

GENERAL NOTES

1.

All work shall comply with applicable codes and trade standards, including, but not limited to:

2016 California Building Code

(CBC)

[2015 IBC as amended]

2016 California Electrical Code

(CEC)

[2014 NEC as amended]

2016 California Mechanical Code

(CMC)

[2015 UMC as amended]

2016 California Plumbing Code

(CPC)

[2015 UPC as amended]

2016 California Fire Code

(CFC)

[2015 IFC as amended]

2016 California Energy Code

(TITILE 24)

2016 California Residential Code

(CRC)

[2015 IFC as amended]

2016 California Green Building Standards Code

(CalGreen)

City of Burlingame Municipal Code

Americans with Disabilities Act

(ADA)
2.

If work is required in a manner that makes it impossible to produce first class work, or should discrepancies appear within these Contract Documents and/or conditions at the site; the Contractor shall Request an interpretation from the Architect before proceeding with any directly or indirectly related work.
3.

The Architect shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, nor shall the Architect be responsible for the Owner's or any Contractor's failure to employ proper safety precautions.
4.

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DRAWING NOTES

1.

Dimensions take precedence over scale. DO NOT SCALE DRAWINGS.
2.

All dimensions are taken to face of stud, except where noted otherwise:

FOC

Face of Concrete

FOM

Face of masonry

Centerline indicated with
3.

Verify all dimensions in field and notify Architect of any discrepancies.
4.

Center all doors, windows, fireplaces, etc... on walls, unless shown otherwise. Wall return at door jamb adjacent to perpendicular wall to be 4", unless shown otherwise
5.

ABBREVIATIONS

AC	Asphaltic concrete	(N)	New
A/C	Air conditioning	NIC	Not in contract
AD	Area Drain	NP	New paving
ADJ	Adjustable	NTS	Not to scale
AFF	Above finish floor	OD	Outside diameter
AHJ	Authority having jurisdiction	O/F	Overflow
B.O.	Bottom of	OH	Overhead or Opposite Hand
BOIC	Purchase by Owner, installation by Contractor	OPG	Opening
		PA	Planted area
BSL	Building setback line	PL	Proposed grade
BUR	Build-up roofing	PG	Property line
CATV	Cable television	PLYWD	Plywood
CB	Catch basin	PT	Pressure treated
C	Centerline	PT	Point
CLR	Clear	PUE	Public utility easement
CO	Cleanout	PV	Photo-voltaic
CONC	Concrete	(R)	Remove existing and replace with new
C.OPG	Cased opening	RCP	Reflected Ceiling Plan
COTG	Cleanout to grade	RDWD	Redwood
D	Detail	RO	Rough opening
DLO	Daylight opening	ROW	Right of way
DS	Downspout	RV	Roof vent
(E)	Existing	SCD	See Civil drawing
EA	Each	SD	Storm draining
E.A.	Exposed aggregate	SL	Skylight
EG	Existing grade	SQ	Square
EM	Electric meter	SS	Sanitary sewer
EQ	Equal	SSCO	Sanitary sewer cleanout
EP	Existing paving	SSD	See Structural drawing
FD	Floor drain	SSE	Sanitary sewer easement
FE	Fire extinguisher	S&P	Shelf and pole
FEC	Fire extinguisher cabinet	TB	Towel bar
FF	Finish floor	TBD	To be determined
FFE	Finish floor elevation	TBS	To be selected
FL	Flow line	TEL	Telephone
F.O.	Face of	T.O.	Top of
FOC	Face of concrete	TOS	Top of slab
FOM	Face of masonry	TW	Top of wall
FOS	Face of stud	TYP	Typical
FP	Finish paving	T&B	Top and bottom
FS	Floor sink	T&G	Tongue and groove
FVA	Free ventilating area	UG	Underground
GM	Gas meter	UON	Unless otherwise noted
GS	Galvanized steel	V	Vent
HDWD	Hardwood	VIF	Verify in field
HT	Height	VWM	Verify dimension with product manufacturer's requirements
IB	Ironing board	VWO	Verify with Owner
ID	Inside diameter	VWS	Verify dimension with design-build subcontractor's requirements
IRR	Irrigation controls		
JP	Joint pole	WD	Wood
LOC	Location	W.I.	Wrought iron
MC	Medicine cabinet	WM	Water meter
MEP	Mechanical, Electrical, and Plumbing Plan	WP	Work point
	Manufacturer	WV	Water valve
MFR	Manhole	Ø	Diameter
MH	More or less		
MOL			

REGULATORY COMPLIANCE NOTES

1.

"Construction Hours"
(See City of Burlingame Municipal Code, Section 13.04.100 for details.)
Weekdays: 8:00 a.m. - 7:00 p.m.
Saturdays: 9:00 a.m. - 6:00 p.m.
Sundays and Holidays: No work allowed
2.

Any hidden conditions that require work to be performed beyond the scope of the building permit issued for these plans may require further City approvals including review by the Planning Commission. The building owner, project designer, and/or contractor must submit a Revision to the City for any work not graphically illustrated on the Job Copy of the plans prior to performing the work.
3.

At the time of Building Permit application, when applicable, plans and engineering will be submitted for shoring as required by 2016 CBC, Chapter 31 regarding the protection of adjacent property and as required by OSHA. The following will be addressed:

a.

Walls of excavations shall be properly shored prior to constructionactivity. Where temporary shoring is needed a competent contractor shall be consulted for recommendations and design of the shoring scheme for the excavation. The recommended design and type of shoring shall be approved by the engineer of record or soils engineer prior to usage.

b.

All appropriate guidelines of OSHA shall be incorporated into the shoring design and implemented by the contractor. Where space permits, temporary construction slopes may be utilized in lieu of shoring. Maximum allowable vertical cut for the subject project will be five (5) feet. Beyond that Horizontal benches of 5 feet wide will be required. Temporary shores shall not exceed 1 to 1(horizontal to vertical). In some areas due to high moisture content / water table, flatter slopes may be required if so recommended by the soils engineer in the field.

c.

If shoring is required, the plans will specify the licensed design professional that has sole responsibility to design and provide adequate shoring, bracing, formwork, etc. as required for the protection of life and property during Construction of the building.

d.

Where provided, shoring and bracing shall remain in place until the affected floors, roof, and/or wall sheathing have been constructed and are completely self-supporting.

e.

Shoring plans shall be wet-stamped and signed by the engineer-of-record and submitted to the city for review prior to construction. If applicable, include surcharge loads from adjacent structures that are within the zone of Influence (45 degree wedge up the slope from the base of the excavation) and / or driveway surcharge loads.
4.

An OSHA permit will be obtained if needed per CAL / OSHA requirements. See the Cal / OSHA handbook at: http://www.ca-osha.com/pdfpubs/osha_userguide.pdf * Construction Safety Orders : Chapter 4, Subchapter 4, Article 6 , Section 1541.1.
5.

A Grading Permit will be obtained from the Department of Public Works if required.
6.

Plans submitted for building code plan check will include a complete underground plumbing plan including details for the location of all required oil interceptors and city-required backwater prevention devices.
7.

This project is designed to comply with the following Accessibility regulations:

a.

California Building Code (CBC), Chapter 11A for public areas, common areas, and individual Live/Work units.

b.

The Fair Housing Act.
8.

No public money of any kind will or will be used to construct this project.
9.

No tax credits or rebates are sought for this project.
10.

Work areas within Live/Work units shall not include the use/storage of hazardous materials. Acceptable operational processes are limited to those where the majority of contents are either noncombustible or so arranged that a fire is not likely to spread rapidly.
11.

Additional regulatory compliance information can be found on Sheets A-0.02- A- 0.08

CODE COMPLIANCE

PLANNING DATA	
ADDRESS:	619- 625 California Drive, Burlingame CA
ASSESSOR'S PARCEL NUMBERS (Block/lot):	029-131-140 029-131-150 029-131-160 19,450 SF C-2, North California Drive Commercial District 3.0 Live/Work
LOT SIZE:	
ZONING:	
FAR:	
USE:	

SETBACKS			North California Drive Commercial District (Code Section 25.31.060)
FRONT (California Drive)	NONE	no minimum required	
street side (Floribunda Drive)	NONE	no minimum required	
SIDE	NONE	no minimum required	
REAR	12'- 4 1/2"	10'- 0"	

BUILDING HEIGHT			North California Drive Commercial District (Code Section 25.31.060)
	PROPOSED	ALLOWED	
	54'- 8 3/4"	55'- 0" (CU over 35'-0")	
Conditional Use Permit for building height exceeding 35'-0"			

LOT COVERAGE			
	PROPOSED	ALLOWED	
	14,507 SF	14,587.5 SF	(Max = 75% of lot area)

FLOOR AREA			
P ROOF FLOOR LEVEL(GROSS):	0 SF	x	
P5 FLOOR LEVEL(GROSS):	9,070 SF	x	
P4 FLOOR LEVEL(GROSS):	14,121 SF	x	
P3 FLOOR LEVEL(GROSS):	14,402 SF	x	
P2 FLOOR LEVEL(GROSS):	14,402 SF	x	
P1 FLOOR LEVEL(GROSS):	6,125 SF	x	
TOTAL FLOOR AREA	58,120 SF	58,350 SF	(Max FAR = 3.0)

RESIDENTIAL UNITS & PARKING:			
	PROPOSED # OF UNITS		
P1 FLOOR LEVEL:	0		
P2 FLOOR LEVEL:	12		
P3 FLOOR LEVEL:	12		
P4 FLOOR LEVEL:	12		
P5 FLOOR LEVEL:	8		
TOTAL NUMBER OF UNITS PROVIDED:	44		

		Off-Street Parking (Chapter 25.70)	
PROPOSED # OF RESIDENTIAL PARKING SPACES			
	(42 SPACES PROVIDED ON MECHANICAL LIFT)		
UNINSTALL SPACES (INC DEDICATED EV SPACE)	43		
ACCESSIBLE VAN SPACE	1		
	(MEETS RESI. REQUIREMENTS)		
SUBTOTAL:	44		
TOTAL RESIDENTIAL PARKING SPACES PROVIDED:	44		

BUILDING CODE DATA			2016 California Building Code
Governing Code:			
Occupancy Group:			
MIXED OCCUPANCY			
A3:	Open space - yard		
S2:	Parking Garage on First Floor		
	Boiler Room, Bike Storage, Elec Room, Sec. Data		
R2:	Live/ Work Units on Second - Fifth Floors		
	Lobby on First Floor		
B- Resi. Amenities:	Conference room and Workshare/ Co-Working		
	Space		
S1:	HOA Storage, Janitor's Closet, Trash		
Type IA	First Floor Podium		
Type IIIA	Second - Fifth Floors		

Construction Type:			
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BURLINGAME 1-V2 LIVE-WORK

OWNER:	Ed Duffy / Renovatio Construction	650.627.4260
ARCHITECT:	Ian Birchall & Associates	415.512.9660
SURVEYOR:	Frederick T. Seher & Associates	415.921.7690
GEOTECHNICAL ENGINEER:	Romig Engineers Inc.	650.591.5224
CIVIL ENGINEER:	MacLeod And Associates	650.593.8580
LANDSCAPE ARCHITECT:	PGA Design	510.465.1284
STRUCTURAL ENGINEER:		
MEP ENGINEER:		

PROJECT DESCRIPTION

The Owner is proposing a 44 unit 'Live/Work' building at the corner of California Drive and Oak Grove Avenue in Burlingame. A private 44 car covered parking garage will be provided for the residents at grade level including an EV charging station.
The landscape improvements at the street corner will be oriented to serve the general public.
Private amenities for the residents include Workshare/ Co-Working Space, secure covered bicycle parking, and a series of common gathering spaces at grade.

EXISTING STRUCTURES

1.

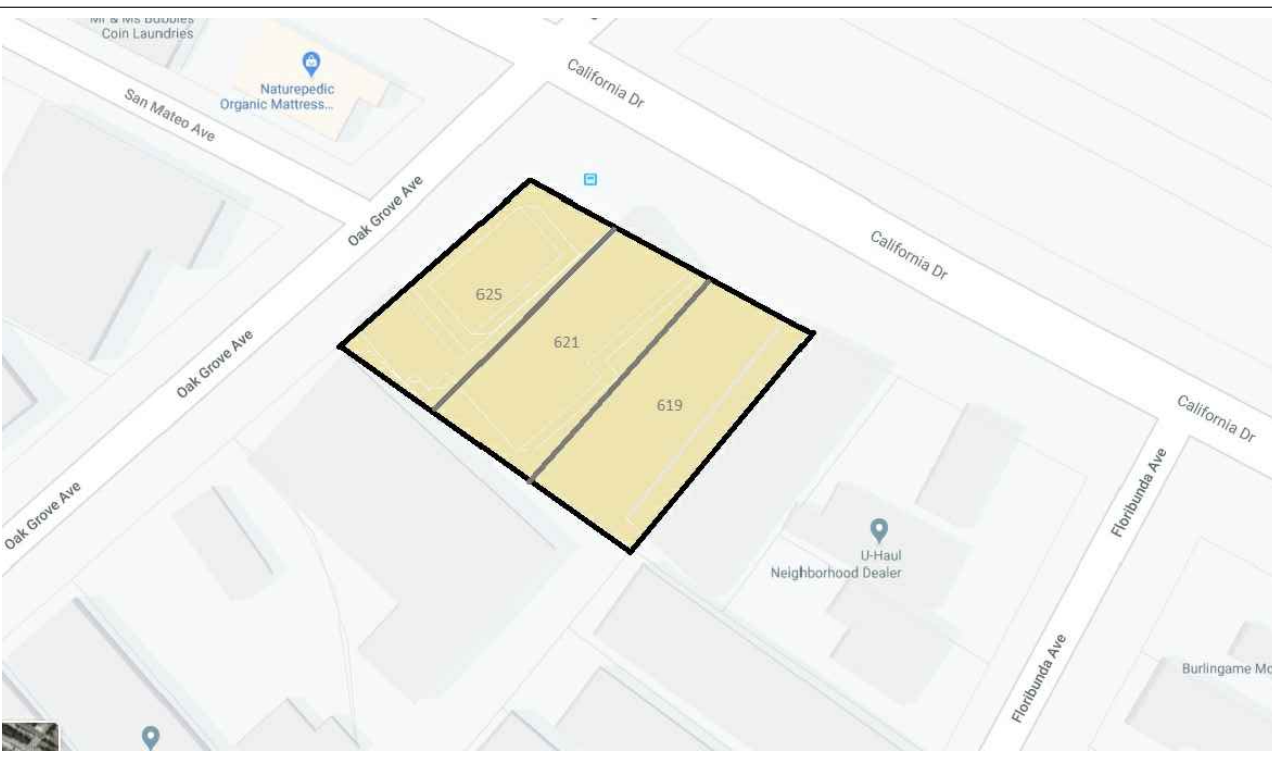
EXISTING COMMERCIAL BUILDING AT 621 CALIFORNIA DRIVE : 5,956 SF
2.

EXISTING RESIDENTIAL BUILDINGS AT 625 CALIFORNIA DRIVE: 2 DWELLING UNITS.
- 625 CALIFORNIA DRIVE =

1,456 SF (CORNER HOUSE)
- 153 SF (DETACHED GARAGE - NO LONGER EXTANT)

861SF (HOUSE FACING OAK GROVE AVENUE)
- 1201 OAK GROVE AVENUE =

VICINITY MAP



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ib+a

architecture

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PROJECT NAME
CALIFORNIA DRIVE
LIVE-WORK

619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT
Edward Duffy

For Ownership LLC (TBD)

625 California Drive,
Burlingame, CA 94010

NOT FOR CONSTRUCTION

PROJECT TEAM		
ARCHITECT		
Ian Birchall + Associates		415-512-9660
CIVIL ENGINEER		
MacLeod and Associates		650-593-8580
LANDSCAPE ARCHITECT		
PGAdesign, Inc		510-465-1284
SURVEYOR		
Frederick T Seher & Associates, Inc.		415-921-7690
GEOTECH ENGINEER		
Romig Engineers Inc		650-591-5224

3	01 / 25 / 2021	POST DESIGN REVIEW REVISIONS
2	11 / 02 / 2020	DESIGN REVIEW STUDY SESSION
1	10 / 07 / 2020	INITIAL DESIGN REVIEW #1-RESPONSE
0	08 / 28 / 2020	RECOLOGY COORD.
0	07 / 20 / 2020	CITY SUBMISSION SET

SHEET DESCRIPTION
GENERAL NOTES
PROJECT INFO.
SHEET INDEX

DATE	1/25/2021
SCALE	As indicated
DRAWN BY	VP/ SS
CHECKED BY	IB
JOB NO.	2006

A-0.01a

SHEET NO.

All drawings and written material appearing herein constitute the original and unpublished work of the designer and the same may not be duplicated, used, or disclosed without the written consent of the designer.

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CODE ANALYSIS

ian birchall + associates

Building Code Review				
Applicable Codes:		2016 CBC		
Project Name and Location:		619-625 California Drive, Burlingame		
Project #		Burlingame 1-02, 619-625 California Drive		
Date Prepared:		21_0122	By: SS/ VP checked by: IB	

I. Occupancy Analysis:	Applicable code section
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Primary Occupancy Classification R-2 (Level P1-P5) (LIVE/WORK) Sec. 310.4

Occupancy Classifications		
III-A Occupancies	R-2 at Levels P2-P5 - Live-Work units R-2 at Level P1 - Resi. Lobby, mail, S-2 at Level P1 - Parking, boiler room, bike storage, elec room S-1 at Level P1 - HOA storage, Janitor's closet, Trash B at Level P1 - Conference room and co-working space A-3 at Level P1 - Open space at rear yard	Sec. 310.4 Sec. 311.3 Sec. 311.2 Sec. 304 / 303.1.1 Sec. 303.4
I-A Occupancies		

Gross Building Area 56,120 SF (per Burlingame Planning Code - excludes parking at grade) 66,473 SF (total Constructed area - including garage) Sheet A0.01
Sheet A0.01

Type of Construction Type IIIA over IA Table 601

Automatic Sprinklers Yes - ENTIRE BLDG. - NFPA13 903.3.1.1
903.2.8

Gross Building Area and Allowable Number of Stories and Areas				
	TYPE OF CONST.	REQUIRED / ALLOWED	LEVEL	PROVIDED
Building area per story	III-A	R2: 72,000 of allowable area factor (SM without height increase)	P5 P4 P3 P2	R-2 = 9,070 sf R-2 = 14,121 sf R-2 = 14,402 sf R-2 = 14,402 sf
		R-2: Unlimited sf per-story (SM without height increase) S-2: Unlimited sf per story (SM without height increase) B: Unlimited sf per story (SM without height increase) S-1: Unlimited sf per story (SM without height increase) A-3: Unlimited sf per story (SM without height increase)	P1	R-2 = 1,766 sf S-2 = 8,906 sf B = 1,700 sf (gross) S-1 = 461 sf A-3 = 1,263 sf (open space)

SM = Buildings two or more stories above grade plane equipped throughout with automatic sprinkler system per Sec 903.3.1.1 (NFPA 13).

Area Factor Increase I f = F / P - 0.25 W / 30 where:
I f = area factor increase due to frontage (percent)
F = Building perimeter that fronts on a public way or open space having minimum distance of 20 feet
P = Perimeter of entire building (feet)
W = Width of public way or open space (feet) per 506.3.2.

Mixed-occupancy, Multistory building Equation 5-3 A a = A 1 + (NS x I f) where:
A a = Allowable area (square feet).
A t = Tabular allowable area factor (NS, S13R or SM value, as applicable) in accordance with Table 506.2.
NS = Tabular allowable area factor in accordance with Table 506.2 for a nonsprinklered building (regardless of whether the building is sprinklered).
I f = Area factor increase due to frontage (percent) as calculated in accordance with Section 506.3.

A a = 72,000 + (24,000 X 0.36)
A a = 72,000 + 8,640
A a = 80,640 sf

For buildings with more than three stories above grade plane, the total building area shall be such that the aggregate sum of the ratios of the actual area of each story divided by the allowable area of such stories, determined in accordance with Equation 5-3 based on the applicable provisions of Section 508.1, shall not exceed three, provided the aggregate sum of the ratios for portions of mixed-occupancy, multistory buildings containing A, E, H, I, L, and R occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, including any other associated non-separated occupancies, shall not exceed two.

Allowable Building Area per Story

FOR THE TYPE III-A CONST. PORTION OF THE BUILDING:

Area per Story Allowable area
P5 = 9,070 sf 80,640 sf
P4 = 14,121 sf 80,640 sf
P3 = 14,402 sf 80,640 sf
P2 = 14,402 sf 80,640 sf
P1 = 15,003 sf (inc. outdoor open space) UNLIMITED
= (9070 / 80640) + (14121 / 80640) + (14402 / 80640) + (14402 / 80640) + (15,003 unlimited)
= 51,995/80640 + 0
= 0.64
0.64 < 2. PROJECT COMPLIES

Automatic Sprinklers Yes - ENTIRE BLDG FULLY SPRINKLERED IN ACCORDANCE WITH NFPA13 NFPA13 & Sec. 903.3.1.1

Allowable Number of Stories and Allowable Building Height Above Garage Plane	REQUIRED / ALLOWED	PROVIDED
Maximum Allowable Height (from grade and number of stories per construction type)	R-2: 4 stories allowed (S* with area increase) S2-0' max height (S* with area increase)	4 stories / 54'-11" height
	R-2, S-2, B, U, A-3: Unlimited stories allowed (Sprinklered building) - Unlimited height allowed (Sprinklered building)	1 stories - Horizontal Building separation between Type I-A portion of the building and Type IIIA portion.

Building height and number of Stories Grade plane (per Building code) at 19'-0". Finished roofing at 73'-11" Max height of the proposed building per CBC = 54'-11" Sec. 504 / table 504.4

*S = Buildings equipped throughout with automatic sprinkler system per Sec 903.3.1.1 (NFPA 13).

Required Separation of Occupancies (hours) 1 HR assembly between R2 and S2
1 HR assembly between R2 and S1
1 HR assembly between R2 and B
1 HR assembly between B and S1
1 HR assembly between B and S2
1 HR assembly between S2 and S1
1 HR fire partition between dwelling units
~ Walls separating dwelling units shall be constructed as fire partitions per sec 708
~ Fire partitions shall have a fire resistance rating of not less than 1 HR Table 504.4 & T-504.3

Occupancy by Floor:	Floor	Occupants	Table 1004.1.2
(Based on 200gsf/Occ (Live) > 100sf/Occ (Work))	P5	P5 - LIVE-WORK	R-2 33 + 8 = 41 TOT. P5 OCC. = 41
(Based on 200gsf/Occ (Live) > 100sf/Occ (Work))	P4	P4 - LIVE-WORK	R-2 53 + 12 = 65 TOT. P4 OCC. = 65
(Based on 200gsf/Occ (Live) > 100sf/Occ (Work))	P3	P3 - LIVE-WORK	R-2 53 + 12 = 65 TOT. P3 OCC. = 65
(Based on 200gsf/Occ (Live) > 100sf/Occ (Work))	P2	P2 - LIVE-WORK	R-2 53 + 12 = 65 TOT. P2 OCC. = 65
(Based on 200gsf/Occ)		P1 - ENTRANCE LOBBY / MAIL / CIRCULATION	R-2 9
(Based on 100gsf/Occ)		P1 - CONFERENCE ROOM AND WORK SHARE/CO-WORKING SPACE	B 17
(Based on 300gsf/Occ)		P1 - HOA STORAGE/JANITOR'S CLOSET / TRASH	S-1 2
(Based on 200gsf/Occ)		P1 - PARKING	S-2 42
(Based on 300gsf/Occ)		P1 - BOILER ROOM, BIKE STORAGE, ELEC ROOM	S-2 2
(Based on 30sf/Occ)	P1 - OPEN SPACE	P1 - REAR YARD OPEN SPACE	A-3 85
			TOT. P1 OCC. = 72 (INDOOR SPACE)
			TOT. P1 OCC. = 85 (OUTDOOR SPACE)

Total Occupancy 393

II. Egress Requirements:	Applicable code section
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	REQUIRED: 2 Exits for 1-500 Occupants	PROVIDED	
Required Number of Exits	Two (2) for B occupancy - Conference room and worksharing space (17 Occupants)	2	T-1006.3.1
OR Access to Exits	Two (2) for R-2 occupancy - Lobby and resi circulation at P1 Two (2) for R-2 occ at P2, P3, P4 and P5 (41 + 65 Occupants) Two (2) for S-2 occupancy - Parking garage Two (2) for A-3 occupancy - Rear yard / gathering space	2 at each floor 2 2	

Separation of Exits Not be less than one-third of the length of the maximum overall diagonal dimension of the area served (for sprinklered buildings) SEE EXIT DIAGRAMS ON SHEET A-0.02C Sec. 1007.1.1 Ex#2

Maximum Travel Distance	250' (Sprinklered Building) for A-3, R-2, S-1	SEE EXIT DIAGRAMS / SHEET A-0.02C T-1017.2
	300' (Sprinklered Building) for B	SEE EXIT DIAGRAMS / SHEET A-0.02C
	400' (Sprinklered Building) for S-2	SEE EXIT DIAGRAMS / SHEET A-0.02C

Dead-End Corridor Maximum	Not exceed 20'-0" (When more than one exit or exit access is required) In occupancies in Groups B, R-2 and S where the building is equipped with an automatic sprinkler system in accordance with Sec 903.3.1.1, the length of the dead end corridor shall not exceed 50'-0"		Sec. 1020.4 Ex#2
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Roof Access	One (1) - with an alternating tread ladder or a roof hatch with protective guardrails	Two roof hatches	Sec. 1011.12 Exc. Sec. 1011.12.2 Ex. Sec. 1011.13
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Area Of Refuge	Not required at exit stairways in R-2 occupancies or if building is equipped with automatic sprinklers	N/A	Sec. 1009.3 Ex#5 + #8
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Enclosed Elevator Lobby/ Smoke Curtain	Not required at levels of exit discharge that are open to the exterior or that are equipped throughout with an approved automatic sprinkler system in accordance with Sec 903.3.1.1	N/A	Sec. 3006.2 Ex#2-3
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Emergency Escape and Rescue Windows	Not required in R-2 occupancies constructed of Type I and type, III-A equipped throughout with an approved automatic sprinkler system in accordance with Sec. 903.3.1.1	N/A	Sec. 1030.1 Ex#1
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Accessible Means of Egress	Two means of egress required - two provided as accessible, one of which has to be an elevator	One elevator and one 44" wide stair	Sec. 1009.1 Sec. 1009.2.1
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Minimum Egress Route Width	OCC. LOAD X 0.3 = Stair Widths OCC. LOAD X 0.2 = Other Egress 44" for corridors within common areas 36" for corridors within a dwelling unit or occupancy is less than 50	SEE TABLE BELOW 6.15"/44" 9.75"/44" 9.75"/44" 9.75"/44" xx / 44"	Sec. 1005.3.1 Sec. 1005.3.2 T-1020.2
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Stair Width Stairways serving an occupant load of less than 50 shall have a width of not less than 36" Sec. 1011.2 Ex#1.

Exit Widths Required / Provided	*REQ / PROVIDED	*REQ / PROVIDED
Stairs	Stair #1	Stair #2
Roof	roof hatch	roof hatch
Level 5	6.15"/44"	6.15"/44"
Level 4	9.75"/44"	9.75"/44"
Level 3	9.75"/44"	9.75"/44"
Level 2	9.75"/44"	9.75"/44"
Level 1n discharge to street	xx / 44"	xx / 44"
Exit widths at corridors	44" required	60" min. provided

Stair Treads / Risers Provided	Stair #1	Stair #2
MAX TREAD DEPTH =11"	P4 - P5: 18 RISERS OF 6-3/4" (approx.)	P4 - P5: 18 RISERS OF 6-3/4" (approx.)
MAX RISER HEIGHT =7"	P3 - P4: 17 RISERS OF 6-13/16" (approx)	P3 - P4: 17 RISERS OF 6-13/16" (approx)
	P3 - P4: 17 RISERS OF 6-13/16" (approx)	P3 - P4: 17 RISERS OF 6-13/16" (approx)
NOTE: P5 TO ROOF VIA SHIPS LADDER AND ROOF HATCH ACCESS	P1 - P2 : 24 RISERS OF 6-3/4" (approx)	P1 - P2 : 22 RISERS OF 7" (approx)

III. Construction Requirements:	Applicable code section
---------------------------------	-------------------------

Use Group	Occupancy
	R-2, A-3, S-1, S-2, B
Sprinklered	Yes - ENTIRE BLDG. FULLY SPRINKLERED IN ACCORDANCE WITH NFPA13 NFPA13 & Sec. 903.3.1.1
Provided Construction Type	Type III-A OVER TYPE I-A PODIUM CONSTRUCTION T-601 & T-504

Required Hourly Ratings for Construction Components	Applicable code section
---	-------------------------

Building Element	TYPE III-A	TYPE I-A	T-601
Primary Structural Frame	1	3	
Exterior Bearing Walls	2	3	
Interior Bearing Walls	see below	see below	
Exterior Non-bearing Walls	0	0	
Interior Non-bearing Walls	1	2	
Floor / Ceiling Construction	1	n/a	
Roof / Ceiling Construction	3		
horiz. assembly between type I-A and III-A			

FIRE SEPARATION DISTANCE	LOCATION	TYPE III-A (LEVELS P2-P5)	TYPE I-A (LEVELS P1)	T-602
Exterior Non-Bearing Walls X ≥ 30 (R-2, B, S-2 occupancies) X ≥ 30 X ≥ 30 X < 5 5 ≤ X <10 10 ≤ X <30 X ≥ 30	California Drive South Van Ness Ave. @ P5 Oak Grove Ave Oak Grove Ave @ P5 Building exterior walls facing adjoining properties Building exterior walls facing adjoining properties Building exterior walls facing adjoining properties Building exterior walls facing adjoining properties	0 0 0 1 1 1 0	0 - 0 - 1 1 1 0	

Horizontal Building Separation Allowance (Podium Construction) Requirements: 1) 3 HR horizontal separation between 'buildings' 2) Type 1A construction below horizontal assembly 3) Min 2 HR stairway enclosures 4) Group A, B, R, S occupancies permitted above horizontal assembly (each w/ max 300 occupant load) 5) Automatic sprinkler system below horizontal assembly 6) Max bldg ht per Section 504.3 for the building having the smaller allowable height as measured from grade plane Sec. 510.2

MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION				T-705.8
FIRE SEPARATION DISTANCE	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA	LOCATION	
5' TO LESS THAN 10'	Unprotected, Nonsprinklered (UP, NS)	10%		
	Unprotected, sprinkled (UP, S)	25%	West Elevation	
10' TO LESS THAN 15'	Protected (P)	15%		
	Unprotected, Nonsprinklered (UP, NS)	25%		
	Unprotected, sprinkled (UP, S)	45%	West Elevation, South Elevation	
15' TO LESS THAN 20'	Protected (P)	45%		
	Unprotected, Nonsprinklered (UP, NS)	25%		
	Unprotected, sprinkled (UP, S)	75%	South Elevation	
20' TO LESS THAN 25'	Protected (P)	75%		
	Unprotected, Nonsprinklered (UP, NS)	45%		
	Unprotected, sprinkled (UP, S)	No Limit		
25' TO LESS THAN 30'	Protected (P)	No Limit		
	Unprotected, Nonsprinklered (UP, NS)	70%		
	Unprotected, sprinkled (UP, S)	No Limit		
30' OR GREATER	Protected (P)	No Limit		
	Unprotected, Nonsprinklered (UP, NS)	No Limit		
	Unprotected, sprinkled (UP, S)	No Limit		
	Protected (P)	No Limit		

West Elevation Fire Separation Distance : 5'-0" to 10'-0" Maximum area of opening- 25% Unprotected sprinklered (UP,S) and Protected (P) Refer Sheet A-0.03a for plan diagrams and Sheet A-0.03b for Elevation diagram with Opening Area proposed - 17% to 25%

West Elevation Fire Separation Distance : 10'-0" to 15'-0" Maximum area of opening- 45% Unprotected sprinklered (UP,S) and Protected (P) Refer Sheet A-0.03a for plan diagrams and Sheet A-0.03b for Elevation diagram with Opening Area proposed - 15% to 30%

South Elevation Fire Separation Distance : 10'-0" to 15'-0" Maximum area of opening- 45% Unprotected sprinklered (UP,S) and Protected (P) Refer Sheet A-0.03a for plan diagrams and Sheet A-0.03b for Elevation diagram with Opening Area proposed - 15% to 28%

South Elevation Fire Separation Distance : 15'-0" to 20'-0" Maximum area of opening- 75% Unprotected sprinklered (UP,S) and Protected (P) Refer Sheet A-0.03a for plan diagrams and Sheet A-0.03b for Elevation diagram with Opening Area proposed - 25% to 41%

	REQUIRED	PROVIDED	
Exit Corridors	1 hour for R-2 with occ greater than 10	1 HOUR	T-1020.1
Exit Stair Enclosures	2 hour rating min when connecting 4 or more stories	2 HOUR	Sec. 1023.2
Elevator Shaft Enclosures	2 hour rating min when connecting 4 or more floors	2 HOUR	Sec.713.4

IV. Fire Equipment Requirements:	Applicable code section
----------------------------------	-------------------------

Standpipes: Size, Number and Location	Class 3, One Hose, One per floor level stair mid landing	Yes	Sec. 905.6
Smoke + CO Detectors: Type and Required Locations	Yes	Yes	Sec.907.2.11.2
Fire Extinguishers: Type and Required Locations	Yes, per fire code, every 75 ft.	Yes, per fire code, every 75 ft.	Sec. 906.1
Sprinkler Alarm System	Yes, NFPA13	Yes, NFPA13	NFPA13 Sec. 903.2.8 Sec. 903.3.1.1
Annunciator Panel	Yes, in an approved remote location where deemed necessary by the enforcing agency	Yes, at ground floor at Lobby	Sec. 907.6.4.1.1
Manual Fire Alarm System	No	No	Sec. 907.2.9.1 Ex#2
Access to Roof	Yes (1) - With an alternating tread ladder or a roof hatch with protective guardrails	Yes (2)	Sec. 1011.12 Exc. Sec.1011.12.2 Exc. Sec. 1011.13



177 Post Street, Suite 920 San Francisco, CA 94108

tel: (415) 512-9660 fax: (415) 512-9663 www.ibadesign.com

PROJECT NAME

CALIFORNIA DRIVE LIVE-WORK

619-625 California Drive, Burlingame, CA 94010

APN: 029- 131- 140 029- 131- 150 029- 131- 160

CLIENT

Edward Duffy

For Ownership LLC (TBD)

625 California Drive, Burlingame, CA 94010

NOT FOR CONSTRUCTION

PROJECT TEAM

ARCHITECT

Ian Birchall + Associates

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415-921-7690

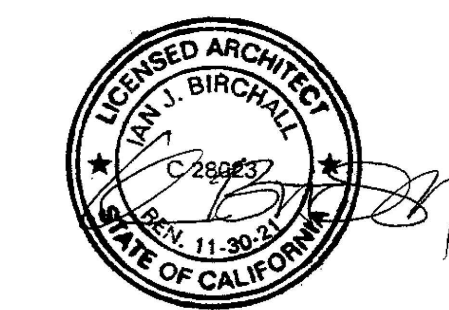
GEOTECH ENGINEER

Romig Engineers Inc

650-591-5224

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SHEET DESCRIPTION

BUILDING CODE ANALYSIS

DATE 1/25/2021

SCALE As indicated

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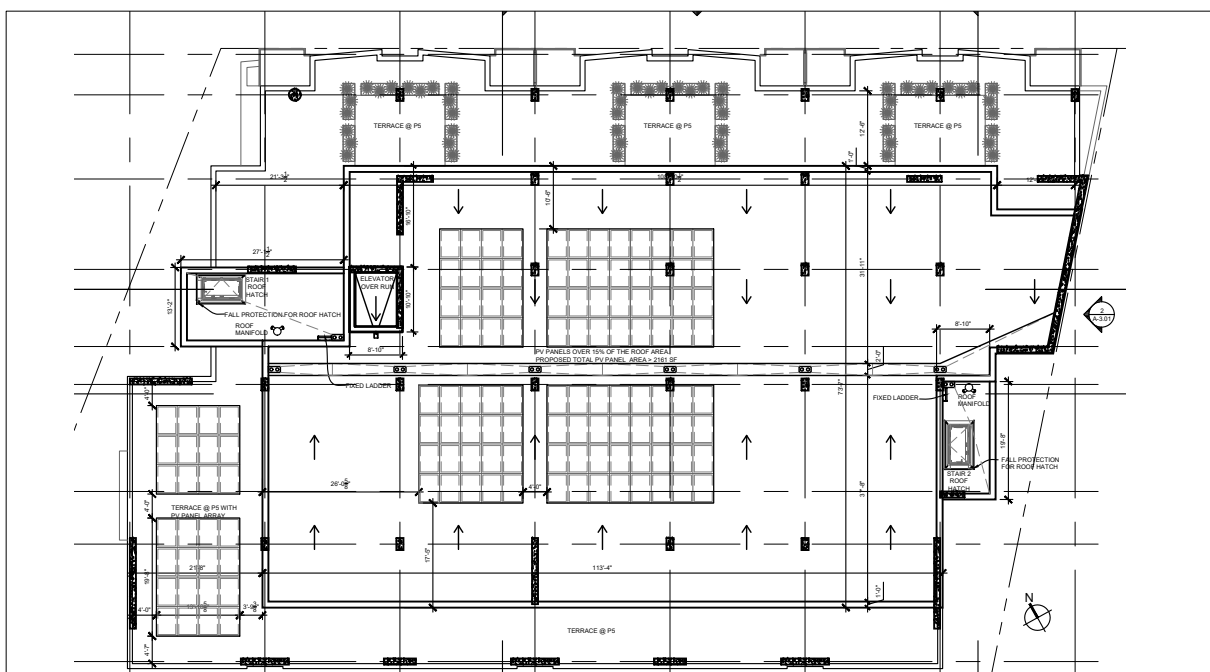
JOB NO. 2006

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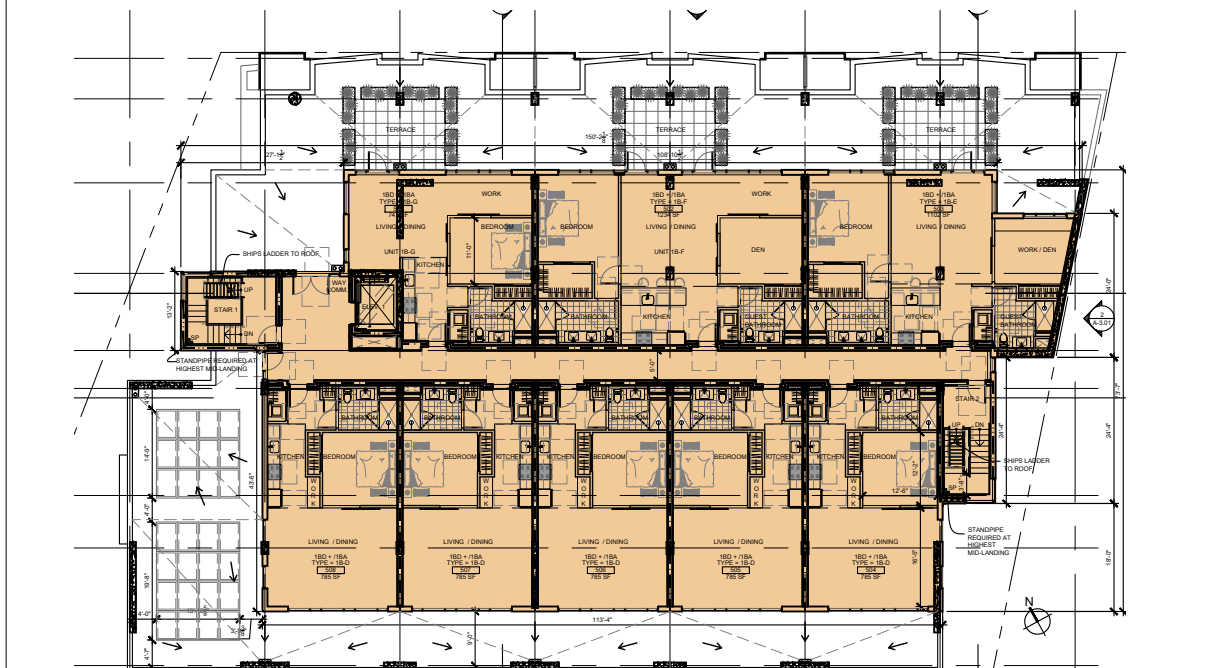
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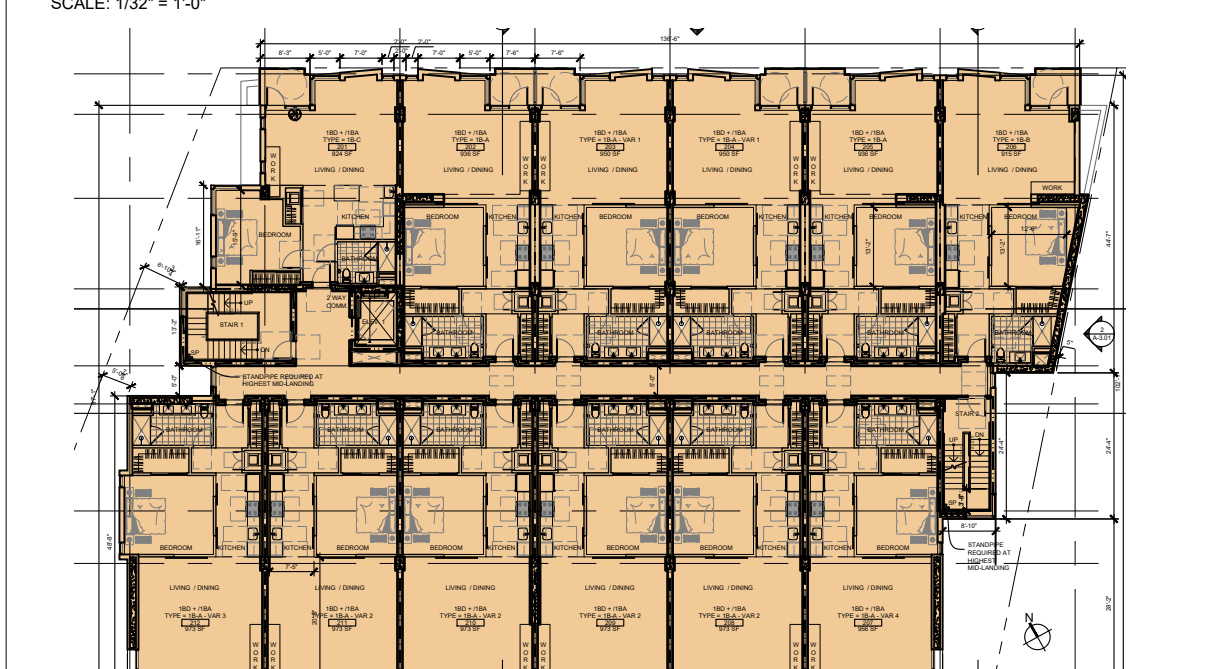
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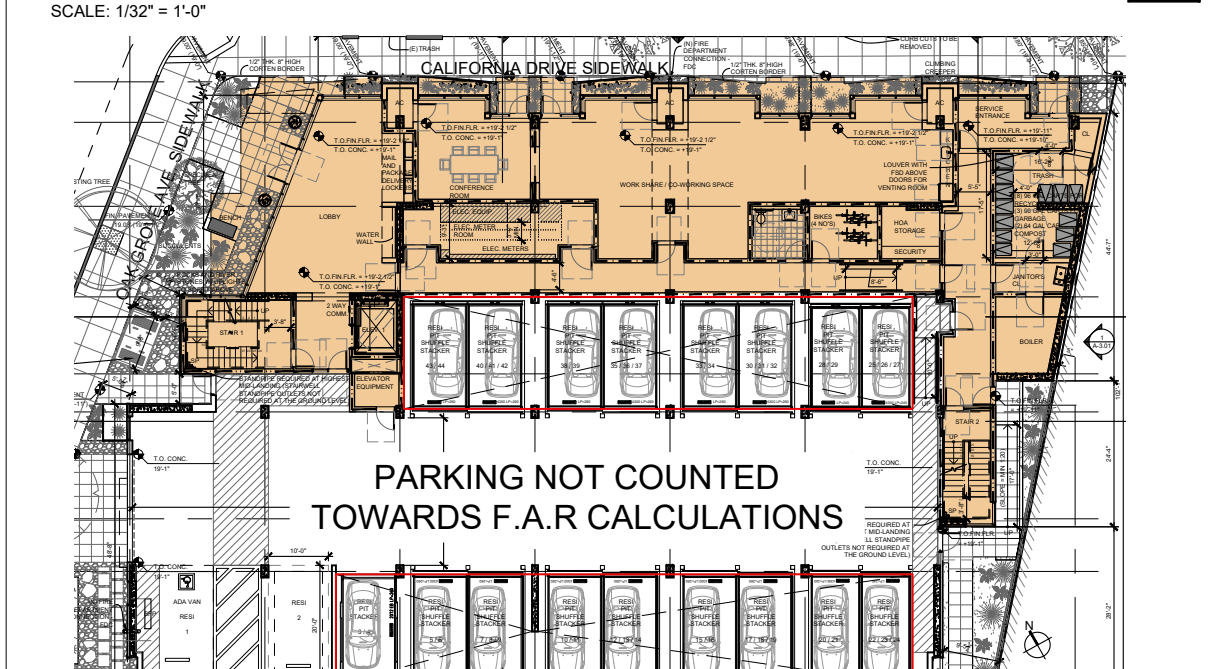
GROSS FLOOR AREA: 9,070 SF
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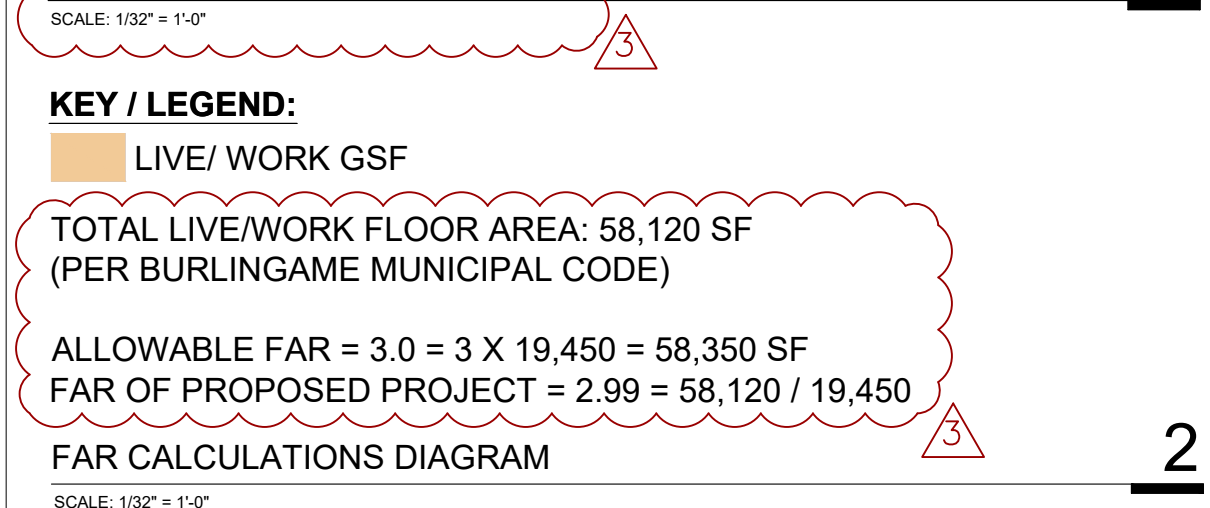
GROSS FLOOR AREA: 14,121 SF
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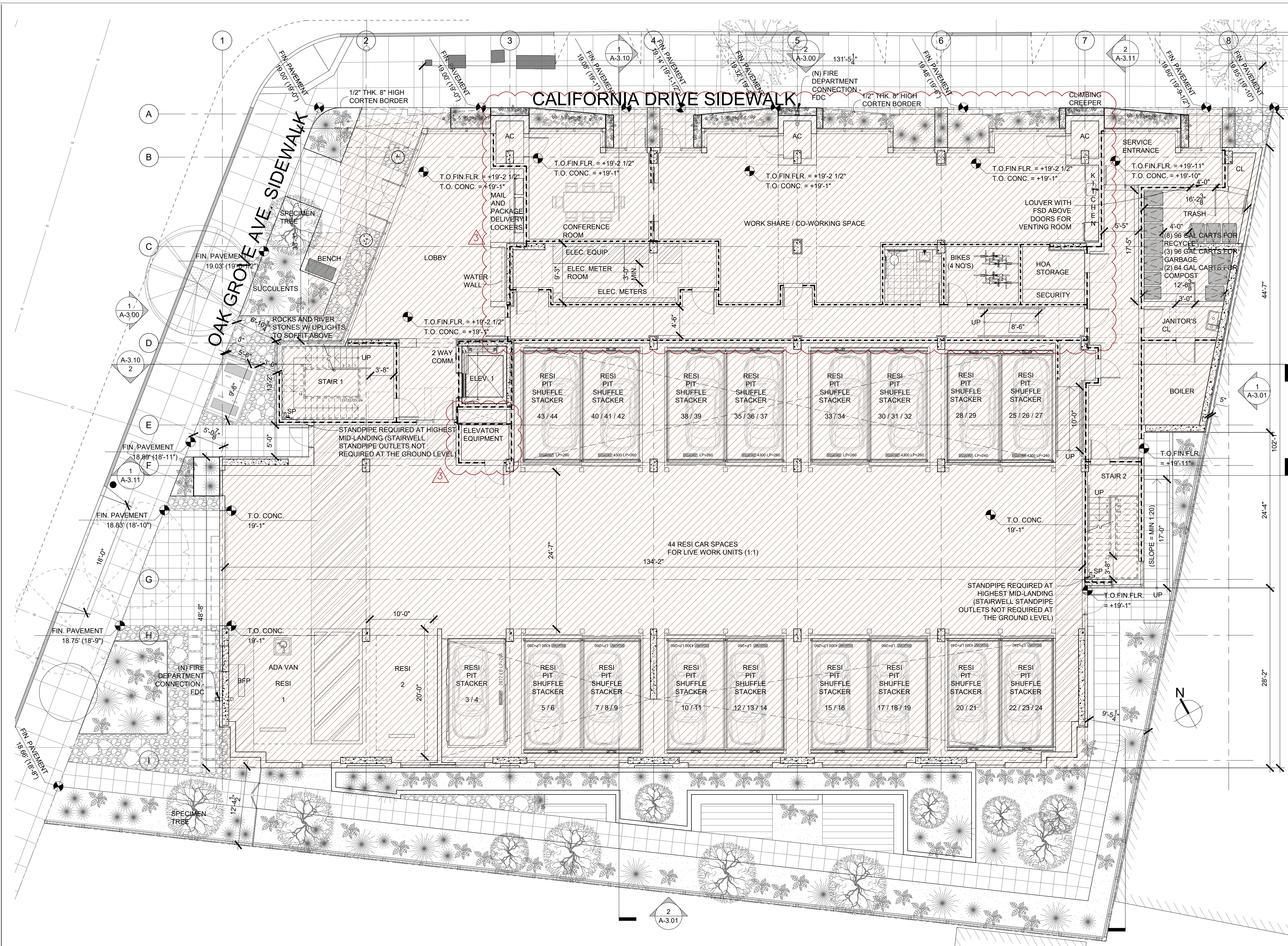
GROSS FLOOR AREA: 14,402 + 14,402 = 28,804 SF
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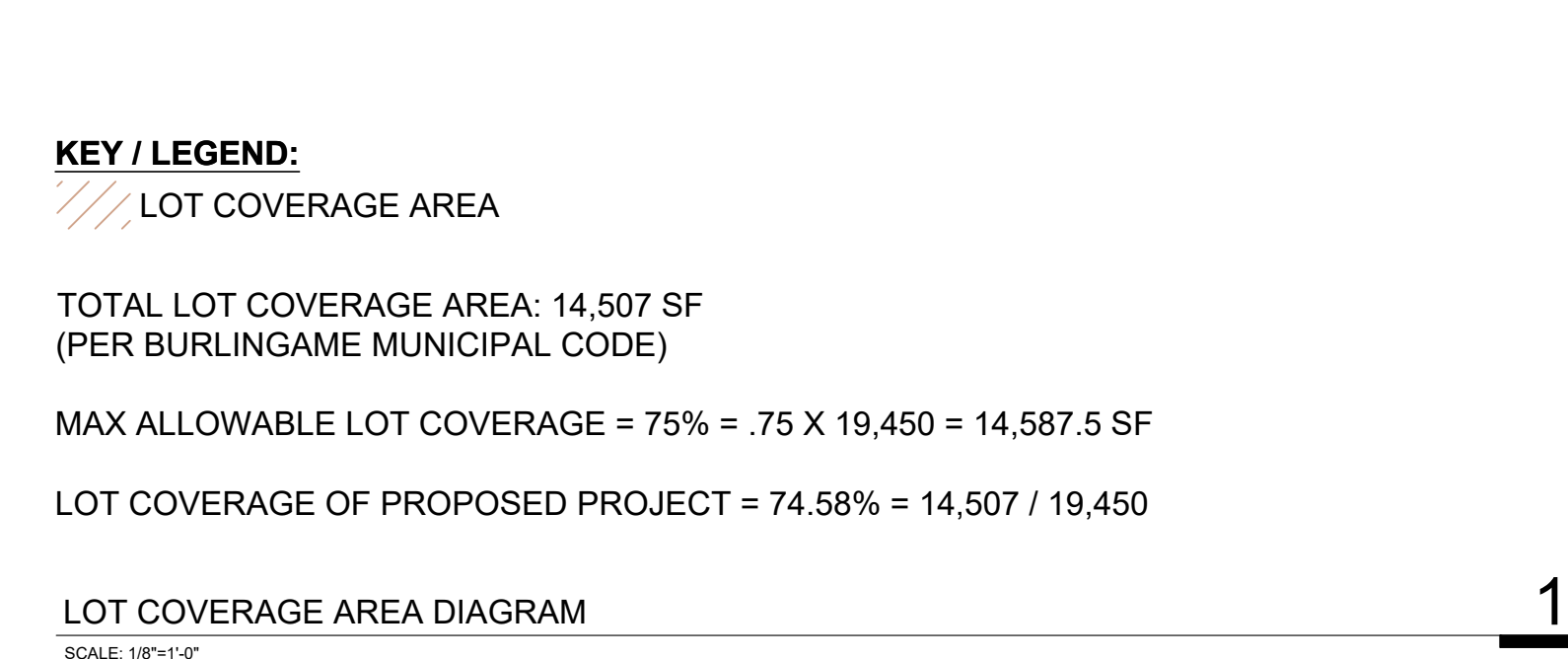
GROSS FLOOR AREA: 6,125 SF
SCALE: 1/32" = 1'-0"



2



LOT COVERAGE AREA: 14,507 SF
SCALE: 1/8" = 1'-0"



1

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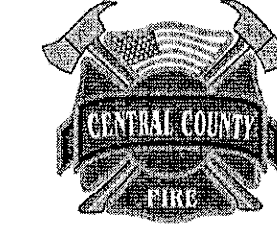
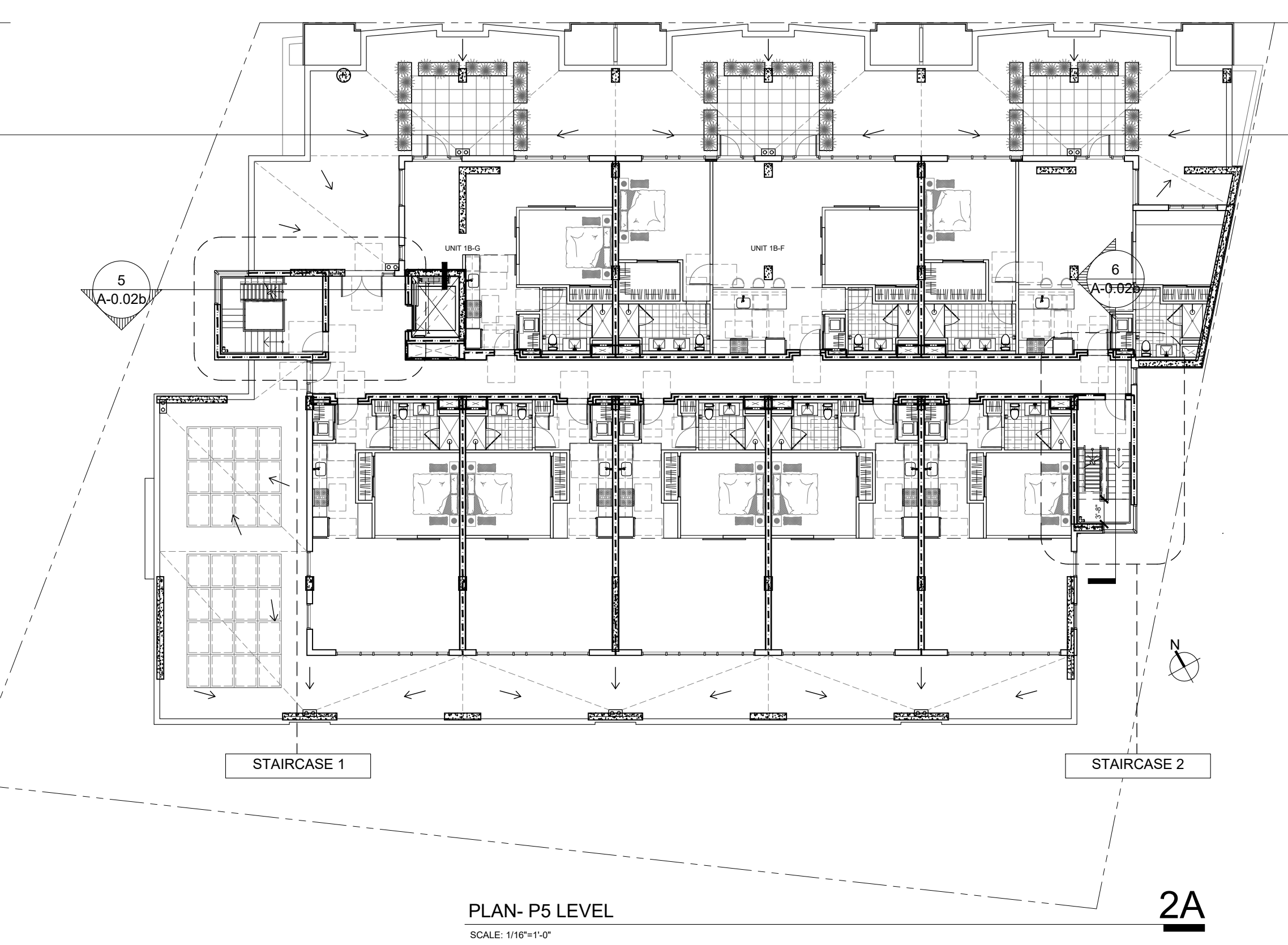
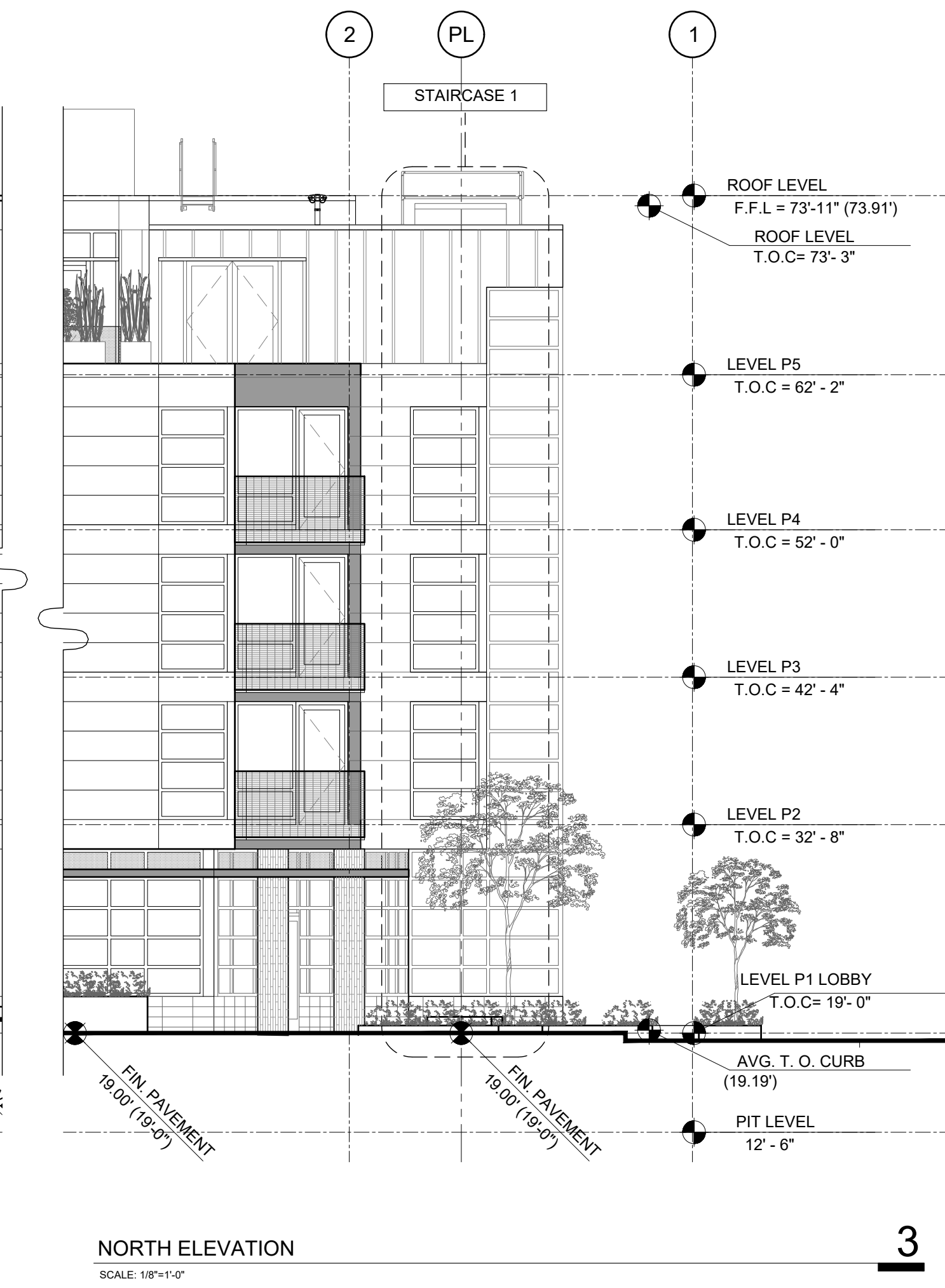
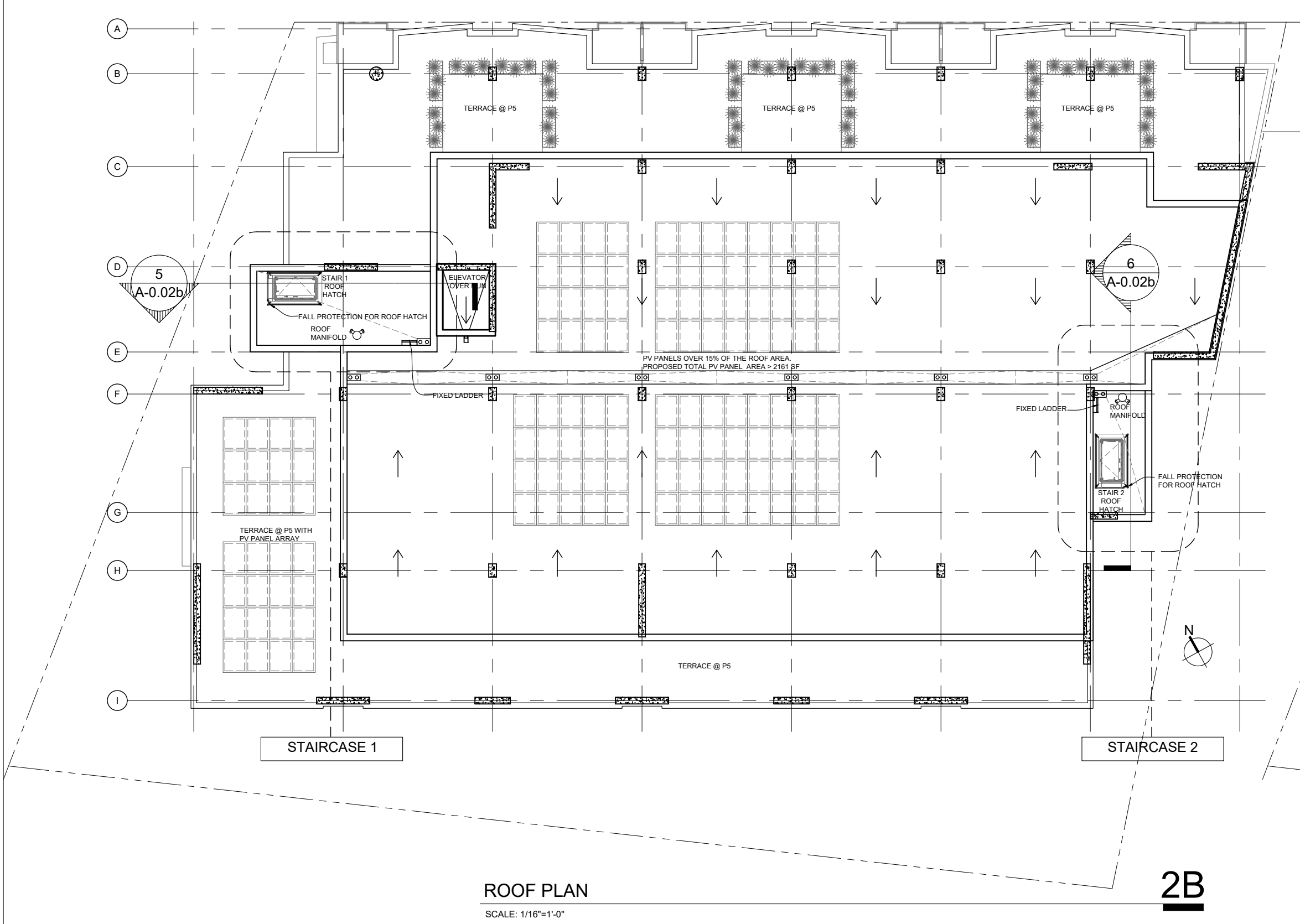
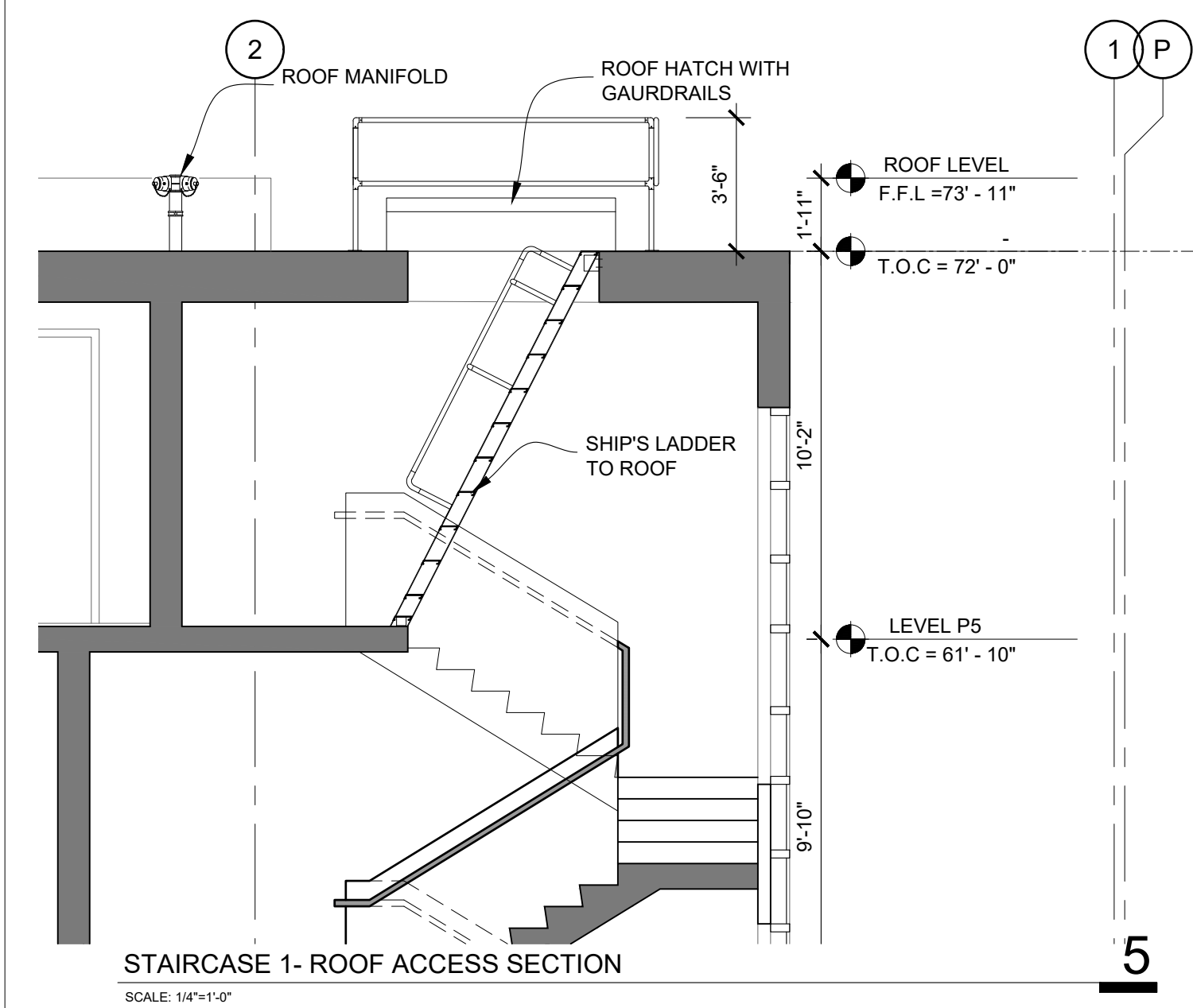
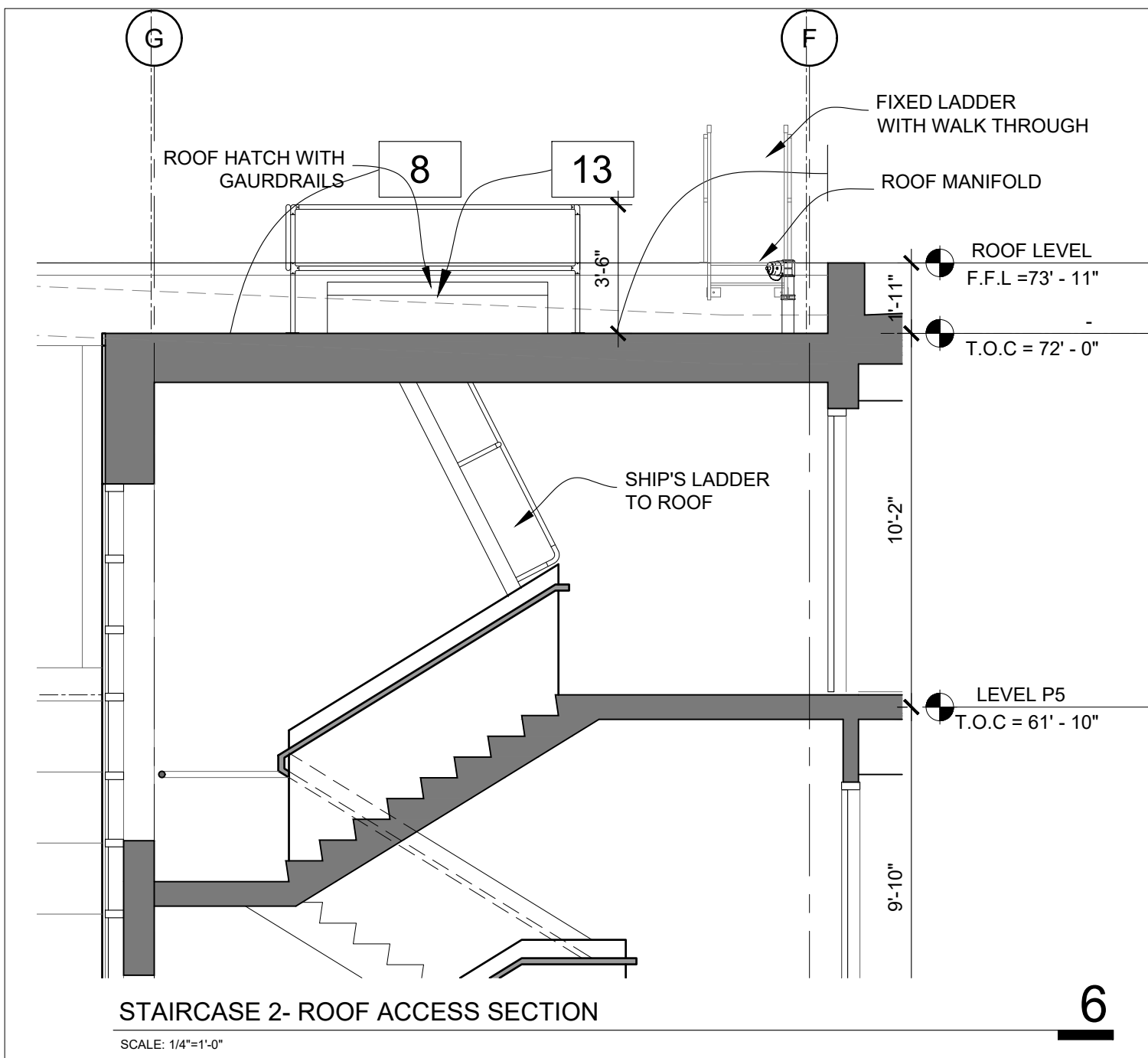
SHEET DESCRIPTION
LOT COVERAGE & FAR CALCULATIONS

DATE	1/25/2021
SCALE	As indicated
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A-0.02 a

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CENTRAL COUNTY FIRE DEPARTMENT
Serving the Cities of Burlingame and Millbrae and the Town of Hillsborough

Request for Alternate Materials or Methods of Construction

Date Received: 05/21/2020 Permit Number: Revision to B19-0246 (revised project)

In accordance with section 52.02, Title 19 California Code of Regulations, the undersigned requests approval of alternate means of protection for:

Project Name: 619-625 California Drive, Burlingame, CA 94010
Project Address: 619-625 California Drive, Burlingame, CA 94010

Subject of alternative (separate forms must be completed for each different item):
Provide fire apparatus access within 150' of rear of building.

Code requirement (specify code edition and section): 2016 CFC 503.1.1

Alternate proposed: 1. Quick response sprinkler heads will be provided in lieu of standard sprinkler heads throughout the garage (Type 1 structure). 2. Fire standpipes at both Stair 1 and Stair 2 will be extended to the roof with roof hatch/ships ladder access at each location.
Justification (attach copies of any reference, test reports, expert opinions, etc.):
1. As previously approved in a similar project for the same owner at 801 California Drive.
2. As previously approved in similar project precedent (located at 509-511 California Drive)

Requested by: Ed Duffy (Project Sponsor)
Affiliation with Project: Print Name
Contact Telephone No: 650-627-4260

Staff Use Only
Staff Findings: Approved documents must be scanned and added to building permit plan set

Approval Recommended ☒ Not Recommended ☐

Fire Marshal: Christine Reed

1309 Rollins Road, Burlingame, CA 94010 (650) 558-7600 Fax: (650) 346-0950



Central County Fire Department
Serving the communities of Burlingame, Hillsborough and Millbrae

Mr. Ed Duffy
Project Sponsor
Renovatioconstruction@gmail.com

June 16, 2020

Subject: Condition of Approval for Alternate Means of Protection
619-625 California Drive, Burlingame

Dear Mr. Duffy,
I have reviewed your Alternate Means of Protection request submitted to the Central County Fire Department on May 21, 2020. After evaluation of the project scope and with consideration of CCFD's operational capabilities, your request is conditionally approved with an additional mitigation (#3) and clarifications due to the project's lack of fire apparatus access. These mitigations have been considered with the proposed building construction of 1A for the podium level and IIIA on the floors above. Any change to a lower construction type will require a re-evaluation of this application.

- Quick response sprinkler heads throughout the garage level.
- Stairs 1 & 2 continue to the roof level with a roof hatch and ships ladder at the top of each stairway. Standpipe outlets located in the immediate proximity of both roof hatches.
- Additional stairs/steps may be required on the roof level to connect the lower roof to the higher roof next to the roof hatches.

If you accept the above conditions, please sign the bottom of this letter and return. The original approved AMP and this letter shall be integrated into the project plans submitted to the City of Burlingame. Approval of this Alternate Means of Protection is specific to this project and is not intended to set a precedent for other projects. Additionally, an application review fee of \$229.00 must be remitted, made payable to the Central County Fire Department, prior to final approval signature of this AMP application.

Sincerely,
Christine Reed
Battalion Chief/Fire Marshal

Accepted by: Ed Duffy Date: 6/16/20

1309 Rollins Road | Burlingame, CA 94010
(650) 558-7600 | www.ccfdonline.org | @centralcountyfd

AMMC LETTER
SCALE: NTS

ib+a
architecture

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PROJECT NAME
CALIFORNIA DRIVE
LIVE-WORK

619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT
Edward Duffy
For Ownership LLC (TBD)
625 California Drive,
Burlingame, CA 94010

NOT FOR CONSTRUCTION

PROJECT TEAM
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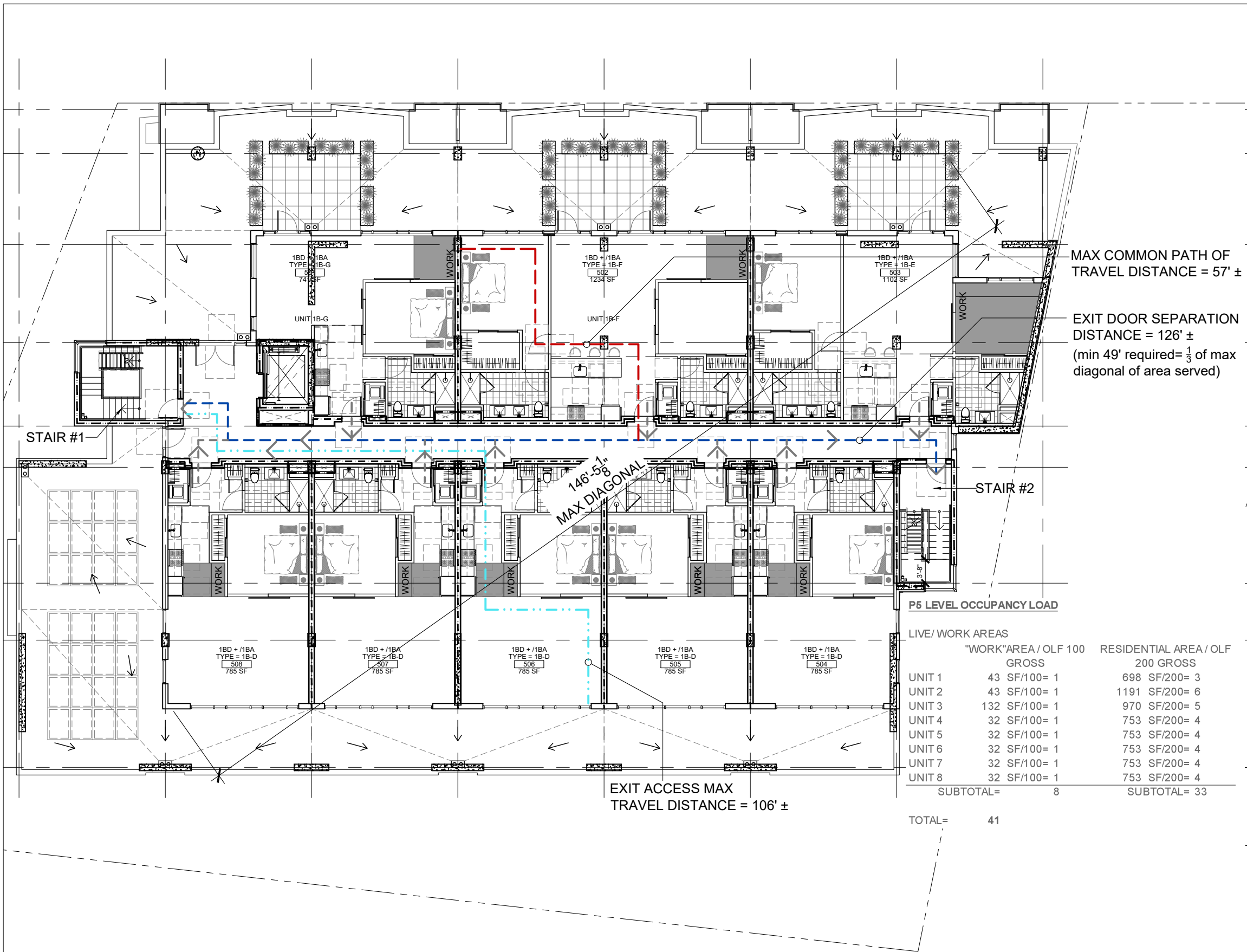
SHEET DESCRIPTION
STAIRCASE 1 & 2-
ROOF ACCESS PLAN,
ELEVATIONS &
SECTIONS

DATE	1/25/2021
SCALE	As indicated
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JOB NO.	2006

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SHEET NO.

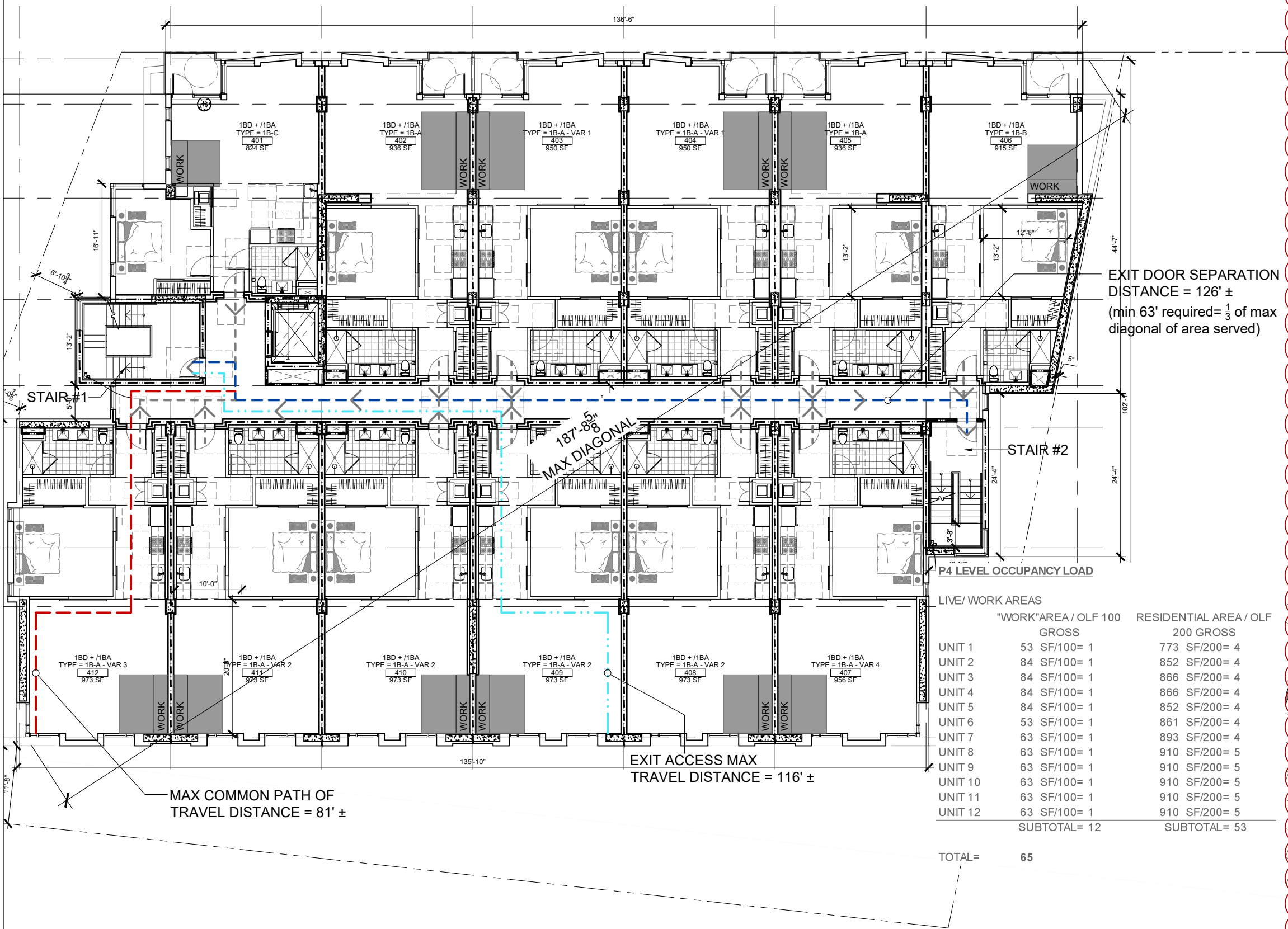
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EXITING PLAN- P5 LEVEL

SCALE: 1/16"=1'-0"

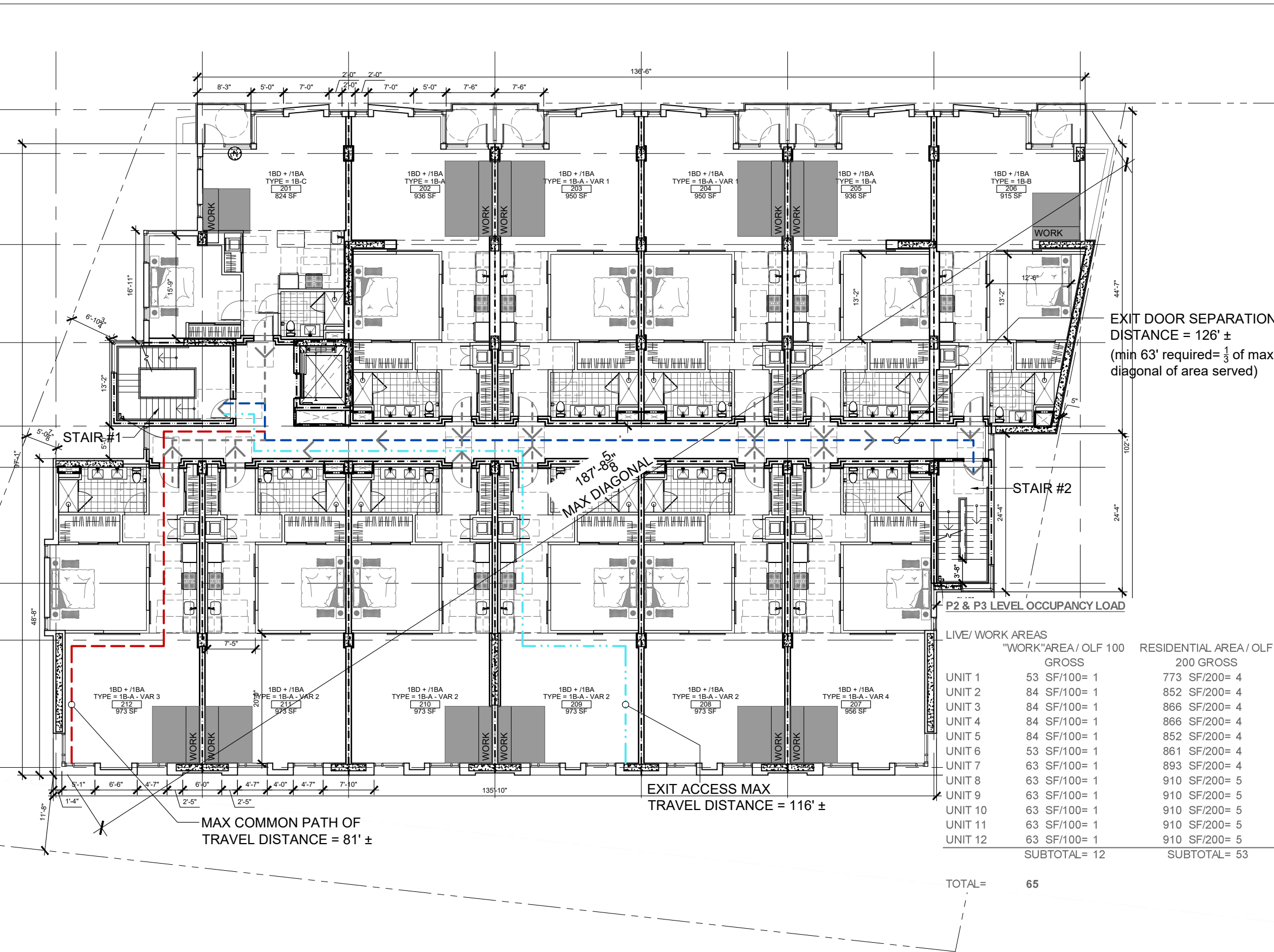
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EXITING PLAN- P4 LEVEL

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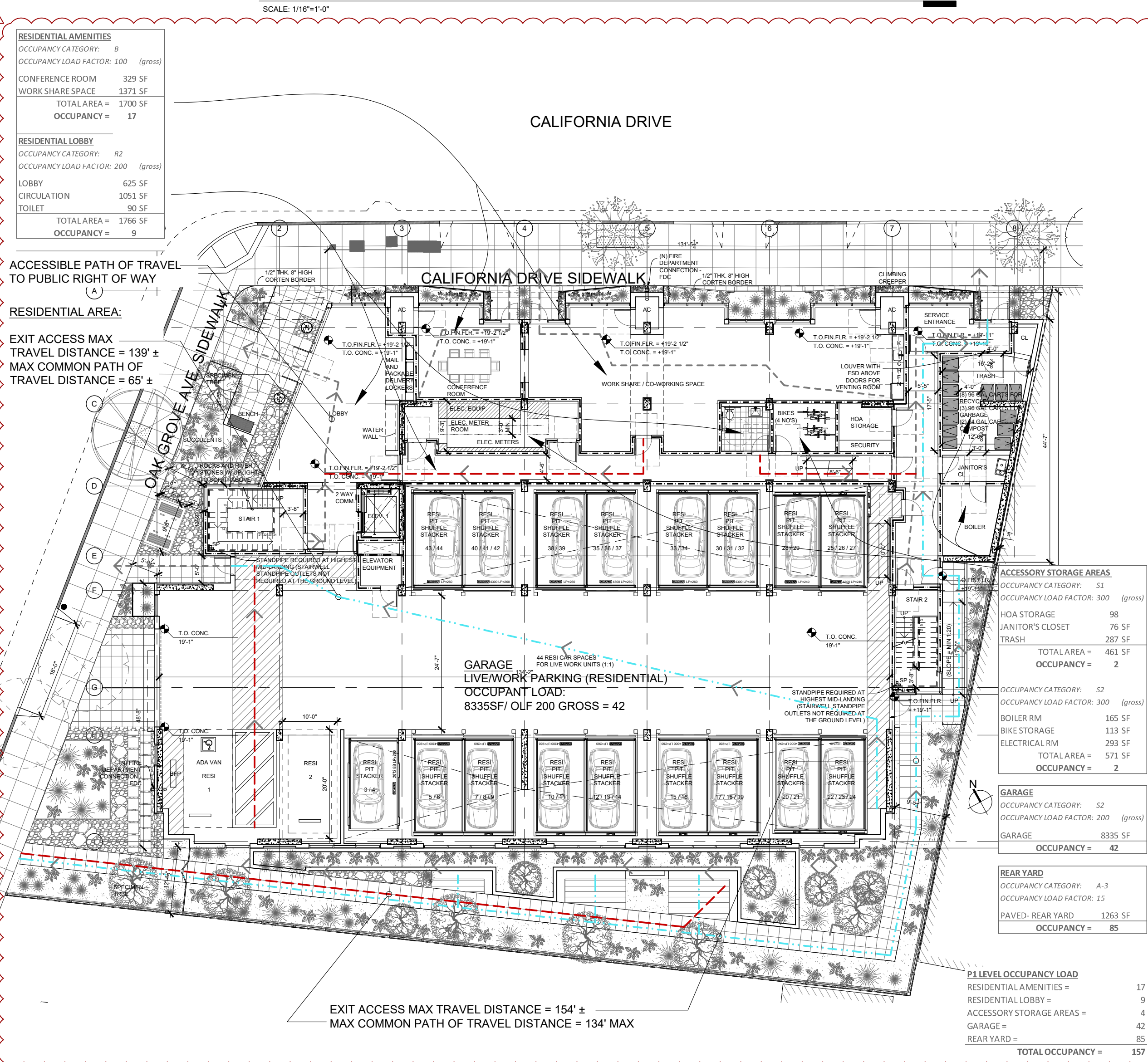
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EXITING PLAN- P2 & P3 LEVEL

SCALE: 1/16"=1'-0"

2



EXITING PLAN- P1 LEVEL

SCALE: 1/16"=1'-0"

1

LEGEND

- NON-RATED PARTITION PER SCHEDULE
- 1 HOUR RATED FIRE PARTITION / FIRE BARRIER
- 2 HOUR RATED FIRE BARRIER / FIRE WALL
- PROPERTY LINE
- MAX TRAVEL DISTANCE
- COMMON PATH OF TRAVEL
- EXIT DOOR SEPARATION DISTANCE
- ACCESSIBLE PATH OF EGRESS TRAVEL PER CBC SEC 1119A.3
- 36" MIN. CLEAR REQ FOR < 10 OCCUPANTS
- 44" MIN. CLEAR REQ FOR > 10 OCCUPANTS
- 48" MIN. CLEAR REQ FOR EXT. ROUTES PER CBC SEC 1113A.1.1
- 60" MIN. CLEAR REQ FOR INT. ROUTES > 200 FT PER CBC SEC 1119A.4
- DESIGNATED "WORK" AREA IN LIVE/WORK UNIT

EXITING REQUIREMENTS SUMMARY

- OCCUPANT LOADS.....PER CBC TABLE 1004.1.2
- EXIT COMPONENT TOTAL WIDTH.....PER CBC SEC 1006.1
- R-2 EXITING REQUIREMENTS:
- 200 GROSS SQ. FT. PER OCCUPANT.....PER CBC TABLE 1004.1.2
- 2-EXITS PER FLOOR MINIMUM.....PER CBC TABLE 1006.3.1
- TRAVEL DISTANCE: 250' W/ FIRE SPRINKLERS.....PER CBC TABLE 1017.2
- EXIT SEPARATION DISTANCE NOT LESS THAN ONE THIRD OF THE MAX DIAGONAL DIMENSION.....PER CBC SEC 1007.1.1 EXCEPTION 2
- S-2 EXITING REQUIREMENTS:
- 300 GROSS SQ. FT. PER OCCUPANT.....PER CBC TABLE 1004.1.2
- 2-EXITS PER FLOOR MINIMUM.....PER CBC SEC 1006.3.1
- TRAVEL DISTANCE: 400' W/ FIRE SPRINKLERS.....PER CBC SEC 1017.2
- EXIT SEPARATION DISTANCE NOT LESS THAN ONE THIRD OF THE MAX DIAGONAL DIMENSION.....PER CBC SEC 1007.1.1 EXCEPTION 2
- WHEN 3 EXITS REQUIRED.....PER CBC SECTION 1007.1.2
- AT LEAST 2 EXIT SEPARATION.....PER CBC SECTION 1007.1.2

SHEET NOTES

- EXTERIOR PRIVATE RESIDENTIAL PATIOS HAVE NOT BEEN ASSIGNED AN OCCUPANT LOAD FACTOR. THESE PATIOS WILL ONLY BE OCCUPIED BY THE OCCUPANTS OF THE RESIDENTIAL UNIT SERVED BY THE PATIO
- MAXIMUM TRAVEL DISTANCE IN R-2 OCCUPANCIES = 250'-0" (CBC TABLE 1017.2), AS MEASURED TO AN EXIT STAIR ENCLOSURE OR HORIZONTAL EXIT AT A FIRE WALL
- MAXIMUM TRAVEL DISTANCE IN S-2 OCCUPANCIES = 400'-0" (CBC TABLE 1016.1), AS MEASURED TO AN EXIT STAIR ENCLOSURE OR EXTERIOR DOOR.
- ALL COMMON AREAS / SPACES (OCCUPANCY TYPES A AND B) WITH AN OCCUPANT LOAD GREATER THAN 49 SHALL HAVE A MINIMUM OF 2 EXITS OR EXIT ACCESSES. ALL COMMON AREAS WITH AN OCCUPANT LOAD LESS THAN 50 SHALL HAVE MINIMUM 1 EXIT OR EXIT ACCESS AND SHALL HAVE A MAX COMMON PATH OF TRAVEL DISTANCE OF 100 FT (CBC TABLE 1006.2.1).
- GARAGE SPACES WITH AN OCCUPANT LOAD GREATER THAN 29 SHALL HAVE A MINIMUM OF 2 EXITS OR EXIT ACCESSES. FOR GARAGE SPACES WITH AN OCCUPANT LOAD LESS THAN 30 SHALL HAVE MINIMUM 1 EXIT OR EXIT ACCESS AND SHALL HAVE A MAX COMMON PATH OF TRAVEL DISTANCE OF 100 FT (CBC TABLE 1006.2.1).
- EGRESS DOORS FOR SPACES WITH AN OCCUPANT LOAD GREATER THAN 49, DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL (CBC 1010.1.2.1)
- ALL RESIDENTIAL UNITS ARE ADAPTABLE WITH ACCESSIBLE ENTRANCE FROM CORRIDOR, SEE SHEET A-0.06.
- MEANS OF EGRESS IDENTIFICATION: 2.1. PROVIDE MEANS OF EGRESS ILLUMINATION AT ALL TIMES PER SECTION 1008.2.2.2. PROVIDE MEANS OF EGRESS ILLUMINATION LEVELS PER SECTION 1008.2.1.2.3. PROVIDE ILLUMINATION EGRESS POWER PER SECTION 1008.3
- MEANS OF EGRESS IDENTIFICATION: 3.1. PROVIDE EXIT SIGNS, READILY VISIBLE FROM ANY DIRECTION, PER SECTION 1013.1.3.2. EXIT SIGNS, EXCEPT TACTILE EXIT SIGNS, SHALL BE ILLUMINATED AT ALL TIMES PER SECTION 1013.3.3.3. TACTILE EXIT SIGNS SHALL COMPLY WITH SECTION 1013.4.3.4. INTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY WITH SECTION 1013.5.3.5. EXTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY WITH SECTION 1013.6.3.6. IN GROUP R-2, FLOOR-LEVEL EXIT SIGNS SHALL COMPLY WITH SECTION 1013.7.3.7. IN GROUP R-2, PATH MARKING SIGNS SHALL COMPLY WITH SECTION 1013.8.3.8. THE FIRE CODE OFFICIAL MAY REQUIRE ADDITIONAL EXIT SIGNS AND/OR RELOCATION OF EXISTING SIGNS AT TIME OF INSPECTION
- INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8
- PROVIDE EXIT SIGNS HIGH AND LOW ON BOTH SIDES OF DOUBLE ACTING DOORS ON ALL LEVELS. THE SIGNS SHALL BE ABOVE THE DOOR LEAF AND ON THE SIDE OF THE EXIT TRAVEL DOOR PER CBC SECTION 1013.1
- THE LOCATION OF EXIT SIGNS FOR ENTRY INTO THE STAIRWAY SHALL BE ABOVE THE STAIRWAY DOOR
- PROVIDE TACTILE EXIT SIGN AT EACH GRADE LEVEL EXTERIOR DOOR, AT EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT DOOR BY STAIRWAY OR RAMP, FROM INTERIOR ROOMS OR AREA TO A CORRIDOR OR HALLWAY THAT REQUIRES VISUAL EXIT SIGNS, AND OTHER REQUIRED LOCATIONS WITH MANDATED WORDING PER CBC SECTION 1013.4.
- MARKING AND IDENTIFICATION SEC. 703.7: FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:
 - BE LOCATED WITHIN 15 FT OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FT MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION
 - INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT, WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS" OR OTHER WORDING

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SHEET DESCRIPTION

EXITING PLANS

DATE 1/25/2021

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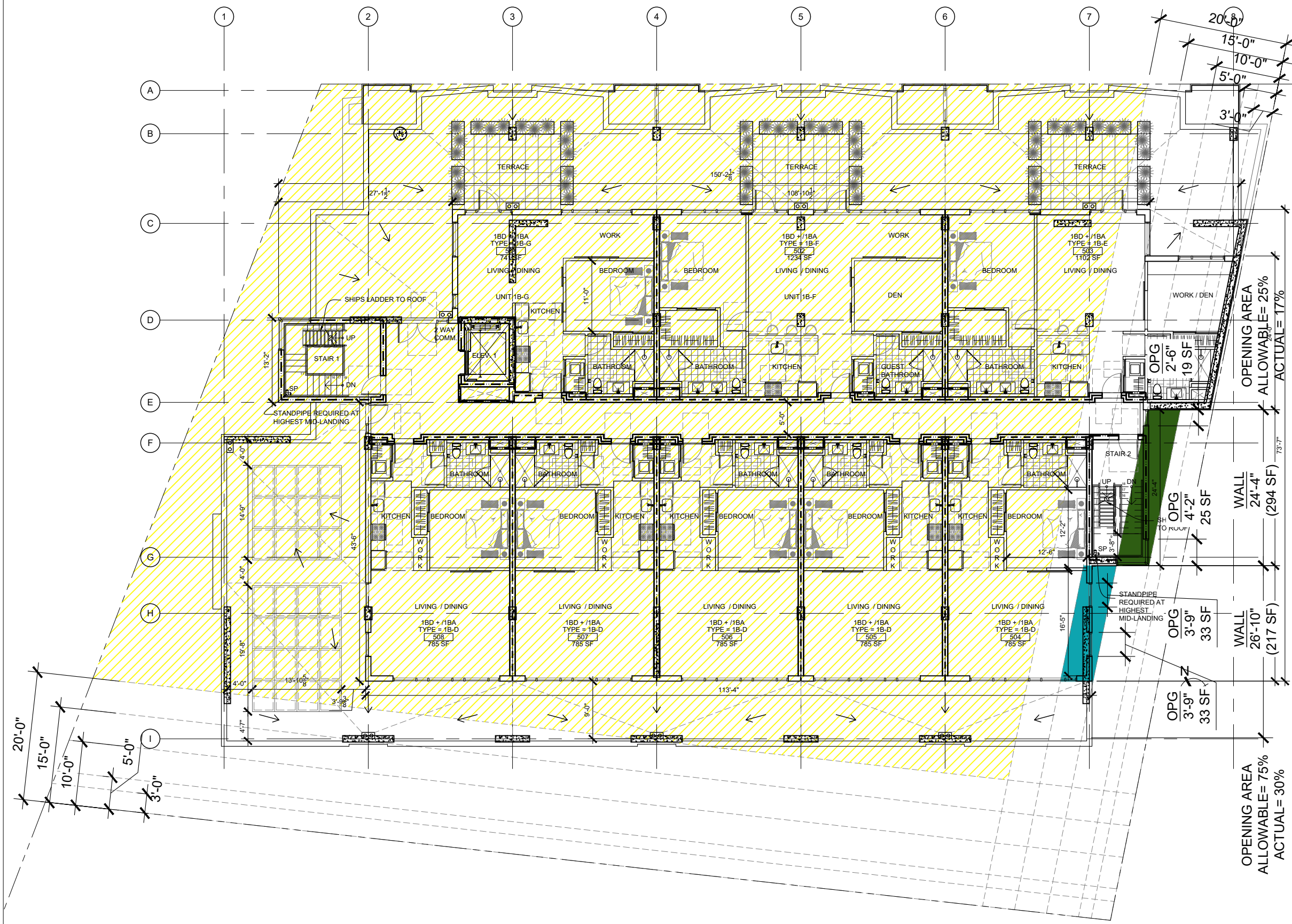
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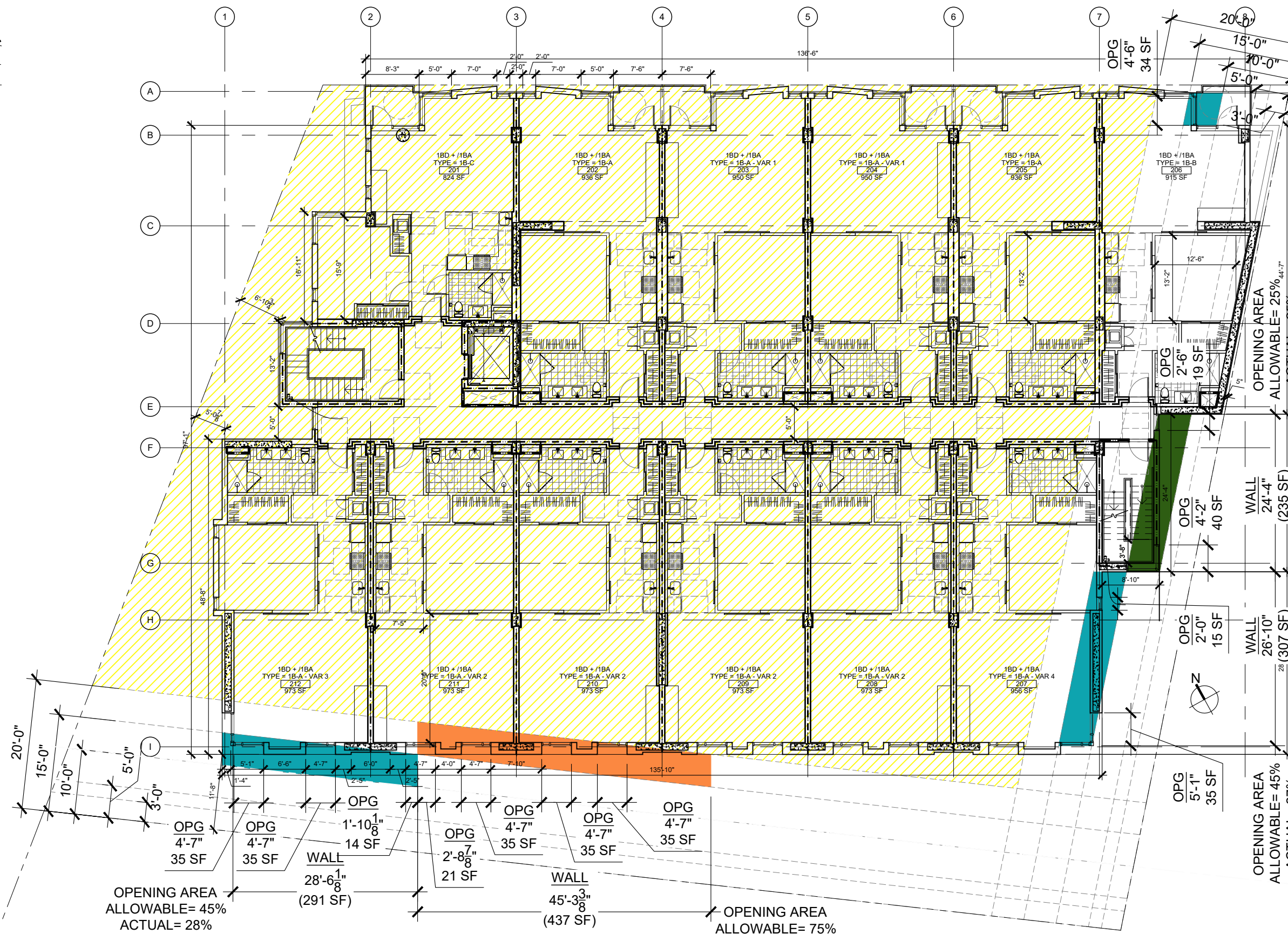
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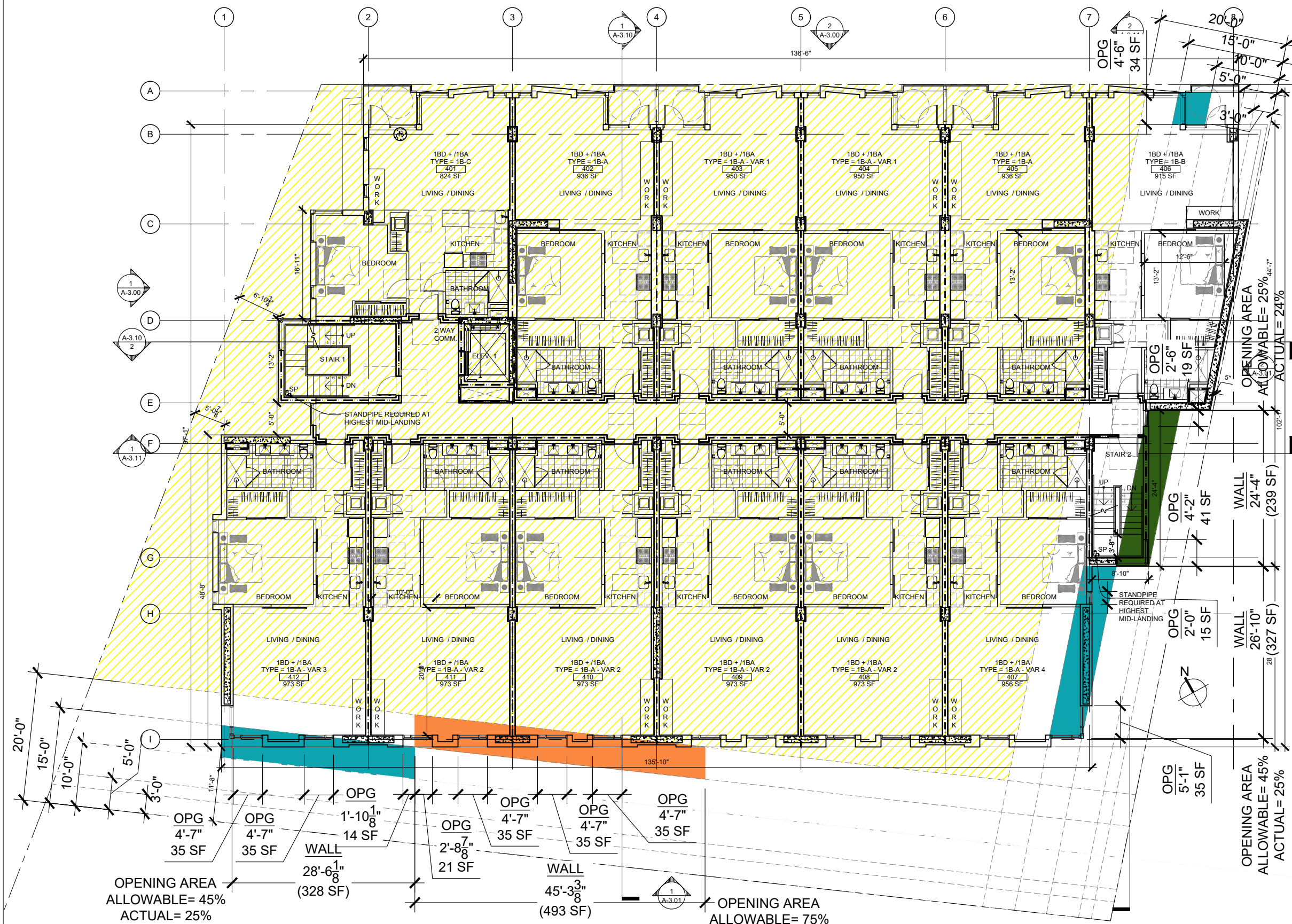
P5 LEVEL PLAN
SCALE: 1/16"=1'-0"

4



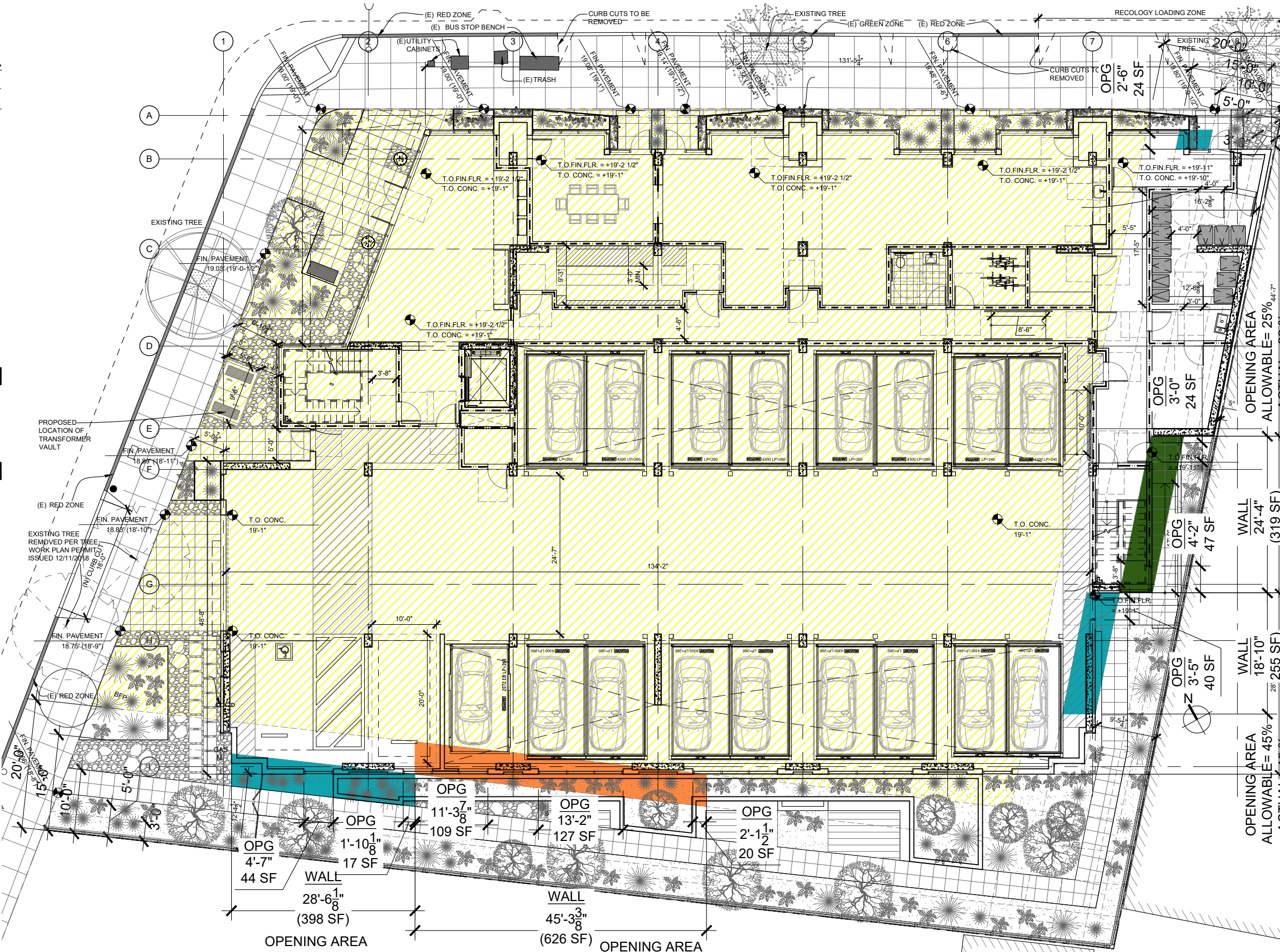
P2 & P3 LEVEL PLAN
SCALE: 1/16"=1'-0"

2



P4 LEVEL PLAN
SCALE: 1/16"=1'-0"





3



P1 LEVEL PLAN
SCALE: 1/16"=1'-0"

1

FIRE SEPARATION DISTANCE

-  FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = 5' TO < 10'
25 % ALLOWABLE OPEN AREA
-  FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = 10' TO < 15'
45 % ALLOWABLE OPEN AREA
-  FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = 15' TO < 20'
75 % ALLOWABLE OPEN AREA
-  FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = > 20'
NO LIMIT OPEN AREA



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PROJECT NAME
**CALIFORNIA DRIVE
LIVE-WORK**

619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT
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For Ownership LLC (TBD)

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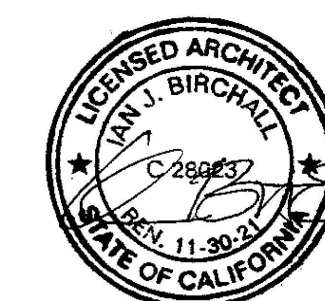
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3	01/25/2021	POST DESIGN REVIEW REVISIONS
2	11/02/2020	DESIGN REVIEW STUDY SESSION
1	10/07/2020	INITIAL DESIGN REVIEW #1-RESPONSE
0	08/28/2020	RECOLOGY COORD.
0	07/20/2020	CITY SUBMISSION SET
REV	DATE	ISSUE



SHEET DESCRIPTION

**EXTERIOR WALL
OPENINGS:
PLANS**

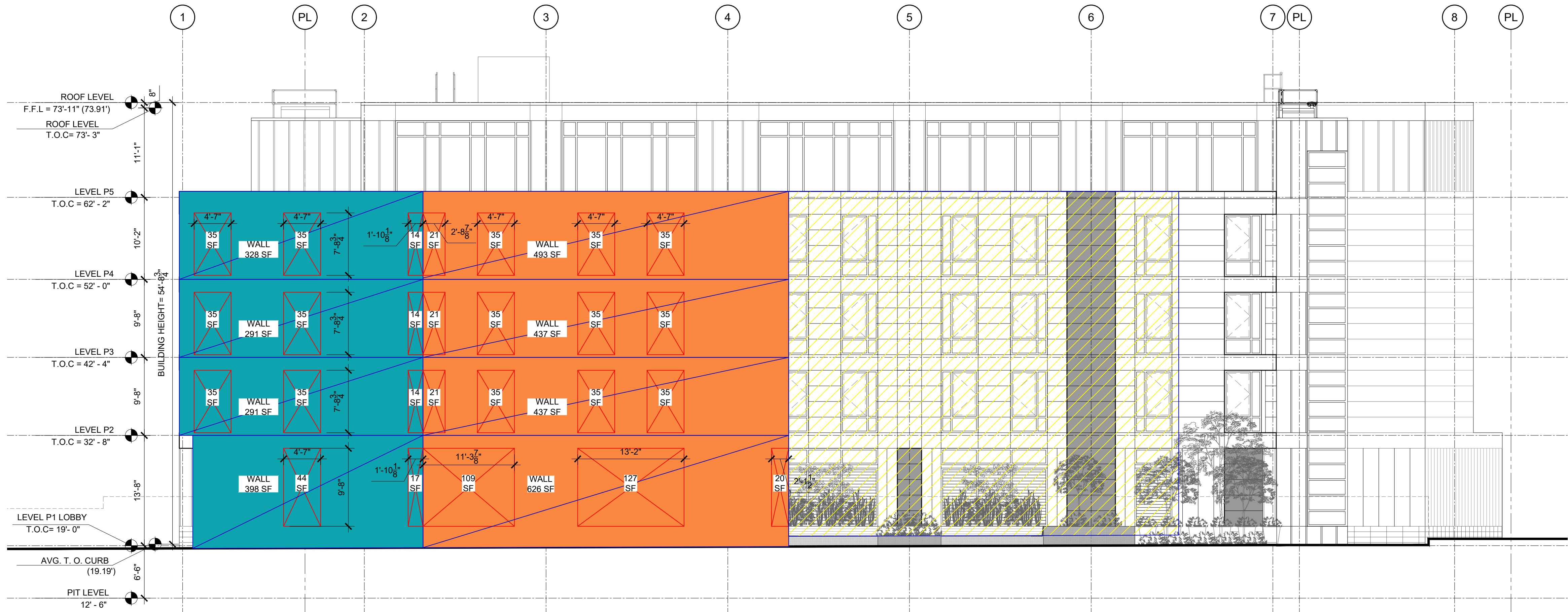
DATE	1/25/2021
SCALE	As indicated
DRAWN BY	VP/ SS
CHECKED BY	IB
JOB NO.	2006

A-0.03 a

SHEET NO.

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SOUTH ELEVATION
SCALE: 1/8"=1'-0"





2



WEST ELEVATION
SCALE: 1/8"=1'-0"

1

FIRE SEPARATION DISTANCE

-  FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = 5' TO < 10'
25 % ALLOWABLE OPEN AREA
-  FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = 10' TO < 15'
45 % ALLOWABLE OPEN AREA
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75 % ALLOWABLE OPEN AREA
-  FIRE SEPARATION DISTANCE BETWEEN WALL AND PROPERTY LINE = > 20'
NO LIMIT OPEN AREA

ib+a
architecture

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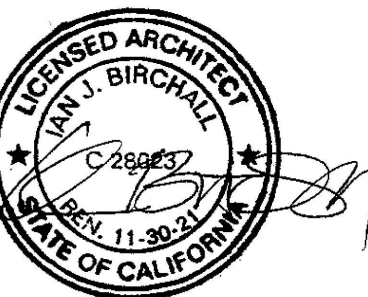
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REV	DATE	ISSUE



SHEET DESCRIPTION

EXTERIOR WALL
OPENINGS:
ELEVATIONS

DATE 1/25/2021

SCALE 1/8" = 1'-0"

DRAWN BY VP/ SS

CHECKED BY IB

JOB NO. 2006

A-0.03 b

SHEET NO.

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GENERAL SITE ACCESSIBILITY NOTES

1. BUILDING ACCESSIBILITY
BUILDING ACCESSIBILITY SHALL COMPLY WITH 2016 CBC SECTION 1102A.
BUILDINGS OR PORTIONS OF BUILDINGS AND FACILITIES SHALL BE ACCESSIBLE TO PERSONS WITH
DISABILITIES. EACH BUILDING ON THE SITE SHALL BE CONSIDERED SEPARATELY WHEN DETERMINING THE
REQUIREMENTS CONTAINED IN THIS CHAPTER, EXCEPT WHEN CALCULATING THE NUMBER OF UNITS WHICH
MUST COMPLY WITH 2016 CBC SECTION 1102A.3.1. DWELLING UNITS WITHIN A SINGLE STRUCTURE SEPARATED BY
FIRE WALLS DO NOT CONSTITUTE SEPARATE BUILDINGS.

**A. MULTISTORY DWELLING UNITS IN BUILDINGS WITHOUT ELEVATORS SHALL COMPLY WITH 2016 CBC SECTION
1102A.3.1—THE MINIMUM NUMBER OF MULTIFAMILY DWELLING UNITS WHICH MUST COMPLY WITH THIS
CBC SECTION SHALL BE CALCULATED USING THE TOTAL NUMBER OF ALL MULTISTORY DWELLING UNITS IN
BUILDINGS ON A SITE. ANY FRACTION THEREOF OF THE 10 PERCENT REQUIRED SHALL BE ROUNDED TO
THE NEXT HIGHER WHOLE NUMBER.**
B. MULTISTORY DWELLING UNITS IN BUILDINGS WITH ELEVATORS SHALL COMPLY WITH 2016 CBC SECTION
1102.3.2.

**C. FOR MULTISTORY DWELLING UNITS IN BUILDINGS WITH ONE OR MORE ELEVATORS, THE STORY OF THE
UNIT THAT IS SERVED BY THE BUILDING ELEVATOR IS CONSIDERED A GROUND FLOOR AND THE PRIMARY
ENTRY FLOOR TO THE UNIT AND SHALL COMPLY.**
D. ALL GROUND FLOOR DWELLING UNITS IN NON-ELEVATOR BUILDINGS SHALL BE ADAPTABLE AND ON AN
ACCESSIBLE ROUTE. UNLESS AN ACCESSIBLE ROUTE IS NOT REQUIRED AS DETERMINED BY THE SITE
IMPROVEMENTS PROVIDED BY 2016 CBC SECTION 1109A FOR BUILDINGS WITH ELEVATORS SEE 2016 CBC
SECTION 1109A.

**E. WHERE THE FIRST FLOOR OF A BUILDING CONTAINING DWELLING UNITS IS ABOVE GRADE, ALL UNITS
ON THAT FLOOR SHALL BE SERVED BY AN ACCESSIBLE ROUTE. THIS FLOOR WILL BE CONSIDERED A
GROUND FLOOR AND ALL DWELLING UNITS WILL BE CONSIDERED COVERED MULTIFAMILY DWELLING
UNITS EXCEPT CARRIAGE UNITS AS DEFINED IN 2016 CBC SECTION 1107A.3.C.**
F. GARAGES, CARPORTS AND OTHER PARKING FACILITIES, WHICH ARE ACCESSORY TO COVERED
MULTIFAMILY DWELLING UNITS SHALL BE ACCESSIBLE.

2. HAZARDS ON ROUTES
HAZARDS ON ACCESSIBLE ROUTE SHALL COMPLY WITH 2016 CBC SECTIONS 1116A.

**A. WARNING CURBS, ABRUPT CHANGES IN LEVEL EXCEEDING 4" IN VERTICAL DIMENSION, SUCH AS CHANGES IN
LEVEL PLANTERS OR FOUNTAINS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS OR OTHER PEDESTRIAN
WAYS SHALL BE IDENTIFIED BY CURBS OR OTHER APPROVED BARRIERS PROJECTING AT LEAST 6" IN HEIGHT
ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP-OFF. WARNING CURBS
ARE NOT REQUIRED AT THE FOLLOWING:**
1. BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY, OR
2. WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED WITH A EDGE PROTECTION IN ACCORDANCE TO
2016 CBC SECTION 1010.10.1.

B. HEADROOM CLEARANCE. WALKS AND PEDESTRIAN WAYS AND OTHER CIRCULATION SPACES WHICH ARE PART
OF THE REQUIRED EGRESS SYSTEM SHALL HAVE A MINIMUM CLEAR HEADROOM OF 7'-5". OTHER WALKS AND
PEDESTRIAN WAYS AND OTHER CIRCULATION SPACES SHALL HAVE A MINIMUM CLEAR HEADROOM OF 80". IF
THE VERTICAL CLEARANCE OF AN AREA ADDING AN ACCESSIBLE ROUTE IS REDUCED TO LESS THAN 80", A
GUARDRAIL OR OTHER BARRIER HAVING TO LEADING EDGE LOWER THAN 27" ABOVE
THE FINISH FLOOR SHALL BE PROVIDED. DOORWAYS AND ARCHWAYS LESS THAN 24" IN DEPTH MAY HAVE A
MINIMUM CLEAR HEADROOM OF 80".
C. OVERHANGING OBSTRUCTIONS, ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN WAY SHALL BE A
MINIMUM OF 80" ABOVE THE WALKING SURFACE MEASURED FROM THE BOTTOM OF THE OBSTRUCTION.
IF A GUY SUPPORT IS USED PARALLEL TO A PATH OF TRAVEL, INCLUDING BUT NOT LIMITED TO, SIDEWALKS,
A GUY BRACE, SIDEWALK GUY OR SIMILAR DEVICE SHALL BE USED TO PREVENT AN OVERHANGING
OBSTRUCTION. (SEE NOTE B ABOVE FOR REQUIRED HEADROOM CLEARANCE).
D. FREE-STANDING SIGNS, WHEREVER SIGNS ARE MOUNTED ON POSTS OR PYLONS PROTRUDE FROM THE POST
OR PYLONS AND THE BOTTOM EDGE OF THE SIGN IS LESS THAN 80" ABOVE THE FINISH FLOOR OR GROUND
LEVEL, THE EDGES OF SUCH SIGNS SHALL BE ROUNDED OR EASED AND THE CORNERS SHALL HAVE A MINIMUM
RADIUS OF 3/8". (SEE NOTE B ABOVE FOR REQUIRED HEADROOM CLEARANCE).

DETECTABLE WARNING AT HAZARDOUS VEHICULAR AREAS 2016 CBC 1116A.5:
IF A WALK CROSSES OR ADJACENTS A VEHICULAR WAY AND THE WALKING SURFACES ARE NOT SEPARATED BY
CURBS, RAILINGS OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREA, THE
BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36
INCHES (914 MM) WIDE.

3. PARKING SPACE SIZES
PARKING ACCESSIBLE PARKING SPACE SIZES SHALL COMPLY WITH CBC SECTIONS 2016 1109A.8.5 & 1109A.8.6

**A. WHERE ACCESSIBLE SINGLE SPACES ARE PROVIDED, THEY SHALL BE CONSTRUCTED IN ACCORDANCE
WITH THE FOLLOWING:**
1. SINGLE SPACES SHALL BE 14' WIDE MIN. AND LINED TO PROVIDE A 5' WIDE PARKING AREA WITH A 5'
WIDE LOADING AND UNLOADING ACCESS ASLE ON EITHER SIDE OF THE VEHICLE WITH THE AND SHALL
EXTEND THE FULL REQUIRED LENGTH OF THE PARKING SPACES THEY SERVE.
2. WHEN MORE THAN ONE SPACE IS PROVIDED, TWO 5' WIDE PARKING SPACES MAY BE LINED WITH
ONE ON EACH SIDE OF THE 5' WIDE LOADING AND UNLOADING ACCESS ASLE - SEE FIGURE 4.
3. THE MINIMUM LENGTH OF THE PARKING SPACE SHALL BE 18'.
4. THE LOADING AND UNLOADING ACCESS AREA SHALL BE MARKED BY A BORDER PAINTED BLUE WITHIN THE
BLUE BORDER, HATCHED UNLESS A MARK OF 36" ON CENTER SHALL BE PAINTED A CONTRASTING
CONTRASTING WITH THE PARKING SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO
PARKING" SHALL BE PAINTED ON THE GROUND WITHIN EACH 5' WIDE LOADING AND
UNLOADING ACCESS ASLE. THIS NOTICE SHALL BE PAINTED WITH LETTERS NOT LESS THAN 12"
HIGH AND LOCATED SO THAT IT IS VISIBLE FROM THE ADJACENT VEHICULAR WAY.
6. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE VAN ACCESSIBLE AND
SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:

1. EACH VAN ACCESSIBLE PARKING SPACE SHALL BE 17' WIDE MINIMUM, AND SHALL PROVIDE EITHER
THE FOLLOWING:
1.1. A 12' WIDE MIN. PARKING AREA AND A 5' WIDE MIN. LOADING AND UNLOADING ACCESS ASLE.
1.2. A 9' WIDE MIN. PARKING AREA AND AN 8' WIDE MIN. LOADING AND UNLOADING ACCESS ASLE.
2. THE MINIMUM LENGTH OF EACH PARKING SPACE SHALL BE 18'.
3. EACH SPACE SHALL BE DESIGNATED BY SIGNAGE, AS "VAN ACCESSIBLE", AS REQUIRED BY 1109A.8.8
4. ALL "VAN ACCESSIBLE" SPACES MAY BE GROUPED ON ONE LEVEL OF A PARKING FACILITY.
5. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITHIN EACH 8'-0" WIDE
LOADING AND UNLOADING ACCESS ASLE. THIS NOTICE SHALL BE PAINTED WITH WHITE LETTERS
NO LESS THAN 12" HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT
OFFICIALS.

4. PARKING FACILITIES
PARKING FACILITIES SHALL COMPLY WITH 2016 CBC SECTION 1109A

**A. EACH PARKING FACILITY PROVIDED FOR COVERED MULTIFAMILY DWELLINGS AND FACILITIES (E.G.,
SWIMMING POOLS, CLUB HOUSES, RECREATION AREAS, AND LAUNDRY ROOMS) THAT
SERVE MULTIFAMILY DWELLINGS ON THE BUILDING SITE SHALL PROVIDE ACCESSIBLE PARKING.**
B. PARKING FACILITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
1. GARAGES
2. PRIVATE GARAGES
3. CARPORTS
4. OFF-STREET PARKING (PARKING LOTS/SPACES)
C. ACCESSIBLE PARKING SHALL BE PROVIDED AT A MINIMUM RATE OF 2 PERCENT OF THE COVERED
MULTIFAMILY DWELLING UNITS, AT LEAST ONE SPACE OF EACH TYPE OF PARKING FACILITY SHALL
BE MADE ACCESSIBLE EVEN IF THE TOTAL NUMBER EXCEEDS 2 PERCENT.
D. WHEN ASSIGNED PARKING SPACES ARE PROVIDED FOR A RESIDENT OR A GROUP OF RESIDENTS, AT
LEAST 2 PERCENT OF THE ASSIGNED SPACES SERVING COVERED MULTIFAMILY DWELLING UNITS SHALL
BE ACCESSIBLE IN EACH TYPE OF PARKING FACILITY. AT LEAST ONE SPACE OF EACH TYPE OF PARKING FACILITY
SHALL BE MADE ACCESSIBLE EVEN IF THE TOTAL NUMBER EXCEEDS 2 PERCENT. WHEN ASSIGNED PARKING
IS PROVIDED, SIGNAGE AS REQUIRED BY 2016 CBC SECTION 1109A.8.8 IS NOT REQUIRED.
E. WHEN PARKING IS PROVIDED FOR COVERED MULTIFAMILY DWELLINGS AND IS NOT ASSIGNED TO A
RESIDENT OR A GROUP OF RESIDENTS AT LEAST 1 PERCENT OF THE PARKING SPACES SHALL BE ACCESSIBLE
AND PROVIDE ACCESS TO GRADE-LEVEL ENTRANCES OF COVERED MULTIFAMILY DWELLINGS AND
FACILITIES (E.G., SWIMMING POOLS, CLUB HOUSES, RECREATION AREAS, AND LAUNDRY ROOMS) THAT
SERVE COVERED MULTIFAMILY DWELLINGS. ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH
SIGNAGE AS REQUIRED BY 2016 CBC SECTION 1109A.8.8. SUCH SIGNAGE SHALL NOT BE BLOCKED FROM
VIEW BY A VEHICLE IN THE SPACE.
F. WHEN ASSIGNED PARKING IS PROVIDED, DESIGNATED ACCESSIBLE PARKING FOR THE DWELLING UNIT
SHALL BE PROVIDED ON REQUEST OF RESIDENTS WITH DISABILITIES ON THE SAME TERMS AND WITH THE
FULL RANGE OF CHOICES (E.G., OFF-STREET PARKING, CARPORT OR GARAGE) THAT ARE AVAILABLE FOR
OTHER RESIDENTS.
G. LOCATION OF PARKING SPACES SHALL COMPLY WITH THE FOLLOWING:
1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE ROUTE
TO ACCESSIBLE BUILDING OR COVERED MULTIFAMILY DWELLING UNIT ENTRANCE. ALL VAN ACCESSIBLE
SPACES MAY BE GROUPED ON ONE LEVEL OF A PARKING FACILITY.
2. WHEN PARKING FACILITIES ARE LOCATED ADJACENT TO A BUILDING WITH MULTIPLE ACCESSIBLE
ENTRANCES, ACCESSIBLE PARKING SPACES SHALL BE DISPersed AND LOCATED NEAR THE ACCESSIBLE
ENTRANCES.
3. WHEN PRACTICAL, THE ACCESSIBLE ROUTE SHALL NOT CROSS LANES FOR VEHICULAR TRAFFIC.
WHEN CROSSING VEHICULAR TRAFFIC LANES IS NECESSARY, THE ACCESSIBLE ROUTE SHALL BE DESIGNATED
AND MARKED AS A CROSSWALK.
4. PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING SHALL HAVE ACCESSIBLE
PARKING SPACES LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE ROUTE TO AN ACCESSIBLE
PEDESTRIAN ENTRANCE TO THE PARKING FACILITY.
5. ACCESSIBLE PARKING SPACES SHALL BE LOCATED SO THAT PERSONS WITH DISABILITIES ARE NOT
COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN, EXCEPT, WHEN THE
ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THIS REQUIREMENT PROVIDES AN
EQUIVALENT FACILITY WOULD CREATE AN UNREASONABLE HANDICAP, PARKING SPACES MAY BE
PROVIDED WHICH WOULD REQUIRE A PERSON WITH PHYSICAL DISABILITIES TO WHEEL OR WALK BEHIND
OTHER THAN ACCESSIBLE PARKING SPACES.

ACCESSIBLE PARKING DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
A. ALL ENTRANCES, EXITS AND VEHICULAR PASSAGEWAYS TO AND FROM REQUIRED ACCESSIBLE PARKING
SPACES WITHIN PARKING FACILITIES, SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8'-2" FROM THE
FLOOR TO THE LOWEST PROJECTION OF THE CEILING. REFLECTIVE WARNING SIGNS COMPLYING WITH 2016
CBC SECTION 1143A FOR CHARACTER HEIGHT SHALL BE INSTALLED AT ALL TRANSITIONS FROM THE 8'-2"
CEILING TO LOWER CEILING HEIGHTS IN VEHICULAR PASSAGeways IN THE SAME PARKING LEVEL.
B. PARKING SPACES SHALL BE ARRANGED TO COMPLY WITH THE FOLLOWING:
1. IN EACH PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO PREVENT THE
ENCROACHMENT OF CARS OVER THE REQUIRED WIDTH OF WALKWAYS
2. RAMP, INCLUDING CURB RAMP, SHALL NOT ENCRoACH INTO ANY ACCESSIBLE PARKING SPACE OR
ADJACENT LOADING AND UNLOADING ACCESS ASLE.
C. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES AND ACCESS ASLES SHALL BE THE
MINIMUM POSSIBLE AND SHALL NOT EXCEED 1/4" PER FOOT (2 PERCENT GRADIENT) IN ANY DIRECTION.
D. PARKING SPACES ADJACENT TO ACCESSIBLE PARKING SPACES SHALL NOT BE CONSIDERED AS
LOADING OR UNLOADING ACCESS ASLES.

4. EXTERIOR ROUTES
EXTERIOR ROUTES OF TRAVEL SHALL COMPLY WITH 2016 CBC SECTIONS 1110A.

**A. WHEN A BUILDING OR A PORTION OF A BUILDING IS REQUIRED TO BE ACCESSIBLE OR ADAPTABLE,
AN ACCESSIBLE ROUTE SHALL BE PROVIDED BY STEPS OR ABRUPT CHANGES IN ELEVATION. ACCESSIBLE
BUILDING ENTRANCES AND BETWEEN THE BUILDING AND THE PUBLIC WAY. THE ACCESSIBLE ROUTE
SHALL BE THE MOST PRACTICAL AND DIRECT ROUTE TO THE MAXIMUM EXTENT FEASIBLE, COINCIDE
WITH THE ROUTE FOR THE GENERAL PUBLIC, AND BUILDING RESIDENTS. EXTERIOR ACCESSIBLE
ROUTES SHALL BE PROVIDED AS FOLLOWING:**
1. WHERE MORE THAN ONE ROUTE OF TRAVEL IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE.
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, FACILITIES,
ELEMENTS AND SPACES THAT ARE ON THE SAME SITE. ACCESSIBLE ROUTES SHALL BE PROVIDED
BETWEEN ACCESSIBLE BUILDINGS AND SITE ACCESSIBLE FACILITIES WHEN MORE THAN ONE BUILDING
OR FACILITY IS LOCATED ON THE SITE.
3. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY
ENTRANCES WITH ALL ACCESSIBLE SPACES, ELEMENTS, AND COVERED MULTIFAMILY DWELLING UNITS.
4. AN ACCESSIBLE ROUTE SHALL CONNECT AT LEAST ONE ACCESSIBLE ENTRANCE TO EACH
COVERED MULTIFAMILY DWELLING UNIT WITH EXTERIOR SPACES AND FACILITIES THAT SERVE THE
DWELLING UNIT.
5. WHERE ELEVATORS ARE PROVIDED FOR VERTICAL ACCESS, ALL ELEVATORS SHALL BE
ACCESSIBLE. SEE SHEET A-030 FOR ADDITIONAL INFORMATION.

NOTE: IF THE SLOPE OF THE FINISH GRADE BETWEEN COVERED MULTIFAMILY DWELLINGS AND A
PUBLIC USE OR COMMON USE FACILITY (INCLUDING PARKING) EXCEEDS 1 UNIT VERTICAL IN 12 UNITS
HORIZONTAL (8.33 PERCENT SLOPE), OR WHERE OTHER PHYSICAL BARRIERS (NATURAL OR ARTIFICIAL)
OR LEGAL RESTRICTIONS, ALL OF WHICH ARE OUTSIDE THE CONTROL OF THE OWNER, PREVENT THE
INSTALLATION OF AN ACCESSIBLE ROUTE, AN ACCESSIBLE ALTERNATIVE TO PROVIDE ACCESS TO A
VEHICULAR ROUTE, PROVIDED:
a. THERE IS ACCESSIBLE PARKING ON AN ACCESSIBLE ROUTE FOR AT LEAST 2 PERCENT OF THE
COVERED MULTIFAMILY DWELLING UNITS, AND
b. NECESSARY SITE PROVISIONS SUCH AS PARKING SPACES AND CURB RAMP ARE PROVIDED AT
THE PUBLIC USE OR COMMON USE FACILITY.

**B. SIGNS AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION WHERE THE
ACCESSIBLE ROUTE DIVERGES FROM THE CIRCULATION PATH ALONG OR LEADING TO AN ACCESSIBLE
ROUTE, ENTRANCE OR FACILITY, THERE SHALL BE A SIGN DISPLAYING THE "INTERNATIONAL SYMBOL
OF ACCESSIBILITY". SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND
FACILITIES AND COMPLY WITH THE REQUIREMENTS OF 2016 CBC SECTION 1143A.**

**C. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. IF CARPET TILE IS USED
IN A COMMON-USE AREA OR PUBLIC-USE AREA ON A GROUND OR FLOOR SURFACE, IT SHALL HAVE A
FIRM BACKING OR NO BACKING. CARPET OR CARPET TILE SHALL HAVE A LEVEL LOOP, TEXTURED LOOP,
LEVEL CUT PILE, OR LEVEL CUT UNFUT PILE TEXTURE. THE MAX. PILE HEIGHT SHALL BE 1". EXPOSED
EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH
OF THE OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH 2016 CBC SECTION 1111A FOR
CHANGES IN LEVEL.
D. RECESSED DOOR MATS SHALL BE ADEQUATELY ANCHORED TO PREVENT INTERFERENCE WITH
WHEELCHAIR TRAFFIC.
E. EXTERIOR ACCESSIBLE ROUTES THAT EXCEED IN 200' IN LENGTH SHALL COMPLY WITH 2016 CBC
SECTION 1138A.1.2.**

CHANGES IN LEVEL ON ACCESSIBLE ROUTES SHALL COMPLY WITH 2016 CBC SECTIONS 1111A.

**A. ABRUPT CHANGES IN LEVEL ALONG AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2".
CHANGES IN LEVEL DO OCCUR, THEY WILL BE SERVED BY A SLOPE OF GREATER THAN 1 UNIT
VERTICAL IN 12 UNITS HORIZONTAL (50 PERCENT SLOPE). CHANGES IN HEIGHT NOT EXCEEDING 1/4"
MAY BE VERTICAL.
B. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A SLOPED SURFACE NOT
GREATER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE), OR A CURB RAMP,
RAMP, ELEVATOR OR PLATFORM (WHEELCHAIR LIFT). STAIRS SHALL NOT BE PART OF AN ACCESSIBLE
ROUTE, WHEN STAIRS ARE LOCATED ADJACENT TO AN ACCESSIBLE ROUTE THEY SHALL COMPLY
WITH 2001 CBC SECTION 1115A FOR EXTERIOR STAIRWAYS.**

5. PARKING SIGNAGE
EACH ACCESSIBLE PARKING SIGNAGE SHALL COMPLY WITH 2016 CBC SECTION 1109A.8.8

**A. EACH ACCESSIBLE PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED
BY A REFLECTIVE SIGN CONSISTING OF THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" COMPLYING
WITH 2016 CBC SECTION 1143A.8. THE SIGN SHALL BE NO SMALLER THAN 70 SQUARE INCHES IN AREA,
AND SHALL BE POSTED 80" MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED
TO THE BOTTOM OF THE SIGN. SIGNS LOCATED ON ACCESSIBLE ROUTES SHALL BE POSTED A
MINIMUM HEIGHT OF 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SURFACE OF THE ACCESSIBLE
ROUTE, MEASURED TO THE BOTTOM OF THE SIGN.**

**SIGNS IDENTIFYING PARKING SHALL BE VISIBLE FROM EACH PARKING SPACE THEY SERVE, AND SHALL
BE PERMANENTLY POSTED IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE
PROJECTED PARKING SPACE. WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE
PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.**

**VAN ACCESSIBLE SPACES SHALL COMPLY WITH 2016 CBC SECTION 1109A.8.6, AND SHALL HAVE AN
ADDITIONAL SIGN OR ADDITIONAL LANGUAGE STATING "VAN ACCESSIBLE" BELOW THE SYMBOL OF
ACCESSIBILITY.**

NOTE: WHEN ASSIGNED RESIDENT PARKING IS PROVIDED, SIGNAGE IS NOT REQUIRED EXCEPT FOR
VISITOR PARKING SPACES.

**B. ADDITIONAL SIGNAGE SHALL ALSO BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-
STREET PARKING FACILITIES OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH ACCESSIBLE
TRAIL OR SPACE. THE SIGN SHALL NOT BE LESS THAN 17" BY 22" IN SIZE WITH LETTERING NOT LESS THAN 1" IN
HEIGHT, AND SHALL CLEARLY STATE THE FOLLOWING:**

"UNAUTHORIZED VEHICLES ISSUED IN DESIGNATED ACCESSIBLE SPACES NOT DISTINGUISHING PLACARDS
OR SPECIAL LICENSE PLATES FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE
OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY
TELEPHONING _____

BLANK SPACES ARE TO BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE
SIGN.

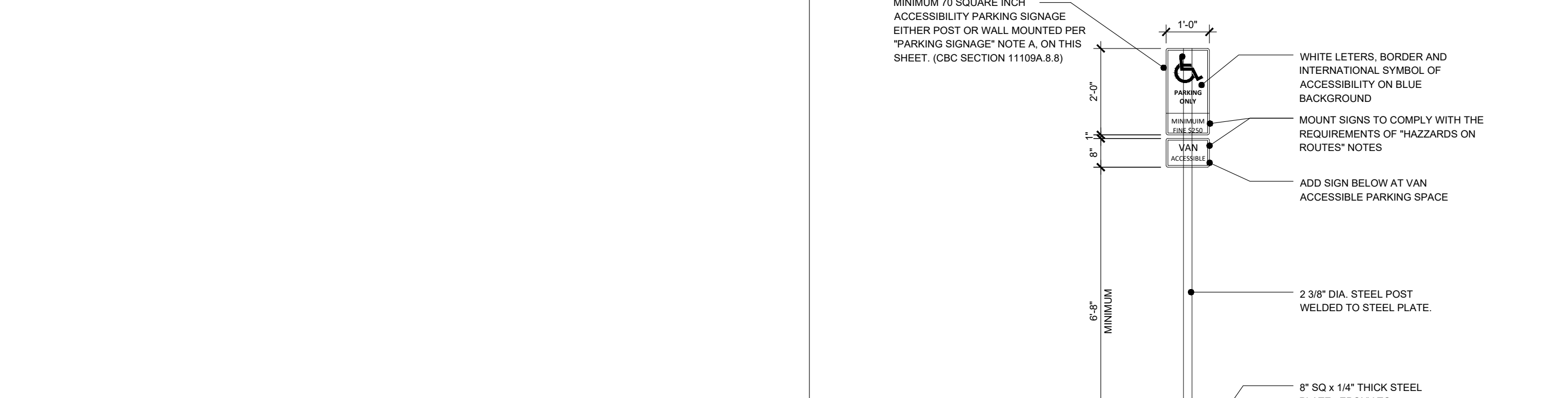
**C. IN ADDITION TO THE SIGNAGE REQUIREMENTS, EACH ACCESSIBLE PARKING SPACE SHALL HAVE A
SURFACE IDENTIFICATION COMPLYING WITH THE FOLLOWING:"**
1. THE PARKING SPACE SHALL BE OUTLINED OR PAINTED IN BLUE, AND SHALL BE MARKED WITH THE
"INTERNATIONAL SYMBOL OF ACCESSIBILITY" IN WHITE OR A CONTRASTING COLOR. THE
"INTERNATIONAL SYMBOL OF ACCESSIBILITY" SHALL BE 36" WIDE BY 36" HIGH MIN., WITH THE CENTRELINE 6
INCHES MAX. FROM THE CENTRELINE OF THE PARKING SPACE, AND ITS LOWER SIDE ALIGNED WITH THE END
OF THE PARKING SPACE.
2. THE PARKING SPACE SHALL BE MARKED WITH THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY"
IN WHITE ON A BLUE BACKGROUND, 36 INCHES WIDE BY 36 INCHES HIGH MIN. IN SIZE. THE
CENTRELINE ON THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" SHALL BE 6 INCHES MAX. FROM
THE CENTRELINE OF THE PARKING SPACE, ITS SIDE SHALL BE PARALLEL TO THE LENGTH OF THE
PARKING SPACE, AND ITS LOWER SIDE SHALL BE ALIGNED WITH THE END OF THE PARKING SPACE.

6. CURB RAMP
CURB RAMP ON ACCESSIBLE ROUTES SHALL COMPLY WITH 2016 CBC SECTIONS 1112A.

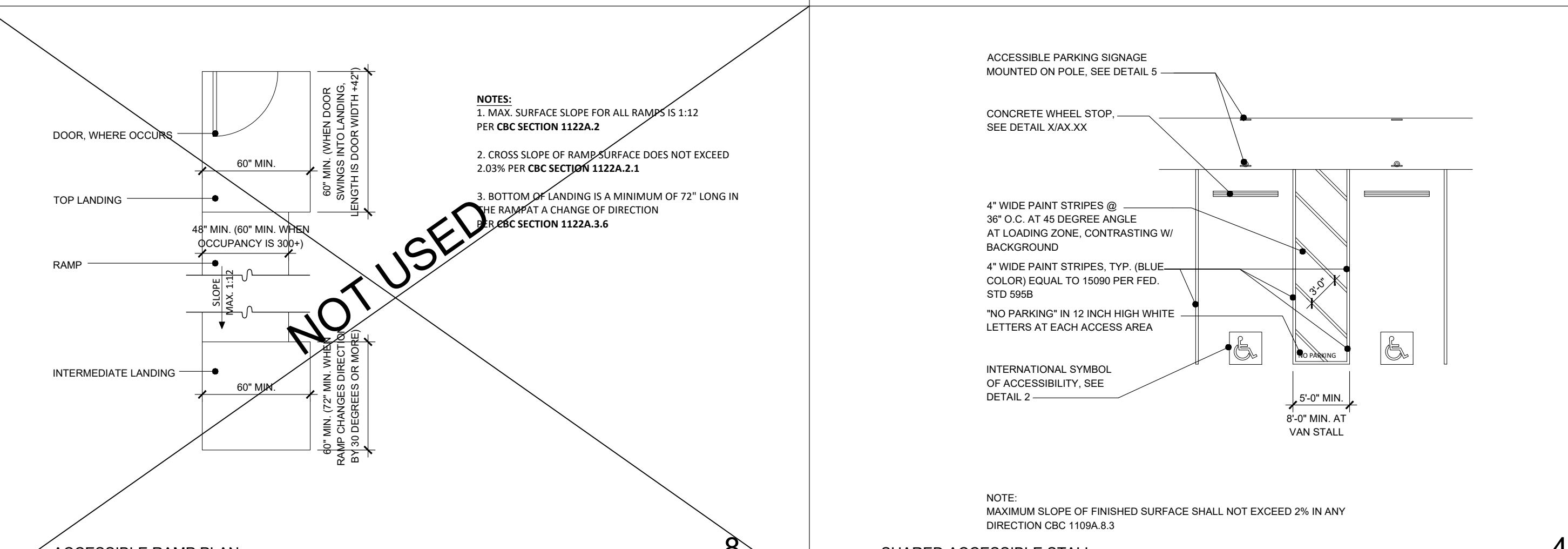
**A. CURB RAMP WITHIN THE BOUNDARY OF THE SITE SHALL BE CONSTRUCTED AT EACH CORNER OR STREET
INTERSECTIONS AND WHERE A PEDESTRIAN WAY CROSSES A CURB. THE PREFERRED AND RECOMMENDED
LOCATION FOR CURB RAMP IS ON THE CENTER OF THE CROSSWALK AT EACH STREET CORNER. WHERE IT IS
NECESSARY TO LOCATE A RAMP IN THE CENTER OF A CURB RAMP, THE STREET SURFACES SHALL BE MARKED TO
IDENTIFY PEDESTRIAN CROSSWALKS, AND THE LOWER END OF THE CURB RAMP SHALL TERMINATE WITHIN SUCH
CROSSWALK AREAS. CURB RAMP DO NOT REQUIRE HANDRAILS.
B. CURB RAMP SHALL BE LOCATED OR PROTECTED TO PREVENT OBSTRUCTION BY PARKED CARS. BUILT-UP
CURB RAMP SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING
SPACES OR THE ADJACENT LOADING AND UNLOADING ACCESS ASLE.
C. CURB RAMP SHALL BE A MINIMUM OF 48" IN WIDTH.
D. IF DIAGONAL (OR CORNER TYPE) CURB RAMP HAVE RETURN CURBS OR OTHER WELL DEFINED EDGES, SUCH
EDGES SHALL BE PARALLEL TO THE DIRECTION OF TRAFFIC FLOW. THE BOTTOM OF DIAGONAL CURB RAMP
RAMP SHALL HAVE FLARED SIDES, THEY SHALL ALSO HAVE AT LEAST A 24" LONG SEGMENT OF STRAIGHT CURB
LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING. SEE 2016 CBC FIGURES
11A-3A THROUGH 11A-3M.
E. THE SLOPE OF CURB RAMP SHALL NOT EXCEED 1 UNIT VERTICAL TO 12 UNITS HORIZONTAL (8.33 PERCENT
SLOPE) AND SHALL BE, GENERALLY, IN A SINGLE SLOPE PLANE. TRANSITIONS FROM RAMP TO WALKS, GUTTERS
OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD
SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1 UNIT
VERTICAL TO 20 UNITS HORIZONTAL (5 PERCENT SLOPE) WITHIN FOUR FEET OF THE TOP AND BOTTOM OF THE
CURB RAMP.**

**IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, THEN IT SHALL HAVE FLARED
SIDES, THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1 UNIT VERTICAL IN 10 UNITS HORIZONTAL (10 PERCENT
SLOPE). PEDESTRIAN WALKWAYS SHALL BE RETURNED TO THE ORIGINAL GRADE. PEDESTRIANS WOULD NOT NORMALLY
WALK ACROSS THE RAMP. SEE 2016 CBC FIGURES 11A-3A THROUGH 11A-3M.**

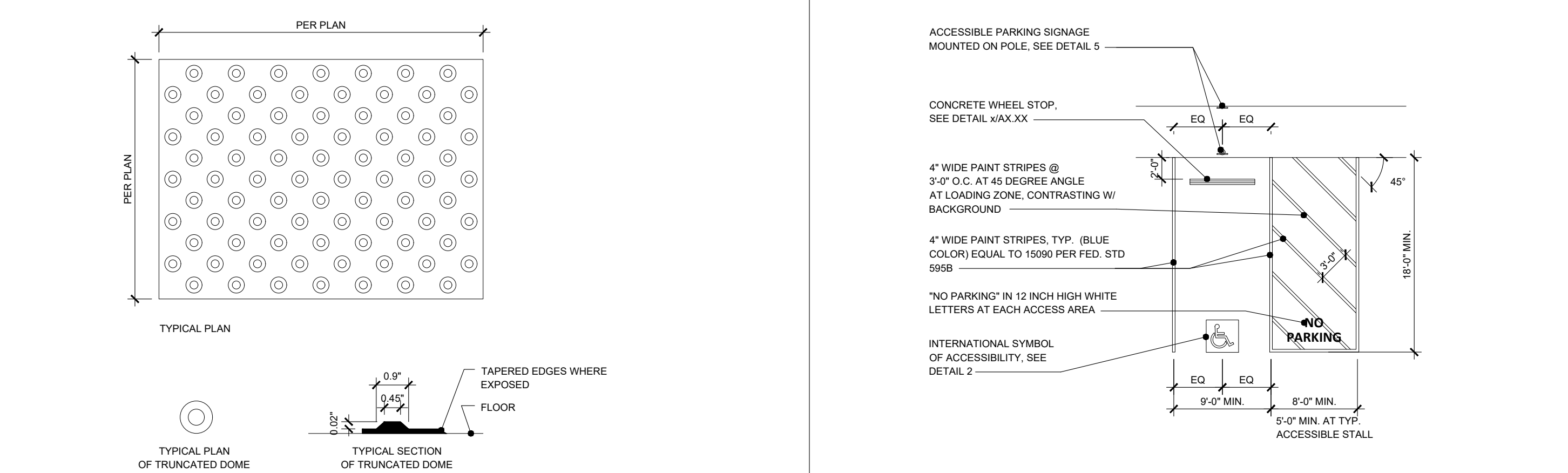
**F. A LEVEL LANDING 48" DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL
WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE, OR THE SLOPE OF THE FLARED OR FLARED SIDES
OF THE CURB RAMP, SHALL NOT EXCEED 1 UNIT VERTICAL TO 12 UNITS HORIZONTAL (8.33 PERCENT SLOPE).
G. THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND
SHALL BE OF A CONTRASTING FINISH FROM THAT OF THE ADJACENT SIDEWALK.
H. ALL CURB RAMP SHALL HAVE A GROOVED BORDER 12" WIDE AT THE LEVEL SURFACE OF THE SIDEWALK
ALONG THE TOP AND EACH SIDE APPROXIMATELY 1/4" ON CENTER. ALL CURB RAMP CONSTRUCTED BETWEEN
THE SLOPE OF CURB AND THE STREET SHALL HAVE A GROOVED BORDER AT THE LEVEL SURFACE OF THE SIDEWALK.
SEE 2016 CBC FIGURES 11A-3A THROUGH 11A-3M.
I. CURB RAMP SHALL HAVE A DETECTABLE WARNING THAT EXTENDS THE FULL WIDTH AND DEPTH OF THE CURB
RAMP, EXCLUDING THE FLARED SIDES, INSIDE THE GROOVED BORDER. DETECTABLE WARNING SHALL BE SLIP
RESISTANT AND CONSIST OF RASSED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9" AT THE BASE
TAPERING TO 0.45" AT THE TOP, A HEIGHT OF NOMINAL 0.2" AND A CENTER TO CENTER SPACING OF 2.35" IN
COMPLIANCE WITH CBC FIGURE 11A-2.3A. "NO PARKING" HERE SHALL BE IN ACCORDANCE WITH CBC SECTIONS 11A-
AND B-102. STATE REFERENCE STANDARDS CODE. THE DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH
ADJOINING SURFACES, EITHER LIGHT OR DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST
SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. THE DOMES MAY BE CONSTRUCTED IN A VARIETY OF
METHODS INCLUDING CAST IN PLACE OR STAMPED, OR MAY BE PART OF A PREFABRICATED SURFACE
TREATMENT.**



ACCESSIBLE PARKING SIGNAGE
SCALE: 1/2\"/>



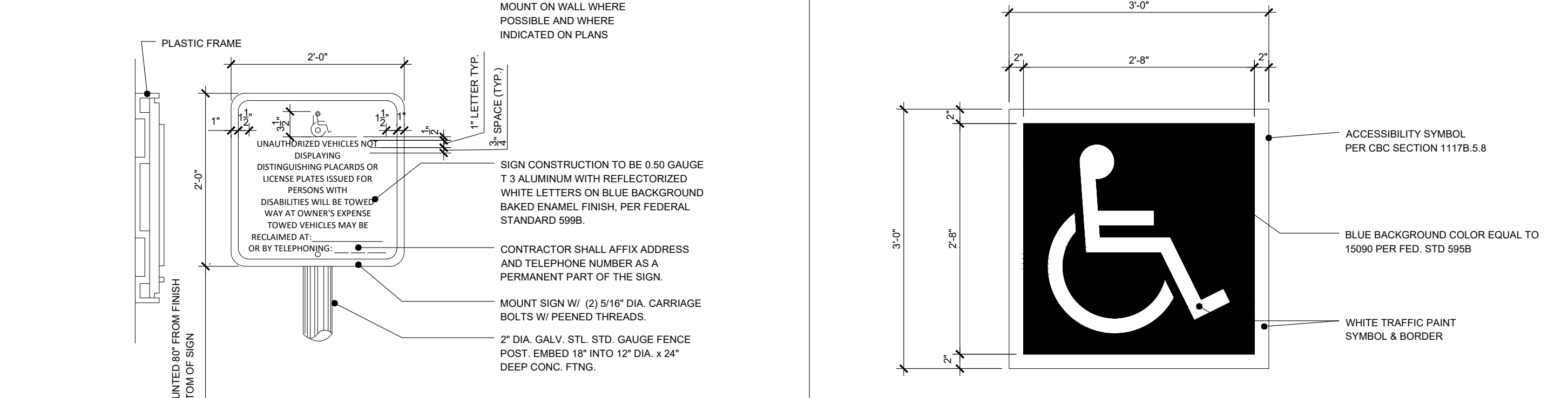
ACCESSIBLE RAMP PLAN
SCALE: 1/4\"/>



SHARED ACCESSIBLE STALL
SCALE: 1/8\"/>



TRUNCATED DOME
SCALE: 1/5\"/>



TOW-AWAY ACCESSIBLE SIGN
SCALE: 1/4\"/>



INTERNATIONAL SYMBOL OF ACCESSIBILITY
SCALE: 1/4\"/>

5

4

3

2

1

GENERAL ACCESSIBILITY NOTES

1. ENTRANCES AND DOORWAYS

SEE DETAILS 3 AND 7 THIS SHEET. SEE 2016 CBC SECTION 1126A.

A. PRIMARY ENTRANCES TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO THE DISABLED.

B. RECESSED DOOR MATS SHALL BE ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIRS. SEE 2016 CBC SECTION 1132A.

C. PRIMARY ENTRANCES TO DWELLING UNITS SHALL BE PROVIDED WITH A DOOR CHIME MOUNTED AT 48" MAXIMUM ABOVE THE FINISH FLOOR AND CONNECTED TO PERMANENT WIRING. SEE 2016 CBC SECTION 1132A.

D. ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE SIGN (INTERNATIONAL SYMBOL OF ACCESSIBILITY) AND WITH ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED VISIBLE FROM APPROACHING PEDESTRIAN WAYS. SEE 2016 CBC SECTION 1143A.

E. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR. THE LEVEL AND CLEAR AREA SHALL BE A MINIMUM 60" SQUARE IN THE DIRECTION OF THE DOOR SWING AND A MINIMUM 48" SQUARE OPPOSITE THE DIRECTION OF DOOR SWING. THE SQUARES SHALL BE MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. SEE NOTE 1 BELOW FOR STRIKE SIDE REQUIREMENTS.

F. COVERED DWELLING UNITS OF MULTIFAMILY BUILDINGS, THE LEVEL AREA MUST BE 36" LONG MINIMUM IN BOTH THE DIRECTION AND OPPOSITE THE DIRECTION OF THE DOOR SWING.

G. THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS AND THE PRIMARY ENTRANCE TO THE DWELLING UNIT.

H. THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE REVELED NO GREATER THAN 1:2.

I. THE FLOOR LANDING IMMEDIATELY OUTSIDE THE ENTRY MAY BE SLOPED UP TO 1/8" PER FOOT IN THE DIRECTION AWAY FROM THE PRIMARY ENTRANCE FOR DRAINAGE.

J. EXTERIOR DECK, PATIO, OR BALCONY SURFACES SHALL BE NO MORE THAN 1/2" BELOW THE FLOOR LEVEL OF THE INTERIOR OF THE DWELLING UNIT, UNLESS CONSTRUCTED OF IMPERVIOUS MATERIALS. IN SUCH CASE THE SURFACE SHALL BE NO MORE THAN 4 INCHES BELOW THE FLOOR LEVEL OF THE INTERIOR OF THE DWELLING UNIT, OR LOWER IF REQUIRED BY LOCAL BUILDING CODES.

K. THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE, SERVING OTHER THAN A REQUIRED EXIT STAIRWAY, MUST HAVE AT LEAST 48" OF CLEAR SPACE FROM ANY DOOR OPENING INTO THE VESTIBULE WHEN THE DOOR IS OPEN 90 DEGREES FROM ITS CLOSED POSITION. DOORS IN SERIES MUST SWING IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS.

L. DOOR MUST PROVIDE MIN. 32" CLR. OPENING WIDTH MEASURED WITH THE DOOR POSITIONED 90-DEGREES FROM THE CLOSED POSITION. DOOR MUST BE MIN. 36" IN WIDTH. WHERE A PAIR OF DOORS, MANUALLY OR AUTOMATICALLY OPERATED, IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING 32" WIDE W/ THE LEAF POSITIONED 90 DEGREES FROM ITS CLOSED POSITION. DOORS SHALL NOT BE LESS THAN 80" IN HEIGHT. SEE 2001 CBC SECTION 1126A.1.

M. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC & SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO OPEN BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. SEE 2016 CBC SECTION 1126A.7.

N. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS FOR EXTERIOR DOORS AND 5 LBS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT SHALL BE APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.

O. THE SWEEP PERIOD OF A CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR WILL TAKE AT LEAST 5 SECONDS MINIMUM TO MOVE TO A POSITION OF 32 DEGREES FROM THE LATCH. SEE 2016 CBC SECTION 1126A.4.1.

P. OPERABLE HARDWARE SHALL BE 30" MIN. AND 44" MAX. ABOVE THE FLOOR. HARDWARE SHALL BE OF A TYPE TO PERMIT OPERATION WITHOUT REQUIRING THE ABILITY TO GRASP THE HARDWARE. SEE 2016 CBC SECTION 1126A.6.

Q. LEVER-TYPE HARDWARE SHALL BE CURVED TO RETURN WITHIN 1/2" OF THE DOOR WHEN THE OCCUPANT LOAD IN GROUP R OR U EXCEEDS 10. SEE 2016 CBC SECTION 1126A.6.1.

2. SANITARY FACILITIES

SEE DETAILS 1 AND 2 THIS SHEET. SEE 2016 CBC SECTION 1127A.2.

A. WHEN COMMON USE TOILET FACILITIES ARE PROVIDED FOR RESIDENTS OR GUESTS, AT LEAST ONE PERCENT OF THE TOTAL NUMBER OF FIXTURES BUT NOT LESS THAN ONE OF EACH TYPE SHALL COMPLY WITH 2016 CBC SECTION 1127A.2.1.

B. TOILET FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE OPEN SIDE OF THE TOILET AREAS, NO MORE THAN 44-INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT.

C. WHERE URINALS ARE PROVIDED AT LEAST ONE WITH A RIM PROJECTING A MINIMUM OF 13"-INCHES FROM THE WALL AND AT A MAXIMUM OF 17-INCHES ABOVE 2 FLOOR SHALL BE PROVIDED. THE

D. URINAL FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT.

E. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED.

F. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT. LEVER OPERATED, PUSH THE

G. TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS FOR AT LEAST 10 SECONDS. OPEN

H. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE NOT MORE THAN 40-INCHES ABOVE THE FLOOR. SEE 2016 CBC SECTION 1134A.

I. LOCATE TOWEL, SANITARY NAPKIN, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS WITHIN 12-INCHES FROM THE FLOOR. SEE 2016 CBC SECTION 1134A.

J. LOCATE TOILET TISSUE DISPENSERS ON THE WALL OR PARTITION WITHIN 12-INCHES OF THE FRONT EDGE OF THE TOILET SEAT. SEE 2016 CBC SECTION 1132A.

K. GRAB BARS, TUB AND SHOWER SEATS, FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 250 LB. PER LINEAR FOOT LOAD.

L. GRAB BARS:

1. THE DIAMETER OR WIDTH OF THE GRIPPING SURFACE OF A GRAB BAR SHALL BE 1-1/4" MINIMUM TO 2" MAXIMUM OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
2. IF THE GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1-1/2".
3. A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS.
4. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. 5. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".

3. ACCESSIBLE TOILET COMPARTMENTS

SEE DETAILS 1 AND 2 THIS SHEET. SEE 2016 CBC SECTION 1127A.

A. SEE TOILET ROOM FLOOR PLAN FOR ACCESSIBLE TOILET STALL LOCATION.

B. VERIFY TOILET ACCESSORIES & TYPE OF PARTITION IN SPECIFICATIONS.

C. PROVIDE BACKING IN WALL & TOILET PARTITION FOR GRAB BAR ANCHORAGE.

D. COMPARTMENT DOOR TO PROVIDE A MINIMUM 9" CLEARANCE FOR FOOTRESTS UNDERNEATH DOOR, OR A MINIMUM OF 38" SIDE-STRIKE CLEARANCE IS PROVIDED.

E. INSIDE AND OUTSIDE OF THE COMPARTMENT DOOR IS EQUIPPED WITH A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE LATCH IS A FLIP-OVER STYLE, SLIDING, OR OTHER HARDWARE NOT REQUIRING TIGHT GRASPING OR TWISTING.

F. OPENING HARDWARE IS CENTERED BETWEEN 30" AND 44" ABOVE FINISH FLOOR.

G. TOILET PAPER DISPENSER ALLOWS CONTINUOUS PAPER FLOW AND DOES NOT CONTROL DELIVERY. SEE 2016 CBC SECTION 1127A.8.2.

H. THE ACCESSIBLE COMPARTMENT DOOR SHALL BE EQUIPPED WITH AN AUTOMATIC CLOSING DEVICE (3 SECONDS MIN. SWEEP TIME FROM OPEN POSITION OF 70 DEGREES TO A POINT 3" FROM THE LATCH).

I. FLUSH CONTROL SHALL BE ON WIDE SIDE OF TOILET COMPARTMENT AT ALL ACCESSIBLE STALLS. TYP.

J. WHERE ONLY ONE TYPE OF TOILET FIXTURE OR ACCESSORY IS USED, IT SHALL BE POSITIONED FOR ACCESSIBILITY.

K. SEE ACCESSIBILITY NOTES FOR ADDITIONAL REQUIREMENTS.

4. SWITCHES CONTROLS AND ELECTRICAL OUTLETS

SEE DETAILS 3 THIS SHEET. SEE 2016 CBC SECTION 1136A.

A. THE CENTER OF RECEPTACLE OUTLETS SHALL BE NOT MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE BOX TO THE LEVEL OF THE FLOOR OR WORKING PLATFORM. (NEC 210)

B. CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE LOCATED NOT MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM.

C. IF REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, A BASE CABINET) SWITCHES AND CONTROLS SHALL LOCATED AS FOLLOWING:

1. WHEN THE HIGH FORWARD REACH SHALL BE 48" MAXIMUM WHEN THE REACH DEPTH IS 20" MAXIMUM.
2. WHEN THE REACH EXCEEDS 20" BUT IS NO MORE THAN 25", THE HIGH FORWARD REACH SHALL BE 48" MAXIMUM.

(SEE 2016 CBC SECTION 1136A.3). PHYSICAL BARRIERS OR OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH A CONTROL. THE WALL BENEATH THE CONTROL.

3. EXEMPTION: APPLIANCES (EG. KITCHEN STOVES, DISHWASHERS, RANGE HOODS, MICROWAVE OVENS, AND SIMILAR APPLIANCES) WHICH HAVE CONTROLS LOCATED ON THE APPLIANCE.

D. THE CENTER OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK. IF EMERGENCY WARNING SYSTEMS ARE REQUIRED THEY SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED.

5- DRINKING FOUNTAINS

SEE DETAILS 3 THIS SHEET. SEE 2016 CBC SECTION 1139A.

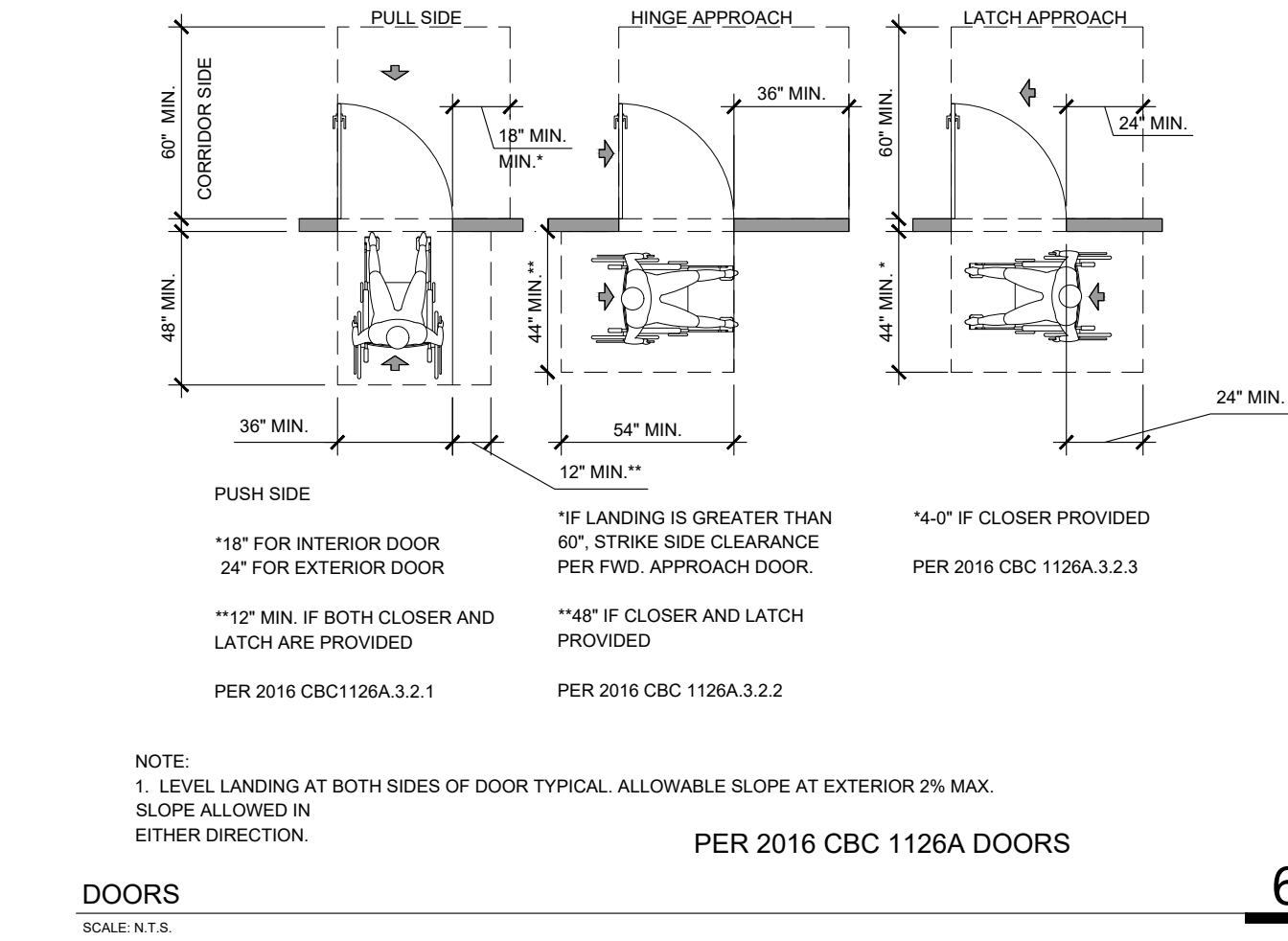
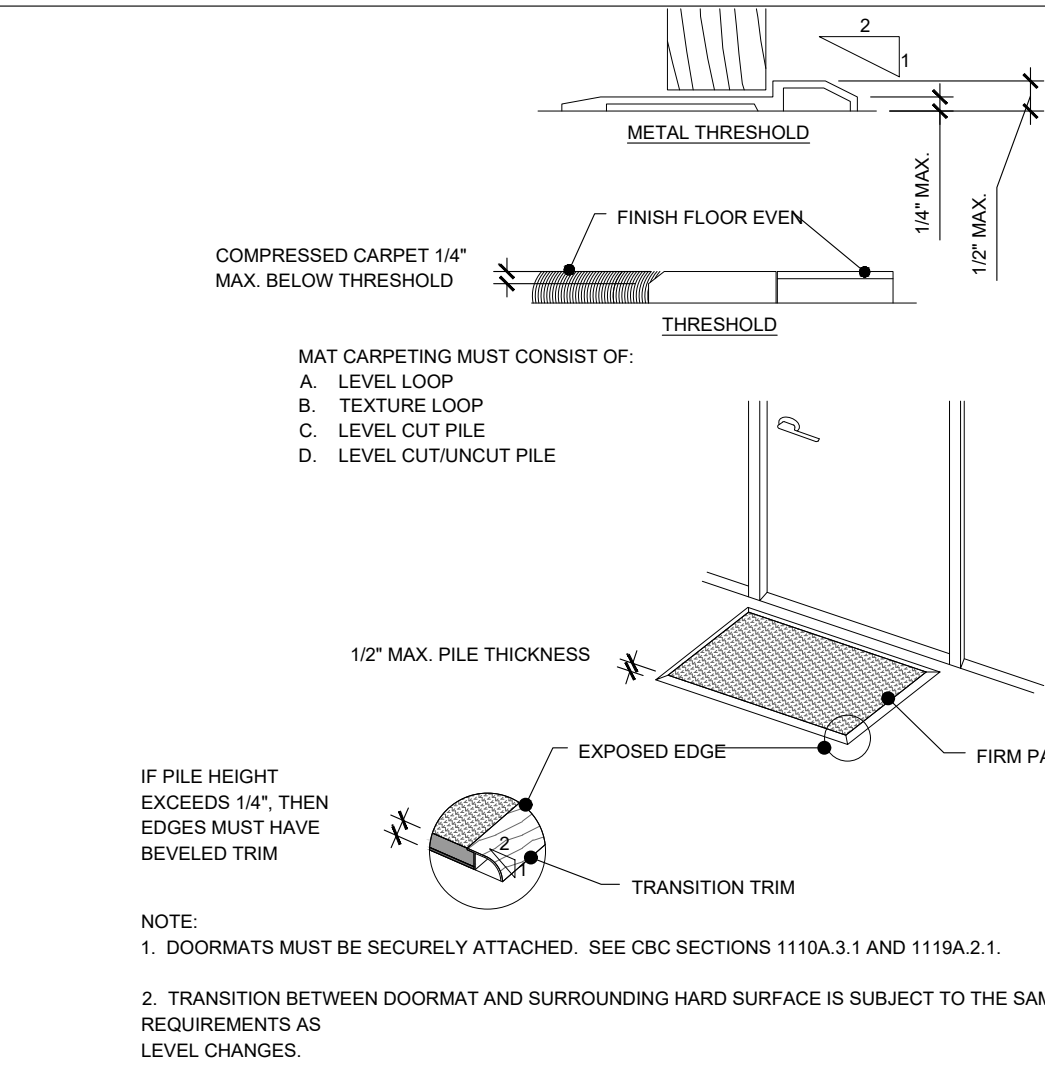
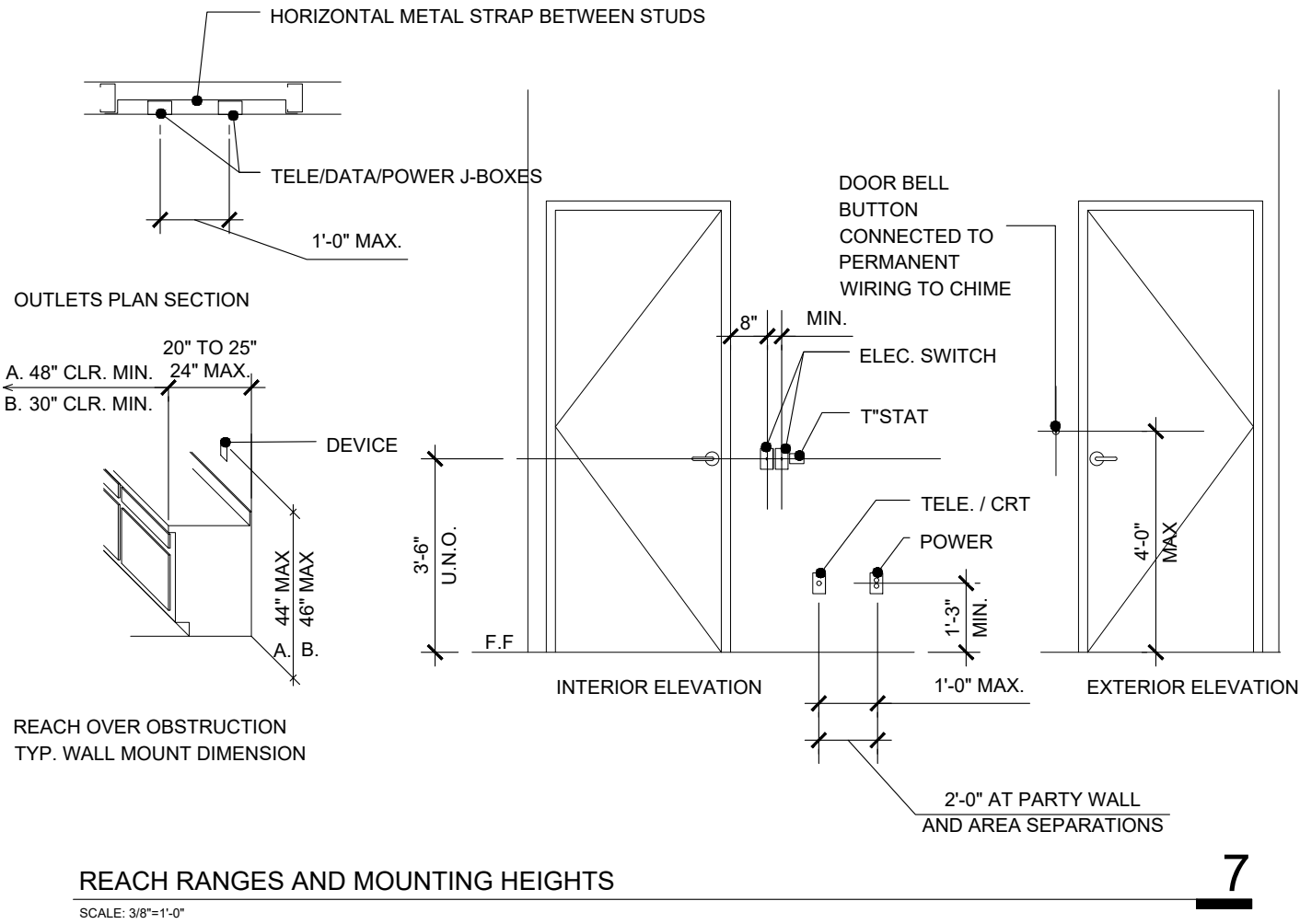
A- ON ANY FLOOR WHERE DRINKING FOUNTAINS ARE PROVIDED, AT LEAST ONE FOUNTAIN SHALL BE ACCESSIBLE. SPECIFY ACCESSIBLE DRINKING FOUNTAINS AND SHOW THEM INSTALLED IN ALCOVES OR IN A LOCATION, WHICH DOES NOT ENCLOSED INTO A PEDESTRIAN WAY. PROVIDE AT LEAST ONE SET OF DRINKING FOUNTAINS IN EACH "DRINKING FOUNTAIN AREA" WHERE ONE FOUNTAIN IS ACCESSIBLE TO INDIVIDUALS IN WHEELCHAIRS PLUS ONE WHICH IS ACCESSIBLE TO INDIVIDUALS WHO HAVE DIFFICULT BENDING OR STOOPIING.

B- PROVIDE A MIN. 30" X 48" CLEAR FLOOR SPACE FOR FORWARD APPROACH. THE DRINKING FOUNTAIN SHALL BE A MINIMUM OF 18-INCHES AND A MAXIMUM OF 19-INCHES IN DEPTH AND THERE SHALL BE A CLEAR AND UNOBSTRUCTED KNEE SPACE UNDER THE DRINKING FOUNTAIN NOT LESS THAN 27-INCHES IN HEIGHT AND 8-INCHES IN DEPTH. THE DEPTH MEASUREMENT BEING TAKEN FROM THE FRONT EDGE OF THE FOUNTAIN. ADDITIONALLY THERE SHALL BE TOE CLEARANCE OF 9-INCHES IN HEIGHT ABOVE THE FLOOR. AND 37-INCHES IN DEPTH FROM THE FRONT EDGE OF THE FOUNTAIN. A SIDE APPROACH DRINKING FOUNTAIN IS NOT ACCEPTABLE.

C- THE SPOUT SHALL BE LOCATED WITHIN 5" OF THE FRONT EDGE OF THE FOUNTAIN AND WITHIN 36" OF THE FLOOR. A FLOW OF WATER AT LEAST 4 INCHES HIGH SHALL BE AVAILABLE TO ALLOW THE INSERTION OF A CUP OR GLASS UNDER THE FLOW OF WATER. THE SPOUT STREAM SHALL BE PARALLEL TO THE FRONT EDGE OF THE FOUNTAIN.

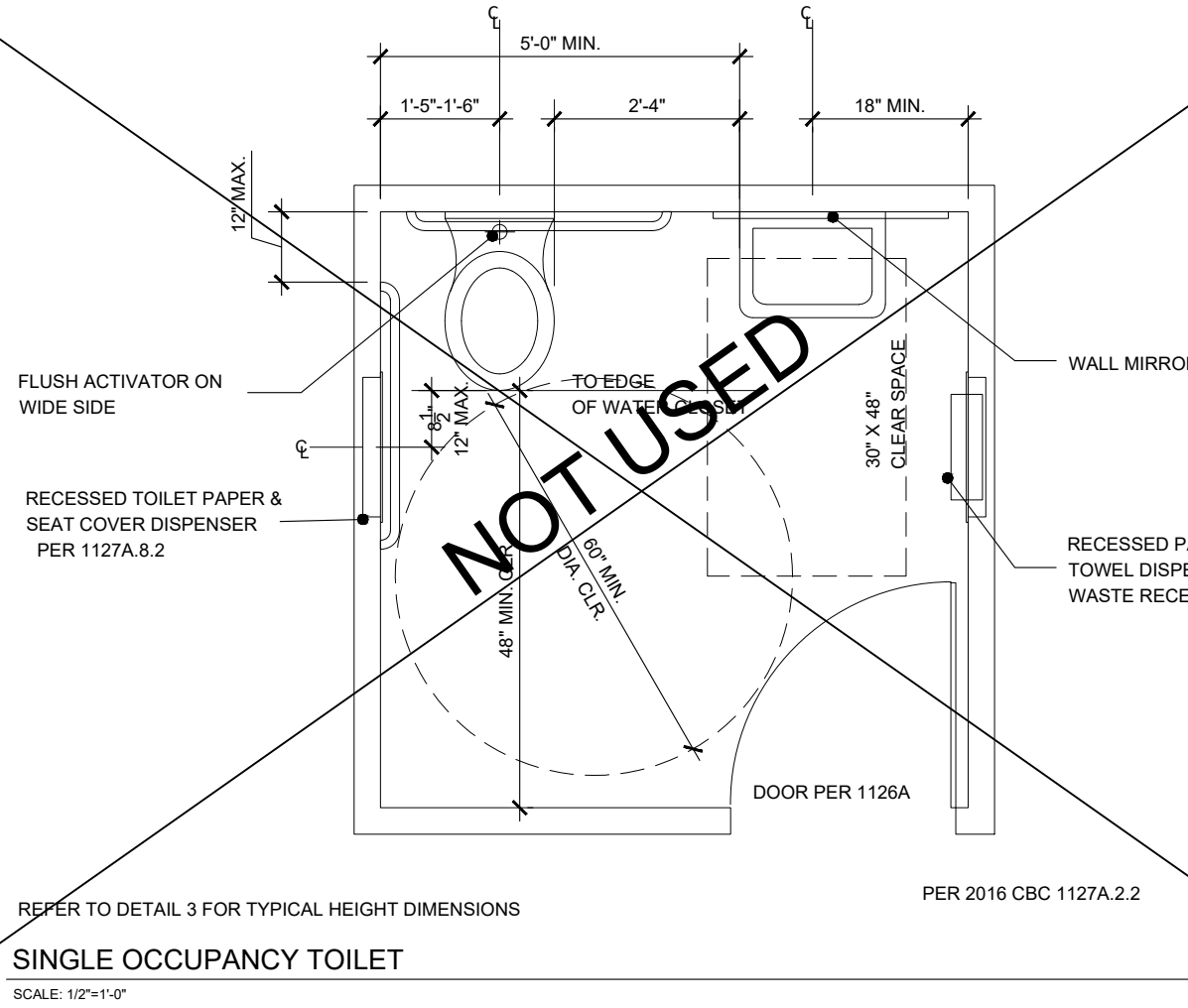
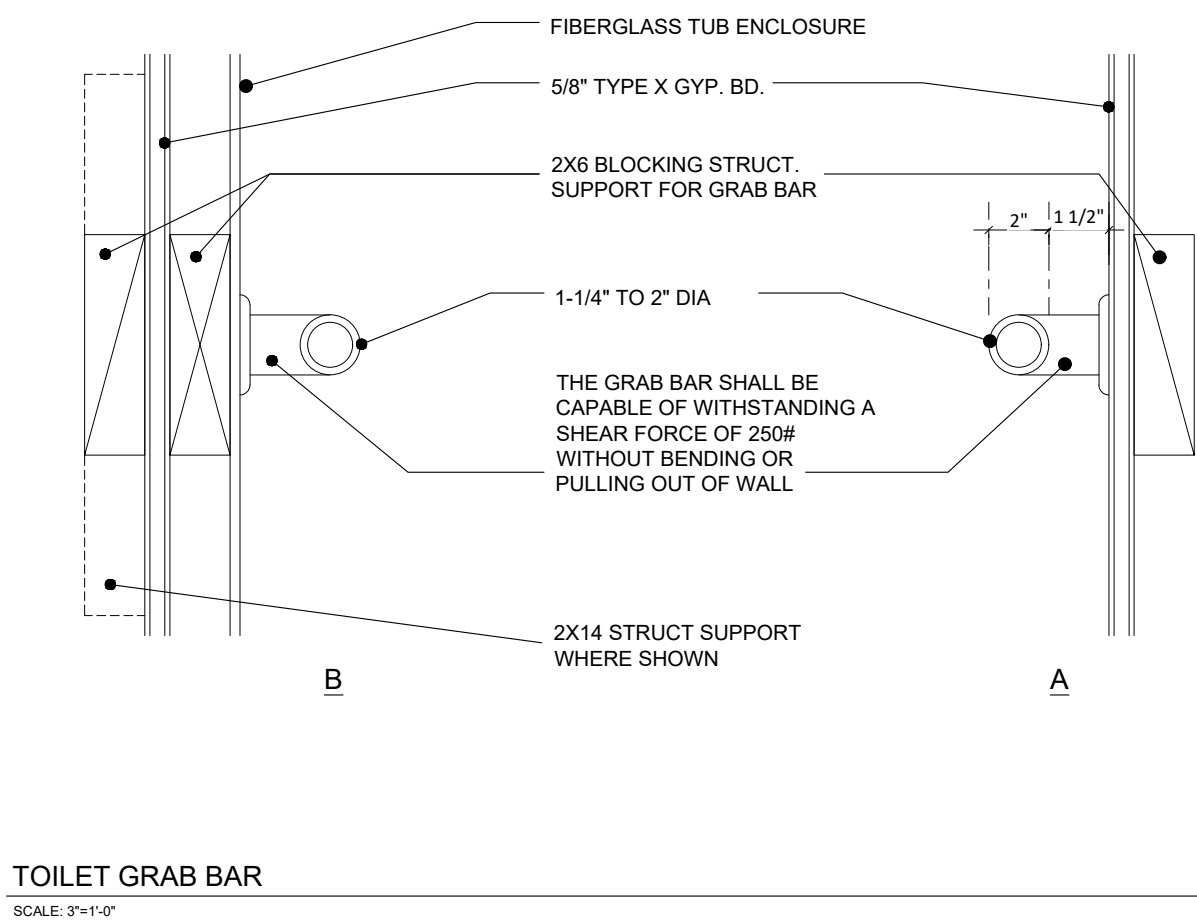
D- CONTROLS SHALL BE LOCATED WITHIN 6" OF THE FRONT EDGE OF THE FOUNTAIN AND REQUIRE NO MORE THAN 5 LBS. OF FORCE TO OPERATE.

E- WATER FOUNTAINS SHALL BE LOCATED IN AN ALCOVE MIN. 18" DEEP AND MIN. 32" WIDE. NO PORTION OF THE FOUNTAIN SHALL PROTRUDE MORE THAN 4" FROM THE ALCOVE INTO A PEDESTRIAN WAY.



DOORS

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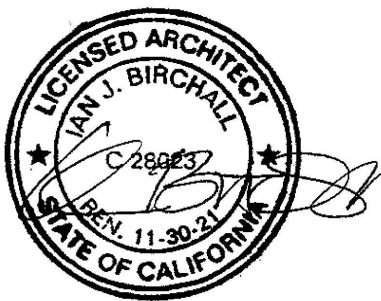
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3	01 / 25 / 201	POST DESIGN REVIEW REVISIONS
2	11 / 02 / 2020	DESIGN REVIEW STUDY SESSION
1	10 / 07 / 2020	INITIAL DESIGN REVIEW #1-RESPONSE
0	08 / 28 / 2020	RECOLOGY COORD.
0	07 / 20 / 2020	CITY SUBMISSION SET

REV DATE ISSUE



SHEET DESCRIPTION

COMMON SPACES
ACCESSIBILITY NOTES
AND DETAILS

DATE 1/25/2021

SCALE As indicated

DRAWN BY VP/ SS

CHECKED BY IB

JOB NO. 2006

A-0.05

SHEET NO.

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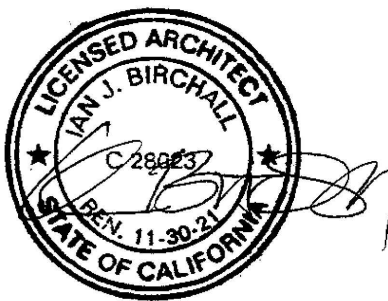
LANDSCAPE ARCHITECT
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SHEET DESCRIPTION

**ELEVATOR
ACCESSIBILITY NOTES
& DETAILS**

DATE 1/25/2021

SCALE As indicated

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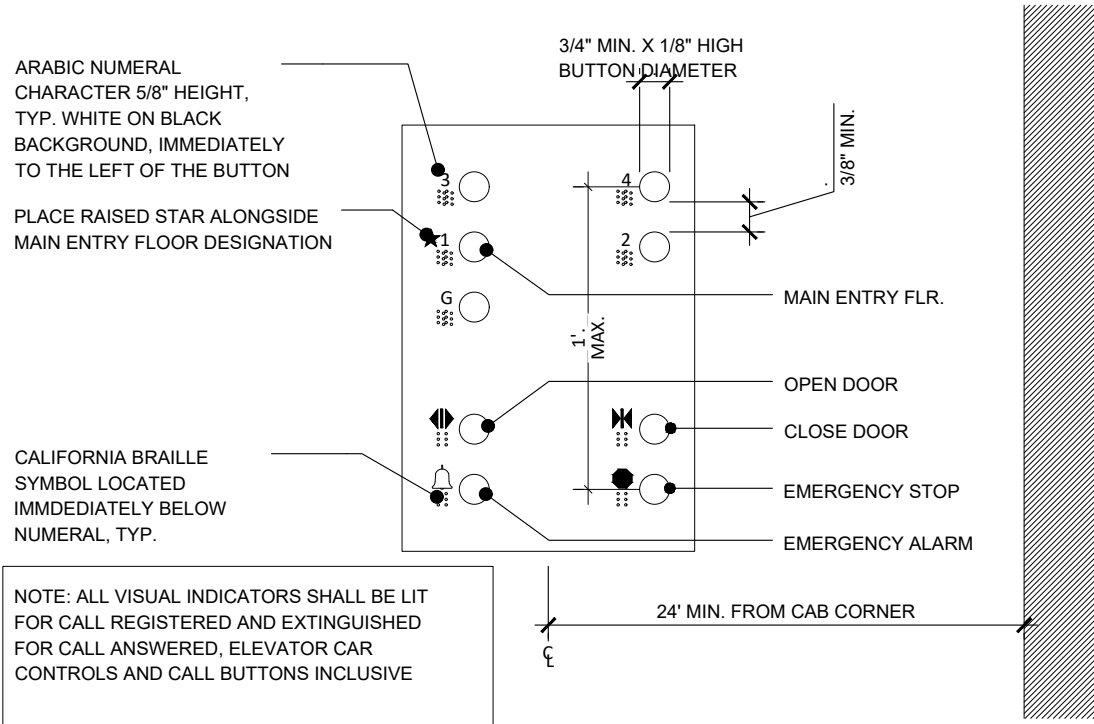
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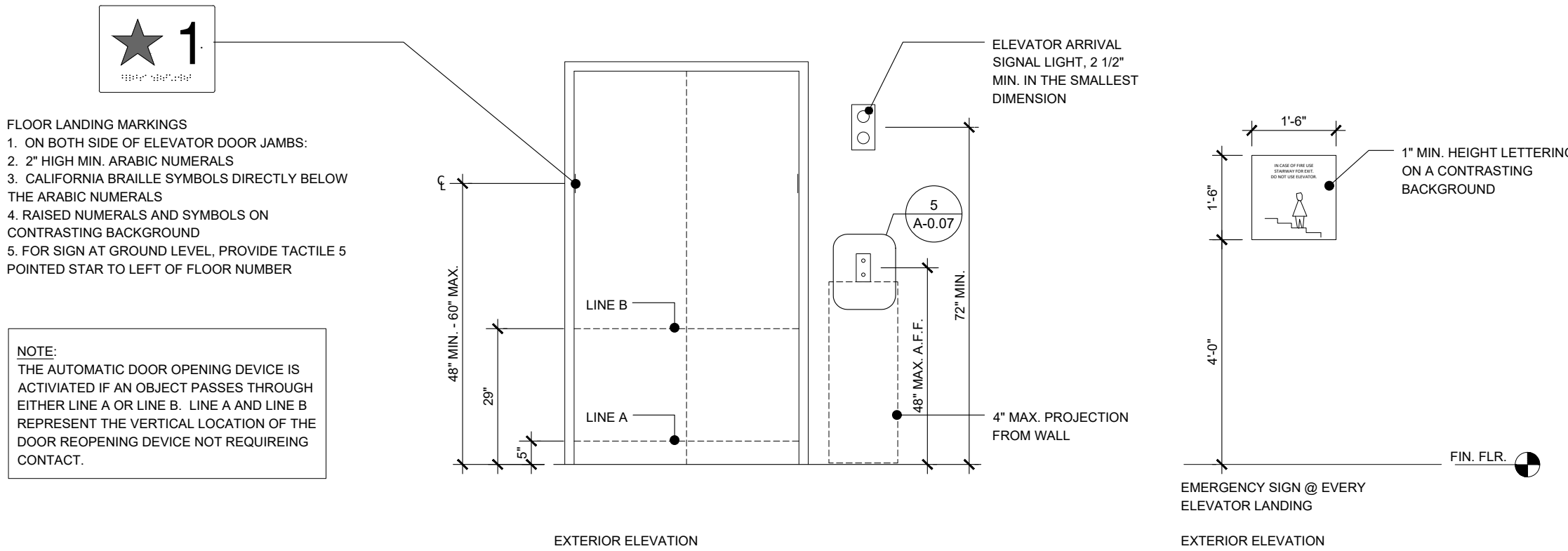
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ELEVATOR CAR CONTROL BOARD

SCALE: N.T.S.

6



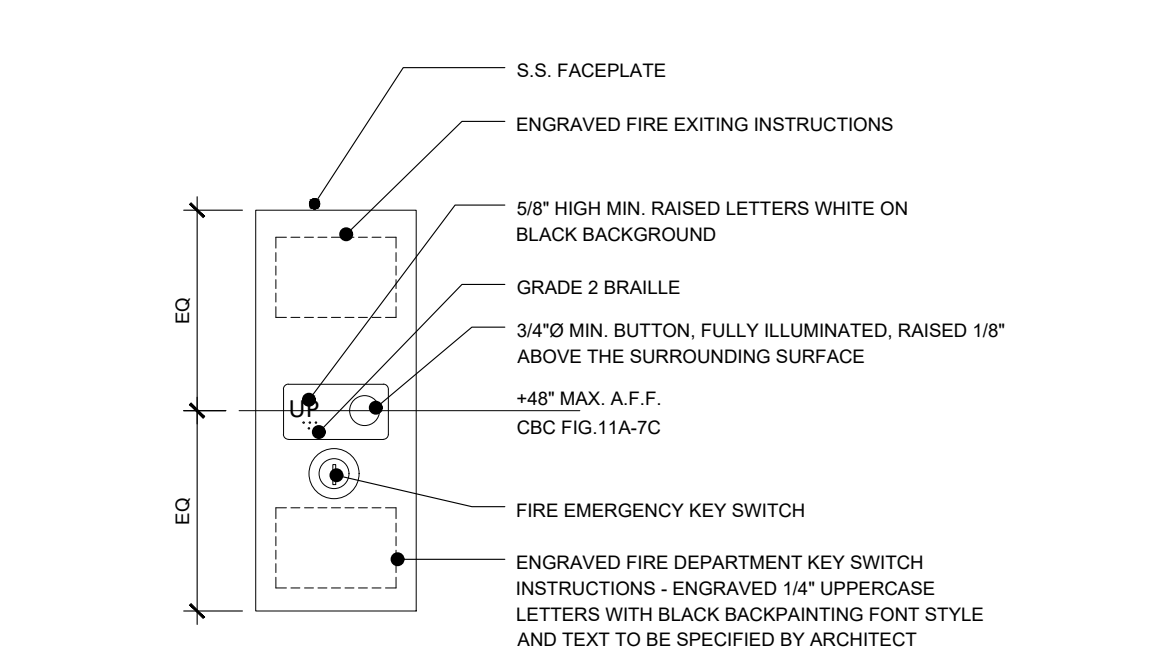
TYP. ELEVATOR DETAILS

SCALE: N.T.S.

2

GENERAL ACCESSIBILITY NOTES

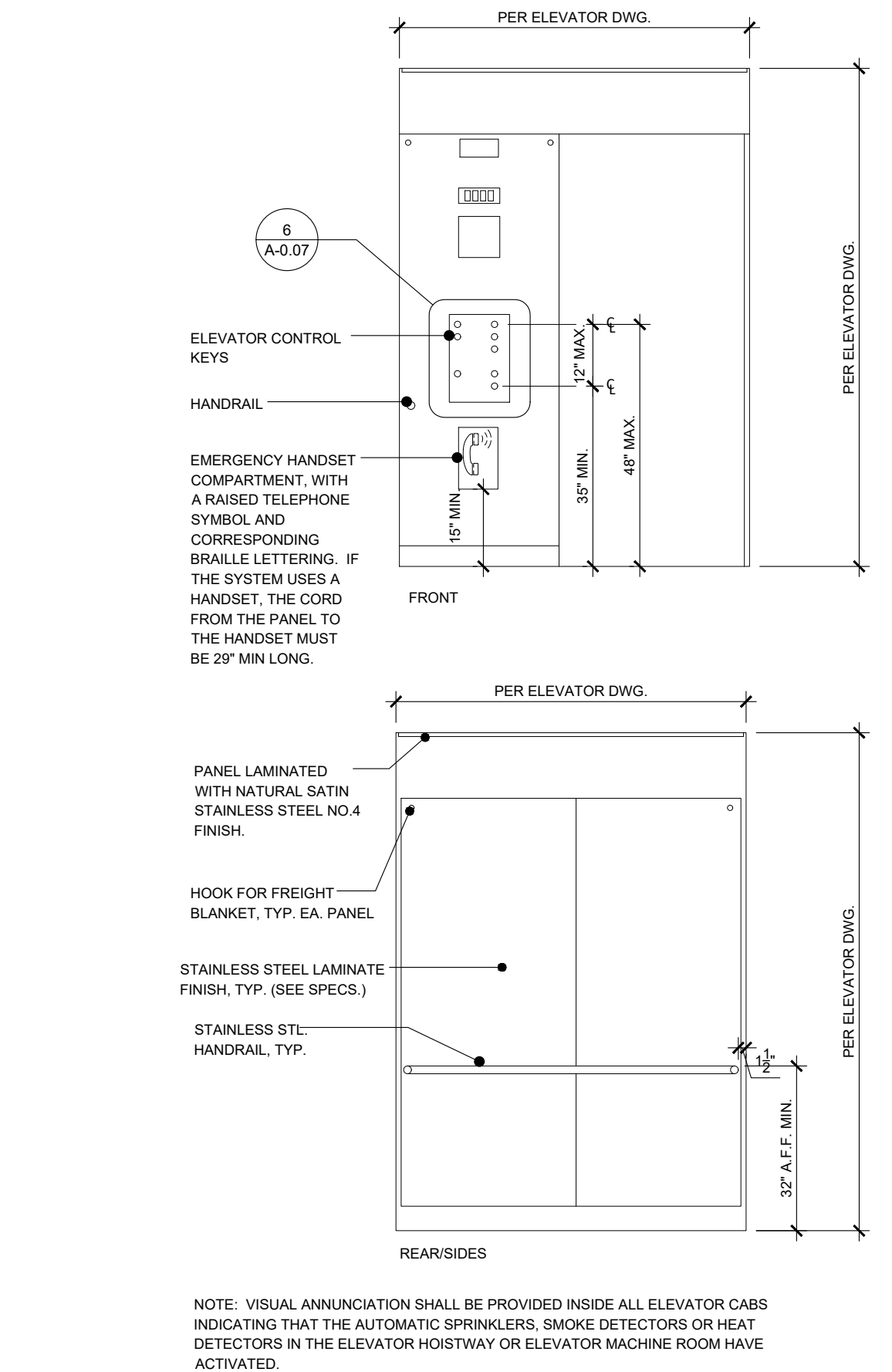
1. PROVIDE ELEVATOR HOISTWAY VENTING PER C.B.C. 3004. SEE 4/A8.61.
2. PROVIDE SMOKE-DETECTION ELEVATOR RECALL PER U.B.C. 3003.2 AT ELEVATOR ENTRANCE AREAS AND MACHINE ROOMS.
3. PASSENGER ELEVATORS SHALL BE LOCATED NEAR A MAJOR PATH OF TRAVEL AND SHALL REMAIN ACCESSIBLE AND USEABLE AT ALL TIMES THE BUILDING IS OCCUPIED.
4. MINIMUM ONE OF THE ELEVATORS PROVIDED SHALL HAVE A CAB DIMENSIONS THAT SHALL ACCOMMODATE A 24" X 84" AMBULANCE GURNY OR STRETCHER WITH NOT LESS THAN 5" RADIUS CORNERS, IN THE HORIZONTAL, OPEN POSITION. **CBC 3002.4**
5. EACH ELEVATOR ENTRANCE AND CAR SHALL BE EQUIPPED WITH PROVISIONS FOR THE DISABLED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODE REQUIREMENTS. SEE SPECIFICATIONS AND THE FOLLOWING.
6. ELEVATOR OPERATION AND CAB SIZE: REFER TO DETAIL 5.
 - A. THE ELEVATOR SHALL BE AUTOMATIC AND BE PROVIDED WITH A SELF-LEVELING WITHIN 1/2 INCHES OF THE FLOOR.
 - B. THIS SELF-LEVELING SHALL, WITHIN ITS ZONE, BE ENTIRELY AUTOMATIC AND INDEPENDENT OF THE OPERATING DEVICE AND SHALL CORRECT THE OVERTRAVEL OR UNDERTRAVEL. THE CAR SHALL ALSO BE MAINTAINED APPROXIMATELY LEVEL WITH THE LANDING, IRRESPECTIVE OF LOAD. THE CLEARANCE BETWEEN THE CAR PLATFORM SILL AND THE EDGE OF THE HOISTWAY LANDING SHALL BE NO GREATER THAN 1-1/4 INCHES. **2016 CBC 1124A.10**
 - A. WHEN THE DOOR IS CENTERED ON THE CAR WALL, IT SHALL PROVIDE A CLEAR WIDTH OF 42 INCHES MINIMUM, AND THE CLEAR DISTANCE BETWEEN CAR SIDE WALLS SHALL BE 80 INCHES MINIMUM. THE CLEAR DISTANCE BETWEEN THE BACK WALL AND THE RETURN PANEL SHALL BE 51 INCHES MINIMUM. THE CLEAR DISTANCE BETWEEN THE BACK WALL AND THE INSIDE FACE OF THE DOOR SHALL BE 54 INCHES MINIMUM. **2016 CBC 1124A.3.2**
 - B. WHEN THE DOOR IS NOT CENTERED ON THE CAR WALL, IT SHALL PROVIDE A CLEAR WIDTH OF 36 INCHES MINIMUM, AND THE CLEAR DISTANCE BETWEEN CAR SIDE WALLS SHALL BE 68 INCHES MINIMUM. THE CLEAR DISTANCE BETWEEN THE BACK WALL AND THE RETURN PANEL SHALL BE 51 INCHES MINIMUM. THE CLEAR DISTANCE BETWEEN THE BACK WALL AND THE INSIDE FACE OF THE DOOR SHALL BE 54 INCHES MINIMUM. **2016 CBC 1124A.3.2**
 - C. AN ELEVATOR DOOR WITH 36 INCHES MINIMUM CLEAR WIDTH MAY BE INSTALLED AT ANY LOCATION IF IT COMPLIES WITH ONE OF THE FOLLOWING:
 1. THE CAR INSIDE, WITH THE DOOR CLOSED, SHALL PROVIDE A TURNING CLEAR SPACE AT LEAST 60 INCHES IN DIAMETER TO ALLOW FOR THE TURNING OF A WHEELCHAIR. **2016 CBC 1124A.3.2**
 2. THE CLEAR DISTANCE BETWEEN CAR SIDE WALLS SHALL BE 54 INCHES MINIMUM. THE CLEAR DISTANCE BETWEEN THE BACK WALL AND THE RETURN PANEL SHALL BE 80 INCHES MINIMUM. THE CLEAR DISTANCE BETWEEN THE BACK WALL AND THE INSIDE FACE OF THE DOOR SHALL BE 80 INCHES MINIMUM. **2016 CBC 1124A.3.2**
7. ELEVATOR CONTROL PANEL:
 - A. ELEVATOR FLOOR BUTTONS SHALL BE LOCATED WITHIN ONE OF THE REACH RANGES SPECIFIED IN **2016 CBC 1143A.3**.
 - B. PASSENGER ELEVATOR CAR CONTROLS SHALL HAVE A MINIMUM DIMENSION OF 3/4 INCH AND SHALL BE RAISED 1/8 INCH PLUS OR MINUS 1/32 INCH (0.8 MM) ABOVE THE SURROUNDING SURFACE. **2016 CBC 1124A.3.3**
 - C. CONTROL BUTTONS SHALL BE ILLUMINATED, SHALL HAVE SQUARE SHOULDERS AND SHALL BE ACTIVATED BY A MECHANICAL MOTION THAT IS DETECTABLE. **2016 CBC 1124A.3.3**
 - D. ALL CONTROL BUTTONS SHALL BE DESIGNATED BY A 5/8-INCH-MINIMUM RAISED CHARACTERS AND STANDARD RAISED SYMBOLS THAT COMPLY WITH SECTIONS 1143A.6 AND 1143A.7
 - E. GRADE 2 BRAILLE THAT CONFORMS TO SECTION 1143A.7 SHALL BE LOCATED IMMEDIATELY BELOW THE NUMERAL, CHARACTER OR SYMBOL.
 - F. A MINIMUM CLEAR SPACE OF 3/8 INCH OR OTHER SUITABLE MEANS OF SEPARATION SHALL BE PROVIDED BETWEEN ROWS OF CONTROL BUTTONS.
 - G. THE RAISED CHARACTERS AND SYMBOLS SHALL BE WHITE ON A BLACK BACKGROUND. CONTROLS AND EMERGENCY EQUIPMENT IDENTIFIED BY RAISED SYMBOLS SHALL INCLUDE, BUT NOT BE LIMITED TO, "DOOR OPEN," "DOOR CLOSE," "ALARM BELL," "EMERGENCY STOP" AND "TELEPHONE." THE CALL BUTTON FOR THE MAIN ENTRY FLOOR SHALL BE DESIGNATED BY A RAISED STAR AT THE LEFT OF THE FLOOR DESIGNATION.
 - H. THE MINIMUM ILLUMINATION AT THE CAR CONTROLS THRESHOLD AND THE LANDING WHEN THE CAR AND LANDING DOORS ARE OPEN SHALL NOT BE LESS THAN 5 FOOT-CANDELS. **2016 CBC 1124A.5**
8. ELEVATOR CONTROL AND DEVICES: REFER TO DETAILS 6, 7 & 8 ON THIS SHEET.
 - A. CALL OPERATION BUTTONS AND KEYPADS SHALL BE LOCATED WITHIN 48-INCHES MAXIMUM AND 15-INCHES MINIMUM, MEASURED FROM ABOVE THE FINISHED FLOOR TO THE CENTERLINE OF THE HIGHEST OPERABLE PART. **2016 CBC 1124A.4**
 - B. BUTTONS SHALL HAVE SQUARE SHOULDERS, SHALL BE A MINIMUM OF 3/4 INCH IN SIZE, AND SHALL BE RAISED 1/8 INCH PLUS OR MINUS 1/32 INCH ABOVE THE SURROUNDING SURFACE. THE BUTTON DESIGNATING THE "UP" DIRECTION SHALL BE ON TOP, A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH 2016 CBC SECTION 1138A.1.4 SHALL BE PROVIDED AT CALL CONTROLS. **2016 CBC 1124A.4**
 - C. VISUAL INDICATION SHALL BE PROVIDED TO SHOW EACH CALL REGISTERED AND EXTINGUISHED WHEN ANSWERED. OBJECTS ADJACENT TO, AND BELOW, HALL CALL BUTTONS SHALL NOT PROJECT MORE THAN 4 INCHES FROM THE WALL. **2016 CBC 1124A.4**
 - D. HALL CALL BUTTONS SHALL BE INTERNALLY ILLUMINATED WITH A WHITE LIGHT OVER THE ENTIRE SURFACE OF THE BUTTON. **2016 CBC 1124A.4**
 - E. A VISUAL AND AUDIBLE SIGNAL SHALL BE PROVIDED AT EACH HOISTWAY ENTRANCE INDICATING TO THE PROSPECTIVE PASSENGER THE CAR ANSWERING THE CALL AND ITS DIRECTION OF TRAVEL.
 - F. THE VISUAL SIGNAL FOR EACH DIRECTION SHALL BE A MINIMUM OF 21/2 INCHES HIGH BY 21/2 INCHES WIDE, AND VISIBLE FROM THE PROXIMITY OF THE HALL CALL BUTTON. **2016 CBC 1124A.6**
 - G. THE AUDIBLE SIGNAL SHALL SOUND ONCE FOR THE "UP" DIRECTION AND TWICE FOR THE "DOWN" DIRECTION OR EQUIVALENT. **2016 CBC 1124A.6**
 - H. AUDIBLE SIGNALS SHALL HAVE A FREQUENCY OF 1500 HZ MAXIMUM. VERBAL ANNUNCIATORS SHALL HAVE A FREQUENCY OF 300 HZ MINIMUM AND 3000 HZ MAXIMUM. THE AUDIBLE SIGNAL AND VERBAL ANNUNCIATOR SHALL BE 10 DB MINIMUM ABOVE AMBIENT, BUT SHALL NOT EXCEED 80 DB, MEASURED AT THE HALL CALL BUTTON. **2016 CBC 1124A.6**
 - I. THE CENTER LINE OF THE FIXTURE SHALL BE LOCATED A MINIMUM OF 6 FEET IN HEIGHT ABOVE THE FINISH FLOOR. **2016 CBC 1124A.6**
9. ELEVATOR DOOR:
 - A. THE MINIMUM ACCEPTABLE TIME FROM NOTIFICATION THAT A CAR IS ANSWERING A CALL (LANTERN AND AUDIBLE SIGNAL) UNTIL THE DOORS OF THE CAR START TO CLOSE SHALL BE CALCULATED IN ACCORDANCE WITH **2016 CBC 1124A.7.1**
 - B. THE MINIMUM ACCEPTABLE TIME FOR THE DOOR TO REMAIN FULLY OPEN AFTER RECEIVING A CALL SHALL NOT BE LESS THAN 5 SECONDS. **2016 CBC 1124A.7.2**
 - C. THE FLOOR LEVEL AT ALL ELEVATOR HOISTWAY ENTRANCES SHALL BE DESIGNATED BY RAISED CHARACTERS PROVIDED ON BOTH JAMBS. CHARACTERS SHALL BE 2 INCHES IN HEIGHT LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS, AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. **2016 CBC 1124A.8**
 - D. DOORS CLOSED BY AUTOMATIC MEANS SHALL BE PROVIDED WITH A DOOR REOPENING DEVICE THAT WILL FUNCTION TO STOP AND REOPEN A CAR DOOR AND ADJACENT HOISTWAY DOOR IN CASE THE CAR DOOR IS OBSTRUCTED WHILE CLOSING. THIS REOPENING DEVICE SHALL ALSO BE CAPABLE OF SENSING AN OBJECT OR PERSON IN THE PATH OF A CLOSING DOOR WITHOUT REQUIRING CONTACT FOR ACTIVATION AT A NOMINAL 5 INCHES AND 29 INCHES ABOVE THE FLOOR. **2016 CBC 1124A.7.9**
 - I. DOOR-REOPENING DEVICES SHALL REMAIN EFFECTIVE FOR A PERIOD OF NOT LESS THAN 20 SECONDS, AFTER SUCH AN INTERVAL, THE DOORS MAY CLOSE IN ACCORDANCE WITH THE REQUIREMENTS OF ASME A17.1. **2016 CBC 1124A.7.9**
10. NO AREA OF REFUGE NEEDED BECAUSE THE ENTIRE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT AS PER **CBC 2016 SECTION 1009.4 EXCEPT ION 1**. STANDBY POWER SHALL BE PROVIDED BY A BY A 2 HR EMERGENCY BACKUP BATTERY FOR THE ELEVATOR IN CASE OF AN EMERGENCY AS PER **CBC 2016 SECTION 1009.4**.



ELEVATOR HALL CONTROL BOARD

SCALE: N.T.S.

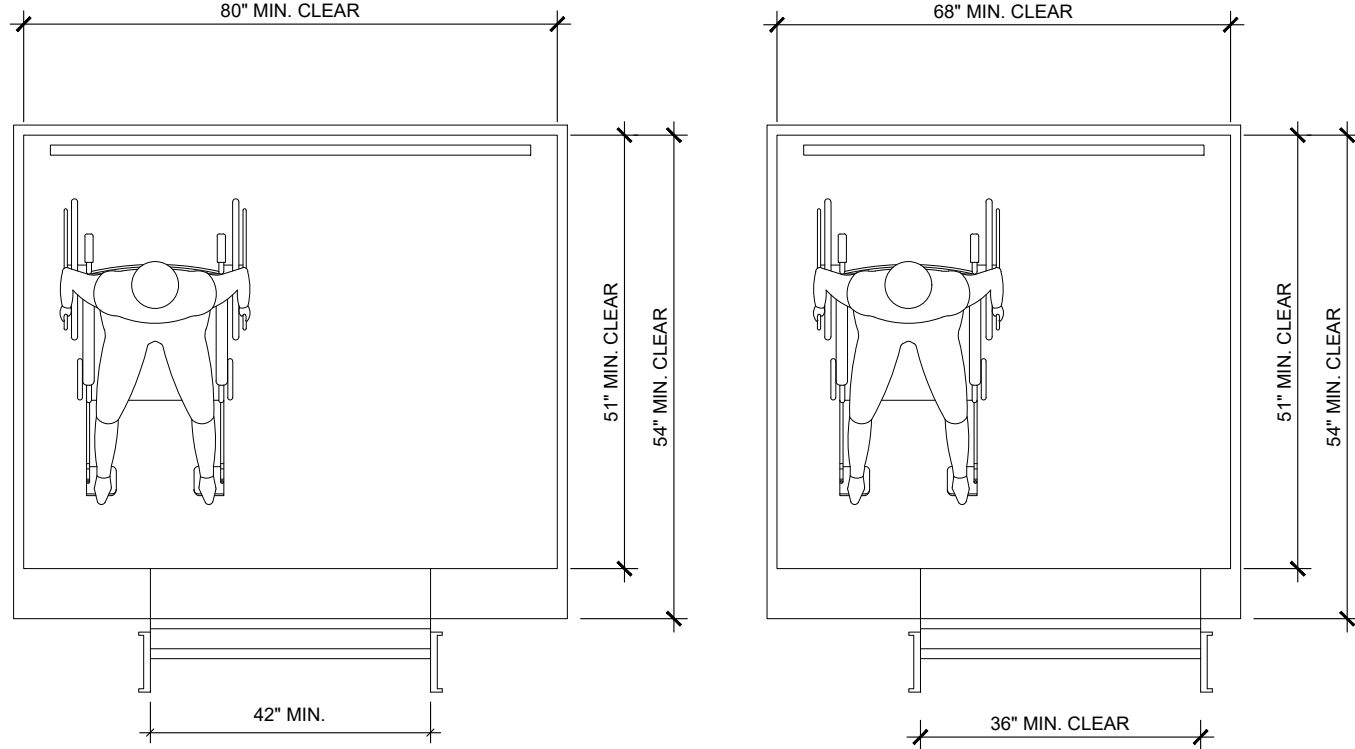
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TYP. ELEVATION DETAILS - INTERIOR

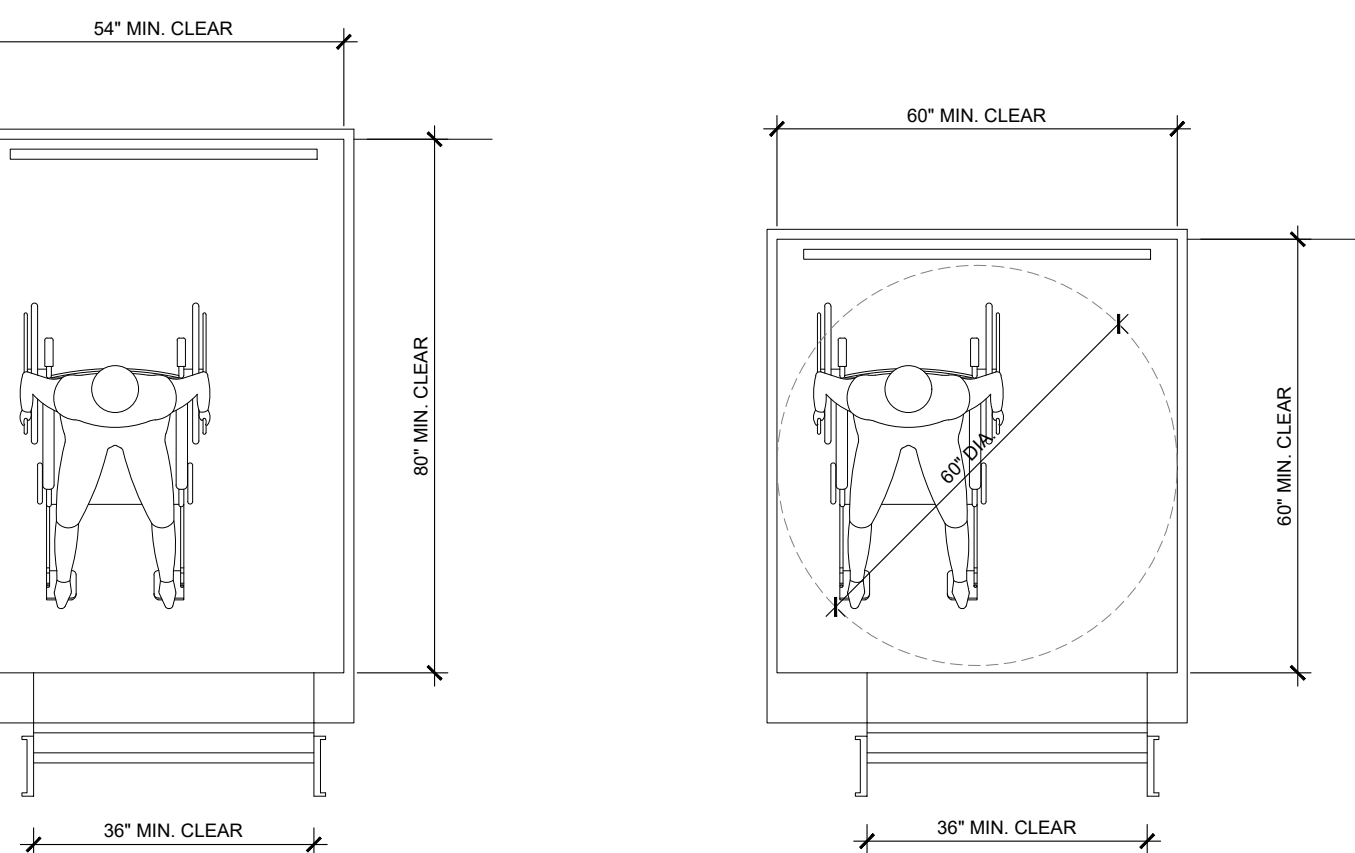
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4



CENTER OPENING DOOR

SIDE OPENING DOOR



DOOR AT ANY LOCATION A

DOOR AT ANY LOCATION B

NOTE:
ELEVATOR CAB TO MEET STRETCHER
REQUIREMENTS PER C.B.C. SECTION 3002.4

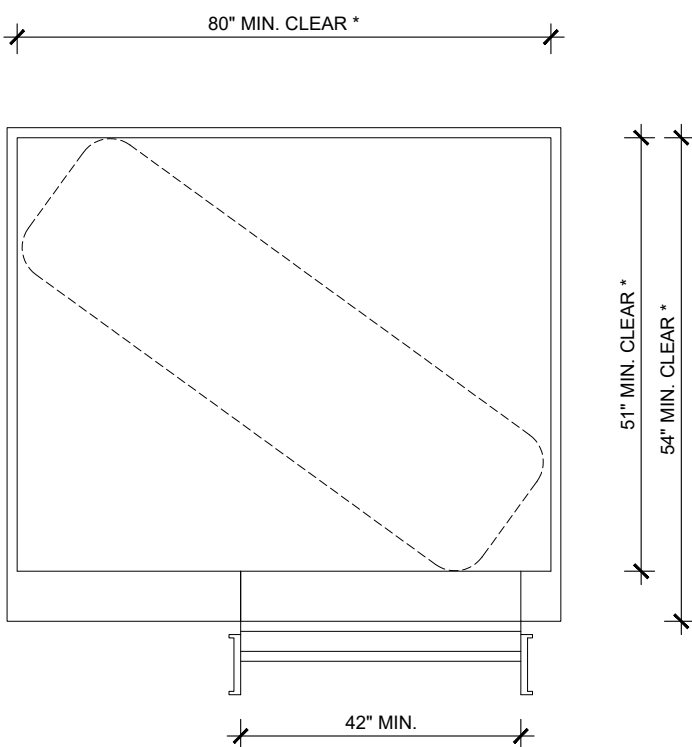
ELEVATOR CAR SHALL ACCOMMODATE AN
AMBULANCE STRETCHER 24" X 84" WITH NOT
LESS THAN 6" RADIUS CORNERS, IN THE
HORIZONTAL, OPEN POSITION AND SHALL BE
IDENTIFIED BY THE INTERNATIONAL SYMBOL
FOR EMERGENCY SERVICES (STAR OF LIFE)

*NOTE:
PER EXCEPTION ALLOWED IN CBC SECTION
3002.4.3A, LETTER AND DIAGRAM ON SHEET
A-7.11 DEMONSTRATES GURNY
COMPLIANCE OF THE OTIS GEN 2 GEARLESS
ELEVATOR USED IN THIS PROJECT.

ELEVATOR CAB ACCESSIBILITY

SCALE: N.T.S.

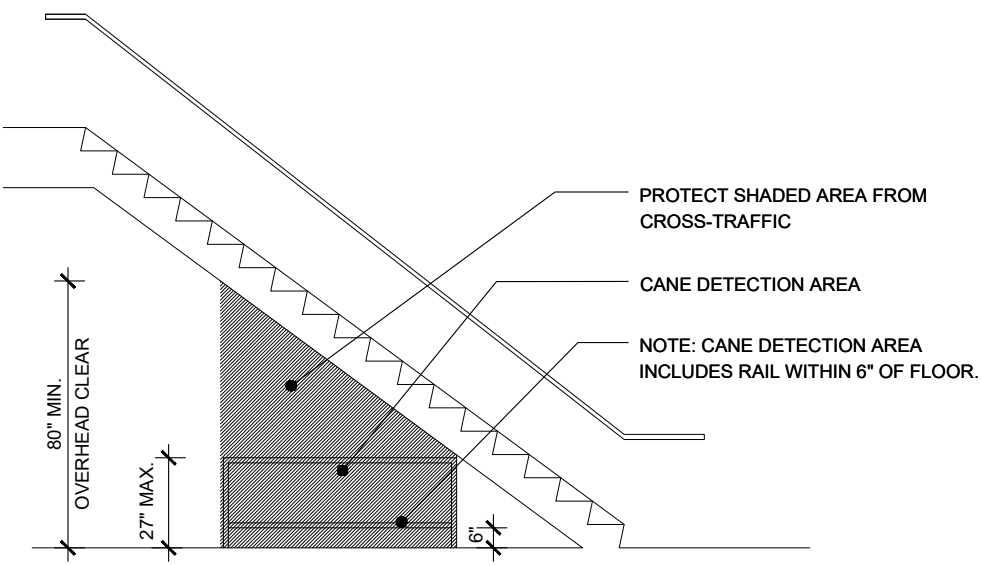
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GURNY SIZE ELEVATOR

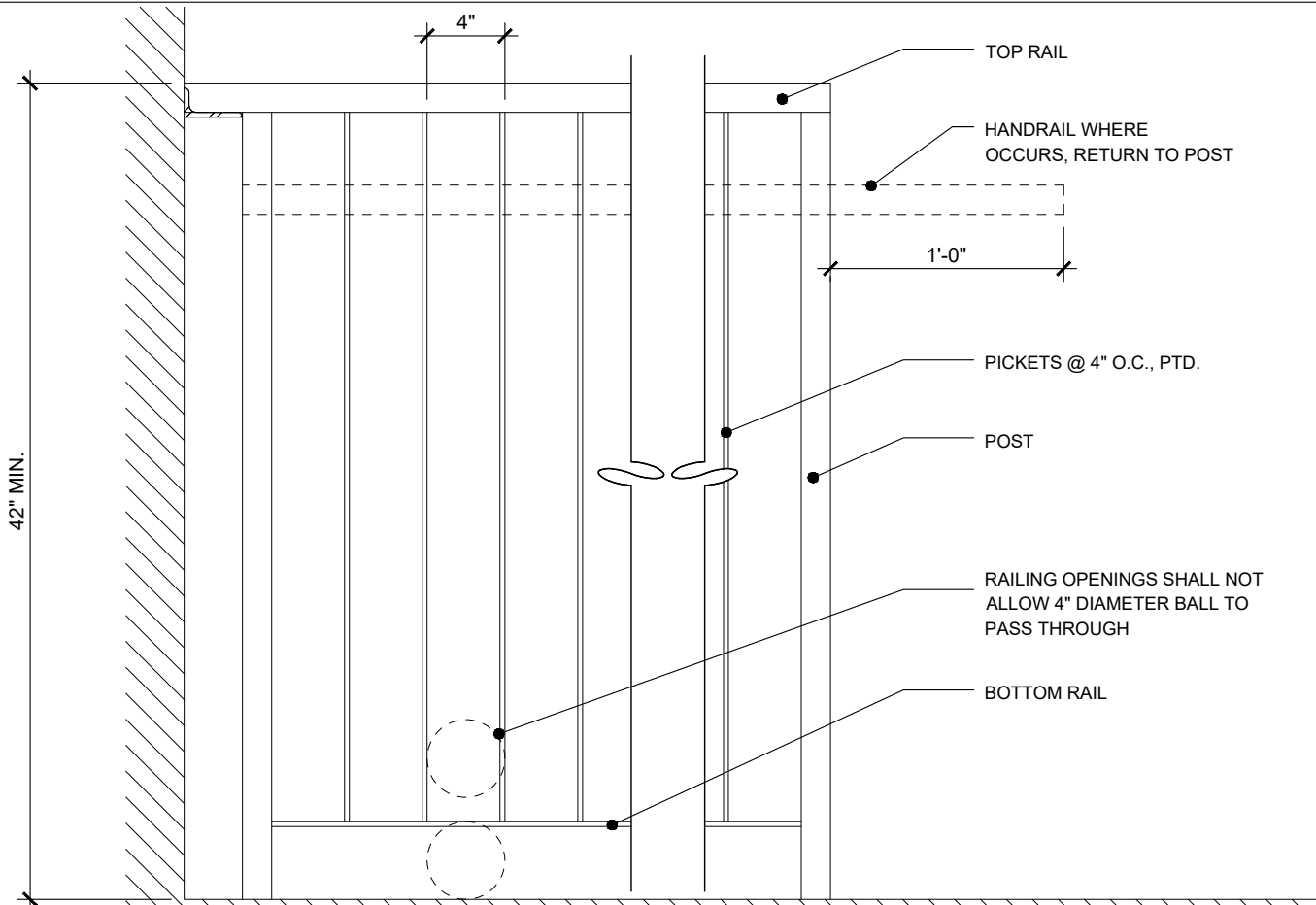
GENERAL NOTES

1



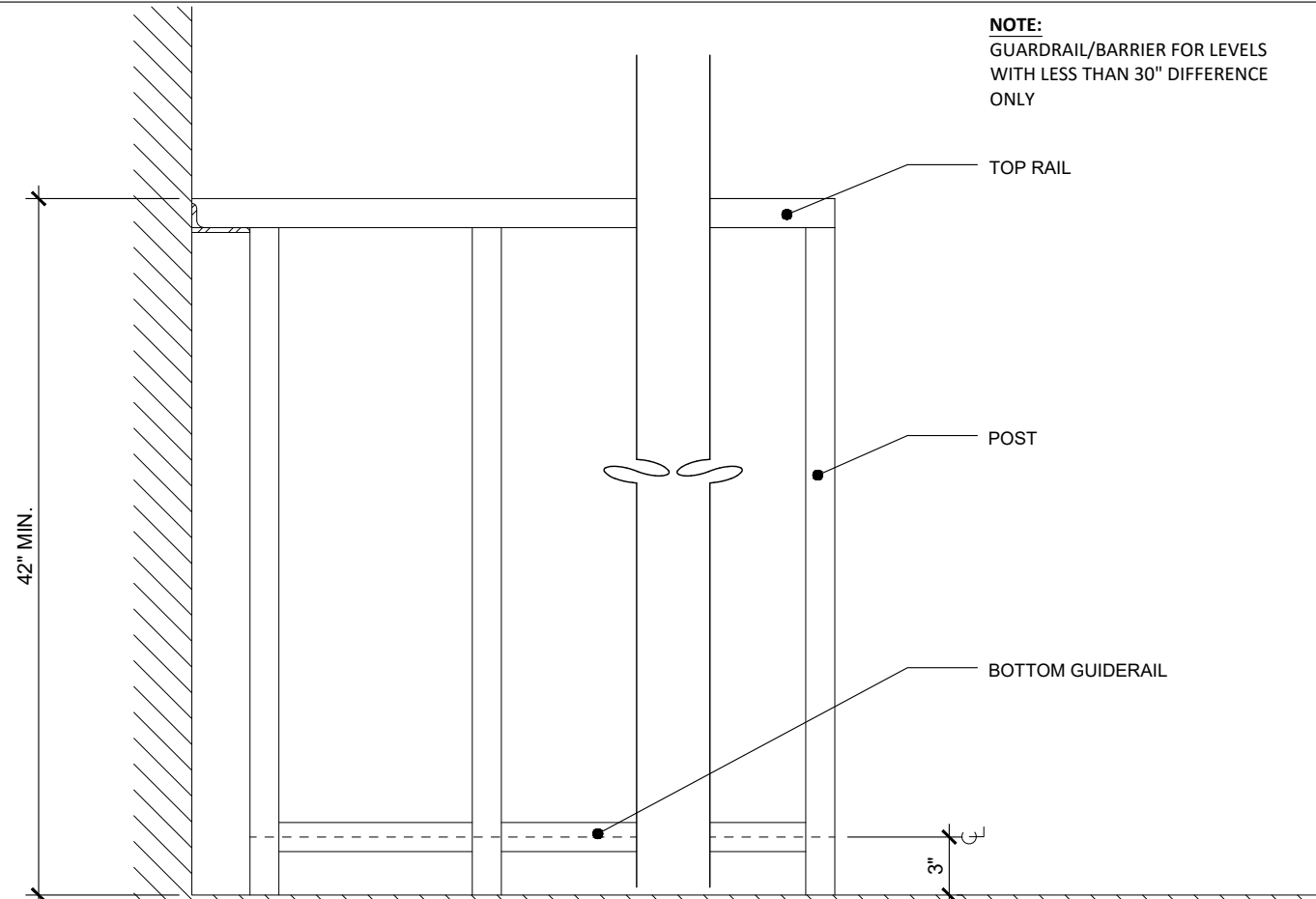
CANE DETECTION AT STAIRS
SCALE: N.T.S.

7



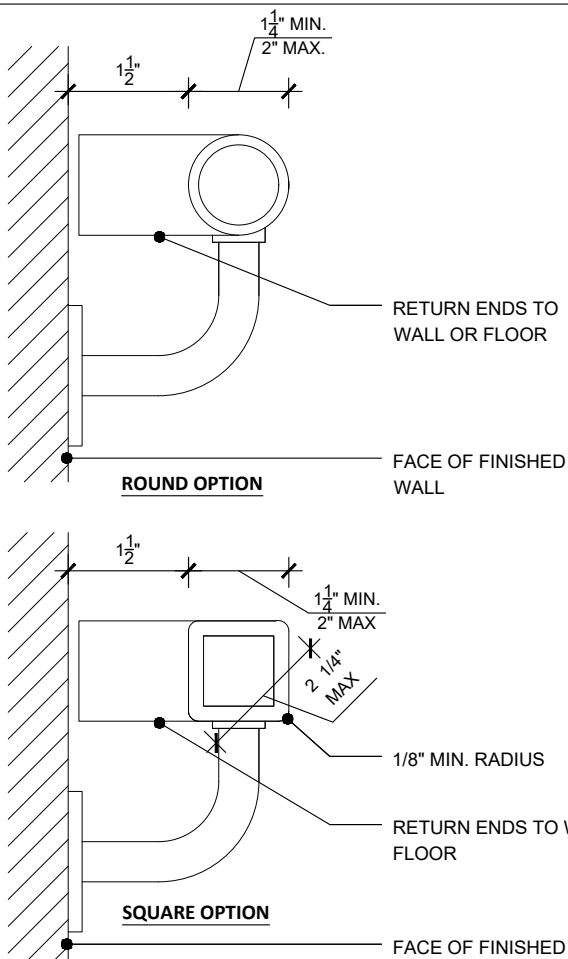
GUARD
SCALE: N.T.S.

6



GUARD/BARRIER
SCALE: N.T.S.

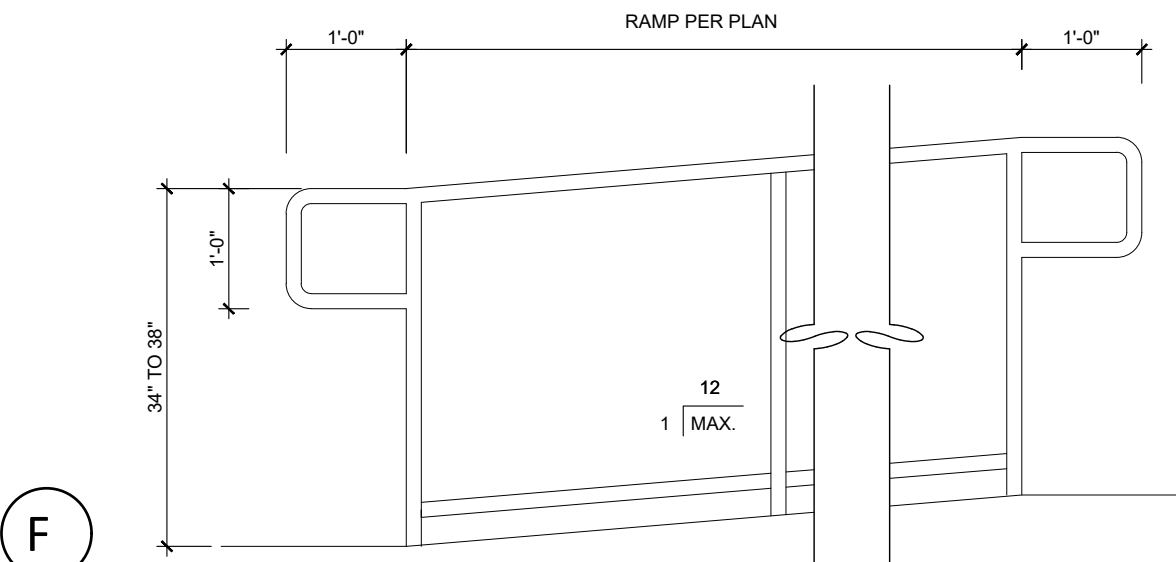
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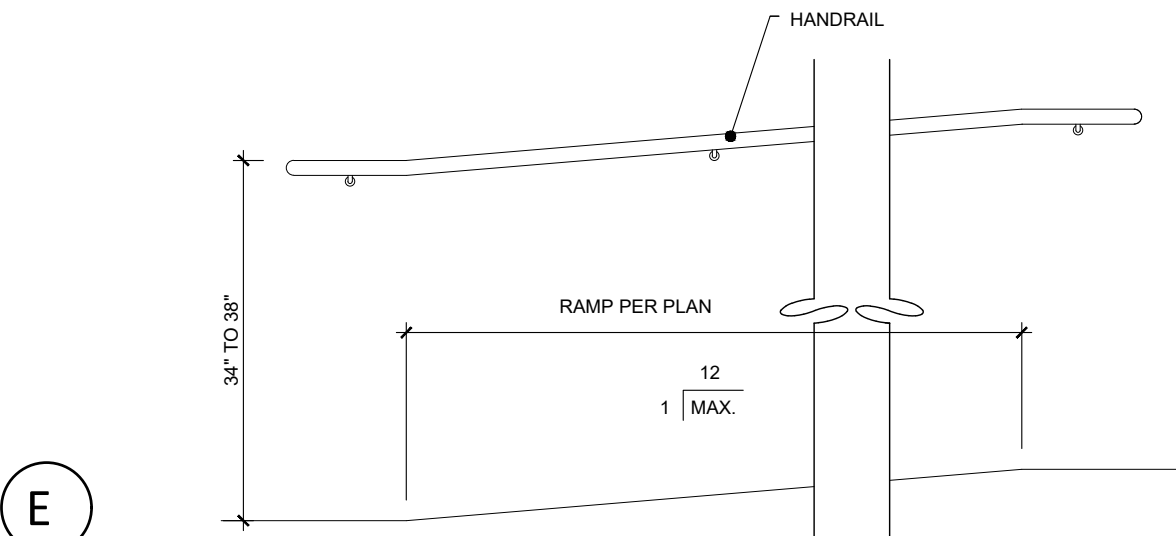
ACCESSIBLE HANDRAIL
SCALE: N.T.S.

4

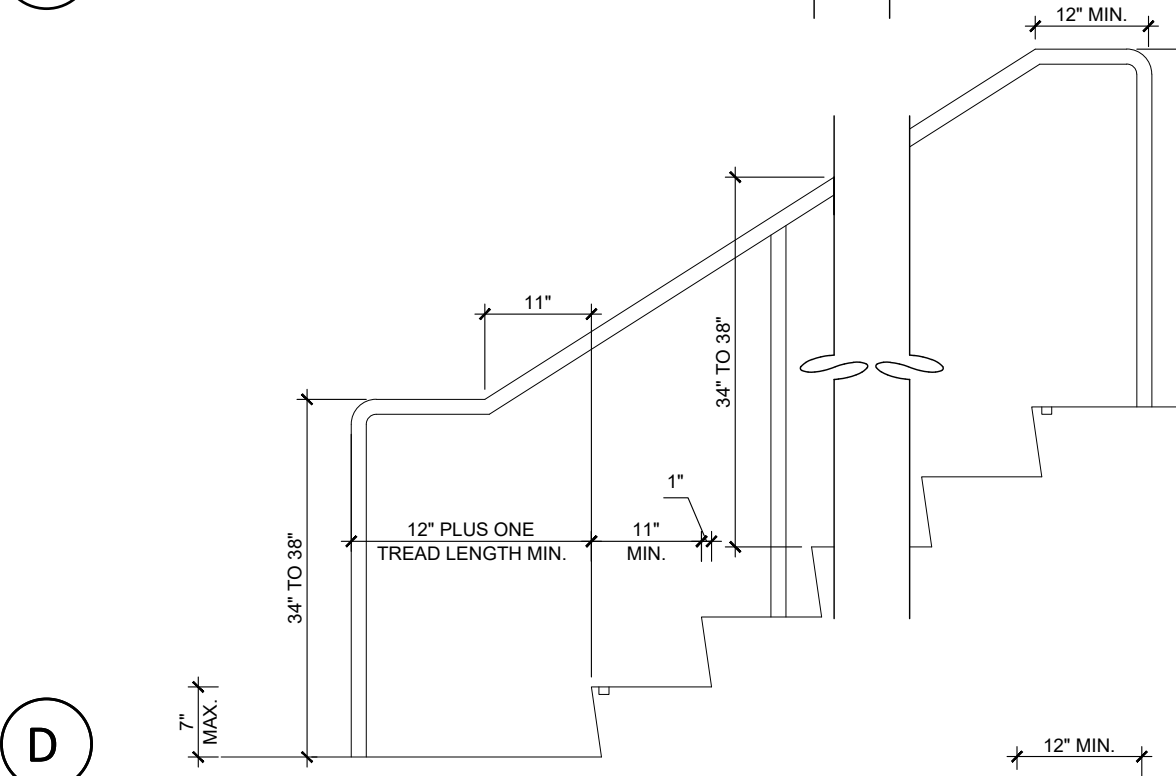
- NOTES:**
- HANDRAILS HAVE A SMOOTH SURFACE, NO SHARP EDGES OR CORNERS.
 - HANDRAILS DO NOT ROTATE WITHIN THEIR FITTINGS.
 - WALL OR SURFACE ADJACENT TO HANDRAILS ARE FREE OF SHARP OR ABRASIVE ELEMENTS.
 - RECESS AREAS THAT CONTAIN HANDRAILS ARE A MAXIMUM OF 3" DEEP AND EXTEND AT LEAST 18" ABOVE THE TOP OF RAIL.
 - THE INSIDE RAIL ON A SWITCHBACK OR DOGLEG STAIRS IS CONTINUOUS.



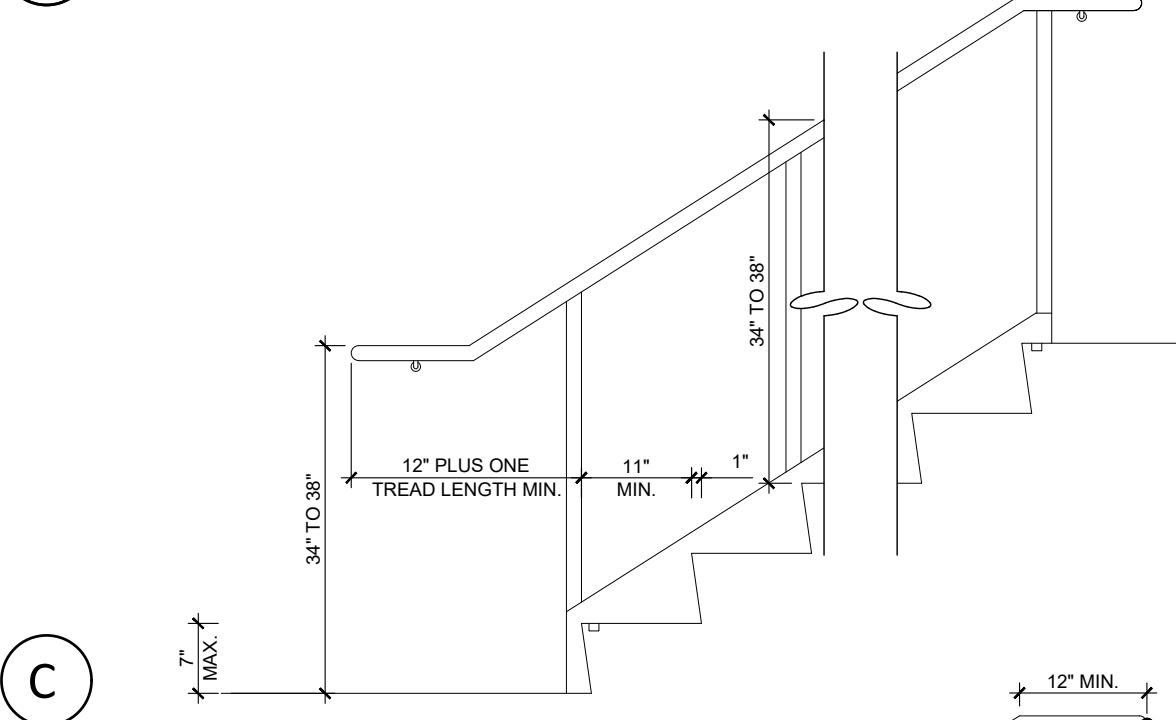
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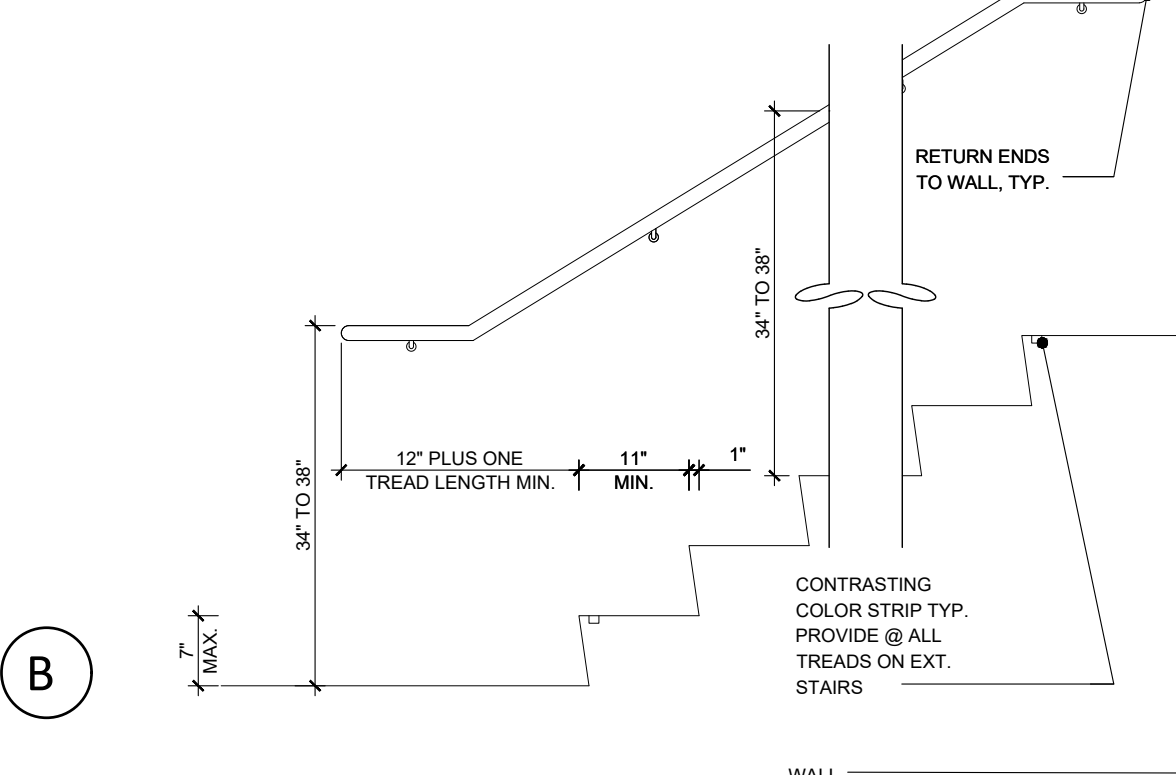
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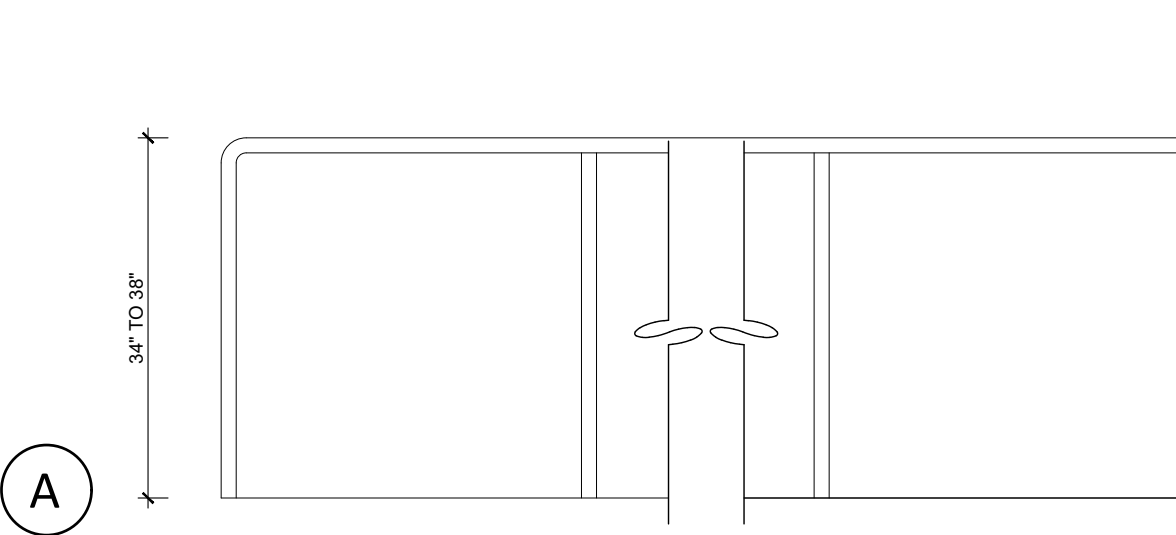
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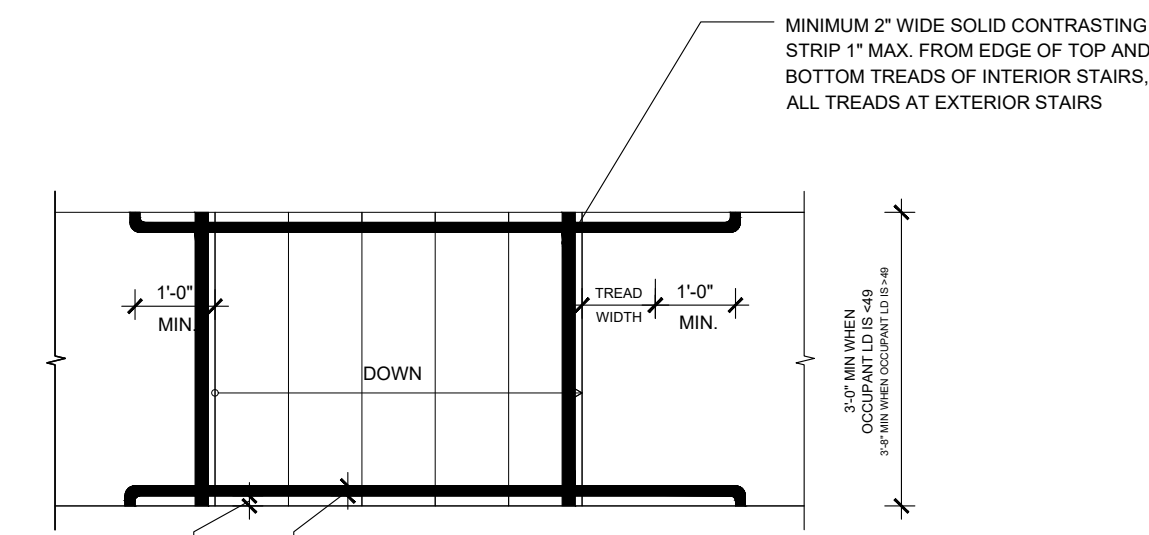
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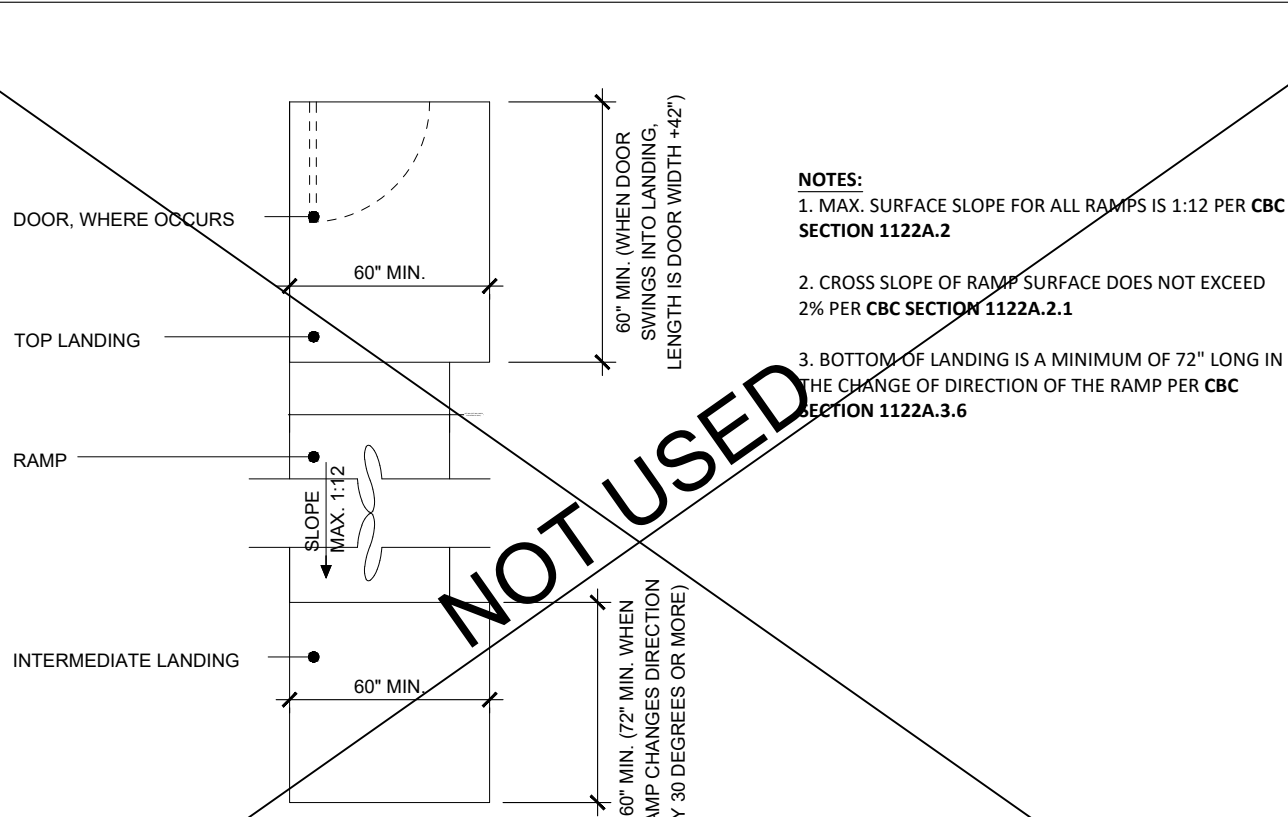
HANDRAIL CONFIGURATION
SCALE: N.T.S.

3



ACCESSIBLE STAIR PLAN
SCALE: N.T.S.

2



ACCESSIBLE RAMP PLAN
SCALE: N.T.S.

1

STAIR ACCESSIBILITY NOTES

- MINIMUM HEADROOM CLEARANCE AT STAIRS AND RAMPS SHALL BE 80" MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE TREAD NOSING TO THE SOFFIT, CEILING OR OTHER PERMANENT FEATURE AT ALL POINTS IN THE STAIR OR RAMP. SEE 2018 CBC SECTION 1011.3
- RAMPS: REFER TO DETAIL 1. SEE 2018 CBC SECTION 1122A.
 - ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1 FOOT OF RISE IN 20 FEET OF HORIZONTAL RUN (5%). THE RAMP SLOPE SHALL NOT EXCEED 8.33%.
 - THE GROSS SLOPE ON A RAMP OR THE SLOPE ACROSS A RAMP LANDING IN ANY DIRECTION SHALL BE NO GREATER THAN 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (IS 3.33 PERCENT SLOPE).
 - CONTINUOUS, FULL-LENGTH HANDRAILS ARE REQUIRED AT EACH SIDE IF THE SLOPE EXCEEDS 1:20. THE HANDRAILS ARE TO EXTEND IN THE DIRECTION OF THE RAMP NOT LESS THAN 12" BEYOND THE TOP AND BOTTOM OF THE RAMP.
 - HANDRAILS PROJECTING FROM THE WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL, AND THE HANDRAILS MUST ALSO BE 34 TO 38 INCHES ABOVE THE RAMP SURFACE. REQUIREMENTS FOR RAMP HANDRAILS ARE THE SAME AS STAIRWAY HANDRAILS.
 - THE GRIP PORTION OF THE HANDRAIL SHALL BE NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN GROSS SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE AND ALL SURFACES SHALL BE SMOOTH WITH NO SHARP CORNERS.
 - THE SURFACE OF RAMPS SHALL BE SLIP RESISTANT. OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE CONSTRUCTED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES.
 - TOP LANDINGS SHALL BE NOT LESS THAN 60" WIDE AND SHALL HAVE A LENGTH OF NOT LESS THAN 60" IN THE DIRECTION OF THE RAMP RUN.
 - INTERMEDIATE LANDINGS SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING 30' OF VERTICAL RISE AND AT EACH CHANGE OF DIRECTION. INTERMEDIATE LANDINGS ARE TO BE AT LEAST 60" IN THE DIRECTION OF THE RAMP.
 - BOTTOM AND INTERMEDIATE LANDINGS AT A CHANGE OF DIRECTION OVER 30 DEGREES MUST BE AT LEAST 72" IN THE DIRECTION OF THE RAMP TO ACCOMMODATE HANDRAIL EXTENSIONS.
 - DOORS IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE RAMP LANDING TO LESS THAN 42" AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 3" WHEN FULLY OPEN.
 - THE WIDTH OF THE LANDING SHALL EXTEND 24" PAST THE STRIKE EDGE OF ANY DOOR OR GATE FOR EXTERIOR RAMPS AND 18" PAST THE STRIKE EDGE FOR ANY INTERIOR RAMPS.
 - AT BOTTOM AND INTERMEDIATE LANDINGS, THE WIDTH SHALL BE NOT LESS THAN THE WIDTH OF THE RAMP.
- STAIRWAYS: REFER TO DETAIL 2. SEE 2018 CBC SECTION 1123A.
 - STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE. A STAIRWAY MORE THAN 60" WIDE MUST HAVE AT LEAST ONE INTERMEDIATE RAIL FOR EACH 60" OF REQUIRED WIDTH. INTERMEDIATE HANDRAILS SHALL BE SPACED AT EQUAL INTERVALS WITHIN THE WIDTH OF THE STAIRWAY AND BE CONTINUOUS FOR THE ENTIRE LENGTH.
 - HANDRAILS MUST BE 34 TO 38 INCHES ABOVE THE NOSING OF THE TREADS AND MUST EXTEND IN THE DIRECTION OF THE STAIR RUN FOR AT LEAST 12" BEYOND THE TOP NOSING AND 12" PLUS THE TREAD WIDTH BEYOND THE BOTTOM NOSING.
 - WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF THE STAIR RUN WOULD CREATE A HAZARD, THE EXTENSION SHALL BE MADE AT RIGHT ANGLES TO THE FACE OF A RETURNING WALL, WHERE THE STAIRS ARE CONTINUOUS FROM LANDING TO LANDING. THE INNER RAIL SHALL BE CONTINUOUS AND NEED NOT EXTEND OUT ONTO THE LANDING.
 - ENDS SHALL BE RETURNED OR SHALL TERMINATE IN A NEWEL POST OR SAFETY TERMINAL.
 - HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF 1-1/2 INCH BETWEEN THE WALL AND THE HANDRAIL.
 - THE HAND GRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE AND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP OR ABRASIVE CORNERS AND ALL EDGES MUST HAVE A MINIMUM 1/8" RADIUS.
 - THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE.
 - WHERE STAIRWAYS OCCUR OUTSIDE A BUILDING, THE UPPER APPROACH AND ALL TREADS SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE AND PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE.
 - ALL TREAD SURFACES SHALL BE SLIP RESISTANT.
 - TREADS SHALL HAVE A SMOOTH, ROUNDED OR CHAMFERED EXPOSED EDGES, AND NO ABRUPT EDGES AT THE NOSING (LOWER FRONT EDGE).
 - NOSING SHALL NOT PROJECT MORE THAN 1-1/4 INCH PAST THE FACE OF THE RISER BELOW.
 - STAIR RISERS SHALL BE SUFFICIENTLY SOLID. OPEN RISERS ARE NOT PERMITTED.
- RAILING DESIGN: REFER TO DETAIL 5 & 6.
 - GUARDRAIL SHALL BE 42" MIN. HIGH WITH RAILS AND INTERMEDIATES SPACED AT 4" MAX. CLEAR.
 - GUARDRAILS SHALL BE DESIGNED FOR A LOAD OF 50 PSF, APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. OTHER COMPONENTS OF THE GUARDRAIL SHALL BE DESIGNED FOR A LOAD OF 25 PSF, APPLIED HORIZONTALLY AT A RIGHT ANGLES OVER THE ENTIRE TRIBUTARY AREA, INCLUDING OPENINGS AND SPACES BETWEEN RAILS.
 - HANDRAILS SHALL BE DESIGNED FOR A LOAD OF 200 PSF, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE RAIL.

PROJECT NAME

CALIFORNIA DRIVE
LIVE-WORK

619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT

Edward Duffy

For Ownership LLC (TBD)

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Burlingame, CA 94010

NOT FOR CONSTRUCTION

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MacLeod and Associates
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LANDSCAPE ARCHITECT

PGAdesign, Inc
510-465-1284

SURVEYOR

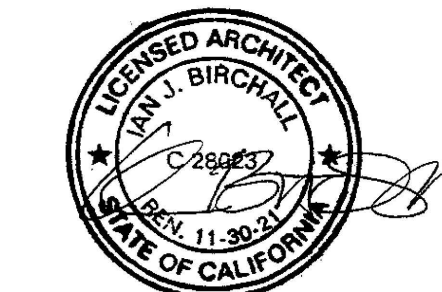
Frederick T. Seiner & Associates, Inc.
415-921-7690

GEOTECH ENGINEER

Romig Engineers Inc
650-591-5224

3	01 / 25 / 2021	POST DESIGN REVIEW REVISIONS
2	11 / 02 / 2020	DESIGN REVIEW STUDY SESSION
1	10 / 07 / 2020	INITIAL DESIGN REVIEW #1-RESPONSE
0	08 / 28 / 2020	RECOLOGY COORD.
0	07 / 20 / 2020	CITY SUBMISSION SET

REV DATE ISSUE



SHEET DESCRIPTION

STAIRS/ RAMPS
ACCESSIBILITY NOTES
& DETAILS

DATE 1/25/2021

SCALE As indicated

DRAWN BY VP/ SS

CHECKED BY IB

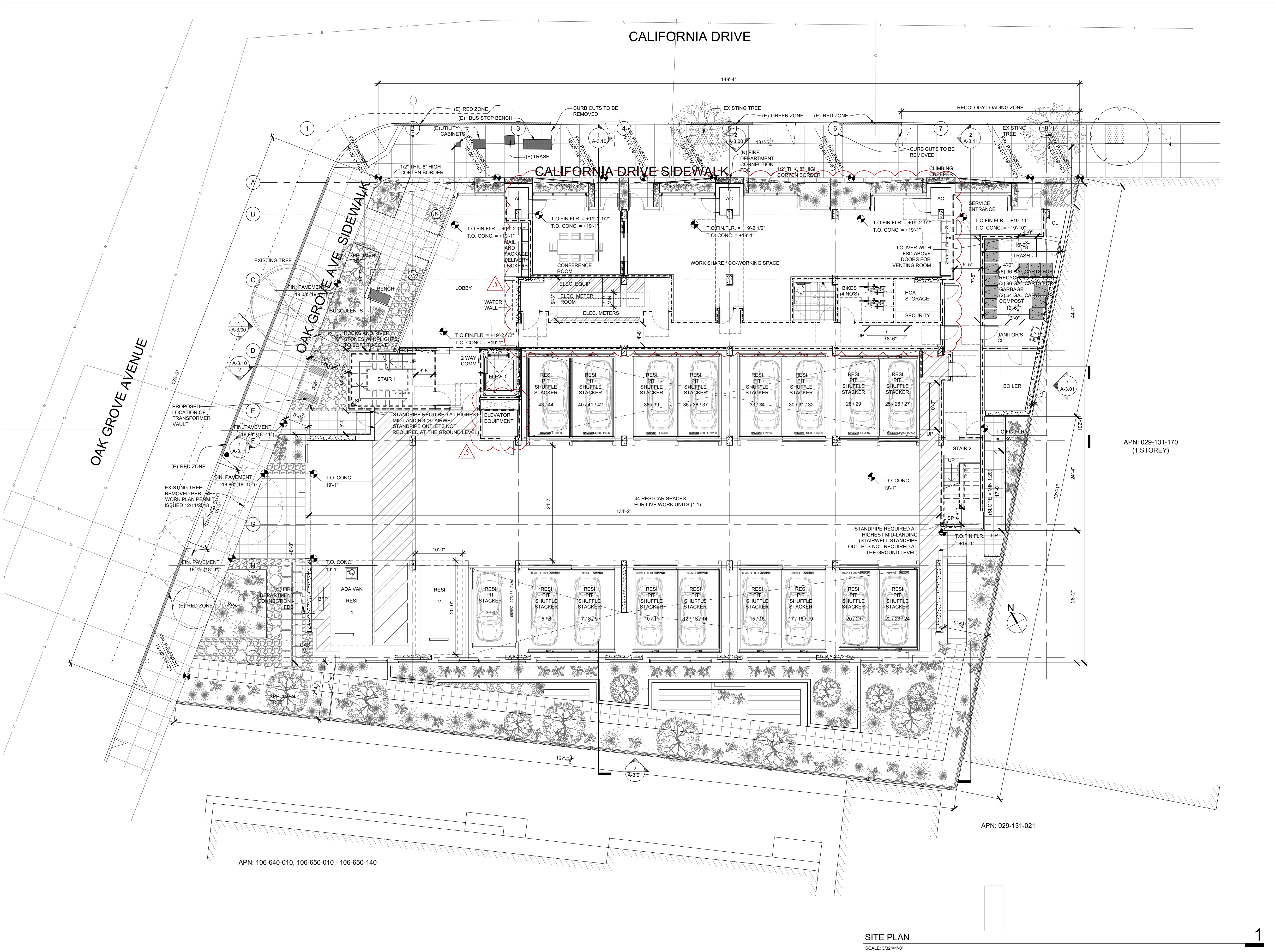
JOB NO. 2006

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SHEET NO.

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EXISTING CONDITIONS NOTES

- EXISTING COMMERCIAL BUILDING
AT 621 CALIFORNIA DRIVE : 5,956 SF
 - EXISTING RESIDENTIAL BUILDINGS
AT 625 CALIFORNIA DRIVE: 2 DWELLING UNITS.
- 625 CALIFORNIA DRIVE = 1,456 SF (CORNER HOUSE)
153 SF (DETACHED GARAGE NO LONGER EXISTS)
- 1201 OAK GROVE AVENUE = 861SF (HOUSE FACING OAK GROVE AVENUE)



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tel: (415) 512-9660
fax: (415) 512-9663
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PROJECT NAME
**CALIFORNIA DRIVE
LIVE-WORK**

619-625 California Drive,
Burlingame, CA 94010
APN: 029- 131- 140
029- 131- 150
029- 131- 160

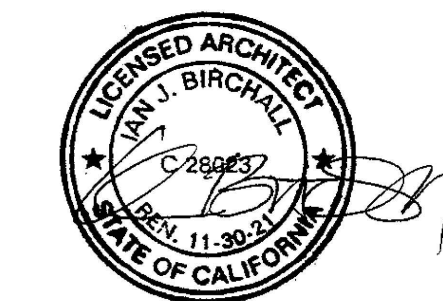
CLIENT
Edward Duffy
For Ownership LLC (TBD)
625 California Drive,
Burlingame, CA 94010

NOT FOR CONSTRUCTION

PROJECT TEAM
ARCHITECT
Ian Birchall + Associates
415-512-9660
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SURVEYOR
Frederick T. Seher & Associates, Inc.
415-921-7690
GEOTECH ENGINEER
Rorrig Engineers Inc
650-591-5224

3	01 / 25 / 2021	POST DESIGN REVIEW REVISIONS
2	11 / 02 / 2020	DESIGN REVIEW STUDY SESSION
1	10 / 07 / 2020	INITIAL DESIGN REVIEW #1-RESPONSE
0	08 / 28 / 2020	RECOLOGY COORD.
0	07 / 20 / 2020	CITY SUBMISSION SET

REV DATE ISSUE



SHEET DESCRIPTION
SITE PLAN

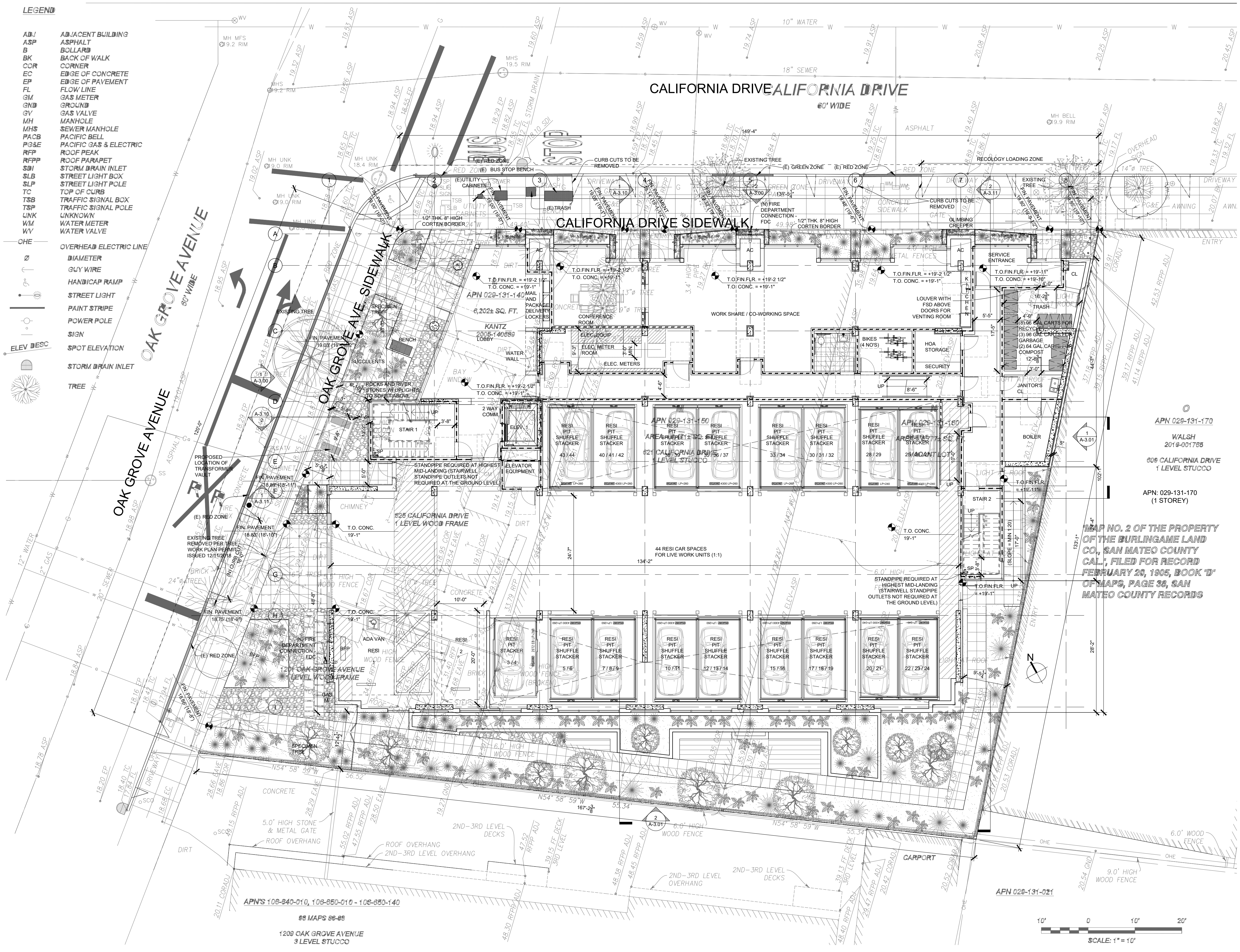
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SCALE	3/32" = 1'-0"
DRAWN BY	VP/ SS
CHECKED BY	IB
JOB NO.	2006

A-1.00

SHEET NO.

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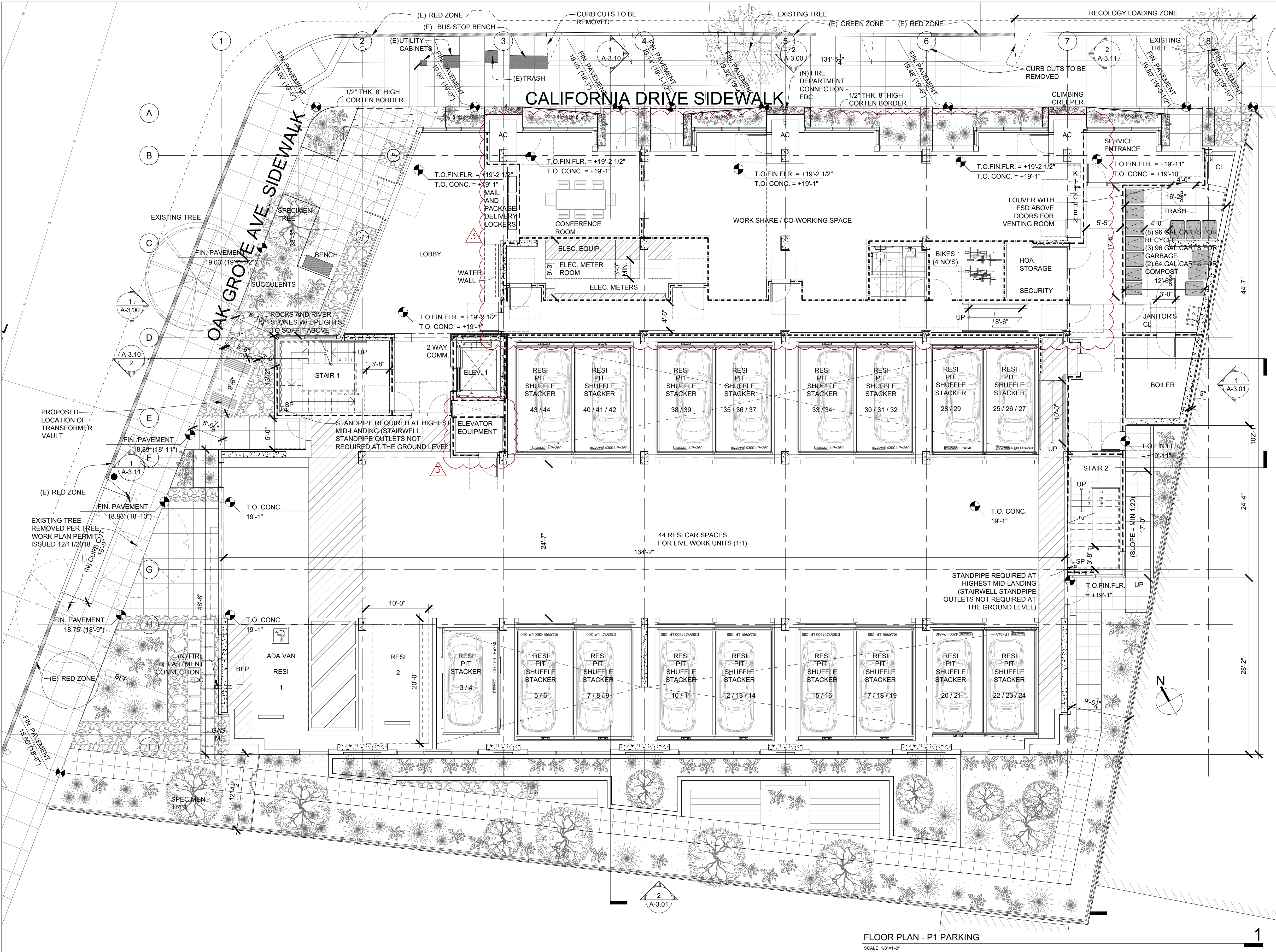
SHEET DESCRIPTION
**EXISTING SURVEY
+
PROPOSED SITE PLAN
OVERLAY**

DATE	1/25/2021
SCALE	3/32" = 1'-0"
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CHECKED BY	IB
JOB NO.	2006

A-1.01

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FLOOR PLAN LEGEND

- CONCRETE WALL, SSD - 3 HOUR RATED U.O.N.
- NON-RATED STUD WALL PER THE SCHEDULE
- 1 HOUR RATED FIRE PARTITION / FIRE BARRIER
- 2 HOUR RATED FIRE BARRIER / FIRE WALL
- 90-MINUTE FIRE RATED WINDOW SYSTEM WITH WS SPRINKLER SYSTEM (#)

FLOOR PLAN NOTES

- SEE ARCHITECTURAL SHEETS A-0.05 THRU A-0.09 FOR ACCESSIBILITY COMPLIANCE NOTES AND DETAILS.
- ALL PARTY WALLS ARE SEPARATED BY A 1" AIRSPACE; U.O.N.
- FOR GRAB BAR BACKING, ACCESSIBILITY DIMENSIONS AND CLEARANCES AT TOILET ROOMS, POWDER ROOMS, AND BATHROOMS, SEE SHEETS A-0.06, A-0.07.
- ALL EXTERIOR STUD WALLS SHALL RECEIVE R-21 MIN THERMAL BATT INSULATION CONTINUOUS FROM FLOOR SLAB/DECK TO UNDERSIDE OF FLOOR SLAB/FLOOR DECK OR ROOF ABOVE.
- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. 2016 CBC SEC. 1008.2
- WHERE WINDOWS, DOORS AND WALLS ARE NOT LOCATED BY A DIMENSION STRING, THEY ALIGN WITH THE WINDOW, DOOR OR WALL BELOW.
- REFER TO APPLICABLE DETAILS FOR BATHROOMS AND KITCHENS ON SHEET A-0.07 (TYP.)
- BBQ / FIRE PITS IN DECKS OR GATHERING AREAS PER LANDSCAPE DRAWINGS
- ALL DWELLING UNITS INTERIOR DOORS WILL COMPLY WITH CBC 1132A5.2 AN 18" MINIMUM STRIKE EDGE CLEARANCE HAS BEEN PROVIDED ON ALL UNIT INTERIOR DOORS.

PROJECT NAME
CALIFORNIA DRIVE
LIVE-WORK

619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT
Edward Duffy
For Ownership LLC (TBD)
625 California Drive,
Burlingame, CA 94010

NOT FOR CONSTRUCTION

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REV	DATE	ISSUE

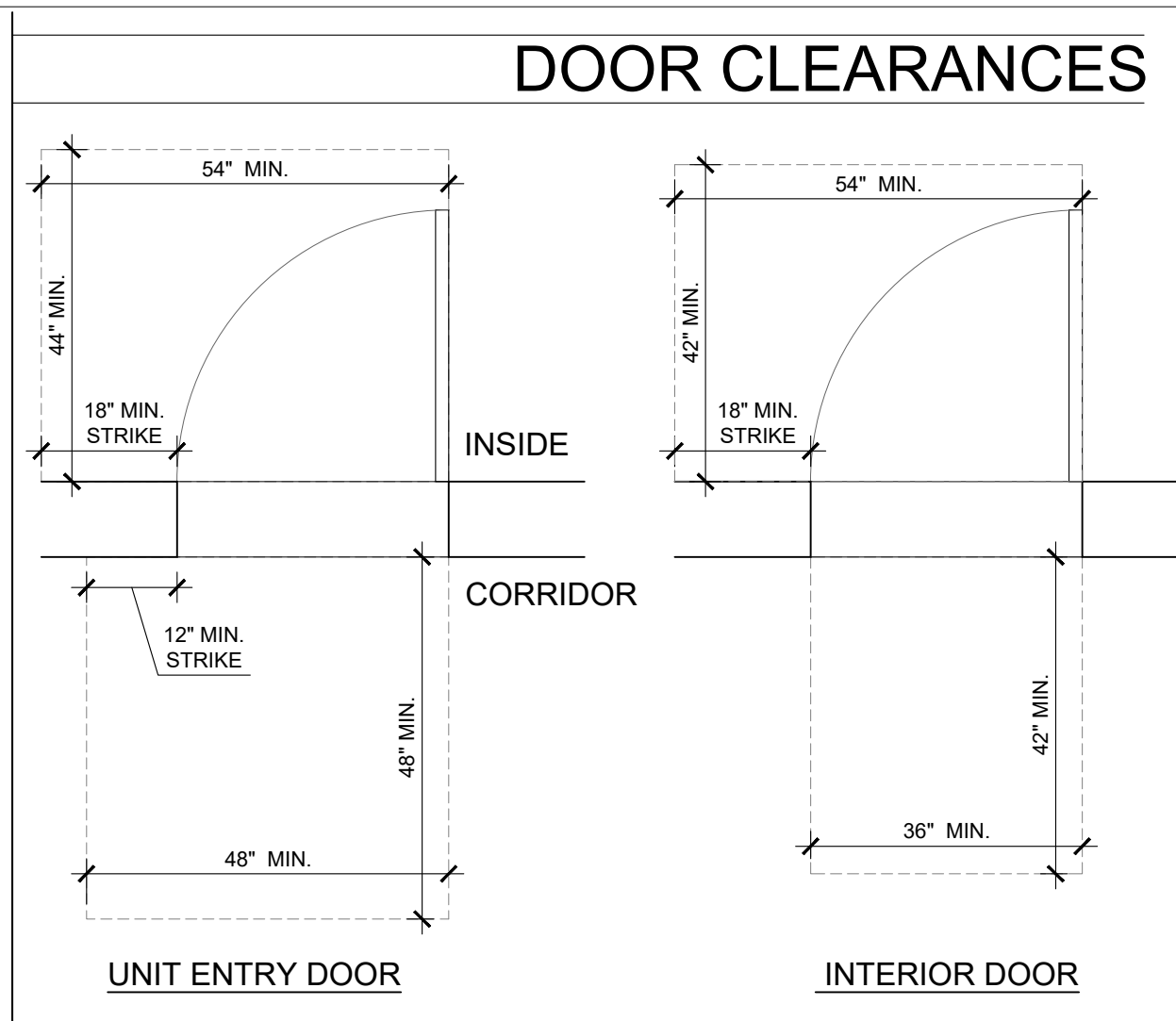
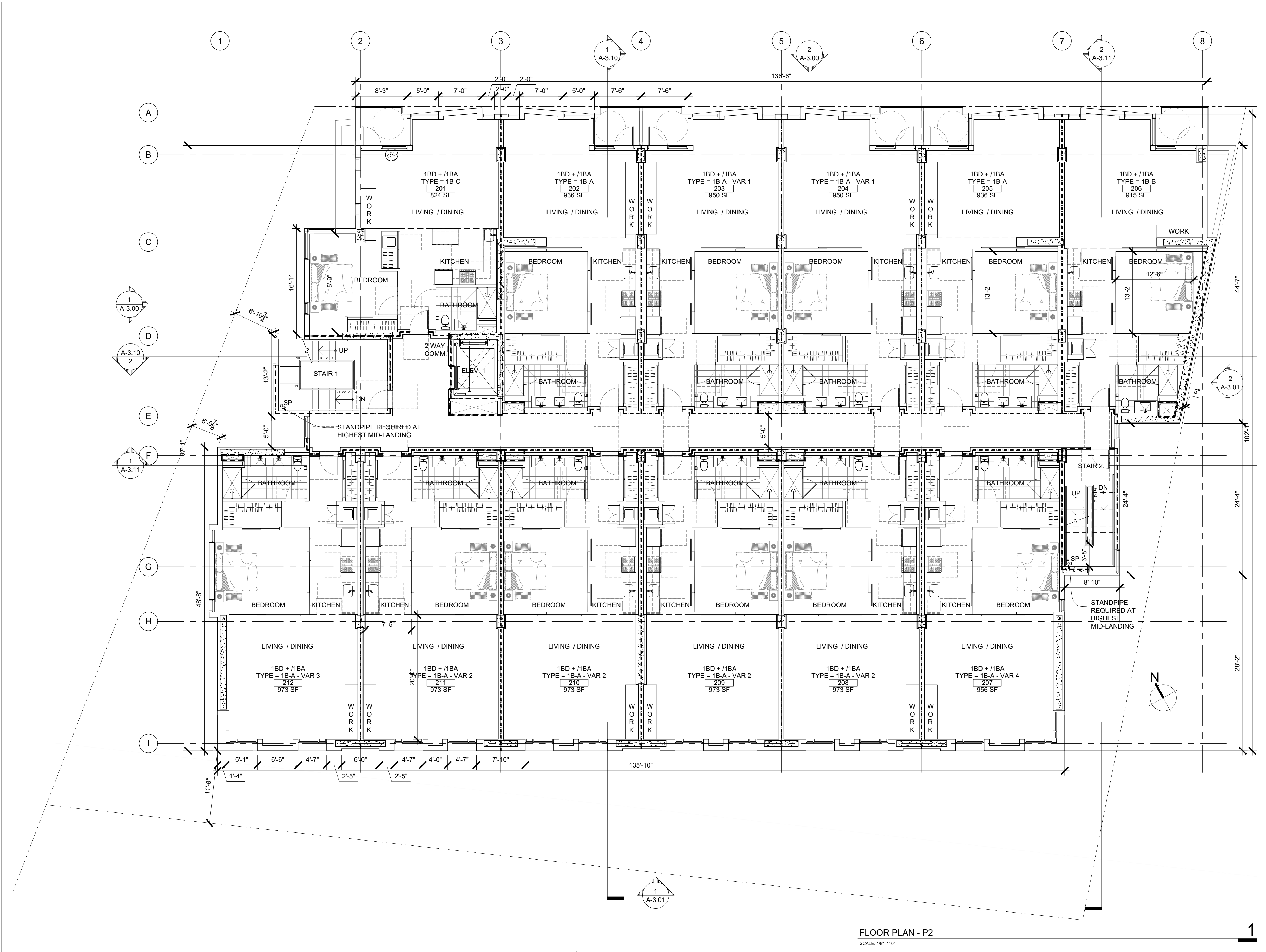


SHEET DESCRIPTION
FLOOR PLAN - P1
(PARKING PLAN)

DATE	1/25/2021
SCALE	1/8" = 1'-0"
DRAWN BY	VP/ SS
CHECKED BY	IB
JOB NO.	2006

A-2.00

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FLOOR PLAN LEGEND	
	CONCRETE WALL, SSD - 3 HOUR RATED U.O.N.
	NON-RATED STUD WALL PER THE SCHEDULE
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	2 HOUR RATED FIRE BARRIER / FIRE WALL
	90-MINUTE FIRE RATED WINDOW SYSTEM WITH WS SPRINKLER SYSTEM

- FLOOR PLAN NOTES
1. SEE ARCHITECTURAL SHEETS A-0.05 THRU A-0.09 FOR ACCESSIBILITY COMPLIANCE NOTES AND DETAILS.

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7. REFER TO APPLICABLE DETAILS FOR BATHROOMS AND KITCHENS ON SHEET A-0.07 (TYP.)

8. BBQ / FIRE PITS IN DECKS OR GATHERING AREAS PER LANDSCAPE DRAWINGS

9. ALL DWELLING UNITS INTERIOR DOORS WILL COMPLY WITH CBC 1132A5.2. AN 18" MINIMUM STRIKE EDGE CLEARANCE HAS BEEN PROVIDED ON ALL UNIT INTERIOR DOORS.

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architecture

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PROJECT NAME

CALIFORNIA DRIVE
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APN: 029- 131- 140
029- 131- 150
029- 131- 160

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0 07/20/2020 CITY SUBMISSION SET

REV DATE ISSUE

LICENSED ARCHITECT
IAN J. BIRCHALL
C 28963
EXPIRES 11-30-21
STATE OF CALIFORNIA

SHEET DESCRIPTION

FLOOR PLAN - P2

DATE

1/25/2021

SCALE

1/8" = 1'-0"

DRAWN BY

VP/ SS

CHECKED BY

IB

JOB NO.

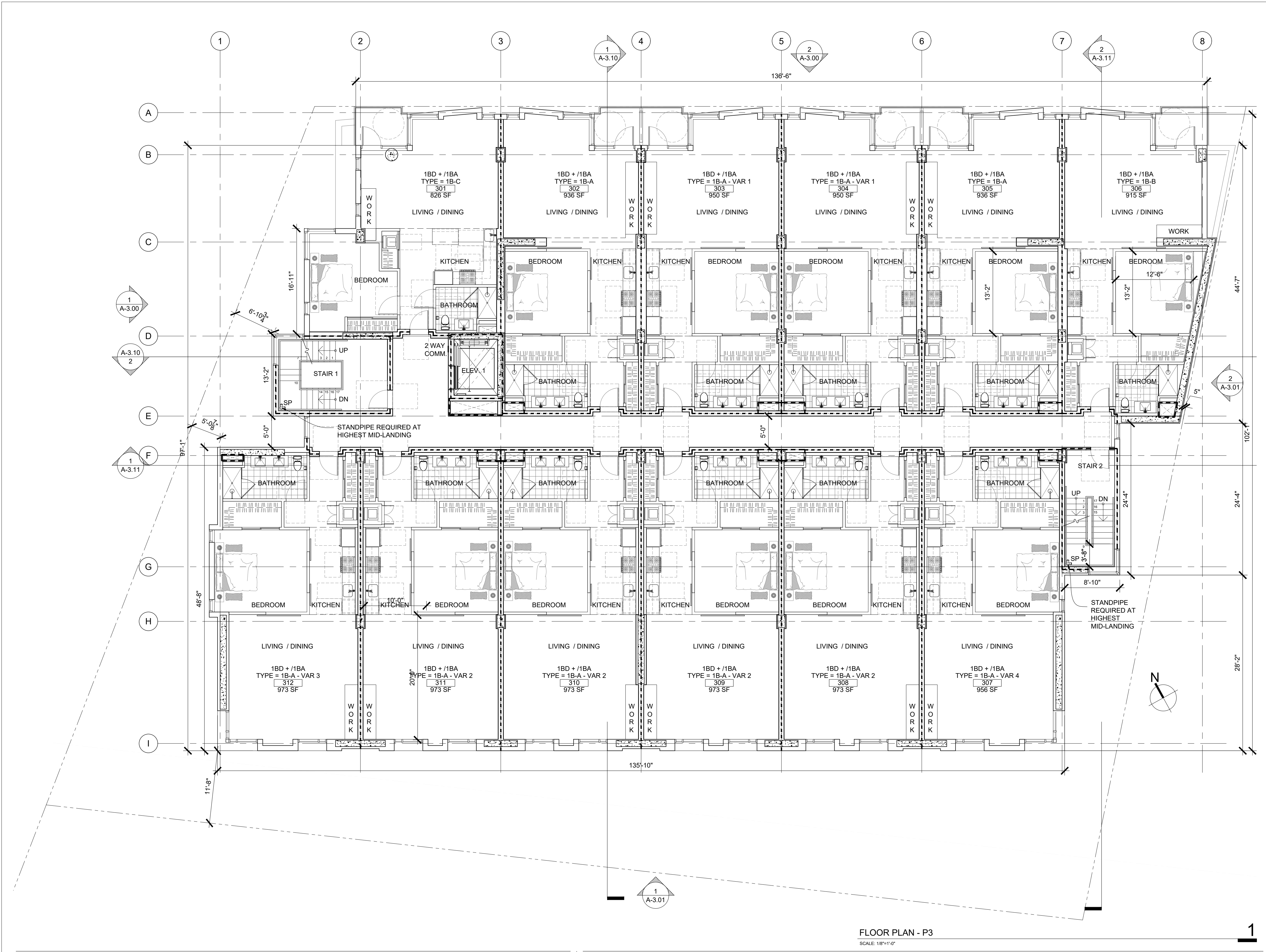
2006

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FLOOR PLAN LEGEND

CONCRETE WALL, - SSD - 3 HOUR RATED U.O.N.

NON-RATED STUD WALL PER THE SCHEDULE

- FLOOR PLAN NOTES
1.

SEE ARCHITECTURAL SHEETS A-0.05 THRU A-0.09 FOR ACCESSIBILITY COMPLIANCE NOTES AND DETAILS.

2.

ALL PARTY WALLS ARE SEPARATED BY A 1" AIRSPACE; U.O.N.

3.

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7.

REFER TO APPLICABLE DETAILS FOR BATHROOMS AND KITCHENS ON SHEET A-0.07 (TYP.)

8.

BBQ / FIRE PITS IN DECKS OR GATHERING AREAS PER LANDSCAPE DRAWINGS

9.

ALL DWELLING UNITS INTERIOR DOORS WILL COMPLY WITH CBC 1132A5.2. AN 18" MINIMUM STRIKE EDGE CLEARANCE HAS BEEN PROVIDED ON ALL UNIT INTERIOR DOORS.

DOOR CLEARANCES

54" MIN.

44" MIN.

18" MIN. STRIKE

12" MIN. STRIKE

48" MIN.

48" MIN.

UNIT ENTRY DOOR

INSIDE

CORRIDOR

54" MIN.

42" MIN.

18" MIN. STRIKE

36" MIN.

42" MIN.

INTERIOR DOOR

ib+a

architecture

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PROJECT NAME

CALIFORNIA DRIVE
LIVE-WORK

619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT

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0 07/20/2020 CITY SUBMISSION SET

REV DATE ISSUE

LICENSED ARCHITECT

IAN J. BIRCHALL

C 289637

EXPIRES 11-30-21

STATE OF CALIFORNIA

SHEET DESCRIPTION

FLOOR PLAN - P3

DATE

1/25/2021

SCALE

1/8" = 1'-0"

DRAWN BY

VP/ SS

CHECKED BY

IB

JOB NO.

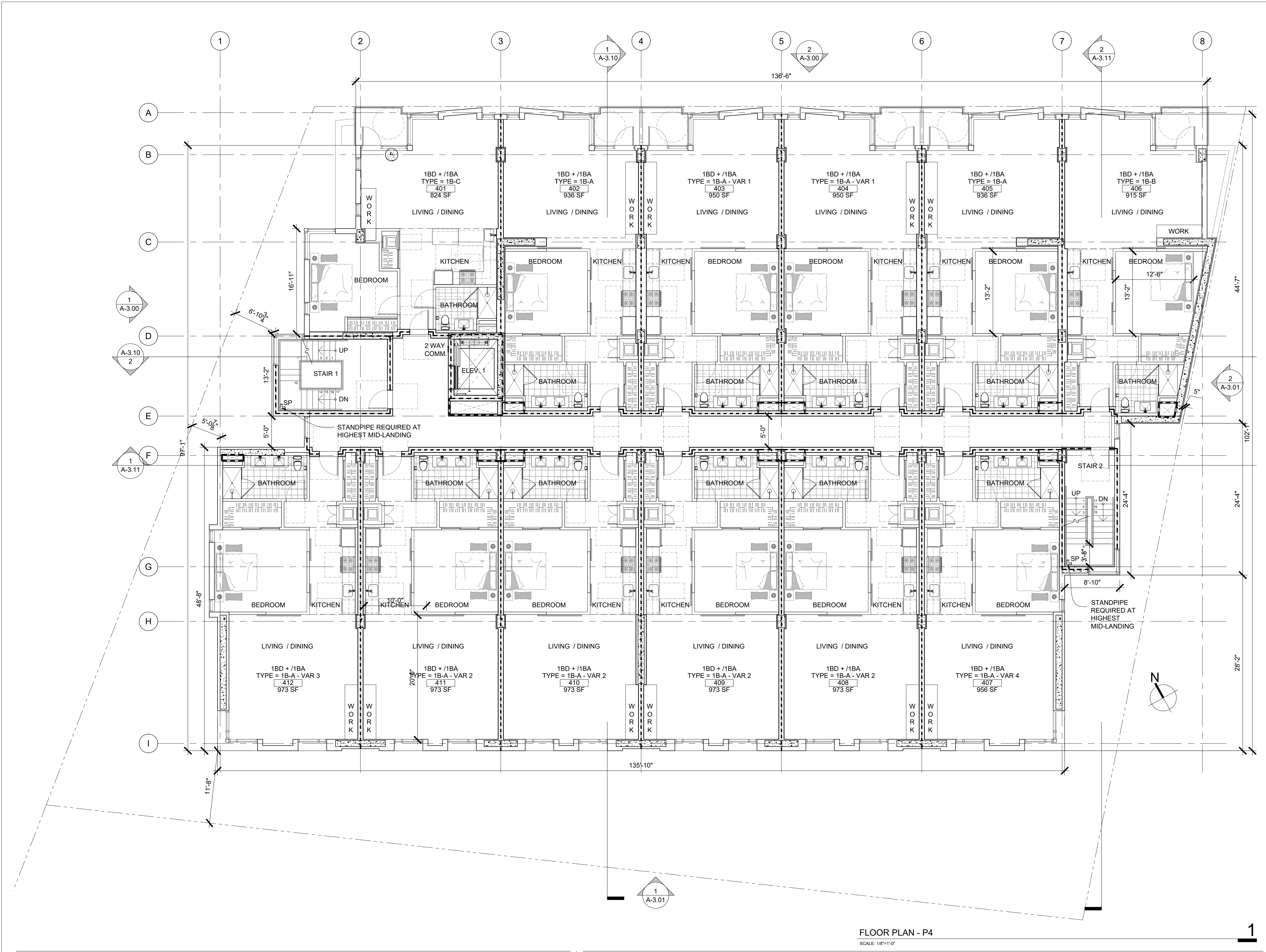
2006

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FLOOR PLAN LEGEND

CONCRETE WALL , SSD - 3 HOUR RATED U.O.N.

NON-RATED STUD WALL PER THE SCHEDULE

1 HOUR RATED FIRE PARTITION / FIRE BARRIER

2 HOUR RATED FIRE BARRIER / FIRE WALL

90-MINUTE FIRE RATED WINDOW SYSTEM WITH WS SPRINKLER SYSTEM

FLOOR PLAN NOTES

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54" MIN.

44" MIN.

18" MIN. STRIKE

12" MIN. STRIKE

48" MIN.

48" MIN.

UNIT ENTRY DOOR

54" MIN.

42" MIN.

18" MIN. STRIKE

36" MIN.

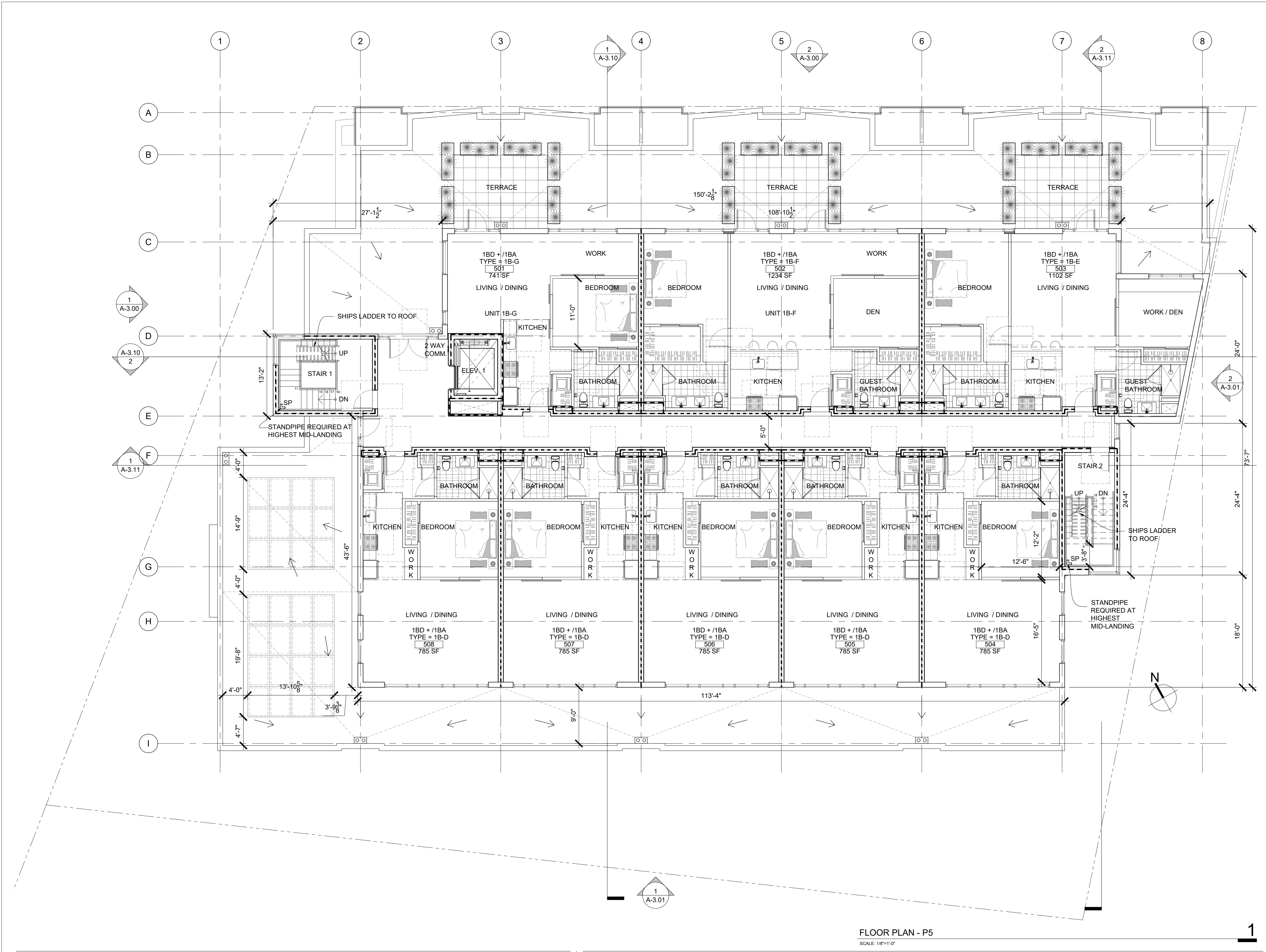
42" MIN.

INTERIOR DOOR

ib+a
architecture

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PROJECT NAME
CALIFORNIA DRIVE
LIVE-WORK
619-625 California Drive,
Burlingame, CA 94010
APN: 029- 131- 140
029- 131- 150
029- 131- 160
CLIENT
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625 California Drive,
Burlingame, CA 94010
NOT FOR CONSTRUCTION
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0 07/20/2020 CITY SUBMISSION SET
REV DATE ISSUE
SHEET DESCRIPTION
FLOOR PLAN - P4
DATE 1/25/2021
SCALE 1/8" = 1'-0"
DRAWN BY VP/ SS
CHECKED BY IB
JOB NO. 2006
A-2.03
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FLOOR PLAN LEGEND

CONCRETE WALL , SSD - 3 HOUR RATED U.O.N.

NON-RATED STUD WALL PER THE SCHEDULE

1 HOUR RATED FIRE PARTITION / FIRE BARRIER

2 HOUR RATED FIRE BARRIER / FIRE WALL

90-MINUTE FIRE RATED WINDOW SYSTEM WITH WS SPRINKLER SYSTEM

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44" MIN.

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42" MIN.

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48" MIN.

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36" MIN.

42" MIN.

36" MIN.

INTERIOR DOOR

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REV DATE ISSUE

LICENSED ARCHITECT

IAN J. BIRCHALL

C 289837

EXPIRY 11-30-2021

STATE OF CALIFORNIA

SHEET DESCRIPTION

FLOOR PLAN - P5

DATE

1/25/2021

SCALE

1/8" = 1'-0"

DRAWN BY

VP/ SS

CHECKED BY

IB

JOB NO.

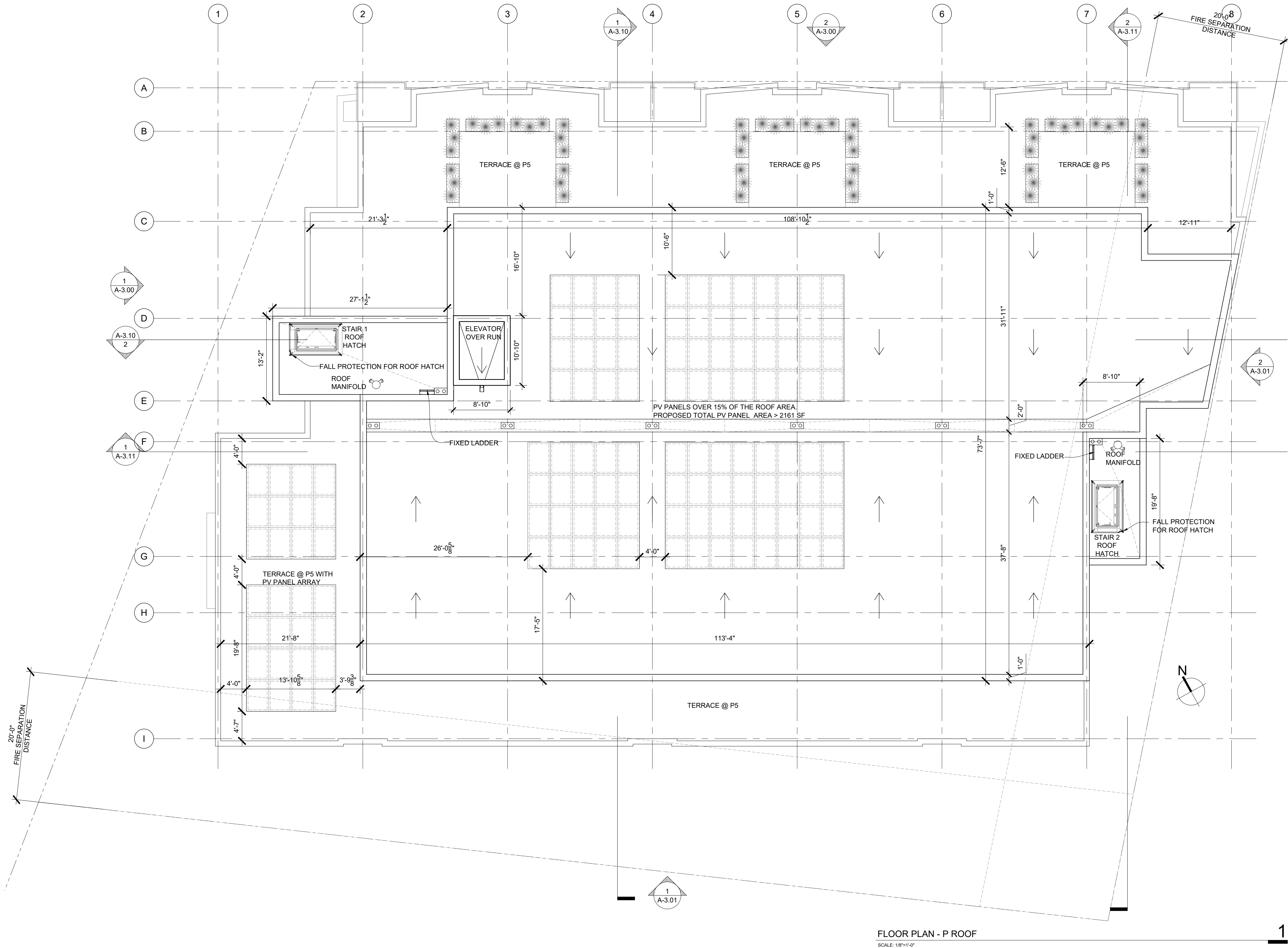
2006

A-2.04

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FLOOR PLAN LEGEND

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- 2 HOUR RATED FIRE BARRIER / FIRE WALL
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FLOOR PLAN NOTES

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SHEET DESCRIPTION FLOOR PLAN - P ROOF

DATE	1/25/2021
SCALE	1/8" = 1'-0"
DRAWN BY	VP/ SS
CHECKED BY	IB
JOB NO.	2006

A-2.05

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TYPICAL EXTERIOR MATERIALS

1. PARKLEX FACADE CLADDING
PRODUCT: FACADE/ WOOD: QUARTZ
2. PARKLEX FACADE CLADDING
PRODUCT: FACADE/ WOOD: AMBAR
3. AEPSPAN- BATTEN ROOFING SYSTEM
4. TILE OR COLOR MATCHED ARCHITECTURAL CONCRETE
5. CANOPY- STAINLESS STEEL
6. ROUND STAINLESS STEEL COLUMN WITH LINEAR MOSAIC TILES
7. ALUMINUM GRATING- PRODUCT: MC NICHOLS GAL-125
FINISH- CLEAR ANODIZED
8. WINDOW FRAME- POWDER COATED (CLOSEST MATCH TO DARK GRAY- SW 7069- IRONORE)
9. ALUMINUM LOUVERS- FINISH: KYNAR COATED
COLOR- DARK GRAY [SW 7069- IRONORE]
10. VISION GLASS PANEL
11. SHADOW BOX GLASS PANEL
12. GARAGE DOOR-ALUMINUM
PRODUCT: RYTEC CORPORATION- SPIRAL LH MODEL
13. STEEL GUARDRAILS AT ROOF HATCH
14. ALUMINUM COPING- FINISH: CLEAR ANODIZED
15. PROPERTY LINE FENCE-
PRODUCT: MIXED MATERIAL FENCE WITH MATTE BLACK ALUMINUM FRAME WITH VINYL INFILL BOARDS
16. CORTEN STEEL PLANTER
17. ARCADIA MULLION COVER CAP- ALUMINUM
18. ALUMINUM DOORS-
PRODUCT: ALL WEATHER 7000 SERIES DOOR WITH GLASS INSERT
19. ALUMINUM SERVICE DDOR



177 Post Street,
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tel: (415) 512-9660
fax: (415) 512-9663
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PROJECT NAME
**CALIFORNIA DRIVE
LIVE-WORK**

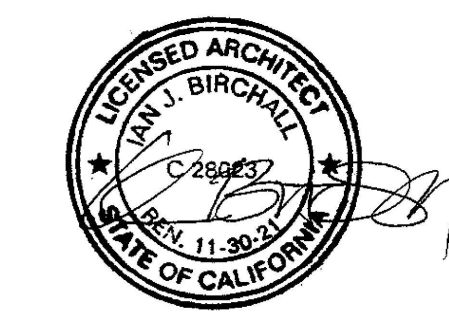
619-625 California Drive,
Burlingame, CA 94010
APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT
Edward Duffy
For Ownership LLC (TBD)
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NOT FOR CONSTRUCTION

PROJECT TEAM
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415-512-9660
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Fredrick T. Seher & Associates, Inc.
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650-591-5224

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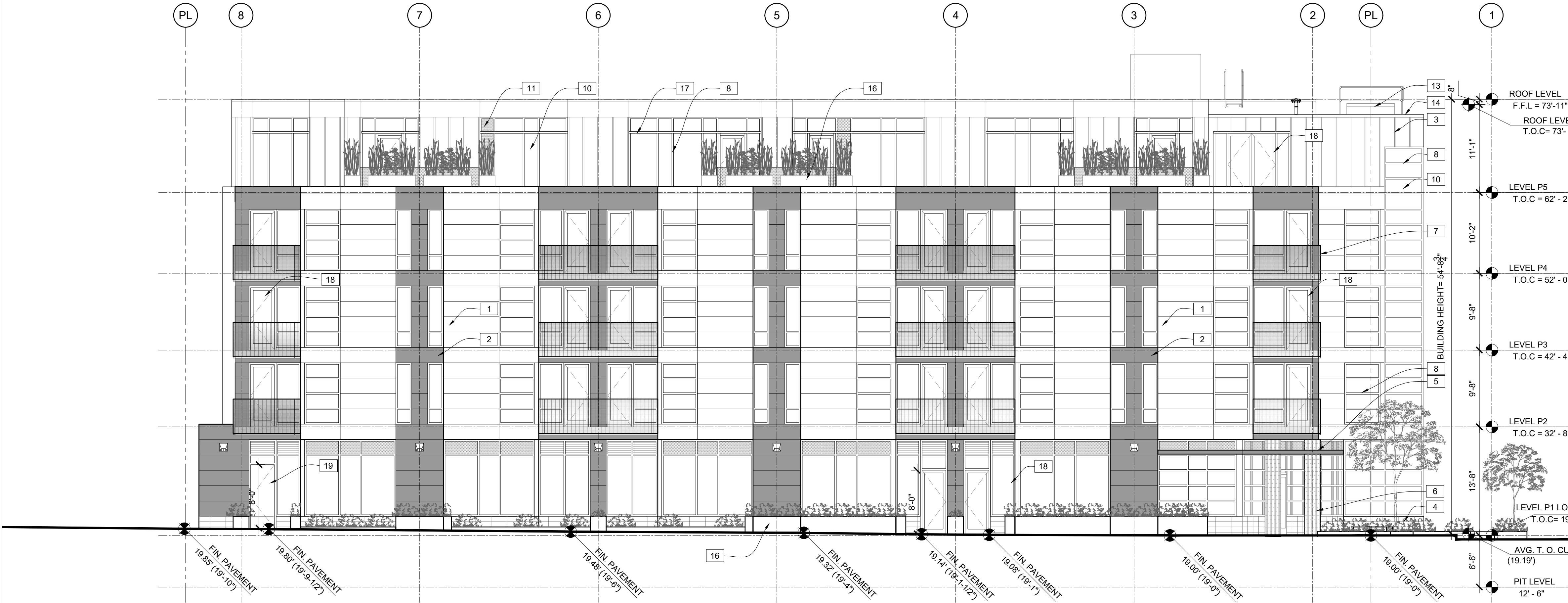
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**EXTERIOR ELEVATION
EAST AND NORTH**

DATE	1/25/2021
SCALE	1/8" = 1'-0"
DRAWN BY	VP/ SS
CHECKED BY	IB
JOB NO.	2006

A-3.00

SHEET NO.

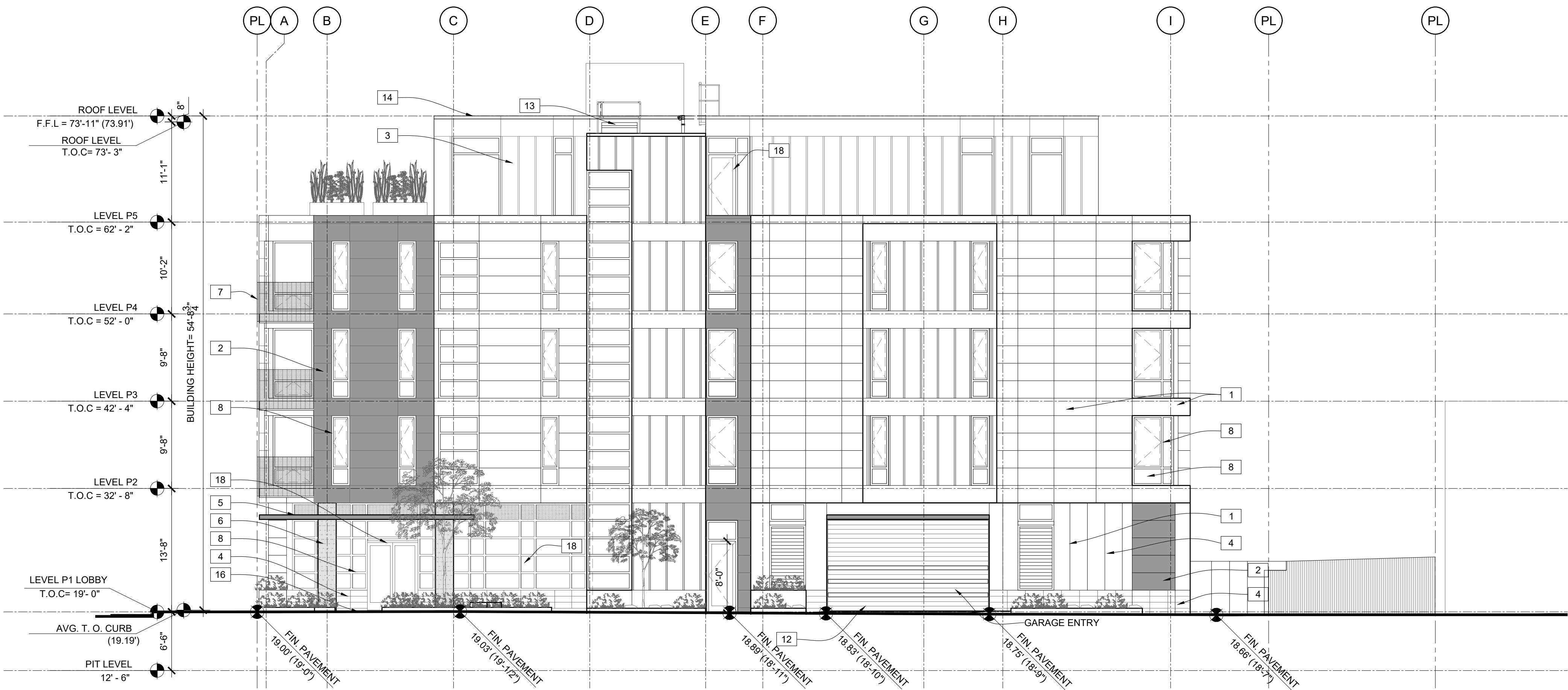
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NORTH ELEVATION- CALIFORNIA DRIVE

SCALE: 1/8"=1'-0"

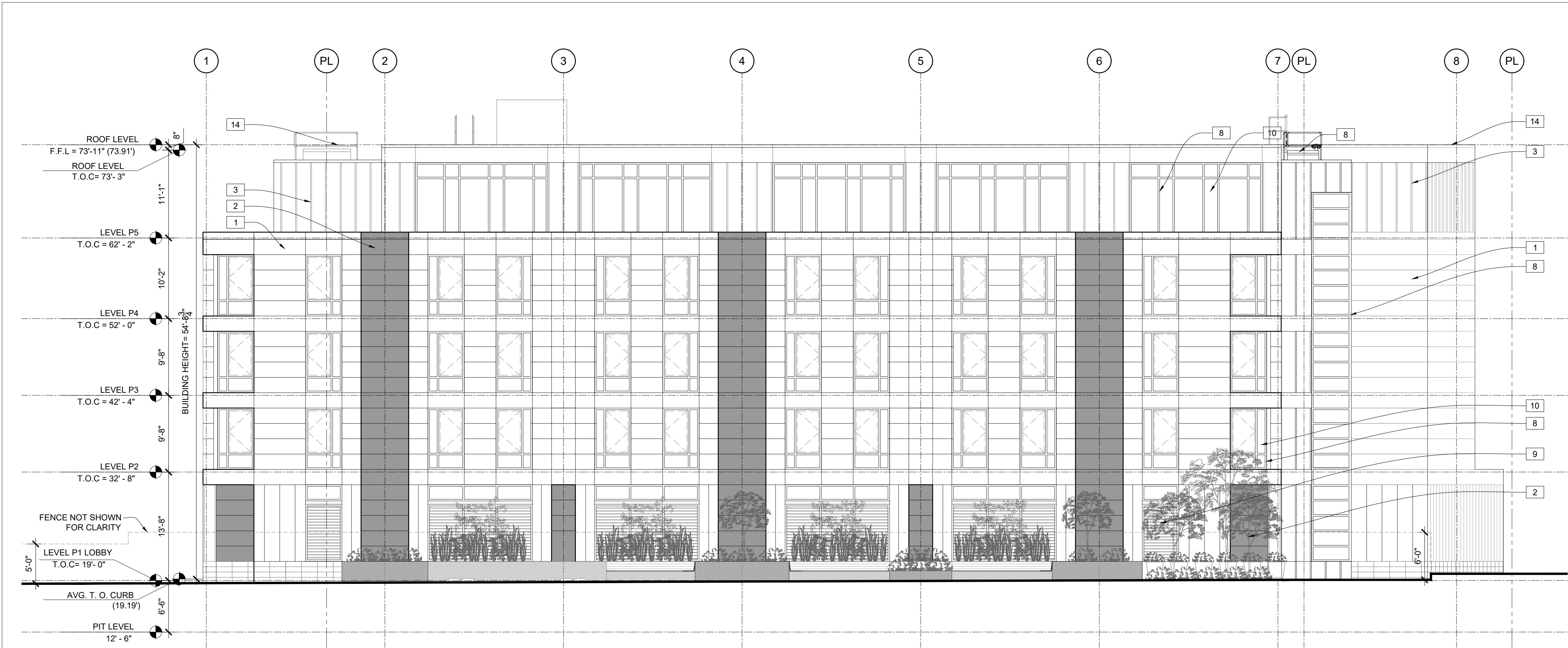
2



WEST ELEVATION- OAK GROVE AVENUE

SCALE: 1/8"=1'-0"

1



SOUTH ELEVATION
SCALE: 1/8"=1'-0"

2



WEST ELEVATION
SCALE: 1/8"=1'-0"

1

TYPICAL EXTERIOR MATERIALS

1. PARKLEX FACADE CLADDING
PRODUCT: FACADE/ WOOD: QUARTZ
2. PARKLEX FACADE CLADDING
PRODUCT: FACADE/ WOOD: AMBAR
3. AEPSPAN- BATTEN ROOFING SYSTEM
4. TILE OR COLOR MATCHED ARCHITECTURAL CONCRETE
5. CANOPY- STAINLESS STEEL
6. ROUND STAINLESS STEEL COLUMN WITH LINEAR MOSAIC TILES
7. ALUMINUM GRATING- PRODUCT: MC NICHOLS GAL-125
FINISH- CLEAR ANODIZED
8. WINDOW FRAME- POWDER COATED (CLOSEST MATCH TO DARK GRAY- SW 7069- IRONORE)
9. ALUMINUM LOUVERS- FINISH: KYNAR COATED
COLOR- DARK GRAY [SW 7069- IRONORE]
10. VISION GLASS PANEL
11. SHADOW BOX GLASS PANEL
12. GARAGE DOOR-ALUMINUM
PRODUCT: RYTEC CORPORATION- SPIRAL LH MODEL
13. STEEL GUARDRAILS AT ROOF HATCH
14. ALUMINUM COPING- FINISH: CLEAR ANODIZED
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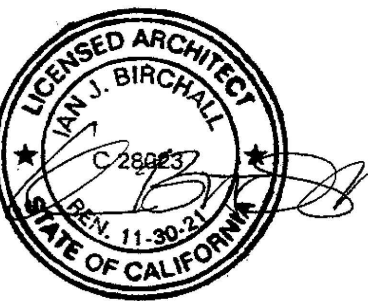
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0	07 / 20 / 2020	CITY SUBMISSION SET
REV	DATE	ISSUE



SHEET DESCRIPTION
EXTERIOR ELEVATION
SOUTH(REAR YARD)
AND WEST

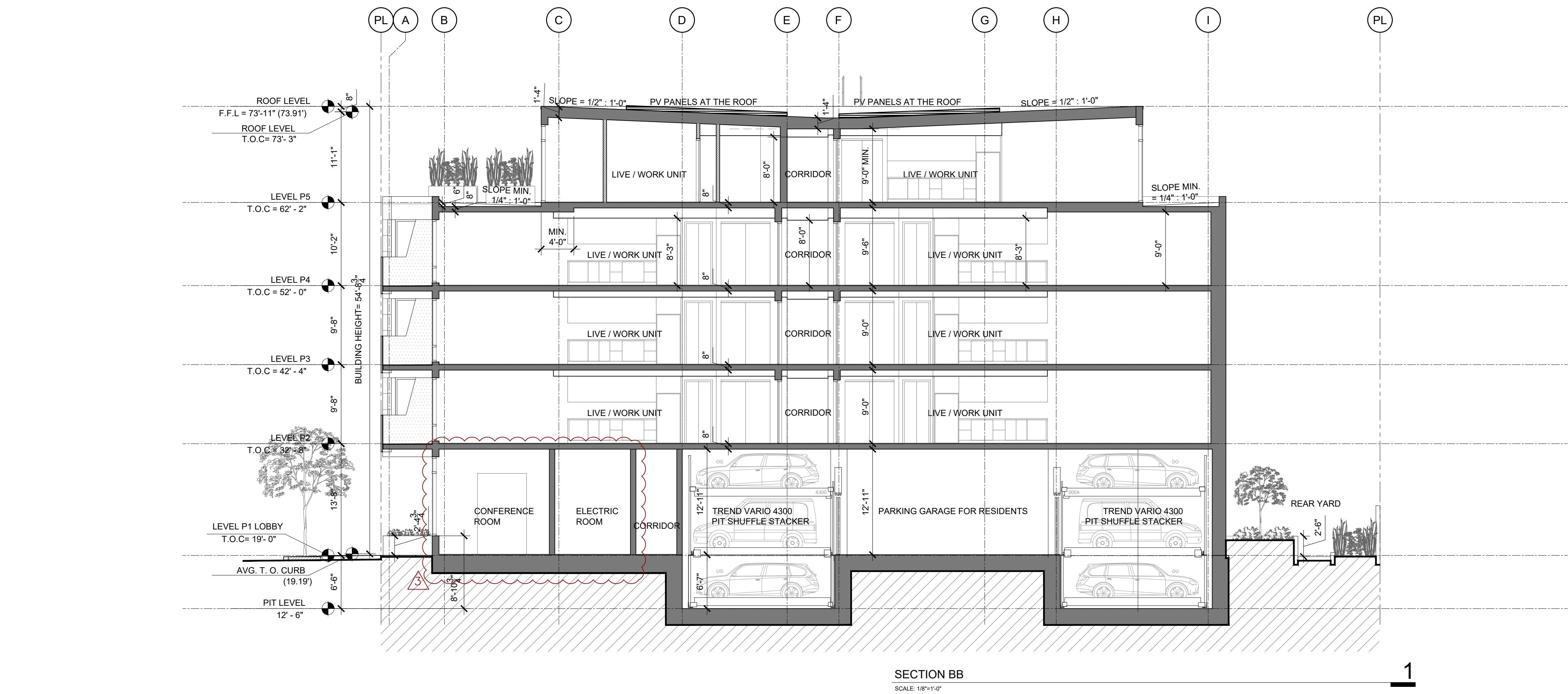
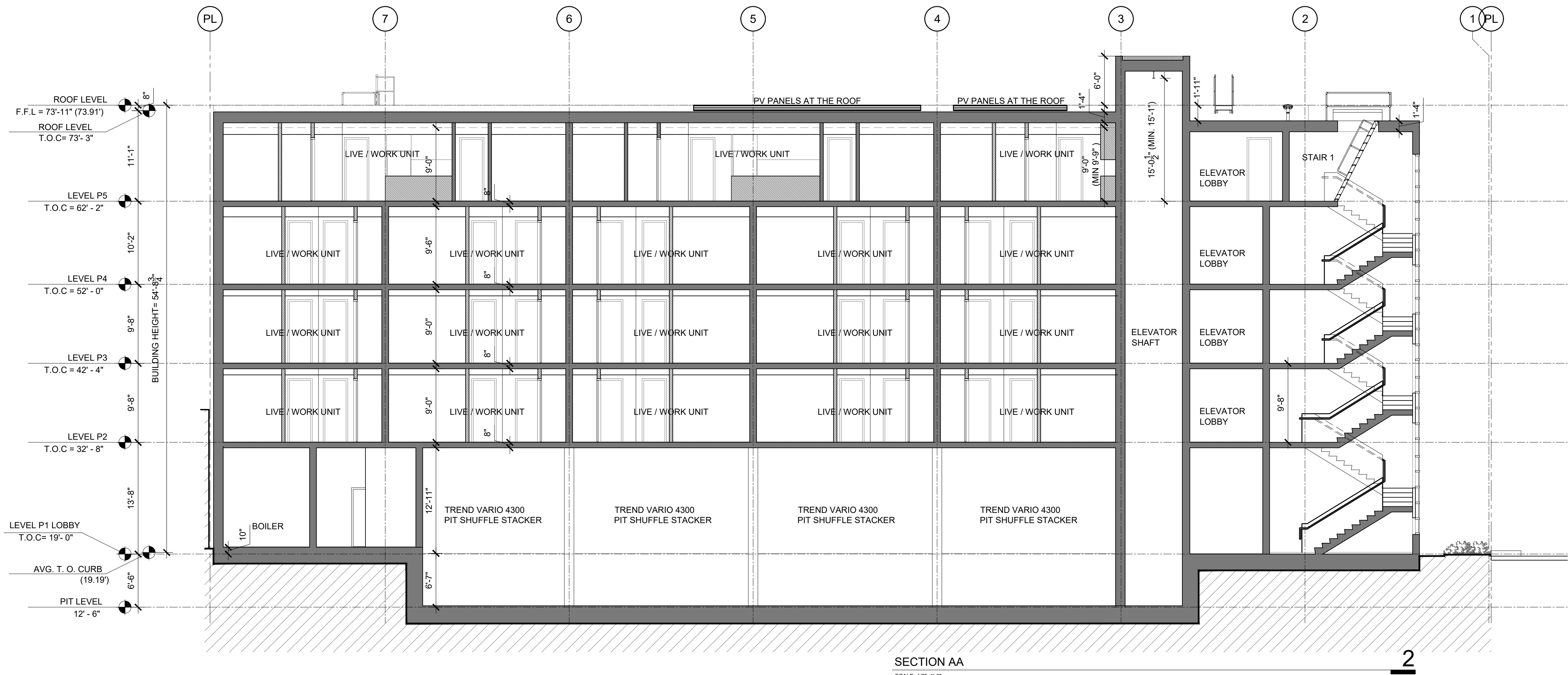
DATE	1/25/2021
SCALE	1/8" = 1'-0"
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CHECKED BY	IB
JOB NO.	2006

A-3.01

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"HEIGHT OF BUILDING" VERIFICATION

- AS PER SECTION 25.08.340, BURLINGAME MUNICIPAL CODE: "HEIGHT OF BUILDING" MEANS THE VERTICAL DISTANCES BETWEEN AVERAGE TOP OF CURB AND TO THE HIGHEST EDGE OF A GABLE, HIP OR SHED ROOF OR TOP OF PARAPET
- TOP OF CURB LEVELS AS/SURVEY:
 - 18.66
 - 19.72
- AVERAGE TOP OF CURB LEVEL= 19.19'
- MAXIMUM BUILDING HEIGHT PERMISSIBLE= 55'- 0"
- PROPOSED PROJECT'S BUILDING HEIGHT= 54'-8 3/4"
- PROJECT HEIGHT COMPLIES WITH BURLINGAME MUNICIPAL CODE.

SECTION NOTES

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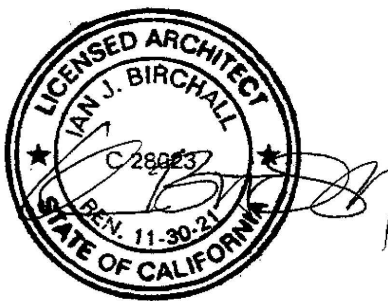
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REV	DATE	ISSUE



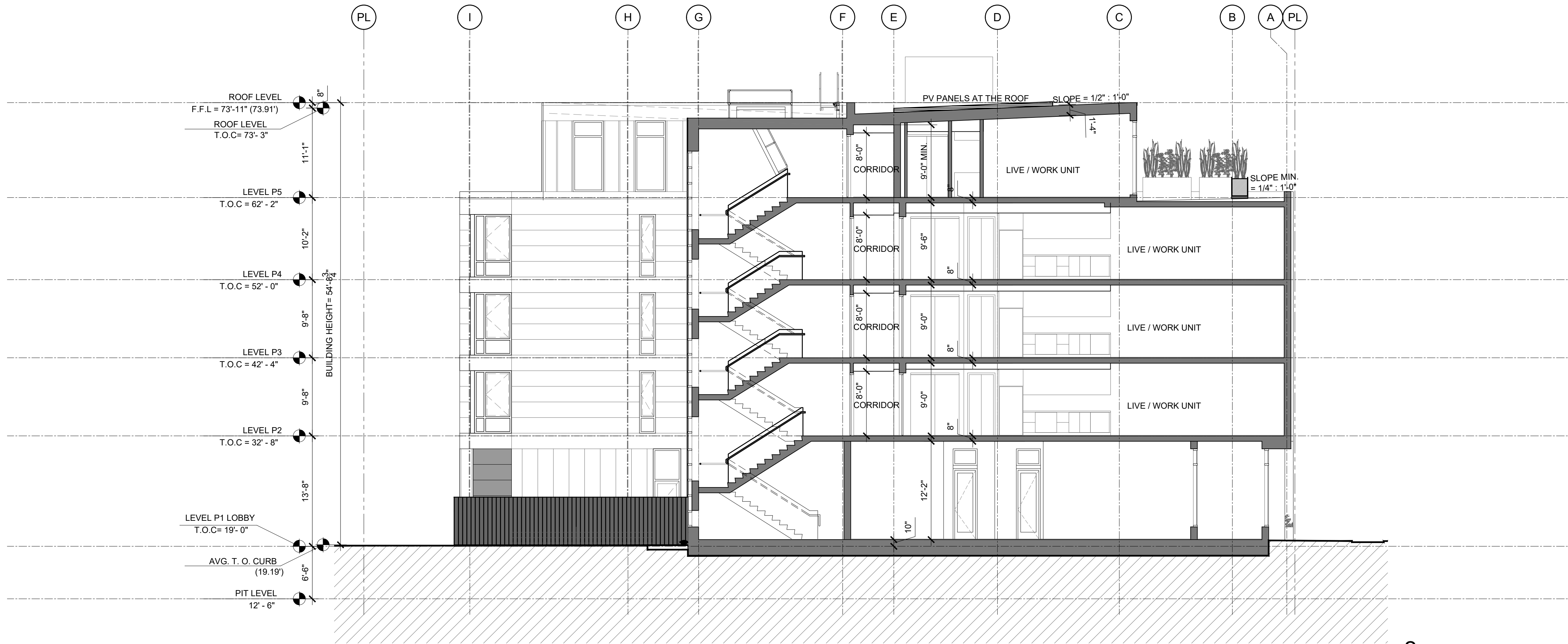
SHEET DESCRIPTION
**BUILDING SECTION
A-A, B-B**

DATE	1/25/2021
SCALE	1/8" = 1'-0"
DRAWN BY	VP/ SS
CHECKED BY	IB
JOB NO.	2006

A-3.10

SHEET NO.

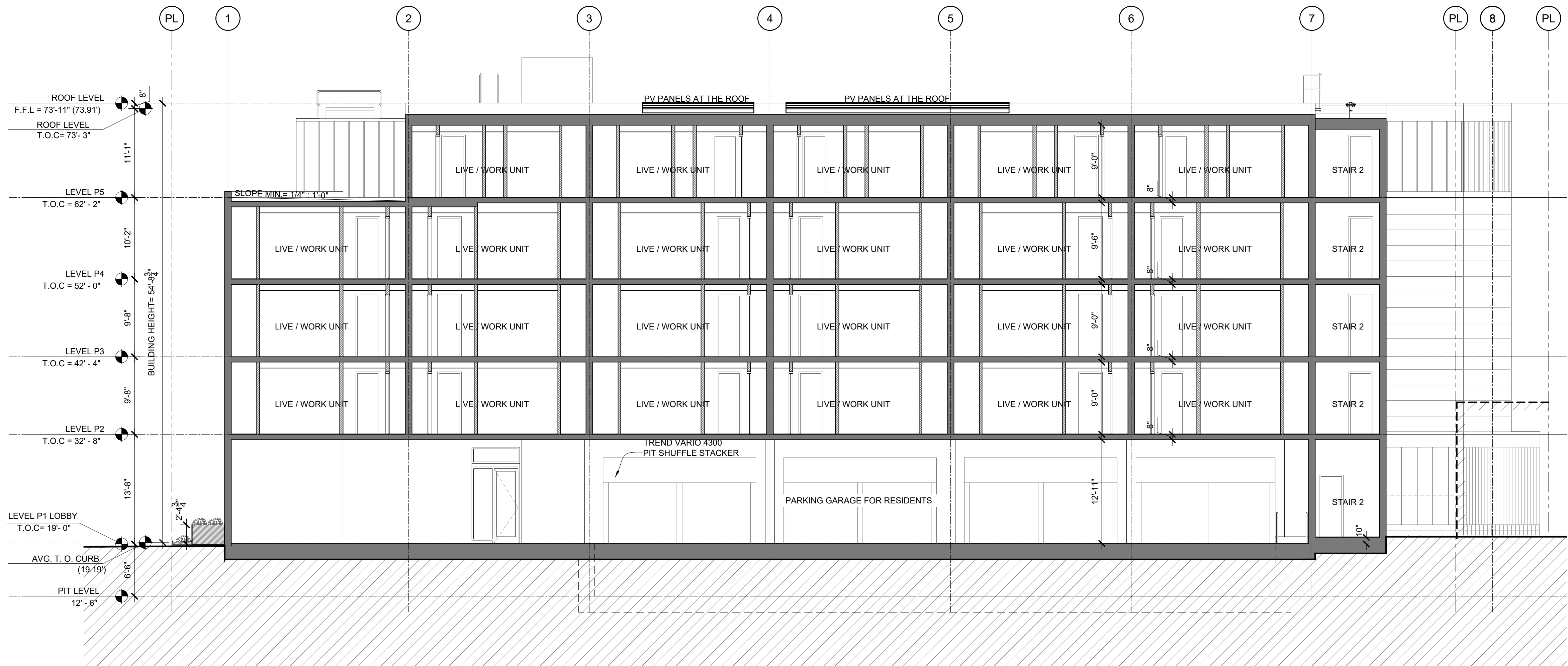
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SECTION CC

SCALE: 1/8"=1'-0"

2



SECTION DD

SCALE: 1/8"=1'-0"

1

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 - b. 19.72
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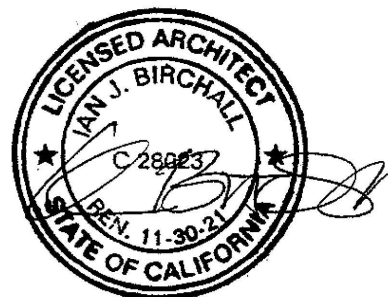
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SHEET DESCRIPTION

**BUILDING SECTION
C-C, D-D**

DATE 1/25/2021

SCALE 1/8" = 1'-0"

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A-3.11

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OAK GROVE AVENUE

VIEW 4



OAK GROVE AVENUE

VIEW 2



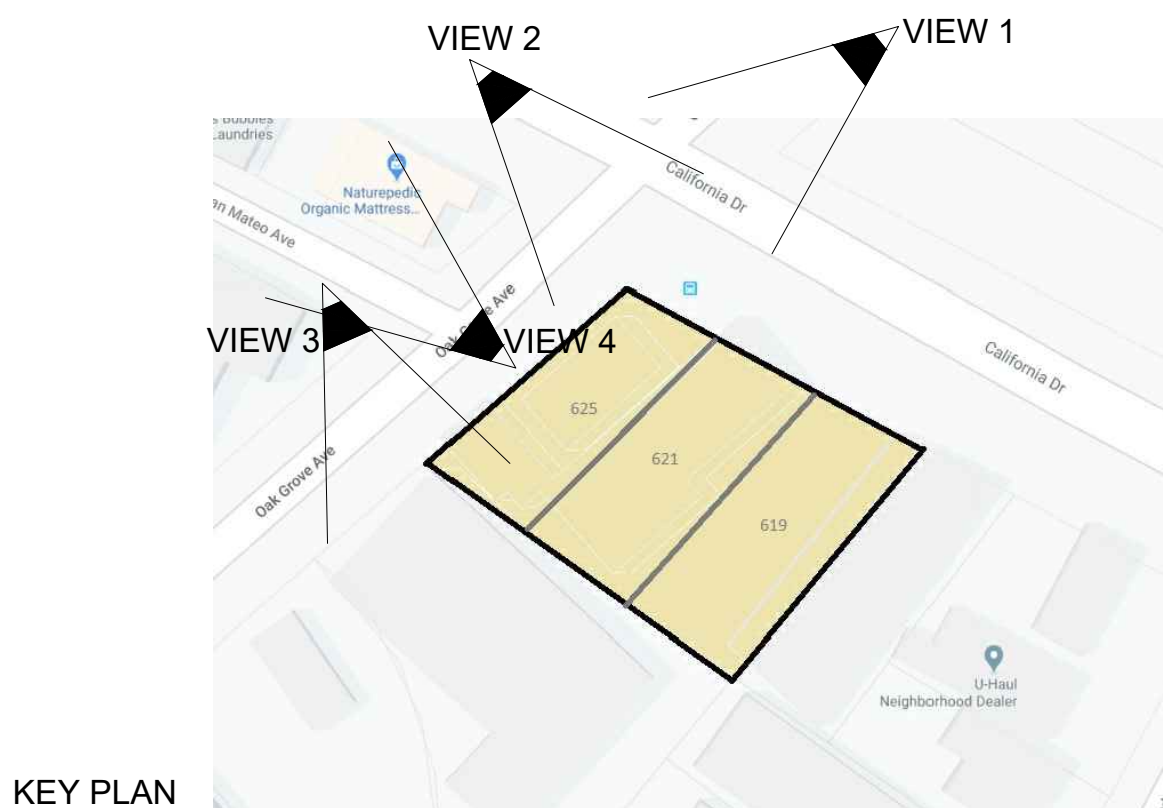
OAK GROVE AVENUE

VIEW 3



OAK GROVE AVENUE

VIEW 1



KEY PLAN



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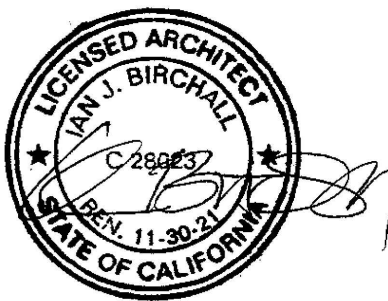
**625 California Drive,
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SHEET DESCRIPTION
**PHOTOGRAPHS OF
NEIGHBORING
PROPERTY**

DATE 1/25/2021

SCALE As Indicated

DRAWN BY VP/ SS

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CALIFORNIA DRIVE

VIEW 4



CALIFORNIA DRIVE

VIEW 2



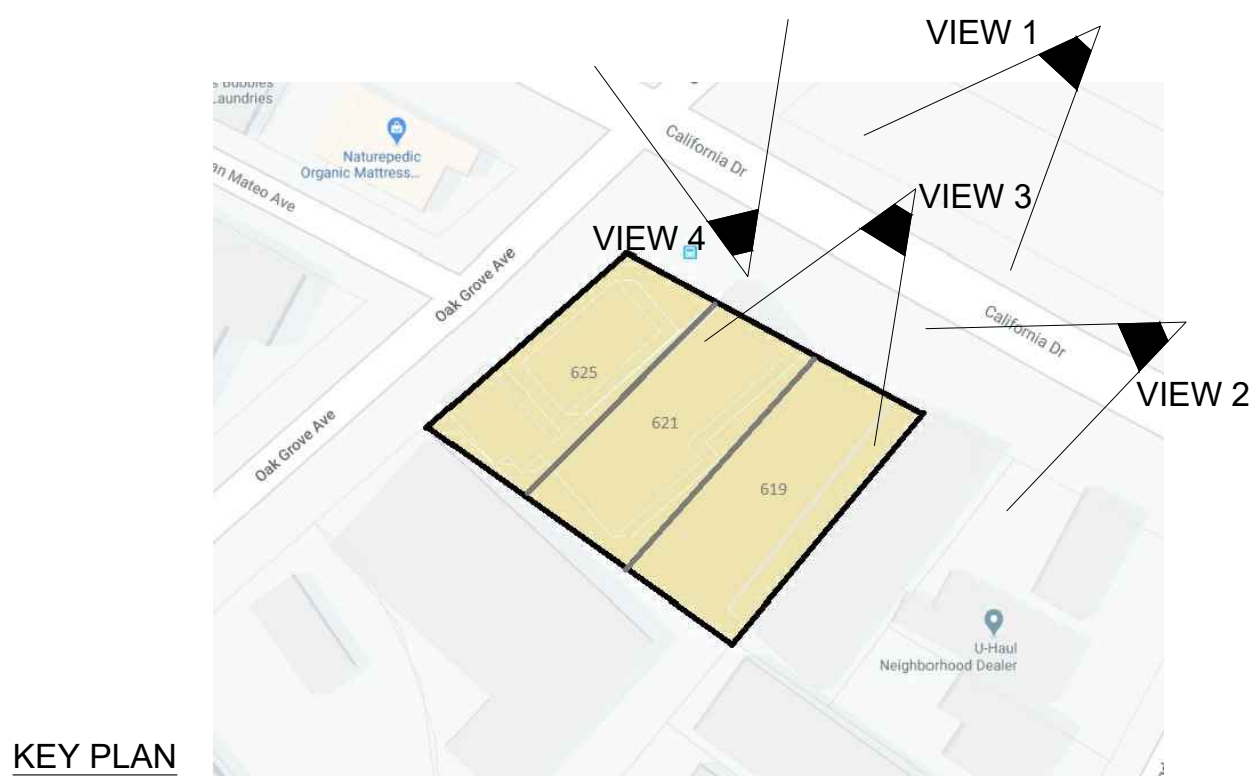
CALIFORNIA DRIVE

VIEW 3



CALIFORNIA DRIVE

VIEW 1



KEY PLAN

PROJECT NAME
**CALIFORNIA DRIVE
LIVE-WORK**

619-625 California Drive,
Burlingame, CA 94010

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SHEET DESCRIPTION
**PHOTOGRAPHS OF
NEIGHBORING
PROPERTY**

DATE 1/25/2021

SCALE As Indicated

DRAWN BY VP/ SS

CHECKED BY IB

JOB NO. 2006

A-4.01

SHEET NO.

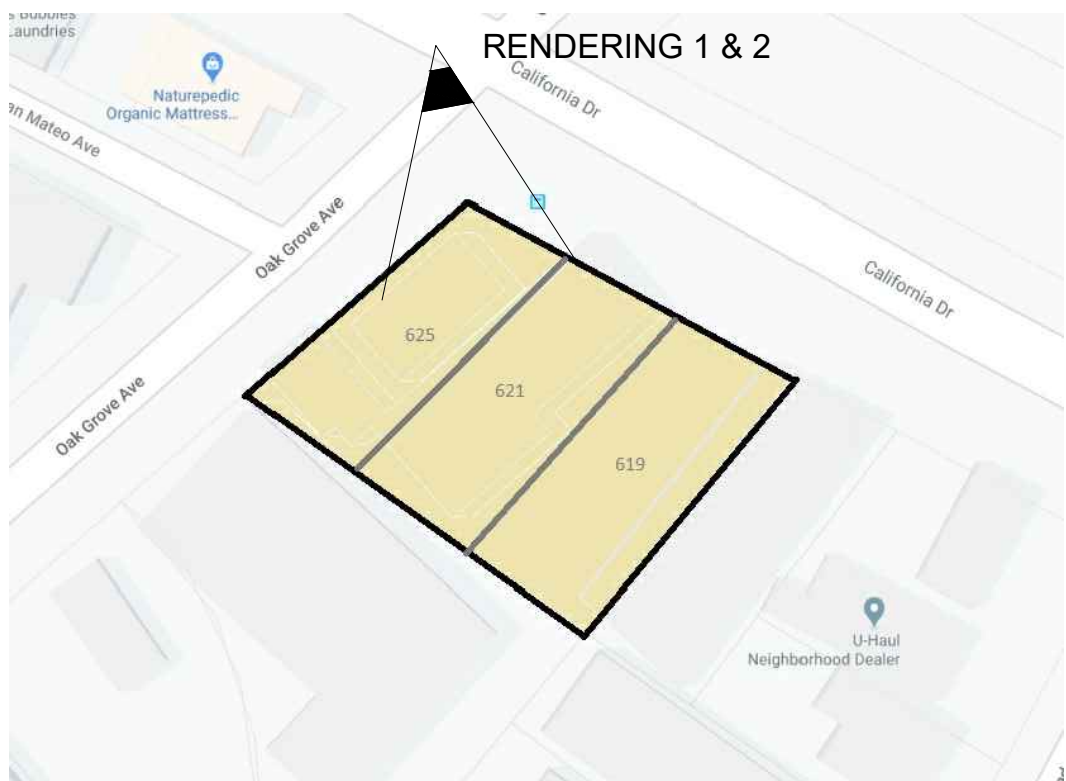
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RENDERING 2



RENDERING 1

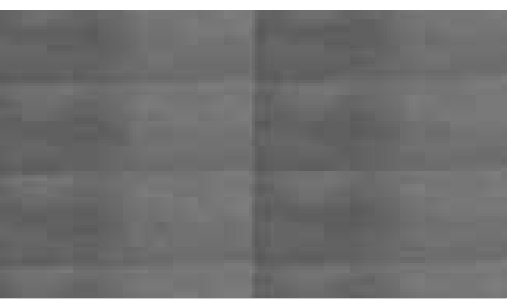


KEY PLAN

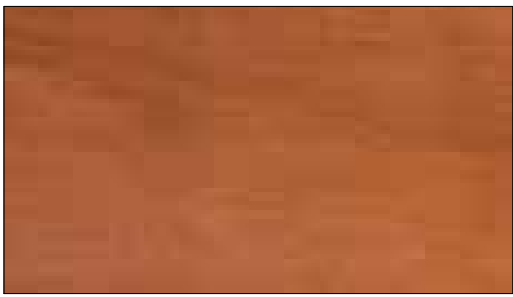
LEGEND



PARKLEX FACADE CLADDING
PRODUCT: FACADE/ WOOD: QUARTZ



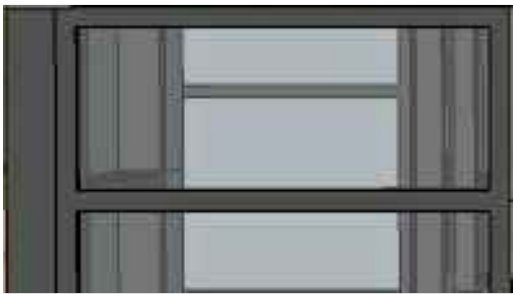
TILE OR COLOR MATCHED ARCHITECTURAL
CONCRETE



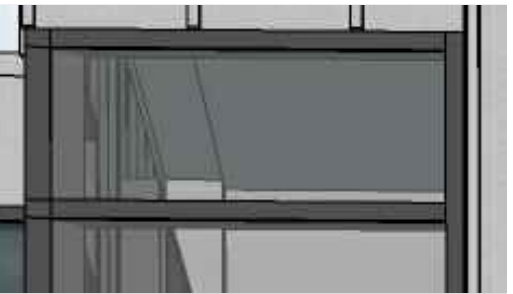
PARKLEX FACADE CLADDING
PRODUCT: FACADE/ WOOD: AMBAR



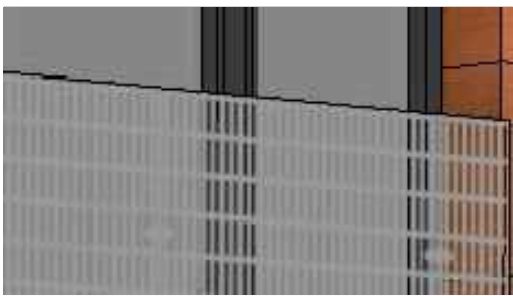
AEPSPAN- BATTEN ROOFING SYSTEM



WINDOW FRAME- POWDER COATED (CLOSEST
MATCH TO DARK GRAY- SW 7069- IRONORE)



CURTAIN WALL @ STAIRS

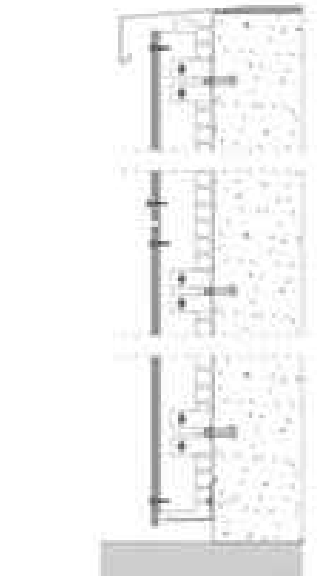


ALUMINUM GRATING- PRODUCT: MC NICHOLS
GAL-125, FINISH- CLEAR ANODIZED



CURTAIN WALL @ P5 LEVEL WITH A
PROJECTING ARCADIA MULLION COVER CAP.

PARKLEX FACADE CLADDING- PRODUCT APPLICATION REFERENCE



The ventilated facade is an efficient bioclimatic
architecture solution that provides thermal
insulation. In other words, it reduces heat dissipation
in the cold months and heat absorption in the
warmer months, resulting in a marked improvement
in comfort inside the building.



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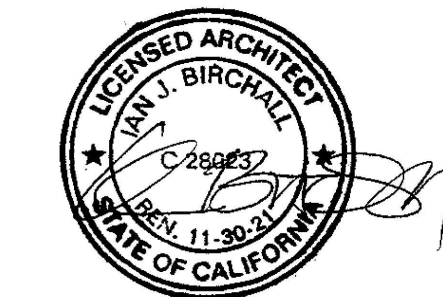
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SHEET DESCRIPTION

MATERIAL BOARD

DATE 1/25/2021

SCALE As Indicated

DRAWN BY VP/ SS

CHECKED BY IB

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RENDERING 4



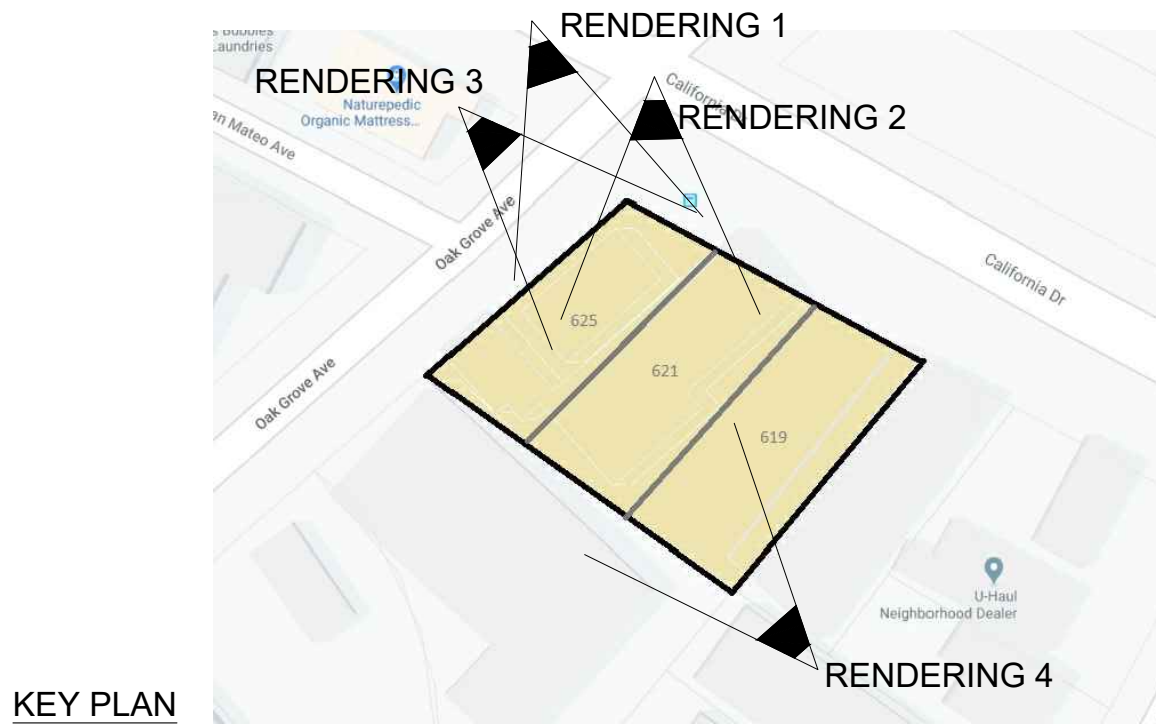
RENDERING 2



RENDERING 3



RENDERING 1



KEY PLAN

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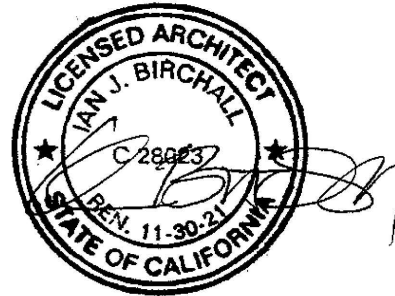
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SHEET DESCRIPTION
MODEL VIEWS

DATE	1/25/2021
SCALE	As Indicated
DRAWN BY	VP/ SS
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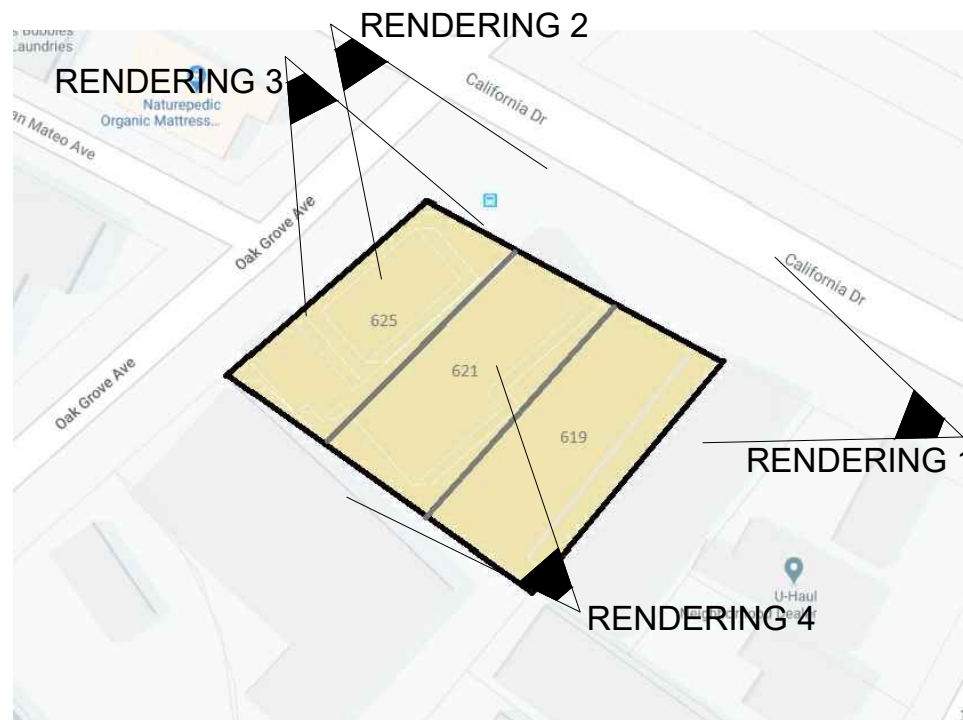
RENDERING 2



RENDERING 3



RENDERING 1



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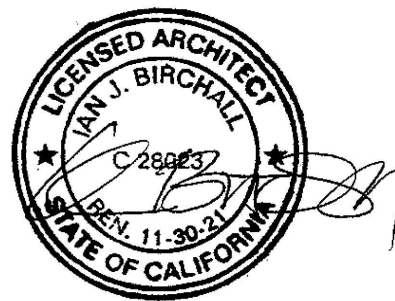
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SURVEYOR
Fredrick T. Seher & Associates, Inc.
415-921-7690

GEOTECH ENGINEER
Roming Engineers Inc
650-591-5224

3	01 / 25 / 2021	POST DESIGN REVIEW REVISIONS
2	11 / 02 / 2020	DESIGN REVIEW STUDY SESSION
1	10 / 07 / 2020	INITIAL DESIGN REVIEW #1-RESPONSE
0	08 / 28 / 2020	RECOLOGY COORD.
0	07 / 20 / 2020	CITY SUBMISSION SET
REV	DATE	ISSUE



SHEET DESCRIPTION

MODEL VIEWS

DATE 1/25/2021

SCALE As Indicated

DRAWN BY VP/ SS

CHECKED BY IB

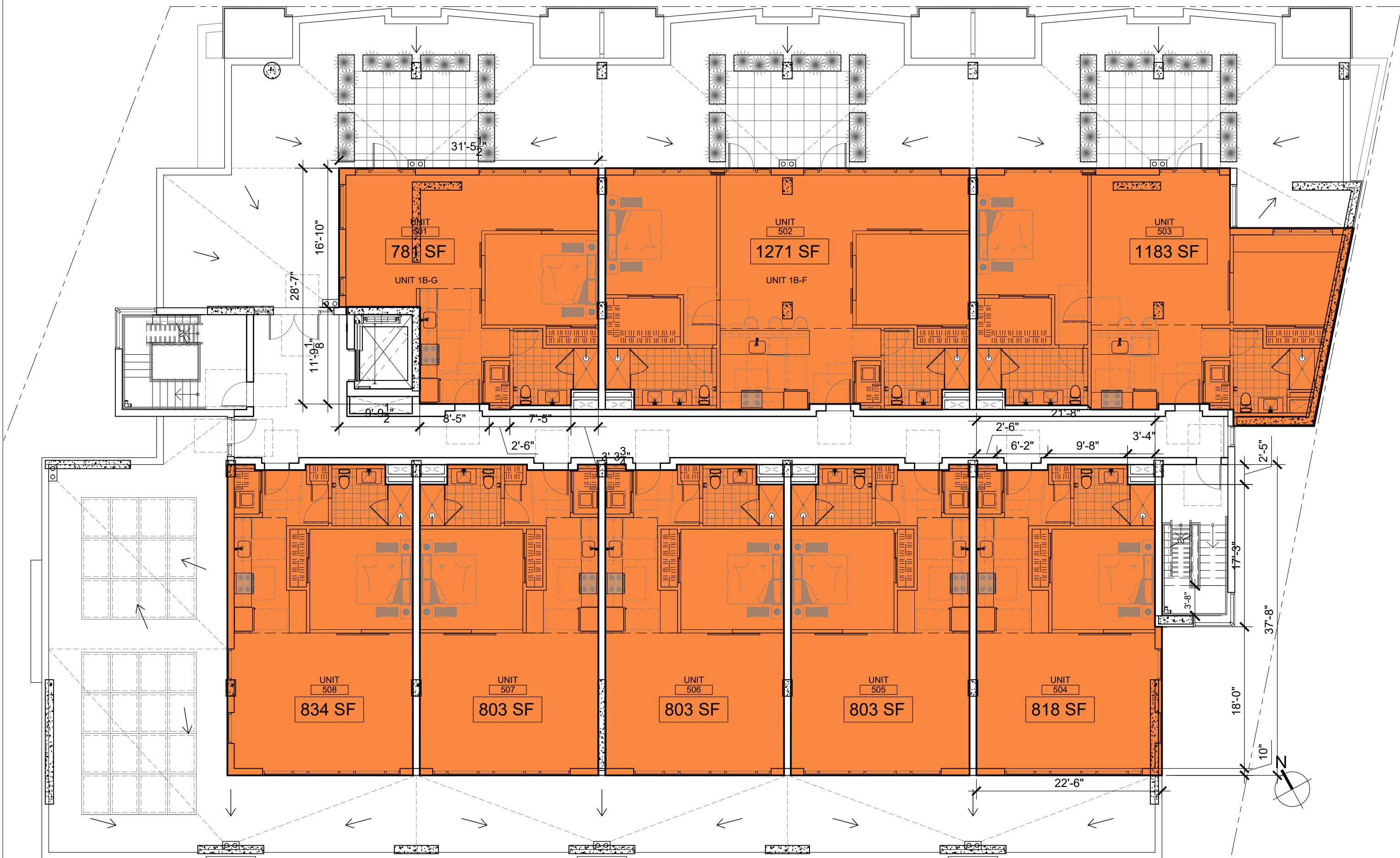
JOB NO. 2006

A-5.11

SHEET NO.

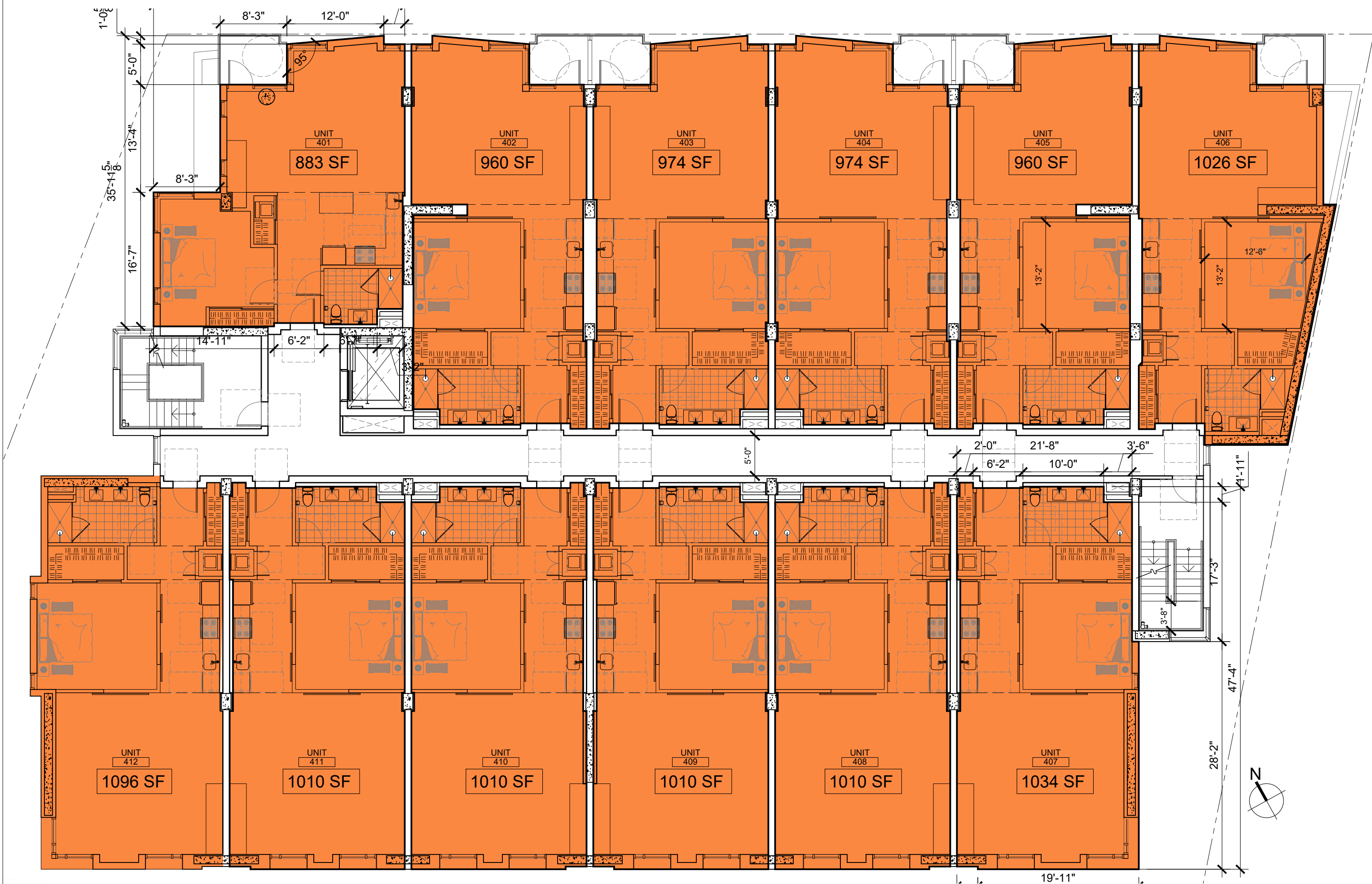
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P5 LEVEL PLAN
SCALE: 3/32"=1'-0"

4



P4 LEVEL PLAN
SCALE: 3/32"=1'-0"

3



P2 & P3- LEVEL PLAN
SCALE: 3/32"=1'-0"

1

RESIDENTIAL FLOOR AREA CALCULATED PER BURLINGAME MUNICIPAL CODE 25.82.020 (r)		
LEVEL	UNIT #	RESIDENTIAL SF
P2	201	883
	202	960
	203	974
	204	974
	205	960
	206	1026
	207	1034
	208	1010
	209	1010
	210	1010
	211	1010
	212	1096
P3	301	883
	302	960
	303	974
	304	974
	305	960
	306	1026
	307	1034
	308	1010
	309	1010
	310	1010
	311	1010
	312	1096
P4	401	883
	402	960
	403	974
	404	974
	405	960
	406	1026
	407	1034
	408	1010
	409	1010
	410	1010
	411	1010
	412	1096
P5	501	781
	502	1271
	503	1183
	504	818
	505	803
	506	803
	507	803
	508	834
TOTAL SF=		43137

NOTE:
FIRST FLOOR AND ROOF
EXCLUSIVELY CONTAIN
OUTDOOR SPACE, COMMON
SPACE, PARKING, STAIRS,
ELEVATORS AND OTHER
AMENITIES THAT ARE
EXEMPT FROM RESIDENTIAL
FLOOR AREA
MEASUREMENTS PER PER
BURLINGAME MUNICIPAL
CODE 25.82.020 (r)



177 Post Street,
Suite 920
San Francisco,
CA 94108

tel: (415) 512-9660
fax: (415) 512-9663
www.ibadesign.com

PROJECT NAME
**CALIFORNIA DRIVE
LIVE-WORK**

619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT
Edward Duffy

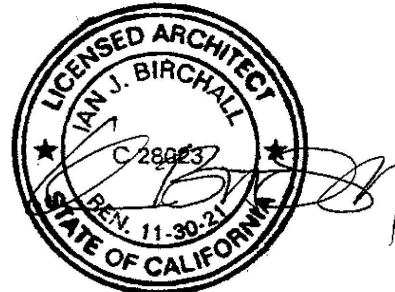
For Ownership LLC (TBD)

625 California Drive,
Burlingame, CA 94010

NOT FOR CONSTRUCTION

PROJECT TEAM
ARCHITECT
Ian Birchall + Associates
415-512-9660
CIVIL ENGINEER
MacLeod and Associates
650-593-8560
LANDSCAPE ARCHITECT
PGAdesign, Inc
510-465-1264
SURVEYOR
Frederick T. Seher & Associates, Inc.
415-921-7690
GEOTECH ENGINEER
Rorrig Engineers Inc.
650-591-5224

3	01/25/2021	POST DESIGN REVIEW REVISIONS
2	11/02/2020	DESIGN REVIEW STUDY SESSION
1	10/07/2020	INITIAL DESIGN REVIEW #1-RESPONSE
0	08/28/2020	RECOLOGY COORD.
0	07/20/2020	CITY SUBMISSION SET
REV	DATE	ISSUE



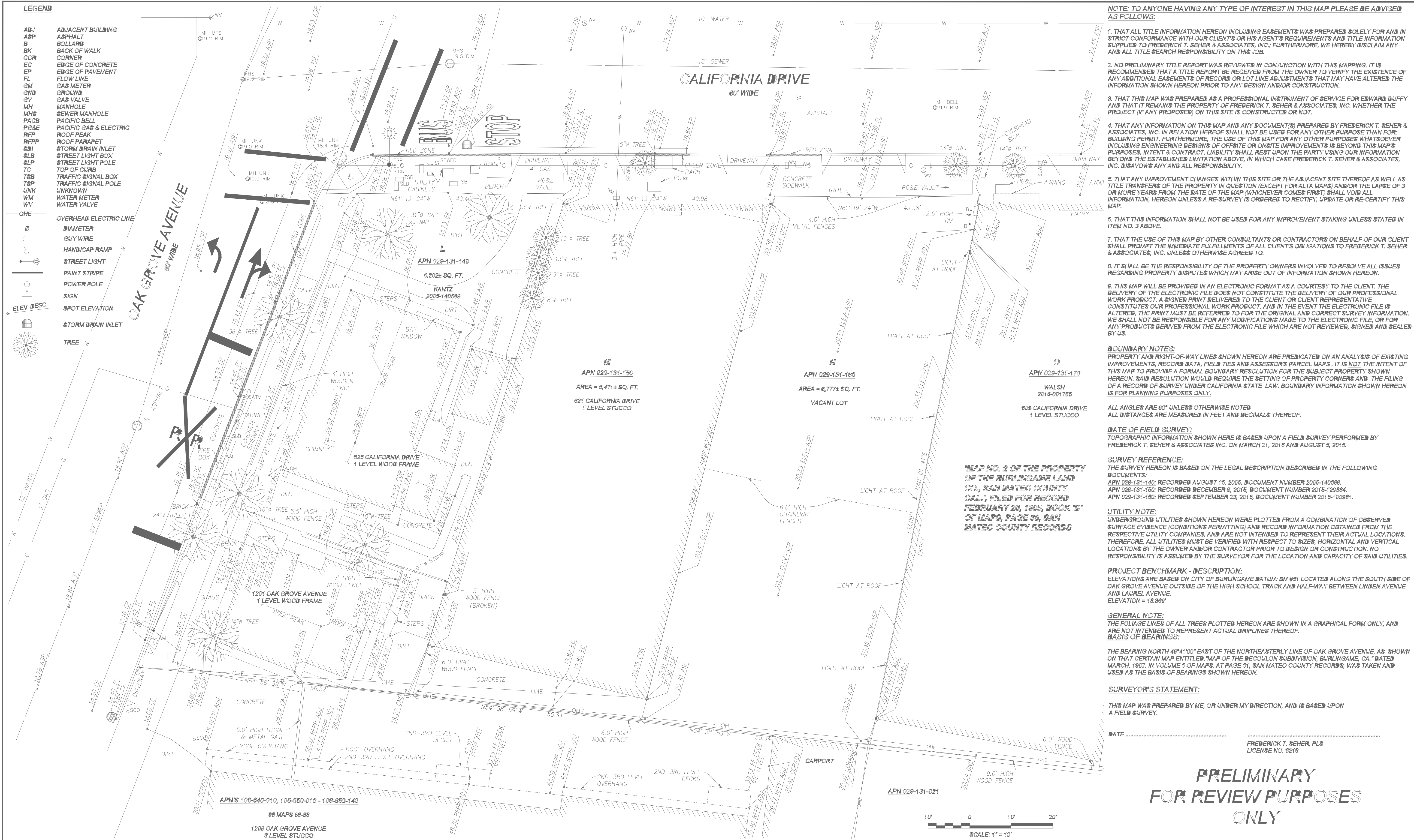
SHEET DESCRIPTION
**RESIDENTIAL FLOOR
AREAS FOR IMPACT
FEES**

DATE	1/25/2021
SCALE	As indicated
DRAWN BY	VP/ SS
CHECKED BY	IB
JOB NO.	2006

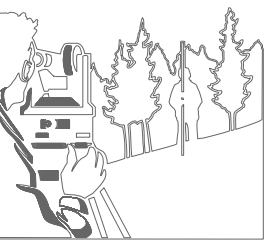
A-6.00

SHEET NO.

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DATE: OCTOBER 17, 2016	NO.	BY	DATE	REVISIONS
SCALE: 1" = 10'				
DRAWN BY: HRF/EC				
DRAWING NAME: 1957-18				
SURVEYED BY: FTS				
CHECKED BY: EF				
CHECKED BY:				



FREDERICK T. SEHER & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
SURVEYING & MAPPING
841 LOMBARD STREET, SAN FRANCISCO, CA 94133
(415) 921-7890 FAX (415) 921-7858

ARCHITECTURAL SITE SURVEY
619-625 CALIFORNIA DRIVE, BURLINGAME
APN'S 029-131-140, 150 & 160

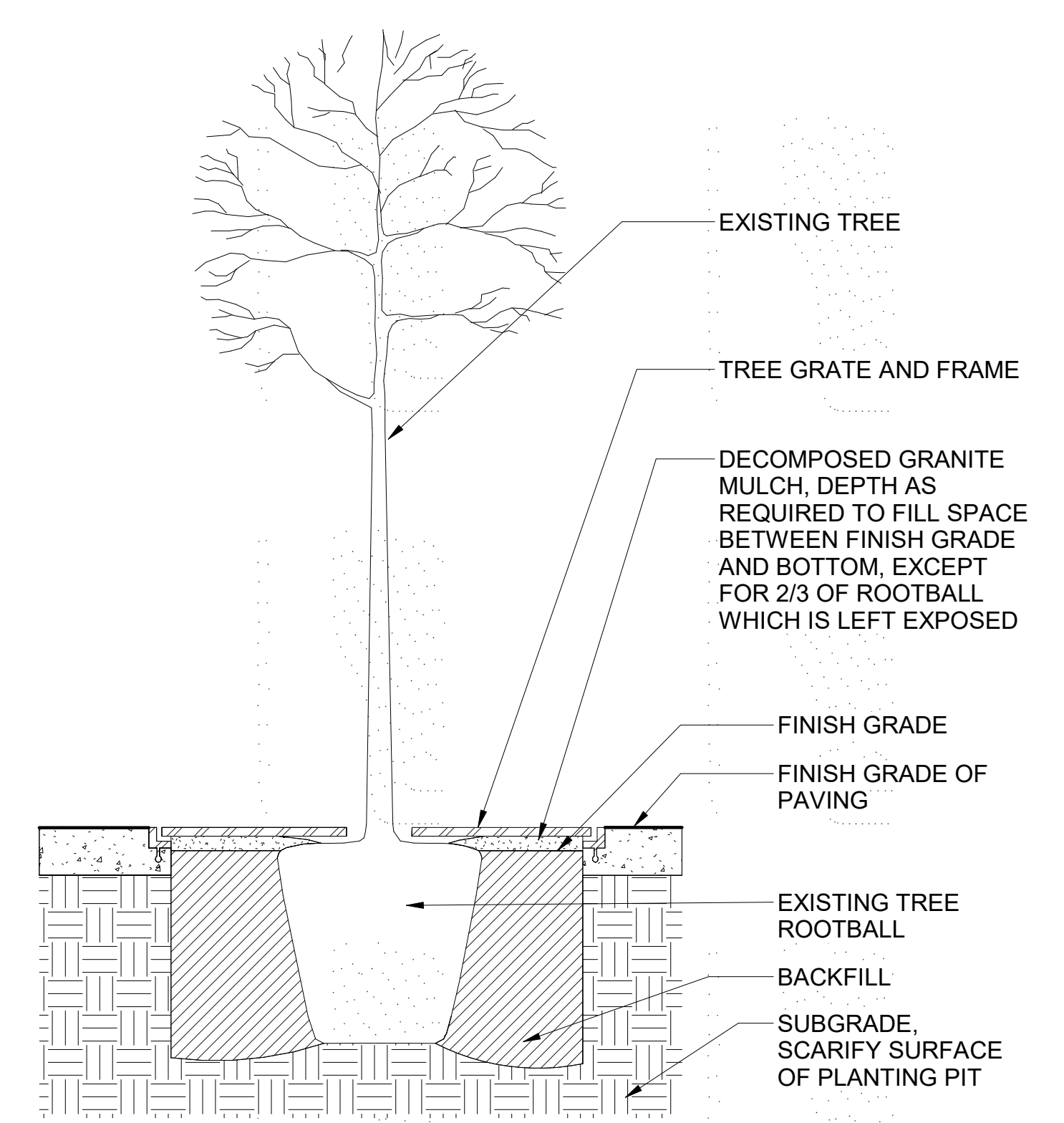
SHEET	1
OF 1 SHEETS	
JOB NO.:	1987-18



1 PGA Level 1 Materials and Layout
1" = 10'-0"

LANDSCAPE LEGEND

- CITY STANDARD SIDEWALK GRAY CONCRETE
- PERVIOUS PAVERS OVER GRAVEL
- PERVIOUS PAVING PADS
- PLANTING AREA WITH SHRUBS AND IRRIGATION
- FLOW THROUGH PLANTING AREA
SEE CIVIL DRAWING
- GRAVEL AND BOULDERS
- 6" WIDE CIP CONCRETE WALL WITH TILE
- CUSTOM WOOD BENCH
- EXISTING TREE TO REMOVE
- EXISTING TREE TO REMAIN
-USE TREE PROTECTION FENCING PRIOR TO START OF CONSTRUCTION
-TREE WELL TO BE FLUSH WITH PAVEMENT, DO NOT DISTURB ROOT SYSTEM
- PROPOSED TREE



2 EXISTING STREET TREE IN GRATE
1/2" = 1'-0"

444 17th St
Oakland, CA 94612
tel: (510) 465-1284
www.pgadesign.com

PROJECT NAME
**CALIFORNIA DRIVE
LIVE-WORK
(BURLINGAME 1, V2)**

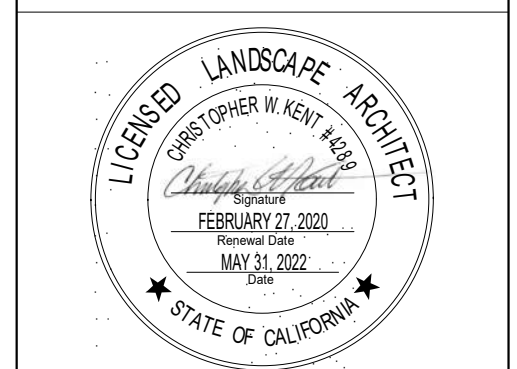
619-625 California Drive,
Burlingame, CA 94010
APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT
Edward Duffy
For Ownership LLC (TBD)
625 California Drive,
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NOT FOR CONSTRUCTION

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3	01/25/2021	POST DESIGN REVIEW REVISIONS
2	11/02/2020	DESIGN REVIEW STUDY SESSION
1	10/07/2020	CITY COMMENTS RESUBMITTAL
0	07/20/2020	CITY SUBMISSION SET



SHEET DESCRIPTION
**LANDSCAPE SITE
PLAN - LEVEL 1**

DATE	01/25/2021
SCALE	1" = 10'-0"
DRAWN BY	KT
CHECKED BY	CK
JOB NO.	2006

L-01.00

SHEET NO.

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619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

CLIENT Edward Duffy
For Ownership LLC (TBD)
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NOT FOR CONSTRUCTION

PROJECT TEAM

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CIVIL ENGINEER
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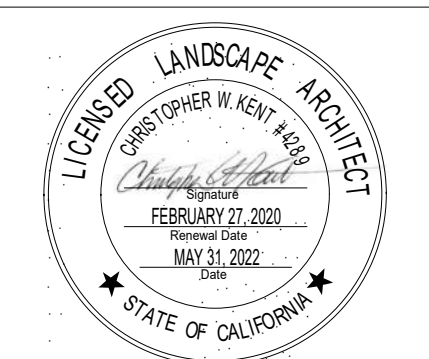
LANDSCAPE ARCHITECT
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SURVEYOR
Fredrick T Seher & Associates, Inc.
415-921-7690

GEOTECH ENGINEER
Romig Engineers Inc
650-591-5224

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1	10/07/2020	CITY COMMENTS RESUBMITTAL
0	07/20/2020	CITY SUBMISSION SET

REV	DATE	ISSUE
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SHEET DESCRIPTION

LANDSCAPE SITE
PLAN - LEVEL 5

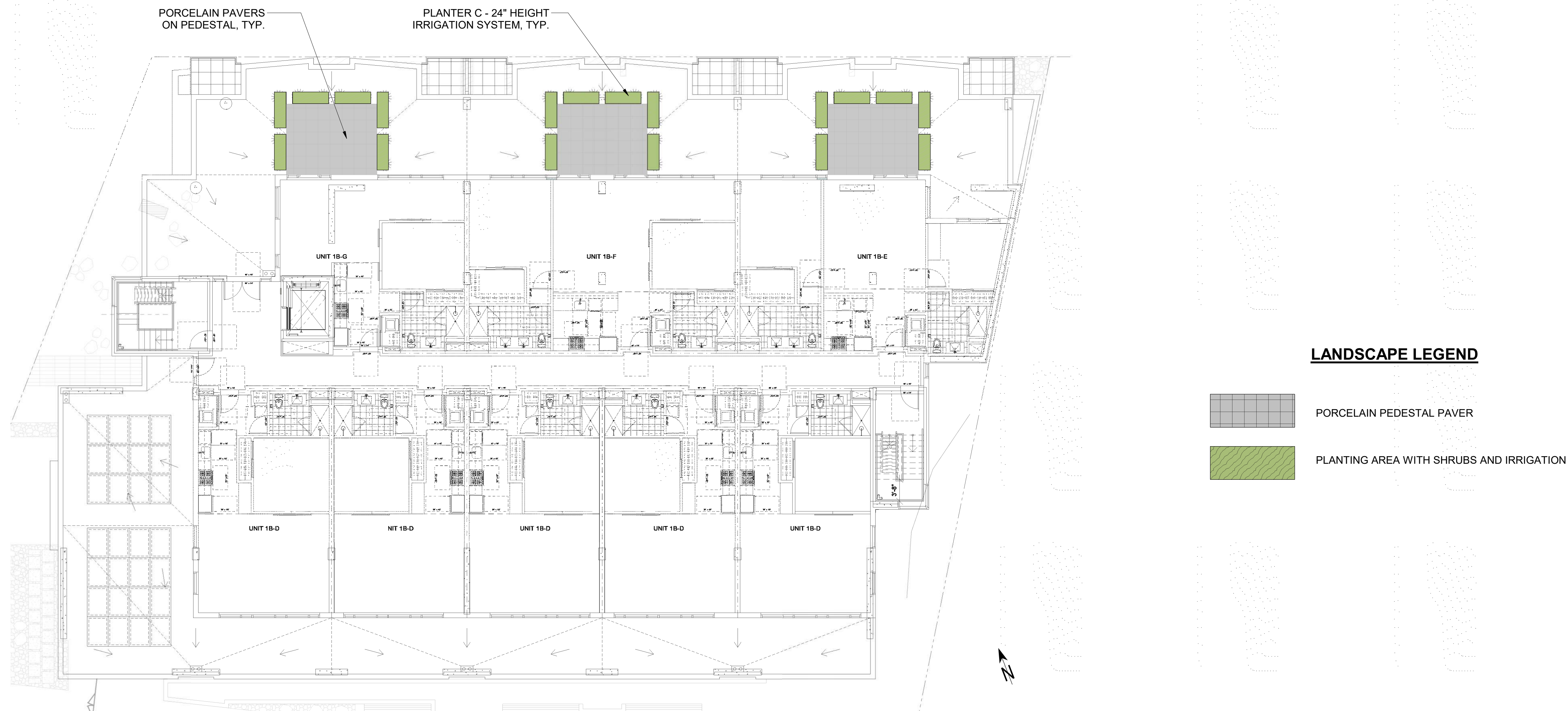
DATE	01/25/2021
SCALE	1" = 10'-0"
DRAWN BY	KT
CHECKED BY	CK
JOB NO.	2006

L-01.01

SHEET NO.

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1 PGA Level 5 Materials and Layout
1" = 10'-0"



CANTILEVER WOOD BENCH



LOW CORTEN PLANTER



BOULDERS AND GRAVEL



① VIEW EAST TOWARDS REAR YARD SEATING
1" = 1'-0"



② VIEW SOUTHEAST TOWARDS MAIN ENTRANCE
1" = 1'-0"

PGAdesign
LANDSCAPE ARCHITECTS

444 17th St
Oakland, CA 94612
tel: (510) 465-1284
www.pgadesign.com

PROJECT NAME
**CALIFORNIA DRIVE
LIVE-WORK
(BURLINGAME 1, V2)**

619-625 California Drive,
Burlingame, CA 94010

APN: 029- 131- 140
029- 131- 150
029- 131- 160

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3	01/25/2021	POST DESIGN REVIEW REVISIONS
2	11/02/2020	DESIGN REVIEW STUDY SESSION
1	10/07/2020	CITY COMMENTS RESUBMITTAL
0	07/20/2020	CITY SUBMISSION SET
REV	DATE	ISSUE



SHEET DESCRIPTION
**LANDSCAPE
DETAILS AND 3D
VIEWS**

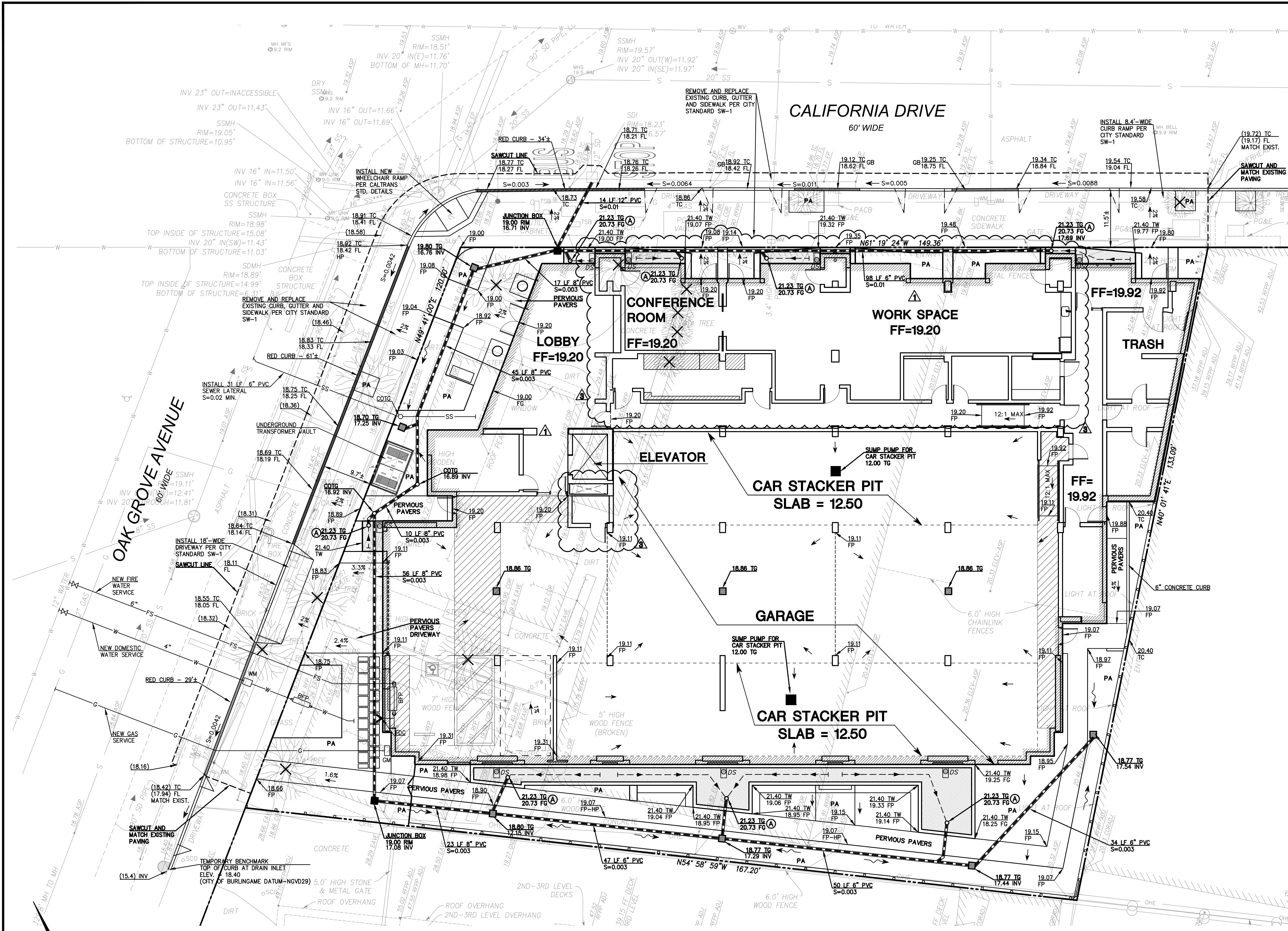
DATE	01/25/2021
SCALE	1" = 10'-0"
DRAWN BY	KT
CHECKED BY	CK
JOB NO.	2006

L-02.00

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GRADING PLAN LEGEND:

- | | |
|---------|--|
| AC PAVE | PROPERTY LINE |
| BFP | ASPHALT CONCRETE PAVEMENT |
| COTG | BACK FLOW PREVENTER |
| DS | CLEANOUT TO GRADE |
| ELEC | DOWNSPOUT |
| FDC | ELECTRIC |
| FF | FIRE DEPARTMENT CONNECTION |
| FG | FINISH FLOOR |
| FL | FINISH GRADE |
| FP | FLOWLINE |
| GB | FINISH PAVEMENT |
| GM | GRADE BREAK |
| HP | GAS METER |
| INV | HIGH POINT |
| PA | INVERT |
| TC | PLANTING AREA |
| TG | TOP OF CURB |
| TH | TOP OF GRATE |
| TW | TOP OF HEADER |
| WM | TOP OF WALL |
| | WATER METER |
| | SURFACE RUNOFF DIRECTION |
| | VEGETATED SWALE |
| | NEW STORM DRAIN LINE |
| | 4" DIA. DOWNSPOUT LINE |
| E | ELECTRIC LINE |
| G | GAS LINE |
| FS | FIRE SERVICE LINE |
| JT | JOINT TRENCH LINE |
| SS | SANITARY SEWER LINE |
| W | WATER LINE |
| | NEW DRAIN INLET |
| | EXIST. TREE TO BE REMOVED |
| DS | DOWNSPOUT WITH PRECAST CONCRETE SPLASH BLOCK IN BIOTREATMENT AREAS |
| A | 6" OVERFLOW RISER WITH ATRIUM GRATE |

SURVEY LEGEND

- | | |
|-----------|------------------------|
| ADJ | ADJACENT BUILDING |
| ASP | ASPHALT |
| B | BOLLARD |
| BK | BACK OF WALK |
| COR | CORNER |
| EC | EDGE OF CONCRETE |
| EP | EDGE OF PAVEMENT |
| FL | FLOW LINE |
| GM | GAS METER |
| GND | GROUND |
| GV | GAS VALVE |
| INV | INVERT ELEVATION |
| MH | MANHOLE |
| MH | SEWER MANHOLE |
| PACB | PACIFIC BELL |
| PG&E | PACIFIC GAS & ELECTRIC |
| RFP | ROOF PEAK |
| RFPF | ROOF PARAPET |
| SS | SANITARY SEWER |
| SD | STORM DRAIN |
| SDI | STORM DRAIN INLET |
| SLB | STREET LIGHT BOX |
| SLP | STREET LIGHT POLE |
| TC | TOP OF CURB |
| TSB | TRAFFIC SIGNAL BOX |
| TSP | TRAFFIC SIGNAL POLE |
| UNK | UNKNOWN |
| WM | WATER METER |
| WV | WATER VALVE |
| G | GAS LINE |
| OHE | OVERHEAD ELECTRIC LINE |
| S | SEWER LINE |
| W | WATER LINE |
| Ø | DIAMETER |
| — | GUY WIRE |
| — | HANDICAP RAMP |
| — | STREET LIGHT |
| — | PAINT STRIPE |
| — | POWER POLE |
| — | SIGN |
| ELEV DESC | SPOT ELEVATION |
| — | STORM DRAIN INLET |
| — | TREE |

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

IMPERVIOUS AREAS:

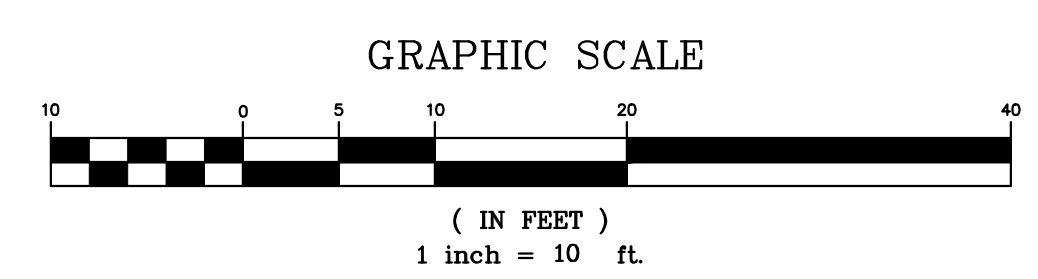
EXISTING IMPERVIOUS AREA = 17,351 S.F.
PROPOSED IMPERVIOUS AREA = 14,196 S.F.
DECREASE IN IMPERVIOUS AREA = 3,155 S.F.
(NO DETENTION REQUIRED)

GEOTECHNICAL ENGINEER'S NOTE:

EARTHWORK, UTILITY TRENCH BACKFILLING, SLAB SUBGRADE PREPARATION, FOUNDATION AND SLAB CONSTRUCTION, PAVEMENT CONSTRUCTION, AND SITE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS, INC., DATED DECEMBER 6, 2016 AND THE SUPPLEMENTAL RECOMMENDATIONS LETTER DATED MAY 21, 2019. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY EARTHWORK OR FOUNDATION CONSTRUCTION AND SHOULD OBSERVE AND TEST DURING EARTHWORK AND FOUNDATION CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT.

SURVEY NOTE:

THE EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM AN ARCHITECTURAL SITE SURVEY PLAN PREPARED BY FREDERICK T. SEHER & ASSOCIATES, INC., JOB NO. 1967-16, DATED OCTOBER 17, 2016 AND REVISED MARCH 29, 2019.



POST DESIGN REVIEW REVISIONS	01/25/21	BY:	
DESIGN REVIEW STUDY SESSION	11/02/20	REV.	
PER UPDATED SITE PLAN AND CITY COMMENTS	10/07/20	DESCRIPTION	

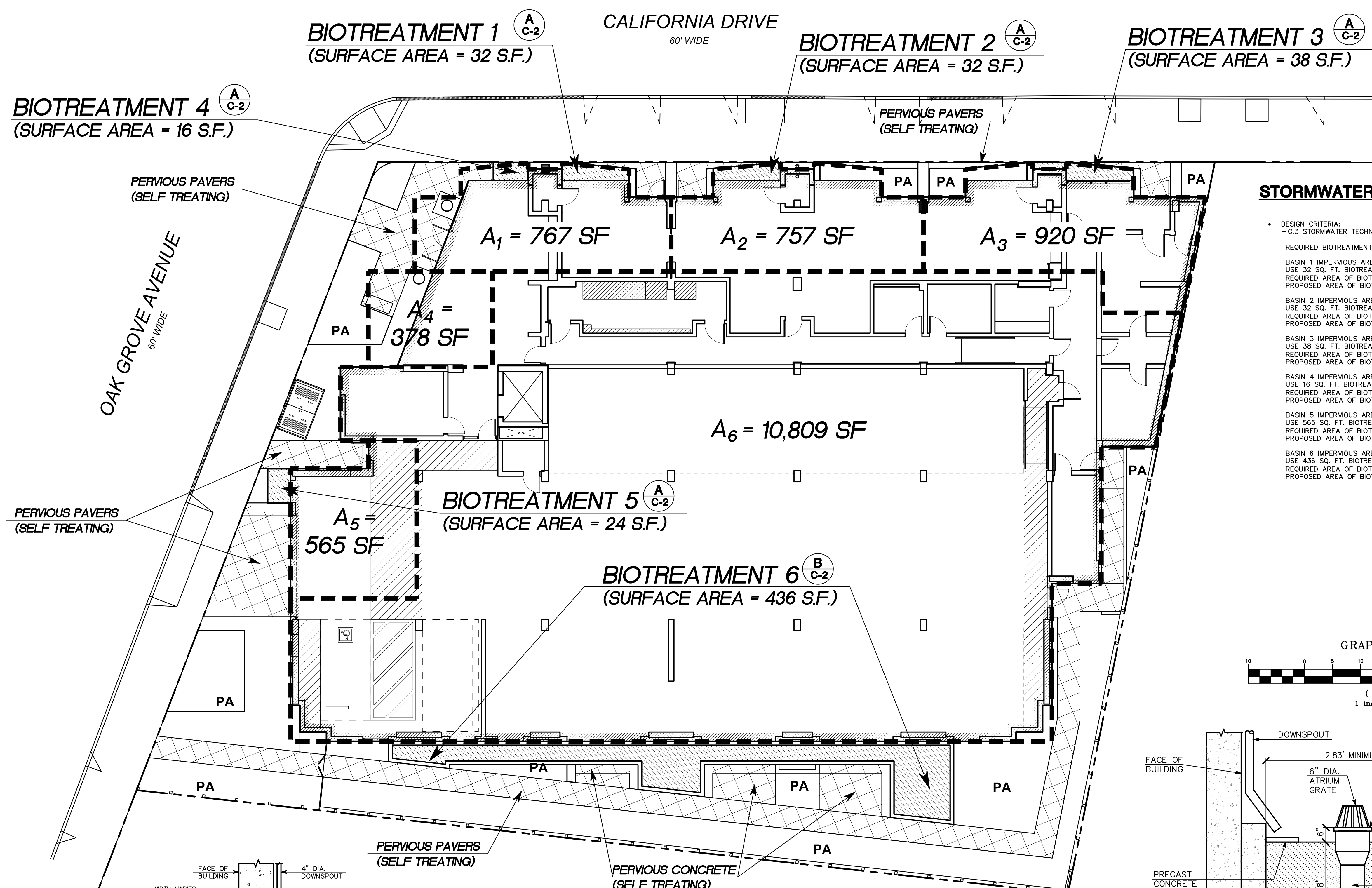
REGISTERED PROFESSIONAL ENGINEER
EDWARD DUFFY
No. 35048
CIVIL
STATE OF CALIFORNIA

MACLEOD AND ASSOCIATES
CIVIL ENGINEERING • LAND SURVEYING
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560

PREPARED FOR: **EDWARD DUFFY**

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN
619-625 CALIFORNIA DRIVE
SAN MATEO COUNTY CALIFORNIA

DRAWN BY: DJK
DESIGNED BY: DJK
CHECKED BY: DGM
SCALE: 1" = 10'
DATE: 07-20-20
DRAWING NO. 4402-GRAD
SHEET 1 OF 2



STORMWATER RUNOFF TREATMENT CALCULATIONS

DESIGN CRITERIA:
 - C.3 STORMWATER TECHNICAL GUIDANCE, CHAPTER 6.1

REQUIRED BIOTREATMENT AREA (FOOTPRINT) = 4% OF THE IMPERVIOUS SURFACE AREA

BASIN 1 IMPERVIOUS AREA = 767 S.F.
 USE 32 SQ. FT. BIOTREATMENT AREA
 REQUIRED AREA OF BIOTREATMENT = $767 (0.04) = 30.7$ S.F.
 PROPOSED AREA OF BIOTREATMENT = 32 S.F. > 30.7 S.F. OK

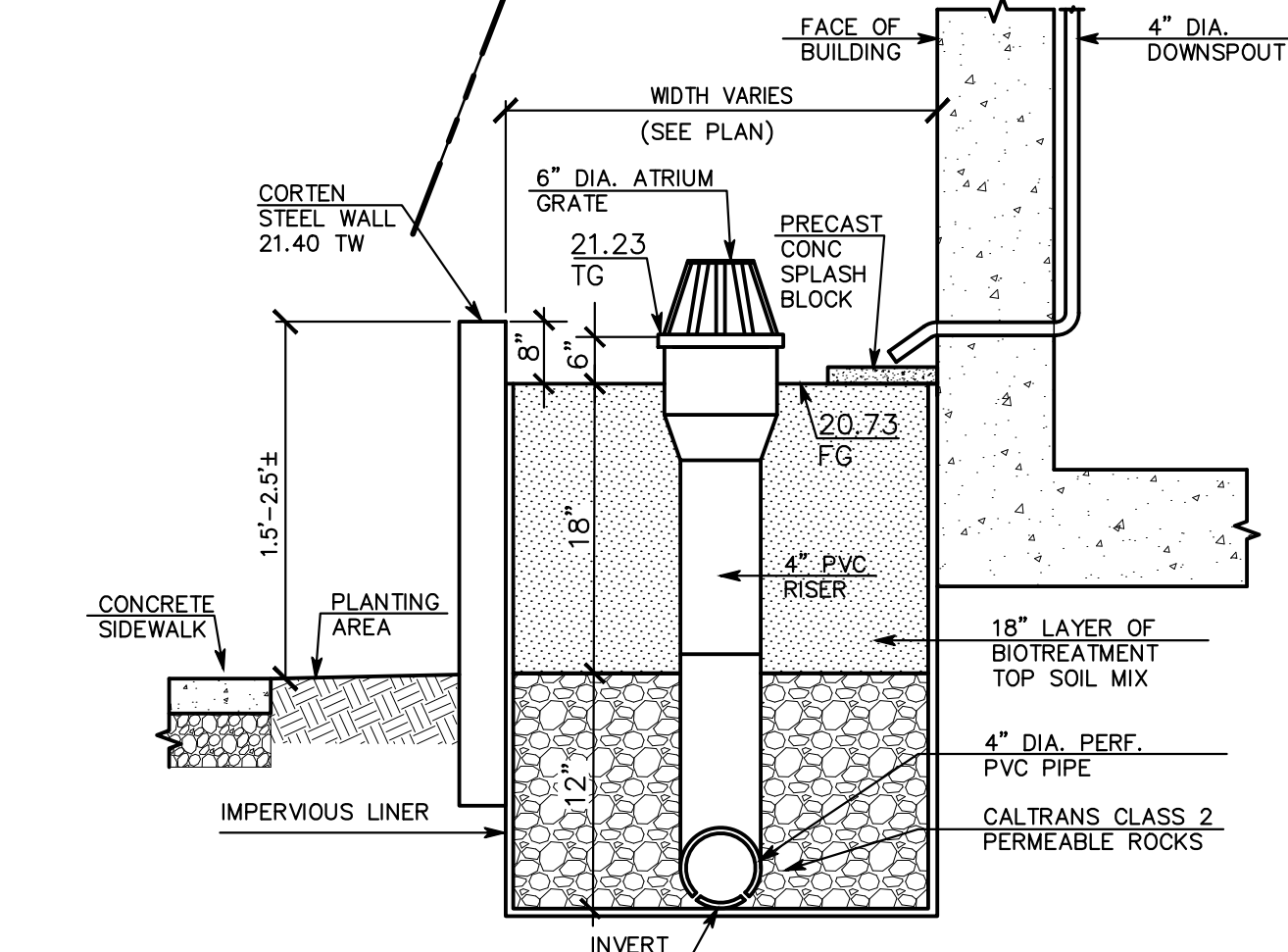
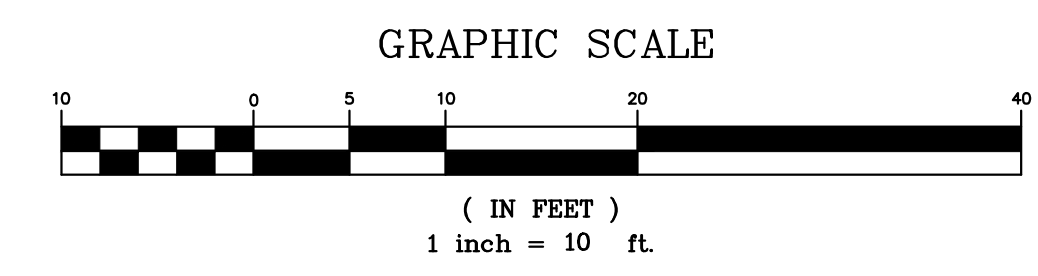
BASIN 2 IMPERVIOUS AREA = 757 S.F.
 USE 32 SQ. FT. BIOTREATMENT AREA
 REQUIRED AREA OF BIOTREATMENT = $757 (0.04) = 30.3$ S.F.
 PROPOSED AREA OF BIOTREATMENT = 32 S.F. > 30.3 S.F. OK

BASIN 3 IMPERVIOUS AREA = 920 S.F.
 USE 38 SQ. FT. BIOTREATMENT AREA
 REQUIRED AREA OF BIOTREATMENT = $920 (0.04) = 36.8$ S.F.
 PROPOSED AREA OF BIOTREATMENT = 38 S.F. > 36.8 S.F. OK

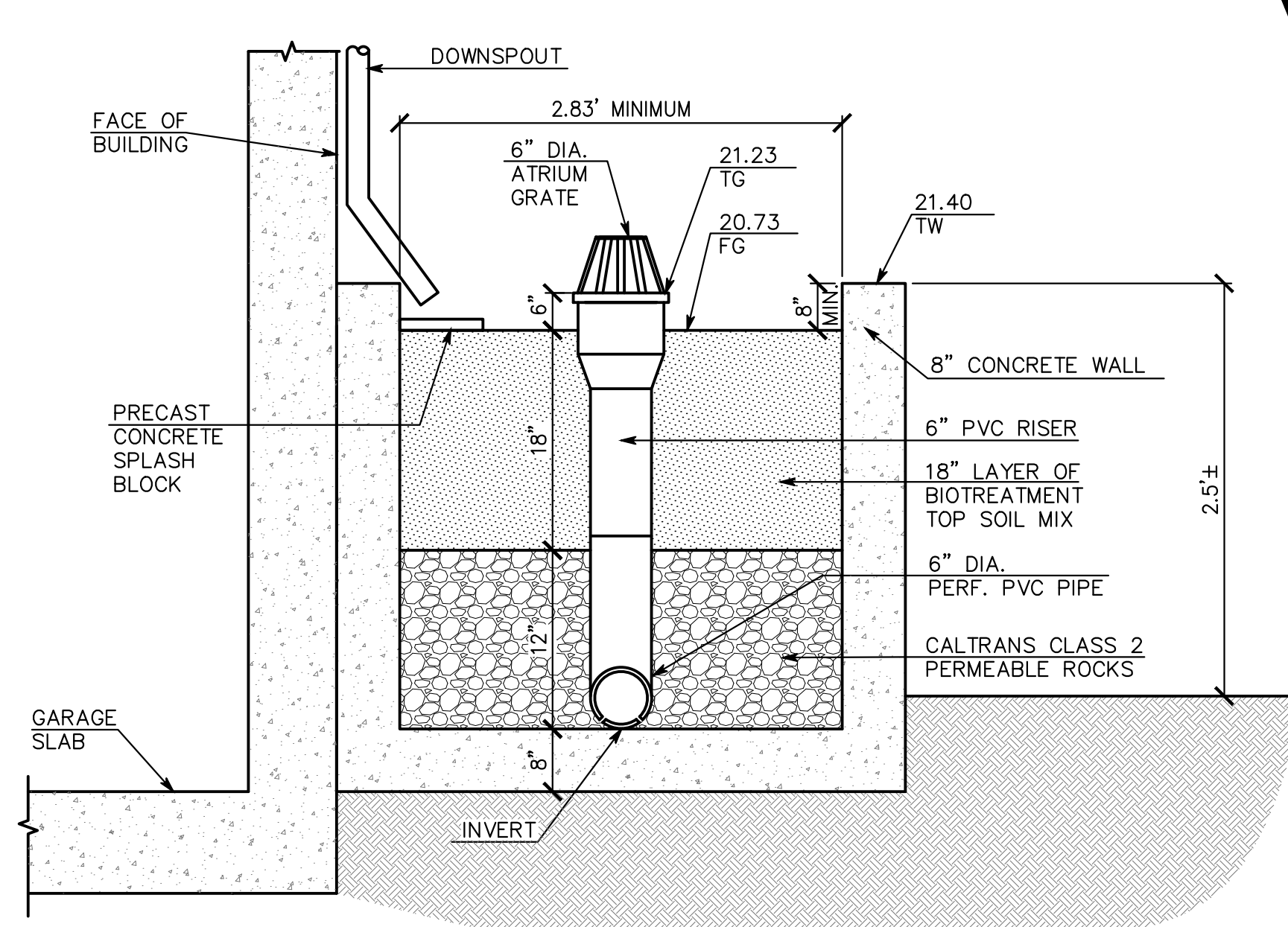
BASIN 4 IMPERVIOUS AREA = 378 S.F.
 USE 16 SQ. FT. BIOTREATMENT AREA
 REQUIRED AREA OF BIOTREATMENT = $378 (0.04) = 15.1$ S.F.
 PROPOSED AREA OF BIOTREATMENT = 16 S.F. > 15.1 S.F. OK

BASIN 5 IMPERVIOUS AREA = 565 S.F.
 USE 24 SQ. FT. BIOTREATMENT AREA
 REQUIRED AREA OF BIOTREATMENT = $565 (0.04) = 22.6$ S.F.
 PROPOSED AREA OF BIOTREATMENT = 24 S.F. > 22.6 S.F. OK

BASIN 6 IMPERVIOUS AREA = 10,809 S.F.
 USE 436 SQ. FT. BIOTREATMENT AREA
 REQUIRED AREA OF BIOTREATMENT = $10,809 (0.04) = 432.4$ S.F.
 PROPOSED AREA OF BIOTREATMENT = 436 S.F. > 432.4 S.F. OK



A FLOW THROUGH PLANTER BIOTREATMENT AREA DETAIL
 SCALE: NOT TO SCALE



B REAR SITE FLOW THROUGH PLANTER BIOTREATMENT AREA
 SCALE: (NOT TO SCALE)

POST DESIGN REVIEW REVISIONS	DATE	BY
VPG 01/25/21	01/25/21	
DESIGN REVIEW STUDY SESSION	VPG 11/02/20	
PER UPDATED SITE PLAN AND CITY COMMENTS	VPG 10/07/20	
REV.	DESCRIPTION	
3		
4		

MACLEOD AND ASSOCIATES
 CIVIL ENGINEERING • LAND SURVEYING
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

PREPARED FOR:	EDWARD DUFFY
STORMWATER TREATMENT PLAN	619-625 CALIFORNIA DRIVE
	BURLINGAME SAN MATEO COUNTY CALIFORNIA
DRAWN BY:	DJK
DESIGNED BY:	DJK
CHECKED BY:	DGM
SCALE:	1" = 10'
DATE:	07-20-20
DRAWING NO.	4402-STORM
SHEET	2 OF 2

C-2