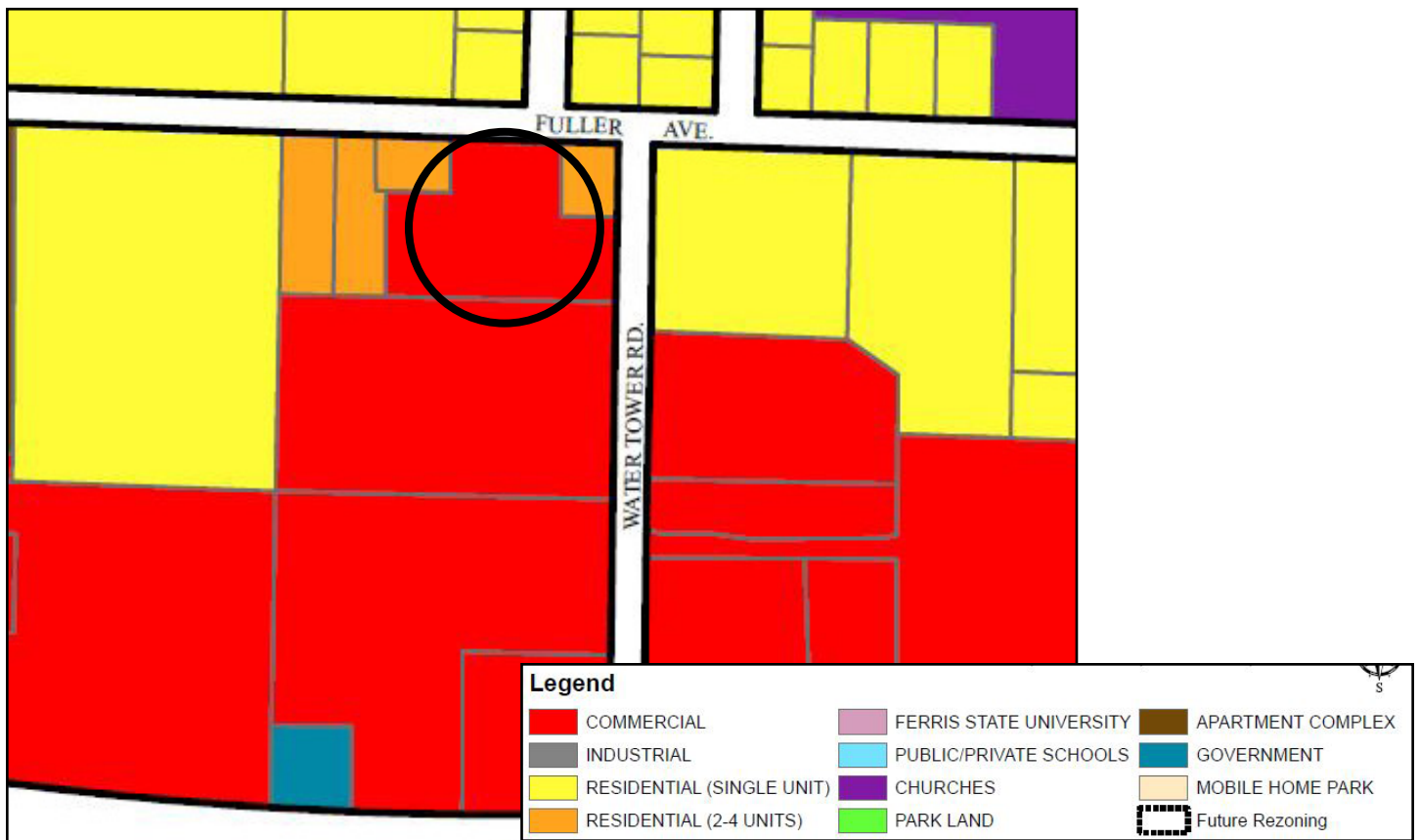
Location Maps



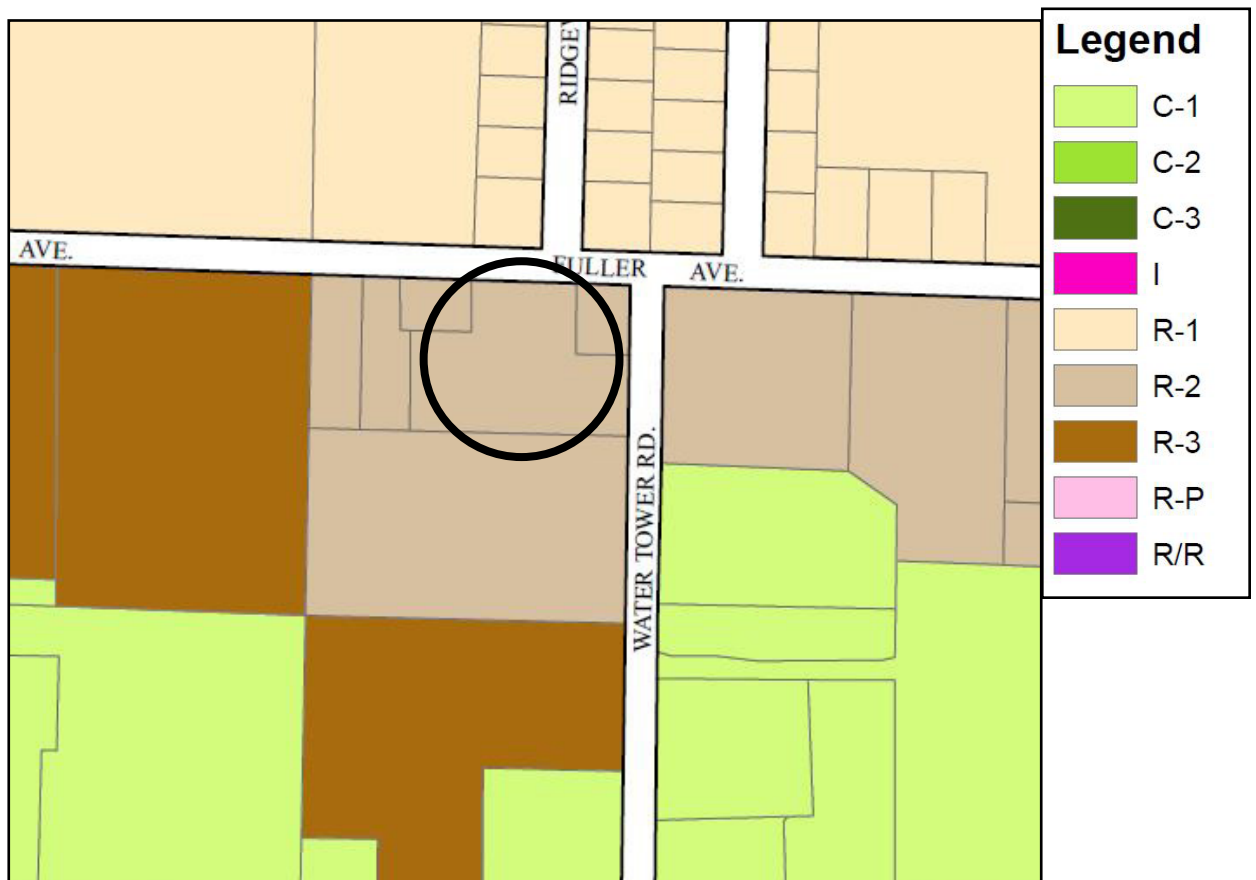
Aerial Imagery



Excerpt from Future Land Use Map



Excerpt from Zoning Map



Driveway off Water Tower Road



Current facility, looking west.



Current facility main entrance.



View of facility from Bailey Dr., across Fuller Ave.





**CITY OF BIG RAPIDS
DEPARTMENT OF COMMUNITY DEVELOPMENT
SITE PLAN REVIEW APPLICATION**

APPLICANT NAME: Baldwin Family Health Care / Terri Vanias

APPLICANT ADDRESS: 1615 Michigan Avenue, Baldwin, Michigan 49304

APPLICANT PHONE NUMBER: 231-745-5044 | Email tvantias@familyhealthcare.org

PROJECT TITLE: Building addition to Baldwin Family Health Care

PROJECT ADDRESS/LOCATION: 730 Water Tower Road, Big Rapids, Michigan

SUBJECT PROPERTY OWNER: Baldwin Family Health Care

LEGAL DESCRIPTION OF PROPERTY (attach separate sheet)

SUBJECT PROPERTY ZONING: R-2 **SITE SIZE (ACRES):** 2.36

LIST ALL REQUIRED STATE AND FEDERAL PERMITS ON SEPARATE SHEET

In compliance with Section 9.4 of the City of Big Rapids Zoning Ordinance, twelve copies of a complete proposed site plan must be submitted to the Department of Community Development, a minimum of twenty one days prior to the Planning Commission hearing date. Failure to submit complete plans, a completed application form and filing fee may result in the site plan review hearing being delayed.

SITE PLAN INFORMATION REQUIREMENTS

TWELVE COPIES (12) of the proposed site plan, drawn on 24" x 36" paper

SCALE OF 1" = 20' for sites up to three acres and **1" = 100'** for sites over three acres

LEGEND including north arrow, scale, date of preparation and name, address and telephone number of individual or firm preparing the plan

SEAL of professional architect, engineer or surveyor preparing the plan

LOCATION MAP indicating relationship of the site to surrounding land use

LOT LINES together with dimensions, angles and size correlated with the legal description, which is tied to existing monumentation

TOPOGRAPHY of the site in two foot contour intervals

NATURAL FEATURES such as wood lots, streams, rivers, lakes, wetlands, unstable soils and similar items

MAN MADE FEATURES within 100 feet of the site

BUILDING SIZE, height, finish floor and grade line elevations, yard setbacks and square footage. Front, side and rear elevations drawings of proposed structures.

FLOOR PLAN of structures showing existing and proposed uses (used to verify gross vs. usable floor areas and principal vs. accessory uses).

STREETS, driveways, sidewalks and other vehicle or pedestrian circulation features upon and adjacent to the site shall be shown

PARKING SPACES, location, size and number, service lanes, delivery and loading areas

CROSS SECTIONS illustrating construction of drives and parking areas

LANDSCAPING, together with open spaces, screening, fences, walls and proposed alterations of topography or other natural features.

SERVICE DEMANDS from the community to support proposed operations on the site

EARTH CHANGE plans required by State law

SITE LIGHTING including location, intensity and orientation

SURFACE WATER DRAINAGE

UTILITY LOCATION and size for sanitary sewer, water, storm sewer, natural gas, electricity, telephone, coaxial cable, fiber optic, etc.

FIRE LANES

OUTDOOR STORAGE

TRASH RECEPTACLES

HAZARDOUS MATERIAL storage facilities, including type, quantity, location and secondary containment provisions

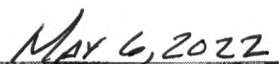
OTHER INFORMATION as required by the Plan Board

DIGITAL COPY submitted in anAutoCAD compatible format

SITE PLAN REVIEW FEE \$200

I have read the requirements of submittal and review of a site plan by the City of Big Rapids Planning Commission and attest that the provided site plan is complete:


Applicant Signature


Date

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Neighborhood Services Director
SUBJECT: Request to Vacate an Easement in Rust Avenue for Road Extension
DATE: May 18, 2022

Introduction

The City Commission has received a request from City staff to vacate an easement on Rust Avenue to facilitate the road extension project approved last year. See the attachments which include a Location Map and Resolution No. 22-43 from the City Commission.

The Planning Commission approved a Site Plan Review for the Rust Avenue Extension project in April 2021. In overview, this project will extend Rust Avenue to the west into a new cul-de-sac and will turn 2.11 acres of a 6.34 acre City owned parcel into three new residential lots. This easement vacation is necessary to final construction approvals for this project to move forward.

Vacating Procedure

The City's procedure for vacating, discontinuing, or abolishing streets or public grounds is found in the City Code of Ordinances Chapter 36. First, the request is heard by the City Commission. If approved by at least three members, it is referred to the Planning Commission. The Planning Commission holds a public hearing on the proposal and makes a recommendation back to the City Commission. The City Commission hears the proposal a second time and can approve the proposal by ordinance with at least four votes in favor of the vacation.

This request to vacate the easement comes from City staff, not from a public applicant. The City Commission passed a resolution directing the City Planning Commission to review and consider a request to vacate an easement on Rust Avenue at their regular meeting on April 18, 2022, and Resolution No. 22-43 is attached for review.

Per the City Code, notice of the Public Hearing was published in the Big Rapids Pioneer on three separate occasions, once per week for the three weeks prior to the public hearing. Any calls and written statements received by staff will be presented during the Public Hearing.

Staff Reviews of the Proposal

Several departments in the City were consulted regarding the proposal, and their feedback is detailed below:

Public Works

The following statement was provided by Cody Wyman, Engineering Technician in the Public Works Department: "The Public Works Department is in support of the memo sent in from Fleis and Vandebink. This is important as it pertains to giving the new property owner the maximum amount of property possible. We have worked hard to get the sanitary system re-routed so it won't cut through this lot as much as it would have been if we didn't vacate this area."

Zoning

Staff in the Community Development Department reviewed the proposed easement vacation and find it to be essential to ensuring that New Parcel A has adequate street frontage and options for building a new house within reasonable proximity to the road. This wedge shaped lot has 60' of frontage; without vacating the portion of the easement, it will only have about 40'. When factoring in the side yard setbacks, this dramatically limits the buildability of the lot near the street. Vacating the northern portion of the easement widens the lot while still maintaining the southern portion of the easement for the needed utility purposes.

Vacation Considerations

Streets and alleys were created for the benefit of the public and vacating them is likely to affect a segment of the public. The following questions can help guide the consideration process when considering a vacation:

1. Is the land proposed for vacation currently in use?
Land which is presently in use for important functions such as utility lines, streets, walkways, etc., should not be approved for vacation.
2. Is the land proposed for vacation involved in any future plans?
If the land in question is not currently in use but future uses are anticipated, vacation should not be granted.
3. Will the utilization of the abutting property be improved with the addition of the vacated land?
If the addition of the vacated land would enable to property owner to make better or increased use of the property, vacation should be considered favorable.
4. Would the granting of the desired vacation have an adverse effect on the surrounding property owners?
Potential problems for neighboring land resulting from a vacation are grounds for its denial.
5. What type of use is planned for the vacated parcel?
Be certain that any proposed construction on the vacated land adheres to the City's adopted Building Code and meets the requirements in the Zoning Ordinance.

Recommendation

Upon review of the proposal and in recognition of the feedback by the departments, staff encourages the Planning Commission to recommend **approval** of the request to vacate the easement on Rust Avenue.

Action

Two options lay before the Planning Commission regarding a request to vacate streets, alleys, and easements: Recommendation of Approval or Recommendation of Denial.

RESOLUTION NO. 22-43

Commissioner Andrews moved, seconded by Commissioner Cochran, the adoption of the following:

RESOLUTION DIRECTING CITY PLANNING COMMISSION TO REVIEW AND CONSIDER A REQUEST TO VACATE AN EASEMENT ON RUST AVENUE

WHEREAS, the city has an existing 85 foot wide utility easement running across the property located to the west of Rust Avenue that is being subdivided into three lots for housing development, and

WHEREAS, the easement will cross the south side of one of the proposed lots and could encumber the lot such that the buildable options on the lot would be limited, and

WHEREAS, the proposed partial easement vacation would remove the easement from most of the lot while retaining a portion of the original easement for utilities, and

WHEREAS, the City Commission seeks public input regarding this matter, and

WHEREAS, the City Commission seeks a recommendation from the Planning Commission regarding how granting this request may or may not comply with Section 560.27 of the Michigan Land Division Act (pertaining to improving the health, welfare, comfort, and safety of citizens) and Chapter 36 of the City Code.

NOW, THEREFORE, BE IT RESOLVED, that the City Commission hereby refers said request to the Planning Commission for review and recommendation.

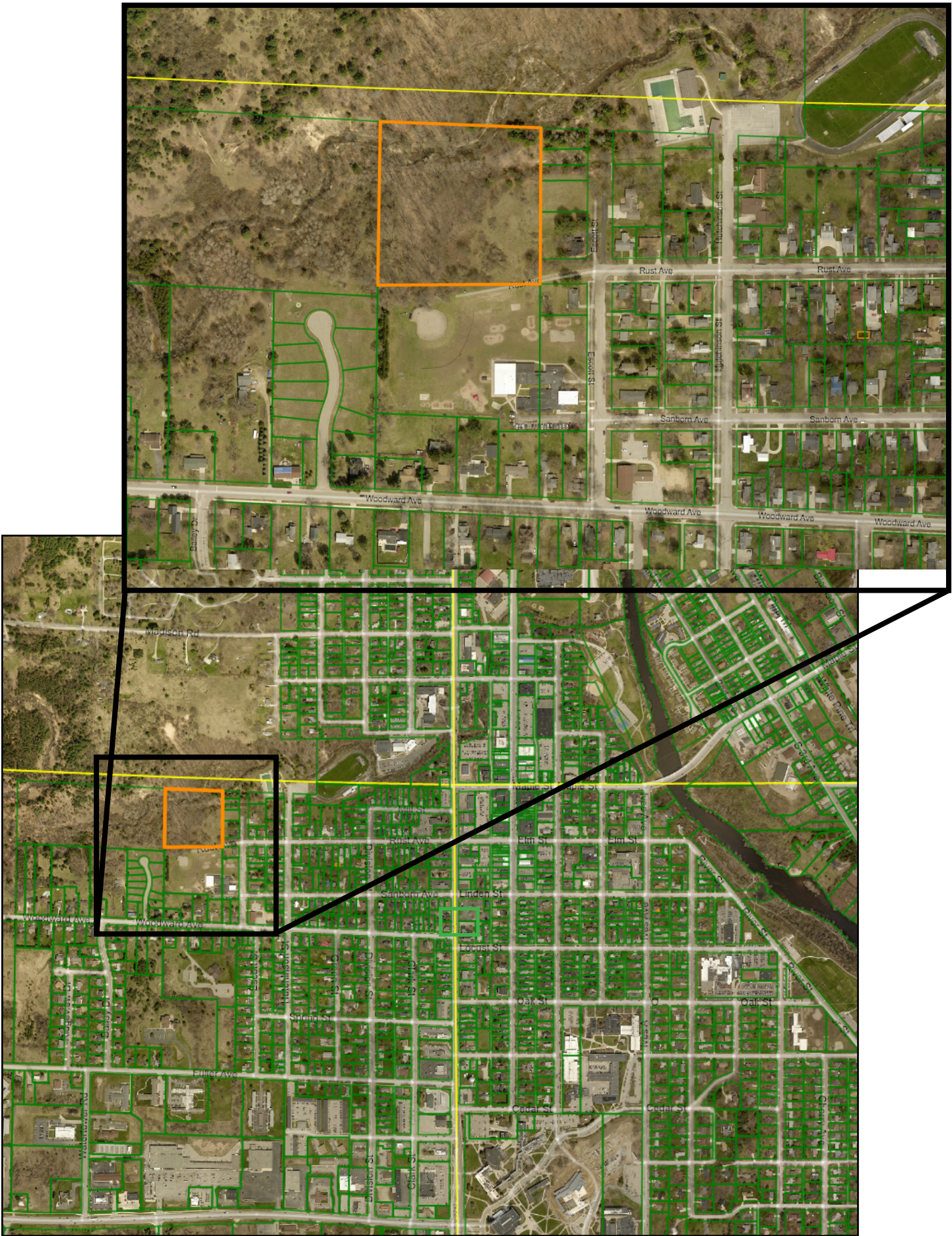
Yeas: Andrews, Cochran, Eppley, Guenther, Simmon

Nays: None

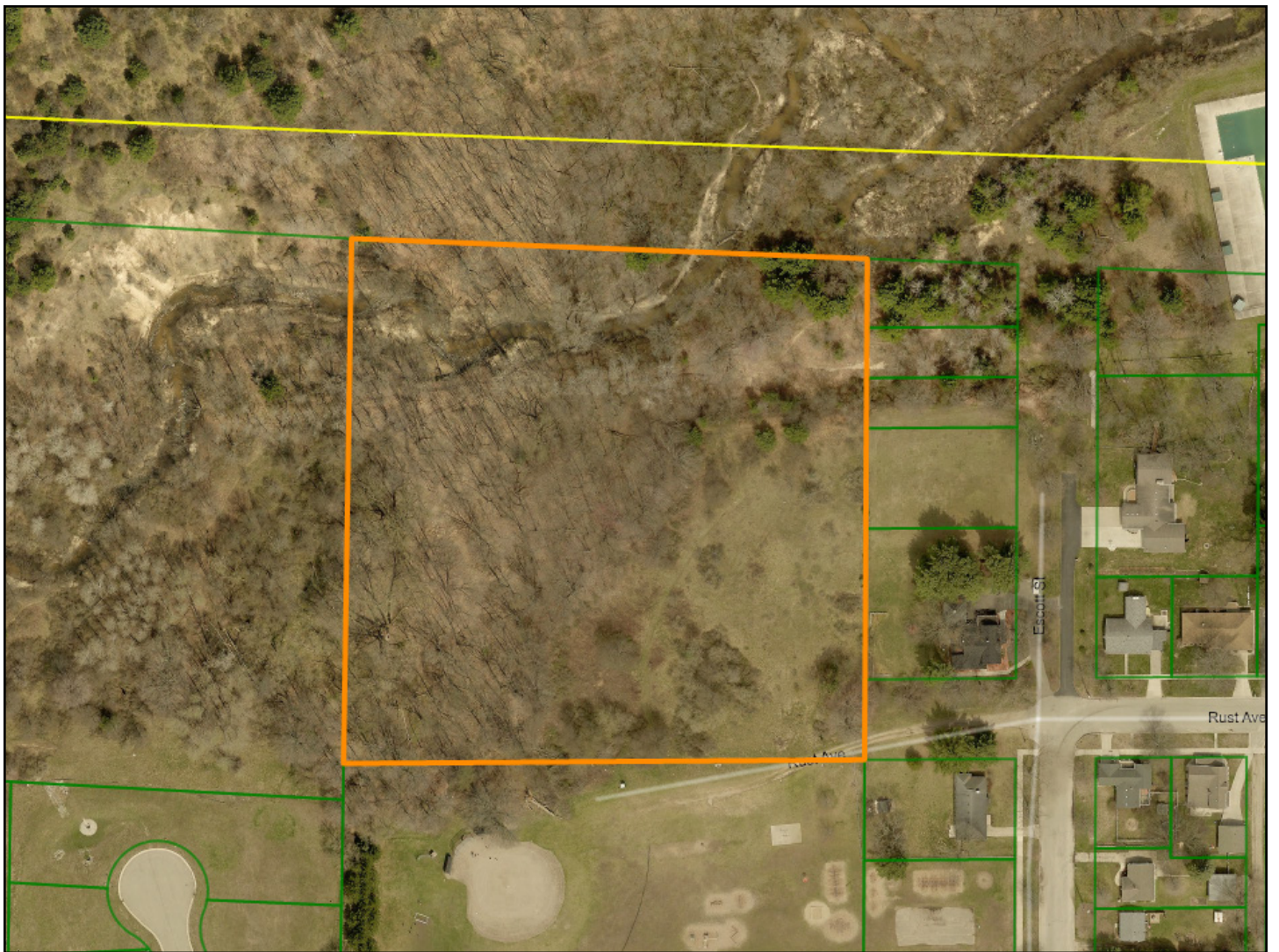
The Mayor declared the resolution adopted.

Dated: April 18, 2022

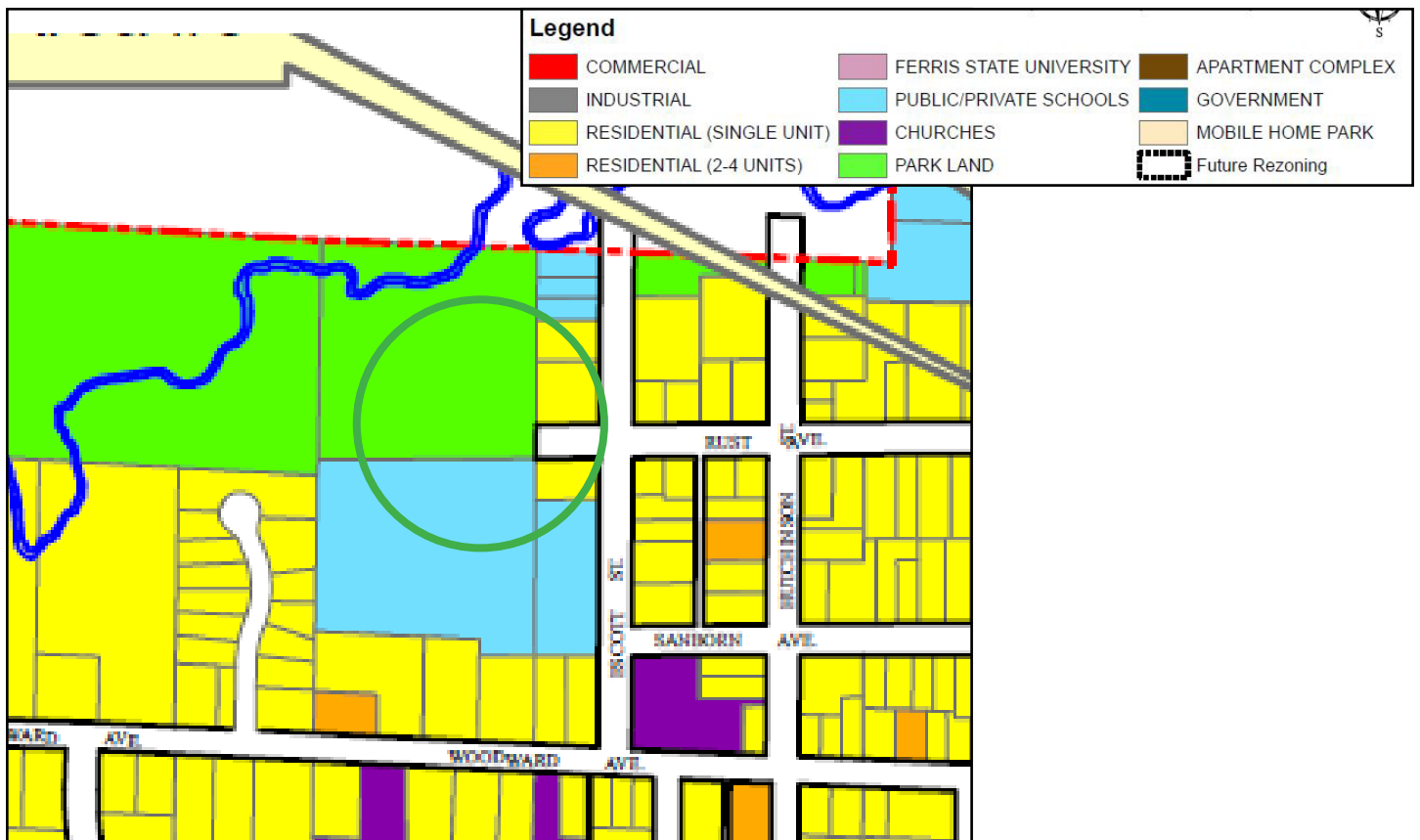
Location Maps



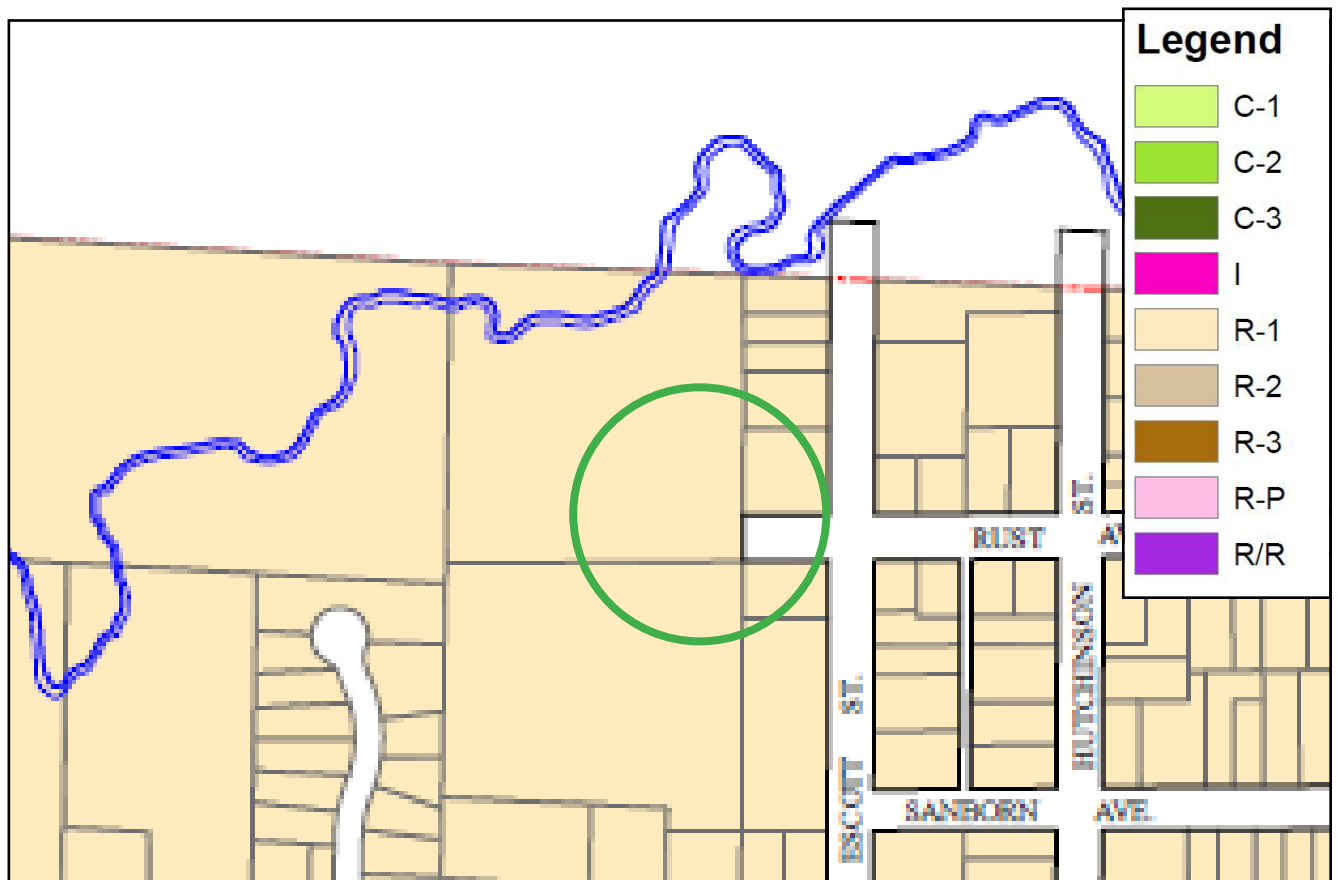
Aerial Imagery

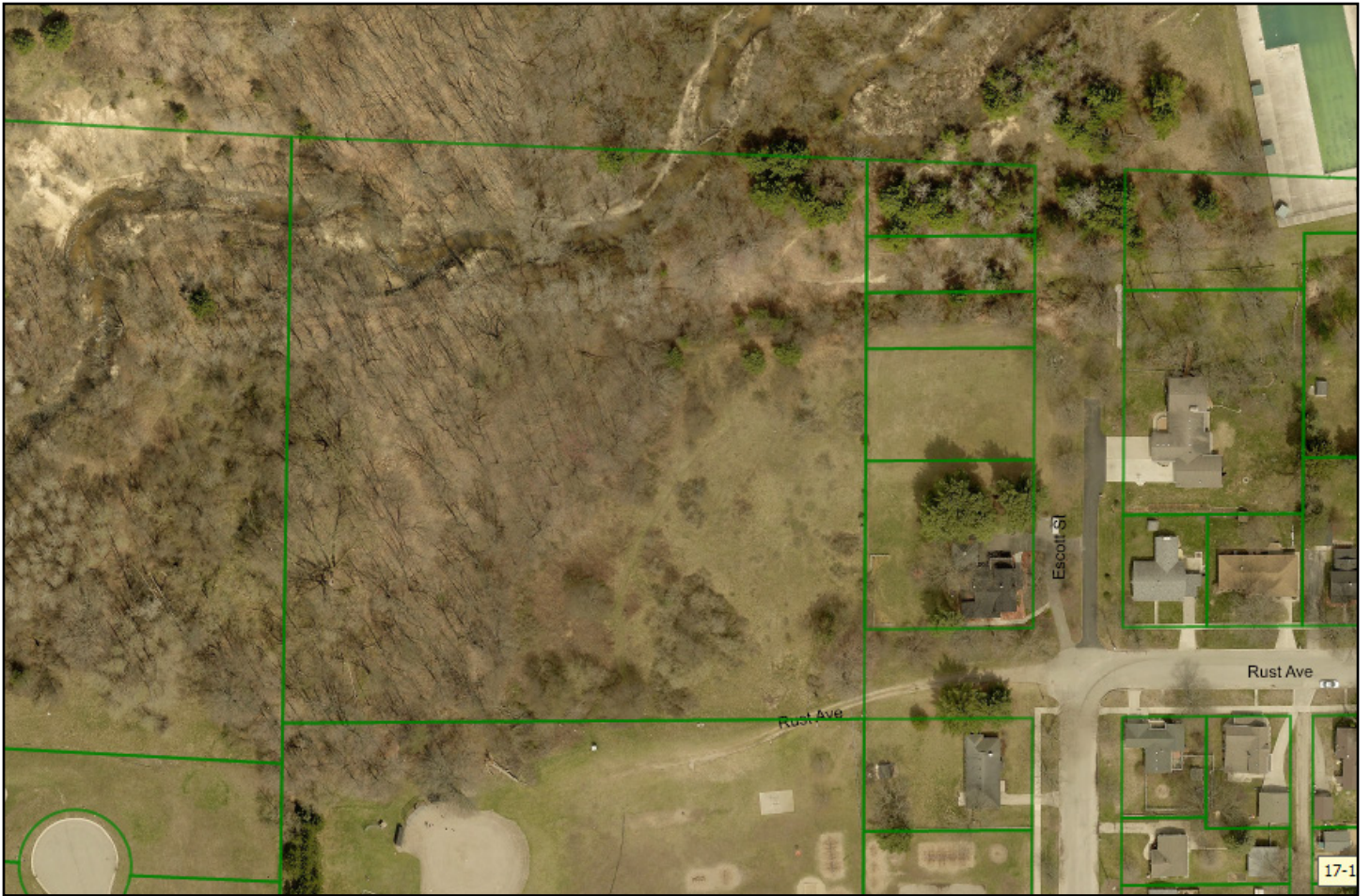


Excerpt from Future Land Use Map



Excerpt from Zoning Map





MEMO



To: Heather Bowman
From: Todd Richter, P.E.
Date: 4/14/2022
RE: Utility Easement Vacation – Rust Avenue

The City has an existing 85 foot wide utility easement running across the property located to the west of Rust Avenue. Per the proposed subdivision of the property into three lots for housing development, the easement will cross the south side of one of the proposed lots. This easement could encumber the lot such that the buildable options on the lot would be limited.

The proposed partial easement vacation would remove the easement from most of the lot while retaining a portion of the original easement for utilities.

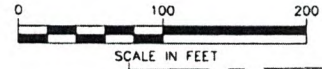
Attached is a figure of the proposed easement vacation as well as the proposed property subdivision.

850560_Easement
jonathonr 030122

PARENT EASEMENT

1 OF 3

N 1/4 CORNER
SECTION 15
T15N, R10W
L. 100 PG. 358



NORTH-SOUTH 1/4 SECTION LINE

S0°05'27"W 657.17'

N0°05'27"E 85.00'

17-15-200-001

85' EASEMENT TO
THE CITY OF BIG
RAPIDS FOR WATER
AND SEWER PER
L. 382 PG. 1175

S88°28'15"E 516.90'

P.O.B.

N88°28'30"W 518.06'

RUST AVE

S0°41'40"E
85.00'

17-15-200-002

BEARING BASE IS FROM THE CITY OF BIG
RAPIDS SANITARY AND WATERMAIN EASEMENT
RECORDED IN L. 382 PG. 1175

DATE: 2/23/2022
F&V PROJECT NO.
850560


FLEIS & VANDENBRINK
DESIGN. BUILD. OPERATE.

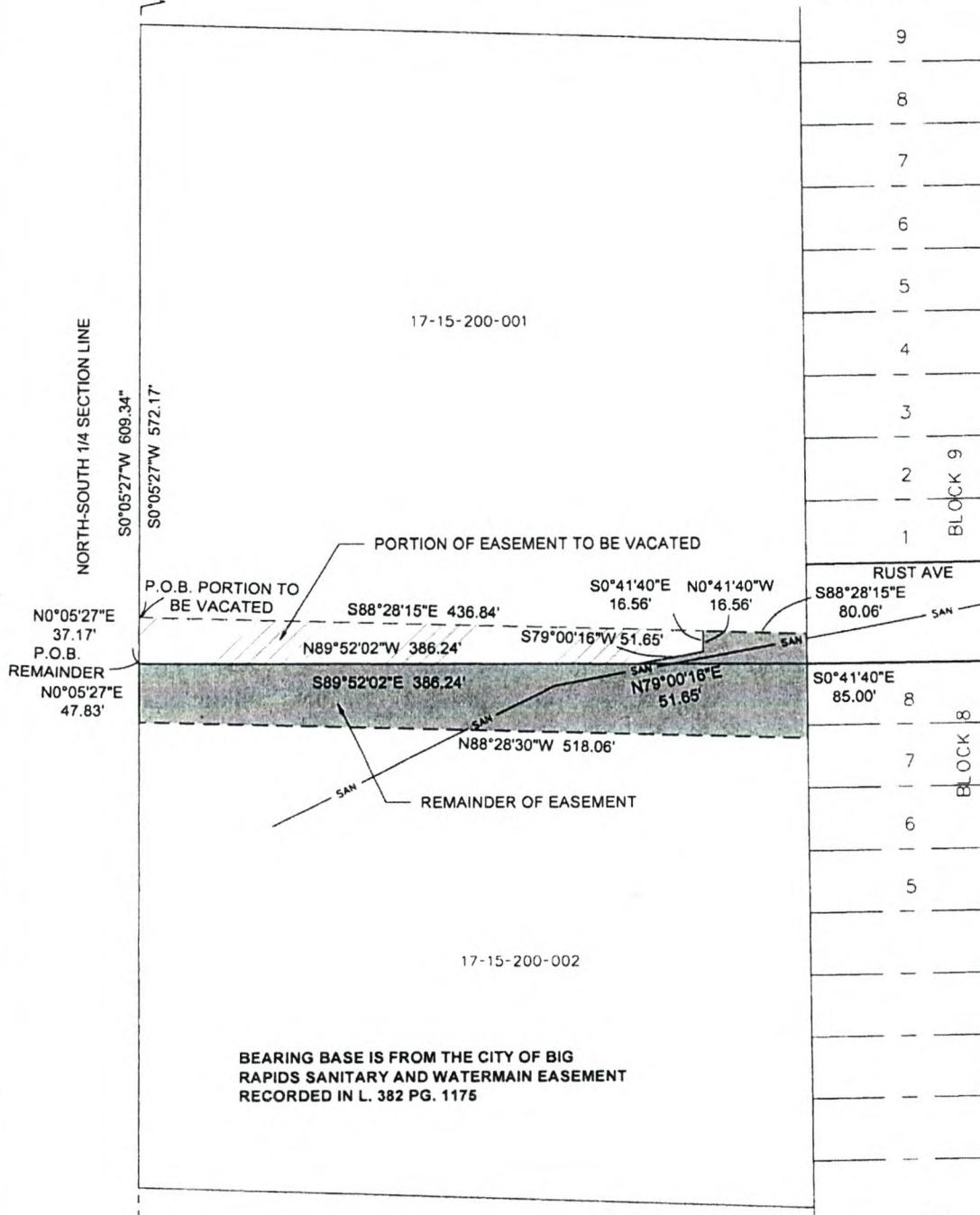
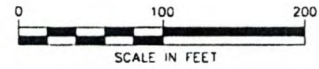
2960 Lucerne Drive SE
Grand Rapids, MI 49548
P: 616.977.1000
F: 616.977.1005

PARENT EASEMENT
SECTION 15, T15N, R10W
MECOSTA COUNTY, MICHIGAN

CITY OF BIG RAPIDS
17-15-200-001 / RUST AVE.

VACATED AND REMAINDER EASEMENT

N 1/4 CORNER
SECTION 15
T15N, R10W
L. 100 PG. 358



DATE: 2/22/2022
F&V PROJECT NO.
850560

FLEIS&VANDENBRINK
DESIGN. BUILD. OPERATE.

2960 Lucerne Drive SE
Grand Rapids, MI 49546
P: 616.977.1000
F: 616.977.1005

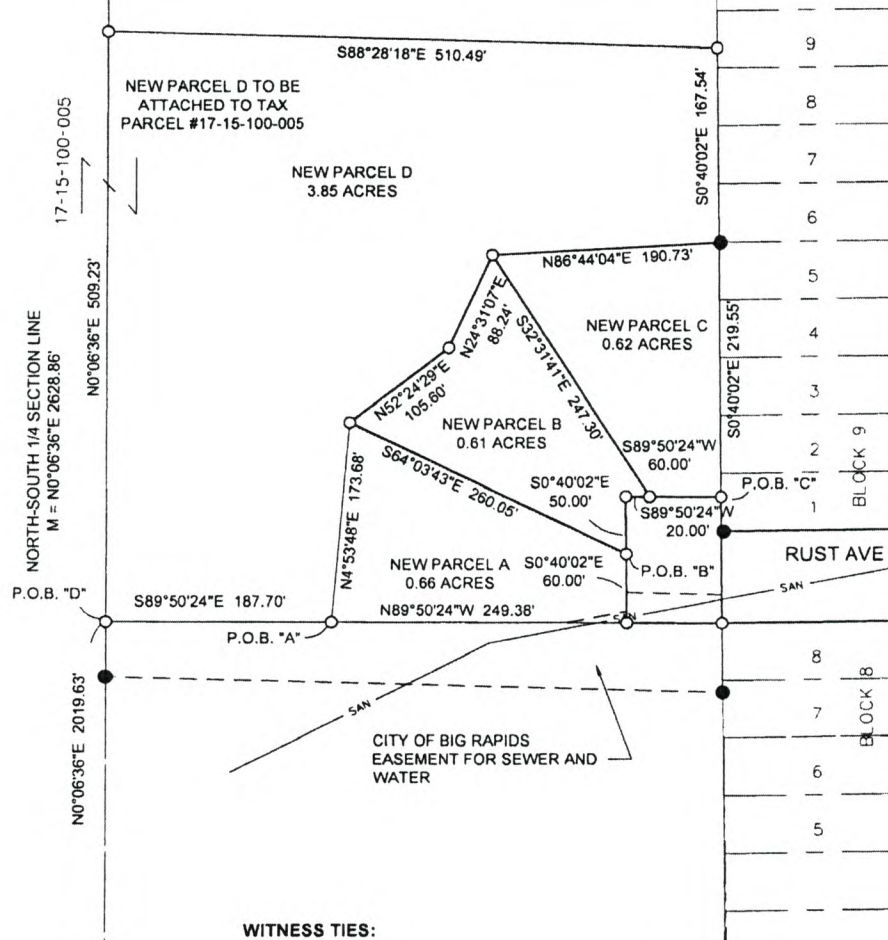
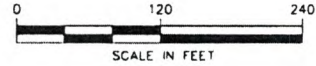
VACATED AND REMAINDER EASEMENT
SECTION 15, T15N, R10W
MECOSTA COUNTY, MICHIGAN

CITY OF BIG RAPIDS
17-15-200-001 / RUST AVE.

TENTATIVE LAND DIVISION

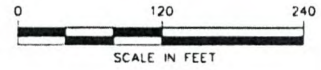
1 OF 3

N 1/4 CORNER
SECTION 15
T15N, R10W
L. 100 PG. 358



TENTATIVE LAND DIVISION

N 1/4 CORNER
SECTION 15
T15N, R10W
L. 100 PG. 358



NORTH-SOUTH 1/4 SECTION LINE
M = N0°06'36"E 2628.86'

N0°06'36"E 2019.63'

CENTER
SECTION 15
T15N, R10W
L. 101 PG. 46

RUST AVE
RIGHT-OF-WAY
EXTENSION
0.20 ACRES

S89°50'24"E
80.00'

N0°40'02"W
110.00'

S0°40'02"E
110.00'

RUST AVE

S89°50'24"E 437.08'

N89°50'24"W
80.00'

CITY OF BIG RAPIDS
EASEMENT FOR SEWER AND
WATER

SAN

SAN

6	
5	
4	
3	
2	
1	BLOCK 9

8	
7	
6	
5	
	BLOCK 8

LEGEND

● FOUND IRON STAKE

○ SET IRON STAKE

DATE: 2/22/2022
F&V PROJECT NO.
850560

TENTATIVE LAND DIVISION
SECTION 15, T15N, R10W
MECOSTA COUNTY, MICHIGAN

CITY OF BIG RAPIDS
17-15-200-001 / RUST AVE.


FLEIS & VANDENBRINK
DESIGN. BUILD. OPERATE.

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