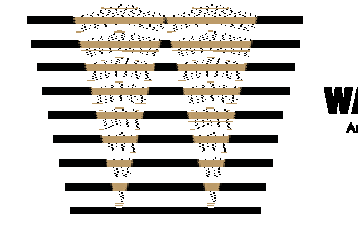




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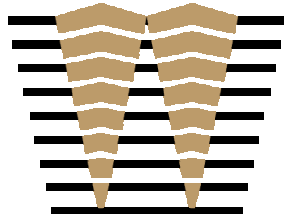
VOLUME 3 OF 3: BUILDING 1, 2, 3, SOUTH PARKING & NORTH PARKING

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BUILDING 1 SOUTH

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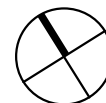
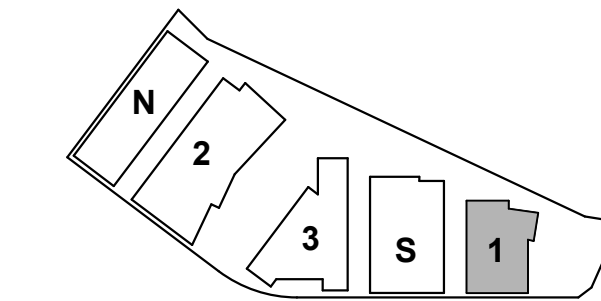
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BUILDING 1 - COVER

SHEET NO:

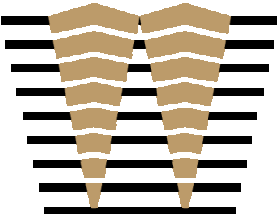
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CODE SUMMARY		
TYPE OF CONSTRUCTION	TYPE IA RISK CATEGORY III SEISMIC IMPORTANCE FACTOR 1.25	602.2 TABLE 1604.5 1613
REQUIRED FIRE RESISTIVE RATINGS	EXTERIOR BEARING WALLS 3 HOUR INTERIOR BEARING WALLS 3 HOUR EXTERIOR NON-BEARING WALLS SEE "FIRE SEPARATION DISTANCE" BELOW INTERIOR NON-BEARING WALLS 0 HOUR STRUCTURAL FRAME 3 HOUR FLOORS -CEILING/FLOORS 2 HOUR ROOF -CEILINGS/ROOFS 1 1/2 HOUR STAIRWAY ENCLOSURE SEE "FLOOR OPENINGS & SHAFTS" BELOW SHAFT ENCLOSURES SEE "FLOOR OPENINGS & SHAFTS" BELOW	TABLE 601
OCCUPANCY CLASSIFICATION	GROUP B: OFFICE GROUP A: ASSEMBLY OCCUPANCIES ARE SEPARATED THIS BUILDING IS DESIGNED FOR POTENTIAL FUTURE GROUP L OCCUPANCY AS PART OF TENANT FITOUT UNDER SEPARATE PERMIT	CBC CH. 3 CBC CH. 5 508.3
ALLOWABLE STORIES	B OCCUPANCY: UL STORIES A-3 OCCUPANCY: UL STORIES L OCCUPANCY: 20 STORIES	TABLE 504.4
ALLOWABLE HEIGHT	B OCCUPANCY: UL L OCCUPANCY: UL	TABLE 504.3
HAZARDOUS MATERIALS QUANTITY PER LABORATORY SUITE	STORY % OF MAX. # OF LAB SUITES ABOVE GRADE PER LAB SUITE PER FLOOR 1-3 100 UL 4-6 75 20 7-10 50 16 11-14 50 8 UL = UNLIMITED NP = NOT PERMITTED	CBC CH. 4 TABLE 453.7.2.1
ACTUAL AREA	LEVEL 1: 37,400 SF LEVEL 2: 29,300 SF LEVEL 3-10: 34,800 SF LEVEL 11: 23,100 SF ROOF: 4,800 SF TOTAL ABOVE GRADE BUILDING AREA = 373,000 SF ABOVE GRADE BUILDING AREA B OCCUPANCY: UL AREA TYPE IA L OCCUPANCY: UL AREA TYPE IA A OCCUPANCY: UL AREA TYPE IA M OCCUPANCY: UL AREA TYPE IA	CBC CH. 5 TABLE 504.3 TABLE 504.4 506.2.4 506.3 508.4 TABLE 506.2
ACTUAL STORIES ACTUAL HEIGHT	11 STORIES ABOVE GRADE 185'-0	
FIRE SEPARATION DISTANCE	EXTERIOR NON BEARING WALLS GROUPS A, & B 0 FT <X < 5 FT = 1 HR 5 FT ≤X < 10 FT = 1 HR 10 FT ≤X < 30 FT = 1 HR 30 FT ≤X = 0 HR GROUP L 0 FT <X < 5 FT = 3 HR 5 FT ≤X < 10 FT = 3 HR 10 FT ≤X < 30 FT = 2 HR 30 FT ≤X = 0 HR	CBC CH. 6 TABLE 602
EXTERIOR WALL OPENINGS	MAXIMUM AREA OF EXTERIOR WALL OPENINGS FIRE SEPARATION DISTANCE 0'-3' 3'-5' 5'-10' 10'-15' 15'-20' 20'-25' 25'-30' >30' NP NP 10% 15% 25% 45% 70% NL UNPROTECTED NP 15% 25% 45% 75% NL NL NL PROTECTED NP 15% 25% 45% 75% NL NL NL / UNPROTECTED & SPRINKLERED NP = NOT PERMITTED NL = NO LIMIT	CBC CH. 7 TABLE 705.8
FLOOR OPENINGS & SHAFTS	4 STORIES OR MORE = 2 HR LESS THAN 4 STORIES = 1 HR	CBC CH. 7 713.4
EXITING & OCCUPANT LOAD	SEE LIFE SAFETY PLANS ALL EXITS ARE ACCESSIBLE	CBC CH. 10 1004
EXITS REQUIRED	SEE LIFE SAFETY PLANS	CBC CH. 10 1006
EXITS PROVIDED	SEE LIFE SAFETY PLANS	CBC CH. 10 1006
TRAVEL DISTANCE	GROUP B OCCUPANCY: *300 FT GROUP L OCCUPANCY: *200 FT GROUP A OCCUPANCY: *250 FT GROUP S2 OCCUPANCY: *400 FT * INCREASE IN ALLOWABLE TRAVEL DISTANCE FOR BUILDINGS EQUIPPED WITH A SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1	CBC CH. 10 TABLE 1017.2
AREA OF REFUGE	NO AREA OF REFUGE IS REQUIRED	CBC CH. 10 1009.3.3
ELEVATORS	ONE ELEVATOR SHALL PROVIDE EMERGENCY SERVICES TO ALL LANDINGS. THE ELEVATOR CAR SHALL ACCOMMODATE AN AMBULANCE STRETCHER 24"x84" WITH 5-INCH RADIUS CORNERS, IN THE HORIZONTAL OPEN POSITION, AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. ELEVATOR MACHINE ROOMS SHALL HAVE AN INDEPENDENT VENTILATION OR AC SYSTEM	CBC CH. 30 3002.4 3006.2
FIRE PROTECTION	AUTOMATIC FIRE SPRINKLERS PROVIDED IN ACCORDANCE WITH SECTION 903.3.1.1 STANDPIPE SYSTEMS IN ACCORDANCE WITH SECTION 905 PORTABLE FIRE EXTINGUISHERS WITH A MINIMUM CLASSIFICATION OF 2A:10BC PROVIDED IN ACCORDANCE WITH SECTION 906 FIRE ALARM SYSTEM WITH UL CENTRAL STATION, FULLY ADDRESSABLE SYSTEM PROVIDED IN ACCORDANCE WITH NFPA 72 (DEFERRED SUBMITTAL) EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM PER SECTION 907.5.2.2 FIRE PUMP (W/ EMERGENCY BACK-UP GENERATOR & 12 HOURS OF FUEL STORAGE CAPACITY) PROVIDED FOR SPRINKLERS AND STANDPIPES	CBC CH. 9 CFC CH. 9
EMERGENCY RESPONDER RADIO COVERAGE SYSTEM (ERRCS)	INDEPENDENT ERRCS SYSTEM PROVIDED THROUGHOUT BUILDING AND SUBTERRANEAN GARAGE, BUILT-IN OSCILLATION PROTECTION SYSTEM, TUNING AND ISOLATION OF THE SYSTEM IS REQUIRED TO ELIMINATE INTERFERENCE WITH THE MACRO RADIO INFRASTRUCTURE, AND SIGNALS FROM NEARBY BUILDINGS.	CBC CH. 9 916.1 CFC CH. 5 510.1
CEQA	LOW-FLOW PLUMBING FIXTURES WILL BE USED THROUGHOUT PROJECT, IN COMPLIANCE WITH CBC, CALGREEN AND LEED REQUIREMENTS	
<p>PLEASE NOTE: THE OFFICE BUILDINGS IN THIS PROJECT ARE CORE-SHELL ONLY, AND WILL BE SUBMITTED AS B-GROUP OCCUPANCY BUILDINGS.</p> <p>THE PROJECT ANTICIPATES POTENTIAL FUTURE LABORATORY USE, WITH L-GROUP OCCUPANCY, AS PART OF FUTURE TENANT FITOUTS UNDER SEPARATE PERMITS.</p> <p>RELEVANT REQUIREMENTS FOR B-GROUP AND L-GROUP OCCUPANCY ARE INCORPORATED INTO THE DESIGN WHERE CORE-SHELL COMPONENTS OF THE BUILDING ARE AFFECTED.</p>		

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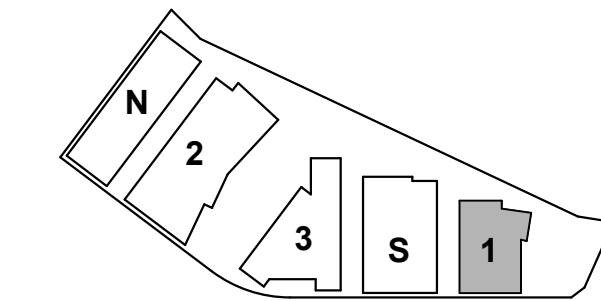
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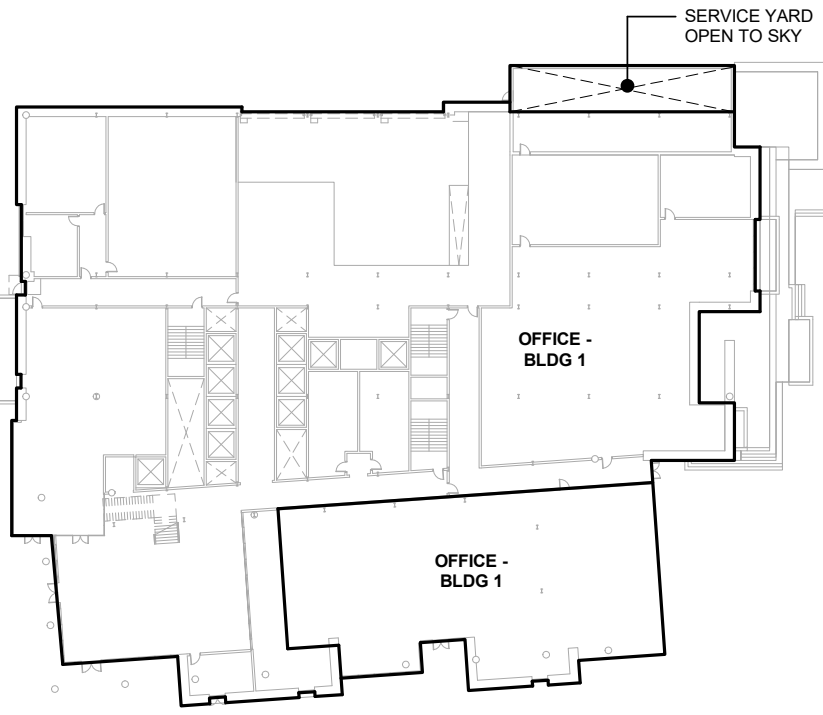
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BUILDING 1 - CODE & AREA SUMMARY

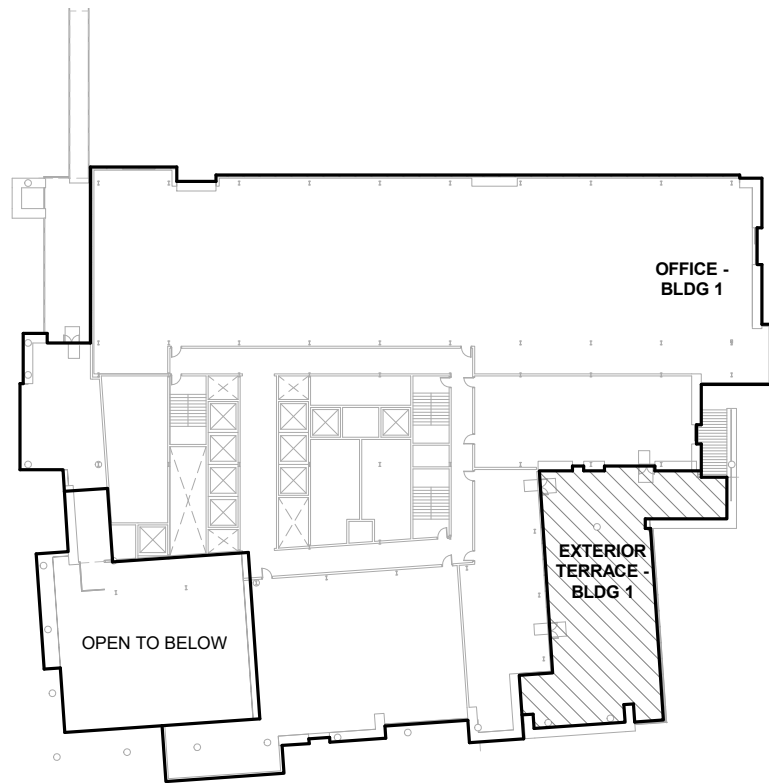
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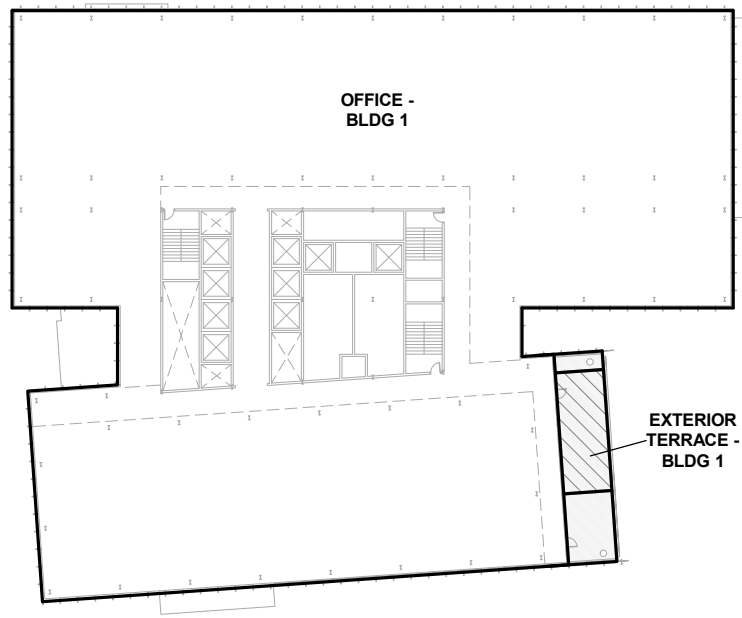
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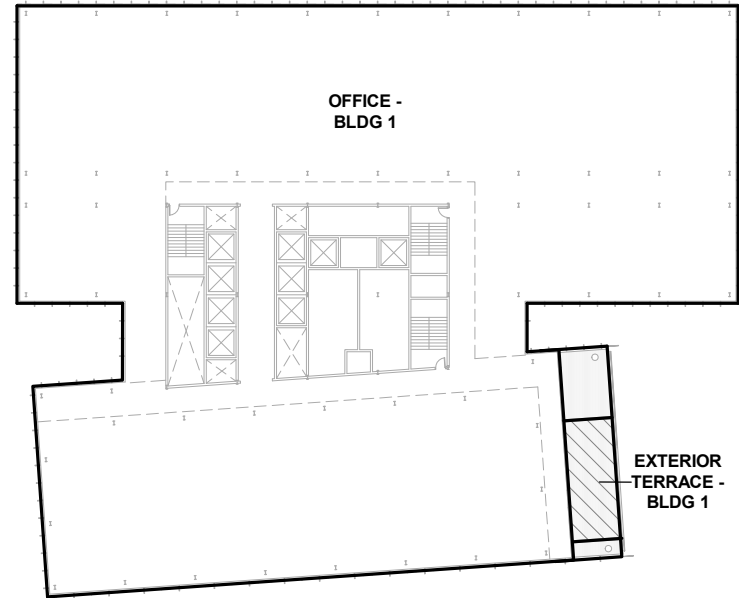
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1" = 60'-0"



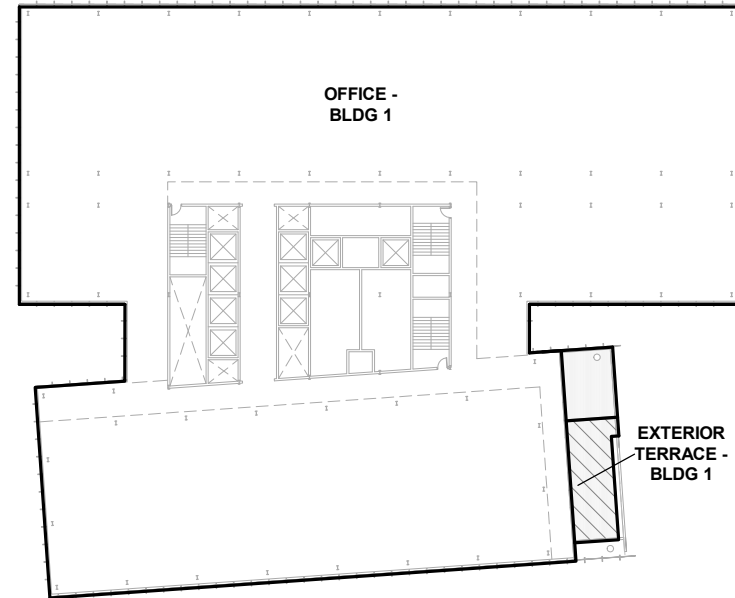
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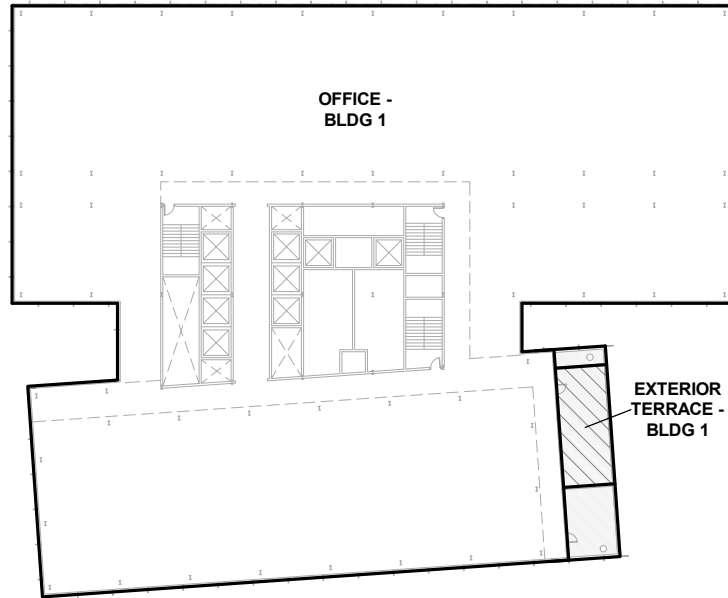
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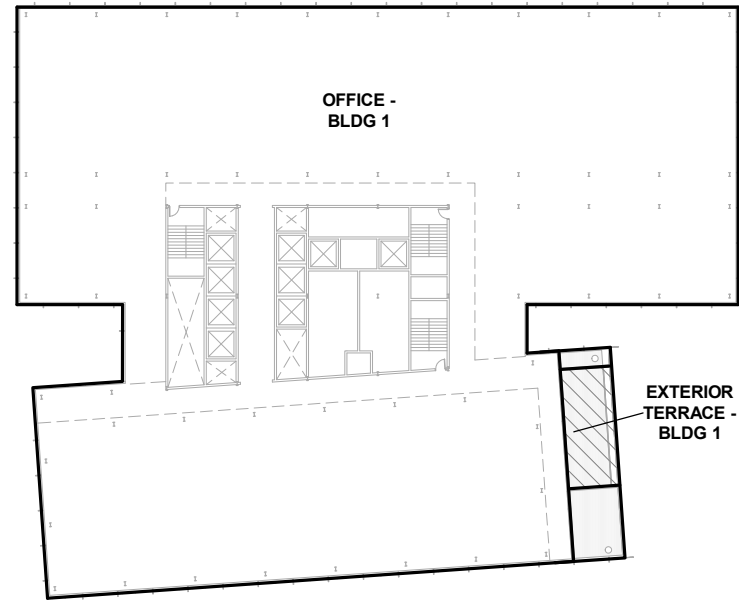
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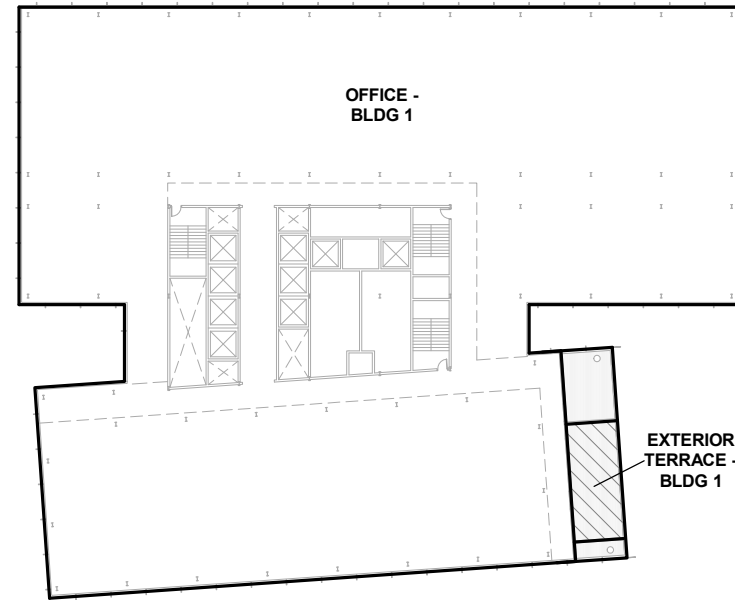
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1" = 60'-0"



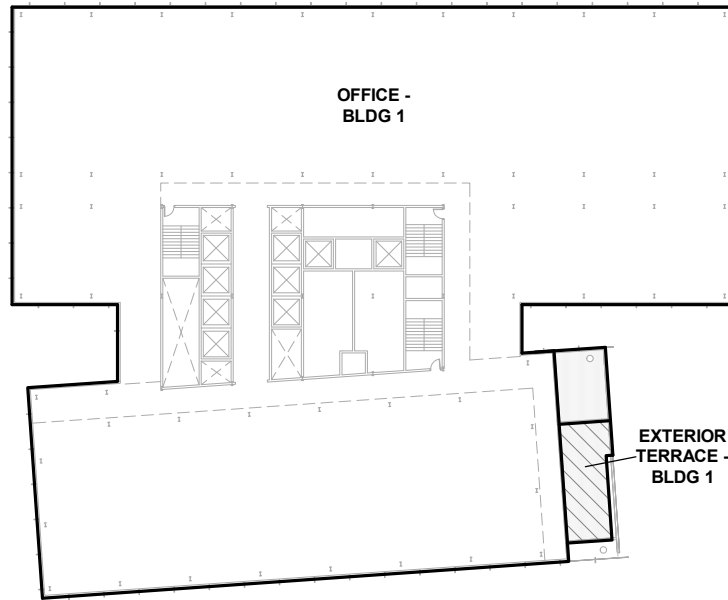
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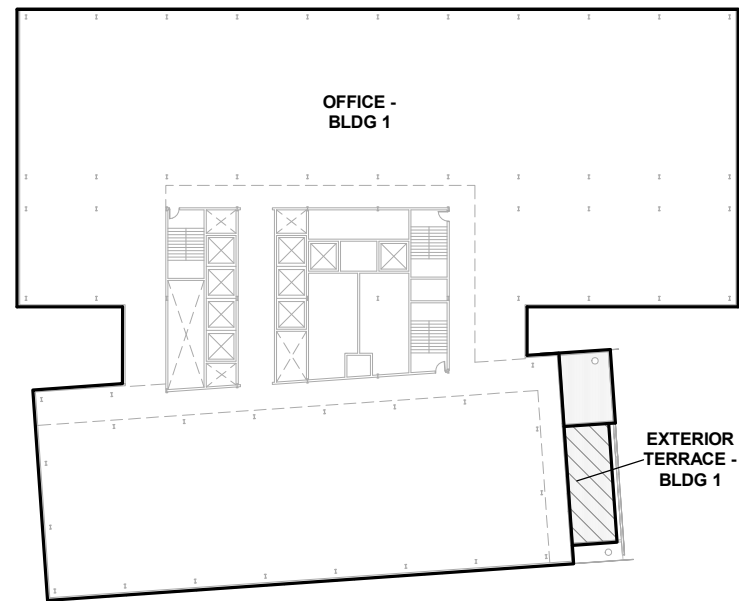
7 GROSS AREA - LEVEL 7
1" = 60'-0"



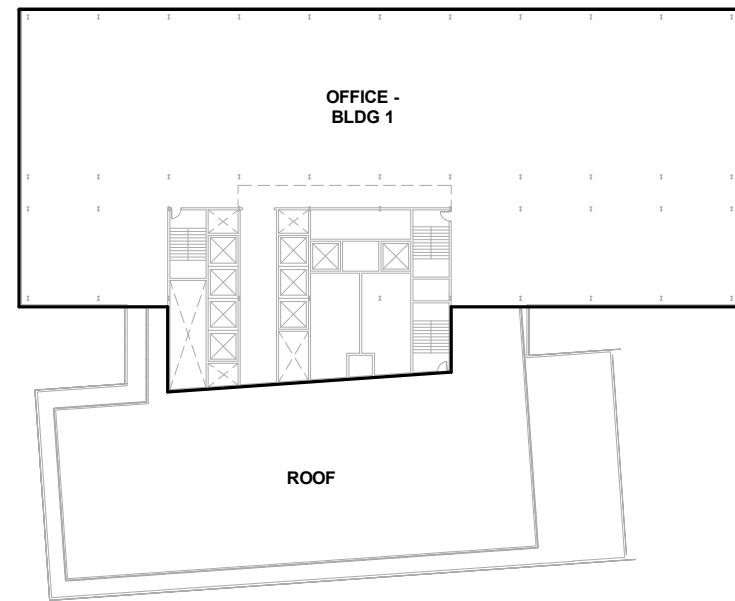
8 GROSS AREA - LEVEL 8
1" = 60'-0"



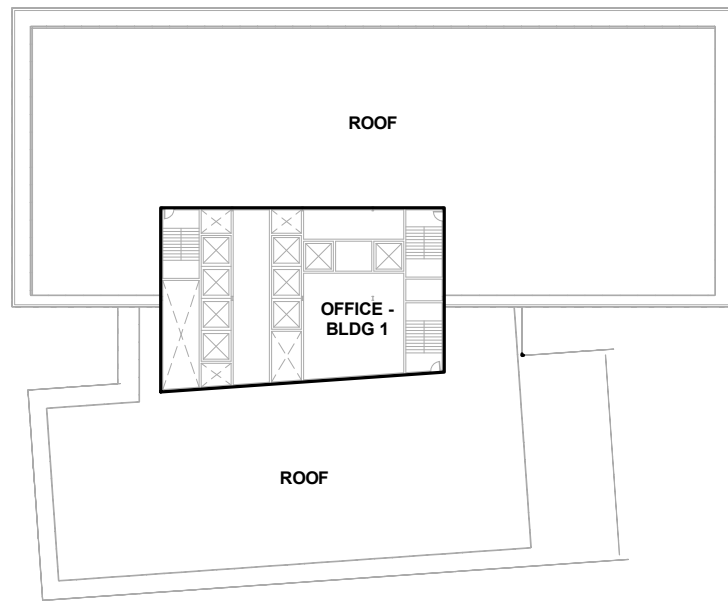
9 GROSS AREA - LEVEL 9
1" = 60'-0"



10 GROSS AREA - LEVEL 10
1" = 60'-0"



11 GROSS AREA - LEVEL 11
1" = 60'-0"



12 GROSS AREA - ROOF
1" = 60'-0"

LEGEND

*REFER TO SHEET ENT G-002 FOR ALL BUILDING AREAS

GROSS BUILDING AREA

GROSS BUILDING AREA IS DEFINED AND CALCULATED PER BURLINGAME MUNICIPAL CODE TITLE 25.

BURLINGAME MUNICIPAL CODE ARTICLE 8: DEFINITIONS

25.030.060.A - Determining Floor Area, Generally.

The floor area of a building shall be the sum of all floors of a building or buildings, as measured to the outside surfaces of the exterior walls of the structure or structures and including such areas as halls, stairways, covered porches and balconies, elevator shafts, service and mechanical equipment rooms and basements, cellars, and improved space in attic areas.

25.030.060.D.2 - Non-Residential Exemptions.

Exempted from floor area ratio computation for commercial development are:

- a. Chimneys, cupolas, and flag poles.
- b. Canopies at entrances to buildings.
- c. Balconies (uncovered or covered).
- d. Covered walkways and arcades.
- e. Ground level trellises.
- f. Trash enclosures.
- g. Water tanks, elevator penthouses, and other mechanical appurtenances.
- h. Fire or hose towers.
- i. Ground level service yards, if open to the sky, and which may otherwise be partially enclosed.

25.108.070 - "F" Definitions.

Floor area, gross. The total area enclosed within a building, including closets, stairways, and utility and mechanical rooms, measured from the outside face of the walls.

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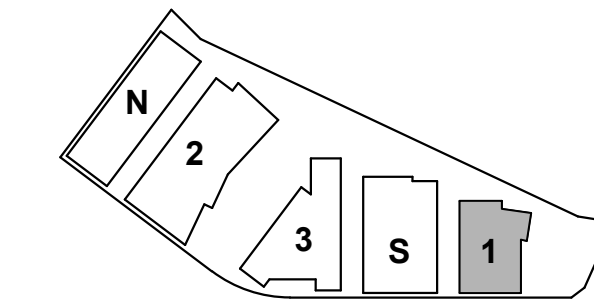
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PROJECT NO.: 20045.00

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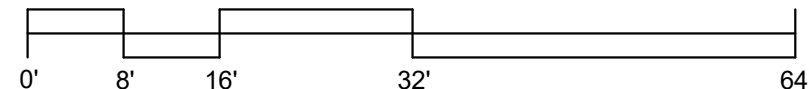
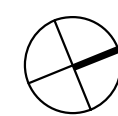
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BUILDING 1 - AREA
PLANS

SHEET NO:

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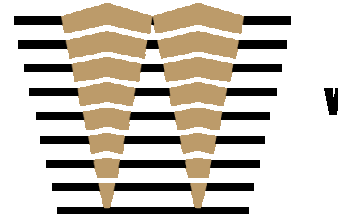


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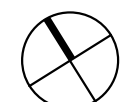
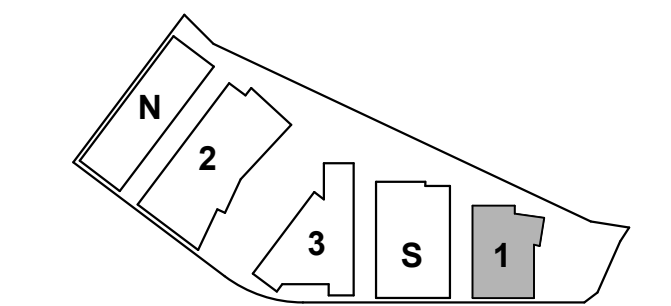
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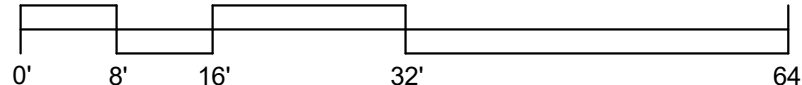
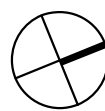
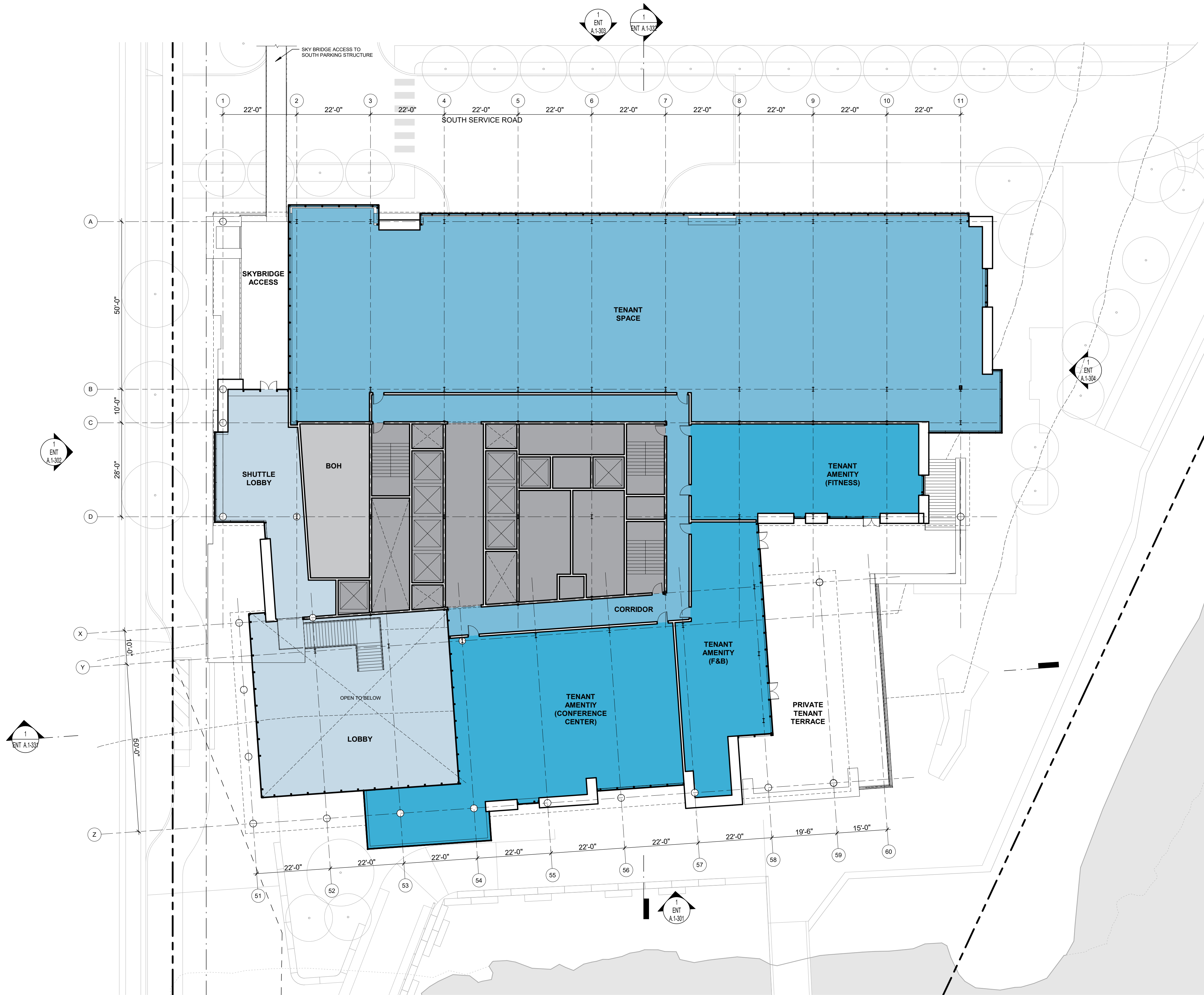
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BUILDING 1 - FLOOR
PLAN - LEVEL 1

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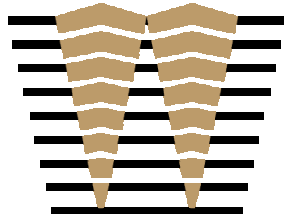


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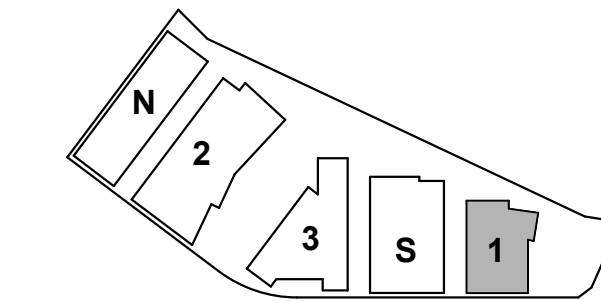
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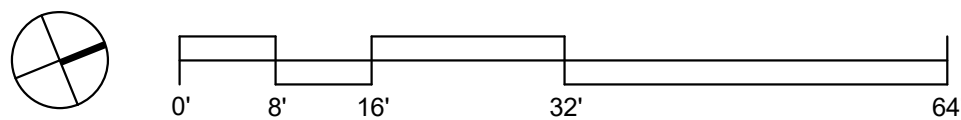
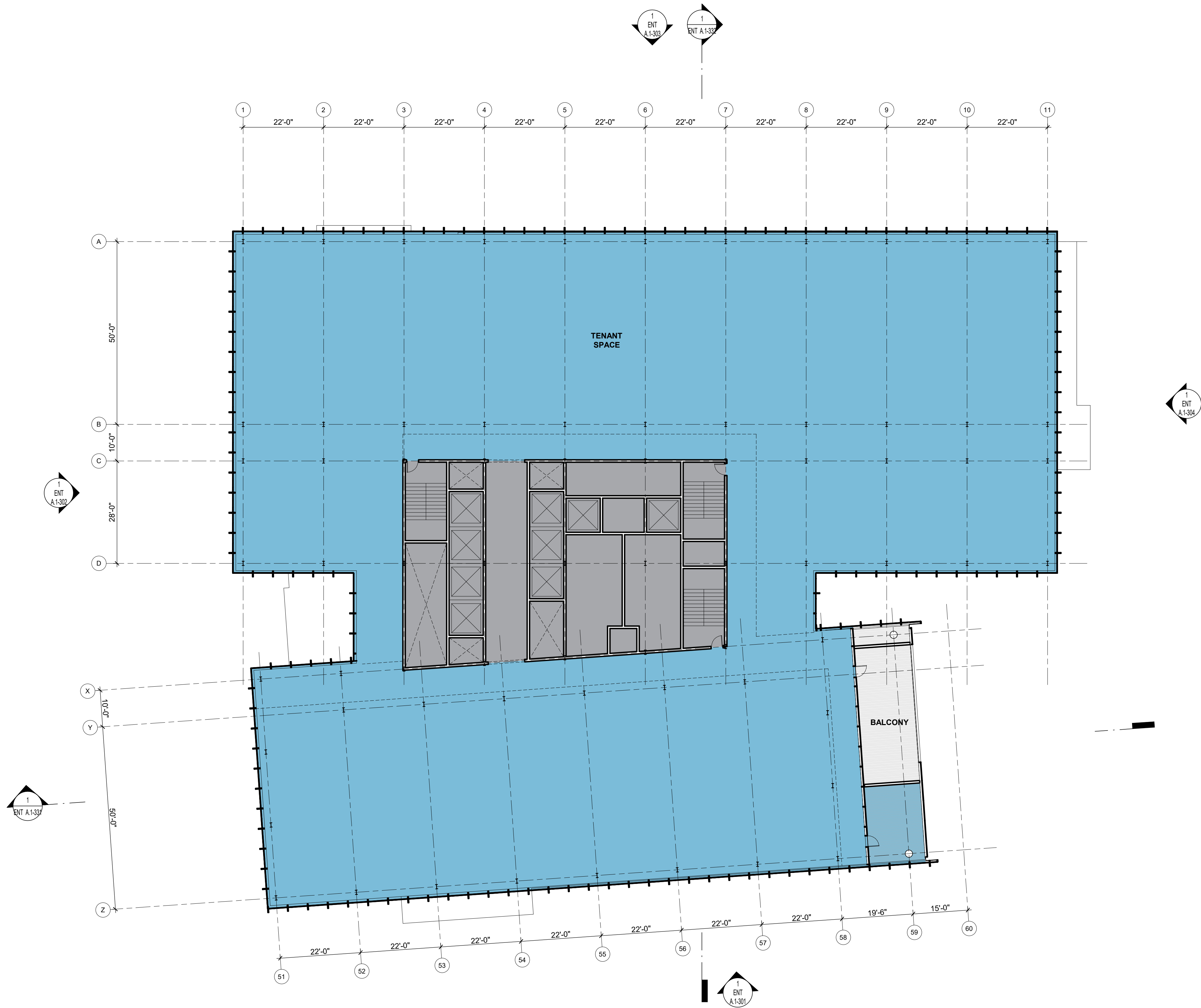
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BUILDING 1 - FLOOR
PLAN - LEVEL 2

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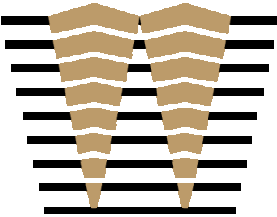


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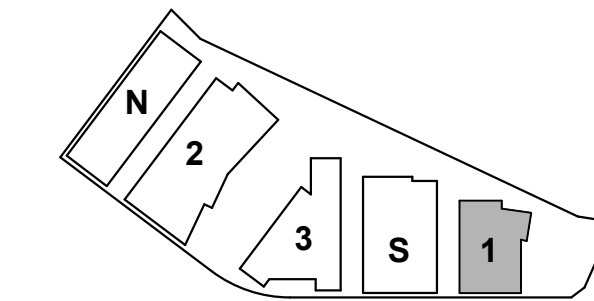
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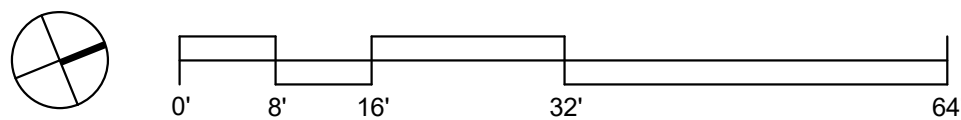
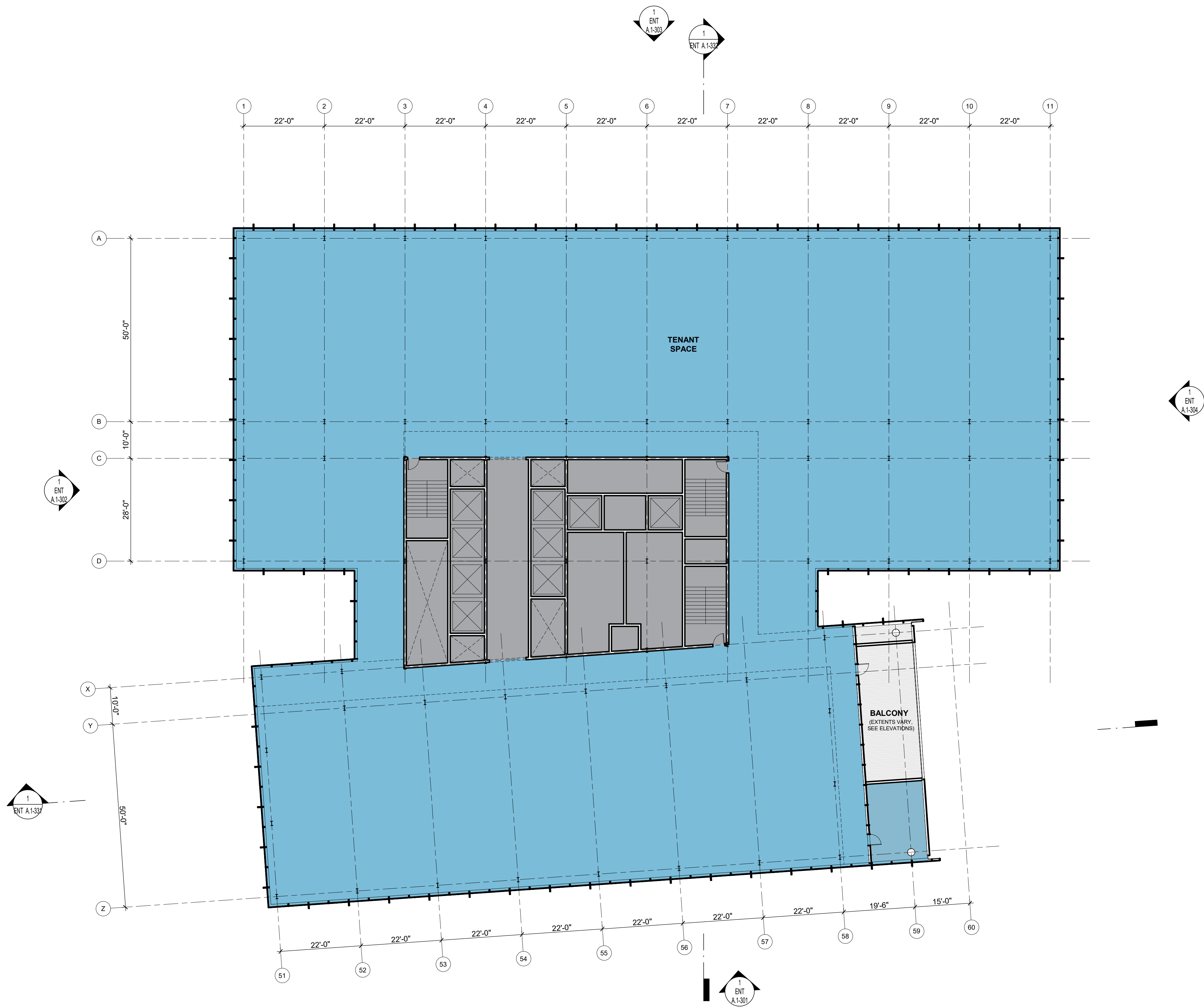
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BUILDING 1 - FLOOR
PLAN - LEVEL 3

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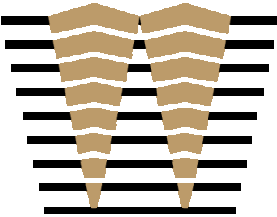


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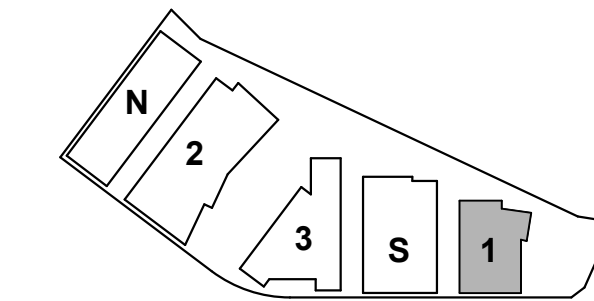
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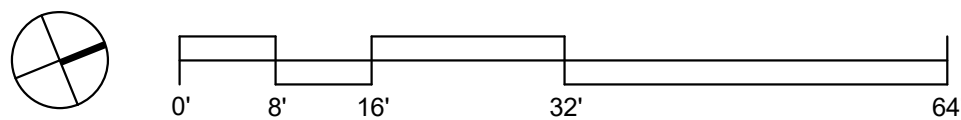
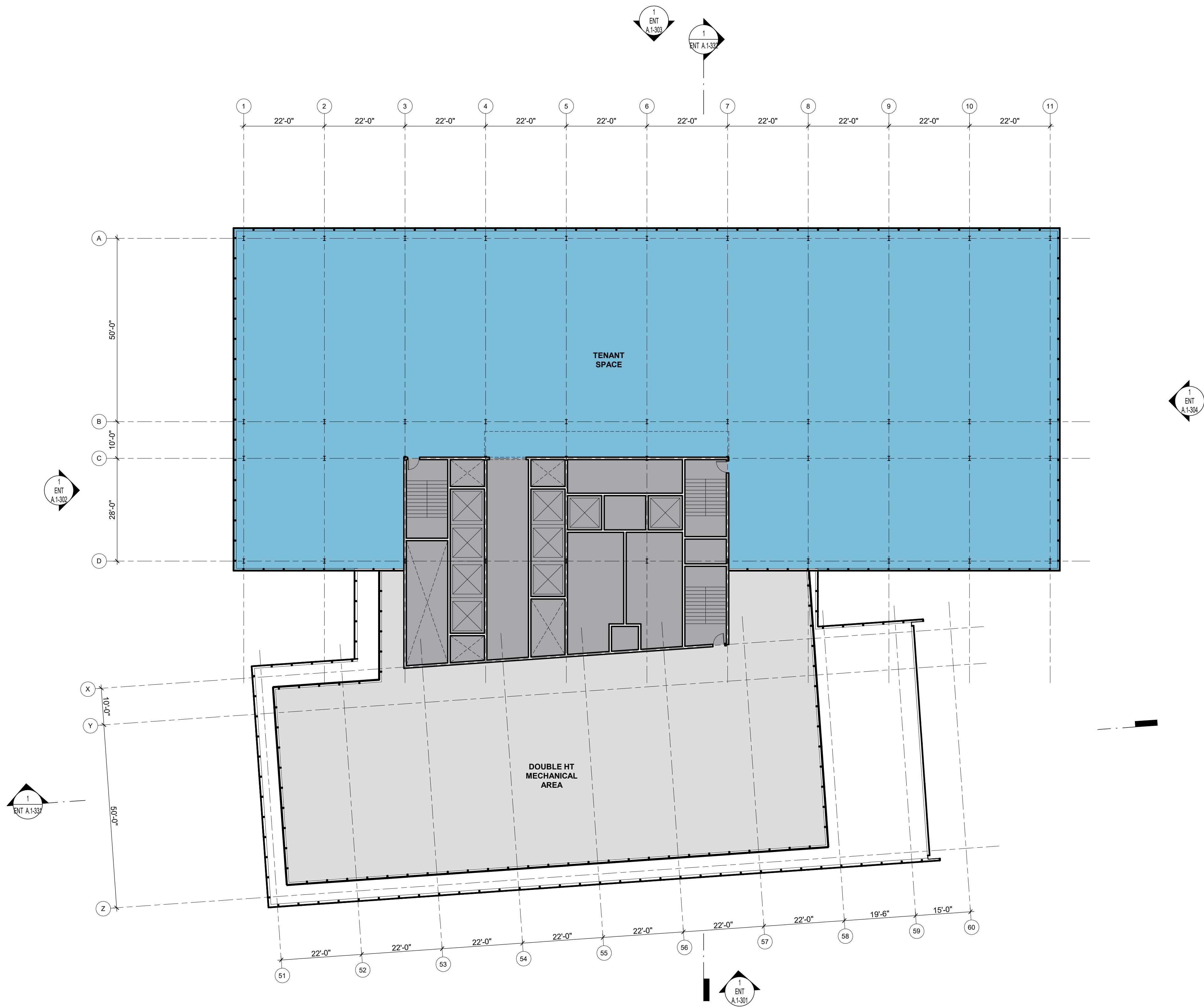
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PLAN - LEVELS 4-10
TYPICAL

SHEET NO:

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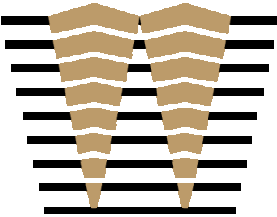


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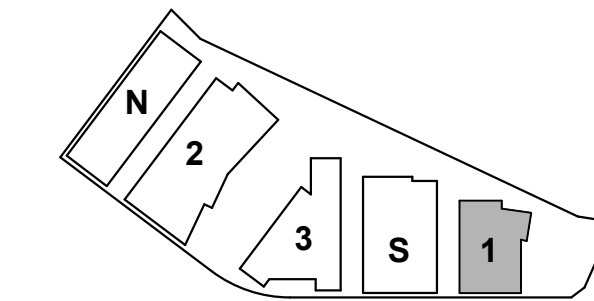
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD
BAYSHORE
HIGHWAY

Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

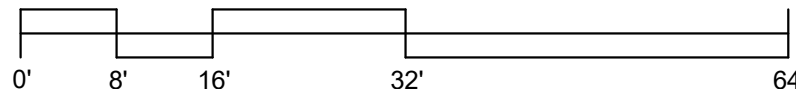
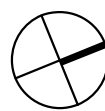
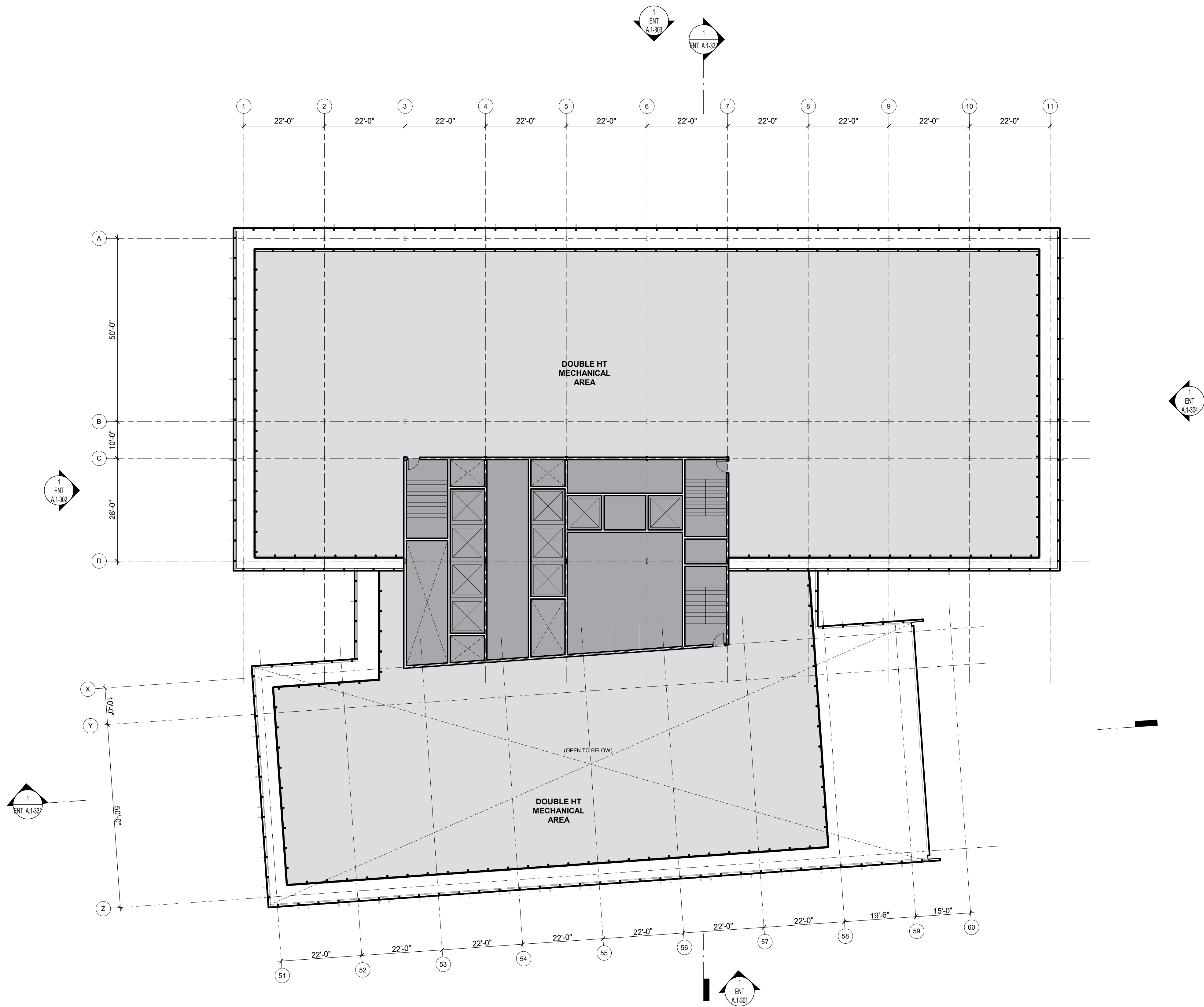
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BUILDING 1 - FLOOR
PLAN - LEVEL 11

SHEET NO:

ENT A.1-111

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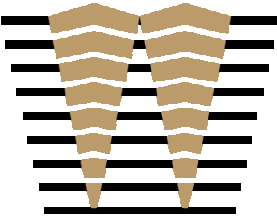


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If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch.

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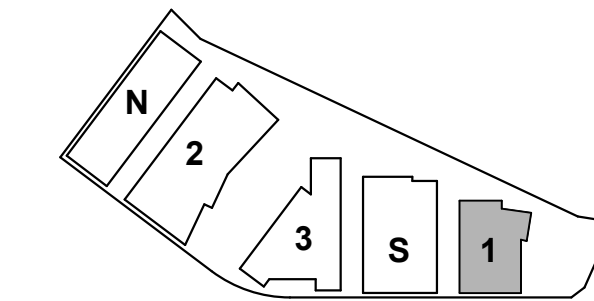
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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

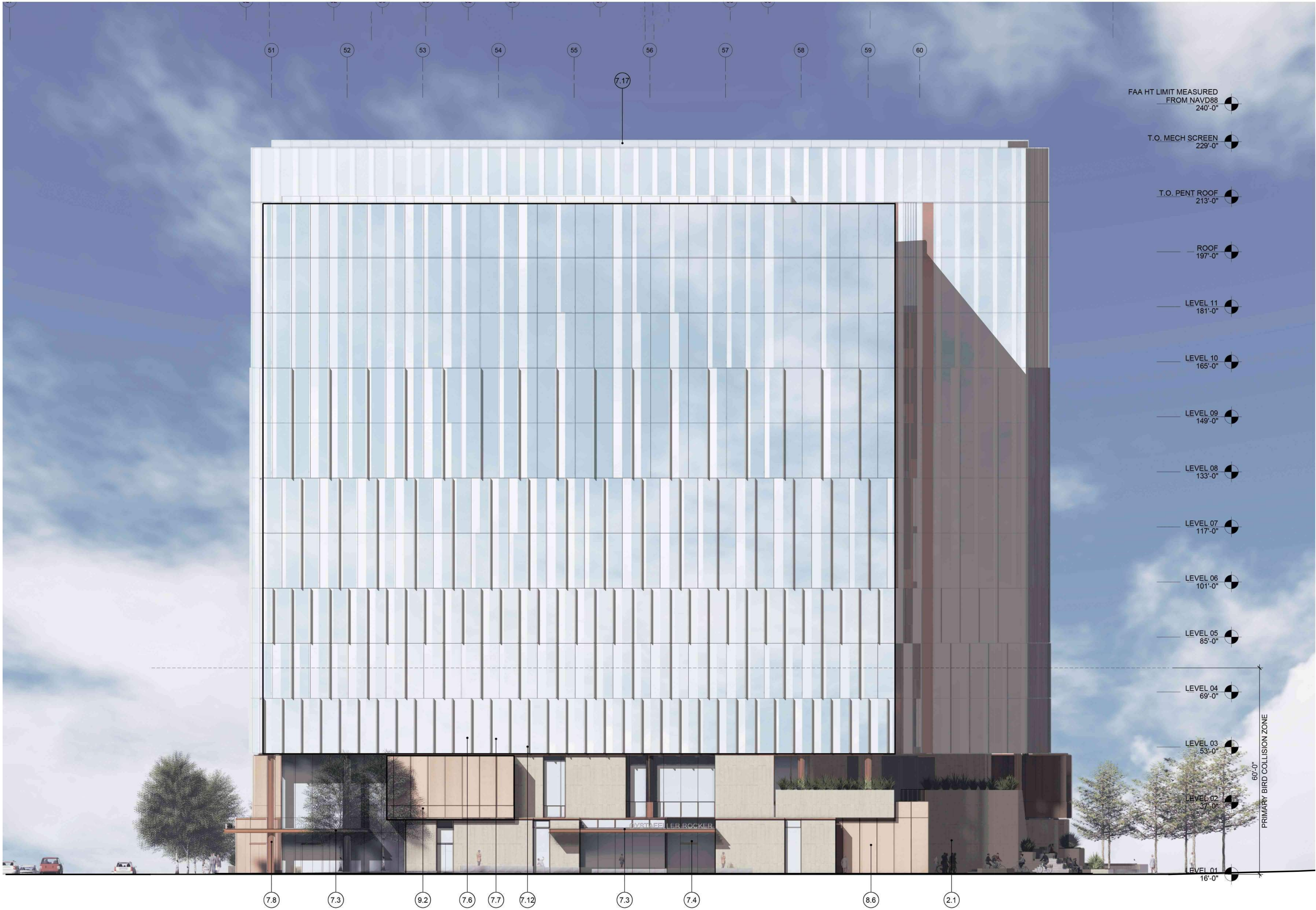
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BUILDING 1 - FLOOR
PLAN - ROOF LEVEL

SHEET NO:

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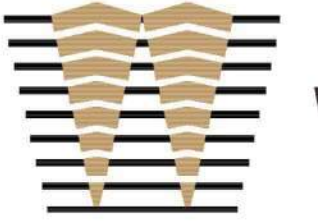
1 BUILDING 1 - AIRPORT BOULEVARD ELEVATION
1/16" = 1'-0"

ELEVATION KEYNOTES

- | | |
|------|---------------------------------------|
| 2.1 | TEXTURED ARCHITECTURAL PRECAST PANELS |
| 7.3 | WARM MTL FRAMED CANOPY |
| 7.4 | WARM MTL FRAMED STOREFRONT |
| 7.6 | SSG CURTAINWALL - CLEAR GLAZING |
| 7.7 | SSG CURTAINWALL - FRITTED GLAZING |
| 7.8 | WARM MTL COLUMN COVER |
| 7.12 | LIGHT MTL VERTICAL FIN |
| 7.17 | BACKUP MTL PANEL SCREEN WALL |
| 8.6 | GRAPHIC INTERLAYER GLAZING |
| 9.2 | GLAZED SHADOW BOX |

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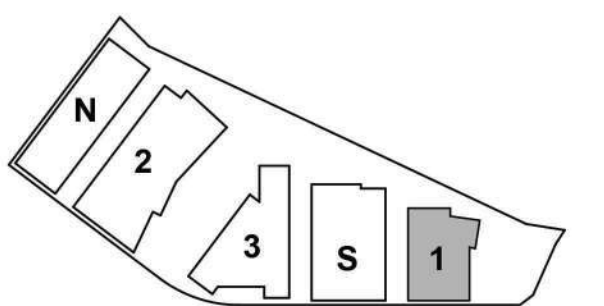
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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

SHEET TITLE:

BUILDING 1 - EXTERIOR
ELEVATIONS

SHEET NO:

ENT A.1-301

3/2/2022 2:24:39 PM



1 BUILDING 1 - BAYSHORE HWY ELEVATION
1/16" = 1'-0"

GROUND FLOOR FACADE AREA CALCULATIONS

BAYSHORE HWY ELEVATION

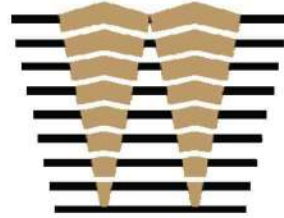
GROUND FLOOR FACADE AREA: 3727 SF
GROUND FLOOR GLAZED AREA: 1907 SF
GROUND FLOOR % GLAZED AREA: 51 %

ELEVATION KEYNOTES

- 2.1 TEXTURED ARCHITECTURAL PRECAST PANELS
- 7.3 WARM MTL FRAMED CANOPY
- 7.6 SSG CURTAINWALL - CLEAR GLAZING
- 7.7 SSG CURTAINWALL - FRITTED GLAZING
- 7.8 WARM MTL COLUMN COVER
- 7.12 LIGHT MTL VERTICAL FIN
- 7.17 BACKUP MTL PANEL SCREEN WALL
- 8.6 GRAPHIC INTERLAYER GLAZING
- 9.2 GLAZED SHADOW BOX

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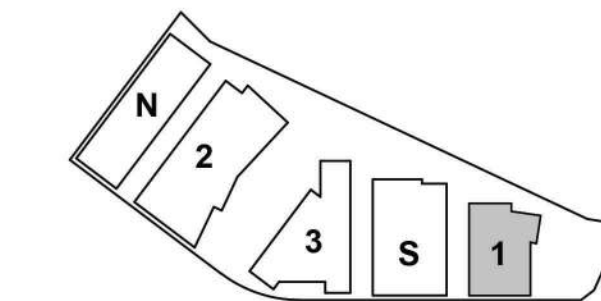


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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

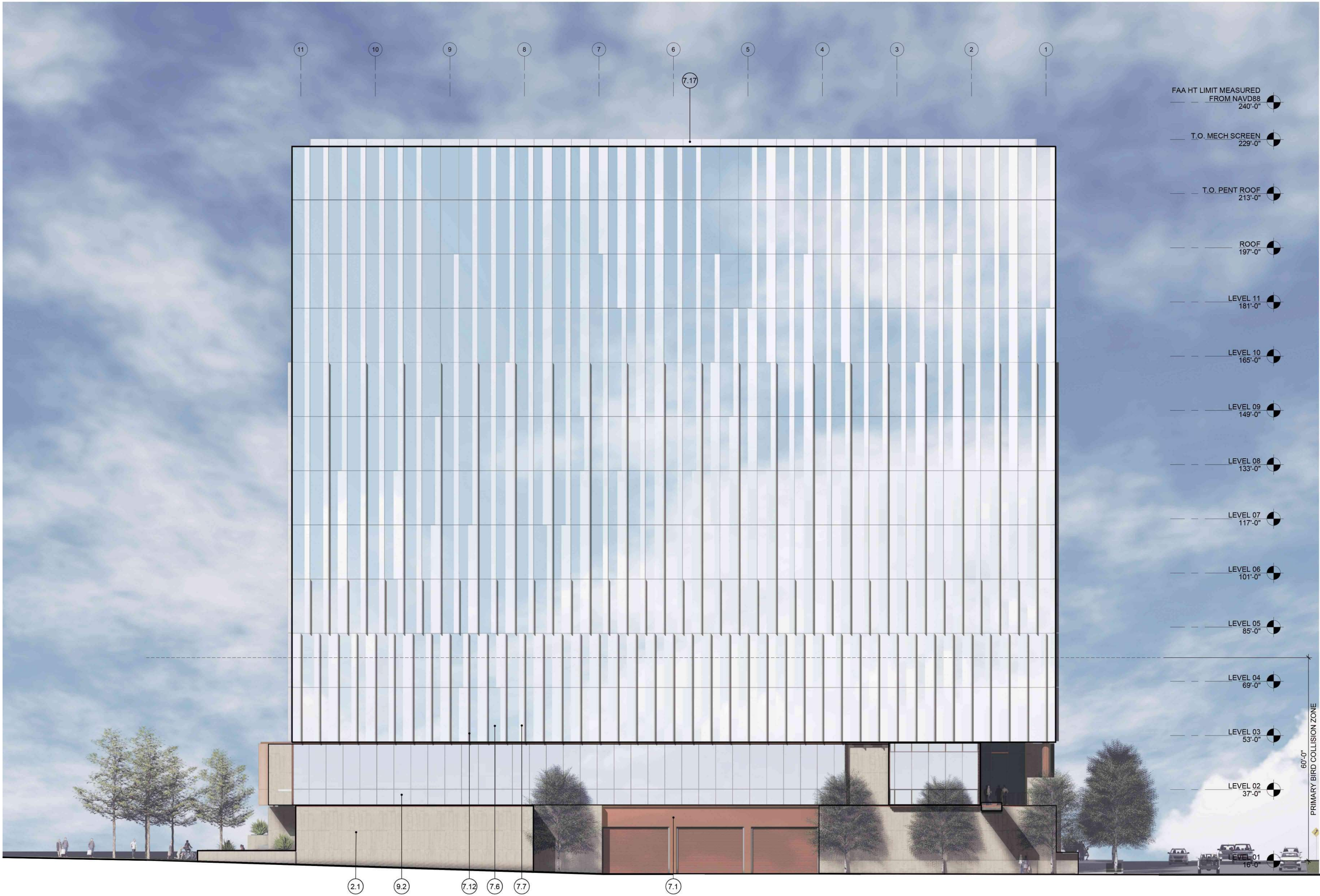
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BUILDING 1 - EXTERIOR
ELEVATIONS

SHEET NO:

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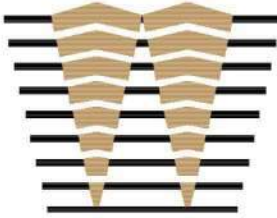
1 BUILDING 1 - SIDE ELEVATION
1/16" = 1'-0"

ELEVATION KEYNOTES

- | | |
|------|---------------------------------------|
| 2.1 | TEXTURED ARCHITECTURAL PRECAST PANELS |
| 7.1 | WARM MTL PANEL |
| 7.6 | SSG CURTAINWALL - CLEAR GLAZING |
| 7.7 | SSG CURTAINWALL - FRITTED GLAZING |
| 7.12 | LIGHT MTL VERTICAL FIN |
| 7.17 | BACKUP MTL PANEL SCREEN WALL |
| 9.2 | GLAZED SHADOW BOX |

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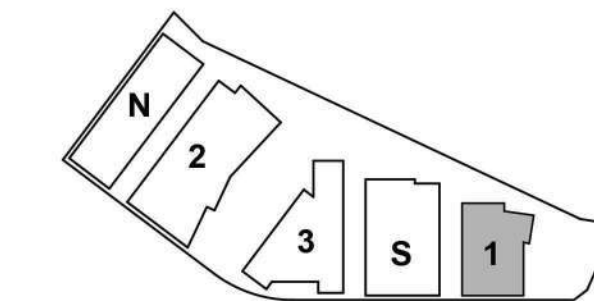
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ENTITLEMENT APPLICATION	03/24/2022

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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

SHEET TITLE:

**BUILDING 1 - EXTERIOR
ELEVATIONS**

SHEET NO:

ENT A.1-303

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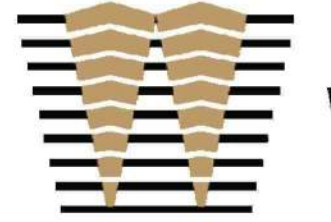
1 BUILDING 1 - BAY ELEVATION
1/16" = 1'-0"

ELEVATION KEYNOTES

- 2.1 TEXTURED ARCHITECTURAL PRECAST PANELS
- 7.6 SSG CURTAINWALL - CLEAR GLAZING
- 7.7 SSG CURTAINWALL - FRITTED GLAZING
- 7.8 WARM MTL COLUMN COVER
- 7.12 LIGHT MTL VERTICAL FIN
- 7.17 BACKUP MTL PANEL SCREEN WALL
- 8.6 GRAPHIC INTERLAYER GLAZING
- 9.2 GLAZED SHADOW BOX

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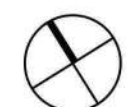
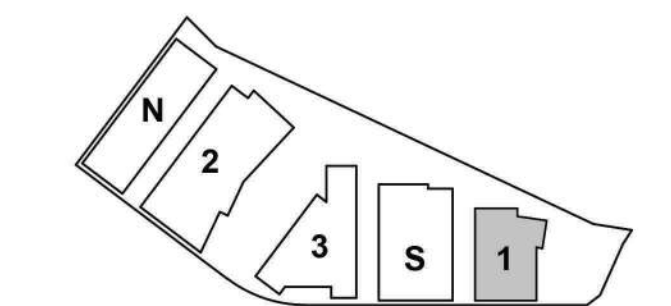
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PROJECT NO.: 20045.00

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SCALE: As indicated

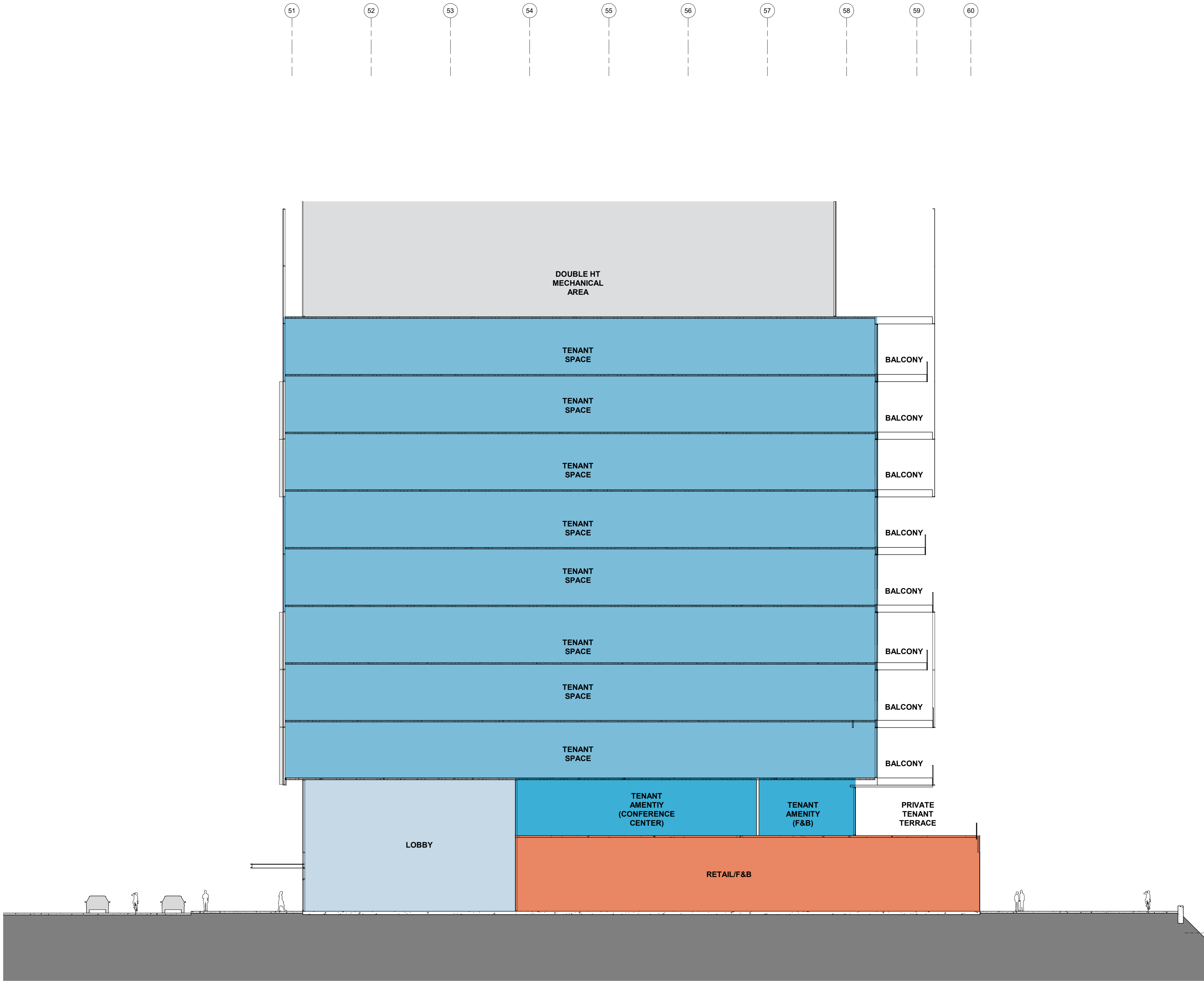
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BUILDING 1 - EXTERIOR
ELEVATIONS

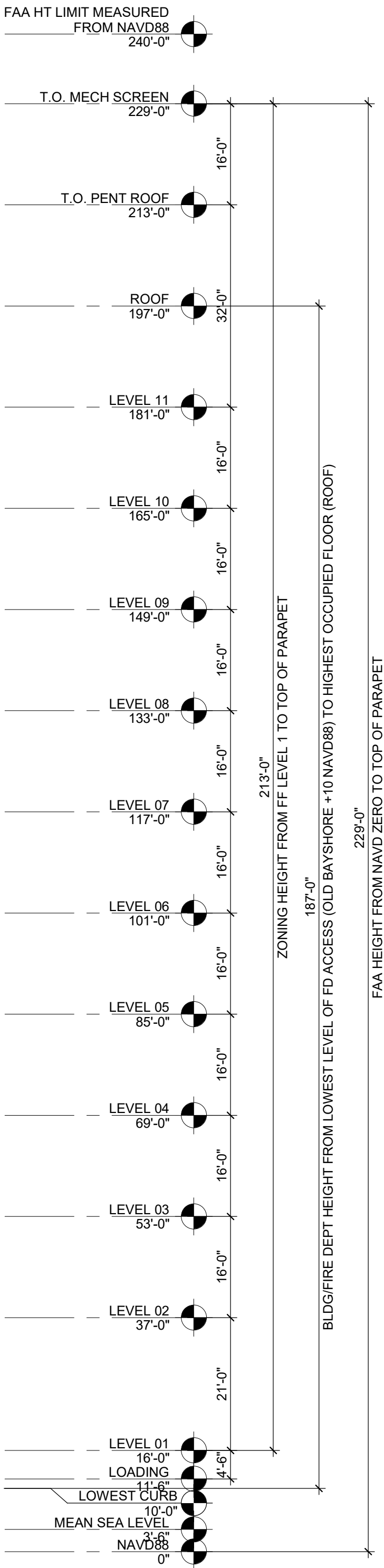
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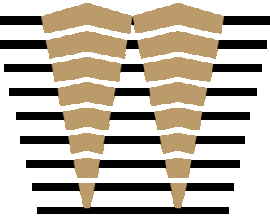


1 BUILDING 1 - SECTION 1
1/16" = 1'-0"



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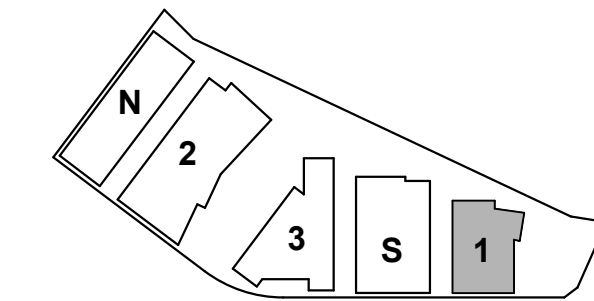
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

BUILDING 1 - SECTIONS

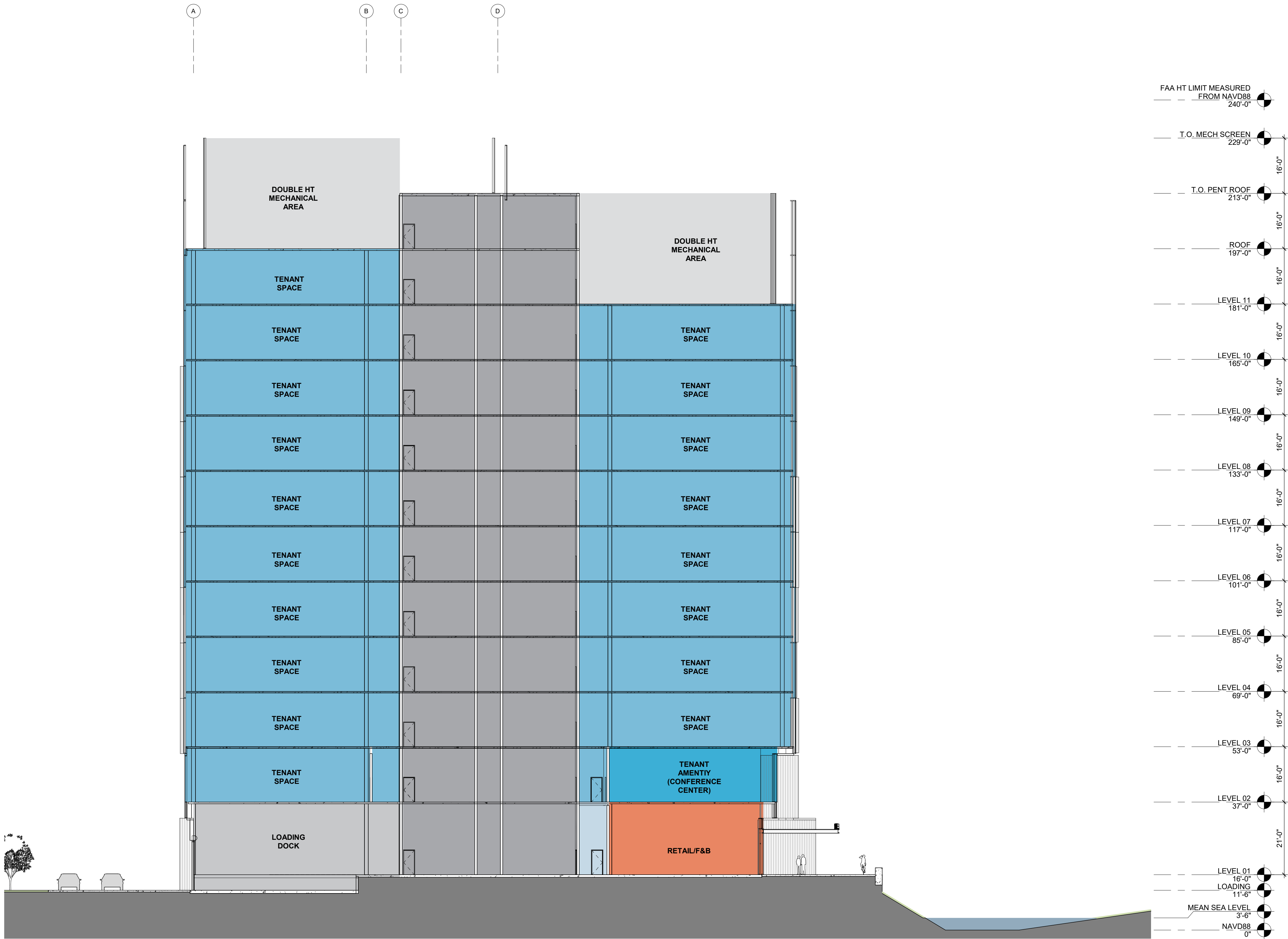
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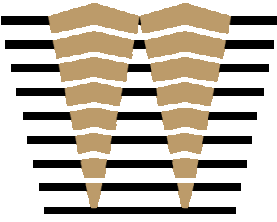
1 BUILDING 1 - SECTION 2

1/16" = 1'-0"



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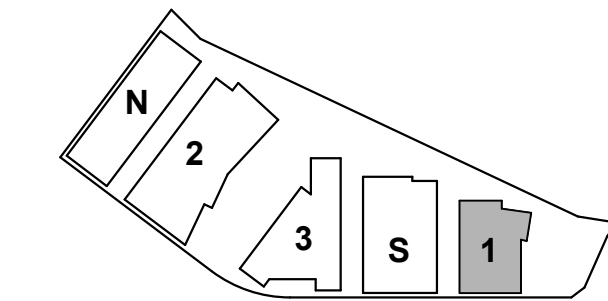
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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

BUILDING 1 - SECTIONS

SHEET NO:

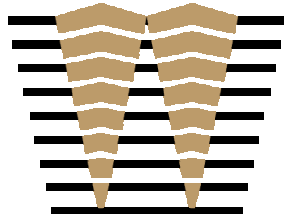
ENT A.1-332

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BUILDING 2 NORTH

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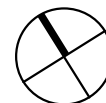
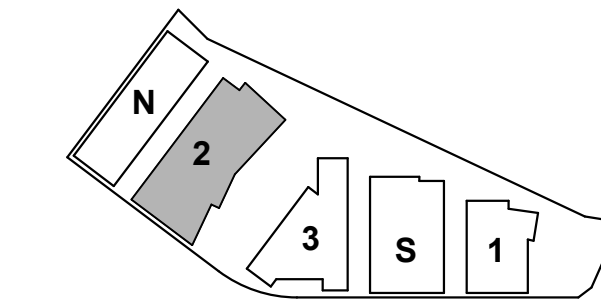
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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE:

SHEET TITLE:

BUILDING 2 - COVER

SHEET NO:

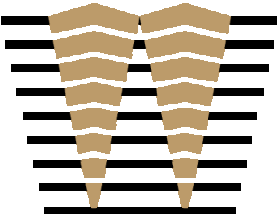
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CODE SUMMARY		
TYPE OF CONSTRUCTION	TYPE IA RISK CATEGORY III SEISMIC IMPORTANCE FACTOR 1.25	602.2 TABLE 1604.5 1613
REQUIRED FIRE RESISTIVE RATINGS	EXTERIOR BEARING WALLS 3 HOUR INTERIOR BEARING WALLS 3 HOUR EXTERIOR NON-BEARING WALLS SEE "FIRE SEPARATION DISTANCE" BELOW INTERIOR NON-BEARING WALLS 0 HOUR STRUCTURAL FRAME 3 HOUR FLOORS -CEILING/FLOORS 2 HOUR ROOF -CEILINGS/ROOFS 1 1/2 HOUR STAIRWAY ENCLOSURE SEE "FLOOR OPENINGS & SHAFTS" BELOW SHAFT ENCLOSURES SEE "FLOOR OPENINGS & SHAFTS" BELOW	TABLE 601
OCCUPANCY CLASSIFICATION	GROUP B: OFFICE GROUP A: ASSEMBLY OCCUPANCIES ARE SEPARATED THIS BUILDING IS DESIGNED FOR POTENTIAL FUTURE GROUP L OCCUPANCY AS PART OF TENANT FITOUT UNDER SEPARATE PERMIT.	CBC CH. 3 CBC CH. 5 508.3
ALLOWABLE STORIES	B OCCUPANCY: UL STORIES A-3 OCCUPANCY: UL STORIES L OCCUPANCY: 20 STORIES	TABLE 504.4
ALLOWABLE HEIGHT	B OCCUPANCY: UL L OCCUPANCY: UL	TABLE 504.3
HAZARDOUS MATERIALS QUANTITY PER LABORATORY SUITE	STORY ABOVE GRADE % OF MAX. # OF LAB SUITES PER LAB SUITE PER FLOOR 1-3 100 UL 4-6 75 20 7-10 50 16 11-14 50 8 UL = UNLIMITED NP = NOT PERMITTED	CBC CH. 4 TABLE 453.7.2.1
ACTUAL AREA	LEVEL 1: 63,400 SF LEVEL 2: 51,000 SF LEVEL 3-10: 59,100 SF LEVEL 11: 37,400 SF ROOF: 7,400 SF TOTAL ABOVE GRADE BUILDING AREA = 632,000 SF ABOVE GRADE BUILDING AREA B OCCUPANCY: UL AREA TYPE IA L OCCUPANCY: UL AREA TYPE IA A OCCUPANCY: UL AREA TYPE IA M OCCUPANCY: UL AREA TYPE IA	CBC CH. 5 TABLE 504.3 TABLE 504.4 506.2.4 506.3 508.4 TABLE 506.2
ACTUAL STORIES ACTUAL HEIGHT	11 STORIES ABOVE GRADE 185'-0	
FIRE SEPARATION DISTANCE	EXTERIOR NON BEARING WALLS GROUPS A, & B 0 FT <X < 5 FT = 1 HR 5 FT ≤X < 10 FT = 1 HR 10 FT ≤X < 30 FT = 1 HR 30 FT ≤X = 0 HR GROUP L 0 FT <X < 5 FT = 3 HR 5 FT ≤X < 10 FT = 3 HR 10 FT ≤X < 30 FT = 2 HR 30 FT ≤X = 0 HR	CBC CH. 6 TABLE 602
EXTERIOR WALL OPENINGS	MAXIMUM AREA OF EXTERIOR WALL OPENINGS FIRE SEPARATION DISTANCE 0'-3' 3'-5' 5'-10' 10'-15' 15'-20' 20'-25' 25'-30' >30' NP NP 10% 15% 25% 45% 70% NL UNPROTECTED NP 15% 25% 45% 75% NL NL NL PROTECTED NP 15% 25% 45% 75% NL NL NL / UNPROTECTED & SPRINKLERED NP = NOT PERMITTED NL = NO LIMIT	CBC CH. 7 TABLE 705.8
FLOOR OPENINGS & SHAFTS	4 STORIES OR MORE = 2 HR LESS THAN 4 STORIES = 1 HR	CBC CH. 7 713.4
EXITING & OCCUPANT LOAD	SEE LIFE SAFETY PLANS ALL EXITS ARE ACCESSIBLE	CBC CH. 10 1004
EXITS REQUIRED	SEE LIFE SAFETY PLANS	CBC CH. 10 1006
EXITS PROVIDED	SEE LIFE SAFETY PLANS	CBC CH. 10 1006
TRAVEL DISTANCE	GROUP B OCCUPANCY: *300 FT GROUP L OCCUPANCY: *200 FT GROUP A OCCUPANCY: *250 FT GROUP S2 OCCUPANCY: *400 FT * INCREASE IN ALLOWABLE TRAVEL DISTANCE FOR BUILDINGS EQUIPPED WITH A SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1	CBC CH. 10 TABLE 1017.2
AREA OF REFUGE	NO AREA OF REFUGE IS REQUIRED	CBC CH. 10 1009.3.3
ELEVATORS	ONE ELEVATOR SHALL PROVIDE EMERGENCY SERVICES TO ALL LANDINGS. THE ELEVATOR CAR SHALL ACCOMMODATE AN AMBULANCE STRETCHER 24"x84" WITH 5-INCH RADIUS CORNERS, IN THE HORIZONTAL OPEN POSITION, AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. ELEVATOR MACHINE ROOMS SHALL HAVE AN INDEPENDENT VENTILATION OR AC SYSTEM	CBC CH. 30 3002.4 3006.2
FIRE PROTECTION	AUTOMATIC FIRE SPRINKLERS PROVIDED IN ACCORDANCE WITH SECTION 903.3.1.1 STANDPIPE SYSTEMS IN ACCORDANCE WITH SECTION 905 PORTABLE FIRE EXTINGUISHERS WITH A MINIMUM CLASSIFICATION OF 2A:10BC PROVIDED IN ACCORDANCE WITH SECTION 906 FIRE ALARM SYSTEM WITH UL CENTRAL STATION, FULLY ADDRESSABLE SYSTEM PROVIDED IN ACCORDANCE WITH NFPA 72 (DEFERRED SUBMITTAL) EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM PER SECTION 907.5.2.2 FIRE PUMP (W/ EMERGENCY BACK-UP GENERATOR & 12 HOURS OF FUEL STORAGE CAPACITY) PROVIDED FOR SPRINKLERS AND STANDPIPES	CBC CH. 9 CFC CH. 9
EMERGENCY RESPONDER RADIO COVERAGE SYSTEM (ERRCS)	INDEPENDENT ERRCS SYSTEM PROVIDED THROUGHOUT BUILDING AND SUBTERRANEAN GARAGE, BUILT-IN OSCILLATION PROTECTION SYSTEM, TUNING AND ISOLATION OF THE SYSTEM IS REQUIRED TO ELIMINATE INTERFERENCE WITH THE MACRO RADIO INFRASTRUCTURE, AND SIGNALS FROM NEARBY BUILDINGS.	CBC CH. 9 916.1 CFC CH. 5 510.1
CEQA	LOW-FLOW PLUMBING FIXTURES WILL BE USED THROUGHOUT PROJECT, IN COMPLIANCE WITH CBC, CALGREEN AND LEED REQUIREMENTS	
<p>PLEASE NOTE: THE OFFICE BUILDINGS IN THIS PROJECT ARE CORE-SHELL ONLY, AND WILL BE SUBMITTED AS B-GROUP OCCUPANCY BUILDINGS.</p> <p>THE PROJECT ANTICIPATES POTENTIAL FUTURE LABORATORY USE, WITH L-GROUP OCCUPANCY, AS PART OF FUTURE TENANT FITOUTS UNDER SEPARATE PERMITS.</p> <p>RELEVANT REQUIREMENTS FOR B-GROUP AND L-GROUP OCCUPANCY ARE INCORPORATED INTO THE DESIGN WHERE CORE-SHELL COMPONENTS OF THE BUILDING ARE AFFECTED.</p>		

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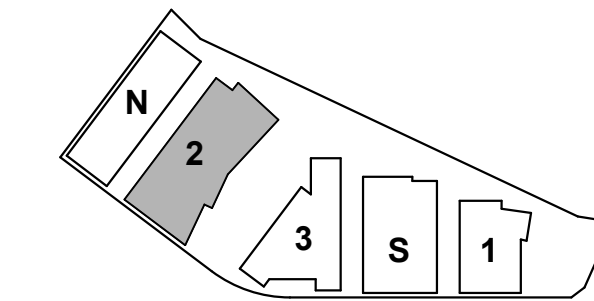
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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1200-1340 OLD BAYSHORE HIGHWAY

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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/24/2022

SCALE: 12" = 1'-0"

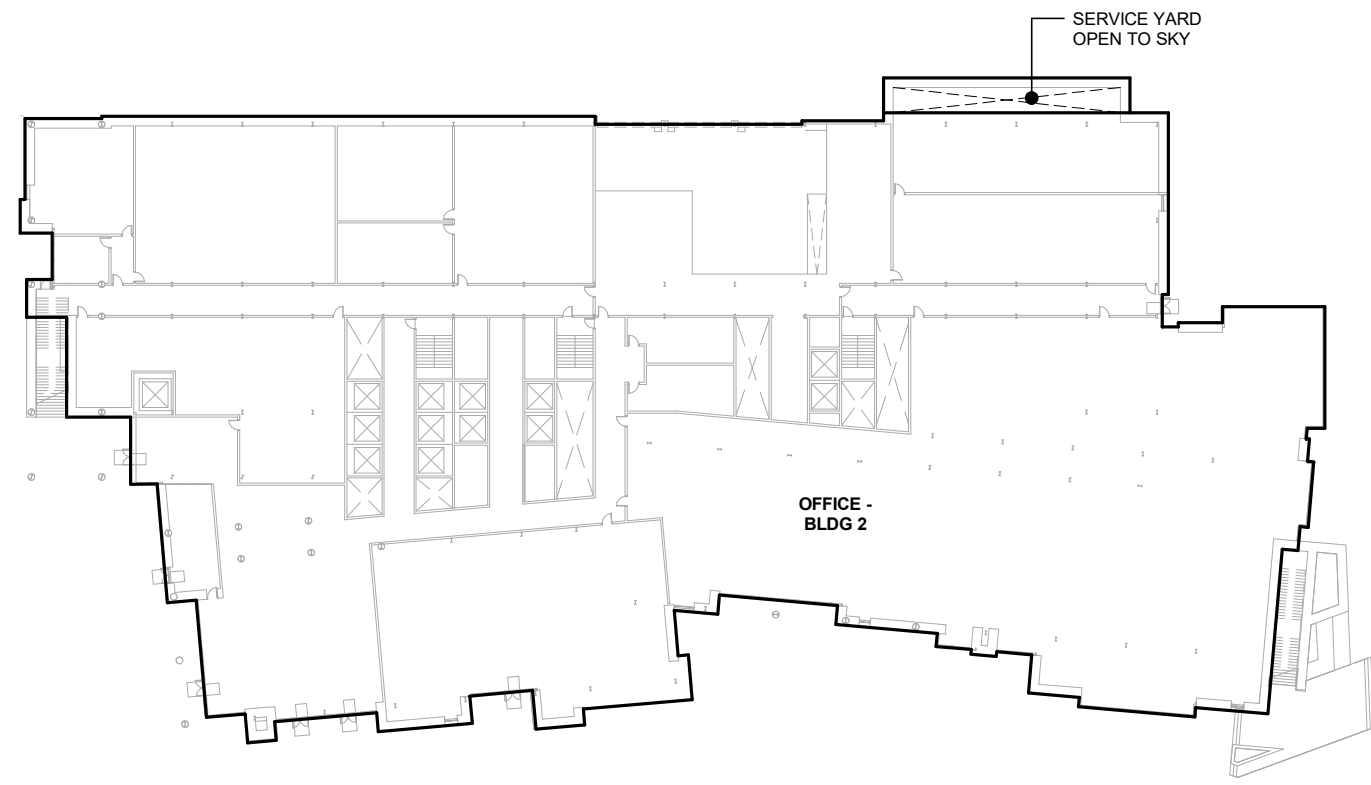
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BUILDING 2 - CODE & AREA SUMMARY

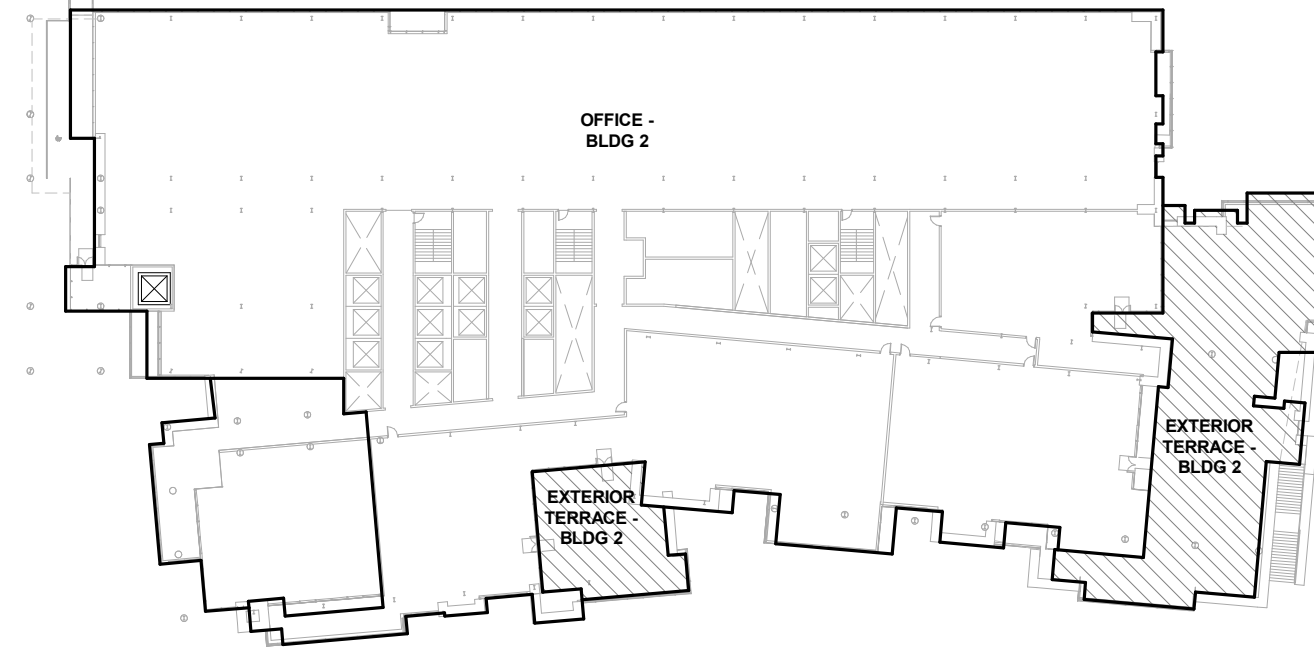
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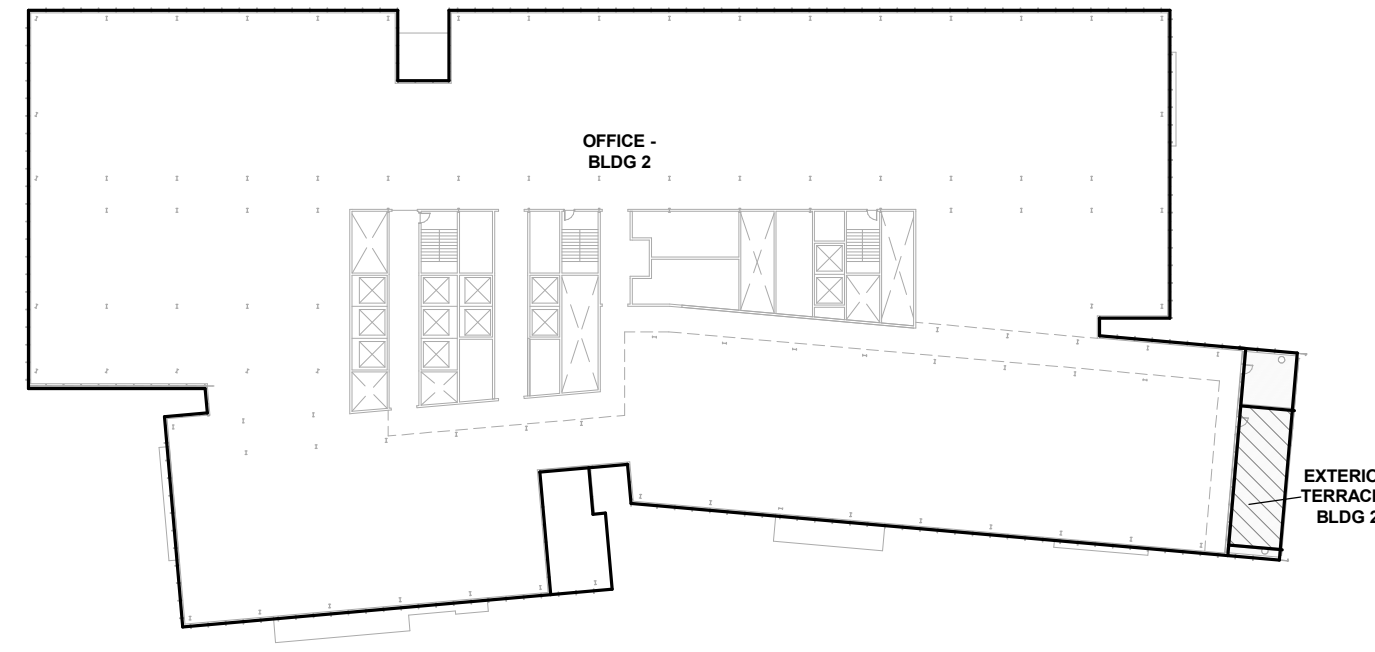
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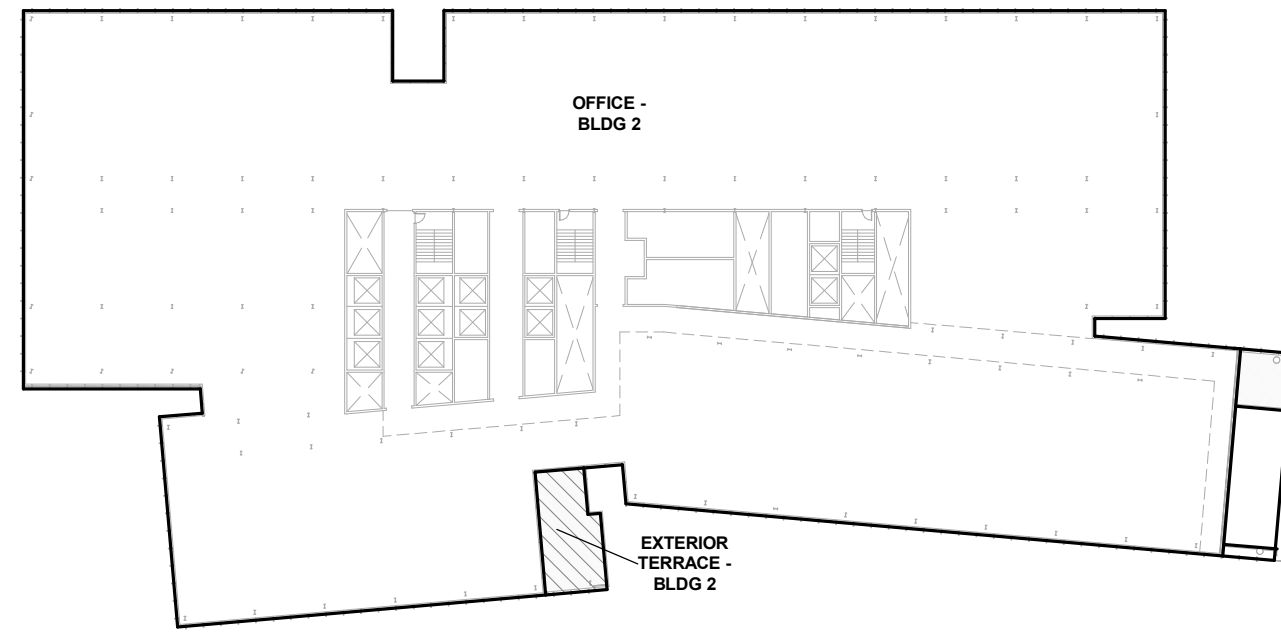
1 GROSS AREA - LEVEL 1
1" = 60'-0"



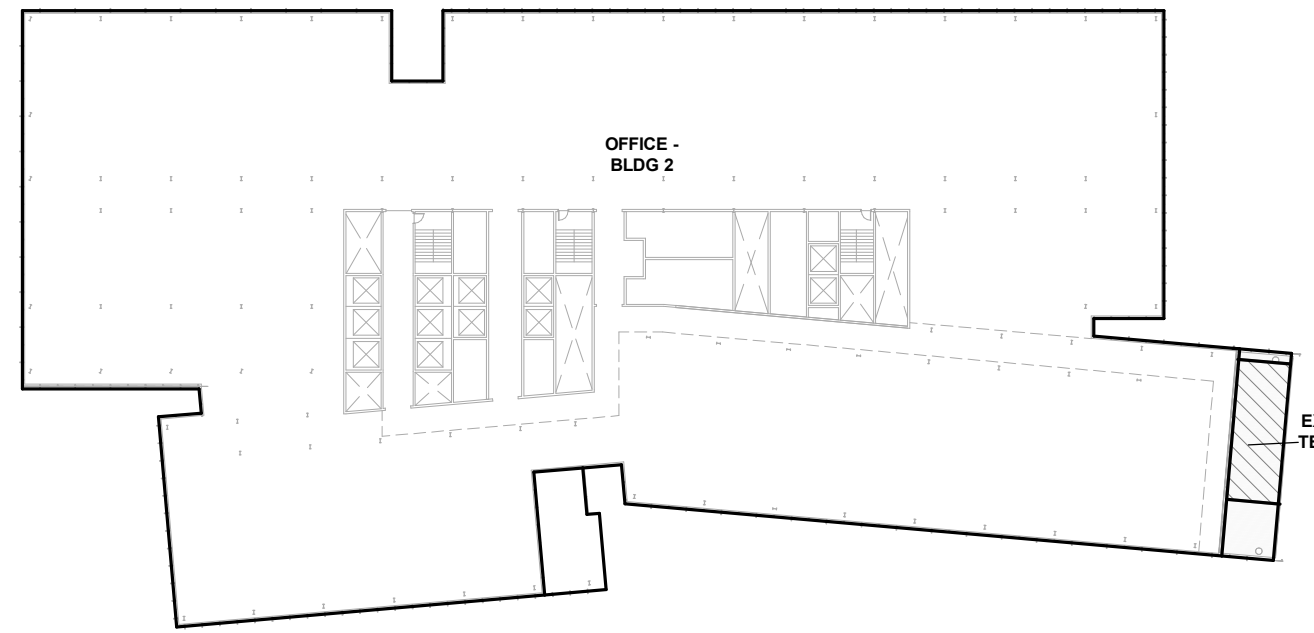
2 GROSS AREA - LEVEL 2
1" = 60'-0"



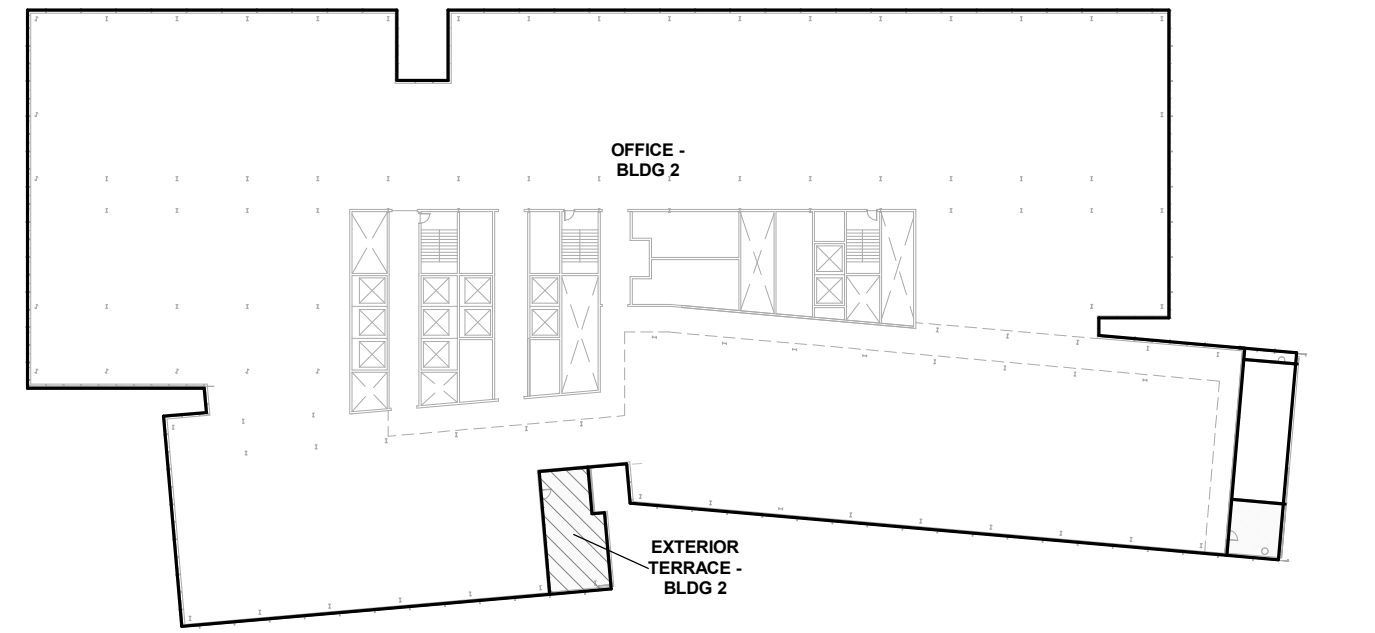
3 GROSS AREA - LEVEL 3
1" = 60'-0"



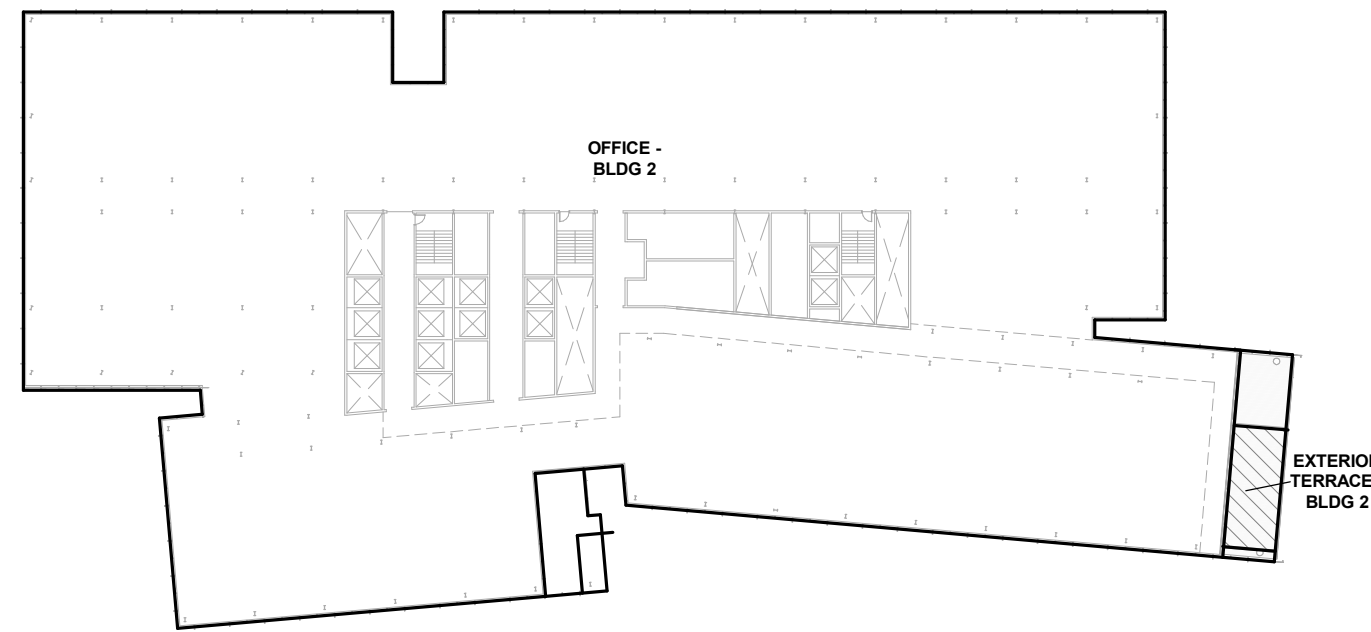
4 GROSS AREA - LEVEL 4
1" = 60'-0"



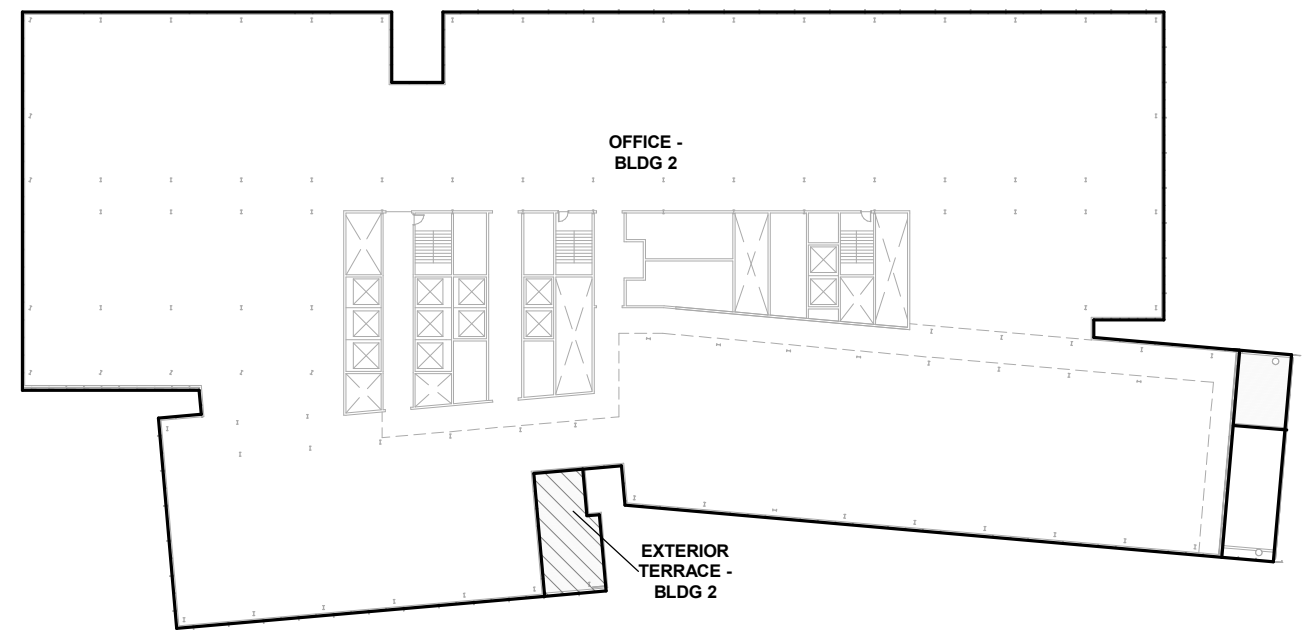
5 GROSS AREA - LEVEL 5
1" = 60'-0"



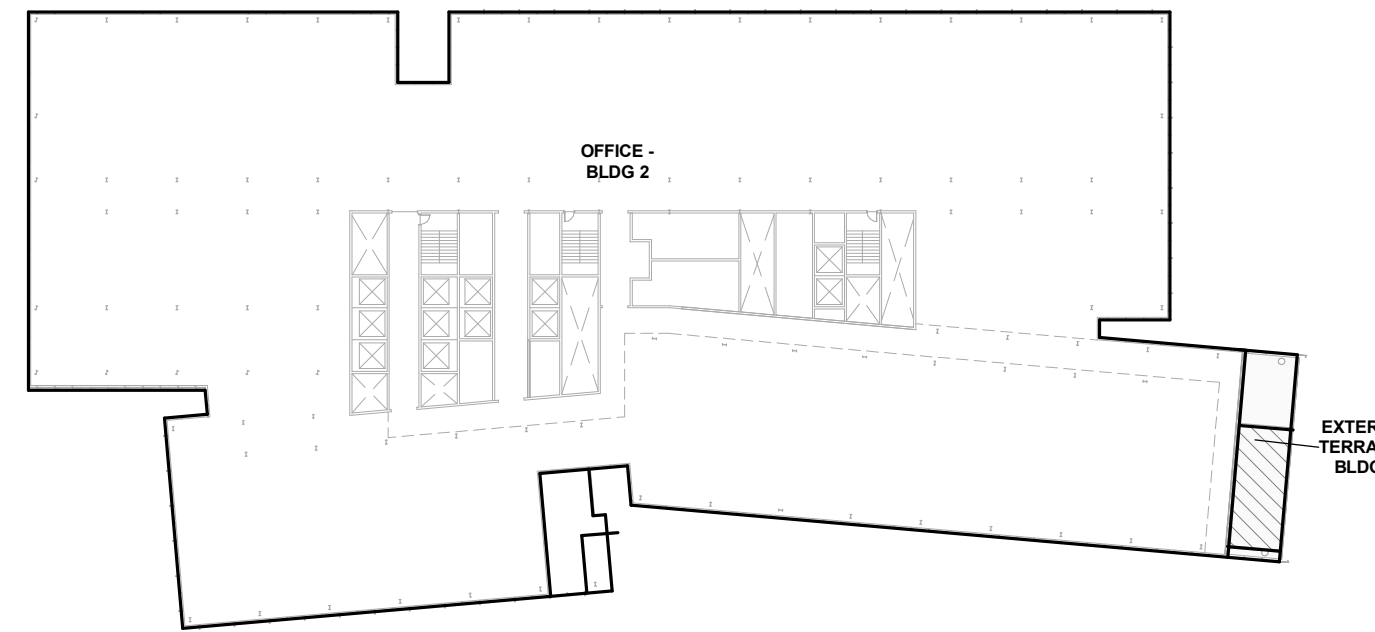
6 GROSS AREA - LEVEL 6
1" = 60'-0"



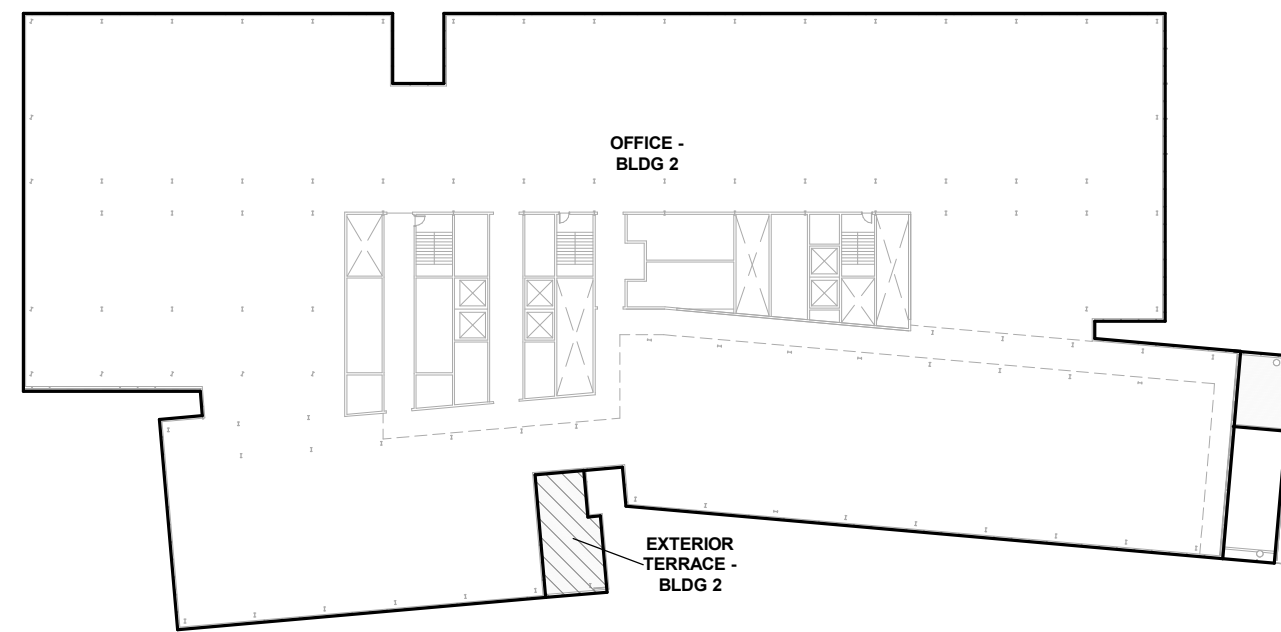
7 GROSS AREA - LEVEL 7
1" = 60'-0"



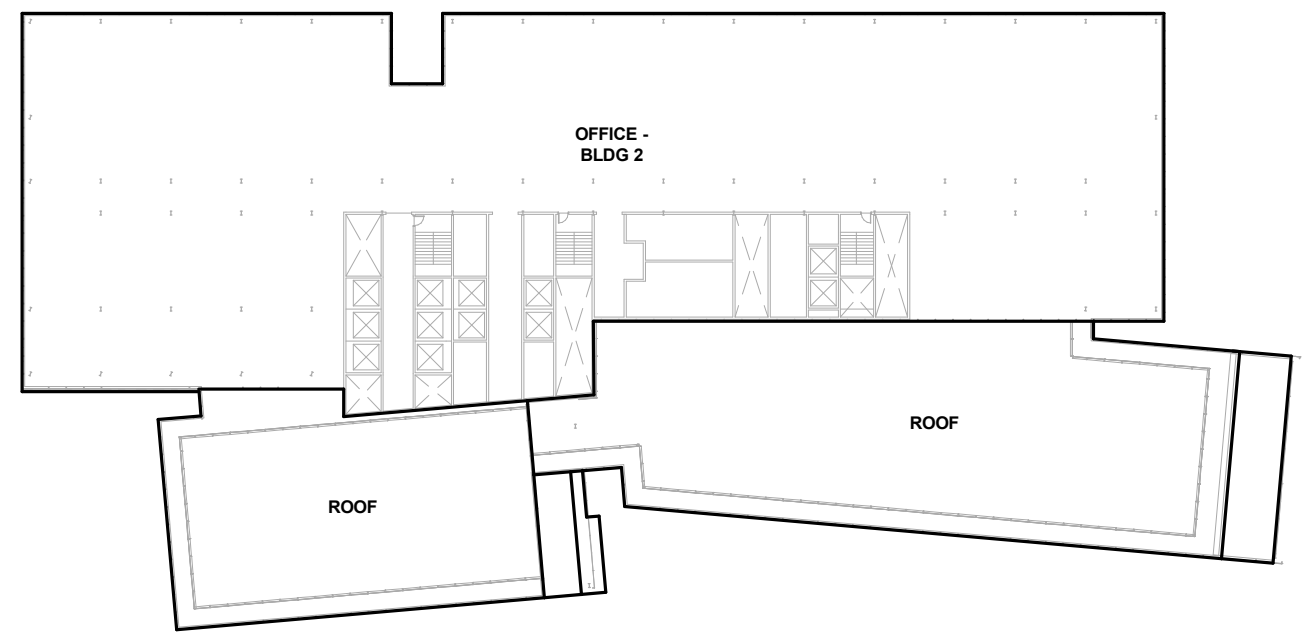
8 GROSS AREA - LEVEL 8
1" = 60'-0"



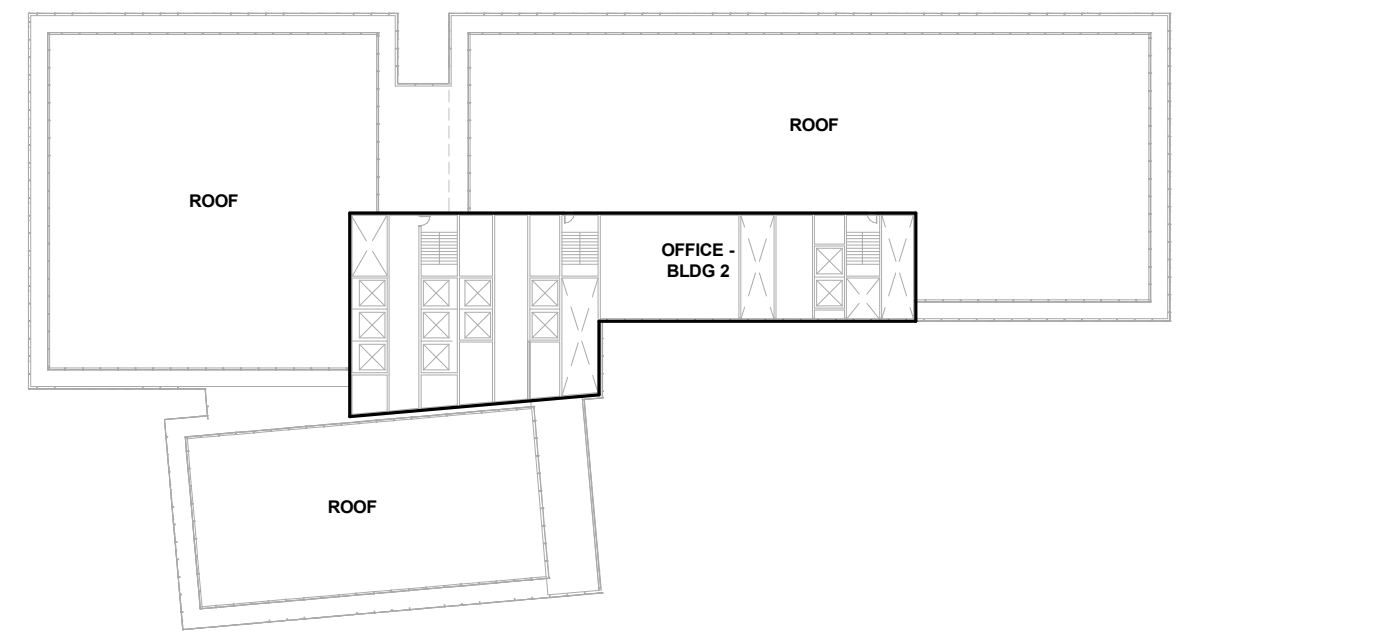
9 GROSS AREA - LEVEL 9
1" = 60'-0"



10 GROSS AREA - LEVEL 10
1" = 60'-0"



11 GROSS AREA - LEVEL 11
1" = 60'-0"



12 GROSS AREA - ROOF
1" = 60'-0"

LEGEND

*REFER TO SHEET ENT G-002 FOR ALL BUILDING AREAS

GROSS BUILDING AREA

GROSS BUILDING AREA IS DEFINED AND CALCULATED PER BURLINGAME MUNICIPAL CODE TITLE 25.

BURLINGAME MUNICIPAL CODE ARTICLE 8: DEFINITIONS

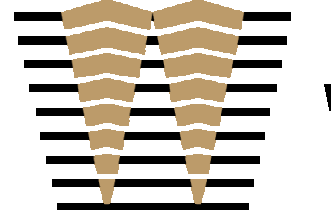
25.030.060.A - Determining Floor Area, Generally.
The floor area of a building shall be the sum of all floors of a building or buildings, as measured to the outside surfaces of the exterior walls of the structure or structures and including such areas as halls, stairways, covered porches and balconies, elevator shafts, service and mechanical equipment rooms and basements, cellars, and improved space in attic areas.

25.030.060.D.2 - Non-Residential Exemptions.
Exempted from floor area ratio computation for commercial development are:
a. Chimneys, cupolas, and flag poles.
b. Canopies at entrances to buildings.
c. Balconies (uncovered or covered).
d. Covered walkways and arcades.
e. Ground level trellises.
f. Trash enclosures.
g. Water tanks, elevator penthouses, and other mechanical appurtenances.
h. Fire or hose towers.
i. Ground level service yards, if open to the sky, and which may otherwise be partially enclosed.

25.108.070 - "F" Definitions.
Floor area, gross. The total area enclosed within a building, including closets, stairways, and utility and mechanical rooms, measured from the outside face of the walls.

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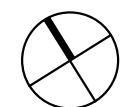
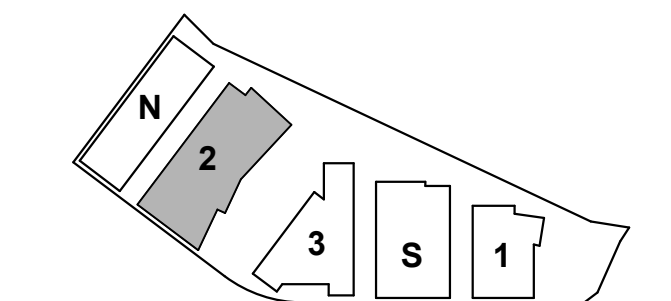
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1200-1340 OLD
BAYSHORE
HIGHWAY
Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1" = 60'-0"

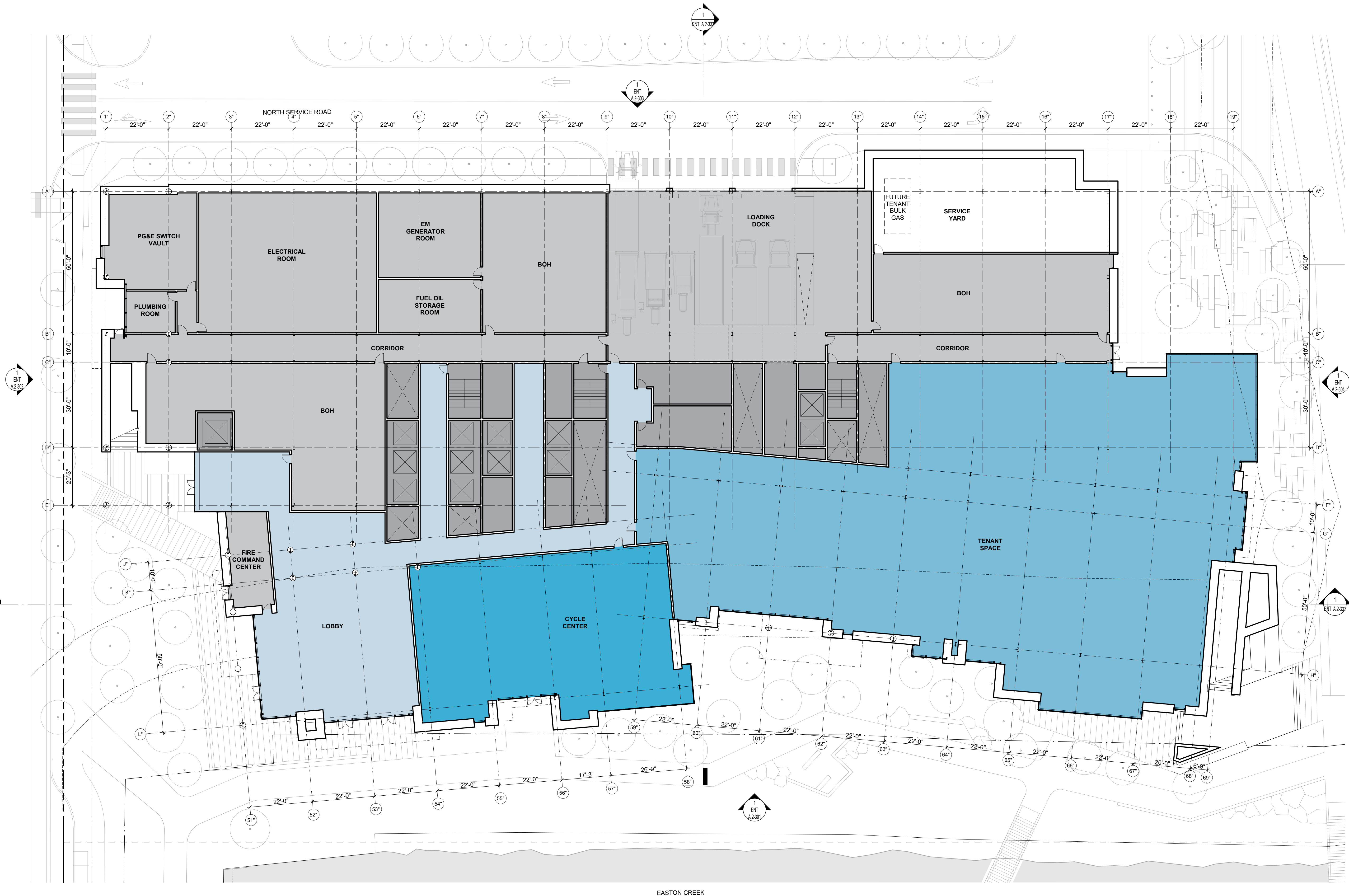
SHEET TITLE:

BUILDING 2 - AREA
PLANS

SHEET NO:

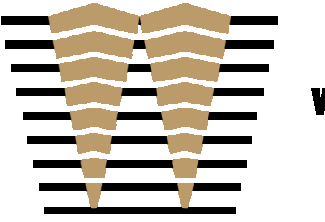
ENT A.2-020

3/3/2022 3:45:44 PM



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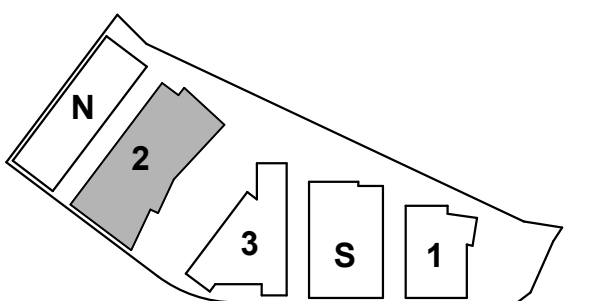
WATT

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Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

BUILDING 2 - FLOOR
PLAN - LEVEL 1

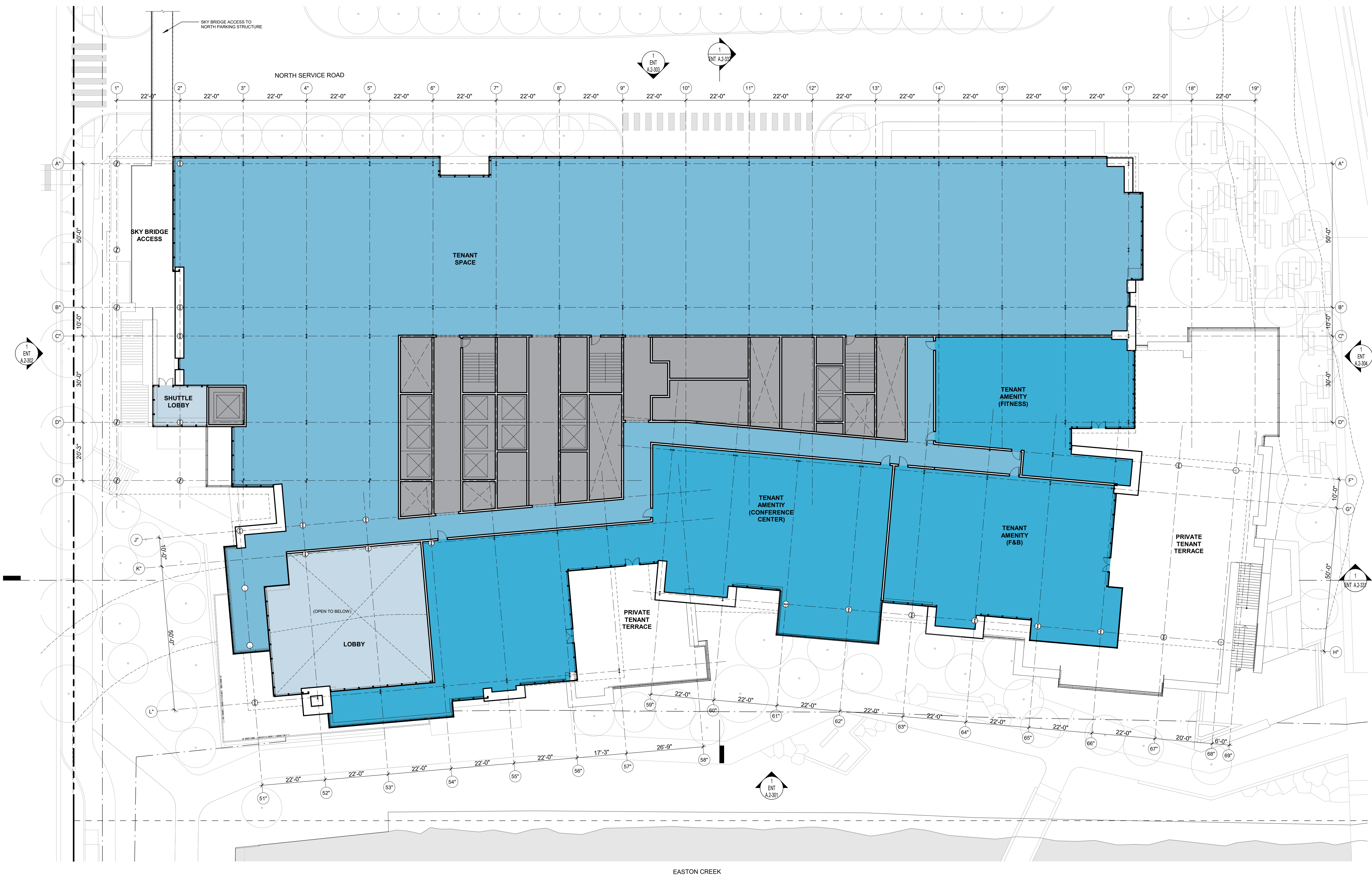
SHEET NO:

ENT A.2-101

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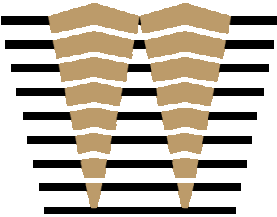
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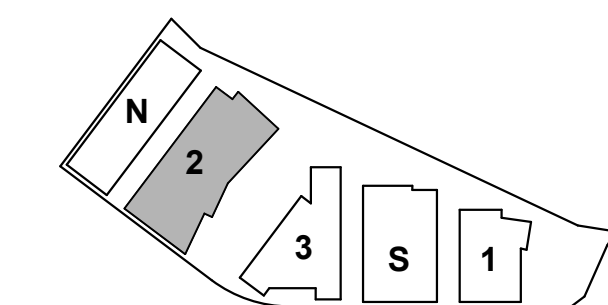
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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

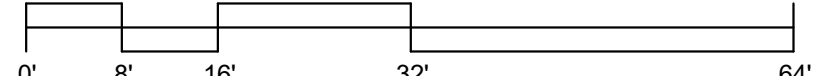
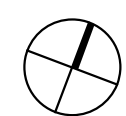
**BUILDING 2 - FLOOR
PLAN - LEVEL 2**

SHEET NO:

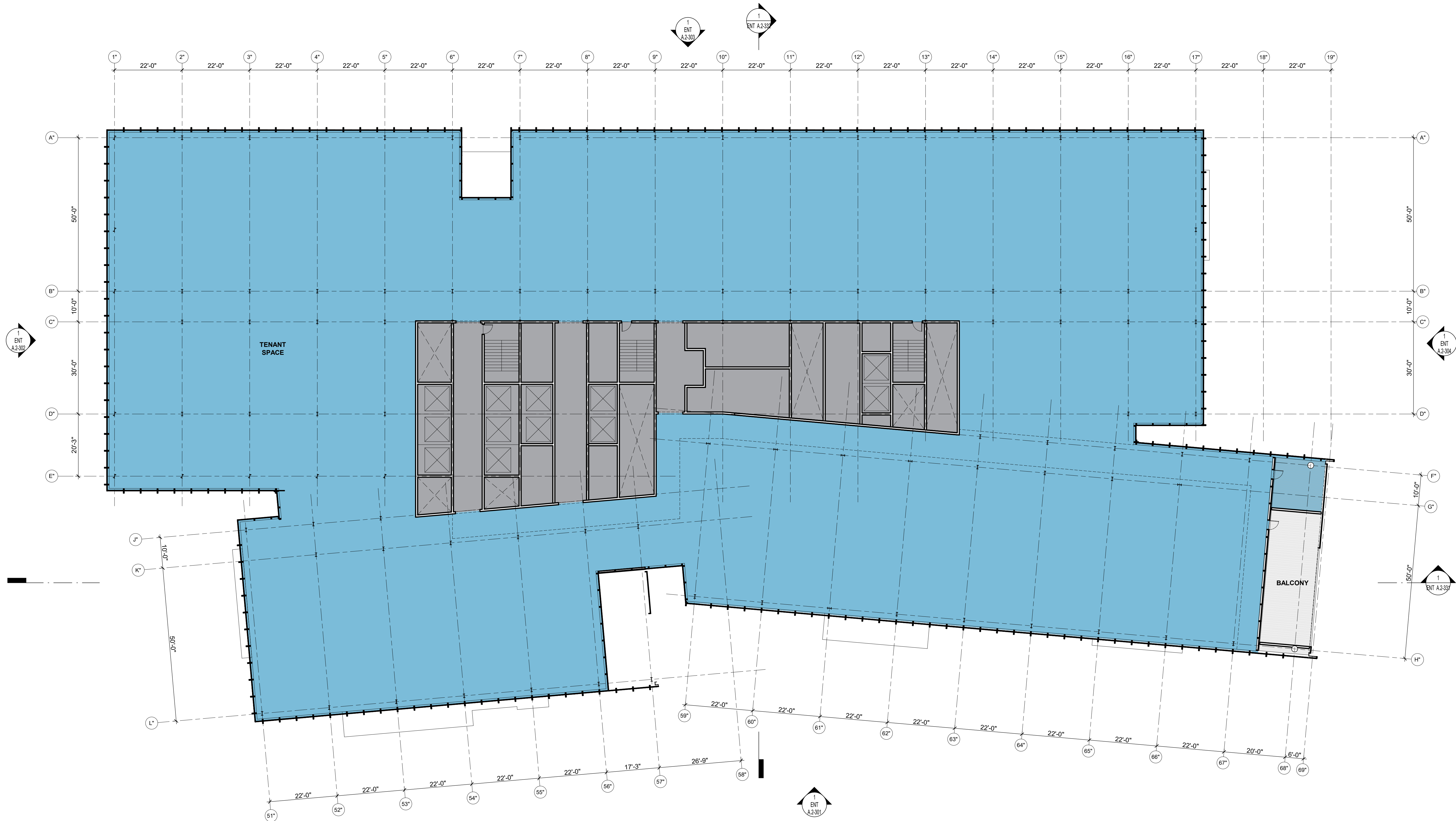
ENT A.2-102

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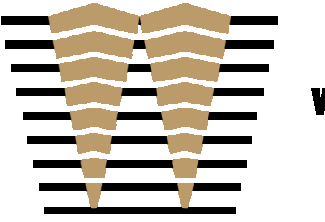


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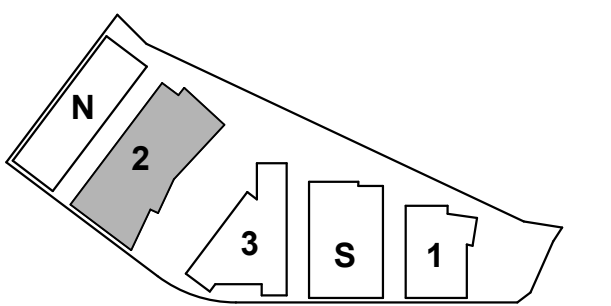
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Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

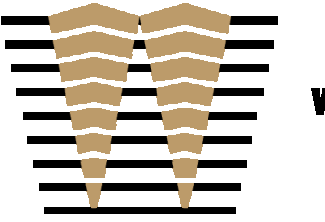
BUILDING 2 - FLOOR
PLAN - LEVEL 3

SHEET NO.:

ENT A.2-103

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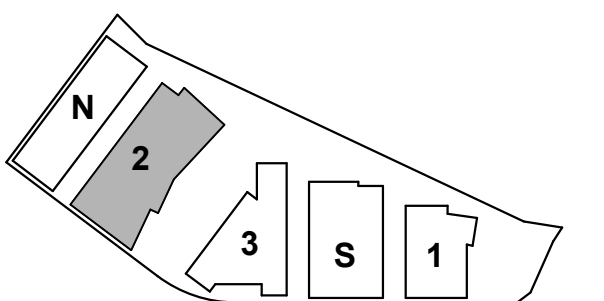
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PROJECT NO.: 20045.00

DATE: 03/04/2022

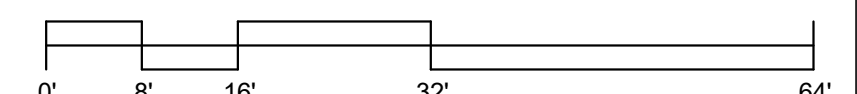
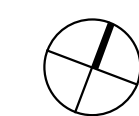
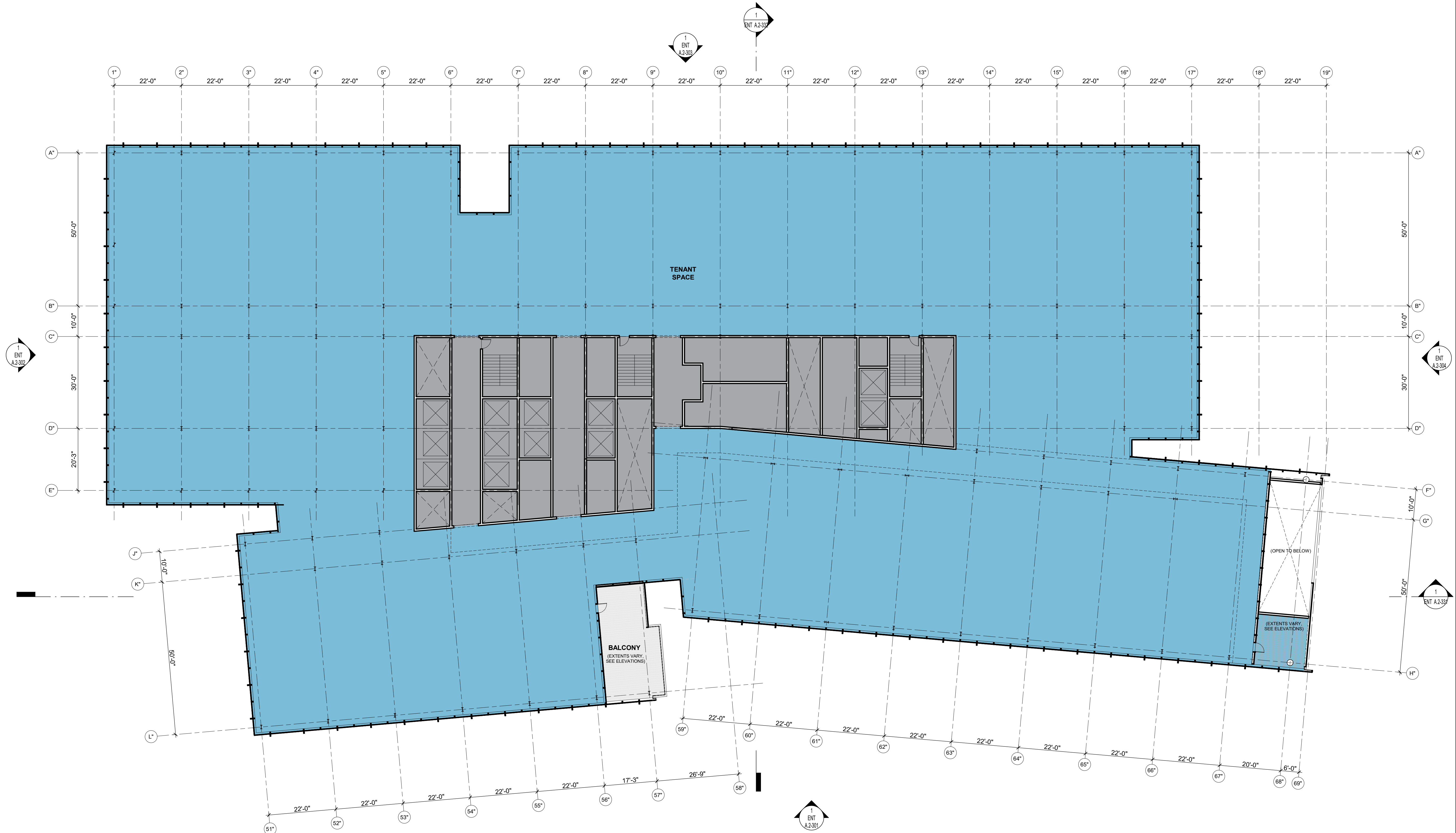
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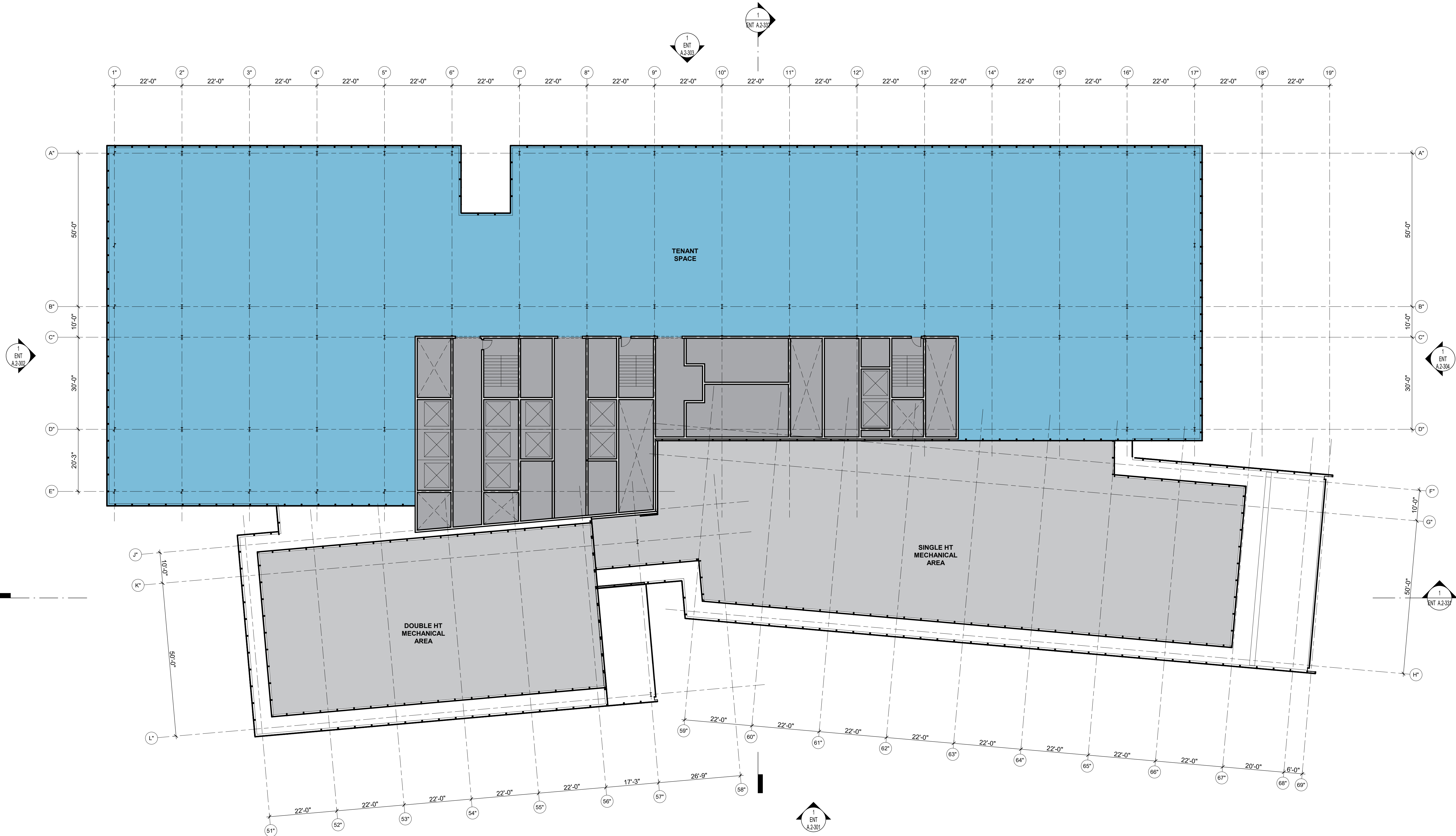
BUILDING 2 - FLOOR
PLAN - LEVELS 4-10
TYPICAL

SHEET NO: _____

ENT A.2-106

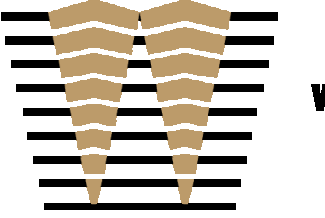


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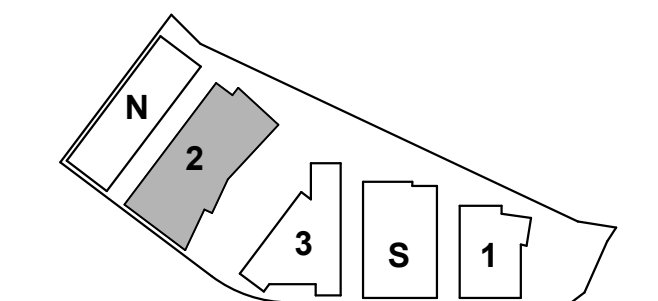
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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

BUILDING 2 - FLOOR
PLAN - LEVEL 11

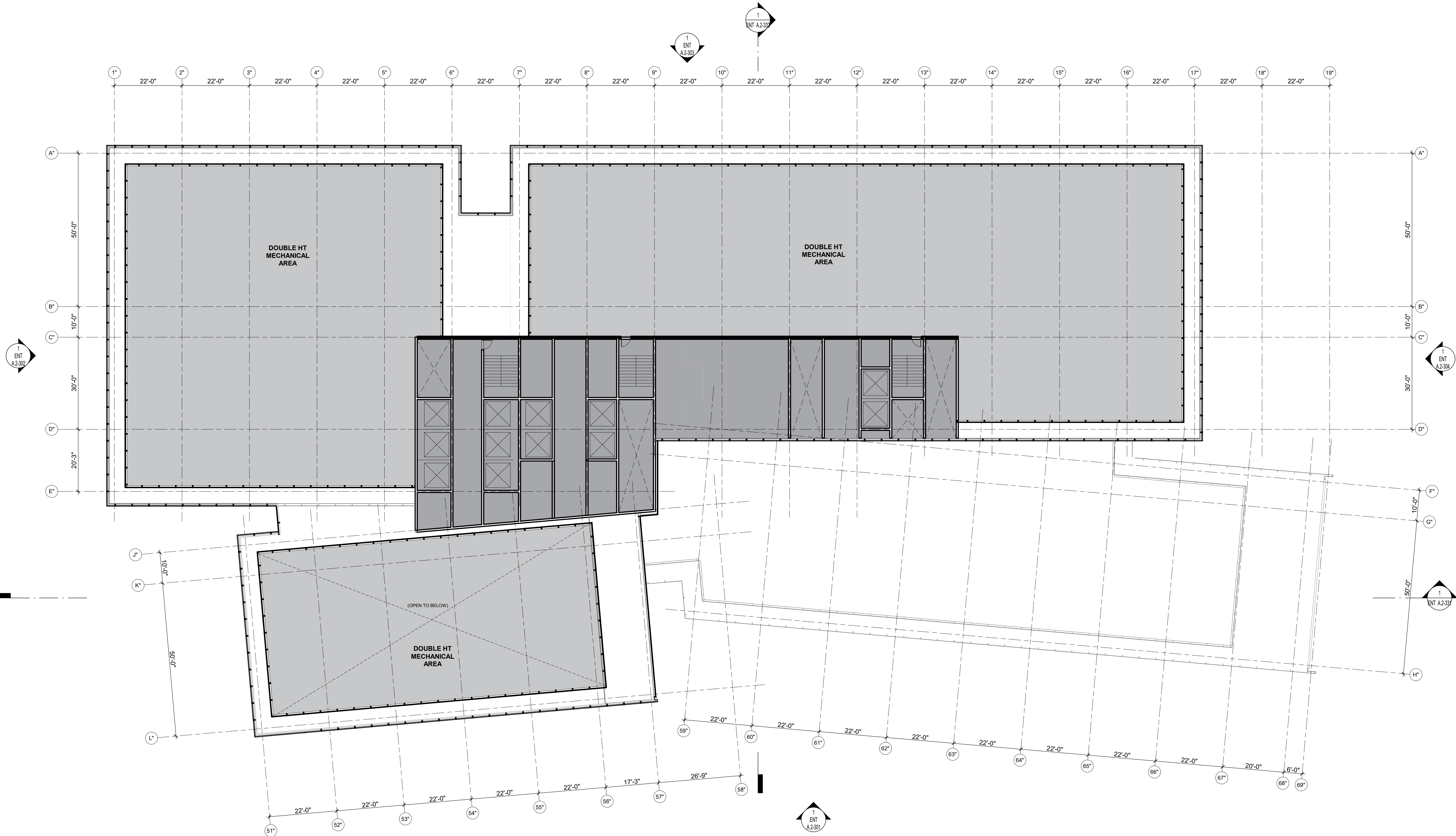
SHEET NO.:

ENT A.2-111

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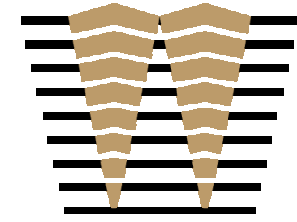
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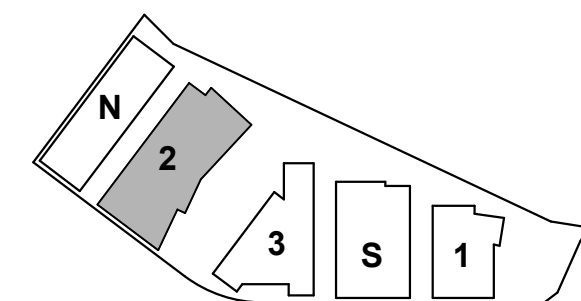
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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

BUILDING 2 - FLOOR
PLAN - ROOF LEVEL

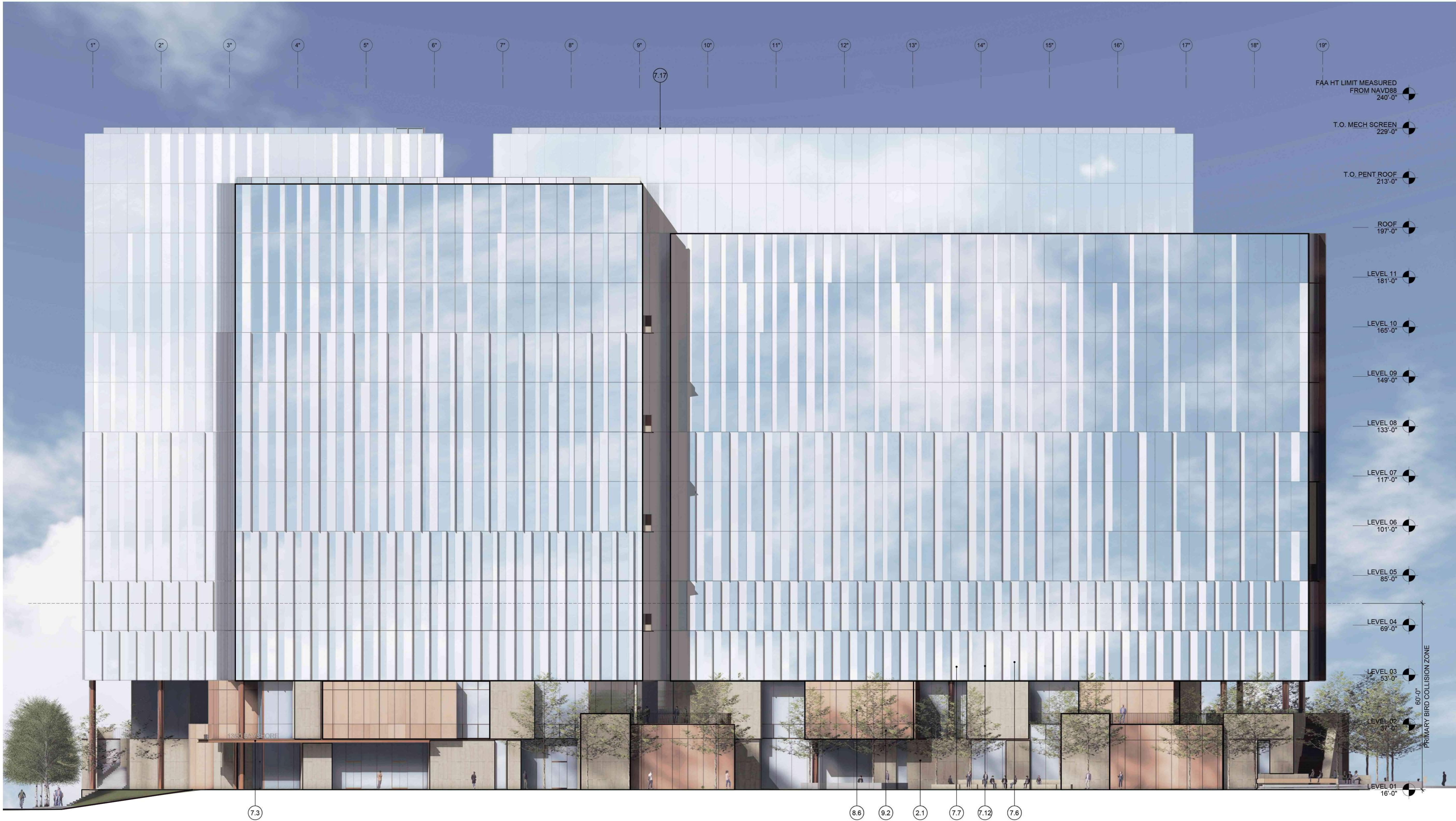
SHEET NO:

ENT A.2-112

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1 BUILDING 2 - CREEK ELEVATION

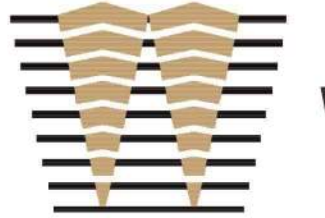
1/16" = 1'-0"

ELEVATION KEYNOTES

- | | |
|------|---------------------------------------|
| 2.1 | TEXTURED ARCHITECTURAL PRECAST PANELS |
| 7.3 | WARM MTL FRAMED CANOPY |
| 7.6 | SSG CURTAINWALL - CLEAR GLAZING |
| 7.7 | SSG CURTAINWALL - FRITTED GLAZING |
| 7.12 | LIGHT MTL VERTICAL FIN |
| 7.17 | BACKUP MTL PANEL SCREEN WALL |
| 8.6 | GRAPHIC INTERLAYER GLAZING |
| 9.2 | GLAZED SHADOW BOX |

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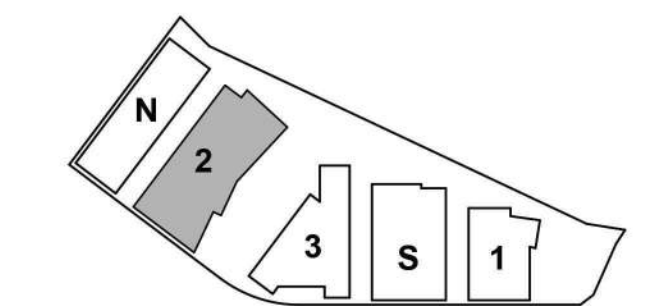
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ENTITLEMENT APPLICATION	03/24/2022

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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

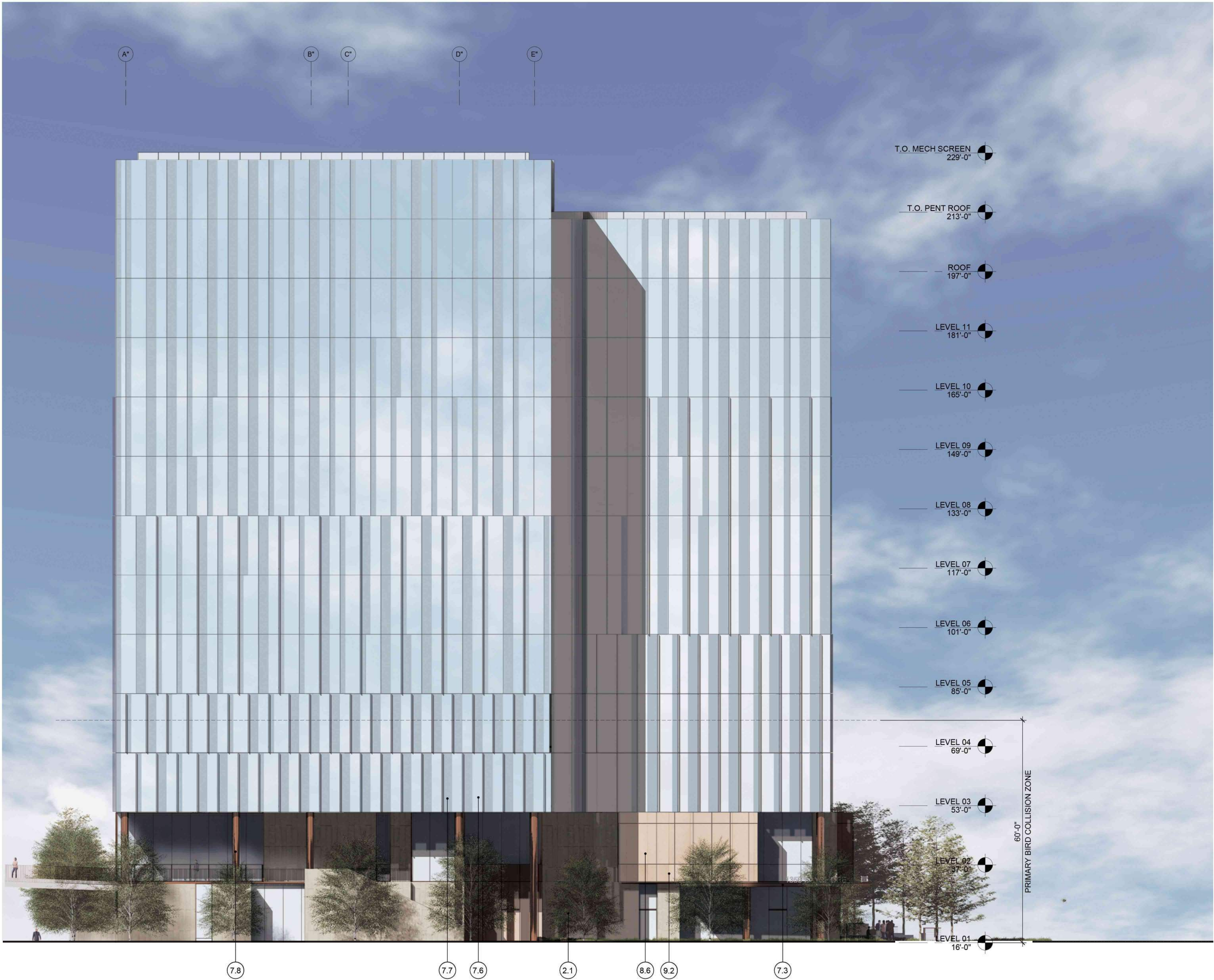
SHEET TITLE:

BUILDING 2 - EXTERIOR
ELEVATIONS

SHEET NO:

ENT A.2-301

3/2/2022 9:25:15 PM



1 BUILDING 2 - BAYSHORE HWY ELEVATION
1/16" = 1'-0"

GROUND FLOOR FACADE AREA CALCULATIONS

BAYSHORE HWY ELEVATION

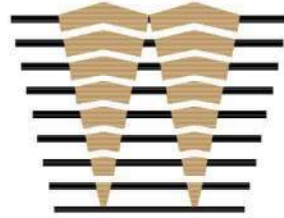
GROUND FLOOR FACADE AREA:	3960 SF
GROUND FLOOR GLAZED AREA:	1923 SF
GROUND FLOOR % GLAZED AREA:	49 %

ELEVATION KEYNOTES

2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.3	WARM MTL FRAMED CANOPY
7.6	SSG CURTAINWALL - CLEAR GLAZING
7.7	SSG CURTAINWALL - FRITTED GLAZING
7.8	WARM MTL COLUMN COVER
8.6	GRAPHIC INTERLAYER GLAZING
9.2	GLAZED SHADOW BOX

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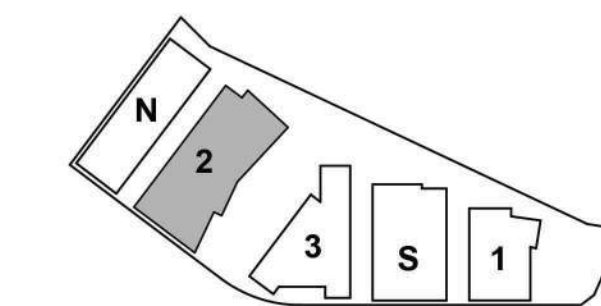
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SCALE: As indicated

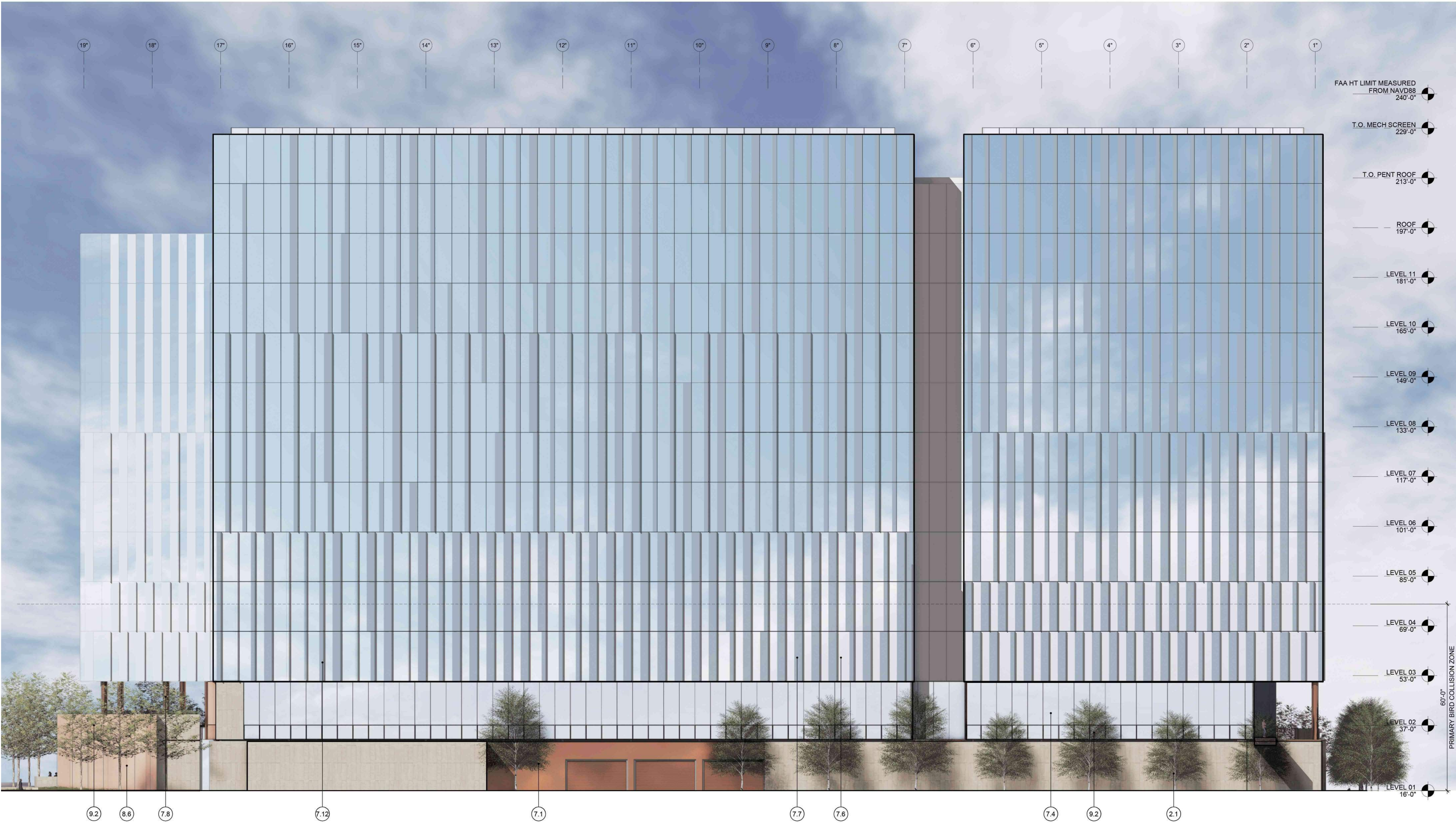
SHEET TITLE:

BUILDING 2 - EXTERIOR
ELEVATIONS

SHEET NO:

ENT A.2-302

3/14/2022 3:10:48 PM



1 BUILDING 2 - SIDE ELEVATION
1/16" = 1'-0"

ELEVATION KEYNOTES

- | | |
|------|---------------------------------------|
| 2.1 | TEXTURED ARCHITECTURAL PRECAST PANELS |
| 7.1 | WARM MTL PANEL |
| 7.4 | WARM MTL FRAMED STOREFRONT |
| 7.6 | SSG CURTAINWALL - CLEAR GLAZING |
| 7.7 | SSG CURTAINWALL - FRITTED GLAZING |
| 7.8 | WARM MTL COLUMN COVER |
| 7.12 | LIGHT MTL VERTICAL FIN |
| 8.6 | GRAPHIC INTERLAYER GLAZING |
| 9.2 | GLAZED SHADOW BOX |

FAA HT LIMIT MEASURED
FROM NAVD88
240'-0"

T.O. MECH SCREEN
229'-0"

T.O. PENT ROOF
213'-0"

ROOF
197'-0"

LEVEL 11
181'-0"

LEVEL 10
165'-0"

LEVEL 09
149'-0"

LEVEL 08
133'-0"

LEVEL 07
117'-0"

LEVEL 06
101'-0"

LEVEL 05
85'-0"

LEVEL 04
69'-0"

LEVEL 03
53'-0"

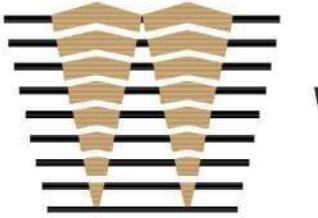
LEVEL 02
37'-0"

LEVEL 01
16'-0"

60'-0"
PRIMARY BIRD COLLISION ZONE

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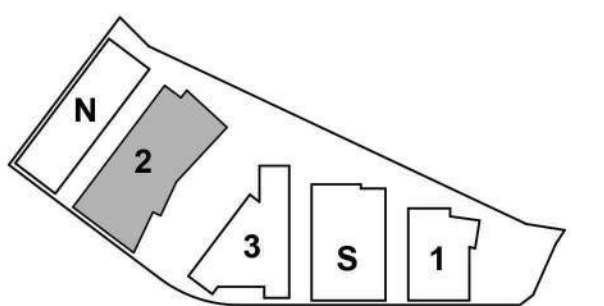
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ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

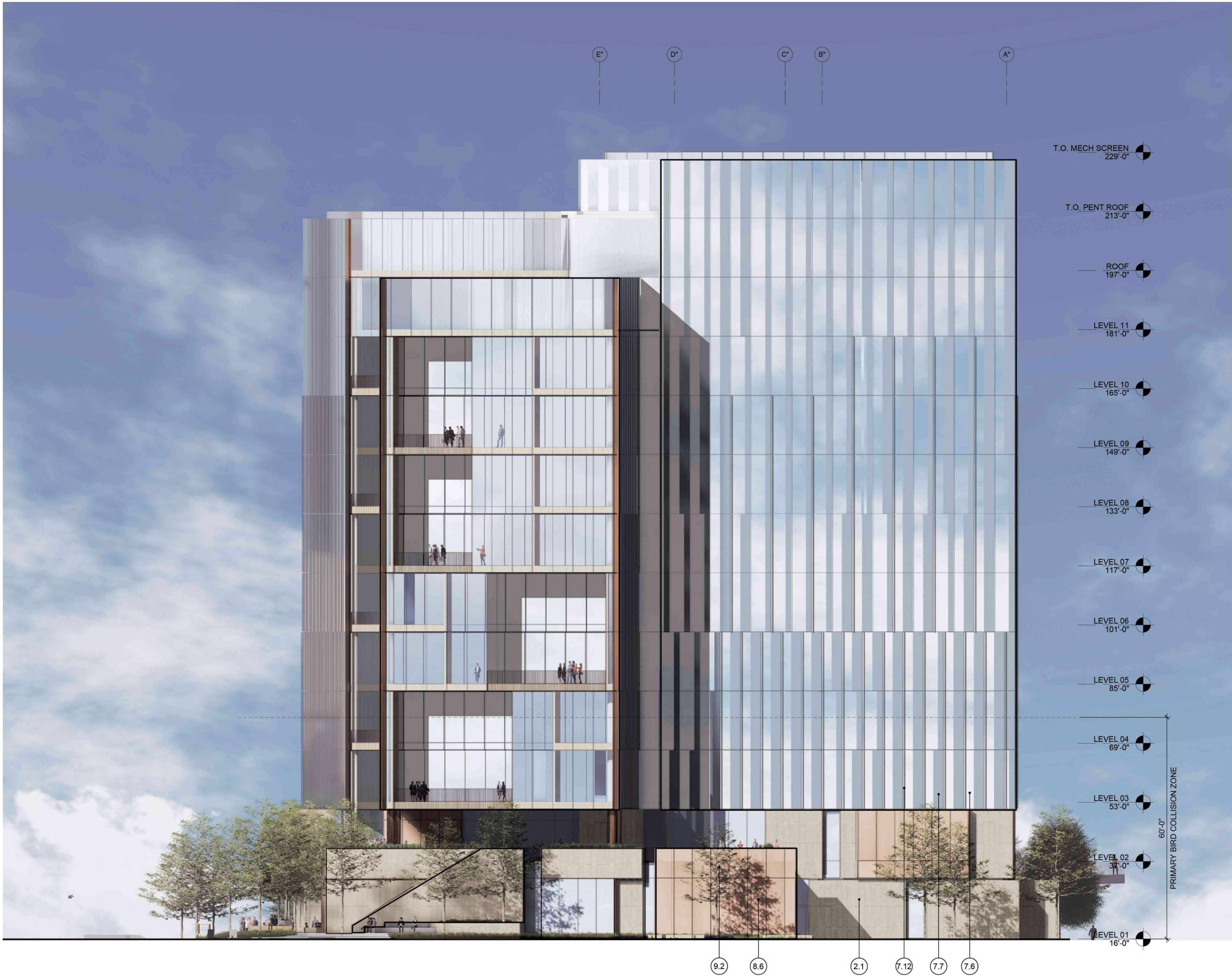
SHEET TITLE:

**BUILDING 2 - EXTERIOR
ELEVATIONS**

SHEET NO:

ENT A.2-303

3/3/2022 1:28:53 PM



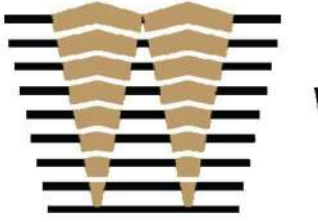
1 BUILDING 2 - BAY ELEVATION
1/16" = 1'-0"

ELEVATION KEYNOTES

- 2.1 TEXTURED ARCHITECTURAL PRECAST PANELS
- 7.6 SSG CURTAINWALL - CLEAR GLAZING
- 7.7 SSG CURTAINWALL - FRITTED GLAZING
- 7.12 LIGHT MTL VERTICAL FIN
- 8.6 GRAPHIC INTERLAYER GLAZING
- 9.2 GLAZED SHADOW BOX

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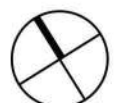
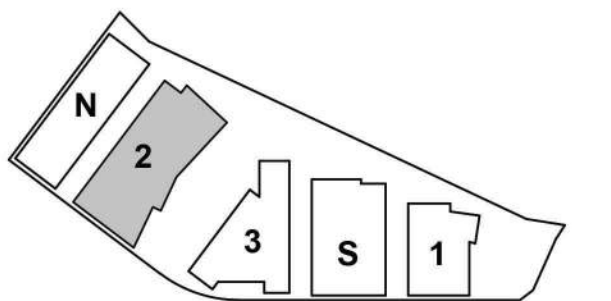
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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

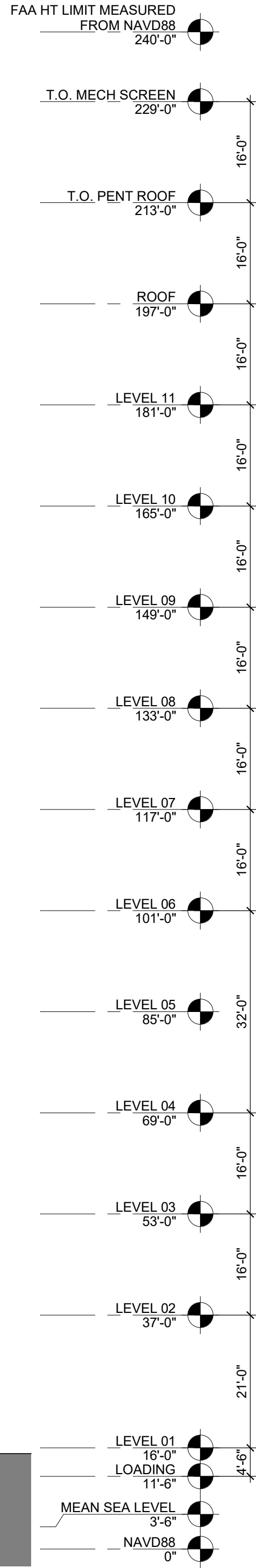
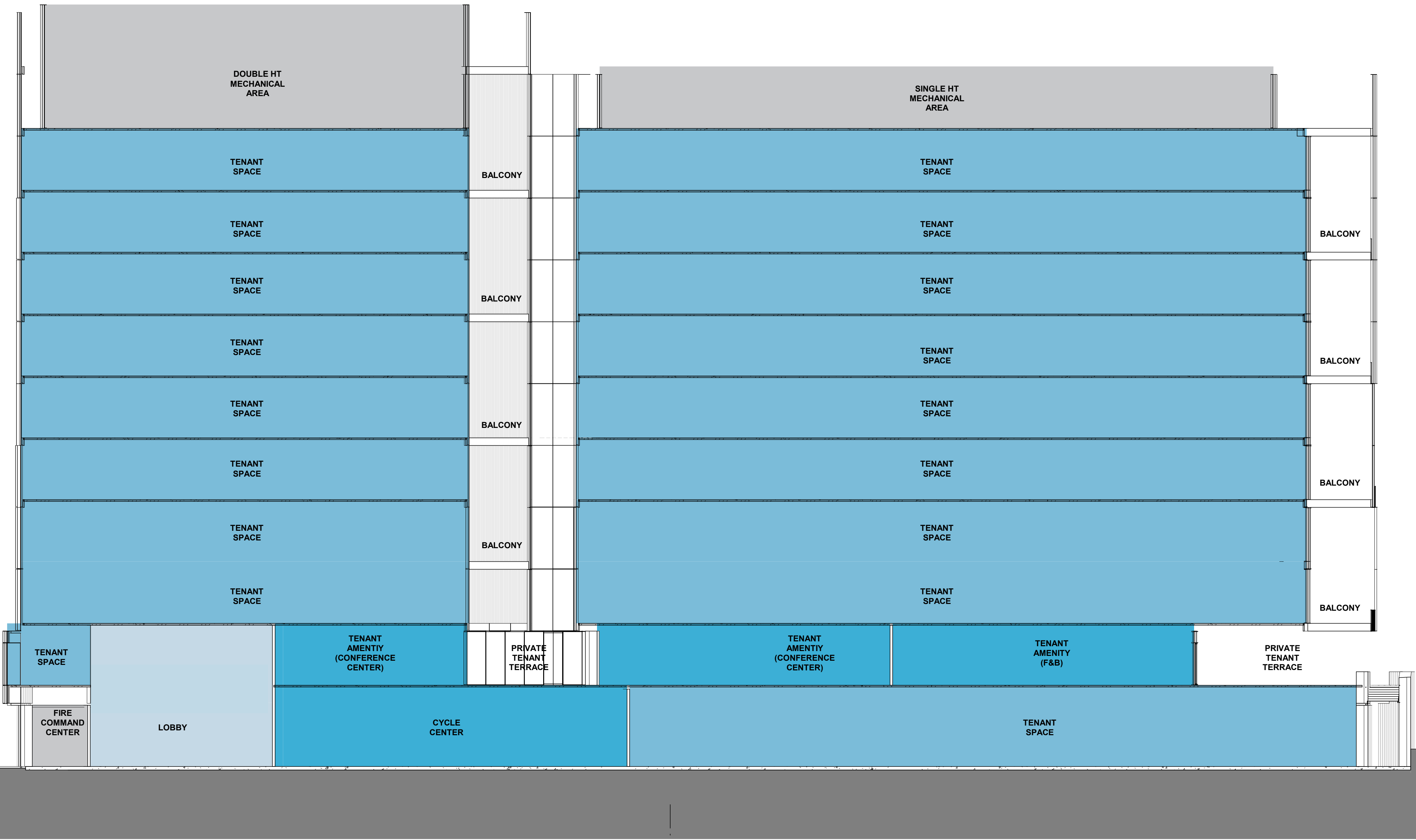
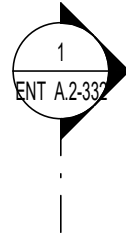
SHEET TITLE:

BUILDING 2 - EXTERIOR
ELEVATIONS

SHEET NO:

ENT A.2-304

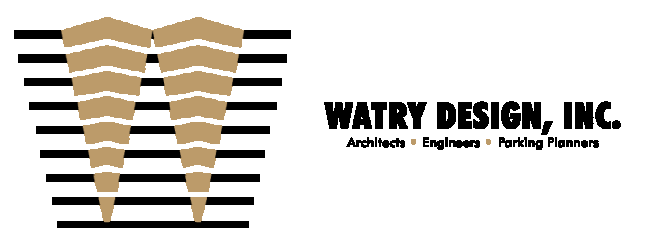
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1 BUILDING 2 - SECTION 1
1/16" = 1'-0"

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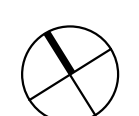
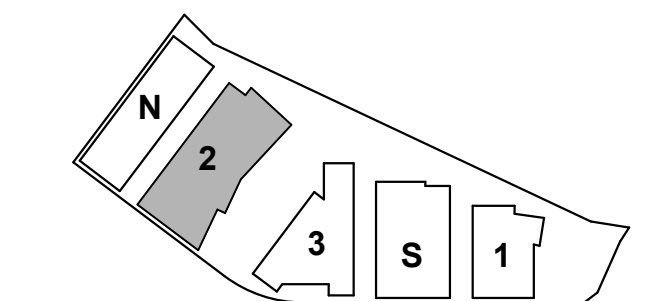
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SCALE: 1/16" = 1'-0"

SHEET TITLE:

BUILDING 2 - SECTIONS

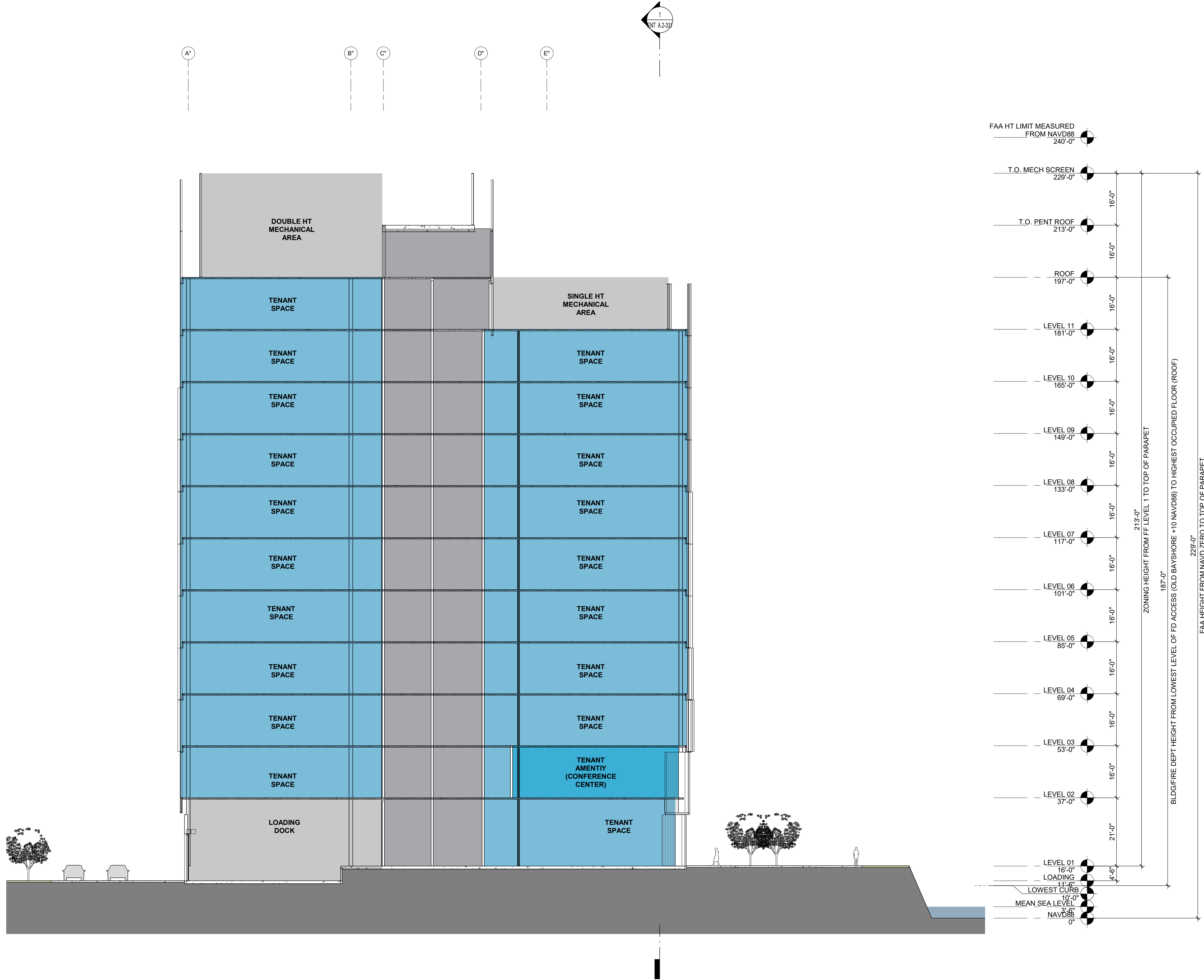
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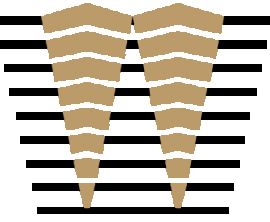
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1 BUILDING 2 - SECTION 2
1/16" = 1'-0"



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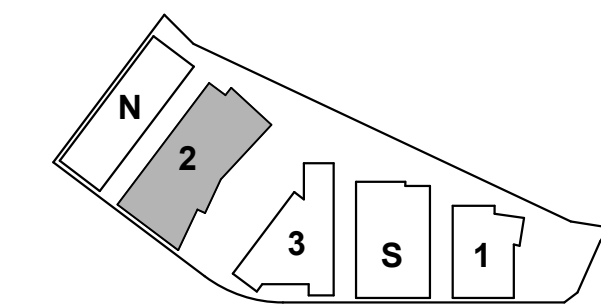
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SCALE: 1/16" = 1'-0"

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BUILDING 2 - SECTIONS

SHEET NO:

ENT A.2-332

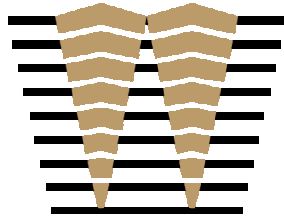
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BUILDING 3 CENTER

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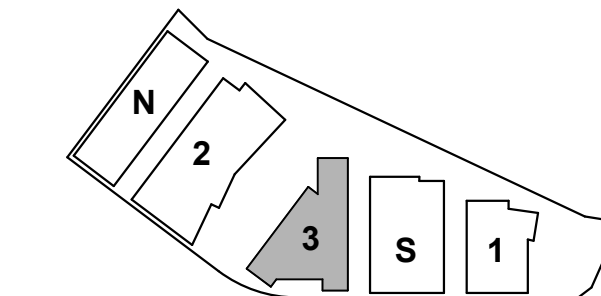
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BUILDING 3 - COVER

SHEET NO:

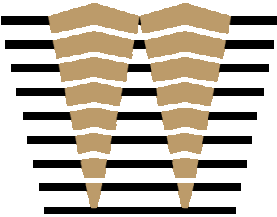
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CODE SUMMARY		
TYPE OF CONSTRUCTION	TYPE IA RISK CATEGORY III SEISMIC IMPORTANCE FACTOR 1.25	602.2 TABLE 1604.5 1613
REQUIRED FIRE RESISTIVE RATINGS	EXTERIOR BEARING WALLS 3 HOUR INTERIOR BEARING WALLS 3 HOUR EXTERIOR NON-BEARING WALLS SEE "FIRE SEPARATION DISTANCE" BELOW INTERIOR NON-BEARING WALLS 0 HOUR STRUCTURAL FRAME 3 HOUR FLOORS -CEILING/FLOORS 2 HOUR ROOF -CEILINGS/ROOFS 1 1/2 HOUR STAIRWAY ENCLOSURE SEE "FLOOR OPENINGS & SHAFTS" BELOW SHAFT ENCLOSURES SEE "FLOOR OPENINGS & SHAFTS" BELOW	TABLE 601
OCCUPANCY CLASSIFICATION	GROUP B: OFFICE GROUP A: ASSEMBLY OCCUPANCIES ARE SEPARATED THIS BUILDING IS DESIGNED FOR POTENTIAL FUTURE GROUP L OCCUPANCY AS PART OF TENANT FITOUT UNDER SEPARATE PERMIT	CBC CH. 3 CBC CH. 5 508.3
ALLOWABLE STORIES	B OCCUPANCY: UL STORIES A-3 OCCUPANCY: UL STORIES L OCCUPANCY: 20 STORIES	TABLE 504.4
ALLOWABLE HEIGHT	B OCCUPANCY: UL L OCCUPANCY: UL	TABLE 504.3
HAZARDOUS MATERIALS QUANTITY PER LABORATORY SUITE	STORY ABOVE GRADE % OF MAX. PER LAB SUITE # OF LAB SUITES PER FLOOR 1-3 100 UL 4-6 75 20 7-10 50 16 11-14 50 8 UL = UNLIMITED NP = NOT PERMITTED	CBC CH. 4 TABLE 453.7.2.1
ACTUAL AREA	LEVEL 1: 45,100 SF LEVEL 2: 38,500 SF LEVEL 3-10: 42,500 SF LEVEL 11: 23,900 SF ROOF: 7,500 SF TOTAL ABOVE GRADE BUILDING AREA = 455,000 SF ABOVE GRADE BUILDING AREA B OCCUPANCY: UL AREA TYPE IA L OCCUPANCY: UL AREA TYPE IA A OCCUPANCY: UL AREA TYPE IA M OCCUPANCY: UL AREA TYPE IA	CBC CH. 5 TABLE 504.3 TABLE 504.4 506.2.4 506.3 508.4 TABLE 506.2
ACTUAL STORIES ACTUAL HEIGHT	11 STORIES ABOVE GRADE 185'-0	
FIRE SEPARATION DISTANCE	EXTERIOR NON BEARING WALLS GROUPS A, & B 0 FT <X < 5 FT = 1 HR 5 FT ≤X < 10 FT = 1 HR 10 FT ≤X < 30 FT = 1 HR 30 FT ≤X = 0 HR GROUP L 0 FT <X < 5 FT = 3 HR 5 FT ≤X < 10 FT = 3 HR 10 FT ≤X < 30 FT = 2 HR 30 FT ≤X = 0 HR	CBC CH. 6 TABLE 602
EXTERIOR WALL OPENINGS	MAXIMUM AREA OF EXTERIOR WALL OPENINGS FIRE SEPARATION DISTANCE 0'-3' 3'-5' 5'-10' 10'-15' 15'-20' 20'-25' 25'-30' >30' NP NP 10% 15% 25% 45% 70% NL PROTECTED NP 15% 25% 45% 75% NL NL NL / UNPROTECTED & SPRINKLERED NP = NOT PERMITTED NL = NO LIMIT	CBC CH. 7 TABLE 705.8
FLOOR OPENINGS & SHAFTS	4 STORIES OR MORE = 2 HR LESS THAN 4 STORIES = 1 HR	CBC CH. 7 713.4
EXITING & OCCUPANT LOAD	SEE LIFE SAFETY PLANS ALL EXITS ARE ACCESSIBLE	CBC CH. 10 1004
EXITS REQUIRED	SEE LIFE SAFETY PLANS	CBC CH. 10 1006
EXITS PROVIDED	SEE LIFE SAFETY PLANS	CBC CH. 10 1006
TRAVEL DISTANCE	GROUP B OCCUPANCY: *300 FT GROUP L OCCUPANCY: *200 FT GROUP A OCCUPANCY: *250 FT GROUP S2 OCCUPANCY: *400 FT * INCREASE IN ALLOWABLE TRAVEL DISTANCE FOR BUILDINGS EQUIPPED WITH A SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1	CBC CH. 10 TABLE 1017.2
AREA OF REFUGE	NO AREA OF REFUGE IS REQUIRED	CBC CH. 10 1009.3.3
ELEVATORS	ONE ELEVATOR SHALL PROVIDE EMERGENCY SERVICES TO ALL LANDINGS. THE ELEVATOR CAR SHALL ACCOMMODATE AN AMBULANCE STRETCHER 24"x84" WITH 5-INCH RADIUS CORNERS, IN THE HORIZONTAL OPEN POSITION, AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. ELEVATOR MACHINE ROOMS SHALL HAVE AN INDEPENDENT VENTILATION OR AC SYSTEM	CBC CH. 30 3002.4 3006.2
FIRE PROTECTION	AUTOMATIC FIRE SPRINKLERS PROVIDED IN ACCORDANCE WITH SECTION 903.3.1.1 STANDPIPE SYSTEMS IN ACCORDANCE WITH SECTION 905 PORTABLE FIRE EXTINGUISHERS WITH A MINIMUM CLASSIFICATION OF 2A:10BC PROVIDED IN ACCORDANCE WITH SECTION 906 FIRE ALARM SYSTEM WITH UL CENTRAL STATION, FULLY ADDRESSABLE SYSTEM PROVIDED IN ACCORDANCE WITH NFPA 72 (DEFERRED SUBMITTAL) EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM PER SECTION 907.5.2.2 FIRE PUMP (W/ EMERGENCY BACK-UP GENERATOR & 12 HOURS OF FUEL STORAGE CAPACITY) PROVIDED FOR SPRINKLERS AND STANDPIPES	CBC CH. 9 CFC CH. 9
EMERGENCY RESPONDER RADIO COVERAGE SYSTEM (ERRCS)	INDEPENDENT ERRCS SYSTEM PROVIDED THROUGHOUT BUILDING AND SUBTERRANEAN GARAGE, BUILT-IN OSCILLATION PROTECTION SYSTEM, TUNING AND ISOLATION OF THE SYSTEM IS REQUIRED TO ELIMINATE INTERFERENCE WITH THE MACRO RADIO INFRASTRUCTURE, AND SIGNALS FROM NEARBY BUILDINGS.	CBC CH. 9 916.1 CFC CH. 5 510.1
CEQA	LOW-FLOW PLUMBING FIXTURES WILL BE USED THROUGHOUT PROJECT, IN COMPLIANCE WITH CBC, CALGREEN AND LEED REQUIREMENTS	
<p>PLEASE NOTE: THE OFFICE BUILDINGS IN THIS PROJECT ARE CORE-SHELL ONLY, AND WILL BE SUBMITTED AS B-GROUP OCCUPANCY BUILDINGS.</p> <p>THE PROJECT ANTICIPATES POTENTIAL FUTURE LABORATORY USE, WITH L-GROUP OCCUPANCY, AS PART OF FUTURE TENANT FITOUTS UNDER SEPARATE PERMITS.</p> <p>RELEVANT REQUIREMENTS FOR B-GROUP AND L-GROUP OCCUPANCY ARE INCORPORATED INTO THE DESIGN WHERE CORE-SHELL COMPONENTS OF THE BUILDING ARE AFFECTED.</p>		

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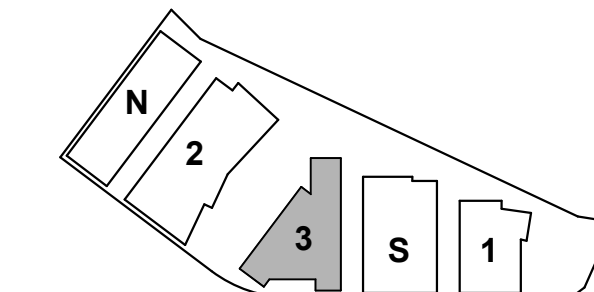
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PROJECT NO.: 20045.00

DATE: 03/24/2022

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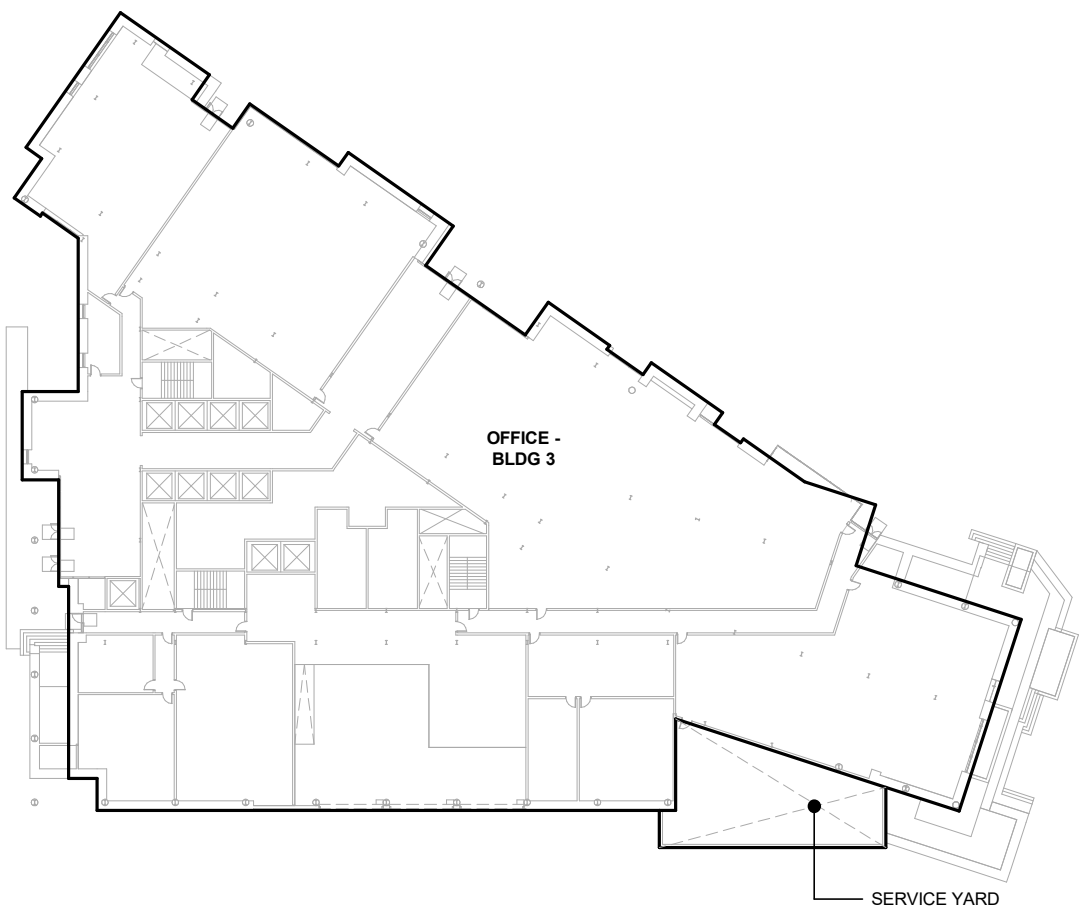
SHEET TITLE:

BUILDING 3 - CODE & AREA SUMMARY

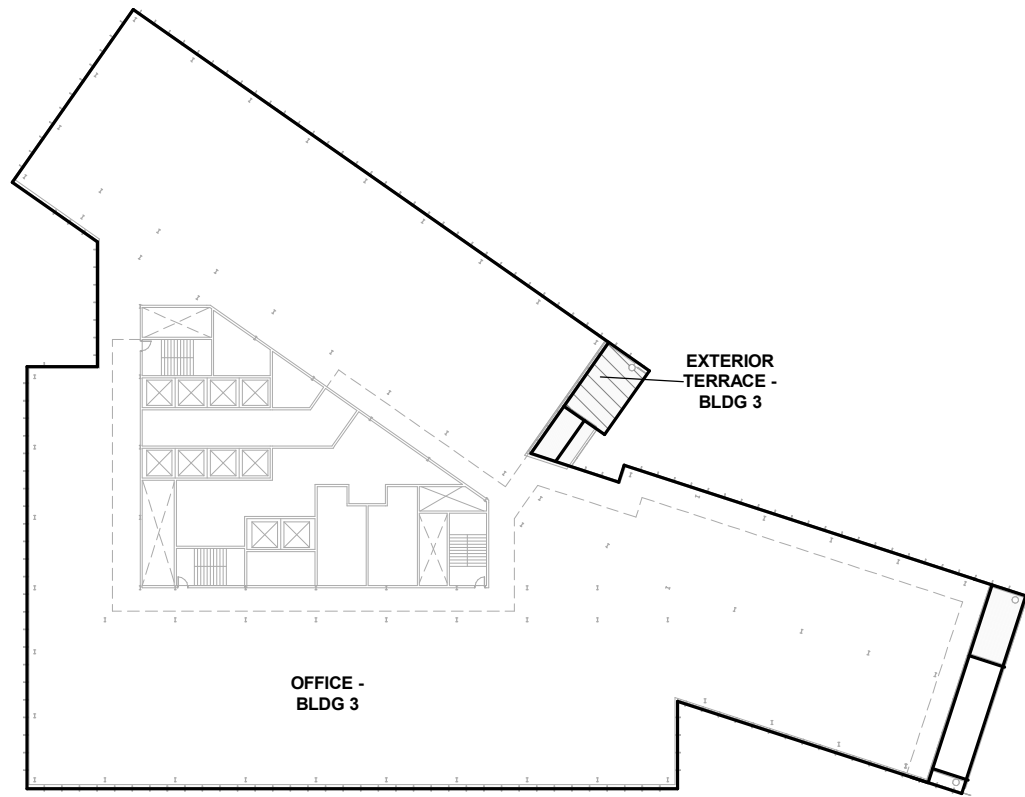
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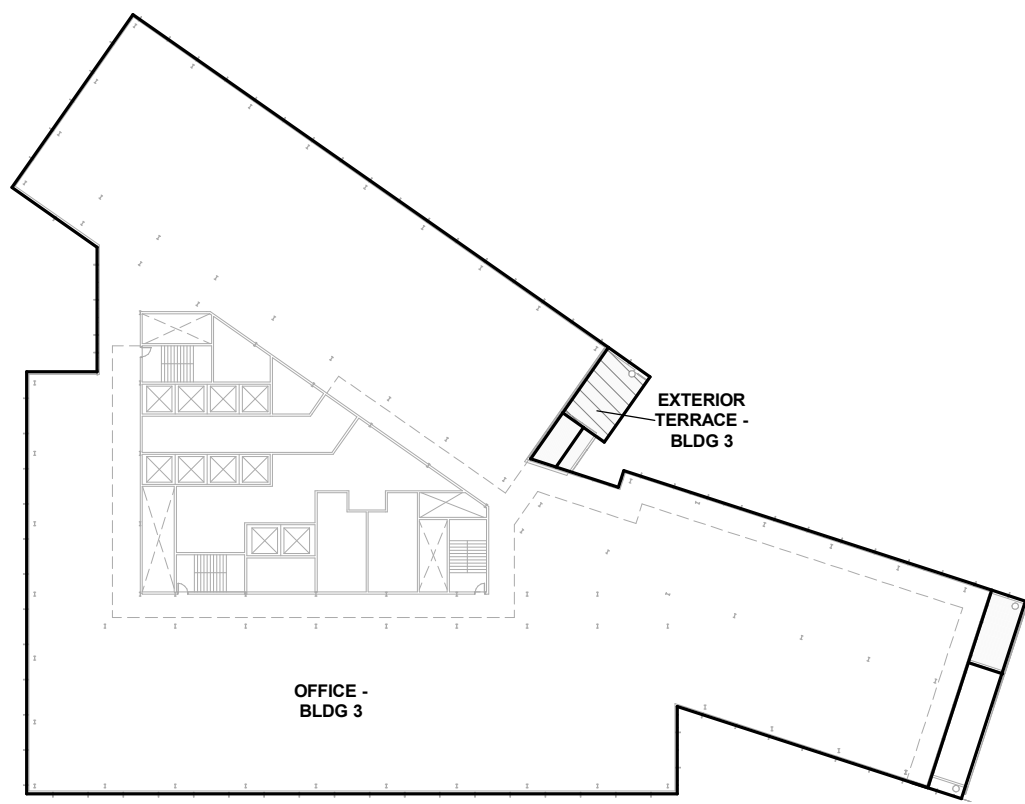
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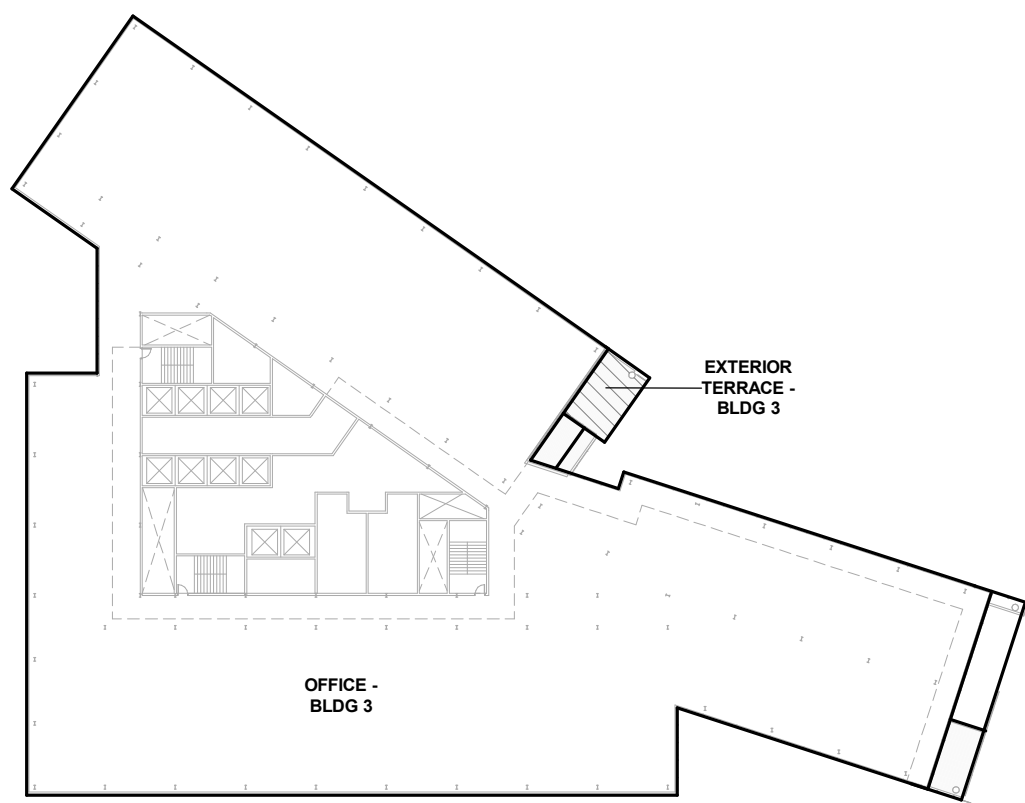
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1" = 60'-0"



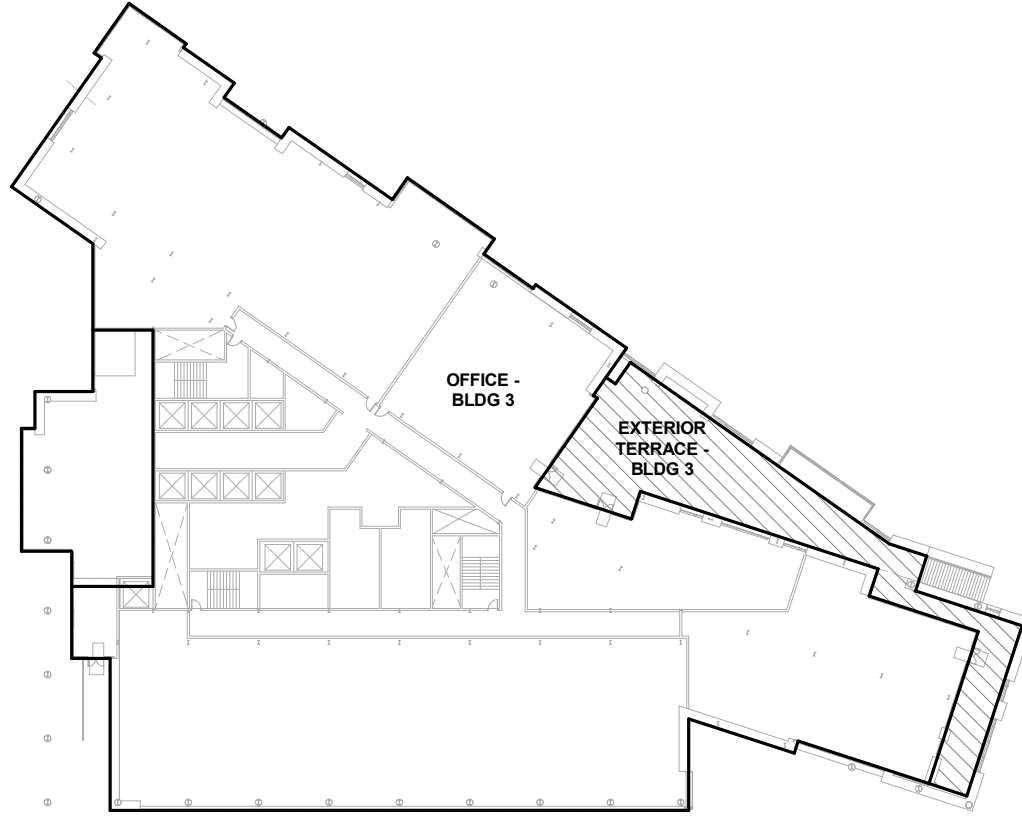
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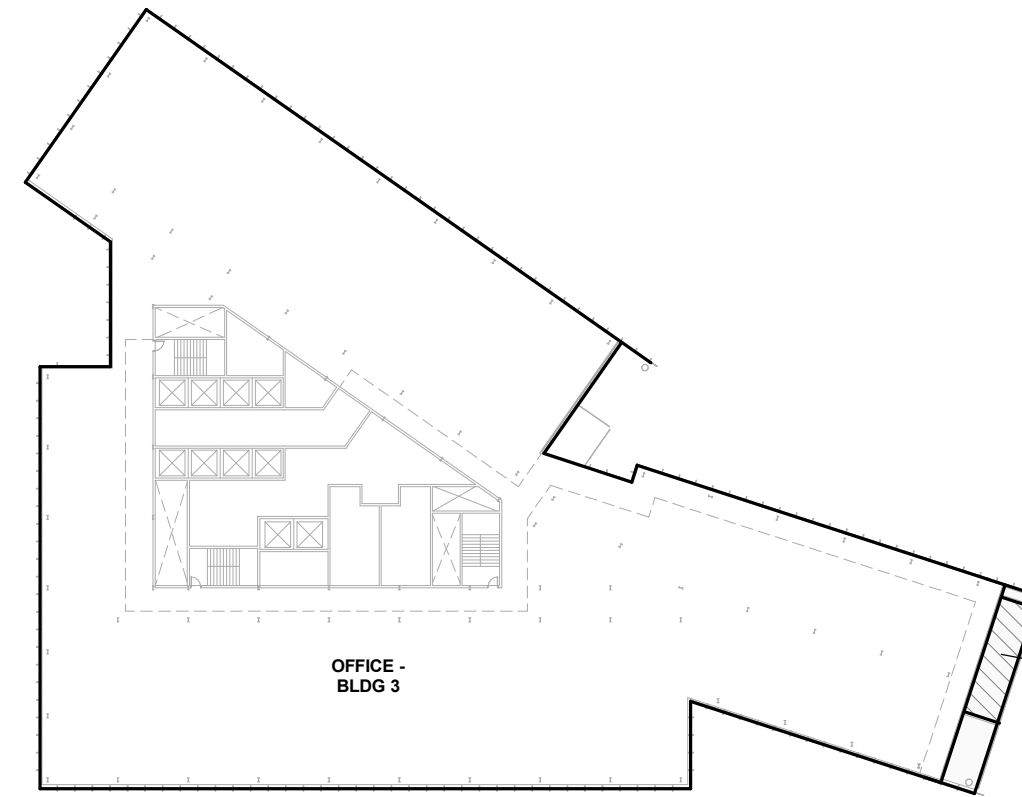
7 GROSS AREA - LEVEL 7
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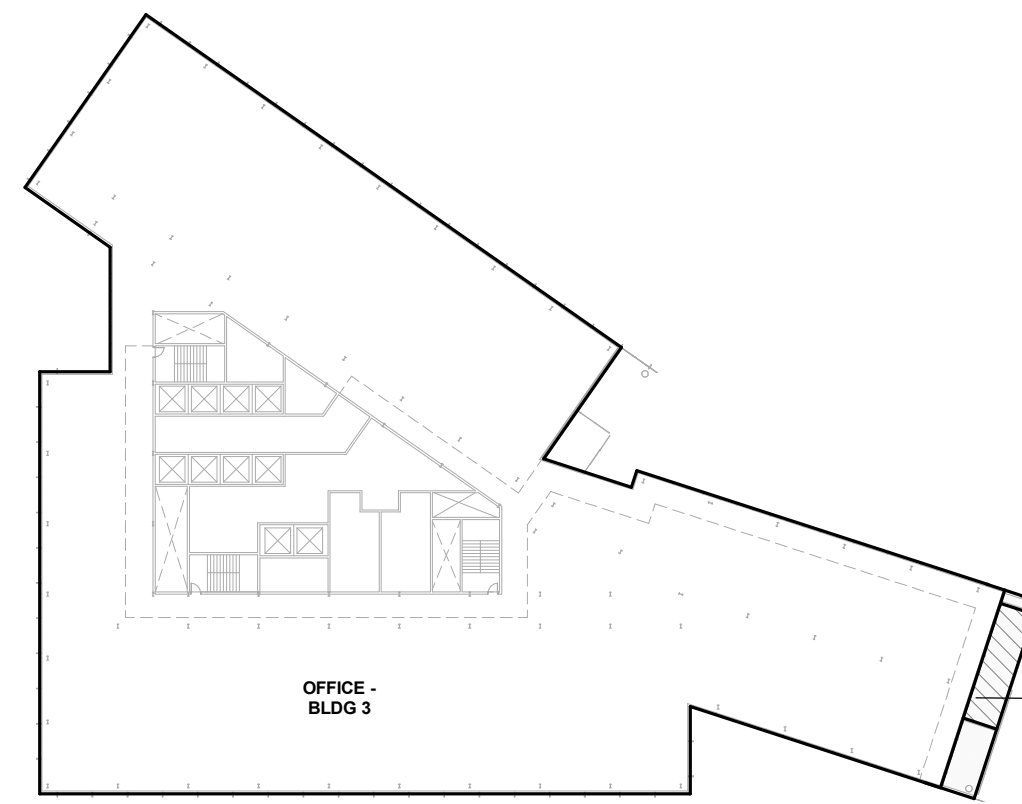
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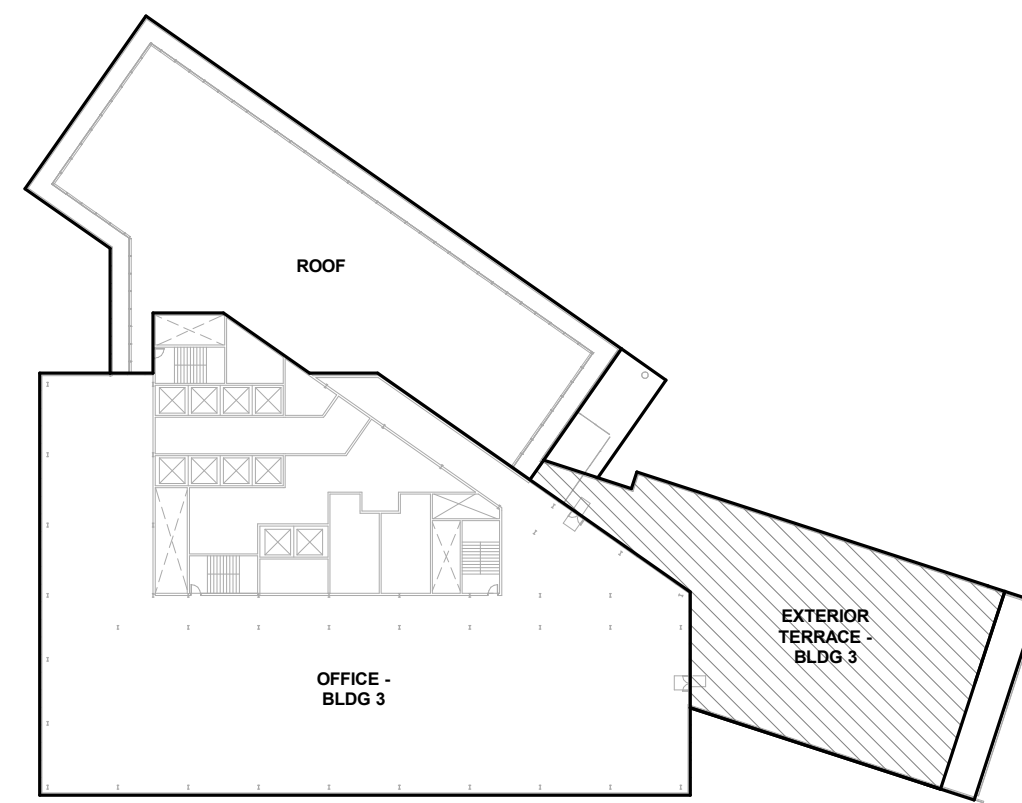
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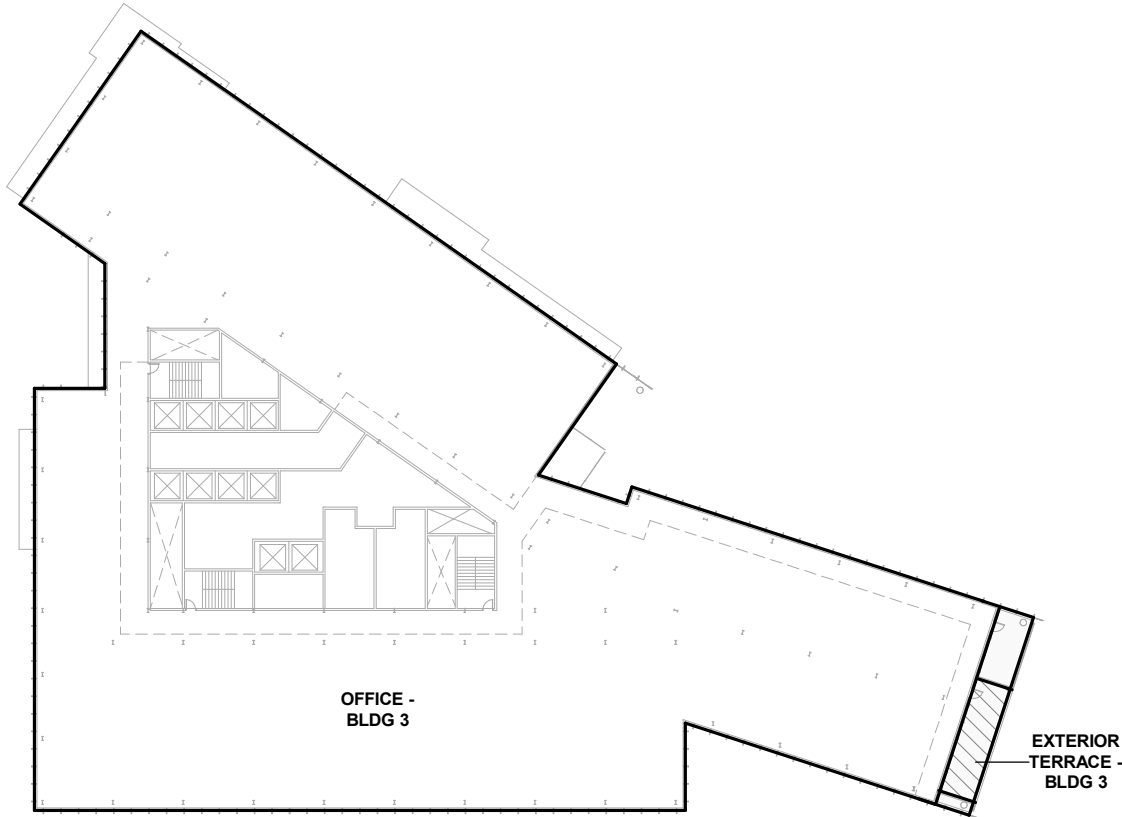
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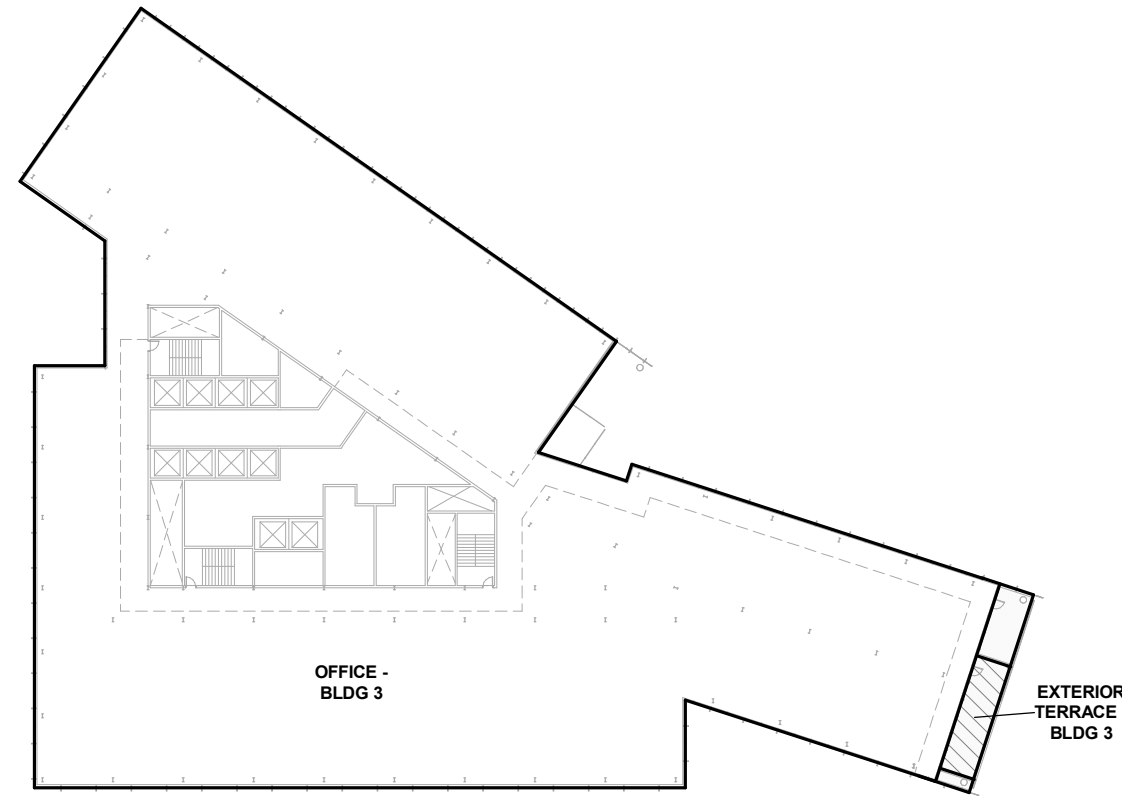
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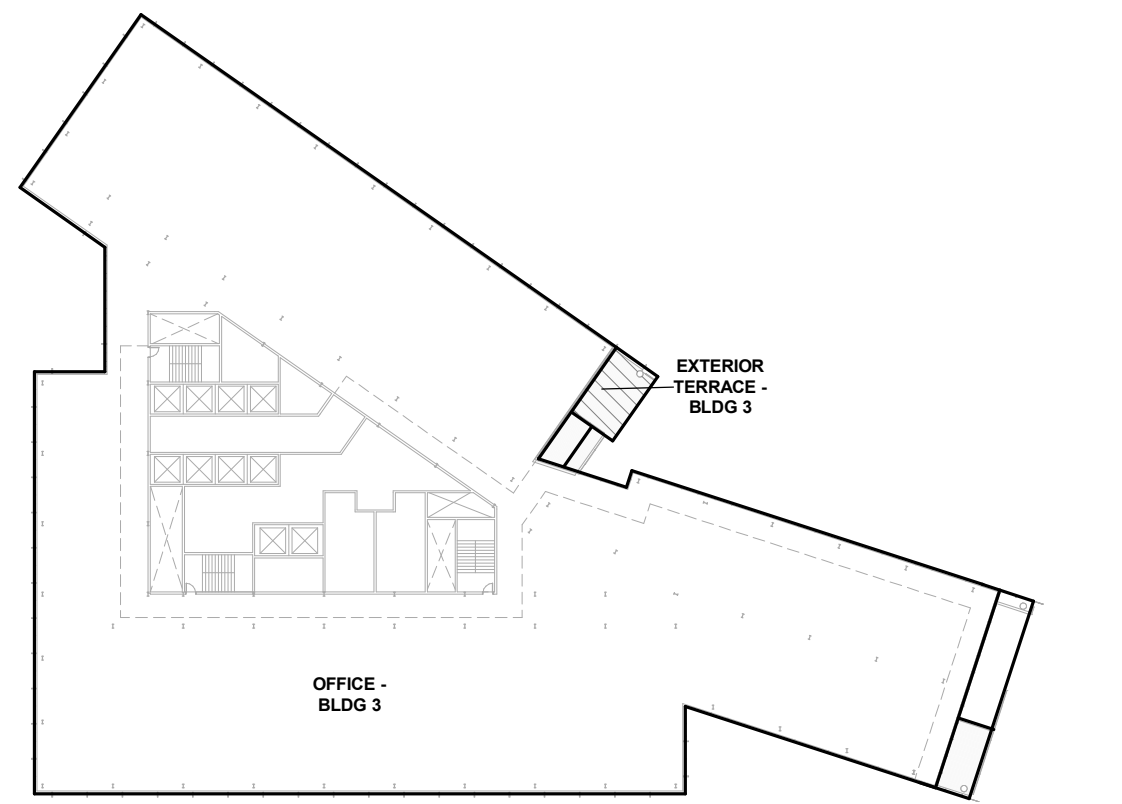
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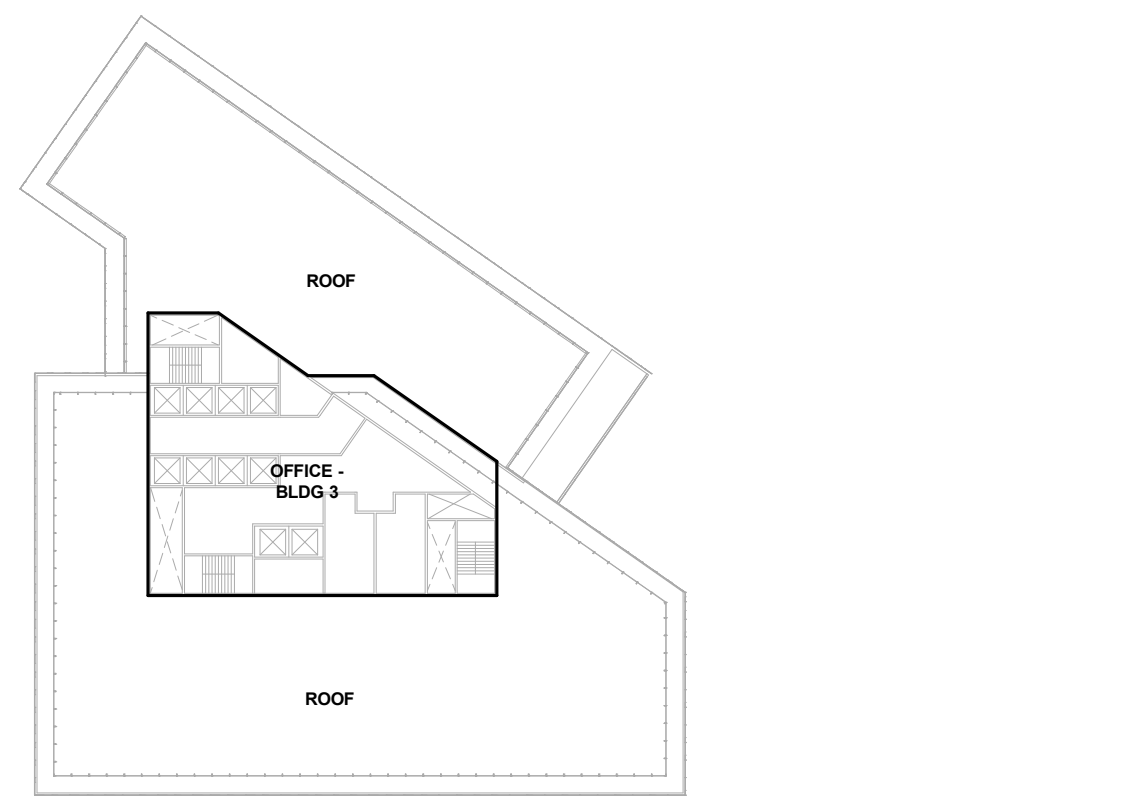
3 GROSS AREA - LEVEL 3
1" = 60'-0"



6 GROSS AREA - LEVEL 6
1" = 60'-0"



9 GROSS AREA - LEVEL 9
1" = 60'-0"



12 GROSS AREA - ROOF
1" = 60'-0"

LEGEND

*REFER TO SHEET ENT G-002 FOR ALL BUILDING AREAS

GROSS BUILDING AREA

GROSS BUILDING AREA IS DEFINED AND CALCULATED PER BURLINGAME MUNICIPAL CODE TITLE 25.

BURLINGAME MUNICIPAL CODE ARTICLE 8: DEFINITIONS

25.030.060.A - Determining Floor Area, Generally.

The floor area of a building shall be the sum of all floors of a building or buildings, as measured to the outside surfaces of the exterior walls of the structure or structures and including such areas as halls, stairways, covered porches and balconies, elevator shafts, service and mechanical equipment rooms and basements, cellars, and improved space in attic areas.

25.030.060.D.2 - Non-Residential Exemptions.

Exempted from floor area ratio computation for commercial development are:

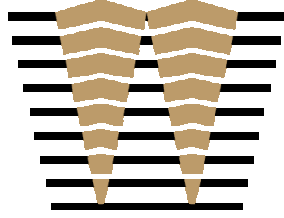
- Chimneys, cupolas, and flag poles.
- Canopies at entrances to buildings.
- Balconies (uncovered or covered).
- Covered walkways and arcades.
- Ground level trellises.
- Trash enclosures.
- Water tanks, elevator penthouses, and other mechanical appurtenances.
- Fire or hose towers.
- Ground level service yards, if open to the sky, and which may otherwise be partially enclosed.

25.108.070 - "F" Definitions.

Floor area, gross. The total area enclosed within a building, including closets, stairways, and utility and mechanical rooms, measured from the outside face of the walls.

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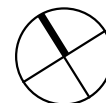
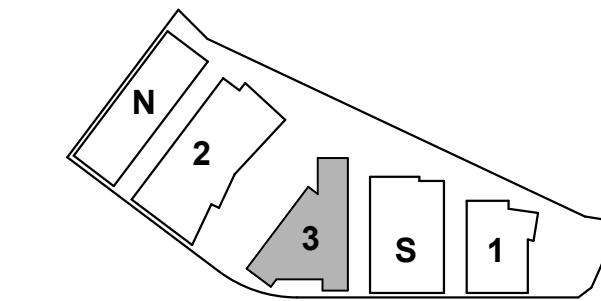
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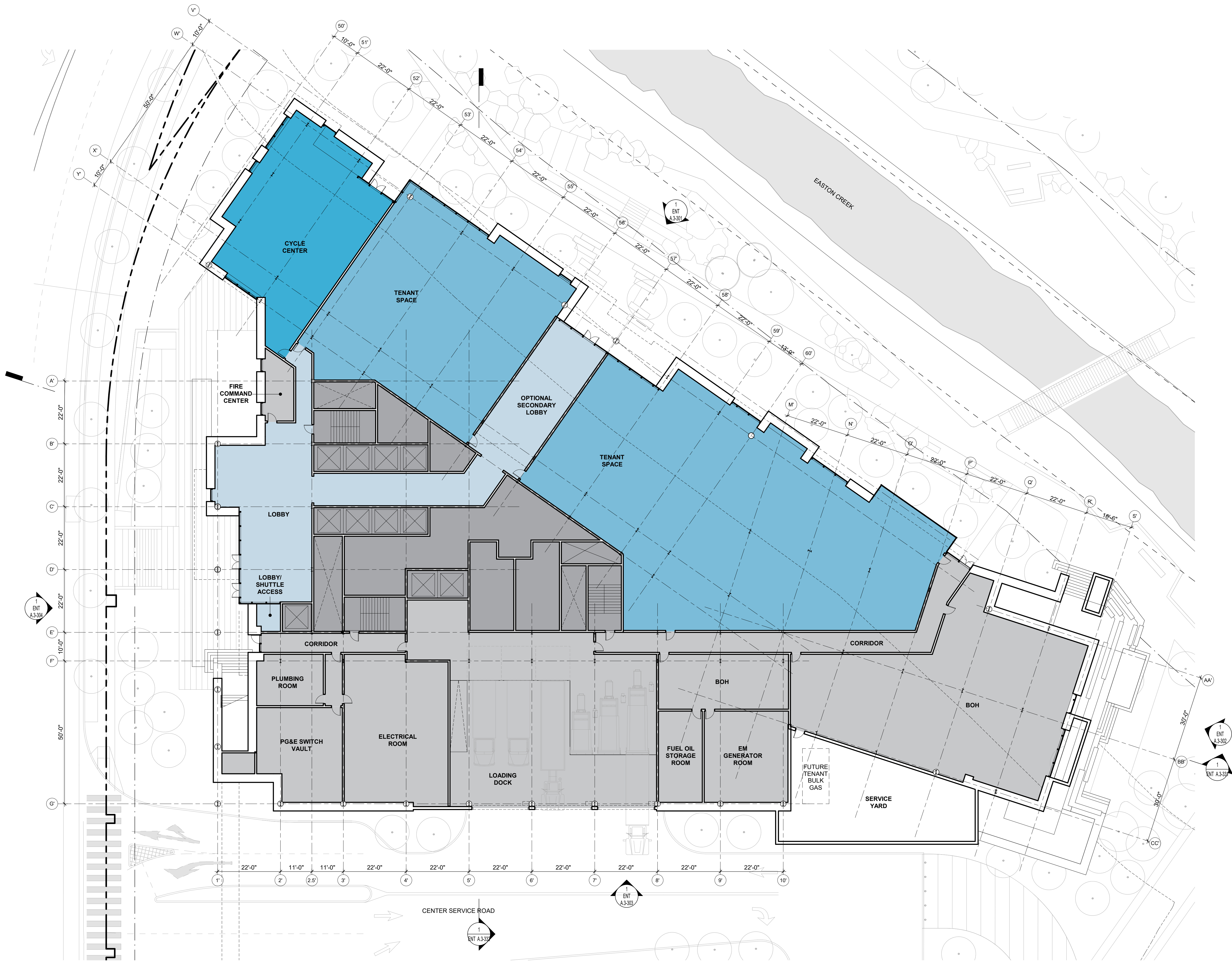
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BUILDING 3 - AREA
PLANS

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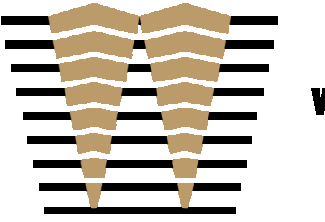
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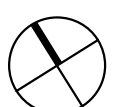
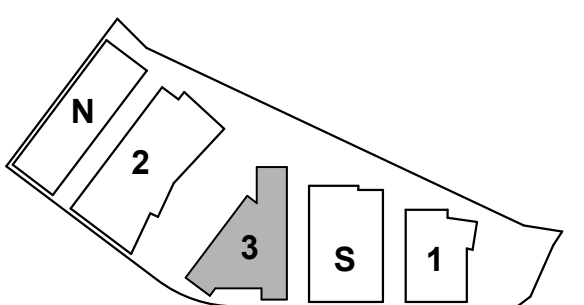
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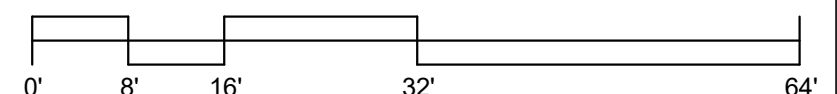
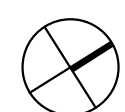
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SHEET TITLE:

BUILDING 3 - FLOOR
PLAN - LEVEL 1

SHEET NO:

ENT A.3-101



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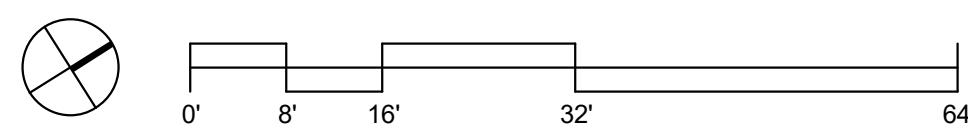
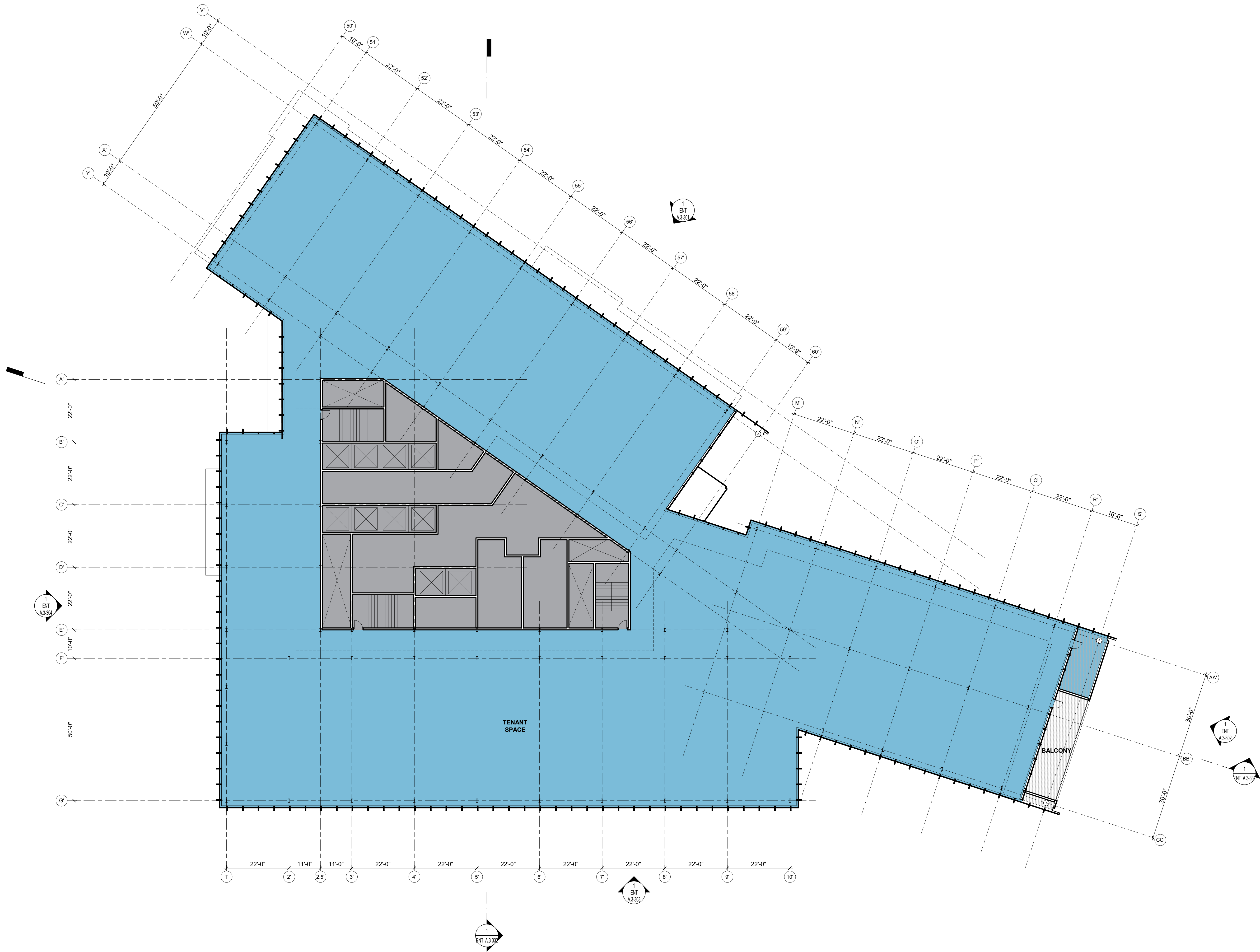
SHEET TITLE:
BUILDING 3 - FLOOR PLAN - LEVEL 2

SHEET NO.:	ENT A.3-102
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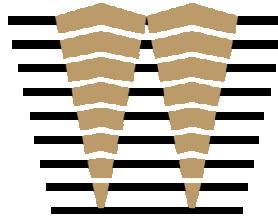


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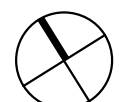
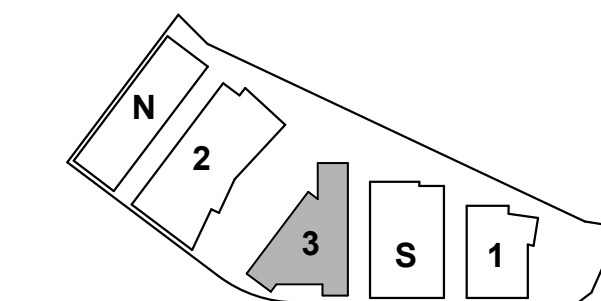
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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

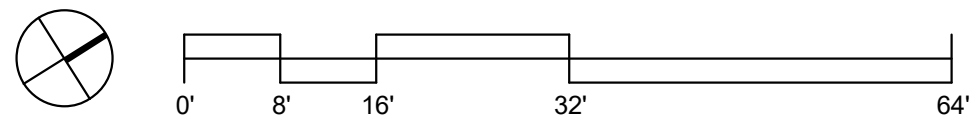
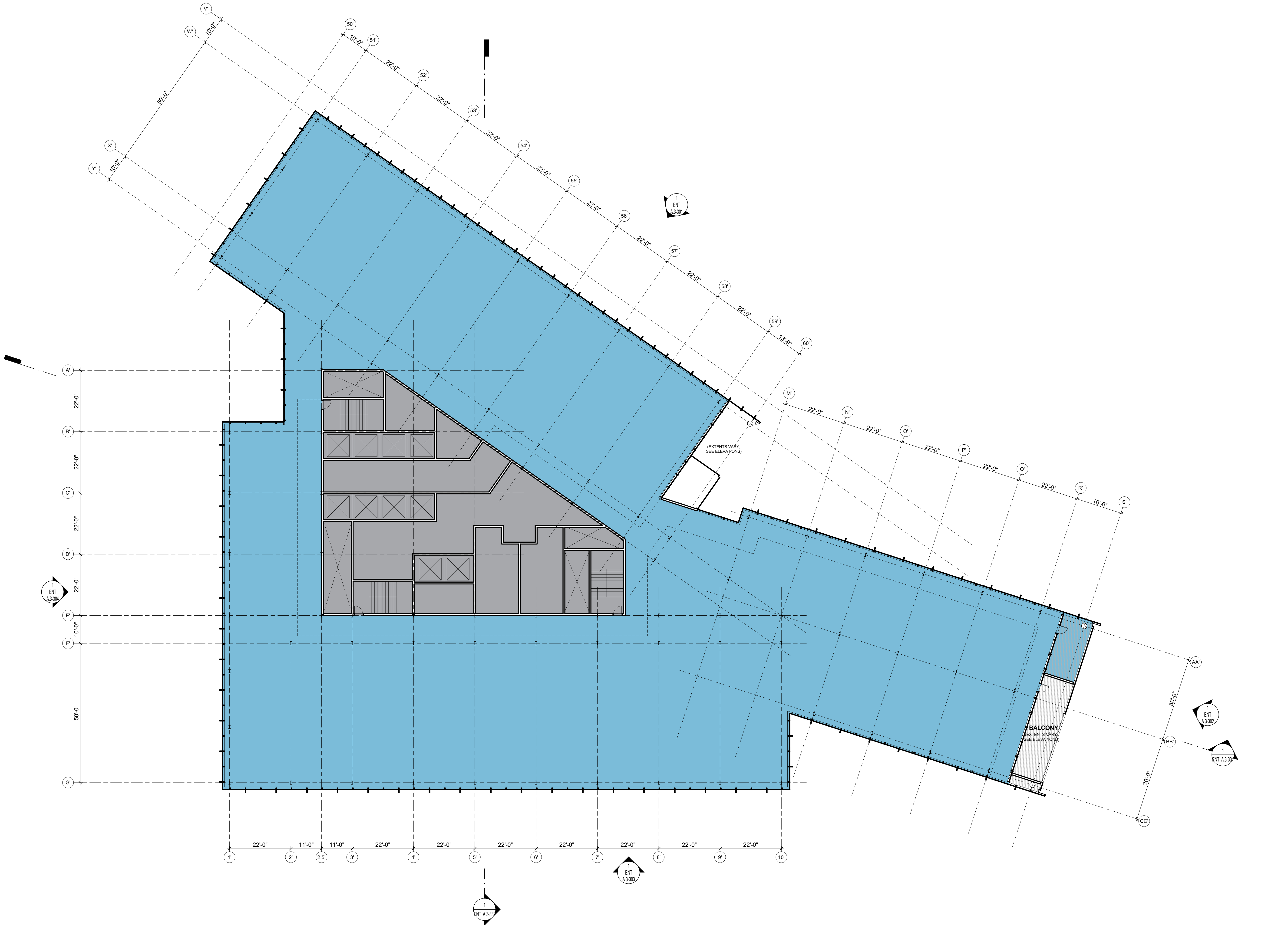
SHEET TITLE:

BUILDING 3 - FLOOR
PLAN - LEVEL 3

SHEET NO:

ENT A.3-103

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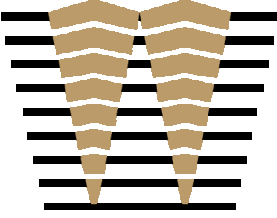


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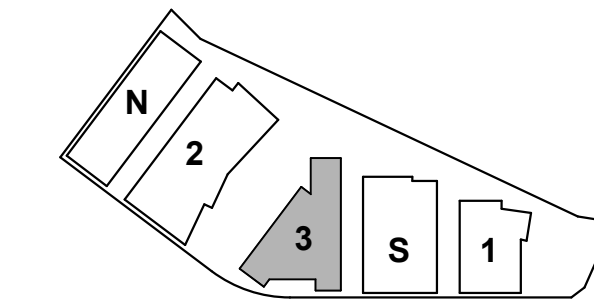
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ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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BAYSHORE
HIGHWAY
Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

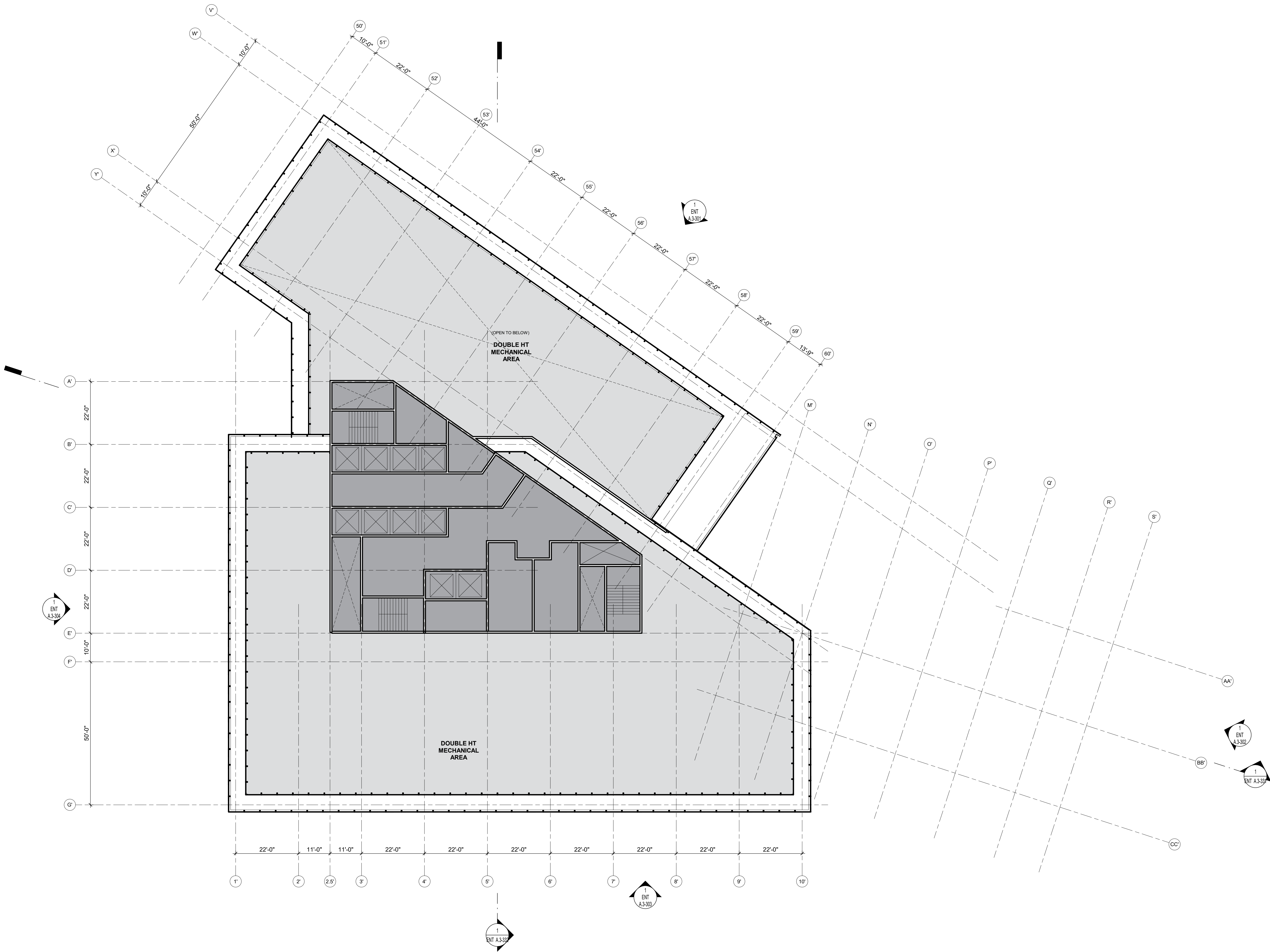
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BUILDING 3 - FLOOR
PLAN - LEVELS 4-10
TYPICAL

SHEET NO:

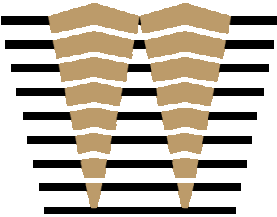
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3/3/2022 11:55:04 AM



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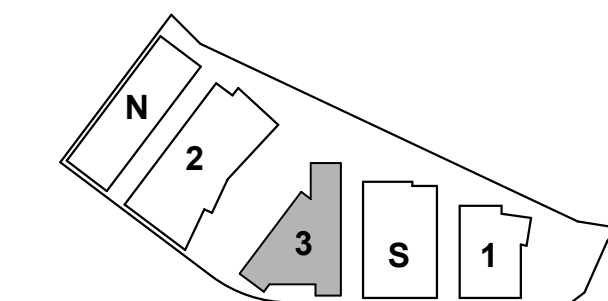
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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PROJECT NO.: 20045.00

DATE: 03/04/2022

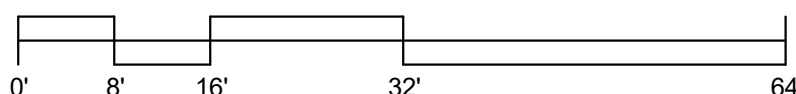
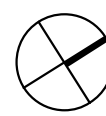
SCALE: 1/16" = 1'-0"

SHEET TITLE:

BUILDING 3 - FLOOR
PLAN - ROOF LEVEL

SHEET NO:

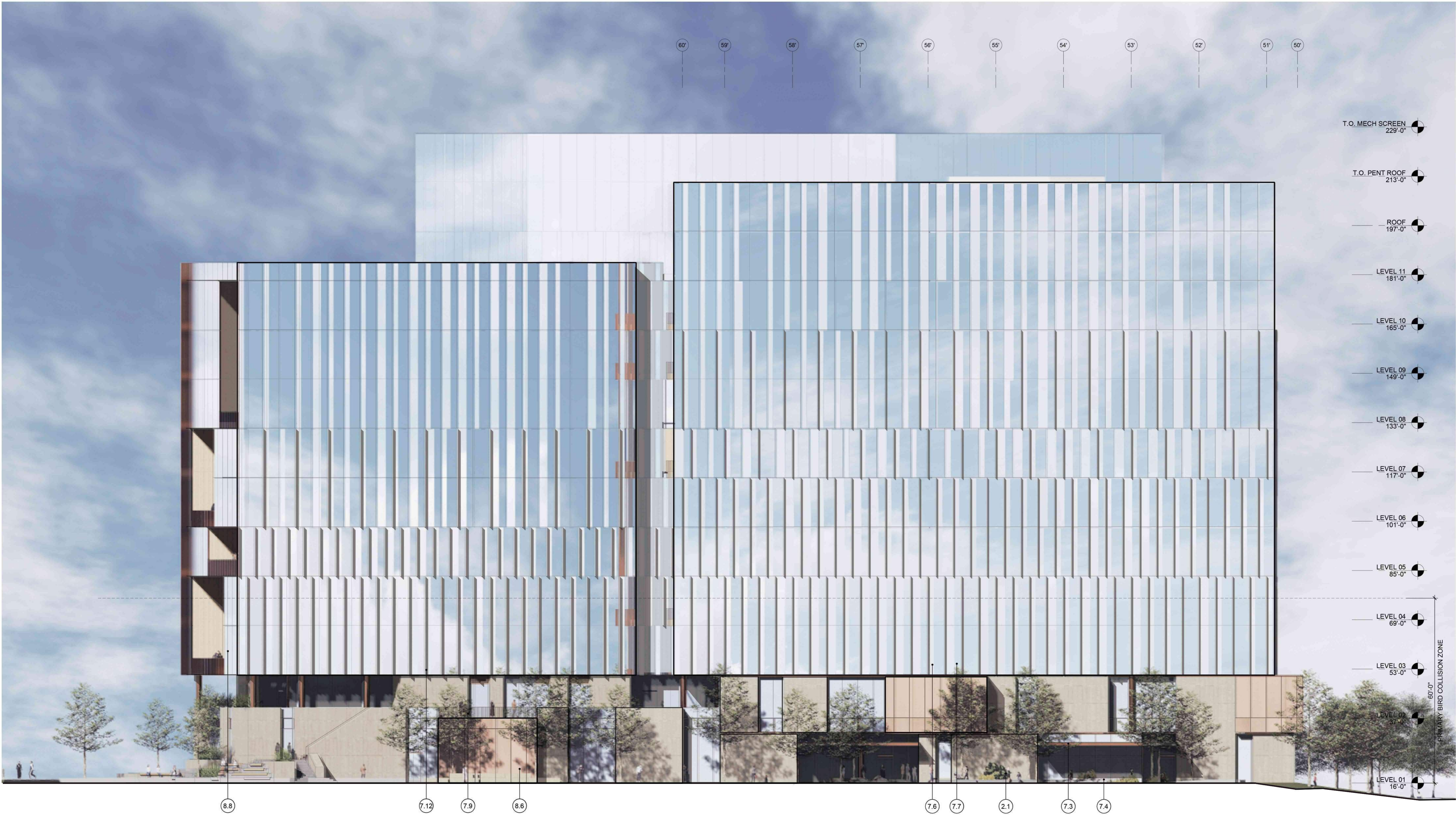
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3/14/2022 4:01:03 PM

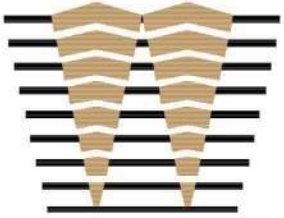


1 BUILDING 3 - CREEK ELEVATION
1/16" = 1'-0"

#	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.3	WARM MTL FRAMED CANOPY
7.4	WARM MTL FRAMED STOREFRONT
7.6	SSG CURTAINWALL - CLEAR GLAZING
7.7	SSG CURTAINWALL - FRITTED GLAZING
7.9	WARM MTL GUARDRAIL
7.12	LIGHT MTL VERTICAL FIN
8.6	GRAPHIC INTERLAYER GLAZING
8.8	STRUCTURALLY GLAZED CURTAINWALL - CLEAR GLAZING

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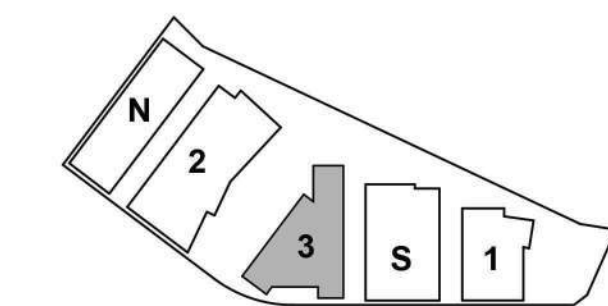
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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

SHEET TITLE:

BUILDING 3 - EXTERIOR
ELEVATIONS

SHEET NO:

ENT A.3-301

3/14/2022 4:19:06 PM

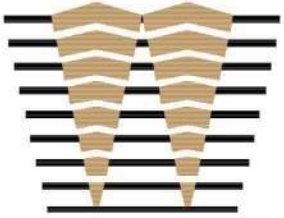


1 BUILDING 3 - BAY ELEVATION
1/16" = 1'-0"

#	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.3	WARM MTL FRAMED CANOPY
7.8	WARM MTL COLUMN COVER
7.9	WARM MTL GUARDRAIL
8.8	STRUCTURALLY GLAZED CURTAINWALL - CLEAR GLAZING

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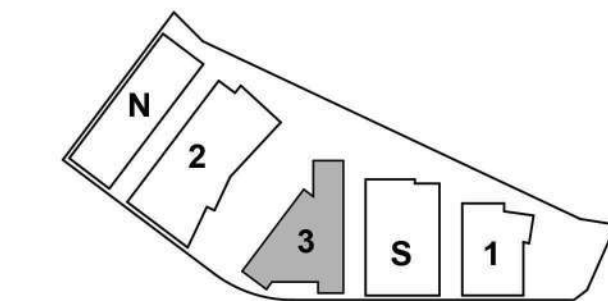
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

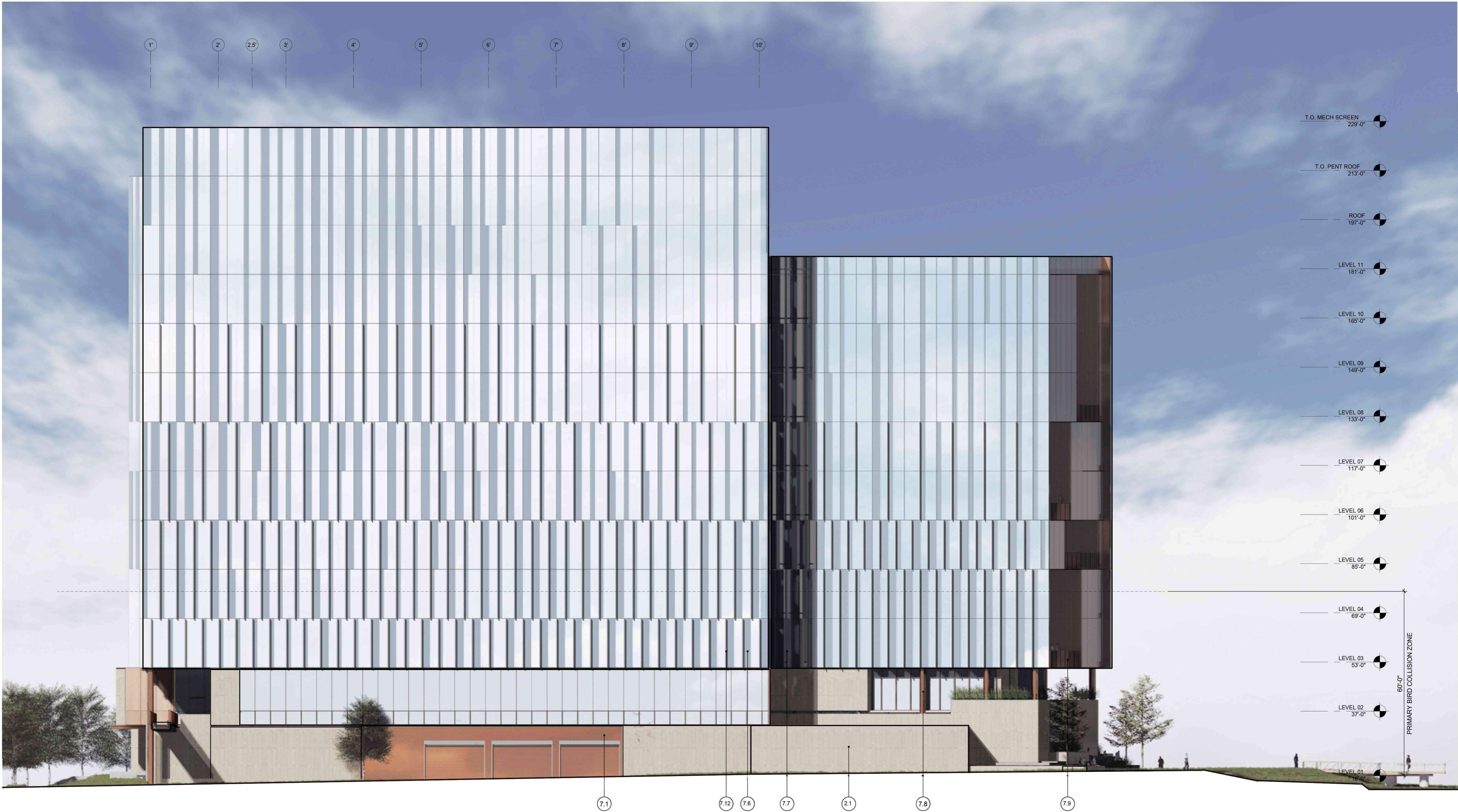
SHEET TITLE:

BUILDING 3 - EXTERIOR
ELEVATIONS

SHEET NO:

ENT A.3-302

3/15/2022 9:34:46 AM

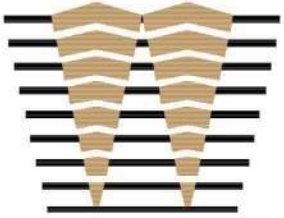


1 BUILDING 3 - SIDE ELEVATION
1/16" = 1'-0"

#	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
7.1	WARM MTL PANEL
7.6	SSG CURTAINWALL - CLEAR GLAZING
7.7	SSG CURTAINWALL - FRITTED GLAZING
7.8	WARM MTL COLUMN COVER
7.9	WARM MTL GUARDRAIL
7.12	LIGHT MTL VERTICAL FIN

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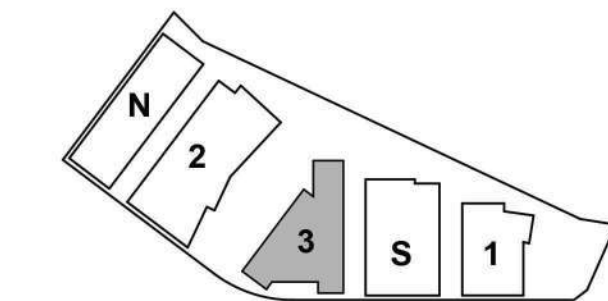
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PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

SHEET TITLE:

**BUILDING 3 - EXTERIOR
ELEVATIONS**

SHEET NO:

ENT A.3-303

3/15/2022 9:39:39 AM



**BUILDING 3 - BAYSHORE HWY
ELEVATION**
1
1/16" = 1'-0"

ELEVATION KEYNOTES

- | | |
|-----|---------------------------------------|
| 2.1 | TEXTURED ARCHITECTURAL PRECAST PANELS |
| 7.3 | WARM MTL FRAMED CANOPY |
| 7.4 | WARM MTL FRAMED STOREFRONT |
| 7.6 | SSG CURTAINWALL - CLEAR GLAZING |
| 7.7 | SSG CURTAINWALL - FRITTED GLAZING |
| 7.8 | WARM MTL COLUMN COVER |
| 7.9 | WARM MTL GUARDRAIL |
| 8.6 | GRAPHIC INTERLAYER GLAZING |

FAA HT LIMIT MEASURED
FROM NAVD88
240'-0"

T.O. MECH SCREEN
229'-0"

T.O. PENT ROOF
213'-0"

ROOF
197'-0"

LEVEL 11
181'-0"

LEVEL 10
165'-0"

LEVEL 09
149'-0"

LEVEL 08
133'-0"

LEVEL 07
117'-0"

LEVEL 06
101'-0"

LEVEL 05
85'-0"

LEVEL 04
69'-0"

LEVEL 03
53'-0"

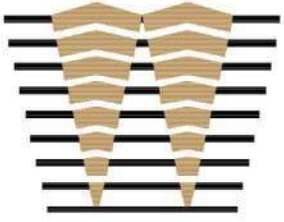
LEVEL 02
37'-0"

LEVEL 01
16'-0"

60'-0"
PRIMARY BIRD COLLISION ZONE

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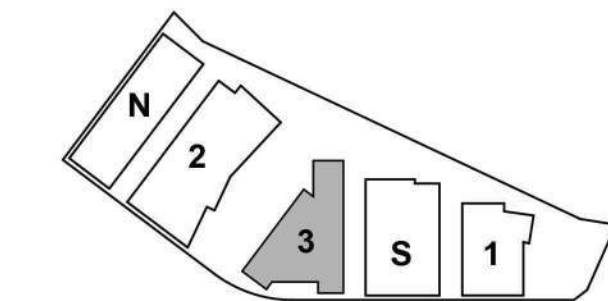
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

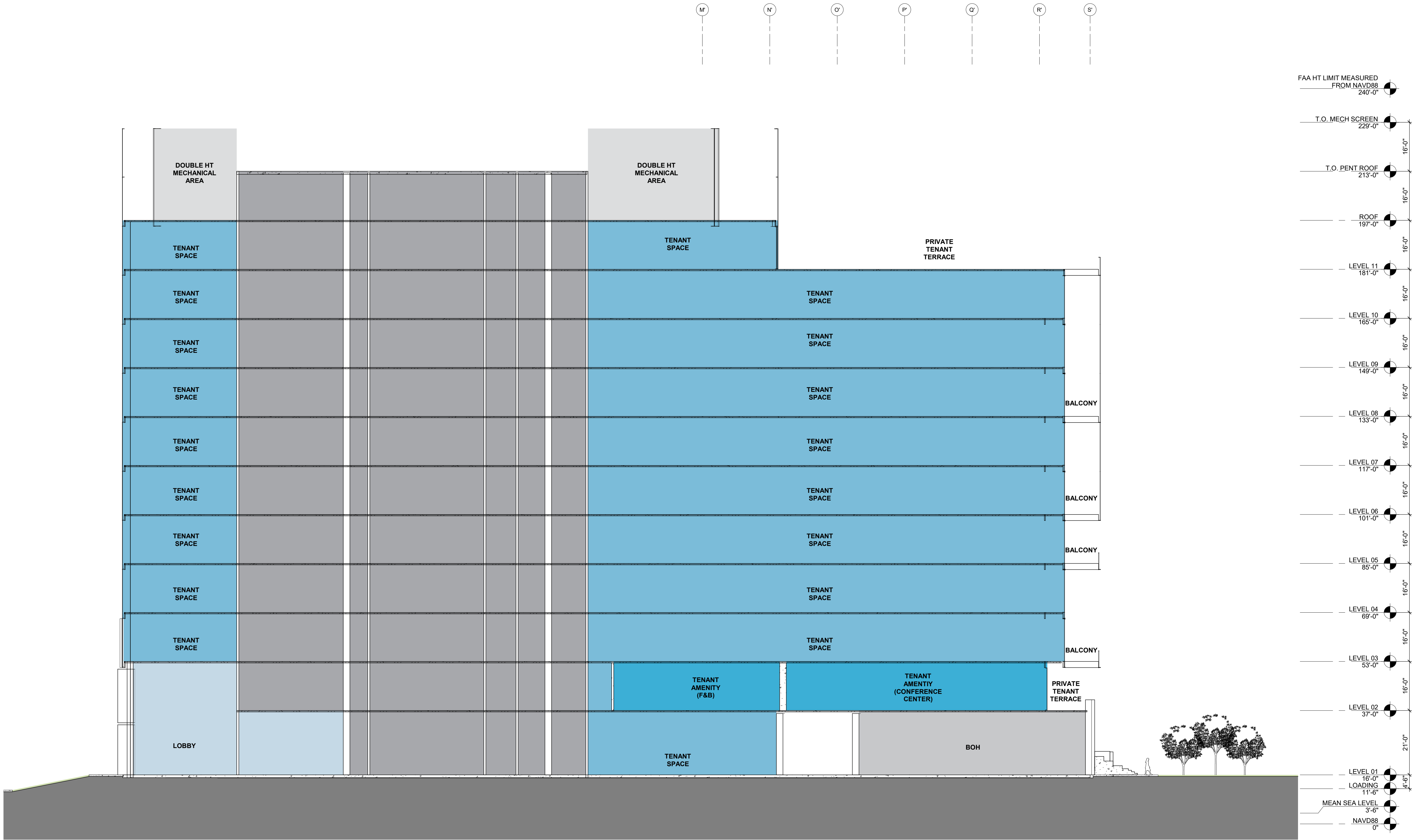
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**BUILDING 3 - EXTERIOR
ELEVATIONS**

SHEET NO:

ENT A.3-304

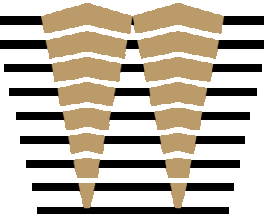
3/2/2022 10:23:44 PM



1 BUILDING 3 - SECTION 1
1/16" = 1'-0"

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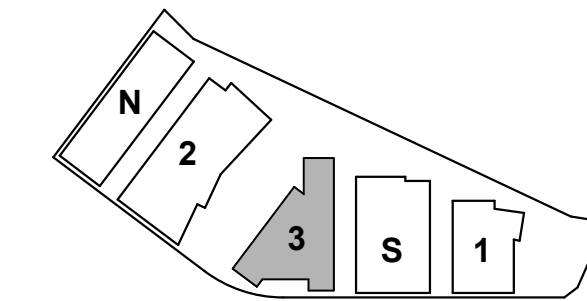
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KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: 1/16" = 1'-0"

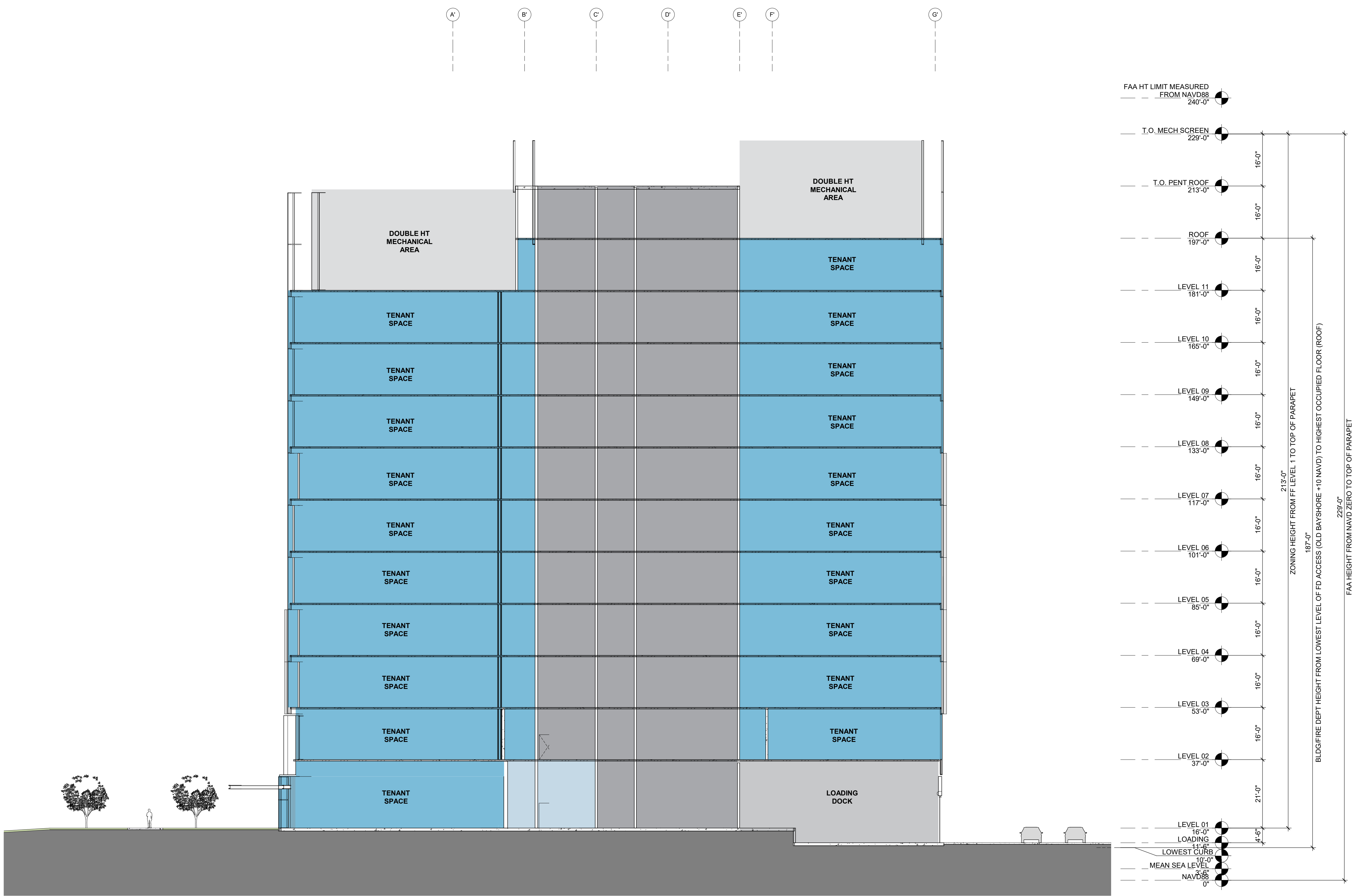
SHEET TITLE:

BUILDING 3 - SECTIONS

SHEET NO:

ENT A.3-331

3/2/2022 10:23:47 PM



1 BUILDING 3 - SECTION 2
1/16" = 1'-0"

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PROJECT NO.: 20045.00
DATE: 03/04/2022
SCALE: 1/16" = 1'-0"

SHEET TITLE:
BUILDING 3 - SECTIONS

SHEET NO:
ENT A.3-332



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03/24/2022

VOLUME 4 OF 4: SOUTH PARKING & NORTH PARKING

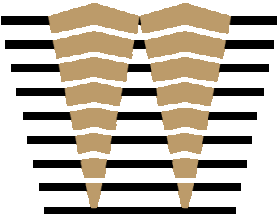
3/3/2022 5:56:40 PM



SOUTH PARKING STRUCTURE

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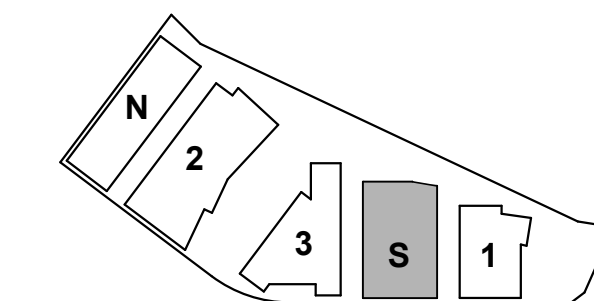
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE:

SHEET TITLE:

**SOUTH PARKING -
COVER**

SHEET NO:

ENT A.PS-000

ABBREVIATIONS

&	AND	(E)	EXISTING	MATL.	MATERIAL	T	TREAD
@	AT	EXIST.	EXISTING	MAX.	MAXIMUM	T.B.	TOWEL BAR
A.B.	ANCHOR BOLT	E.A.	EACH	M.B.	MACHINE BOLT	T.B.D.	TO BE DETERMINED
ACI	AMERICAN CONCRETE INSTITUTE	E.F.	EACH FACE	M.C.	MEDICINE CABINET	TEL.	TELEPHONE
ACOUS.	ACOUSTICAL	E.F.S.	EXTERIOR FINISH SYSTEM	M.D.	MID DEPTH	TER.	TERRAZZO
A.D.	AREA DRAIN	E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	MECH.	MECHANICAL	T&G	TONGUE AND GROOVE
ADD.	ADDITION	E.J.	EXPANSION JOINT	MEMB.	MEMBRANE	THK.	THICK
ADJ.	ADJUSTABLE	EL.	ELEVATION	MFR.	MANUFACTURER	THRSH.	THRESHOLD
A.E.D.	AUTOMATED EXTERNAL DEFIBRILLATOR	ELEC.	ELECTRICAL	MH.	MANHOLE	T.O.B.	TOP OF BEAM
A.F.F.	ABOVE FINISH FLOOR	ELEV.	ELEVATOR	MIN.	MINIMUM	T.O.C.	TOP OF CURB
AGGR.	AGGREGATE	EMER.	EMERGENCY	MIR.	MIRROR	T.O.CON.	TOP OF CONCRETE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	E.N.	EDGE NAILING	MISC.	MISCELLANEOUS	T.O.F.	TOP OF FOOTING
AL.	ALUMINUM	ENCL.	ENCLOSURE	MIXT.	MIXTURE	T.O.P.	TOP OF PAVEMENT
ALT.	ALTERNATE	ENGR.	ENGINEER	MOB	MEDICAL OFFICE BUILDING	T.O.PR.	TOP OF PIER
ANNLD.	ANNEALED	E.Q.	ELECTRICAL PANEL	M.S.	MIDDLE STRIP	T.O.S.	TOP OF SLAB
APPROX.	APPROXIMATELY	EQ.	EQUAL	MTD.	MOUNTED	T.O.P.	TOP OF STEEL
ARCH.	ARCHITECTURAL	EQUIP.	EQUIPMENT	MTL.	METAL	T.O.STL.	TOTAL
ASPH.	ASPHALT	E.S.	EACH SIDE	MUL.	MULLION	T.O.W.	TOP OF WALL
ASSN.	ASSOCIATION	EVCS	ELECTRIC VEHICLE CHARGING STATION	(N)	NEW	T.P.D.	TOILET PAPER DISPENSER
ASTM	AMERICAN STANDARDS FOR TESTING AND MATERIALS	EVSE	ELECTRIC VEHICLE SUPPLY EQUIPMENT	N.I.C.	NOT IN CONTRACT	T.V.	TELEVISION
AWS	AMERICAN WELDING SOCIETY	E-W	EAST WEST	NOM	NOMINAL	TYP.	TYPICAL
BET.	BETWEEN	E.W.	EACH WAY	NO. or #	NUMBER	U.B.C.	UNIFORM BUILDING CODE
BIT.	BITUMINOUS	EXP.	EXPANSION	N-S	NORTH-SOUTH	UNF.	UNFINISHED
BLDG.	BUILDING	EXPO.	EXPOSED	N.T.S.	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
BLK.	BLOCK	EXT.	EXTERIOR	O.A.	OVERALL	UR.	URINAL
BLKG.	BLOCKING	F.A.	FIRE ALARM	OBS	OBSCURE	VERT.	VERTICAL
BM.	BEAM	F.D.	FLOOR DRAIN	o/c	ON CENTER	VEST.	VESTIBULE
BOT.	BOTTOM	F.D.C.	FIRE DEPARTMENT CONNECTION	O.D.	OUTSIDE DIAMETER	w/	WITH
BR.	BRACE	FDN.	FOUNDATION	O.F.	OUTSIDE FACE	W.C.	WATER CLOSET
BR.DN.	BRACE DOWN	F.E.	FIRE EXTINGUISHER	OFF.	OFFICE	WD.	WOOD
CAB	CABINET	F.E.C.	FIRE EXTINGUISHER CABINET	O.H.	OPPOSITE HAND	W.E.J.	WALL EXPANSION JOINT
CBC	CALIFORNIA BUILDING CODE	F.F.	FINISH FLOOR	OPNG.	OPENING	w/o	WITHOUT
C.B.	CATCH BASIN	F.G.	FINISH GRADE	OPP.	OPPOSITE	WP.	WATERPROOF
CEM.	CEMENT	F.H.C.	FIRE HOSE CABINET	ORIG.	ORIGINAL	W.P.J.	WEAKENED PLANE JOINT
CER.	CERAMIC	FIN.	FINISH	OSHPD	OFFICE OF STATEWIDE HEALTH PLANNING AND DEVELOPMENT	W.P.M.	WATER PROOFING MEMBRANE
C.G.	CORNER GUARD	FLASH.	FLASHING	PC	PIERCAP	WS.	WEATHER STRIPPED
C.G.S.	CENTER GRAVITY STEEL	FLR.	FLOOR	PERM.	PERMANENT	WSCT.	WAINSCOT
C.I.	CAST IRON	FLOUR.	FLUORESCENT	PERP.	PERPENDICULAR	W.S.P.	WET STAND PIPE
C.I.P.	CAST IN PLACE	F.O.	FACE OF	PL.	PLATE	WT.	WEIGHT
C.J.	CONSTRUCTION JOINT	F.O.C.	FACE OF CONCRETE	P.LAM.	PLASTIC LAMINATE	W.W.R.	WELDED WIRE REINFORCEMENT
CLG.	CEILING	F.O.F.	FACE OF FINISH	PLAS.	PLASTER	X.STR.	EXTRA STRONG
CLKG.	CAULKING	F.O.M.	FACE OF MASONRY	PLYWD	PLYWOOD	℄	CENTERLINE
CLO.	CLOSET	F.OPNG.	FINISH OPENING	PR.	PAIR		
CLR.	CLEAR	F.O.S.	FACE OF STUD	PRCST.	PRECAST		
CMU	CONCRETE MASONRY UNIT	F.O.W.	FACE OF WALL	PROJ.	PROJECT		
CNTR.	COUNTER	FPRF.	FIRE PROOFING	P.S.F.	POUNDS PER SQUARE FOOT		
CO.	COMPANY	F.R.	FIRE RISER	P.S.I.	POUNDS PER SQUARE INCH		
COEF.	COEFFICIENT	F.S.	FAR SIDE	PT.	POINT		
C.O.	CHANGE ORDER	FT.	FOOT OR FEET	P.T.	POST TENSION(ED)		
COL.	COLUMN	FURR.	FURRING	P.T.I.	POST TENSION INSTITUTE		
COM.	COMMON	FUT.	FUTURE	P.T.D.	PAPER TOWEL DISPENSER		
CONC.	CONCRETE	GA.	GAUGE	P.T.D/R	PAPER TOWEL DISP. WITH RECEPACLE		
CONN.	CONNECTION	GALV.	GALVANIZED	PTL	PRESSURE TREATED LUMBER		
CONST.	CONSTRUCTION	GB.	GRADE BEAM	PTN.	PARTITION		
CONT.	CONTINUOUS	G.BAR.	GRAB BAR	P.T.R.	PAPER TOWEL RECEPACLE		
CONTR.	CONTRACTOR	GL.	GLASS / GLAZING	Q.T.	QUARRY TILE		
C.OPNG.	CASED OPENING	GLB.	GLUE LAMINATED BEAM	R. or RAD.	RADIUS		
CORP.	CORPORATION	GND.	GROUND	R.D.	ROOF DRAIN		
CORR.	CORRIDOR	GR.	GRADE	REF.	REFERENCE		
CTR.	CENTER	G.S.M.	GALVANIZED SHEET METAL	REFR.	REFRIGERATOR		
CTSK.	COUNTERSUNK	GYP.BD.	GYPSUM BOARD	REINF.	REINFORCED		
CU.FT.	CUBIC FOOT	H.B.	HOSE BIBB	REQ'D.	REQUIRED		
CU.IN.	CUBIC INCH	H.C.	HOLLOW CORE	RESIL.	RESILIENT		
CU.YD.	CUBIC YARD	HDR.	HEADER	RGTR.	REGISTER		
D.B.A.	DEFORMED BAR ANCHOR	HDRK	HARD ROCK	R.J.	ROOF JOIST		
DLB.	DOUBLE	HDWD.	HARDWOOD	RM.	ROOM		
DEPT.	DEPARTMENT	HDWE.	HARDWARE	R.O.	ROUGH OPENING		
DET.	DETAIL	HEX.	HEXAGONAL	R.R.	ROOF RAFTER		
D.F.	DRINKING FOUNTAIN	HGR.	HANGER	RWD.	REDWOOD		
DIA.	DIAMETER	H.M.	HOLLOW METAL	R.W.L.	RAIN WATER LEADER		
DIAG.	DIAGONAL	HORIZ.	HORIZONTAL	S.A.D.	SEE ARCHITECTURAL DRAWINGS		
DIM.	DIMENSION	HR.	HOOR	S.C.	SOLID CORE		
DISP.	DISPENSER	HSS	HOLLOW STRUCTURAL SECTIONS	S.C.D.	SEAT COVER DISPENSER		
DIV.	DIVISION	H.S.A.	HEADED STUD ANCHOR	SCHED.	SCHEDULE		
D.L.	DEAD LOAD	HT.	HEIGHT	S.D.	SOAP DISPENSER		
DN.	DOWN	I.B.C.	INTERNATIONAL BUILDING CODE	SEAONC	STRUCTURAL ENGINEERS ASSOC.		
DO.	DITTO	I.D.	INSIDE DIAMETER		OF NORTHERN CALIFORNIA SECTION		
DR.	DOOR	I.F.	INSIDE FACE	SECT.	SECTION		
DR.OPNG.	DOOR OPENING	IN.	INCH	S.F.	SOIL FACE		
DS.	DOWN SPOUT	INC.	INCORPORATED	SH.	SHELF		
DSGN.	DESIGN	INFO.	INFORMATION	SHR.	SHOWER		
DWG	DRAWING	INSUL.	INSULATION	SHT.	SHEET		
DWGS	DRAWINGS	INT.	INTERIOR	SHTG.	SHEATHING		
DWR.	DRAWER	JAN.	JANITOR	SIM.	SIMILAR		
		JST.	JOIST	S.N.D.	SANITARY NAPKIN DISPENSER		
		JT.	JOIST	S.H.R.	SANITARY NAPKIN RECEPACLE		
		K.	KIP (1,000 LBS)	S.O.G.	SLAB ON GRADE		
		K/FT	KIPS PER FOOT	SPECS.	SPECIFICATIONS		
		KIT.	KITCHEN	SQ.	SQUARE		
		LAB.	LABORATORY	SQ.FT.	SQUARE FEET		
		LAM.	LAMINATED	S.SK.	SERVICE SINK		
		LAV.	LAVATORY	S.S.	SELECT STRUCTURAL		
		LIN.	LINEAR	S.STL.	STAINLESS STEEL		
		LKR.	LOCKER	STA.	STATION		
		LL.	LIVE LOAD	STAG.	STAGGER(ED)		
		LT.	LIGHT	STD.	STANDARD		
		LT.WT.	LIGHT WEIGHT	STL.	STEEL		
				STOR.	STORAGE		
				STRL.	STRUCTURAL		
				SUSP.	SUSPENDED		
				SYM.	SYMMETRICAL		

GENERAL NOTES

- SCOPE OF DOCUMENTS:** THESE PLANS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL SYSTEM. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE WORK:** ALL CONSTRUCTION AND MATERIALS SHALL BE SPECIFIED AND CONSTRUCTED AS REQUIRED BY THE LATEST EDITION OF THE IBC, STATE AND LOCAL CODES AND AUTHORITIES, AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR:**
 - SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
 - SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.
 - SHALL DO ALL CUTTING , FITTING OR PATCHING OF IS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- THE JOB SITE:**
 - SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR, IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK, SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
 - ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE.
- SUBMITTALS:** NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT .
- DIMENSIONS:**
 - ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
 - ALL DIMENSIONS ARE TO THE FACE OF FINISH UNLESS NOTED OTHERWISE.
- EXITS:** ALL REQUIRED EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. EXIT SIGNS SHALL BE PROVIDED AT ALL EXITS REQUIRED BY CODE.
- FURRING:** WHERE LARGER STUDS OR FURRINGS ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
- ELEVATORS:** ALL ELEVATORS SHALL MEET THE REQUIREMENTS OF C.C.R.,TITLE 8, ELEVATOR SAFETY ORDERS.
- ACCESSIBILITY REQUIREMENTS:** SHALL BE AS PRESCRIBED BY THE CALIFORNIA CODE OF REGULATIONS, TITLE 24 (ARCHITECTURAL BARRIER LAWS) AND THE AMERICANS WITH DISABILITIES ACT.
- THE AMERICANS WITH DISABILITIES ACT. (A.D.A.):** IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE A.D.A. AS IT APPLIES TO THE SUBJECT PROJECT, BUT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE A.D.A. BY OTHERS.
- DISCREPANCIES:** SHOULD A DISCREPANCY THAT AFFECTS ANY WORK APPEAR IN THE SPECIFICATIONS, PLANS, OR WORK DONE BY OTHERS AS PART OF THE CONTRACT DOCUMENTS, NOTIFY THE ARCHITECT AT ONCE FOR CLARIFICATION. SHOULD A CONFLICT OCCUR IN OR BETWEEN PLANS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DOCUMENTS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.

DEFERRED SUBMITTAL ITEMS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND COORDINATING DESIGN AND DETAILING OF THE FOLLOWING PRE-ENGINEERED SYSTEMS, INCLUDING CONNECTIONS TO THE BUILDING STRUCTURE. THE CONTRACTOR SHALL SUBMIT DRAWINGS AND CALCULATIONS STAMPED BY A CALIFORNIA REGISTERED CIVIL OR STRUCTURAL ENGINEER TO THE ARCHITECT, ENGINEER AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION AND ERECTION. DEFERRED ITEMS INCLUDE BUT ARE NOT LIMITED TO:

- ELEVATORS
- MISCELLANEOUS METAL RAILS
- METAL STUD WALL SYSTEMS
- METAL STAIRS
- FIRE SPRINKLERS SYSTEMS
- CABLE RAILS

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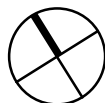
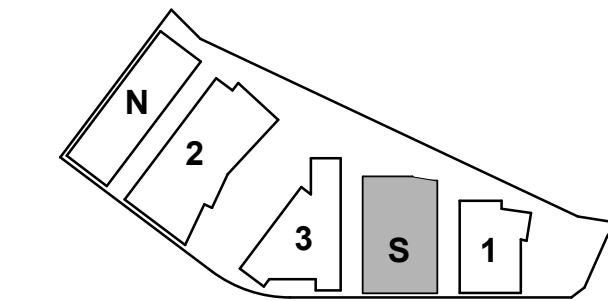
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

1300 BAYSHORE

BURLINGAME, CA

KEYPLAN



PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: 12" = 1'-0"

SHEET TITLE:

SOUTH PARKING -
PROJECT DATA SHEET

SHEET NO:

ENT A.PS-001

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DESIGN-BUILD CONTRACTOR

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KRISSY SCHREIBER, SENIOR PROJECT MANAGER

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CHRIS MCHUGH, MECHANICAL ENGINEER III

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PHONE 1-415-544-7500
ROBERT SMITH, ASSOCIATE PRINCIPAL

PLUMBING:
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ERICA KRAM, SENIOR ASSOCIATE

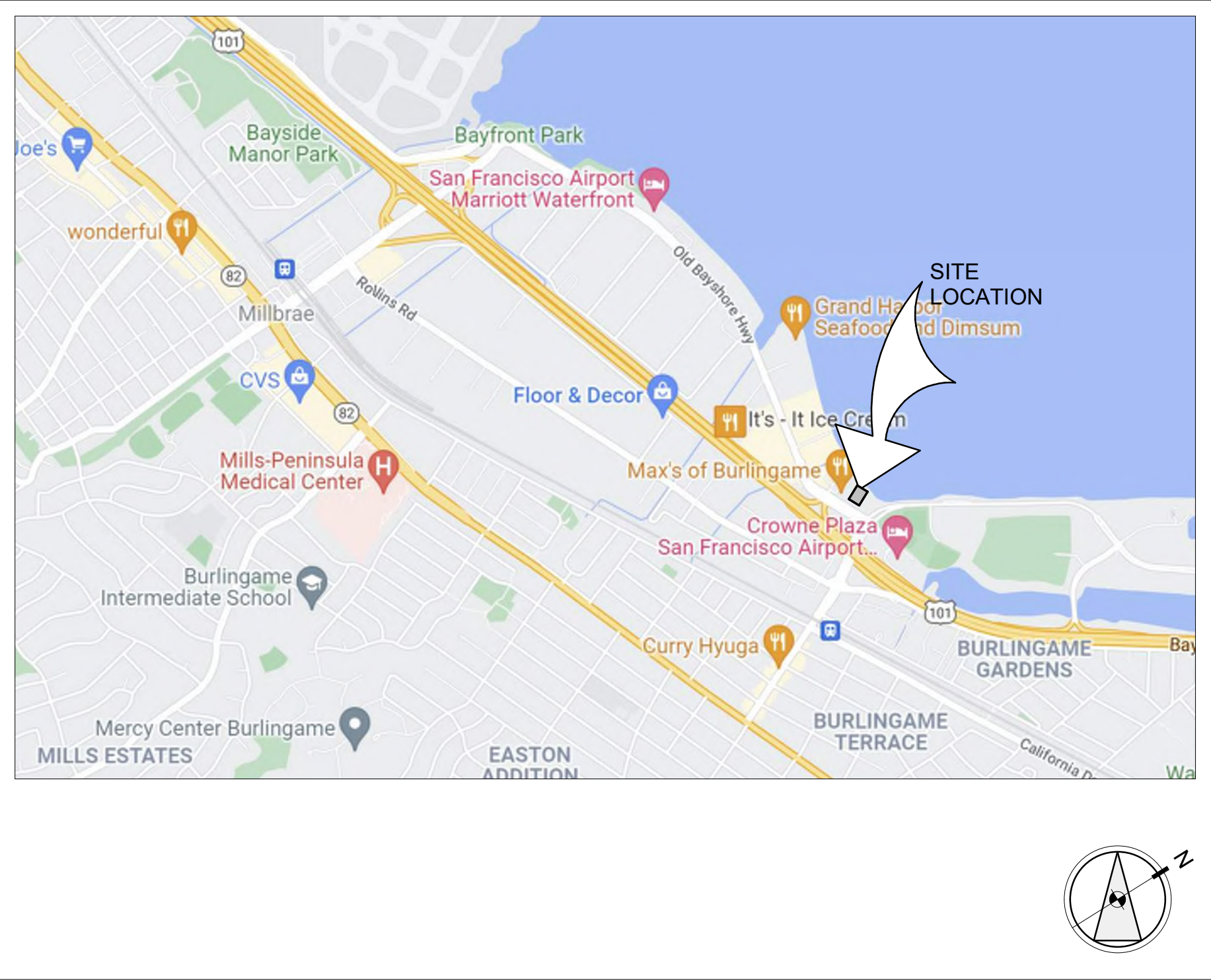
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SAN FRANCISCO, CA 94102
PHONE 1-415-544-7500
ROBERT SMITH, ASSOCIATE PRINCIPAL

FIRE PROTECTION:
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LANDSCAPING:
CMG LANDSCAPE ARCHITECTURE
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JUSTIN AFF, PROJECT MANAGER/ASSOCIATE

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PHONE 1-415-388-1880
ALLEN WILLIAMS, CHAIRMAN

VICINITY MAP



GENERAL SYMBOLS

A

GRID LINE

LEVEL

INDICATES DATUM LINE

REFERENCE NORTH

TRUE NORTH

DETAIL/BUILDING SECTION CUT

DETAIL IDENTIFICATION

LIMIT OF DETAIL/SECTION

SHEET WHERE DETAIL/SECTION IS DRAWN

ELEVATION

DETAIL IDENTIFICATION

SHEET WHERE ELEVATION IS DRAWN

INTERIOR ELEVATION

DETAIL IDENTIFICATION

SHEET WHERE ELEVATION IS DRAWN

CONCRETE WALL/COLUMN

PRECAST WALL/COLUMN

CMU WALL

CONC. UPTURNED BEAM

RAIL (CONCRETE, CMU)

METAL RAIL

RAISED CONCRETE CURB/WASH

CABLE RAIL

METAL STUD WALL

METAL STUD WALL OVER RAIL (CONCRETE, CMU)

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1300 BAYSHORE

BURLINGAME, CA

KEYPLAN

PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: 12" = 1'-0"

SHEET TITLE:

SOUTH PARKING -
PROJECT DATA SHEET

SHEET NO:

ENT A.PS-002

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If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch

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EXITING DIAGRAMS

1. 2019 C.B.C. SECTION 1017, TABLE 1017.2 "EXIT TRAVEL DISTANCE"
S2 OCCUPANCY EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THE MAXIMUM TRAVEL DISTANCE IS **400'**
S2 OCCUPANCY WITHOUT AN AUTOMATIC SPRINKLER SYSTEM THE MAMIMUM TRAVEL DISTANCE IS **300'**

EXITING LEGEND

- > ACTUAL TRAVEL DISTANCE
<--> DIAGONAL DISTANCE
--> DISTANCE BETWEEN EXITS

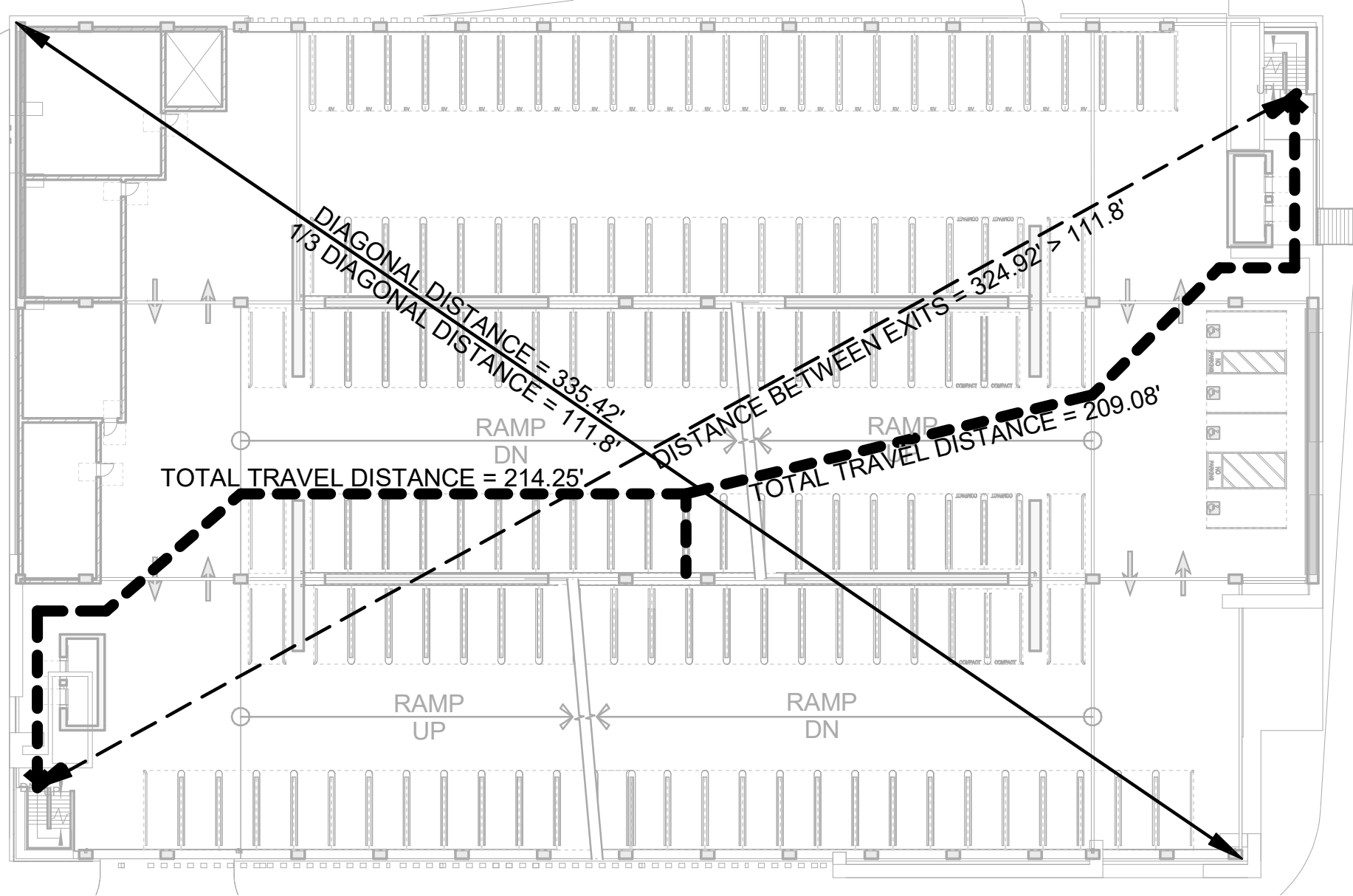
FIRE RATINGS LEGEND

- 1-HR.
----- 2-HR.
----- 3-HR.
----- 4-HR.

CODE DATA

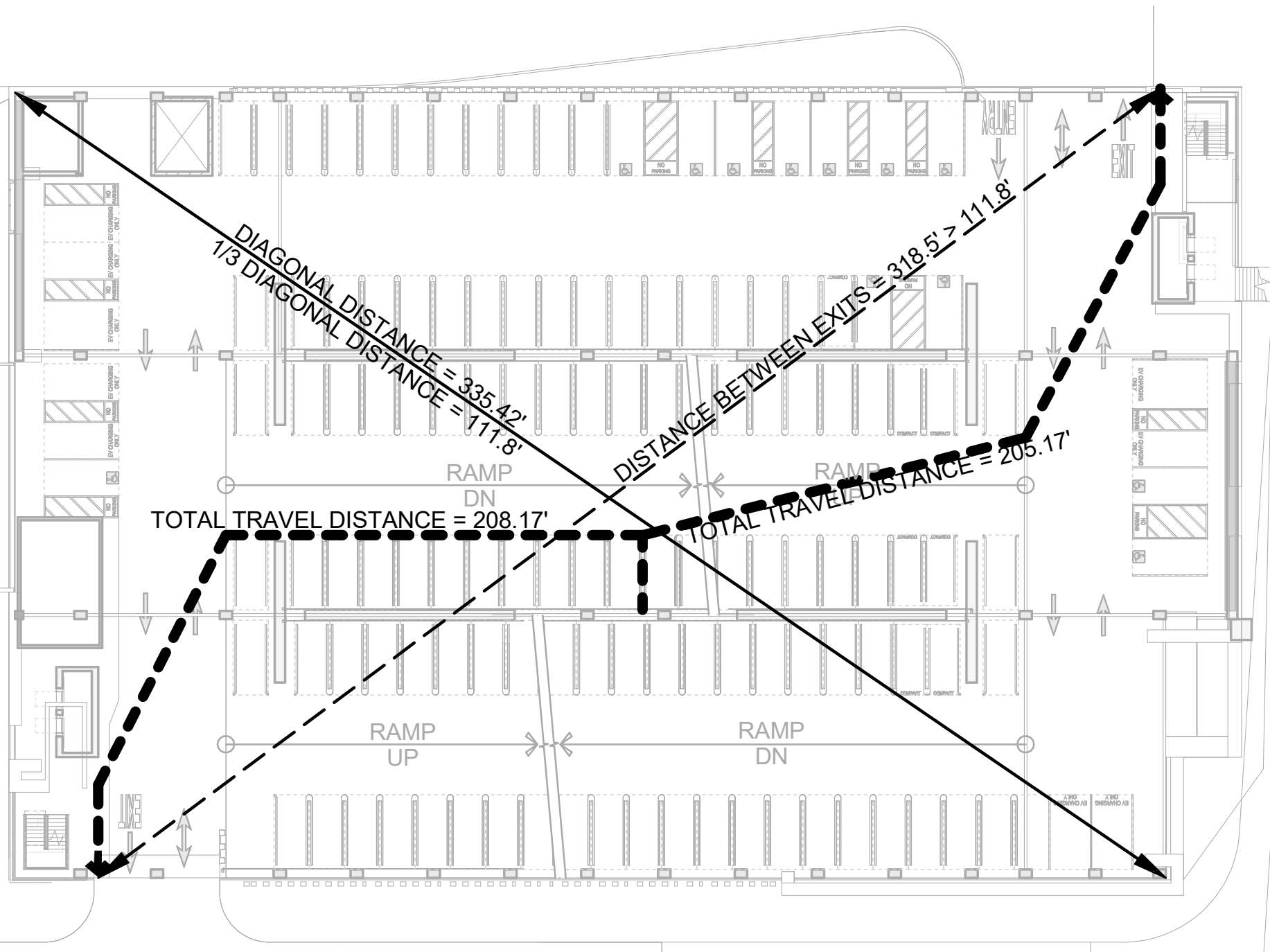
GOVERNING CODES:

- A. 2019 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 2.
B. 2019 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 3.
C. 2019 CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 4.
D. 2019 CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 5.
E. 2019 CALIFORNIA FIRE CODE (CFC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 9.
F. 2019 CALIFORNIA ENERGY, CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24 PART 6
G. ADAAG ADA ACCESSIBILTY GUIDELINES
H. CITY OF BURLINGAME MUNICIPAL CODE



TYPICAL LEVEL EXITING DIAGRAM

1/32" = 1'-0"



FIRST LEVEL EXITING DIAGRAM

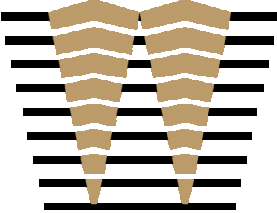
1/32" = 1'-0"

CODE SUMMARY

CODE SECTIONS	TYPE - OPEN GARAGE	TYPE - CLOSED GARAGE	NOTES
AUTOMATIC SPRINKLER SYSTEM - SEC. 903	YES	YES	
OCCUPANCY TYPE(S) - CHAPTER 3	S-2 PARKING GARAGE (OPEN, PER 406.5)	S-2 PARKING GARAGE (CLOSED, PER 406.6)	OPENNESS - 406.5.2
CONSTRUCTION TYPE(S) - CHAPTER 4, 5 AND 6	IB	IB	TABLES 406.5.4, 601 AND 602
GRADE PLANE - CHAPTER 2 DEFINITION	11.5'	N/A	
ALLOWABLE HEIGHT (IN TIERS) - TABLE 406.5.4	12 TIERS	N/A	ELEVATOR TOWERS - UNLIMITED IN HEIGHT IF NC (SECTION 504.3 EXCEPTION).
ACTUAL HEIGHT (IN TIERS)	10 TIERS	N/A	
ALLOWABLE HEIGHT INCREASE (IN TIERS), FOR OPEN PARKING STRUCTURES - SECT. 406.5.5	N/A	N/A	
BASE ALLOWABLE AREA PER TIER	UNLIMITED (TABLE 406.5.4)	237,000 SQ. FT. (SEC. & TABLE 506.2)	
ACTUAL AREA (LARGEST TIER)	51,300 SQ. FT.	51,100 SQ. FT.	
ALLOWABLE AREA INCREASE PER TIER	N/A	N/A	
ACTUAL TOTAL AREA	505,200 SQ. FT.	90,000 SQ. FT.	
MAXIMUM ALLOWABLE TOTAL AREA	N/A	N/A	
ACTUAL AREA TO ALLOWABLE AREA RATIO	N/A	N/A	
BUILDING ELEMENTS F.R. REQUIREMENTS - TABLE 601	2 HR 2 HR 2 HR SEE REQUIREMENTS BELOW 0 HR 2 HR 1 HR		
EXTERIOR WALLS F.R. REQUIREMENTS- TABLE 602	1 HR, <5' 1 HR, 5'≤ x <10' 1 HR, 10'≤ x <30' NR, ≥ 30'		BASED ON CONSTRUCTION TYPE
EXTERIOR WALLS AND PARTITIONS:			
OPENINGS (UNPROTECTED, SPRINKLERED) - MAXIMUM AREA OF EXTERIOR WALL OPENINGS, SECTION AND TABLE 705.8.	NOT PERMITTED <3' 15%, 3'≤ x <5' 25%, 5'≤ x <10' UNLIMITED, ELSEWHERE		BASED ON DISTANCE AND SPRINKLERS (SEE TABLE FOOTNOTE G.)
SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS)	NOT REQUIRED	STAIRS - 1HR ELEVATOR - NOT REQUIRED	SEE SECTIONS 406.5.9, 712.1.10.2 AND 1019.3.6
OCC. LOAD - TABLE 1004.5	51,300/200 = 256.5 (TIER w/ LARGEST FLOOR AREA)		
EXITS REQUIRED - TABLE 1006.3.2	2		
EXITS PROVIDED	2		
WIDTH REQUIRED- PER SECTION 1005.3.1 & 1005.3.2			
STAIRS: OCC. X 0.3 = TOTAL INCHES (48" MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3. 44" MIN. CLEAR, WHEN CONSIDERED TO BE PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3, EXCEPT . #2, WHEN THE BUILDING IS SPRINKLERED.)	STAIRS: 256.5 x 0.3 = 77" 50% OF 77" = 38.5"		
OTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES (32" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, DOORS, DOORWAYS AND GATES.)	OTHER THAN STAIRS: 256.5 x 0.20 = 51.3" 50% OF 51.3" = 25.65"		
WIDTH PROVIDED	STAIRS: 2 x 54" = 108" OTHER THAN STAIRS: 65" + 115" + 99" + 88" = 367"		

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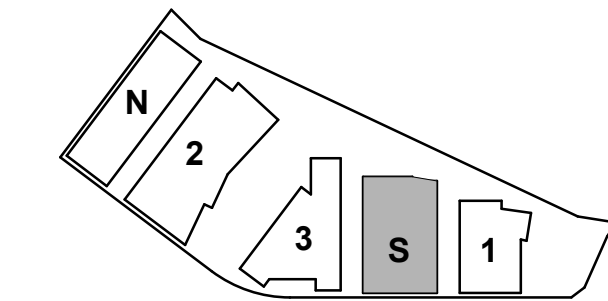
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

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BURLINGAME, CA

KEYPLAN



PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: As indicated

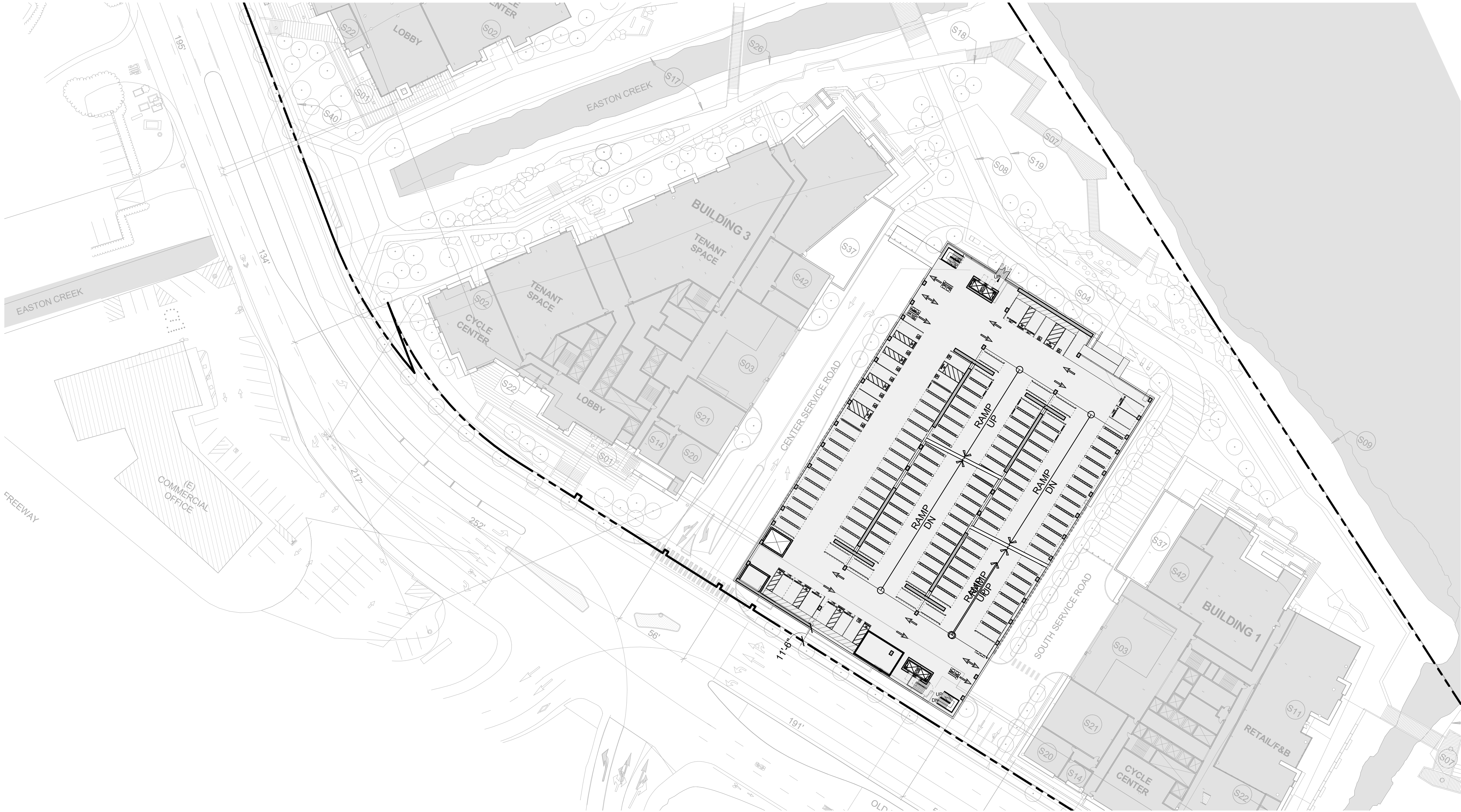
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SOUTH PARKING - CODE SUMMARY

SHEET NO:

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PARKING STALL SUMMATION

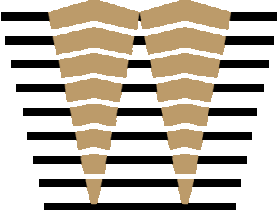
LEVEL	ACCESSIBLE (9'-0"x18'-0")	VAN ACCESSIBLE (9'-0"x18'-0")	PUBLIC ACCESS (8'-6"x18'-0")	PUBLIC ACCESS COMPACT (8'-0"x17'-0")	STANDARD (8'-6"x18'-0")	COMPACT (8'-0"x17'-0")	EVCS (8'-6"x18'-0")	EV ACCESSIBLE (9'-0"x18'-0")	EV VAN ACCESSIBLE (12'-0"x18'-0")	EV AMBULATORY (10'-0"x18'-0")	TOTAL	SQ. FOOTAGE	SQ. FT./STALL
LEVEL 10	0	0	0	0	138	0	0	0	0	0	138	43,900	318
LEVEL 09	0	0	0	0	147	8	0	0	0	0	155	51,300	331
LEVEL 08	0	0	0	0	150	11	0	0	0	0	161	51,300	319
LEVEL 07	0	0	0	0	134	11	16	0	0	0	161	51,300	319
LEVEL 06	0	0	0	0	115	11	35	0	0	0	161	51,300	319
LEVEL 05	0	0	0	0	115	11	35	0	0	0	161	51,300	319
LEVEL 04	0	0	0	0	113	14	35	0	0	0	162	51,300	317
LEVEL 03	10	2	0	0	102	8	24	0	1	3	150	51,300	342
LEVEL 02	3	1	0	0	105	8	21	0	0	0	138	51,100	370
LEVEL 01	9	3	35	5	71	2	0	5	2	2	134	51,100	381
LEVEL B1	0	0	0	0	145	11	0	0	0	0	156	51,100	328
LEVEL B2	0	0	0	0	101	9	0	0	0	0	110	38,900	354
TOTAL	22	6	35*	5	1436	104	166	5	3	5	1787	595,200	333

*FOR 40 PUBLIC ACCESS STALLS:
1 ADA, 1 VAN ADA, 1 EV VAN, & 2 STANDARD
EV STALLS ARE REQUIRED

10% EV - DAY ONE: 1787 * 10% = 179 EV STALLS
10% FUTURE EV: 179 EV STALLS

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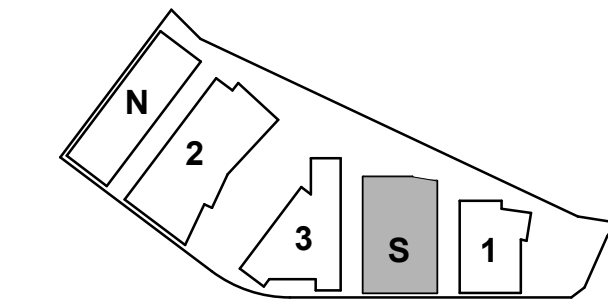
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1300 BAYSHORE

BURLINGAME, CA

KEYPLAN



PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: As indicated

SHEET TITLE:

SOUTH PARKING - SITE
PLAN & STALL COUNT

SHEET NO:

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CMG



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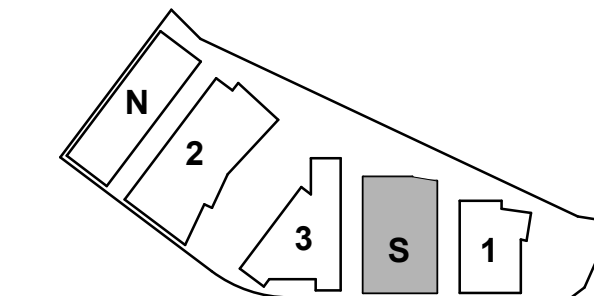
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ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

1300 BAYSHORE
BURLINGAME, CA

KEYPLAN



PROJECT NO.: 21-144
DATE: 03/04/2021
SCALE: 1" = 40'-0"

SHEET TITLE:

SOUTH PARKING - SITE
EGRESS PLAN

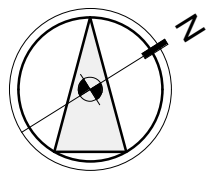
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LEVEL B2 PARKING PLAN
1/16" = 1'-0"



STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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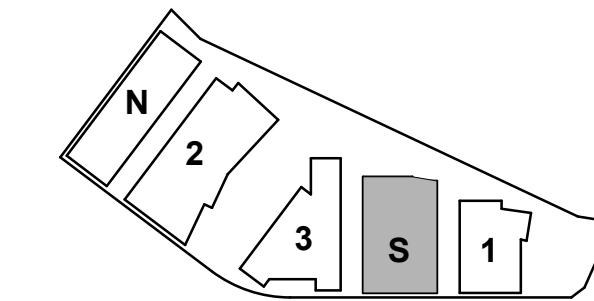


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BURLINGAME, CA

KEYPLAN



PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

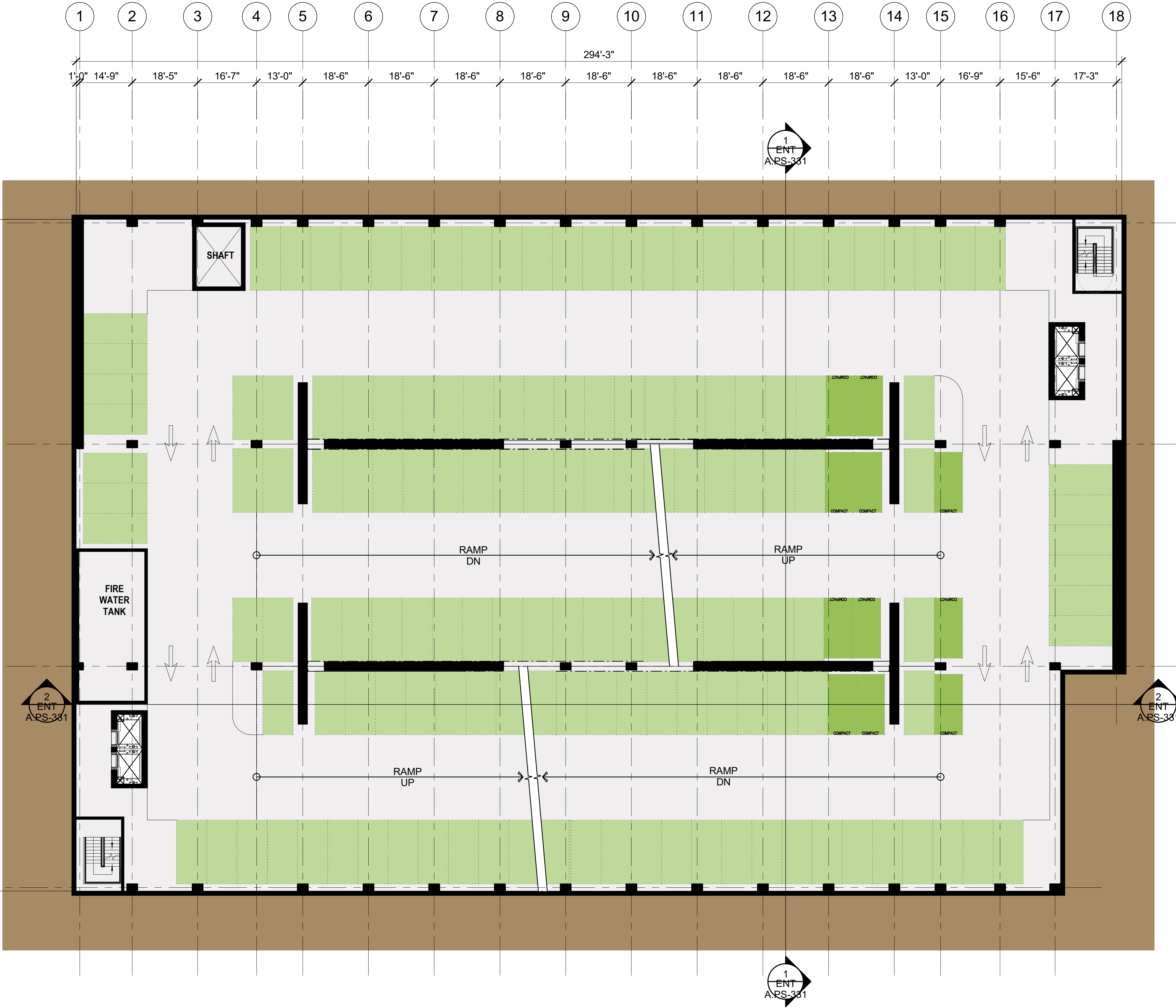
SHEET TITLE:

SOUTH PARKING -
FLOOR PLAN - LEVEL B2

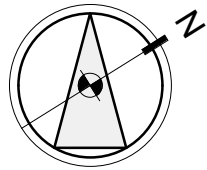
SHEET NO:

ENT A.P.S-1B2

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LEVEL B1 PARKING PLAN
1/16" = 1'-0"

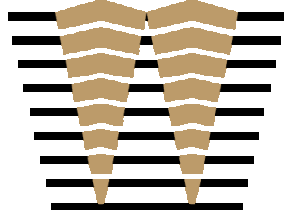


STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

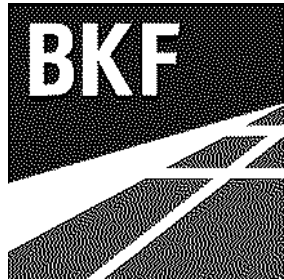
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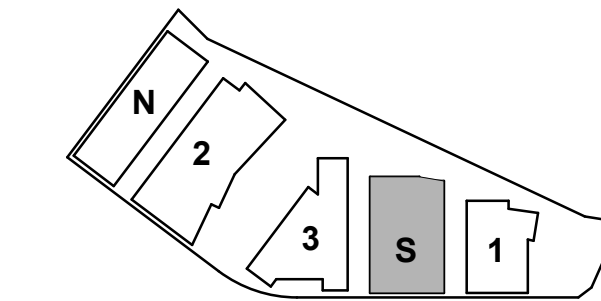
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PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

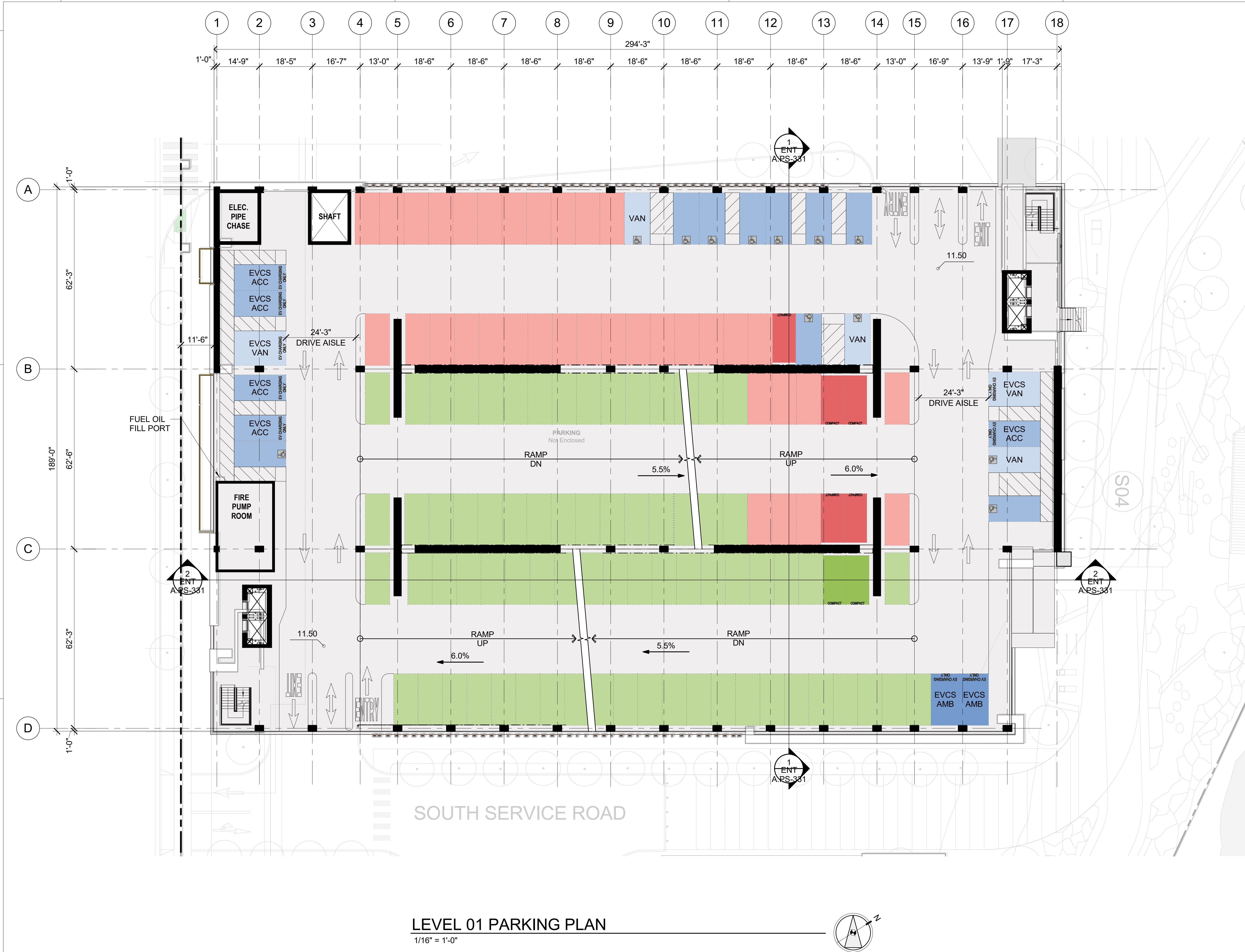
SHEET TITLE:

SOUTH PARKING -
FLOOR PLAN - LEVEL B1

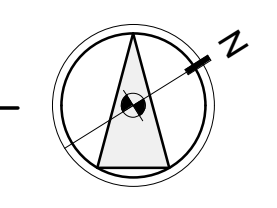
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ENT A.PS-1B1

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LEVEL 01 PARKING PLAN
1/16" = 1'-0"



STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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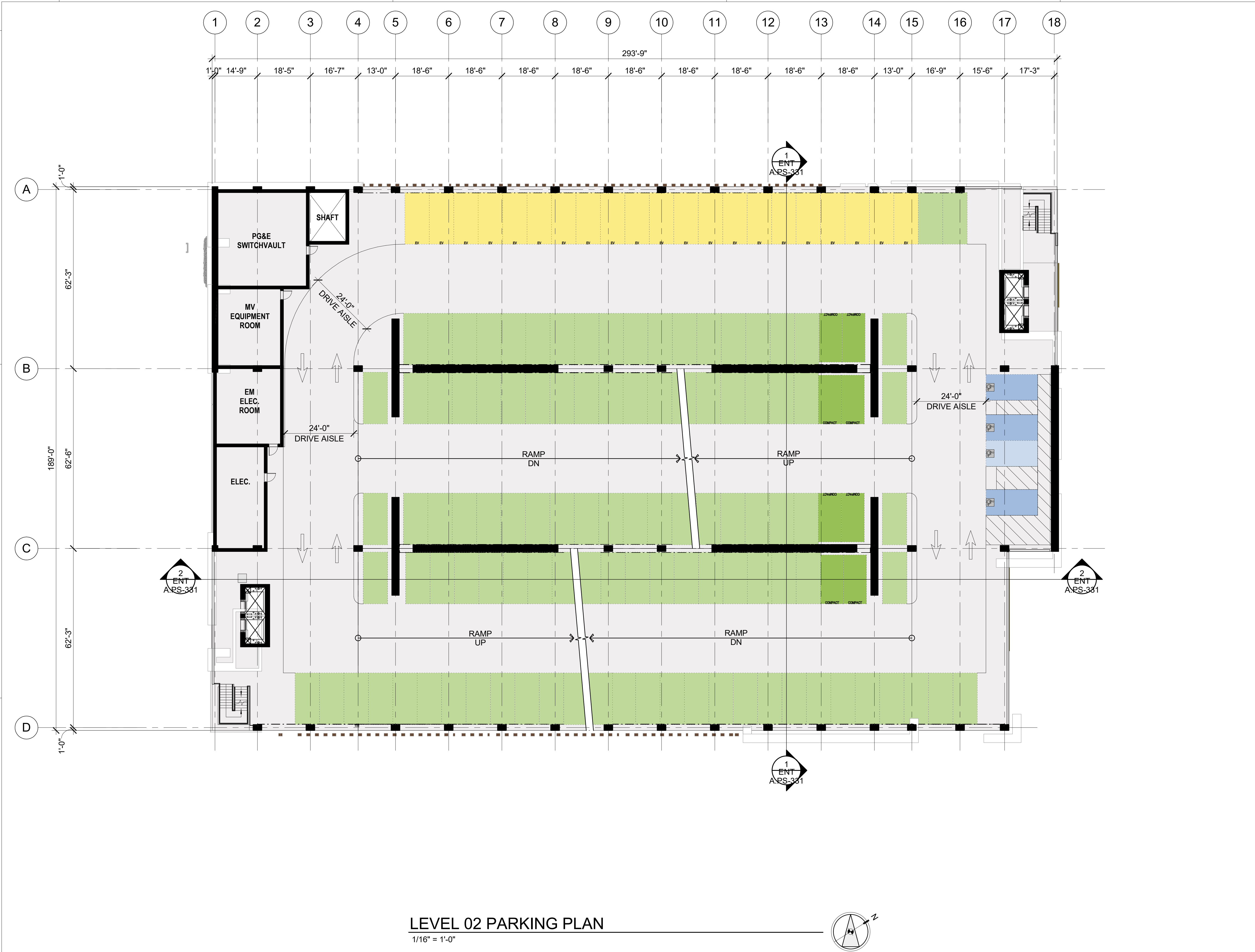
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PROJECT NO.: 21-144
DATE: 03/04/2021
SCALE: 1/16" = 1'-0"
SHEET TITLE:
**SOUTH PARKING -
FLOOR PLAN - LEVEL 1**

SHEET NO.:
ENT A.PS-101

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LEVEL 02 PARKING PLAN
1/16" = 1'-0"

STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

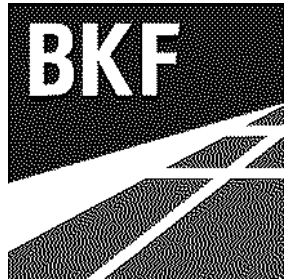
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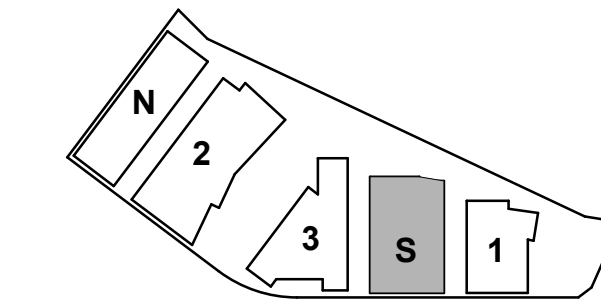
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DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

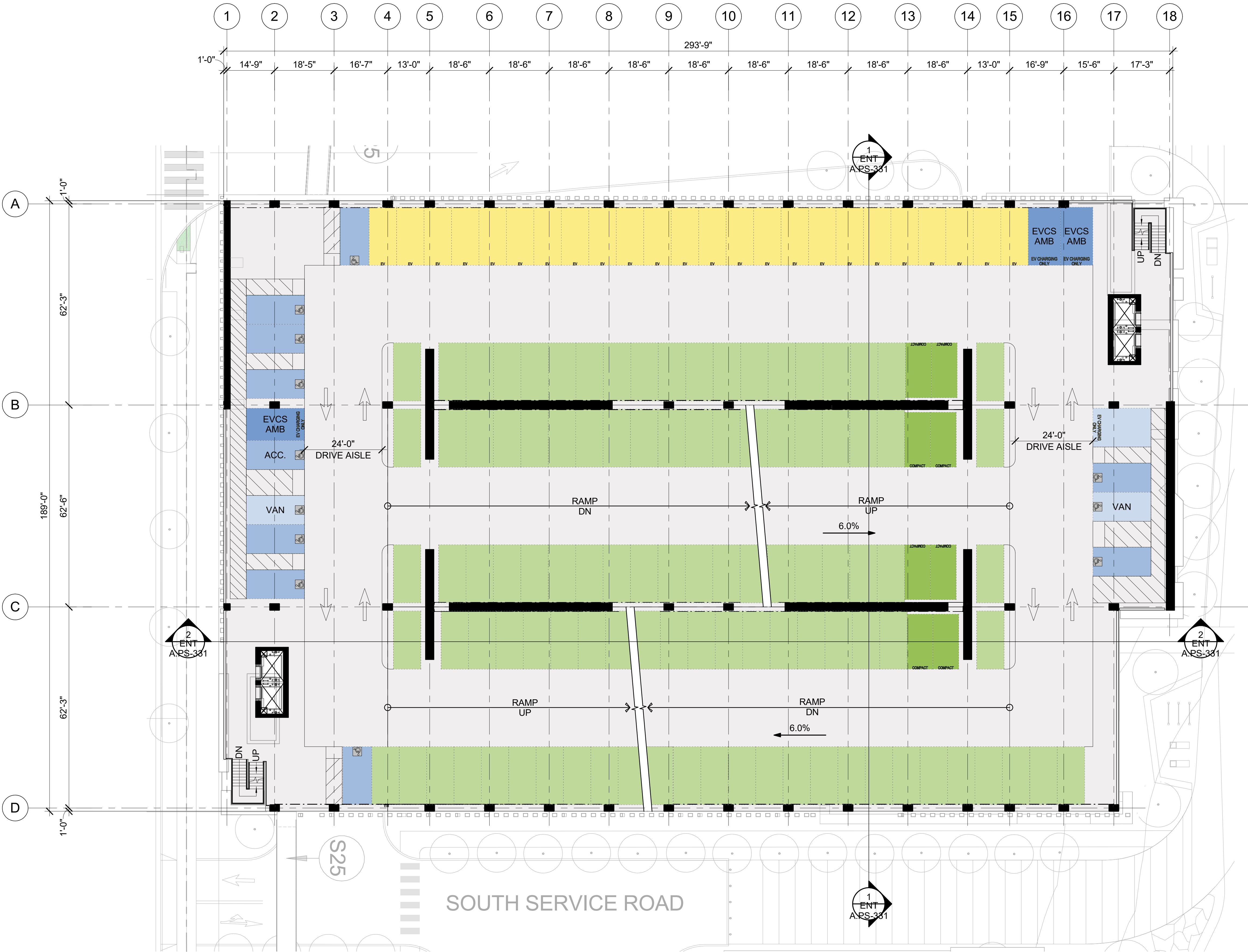
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SOUTH PARKING -
FLOOR PLAN - LEVEL 2

SHEET NO:

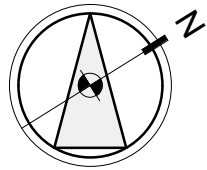
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LEVEL 03 PARKING PLAN

1/16" = 1'-0"



STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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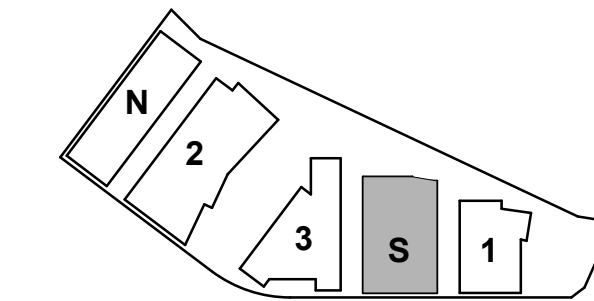


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KEYPLAN



PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

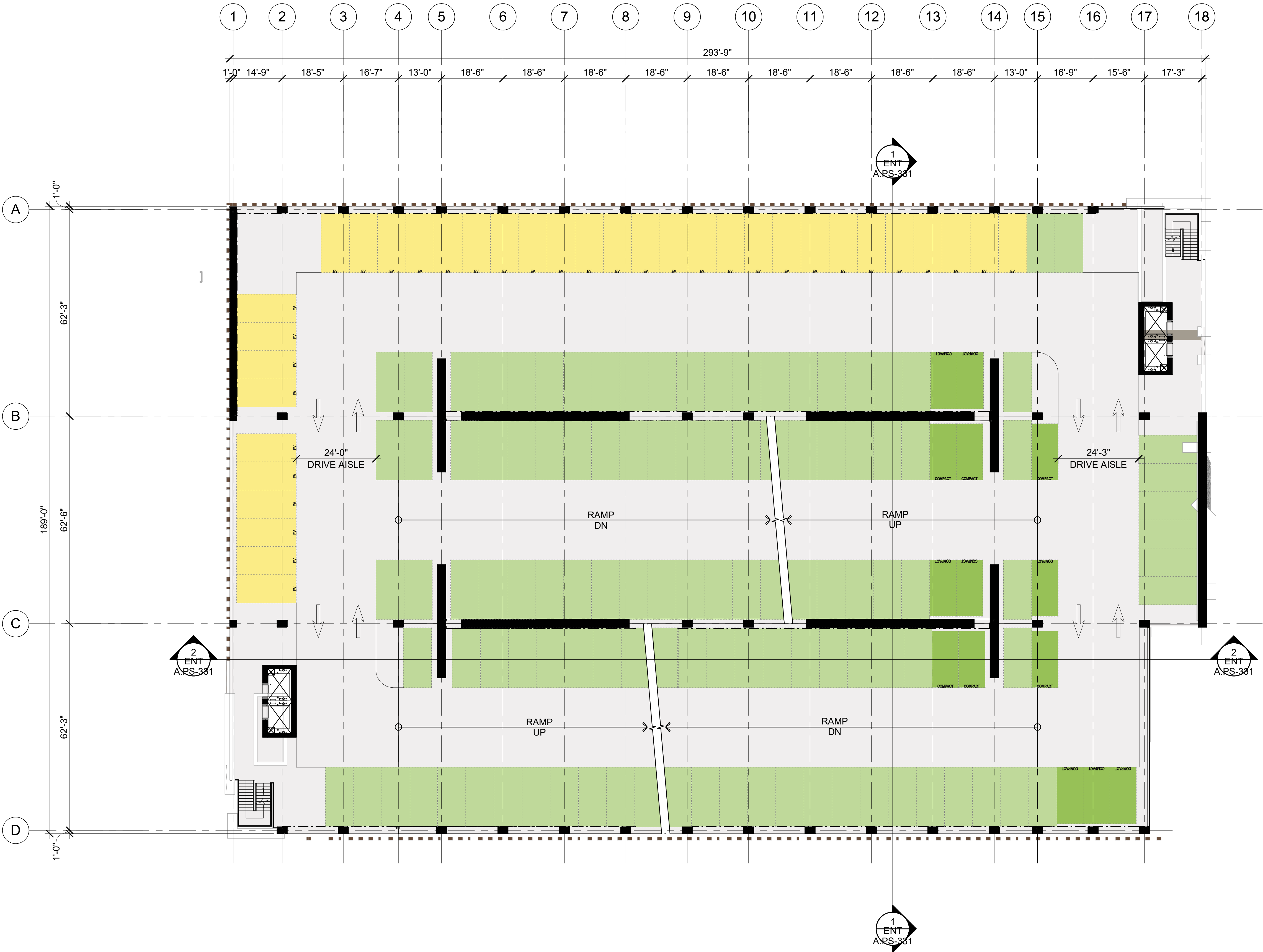
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SOUTH PARKING -
FLOOR PLAN - LEVEL 3

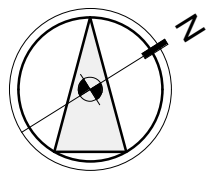
SHEET NO:

ENT A.PS-103

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LEVEL 04 PARKING PLAN
1/16" = 1'-0"



STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

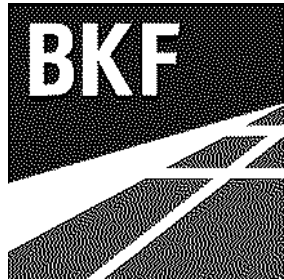
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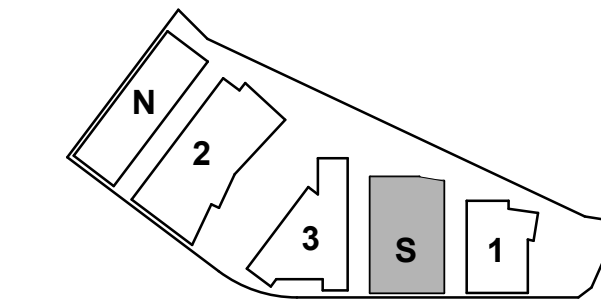
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DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

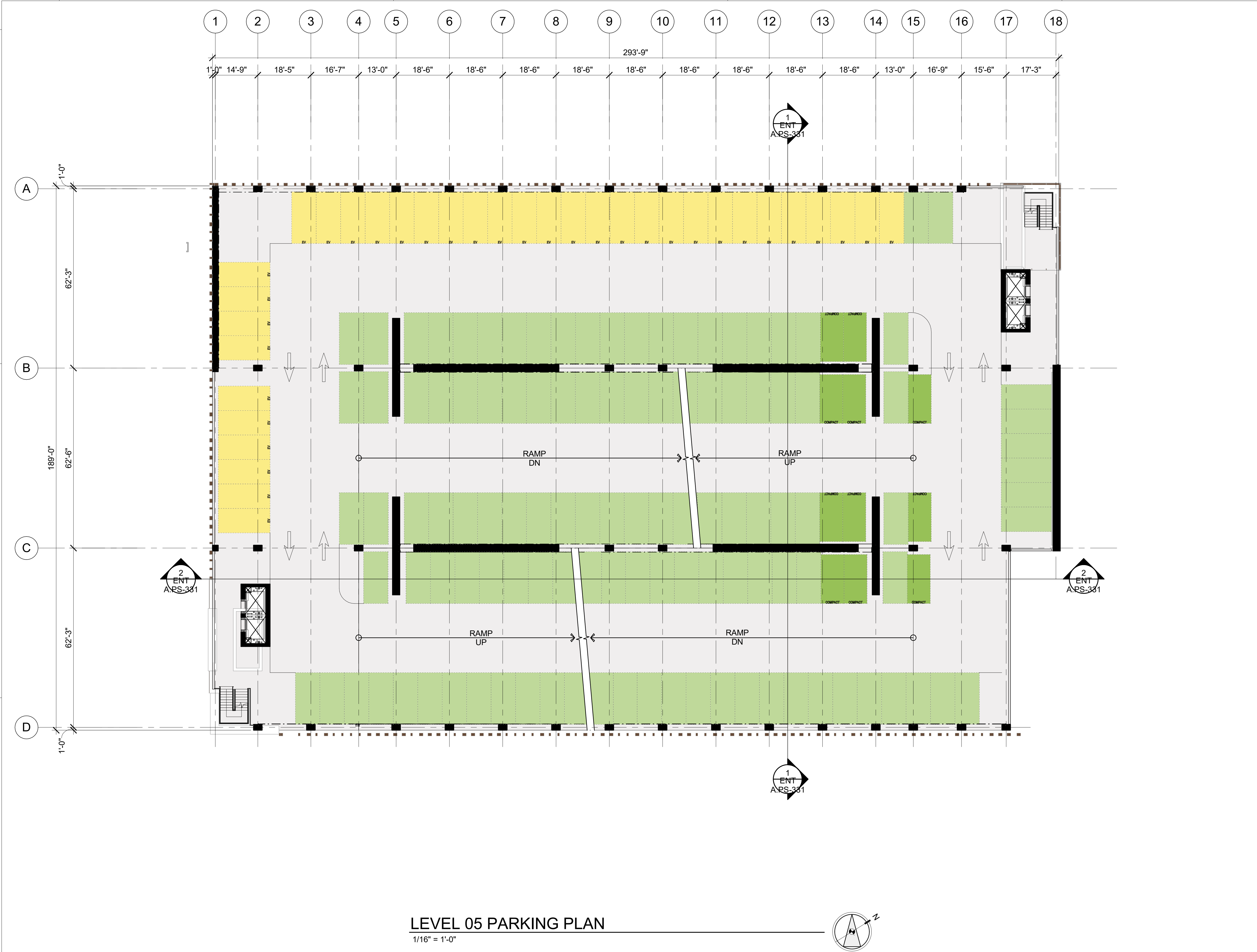
SHEET TITLE:

SOUTH PARKING -
FLOOR PLAN - LEVEL 4

SHEET NO:

ENT A.PS-104

3/21/2022 1:51:18 PM



LEVEL 05 PARKING PLAN
1/16" = 1'-0"

STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

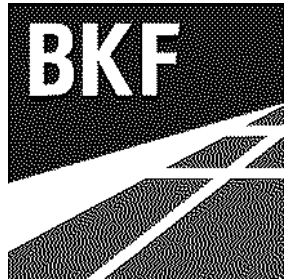
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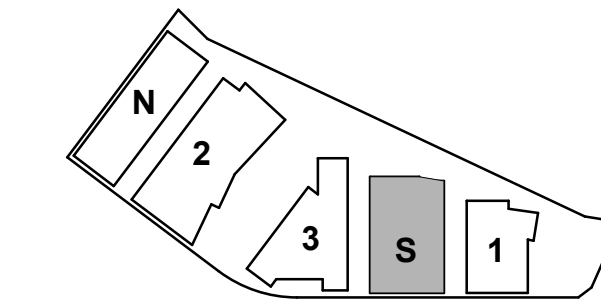
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DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

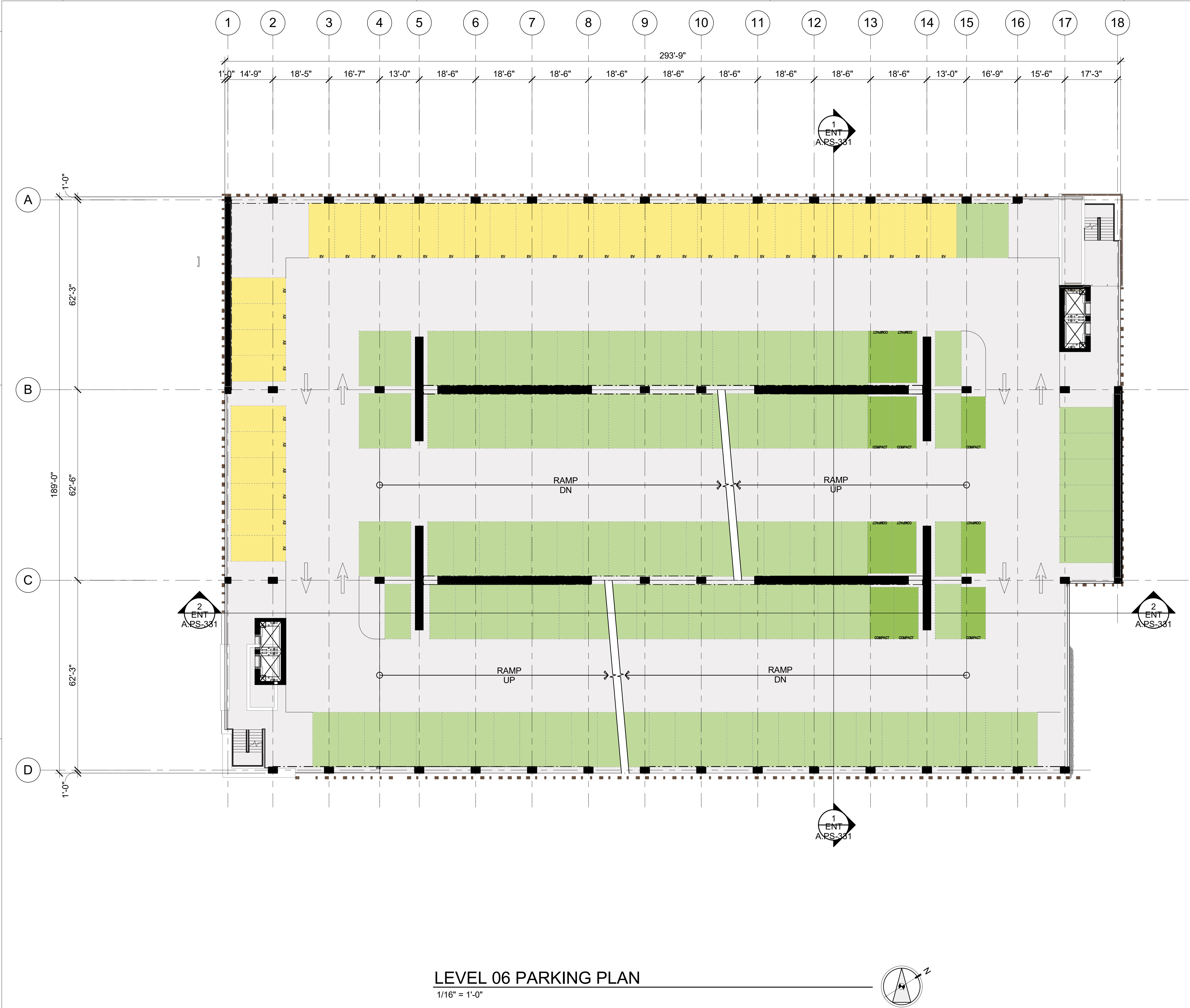
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SOUTH PARKING -
FLOOR PLAN - LEVEL 5

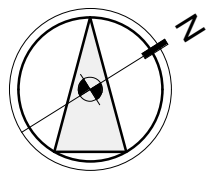
SHEET NO:

ENT A.PS-105

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LEVEL 06 PARKING PLAN
1/16" = 1'-0"



STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

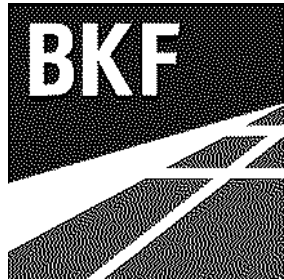
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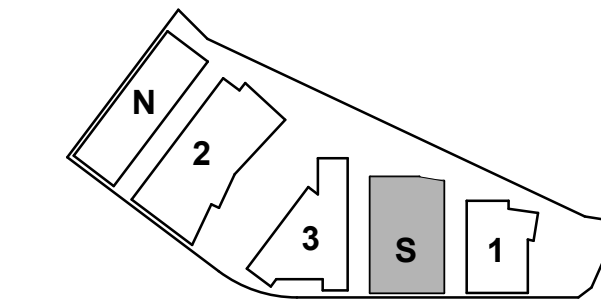
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DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

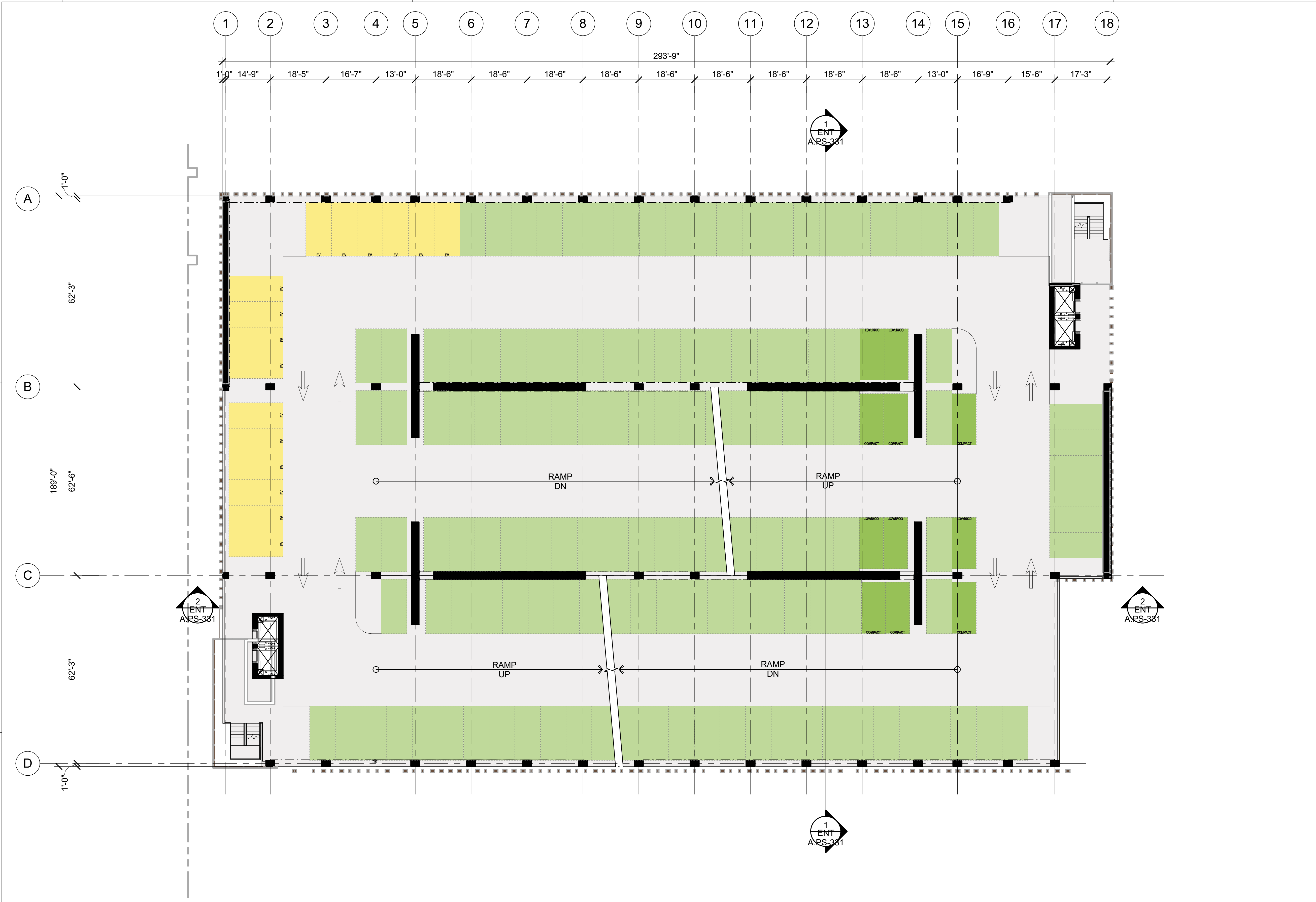
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SOUTH PARKING -
FLOOR PLAN - LEVEL 6

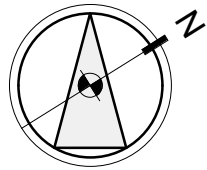
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ENT A.P.S-106

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LEVEL 07 PARKING PLAN
1/16" = 1'-0"

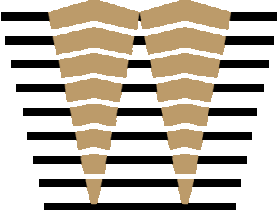


STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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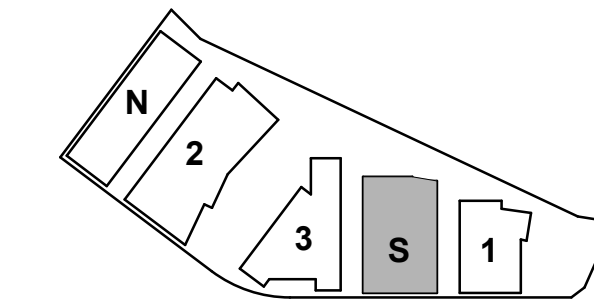
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KEYPLAN



PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

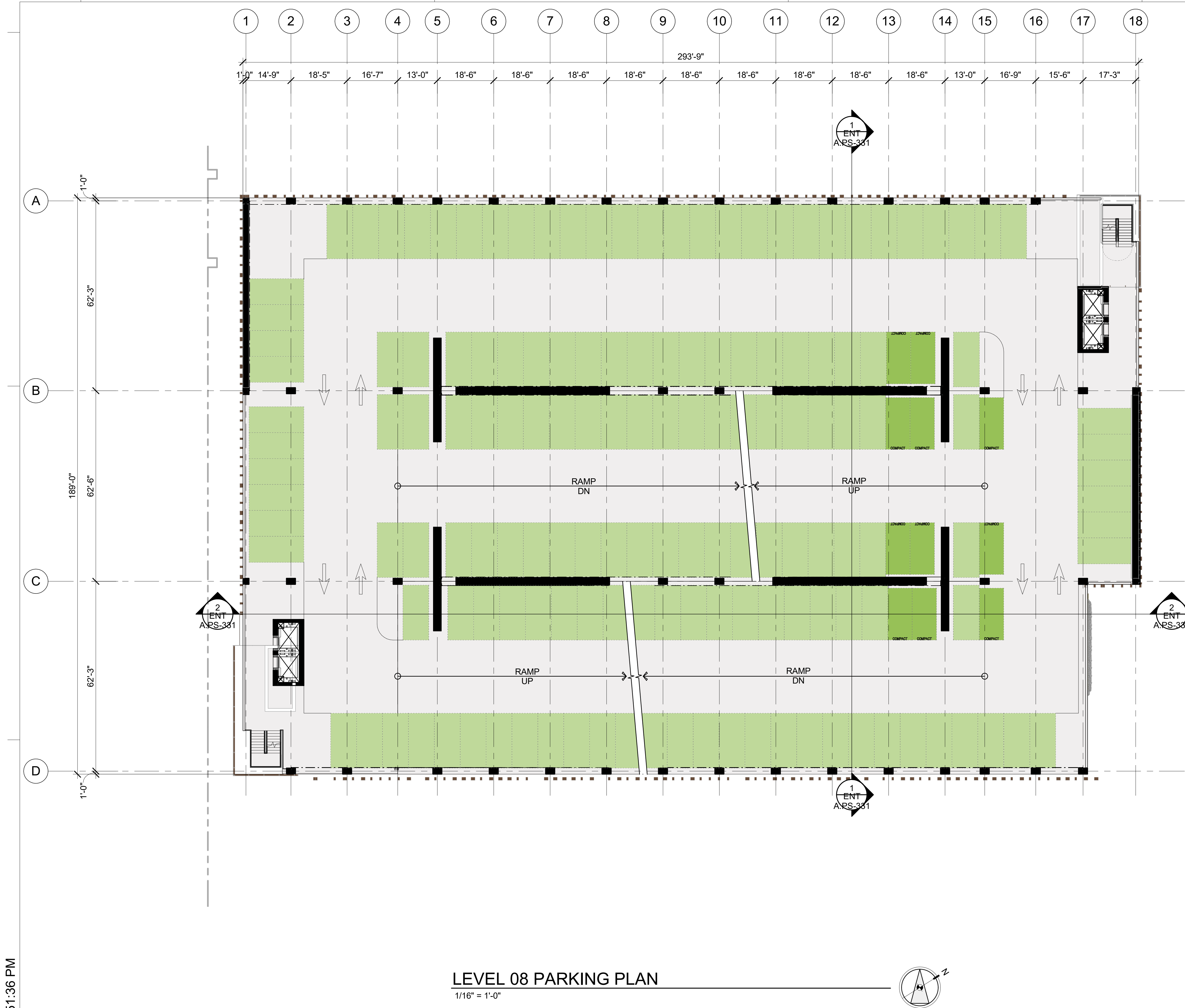
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SOUTH PARKING -
FLOOR PLAN - LEVEL 7

SHEET NO:

ENT A.PS-107

3/21/2022 1:51:36 PM



LEVEL 08 PARKING PLAN
1/16" = 1'-0"

STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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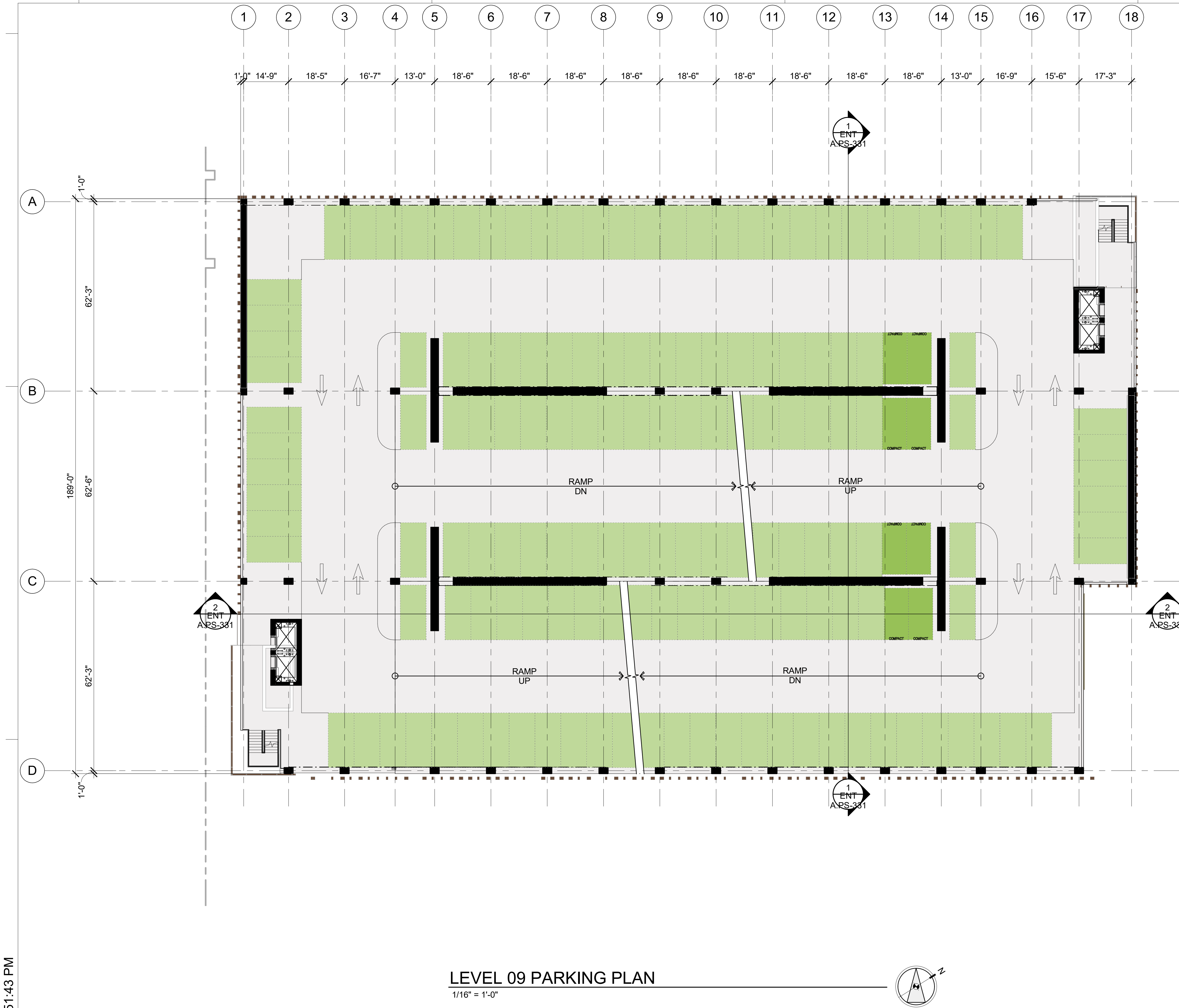
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PROJECT NO.: 21-144
DATE: 03/04/2021
SCALE: 1/16" = 1'-0"

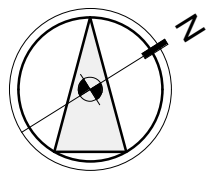
SHEET TITLE:
**SOUTH PARKING -
FLOOR PLAN - LEVEL 8**

SHEET NO.:
ENT A.PS-108

3/21/2022 1:51:43 PM



LEVEL 09 PARKING PLAN
1/16" = 1'-0"



STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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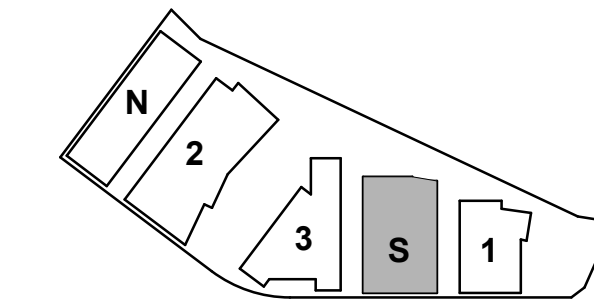
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KEYPLAN



PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

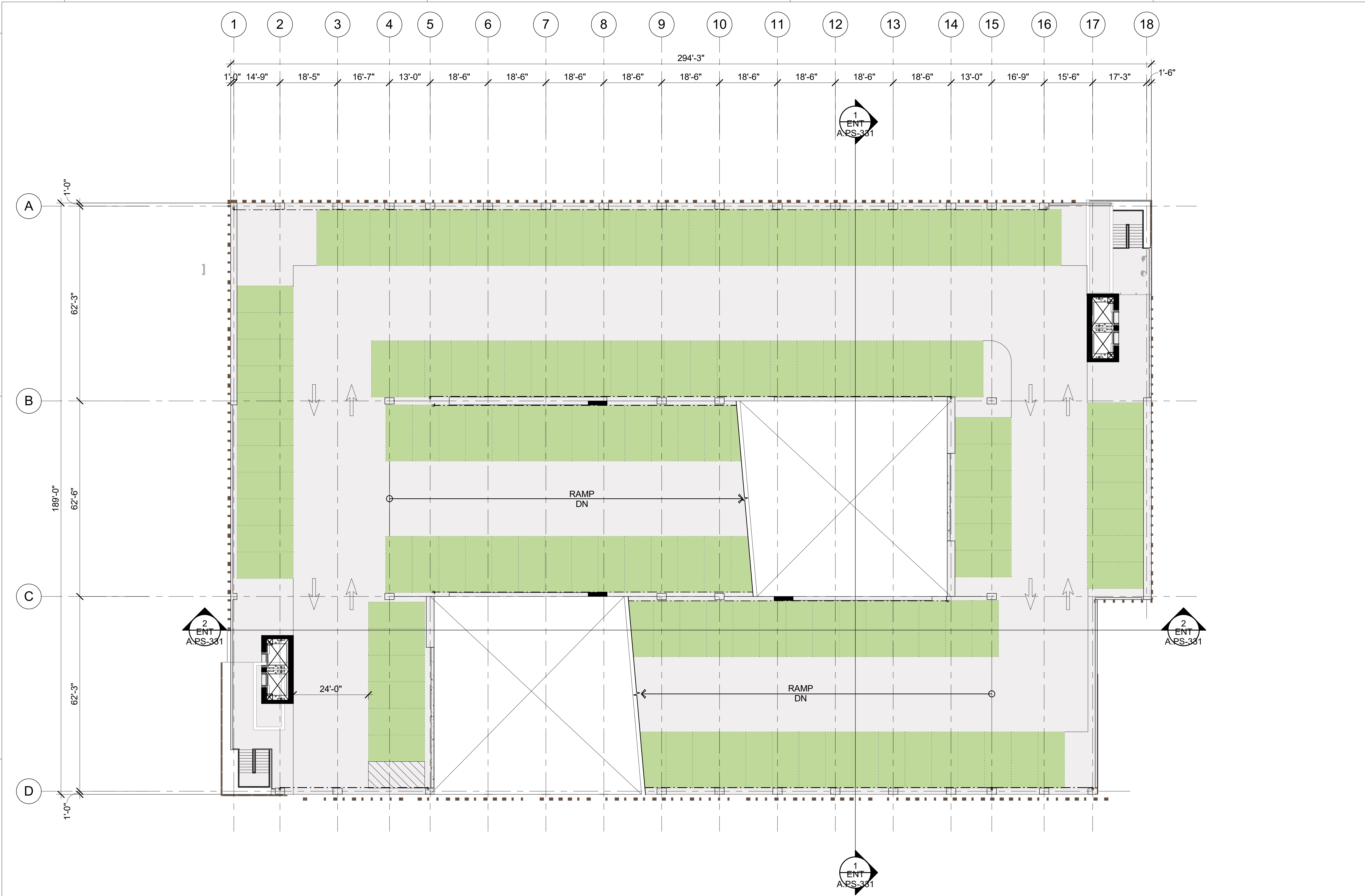
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SOUTH PARKING -
FLOOR PLAN - LEVEL 9

SHEET NO:

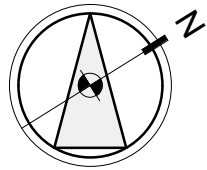
ENT A.PS-109

3/21/2022 1:51:46 PM



LEVEL 10 PARKING PLAN

1/16" = 1'-0"

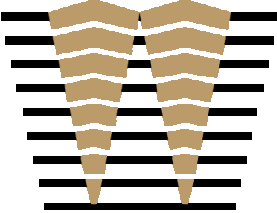


STALL LEGEND

- STANDARD
- COMPACT
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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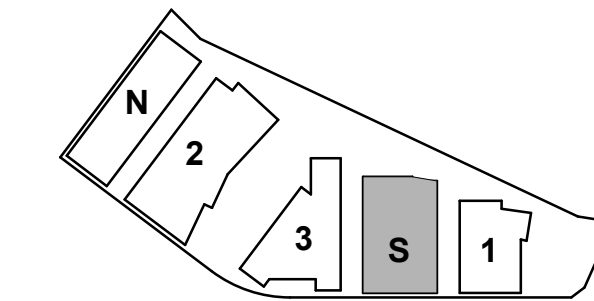
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ENTITLEMENT APPLICATION	03/24/2022

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1300 BAYSHORE

BURLINGAME, CA

KEYPLAN



PROJECT NO.: 21-144

DATE: 03/04/2021

SCALE: 1/16" = 1'-0"

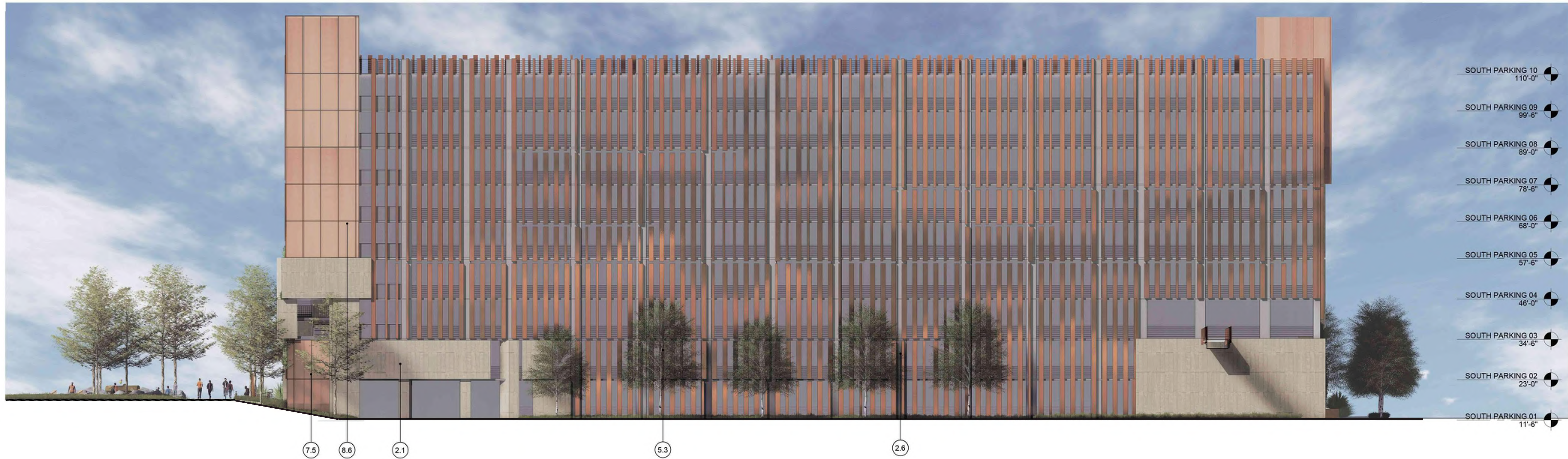
SHEET TITLE:

SOUTH PARKING -
FLOOR PLAN - LEVEL 10

SHEET NO:

ENT A.PS-110

3/3/2022 9:36:45 AM



1 SOUTH PARKING - CENTER SERVICE ROAD ELEVATION
1/16" = 1'-0"



2 SOUTH PARKING - BAY ELEVATION
1/16" = 1'-0"

#	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
2.6	EXPOSED CONCRETE COLUMN
2.7	EXPOSED CONCRETE SHEAR WALL WITH ARCHITECTURAL FINISH
5.3	WARM MTL FIN
7.5	WARM MTL FRAMED CURTAINWALL
7.9	WARM MTL GUARDRAIL
7.15	WARM MTL PLANTER BOX
8.6	GRAPHIC INTERLAYER GLAZING

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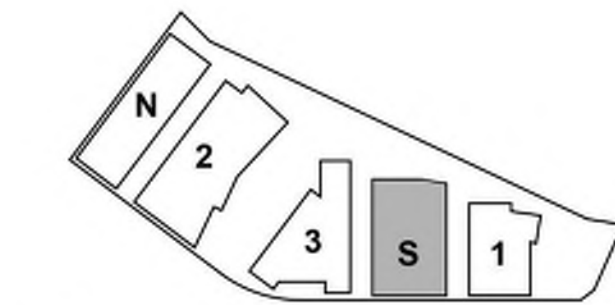
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ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD
BAYSHORE
HIGHWAY
Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

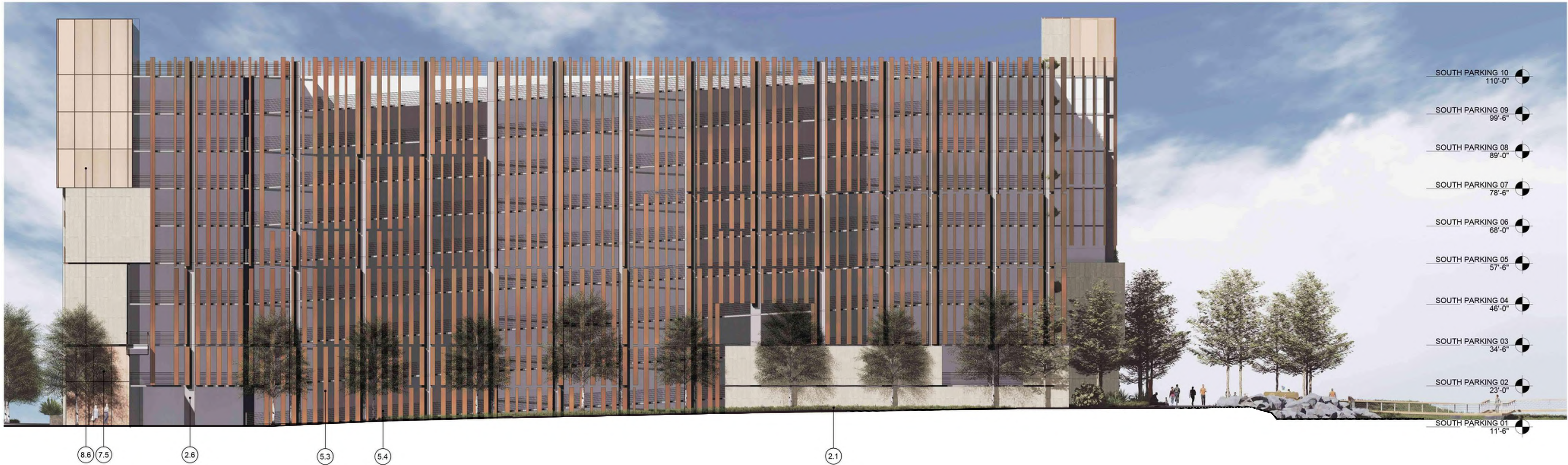
SCALE: As indicated

SHEET TITLE:

SOUTH PARKING -
EXTERIOR ELEVATIONS

SHEET NO:

ENT A.PS-301



1 SOUTH PARKING - SOUTH SERVICE ROAD ELEVATION
1/16" = 1'-0"



2 SOUTH PARKING - BAYSHORE HWY ELEVATION
1/16" = 1'-0"

GROUND FLOOR FACADE AREA CALCULATIONS

BAYSHORE HIGHWAY ELEVATION

GROUND FLOOR FACADE AREA: 2197 SF
GROUND FLOOR GLAZED AREA: 882 SF
GROUND FLOOR % GLAZED AREA: 40 %

ELEVATION KEYNOTES

- 2.1 TEXTURED ARCHITECTURAL PRECAST PANELS
- 2.6 EXPOSED CONCRETE COLUMN
- 2.7 EXPOSED CONCRETE SHEAR WALL WITH ARCHITECTURAL FINISH
- 5.3 WARM MTL FIN
- 5.4 CABLE RAIL GUARDRAIL
- 7.5 WARM MTL FRAMED CURTAINWALL
- 7.9 WARM MTL GUARDRAIL
- 8.6 GRAPHIC INTERLAYER GLAZING

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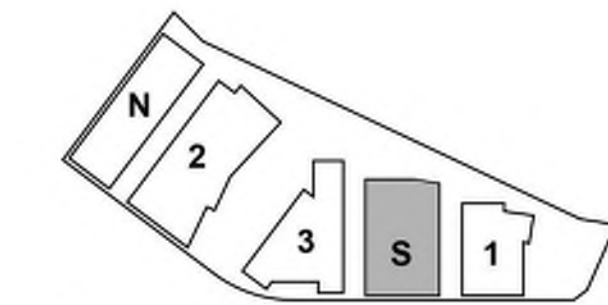
WATT

ISSUES DATE
ENTITLEMENT APPLICATION 03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD
BAYSHORE
HIGHWAY
Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

SHEET TITLE:

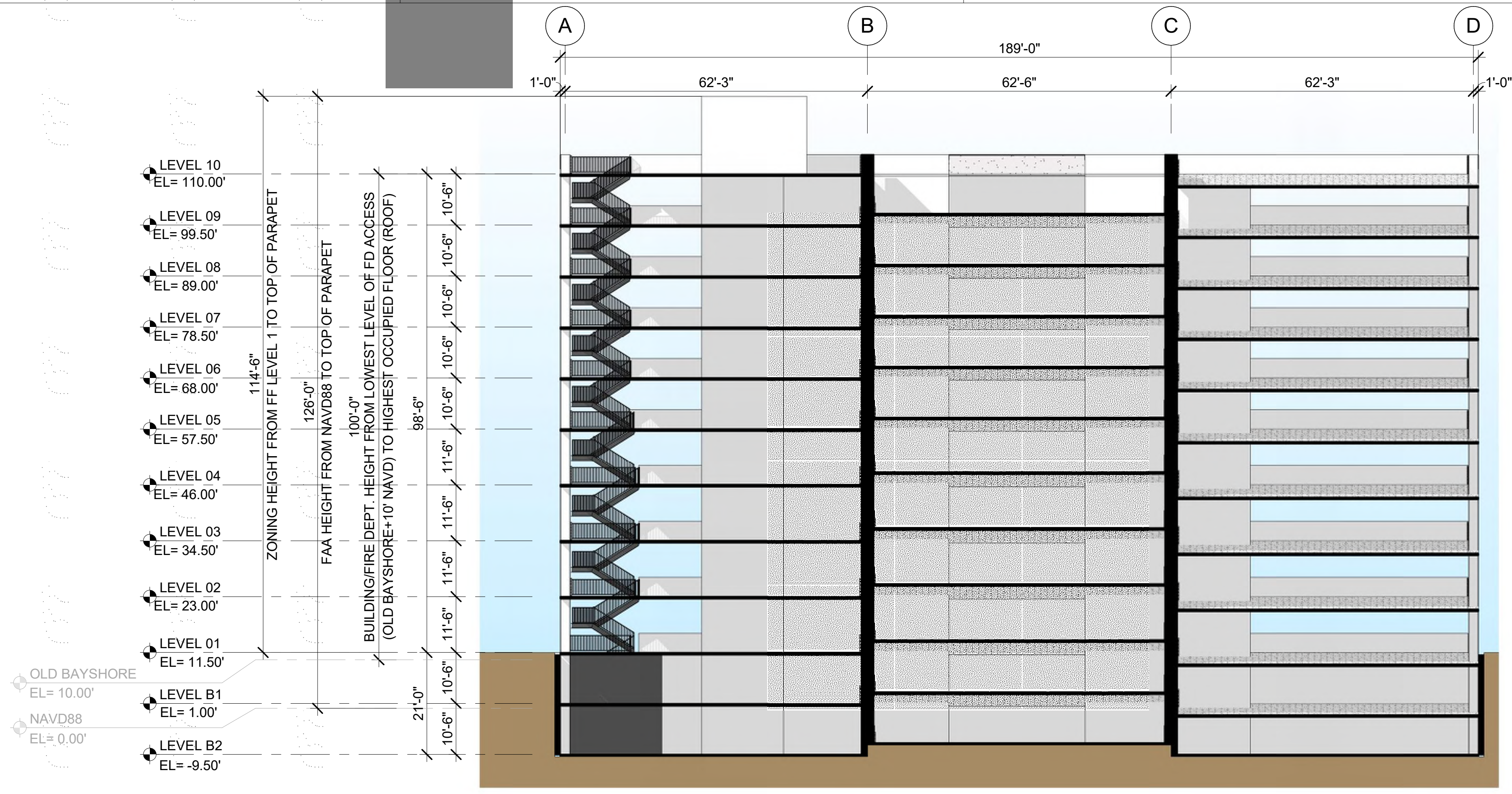
SOUTH PARKING -
EXTERIOR ELEVATIONS

SHEET NO:

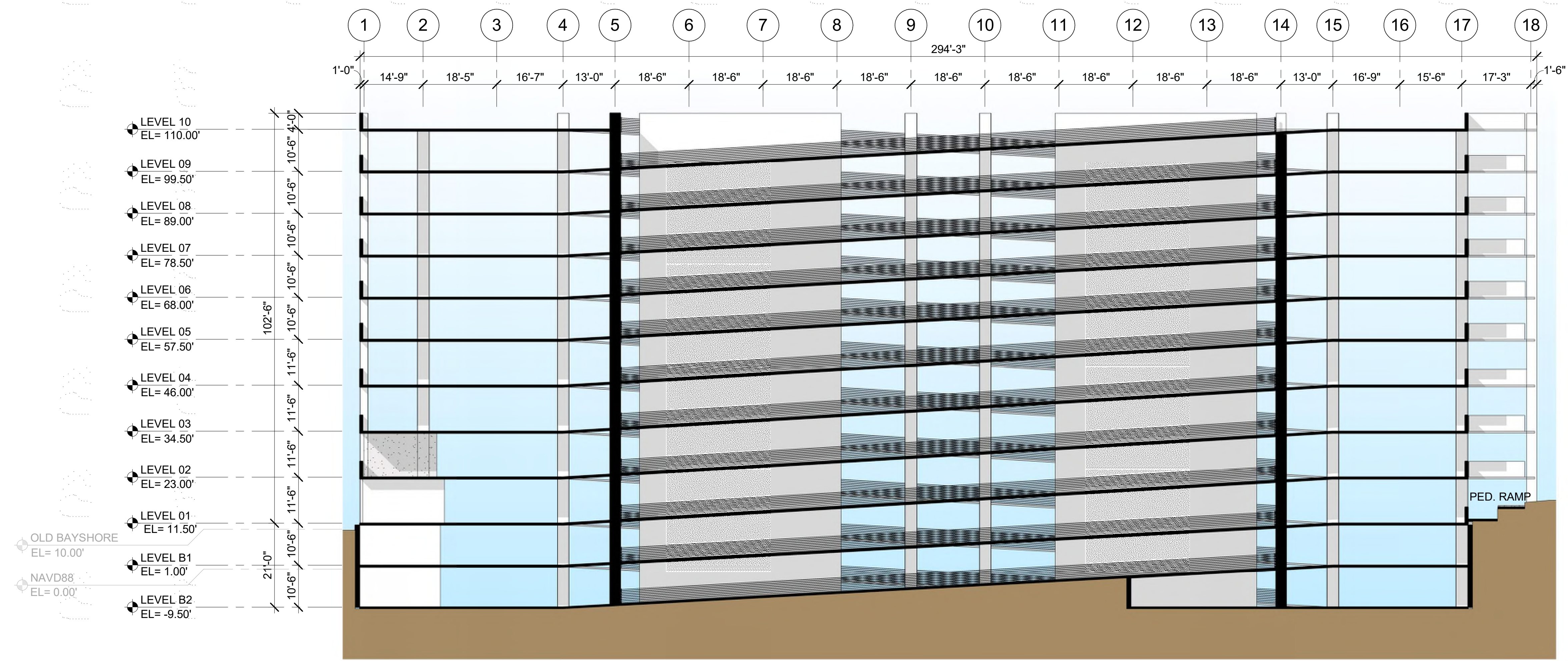
ENT A.PS-302

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1 TRANSVERSE SECTION
1/16" = 1'-0"



2 LONGITUDINAL SECTION
1/16" = 1'-0"

NOTE:
FOR BALANCE OF
INFORMATION, SEE
DETAIL (1/ENT A.PS-331)

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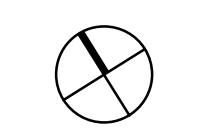
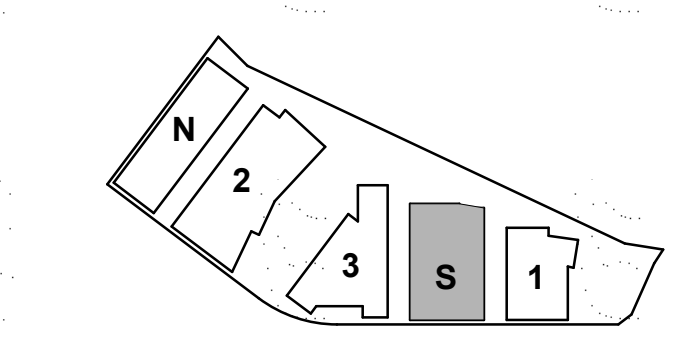
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ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

1300 BAYSHORE
BURLINGAME, CA

KEYPLAN



PROJECT NO.: 21-144
DATE: 03/04/2021
SCALE: 1/16" = 1'-0"

SHEET TITLE:

**SOUTH PARKING -
SECTIONS**

SHEET NO.:
ENT A.PS-331

All drawings and written material appearing herein constitute original and unpublished work of the Architect/Engineer and may not be duplicated, used or disclosed without consent of Architect/Engineer.

If this drawing is not 24"x36", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch

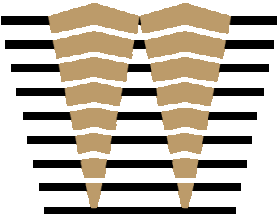
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NORTH PARKING STRUCTURE

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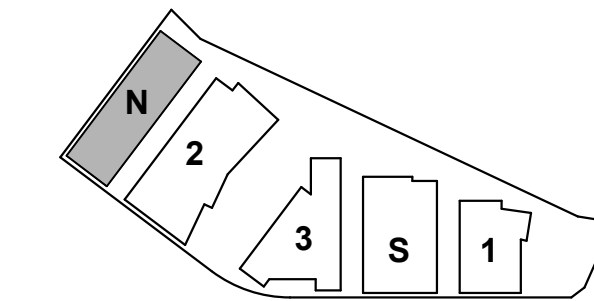
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

**1200-1340 OLD
BAYSHORE
HIGHWAY**

Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE:

SHEET TITLE:

**NORTH PARKING -
COVER**

SHEET NO:

ENT A.PN-000

ABBREVIATIONS

&	AND	(E)	EXISTING	MATL.	MATERIAL	T	TREAD
@	AT	EXIST.	EXISTING	MAX.	MAXIMUM	T.B.	TOWEL BAR
A.B.	ANCHOR BOLT	E.A.	EACH	M.B.	MACHINE BOLT	T.B.D.	TO BE DETERMINED
ACI	AMERICAN CONCRETE INSTITUTE	E.F.	EACH FACE	M.C.	MEDICINE CABINET	TEL.	TELEPHONE
ACOUS.	ACOUSTICAL	E.F.S.	EXTERIOR FINISH SYSTEM	M.D.	MID DEPTH	TER.	TERRAZZO
A.D.	AREA DRAIN	E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	MECH.	MECHANICAL	T&G	TONGUE AND GROOVE
ADD.	ADDITION	E.J.	EXPANSION JOINT	MEMB.	MEMBRANE	THK.	THICK
ADJ.	ADJUSTABLE	EL.	ELEVATION	MFR.	MANUFACTURER	THRSH.	THRESHOLD
A.E.D.	AUTOMATED EXTERNAL DEFIBRILLATOR	ELEC.	ELECTRICAL	MH.	MANHOLE	T.O.B.	TOP OF BEAM
A.F.F.	ABOVE FINISH FLOOR	ELEV.	ELEVATOR	MIN.	MINIMUM	T.O.C.	TOP OF CURB
AGGR.	AGGREGATE	EMER.	EMERGENCY	MIR.	MIRROR	T.O.CON.	TOP OF CONCRETE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	E.N.	EDGE NAILING	MISC.	MISCELLANEOUS	T.O.F.	TOP OF FOOTING
AL.	ALUMINUM	ENCL.	ENCLOSURE	MIXT.	MIXTURE	T.O.P.	TOP OF PAVEMENT
ALT.	ALTERNATE	ENGR.	ENGINEER	MOB	MEDICAL OFFICE BUILDING	T.O.PR.	TOP OF PIER
ANNLD.	ANNEALED	E.Q.	ELECTRICAL PANEL	M.S.	MIDDLE STRIP	T.O.S.	TOP OF SLAB
APPROX.	APPROXIMATELY	EQ.	EQUAL	MTD.	MOUNTED	T.O.P.	TOP OF STEEL
ARCH.	ARCHITECTURAL	EQUIP.	EQUIPMENT	MTL.	METAL	T.O.STL.	TOTAL
ASPH.	ASPHALT	E.S.	EACH SIDE	MUL.	MULLION	T.O.W.	TOP OF WALL
ASSN.	ASSOCIATION	EVCS	ELECTRIC VEHICLE CHARGING STATION	(N)	NEW	T.P.D.	TOILET PAPER DISPENSER
ASTM	AMERICAN STANDARDS FOR TESTING AND MATERIALS	EVSE	ELECTRIC VEHICLE SUPPLY EQUIPMENT	N.I.C.	NOT IN CONTRACT	T.V.	TELEVISION
AWS	AMERICAN WELDING SOCIETY	E-W	EAST WEST	NOM	NOMINAL	TYP.	TYPICAL
BET.	BETWEEN	E.W.	EACH WAY	NO. or #	NUMBER	U.B.C.	UNIFORM BUILDING CODE
BIT.	BITUMINOUS	EXP.	EXPANSION	N-S	NORTH-SOUTH	UNF.	UNFINISHED
BLDG.	BUILDING	EXPO.	EXPOSED	N.T.S.	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
BLK.	BLOCK	EXT.	EXTERIOR	O.A.	OVERALL	UR.	URINAL
BLKG.	BLOCKING	F.A.	FIRE ALARM	OBS	OBSCURE	VERT.	VERTICAL
BM.	BEAM	F.D.	FLOOR DRAIN	o/c	ON CENTER	VEST.	VESTIBULE
BOT.	BOTTOM	F.D.C.	FIRE DEPARTMENT CONNECTION	O.D.	OUTSIDE DIAMETER	w/	WITH
BR.	BRACE	FDN.	FOUNDATION	O.F.	OUTSIDE FACE	W.C.	WATER CLOSET
BR.DN.	BRACE DOWN	F.E.	FIRE EXTINGUISHER	OFF.	OFFICE	WD.	WOOD
CAB	CABINET	F.E.C.	FIRE EXTINGUISHER CABINET	O.H.	OPPOSITE HAND	W.E.J.	WALL EXPANSION JOINT
CBC	CALIFORNIA BUILDING CODE	F.F.	FINISH FLOOR	OPNG.	OPENING	w/o	WITHOUT
C.B.	CATCH BASIN	F.G.	FINISH GRADE	OPP.	OPPOSITE	WP.	WATERPROOF
CEM.	CEMENT	F.H.C.	FIRE HOSE CABINET	ORIG.	ORIGINAL	W.P.J.	WEAKENED PLANE JOINT
CER.	CERAMIC	FIN.	FINISH	OSHPD	OFFICE OF STATEWIDE HEALTH PLANNING AND DEVELOPMENT	W.P.M.	WATER PROOFING MEMBRANE
C.G.	CORNER GUARD	FLASH.	FLASHING	PC	PIERCAP	WS.	WEATHER STRIPPED
C.G.S.	CENTER GRAVITY STEEL	FLR.	FLOOR	PERM.	PERMANENT	WSCT.	WAINSCOT
C.I.	CAST IRON	FLOUR.	FLUORESCENT	PERP.	PERPENDICULAR	W.S.P.	WET STAND PIPE
C.I.P.	CAST IN PLACE	F.O.	FACE OF	PL.	PLATE	WT.	WEIGHT
C.J.	CONSTRUCTION JOINT	F.O.C.	FACE OF CONCRETE	P.LAM.	PLASTIC LAMINATE	W.W.R.	WELDED WIRE REINFORCEMENT
CLG.	CEILING	F.O.F.	FACE OF FINISH	PLAS.	PLASTER	X.STR.	EXTRA STRONG
CLKG.	CAULKING	F.O.M.	FACE OF MASONRY	PLYWD	PLYWOOD	℄	CENTERLINE
CLO.	CLOSET	F.OPNG.	FINISH OPENING	PR.	PAIR		
CLR.	CLEAR	F.O.S.	FACE OF STUD	PRCST.	PRECAST		
CMU	CONCRETE MASONRY UNIT	F.O.W.	FACE OF WALL	PROJ.	PROJECT		
CNTR.	COUNTER	FPRF.	FIRE PROOFING	P.S.F.	POUNDS PER SQUARE FOOT		
CO.	COMPANY	F.R.	FIRE RISER	P.S.I.	POUNDS PER SQUARE INCH		
COEF.	COEFFICIENT	F.S.	FAR SIDE	PT.	POINT		
C.O.	CHANGE ORDER	FT.	FOOT OR FEET	P.T.	POST TENSION(ED)		
COL.	COLUMN	FURR.	FURRING	P.T.I.	POST TENSION INSTITUTE		
COM.	COMMON	FUT.	FUTURE	P.T.D.	PAPER TOWEL DISPENSER		
CONC.	CONCRETE	GA.	GAUGE	P.T.D/R	PAPER TOWEL DISP. WITH RECEPTACLE		
CONN.	CONNECTION	GALV.	GALVANIZED	PTL	PRESSURE TREATED LUMBER		
CONST.	CONSTRUCTION	GB.	GRADE BEAM	PTN.	PARTITION		
CONT.	CONTINUOUS	G.BAR.	GRAB BAR	P.T.R.	PAPER TOWEL RECEPTACLE		
CONTR.	CONTRACTOR	GL.	GLASS / GLAZING	Q.T.	QUARRY TILE		
C.OPNG.	CASED OPENING	GLB.	GLUE LAMINATED BEAM	R. or RAD.	RADIUS		
CORP.	CORPORATION	GND.	GROUND	R.D.	ROOF DRAIN		
CORR.	CORRIDOR	GR.	GRADE	REF.	REFERENCE		
CTR.	CENTER	G.S.M.	GALVANIZED SHEET METAL	REFR.	REFRIGERATOR		
CTSK.	COUNTERSUNK	GYP.BD.	GYPSTUM BOARD	REINF.	REINFORCED		
CU.FT.	CUBIC FOOT	H.B.	HOSE BIBB	REQ'D.	REQUIRED		
CU.IN.	CUBIC INCH	H.C.	HOLLOW CORE	RESIL.	RESILIENT		
CU.YD.	CUBIC YARD	HDR.	HEADER	RGTR.	REGISTER		
D.B.A.	DEFORMED BAR ANCHOR	HDRK	HARD ROCK	R.J.	ROOF JOIST		
DLB.	DOUBLE	HDWD.	HARDWOOD	RM.	ROOM		
DEPT.	DEPARTMENT	HDWE.	HARDWARE	R.O.	ROUGH OPENING		
DET.	DETAIL	HEX.	HEXAGONAL	R.R.	ROOF RAFTER		
D.F.	DRINKING FOUNTAIN	HGR.	HANGER	RWD.	REDWOOD		
DIA.	DIAMETER	H.M.	HOLLOW METAL	R.W.L.	RAIN WATER LEADER		
DIAG.	DIAGONAL	HORIZ.	HORIZONTAL	S.A.D.	SEE ARCHITECTURAL DRAWINGS		
DIM.	DIMENSION	HR.	HOOR	S.C.	SOLID CORE		
DISP.	DISPENSER	HSS	HOLLOW STRUCTURAL SECTIONS	S.C.D.	SEAT COVER DISPENSER		
DIV.	DIVISION	H.S.A.	HEADED STUD ANCHOR	SCHED.	SCHEDULE		
D.L.	DEAD LOAD	HT.	HEIGHT	S.D.	SOAP DISPENSER		
DN.	DOWN	I.B.C.	INTERNATIONAL BUILDING CODE	SEAONC	STRUCTURAL ENGINEERS ASSOC.		
DO.	DITTO	I.D.	INSIDE DIAMETER		OF NORTHERN CALIFORNIA		
DR.	DOOR	I.F.	INSIDE FACE	SECT.	SECTION		
DR.OPNG.	DOOR OPENING	IN.	INCH	S.F.	SOIL FACE		
DS.	DOWN SPOUT	INC.	INCORPORATED	SH.	SHELF		
DSGN.	DESIGN	INFO.	INFORMATION	SHR.	SHOWER		
DWG	DRAWING	INSUL.	INSULATION	SHT.	SHEET		
DWGS	DRAWINGS	INT.	INTERIOR	SHTG.	SHEATHING		
DWR.	DRAWER	JAN.	JANITOR	SIM.	SIMILAR		
		JST.	JOIST	S.N.D.	SANITARY NAPKIN DISPENSER		
		JT.	JOIST	S.H.R.	SANITARY NAPKIN RECEPTACLE		
		K.	KIP (1,000 LBS)	S.O.G.	SLAB ON GRADE		
		K/FT	KIPS PER FOOT	SPECS.	SPECIFICATIONS		
		KIT.	KITCHEN	SQ.	SQUARE		
		LAB.	LABORATORY	SQ.FT.	SQUARE FEET		
		LAM.	LAMINATED	S.SK.	SERVICE SINK		
		LAV.	LAVATORY	S.S.	SELECT STRUCTURAL		
		LIN.	LINEAR	S.STL.	STAINLESS STEEL		
		LKR.	LOCKER	STA.	STATION		
		L.L.	LIVE LOAD	STAG.	STAGGER(ED)		
		LT.	LIGHT	STD.	STANDARD		
		LT.WT.	LIGHT WEIGHT	STL.	STEEL		
				STOR.	STORAGE		
				STRL.	STRUCTURAL		
				SUSP.	SUSPENDED		
				SYM.	SYMMETRICAL		

GENERAL NOTES

- SCOPE OF DOCUMENTS:** THESE PLANS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL SYSTEM. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE WORK:** ALL CONSTRUCTION AND MATERIALS SHALL BE SPECIFIED AND CONSTRUCTED AS REQUIRED BY THE LATEST EDITION OF THE IBC, STATE AND LOCAL CODES AND AUTHORITIES, AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR:**
 - SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
 - SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.
 - SHALL DO ALL CUTTING , FITTING OR PATCHING OF IS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- THE JOB SITE:**
 - SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR, IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK, SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATION.
 - ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE.
- SUBMITTALS:** NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT .
- DIMENSIONS:**
 - ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
 - ALL DIMENSIONS ARE TO THE FACE OF FINISH UNLESS NOTED OTHERWISE.
- EXITS:** ALL REQUIRED EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. EXIT SIGNS SHALL BE PROVIDED AT ALL EXITS REQUIRED BY CODE.
- FURRING:** WHERE LARGER STUDS OR FURRINGS ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
- ELEVATORS:** ALL ELEVATORS SHALL MEET THE REQUIREMENTS OF C.C.R.,TITLE 8, ELEVATOR SAFETY ORDERS.
- ACCESSIBILITY REQUIREMENTS:** SHALL BE AS PRESCRIBED BY THE CALIFORNIA CODE OF REGULATIONS, TITLE 24 (ARCHITECTURAL BARRIER LAWS) AND THE AMERICANS WITH DISABILITIES ACT.
- THE AMERICANS WITH DISABILITIES ACT. (A.D.A.):** IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS ("PLANS") REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE A.D.A. AS IT APPLIES TO THE SUBJECT PROJECT, BUT IS NOT IN ANY WAY A WARRANTY OR GUARANTEE THAT SAID PLANS COMPLY WITH ANY OR ALL POSSIBLE INTERPRETATIONS OF THE A.D.A. BY OTHERS.
- DISCREPANCIES:** SHOULD A DISCREPANCY THAT AFFECTS ANY WORK APPEAR IN THE SPECIFICATIONS, PLANS, OR WORK DONE BY OTHERS AS PART OF THE CONTRACT DOCUMENTS, NOTIFY THE ARCHITECT AT ONCE FOR CLARIFICATION. SHOULD A CONFLICT OCCUR IN OR BETWEEN PLANS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DOCUMENTS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.

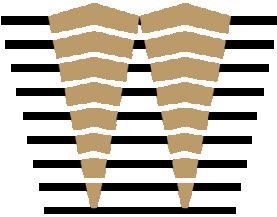
DEFERRED SUBMITTAL ITEMS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND COORDINATING DESIGN AND DETAILING OF THE FOLLOWING PRE-ENGINEERED SYSTEMS, INCLUDING CONNECTIONS TO THE BUILDING STRUCTURE. THE CONTRACTOR SHALL SUBMIT DRAWINGS AND CALCULATIONS STAMPED BY A CALIFORNIA REGISTERED CIVIL OR STRUCTURAL ENGINEER TO THE ARCHITECT, ENGINEER AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION AND ERECTION. DEFERRED ITEMS INCLUDE BUT ARE NOT LIMITED TO:

- ELEVATORS
- MISCELLANEOUS METAL RAILS
- METAL STUD WALL SYSTEMS
- METAL STAIRS
- FIRE SPRINKLERS SYSTEMS
- CABLE RAILS

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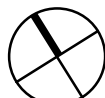
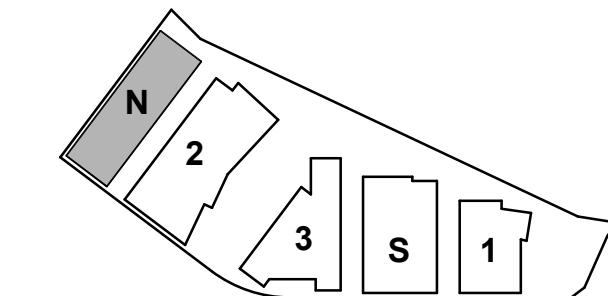
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

1300 BAYSHORE

BURLINGAME, CALIFORNIA

KEYPLAN



PROJECT NO.: 21-144

DATE: 03/24/2022

SCALE: 12" = 1'-0"

SHEET TITLE:

NORTH PARKING -
PROJECT DATA SHEET

SHEET NO:

ENT A.PN-001

PROJECT OWNER

DIVCO WEST
301 HOWARD STREET, SUITE 2100,
SAN FRANCISCO, CA 94105
PHONE 1-248-961-5664
MARK JOHNSON, DIRECTOR OF DEVELOPMENT
VIRGINIA CALKINS, DEVELOPMENT

WOODSTOCK DEVELOPMENT
1350 OLD BAYSHORE HWY, SUITE 355,
BURLINGAME, CA 94010
PHONE 1-650-579-1901
KIRK SYME, PRESIDENT

DESIGN-BUILD CONTRACTOR

DEVCON CONSTRUCTION
690 GIBRALTAR DRIVE,
MILPITAS, CA 95035
PHONE 1-408-466-9146
ANDY SCHATZMAN, SENIOR VICE PRESIDENT
KRISSY SCHREIBER, SENIOR PROJECT MANAGER

DESIGN CONSULTANTS

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PHONE 1-650-482-6453
PATRICK CONNORS, PROJECT MANAGER

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PHONE 1-415-489-2224
SAM NUNES, PARTNER IN CHARGE
BEN MICKUS, PROJECT LEAD

SUSTAINABILITY/LEED:
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PHONE
PAULINE SOUZA, DIRECTOR OF SUSTAINABILITY

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FAX 1-408-532-5004
JESS MCINERNEY, PRINCIPAL

STRUCTURAL ENGINEER:
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CHRIS MCHUGH, MECHANICAL ENGINEER III

ELECTRICAL:
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ROBERT SMITH, ASSOCIATE PRINCIPAL

PLUMBING:
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ERICA KRAM, SENIOR ASSOCIATE

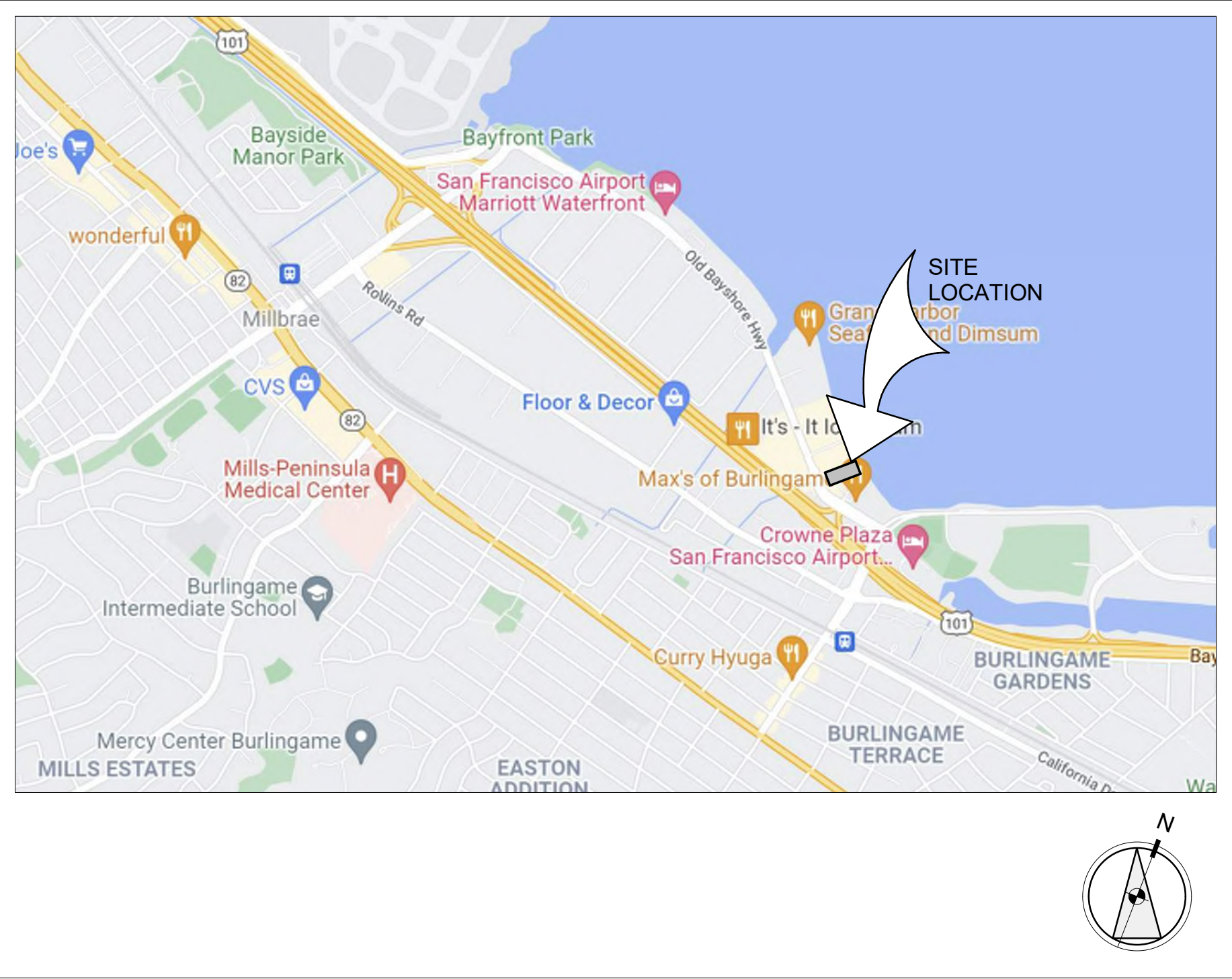
FIRE ALARM:
PAE CONSULTING ENGINEERS
48 GOLDEN GATE AVENUE,
SAN FRANCISCO, CA 94102
PHONE 1-415-544-7500
ROBERT SMITH, ASSOCIATE PRINCIPAL

FIRE PROTECTION:
PAE CONSULTING ENGINEERS
48 GOLDEN GATE AVENUE,
SAN FRANCISCO, CA 94102
PHONE 1-15-544-7500
ERICA FRAM, SENIOR ASSOCIATE

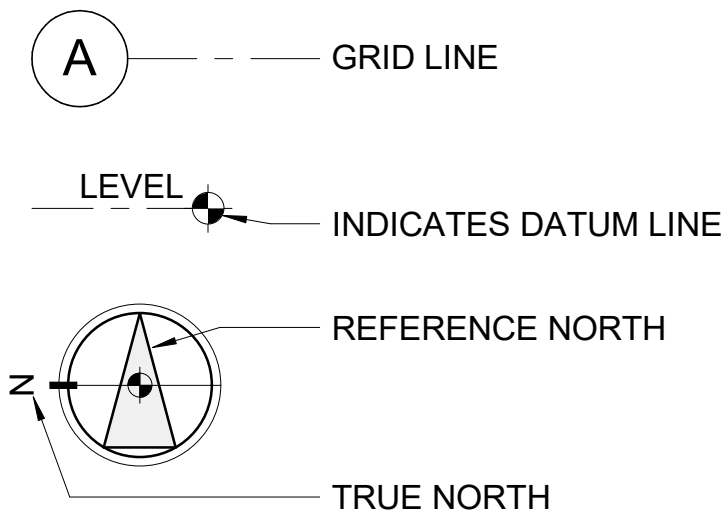
LANDSCAPING:
CMG LANDSCAPE ARCHITECTURE
444 BRYANT STREET
SAN FRANCISCO, CA 94107
PHONE 1-415-495-3070
JUSTIN AFF, PROJECT MANAGER/ASSOCIATE

ELEVATOR:
EWCG
102 E. BLITHEDALE AVE., SUITE 1
MILL VALLEY, CA 94941
PHONE 1-415-388-1880
ALLEN WILLIAMS, CHAIRMAN

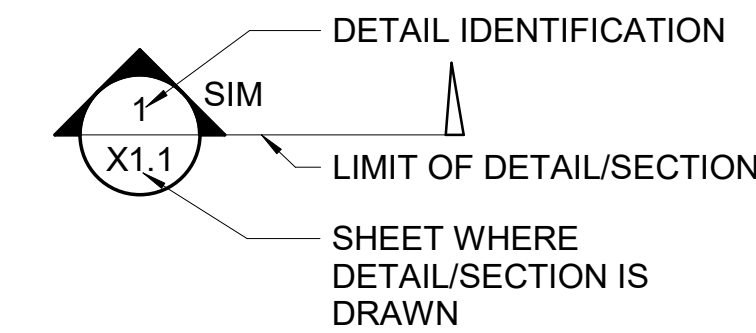
VICINITY MAP



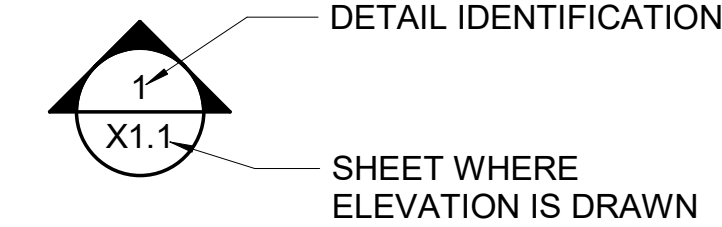
GENERAL SYMBOLS



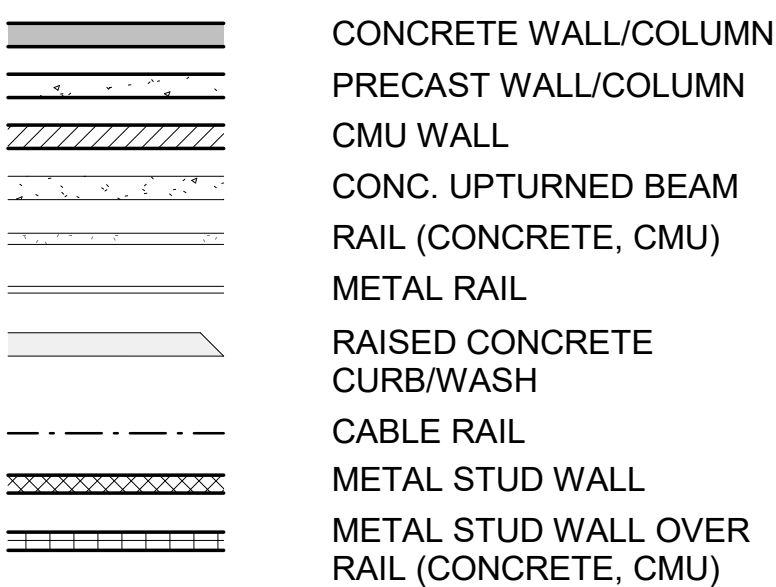
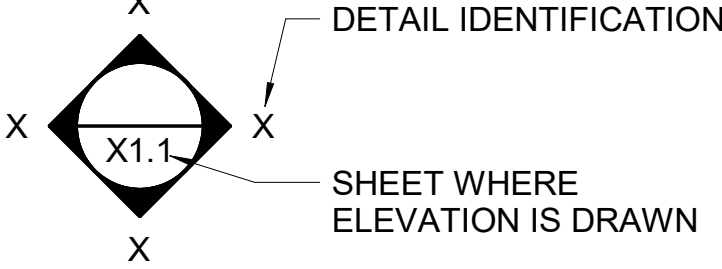
DETAIL/BUILDING SECTION CUT



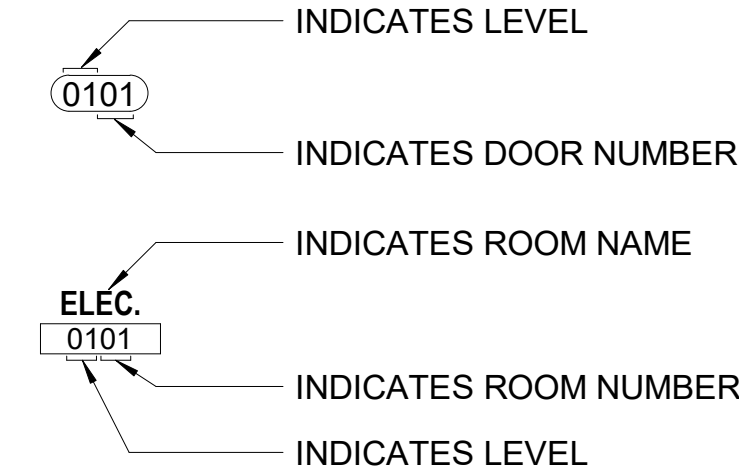
ELEVATION



INTERIOR ELEVATION



DOOR AND ROOM TAGS



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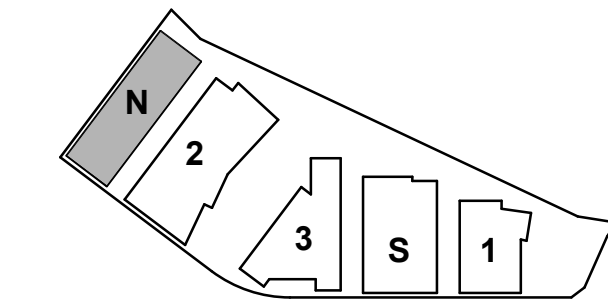
ISSUES	DATE
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PROJECT NO.: 21-144

DATE: 03/24/2022

SCALE: As indicated

SHEET TITLE:

NORTH PARKING -
PROJECT DATA SHEET

SHEET NO:



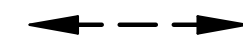
ENT A.PN-002

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EXITING DIAGRAMS

1. 2019 C.B.C. SECTION 1017, TABLE 1017.2 "EXIT TRAVEL DISTANCE"
S2 OCCUPANCY EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THE MAXIMUM TRAVEL DISTANCE IS **400'**
S2 OCCUPANCY WITHOUT AN AUTOMATIC SPRINKLER SYSTEM THE MAMIMUM TRAVEL DISTANCE IS **300'**

EXITING LEGEND

-  ACTUAL TRAVEL DISTANCE
 DIAGONAL DISTANCE
 DISTANCE BETWEEN EXITS

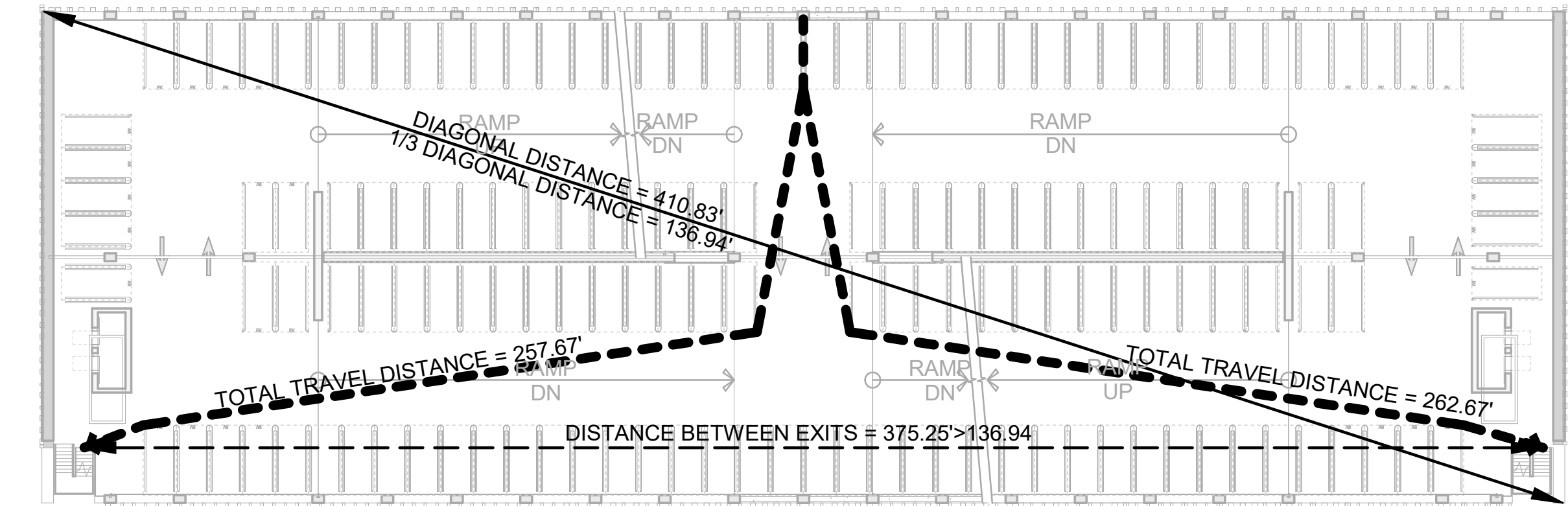
FIRE RATINGS LEGEND

-  1-HR.
 2-HR.
 3-HR.
 4-HR.

CODE DATA

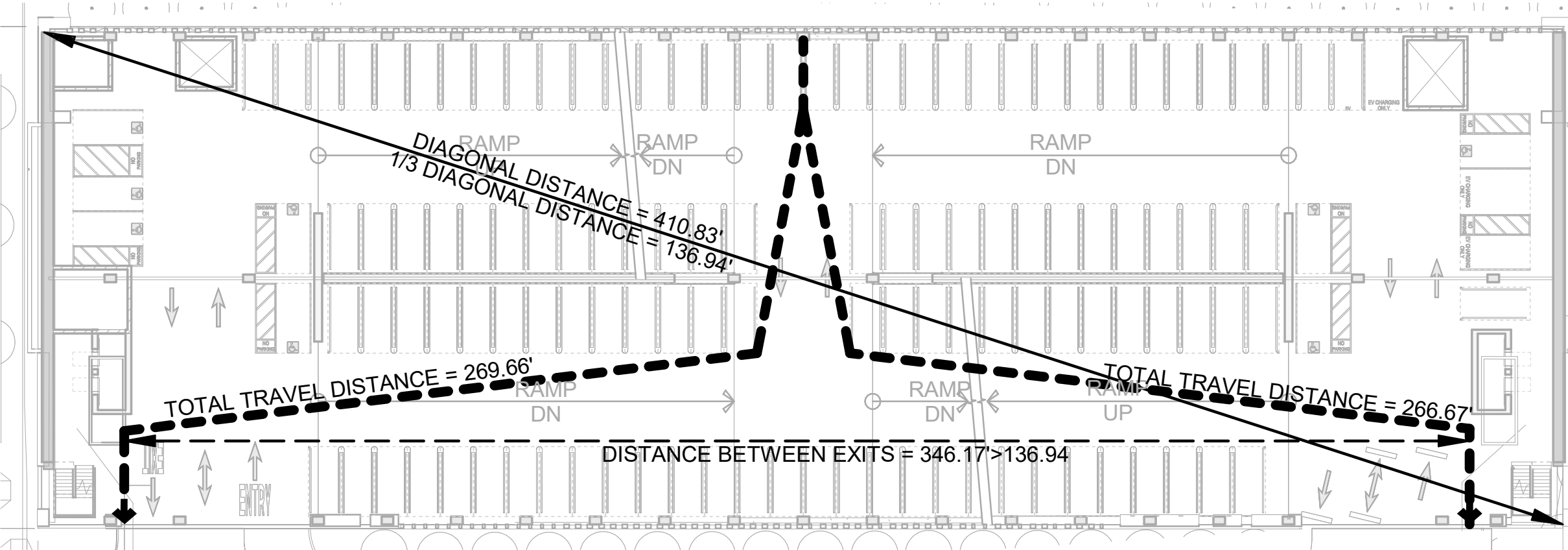
GOVERNING CODES:

- A. 2019 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 2.
B. 2019 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 3.
C. 2019 CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 4.
D. 2019 CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 5.
E. 2019 CALIFORNIA FIRE CODE (CFC), CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 9.
F. 2019 CALIFORNIA ENERGY, CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24 PART 6
G. ADAAG ADA ACCESSIBILTY GUIDELINES
H. CITY OF BURLINGAME MUNICIPAL CODE



TYPICAL LEVEL EXITING DIAGRAM

1/32" = 1'-0"



FIRST LEVEL EXITING DIAGRAM

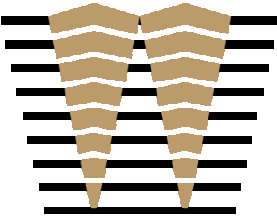
1/32" = 1'-0"

CODE SUMMARY

CODE SECTIONS	TYPE - OPEN GARAGE	TYPE - ENCLOSED GARAGE	NOTES
AUTOMATIC SPRINKLER SYSTEM - SEC. 903	YES	YES	
OCCUPANCY TYPE(S) - CHAPTER 3	S-2 PARKING GARAGE (OPEN, PER 406.5)	S-2 PARKING GARAGE (CLOSED, PER 406.6)	OPENNESS - 406.5.2
CONSTRUCTION TYPE(S) - CHAPTER 4, 5 AND 6	IB	IB	TABLES 406.5.4, 601 AND 602
GRADE PLANE - CHAPTER 2 DEFINITION	11.50'	N/A	
ALLOWABLE HEIGHT (IN TIERS) - TABLE 406.5.4	12 TIERS	N/A	ELEVATOR TOWERS - UNLIMITED IN HEIGHT IF NC (SECTION 504.3 EXCEPTION).
ACTUAL HEIGHT (IN TIERS)	10 TIERS	N/A	
ALLOWABLE HEIGHT INCREASE (IN TIERS), FOR OPEN PARKING STRUCTURES - SECT. 406.5.5	N/A	N/A	
BASE ALLOWABLE AREA PER TIER	UNLIMITED (TABLE 406.5.4)	237,000 SQ. FT. (SEC. & TABLE 506.2)	
ACTUAL AREA (LARGEST TIER)	46,350 SQ. FT.	45,850 SQ. FT.	
ALLOWABLE AREA INCREASE PER TIER	N/A	N/A	
ACTUAL TOTAL AREA	470,250 SQ. FT.	88,750 SQ. FT.	
MAXIMUM ALLOWABLE TOTAL AREA	N/A	N/A	
ACTUAL AREA TO ALLOWABLE AREA RATIO	N/A	N/A	
BUILDING ELEMENTS F.R. REQUIREMENTS - TABLE 601			
STRUCTURAL FRAME	2 HR		
BEARING WALLS – EXTERIOR	2 HR		
BEARING WALLS - INTERIOR	2 HR		
NON-BEARING WALLS AND PARTITIONS – EXTERIOR	SEE REQUIREMENTS BELOW		
NON-BEARING WALLS AND PARTITIONS – INTERIOR	0 HR		
FLOOR CONSTRUCTION	2 HR		
ROOF CONSTRUCTION	1 HR		
EXTERIOR WALLS F.R. REQUIREMENTS- TABLE 602			
EXTERIOR WALLS AND PARTITIONS:	1 HR, <5' 1 HR, 5'≤ x <10' 1 HR, 10'≤ x <30' NR, ≥ 30'		BASED ON CONSTRUCTION TYPE
OPENINGS (UNPROTECTED, SPRINKLERED) – MAXIMUM AREA OF EXTERIOR WALL OPENINGS, SECTION AND TABLE 705.8.	NOT PERMITTED <3' 15%, 3'≤ x <5' 25%, 5'≤ x <10' UNLIMITED, ELSEWHERE		BASED ON DISTANCE AND SPRINKLERS (SEE TABLE FOOTNOTE G.)
SHAFT ENCLOSURES (BOTH STAIRS AND ELEVATORS)	NOT REQUIRED	STAIRS - 1HR ELEVATOR - NOT REQUIRED	SEE SECTIONS 406.5.9, 712.1.10.2 AND 1019.3.6
OCC. LOAD - TABLE 1004.5	46,350/200 = 231.75 (TIER . w/ LARGEST FLOOR AREA)		
EXITS REQUIRED - TABLE 1006.3.2	2		
EXITS PROVIDED	2		
WIDTH REQUIRED- PER SECTION 1005.3.1 & 1005.3.2			
STAIRS: OCC. X 0.3 = TOTAL INCHES (48" MIN. CLEAR OF HANDRAIL, WHEN CONSIDERED TO BE A PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3. 44" MIN. CLEAR, WHEN CONSIDERED TO BE PART OF AN ACCESSIBLE MEANS OF EGRESS, PER 1009.3, EXCEPT. #2, WHEN THE BUILDING IS SPRINKLERED.)			STAIRS: 231.75 x 0.3 = 70" 50% OF 70" = 35"
OTHER THAN STAIRS: OCC. X 0.2 = TOTAL INCHES (32" MIN. CLEAR WIDTH, 1010.1.1 AND PER 11B-404, DOORS, DOORWAYS AND GATES.)			OTHER THAN STAIRS: 231.75 x 0.20 = 46.35" 50% OF 46.35" = 23.2"
WIDTH PROVIDED			STAIRS: 2 x 54" = 108" OTHER THAN STAIRS: 58" + 132" = 190"

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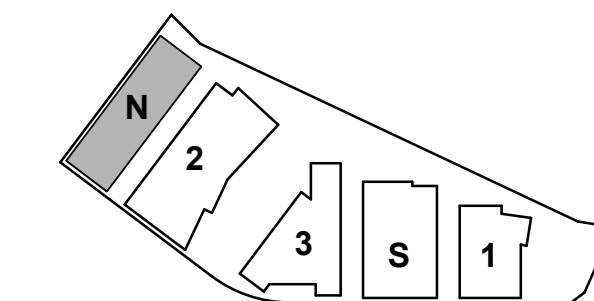
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PROJECT NO.: 21-144

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SCALE: As indicated

SHEET TITLE:

NORTH PARKING - CODE SUMMARY

SHEET NO:

ENT A.PN-003

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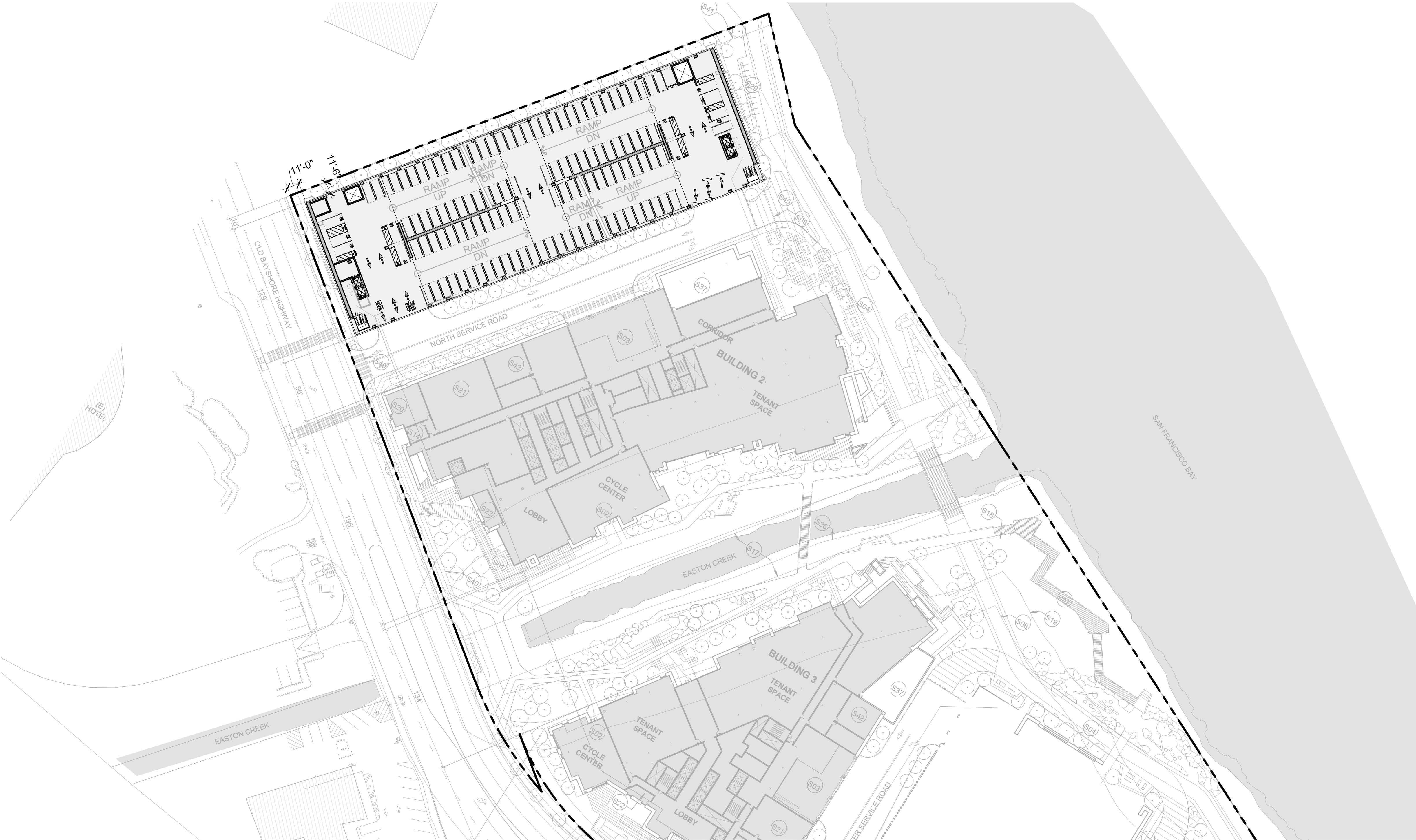
PARKING STALL SUMMATION

LEVEL	ACCESSIBLE (9'-0"x18'-0")	VAN ACCESSIBLE (9'-0"x18'-0")	PUBLIC ACCESS (8'-6"x18'-0")	STANDARD (8'-6"x18'-0")	COMPACT (7'-6"x17'-0")	EVCS (8'-6"x18'-0")	EV ACCESSIBLE (9'-0"x18'-0")	EV VAN ACCESSIBLE (12'-0"x18'-0")	EV AMBULATORY (10'-0"x18'-0")	TOTAL	SQ. FOOTAGE	SQ. FT./STALL
LEVEL 10.5	0	0	0	24	0	0	0	0	0	24	7,750	323
LEVEL 10	0	0	0	152	0	0	0	0	0	152	46,350	305
LEVEL 09	0	0	0	144	8	0	0	0	0	152	46,350	305
LEVEL 08	0	0	0	122	4	25	0	0	0	151	46,350	307
LEVEL 07	0	0	0	120	0	30	0	0	0	150	46,350	309
LEVEL 06	0	0	0	116	0	34	0	0	0	150	46,350	309
LEVEL 05	0	0	0	116	0	34	0	0	0	150	46,350	309
LEVEL 04	3	3	0	114	0	25	0	0	0	145	46,350	320
LEVEL 03	7	0	0	117	0	8	4	1	3	140	46,350	331
LEVEL 02	4	1	0	116	0	5	0	0	1	127	45,850	361
LEVEL 01	7	1	0	115	0	1	1	1	1	127	45,850	361
LEVEL B1	0	0	0	139	4	0	0	0	0	143	45,850	321
LEVEL B2	0	0	0	123	4	0	0	0	0	127	42,900	338
TOTAL	21	5	0	1518	20	162	5	2	5	1738	559,000	322

10% EV - DAY ONE: 1738 * 10% = 174 EV STALLS
10% FUTURE EV: 174 EV STALLS

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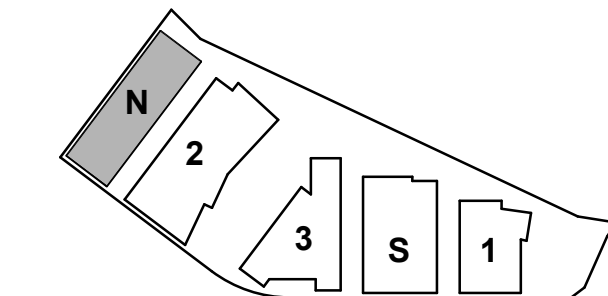
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PROJECT NO.: 21-144
DATE: 03/24/2022
SCALE: As indicated

SHEET TITLE:

NORTH PARKING - SITE
PLAN & STALL COUNT

SHEET NO:

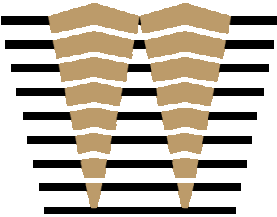
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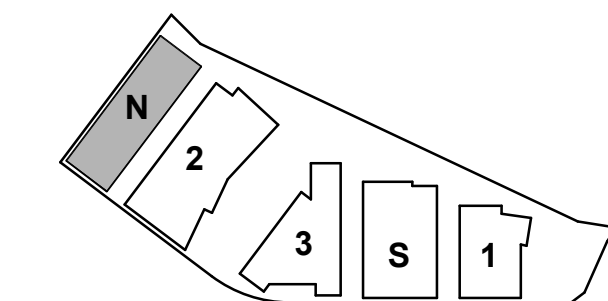
ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

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PROJECT NO.: 21-144

DATE: 03/24/2022

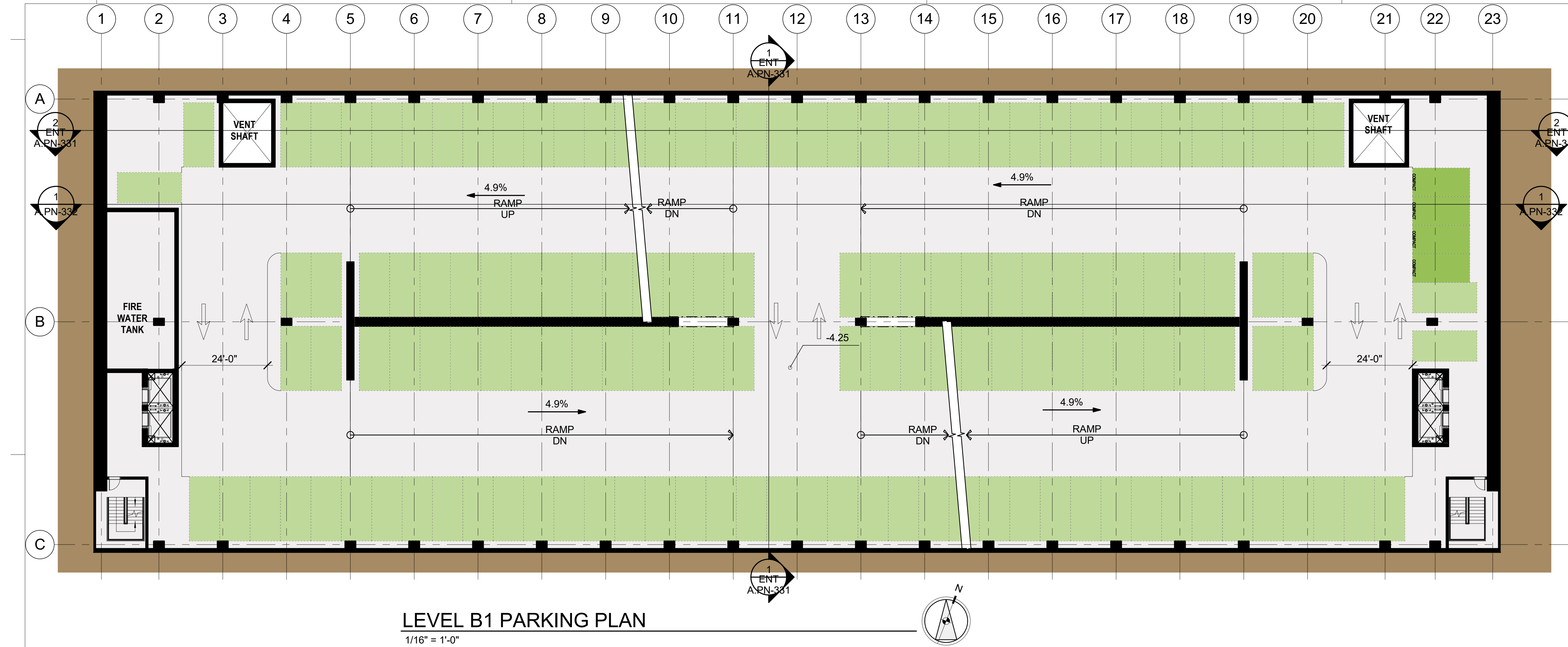
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NORTH PARKING - SITE
EGRESS PLAN

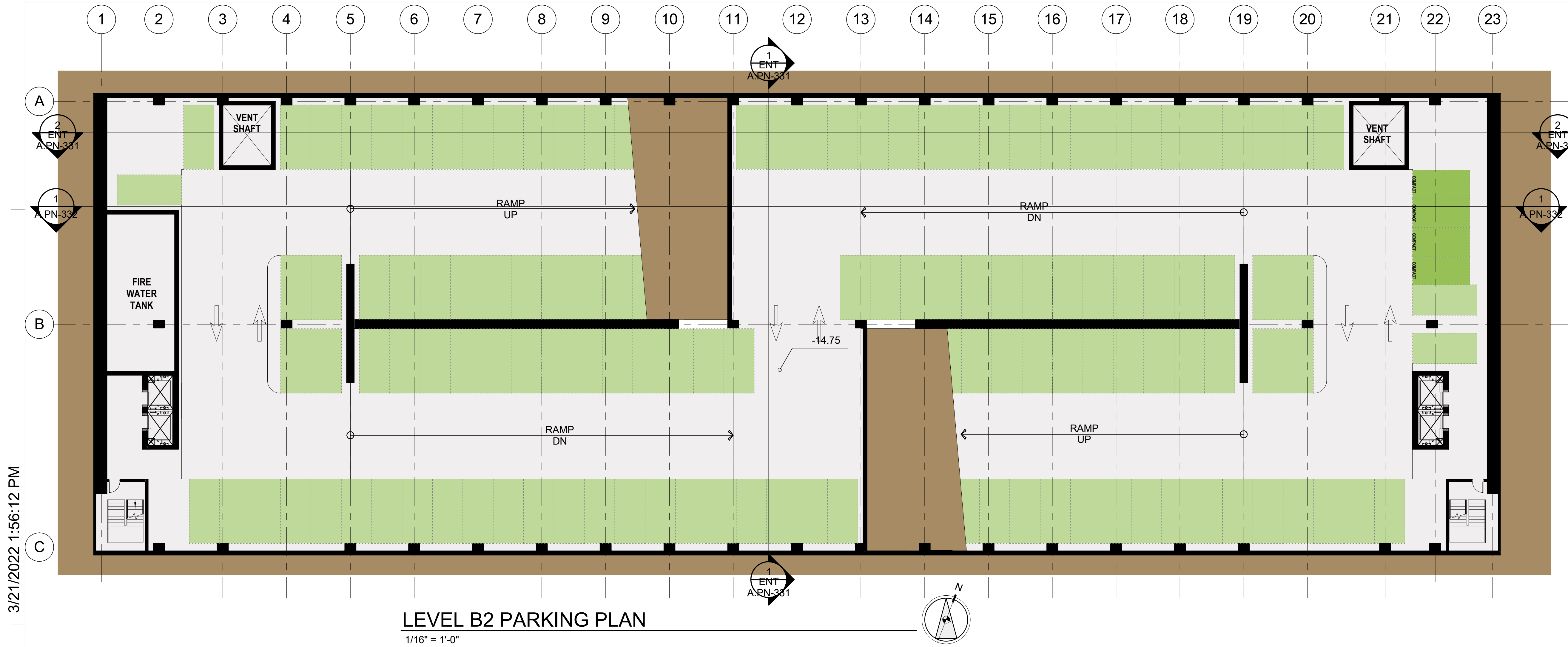
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ENT A.PN-011



LEVEL B1 PARKING PLAN

1/16" = 1'-0"



LEVEL B2 PARKING PLAN

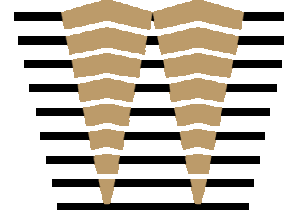
1/16" = 1'-0"

STALL LEGEND

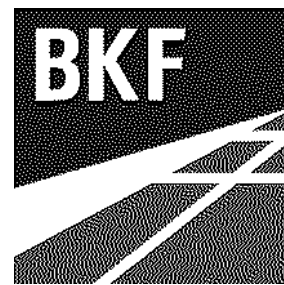
- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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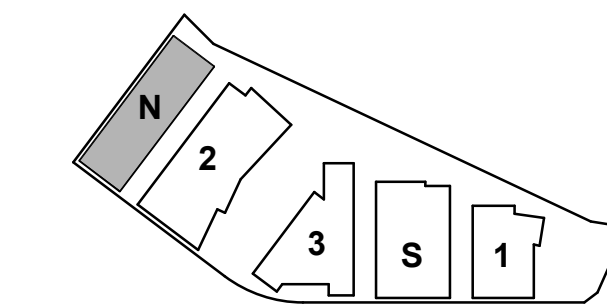
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PROJECT NO.: 21-144

DATE: 03/24/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

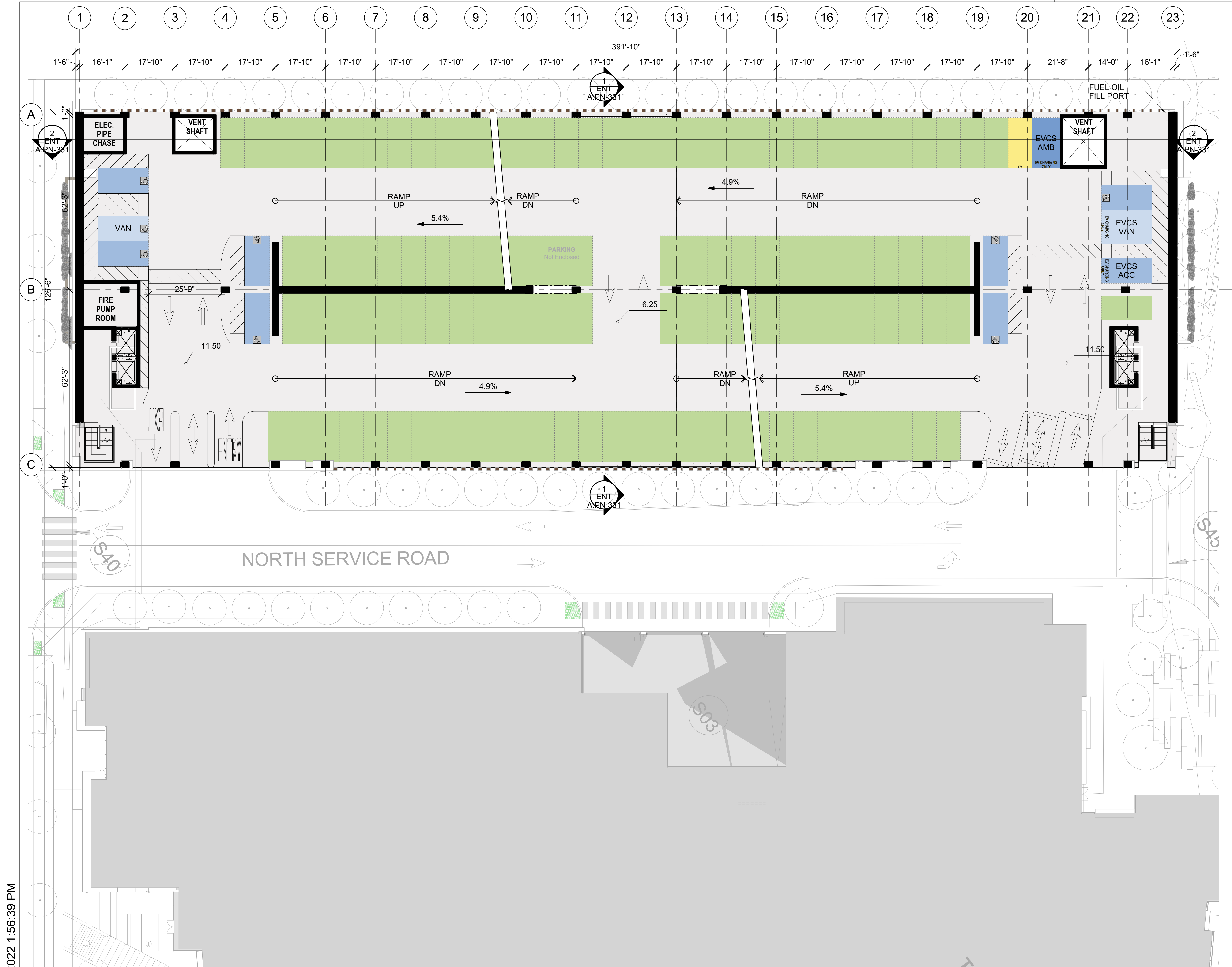
NORTH PARKING -
FLOOR PLANS -
BASEMENT LEVELS

SHEET NO:

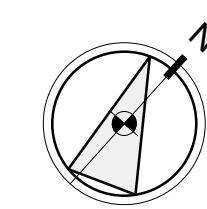
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LEVEL 01 PARKING PLAN
1/16" = 1'-0"



STALL LEGEND

- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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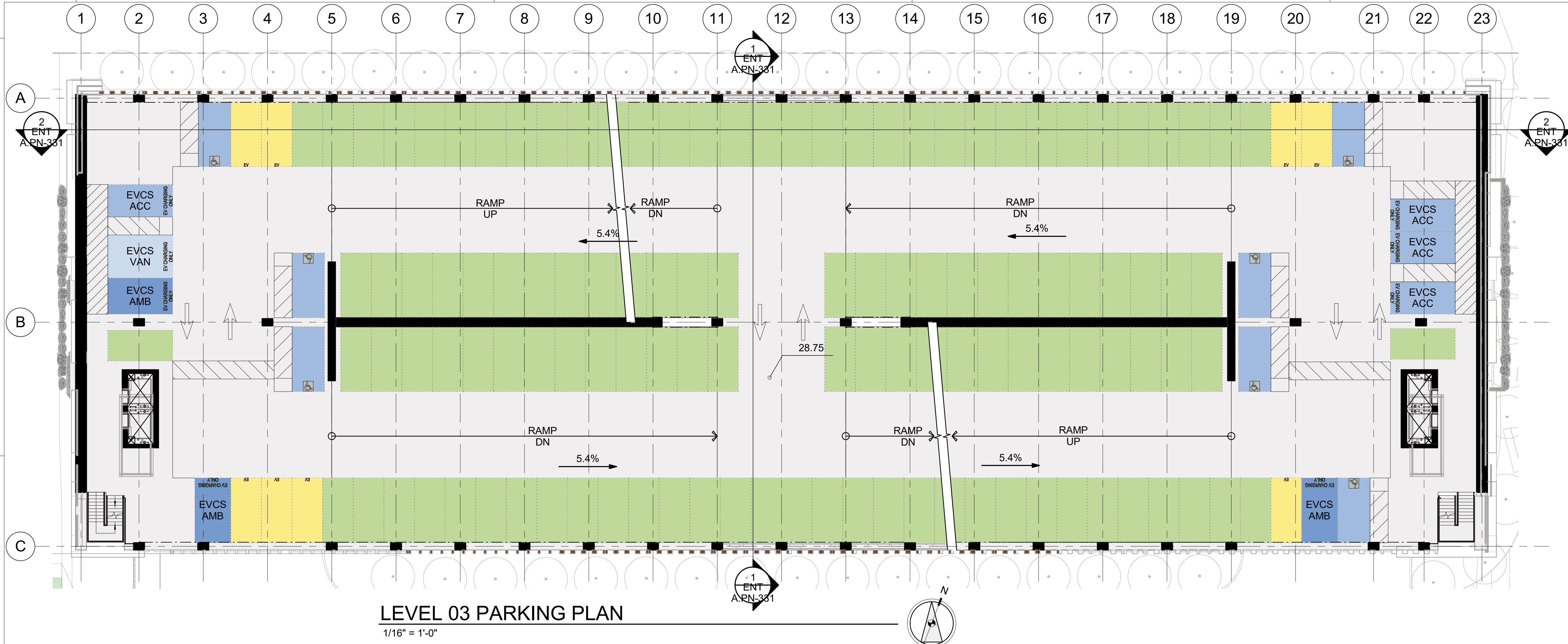
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**NORTH PARKING -
FLOOR PLAN - LEVEL 1**

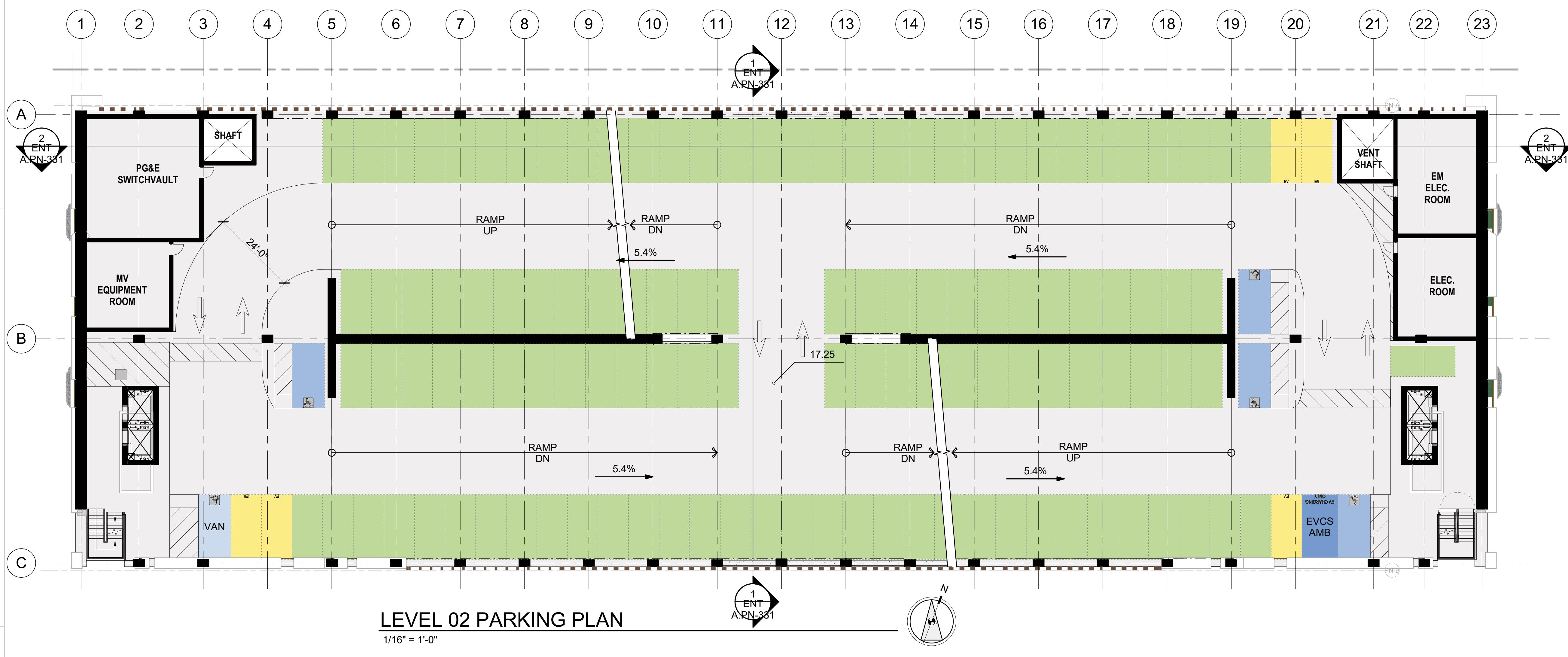
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LEVEL 03 PARKING PLAN
1/16" = 1'-0"



LEVEL 02 PARKING PLAN
1/16" = 1'-0"

STALL LEGEND

- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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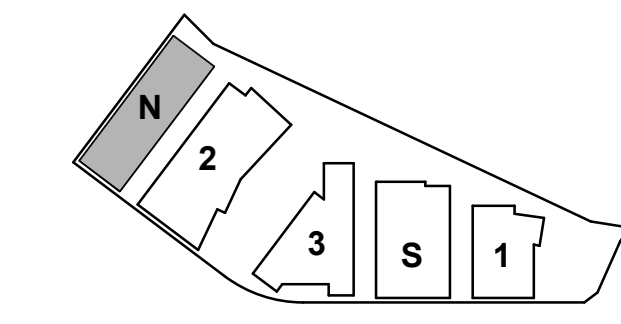
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PROJECT NO.: 21-144
DATE: 03/24/2022
SCALE: 1/16" = 1'-0"

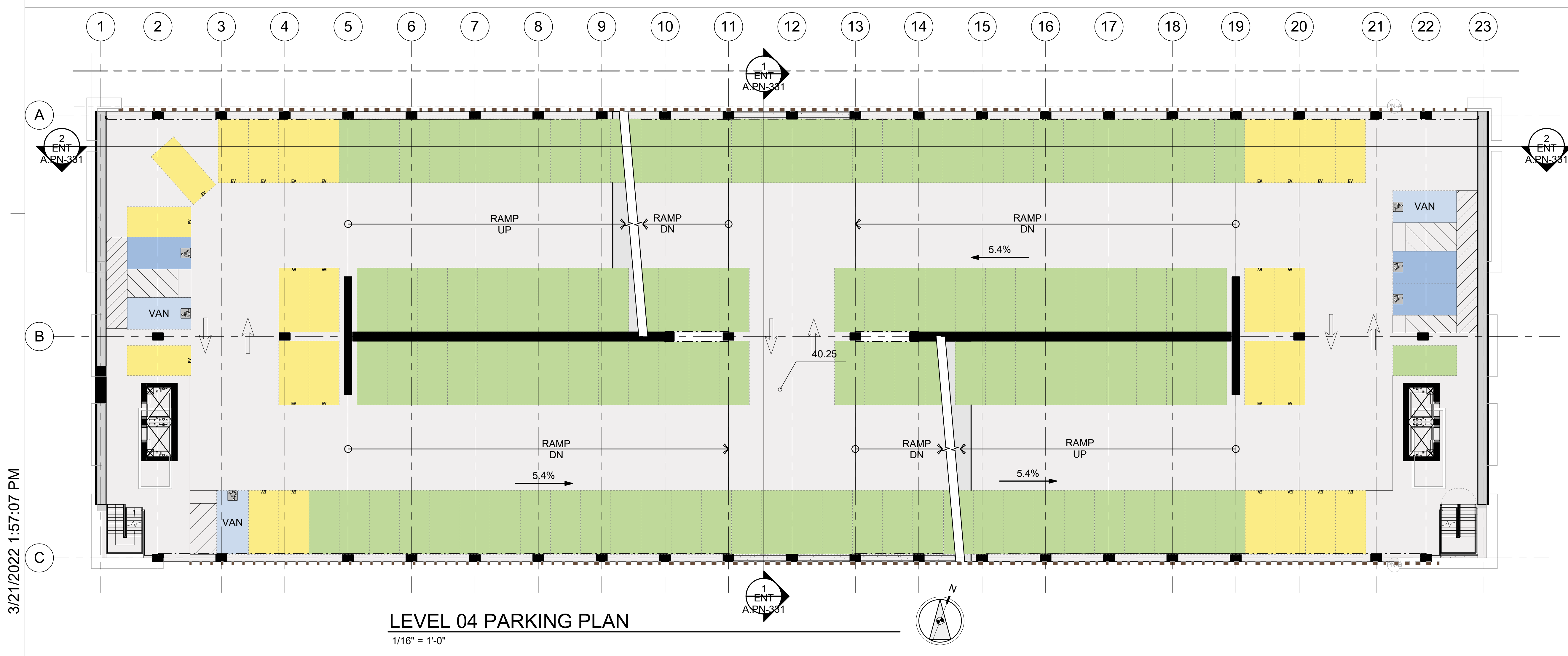
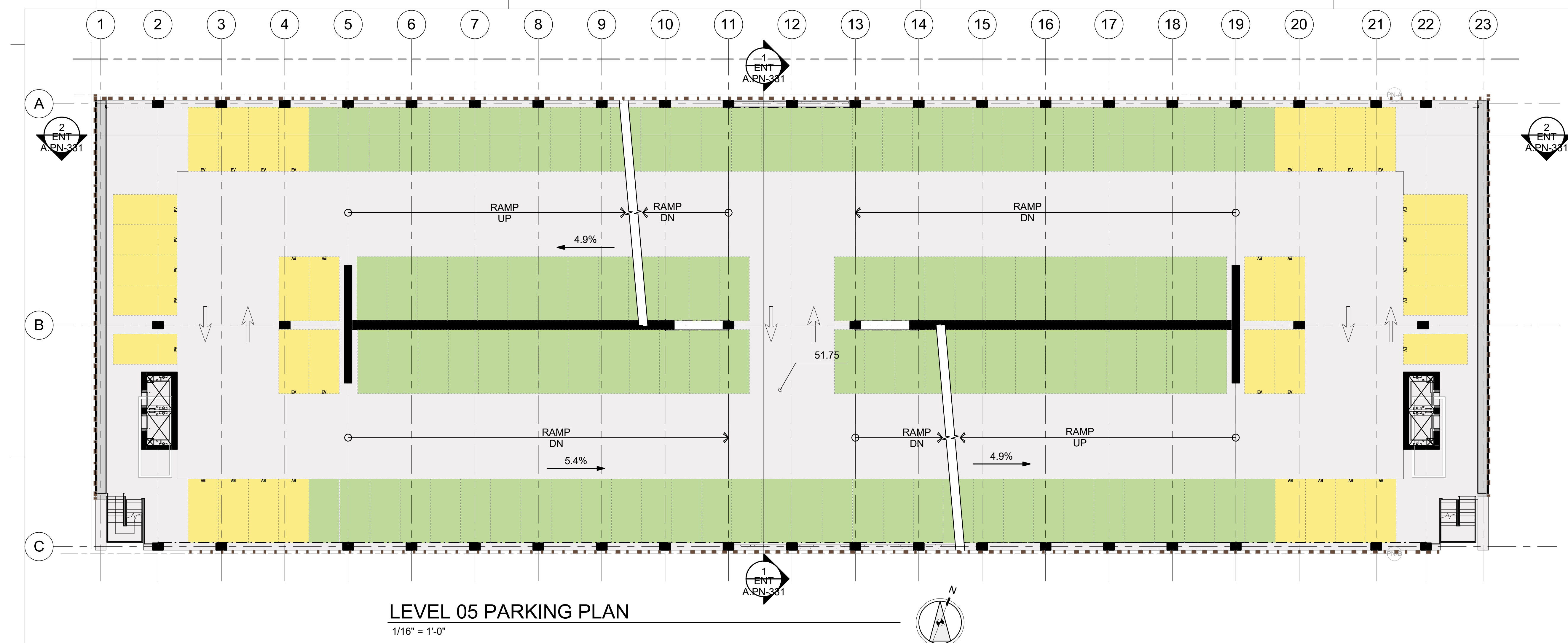
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NORTH PARKING -
FLOOR PLANS - UPPER
LEVELS

SHEET NO:

ENT A.PN-102

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STALL LEGEND

- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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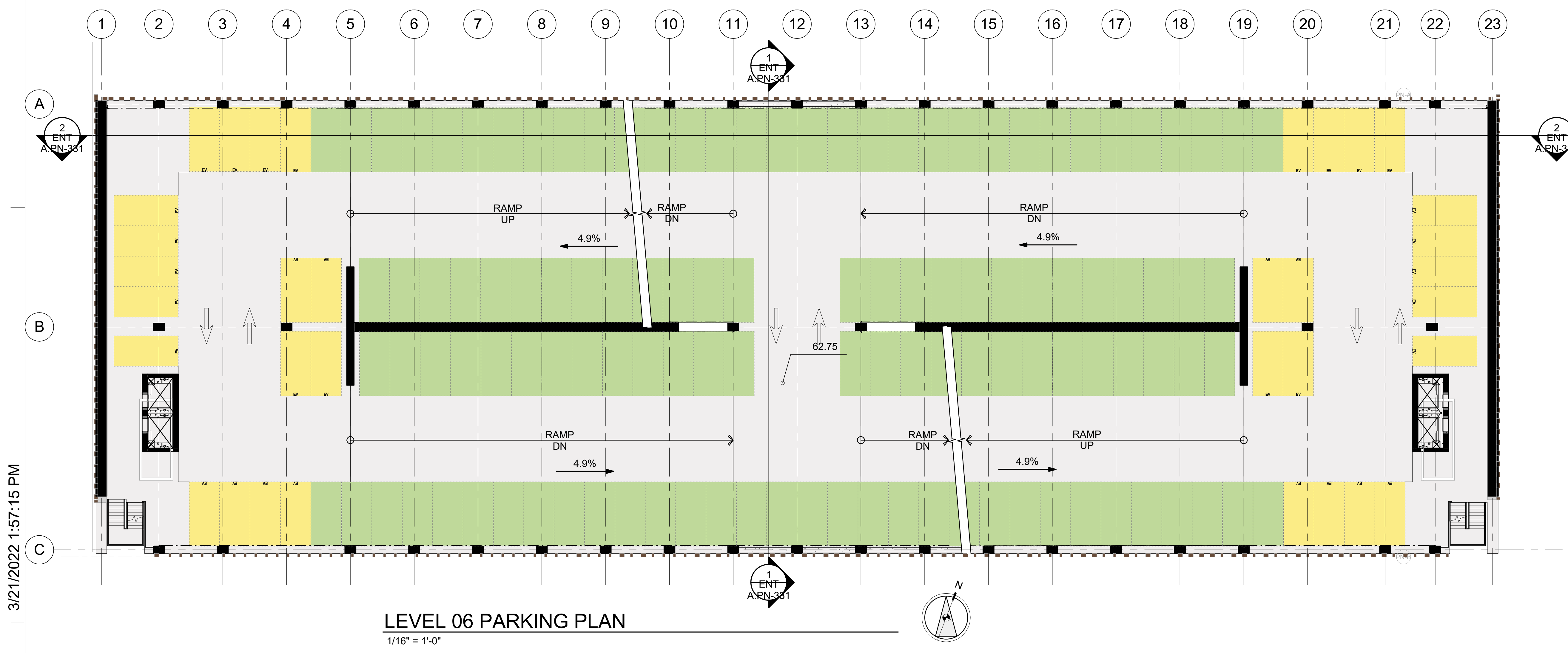
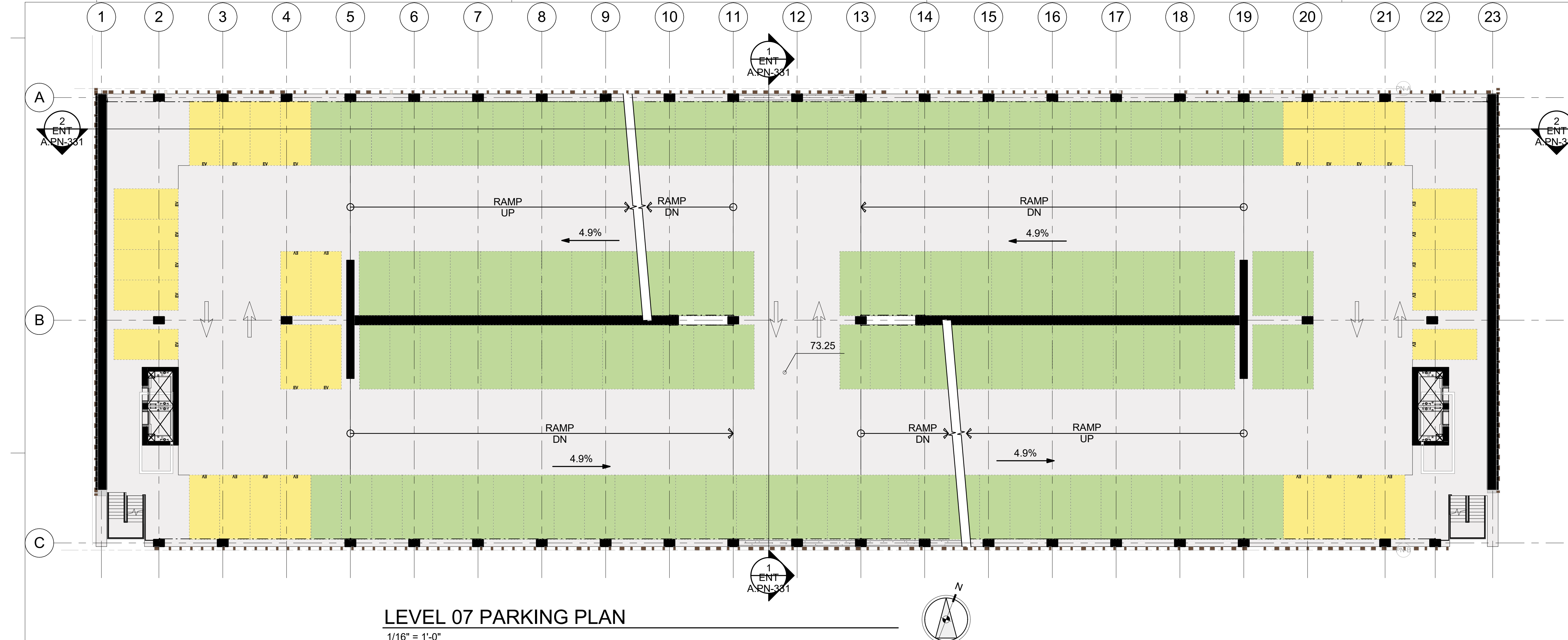
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KEYPLAN

PROJECT NO.: 21-144
DATE: 03/24/2022
SCALE: 1/16" = 1'-0"

SHEET TITLE:
**NORTH PARKING -
FLOOR PLANS - UPPER
LEVELS**

SHEET NO.:
ENT A.PN-103



STALL LEGEND	
	STANDARD
	EVCS (DAY ONE)
	ACCESSIBLE
	VAN ACCESSIBLE
	EVCS ACCESSIBLE
	EVCS VAN ACCESSIBLE
	EVCS AMBULATORY

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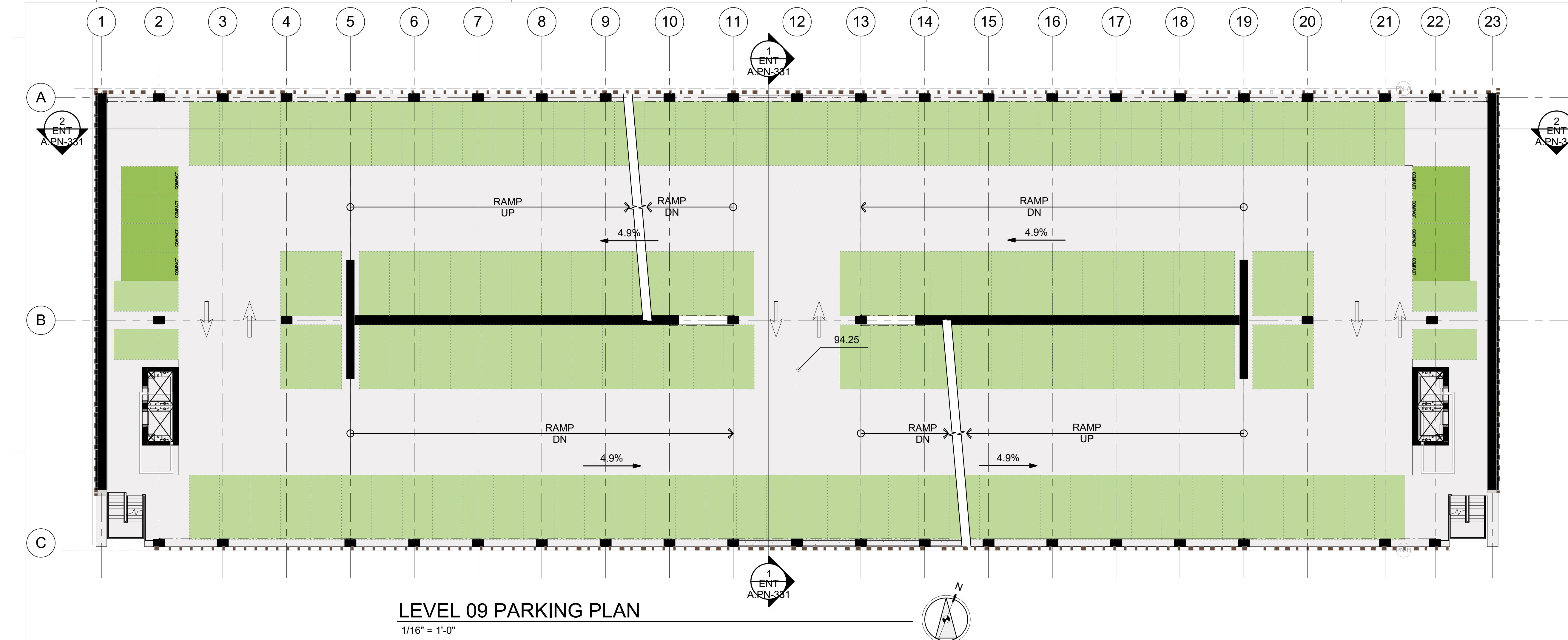
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SHEET TITLE:
**NORTH PARKING -
FLOOR PLANS - UPPER
LEVELS**

SHEET NO:
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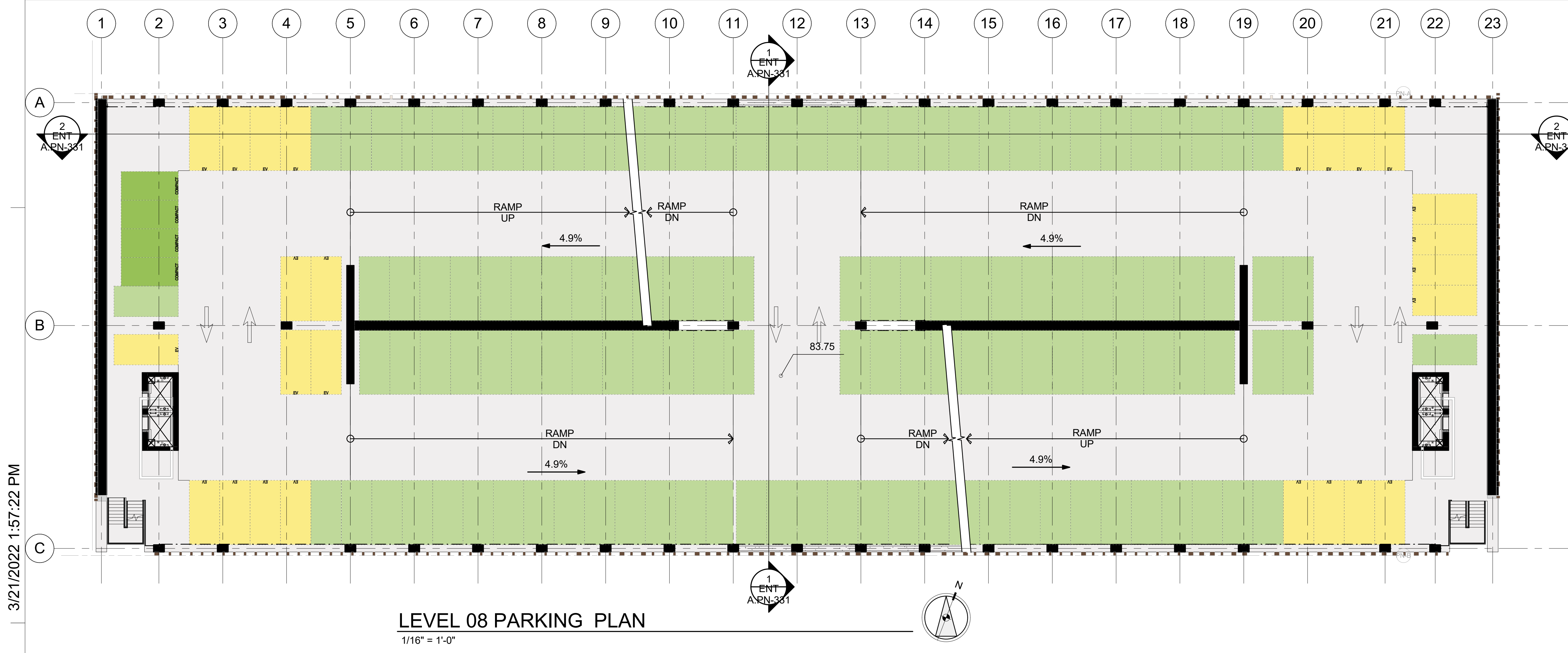
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LEVEL 09 PARKING PLAN

1/16" = 1'-0"



LEVEL 08 PARKING PLAN

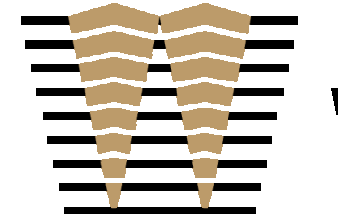
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STALL LEGEND

- STANDARD
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- EVCS (DAY ONE)
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- VAN ACCESSIBLE
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- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

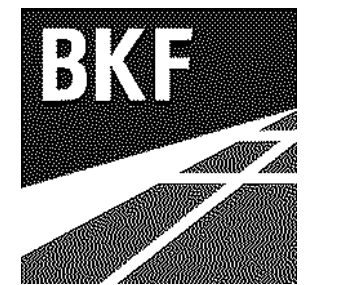
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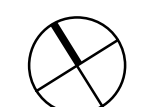
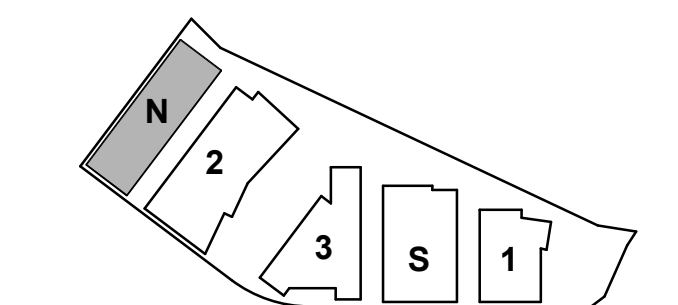
ISSUES DATE
ENTITLEMENT APPLICATION 03/24/2022

DW Burlingame Venture, LLC

1300 BAYSHORE

BURLINGAME, CALIFORNIA

KEYPLAN



PROJECT NO.: 21-144

DATE: 03/24/2022

SCALE: 1/16" = 1'-0"

SHEET TITLE:

NORTH PARKING -
FLOOR PLANS - UPPER
LEVELS

SHEET NO:

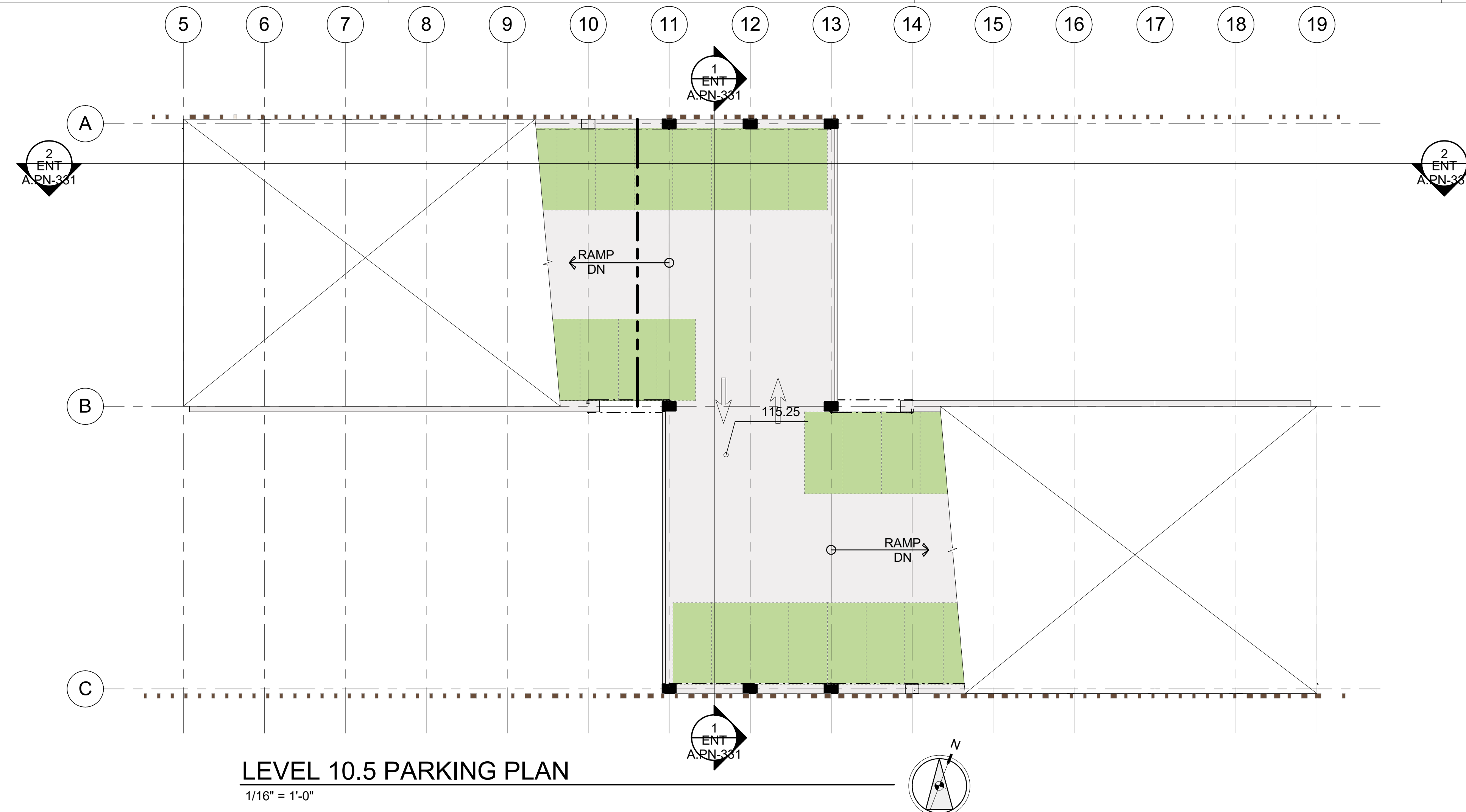
ENT A.PN-105

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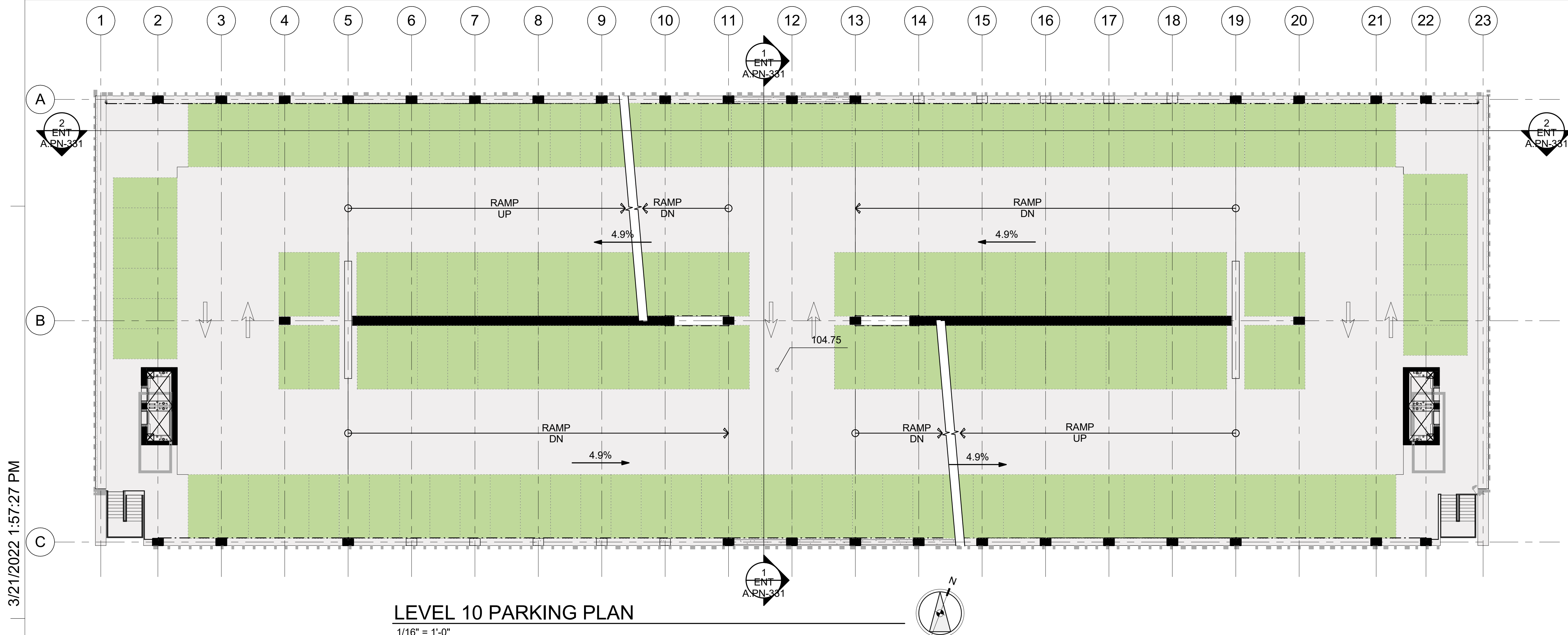
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LEVEL 10.5 PARKING PLAN
1/16" = 1'-0"



LEVEL 10 PARKING PLAN
1/16" = 1'-0"

STALL LEGEND

- STANDARD
- COMPACT
- EVCS (DAY ONE)
- ACCESSIBLE
- VAN ACCESSIBLE
- EVCS ACCESSIBLE
- EVCS VAN ACCESSIBLE
- EVCS AMBULATORY

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ENTITLEMENT APPLICATION

DATE
03/24/2022

DW Burlingame Venture, LLC

1300 BAYSHORE
BURLINGAME, CALIFORNIA

KEYPLAN

PROJECT NO.: 21-144
DATE: 03/24/2022
SCALE: 1/16" = 1'-0"

SHEET TITLE:
**NORTH PARKING -
FLOOR PLANS - UPPER
LEVELS**

SHEET NO.:
ENT A.PN-106

3/2/2022 4:09:55 PM



1 NORTH PARKING - ENTRY SIDE ELEVATION
1/16" = 1'-0"



2 NORTH PARKING - BAYSHORE HWY ELEVATION
1/16" = 1'-0"

GROUND FLOOR FACADE AREA CALCULATIONS

BAYSHORE HIGHWAY ELEVATION

GROUND FLOOR FACADE AREA:	1505 SF
GROUND FLOOR GLAZED AREA:	396 SF
GROUND FLOOR % GLAZED AREA:	26 %

ELEVATION KEYNOTES

#	
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
2.6	EXPOSED CONCRETE COLUMN
2.7	EXPOSED CONCRETE SHEAR WALL WITH ARCHITECTURAL FINISH
2.8	TEXTURED PRECAST PLANTER BOX
5.3	ANODIZED ALUMINUM FIN
5.4	CABLE RAIL GUARDRAIL

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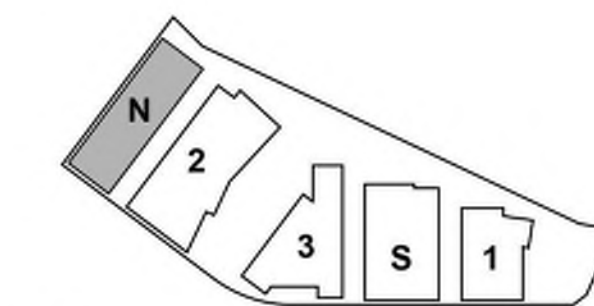
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ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD
BAYSHORE
HIGHWAY
Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

SHEET TITLE:

NORTH PARKING -
EXTERIOR ELEVATIONS

SHEET NO:

ENT A.PN-301



1 NORTH PARKING - ONE BAY PLAZA ELEVATION
1/16" = 1'-0"



2 NORTH PARKING - BAY ELEVATION
1/16" = 1'-0"

#	ELEVATION KEYNOTES
2.1	TEXTURED ARCHITECTURAL PRECAST PANELS
2.6	EXPOSED CONCRETE COLUMN
2.7	EXPOSED CONCRETE SHEAR WALL WITH ARCHITECTURAL FINISH
2.8	TEXTURED PRECAST PLANTER BOX
5.3	ANODIZED ALUMINUM FIN
5.4	CABLE RAIL GUARDRAIL

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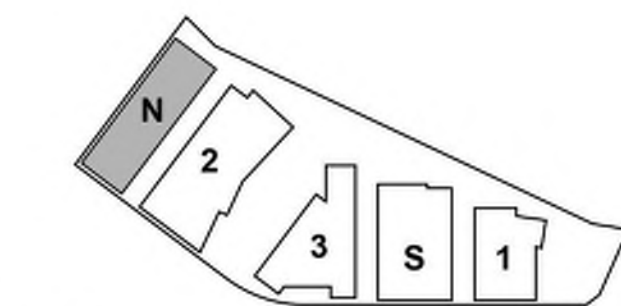
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ISSUES	DATE
ENTITLEMENT APPLICATION	03/24/2022

DW Burlingame Venture, LLC

1200-1340 OLD
BAYSHORE
HIGHWAY
Burlingame, CA 94010

KEYPLAN



PROJECT NO.: 20045.00

DATE: 03/04/2022

SCALE: As indicated

SHEET TITLE:

NORTH PARKING -
EXTERIOR ELEVATIONS

SHEET NO:

ENT A.PN-302

1
ENT
APN-33



ENT
A.PN-33

NOTE:
FOR BALANCE OF
INFORMATION, SEE
DETAIL (1/ENT A.PN-331)

SHEET NO:

ENT A.PN-331

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