

1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

DW Burlingame Venture, LLC

ENTITLEMENT APPLICATION 03/24/2022 VOLUME 3 OF 3: BUILDING 1, 2, 3, SOUTH PARKING & NORTH PARKING

WRNSSTUDIO

501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107 415.489.2224 TEL 415.358.9100 FAX WWW.WRNSSTUDIO.COM



WATRY DESIGN, INC.







WATT





BUILDING 1 SOUTH

BUILDING 1 - COVER

SHEET NO: ENT A.1-000

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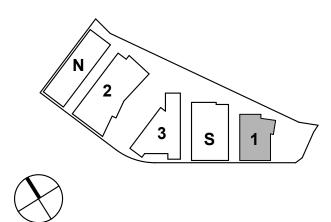
CODE SUM	MMARY
TYPE OF CONSTRUCTION	TYPE IA RISK CATEGOI SEISMIC IMPOI
REQUIRED FIRE RESISTIVE RATINGS	EXTERIOR BEA INTERIOR BEA EXTERIOR NOI INTERIOR NON STRUCTURAL FLOORS -CEILI ROOF -CEILINO STAIRWAY ENO SHAFT ENCLO
OCCUPANCY CLASSIFICATION	GROUP B: GROUP A: OCCUPANCIES THIS BUILDING TENANT FITOL
ALLOWABLE STORIES	B OCCUPANCY A-3 OCCUPANCY L OCCUPANCY
ALLOWABLE HEIGHT	B OCCUPANCY L OCCUPANCY
HAZARDOUS MATERIALS QUANTITY PER LABORATORY SUITE	STORY ABOVE GRADE 1-3 4-6 7-10 11-14 UL = UNLIMITE
ACTUAL AREA	LEVEL 1: LEVEL 2: LEVEL 3-10: LEVEL 11: ROOF: TOTAL ABOVE ABOVE GRADE
	ABOVE GRADE B OCCUPANCY L OCCUPANCY A OCCUPANCY M OCCUPANCY
ACTUAL STORIES ACTUAL HEIGHT	11 STORIES AE 185'-0
FIRE SEPARATION DISTANCE	EXTERIOR NOI GROUPS A, & E 0 FT <x 5="" <="" ft<br="">5 FT ≤X < 10 FT 10 FT ≤X < 30 F 30 FT ≤X =</x>
EXTERIOR WALL OPENINGS	MAXIMUM ARE UNPROTECTED PROTECTED / UNPROTECTE NP = NOT PER
FLOOR OPENINGS &	4 STORIES OR
EXITING & OCCUPANT	LESS THAN 4 S
LOAD EXITS REQUIRED	ALL EXITS ARE
EXITS PROVIDED	SEE LIFE SAFE
TRAVEL DISTANCE	GROUP B OCC GROUP L OCC GROUP A OCC GROUP S2 OC
AREA OF REFUGE	* INCREASE IN SPRINKLER SY NO AREA OF R
ELEVATORS	ONE ELEVATO THE ELEVATO WITH 5-INCH R IDENTIFIED BY ELEVATOR MA
FIRE PROTECTION	AUTOMATIC FI STANDPIPE SY PORTABLE FIR ACCORDANCE FIRE ALARM S' ACCORDANCE EMERGENCY V FIRE PUMP (W CAPACITY) PR
EMERGENCY RESPONDER RADIO COVERAGE SYSTEM (ERRCS)	INDEPENDENT SUBTERRANE/ AND ISOLATIO THE MACRO R
CEQA	LOW-FLOW PL CBC, CALGREE
PLEASE NOTE: THE OFFICE I AND WILL BE SUBMTTED AS THE PROJECT ANTICIPATES	B-GROUP OCCU

THE PROJECT ANTICIPATES POTENTIAL FUT OCCUPANCY, AS PART OF FUTURE TENANT RELEVANT REQUIREMENTS FOR B-GROUP AN INCORPORATED INTO THE DESIGN WHERE C BUILDING ARE AFFECTED.

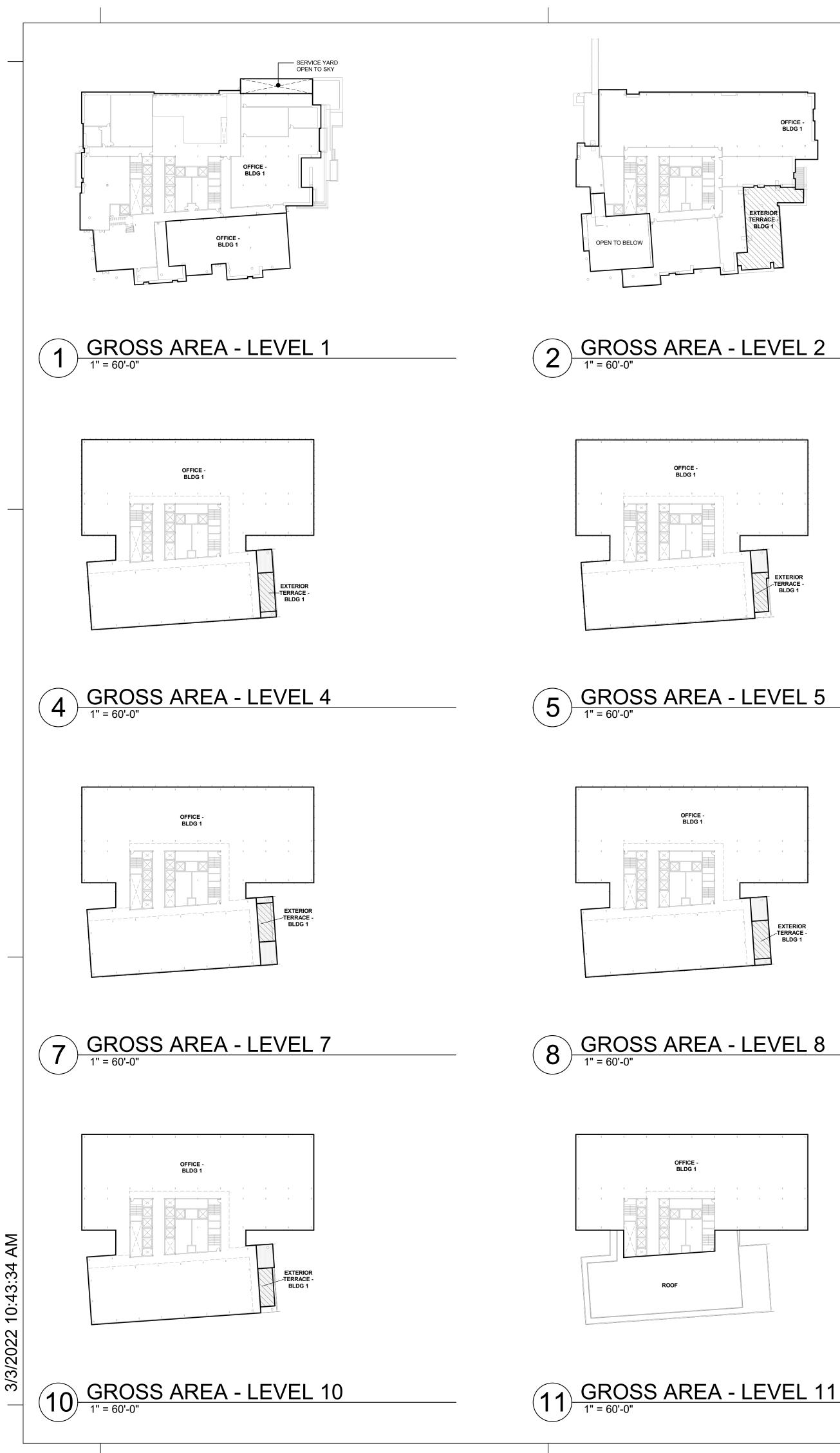
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DRY III DRTANCE FACTOR 1.25	602.2 TABLE 1604.5 1613	501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107
EARING WALLS3 HOURARING WALLS3 HOURDN-BEARING WALLSSEE "FIRE SEPARATION DISTANCE" BELOWIN-BEARING WALLS0 HOUR_ FRAME3 HOURLING/FLOORS2 HOURIGS/ROOFS1 1/2 HOURNCLOSURESEE "FLOOR OPENINGS & SHAFTS" BELOWOSURESSEE "FLOOR OPENINGS & SHAFTS" BELOW	TABLE 601	415.489.2224 TEL 415.358.9100 FAX WWW.WRNSSTUDIO.COM
OFFICE ASSEMBLY ES ARE SEPARATED	CBC CH. 3 CBC CH. 5 508.3	
G IS DESIGNED FOR POTENTIAL FUTURE GROUP L OCCUPANCY AS PART OF UT UNDER SEPARATE PERMIT		CMG
CY: UL STORIES NCY: UL STORIES :Y: 20 STORIES	TABLE 504.4	
CY: UL CY: UL	TABLE 504.3	BKF
% OF MAX. # OF LAB SUITES DE PER LAB SUITE PER FLOOR 100 UL 75 20 50 16 50 8	CBC CH. 4 TABLE 453.7.2.1	
ED NP = NOT PERMITTED 37,400 SF	CBC CH. 5	
29,300 SF 34,800 SF 23,100 SF 4,800 SF	TABLE 504.3 TABLE 504.4 506.2.4 506.3	moffatt & nichol
E GRADE BUILDING AREA = 373,000 SF DE BUILDING AREA	508.4 TABLE 506.2	WATT
CY: UL AREA TYPE IA CY: UL AREA TYPE IA CY: UL AREA TYPE IA CY: UL AREA TYPE IA		ISSUES DAT
ON BEARING WALLS	CBC CH. 6	ENTITLEMENT APPLICATION 03/24/202
B GROUP L T = 1 HR 0 FT <x 5="" <="" ft="</td"> 3 HR T = 1 HR 5 FT \leqX < 10 FT =</x>	TABLE 602	
EA OF EXTERIOR WALL OPENINGS FIRE SEPARATION DISTANCE 0'-3' 3'-5' 5'-10' 10'-15' 15'-20' 20'-25' 25'-30' >30' ED NP NP 10% 15% 25% 45% 70% NL NP 15% 25% 45% 75% NL NL NL TED & SPRINKLERED RMITTED NL = NO LIMIT	CBC CH. 7 TABLE 705.8	
R MORE = 2 HR STORIES = 1 HR	CBC CH. 7 713.4	
ETY PLANS E ACCESSIBLE	CBC CH. 10 1004	-
ETY PLANS	CBC CH. 10 1006	DW Burlingame Venture, LLC
ETY PLANS	CBC CH. 10 1006	
CUPANCY: *300 FT CUPANCY: *200 FT CUPANCY: *250 FT CCUPANCY: *400 FT	CBC CH. 10 TABLE 1017.2	1200-1340 OLD BAYSHORE
N ALLOWABLE TRAVEL DISTANCE FOR BUILDINGS EQUIPPED WITH A SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1		HIGHWAY Burlingame, CA 94010
REFUGE IS REQUIRED	CBC CH. 10 1009.3.3 CBC CH. 30	
OR SHALL PROVIDE EMERGENCY SERVICES TO ALL LANDINGS. DR CAR SHALL ACCOMMODATE AN AMBULANCE STRETCHER 24"X84" RADIUS CORNERS, IN THE HORIZONTAL OPEN POSITION, AND SHALL BE Y THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. ACHINE ROOMS SHALL HAVE AN INDEPENDENT VENTILATION OR AC	3002.4 3006.2	KEYPLAN
FIRE SPRINKLERS PROVIDED IN ACCORDANCE WITH SECTION 903.3.1.1 SYSTEMS IN ACCORDANCE WITH SECTION 905 RE EXTINGUISHERS WITH A MINIMUM CLASSIFICATION OF 2A:10BC PROVIDED IN E WITH SECTION 906 SYSTEM WITH UL CENTRAL STATION, FULLY ADDRESSABLE SYSTEM PROVIDED IN E WITH NFPA 72 (DEFERRED SUBMITTAL) VOICE/ALARM COMMUNICATION SYSTEM PER SECTION 907.5.2.2 W/ EMERGENCY BACK-UP GENERATOR & 12 HOURS OF FUEL STORAGE ROVIDED FOR SPRINKLERS AND STANDPIPES	CBC CH. 9 CFC CH. 9	
IT ERRCS SYSTEM PROVIDED THROUGHOUT BUILDING AND EAN GARAGE. BUILT-IN OSCILLATION PROTECTION SYSTEM. TUNING ON OF THE SYSTEM IS REQUIRED TO ELIMINATE INTERFERENCE WITH RADIO INFRASTRUCTURE, AND SIGNALS FROM NEARBY BUILDINGS.	CBC CH. 9 916.1 CFC CH. 5 510.1	PROJECT NO.: 20045.00 DATE: 03/24/2022
LUMBING FIXTURES WILL BE USED THROUGHOUT PROJECT, IN COMPLIANCE WIT EEN AND LEED REQUIREMENTS	н	- SCALE: 12" = 1'-0"
HS PROJECT ARE CORE-SHELL ONLY, JPANCY BUILDINGS.		BUILDING 1 - CODE &
FITOUTS UNDER SEPARATE PERMITS.		AREA SUMMARY
AND L-GROUP OCCUPANCY ARE CORE-SHELL COMPONENTS OF THE		
		SHEET NO:
		ENT A.1-010

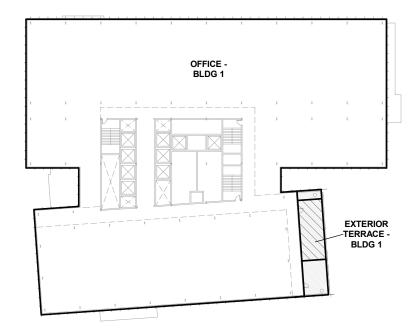
WRNSSTUDIO 501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107 415.489.2224 TEL 415.358.9100 FAX www.wrnsstudio.com ____ ____ WATRY DESIGN, INC. Architects • Engineers CMG BKF 1 moffatt & nichol WATT ISSUES DATE ENTITLEMENT APPLICATION 03/24/2022

DW Burlingame Venture, LLC



BUILDING 1 - CODE & AREA SUMMARY

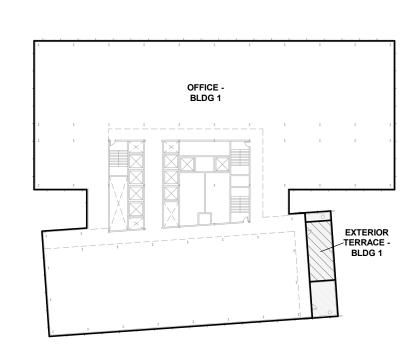




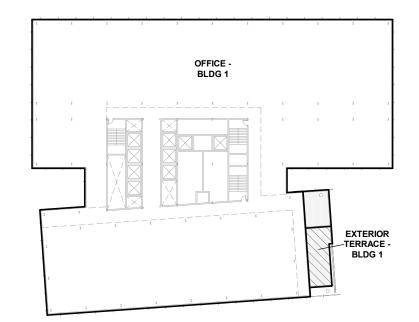
GROSS AREA - LEVEL 3

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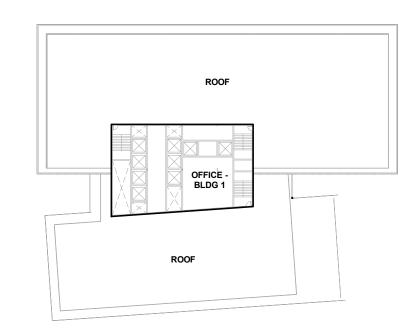
1" = 60'-0"













All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer

LEGEND

*REFER TO SHEET ENT G-002 FOR ALL BUILDING AREAS **GROSS BUILDING AREA**

GROSS BUILDING AREA IS DEFINED AND CALCULATED PER BURLINGAME MUNICIPAL CODE TITLE 25.

BURLINGAME MUNICIPAL CODE ARTICLE 8: DEFINITIONS

25.030.060.A - Determining Floor Area, Generally. The floor area of a building shall be the sum of all floors of a building or buildings, as measured to the outside surfaces of the exterior walls of the structure or structures and including such areas as halls, stairways, covered porches and balconies, elevator shafts, service and mechanical equipment rooms and basements, cellars, and improved space in attic areas.

25.030.060.D.2 - Non-Residential Exemptions.

Exempted from floor area ratio computation for commercial development are: a. Chimneys, cupolas, and flag poles.

- b. Canopies at entrances to buildings. c. Balconies (uncovered or covered).
- d. Covered walkways and arcades.
- e. Ground level trellises.
- f. Trash enclosures.

g. Water tanks, elevator penthouses, and other mechanical appurtenances. h. Fire or hose towers. i. Ground level service yards, if open to the sky, and which may otherwise

be partially enclosed.

25.108.070 - "F" Definitions.

Floor area, gross. The total area enclosed within a building, including closets, stairways, and utility and mechanical rooms, measured from the outside face of the walls.

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moffatt & nichol



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DATE 03/24/2022

DW Burlingame Venture, LLC



KEYPLAN

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PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: 1" = 60'-0" SHEET TITLE:

BUILDING 1 - AREA PLANS

SHEET NO: ENT A.1-020

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moffatt & nichol



ISSUES ENTITLEMENT APPLICATION

DATE 03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

KEYPLAN

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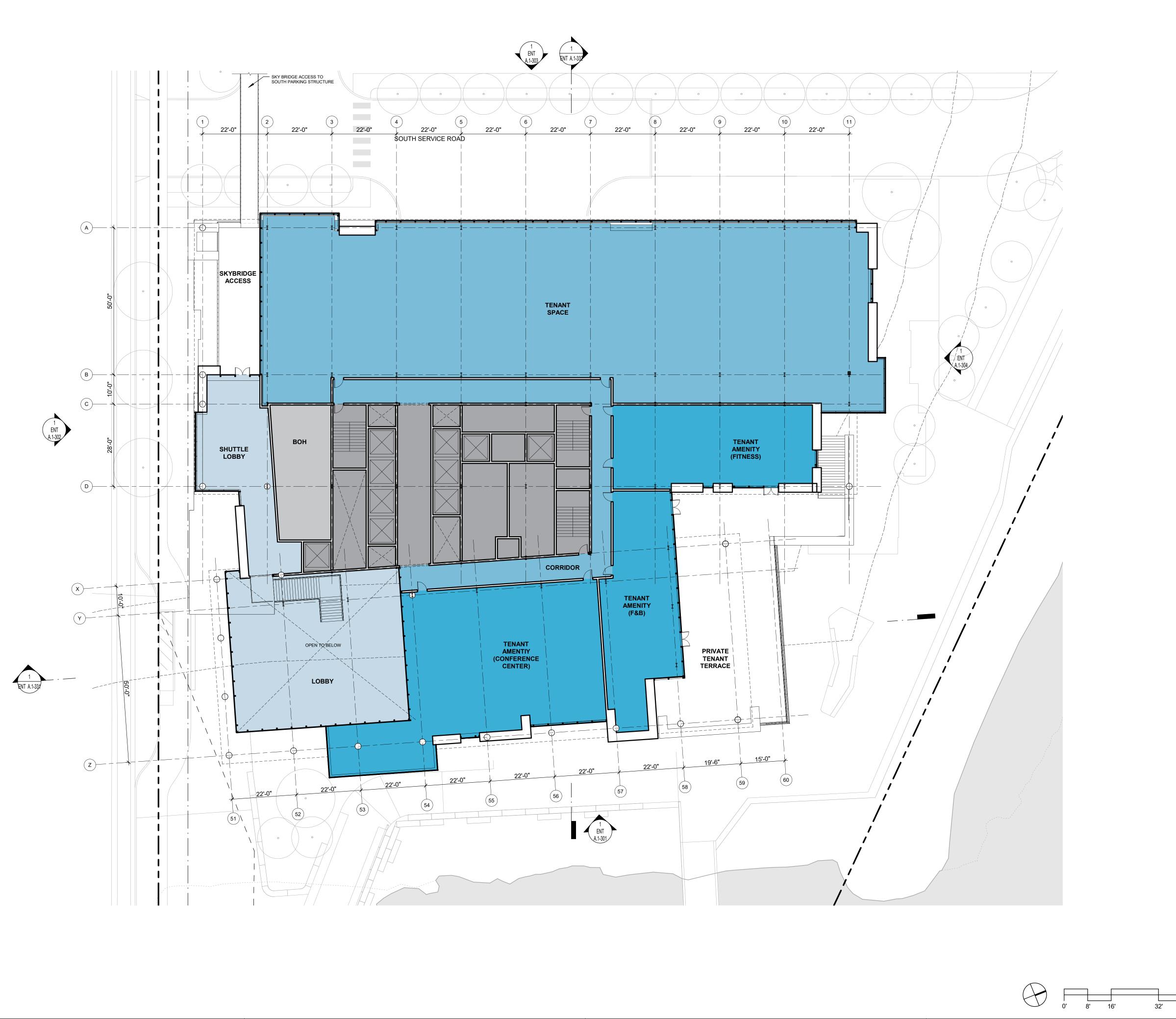
PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: 1/16" = 1'-0"

SHEET TITLE:

BUILDING 1 - FLOOR PLAN - LEVEL 1

SHEET NO: ENT A.1-101

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If this drawing is not 24"x36", then the drawing has been revised from its original size.	
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KEYPLAN

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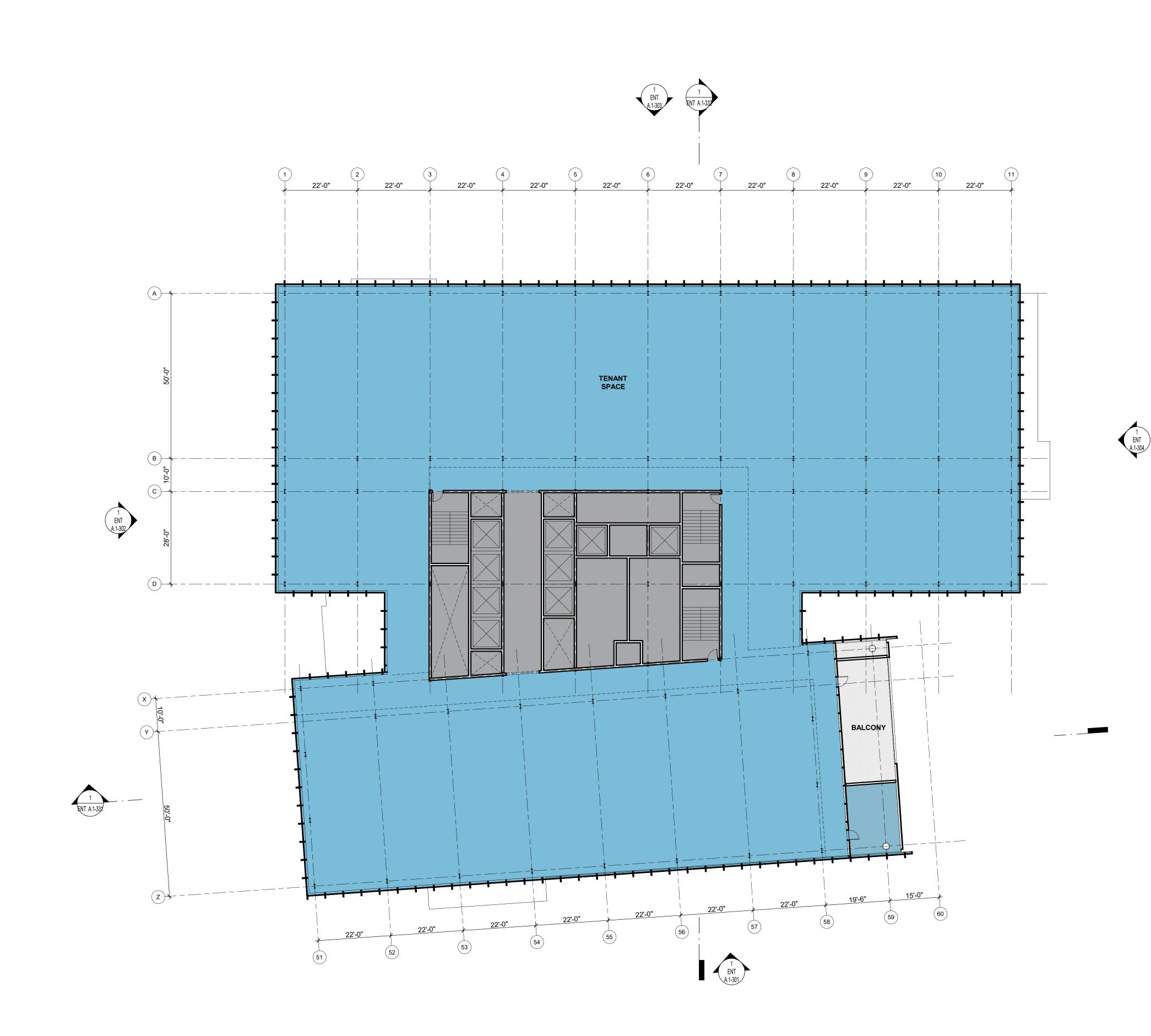
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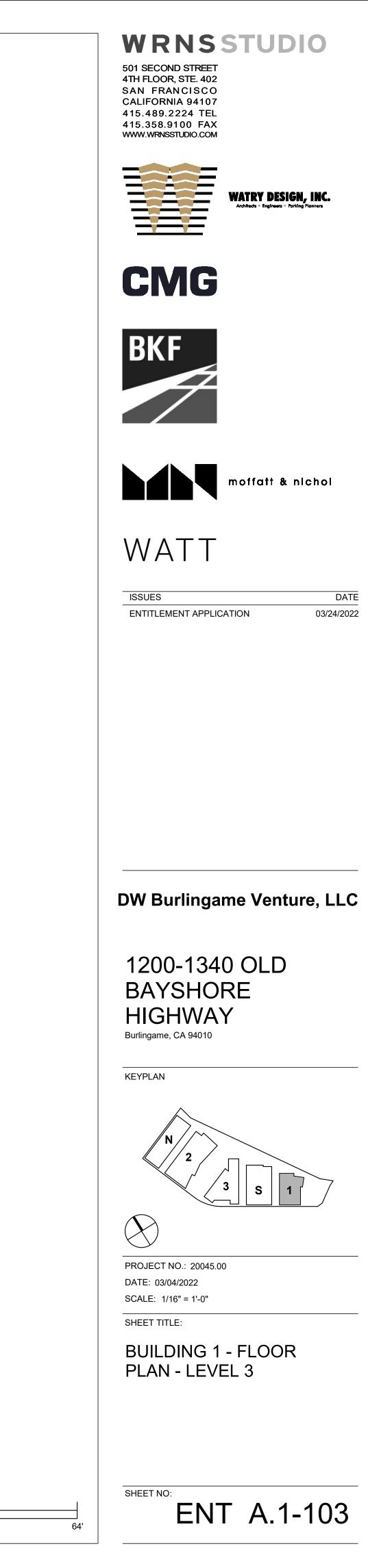
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BUILDING 1 - FLOOR PLAN - LEVEL 2

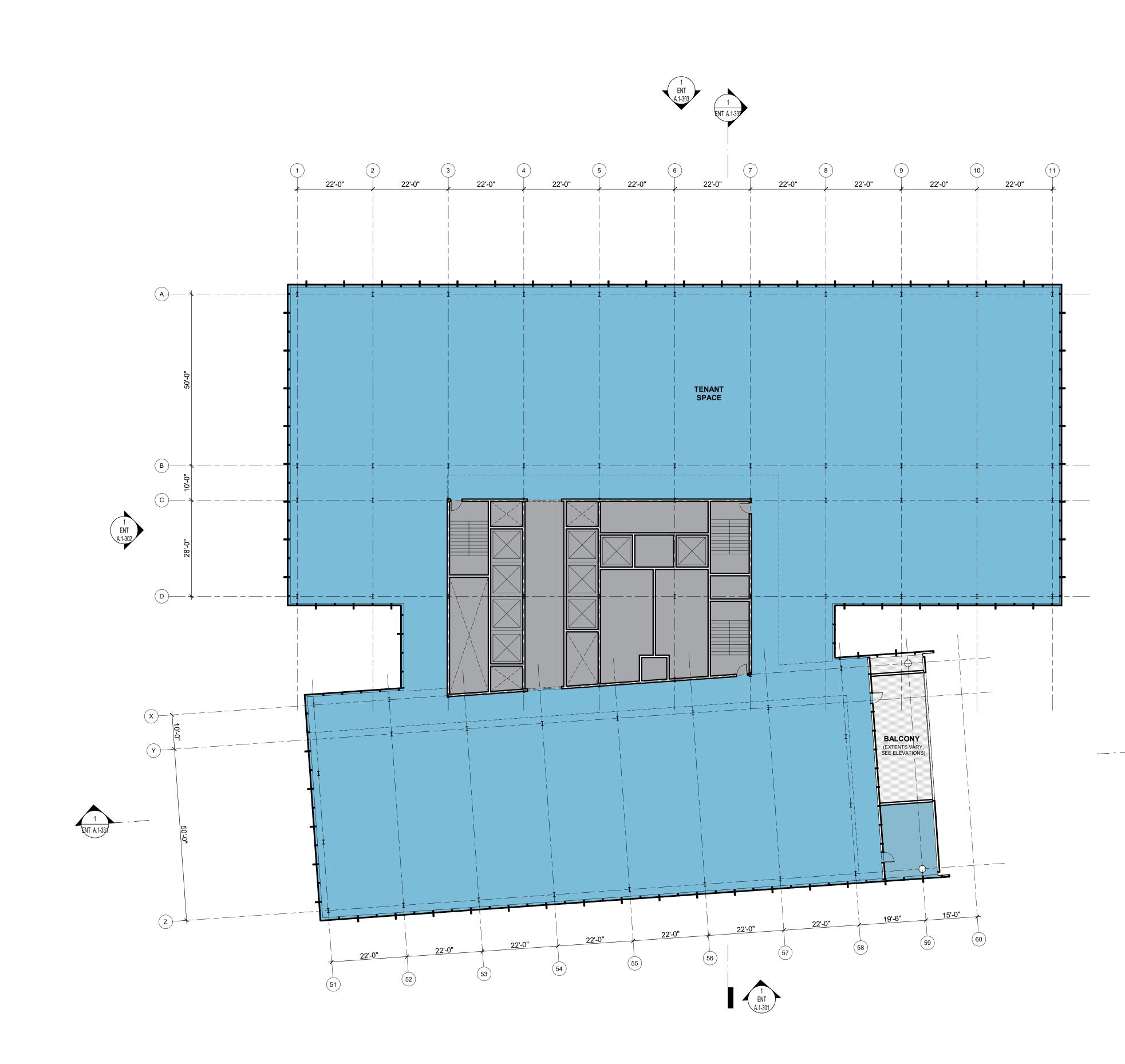
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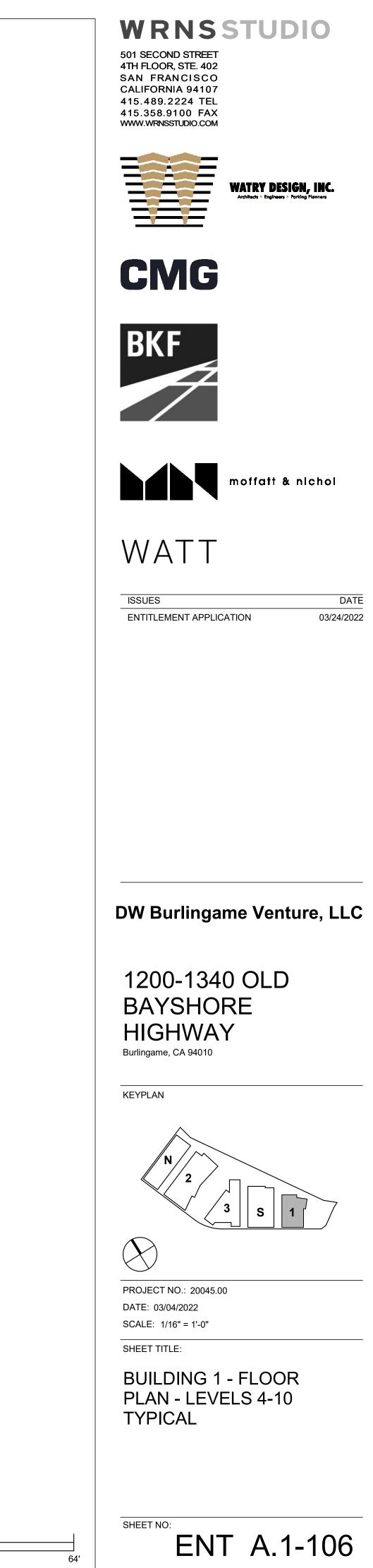
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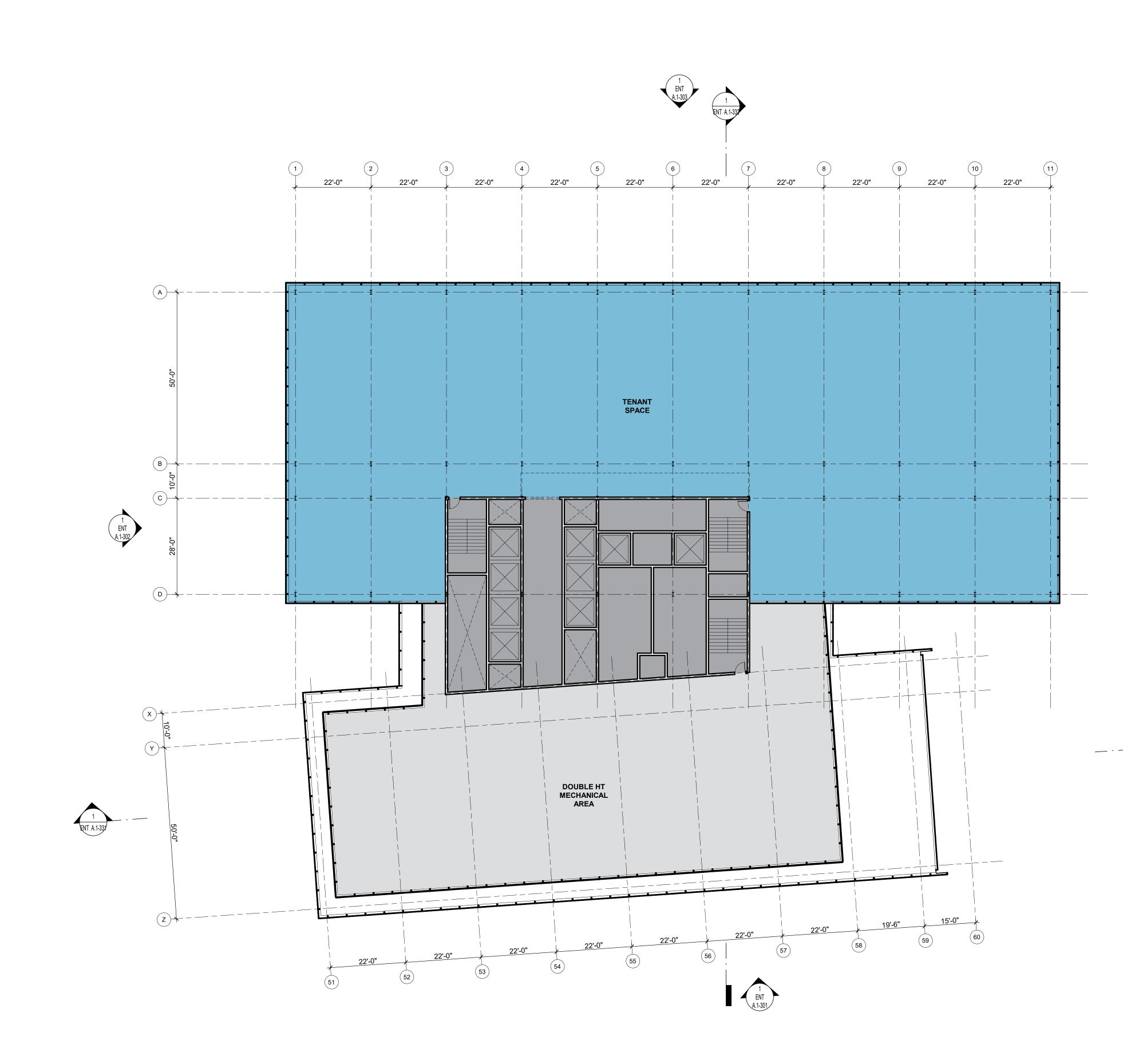


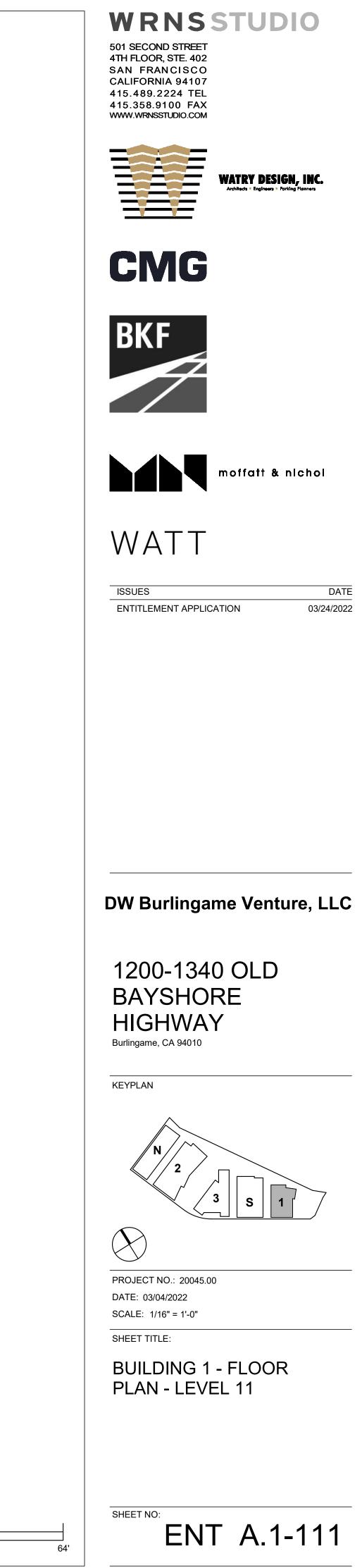


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1 ENT A.1-304

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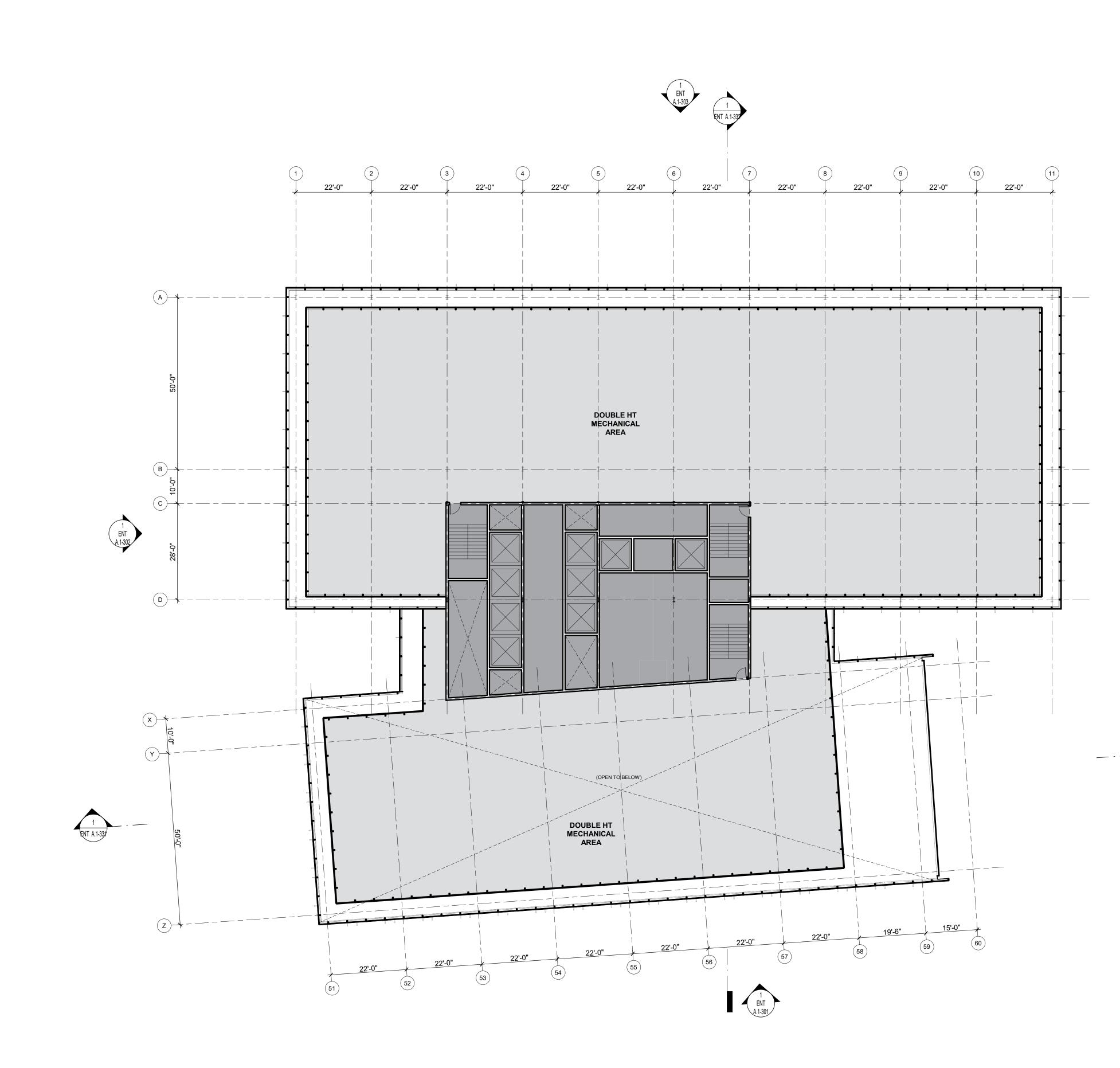


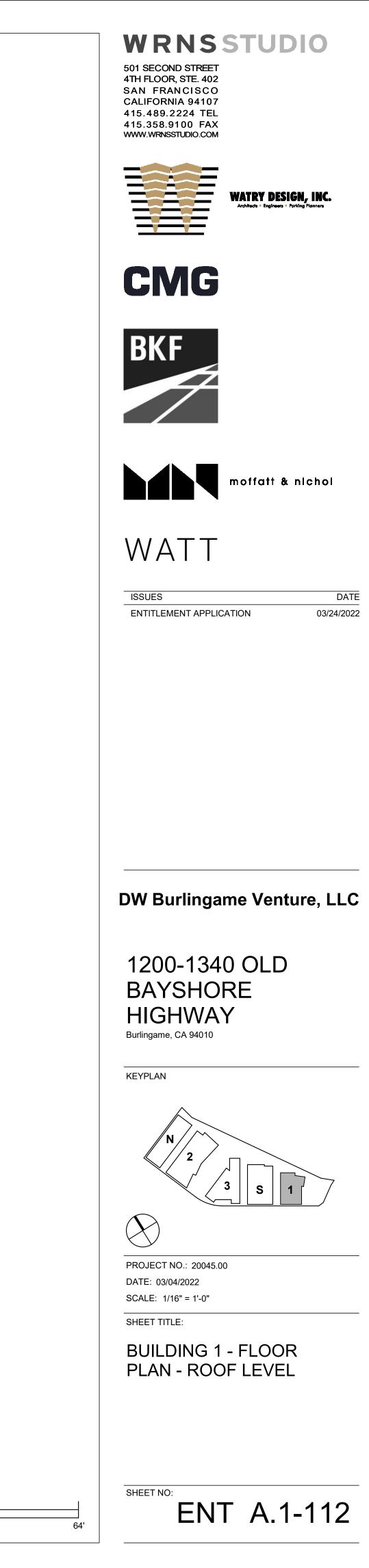
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1 ENT A.1-304

6' 32' evised from its original size.

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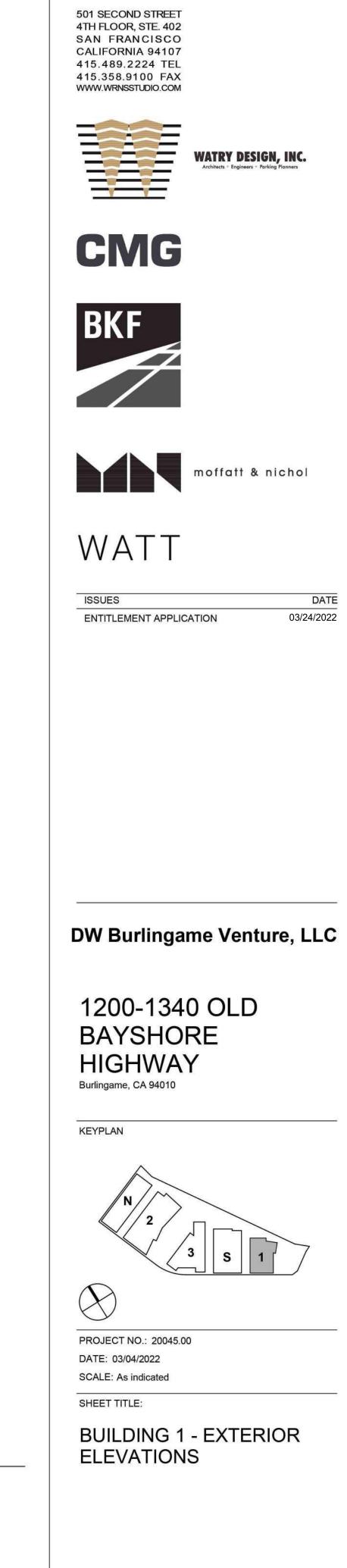
If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch

1 ENT A.1-304





#	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.3	WARM MTL FRAMED CANOPY
7.4	WARM MTL FRAMED STOREFRONT
7.6	SSG CURTAINWALL - CLEAR GLAZING
7.7	SSG CURTAINWALL - FRITTED GLAZING
7.8	WARM MTL COLUMN COVER
7.12	LIGHT MTL VERTICAL FIN
7.17	BACKUP MTL PANEL SCREEN WALL
8.6	GRAPHIC INTERLAYER GLAZING
9.2	GLAZED SHADOW BOX



SHEET NO:

ENT A.1-301

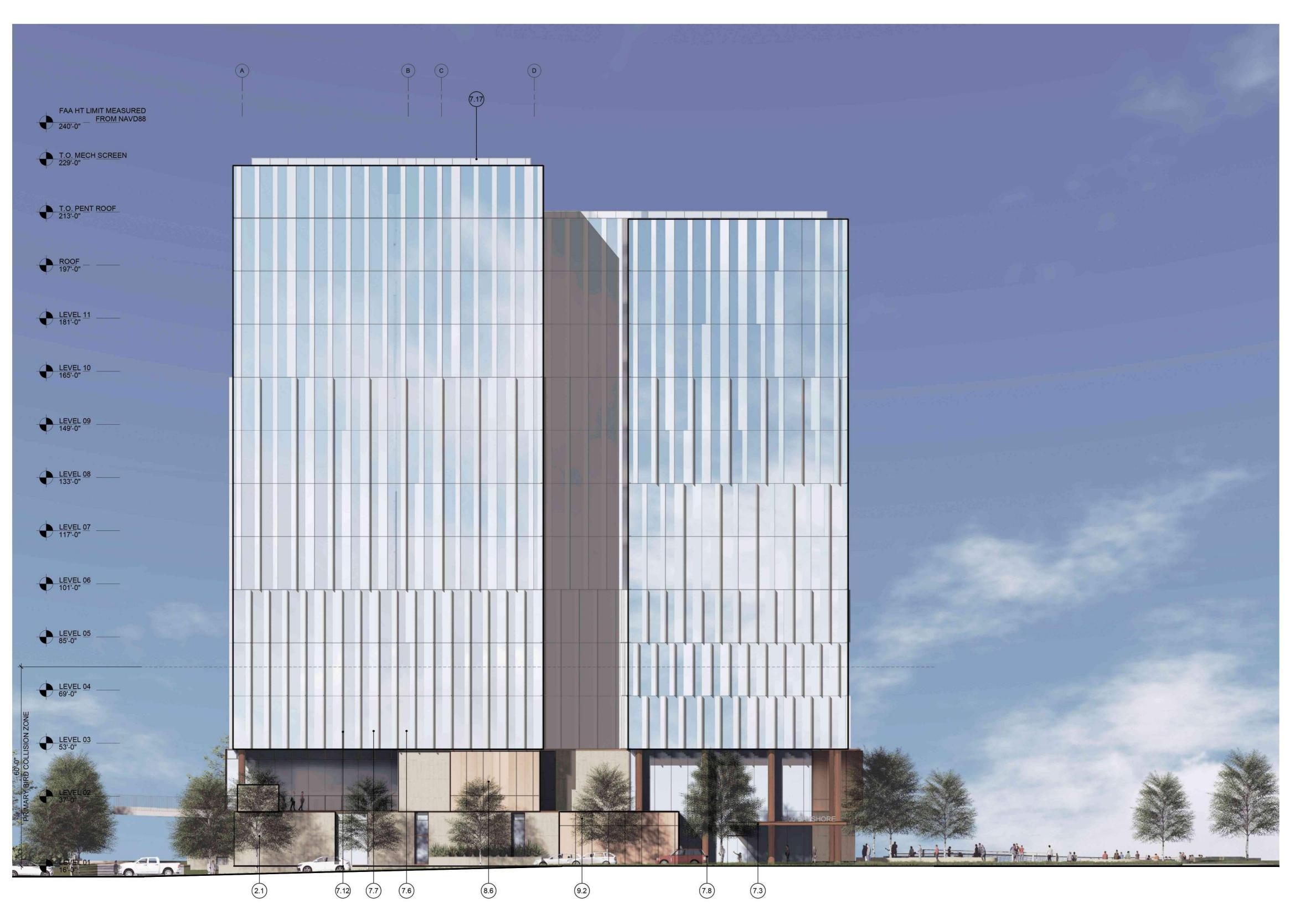
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GROUND FLOOR FACADE AREA CALCULATIONS

BAYSHORE HWY ELEVATION GROUND FLOOR FACADE AREA: 3727 SF GROUND FLOOR GLAZED AREA: 1907 SF GROUND FLOOR % GLAZED AREA: 51 %

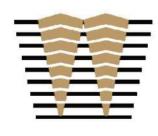
BUILDING 1 - BAYSHORE HWY ELEVATION 〔1〕



(#)	ELEVATION KEYNOTES	
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS	
7.3	WARM MTL FRAMED CANOPY	
7.6	SSG CURTAINWALL - CLEAR GLAZING	
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WATRY DESIGN, INC. Architects * Engineers * Parking Flammers





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WATT

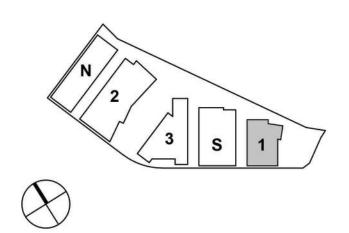
ISSUES ENTITLEMENT APPLICATION

DATE 03/24/2022

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KEYPLAN

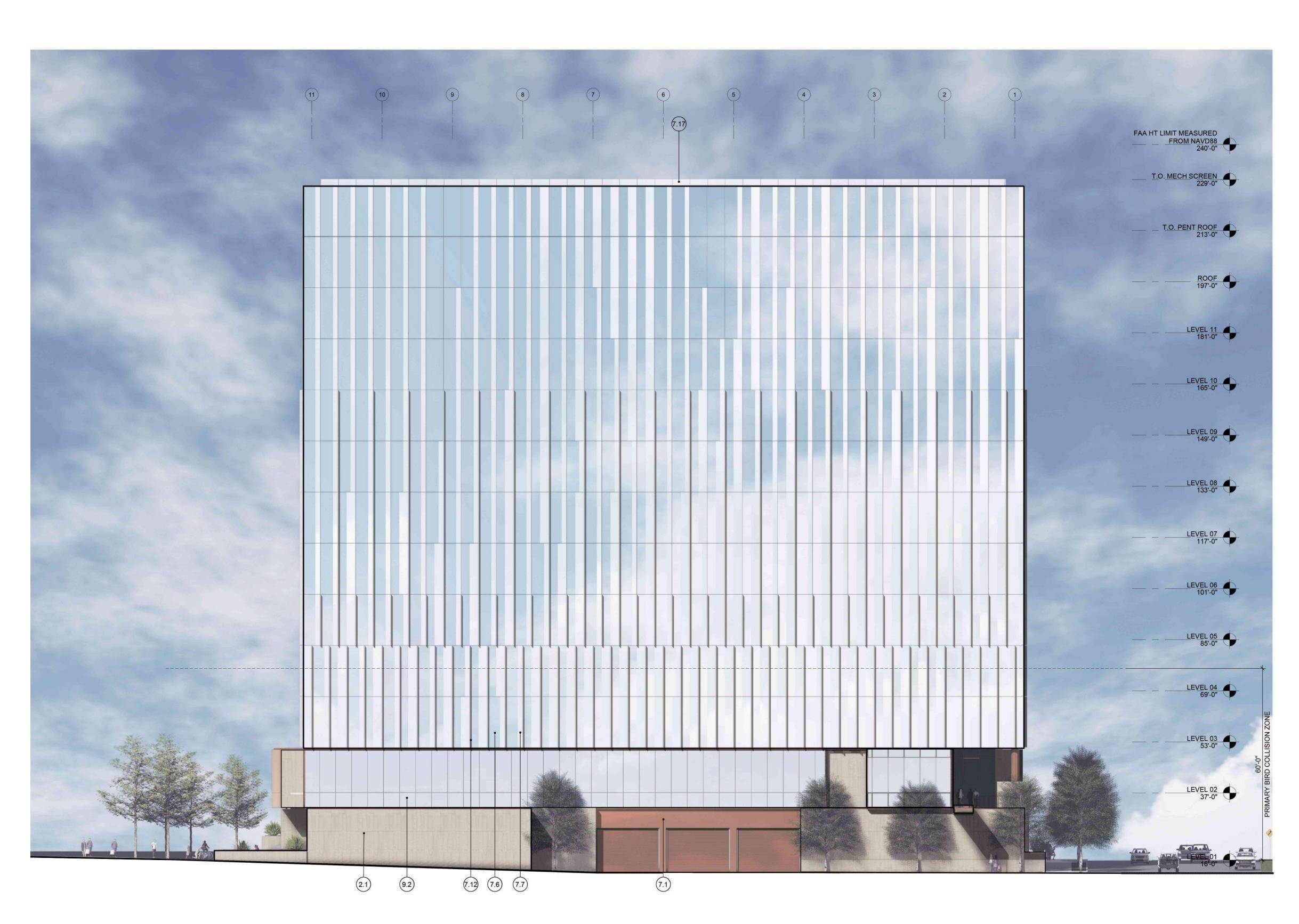


PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: As indicated

SHEET TITLE:

BUILDING 1 - EXTERIOR ELEVATIONS

SHEET NO: ENT A.1-302

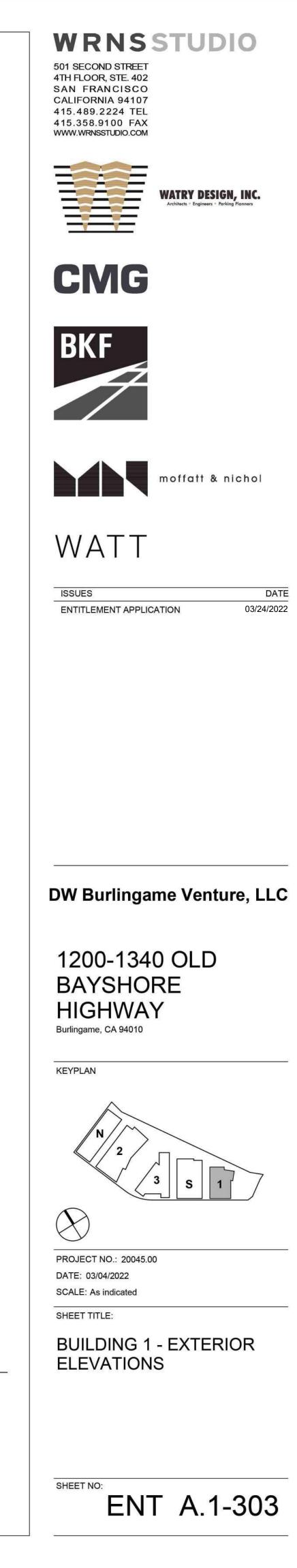




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(#)	ELEVATION KEYNOTES

af.	
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.1	WARM MTL PANEL
7.6	SSG CURTAINWALL - CLEAR GLAZING
7.7	SSG CURTAINWALL - FRITTED GLAZING
7.12	LIGHT MTL VERTICAL FIN
7.17	BACKUP MTL PANEL SCREEN WALL
9.2	GLAZED SHADOW BOX

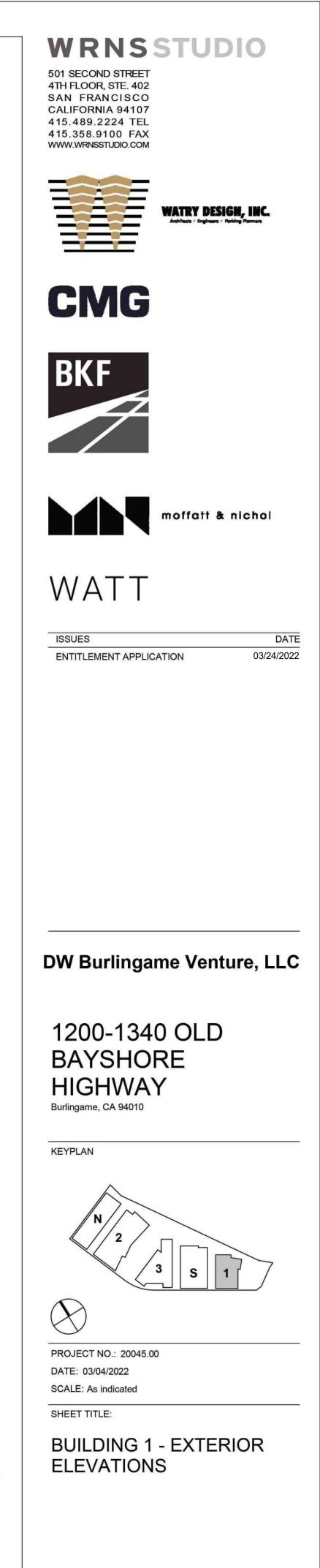




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(#) ELEVATION KEYNOTES

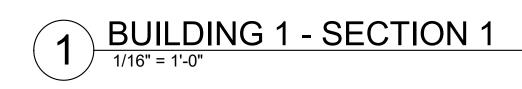
- 2.1 TEXTURED ARCHITECTURAL PRECAST PANELS
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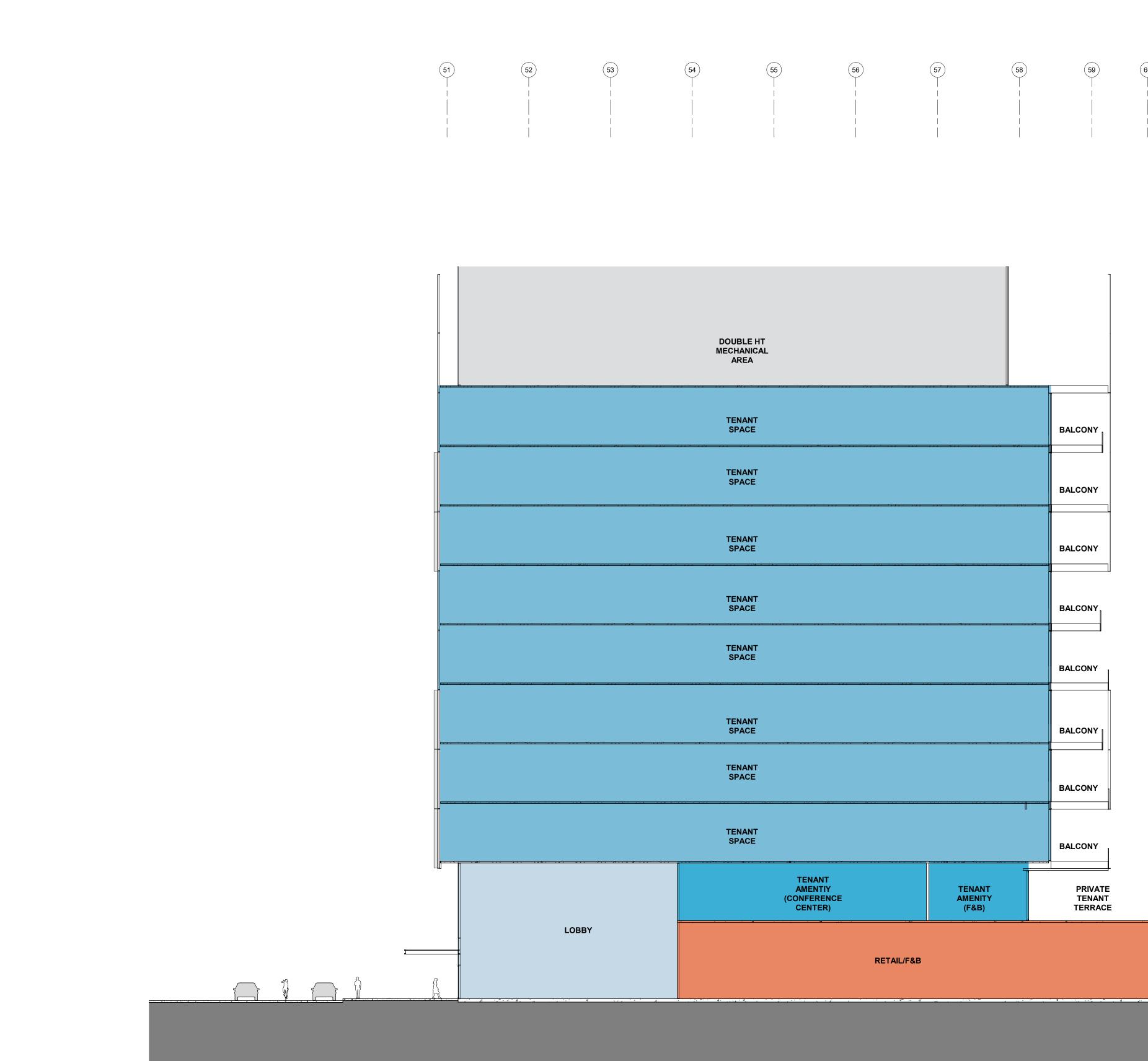


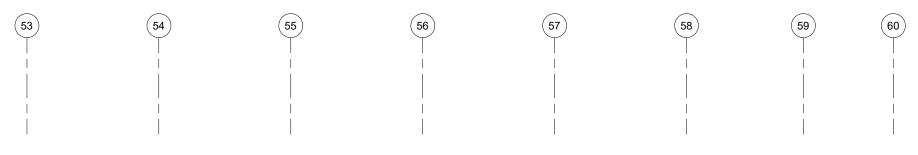
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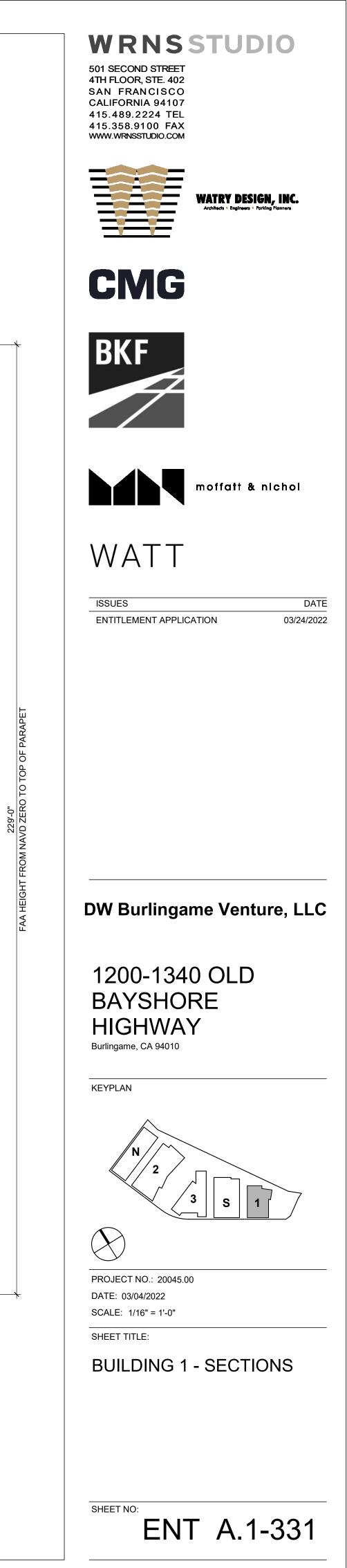
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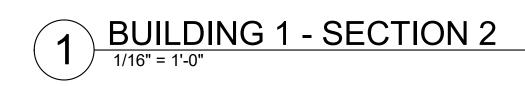






FAA HT LIMIT MEASURED FROM NAVD88 240'-0" <u>T.O. MECH SCREEN</u> 229'-0" <u>_____T.O. PENT ROOF</u> 213'-0" _____ LEVEL 11 181'-0" _____ LEVEL 10 165'-0" LEVEL 09 149'-0" _____ LEVEL 08 133'-0" 2 _____ 2 213'-0" ROM FF LEVEL 1 9 LEVEL 07 μ LEVEL 06 101'-0" LEVEL 05 85'-0" LEVEL 04 69'-0" LEVEL 03 53'-0" LEVEL 02 37'-0" LEVEL 01 16'-0" LOADING <u>MEAN SEA LEVÌ</u> NAV

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3.000 mg

	0	
		DOUBLE HT MECHANICA AREA
		TENANT SPACE
		LOADING DOCK

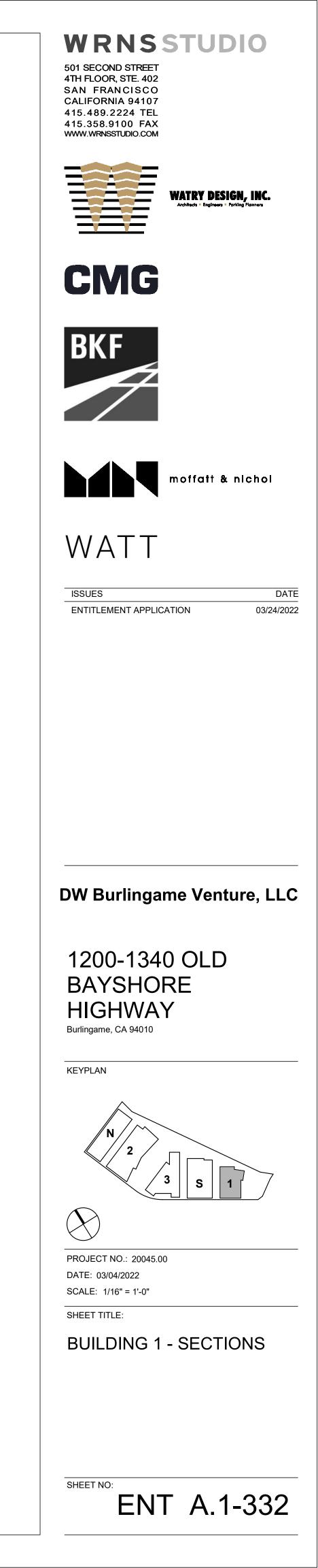
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FAA HT LIMIT MEASURED _____ <u>T.O. MECH SCREEN</u> 229'-0" ROOF 197'-0" ____ __ ___ ____LEVEL 11 _____181'-0" _____ ___LEVEL_10_____ 165'-0" ___LEVEL_09_____ 149'-0" _____ LEVEL 08 133'-0" ____ __ __ LEVEL 07 117'-0" ____LEVEL 06 101'-0" LE<u>VEL 05</u> 85'-0" __LE<u>VEL 04</u> 69'-0" LEVEL 03 53'-0" LEVEL 02 37'-0" LEVEL 01 16'-0" LOADING 11'-6" MEAN SEA LEVEL 3'-6" NAVD88



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03/24/2022

DW Burlingame Venture, LLC

SHEET NO: ENT A.2-000

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	MMARY
TYPE OF CONSTRUCTION	TYPE IA RISK CATEGOI SEISMIC IMPOI
REQUIRED FIRE RESISTIVE RATINGS	EXTERIOR BEA INTERIOR BEA EXTERIOR NOI INTERIOR NON STRUCTURAL FLOORS -CEILING STAIRWAY ENG SHAFT ENCLO
OCCUPANCY CLASSIFICATION	GROUP B: GROUP A: OCCUPANCIES THIS BUILDING
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ALLOWABLE HEIGHT	B OCCUPANCY
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FLOOR OPENINGS & SHAFTS	4 STORIES OR LESS THAN 4 S
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EXITS REQUIRED	SEE LIFE SAFE
EXITS PROVIDED	SEE LIFE SAFE
TRAVEL DISTANCE	GROUP B OCC GROUP L OCC GROUP A OCC GROUP S2 OC
AREA OF REFUGE	* INCREASE IN SPRINKLER SY NO AREA OF R
ELEVATORS	ONE ELEVATO THE ELEVATO WITH 5-INCH R IDENTIFIED BY ELEVATOR MA SYSTEM
FIRE PROTECTION	AUTOMATIC FI STANDPIPE SY PORTABLE FIR ACCORDANCE FIRE ALARM S' ACCORDANCE EMERGENCY V FIRE PUMP (W CAPACITY) PR
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CEQA	LOW-FLOW PL CBC, CALGREE
PLEASE NOTE: THE OFFICE I AND WILL BE SUBMTTED AS THE PROJECT ANTICIPATES OCCUPANCY, AS PART OF FI RELEVANT REQUIREMENTS	B-GROUP OCCUI POTENTIAL FUTU UTURE TENANT F

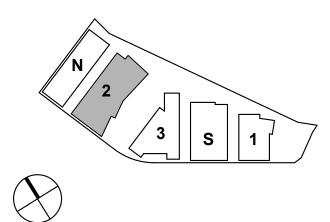
RELEVANT REQUIREMENTS FOR B-GROUP AN INCORPORATED INTO THE DESIGN WHERE C BUILDING ARE AFFECTED.

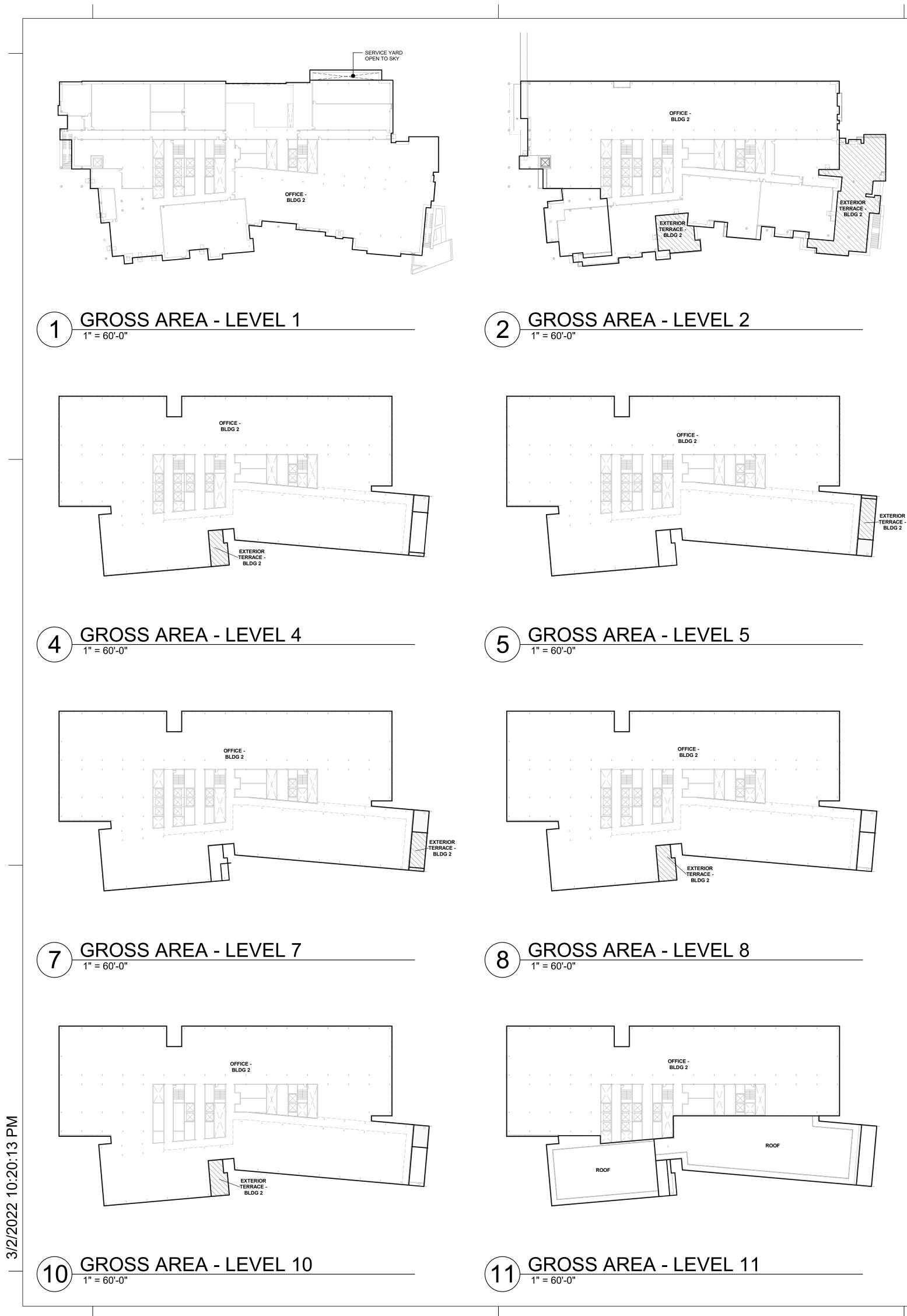
Y		WRNSSIUDIO
DRY III DRTANCE FACTOR 1.25	602.2 TABLE 1604.5 1613	501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107
EARING WALLS3 HOURARING WALLS3 HOURDN-BEARING WALLSSEE "FIRE SEPARATION DISTANCE" BELOWDN-BEARING WALLS0 HOURIN-BEARING WALLS0 HOURING/FLOORS2 HOURING/FLOORS2 HOURIGS/ROOFS1 1/2 HOURNCLOSURESEE "FLOOR OPENINGS & SHAFTS" BELOWOSURESSEE "FLOOR OPENINGS & SHAFTS" BELOW	TABLE 601	415.489.2224 TEL 415.358.9100 FAX WWW.WRNSSTUDIO.COM
OFFICE ASSEMBLY ES ARE SEPARATED	CBC CH. 3 CBC CH. 5 508.3	
G IS DESIGNED FOR POTENTIAL FUTURE GROUP L OCCUPANCY AS PART OF OUT UNDER SEPARATE PERMIT.		CMG
CY: UL STORIES NCY: UL STORIES CY: 20 STORIES	TABLE 504.4	
CY: UL CY: UL	TABLE 504.3	BKF
% OF MAX. # OF LAB SUITES DE PER LAB SUITE PER FLOOR 100 UL 75 20 50 16 50 8	CBC CH. 4 TABLE 453.7.2.1	
ED NP = NOT PERMITTED	CBC CH. 5	
63,400 SF 51,000 SF 59,100 SF 37,400 SF 7,400 SF	TABLE 504.3 TABLE 504.4 506.2.4 506.3	moffatt & nichol
E GRADE BUILDING AREA = 632,000 SF DE BUILDING AREA CY: UL AREA TYPE IA	508.4 TABLE 506.2	WATT
ABOVE GRADE		ISSUES DATE
ON BEARING WALLS	CBC CH. 6	ENTITLEMENT APPLICATION 03/24/2022
AB GROUP L $T =$ 1 HR 0 FT <x 5="" <="" ft="</td"> 3 HR $FT =$ 1 HR 5 FT ≤X < 10 FT =</x>	TABLE 602	
EA OF EXTERIOR WALL OPENINGS FIRE SEPARATION DISTANCE 0'-3' 3'-5' 5'-10' 10'-15' 15'-20' 20'-25' 25'-30' >30' ED NP NP 10% 15% 25% 45% 70% NL NP 15% 25% 45% 75% NL NL NL TED & SPRINKLERED RMITTED NL = NO LIMIT	CBC CH. 7 TABLE 705.8	
R MORE = 2 HR STORIES = 1 HR	CBC CH. 7 713.4	-
ETY PLANS RE ACCESSIBLE	CBC CH. 10 1004	-
ETY PLANS	CBC CH. 10 1006	DW Burlingame Venture, LLC
ETY PLANS	CBC CH. 10 1006	
CUPANCY: *300 FT CUPANCY: *200 FT CUPANCY: *250 FT CCUPANCY: *400 FT	CBC CH. 10 TABLE 1017.2	1200-1340 OLD BAYSHORE
N ALLOWABLE TRAVEL DISTANCE FOR BUILDINGS EQUIPPED WITH A SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1		HIGHWAY Burlingame, CA 94010
REFUGE IS REQUIRED	CBC CH. 10 1009.3.3	
OR SHALL PROVIDE EMERGENCY SERVICES TO ALL LANDINGS. OR CAR SHALL ACCOMMODATE AN AMBULANCE STRETCHER 24"X84" RADIUS CORNERS, IN THE HORIZONTAL OPEN POSITION, AND SHALL BE Y THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. ACHINE ROOMS SHALL HAVE AN INDEPENDENT VENTILATION OR AC	CBC CH. 30 3002.4 3006.2	KEYPLAN
FIRE SPRINKLERS PROVIDED IN ACCORDANCE WITH SECTION 903.3.1.1 SYSTEMS IN ACCORDANCE WITH SECTION 905 IRE EXTINGUISHERS WITH A MINIMUM CLASSIFICATION OF 2A:10BC PROVIDED IN E WITH SECTION 906 SYSTEM WITH UL CENTRAL STATION, FULLY ADDRESSABLE SYSTEM PROVIDED IN E WITH NFPA 72 (DEFERRED SUBMITTAL) VOICE/ALARM COMMUNICATION SYSTEM PER SECTION 907.5.2.2 W/ EMERGENCY BACK-UP GENERATOR & 12 HOURS OF FUEL STORAGE ROVIDED FOR SPRINKLERS AND STANDPIPES	CBC CH. 9 CFC CH. 9	
IT ERRCS SYSTEM PROVIDED THROUGHOUT BUILDING AND EAN GARAGE. BUILT-IN OSCILLATION PROTECTION SYSTEM. TUNING ON OF THE SYSTEM IS REQUIRED TO ELIMINATE INTERFERENCE WITH RADIO INFRASTRUCTURE, AND SIGNALS FROM NEARBY BUILDINGS.	CBC CH. 9 916.1 CFC CH. 5 510.1	PROJECT NO.: 20045.00 DATE: 03/24/2022
EN AND LEED REQUIREMENTS		SCALE: 12" = 1'-0"
HIS PROJECT ARE CORE-SHELL ONLY,	<u> </u>	BUILDING 2 - CODE &
JPANCY BUILDINGS. FURE LABORATORY USE, WITH L-GROUP FITOUTS UNDER SEPARATE PERMITS.		AREA SUMMARY
AND L-GROUP OCCUPANCY ARE CORE-SHELL COMPONENTS OF THE		
		SHEET NO: ENT A.2-010

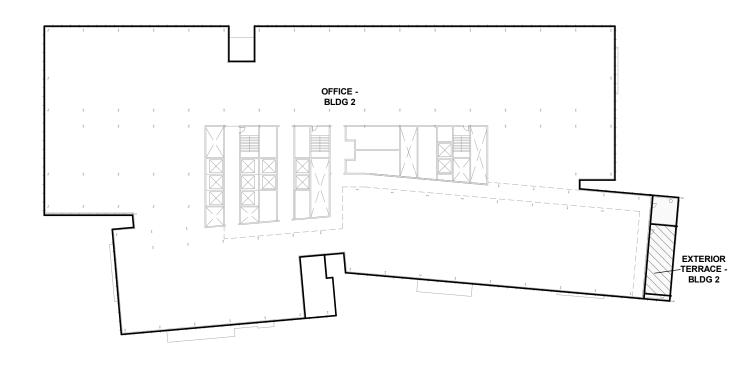
WRNSSTUDIO 501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107 415.489.2224 TEL 415.358.9100 FAX www.wrnsstudio.com ____ ____ WATRY DESIGN, INC. Architects • Engineers CMG BKF 1 moffatt & nichol WATT ISSUES DATE ENTITLEMENT APPLICATION 03/24/2022

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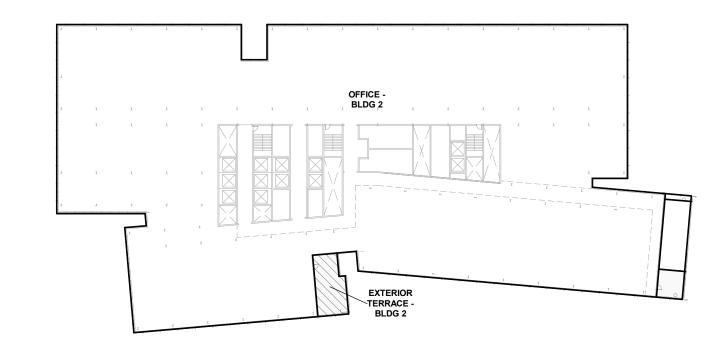




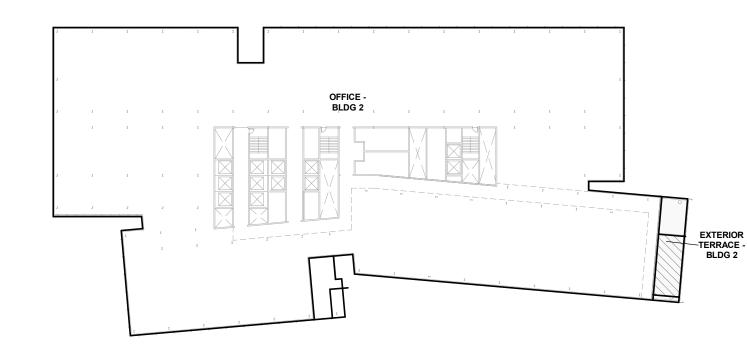






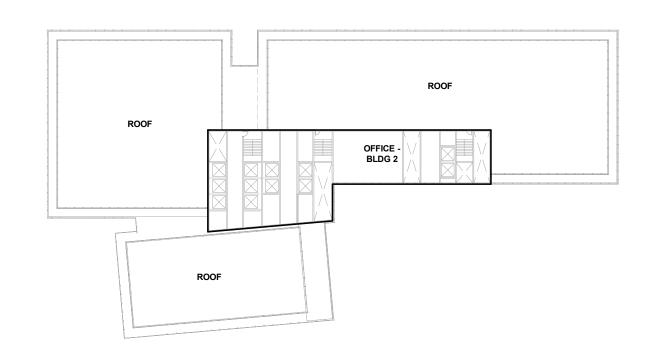








GROSS AREA - LEVEL 9 1" = 60'-0"





LEGEND

*REFER TO SHEET ENT G-002 FOR ALL BUILDING AREAS **GROSS BUILDING AREA**

GROSS BUILDING AREA IS DEFINED AND CALCULATED PER BURLINGAME MUNICIPAL CODE TITLE 25.

BURLINGAME MUNICIPAL CODE ARTICLE 8: DEFINITIONS

25.030.060.A - Determining Floor Area, Generally. The floor area of a building shall be the sum of all floors of a building or buildings, as measured to the outside surfaces of the exterior walls of the structure or structures and including such areas as halls, stairways, covered porches and balconies, elevator shafts, service and mechanical equipment rooms and basements, cellars, and improved space in attic areas.

25.030.060.D.2 - Non-Residential Exemptions.

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- b. Canopies at entrances to buildings. c. Balconies (uncovered or covered).
- d. Covered walkways and arcades.
- e. Ground level trellises.
- f. Trash enclosures.

g. Water tanks, elevator penthouses, and other mechanical appurtenances. h. Fire or hose towers. i. Ground level service yards, if open to the sky, and which may otherwise

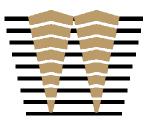
be partially enclosed.

25.108.070 - "F" Definitions.

Floor area, gross. The total area enclosed within a building, including closets, stairways, and utility and mechanical rooms, measured from the outside face of the walls.

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moffatt & nichol



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DATE 03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

KEYPLAN

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PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: 1" = 60'-0"

SHEET TITLE:

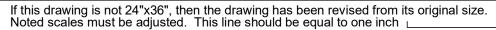
BUILDING 2 - AREA PLANS

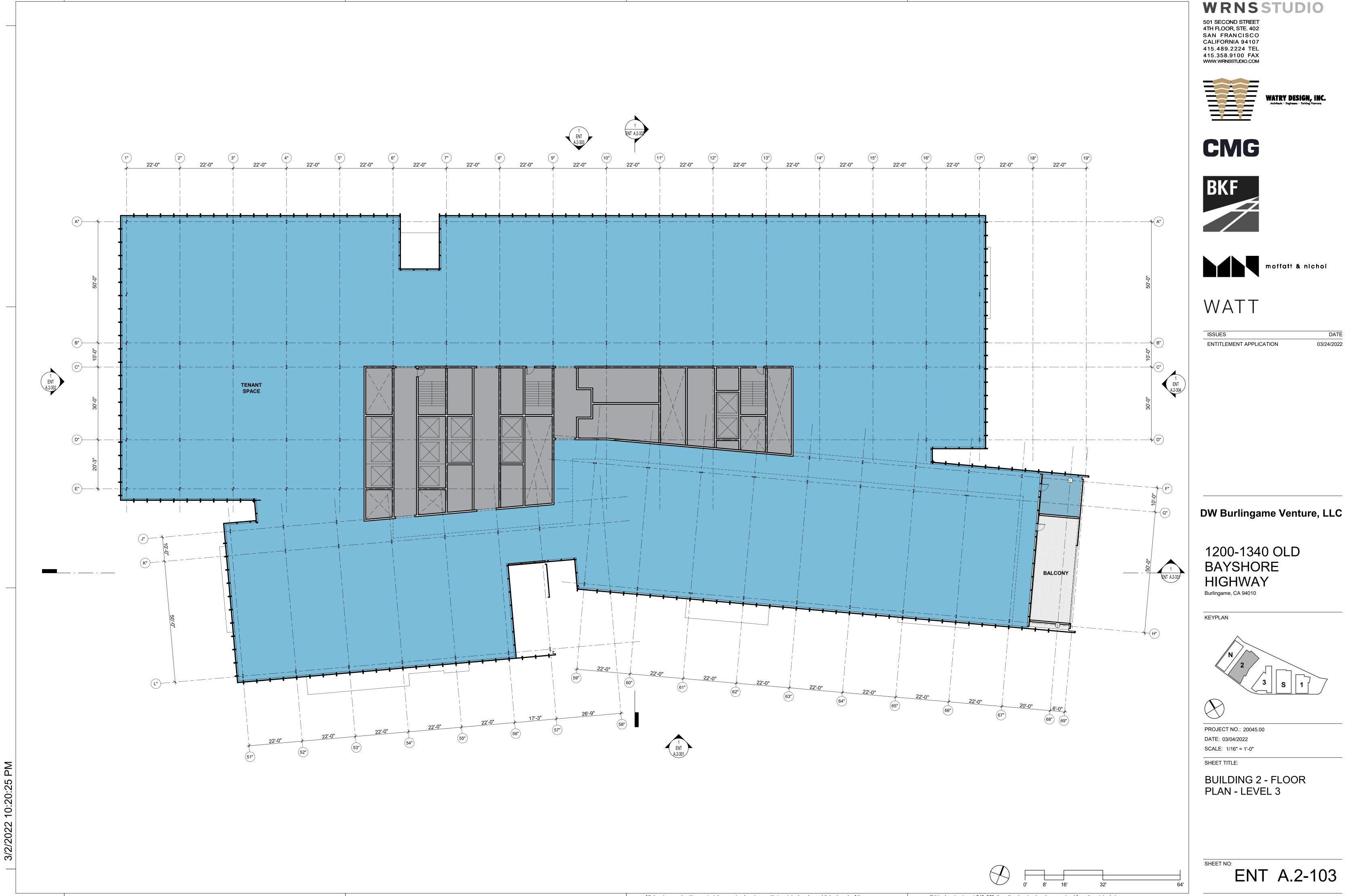
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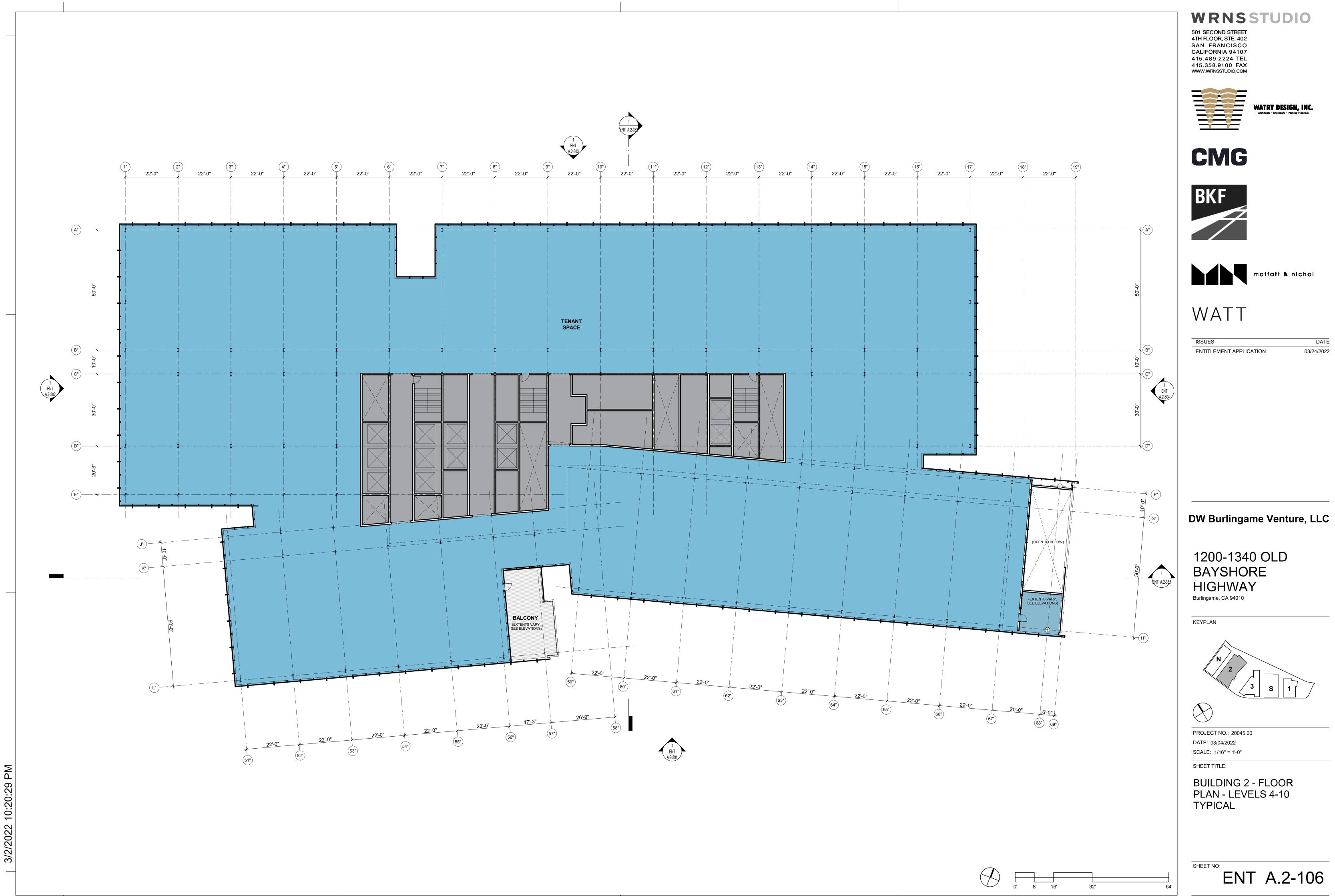
All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.

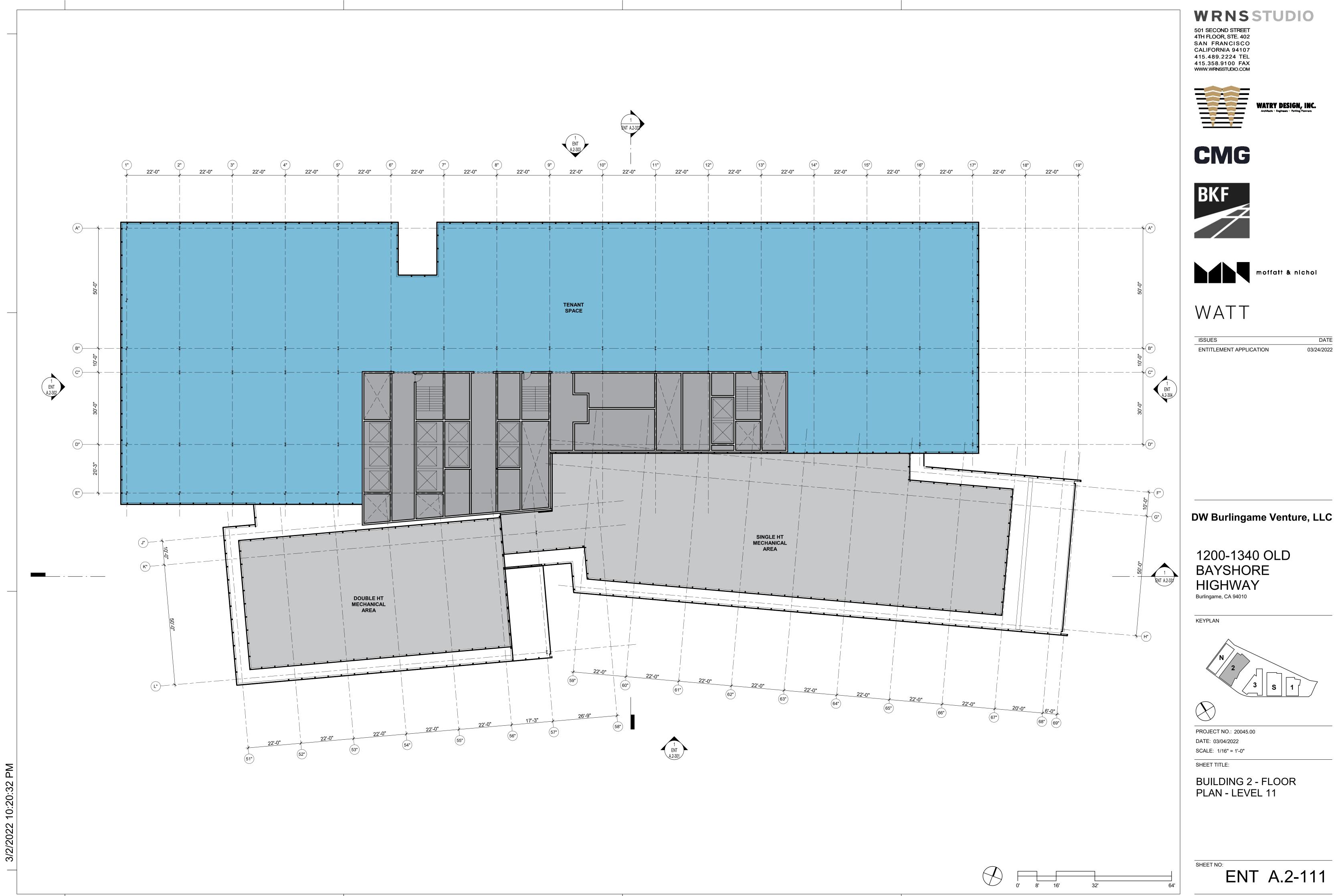


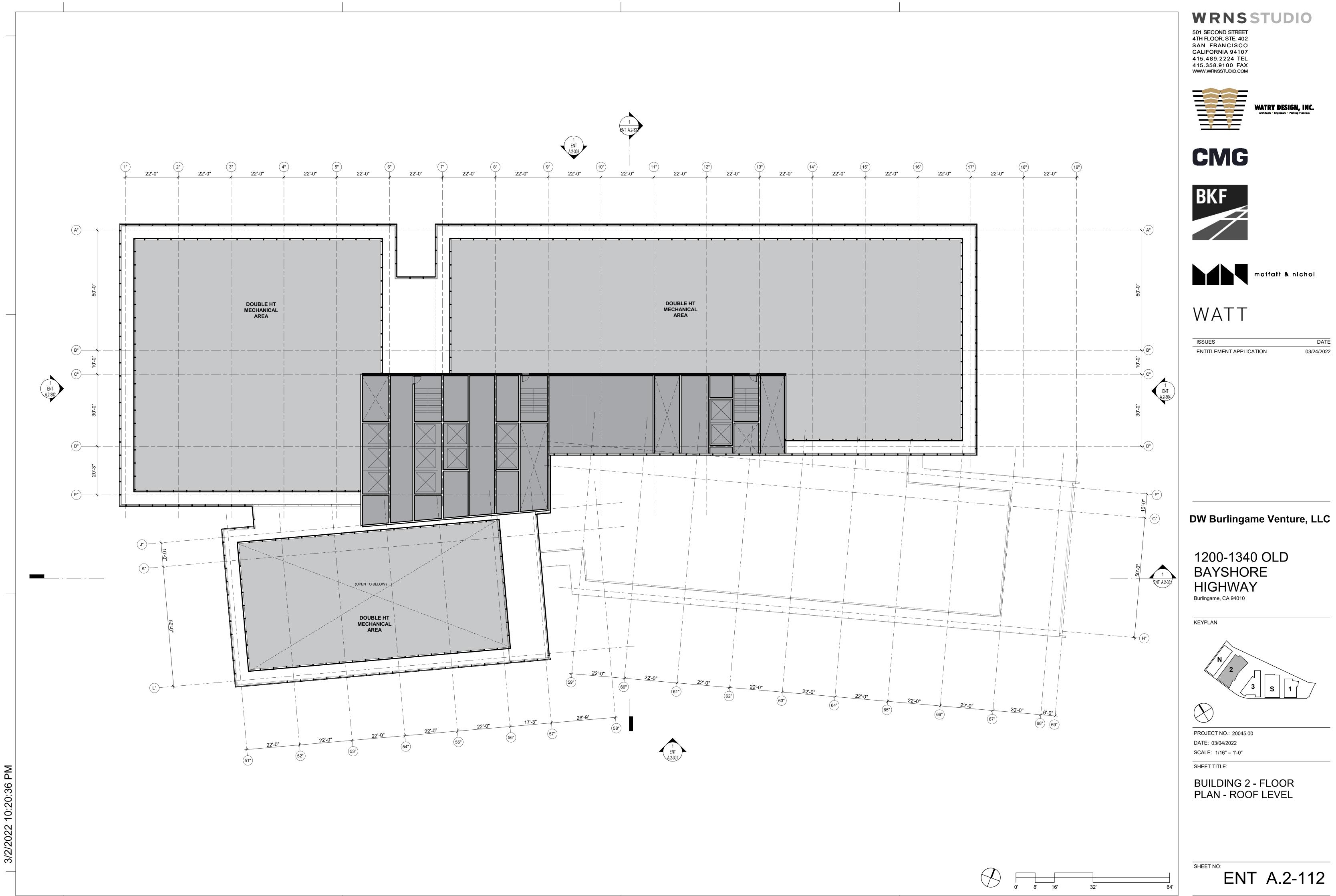


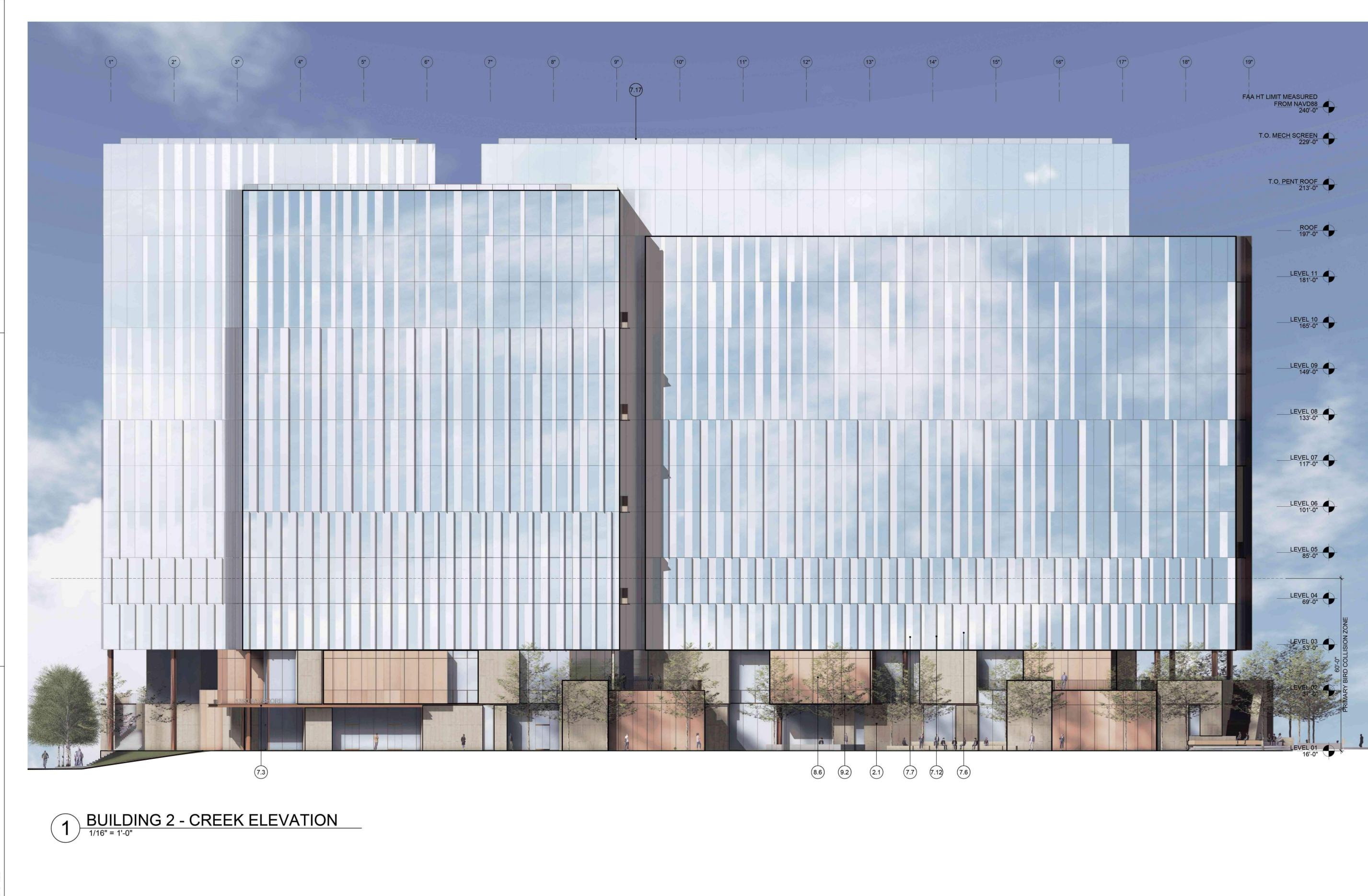
DATE

03/24/2022









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(
(#)	ELEVATION KEYNOTES

2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.3	WARM MTL FRAMED CANOPY
7.6	SSG CURTAINWALL - CLEAR GLAZING
7.7	SSG CURTAINWALL - FRITTED GLAZING
7.12	LIGHT MTL VERTICAL FIN
7.17	BACKUP MTL PANEL SCREEN WALL
8.6	GRAPHIC INTERLAYER GLAZING
9.2	GLAZED SHADOW BOX



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KEYPLAN N 2 3 5 1 7 PROJECT NO.: 20045.00 DATE: 03/04/2022

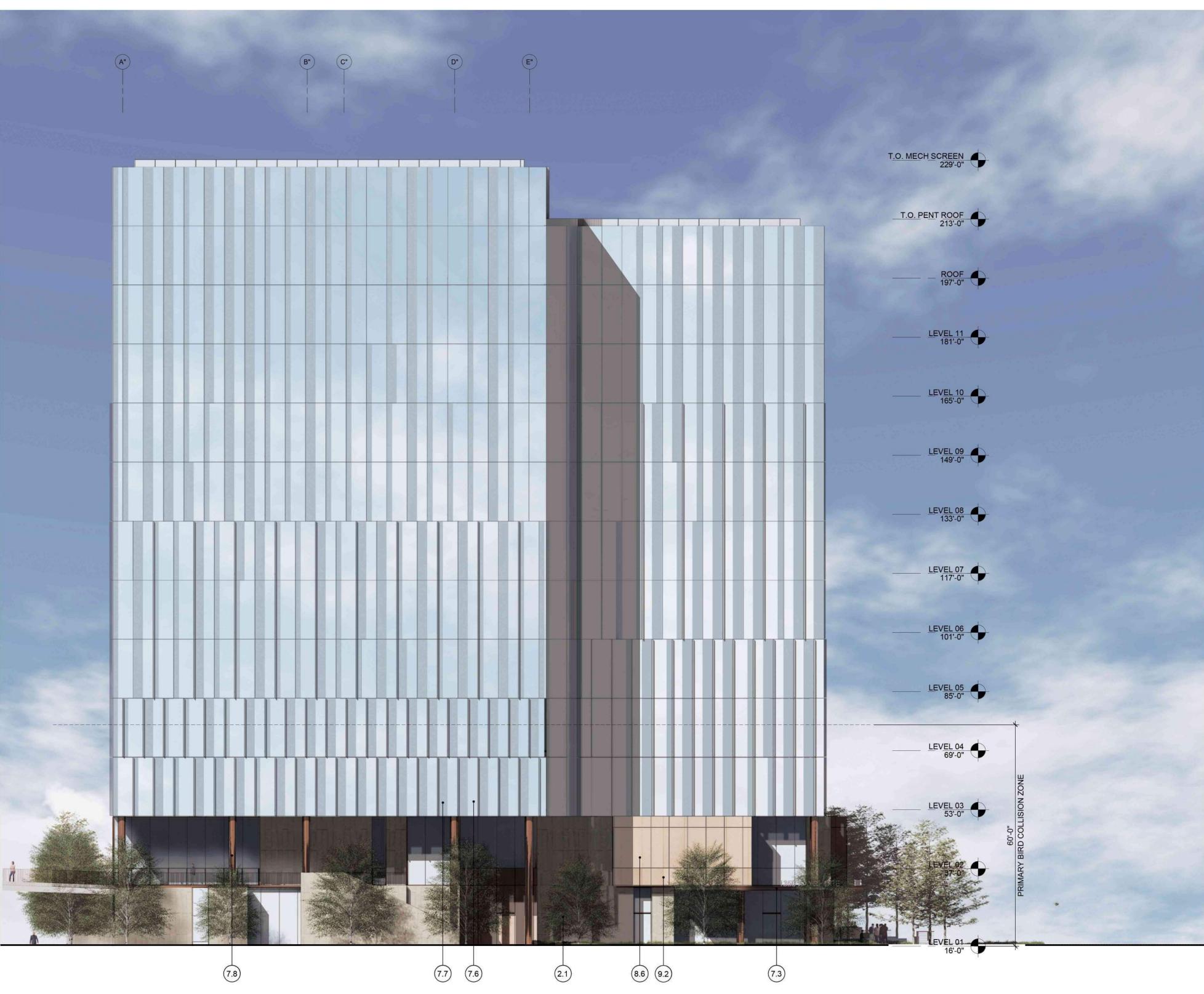
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SHEET NO:

BUILDING 2 - EXTERIOR ELEVATIONS

ENT A.2-301



РМ 15 5. 2 6 12/2022 3

BAYSHORE HWY ELEVATION GROUND FLOOR FACADE AREA: GROUND FLOOR GLAZED AREA: GROUND FLOOR % GLAZED AREA:

3960 SF 1923 SF 49 %



) BUILDING 2 - BAYSHORE HWY ELEVATION

#	ELEVATION KEYNOTES	
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS	
7.3	WARM MTL FRAMED CANOPY	
7.6	SSG CURTAINWALL - CLEAR GLAZING	
7.7	SSG CURTAINWALL - FRITTED GLAZING	
7.8	WARM MTL COLUMN COVER	
8.6	GRAPHIC INTERLAYER GLAZING	
9.2	GLAZED SHADOW BOX	



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moffatt & nichol

WATT

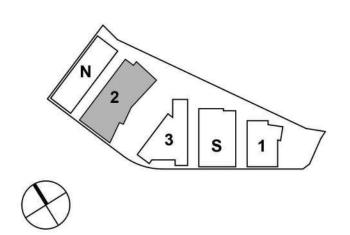
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KEYPLAN



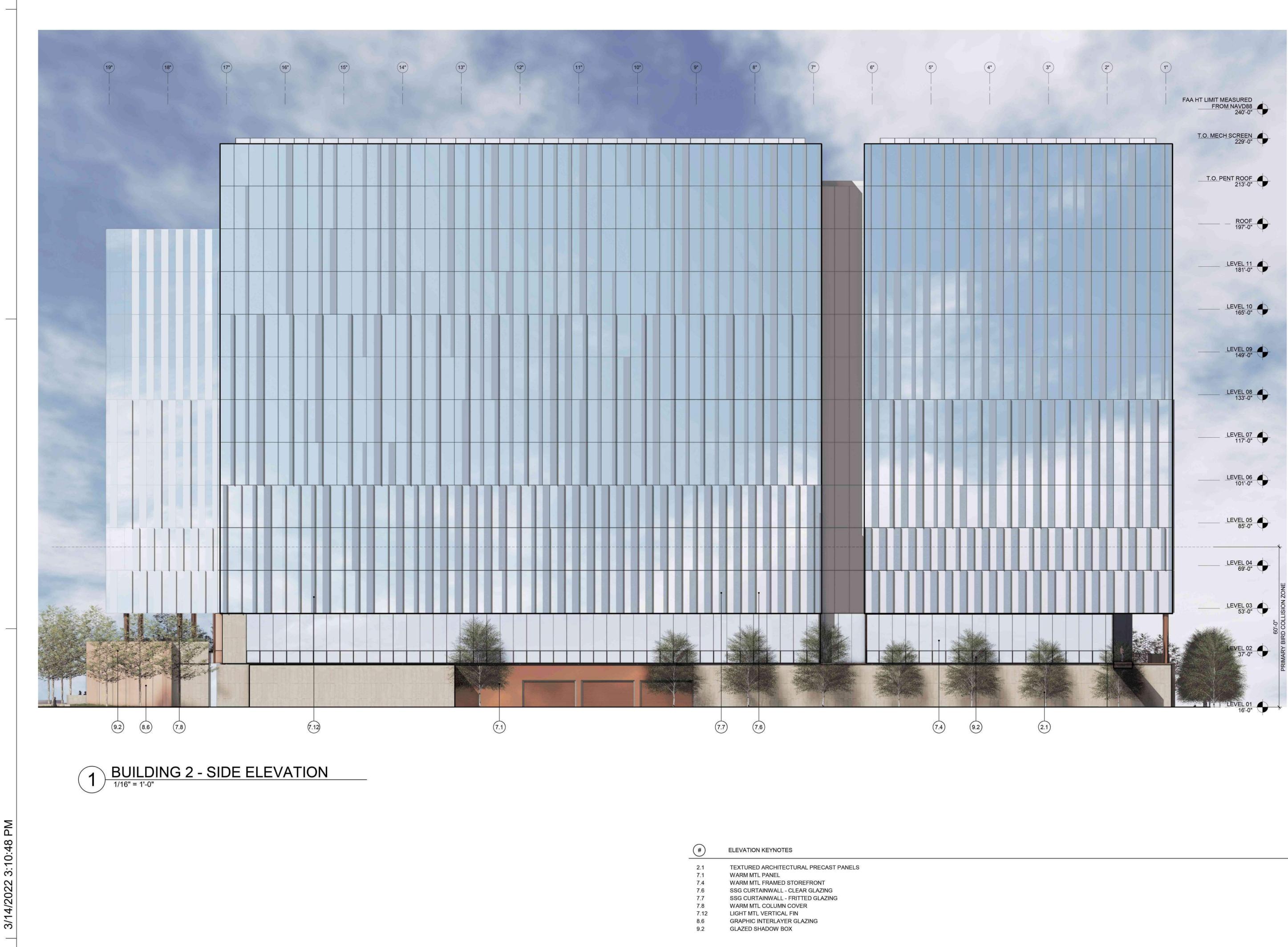
PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: As indicated

SHEET TITLE:

SHEET NO:

BUILDING 2 - EXTERIOR ELEVATIONS

ENT A.2-302



(#)	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.1	WARM MTL PANEL
7.4	WARM MTL FRAMED STOREFRONT
7.6	SSG CURTAINWALL - CLEAR GLAZING
7.7	SSG CURTAINWALL - FRITTED GLAZING
7.8	WARM MTL COLUMN COVER
7.12	LIGHT MTL VERTICAL FIN
8.6	GRAPHIC INTERLAYER GLAZING
9.2	GLAZED SHADOW BOX

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KEYPLAN \bigotimes PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: As indicated

SHEET TITLE:

SHEET NO:

BUILDING 2 - EXTERIOR ELEVATIONS

ENT A.2-303

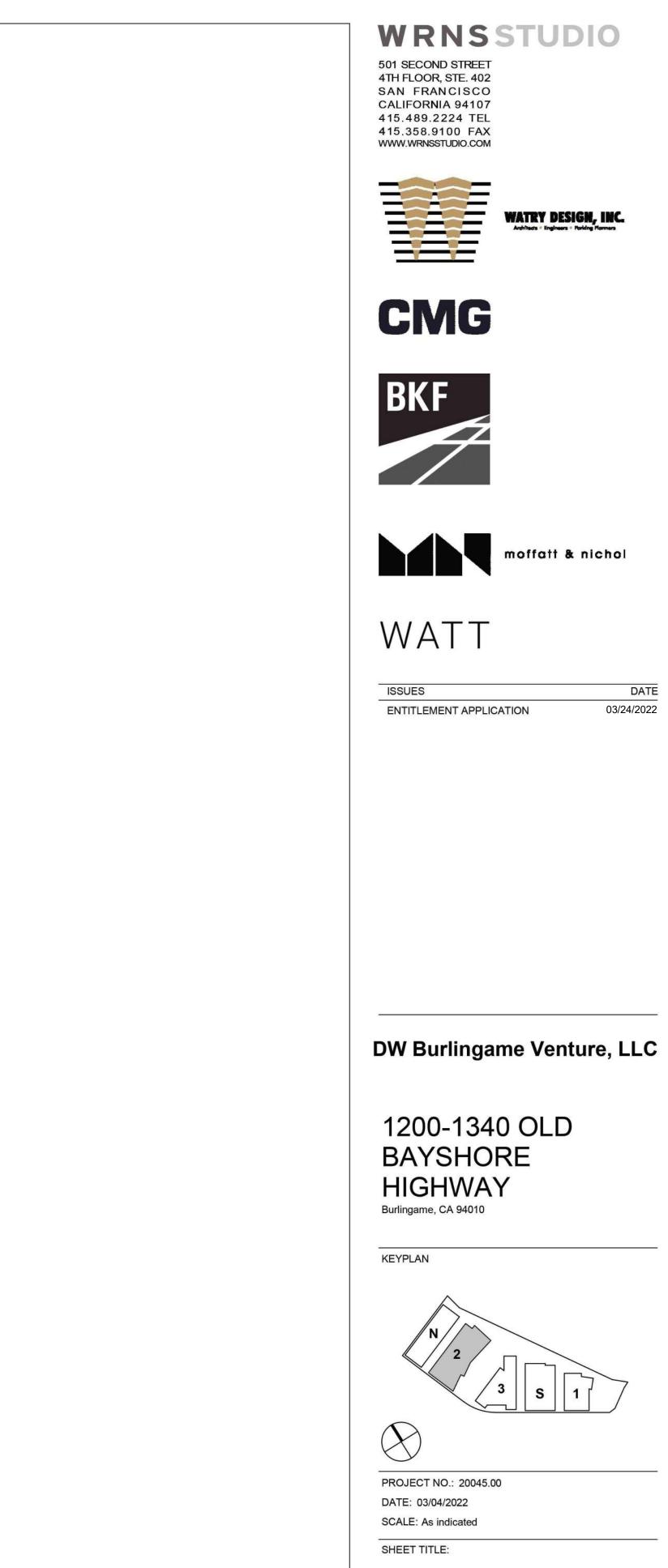




(#)

ELEVATION KEYNOTES

- 2.1 TEXTURED ARCHITECTURAL PRECAST PANELS
- 7.6 SSG CURTAINWALL CLEAR GLAZING
- 7.7 SSG CURTAINWALL FRITTED GLAZING7.12 LIGHT MTL VERTICAL FIN
- 8.6 GRAPHIC INTERLAYER GLAZING
- 9.2 GLAZED SHADOW BOX



BUILDING 2 - EXTERIOR ELEVATIONS

DATE 03/24/2022

SHEET NO: ENT A.2-304

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1 BUILDING 2 - SECTION 1

BALCONY

PRIVATE TENANT TERRACE



	TRIT A2233
	SINGLE HT MECHANICAL AREA
BALCONY	TENANT SPACE
	TENANT SPACE
BALCONY	TENANT SPACE
	TENANT SPACE
BALCONY	TENANT SPACE
	TENANT SPACE

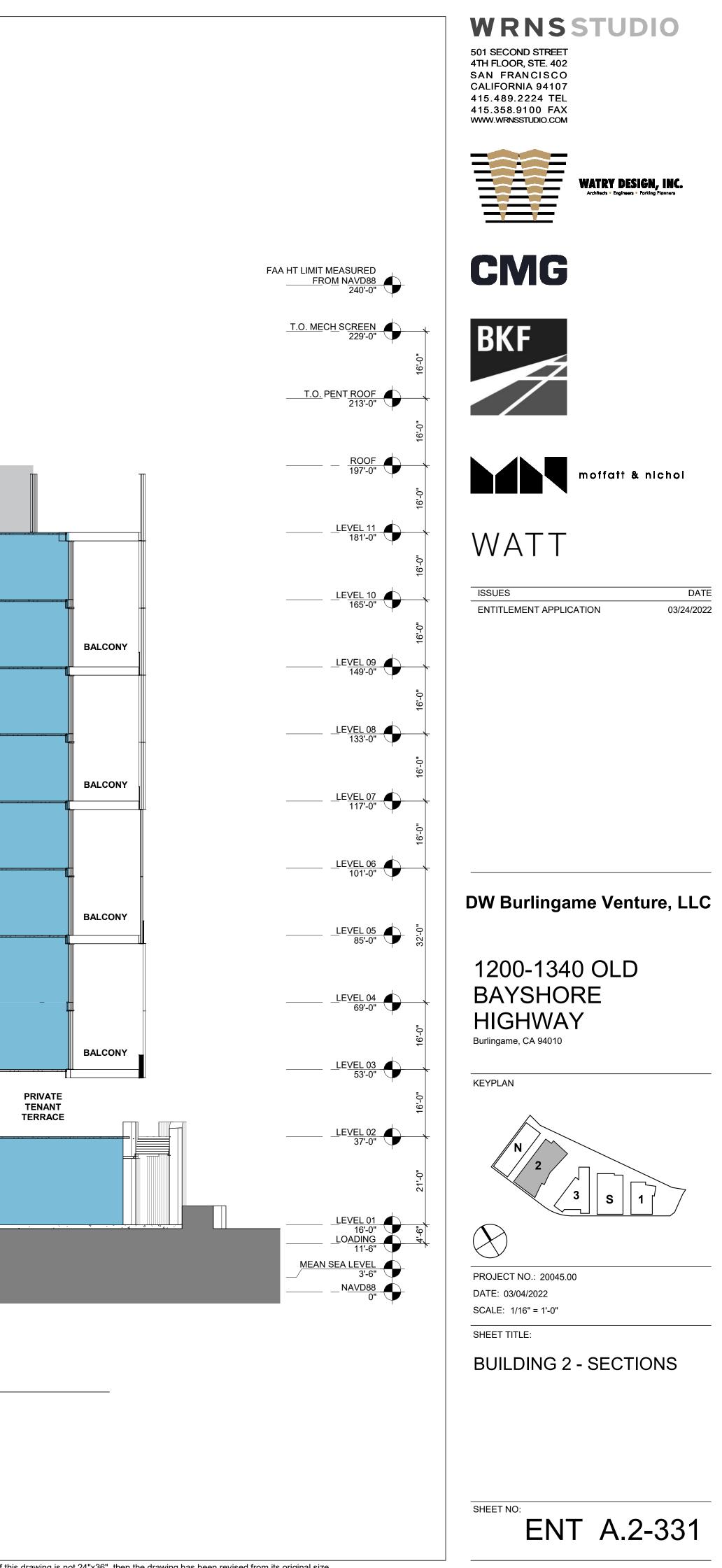
TENANT SPACE

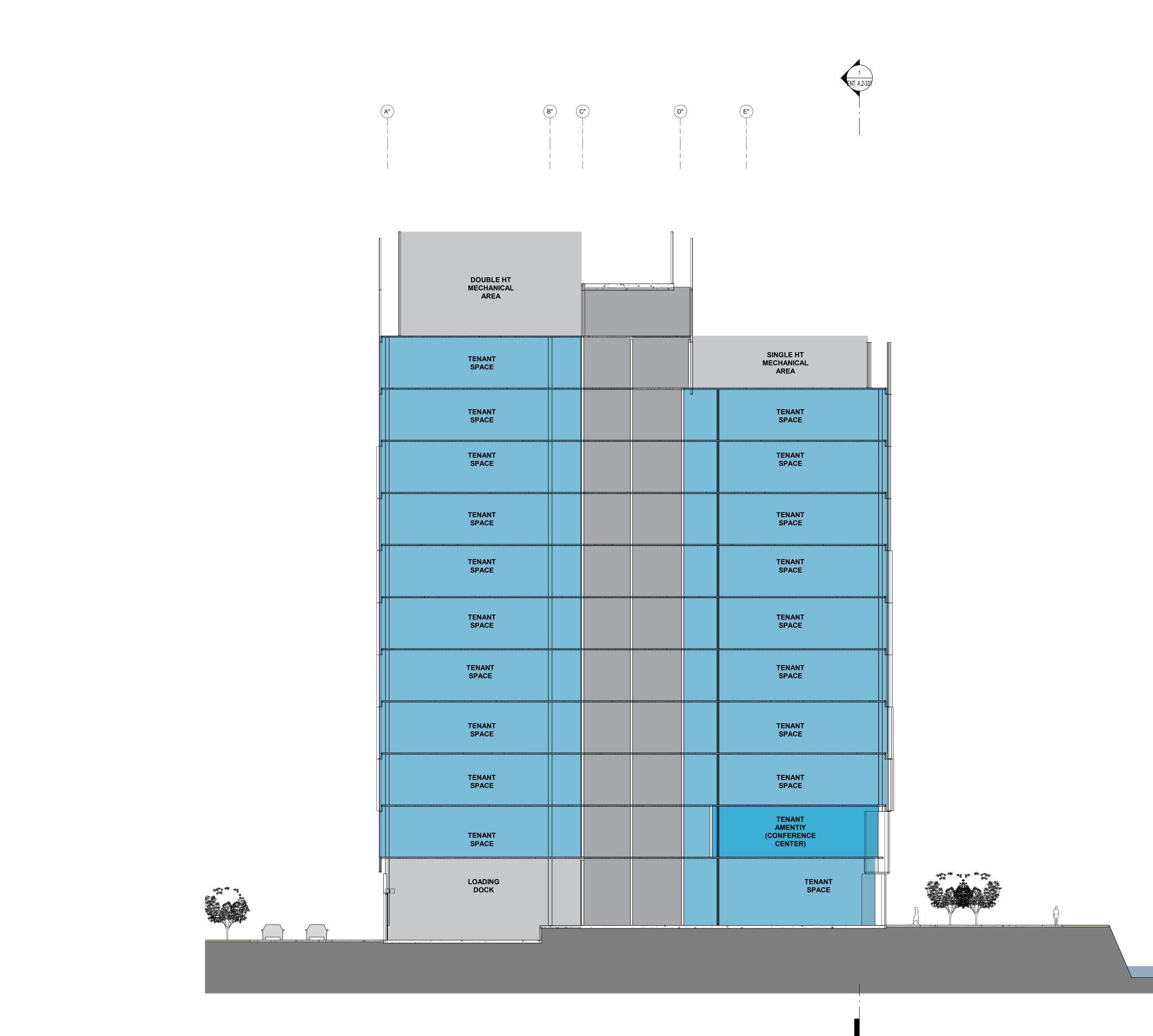
TENANT SPACE

> TENANT AMENITY (F&B)

TENANT SPACE

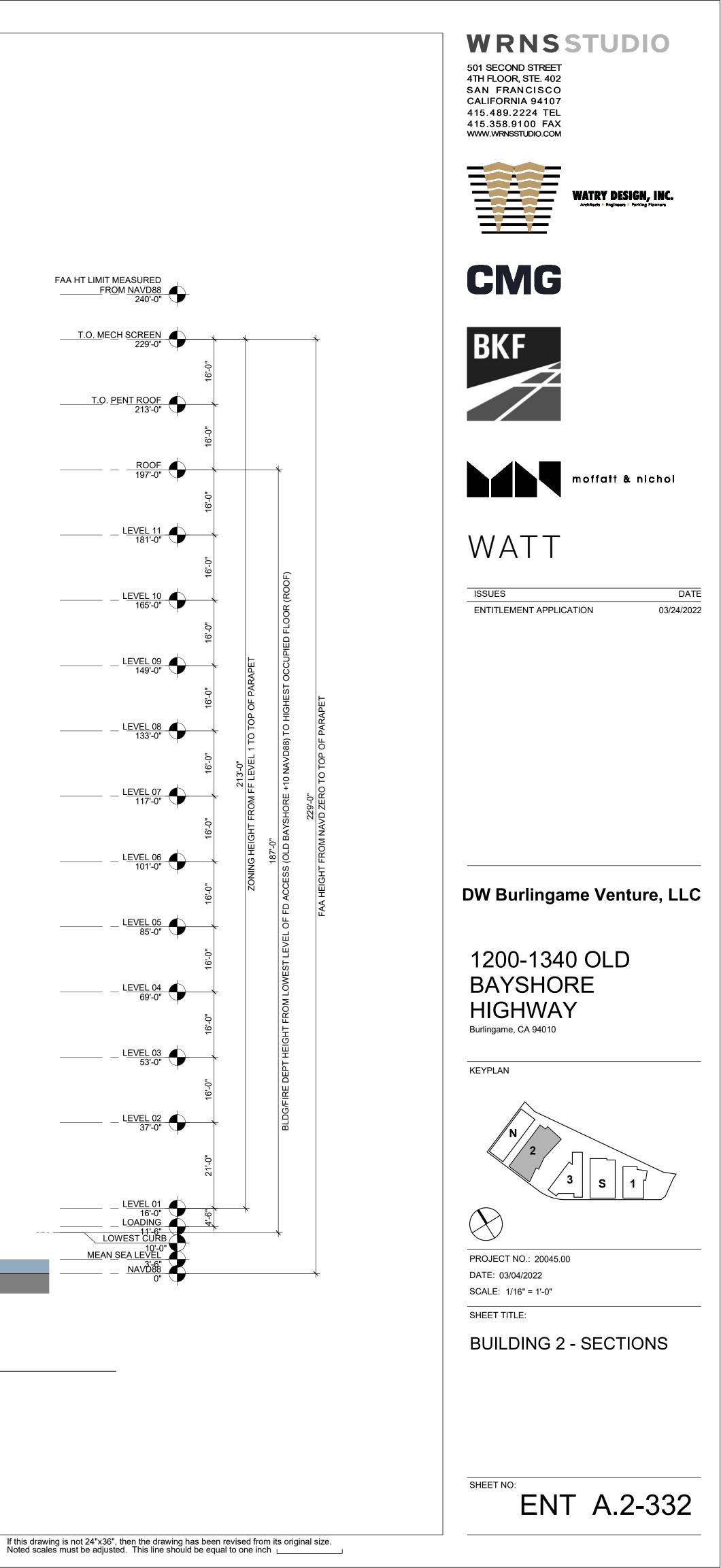
TENANT AMENTIY (CONFERENCE CENTER)





1 BUILDING 2 - SECTION 2

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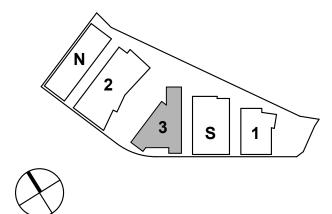
ENTITLEMENT APPLICATION

DATE 03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE:

SHEET TITLE:

BUILDING 3 - COVER

SHEET NO: ENT A.3-000

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CODE SUM	MMAR
TYPE OF CONSTRUCTION	TYPE IA
	RISK CATEGO SEISMIC IMPO
REQUIRED FIRE RESISTIVE RATINGS	EXTERIOR BE
	EXTERIOR NO
	STRUCTURAL
	ROOF -CEILING
	SHAFT ENCLO
OCCUPANCY CLASSIFICATION	GROUP B: GROUP A:
	OCCUPANCIES
ALLOWABLE STORIES	TENANT FITOU
ALLOWABLE STORIES	A-3 OCCUPANC L OCCUPANC
ALLOWABLE HEIGHT	B OCCUPANC
HAZARDOUS MATERIALS	
QUANTITY PER LABORATORY SUITE	STORY ABOVE GRADI 1-3
LABOINTONT SOIL	4-6 7-10
	11-14
ACTUAL AREA	LEVEL 1: LEVEL 2:
	LEVEL 3-10: LEVEL 11: ROOF:
	TOTAL ABOVE
	ABOVE GRADE
	L OCCUPANC A OCCUPANC M OCCUPANC
ACTUAL STORIES ACTUAL HEIGHT	11 STORIES AI 185'-0
FIRE SEPARATION	EXTERIOR NO
DISTANCE	GROUPS A, &
	0 FT <x 5="" <="" ft<br="">5 FT ≤X < 10 F⁻ 10 FT ≤X < 30 F</x>
	30 FT ≤X =
EXTERIOR WALL OPENINGS	MAXIMUM ARE
	UNPROTECTE
	PROTECTED / UNPROTECT
	NP = NOT PER
FLOOR OPENINGS & SHAFTS	4 STORIES OR LESS THAN 4 S
EXITING & OCCUPANT LOAD	SEE LIFE SAFE ALL EXITS ARE
EXITS REQUIRED	SEE LIFE SAFE
EXITS PROVIDED	SEE LIFE SAFE
TRAVEL DISTANCE	GROUP B OCC
	GROUP L OCC GROUP A OCC
	GROUP S2 OC
	SPRINKLER S
AREA OF REFUGE	NO AREA OF F
ELEVATORS	ONE ELEVATO
	WITH 5-INCH F
	ELEVATOR MA SYSTEM
FIRE PROTECTION	AUTOMATIC F
	PORTABLE FIF ACCORDANCE
	FIRE ALARM S ACCORDANCE
	EMERGENCY FIRE PUMP (W CAPACITY) PR
EMERGENCY	INDEPENDEN
RESPONDER RADIO COVERAGE SYSTEM	SUBTERRANE AND ISOLATIO
(ERRCS) CEQA	THE MACRO R
	CBC, CALGRE
PLEASE NOTE: THE OFFICE E AND WILL BE SUBMTTED AS	
THE PROJECT ANTICIPATES	

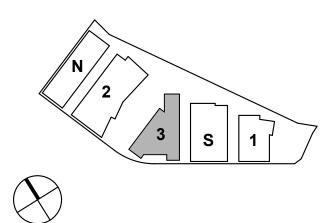
THE PROJECT ANTICIPATES POTENTIAL FUT OCCUPANCY, AS PART OF FUTURE TENANT RELEVANT REQUIREMENTS FOR B-GROUP A INCORPORATED INTO THE DESIGN WHERE C BUILDING ARE AFFECTED.

Y		501 SECOND STREET
DRY III DRTANCE FACTOR 1.25	602.2 TABLE 1604.5 1613	4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107
EARING WALLS3 HOURARING WALLS3 HOURDN-BEARING WALLSSEE "FIRE SEPARATION DISTANCE" BELOWN-BEARING WALLS0 HOUR_ FRAME3 HOURLING/FLOORS2 HOURIGS/ROOFS1 1/2 HOURNCLOSURESEE "FLOOR OPENINGS & SHAFTS" BELOWOSURESSEE "FLOOR OPENINGS & SHAFTS" BELOW	TABLE 601	415.489.2224 TEL 415.358.9100 FAX WWW.WRNSSTUDIO.COM
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38,500 SF 42,500 SF 23,900 SF 7,500 SF	TABLE 504.3 TABLE 504.4 506.2.4 506.3	moffatt & nichol
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DN BEARING WALLS	CBC CH. 6	ENTITLEMENT APPLICATION 03/24/202
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LUMBING FIXTURES WILL BE USED THROUGHOUT PROJECT, IN COMPLIANCE WITH EEN AND LEED REQUIREMENTS		SCALE: 12" = 1'-0"
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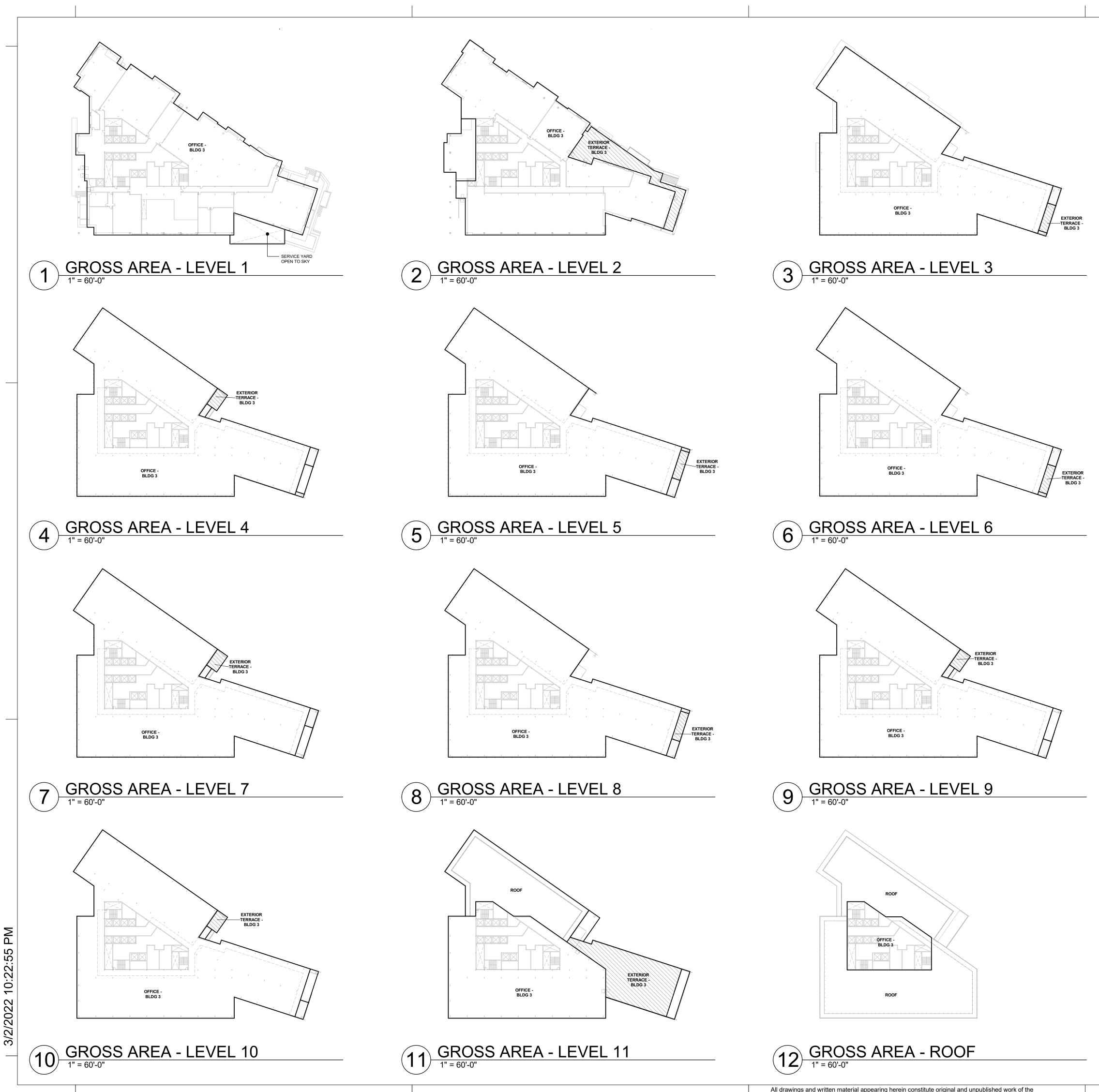
WRNSSTUDIO 501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107 415.489.2224 TEL 415.358.9100 FAX www.wrnsstudio.com ____ ____ WATRY DESIGN, INC. Architects • Engineers CMG BKF 1 moffatt & nichol WATT ISSUES DATE ENTITLEMENT APPLICATION 03/24/2022

DW Burlingame Venture, LLC





BUILDING 3 - CODE & AREA SUMMARY



All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.

LEGEND

*REFER TO SHEET ENT G-002 FOR ALL BUILDING AREAS
GROSS BUILDING AREA

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- f. Trash enclosures. g. Water tanks, eleva

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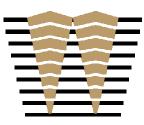
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WATRY DESIGN, INC.





moffatt & nichol



ISSUES ENTITLEMENT APPLICATION DATE 03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

KEYPLAN

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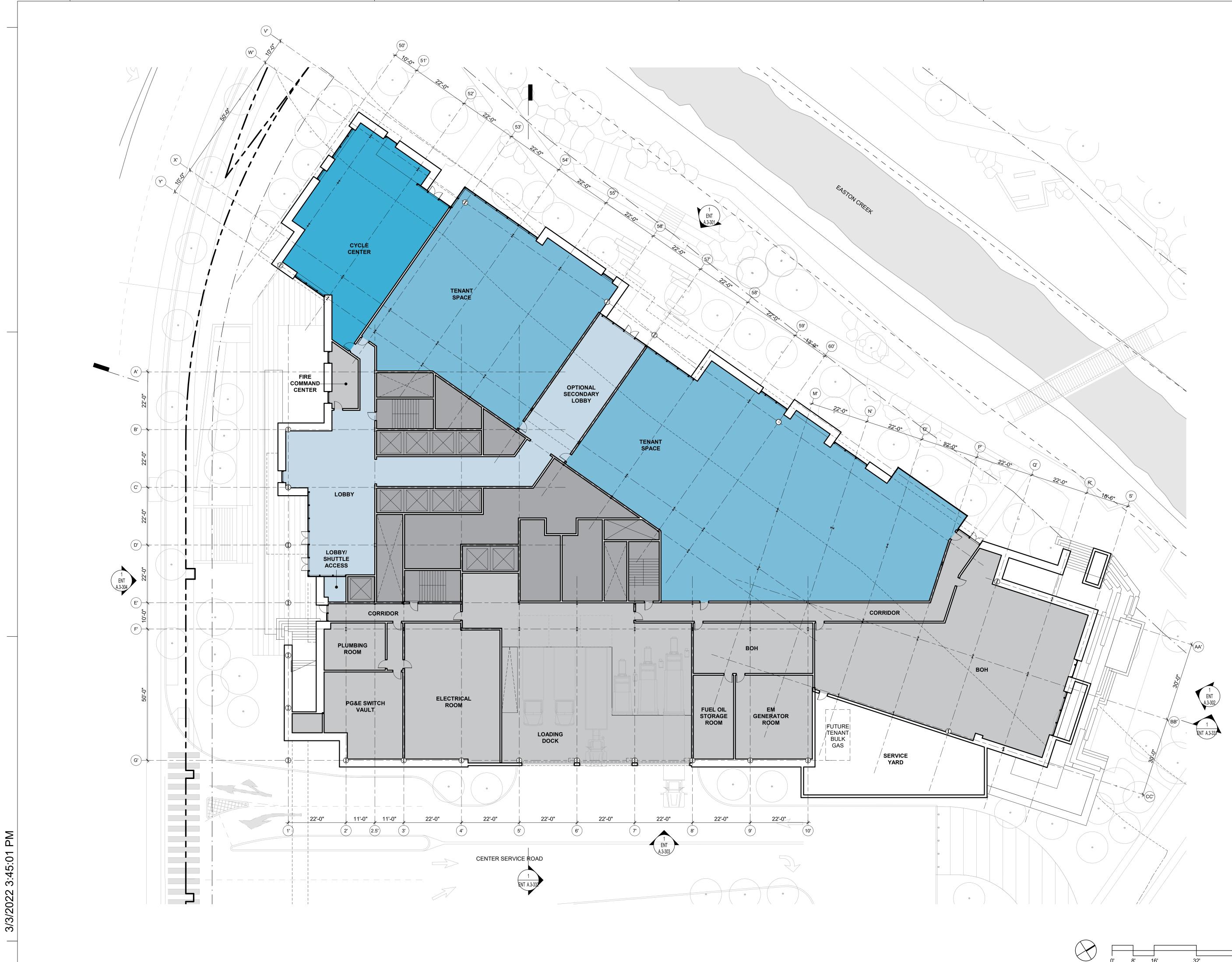
PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: 1" = 60'-0"

SHEET TITLE:

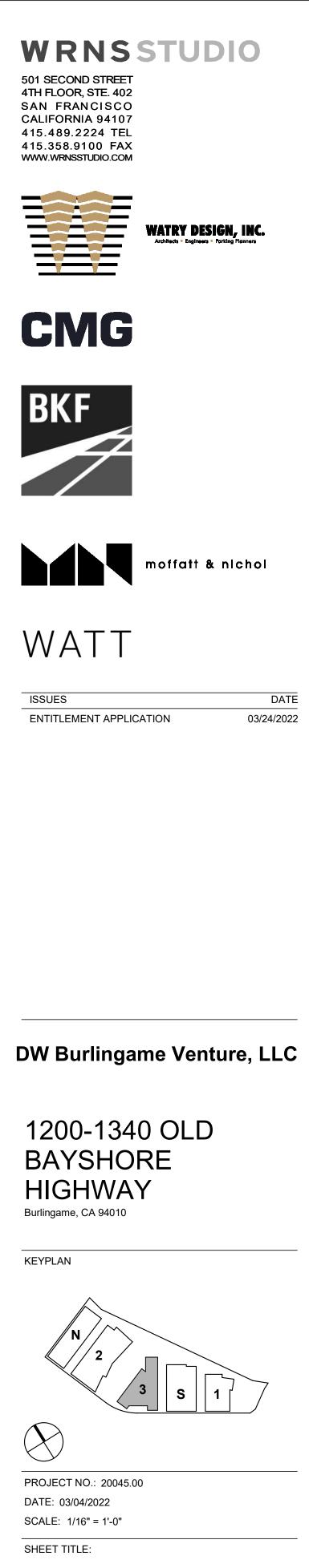
SHEET NO:

BUILDING 3 - AREA PLANS

ENT A.3-020

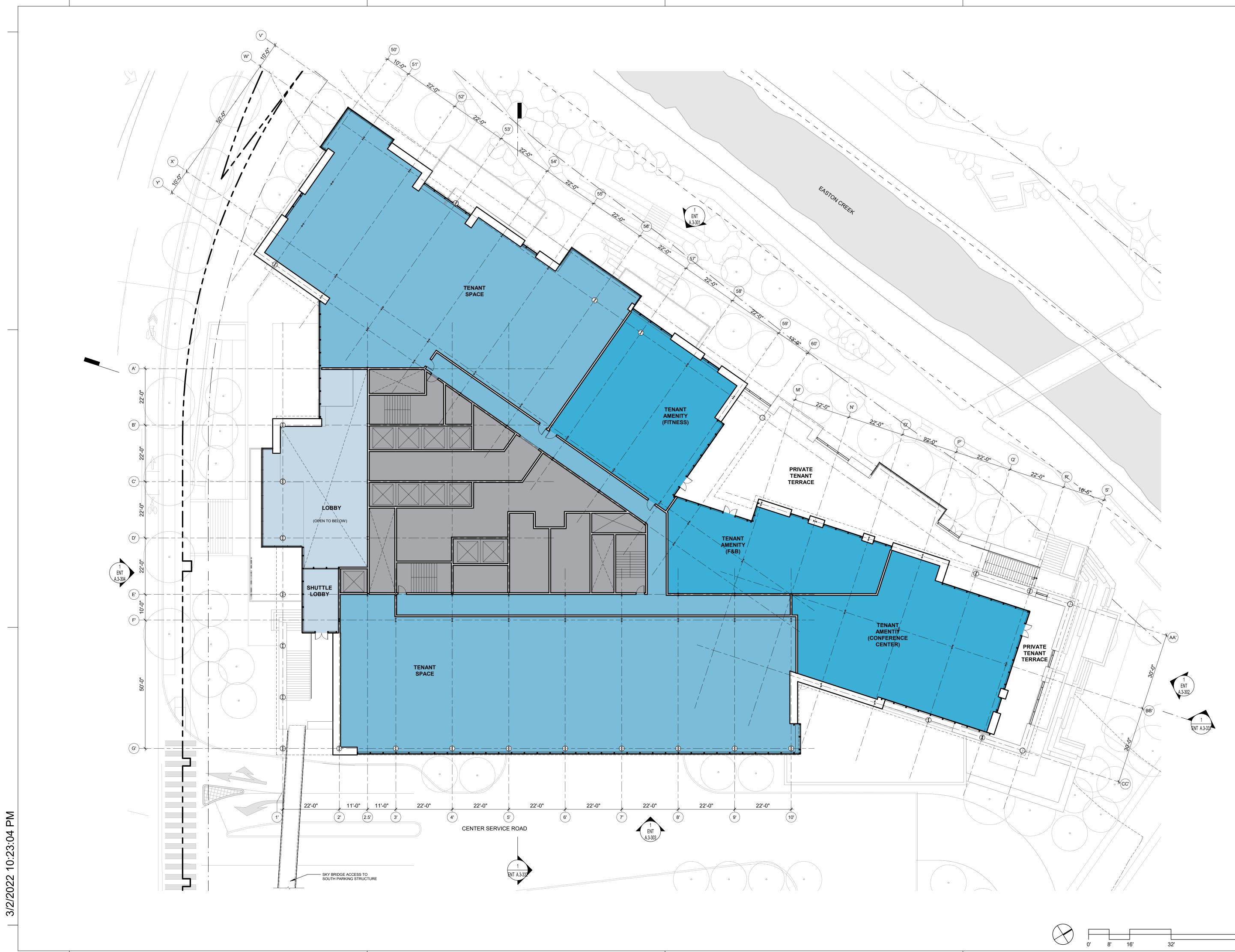


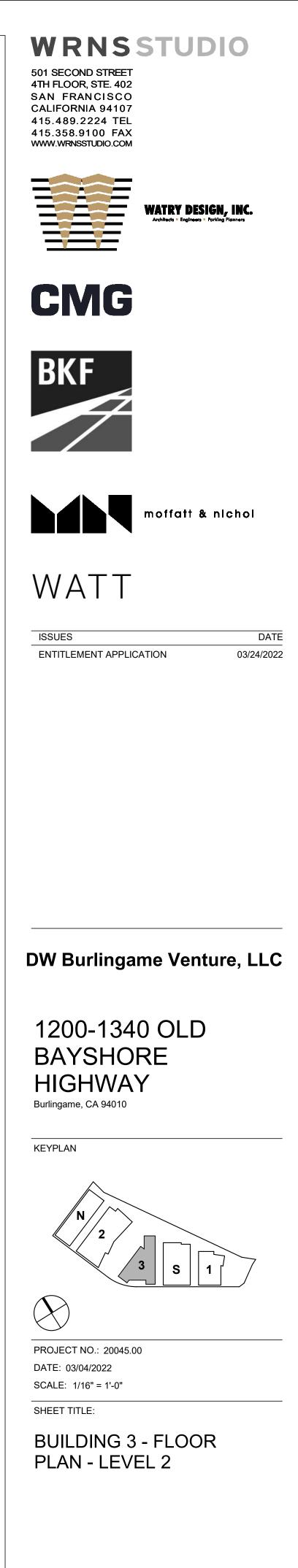
32



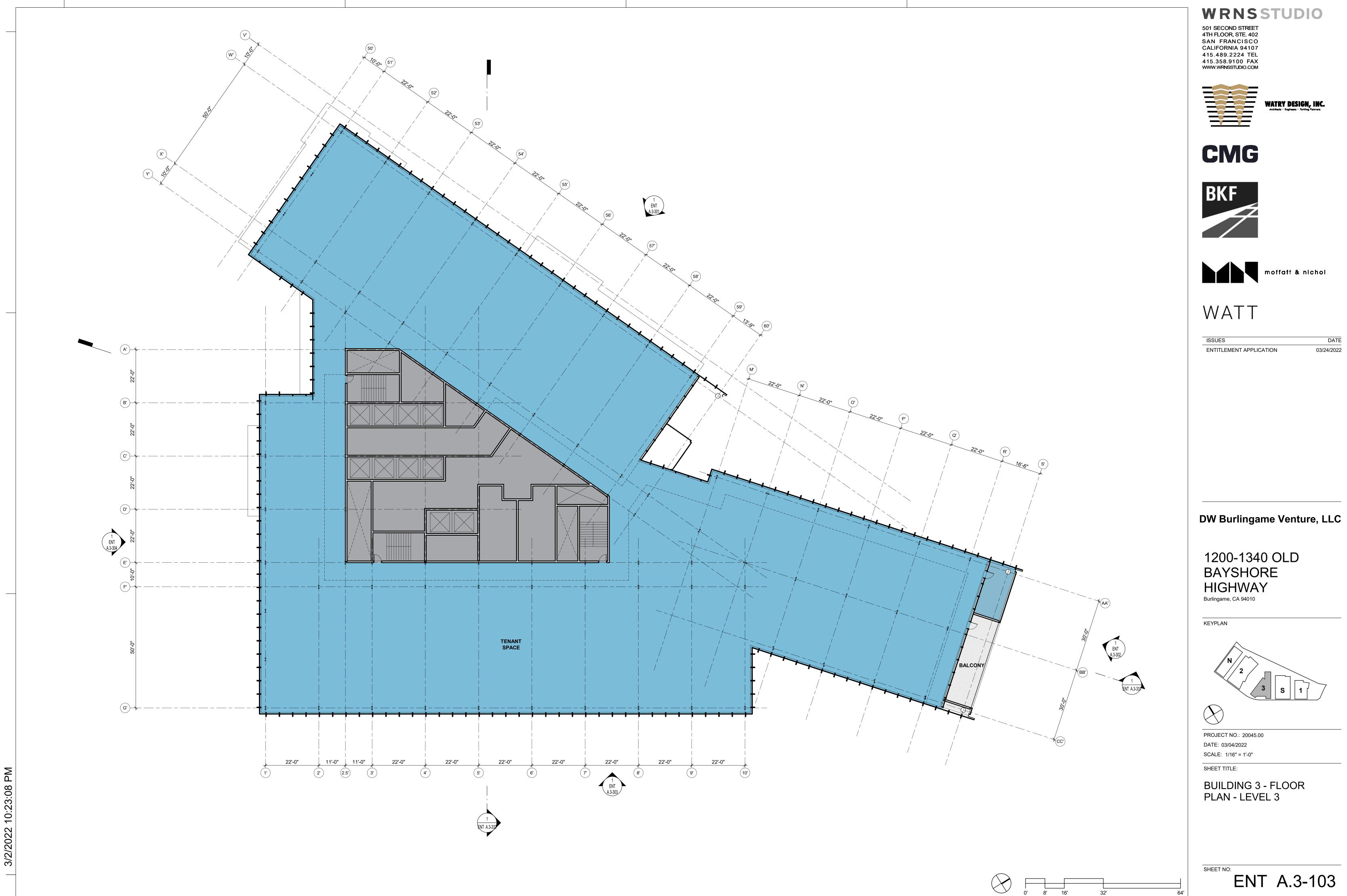
BUILDING 3 - FLOOR PLAN - LEVEL 1

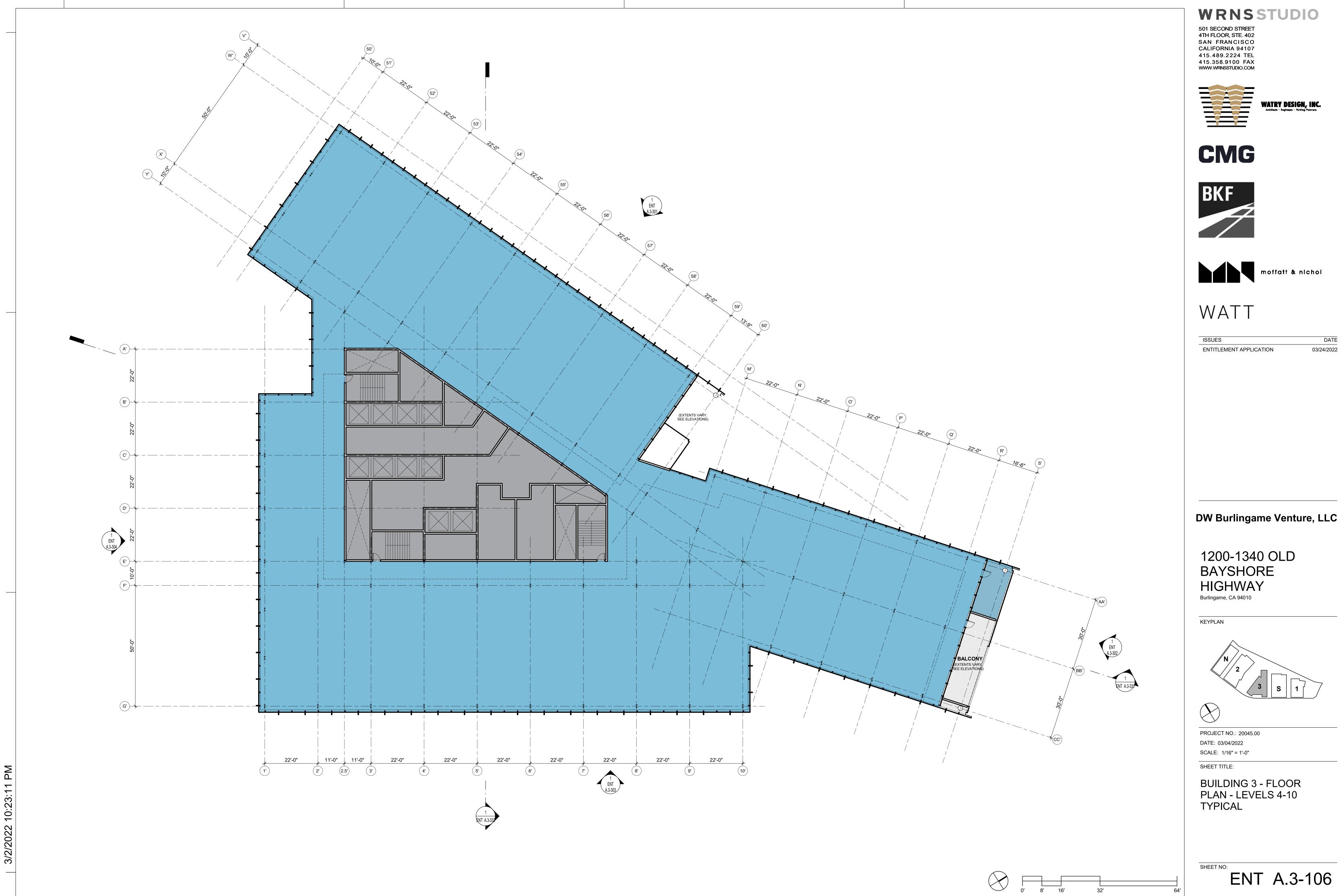


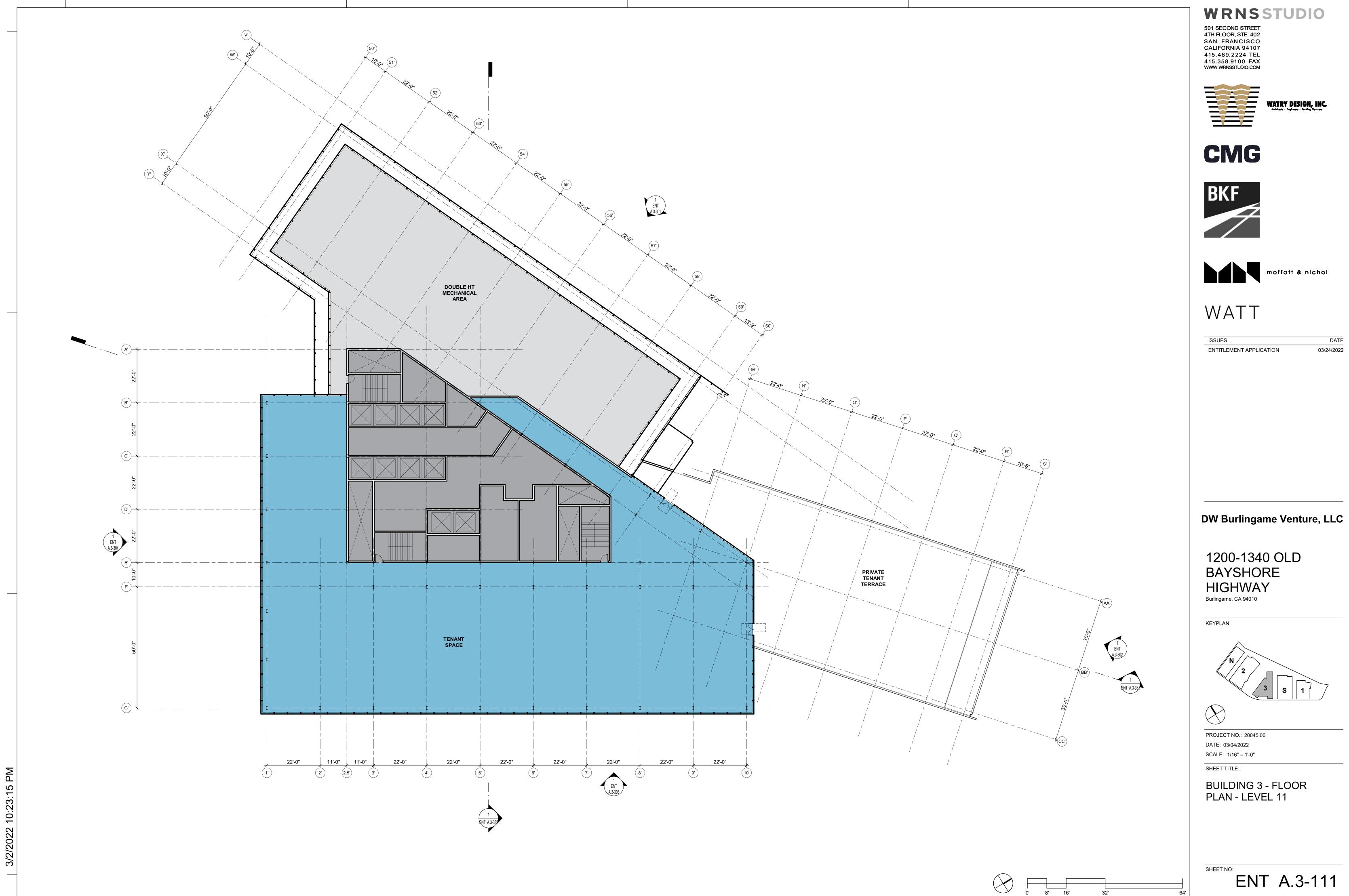


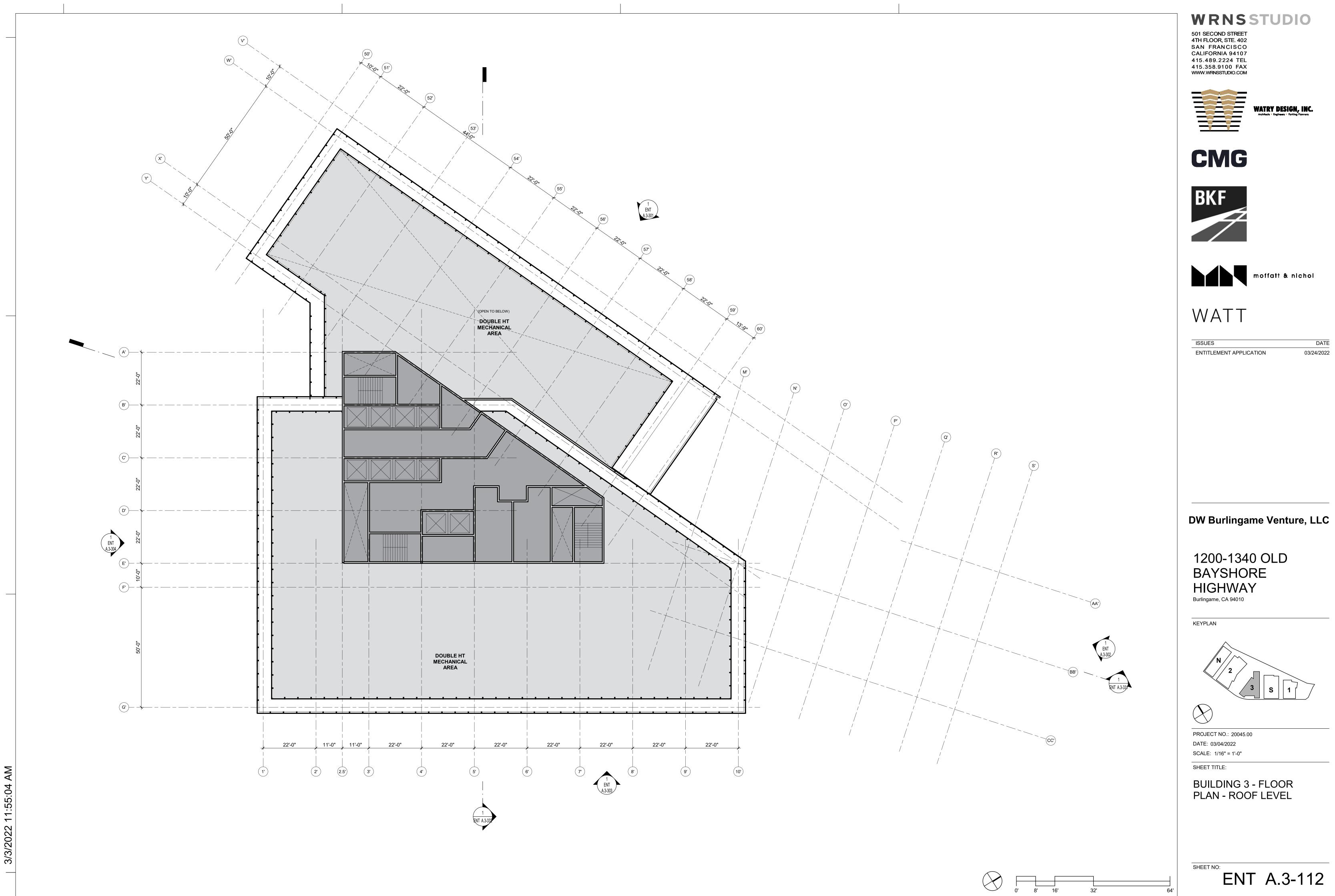


SHEET NO: ENT A.3-102



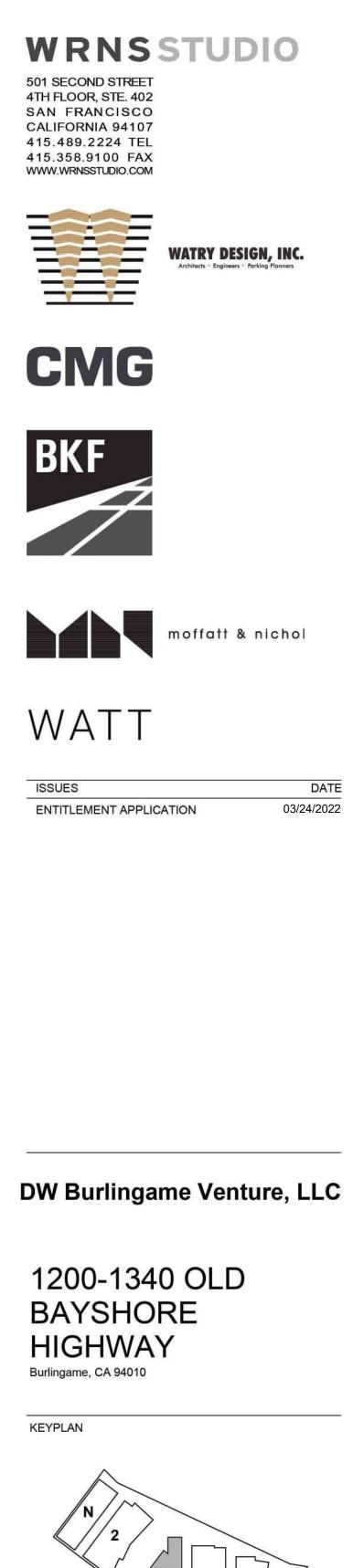








(#)	ELEVATION KEYNOTES	
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS	
7.3	WARM MTL FRAMED CANOPY	
7.4	WARM MTL FRAMED STOREFRONT	
7.6	SSG CURTAINWALL - CLEAR GLAZING	
7.7	SSG CURTAINWALL - FRITTED GLAZING	
7.9	WARM MTL GUARDRAIL	
7.12	LIGHT MTL VERTICAL FIN	
8.6	GRAPHIC INTERLAYER GLAZING	
8.8	STRUCTURALLY GLAZED CURTAINWALL - CLEAR GLAZING	



 \bigotimes PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: As indicated

SHEET TITLE:

SHEET NO:

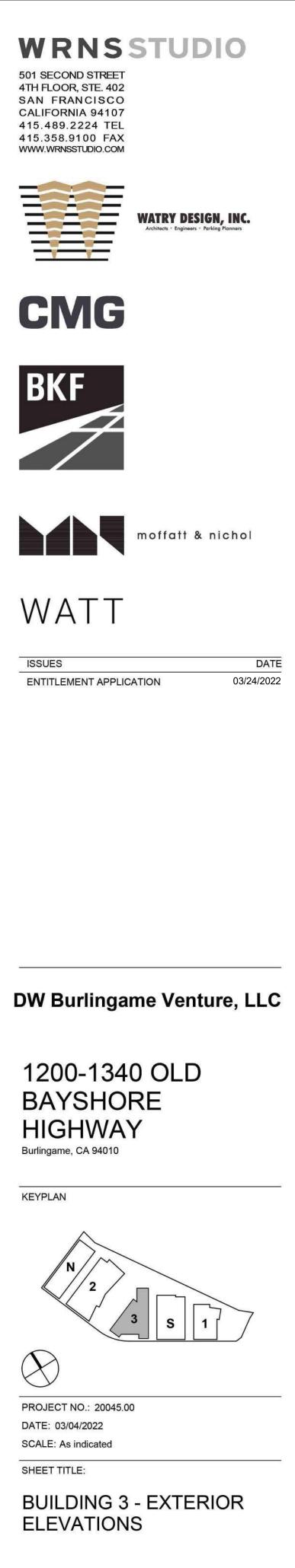
BUILDING 3 - EXTERIOR ELEVATIONS

ENT A.3-301





(#)	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.3	WARM MTL FRAMED CANOPY
7.8	WARM MTL COLUMN COVER
7.9	WARM MTL GUARDRAIL
8.8	STRUCTURALLY GLAZED CURTAINWALL - CLEAR GLAZING



SHEET NO:

ENT A.3-302



\cap	
(#)	ELEVATION KEYNOTES

1	TEXTURED ARCHITECTURAL PRECAST PANELS

501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107 415.489.2224 TEL 415.358.9100 FAX WWW.WRNSSTUDIO.COM WATRY DESIGN, INC. Architects * Engineers * Parkin CMG BKF 7 moffatt & nichol WATT

WRNSSTUDIO

ISSUES ENTITLEMENT APPLICATION

DATE 03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

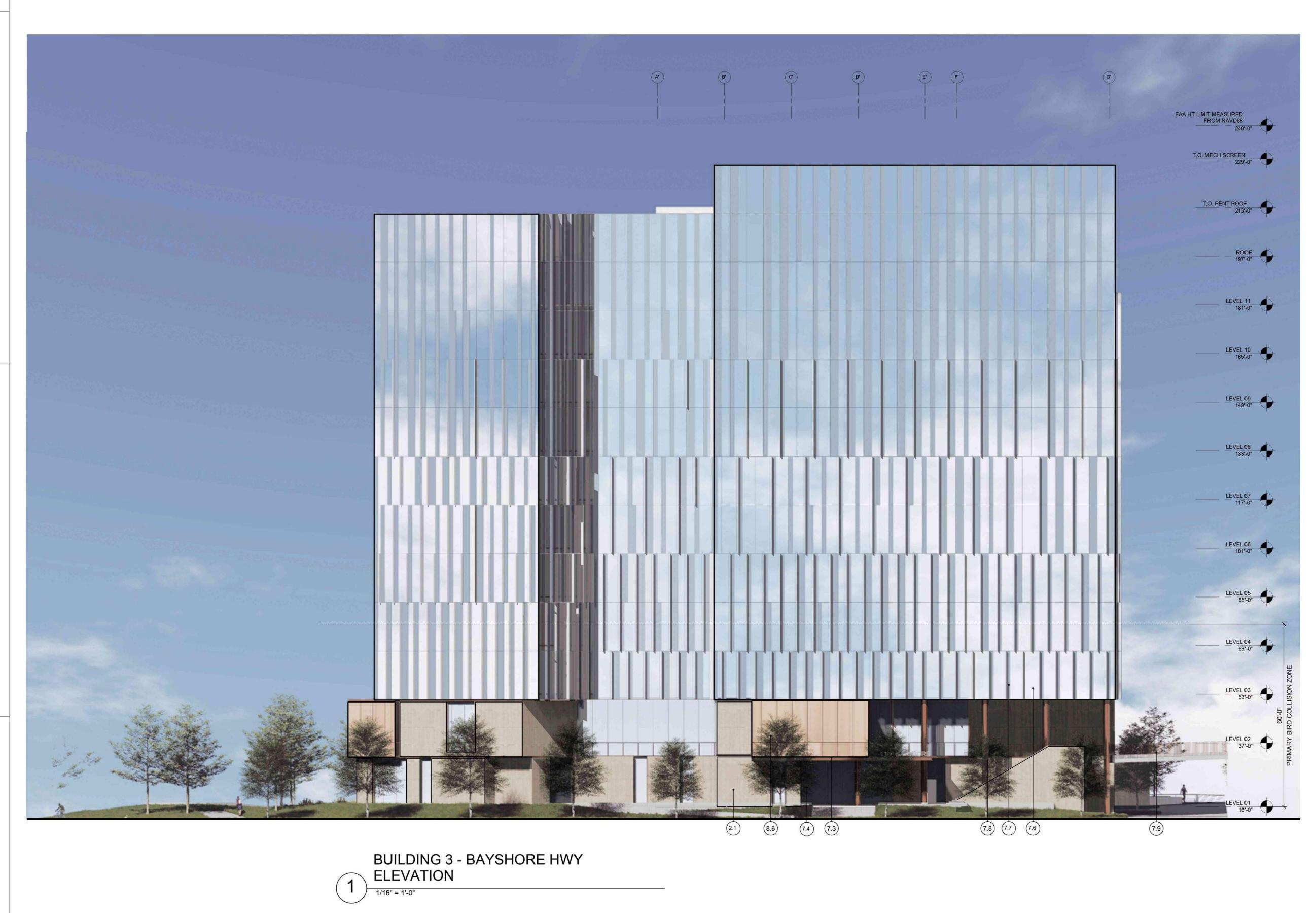
KEYPLAN \bigotimes PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: As indicated

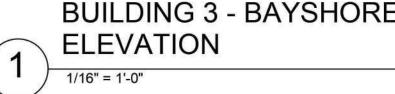
SHEET TITLE:

SHEET NO:

BUILDING 3 - EXTERIOR ELEVATIONS

ENT A.3-303





3/15/2022 9:39:39 AM

(#)	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.3	WARM MTL FRAMED CANOPY
7.4	WARM MTL FRAMED STOREFRONT
7.6	SSG CURTAINWALL - CLEAR GLAZING
7.7	SSG CURTAINWALL - FRITTED GLAZING
7.8	WARM MTL COLUMN COVER
7.9	WARM MTL GUARDRAIL
8.6	GRAPHIC INTERLAYER GLAZING





ISSUES ENTITLEMENT APPLICATION

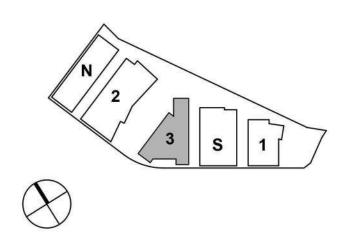
WATT

DATE 03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: As indicated

SHEET TITLE:

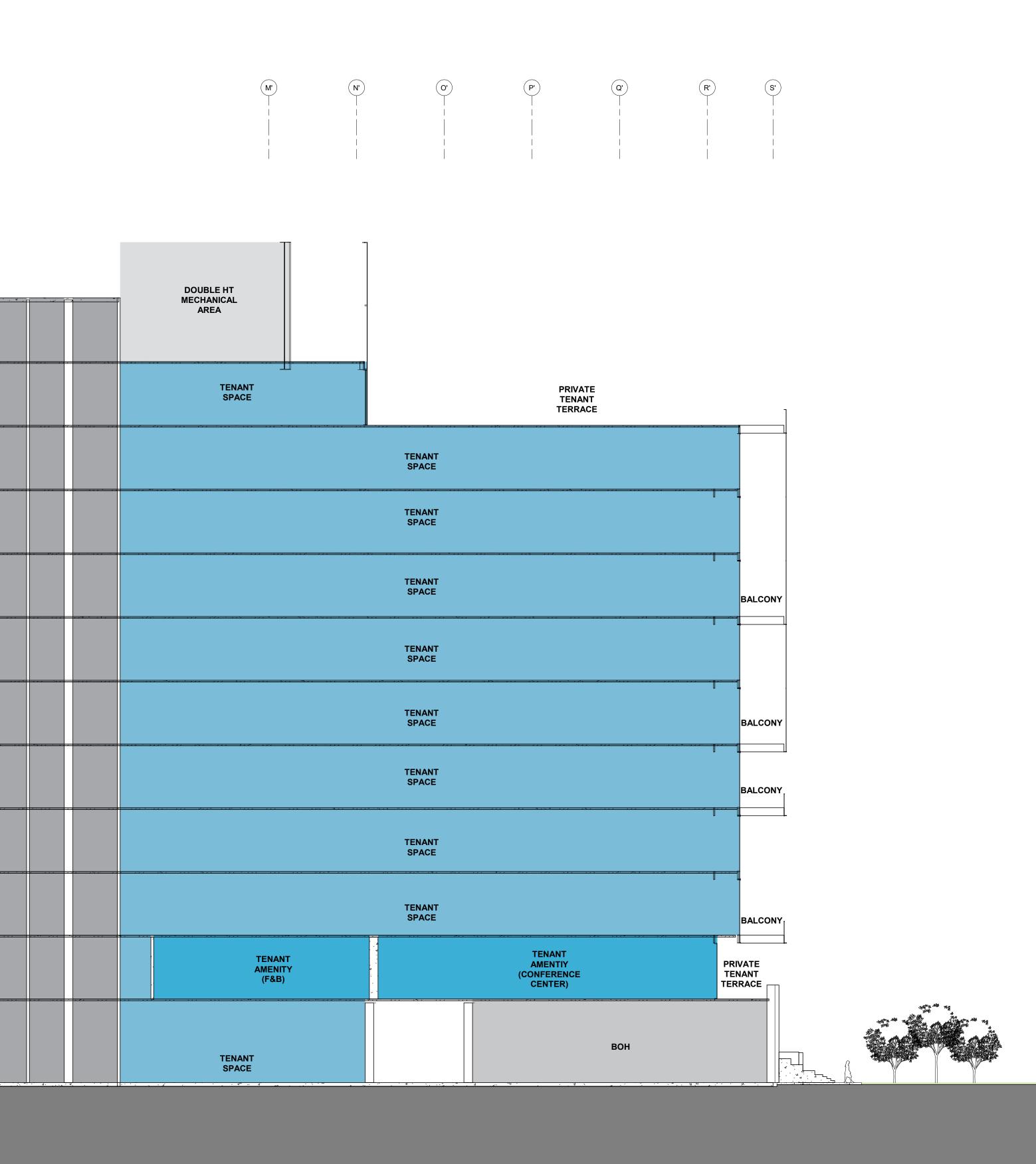
BUILDING 3 - EXTERIOR ELEVATIONS

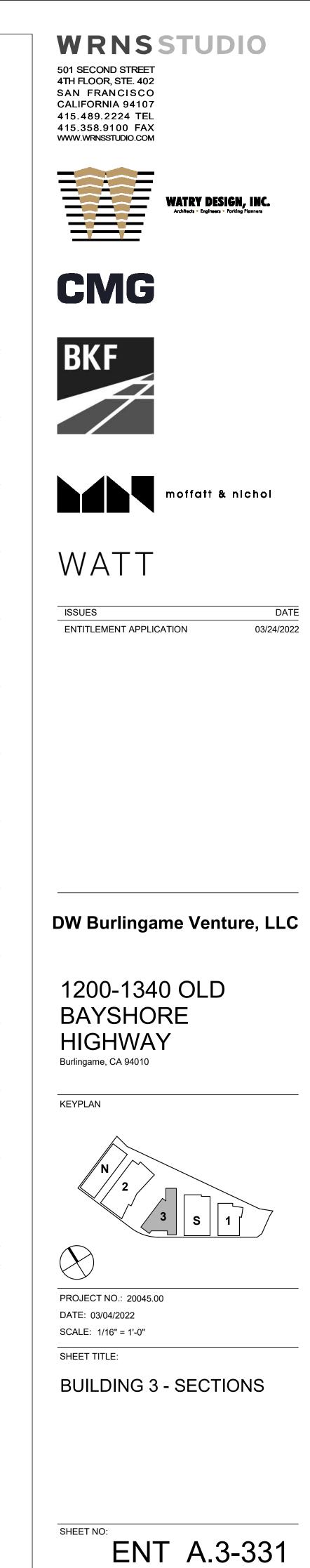
SHEET NO: ENT A.3-304

3/2/2022 10:23:44 PM

1 BUILDING 3 - SECTION 1

DOUBLE HT MECHANICAL	1) ^{4*} (-	.4		
AREA					
TENANT SPACE					
TENANT SPACE					
TENANT SPACE				<u>, , , , , , , , , , , , , , , , , , , </u>	
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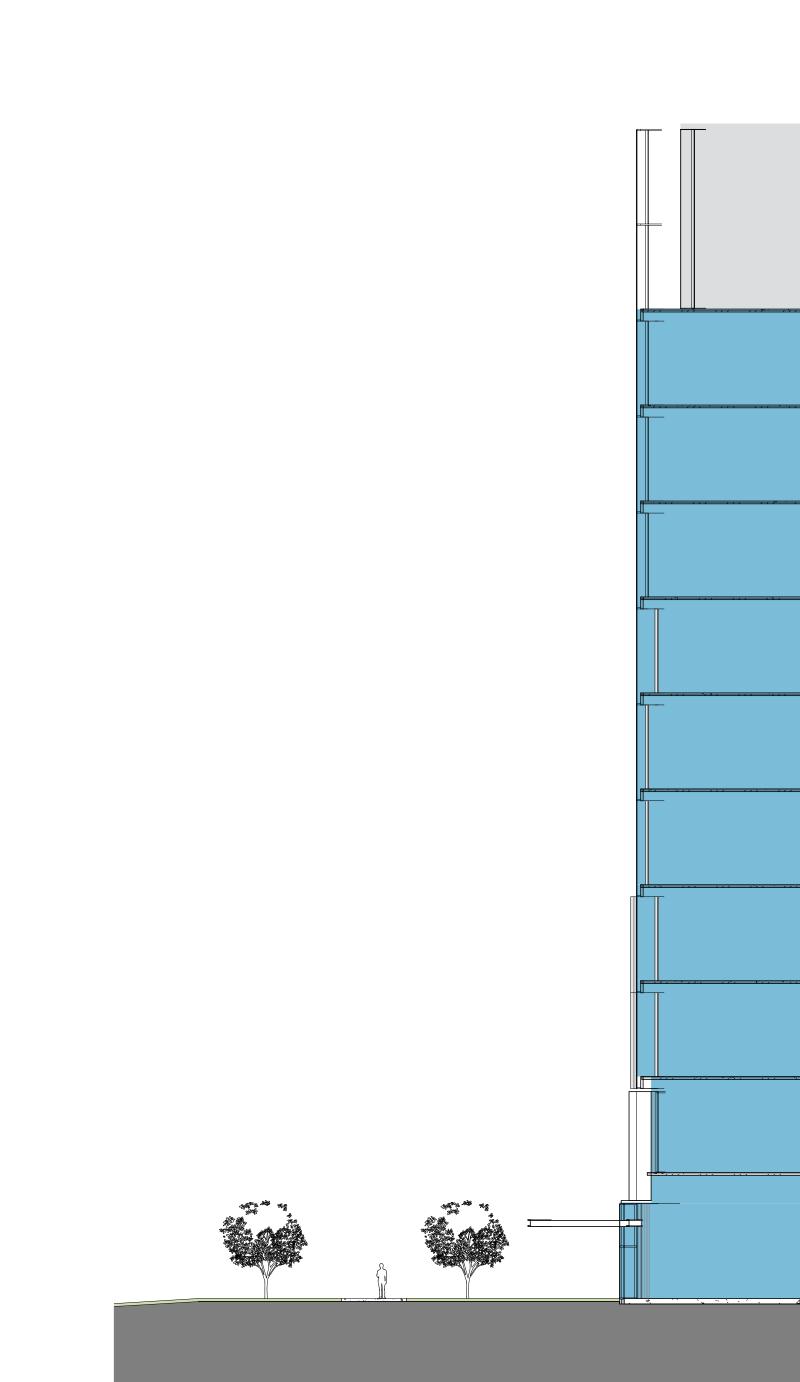




FAA HT LIMIT MEASURED _____FROM_NAVD88 _____240'-0" <u>T.O. MECH SCREEN</u> 229'-0" ROOF 197'-0" _____ _ LEVEL 11 181'-0" _____ LEVEL 10 165'-0" LEVEL 09 149'-0" _____ LEVEL 08 133'-0" _____ _ L<u>EVEL 07</u>_____ LEVEL 06 101'-0" _ L<u>EVEL 05</u> 85'-0" _____ LEVEL 04 69'-0" LEVEL 03 53'-0" LEVEL 02 37'-0" _ <u>LEVEL 01</u> 16'-0" نو LOADING - ۲ MEAN SEA LEVEL 3'-6" NAVD88

3/2/2022 10:23:47 PM

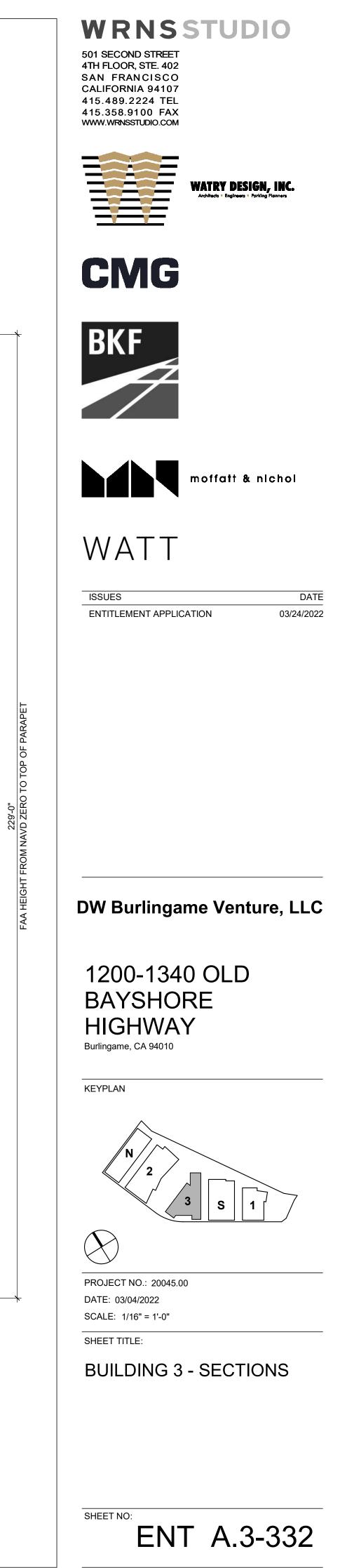
) BUILDING 3 - SECTION 2 1

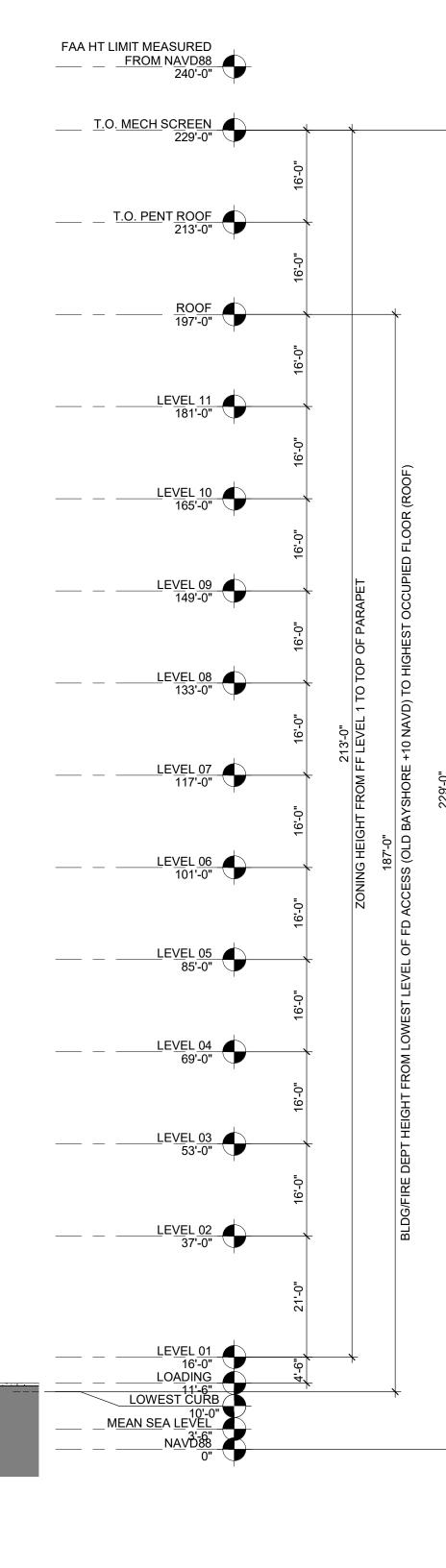


	(A') 	(B') 		(D') 	(E 		F'	(G')
DOUBLE HT				<u></u>			DOUBLE HT MECHANICAL AREA	
MECHANICAL AREA							TENANT SPACE	
TENANT SPACE			· · · · · · · · · · · · · · · · · · ·	<u></u>	****	<u>, , , , , , , , , , , , , , , , , , , </u>	TENANT SPACE	
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TENANT SPACE

LOADING DOCK







1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

DW Burlingame Venture, LLC

ENTITLEMENT APPLICATION 03/24/2022 VOLUME 4 OF 4: SOUTH PARKING & NORTH PARKING

WRNSSTUDIO

501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107 415.489.2224 TEL 415.358.9100 FAX WWW.WRNSSTUDIO.COM



WATRY DESIGN, INC.







WATT





DATE 03/24/2022

DW Burlingame Venture, LLC



ABBREVIATIONS

K/FT

KIT.

LAB.

LAM.

LAV.

LKR.

L.L.

LT.

LT.WT.

LIN.

&		
a	AND	(E)
@	AT	EXIST.
Щ А.В.	ANCHOR BOLT	E.A.
ACI	AMERICAN CONCRETE	E.F.
	INSTITUTE	E.F.S.
ACOUS.	ACOUSTICAL	E.I.F.S.
A.D.	AREA DRAIN	L0.
ADD.	ADDITION	E.J.
ADJ.	ADJUSTABLE	EL.
A.E.D.	AUTOMATED EXTERNAL	ELEC.
A.L.D.	DEFIBRILLATOR	ELEC.
A.F.F.	ABOVE FINISH FLOOR	EMER.
AGGR.	AGGREGATE	E.N.
AGGR. AISC	AMERICAN INSTITUTE	E.N. ENCL.
AISC	OF STEEL CONSTRUCTION	ENGR.
AL.	ALUMINUM	E.P.
ALT.	ALTERNATE	EQ.
ANNLD.	ANNEALED	EQUIP.
APPROX.	APPROXIMATELY	EQUIP. E.S.
ARCH.	ARCHITECTURAL	EVCS
ASPH.	ASPHALT	
ASSN.	ASSOCIATION	EVSE
ASTM	AMERICAN STANDARDS FOR	LVOL
	TESTING AND MATERIALS	E-W
AWS	AMERICAN WELDING SOCIETY	E.W.
		EXP.
BET.	BETWEEN	EXPO.
BIT.	BITUMINOUS	EXT.
BLDG.	BUILDING	
BLK.	BLOCK	F.A.
BLKG.	BLOCKING	F.A. F.D.
BM.	BEAM	F.D. F.D.C.
BOT.	BOTTOM	F.D.C. FDN.
BR.	BRACE	FDN. F.E.
BR.DN.	BRACE DOWN	F.E.C.
	CARINET	F.E.C. F.F.
CAB		г.г. F.G.
CBC	CALIFORNIA BUILDING CODE	F.H.C.
C.B.	CATCH BASIN	FIN.
CEM.	CEMENT	FIN. FLASH.
CER.		FLASH.
C.G.		FLOUR.
C.G.S.	CENTER GRAVITY STEEL	F.O.
C.I.	CAST IRON	F.O.C.
C.I.P.		F.O.F.
C.J.	CONSTRUCTION JOINT	F.O.F. F.O.M.
CLG.	CEILING	F.OPNG.
CLKG.	CAULKING	
CLO.	CLOSET	F.O.S.
CLR.	CLEAR	F.O.W.
CMU	CONCRETE MASONRY UNIT	FPRF.
CNTR.	COUNTER	F.R.
CO.	COMPANY	F.S.
COEF.	COEFFICIENT	FT.
C.O.	CHANGE ORDER	FURR.
COL.	COLUMN	FUT.
COM.	COMMON	
		GΔ
CONC.	CONCRETE	GA. GALV
CONN.	CONNECTION	GALV.
CONN. CONST.	CONNECTION CONSTRUCTION	GALV. GB.
CONN. CONST. CONT.	CONNECTION CONSTRUCTION CONTINUOUS	GALV.
CONN. CONST. CONT. CONTR.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR	GALV. GB. G.BAR.
CONN. CONST. CONT. CONTR. C.OPNG.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING	GALV. GB. G.BAR. GL.
CONN. CONST. CONT. CONTR. C.OPNG. CORP.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION	GALV. GB. G.BAR. GL. GLB.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR	GALV. GB. G.BAR. GL. GLB. GND.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER	GALV. GB. G.BAR. GL. GLB. GND. GR.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDRK
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.IN. CU.YD.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC YARD	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDRK HDWD.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A.	CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDRK HDWD. HDWE.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.IN. CU.YD. D.B.A. DLB.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDRK HDRK HDWD. HDWE. HEX.
CONN. CONST. CONT. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC FOOT CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDR. HDR. HDR. HDR. HDR. HDR. HDR
CONN. CONST. CONTR. CONTR. C.OPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDR. HDR. HDR. HDR. HDR. HDR. HDR
CONN. CONST. CONT. CONTR. COPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET. D.F.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC FOOT CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDRK HDRK HDWD. HDWE. HEX. HGR. H.M. HORIZ.
CONN. CONST. CONTR. CONTR. COPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET. D.F. DIA.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDR. HDR. HDR. HDR. HDR. HDR. HDR
CONN. CONST. CONTR. CONTR. COPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET. DET. DIA. DIAG. DIM. DISP.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DISPENSER	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDR. HDRK HDWE. HDWE. HEX. HGR. H.M. HORIZ. HR. HSS
CONN. CONST. CONT. CONTR. COPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET. DET. D.F. DIA. DIAG. DIM. DISP. DIV.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DISPENSER DIVISION	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDR. HDR. HDR. HDR. HDR. HDR. HDR
CONN. CONST. CONTR. CONTR. COPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET. DET. DIA. DIAG. DIM. DISP. DIV. D.L.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DISPENSER DIVISION DEAD LOAD	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDR. HDRK HDWE. HDWE. HEX. HGR. H.M. HORIZ. HR. HSS
CONN. CONST. CONTR. CONTR. COPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET. DET. DIA. DIAG. DIA. DISP. DIV. D.L. DN.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DISPENSER DIVISION DEAD LOAD DOWN	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDR. HDR. HDR. HDR. HDR. HDR. HDR
CONN. CONST. CONTR. CONTR. CORP. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DEPT. DET. DET. DIA. DIAG. DIM. DISP. DIV. D.L. DN. DO.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DISPENSER DIVISION DEAD LOAD DOWN DITTO	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDR. HDR. HDR. HDR. HDR. HDR. HDWE. HEX. HGR. H.M. HORIZ. HR. HSS H.S.A. HT.
CONN. CONST. CONT. CONTR. COPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET. DET. DIA. DIAG. DIA. DISP. DIV. D.L. DN. DO. DO. DR.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DISPENSER DIVISION DEAD LOAD DOWN DITTO DOOR	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDRK HDRK HDWE. HEX. HGR. H.M. HORIZ. HR. HSS H.S.A. HT. I.B.C.
CONN. CONST. CONT. CONTR. COPNG. CORP. CORR. CTR. CTSK. CU.FT. CU.IN. CU.YD. D.B.A. DLB. DEPT. DET. DET. DET. DIA. DIAG. DIA. DIAG. DIM. DISP. DIV. D.L. DN. DO. DR. DR.OPNG.	CONNECTION CONSTRUCTION CONSTRUCTION CONTINUOUS CONTRACTOR CASED OPENING CORPORATION CORPORATION CORRIDOR CENTER COUNTERSUNK CUBIC FOOT CUBIC INCH CUBIC INCH CUBIC YARD DEFORMED BAR ANCHOR DOUBLE DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DISPENSER DIVISION DEAD LOAD DOWN DITTO DOOR DOOR OPENING	GALV. GB. G.BAR. GL. GLB. GND. GR. G.S.M. GYP.BD. H.B. H.C. HDR. HDRK HDWE. HEX. HGR. H.M. HORIZ. HR. HSS H.S.A. HT. I.B.C. I.D. I.F. IN.
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		MATERIAL
EXISTING	MATL.	
EXISTING	MAX.	MAXIMUM
EACH	M.B.	MACHINE BC
_		
EACH FACE	M.C.	MEDICINE CA
EXTERIOR FINISH SYSTEM	M.D.	MID DEPTH
EXTERIOR INSULATION	MECH.	MECHANICA
FINISH SYSTEM	MEMB.	MEMBRANE
EXPANSION JOINT	MFR.	MANUFACTU
ELEVATION	MH.	MANHOLE
ELECTRICAL	MIN.	MINIMUM
ELEVATOR	MIR.	MIRROR
EMERGENCY	MISC.	MISCELLANE
EDGE NAILING		
	MIXT.	MIXTURE
ENCLOSURE	MOB	MEDICAL OF
ENGINEER	M.S.	MIDDLE STR
ELECTRICAL PANEL	MTD.	MOUNTED
EQUAL	MTL.	METAL
EQUIPMENT	MUL.	MULLION
EACH SIDE		
ELECTRIC VEHICLE CHARGING	(N)	NEW
	N.Í.C.	NOT IN CONT
STATION	NOM	NOMINAL
ELECTRIC VEHICLE SUPPLY	-	
EQUIPMENT	NO. or #	NUMBER
EAST WEST	N-S	NORTH-SOU
	N.T.S.	NOT TO SCA
EACH WAY	11.1.0.	
EXPANSION	O.A.	OVERALL
EXPOSED		-
EXTERIOR	OBS	OBSCURE
	o/c	ON CENTER
	O.D.	OUTSIDE DIA
FIRE ALARM	0.F.	OUTSIDE FA
FLOOR DRAIN		
FIRE DEPARTMENT CONNECTION	OFF.	OFFICE
	O.H.	OPPOSITE H
FOUNDATION	OPNG.	OPENING
FIRE EXTINGUISHER	OPP.	OPPOSITE
FIRE EXTINGUISHER CABINET		
	ORIG.	ORIGINAL
FINISH FLOOR	OSHPD	OFFICE OF S
FINISH GRADE		PLANNING A
FIRE HOSE CABINET	50	
FINISH	PC	PIERCAP
	PERM.	PERMANENT
FLASHING	PERP.	PERPENDICL
FLOOR		
FLUORESCENT	PL.	PLATE
	P.LAM.	PLASTIC LAN
FACE OF	PLAS.	PLASTER
FACE OF CONCRETE		
FACE OF FINISH	PLYWD	PLYWOOD
	PR.	PAIR
FACE OF MASONRY	PRCST.	PRECAST
FINISH OPENING	PROJ.	PROJECT
FACE OF STUD		
FACE OF WALL	P.S.F.	POUNDS PER
	P.S.I.	POUNDS PEF
FIRE PROOFING	PT.	POINT
FIRE RISER		-
FAR SIDE	P.T.	POST TENSI
	P.T.I.	POST TENSI
FOOT OR FEET	P.T.D.	PAPER TOW
FURRING	P.T.D/R	PAPER TOW
FUTURE		RECEPTACLI
GAUGE	PTL	PRESSURE 1
	PTL PTN.	PRESSURE 1 PARTITION
GALVANIZED	PTN.	PARTITION
GALVANIZED GRADE BEAM	PTN. P.T.R.	PARTITION PAPER TOW
GALVANIZED	PTN.	PARTITION
GALVANIZED GRADE BEAM	PTN. P.T.R.	PARTITION PAPER TOW
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING	PTN. P.T.R. Q.T.	PARTITION PAPER TOW QUARRY TILI
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM	PTN. P.T.R. Q.T. R. or RAD.	PARTITION PAPER TOW QUARRY TILI RADIUS
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND	PTN. P.T.R. Q.T. R. or RAD. R.D.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE	PTN. P.T.R. Q.T. R. or RAD.	PARTITION PAPER TOW QUARRY TILI RADIUS
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND	PTN. P.T.R. Q.T. R. or RAD. R.D.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN REFERENCE REFRIGERAT
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REFR. REINF.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REFR. REINF. REQ'D.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REFR. REINF. REQ'D. RESIL.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED RESILIENT
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REFR. REINF. REQ'D.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REFR. REINF. REQ'D. RESIL. RGTR.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED REQUIRED RESILIENT REGISTER
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J.	PARTITION PAPER TOW QUARRY TILL RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED RESILIENT REGISTER ROOF JOIST
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. R.J. RM.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED REQUIRED RESILIENT REGISTER ROOF JOIST ROOM
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. R.J. R.M. R.O.	PARTITION PAPER TOW QUARRY TILL RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. R.J. RM.	PARTITION PAPER TOW QUARRY TILI RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED REQUIRED RESILIENT REGISTER ROOF JOIST ROOM
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R.	PARTITION PAPER TOW QUARRY TILL RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFTE
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R. RWD.	PARTITION PAPER TOWN QUARRY TILL RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCED REQUIRED REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFTE REDWOOD
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL HANGER	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R.	PARTITION PAPER TOW QUARRY TILL RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFTE
GALVANIZED GRADE BEAM GRAB BAR GLASS / GLAZING GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL HANGER HOLLOW METAL	PTN. P.T.R. Q.T. R. or RAD. R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R. R.W.L.	PARTITION PAPER TOW QUARRY TILL RADIUS ROOF DRAIN REFERENCE REFRIGERAT REINFORCEI REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFTE REDWOOD RAIN WATER
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MATERIAL	т	TREAD	1.	<u>SCOPE OF DOCUMENTS:</u> THESE PLANS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF
MAXIMUM MACHINE BOLT	T.B. T.B.D.	TOWEL BAR TO BE DETERMINED		ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF
MEDICINE CABINET	TEL.	TELEPHONE		THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL SYSTEM. ON THE BASIS
MID DEPTH MECHANICAL	TER. T&G	TERRAZZO TONGUE AND GROOVE		OF THE GENERAL SCOPE INDICATED OR DESCRIBED,
MEMBRANE	THK.	THICK		THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE
MANUFACTURER MANHOLE	THRSH. T.O.B.	THRESHOLD TOP OF BEAM		WORK.
MINIMUM	T.O.C.	TOP OF CURB	2.	THE WORK: ALL CONSTRUCTION AND MATERIALS SHALL
MIRROR MISCELLANEOUS	T.O.CON. T.O.F.	TOP OF CONCRETE TOP OF FOOTING		BE SPECIFIED AND CONSTRUCTED AS REQUIRED BY THE LATEST EDITION OF THE IBC, STATE AND LOCAL CODES
MIXTURE	T.O.P.	TOP OF PAVEMENT		AND AUTHORITIES, AND THE CONTRACT DOCUMENTS.
MEDICAL OFFICE BUILDING MIDDLE STRIP	T.O.PR. T.O.S.	TOP OF PIER TOP OF SLAB	3.	THE CONTRACTOR:
MOUNTED	T.O.STL.	TOP OF STEEL		A. SHALL BE RESPONSIBLE FOR THE ACCURATE
METAL MULLION	TOT. T.O.W.	TOTAL TOP OF WALL		PLACEMENT OF THE BUILDING ON THE SITE. B. SHALL VERIFY ALL DIMENSIONS AND SITE
NEW	T.P.D.	TOILET PAPER DISPENSER		CONDITIONS BEFORE STARTING WORK. C. SHALL DO ALL CUTTING , FITTING OR PATCHING OF
NOT IN CONTRACT	T.V. TYP.	TELEVISION TYPICAL		IS WORK THAT MAY BE REQUIRED TO MAKE ITS
NOMINAL NUMBER	U.B.C.	UNIFORM BUILDING CODE		SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY
NORTH-SOUTH	UNF.	UNFINISHED		CUTTING, EXCAVATING, OR OTHERWISE ALTERING
NOT TO SCALE	UNO UR.	UNLESS NOTED OTHERWISE URINAL		THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF
OVERALL OBSCURE	VERT.	VERTICAL		MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH
ON CENTER	VEST.	VESTIBULE		APPLICABLE MATERIALS SO THAT SURFACES
OUTSIDE DIAMETER OUTSIDE FACE	w/	WITH		REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
OFFICE	W.C. WD.	WATER CLOSET WOOD		
OPPOSITE HAND OPENING	W.E.J.	WALL EXPANSION JOINT	4.	<u>THE JOB SITE:</u> A. SHALL BE MAINTAINED IN A CLEAN, ORDERLY
OPPOSITE	w/o WP.	WITHOUT WATERPROOF		CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY
ORIGINAL OFFICE OF STATEWIDE HEALTH	W.P.J.	WEAKENED PLANE JOINT		MATERIALS OR EQUIPMENT. EACH SUB-
PLANNING AND DEVELOPMENT	W.P.M. WS.	WATER PROOFING MEMBRANE WEATHER STRIPPED		CONTRACTOR, IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK, SHALL REMOVE ALL
PIERCAP PERMANENT	WSCT.	WAINSCOT		TRASH AND DEBRIS AS A RESULT OF HIS
PERPENDICULAR	W.S.P. WT.	WET STAND PIPE WEIGHT		OPERATION. B. ALL MATERIAL STORED ON THE SITE SHALL BE
PLATE PLASTIC LAMINATE	W.W.R.	WELDED WIRE REINFORCEMENT		PROPERLY STACKED AND PROTECTED TO PREVENT
PLASTER	X.STR.	EXTRA STRONG		DAMAGE AND DETERIORATION UNTIL USE.
PLYWOOD PAIR	ቒ	CENTERLINE	5.	<u>SUBMITTALS:</u> NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE
PRECAST				COMMENCED UNTIL THE SUBMISSION HAS BEEN
PROJECT POUNDS PER SQUARE FOOT				REVIEWED BY THE ARCHITECT.
POUNDS PER SQUARE INCH			6.	DIMENSIONS:
POINT POST TENSION(ED)				 A. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
POST TENSION INSTITUTE PAPER TOWEL DISPENSER				B. ALL DIMENSIONS ARE TO THE FACE OF FINISH UNLESS NOTED OTHERWISE.
PAPER TOWEL DISPENSER PAPER TOWEL DISP. WITH				
RECEPTACLE PRESSURE TREATED LUMBER			7.	EXITS: ALL REQUIRED EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR
PARTITION				SPECIAL KNOWLEDGE OR EFFORT. EXIT SIGNS SHALL
				BE PROVIDED AT ALL EXITS REQUIRED BY CODE.
QUARRY TILE			8.	<u>FURRING:</u> WHERE LARGER STUDS OR FURRINGS ARE REQUIRED TO COVER PIPING AND CONDUITS, THE
RADIUS ROOF DRAIN				LARGER STUD SIZE OR FURRING SHALL EXTEND THE
REFERENCE				FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
REFRIGERATOR REINFORCED				
REQUIRED			9.	ELEVATORS: ALL ELEVATORS SHALL MEET THE REQUIREMENTS OF C.C.R., TITLE 8, ELEVATOR SAFETY
RESILIENT REGISTER				ORDERS.
ROOF JOIST			10.	ACCESSIBILITY REQUIREMENTS: SHALL BE AS
ROOM ROUGH OPENING				PRESCRIBED BY THE CALIFORNIA CODE OF REGULATIONS, TITLE 24 (ARCHITECTURAL BARRIER
ROOF RAFTER				LAWS) AND THE AMERICANS WITH DISABILITIES ACT.
REDWOOD RAIN WATER LEADER			11.	THE AMERICANS WITH DISABILITIES ACT. (A.D.A.): IS
SEE ARCHITECTURAL				SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY
DRAWINGS				ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT
SOLID CORE SEAT COVER DISPENSER				THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE A.D.A. AS IT APPLIES TO THE
SCHEDULE SOAP DISPENSER				SUBJECT PROJECT, BUT IS NOT IN ANY WAY A
STRUCTURAL ENGINEERS				WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE
ASSOC. OF NORTHERN CALIFORNIA				A.D.A. BY OTHERS.
SECTION			12.	DISCREPANCIES: SHOULD A DISCREPANCY THAT
SOIL FACE SHELF				AFFECTS ANY WORK APPEAR IN THE SPECIFICATIONS, PLANS, OR WORK DONE BY OTHERS AS PART OF THE
SHOWER				CONTRACT DOCUMENTS, NOTIFY THE ARCHITECT AT
SHEET SHEATHING				ONCE FOR CLARIFICATION. SHOULD A CONFLICT OCCUR IN OR BETWEEN PLANS AND SPECIFICATIONS, OR
SIMILAR SANITARY NAPKIN DISPENSER				WHERE DETAIL REFERENCES ON CONTRACT DOCUMENTS HAVE BEEN OMITTED, THE CONTRACTOR IS
SANITARY NAPKIN RECEPTACLE				DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE
SLAB ON GRADE SPECIFICATIONS				MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT
SQUARE				HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE
SQUARE FEET SERVICE SINK				METHOD AND/OR MATERIALS.
SELECT STRUCTURAL				
STAINLESS STEEL STATION				
STAGGER(ED)				
STANDARD STEEL				
STORAGE				
STRUCTURAL SUSPENDED				

GENERAL NOTES

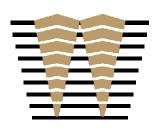
DEFERRED SUBMITTAL ITEMS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND COORDINATING DESIGN AND DETAILING OF THE FOLLOWING PRE-ENGINEERED SYSTEMS, INCLUDING CONNECTIONS TO THE BUILDING STRUCTURE. THE CONTRACTOR SHALL SUBMIT DRAWINGS AND CALCULATIONS STAMPED BY A CALIFORNIA REGISTERED CIVIL OR STRUCTURAL ENGINEER TO THE ARCHITECT, ENGINEER AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION AND ERECTION. DEFERRED ITEMS INCLUDE BUT ARE NOT LIMITED TO:

- 1. ELEVATORS
- 2. MISCELLANEOUS METAL RAILS
- 3. METAL STUD WALL SYSTEMS
- 4. METAL STAIRS
- 5. FIRE SPRINKLERS SYSTEMS 6. CABLE RAILS

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WATRY DESIGN, INC. Architects • Engineers





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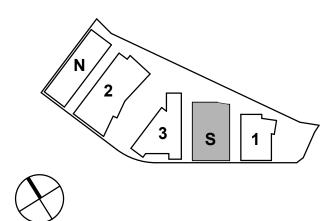
ISSUES ENTITLEMENT APPLICATION

DATE 03/24/2022

DW Burlingame Venture, LLC



KEYPLAN



PROJECT NO.: 21-144 DATE: 03/04/2021 SCALE: 12" = 1'-0"

SHEET TITLE:

SOUTH PARKING -PROJECT DATA SHEET



PROJECT OWNER

DIVCO WEST 301 HOWARD STREET, SUITE 2100, SAN FRANCISCO, CA 94105 PHONE 1-248-961-5664 MARK JOHNSON, DIRECTOR OF DEVELOPMENT VIRGINIA CALKINS, DEVELOPMENT

WOODSTOCK DEVELOPMENT 1350 OLD BAYSHORE HWY, SUITE 355 BURLINGAME, CA 94010 PHONE 1-650-579-1901 KIRK SYME, PRESIDENT

DESIGN-BUILD CONTRACTOR

DEVCON CONSTRUCTION 690 GIBRALTAR DRIVE, MILPITAS, CA 95035 PHONE 1-408-466-9146 ANDY SCHATZMAN, SENIOR VICE PRESIDENT KRISSY SCHREIBER, SENIOR PROJECT MANAGER

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DESIGN CONSULTANTS

<u>CIVIL:</u> BKF 255 SHORELINE DRIVE, SUITE 200 REDWOOD CITY, CA 94065 PHONE 1-650-482-6453 PATRICK CONNORS, PROJECT MANAGER

ARCHITECT: WRNS STUDIO 501 SECOND STREET, SUITE 402 SAN FRANCISCO, CA 94107 PHONE 1-415-489-2224 SAM NUNES, PARTNER IN CHARGE BEN MICKUS, PROJECT LEAD

SUSTAINABILITY/LEED: WRNS STUDIO 501 SECOND STREET, SUITE 402 SAN FRANCISCO, CA 94107 PHONE PAULINE SOUZA, DIRECTOR OF SUSTAINABILITY

PARKING: WATRY DESIGN INC. 2099 GATEWAY PL, SUITE 550 SAN JOSE, CA 95110 PHONE 1-833-917-PARK FAX 1-408-532-5004 JESS MCINERNEY, PRINCIPAL

STRUCTURAL ENGINEER: WATRY DESIGN INC. 2099 GATEWAY PL, SUITE 550 SAN JOSE, CA 95110 PHONE 1-833-917-PARK FAX 1-408-532-5004 JESS MCINERNEY, PRINCIPAL

MECHANICAL: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-415-544-7500 CHRIS MCHUGH, MECHANICAL ENGINEER III

ELECTRICAL: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-415-544-7500 ROBERT SMITH, ASSOCIATE PRINCIPAL

PLUMBING: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-415-544-7500 ERICA KRAM, SENIOR ASSOCIATE

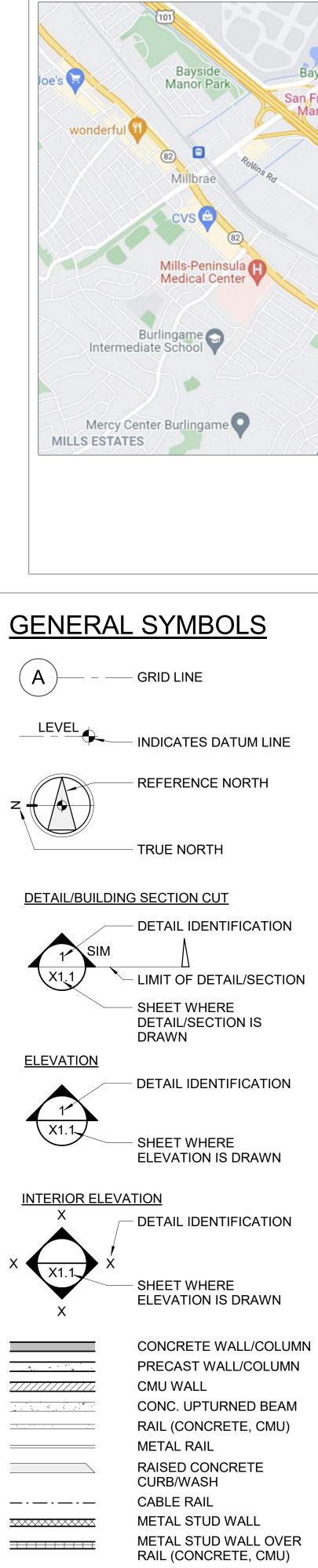
FIRE ALARM: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-415-544-7500 ROBERT SMITH, ASSOCIATE PRINCIPAL

FIRE PROTECTION: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-15-544-7500 ERICA FRAM, SENIOR ASSOCIATE

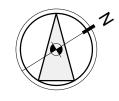
LANDSCAPING: CMG LANDSCAPE ARCHITECTURE 444 BRYANT STREET SAN FRANCISCO, CA 94107 PHONE 1-415-495-3070 JUSTIN AFF, PROJECT MANAGER/ASSOCIATE

ELEVATOR: EWCG 102 E. BLITHEDALE AVE., SUITE 1 MILL VALLEY, CA 94941 PHONE 1-415-388-1880 ALLEN WILLIAMS, CHAIRMAN

VICINITY MAP



Y.		
Bayfront Park		
San Francisco Airport		
048 Be	SITE LOCATION Seafoor Id Dimsum	
Floor & Decor	TIIt's - It Ice Cre	
Max's of	Burlingame	
San I	Crowne Plaza	
		Ва
	Hyuga	
EASTON	BURLINGAME TERRACE California D	\sum
ADDITION	"@p	Wa



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CALIFORNIA 94107



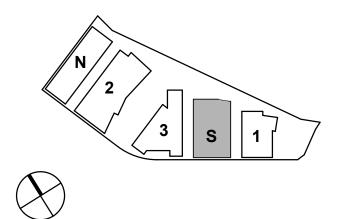
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DATE 03/24/2022

DW Burlingame Venture, LLC



KEYPLAN



PROJECT NO.: 21-144 DATE: 03/04/2021 SCALE: 12" = 1'-0"

SHEET TITLE:

SOUTH PARKING -PROJECT DATA SHEET



EXITING DIAGRAMS

2019 C.B.C. SECTION 1017, TABLE 1017.2 "EXIT TRAVEL DISTANCE" S2 OCCUPANCY EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THE MAXIMUM TRAVEL DISTANCE IS 400' S2 OCCUPANCY WITHOUT AN AUTOMATIC SPRINKLER SYSTEM THE MAMIMUM TRAVEL DISTANCE IS 300'

EXITING LEGEND



◀--▶

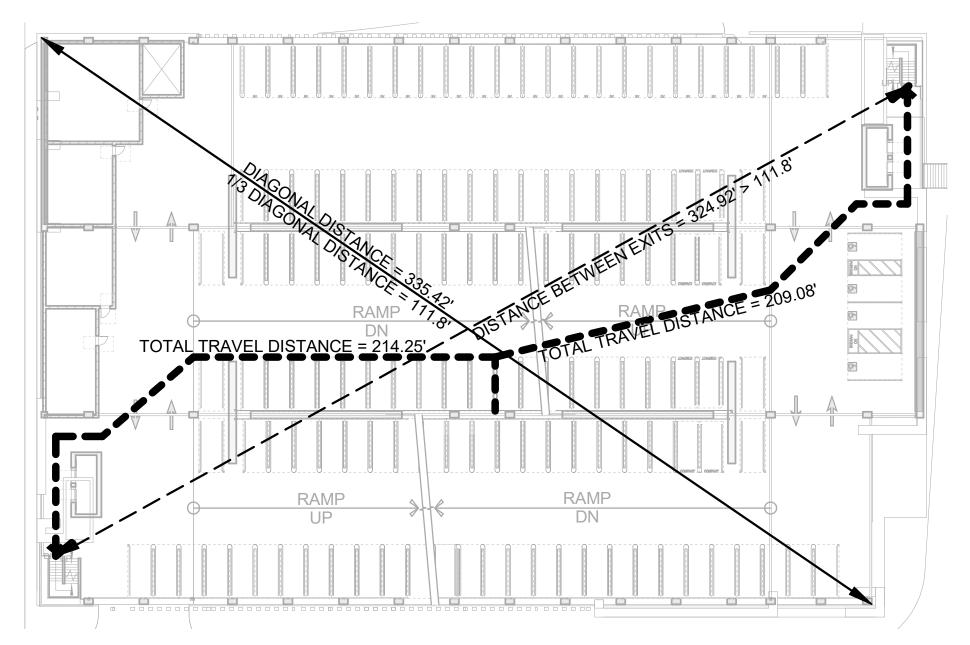
FIRE RATINGS LEGEND

ACTUAL TRAVEL DISTANCE		1-HR.
DIAGONAL DISTANCE		2-HR.
DISTANCE BETWEEN	••••	3-HR.
EXITS		4-HR.

CODE DATA

GOVERNING CODES:

- A. 2019 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 2.
- B. 2019 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 3.
- C. 2019 CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 4.
 D. 2019 CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 5.
 E. 2019 CALIFORNIA FIRE CODE (CFC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 5.
- F. 2019 CALIFORNIA ENERGY, CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24 PART 6
- G. ADAAG ADA ACCESSIBILTY GUIDELINES H. CITY OF BURLINGAME MUNICIPAL CODE



TYPICAL LEVEL EXITING DIAGRAM 1/32" = 1'-0"

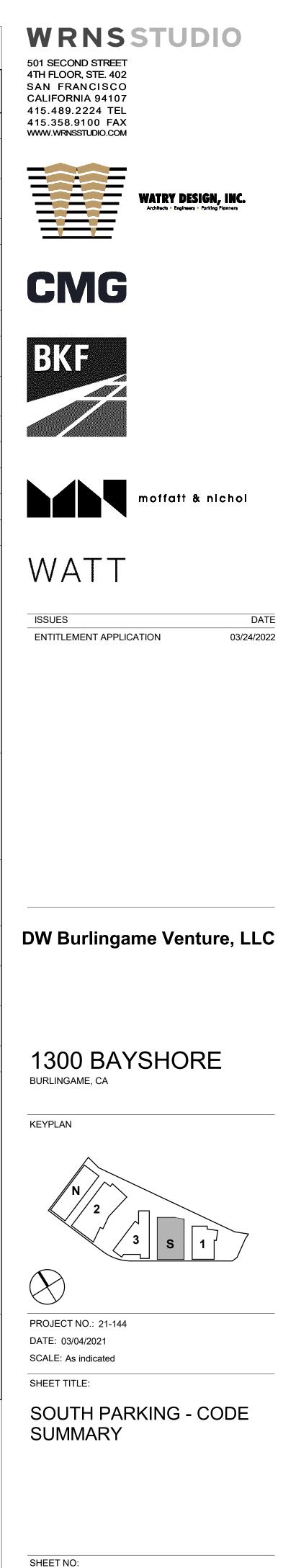
TOTAL TRAVEL DISTANCE = 208.17' RAMP FIRST LEVEL EXITING DIAGRAM

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1/32" = 1'-0"

CODE SUMMARY

Decouperatory trype(s): - CHAPTER 3 Decouperatory (Comparison)	CODE SECTIONS	TYPE - OPEN GARAGE	TYPE - CLOSED GARAGE	NOTES
Local Construction NTPER(s) Columb PER 40.6,0 Columb PER 40.6,0 Table 50 (0.5.4,0) GRADUP FILM - COLORED - CONTRACT, SAND 6 IE IS NA NA GRADUP FILM - COLORED TO PER 40,000 11 (r) NA NA NA ALL OWARD - PER 40,000 10 (r) NA NA NA NA ALL OWARD - PER 40,000 0.000 (r) 10 (r) NA NA NA ALL OWARD - PER 40,000 (r) 0.000 (r) 10 (r) NA NA NA ALL OWARD - PER 40,000 (r) 0.000 (r) 10 (r) NA NA NA ALL OWARD - PER 40,000 (r) 0.000 (r) 10 (r) NA NA NA SASE ALLOWARD - AREA REA (r) NA NA NA NA NA ALL OWARD - AREA REA (r) NA NA NA NA NA ALL OWARD - AREA REA (r) NA NA NA NA NA ALL OWARD - AREA REA (r) NA NA NA NA NA ALLOWARD - AREA REA (r)	AUTOMATIC SPRINKLER SYSTEM - SEC. 903	YES	YES	
Concernment	OCCUPANCY TYPE(S) - CHAPTER 3			OPENNESS - 406.5.2
ALLOWABLE HEIGHT IN TIERS) - TABLE 456.5.4 12 TIERS NA ACTUAL HEIGHT (N TIERS) NA ACTUAL HEIGHT INCREASE BY TIERS, FOR ACTUAL AREA LANCESS TIER ACTUAL AREA LANCESS TIER ACTUAL AREA LANCESS TIER ACTUAL AREA INCREASE FRETIER ACTU	CONSTRUCTION TYPE(S) - CHAPTER 4, 5 AND 6	IB	IB	
ACTUAL HEIGHT (IN THERS) 10 THERS N/A ALLOWALE LEVER IN INCREASE (IN THERS) FOR N/A N/A ALLOWALE LEVER IN INCREASE (IN THERS) FOR N/A N/A ALLOWALE LEVER IN INCREASE (IN THERS) FOR N/A N/A BASE ALLOWALE AREA PER TERR UNLIMITED (JSD 3 TABLE 560 ?) CI UAL AREA (LANGES I HEN) 01/30 SQ, FL (JSD 3 TABLE 560 ?) ACTUAL LOCAL AREA AREA N/A N/A ACTUAL LOCAL AREA AREA N/A N/A ACTUAL LOCAL AREA AND REPORTED TERR 01/30 SQ, FL 10/000 SQ, FL ACTUAL AREA CALLOWASE AREA RATIO N/A N/A BULDING ELEMENTS F. RECOVERMENTS - TABLE ODT 2 HR BEARING WALLS AND PARTTIONS - EXTERIOR 2 HR BEARING WALLS AND PARTTIONS - EXTERIOR 2 HR ROOF CONSTRUCTION 1 HR ROOF CONSTRUCTION 1 HR ROOF CONSTRUCTION 1 HR ROOF CONSTRUCTION 1 HR DOWERS ARING WALLS AND PARTTIONS. MOT FEQUIRED TED <s< td=""> DEVERTION WALLS AND PARTTIONS. MOT FEQUIRED TED <s< td=""> DOWERS ARING WALLS AND PARTTIONS.<!--</td--><td>GRADE PLANE - CHAPTER 2 DEFINITION</td><td>11.5'</td><td>N/A</td><td></td></s<></s<>	GRADE PLANE - CHAPTER 2 DEFINITION	11.5'	N/A	
NA NA NA NUMBER HEIDER THRORE MEET BUT ROS 50 IMMUNITED STREPT NARKING STREPT IER IMMUNITED (SEG & TATUEL SEG 2) (SEG & TATUEL SEG 2)	ALLOWABLE HEIGHT (IN TIERS) - TABLE 406.5.4	12 TIERS	N/A	ELEVATOR TOWERS - UNLIMITED IN HEIGHT IF NC (SECTION 504.3 EXCEPTION).
DHEN MARKING SINUETURES - SECT. Add 5.5 INITED 227 000 SO FT. SASE ALLOWARLE AREA NEW TIEN UNLIMITED (IABLE 408-01) 51,000 SO, FT. 51,000 SO, FT. ACTUAL AREA (LARGENS FERT TER N/A N/A N/A ACTUAL AREA (LARGENS FERT TER N/A N/A N/A ACTUAL TOTAL AREA 006,200 SD, FT. 00000 SD, FT. 00000 SD, FT. MARKING MILLOWARLE FRACE RATIO N/A N/A N/A STRUCTURAL FRAME 2 HR 2 HR 1 STRUCTURAL FRAME 2 HR 2 HR 1 BEARING WALLS - INTERIOR 2 HR 0 H 1 NON-BEARING WALLS - INTERIOR 2 HR 1 1 NON-BEARING WALLS - INTERIOR 2 HR 1 1 NON-BEARING WALLS - INTERIOR 2 HR 1 1 ROOF CONSTRUCTION 1 HR 5 SO CONSTRUCTION 1 ROOF CONSTRUCTION 1 HR, 5 K SO 1 1 STRUCTURE WALLS AND PARTITIONS - SECTION AND 1 1 1 STRUCTURE WALLS AND PARTITIONS TABLE 602 1 1 STRUCTURE WALLS AND PARTITIONS TABLE 602 1 1 STRUCTURE WALLS AND PARTITIONS TABLE 602 1 1 STRUCTURE WALLS AND PARTITIO	ACTUAL HEIGHT (IN TIERS)	10 TIERS	N/A	
International (TABLE 406.4.) (FBLE 4 TABLE 506.2.) NCTUAL AREA INDERCASE PER TER N/A IN/A NCTUAL TOTAL AREA S05,200 SQ. FT. 90,000 SQ. FT NAMIMUMALLOWABLE TOTAL AREA S05,200 SQ. FT. 90,000 SQ. FT NAMIMUMALLOWABLE TOTAL AREA N/A N/A NAMIMUMALLOWABLE TOTAL AREA N/A N/A STILUTURAL FRANCE 2.HK 90,000 SQ. FT STILUTURAL FRANCE 2.HK 90,000 SQ. FT BEARING WALLS - INFERIOR 2.HK 90,000 SQ. FT BEARING WALLS - NO PARTITIONS – EXTERIOR 2.HK 90,000 SQ. FT NON-BEARING WALLS - NO PARTITIONS – EXTERIOR SEE REQUIREMENTS BELOW NOHEARING WALLS AND PARTITIONS – INTERIOR NON-BEARING WALLS AND PARTITIONS - INTERIOR 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 NOOF CONSTRUCTION 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 COOF CONSTRUCTION 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 COOF CONSTRUCTION 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 1.HK, 4.5 1.HK,		N/A	N/A	
ALLOWABLE AREA NORREASE PER TIER N/A N/A CTUL TOTAL AREA CONSTRUCTION TOTAL AREA CONSTRUCTION TOTAL AREA CONSTRUCTION CONSTRUCTION N/A CTULA TOTAL AREA CONSTRUCTION CONSTRUCT	BASE ALLOWABLE AREA PER TIER			
NCTUAL TOTAL AREA 505,200 SQ, FT. 9,000 SQ, FT. MAXIMUM ALLOWABLE TOTAL AREA N/A N/A NUTUAL AREA TO ALLOWABLE AREA RATIO N/A N/A NUTUAL AREA TO ALLOWABLE AREA RATIO N/A N/A STRUCTURAL FRAME 2 HR N/A BEARING WALLS - EXTERIOR 2 HR 2 HR BEARING WALLS - EXTERIOR 2 HR 2 HR DEARING WALLS AND PARTITIONS - EXTERIOR SEE REQUIREMENTS BELOW NON-BEARING WALLS AND PARTITIONS - INTERIOR NON-BEARING WALLS AND PARTITIONS - INTERIOR D HR PHONON ELEVATION ROOF CONSTRUCTION 1 HR FT ROOF CONSTRUCTION 1 HR FT PERTION WALLS AND PARTITIONS: 1 HR FT CETERIOR WALLS AND PARTITIONS: 1 HR FT DPENNCS (UNPROTECTED, SPRINKLERED) - MAXIMUM 15%, 352 450'' BASED ON DISTANCE AND BRITICIONS: DPENNCS (UNPROTECTED, SPRINKLERED) - MAXIMUM 15%, 352 450'' BASED ON DISTANCE AND BRITICIONS: DPENNCS (UNPROTECTED, SPRINKLERED) - MAXIMUM 15%, 352 450'' BASED ON DISTANCE AND BRITICIONS: DPENNCS (UNPROTECTED, SPRINKLERED) - MAXIMUM 15%, 352 450'' BASED ON DISTANCE AND BRITICIONS: DPENNCS (UNPROTECTED, SPRINKLERED) - MAXIMUM 15%, 352 450'' BASED ON DISTANCE AND BRITICIONS: DOCOLOND - TABLE	ACTUAL AREA (LARGEST TIER)	51,300 SQ. FT.	51,100 SQ. FT.	
MAXIMUM ALLOWABLE TOTAL AREA N/A N/A N/A ACTUAL AREA TO ALLOWABLE AREA RATIO N/A N/A N/A BUILDING ELEMENTS F. R. REQUIREMENTS - TABLE BOT 2 HR 2 BEARING WALLS - EXTERIOR 2 HR 2 BEARING WALLS - INTERIOR 2 HR 2 NON-BEARING WALLS - NATERIOR 2 HR 2 NON-BEARING WALLS - NATERIOR 0 HR 2 NON-BEARING WALLS - NATERIOR 0 HR 0 NON-BEARING WALLS - NATERIOR 2 HR 0 ROOF CONSTRUCTION 2 HR 0 ROOF CONSTRUCTION 1 HR, st; 1 FLOOR CONSTRUCTION 1 HR, st; 1 EXTERIOR WALLS AND PARTITIONS: 1 1 STARE TOW, LAUSAND PARTITIONS: 1 1 OPENNOS (UNPROTECTED, SPRINKLERED) - MAXIMUM NOT PERMITTED <3	ALLOWABLE AREA INCREASE PER TIER	N/A	N/A	
ACTUAL AREA TO ALLOWABLE AREA RATIO N/A N/A BUILDING ELEMENTS F.R. REQUIREMENTS - TABLE 601 2 HR 2 HR BEARING WALLS - EXTEROR 2 HR 2 HR BEARING WALLS - EXTEROR 2 HR 2 HR BEARING WALLS - NITERIOR 2 HR 2 HR DEARING WALLS AND PARTITIONS - EXTERIOR 0 HR 2 HR NON-BEARING WALLS AND PARTITIONS - EXTERIOR 0 HR 0 HR ROOF CONSTRUCTION 1 HR, <\$	ACTUAL TOTAL AREA	505,200 SQ. FT.	90,000 SQ. FT.	
BUILDING ELEMENTS F.R. REQUIREMENTS - TABLE 601 STRUCTURAL FRAME BEARING WALLS - EXTERIOR BEARING WALLS - INTERIOR BEARING WALLS - INTERIOR BEARING WALLS - INTERIOR BEARING WALLS - INTERIOR NON-BEARING WALLS AND PARTITIONS - EXTERIOR NON-BEARING WALLS AND PARTITIONS - EXTERIOR NON-BEARING WALLS AND PARTITIONS - INTERIOR ROOF CONSTRUCTION EXTERIOR WALLS AND PARTITIONS - INTERIOR ROOF CONSTRUCTION EXTERIOR WALLS AND PARTITIONS - INTERIOR CONSTRUCTION EXTERIOR WALLS AND PARTITIONS - INTERIOR EXTERIOR WALLS AND PARTITIONS: EXTERIOR WALLS AND PARTITIONS: DETERIOR WEAN CONSIDERED TO DE PART OF ANY OCONSIDERED TO DE PARATIT OF ANA OCCESSIBLE MEANS OF	MAXIMUM ALLOWABLE TOTAL AREA	N/A	N/A	
STRUCTURAL FRAME 2 HR BEARING WALLS - INTERIOR 2 HR BEARING WALLS - INTERIOR 2 HR NON-BEARING WALLS - INTERIOR 2 HR NON-BEARING WALLS - INTERIOR 2 HR NON-BEARING WALLS AND PARTITIONS - INTERIOR 0 HR FLOOR CONSTRUCTION 2 HR NON-BEARING WALLS AND PARTITIONS - INTERIOR 0 HR FLOOR CONSTRUCTION 2 HR ROOF CONSTRUCTION 1 HR, 5'S x +10' EXTERIOR WALLS AND PARTITIONS 1 HR, 5'S x +10' EXTERIOR WALLS AND PARTITIONS 1 HR, 5'S x +10' EXTERIOR WALLS AND PARTITIONS 1 HR, 5'S x +10' EXTERIOR WALLS AND PARTITIONS 1 HR, 5'S x +10' STRUCTURE 20%, 5'S x +10' VILL OPENINGS, SECTION AND 20%, 5'S x +10' SHAFT ENCLOSURES (NOR STAIRS AND ELEVATORS) NOT REQUIRED SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS) NOT REQUIRED SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS) NOT REQUIRED STAIRS - 14'R 5'13.00200 - 285.5' STAIRS - 104 - TABLE 1004.3 100'S 3.1 & 100'S 3.2 STAIRS - 100'R STAIRS + 10'S 3.1' STAIRS - 100'R STAIRS + 10'S 3.1' STAIRS - 100'R MIDHING + MAND OF EGRESS, FR 3 3 = 7T' FR 100/1DED STAIRS - 10'S 3.1' STAIRS - 10'R MIDHI	ACTUAL AREA TO ALLOWABLE AREA RATIO	N/A	N/A	
BEARING WALLS - EXTERIOR 2 HR BEARING WALLS - INTERIOR 2 HR NON-BEARING WALLS AND PARTITIONS - EXTERIOR SEE REQUIREMENTS BELOW NON-BEARING WALLS AND PARTITIONS - INTERIOR 0 HR ROOF CONSTRUCTION 2 HR ROOF CONSTRUCTION 1 HR, 45' ROOF CONSTRUCTION 1 HR, 55' EXTERIOR WALLS AND PARTITIONS - INTERIOR BASED ON CONSTRUCTION EXTERIOR WALLS AND PARTITIONS: 1 HR, 55' SECTION SECTION TO NADD 1 HR, 55' SECTION WALLS AND PARTITIONS: 1 HR, 55' SECTION TO TABLE 1006.32 2 HR SECTION TABLE 1006.32 2 EXTS REQUIRED - TABLE 1006.32 2 EXTS REQUIRED. PER SECTION 1005.3.1 & 1005.32 STARES OCC. X 0.3 = TOTAL INCHES <	BUILDING ELEMENTS F.R. REQUIREMENTS - TABLE 601			
BEARING WALLS - INTERIOR 2 HR SEE REQUIREMENTS BELOW NON-BEARING WALLS AND PARTITIONS - EXTERIOR SEE REQUIREMENTS BELOW 0 HR FLOOR CONSTRUCTION 2 HR 0 HR ROOF CONSTRUCTION 2 HR 0 HR EXTERIOR WALLS AND PARTITIONS - INTERIOR 1 HR, <5	STRUCTURAL FRAME	2	HR	
BEARING WALLS - INTERIOR 2 HR SEE REQUIREMENTS BELOW NON-BEARING WALLS AND PARTITIONS - EXTERIOR 0 HR FLOOR CONSTRUCTION 2 HR ROOF CONSTRUCTION 2 HR EXTERIOR WALLS AND PARTITIONS 1 HR - 45 EXTERIOR WALLS AND PARTITIONS NOT PERMITTED <3		2	HR	
NON-BEARING WALLS AND PARTITIONS - EXTERIOR SEE REQUIREMENTS BELOW NON-BEARING WALLS AND PARTITIONS - INTERIOR 0 HR ROOF CONSTRUCTION 2 HR ROOF CONSTRUCTION 1 HR ROOF CONSTRUCTION 1 HR ROOF CONSTRUCTION 1 HR EXTERIOR WALLS AND PARTITIONS 1 HR, 47 THR. 15% x 430° 1 HR, 55 x 410° EXTERIOR WALLS AND PARTITIONS 1 HR, 15% x 430° PRENNSS (UNPROTECTED SPRINKLERED) - MAXIMUM READ OF EXTERIOR WALL SPRINKLERED) - MAXIMUM RABLE 706.8. NOT PERMITTED <3 15%, 55 x 410° PRENNSS (UNPROTECTED SPRINKLERED) - MAXIMUM READ OF EXTERIOR WALL OPENINSS, SECTION AND PAREL 706.8. NOT PERMITTED <3 20%, 55 x 410° SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS) NOT REQUIRED ELEVATOR - NOT REQUIRED SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS) NOT REQUIRED SEE SECTIONS 406.5.8, 712.1.10.2 AND 1019.3.6 STAIRS 1005.3.2 2 2 2 EXITS REQUIRED - TABLE 1006.3.2 2 2 EXITS REQUIRED - TABLE 1006.3.2 2 2 EXITS REQUIRED - TABLE 1006.3.2 5TAIRS: 255 x 0.3 = 77° 500% OF 77 = 38.5' 2 STAIRS: 255 x 0.3 = 77° 507 AND ACCESSIBLE MEANS OF DEGRESS, PER 1008, 3, 22CFT, 42, WHEN THE BUILDING IS SPRINKLERED, 2 2 2 THEN THAN STAIRS: 0CL X 0.2 = TOTAL INCHES 2565 5 x 0.3 = 77° 505 5 x 0.20 = 51.3' 20% OF 91.3' = 2				
NON-BEARING WALLS AND PARTITIONS - INTERIOR 0 HR 2 HR FLOOR CONSTRUCTION 1 HR, 53 × 100 1 HR, 53 × 100 EXTERIOR WALLS F.R. REQUIREMENTS- TABLE 602 1 HR, 53 × 100 1 HR, 53 × 100 EXTERIOR WALLS AND PARTITIONS: 1 HR, 53 × 100 1 HR, 53 × 100 EXTERIOR WALLS AND PARTITIONS: 1 HR, 53 × 100 1 HR, 53 × 100 EXTERIOR WALLS AND PARTITIONS: 1 HR, 53 × 100 1 HR, 53 × 100 DPENINGS (UNPROTECTED, SPRINKLERED) - MAXIMUM AREA OF EXTERIOR WALL OPENINGS, SECTION AND AREA OF EXTERIOR WALL OPENINGS, SECTION AND STARES (OLD A TABLE 1004.5 BASED ON DISTANCE AND SPRINKLERS (TIER WILLARED TO A TABLE 1004.5 DCC. LOAD - TABLE 1004.5 (TIER WILLARED TO CONSIDERED TO EXTS REQUIRED - TABLE 1006.3.2 SEE SECTION 406.5.3, 0 A TO TEQUIRED EXITS PROVIDED 2 VIDTH REQUIRED FOR SECTION 1005.3.1 & 1005.3.2 STARES: 256.5 x 0.3 = 77' VIDTH REQUIRED - TABLE 1006.3.2 STARES: 256.5 x 0.3 = 77' STARES: 256.5 x 0.3 = 77' VIDTH REQUIRED TO BE PART OF FILMS OF EGRESS, THA NCLEAR OF HANDEREL MEANS OF EGRESS, THA NCLEAR WHEN CONSIDERED TO BE PART OF FILMS, 226.5 x 0.2 = 51.3'' STARES: 256.5 x 0.2 = 51.3'' VIDTHER THAN STARES: OCC, X 0.2 = TOTAL INCHES 21.3''''''''''''''''''''''''''''''''''''				
FLOOR CONSTRUCTION 2 HR ROOF CONSTRUCTION 1 HR EXTERIOR WALLS F.R. REQUIREMENTS- TABLE 602 1 HR, 5% × 10° EXTERIOR WALLS AND PARTITIONS: 1 HR, 5% × 10° EXTERIOR WALLS AND PARTITIONS: 1 HR, 5% × 10° DPENNIGS (UNPROTECTED, SPRINKLERED) – MAXIMUM AREA OF EXTERIOR WALL OPENINGS, SECTION AND AREA OF EXTERIOR WALL OPENINGS, SECTION AND AND RELEVATORS) NOT REQUIRED SEE SECTIONS 406.5,9, 7121.10.2 AND 1019.3,6 DCC. LOAD - TABLE 1004.5 CILCAD - TABLE 1004.5.2 STAIRS - 1HR ELEVATOR - NOT REQUIRED SEE SECTION 4005.3,1 DIDTH REQUIRED - TABLE 1004.5.2 CILCAD - TABLE 1006.3,2 Z Z Z XITS PROVIDED 2 STAIRS: 256.5 x 0.3 = 77' 30% 0F 77' = 38.5'' Z Z VITH REQUIRED OF HAN STAIRS INCLERED, DO STAIRS: 256.5 x 0.2 = 713' 50% 0F 51.3'' = 25.65' Z Z DTHER THAN STAIRS OCC X 0.2 = TOTAL INCHES STAIRS: 256.5 x 0.2 = 51.3'' 50% 0F 51.3'' = 25.65'' Z<				
ROOF CONSTRUCTION 1 HR EXTERIOR WALLS F.R. REQUIREMENTS- TABLE 602 1 HR, 45', 410', 1 HR, 35', 410', 1 HR, 30', 1 HR, 35', 410', 1 HR, 30', 1 HR, 35', 1 HR, 30', 100', 31', 1 HO, 30', 1 HR, 35', 1 HR, 35', 1 HR, 30', 100', 31', 1 HO, 30', 1 HR, 35', 1 HR', 35', 1				
EXTERIOR WALLS F.R. REQUIREMENTS- TABLE 602 1 HR, 45' 1 HR, 55' BASED ON CONSTRUCTION EXTERIOR WALLS AND PARTITIONS: 1 HR, 10's x 430' TYPE PPENINGS (UNPROTECTED, SPRINKLERED) - MAXIMUM WAREA OF EXTERIOR WALL OPENINGS, SECTION AND TABLE 706.8. BASED ON DISTANCE AND 15%, 5's x -5' 25%, 5's x -5' 25%, 5's x -10' BASED ON DISTANCE AND SPRINKLERS (SEE TABLE FOOTNOTE G.) SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS) NOT REQUIRED STAIRS - 1HR ELEVATOR - NOT REQUIRED SEE SECTION 906.5, 9 712.1.10.2 AND 1019.3.6 CC. LOAD - TABLE 1004.5 51.300/200 = 250.5 (TER W LARGEST FLOOR AREA) SEE SECTION 906.5, 9 712.1.10.2 AND 1019.3.6 EXITS REQUIRED - TABLE 1006.3.2 2 EXITS REQUIRED - TABLE 1006.3.2 2 EXITS REQUIRED - TABLE 1006.3.1 & 1005.3.1 & 1005.3.2 STAIRS: 256 5 x 0.3 = 77' 50% OF 77' = 38.5'' STAIRS: OCC. X.0.3 = TOTAL INCHES 4PART OF AN ACCESSIBLE MEANS OF EGRESS, 74 MIN. CLEAR, WHEN CONSIDERED TO 52 A PART OF AN ACCESSIBLE MEANS OF EGRESS, 72 MIN CLEAR OF FANDAGAL, WHEN CONSIDERED TO 53 STAIRS: 0CC. X.0.2 = TOTAL INCHES 250 S.0.20 = 51.3' 50% OF 77' = 38.5'' OTHER THAN STAIRS: OCC. X.0.2 = TOTAL INCHES 227 MIN CLEAR WHEN CONSIDERED TO BE PART OF NA ACCESSIBLE MEANS OF EGRESS, 72 50% OF 57.3' = 25.65'' OTHER THAN STAIRS: OCC. X.0.2 = TOTAL INCHES 250 S.0.20 = 51.3'' 27 MIN CLEAR, WHEN CONSIDERED TO 53 STAIRS: 0CC. X.0.2 = TOTAL INCHES 250 S.0.20 = 51.3'' 27 MIN CLEAR, WHEN CONSIDERED TO 53 STAIRS: 0CC. X.0.2 = TOTAL INCHES 250 S.0.20 = 51.3'' 27 MIN CLEAR W				
EXTERIOR WALLS AND PARTITIONS: 1 HR, 515 x +10° 1 HR, 105 x + 30° NR, 2 30°				
EXTERIOR WALLS AND PARTITIONS: NR, 2:30' BASED ON DISTANCE AND SPRINKLERED, - MAXIMUM AREA OF EXTERIOR WALL OPENINGS, SECTION AND 25%, 5'S × 6'D 25%, 5'D 25%, 5'S × 6'D 25%, 5'S × 0'D 25%,	EXTERIOR WALLS F.R. REQUIREMENTS- TABLE 602			BASED ON CONSTRUCTION
AREA OF EXTERIOR WALL OPENINGS, SECTION AND TABLE 705.8. 115%, 3'' x < 5'' 20%, 5'' x < 10'' UNLIMITED, ELSEWHERE SPRINKLERS (SEE TABLE FOOTNOTE G.) SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS) NOT REQUIRED STAIRS -1HR ELEVATOR - NOT REQUIRED SEE SECTIONS 406.5.9, 712.1.10.2 AND 1019.3.6 DCC. LOAD - TABLE 1004.5 (TIER w/ LARGEST FLOOR AREA) SEE SECTIONS 406.5.9, 712.1.10.2 AND 1019.3.6 DCC. LOAD - TABLE 1006.3.2 2 EXITS REQUIRED - TABLE 1006.3.2 2 EXITS PROVIDED 2 WIDTH REQUIRED - PER SECTION 1005.3.1 & 1005.3.2 STAIRS: 266.5 x 0.3 = 77' SO APAT OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3. Ha' MIN. CLEAR WHEN CONSIDERED TO BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3. YIMIN CLEAR, WHEN CONSIDERED TO BE PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3. EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.) DTHER THAN STAIRS: OC. X. 0.2 = TOTAL INCHES 32' MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, 2000RS, DOORWAYS AND GATES.) OTHER THAN STAIRS: UNITH PROVIDED NIDTH PROVIDED NIDTH PROVIDED STAIRS: 2 x 54' = 108'' OTHER THAN STAIRS: OTHER THAN STAIRS:	EXTERIOR WALLS AND PARTITIONS:	1 HR, 10'≤ x <30'		
DeckELEVATOR - NOT REQUIRED712.1.10.2 AND 1019.3.6Deck1.300/200 = 256.5 (TIER w/ LARGEST FLOOR AREA)712.1.10.2 AND 1019.3.6EXITS REQUIRED - TABLE 1006.3.222EXITS PROVIDED22WIDTH REQUIRED - PER SECTION 1005.3.1 & 1005.3.23.1STAIRS: OCC. X 0.3 = TOTAL INCHESSTAIRS: 256.5 x 0.3 = 77" 50% OF 77" = 38.5"48" MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, *ER 1009.3.STAIRS: 256.5 x 0.3 = 77" 50% OF 77" = 38.5"44" MIN. CLEAR, WHEN CONSIDERED TO BE PART OF NA CCESSIBLE MEANS OF EGRESS, DER 1009.3. EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.)OTHER THAN STAIRS: 256.5 x 0.20 = 51.3" 50% OF 51.3" = 25.65"DTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHESSTAIRS: 256.5 x 0.20 = 51.3" 50% OF 51.3" = 25.65"NIDTH PROVIDEDSTAIRS: 2 x 54" = 108" OTHER THAN STAIRS:	AREA OF EXTERIOR WALL OPENINGS, SECTION AND	15%, 25%, 5	3'≤ x <5' 5'≤ x <10'	SPRINKLERS
Cities w/ LARGEST FLOOR AREA)EXITS REQUIRED - TABLE 1006.3.22EXITS PROVIDED2WIDTH REQUIRED- PER SECTION 1005.3.1 & 1005.3.2STAIRS: OCC. X 0.3 = TOTAL INCHES44° MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO 3E A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3.44° MIN. CLEAR, WHEN CONSIDERED TO BE PART OF NACCESSIBLE MEANS OF EGRESS, PER 1009.3.44° MIN. CLEAR, WHEN CONSIDERED TO BE PART OF STAIRS: 256.5 x 0.3 = 77" = 38.5"44° MIN. CLEAR, WHEN CONSIDERED TO BE PART OF NACCESSIBLE MEANS OF EGRESS, PER 1009.3.44° MIN. CLEAR, WHEN CONSIDERED TO BE PART OF NACCESSIBLE MEANS OF EGRESS, PER 1009.3.45° MIN. CLEAR, WHEN CONSIDERED TO BE PART OF STAIRS: CCC. X 0.2 = TOTAL INCHES0THER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES0THER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES0THER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES000RS, DOORWAYS AND GATES.)WIDTH PROVIDED0THER THAN STAIRS: 2 x 54" = 108" OTHER THAN STAIRS:	SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS)	NOT REQUIRED		
EXITS PROVIDED2WIDTH REQUIRED- PER SECTION 1005.3.1 & 1005.3.2STAIRS: OCC. X 0.3 = TOTAL INCHES(48° MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO DE A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3.44" MIN. CLEAR, WHEN CONSIDERED TO BE PART OF NA ACCESSIBLE MEANS OF EGRESS, PER 1009.3, EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.)DTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES 32" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, DOORS, DOORWAYS AND GATES.)WIDTH PROVIDEDSTAIRS: 2 x 54" = 108" OTHER THAN STAIRS: 2 x 54" = 108"	OCC. LOAD - TABLE 1004.5			
WIDTH REQUIRED- PER SECTION 1005.3.1 & 1005.3.2 STAIRS: OCC. X 0.3 = TOTAL INCHES 48° MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO 3E A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3. 44" MIN. CLEAR, WHEN CONSIDERED TO BE PART OF NN ACCESSIBLE MEANS OF EGRESS, PER 1009.3, EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.) DTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES OTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES 232° MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, DOORS, DOORWAYS AND GATES.) WIDTH PROVIDED STAIRS: 2 x 54" = 108" OTHER THAN STAIRS:	EXITS REQUIRED - TABLE 1006.3.2		2	
STAIRS: OCC. X 0.3 = TOTAL INCHESSTAIRS: 256.5 x 0.3 = 77" 50% OF 77" = 38.5"44° MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3.STAIRS: 256.5 x 0.3 = 77" 50% OF 77" = 38.5"44° MIN. CLEAR, WHEN CONSIDERED TO BE PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3, EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.)STAIRS: 256.5 x 0.2 = 707 50% OF 77" = 38.5"OTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES 232" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, 500 ORS, DOORWAYS AND GATES.)OTHER THAN STAIRS: 256.5 x 0.20 = 51.3" 50% OF 51.3" = 25.65"WIDTH PROVIDEDSTAIRS: 2 x 54" = 108" OTHER THAN STAIRS:	EXITS PROVIDED		2	
48° MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3.STAIRS: 256.5 × 0.3 = 77" 50% OF 77" = 38.5"44″ MIN. CLEAR, WHEN CONSIDERED TO BE PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3, EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.)OTHER THAN STAIRS: 256.5 × 0.20 = 51.3" 50% OF 51.3" = 25.65"OTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES 32" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, DOORS, DOORWAYS AND GATES.)OTHER THAN STAIRS: 256.5 × 0.20 = 51.3" 50% OF 51.3" = 25.65"WIDTH PROVIDEDSTAIRS: 2 × 54" = 108" OTHER THAN STAIRS:	WIDTH REQUIRED- PER SECTION 1005.3.1 & 1005.3.2			
BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, 50% OF 77" = 38.5" PER 1009.3. 50% OF 77" = 38.5" H4" MIN. CLEAR, WHEN CONSIDERED TO BE PART OF 50% OF 77" = 38.5" AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3, 50% OF 77" = 38.5" EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.) 0THER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES OTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES 0THER THAN STAIRS: 256.5 x 0.20 = 51.3" 32" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, 200 OF 51.3" = 25.65" 00% OF 51.3" = 25.65" WIDTH PROVIDED STAIRS: 2 x 54" = 108" OTHER THAN STAIRS: 0THER THAN STAIRS:	STAIRS: OCC. X 0.3 = TOTAL INCHES			
AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3, EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.) OTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES 32" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, DOORS, DOORWAYS AND GATES.) WIDTH PROVIDED STAIRS: 2 x 54" = 108" OTHER THAN STAIRS:	BE A PART OF AN ACCESSIBLE MEANS OF EGRESS,			
(32" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, DOORS, DOORWAYS AND GATES.) 256.5 x 0.20 = 51.3" WIDTH PROVIDED STAIRS: 2 x 54" = 108" OTHER THAN STAIRS:	AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3,			
32" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, 256.5 x 0.20 = 51.3" 50% OF 51.3" = 25.65" WIDTH PROVIDED STAIRS: 2 x 54" = 108" OTHER THAN STAIRS:	OTHER THAN STAIRS OCC. $X \cap 2 = T \cap T \Delta I$ INCHES		IAN STAIRS	
DOORS, DOORWAYS AND GATES.) WIDTH PROVIDED STAIRS: 2 x 54" = 108" OTHER THAN STAIRS:		256.5 x 0	0.20 = 51.3"	
2 x 54" = 108" OTHER THAN STAIRS:		50% OF 5	1.0 - 20.00	
	WIDTH PROVIDED			



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PARKING STALL SUMMATION

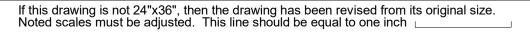
LEVEL	ACCESSIBLE (9'-0"x18'-0")	VAN ACCESSIBLE (9'-0"x18'-0")	PUBLIC ACCESS (8'-6"x18'-0")	PUBLIC ACCESS COMPACT (8'-0"x17'-0")	STANDARD (8'-6"x18'-0")	COMPACT (8'-0"x17'-0")	EVCS (8'-6"x18'-0")	EV ACCESSIBLE (9'-0"x18'-0")	EV VAN ACCESSIBLE (12'-0"x18'-0")	EV AMBULATORY (10'-0"x18'-0")	TOTAL	SQ. FOOTAGE	SQ. FT./STALL
LEVEL 10	0	0	0	0	138	0	0	0	0	0	138	43,900	318
LEVEL 09	0	0	0	0	147	8	0	0	0	0	155	51,300	331
LEVEL 08	0	0	0	0	150	11	0	0	0	0	161	51,300	319
LEVEL 07	0	0	0	0	134	11	16	0	0	0	161	51,300	319
LEVEL 06	0	0	0	0	115	11	35	0	0	0	161	51,300	319
LEVEL 05	0	0	0	0	115	11	35	0	0	0	161	51,300	319
LEVEL 04	0	0	0	0	113	14	35	0	0	0	162	51,300	317
LEVEL 03	10	2	0	0	102	8	24	0	1	3	150	51,300	342
LEVEL 02	3	1	0	0	105	8	21	0	0	0	138	51,100	370
LEVEL 01	9	3	35	5	71	2	0	5	2	2	134	51,100	381
LEVEL B1	0	0	0	0	145	11	0	0	0	0	156	51,100	328
LEVEL B2	0	0	0	0	101	9	0	0	0	0	110	38,900	354
TOTAL	22	6	35*	5	1436	104	166	5	3	5	1787	595,200	333

*FOR 40 PUBLIC ACCESS STALLS: 1 ADA, 1 VAN ADA, 1 EV VAN, & 2 STANDARD EV STALLS ARE REQUIRED

REEWAL



10% EV - DAY ONE: 1787 * 10% = 179 EV STALLS 10% FUTURE EV: 179 EV STALLS

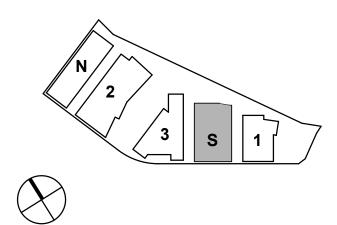




DW Burlingame Venture, LLC



KEYPLAN



PROJECT NO.: 21-144 DATE: 03/04/2021 SCALE: As indicated

SHEET TITLE:

SOUTH PARKING - SITE PLAN & STALL COUNT



3/21/2022 1:50:31 PM



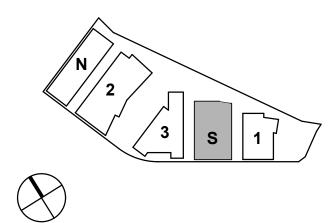
If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch



DW Burlingame Venture, LLC



KEYPLAN

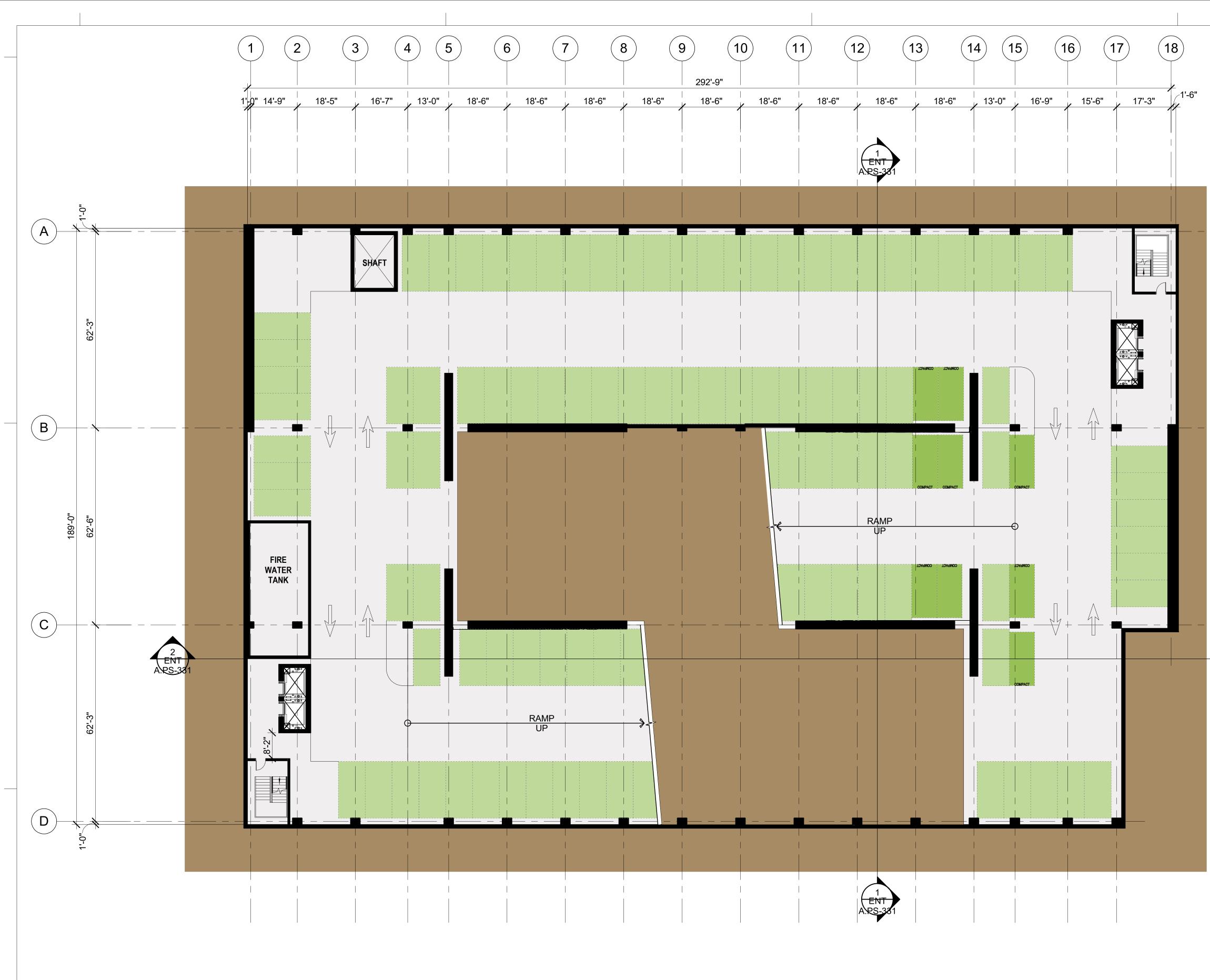


PROJECT NO.: 21-144 DATE: 03/04/2021 SCALE: 1" = 40'-0"

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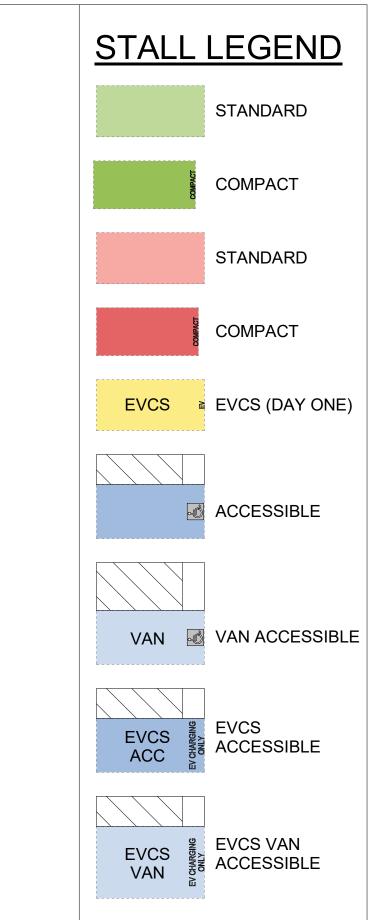
SOUTH PARKING - SITE EGRESS PLAN



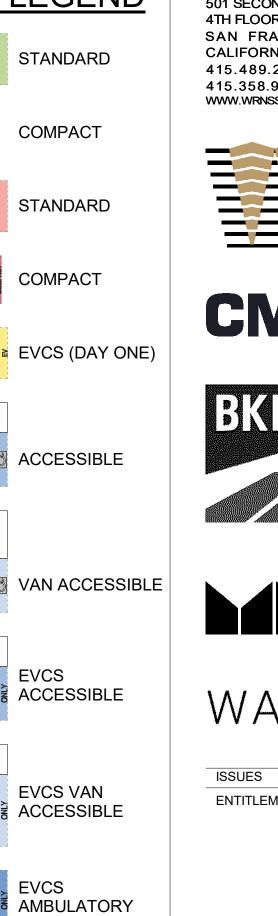




LEVEL B2 PARKING PLAN 1/16" = 1'-0"



EVCS AMB

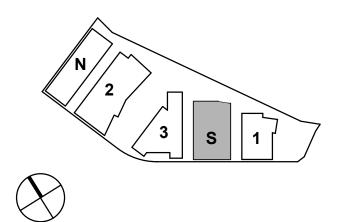




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KEYPLAN



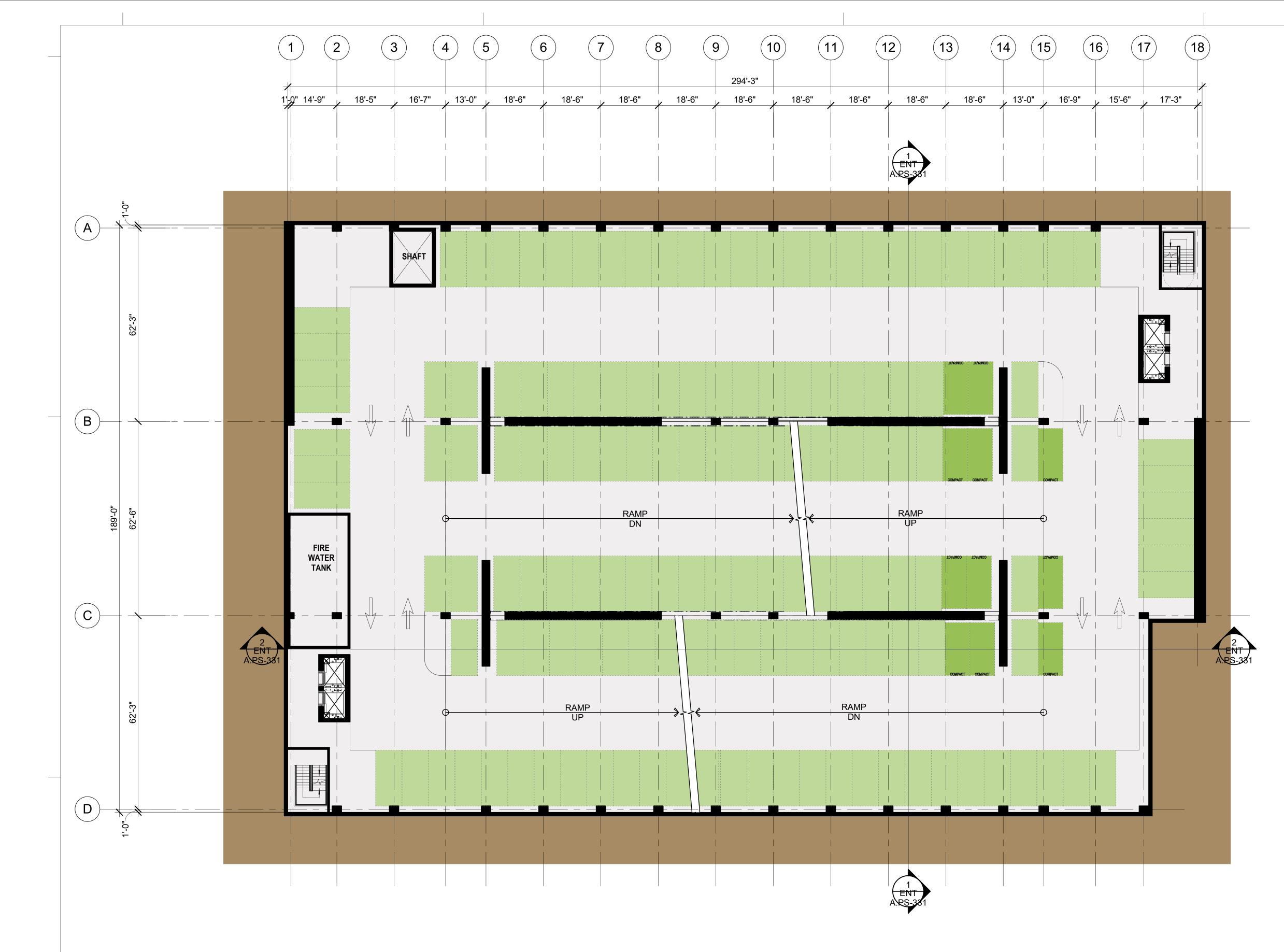
PROJECT NO .: 21-144 DATE: 03/04/2021 SCALE: 1/16" = 1'-0"

SHEET TITLE:

SOUTH PARKING -FLOOR PLAN - LEVEL B2



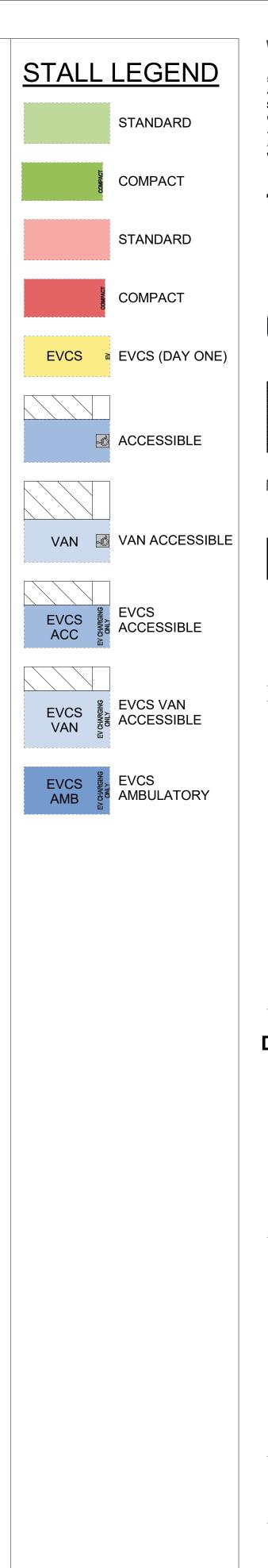






1/16" = 1'-0"

LEVEL B1 PARKING PLAN

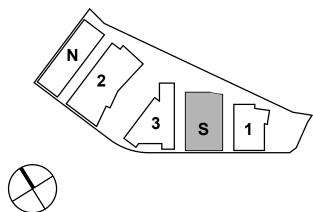




DW Burlingame Venture, LLC



KEYPLAN

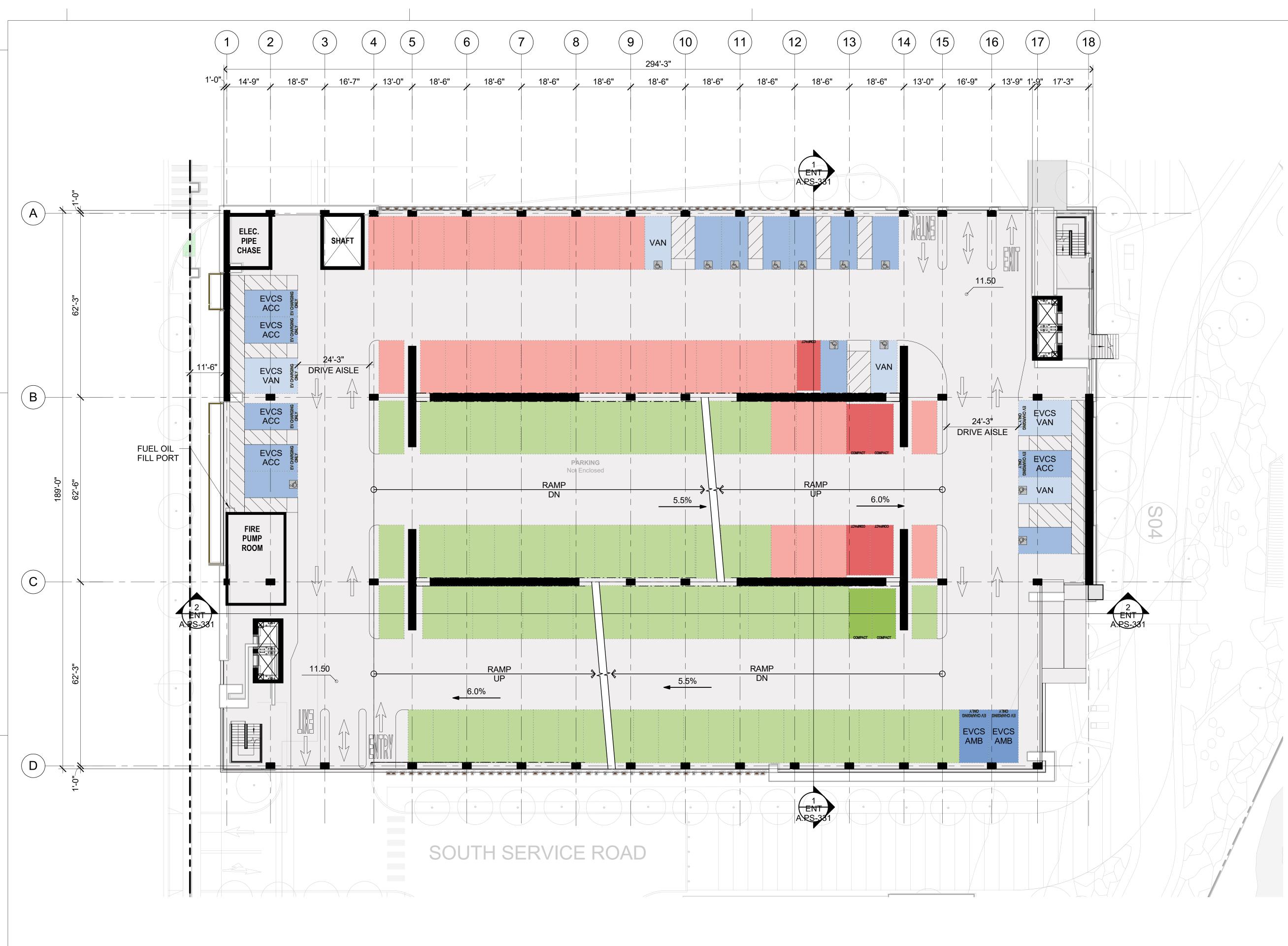


PROJECT NO.: 21-144 DATE: 03/04/2021 SCALE: 1/16" = 1'-0"

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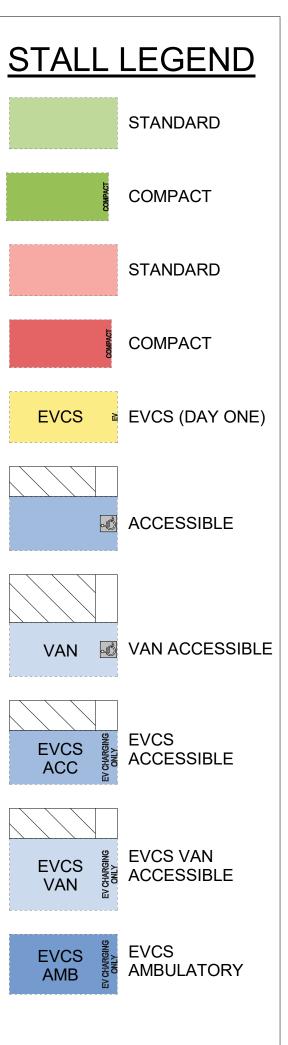
SOUTH PARKING -FLOOR PLAN - LEVEL B1

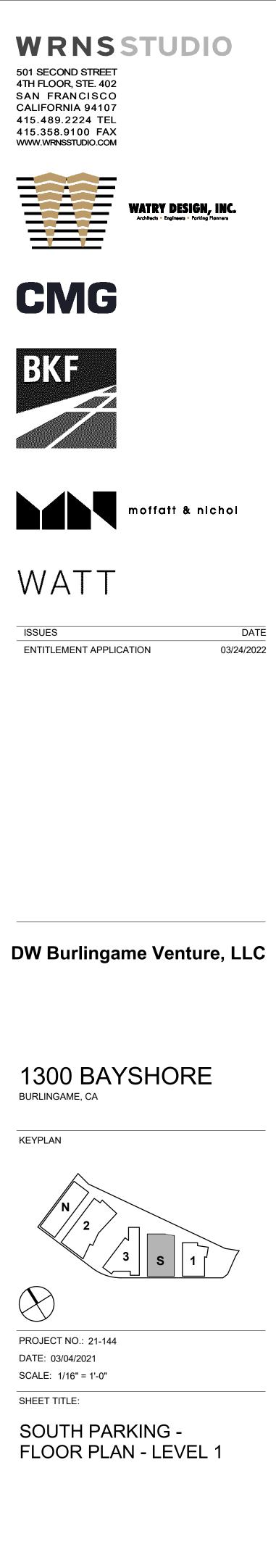




LEVEL 01 PARKING PLAN 1/16" = 1'-0"

3/21/2022 1:50:38 PM





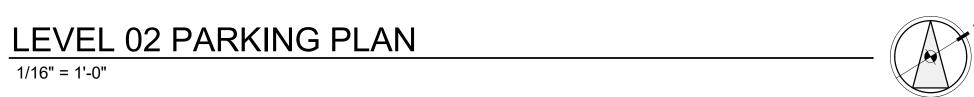
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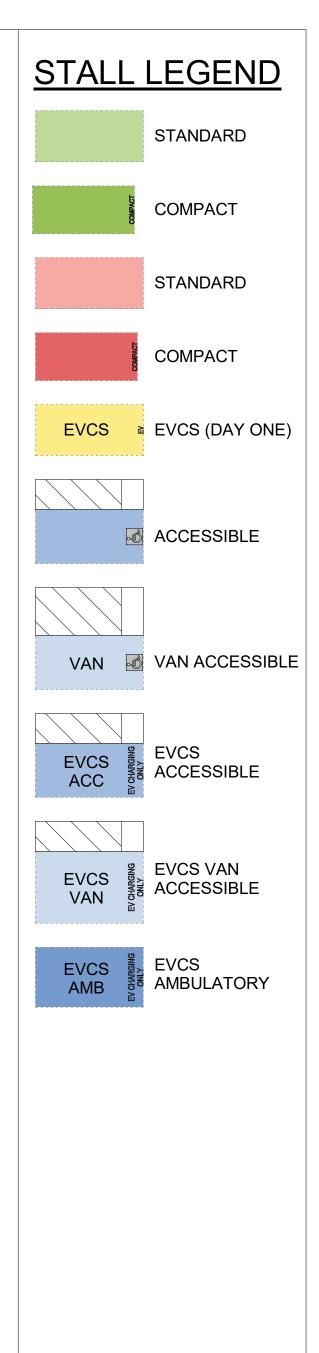
ENT A.PS-101

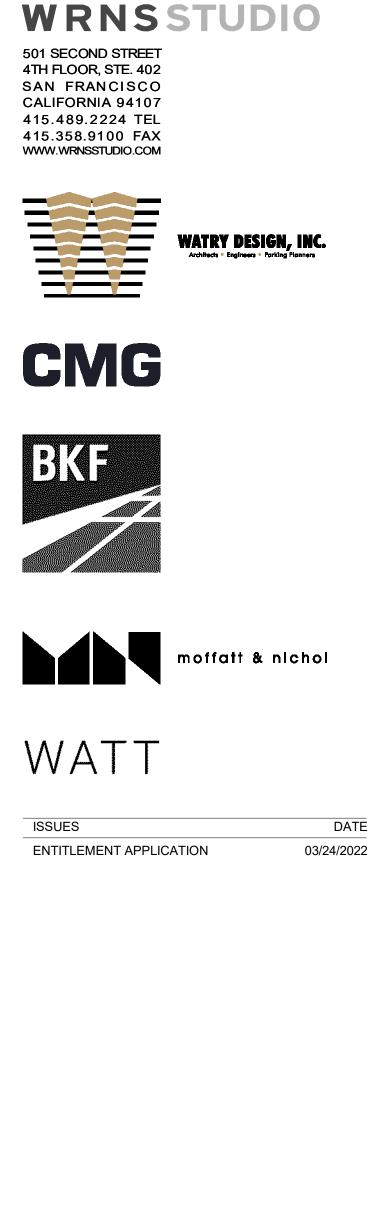




1/16" = 1'-0"



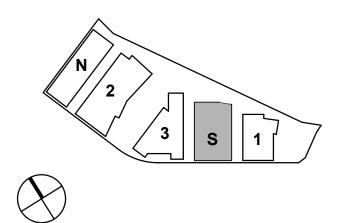




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KEYPLAN



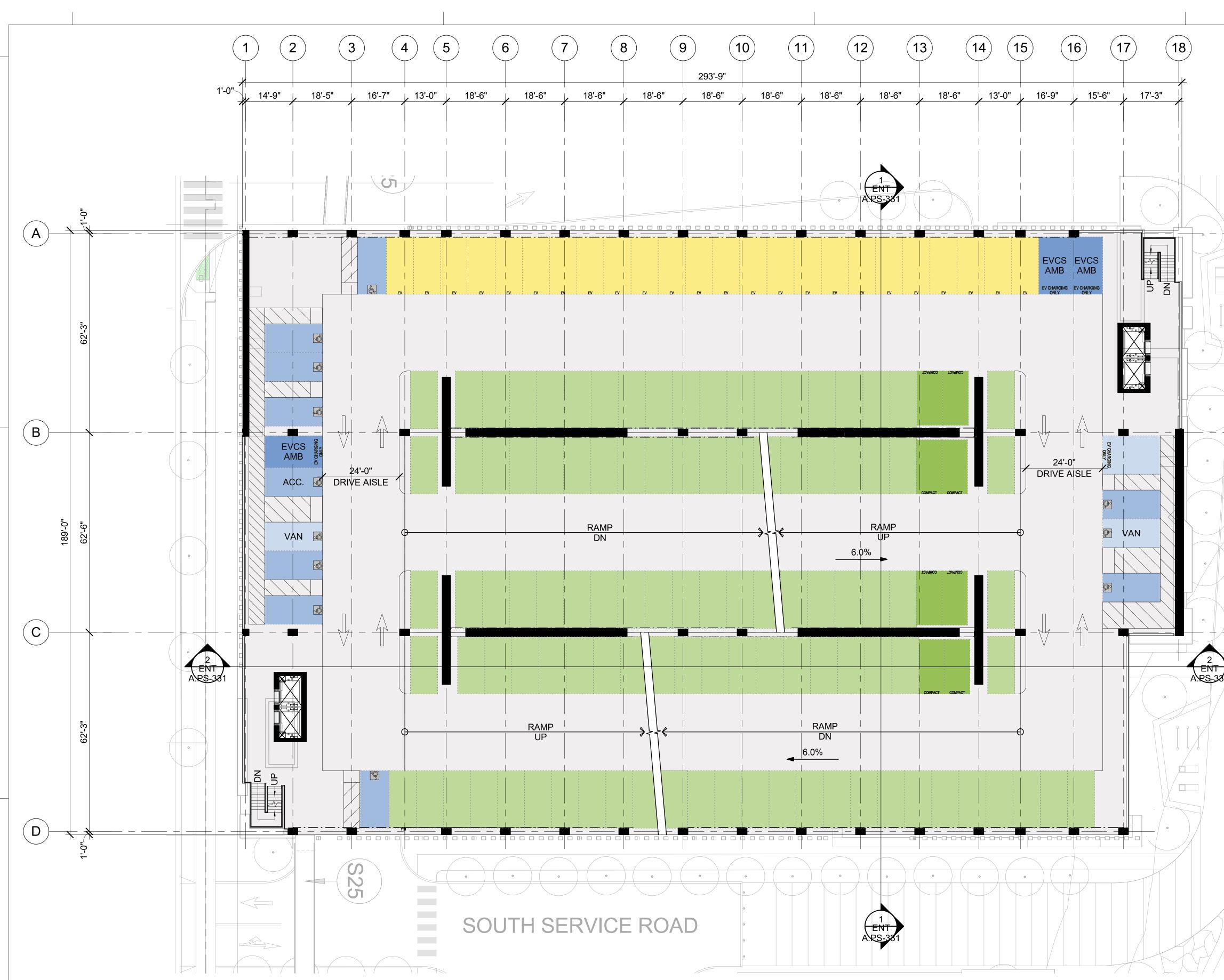
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SHEET TITLE:

SOUTH PARKING -FLOOR PLAN - LEVEL 2





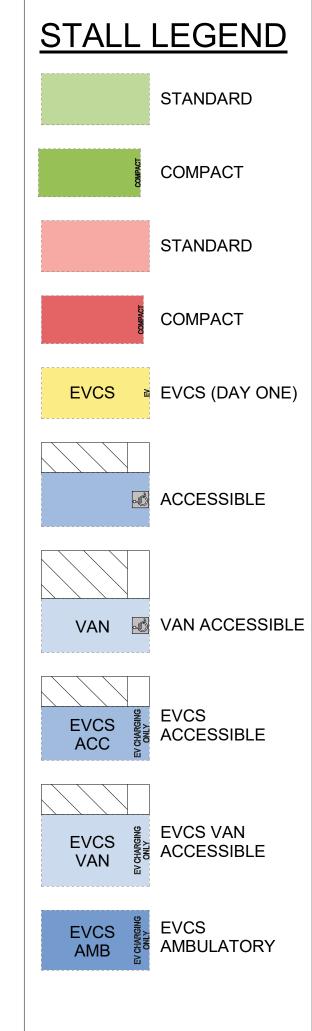


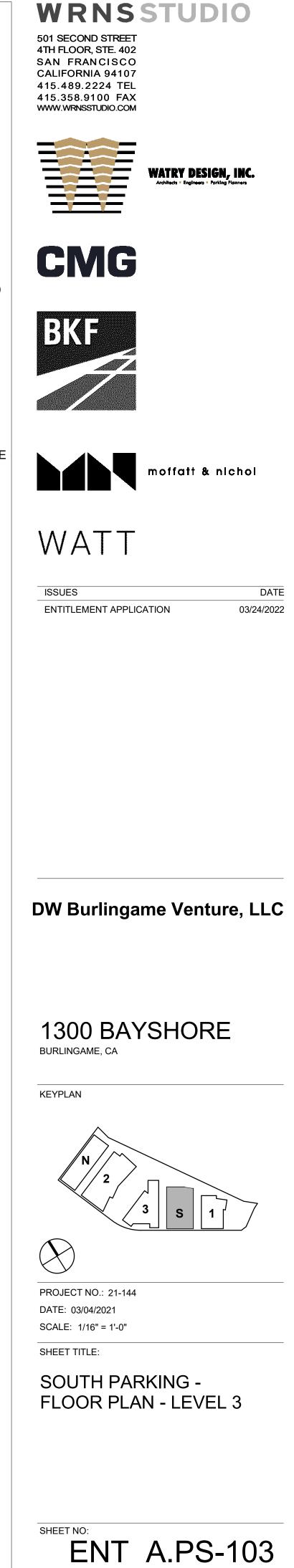
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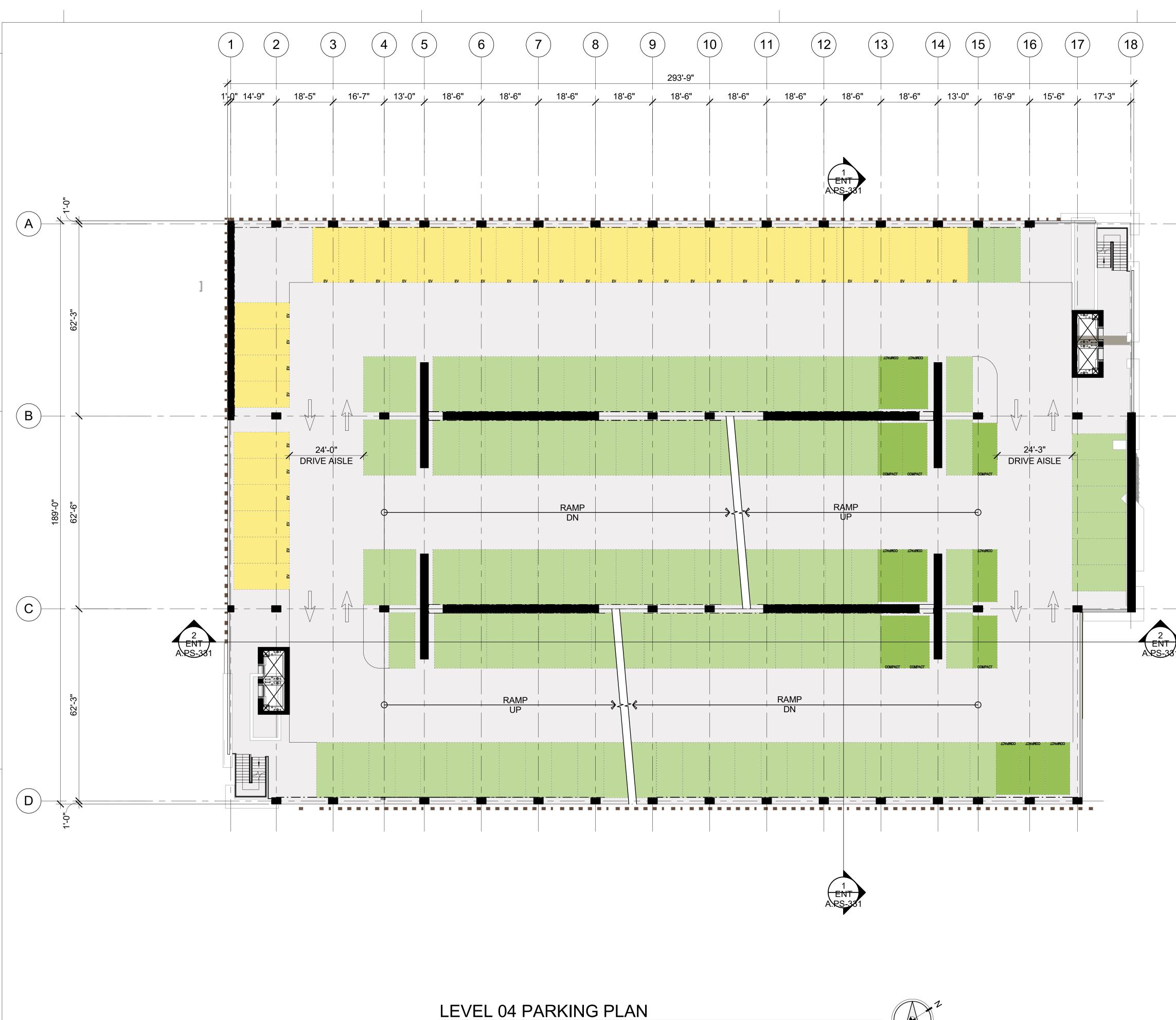
LEVEL 03 PARKING PLAN 1/16" = 1'-0"





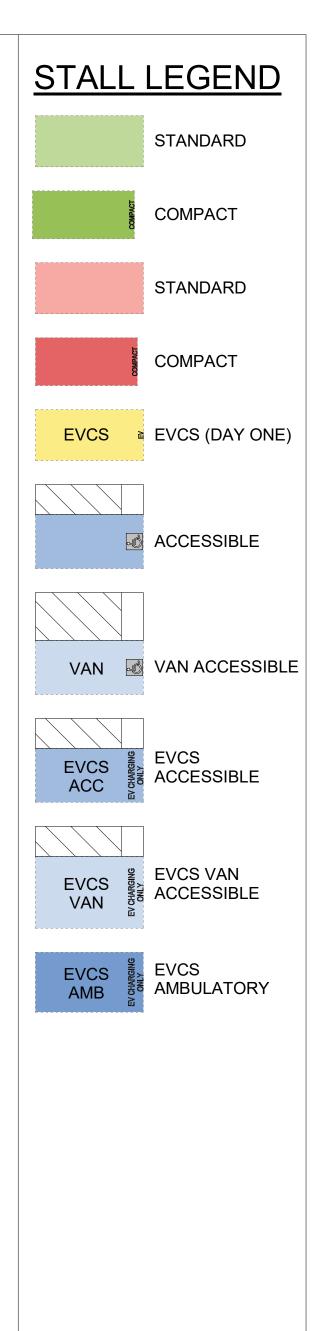








1/16" = 1'-0"

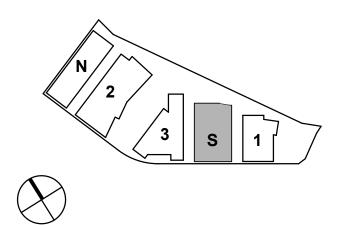




DW Burlingame Venture, LLC



KEYPLAN



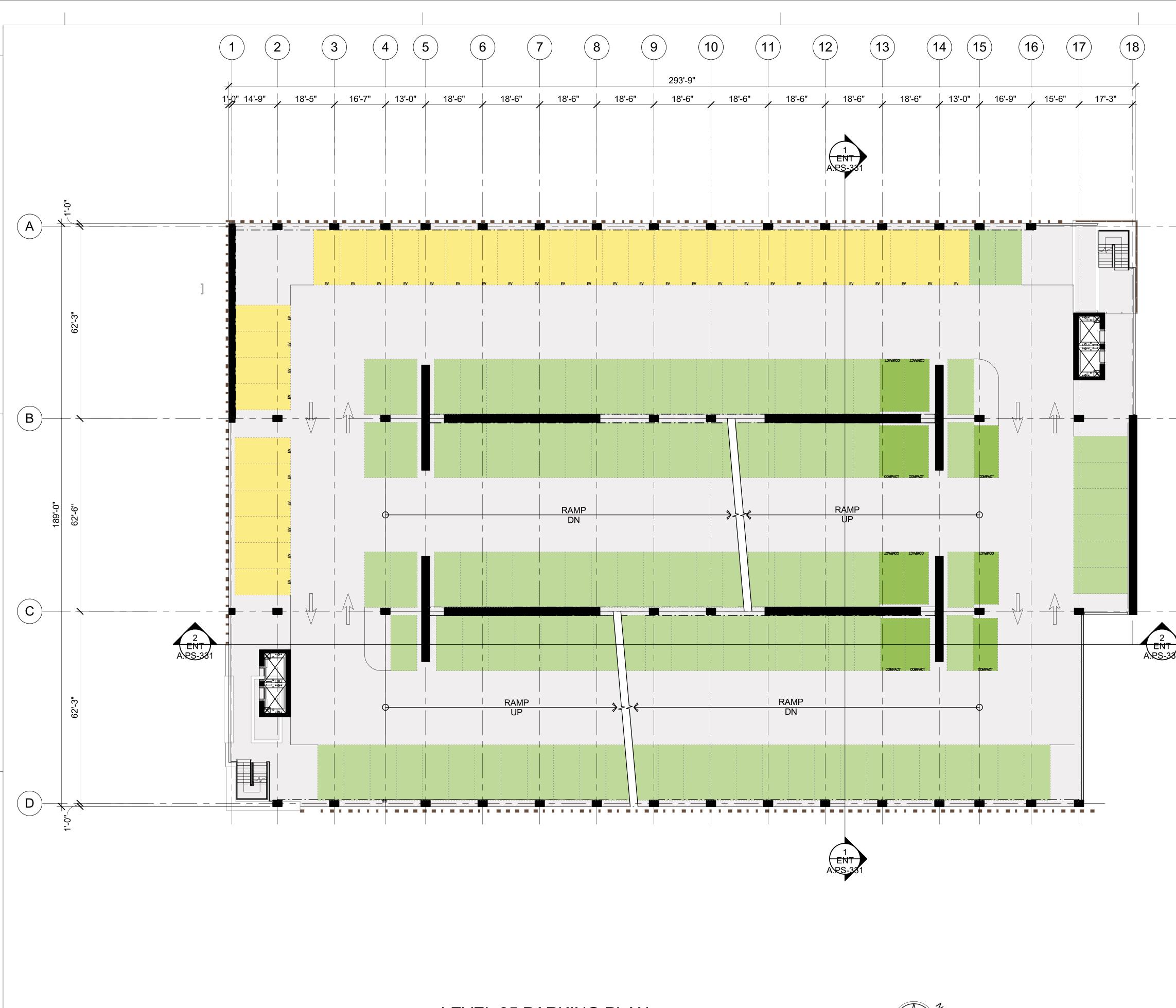
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SHEET TITLE:

SOUTH PARKING -FLOOR PLAN - LEVEL 4



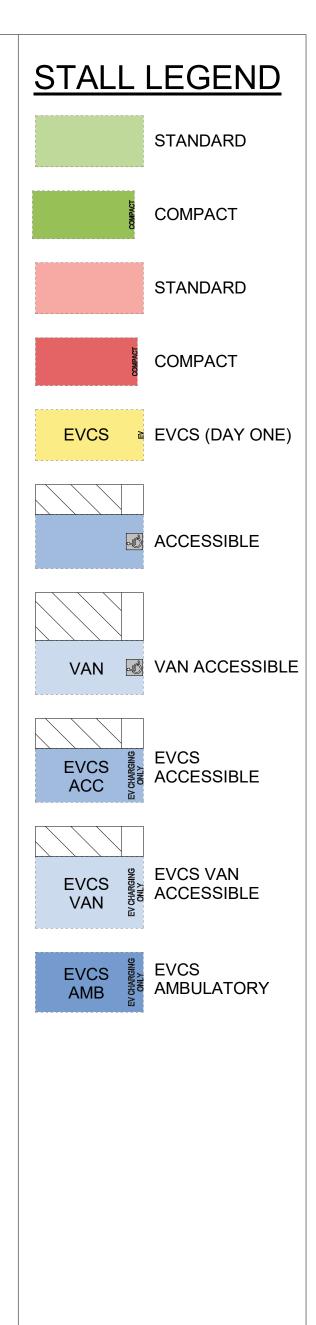




3/21/2022 1:51:18 PM

1/16" = 1'-0"



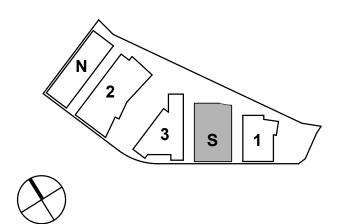




DW Burlingame Venture, LLC



KEYPLAN



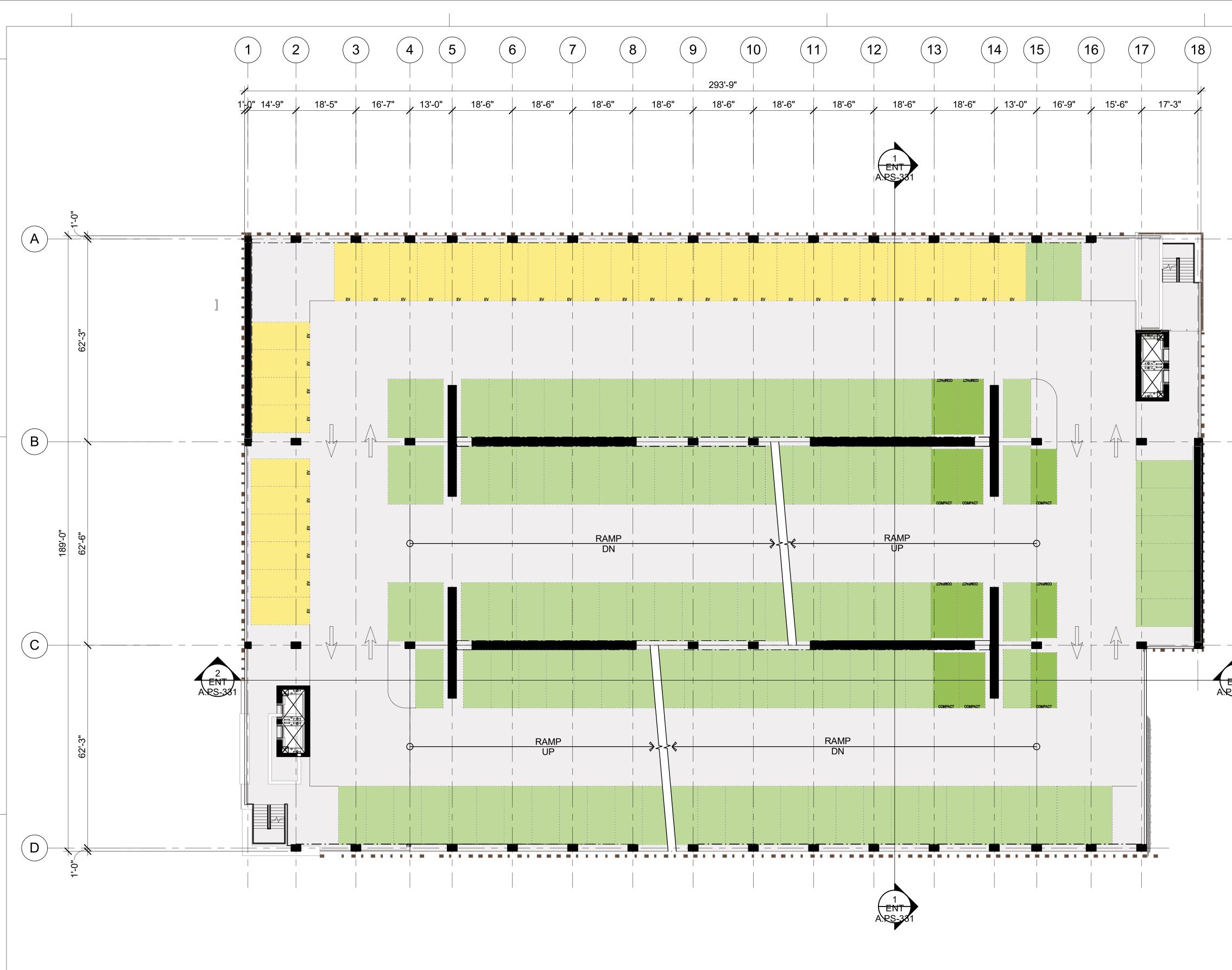
PROJECT NO .: 21-144 DATE: 03/04/2021 SCALE: 1/16" = 1'-0"

SHEET TITLE:

SOUTH PARKING -FLOOR PLAN - LEVEL 5



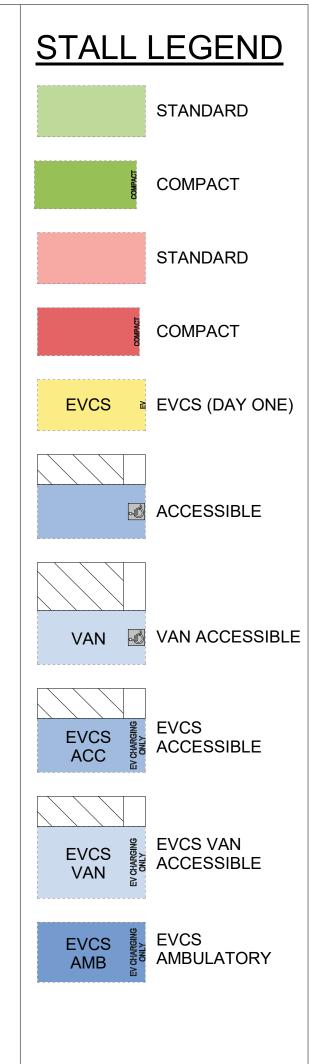


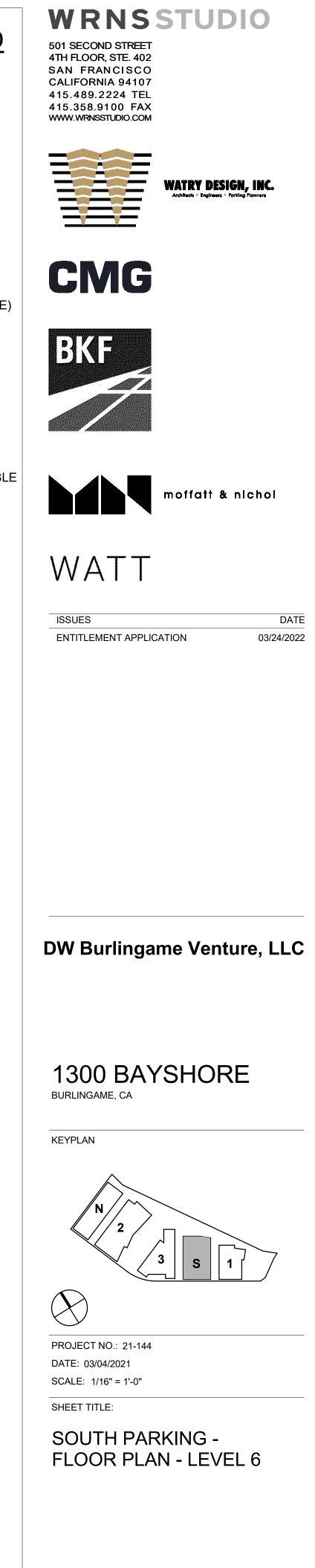




1/16" = 1'-0"



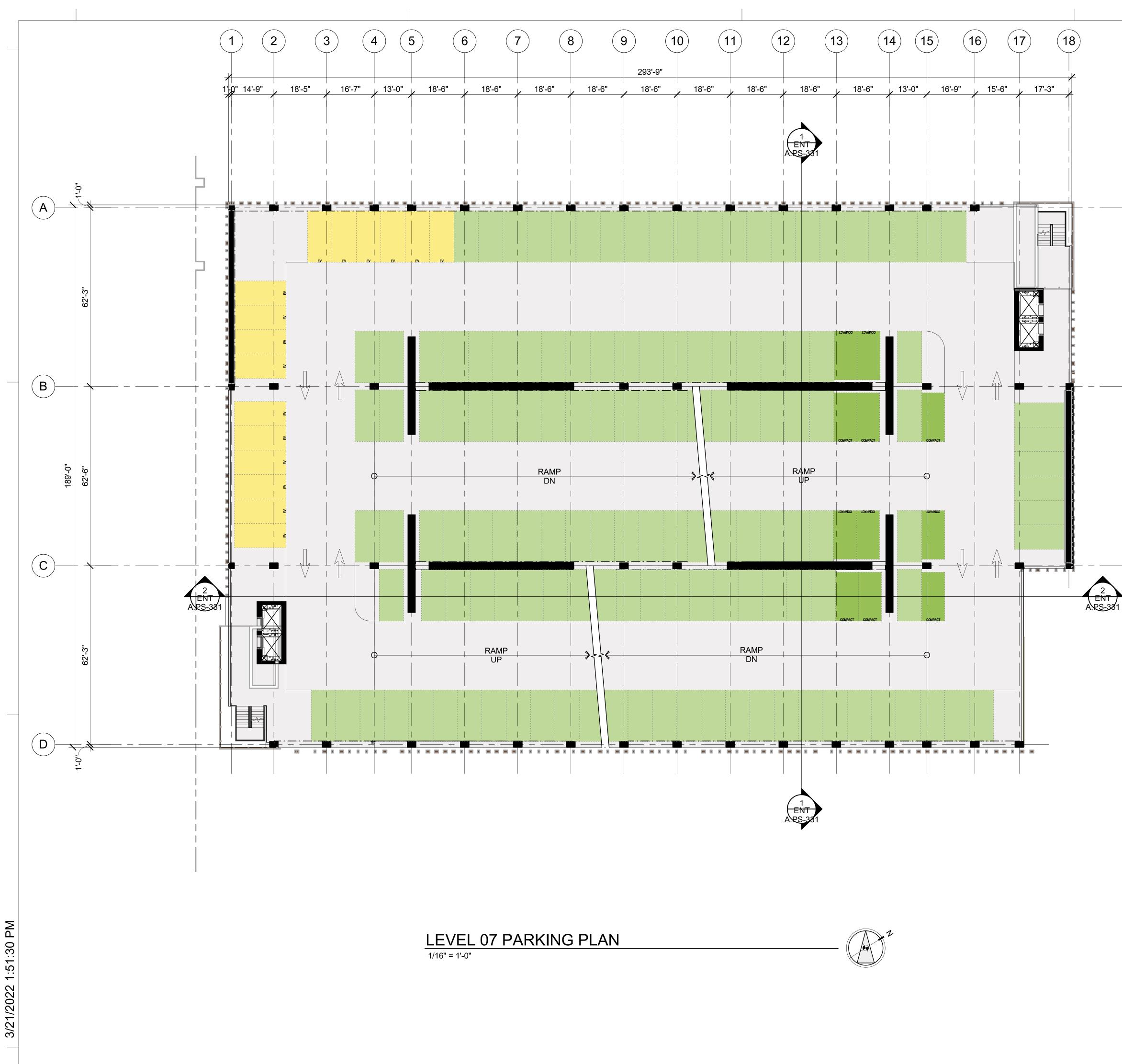


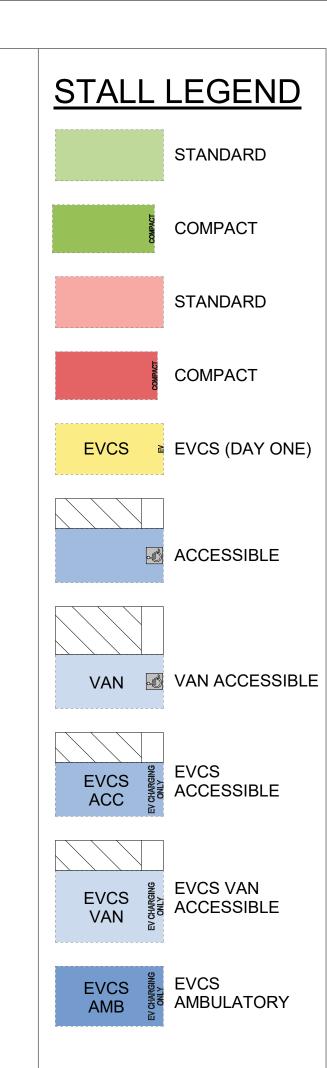


SHEET NO:

ENT A.PS-106

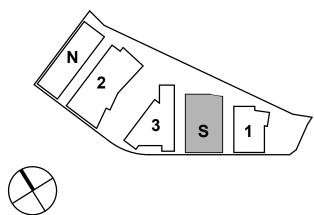








-3	31	

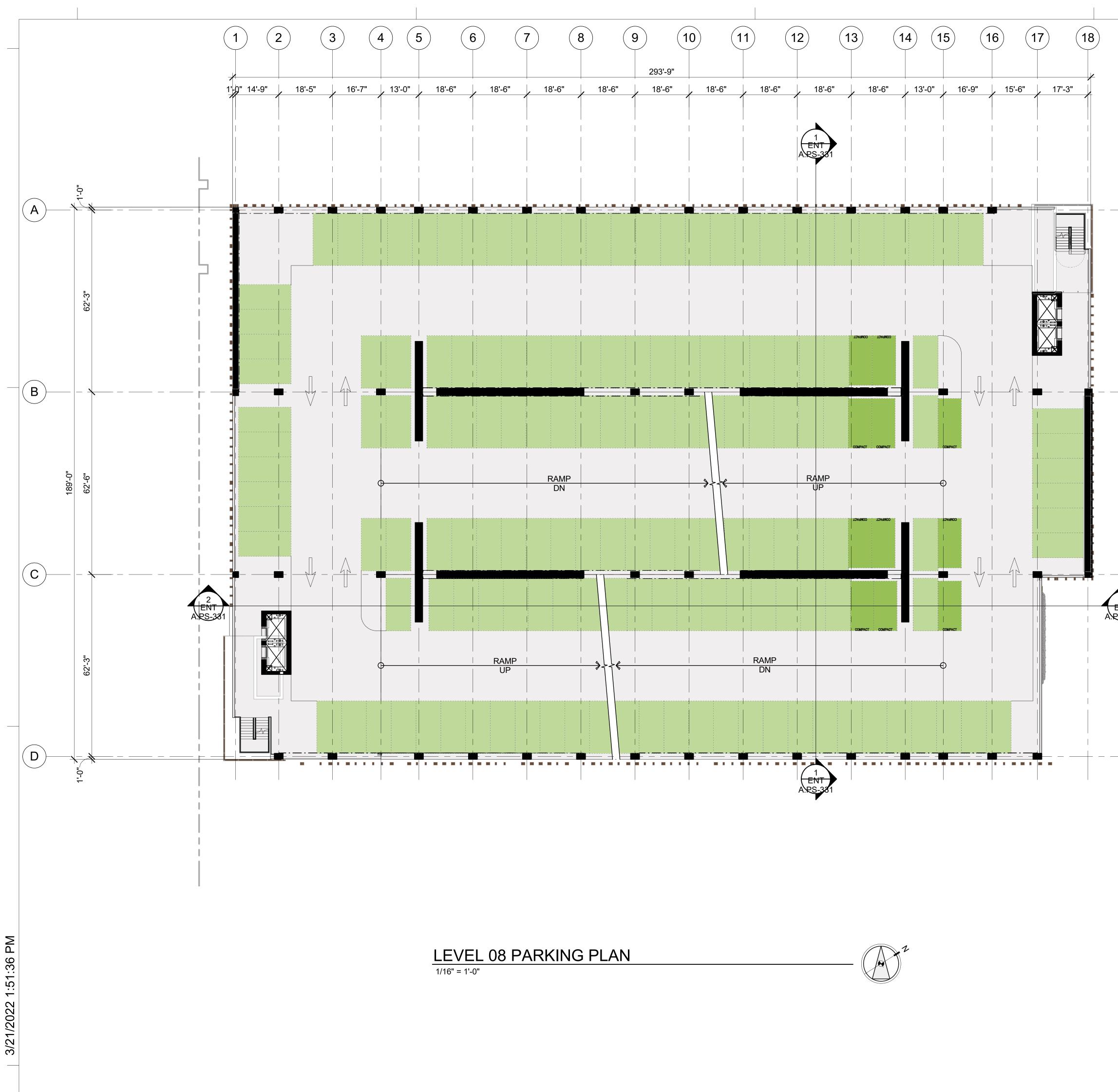


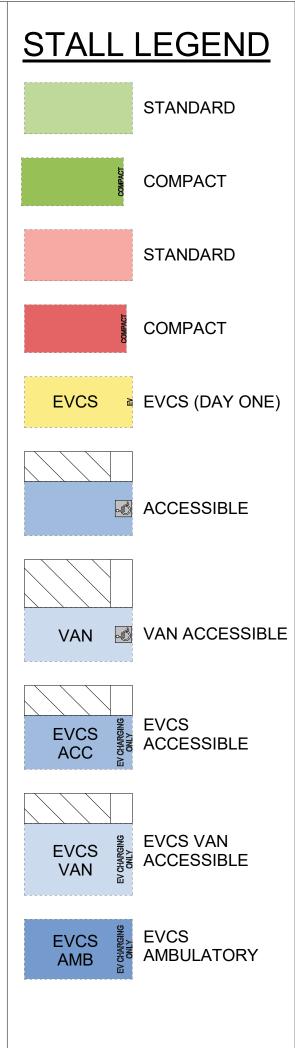
PROJECT NO .: 21-144 DATE: 03/04/2021 SCALE: 1/16" = 1'-0"

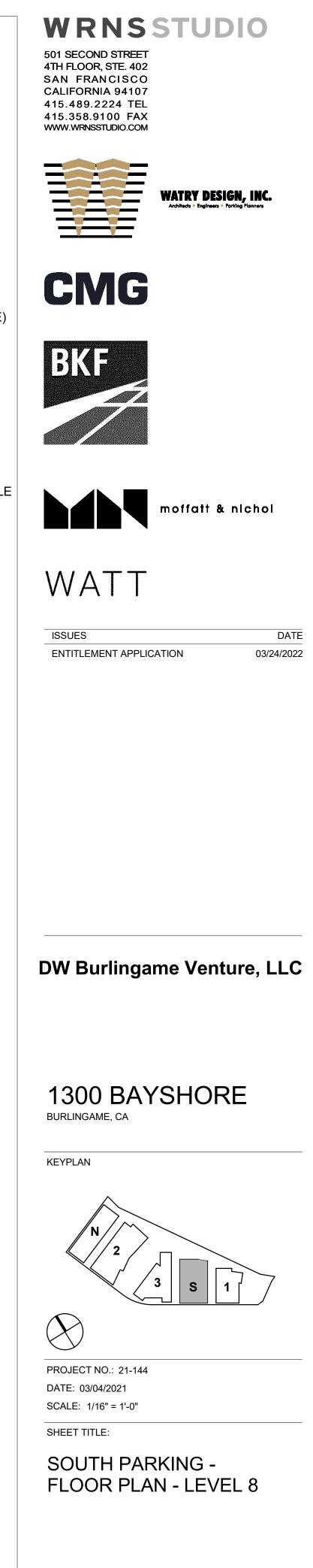
SHEET TITLE:

SOUTH PARKING -FLOOR PLAN - LEVEL 7





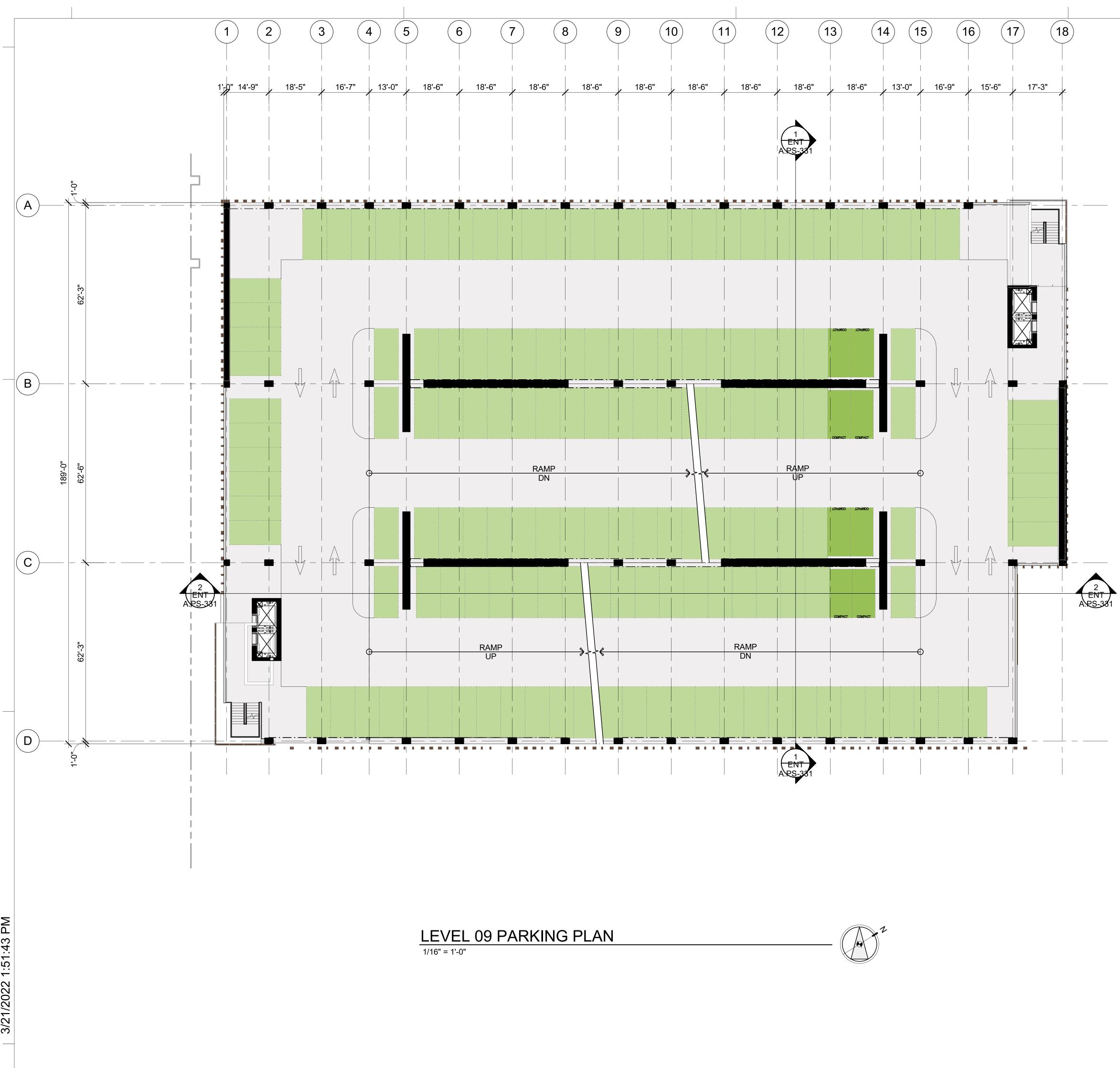




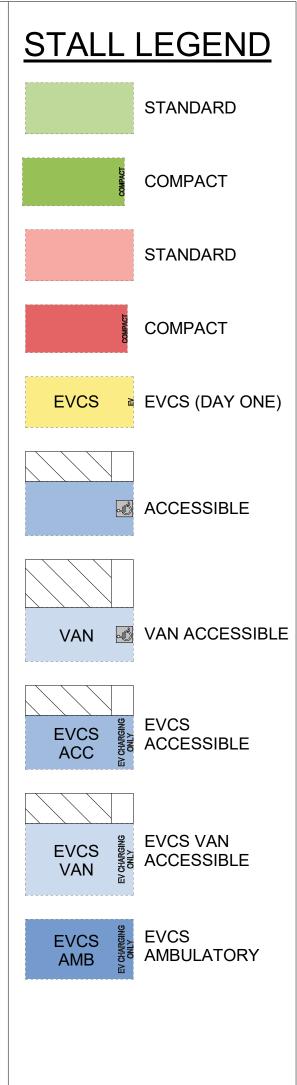
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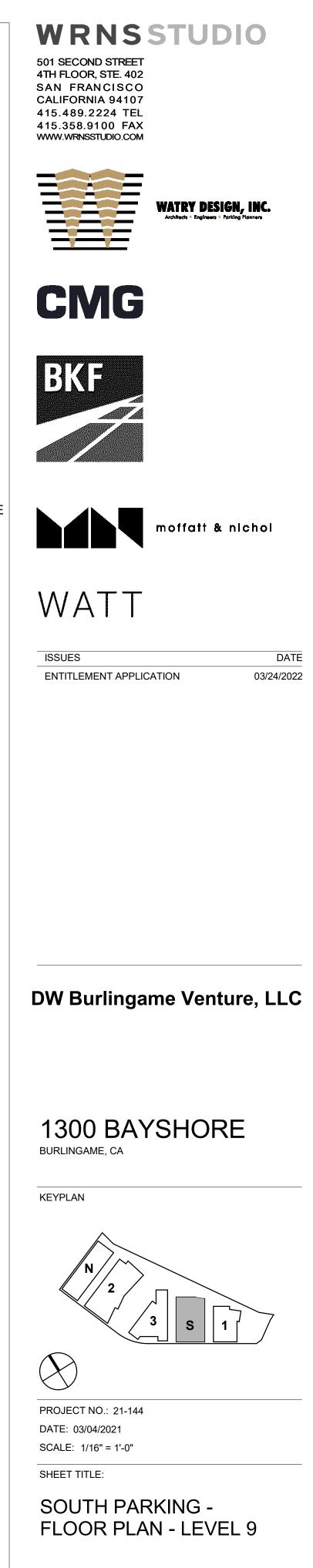
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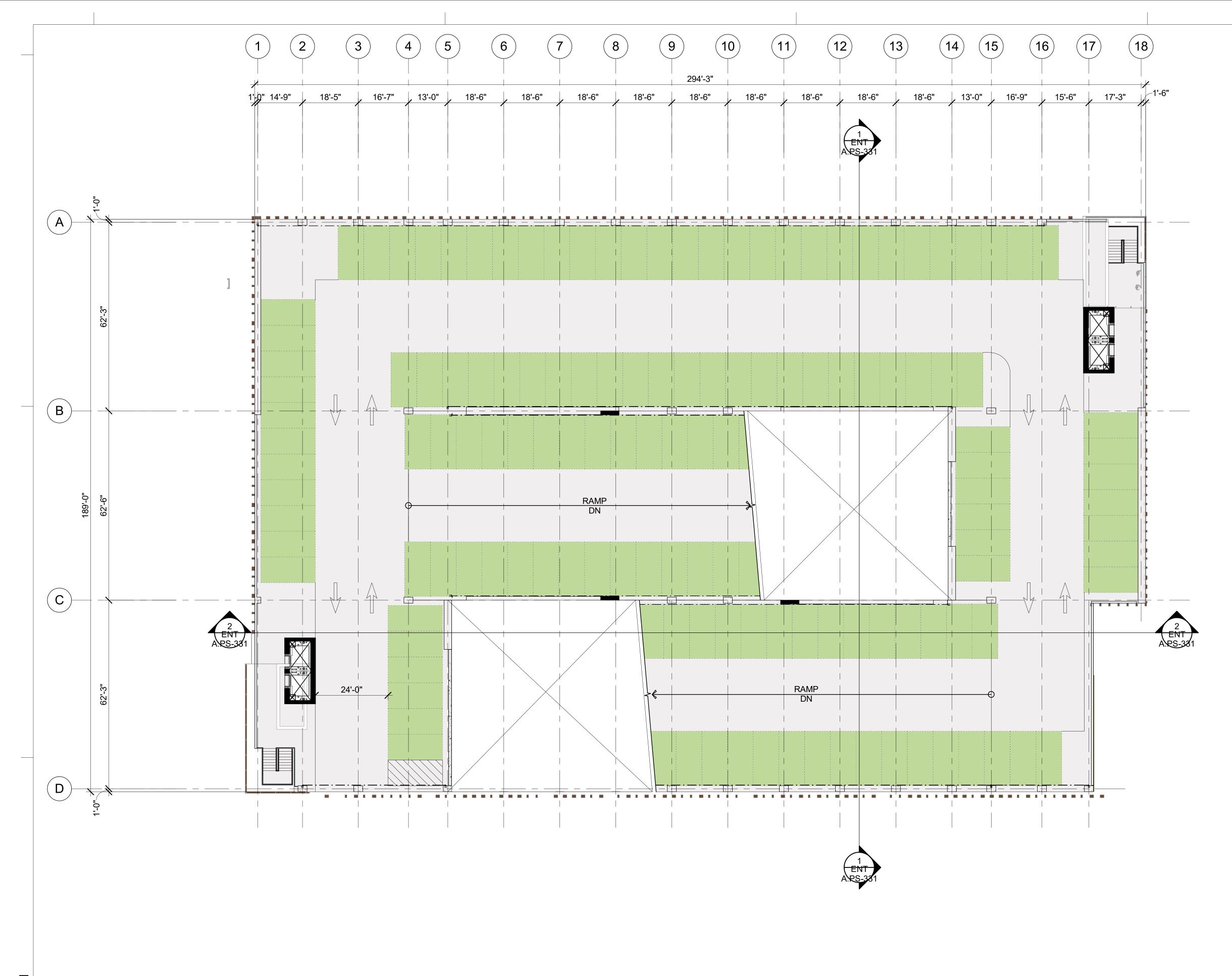
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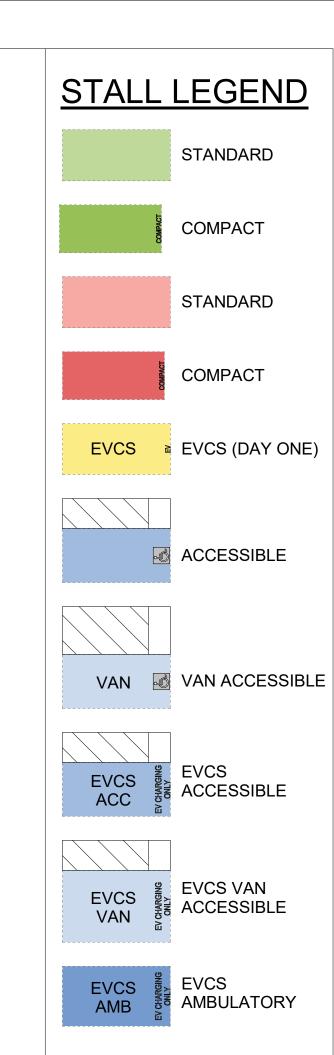
ENT A.PS-109

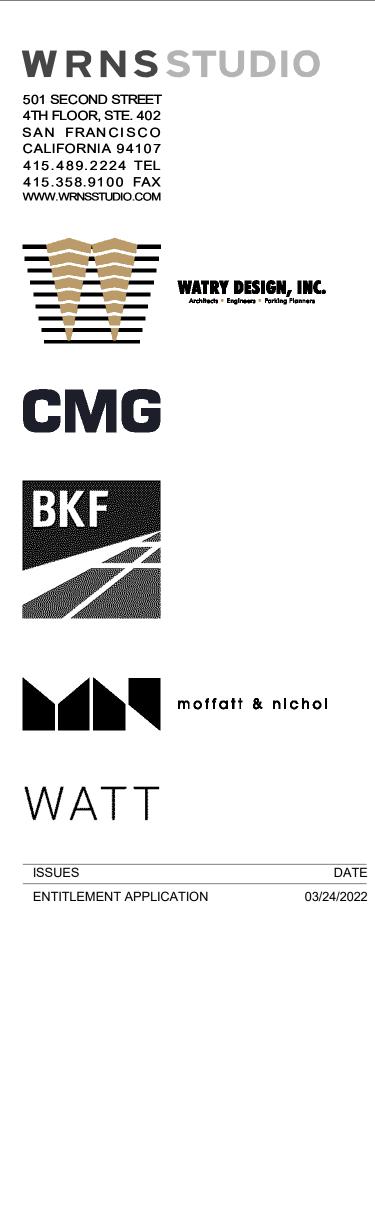




1/16" = 1'-0"

LEVEL 10 PARKING PLAN

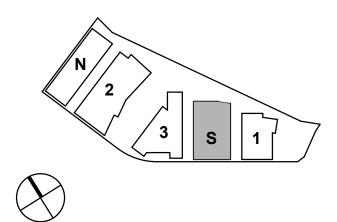




DW Burlingame Venture, LLC



KEYPLAN



PROJECT NO .: 21-144 DATE: 03/04/2021 SCALE: 1/16" = 1'-0"

SHEET TITLE:

SOUTH PARKING -FLOOR PLAN - LEVEL 10







ISSUES ENTITLEMENT APPLICATION

DATE 03/24/2022

DW Burlingame Venture, LLC

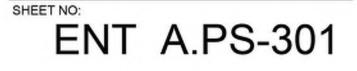
1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

KEYPLAN \bigotimes PROJECT NO.: 20045.00

DATE: 03/04/2022 SCALE: As indicated

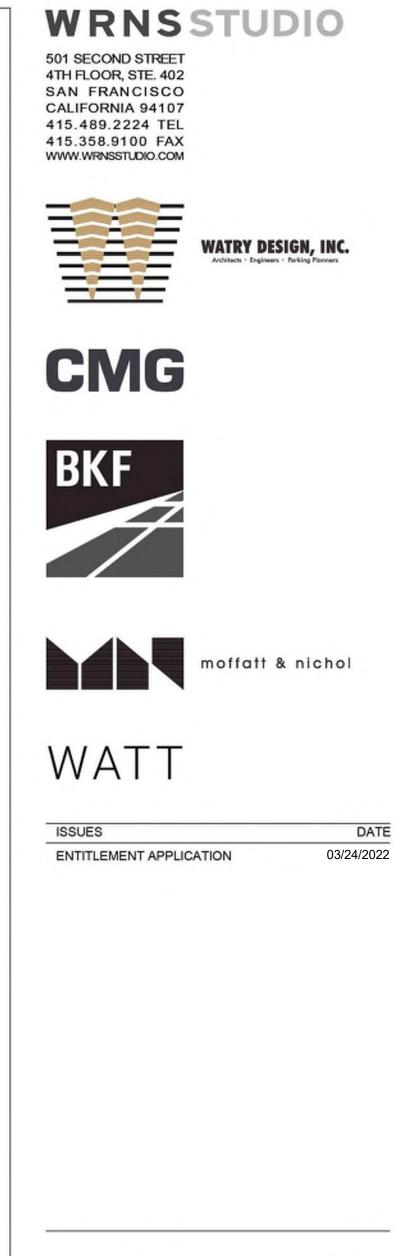
SHEET TITLE:

SOUTH PARKING -EXTERIOR ELEVATIONS





$\overline{\bigcirc}$	
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
2.6	EXPOSED CONCRETE COLUMN
2.7	EXPOSED CONCRETE SHEAR WALL WITH ARCHITECTURAL FINISH
5.3	WARM MTL FIN
5.4	CABLE RAIL GUARDRAIL
7.5	WARM MTL FRAMED CURTAINWALL
7.9	WARM MTL GUARDRAIL
8.6	GRAPHIC INTERLAYER GLAZING



DW Burlingame Venture, LLC

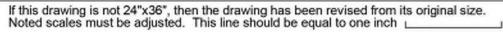
1200-1340 OLD BAYSHORE HIGHWAY Burlingame, CA 94010

KEYPLAN \bigotimes PROJECT NO.: 20045.00 DATE: 03/04/2022 SCALE: As indicated SHEET TITLE: SOUTH PARKING -

EXTERIOR ELEVATIONS

ENT A.PS-302

SHEET NO:

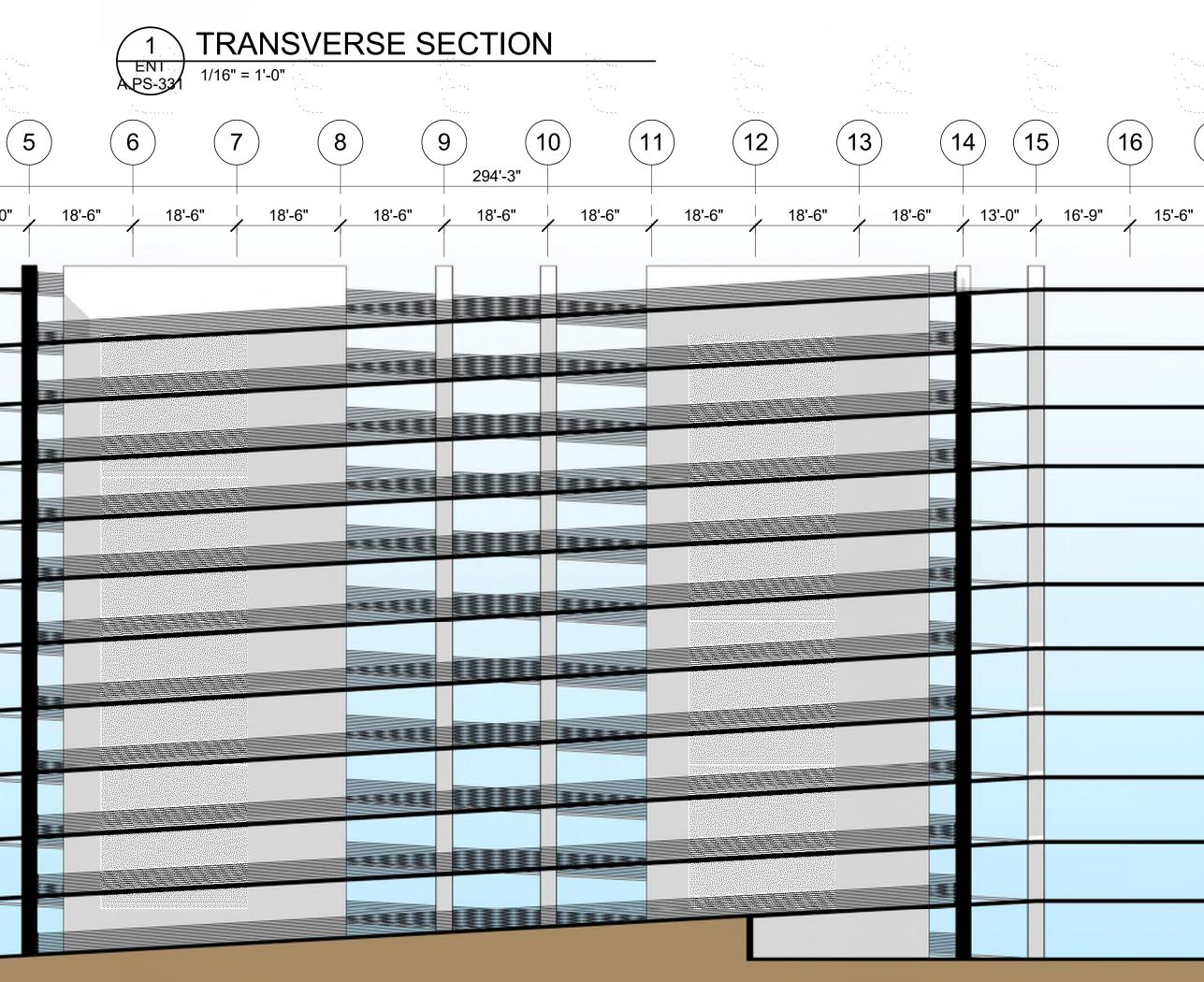


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						1'-
		n in the second s				
59		· · · · · · · · · · · · · · · · · · ·		LEVEL 10 EL= 110.00'		OF)
				LEVEL 09 EL= 99.50'	CES:	
				LEVEL 08	DE PA	00R (R
		1999		EL= 89.00'	1 TO TOP OF PARAPET POF PARAPET LEVEL OF FD ACCESS	10'-6"
				EL= 78.50'		00000
		a station and a station of the station		€ <u>LEVEL 06</u> EL= 68.00'	114'-6" F LEVE -0" 88 TO T 88 TO T LOWES	10 − − − − − − − − − − −
******* *****	1997.1.			⁺ EL= <u>68.00'</u> <u>↓ LEVEL 05</u> <u>+</u> EL= 57.50'	114'-6" 114'-6" IING HEIGHT FROM FF LEVEL 1 TO TOP OF PARAPET HEIGHT FROM NAVD88 TO TOP OF PARAPET 100'-0" DEPT. HEIGHT FROM LOWEST LEVEL OF FD ACCESS	⁻⁰ HIGHEST OCCUPIED FLOOR (ROOF) 98'-6"
				LEVEL 04 EL= 46.00'	IEIGHT F HEIGHT -	11'-6"
				LEVEL 03 EL= 34.50'	DILDING/FIRE DEPT. HEIGHT	(OLD BAYSHORE+10' NAVD) 1 11'-6" / 11'-6" / 11'-6
					Z F/ 3/FIRt	VSHO
				LEVEL 02 EL= 23.00'		
n an the Anna Anna Anna Anna Anna Anna Anna Anna				€ LEVEL 01 EL= 11.50		(OLD
				JRE	<u> </u>)" 10'-6"
			EL= 10.00'	€ <u>LEVEL B1</u> EL= 1.00'		— - <u> </u>
			• NAVD88 EL= 0.00'			,10'-6"
enta La sentra La sentra Maria	a fa Alista Alista Alista Alista Alista					
				1	1'-0" 14'-9" 18	3'-5" 16'-7" 13
1941 - 1	e e e e e e e e e e e e e e e e e e e		an a	+ =>		
			• EL= 110.00'			
			LEVEL 09			
e fa 1995 - Star			• EL= 99.50'	10'-6"		
			€ EL= 89.00'			
_	_					
			• <u>LEVEL 07</u> EL= 78.50'			
elle Longo de la Longo de la compositione Longo de la compositione Longo de la compositione			• EL= 68.00'	🖌		
1993 - La 1997 -		1999				
			LEVEL 04	11'-6"		
e fa 1999 - Serie 1997 - Serie 1997 - Serie			• <u>LEVEL 04</u> EL= 46.00'	11'-6"		
			• LEVEL 03 EL= 34.50'			
			• EL= 23.00'			
			LL- 23.00	11-6"		
·····	•••••• E		• LEVEL 01 EL= 11.50'			
		OLD BAYSHORE EL= 10.00'	• EL= 1.00'	-0"		
		• NAVD88 EL= 0.00'		21'-0"		
3/21/2022 1-52-00 PM		← EL= 0.00'	• <u>LEVEL B2</u> EL= -9.50'	+ + +		
00/10/						
) (* 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1.					

1'-0"

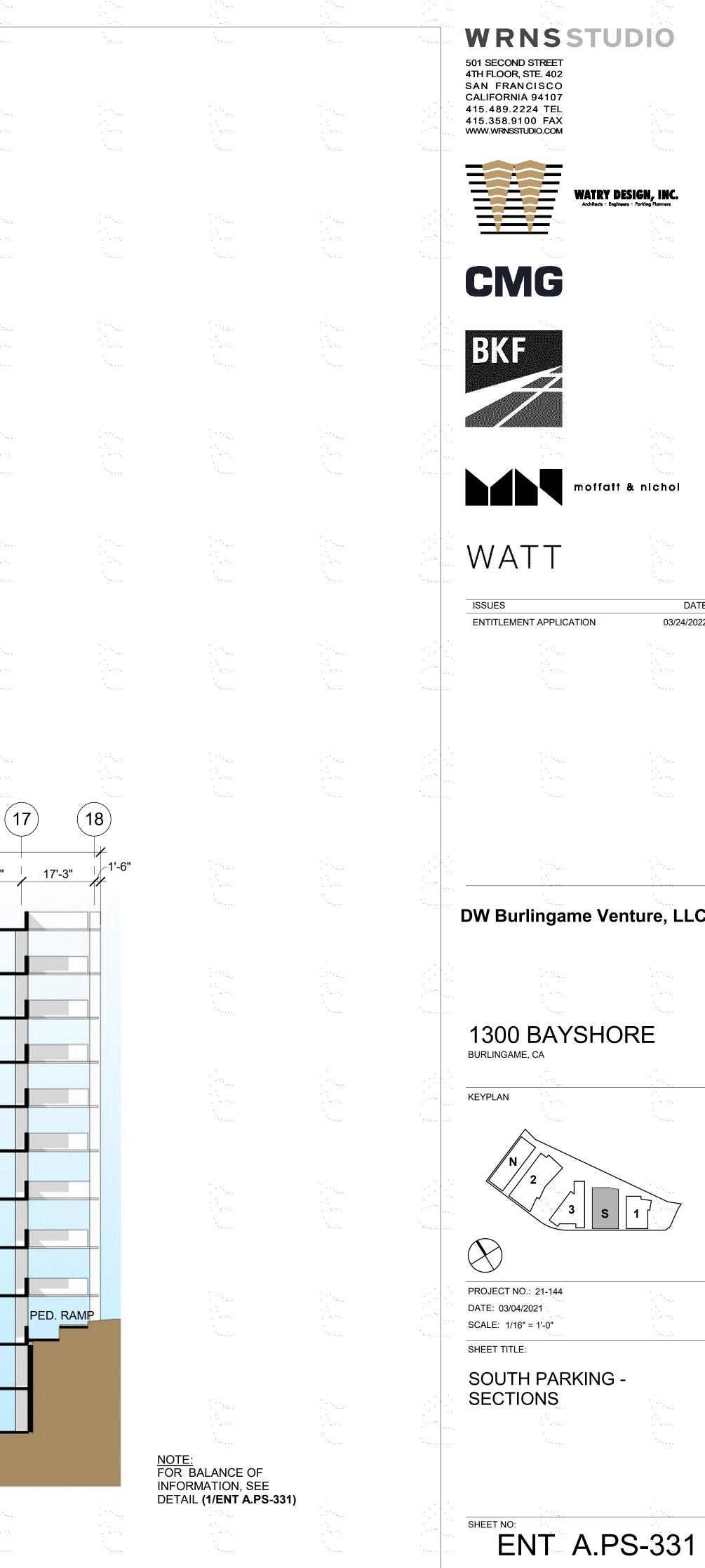
13'-0"

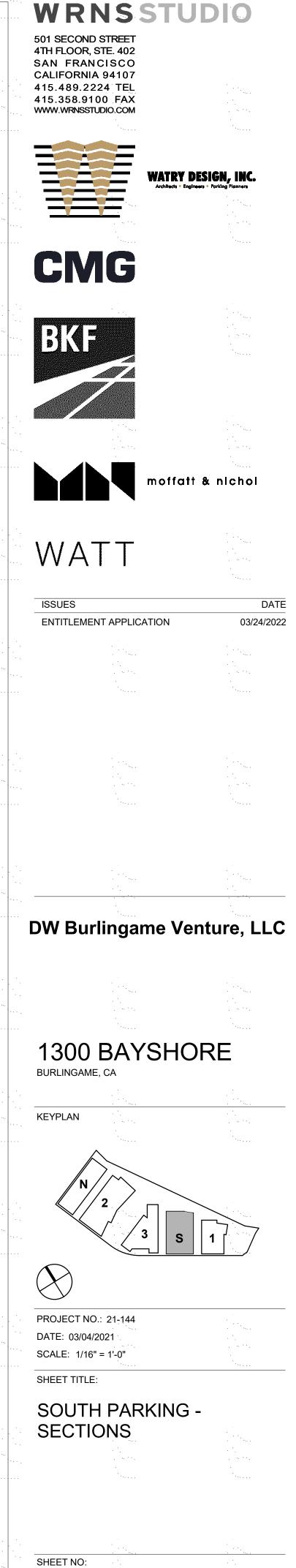






All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.







03/24/2022



ABBREVIATIONS

K/FT

KIT.

LAB.

LAM.

LAV.

LKR.

L.L.

LT.

LT.WT.

LIN.

&	AND	(E)
@	AT	EXIST.
A.B.	ANCHOR BOLT	E.A.
ACI		E.F.
ACOUS.	INSTITUTE ACOUSTICAL	E.F.S. E.I.F.S.
ACOUS. A.D.	AREA DRAIN	E.I.F.J.
ADD.	ADDITION	E.J.
ADJ.	ADJUSTABLE	EL.
A.E.D.	AUTOMATED EXTERNAL	ELEC.
	DEFIBRILLATOR	ELEV.
A.F.F.	ABOVE FINISH FLOOR	EMER.
AGGR. AISC	AGGREGATE AMERICAN INSTITUTE	E.N.
AISC	OF STEEL CONSTRUCTION	ENCL. ENGR.
AL.	ALUMINUM	E.P.
ALT.	ALTERNATE	EQ.
ANNLD.	ANNEALED	EQUIP.
APPROX.	APPROXIMATELY	E.S.
ARCH.	ARCHITECTURAL	EVCS
ASPH.	ASPHALT	
ASSN. ASTM	ASSOCIATION AMERICAN STANDARDS FOR	EVSE
ASTIN	TESTING AND MATERIALS	E-W
AWS	AMERICAN WELDING SOCIETY	E.W.
_		EXP.
BET.	BETWEEN	EXPO.
BIT. BLDG.	BITUMINOUS BUILDING	EXT.
BLDG. BLK.	BLOCK	
BLKG.	BLOCKING	F.A.
BM.	BEAM	F.D.
BOT.	BOTTOM	F.D.C. FDN.
BR.	BRACE	FDN. F.E.
BR.DN.	BRACE DOWN	F.E.C.
CAB	CABINET	F.F.
CBC	CALIFORNIA BUILDING CODE	F.G.
С.В.	CATCH BASIN	F.H.C.
CEM.	CEMENT	FIN.
CER.	CERAMIC	FLASH.
C.G.	CORNER GUARD	FLR.
C.G.S.	CENTER GRAVITY STEEL	FLOUR. F.O.
C.I. C.I.P.	CAST IRON CAST IN PLACE	F.O. F.O.C.
C.I.P. C.J.	CONSTRUCTION JOINT	F.O.F.
CLG.	CEILING	F.O.M.
CLKG.	CAULKING	F.OPNG.
CLO.	CLOSET	F.O.S.
CLR.	CLEAR	F.O.W.
CMU	CONCRETE MASONRY UNIT	FPRF.
CNTR.	COUNTER	F.R.
CO.	COMPANY	F.S. FT.
COEF. C.O.	COEFFICIENT CHANGE ORDER	FURR.
COL.	COLUMN	FUT.
COM.	COMMON	
CONC.	CONCRETE	GA.
CONN.	CONNECTION	GALV.
CONST.	CONSTRUCTION	GB. G.BAR.
CONT.	CONTINUOUS	GL.
CONTR.		GLB.
C.OPNG. CORP.	CASED OPENING CORPORATION	GND.
CORP.	CORRIDOR	GR.
CTR.	CENTER	G.S.M.
CTSK.	COUNTERSUNK	GYP.BD.
CU.FT.	CUBIC FOOT	H.B.
CU.IN.	CUBIC INCH	H.C.
CU.YD.	CUBIC YARD	HDR.
D.B.A.	DEFORMED BAR ANCHOR	HDRK
DLB.	DOUBLE	
DEPT.	DEPARTMENT	HDWE. HEX.
DET.	DETAIL	HGR.
D.F.	DRINKING FOUNTAIN	H.M.
DIA.	DIAMETER	HORIZ.
DIAG. DIM.	DIAGONAL DIMENSION	HR.
DIM. DISP.	DISPENSER	HSS
DIV.	DIVISION	H.S.A.
D.L.	DEAD LOAD	HT.
DN.	DOWN	I.B.C.
DO.	DITTO	I.D.
DR.	DOOR	I.F.
DR.OPNG.	DOOR OPENING	IN.
DS. DSGN.	DOWN SPOUT DESIGN	INC.
DSGN. DWG	DRAWING	INFO. INSUL.
DWGS	DRAWINGS	INSUL. INT.
DWR.	DRAWER	
		JAN.
		JST. JT.
		K. K/ET

EVICTINIC		
EXISTING	MATL.	MATERIAL
EXISTING	MAX.	MAXIMUM
EACH	M.B.	MACHINE BO
EACH FACE	M.C.	MEDICINE C
EXTERIOR FINISH SYSTEM	M.D.	MID DEPTH
EXTERIOR INSULATION	MECH.	MECHANICA
FINISH SYSTEM	MEMB.	MEMBRANE
EXPANSION JOINT	MFR.	MANUFACTI
ELEVATION	MH.	MANHOLE
ELECTRICAL	MIN.	MINIMUM
ELEVATOR	MIR.	MIRROR
EMERGENCY	MISC.	MISCELLANI
EDGE NAILING	MIXT.	MIXTURE
ENCLOSURE	МОВ	MEDICAL OF
ENGINEER	M.S.	MIDDLE STR
ELECTRICAL PANEL	MTD.	MOUNTED
EQUAL	MTL.	METAL
EQUIPMENT	MUL.	MULLION
-		MOLLION
EACH SIDE	(NI)	
ELECTRIC VEHICLE CHARGING	(N)	NEW
STATION	N.I.C.	NOT IN CON
ELECTRIC VEHICLE SUPPLY	NOM	NOMINAL
	NO. or #	NUMBER
EQUIPMENT		
EAST WEST	N-S	NORTH-SOL
EACH WAY	N.T.S.	NOT TO SCA
EXPANSION	O.A.	OVERALL
EXPOSED	OBS	OBSCURE
EXTERIOR		
-	o/c	ON CENTER
	O.D.	OUTSIDE DI
FIRE ALARM	0.F.	OUTSIDE FA
FLOOR DRAIN	OFF.	OFFICE
FIRE DEPARTMENT CONNECTION		
	О.Н.	OPPOSITE F
FOUNDATION	OPNG.	OPENING
FIRE EXTINGUISHER	OPP.	OPPOSITE
FIRE EXTINGUISHER CABINET		
	ORIG.	ORIGINAL
FINISH FLOOR	OSHPD	OFFICE OF \$
FINISH GRADE		PLANNING A
FIRE HOSE CABINET		_
	PC	PIERCAP
FINISH	PERM.	PERMANEN
FLASHING		
FLOOR	PERP.	PERPENDIC
	PL.	PLATE
FLUORESCENT	P.LAM.	PLASTIC LA
FACE OF		
FACE OF CONCRETE	PLAS.	PLASTER
	PLYWD	PLYWOOD
FACE OF FINISH	PR.	PAIR
FACE OF MASONRY		
FINISH OPENING	PRCST.	
FACE OF STUD	PROJ.	PROJECT
	P.S.F.	POUNDS PE
FACE OF WALL	P.S.I.	POUNDS PE
FIRE PROOFING	-	
FIRE RISER	PT.	POINT
	P.T.	POST TENS
FAR SIDE	P.T.I.	POST TENS
FOOT OR FEET		
FURRING	P.T.D.	PAPER TOW
	P.T.D/R	PAPER TOW
FUTURE		RECEPTACL
041105	PTL	PRESSURE
GAUGE		
GALVANIZED	PTN.	PARTITION
GRADE BEAM	P.T.R.	PAPER TOW
GRAB BAR	Q.T.	
GLASS / GLAZING		QUARRY TIL
		QUARRY TIL
	R. or R∆⊓	
GLUE LAMINATED BEAM	R. or RAD.	RADIUS
GLUE LAMINATED BEAM GROUND	R.D.	RADIUS ROOF DRAII
GLUE LAMINATED BEAM		RADIUS
GLUE LAMINATED BEAM GROUND GRADE	R.D. REF.	RADIUS ROOF DRAII REFERENCE
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL	R.D. REF. REFR.	RADIUS ROOF DRAIN REFERENCE REFRIGERA
GLUE LAMINATED BEAM GROUND GRADE	R.D. REF. REFR. REINF.	RADIUS ROOF DRAII REFERENCE REFRIGERA REINFORCE
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD	R.D. REF. REFR.	RADIUS ROOF DRAIN REFERENCE REFRIGERA
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB	R.D. REF. REFR. REINF.	RADIUS ROOF DRAII REFERENCE REFRIGERA REINFORCE
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD	R.D. REF. REFR. REINF. REQ'D. RESIL.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFT
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL HANGER	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R. RWD.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFT REDWOOD
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R. R.WD. R.W.L.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFT REDWOOD RAIN WATER
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL HANGER HOLLOW METAL	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R. RWD.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFT REDWOOD
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL HANGER HOLLOW METAL HORIZONTAL	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R. R.WD. R.W.L.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFT REDWOOD RAIN WATER
GLUE LAMINATED BEAM GROUND GRADE GALVANIZED SHEET METAL GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARD ROCK HARDWOOD HARDWARE HEXAGONAL HANGER HOLLOW METAL HORIZONTAL HOUR	R.D. REF. REFR. REINF. REQ'D. RESIL. RGTR. R.J. RM. R.O. R.R. R.W.L. S.A.D.	RADIUS ROOF DRAIN REFERENCE REFRIGERA REINFORCE REQUIRED RESILIENT REGISTER ROOF JOIST ROOM ROUGH OPE ROOF RAFT REDWOOD RAIN WATEN SEE ARCHIT DRAWINGS
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MATERIAL	т	TREAD	1.	<u>SCOPE OF DOCUMENTS:</u> THESE PLANS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF
MAXIMUM MACHINE BOLT	T.B. T.B.D.	TOWEL BAR TO BE DETERMINED		ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF
MEDICINE CABINET	TEL.	TELEPHONE		THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL SYSTEM. ON THE BASIS
MID DEPTH MECHANICAL	TER. T&G	TERRAZZO TONGUE AND GROOVE		OF THE GENERAL SCOPE INDICATED OR DESCRIBED,
MEMBRANE	THK.	THICK		THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE
MANUFACTURER MANHOLE	THRSH. T.O.B.	THRESHOLD TOP OF BEAM		WORK.
MINIMUM	T.O.C.	TOP OF CURB	2.	THE WORK: ALL CONSTRUCTION AND MATERIALS SHALL
MIRROR MISCELLANEOUS	T.O.CON. T.O.F.	TOP OF CONCRETE TOP OF FOOTING		BE SPECIFIED AND CONSTRUCTED AS REQUIRED BY THE LATEST EDITION OF THE IBC, STATE AND LOCAL CODES
MIXTURE	T.O.P.	TOP OF PAVEMENT		AND AUTHORITIES, AND THE CONTRACT DOCUMENTS.
MEDICAL OFFICE BUILDING MIDDLE STRIP	T.O.PR. T.O.S.	TOP OF PIER TOP OF SLAB	3.	THE CONTRACTOR:
MOUNTED	T.O.STL.	TOP OF STEEL		A. SHALL BE RESPONSIBLE FOR THE ACCURATE
METAL MULLION	TOT. T.O.W.	TOTAL TOP OF WALL		PLACEMENT OF THE BUILDING ON THE SITE. B. SHALL VERIFY ALL DIMENSIONS AND SITE
NEW	T.P.D.	TOILET PAPER DISPENSER		CONDITIONS BEFORE STARTING WORK. C. SHALL DO ALL CUTTING , FITTING OR PATCHING OF
NOT IN CONTRACT	T.V. TYP.	TELEVISION TYPICAL		IS WORK THAT MAY BE REQUIRED TO MAKE ITS
NOMINAL NUMBER	U.B.C.	UNIFORM BUILDING CODE		SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY
NORTH-SOUTH	UNF.	UNFINISHED		CUTTING, EXCAVATING, OR OTHERWISE ALTERING
NOT TO SCALE	UNO UR.	UNLESS NOTED OTHERWISE URINAL		THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF
OVERALL OBSCURE	VERT.	VERTICAL		MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH
ON CENTER	VEST.	VESTIBULE		APPLICABLE MATERIALS SO THAT SURFACES
OUTSIDE DIAMETER OUTSIDE FACE	w/	WITH		REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
OFFICE	W.C. WD.	WATER CLOSET WOOD		
OPPOSITE HAND OPENING	W.E.J.	WALL EXPANSION JOINT	4.	<u>THE JOB SITE:</u> A. SHALL BE MAINTAINED IN A CLEAN, ORDERLY
OPPOSITE	w/o WP.	WITHOUT WATERPROOF		CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY
ORIGINAL OFFICE OF STATEWIDE HEALTH	W.P.J.	WEAKENED PLANE JOINT		MATERIALS OR EQUIPMENT. EACH SUB-
PLANNING AND DEVELOPMENT	W.P.M. WS.	WATER PROOFING MEMBRANE WEATHER STRIPPED		CONTRACTOR, IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK, SHALL REMOVE ALL
PIERCAP PERMANENT	WSCT.	WAINSCOT		TRASH AND DEBRIS AS A RESULT OF HIS
PERPENDICULAR	W.S.P. WT.	WET STAND PIPE WEIGHT		OPERATION. B. ALL MATERIAL STORED ON THE SITE SHALL BE
PLATE PLASTIC LAMINATE	W.W.R.	WELDED WIRE REINFORCEMENT		PROPERLY STACKED AND PROTECTED TO PREVENT
PLASTER	X.STR.	EXTRA STRONG		DAMAGE AND DETERIORATION UNTIL USE.
PLYWOOD PAIR	ቒ	CENTERLINE	5.	<u>SUBMITTALS:</u> NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE
PRECAST				COMMENCED UNTIL THE SUBMISSION HAS BEEN
PROJECT POUNDS PER SQUARE FOOT				REVIEWED BY THE ARCHITECT.
POUNDS PER SQUARE INCH			6.	DIMENSIONS:
POINT POST TENSION(ED)				 A. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
POST TENSION INSTITUTE PAPER TOWEL DISPENSER				B. ALL DIMENSIONS ARE TO THE FACE OF FINISH UNLESS NOTED OTHERWISE.
PAPER TOWEL DISPENSER PAPER TOWEL DISP. WITH				
RECEPTACLE PRESSURE TREATED LUMBER			7.	EXITS: ALL REQUIRED EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR
PARTITION				SPECIAL KNOWLEDGE OR EFFORT. EXIT SIGNS SHALL
				BE PROVIDED AT ALL EXITS REQUIRED BY CODE.
QUARRY TILE			8.	<u>FURRING:</u> WHERE LARGER STUDS OR FURRINGS ARE REQUIRED TO COVER PIPING AND CONDUITS, THE
RADIUS ROOF DRAIN				LARGER STUD SIZE OR FURRING SHALL EXTEND THE
REFERENCE				FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
REFRIGERATOR REINFORCED				
REQUIRED			9.	ELEVATORS: ALL ELEVATORS SHALL MEET THE REQUIREMENTS OF C.C.R., TITLE 8, ELEVATOR SAFETY
RESILIENT REGISTER				ORDERS.
ROOF JOIST			10.	ACCESSIBILITY REQUIREMENTS: SHALL BE AS
ROOM ROUGH OPENING				PRESCRIBED BY THE CALIFORNIA CODE OF REGULATIONS, TITLE 24 (ARCHITECTURAL BARRIER
ROOF RAFTER				LAWS) AND THE AMERICANS WITH DISABILITIES ACT.
REDWOOD RAIN WATER LEADER			11.	THE AMERICANS WITH DISABILITIES ACT. (A.D.A.): IS
SEE ARCHITECTURAL				SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY
DRAWINGS				ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT
SOLID CORE SEAT COVER DISPENSER				THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE A.D.A. AS IT APPLIES TO THE
SCHEDULE SOAP DISPENSER				SUBJECT PROJECT, BUT IS NOT IN ANY WAY A
STRUCTURAL ENGINEERS				WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE
ASSOC. OF NORTHERN CALIFORNIA				A.D.A. BY OTHERS.
SECTION			12.	DISCREPANCIES: SHOULD A DISCREPANCY THAT
SOIL FACE SHELF				AFFECTS ANY WORK APPEAR IN THE SPECIFICATIONS, PLANS, OR WORK DONE BY OTHERS AS PART OF THE
SHOWER				CONTRACT DOCUMENTS, NOTIFY THE ARCHITECT AT
SHEET SHEATHING				ONCE FOR CLARIFICATION. SHOULD A CONFLICT OCCUR IN OR BETWEEN PLANS AND SPECIFICATIONS, OR
SIMILAR SANITARY NAPKIN DISPENSER				WHERE DETAIL REFERENCES ON CONTRACT DOCUMENTS HAVE BEEN OMITTED, THE CONTRACTOR IS
SANITARY NAPKIN RECEPTACLE				DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE
SLAB ON GRADE SPECIFICATIONS				MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT
SQUARE				HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE
SQUARE FEET SERVICE SINK				METHOD AND/OR MATERIALS.
SELECT STRUCTURAL				
STAINLESS STEEL STATION				
STAGGER(ED)				
STANDARD STEEL				
STORAGE				
STRUCTURAL SUSPENDED				

GENERAL NOTES

DEFERRED SUBMITTAL ITEMS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND COORDINATING DESIGN AND DETAILING OF THE FOLLOWING PRE-ENGINEERED SYSTEMS, INCLUDING CONNECTIONS TO THE BUILDING STRUCTURE. THE CONTRACTOR SHALL SUBMIT DRAWINGS AND CALCULATIONS STAMPED BY A CALIFORNIA REGISTERED CIVIL OR STRUCTURAL ENGINEER TO THE ARCHITECT, ENGINEER AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION AND ERECTION. DEFERRED ITEMS INCLUDE BUT ARE NOT LIMITED TO:

- 1. ELEVATORS
- 2. MISCELLANEOUS METAL RAILS
- 3. METAL STUD WALL SYSTEMS
- 4. METAL STAIRS
- 5. FIRE SPRINKLERS SYSTEMS 6. CABLE RAILS

WRNSSTUDIO

501 SECOND STREET 4TH FLOOR, STE. 402 SAN FRANCISCO CALIFORNIA 94107 415.489.2224 TEL 415.358.9100 FAX WWW.WRNSSTUDIO.COM



WATRY DESIGN, INC. Architects • Engineers





moffatt & nichol



ISSUES ENTITLEMENT APPLICATION

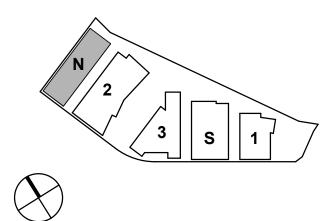
DATE 03/24/2022

DW Burlingame Venture, LLC

1300 BAYSHORE

BURLINGAME, CALIFORNIA

KEYPLAN



PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: 12" = 1'-0"

SHEET TITLE:

NORTH PARKING -PROJECT DATA SHEET



PROJECT OWNER

DIVCO WEST 301 HOWARD STREET, SUITE 2100, SAN FRANCISCO, CA 94105 PHONE 1-248-961-5664 MARK JOHNSON, DIRECTOR OF DEVELOPMENT VIRGINIA CALKINS, DEVELOPMENT

WOODSTOCK DEVELOPMENT 1350 OLD BAYSHORE HWY, SUITE 355, BURLINGAME, CA 94010 PHONE 1-650-579-1901 KIRK SYME, PRESIDENT

DESIGN-BUILD CONTRACTOR

DEVCON CONSTRUCTION 690 GIBRALTAR DRIVE, MILPITAS, CA 95035 PHONE 1-408-466-9146 ANDY SCHATZMAN, SENIOR VICE PRESIDENT KRISSY SCHREIBER, SENIOR PROJECT MANAGER

3/21/2022 1:56:14 PM

DESIGN CONSULTANTS

<u>CIVIL:</u> BKF 255 SHORELINE DRIVE, SUITE 200 REDWOOD CITY, CA 94065 PHONE 1-650-482-6453 PATRICK CONNORS, PROJECT MANAGER

ARCHITECT: WRNS STUDIO 501 SECOND STREET, SUITE 402 SAN FRANCISCO, CA 94107 PHONE 1-415-489-2224 SAM NUNES, PARTNER IN CHARGE BEN MICKUS, PROJECT LEAD

SUSTAINABILITY/LEED: WRNS STUDIO 501 SECOND STREET, SUITE 402 SAN FRANCISCO, CA 94107 PHONE PAULINE SOUZA, DIRECTOR OF SUSTAINABILITY

PARKING: WATRY DESIGN INC. 2099 GATEWAY PL, SUITE 550 SAN JOSE, CA 95110 PHONE 1-833-917-PARK FAX 1-408-532-5004 JESS MCINERNEY, PRINCIPAL

STRUCTURAL ENGINEER: WATRY DESIGN INC. 2099 GATEWAY PL, SUITE 550 SAN JOSE, CA 95110 PHONE 1-833-917-PARK FAX 1-408-532-5004 JESS MCINERNEY, PRINCIPAL

MECHANICAL: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-415-544-7500 CHRIS MCHUGH, MECHANICAL ENGINEER III

ELECTRICAL PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-415-544-7500 ROBERT SMITH, ASSOCIATE PRINCIPAL

PLUMBING: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-415-544-7500 ERICA KRAM, SENIOR ASSOCIATE

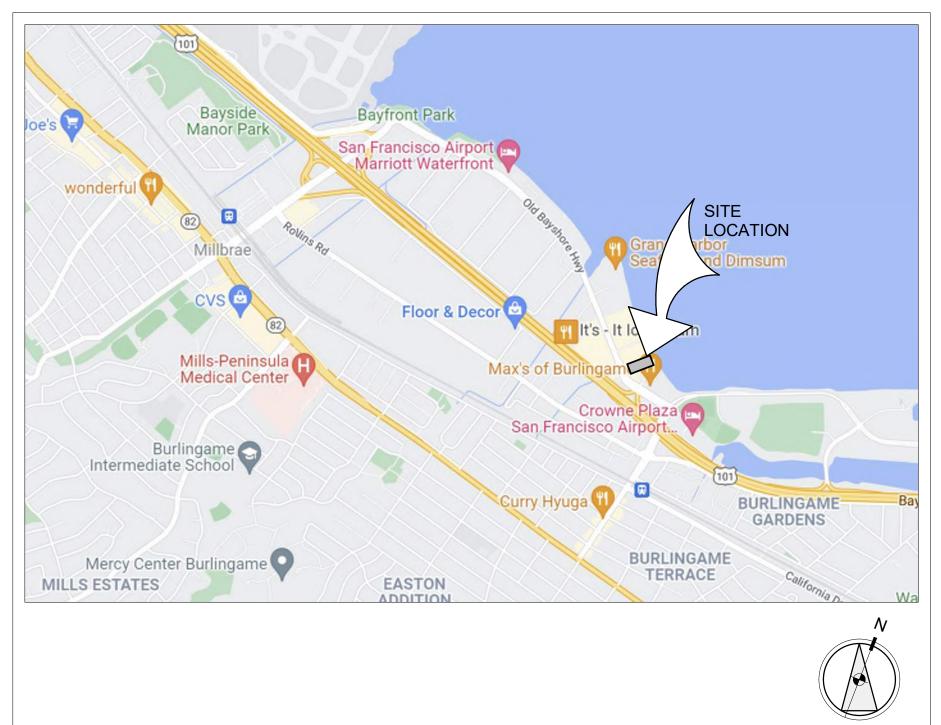
FIRE ALARM: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-415-544-7500 ROBERT SMITH, ASSOCIATE PRINCIPAL

FIRE PROTECTION: PAE CONSULTING ENGINEERS 48 GOLDEN GATE AVENUE, SAN FRANCISCO, CA 94102 PHONE 1-15-544-7500 ERICA FRAM, SENIOR ASSOCIATE

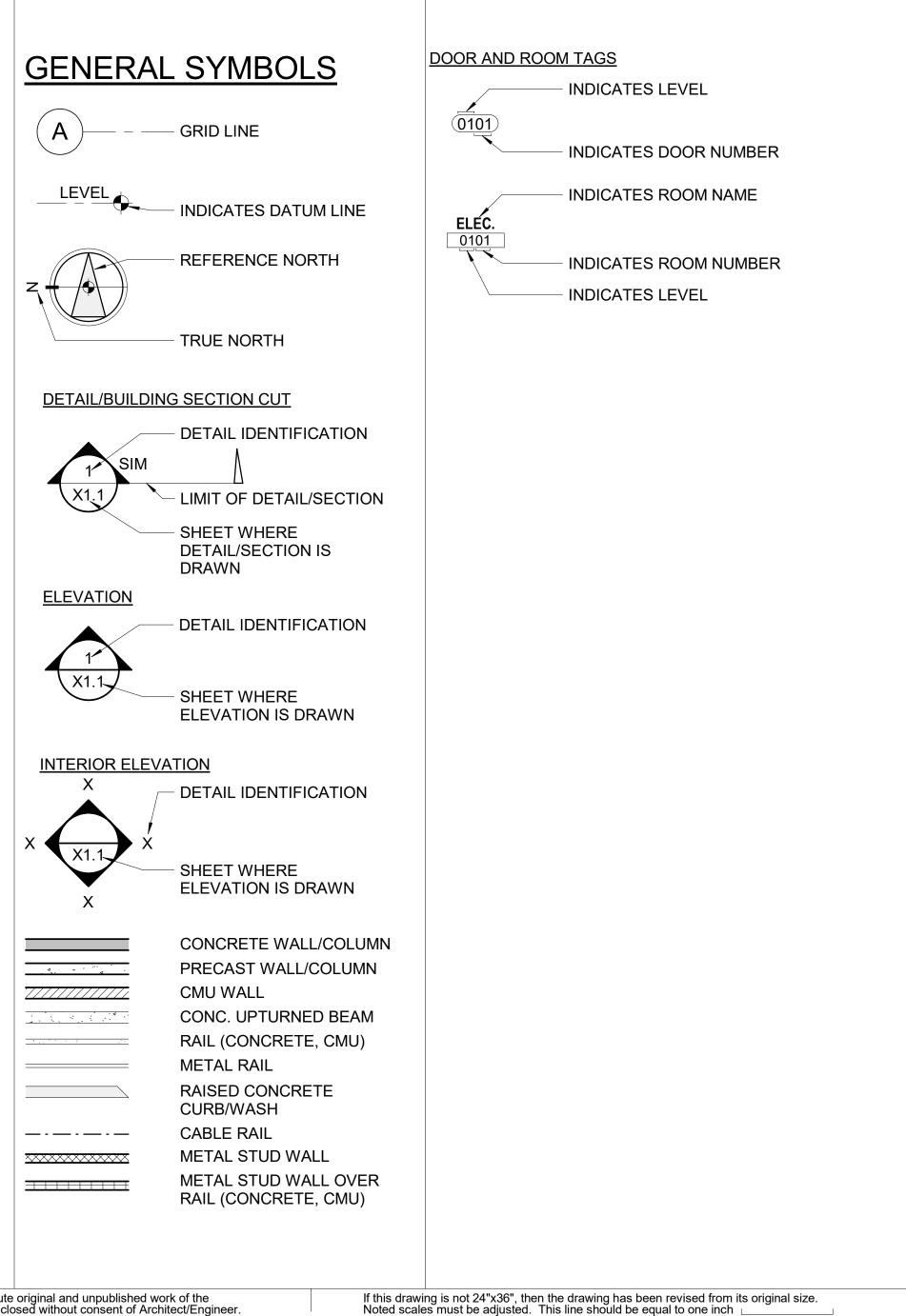
LANDSCAPING: CMG LANDSCAPE ARCHITECTURE 444 BRYANT STREET SAN FRANCISCO, CA 94107 PHONE 1-415-495-3070 JUSTIN AFF, PROJECT MANAGER/ASSOCIATE

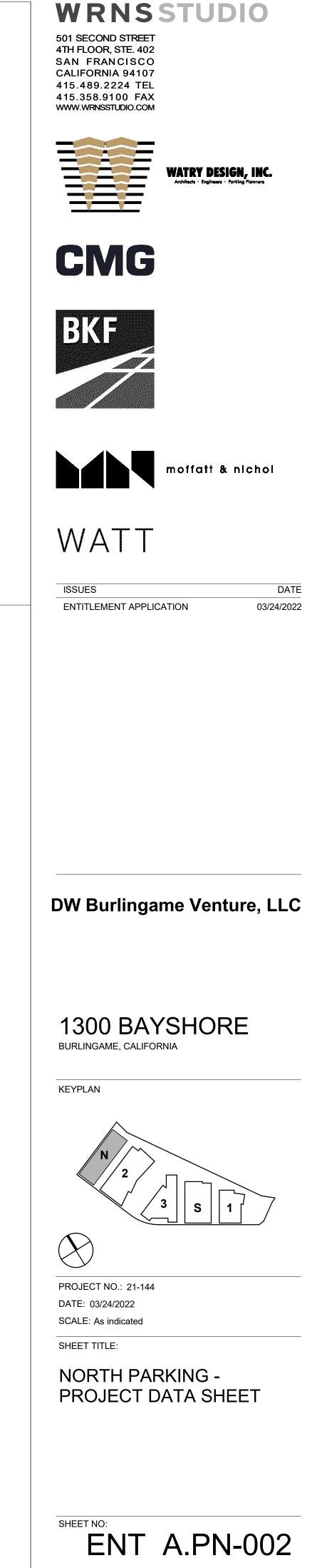
ELEVATOR: EWCG 102 E. BLITHEDALE AVE., SUITE 1 MILL VALLEY, CA 94941 PHONE 1-415-388-1880 ALLEN WILLIAMS, CHAIRMAN

VICINITY MAP









EXITING DIAGRAMS

 2019 C.B.C. SECTION 1017, TABLE 1017.2 "EXIT TRAVEL DISTANCE" S2 OCCUPANCY EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THE MAXIMUM TRAVEL DISTANCE IS 400' S2 OCCUPANCY WITHOUT AN AUTOMATIC SPRINKLER SYSTEM THE MAMIMUM TRAVEL DISTANCE IS 300'

EXITING LEGEND

	ACTUAL TRAVEL
•	DISTANCE

DIAGONAL DISTANCE

DISTANCE BETWEEN

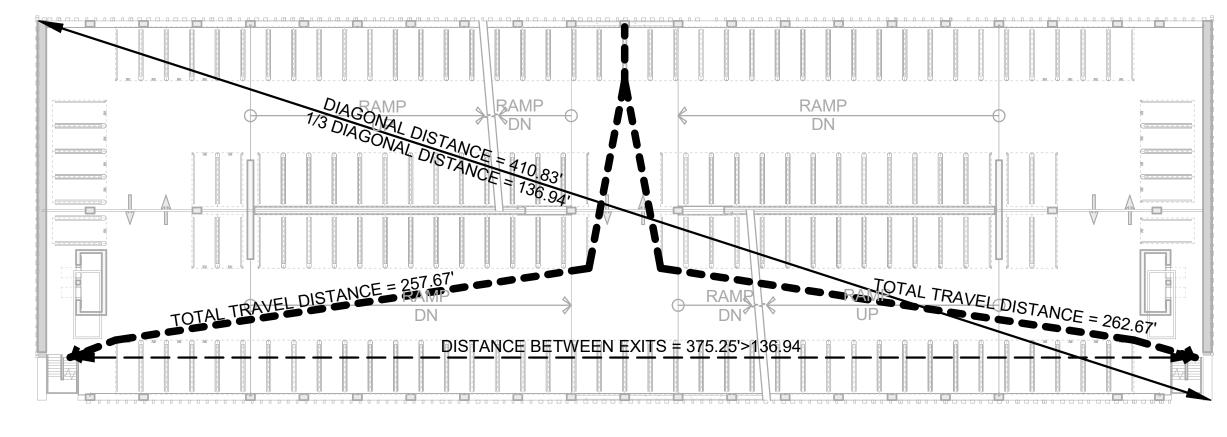
FIRE RATINGS LEGEND

	1-HR.
	2-HR.
••••	3-HR.
	4-HR.

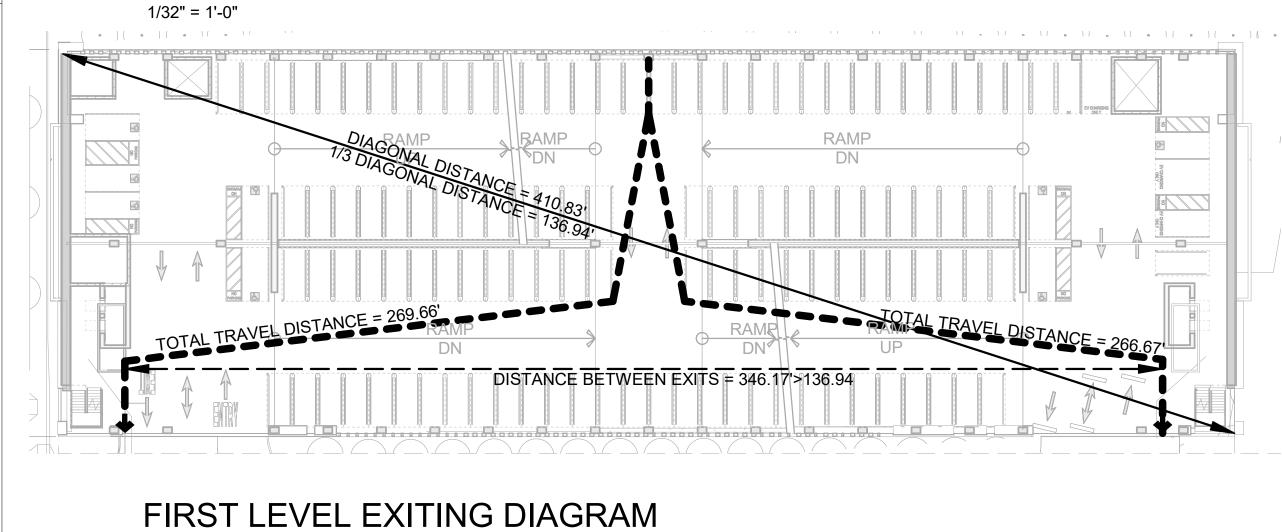
CODE DATA

GOVERNING CODES:

- A. 2019 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 2.
- B. 2019 CALIFORNIA ELECTRICAL CODE (CÉC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 3. C. 2019 CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 4.
- D. 2019 CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 5.
- E. 2019 CALIFORNIA FIRE CODE (CFC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLÉ 24, PART 9.
 F. 2019 CALIFORNIA ENERGY, CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24 PART 6
- G. ADAAG ADA ACCESSIBILTY GUIDELINES
- H. CITY OF BURLINGAME MUNICIPAL CODE







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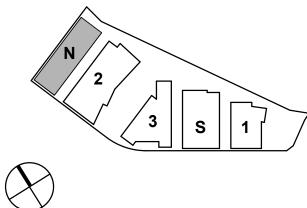
1/32" = 1'-0"

CODE SUMMARY

	TYPE - OPEN GARAGE	TYPE - ENCLOSED GARAGE	NOTES
TEM - SEC. 903	YES	YES	
TER 3	S-2 PARKING GARAGE (OPEN, PER 406.5)	S-2 PARKING GARAGE (CLOSED, PER 406.6)	OPENNESS - 406.5.2
HAPTER 4, 5 AND 6	IB	IB	TABLES 406.5.4, 601 AND 602
DEFINITION	11.50'	N/A	
2S) - TABLE 406.5.4	12 TIERS	N/A	ELEVATOR TOWERS - UNLIMITED IN HEIGHT IF NC (SECTION 504.3 EXCEPTION).
	10 TIERS	N/A	
	N/A	N/A	
RTIER	UNLIMITED (TABLE 406.5.4)	237,000 SQ. FT. (SEC. & TABLE 506.2)	
R)	46,350 SQ. FT.	45,850 SQ. FT.	
E PER TIER	N/A	N/A	
	470,250 SQ. FT.	88,750 SQ. FT.	
LAREA	N/A	N/A	
E AREA RATIO	N/A	N/A	
QUIREMENTS - TABLE 601			
	2 HR		
IOR	2 HR		
DR	2 HR		
D PARTITIONS - EXTERIOR	SEE REQUIREMENTS BELOW		
D PARTITIONS - INTERIOR	0 HR		
	2 HR		
IREMENTS- TABLE 602			BASED ON
	1 HR, 5'≤ x <10' 1 HR, 10'≤ x <30'		CONSTRUCTION TYPE
	NOT PERMITTED <3' 15%, 3'≤ x <5'		BASED ON DISTANCE A SPRINKLERS
			(SEE TABLE FOOTNOTE
STAIRS AND ELEVATORS)	NOT REQUIRED	STAIRS - 1HR ELEVATOR - NOT REQUIRED	SEE SECTIONS 406.5.9, 712.1.10.2 AND 1019.3.6
06.3.2	2		
	2		
FION 1005.3.1 & 1005.3.2			
NCHES			
L, WHEN CONSIDERED TO	STAIRS: 231.75 x 0.3 = 70" 50% OF 70" = 35"		
,	OTHER THAN STAIRS:		
0.2 = TOTAL INCHES	231.75 x 0.20 = 46.35" 50% OF 46.35" = 23.2"		
(0.2 = TOTAL INCHES .1.1 AND PER 11B-404, .TES.)	231.75 x (
.1.1 AND PER 11B-404,	231.75 x 0 50% OF 4 ST.		
	TER 3 HAPTER 4, 5 AND 6 DEFINITION (S) - TABLE 406.5.4 SE (IN TIERS), FOR S - SECT. 406.5.5 R TIER R) E PER TIER L AREA L AREA L AREA A REA RATIO QUIREMENTS - TABLE 601 IOR D PARTITIONS – EXTERIOR D PARTITIONS – INTERIOR D PARTITIONS – INTERIOR D PARTITIONS – INTERIOR D PARTITIONS – INTERIOR STAIRS AND ELEVATORS) STAIRS AND ELEVATORS) D6.3.2 TION 1005.3.1 & 1005.3.2 NCHES L, WHEN CONSIDERED TO LE MEANS OF EGRESS, IDERED TO BE PART OF EGRESS, PER 1009.3,	TER 3 S-2 PARKING GARAGE (OPEN, PER 406.5) HAPTER 4, 5 AND 6 IB DEFINITION 11.50' (S) - TABLE 406.5.4 12 TIERS 10 TIERS SE (IN TIERS), FOR SE (IN TIERS), FOR SE S - SECT. 406.5.5 R TIER UNLIMITED (TABLE 406.5.4) R) 46.350 SQ. FT. E PER TIER N/A E AREA RATIO AU QUIREMENTS - TABLE 601 CR	TER 3 S-2 PARKING GARAGE (OPEN, PER 406.5) S-2 PARKING GARAGE (CLOSED, PER 406.6) 14PTER 4, 5 AND 6 IB IB 2EFINITION 11.60' N/A S1, 7 TABLE 406.5.4 12 TIERS N/A S2 PARKING GARAGE N/A N/A SE (IN TIERS), FOR N/A N/A S - SECT. 406.5.5 N/A N/A SE (IN TIERS), FOR N/A N/A S - SECT. 406.5.5 N/A N/A RTIER UNLIMITED (TABLE 406.5.4) (SEC. & TABLE 506.2) RY 46.360 SQ. FT. 45.360 SQ. FT. LAREA N/A N/A LAREA N/A N/A QUIREMENTS - TABLE 601 2 HR OR 2 HR N/A OP ARTITIONS - INTERIOR SEE REQUIREMENTS BELOW OP ARTITIONS - INTERIOR SEE REQUIREMENTS EBLOW OP ARTITIONS - INTERIOR SEE REQUIREMENTS BELOW OP ARTITIONS - INTERIOR 1 HR, 55 < 10'



WRNSSTUDIO

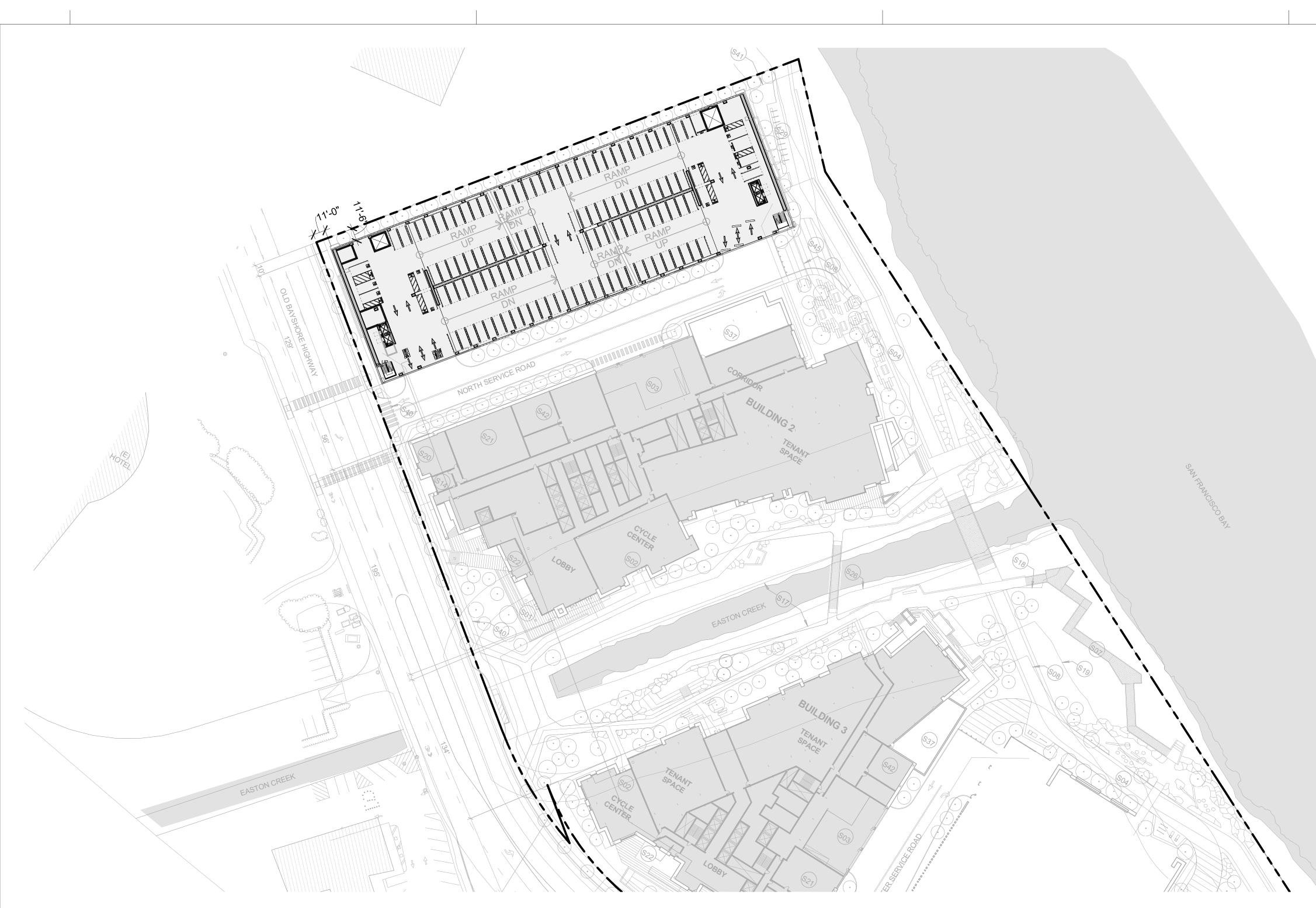


PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: As indicated

SHEET TITLE:

NORTH PARKING - CODE SUMMARY





PARKING STALL SUMMATION

LEVEL	ACCESSIBLE (9'-0"x18'-0")	VAN ACCESSIBLE (9'-0"x18'-0")	PUBLIC ACCESS (8'-6"x18'-0")	STANDARD (8'-6"x18'-0")	COMPACT (7'-6"x17'-0")	EVCS (8'-6"x18'-0")	EV ACCESSIBLE (9'-0"x18'-0")	EV VAN ACCESSIBLE (12'-0"x18'-0")	EV AMBULATORY (10'-0"x18'-0")	TOTAL	SQ. FOOTAGE	SQ. FT./STALL
LEVEL 10.5	0	0	0	24	0	0	0	0	0	24	7,750	323
LEVEL 10	0	0	0	152	0	0	0	0	0	152	46,350	305
LEVEL 09	0	0	0	144	8	0	0	0	0	152	46,350	305
LEVEL 08	0	0	0	122	4	25	0	0	0	151	46,350	307
LEVEL 07	0	0	0	120	0	30	0	0	0	150	46,350	309
LEVEL 06	0	0	0	116	0	34	0	0	0	150	46,350	309
LEVEL 05	0	0	0	116	0	34	0	0	0	150	46,350	309
LEVEL 04	3	3	0	114	0	25	0	0	0	145	46,350	320
LEVEL 03	7	0	0	117	0	8	4	1	3	140	46,350	331
LEVEL 02	4	1	0	116	0	5	0	0	1	127	45,850	361
LEVEL 01	7	1	0	115	0	1	1	1	1	127	45,850	361
LEVEL B1	0	0	0	139	4	0	0	0	0	143	45,850	321
LEVEL B2	0	0	0	123	4	0	0	0	0	127	42,900	338
TOTAL	21	5	0	1518	20	162	5	2	5	1738	559,000	322

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10% EV - DAY ONE: 1738 * 10% = 174 EV STALLS 10% FUTURE EV: 174 EV STALLS





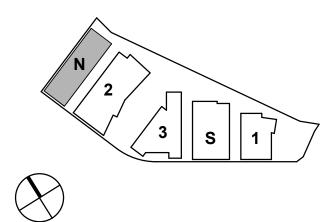
ISSUES ENTITLEMENT APPLICATION

DATE 03/24/2022

DW Burlingame Venture, LLC

1300 BAYSHORE BURLINGAME, CALIFORNIA

KEYPLAN



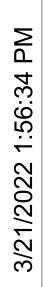
PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: As indicated

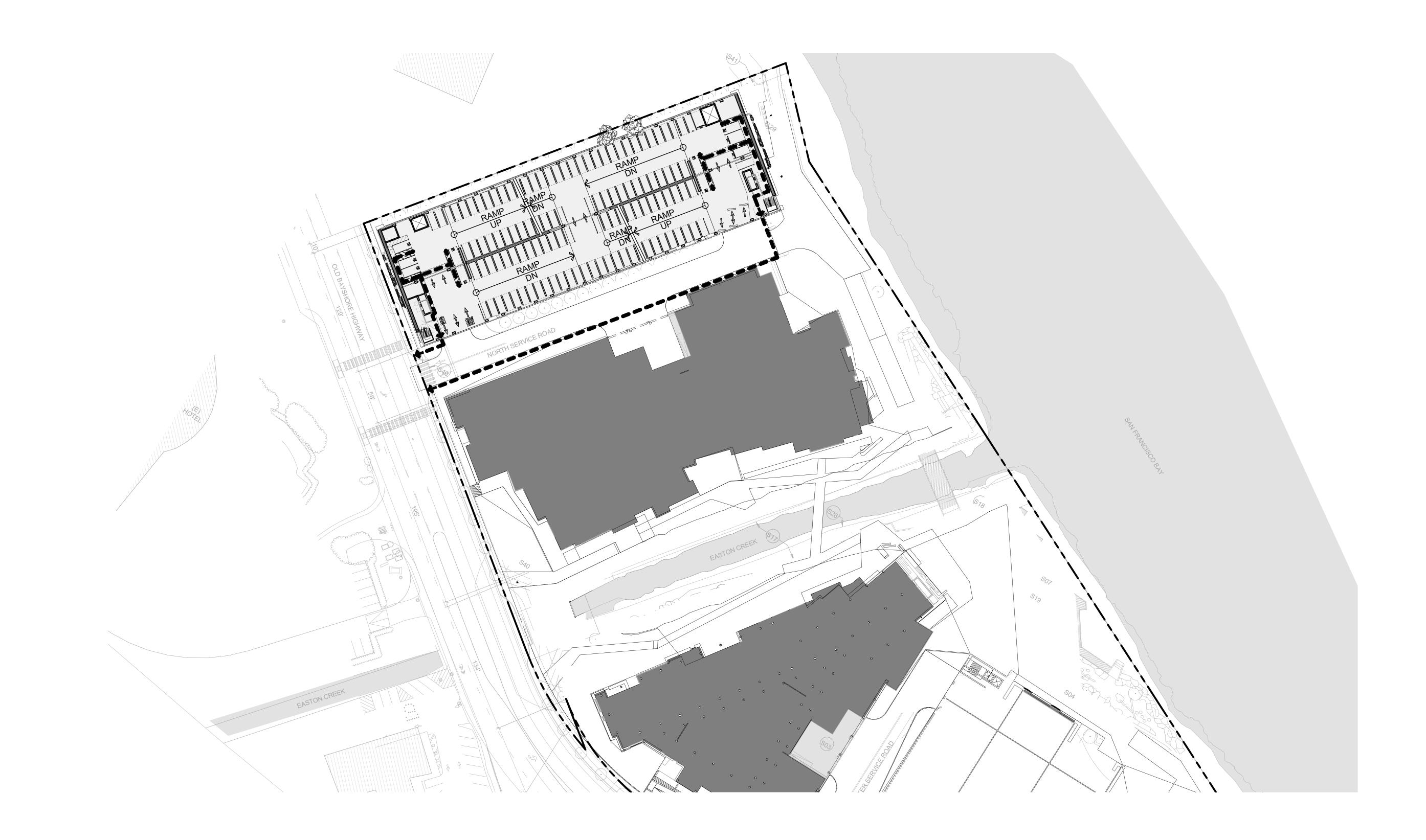
SHEET TITLE:

SHEET NO:

NORTH PARKING - SITE PLAN & STALL COUNT

ENT A.PN-010



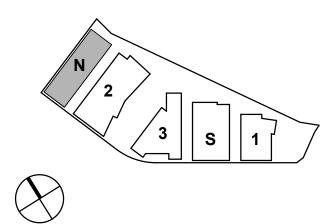




DW Burlingame Venture, LLC



KEYPLAN



PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: 1" = 50'-0"

SHEET TITLE:

NORTH PARKING - SITE EGRESS PLAN





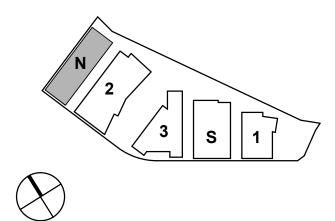
If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch



DW Burlingame Venture, LLC

1300 BAYSHORE BURLINGAME, CALIFORNIA

KEYPLAN



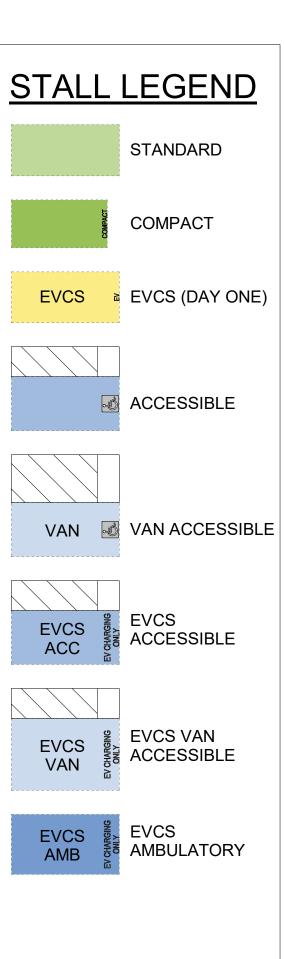
PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: 1/16" = 1'-0"

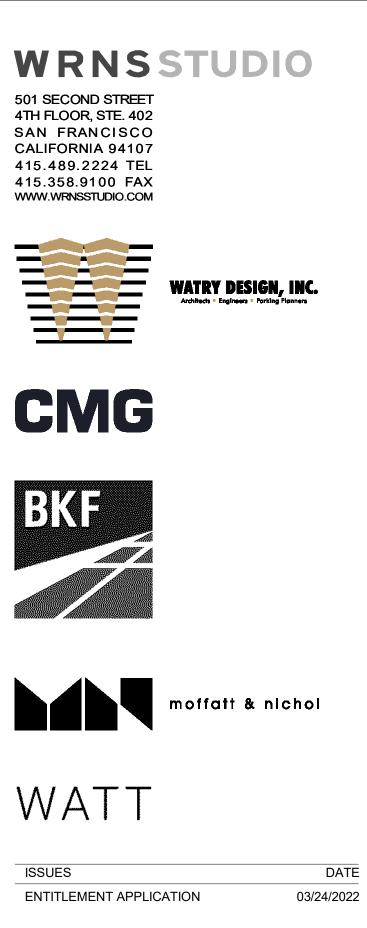
SHEET TITLE:

NORTH PARKING -FLOOR PLANS -BASEMENT LEVELS









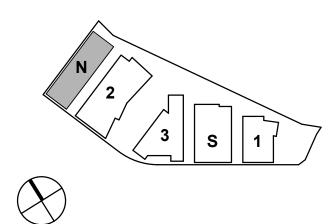
DW Burlingame Venture, LLC



1300 BAYSHORE

BURLINGAME, CALIFORNIA

KEYPLAN

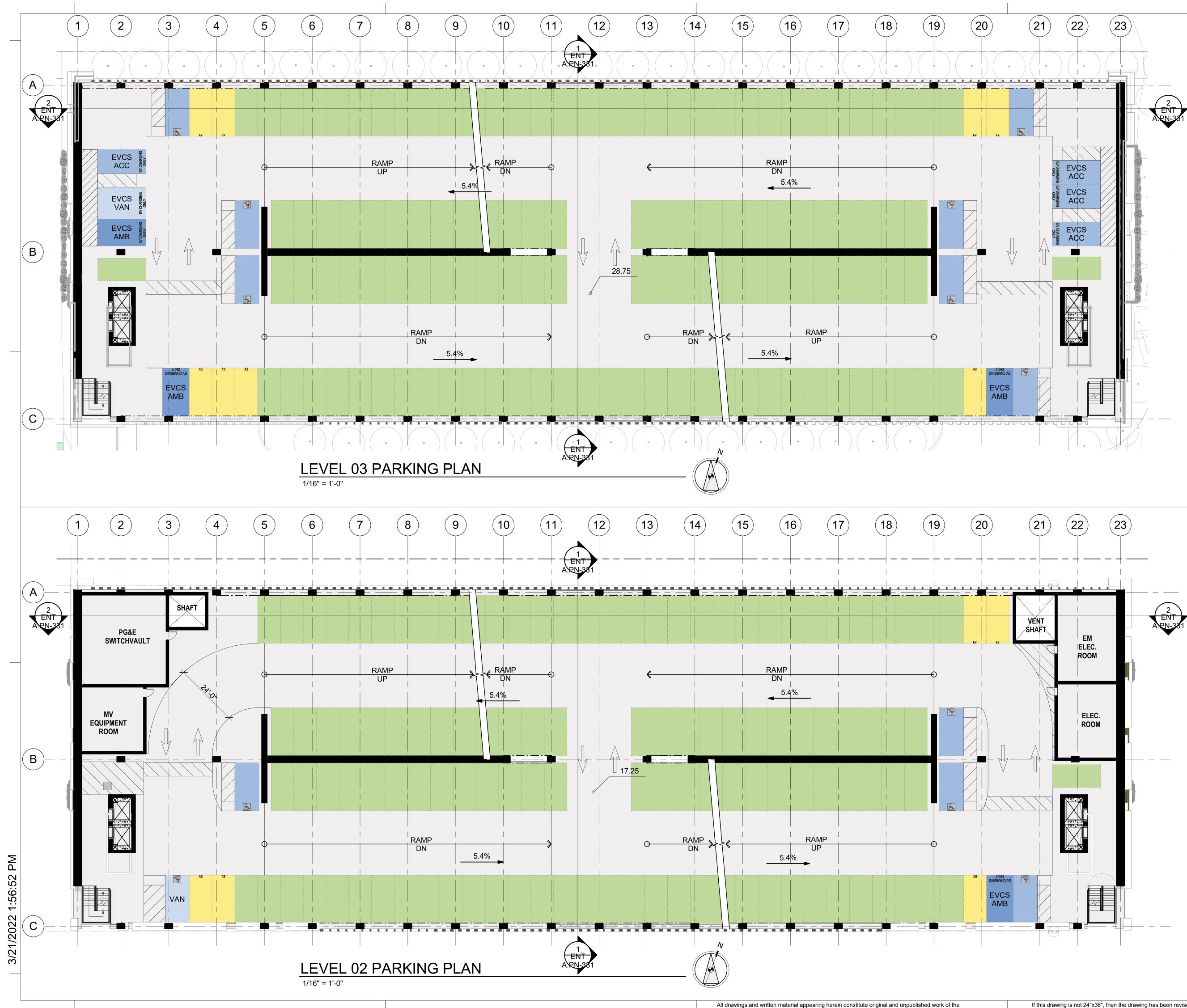


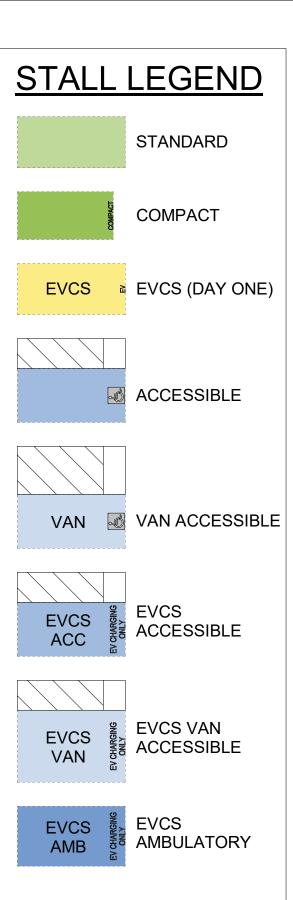
PROJECT NO .: 21-144 DATE: 03/24/2022 SCALE: 1/16" = 1'-0"

SHEET TITLE:

NORTH PARKING -FLOOR PLAN - LEVEL 1







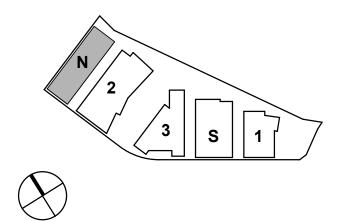


DW Burlingame Venture, LLC

1300 BAYSHORE

BURLINGAME, CALIFORNIA

KEYPLAN

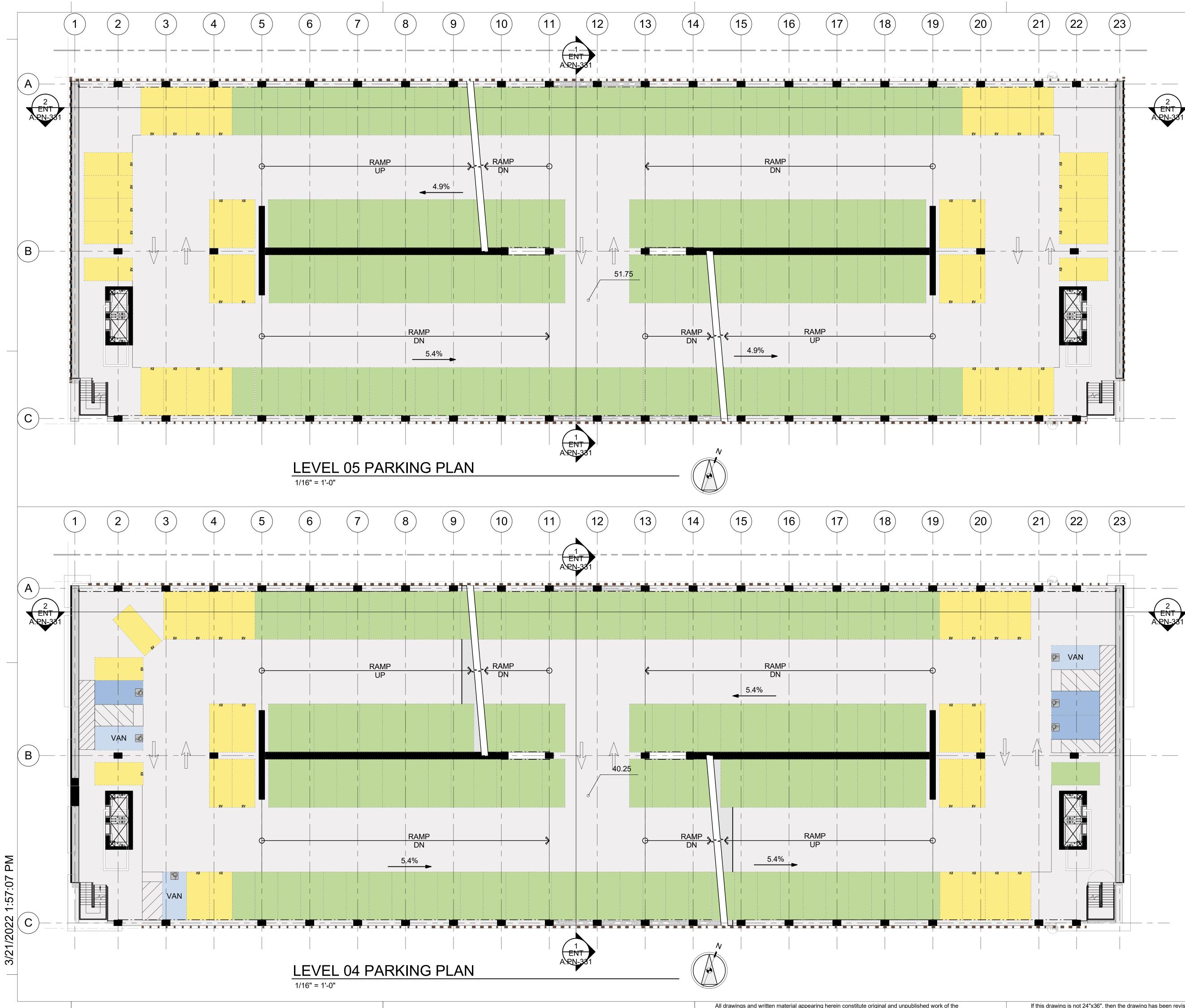


PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: 1/16" = 1'-0"

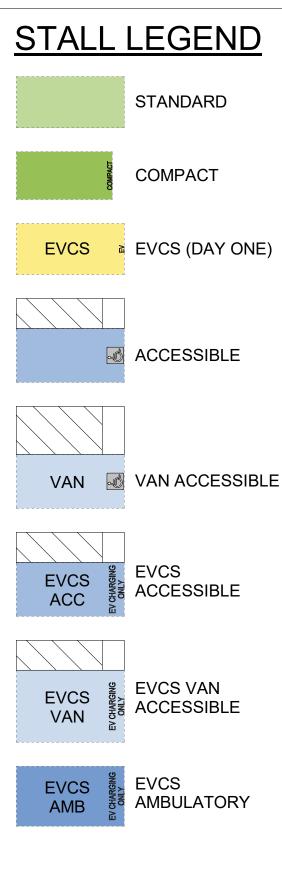
SHEET TITLE:

NORTH PARKING -FLOOR PLANS - UPPER LEVELS





If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch

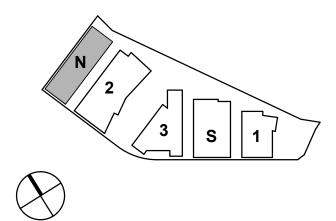




DW Burlingame Venture, LLC

1300 BAYSHORE BURLINGAME, CALIFORNIA

KEYPLAN

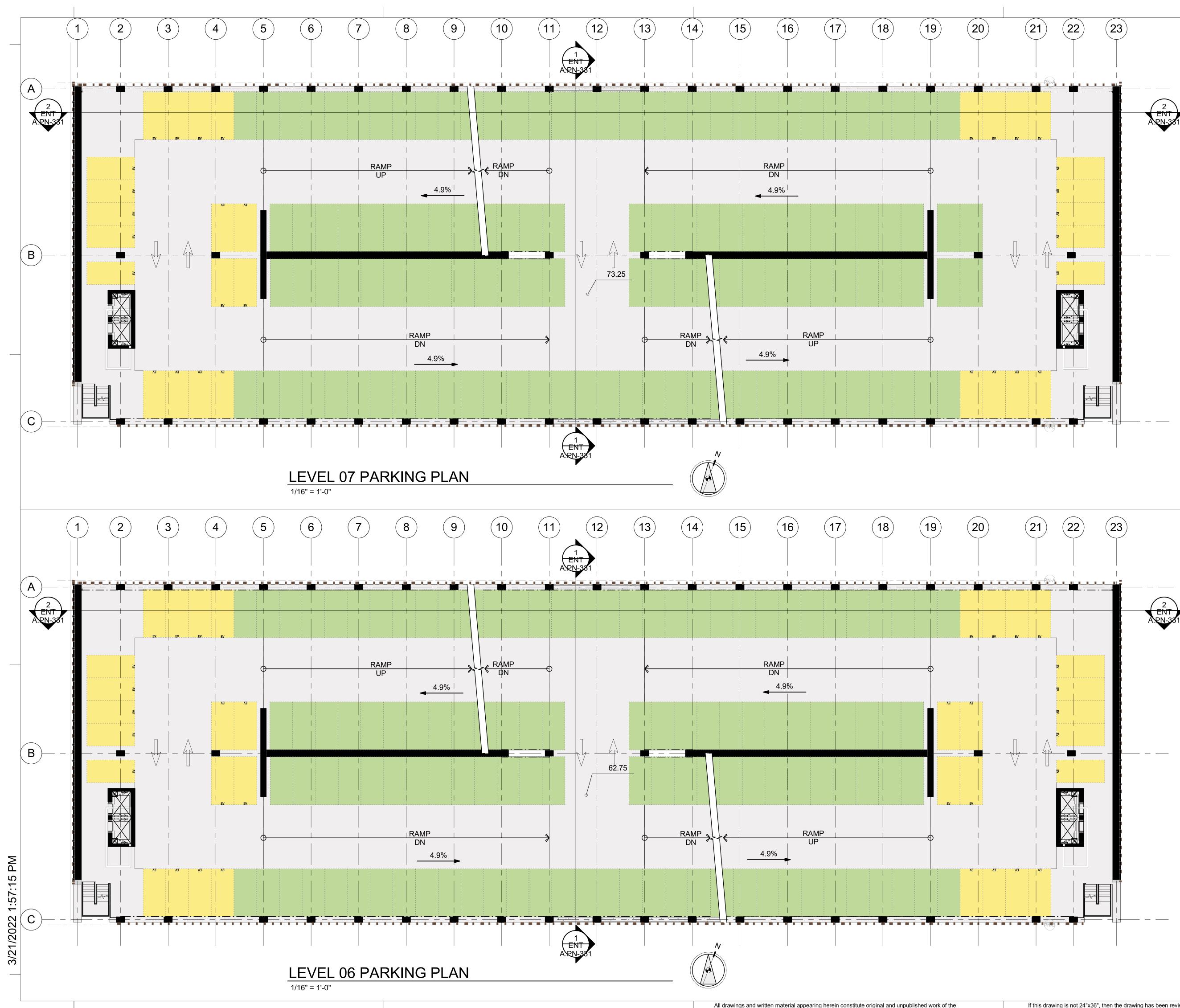


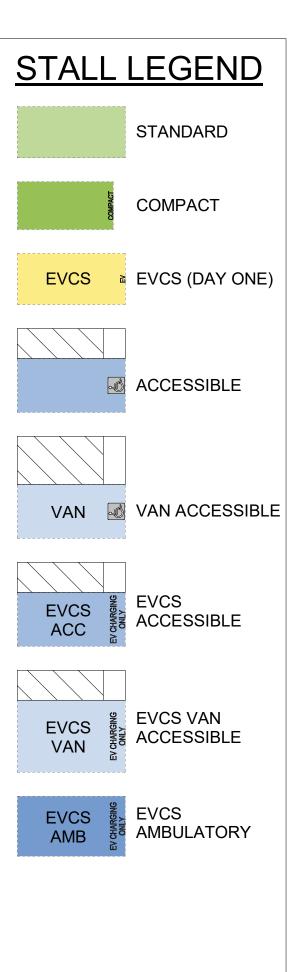
PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: 1/16" = 1'-0"

SHEET TITLE:

NORTH PARKING -FLOOR PLANS - UPPER LEVELS







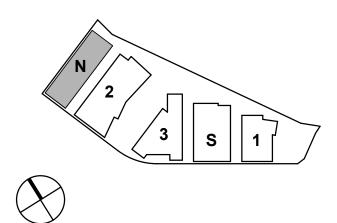


DW Burlingame Venture, LLC



KEYPLAN

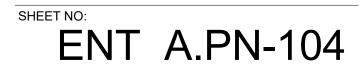
BURLINGAME, CALIFORNIA

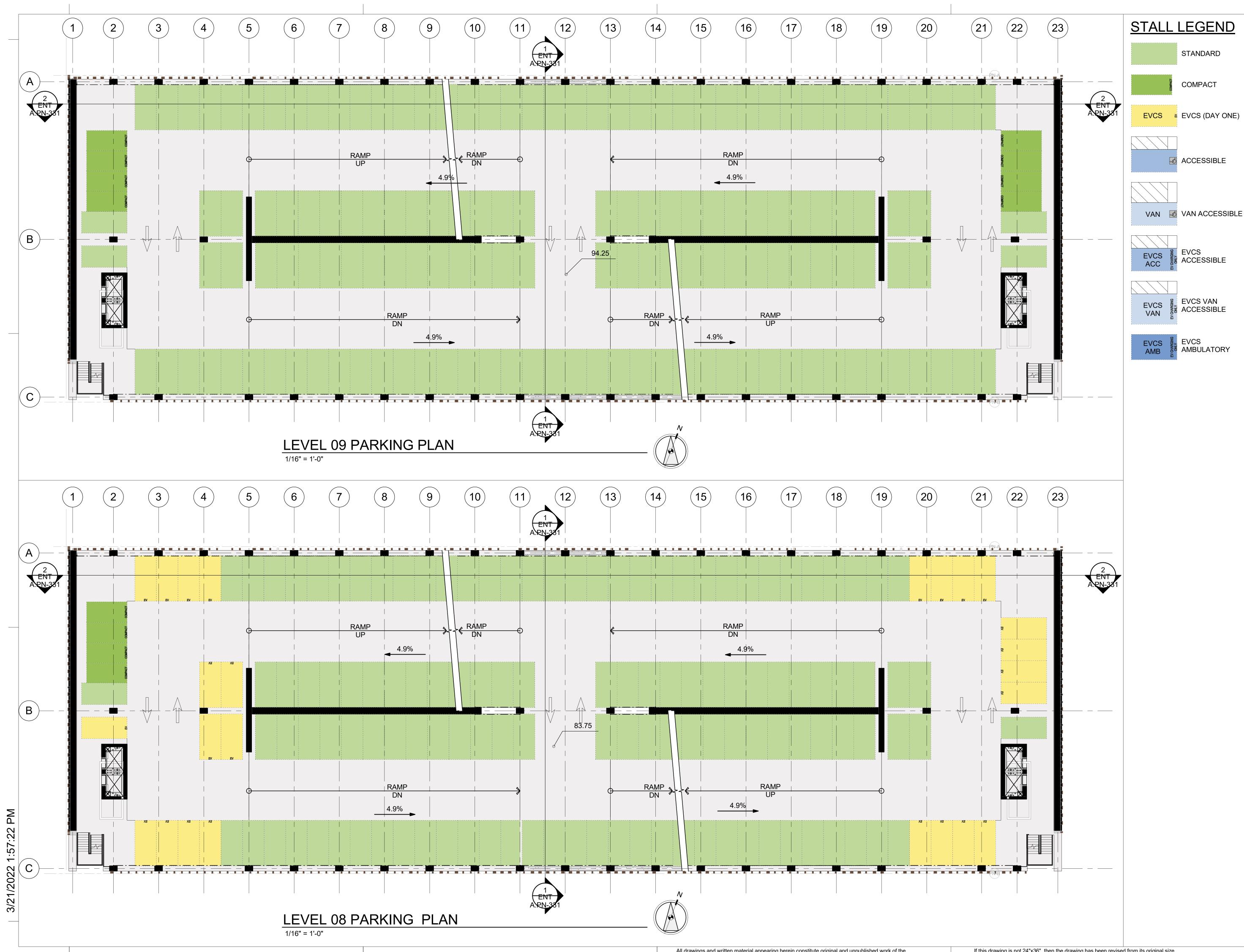


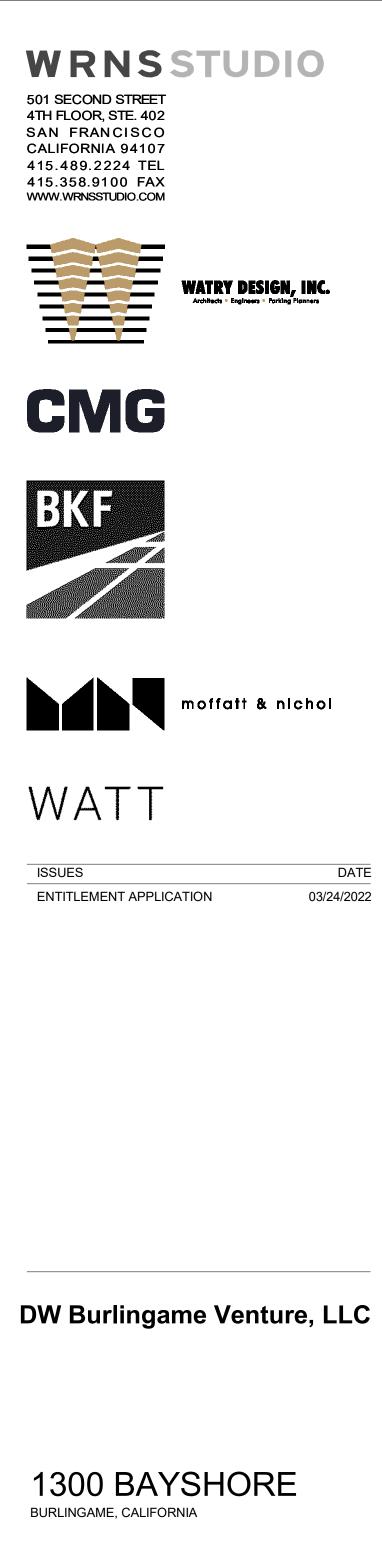
PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: 1/16" = 1'-0"

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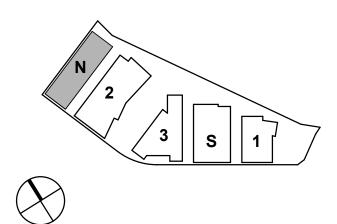
NORTH PARKING -FLOOR PLANS - UPPER LEVELS







KEYPLAN

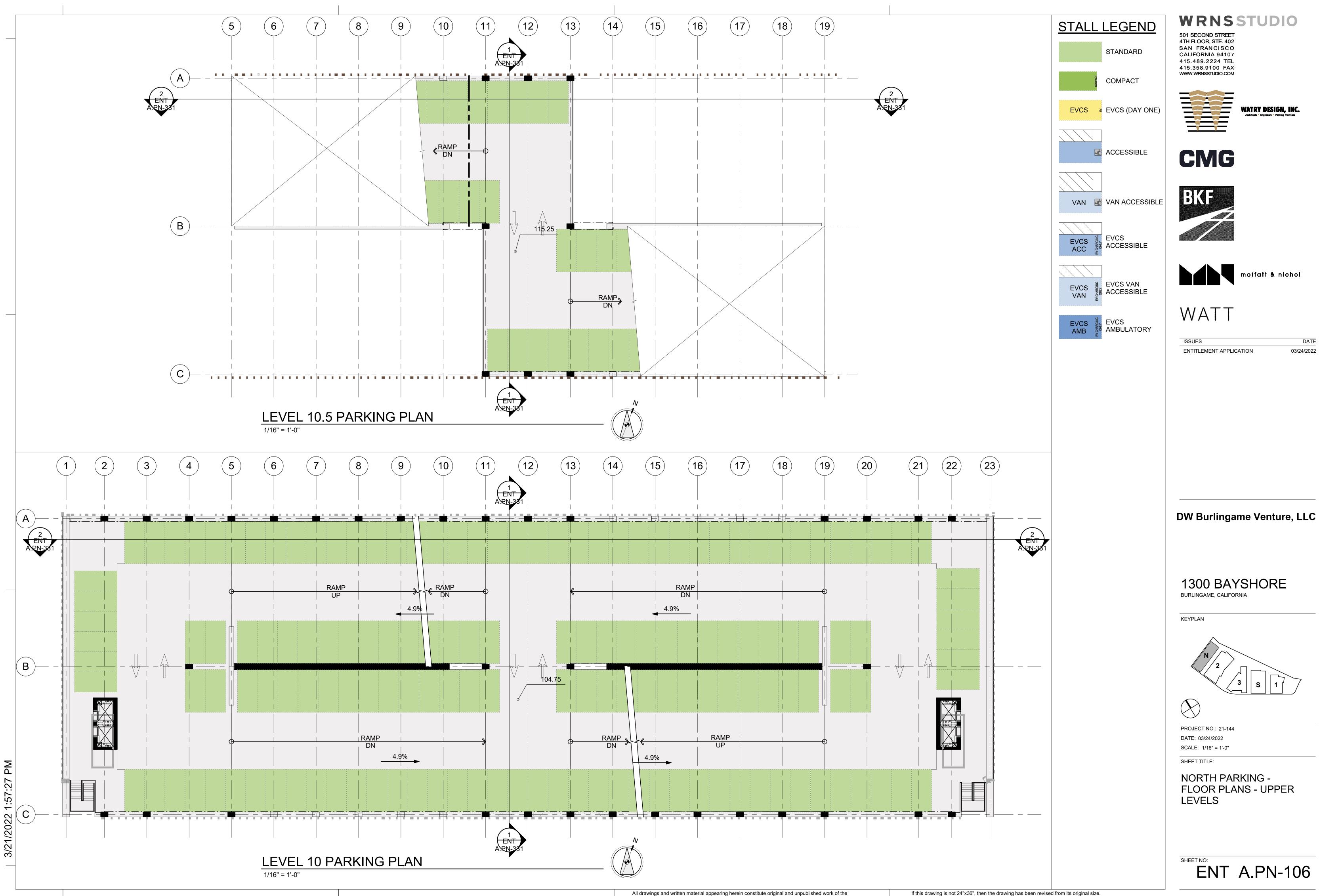


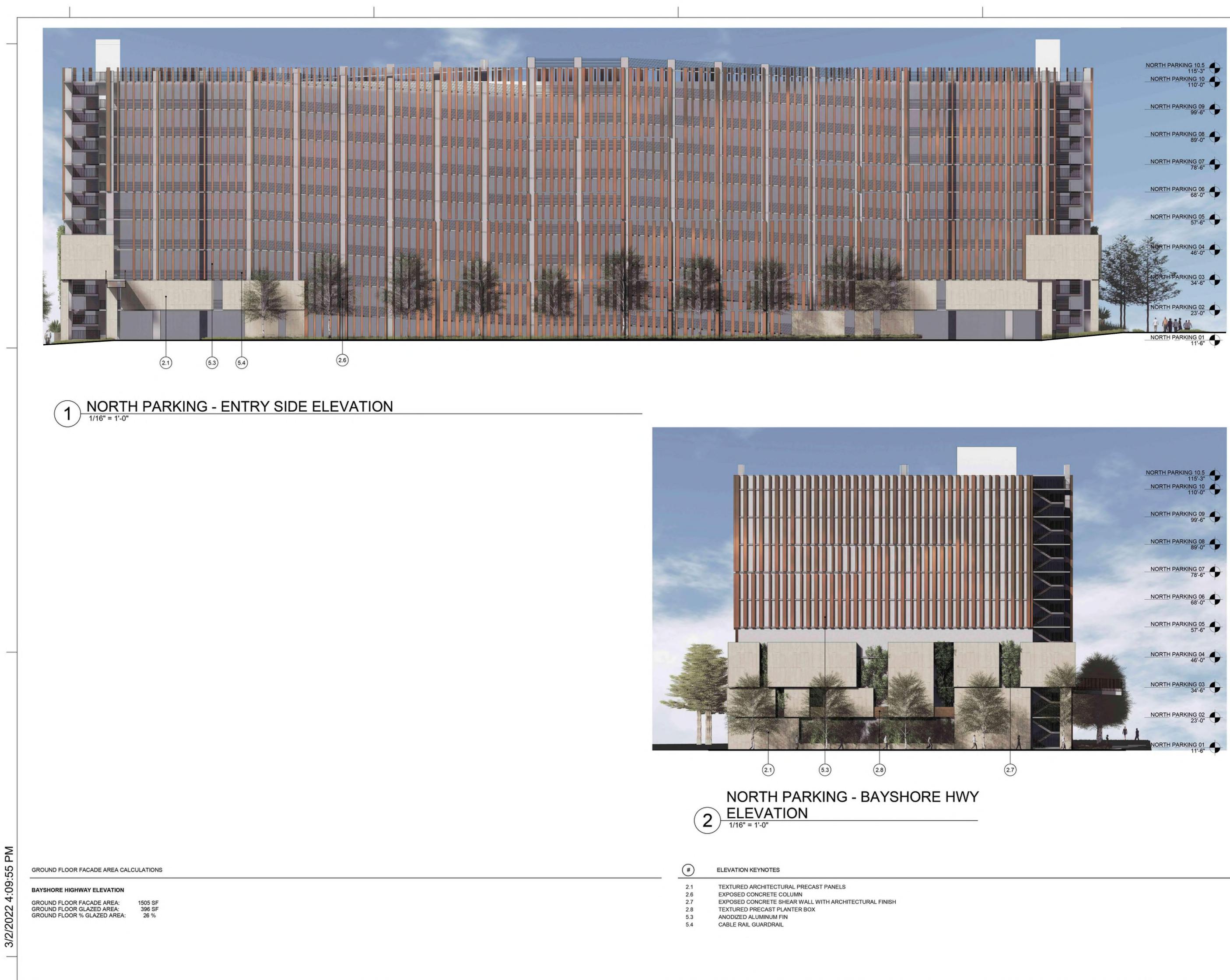
PROJECT NO.: 21-144 DATE: 03/24/2022 SCALE: 1/16" = 1'-0"

SHEET TITLE:

NORTH PARKING -FLOOR PLANS - UPPER LEVELS



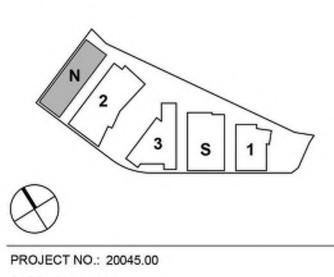




#)	ELEVATION KEYNOTE

TEXTURED	ARCHITECTURAL	PRECAST	PAN
IEATORED	ARCHITECTORAL	FREGAST	P AN





DATE: 03/04/2022 SCALE: As indicated

SHEET TITLE:

SHEET NO:

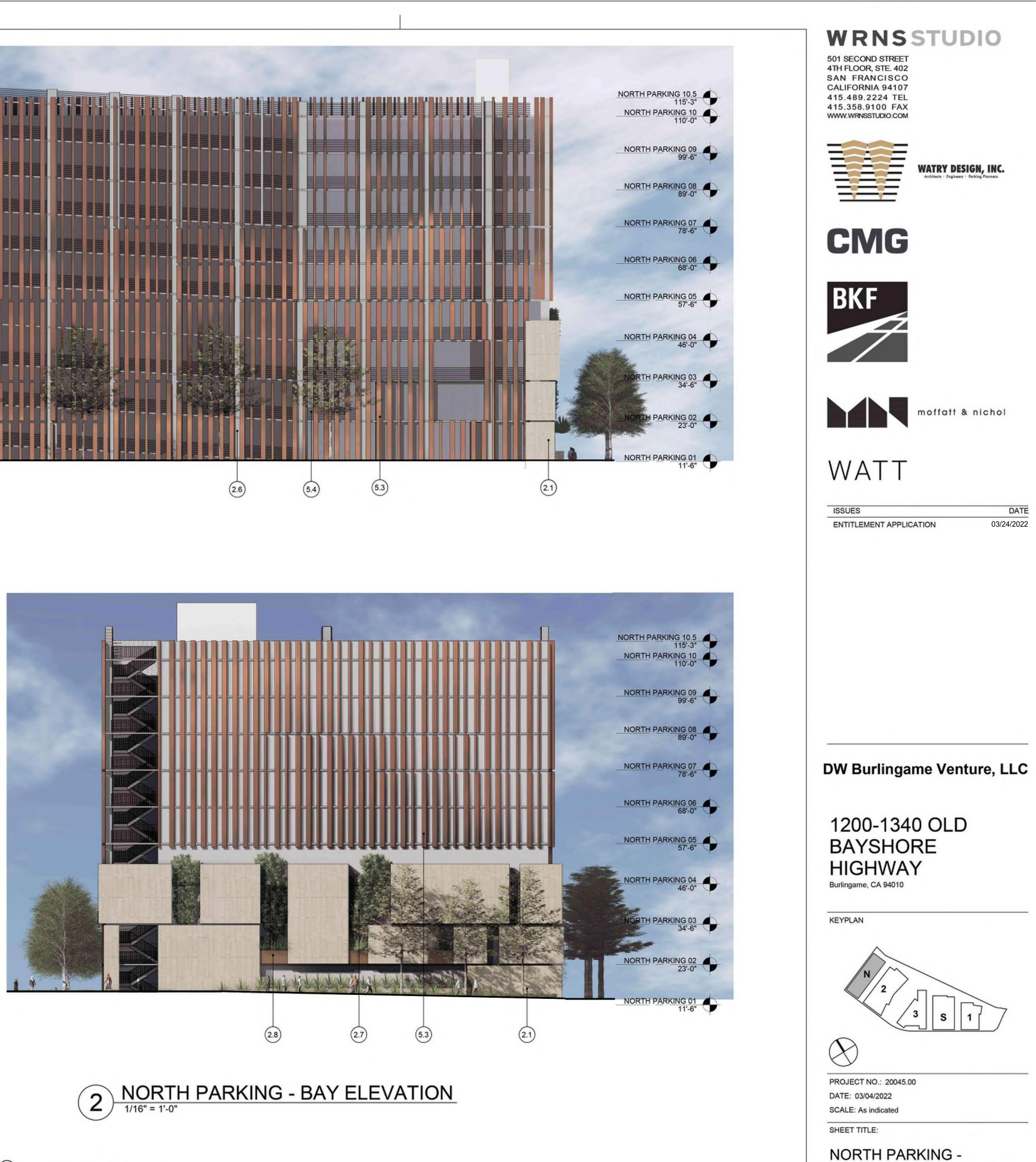
NORTH PARKING -EXTERIOR ELEVATIONS

ENT A.PN-301



NORTH PARKING - ONE BAY PLAZA ELEVATION







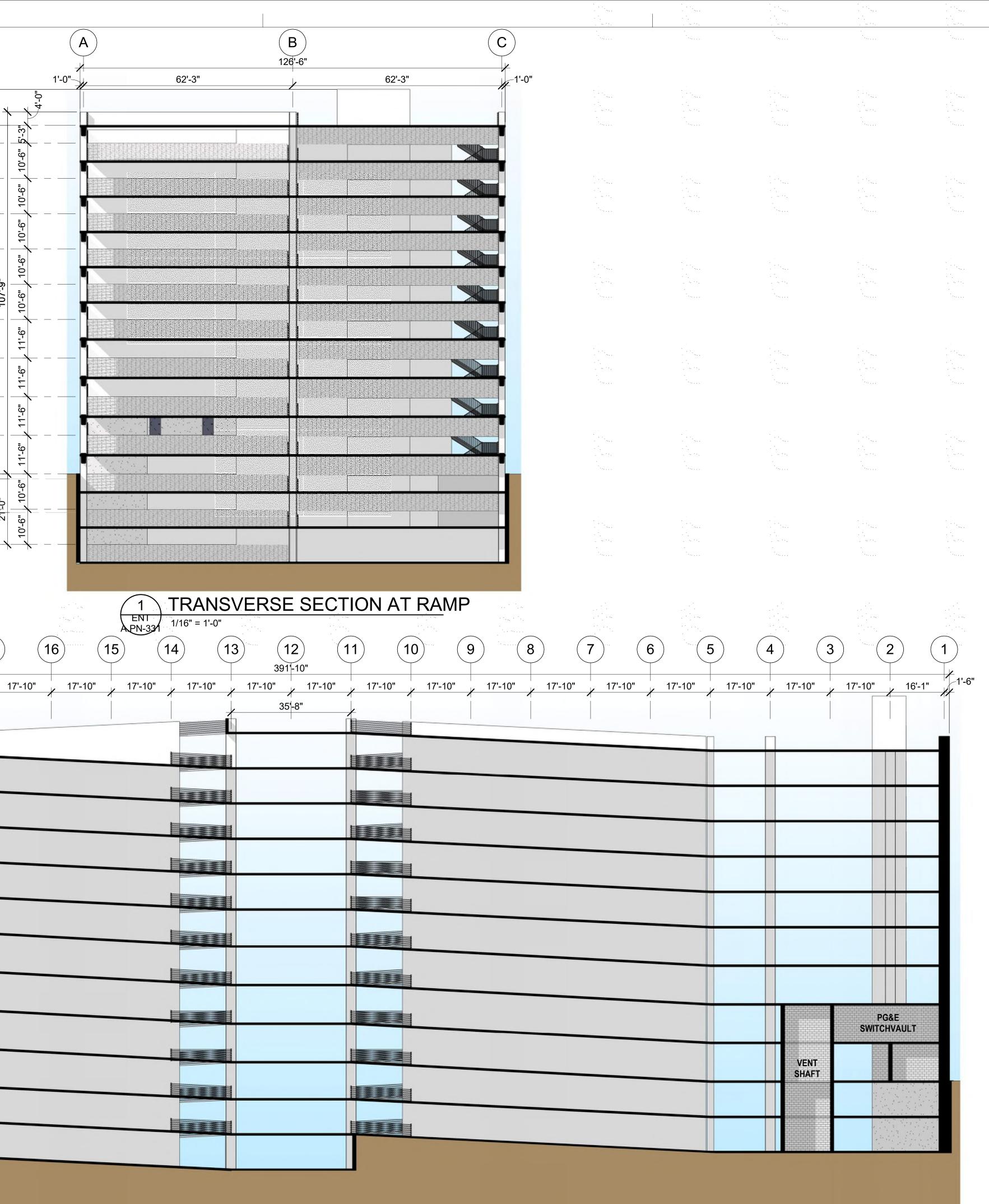
(#) ELEVATION KEYNOTES

2.1	TEXTURED ARCHITECTURAL PRECAST PANELS	
2.6	EXPOSED CONCRETE COLUMN	
2.7	EXPOSED CONCRETE SHEAR WALL WITH ARCHITECTURAL FINISH	
2.8	TEXTURED PRECAST PLANTER BOX	
5.3	ANODIZED ALUMINUM FIN	
5.4	CABLE RAIL GUARDRAIL	

EXTERIOR ELEVATIONS

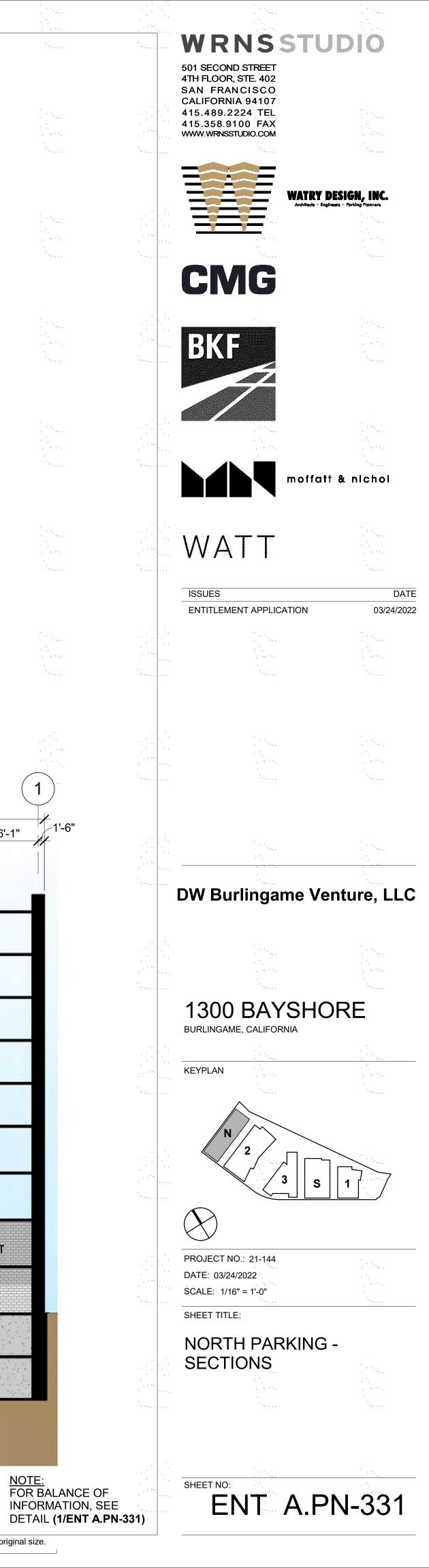


							· · · · · · · · · · · · · · · · · · ·	n Maria Antonio			
			in the second	n n Long Star Star Star	i de tra		· · · · · · · · · · · · · · · · · · ·	entry Maria			··.
									\		· · · ·
							EVEL 10.5 L= 115.25'	····.		\	
							EVEL 10 L= 110.00') L	_
							EVEL 09 L= 99.50'			105'-3" TO HIGHEST OCCUPIED FLOOR (ROOF)	_
							· · · ·	OF PAI	APET	LOOR	··.
							L= 89.00'	TOPIC	= PAR/		
							EVEL 07 L= 78.50'	<u> </u>	L L		-
						Φ_{E}^{L}	EVEL 06	ROM FF LEVEL	0" 8 TO T	3" HEST (107'-9"
******		1997		*****		1993 - A.	EVEL 05		126'-0" \AVD88	105'-3" O HIGHE	107
						Φ_{E}^{L}	EVEL 04 L= 46.00'	ZONING HEIGHT F	GHTF	BAYSHORE+10' NAVD)	···
1999 - 1999 -		· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	******			EVEL 03		FAA HEIGHT	HORE-	
								N	E F	BAYSI	
						••••••••••••••••••••••••••••••••••••••	EVEL 02 L= 23.00'			(OLD	 `~~.
						BAYSHORE	EVEL 01	······			···· \
					EL=	10.00'	EVEL B1 EL= 1.00'				211-0"
						0.00'	EVEL B2 EL= -9.50'		1.		544. 1947 - C
				e Marine	en de la construcción de la constru La construcción de la construcción d	₩	EL= -9.50'	·····			\
		e Source		(23)	(22) (21)	(20)	(19)	/	18)	(1	7
				*							
			→ LEVEL 10.5	1'-6"16'	-1" 14'-0" 21'-	-8" / 17	'-10" / 17	'-10"	$+\frac{17}{17}$	<u>'-10"</u>	/ ¹⁷
			• LEVEL 10.5 EL= 115.25'								
			● LEVEL 10 EL= 110.00'					-			
			● LEVEL 09 EL= 99.50'			_					
i se tri S Santa			• LEVEL 08 EL= 89.00'								
			• LEVEL 07 EL= 78.50'								
			● <u>LEVEL_06</u> EL= <u>68.00</u> '			-					
			• LEVEL 05 EL= 57.50'								
			• LEVEL 04 EL= 46.00'								
			€ <u>LEVEL 03</u> EL= 34.50'		EM	_					
					ELEC. ROOM						
			€ LEVEL 02 EL= 23.00'		VENT SHAFT						
	РМ	OLD BAYSH									
	7:43	EL= 10.00'	• EL= 1.00'								
	1:57	EL= 0.00'	€ <u>LEVEL B2</u> EL= -9.50'								
	2022										
- -	3/21/2022 1:57:43										
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2 LONGITUDINAL SECTION AT RAMP

All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.



If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch

<u>NOTE:</u> FOR BALANCE OF INFORMATION, SEE