

Planning Commission
Regular Meeting

October 19, 2022

6:30PM

Big Rapids City Hall
226 N Michigan Ave

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Minutes
 - a. September 21, 2022
5. Public Comment Unrelated to Items on the Agenda
6. Public Hearing
 - a. Zoning Ordinance Map Amendment Request to Change 416 N State Street from C-3 Commercial to R-R Restricted Residential
 - b. Site Plan Review for a New Addition at 106 N Bronson Avenue
7. General Business
 - a. Review of Revised Site Plans for a New Krist Oil Gas Station and Food Mart at 827 N State Street
 - b. Introduction to the RRC Economic Development Strategy
8. Unscheduled Business
9. Adjourn

CITY OF BIG RAPIDS
PLANNING COMMISSION MINUTES
September 21, 2022
Unapproved

Chair Jane called the September 21, 2022 of the Planning Commission, to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE

PRESENT Sarah Montgomery, Chris Jane, Megan Eppley, Kate McLeod, Kasey Thompson, and Jacob Buse

EXCUSED Rory Ruddick

ABSENT None

ALSO PRESENT Paula Priebe, Community Development Director
Emily Szymanski, Planning & Zoning Technician

There were 53 people in attendance.

APPROVAL OF MINUTES

Motion was made by Sarah Montgomery seconded by Kasey Thompson, to approve the minutes of the August 17, 2022 meeting of the Planning Commission as presented.

Motion was passed with all in favor.

PUBLIC COMMENT NOT RELATED TO ITEMS ON THE AGENDA

Kristal Wible of 830 Marion Avenue asked the Commission for an update regarding the Site Plan for a new Krist Oil gas station and food mart at 827 N State Street. Chair Jane stated that at this time, Krist Oil is still working on revising the Site Plans based on the conditions set by the Planning Commission during the July 20 meeting. City Staff will notify the public as soon as the revised plans have been submitted.

Mary Gallagher-Eustice of 224 Division Street complimented the City of Big Rapids for the beautiful downtown floral arrangements and thanked the City Staff that tends to them each and every year.

Zach and Tim Cooper of Red Bull Rentals expressed interest in purchasing 430 N Third Ave. This property is zoned R-2 Residential, and they are hoping to create group housing that would consist of 4-6 rooms. They have a history of purchasing homes in Big Rapids to renovate and then resell. The hope is to rent the rooms to young professionals. They currently own a men's group home and receive constant calls asking for open occupancy of a room. Tim Cooper asked for any comments or questions from the Planning Commission.

PUBLIC HEARINGS

Proposed Amendments to the Zoning Ordinance Articles 2, 3, 4, 9, 11, and 12.

The Public Hearing was opened at 6:35 p.m.

Priebe summarized the Staff Report stating that tonight's meeting will include the formal Public Hearing for the many text amendments to the Zoning Ordinance that have been discussed for several years. The process was initiated as part of the Redevelopment Ready Communities program (RRC) and is required to become RRC Certified. It is also driven by the findings of the Housing Study. The proposed changes are fully in agreement with the City's Master Plan. Within the 2018 Addendum to the 2009 Master Plan, the Housing Goal established is to "...work towards creating a balanced range of the housing opportunities that includes well-maintained single-family homes, multiply family units, and other types of housing". These amendments will also help the City work toward the Downtown Goal and the Economic Development Goal. The Planning Commission walked through all of the proposed changes at their August 2022 meeting. On August 30 and 31, the Community Development Department staff held two public educational meetings to share about the proposed changes and to solicit feedback from attendees.

In an attempt to make these changes more easily understood, Staff has been thinking of the changes as four different categories: Administrative Changes, District Standards, Housing Types, and the Zoning Map. Administrative Changes include:

- An update and reorganization of the Definitions section,
- Clarify and reorganize Use Standards
- Adding a Use Table to make the old "Principal Uses and Structures" list more accessible.

The proposed changes to the District Standards Section includes:

- Amending standards in Article 4 – General Provisions for the C-2 and R-R Districts. These changes are driven by the RRC program and current planning best practices. They utilize Form-based Code for the walkable areas of the City where the framework is most beneficial.
- Amending standards within Residential District Standards. City Staff have been working with Kathleen Duffy of SmithGroup to prepare the proposed amendments. The Residential District Standards include a purpose statement, siting and building requirements, graphics, and dwelling occupancy sections for the R-P, R-1, R-2, R-3, and R-4 Districts. A key purpose behind the changes in the residential districts is to "right size" the zoning district standards to the actual lot sizes in Big Rapids. The current Zoning Ordinance has district regulations that make most residential lots in the City non-conforming, because they require very large lots. By fitting the lot areas and adjusting the setbacks to fit reasonably within those lot areas, many lots lose their non-conformity and no longer require the exceptions in Article 4 to be buildable lots.

The proposed changes to the permitted housing types include:

- Several additional housing types were presented to the Commission. These include townhomes, flats/small apartments, accessory dwelling units, and cottage courts, which are all examples of “Missing Middle Housing” that fall in between the single-family houses and large apartment complexes. These changes were driven by the Master Plan goals, the RRC program, and the findings of the Housing Study.

The proposed Zoning Map alterations include:

- 30 properties within the City are being proposed for the Zoning Map Amendment. These properties are considered “spot zoning” and do not match adjacent land uses and how the properties are currently being used.

Based on feedback gathered over the past week, staff are recommending several alterations to the Proposed Amendments as published:

- 2:2:M: add definition of Mezzanine
- Use Table: addition of Fraternal Organizations and Rooming Houses as a Special Land Use in the R-2 District.
- 3.4:1 Purpose statement for the R-P District: add desired residential development as house of one unit and up to one Accessory Dwelling Unit.
- 3.5:1 Purpose statement for the R-1 District: edit desired development to be one house of one unit and up to one Accessory Dwelling Unit.
- 4.1:7: Clarify that this section applies to non-residential accessory structures, not to the new Accessory Dwelling Unit section.

Those Who Spoke in Favor of the Request: None heard

Those Who Spoke in Opposition of the Request:

Carleen Rose of 518 Locust St stated that while she is representing herself as a homeowner within the R-1 District, she is also representing the Big Rapids Housing Commission. She stated that although it is not a bad idea to consider changes, the R-1 District may need further discussion because these changes have the potential to dramatically change single-family neighborhoods. Big Rapids does need to encourage and facilitate new housing that will fit the vision and need of the community. The City and the Housing Commission have focused on eliminating non-conforming rentals in the R-1 District and the Housing Commission feels as though allowing accessory dwelling units will create more problems due to the increase in density. What is the value of adding ADUs? The need to reduce the minimum lot sizes make sense in some areas of the City but higher density should be restricted to the R-2 and R-3 Districts. Could the City create an additional R-1 District for new and future developments? Communication between the Housing Commission and the City needs to improve going forward.

Lonnie Deur of 120 Hutchinson St stated that he used to trust decisions made by the City Commission. When the City opted in to allow marihuana businesses within City limits, Mr. Deur lost that trust. Not every marihuana business will succeed, and many empty storefronts will arise. Regarding the zoning amendments, Mr. Deur stated that when he came into City Hall to learn

more about the changes, he was told what the political well-being of the R-1 District was but was not given the insight on how the proposed amendments would totally change the R-1 District. Multiple dwellings in one building will devalue property, devalue families, and home values. The City needs to look 5, 10, and 15 years into the future. The City does not consider people and families like all forms of Government right now. Please table the discussion.

Jane Johansen of 117 S Stewart Ave stated that in 2008, when Mayor Warba was elected, the R-P District was on the ballot. Over 60% of City residents voted that they wanted the R-P District as written in the current Zoning Ordinance. Can the Planning Commission amend a Section of the Zoning Ordinance that was voted by the people? Another concern regarding the R-P District is within the proposed Use Table. She stated that the Use Table is missing language that would state that a single-family dwelling, a professional office space, or a combination thereof would be permitted. The propose of the R-P was to allow some of these bigger homes be used to the best of their ability. One single family would be permitted, not multiple people, while also allowing one office space as well. Johansen stated that she grew up in Big Rapids and lives in the home she grew up in. When she moved back to Big Rapids, she lived next to two drug houses which created a lot of noise and traffic. She stated that after the area was rezoned to R-P, they reclaimed the neighborhood and now have families back in the homes. This is a big decision, and no one knew about it because no one pays attention in the summer months. Please table the discussion.

Jack Fraser of 522 Bailey Dr asked what started this push for missing middle housing? He stated he used to live on Rose Ave, which was rezoned once before to R-2 Residential but then was rezoned back to R-1 Residential because someone got smart. The issue is that the homes that were rentals were grandfathered in. With the additional units (ADUs) permitted on R-1 lots comes safety concerns. There was a house on Woodward Ave that had a second smaller home on the lot. That smaller home caught fire and turned out to be a drug house. Given the current feelings within the community regarding drugs, these amendments will create even more of a problem. He stated that a few of his neighbors run these “drug places”. In the 1970’s, Hillcrest came into town and many tenants have created issues. There are also several duplexes on Woodward that are run down rentals that do nothing but create issues. The R-1 District protects the single family and that’s the bottom line. If the City amends the Ordinance, the City should change the water tower’s slogan because “we won’t love it here. We don’t need homes cut up for a bunch of drug dealers. We are a family City”.

Roberta Cline of Escott St stated that she has been a City resident for 46 years and has lived in the R-1 District for 42 years, employee of the City for 46 years, and City Clerk for 34 years so she has heard conversations regarding the R-1 District, which shows how passionate the R-1 residents are. She has attended all of the study sessions and attended the City Commission meeting on September 19. She stated she has concerns regarding the RRC program due to the number of other communities involved. Since Big Rapids is a smaller community, we might not be able to compete with other communities for funding. It feels as though the City is selling out the R-1 District in order to make a few extra dollars. Is the goal of these amendments to increase

the number of rentals? At the City Commission it was brought up that townhouses, cottage courts, duplexes, and ADUs would be permitted. A lot of the data from the Housing Study suggests more rentals and adding these housing types would increase rentals. The four-unit dwelling on Chestnut St looks very nice and more similar developments would really benefit State St. Accessory dwelling units in the R-1 District will create problems with density and off-street parking availability. Thank you to staff for your hard work and the educational meetings were beneficial. However, please table the decision.

Joan Ciarmitaro of 917 Lilac Avenue stated that she moved to Big Rapids six years ago and loves her neighborhood and loves that her neighbors are young families, older couples, and everything in between. The street is very quiet and lovely. She stated that she wants her neighborhood to stay R-1 exactly the way it is.

Tim Vogel of 618 Willow Ave expressed concerns regarding the accessory dwelling units. These units will increase density and take away from the beautiful R-1 neighborhood. He researched single-family neighborhoods in other communities that are currently RRC Certified. Mt. Pleasant allows single family and duplexes. Houghton permits strictly single-family units and neighborhoods. Marquette uses a term called “low density residential” which is similar to our current R-1 District. Big Rapids can still reach RRC Certification while still allowing strictly single-family neighborhoods. Families and young professionals could benefit from living in multiple family buildings that have been turned into apartment complexes. This could be an opportunity for the City to look into. He stated that he appreciates City staff for their hard work.

Jana Lee Farrier of 729 N State St stated that in the R-1, “we have worked hard to renovate our homes and make them look nice. Accessory dwelling units will cause the R-1 residents to leave. We are there because we like the peace and quiet”. If someone rented an ADU near her, she would consider moving out into the Township or County. She stated, “I’d assume that as a City, you’d want some nice R-1 neighborhoods and allowing additional smaller units will make the City move in the wrong direction”.

Wayne O’Neil of 903 Woodward Ave stated that he never would have known about these amendments had it not been for a neighbor. The City needs to do a better job advertising these very important meetings to get more people out. He is against the proposed amendments.

Krystal Wible of 830 Marion Ave stated that the issue in Big Rapids is the lack of affordable housing. Adding a smaller accessory dwelling unit does not solve that issue. The City should look outside of the R-1 District and create a community that focuses on affordable single-family homes. She stated that she is worried about potential property tax increases that will be created from these new developments, including having a second dwelling on the property. The City should protect the R-1 neighborhoods.

Roberta Nista of 611 Willow Ave stated that her neighborhood is one big family. The neighborhood is wonderful, so if it’s not broke, why fix it? Please don’t mess it up.

Dan Spedowske of 830 Lilac stated that he has lived here 67 years and has worked very hard to get what he has in life. Why would the City want to wreck his neighborhood? He moved in the R-1 neighborhood because it's quiet and very nice. He stated, "I try to keep my property nice and welcoming, but not welcoming to everyone". He doesn't think Commissioners are listening to the people of Big Rapids. Leave the R-1 residents alone. Who will benefit from these amendments? Not him. He stated that if these amendments are passed, everyone moves in, and a little Detroit happens in his City, do his taxes go down? If approved, Mr. and Mrs. Spedowske will move out of the City after 67 years because he feels that they won't be welcomed here anymore.

Telephonic or Written Correspondence Received by Staff:

In-person Conversation:

Tyler Haynes, local Realtor and Big Rapids Township resident, stated that all new developments, new construction will have safer residential units because they will need to conform to current building and fire codes. He also stated that Big Rapids needs more units, for renters and buyers, that are geared towards professionals, FSU faculty and staff, etc. He is in support of the new housing types being proposed.

Phone Conversation:

Sally and Dave Alban of 506 Bailey Dr stated that they do not want their street to be anything other than single-family dwellings and do not want any accessory dwelling units in their neighborhood. They expressed concern about safety if there is any higher residential density development near their house. Overall, they want to see Big Rapids be more family friendly and think that the proposed changes would make Big Rapids less family friendly.

Written Correspondence:

Judy and Dale Monson of 908 Lilac Ave, Katherine LaPietra of 604 Cedar St, Monte and Catherine Johnson of 526 Bailey Dr, Greg and Terry Denny of 323 W Pere Marquette St, Mark Warba of 627 Woodward Ave, and David Mason of Reed City are against the proposed amendments. To read the written correspondence in its entirety, please refer to the last page of these minutes.

Chair Jane closed the Public Hearing at 7:47 PM and the Commission entered into Fact Finding.

The conversation ensued over the following topics:

- Montgomery asked what impacts would having an accessory dwelling unit have on property taxes? If a property is owner-occupied, the portion that is owner-occupied is eligible for the primary residence exception (PRE). The portion of the property that is not owner-occupied is not eligible for PRE.
- Jane asked how many people could occupy an accessory dwelling unit? There are requirements within the Zoning Ordinance that would have to be met (such as parking

and size of bedrooms). However, accessory dwelling units are quite small in size (600 sq feet or smaller) and typically can only house one person or a couple.

- Could manufactured homes be considered an accessory dwelling unit? No. There are additional standards for ADUs. However, a statement that says, “manufactured homes are not permitted as accessory dwelling units” could be added to clarify this point. Staff will bring back the conversation of amending standards for manufactured homes at a future meeting.
- Eppley stated that she would like to hear from a larger population of renters, since the majority of Big Rapids residents are renters. She would like to find a balance between the opinions of homeowners versus opinions of renters pertaining to these proposed amendments. It is important to find the balance, because Commissioners also have to think about the future of the community and seeing Big Rapids grow. Often times we take for granted what “family means”. What’s right for one family, is different for another. There has to be growth and development to sustain the community. Big Rapids may not look like what it’s always looked like, but these amendments deserve more discussion.
- Montgomery stated that she feels unsettled, and the Commission should not vote on the proposed amendments tonight. She stated that she loves how the R-1 is very family oriented and quiet.
- Dr. Thompson stated that she does not feel comfortable with moving forward with the amendments tonight. However, we may not all agree and use a single approach, but we need to get closer to finding that medium before moving forward. Societally, the whole framework and concept of family is changing a bit. Children are staying home a lot longer, children come back, and there are different definitions of family for everyone. Accessory dwelling units aren’t just to be used as rentals. They also give the homeowner the opportunity to use their property in a way that isn’t focused on making a profit. Instead, ADUs could help conform to this new normal of having different types of families. It’s not all negative and would love to allow homeowners the opportunity to work on beautification of their homes.

Motion was made by Kasey Thompson, seconded by Sarah Montgomery to move that the Zoning Ordinance Text Amendments to Articles 2, 3, 4, 9, 11, and 12 be tabled and brought back at a later meeting of the Planning Commission, because more discussion is needed in order to reach a more universal decision on the proposed amendments.

Motion passed with all in favor.

GENERAL BUSINESS

Site Plan Approval Extension Request for 614 S State Street

Priebe summarized the Staff Report, stating that the Planning Commission held a Public Hearing at the December 15, 2021 meeting on a Site Plan Review for a New Wendy’s Drive-through Restaurant at 614 S State Street. The Site Plan was reviewed with one condition. The condition was met, and Staff approved the Plan with a letter on February 4, 2022. The owners and construction contractors have requested an extension of their Site Plan approval until June 30,

2023 due to delays in their project's timeline. This extension would allow them the time needed to complete the project.

Motion was made by Jacob Buse, seconded by Megan Eppley to extend the Site Plan approval for the New Wendy's Drive-through Restaurant at 614 S State Street (PIN 17-15-283-006) as granted on February 4, 2022 until June 30, 2023.

Motion was passed with all in favor.

Annual Organizational Meeting 2022

Priebe stated that the Bylaws and Rules of Procedure for the Planning Commission call for an annual organizational meeting to be held each September at which time the Commission must do four things:

1. Elect officers for the ensuing year.
2. Appoint a Recording Secretary
3. Review the Planning Commission budget for the ensuing year.
4. Adopt a regular schedule of meetings for the next year.

Each office can be held by one person for three terms concurrently. Chair Jane is termed out.

The four offices that need to be decided are Chairperson, Vice Chairperson, Secretary, and Record Secretary. Current Chair Chris Jane is currently completing his third consecutive term as Chairperson, current Vice Chair Megan Eppley is currently completing her second term as Vice Chair, and current Secretary Sarah Montgomery is completing her first term as Secretary.

The elected officers for next year are as follows:

- Megan Eppley as Chairperson (1st term)
- Dr. Kasey Thompson as Vice Chairperson (1st term)
- Sarah Montgomery as Secretary (2nd term)

Emily Szymanski was appointed Recording Secretary.

The Planning Commission budget was reviewed, and the meeting schedule was adopted as stated. The meeting time will remain at 6:30 p.m. on the third Wednesday of each month.

A Motion was made by Chris Jane, seconded by Megan Eppley to approve the elected officers, recording secretary, budget, and schedule, as discussed.

Motion passed with all in favor.

UNSCHEDULED BUSINESS - None

There being no further business, Chair Jane adjourned the meeting at 8:45 PM with all in favor.

Respectfully submitted,

Emily Szymanski, Planning & Zoning Technician and Planning Commission Secretary

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Neighborhood Services Director
Emily Szymanski, Planning & Zoning Technician
SUBJECT: Rezoning of 416 N State St from C-3 to R-R Residential
DATE: October 19, 2022

Introduction

The property at 416 N State Street (PIN 17-11-309-007) is zoned C-3 Commercial and is currently operates as a professional photography studio, Wise Photography. The parcel is located between the residence at 418 N State Street (currently non-conforming and zoned C-3 Commercial) and the C-3 Commercial multi-tenant building, with tenants including Simplicity Hair Studio and Windemuller Inc., at 414 N State Street.

The Applicant, Michelle Wise Mongar, is requesting this rezoning due to the property being on the market for quite some time with no offers, the interest from surrounding neighbors to rezone, and the overall functionality of the property being residential.

Rezoning Process and Procedure

The issue on the table is to consider rezoning this site from C-3 Commercial to R-R Residential. A rezoning, also called a Map Amendment, is a request to change the zoning of a property from one type to another type to permit a different array of uses on the site.

The C-3 Commercial District is intended to provide areas for commercial development that depend on continual movement of vehicular traffic. This district permits any use permitted in the C-1 and C-2 Commercial Districts, as well as other uses that require outdoor space. Marihuana provisioning centers are a permitted use in the C-3 District.

The R-R District is established to provide areas of transitional use between emerging commercial uses and established residential districts. The regulations include certain uses permitted in the Residential Districts such as multiple-family dwellings, duplexes and single-family homes as well as uses permitted in certain commercial districts as special land uses. Services, facilities, and uses incidental or accessory to permitted uses are included.

The process of rezoning a property is circumscribed by the Zoning Ordinance in section 14.2. All Rezoning Applications require a Public Hearing. Notice was posted in the Big Rapids Pioneer on October 4, 2022, notice was sent to all property owners within 300 feet of 416 N State Street, and notice was placed on a sign at the property. Any feedback received by staff will be shared with the Planning Commission during the meeting.

Standards for Zoning Amendment Review

Section 14.2:4 of the Zoning Ordinance clearly lays out a series of standards for Zoning Amendment Review, stating as follows:

The Planning Commission and City Commission shall consider the request for an amendment to the Zoning Ordinance in accordance with the following standards:

- (1) The use requested shall be consistent with and promote the intent and purpose of this Ordinance.
- (2) The proposed use will ensure that the land use or activity authorized shall be compatible with adjacent land uses, the natural environment, and the capabilities of public services affected by the proposed land use.
- (3) The land use sought is consistent with the public health, safety, and welfare of the City of Big Rapids.
- (4) The proposed use is consistent with the City Master Plan or a determination that the plan is not applicable due to a mistake in the plan, changes in relevant conditions, or changes in relevant plan policies.

Planning Commissioners are encouraged to review the Application against the Standards in Section 14.2:4 to decide if they find it meets or fails to meet them. The attached maps and pictures are intended to provide context to assist the Commissioners in evaluating the request according to these standards. See the Applicant's attached written statement addressing the standards in their own words.

Further Consideration – Is this spot zoning?

One further consideration is that approval of the request could be considered a spot zoning. The classic definition of spot zoning, according to Anderson's American Law of Zoning, 4th Edition, is "the process of singling out a small parcel of land for a use classification totally different from that of the surrounding area for the benefit of the owner of such property and to the detriment of other owners". Spot zoning is generally discouraged, as it can cause conflicts between adjacent uses, and can be illegal in some cases.

Accusations of spot zoning must be considered on a case-by-case basis. In the case of 416 N State Street, one could make the argument that this request is not spot zoning for the following reasons:

- The rezoning would not be "totally different" from the surrounding area. The parcels across N State Street are zoned R-R Residential.
- The property is already developed for residential use and rezoning to R-R would allow either a residential use or a light commercial use (medical clinics, barber shops, etc). Rezoning is unlikely to lead to detriment of nearby lands.
- While the Future Land Use Map shows the parcel remaining commercially zoned, the same map is also heavily spot zoned itself and shows the neighboring property at 418 N State being zoned residential in the future.

One could argue, however, that the rezoning is considered spot zoning for the following reasons:

- The Future Land Use Map and the City's Master Plan indicate that this parcel is zoned commercial in the future.
- The neighboring properties are all zoned commercial, so having one property zoned differently than the rest is spot zoning.

Staff Recommendation

After wrestling with this unique application for some time, staff has decided to recommend denial of the rezoning request. However, staff does believe that rezoning the entire 400-block of N State Street would meet the standards of Section 14.2:4 and align with the hard work the Commission has dedicated to the Zoning Text and Map amendments. Ms. Wise Mongar has noted that many neighbors have expressed interest and support regarding rezoning their properties as well. Because of this, the Commission could Table the motion and have the Applicant submit more documentation, including signatures from neighbors wishing to rezone their property to R-R Residential. If the whole 400-block of N State Street requested to be rezoned to R-R Residential, staff would recommend approval of the request.

Action

Three options lay before the Planning Commission regarding Rezoning Applications: Approval, Denial, or Table. Explanations and sample motions are included below.

Approval

An approval motion is appropriate when the Application meets the Standards of the Zoning Ordinance and sends the Application to the next step in the process where City Commission has final say in approving or denying the request.

"I move that the Rezoning Application for 416 N State Street (PIN 17-11-309-007) from C-3 Commercial to R-R Residential be recommended to the City Commission for approval, because it meets the Standards set in Section 14.2:4 of the Zoning Ordinance. [*If any conditions on approval, list them here.*]"

Denial

A denial motion is appropriate when the Application fails to meet the Standards of the Zoning Ordinance and ends the application process.

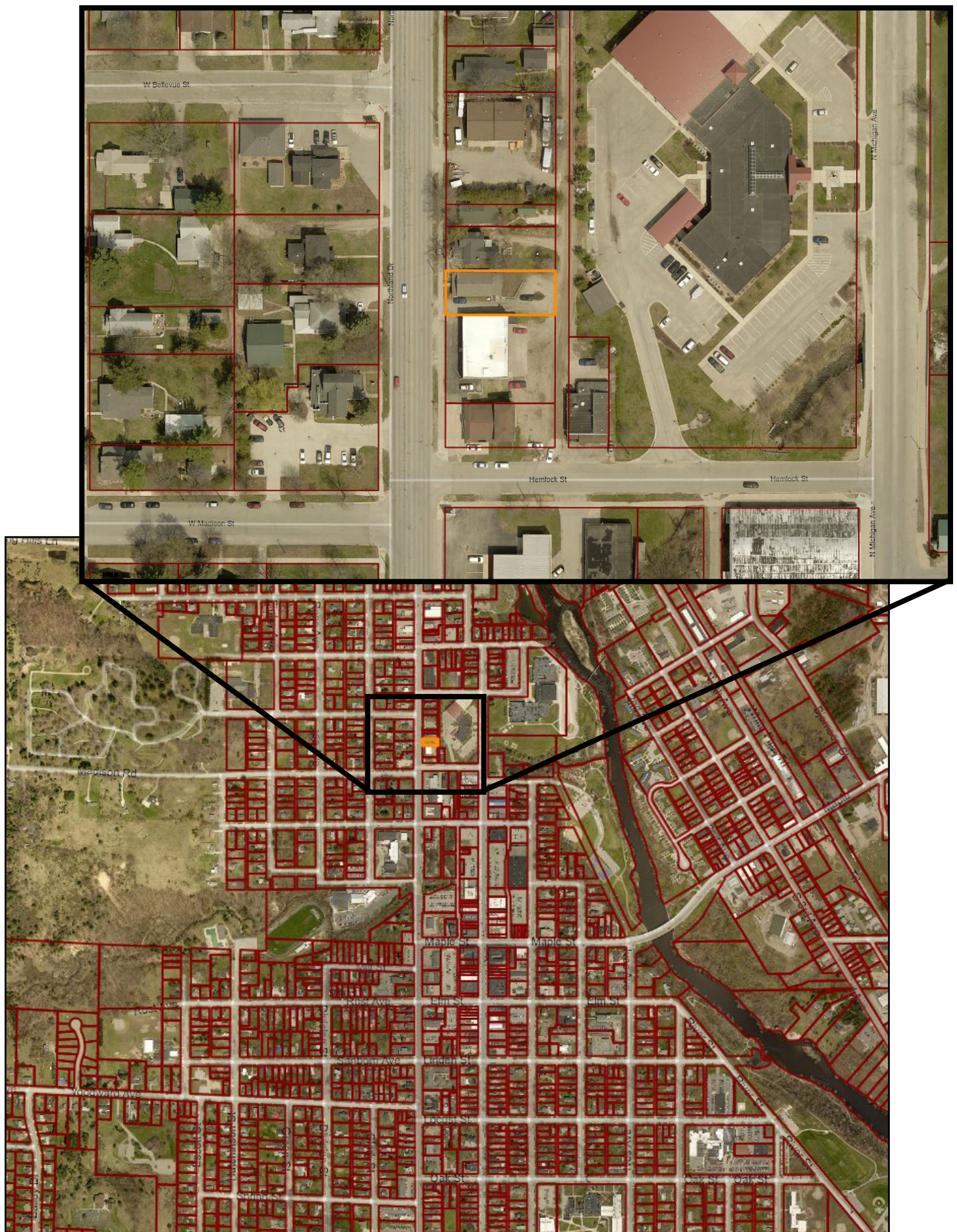
"I move to deny the Rezoning Application for 416 N State Street (PIN 17-11-309-007) from C-3 Commercial to R-R Residential because it does not meet Standard 14.2:1 (X) of the Zoning Ordinance. [*Fill in the X with which number Standard the application does not meet.*]"

Table

A Table motion is appropriate when more information is needed before reaching a decision regarding the Application and pauses the process until a later date.

"I move to table a decision on the Rezoning Application for 416 N State Street (PIN 17-11-309-007) from C-3 Commercial to R-R Residential until the November 16, 2022 meeting of the Planning Commission, because [*list your reason for tabling the decision here*]."

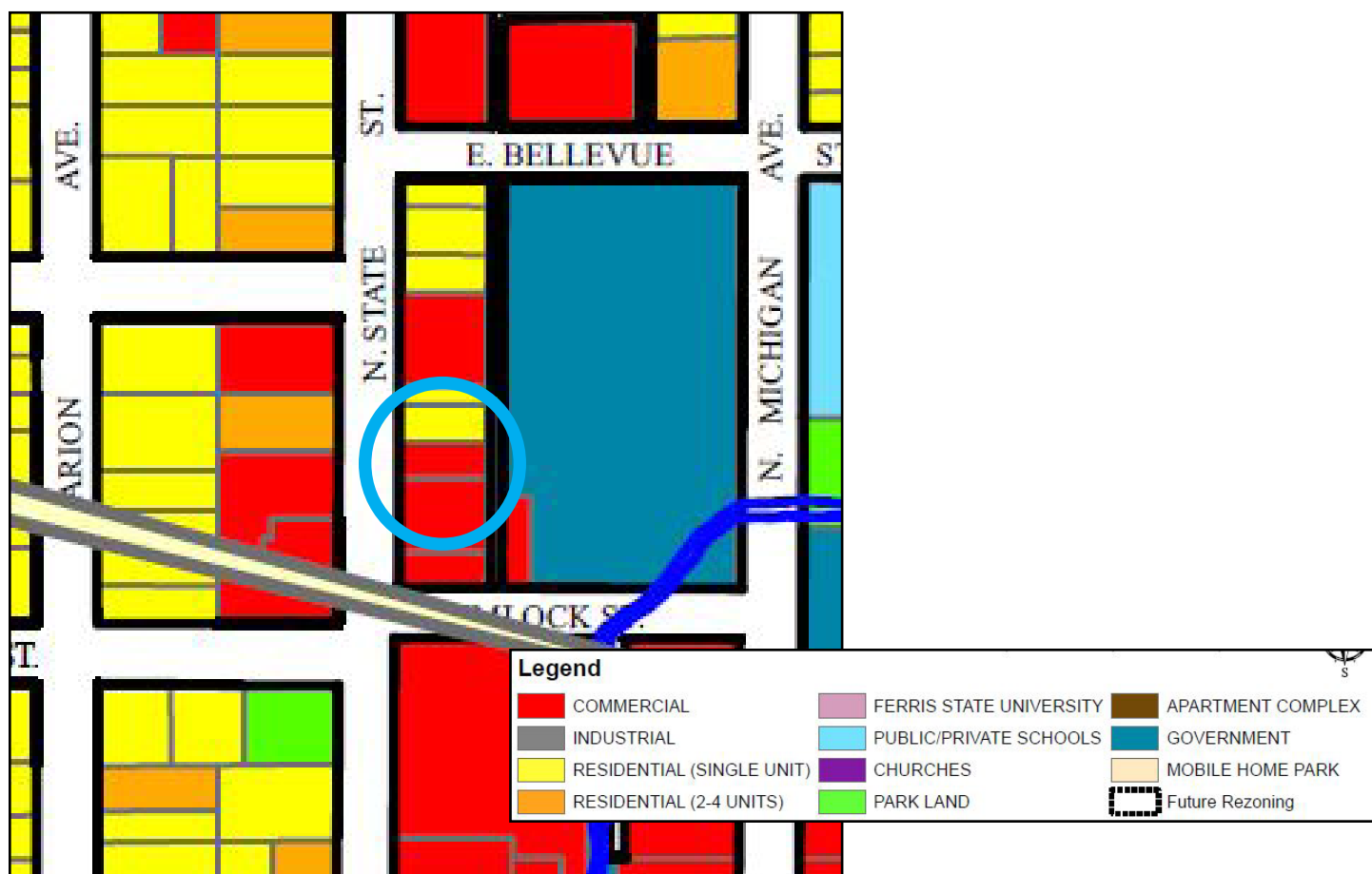
Location Maps



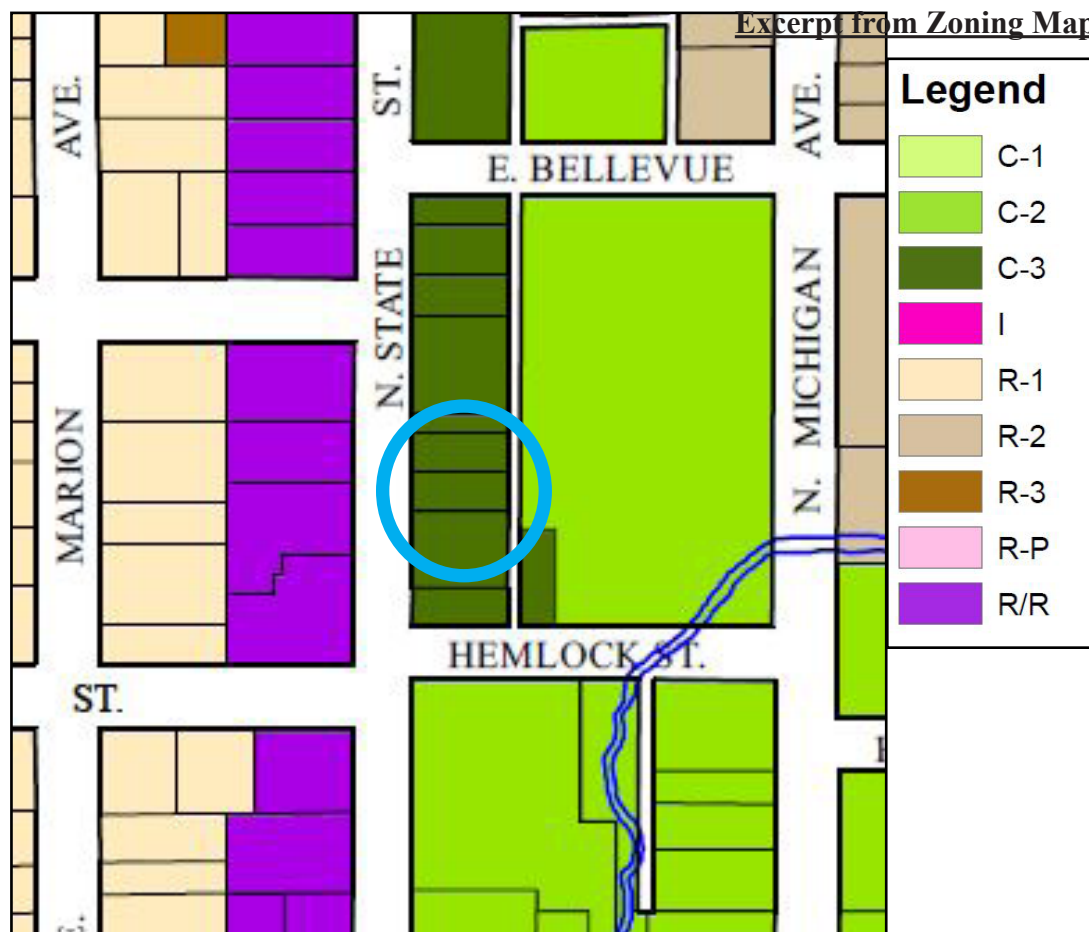
Aerial Imagery



Excerpt from Future Land Use Map



Excerpt from Zoning Map







City of Big Rapids

Department of Community Development
Application to the Planning Commission for Zoning Request

Application Date: August 31, 2022

Applicant Information:

Name:	Michelle Wise Mongar
Address:	416 N. State St.
Phone Number:	616-307-4766
Property Zoning:	C-3
Request Property Address:	416 N. State St. Big Rapids, MI 49307
Explanation of Request:	Rezoning Request from C-3 to Zone RR Restricted Residential

Please check one of the following:

- ☐ Special Land Use Permit, Please include the following information
1. A legal description of the property.
 2. Twelve (12) copies of a site plan meeting the requirements of Section 9.4 of the Big Rapids Zoning Ordinance as amended.
 3. A written description of the use.
 4. A written statement addressing use standards set forth in Section 10.3:8.
 5. \$200.00 Application Fee
- ☒ Zoning Amendment Review, Please include the following information:
- ☒ Zoning Map Amendment (Rezoning)
1. A legal description of the property.
 2. A written description of reasons for rezoning and proposed new zoning classification.
 3. A written statement addressing the requirements set forth in Section 14.2:4.
 4. A location map.
 5. \$200.00 Application Fee
- ☐ Text Amendment
1. A written description of proposed changes and reasons why.
 2. Proposed new text.
 3. A written statement addressing the requirements set forth in Section 14.2:2.
 4. \$200.00 Application Fee
- Email: wisephoto316@gmail.com

eSigned via SeamlessDocs.com
Michelle Wise-Mongar
Key: 10e77fd834513a64a4a1826a17f0788b

Signature of applicant or property owner

08/31/2022

(Date)



Tax Parcel No.: 54-17-11-309-007

Legal Description:

City of Big Rapids, Mecosta County, Michigan:

Lots 29 and 30 of Block 10 of Warren and Bronson's First Subdivision to the City of Big Rapids, Mecosta County, Michigan, according to the recorded plat thereof, being a part of Fractional Lot 5 of Section 11, T15N. R10W

Reasons for rezoning:

416 N. State St. is currently being used as a professional photography studio.

The studio is open by appointment. I'm requesting the property to be considered for RR (Restricted Residential) zoning. I have purchased land and have been building a new studio to relocate.

The current zoning is commercial C-3 which does not seem to be an essential need for the community for this area.

The property has been on the market for an extended period of time. The building lacks what is needed for most commercial buyers. The parking, stairs and overall construction fits a residential or residential/professional zoning far more than strictly commercial.

The idea of keeping this exclusively commercial is limiting the highest and best use for the property. A change to a broader use that would incorporate both residential/ light commercial would fit an updated concept that business can be conducted from a residential property without adversely affecting others.

A quick search on social media indicates that there's a growing need for affordable housing in Big Rapids that is close to town and the university. 416 N. State St. would be a good asset to the community for use as residential.

This building both outside and inside looks like it's set up to be a home. The two neighbors on the same side of State Street (north side of property) are being used as residential and the other is an apartment rental. The homes located directly west of the property (the opposite side of the street) are also being used as residential.

Reference for Needs of the community: "Ask Big Rapids" and "Rent in Big Rapids" on Facebook.

This proposal is in line with the standards for rezoning listed in the Zoning Map amendment 14.2:4.

(1) The use requested is consistent with and promotes the intent and purpose of this Ordinance.

(2) The proposed use will ensure that the land use or activity authorized is compatible with adjacent land uses, the natural environment, and the capabilities of public services affected by the proposed land use.

(3) The land use sought is consistent with the public health, safety, and welfare of the City of Big Rapids.

(4) The proposed use is consistent with the City Master Plan/ relevant plan policies.

Thank you for considering this proposal.

Michelle Wise-Mongar
Wise Photography 616-307-4766 cell/text

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Community Development Director
SUBJECT: Site Plan Review for a New Addition at 106 N Bronson Ave
DATE: October 19, 2022

Introduction

Applicant Civil & Environmental Consultants, Inc. is applying for Site Plan Review for new MDC Building Addition and Pavement addition at 106 N Bronson Avenue (PIN 17-12-300-012). This 2.57 acre site is the current location of a UPS Customer Center which is applying to expand their MDC area in the rear of the existing building. This parcel is zoned I Industrial and is located on the east side of Big Rapids.

A Location Map and several images of the site are attached. See also the set of Site Plans included with the packet.

Site Plan Review Process and Procedure

The Site Plan Review Application was received by the Community Development Department on September 14, 2022 and was deemed in compliance with Section 9.4. of the Zoning Ordinance which stipulates required Site Plan Review application materials. As required by Ordinance, Site Plan Reviews must go through a public hearing process. Notice was posted in the Big Rapids Pioneer and sent to all property owners within 300 ft of the site.

The Site Plans were shared with the Fire Marshal, the Public Works Department's Engineering staff, the Building Official, and the Zoning Administrator for their review.

Public Safety – Fire Marshal Jeff Hull reviewed the site plans and had no comments.

Public Works - Plans were by Engineering Technician Matt Ruelle as regards infrastructure connections and stormwater. He found that all calculations and design looks good.

Zoning – Plans were reviewed by the Community Development Director as to their standings as regards the Zoning Ordinance, reviewing the plans for compliance with the Ordinance as regards setbacks, parking spaces and drive lanes, buffer zones, landscaping, lighting, etc. Everything is in order with Ordinance requirements with one exception: Bicycle Parking is required as per Section 5.7:2 of the Zoning Ordinance. No bicycle parking is shown on the Site Plan. Two bicycle parking spaces are required on the site.

Criteria for Review of Site Plan Review Applications

Section 9.6 of the Zoning Ordinance sets criteria for reviewing Site Plan Review applications:

- 9.6:1 That there is a proper relationship between the existing streets and highways within the vicinity and proposed deceleration lanes, service drives, entrance and exit driveways and parking areas to

ensure the safety and convenience of pedestrian and vehicular movement. With respect to vehicular and pedestrian circulation, including walkways, interior drives, and parking, the site shall be developed so that access points, general interior traffic circulation, pedestrian circulation, and parking areas are safe and convenient and, insofar as practicable, do not detract from the design of the proposed buildings and existing structures on neighboring properties.

- 9.6:2 All elements of the site plan shall be harmoniously and efficiently organized in relation to the topography, the size and type of the lot, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
- 9.6:3 That as many natural features of the landscape shall be retained as possible where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes and where they assist in preserving the general appearance of the neighborhood. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which will result in maximum harmony with adjacent areas.
- 9.6:4 That any adverse effects of the proposed development and activities emanating there from which affect adjoining residents or owners shall be minimized by appropriate screening, fencing, landscaping, setback and location of buildings, structures and entryways. All loading and unloading areas and outside storage areas, including areas for the storage of refuse, which face or are visible from residential districts or public thoroughfares, shall be screened by a vertical screen consisting of structural or plant materials no less than six (6) feet in height.
- 9.6:5 That the layout of buildings and improvements will minimize any harmful or adverse effect which the development might otherwise have upon the surrounding neighborhood. Physical improvements including sidewalks, drives and parking areas shall be built to adequate standards to minimize premature deterioration. Sites at which hazardous substances are stored, used or generated shall be designed to prevent spill or discharges to the air, surface of the ground, groundwater, streams, drains or wetlands. Secondary containment for above ground storage of hazardous material shall be provided.
- 9.6:6 That all provisions of all local ordinances, including the City Zoning Ordinance, are complied with unless an appropriate variance therefrom has been granted by the Zoning Board of Appeals.

Planning Commissioners are encouraged to review the Application against the Criteria in Section 9.6 to decide if they find it meets or fails to meet them. These Criteria shall be used to decide the Action taken by the Planning Commission.

Recommendation

Staff recommends **approval** of the Site Plan Review Application for a new gas station and food mart at 827 N State Street (PIN 17-10-278-008), as it meets the Criteria for Review found in Section 9.6.6 of the Zoning Ordinance, with the one condition of requiring bicycle parking spaces for two bicycles.

Action

Three options lay before the Planning Commission regarding Site Plan Review Applications: Approval, Denial, or Approval with Conditions. Explanations and sample motions are below.

Approval

An approval motion is appropriate when the Application meets the Standards of the Zoning Ordinance and approves the Application. Sample motion:

“I move that the Site Plan Review Application for new MDC Building Addition and Pavement addition at 106 N Bronson Avenue (PIN 17-12-300-012) be approved, because it meets all of the Criteria for Review set in Section 9.6 of the Zoning Ordinance.”

Approval with Conditions

An approval with conditions motion is appropriate when the Application meets the Standards of the Zoning Ordinance, but the Planning Commissioners believe a few minor conditions or alterations are required. This motion approves the Application contingent upon the listed conditions. Sample motion:

“I move that the Site Plan Review Application for new MDC Building Addition and Pavement addition at 106 N Bronson Avenue (PIN 17-12-300-012) be approved with conditions. The Application meets the Criteria for Review set in Section 9.6 of the Zoning Ordinance, but conditions are required to *(select from the relevant reasons below)*

- (1) Ensure that public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity.
- (2) Protect the natural environment and conserve natural resources and energy.
- (3) Ensure compatibility with adjacent uses of land.
- (4) Promote the use of land in a socially and economically desirable manner.

The following conditions are required to address this need: *(list conditions [such as requiring additional permits, revising plans to show needed changes, demonstrating adequacy of the stormwater detention facilities, among others] here).*

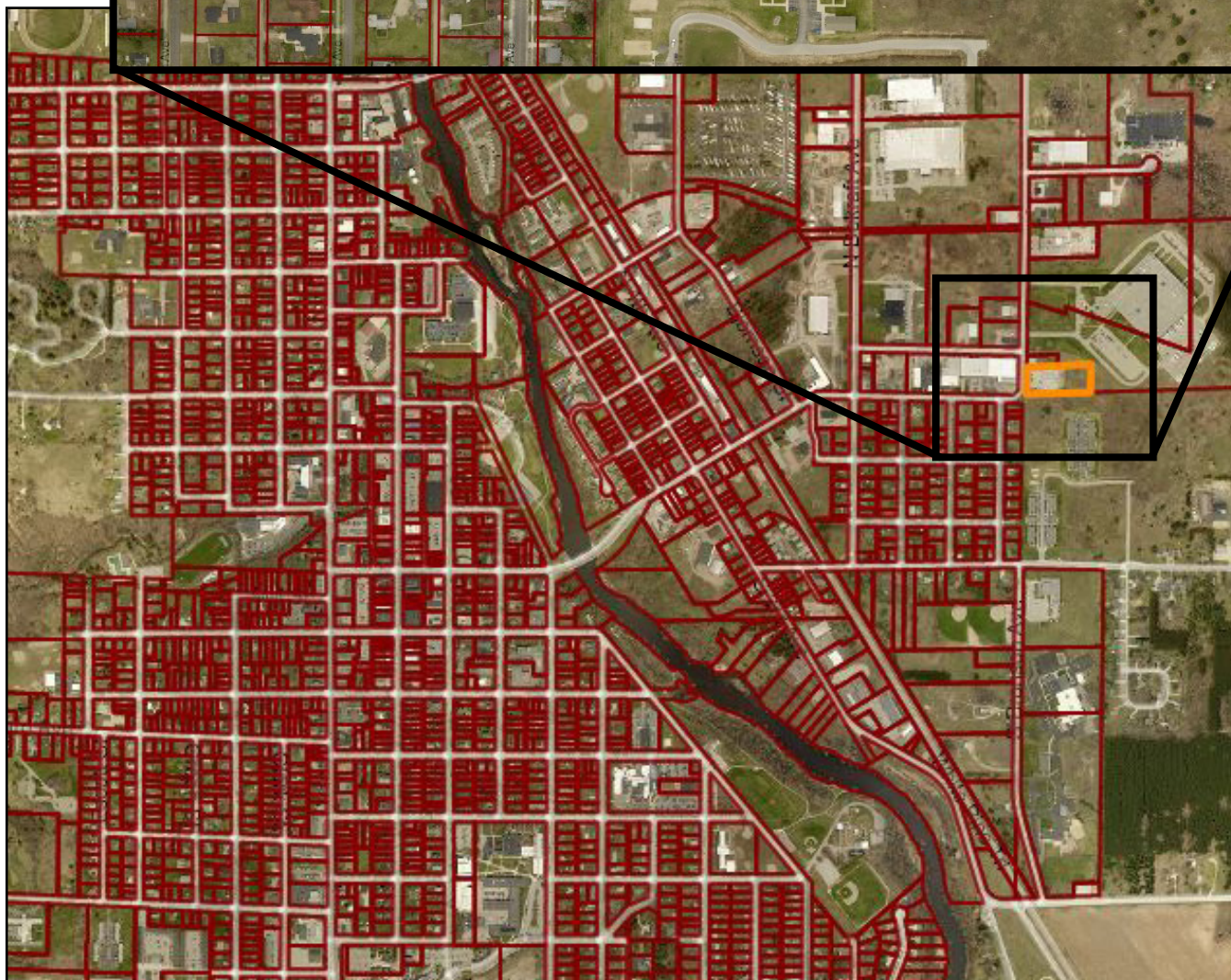
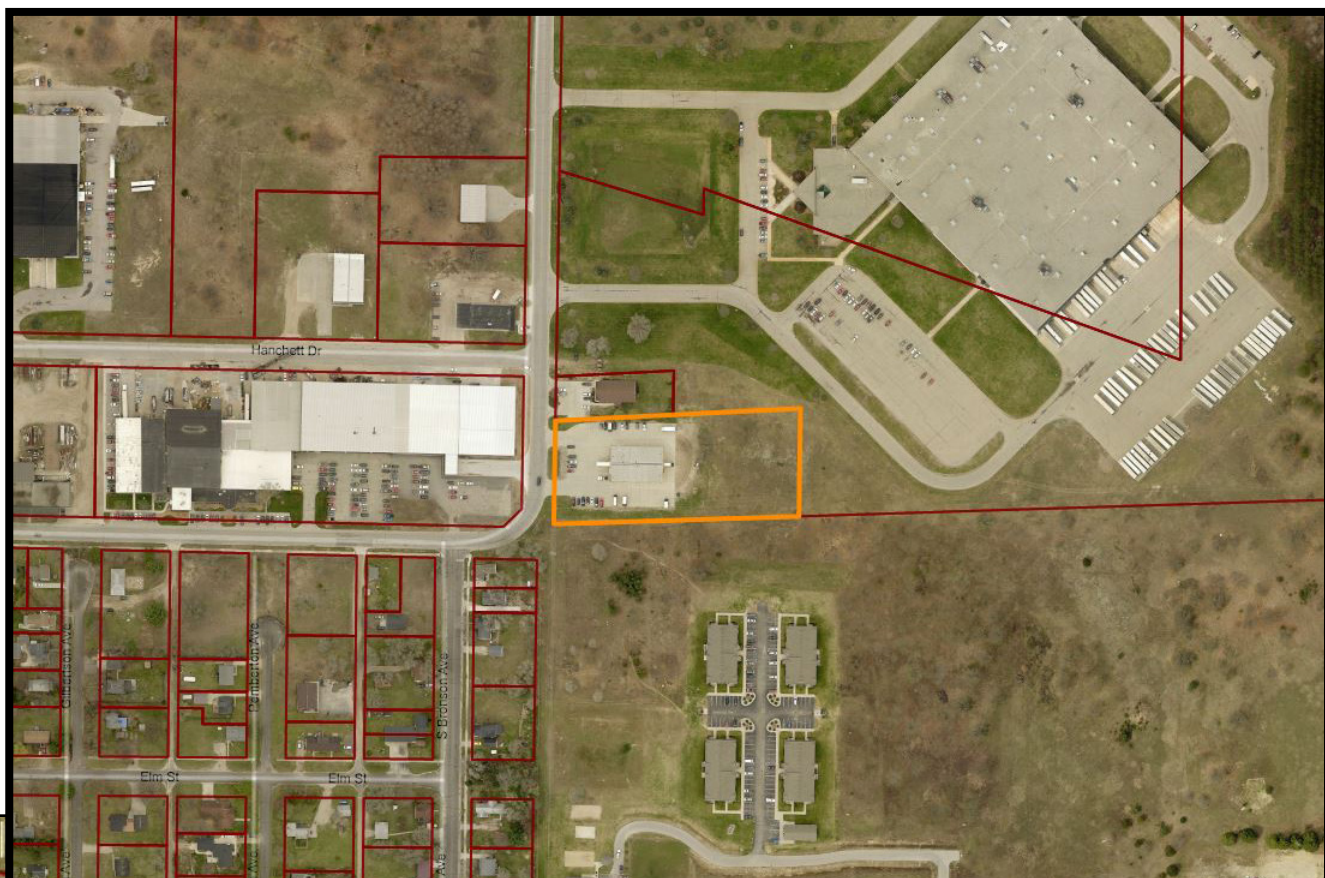
A revised, dated site plan and documents addressing the above shall be submitted for staff approval within 60 days.”

Denial

A denial motion is appropriate when the Application fails to meet the Standards of the Zoning Ordinance and ends the application process. Sample motion:

“I move to deny Site Plan Review Application for new MDC Building Addition and Pavement addition at 106 N Bronson Avenue (PIN 17-12-300-012) because it does not meet Criteria 9.6:X of the Zoning Ordinance. *(Fill in the X with which number Criteria the application does not meet.)*”

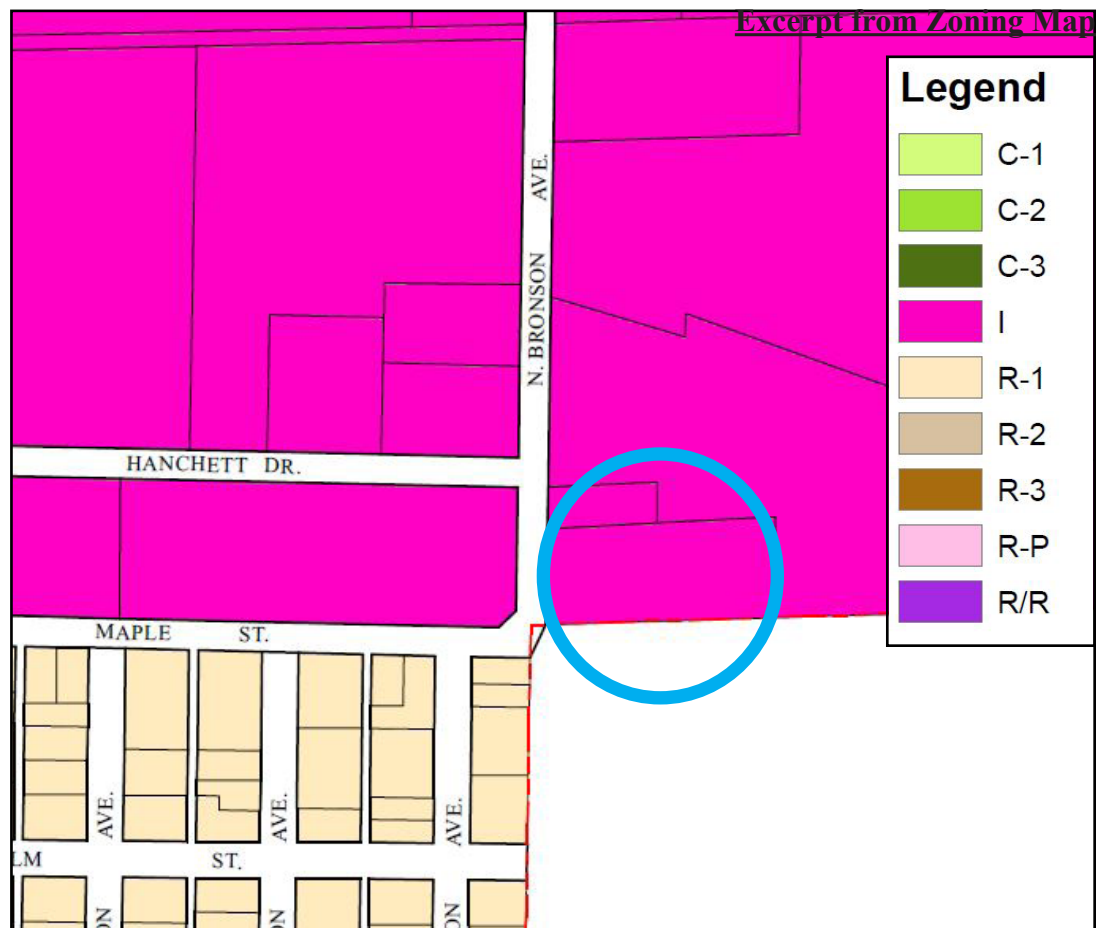
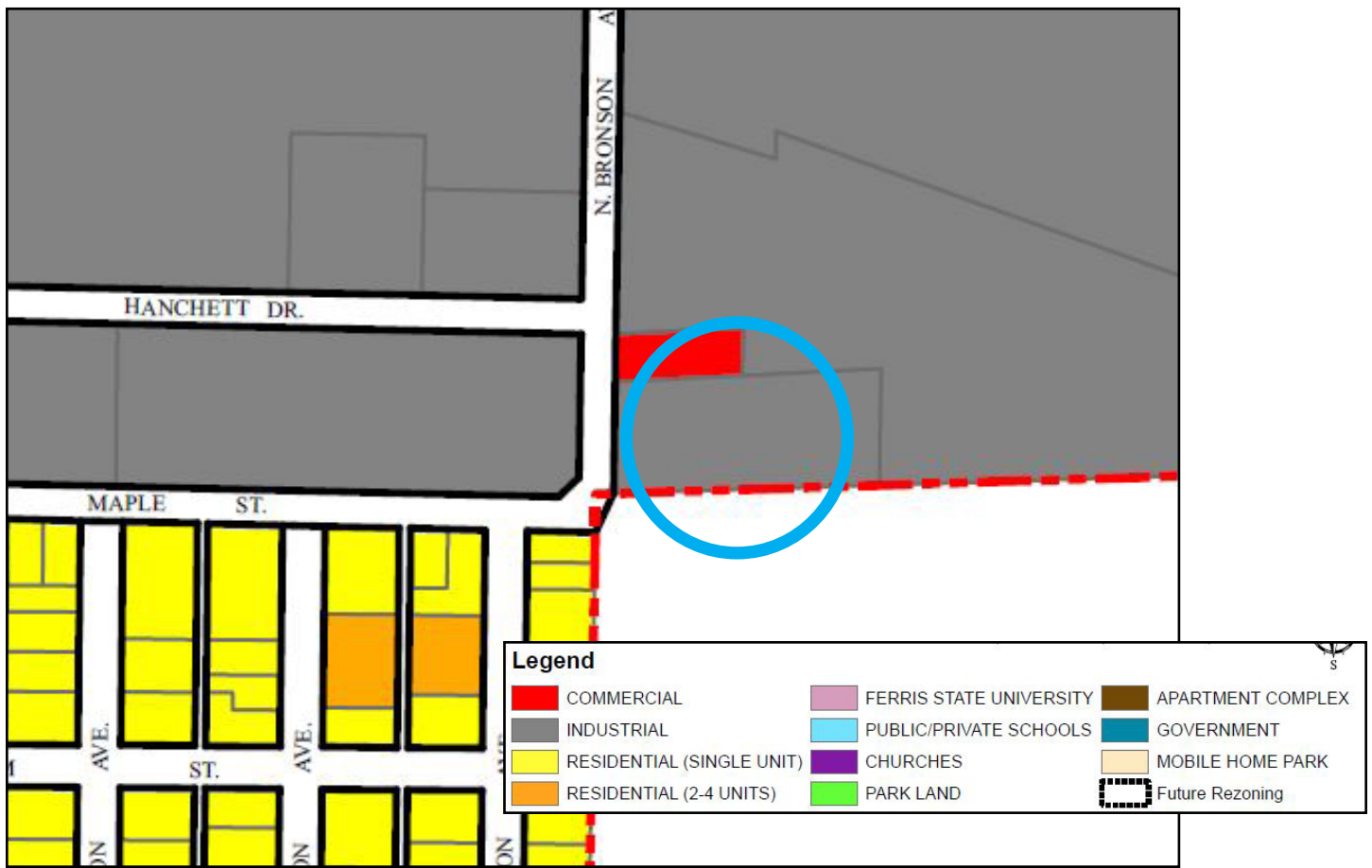
Location Maps



Aerial Imagery



Excerpt from Future Land Use Map









**CITY OF BIG RAPIDS
DEPARTMENT OF COMMUNITY DEVELOPMENT**

SITE PLAN REVIEW APPLICATION

APPLICANT NAME: Civil & Environmental Consultants, Inc.

APPLICANT ADDRESS: 11 Municipal Drive, Suite 300; Fishers, IN 46038

APPLICANT PHONE NUMBER: 317-570-8800 | Email kblanck@cecinc.com

PROJECT TITLE: UPS Customer Center MDC Building Addition and Pavement Addition

PROJECT ADDRESS/LOCATION: 106 N. Bronson Avenue; Big Rapids, MI 49307

SUBJECT PROPERTY OWNER: United Parcel Service - Attn. Bliss Young, Ph: 317-508-8493

LEGAL DESCRIPTION OF PROPERTY (attach separate sheet)

SUBJECT PROPERTY ZONING: I. Industrial District **SITE SIZE (ACRES):** 2.6

LIST ALL REQUIRED STATE AND FEDERAL PERMITS ON SEPARATE SHEET

In compliance with Section 9.4 of the City of Big Rapids Zoning Ordinance, twelve copies of a complete proposed site plan must be submitted to the Department of Community Development, a minimum of twenty one days prior to the Planning Commission hearing date. Failure to submit complete plans, a completed application form and filing fee may result in the site plan review hearing being delayed.

SITE PLAN INFORMATION REQUIREMENTS

TWELVE COPIES (12) of the proposed site plan, drawn on 24" x 36" paper

SCALE OF 1" = 20' for sites up to three acres and **1" = 100'** for sites over three acres

LEGEND including north arrow, scale, date of preparation and name, address and telephone number of individual or firm preparing the plan

SEAL of professional architect, engineer or surveyor preparing the plan

LOCATION MAP indicating relationship of the site to surrounding land use

LOT LINES together with dimensions, angles and size correlated with the legal description, which is tied to existing monumentation

TOPOGRAPHY of the site in two foot contour intervals

NATURAL FEATURES such as wood lots, streams, rivers, lakes, wetlands, unstable soils and similar items

MAN MADE FEATURES within 100 feet of the site

BUILDING SIZE, height, finish floor and grade line elevations, yard setbacks and square footage. Front, side and rear elevations drawings of proposed structures.

FLOOR PLAN of structures showing existing and proposed uses (used to verify gross vs. usable floor areas and principal vs. accessory uses).

STREETS, driveways, sidewalks and other vehicle or pedestrian circulation features upon and adjacent to the site shall be shown

PARKING SPACES, location, size and number, service lanes, delivery and loading areas

CROSS SECTIONS illustrating construction of drives and parking areas

LANDSCAPING, together with open spaces, screening, fences, walls and proposed alterations of topography or other natural features.

SERVICE DEMANDS from the community to support proposed operations on the site

EARTH CHANGE plans required by State law

SITE LIGHTING including location, intensity and orientation

SURFACE WATER DRAINAGE

UTILITY LOCATION and size for sanitary sewer, water, storm sewer, natural gas, electricity, telephone, coaxial cable, fiber optic, etc.

FIRE LANES

OUTDOOR STORAGE

TRASH RECEPTACLES

HAZARDOUS MATERIAL storage facilities, including type, quantity, location and secondary containment provisions

OTHER INFORMATION as required by the Plan Board

DIGITAL COPY submitted in anAutoCAD compatible format

SITE PLAN REVIEW FEE \$200

I have read the requirements of submittal and review of a site plan by the City of Big Rapids Planning Commission and attest that the provided site plan is complete:

eSigned via SeamlessDocs.com
Kyle Blanck

Key: 97bcd0ec233e03494cc53d2c7bb54b55

Applicant Signature

09/14/2022

Date

UPS CUSTOMER CENTER MDC BUILDING ADDITION AND PAVEMENT ADDITION

106 NORTH BRONSON AVENUE
BIG RAPIDS, MICHIGAN 49307
CIVIL CONSTRUCTION PLANS
SEPTEMBER 7, 2022

OWNER/TEAM INFORMATION

OWNER

UNITED PARCEL SERVICE
5380 W 81ST ST.
INDIANAPOLIS, IN 46268
PH: (317) 508-8493
CONTACT: BLISS YOUNG
EMAIL: blissyoung@ups.com

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL
CONSULTANTS, INC.
11 MUNICIPAL DRIVE,
SUITE 300
FISHERS, IN 46038
PH: (317) 570-8800
CONTACT: MICHAEL THOMPSON
EMAIL: mthompson@cecinc.com

ARCHITECT

GENESIS DESIGN, INC.
5895 COURTYARD CRESCENT
INDIANAPOLIS, IN 46234
PH: (317) 432-8169
CONTACT: DAVID DIXON
EMAIL: djdixon@genesissdesigns.us

LAND SURVEYOR

CIVIL & ENVIRONMENTAL
CONSULTANTS, INC.
530 E. OHIO STREET, SUITE G
INDIANAPOLIS, IN 46204
PH: (317) 655-7777
CONTACT: ANTHONY SYERS
EMAIL: asyers@cecinc.com

UTILITY COMPANIES

SANITARY SEWER SERVICE

WASTEWATER TREATMENT PLANT
CITY OF BIG RAPIDS
CONTACT: DAVE CUSHWAY
PH: (231) 796-8483
dcushway@cityofbr.org

STORM WATER FACILITIES

PUBLIC WORKS DEPARTMENT
CITY OF BIG RAPIDS
CONTACT: MATT RUELLE
PH: (231) 592-4021
mruelle@cityofbr.org

WATER SERVICE

WATER TREATMENT PLANT
CITY OF BIG RAPIDS
CONTACT: STEVE COOK
PH: (231) 796-6231
scCook@cityofbr.org

DEVELOPMENT SERVICES

CITY OF BIG RAPIDS
COMMUNITY DEVELOPMENT SERVICES
CONTACT: PAULA PRIEBE, NCP
PH: (231) 592-4035
ppriebe@cityofbr.org

STREET DEPARTMENT

CITY OF BIG RAPIDS
CONTACT: JAKE WALSTON
PH: (231) 796-8542
jwalston@cityofbr.org

ENGINEERING DEPARTMENT

CITY OF BIG RAPIDS
CONTACT: MATT RUELLE
PH: (231) 592-4021
mruelle@cityofbr.org

CABLE TV SERVICE

SPECTRUM
PH: (866) 874-2389

TELEPHONE SERVICE

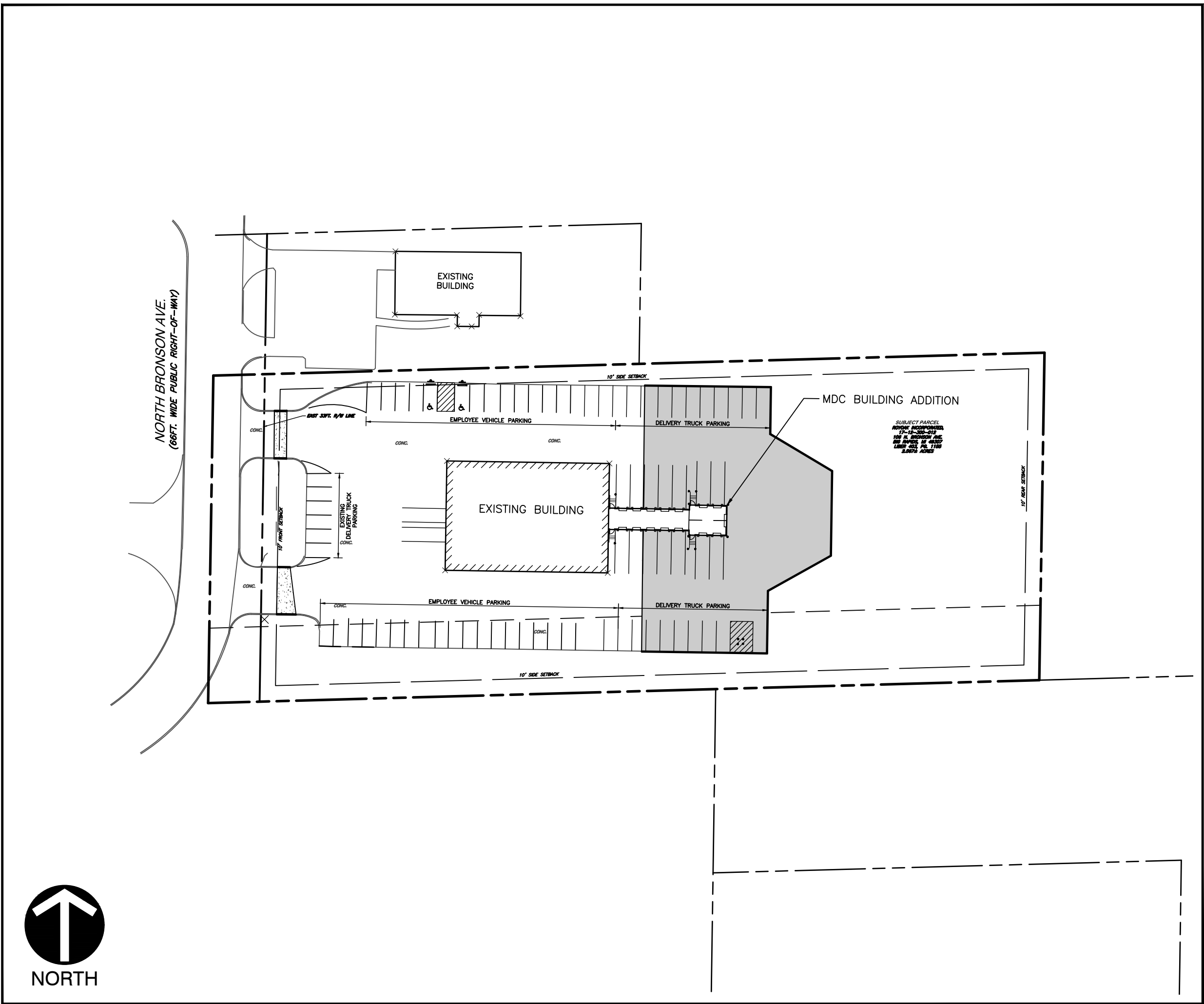
AT&T
955 36th STREET
GRAND RAPIDS, MICHIGAN 49508
CONTACT: JEFFREY SHUSTER
PH: (231) 779-8451
js9865@att.com

ELECTRIC SERVICE

CONSUMERS ENERGY
CONTACT: GARRICK ROCHOW
ONE ENERGY PLAZA
JACKSON, MI 49201
PH: (517) 788-0550
PH: (800) 477-5050

GAS SERVICE

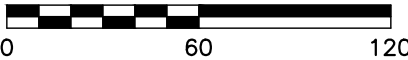
JUST ENERGY
PH: (866) 587-8674



SITE MAP

SCALE: 1"=60'

SCALE IN FEET



DRAWING INDEX		
Sheet Number	Sheet Title	Drawing Number
01	TITLE SHEET	C000
02	TOPOGRAPHIC & BOUNDARY SURVEY	BNDY
03	DEMOLITION PLAN	C100
04	SITE PLAN	C200
05	GRADING PLAN	C300
06	LANDSCAPE PLAN	C700
07	LANDSCAPE DETAILS	C701
08	SITE DETAILS	C800
09	SITE DETAILS	C801
10	SITE DETAILS	C802
11	STORMWATER POLLUTION PREVENTION PLAN	C900
12	STORMWATER POLLUTION PREVENTION DETAILS	C901

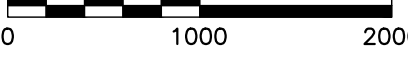


VICINITY MAP

BASE IMAGE FROM MICROSOFT
ACCESSED JUNE 2022

SCALE: 1"=1,000'

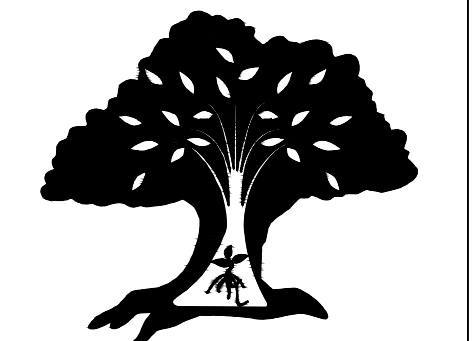
SCALE IN FEET



FLOOD NOTE:

THE PARCEL DESCRIBED AND SHOWN HEREIN LIES WITHIN ZONE "X" AS SAID PARCEL PLOTS ON MAP NUMBER 26107C0154C (DATED FEBRUARY 4, 2015) OF THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF BIG RAPIDS, MECOSTA COUNTY, MICHIGAN. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP.

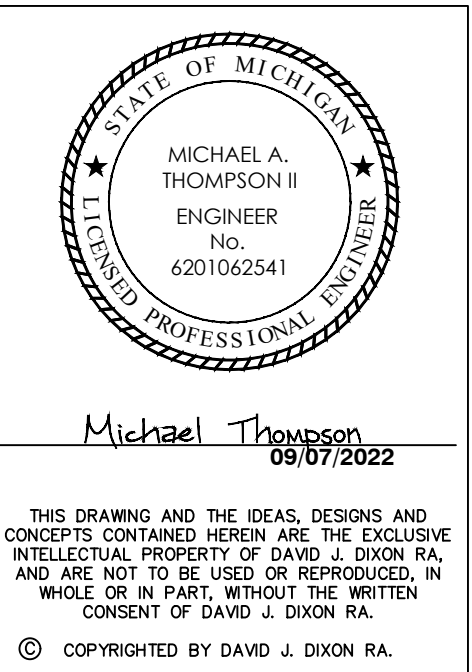
REVISIONS		
NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		



DAVID J. DIXON RA
5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@genesissdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY
106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307
UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



DATE: 09/07/2022
DRAWN BY: CJR
SHEET TITLE: TITLE SHEET
DRAWING FILES:

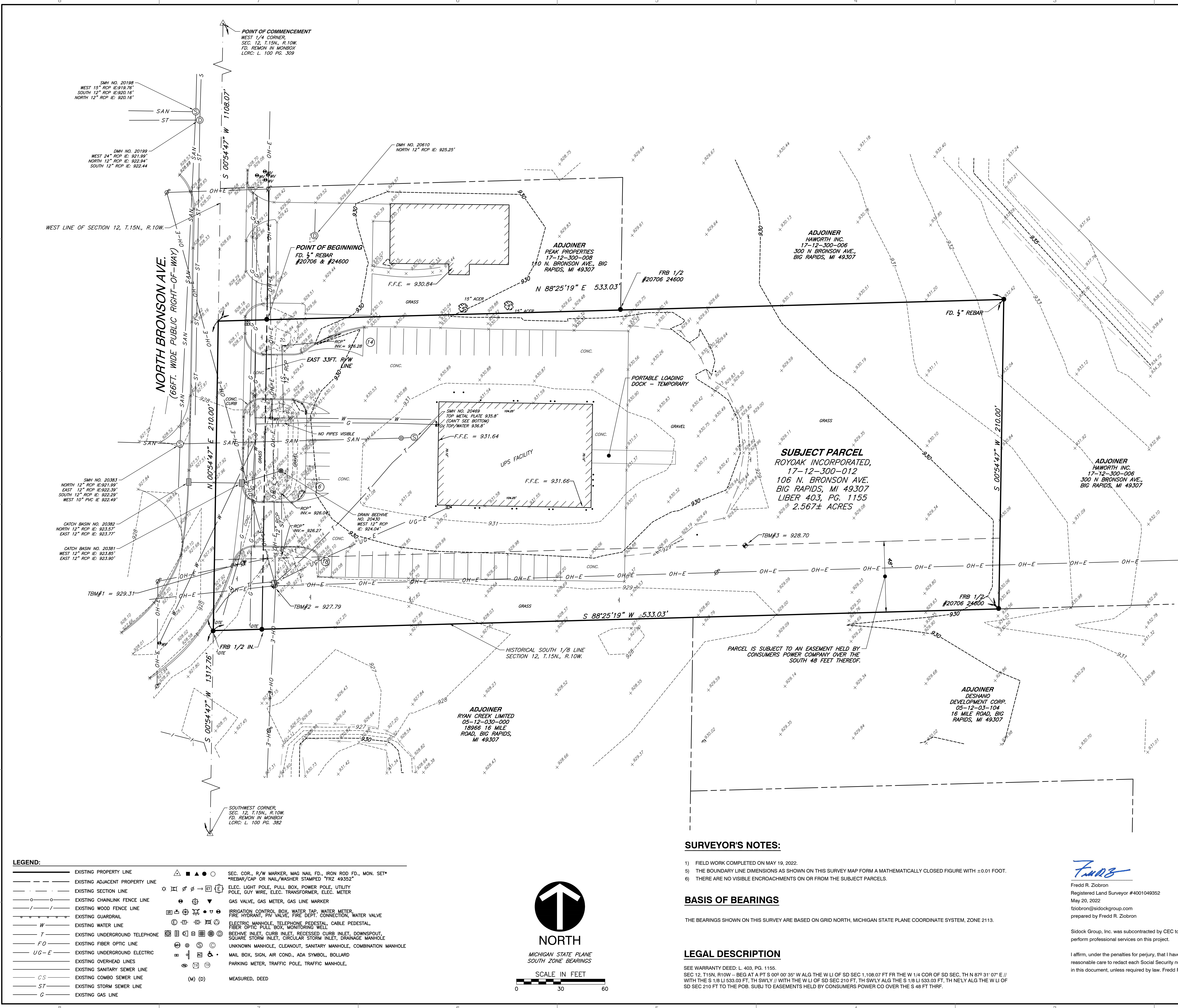
CEC PROJECT NO.: 323-355
CHECKED BY: KPB

SHEET NO.: C000



Know what's below.
Call before you dig.

NOTE: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED, IMMEDIATELY, TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.



BENCHMARKS:

UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON ARE BASED UPON AN OPUS SOLUTION AND ARE ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88). IT IS MY OPINION THAT THE UNCERTAINTY IN THE ELEVATION OF THE PROJECT BENCHMARK DOES NOT EXCEED 0.10 FOOT.

TBM#1: NAIL ON THE NORTH FACE OF A UTILITY POLE LOCATED ±5 FEET EAST OF THE EAST BACK OF CURB OF NORTH BRONSON AVE. AND ±10 FEET SOUTH OF THE SOUTH BACK OF CURB OF THE SOUTH ENTRANCE TO THE SURVEYED PROPERTY.

ELEV. = 929.31

TBM#2: RAIL ROAD SPIKE IN THE SOUTHWEST FACE OF A UTILITY POLE LOCATED ±30 FEET SOUTHEAST OF THE EAST BACK OF CURB OF NORTH BRONSON AVE. AND ±25 FEET SOUTH OF THE SOUTH BACK OF CURB OF THE SOUTH ENTRANCE TO THE SURVEYED PROPERTY.

ELEV. = 927.79

TBM#3: REBAR WITH CAP LOCATED ±25 FEET NORTH AND ±80 FEET EAST OF THE SOUTHEAST CORNER OF THE CONCRETE PARKING LOT LYING ON THE SURVEYED PROPERTY.

ELEV. = 928.70

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. MISS DIG 811 ONE-CALL, PUBLIC UTILITY LOCATE SERVICE TICKET NUMBER 11517245340 WAS ISSUED FOR THIS SITE. AMERICAN LOCATING SERVICES, A PRIVATE SUBSURFACE UTILITY LOCATING SERVICE, WAS CONTRACTED TO PERFORM THE PRIVATE UTILITY LOCATIONS FOR THE SUBJECT SITE. THE PRIVATE UTILITIES LOCATED AND DEPICTED HEREIN WERE EITHER OBSERVED FROM MARKINGS ON THE GROUND OR USING EXISTING PLANS PROVIDED BY THE CLIENT.

PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

NOTE:

THE PLAT AND SURVEY WERE PREPARED WITHOUT BENEFIT OF CURRENT EVIDENCE OF SOURCE OF TITLE FOR THE SUBJECT TRACT OR ADJOINERS AND ARE THEREFORE SUBJECT TO ANY STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.

SURVEYOR'S NOTES:

- 1) FIELD WORK COMPLETED ON MAY 19, 2022.
- 2) THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITH ±0.01 FOOT.
- 3) THERE ARE NO VISIBLE ENCROACHMENTS ON OR FROM THE SUBJECT PARCELS.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS SURVEY ARE BASED ON GRID NORTH, MICHIGAN STATE PLANE COORDINATE SYSTEM, ZONE 2113.

LEGAL DESCRIPTION

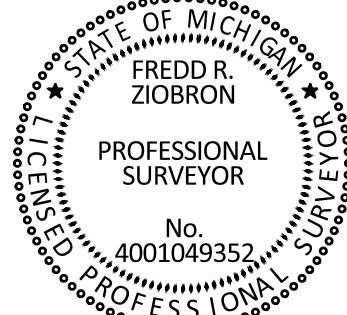
SEE WARRANTY DEED: L. 403, PG. 1155.
SEC 12, T15N, R10W - BEG AT A PT S 00° 00' 35" W ALG THE W 1/4 OF SD SEC 1, 108.07 FT FR THE W 1/4 COR OF SD SEC, TH N 87° 31' 07" E // WITH THE S 1/8 LI 533.03 FT, TH SWLY // WITH THE W 1/4 OF SD SEC 210 FT, TH SWLY ALG THE S 1/8 LI 533.03 FT, TH NELY ALG THE W 1/4 OF SD SEC 210 FT TO THE POB. SUBJ TO EASEMENTS HELD BY CONSUMERS POWER CO OVER THE S 48 FT THRP.

Fredd R. Ziobron

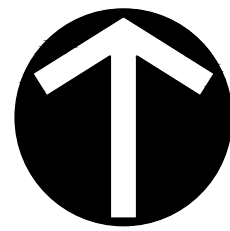
Fredd R. Ziobron
Registered Land Surveyor #4001049352
May 20, 2022
fziobron@siddockgroup.com
prepared by Fredd R. Ziobron

Siddock Group, Inc. was subcontracted by CEC to perform professional services on this project.

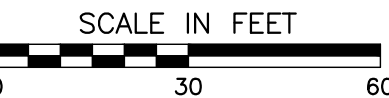
I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. Fredd R. Ziobron



LEGEND:	
EXISTING PROPERTY LINE	SEC. COR., R/W MARKER, MAG NAIL FD., IRON ROD FD., MON. SET*
EXISTING ADJACENT PROPERTY LINE	*REBAR/CAP OR NAIL/WASHER STAMPED "FRZ 49352"
EXISTING SECTION LINE	ELEC. LIGHT POLE, PULL BOX, POWER POLE, UTILITY
EXISTING CHAINLINK FENCE LINE	POLE, GUY WIRE, ELEC. TRANSFORMER, ELEC. METER
EXISTING WOOD FENCE LINE	GAS VALVE, GAS METER, GAS LINE MARKER
EXISTING GUARDRAIL	IRRIGATION CONTROL BOX, WATER TAP, WATER METER,
EXISTING WATER LINE	FIRE HYDRANT, PIV VALVE, FIRE DEPT. CONNECTION, WATER VALVE
EXISTING UNDERGROUND TELEPHONE	ELECTRIC MANHOLE, TELEPHONE PEDESTAL, CABLE PEDESTAL,
EXISTING FIBER OPTIC LINE	FIBER OPTIC PULL BOX, MONITORING WELL
EXISTING OVERHEAD LINES	SQUARE STORM INLET, CIRCULAR STORM INLET, DRAINAGE MANHOLE
EXISTING COMBO SEWER LINE	UNKNOWN MANHOLE, CLEANOUT, SANITARY MANHOLE, COMBINATION MANHOLE
EXISTING STORM SEWER LINE	MAIL BOX, SIGN, AIR COND., ADA SYMBOL, BOLLARD
EXISTING GAS LINE	PARKING METER, TRAFFIC POLE, TRAFFIC MANHOLE,
	(M) (D) MEASURED, DEED



MICHIGAN STATE PLANE
SOUTH ZONE BEARINGS



REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
530 E. Ohio Street - Suite G - Indianapolis, IN 46204
317-655-7777 - 877-746-0749
www.cecinc.com

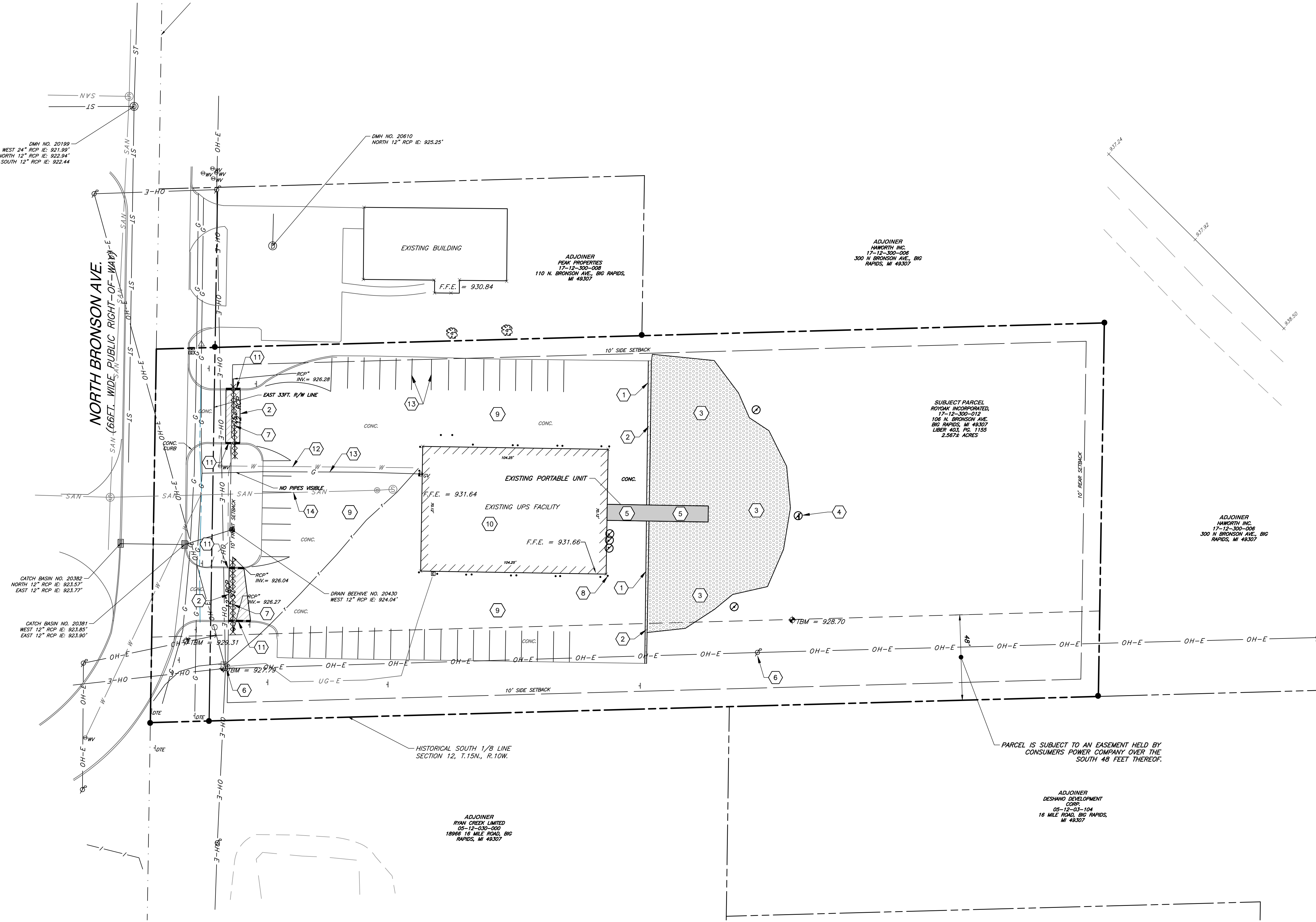
UPS
105 N. BRONSON AVE.
BIG RAPIDS, MICHIGAN 49307

**BOUNDARY RETRACEMENT SURVEY
TOPOGRAPHIC SURVEY**

DRAWING NO.:

BNDY

SHEET 1 OF 1



DEMOLITION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFF-SITE OF ALL ITEMS SHOWN ON THE DEMOLITION PLAN INCLUDING ITEMS ENCOUNTERED DURING EXCAVATION OF BUILDING FOUNDATIONS AND UTILITY PLACEMENT.
2. PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY LOCAL GOVERNMENTAL AGENCIES.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING STRUCTURES.
4. ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE TRANSPORTED TO LOCATION SPECIFIED BY THE OWNER OR HIS/HER REPRESENTATIVE.
5. THE CONTRACTOR MAY NOT USE EXPLOSIVES OR BURN DEBRIS ON SITE.
6. CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, SIDEWALKS AND ANY OTHER ADJACENT OCCUPIED FACILITIES.
7. DO NOT CLOSE OR OBSTRUCT ROADS, SIDEWALKS OR ANY OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITY HAVING JURISDICTION AND/ OR PROPERTY OWNERS.
8. CONSTRUCTION SITE SHOULD BE SECURED TO PREVENT PEOPLE FROM WALKING THOUGH THE AREA
9. THE CONTRACTOR SHALL PROTECT FROM DAMAGE, SURROUNDING STRUCTURES, UTILITIES AND OTHER FACILITIES DURING DEMOLITION AND REMOVAL OPERATIONS.
10. UTILITIES SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCH LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A MINIMUM OF 95% OF STANDARD PROCTOR.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.
12. DEMOLITION ACTIVITY TO NOT IMPACT THE EXISTING FACILITY'S OPERATIONS.

DEMOLITION ITEMS:

- 1 SAW CUT CONCRETE PAVEMENT AT EXISTING JOINT
- 2 REMOVE EXISTING CONCRETE PAVEMENT
- 3 REMOVE EXISTING GRAVEL PAVEMENT.
- 4 REMOVE EXISTING SIGN, POST AND CONCRETE BASE COMPLETE
- 5 REMOVE EXISTING PORTABLE UNIT
- 6 PROTECT EXISTING UTILITY POLE AND TELECOM PEDESTAL DURING CONSTRUCTION
- 7 REMOVE EXISTING STORM SEWER
- 8 REMOVE AND REPLACE EXISTING BOLLARDS, AS NEEDED
- 9 EXISTING PAVEMENT TO REMAIN; COORDINATE WITH SITE PLAN
- 10 EXISTING BUILDING TO REMAIN; COORDINATE WITH SITE PLAN
- 11 REMOVE EXISTING CURB; COORDINATE WITH SITE PLAN
- 12 PROTECT EXISTING WATER LINE DURING CONSTRUCTION; COORDINATE WITH GRADING AND DRAINAGE PLAN
- 13 PROTECT EXISTING GAS LINE DURING CONSTRUCTION; COORDINATE WITH GRADING AND DRAINAGE PLAN
- 14 PROTECT EXISTING SANITARY SEWER LINE DURING CONSTRUCTION; COORDINATE WITH GRADING AND DRAINAGE PLAN
- 15 REMOVE AND REPLACE EXISTING PAVEMENT STRIPING, IF NECESSARY; COORDINATE WITH SITE PLAN

DEMOLITION LEGEND:

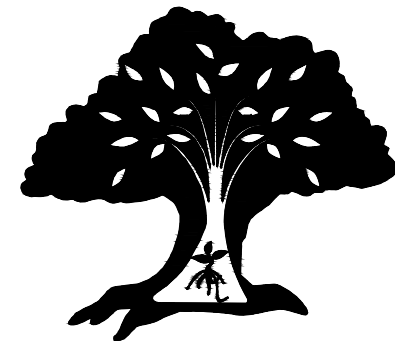
- EXISTING ASPHALT TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING BUILDING TO BE REMOVED
- EXISTING CONCRETE CURB TO BE REMOVED
- SAWCUT EXISTING PAVEMENT
- EXISTING UTILITY TO BE REMOVED
- EXISTING MISC. ITEM TO BE REMOVED
- EXISTING MISC. ITEM TO BE REMOVED

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. MISS DIG 811 ONE-CALL PUBLIC UTILITY LOCATE SERVICE TICKET NUMBER 2022051203430 WAS ISSUED FOR THIS SITE.

PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

REVISIONS		
NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		



5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@genesissdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY
106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307
UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



Michael Thompson
09/07/2022
THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.
© COPYRIGHTED BY DAVID J. DIXON RA.

DATE: 09/07/2022	CEC PROJECT NO.: 323-355
DRAWN BY: CJR	CHECKED BY: KPB
SHEET TITLE: DEMOLITION PLAN	

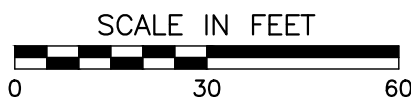
DRAWING FILES:

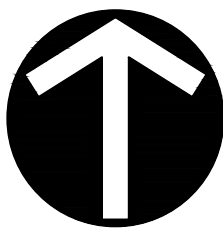
SHEET NO.:

C100



Know what's below.
Call before you dig.

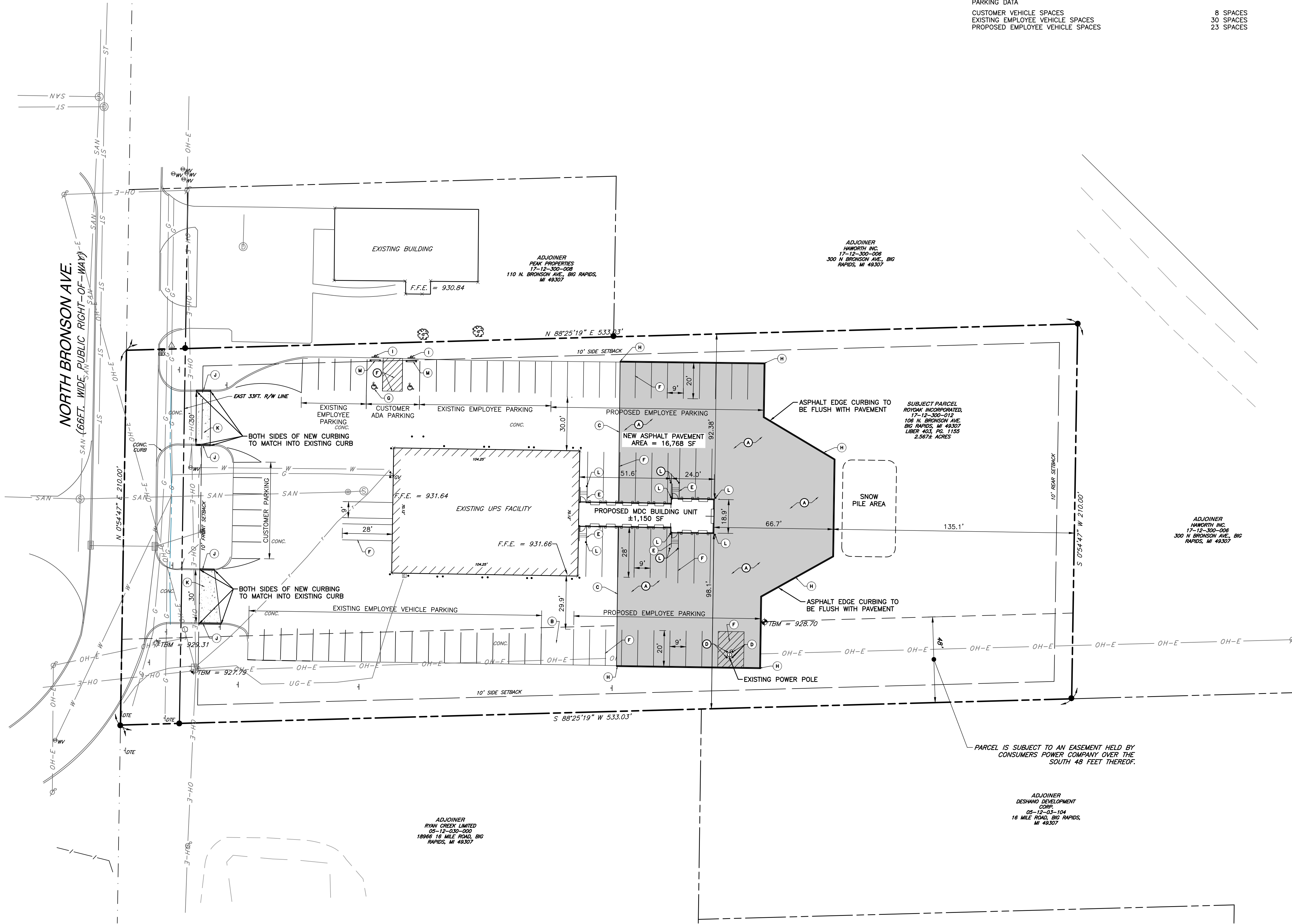




NORTH



Know what's below.
Call before you dig.



SITE INFORMATION

PARCEL NUMBER:	17-12-300-012
ZONING DISTRICT:	I, INDUSTRIAL DISTRICT
LOT AREA:	2.567 ACRES
EXISTING BUILDING AREA:	±7,310 FT ²
BUILDING AREA:	±1,150 FT ²
ADJOINER ZONING:	I, INDUSTRIAL DISTRICT
NORTH COUNTY ZONING	I, INDUSTRIAL DISTRICT
SOUTH COUNTY ZONING	I, INDUSTRIAL DISTRICT
EAST COUNTY ZONING	I, INDUSTRIAL DISTRICT
WEST COUNTY ZONING	I, INDUSTRIAL DISTRICT
PROPOSED USE:	WAREHOUSE DISTRIBUTION EXPANSION
PARKING DATA	
CUSTOMER VEHICLE SPACES	8 SPACES
EXISTING EMPLOYEE VEHICLE SPACES	30 SPACES
PROPOSED EMPLOYEE VEHICLE SPACES	23 SPACES

KEY NOTES:

- (A) HEAVY DUTY ASPHALT PAVEMENT; SEE DETAIL 201 ON SHEET C800
- (B) DUMPSTER LOCATION
- (C) SAWCUT EXISTING PAVEMENT; SEE DETAIL 206 ON SHEET C800
- (D) BOLLARD; SEE DETAIL 203 ON SHEET C801
- (E) EXTERIOR STAIRS; REFER TO ARCHITECTURAL PLANS
- (F) PAVEMENT STRIPING, 4" SOLID
- (G) ACCESSIBLE PARKING PAVEMENT MARKINGS
- (H) ASPHALT EDGE CURB; SEE DETAIL 212 ON SHEET C801
- (I) ACCESSIBLE PARKING SIGNAGE; SEE DETAIL 203 ON SHEET C800
- (J) CONCRETE LANDSCAPING CURB; SEE DETAIL 211 ON SHEET C801
- (K) CONCRETE PAVEMENT; SEE DETAIL 202 ON SHEET C800
- (L) BOLLARD, BY OTHERS; REFER TO ARCHITECTURAL PLANS
- (M) PRECAST CONCRETE WHEELSTOP; SEE DETAIL 204 ON SHEET 800

SITE LEGEND:

- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ADA PARKING SYMBOL, PARKING BUMPER, SIGN, DETECTABLE WARNING STRIP

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. MISS DIG 811 ONE-CALL PUBLIC UTILITY LOCATE SERVICE TICKET NUMBER 2022051203430 WAS ISSUED FOR THIS SITE.

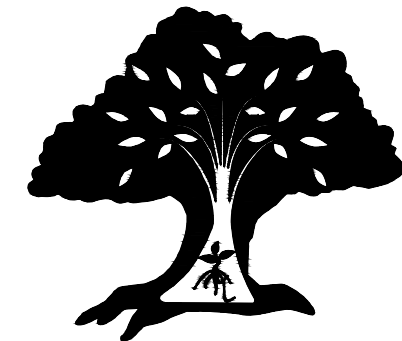
PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

GENERAL SITE NOTES:

- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING IRRIGATION SLEEVING, PRIOR TO INSTALLATION OF PAVED SURFACES.
- SITE WORK CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH TO ALL SURFACES. SITE WORK CONCRETE SHALL BE CLASS A (4,000 PSI @ 28 DAYS) UNLESS OTHERWISE NOTED.
- ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
- SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH DEARBORN COUNTY. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS PAVEMENT, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, LANDSCAPING, ETC.
- ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY TO FOLLOW MDOT SPECIFICATIONS.
- SEE SHEETS C800 AND C801 FOR ALL APPLICABLE SITE DETAILS.

REVISIONS

NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		



DAVID J. DIXON RA
5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@genesisdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY
106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



Michael Thompson
09/07/2022

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.
© COPYRIGHTED BY DAVID J. DIXON RA.

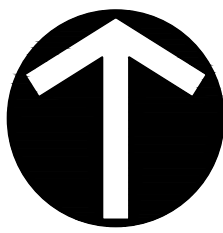
DATE: 09/07/2022	CEC PROJECT NO.: 323-355
DRAWN BY: KRG	CHECKED BY: KPB
SHEET TITLE: SITE PLAN	

DRAWING FILES:

SHEET NO.:

C200

SCALE IN FEET
0 30 60



NORTH

SMH NO. 20198
WEST 15" RCP IE: 919.76'
SOUTH 12" RCP IE: 920.16'
NORTH 12" RCP IE: 920.16'

DMH NO. 20199
WEST 24" RCP IE: 921.89'
NORTH 12" RCP IE: 922.84'
SOUTH 12" RCP IE: 922.44'

DMH NO. 20610
NORTH 12" RCP IE: 925.25'

STRUCTURE #101
EXISTING BEEHIVE INLET
TC: 926.80
(EXISTING) 12" RCP (W) IE: 924.04
12" RCP (N) IE: 924.04
12" RCP (S) IE: 924.04

SMH NO. 20383
NORTH 12" RCP IE: 921.99'
EAST 12" RCP IE: 922.39'
SOUTH 12" RCP IE: 922.29'
WEST 10" PVC IE: 922.49'

CATCH BASIN NO. 20382
NORTH 12" RCP IE: 923.57'
EAST 12" RCP IE: 923.77'

CATCH BASIN NO. 20381
WEST 12" RCP IE: 923.65'
EAST 12" RCP IE: 923.90'

STRUCTURE #105
CONCRETE END SECTION
12" RCP (N) IE: 924.32

STORM/ SANITARY CROSSING
MAINTAIN 18" OF SEPARATION
VERIFY SANITARY LATERAL DEPTH
PRIOR TO START OF CONSTRUCTION

SMH NO. 20489
TOP METAL PLATE 935.8'
(CAN'T SEE BOTTOM)
TOP WATER 936.8'

DRAIN BEEHIVE NO. 20430
WEST 12" RCP IE: 924.04'

ADJOINER
RAN CREEK LIMITED
05-12-03-104
18966 16 MILE ROAD, BIG
RAPIDS, MI 49307

ADJOINER
HAWORTH INC.
17-12-300-008
300 N BRONSON AVE., BIG
RAPIDS, MI 49307

STRUCTURE #103
4" MANHOLE
TC: 929.64
12" RCP (W) IE: 926.44
12" RCP (SE) IE: 926.44

STRUCTURE #104
CONCRETE END SECTION
12" RCP (NW) IE: 926.52

ADJOINER
HAWORTH INC.
17-12-300-008
300 N BRONSON AVE., BIG
RAPIDS, MI 49307

PARCEL IS SUBJECT TO AN EASEMENT HELD BY
CONSUMERS POWER COMPANY OVER THE
SOUTH 46 FEET THEREOF.

ADJOINER
DESIGN DEVELOPMENT
CORP.
05-12-03-104
16 MILE ROAD, BIG RAPIDS,
MI 49307

GENERAL GRADING NOTES:

- CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL MEASURES PREPARED FOR THIS PROJECT.
- EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
- CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTURBED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (6" MINIMUM). PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2%.
- ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
- ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, UNLESS NOTED OTHERWISE.
- ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- DRAINAGE SYSTEMS SHALL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR. WITHIN 30 DAYS AFTER COMPLETION OF ON AND OFF-SITE DRAINAGE FACILITIES, THE REGISTERED PROFESSIONAL SHALL CERTIFY IN WRITING THE COMPLIANCE OF THE DRAINAGE FACILITIES PER LOCAL REQUIREMENTS.
- CONTRACTOR SHALL PERPETUATE ALL DRAINS AND TILES ENCOUNTERED DURING CONSTRUCTION. COORDINATE WITH ENGINEER OF RECORD REGARDING THE CONNECTION TO THE PROPOSED STORM SEWER SYSTEM.
- STORM STRUCTURES RECEIVING SUB-SURFACE DRAINS (SSD) SHALL HAVE BOTH CONNECTIONS CORE DRILLED. T OR Y BLIND CONNECTIONS ARE NOT ALLOWED.

GENERAL DRAINAGE NOTES:

- DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
- ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- ANY WORK PERFORMED IN THE LOCAL OR STATE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
- STORM PIPE MATERIAL OPTIONS ARE AS FOLLOWS: RCP, PVC (MINIMUM CELL CLASS 12364) OR HDPE (CORRUGATED, DUAL WALL), AS NOTED ON PLANS. PIPES SHALL CONFORM TO SECTION 02720 OF THE CITY OF BIG RAPIDS CONSTRUCTION STANDARDS, LATEST EDITION (SEPTEMBER 2016).
- STORM SEWER JOINTS, FITTINGS AND CONNECTIONS TO MANHOLE OR BOX STRUCTURES SHALL CONFORM TO SECTION 02720 OF THE CITY OF BIG RAPIDS CONSTRUCTION STANDARDS, LATEST EDITION (SEPTEMBER 2016).
- WHERE CONNECTIONS ARE MADE TO EXISTING MANHOLES OR INLET STRUCTURES, THOSE STRUCTURES SHALL BE REHABILITATED OR REPLACED TO THOSE MINIMUM STANDARDS OUTLINED IN SECTION 02720 OF THE CITY OF BIG RAPIDS CONSTRUCTION STANDARDS, LATEST EDITION. THE REHABILITATION SHALL INCLUDE THE INSTALLATION OF BENCH WALLS, AS WELL AS PRESCRIBED MEASURES TO ELIMINATE THE POTENTIAL FOR MIGRATION OF BACKFILL MATERIALS INTO THE STORMWATER SYSTEM.
- ALL PROPOSED DRAINAGE AND STORM SEWER APPURTENANCES SHALL BE IN CONFORMANCE WITH SECTION 02720 OF THE CITY OF BIG RAPIDS CONSTRUCTION STANDARDS, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE STANDARDS SHALL NOT ALLEVATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE STANDARDS.

GRADING LEGEND:

- 800 PROPOSED INDEX CONTOUR
- 798 PROPOSED INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- PROPOSED GRADE BREAK
- PROPOSED STORM SEWER LINE
- PROPOSED UNDERDRAIN
- PROPOSED SPOT ELEVATION
- PROPOSED CURB SPOT ELEVATION; TOP OF CURB ON TOP, GUTTER ELEVATION ON BOTTOM
- PROPOSED FLOW ARROW

ABBREVIATIONS:
TC = TOP OF CURB
BC = BOTTOM OF CURB
TW = TOP OF WALL
BW = BOTTOM OF WALL
TR = TOP OF RAMP
BR = BOTTOM OF RAMP
ME = MATCH EXISTING

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. MISS DIG 811 ONE-CALL PUBLIC UTILITY LOCATE SERVICE TICKET NUMBER 2022051203430 WAS ISSUED FOR THIS SITE.

PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

DETAILS NOTE:

SEE SHEET C802 FOR GRADING AND DRAINAGE DETAILS.

A CONCRETE CRADLE SHALL BE UTILIZED AT ANY UTILITY CROSSING NOT HAVING 18" OF SEPARATION. SEE DETAIL ON SHEET C800.

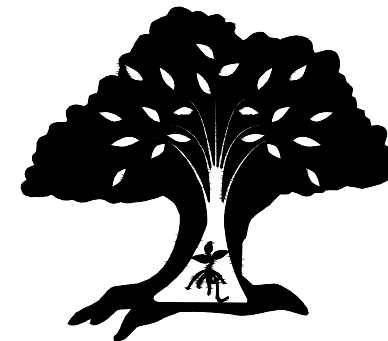
REVISIONS

NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		



**Civil & Environmental
Consultants, Inc.**

11 MUNICIPAL DRIVE, SUITE 300
FISHERS, INDIANA 46038
317-570-8800 877-746-0749



DAVID J. DIXON RA
5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@geneisdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY
106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



Michael Thompson
09/07/2022

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.
© COPYRIGHTED BY DAVID J. DIXON RA.

DATE: 09/07/2022 CEC PROJECT NO.: 323-355

DRAWN BY: KPB CHECKED BY: AEF

SHEET TITLE:
GRADING PLAN

DRAWING FILES:

SHEET NO.:

C300

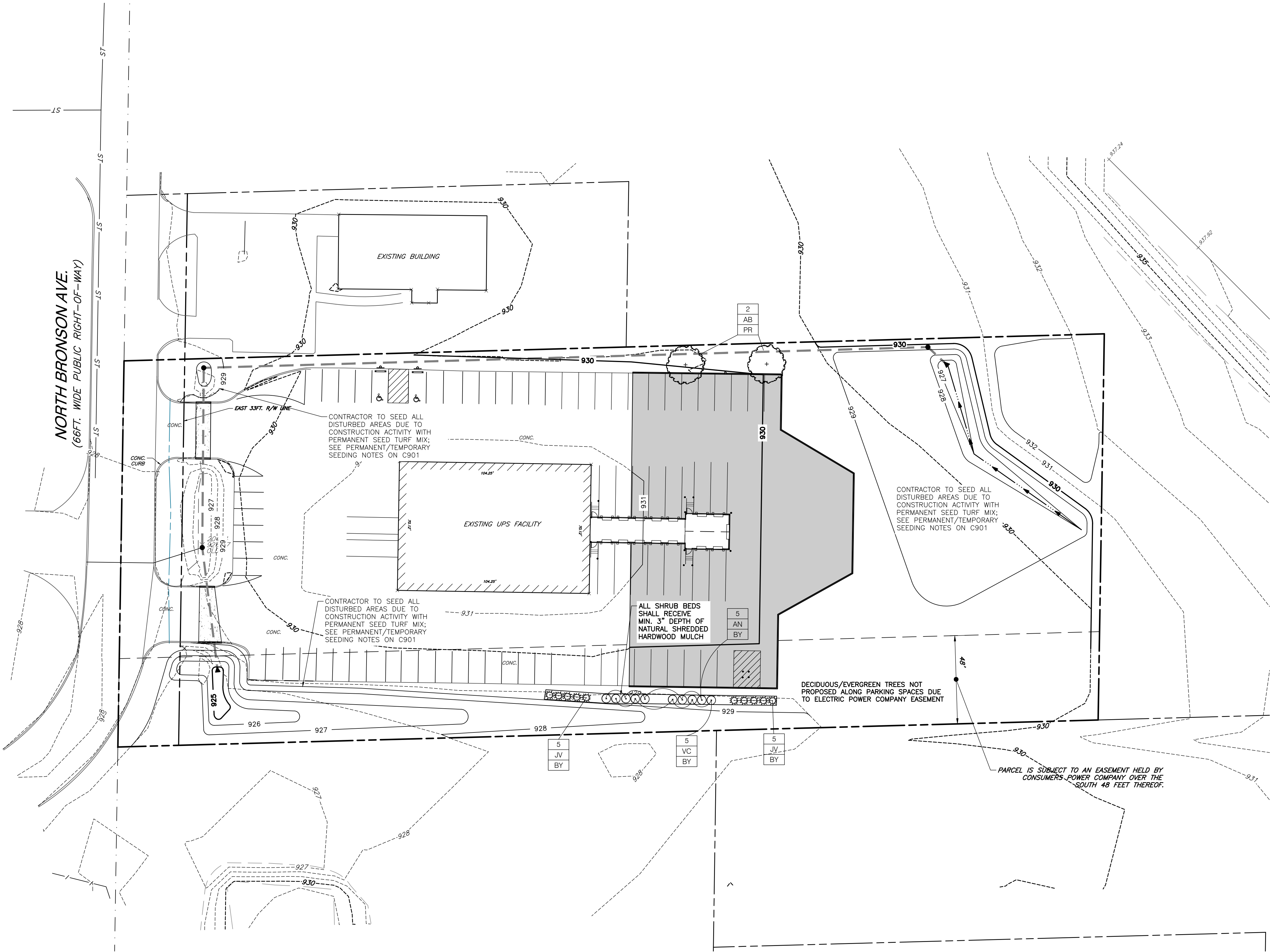


Know what's below.
Call before you dig.

SCALE IN FEET
0 30 60



Know what's below.
Call before you dig.



GENERAL LANDSCAPE NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK, ANSI Z60.1-2004", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
- ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE OR SHRUB.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY OWNER(S).
- THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION OF PROJECT.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
- ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT, WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
- IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.

SYMBOL	DESCRIPTION	1 AG IN	PLANT QUANTITY PLANT TYPE REQ. LOCATION
IN	INTERIOR PARKING AREA REQUIRES PLANTINGS		
PR	PARKING LOT PERIMETER PLANTINGS		
BY	BUFFER YARD REQUIRED PLANTINGS		

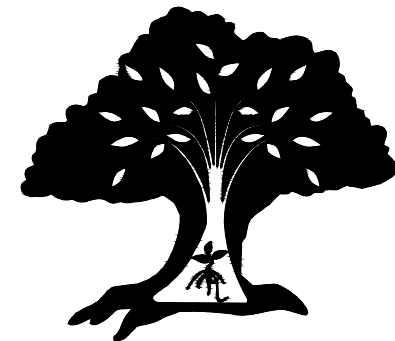
OVERALL PLANTING SCHEDULE

TREE/ EVERGREENS SCHEDULE						
LEGEND	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE CONC	REMARKS HEIGHT AT MATURITY SPREAD AT MATURITY
+	AB	2	Acer rubrum 'Bowhall'	Bowhall Red Maple	2-1/2" Cal. B & B	Deciduous Tree 45' 15'
SHRUBS SCHEDULE						
•	AN	5	Aronia melanocarpa 'Iroquois Beauty'	Iroquois Beauty Chokeberry	24" No. 7 Cont.	Deciduous Shrub 3'-4' 4'-5'
•	VC	5	Viburnum trilobum 'Compactum'	Dwarf American Cranberry	24" No. 7 Cont.	Deciduous Shrub 3'-4' 4'-5'
☀	JV	10	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	24" No. 5 Cont.	Evergreen Shrub 2'-3' 4'-5'

SCALE IN FEET
0 30 60

REVISIONS

NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		



DAVID J. DIXON RA
5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@genesisdigitalinc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY
106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



Michael Thompson
09/07/2022

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.
© COPYRIGHTED BY DAVID J. DIXON RA.

DATE: 09/07/2022 CEC PROJECT NO.: 323-355

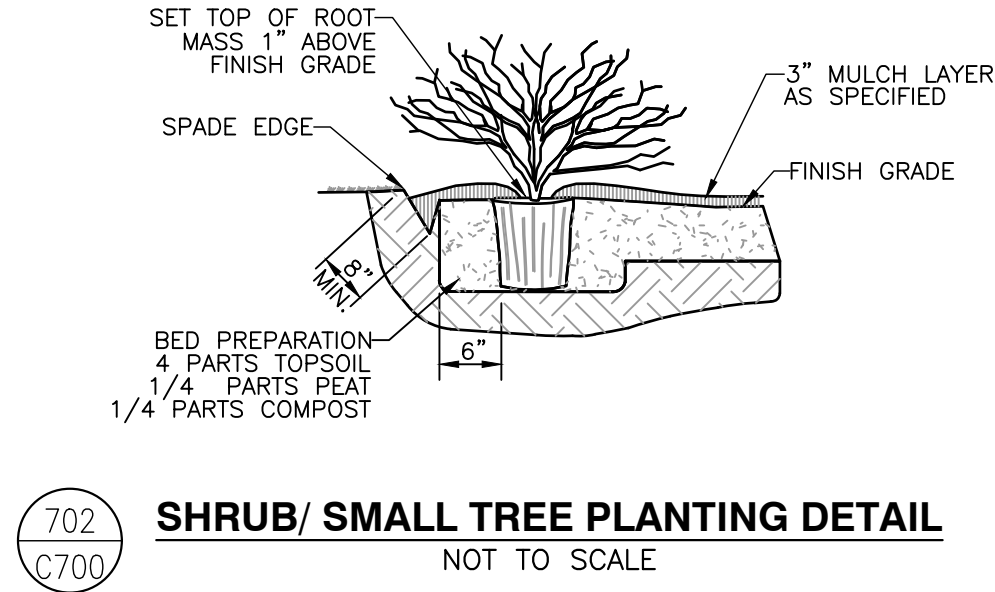
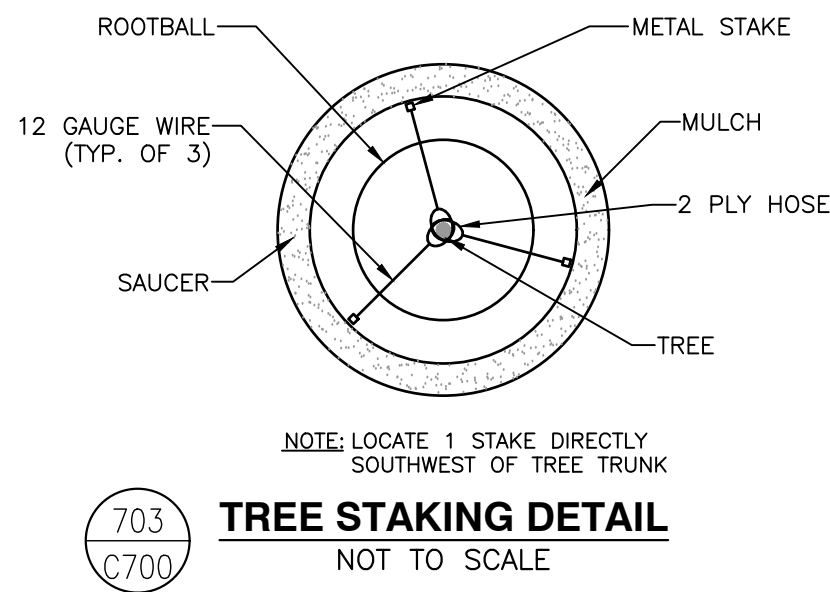
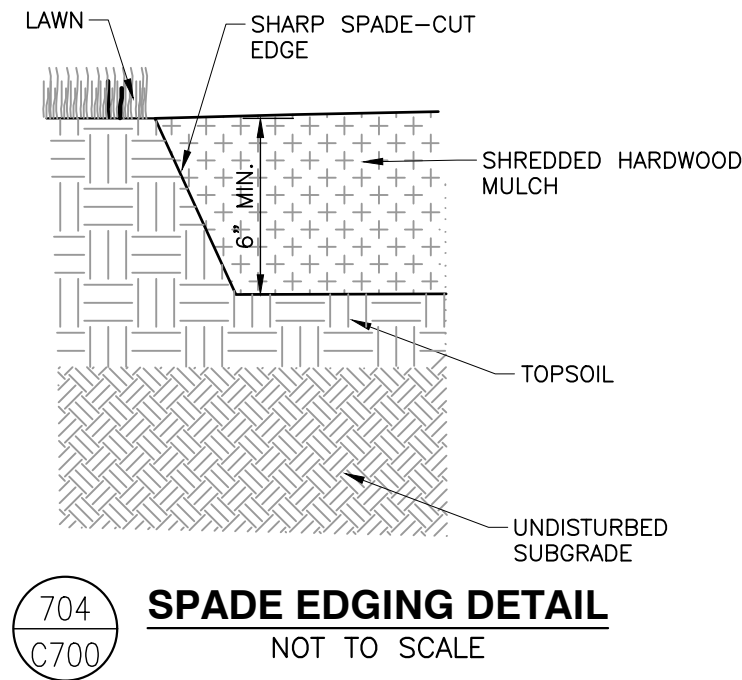
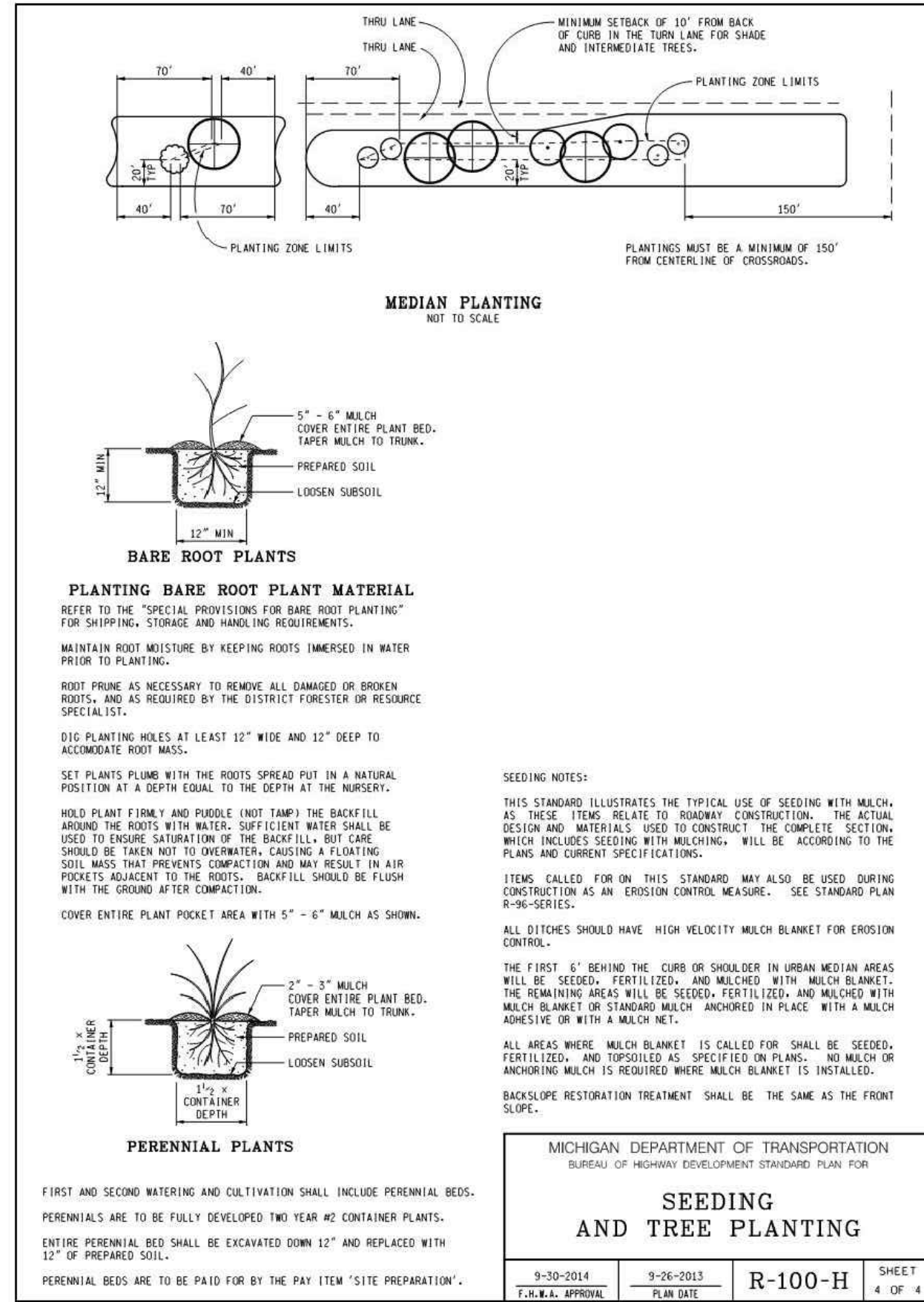
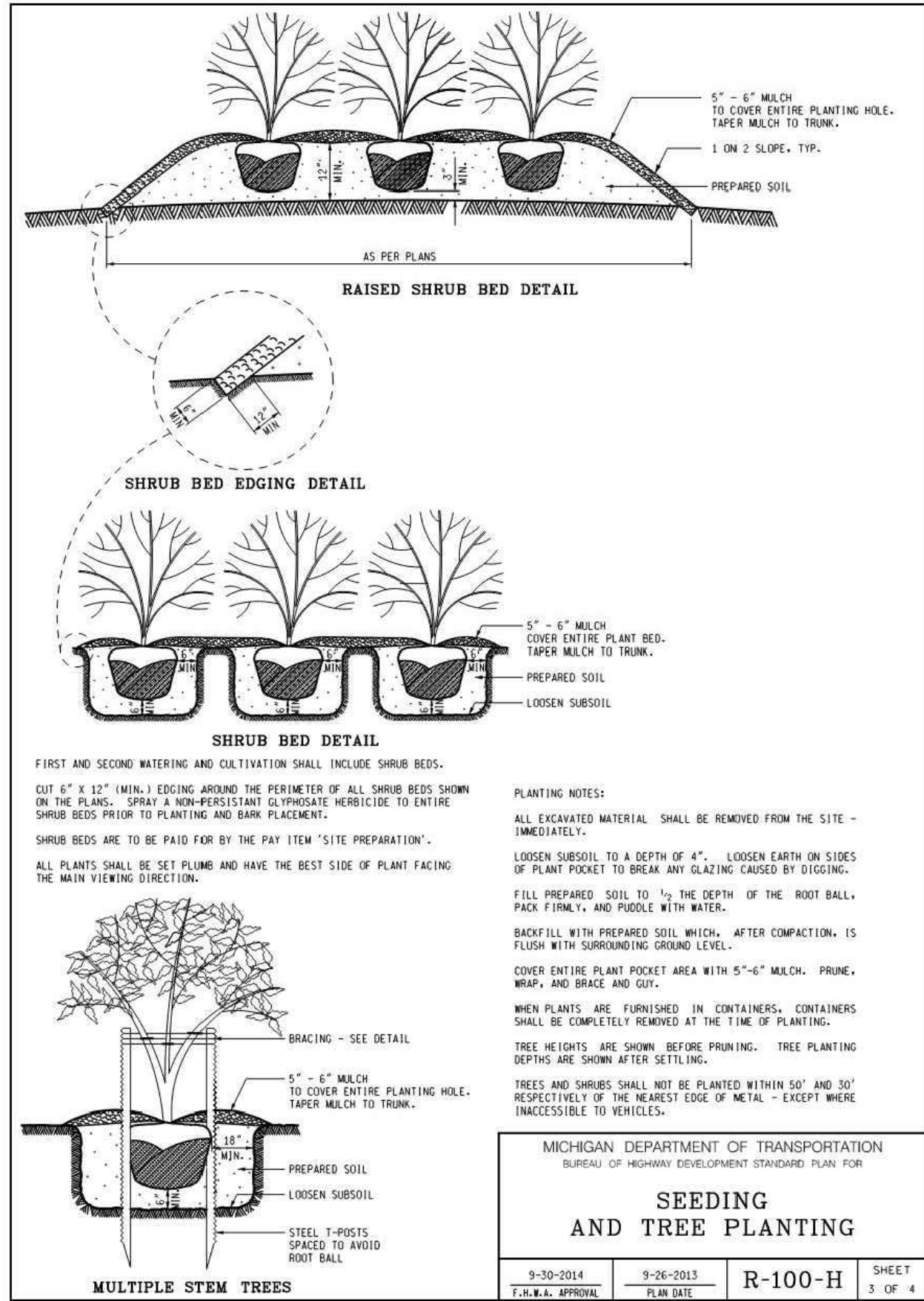
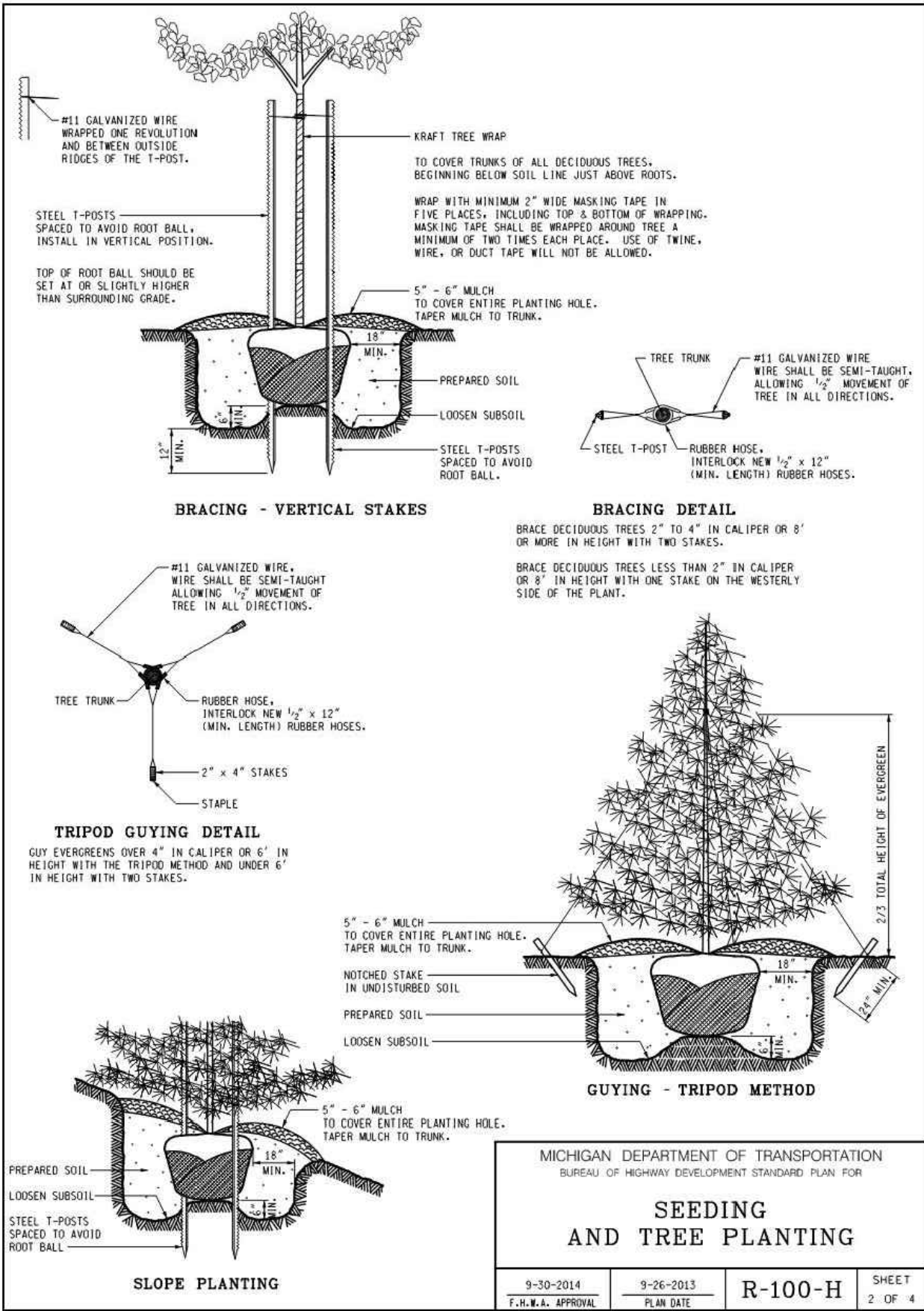
DRAWN BY: KPB CHECKED BY: AEF

SHEET TITLE: LANDSCAPE PLAN

DRAWING FILES:

SHEET NO.:

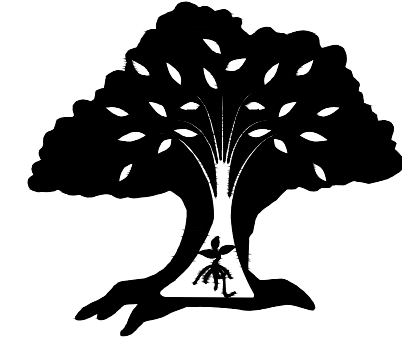
C700



Know what's below.
 Call before you dig.

REVISIONS		
NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		

CEC
Civil & Environmental Consultants, Inc.
 11 MUNICIPAL DRIVE, SUITE 300
 FISHERS, INDIANA 46038
 317-670-8800 877-746-0749



DAVID J. DIXON RA
 5895 Courtney Crescent
 Indianapolis, Indiana 46234
 Telephone: 317.423.8169
 djdixon@gensisdesigninc.us

Architecture
 Engineering

MDC ADDITION
 UPS FACILITY
 106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
 5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



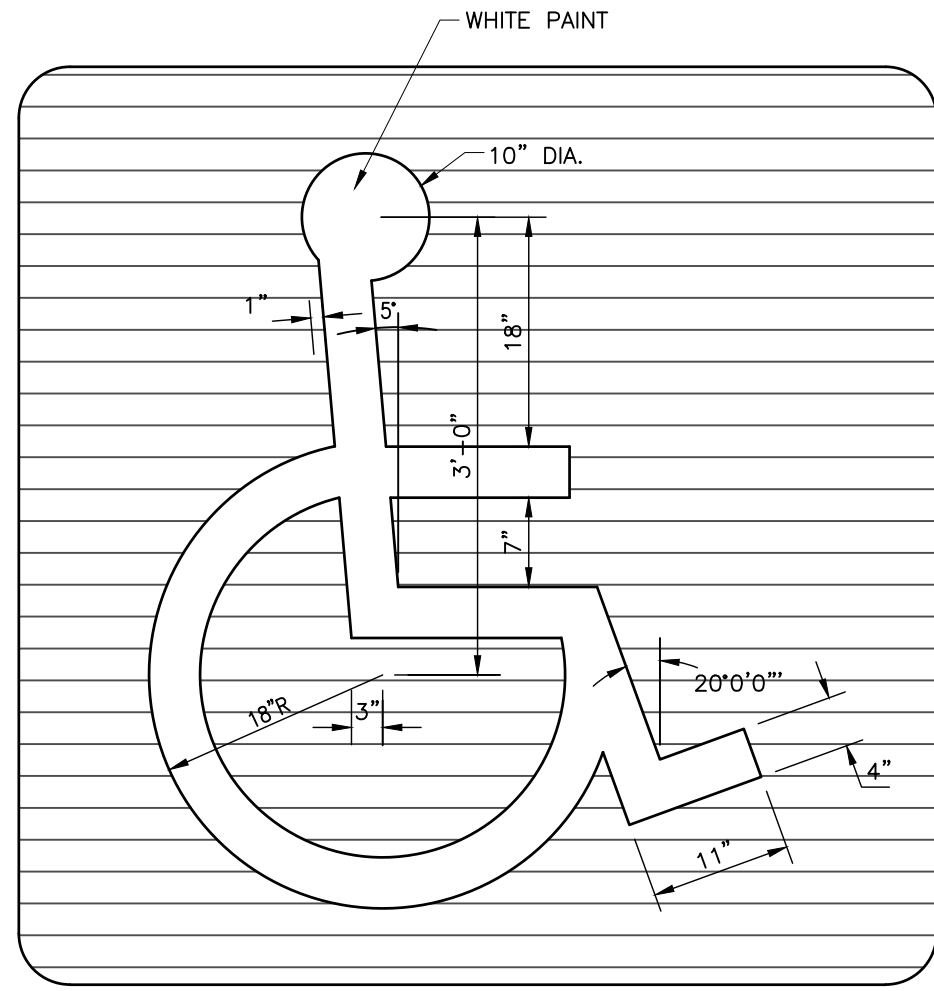
Michael Thompson
 09/07/2022

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.
 © COPYRIGHTED BY DAVID J. DIXON RA.

DATE: 09/07/2022	CEC PROJECT NO.: 323-355
DRAWN BY: HYC	CHECKED BY: KPB
SHEET TITLE: LANDSCAPE DETAILS	
DRAWING FILES:	

SHEET NO.:

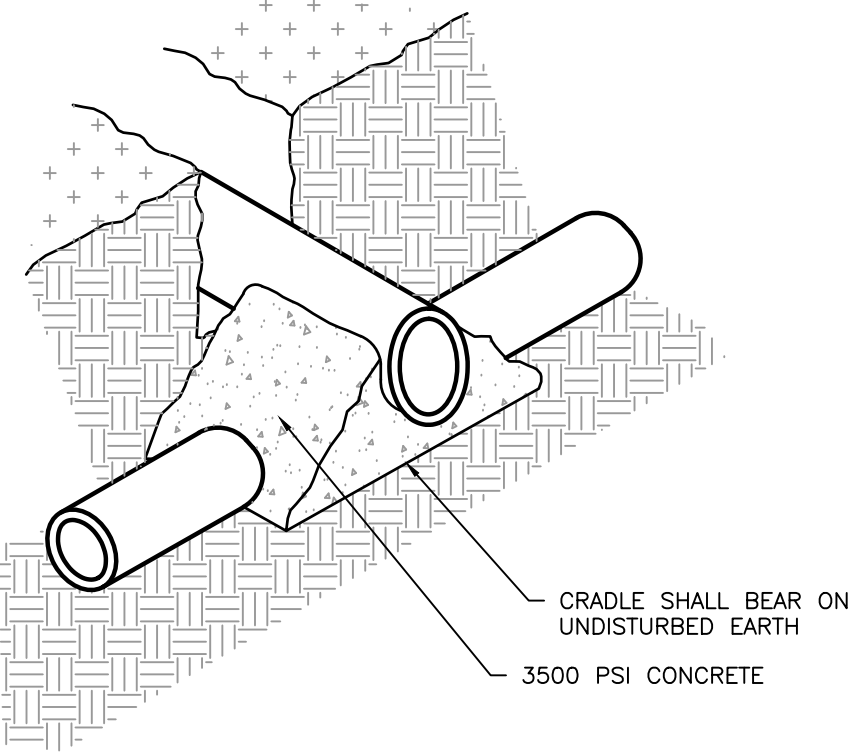
C701



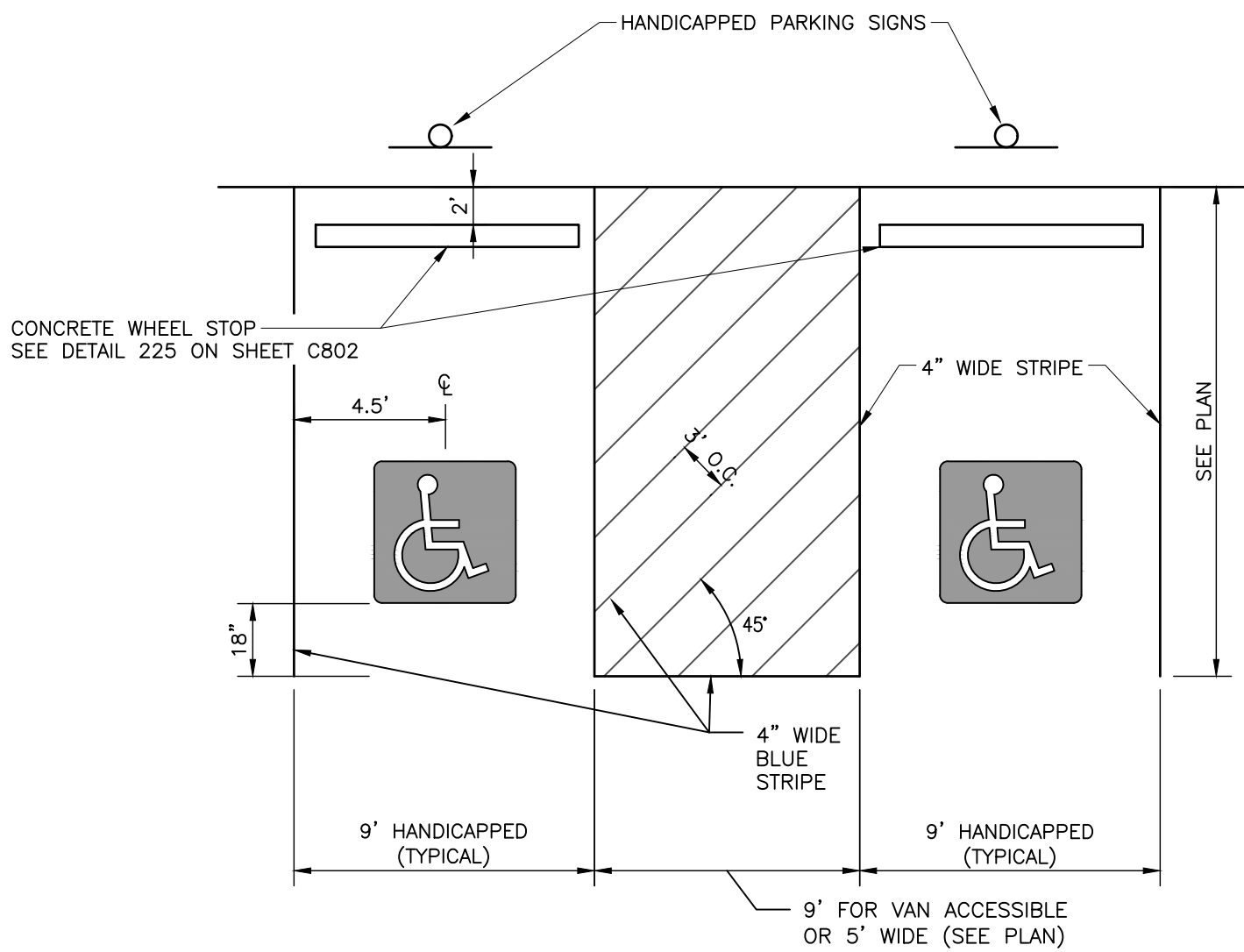
NOTE: ALL STRIPES TO BE 4" PAINTED WHITE

209
C200
PAINTED ADA ACCESSIBLE SYMBOL DETAIL
NOT TO SCALE

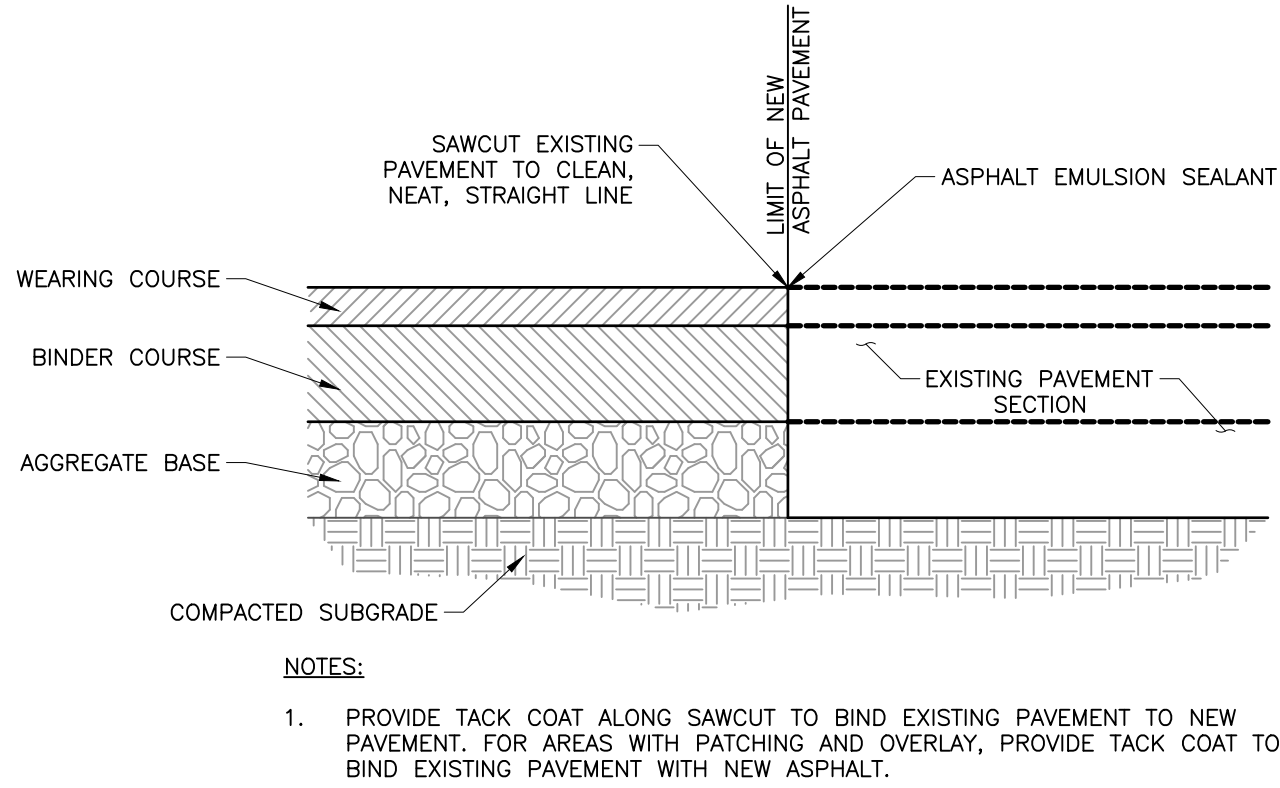
NOTE:
TO BE USED WHEN CLEAR DISTANCE (FROM EXTERIOR PIPE DIAMETER TO EXTERIOR PIPE DIAMETER) BETWEEN SANITARY SEWER PIPING (MAINS, LATERALS, FORCE MAINS, ETC.) AND ALL OTHER PIPES IS 18" OR LESS, PER ENGINEER'S DIRECTION, OR WHERE NOTED ON THE CONSTRUCTION PLANS. A MINIMUM CLEAR DISTANCE OF 3" MUST BE PROVIDED TO MAINTAIN STRUCTURAL INTEGRITY OF THE CONCRETE.



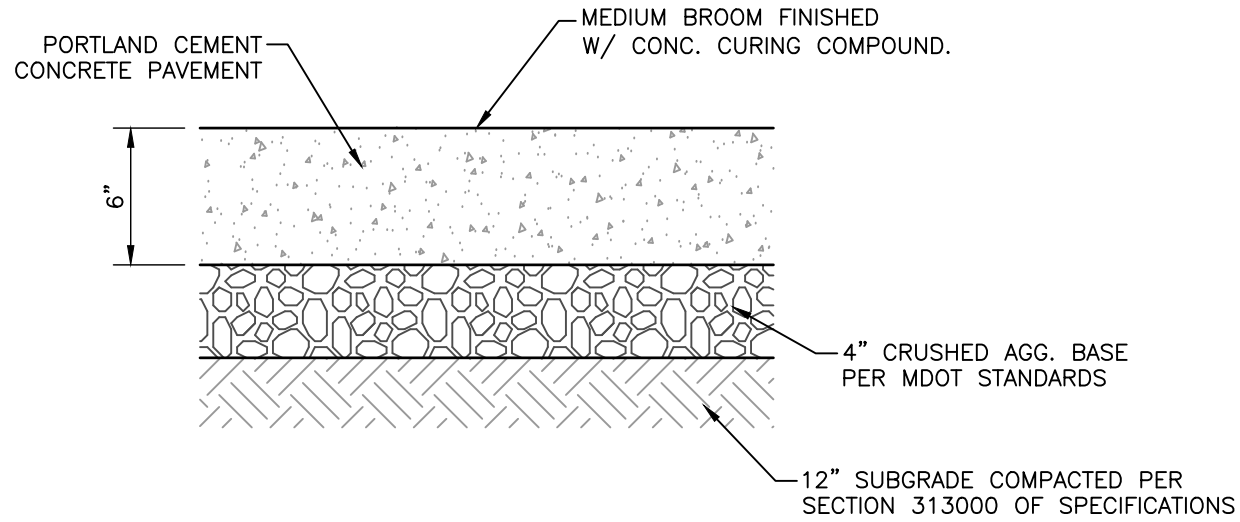
301
C200
CONCRETE CRADLE DETAIL
NOT TO SCALE



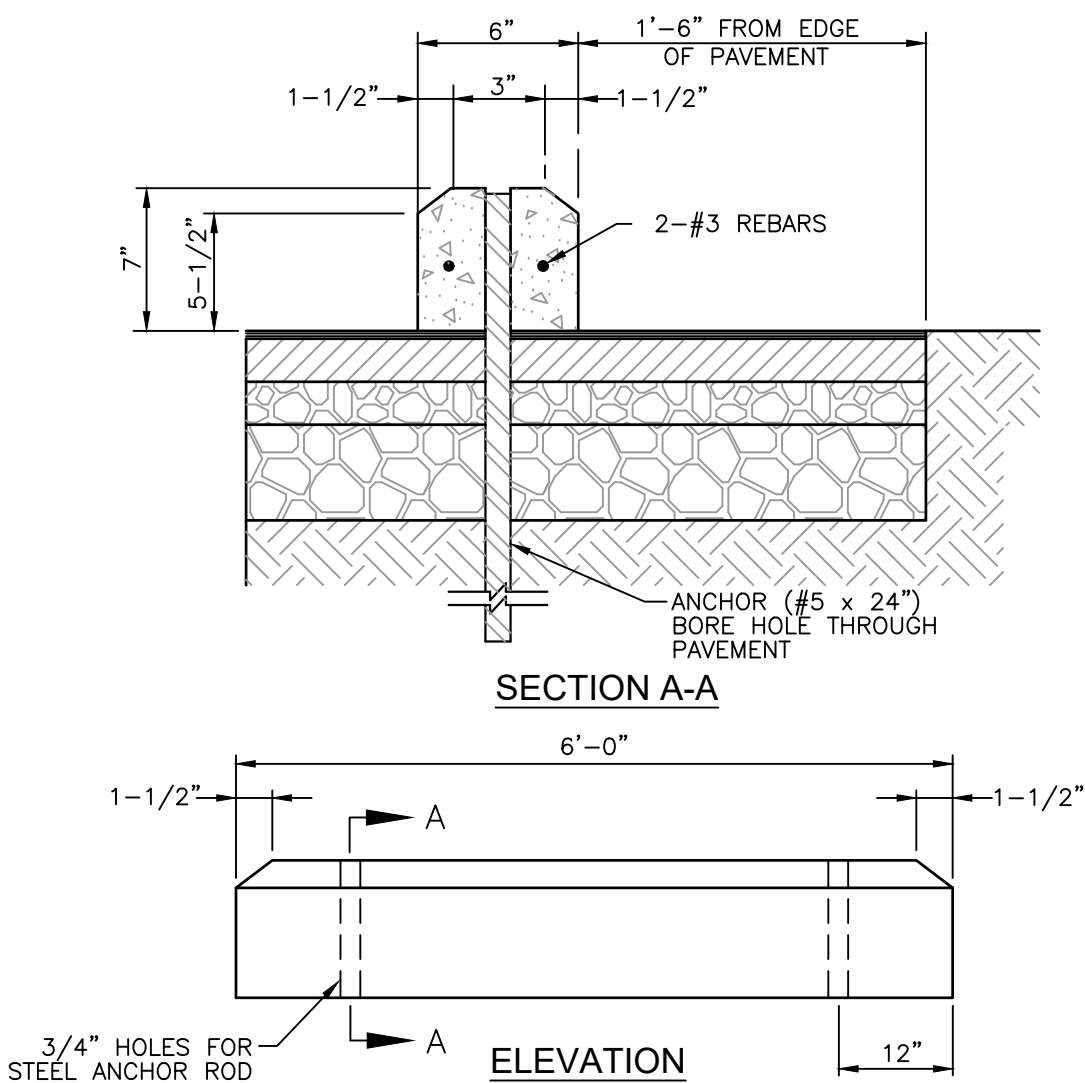
211
C200
ADA ACCESSIBLE PARKING STALLS
NOT TO SCALE



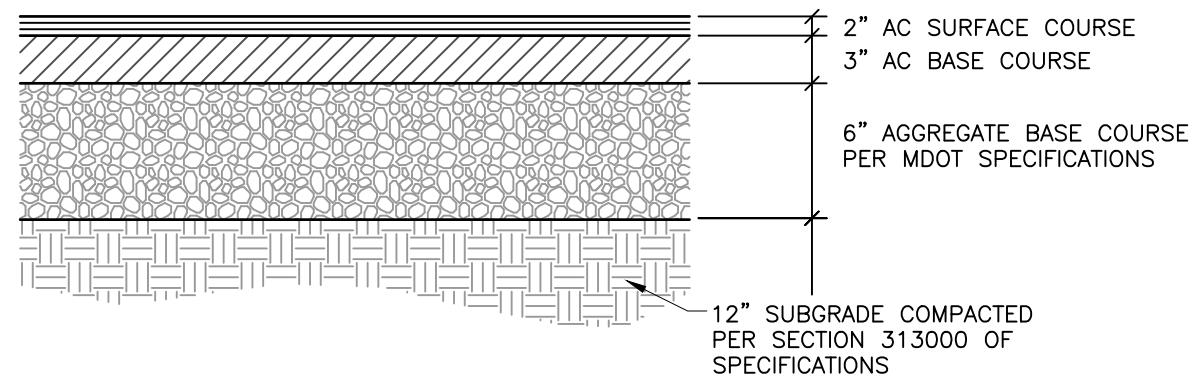
206
C200
PAVEMENT SAWCUT
NOT TO SCALE



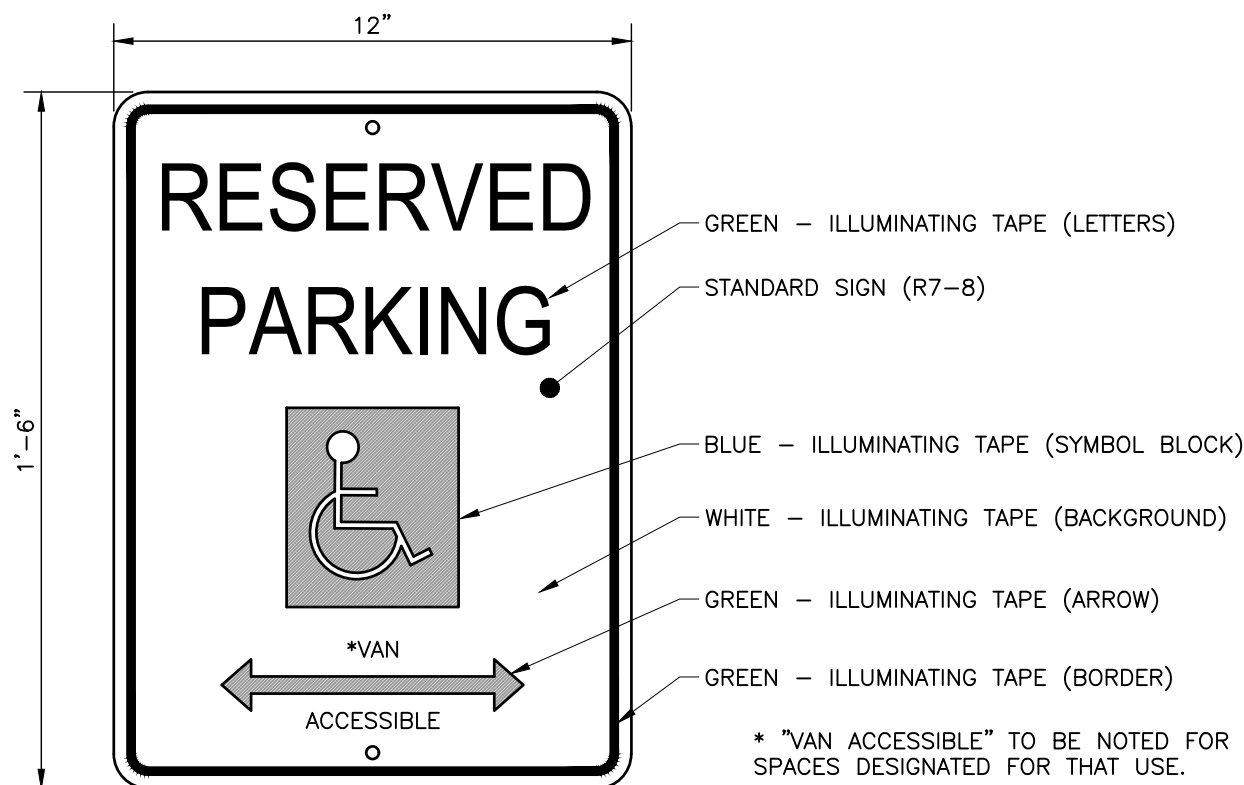
202
C200
CONCRETE PAVEMENT SECTION
NOT TO SCALE



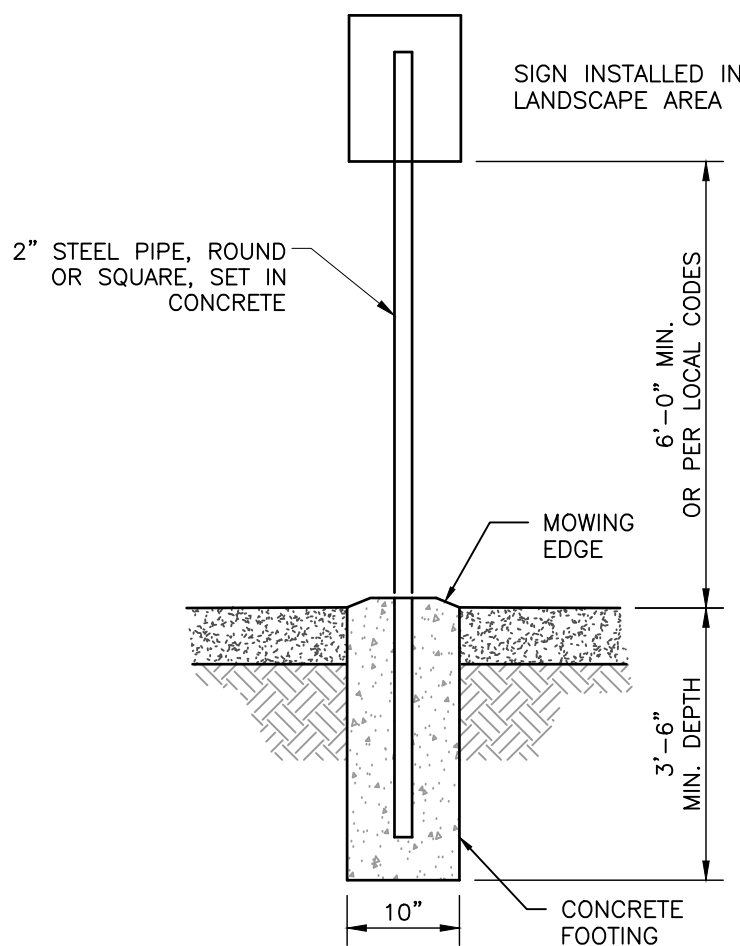
204
C200
PRECAST CONCRETE WHEELSTOP
NOT TO SCALE



201
C200
HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE



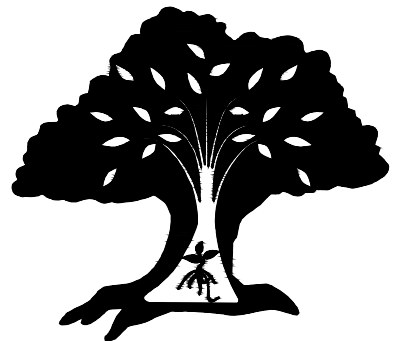
203
C200
ADA ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



212
C200
SIGNAGE DETAIL
NOT TO SCALE

REVISIONS		
NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		

C&E
Civil & Environmental Consultants, Inc.
11 MUNICIPAL DRIVE, SUITE 300
FISHERS, INDIANA 46038
317-670-8800 877-746-0749



DAVID J. DIXON RA
5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
ddixon@genesistdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY
106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



Michael Thompson
09/07/2022

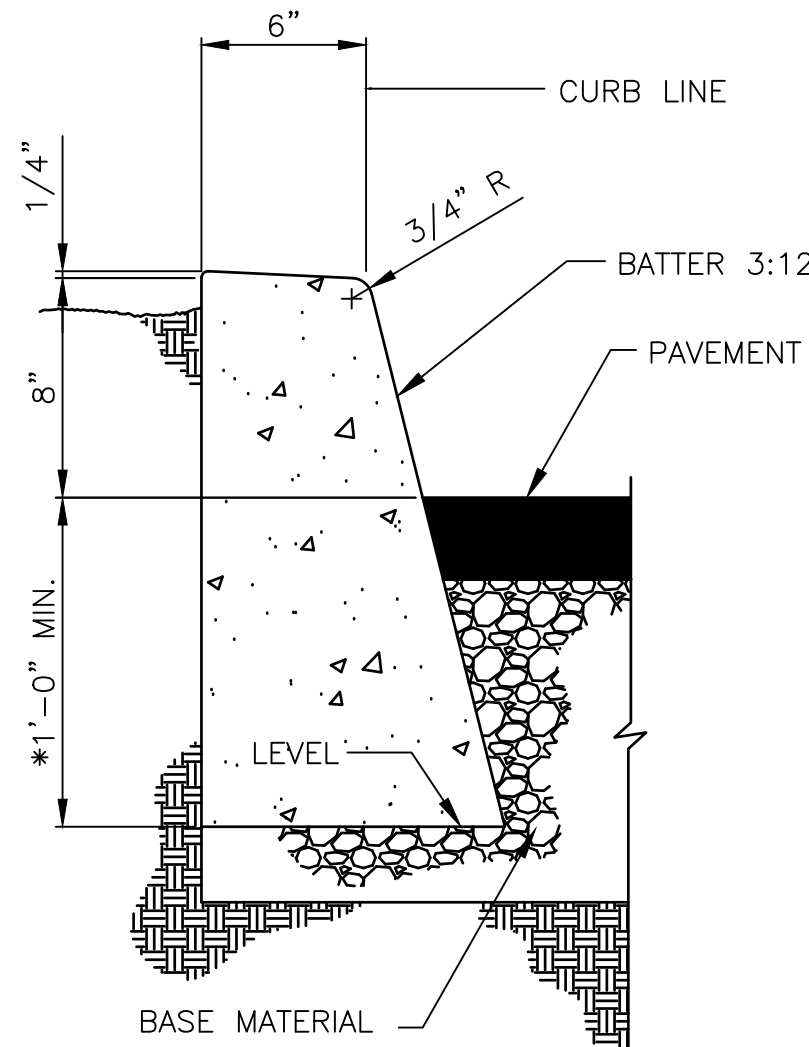
THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.
© COPYRIGHTED BY DAVID J. DIXON RA.

DATE: 09/07/2022
DRAWN BY: HYC
SHEET TITLE: SITE DETAILS
DRAWING FILES:

CEC PROJECT NO.: 323-355
CHECKED BY: KPB

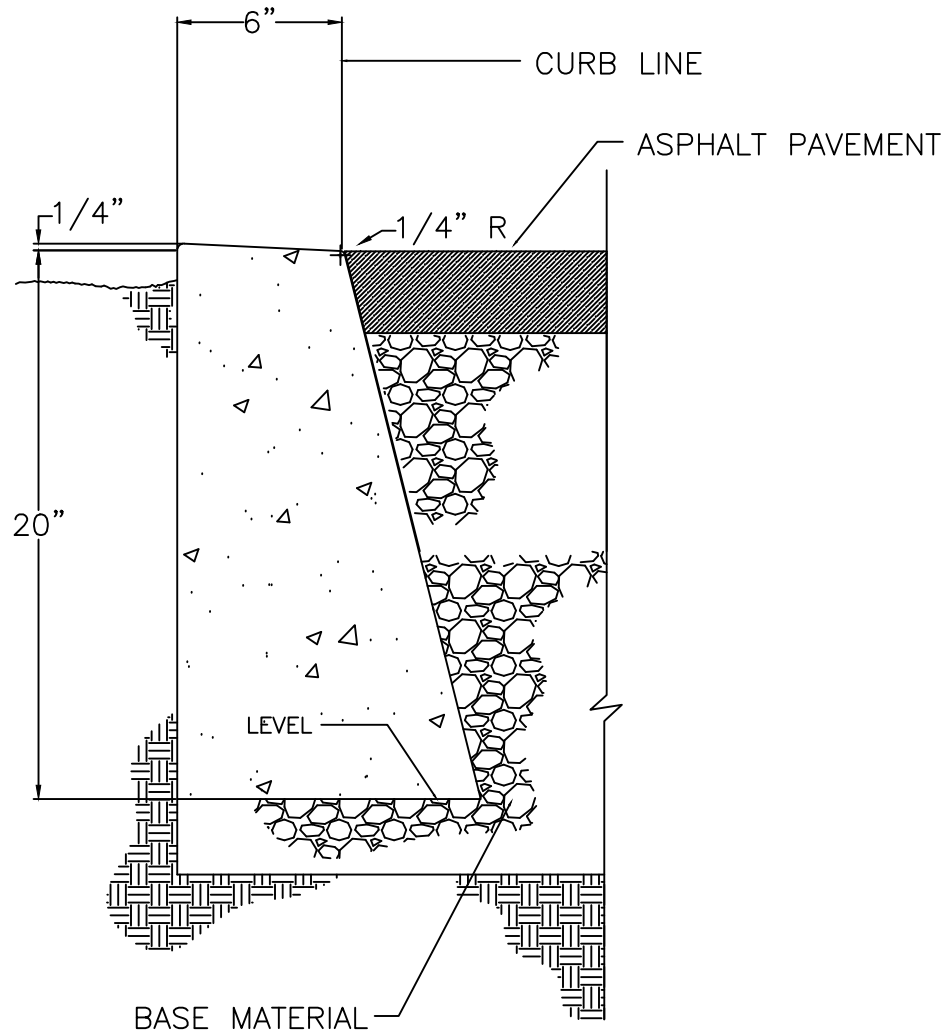
SHEET NO.:

C800



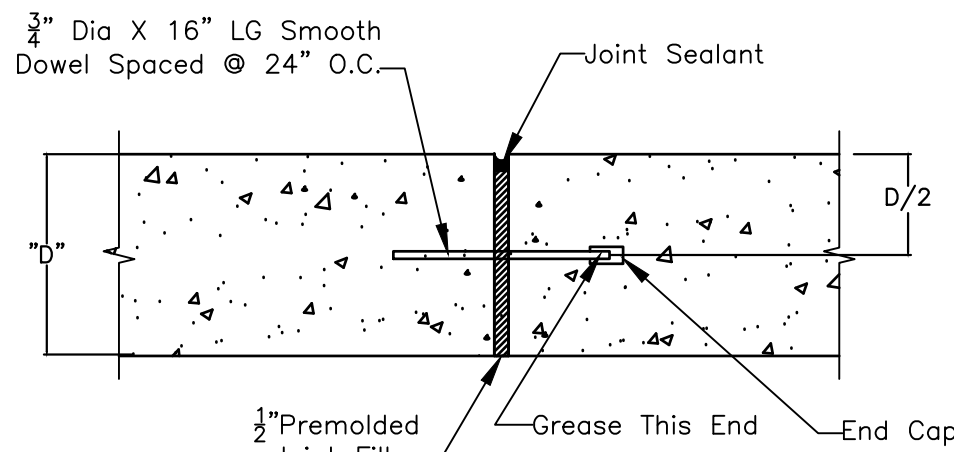
*NOTE:
1. DETAIL SHOULD ONLY BE USED FOR LANDSCAPING ISLANDS.
2. VALIDATE WITH LOCAL CONDITIONS.

211
C200 CONCRETE LANDSCAPING CURB DETAIL
NOT TO SCALE



NOTE:
1. DETAIL SHOULD ONLY BE USED TO CONTAIN ASPHALT

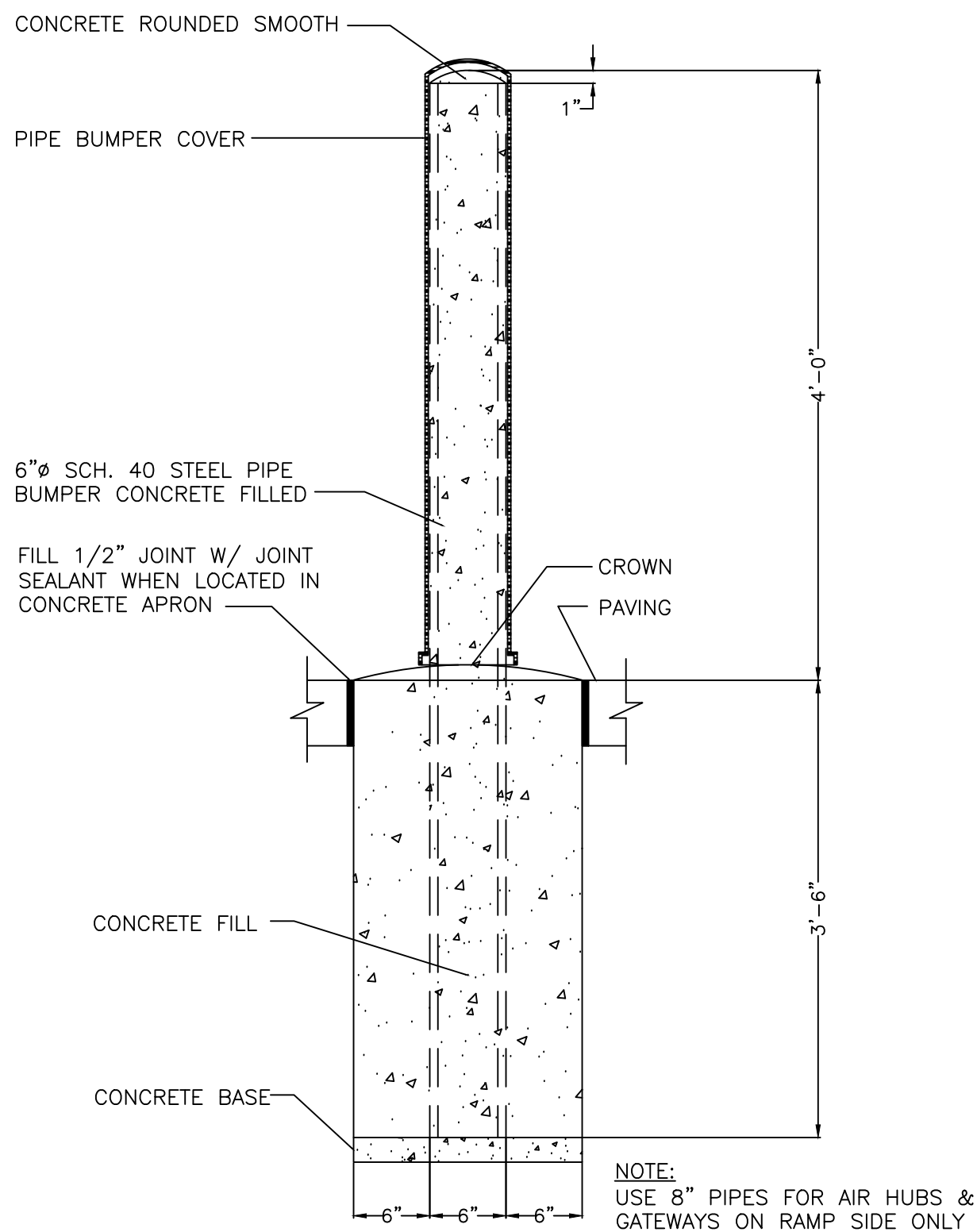
212
C200 ASPHALT EDGE CURB DETAIL
NOT TO SCALE



DOWEL SIZE		
SLAB THICKNESS	DIA.	LENGTH
≤ 10"	1.25	18"
≥ 10.5"	1.5	18"

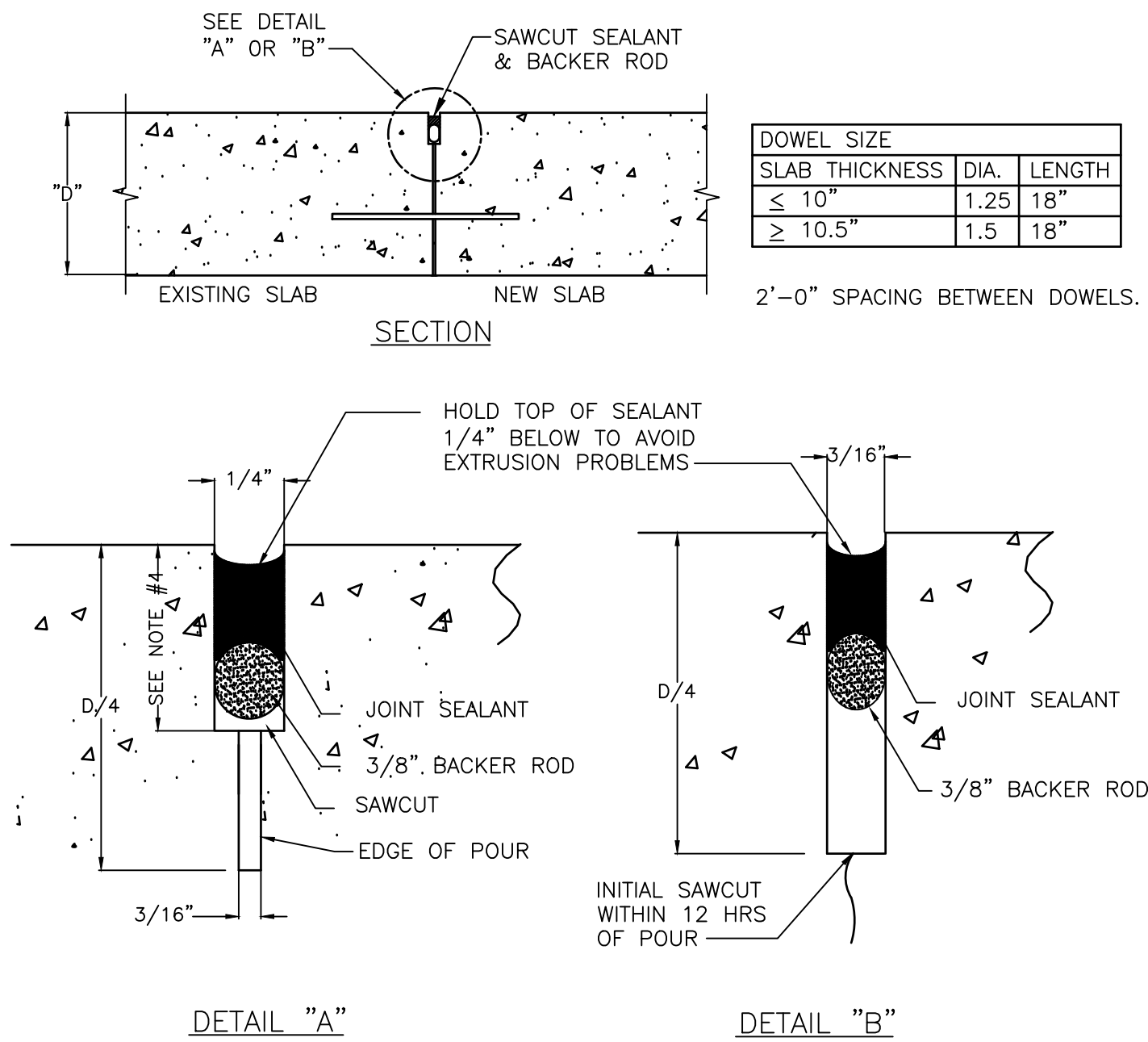
2'-0" SPACING BETWEEN DOWELS

215
C200 CONCRETE PAVEMENT EXPANSION JOINT DETAIL
NOT TO SCALE



NOTE:
USE 8" PIPES FOR AIR HUBS & GATEWAYS ON RAMP SIDE ONLY

203
C200 PIPE BUMPER / BOLLARD DETAIL
NOT TO SCALE



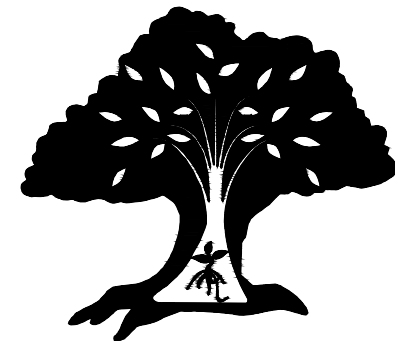
DOWEL SIZE		
SLAB THICKNESS	DIA.	LENGTH
≤ 10"	1.25	18"
≥ 10.5"	1.5	18"

2'-0" SPACING BETWEEN DOWELS.

NOTES:
1. DETAIL "A" SHOWS (2) SAWCUTS, THE INITIAL SAWCUT PROVIDES RELIEF OF INTERNAL STRESSES DUE TO SHRINKAGE. THE SECOND SAWCUT PROVIDES THE NECESSARY WIDTH TO ACHIEVE THE PROPER "SHAPE FACTOR" FOR THE JOINT SEALANT MATERIAL. THE SECOND SAWCUT ALSO CLEANS OUT ANY REMAINING DEBRIS AND CURING COMPOUND WHICH MUST BE REMOVED PRIOR TO INSTALLING THE BACKER ROD AND SEALANT.
2. SPACE CONTROL JOINTS 15'-0" O.C. MAX. EACH WAY.
3. DETAIL "B" SHOWS AN ALTERNATIVE JOINT DESIGN UTILIZING THE INITIAL SAWCUT FOR PLACING BACKER ROD AND SEALANT. RESERVOIR WALLS MUST BE FREE OF ANY DIRT, DUST OR CHEMICALS THAT CAN ADVERSELY EFFECT THE ABILITY OF THE SEALANT TO BOND TO THE RESERVOIR WALLS.
4. DIMENSIONS SHOWN WILL VARY. ACTUAL JOINT WIDTH MUST BE DETERMINED BY THE ANTICIPATED JOINT MOVEMENT. THE ACTUAL JOINT DEPTH IS DETERMINED BY THE RECOMMENDATIONS OF THE SEALANT MANUFACTURER.

214
C200 CONCRETE PAVEMENT CONSTRUCTION JOINT DETAIL
NOT TO SCALE

REVISIONS		
NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		



DAVID J. DIXON RA
5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@genesishdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY
106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



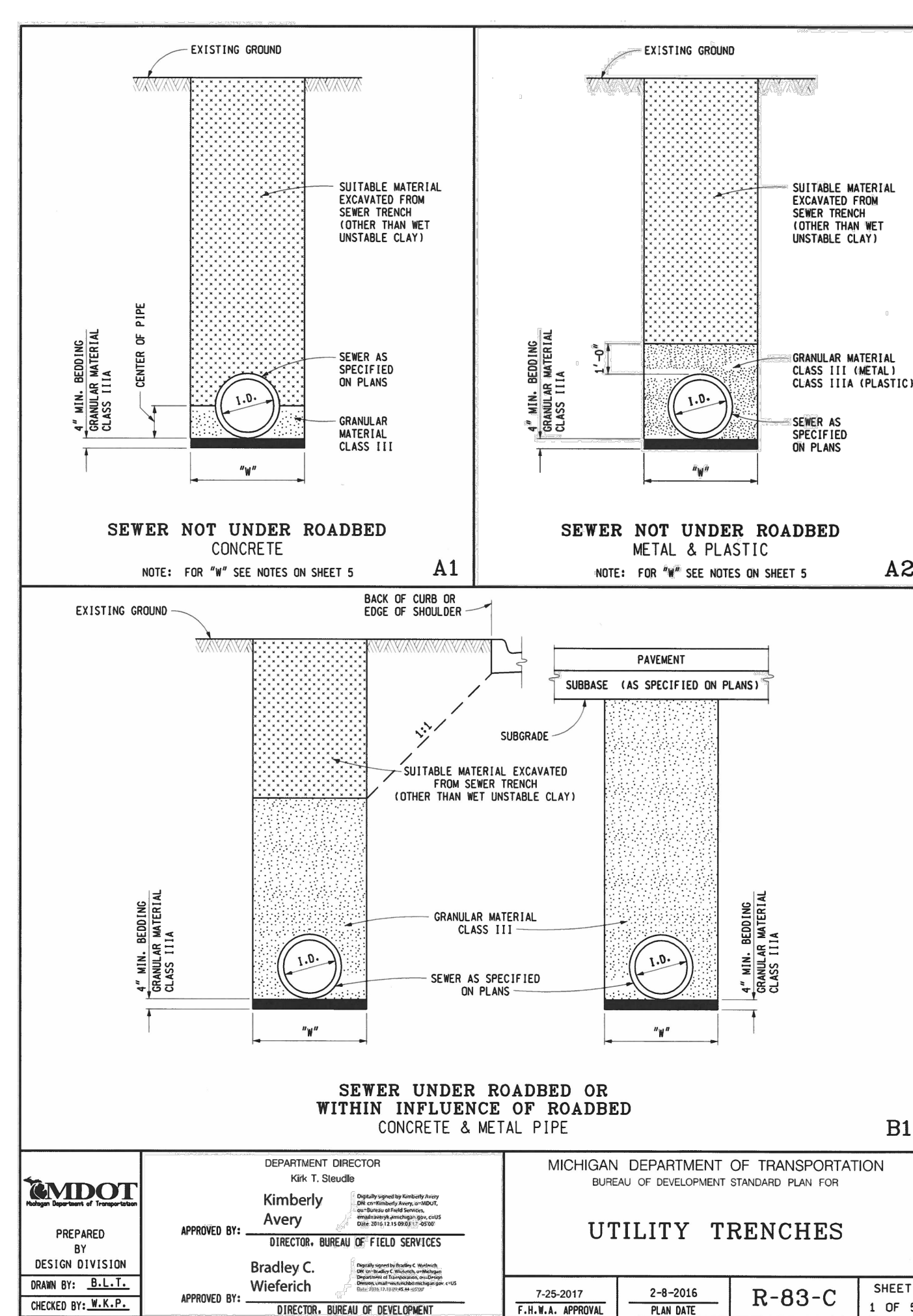
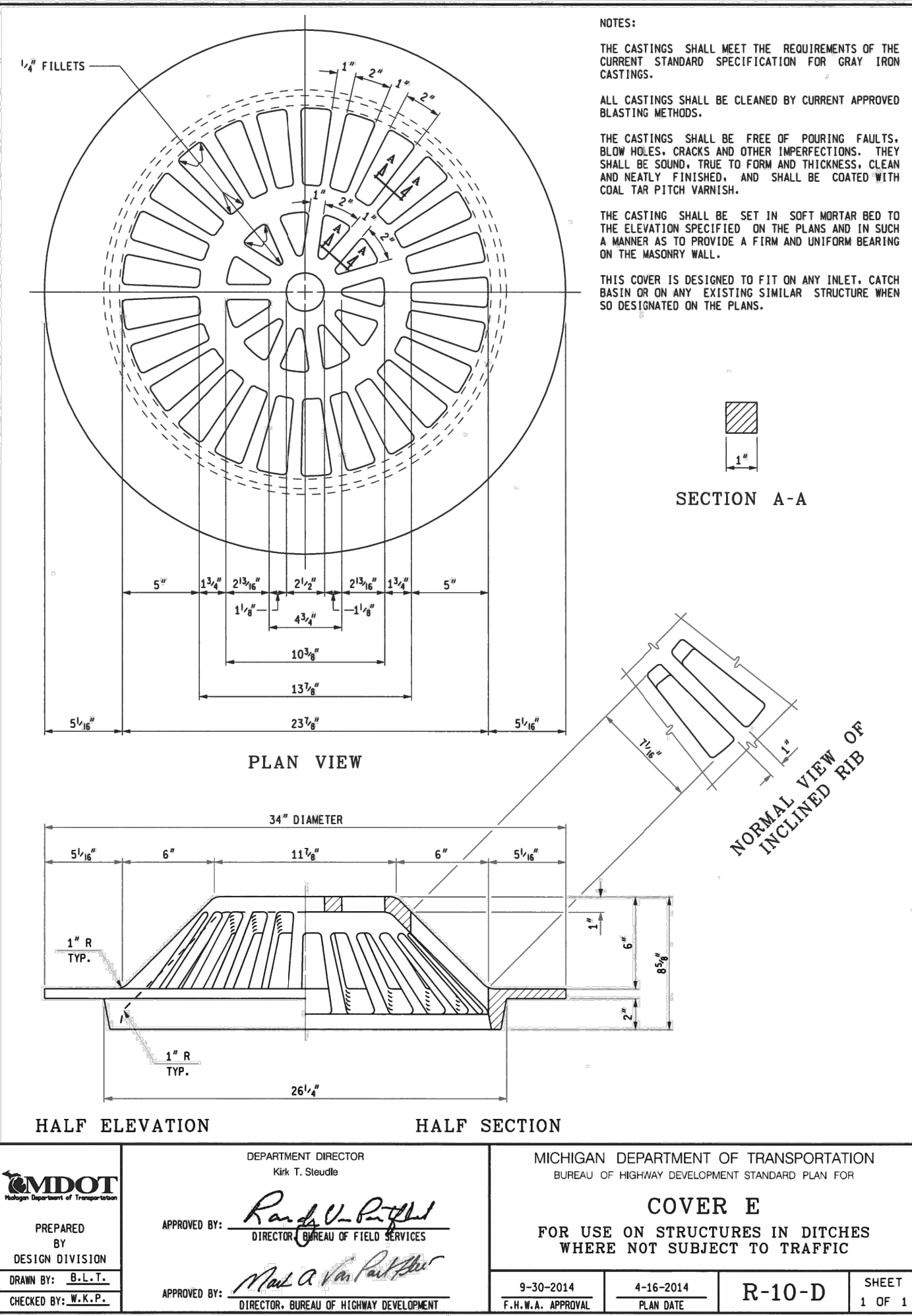
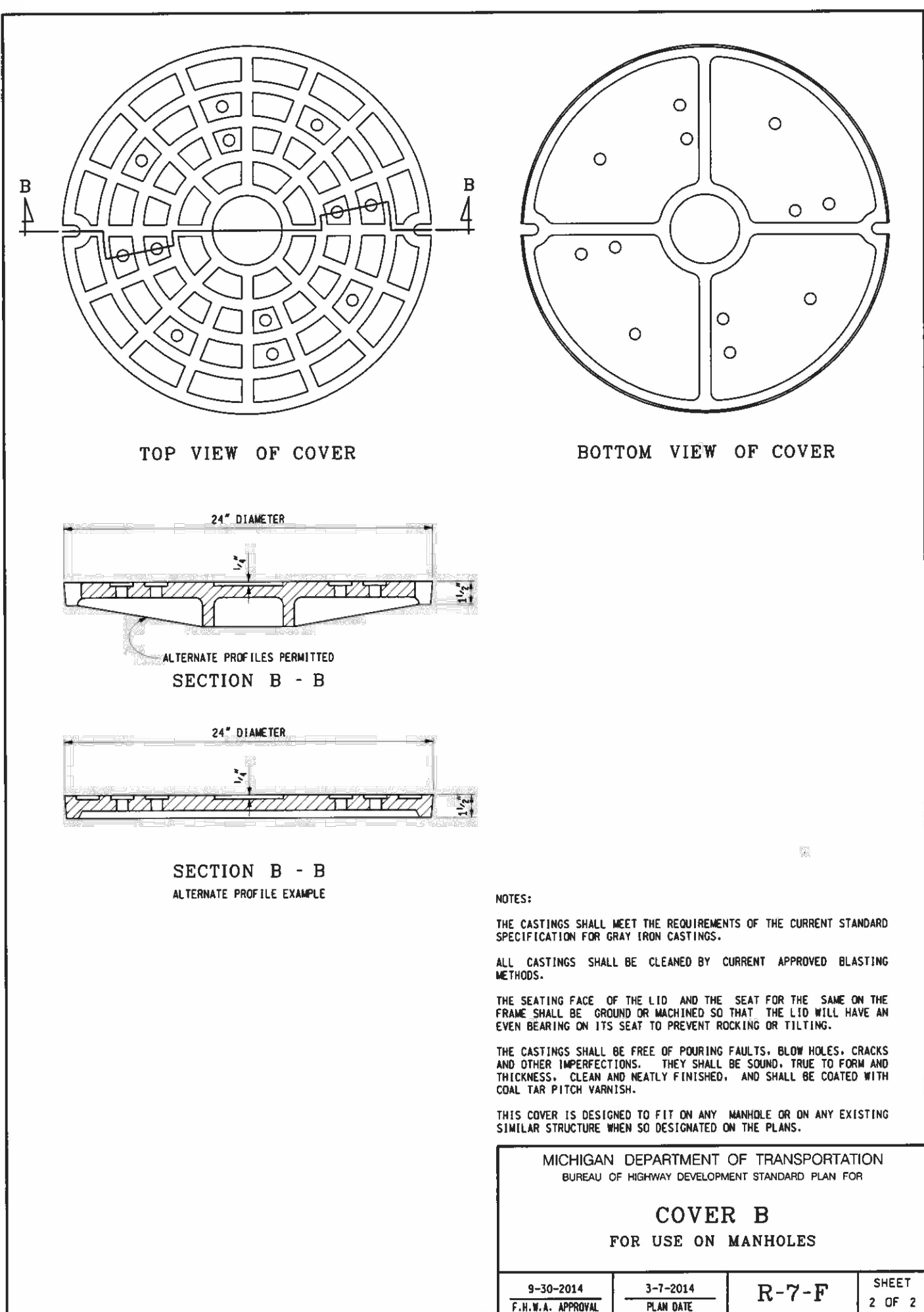
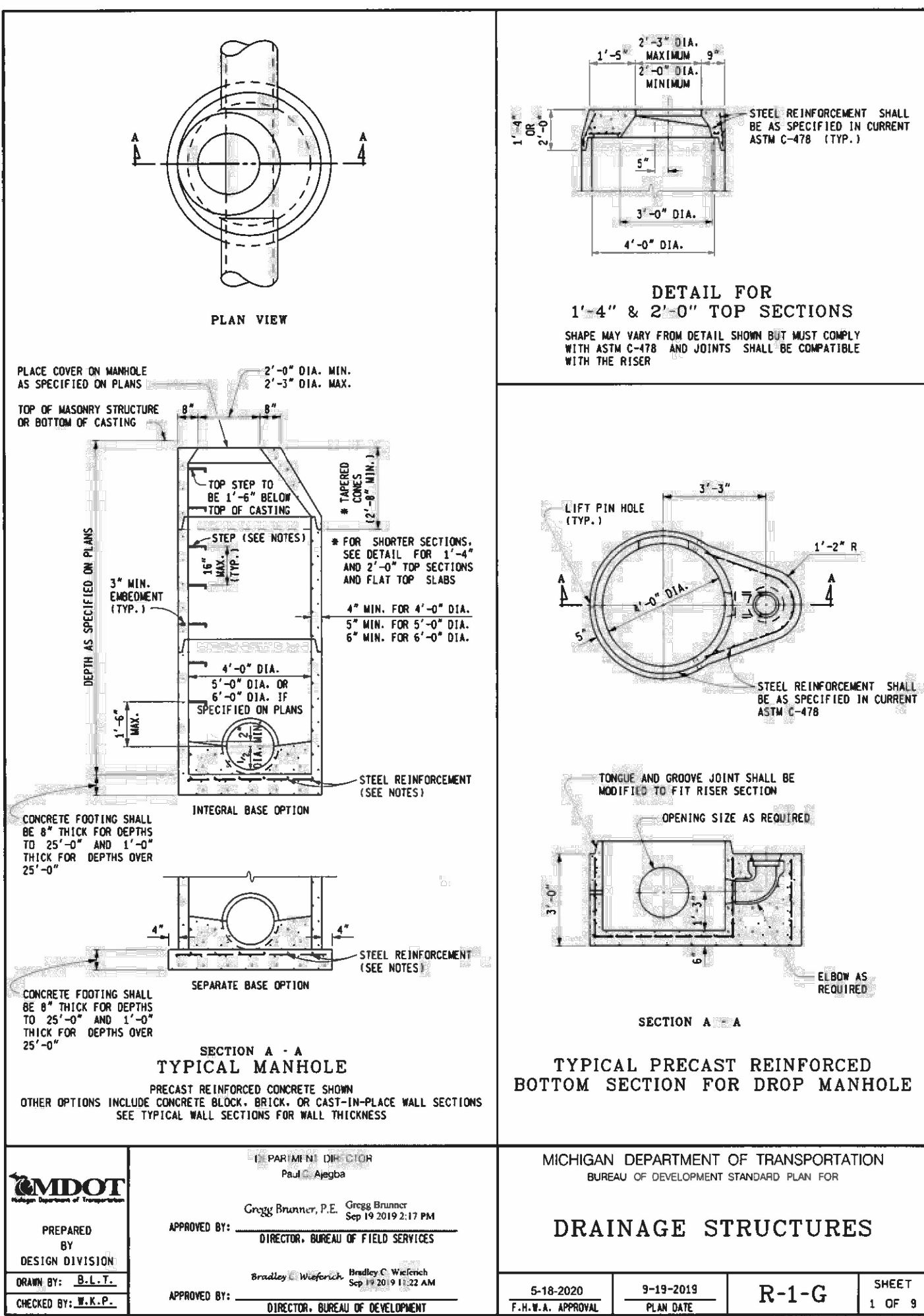
Michael Thompson
09/07/2022

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.
© COPYRIGHTED BY DAVID J. DIXON RA.

DATE: 09/07/2022	CEC PROJECT NO.: 323-355
DRAWN BY: HYC	CHECKED BY: KPB
SHEET TITLE: SITE DETAILS	
DRAWING FILES:	

SHEET NO.:

C801



REVISIONS		
NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		

C&E

Civil & Environmental Consultants, Inc.

11 MUNICIPAL DRIVE, SUITE 300
FISHERS, INDIANA 46038
317-670-8800 877-746-0749

DAVID J. DIXON RA

5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@genesishdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY

106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268

STATE OF MICHIGAN

MICHAEL A. THOMPSON II
ENGINEER
NO. 6201062541

Michael Thompson
09/07/2022

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREON ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.

© COPYRIGHTED BY DAVID J. DIXON RA.

DATE: 09/07/2022

CEC PROJECT NO.: 323-355

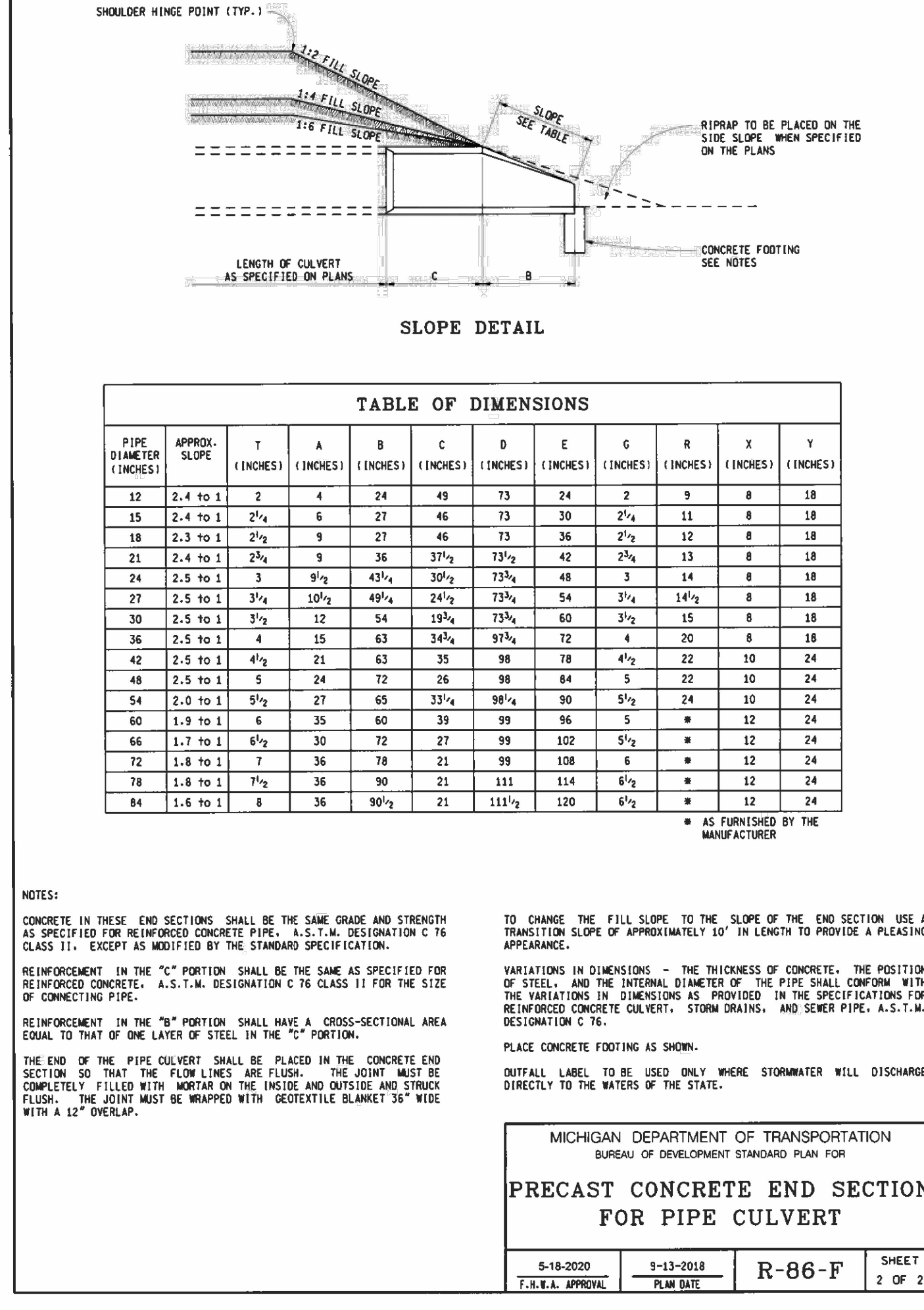
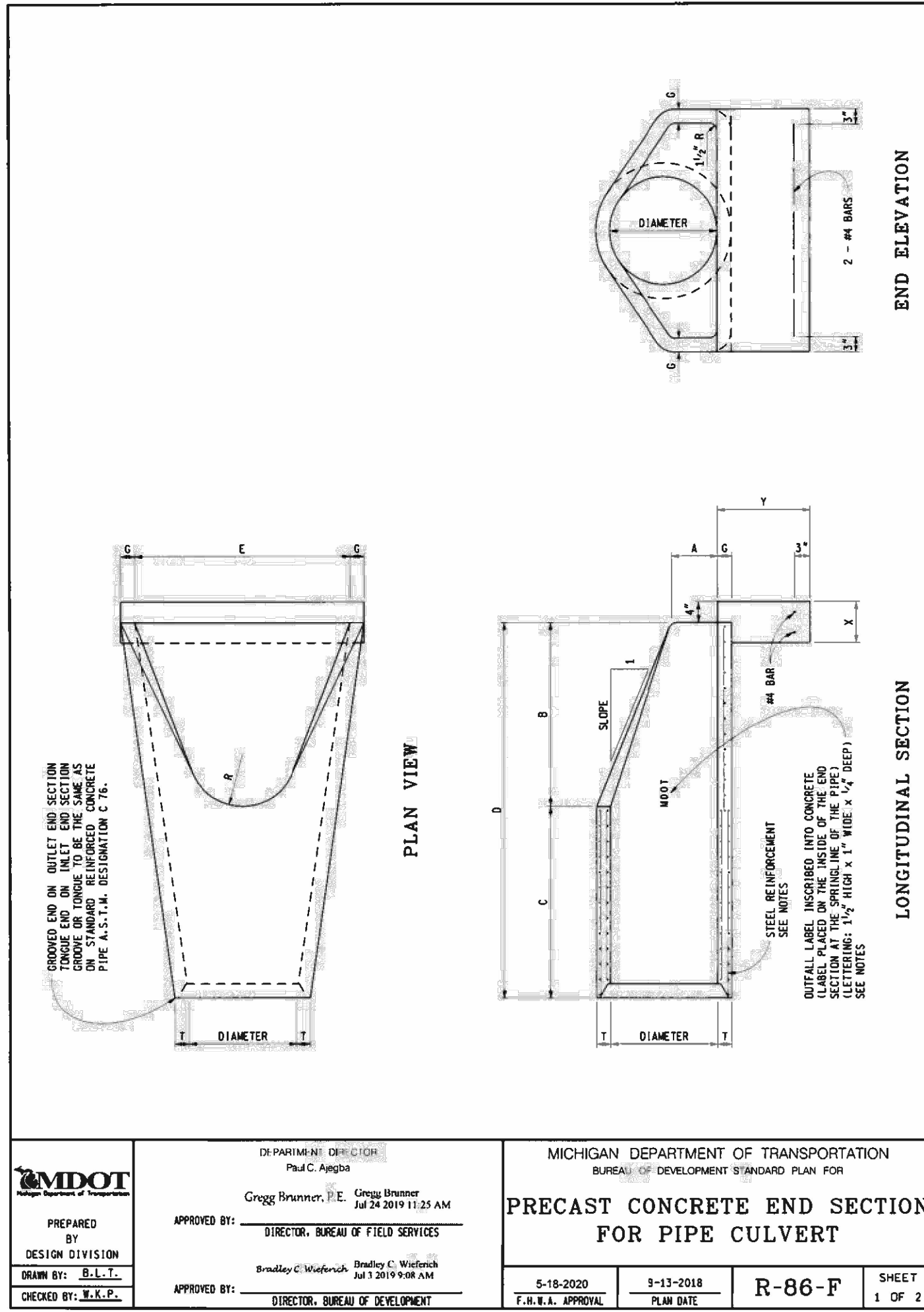
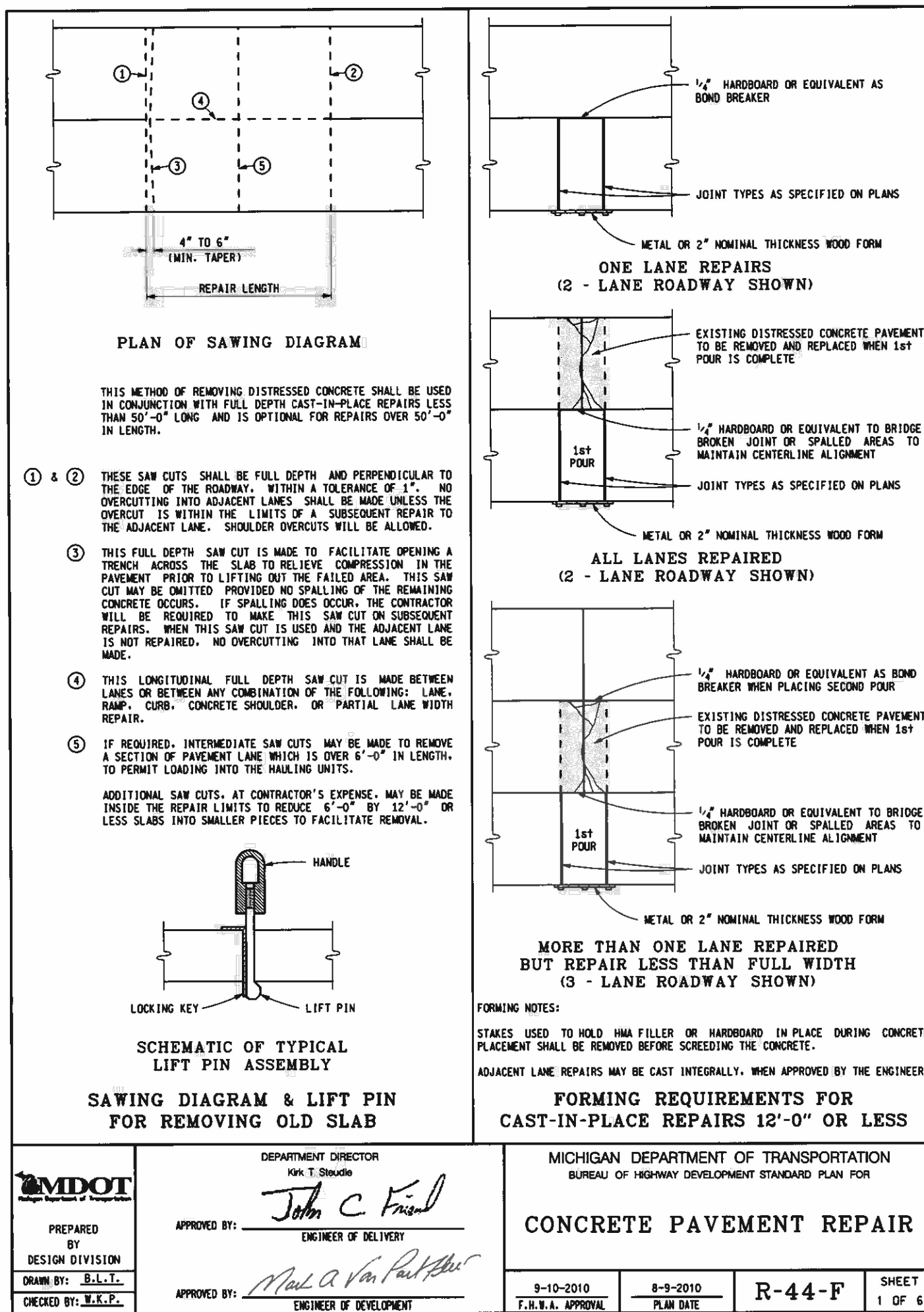
DRAWN BY: HYC

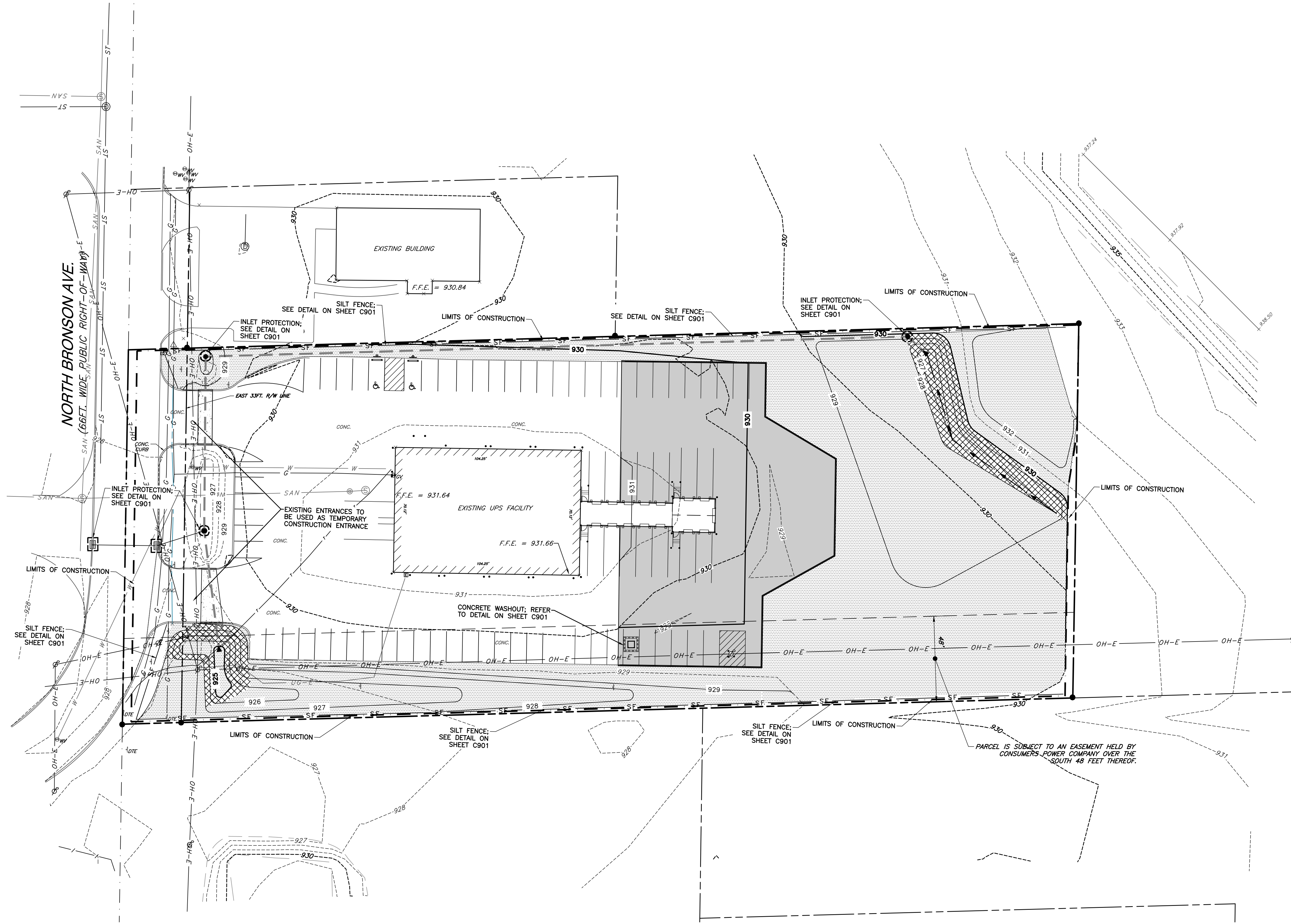
CHECKED BY: KPB

SHEET TITLE: SITE DETAILS

DRAWING FILES:

SHEET NO.: C802





- GENERAL EROSION CONTROL NOTES**
1. CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS, TREE PROTECTION AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
 2. CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
 3. LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS DONE, INSTALL SILT TRAPS, SILT FENCES, SLOPE DRAINS, TEMPORARY DIVERSIONS AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
 4. ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY. FOR LARGE PROJECTS, THIS SEEDING SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED.
 5. PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
 6. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
 7. ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
 8. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR.
 9. ONCE ONSITE EROSION AND SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
 10. THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
 11. EROSION CONTROL TO COMPLY WITH MICHIGAN 327 IAC, AND MICHIGAN STORMWATER QUALITY HANDBOOK.
 12. ALL PROPOSED EROSION AND SEDIMENT CONTROL SHALL BE IN CONFORMANCE WITH THE CITY OF BIG RAPIDS CONSTRUCTION STANDARDS, SECTION 02101, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE STANDARDS SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.
 13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY IDEM, MCSW, AND/OR THE TOWN INSPECTOR.
 14. THE CITY OF BIG RAPIDS RESERVES THE RIGHT TO REQUIRE ADDITIONAL ONSITE CONTROLS AS DEEMED NECESSARY TO MAINTAIN COMPLIANCE WITH 327 IAC 15-5 (RULE 5) AND THE TOWN'S STORMWATER MANAGEMENT ORDINANCE. ALL EROSION AND SEDIMENT CONTROL, BEST MANAGEMENT PRACTICES, AND POLLUTION PREVENTION MEASURES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MICHIGAN STORMWATER QUALITY MANUAL.
 15. PER CITY OF BIG RAPIDS CONSTRUCTION STANDARDS 02101, SECTION 3.05(B), PRIOR TO SEEDING, DISTURBED AREAS MUST BE GRADED TO FINAL GRADE AND RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL.
 16. TEMPORARILY SEED DISTURBED AREAS PER SEEDING CHARTS ON SHEET C901. STABILIZE SOIL TO BE LEFT INACTIVE FOR 15 DAYS OR MORE. REFER TO PERMANENT PLANTINGS ON SHEET C700 AND SEEDINGS CHARTS ON SHEET C901.
 17. SEE ALL APPLICABLE EROSION CONTROL DETAILS ON SHEET C901

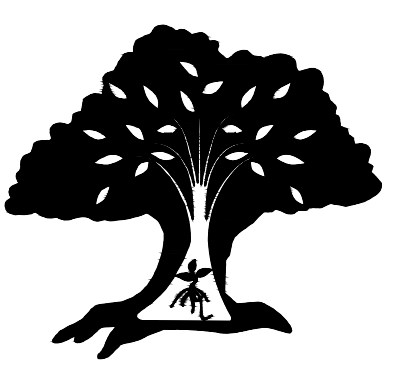
PROPOSED LEGEND:

- EROSION CONTROL BLANKET
- PERMANENT/ TEMPORARY SEEDING AREAS
- PROPOSED LIMITS OF DISTURBANCE
- SF PROPOSED SILT FENCE
- FS PROPOSED FILTER SOCK
- PROPOSED INLET PROTECTION
- PROPOSED CONCRETE WASHOUT

REVISIONS		
NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		



Civil & Environmental Consultants, Inc.
11 MUNICIPAL DRIVE, SUITE 300
FISHERS, INDIANA 46038
317-670-8800 877-746-0749



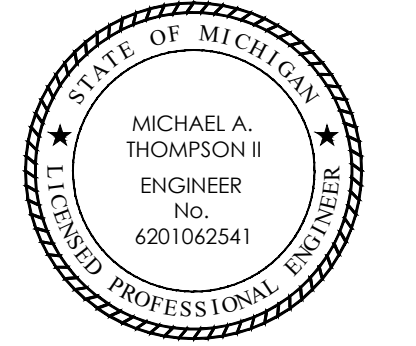
DAVID J. DIXON RA
5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@genesisdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY

106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268



Michael Thompson
09/07/2022

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.

© COPYRIGHTED BY DAVID J. DIXON RA.

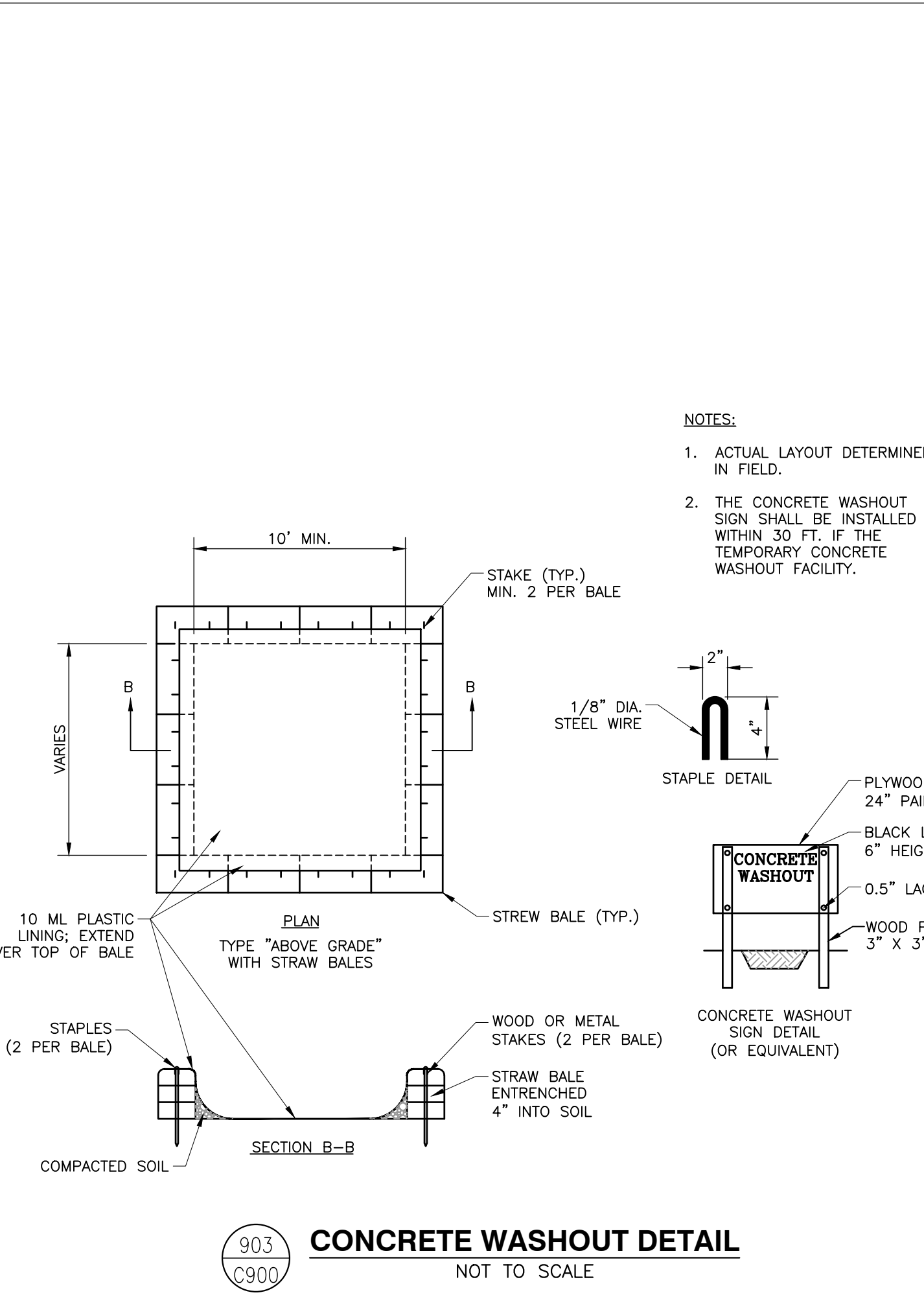
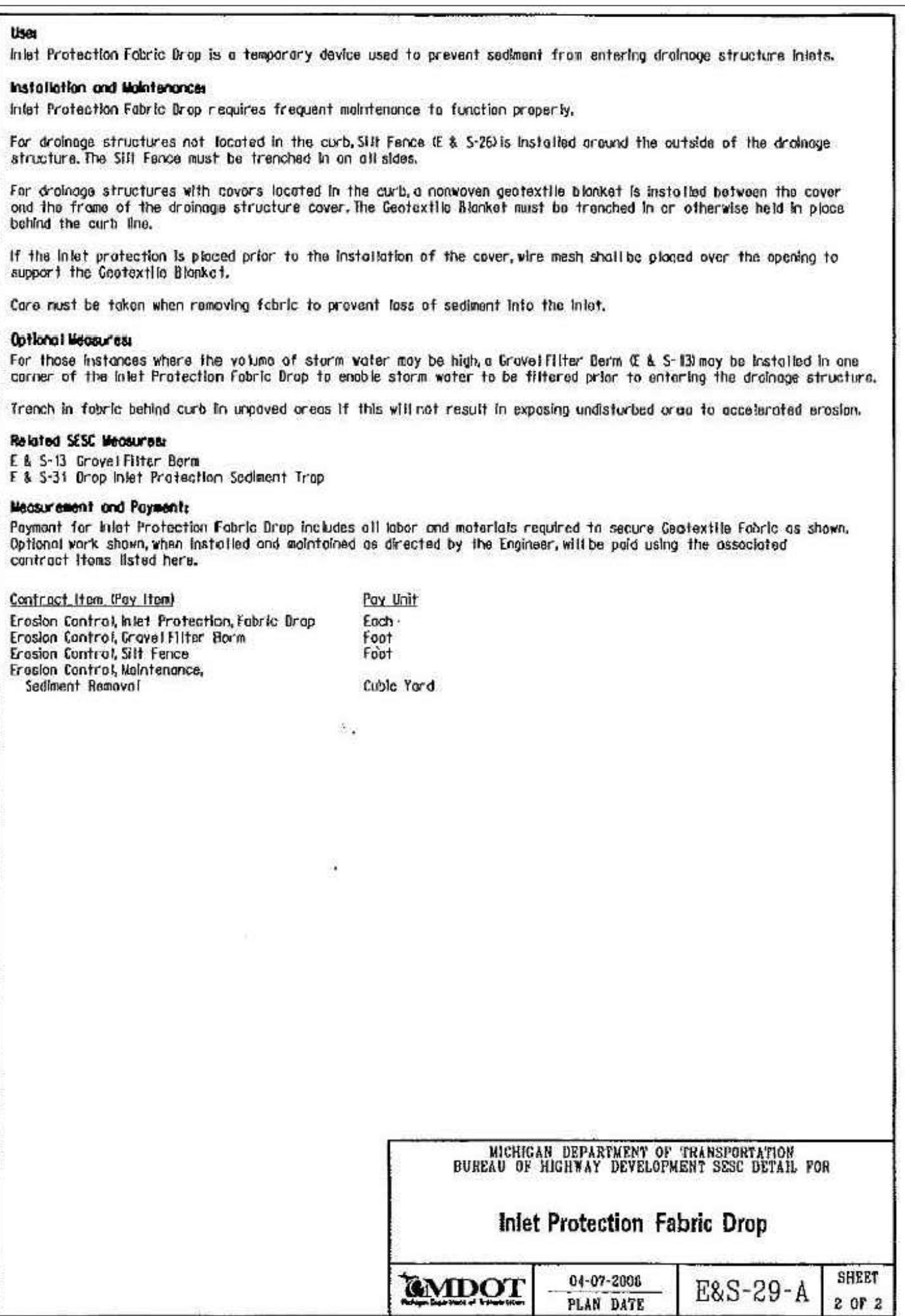
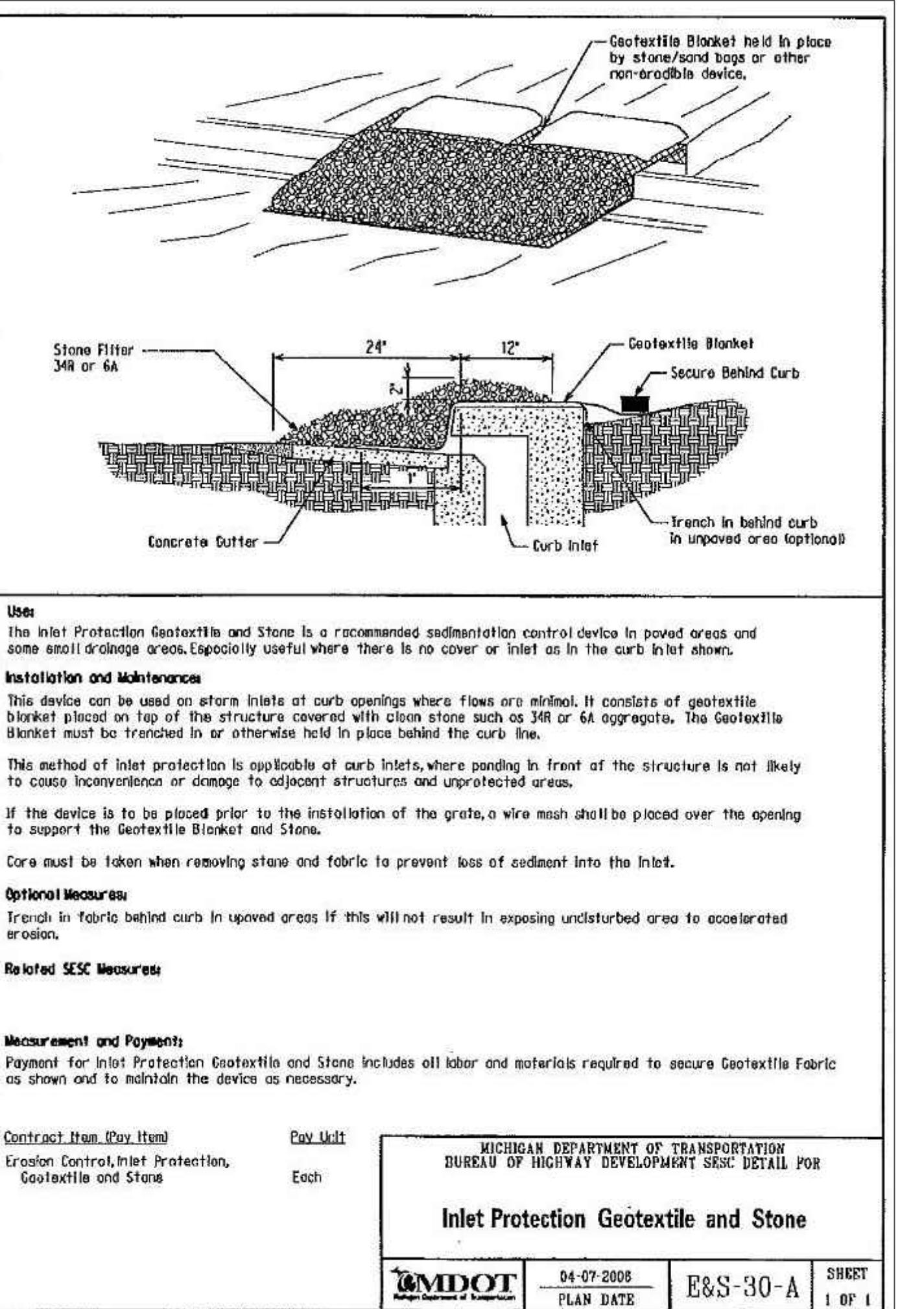
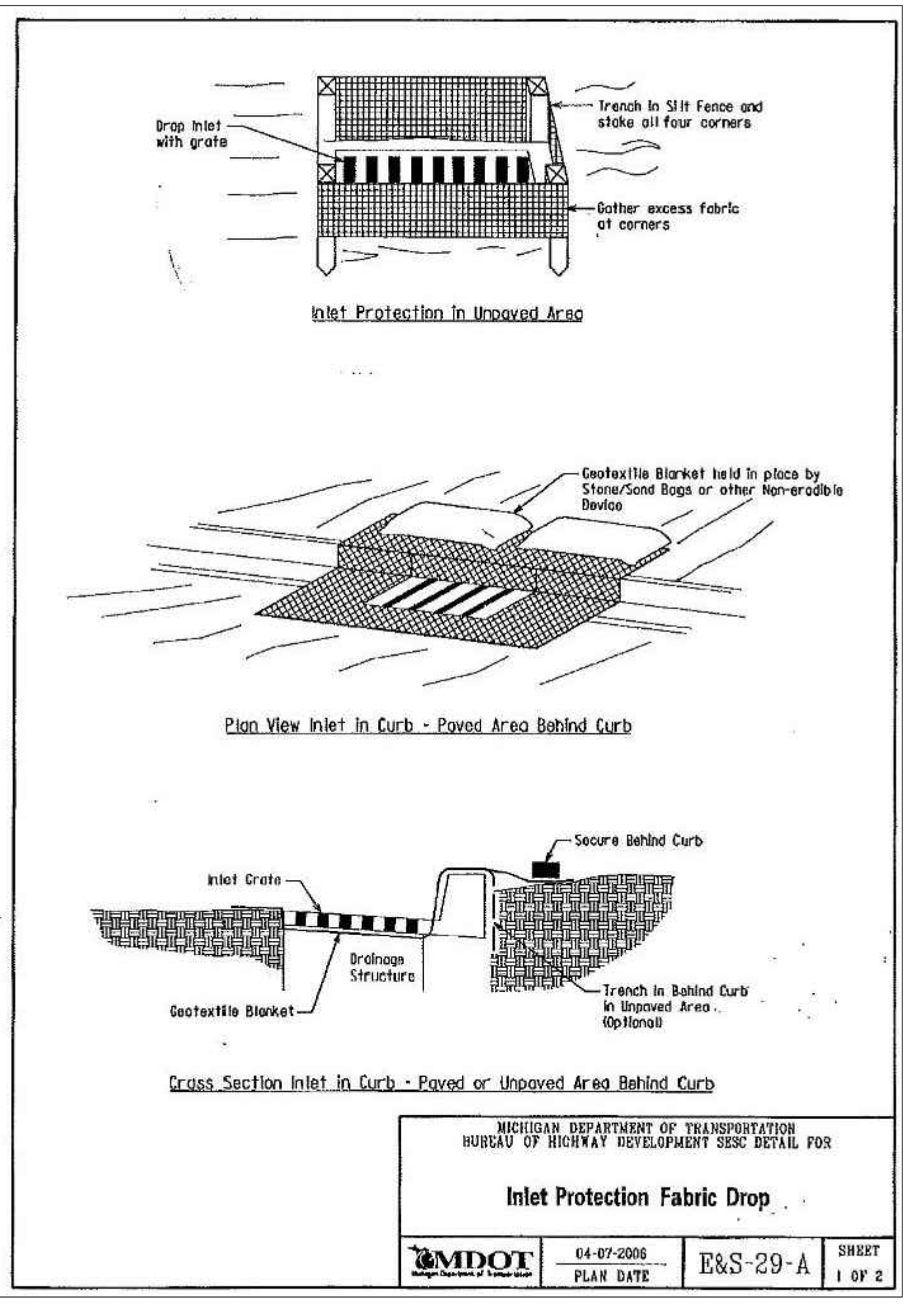
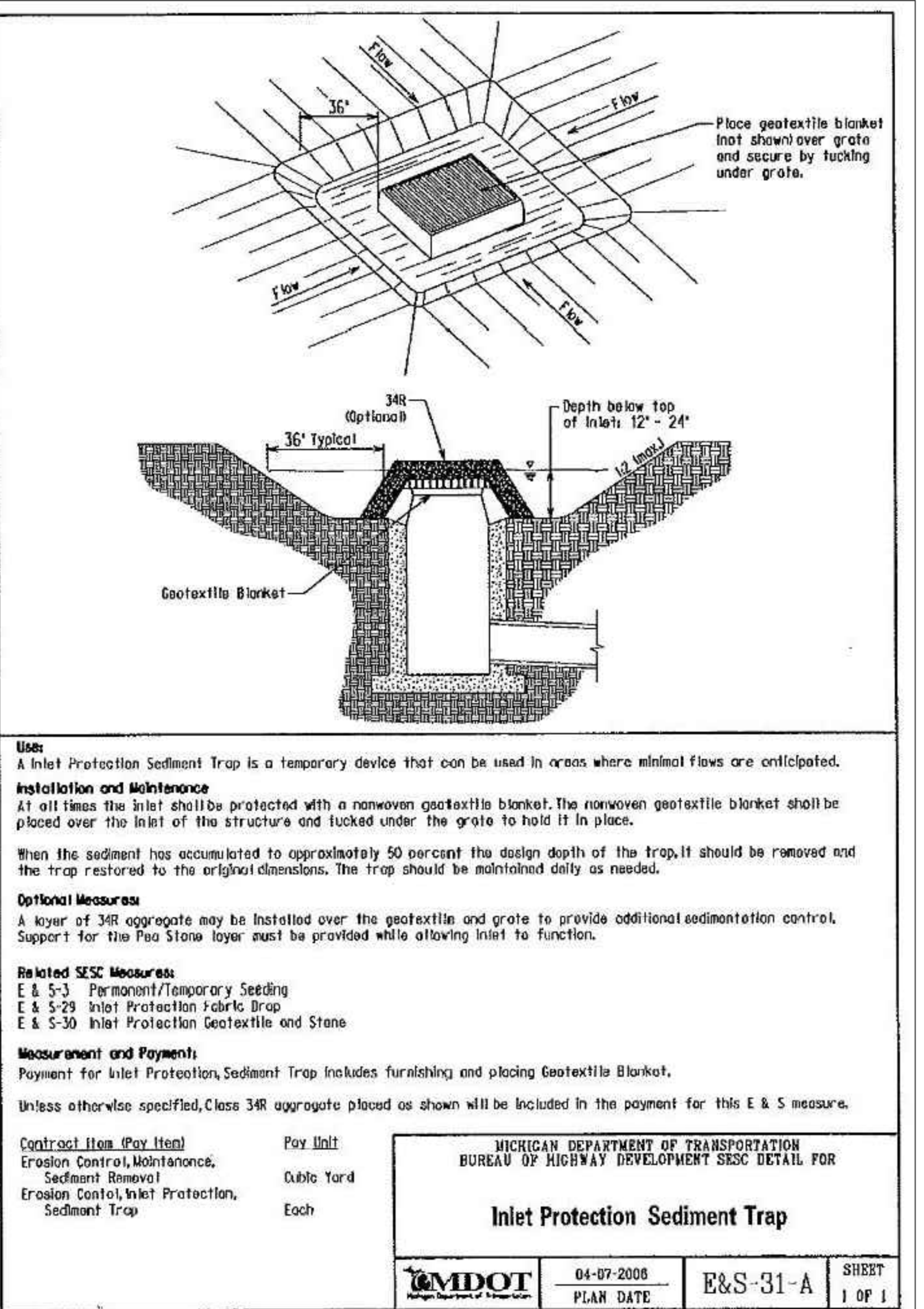
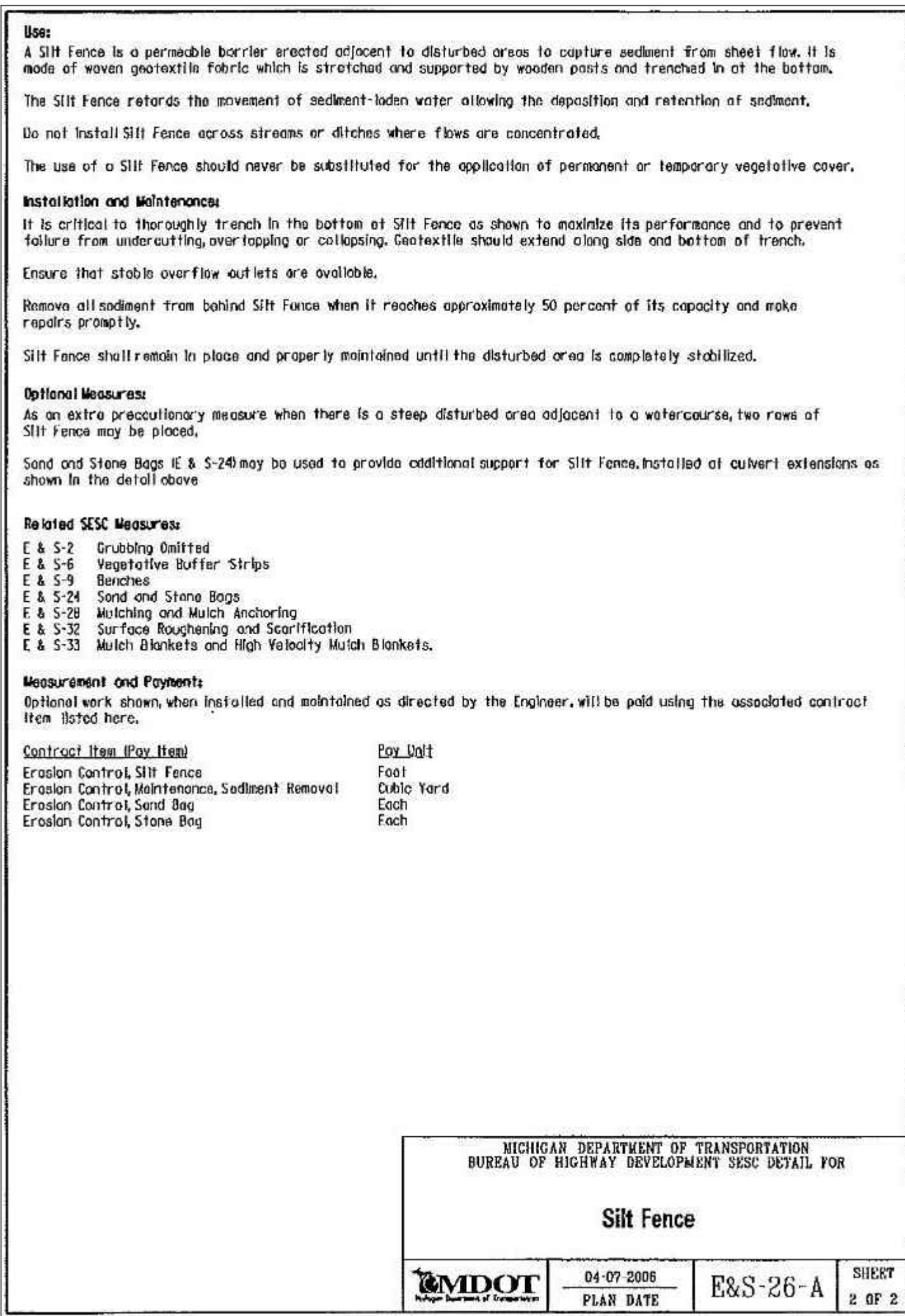
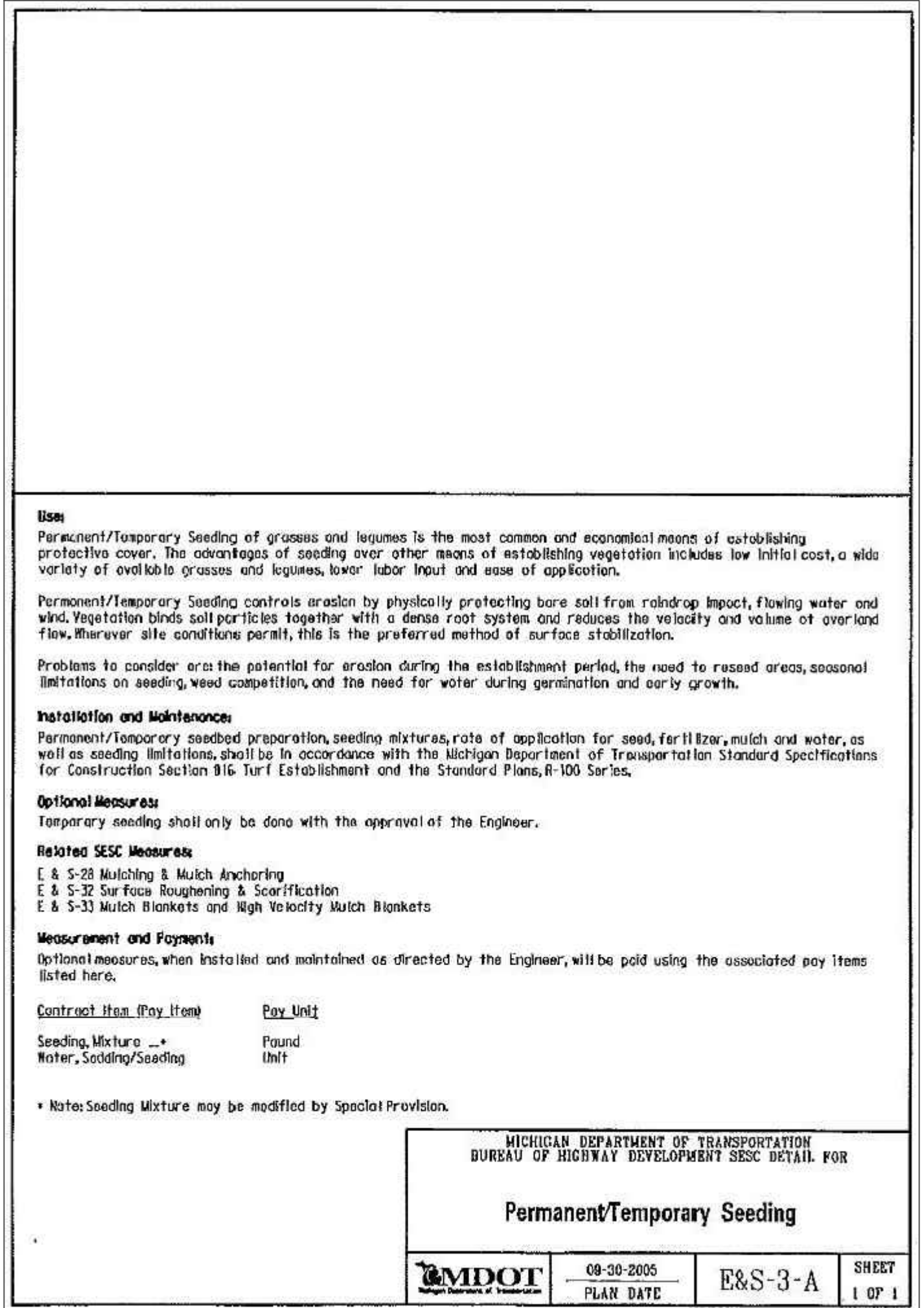
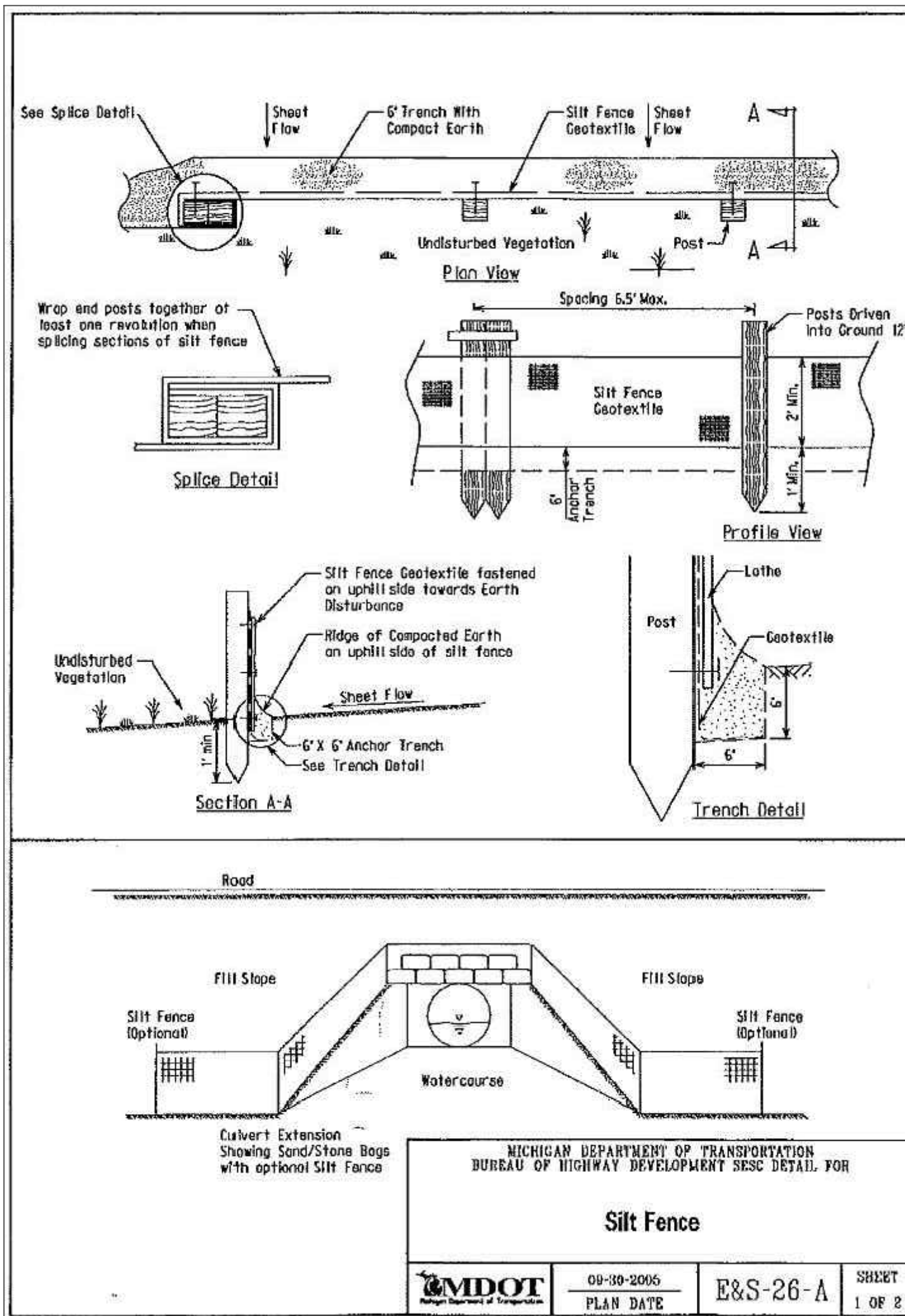
DATE: 09/07/2022 CEC PROJECT NO.: 323-355

DRAWN BY: KPB CHECKED BY: AEF

SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN

DRAWING FILES:

SHEET NO.: C900



REVISIONS		
NO.	DESCRIPTION	DATE/INT.
1		
2		
3		
4		

C&E
Civil & Environmental Consultants, Inc.
11 MUNICIPAL DRIVE, SUITE 300
FISHERS, INDIANA 46038
317-570-8800 877-746-0749

DAVID J. DIXON RA
5895 Courtyard Crescent
Indianapolis, Indiana 46234
Telephone: 317.423.8169
djdixon@gensisdesigninc.us

Architecture
Engineering

MDC ADDITION
UPS FACILITY
106 NORTH BRONSON AVENUE, BIG RAPIDS, MI 49307

UNITED PARCEL SERVICE
5380 WEST 81st STREET, INDIANAPOLIS, IN 46268

STATE OF MICHIGAN
MICHAEL A. THOMPSON II
ENGINEER
NO. 6201062541
Professional Engineer

Michael Thompson
09/07/2022

THIS DRAWING AND THE IDEAS, DESIGNS AND CONCEPTS CONTAINED HEREIN ARE THE EXCLUSIVE INTELLECTUAL PROPERTY OF DAVID J. DIXON RA, AND ARE NOT TO BE USED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF DAVID J. DIXON RA.
© COPYRIGHTED BY DAVID J. DIXON RA.

DATE: 09/07/2022 CEC PROJECT NO.: 323-355
DRAWN BY: KPB CHECKED BY: AEF
SHEET TITLE: STORMWATER POLLUTION PREVENTION DETAILS
DRAWING FILES:

SHEET NO.: C901

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Paula Priebe, Community Development Director
SUBJECT: Review of Revised Site Plans for a New Krist Oil Gas Station and Food Mart at 827 N State Street
DATE: October 19, 2022

Introduction

Applicant Krist Oil Company is applying for Site Plan Review for new gas station and food mart at 827 N State Street (PIN 17-10-278-008). Their proposal will utilize the property at 827 N State St as well as the adjacent parcel at 819 N State Street (PIN 17-10-278-009). Krist Oil Company will be utilizing the combined 0.688 acre site for their new development. This parcel is zoned C-3 Commercial and is located on the north side of Big Rapids.

A Location Map and several images of the site are attached. See also the set of Site Plans included with the packet.

History

The Planning Commission held a first Site Plan Review on this project at the regular meeting on July 20, 2022. At that time the project was tabled until revised plans could be submitted which addressed a list of conditions the Commission had. The Minutes from the July 20, 2022 Meeting are attached for review. The Motion and list of conditions is included here:

Motion was made by Jacob Buse, seconded by Kate McLeod, to table the final decision on the State Plan Review for a new gas station and food mart at 827 N State Street (PIN 17-10-278-008) until a future meeting, based on several conditions that need further review. Revised plans are to be brought to a future meeting for review by the full Planning Commission at which time the issue will be taken off the table and a decision will be made.

The conditions are required to ensure public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by land use or activities and to ensure compatibility with adjacent land uses.

The conditions are as follows:

- 1. Bollard posts in front of the propane cages.**
- 2. New fire hydrant in the Right-of-Way along N State Street near the northeast corner of the building.**
- 3. Change material behind the building, next to the privacy fence, from mulch to stone.**
- 4. Permission from MDOT to connect into MDOT's stormwater system.**
- 5. Upon review and approval of the City's Engineering Firm, Fleis & VandenBrink, install speed deterrents in the alley.**
- 6. Where practical, install a fence to provide a buffer between the business and adjacent residential parcels.**

7. **Replace the proposed bike racks with “inverted U” or “post and ring” style racks, as required in Section 5.7:2(3) of the Zoning Ordinance.**
8. **Review the relocation of the utility pole to ensure service will not be disrupted.**
9. **Engineering review of the 45’ driveway approach to examine if approach could encroach more on the Applicant’s property instead of the alley right-of-way.**

Motion passed with all in favor.

Over the intervening months, the Applicant and their team have been revising the Site Plans and acquiring MDOT approval for the Stormwater connection.

Site Plan Review Process and Procedure

The Site Plan Review Application was received by the Community Development Department on June 29, 2022 and was deemed in compliance with Section 9.4. of the Zoning Ordinance which stipulates required Site Plan Review application materials. As required by Ordinance, Site Plan Reviews must go through a public hearing process. Notice was posted in the Big Rapids Pioneer on Wednesday, July 7, 2022 and sent to all property owners within 300 ft of the site.

Staff received revised site plans, dated 9/29/22, and thus the Site Plan Review for this project is returning to the Planning Commission under General Business, the Public Hearing being previously concluded, to be taken off the table and a decision made. Staff also sent notice to neighbors about the October meeting when the revised plans would be reviewed.

Revised Plans were shared with the Fire Marshal, the Public Works Department’s Engineering staff, the Building Official, and the Zoning Administrator for their review.

Public Safety – Review by the Fire Department found no issues with the revised plans.

Public Works - Plans were by Engineering Technician Matt Ruelle as regards infrastructure connections and stormwater. He found that all calculations and design looks good. The concern that they want to discharge into MDOT’s storm system is ameliorated by the approval from MDOT that the Stormwater Permit will be approved when Krist owns the property.

Regarding the speed through the alley: it was the consensus of City Public Works staff and the City’s Engineering Consultants that a curb island and/or fence along the alley would reduce speeds. An exit to the alley is needed for traffic, but keeping that exit narrow will reduce speeds. The landscape island should have curb on both sides. They expressed that extending the fence north into the curb island could also be a further speed deterrent.

Zoning – Plans were reviewed by the Community Development Director as to their standings as regards the Zoning Ordinance, reviewing the plans for compliance with the Ordinance as regards setbacks, parking spaces and drive lanes, buffer zones, landscaping, lighting, etc. Zoning notes on the plans are detailed below:

- The Revised Site Plan meets the Zoning Ordinance requirements for parking spaces for vehicles and bicycles, landscaping,

- **Site Lighting:** The Application included the required Photometric Plan, which meets the required brightness levels. There is some concern that the lighting is directed appropriately and shielded to buffer light from negatively impacting surrounding residential areas, particularly around the Diesel Canopy which has the nearest proximity to a residential home. The Revised Site Plans include an 8 foot tall fence along the alley next to the Diesel Canopy which should reduce light spillover into the residential zone from this brightest area.
- **Buffer Zones:** When adjacent properties have different Zoning Districts, the Ordinance has standards for Minimum Buffer Zones to alleviate conflict between uses, found in Section 8.3 of the Zoning Ordinance. The Applicant is a C-3 which is a Level 3, and the neighbors are R-1 which is a Level 1. When a Level 3 site is adjacent to a Level 1 site, the Ordinance requires an A Type Landscape Buffer or a 6 foot high wall/fence. The intent of these Buffer Zones is to “sufficiently screen the parking lot, vehicle headlights, loading zones, outdoor display signs, storage areas, and use”. While the landscaping proposed for the new curb island along the alley included in the Revised Site Plans does not meet the standards of A Type, it is at Planning Commission discretion to approve the compromise or to require taller landscape screening.

Criteria for Review of Site Plan Review Applications

Section 9.6 of the Zoning Ordinance sets criteria for reviewing Site Plan Review applications:

- 9.6:1 That there is a proper relationship between the existing streets and highways within the vicinity and proposed deceleration lanes, service drives, entrance and exit driveways and parking areas to ensure the safety and convenience of pedestrian and vehicular movement. With respect to vehicular and pedestrian circulation, including walkways, interior drives, and parking, the site shall be developed so that access points, general interior traffic circulation, pedestrian circulation, and parking areas are safe and convenient and, insofar as practicable, do not detract from the design of the proposed buildings and existing structures on neighboring properties.
- 9.6:2 All elements of the site plan shall be harmoniously and efficiently organized in relation to the topography, the size and type of the lot, the character of adjoining property, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this Ordinance.
- 9.6:3 That as many natural features of the landscape shall be retained as possible where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes and where they assist in preserving the general appearance of the neighborhood. The landscape shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal, and by topographic modifications which will result in maximum harmony with adjacent areas.
- 9.6:4 That any adverse effects of the proposed development and activities emanating there from which affect adjoining residents or owners shall be minimized by appropriate screening, fencing, landscaping, setback and location of buildings, structures and entryways. All loading and unloading areas and outside storage areas, including areas for the storage of refuse, which face or are visible from residential districts or public thoroughfares, shall be screened by a vertical screen consisting of structural or plant materials no less than six (6) feet in height.
- 9.6:5 That the layout of buildings and improvements will minimize any harmful or adverse effect which the development might otherwise have upon the surrounding neighborhood. Physical

improvements including sidewalks, drives and parking areas shall be built to adequate standards to minimize premature deterioration. Sites at which hazardous substances are stored, used or generated shall be designed to prevent spill or discharges to the air, surface of the ground, groundwater, streams, drains or wetlands. Secondary containment for above ground storage of hazardous material shall be provided.

9.6:6 That all provisions of all local ordinances, including the City Zoning Ordinance, are complied with unless an appropriate variance therefrom has been granted by the Zoning Board of Appeals.

Planning Commissioners are encouraged to review the Application against the Criteria in Section 9.6 to decide if they find it meets or fails to meet them. These Criteria shall be used to decide the Action taken by the Planning Commission.



Action

Three options lay before the Planning Commission regarding Site Plan Review Applications: Approval, Denial, or Approval with Conditions. Explanations and sample motions are below.

Approval

An approval motion is appropriate when the Application meets the Standards of the Zoning Ordinance and approves the Application. Sample motion:

“I move that the Site Plan Review Application for a new gas station and food mart at 827 N State Street (PIN 17-10-278-008), be approved, because it meets all of the Criteria for Review set in Section 9.6 of the Zoning Ordinance.”

Approval with Conditions

An approval with conditions motion is appropriate when the Application meets the Standards of the Zoning Ordinance, but the Planning Commissioners believe a few minor conditions or alterations are required. This motion approves the Application contingent upon the listed conditions. Sample motion:

“I move that the Site Plan Review Application for a new gas station and food mart at 827 N State Street (PIN 17-10-278-008), be approved with conditions. The Application meets

the Criteria for Review set in Section 9.6 of the Zoning Ordinance, but conditions are required to (*select from the relevant reasons below*)

- (1) Ensure that public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity.
- (2) Protect the natural environment and conserve natural resources and energy.
- (3) Ensure compatibility with adjacent uses of land.
- (4) Promote the use of land in a socially and economically desirable manner.

The following conditions are required to address this need: (*list conditions [such as requiring additional permits, revising plans to show needed changes, demonstrating adequacy of the stormwater detention facilities, among others] here*).

A revised, dated site plan and documents addressing the above shall be submitted for staff approval within 60 days.”

Denial

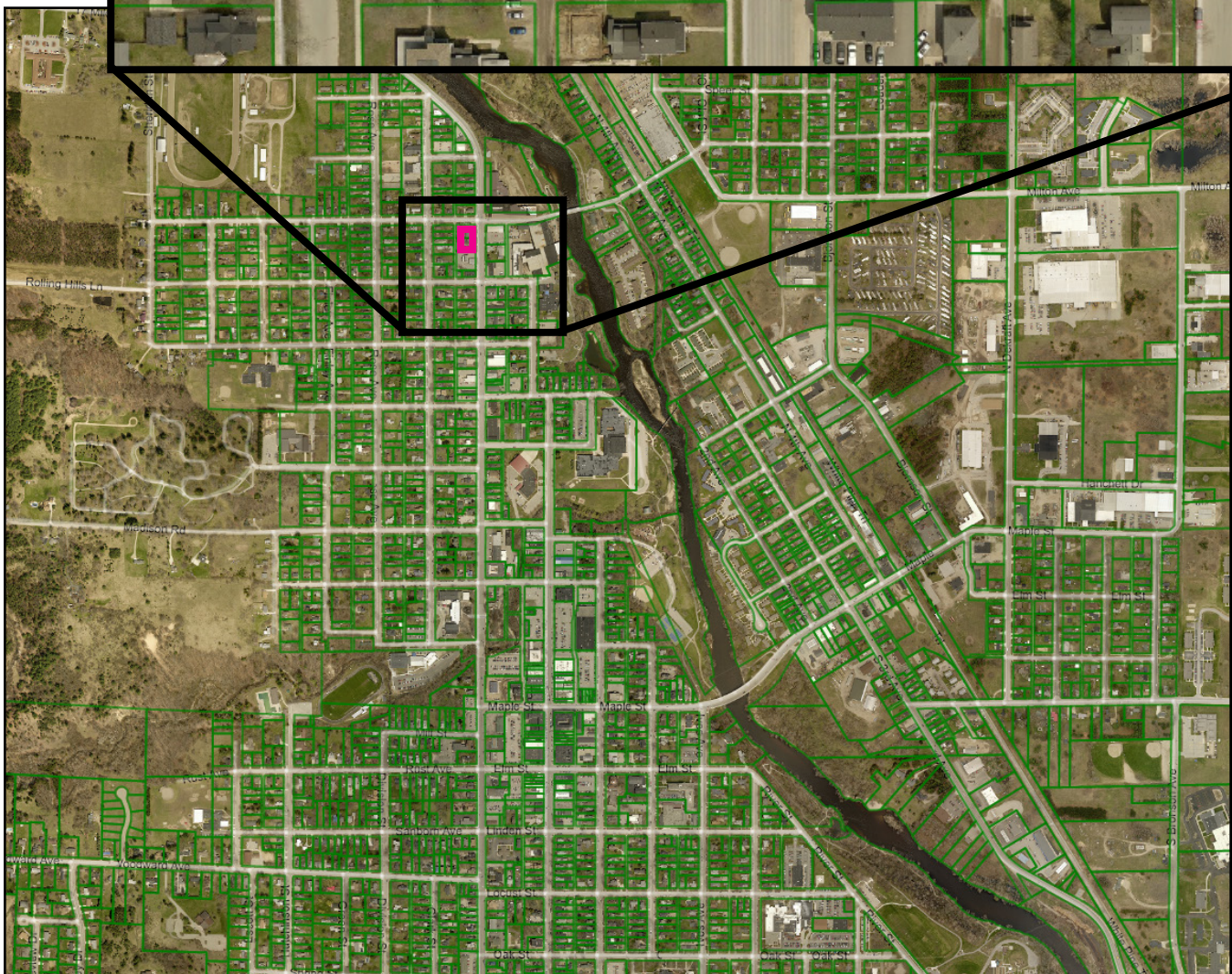
A denial motion is appropriate when the Application fails to meet the Standards of the Zoning Ordinance and ends the application process. Sample motion:

“I move to deny Site Plan Review Application for a new gas station and food mart at 827 N State Street (PIN 17-10-278-008), because it does not meet Criteria 9.6:X of the Zoning Ordinance. (*Fill in the X with which number Criteria the application does not meet.*)”

Recommendation

Staff recommends **approval** of the Site Plan Review Application for a new gas station and food mart at 827 N State Street (PIN 17-10-278-008), as the revised plans meet the Criteria for Review found in Section 9.6.6 of the Zoning Ordinance

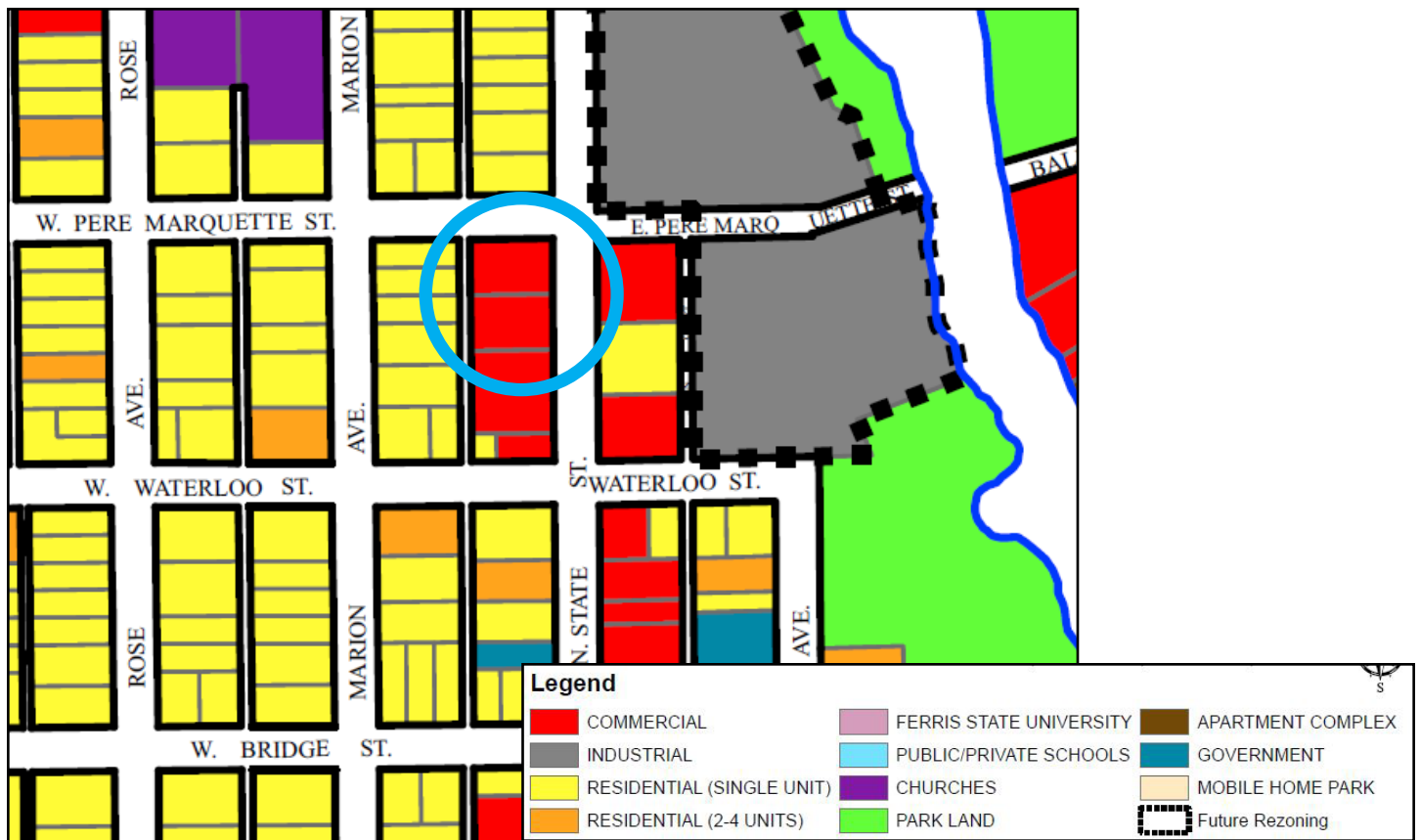
Location Maps



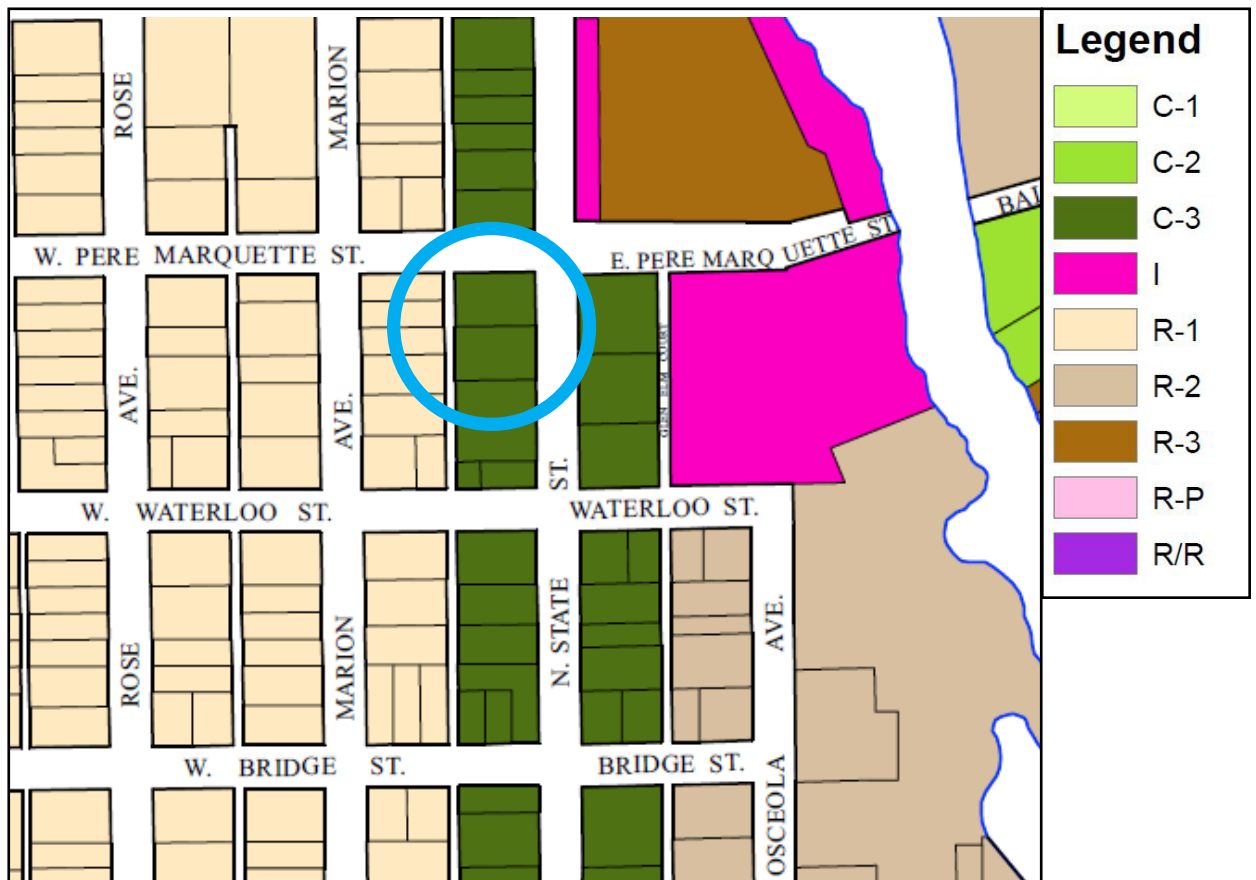
Aerial Imagery



Excerpt from Future Land Use Map



Excerpt from Zoning Map



Existing site conditions from across N State Street, looking west.



Existing site conditions, from across W. Pere Marquette St, facing south.





Existing site conditions, from N State St,
facing northwest.



Existing site conditions, from rear along
alley, facing north.

Existing neighboring site conditions, from rear of site along alley, facing northwest.



Existing site conditions, from W Pere Marquette St, rear along alley, facing southeast.





**CITY OF BIG RAPIDS
DEPARTMENT OF COMMUNITY DEVELOPMENT**

SITE PLAN REVIEW APPLICATION

APPLICANT NAME: Krist Oil Company, Inc.

APPLICANT ADDRESS: 303 Selden Road, Iron River, MI 49935

APPLICANT PHONE NUMBER: 906.265.6144 | Email krist@kristoil.com

PROJECT TITLE: Krist Food Mart

PROJECT ADDRESS/LOCATION: 827 North State Street

SUBJECT PROPERTY OWNER: See Attached

LEGAL DESCRIPTION OF PROPERTY (attach separate sheet) See Attached

SUBJECT PROPERTY ZONING: C-3 **SITE SIZE (ACRES):** 0.70

LIST ALL REQUIRED STATE AND FEDERAL PERMITS ON SEPARATE SHEET

In compliance with Section 9.4 of the City of Big Rapids Zoning Ordinance, twelve copies of a complete proposed site plan must be submitted to the Department of Community Development, a minimum of twenty one days prior to the Planning Commission hearing date. Failure to submit complete plans, a completed application form and filing fee may result in the site plan review hearing being delayed.

SITE PLAN INFORMATION REQUIREMENTS

TWELVE COPIES (12) of the proposed site plan, drawn on 24" x 36" paper

SCALE OF 1" = 20' for sites up to three acres and **1" = 100'** for sites over three acres

LEGEND including north arrow, scale, date of preparation and name, address and telephone number of individual or firm preparing the plan

SEAL of professional architect, engineer or surveyor preparing the plan

LOCATION MAP indicating relationship of the site to surrounding land use

LOT LINES together with dimensions, angles and size correlated with the legal description, which is tied to existing monumentation

TOPOGRAPHY of the site in two foot contour intervals

NATURAL FEATURES such as wood lots, streams, rivers, lakes, wetlands, unstable soils and similar items

MAN MADE FEATURES within 100 feet of the site

BUILDING SIZE, height, finish floor and grade line elevations, yard setbacks and square footage. Front, side and rear elevations drawings of proposed structures.

FLOOR PLAN of structures showing existing and proposed uses (used to verify gross vs. usable floor areas and principal vs. accessory uses).

STREETS, driveways, sidewalks and other vehicle or pedestrian circulation features upon and adjacent to the site shall be shown

PARKING SPACES, location, size and number, service lanes, delivery and loading areas

CROSS SECTIONS illustrating construction of drives and parking areas

LANDSCAPING, together with open spaces, screening, fences, walls and proposed alterations of topography or other natural features.

SERVICE DEMANDS from the community to support proposed operations on the site

EARTH CHANGE plans required by State law

SITE LIGHTING including location, intensity and orientation

SURFACE WATER DRAINAGE

UTILITY LOCATION and size for sanitary sewer, water, storm sewer, natural gas, electricity, telephone, coaxial cable, fiber optic, etc.

FIRE LANES

OUTDOOR STORAGE

TRASH RECEPTACLES

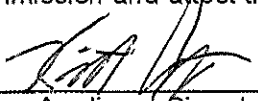
HAZARDOUS MATERIAL storage facilities, including type, quantity, location and secondary containment provisions

OTHER INFORMATION as required by the Plan Board

DIGITAL COPY submitted in anAutoCAD compatible format

SITE PLAN REVIEW FEE \$200

I have read the requirements of submittal and review of a site plan by the City of Big Rapids Planning Commission and attest that the provided site plan is complete:



Applicant Signature

6/29/2022

Date

Krist Oil Company, Inc.

Proposed Krist Food Mart

827 N. State Street

Big Rapids, MI 49307

Property Owners:

1. 827 N. State Street
North State Street, LLC
21241 Circle Avenue
Reed City, MI 49677
2. 819 N. State Street
Paul/Shanna/Henry Jr. Vanden Brook
17810 205th Avenue, Suite 1
Big Rapids, MI 49307

Legal Description of Property:

Lots 13, 14, 15, and 16, Block 5, French's Addition to the City of Big Rapids, Part of Section 10, T15N-R10W, City of Big Rapids, Mecosta County, Michigan

State and Federal Permits Required:

1. A driveway permit is required from the Michigan Department of Transportation which has already been submitted.

Paula Priebe

From: Craig Richardson <crichardson@wickwiresolutions.com>
Sent: Thursday, September 29, 2022 3:54 PM
To: Emily Szymanski
Cc: Paula Priebe; The Broker Joe; Joseph E. Quandt; Seth Miatech; K.C. Atanasoff; Krist Atanasoff
Subject: FW: [External Sender] Krist Oil - Big Rapids Permit No. 86077

Emily,

Please see email correspondence from MDOT approving the design. However, a permit cannot be issued until they own the property. This is a new requirement from MDOT as in the past they have issued permits to Krist not owning the property. This should complete addressing all the Planning Commission comments and department reviews should confirm we revised our design to meet their conditions. Please let us know if you have any questions, comments, or require additional information.

Craig A. Richardson, P.E.
906.284.3903

From: Fitzpatrick, Connor (MDOT) <FitzpatrickC1@michigan.gov>
Sent: Thursday, September 29, 2022 1:51 PM
To: Craig Richardson <crichardson@wickwiresolutions.com>
Cc: Heuker, Allen (MDOT) <HeukerA@michigan.gov>; Seth Miatech <smiatech@wickwiresolutions.com>; Cogger, David (MDOT) <CoggerD@michigan.gov>
Subject: RE: Krist Oil - Big Rapids Permit No. 86077

Craig,

The Michigan Department of Transportation has reviewed the entire permit package and found the designs for the stormwater, commercial driveway, and site plan to be acceptable by standards current to 9/29/2022. A permit can not be issued to the applicant unless the applicant is the owner of the property. Once Krist Oil Company Inc. owns the property described in permit #86077, a permit may be issued after bonding and insurance has been established. The existing permit will be placed on hold until Krist Oil Company Inc. acquires the property. The permit will be cancelled if no action is taken by 09/29/2023.

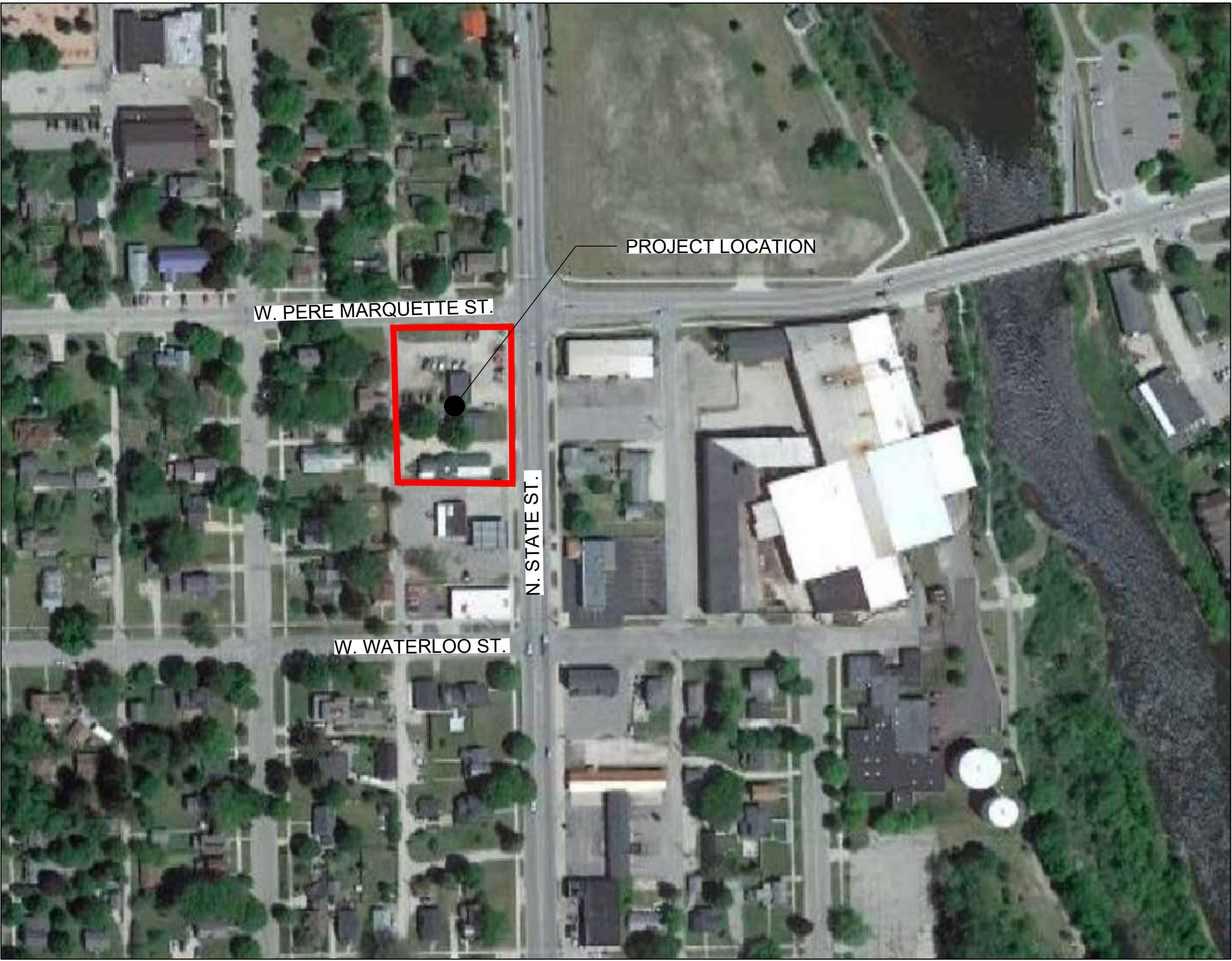
Thank you,

Connor Fitzpatrick
Utility Coordinator & Permits Engineer
Michigan Department of Transportation
Cadillac TSC
Phone: 616-202-8733

From: Fitzpatrick, Connor (MDOT)
Sent: Monday, September 26, 2022 4:47 PM
To: Craig Richardson <crichardson@wickwiresolutions.com>
Cc: Heuker, Allen (MDOT) <HeukerA@michigan.gov>; Seth Miatech <smiatech@wickwiresolutions.com>
Subject: RE: Krist Oil - Big Rapids Permit No. 86077

KRIST OIL COMPANY INC.

FOOD MART
827 N. STATE ST.
BIG RAPIDS, MICHIGAN
WICKWIRE PROJECT NO: 1030



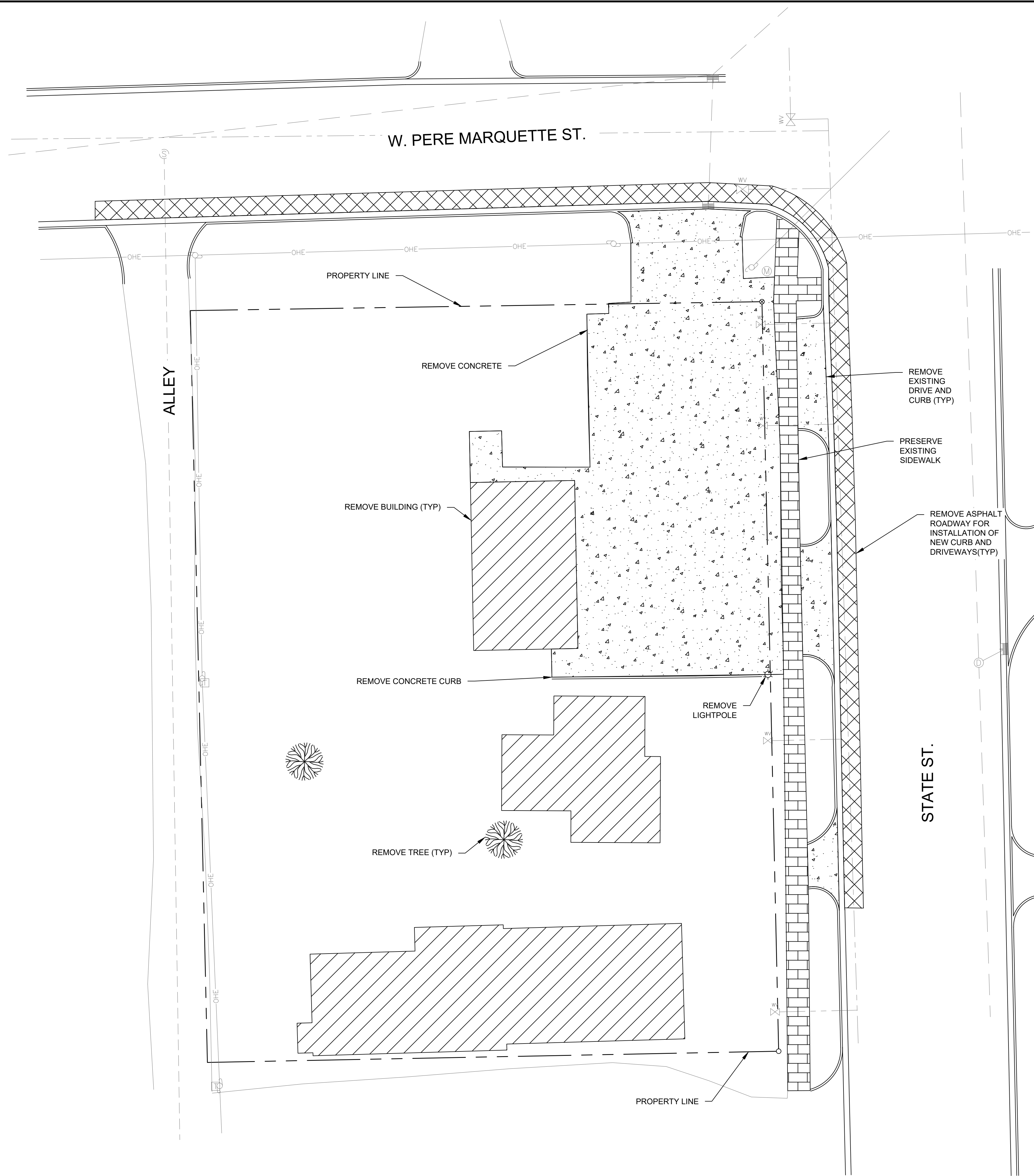
Sheet No.	Drawing No.	Description
1	01-G-01	COVER SHEET
2	02-C-01	EXISTING CONDITIONS AND REMOVAL PLAN
3	02-C-02	SITE PLAN
4	02-C-03	GRADING PLAN
5	02-C-04	STORMWATER AND UTILITY PLAN
6	02-C-05	ADJACENT PROPERTY PLAN
7	02-C-06	PHOTOMETRIC PLAN
8	02-L-01	LANDSCAPE PLAN
9	02-A-01	BUILDING ELEVATIONS
10	02-A-02	CANOPY ELEVATIONS
11	02-A-03	FLOOR PLAN
12	99-D-01	STANDARD DETAILS
Appendix		
		BOUNDARY AND TOPOGRAPHIC SURVEY

KRIST OIL COMPANY INC.
303 SELDEN ROAD
IRON RIVER, MI 49935
906.265.6144

WICKWIRE, P.C.
715 SELDEN ROAD
IRON RIVER, MI 49935

DESCRIPTION PREPARED:
LOTS 13-16, BLOCK 5, FRENCH'S ADDITION TO THE CITY OF BIG RAPIDS, PART OF SECTION 10, T.15N.-RR.10W., CITY OF BIG RAPIDS, MECOSTA COUNTY, MICHIGAN.

					DWG. NO.
					01-G-01
	09/28/22	REVISED SITE PLAN REVIEW			
	07/01/22	SITE PLAN REVIEW			



Krist Food Mart
827 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

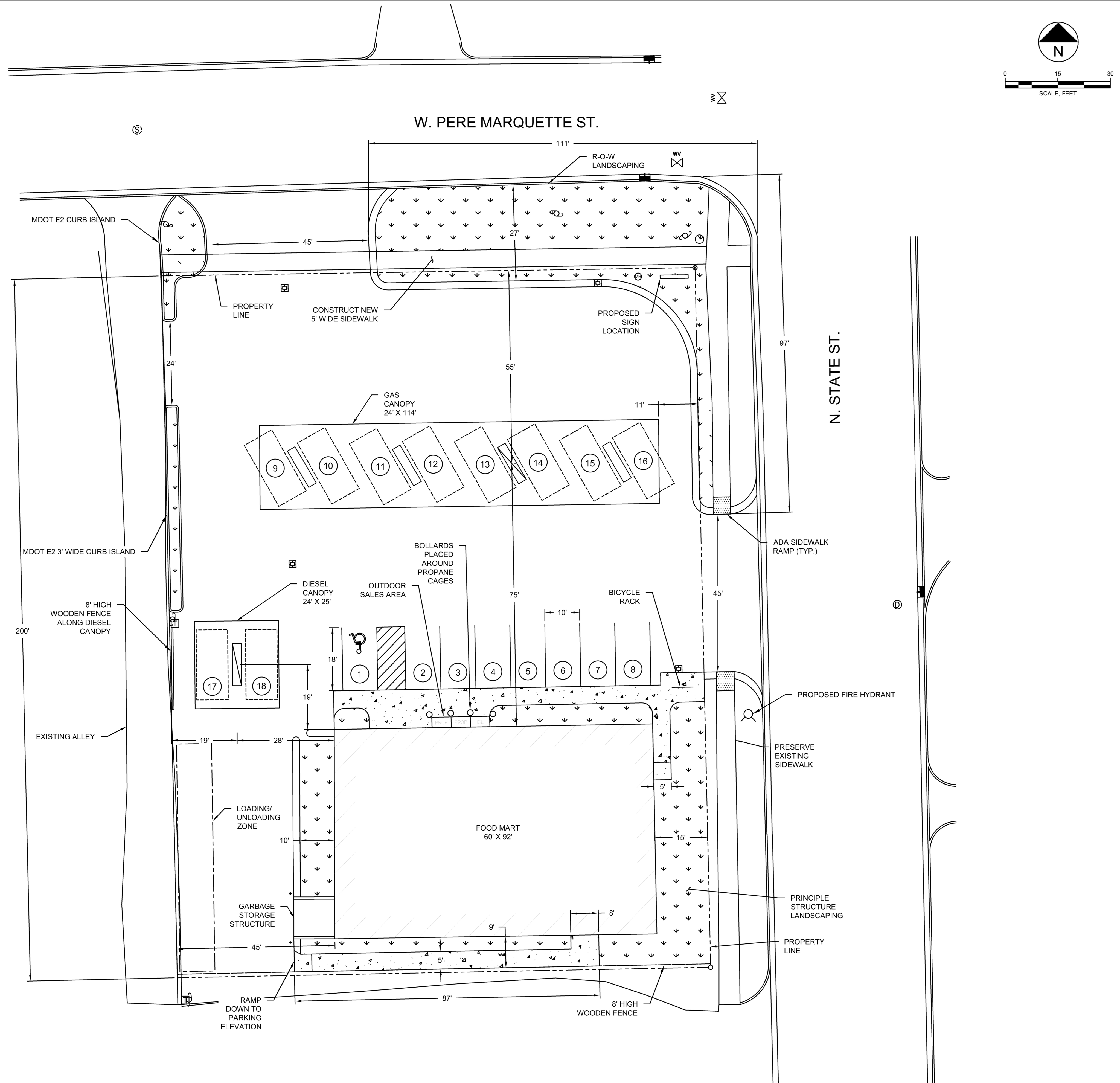
EXISTING CONDITIONS
AND REMOVAL PLAN

Attention:
0 1"
If this scale bar does not
measure 1" then drawing is
not original scale.

	07/01/2022
SITE PLAN REVIEW	
	09/28/2022
REVISED SITE PLAN REVIEW	

Designed By: JRR
Checked By: CAR
Drawn By: JRR
Approved By: CAR

DWG. NO.
02-C-01
SHEET 2



Krist Food Mart
827 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

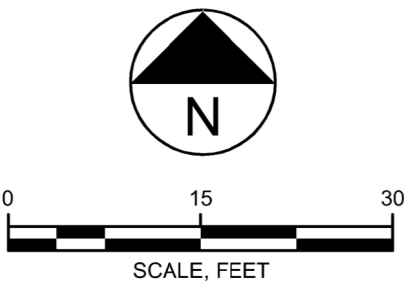
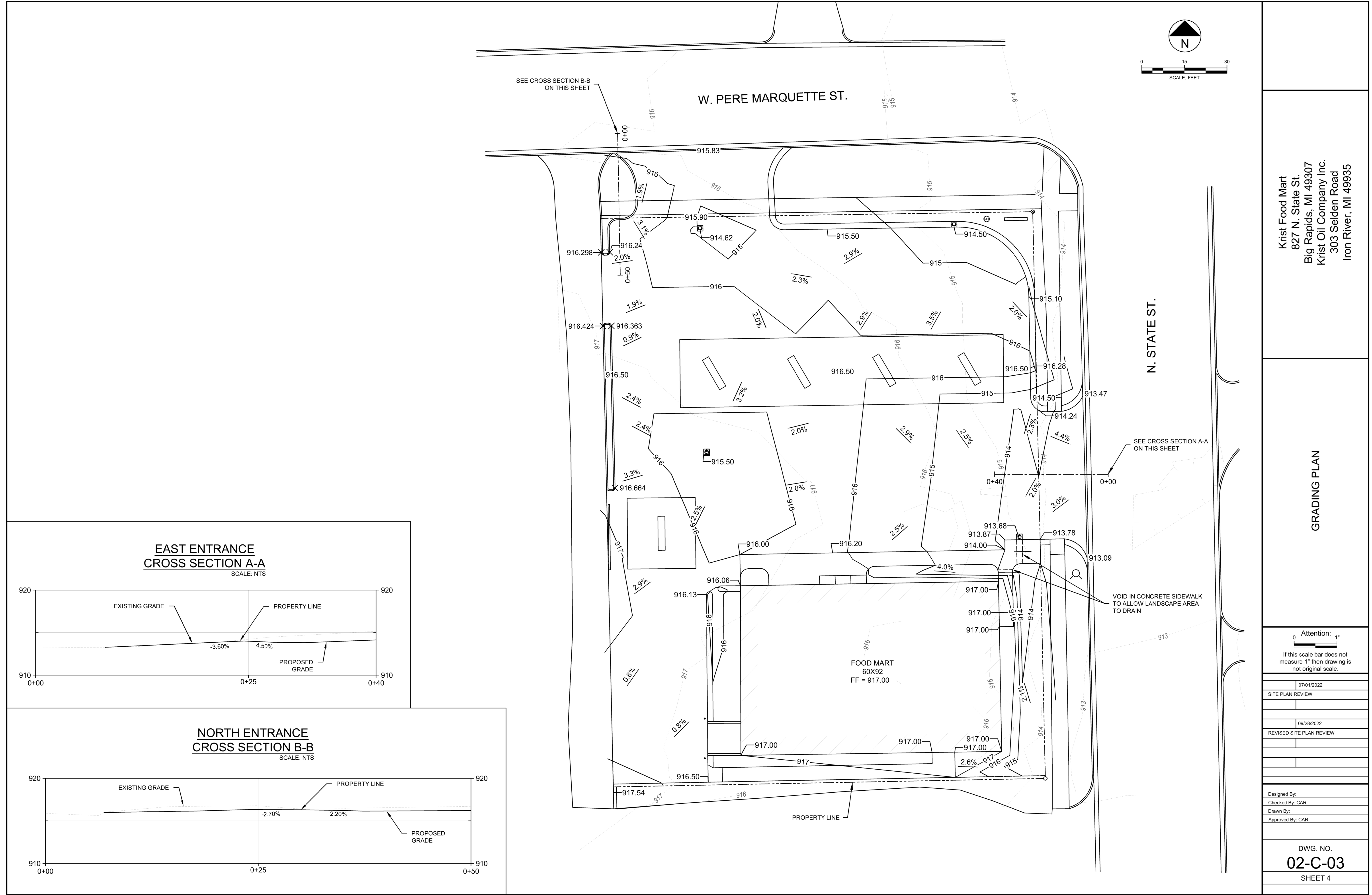
SITE PLAN

Attention: 1"
If this scale bar does not
measure 1" then drawing is
not original scale.

07/01/2022
SITE PLAN REVIEW
09/28/2022
REVISED SITE PLAN REVIEW

Designed By:
Checked By: CAR
Drawn By:
Approved By: CAR

DWG. NO.
02-C-02
SHEET 3



Krist Food Mart
827 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

GRADING PLAN

Attention: 1"
If this scale bar does not measure 1" then drawing is not original scale.

07/01/2022
SITE PLAN REVIEW
09/28/2022
REVISED SITE PLAN REVIEW
Designed By:
Checked By: CAR
Drawn By:
Approved By: CAR

DWG. NO.
02-C-03
SHEET 4

DETENTION CALCULATION SHEET

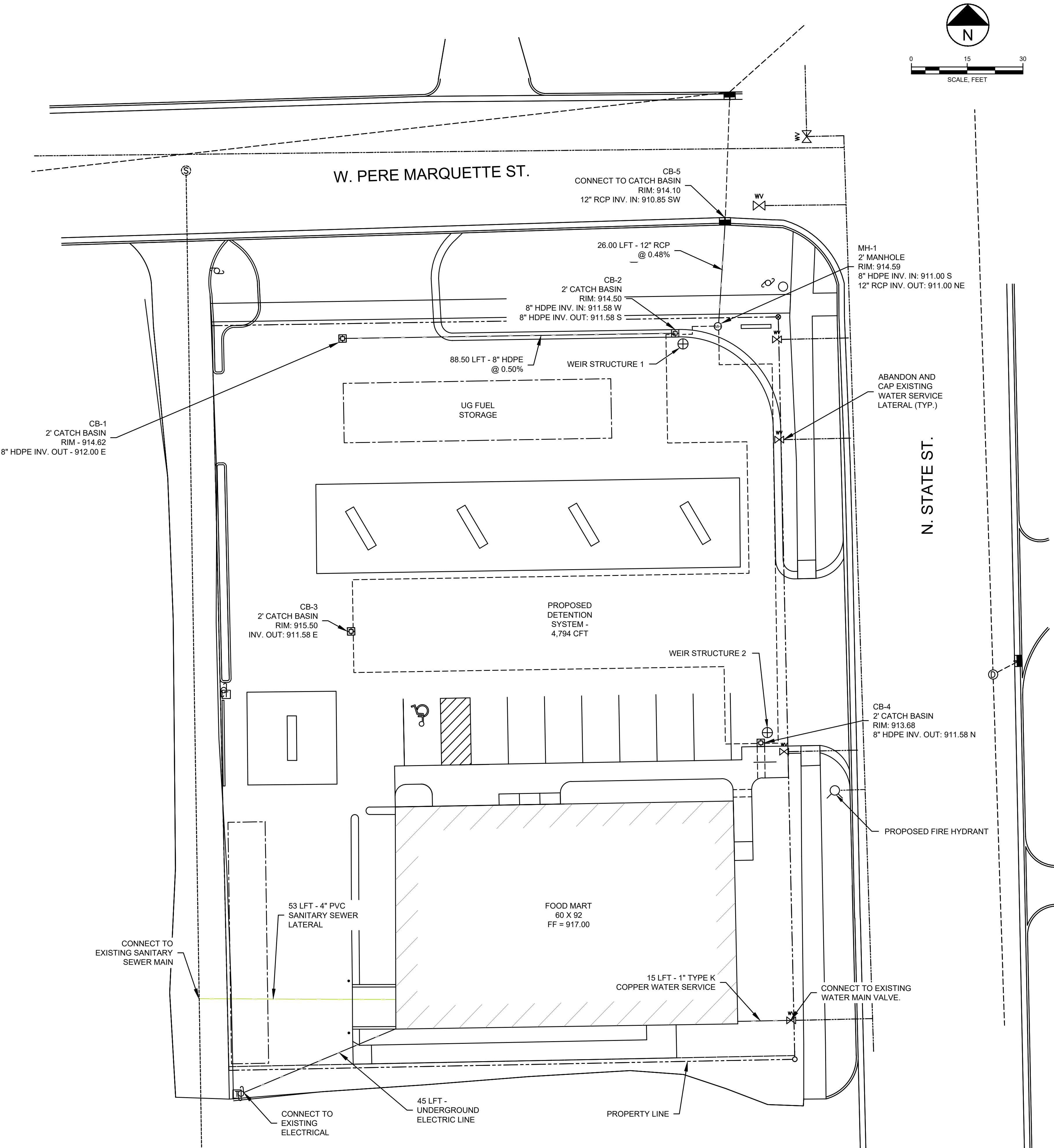
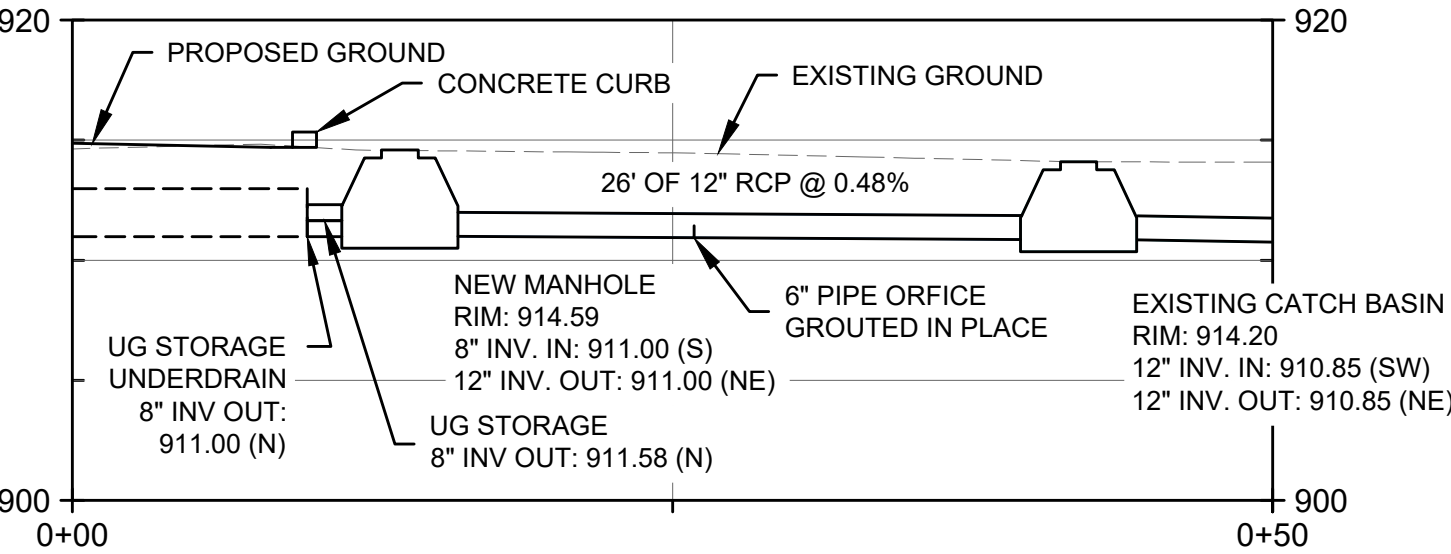
Name of development	Krist Food Mart			
Weighted C Value	(A)	0.87 (see attached calculation)		
Maximum Allowable Discharge	(B)	0.2 (10-year storm event) cfs		
Development Area	(C)	0.74	Acres	
Storm Recurrence Interval	25	Year		

Time (hour) (D)	Rainfall inch/hour (E)	I"C (E)*(A) (F)	Outlet CPS/ac (B)	Inflow (F)-(B) (G)	Storage (G)/12 (H)	Required Storage (D)*(C)*(H)
0.08	7.40	6.44	0.20	6.24	0.52	0.03
0.17	5.80	5.05	0.20	4.85	0.40	0.05
0.25	4.70	4.09	0.20	3.89	0.32	0.06
0.33	4.18	3.64	0.20	3.44	0.29	0.07
0.42	3.65	3.18	0.20	2.98	0.25	0.08
0.50	3.25	2.83	0.20	2.63	0.22	0.08
0.58	2.95	2.57	0.20	2.37	0.20	0.09
0.67	2.77	2.41	0.20	2.21	0.18	0.09
0.75	2.60	2.26	0.20	2.06	0.17	0.10
0.83	2.48	2.16	0.20	1.96	0.16	0.10
0.92	2.30	2.00	0.20	1.80	0.15	0.10
1.00	2.12	1.84	0.20	1.64	0.14	0.10
1.25	1.78	1.55	0.20	1.35	0.11	0.10
1.50	1.55	1.35	0.20	1.15	0.10	0.11
2.00	1.25	1.09	0.20	0.89	0.07	0.11
2.50	1.06	0.92	0.20	0.72	0.06	0.11
3.00	0.88	0.77	0.20	0.57	0.05	0.11
3.50	0.78	0.68	0.20	0.48	0.04	0.10
4.00	0.70	0.61	0.20	0.41	0.03	0.10
Maximum Storage Required in far right hand column					0.11	Ac-Ft
Maximum multiplied by 43,560 = Detention Volume Required					4,792	CFT

1997 S-1

Krist - Big Rapids - Weighted "C" Value Calculations	
Overall Site Area -	32,138 sqft
	0.74 acre
Asphalt Area	22,791 sqft
Coefficient	0.95
Weighted Value	21,651
Roof Area	6,321 sqft
Coefficient	0.95
Weighted Value	6,005
Landscape Area	3,026 sqft
Coefficient - Lawn, Sandy Soil	0.15
Weighted Value	454
Sum of Weighted Values -	28,110
Overall Site Area-	32,138
Weighted "C" Value	0.87

STORM SEWER PROFILE



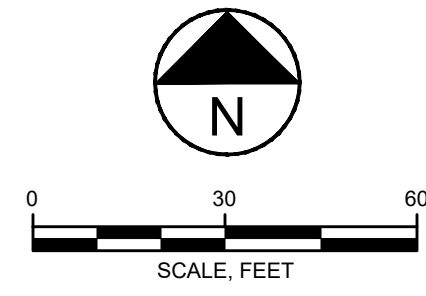
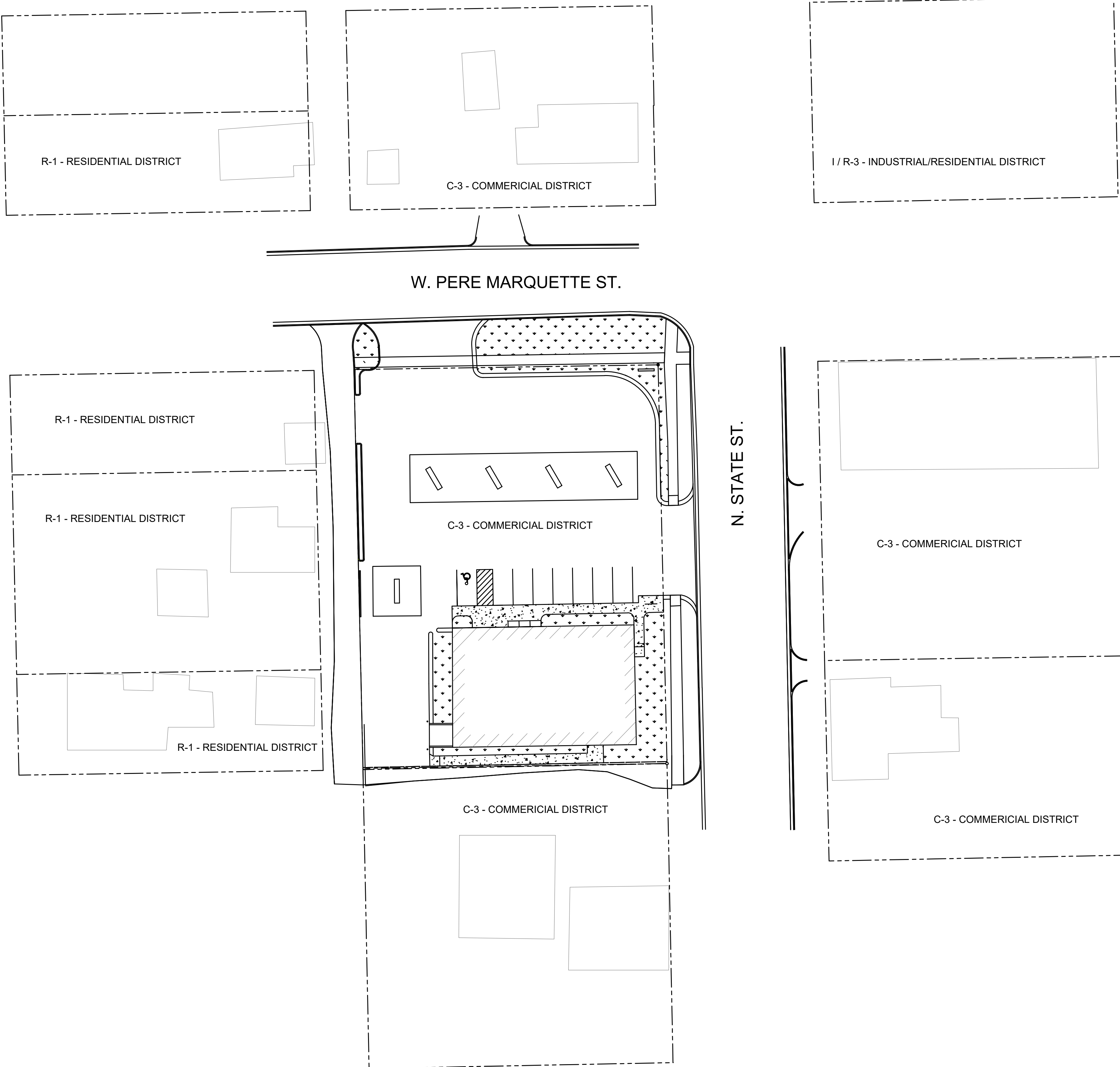
Krist Food Mart
827 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

STORMWATER AND
UTILITY PLAN

Attention: 1"
If this scale bar does not
measure 1" then drawing is
not original scale.

07/01/2022
SITE PLAN REVIEW
09/28/2022
REVISED SITE PLAN REVIEW
Designed By:
Checked By: CAR
Drawn By:
Approved By: CAR

DWG. NO.
02-C-04
SHEET 5



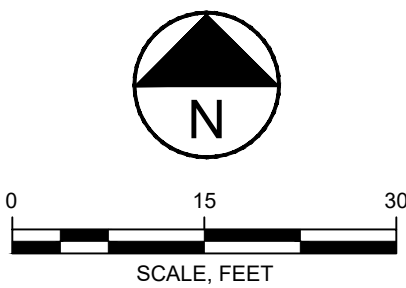
Krist Food Mart
827 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

ADJACENT PROPERTY PLAN

Attention: 1"
If this scale bar does not
measure 1" then drawing is
not original scale.

	07/01/2022
SITE PLAN REVIEW	
	09/28/2022
REVISED SITE PLAN REVIEW	
Designed By:	
Checked By: CAR	
Drawn By:	
Approved By: CAR	

DWG. NO.
02-C-05
SHEET 6



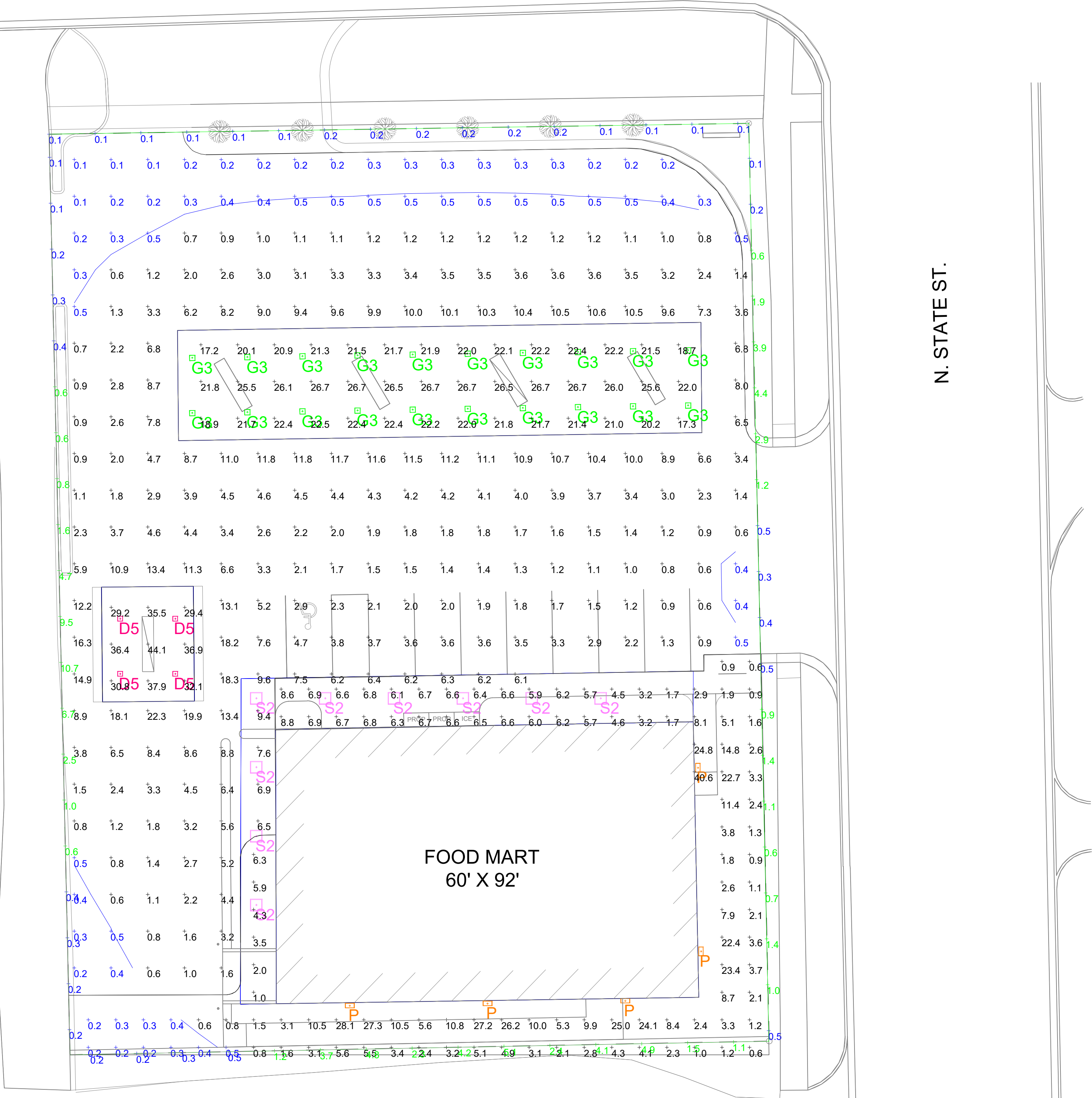
W. PERE MARQUETTE ST.

N. STATE ST.

Luminaire Schedule					
Symbol	Qty	Tag	Label	LLF	MH
	5	P	LCG-WPFC-70W-U-50K-XX	0.900	10
	9	S2	EDG-45U-50KBZ-D1	0.900	10
	20	G3	701948-5WTWT3-M75P2	0.900	15
	4	D5	701948-5WTWT3-M150P2	0.900	15

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Diesel Canopy	34.70	44.1	29.2	1.19	1.51
Gas Canopy	22.71	26.7	17.2	1.32	1.55
Pavement	3.97	22.3	0.1	39.70	223.00
Perimeter	6.32	40.6	0.2	31.60	203.00
Property Line	1.47	10.7	0.1	14.70	107.00

Area that falls below 0.5fc highlighted in blue.



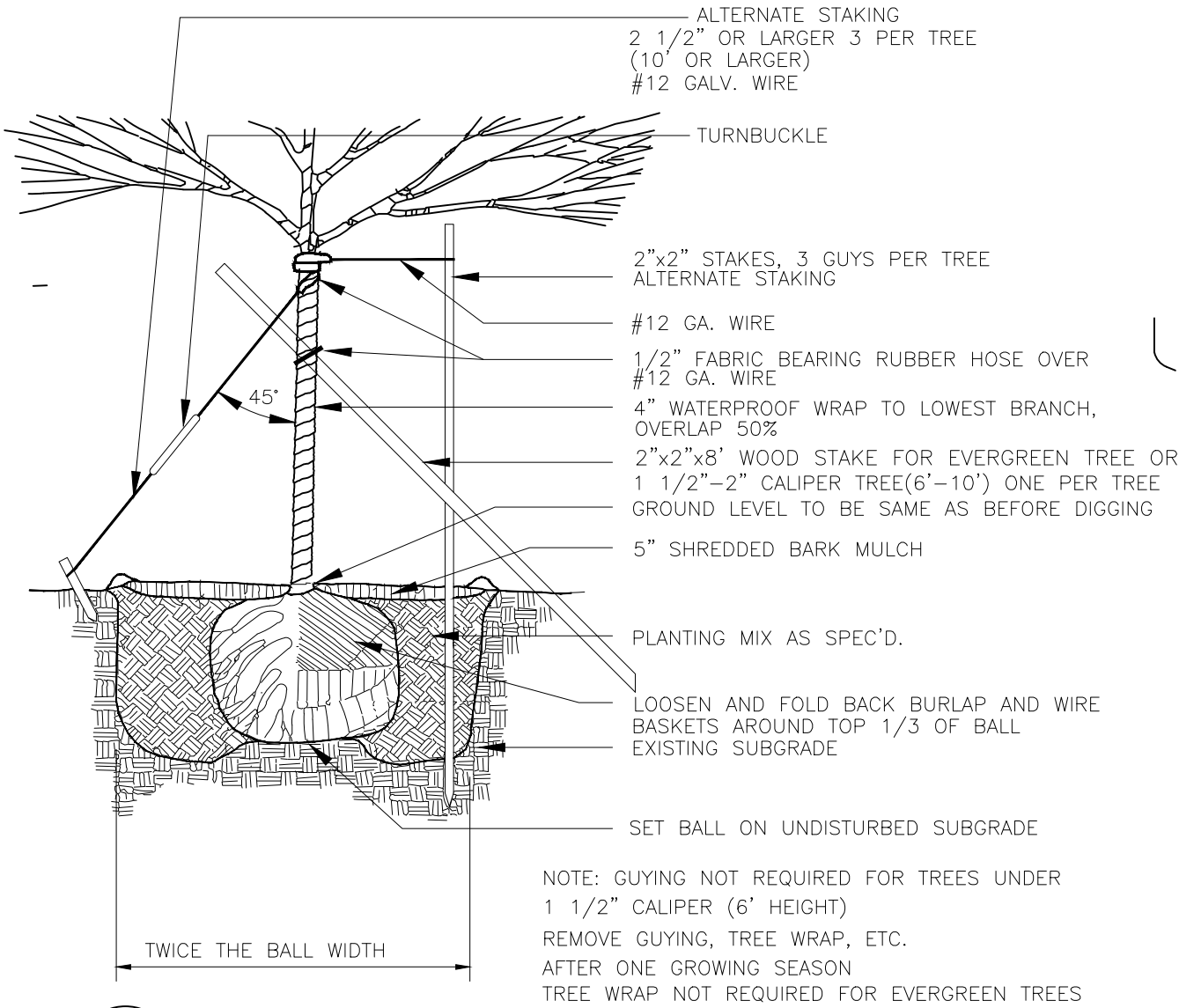
Krist Food Mart
827 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

PHOTOMETRIC PLAN

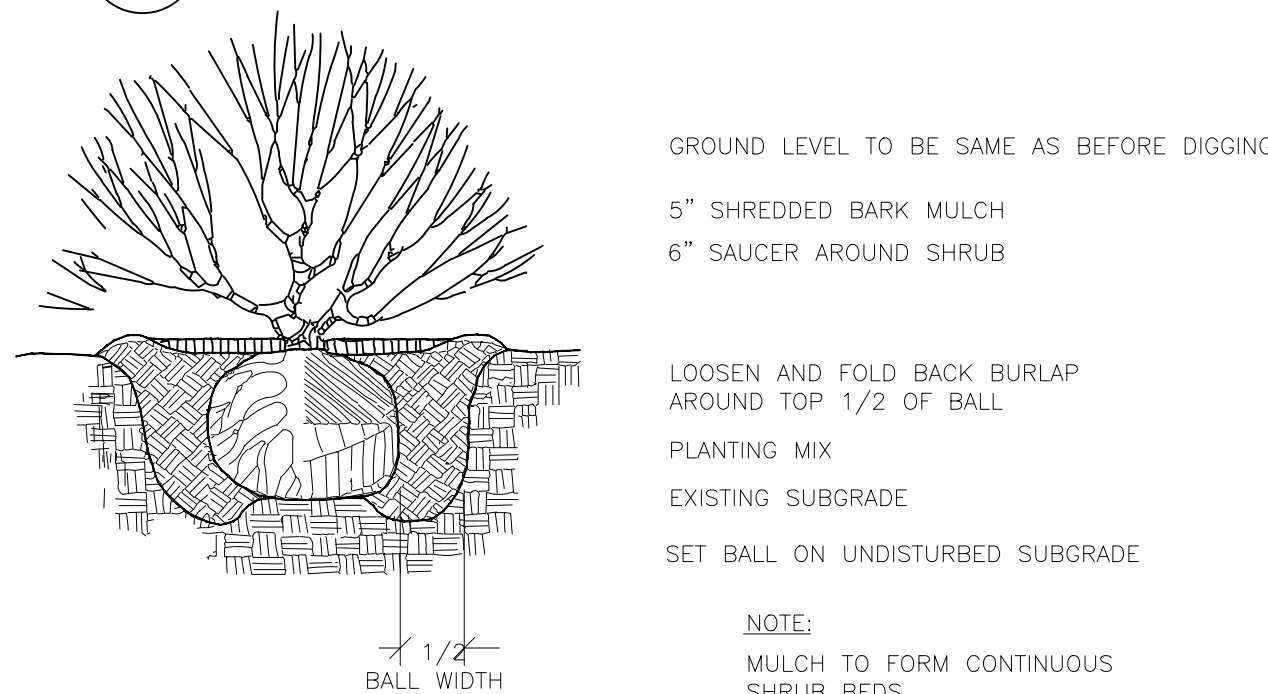
Attention: 1" = 10' - 0"

If this scale bar does not measure 1" then drawing is not original scale.

	07/01/2022
SITE PLAN REVIEW	
	09/28/2022
REVISED SITE PLAN REVIEW	
Designed By:	
Checked By: CAR	
Drawn By:	
Approved By: CAR	



L1
01 TREE PLANTING DETAIL
NOT TO SCALE



L1
02 SHRUB PLANTING DETAIL
NOT TO SCALE

TREES						
Qty.	Key	Scientific Name	Common Name	Size & Condition	Spacing	Soil Volume (cu. ft)
5	AR	<i>Acer rubrum</i>	Red Maple	2.5" Cal., B&B	AS	750
10	AL	<i>Amelancier x grandifolia</i>	Autumn Brilliance Serviceberry	2.5" Cal., B&B	AS	750

SHRUBS				
Qty.	Key	Scientific Name	Common Name	Size & Condition
8	CS	<i>Cornus sericea 'Arctic Fire'</i>	Arctic Fire Red Osier Dogwood	36" Ht., Cont.
90	DL	<i>Diervilla lonicera</i>	Northern Bush Honeysuckle	24" Ht., Cont.
29	PF	<i>Potentilla fruticosa</i>	Shrubby Cinquefoil	18" Ht., Cont.
12	VD	<i>Viburnum dentatum 'Blue Muffin'</i>	Blue Muffin Viburnum	24" Ht., Cont.

BIG RAPIDS LANDSCAPING REQUIREMENTS

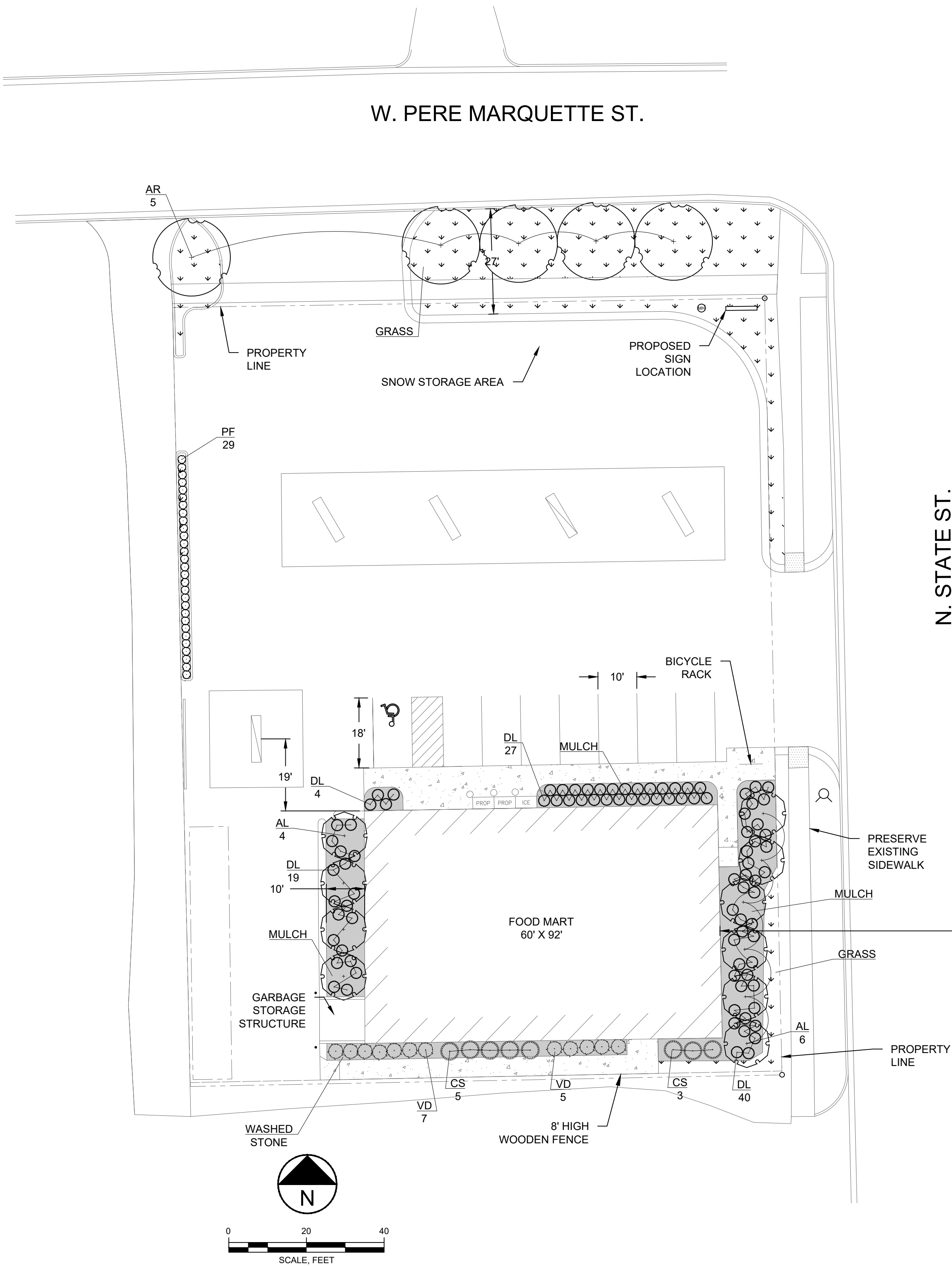
Contractor to be familiar with Big Rapids Landscaping Standards and adhere to all requirements and provisions set forth in the ordinance. Additional information regarding installation, inspection, and administrative requirements are not listed in this document and shall be found in the ordinance only. Contractor responsible for installing landscape materials in accordance with the ordinance whether specific requirements are listed in this document or not. Any ordinance requirements which are found to be inconsistent with the landscape plans shall be brought to the attention of the Landscape Architect or project Engineer for review and revision prior to proceeding with construction.

PARKING LOT LANDSCAPING
REQUIRED

One deciduous tree per 8 parking spaces - 1 tree
PROVIDED
4 Trees - West Side of Building

GREEN BELT ALONG PUBLIC RIGHT OF WAY LANDSCAPING
REQUIRED

One tree per 30 linear feet of frontage - State Street -200 LF, 7 Trees; W Pere Marquette Street - 150 LF, 5 Trees.
PROVIDED
State Street - 6 Trees (maximum possible with available space)
W Pere Marquette St - 6 Trees



GENERAL

THIS WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS AND SUPERVISION REQUIRED FOR THE EXECUTION AND GUARANTEE OF ALL PLANTINGS AND RELATED WORK AS SHOWN ON THE DRAWINGS.

IT IS THE CONTRACTORS RESPONSIBILITY TO SECURE ALL PERMITS AND POST ALL BONDS PRIOR TO CONSTRUCTION.
PLANT MATERIALS SHALL CONFORM TO THE SIZES STATED ON THE PLANT LIST AND SHALL BE OF A MINIMUM SIZE OR LARGER. ALL MEASUREMENTS OF SPREAD, CALIPER, BALL SIZE, TRUNK CROWN RATIO, QUALITY DESIGNATIONS, ETC., SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "ANSI STANDARDS FOR NURSERY STOCK". PLANT MATERIAL SHALL BE NURSERY GROWN AND INSPECTED BY THE OWNERS REPRESENTATIVE AT THE SITE PRIOR TO PLANTING. THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT ANY TIME.

NURSERY STOCK SHALL BE PREPARED FOR SHIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ANSI SPECIFICATION 280.1 AND SHALL BE ENCLOSED OR COVERED DURING TRANSPORTATION TO PREVENT DRYING.

SITE PREPARATION

THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND PROTECT AND REPAIR UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.

INDIVIDUAL HOLES SHALL BE CENTERED AT STAKED PLANT LOCATIONS. CONTRACTOR IS TO STAKE PRIOR TO PLACEMENT OF PLANT MATERIAL AND OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE. PLANTING HOLES SHALL BE DUG LARGE ENOUGH TO PERMIT PLACING PREPARED TOPSOIL 18" Laterally BEYOND THE ENDS OF THE ROOT BALLS FOR SHADE AND EVERGREEN TREES AND 6" Laterally FOR SHRUBS UNLESS OTHERWISE SPECIFIED.

EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AT THE TIME THE HOLE IS DUG. THE PLANTING HOLE SHALL BE BACKFILLED WITH PREPARED TOPSOIL THE SAME DAY THEY ARE DUG.

SOIL SHALL BE PROVIDED AT A VOLUME EQUIVALENT TO PLANT SIZE TO ENSURE HEALTH AND LONGEVITY. TOPSOIL SHALL BE INSTALLED WITH A MINIMUM DEPTH OF FOUR (4) INCHES FOR LAWN AREAS, AND EIGHT (8) TO TWELVE (12) INCHES WITHIN PLANTING BEDS. SOIL VOLUME REQUIRED FOR SMALL, MEDIUM, AND LARGE DECIDUOUS TREES IS 250, 500, AND 750 CUBIC FEET (CU. FT.), RESPECTIVELY.

TOPSOIL SHALL BE A FERTILE, FRABLE NATURAL TOPSOIL OF LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. TOPSOIL SHALL BE FREE OF CLAY LUMPS, COARSE SAND, STONES, PLANT ROOTS, STICKS OR OTHER FOREIGN MATTER.

CONTRACTOR SHALL TAKE CARE NOT TO COMPACT SOILS IN PLANTING AREAS. ANY COMPACTED SOILS TO BE SCARIFIED TO A DEPTH OF 6" TO ELIMINATE ANY SOIL COMPACTION CREATED DURING CONSTRUCTION. CONTRACTOR MAY BE REQUIRED TO FURTHER AMEND SOIL IN AREAS WHERE EXCESSIVE COMPACTION HAS OCCURRED.

CARE FOR PLANTS BEFORE PLANTING

PLANTS DESIGNATED "BB" SHALL BE BALLED AND BURLAPPED WITH FIRM NATURAL BALLS OF EARTH. CRACKED, LOOSENED OR BROKEN BALLS SHALL NOT BE PLANTED. THEY SHALL BE MARKED WITH SPRAY PAINT AND IMMEDIATELY REMOVED FROM THE JOB SITE. IMMEDIATELY FOLLOWING DELIVERY AT THE JOB SITE, ALL PLANTS THAT WILL NOT BE PLANTED THAT SAME DAY SHALL BE "HEELED IN" WITH SHREDDED BARK OR MOIST SOIL AND KEPT MOIST UNTIL PLANTED.

THE TRUNKS AND BRANCHES OF ALL TREES SHALL BE PROTECTED FROM INJURY OF ANY KIND DURING ALL OPERATIONS. THE OWNER'S REPRESENTATIVE SHALL REJECT ANY TREES THAT ARE INJURED.

PLANTING

THE CONTRACTOR IS RESPONSIBLE FOR PLANTING MATERIALS PLUMB. SET THE TOP OF THE ROOT BALL AT OR SLIGHTLY HIGHER THAN THE SURROUNDING GRADE. PLANTS SHALL BE FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT STRUCTURES. NO FILLING WILL BE PERMITTED AROUND TRUNK OR STEMS. WHEN THE PLANT HAS BEEN PROPERLY SET, THE HOLE SHALL BE BACKFILLED TO 1/2 THE DEPTH OF THE BALL WITH PREPARED TOPSOIL MIXTURE, FIRMLY PACKED AND WATERED-IN AT TIME OF PLANTING. LOOSEN AND REMOVE BURLAP AND LACING FROM UPPER 1/3 OF THE ROOT BALL. BACKFILL WITH PREPARED TOPSOIL, WHICH AFTER COMPACTION IS FLUSH WITH THE SURROUNDING GROUND. FOR DECIDUOUS TREES, ROOT BARRIERS SHALL BE INSTALLED WITHIN AREAS WHERE THERE IS LESS THAN SEVEN (7) FEET BETWEEN THE BACK OF CURB AND THE SIDEWALK OR ADJACENT HARDSCAPE. WATER BAGS SHALL BE USED ACCORDING TO THE PRODUCT INSTRUCTIONS, TO KEEP TREES AND SHRUBS WATERED FOR THE FIRST GROWING SEASON. WATER BAGS MAY BE REMOVED AT THE DIRECTION OF THE CITY FORESTER.

LAWN GRASS

ALL GREEN SPACE AREAS ARE TO BE INSTALLED AS LAWN GRASSES, UNLESS DEPICTED OTHERWISE. LAWN GRASSES SHALL BE PLANTED IN SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN THE HOLLY AREA.

MULCHING

SHRUB AND TREE PLANTING AREAS SHALL BE ENCIRCLED WITH A 6" MINIMUM COVERING OF NON-DYED SHREDDED BARK MULCH TO 6" OUTSIDE THE PLANTING HOLE, TAPERING MULCH TO 2" AROUND THE TRUNK OF ALL PLANTS TO 1" OUTSIDE OF THE TRUNK. SUBMIT SAMPLE TO THE OWNERS REPRESENTATIVE FOR APPROVAL BEFORE PLACEMENT. WOOD CHIPS SHALL NOT BE ALLOWED ON THIS JOB. SHRUBS AND TREES PLANTED IN CLOSE PROXIMITY SHALL BE PLANTED IN A CONTIGUOUS MULCH BED. GROUP SHRUBS AND TREES AT THE APPROPRIATE SPACING AS INDICATED ON THE PLANT LISTS TO PREVENT OPEN AREAS IN THE MULCH BED.

PERENNIAL PLANTING AREAS TO RECEIVE 2-3" MAX SHREDDED BARK MULCH. ANNUAL APPLICATIONS OF MULCH IS NOT NECESSARY IN THESE AREAS.

WRAPPING DECIDUOUS TREES

TREE WRAP SHALL COVER TRUNKS OF ALL DECIDUOUS TREES BEGINNING BELOW THE SOIL LINE JUST ABOVE THE ROOTS. TIE WITH TWINE IN 5 PLACES, INCLUDING THE TOP AND BOTTOM OF WRAPPING. MASKING TAPE OR WIRE WILL NOT BE ALLOWED. TREE WRAP MAY BE REMOVED BY MAY 1st OF THE SECOND YEAR, AND REWRAPPED BY OCTOBER 15th OF THE SECOND FALL. CONTINUE THIS PROCESS AS NEEDED FOR YOUNG TREES, AND FOR UP TO 5 YEARS FOR THIN-BARKED SPECIES.

BRACING AND GUYING

GUYING SHALL BE EMPLOYED TO PREVENT LEANING OR LOOSENING OF THE TREE FROM THE BALL. BRACING MATERIAL SHALL BE T-POSTS PAINTED GREEN. GUYING MATERIAL SHALL BE 12 GAUGE WIRE AND GARDEN HOSE 1/2 INCH DIAMETER. GUY WIRE SHALL BE ENCASED IN HOSE TO PREVENT DIRECT CONTACT WITH THE TREE. DECIDUOUS TREES SHALL BE BRACED OR GUYED IMMEDIATELY AFTER THE TREE WRAPPING IS COMPLETE. WIRE SHALL NOT BE TIGHT, BUT SHOULD ALLOW THE TREE TO MOVE SLIGHTLY, WHICH WILL ALLOW THE TREE TO SECURE ITSELF IN PLACE MORE QUICKLY. WIRE SHOULD NOT BE SO LOOSE THAT IT ALLOWS THE TREE TO LEAN OR MOVE EXCESSIVELY.

LANDSCAPE EDGING

4" STEEL OR ALUMINUM LANDSCAPE EDGING SHALL BE USED ON THIS PROJECT AND WILL SURROUND ALL SHRUB PLANTING BEDS AS SHOWN ON THE DRAWINGS. LANDSCAPE EDGING IS NOT REQUIRED WHERE MULCH BEDS ABUT HARDSCAPES AND CURBS, OR AROUND INDIVIDUAL TREES.

PRUNING

UPON COMPLETION, ALL PLANT MATERIAL MUST BE PRUNED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. ALL CUTS SHALL BE MADE FLUSH LEAVING NOT STUBS. PRUNING PAINT SHALL NOT BE USED. ONGOING PRUNING AND TRIMMING NOT EXPRESSLY REQUIRED AND SHALL BE CONDUCTED AT THE DISCRETION OF THE PROPERTY OWNER.

IRRIGATION

CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF UNDERGROUND IRRIGATION SYSTEM IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND REGULATORY AGENCY REQUIREMENTS. ALL LANDSCAPING AND GRASS AREAS TO BE IRRIGATED. LAWN GRASS, PERENNIAL AREAS, AND SHRUB AND TREE AREAS TO BE INSTALLED ON DIFFERENT IRRIGATION ZONES TO ALLOW SEPARATE AREAS TO BE IRRIGATED INDEPENDENTLY. ONCE ESTABLISHED THE TREE AND SHRUB AND PERENNIAL AREAS WILL SELDOM NEED TO BE WATERED, WHILE THE LAWN GRASS AREA WILL NEED TO BE WATERED REGULARLY IN THE SUMMER MONTHS.

FINISHING AND CLEANING UP

IMMEDIATELY UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN UP THE AREA OF SURPLUS MATERIALS. THE CONTRACTOR SHALL REPAIR AND RE-ESTABLISH TURF IN RUTTED AREAS.

WARRANTY

THE LANDSCAPE INSTALLATION CONTRACTOR SHALL REPLACE ALL UNHEALTHY VEGETATION AND PLANTINGS WITHIN ONE (1) YEAR OF INITIAL PLANTING OR SUBSEQUENT PLANTING PERIOD. TREES PROPOSED FOR REMOVAL ARE A RESULT OF THE SITE DEVELOPMENT ACTIVITIES. DUE TO THE NATURE AND SIZE OF THE DEVELOPMENT, THERE IS NO FEASIBLE ALTERNATIVE THAT WOULD RESULT IN THE TREES NOT NEEDING TO BE REMOVED. TREE REPLACEMENTS WILL RESULT IN A TREE CANOPY FOOTPRINT THAT EXCEEDS THE PRE-CONSTRUCTION TREE CANOPY COVERAGE (ACCORDING TO THE 2015 CITY OF GRAND RAPIDS URBAN TREE CANOPY ANALYSIS MAP).

Krist Food Mart
818 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

LANDSCAPE PLAN

Attention: 1"
0
If this scale bar does not measure 1" then drawing is not original scale.

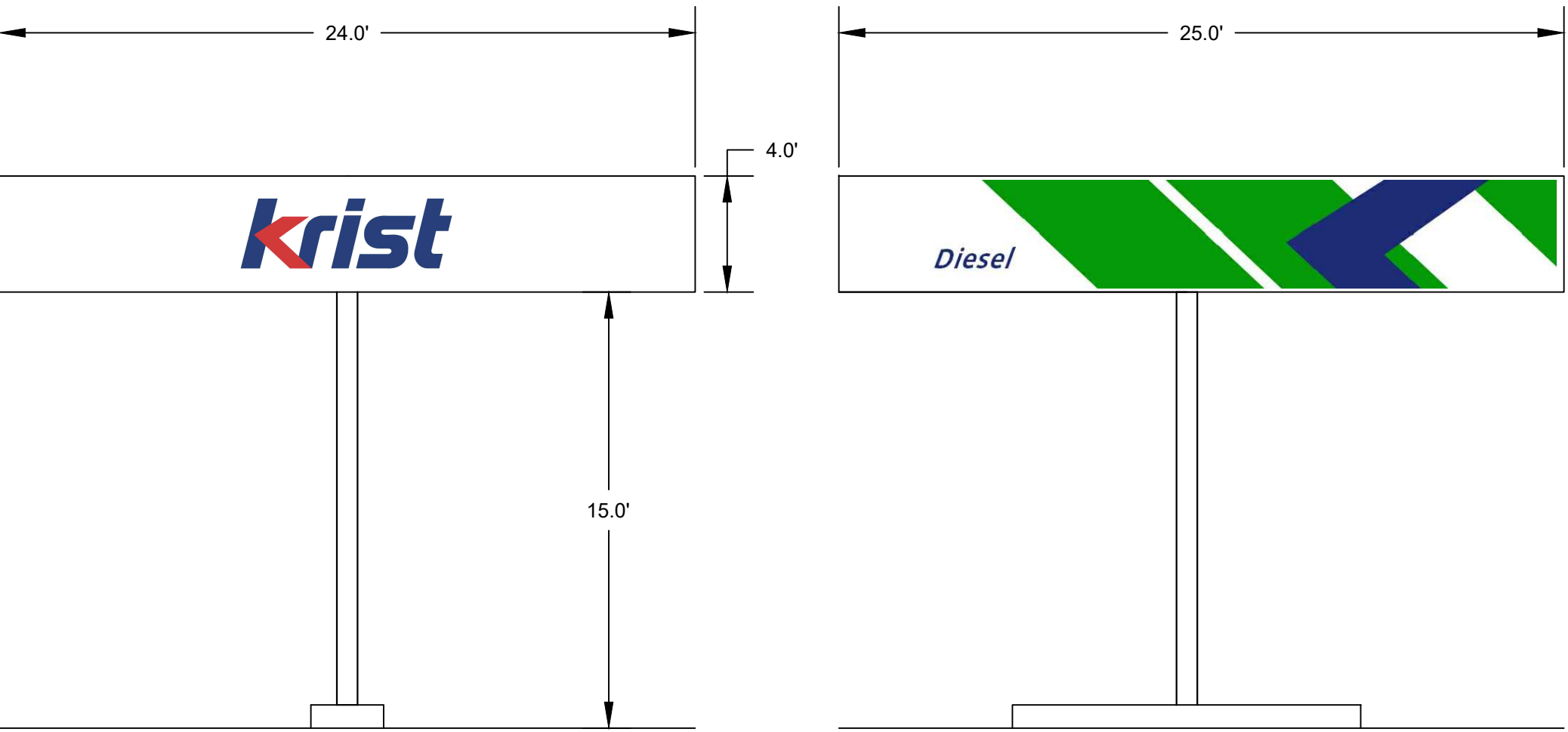
05/01/2022
SITE PLAN REVIEW
09/28/2022
REVISED SITE PLAN REVIEW

Designed By: JRR
Checked By: CAR
Drawn By: JRR
Approved By: CAR

DWG. NO.
02-C-02
SHEET 3

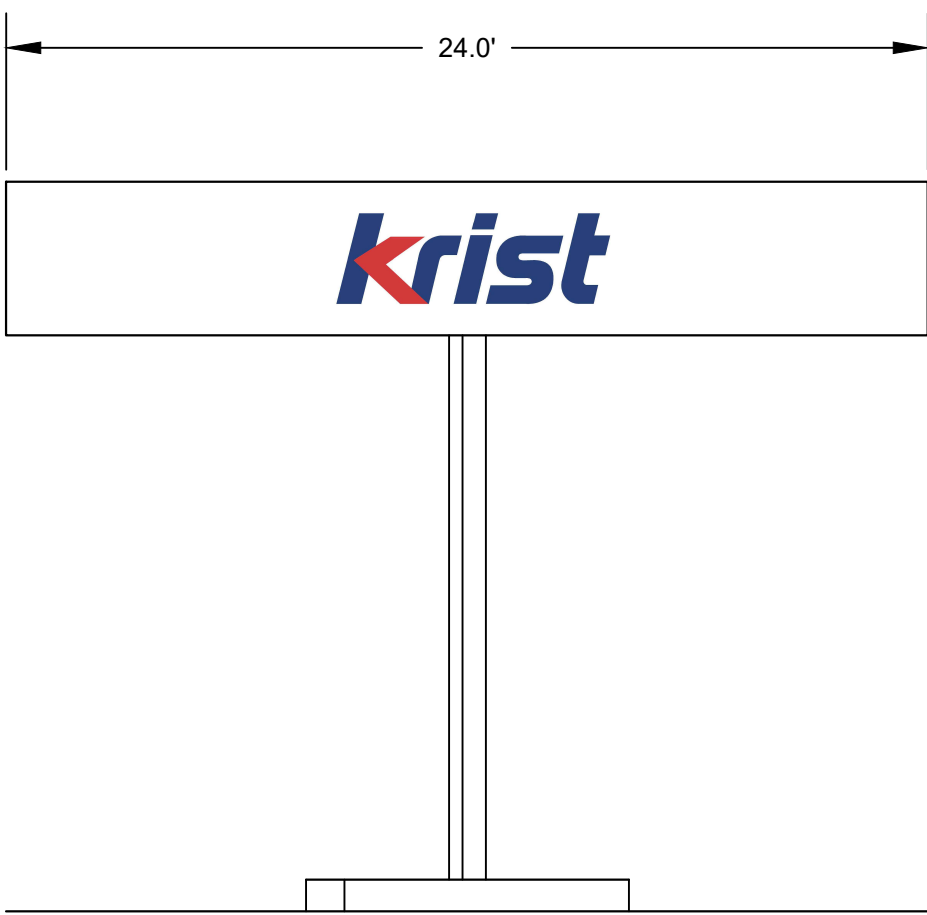


Know what's below.
Call before you dig.

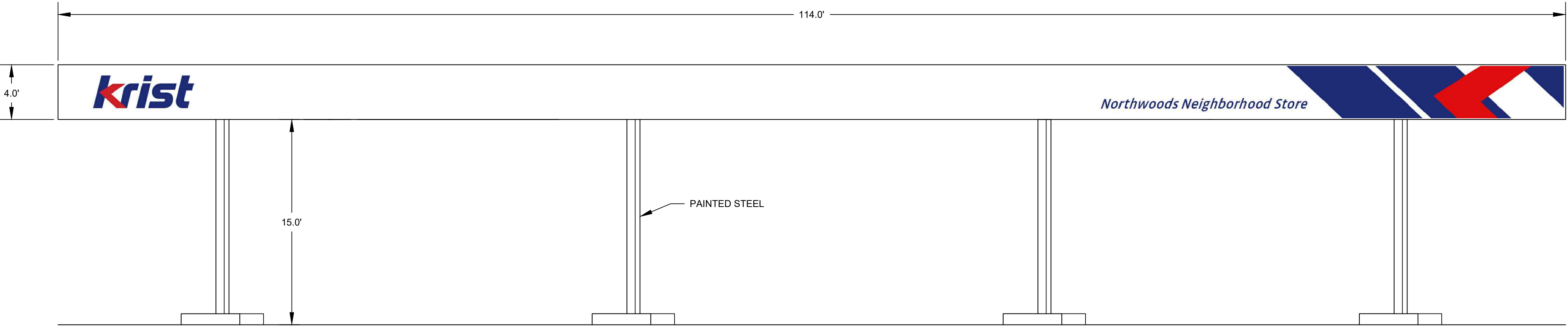


A - NORTH AND SOUTH ELEVATION
OF DIESEL CANOPY

B - WEST ELEVATION OF DIESEL CANOPY



C - EAST AND WEST ELEVATION OF
GAS CANOPY



D - NORTH ELEVATION OF GAS CANOPY

Krist Food Mart
827 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

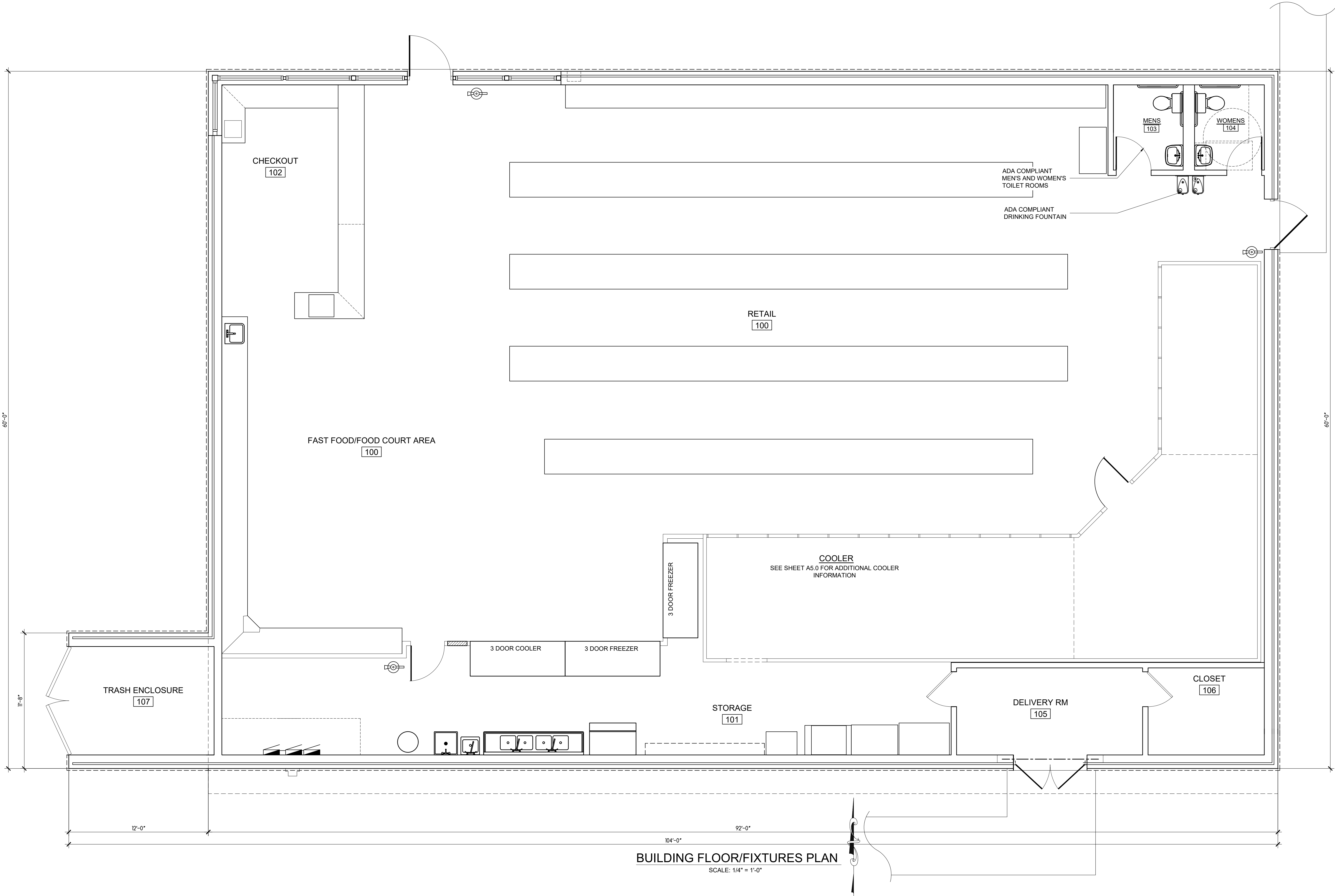
CANOPY ELEVATIONS

Attention:
0 1"
If this scale bar does not
measure 1" then drawing is
not original scale.

	07/01/2022
SITE PLAN REVIEW	
	09/28/2022
REVISED SITE PLAN REVIEW	

Designed By: JRR
Checked By: CAR
Drawn By: JRR
Approved By: CAR

DWG. NO.
02-A-02
SHEET 10



BUILDING FLOOR/FIXTURES PLAN
SCALE: 1/4" = 1'-0"

N O R T H

THE LYONS
DESIGN GROUP, LLC
ADAM N. LYONS, Architect
LEED AP NCARB, AIA, AIA
894 Mettawa Lane Mettawa, IL 60045
tel: 847.791.3251
Email: lyonsdesigngroup@aol.com
Web: lyonsdesigngroupinc.com

Krist Food Mart
818 N. State St.
Big Rapids, MI 49307
Krist Oil Company, Inc.
303 Selden Road
Iron River, MI 49935

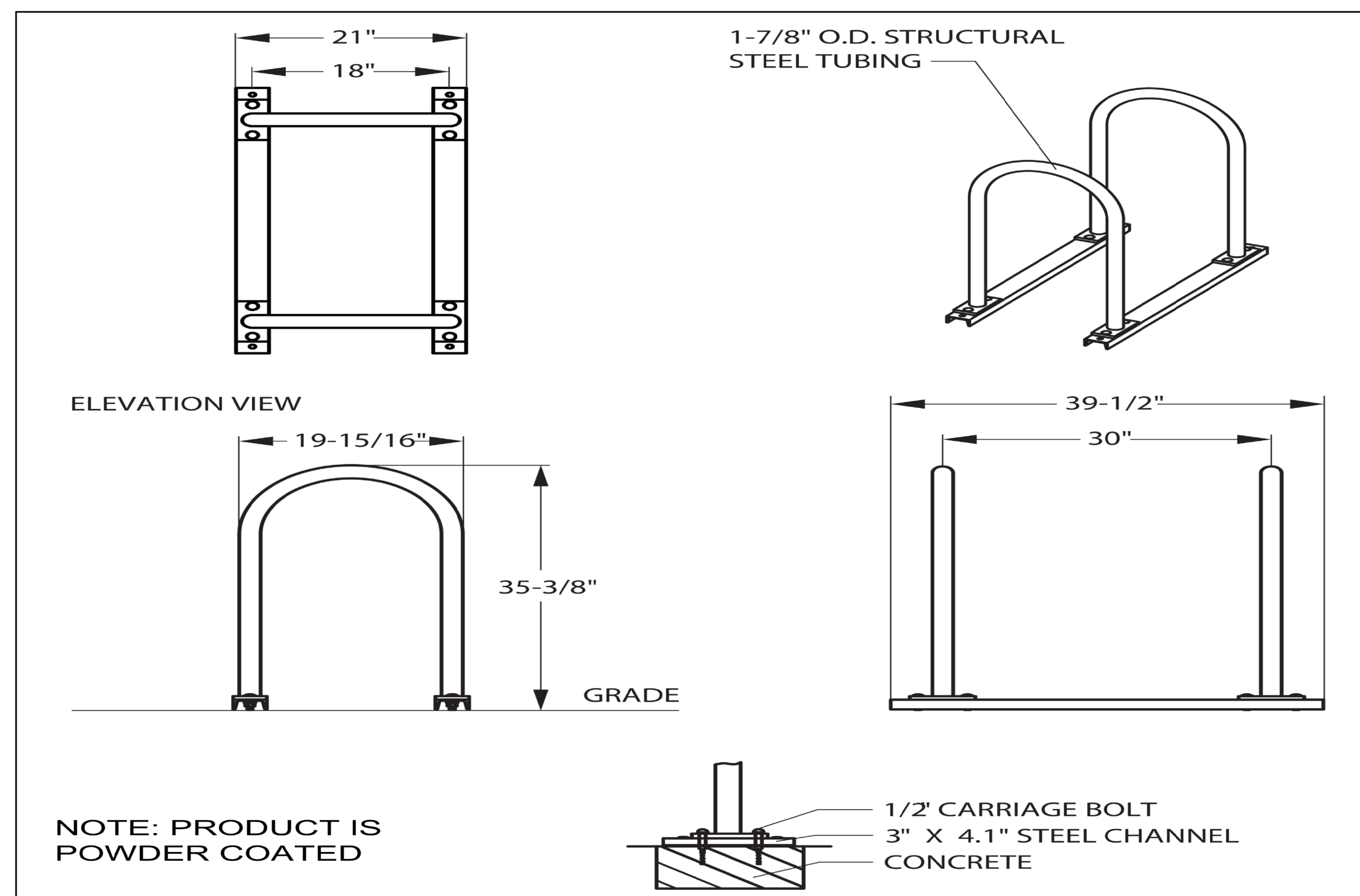
FLOOR AND FIXTURES PLAN

Attention: 1" = 1'-0"
If this scale bar does not measure 1" then drawing is not original scale.

ISSUE DATE	FOR
052422	REVIEW
060822	REVIEW

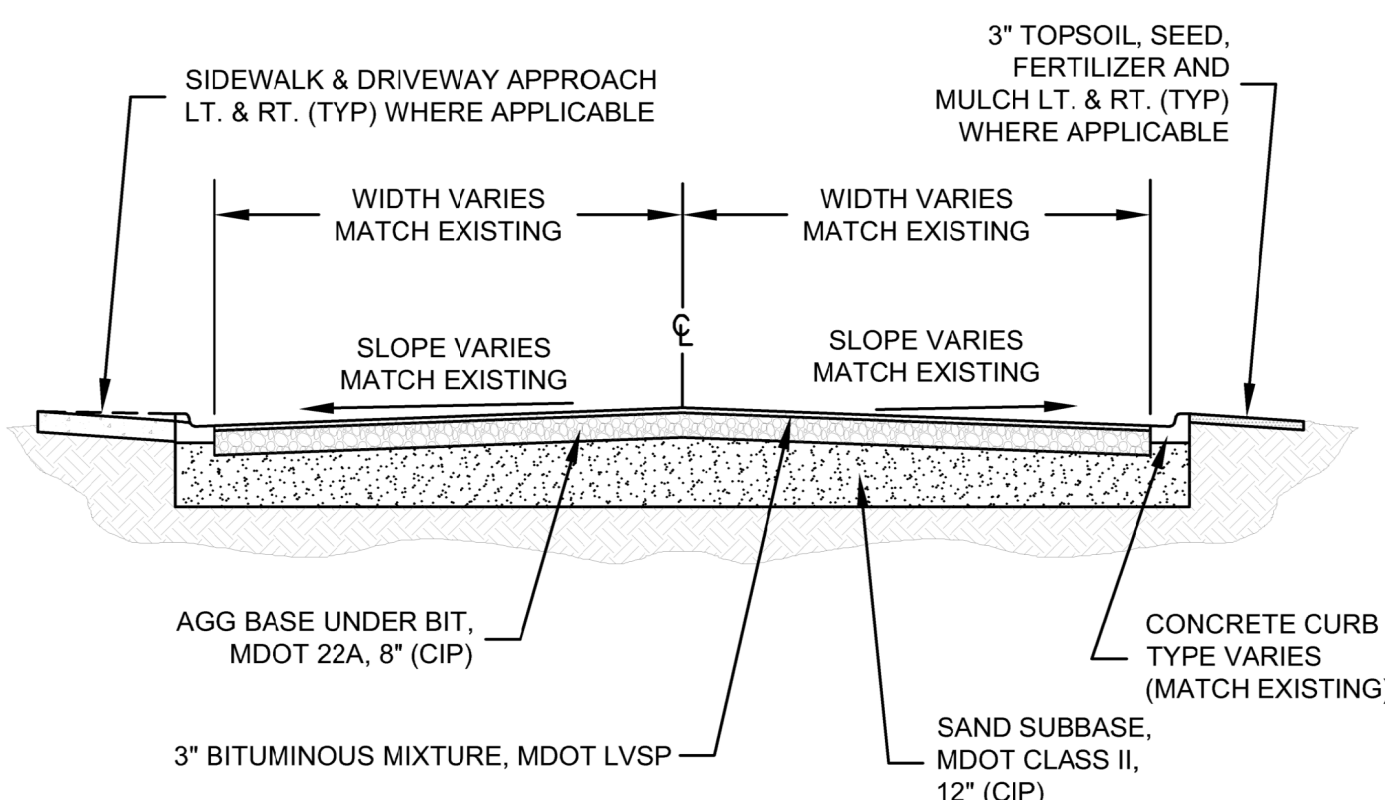
Designed By: ANL / BCA
Checked By: ANL / CAR
Drawn By: BCA, ANL
Approved By: ANL, CAR

DWG. NO.
02-A-03



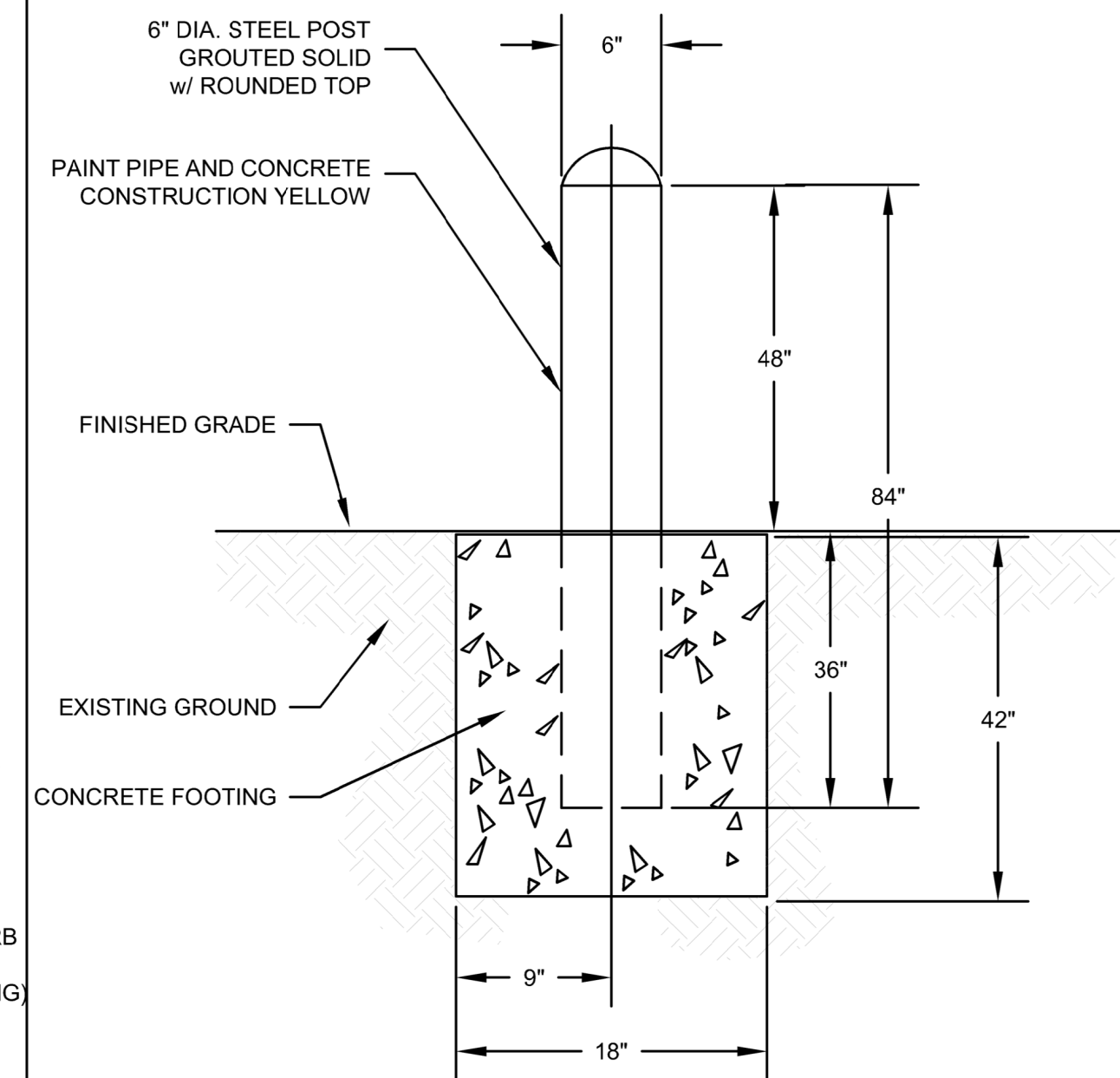
ROAD RECONSTRUCTION REQUIREMENTS:

1. TYPICAL CROSS SECTIONS ARE SHOWN FOR REFERENCE PURPOSES, AND REPRESENT REQUIREMENTS FOR STREET REPAIR OR RECONSTRUCTION.



NOTE:

1. POST LOCATIONS TO BE DETERMINED BY THE ENGINEER.

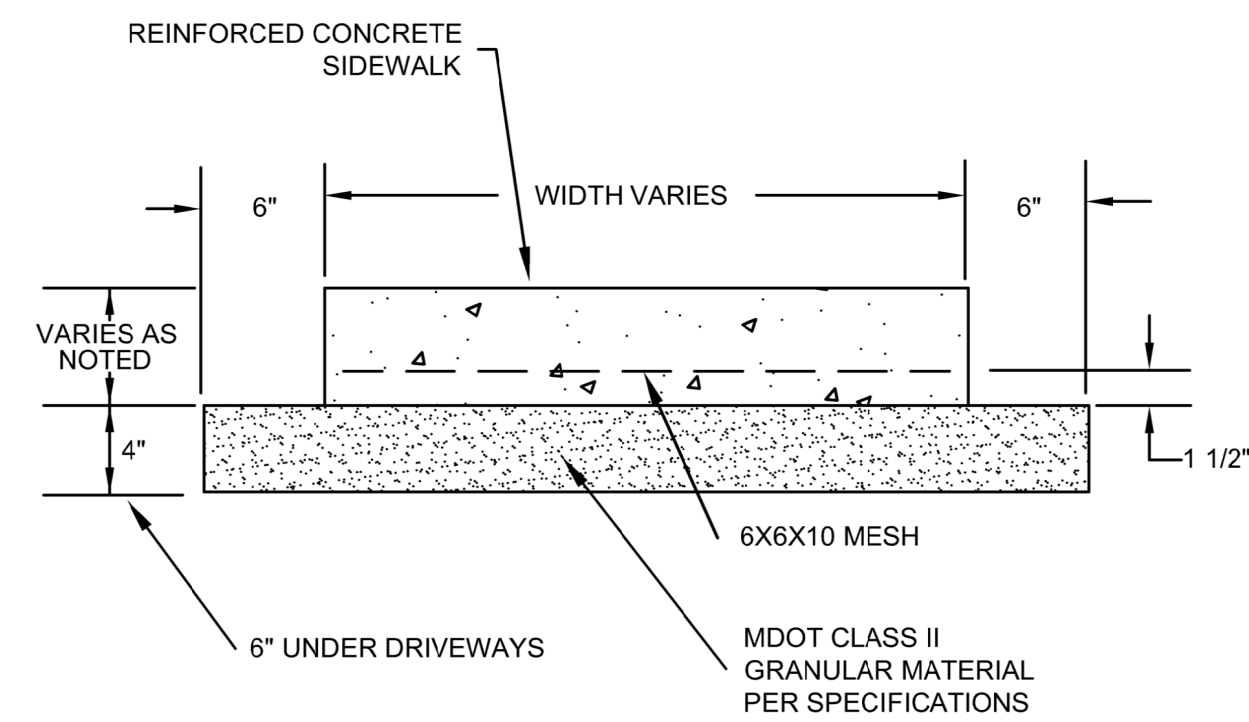
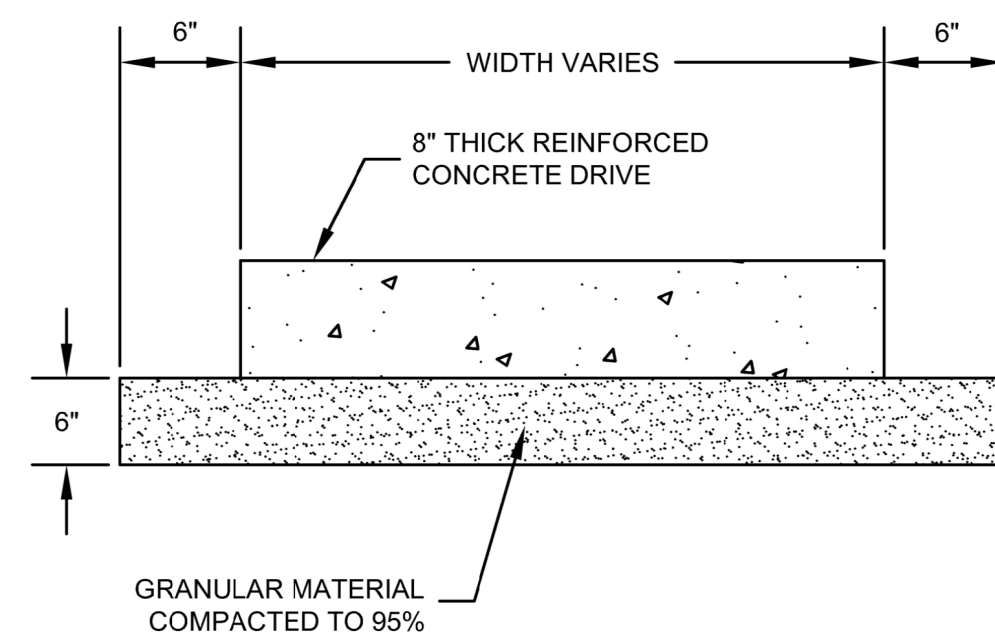


Krist Food Mart
827 N. State St.
Big Rapids, MI 49307
Krist Oil Company Inc.
303 Selden Road
Iron River, MI 49935

STANDARD DETAILS

- NOTES:

1. CONCRETE DRIVEWAYS SHALL BE SAWCUT FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
2. CONCRETE DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WisDOT STANDARD PLANS.
3. ANY EXISTING DRIVEWAY WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
4. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH WisDOT STANDARD PLANS.



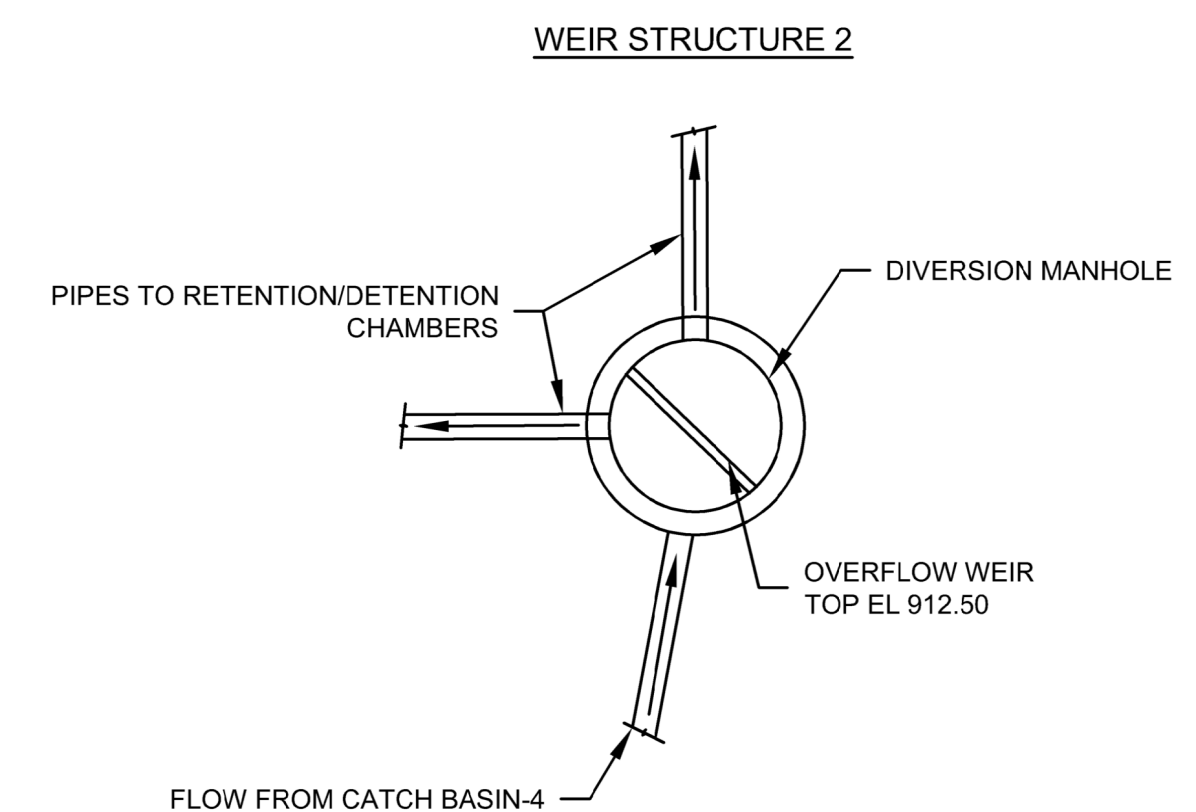
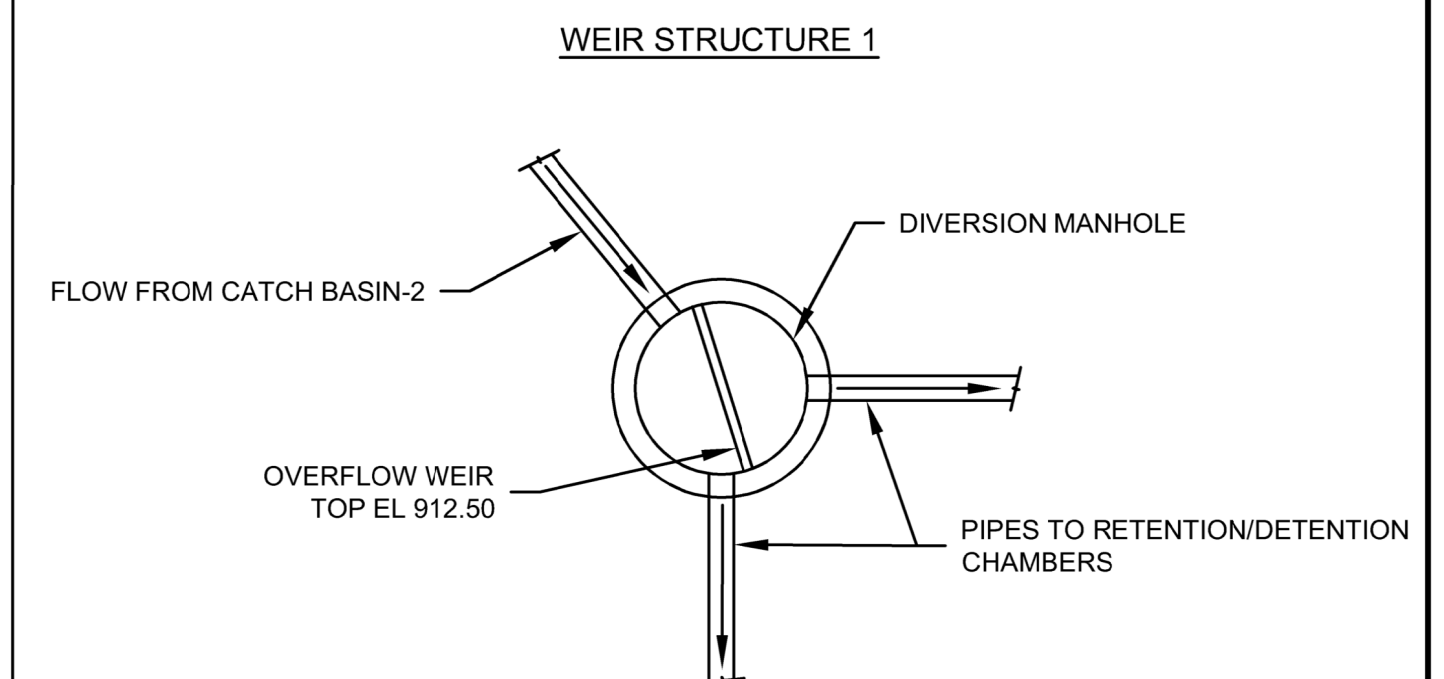
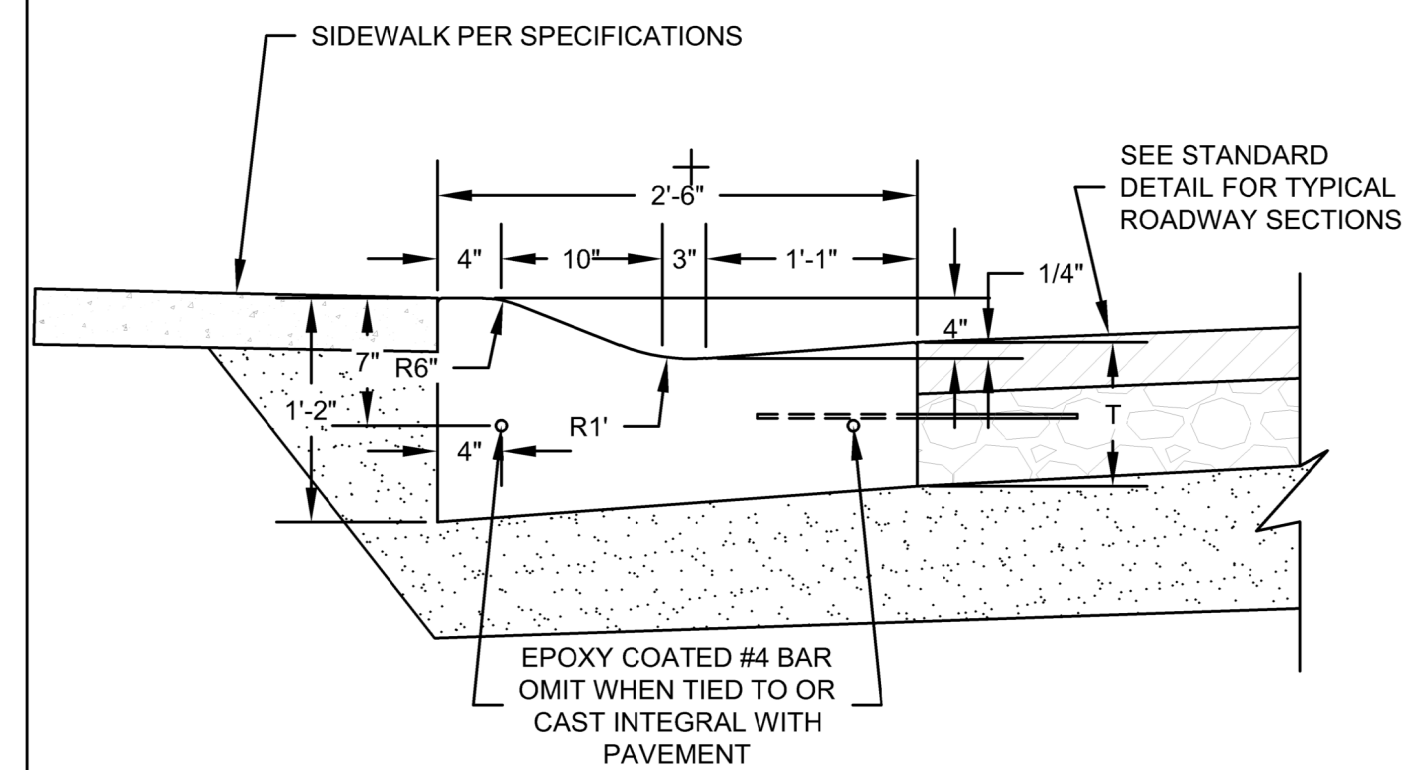
NOTES:

1. CONCRETE SIDEWALK SHALL BE SAWCUT FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
2. CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-I.
3. ANY EXISTING SIDEWALK WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
4. CONCRETE SIDEWALK SHALL BE 4" FOR PEDESTRIAN TRAFFIC AND 6" FOR VEHICULAR TRAFFIC. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-I.

NOTES:


1. CONCRETE CURB AND/OR GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-30-G.

DETAIL	DIMENSION	LANE TIES	CONCRETE CYD / LFT
	T		
D1	9"	AS SHOWN	0.0788
D2	9"	OMITTED	0.0788
D3	10"	AS SHOWN	0.0826



03-050 DIVERSION MANHOLE
NO SCALE

Attention:



If this scale bar does not measure 1" then drawing is not original scale.

	07/01/2022
--	------------

	SITE PLAN REVIEW
--	------------------

	09/28/2022
--	------------

REVISÉD SITE PLAN REVIEW

Designed By:

Checked By: CAR

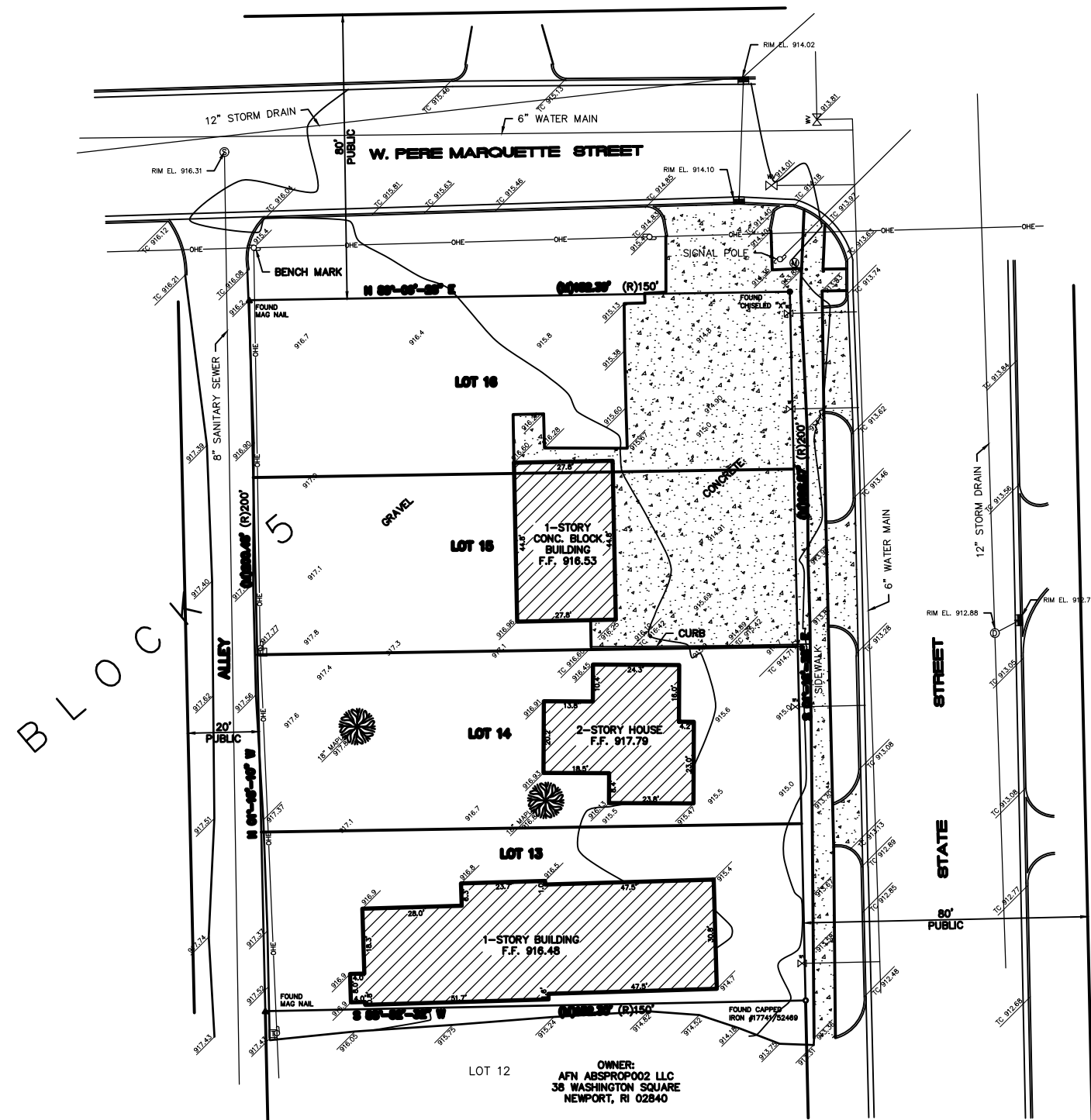
Drawn By:

Approved By: CAR

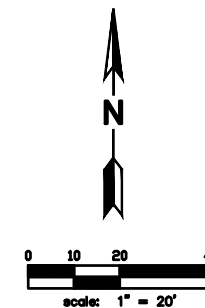
DWG. NO.

99-D-01

SHEET 12



PROPERTY DESCRIPTION
LOTS 13-16, BLOCK 5, FRENCH'S ADDITION TO THE CITY OF BIG RAPIDS, PART OF
SECTION 10, T.15N.-R.10W., CITY OF BIG RAPIDS, MECOSTA COUNTY, MICHIGAN.



READING BASIS:
WGS 84

BENCH MARK
NAIL IN POWER POLE NEAR NW
PROPERTY CORNER.
ELEV. 916.80

LEGEND

	STORM DRAIN		DRAINAGE MANHOLE
	HYDRANT		CATCH BASIN
	WATER VALVE		CURB INLET
	GUY ANCHOR		SANITARY MANHOLE
	OVER HEAD ELEC.		CABLE TV PEDESTAL
	SANITARY SEWER		GAS METER
	WATER MAIN		ELECTRICAL BOX
	POWER POLE		TELEPHONE PEDESTAL
	LIGHT POLES		ELECTRICAL BOX
	CONCRETE WALK		WATER MAIN MANHOLE
	STRUCTURE		

MID - MICHIGAN ENGINEERING AND SURVEY CO., INC.

302 S. WARREN AVENUE
P.O. BOX 1157
BIG RAPIDS, MICHIGAN 49307
PHONE: (231) 796-9291



120 S. UNIVERSITY
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 773-5839

**BOUNDARY & TOPOGRAPHIC SURVEY
PREPARED FOR:**
GEI
900 LALLEY ROAD
IRON RIVER, MICHIGAN 49935

SCALE: 1"=20'
DATE: 3/21/2022
JOB NO. 22111

REVISED:
DRAWN BY: K.E.L.
SHEET NO. 1 OF 1

**CITY OF BIG RAPIDS
PLANNING COMMISSION MINUTES
July 20, 2022**

Chair Jane called the July 20, 2022 meeting of the Planning Commission, to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE

PRESENT Jacob Buse, Kasey Thompson, Rory Ruddick, Kate McLeod, Megan Eppley, and Chris Jane

EXCUSED Sarah Montgomery

ABSENT

ALSO PRESENT Paula Priebe, Community Development Director
Emily Szymanski, Planning & Zoning Technician

There were 32 people in attendance.

APPROVAL OF MINUTES

Motion was made by Jacob Buse seconded by Kate McLeod, to approve the minutes of the May 18, 2022 meeting of the Planning Commission as presented, with one change:

“...Community Development Director, Paula Priebe, stated concerns regarding the number of parking **spaces** shown and the lack of bicycle parking.”

Motion was passed with all in favor.

PUBLIC COMMENT NOT RELATED TO ITEMS ON THE AGENDA

Carol Hillman of Townline Lake stated that Voca Lyrica is hosting the City-wide rummage sale this year. The sale will take place on August 20, 2022, from 9:00 AM – 4:00 PM. The organization is accepting applications to participate in the rummage sale, with a \$25 fee. For more information, applications can be found at City Hall, Patterson’s Flowers, or at Artworks.

Greg Denny of 323 W Pere Marquette voiced concerns regarding the new manufactured home at 124 W Bellevue. Denny stated that this type of housing does not match the existing character of the neighborhood, especially because the new owners were not required to build a garage on the property.

PUBLIC HEARINGS

Site Plan Review for a New Gas Station and Food Mart at 827 N State Street

The Public Hearing was opened at 6:37 PM.

Priebe summarized the Staff Report stating that Krist Oil Company is applying for a Site Plan Review for a new gas station and food mart on N State Street. The proposal will utilize both 827 and 819 N State Street for a combined 0.688-acre site for this new development. The site is zoned C-3 Commercial, where gas stations and convenience stores are a principal use. The site plans were distributed to the Fire Marshal, the Public Works Department's Engineering staff, the Building Official, and the Zoning Administrator for their review. A summary of staff comments are as follows:

Public Safety –

1. Required. Bollard posts in front of the propane cages.
2. Required. New fire hydrant in the Right-of-Way along N State Street near the northeast corner of the building.
3. Suggested. Change material behind the building, next to the privacy fence, from mulch to stone.

Public Works – Engineering Technician, Matt Ruelle, stated, “The stormwater collection system is designed to be underground with a controlled outlet leading to the catch basin on the SW corner of W Pere Marquette and N State Street. This catch basin belongs to MDOT and is tied into MDOT’s stormwater system. Permission from MDOT will be needed for this connection...”

Zoning – Community Development Director, Paula Priebe, stated, “The proposed bicycle rack does not meet the standards of Section 5.7:2(3) of the Zoning Ordinance which requires “inverted U” or “post and ring” style racks.

Joe McNally, Realtor and Representative of Krist stores, introduced the company and the proposal. Krist Oil Company is a Michigan-based company with 77 stores in Michigan and Wisconsin. Over two years ago, Krist identified Big Rapids as a new location within their growth plan. Although previous attempts at a Big Rapids location have failed, the company continued to search for a location in town. Two property owners along the 800-block of N. State Street became interested in selling to Krist and went under contract in January 2022. Since January, Krist staff and representatives have been solidifying plans for the location. The Company intends on spending over five million dollars by building a modern gas station with a food mart and look forward to investing in the north side of town.

Those Who Spoke in Favor of the Request: None heard

Those Who Spoke in Opposition of the Request:

David Treece of 821 Rose Avenue expressed concerns regarding the brightness of the lighting at the facility, the potential increase in crime on the north side of town, and potential gas spills that could occur.

Kevin Maloy of 822 Marion Avenue stated that in the plans, the Applicant states utility poles will be moved, but does not specify where the new location will be. He also stated that the lighting specifically covering the diesel pump is concerning due to how close the pump will be to his property. Emily Maloy referenced an article from June 18, 2021 from the Big Rapids Pioneer stating that a member of the Planning Commission stated, “I don’t think this particular block is a great place for this type of project. It would negatively impact, in a great way, the rest of the block and I understand the concerns of the residents...” Mrs. Maloy stated that although she knows the Commissioner was referring to the rezoning request in particular, what makes her neighborhood any different? In order for the Maloy’s to be comfortable with the proposal being approved with conditions is if the Applicant were to:

1. Replace the fence at 822 Marion to implement a solid buffer between the facility and their property
2. Address lighting concerns for the surrounding neighbors
3. Install a speed deterrent in order to slow traffic, especially larger trucks using the alley to access the diesel pump.

Tyler and Kristal Wible of 830 Marion Avenue stated that there are several children that live in the neighborhood and parents are very concerned with the levels of benzene that could cause cancer. They also stated that the new gas station would create a nuisance for the neighborhood due to the lighting, safety, increase in traffic, and fumes. Mrs. Wible stated that another main concern is that there is inadequate space between the diesel pump and the alley, which will cause property damage for the surrounding neighbors.

Josh Ladwig of 826 Marion Avenue expressed concerns regarding the potential for the gas station becoming at 24-hour operation. Having the facility open 24/7 will directly impact the character and safety of the neighborhood.

Scott VanScoy of 818 Marion Avenue stated that while he doesn’t have strong opinions of the proposal, he does have questions regarding the use of the alley and overall safety concerns. He stated that currently, the alley is the only access point he has to his property. It is likely that more incidents and property damage will occur to the surrounding homes with the increase in traffic accessing Krist off of the alley.

Andrew Jorgenson of 205 W Pere Marquette Street stated that another gas station will not add any value to the City since there are several in town already. The City needs to focus on businesses that are currently lacking instead of welcoming even more competition with another gas station.

Jana Farrier of 729 N State Street stated there is no need to gas stations right next to each other. Additionally, other commercial businesses have been required to install a fence buffer between residential and commercial, so Krist Oil should be required to buffer between their property and the surrounding neighbors. She also stated that three rental units will be demolished in order for Krist Oil to build as proposed. The City has clearly indicated that the Big Rapids is in dire need of different housing types, so why demolish even more housing for residents. Mrs. Farrier also stated that there has been a gas station at the proposed location in the past and asked if Krist Oil has a plan to address any existing contamination before beginning their development.

Pam Borstler of 819 Marion Avenue expressed frustration with Krist Oil Company for wanting to locate so close to a residential neighborhood. Mrs. Borstler stated that there are many families that attend St. Mary's Catholic Church so why ruin the character of the neighborhood with a gas station.

A Representative of Farm Bureau Insurance at 826 N State Street stated that he is neither for nor against the project, he simply has a few questions. He stated according to MDOT, State Street was the highest accident-prone corner in Big Rapids up until a few years ago, so he is curious if the traffic pattern will change after this facility is open. He also asked about the likelihood or the feasibility of the City widening the existing alley approach to help mitigate traffic concerns.

Telephonic or Written Correspondence Received by Staff:

Staff received one phone call:

Sandy Hatchew of Mighty Muffer, 1204 N State Street, expressed their support for the proposed project, stating that the facility will be a nice new development for the north side of town. The food mart will be a nice addition and provide a convenient food option for staff during the workday.

Staff received four written responses regarding this proposal. The written notices are attached to these minutes. A summary is as follows:

Edward Calhoun of Paris, Michigan stated that "...as a factory worker in Big Rapids, having a nice gas station is needed for that part of town. There are lights that can be installed to help with traffic concerns."

Dan Farrow of 929 N State Street stated "...I believe that two gas stations located next to each other in that block would create an undesirable density of such businesses in that neighborhood.

The addition of a gas station/convenience store in that block would lead to an increase in traffic. Traffic in that part of our city already exceeds the capacity of the streets and traffic flow controls...”

Jane Johansen of 117 S Stewart Street stated, “I am writing to express my position of being against the proposed gas station... We have two gas stations on Northland Drive and 19 Mile Road... No one needs more overhead lights and the increased traffic and noise this would generate...”

Annie Cross wrote, “...There is no logical reason for building new gas stations; that is called “built-in obsolescence” and should not be implemented... The City should not encourage commercial development, especially such a polluting one, so near the river... It is my hope that the City of Big Rapids will do everything in its official power and authority to express love and appreciation for the magnificence of the Muskegon River and environs through their policies and planning.”

Krist Atanasoff of Krist Oil Company responded to the concerns voiced, stating that Krist Oil wishes to improve the Big Rapids community with this new development. Since 1917, Krist has located within small communities in Michigan and Wisconsin and assures that they are good neighbors and a good employer. In regard to the concerns:

- Snow will be plowed to the designated snow removal location on site and then hauled away by a local plow company.
- The lighting is environmentally friendly and does not flood the area with harsh light.
- There was an old gas station located on this site and old underground fuel tanks exist. EGLE is the regulatory agency for the State and Federal Government and any residual pollution will be addressed appropriately according to their guidelines.

Chair Jane closed the Public Hearing at 7:35 PM and the Commission entered into Fact Finding.

The Planning Commission asked KC Atanasoff of KSK Construction specific questions regarding the site plan. The conversation ensued the following topics:

- With the utility poles needing to be moved if the Plans are approved, does Krist have an idea of where the new location will be? Engineers of Krist Oil are currently working on alongside staff of Consumer’s Energy. There is not anything set in stone, but this issue needs to be addressed in order for Krist Oil to proceed with the project.
- Does Krist have any plans for making the hours of operation 24-hours? None of Krist’s 77 locations are open 24-hours.
- What does the process look like if there are old fuel tanks located on site? A Phase 1 Environmental Study is required by the State of Michigan. That Study will determine any ground contamination, asbestos, and any overall environmental concerns. The State will then provide Krist Oil with a list of recommendations of clean-up. The clean-up process will be addressed in-house by Krist Staff.

- How will Krist mitigate light emissions for the surrounding residences? The new LED lighting is designed to limit the number of emissions given off. The lighting plan is included in the Site Plan and indicates that the level of lighting is virtually zero around the perimeter of the property.
- Krist Oil is willing to work with surrounding homeowners to address the concerns of creating an adequate buffer between the residential properties and their commercially zoned property.
- What made Krist want to locate on the north side of town? A traffic study was conducted along with a population density study and the results indicate that the north side is in desperate need of a corner store offering milk, potatoes, and other meal necessities.
- With concerns of the alley access, would Krist be willing to explore encroaching more onto Krist's property instead of the alley right-of-way?

Motion was made by Jacob Buse, seconded by Kate McLeod, to table the final decision on the State Plan Review for a new gas station and food mart at 827 N State Street (PIN 17-10-278-008) until a future meeting, based on several conditions that need further review. Revised plans are to be brought to a future meeting for review by the full Planning Commission at which time the issue will be taken off the table and a decision will be made.

The conditions are required to ensure public services and facilities affected by the proposed land use or activity will be capable of accommodating increased service and facility loads caused by land use or activities and to ensure compatibility with adjacent land uses.

The conditions are as follows:

- 1. Bollard posts in front of the propane cages.**
- 2. New fire hydrant in the Right-of-Way along N State Street near the northeast corner of the building.**
- 3. Change material behind the building, next to the privacy fence, from mulch to stone.**
- 4. Permission from MDOT to connect into MDOT's stormwater system.**
- 5. Upon review and approval of the City's Engineering Firm, Fleis & VandenBrink, install speed deterrents in the alley.**
- 6. Where practical, install a fence to provide a buffer between the business and adjacent residential parcels.**
- 7. Replace the proposed bike racks with "inverted U" or "post and ring" style racks, as required in Section 5.7:2(3) of the Zoning Ordinance.**
- 8. Review the relocation of the utility pole to ensure service will not be disrupted.**
- 9. Engineering review of the 45' driveway approach to examine if approach could encroach more on the Applicant's property instead of the alley right-of-way.**

Motion passed with all in favor.

GENERAL BUSINESS

Continued Discussion of Proposed RRC and Form-Based Code Amendments to the Zoning Ordinance – Residential Districts and Zoning Map

Priebe summarized the Staff Report summarizing that Staff and Planning Commissioners have been working on the big Zoning Amendment compilation for the last several years. Discussion thus far included downtown district standards, the use table, and housing types. This meeting will look at the residential design standards and zoning map alterations. The key purpose behind the changes in the residential districts is to “right-size” the zoning district standards to the actual lot sizes in Big Rapids. The current Zoning Ordinance has district standards that make the vast majority of residential lots in Big Rapids non-conforming because they require very large lots. In regard to the map amendments, Staff put together sample Map Amendments to get the conversation started for the Planning Commission. These maps are for educational and discussion purposes only.

Staff proposes that two or three Planning Commissioners join Staff in a Working Group on this topic over the next few weeks to create a Draft Amended Zoning Map for recommendation at the Public Hearing. The Working Group will consist of Megan Eppley, Chris Jane, and/or Jacob Buse and Kate McLeod.

The tentative timeline to see this project through to Adoption is as follows:

- August 17 – Planning Commission Meeting
 - Present compiled Amendments in Full Draft Form
- August 22 – September 20 – Educational Sessions and Feedback
 - Publish information on City Website and hold two in-person meetings to inform the public, answer questions, and receive feedback on the proposed Amendments
- September 21 – Planning Commission Meeting
 - Formal Public Hearing on the Compiled Zoning Amendments
 - Recommendation to the City Commission
- October 3 – City Commission
 - City Commission acts on the proposed Ordinance

UNSCHEDULED BUSINESS

Skate Meet Up at Swede Hill Park on July 30 from 12:00 – 3:00 PM

Grab your wheels, tell your friends & come skate to get a peek of what it would be like to have a skatepark in the City of Big Rapids! On the day of the event, several local vendors will be at Swede Hill Park selling food and drinks. Some have agreed to donate a portion of their proceeds from their overall sales that day back to the Big Rapids Skatepark Project. Hope to see you all there!

There being no further business, Chair Jane adjourned the meeting at 8:45 PM with all in favor.

Respectfully submitted,

Emily Szymanski
Planning & Zoning Technician and Planning Commission Secretary

Paula Priebe

From: DA Cross <jfcross17671@charter.net>
Sent: Tuesday, July 19, 2022 7:56 PM
To: Paula Priebe
Subject: [External Sender] Krist Oil Company proposal

Dear Ms. Priebe:

I am writing in regard to the Krist Oil Company's proposal for establishing a gas station and food mart/convenience store in Big Rapids. This is a repeated effort on Krist Oil's part to establish a new gas station in Big Rapids.

I am writing in opposition to this plan for the following reasons:

The country is moving away from (and should be moving away from) gasoline-powered vehicles. Realizing this transition won't happen overnight and existing gasoline-powered vehicles will remain on the road even when new gas-powered vehicles are no longer being produced for some period of time, I understand that there will be continued need for gas stations. However, the need for gasoline and gas stations will inevitably be in increasing decline. With that uppermost in mind, there is no logical reason for building *new* gas stations; that is called "built-in obsolescence" and should not be implemented. Furthermore, there are plenty of gas stations in and around Big Rapids already, whether on State Street, Perry, Maple, or surrounding nearby areas. Gasoline stations, while a necessity, are inevitably an eyesore. There is contamination from debris and litter and there is light pollution from the usually extensive and garish lighting for such businesses.

Another reason to oppose the establishment of another gas station in Big Rapids, and particularly so near the Muskegon River is just that: the City should not encourage commercial development, especially such a polluting one, so near the river. The Muskegon is the area's most precious natural feature, and every effort should be made to protect, and enhance it, not add new threats to its beauty and water quality. Realizing that this proposed gas station is not *on* the river, it is near enough to have an effect on the river and on those who would want to enjoy or use the river. What is apparent in the proposal is a large commercial presence near the river and its presence will attract other influences that are unlikely to be very compatible with using or enjoying the river and its near environment.

This proposal is for a new business that just isn't needed, not from any perspective other than the business owner's. One wonders why Krist Oil Company is so set on building a new gas station in Big Rapids, as their representative realtor McNally said that "Krist Oil really wants to bring a gas station to Big Rapids." Why? Big Rapids doesn't need another gas station and doesn't need another gas station "brought to" it.

It is my hope that the City of Big Rapids will do everything in its official power and authority to express love and appreciation for the magnificence of the Muskegon River and environs through their policies and planning.

Thank you for the opportunity to express an opinion on this matter.
Best wishes,
Annie Cross

Daniel F. Farrow, EMT-P
929 North State Street
Big Rapids, MI 49307
Ph: 231-250-1063

July 14, 2022

City of Big Rapids
Planning Commission
Chris Jane, Chairman

Dear Chairman Jane,

My name is Dan Farrow and I have been a resident of the City of Big Rapids for over 40 years. It has come to my attention that a company is seeking permits to build a gas station/convenience store in the 800 block of North State Street on the northernmost 2-3 parcels immediately north of the existing Admiral gas station. I am writing to you to tell you that I am opposed to locating a gas station on that property. I believe that two gas stations located next to each other in that block would create an undesirable density of such businesses in that neighborhood. The addition of a gas station/convenience store in that block would lead to an increase in traffic. Traffic in that part of our city already exceeds the capacity of the streets and traffic flow controls. Furthermore, the proposed development includes the demolition of two structures that are currently multi-unit residential dwellings – removing something that is already in short supply in our community. In closing I ask you to please take into consideration my concerns when reviewing the above-mentioned business plan.

Sincerely,



Daniel F. Farrow, EMT-P

cc: Mayor Fred Guenther
Jana Grunst

CHRIS,
THANKS FOR
LISTENING TO MY
CONCERNS.
DAN

From: [Jane Johansen](#)
To: [Paula Priebe](#)
Subject: [External Sender] Krist Oil
Date: Sunday, July 17, 2022 11:03:26 AM

Hi, I am writing to express my position of being against the proposed gas station. In driving by today, I noticed there would be two stations within basically a block.....a little over kill. Another reason, we do have two stations on the intersections of Northland Dr. and 19 Mile road, so the excuse that we have no access to fuel for folks coming into town from the north is not true. And my main reason is quality of life for the neighborhood, especially Marion.....no one needs more overhead lights and the increased traffic and noise this would generate. Our citizens and their quality of life should be more important than a new business. Marion is a nice neighborhood and let's keep it that way. Jane Johansen

BEWARE OF THE RISK OF WIRE FRAUD

If you are wiring funds, please verify wire instructions by calling your local title office to confirm accuracy. Do not reply on the telephone numbers provided in the email. NEVER wire money without first confirming verbally that wire instructions are correct.

Jane Johansen 117 S. Stewart
Big Rapids, MI 49307

1-231-250-2507-Cell
1-231-598-9558-Fax

This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

Paula Priebe

From: Ed Calhoun <ed_clhn@yahoo.com>
Sent: Monday, July 18, 2022 3:27 PM
To: Paula Priebe
Subject: [External Sender] Krist gas station

I would like to see a better gas station on those lots as a factory worker it would be awesome and also a resident of paris a nicer gas station. Admiral is old and small, Bridge and beacon barley holding on same as speedway. There is lights there to help with traffic. Thnx Edward Calhoun



PROTECT YOUR RESISDENTS



BENZENE - a colorless volatile liquid hydrocarbon present in coal tar and petroleum, and used in chemical synthesis. Its use as a solvent has been reduced because of its carcinogenic properties. **(THE GAS THAT IS RELEASED FROM A GAS STATION)**

According to WHO (World Health Organization) – there is **NO** safe level of BENZENE.

- A 1993 study published by the Canadian petroleum industry found average benzene concentrations of 146 and 461 parts per billion (ppb) at the gas station property boundary in summer and winter, respectively.
- A 2001 study noted median ambient benzene levels of 1.9 ppb in houses up to 328 feet from a service station.
- A 2003-2004 study conducted in France documented a significant relationship between childhood leukemia and living near a gas station.
- A 2010 study conducted in Spain documented elevated air pollution within 100 meters (**328 feet**) of a gas station.
- In 2012, Brazilian researchers found that air quality was significantly degraded up to 150 meters (**492 feet**) from gas stations.

Source: gasstation - Community & Environmental Defense Services (ceds.org)

EVERYONE THAT LIVES WITHIN 500 FEET IS IN DANGER !!!!

OTHER IMPACTS: LIGHTING, NOISE, POLLUTION, DECREASE IN HOME VALUES

THESE ARE JUST SOME FACTS AND STATISTICS THAT PROVE PUTTING A GAS STATION IN A RESIDENTAL AREA IS EXTREMELY HARMFUL & DANGEROUS

STAFF REPORT TO THE PLANNING COMMISSION

TO: Planning Commission
FROM: Jessie Black, Community Development Fellow
SUBJECT: City of Big Rapids Economic Development Strategy
DATE: October 10, 2022

Introduction

Most communities have a general idea of how they intend to encourage economic development. High performing Redevelopment Ready Communities® (RRCs) distinguish themselves from others by having a clear strategy that describes how they intend to attract investment, build tax base, and create jobs. Their strategies are rooted in relevant community planning documents, and they execute deliberate initiatives that encourage investment while eliminating development and redevelopment obstacles. A community's economic development strategy is among the most important elements of the RRC process as it focuses squarely on retaining and attracting jobs and investment—primary goals of the RRC program.

Discussion Thus Far

Jessie Black has organized a steering committee comprised of the following members: City Manager Mark Gifford, Community Development Director Paula Priebe, MCDC Executive Director Kelly Wawczyk, DBA Director Josh Pyles, Toppings/The Backroom Owner Shawna Conley. The steering committee met for its kickoff meeting on October 5, 2022. At the meeting Jessie laid out the proposed timeline along with the Redevelopment Ready Communities Economic Development Strategy Guide that will guide the framework and timeline of this initiative.

Timeline

