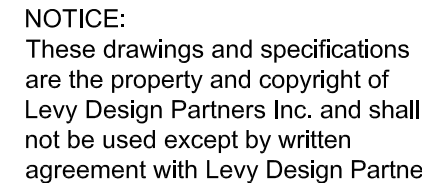


*BURLINGAME, CA*



A circular professional seal for Toby Stella Levy, a Licensed Architect in the State of California. The seal includes the text "LICENSED ARCHITECT", "TOBY STELLA LEVY", "C-10527", "REN. 6-30-21", and "STATE OF CALIFORNIA". The seal is stamped in blue ink and is partially obscured by a blue ink signature.

DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION

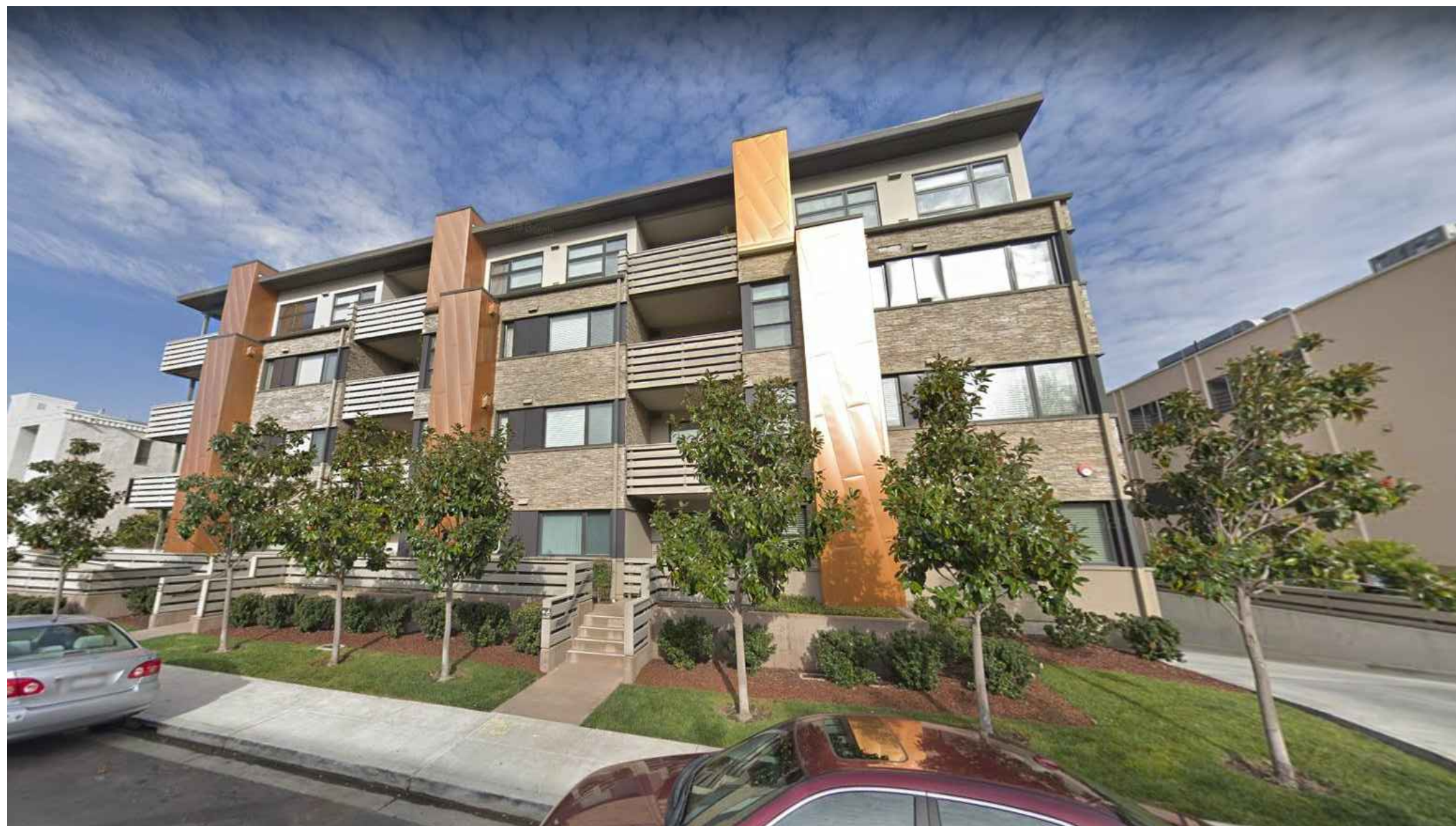
415) 777-0561 F  
415) 777-5117 F

COVER  
SHEET

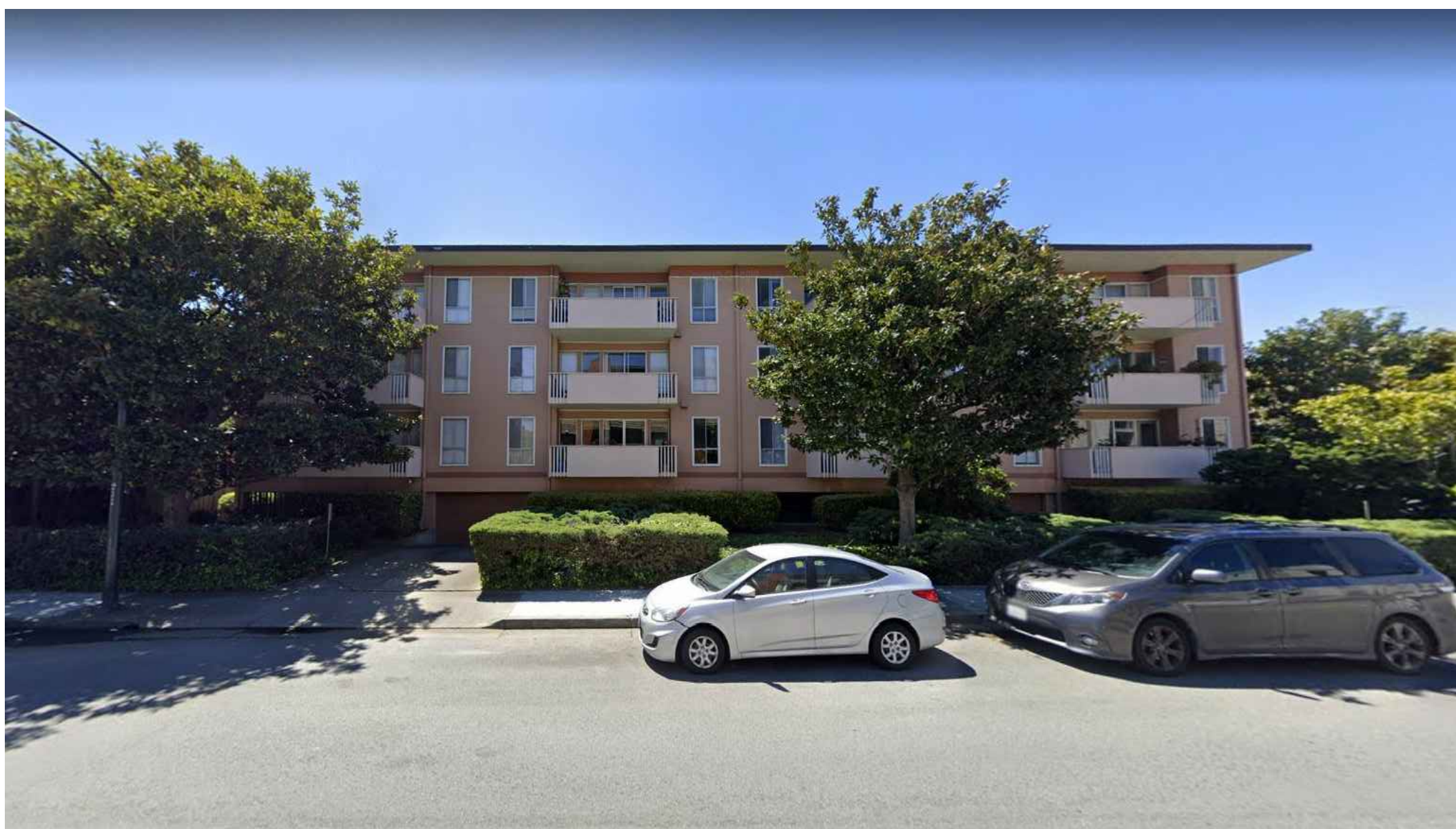
# A0.0

[illegible]





1



2



3



4



5



6



NOTICE:  
These drawings and specifications  
are the property and copyright of  
Levy Design Partners Inc. and shall  
not be used except by written  
agreement with Levy Design Partners

# 1814-20 OGDEN DRIVE BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11  
DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION

CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

SITE  
CONTEXT

A0.1b





NOTICE:  
These drawings and specifications  
are the property and copyright of  
Levy Design Partners Inc. and shall  
not be used except by written  
agreement with Levy Design Partners

1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11  
DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION

CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

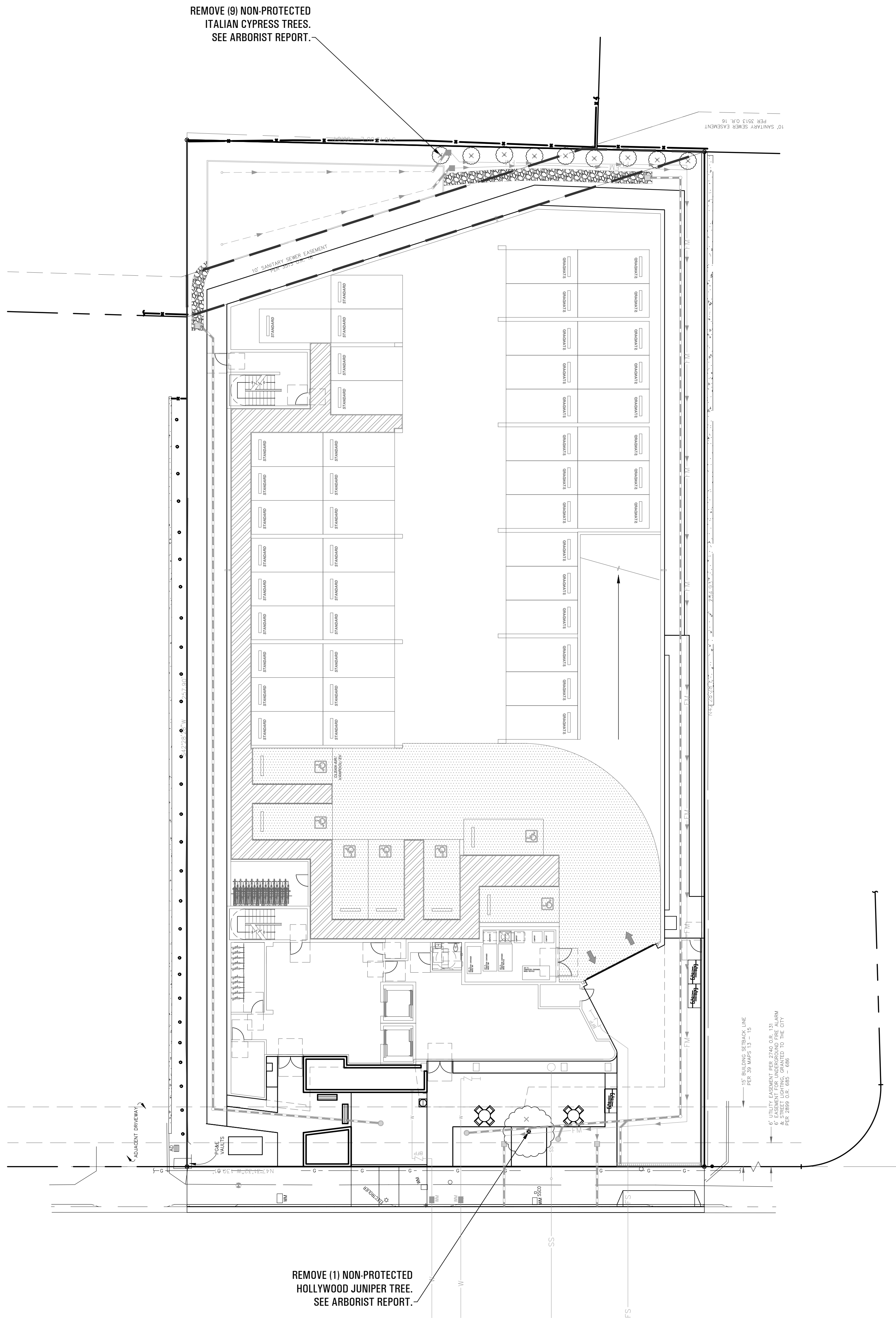
UNIT MATRIX  
AND  
CALCULATIONS

A0.4d

BUILDING AREA ANALYSIS						(calculated in NSF - to inside face of stud)															
Unit	Unit Type	Net Area		Building Floor Levels												Unit Total	%	Rentable Area by Type (NSF)			
				Basement		1st		2nd		3rd		4th		5th						6th	
2BD/2BA	A	1035	nsf	-	-	1	1	1	1	1	1	1	1	1	5		5,175	nsf			
	B1	1146	nsf	-	-	2	1	1	1	1	1	1	1	1	6		6,876	nsf			
	B2	1146	nsf	-	-	-	1	1	1	1	1	1	1	1	4		4,584	nsf			
	C1	1014	nsf	-	-	1	-	-	-	-	-	-	-	-	1		1,014	nsf			
	C2	1064	nsf	-	-	-	1	1	1	1	1	1	1	1	4		4,256	nsf			
	D	1022	nsf	-	-	1	1	1	1	1	1	1	1	1	5		5,110	nsf			
	E1	998	nsf	-	-	1	1	-	-	-	-	-	-	-	2		1,996	nsf			
	E2	1084	nsf	-	-	-	-	1	1						2		2,168	nsf			
	E3	864	nsf	-	-	-	-	-	-	-	-	-	1		1		864	nsf			
	F	1002	nsf	-	-	1	1	1	1	1	1	1	1	1	5		5,010	nsf			
	G	1090	nsf	-	-	1	1	1	1	1	1	1	1	1	5		5,450	nsf			
	H	985	nsf	-	-	1	1	1	1	1	1	1	1	1	5		4,925	nsf			
	J	1024	nsf	-	-	1	1	1	1	1	1	1	1	1	5		5,120	nsf			
	K	936	nsf	-	-	1	1	1	1	1	1	1	1	1	5		4,680	nsf			
Total				0	0	11	11	11	11	11	11	11	11	11	55	61%	57,228	nsf			
Rentable Residential area by floor				-	nsf	-	nsf	11,398	nsf	11,448	nsf	11,534	nsf	11,534	nsf	11,314	nsf				
1BD/1BA	L	719	nsf	-	-	2	2	2	2	2	2	2	2	2	10		7,190	nsf			
	M1	744	nsf	-	-	1	1	-	-	-	-	-	-	-	2		1,488	nsf			
	M2	659	nsf	-	-	-	-	1	1	1	1	1	1	1	2		1,318	nsf			
	M3	587	nsf	-	-	-	-	-	-	-	-	-	1		1		587	nsf			
Total				0	0	3	3	3	3	3	3	3	3	3	15	17%	10,583	nsf			
Rentable Residential area by floor				-	nsf	-	nsf	2,182	nsf	2,182	nsf	2,097	nsf	2,097	nsf	2,025	nsf				
STUDIO	N1	477	nsf	-	-	2	2	2	2	2	2	2	2	2	10		4,770	nsf			
	N2	511	nsf	-	-	1	1	1	1	1	1	1	1	1	5		2,555	nsf			
	N3	411	nsf	-	-	1	1	1	1	1	1	1	1	1	5		2,055	nsf			
Total				0	0	4	4	4	4	4	4	4	4	4	20	22%	9,380	nsf			
Rentable Residential area by floor				-	nsf	-	nsf	1,876	nsf	1,876	nsf	1,876	nsf	1,876	nsf	1,876	nsf				
TOTAL UNITS				0	0	18	18	18	18	18	18	18	18	18	90	100%	77,191	nsf			
Avg. Unit Size	858																				

1 UNIT MATRIX AND CALCULATIONS





Project:  
**1814-1820  
OGDEN DRIVE**  
1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:  
**CFLA**  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



Stamp:



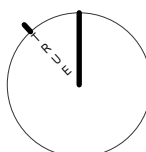
COPYRIGHT © 2020 CFLA

Issue:                      Delta    Date:  
Planning Submittal                      11.13.2020

Project Number: 2012

Scale: 1" = 16'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.

0    8'    16'    32'



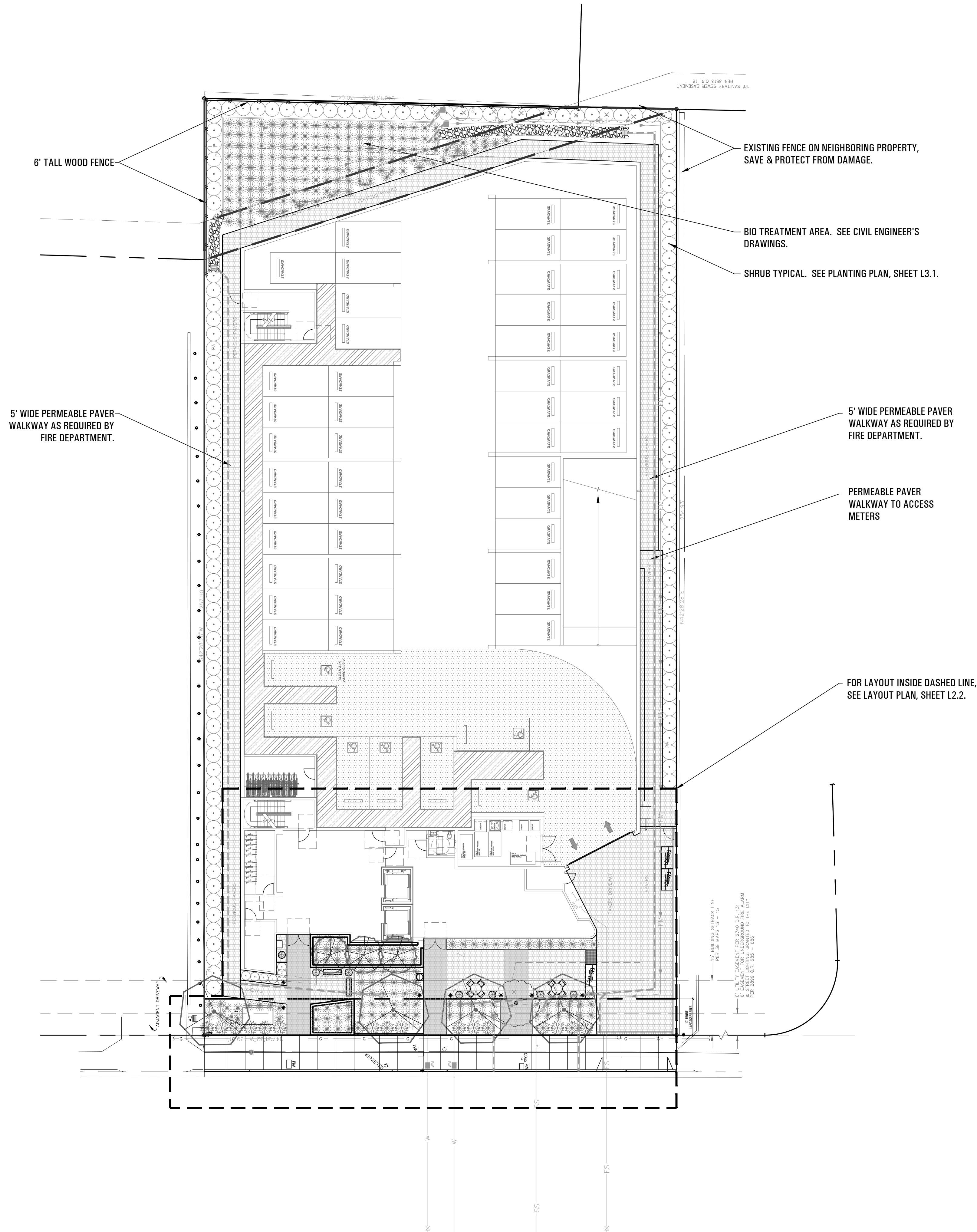
Sheet Title:

**ARBOR CARE  
PLAN**

Sheet Number:


**L1.1**





Project:  
**1814-1820  
OGDEN DRIVE**  
1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

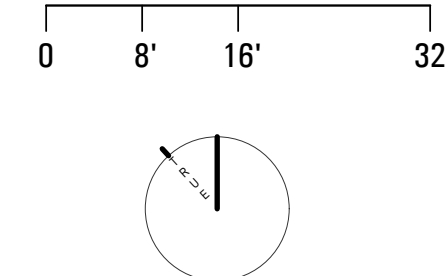
Landscape Architect:  
**CFLA**  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557

Stamp:  
  
COPYRIGHT © 2020 CFLA

Issue: Delta Date:  
Planning Submittal 11.13.2020

Project Number: 2012

Scale: 1" = 16'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.



Sheet Title:  
**LAYOUT PLAN:  
GROUND FLOOR,  
SITE**

Sheet Number:  
**L2.1**



Project:

# 1814-1820 OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

**CFLA**  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



Stamp:



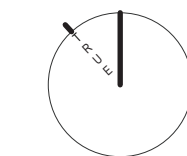
COPYRIGHT © 2020 CFLA

Issue:                      Delta    Date:  
Planning Submittal                      11.13.2020

Project Number: 2012

Scale: 1"=8'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.

0      4'      8'      16'

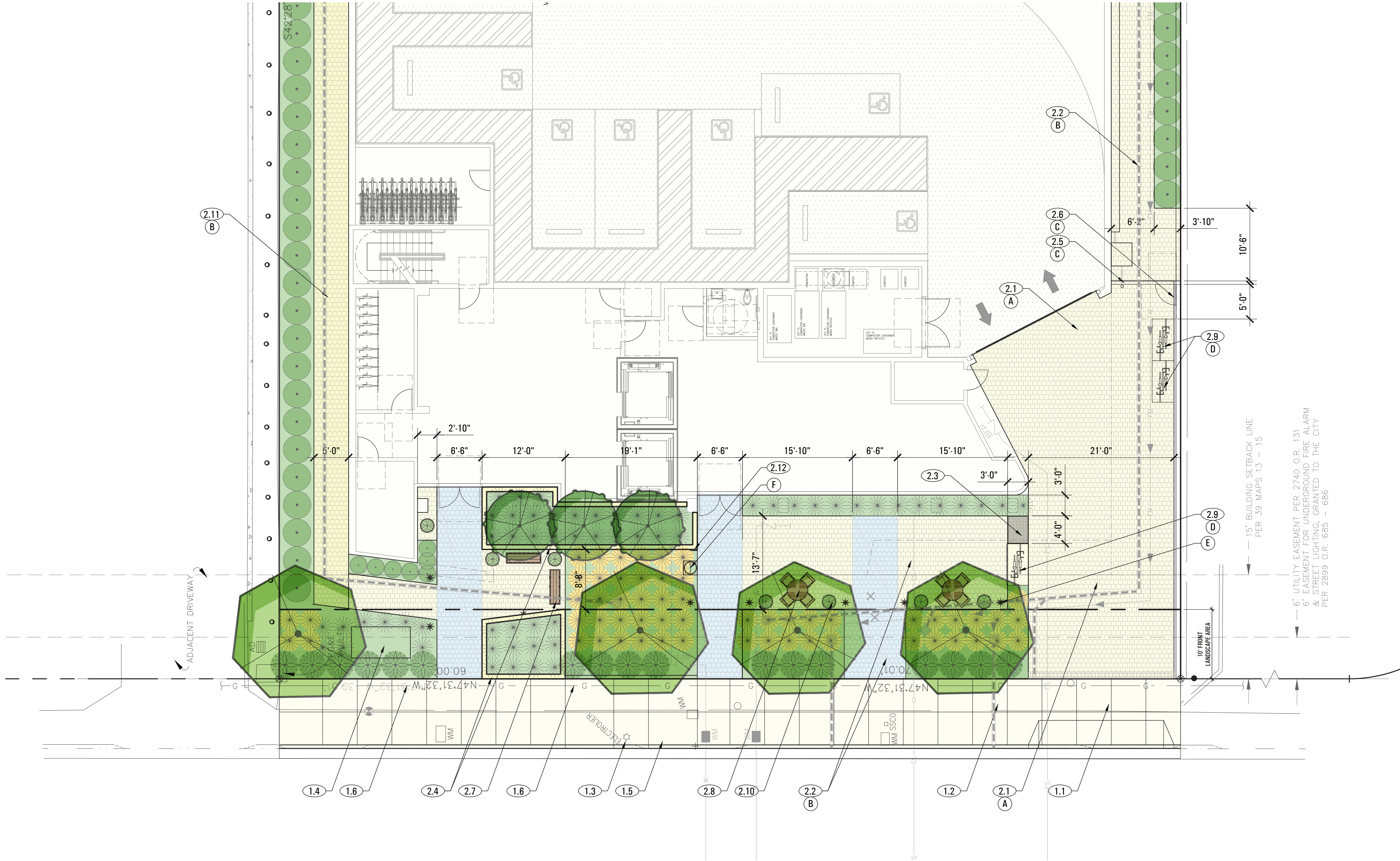


Sheet Title:

## LAYOUT PLAN: GROUND FLOOR, FRONT

Sheet Number:

# L2.2



### LAYOUT LEGEND

- (1.1) CONCRETE DRIVEWAY APRON IN RIGHT-OF-WAY. SEE CIVIL ENGINEER'S DRAWINGS.
- (1.2) CONCRETE SIDEWALK IN RIGHT-OF-WAY. SEE CIVIL ENGINEER'S DRAWINGS.
- (1.3) EXISTING STREET LIGHT TO REMAIN.
- (1.4) IN-GROUND TRANSFORMER. SEE CIVIL ENGINEER'S DRAWINGS.
- (1.5) UNDERGROUND STREET LIGHT CONDUIT UNDER SIDEWALK PRECLUDING STREET TREES. SEE CIVIL ENGINEER'S DRAWINGS.
- (1.6) UNDERGROUND GAS LINE. SEE CIVIL ENGINEER'S DRAWINGS.

- (2.1) INTERLOCKING CONCRETE PAVERS PAVING ON-GRADE (AUTOMOBILE LOAD).
- (2.2) PERMEABLE PAVERS PAVING ON-GRADE (PEDESTRIAN LOAD), USE TWO COLORS FOR CONTRASTING COLOR BANDS.
- (2.3) TRUNCATED DOMES.
- (2.4) 2' HIGH CAST-IN-PLACE CONCRETE (WITH INTEGRAL COLOR) PLANTER.
- (2.5) 6' HIGH FENCE (WITH METAL OR WOOD POSTS & WOOD SLATS).
- (2.6) 6' HIGH GATE (WITH METAL POSTS & WOOD SLATS).
- (2.7) WOOD BENCH, TYPICAL OF (2).
- (2.8) TABLE & CHAIR SET, TYPICAL OF (2).
- (2.9) CLASS 2 BIKE RACKS, TYPICAL OF (3).
- (2.10) PLANTER POT, TYPICAL OF (7).
- (2.11) 5' WIDE INTERLOCKING CONCRETE PAVER WALKWAY AS REQUIRED BY FIRE DEPARTMENT.
- (2.12) HOURS OF OPERATION SIGNAGE. VERBIAGE TO BE DETERMINED.

- (A) PERMEABLE PAVERS ON-GRADE, AUTOMOBILE LOAD: AS MFRD BY ACKERSTONE (www.Ackerstone.com). MODEL: AQUA-VIA1. NOMINAL SIZE: 8cm x 4-3/8 x 8-3/4. COLOR: ANTIQUE PEWTER. FINISH: F.M. PATTERN: RUNNING BOND. APPROXIMATELY 1,260 SF.
- (B) PERMEABLE PAVERS ON-GRADE, PEDESTRIAN LOAD: AS MFRD BY ACKERSTONE (www.Ackerstone.com). MODEL: AQUA-VIA1. NOMINAL SIZE: 8cm x 4-3/8 x 8-3/4. COLOR 1: ANTIQUE PEWTER. COLOR 2: TO BE DETERMINED. FINISH: F.M. PATTERN: RUNNING BOND. APPROX 3,850 SF.
- (C) 6' HIGH FENCE  
- FENCE POSTS VISIBLE FROM STREET: 3x3 METAL, PAINT BLACK  
- FENCE POSTS NOT VISIBLE FROM STREET: 4x4 PTDF, STAIN BLACK  
- FENCE SLATS: 1x6 COMPOSITE, STAIN WITH MESSMERS UV PLUS CLEAR STAIN  
- GATE SLAT: 1x6 COMPOSITE, STAIN WITH MESSMERS UV PLUS CLEAR STAIN  
- GATE HINGES: HEAVY DUTY, BLACK COLOR.  
- GATE HARDWARE, AS SPECIFIED BY ARCHITECT
- (D) BIKE RACK: AS MANUFACTURED BY THE PALMER GROUP, MOD NO WCRO2-IG-P, BLACK POWDER COAT FINISH, (3) RACKS, (6) BIKES ACCOMMODATED.
- (E) BOLLARD LIGHT: AS MANUFACTURED BY LITHONIA LIGHTING, MOD NO KBC8 LED, 3000K, BLACK FINISH, (7) PROVIDED.
- (F) TRASH / RECYCLING RECEPTACLE: AS MANUFACTURED BY FORMS+SURFACES, MOD NO SLUNN-36TS, 36-GALLON, TOP OPENING, SPLIT STREAM, POLYETHYLENE LID, (1) PROVIDED.



Project:

1814-1820  
OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

CFLA  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



Stamp:



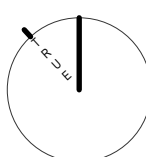
COPYRIGHT © 2020 CFLA

Issue: Delta Date:  
Planning Submittal 11.13.2020

Project Number: 2012

Scale: 1"=8'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.

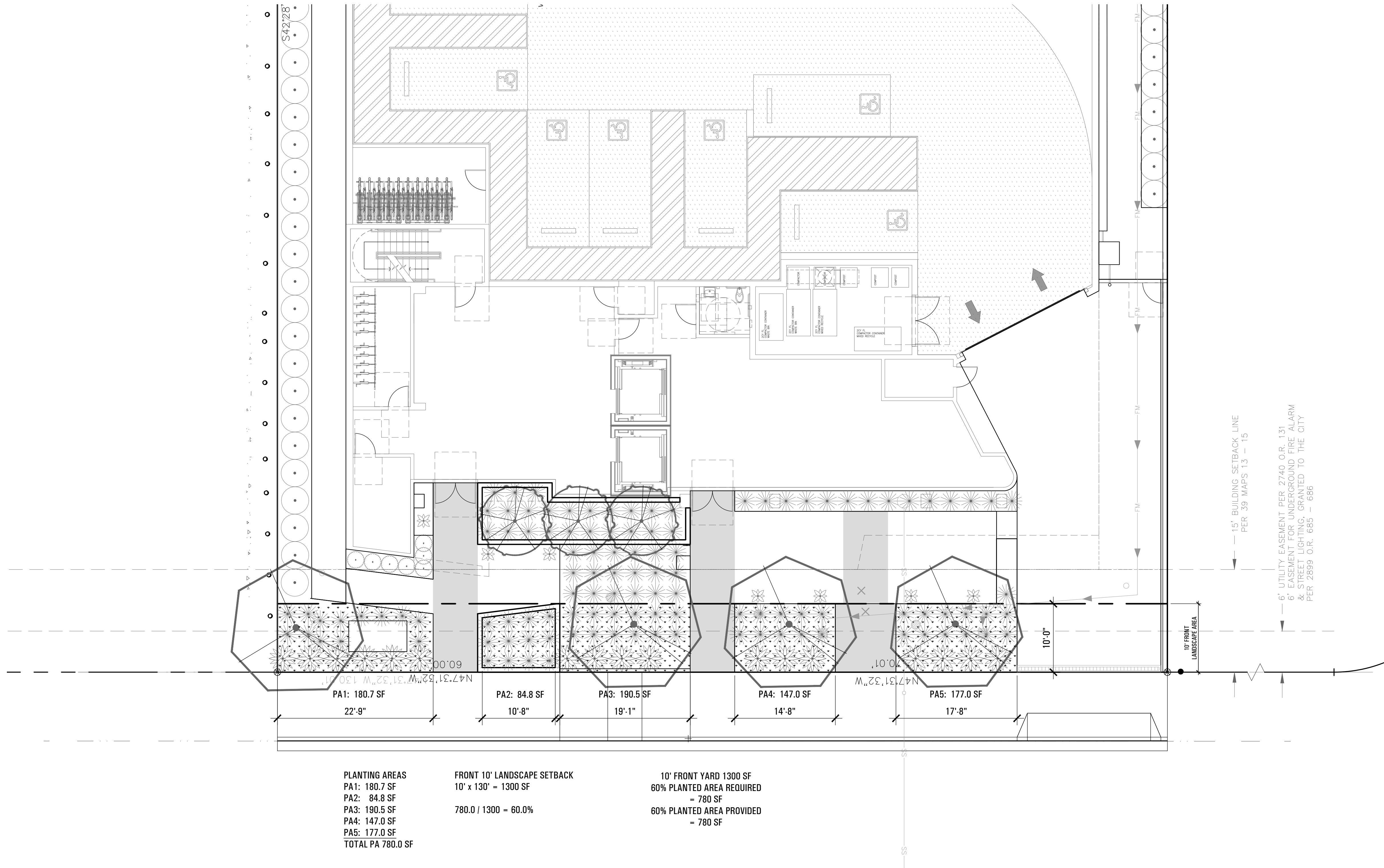
0 4' 8' 16'



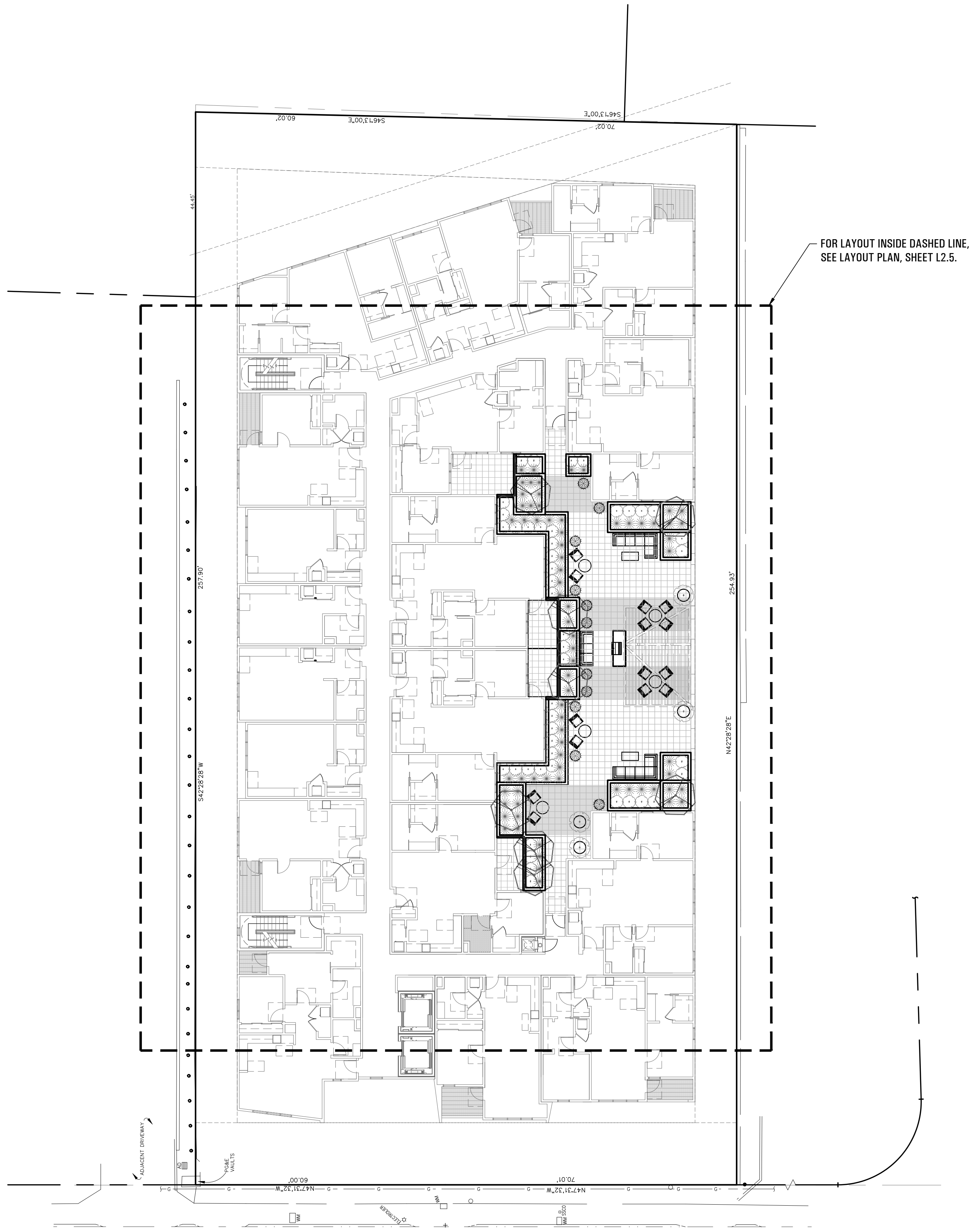
Sheet Title:  
LANDSCAPED  
SETBACK AREA  
CALCULATIONS

Sheet Number:

L2.3







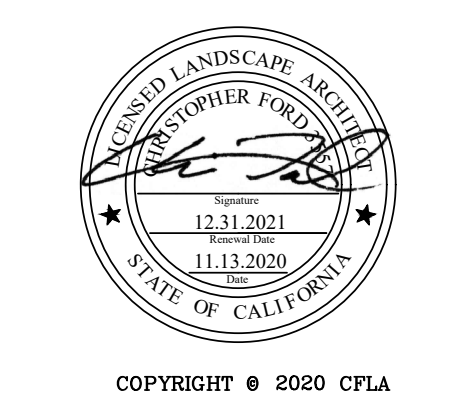
FOR LAYOUT INSIDE DASHED LINE,  
SEE LAYOUT PLAN, SHEET L2.5.

Project:  
**1814-1820  
OGDEN DRIVE**  
1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:  
**CFLA**  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



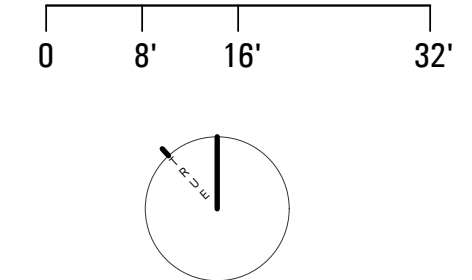
Stamp:



Issue:                      Delta    Date:  
Planning Submittal                      11.13.2020

Project Number: 2012

Scale: 1" = 16'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.



Sheet Title:  
**LAYOUT PLAN:  
SECOND FLOOR**  
Sheet Number:  
**L2.4**





### LAYOUT LEGEND

- |  |   |
|--|---|
| (1.1) FIREPLACE WITH PERGOLA.  | (2.6) PRE-FABRICATED PLANTER POT.               |
| (2.1) CONCRETE PAVING. USE TWO COLORS FOR CONTRASTING COLOR BANDS.                         | (2.7) TABLE & CHAIR SET, SIZES VARY.            |
| (2.2) CONCRETE PAVING AT PRIVATE PATIO. USE COLOR TO COMPLEMENT CONCRETE BANDS (ITEM 2.1). | (2.8) OUTDOOR SOFA.                             |
| (2.3) CAST-IN-PLACE CONCRETE (WITH INTEGRAL COLOR) PLANTER, 3'-3" TALL (WITH TREES).       | (2.9) OUTDOOR SECTIONAL SOFA WITH COFFEE TABLE. |
| (2.4) CAST-IN-PLACE CONCRETE (WITH INTEGRAL COLOR) PLANTER, 2'-3" TALL (WITHOUT TREES).    | (2.10) BUILT-IN GAS GRILL ISLAND.               |
| (2.5) DECORATIVE METAL PRIVACY SCREEN (6' HIGH, INCLUDING PLANTER WALL).                   |   |

Project:  
**1814-1820**  
**OGDEN DRIVE**  
1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:  
**CFLA**  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557

Stamp:

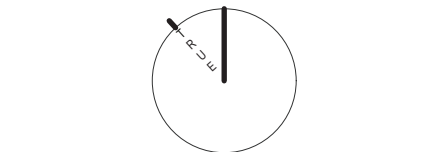


Issue: Delta Date:  
Planning Submittal 11.13.2020

Project Number: 2012

Scale: 1"=8'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.

0 4' 8' 16'



Sheet Title:  
**LAYOUT PLAN:**  
**SECOND FLOOR,**  
**PODIUM**

Sheet Number:  
**L2.5**



Project:

# 1814-1820 OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

**CFLA**  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



Stamp:



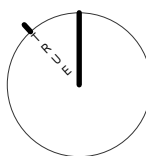
COPYRIGHT © 2020 CFLA

Issue:                      Delta    Date:  
Planning Submittal                      11.13.2020

Project Number: 2012

Scale: 1" = 16'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.

0      8'      16'      32'

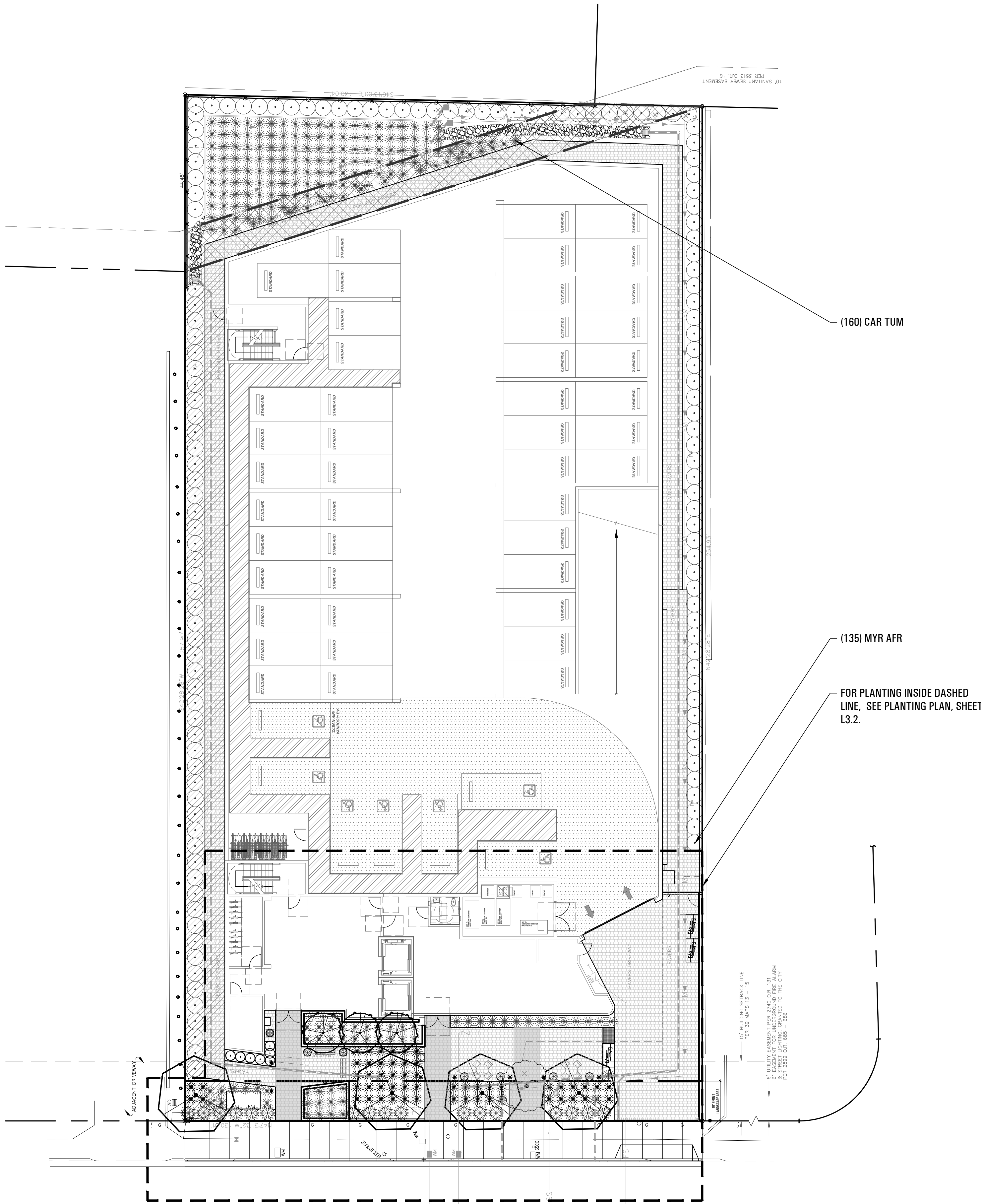


Sheet Title:

## PLANTING PLAN: GROUND FLOOR, SITE

Sheet Number:

# L3.1



### PLANT LIST: GROUND FLOOR SITE

#### SHRUBS

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEO IV RATING
135	5 GAL	MYR AFR	MYRSINE AFRICANA	AFRICAN BOXWOOD	L

#### GRASSES & GRASS-LIKE PLANTS

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEO IV RATING
160	1 GAL	CAR TUM	CAREX TUMULICOLA	BERKELEY SEDGE	L

### PLANT NOTES

- AMEND SOIL WITH WITH AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET OF PLANTING AREAS TO A DEPTH OF 6 INCHES. SOIL AMENDMENT SHALL BE "WONDER GROW COMPOST", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- CONTACT LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF PLANTING OPERATIONS TO SCHEDULE A PRE-PLANTING LAYOUT REVIEW MEETING. LAYOUT ALL PLANTS AS PER PLAN FOR LA APPROVAL PRIOR TO PLANTING.
- INSTALL 3" DEEP LAYER OF MULCH IN PLANTING AREAS. MULCH SHALL BE "FOREST FLOOR", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- PROVIDE A 90-DAY MAINTENANCE PERIOD.

### IRRIGATION NOTES

- IRRIGATION SYSTEM SHALL CONFORM TO REQUIREMENTS OF MODEL WATER EFFICIENT LANDSCAPE ORDINANCE & WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (MWEO).
- IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN AUTOMATIC CONTROLLER WITH A RAIN SENSOR TO OVERRIDE THE SYSTEM WHEN WATERING IS NOT NECESSARY.
- IRRIGATION SYSTEM SHALL PROVIDE ADEQUATE WATER TO PROMOTE HEALTHY GROWTH AND MAINTENANCE OF PLANTS.
- TREES SHALL BE IRRIGATED WITH BUBBLERS ON A SEPARATE VALVE.
- SHRUBS & GRASSES SHALL BE IRRIGATED WITH DRIP IRRIGATION.



Project:

1814-1820  
OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

CFLA  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



Stamp:



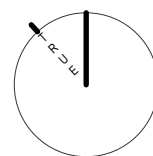
COPYRIGHT © 2020 CFLA

Issue:                      Delta    Date:  
Planning Submittal                      11.13.2020

Project Number: 2012

Scale: 1"=8'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.

0    4'    8'    16'

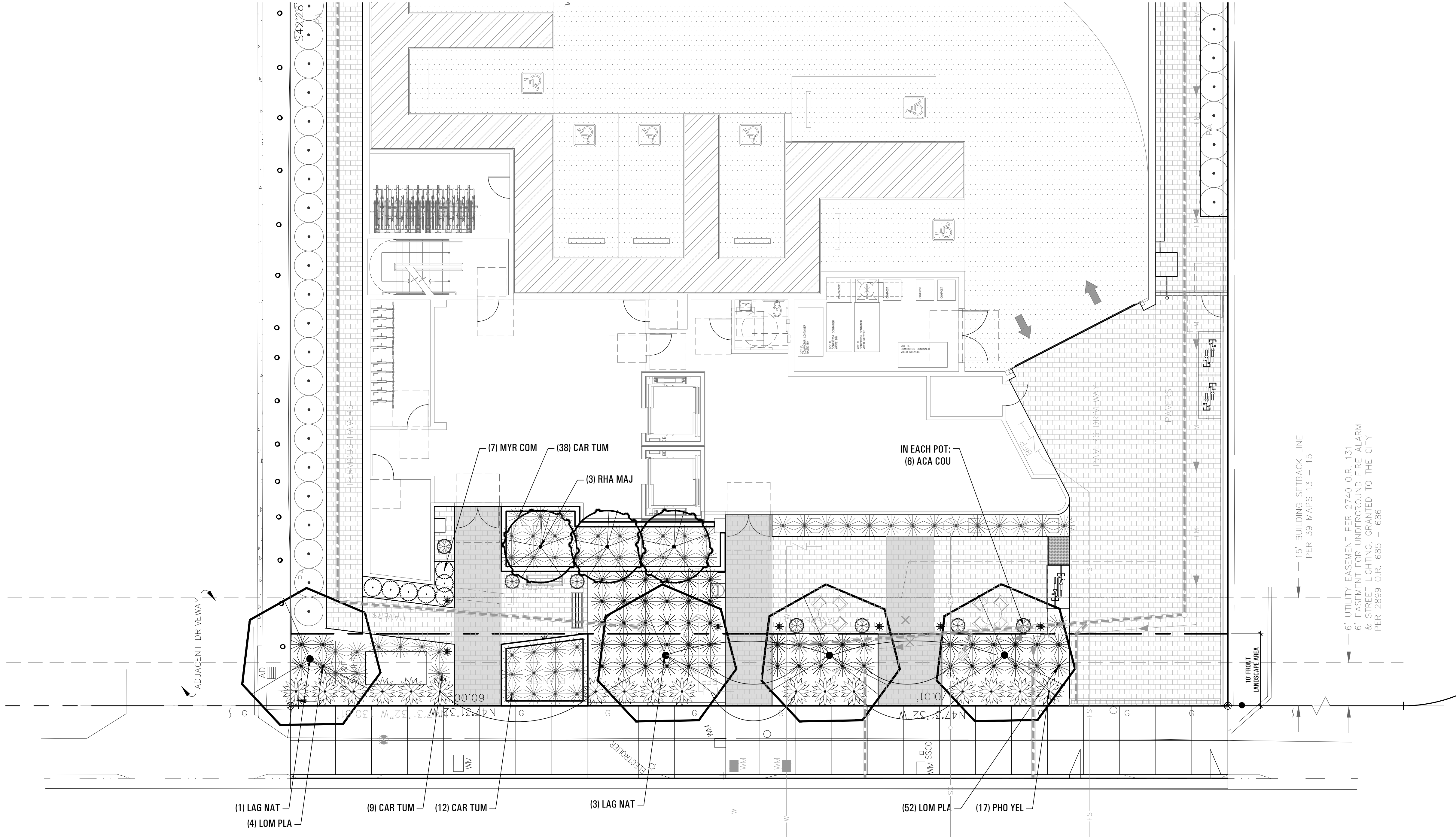


Sheet Title:

PLANTING PLAN:  
GROUND FLOOR,  
FRONT

Sheet Number:

L3.2



PLANT LIST: GROUND FLOOR

TREES					
QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
4	24" BOX	LAG NAT	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ WHITE-FLOWERING CRAPE MYRTLE	L
3	24" BOX	RHA MAJ	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORNE	L
SHRUBS					
QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
6	5 GAL	ACA COU	ACACIA COGNATA 'COUSIN ITT'	COUSIN ITT ACACIA	M
7	5 GAL	MYR COM	MYRTUS COMMUNIS 'COMPACTA'	COMPACT TRUE MYRTLE	L
GRASSES & GRASS-LIKE PLANTS					
QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
59	1 GAL	CAR TUM	CAREX TUMULICOLA	BERKELEY SEDGE	L
56	1 GAL	LOM PLA	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	L
17	5 GAL	PHO YEL	PHORMIUM 'YELLOW WAVE'	YELLOW NEW ZEALAND FLAX	L

PLANT NOTES

- AMEND SOIL WITH WITH AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET OF PLANTING AREAS TO A DEPTH OF 6 INCHES. SOIL AMENDMENT SHALL BE "WONDER GROW COMPOST", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- CONTACT LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF PLANTING OPERATIONS TO SCHEDULE A PRE-PLANTING LAYOUT REVIEW MEETING. LAYOUT ALL PLANTS AS PER PLAN FOR LA APPROVAL PRIOR TO PLANTING.
- INSTALL 3" DEEP LAYER OF MULCH IN PLANTING AREAS. MULCH SHALL BE "FOREST FLOOR", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- PROVIDE A 90-DAY MAINTENANCE PERIOD.
- PROVIDE A ONE-YEAR PLANT GUARANTEE PERIOD.

IRRIGATION NOTES

- IRRIGATION SYSTEM SHALL CONFORM TO REQUIREMENTS OF MODEL WATER EFFICIENT LANDSCAPE ORDINANCE & WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (MWEL0).
- AN IRRIGATION PLAN & OUTDOOR WATER USE EFFICIENCY CHECKLIST WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.
- IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN AUTOMATIC CONTROLLER WITH A RAIN SENSOR TO OVERRIDE THE SYSTEM WHEN WATERING IS NOT NECESSARY.
- IRRIGATION SYSTEM SHALL PROVIDE ADEQUATE WATER TO PROMOTE HEALTHY GROWTH AND MAINTENANCE OF PLANTS.
- TREES SHALL BE IRRIGATED WITH BUBBLERS ON A SEPARATE VALVE.
- SHRUBS & GRASSES SHALL BE IRRIGATED WITH DRIP IRRIGATION.



Project:

1814-1820  
OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

CFLA  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



Stamp:



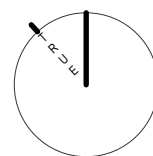
COPYRIGHT © 2020 CFLA

Issue: Delta Date:  
Planning Submittal 11.13.2020

Project Number: 2012

Scale: 1"=8'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.

0 4' 8' 16'

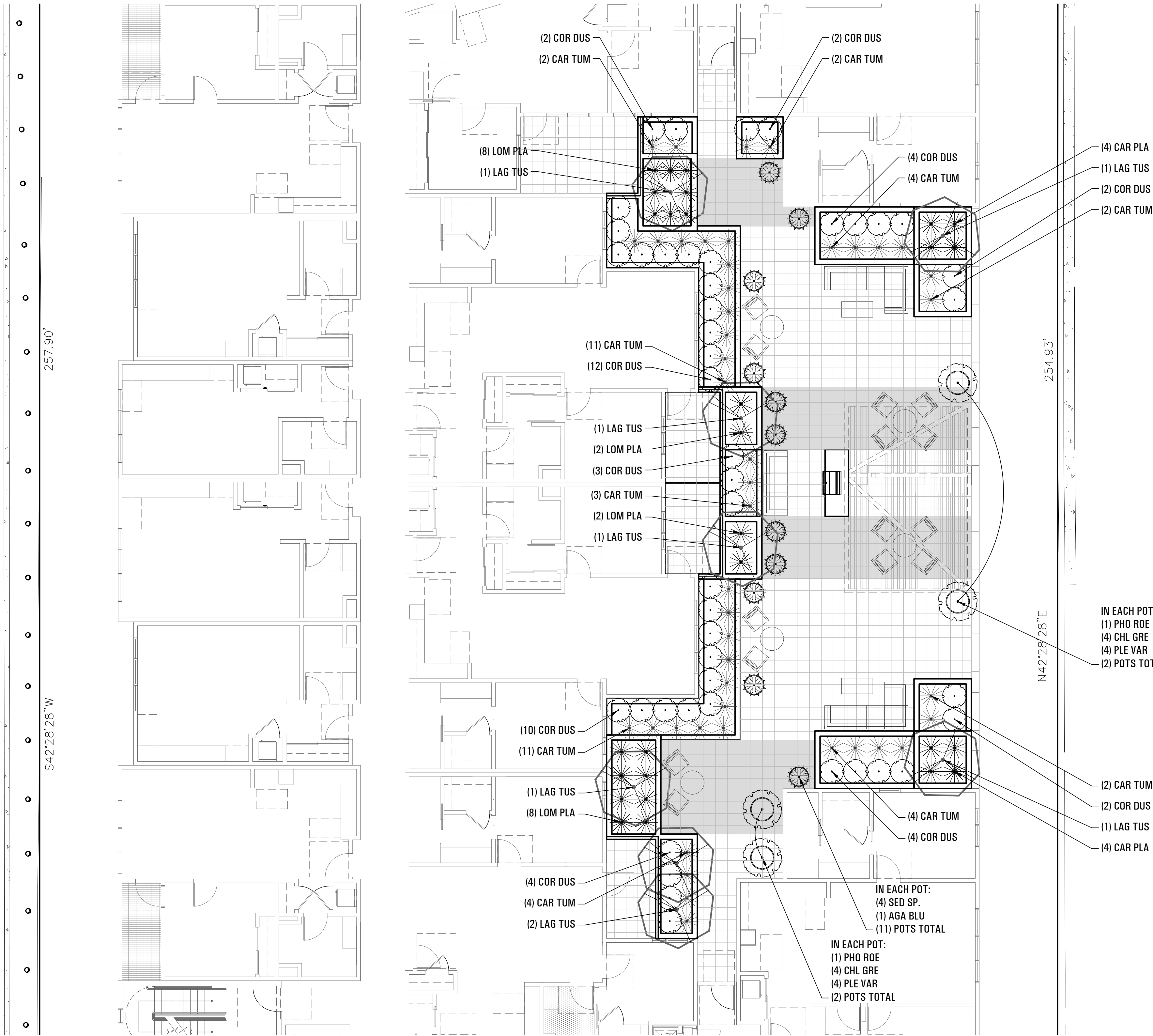


Sheet Title:

PLANTING PLAN:  
SECOND FLOOR,  
PODIUM

Sheet Number:

L3.3



PLANT LIST: SECOND FLOOR

TREES

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
8	24" BOX	LAG TUS	LAGERSTROEMIA INDICA 'TUSCARDRA'	PINKISH-RED CRAPE MYRTLE	L
4	15 GAL	PHO ROE	PHOENIX ROEBELENI	PYGMY DATE PALM	L

SHRUBS / PERENNIALS / SUCCULENTS

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
11	5 GAL	AGA BLU	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	L
16	1 GAL	CHL GRE	CHOLORPHYTUM 'GREEN EDGE'	SPIDER PLANT	M
43	5 GAL	COR DES	CORREA PULCHELLA 'DUSKY BELLS'	RED AUSTRALIAN FUCHSIA	L
16	6" POT	PLE VAR	PLECTRANTHUS FORSTERI 'VARIEGATA'	VARIEGATED PLECTRANTHUS	M
44	4" POT	SED SP.	SEDUM SP.	STONECROP	L

GRASSES & GRASS-LIKE PLANTS

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
45	1 GAL	CAR TUM	CAREX TUMULICOLA	BERKELEY SEDGE	L
28	1 GAL	LOM PLA	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	L

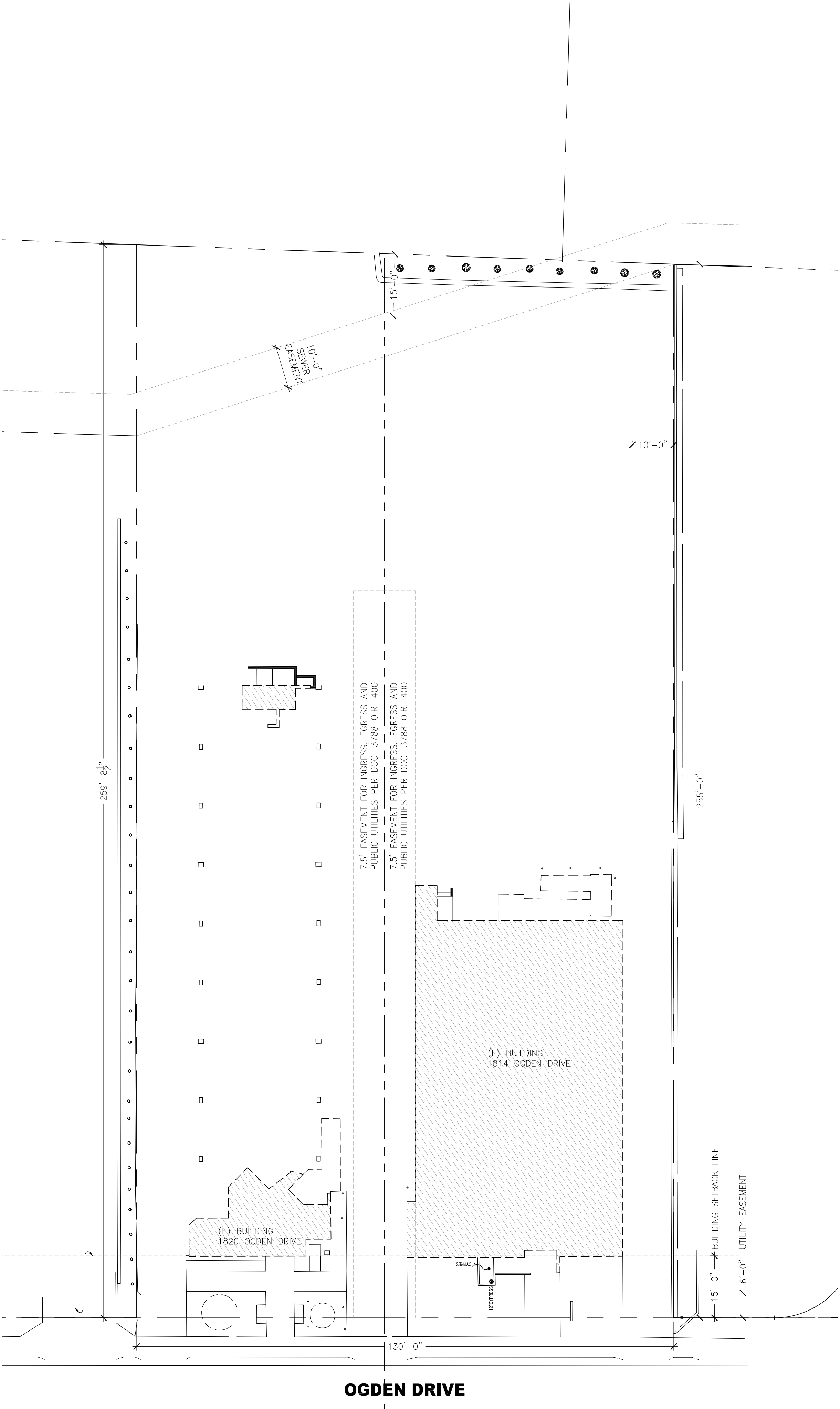
PLANT NOTES

- AMEND SOIL WITH WITH AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET OF PLANTING AREAS TO A DEPTH OF 6 INCHES. SOIL AMENDMENT SHALL BE "WONDER GROW COMPOST", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- CONTACT LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF PLANTING OPERATIONS TO SCHEDULE A PRE-PLANTING LAYOUT REVIEW MEETING. LAYOUT ALL PLANTS AS PER PLAN FOR LA APPROVAL PRIOR TO PLANTING.
- INSTALL 3" DEEP LAYER OF MULCH IN PLANTING AREAS. MULCH SHALL BE "FOREST FLOOR", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- PROVIDE A 90-DAY MAINTENANCE PERIOD.
- PROVIDE A ONE-YEAR PLANT GUARANTEE PERIOD.

IRRIGATION NOTES

- IRRIGATION SYSTEM SHALL CONFORM TO REQUIREMENTS OF MODEL WATER EFFICIENT LANDSCAPE ORDINANCE & WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (MWEL0).
- IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN AUTOMATIC CONTROLLER WITH A RAIN SENSOR TO OVERRIDE THE SYSTEM WHEN WATERING IS NOT NECESSARY.
- IRRIGATION SYSTEM SHALL PROVIDE ADEQUATE WATER TO PROMOTE HEALTHY GROWTH AND MAINTENANCE OF PLANTS.
- TREES SHALL BE IRRIGATED WITH BUBBLERS ON A SEPARATE VALVE.
- SHRUBS & GRASSES SHALL BE IRRIGATED WITH DRIP IRRIGATION.

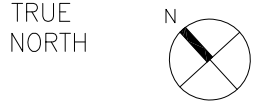




1 SITE PLAN: DEMO  
1/16"=1'-0"

- GENERAL NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED IN THIS PLAN.
  2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.
  3. CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS.
  4. THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION.
  5. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR. PROTECT ALL EXISTING UTILITIES IN PLACE.
  6. CONTRACTOR TO CAP EXISTING WATER LINES AT THE PROPERTY LINE FOR FUTURE USE. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH AND PROVIDE TO ENGINEER.
  7. CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES IN THE SIDEWALK; UNLESS OTHERWISE NOTED.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF OAKLAND, OR ANY OTHER AGENCY HAVING JURISDICTION.

- LEGEND**
- DEMOLITION
  - PROPERTY LINE



NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

# 1814-20 OGDEN DRIVE BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION

CONTACT: TOBY LEVY

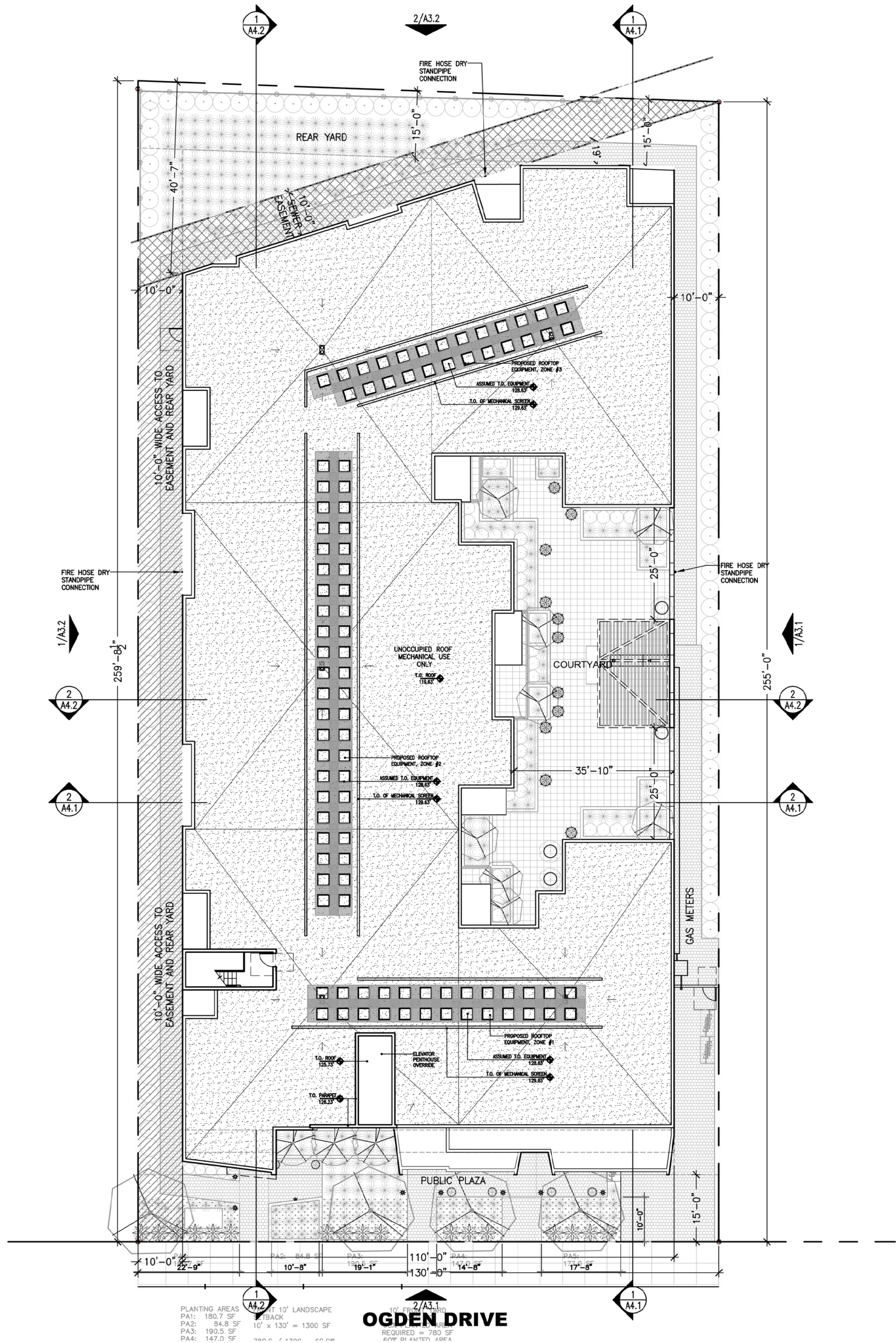
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

SITE PLAN-  
DEMO

# A1.0





1 SITE PLAN: NEW  
1/16"=1'-0"

### GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. SEE A0.2a, A0.2b & A0.3 FOR ACCESS AND EGRESS INFORMATION
3. SEE A2 SERIES FOR OVERALL FLOOR PLANS
4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
5. SEE A0.4c FOR SETBACK INFORMATION. SEE FLOOR PLANS FOR ADDITIONAL BUILDING DIMENSIONS

NOTICE:  
These drawings and specifications  
are the property and copyright of  
Levy Design Partners Inc. and shall  
not be used except by written  
agreement with Levy Design Partners

## 1814-20 OGDEN DRIVE BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION

CONTACT: TOBY LEVY

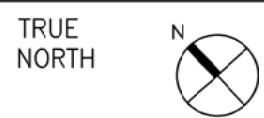
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

SITE PLAN:  
NEW

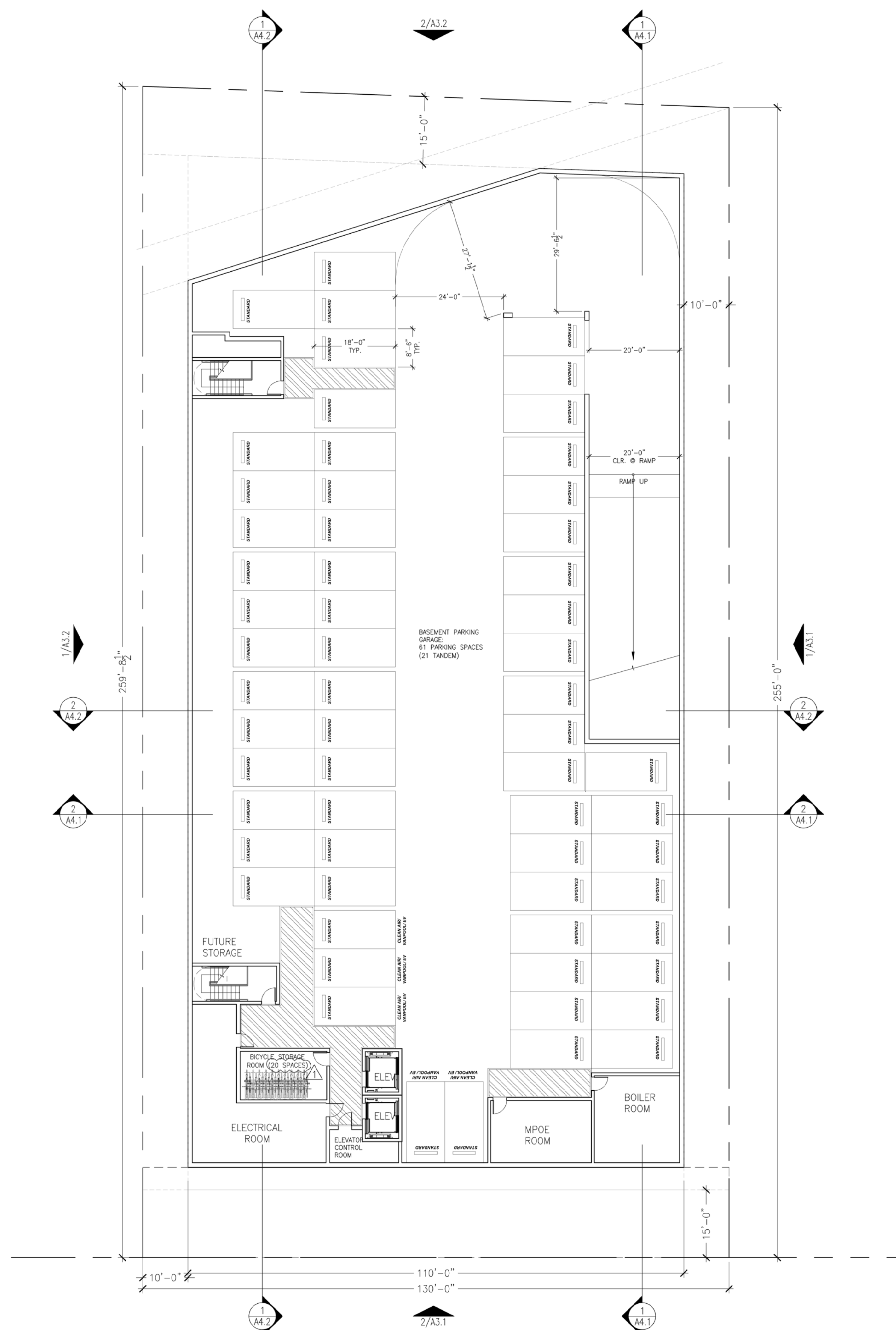
### LEGEND

--- PROPERTY LINE

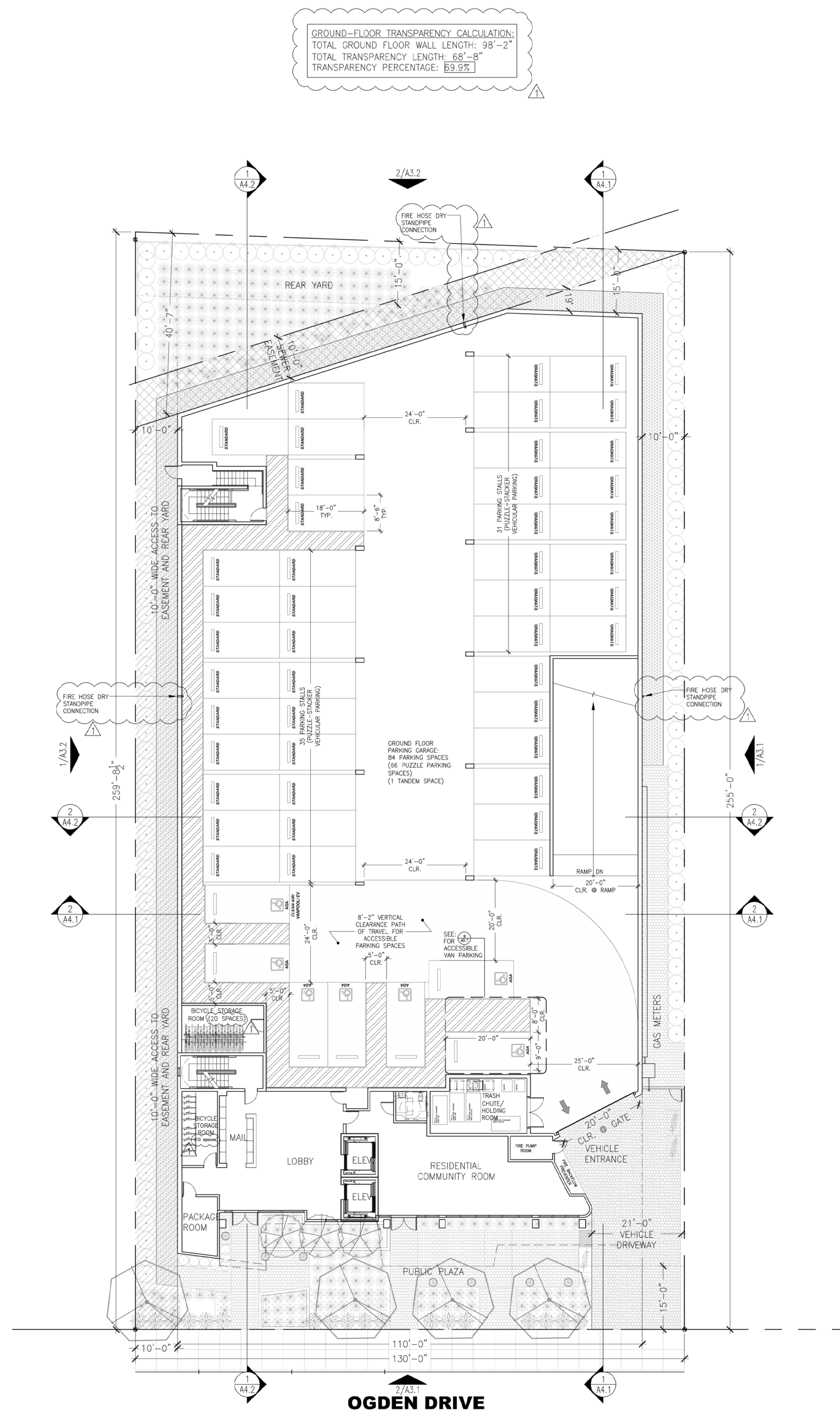


# A1.1





**1** FLOOR PLAN: BASEMENT  
1/16"=1'-0"





## 2 FLOOR PLAN: GROUND FLOOR

### GENERAL NOTES

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
5. ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1. THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB. EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
6. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
7. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
8. CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
9. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
10. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
11. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
12. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A.2
14. PROVIDE FLOOR DRAINS; SLOPE 1/4"/FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
16. ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

## SHEET NOTES

### LEGEND

-  NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES  
 → ROOF SLOPE  
 — — — — — PROPERTY LINE  
 — — — — — 1-HR. FIRE RATED WALL  
 WALL ASSEMBLY,  
 SEE A8 SERIES

**DIMENSION NOTES**

1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



ARCHITECTURE PARTNERS  
LEVY DESIGN GROUP  
90 South Park  
San Francisco  
CA 94107

**NOTICE:**  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION

CONTACT: TOBY LEVY

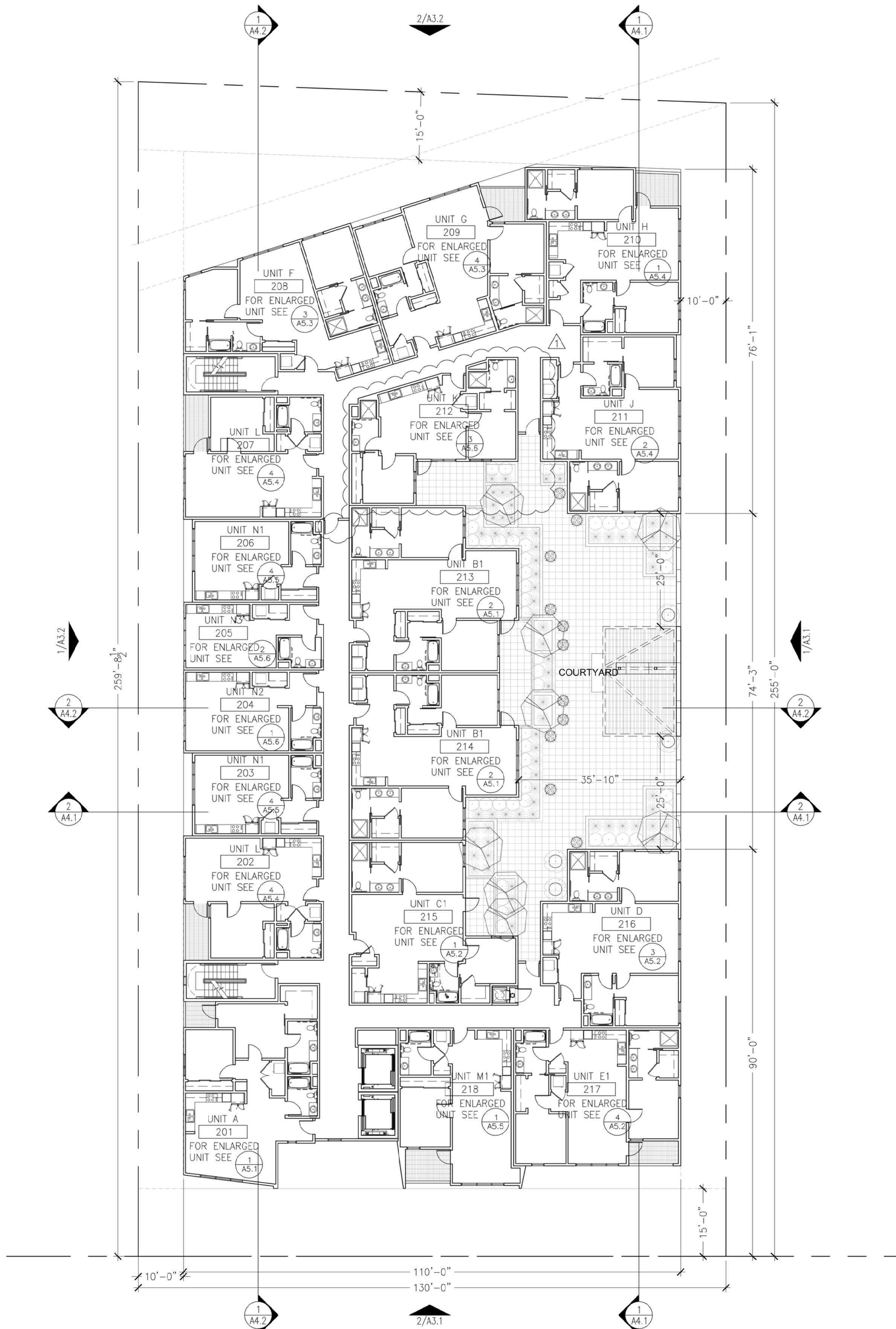
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

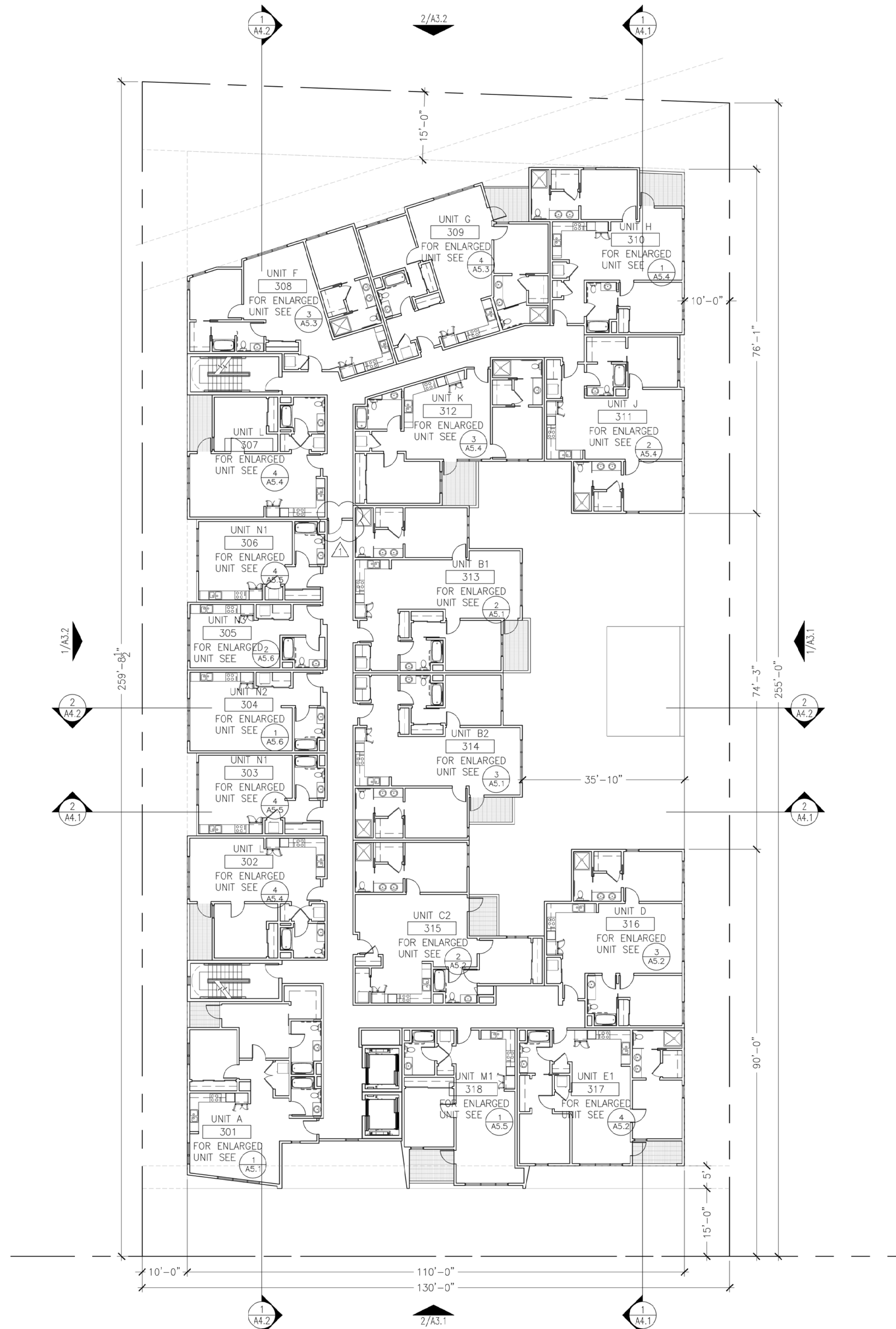
## FLOOR PLAN: BASEMENT & GROUND FLOOR

## A2.0





1 FLOOR PLAN: 2ND FLOOR  
1/16"=1'-0"



2 FLOOR PLAN: THIRD FLOOR  
1/16"=1'-0"

## GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR ENLARGED UNIT PLANS
- ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1. THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB, EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
- ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
- PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

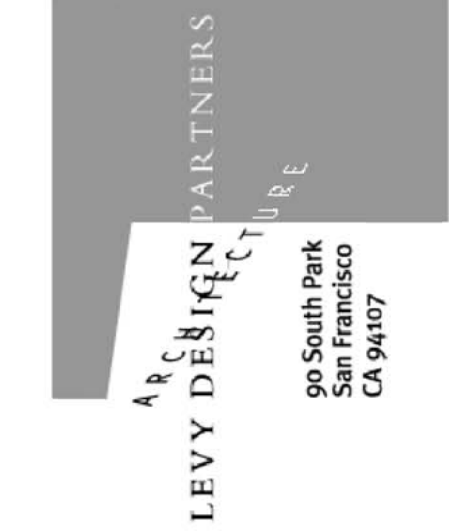
## SHEET NOTES

## LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

## DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

# 1814-20 OGDEN DRIVE BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11  
DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION  
11-13-2020 REVISION

CONTACT: TOBY LEVY

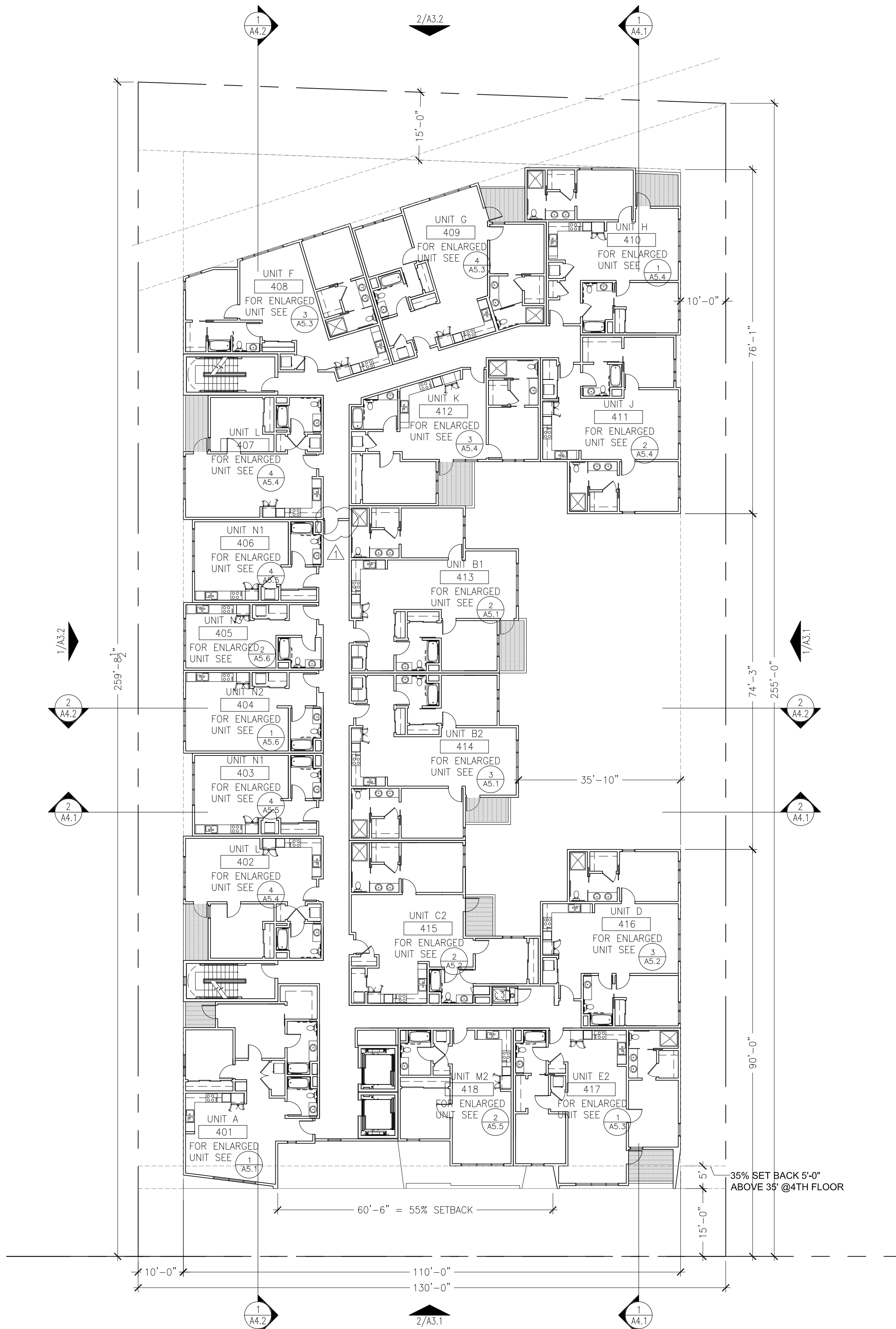
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

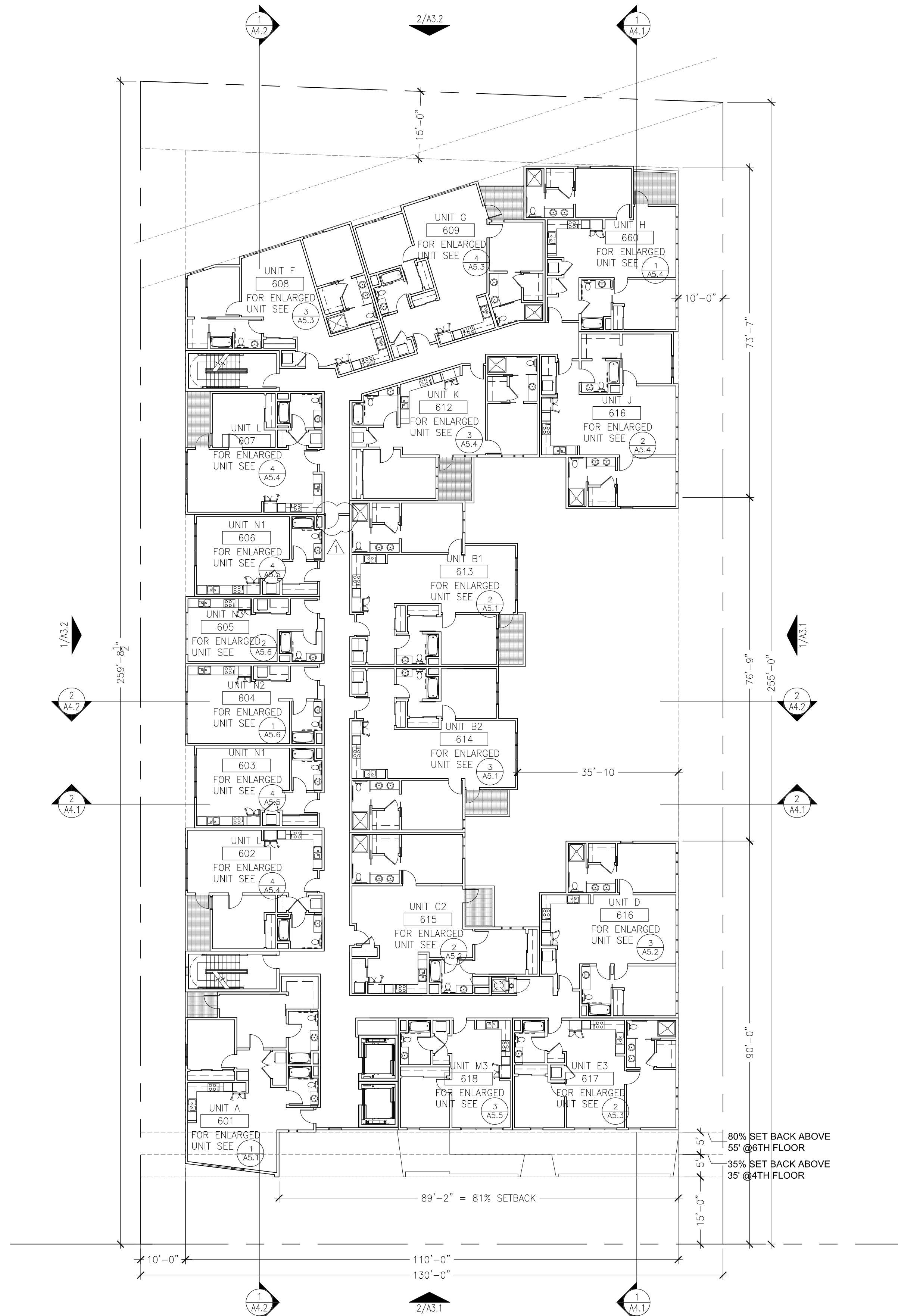
FLOOR PLAN:  
2ND & 3RD  
FLOOR

# A2.1





1 FLOOR PLAN: 4TH - 5TH FLOOR  
1/16"=1'-0"



2 FLOOR PLAN: 6TH FLOOR  
1/16"=1'-0"

## GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR ENLARGED UNIT PLANS
- ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1.; THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB, EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
- ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL, MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
- PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
- PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

## SHEET NOTES

## LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

## DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION  
11-13-2020 REVISION

CONTACT: TOBY LEVY

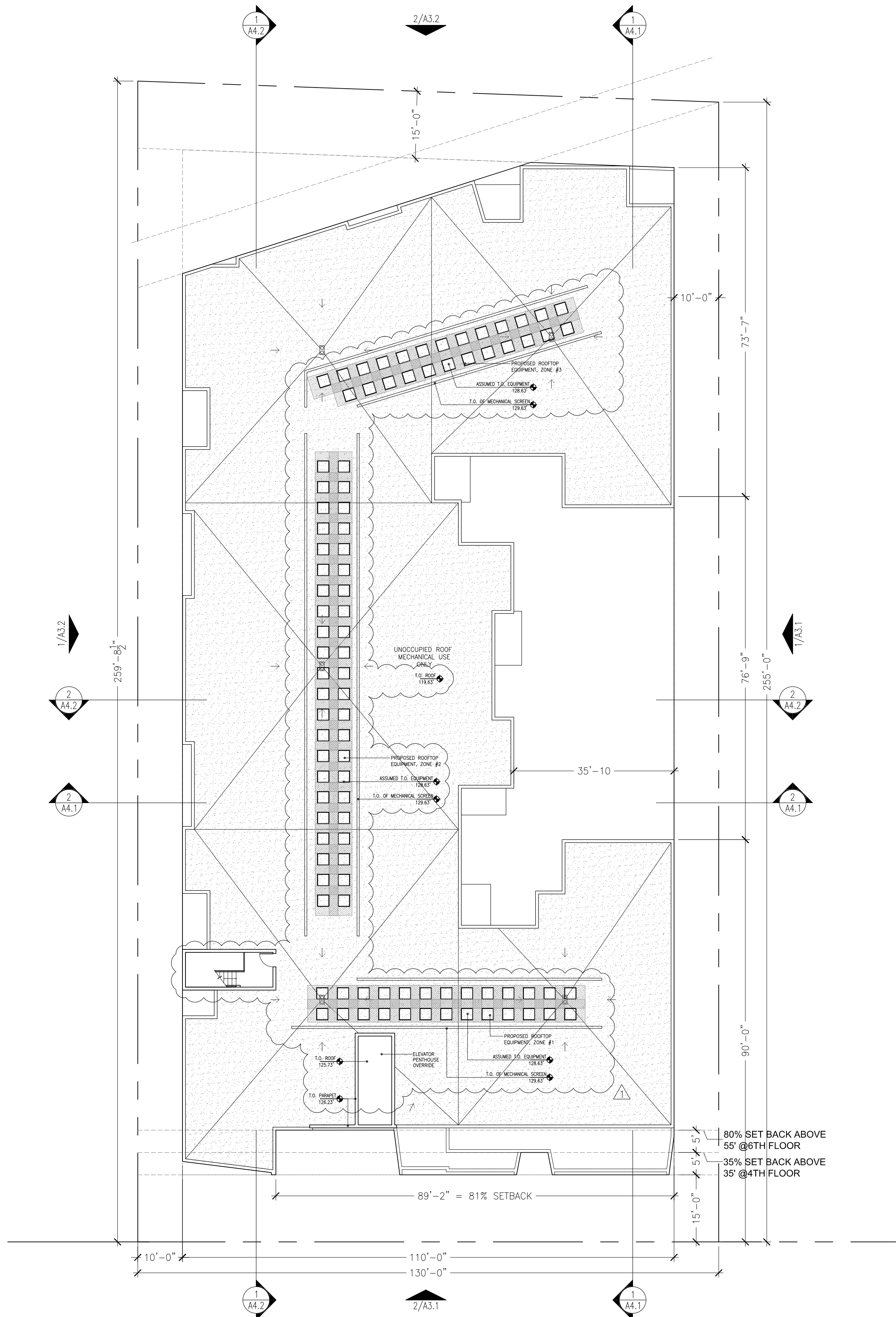
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

FLOOR PLAN:  
4TH, 5TH &  
6TH FLOOR

A2.2





1 FLOOR PLAN: ROOF  
1/16"=1'-0"

### GENERAL NOTES

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
5. ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1.; THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB, EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
6. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
7. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
8. CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
9. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
10. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
11. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
12. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
14. PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
16. ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

### SHEET NOTES

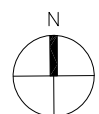
### LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

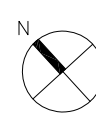
### DIMENSION NOTES

1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PROJECT  
NORTH



TRUE  
NORTH



NOTICE:  
These drawings and specifications are the property and copyright of Levy Design Partners Inc. and shall not be used except by written agreement with Levy Design Partners

1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION

CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

FLOOR PLAN:  
ROOF

A2.3





1 RENDERING

LEVY DESIGN PARTNERS  
ARCHITECTS  
90 South Park  
San Francisco  
CA 94107

NOTICE:  
These drawings and specifications  
are the property and copyright of  
Levy Design Partners Inc. and shall  
not be used except by written  
agreement with Levy Design Partners

1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11  
DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION

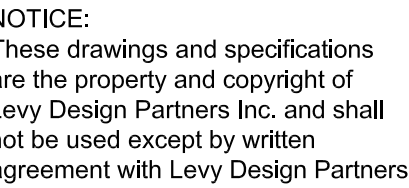
CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED  
RENDERINGS

A3.0

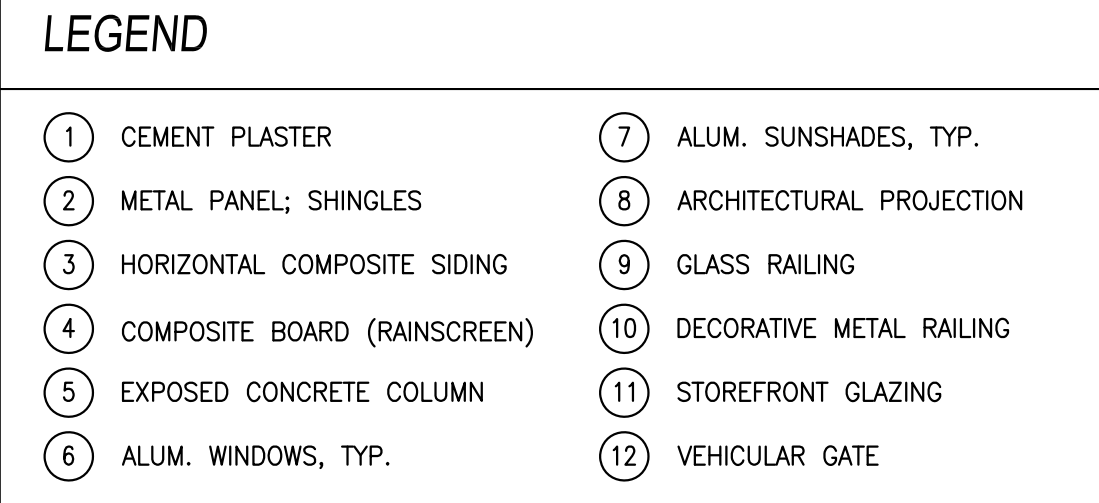




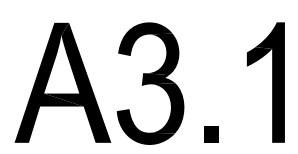
DATE	SET ISSUE
07-2020	PLANNING SUBMISSION
11-13-2020	REVISION

BUILDING  
ELEVATIONS

## A3.1



**1** BUILDING ELEVATION: EAST  
3/32"=1'-0"







2 BUILDING ELEVATION: REAR  
3/32"=1'-0"



1 BUILDING ELEVATION: WEST  
3/32"=1'-0"

#### LEGEND

- |                                |                             |
|--------------------------------|-----------------------------|
| 1 CEMENT PLASTER               | 7 ALUM. SUNSHADES, TYP.     |
| 2 METAL PANEL; SHINGLES        | 8 ARCHITECTURAL PROJECTION  |
| 3 HORIZONTAL COMPOSITE SIDING  | 9 GLASS RAILING             |
| 4 COMPOSITE BOARD (RAINSCREEN) | 10 DECORATIVE METAL RAILING |
| 5 EXPOSED CONCRETE COLUMN      | 11 STOREFRONT GLAZING       |
| 6 ALUM. WINDOWS, TYP.          | 12 VEHICULAR GATE           |

NOTICE:  
These drawings and specifications  
are the property and copyright of  
Levy Design Partners Inc. and shall  
not be used except by written  
agreement with Levy Design Partners

1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION

CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

BUILDING  
ELEVATIONS

A3.2



NOTICE:  
These drawings and specifications  
are the property and copyright of  
Levy Design Partners Inc. and shall  
not be used except by written  
agreement with Levy Design Partners

# 1814-20 OGDEN DRIVE BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION  
11-13-2020 REVISION

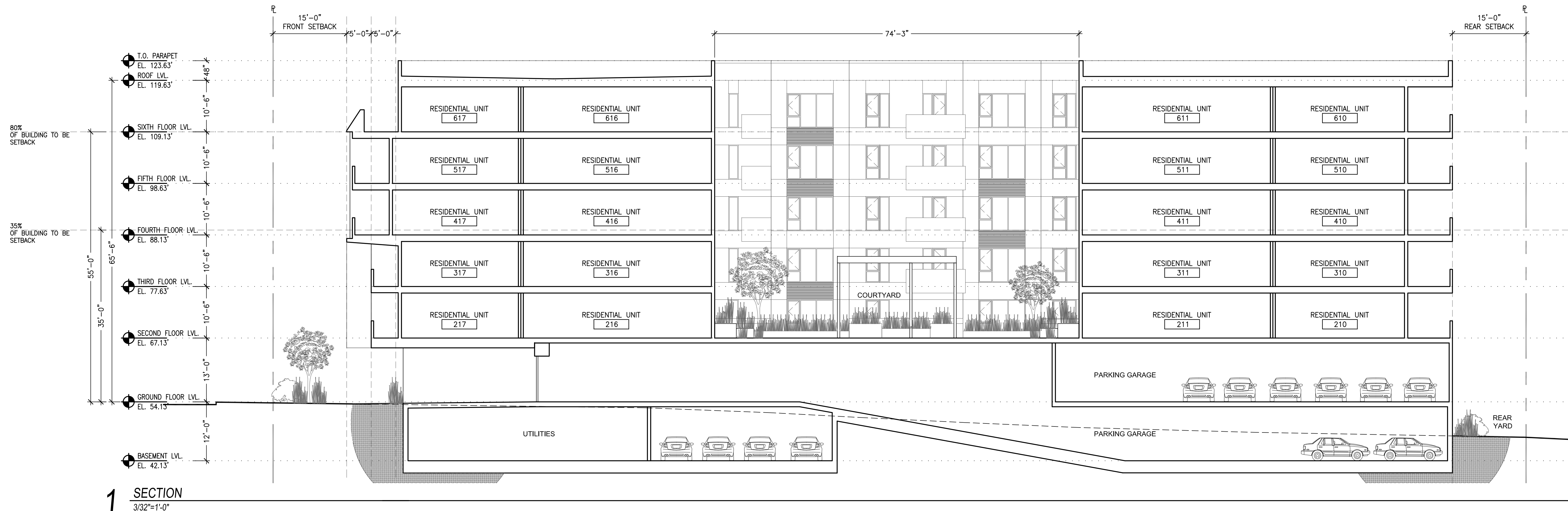
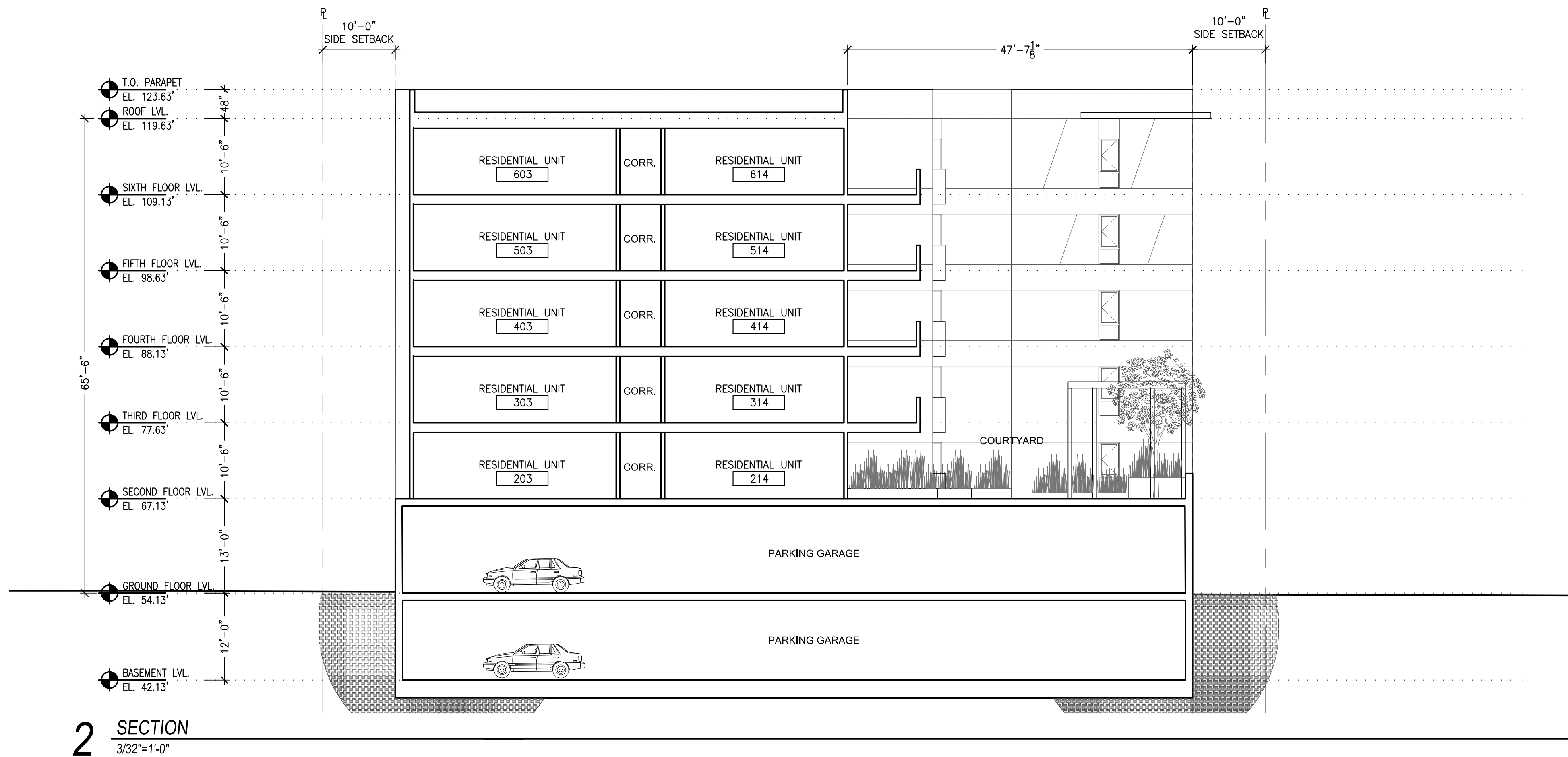
CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

BUILDING  
SECTIONS

## A4.1





NOTICE:  
These drawings and specifications  
are the property and copyright of  
Levy Design Partners Inc. and shall  
not be used except by written  
agreement with Levy Design Partners

1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION  
11-13-2020 REVISION

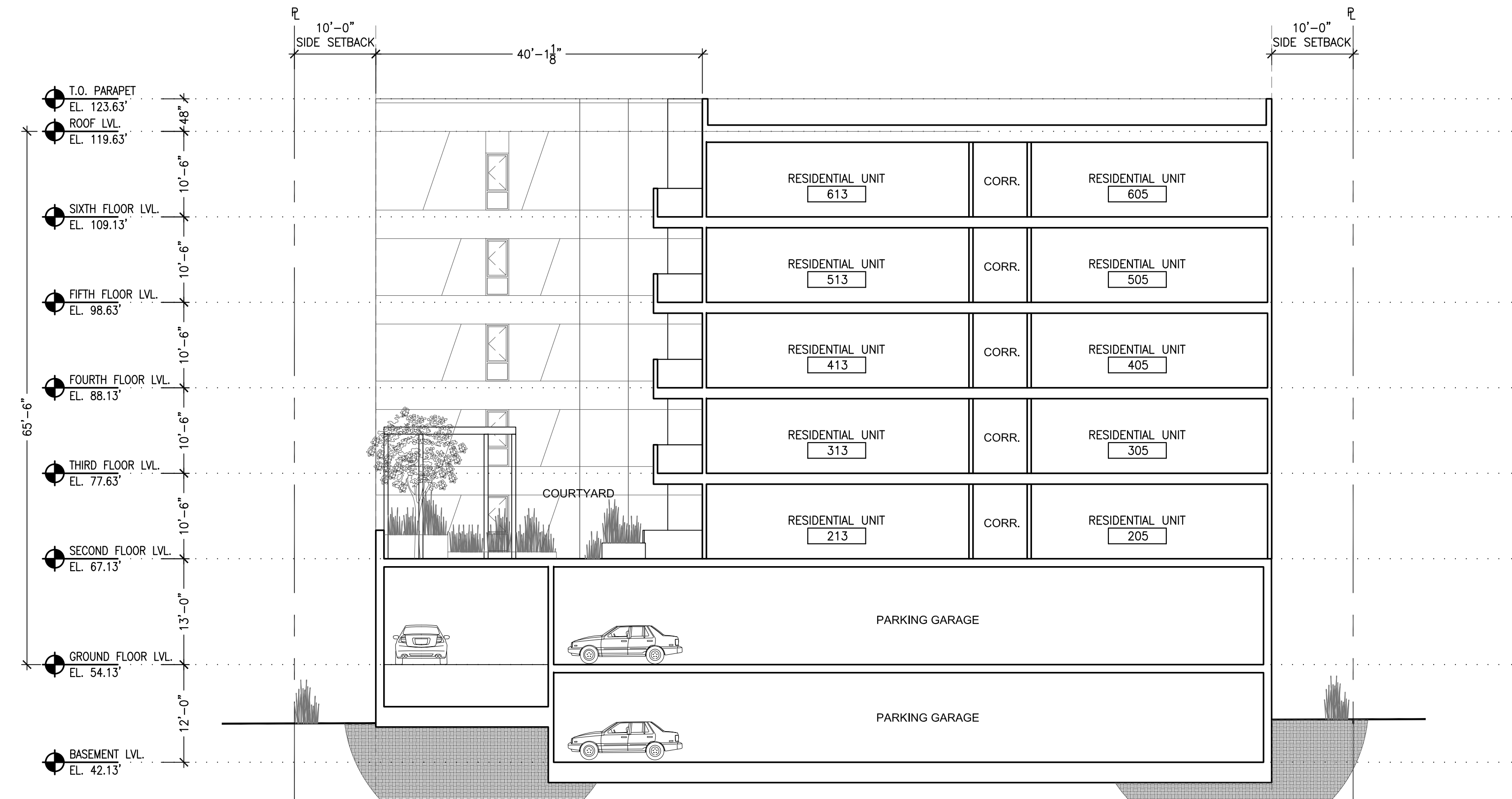
CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

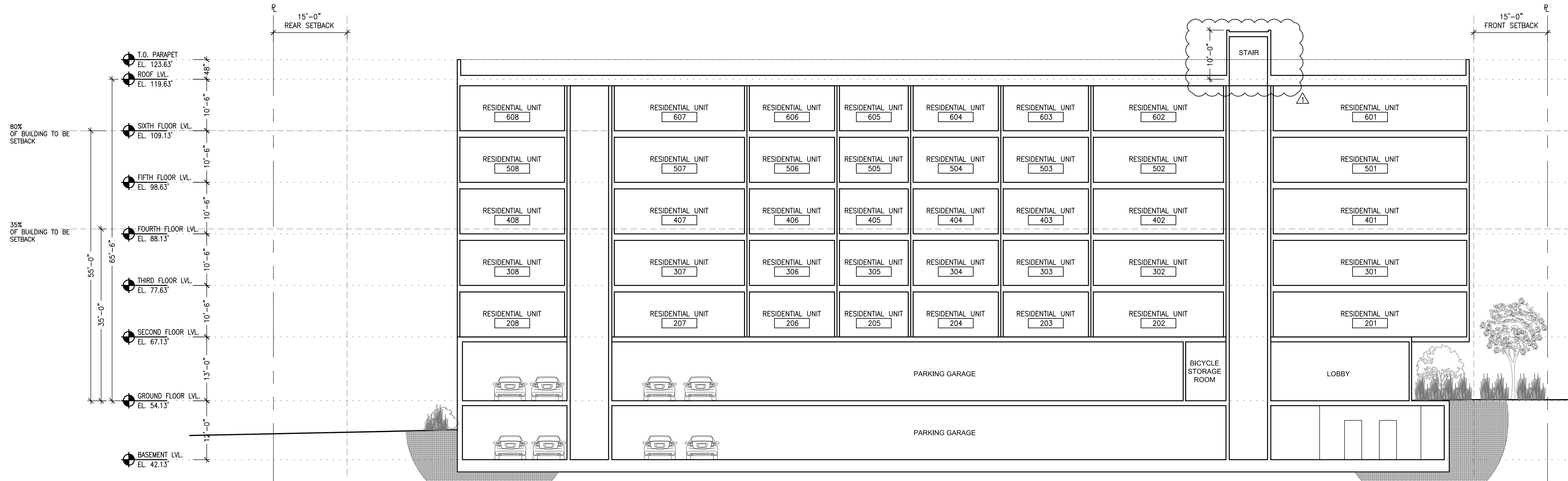
SCALE: AS NOTED

BUILDING  
SECTIONS

A4.2



2 SECTION  
3/32"=1'-0"



1 SECTION  
3/32"=1'-0"