(CalGreen)

2016 California Green Building Standards Code City of Burlingame Municipal Code Americans with Disabilities Act

- If work is required in a manner that makes it impossible to produce first class work, or should discrepancies appear within these Contract Documents and/or conditions at the site; the Contractor shall Request an interpretation from the Architect before proceeding with any directly or indirectly related work.
- The Architect shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, nor shall the Architect be responsible for the Owner's or any Contractor's failure to employ proper safety
- These documents are property of Ellis A. Schoichet AIA, and are protected by copyright. Reproduction or reuse in any form without written permission is prohibited.

DRAWING NOTES

- 1. Dimensions take precedence over scale. DO NOT SCALE DRAWINGS.
- 2. All dimensions are taken to face of stud, except where noted otherwise: FOC Face of Concrete FOM Face of masonry ____ _ Centerline indicated with
- Verify all dimensions in field and notify Architect of any discrepancies.
- Center all doors, windows, fireplaces, etc... on walls, unless shown otherwise.
- Wall return at door jamb adjacent to perpendicular wall to be 6", unless shown otherwise

<u>ABBREVIA</u>	TIONS		
AC	Asphaltic concrete	(N)	New
A/C	Air conditioning	NIC	Not in contract
AD	Area Drain	NP	New paving
ADJ	Adjustable	NTS	Not to scale
AFF	Above finish floor	OD	Outside diameter
AHJ	Authority having jurisdiction	O/F	Overflow
В.О.	Bottom of	OH	Overhead or Opposite Hand
BOIC	Purchase by Owner,	OPG	Opening
20.0	inaliation by Contractor	PA	Planted area
BSL	Building setback line	PG	Proposed grade
BUR	Built-up roofing	PL	Property line
CATV	Cable television	PLYWD	Plywood
CB	Catch basin	PT	Pressure treated
£	Centerline	PT.	Point
CLR	Clear	PUE	Public utility easement
CO	Cleanout	PV	Photo-voltaic
CONC	Concrete	(R)	Remove existing and replace with i
C.OPG	Cased opening	RCP	Reflected Ceiling Plan
COTG	Cleanout to grade	RDWD	Redwood
D.	Detail	RO	Rough opening
DLO	Daylight opening	ROW	Right of way
DS	Downspout	RV	Roof vent
(E)	Existing	SCD	See Civil drawing
EA	Each	SD	Storm draing
E.A.	Exposed aggregate	SL	Skylight
EG	Existing grade	5Q	Square
EM	Electric meter	55	Sanitary sewer
EQ	Equal	55CO	Sanitary sewer cleanout
EP	Existing paving	SSD	See Structural drawing
FD	Floor drain	SSE	Sanitary sewer easement
FE	Fire extinguisher	S≰P	Shelf and pole
FEC	Fire extinguisher cabinet	TB	Towel bar
FF	Finish floor	TBD	To be determined
FFE	Finish floor elevation	TBS	To be selected
FL	Flow line	TEL	Telephone
F.O.	Face of	T.O.	Top of
FOC	Face of concrete	TOS	Top of slab
FOM	Face of masonry	TW	Top of wall
FOS	Face of stud	TYP	Typical
FP	Finish paving	T ¢ B	Top and bottom
FS	Floor sink	T ¢ G	Tongue and groove
FVA	Free ventilating area	UG	Underground
GM	Gas meter	UON	Unless otherwise noted
G5	Galvanized steel	V	Vent
HDWD	Hardwood	VIF	Verify in field
HT	Height	VWM	Verify dimension with product
ΙΒ	Ironing board		manufacturer's requirements
ID	Inside diameter	VWO	Verify with Owner
IRR	Irrigation controls	VWS	Verify dimension with design-build
JP	Joint pole		subcontractor's requirements
LOC	Location	WD	Wood
MC	Medicine cabinet	W.I.	Wrought Iron
MEP	Mechanical, Electrical,	WM	Water meter
	and Plumbing Plan	WP	Work point
MFR	Manufacturer	WV	Water valve
MH	Manhole	Ø	Diameter
MOL	More or less		

REGULATORY COMPLIANCE NOTES

(See City of Burlingame Municipal Code, Section 13.04.100 for details.) Weekdays: 8:00 a.m. - 7:00 p.m. Saturdays: 9:00 a.m. - 6:00 p.m. Sundays and Holidays: No work allowed

Construction hours in the City Public right-of-way are limited to weekdays and non-City Holidays between 8:00 a.m. and 5:00p.m.

- 2. Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission. The building owner, project designer, and/or contractor must submit a Revision to the City for any work not graphically illustrated on the Job Copy of the plans prior to performing the work.
- 3. Roof eaves and overhangs will not project within two feet of the property line.
- 4. At the time of Building Permit application, when applicable, plans and engineering will be submitted for shoring as required by 2016 CBC, Chapter 31 regarding the protection of adjacent property and as required by OSHA. The following will be addressed:
- a. Walls of excavations shall be properly shored prior to constructionactivity. Where temporary shoring is needed a competent contractor shall be consulted for recommendations and design of the shoring scheme for the excavation. The recommended design and type of shoring shall be approved by the engineer of record or soils engineer prior to usage.
- b. All appropriate guidelines of OSHA shall be incorporated into the shoring design and implemented by the contractor. Where space permits, temporary construction slopes may be utilized in lieu of shoring. Maximum allowable vertical cut for the subject project will be five (5) feet. Beyond that Horizontal benches of 5 feet wide will be required. Temporary shores shall not exceed I to I (horizontal to vertical). In some areas due to high moisture content / water table, flatter slopes may be required if so recommended by the soils engineer in the field.
- c. If shoring is required, the plans will specify the licensed design professional that has sole responsibility to design and provide adequate shoring, bracing, formwork, etc. as required for the protection of life and property during Construction of the building.
- d. Where provided, shoring and bracing shall remain in place until the affected floors, roof, and/or wall sheathing have been constructed and are completely self-supporting.
- e. Shoring plans shall be wet-stamped and signed by the engineer-of-record and submitted to the city for review prior to construction. If applicable, include surcharge loads from adjacent structures that are within the zone of Influence (45 degree wedge up the slope from the base of the excavation) and / or driveway surcharge loads.
- 5. An OSHA permit will be obtained if needed per CAL / OSHA requirements. See the Cal / OSHA handbook at: http://www.ca-osha.com/pdfpubs/osha userguide.pdf * Construction Safety Orders: Chapter 4, Subchapter 4, Article 6, Section
- 6. A Grading Permit will be obtained from the Department of Public Works if
- 7. Plans submitted for building code plan check will include a complete underground plumbing plan including details for the location of all required oil interceptors and city-required backwater prevention devices.
- 8. This project is designed to comply with the following Accessibility regulations:
- a. California Building Code (CBC), Chapter 11A for public areas, common areas, and individual Live/Work units, except as described in item b. below.
- b. California Building Code (CBC), Chapter 11B for the 'Work' areas of Live/Work units #I-#5 which directly adjoin the public way on the First Floor. These areas are treated as areas of public accommodation.
- c. The Americans with Disabilities Act (ADA) for areas of public accommodation such as the First Floor 'Work' areas of Live/Work units #1-#5.
- d. The Fair Housing Act.
- 9. No public money of any kind will or will be used to construct this project.
- 10. No tax credits or rebates are sought for this project.
- 11. Work areas within Live/Work units shall not include the use/storage of hazardous materials. Acceptable operational processes are limited to those where the majority of contents are either noncombustible or so arranged that a fire is not likely to spread rapidly.
- 12. Additional regulatory compliance information can be found on Regulatory Compliance Sheets/ RCI-RC5.1.

CODE COMPLIANCE

PLANNING DATA	
ADDRESS:	619-625 California Drive, Burlingame CA
ASSESSOR'S PARCEL NUMBERS (Block/Lot):	029-131-140
	029-131-150
	029-131-160
Lot Size:	19,450 SF +/-
Zoning:	C-2, North California Drive Commercial Distri
FAR:	3.0
Use:	Live/Work

SETBACKS

	PROPOSED	REQUIR
RONT (California Drive):	(1'-3")	0'-0"
TREET SIDE (Oak Grove Ave:)	(0'-6")	0'-0" *
IDE:	6-11	0'-0" *
EAR:	10'-0"	10'-0"
NOTE: The side yards do not adjoin a re	100	back not re

BUILDING HEIGHT		
<u></u>	PROPOSED	ALLOWED
	53'- 8 3/8"	35'-0"
	ζ (55'-0" (SUBJECT TO CONDITIONAL
	}	USE PERMIT > 35')
LOT COVERAGE	5	
	PROPOSED (<u>ALLOWED</u>
) 14,160 SF \	14,586 SF (75%)
	5	
NOTE: Lot Coverage excludes sunshades on S	Soutwest / Rear Elevatio	on
3	>	
	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	
FLOOR AREA	PROPOSED \	ALLOWED
	> /	
FIRST FLOOR (GROSS):	13,434 SF	-
SECOND FLOOR (GROSS):	13,784 SF	-
THIRD FLOOR (GROSS):	13,784 SF	-
,		

7,057 SF

48,059 SF

PROPOSED # OF UNITS

58,344 SF (FAR 3.0)

RESIDENTIAL UNITS & PARKING:

FOURTH FLOOR (GROSS):

TOTAL FLOOR AREA:

FIRST FLOOR / SECOND FLOOR THIRD FLOOR FOURTH FLOOR	I I UNIT: I I UNIT: 4 UNITS	
Total number of units provided:	26 l	JNITS
	PROPOSED # OF	RESIDENTIAL PARKING SPACES
Unistall spaces	25	(22 SPACES PROVIDED ON MECHANICAL LIFT)
Accessible van space		
Subtotal:	26	(MEETS RESIDENTIAL REQUIRMENTS)
Accessible/Dedicated EV space	1	(REQUIRED FOR RESIDENTAL USE)

COMMERCIAL UNITS & PARKING:

Total Residentail parking spaces Provided:

PROPOSED FLOOR AREA OF UNITS

COMMERCIAL UNIT #1 COMMERCIAL UNIT #2	902 5	
TOTAL COMMERCIAL AREA:	2,100	SF
	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	
	PROPOSED # C	OF COMMERCIAL PARKING SPACES
Unistall spaces	6	
Accessible van space	1	
Total Commercial parking spaces Provided:	7	(7 SPACES REQ. AT SPACE PER 300SF SERVING UP TO 2,100 SF OF COMMERCIAL USE *)
*EV space not required for Commercial uses		

BUILDING CODE DATA Governing Code:

Construction Type:

5		J
ссирапсу Group:	MIXED OCCUPANCY	
, ,	A3/B/M:	Commercial Tenancies (TBD) on First Floor
	S2:	Parking Garage on First Floor
	R2:	Live/Work Units on Second - Fourth Floors
		Lobby on First Floor
	U:	Electrical Room, Trash Room, Mechanical Rooms,
		and Storage Rooms on First and Fourth Floors
	A3:	Common Roof Terrace on Fourth Floor

2016 California Building Code

First Floor Podium

Second - Fourth Floors

California Drive Live-Work 619-625 California Drive, Burlingame CA 94010

OWNER:	Ed Duffy / Renovattio Construction	415.533.4953
ARCHITECT:	EASA Architecture	650.343.3452
SURVEYOR:	Frederick T. Seher & Associates	415.921.7690
GEOTECHNICAL ENGINEER:	Romig Engineers	650.591.5224
CIVIL ENGINEER:	MacLeod \$ Associates, Inc.	650.593.858C
LANDSCAPE ARCHITECT:	Kıkuchı + Kankel Design Group	650.726.710C
STRUCTURAL ENGINEER:	Murphy Burr Curry, Inc.	415.546.0431
MEP ENGINEER:	MHC Engineers	415.512.7141

VICINITY MAP



PROJECT DESCRIPTION

The Owner is proposing a 26 unit 'Live/Work' building at the corner of California Drive and Oak Grove Avenue in Burlingame with commercial storefronts along the California Drive frontage. A private 26-car covered parking garage will be provided for the residents at grade level. An additional 7 parking spaces serving the commercial spaces will be available to the public. The landscape improvements at the street corner will be oriented to serve the general public. Private amenities for the residents include secure covered bicycle parking, and a series of common gathering spaces both at grade and on the Fourth-Floor rooftop.

SHEET INDEX

AO. I

AO.2

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	A2	SECOND FLOOR PLAN
	A3	THIRD FLOOR PLAN
	A4	FOURTH FLOOR PLAN / LOW ROOF PLAN
	A5	ROOF PLAN
	A6	FRONT \$ REAR ELEVATIONS
	A7	SIDE ELEVATIONS
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	LANDSCAPE	
	LI	SITE PLAN
	L2	4TH FLOOR ROOF TERRACE PLAN
	L3	CORNER PLAZA CONCEPT IMAGES
	CIVIL	
	C-1	PRELIMINARY GRADING, DRAINAGE AND UTILITY PLANS
	C-2	STORMWATER TREATMENT PLAN
	SURVEY	
	l of l	TOPOGRAPHIC SURVEY
	-	OMPLIANCE (UNDER SEPARATE COVER)
	RCI.I	LOT COVERAGE AND FIRE DEPARTMENT ACCESS PLAN
	RCI.2	STAIR #2 PENTHOUSE PLAN AND SECTIONS
	RC2	EXITING PLANS
	RC3.1	EXTERIOR WALL OPENINGS: PLAN
	RC3.2	EXTERIOR WALL OPENINGS: ELEVATIONS
	RC4.1	HOUSING ACCESSIBILITY
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	RC4.3	RESERVED
	RC5.I	PUBLIC ACCOMMODATION ACCESSIBLITY
	RC5.2	RESERVED

TITLE SHEET / NOTES

FIRST FLOOR PLAN

SITE PLAN

Ellis A. Schoichet AIA



Peninsula Building 307 South "B" Street #12 San Mateo CA 94401 650.343.3452

California Drive Live-Work 619-625 California Dr. Burlingame, CA

APN#: 029-131-140 APN#: 029-131-150

APN#: 029-131-160 Ed Duffy / Renovattio Construction

415.533.4953 Architect: EASA Architecture

650.343.3452 Surveyor:

FredrickT Seher & Associates, Inc. 415.921.7690

Geotechnical Engineer: Romig Engineers 650.591.5224

Civil Engineer: MacLeod & Associates, Inc. 650.593.8580

Landscape Architect: Kikuchi + Kankel Design Group 650.726.7100

Structural Engineer: Murphy Burr Curry, Inc 415.546.0431

MEP Engineer: MHC Engineers 415.640.3800

<u>/5\</u>	8/27/18 	PC Action Hearing	SUL
<u></u>	9/29/17	PC Comments	SUL
^	 3/21/17	Initial Review Comments	SUL
<u></u>	1/25/17	Client Coordination	SUL
	11/7/16	Planning - Initial Review	SUL
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TITLE SHEET / NOTES

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1 SITE PLAN 1/16" = 1'-0"

SEE FIRST FLOOR PLAN / A I FOR SITE IMPROVEMENTS

EXISTING CONDITION NOTES:

1. Existing commercial building at 621 California Drive: 5,956 sf

2. Existing residential buildings at 625 California Drive: 2 dwelling units.
625 California Drive = 1,456 sf (corner house) 153 sf (detached garage - no longer extant)
1201 Oak Grove Avenue = 861sf (house facing Oak Grove Avenue) Ellis A. Schoichet AIA



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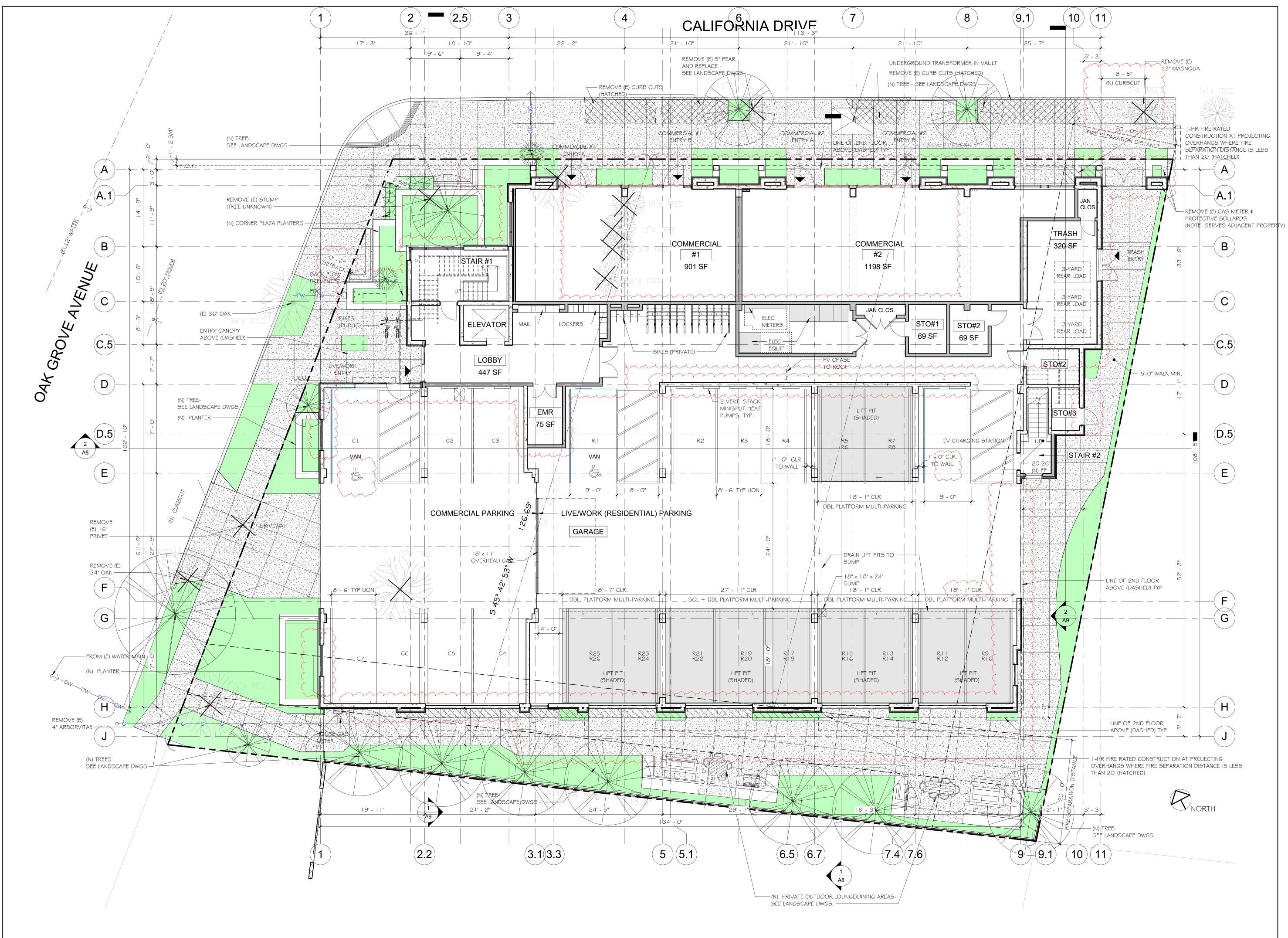
MEP Engineer: MHC Engineers 415.640.3800

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SITE PLAN

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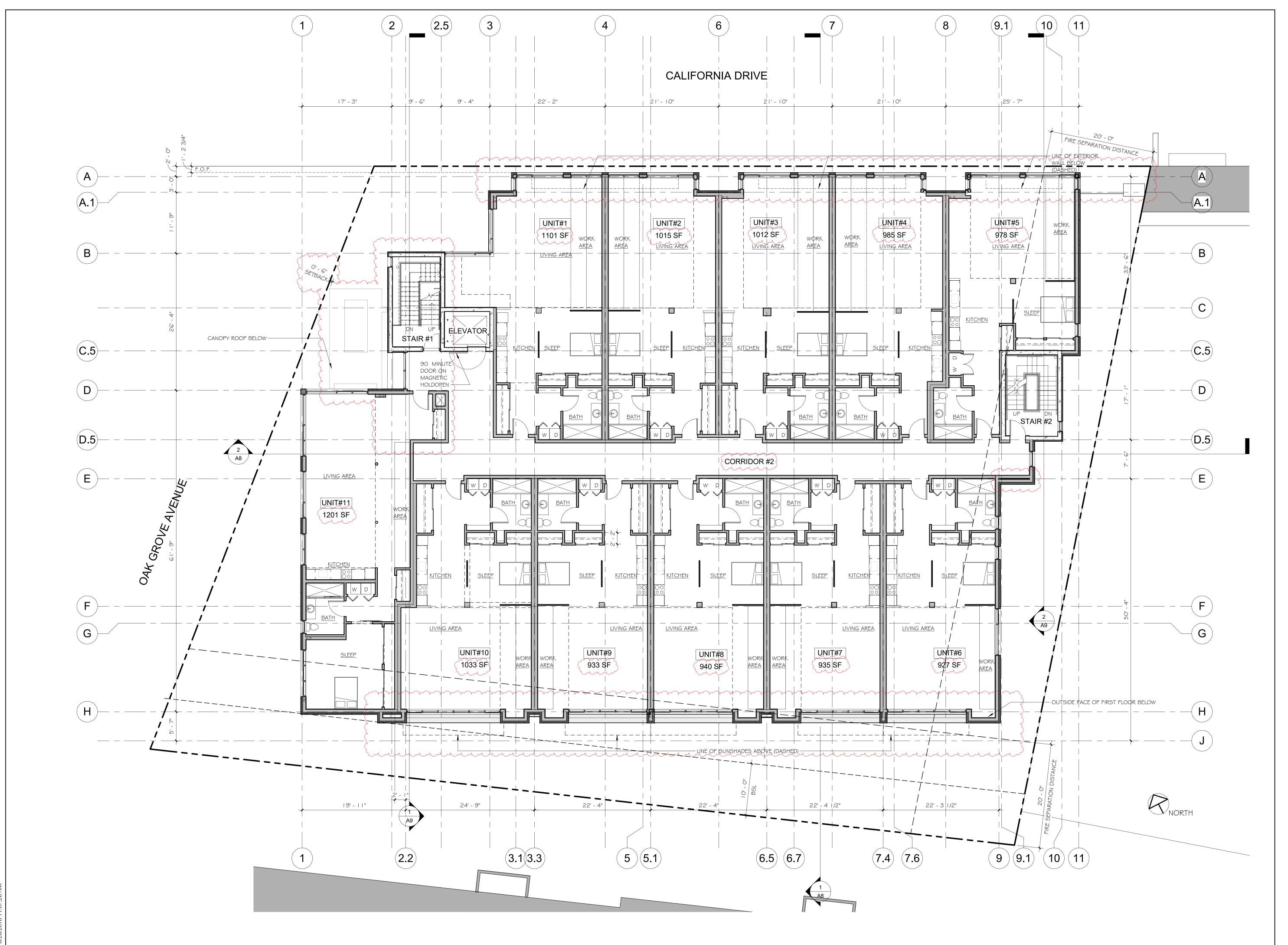
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FIRST FLOOR PLAN

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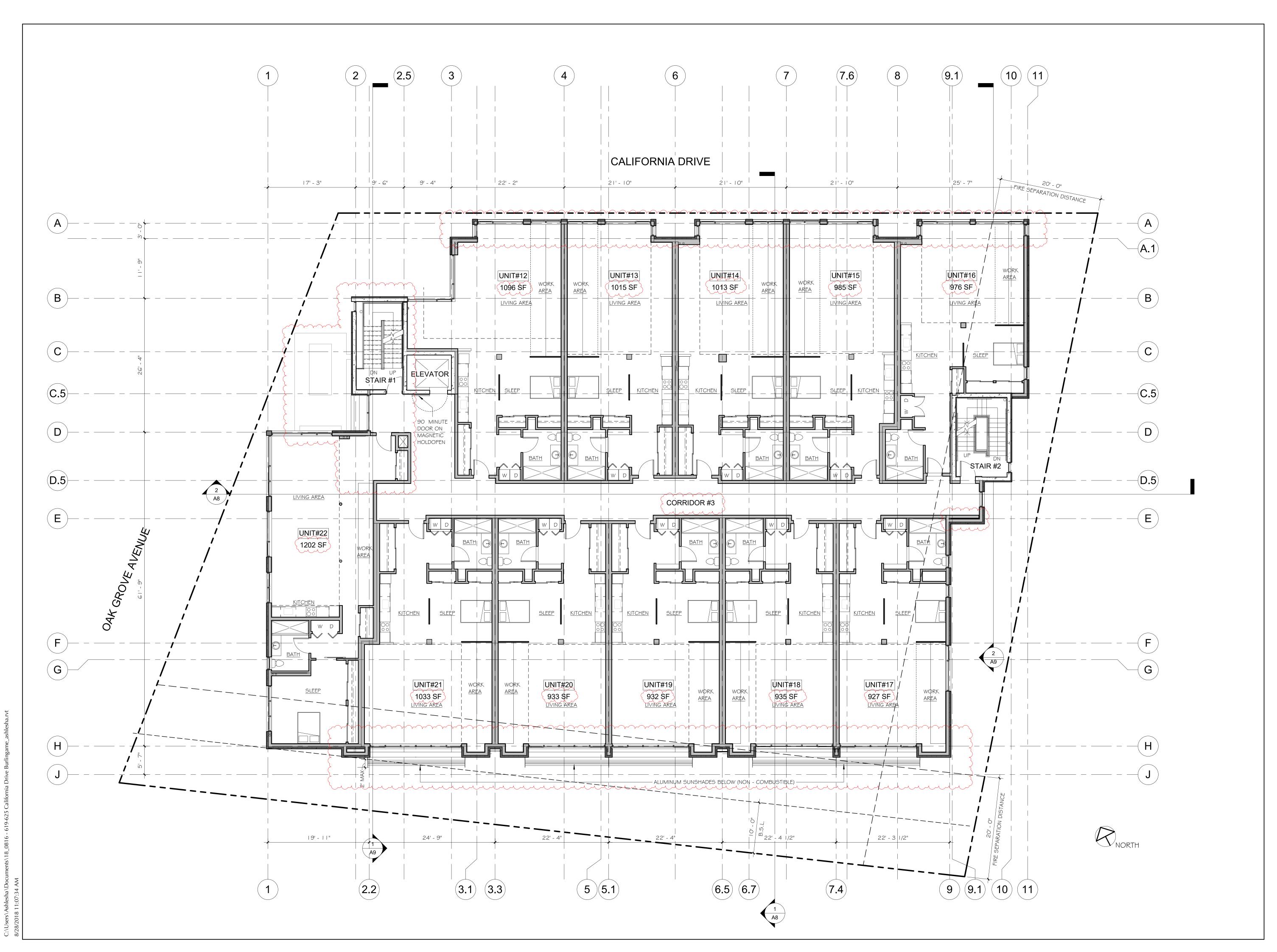
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SECOND FLOOR PLAN

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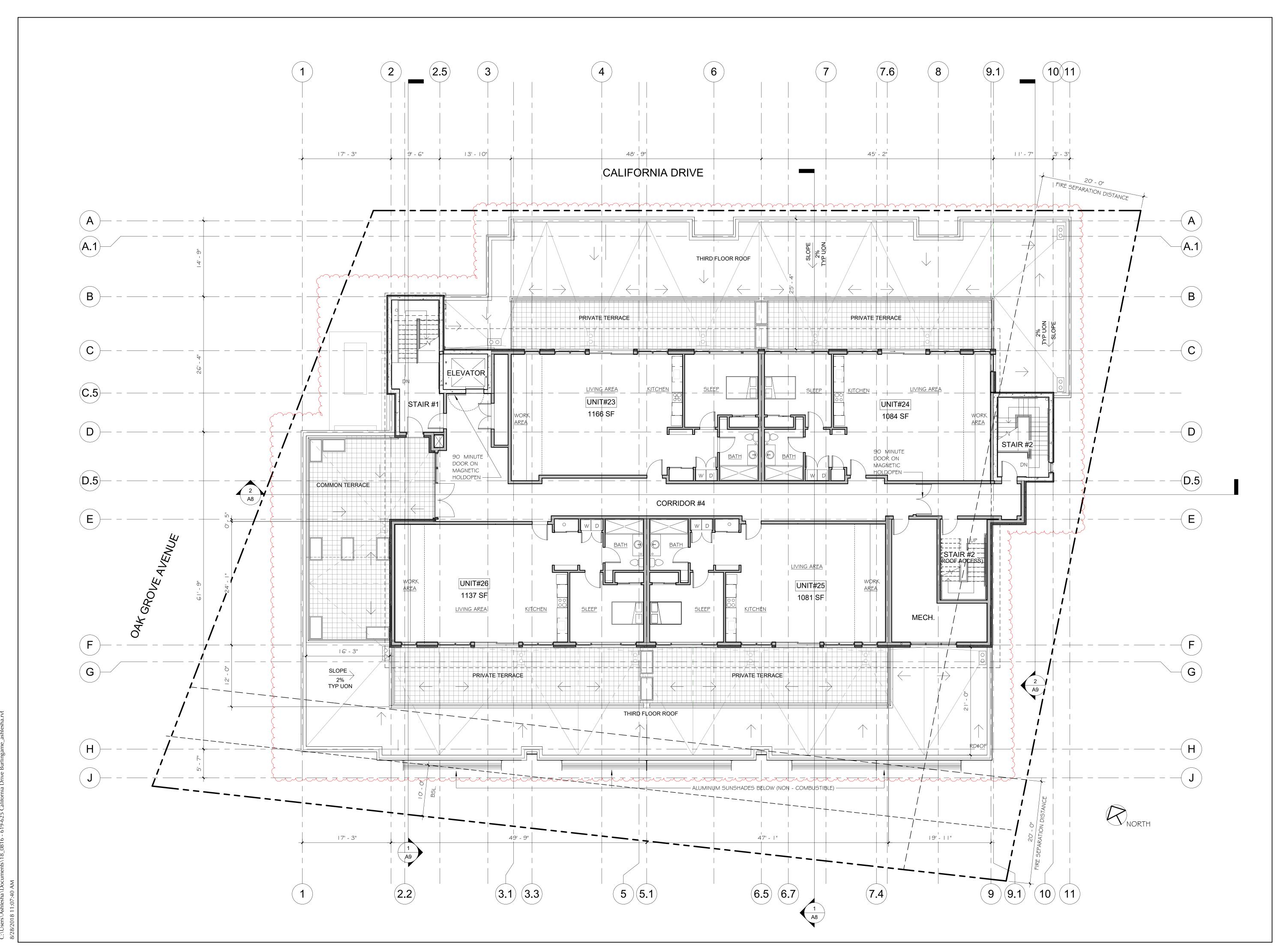
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THIRD FLOOR PLAN

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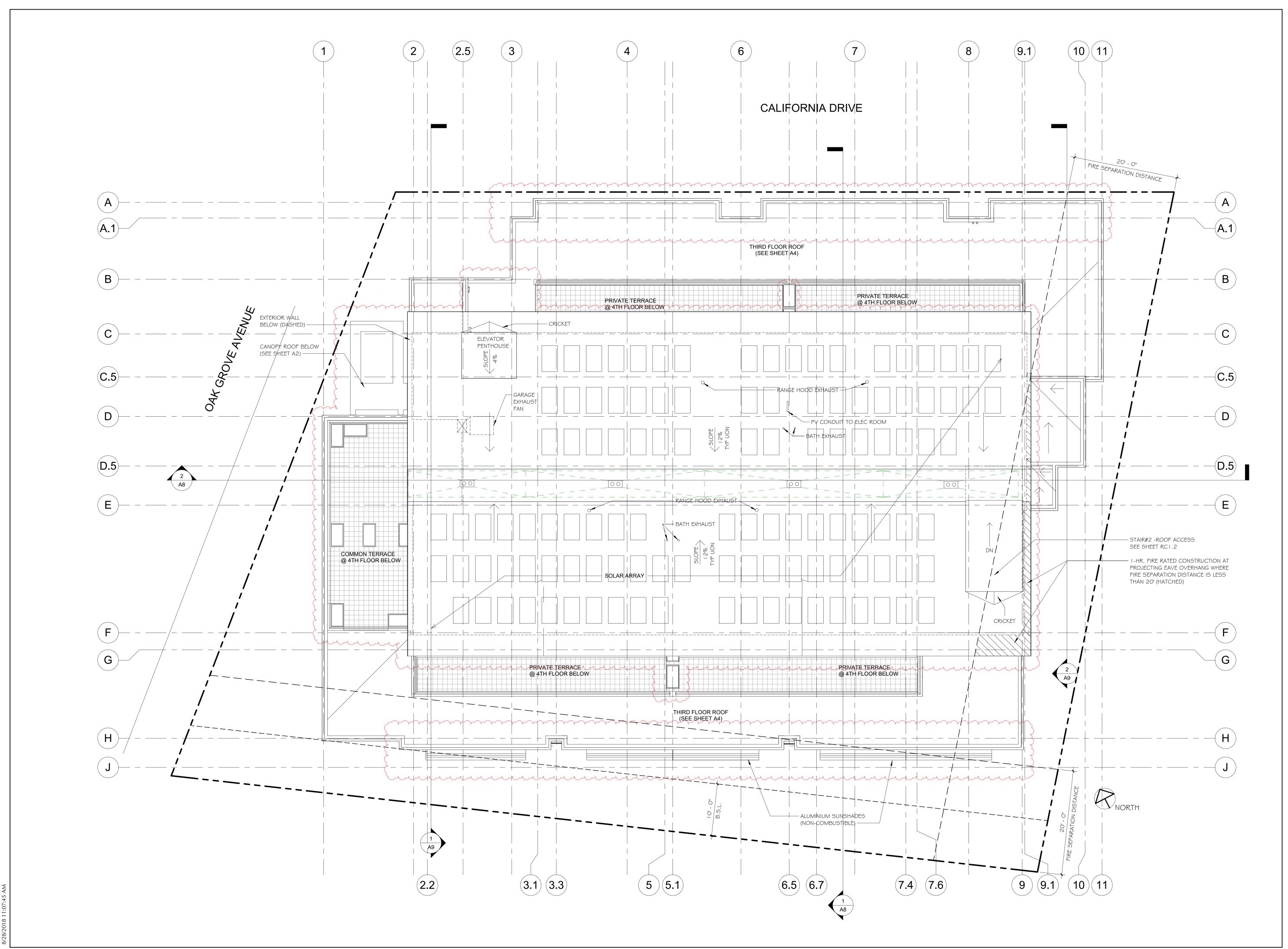
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FOURTH FLOOR / LOW ROOF PLAN

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415.640.3800

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Architect: EASA Architecture

650.343.3452 Surveyor:

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MEP Engineer:

MHC Engineers

415.640.3800

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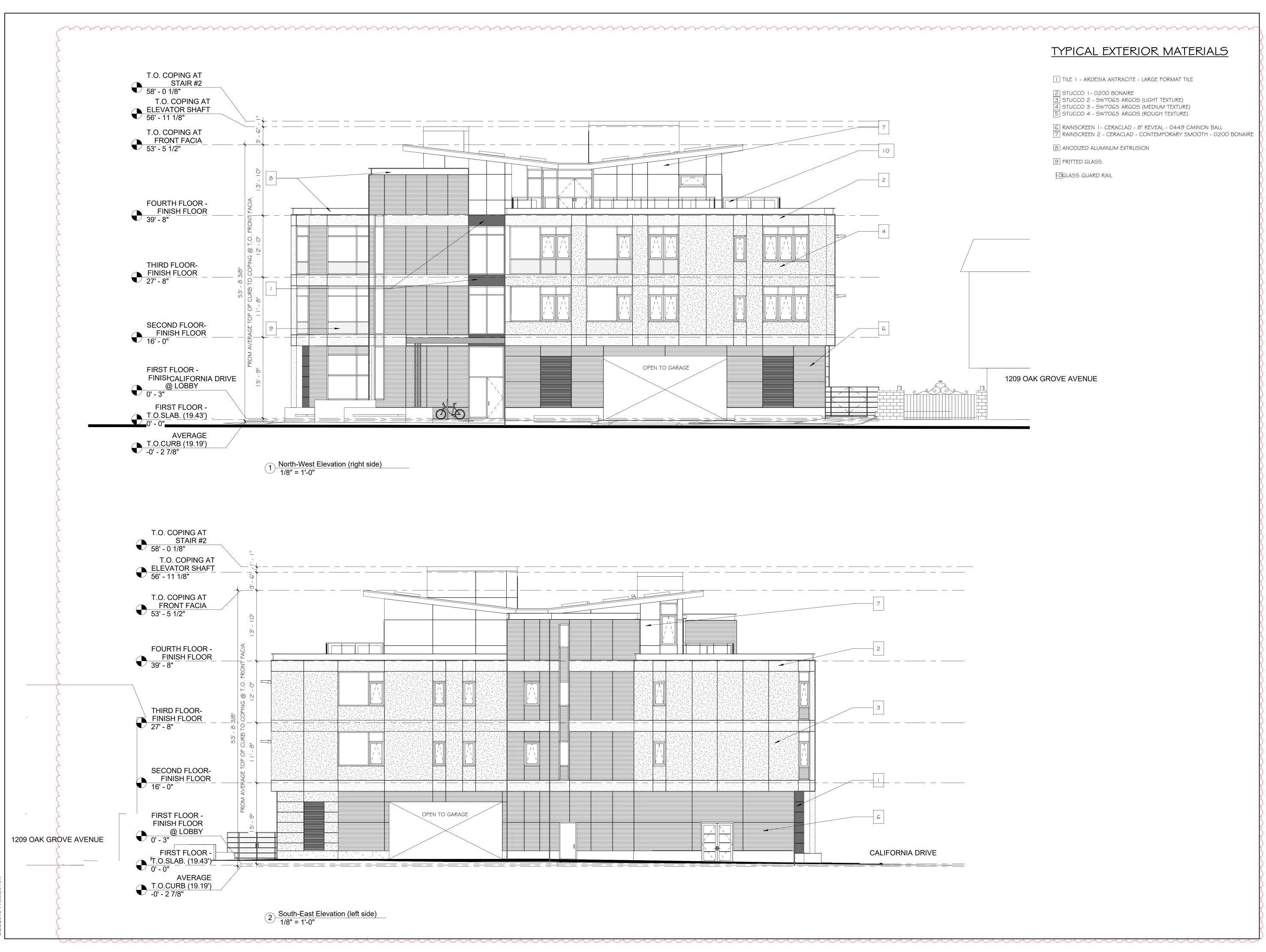
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SHEET TITLE

FRONT & REAR ELEVATIONS

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Murphy Burr Curry, Inc 415.546.0431

MEP Engineer: MHC Engineers 415.640.3800

<u>/</u> 5\	8/27/18	PC Action Hearing	SUL
<u></u>	9/29/17	PC Comments	SUL
<u></u>	5/9/17	Initial Review Comments	SUL
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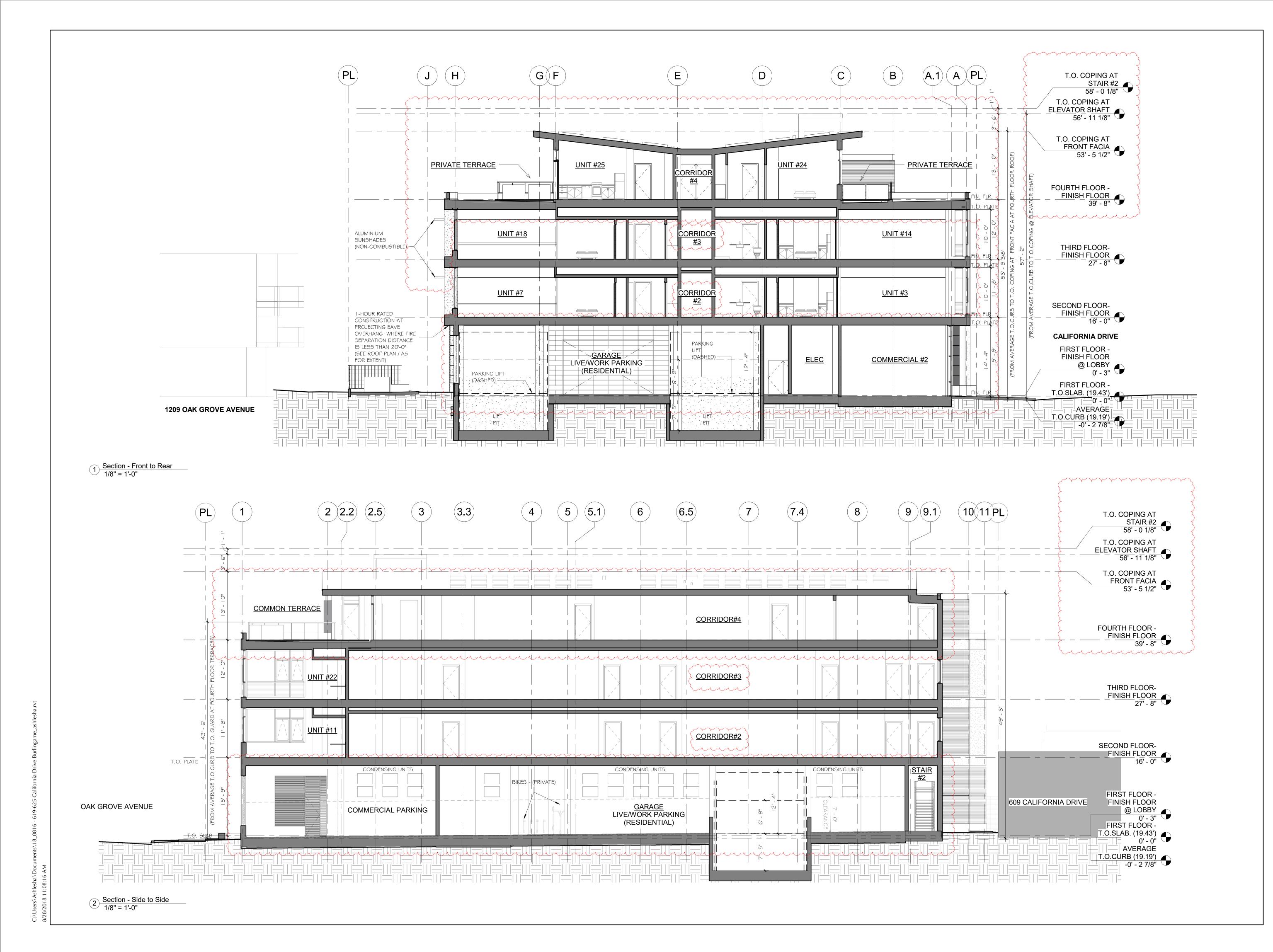
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Peninsula Building 307 South "B" Street #12 San Mateo CA 94401 650.343.3452

California Drive Live-Work 619-625 California Dr. Burlingame, CA

APN#: 029-131-140 APN#: 029-131-150 APN#: 029-131-160

Ed Duffy / Renovattio Construction 415.533.4953

Architect: EASA Architecture 650.343.3452

Surveyor: FredrickT Seher & Associates, Inc.

415.921.7690
Geotechnical Engineer:

Romig Engineers 650.591.5224 Civil Engineer:

MacLeod & Associates, Inc. 650.593.8580

Landscape Architect:

Kikuchi + Kankel Design Group 650.726.7100

Structural Engineer: Murphy Burr Curry, Inc 415.546.0431

MEP Engineer: MHC Engineers

415.640.3800

<u>/</u> 5\	8/27/18	B PC Action Hearing	SUL
<u></u>	9/29/17	PC Comments	SUL
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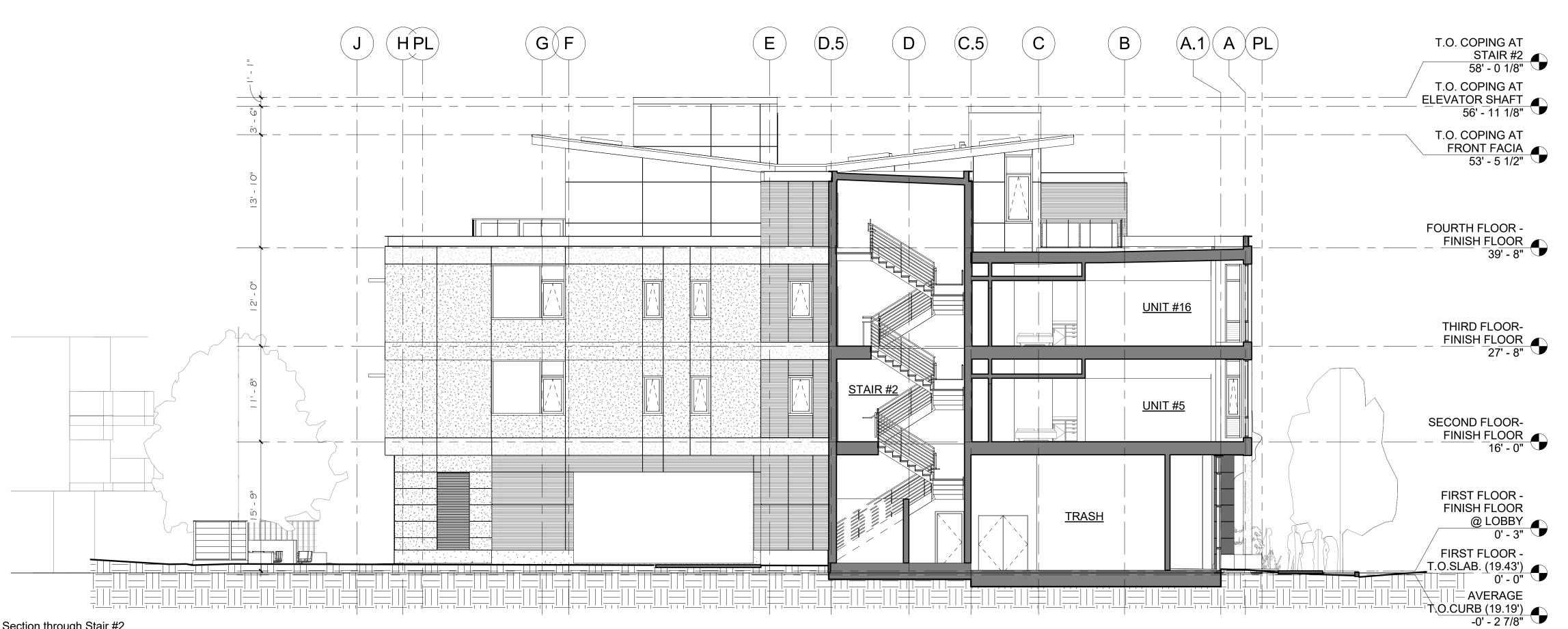
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SECTIONS

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<u>/5</u>	8/27/18	B PC Action Hearing	SUL
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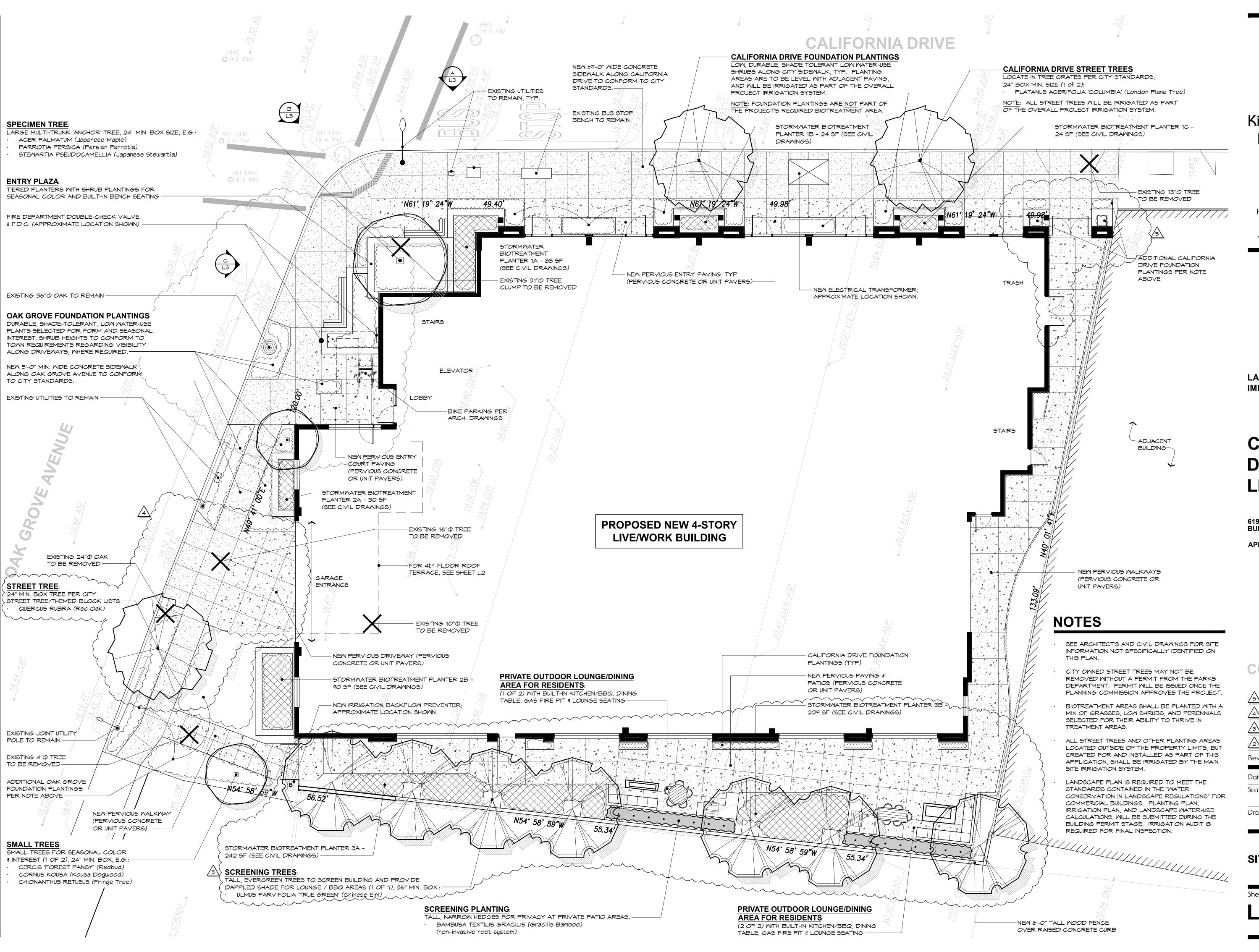


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2 Section through Stair #2 1/8" = 1'-0"





Kikuchi + Kankel Design Group

Landscape Architecture Environmental Design Site Planning

730 Mill Street Half Moon Bay, CA 94019 (650) 726-7100

www.kkdesigngroup.com

LANDSCAPE IMPROVEMENTS

CALIFORNIA DRIVE LIVE-WORK

619-625 CALIFORNIA DRIVE BURLINGAME. CA

APN: 029-131-140

029-131-140 029-131-150 029-131-160

NOT FOR CONSTRUCTION

5 8/27/2018
A Environmental Review

2/7/2018

Planning Commission Comments
9/29/2017

Initial Review Comments
5/9/2017

Revisions: 1 Initial Review Comments 3/21/2017

Date: 11/7/2016 PLAN CHECK
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1/8" = 1'-0"

Drawn By:



SITE PLAN

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Sheet No.

Of



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619-625 CALIFORNIA DRIVE BURLINGAME, CA

029-131-160

APN: 029-131-140 029-131-150

NOT FOR CONSTRUCTION

Revisions: 1 Initial Review Comments 3/21/2017

Date: 11/7/2016 PLAN CHECK

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4TH FLOOR ROOF TERRACE PLAN

Sheet No.

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Of





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APN: 029-131-140 029-131-150 029-131-160

NOT FOR CONSTRUCTION

Planning Commission Comments 9/29/2017

Initial Review Comments 5/9/2017

Revisions: Initial Review Comments 3/21/2017

Date: 11/7/2016 PLAN CHECK

Scale:

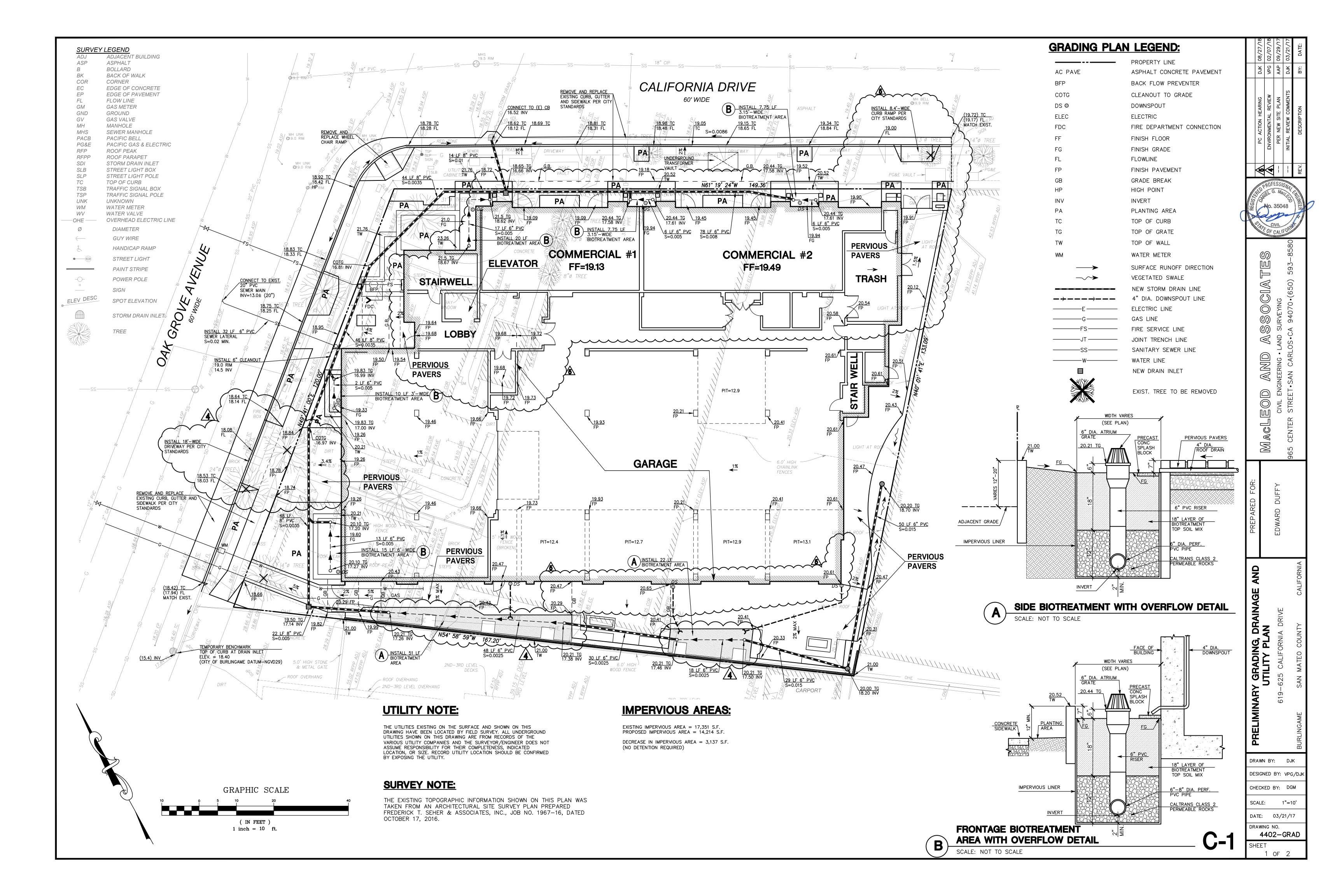
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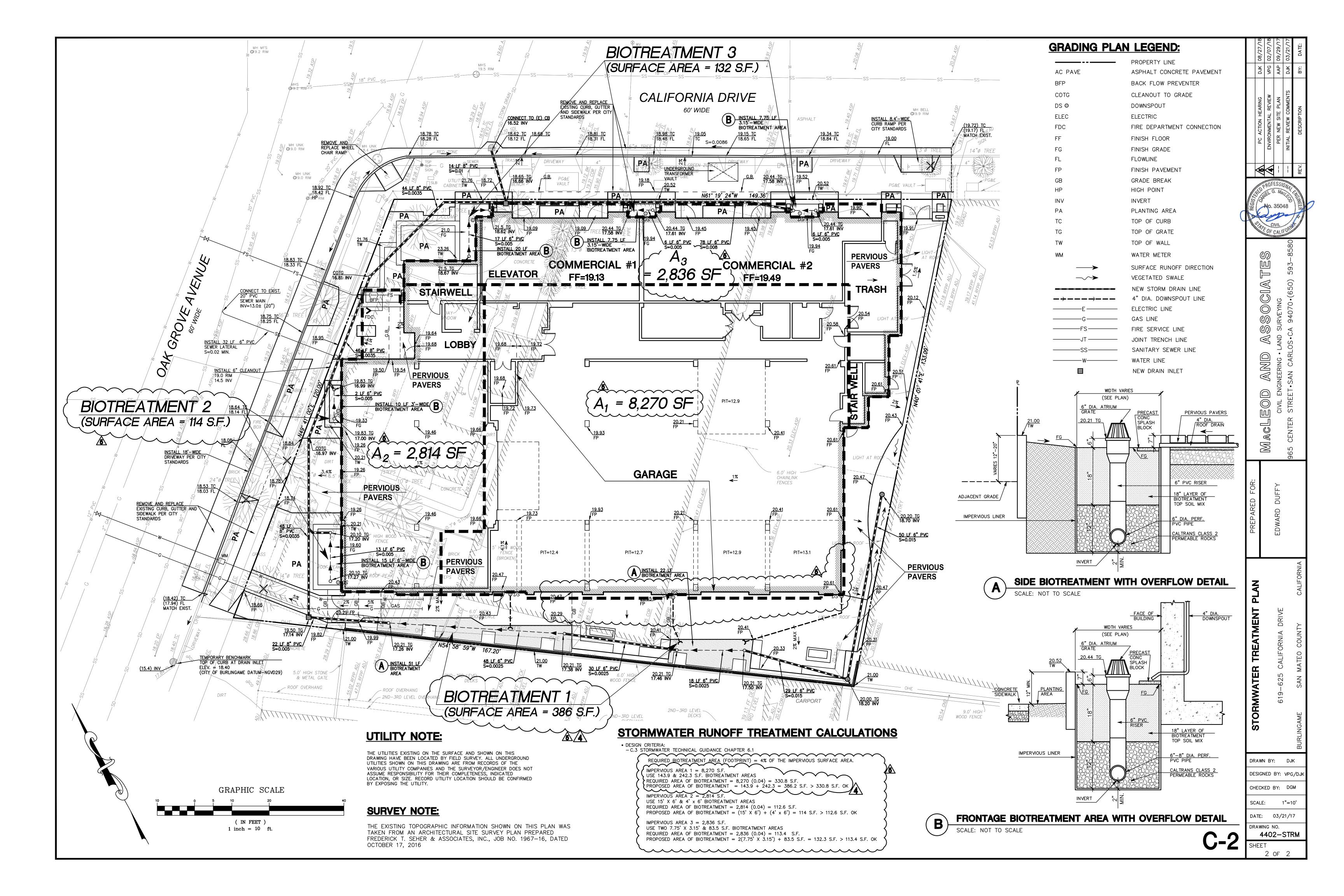
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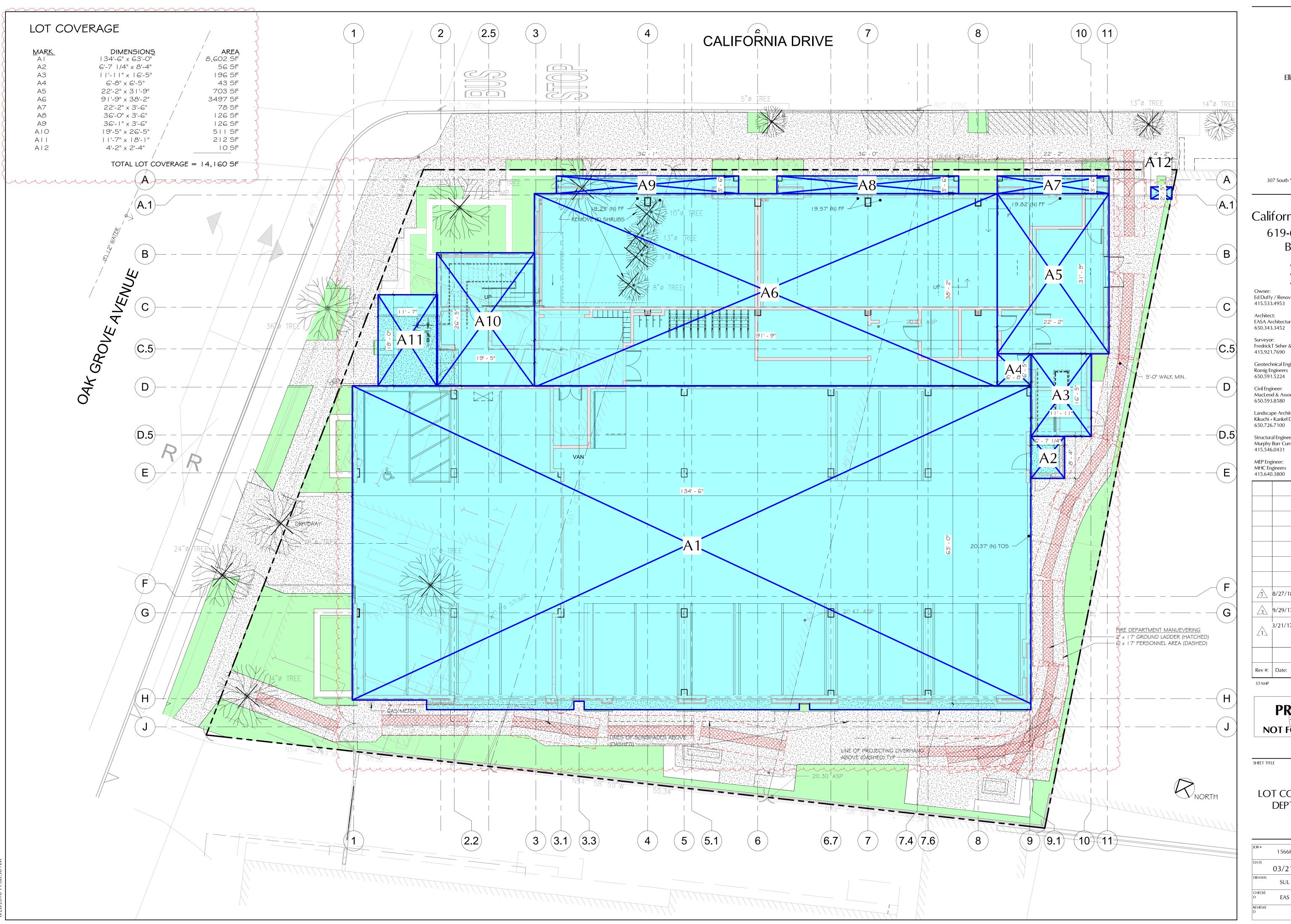
CORNER PLAZA
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Of









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California Drive Live-Work 619-625 California Dr. Burlingame, CA

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MEP Engineer:

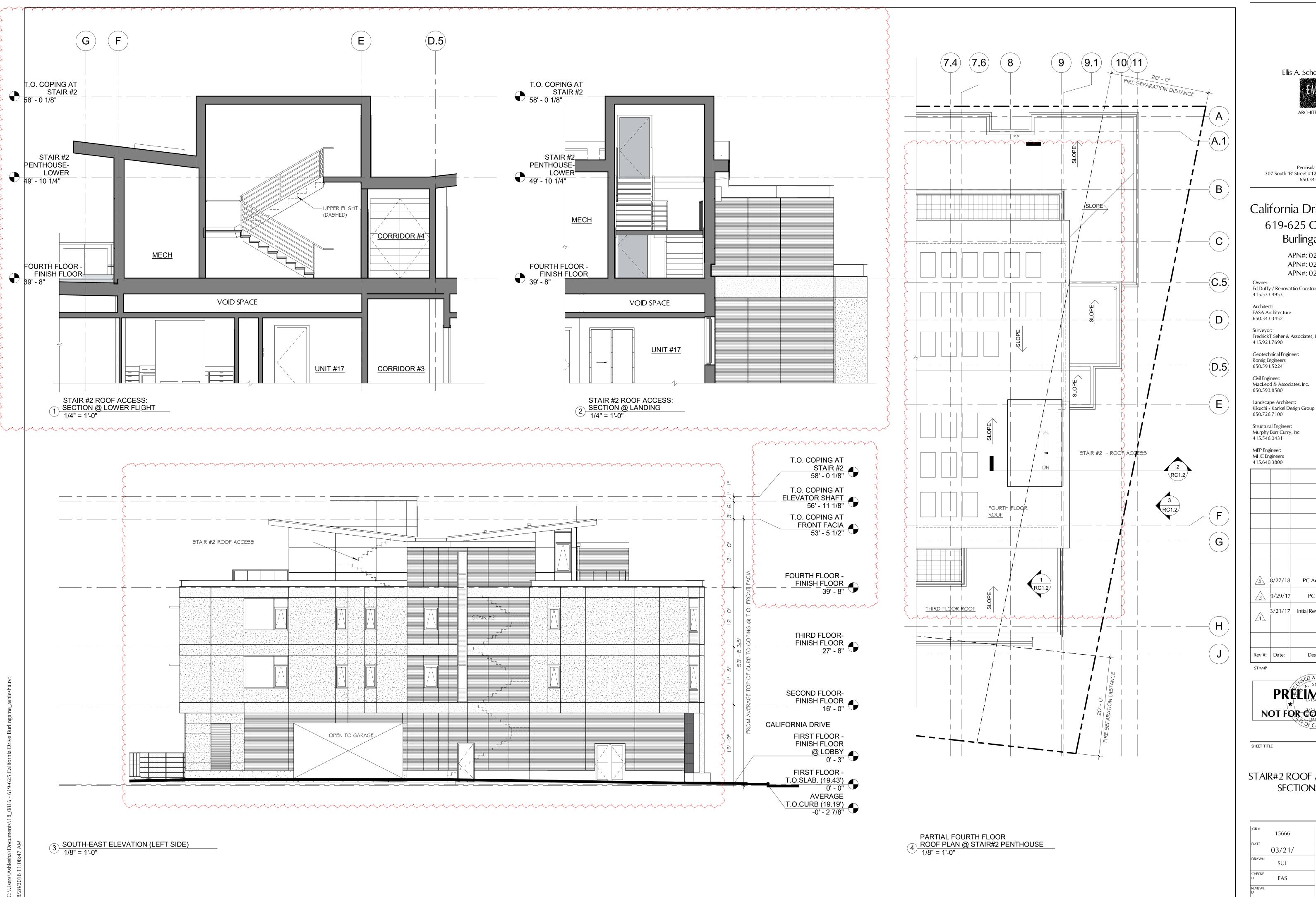
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PRELIMINARY

NOT FOR GONSTRUCTION

LOT COVERAGE AND FIRE DEPT ACCESS PLAN

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Peninsula Building 307 South "B" Street #12 San Mateo CA 94401 650.343.3452

California Drive Live-Work 619-625 California Dr. Burlingame, CA

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650.343.3452

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Landscape Architect:

650.726.7100

Structural Engineer: Murphy Burr Curry, Inc 415.546.0431

MEP Engineer: MHC Engineers

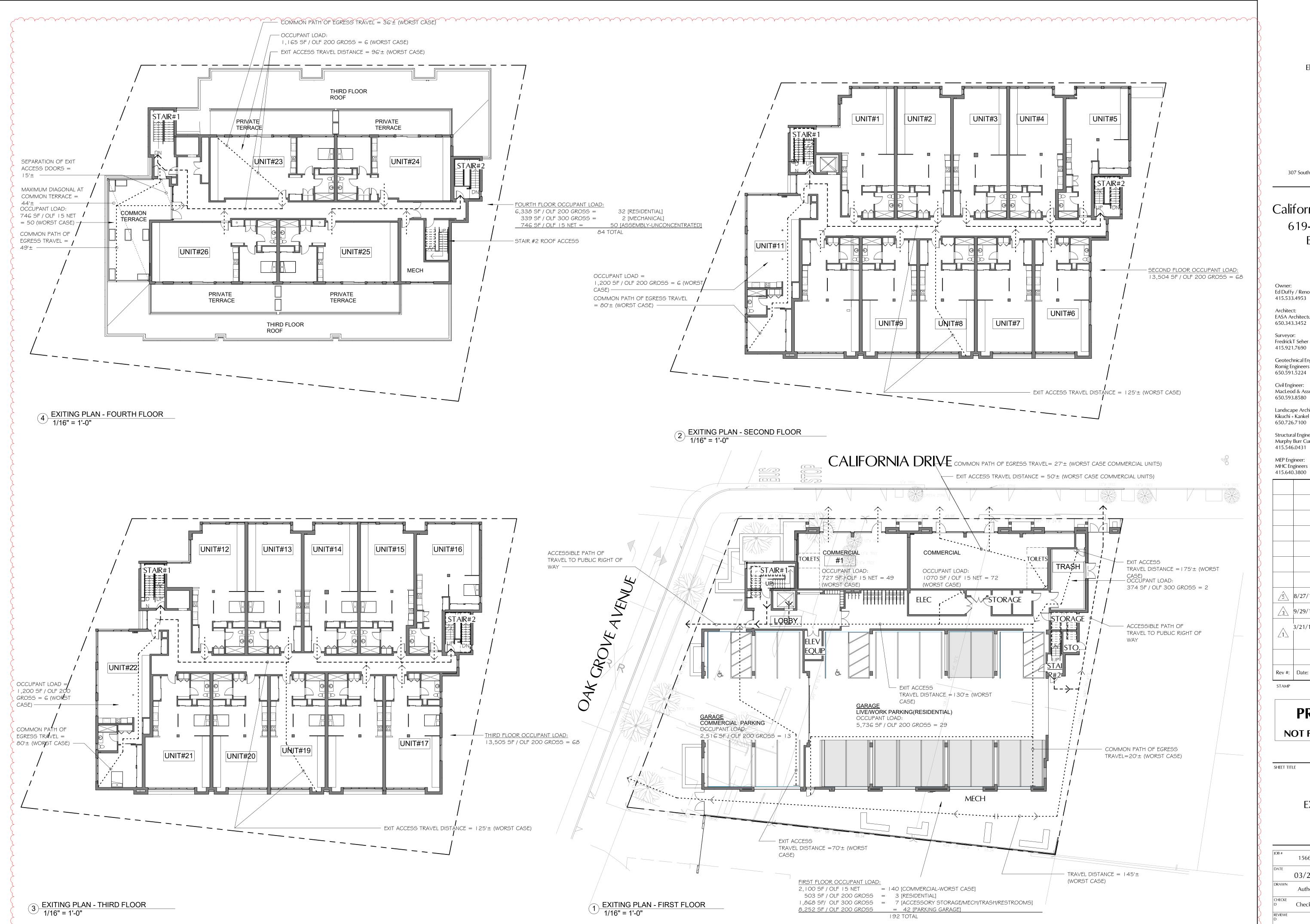
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Peninsula Building 307 South "B" Street #12 San Mateo CA 94401 650.343.3452

California Drive Live-Work 619-625 California Dr. Burlingame, CA

APN#: 029-131-140 APN#: 029-131-150 APN#: 029-131-160

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415.921.7690 Geotechnical Engineer:

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<u>/5</u>	8/27/18	PC Action Hearing	SUL
<u></u>	9/29/17	PC Comments	SUL
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PRELIMINARY NOT FOR GONSTRUCTION

SHEET TITLE

EXITING PLANS

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Peninsula Building 307 South "B" Street #12 San Mateo CA 94401 650.343.3452

California Drive Live-Work 619-625 California Dr. Burlingame, CA

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650.726.7100

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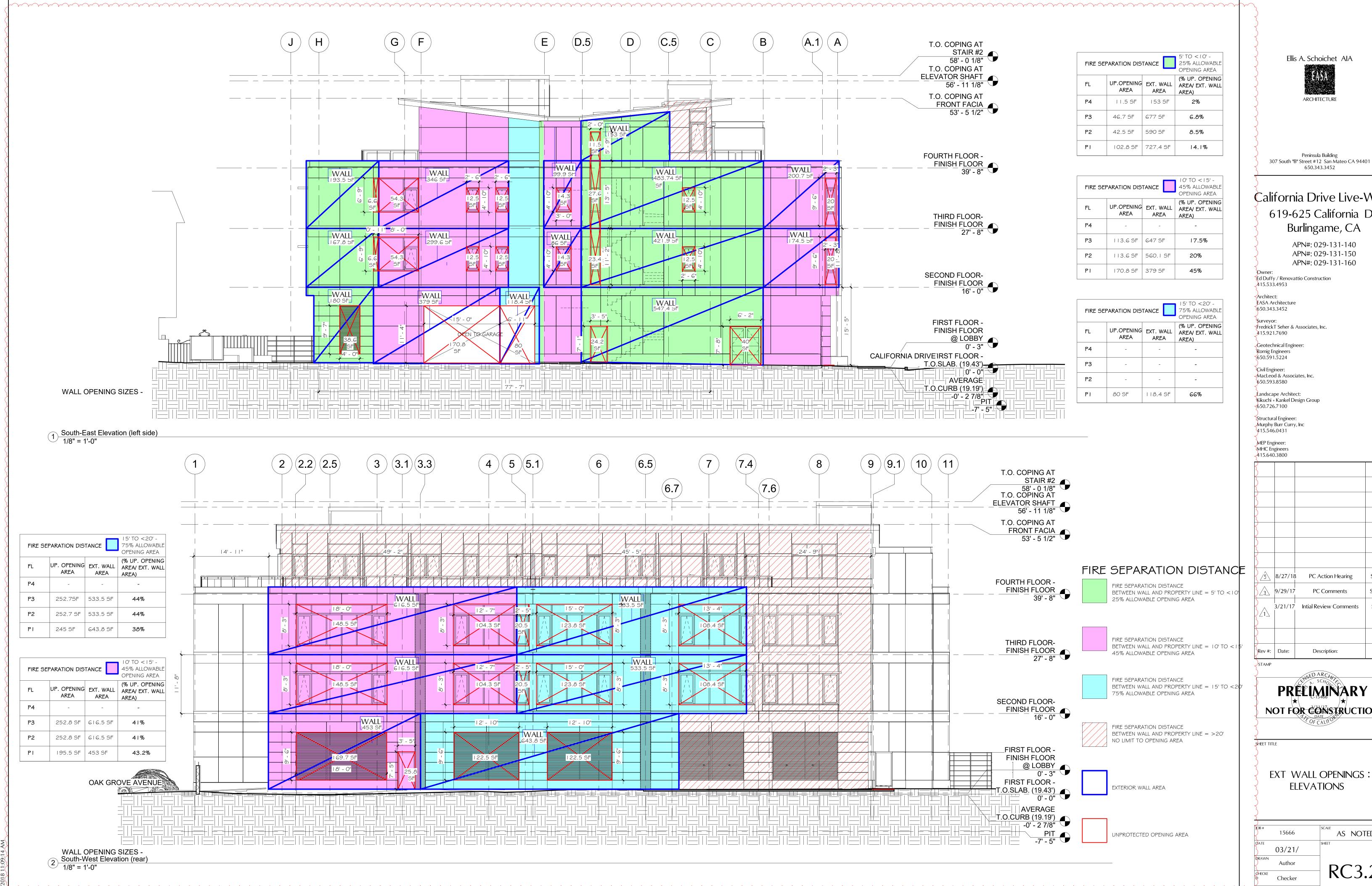
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**NOT FOR CONSTRUCTION

SHEET TITLE

EXTERIOR WALL OPENINGS: PLANS

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03/21/	SHEET
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Checker	KC3.1
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307 South "B" Street #12 San Mateo CA 94401

California Drive Live-Work 619-625 California Dr. Burlingame, CA

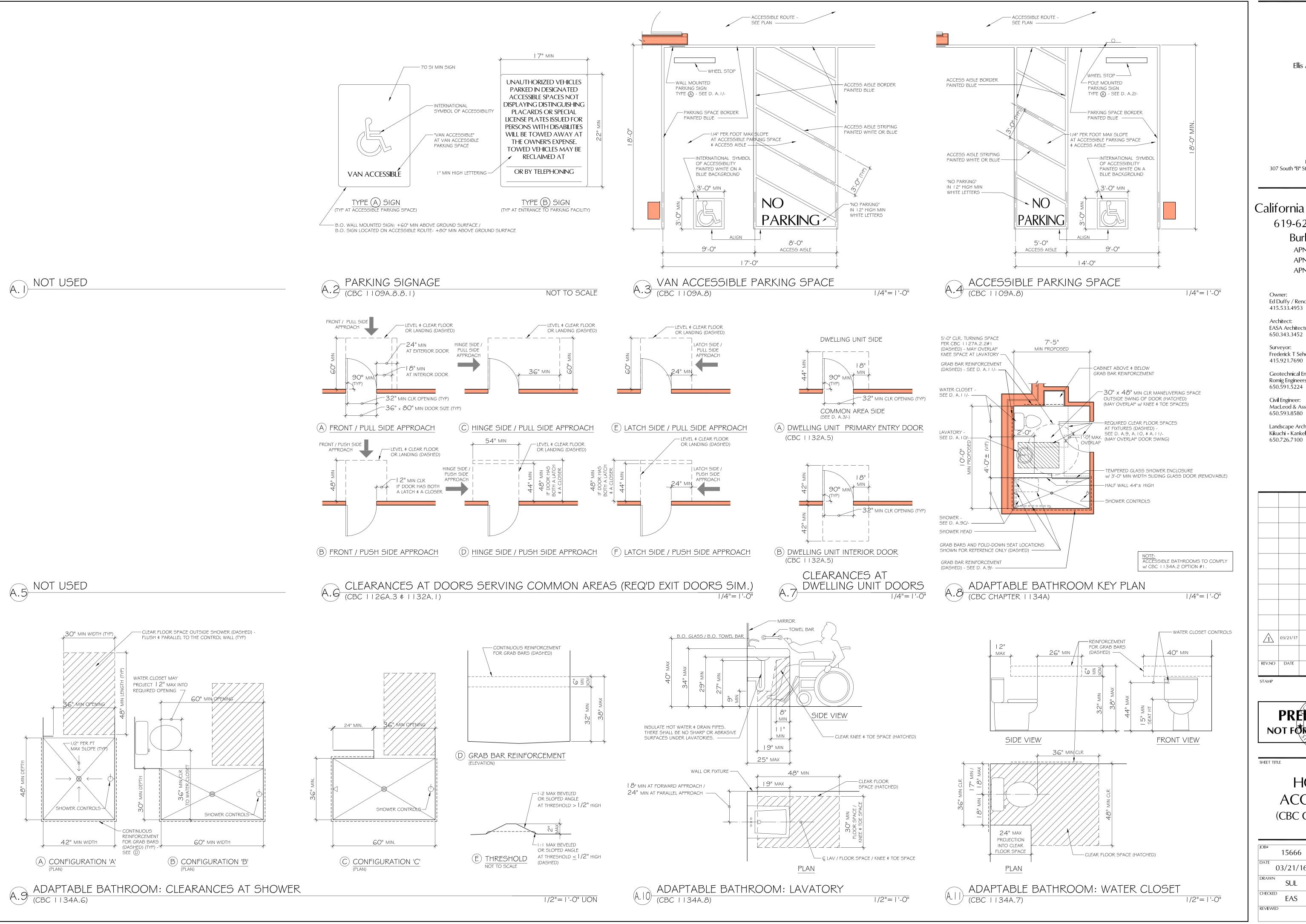
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ELEVATIONS

AS NOTED





Peninsula Building 307 South "B" Street #12 San Mateo CA 94401 650.343.3452

California Drive Live-Work 619-625 California Dr.

Burlingame, CA APN#: 029-131-140 APN#: 029-131-150

APN#: 029-131-160 Owner: Ed Duffy / Renovatio Construction

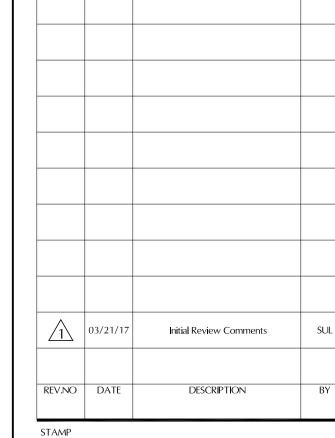
Architect: EASA Architecture 650.343.3452

Surveyor: Frederick T Seher & Associates, Inc. 415.921.7690

Geotechnical Engineer: Romig Engineers 650.591.5224

Civil Engineer: MacLeod & Associates, Inc. 650.593.8580

Landscape Architect: Kikuchi + Kankel Design Group 650.726.7100





HOUSING **ACCESSIBILITY** (CBC CHAPTER 11A)

15666	AS NOTED
DATE 03/21/16	SHEET
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Peninsula Building 307 South "B" Street #12 San Mateo CA 94401 650.343.3452

California Drive Live-Work 619-625 California Dr.

Burlingame, CA APN#: 029-131-140 APN#: 029-131-150

APN#: 029-131-160

Owner: Ed Duffy / Renovatio Construction 415.533.4953

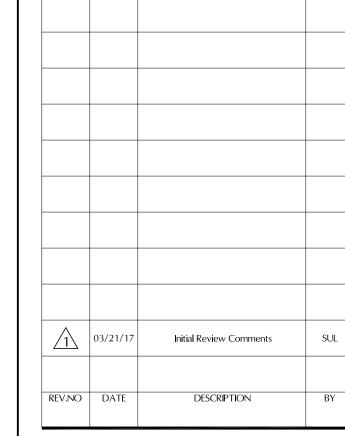
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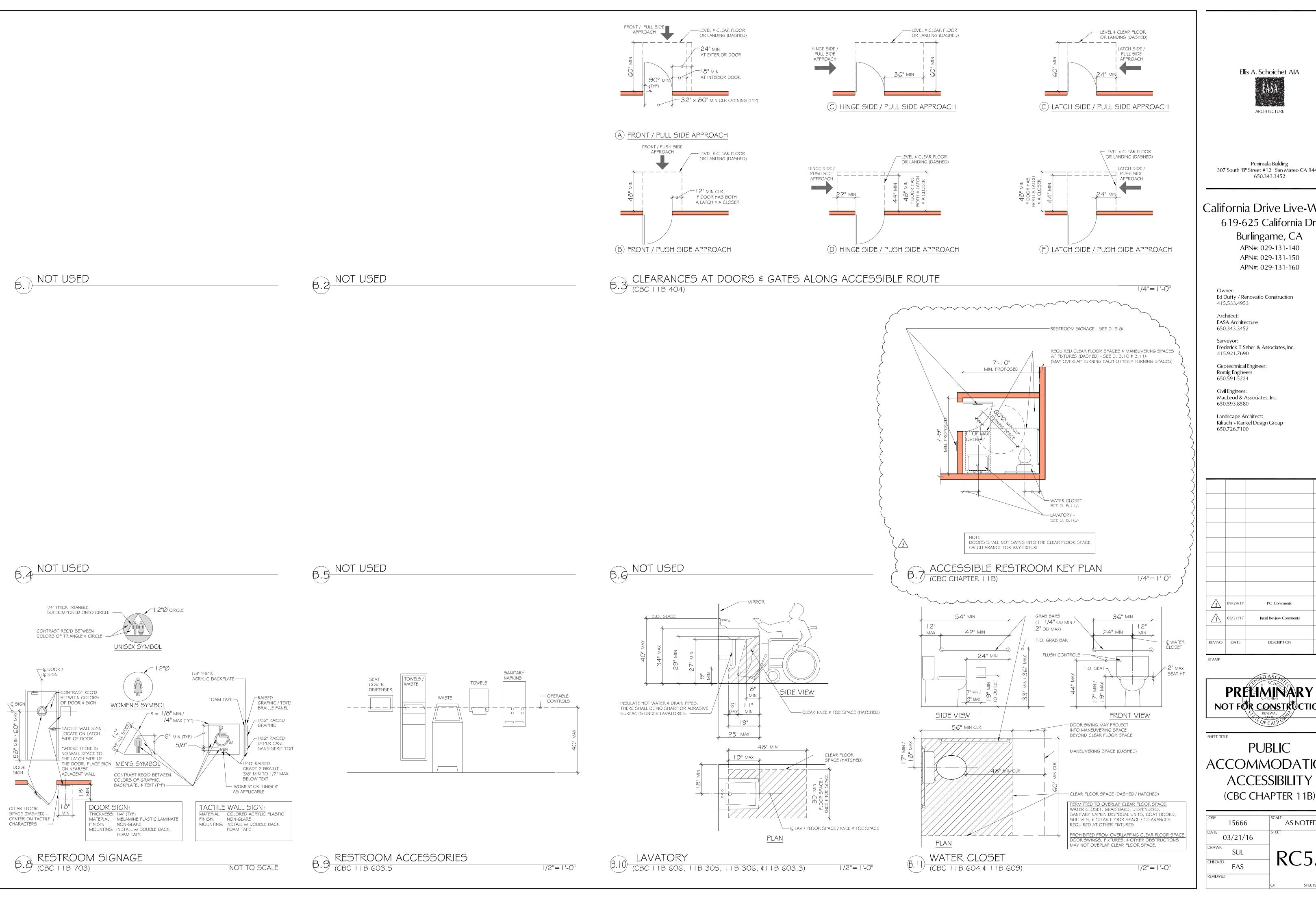
Landscape Architect: Kikuchi + Kankel Design Group 650.726.7100





HOUSING ACCESSIBILITY: **ELEVATOR** (CBC CHAPTER 11A)

JOB# 15666	SCALE AS NOTED
DATE 03/21/16	SHEET
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California Drive Live-Work 619-625 California Dr.

Burlingame, CA

APN#: 029-131-140 APN#: 029-131-150 APN#: 029-131-160

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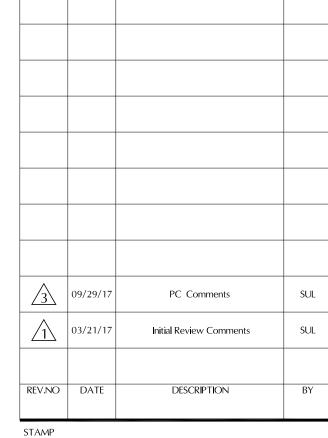
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PUBLIC ACCOMMODATION **ACCESSIBILITY**

15666 AS NOTED 03/21/16 SUL RC5.1 EAS