



California Drive Live-Work
619-625 California Dr.
Burlingame, CA

Owner:
Ed Duffy / Renovatio Construction
415.533.4953

Architect:
EASA Architecture
650.343.3452

Surveyor:
Fredrick T Seher & Associates, Inc.
415.921.7690

Geotechnical Engineer:
Romig Engineers
650.591.5224


Civil Engineer:
MacLeod & Associates, Inc.
650.593.8580

Landscape Architect:
Kikuchi + Kankel Design Group
650.726.7100

Structural Engineer:
Murphy Burr Curry, Inc
415.546.0431

MEP Engineer:
MHC Engineers
415.640.3800

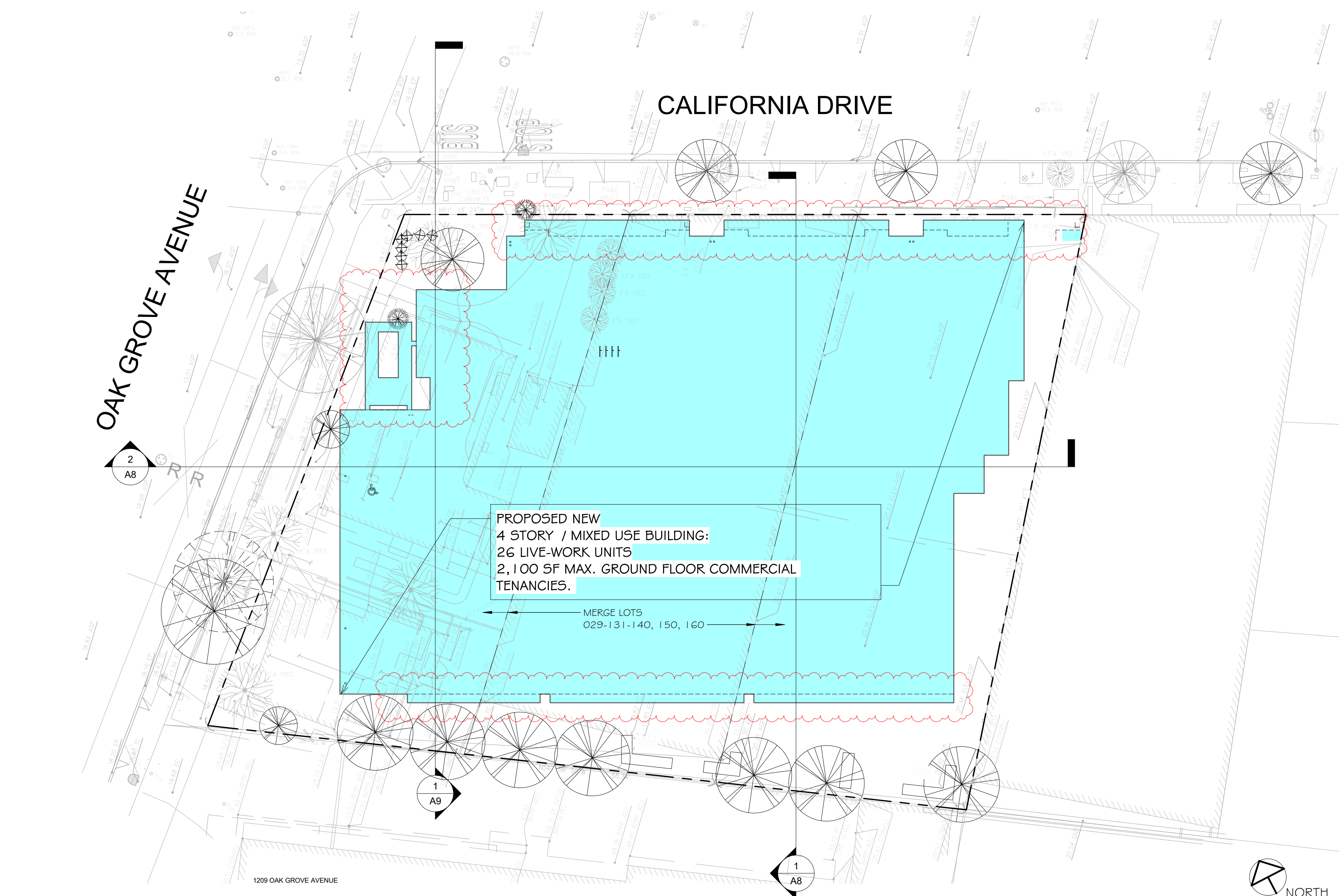
<u>5</u>	8/27/18	PC Action Hearing	SUL
<u>3</u>	9/29/17	PC Comments	SUL
<u>1</u>	3/21/17	Initial Review Comments	SUL
Rev #:	Date:	Description:	By:



PRELIMINARY
NOT FOR CONSTRUCTION

SITE PLAN

JOB #	15666	SCALE	1/8" = 1" NOTED
DATE	03/21/	SHEET	<div style="font-size: 48pt; text-align: center;">A0.2</div>
DRAWN	Author		
CHECKED	Checker		
REVIEWED			

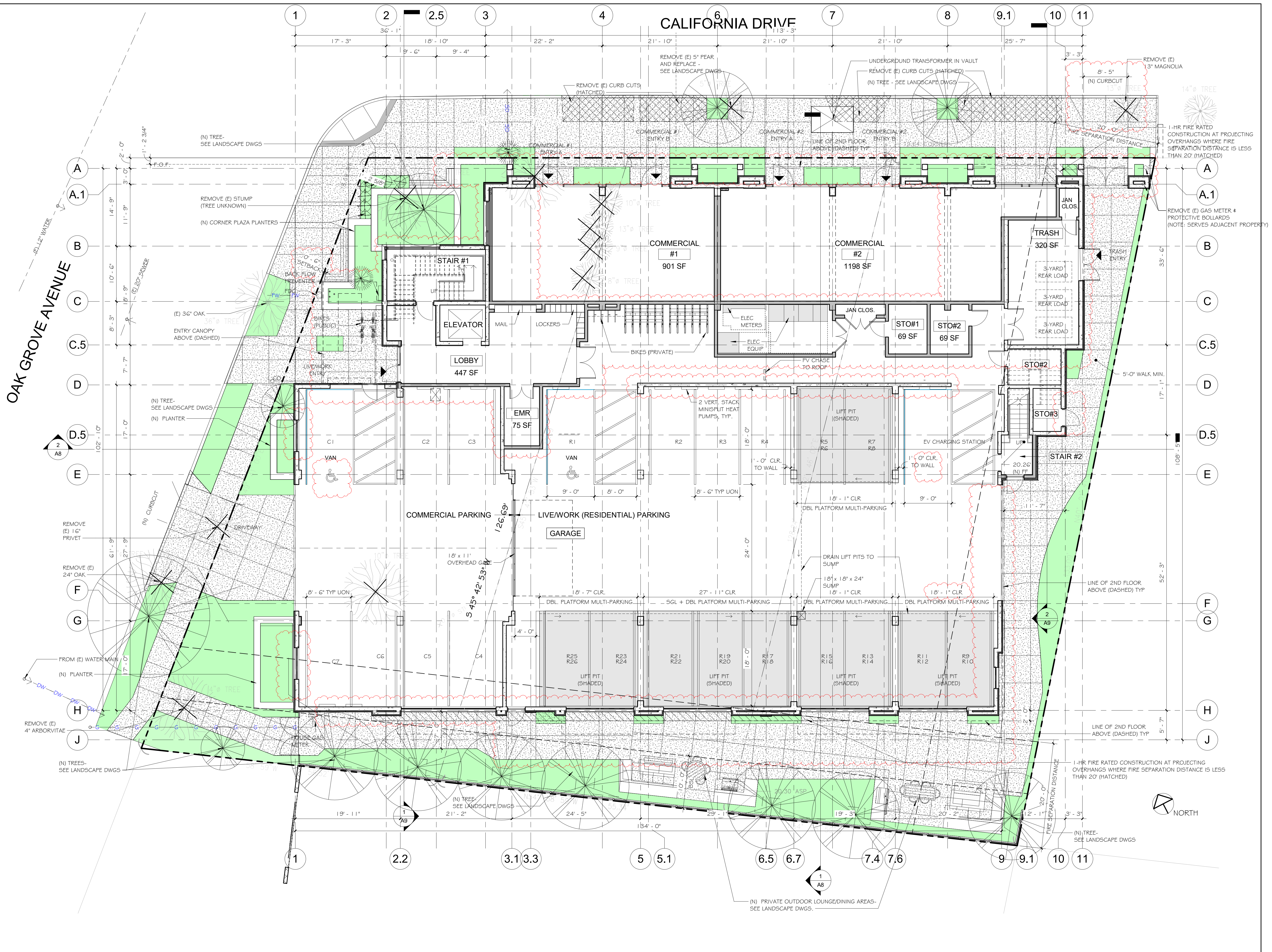


SEE FIRST FLOOR PLAN / A1 FOR SITE IMPROVEMENTS

1. Existing commercial building at 621 California Drive : 5,956 sf

2. Existing residential buildings at 625 California Drive: 2 dwelling units.
625 California Drive = 1,456 sf (corner house)
153 sf (detached garage - no longer extant)
1201 Oak Grove Avenue = 861 sf (house facing Oak Grove Avenue)

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8/28/2018 11:07:22 AM



Peninsula Building
307 South 18th Street #12 San Mateo CA 94401
650.343.3452

California Drive Live-Work

619-625 California Dr.
Burlingame, CA

APN#: 029-131-140
APN#: 029-131-150
APN#: 029-131-160

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	1/23/17	Fire Department Coordination	SUL
	11/7/16	Planning - Initial Review	SUL

Rev #:

Date:

Description:

By:

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PRELIMINARY
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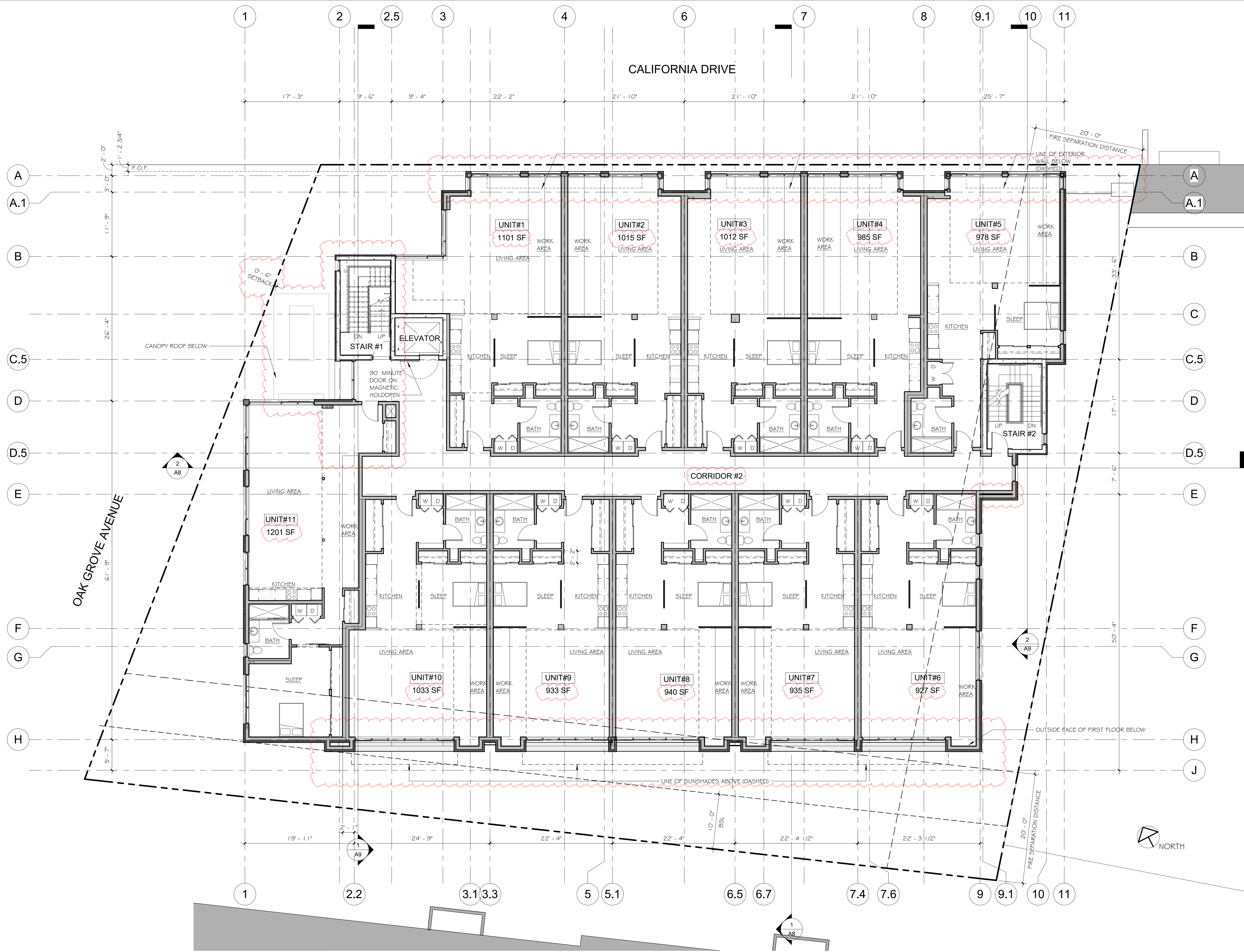
SHEET TITLE

FIRST FLOOR PLAN

KOB #	15666	SCALE	1/8" = 1'-0"
DATE	11/07/16	SHEET	
DRAWN	SUL		
CHECKED	EAS		
REVIEWED			
		OF	SHEETS

A1

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Ellis A. Schoichet AIA



Peninsula Building
307 South "B" Street #12 San Mateo CA 94401
650.343.3452

California Drive Live-Work 619-625 California Dr. Burlingame, CA

APN#: 029-131-140
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1	3/21/17	Initial Review Comments	SUL
1	1/25/17	Client Coordination	SUL
	11/7/16	Planning - Initial Review	SUL

Rev # Date Description By

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SHEET TITLE

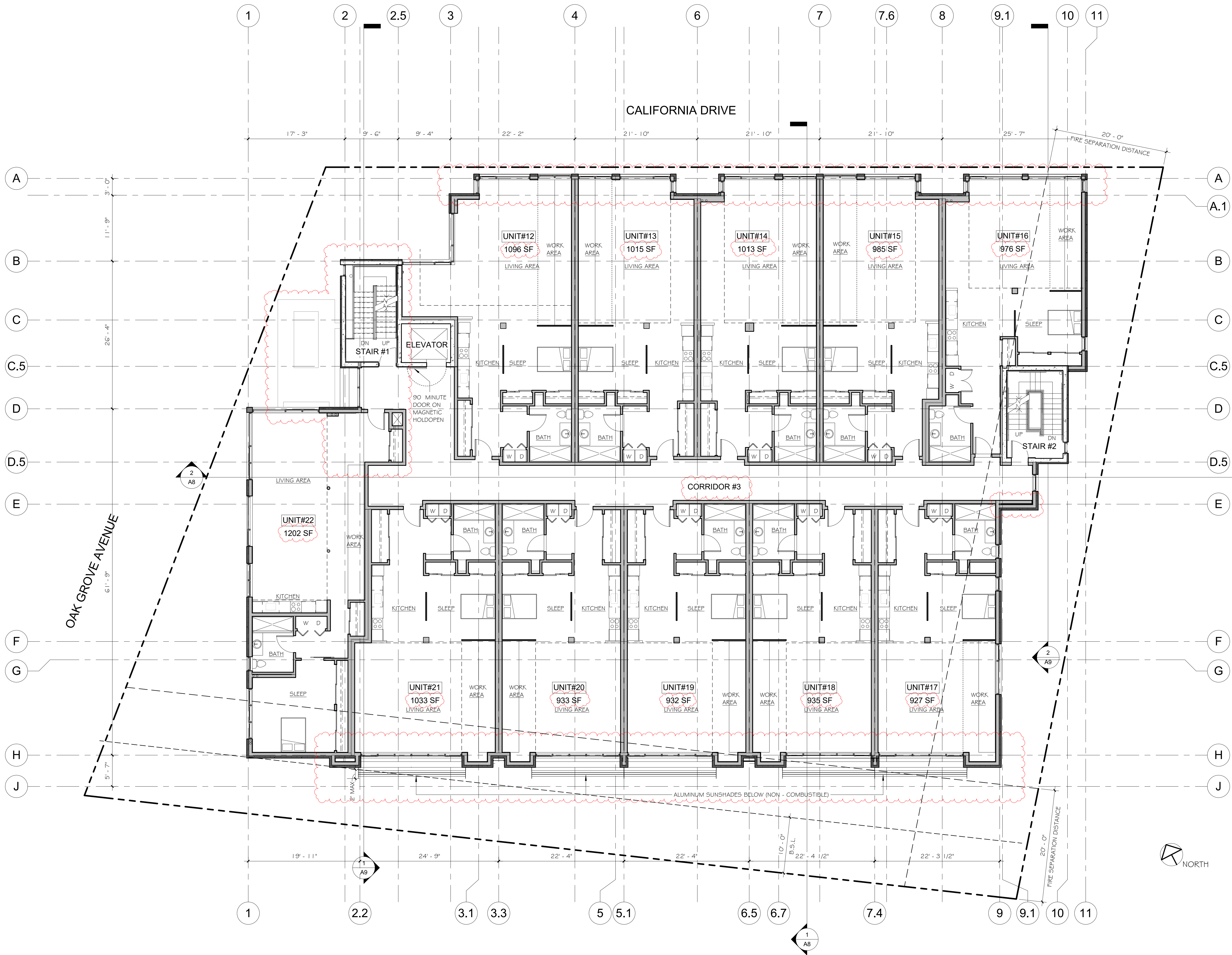
SECOND FLOOR PLAN

KOB #	15666	SCALE	1/8" = 1'-0"
DATE	11/07/16	SHEET	
DRAWN	SUL		
CHECKED	EAS		
REVISED			

A2

OF SHEETS

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Ellis A. Schoichet AIA



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	11/7/16	Planning - Initial Review	SUL

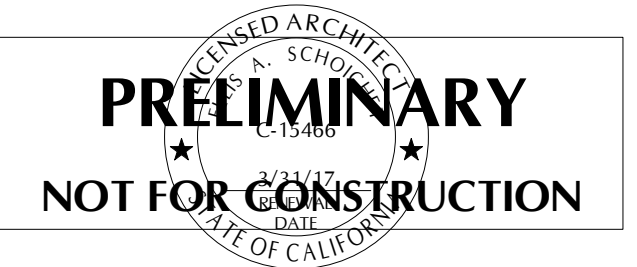
Rev #:

Date:

Description:

By:

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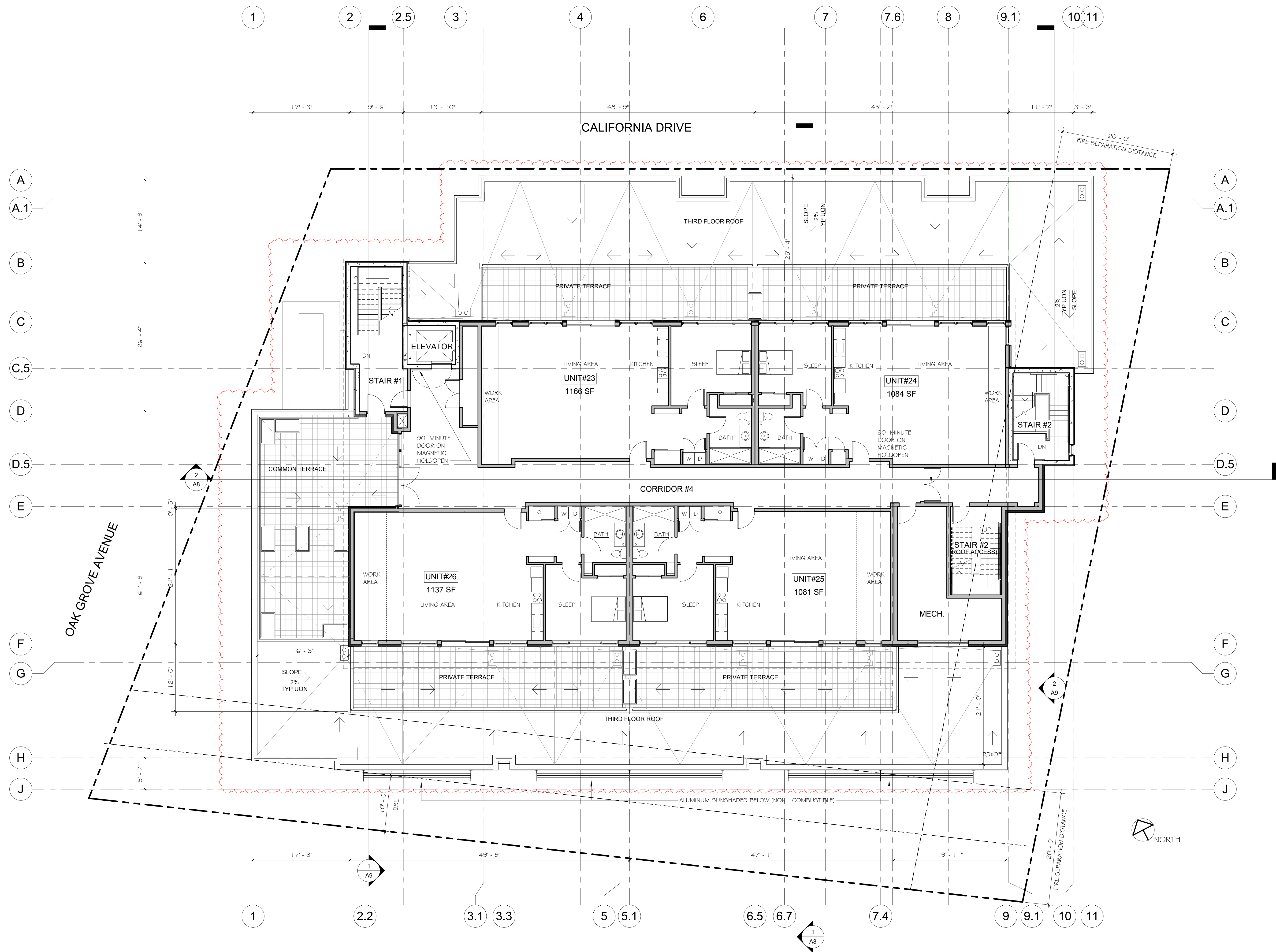


SHEET TITLE

THIRD FLOOR PLAN

KOB #	15666	SCALE	1/8" = 1'-0"
DATE	11/07/16	SHEET	
DRAWN	SUL		
CHECKED	EAS		
REVIEWED			
		A3	OF SHEETS

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Peninsula Building
307 South "B" Street #12 San Mateo CA 94401
650.343.3452

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APN#: 029-131-140
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4	3/21/17	Initial Review Comments	SUL
5	1/25/17	Client Coordination	SUL
6	1/23/17	Fire Department Coordination	SUL
7	11/7/16	Planning - Initial Review	SUL

Rev #:

Date:

Description:

By:

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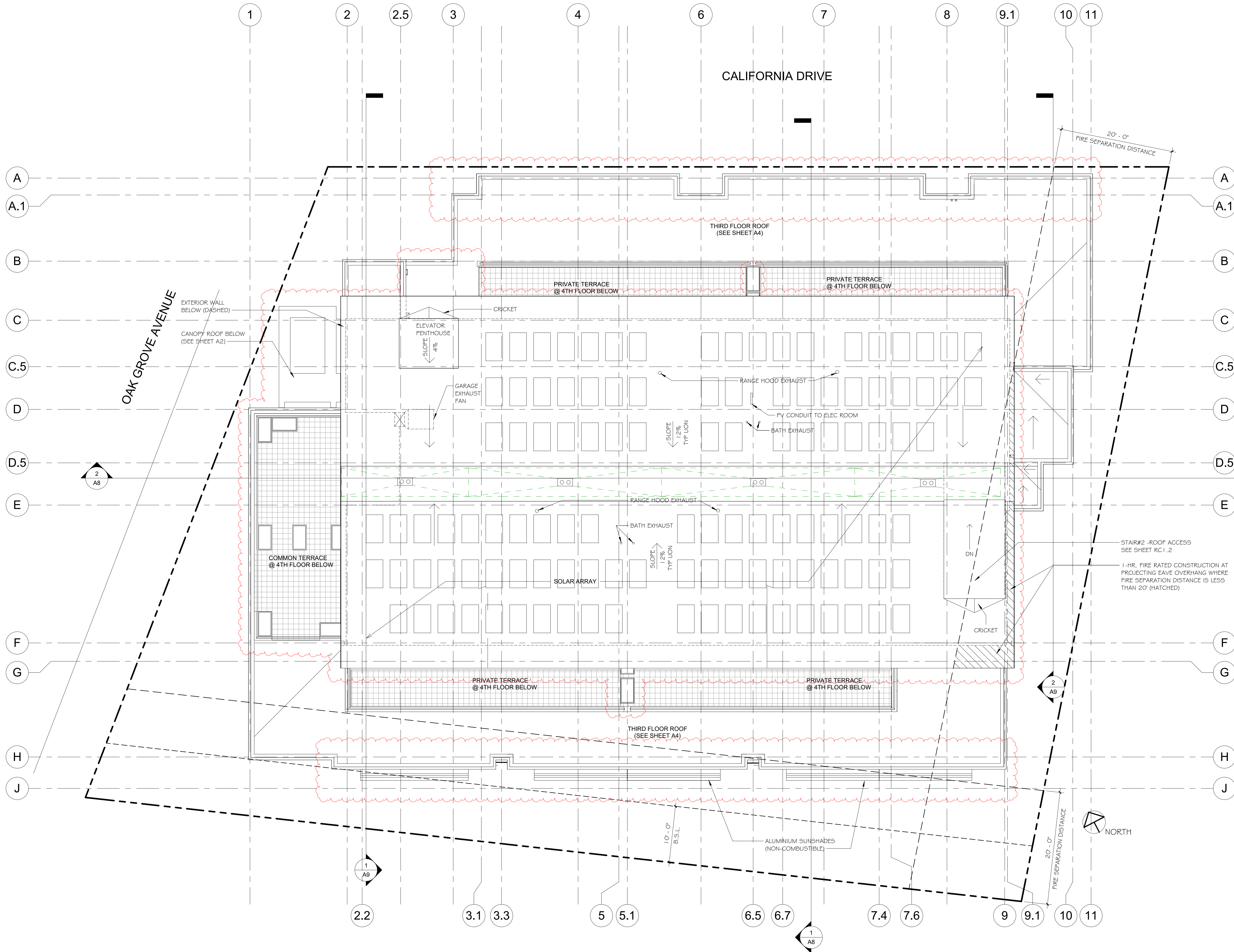
PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE

FOURTH FLOOR / LOW
ROOF PLAN

DATE	SCALE
11/07/16	1/8" = 1'-0"
DRAWN	SHEET
SUL	A4
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EAS	SHEETS
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	1/23/17	Fire Department Coordination	SUL
	11/7/16	Planning - Initial Review	SUL

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SHEET TITLE

ROOF PLAN

JOB #	15666	SCALE	1/8" = 1'-0"
DATE	11/07/16	SHEET	
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A5

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① North-East (front) Elevation
1/8" = 1'-0"



④ South-West (rear) Elevation
1/8" = 1'-0"

TYPICAL EXTERIOR MATERIALS

- 1 TILE 1 - ARDESIA ANTRACITE - LARGE FORMAT TILE
- 2 STUCCO 1 - 0200 BONAIRE
- 3 STUCCO 2 - SW7065 ARGOS (LIGHT TEXTURE)
- 4 STUCCO 3 - SW7065 ARGOS (MEDIUM TEXTURE)
- 5 STUCCO 4 - SW7065 ARGOS (ROUGH TEXTURE)
- 6 RAINSCREEN 1 - CERACLAD - 8" REVEAL - 0449 CANNON BALL
- 7 RAINSCREEN 2 - CERACLAD - CONTEMPORARY SMOOTH - 0200 BONAIRE
- 8 ANODIZED ALUMINUM EXTRUSION
- 9 FRITTED GLASS
- 10 GLASS GUARD RAIL

Ellis A. Schoichet AIA



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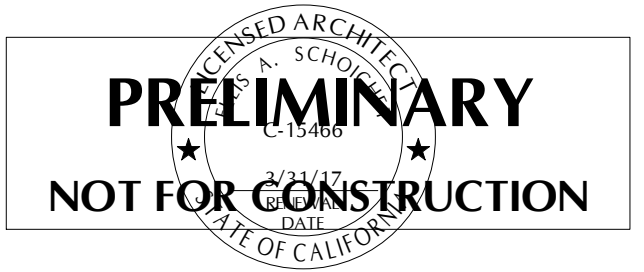
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	11/7/16	Planning - Initial Review	SUL

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SHEET TITLE

FRONT & REAR ELEVATIONS

KIB #	15666	SCALE	AS NOTED
DATE	11/07/16	SHEET	
DRAWN	SUL		
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REVISED			
		OF	SHEETS

A6

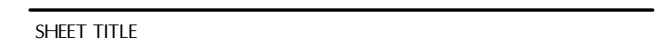
- 1 TILE 1 - ARDESIA ANTRACITE - LARGE FORMAT TILE
- 2 STUCCO 1 - 0200 BONAIRE
- 3 STUCCO 2 - 5W7065 ARGOS (LIGHT TEXTURE)
- 4 STUCCO 3 - 5W7065 ARGOS (MEDIUM TEXTURE)
- 5 STUCCO 4 - 5W7065 ARGOS (ROUGH TEXTURE)
- 6 RAINSCREEN 1 - CERACLAD - 8" REVEAL - 0449 CANNON BALL
- 7 RAINSCREEN 2 - CERACLAD - CONTEMPORARY SMOOTH - 0200 BONAIRE
- 8 ANODIZED ALUMINUM EXTRUSION
- 9 FRITTED GLASS

10 GLASS GUARD RAIL

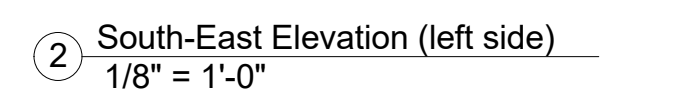
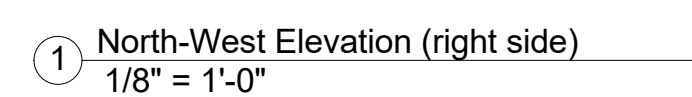


MEP Engineer:
MHC Engineers
415.640.3800

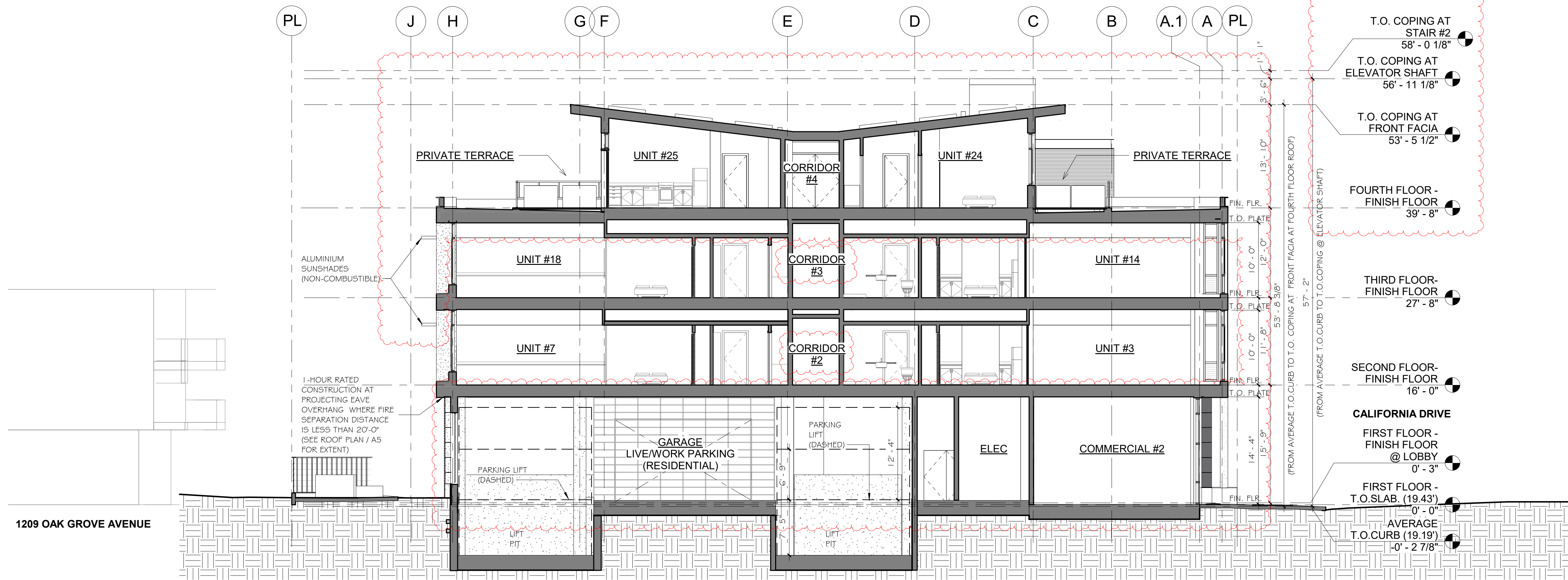
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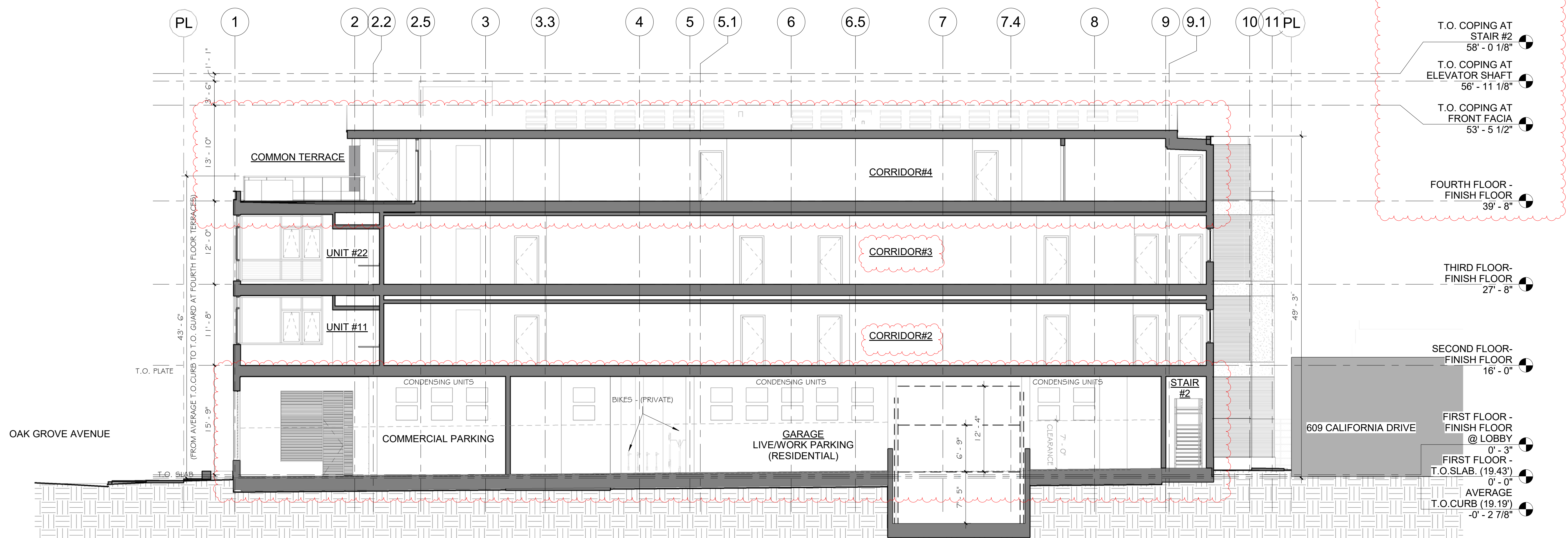
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DATE	11/07/16	SHEET	A7
DRAWN	SUL		
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REVIEWED			
		OF	SHEETS



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1 Section - Front to Rear
1/8" = 1'-0"



2 Section - Side to Side
1/8" = 1'-0"

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	11/7/16	Planning - Initial Review	SUL

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SHEET TITLE

SECTIONS

K08 #	15666	SCALE	AS NOTED
DATE	11/07/16	SHEET	
DRAWN	SUL		
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REVISED			
		OF	SHEETS

A8



730 Mill Street
Half Moon Bay, CA 94019
(650) 726-7100

LANDSCAPE IMPROVEMENTS

CALIFORNIA DRIVE LIVE-WORK

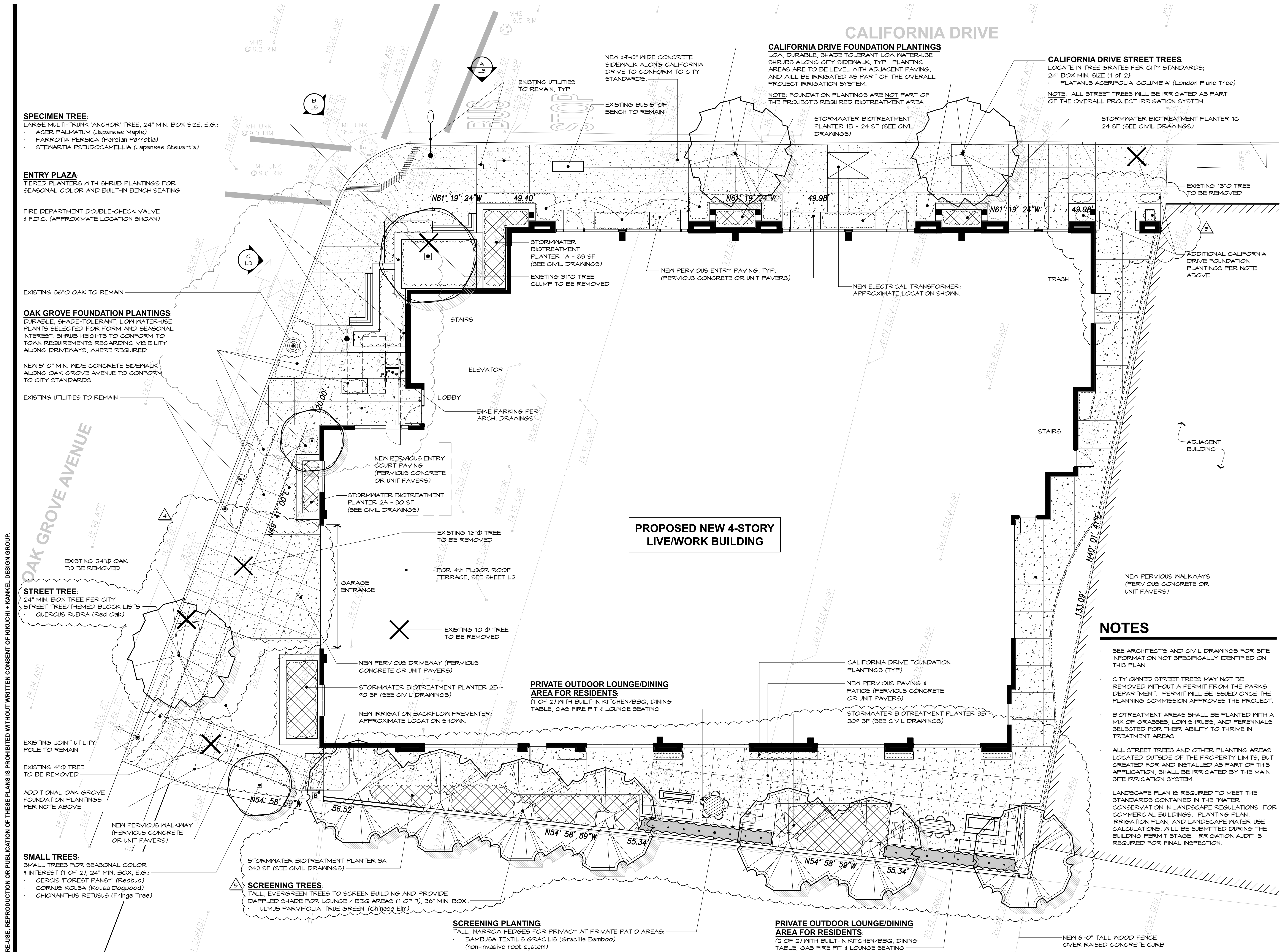
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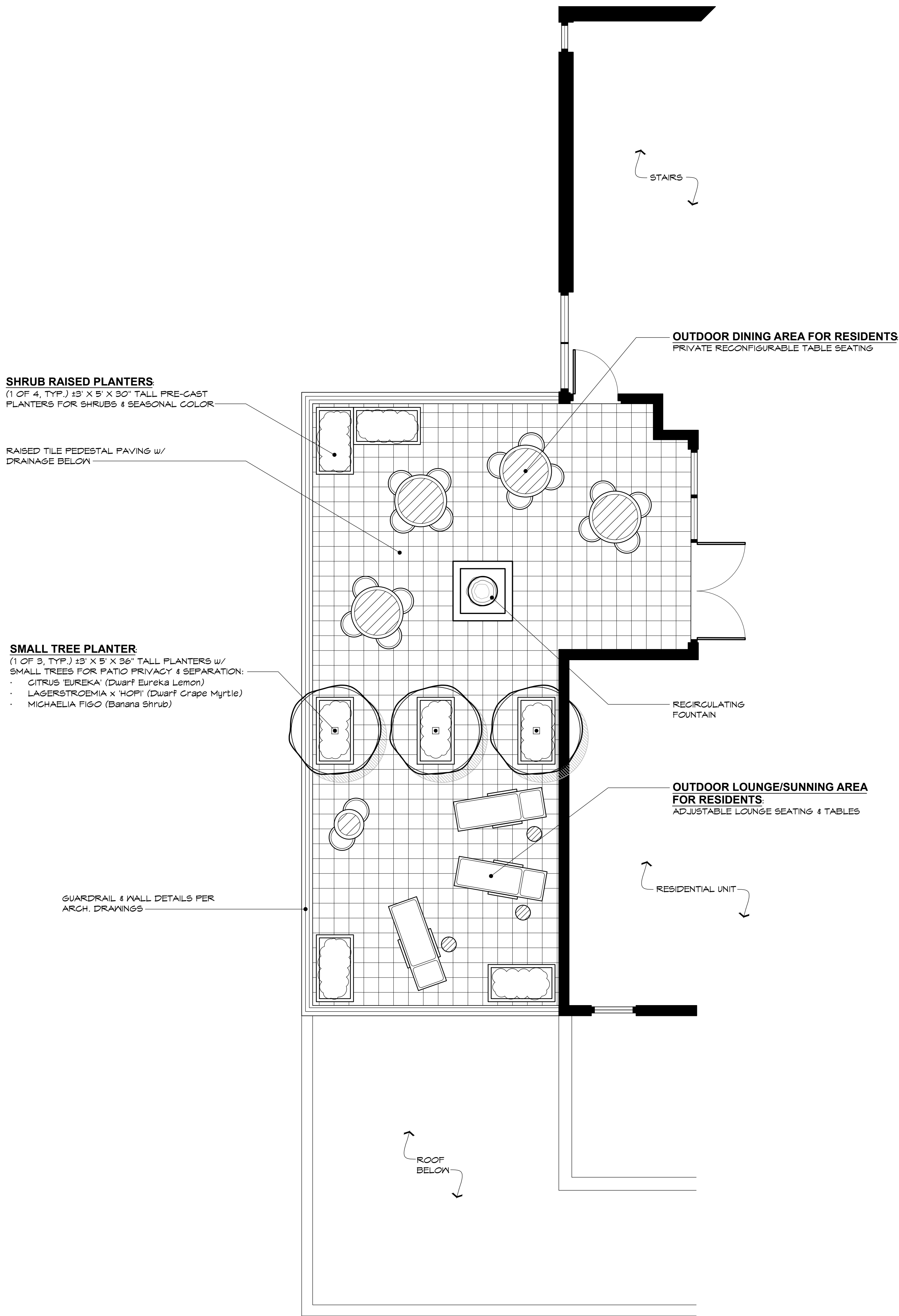
NOT FOR
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SITE PLAN

L1

of





Kikuchi + Kankel
Design Group

Landscape Architecture
Environmental Design
Site Planning

730 Mill Streer
Half Moon Bay, CA 94019
(650) 726-7100

www.kkdesigngroup.com

LANDSCAPE
IMPROVEMENTS

CALIFORNIA
DRIVE
LIVE-WORK

619-625 CALIFORNIA DRIVE
BURLINGAME, CA

APN: 029-131-140
029-131-150
029-131-160

NOT FOR
CONSTRUCTION

Revisions: Initial Review Comments
3/21/2017

Date: 11/7/2016 PLAN CHECK

Scale:
1/4" = 1'-0"

Drawn By:

TMC



4TH FLOOR ROOF
TERRACE PLAN

Sheet No.

L2

Of

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(A) CORNER PLAZA FROM CALIFORNIA DRIVE N.T.S.



(B) CORNER PLAZA N.T.S.



(C) CORNER PLAZA/BUILDING ENTRY FROM OAK GROVE AVENUE N.T.S.



**Kikuchi + Kankel
Design Group**

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Environmental Design
Site Planning

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**LANDSCAPE
IMPROVEMENTS**

CALIFORNIA DRIVE LIVE-WORK

619-625 CALIFORNIA DRIVE
BURLINGAME, CA
APN: 029-131-140
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029-131-160

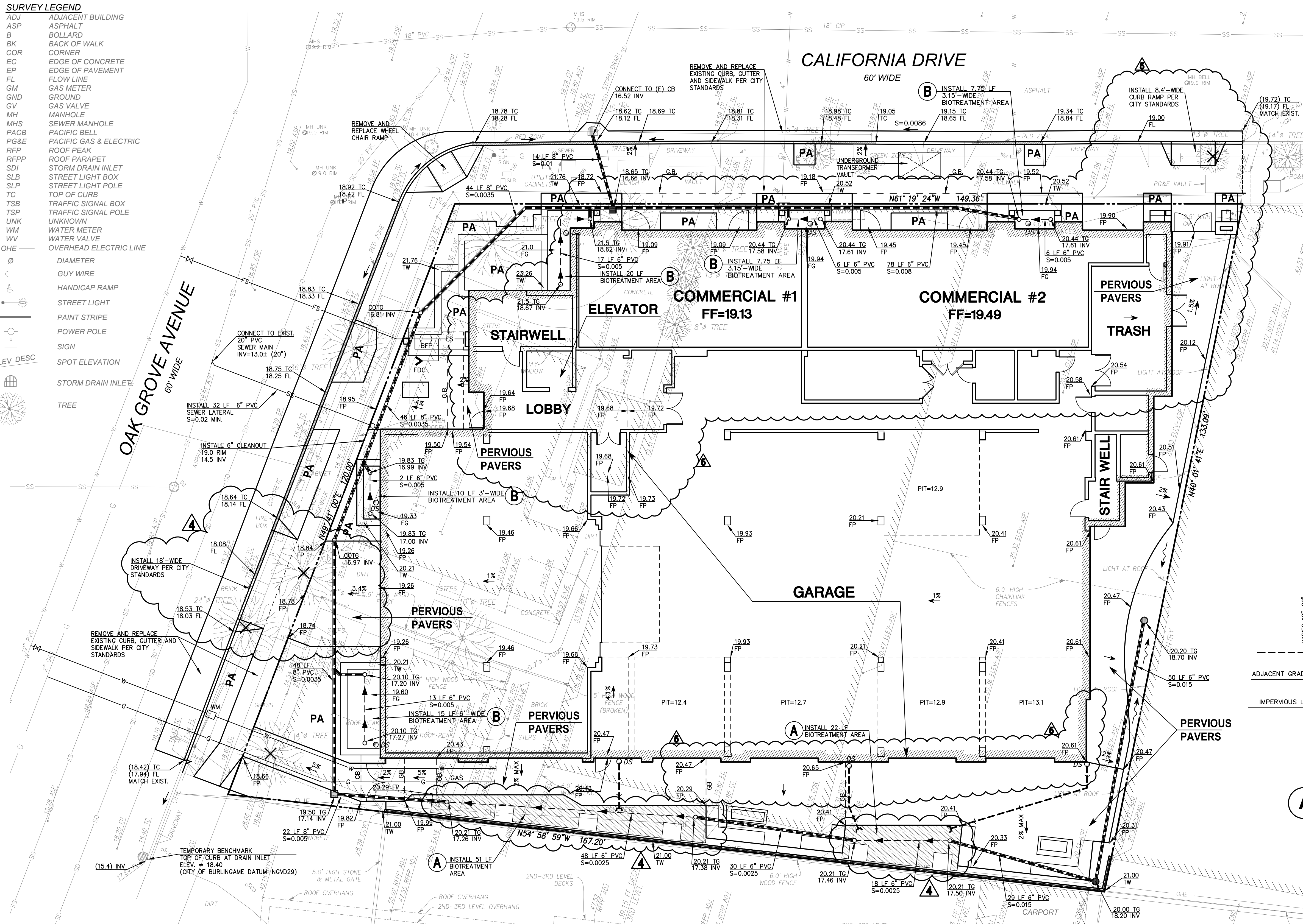
**NOT FOR
CONSTRUCTION**

△	Planning Commission Comments	9/29/2017
△	Initial Review Comments	5/4/2017
Revisions: △	Initial Review Comments	3/21/2017
Date: 11/7/2016 PLAN CHECK		
Scale:	AS NOTED	
Drawn By:	TMC	

**CORNER PLAZA
CONCEPT IMAGES**

Sheet No.
L3
Of

- SURVEY LEGEND**
- ADJ ADJACENT BUILDING
ASP ASPHALT
B BOLLARD
BK BACK OF WALK
COR CORNER
EC EDGE OF CONCRETE
EP EDGE OF PAVEMENT
FL FLOW LINE
GM GAS METER
GV GAS VALVE
MH MANHOLE
MHS SEWER MANHOLE
PACB PACIFIC GAS & ELECTRIC
PG&E PACIFIC GAS & ELECTRIC
RFP ROOF PEAK
RFPF ROOF PARAPET
SDI STORM DRAIN INLET
SLB STREET LIGHT BOX
SLP STREET LIGHT POLE
TC TOP OF CURB
TSB TRAFFIC SIGNAL BOX
TSP TRAFFIC SIGNAL POLE
UNK UNKNOWN
WM WATER METER
WV WATER VALVE
OHE OVERHEAD ELECTRIC LINE
- DIAMETER
GUY WIRE
HANDICAP RAMP
STREET LIGHT
PAINT STRIPE
POWER POLE
SIGN
SPOT ELEVATION
STORM DRAIN INLET
TREE
- ELEV DESC



UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

SURVEY NOTE:

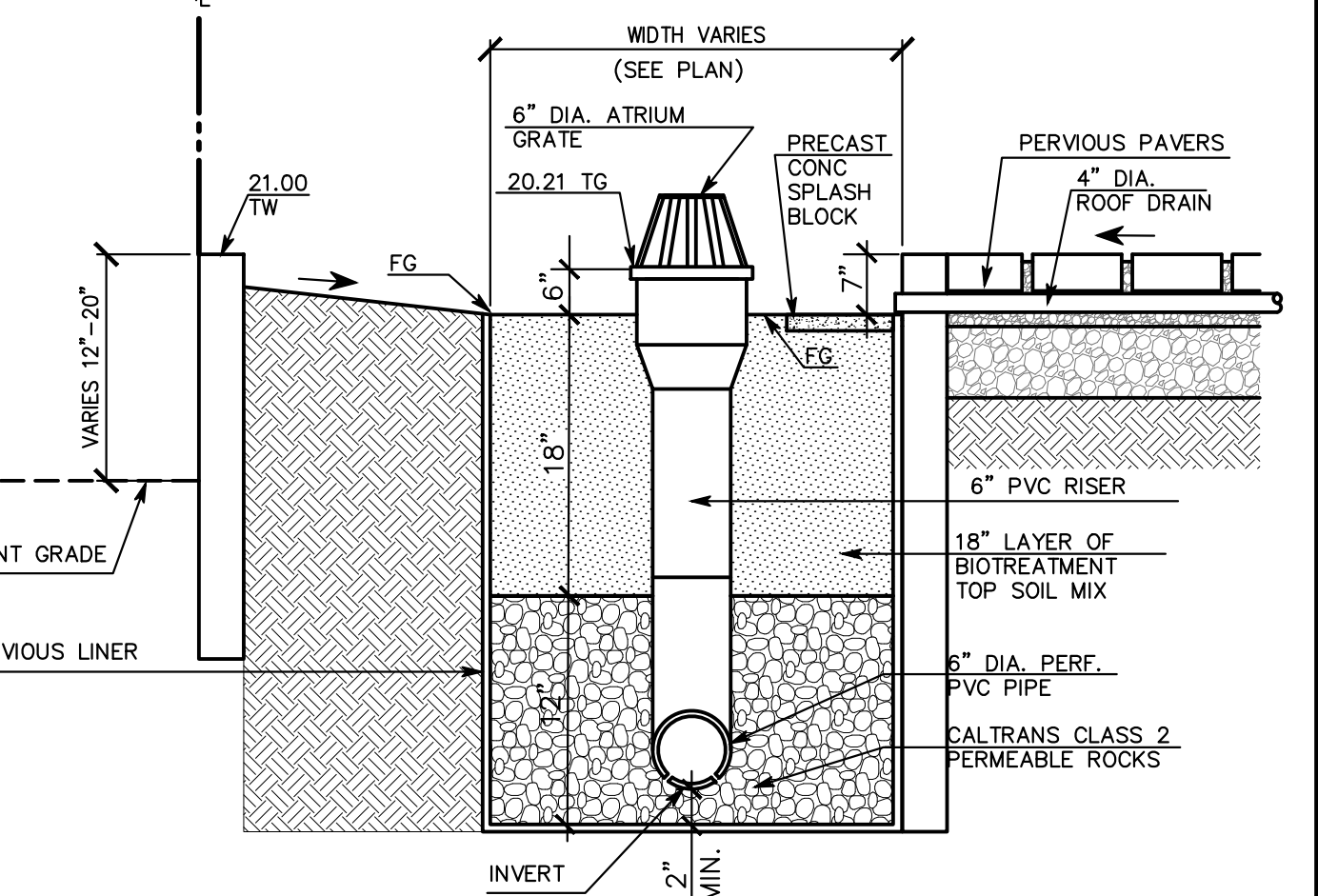
THE EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM AN ARCHITECTURAL SITE SURVEY PLAN PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC., JOB NO. 1967-16, DATED OCTOBER 17, 2016.

IMPERVIOUS AREAS:

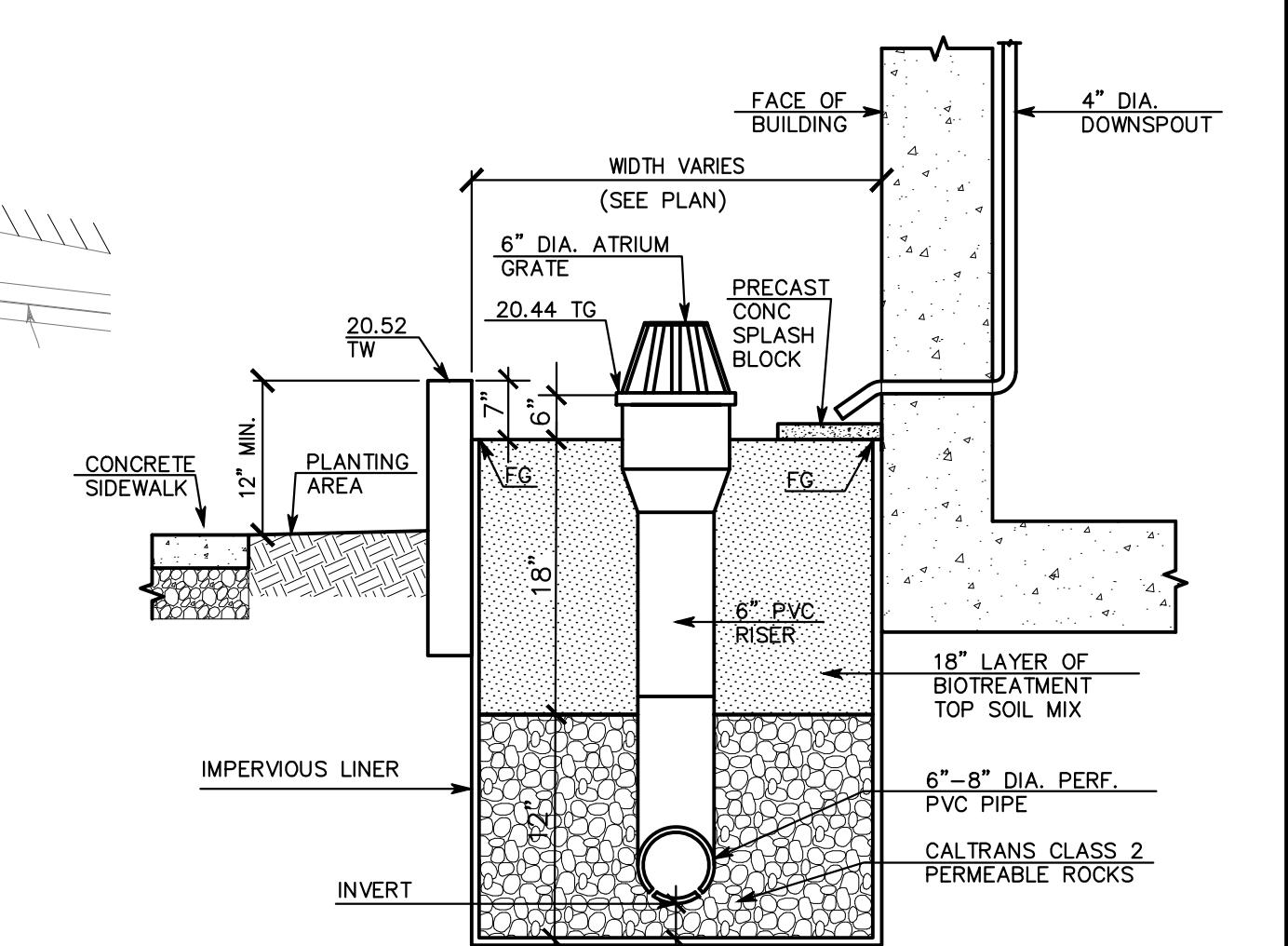
EXISTING IMPERVIOUS AREA = 17,351 S.F.
PROPOSED IMPERVIOUS AREA = 14,214 S.F.
DECREASE IN IMPERVIOUS AREA = 3,137 S.F.
(NO DETENTION REQUIRED)

GRADING PLAN LEGEND:

- AC PAVE ASPHALT CONCRETE PAVEMENT
BFP BACK FLOW PREVENTER
COTG CLEANOUT TO GRADE
DS DOWNSPOUT
ELEC ELECTRIC
FDC FIRE DEPARTMENT CONNECTION
FG FINISH FLOOR
FL FLOWLINE
FP FINISH PAVEMENT
GB GRADE BREAK
HP HIGH POINT
INV INVERT
PA PLANTING AREA
TC TOP OF CURB
TG TOP OF GRATE
TW TOP OF WALL
WM WATER METER
- PROPERTY LINE
ASPHALT CONCRETE PAVEMENT
CLEANOUT TO GRADE
DOWNSPOUT
ELECTRIC
FIRE DEPARTMENT CONNECTION
FINISH FLOOR
FINISH PAVEMENT
GRADE BREAK
HIGH POINT
INVERT
PLANTING AREA
TOP OF CURB
TOP OF GRATE
TOP OF WALL
WATER METER
- SURFACE RUNOFF DIRECTION
VEGETATED SWALE
NEW STORM DRAIN LINE
4" DIA. DOWNSPOUT LINE
ELECTRIC LINE
GAS LINE
FIRE SERVICE LINE
JOINT TRENCH LINE
SANITARY SEWER LINE
WATER LINE
NEW DRAIN INLET
- EXIST. TREE TO BE REMOVED



A SIDE BIOTREATMENT WITH OVERFLOW DETAIL
SCALE: NOT TO SCALE



B FRONTAGE BIOTREATMENT AREA WITH OVERFLOW DETAIL
SCALE: NOT TO SCALE

C-1

DATE: 08/27/16	BY: DJK	DESCRIPTION: PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
DATE: 02/07/18	BY: VPG	DESCRIPTION: ENVIRONMENTAL REVIEW
DATE: 09/29/17	BY: AAP	DESCRIPTION: PER NEW SITE PLAN
DATE: 03/21/17	BY: DJK	DESCRIPTION: INITIAL REVIEW COMMENTS
DATE: 03/21/17	BY: DJK	DESCRIPTION: REV. 1

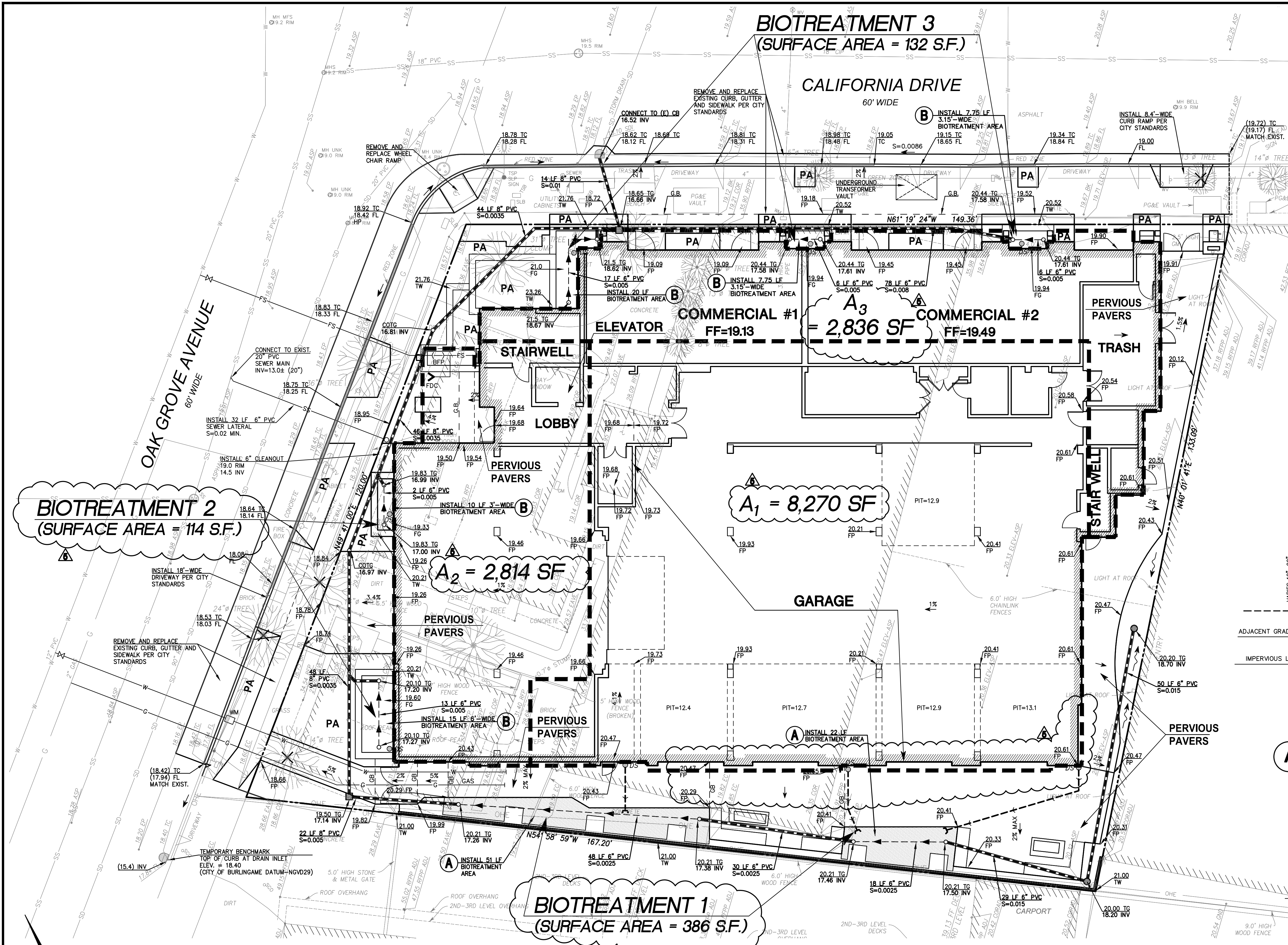
REGISTERED PROFESSIONAL ENGINEER
DANIEL S. MACLEOD
No. 35048
CIVIL
STATE OF CALIFORNIA

MACLEOD AND ASSOCIATES
CIVIL ENGINEERING • LAND SURVEYING
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560

PREPARED FOR:
EDWARD DUFFY

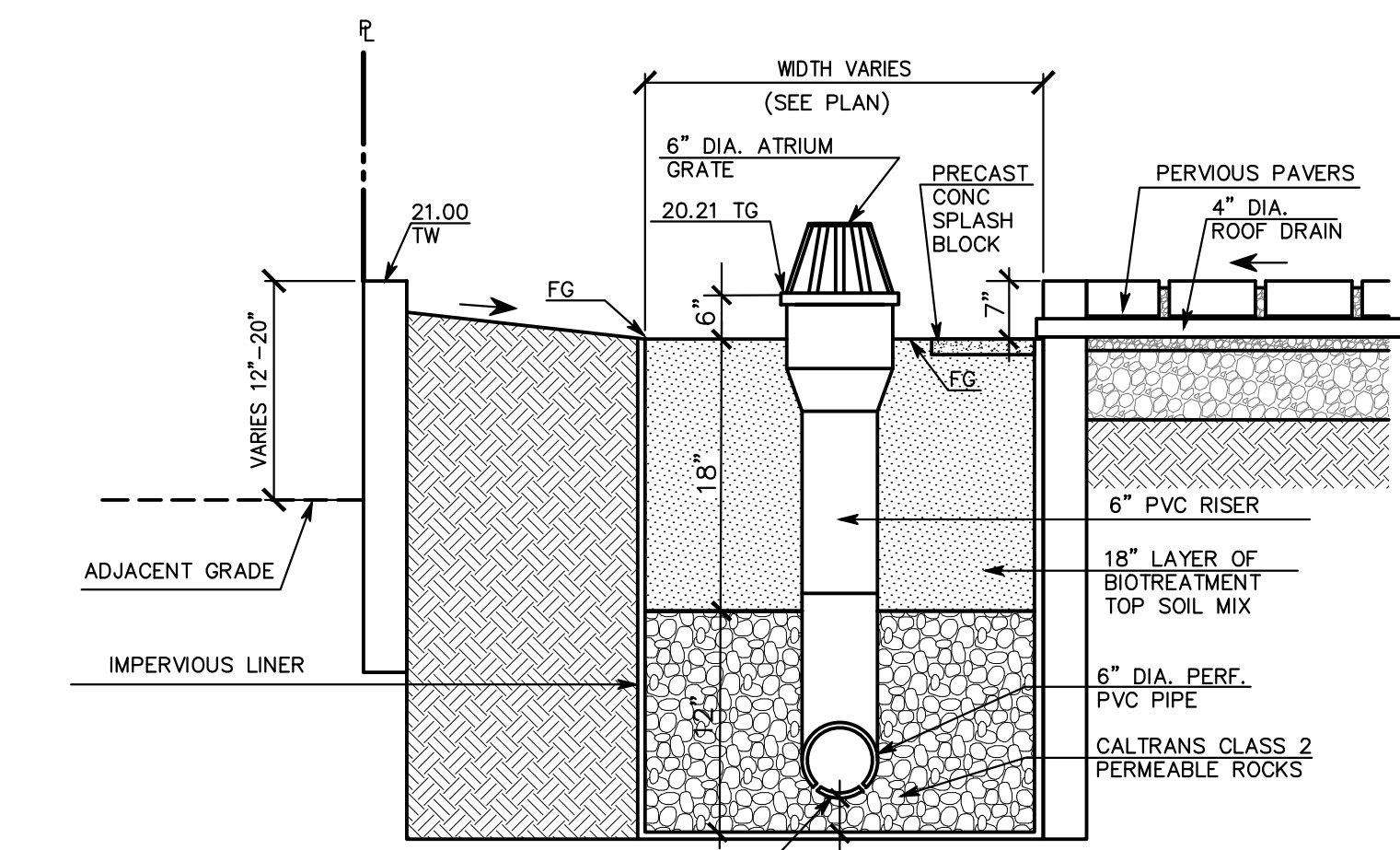
PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
619-625 CALIFORNIA DRIVE
BURLINGAME
SAN MATEO COUNTY CALIFORNIA

DRAWN BY: DJK
DESIGNED BY: VPG/DJK
CHECKED BY: DGM
SCALE: 1"=10'
DATE: 03/21/17
DRAWING NO. 4402-GRAD
SHEET 1 OF 2

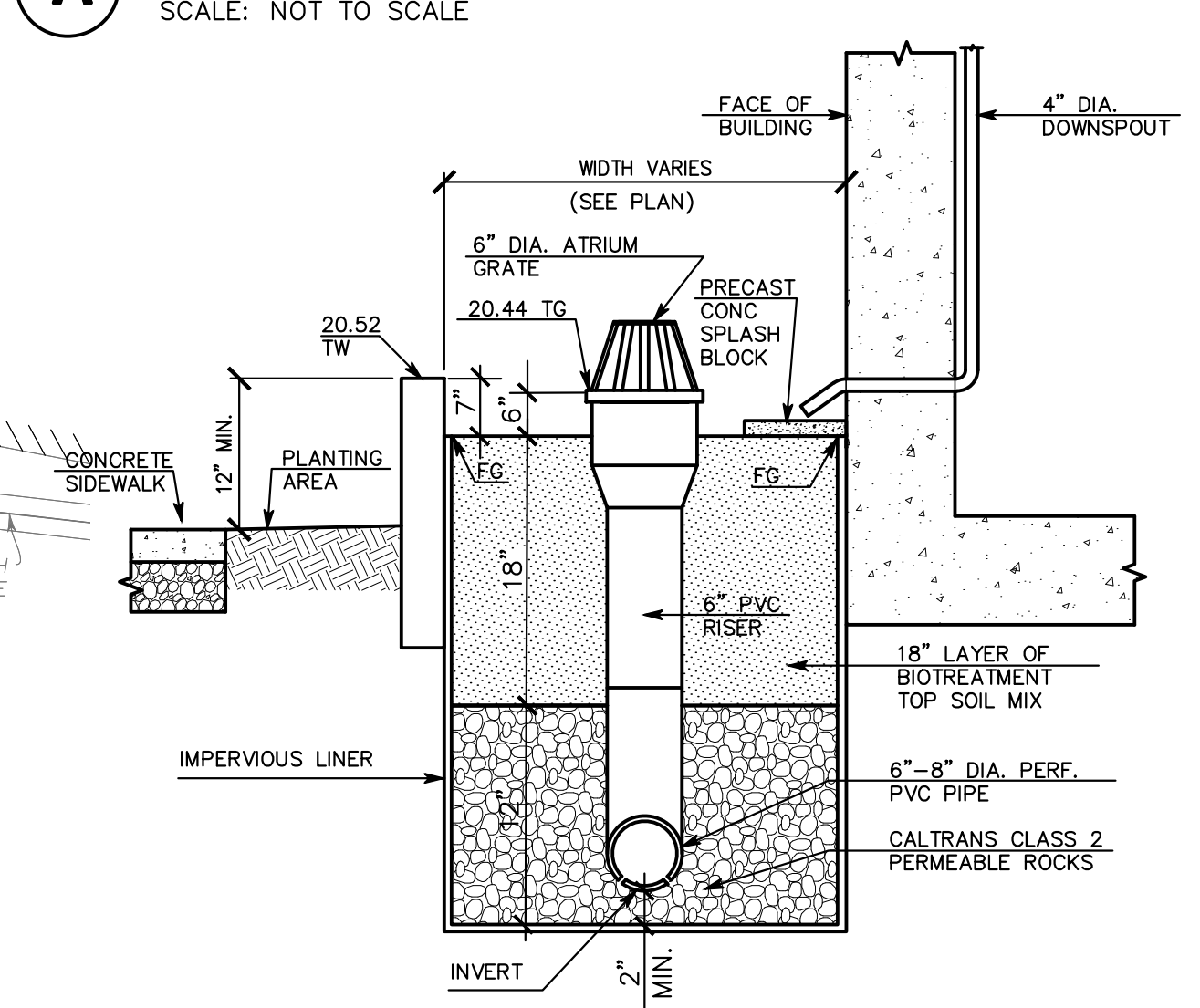


GRADING PLAN LEGEND:

- | | |
|---------|----------------------------|
| --- | PROPERTY LINE |
| AC PAVE | ASPHALT CONCRETE PAVEMENT |
| BFP | BACK FLOW PREVENTER |
| COTG | CLEANOUT TO GRADE |
| DS | DOWNSPOUT |
| ELEC | ELECTRIC |
| FDC | FIRE DEPARTMENT CONNECTION |
| FF | FINISH FLOOR |
| FG | FINISH GRADE |
| FL | FLOWLINE |
| FP | FINISH PAVEMENT |
| GB | GRADE BREAK |
| HP | HIGH POINT |
| INV | INVERT |
| PA | PLANTING AREA |
| TC | TOP OF CURB |
| TG | TOP OF GRATE |
| TW | TOP OF WALL |
| WM | WATER METER |
| → | SURFACE RUNOFF DIRECTION |
| → | VEGETATED SWALE |
| → | NEW STORM DRAIN LINE |
| → | 4" DIA. DOWNSPOUT LINE |
| E | ELECTRIC LINE |
| G | GAS LINE |
| FS | FIRE SERVICE LINE |
| JT | JOINT TRENCH LINE |
| SS | SANITARY SEWER LINE |
| W | WATER LINE |
| ■ | NEW DRAIN INLET |



A SIDE BIOTREATMENT WITH OVERFLOW DETAIL
SCALE: NOT TO SCALE



B FRONTAGE BIOTREATMENT AREA WITH OVERFLOW DETAIL
SCALE: NOT TO SCALE

UTILITY NOTE:

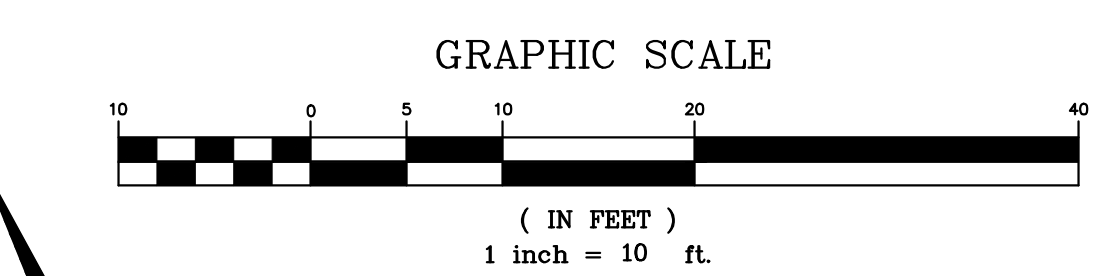
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

SURVEY NOTE:

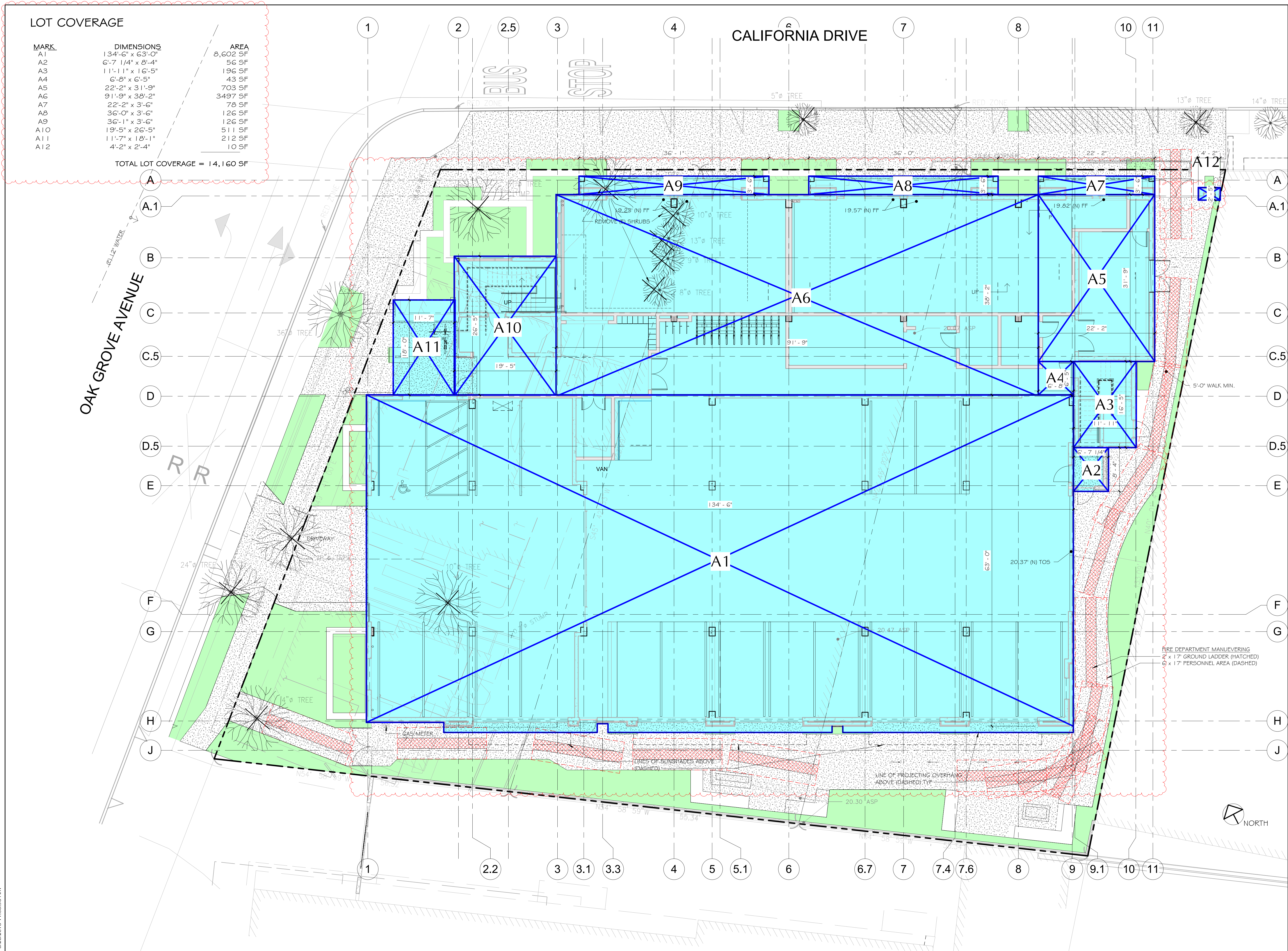
THE EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM AN ARCHITECTURAL SITE SURVEY PLAN PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC., JOB NO. 1967-16, DATED OCTOBER 17, 2016

STORMWATER RUNOFF TREATMENT CALCULATIONS

DESIGN CRITERIA:
- C.3 STORMWATER TECHNICAL GUIDANCE CHAPTER 6.1
REQUIRED BIOTREATMENT AREA (FOOTPRINT) = 4% OF THE IMPERVIOUS SURFACE AREA.
IMPERVIOUS AREA 1 = 8,270 S.F.
USE 143.9 & 242.3 S.F. BIOTREATMENT AREAS
REQUIRED AREA OF BIOTREATMENT = 8,270 (0.04) = 330.8 S.F.
PROPOSED AREA OF BIOTREATMENT = 143.9 + 242.3 = 386.2 S.F. > 330.8 S.F. OK
IMPERVIOUS AREA 2 = 2,814 S.F.
USE 15' X 6' & 4' X 6' BIOTREATMENT AREAS
REQUIRED AREA OF BIOTREATMENT = 2,814 (0.04) = 112.6 S.F.
PROPOSED AREA OF BIOTREATMENT = (15' X 6') + (4' X 6') = 114 S.F. > 112.6 S.F. OK
IMPERVIOUS AREA 3 = 2,836 S.F.
USE TWO 7.75' X 3.15' & 83.5 S.F. BIOTREATMENT AREAS
REQUIRED AREA OF BIOTREATMENT = 2,836 (0.04) = 113.4 S.F.
PROPOSED AREA OF BIOTREATMENT = 2(7.75' X 3.15') + 83.5 S.F. = 132.3 S.F. > 113.4 S.F. OK



08/27/16	02/07/18	09/29/17	03/21/17	DATE:
DK	VPG	AAP	DK	BY:
PC ACTION HEARING	ENVIRONMENTAL REVIEW	PER NEW SITE PLAN	INITIAL REVIEW COMMENTS	DESCRIPTION
REGISTERED PROFESSIONAL ENGINEER	NO. 35048	CIVIL	STATE OF CALIFORNIA	
MACLEOD AND ASSOCIATES				
CIVIL ENGINEERING • LAND SURVEYING				
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560				
PREPARED FOR:	EDWARD DUFFY			
STORMWATER TREATMENT PLAN	CALIFORNIA			
619-625 CALIFORNIA DRIVE				
SAN MATEO COUNTY				
BURLINGAME				
DRAWN BY:	DK			
DESIGNED BY:	VPG/DK			
CHECKED BY:	DK			
SCALE:	1"=10'			
DATE:	03/21/17			
DRAWING NO.	4402-STRM			
SHEET	2 OF 2			



LOT COVERAGE

MARK	DIMENSIONS	AREA
A1	134'-6" x 63'-0"	8,602 SF
A2	6'-7 1/4" x 8'-4"	56 SF
A3	11'-11" x 16'-5"	196 SF
A4	6'-8" x 6'-5"	43 SF
A5	22'-2" x 31'-9"	703 SF
A6	91'-9" x 38'-2"	3497 SF
A7	22'-2" x 3'-6"	78 SF
A8	36'-0" x 3'-6"	126 SF
A9	36'-1" x 3'-6"	126 SF
A10	19'-5" x 26'-5"	511 SF
A11	11'-7" x 18'-1"	212 SF
A12	4'-2" x 2'-4"	10 SF

TOTAL LOT COVERAGE = 14,160 SF

Ellis A. Schoichet AIA



Peninsula Building
307 South "B" Street #12 San Mateo CA 94401
650.343.3452

California Drive Live-Work 619-625 California Dr. Burlingame, CA

APN#: 029-131-140
APN#: 029-131-150
APN#: 029-131-160

Owner:
Ed Duffy / Renovatio Construction
415.533.4953

Architect:
EASA Architecture
650.343.3452

Surveyor:
Fredrick T. Seher & Associates, Inc.
415.921.7690

Geotechnical Engineer:
Ranig Engineers
650.591.5224

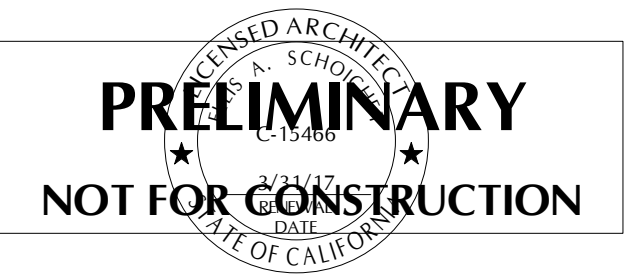
Civil Engineer:
MacLeod & Associates, Inc.
650.593.8580

Landscape Architect:
Kikuchi + Kankel Design Group
650.726.7100

Structural Engineer:
Murphy Burn Curry, Inc.
415.546.0431

MEP Engineer:
MHC Engineers
415.640.3800

Rev #	Date	Description	By
1	8/27/18	PC Action Hearing	SUL
2	9/29/17	PC Comments	SUL
3	3/21/17	Initial Review Comments	SUL

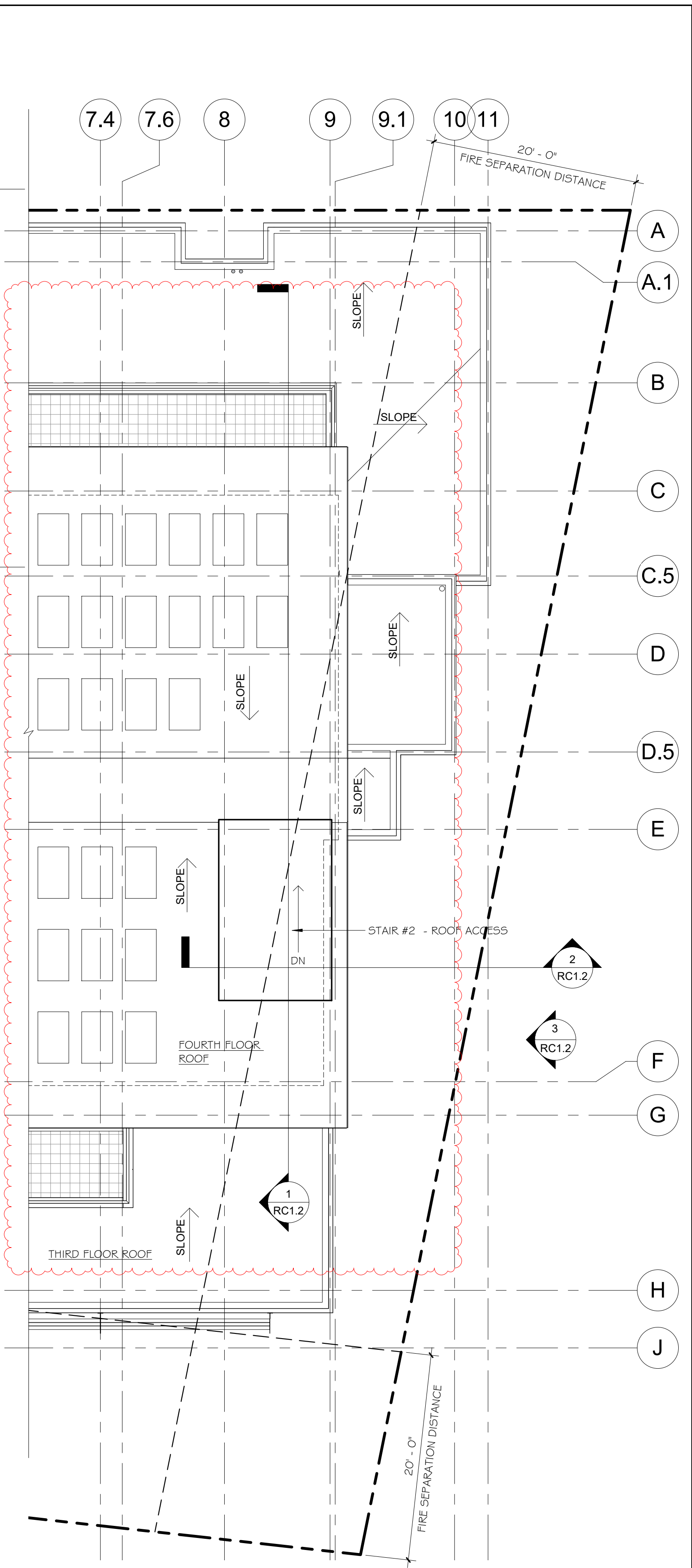
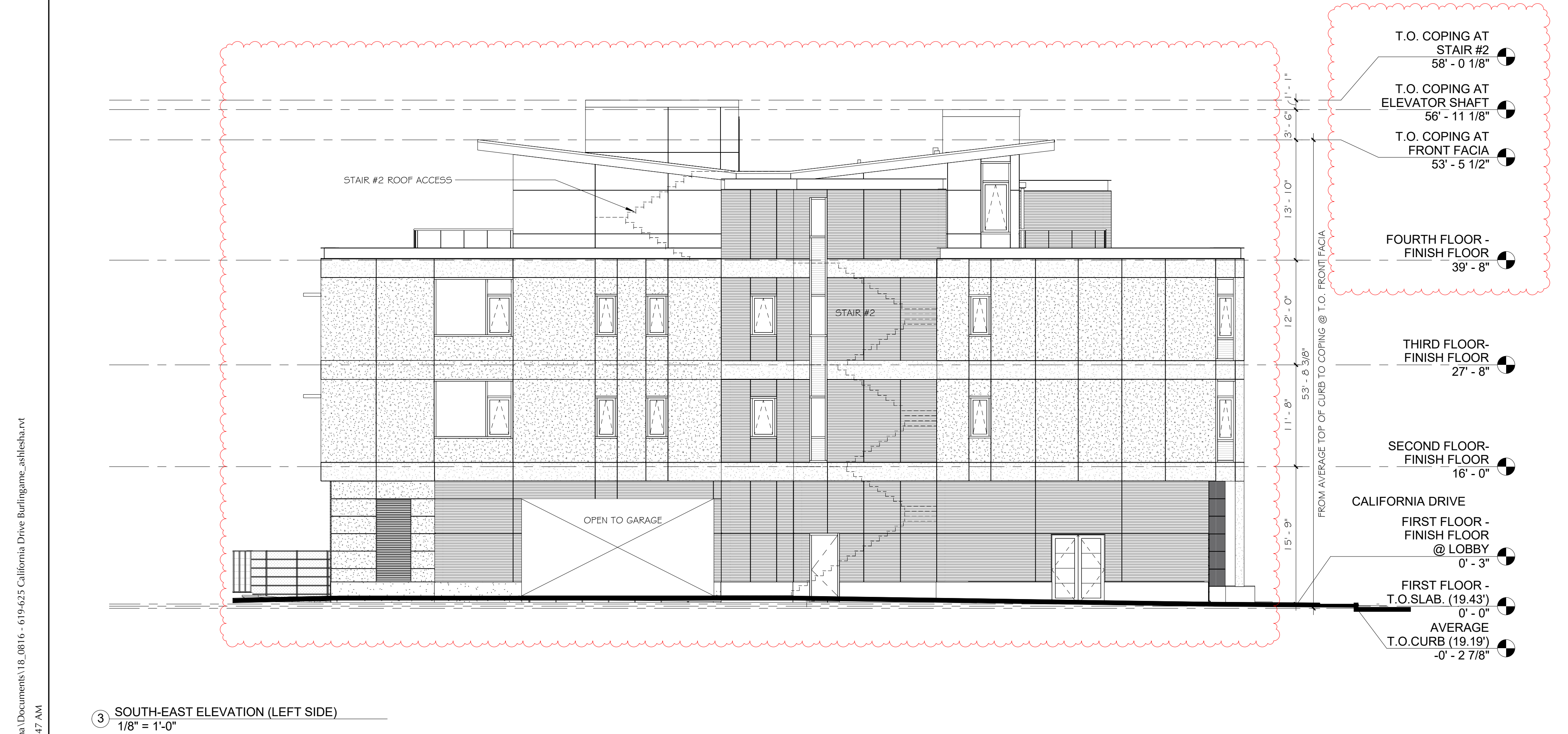
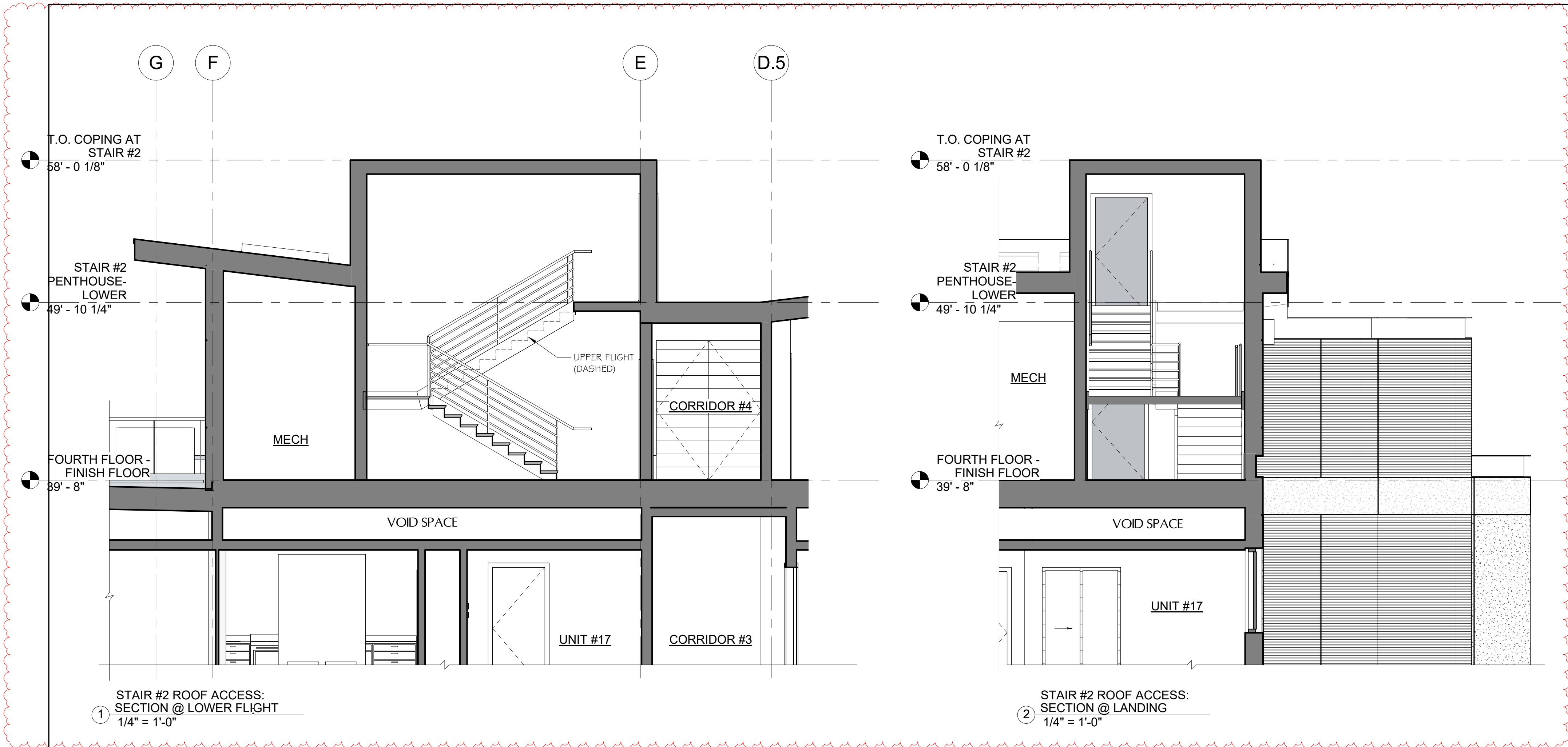


SHEET TITLE

LOT COVERAGE AND FIRE
DEPT ACCESS PLAN

KOB #	15666	SCALE	1/8" = 1'
DATE	03/21/	SHEET	RC1.1
DRAWN	SUL		
CHECKED	EAS		
REVIEWED			

C:\Users\Ashlesha\Documents\18_0816 - 619-625 California Drive Burlingame_ashlesha.rvt
8/28/2018 11:08:47 AM



4 PARTIAL FOURTH FLOOR
ROOF PLAN @ STAIR#2 PENTHOUSE
1/8" = 1'-0"



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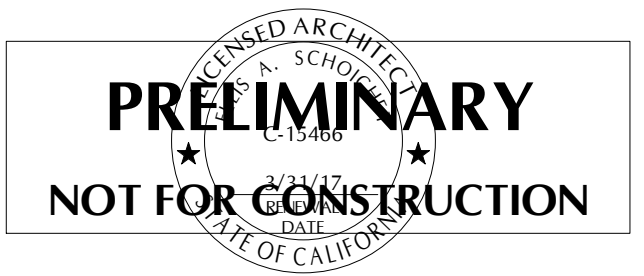
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415.640.3800

Rev #:	Date:	Description:	By:
5	8/27/18	PC Action Hearing	SUL
3	9/29/17	PC Comments	SUL
1	3/21/17	Initial Review Comments	SUL



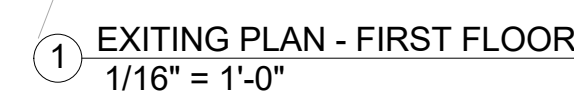
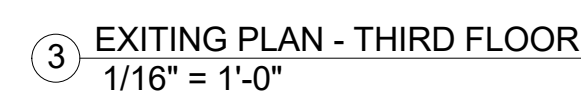
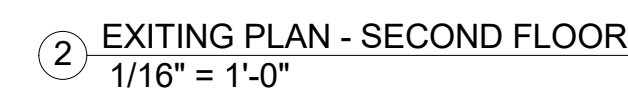
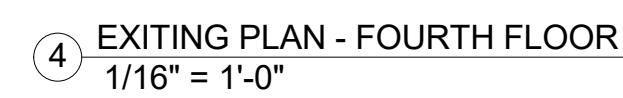
SHEET TITLE

STAIR#2 ROOF ACCESS PLAN,
SECTIONS & ELE.

JOB #	15666	SCALE	/AS NOTED
DATE	03/21/	SHEET	
DRAWN	SUL		
CHECKED	EAS		
REVISED			

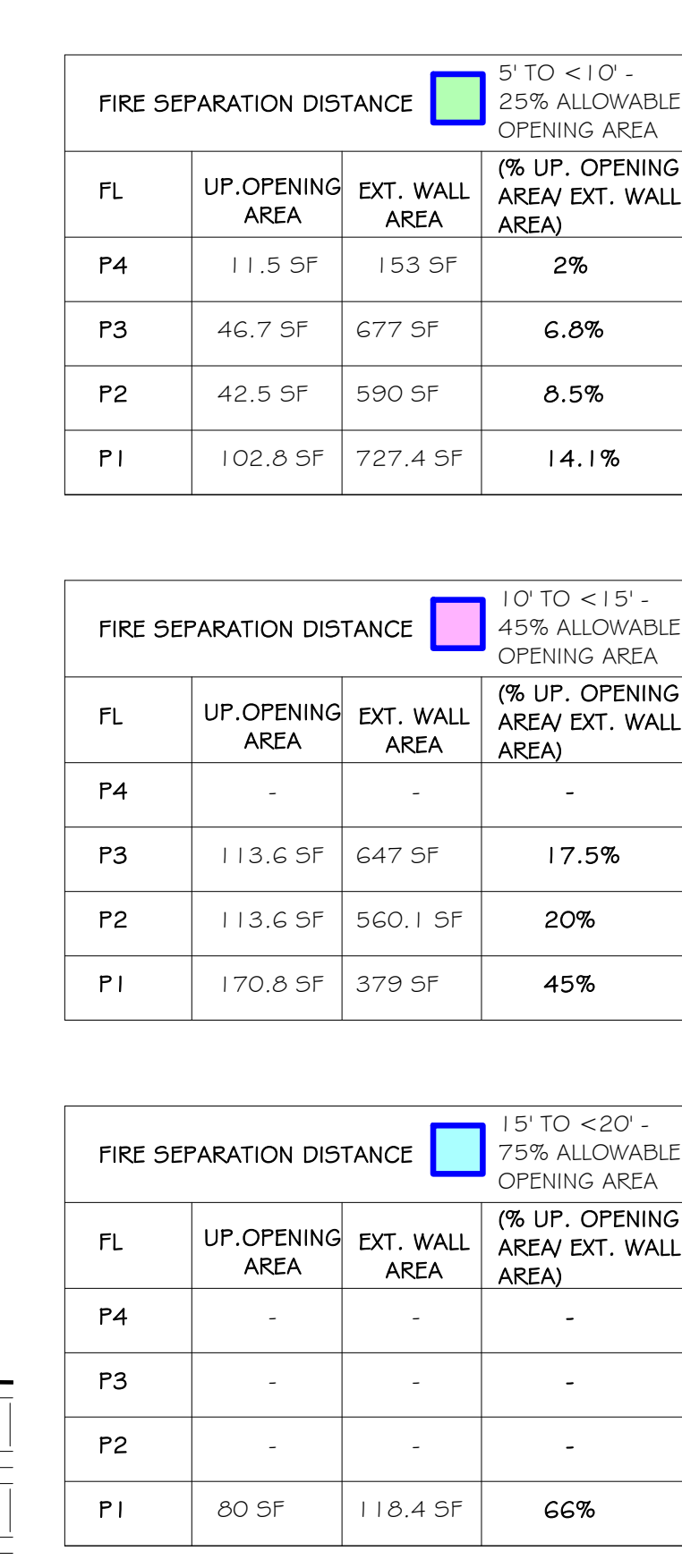
RC1.2

OF SHEETS


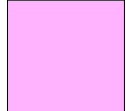






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JOB #	15666	SCALE	AS NOTED
DATE	03/21/	SHEET	RC2
DRAWN	Author		
CHECKED	Checker		
REVIEWED			

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FIRE SEPARATION DISTANCE

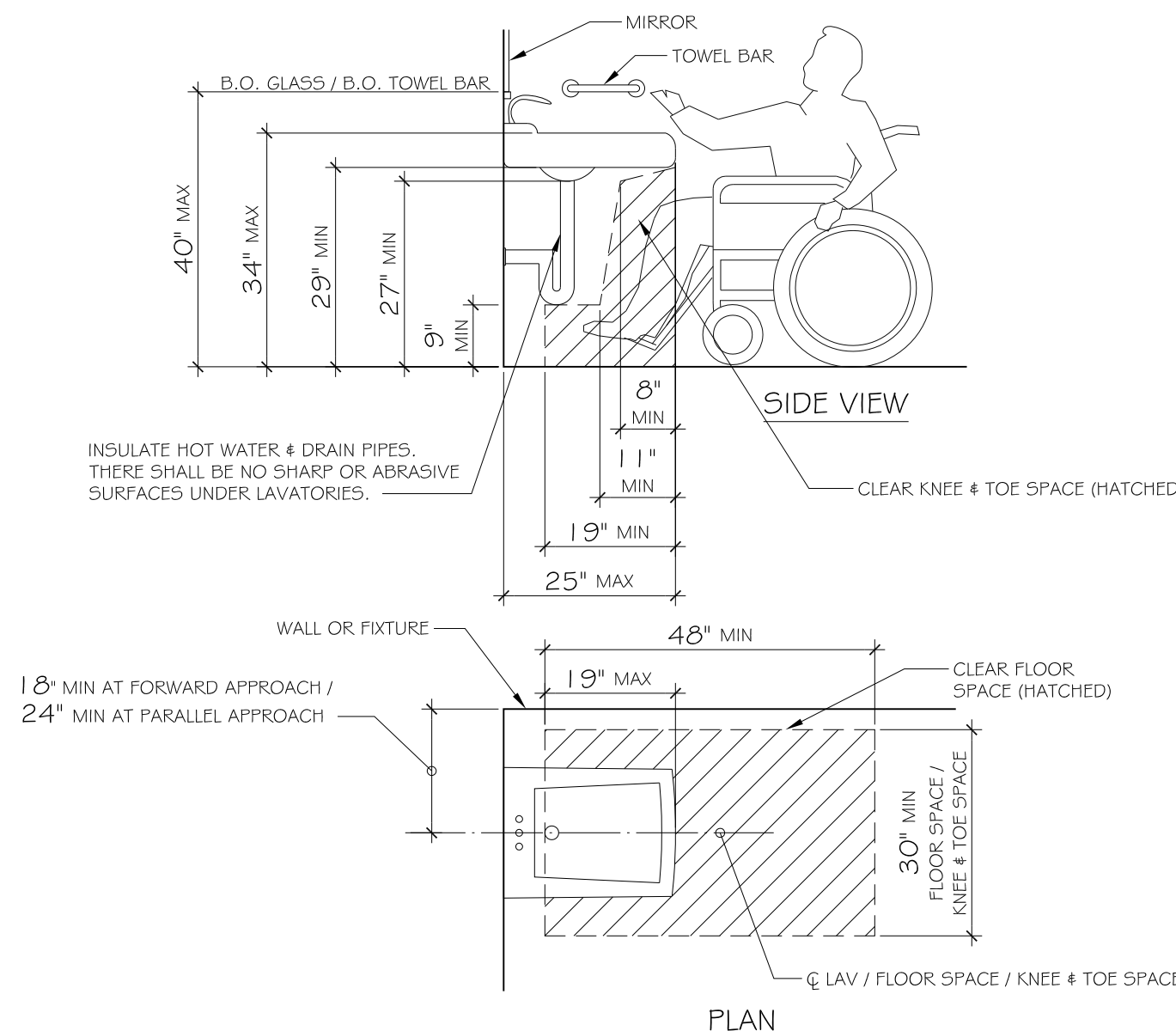
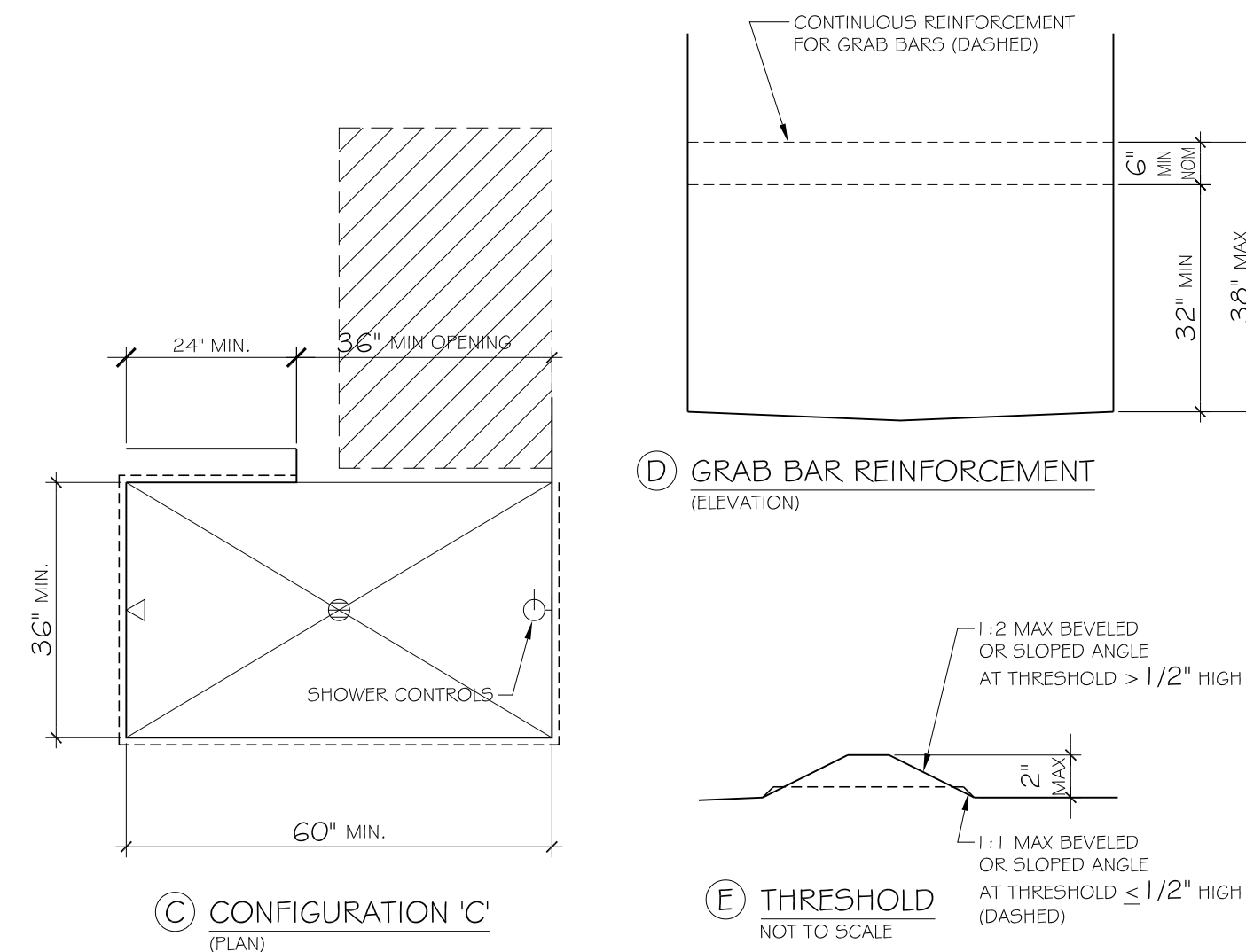
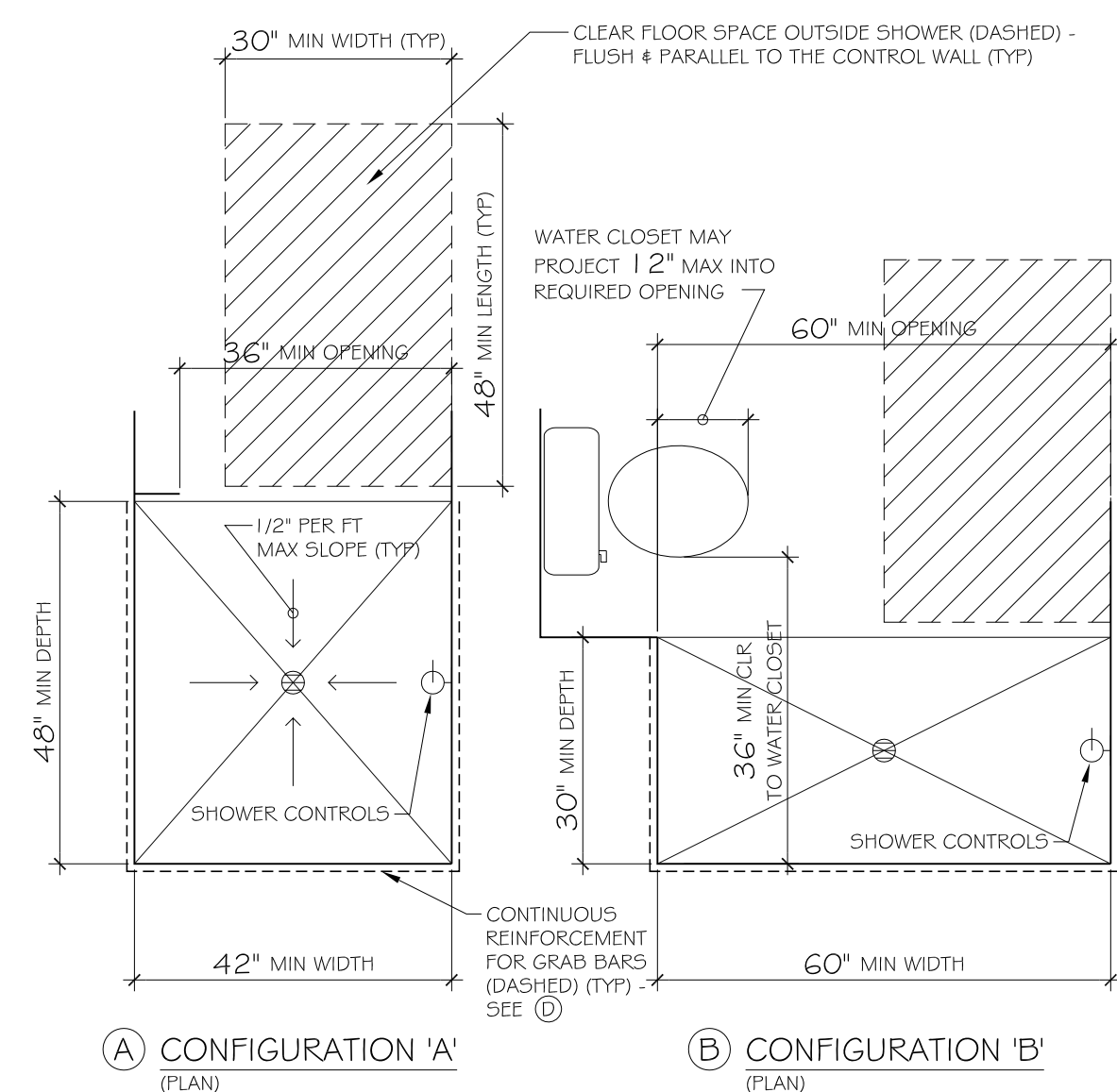
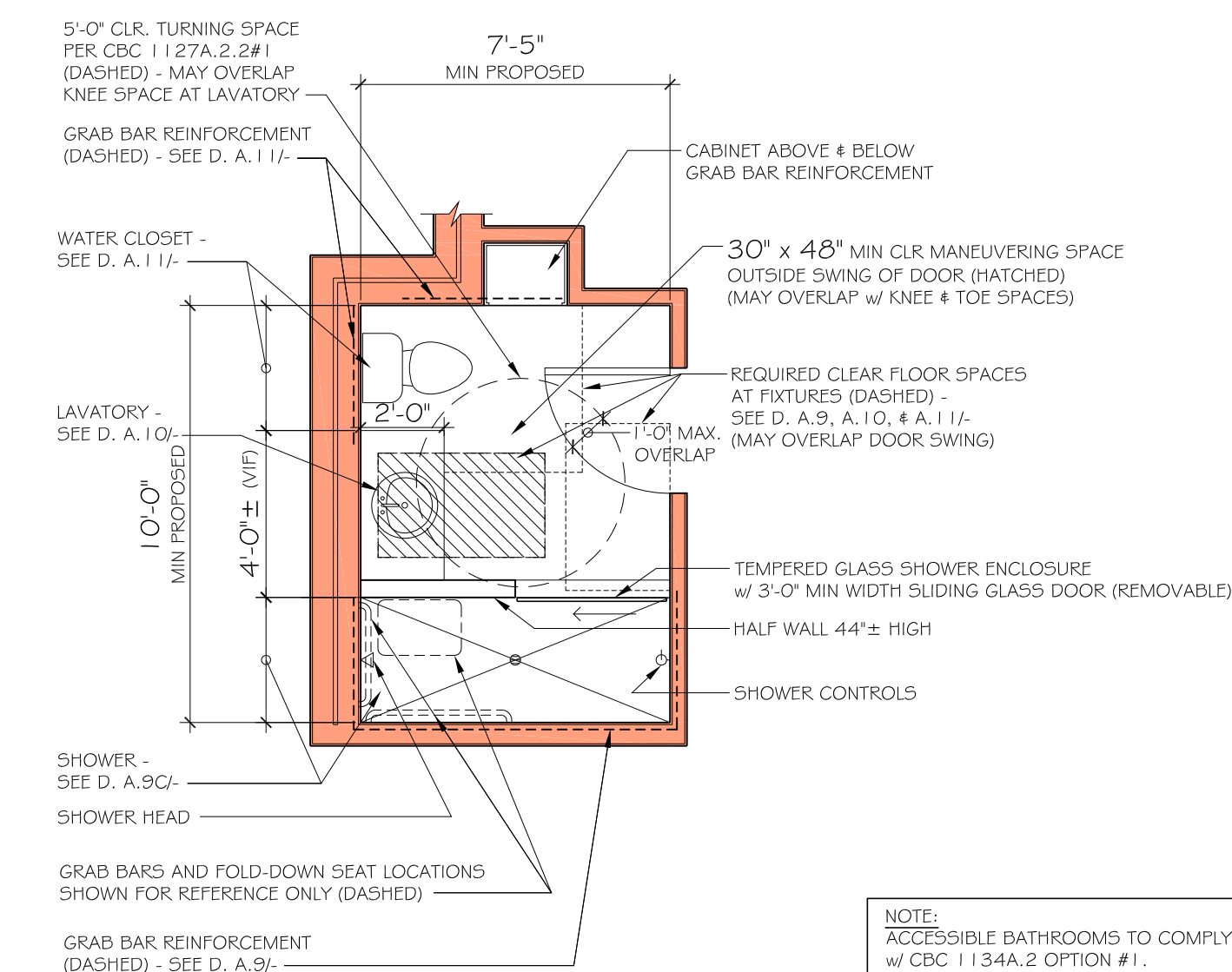
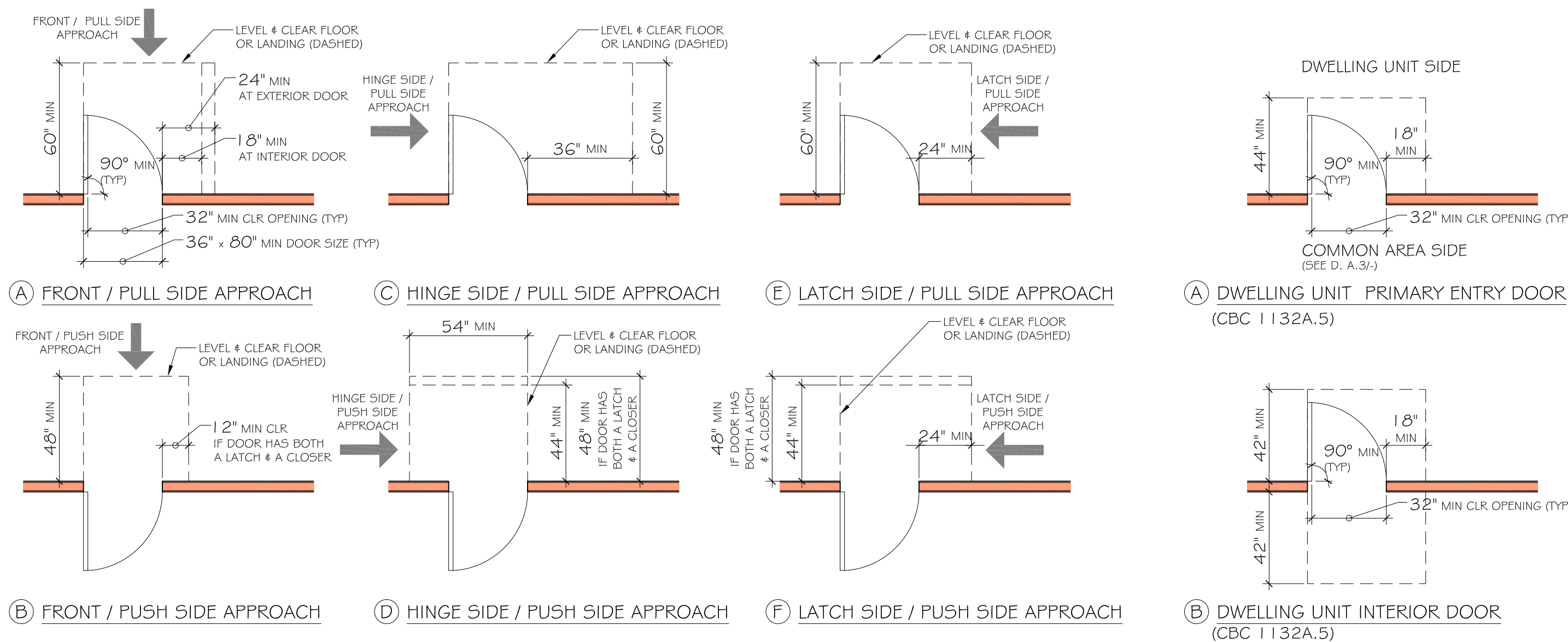
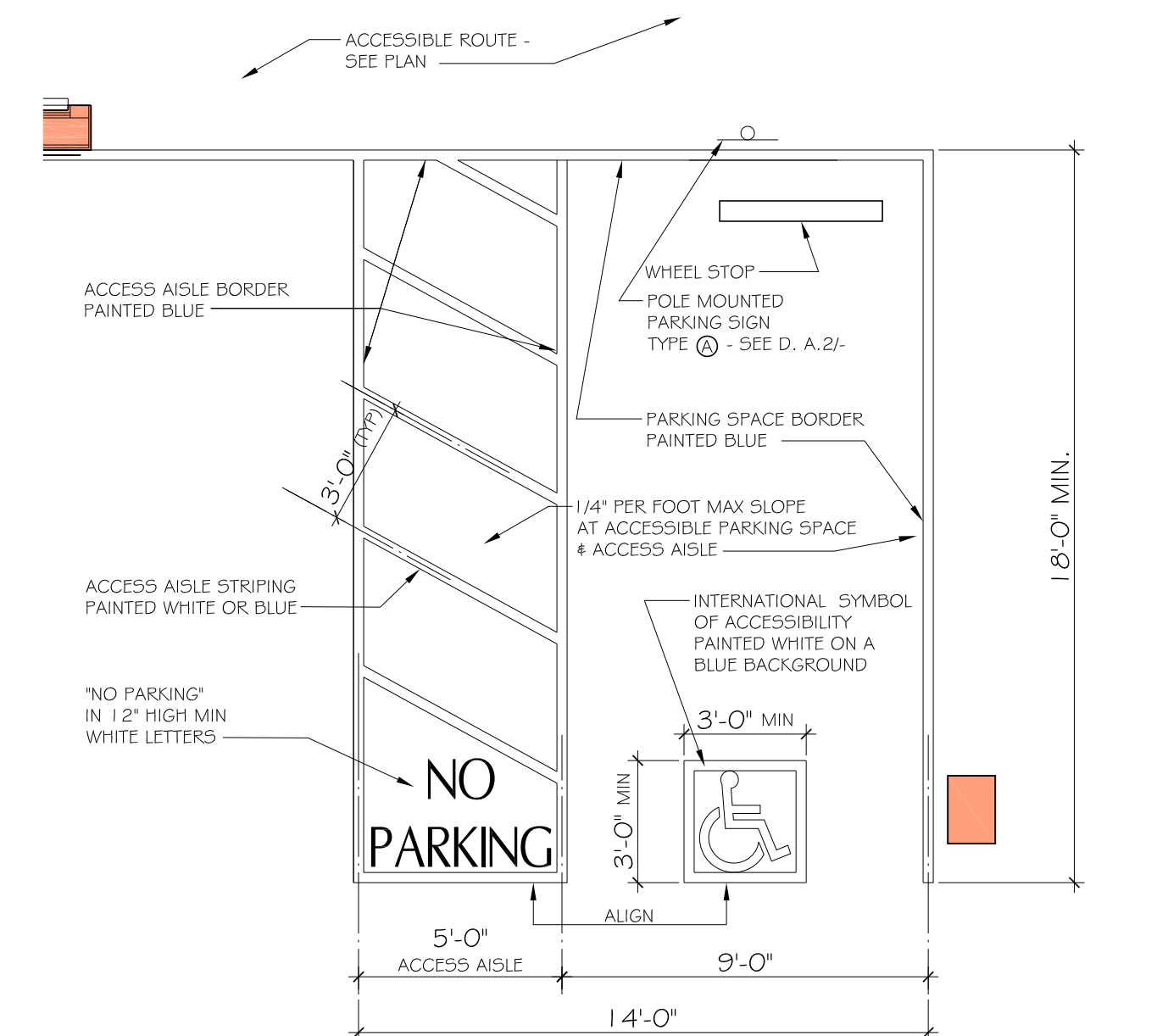
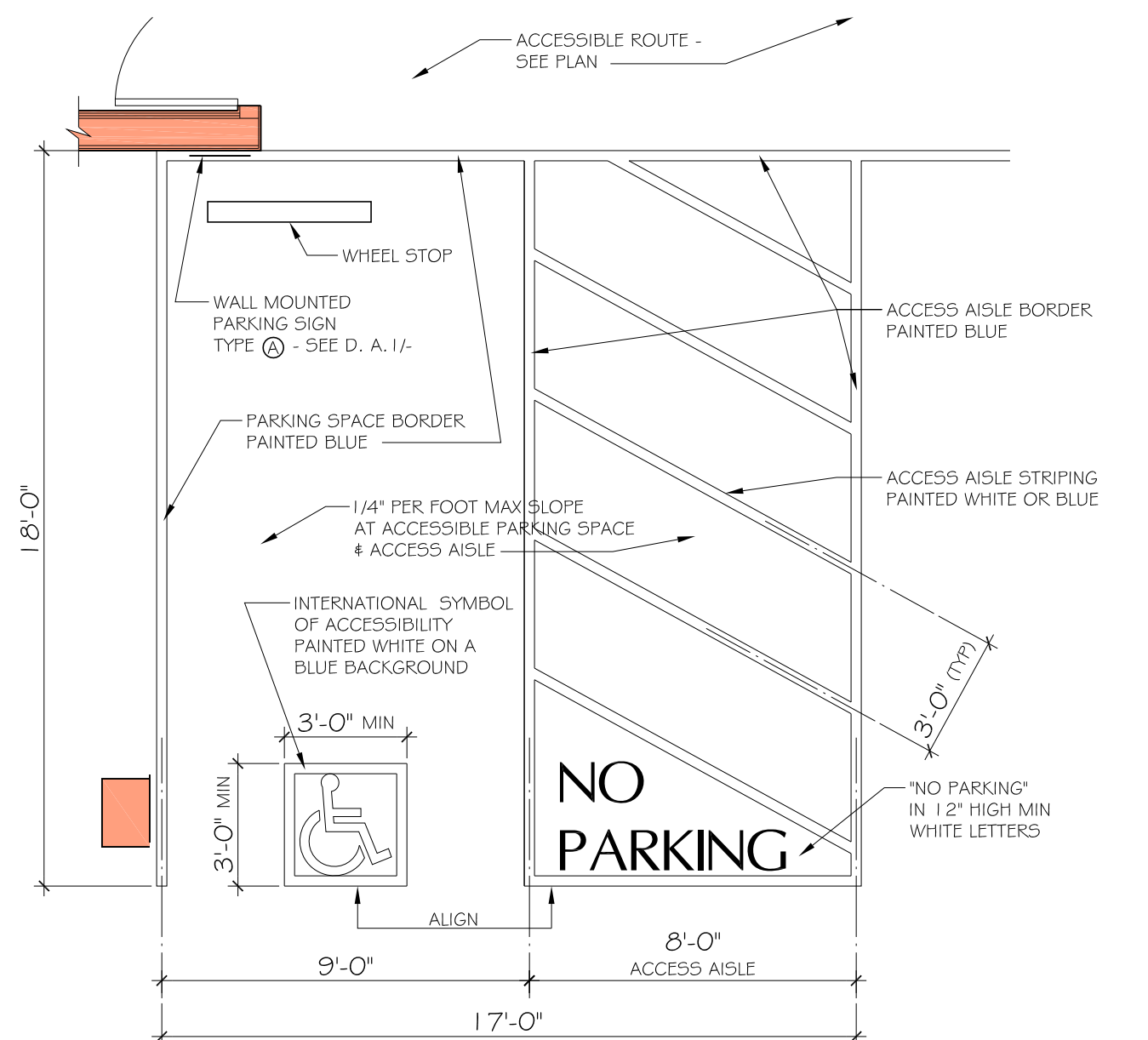
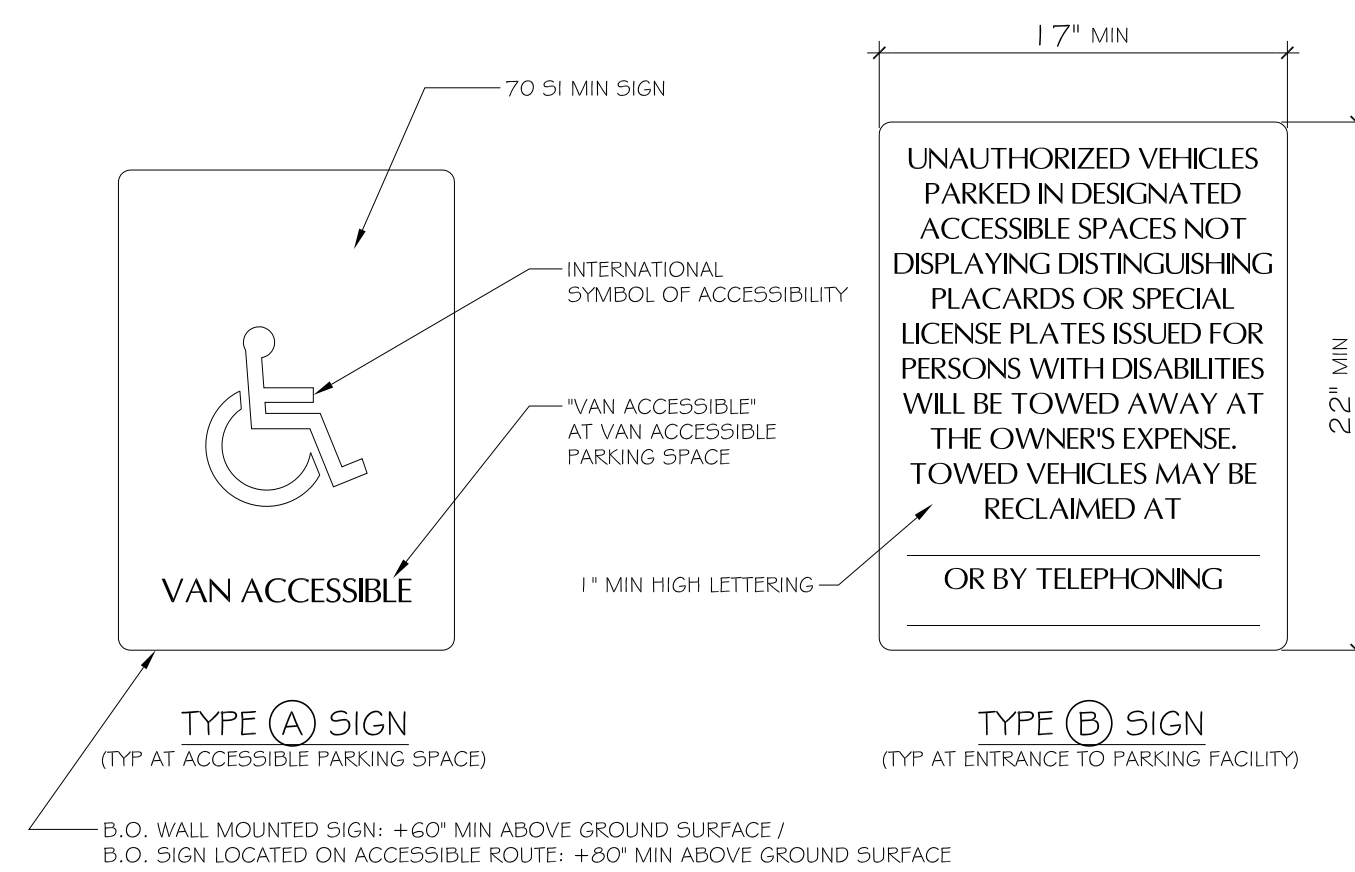
	FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = 5' TO <10' 25% ALLOWABLE OPENING AREA
	FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = 10' TO <15' 45% ALLOWABLE OPENING AREA
	FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = 15' TO <20' 75% ALLOWABLE OPENING AREA
	FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = >20' NO LIMIT TO OPENING AREA
	EXTERIOR WALL AREA
	UNPROTECTED OPENING AREA

5	8/27/18	PC Action Hearing	SUL
3	9/29/17	PC Comments	SUL
1	3/21/17	Initial Review Comments	SUL
Rev #:	Date:	Description:	By:

PRELIMINARY
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EXT WALL OPENINGS :
ELEVATIONS

JOB #	15666	SCALE	AS NOTED
DATE	03/21/	SHEET	RC3.2
DRAWN	Author		
CHECKED	Checker		
REVIEWED			
		OF	SHEETS.



Ellis A. Schoichet AIA



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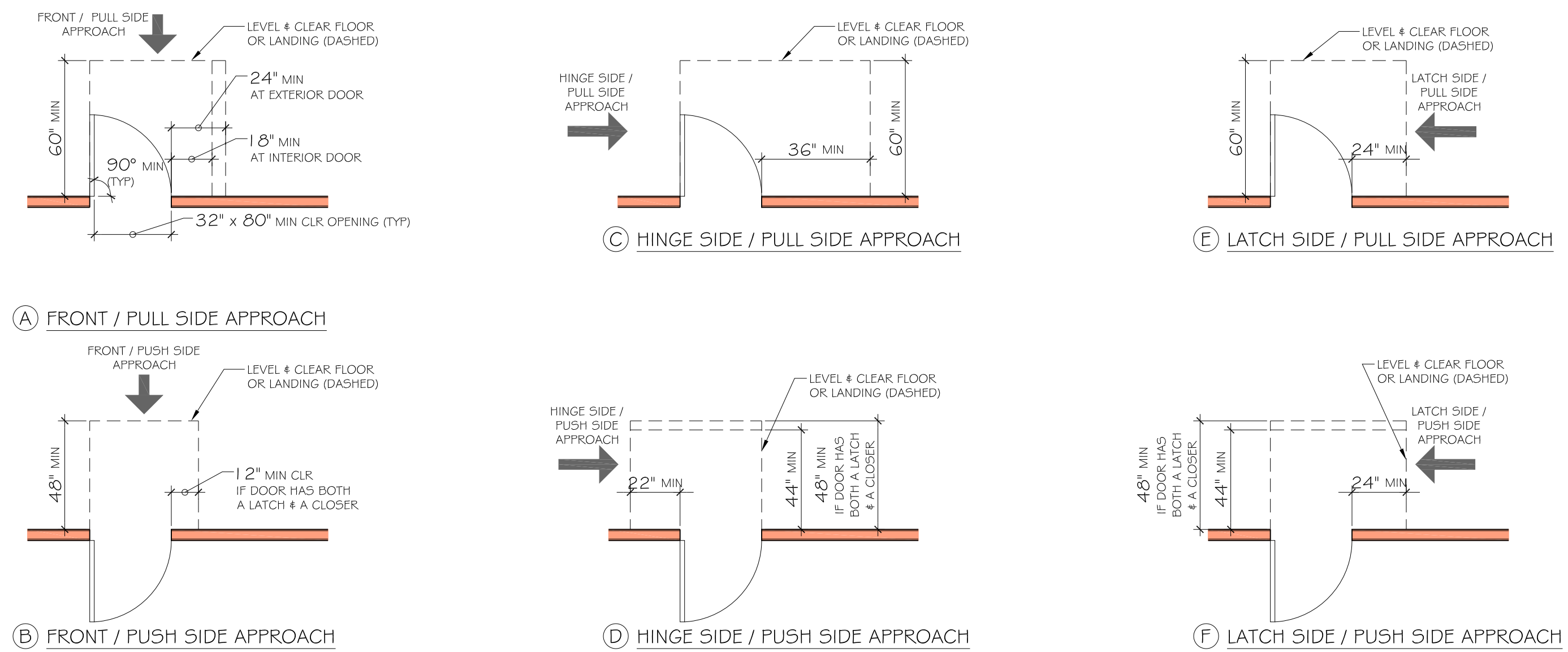
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PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE

HOUSING
ACCESSIBILITY
(CBC CHAPTER 11A)

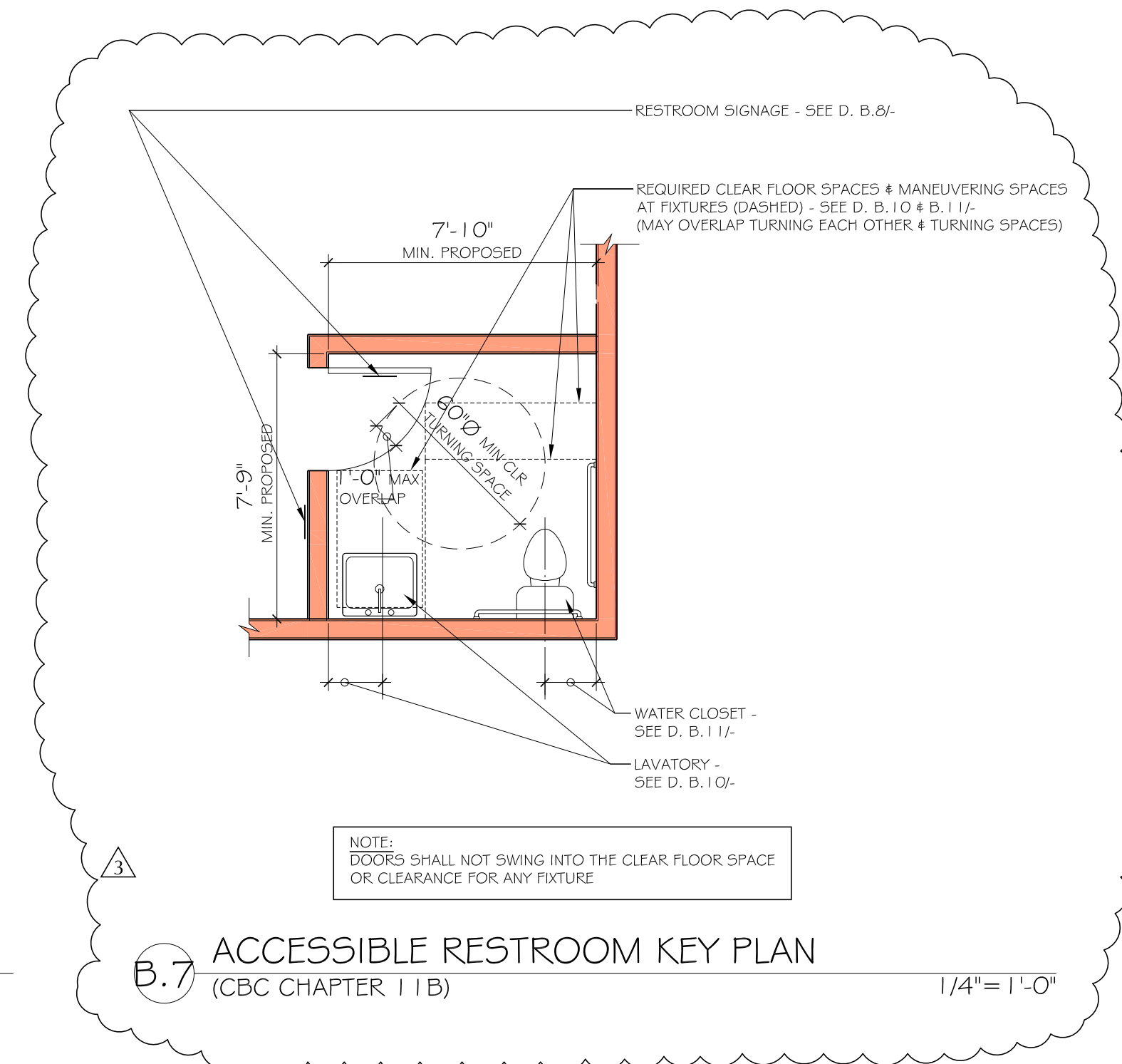
JOB#	15666	SCALE	AS NOTED
DATE	03/21/16	SHEET	
DRAWN	SUL		
CHECKED	EAS		
REVIEWED			
		OF	SHEETS



B.1 NOT USED

B.2 NOT USED

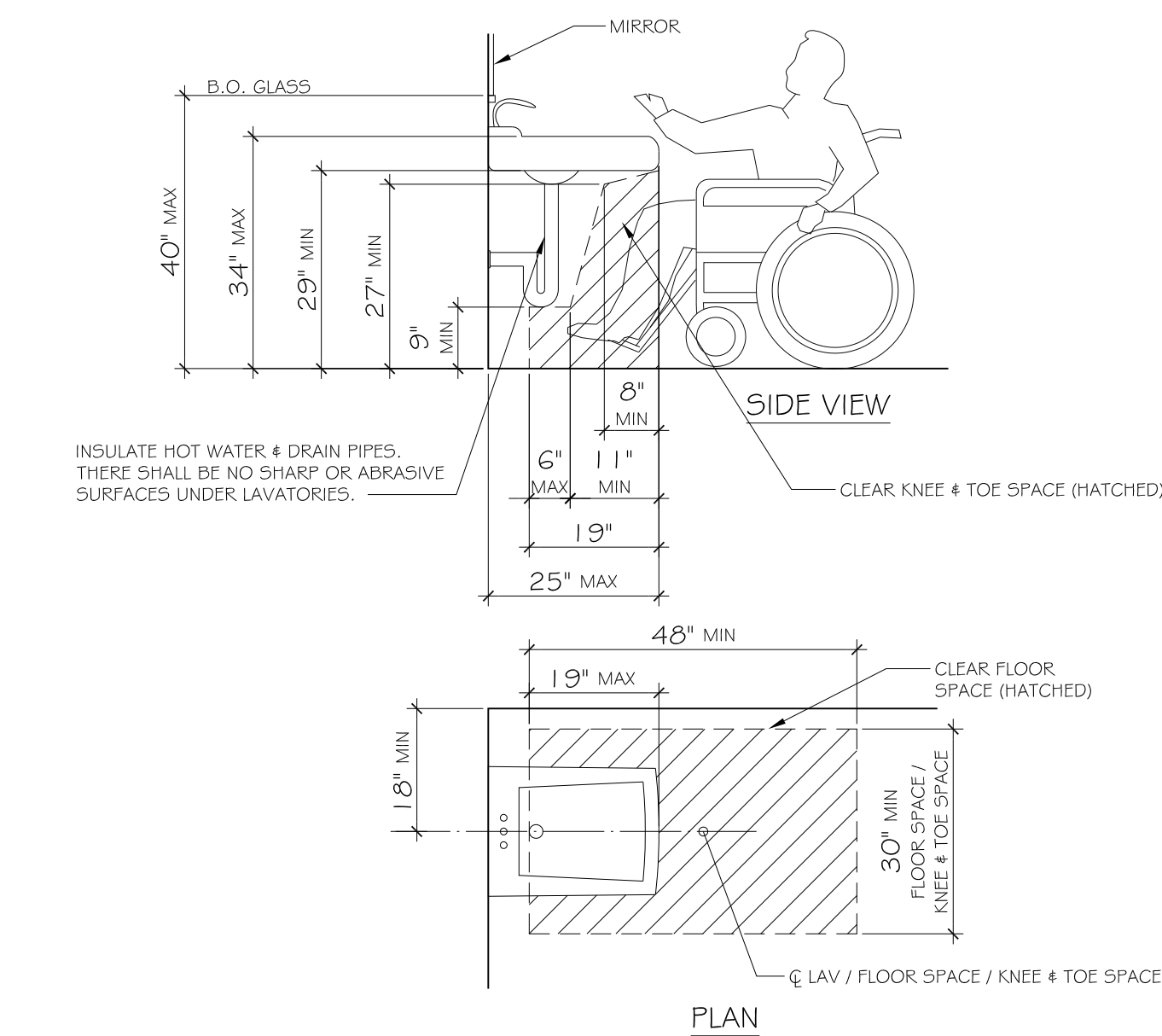
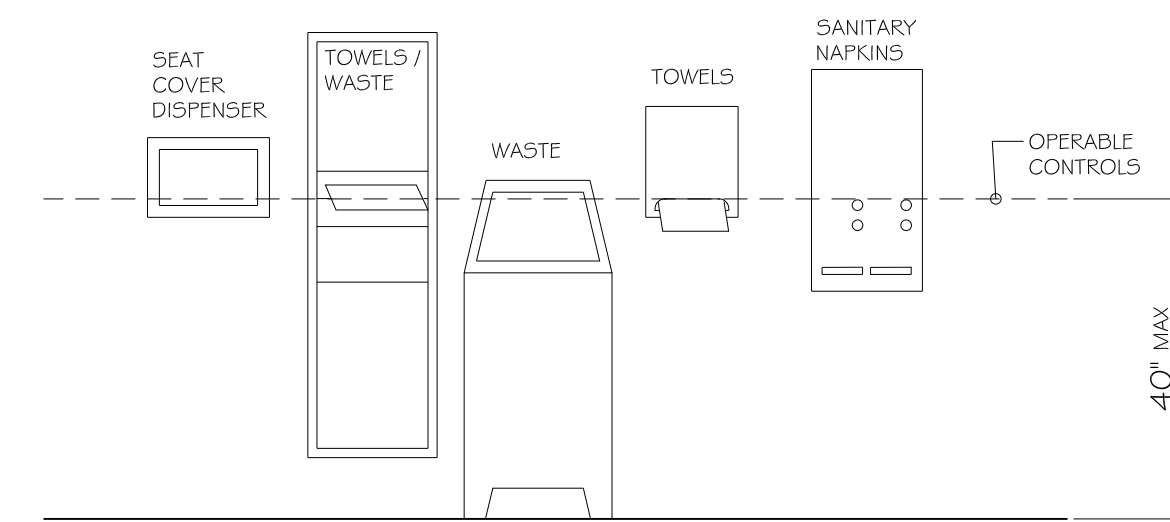
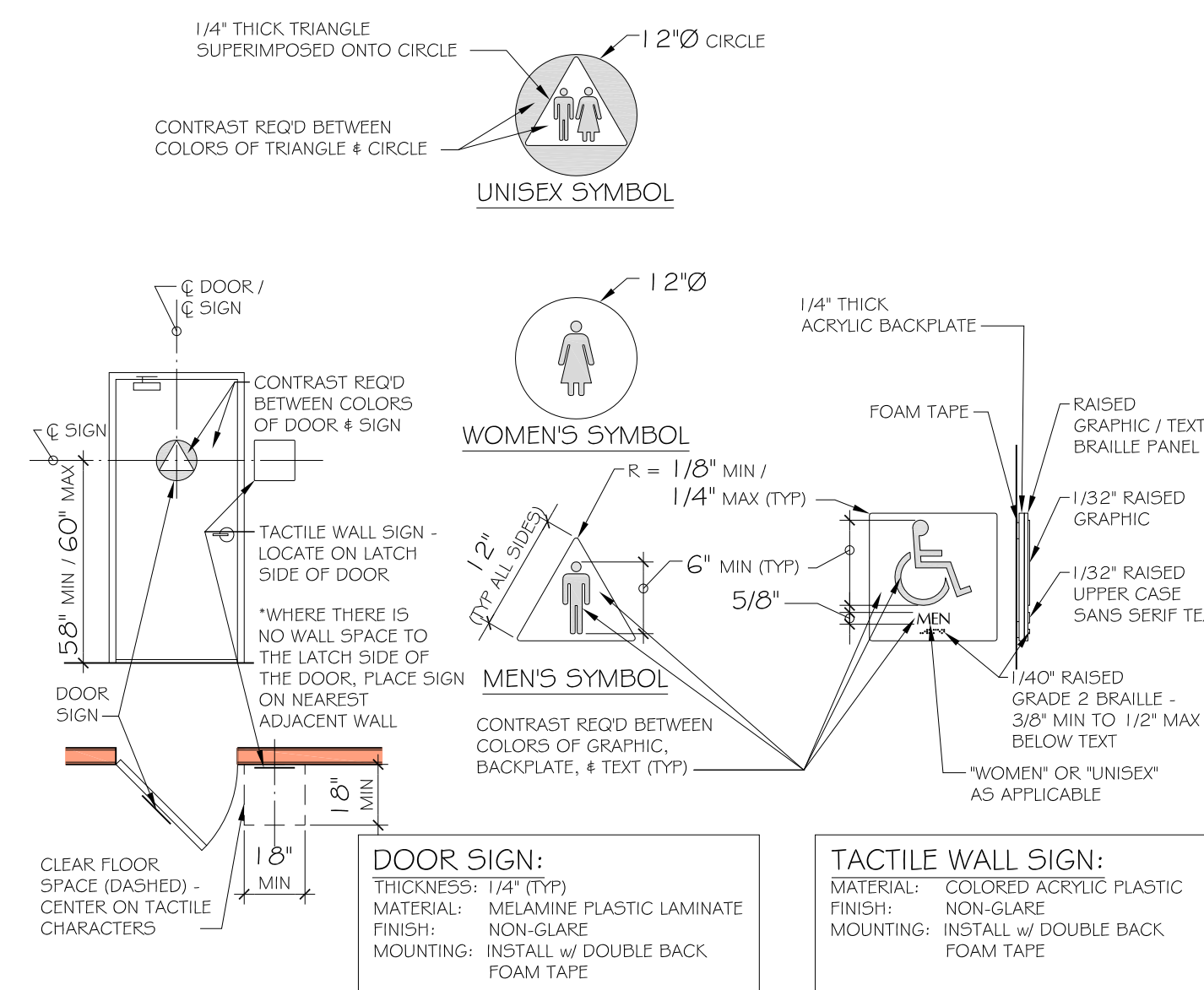
B.3 CLEARANCES AT DOORS & GATES ALONG ACCESSIBLE ROUTE (CBC 11B-404)



B.4 NOT USED

B.5 NOT USED

B.6 NOT USED



B.8 RESTROOM SIGNAGE

B.9 RESTROOM ACCESSORIES

B.10
 LAVATORY
 (CBC 11B-G06, 11B-305, 11B-306, & 11B-G03.3)
 1/2" = 1'-0"

(B.11) WATER CLOSET
(CBC 11B-604 & 11B-609) 1/2" = 1'-0"

Ellis A. Schoichet AIA



EASA
ARCHITECTURE

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[illegible]

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE

PUBLIC
ACCOMMODATION
ACCESSIBILITY
(CBC CHAPTER 11B)

JOB#	15666	SCALE	AS NOTED
DATE	03/21/16	SHEET	<div style="font-size: 48pt; text-align: center;">RC5.1</div> <div style="text-align: right;">  </div>
DRAWN	SUL		
CHECKED	EAS		
REVIEWED			
		OF	SHEETS