

# 1814-20 OGDEN DRIVE

# BURLINGAME, CA



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1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION
01-11-2021	REVISION
08-27-2021	REVISION

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SCALE: AS NOTED

COVER  
SHEET

# A0.0

ABBREVIATIONS	LEGEND	GENERAL NOTES	RENDERING
<p>A/C AIR CONDITIONING ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR</p> <p>ALUM. ALUMINUM ALT. ALTERNATE APPROX. APPROXIMATELY ARCH. ARCHITECTURAL A.C.T. ACOUSTIC CEILING TILE</p> <p>BLDG. BUILDING BLKG. BLOCKING BOT. BOTTOM</p> <p>C. / CL. CENTER LINE CAB. CABINET C.G. CORNER GUARD C.H. CHANGING CLG. CEILING CLOS. CLOSET CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONN. CONNECTION CONSTR. CONSTRUCTION CORR. CORROSION C.T. CERAMIC TILE CTR. CENTER</p> <p>DET. DETAIL DEV. / Ø. DIAMETER DIM. DIMENSION DWG. DRAWING DS. DOWN SPOUT</p> <p>(E) EXISTING EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EQ. EQUIPMENT EQUIP. EQUIPMENT EXPOS. EXPOSED EXT. EXTERIOR</p> <p>F.D. FLOOR DRAIN FIN. FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.F. FACE OF FINISH F.O.S. FACE OF STUD FUR. FURRING FURR. FURRING</p> <p>G. GAGE GALV. GALVANIZED G.C. GENERAL CONTRACTOR GR. GRADE GYP. BOARD GYPSUM BOARD</p> <p>H.B. HOSE BIB HC. HANDICAPPED H.C. HOLLOW CORE HDWR. HARDWARE HGT. HEIGHT H.M. HOLLOW METAL HP. HIGH POINT H.W. HOT WATER HR. HOUR H.W. INSULATION/INSULATED INT. INTERIOR JAN. JANITOR JT. JOINT</p> <p>L.P. LOW POINT</p> <p>MAX. MAXIMUM M.C. MEDICINE CABINET M.D. MOTION DETECTOR MCH. MECHANICAL MIN. MINIMUM MTD. MOUNTED MTL. METAL</p> <p>(N) NEW N.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE O.C. ON CENTER OFF. OFFICE OPNG. OPENING OPP. OPPOSITE O.T.B. OPEN TO BELOW</p> <p>PR. PAIR P-LAM. PLASTIC LAMINATE PTD. PAINTED PLYWD. PLYWOOD P.O. PRIVATE OFFICE</p> <p>R. RISER R.D. ROOF DRAIN REQ. REQUIRED RM. ROOM R.O. ROUGH OPENING S.C. SOLID CORE STOR. STORAGE SHT. SHEET SIM. SIMILAR STR. STRUCTURAL TREAD TREAD T&amp;G. TONGUE AND GROOVE TEL. TELEPHONE TOP. TOP OF TYP. TYPICAL U.O.N. UNLESS OTHERWISE NOTED V.I.F. VERIFY IN FIELD WB. WOOD W.P. WATERPROOF</p>	<p>#/XX DETAIL REFERENCE NUMBER SHEET WHERE DETAIL IS LOCATED</p> <p>DIRECTION OF SECTION VIEW INTERIOR SECTION IDENTIFICATION/ SHEET WHERE SECTION IS LOCATED</p> <p>#/X.XX SHEET WHERE ELEVATION IS LOCATED</p> <p>ELEVATION REFERENCE NUMBER</p> <p>101 DOOR SYMBOL</p> <p>W-Ø WINDOW SYMBOL</p> <p>X.XX WALL / FLOOR TYPE SYMBOL</p> <p>ELEVATION DATUM</p> <p>X'-X" CEILING HEIGHT</p> <p>REVISION SYMBOL</p> <p>WALL-MOUNTED INCANDESCENT SCENCE LIGHT FIXTURE</p> <p>WALL-MOUNTED COMPACT FLUORESCENT SCENCE LIGHT FIXTURE</p> <p>RECESSED INCANDESCENT LIGHT FIXTURE AT CEILING</p> <p>RECESSED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING</p> <p>SURFACE-MOUNTED COMPACT FLUORESCENT LIGHT FIXTURE AT CEILING</p> <p>COMBINATION EXHAUST FAN AND COMPACT FLUORESCENT LIGHT FIXTURE, RECESSED AT CEILING</p> <p>SURFACE-MOUNTED FLUORESCENT STRIP LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)</p> <p>SURFACE-MOUNTED TRACK LIGHT FIXTURE, CEILING-MOUNTED (WITH LENGTH AS INDICATED)</p> <p>EMERGENCY LIGHT FIXTURE WITH BATTERY PACK, CEILING OR WALL-MOUNTED</p> <p>EXIT LIGHT FIXTURE WITH BATTERY BACK-UP, CEILING OR WALL-MOUNTED (WITH DIRECTIONAL ARROWS AS REQUIRED)</p> <p>ONE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>TWO-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>THREE-WAY SWITCH, MOUNTED AT +48" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET, MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET (WATERPROOF) MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET, (DEDICATED) MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET, WITH GROUND FAULT INTERRUPTER, MOUNTED AT +44" A.F.F., U.O.N.</p> <p>DUPLEX OUTLET (FOR DISHWASHER), MOUNTED UNDER KITCHEN CABINET</p> <p>TELEPHONE JACK, MOUNTED AT +15" A.F.F., U.O.N.</p> <p>DATA JACK, MOUNTED AT +15" A.F.F., U.O.N.</p>	<p>GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.</p> <p>EXISTING CONDITIONS: CONDITIONS SHOWN OF THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.</p> <p>PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPTING THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.</p> <p>CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL, MECHANICAL, AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY AND/OR COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.</p> <p>SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS PERFORMED.</p> <p>CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF THE EACH DAY. AT THE COMPLETION OF THE CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.</p> <p>PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING OF SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.</p> <p>ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE PROVIDED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR.</p> <p>"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.</p> <p>"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.</p> <p>SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.</p> <p>SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.</p> <p>DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT OR OWNER.</p> <p>GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK.</p> <p>COLUMN CENTERLINES (ALSO REFERRED TO AS GRIDLINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).</p> <p>CONSTRUCTION HOURS: WEEKDAYS: 8:00A.M. - 7:00P.M.; SATURDAYS : 9:00A.M. - 6:00P.M.; SUNDAYS AND HOLIDAYS: NO WORK ALLOWED; (SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTIONS 18.07.110 AND 13.04.100 FOR DETAILS) CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00A.M. AND 5:00P.M.</p> <p>ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.</p> <p>AN OSHA PERMIT TO BE OBTAINED FOR THE SHORING* AT THE EXCAVATION IN THE BASEMENT PER CAL/OSHA REQUIREMENTS. SEE CAL/OSHA HANDBOOK. *CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.</p> <p>GRADING PERMIT, IF REQUIRED, TO BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.</p> <p>WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.</p>	
DRAWING INDEX		SUMMARY / SCOPE OF WORK	
<p>GENERAL</p> <p>A0.0 COVER SHEET</p> <p>A0.1 GREEN BUILDING MEASURES</p> <p>A0.1b SITE CONTEXT</p> <p>A0.2a EGRESS PLANS</p> <p>A0.2b EGRESS PLANS</p> <p>A0.3 ACCESS PLANS</p> <p>A0.4a AREA CALCULATIONS</p> <p>A0.4b OPEN SPACE CALCULATIONS</p> <p>A0.4c BUILDING SETBACK DIAGRAM</p> <p>A0.4d UNIT MATRIX &amp; CALCULATIONS</p> <p>A0.5 EXTERIOR WALL OPENING DIAGRAM</p> <p>A0.7 DETAILS: ACCESSIBILITY</p> <p>A0.8 DETAILS: ACCESSIBILITY</p> <p>A0.9 DETAILS: ACCESSIBILITY</p> <p>CIVIL</p> <p>T-1 PRELIMINARY GRADING, DRAINAGE, &amp; UTILITY PLAN</p> <p>T-2 STORMWATER MANAGEMENT PLAN</p> <p>T-3 SECTIONS AND PROFILES</p> <p>LANDSCAPE</p> <p>L1.1 ARBOR CARE PLAN</p> <p>L2.1 LAYOUT PLAN: GROUND FLOOR, SITE</p> <p>L2.2 LAYOUT PLAN: GROUND FLOOR, FRONT</p> <p>L2.3 LANDSCAPED SETBACK AREA CALCULATIONS</p> <p>L2.4 LAYOUT PLAN: SECOND FLOOR</p> <p>L2.5 LAYOUT PLAN: SECOND FLOOR, PODIUM</p> <p>L3.1 PLANTING PLAN: GROUND FLOOR, SITE</p> <p>L3.2 PLANTING PLAN: GROUND FLOOR, FRONT</p> <p>L3.3 PLANTING PLAN: SECOND FLOOR, PODIUM</p>	<p>ARCHITECTURAL</p> <p>A1.0 SITE PLAN: DEMOLITION</p> <p>A1.1 SITE PLAN: NEW</p> <p>A2.0 FLOOR PLAN: BASEMENT &amp; GROUND FLOOR</p> <p>A2.1 FLOOR PLAN: 2ND &amp; 3RD FLOOR</p> <p>A2.2 FLOOR PLAN: 4TH, 5TH &amp; 6TH FLOOR</p> <p>A2.3 ROOF PLAN</p> <p>A3.0 RENDERINGS</p> <p>A3.1 BUILDING ELEVATIONS</p> <p>A3.2 BUILDING ELEVATIONS</p> <p>A4.1 BUILDING SECTIONS</p> <p>A4.2 BUILDING SECTIONS</p> <p>A5.1 ENLARGED UNIT PLANS: UNIT A,B1, &amp; B2</p> <p>A5.2 ENLARGED UNIT PLANS: UNIT C1,C2,D, &amp; E1</p> <p>A5.3 ENLARGED UNIT PLANS: UNIT E2,E3,F, &amp; G</p> <p>A5.4 ENLARGED UNIT PLANS: UNIT H,J,K &amp; L</p> <p>A5.5 ENLARGED UNIT PLANS: UNIT M1,M2,M3 &amp; N1</p> <p>A5.6 ENLARGED UNIT PLANS: UNIT N2 &amp; N3</p>	<p>NEW CONSTRUCTION OF A PRIVATELY FUNDED 6-STORY CONDOMINIUM BUILDING UNDER TIER 3 DEVELOPMENT STANDARDS FOR THE NORTH BURLINGAME MIXED USE (NBMU) DISTRICT: 90 RESIDENTIAL UNITS WITH GROUND &amp; BASEMENT LEVEL PARKING. THREE COMMUNITY BENEFITS ARE BEING PROVIDED AS SUCH:</p> <ol style="list-style-type: none"><li>1. AFFORDABLE HOUSING AT FIVE PERCENT FOR LOW-INCOME HOUSEHOLDS.</li><li>2. PUBLIC PLAZA (2,000 SQ.FT. MIN. REQUIRED) PROVIDING 2,340 SQ.FT.</li><li>3. UTILIZING RENEWABLE ENERGY SOURCE</li></ol> <p>1. THIS PROJECT WILL NOT BE USING ANY PUBLIC MONEY TO CONSTRUCT THIS PROJECT.</p> <p>2. THIS PROJECT WILL NOT BE USING ANY TAX CREDIT OR REBATES TO CONSTRUCT THIS PROJECT.</p>	<p>ADDRESS: 1814-20 OGDEN DRIVE, BURLINGAME, CA 94010</p> <p>A.P.N: 025-121-110-10, 025-121-110-20</p> <p>LOT SIZE: 33,336 SQ. FT. (0.765 ACRE)</p> <p>ZONING DISTRICT: NORTH BURLINGAME MIXED USE DISTRICT; TIER 3 DEVELOPMENT STANDARDS</p> <p>DENSITY: 140 UNITS/ACRE</p> <p>ALLOWED: 107 UNITS</p> <p>PROPOSED: 90 UNITS</p> <p>HEIGHT LIMIT: 75'-0" PER TIER 3 DEVELOPMENT STANDARDS</p> <p>ALLOWED: 72'-1" T.O. HIGHEST PARAPET</p> <p>PROPOSED: 10'-0" FRONT SETBACKS: 10'-0" + 35% ABOVE 35' AN ADDITIONAL 5' + 80% ABOVE 55' AN ADDITIONAL 10'</p> <p>PROPOSED: 10'-0" SIDE SETBACKS: 10'-0" 15'-0" REAR SETBACKS:</p> <p>LOT COVERAGE: 80% ALLOWED: 70.74% PROPOSED (23,583 SQ.FT.)</p> <p>BUILDING AREA: SEE A0.4a FOR BUILDING AREA CALCULATION</p> <p>UNIT MATRIX: 20 STUDIOS (22%) 15 1 BEDROOM UNITS (17%) 55 2 BEDROOM UNITS (61%) TOTAL = 90 UNITS</p> <p>PARKING: REQUIRED: STUDIO = 1 SPACE/UNIT (377 - 442 SF) 1 BEDROOM UNIT = 1 SPACE/UNIT (674 - 744 SF) 2 BEDROOM UNIT = 2 SPACES/UNIT (1348 - 1488 SF) TOTAL REQUIRED = 145 SPACES</p> <p>PROPOSED: 145 PARKING SPACES (7 ADA PARKING SPACES)</p> <p>BICYCLE PARKING REQUIRED: CLASS I: 0.5 SPACES/UNIT = 45 SPACES CLASS II: 0.05 SPACES/UNIT = 5 SPACES</p> <p>PROVIDED: CLASS I: 50 SPACES CLASS II: 6 SPACES</p> <p>OPEN SPACE: REQUIRED: 100 SF/UNIT</p> <p>PROPOSED: SEE A0.4b FOR OPEN SPACE CALCULATIONS</p>
BUILDING DATA		CONTACT LIST	
<p>ADDRESS: 1814-20 OGDEN DRIVE, BURLINGAME, CA 94040</p> <p>A.P.N: 025-121-110-10, 025-121-110-20</p> <p>LOT SIZE: 33,336 SQ. FT.</p> <p>CODES: 2019 CALIFORNIA BUILDING CODE (CBC)</p> <p>CONSTRUCTION TYPE: IA &amp; IIA</p> <p>FIRE RATINGS: TYPE III-A</p> <p>PRIMARY STRUCTURAL FRAME: 0 HOUR (CBC TABLE 601)*</p> <p>BEARING EXTERIOR WALLS: 2 HOUR (CBC TABLE 601)**</p> <p>BEARING INTERIOR WALLS: 0 HOUR (CBC TABLE 601)*</p> <p>NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 602)**</p> <p>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)*</p> <p>FLOOR CONSTRUCTION: 0 HOUR (CBC TABLE 601)*</p> <p>ROOF CONSTRUCTION: 0 HOUR (CBC TABLE 601)*</p> <p>EXIT ENCLOSURES: 2 HOURS (CBC 1022.1)</p> <p>* PER TABLE 601, NOTE D, AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL BE ALLOWED TO BE SUBSTITUTED FOR 1-HOUR FIRE RESISTANCE-RATE CONSTRUCTION, PROVIDED SUCH SYSTEM IS NOT OTHERWISE REQUIRED BY OTHER PROVISIONS OF THE CODE OR USED FOR AN ALLOWABLE AREA INCREASE IN ACCORDANCE WITH SECTION 506.3 OR ALLOWABLE HEIGHT INCREASE IN ACCORDANCE WITH SECTION 504.2. THE 1-HOUR SUBSTITUTION FOR THE FIRE RESISTANCE OF EXTERIOR WALLS SHALL NOT BE PERMITTED.</p> <p>** WALLS TO BE FRAMED WITH FIRE-RETARDANT-TREATED WOOD FRAMING COMPLYING WITH SECTION 2303.2</p>	<p>1814-20 OGDEN DRIVE, BURLINGAME, CA 94040</p> <p>025-121-110-10, 025-121-110-20</p> <p>33,336 SQ. FT.</p> <p>2019 CALIFORNIA BUILDING CODE (CBC)</p> <p>CONSTRUCTION TYPE: IA &amp; IIA</p> <p>FIRE RATINGS: TYPE III-A</p> <p>PRIMARY STRUCTURAL FRAME: 0 HOUR (CBC TABLE 601)*</p> <p>BEARING EXTERIOR WALLS: 2 HOUR (CBC TABLE 601)**</p> <p>BEARING INTERIOR WALLS: 0 HOUR (CBC TABLE 601)*</p> <p>NON-BEARING EXTERIOR WALLS: VARIES (CBC TABLE 602)**</p> <p>NON-BEARING INTERIOR WALLS: NO RATING (CBC TABLE 601)*</p> <p>FLOOR CONSTRUCTION: 0 HOUR (CBC TABLE 601)*</p> <p>ROOF CONSTRUCTION: 0 HOUR (CBC TABLE 601)*</p> <p>EXIT ENCLOSURES: 2 HOURS (CBC 1022.1)</p> <p>* PER TABLE 601, NOTE D, AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL BE ALLOWED TO BE SUBSTITUTED FOR 1-HOUR FIRE RESISTANCE-RATE CONSTRUCTION, PROVIDED SUCH SYSTEM IS NOT OTHERWISE REQUIRED BY OTHER PROVISIONS OF THE CODE OR USED FOR AN ALLOWABLE AREA INCREASE IN ACCORDANCE WITH SECTION 506.3 OR ALLOWABLE HEIGHT INCREASE IN ACCORDANCE WITH SECTION 504.2. THE 1-HOUR SUBSTITUTION FOR THE FIRE RESISTANCE OF EXTERIOR WALLS SHALL NOT BE PERMITTED.</p> <p>** WALLS TO BE FRAMED WITH FIRE-RETARDANT-TREATED WOOD FRAMING COMPLYING WITH SECTION 2303.2</p>	<p>OWNER OGDEN PROPERTIES MGMT, LLC 311 9TH AVENUE SAN MATEO, CA 94401</p> <p>CONTACT: GALEN MA</p> <p>LANDSCAPE ARCHITECT CHRIS FORD LANDSCAPE ARCHITECTURE 74 DUDLEY AVENUE PIEDMONT, CA 94611 510/326-8022</p> <p>CONTACT: CHRIS FORD</p> <p>ARCHITECT LEVY DESIGN PARTNERS 90 SOUTH PARK SAN FRANCISCO, CA 94107 TEL: 415/777-0561 FAX: 415/777-5117</p> <p>CONTACT: FRANCO ZARAGOZA</p> <p>CIVIL ENGINEER MACLEOD &amp; ASSOCIATES 965 CENTER STREET SAN CARLOS, CA 94070 TEL: 650/593-8580 X12 FAX: 510/593-8675</p> <p>CONTACT: DAN MACLEOD</p>	
AREA MAP		ACCESS REGULATIONS	
	<p>PROJECT SITE</p> <p>TRUE NORTH</p> <p>PROJECT NORTH</p>	<p>APPLICABLE STANDARDS</p> <ul style="list-style-type: none"><li>• NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS, 2013 EDITION</li><li>• NFPA 13 AUTOMATIC SPRINKLER SYSTEMS, 2019 EDITION</li><li>• NFPA 14 STANDPIPE SYSTEMS, 2019 EDITION</li><li>• NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION</li><li>• NFPA 17a WET CHEMICAL SYSTEMS, 2017 EDITION</li><li>• NFPA 20 STATIONARY PUMPS, 2019 EDITION</li><li>• NFPA 24 PRIVATE FIRE MAINS, 2019 EDITION</li><li>• NFPA 72 NATIONAL FIRE ALARM CODE, 2019 EDITION</li><li>• NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS, 2015 EDITION</li><li>• NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2015 EDITION</li><li>• ASME 17.1 ELEVATOR STANDARD, 2013 EDITION</li><li>• ASME/ANSI A18.1 SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIR LIFTS</li><li>• ADA STANDARDS FOR ACCESSIBLE DESIGN; ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), (28 CFR PART 36, APPENDIX A)</li></ul> <p>ACCESS REGULATIONS:</p> <ul style="list-style-type: none"><li>• THE AMERICANS WITH DISABILITIES ACT (ADA)</li><li>• THE CALIFORNIA BUILDING CODE (CBC), CHAPTERS 11A AND 11B.</li></ul> <p>NOTE: ALL PATH OF TRAVELS AND COMMON USE SPACES WILL BE ACCESSIBLE AND ALL LIVING UNITS WILL BE ADAPTABLE.</p>	



CALIFORNIA GREEN BUILDING CODE REQUIREMENTS
ENERGY EFFICIENCY (2019 CGC & 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS)
1. WALLS WITH 2x6 AND LARGER FRAMING, WHICH SEPARATE CONDITIONED FROM NON-CONDITIONED SPACES, REQUIRE R-19 INSULATION (2016 CEC 150.0(i)(2)).
2. HOT WATER PIPING INSULATION REQUIRED: PIPING 3/4" OR LARGER (2016 CEC 150.0(i)(2a)).
3. DUCT INSULATION: MIN. (R-6) REQUIRED (2016 CEC 150.0(m)(1)).
4. THIRD-PARTY HERS VERIFICATION FOR VENTILATION AND INDOOR AIR QUALITY (2016 CEC SECTION 150.0(g)).
ENHANCED DURABILITY AND REDUCED MAINTENANCE (2016 CGC 4.406)
1. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER SECTION 4.406.1.
CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING (2016 CGC 4.408)
1. A MINIMUM OF 60% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER SCMC CHAPTER 8.05, (SECTION 4.408).
BUILDING MAINTENANCE AND OPERATION (2016 CGC 4.410)
1. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER SECTION 4.410.1.
2. FOR BUILDINGS WITH MORE THAN 4 MULTI-FAMILY UNITS PROVIDE FOR RECYCLING PER SECTION 4.410.2.
POLLUTANT CONTROL (2016 CGC 4.504)
1. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS, WHICH MAY ENTER THE SYSTEM PER SECTION 4.504.1.
2. ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE STANDARDS LISTED IN SECTION 5.504.2.1.
3. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER SECTION 4.504.2.2 AND TABLE 5.504.4.3 UNLESS MORE STRINGENT LOCAL LIMITS APPLY. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY (SECTION 4.504.2.2).
4. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER SECTION 4.504.2.3.
5. DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER SECTION 4.504.2.4.
6. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS PER SECTION 4.504.3.
7. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF THE FLOOR AREA RECEIVING RESILIENT FLOORING WILL COMPLY WITH THE REQUIREMENTS PER SECTION 4.504.4.
8. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS PER SECTION 4.504.5.
INTERIOR MOISTURE CONTROL (2016 CGC 4.505)
1. A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER SECTION 4.505.2.
2. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED PER SECTION 4.505.3.
INSTALLER SPECIAL INSPECTOR QUALIFICATION (2016 CGC 702)
1. HVAC SYSTEM INSTALLERS WILL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING/CERTIFICATION PROGRAM PER SECTION 702.1.
VERIFICATION (2016 CGC 703)
1. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING OFFICIAL WHICH SHOW SUBSTANTIAL CONFORMANCE PER SECTION 703.1.



*New residential buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing residential buildings which increase the building's conditioned area, volume, or size. These requirements apply only to the specific area of addition or alteration.*

Permit Number: \_\_\_\_\_ Project Address: 1814-1820 OGDEN DRIVE

*Specify the page which includes the Measure, and include specific details indicating where the measure is located on the page. Include exact code sections on plans.*

Green Building Measure	Plan Sheet/Details
SITE DEVELOPMENT (2016 CGC §4.106)	
Projects that disturb less than one acre shall develop and implement a plan to manage storm water drainage DURING CONSTRUCTION. A BMP page is sufficient. 2016 CGC §4.106.2	T-2
Plans shall indicate how Grading and Paving will prevent surface water flows from entering buildings. Exception: Projects that do not alter the drainage path. 2016 CGC §4.106.3	T-1
Electric Vehicle (EV) Charging, parking spaces: comply with all relevant sections. CGC §4.106.4	A2.1
ENERGY EFFICIENCY (2016 CGC and the 2016 California Building Energy Efficiency Standards)	
2016 Energy Code performance (T-24) compliance documentation must be provided in 8-1/2" X 11" format (two sets, file size) and must be replicated on the plans. 2016 CEC §150.0 (c) 2	Will meet & provide in future submittal
Walls with 2 X 6 and larger framing require R-19 insulation. 2016 CEC §150.0 (c) 2	A0.1a
Hot water piping insulation required: piping 3/4 inch or larger. 2016 CEC §150.0 (j) 2 A ii	A0.1a
Lighting: all luminaires shall be high efficacy. Comply with all parts. 2016 CEC §150.0 (k)	Will meet & provide in future submittal
Duct insulation: minimum (R-6) required. 2016 CEC §150.0 (m) 1	A0.1a
Duct leakage testing: 6% with air handler, 4% w/o air handler. 2016 CEC §150.0 (m) 11	A0.1a
Return duct design/fan power, airflow testing, and grill sizing requirements §150.0(m)13	Will meet & provide in future submittal
Water heating: 120 volt receptacle < 3 ft., Cat III or IV vent, and gas supply line capacity of at least 200,000 Btu / hour. 2016 CEC §150.0 (n)	Will meet & provide in future submittal
Third-party HERS verification for ventilation and indoor air quality. 2016 CEC §150.0 (o)	A0.1a
Maximum U-factor (0.58) for fenestration and skylights. 2016 CEC §150.0 (q)	Will meet & provide in future submittal
Classification of High & Low efficacy light sources. 2016 CEC Table 150.0-A	Will meet & provide in future submittal
Radiant barrier required in Climate Zone 3. (prescriptive) 2016 CEC §150.1 (c) 2	Will meet & provide in future submittal
Refrigerant charge verification not required, Climate Zone 3. 2016 CEC Table 150.0-A	Not required
Maximum SHGC not specified in Climate Zone 3. 2016 CEC Table 150.0-A	In climate zone 3
Whole house fan is not required, Climate Zone 3. 2016 CEC Table 150.0-A	

Green Building Measure	Plan Sheet/Details
INDOOR WATER USE (2016 CGC §4.3)	
The effective flush volume of water closets will not exceed 1.28 gal / flush. 2016 CGC §4.303.1.1	Will meet & provide in future submittal
The effective flush volume of urinals will not exceed 0.125 gal / flush. 2016 CGC §4.303.1.2	
Maximum flow rate for showers shall be 2.0 GPM, at 80 psi. 2016 CGC §4.303.1.3	
Maximum flow rate for lavatory faucets shall be 1.2 GPM, at 60 psi. 2016 CGC §4.303.1.4.1	
OUTDOOR WATER USE (2016 CGC §4.4)	
New residential developments with an aggregate landscape area of more than 499 square feet shall submit a Residential Outdoor Water Use Efficiency Checklist. 2016 CGC §4.304.1	See landscape & Civil
ENHANCED DURABILITY AND REDUCED MAINTENANCE (2016 CGC §4.406)	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls will be rodent-proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2016 CGC §4.406.1	Will meet & provide in future submittal
CONSTRUCTION WASTE MANAGEMENT (2016 CGC §4.408)	
Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2016 CGC §4.408	A0.1a
BUILDING MAINTENANCE AND OPERATION (2016 CGC §4.410)	
An operation and maintenance manual will be provided at final inspection. 2016 CGC §4.410.1	A0.1a
For buildings with more than 4 multi-family units provide for recycling. 2016 CGC §4.410.2	
FIREPLACES (2016 CGC §4.503)	
Any installed gas fireplaces will be direct-vent, sealed-combustible type. 2016 CGC §4.503.1	N.A.
Any installed woodstove or pellet stove shall comply with U.S. EPA NSPS emission limits.	
POLLUTANT CONTROL (CGC §4.504)	
At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution components openings will be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust, or debris that may enter the system. 2016 CGC §4.504.1	A0.1a
Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2016 CGC §4.504.2.1	A0.1a
Paints and coatings will comply with VOC limits. 2016 CGC §4.504.2.2	A0.1a
Aerosol/paints and coatings will meet the Product-weighted MIR limits for ROC, and comply with percent VOC by weight of product limits, Regulation 8, Rule 49. 2016 CGC §4.504.2.3	A0.1a
Documentation shall verify compliance for VOC finish materials. 2016 CGC §4.504.2.4	A0.1a
Carpet systems will meet CALGREEN testing and product requirements. 2016 CGC §4.504.3	A0.1a
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2016 CGC §4.504.4	A0.1a
Hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the low formaldehyde emission standards. 2016 CGC §4.504.5	A0.1a

Green Building Measure	Plan Sheet/Details
INTERIOR MOISTURE CONTROL (2016 CGC §4.505)	
A capillary break will be installed if a slab on grade foundation system is used. 2016 CGC §4.505.2	A0.1a
Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure. 2016 CGC §4.505.3	
INDOOR AIR QUALITY AND EXHAUST (2016 CGC §4.506)	
Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo).2016 CGC §4.506.1	Will meet & provide in future submittal
Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control. 2016 CGC §4.506.1	
ENVIRONMENTAL COMFORT (CGC §4.507)	
The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2011 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2014 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2016 CGC §4.507	Will meet & provide in future submittal
INSTALLER SPECIAL INSPECTOR QUALIFICATION (2016 CGC §702)	
HVAC system installers will be trained and certified in the proper installation of HVAC systems and equipment by a recognized training/certification program. 2016 CGC §702.1	A0.1a
VERIFICATION (2016 CGC §703)	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2016 Code requirements. 2016 CGC §703.1	A0.1a
Responsible Designer's Declaration Statement	Contractor's Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2016 Green Building Code.	I hereby certify, as the builder or installer, under permit listed herein, that this project will be constructed to meet the requirements of the 2016 Green Building Code.
Name: Toby Levy, FAIA	Name:
Address: 90 South Park	Address:
City/State/Zip Code SF, CA, 94107	City/State/Zip Code
Signature:	Signature:
Date:	Date:



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1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11  
DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION

CONTACT: TOBY LEVY

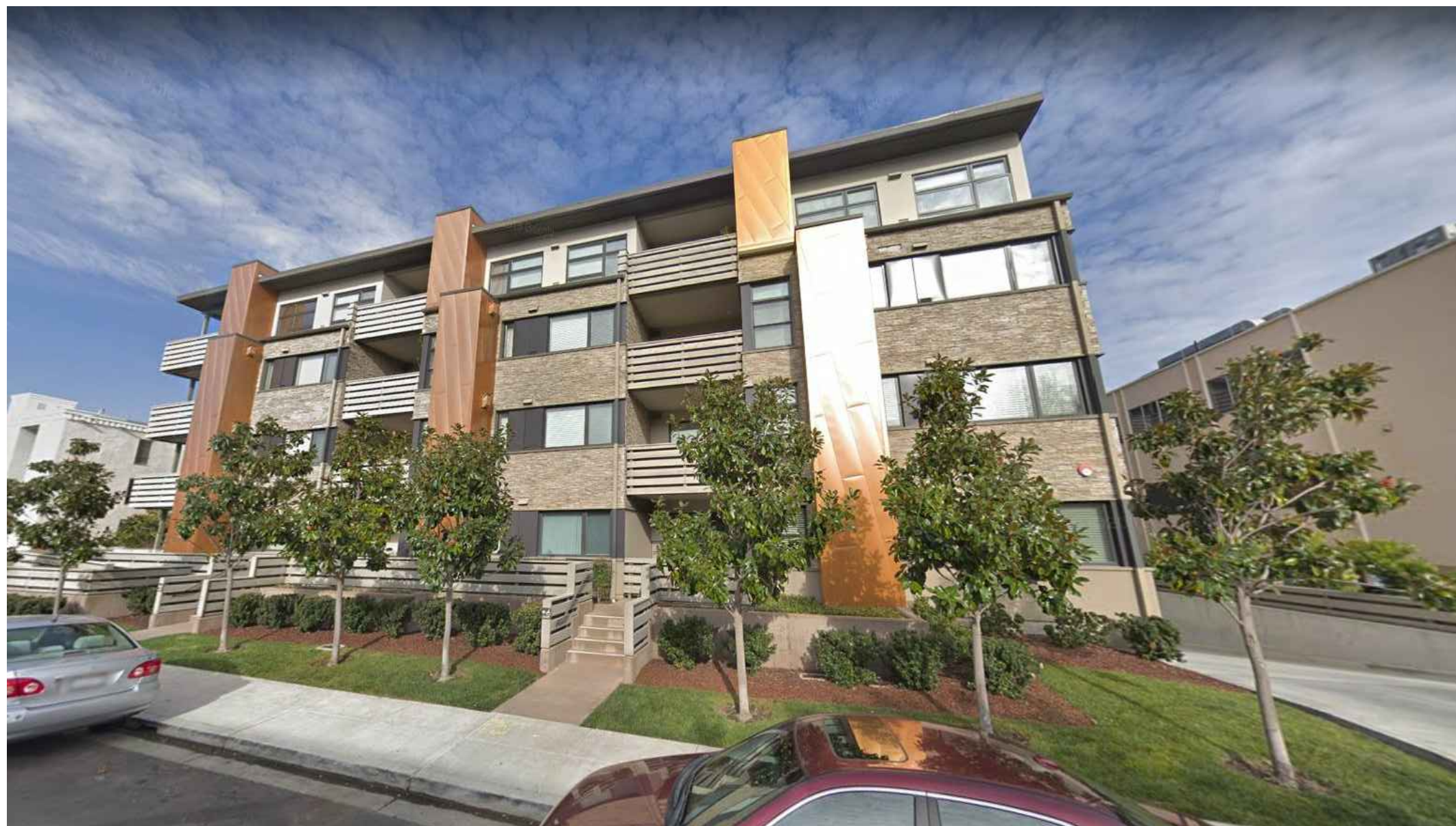
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(415) 777-5117 F

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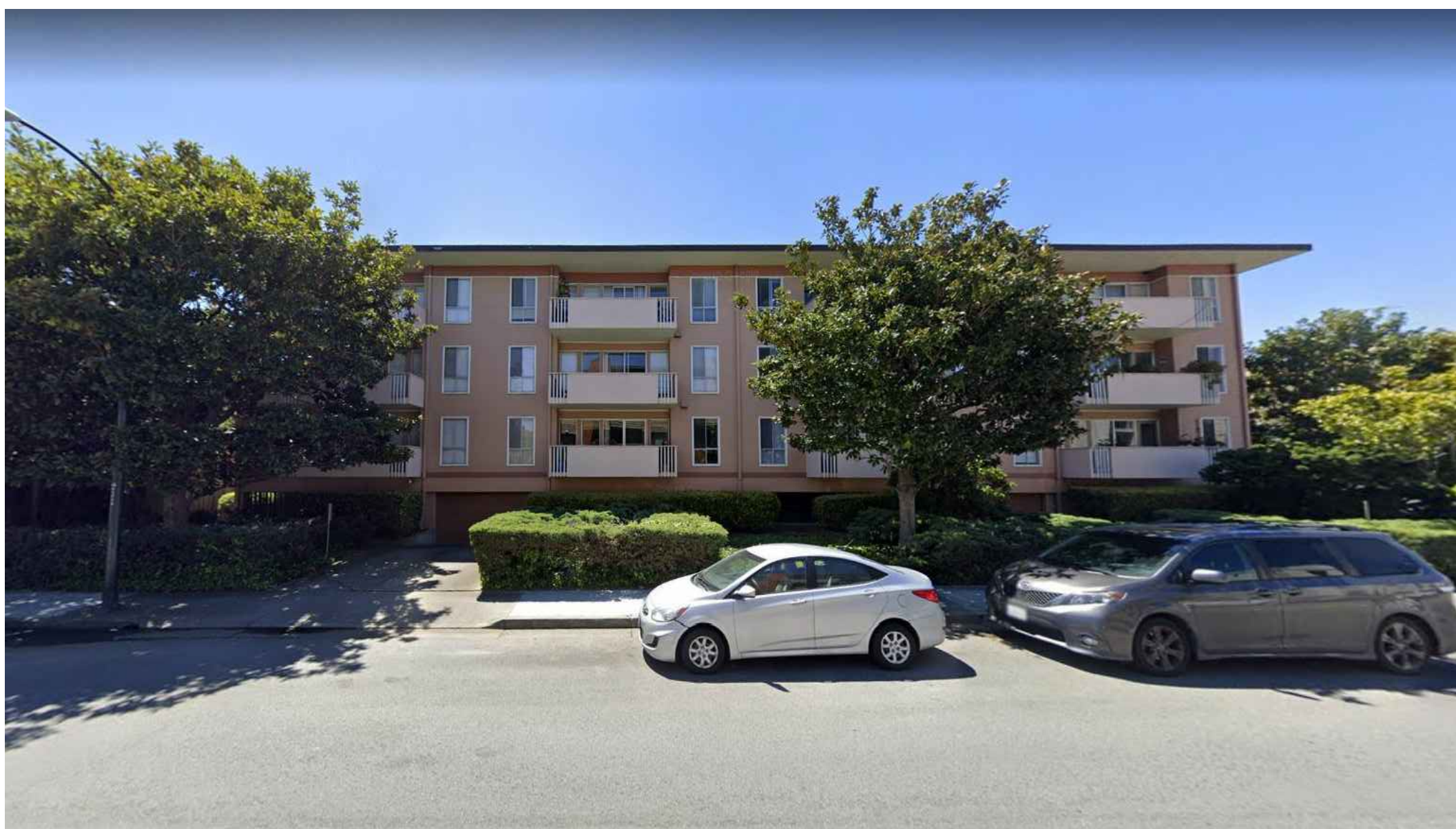
GREEN  
BUILDING  
MEASURES

A0.1a





1



2



3



4



5



6



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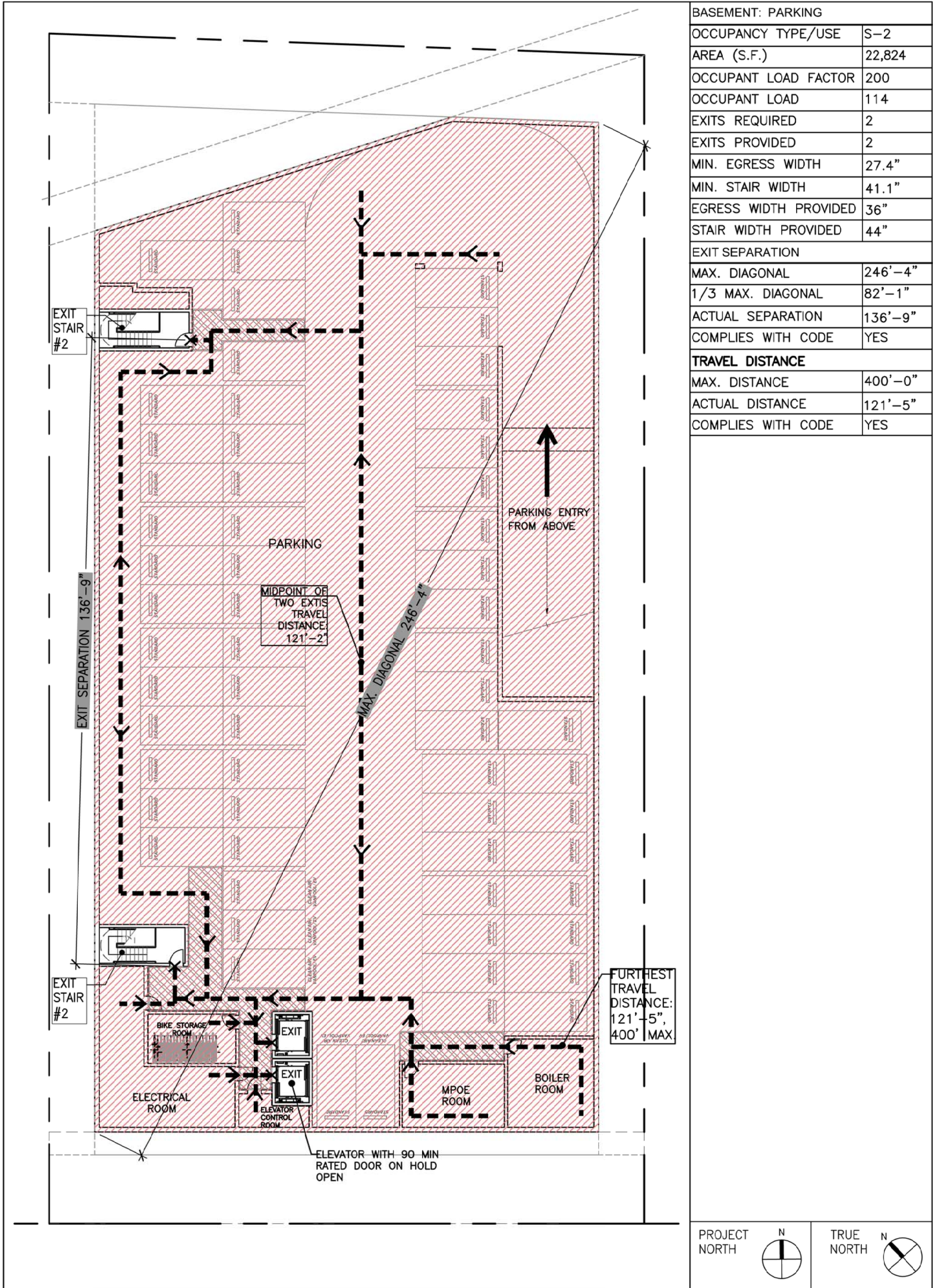
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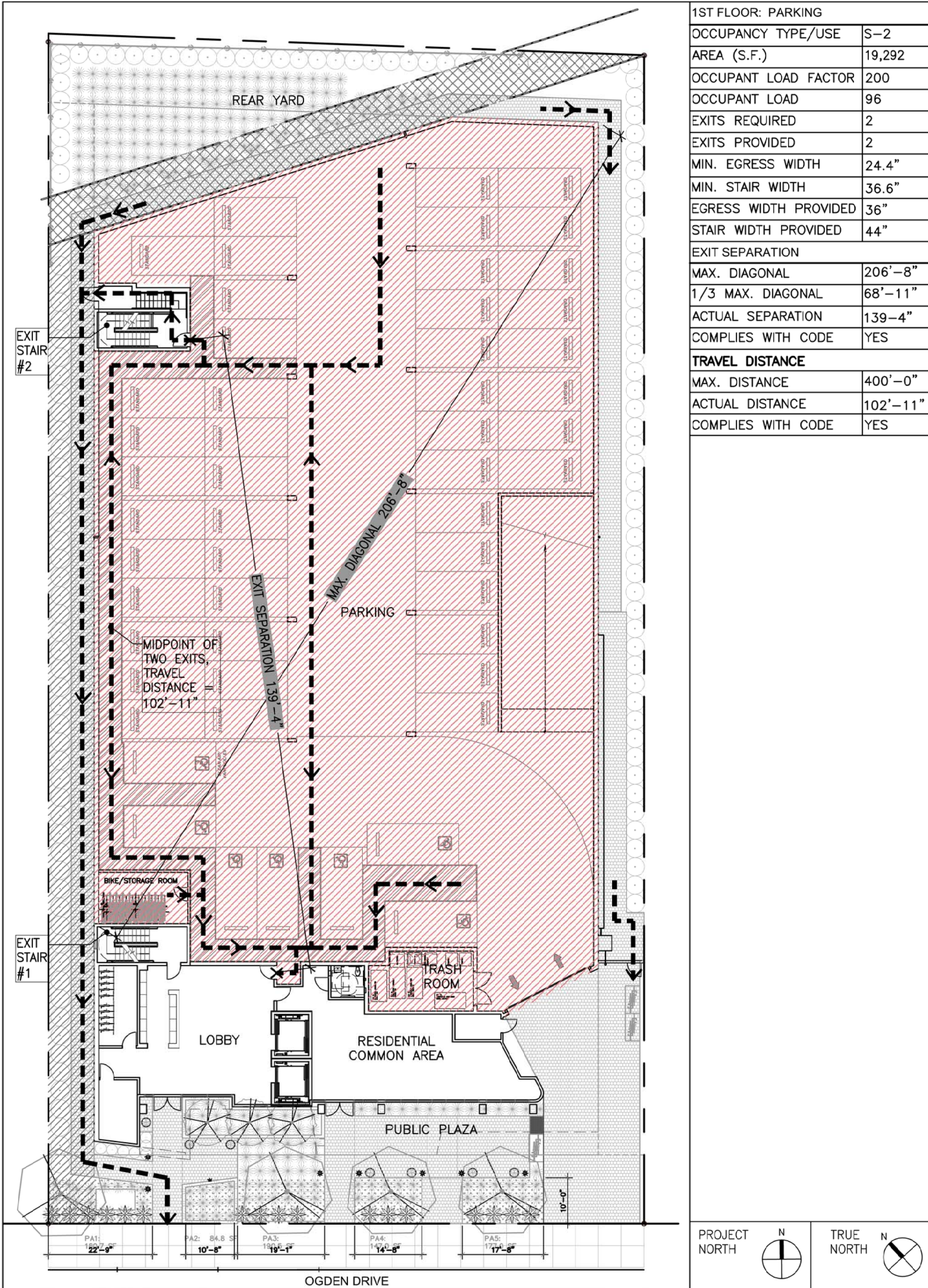
SITE  
CONTEXT

A0.1b

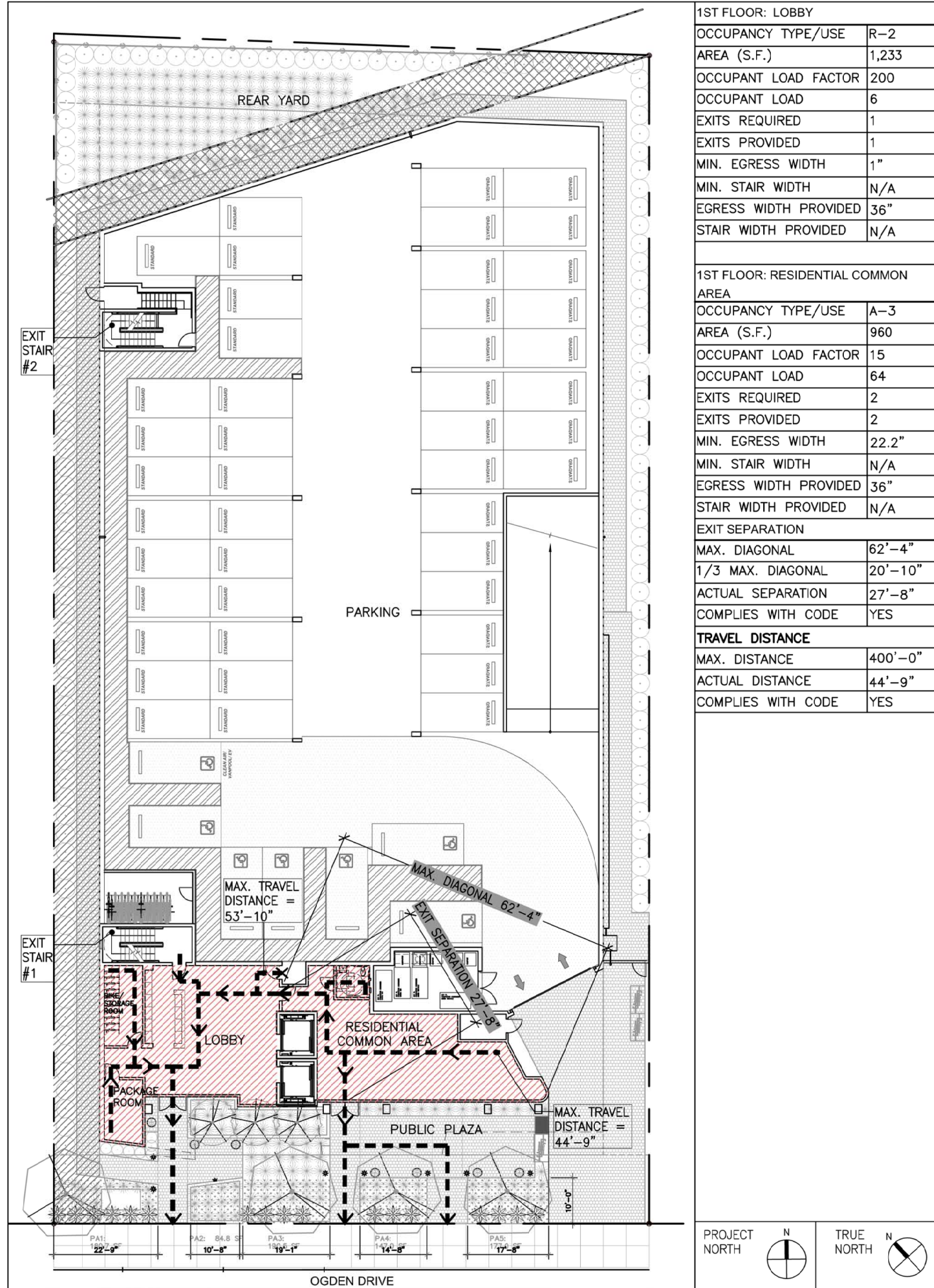




1 EGRESS PLAN: BASEMENT (PARKING)  
1" = 20'-0"



2 EGRESS PLAN: 1ST FLOOR (PARKING)  
1" = 20'-0"



3 EGRESS PLAN: 1ST FLOOR (LOBBY & RESIDENTIAL COMMON AREA)  
1" = 20'-0"

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SCALE: AS NOTED  
EGRESS PLANS

A0.2a



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SCALE: AS NOTED

EGRESS PLANS

A0.2b

HORIZONTAL EXITS: THE PURPOSE OF THE HORIZONTAL EXIT IS BEING USED AS AN ACCESSIBLE MEANS OF EGRESS FOR PERSONS WITH DISABILITIES IN LIEU OF PROVIDING AN ELEVATOR AS PERMITTED BY EXCEPTION #1 OF SECTION 1007.2.1 OF CBC 3013.

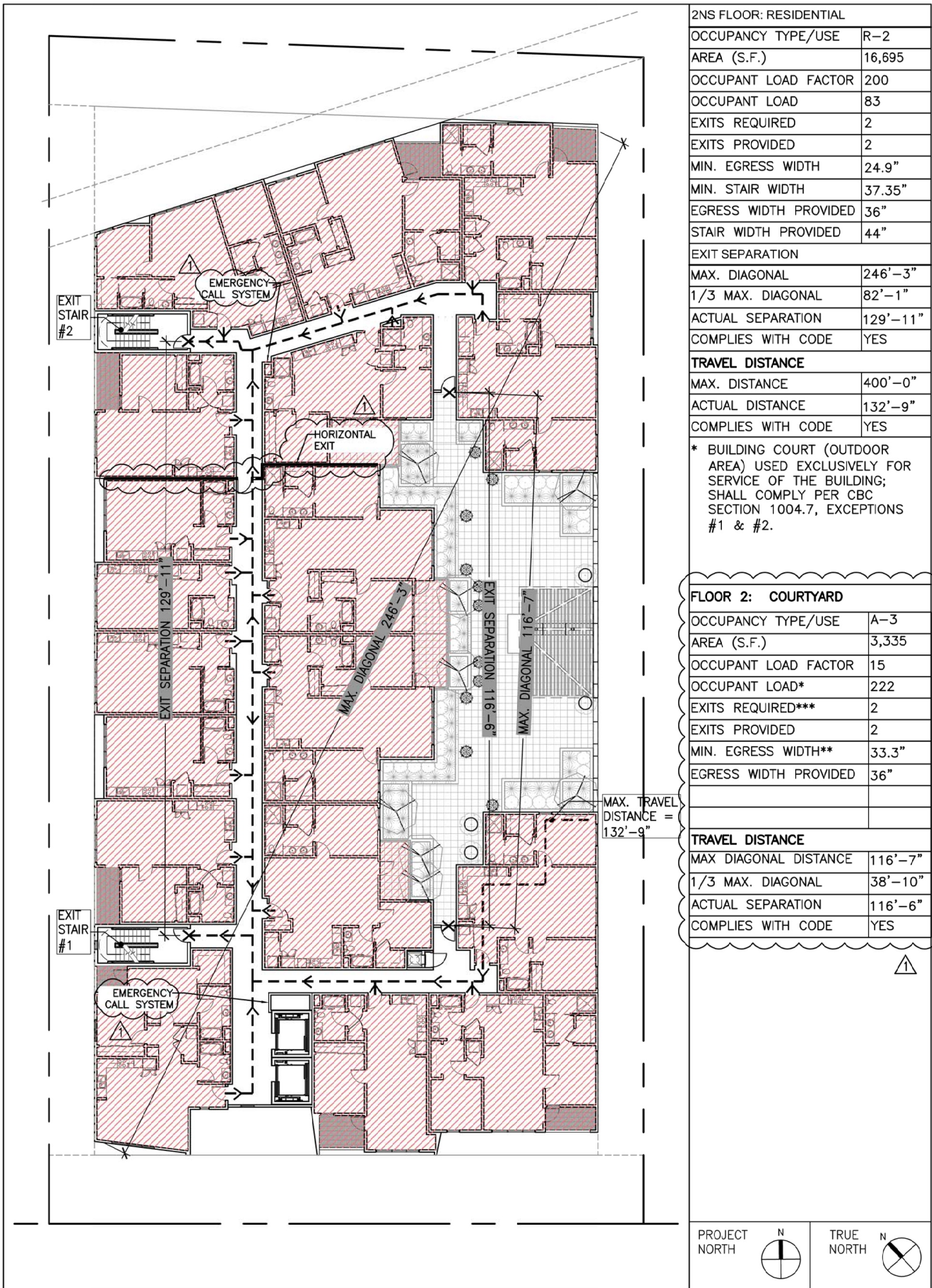
- THE ARRANGEMENT OF EACH HORIZONTAL EXIT PROVIDES EXIT ENCLOSURES ON EACH SIDE OF THE HORIZONTAL EXIT THAT ARE CAPABLE OF ACCOMMODATING THE TOTAL OCCUPANT LOAD ON EACH FLOOR.
- THE HORIZONTAL EXIT WILL BE REQUIRED EXCLUSIVELY FOR DISABLED OCCUPANT
  - EACH SIDE OF THE HORIZONTAL EXIT CONTAINS SPACE FOR MULTIPLE WHEEL CHAIR USERS WITH A CLEAR AREA OF 30'X42" ADJACENT TO THE TWO WAY EMERGENCY COMMUNICATION DEVICE.

CALCULATIONS:

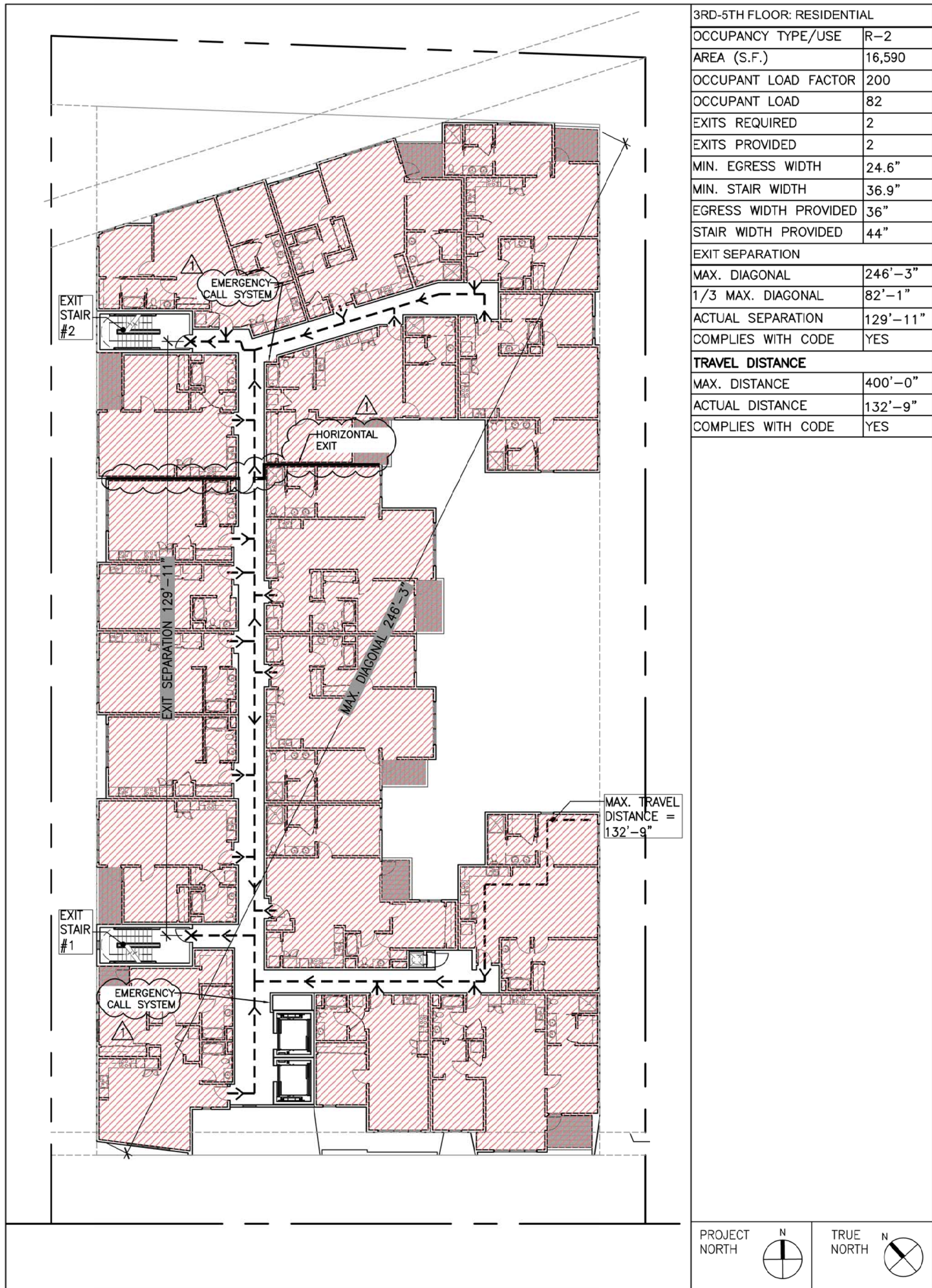
- OCCUPANT LOAD PER FLOOR = 83 MAX PERSONS (PER AREA OCCUPANT LOAD)
- PROVIDED EXIT ENCLOSURES (EXIT STAIRS) ON EACH SIDE OF THE HORIZONTAL EXIT
  - REQUIRED EGRESS WIDTH = 24.9" REQUIRED STAIR EGRESS WIDTH = 36.6"
  - PROVIDED EGRESS WIDTH = 36" PROVIDED STAIR EGRESS WIDTH = 44"

- HORIZONTAL EXIT AREA OF REFUGE CAPACITY (PER FLOOR)= 83 PERSONS \* 3SF = 249SF REQUIRED
- AREA PROVIDED ON EACH SIDE OF HORIZONTAL EXIT = +500SF PROVIDED

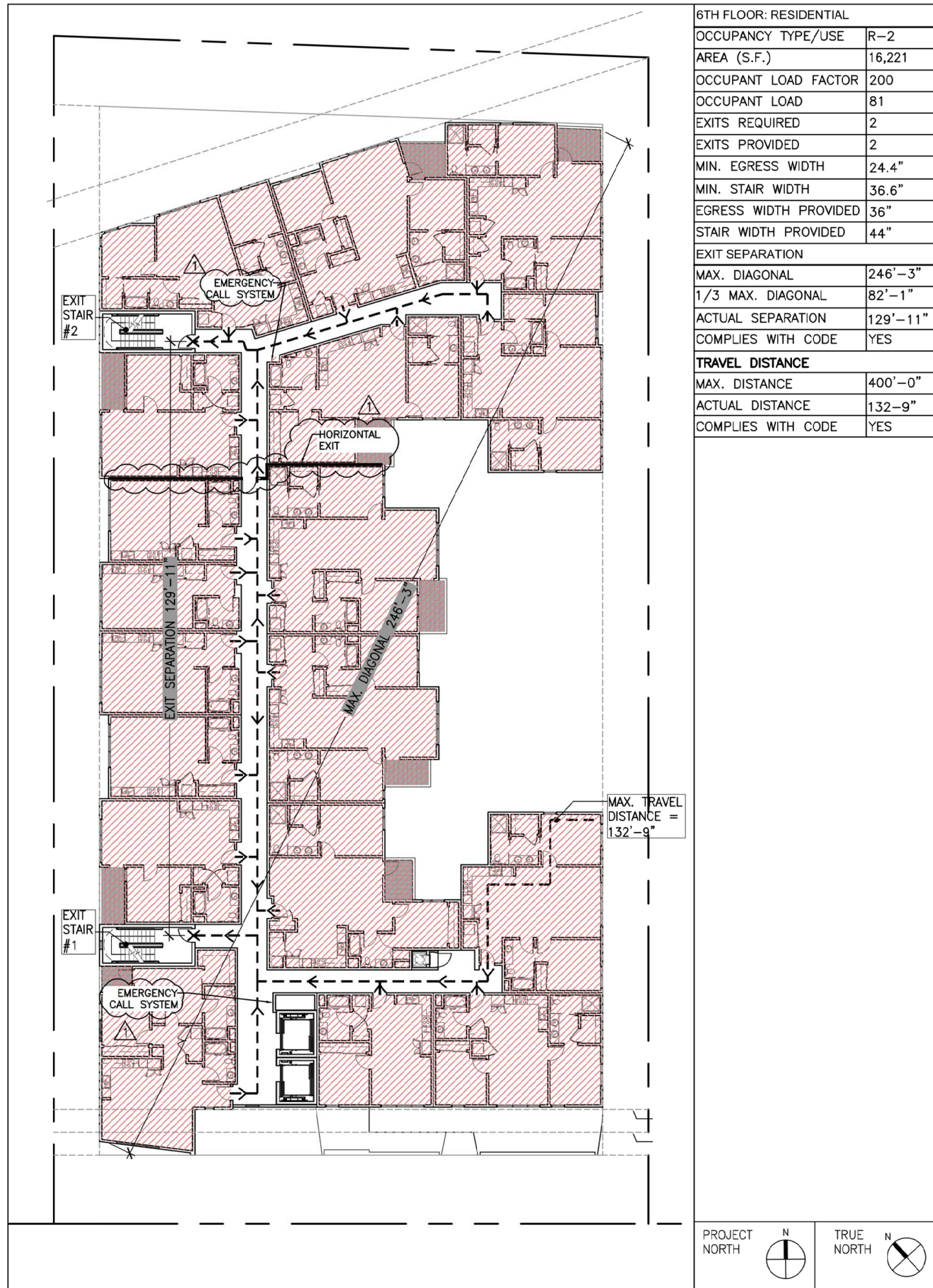
HORIZONTAL EXIT DESCRIPTION AND CLACULATION



1 EGRESS PLAN: 2ND & 3RD FLOOR (RESIDENTIAL)  
1" = 20'-0"

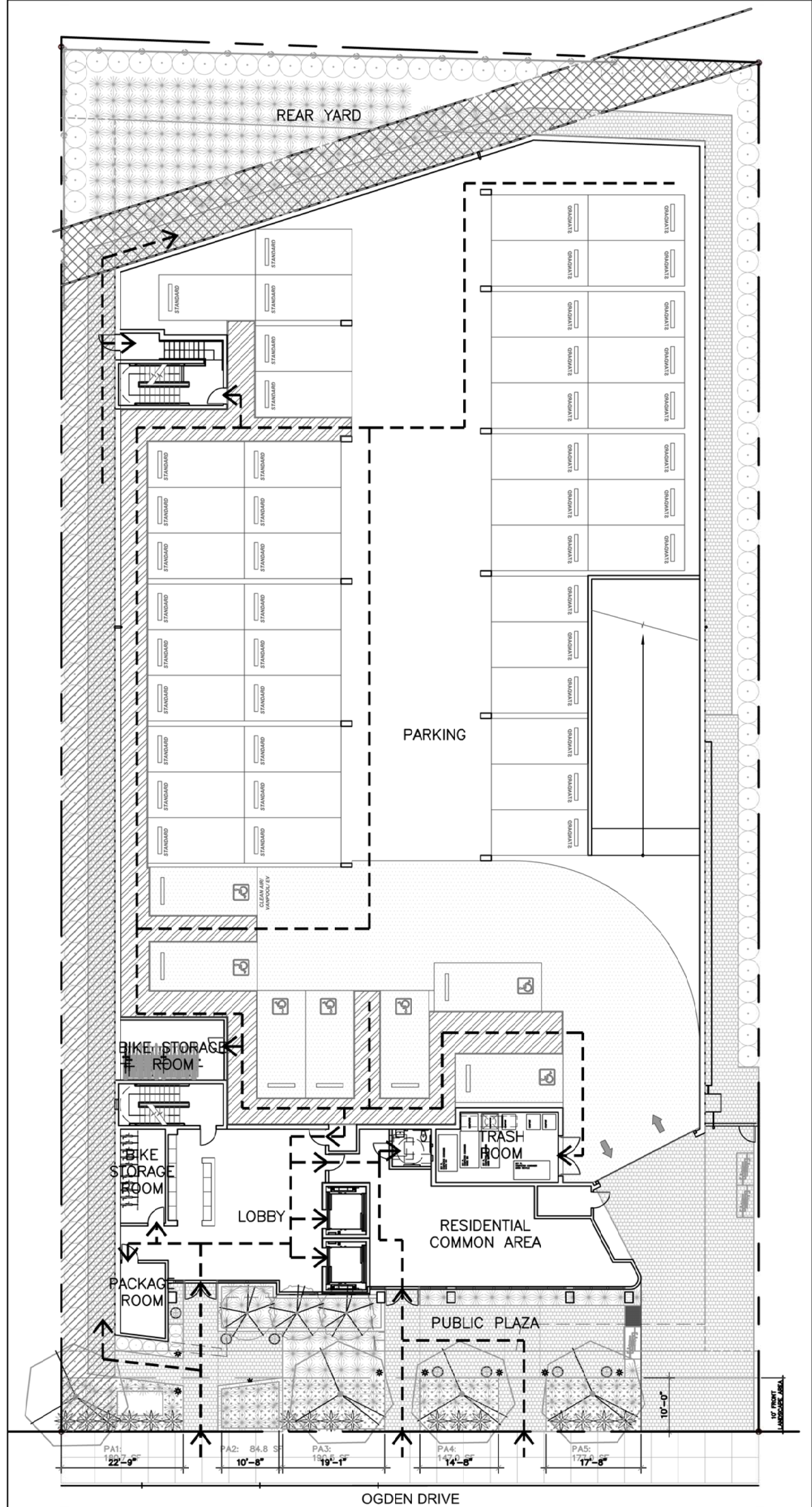


2 EGRESS PLAN: 4TH & 5TH FLOOR (RESIDENTIAL)  
1" = 20'-0"

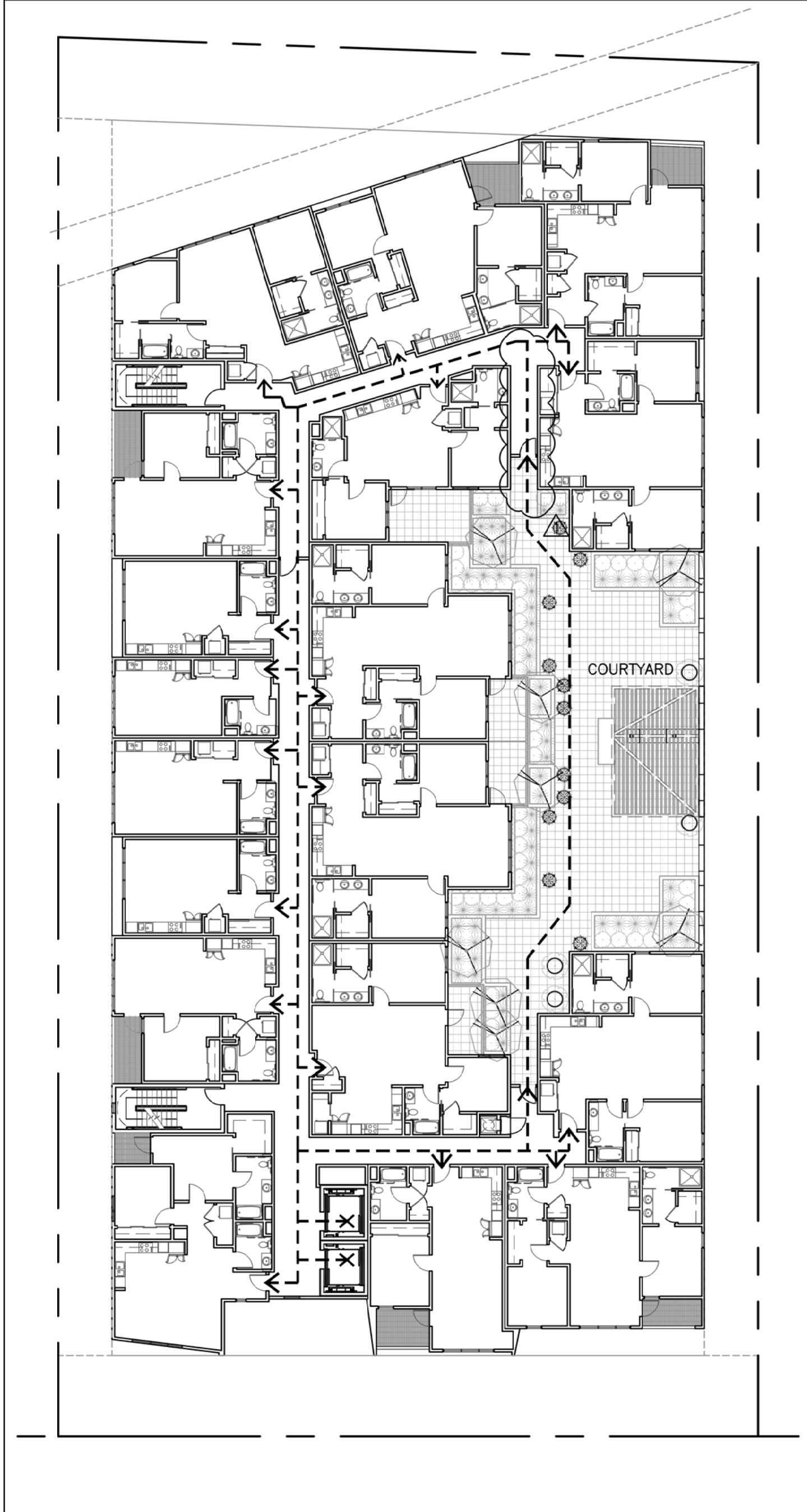


3 EGRESS PLAN: 6TH FLOOR (RESIDENTIAL)  
1" = 20'-0"

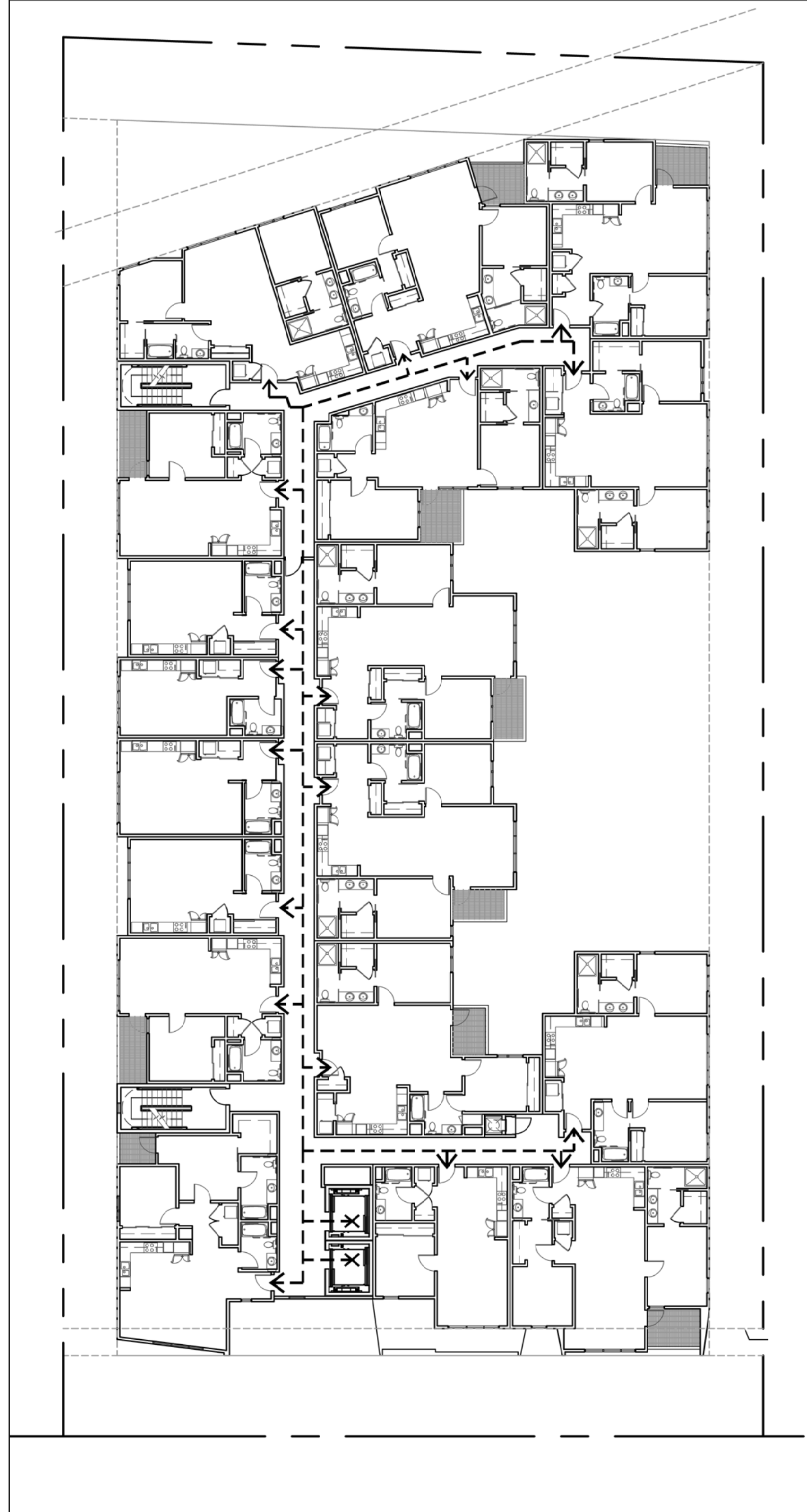




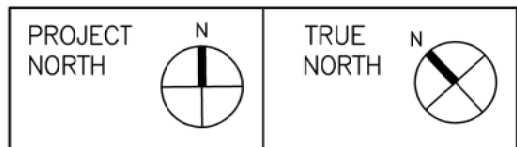
1 ACCESS PLAN: GROUND FLOOR  
1" = 20'-0"



2 ACCESS PLAN: 2ND FLOOR  
1" = 20'-0"



3 ACCESS PLAN: 3RD - 6TH FLOOR  
1" = 20'-0"



# 1814-20 OGDEN DRIVE BURLINGAME, CA



1814-20 OGDEN DRIVE BLOCK/PARCEL/LOT: APN: 025121120 025121110 BURLINGAME, CA PROJECT NO. 2019-11	
DATE	SET ISSUE
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11-13-2020	REVISION

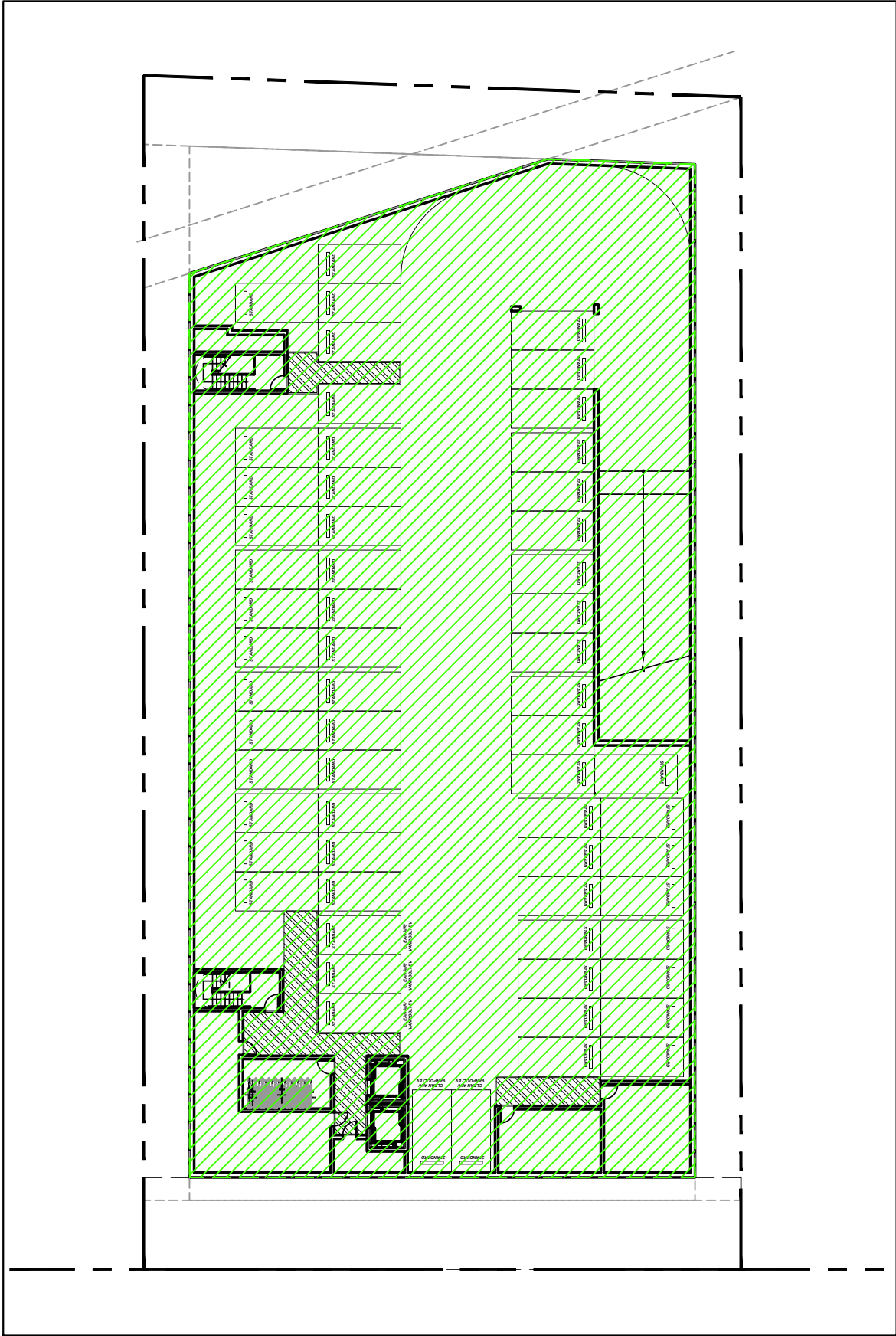
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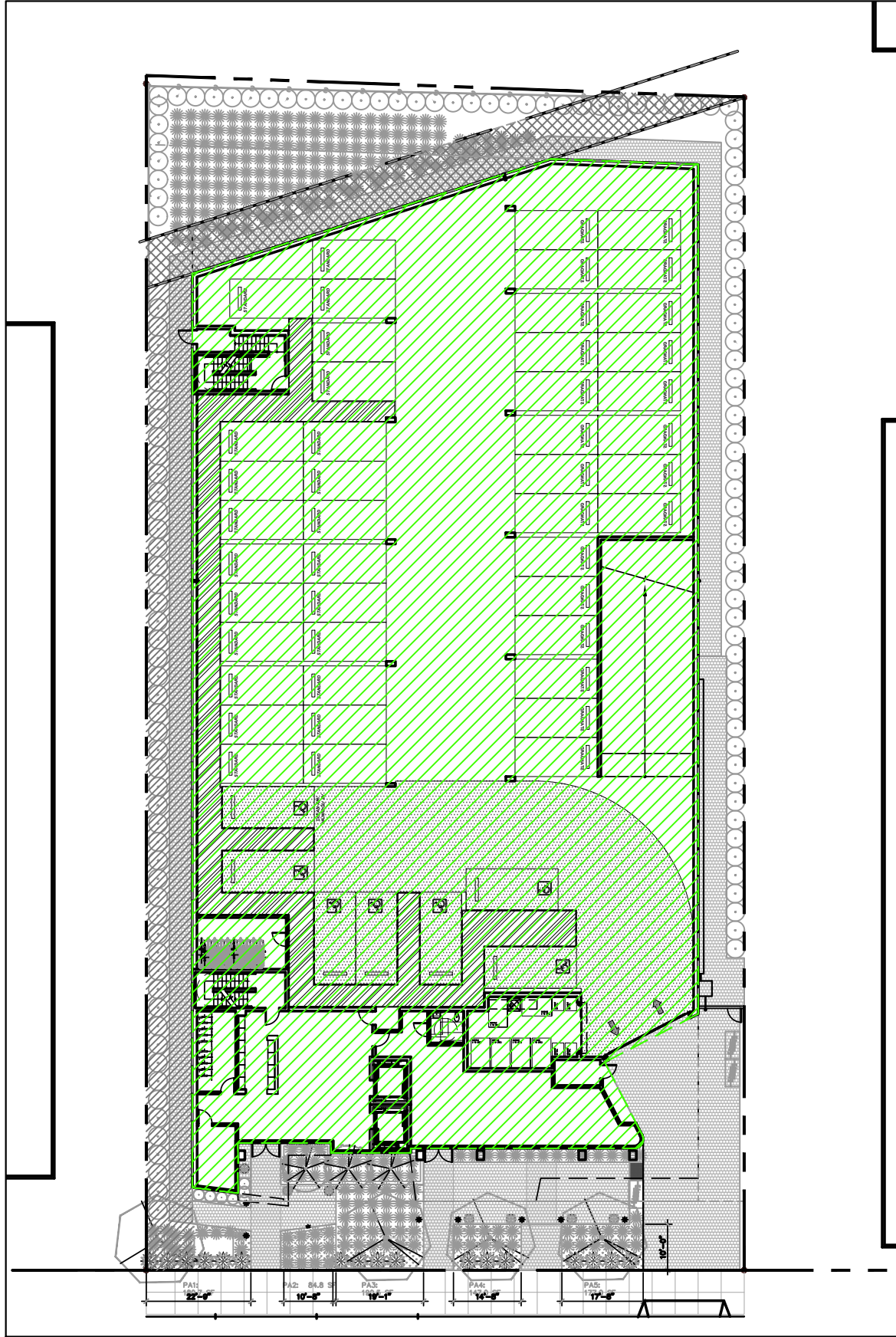
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ACCESS PLANS

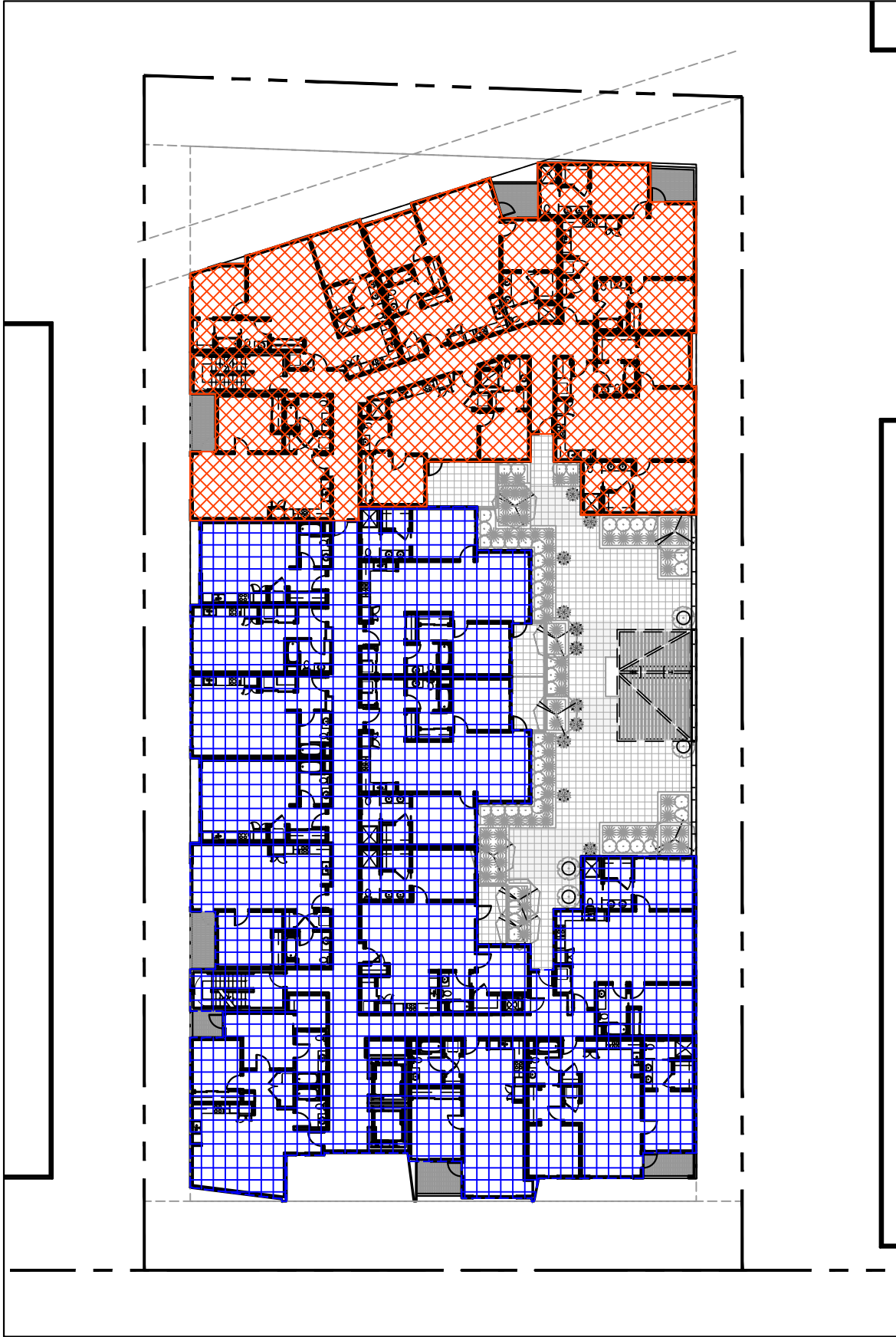




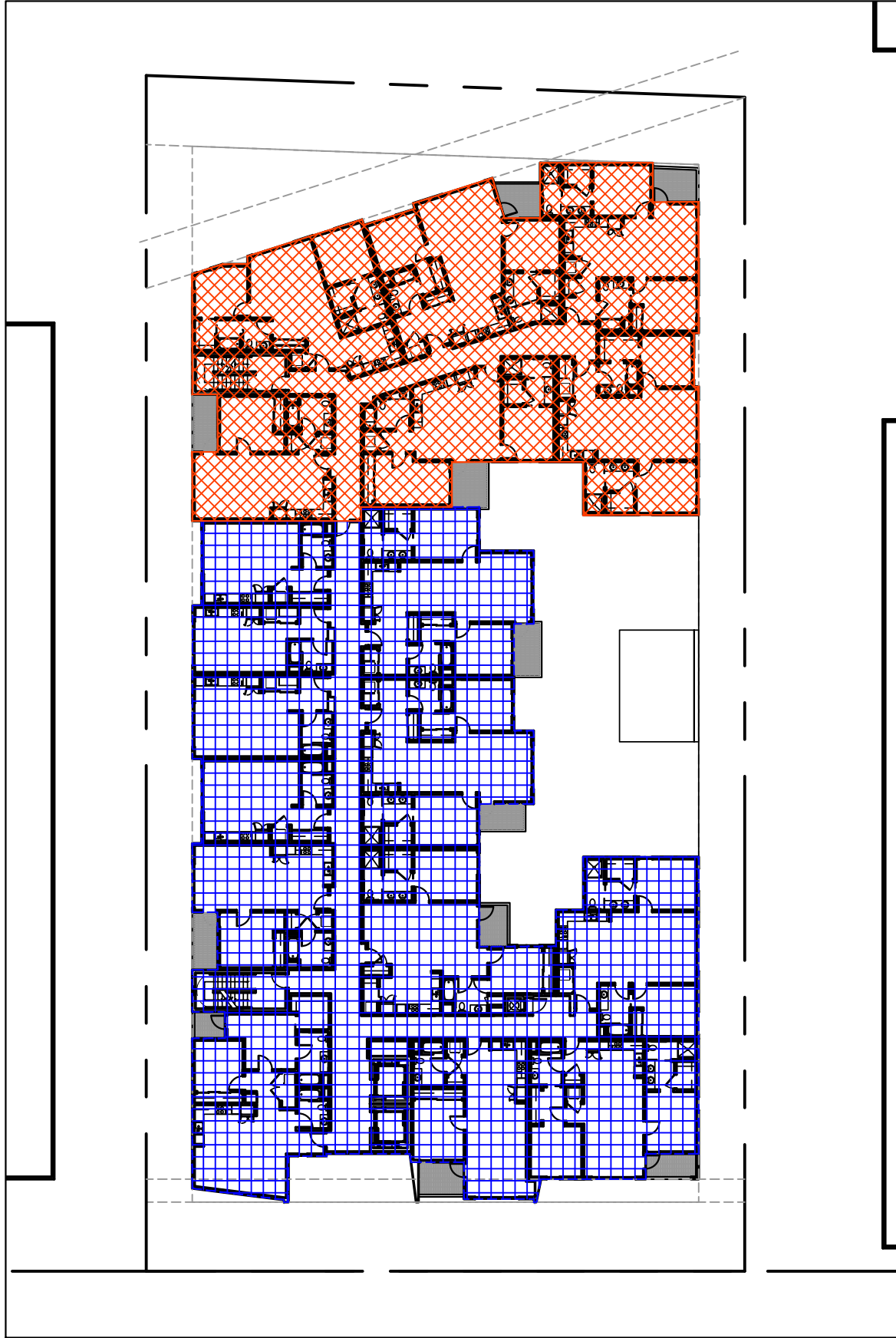
1 FLOOR PLAN: BASEMENT  
1/32"=1'-0"



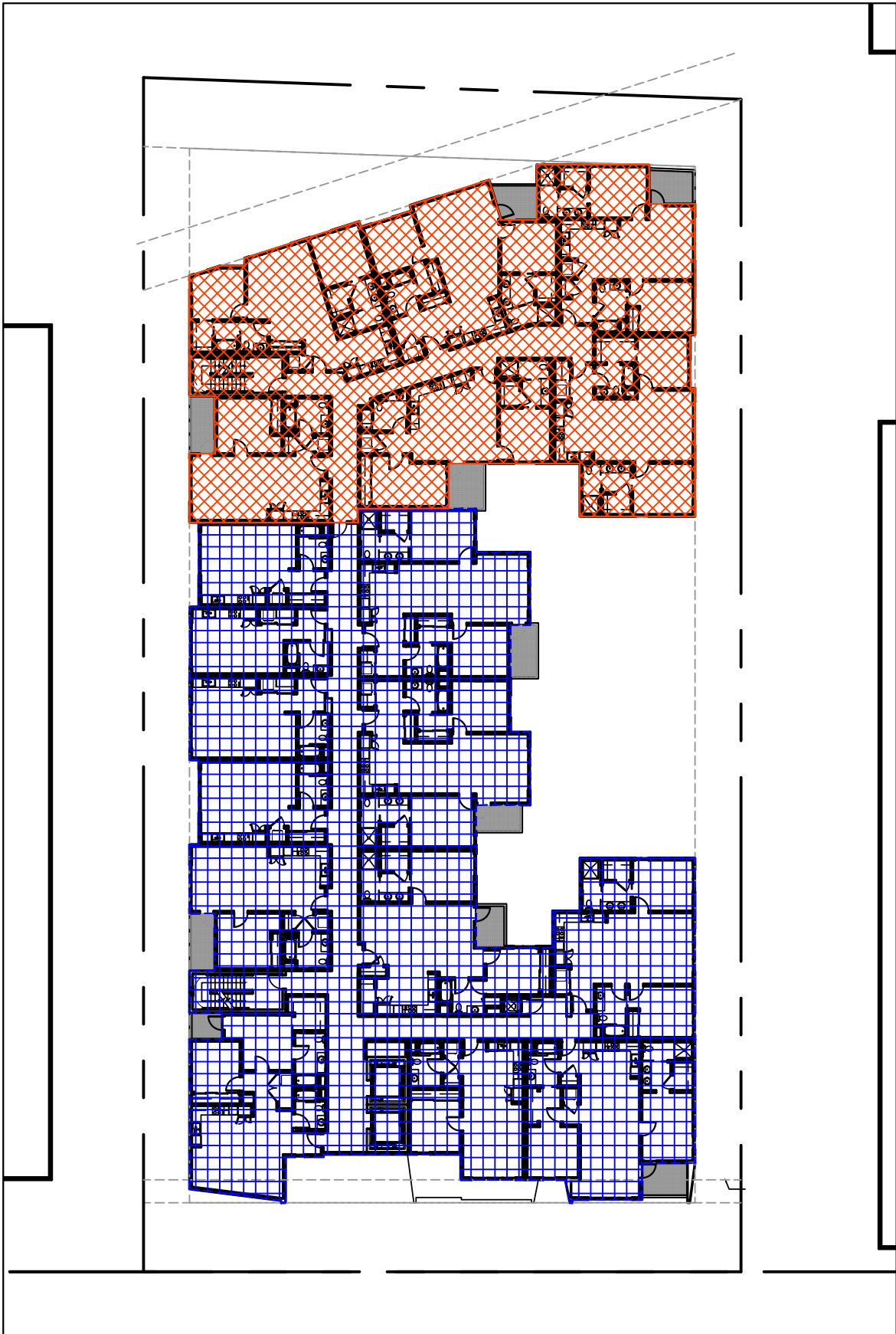
2 FLOOR PLAN: GROUND FLOOR  
1/32"=1'-0"



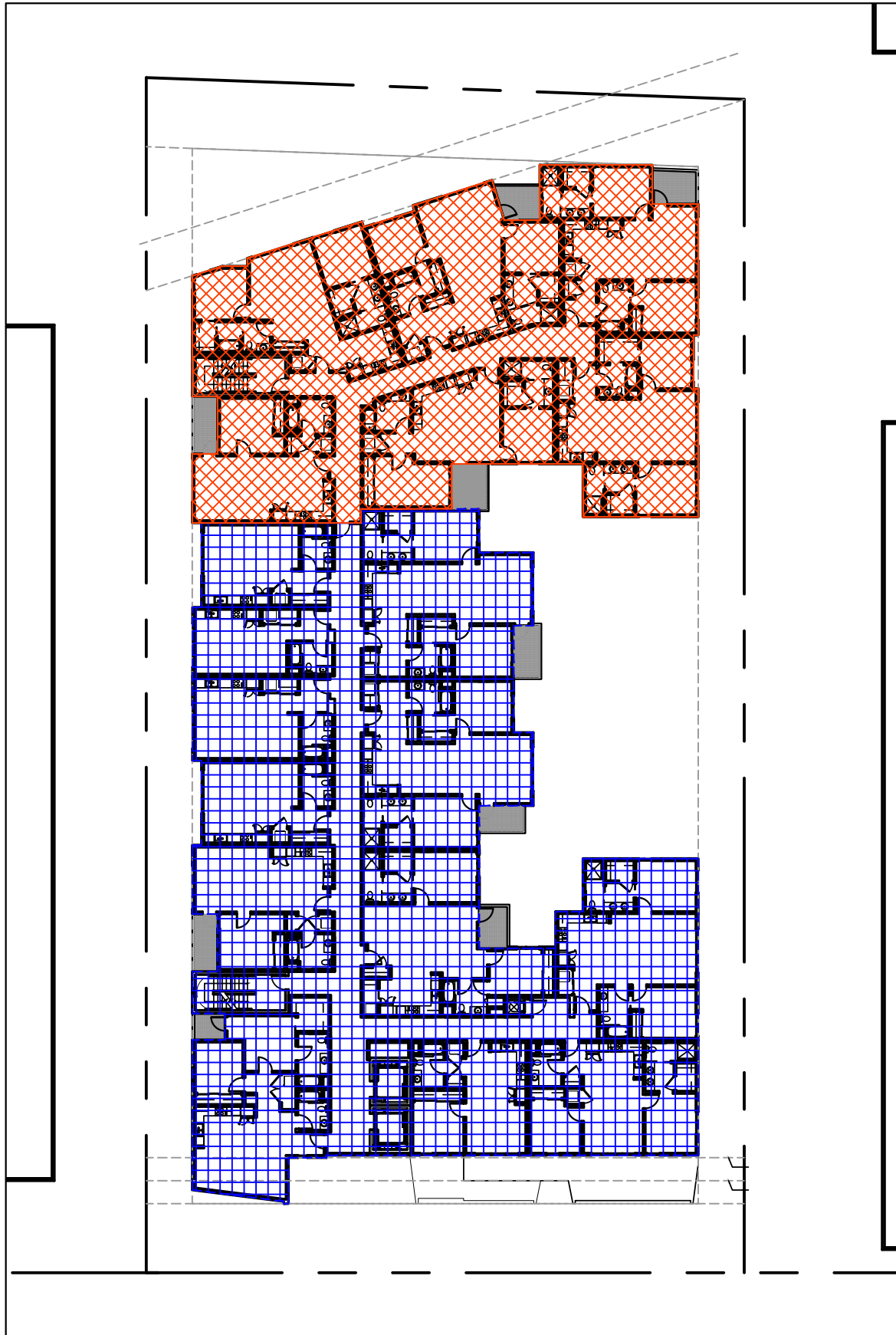
3 FLOOR PLAN: 2ND FLOOR  
1/32"=1'-0"



4 FLOOR PLAN: 3RD FLOOR  
1/32"=1'-0"



5 FLOOR PLAN: 4TH - 5TH FLOOR  
1/32"=1'-0"



6 FLOOR PLAN: 6TH FLOOR  
1/32"=1'-0"

BUILDING TYPE I-A			
ALLOWABLE ARE PER FLOOR (CBC T506.2) = UNLIMITED			
BUILDING TYPE III-A			
ALLOWABLE AREA PER FLOOR (CBC T506.2) = 72,000 SF			
TOTAL ALLOWABLE AREA PER FLOOR (CBC 506.2.3) = 72,000 SF * 2			
	BUILDING 1 (TYPE I-A) GROSS (GSF)	BUILDING 2 (TYPE III-A) GROSS (GSF)	BUILDING 3 (TYPE III-A) GROSS (GSF)
BASEMENT	23,369 SF	-	-
GROUND FLOOR	22,350 SF	-	-
SECOND FLOOR	-	12,172 SF	6,829 SF
THIRD FLOOR	-	12,195 SF	6,908 SF
FOURTH FLOOR	-	12,195 SF	6,908 SF
FIFTH FLOOR	-	12,195 SF	6,908 SF
SIXTH FLOOR	-	11,886 SF	6,908 SF
TOTAL	45,719 SF	60,643 SF	34,461 SF

7 BUILDING AREA CALCULATIONS

	PARKING GARAGE (GSF)	RESIDENTIAL LOBBY (GSF)	RESIDENTIAL COMMUNITY ROOM (GSF)	OCCUPANCY R-2 (GSF)
BASEMENT	20,421 SF	-	-	-
GROUND FLOOR	19,292 SF	1,233 SF	930 SF	-
SECOND FLOOR	-	-	-	16,616 SF
THIRD FLOOR	-	-	-	16,671 SF
FOURTH FLOOR	-	-	-	16,671 SF
FIFTH FLOOR	-	-	-	16,671 SF
SIXTH FLOOR	-	-	-	16,119 SF
TOTAL	39,713 SF	1,233 SF	930 SF	82,748 SF

8 AREA CALCULATIONS

LEGEND

---	PROPERTY LINE
	BUILDING 1 (TYPE IA)
	BUILDING 2 (TYPE IIIA)
	BUILDING 3 (TYPE IIIA)

PROJECT NORTH	TRUE NORTH

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11-13-2020	REVISION
01-11-2021	REVISION

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SCALE: AS NOTED

BUILDING AREA  
CALCULATIONS



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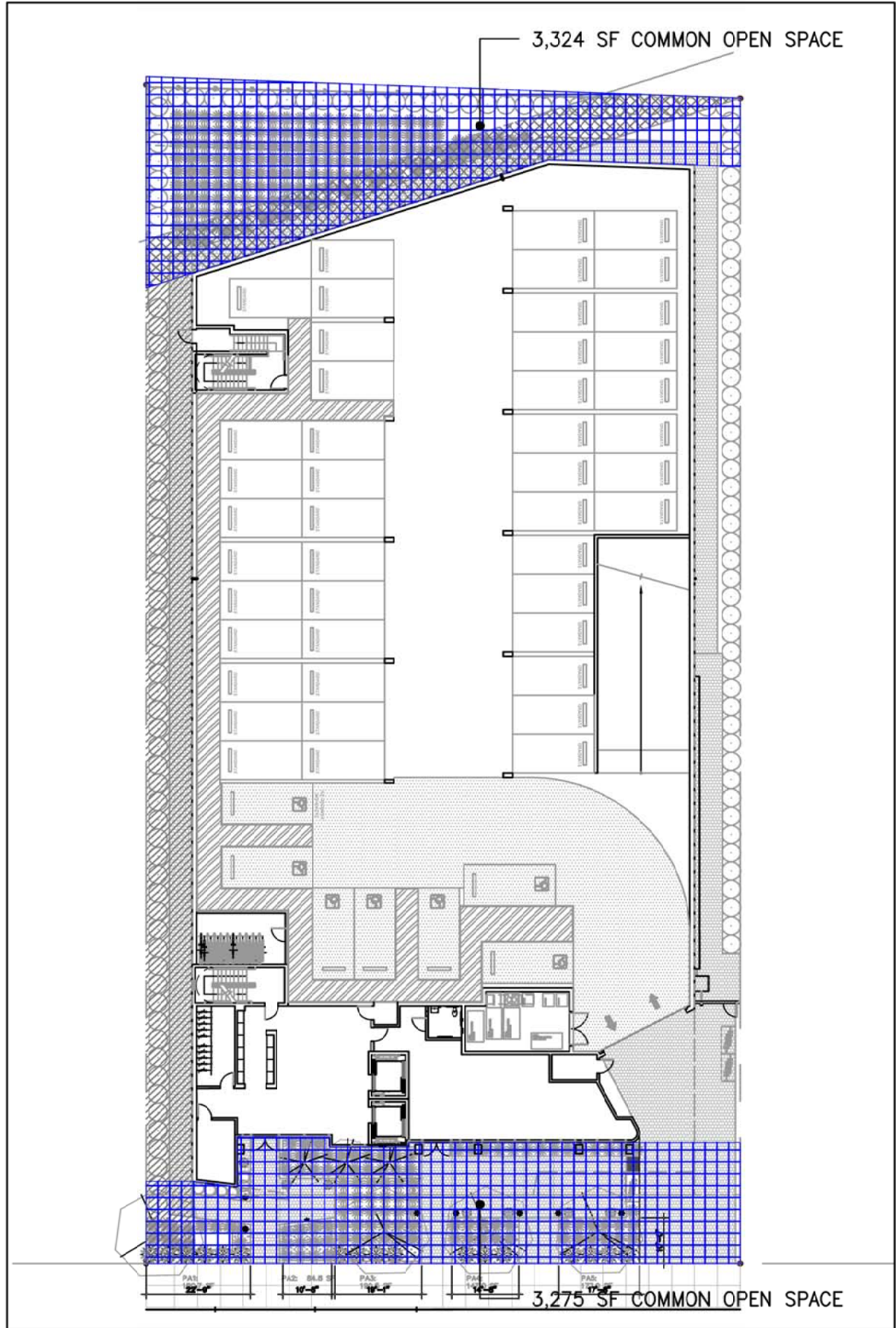
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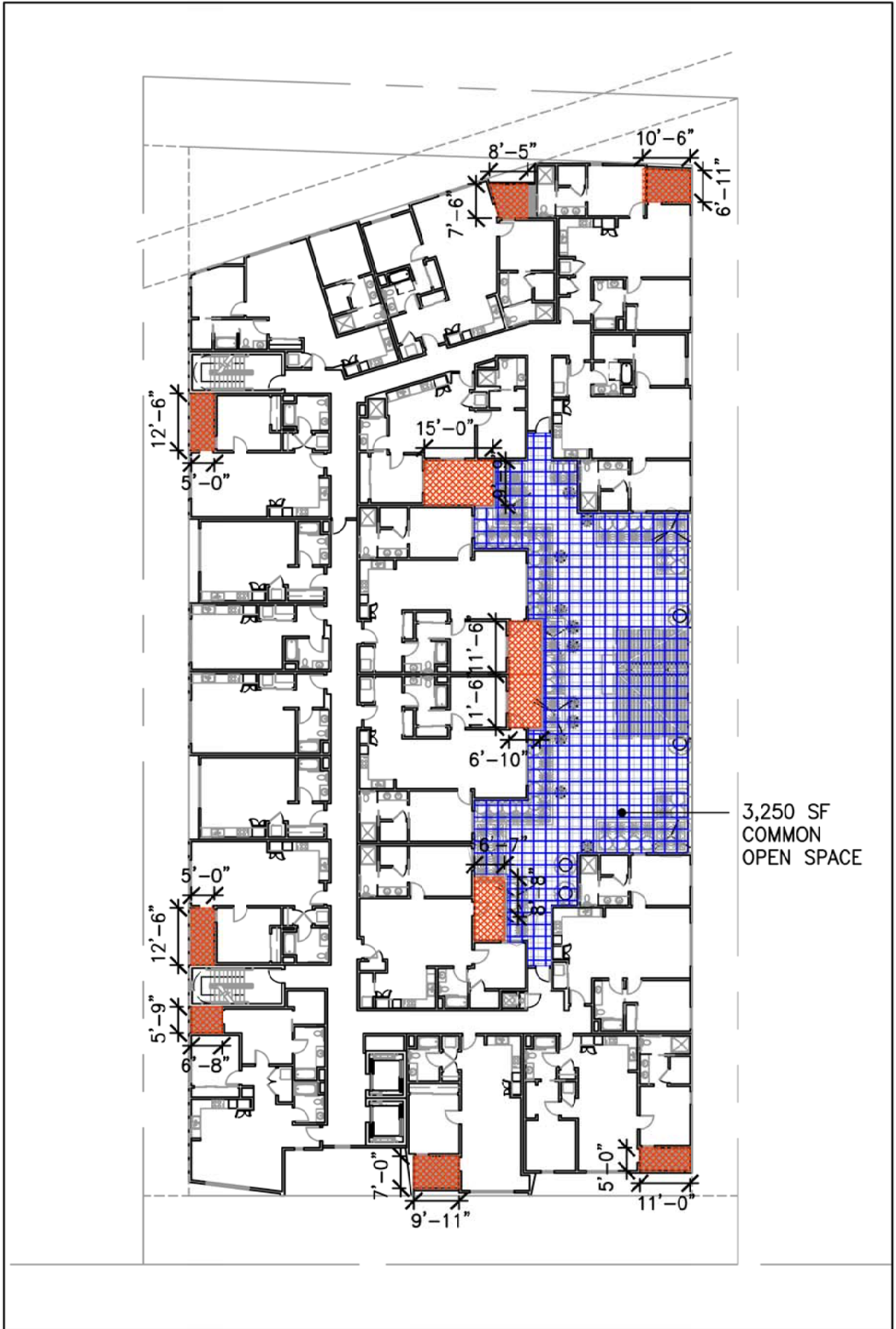
SCALE: AS NOTED

BUILDING  
OPEN AREA  
CALCULATIONS

A0.4b



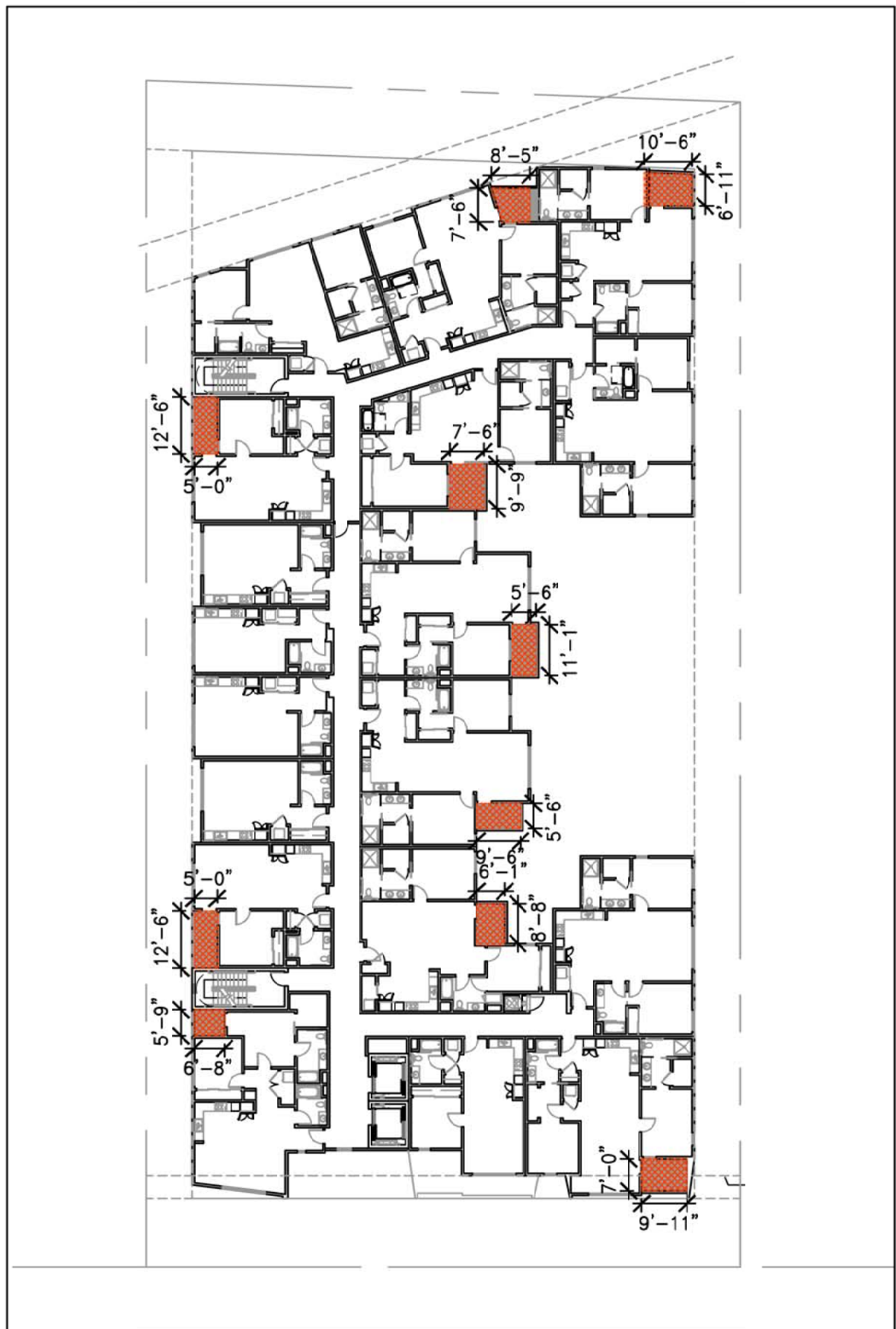
1 FLOOR PLAN: GROUND FLOOR  
1/32"=1'-0"



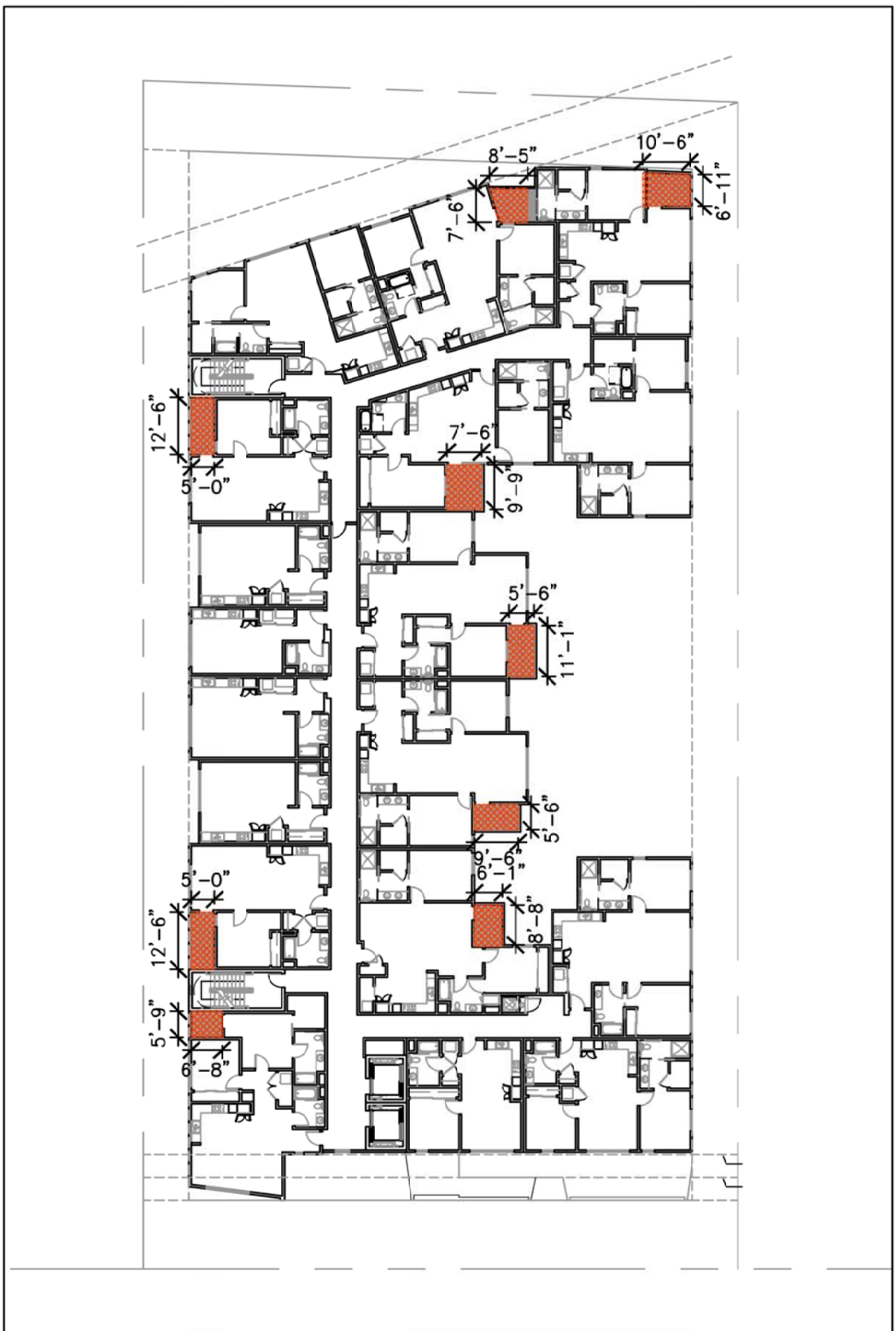
2 FLOOR PLAN: 2ND FLOOR  
1/32"=1'-0"



3 FLOOR PLAN: 3RD FLOOR  
1/32"=1'-0"



4 FLOOR PLAN: 4TH - 5TH FLOOR  
1/32"=1'-0"



5 FLOOR PLAN: 6TH FLOOR  
1/32"=1'-0"

LEGEND

COMMON OPEN SPACE  
PRIVATE OPEN SPACE

PROJECT REQUIRED OPEN SPACE

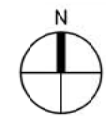
100 SF/UNIT  
MINIMUM DIMENSIONS OF OPEN SPACES:  
PRIVATE: 5 FT DEEP, 8 FT WIDE  
COMMON: 15 FT IN ANY DIRECTION

PROJECT PROVIDED OPEN SPACE

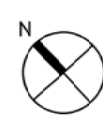
COMMON OPEN SPACE: (SEE 1.3.1 FOR ADDITIONAL INFORMATION)  
GROUND FLOOR: 3,275 SF (FRONT PLAZA)  
3,324 SF (REAR YARD)  
2ND FLOOR (COURTYARD) = 3,250 SF  
TOTAL COMMON OPEN SPACE PROVIDED: 9,849 SF

PRIVATE OPEN SPACE PROVIDED:  
2ND FLOOR: 11 UNITS WITH 50+ SF PRIVATE OPEN SPACE  
3RD FLOOR: 11 UNITS WITH 50+ SF PRIVATE OPEN SPACE  
4TH FLOOR: 10 UNITS WITH 50+ SF PRIVATE OPEN SPACE  
5TH FLOOR: 10 UNITS WITH 50+ SF PRIVATE OPEN SPACE  
6TH FLOOR: 9 UNITS WITH 50+ SF PRIVATE OPEN SPACE  
TOTAL: 51 UNITS WITH 50+ SF PRIVATE OPEN SPACE

REQUIRED TOTAL OPEN SPACE:  
39 UNITS @ 100SF + 51 UNITS(50%) @ 50 SF  
TOTAL REQUIRED COMMON OPEN SPACE = 6,450 SF

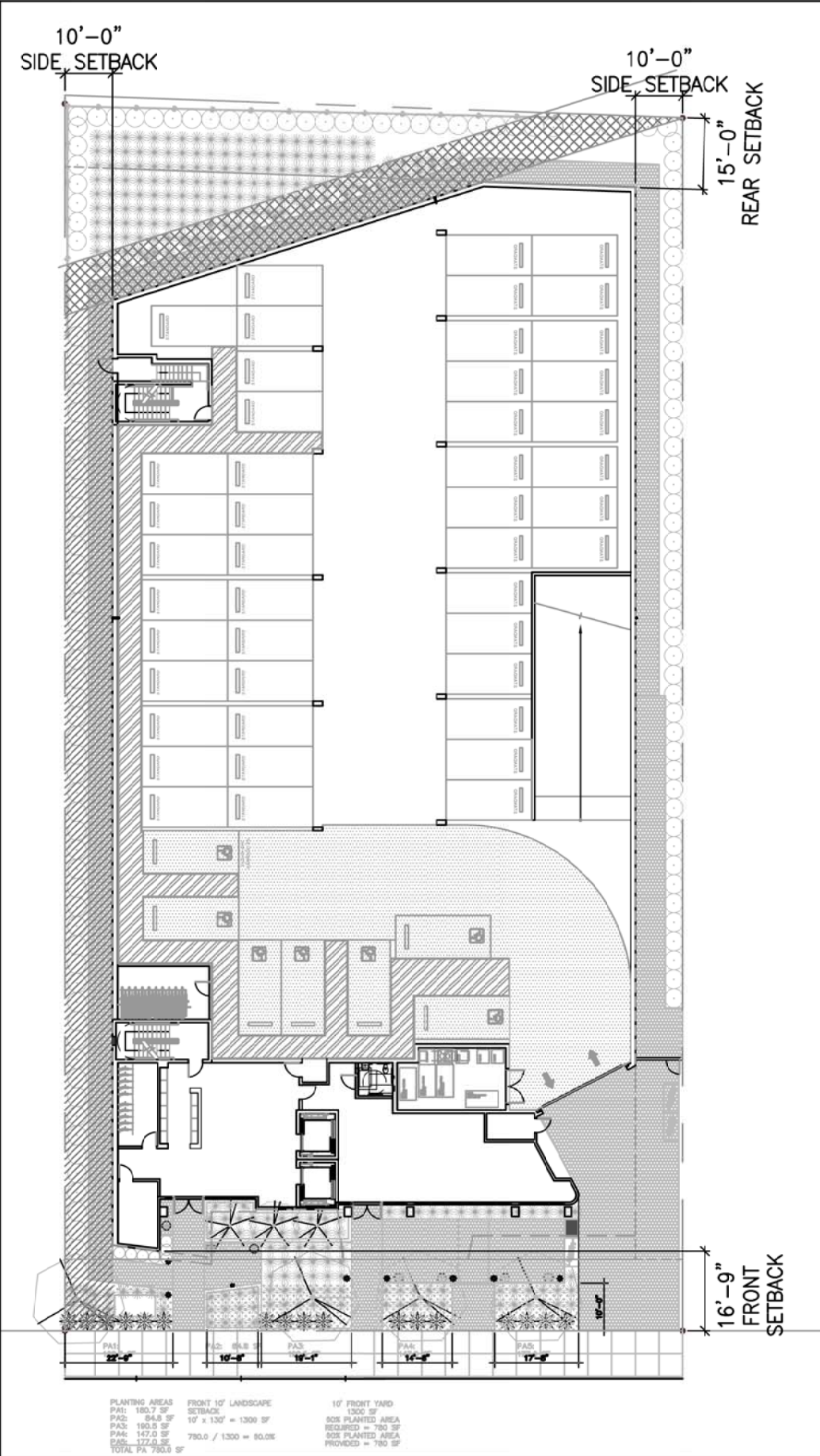


PROJECT NORTH

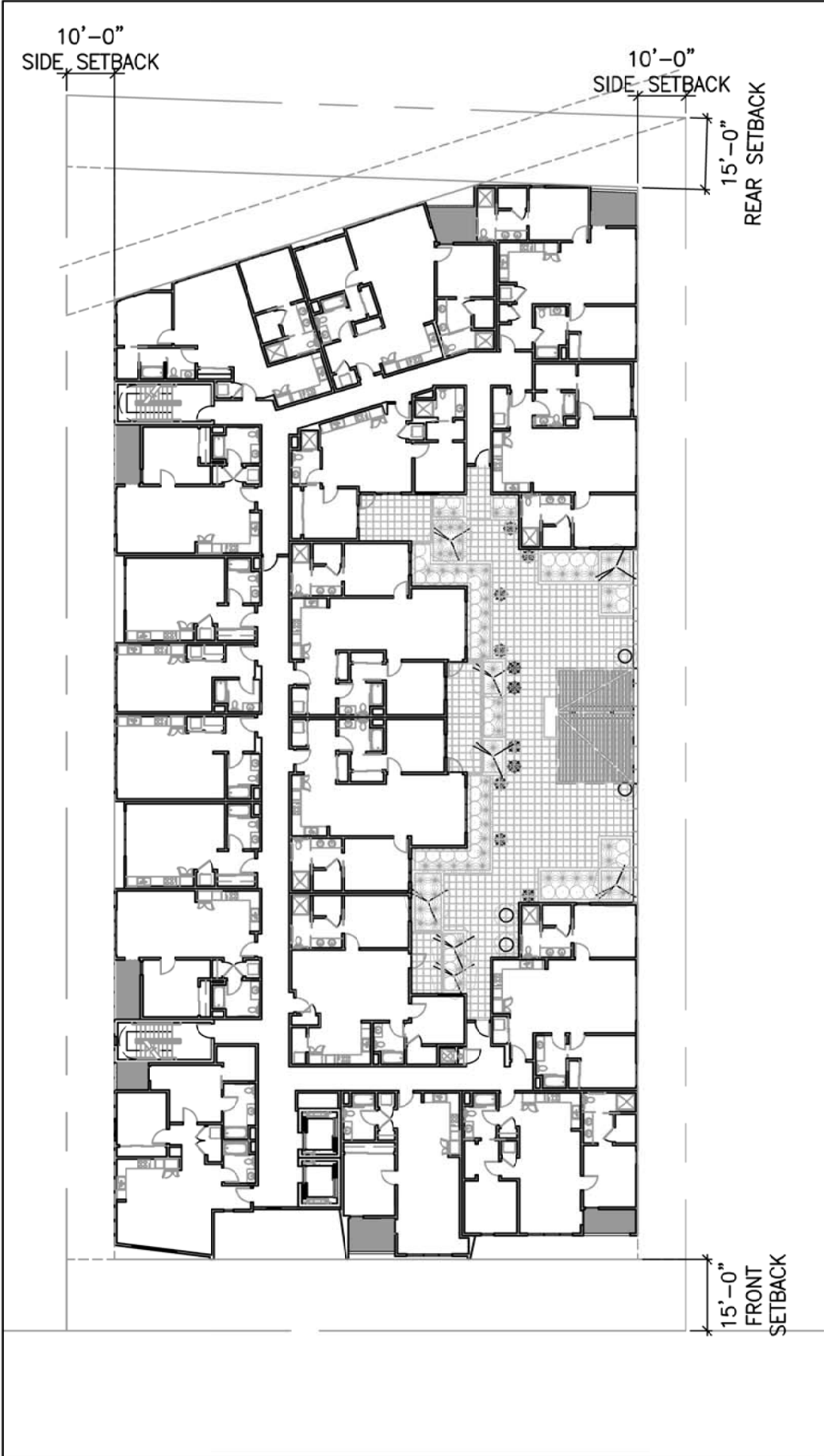


TRUE NORTH

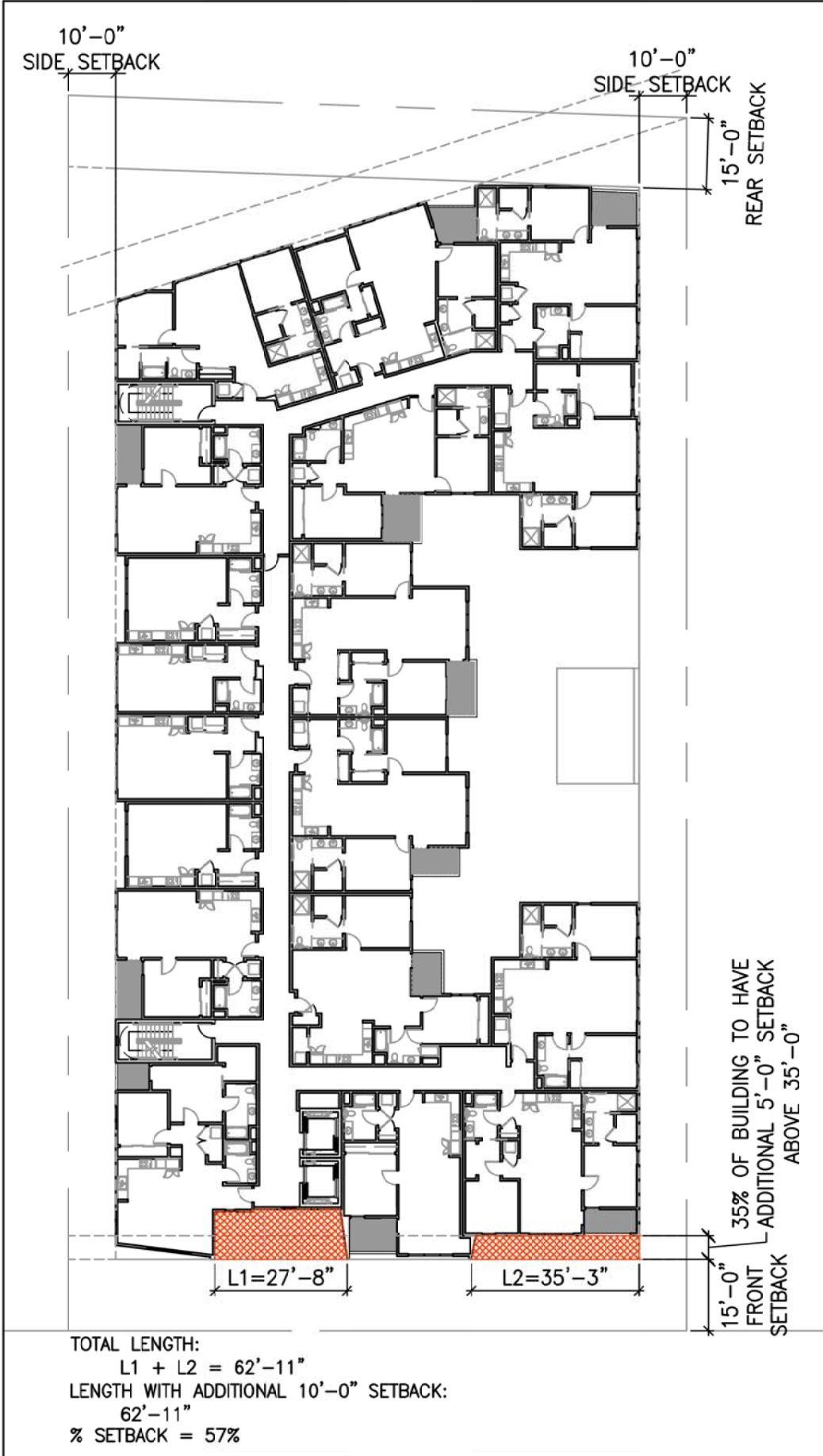




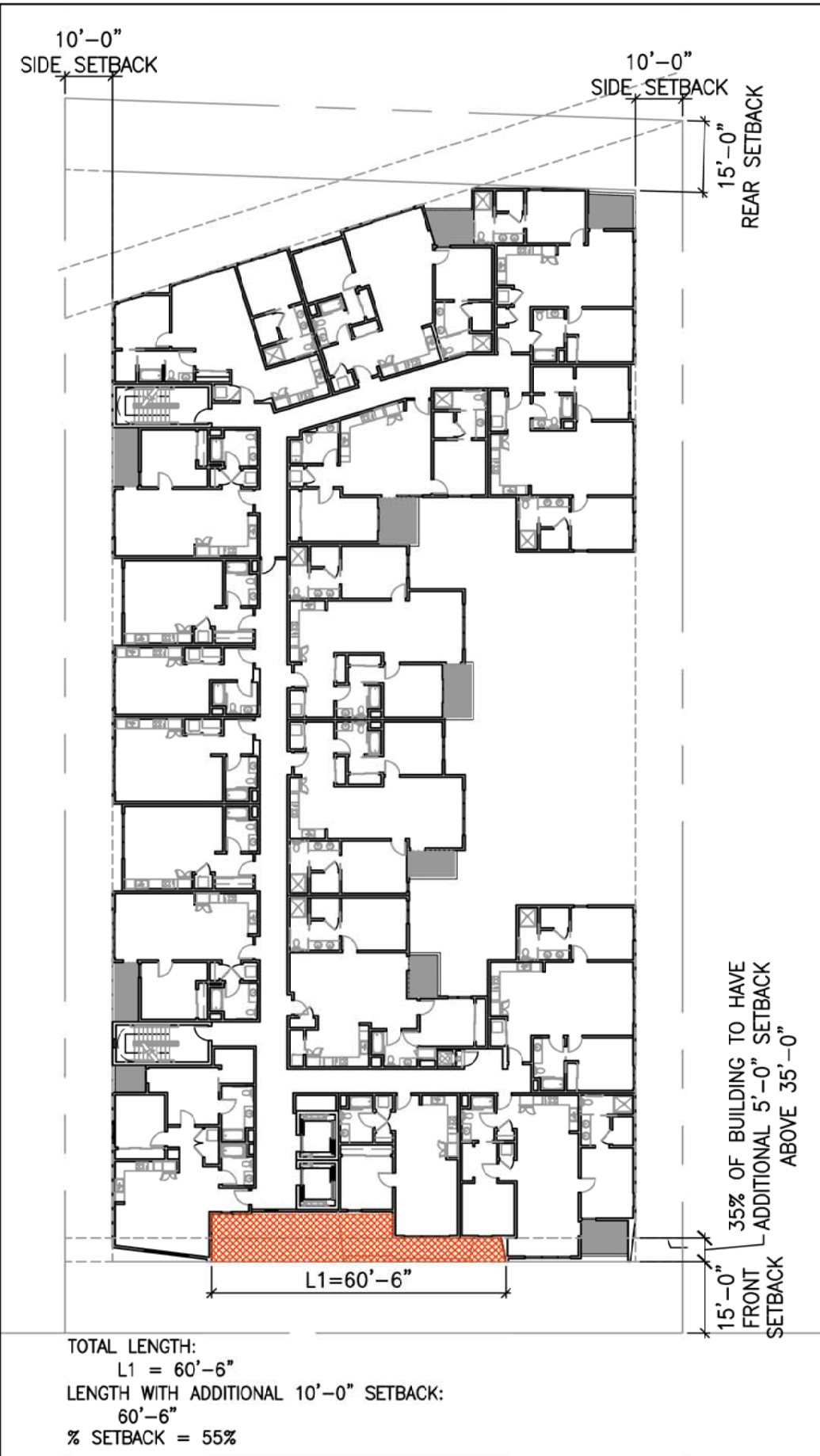
1 FLOOR PLAN: GROUND FLOOR  
1/32"=1'-0"



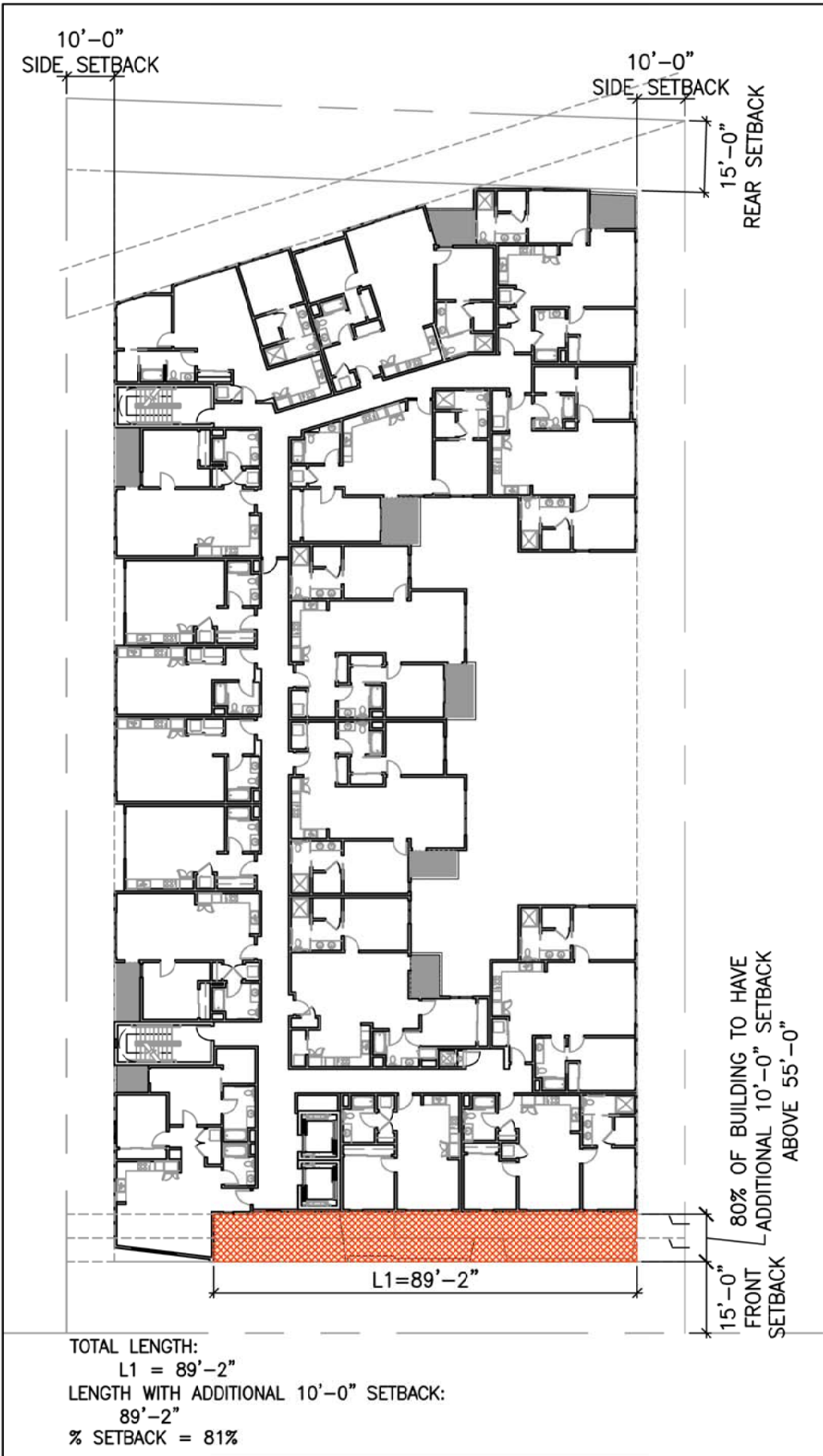
2 FLOOR PLAN: 2ND FLOOR  
1/32"=1'-0"



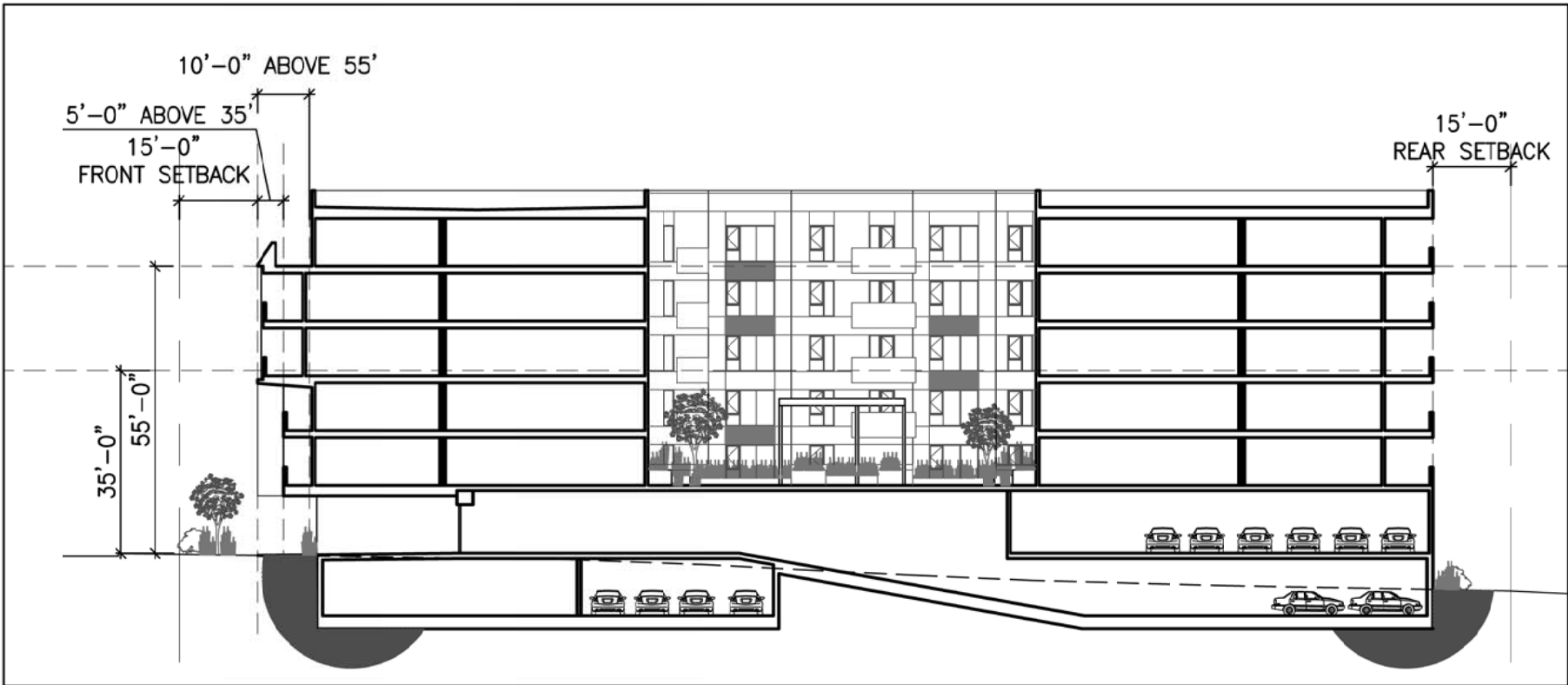
3 FLOOR PLAN: 3RD FLOOR  
1/32"=1'-0"



4 FLOOR PLAN: 4TH & 5TH FLOOR  
1/32"=1'-0"



5 FLOOR PLAN: 6TH FLOOR  
1/32"=1'-0"



7 BUILDING SECTION  
1/32"=1'-0"

SETBACK REQUIREMENT

FRONT SETBACKS: 10'-0"  
+ 35% ABOVE 35'  
AN ADDITIONAL 5'  
+ 80% ABOVE 55'  
AN ADDITIONAL 10'  
SIDE SETBACKS: 10'-0"  
REAR SETBACKS: 15'-0"



PROJECT NORTH



TRUE NORTH

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1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION  
11-13-2020 REVISION

CONTACT: TOBY LEVY

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(415) 777-5117 F

SCALE: AS NOTED

BUILDING  
SETBACK  
DIAGRAM

A0.4c



1814-20 OGDEN DRIVE  
BURLINGAME, CA



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01-11-2021 REVISION

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SCALE: AS NOTED

UNIT MATRIX  
AND  
CALCULATIONS

A0.4d

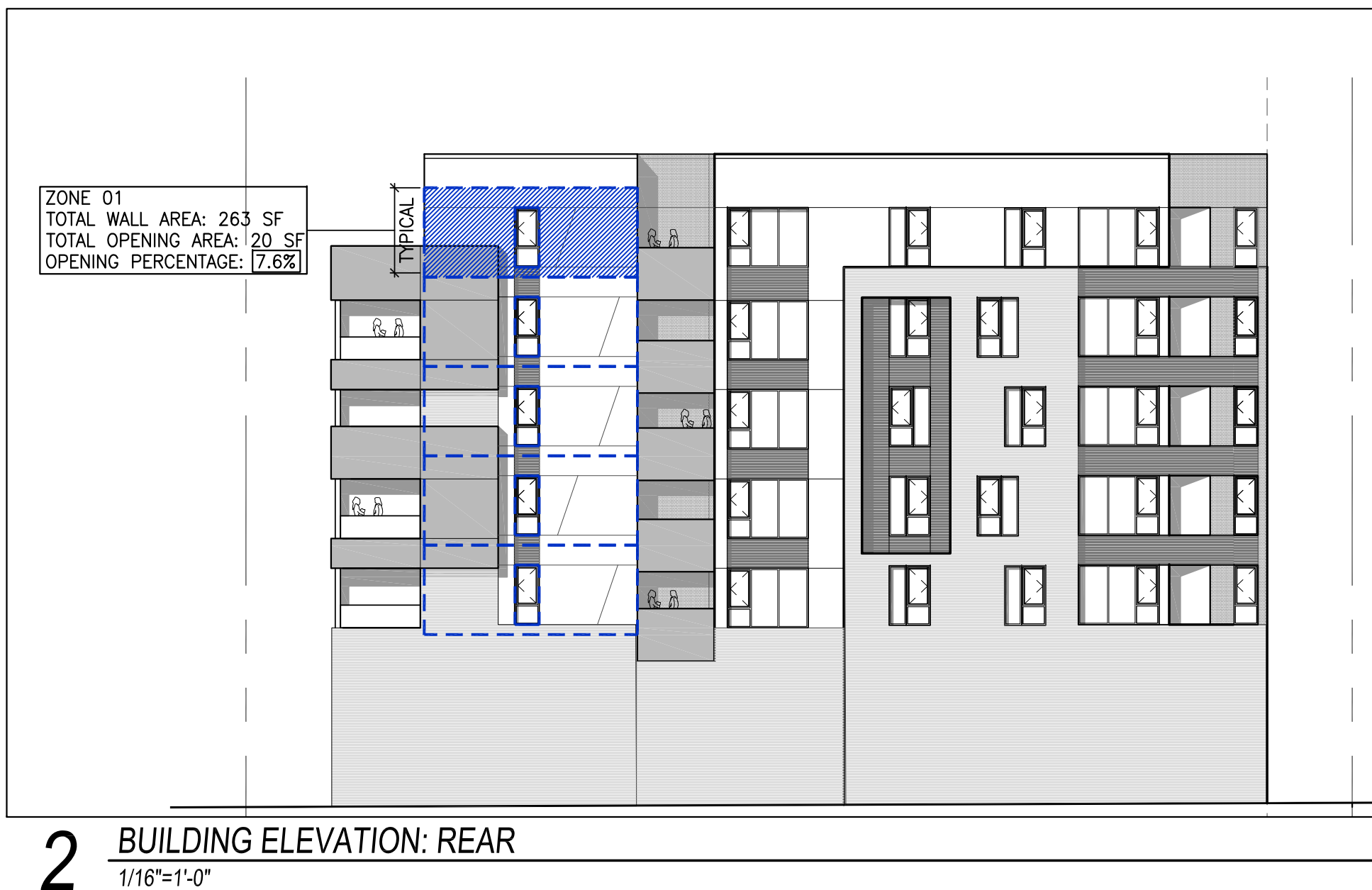
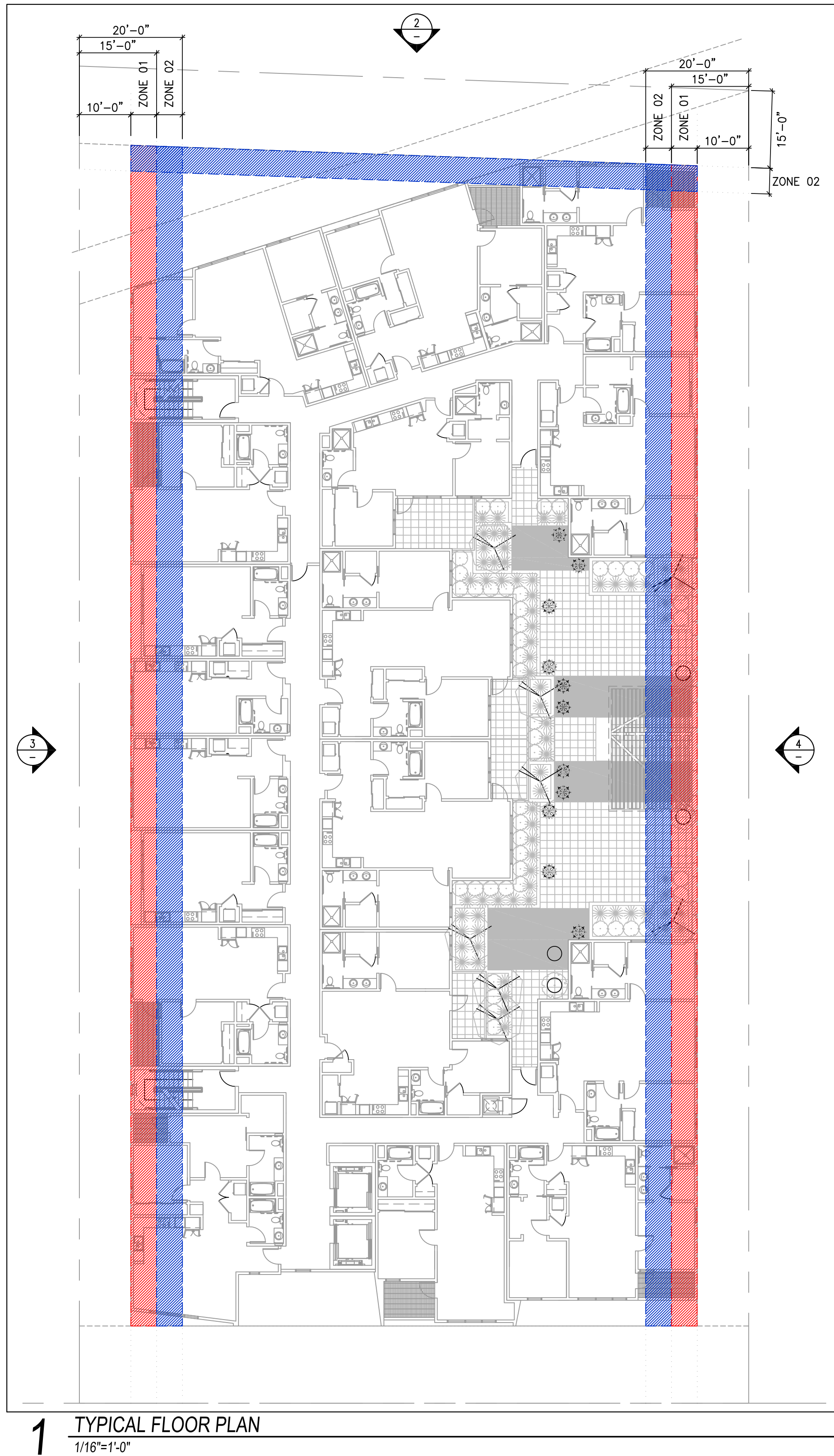
Common Areas								
	Building Floor Levels							Net Area
	Basement	1st	2nd	3rd	4th	5th	6th	
Parking Garage	19682 nsf	18630 nsf	- nsf	- nsf	- nsf	- nsf	- nsf	38312 nsf
Residential Lobby	- nsf	1174 nsf	- nsf	- nsf	- nsf	- nsf	- nsf	1174 nsf
Residential Community Room	- nsf	872 nsf	- nsf	- nsf	- nsf	- nsf	- nsf	872 nsf
Circulation & utilities	1719 nsf	633 nsf	2442 nsf	2335 nsf	2335 nsf	2335 nsf	2335 nsf	14134 nsf

2 NET AREA - COMMON AREAS

Unit Matrix														
Unit	Unit Type	Net Area	Building Floor Levels							Unit Total	%	Area by Type (NSF)		
			Basement	1st	2nd	3rd	4th	5th	6th					
2BD/2BA	A	1071 nsf	-	-	1	1	1	1	1	5		5,355	nsf	
	B1	1198 nsf	-	-	2	1	1	1	1	6		7,188	nsf	
	B2	1198 nsf	-	-	-	1	1	1	1	4		4,792	nsf	
	C1	1057 nsf	-	-	1	-	-	-	-	1		1,057	nsf	
	C2	1112 nsf	-	-	-	1	1	1	1	4		4,448	nsf	
	D	1062 nsf	-	-	1	1	1	1	1	5		5,310	nsf	
	E1	1039 nsf	-	-	1	1	-	-	-	2		2,078	nsf	
	E2	1127 nsf	-	-	-	-	1	1		2		2,254	nsf	
	E3	900 nsf	-	-	-	-	-	-	1	1		900	nsf	
	F	1043 nsf	-	-	1	1	1	1	1	5		5,215	nsf	
	G	1139 nsf	-	-	1	1	1	1	1	5		5,695	nsf	
	H	1026 nsf	-	-	1	1	1	1	1	5		5,130	nsf	
	J	1070 nsf	-	-	1	1	1	1	1	5		5,350	nsf	
	K	982 nsf	-	-	1	1	1	1	1	5		4,910	nsf	
Total			0	0	11	11	11	11	11	55	61%	59,682	nsf	
Residential area by floor			- nsf	- nsf	11,885 nsf	11,940 nsf	12,028 nsf	12,028 nsf	11,801 nsf					
1BD/1BA	L	756 nsf	-	-	2	2	2	2	2	10		7,560	nsf	
	M1	789 nsf	-	-	1	1	-	-	-	2		1,578	nsf	
	M2	700 nsf	-	-	-	-	1	1	-	2		1,400	nsf	
	M3	624 nsf	-	-	-	-	-	-	1	1		624	nsf	
Total			0	0	3	3	3	3	3	15	17%	11,162	nsf	
Residential area by floor			- nsf	- nsf	2,301 nsf	2,301 nsf	2,212 nsf	2,212 nsf	2,136 nsf					
STUDIO	N1	514 nsf	-	-	2	2	2	2	2	10		5,140	nsf	
	N2	448 nsf	-	-	1	1	1	1	1	5		2,240	nsf	
	N3	448 nsf	-	-	1	1	1	1	1	5		2,240	nsf	
Total			0	0	4	4	4	4	4	20	22%	9,620	nsf	
Residential area by floor			- nsf	- nsf	1,924 nsf	1,924 nsf	1,924 nsf	1,924 nsf	1,924 nsf					
TOTAL UNITS			0	0	18	18	18	18	18	90	100%	80,464	nsf	
Avg. Unit Size		894												

1 UNIT MATRIX AND CALCULATIONS





NOTES:

1. PROPOSED BUILDING: SPRINKLERED WITH UNPROTECTED OPENINGS

ALLOWED PERCENT WALL OPENING PER CBC

TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION		
FIRE SEPARATION DISTANCE (feet)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA*
0 to less than 3 <sup>b,c,k</sup>	Unprotected, Nonsprinklered (UP, NS)	Not Permitted <sup>d</sup>
	Unprotected, Sprinklered (UP, S) <sup>f</sup>	Not Permitted <sup>d</sup>
	Protected (P)	Not Permitted <sup>d</sup>
3 to less than 5 <sup>d,e</sup>	Unprotected, Nonsprinklered (UP, NS)	Not Permitted
	Unprotected, Sprinklered (UP, S) <sup>f</sup>	15%
	Protected (P)	15%
5 to less than 10 <sup>d,e,f</sup>	Unprotected, Nonsprinklered (UP, NS)	10% <sup>g</sup>
	Unprotected, Sprinklered (UP, S) <sup>f</sup>	25%
	Protected (P)	25%
10 to less than 15 <sup>d,e,f</sup>	Unprotected, Nonsprinklered (UP, NS)	15%
	Unprotected, Sprinklered (UP, S) <sup>f</sup>	45%
	Protected (P)	45%
15 to less than 20 <sup>d,e</sup>	Unprotected, Nonsprinklered (UP, NS)	25%
	Unprotected, Sprinklered (UP, S) <sup>f</sup>	75%
	Protected (P)	75%
20 to less than 25 <sup>d,e</sup>	Unprotected, Nonsprinklered (UP, NS)	45%
	Unprotected, Sprinklered (UP, S) <sup>f</sup>	No Limit
	Protected (P)	No Limit
25 to less than 30 <sup>d,e</sup>	Unprotected, Nonsprinklered (UP, NS)	70%
	Unprotected, Sprinklered (UP, S) <sup>f</sup>	No Limit
	Protected (P)	No Limit
30 or greater	Unprotected, Nonsprinklered (UP, NS)	No Limit
	Unprotected, Sprinklered (UP, S) <sup>f</sup>	No Limit
	Protected (P)	No Limit

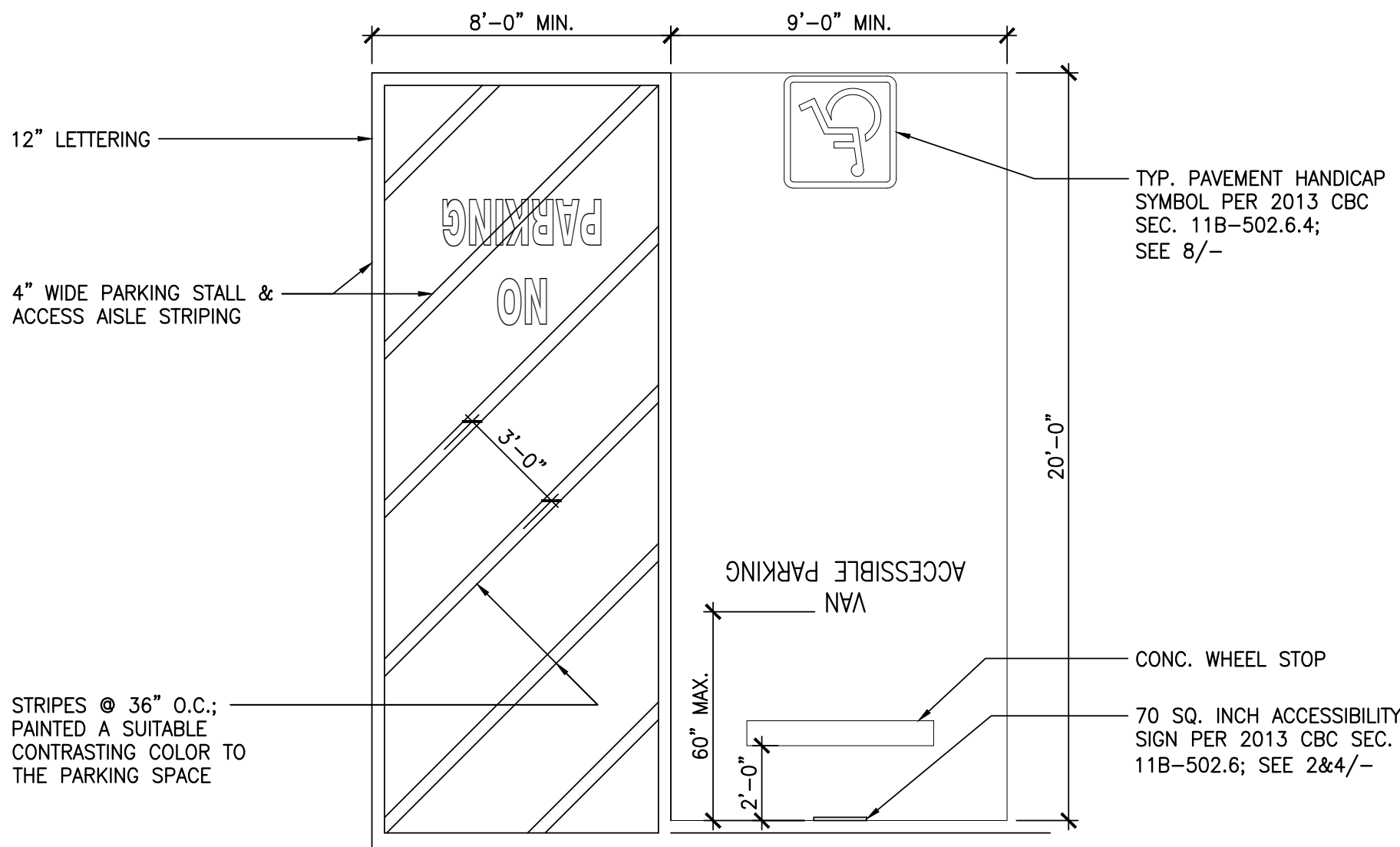
For SI: 1 foot = 304.8 mm.  
UP, NS = Unprotected openings in buildings not equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.  
UP, S = Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.  
P = Openings protected with an opening protective assembly in accordance with Section 705.8.2.  
a. Values indicated are the percentage of the area of the exterior wall, per story.  
b. For the requirements for fire walls of buildings with differing heights, see Section 706.6.1.  
c. For openings in a fire wall for buildings on the same lot, see Section 706.8.  
d. The maximum percentage of unprotected and protected openings shall be 25 percent for Group R-3 occupancies.  
e. Unprotected openings shall not be permitted for openings with a fire separation distance of less than 15 feet for Group H-2 and H-3 occupancies.  
f. The area of unprotected and protected openings shall not be limited for Group R-3 occupancies, with a fire separation distance of 5 feet or greater.  
g. The area of openings in an open parking structure with a fire separation distance of 10 feet or greater shall not be limited.  
h. Includes buildings accessory to Group R-3.  
i. Not applicable to Group H-1, H-2 and H-3 occupancies.  
j. For special requirements for Group U occupancies, see Section 406.3.2.  
k. For openings between S-2 parking garage and Group R-2 building, see Section 705.3, Exception 2.



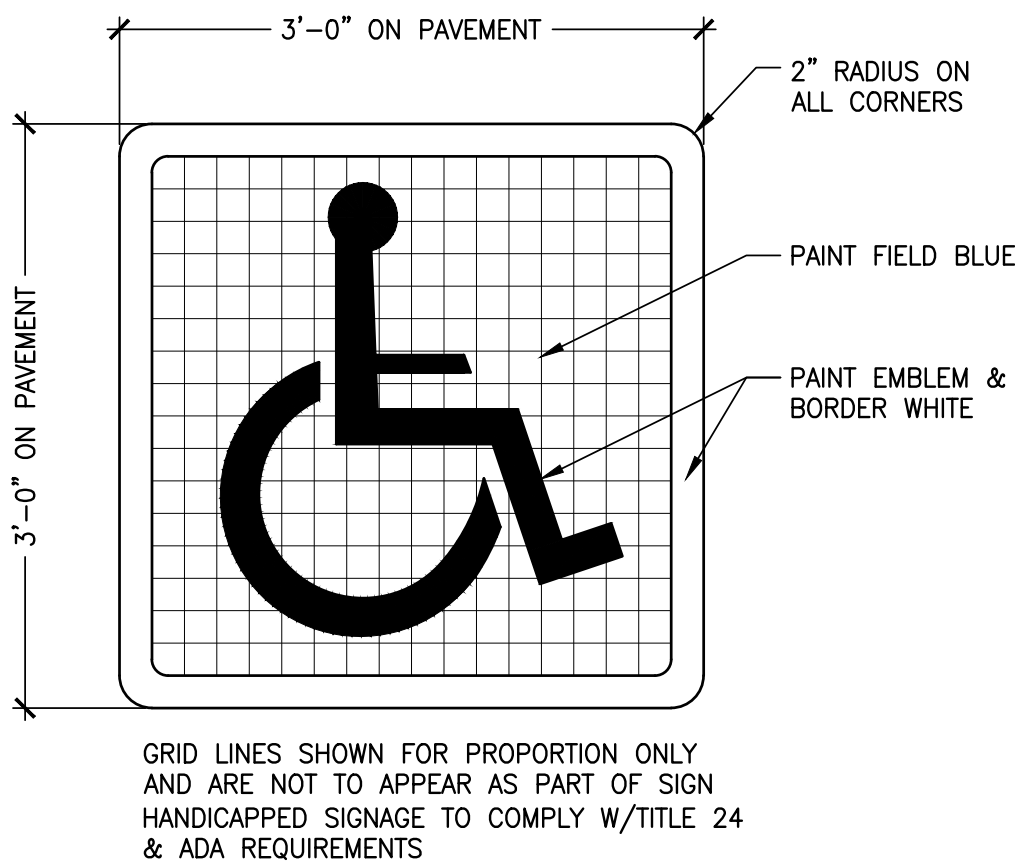
1. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ANY DIRECTION. EXTEND ACCESS AISLE PAINT TO TOE OF CURB RAMP.

2. THE ENTIRE ACCESSIBLE PARKING SPACE, SHALL BE PAINTED BLUE & OUTLINED WITH A CONTRASTING WHITE (CBC 11B-502.6.4.1); PAINT THE BORDER OF THE ACCESS AISLE BLUE (CBC FIGURE 11B-502.3.3)

3. WHERE CURB RAMP CONDITION OCCURS PAINT AS PER CURB RAMP DETAIL. EXTEND ACCESS AISLE PAINT TO TOE OF CURB RAMP.

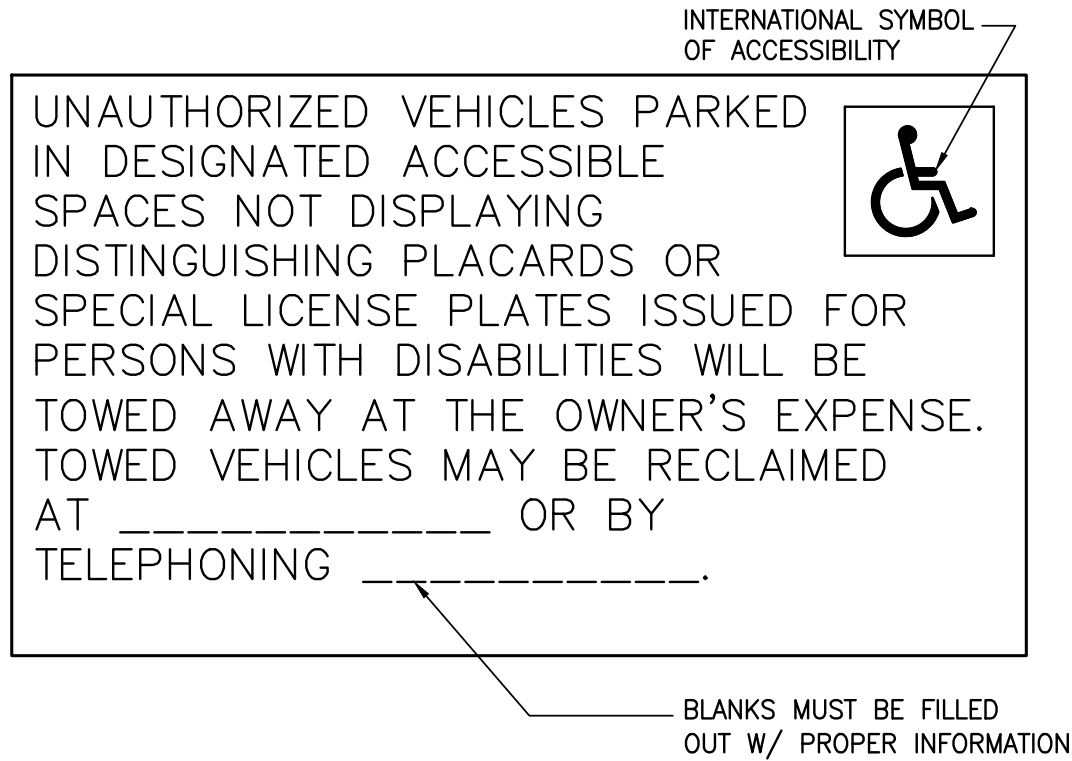


9 TYP. ACCESSIBLE PARKING SPACE  
1/4"=1'-0"



8 PAINTED ACCESSIBLE SIGN  
1"=1'-0"  
- ON GROUND @ PARK STALL

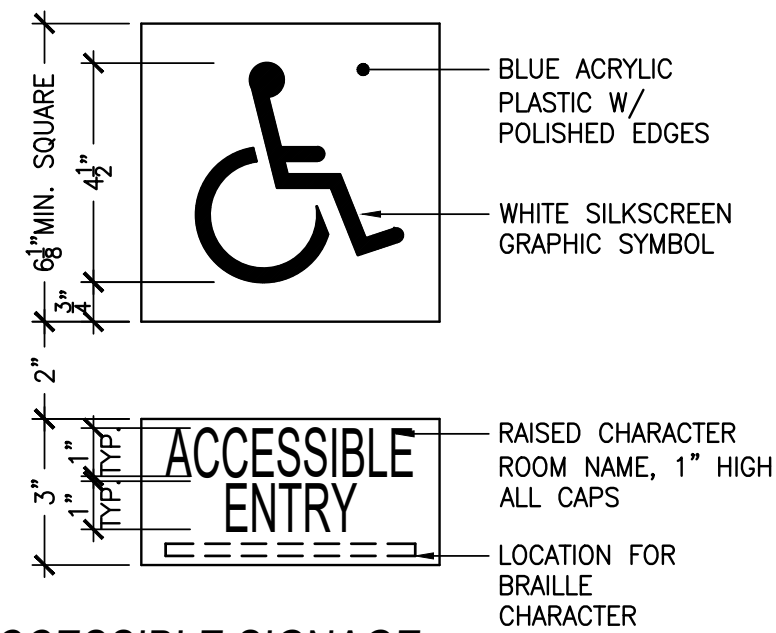
NOTE: ADDITIONAL "UNAUTHORIZED LOT" SIGNAGE MUST BE POSTED AT ENTRANCES TO OFF STREET PARKING FACILITIES OR ADJACENT TO OR VISIBLE FROM ALL ACCESSIBLE SPACES, 17" X 22" MIN. SIZE; SEE SEC. 1129B.4.



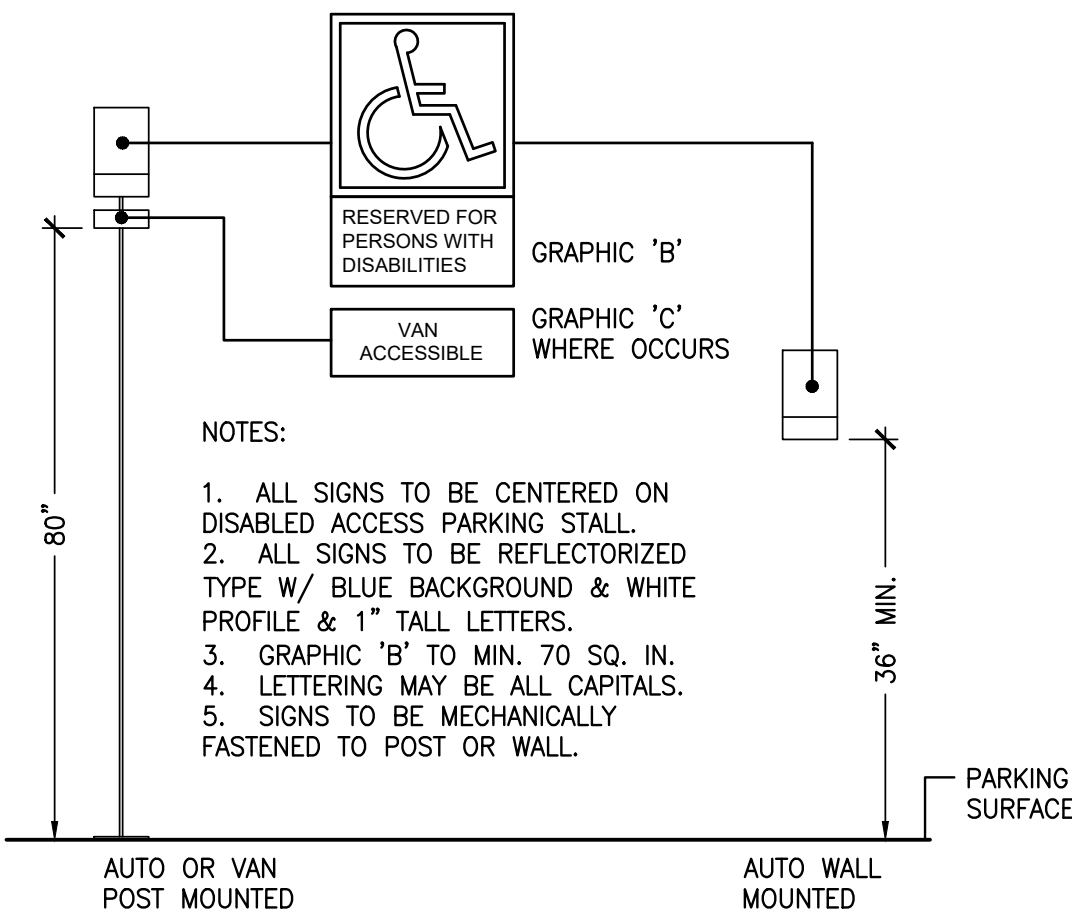
7 TYP. UNAUTHORIZED VEHICLES SIGNAGE  
3"=1'-0"

NOTE:

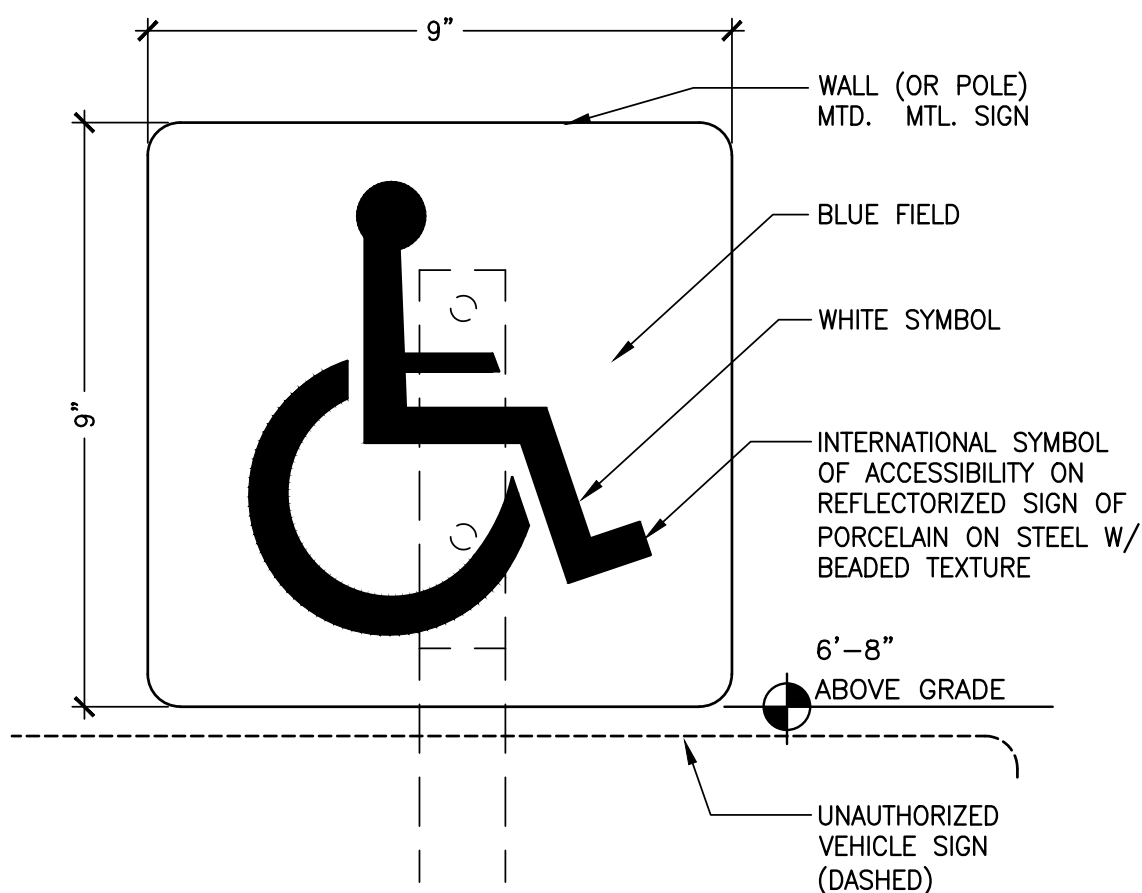
- ROOM NAME TO BE RAISED 1/32" SANS SERIF, COLOR WHITE. BRAILLE TO BE GRADE 2 BRAILLE, COLOR WHITE.
- SIGNAGE TO BE 1/4" THICK BLUE ACRYLIC PLASTIC TO MATCH FED. STND. 595b, COLOR #15090. SYMBOL TO BE SILK-SCREEN EPOXY OR VINYL, COLOR WHITE.
- ATTACH SIGNAGE TO WALL W/ TWO-SIDED TAPE & SILICONE.



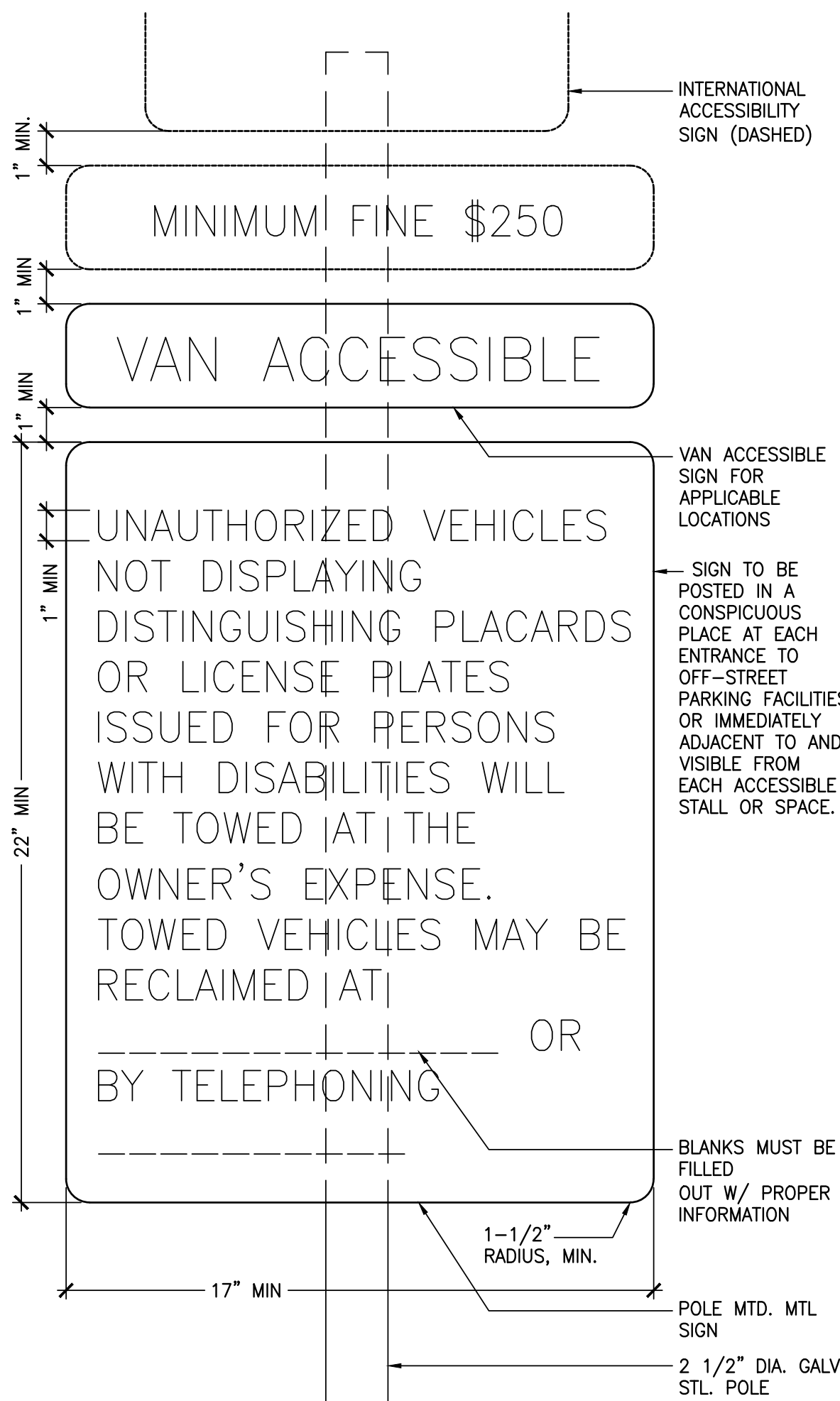
6 TYP. ACCESSIBLE SIGNAGE  
3"=1'-0"



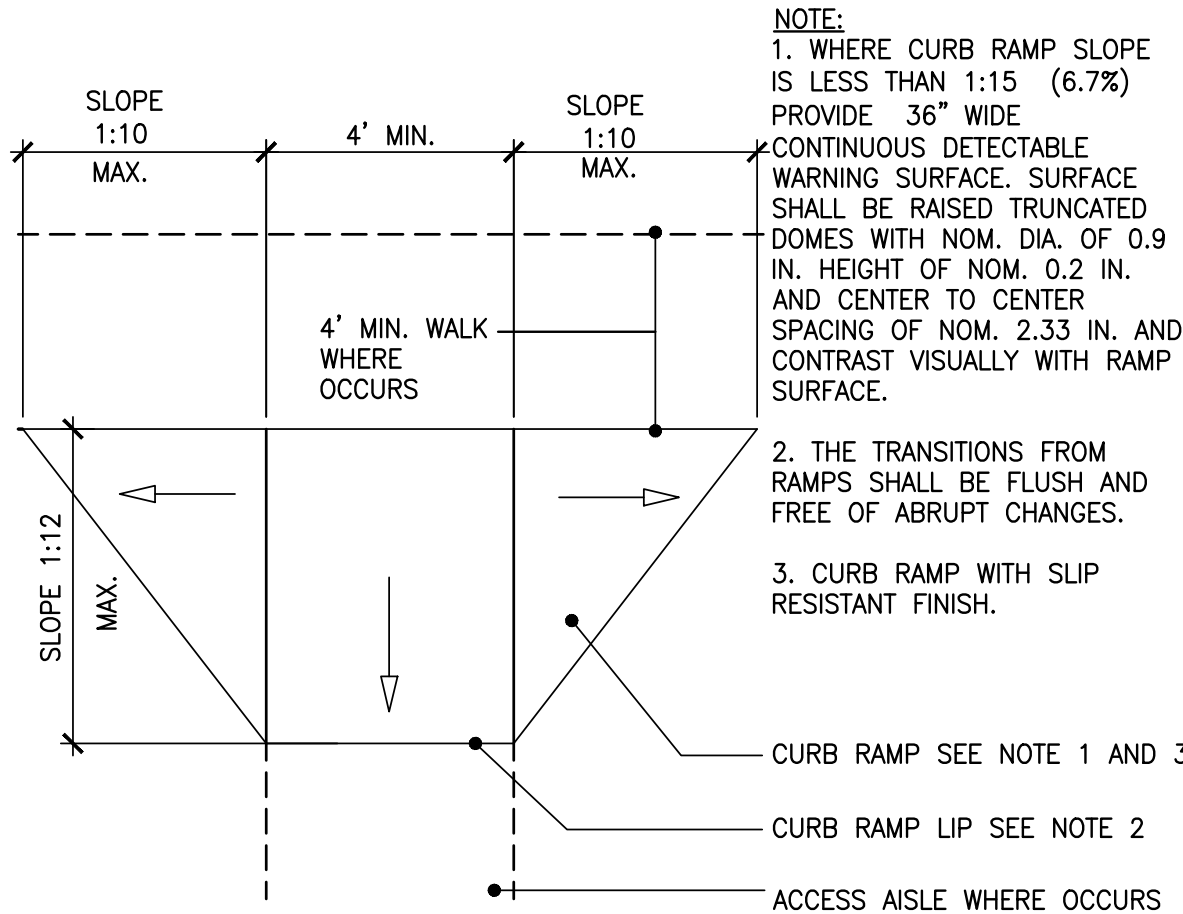
5 TYP. ACCESSIBLE PARKING STALL SIGN  
3"=1'-0"



4 PAINTED ACCESSIBLE SIGN - WALL MOUNTED  
1"=1'-0"



2 VAN ACCESSIBLE PARKING SIGN  
3"=1'-0"



1 CURB CUT - ACCESSIBLE  
1/4"=1'-0"

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BURLINGAME, CA



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025121110  
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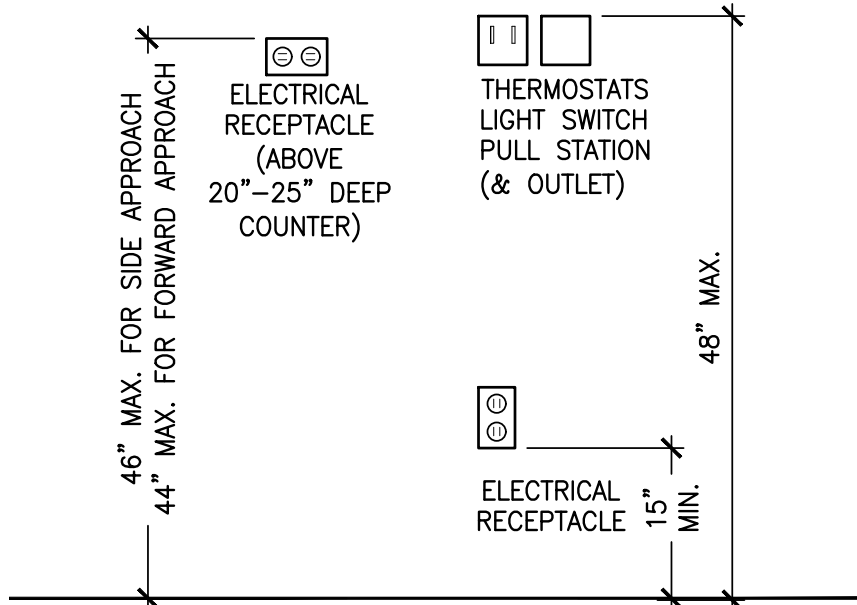
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

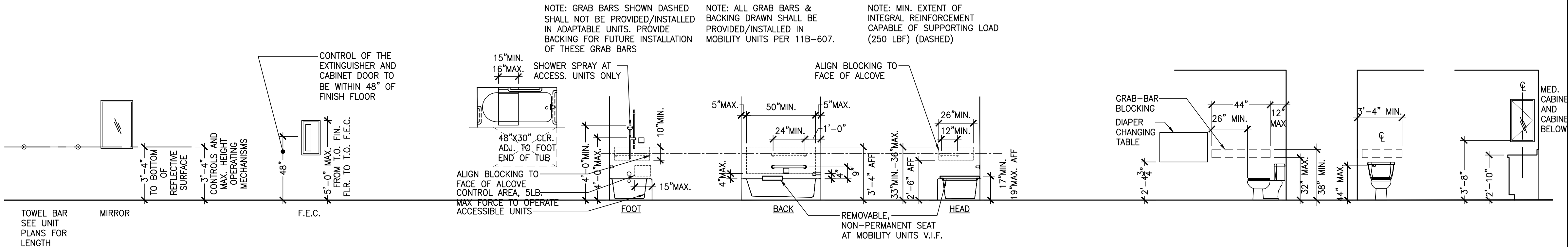
DETAILS:  
TYPICAL  
ACCESSIBILITY

A0.7

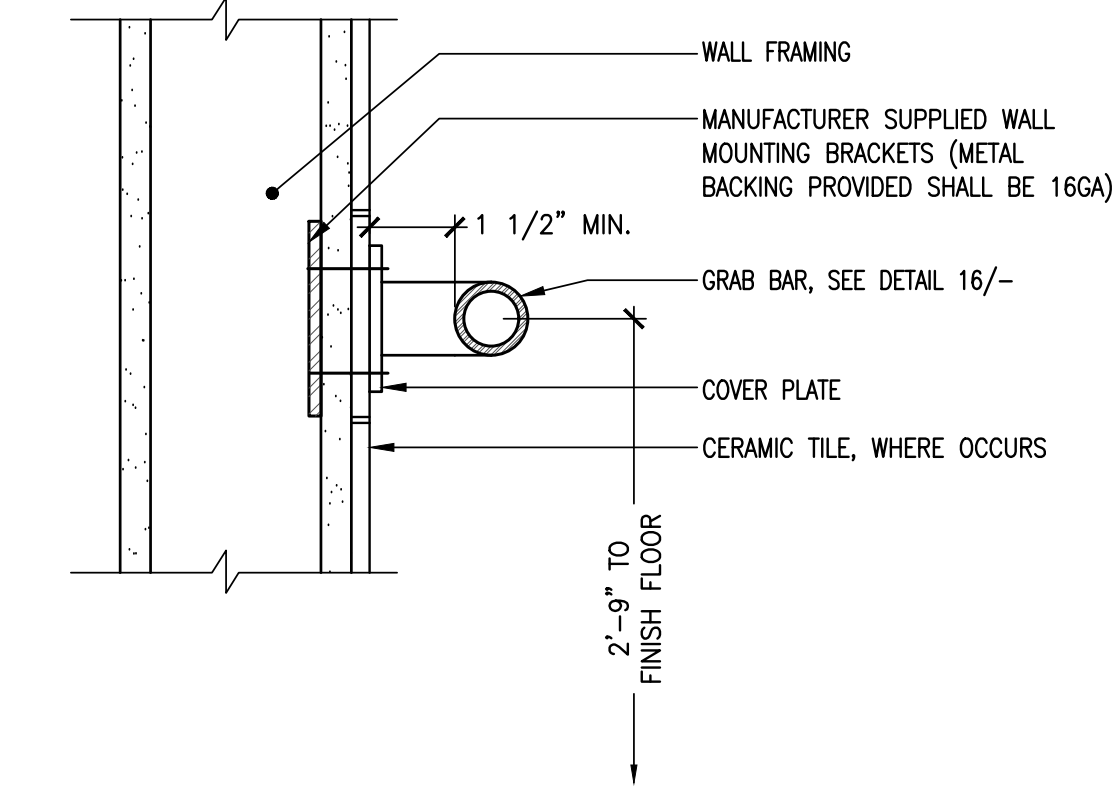




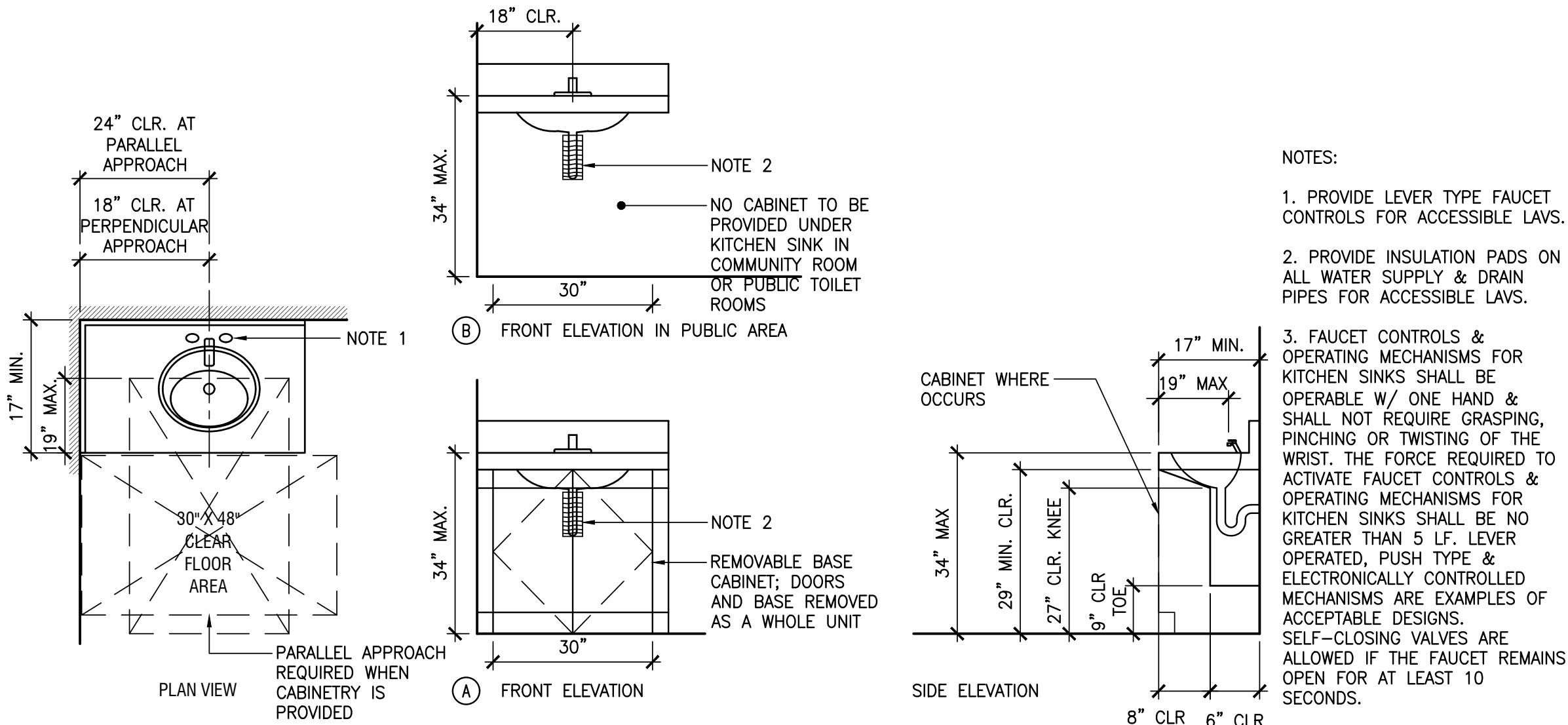
13B ELECTRICAL OUTLET MOUNTING HEIGHT  
3/4"=1'-0"



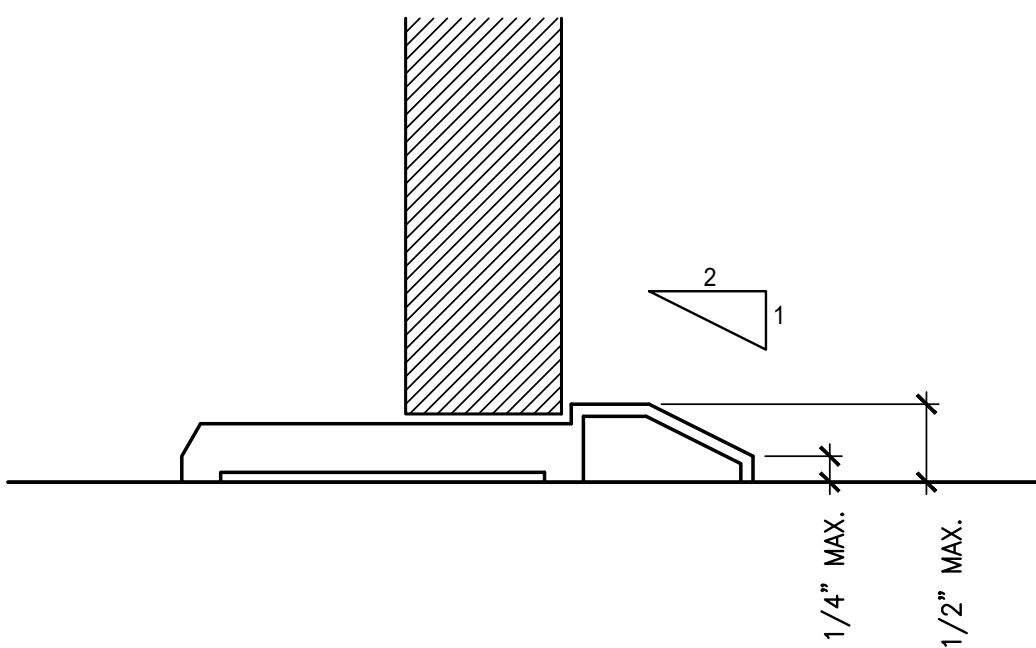
13 TYP. ACCESSIBLE / ADAPTABLE FIXTURE MOUNTING HEIGHT REQUIREMENTS  
1/4"=1'-0"



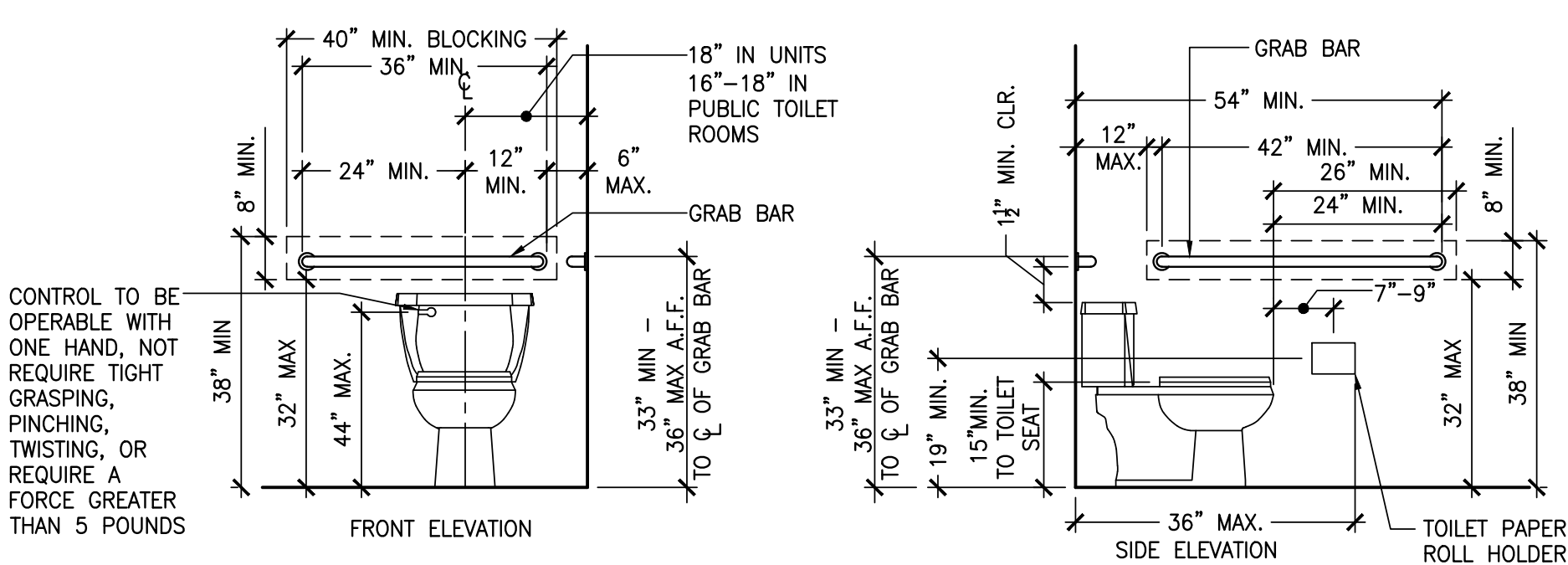
16 GRAB BAR MOUNTING/BLOCKING DETAILS  
3"=1'-0"



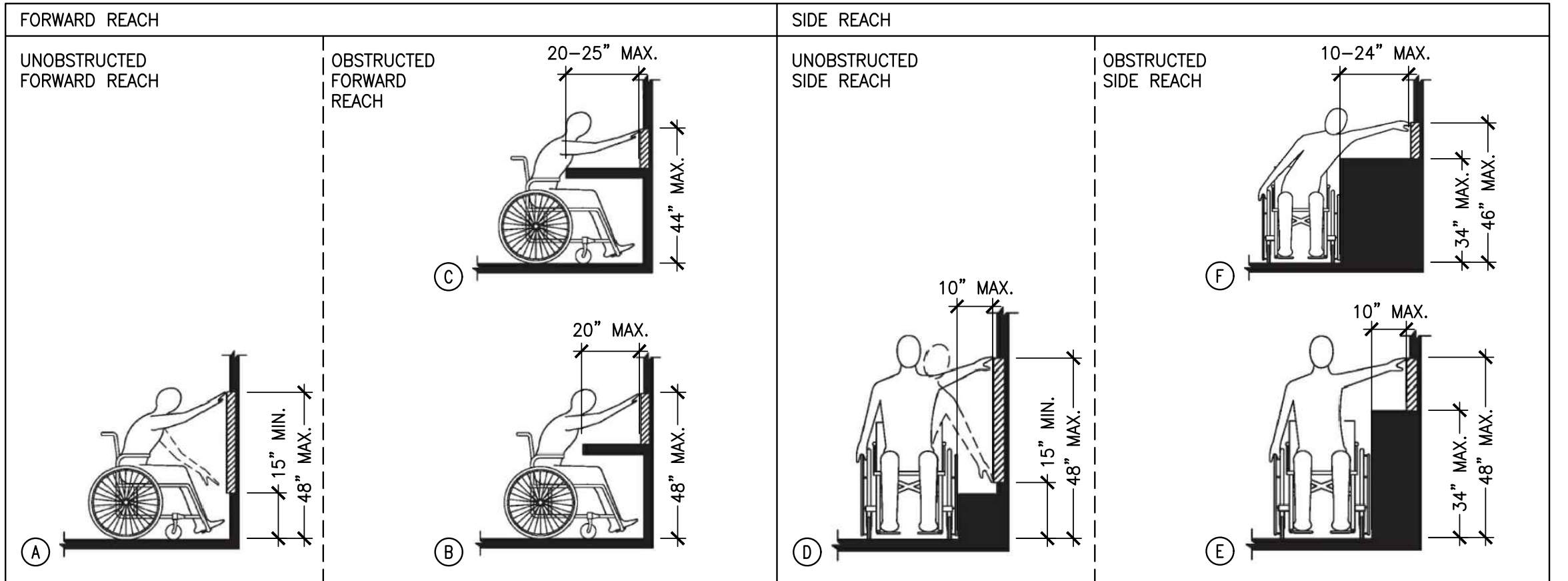
15 ACCESSIBLE CLEARANCES AT VANITY AND KITCHEN SINK  
1/2"=1'-0"



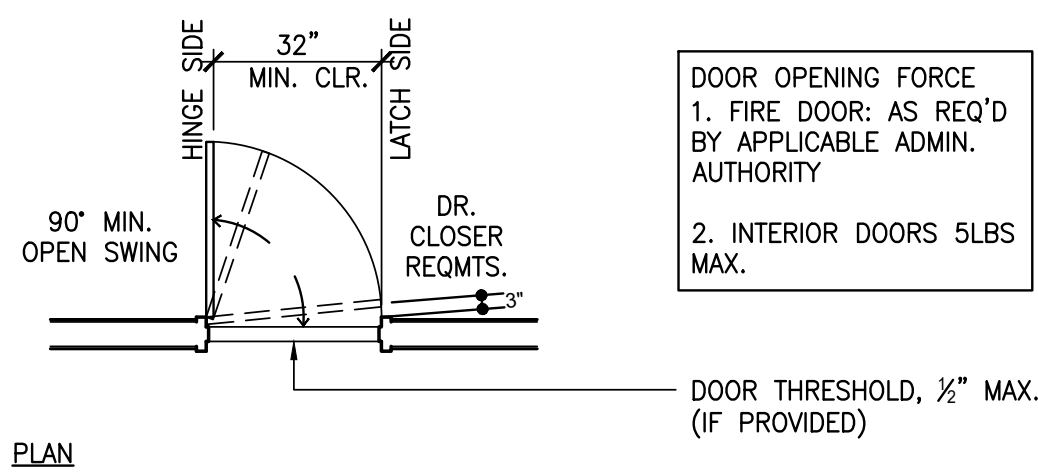
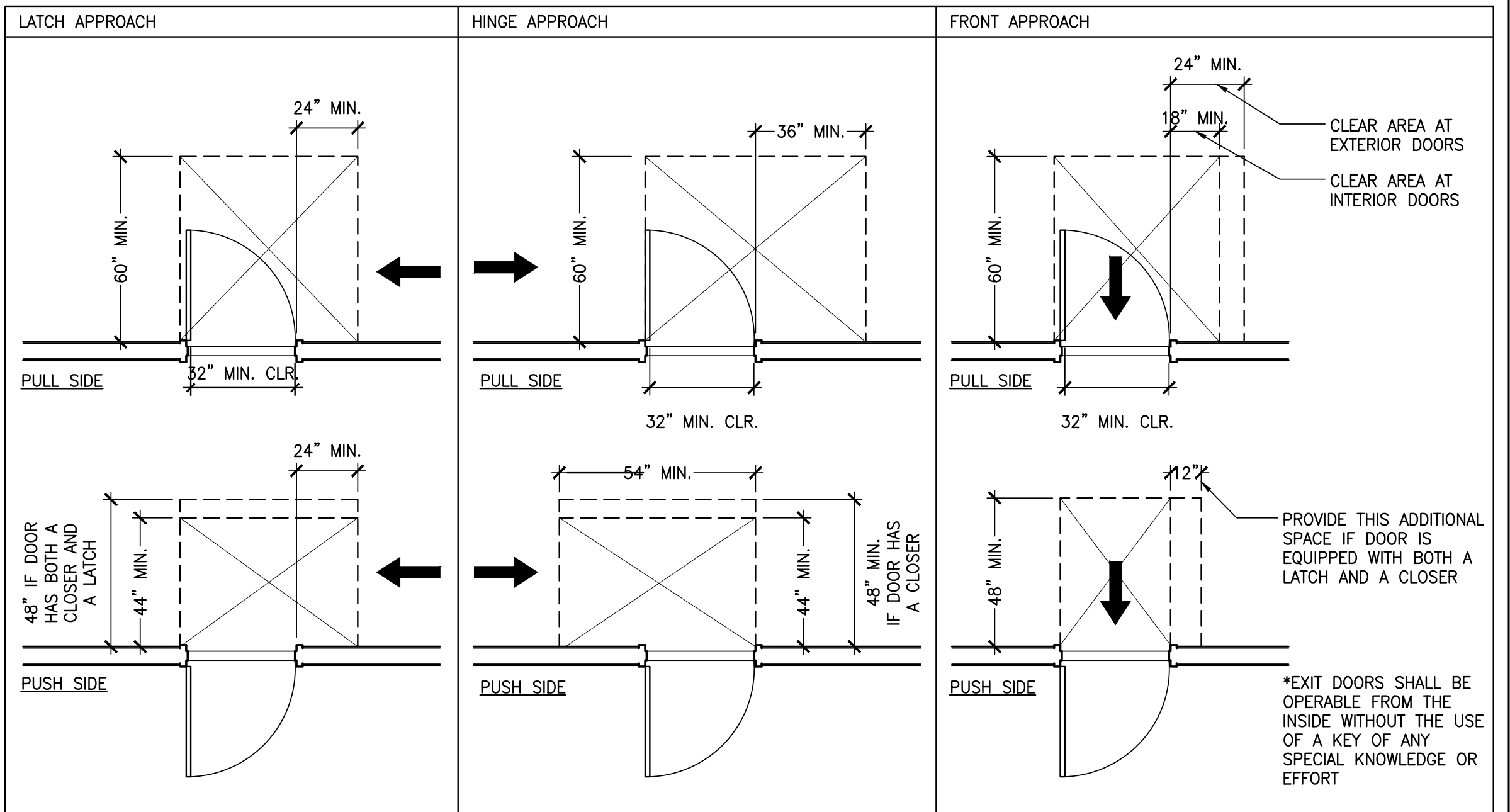
17 DOOR THRESHOLD  
N.T.S.



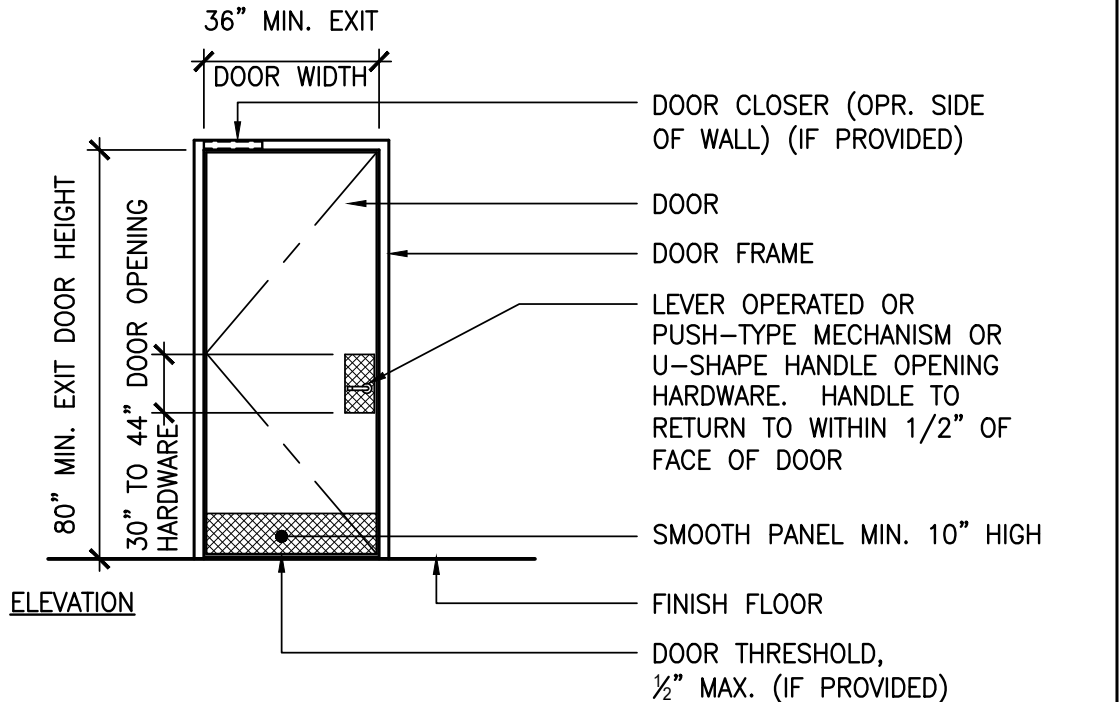
14 TYP. ACCESSIBLE TOILET CLEARANCES  
1/2"=1'-0"



7 FORWARD AND SIDE REACH  
NOT TO SCALE



6 TYP. DOOR ACCESSIBILITY AND CLEARANCES DETAILS  
1/4"=1'-0"



EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OF ANY SPECIAL KNOWLEDGE OR EFFORT



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SCALE: AS NOTED

DETAILS:  
TYPICAL  
ACCESSIBILITY

A0.9

#### GENERAL SIGNAGE NOTES:

1. ALL POLYMER SIGNS ARE TO BE  $\frac{1}{8}$ " THICK.

#### GENERAL ADA NOTES:

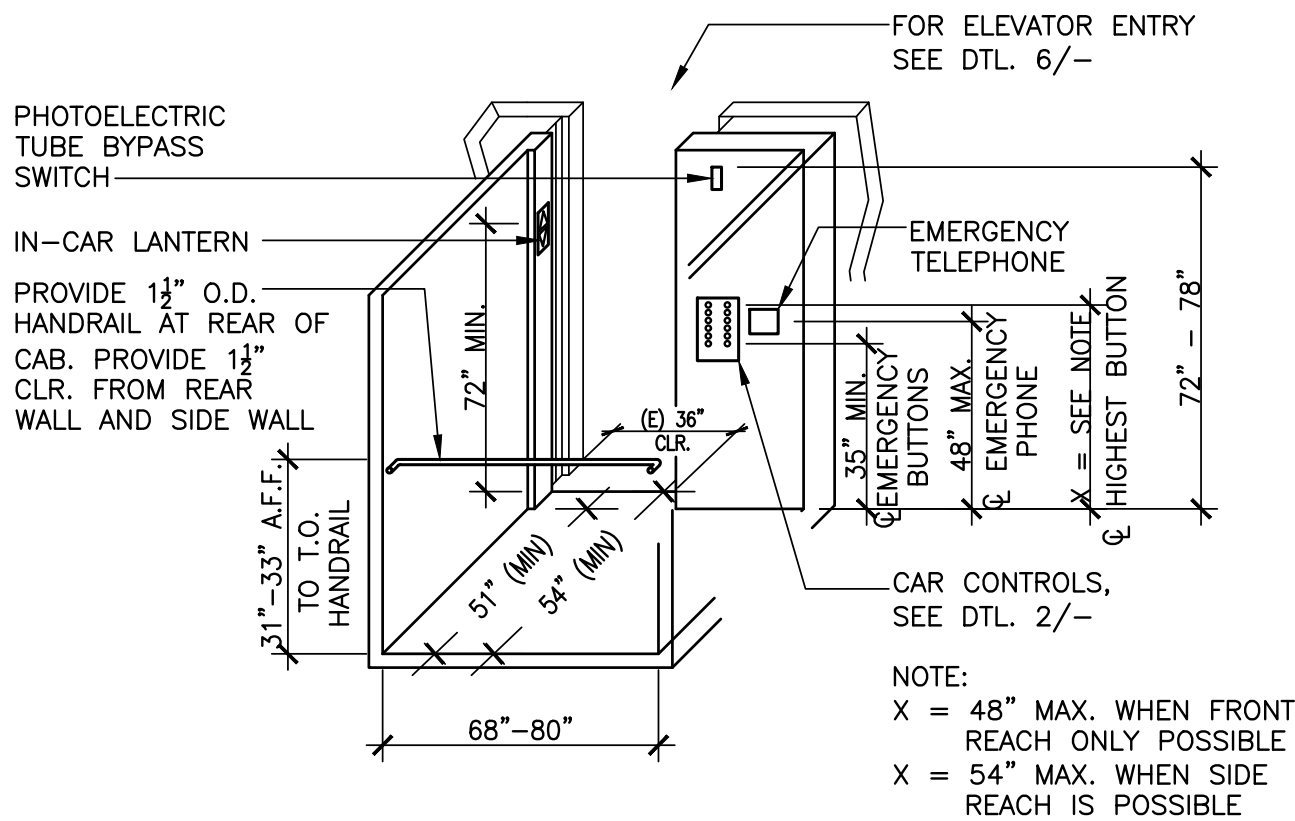
1. ACCESSIBILITY STATEMENT:
2. THE BOTTOM 10 INCHES OF ALL DOORS ARE TO HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST PER CBC SECTION 1133B.2.6.
3. 2" CONTRASTING STRIPING TO BE PROVIDED AT TOP AND BOTTOM STEPS OF STAIRS PER CBC SECTION 1133B.4.4
4. TACTILE IDENTIFICATION SIGNS SHALL COMPLY WITH 1117B.5.1.
5. HANDGRIP PORTION OF HANDRAILS TO BE FREE OF SHARP CORNERS WITH NOT LESS THAN 1-1/4" OR MORE THAN 1-1/2" IN CROSS-SECTIONAL DIMENSION PER CBC SECTION 1133B.4.2.6.
6. CONTRACTOR VERIFY THE EXISTING ACCESSIBLE COMPLIANCE AND/OR ALERT THE TENANT AS NEEDED. CONTRACTOR TO COORDINATE CONSTRUCTION TO MAINTAIN A CONSTANT ACCESSIBLE PATH OF TRAVEL DURING OPERATIONAL HOURS.

#### EXIT SIGNAGE NOTES:

1. EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD "EXIT".
2. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE.
  - A. "EXIT STAIR DOWN"
  - B. "EXIT RAMP DOWN"
  - C. "EXIT STAIR UP"
  - D. "EXIT STAIR UP"
3. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE".
4. EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE".

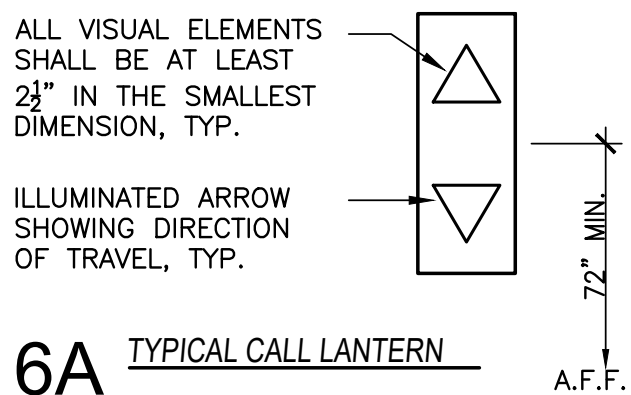
#### ELEVATOR NOTES:

1. IF TWO-WAY INTERCOMMUNICATION DEVICE IS IN CLOSED COMPARTMENT THEN DOOR MUST HAVE LEVER OR LOOP HARDWARE PER CBC 1118.6.4
2. EMERGENCY INTERCOMMUNICATIONS SHALL NOT REQ. VOICE COMMUNICATION.
3. ELEVATOR MUST BE EQUIPPED W/ A DOOR REOPENING DEVICE THAT REOPENS DOOR WHEN OBSTRUCTED DURING CLOSING.
4. DOORS SHALL REMAIN FULLY OPEN WHEN ANSWERING A CALL FOR A MIN. OF 5 SECONDS.
5. MUST HAVE AN AUDIBLE & VERBAL ANNOUNCEMENT OR SIGNAL THAT SOUNDS TO TELL THE PASSENGERS THE CAR IS STOPPING AT OR PASSING A FLOOR.
6. AUDIBLE SIGNAL:
  - 1 BELL = UP
  - 2 BELLS = DOWN

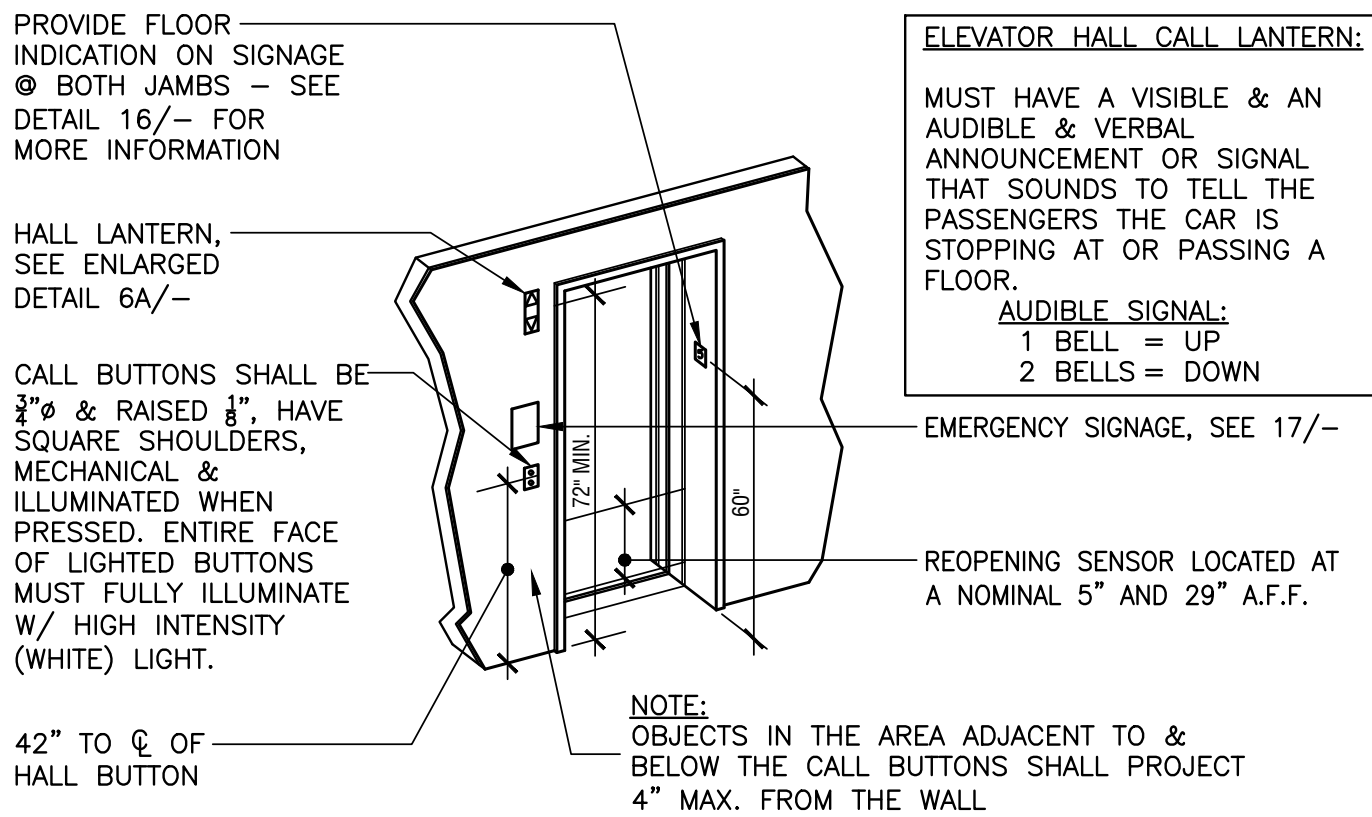


#### 7 ELEVATOR CAB - ADA NOTES AND DIMENSIONS

1/4"=1'-0"

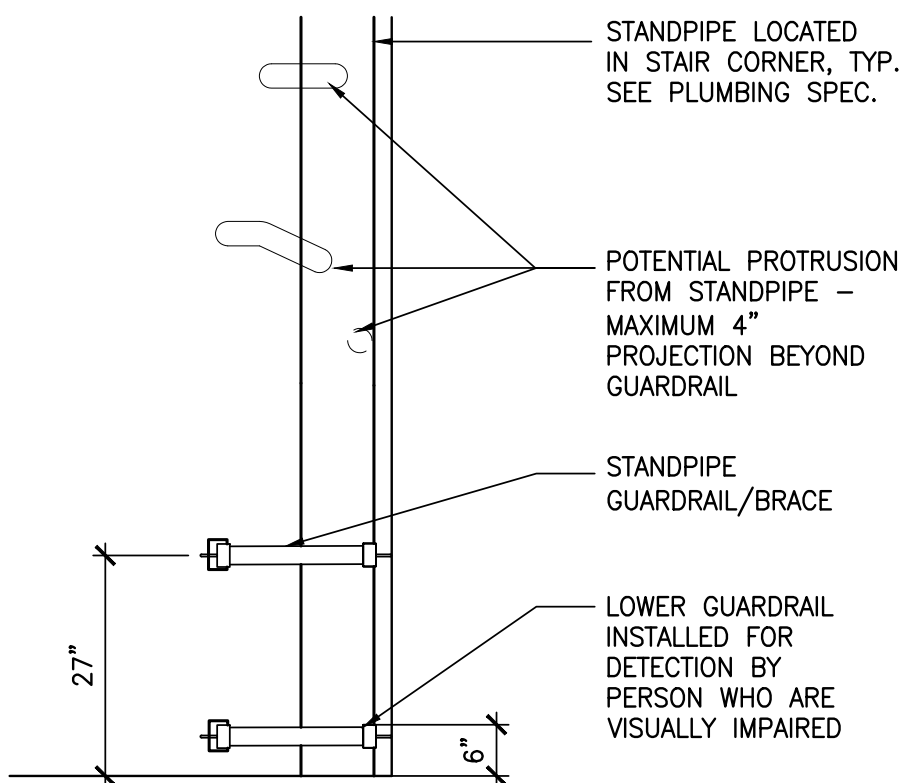


#### 6A TYPICAL CALL LANTERN



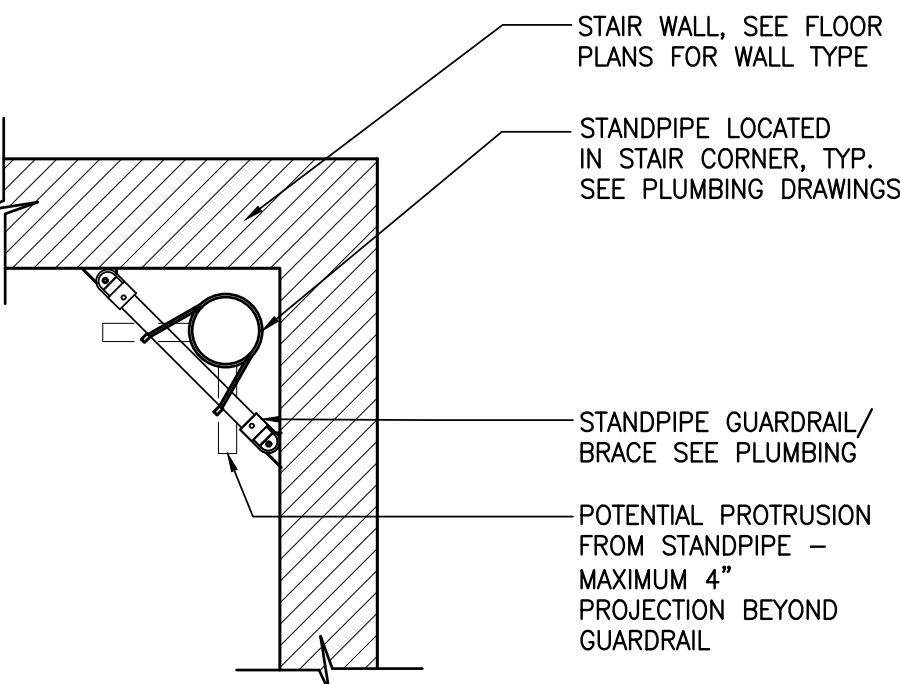
#### 6 ELEVATOR ENTRY SIGNAGE

1/4"=1'-0"



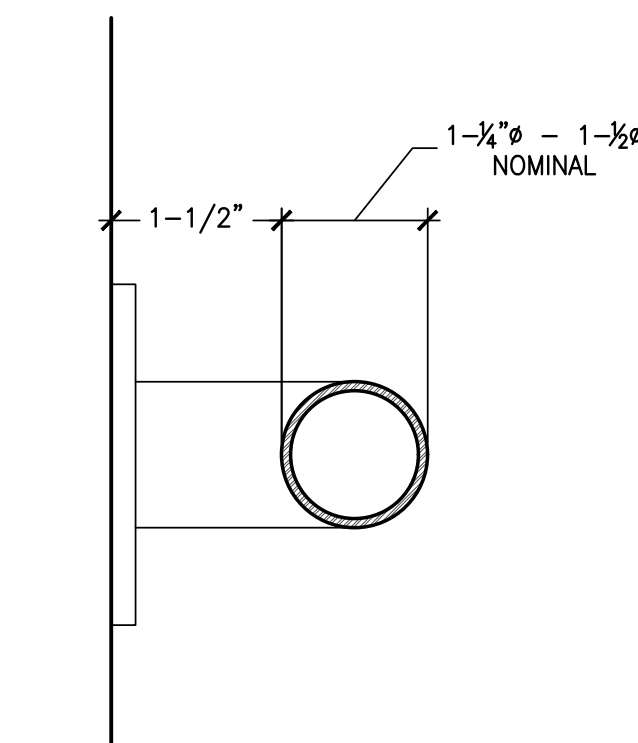
#### 12 INTERIOR STAIR CORNER W/ STANDPIPE

3/4"=1'-0" BRACE/GUARDRAIL - ELEVATION



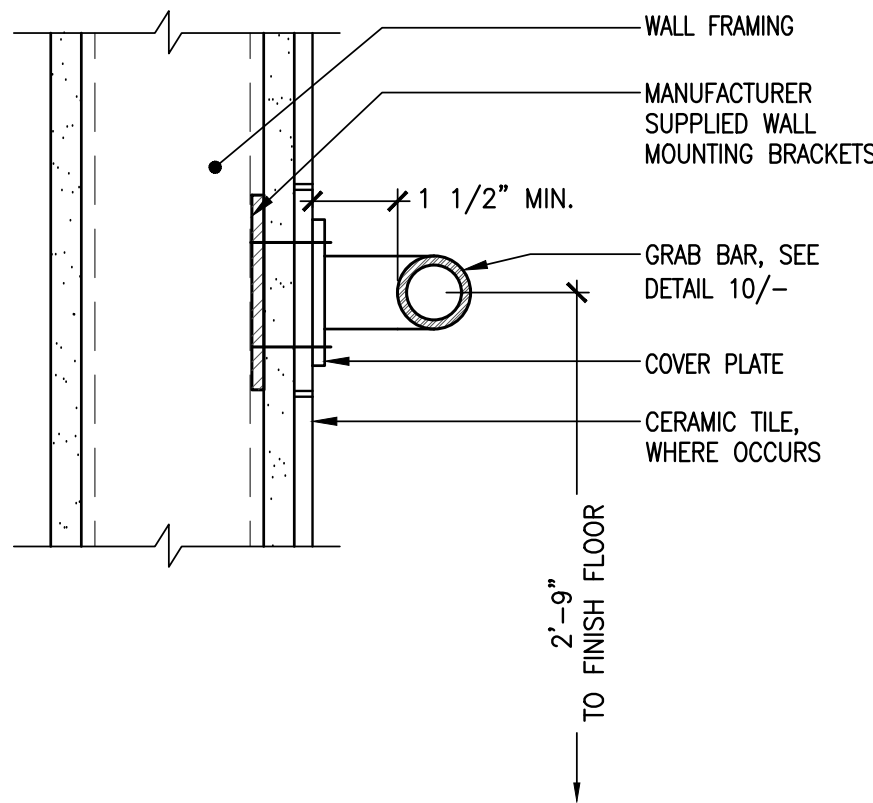
#### 11 INTERIOR STAIR CORNER W/ STANDPIPE

3/4"=1'-0" BRACE/GUARDRAIL - PLAN



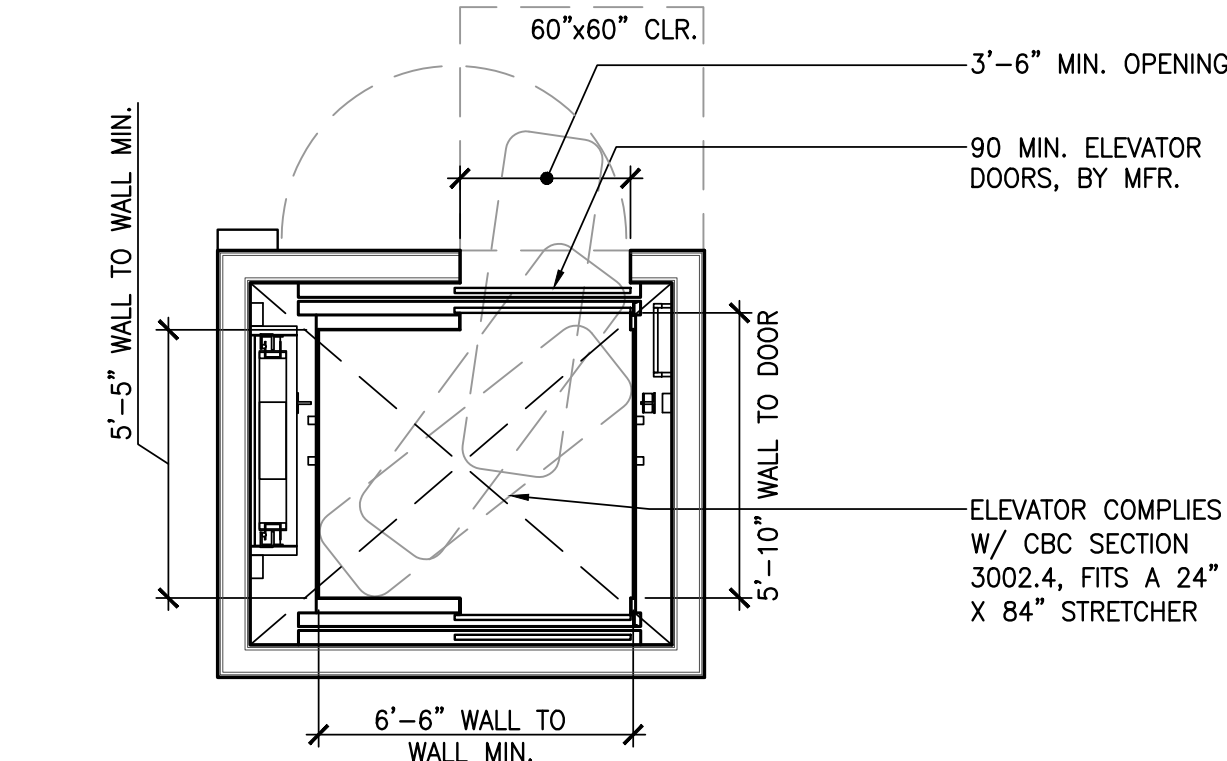
#### 10 GRAB RAIL SECTION, TYP.

3"=1'-0"



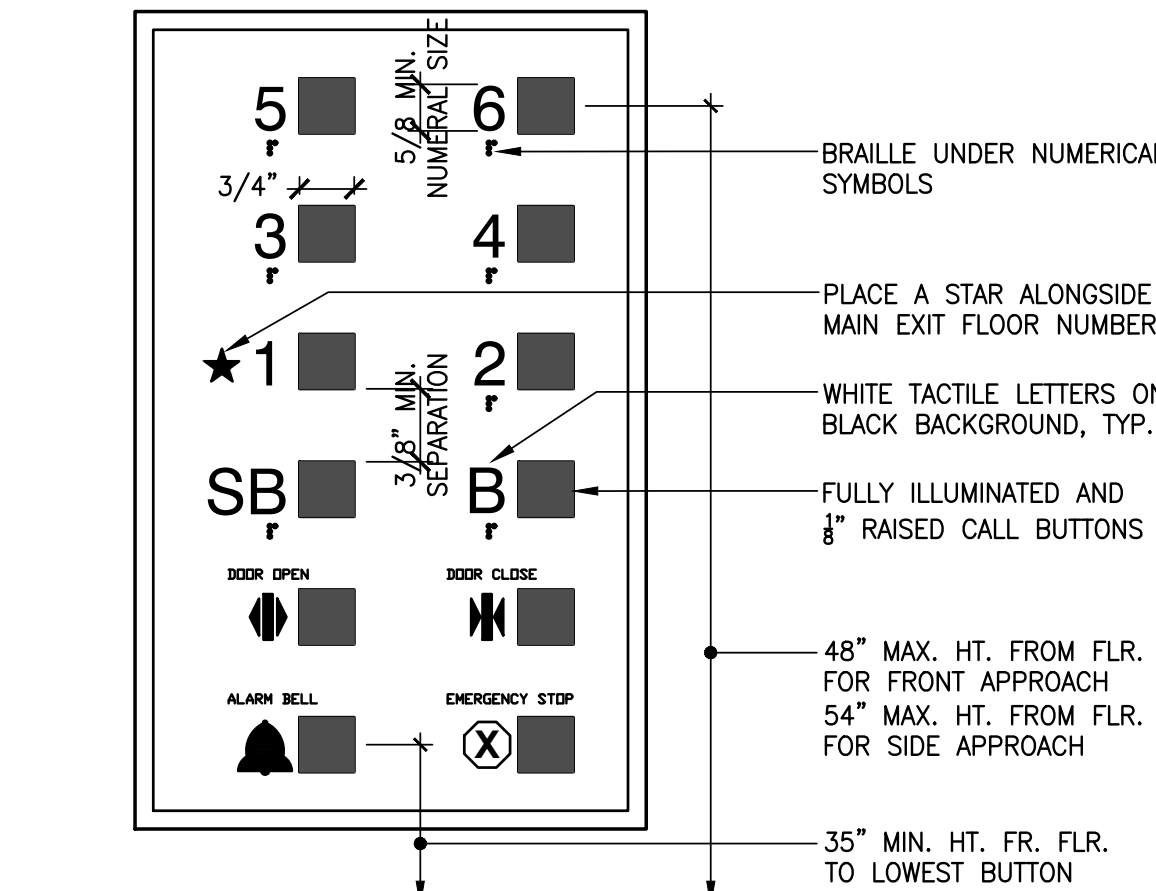
#### 8 TYP. GRAB BAR

3"=1'-0"



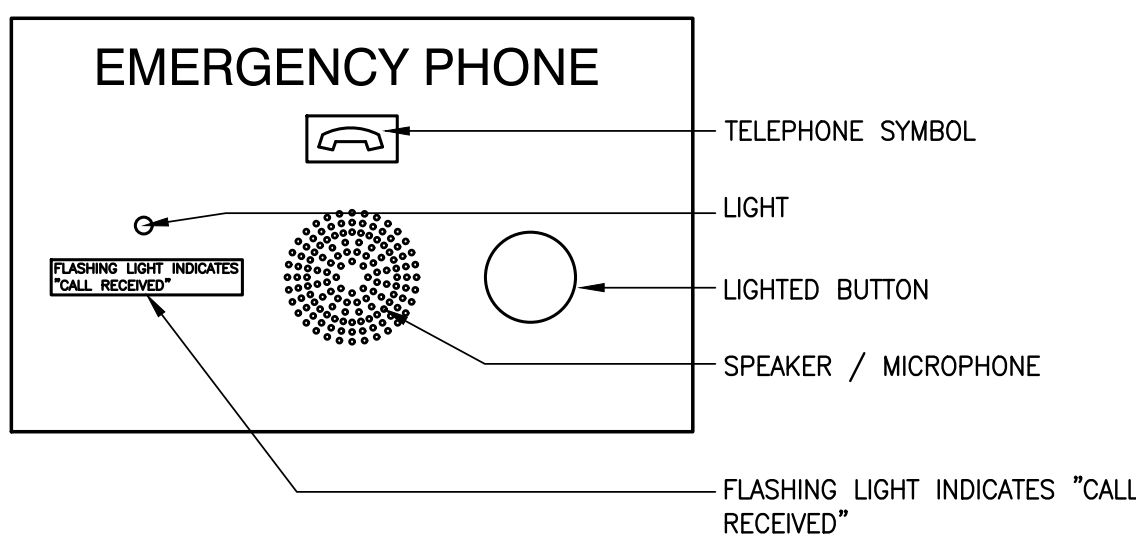
#### 5 TYPICAL ELEVATOR PLAN

1/4"=1'-0"



#### 2 ELEVATOR CONTROL PANEL

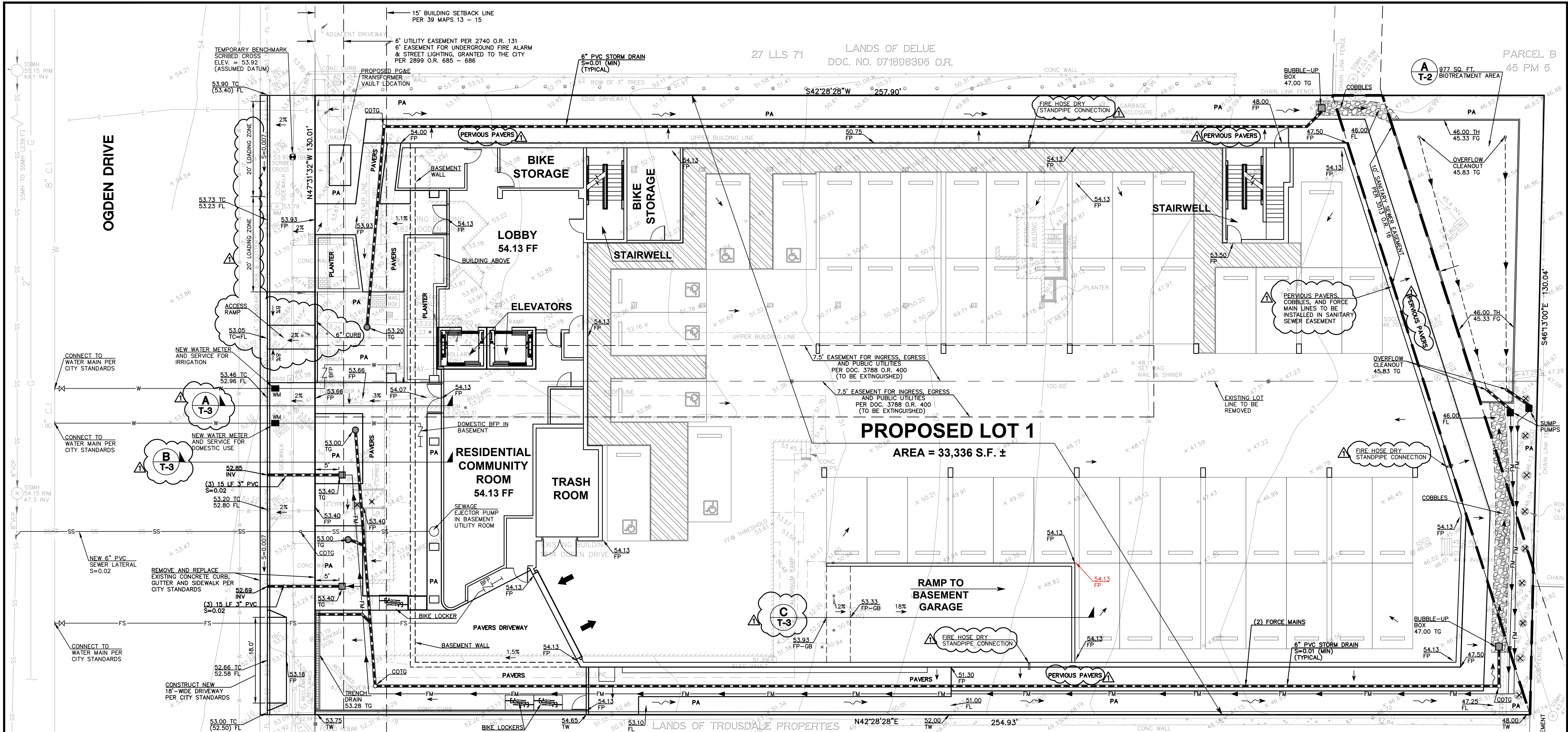
3"=1'-0"



#### 1 ELEVATOR 2 WAY INTERCOM

3"=1'-0"





**BASIS OF BEARINGS:**

THE BEARING, N47°31'32"W BETWEEN TWO FOUND MONUMENTS ALONG TROUSDALE & MURCHISON DRIVES @ OGDEN DRIVE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP, 23 LLS 2 WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THE THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

**SURVEY NOTE:**

THE EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PLAN PREPARED BY B&H SURVEYING, INC., DATED OCTOBER, 2019, JOB 7450-19

**ARCHITECTURAL NOTE:**

REFER TO ARCHITECTURAL PLANS PREPARED BY LEVY DESIGN PARTNERS INC., FOR DIMENSIONS OF UNITS.

**OWNER / APPLICANT:**

GALEN MA  
OGDEN PROPERTIES MGMT, LLC  
311 9TH AVENUE  
SAN MATEO, CA 94401

**LAND SURVEYOR:**

WAYNE HAAS  
B & H LAND SURVEYING, INC.  
901 WALTERMIRE STREET  
BELMONT, CA 94002  
(650) 637-1590

**CIVIL ENGINEER:**

DAN MACLEOD  
MACLEOD & ASSOCIATES, INC.  
965 CENTER STREET  
SAN CARLOS, CA 94070  
(650) 593-8580

**ASSESSOR'S PARCEL NUMBERS:**

025-121-110 & 120

**EXISTING AND PROPOSED ZONING**

NORTH BURLINGAME MIXED USE DISTRICT

**UTILITIES SERVICES:**

WATER: CITY OF BURLINGAME  
SANITARY SEWER: CITY OF BURLINGAME  
GAS & ELECTRICAL: PG&E  
TELEPHONE: AT&T  
FIRE: CENTRAL COUNTY FIRE

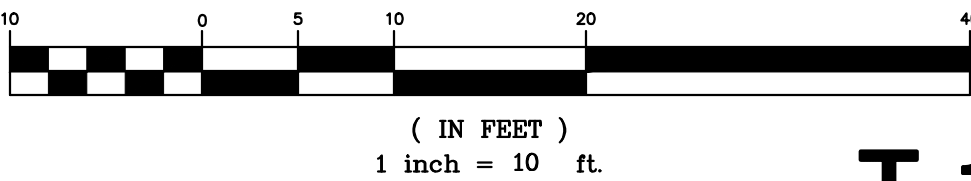
**TENTATIVE MAP LEGEND:**

BFP BACKFLOW PREVENTER  
COTG CLEANOUT TO GRADE  
FF FINISH FLOOR  
FG FINISH GRADE  
FL FLOWLINE  
FP FINISH PAVE  
INV INVERT  
PA PLANTING AREA  
TC TOP OF CURB  
TG TOP OF GRATE  
TH TOP OF HEADER  
TW TOP OF WALL  
WM WATER METER  
12" TREE EXISTING TREE TO BE REMOVED  
FM FORCE MAIN  
FS FIRE SERVICE LINE  
SS SANITARY SEWER LINE  
W WATER LINE  
(52.50) EXISTING SPOT GRADE  
NEW DRAIN INLET  
NEW STORM DRAIN LINE

**SURVEY LEGEND:**

A/C ASPHALTIC CONCRETE  
AD AREA DRAIN  
BW BACK OF WALK  
CB CATCH BASIN  
CIP CAST IRON PIPE  
CMP CORRUGATED METAL PIPE  
CONC CONCRETE  
CO CLEAN-OUT  
DI DROP INLET  
EM ELECTRIC METER  
FD FOUND  
FF FINISHED FLOOR  
FL FLOW LINE  
FH FIRE HYDRANT  
GA GUY ANCHOR  
GM GAS METER  
GR GROUND  
HCR HANDICAP RAMP  
IP INVERT  
IP IRON PIPE  
LAT LATERAL  
LIP LIP OF GUTTER  
O/H OVERHEAD  
P.U.E. PUBLIC UTILITIES EASEMENT  
RCP REINFORCED CONCRETE PIPE  
RW RETAINING WALL  
R/W RIGHT OF WAY  
SSCO SANITARY SEWER CLEAN-OUT  
SSMH SANITARY SEWER MANHOLE  
SDM STORM DRAIN MANHOLE  
TBC TOP BACK OF CURB  
T/W TOP OF WALL  
U/G UNDERGROUND  
VCP VITRIFIED CLAY PIPE  
WV WATER VALVE  
WM WATER METER BOX  
CABLE TELEVISION LINE  
ELECTRICAL LINE  
GAS LINE  
STREET LIGHT LINE  
SANITARY SEWER LINE  
STORM DRAIN LINE  
TELEPHONE LINE  
WATER LINE

GRAPHIC SCALE

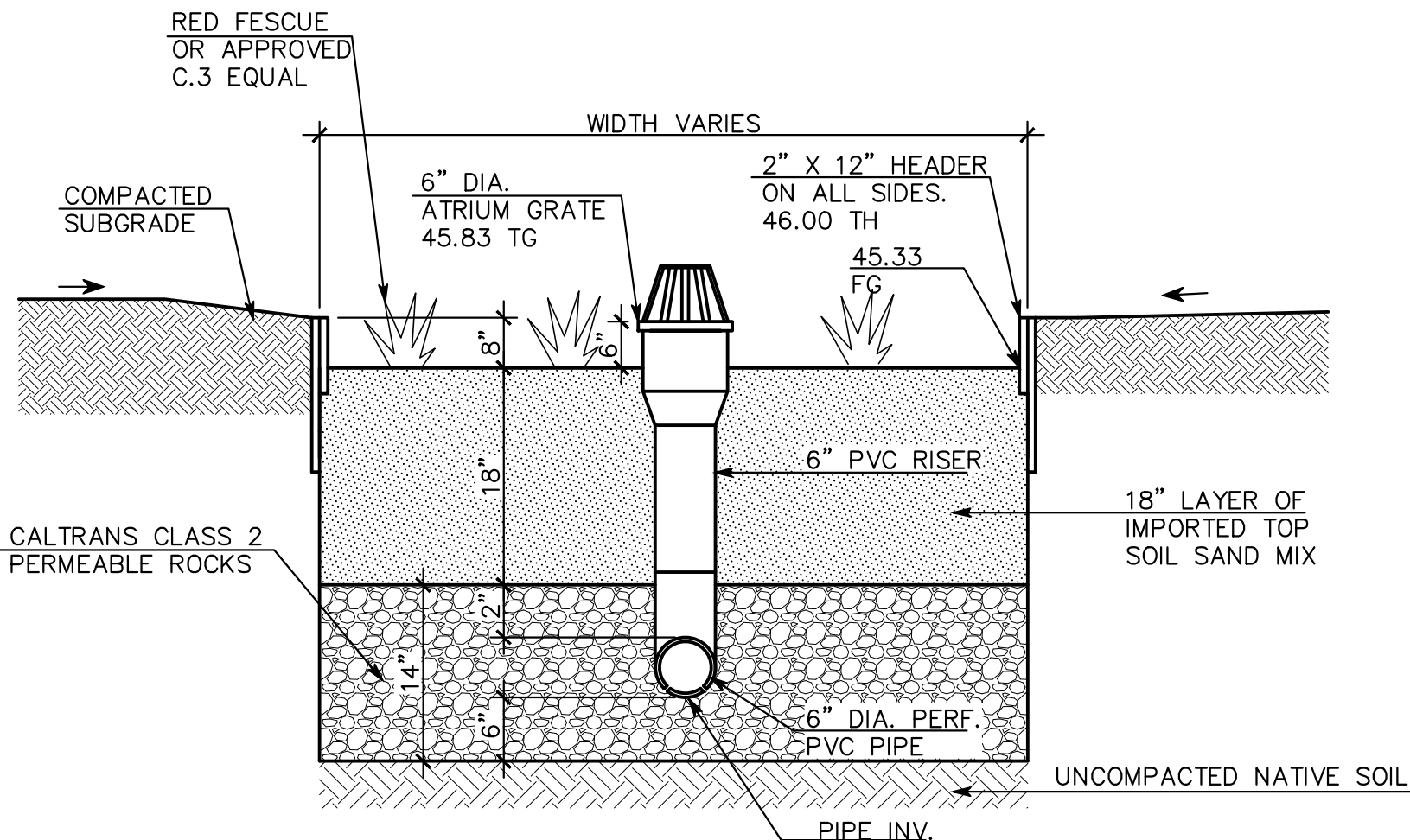
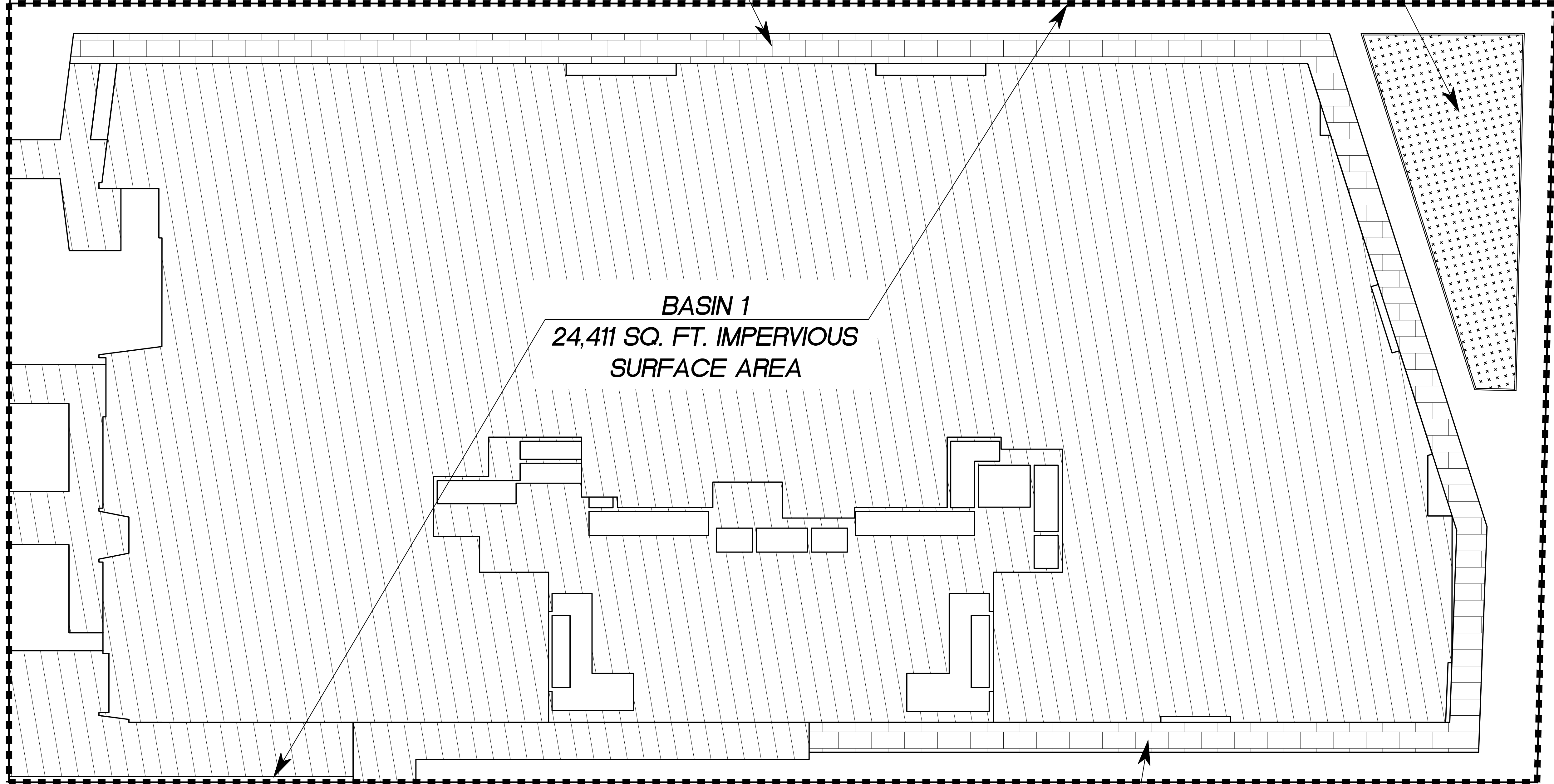


REV.	DESCRIPTION	BY:	DATE:
1	PLANNING SUBMITAL 2	DJK	11/13/20
2	PLANNING SUBMITAL	DJK	08/07/20
3	REV.		

PREPARED FOR:	OGDEN PROPERTIES MGMT, LLC
VESTING TENTATIVE SUBDIVISION MAP PRELIMINARY GRADING, DRAINAGE, & UTILITY PLAN FOR CONDOMINIUM PURPOSES (90 UNITS) 1814-1820 OGDEN DRIVE BURLINGAME CALIFORNIA SAN MATEO COUNTY	
DRAWN BY:	DJK
DESIGNED BY:	DJK
CHECKED BY:	DGM
SCALE:	1" = 10'
DATE:	08-07-20
DRAWING NO.	4749-TM
SHEET	1 OF 3

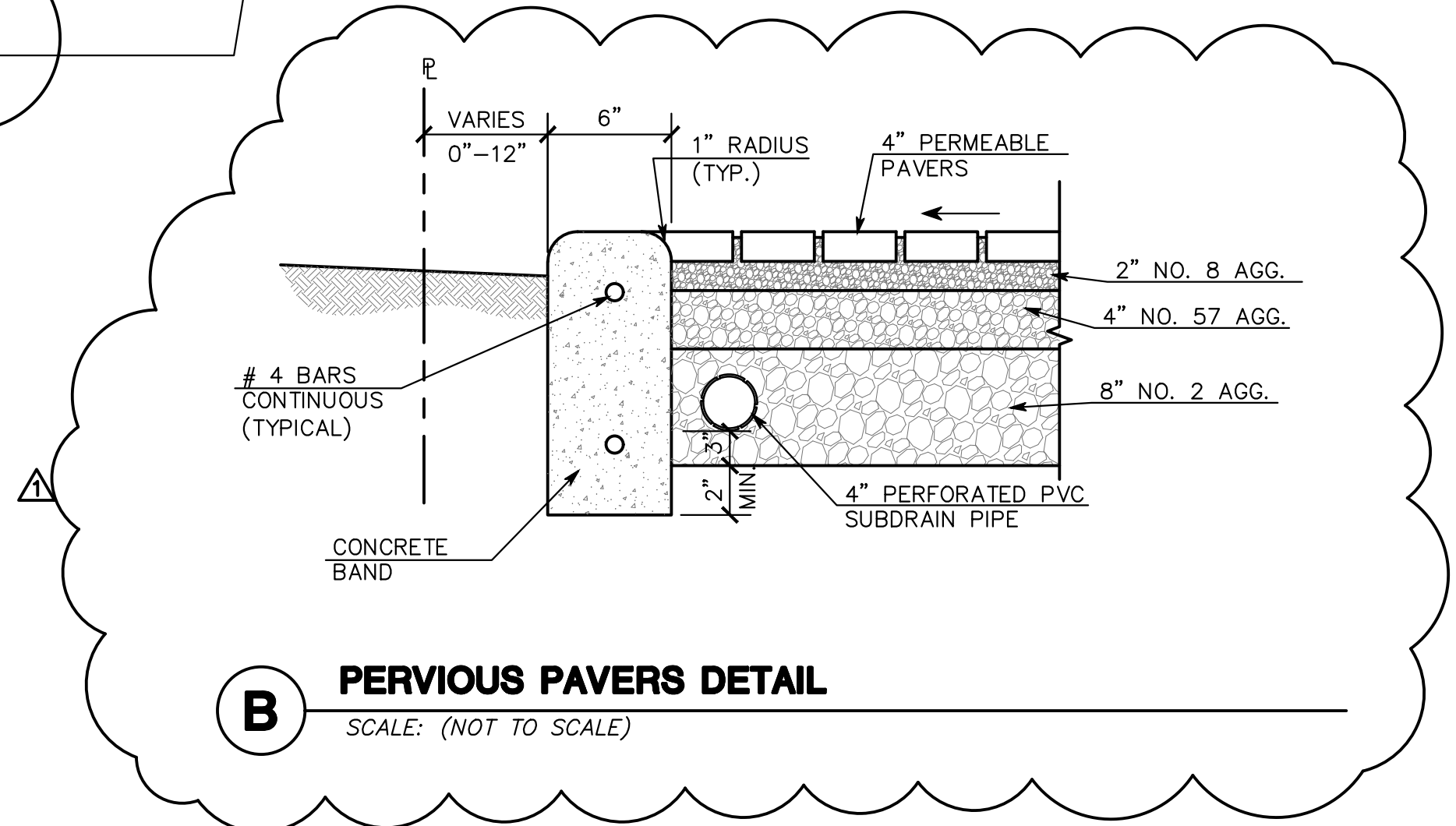


# OGDEN DRIVE



## **STORMWATER RUNOFF TREATMENT CALCULATIONS**

- DESIGN CRITERIA:
    - C.3 STORMWATER TECHNICAL GUIDANCE CHAPTER 6.1
- REQUIRED BIOTREATMENT AREA (FOOTPRINT) = 4% OF THE IMPERVIOUS SURFACE AREA
- Basin 1, IMPERVIOUS AREA = 24,411 S.F.  
 USE 977 S.Q. FT. BIOTREATMENT AREA
- REQUIRED AREA OF BIOTREATMENT = 24,411 (0.04) = 976.4 S.F.  
 PROPOSED AREA OF BIOTREATMENT = 977 S.F. > 976.4 S.F. OK

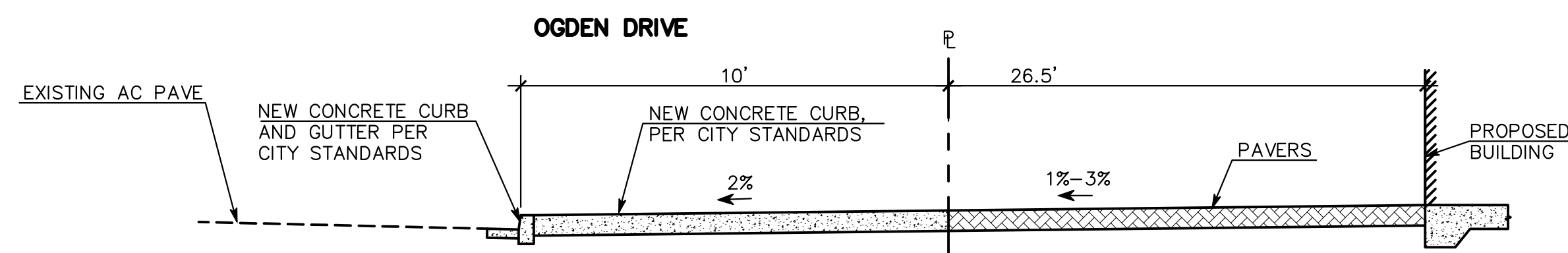


**A** **BIOTREATMENT AREA**  
SCALE: (NOT TO SCALE)

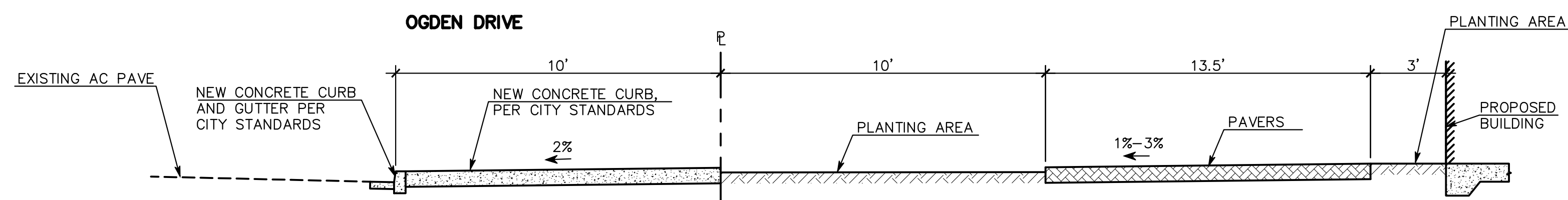
# T-2

[illegible]

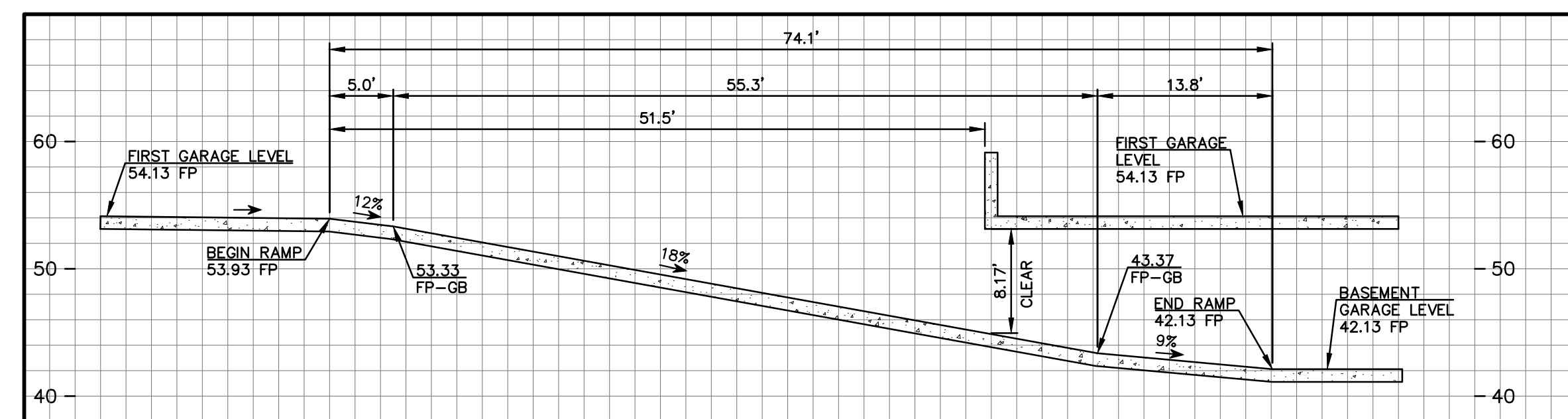




**A** **TYPICAL FRONTAGE SECTION**  
SCALE: (NOT TO SCALE)



**B** **TYPICAL FRONTAGE SECTION**  
SCALE: (NOT TO SCALE)



**C** **GARAGE RAMP PROFILE**  
SCALE: 1"=10' (V & H)

REV.	DESCRIPTION	BY:	DATE:
A	PLANNING SUBMITTAL 2	DJK	11/13/20
	PLANNING SUBMITTAL	DJK	08/07/20



**MACLEOD AND ASSOCIATES**

CIVIL ENGINEERING • LAND SURVEYING  
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

PREPARED FOR:

OGDEN PROPERTIES  
MGMT, LLC

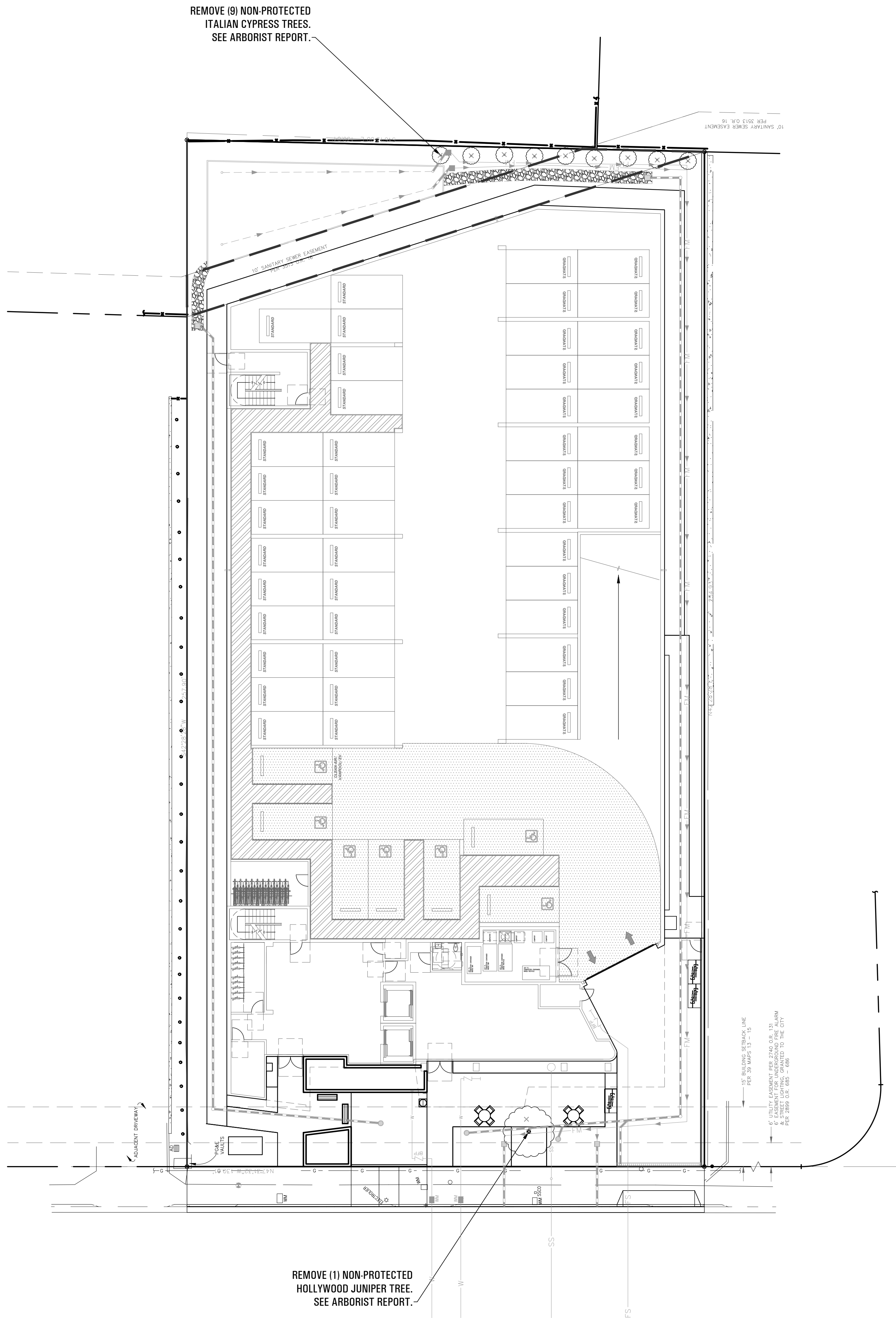
VESTING TENTATIVE SUBDIVISION MAP

SECTIONS AND PROFILES

1814-1820 OGDEN DRIVE  
SAN MATEO COUNTY CALIFORNIA

DRAWN BY:	DJK
DESIGNED BY:	DJK
CHECKED BY:	DGM
SCALE:	NONE
DATE:	11-13-20
DRAWING NO.	4749-TM
SHEET	3 OF 3





Project:  
**1814-1820  
OGDEN DRIVE**  
1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:  
**CFLA**  
74 Dudley Avenue  
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T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



Stamp:



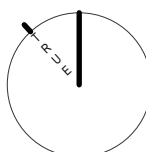
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Planning Submittal                      11.13.2020

Project Number: 2012

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Scale accordingly.

0    8'    16'    32'



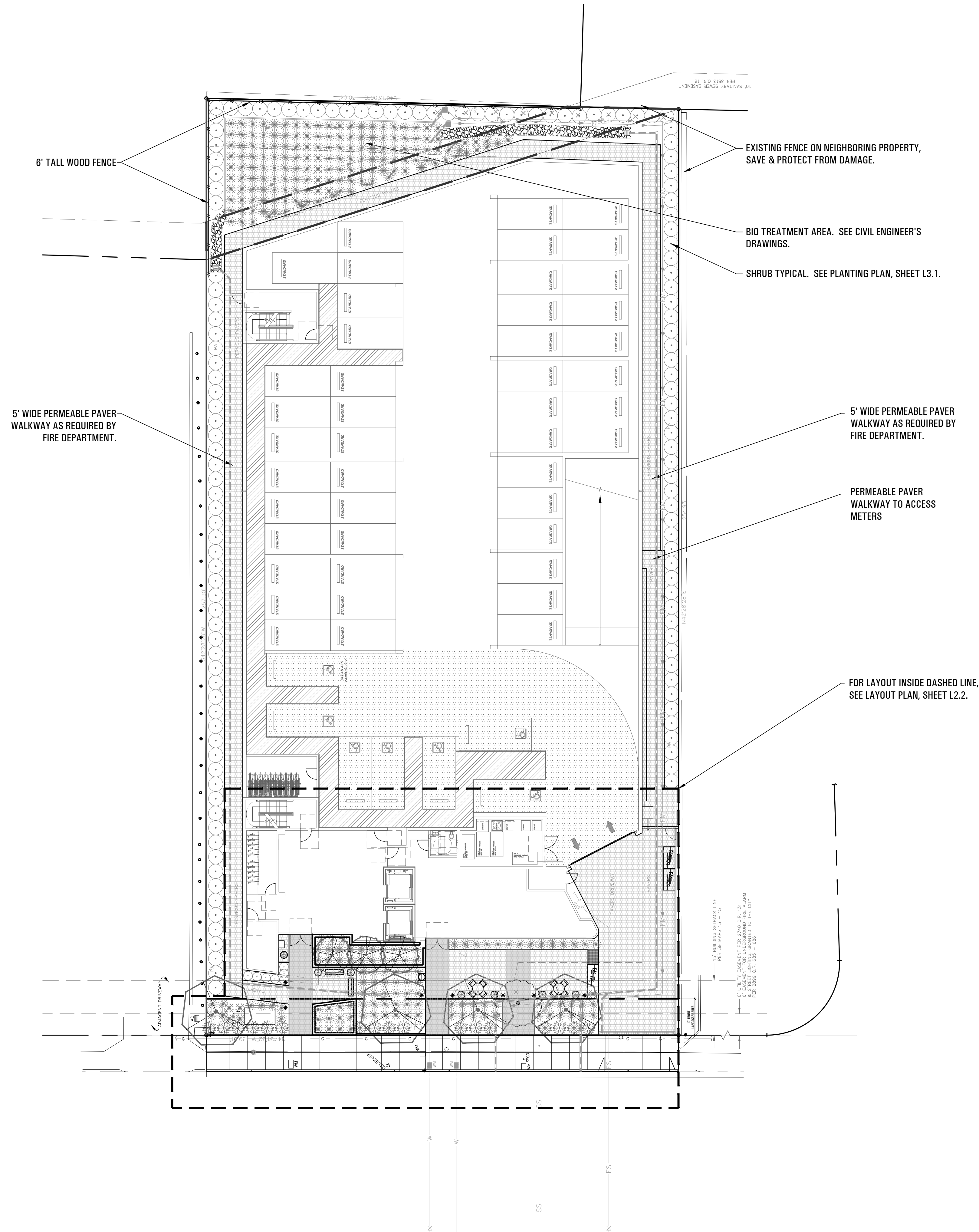
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**ARBOR CARE  
PLAN**

Sheet Number:

**L1.1**

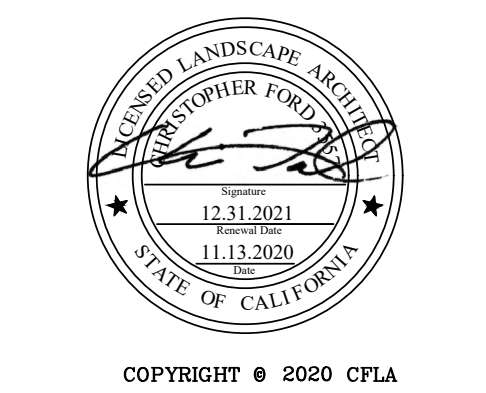




Project:  
**1814-1820  
OGDEN DRIVE**  
1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:  
**CFLA**  
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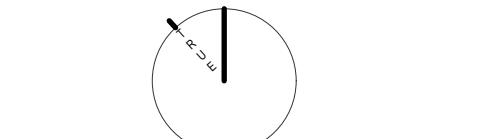
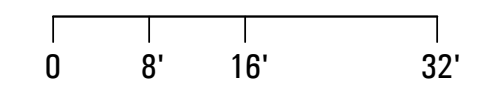
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Issue:      Delta      Date:  
Planning Submittal      11.13.2020

Project Number: 2012

Scale: 1" = 16'-0"  
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Sheet Title:  
**LAYOUT PLAN:  
GROUND FLOOR,  
SITE**

Sheet Number:  
**L2.1**



Project:

1814-1820  
OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

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E Chris@CFLA.biz  
CRLA # 3557



Stamp:



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Project Number: 2012

Scale: 1"=8'-0"  
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0 4' 8' 16'

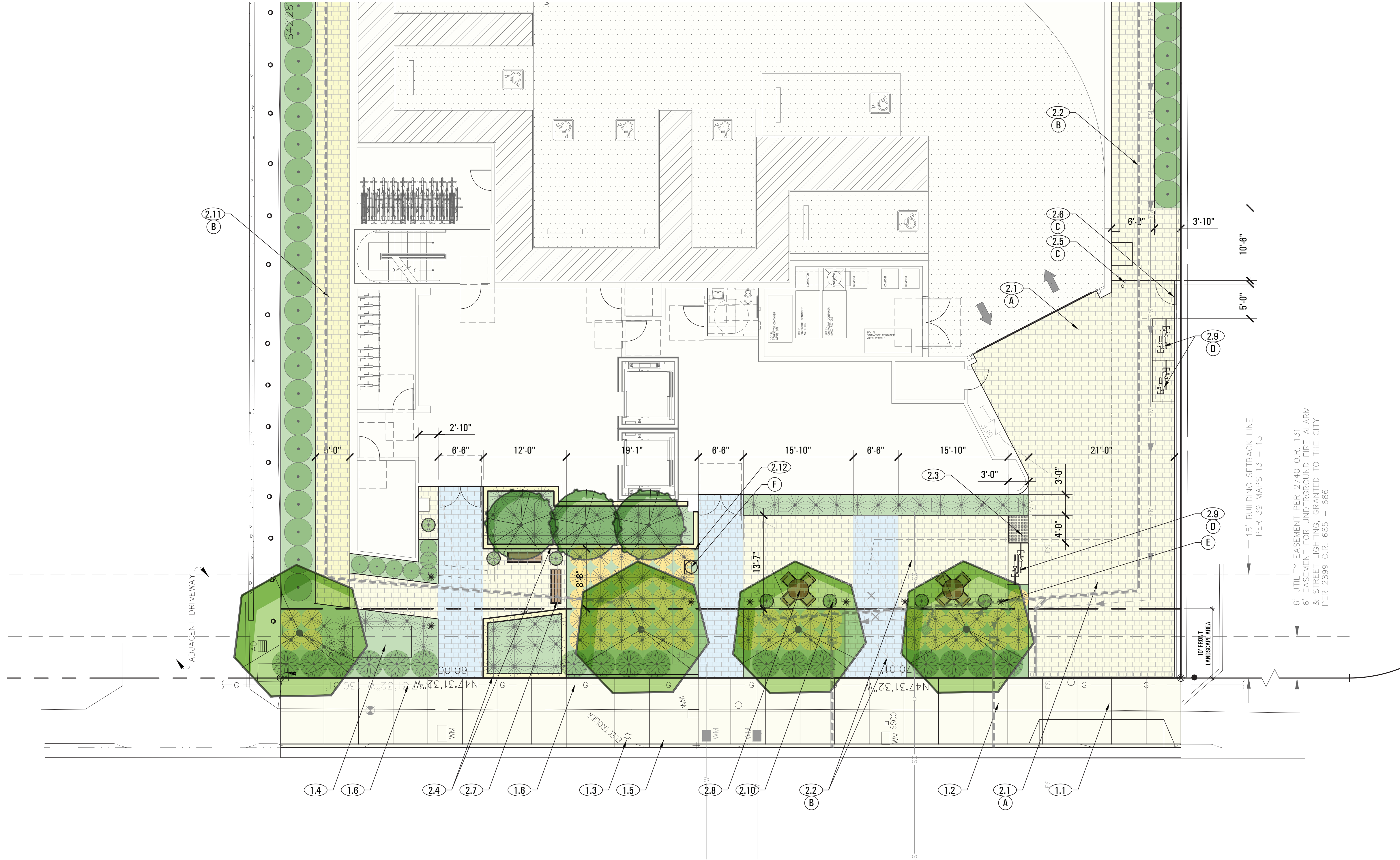


Sheet Title:

LAYOUT PLAN:  
GROUND FLOOR,  
FRONT

Sheet Number:

L2.2



LAYOUT LEGEND

- (1.1) CONCRETE DRIVEWAY APRON IN RIGHT-OF-WAY. SEE CIVIL ENGINEER'S DRAWINGS.
- (1.2) CONCRETE SIDEWALK IN RIGHT-OF-WAY. SEE CIVIL ENGINEER'S DRAWINGS.
- (1.3) EXISTING STREET LIGHT TO REMAIN.
- (1.4) IN-GROUND TRANSFORMER. SEE CIVIL ENGINEER'S DRAWINGS.
- (1.5) UNDERGROUND STREET LIGHT CONDUIT UNDER SIDEWALK PRECLUDING STREET TREES. SEE CIVIL ENGINEER'S DRAWINGS.
- (1.6) UNDERGROUND GAS LINE. SEE CIVIL ENGINEER'S DRAWINGS.

- (2.1) INTERLOCKING CONCRETE PAVERS PAVING ON-GRADE (AUTOMOBILE LOAD).
- (2.2) PERMEABLE PAVERS PAVING ON-GRADE (PEDESTRIAN LOAD), USE TWO COLORS FOR CONTRASTING COLOR BANDS.
- (2.3) TRUNCATED DOMES.
- (2.4) 2' HIGH CAST-IN-PLACE CONCRETE (WITH INTEGRAL COLOR) PLANTER.
- (2.5) 6' HIGH FENCE (WITH METAL OR WOOD POSTS & WOOD SLATS).
- (2.6) 6' HIGH GATE (WITH METAL POSTS & WOOD SLATS).
- (2.7) WOOD BENCH, TYPICAL OF (2).
- (2.8) TABLE & CHAIR SET, TYPICAL OF (2).
- (2.9) CLASS 2 BIKE RACKS, TYPICAL OF (3).
- (2.10) PLANTER POT, TYPICAL OF (7).
- (2.11) 5' WIDE INTERLOCKING CONCRETE PAVER WALKWAY AS REQUIRED BY FIRE DEPARTMENT.
- (2.12) HOURS OF OPERATION SIGNAGE. VERBIAGE TO BE DETERMINED.

- (A) PERMEABLE PAVERS ON-GRADE, AUTOMOBILE LOAD: AS MFRD BY ACKERSTONE (www.Ackerstone.com). MODEL: AQUA-VIA1. NOMINAL SIZE: 8cm x 4-3/8 x 8-3/4. COLOR: ANTIQUE PEWTER. FINISH: F.M. PATTERN: RUNNING BOND. APPROXIMATELY 1,260 SF.
- (B) PERMEABLE PAVERS ON-GRADE, PEDESTRIAN LOAD: AS MFRD BY ACKERSTONE (www.Ackerstone.com). MODEL: AQUA-VIA1. NOMINAL SIZE: 8cm x 4-3/8 x 8-3/4. COLOR 1: ANTIQUE PEWTER. COLOR 2: TO BE DETERMINED. FINISH: F.M. PATTERN: RUNNING BOND. APPROX 3,850 SF.
- (C) 6' HIGH FENCE  
- FENCE POSTS VISIBLE FROM STREET: 3x3 METAL, PAINT BLACK  
- FENCE POSTS NOT VISIBLE FROM STREET: 4x4 PTDF, STAIN BLACK  
- FENCE SLATS: 1x6 COMPOSITE, STAIN WITH MESSMERS UV PLUS CLEAR STAIN  
- GATE SLAT: 1x6 COMPOSITE, STAIN WITH MESSMERS UV PLUS CLEAR STAIN  
- GATE HINGES: HEAVY DUTY, BLACK COLOR.  
- GATE HARDWARE, AS SPECIFIED BY ARCHITECT
- (D) BIKE RACK: AS MANUFACTURED BY THE PALMER GROUP, MOD NO WCRO2-IG-P, BLACK POWDER COAT FINISH, (3) RACKS, (6) BIKES ACCOMMODATED.
- (E) BOLLARD LIGHT: AS MANUFACTURED BY LITHONIA LIGHTING, MOD NO KBC8 LED, 3000K, BLACK FINISH, (7) PROVIDED.
- (F) TRASH / RECYCLING RECEPTACLE: AS MANUFACTURED BY FORMS+SURFACES, MOD NO SLUNN-36TS, 36-GALLON, TOP OPENING, SPLIT STREAM, POLYETHYLENE LID, (1) PROVIDED.



Project:

1814-1820  
OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

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74 Dudley Avenue  
Piedmont, CA 94611  
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CRLA # 3557



Stamp:



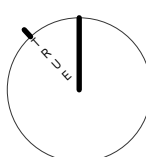
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Planning Submittal 11.13.2020

Project Number: 2012

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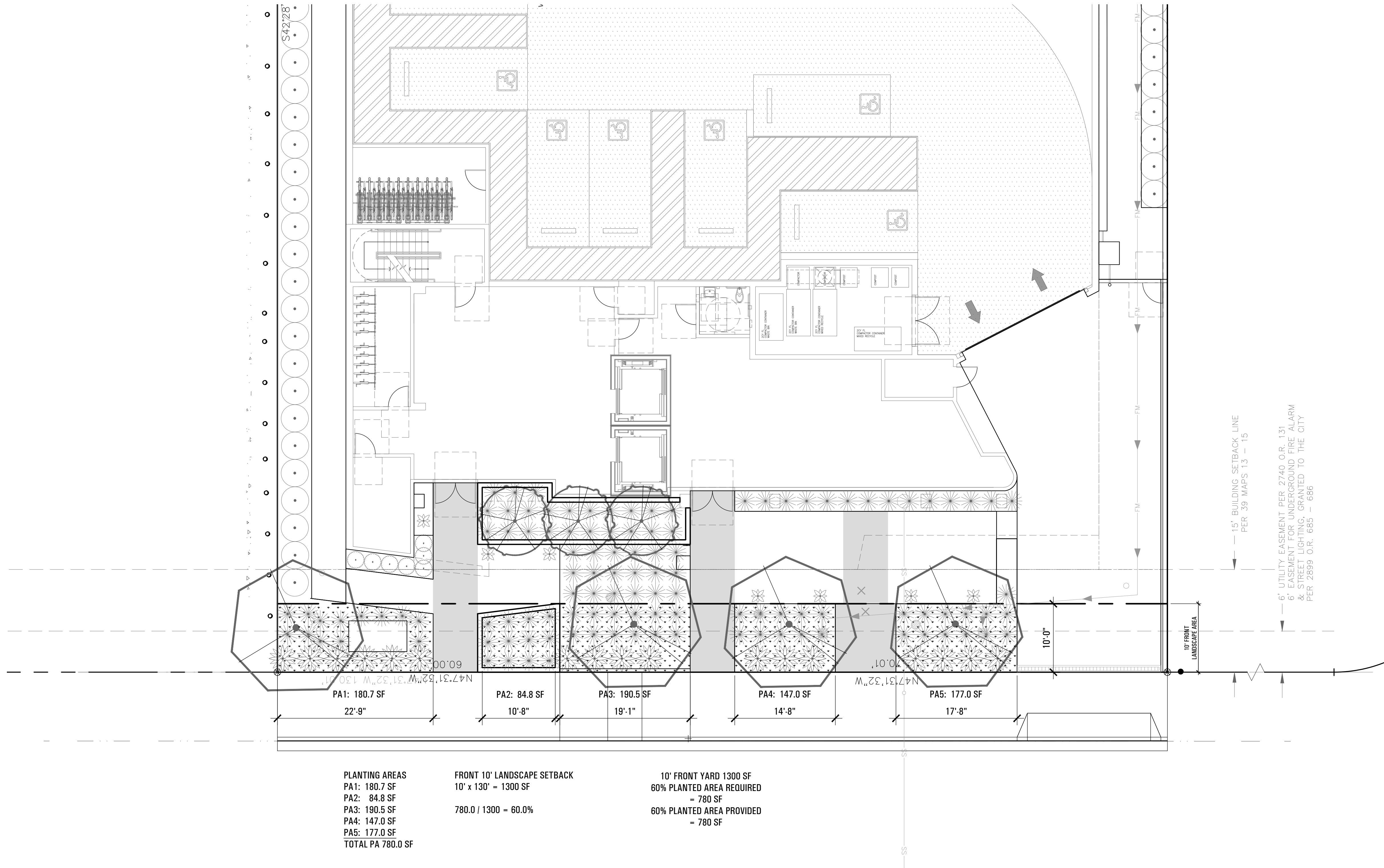
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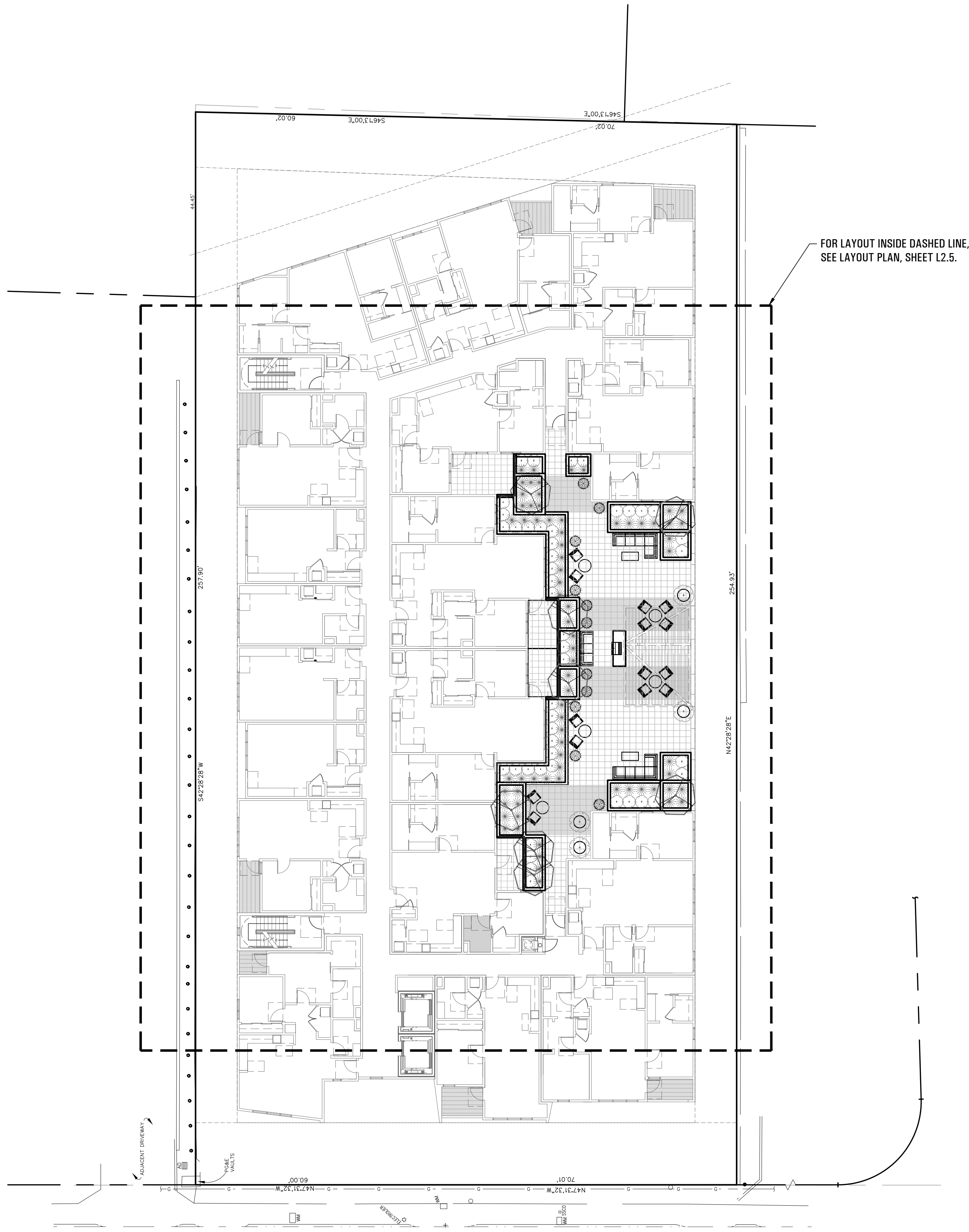
Sheet Title:  
LANDSCAPED  
SETBACK AREA  
CALCULATIONS

Sheet Number:

L2.3







Project:  
**1814-1820  
OGDEN DRIVE**  
1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:  
**CFLA**  
74 Dudley Avenue  
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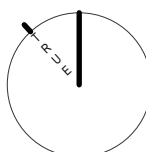
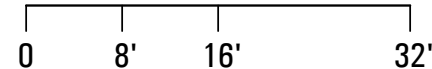


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Planning Submittal		11.13.2020

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Sheet Title:

**LAYOUT PLAN:  
SECOND FLOOR**

Sheet Number:

**L2.4**





### LAYOUT LEGEND

- |  |   |
|--|---|
| (1.1) FIREPLACE WITH PERGOLA.  | (2.6) PRE-FABRICATED PLANTER POT.               |
| (2.1) CONCRETE PAVING. USE TWO COLORS FOR CONTRASTING COLOR BANDS.                         | (2.7) TABLE & CHAIR SET, SIZES VARY.            |
| (2.2) CONCRETE PAVING AT PRIVATE PATIO. USE COLOR TO COMPLEMENT CONCRETE BANDS (ITEM 2.1). | (2.8) OUTDOOR SOFA.                             |
| (2.3) CAST-IN-PLACE CONCRETE (WITH INTEGRAL COLOR) PLANTER, 3'-3" TALL (WITH TREES).       | (2.9) OUTDOOR SECTIONAL SOFA WITH COFFEE TABLE. |
| (2.4) CAST-IN-PLACE CONCRETE (WITH INTEGRAL COLOR) PLANTER, 2'-3" TALL (WITHOUT TREES).    | (2.10) BUILT-IN GAS GRILL ISLAND.               |
| (2.5) DECORATIVE METAL PRIVACY SCREEN (6' HIGH, INCLUDING PLANTER WALL).                   |   |

Project:  
**1814-1820**  
**OGDEN DRIVE**  
1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

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Stamp:

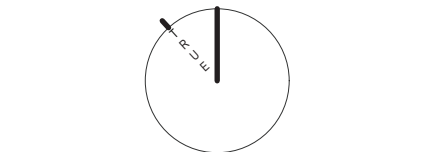


Issue: Delta Date:  
Planning Submittal 11.13.2020

Project Number: 2012

Scale: 1"=8'-0"  
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0 4' 8' 16'



Sheet Title:  
**LAYOUT PLAN:**  
**SECOND FLOOR,**  
**PODIUM**

Sheet Number:  
**L2.5**



Project:

# 1814-1820 OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

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CRLA # 3557



Stamp:



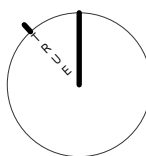
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Planning Submittal                      11.13.2020

Project Number: 2012

Scale: 1" = 16'-0"  
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0      8'      16'      32'

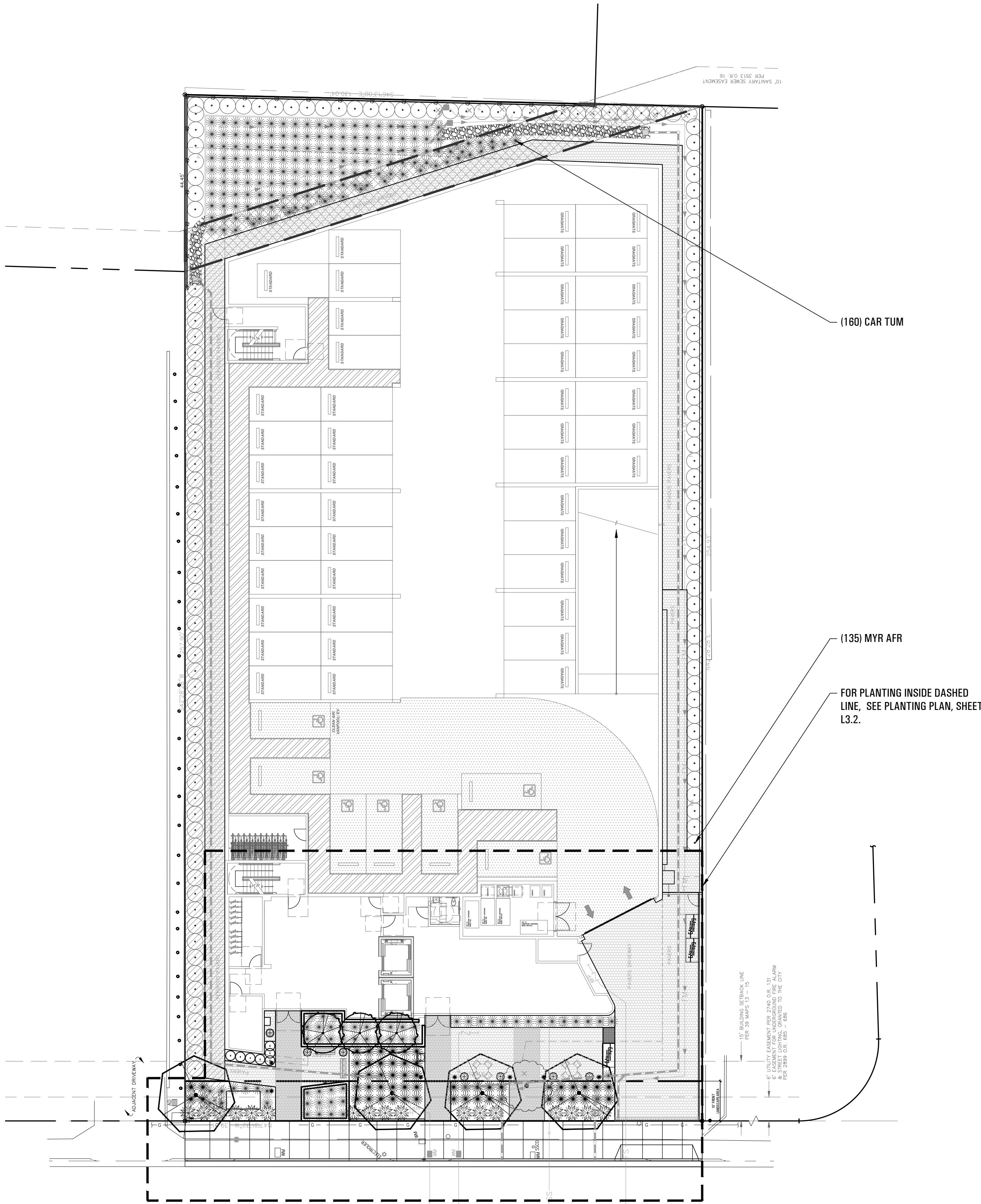


Sheet Title:

## PLANTING PLAN: GROUND FLOOR, SITE

Sheet Number:

# L3.1



### PLANT LIST: GROUND FLOOR SITE

#### SHRUBS

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
135	5 GAL	MYR AFR	MYRSINE AFRICANA	AFRICAN BOXWOOD	L

#### GRASSES & GRASS-LIKE PLANTS

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
160	1 GAL	CAR TUM	CAREX TUMULICOLA	BERKELEY SEDGE	L

### PLANT NOTES

- AMEND SOIL WITH WITH AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET OF PLANTING AREAS TO A DEPTH OF 6 INCHES. SOIL AMENDMENT SHALL BE "WONDER GROW COMPOST", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- CONTACT LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF PLANTING OPERATIONS TO SCHEDULE A PRE-PLANTING LAYOUT REVIEW MEETING. LAYOUT ALL PLANTS AS PER PLAN FOR LA APPROVAL PRIOR TO PLANTING.
- INSTALL 3" DEEP LAYER OF MULCH IN PLANTING AREAS. MULCH SHALL BE "FOREST FLOOR", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- PROVIDE A 90-DAY MAINTENANCE PERIOD.

### IRRIGATION NOTES

- IRRIGATION SYSTEM SHALL CONFORM TO REQUIREMENTS OF MODEL WATER EFFICIENT LANDSCAPE ORDINANCE & WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (MWEL0).
- IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN AUTOMATIC CONTROLLER WITH A RAIN SENSOR TO OVERRIDE THE SYSTEM WHEN WATERING IS NOT NECESSARY.
- IRRIGATION SYSTEM SHALL PROVIDE ADEQUATE WATER TO PROMOTE HEALTHY GROWTH AND MAINTENANCE OF PLANTS.
- TREES SHALL BE IRRIGATED WITH BUBBLERS ON A SEPARATE VALVE.
- SHRUBS & GRASSES SHALL BE IRRIGATED WITH DRIP IRRIGATION.



Project:

# 1814-1820 OGDEN DRIVE

1814-1820 OGDEN DRIVE  
BURLINGAME, CA  
APN:

Landscape Architect:

**CFLA**  
74 Dudley Avenue  
Piedmont, CA 94611  
T 510.601.8022  
E Chris@CFLA.biz  
CRLA # 3557



Stamp:



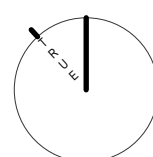
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Issue:                      Delta    Date:  
Planning Submittal                      11.13.2020

Project Number: 2012

Scale: 1"=8'-0"  
If this print is not 24" x 36" it is a reduced print.  
Scale accordingly.

0    4'    8'    16'

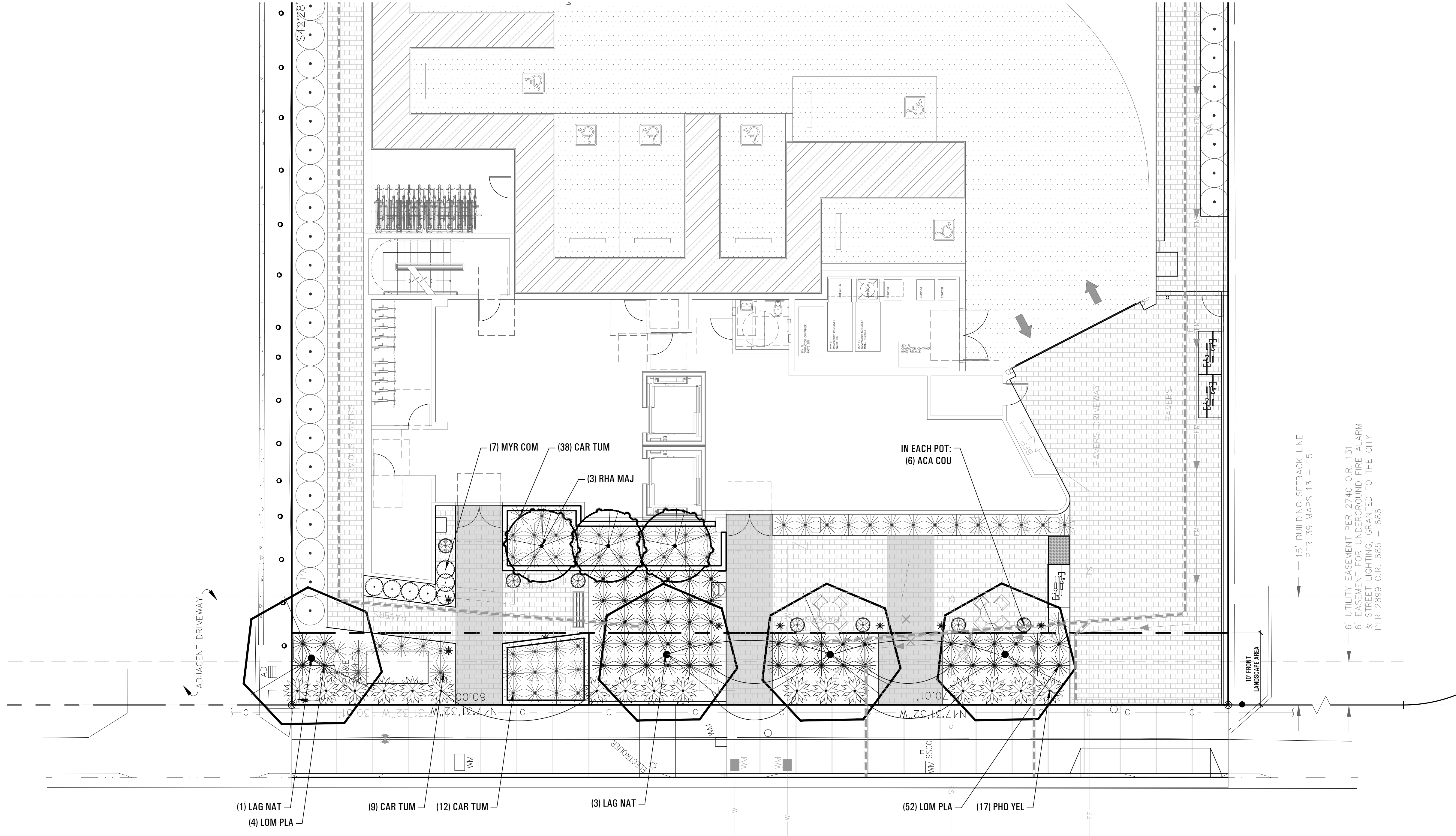


Sheet Title:

## PLANTING PLAN: GROUND FLOOR, FRONT

Sheet Number:

# L3.2



## PLANT LIST: GROUND FLOOR

### TREES

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWELO IV RATING
4	24" BOX	LAG NAT	<i>LAGERSTROEMIA INDICA</i> 'NATCHEZ'	NATCHEZ WHITE-FLOWERING CRAPE MYRTLE	L
3	24" BOX	RHA MAJ	<i>RHAPHIOLEPIS</i> 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORNE	L

### SHRUBS

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWELO IV RATING
6	5 GAL	ACA COU	<i>ACACIA COGNATA</i> 'COUSIN ITT'	COUSIN ITT ACACIA	M
7	5 GAL	MYR COM	<i>MYRTUS COMMUNIS</i> 'COMPACTA'	COMPACT TRUE MYRTLE	L

### GRASSES & GRASS-LIKE PLANTS

QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWELO IV RATING
59	1 GAL	CAR TUM	<i>CAREX TUMULICOLA</i>	BERKELEY SEDGE	L
56	1 GAL	LOM PLA	<i>LOMANDRA LONGIFOLIA</i> 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	L
17	5 GAL	PHO YEL	<i>PHORMIUM</i> 'YELLOW WAVE'	YELLOW NEW ZEALAND FLAX	L

## PLANT NOTES

- AMEND SOIL WITH WITH AT LEAST 4 CUBIC YARDS PER 1,000 SQUARE FEET OF PLANTING AREAS TO A DEPTH OF 6 INCHES. SOIL AMENDMENT SHALL BE "WONDER GROW COMPOST", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- CONTACT LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF PLANTING OPERATIONS TO SCHEDULE A PRE-PLANTING LAYOUT REVIEW MEETING. LAYOUT ALL PLANTS AS PER PLAN FOR LA APPROVAL PRIOR TO PLANTING.
- INSTALL 3" DEEP LAYER OF MULCH IN PLANTING AREAS. MULCH SHALL BE "FOREST FLOOR", AS AVAILABLE AT AMERICAN SOIL & STONE, RICHMOND, CA (510.292.3000).
- PROVIDE A 90-DAY MAINTENANCE PERIOD.
- PROVIDE A ONE-YEAR PLANT GUARANTEE PERIOD.

## IRRIGATION NOTES

- IRRIGATION SYSTEM SHALL CONFORM TO REQUIREMENTS OF MODEL WATER EFFICIENT LANDSCAPE ORDINANCE & WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (MWELO).
- AN IRRIGATION PLAN & OUTDOOR WATER USE EFFICIENCY CHECKLIST WILL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.
- IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN AUTOMATIC CONTROLLER WITH A RAIN SENSOR TO OVERRIDE THE SYSTEM WHEN WATERING IS NOT NECESSARY.
- IRRIGATION SYSTEM SHALL PROVIDE ADEQUATE WATER TO PROMOTE HEALTHY GROWTH AND MAINTENANCE OF PLANTS.
- TREES SHALL BE IRRIGATED WITH BUBBLERS ON A SEPARATE VALVE.
- SHRUBS & GRASSES SHALL BE IRRIGATED WITH DRIP IRRIGATION.



**1814-1820**  
**OGDEN DRIVE**

**CFLA**  
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CRLA # 3557



## L3.3



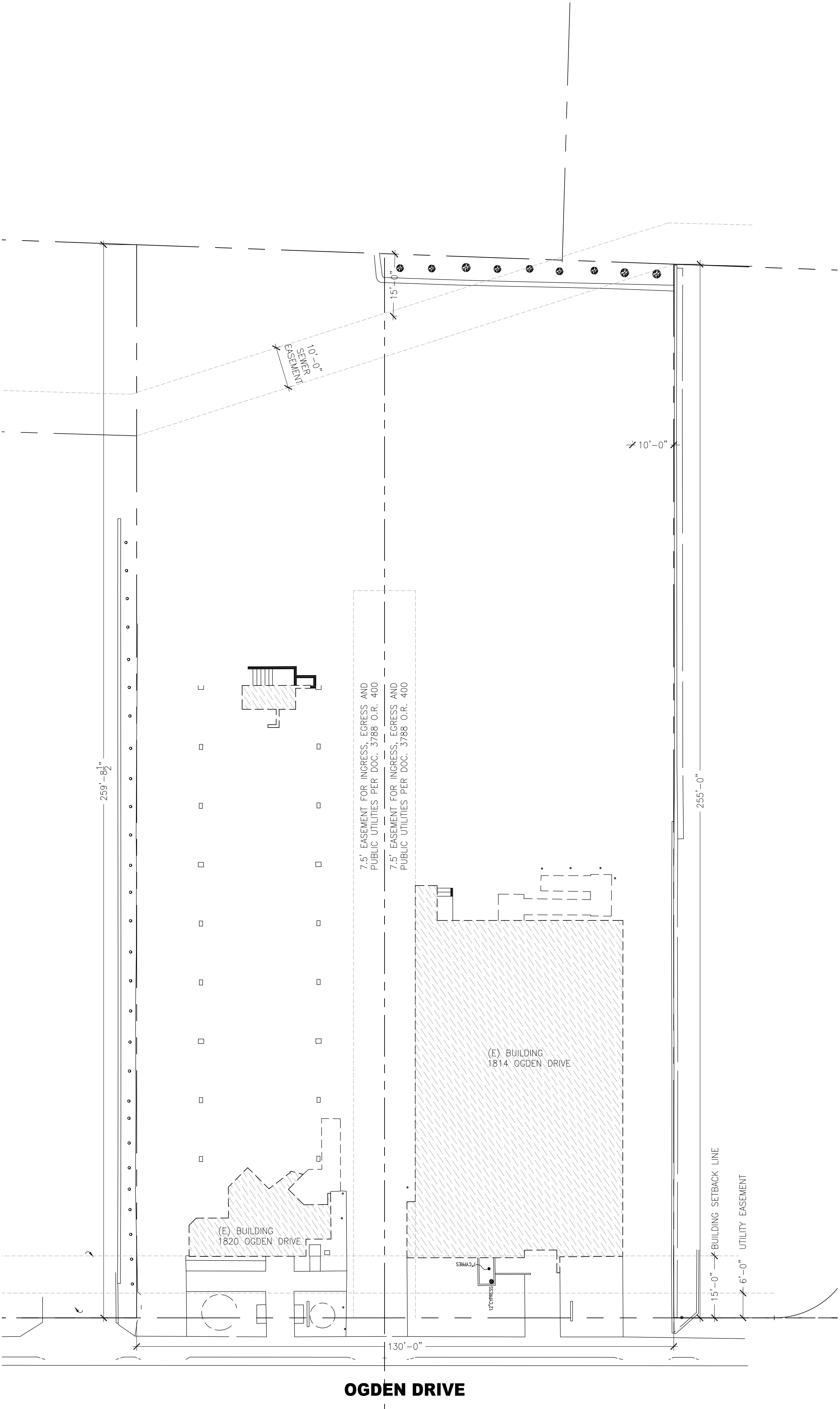
GRASSES & GRASS-LIKE PLANTS					
QTY	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	MWEL0 IV RATING
45	1 GAL	CAR TUM	CAREX TUMULICOLA	BERKELEY SEDGE	L
28	1 GAL	LOM PLA	LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	L

## PLANT NOTES

- ## IRRIGATION NOTES

- 1 IRRIGATION SYSTEM SHALL CONFORM TO REQUIREMENTS OF MODEL WATER EFFICIENT LANDSCAPE  
ORDINANCE & WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (MWEOLO).
- 2 IRRIGATION SYSTEM SHALL BE CONTROLLED BY AN AUTOMATIC CONTROLLER WITH A RAIN SENSOR TO  
OVERRIDE THE SYSTEM WHEN WATERING IS NOT NECESSARY.
- 3 IRRIGATION SYSTEM SHALL PROVIDE ADEQUATE WATER TO PROMOTE HEALTHY GROWTH AND  
MAINTENANCE OF PLANTS.
- 4 TREES SHALL BE IRRIGATED WITH BUBBLERS ON A SEPARATE VALVE.
- 5 SHRUBS & GRASSES SHALL BE IRRIGATED WITH DRIP IRRIGATION.

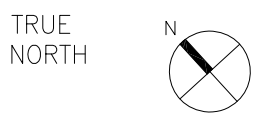




1 SITE PLAN: DEMO  
1/16"=1'-0"

- GENERAL NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED IN THIS PLAN.
  2. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.
  3. CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS.
  4. THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION.
  5. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR. PROTECT ALL EXISTING UTILITIES IN PLACE.
  6. CONTRACTOR TO CAP EXISTING WATER LINES AT THE PROPERTY LINE FOR FUTURE USE. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH AND PROVIDE TO ENGINEER.
  7. CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES IN THE SIDEWALK; UNLESS OTHERWISE NOTED.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF OAKLAND, OR ANY OTHER AGENCY HAVING JURISDICTION.

- LEGEND**
- DEMOLITION
  - PROPERTY LINE



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1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION

CONTACT: TOBY LEVY

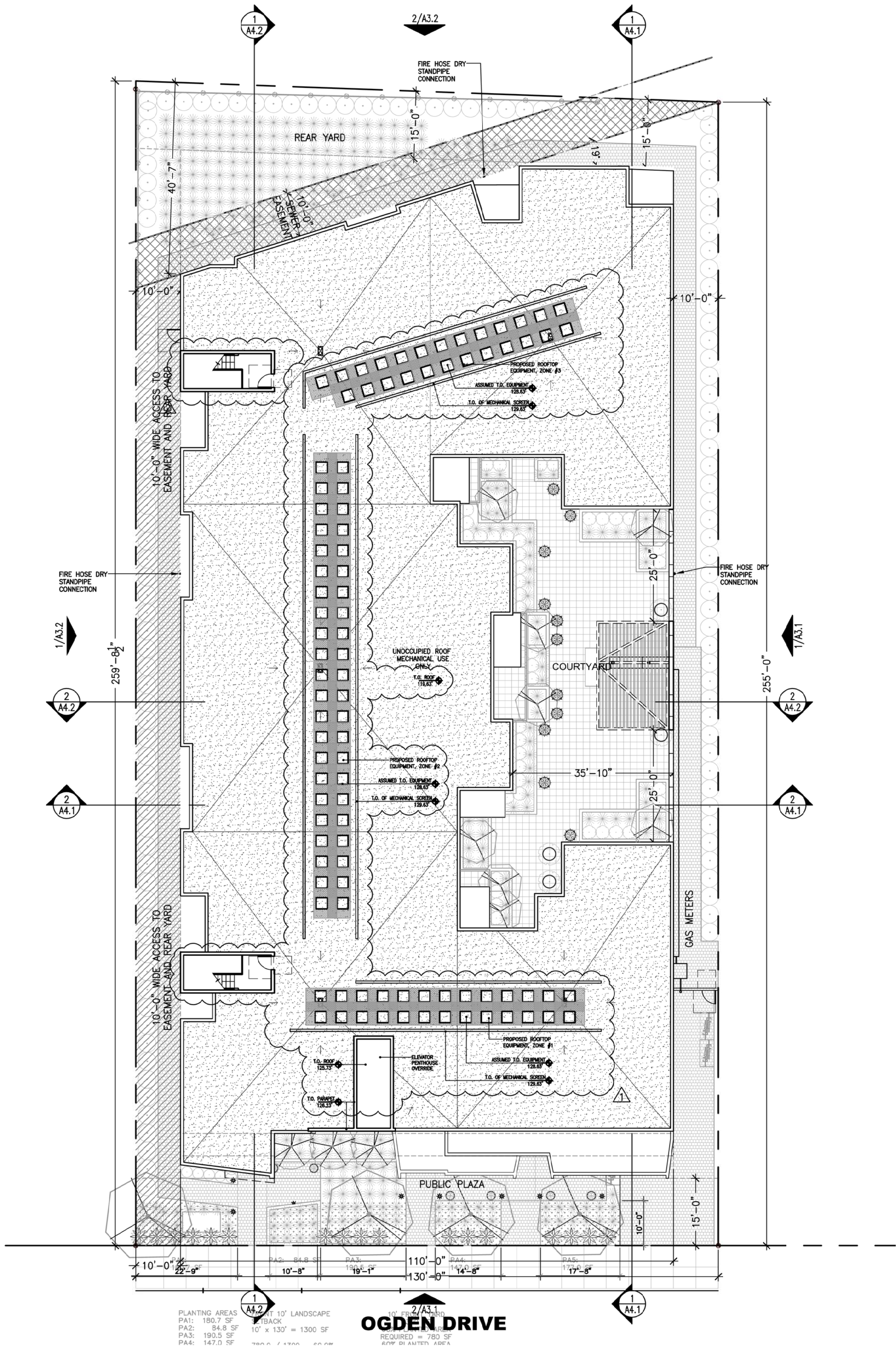
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

SITE PLAN-  
DEMO

A1.0





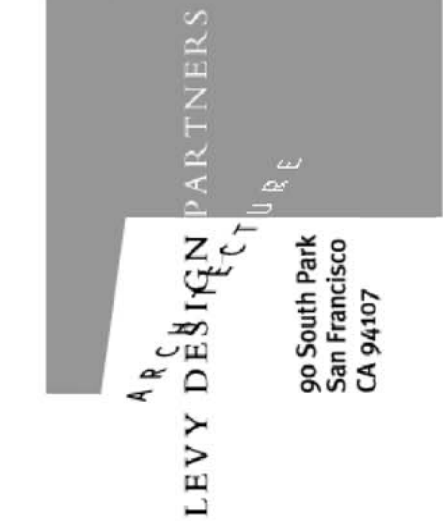
1 SITE PLAN: NEW  
1/16"=1'-0"

### GENERAL NOTES

1. SEE CIVIL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. SEE A0.2a, A0.2b & A0.3 FOR ACCESS AND EGRESS INFORMATION
3. SEE A2 SERIES FOR OVERALL FLOOR PLANS
4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
5. SEE A0.4c FOR SETBACK INFORMATION. SEE FLOOR PLANS FOR ADDITIONAL BUILDING DIMENSIONS

### LEGEND

PROPERTY LINE	
PROJECT NORTH	TRUE NORTH



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## 1814-20 OGDEN DRIVE BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
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BURLINGAME, CA  
PROJECT NO. 2019-11

DATE	SET ISSUE
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11-13-2020	REVISION
01-11-2021	REVISION

CONTACT: TOBY LEVY

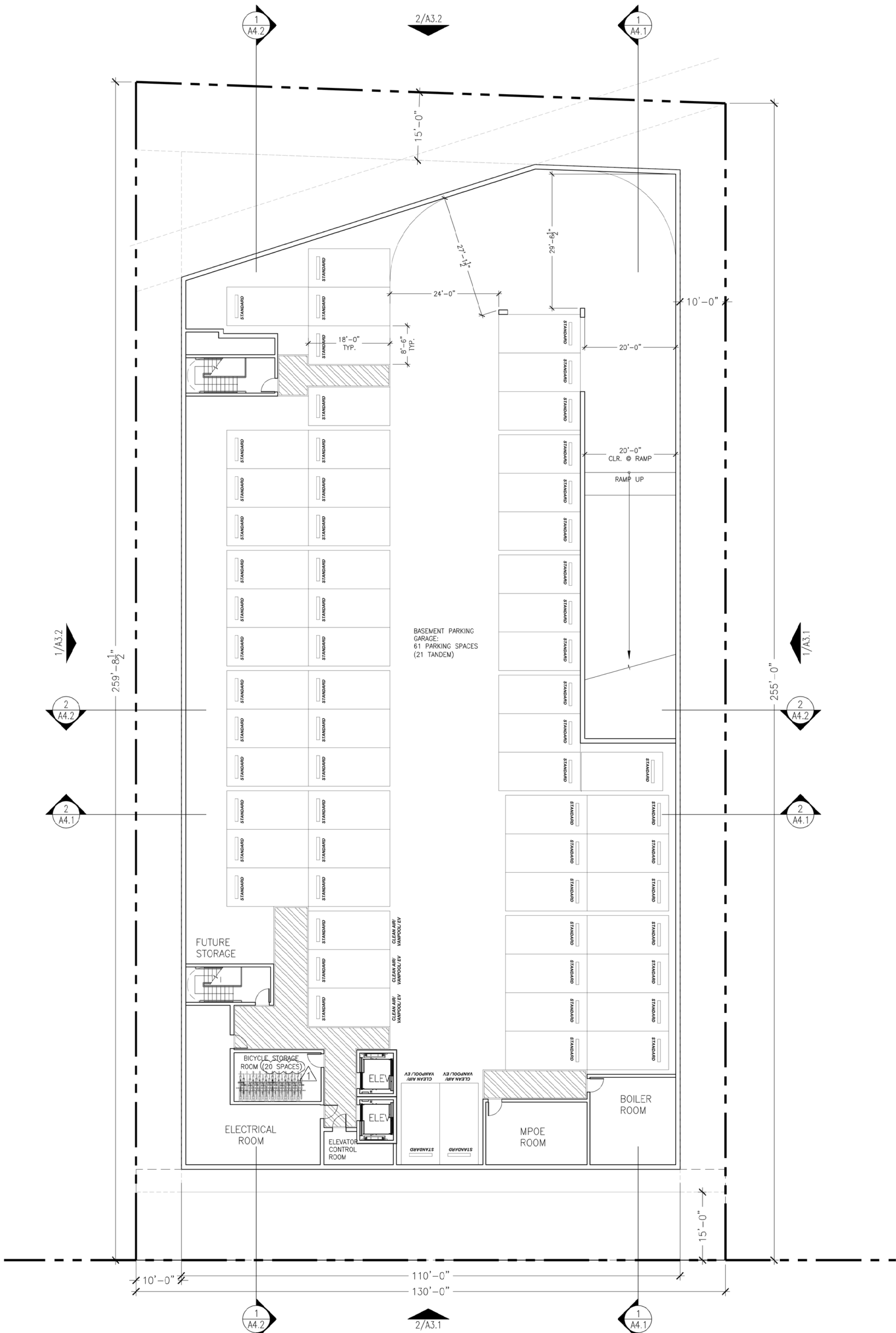
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(415) 777-5117 F

SCALE: AS NOTED

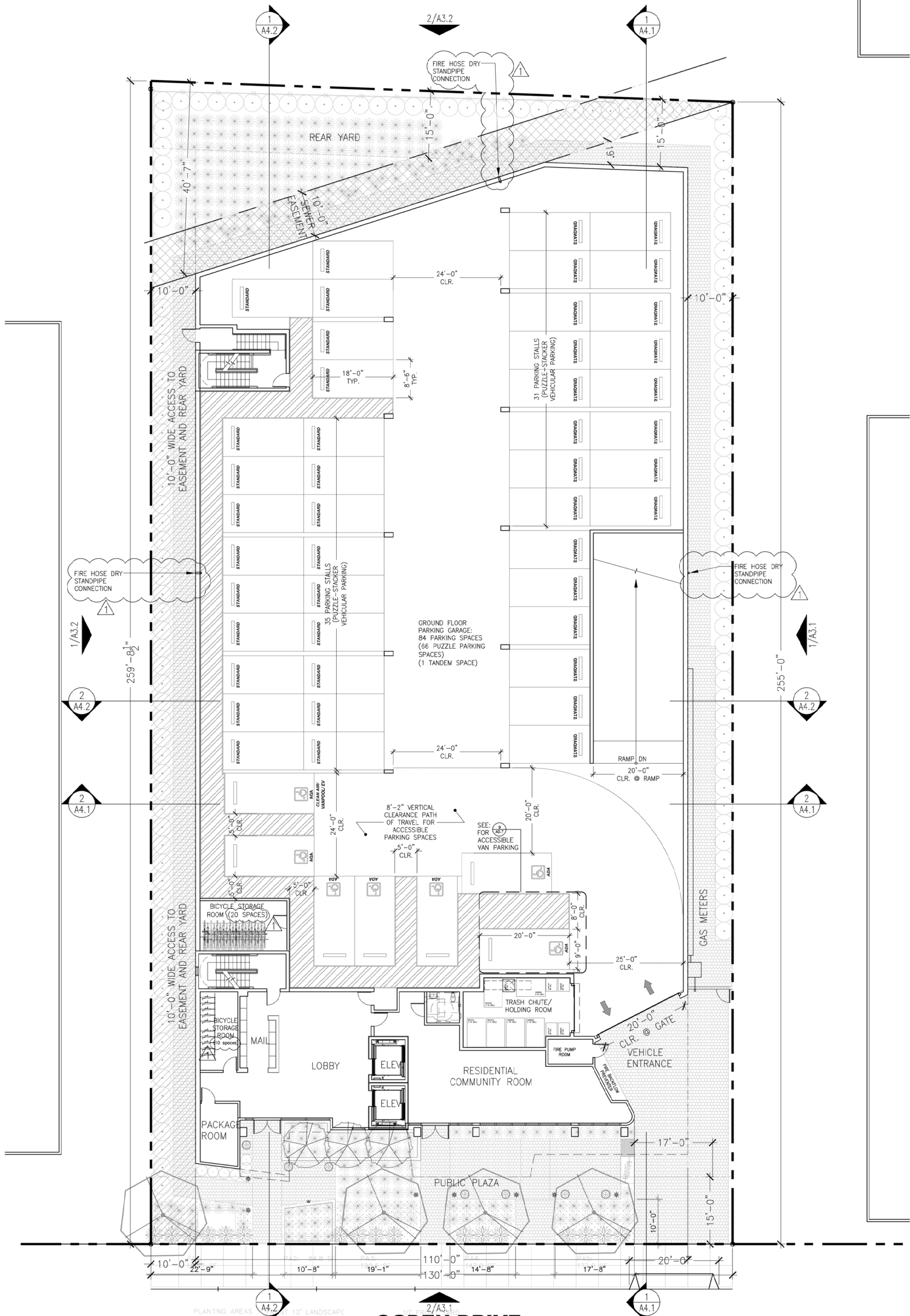
SITE PLAN:  
NEW

# A1.1





1 FLOOR PLAN: BASEMENT  
1/16"=1'-0"



2 FLOOR PLAN: GROUND FLOOR  
1/16"=1'-0"

GROUND-FLOOR TRANSPARENCY CALCULATION:  
TOTAL GROUND FLOOR WALL LENGTH: 98'-2"  
TOTAL TRANSPARENCY LENGTH: 68'-8"  
TRANSPARENCY PERCENTAGE: 69.9%

## GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
- SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
- SEE A5 SERIES FOR ENLARGED UNIT PLANS
- ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1. THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB. EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
- ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
- EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
- ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
- ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
- ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
- ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
- PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
- PAIN ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
- ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

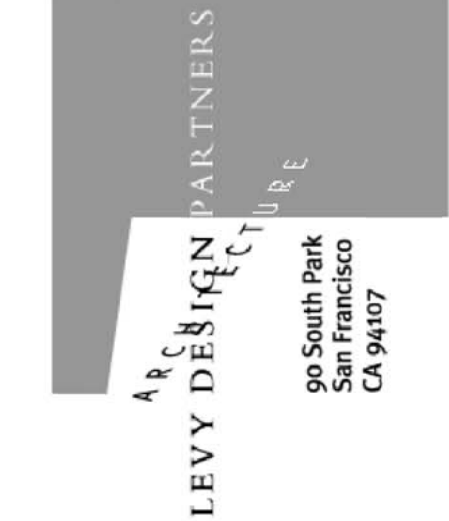
## SHEET NOTES

## LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

## DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



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BURLINGAME, CA



1814-20 OGDEN DRIVE  
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025121110  
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PROJECT NO. 2019-11

DATE	SET ISSUE
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11-13-2020	REVISION
01-11-2021	REVISION
08-27-2021	REVISION

CONTACT: TOBY LEVY

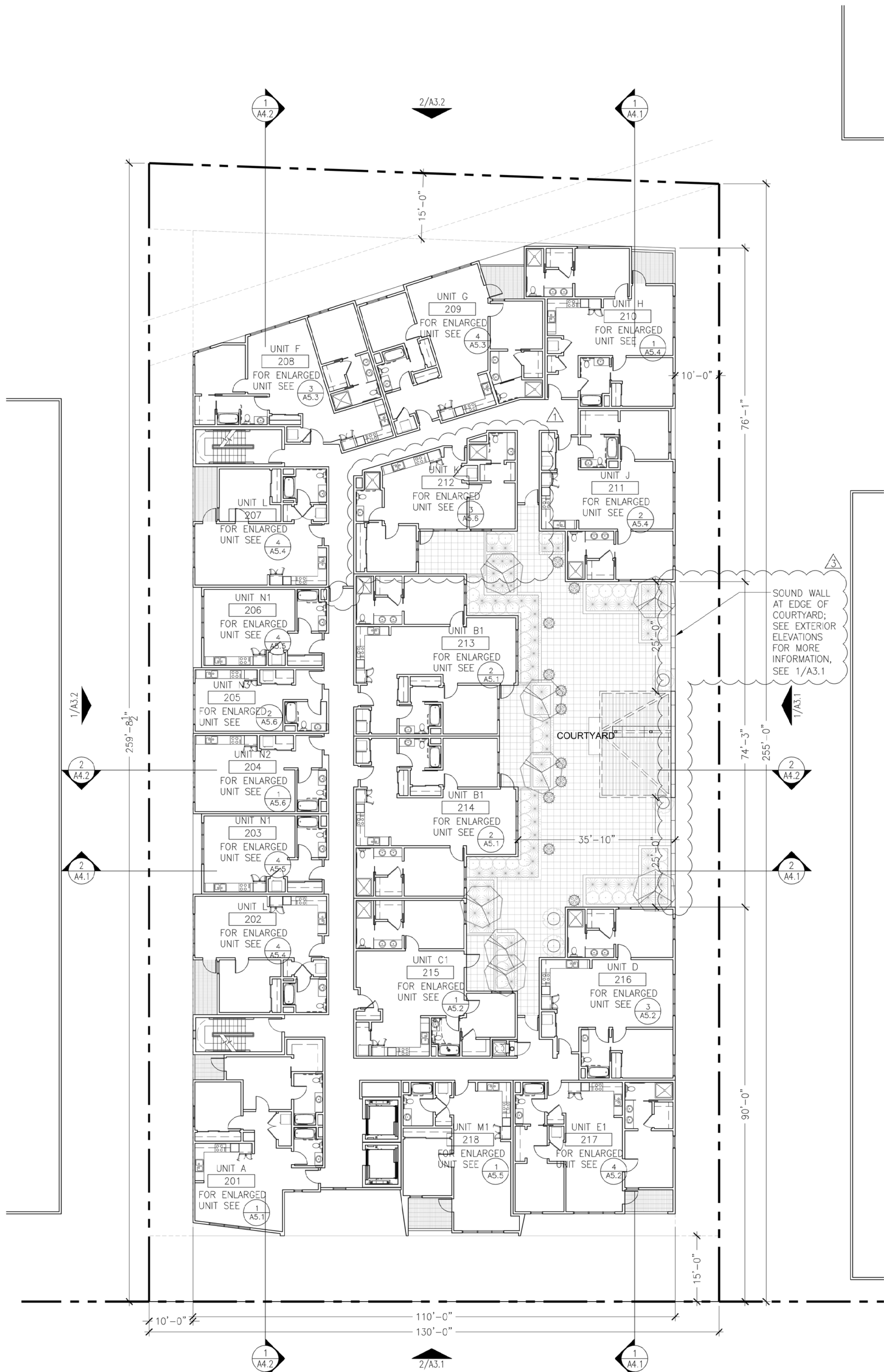
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(415) 777-5117 F

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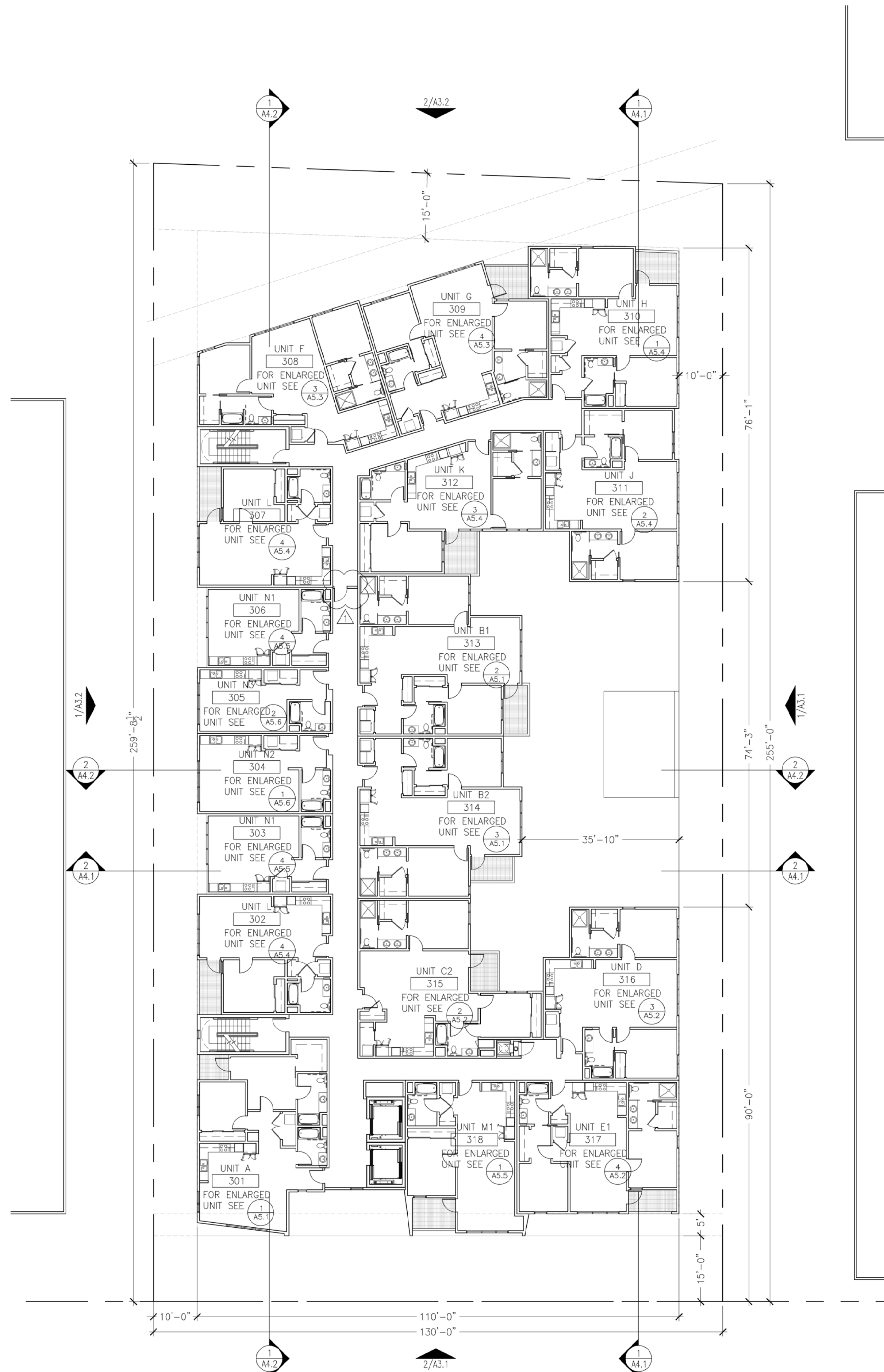
FLOOR PLAN:  
BASEMENT &  
GROUND FLOOR

A2.0





1 FLOOR PLAN: 2ND FLOOR  
1/16"=1'-0"



2 FLOOR PLAN: THIRD FLOOR  
1/16"=1'-0"

## GENERAL NOTES

- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
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- SEE A5 SERIES FOR ENLARGED UNIT PLANS
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- PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
- ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
- CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
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- ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
- PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
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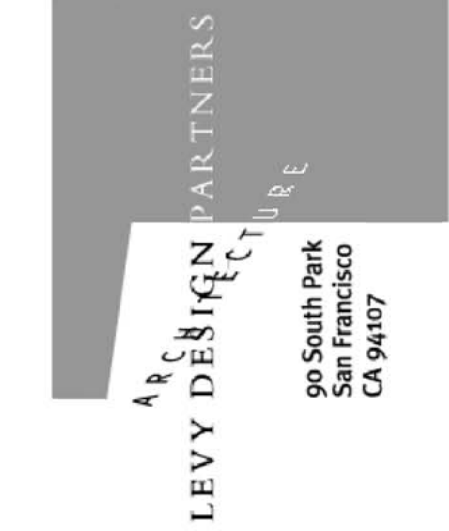
## SHEET NOTES

## LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

## DIMENSION NOTES

- WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



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# 1814-20 OGDEN DRIVE BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

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01-11-2021	REVISION
08-27-2021	REVISION

CONTACT: TOBY LEVY

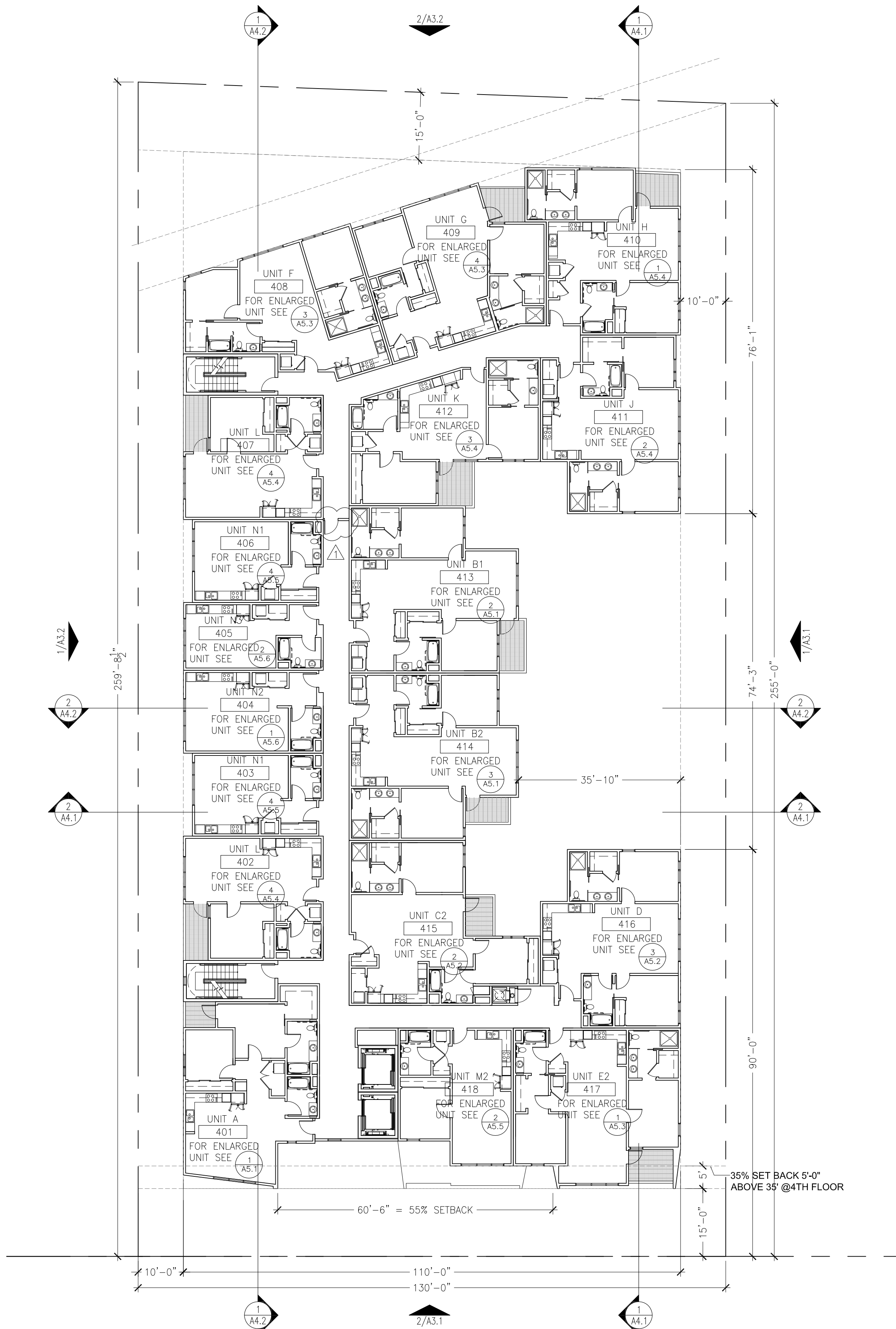
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(415) 777-5117 F

SCALE: AS NOTED

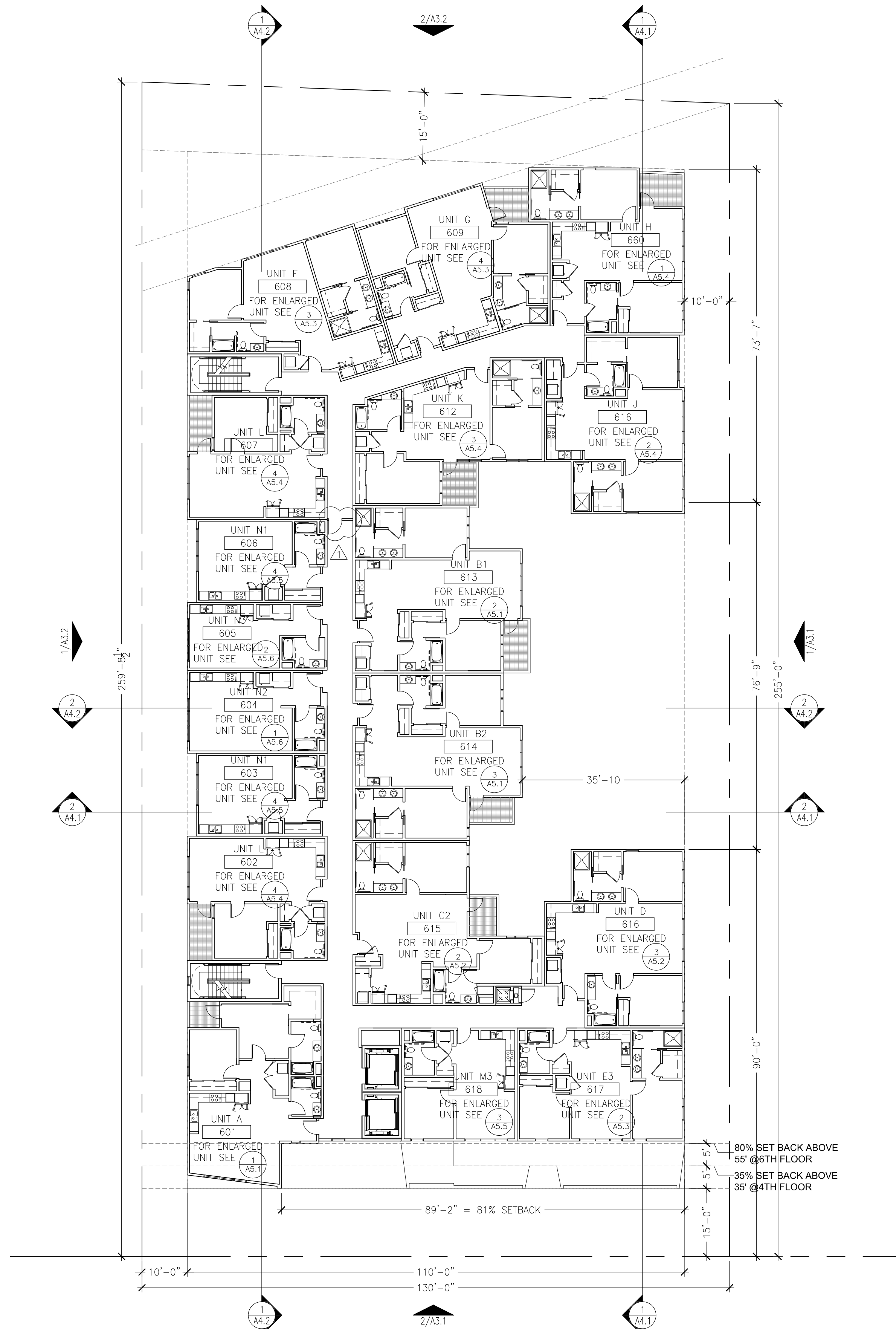
FLOOR PLAN:  
2ND & 3RD  
FLOOR

# A2.1





1 FLOOR PLAN: 4TH - 5TH FLOOR  
1/16"=1'-0"



2 FLOOR PLAN: 6TH FLOOR  
1/16"=1'-0"

## GENERAL NOTES

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
5. ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1.; THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB, EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
6. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
7. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
8. CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL, MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
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11. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
12. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
14. PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
16. ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

## SHEET NOTES

## LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

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BURLINGAME, CA



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CONTACT: TOBY LEVY

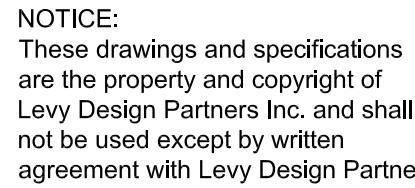
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

FLOOR PLAN:  
4TH, 5TH &  
6TH FLOOR

A2.2





A circular professional seal for Toby Stella Levy, a Licensed Architect in the State of California. The seal includes the text "LICENSED ARCHITECT", "TOBY STELLA LEVY", "C-10527", "REN. 6-30-21", and "STATE OF CALIFORNIA". The seal is stamped in blue ink and is partially obscured by a blue ink signature.

DATE	SET ISSUE
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11-13-2020	REVISION
01-11-2021	REVISION

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FLOOR PLAN:  
ROOF

## GENERAL NOTES

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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9. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
10. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
11. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
12. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A.2
14. PROVIDE FLOOR DRAINS; SLOPE  $\frac{1}{4}$ "/FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
16. ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN CYP. BD. IF COLUMNS & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

## SHEET NOTES

**LEGEND**

NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES

→ ROOF SLOPE

PROPERTY LINE

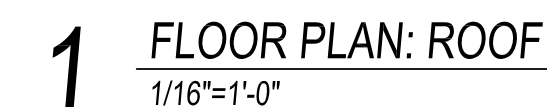
1-HR. FIRE RATED WALL

WALL ASSEMBLY,  
SEE A8 SERIES

## DIMENSION NOTES

1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.  
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PROJECT NORTH







1 RENDERING

LEVY DESIGN PARTNERS  
ARCHITECTS  
90 South Park  
San Francisco  
CA 94107

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1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11  
DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION

CONTACT: TOBY LEVY

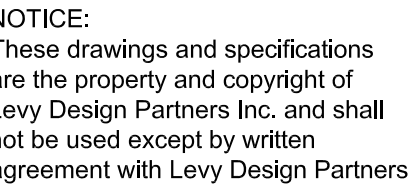
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

RENDERINGS

A3.0



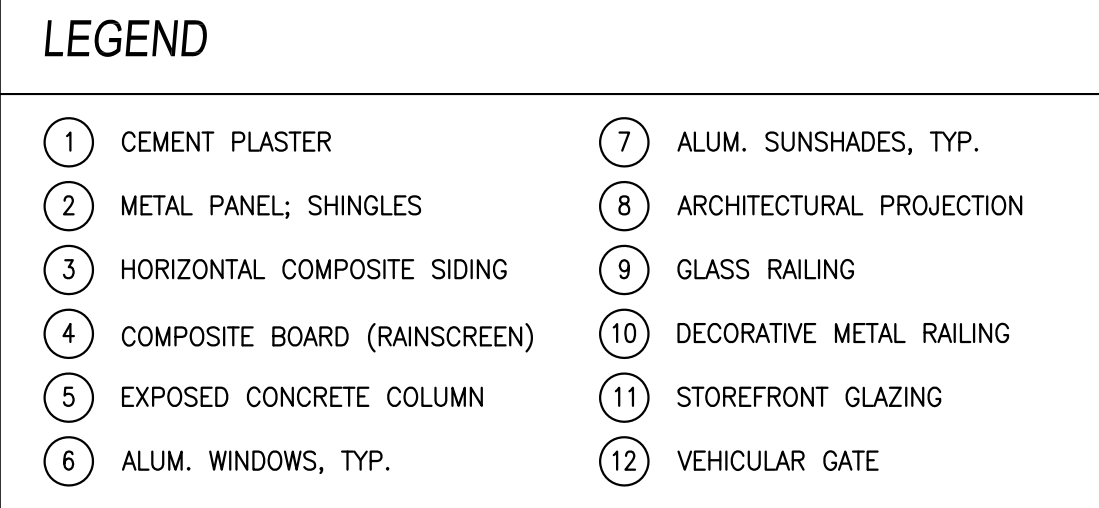


A circular professional seal for Toby Stella, a Licensed Architect in the State of California. The seal contains the text: "LICENSED ARCHITECT", "TOBY STELLA", "C-10527", "EXPIRES 6-30-21", and "STATE OF CALIFORNIA". The seal is stamped in blue ink on a white background.

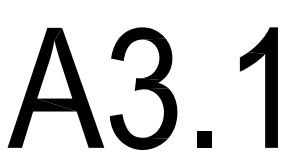
E	SET ISSUE
07-2020	PLANNING SUBMISSION
11-13-2020	REVISION
01-11-2021	REVISION
08-27-2021	REVISION

## BUILDING ELEVATIONS

## A3.1



**1** BUILDING ELEVATION: EAST  
3/32"=1'-0"







2 BUILDING ELEVATION: REAR  
3/32"=1'-0"



1 BUILDING ELEVATION: WEST  
3/32"=1'-0"

#### LEGEND

- |                               |                            |
|-------------------------------|----------------------------|
| ① CEMENT PLASTER              | ⑦ ALUM. SUNSHADES, TYP.    |
| ② METAL PANEL; SHINGLES       | ⑧ ARCHITECTURAL PROJECTION |
| ③ HORIZONTAL COMPOSITE SIDING | ⑨ GLASS RAILING            |
| ④ COMPOSITE BOARD (RAINSCEEN) | ⑩ DECORATIVE METAL RAILING |
| ⑤ EXPOSED CONCRETE COLUMN     | ⑪ STOREFRONT GLAZING       |
| ⑥ ALUM. WINDOWS, TYP.         | ⑫ VEHICULAR GATE           |

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BURLINGAME, CA



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DATE	SET ISSUE
08-07-2020	PLANNING SUBMISSION
11-13-2020	REVISION
01-11-2021	REVISION

CONTACT: TOBY LEVY

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SCALE: AS NOTED

BUILDING  
ELEVATIONS

A3.2



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# 1814-20 OGDEN DRIVE BURLINGAME, CA



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11-13-2020 REVISION

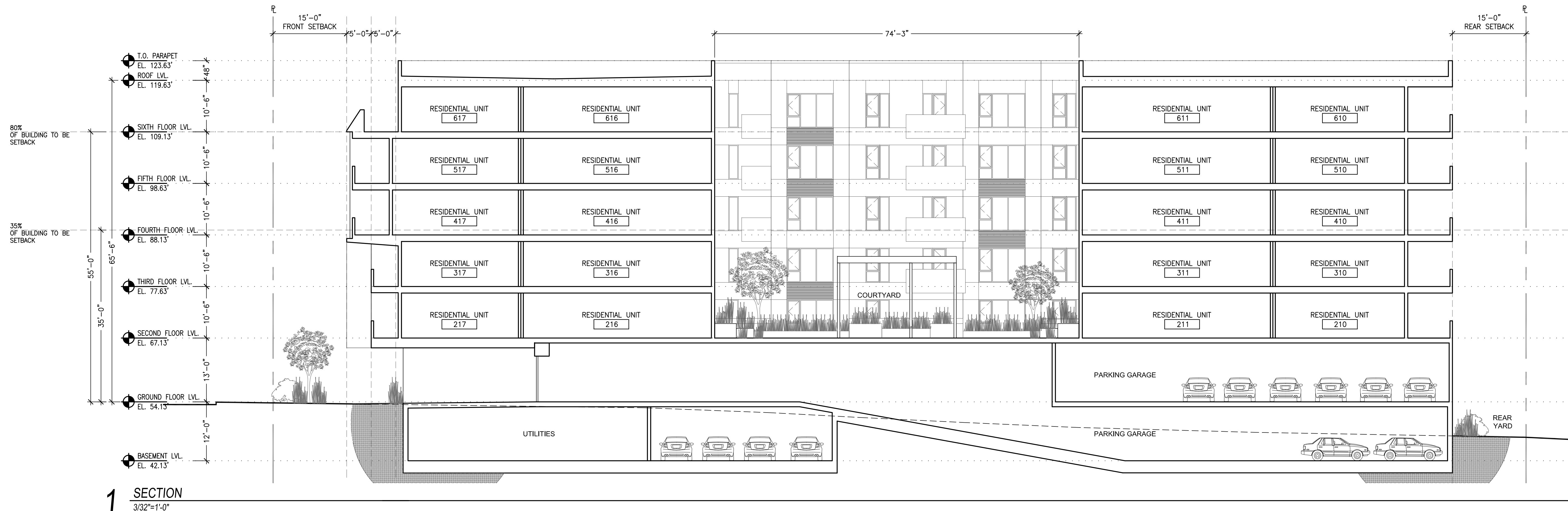
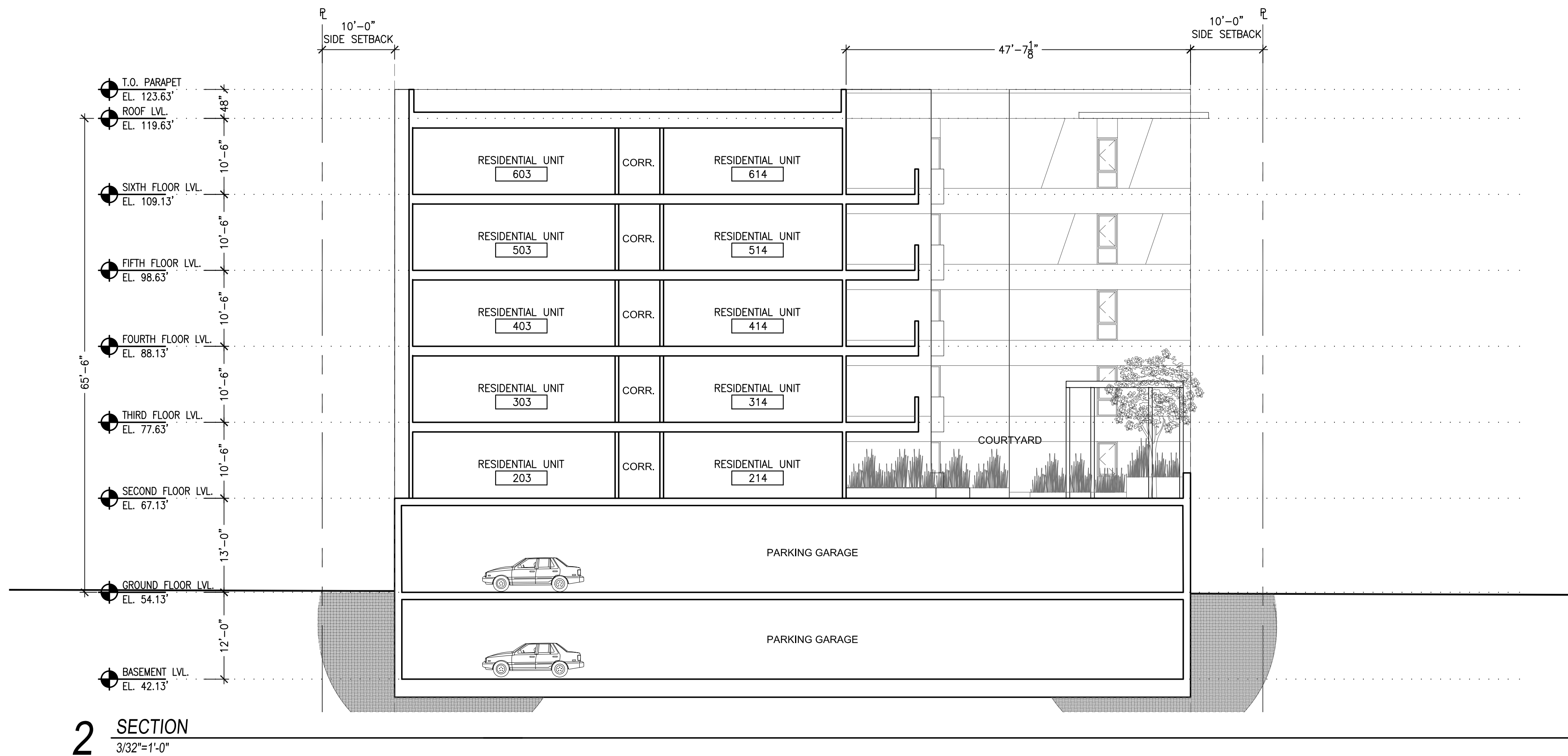
CONTACT: TOBY LEVY

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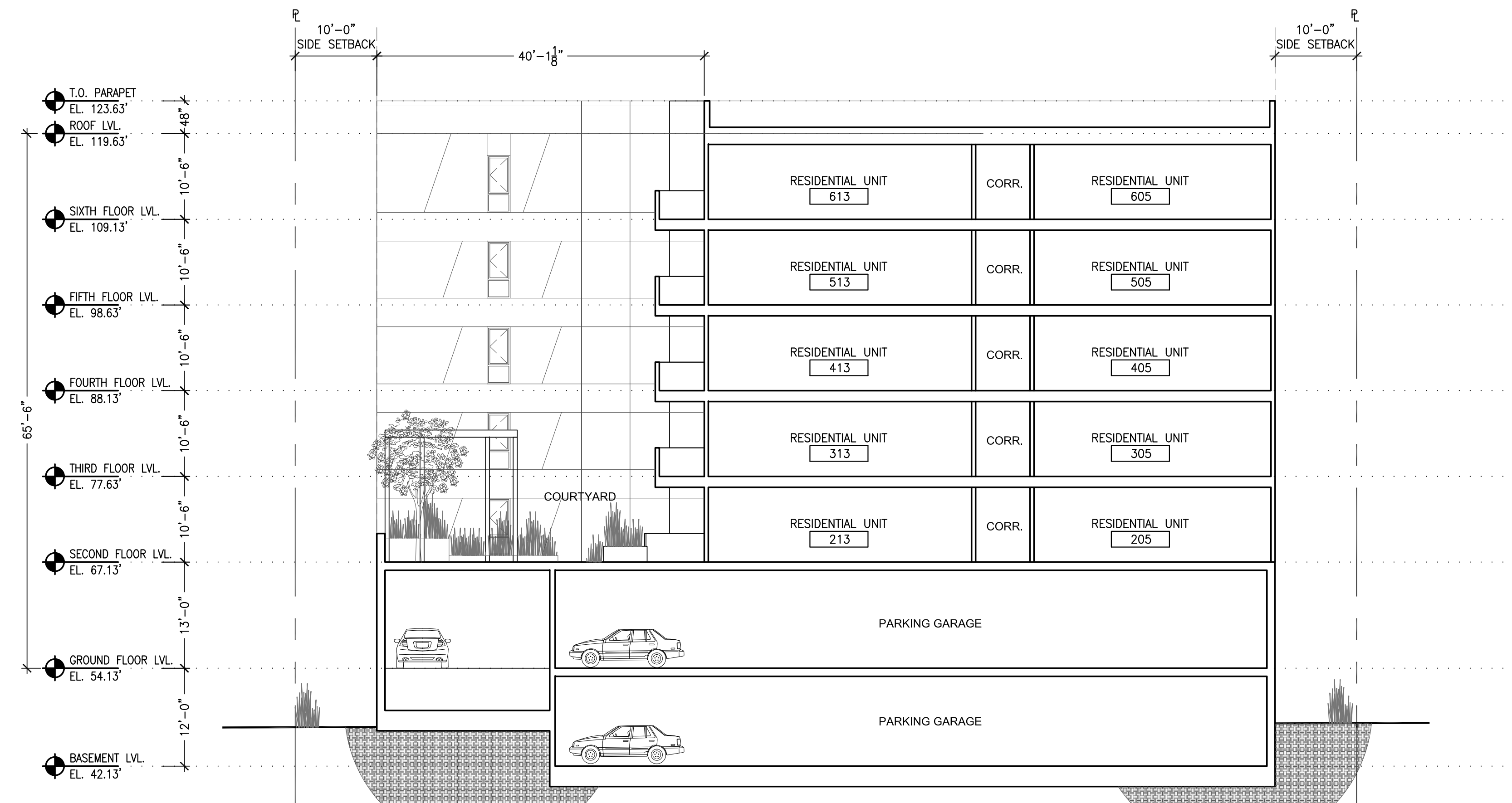
SCALE: AS NOTED

BUILDING  
SECTIONS

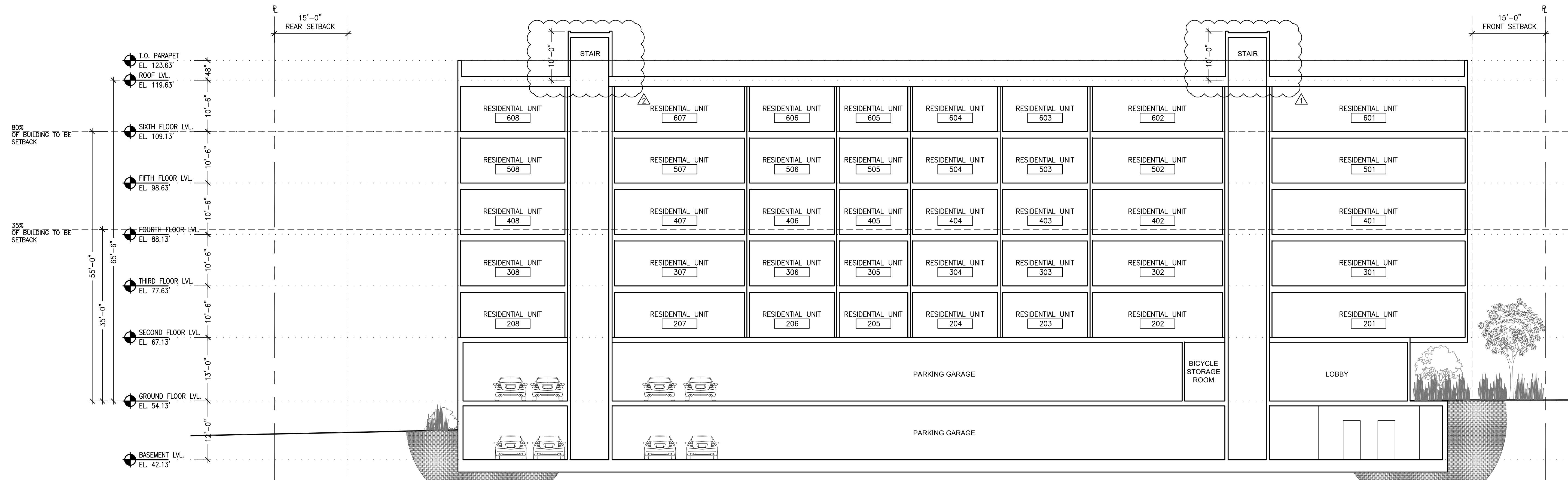
## A4.1







2 SECTION  
3/32"=1'-0"



1 SECTION  
3/32"=1'-0"

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DATE	SET ISSUE
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11-13-2020	REVISION
01-11-2021	REVISION

CONTACT: TOBY LEVY

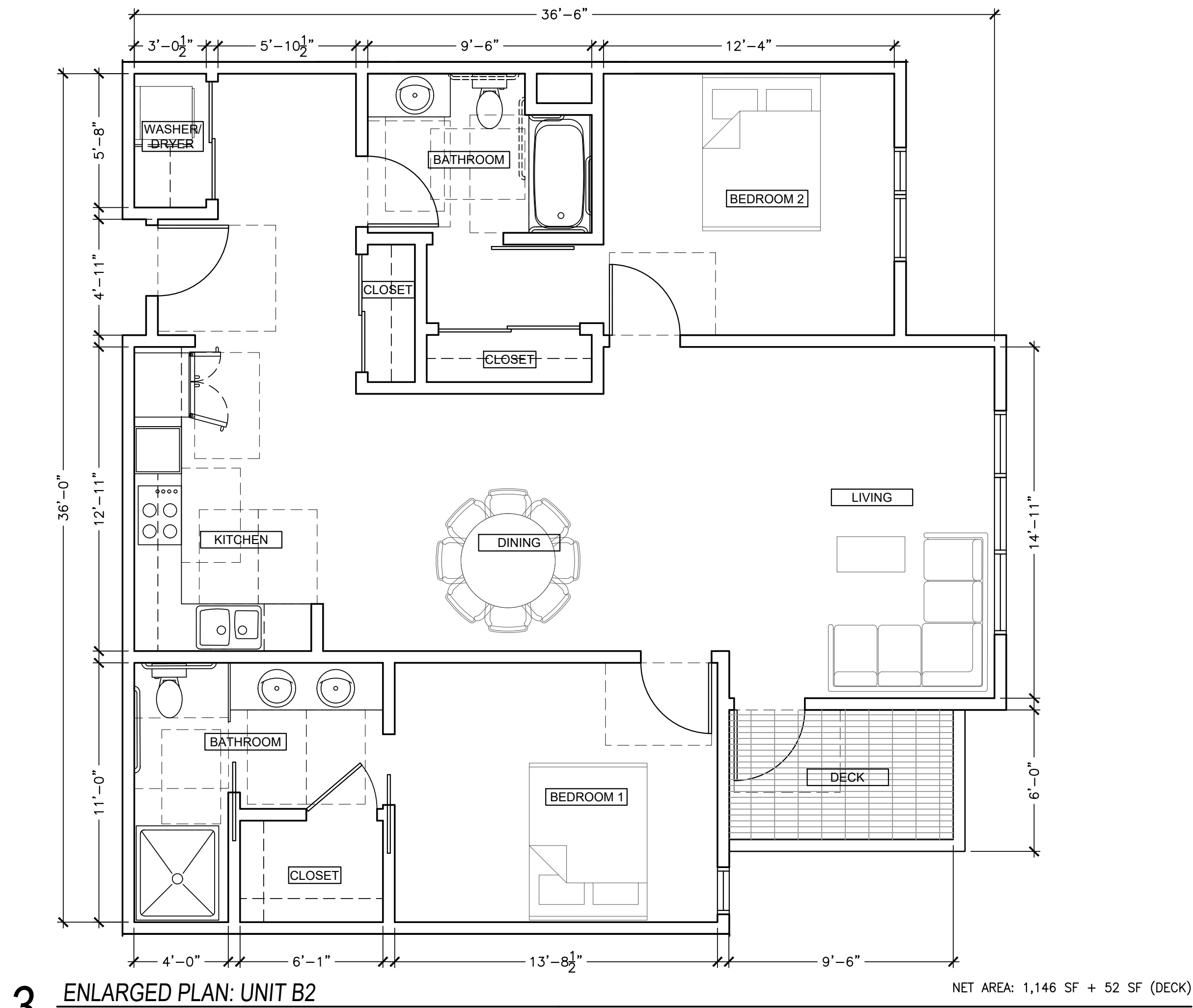
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

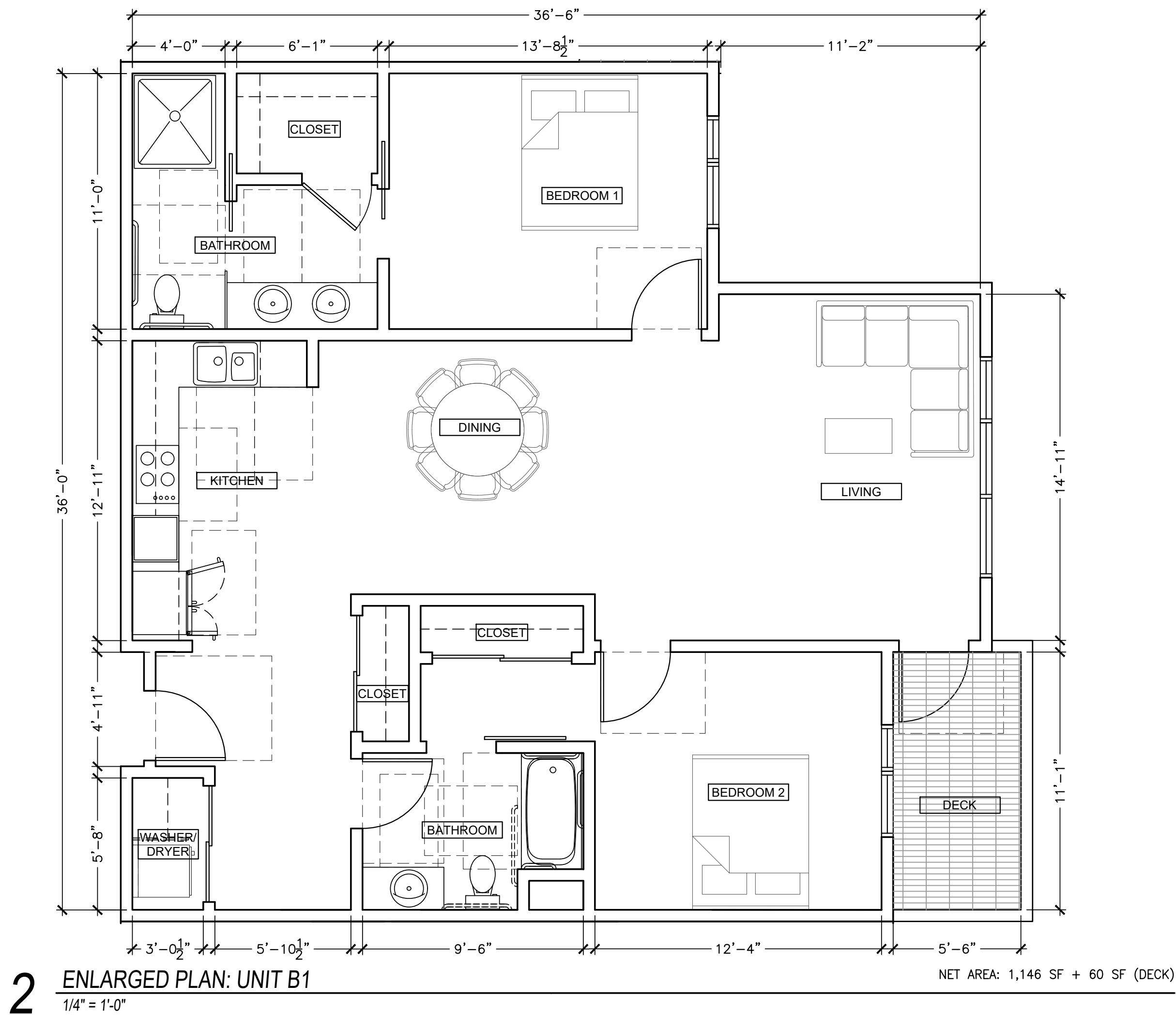
BUILDING  
SECTIONS

A4.2

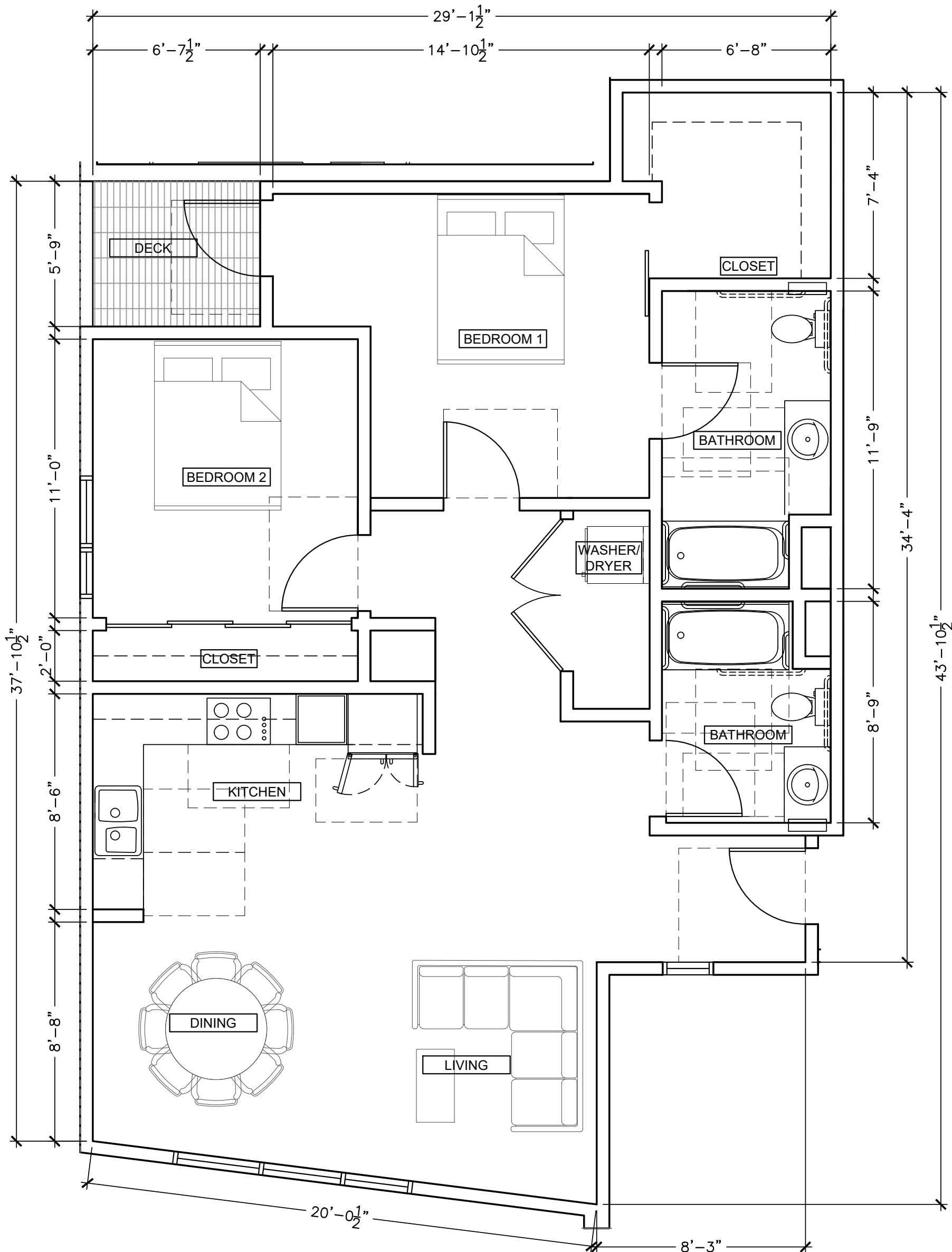




3 ENLARGED PLAN: UNIT B2



2 ENLARGED PLAN: UNIT B1



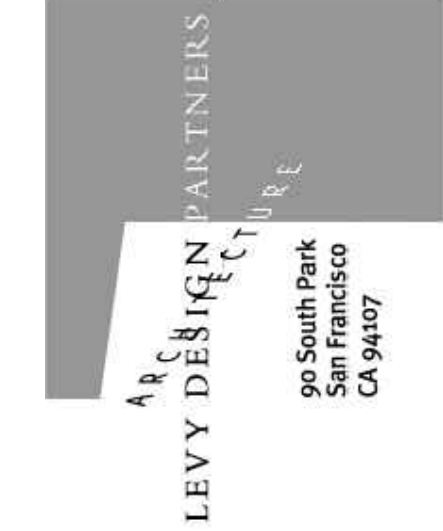
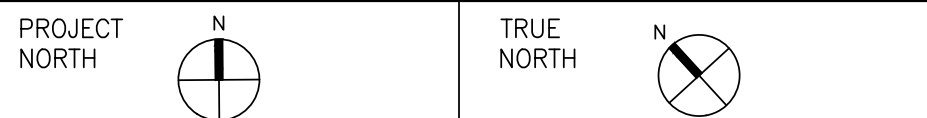
1 ENLARGED PLAN: UNIT A

- GENERAL NOTES
1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
  2. SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
  3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
  4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
  5. ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1.; THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB, EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
  6. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
  7. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
  8. CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL, MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
  9. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
  10. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
  11. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
  12. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
  13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
  14. PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
  15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
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SHEET NOTES

- LEGEND
- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
  - ROOF SLOPE
  - PROPERTY LINE
  - 1-HR. FIRE RATED WALL
  - WALL ASSEMBLY, SEE A8 SERIES

- DIMENSION NOTES
1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
  2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



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BURLINGAME, CA



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025121110  
BURLINGAME, CA  
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08-07-2020 PLANNING SUBMISSION

CONTACT: TOBY LEVY

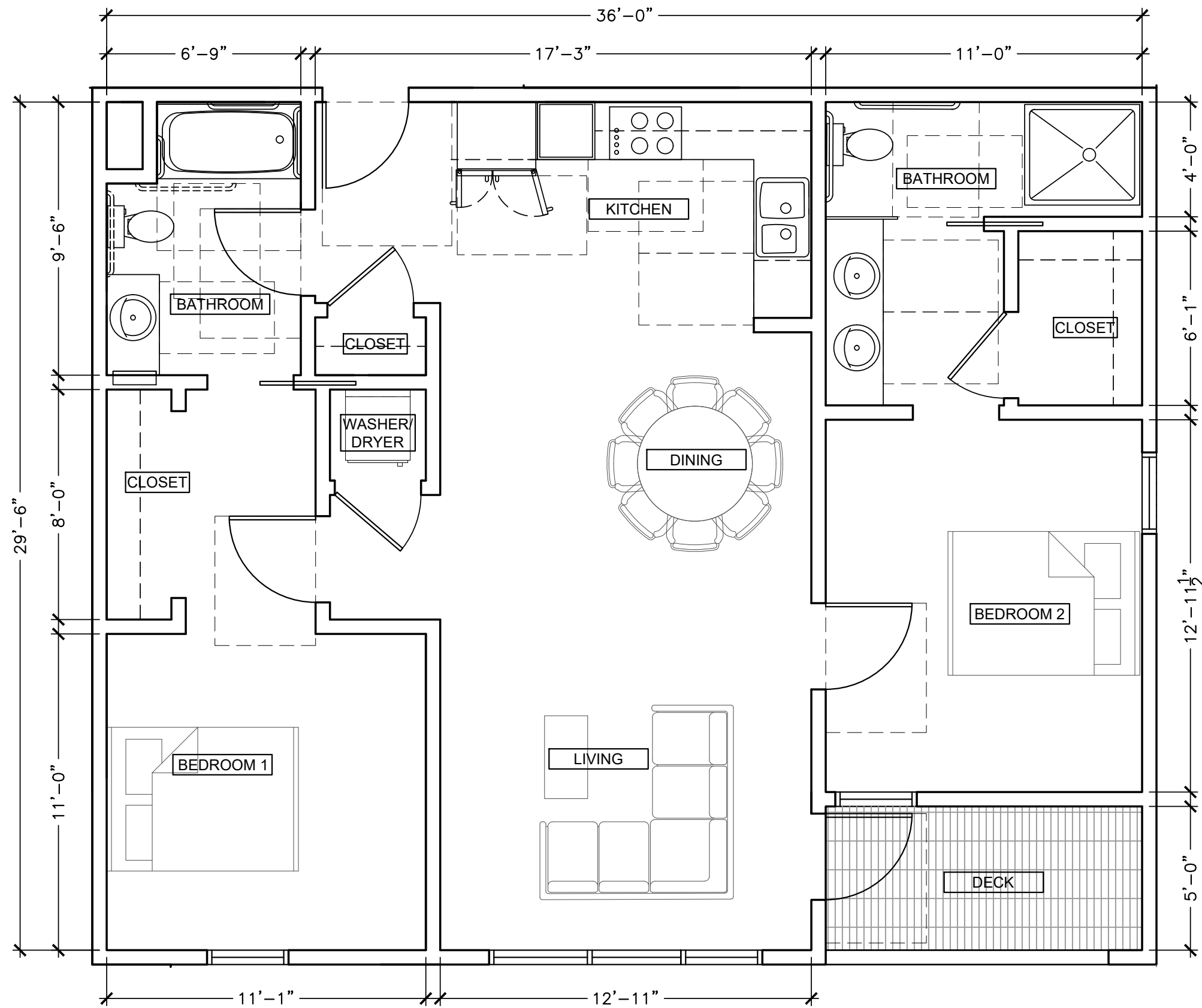
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

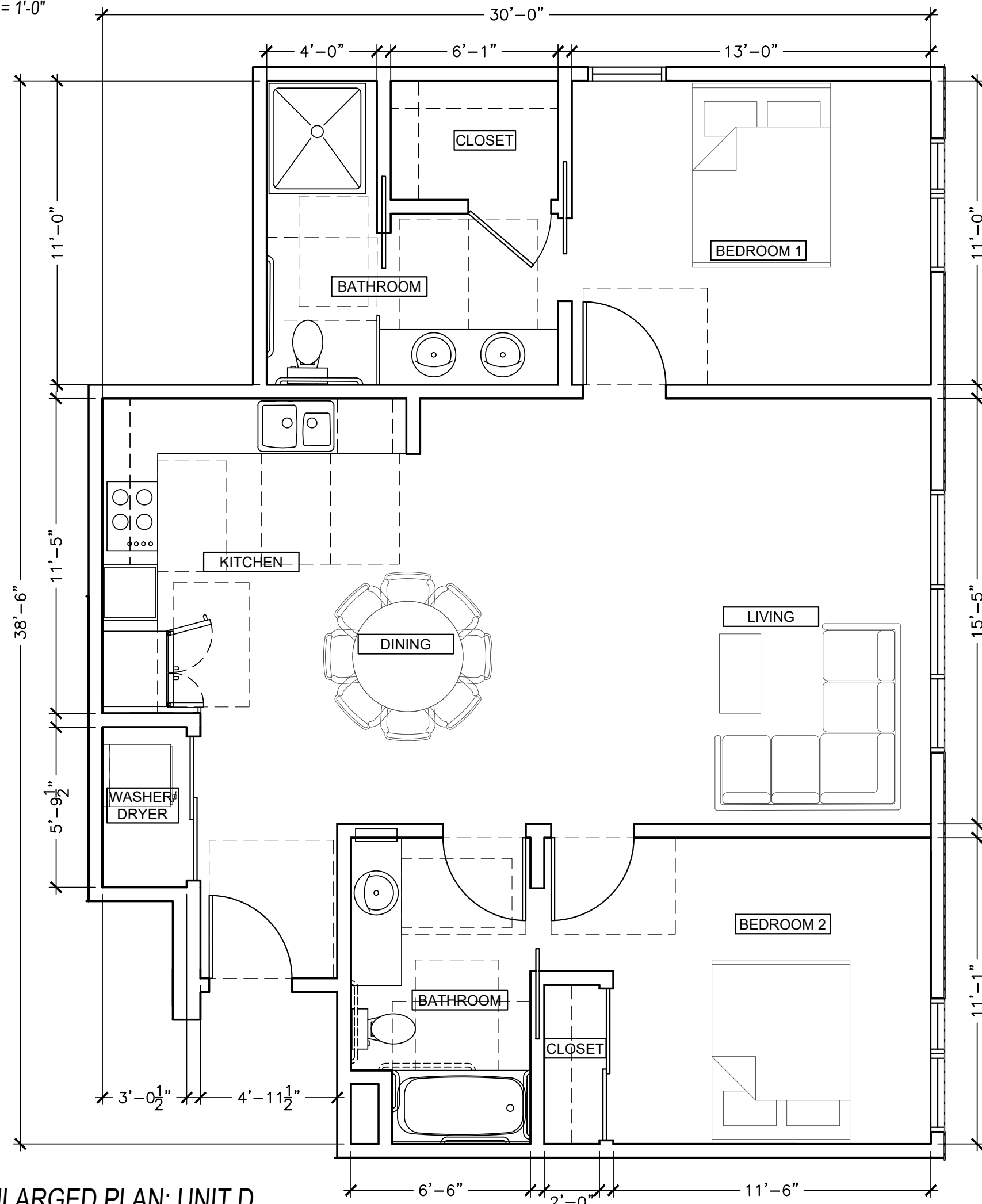
ENLARGED  
UNIT PLAN:  
UNIT A,  
B1 & B2

A5.1

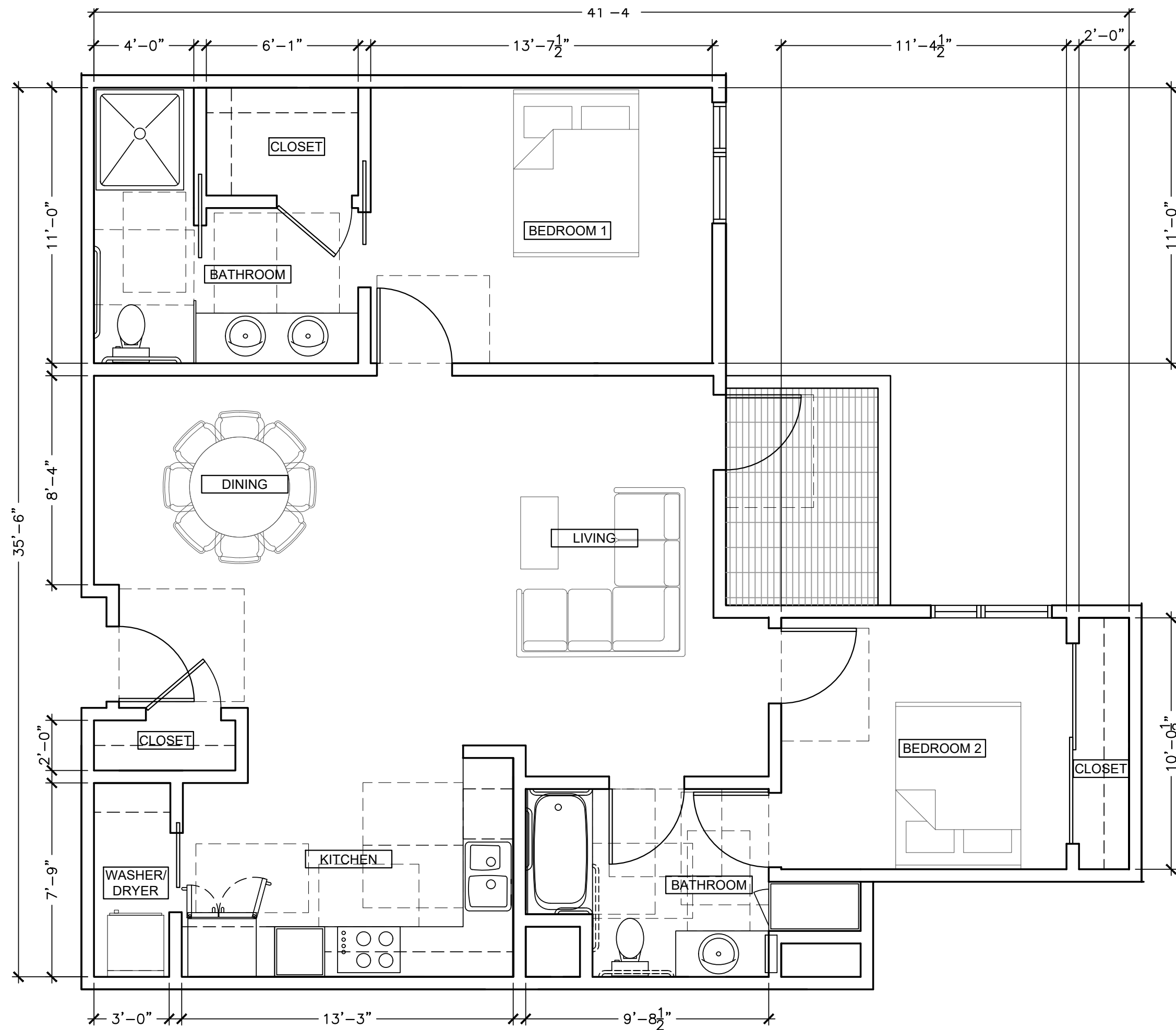




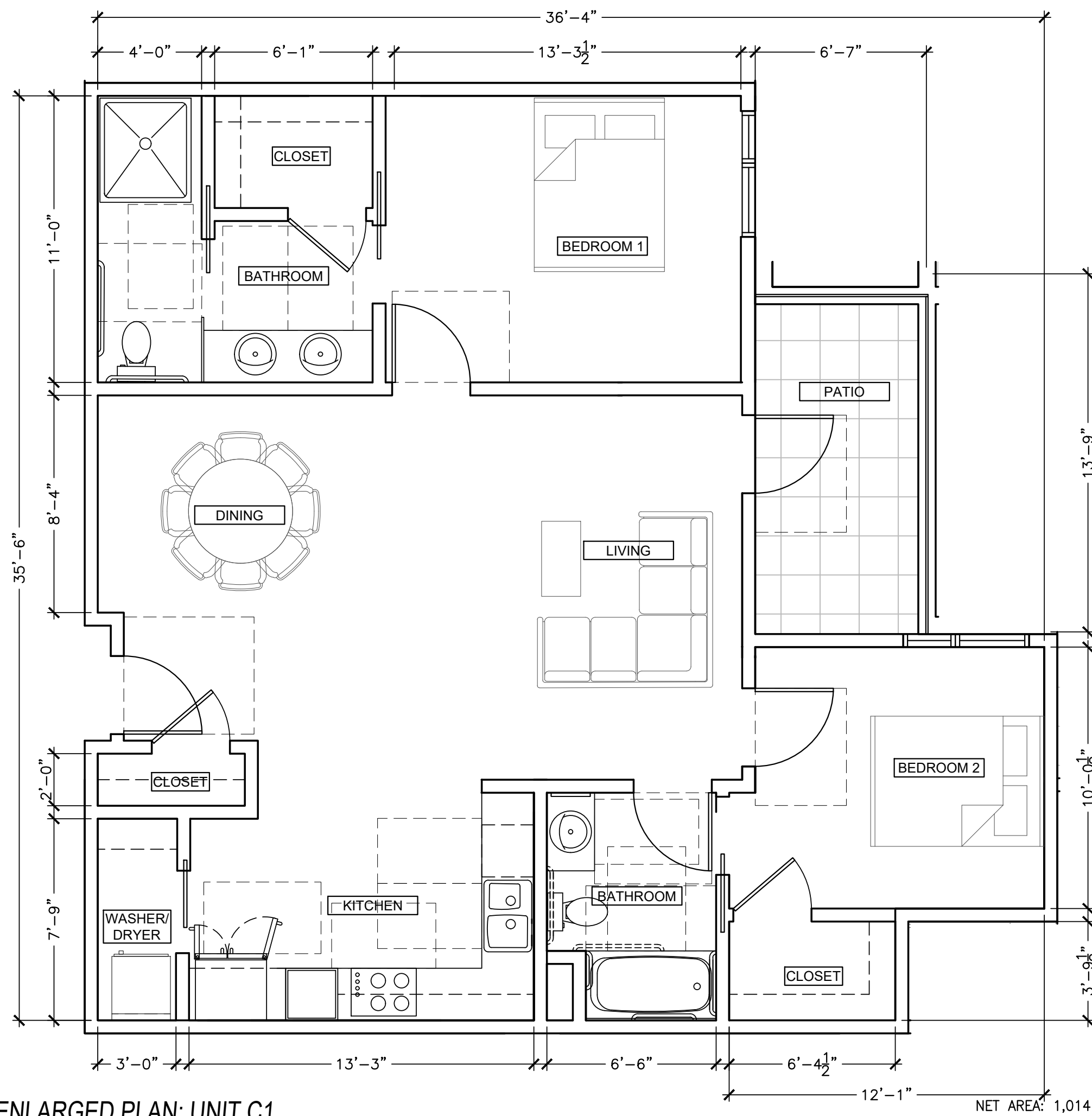
**4 ENLARGED PLAN: UNIT E1**  
 1/4" = 1'-0" NET AREA: 998 SF + 55 SF (DECK)



**3 ENLARGED PLAN: UNIT D**  
 1/4" = 1'-0" NET AREA: 1,022 SF



**2 ENLARGED PLAN: UNIT C2**  
 1/4" = 1'-0" NET AREA: 1,064 SF + 52 SF (DECK)



**1 ENLARGED PLAN: UNIT C1**  
 1/4" = 1'-0" NET AREA: 1,014 SF + 90 SF (PATIO)

**GENERAL NOTES**

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
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6. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
7. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
8. CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL, MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
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10. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
11. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
12. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
14. PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
16. ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

**SHEET NOTES**

**LEGEND**

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

**DIMENSION NOTES**

1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



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 BURLINGAME, CA**



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 025121110  
 BURLINGAME, CA  
 PROJECT NO. 2019-11  
 DATE SET ISSUE  
 08-07-2020 PLANNING SUBMISSION

CONTACT: TOBY LEVY

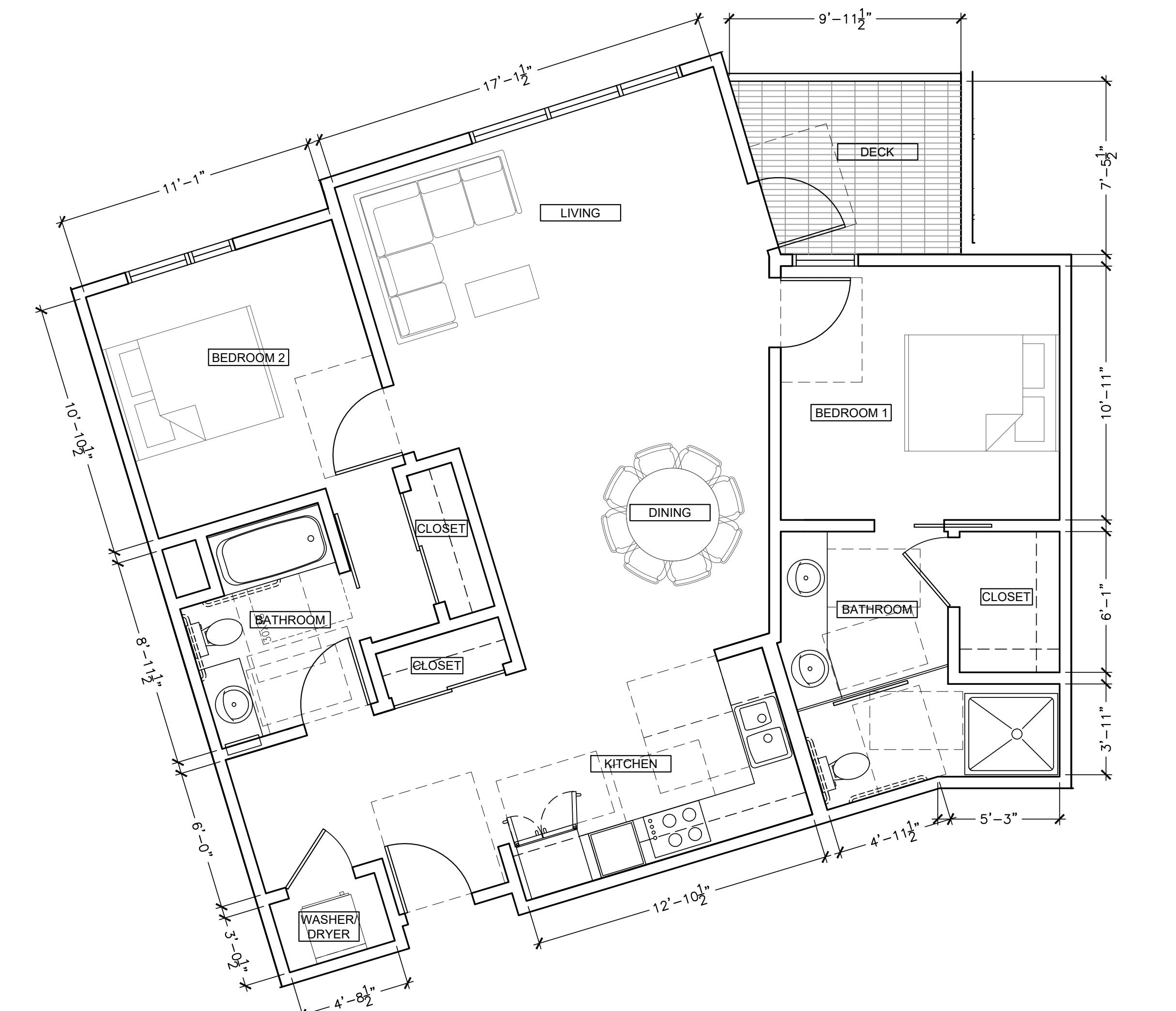
(415) 777-0561 P  
 (415) 777-5117 F

SCALE: AS NOTED

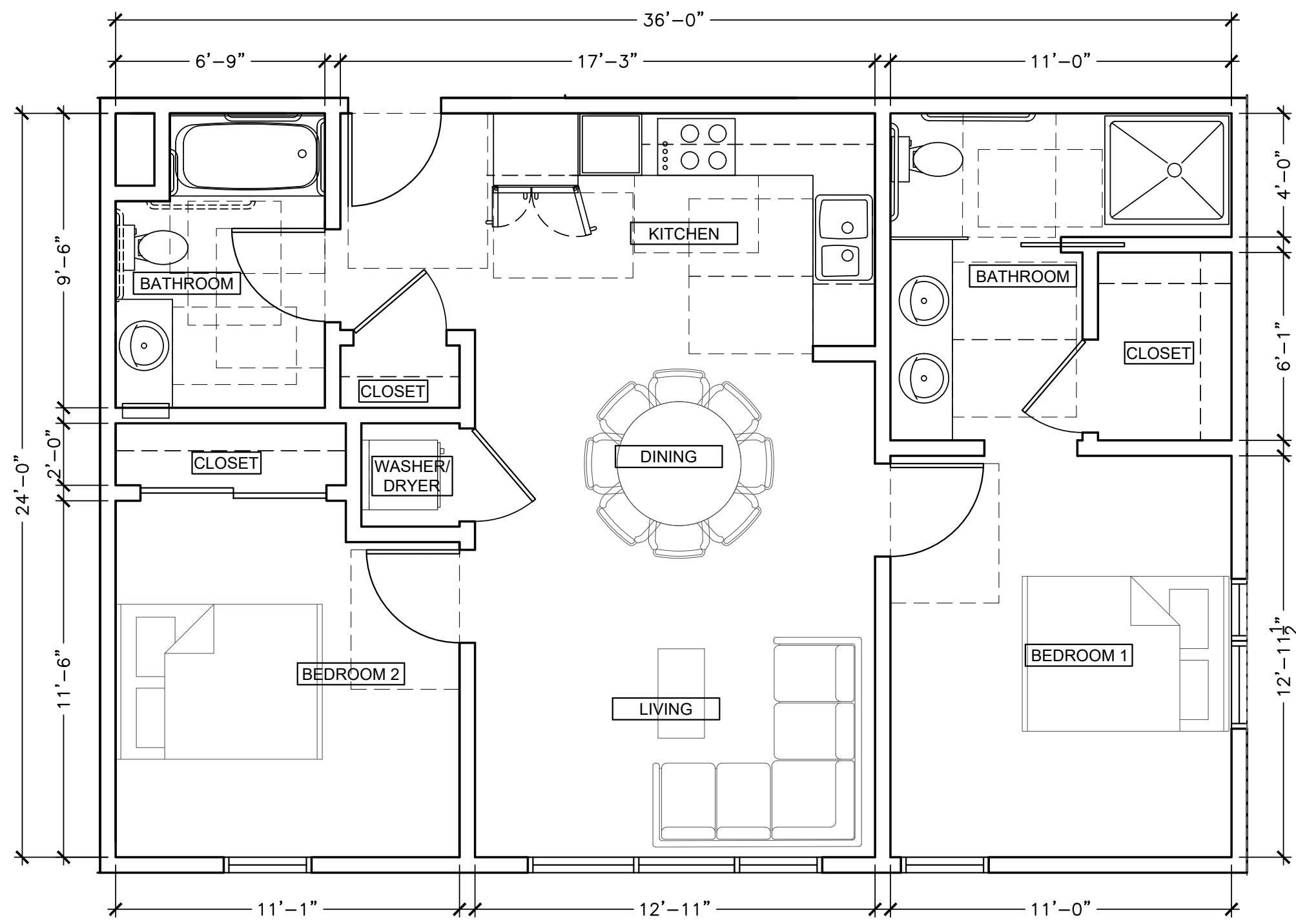
**ENLARGED  
 UNIT PLAN:  
 UNIT C1, C2  
 D & E1**

**A5.2**

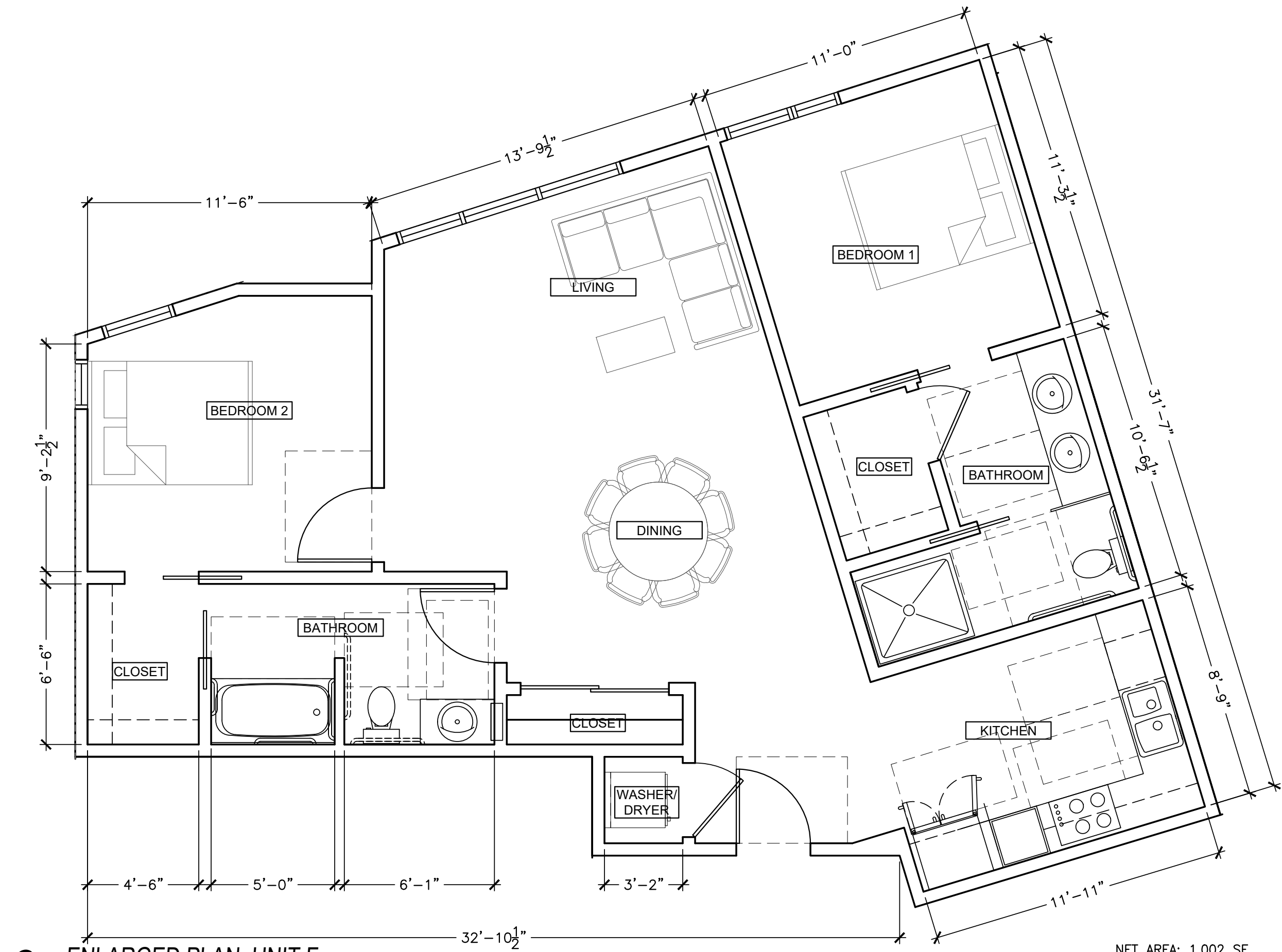




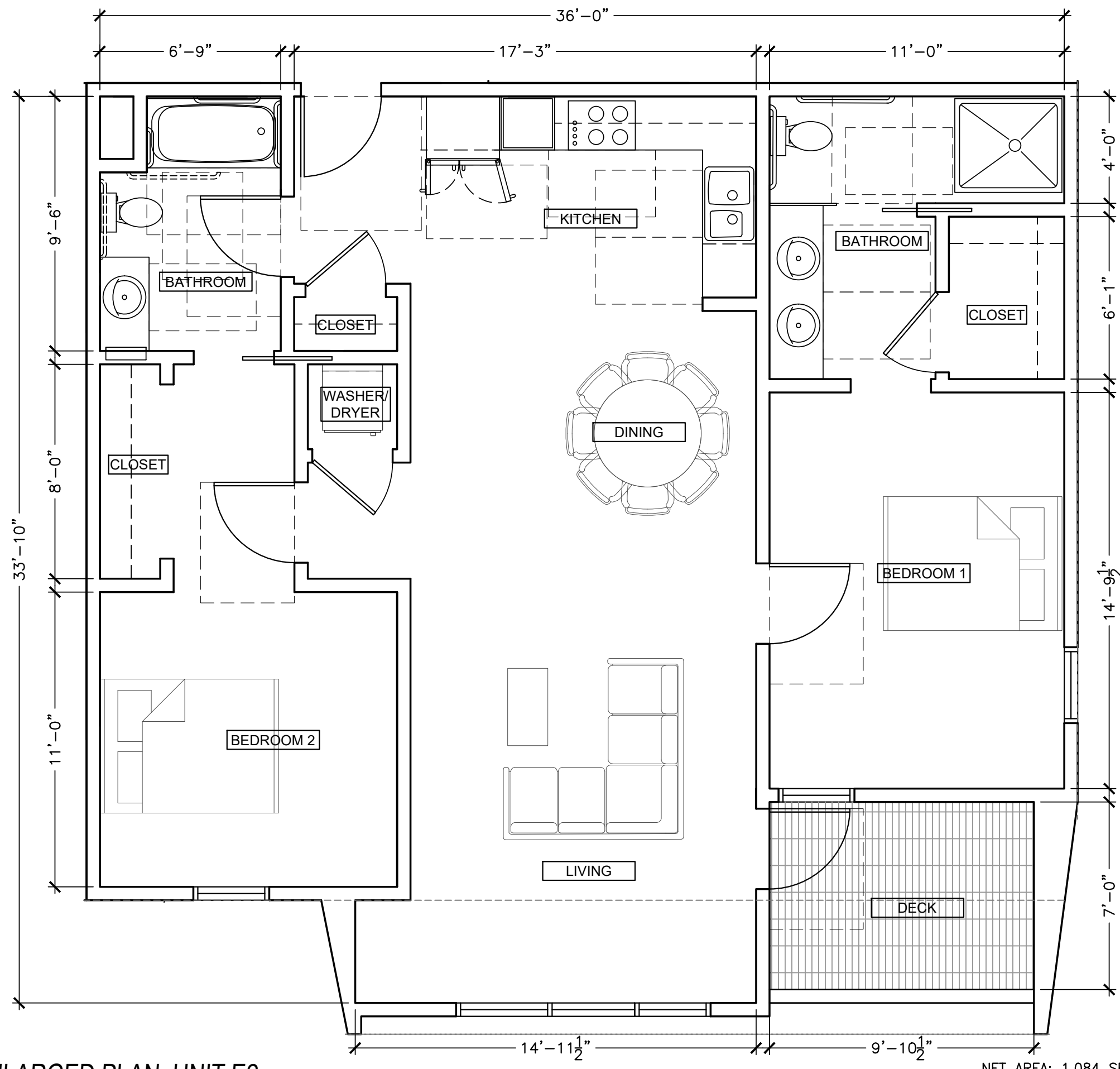
**4 ENLARGED PLAN: UNIT G**  
 1/4" = 1'-0" NET AREA: 1,090 SF + 66 SF (DECK)



**2 ENLARGED PLAN: UNIT E3**  
 1/4" = 1'-0" NET AREA: 864 SF



**3 ENLARGED PLAN: UNIT F**  
 1/4" = 1'-0" NET AREA: 1,002 SF



**1 ENLARGED PLAN: UNIT E2**  
 1/4" = 1'-0" NET AREA: 1,084 SF + 89 SF (DECK)

GENERAL NOTES

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
5. ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1.; THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB, EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
6. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
7. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
8. CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
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11. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
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13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
14. PROVIDE FLOOR DRAINS; SLOPE 1"/FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
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SHEET NOTES

LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

DIMENSION NOTES

1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
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 BURLINGAME, CA



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 BURLINGAME, CA  
 PROJECT NO. 2019-11  
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CONTACT: TOBY LEVY

(415) 777-0561 P  
 (415) 777-5117 F

SCALE: AS NOTED

ENLARGED  
 UNIT PLAN:  
 UNIT E2, E3  
 F & G

A5.3

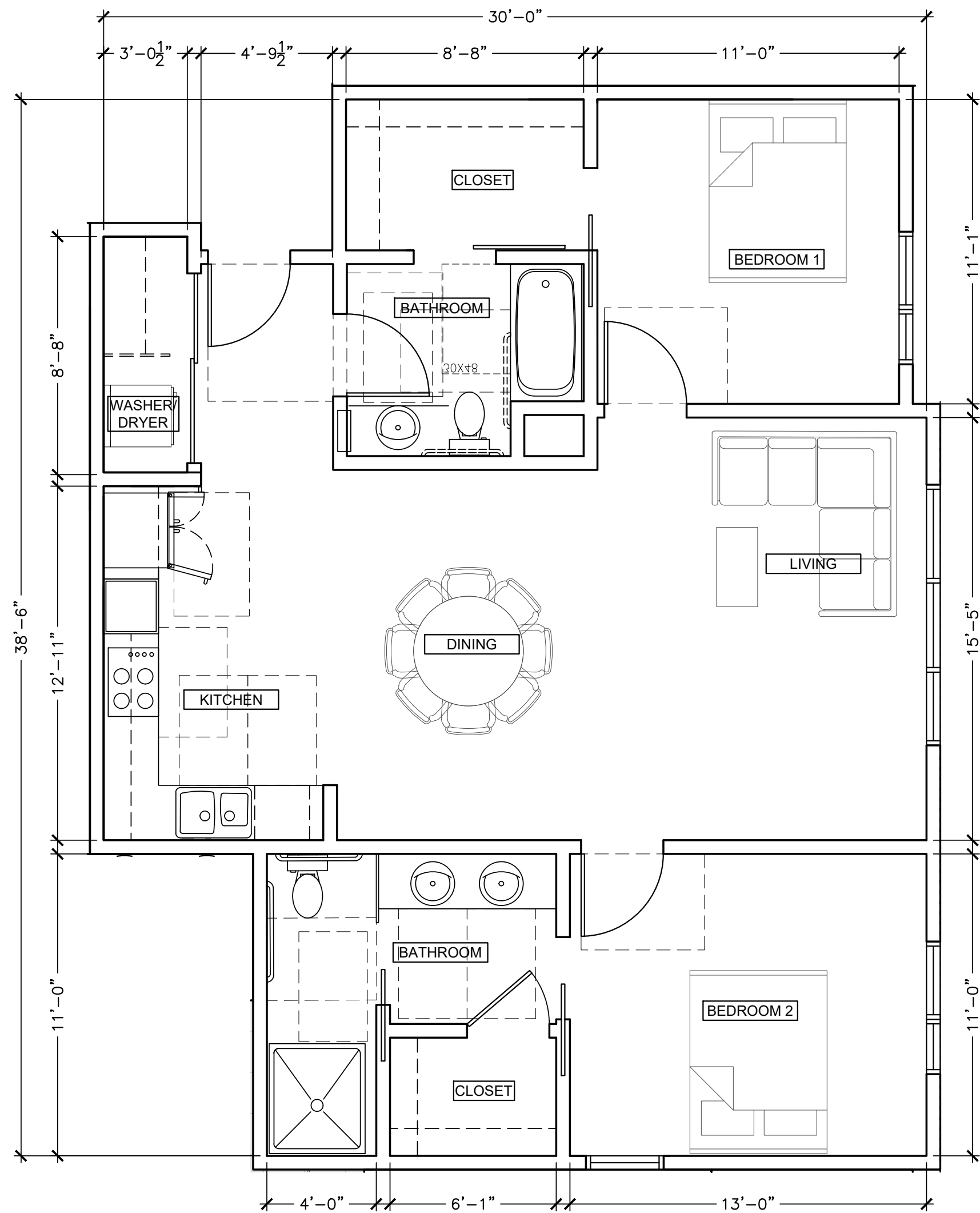


4

ENLARGED PLAN: UNIT L

1/4" = 1'-0"

NET AREA: 719 SF + 62 SF (DECK)



2

ENLARGED PLAN: UNIT J

1/4" = 1'-0"

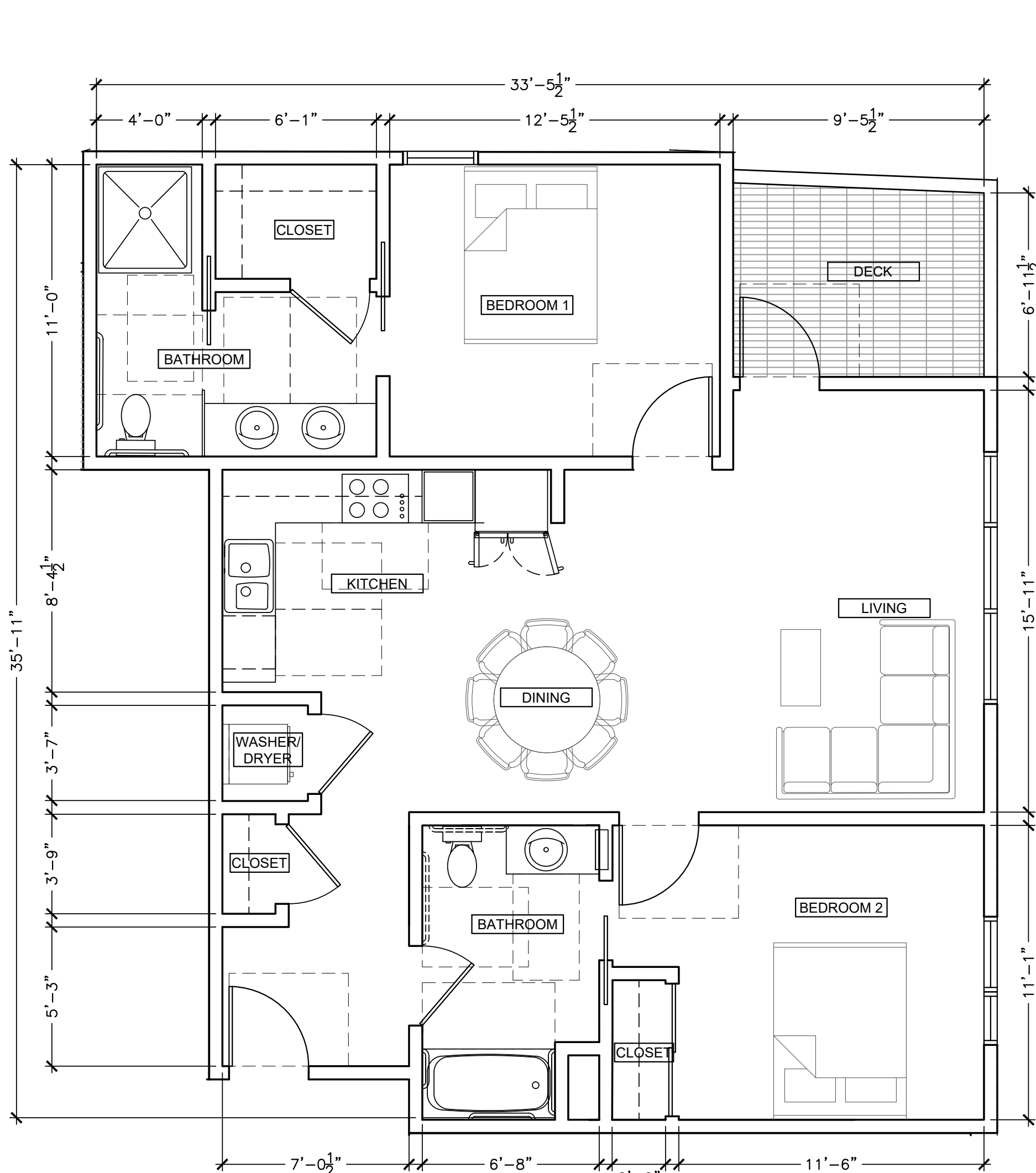
NET AREA: 1,024 SF

3

ENLARGED PLAN: UNIT K

1/4" = 1'-0"

NET AREA: 936 SF + 73 SF (DECK)

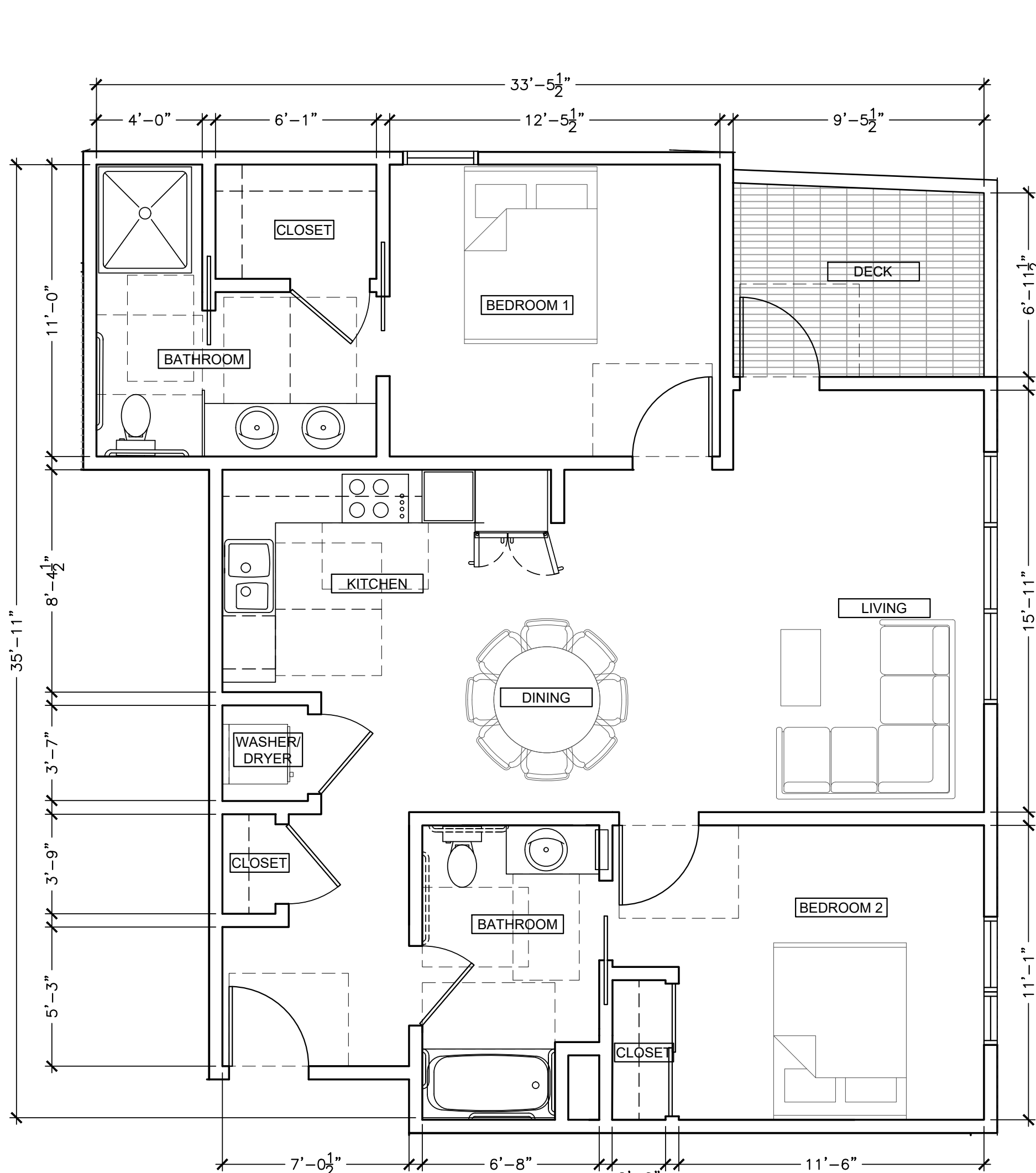


1

ENLARGED PLAN: UNIT H

1/4" = 1'-0"

NET AREA: 985 SF + 67 SF (DECK)



GENERAL NOTES

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
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7. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
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13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
14. PROVIDE FLOOR DRAINS; SLOPE 1/4"/FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
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SHEET NOTES

LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

DIMENSION NOTES

1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PROJECT NORTH

TRUE NORTH



NOTICE:  
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1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11  
DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION

CONTACT: TOBY LEVY

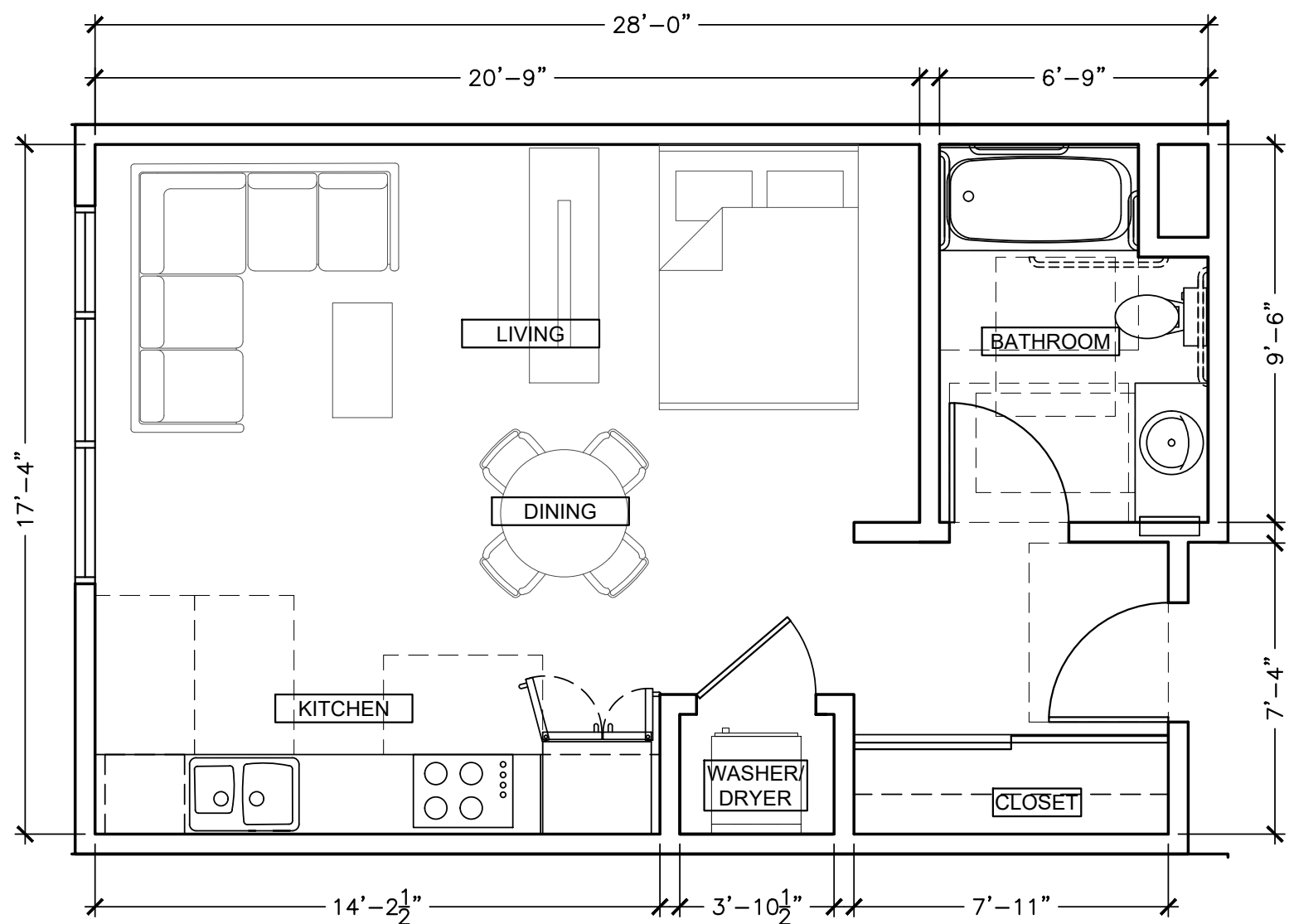
(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

ENLARGED  
UNIT PLAN:  
UNIT H, J,  
K & L

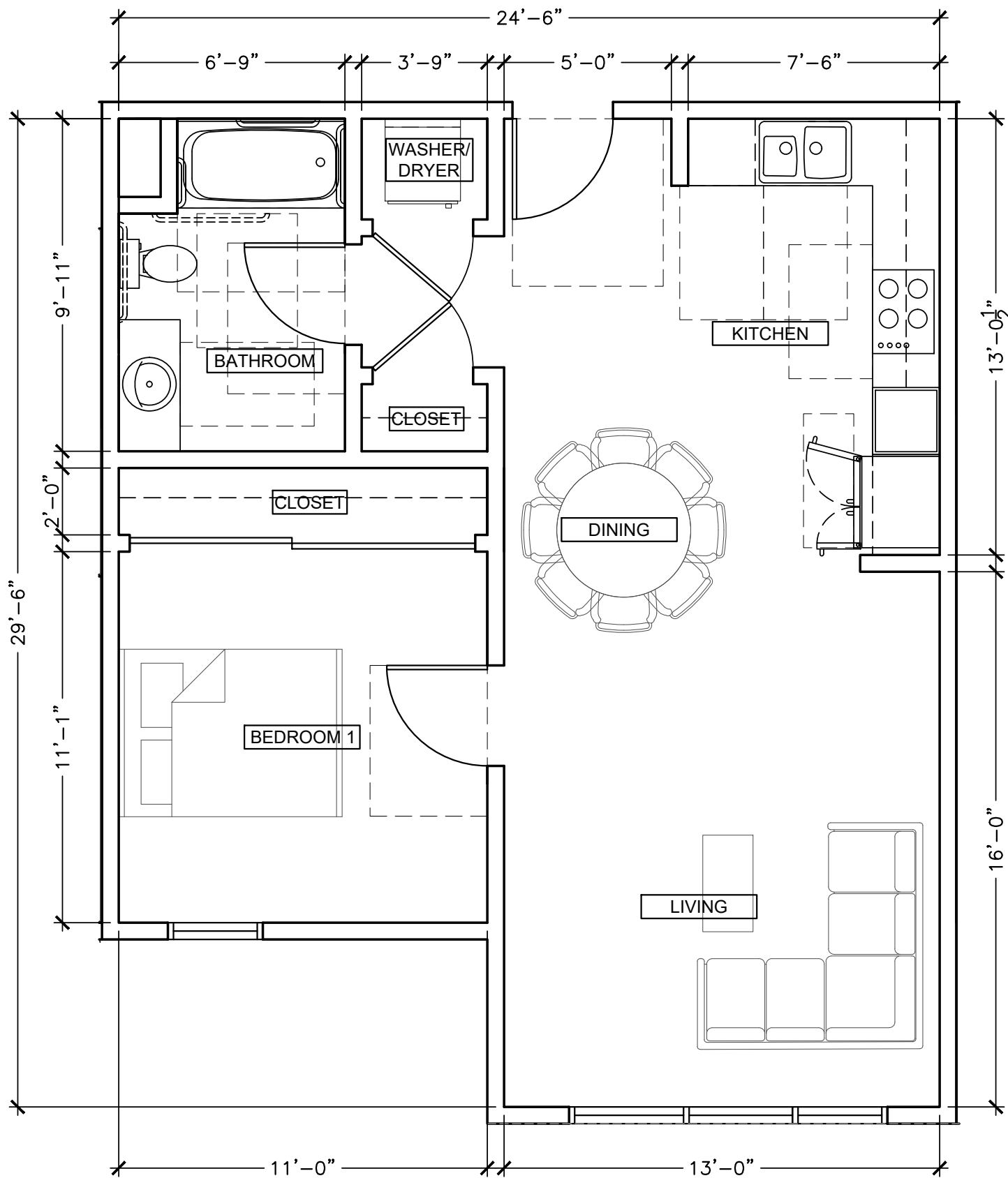
A5.4





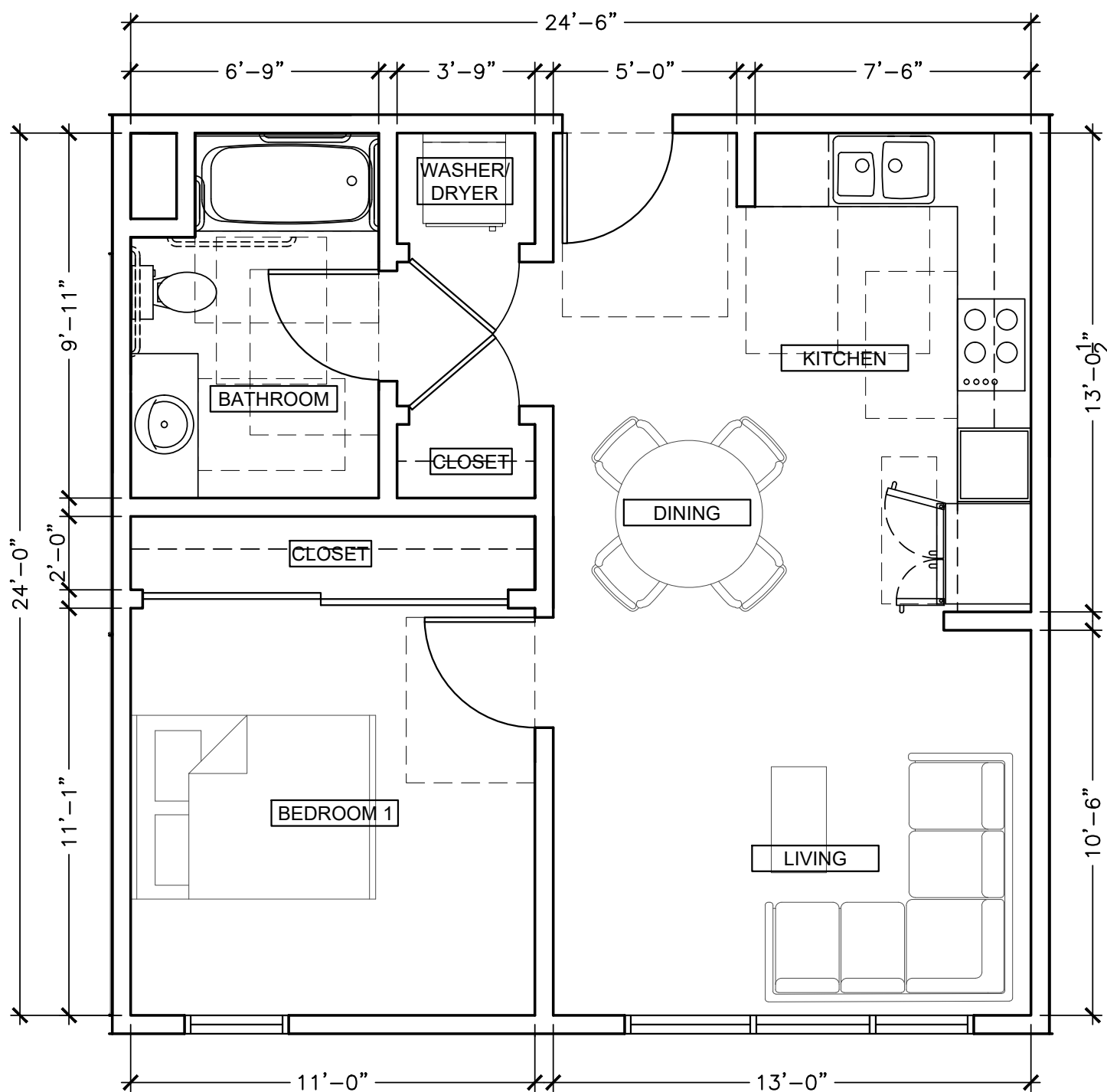
4 ENLARGED PLAN: UNIT N1  
1/4" = 1'-0"

NET AREA: 477 SF



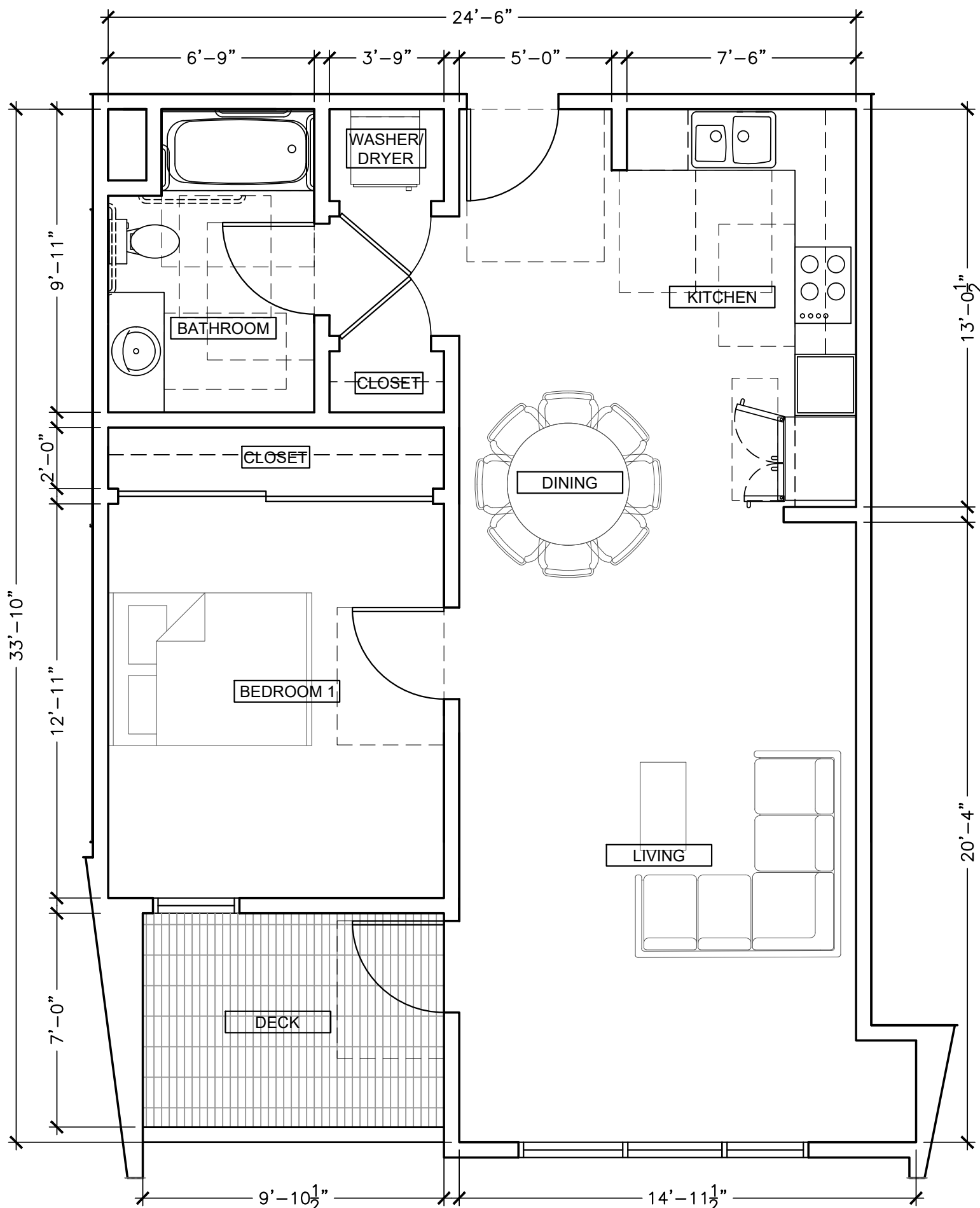
2 ENLARGED PLAN: UNIT M2  
1/4" = 1'-0"

NET AREA: 659 SF



3 ENLARGED PLAN: UNIT M3  
1/4" = 1'-0"

NET AREA: 587 SF



1 ENLARGED PLAN: UNIT M1  
1/4" = 1'-0"

NET AREA: 744 SF + 69 SF (DECK)

## GENERAL NOTES

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
2. SEE A0 SERIES FOR ADDITIONAL CLEARANCES & DETAIL NOT SHOWN
3. SEE A3 SERIES FOR LOCATION OF EXTERIOR WALL FINISH TRANSITIONS
4. SEE A5 SERIES FOR ENLARGED UNIT PLANS
5. ALL BATHROOMS WITHIN DWELLING UNITS ARE IN CONFORMANCE WITH CBC 1134A.2, OPTION #1.; THIS IS INCLUDES BUT NOT LIMITED TO THE FOLLOWING: EACH TUB CONTAINS AT LEAST 30" X 48" CLEAR MANEUVERING FLOOR SPACE MEASURED FROM DRAIN END OF THE TUB, EACH WATER CLOSET CONTAINS AT LEAST 48" IN CLEAR WIDTH AND EXTENDS AT LEAST 36".
6. PROVIDE 1 HOUR CONSTRUCTION WITH SOUND INSULATION BETWEEN RESIDENTIAL UNITS AND BETWEEN RESIDENTIAL UNITS AND PUBLIC AREAS (50 STC MIN.) PER 2016 CBC SECTION 1207.
7. ALL ROOF AREAS TO BE CLASS "B" PER 2016 CBC TABLE 1505.1.
8. CONTRACTOR TO PROVIDE SOLID & CONTINUOUS BACKING FOR ALL WALL, MTD, FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
9. EXHAUST SHAFTS SHALL COMPLY WITH 2016 CBC SECTION 713, PROTECTED BY APPROVED FIRE DAMPERS. S.M.D. FOR MORE INFORMATION.
10. ALL PENETRATIONS SHALL CONFORM PER 2016 CBC SECTION 714; SEE SHEET A11 SERIES FOR MORE INFORMATION
11. ALL HABITABLE ROOMS SHALL BE HEATED PER 2016 CBC 1204.1
12. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
14. PROVIDE FLOOR DRAINS; SLOPE 1/4" / FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
16. ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

## SHEET NOTES

## LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

## DIMENSION NOTES

1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

PROJECT NORTH

TRUE NORTH



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1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11

DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION

CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

ENLARGED  
UNIT PLAN:  
UNIT M1, M2,  
M3 & N1

A5.5



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1814-20 OGDEN DRIVE  
BURLINGAME, CA



1814-20 OGDEN DRIVE  
BLOCK/PARCEL/LOT:  
APN: 025121120  
025121110  
BURLINGAME, CA  
PROJECT NO. 2019-11  
DATE SET ISSUE  
08-07-2020 PLANNING SUBMISSION  
11-13-2020 REVISION

CONTACT: TOBY LEVY

(415) 777-0561 P  
(415) 777-5117 F

SCALE: AS NOTED

ENLARGED  
UNIT PLAN:  
UNIT N2, N3 & K'

A5.6

GENERAL NOTES

1. SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
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12. ALL UNITS TO HAVE UNIT ENTRY SIGNAGE
13. ALL UNIT INTERIOR DOORS SHALL COMPLY WITH CBC SECTION 1132A5.2
14. PROVIDE FLOOR DRAINS; SLOPE  $\frac{1}{4}$ "/FOOT.
15. PAINT ALL EXPOSED MECHANICAL, PLUMBING, ELECTRICAL AND FIRE LINES THROUGHOUT
16. ALL STRUCTURAL COLUMNS & POSTS, AND THEIR CONNECTION TO OTHER STRUCTURAL MEMBERS, ARE TO BE FIRE RATED. IF COLUMNS & POSTS ARE WITHIN WALLS, COLUMNS & POSTS TO BE INDIVIDUALLY ENCASED IN GYP. BD. IF COLUMN & POSTS ARE EXPOSED, COLUMNS & POSTS TO BE SPRAYED WITH INTUMESCENT PAINT.

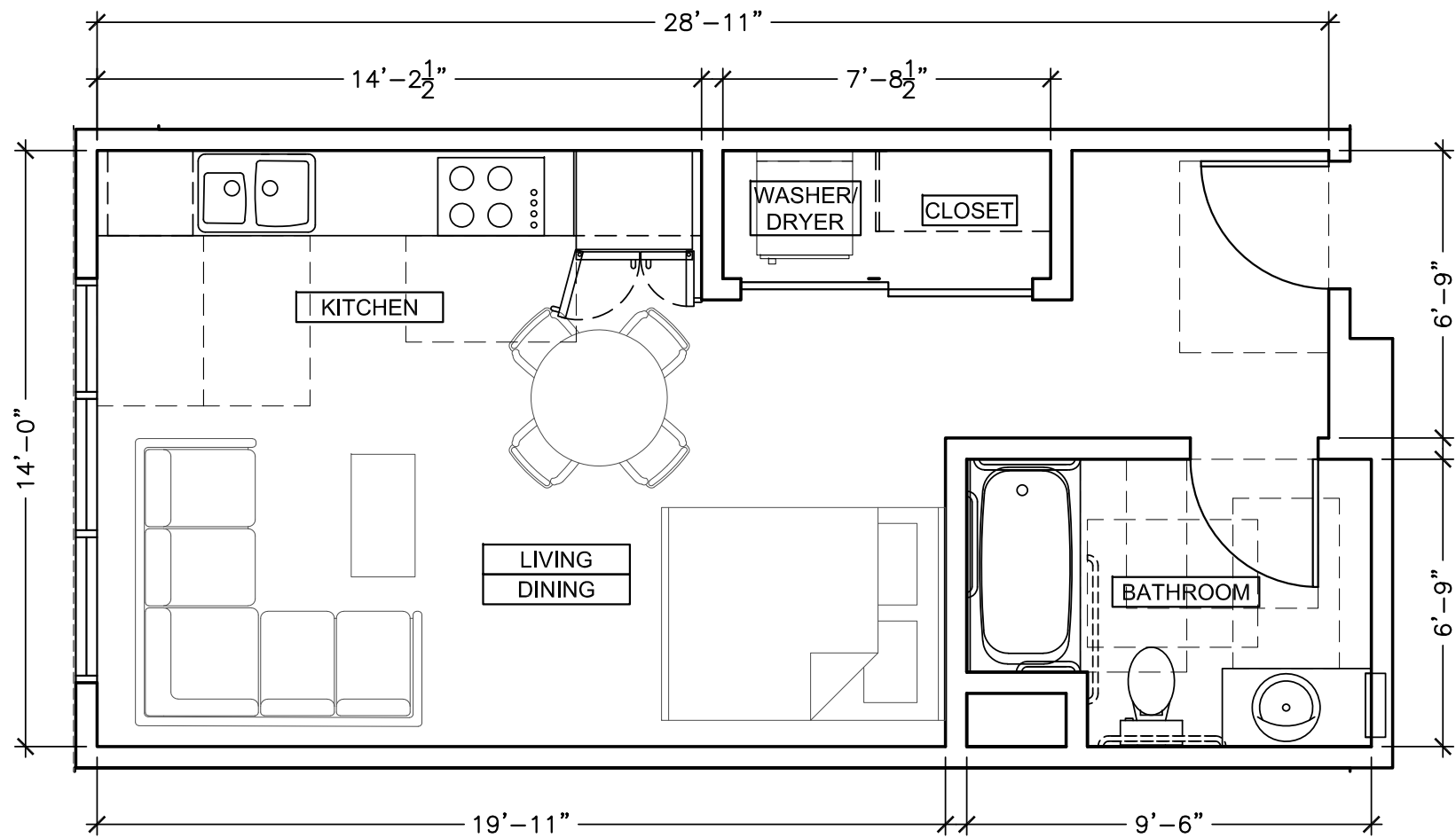
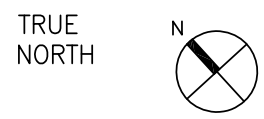
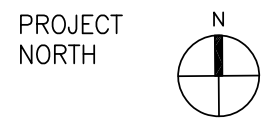
SHEET NOTES

LEGEND

- NON-OCCUPIABLE CLASS "B" ROOF; SEE A8 SERIES
- ROOF SLOPE
- PROPERTY LINE
- 1-HR. FIRE RATED WALL
- WALL ASSEMBLY, SEE A8 SERIES

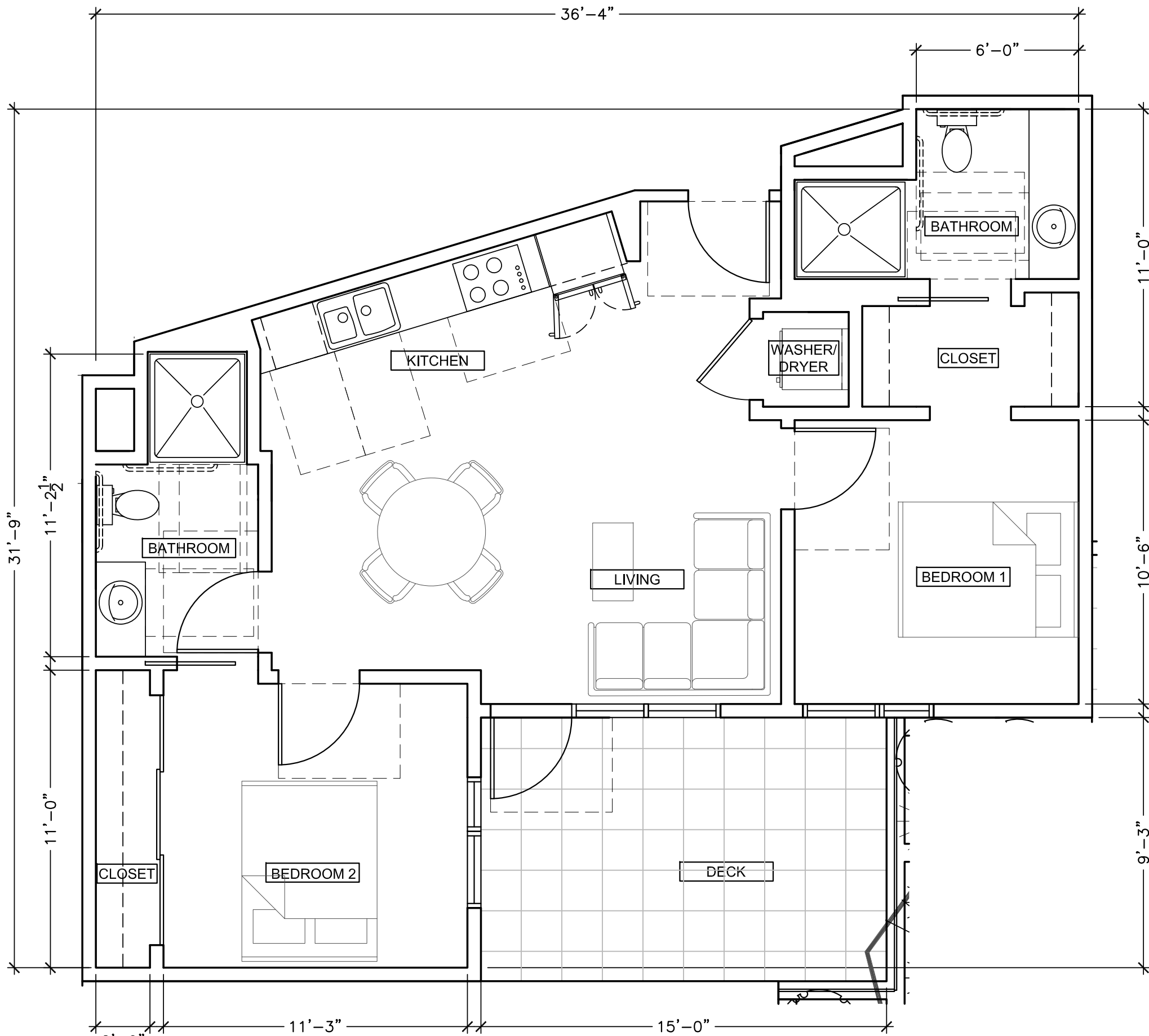
DIMENSION NOTES

1. WALL FRAMING: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
2. SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.



2 ENLARGED PLAN: UNIT N3  
1/4" = 1'-0"

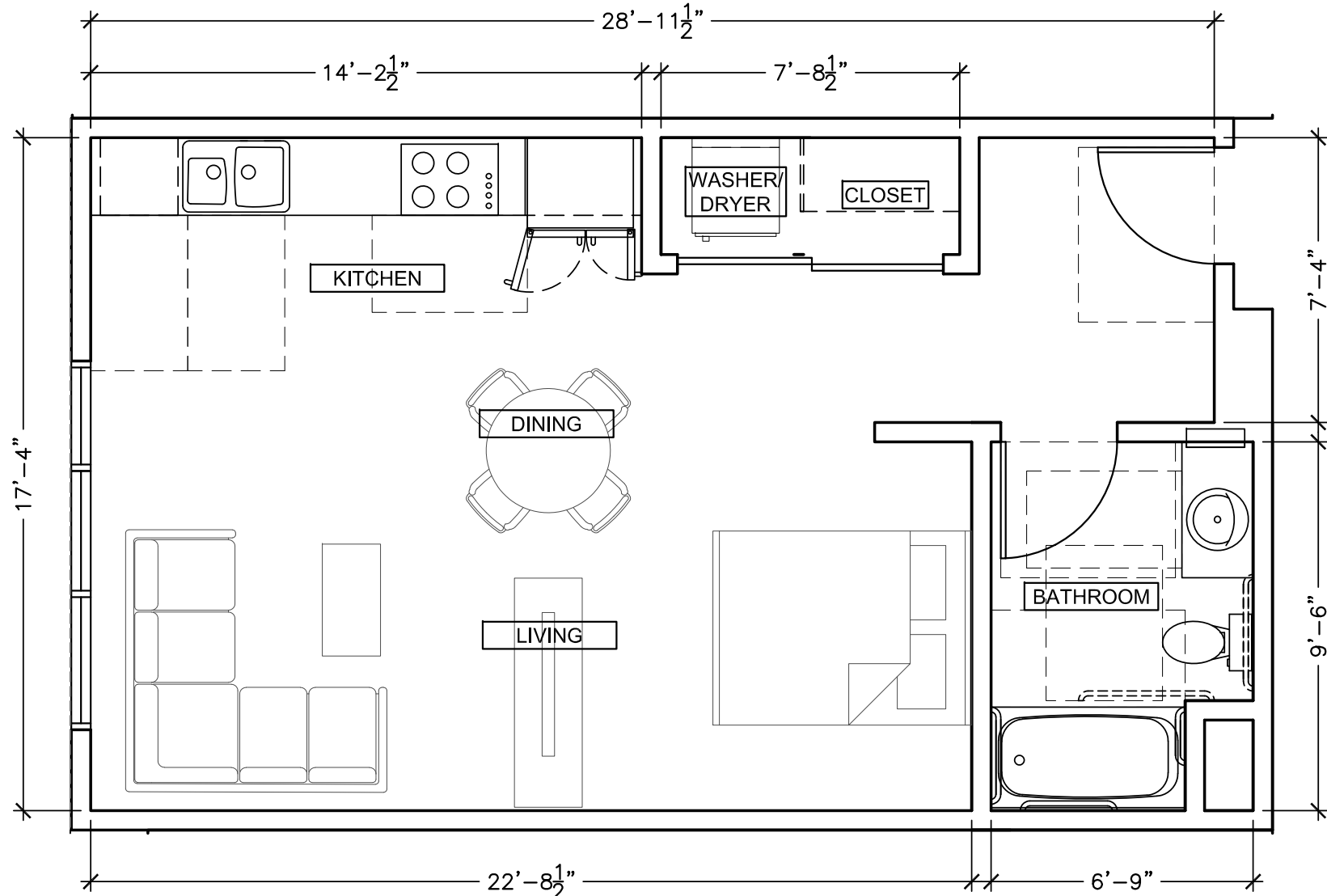
NET AREA: 411 SF



3 ENLARGED PLAN: UNIT K'  
1/4" = 1'-0"

NET AREA: 770 SF + 145 SF (DECK)

1 ENLARGED PLAN: UNIT N2  
1/4" = 1'-0"



NET AREA: 511 SF