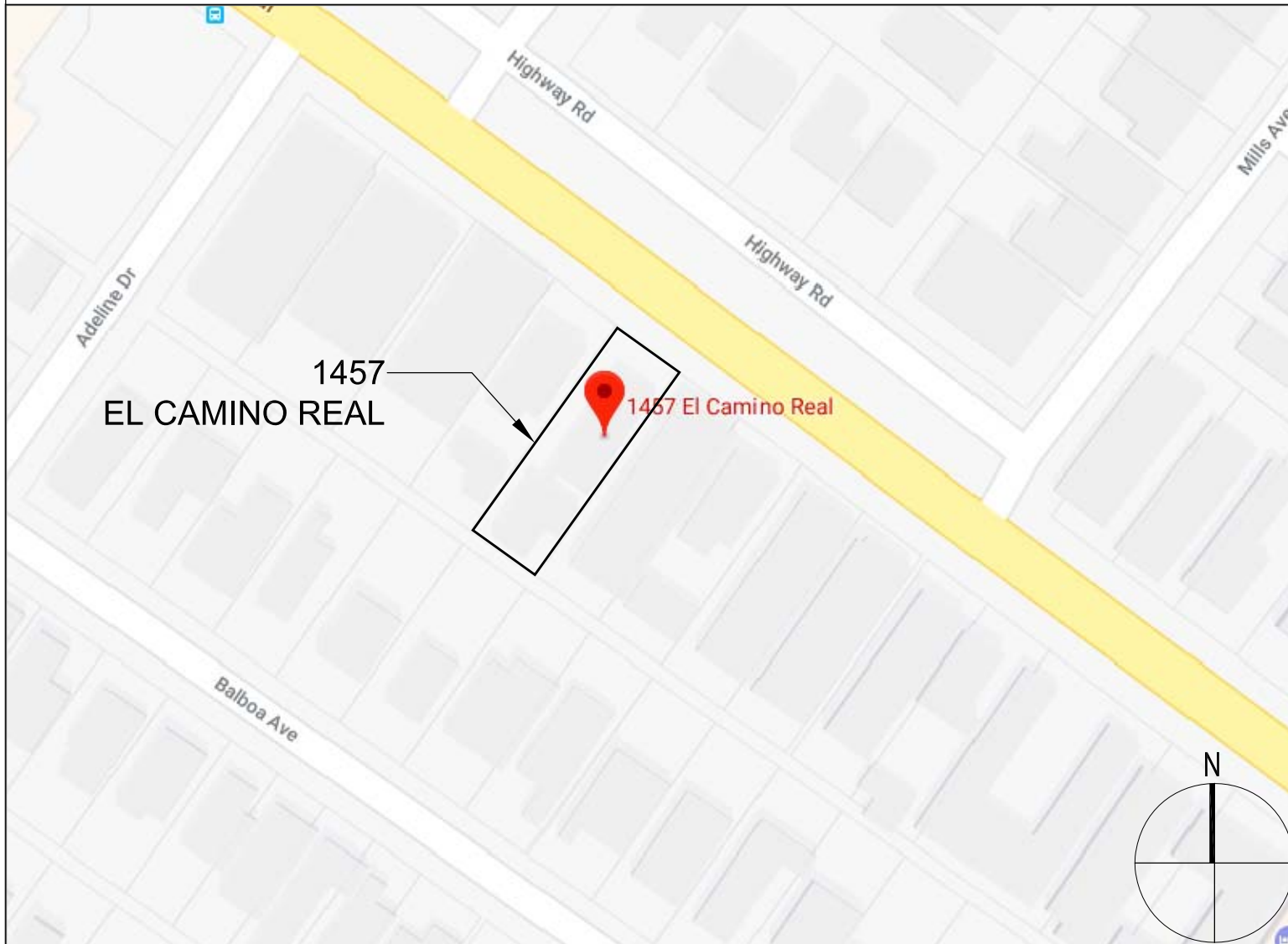


RESIDENTIAL CONDOMINIUM BUILDING
1457 EL CAMINO REAL, BURLINGAME, CALIFORNIA 94010

DRAWING LIST		OWNER & CONSULTANTS:		BUILDING & PLANNING DEPARTMENT NOTES:		GENERAL NOTES:	
A0.0	PROJECT INFORMATION	BUILDING OWNER:	RABIH S. BALLOUT & AMAL D. BALLOUT 361-367 BEACH ROAD BURLINGAME, CA 94010 PHONE: 650-208-3886 RABIH@OSCARTEK.COM	A.P.N:	026-013-050	1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CIRCUMSTANCES TO THE ARCHITECT PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF CONSTRUCTION.	
A0.1	PROJECT INFORMATION, CODE SUMMARY, & MANDATORY MEASURES	ARCHITECT:	TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET, SUITE 401 SAN FRANCISCO CA, 94107 PHONE: 415-431-0869 TK@TKWORKSHOP.COM	LOT SIZE:	8160 SF	2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES	
A0.2	STORMWATER & OUTDOOR WATER USE EFFICIENCY CHECKLISTS	STRUCTURAL ENGINEERING:	ABRAHAM ZAVALA AZ DESIGN AND ENGINEERING, INC. 255 REICHLING AVENUE PACIFICA, CA 94044 PHONE 650-553-4031 PHONE 650-553-4044	ZONING:	R-3	3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.	
A0.3	CONSTRUCTION BEST MANAGEMENT PRACTICES	LAND SURVEYOR/CIVIL ENGINEER:	MIKE MAHONEY PROFESSIONAL LAND SERVICES 901 SNEATH LAND SUITE 117 SAN BRUNO, CA 94066 PHONE: 650-244-9667 JGMAHONEY@PSSL-CORP.COM	USE:	MULTI-FAMILY DWELLING	4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.	
A1.0	EXISTING SITE PLAN	GEOTECHNICAL ENGINEER	GEO-ENGINEERING SOLUTIONS, INC. 2570 SAN RAMON VALLEY BLVD, SUITE #A102 SAN RAMON, CALIFORNIA 94583	OCCUPANCY:	R-2; 9 DWELLING UNITS, S-2 PARKING	5. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.	
A1.1	PROPOSED SITE PLAN			NUMBER OF STORIES/BASEMENTS:	4/1	6. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.	
A2.0	PROPOSED FLOOR PLANS			TYPE OF CONSTRUCTION:	V-A	7. PROVIDE FIRE-BLOCKING AND DRAFT STOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AS PER 2016 CBC 708, 717.2 AND 717.3. FIRE BLOCKING AND DRAFT STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS	
A2.1	PROPOSED FLOOR PLANS & EGRESS					A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.	
A2.2	PROPOSED FLOOR PLANS & EGRESS					B) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.	
A3.0	PROPOSED ELEVATIONS					C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.	
A3.1	BUILDING SECTIONS					8. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH 2016 CBC SECTION 719.	
A4.0	ENLARGED UNIT PLANS					9. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.	
A4.1	ENLARGED UNIT PLANS					10. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.	
A4.2	ENLARGED UNIT PLANS					11. PROVIDE ALL LIGHTS, GUARDRAILS, BARRICADES, SIGNS AND PROTECTIVE MEASURES AS MAY BE REQUIRED BY THE OWNER, LOCAL AUTHORITIES, OR OTHERS HAVING JURISDICTION.	
A4.3	ENLARGED UNIT PLANS					12. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.	
A4.4	ENLARGED UNIT PLANS					13. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.	
C1	TITLE SHEET					14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS. PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.	
C2	EXISTING BOUNDARY & TOPOGRAPHY					15. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT. CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.	
C3	PROPOSED LOT CONFIGURATION					16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES	
C4	GRADING, DRAINAGE, & UTILITIES					17. ALL CHANGES IN FLOOR MATERIALS OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED.	
C5	STORMWATER MANAGEMENT PLAN					18. WINDOW SIZES ON DRAWINGS ARE NOMINAL, REFER TO MANUFACTURES FOR ACTUAL ROUGH OPENING DIMENSIONS.	
L1.0	LANDSCAPE PLAN					19. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS	
L2.0	WELO REGULATIONS & PRESCRIPTIVE COMPLIANCE					20. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.	
						21. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC SECTION 2406.3.	
						22. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.	
						23. PER 1009.6.3 ENCLOSURES UNDER STAIRWAYS, THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION OR THE FIRE-RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIR ENCLOSURE. EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD. THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS UNLESS THE SPACE IS COMPLETELY ENCLOSED IN 1-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION. THE OPEN SPACE UNDER EXTERIOR STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.	
APPLICABLE REGULATIONS & STANDARDS		CONSTRUCTION HOURS:		PLANNING DATA:		LOCATION PLAN	
<ul style="list-style-type: none">2016 CALIFORNIA BUILDING CODE2016 CALIFORNIA MECHANICAL CODE2016 CALIFORNIA PLUMBING CODE2016 CALIFORNIA ELECTRICAL CODEINCLUDING ALL AMENDMENTS IN BURLINGAME ORDINANCE NO. 1889.2016 CALIFORNIA FIRE CODE.2016 ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONSLIFE SAFETY CODE, 2016 EDITION, NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODENFPA 13R, 2016 EDITION, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS IN LOW-RISE RESIDENTIAL OCCUPANCIES.APPLICABLE STANDARDS:UL-UNDERWRITERS LABORATORIES FIRE RESISTIVE DIRECTORY-2016 EDITIONUL-UNDERWRITERS LABORATORIES BUILDING MATERIALS DIRECTORY-2016 EDITIONSMACNA - FIRE SMOKE AND RADIATION DAMPER INSTALLATION GUIDE FOR HVAC SYSTEMS, 5TH EDITION		WEEKDAYS: 8AM - 7PM SATURDAYS: 9AM - 6PM SUNDAYS AND HOLIDAYS: NO WORK ALLOWED (SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS.) CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8AM AND 5PM		FLOOR AREA RATIO / DENSITY:			
SCOPE OF WORK THIS PROJECT:		SHORING REQUIREMENTS:				APPROVAL	
<ul style="list-style-type: none">CONSTRUCTION OF NEW RESIDENTIAL APARTMENT BUILDING WITH 9 DWELLING UNITS.PROVIDE AT GRADE AND BELOW GRADE PARKING.NOTE: ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.		AT THE TIME OF BUILDING PERMIT APPLICATION, PLANS & ENGINEERING WILL BE SUBMITTED FOR SHORING AS REQUIRED BY 2016 CBC, CHAPTER 31 REGARDING THE PROTECTION OF ADJACENT PROPERTY AND AS REQUIRED BY OSHA. <ul style="list-style-type: none">THE WALLS OF THE PROPOSED BASEMENT SHALL BE PROPERLY SHORED, PRIOR TO CONSTRUCTION ACTIVITY. THIS EXCAVATION MAY NEED TEMPORARY SHORING. A COMPETENT CONTRACTOR SHALL BE CONSULTED FOR RECOMMENDATIONS AND DESIGN OF SHORING SCHEME FOR THE EXCAVATION. THE RECOMMENDED DESIGN TYPE OF SHORING SHALL BE APPROVED BY THE ENGINEER OF RECORD OR SOILS ENGINEER PRIOR TO USAGE.ALL APPROPRIATE GUIDELINES OF OSHA SHALL BE INCORPORATION INTO THE SHORING DESIGN BY THE CONTRACTOR. WHERE SPACE PERMITS, TEMPORARY CONSTRUCTION SLOPES MAY BE UTILIZED IN LIEU OF SHORING. MAXIMUM ALLOWABLE VERTICAL CUT FOR THE SUBJECT PROJECT WILL BE FIVE (5) FEET. BEYOND THAT HORIZONTAL BENCHES OF 5 FEET WIDE WILL BE REQUIRED. TEMPORARY SHORES SHALL NOT EXCEED 1 TO 1 (HORIZONTAL TO VERTICAL). IN SOME AREAS DUE TO HIGH MOISTURE CONTENT / WATER TABLE, FLATTER SLOPES WILL BE REQUIRED WHICH WILL BE RECOMMENDED BY THE SOILS ENGINEER IN THE FIELD.IF SHORING IS REQUIRED, SPECIFY ON THE PLANS THE LICENSED DESIGN PROFESSIONAL THAT HAS SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THE BUILDING.SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF, AND WALL SHEATHING HAVE BEEN ENTIRELY CONSTRUCTED.SHORING PLANS SHALL BE WET-STAMPED AND SIGNED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION. IF APPLICABLE, INCLUDE SURCHARGE LOADS FROM ADJACENT STRUCTURES THAT ARE WITHIN THE ZONE OF INFLUENCE (45 DEGREE WEDGE UP THE SLOPE FROM THE BASE OF THE RETAINING WALL) AND / OR DRIVEWAY SURCHARGE LOADS.		HEIGHT LIMIT:			
DEFERRED SUBMITTALS AND ADDITIONAL PERMITS:		OSHA REQUIREMENTS:				PROJECT INFORMATION	
<ul style="list-style-type: none">THE BUILDING WILL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM PER NFPA 13R STANDARDS. G.C. AND FIRE PROTECTION SUBCONTRACTOR WILL PROVIDE FIRE SPRINKLER AND ALARM SYSTEM SUBMITTAL FOR REVIEW UNDER SEPARATE PERMIT.DRAFT CC&RS FOR REVIEW BY CITY ATTORNEYSUPPLEMENTAL DEMOLITION PEMRIT APPLICATION FOR REMOVAL OF EXISTING STRUCTURES.NEW LANDSCAPE SHALL REQUIRE IRRIGATION PLAN AT TIME OF BUILDING PERMIT APPLICATION. TO MEET WATER CONSERVATION IN LANDSCAPE REGULATIONS (WELO)		AN OSHA PERMIT WILL BE OBTAINED PER CAL / OSHA REQUIREMENTS. SEE THE CAL / OSHA HANDBOOK AT: http://www.ca-oshsa.com/pdjpubs/oshsa_userguide.pdf *CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.		LOT COVERAGE:			
				SETBACKS:			
				REQUIRED:		FRONT SETBACK: 20'-0" SIDE SETBACKS: VARIES FROM 5'-0" TO 7'-0" REAR SETBACK: 20'-0"	
				PROPOSED:		SIDE SETBACKS VARY FROM 7'-0" ON WEST SIDE TO 9'-9" ON EAST SIDE, SEE ARCHITECTURAL PLANS & ELEVATIONS REAR SETBACK: 20'-0" (ALL MEET MIN. REQUIREMENTS)	
				LANDSCAPING:			
				REQUIRED:		MIN. 50% OF FRONT SETBACK AREA PER BURLINGAME MUNICIPAL CODE 26.30.070(e)(1) (NO MORE THAN 40% PAVED/IMPERVIOUS SURFACE PER BURLINGAME MUNICIPAL CODE 25.28.100). 1 TREE PER EVERY 2000 SF OF LIVING SPACE.	
				PROPOSED:		41% OF FRONT SETBACK (316 SQFT OF 775 SQFT). 6 TREES (9604 SF LIVING = 5 TREES REQUIRED)	
				OPEN SPACE (PRIVATE):			
				REQUIRED:		75 SQFT PER UNIT PRIVATE OPEN SPACE -MIN. DIMENSION 10'-0" PER SIDE ON FIRST FLOOR -MIN. DIMENSION OF 3'-6" PER SIDE ON OTHER FLOORS	
				PROPOSED:		EACH UNIT PROVIDED WITH 75+ SQFT OF PRIVATE DECKS OR BALCONY TO MEET REQUIREMENTS STATED ABOVE; SEE PLANS ON A2.1 & A2.2	
				OPEN SPACE (COMMON):			
				REQUIRED:		100 SQFT PER UNIT COMMON SPACE = 900 SQFT TOTAL MAX. 50% OF REQUIRED COMMON OPEN SPACE MAY BE PAVED- -MIN. DIMENSION OF 15'-0" PER SIDE	
				PROPOSED:		905 SQFT AT FIRST FLOOR REAR YARD -APPROX. 23% OF AREA TO BE PAVED (SEE A2.0)	
				PARKING (RESIDENT):			
				REQUIRED:		17 SPACES (2 SPACES PER 2 BEDROOM UNIT, 1.5 SPACES PER 1 BEDROOM UNIT)	
				PROPOSED:		17 SPACES (INCLUDES 1 ACCESSIBLE SPACE)	
				PARKING (GUEST):			
				REQUIRED:		2 SPACES (2 SPACES FOR BUILDINGS WITH 5-15 UNITS)	
				PROPOSED:		2 SPACES AT GROUND FLOOR (INCLUDES 1 ACCESSIBLE SPACE)	
				SERVICE / DELIVERY:			
				REQUIRED:		1 SPACE	
				PROPOSED:		1 SPACE AT GROUND FLOOR	

TROY KASHANIPOUR ARCHITECTURE2325 3RD STREET SUITE 401, SF CA 94107

1457 EL CAMINO REAL

OWNER:
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ISSUE: DATE:
ISSUED FOR PLANNING REVIEW 07.13.2018
PLANNING COMMENTS 11.16.2018
PLANNING COMMENTS 12.20.2018
PLANNING COMMENTS 05.24.2019
PLANNING COMMENTS 01.15.2020

CONSULTANT

APPROVAL

DRAWN:
TK
CHECKED:
TK
SCALE:
NONE

PROJECT INFORMATION

A0.0

RESIDENTIAL CONDOMINIUM BUILDING
1457 EL CAMINO REAL, BURLINGAME, CALIFORNIA 94010

ABBREVIATIONS:

A.C.	AIR CONDITIONING	FIN.	FINISH	PLAS.	PLASTER
A.C. TILE	ACQUSTIC TILE	FIXT.	FIXTURE	PLYWD.	PLYWOOD
ACCESS.	ACCESSIBLE	F.L.	FLOW LINE	POL.	POLISHED
ACoust.	ACQUSTICAL	FLASH.	FLASHING	PR.	PAIR
A.D.	AREA DRAIN	FLUOR.	FLUORESCENT	PRCST.	PRECAST
ADJ.	ADJACENT	F.O.	FACE OF	PT.	POINT
ADJUST.	ADJUSTABLE	F.O.C.	FACE OF CONCRETE	P.T.D.	PAPER TOWEL DISPENSER
A.E.S.	ABOVE EXISTING SLAB	F.O.F.	FACE OF FINISH	PTD.	PAINTED
A.E.S.S.	ARCHITECTURAL EXPOSED STRUCTURAL STEEL	F.O.S.	FACE OF STUDS	P.T.D./R.	PAPER TOWEL DISPENSER
A.F.F.	ABOVE FINISHED FLOOR	F.P.	FIRE PROOF	RECEPTACLE COMBINATION	
AGGR.	AGGREGATE	FFRFG	FIRE PROOFING	PTN.	PARTITION
AL .	ALUMINUM	F.R.	FIRE RETARDANT	P.T.R.	PAPER TOWEL RECEPTACLE
ALUM.	ALUMINUM	F.T.	FOOT/FEET	PU.	POLYURETHANE
APPROX.	APPROXIMATELY	FTG.	FOOTING	PY.	POLYCARBONATE
ARCH.	ARCHITECTURAL	F.S.	FULL SIZE	Q.T.	QUARRY TILE
ASB.	ASBESTOS	FURR.	FURRING	R.	RISER
ASPH.	ASPHALT	FUT.	FUTURE	RAD.	RADIUS
Ø	AT	G.A.	GALVE	RCP	REFLECTED CEILING PLAN
		GALV.	GALVANIZED	R.D.	ROOF DRAIN
BD.	BOARD	G.B.	GRAB BAR	RDOW.	REDWOOD
BITUM.	BITUMINOUS	G.C.	GENERAL CONTRACTOR	REF.	REFERENCE
BLDG.	BUILDING	G.H.	GARMENT HOOK	REFR.	REFRIGERATOR
BLK.	BLOCK	GL.	GLASS	REINF.	REINFORCED
BLK'G	BLOCKING	GND.	GROUND	REG.	REGISTER
BM.	BEAM	GR.	GRADE	REQ.	REQUIRED
B.O.	BOTTOM OF	GSM	GALVANIZED SHEET METAL	RESIL.	RESILIENT
BOT.	BOTTOM	G.W.B.	GYPNUM WALLBOARD	RET.	RETARDANT
		GYP.	GYPNUM	RGTR.	REGISTER (CASH)
CAB.	CABINET	GYPBD.	GYPNUM BOARD	RM.	ROOM
C.B.	CATCH BASIN			R.O.	ROUGH OPENING
CEM.	CEMENT	H.B.	HOSE BIBB	R.W.L.	RAIN WATER LEADER
CER.	CERAMIC	H.C.	HOLLOW CORE		
C.I.	CAST IRON	HD.	HAND	S.	SOUTH
C.L.	CENTER LINE	HDWD.	HARDWOOD	S.B.O.	SUPPLIED BY OWNER
CLG.	CEILING	H.M.	HOLLOW METAL	S.C.	SOLID CORE
CLKG.	CAULKING	HORIZ.	HORIZONTAL	S.C.D.	SEAT COVER DISPENSER
		HR.	HOUR	SCH.	SCHEDULE
		HT.	HEIGHT	SCHED.	SCHEDULE(0)
				S.D.	SOAP DISPENSER
CLO.	CLOSET	I.D.	INSIDE DIAMETER	SECT.	SECTION
CLR.	CLEAR	INSUL.	INSULATION	S.E.D.	SEE ELECTRICAL DRAWINGS
C.M.U.	CONCRETE MASONRY UNIT	INT.	INTERIOR	SH.	SHELF
CNTR.	COUNTER	JAN.	JANITOR	SHR.	SHOWER
CO.	TRANSLUCENT CORIAN	JT.	JOINT	SHT.	SHEET
COL.	COLUMN			SIM.	SIMILAR
COM.	COMPACT	KIT.	KITCHEN	S.M.D.	SEE MECHANICAL DRAWINGS
CONC.	CONCRETE			S.N.D.	SANITARY NAPKIN DISPENSER
CONN.	CONNECTION	L	ANGLE	S.N.R.	SANITARY NAPKIN
CONSTR.	CONSTRUCTION	LAM.	LAMINATE		RECEPTACLE
CONT.	CONTINUOUS	LAV.	LAVATORY	S.P.D.	SEE PLUMBING DRAWINGS
CORR.	CORRIDOR	LL	LANDLORD	SPEC.	SPECIFICATION
C.S.C.L	CONTRACTOR SUPPLIED CONTRACTOR INSTALLED	LK.R.	LOCKER	SPEC'D	SPECIFIED
C.T.	CERAMIC TILE	LT.	LIGHT	SO.	SQUARE
CTR.	CENTER	MANUF.	MANUFACTURER	S.S.D.	SEE STRUCTURAL DRAWINGS
CTSK.	COUNTERSUNK	MAX.	MAXIMUM	S.S.K.	SERVICE SINK
		M.C.	MEDICINE CABINET	SST.	STAINLESS STEEL
		MDF	MEDIUM DENSITY FIBERBOARD	ST.	STONE
		MECH.	MECHANICAL	STA.	STATION
		MEMB.	MEMBRANE	STD.	STANDARD
		MFR.	MANUFACTURER	STL.	STEEL
		MILL WK.	MILLWORK	STOR.	STORAGE
		M.H.	MANHOLE	STRUCT.	STRUCTURAL
		MIN.	MINIMUM	SUSP.	SUSPENDED
		MIR.	MIRROR	SYM.	SYMMETRICAL
		MISC.	MISCELLANEOUS	T.	TREAD
		M.O.	MASONRY OPENING	T.B.	TOWEL BAR
		MTL.	METAL	TC.	TOP OF CURB
		MTD.	MOUNTED	T.C.	TERRA COTTA
		MUL.	MULLION	TEMP.	TEMPERED
		MWC	MILLWORK CONTRACTOR	TER.	TERRAZZO
		N.	NORTH	THK.	THICK
		(N)	NEW	T.O.	TOP OF
		N.I.C.	NOT IN CONTRACT	T.O.C.	TOP OF CONCRETE
		NO.	NUMBER	T.O.P.	TOP OF PAVEMENT
		NOM.	NOMINAL	T.O.S.	TOP OF SLAB
		N.T.S.	NOT TO SCALE	T.S.	TUBE STEEL
		#	NUMBER	TYP.	TYPICAL
				UNEQ.	UNEQUAL
		O.A.	OVERALL	U.O.N.	UNLESS OTHERWISE NOTED
		OBS.	OBSCURE	UR.	URINAL
		O.C.	ON CENTER		
		O.D.	OUTSIDE DIAMETER	V.I.F.	VERIFY IN FIELD
		OFF.	OFFICE	VERT.	VERTICAL
		OPN'G	OPENING	VEST.	VESTIBULE
		OPP.	OPPOSITE		
		OPP. HD.	OPPOSITE HAND	W.	WEST
		O.S.C.I.	OWNER SUPPLIED CONTRACTOR INSTALLED	W/.	WITH
				W.C.	WATER CLOSET
				WD.	WOOD
		P.	PAINT	WDO.	WINDOW
		PC.	PRECAST CONCRETE	W/O	WITHOUT
		PCS.	PIECES	WP.	WALLPAPER
		PL.	PLATE	WT.	WEIGHT
		PLAM.	PLASTIC LAMINATE		

SYMBOLS

	CEILING MOUNTED FIXTURE
	WALL MOUNTED FIXTURE
	EXTERIOR OR WATERPROOF LIGHT FIXTURE
	WALL WASH LIGHT FIXTURE
	RECESSED CEILING MOUNTED FUXTURE
	FLORESCENT LIGHT FIXTURE
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	TELEPHONE
	INTERCOM
	DUPLEX OUTLET: 16" A.F.F.
	DUPLEX GFI OUTLET
	DUPLEX SWITCHED OUTLET
	DATA/TELEPHONE OUTLET
	DOUBLE DUPLEX, COUNTER HT
	DOUBLE DUPLEX OUTLET: 16" A.F.F.
	COUNTER HEIGHT DUPLEX OUTLET
	HALF SWITCHED DUPLEX OUTLET
	DIRECTIONAL EXIT SIGN
	FAN
	THERMOSTAT
	SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	DOOR TAG
	CEILING HEIGHT TAG
	ELEVATION
	FIXTURE TAG, P-PLUMBING, E-EQUIPMENT
	DRAWING REVISION TAG
	DETAIL KEY
	INTERIOR ELEVATION KEY
	SECTION/ELEVATION KEY

BUILDING CODE REQUIREMENTS AND PARTIAL SUMMARY

- CHAPTER 2: DEFINITIONS. BUILDING IS CONSIDERED "COVERED MULTIFAMILY DWELLINGS" FOR THE PURPOSE OF CBC CHAPTER 11A IN THAT BUILDING DOES CONTAIN AN ELEVATOR TO SERVICE DWELLING UNITS ON THE "GROUND FLOOR".
PER CHAPTER CBC 1104A.3, THE FIRST LEVEL ABOVE GRADE SHALL BE CONSIDERED THE GROUND FLOOR AND SERVED BY AN ACCESSIBLE ROUTE.
- CHAPTER 3&4: OCCUPANCY TYPE: R-2 (310.4), S-2 (ENCLOSED PARKING PER 406)
REQUIREMENTS FOR ENCLOSED PARKING PER 406.6: HEIGHT, VENTILATION, AUTOMATIC FIRE SPRINKLER SYSTEM PER 903.2.10.
- CHAPTER 5:
ALLOWABLE BUILDING HEIGHT PER TABLE 504.3: TYPE V-A= 50'
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4: R-2 OCCUPANCY, TYPE V-A: 4 STORIES WITH FIRE SPRINKER SYSTEM.
ALLOWABLE BUILDING AREA PER FLOOR PER TABLE 506.2: TYPE V-A, 12,000 SQUARE FEET PER FLOOR WITH FIRE SPRINKER SYSTEM
REQUIRED AREA SEPARATION BETWEEN R-2 AND S-2 (PARKING) PER TABLE 508.4 - 1 HOUR
- CHAPTER 6:
REQUIRED RATING OF STRUCTURAL ELEMENTS (EXCEPT INTERIOR PARTITIONS) PER TABLE 601: 1 HOUR
REQUIRED RATING OF EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE PER TABLE 602: 1 HOUR
- CHAPTER 7:
MAXIMUM AREA OF OPENINGS PER TABLE 705.8: 5'-10' FROM PROPERTY LINE ZONE= 25%, 10-15' FROM PROPERTY LINE ZONE=45%
PARAPETS, NOT REQUIRED IF USING 705.11 EXCEPTION 4, 5, OR 6.
WALLS SEPARATING DWELLING UNITS TO BE CONSTRUCTED AS FIRE PARTITIONS PER 708
- CHAPTER 8: INTERIOR FINISH: SEE TABLE 803.11 FOR RATINGS AT CORRIDORS AND OTHER LOCATIONS.
- CHAPTER 9: FIRE PROTECTION SYSTEMS
SPRINKLERS REQUIRED FOR R-2, NPFA-13R PER 903.3.1.2
SPRINKLERS REQUIRED PER 903.2.10 IN S-2 ENCLOSED GARAGES
CONFIRM REQUIREMENT OF FIRE ALARM SYSTEM PER 907.2.9
- CHAPTER 10: MEANS OF EGRESS
OCCUPANT LOAD FACTOR: 200, PER TABLE 1004.1.2 FOR R OCCUPANCIES, 200 FOR S-2 PARKING GARAGES.
EXIT FROM UNIT: ONE MEANS OF EGRESS IS PERMISSIBLE FROM DWELLING UNITS, WITH OCCUPANT LOAD >20 AND WITH SPRINKLER SYSTEM AND COMMON PATH >125', SEE 1006.2 AND 1006.3.2.5. EXIT ACCESS OUTSIDE OF UNIT ENTRY DOOR PROVIDES 2 INDEPENDENT MEANS.
EXITING FROM PARKING (S OCCUPANCY), 100' MAX AND 49 OCCUPANTS FOR 1 EXIT PER TABLE 1006.2. IF PROVIDED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.
2 EXITS ARE PROVIDED AT BASEMENT LEVEL THIS PROJECT FOR EXIT TRAVEL DISTANCE LESS THAN 100'
1021 EGRESS BALCONIES, MIN 10' FROM PROPERTY LINE. 2ND STORY EXIT MUST THEN BE AN INTERIOR RATED CORRIDOR.
FIRE RATED DOORS FROM CORRIDOR TO DWELLING UNITS.
EMERGENCY ESCAPE AND RESCUE OPENINGS PER 1030.
- CHAPTER 11A: HOUSING ACCESSIBILITY:
1102A.3.1 MULTISTORY APARTMENTS OR CONDOMINIUM DWELLINGS IN BUILDINGS WITH NO ELEVATOR, APPLIES TO UNITS ON THE "GROUND FLOOR. PER 1104A.2 UNITS ON THE FIRST FLOOR ABOVE GRADE SHALL BE CONSIDERED THE GROUND FLOOR.
THE PRIMARY ENTRY TO THE DWELLING UNITS SHALL BE ON AN ACCESSIBLE ROUT
AT LEAST ONE POWER ROOM OR BATHROOM SHALL BE LOCATED ON THE PRIMARY ENTYR LEVEL SERVED BY AN ACCESSIBLE ROUTE.
- CHAPTER 12: INTERIOR ENVIRONMENT: 1203 VENTILATION REQUIREMENTS, 1204 TEMPERATURE CONTROL, 1205 LIGHTING REQUIREMENTS, 1207 SOUND TRANSMISSION, 1208 INTERIOR SPACE DIMENSIONS, 1212 POLLUTANT CONTROL

Green Building Measure	Plan Sheet/Details
INTERIOR MOISTURE CONTROL (2016 CGC §4.505)	
A capillary break will be installed if a slab on grade foundation system is used. 2016 CGC §4.505.2	
Building materials with visible signs of water damage will not be installed. Wall and floor framing will not be enclosed when the framing members exceed 19% moisture content. Moisture content will be verified prior to finish material being applied. Replace wet insulation products, or allow to dry before enclosure. 2016 CGC §4.505.3	
INDOOR AIR QUALITY AND EXHAUST (2016 CGC §4.506)	
Exhaust fans that are ENERGY STAR compliant, ducted and that terminate outside the building will be provided in every bathroom (bathtub, shower, or shower/tub combo).2016 CGC §4.506.1	
Unless functioning as a component of a whole-house ventilation system, fans must be controlled by a humidity control. 2016 CGC §4.506.1	
ENVIRONMENTAL COMFORT (CGC §4.507)	
The heating and air-conditioning system will be sized, designed and have their equipment selected using the following methods: Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2011 or equal; Duct systems are sized according to ANSI/ACCA 1, Manual D-2014 or equivalent; Select heating and cooling equipment in accordance with ANSI/ACCA 3, Manual S-2014 or equivalent. 2016 CGC §4.507	
INSTALLER SPECIAL INSPECTOR QUALIFICATION (2016 CGC §702)	
HVAC system installers will be trained and certified in the proper installation of HVAC systems and equipment by a recognized training/certification program. 2016 CGC §702.1	
VERIFICATION (2016 CGC §703)	
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the Building Division that will show substantial conformance with the 2016 Code requirements. 2016 CGC §703.1	
Responsible Designer's Declaration Statement	Contractor's Declaration Statement
I hereby certify that this project has been designed to meet the requirements of the 2016 Green Building Code.	I hereby certify, as the builder or installer, under permit listed herein, that this project will be constructed to meet the requirements of the 2016 Green Building Code.
Name:	Name:
Address:	Address:
City/State/Zip Code	City/State/Zip Code
Signature:	Signature:
Date:	Date:



2016 CALIFORNIA GREEN BUILDING CODE
RESIDENTIAL CHECKLIST

New residential buildings must be designed to include the Green Building Mandatory Measures specified in this checklist. These Green Building Mandatory Measures also apply to additions or alterations of existing residential buildings which increase the building's conditioned area, volume, or size. These requirements apply only to the specific area of addition or alteration. 2016 CGC §301.1.1

Permit Number: _____ Project Address: 1457 EL CAMINO REAL

Specify the page which includes the Measure, and include specific details indicating where the measure is located on the page. Include exact code sections on plans.

Green Building Measure	Plan Sheet/Details
SITE DEVELOPMENT (2016 CGC §4.106)	
Projects that disturb less than one acre shall develop and implement a plan to manage storm water drainage DURING CONSTRUCTION. A BMP page is sufficient. 2016 CGC §4.106.2	SEE A.03
Plans shall indicate how Grading and Paving will prevent surface water flows from entering buildings. Exception: Projects that do not alter the drainage path. 2016 CGC §4.106.3	SEE A2.0
Electric Vehicle (EV) Charging, parking spaces: comply with all relevant sections. CGC §4.106.4	
ENERGY EFFICIENCY	
(2016 CGC and the 2016 California Building Energy Efficiency Standards)	
2016 Energy Code performance (T-24) compliance documentation must be provided in 8-1/2" X 11" format (two sets, file size) and must be replicated on the plans.	
Walls with 2 X 6 and larger framing require R-19 insulation. 2016 CEC §150.0 (c) 2	
Hot water piping insulation required: piping 3/4 inch or larger. 2016 CEC §150.0 (j) 2 A ii	
Lighting: all luminaires shall be high efficacy. Comply with all parts. 2016 CEC §150.0 (k)	
Duct insulation: minimum (R-6) required. 2016 CEC §150.0 (m) 1	
Duct leakage testing: 6% with air handler, 4% w/o air handler. 2016 CEC §150.0 (m) 11	
Return duct design/fan power, airflow testing, and grill sizing requirements §150.0(m)13	
Water heating: 120 volt receptacle < 3 ft., Cat III or IV vent, and gas supply line capacity of at least 200,000 Btu / hour. 2016 CEC §150.0 (n)	
Third-party HERS verification for ventilation and indoor air quality. 2016 CEC §150.0 (o)	
Maximum U-factor (0.58) for fenestration and skylights. 2016 CEC §150.0 (q)	
Classification of High & Low efficacy light sources. 2016 CEC Table 150.0-A	
Radiant barrier required in Climate Zone 3. (prescriptive) 2016 CEC §150.1 (c) 2	
Refrigerant charge verification not required, Climate Zone 3. 2016 CEC Table 150.0-A	Not required in climate zone 3
Maximum SHGC not specified in Climate Zone 3. 2016 CEC Table 150.0-A	
Whole house fan is not required, Climate Zone 3. 2016 CEC Table 150.0-A	

Green Building Measure	Plan Sheet/Details
INDOOR WATER USE (2016 CGC §4.3)	
The effective flush volume of water closets will not exceed 1.28 gal / flush. 2016 CGC §4.303.1.1	
The effective flush volume of urinals will not exceed 0.125 gal / flush. 2016 CGC §4.303.1.2	
Maximum flow rate for showers shall be 2.0 GPM, at 80 psi. 2016 CGC §4.303.1.3	
Maximum flow rate for lavatory faucets shall be 1.2 GPM, at 60 psi. 2016 CGC §4.303.1.4.1	
OUTDOOR WATER USE (2016 CGC §4.4)	
New residential developments with an aggregate landscape area of more than 499 square feet shall submit a Residential Outdoor Water Use Efficiency Checklist. 2016 CGC §4.304.1	
ENHANCED DURABILITY AND REDUCED MAINTENANCE (2016 CGC §4.406)	
Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls will be rodent-proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency. 2016 CGC §4.406.1	
CONSTRUCTION WASTE MANAGEMENT (2016 CGC §4.408)	
Recycle and/or salvage a minimum 65% of the non-hazardous construction and demolition waste. This is not applicable to soil and land clearing debris. 2016 CGC §4.408	
BUILDING MAINTENANCE AND OPERATION (2016 CGC §4.410)	
An operation and maintenance manual will be provided at final inspection. 2016 CGC §4.410.1	
For buildings with more than 4 multi-family units provide for recycling. 2016 CGC §4.410.2	
FIREPLACES (2016 CGC §4.503)	
Any installed gas fireplaces will be direct-vent, sealed-combustible type. 2016 CGC §4.503.1	
Any installed woodstove or pellet stove shall comply with U.S. EPA NSPS emission limits.	
POLLUTANT CONTROL (CGC §4.504)	
At the time of rough installation, during storage on the construction site, and until final startup of the HVAC equipment, all duct and other related air distribution components openings will be covered with tape, plastic, sheet metals, or other methods acceptable to the enforcing agency to reduce the amount of water, dust, or debris that may enter the system. 2016 CGC §4.504.1	
Adhesives, sealants, and caulks used on the project shall follow local and regional air pollution or air quality management district standards. 2016 CGC §4.504.2.1	
Paints and coatings will comply with VOC limits. 2016 CGC §4.504.2.2	
Aerosol paints and coatings will meet the Product-weighted MIR limits for ROC, and comply with percent VOC by weight of product limits, Regulation 8, Rule 49. 2016 CGC §4.504.2.3	
Documentation shall verify compliance for VOC finish materials. 2016 CGC §4.504.2.4	
Carpet systems will meet CALGREEN testing and product requirements. 2016 CGC §4.504.3	
Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring will comply with the California Green Building Code requirements. 2016 CGC §4.504.4	
Hardwood plywood, particleboard, and medium density fiberboard composite wood products shall comply with the low formaldehyde emission standards. 2016 CGC §4.504.5	

PROJECT INFORMATION,
CODE SUMMARY, &
MANDATORY MEASURES

A0.1

PRELIMINARY: TO BE REVISED AT TIME OF BUILDING PERMIT APPLICATION

SAN MATEO COUNTYwide
Water Pollution
Prevention Program

Stormwater Checklist for Small Projects

Municipal Regional Stormwater Permit (MRP)

INSERT CITY SPECIFIC INFO HERE
ADDRESS
PHONE
FAX
WWW (for those who allow download etc)

Complete this form for stand-alone single family home projects of any size that are not part of a larger project; or for projects in the following categories that create and/or replace less than 5,000 square feet of impervious surface: restaurants, retail gasoline outlets, auto service facilities¹ and parking lots (stand-alone or part of another use); or for any other type of project that creates and/or replaces less than 10,000 square feet of impervious surface.

A. Project Information

A.1 Project Name: _____ 1457 El Camino Real
A.2 Project Address: _____ 1457 El Camino Real, Burlingame, California 94010
A.3 Project APN: _____

B. Select Appropriate Site Design Measures

B.1 Does the project create and/or replace 2,500 square feet or more of impervious surface? ☒ Yes ☐ No

➤ If yes, and the project received final discretionary approval on or after December 1, 2012, the project must include at least one of the Site Design Measures listed below in section A through F². Fact sheets regarding site design measures A through F may be downloaded at www.fluvio.org/capra/reviewdevelopment.htm#rules

➤ If no, or the project received final discretionary approval before December 1, 2012, the project applicant shall be encouraged to implement appropriate site design measures³ from the list below, which may be required at municipal discretion. Consult with municipal staff about requirements for your project.

B.2 On the list below, indicate whether each site design measure is included in the project plans and the plan sheet number:

Yes	No	Plan Sheet No.	
<input type="checkbox"/>	<input checked="" type="checkbox"/>		a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
<input type="checkbox"/>	<input checked="" type="checkbox"/>		b. Direct roof runoff onto vegetated areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	L1.0	c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	L1.0	d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>		e. Construct sidewalks, walkways, and/or patios with permeable surfaces.
<input type="checkbox"/>	<input checked="" type="checkbox"/>		f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.
<input type="checkbox"/>	<input checked="" type="checkbox"/>		g. Minimize land disturbance and impervious surface (especially parking lots).
<input type="checkbox"/>	<input checked="" type="checkbox"/>		h. Maximize permeability by clustering development and preserving open space.
<input type="checkbox"/>	<input checked="" type="checkbox"/>		i. Use micro-detention, including distributed landscape-based detention.
<input type="checkbox"/>	<input checked="" type="checkbox"/>		j. Protect sensitive areas, including wetland and riparian areas, and minimize changes to the natural topography.
<input type="checkbox"/>	<input checked="" type="checkbox"/>		k. Self-sealing area (see Section 4.2 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		l. Self-retaining area (see Section 4.3 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input checked="" type="checkbox"/>		m. Plant or preserve interceptor trees (Section 4.1, C.3 Technical Guidance)

¹ See Standard Industrial Classification (SIC) codes [here](#).

² Complete the C.3/C.6 Development Review Checklist if the project is not an individual single family home, and it creates and/or replaces 10,000 square feet or more of impervious surface; or if it is a restaurant, retail gasoline outlet, auto service facility, or parking lot project that creates and/or replaces 5,000 square feet or more of impervious surface.

³ See MRP Provision C.3.i.

⁴ See MRP Provision C.3.A.i.(8).

1

1/1/16 v.2

Stormwater Checklist for Small Projects									
C. Select appropriate source controls (Encouraged for all projects; may be required at municipal discretion. Consult municipal staff ⁵ .)									
Are these features in project?		Features that require source control measures	Source control measures (Refer to Local Source Control List for detailed requirements)	Is source control measure included in project plans?					
Yes	No			Yes	No	Plan Sheet No.			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Storm Drain	* Mark on-site inlets with the words "No Dumping! Flows to Bay" or equivalent.	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Floor Drains	* Plumb interior floor drains to sanitary sewer (or prohibit).	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Parking garage	* Plumb interior parking garage floor drains to sanitary sewer. ⁶	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping	* Retain existing vegetation as practicable. * Select diverse species appropriate to the site. Include plants that are pest-and/or disease-resistant, drought-tolerant, and/or attract beneficial insects. * Minimize use of pesticides and quol-release fertilizers. * Use efficient irrigation system; design to minimize runoff.	<input type="checkbox"/>	<input checked="" type="checkbox"/>		L1.0		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pool/Spa/Fountain	* Provide connection to the sanitary sewer to facilitate draining. ⁵	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Food Service Equipment (non-residential)	Provide sink or other area for equipment cleaning, which is: * Connected to a grease interceptor prior to sanitary sewer discharge. ⁶ * Large enough for the largest mat or piece of equipment to be cleaned. * Indoors or in an outdoor roofed area designed to prevent stormwater run-on and run-off, and signed to require equipment washing in this area.	<input type="checkbox"/>	<input type="checkbox"/>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Refuse Areas	* Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff. * Connect any drains (in or beneath dumpsters, composters, and tallow bins) serving food service facilities to the sanitary sewer. ⁷	<input checked="" type="checkbox"/>	<input type="checkbox"/>		A2.0		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Process Activities ⁸	* Perform process activities either indoors or in roofed outdoor area, designed to prevent stormwater run-on and runoff, and to drain to the sanitary sewer. ⁸	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Equipment/Materials Storage	* Cover the area or design to avoid potential contact with stormwater runoff. * Locate area only on paved and contained areas. * Roof storage areas that will contain non-hazardous liquids, drain to sanitary sewer ⁸ , and contain by berms or similar.	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle Equipment Cleaning	* Roofed, pave and berm wash area to prevent stormwater run-on and runoff, slurry to the sanitary sewer ⁸ , and sign as a designated wash area. * Commercial car wash facilities shall discharge to the sanitary sewer. ⁸	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vehicle Equipment Repair and Maintenance	* Designate repair/maintenance area indoors, or an outdoors area designed to prevent stormwater run-on and runoff and provide secondary containment. Do not install drains in the secondary containment areas. * No floor drains unless pretreated prior to discharge to the sanitary sewer. ⁸ * Connect containers or sinks used for parts cleaning to the sanitary sewer. ⁸	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fuel Dispensing Areas	* Fueling area shall have impermeable surface that is a) minimally graded to prevent ponding and b) separated from the rest of the site by a grade break. * Canopy shall extend at least 10 ft. in each direction from each pump and drain away from fueling area.	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading Docks	* Cover and/or grade to minimize run-on to and runoff from the loading area. * Position downspouts to direct stormwater away from the loading area. * Drain water from loading dock area to the sanitary sewer. ⁸ * Install door skirts between the trailers and the building.	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire Sprinklers	* Design for discharge of fire sprinkler test water to landscape or sanitary sewer ⁸	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Miscellaneous Drain or Wash Water	* Drain condensate of all conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer. ⁸ * Roof drains shall drain to unpaved area where practicable. * Drain boiler drain lines, roof top equipment, all wastewater to sanitary sewer ⁸ .	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architectural Copper	* Drain line waste to landscaping, discharge to sanitary sewer ⁸ , or collect and dispose properly offsite. See flyer "Requirements for Architectural Copper."	<input type="checkbox"/>	<input checked="" type="checkbox"/>				

⁵ See MRP Provision C.3.a.(7).

⁶ Any connection to the sanitary sewer system is subject to sanitary district approval.

⁷ Businesses that may have outdoor process activities/equipment include machine shops, auto repair, industries with pretreatment facilities.

2

1/1/15 v.2

Stormwater Checklist for Small Projects

D. Implement construction Best Management Practices (BMPs) (Required for all projects.)

D.1 Is the site a "High Priority Site"? (Municipal staff will make this determination; if the answer is yes, the project will be referred to construction site inspection staff for monthly stormwater inspections during the wet season - October 1 through April 30.) (High Priority Sites require a grading permit, are "hillside projects" (defined starting 7/1/16 as disturbing >= 5,000 sq. ft. of land area and a slope based on municipal criteria or map or >=15%) are adjacent to a creek, or are otherwise high priority for stormwater protection during construction per MRP Provision C.8.e.ii(2).) Yes ☐ No ☒

D.2 All projects require appropriate stormwater BMPs during construction - indicate which BMPs are included in the project, below.

Yes	No	Best Management Practice (BMP)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Attach the San Mateo Countywide Water Pollution Prevention Program's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Temporary erosion control to stabilize all denuded areas until permanent erosion controls are established.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Delineate with field markers the following areas: clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees to be protected and retained, and drainage courses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide notes, specifications, or attachments describing the following: <ul style="list-style-type: none"> ▪ Construction, operation and maintenance of erosion and sediment control, include inspection frequency; ▪ Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material; ▪ Specifications for vegetative cover & mulch, include methods and schedules for planting and fertilization; ▪ Provisions for temporary and/or permanent irrigation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Perform clearing and earth moving activities only during dry weather.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Protect all storm drain intake in vicinity of site using sediment controls (e.g., bama, socka, fiber rolls, or filters).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, compost blankets or silt mats, covers for soil stock piles, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Protect adjacent properties and undeveloped areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Limit construction access routes and stabilize designated access points.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	No cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wastewater is contained and treated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contractor shall train and provide instruction to all employees/subcontractors re: construction BMPs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, (inse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.

Name of applicant completing the form: Troy Kashaniour

Signature: *Troy Kashaniour* Date: 10-21-2018

E. Comments (for municipal staff use only):

F. NOTES (for municipal staff use only):

Section A Notes: _____

Section B Notes: _____

Section C Notes: _____

Section D Notes: _____

OUTDOOR WATER USE EFFICIENCY CHECKLIST			
RESIDENTIAL OUTDOOR WATER USE EFFICIENCY CHECKLIST			
To Be Completed by Applicant		Page 1 of 1	
I certify that the subject project meets the specified requirements of the Water Conservation in Landscaping Ordinance.			
Signature <u>Yog Kashani</u>		Date <u>10-31-2018</u>	
Project Information			
<input type="checkbox"/> New Construction <input type="checkbox"/> Rehabilitated <input type="checkbox"/> Other: _____ <input type="checkbox"/> Single Family <input checked="" type="checkbox"/> Multi-Family <input type="checkbox"/> Commercial <input type="checkbox"/> Institutional <input type="checkbox"/> Irrigation only <input type="checkbox"/> Industrial <input type="checkbox"/> Other: _____			
Applicant Name (print): <u>TROY KASHANIPOUR</u>		Contact Phone #: <u>(415) 431-0869</u>	
Project Site Address: <u>1457 EL CAMINO REAL, BURLINGAME, CA 94010</u>		Agency Review	
Project Area (sq. ft. or acre): <u>8160 SF (LOT AREA) # of Units: 9 UNITS</u>		Total Landscape Area (sq. ft.): <u>781 SF</u> # of Meters: <u>10</u> (Pass) (Fail)	
For a single-family project, or a single-family development project, enter this information on an average, per unit basis. For all other projects, input an approximate value for the entire project.		<input type="checkbox"/> Turf Irrigated Area (sq. ft.): <u>0 SF</u> <input type="checkbox"/> Non-Turf Irrigated Area (sq. ft.): <u>0 SF</u> <input type="checkbox"/> Irrigated Special Landscape Area (SLA) (sq. ft.): <u>781 SF</u> <input type="checkbox"/> Water Feature Surface Area (sq. ft.): <u>0 SF</u>	
Landscape Parameter	Requirements	Project Compliance	
Plant Material	Low water using plants are installed for at least 75% of plant area	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Special Landscape Area and/or Recycled Water Area	<input type="checkbox"/> <input type="checkbox"/>
Turf	≤ 25% of the landscape area is turf There is no turf in parkways < 10 feet wide All turf is planted on slopes ≤ 25%	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Water Budget <input type="checkbox"/> Yes N/A; NO TURF <input type="checkbox"/> No, if adjacent to a parking strip <input type="checkbox"/> Yes N/A; NO TURF	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
Hydrozones	Plants are grouped by Hydrozones	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
Compost	At least 4 cubic yards per 1,000 sq ft to a depth of 6 inches	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No, See Soil Test	<input type="checkbox"/> <input type="checkbox"/>
Mulch	At least 3-inches of mulch on exposed soil surfaces	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
Irrigation System	Use of automatic irrigation controllers that use evapotranspiration or soil moisture sensor data and utilize a rain sensor	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Irrigation controllers do not lose programming data when power source is interrupted	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	irrigation system maintains pressure	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Manual shut-off valves are installed near the connection to the water supply	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	All sprinkler heads installed in the landscape		<input type="checkbox"/> <input type="checkbox"/>

[Agency Name, Address, Telephone#, Fax #]

OUTDOOR WATER USE EFFICIENCY CHECKLIST			
	must document a distribution uniformity low quarter of 0.65 or higher	<input checked="" type="checkbox"/> Yes	
	Areas < 10 feet shall be irrigated with subsurface irrigation	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, but there is no runoff or overspray	<input type="checkbox"/> <input type="checkbox"/>
Metering	Separate irrigation meter	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, not required if < 5,000 sq ft	<input type="checkbox"/> <input type="checkbox"/>
Swimming Pools / Spas	Cover required for new pools and spas	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No, no new pool or spa	<input type="checkbox"/> <input type="checkbox"/>
Water Features	Recirculating	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Project Information	<input type="checkbox"/> Yes	<input type="checkbox"/> <input type="checkbox"/>
	Water Efficient Landscape Worksheet (optional if ≤ 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
	Soil Management Report (optional if < 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
Documentation (per section 492.3)	Landscape Design Plan (optional if < 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
	Irrigation Design Plan (optional if < 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
	Grading Design Plan (optional if < 2,500 sq ft of landscape area)	<input type="checkbox"/> Prepared by professional	<input type="checkbox"/> <input type="checkbox"/>
Audit	Post-installation audit completed	<input type="checkbox"/> Completed by professional	<input type="checkbox"/> <input type="checkbox"/>

Auditor:

Materials Received and Reviewed:

Project Information

Water Efficient Landscape Worksheet

Residential Outdoor Water Use Efficiency Checklist

Post-Installation Audit

Landscape Design Plan

Soil Management Report

Irrigation Design Plan

Grading Design Plan

Date Reviewed:

Follow up required (explain):

Date Resubmitted:

Material Distributed to Applicant

Regional Water Efficient Landscape Ordinance

Residential Outdoor Water Use Efficiency Checklist

Water Efficient Landscape Worksheet

Plant List

Other:

Measures Recommended to Applicant

Drip irrigation

Plant palette

[Agency Name, Address, Telephone#, Fax #]

OUTDOOR WATER USE EFFICIENCY CHECKLIST

ate Approved:

edicated Irrigation Meter Required:

eter sizing:

- ☐ Grading
- ☐ Pool and/or spa cover
- ☐ Dedicated irrigation meter
- ☐ Other:

omments:

lected Definitions:

o

Reference evapotranspiration means the quantity of water evaporated from a large field of four- to seven-inch tall, cool-season grass that is well watered. Reference evapotranspiration is used as the basis of estimating water budgets so that regional differences in climate can be accommodated.

A

Special Landscaped Area. Includes edible plants, areas irrigated with recycled water, surface water features using recycled water and areas dedicated to active play such as parks, sports fields, golf courses, and where turf provides a playing surface.

professional

Professional is a "certified professional" or "authorized professional" that is a certified Irrigation designer, a certified landscape irrigation auditor, a licensed landscape architect, a licensed landscape contractor, a licensed professional engineer, or any other person authorized by the state to design a landscape, an irrigation system, or authorized to complete a water budget, irrigation survey or irrigation audit.

ater Feature

A design element where open water performs an aesthetic or recreational function. Water features include ponds, lakes, waterfalls, fountains, artificial streams, spas, and swimming pools (where water is artificially supplied).

[Agency Name, Address, Telephone#, Fax #]

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CONSULTANT

APPROVAL

DRAWN:

SC

CHECKED:

TK

SCALE:

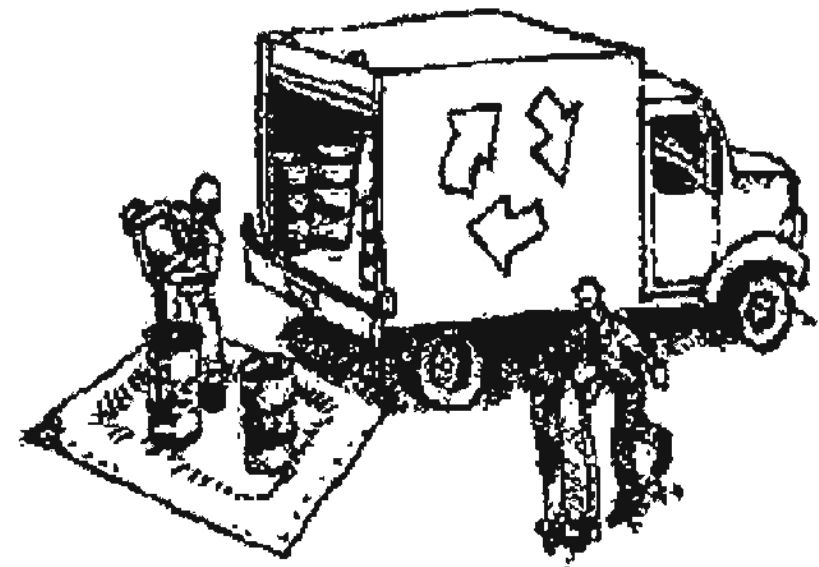
STORMWATER & OUTDOOR WATER USE EFFICIENCY CHECKLISTS

A0.2

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



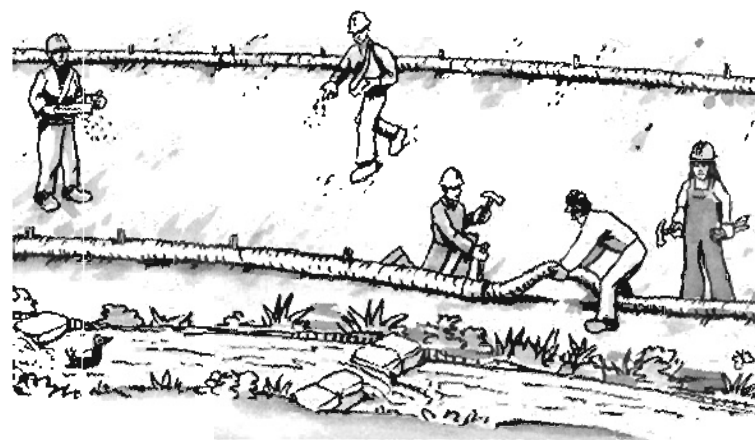
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



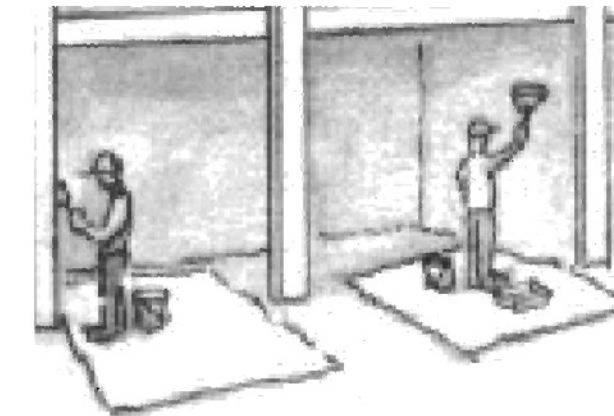
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

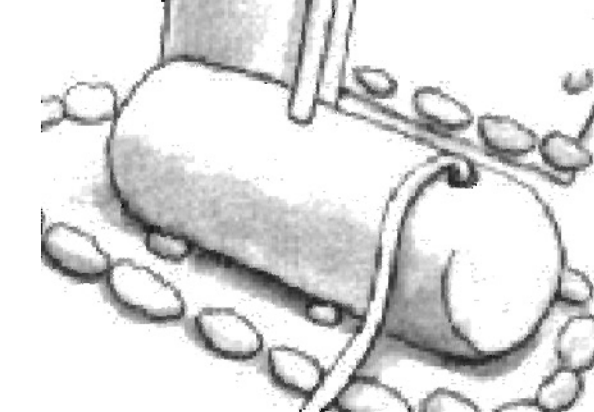
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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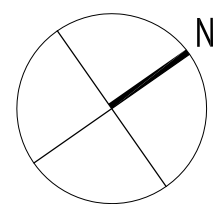
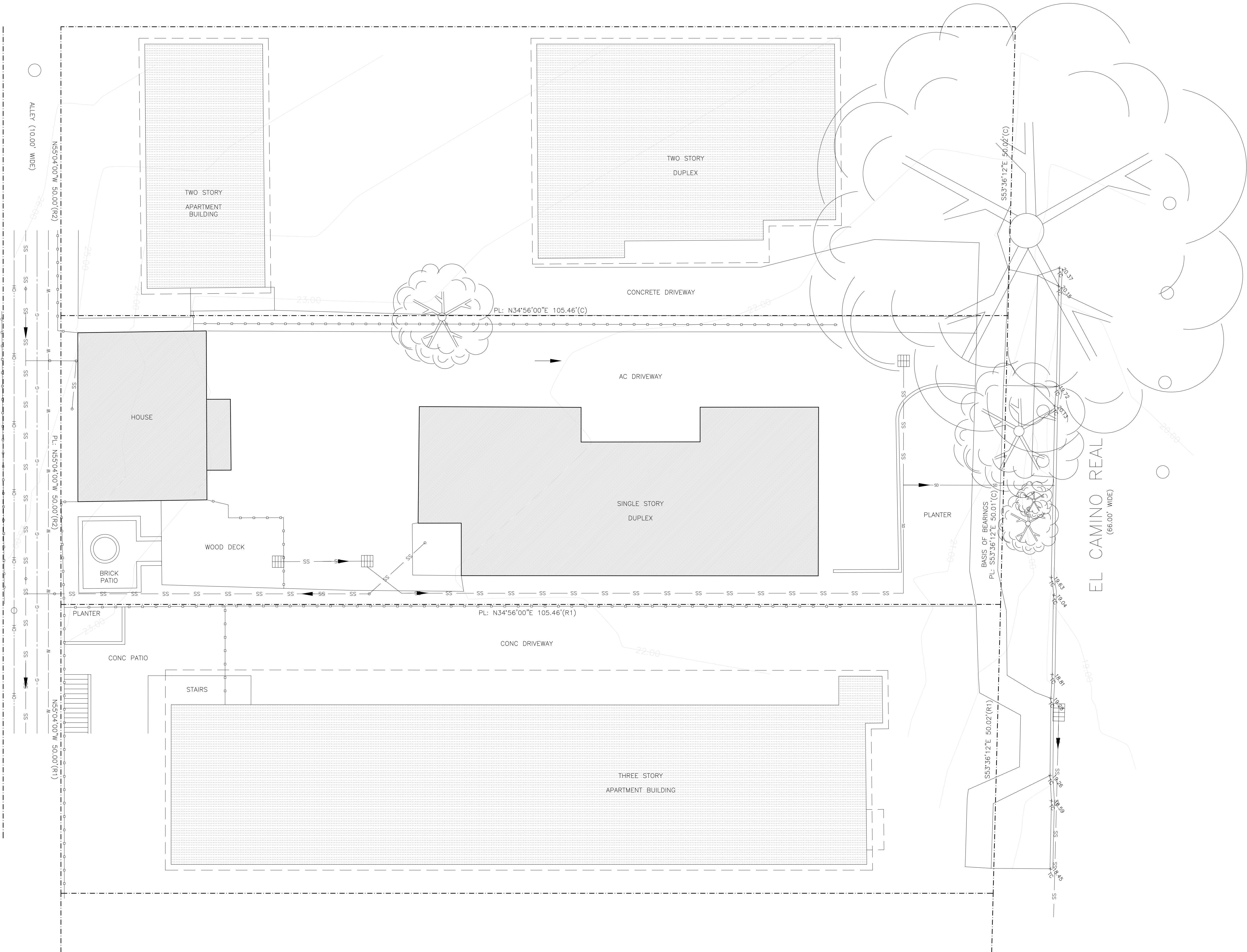
CONSULTANT

APPROVAL

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SCALE:	NONE

**CONSTRUCTION BEST
MANAGEMENT PRACTICES**

A0.3



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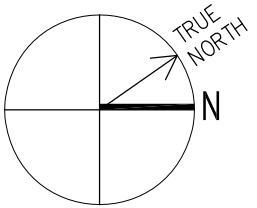
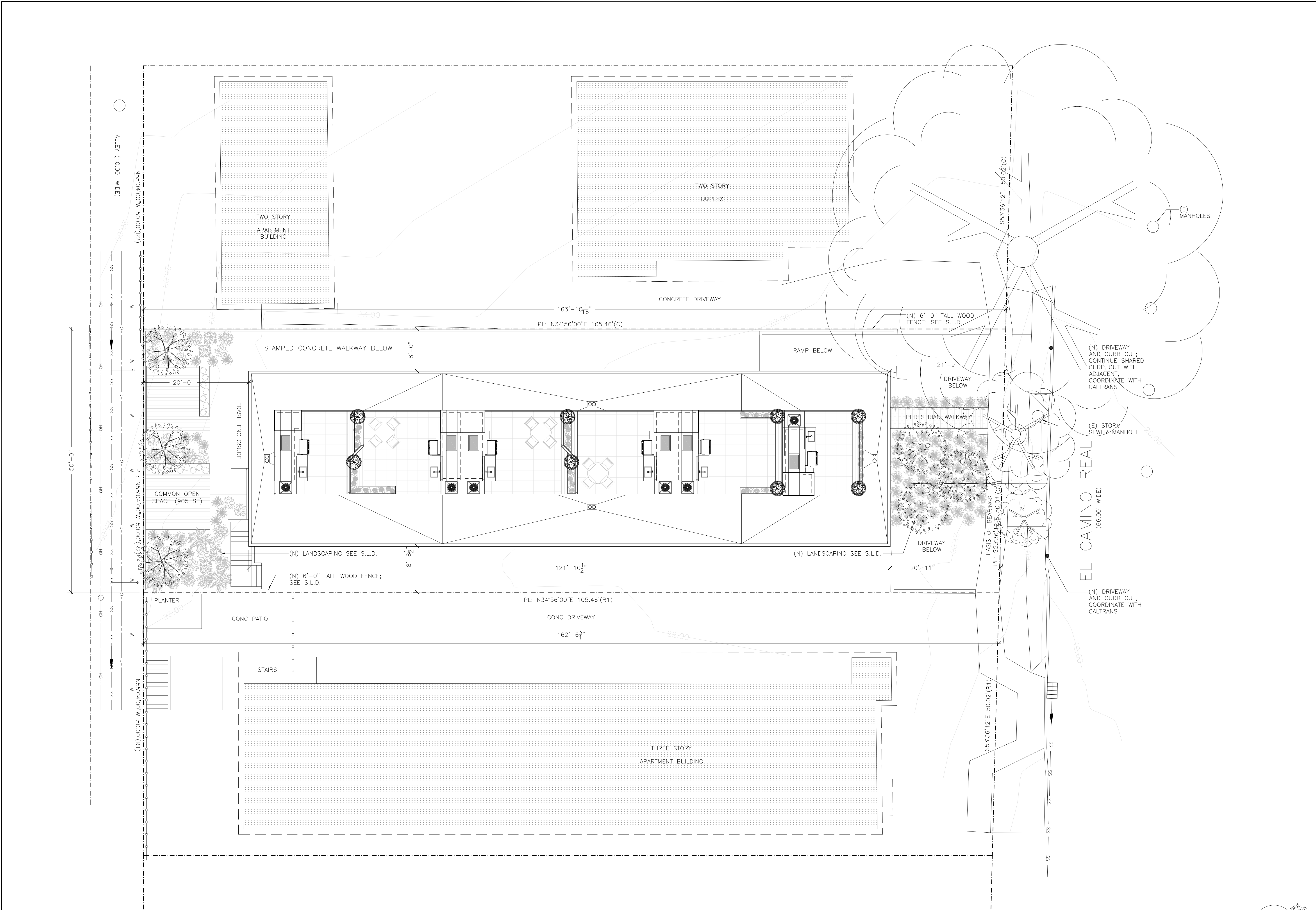
CONSULTANT

APPROVAL

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TK
SCALE:
1/4"=1'-0"

EXISTING SITE PLAN

A1.0



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1457 EL CAMINO REAL

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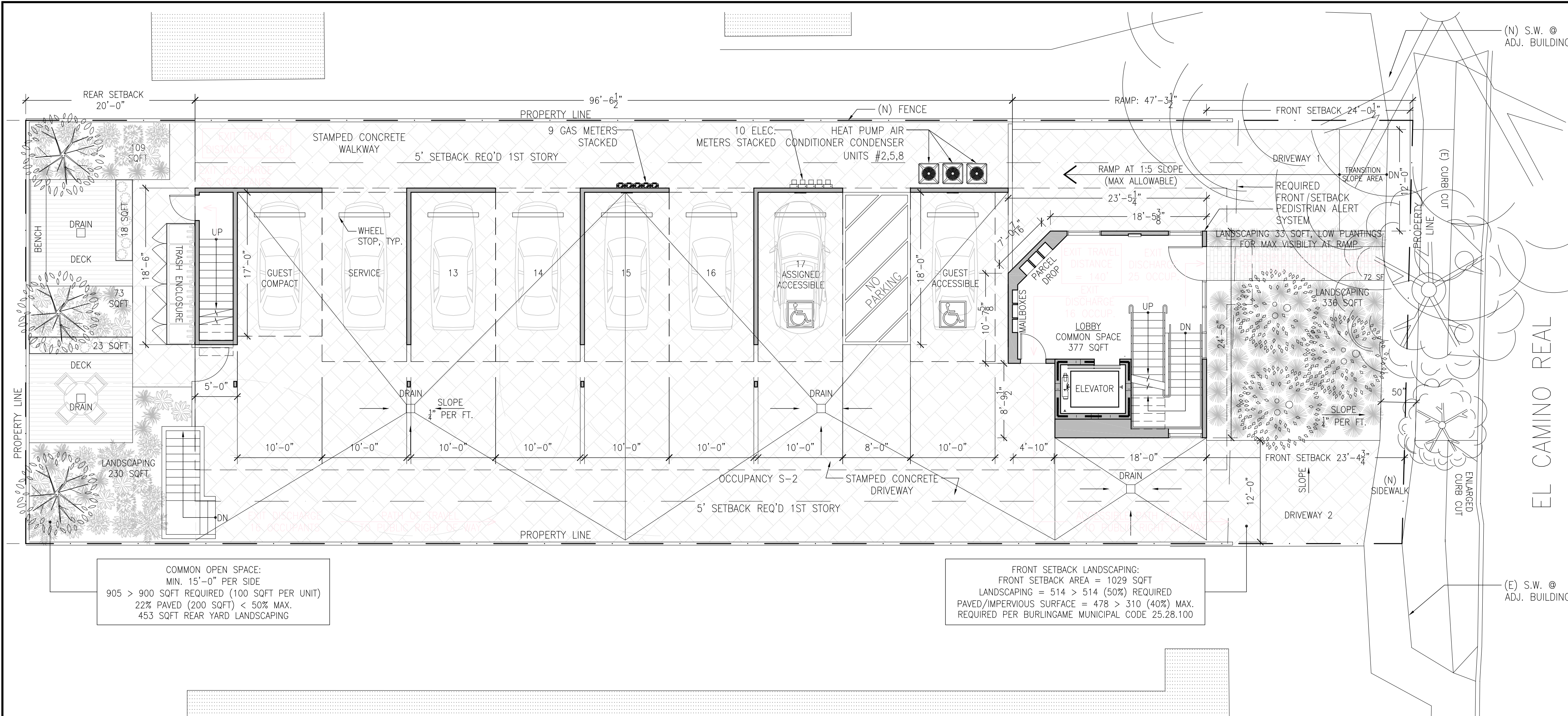
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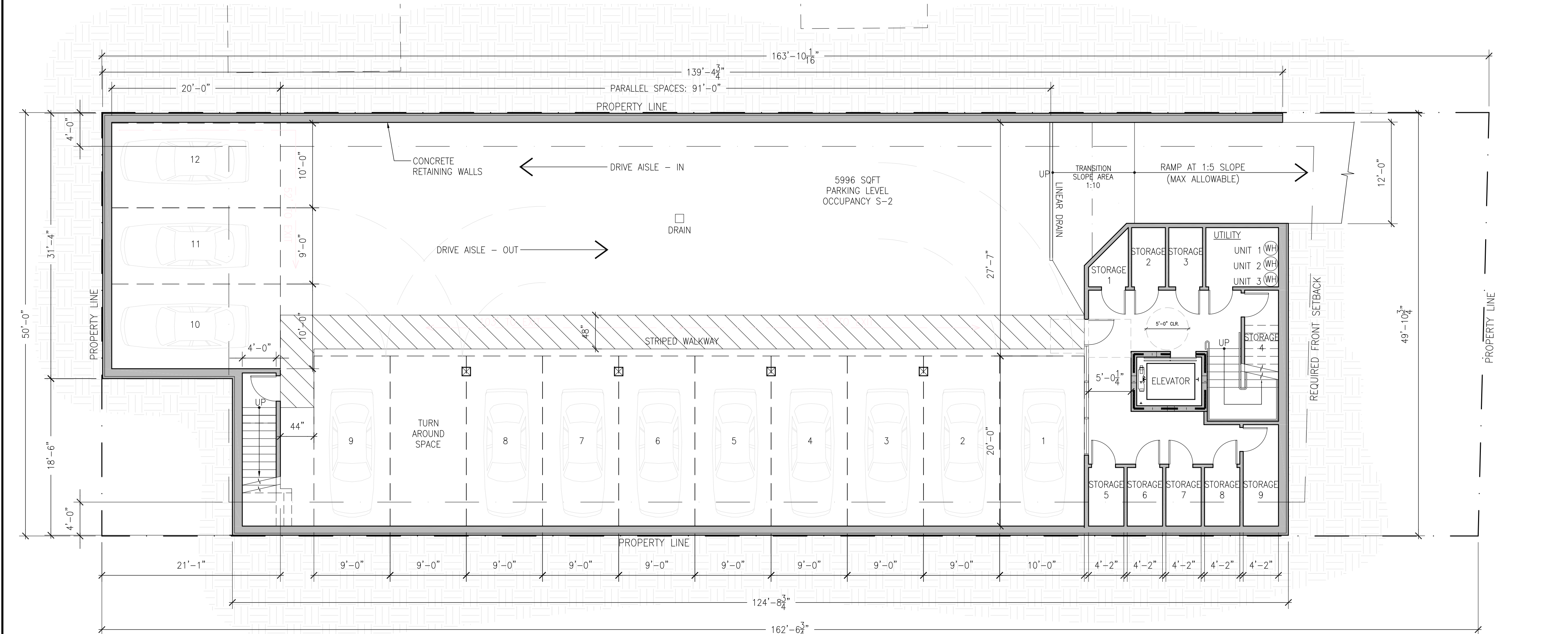
SCALE:
1/4"=1'-0"

PROPOSED SITE PLAN

A1.1



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8"= 1'-0"



1 PROPOSED BASEMENT LEVEL
SCALE: 1/8"= 1'-0"

KEYNOTES:

1

ENVIRONMENTAL AIR DUCTS (TOILET, LAUNDRY, AND KITCHEN EXHAUST) SHALL TERMINATE 3'-0" MIN. FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.

2

MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.

3

(N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.

4

WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.

5

PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFCB 406.3.7.

6

PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.

7

(N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3

8

EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT OUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).

9

HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.

10

PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. MAY BE COMBINED SMOKE/CARBON MONOXIDE ALARM.

11

DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFCB 802.2.4 GAS VENT TERMINATION PER CMC 802.6. & SFCB 802.6.2 THROUGH WALL VENT TERMINATION PER SFCB 802.8

12

STEEL DUCTS NOT LESS THAN 0.019 IN. IN DUCT THICKNESS AND NO OPENINGS IN GARAGE PER CBC 406.3.4.3

13

PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.

14

WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" Ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.

15

1-HR FIRE RATED CEILING UNDER STAIR.

16

AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN DWELLING AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2013 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:

•

THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.

•

THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.

•

THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.

•

OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.

17

PROVIDE R-13 INSULATION AT 2x4 WALLS, R-19 AT 2x6 WALLS AND INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.

18

DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 AND COMPLY WITH CMC TABLE 403.7.

19

SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #4 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.

20

ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1

21

HEATING VENT LOCATIONS TO BE COORDINATED BY G.C. & MECHANICAL CONTRACTOR. VERIFY WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.

22

G.C. AND PLUMBING CONTRACTOR TO CONFIRM DEPTH OF (E) SANITARY SEWER LINE AS STREET, REPLACE UP TO POINT OF CONNECTION AS NEEDED, OR PROVIDE SUMP AND EJECTOR PUMP WHERE PERMITTED BY CODE.

23

2016 CALIFORNIA RESIDENTIAL CODE 18.10.100 APPENDIX C, FIGURE C AMENDED - EXIT TERMINALS OF MECHANICAL DRAFT AND DIRECT VENT VENTING SYSTEMS.

24

WHERE THE PROPERTY LINE IS LESS THAN 10 (10) FEET FROM THE EXIT TERMINAL OF ANY NEWLY INSTALLED OR REPLACEMENT HIGH EFFICIENCY MECHANICAL EQUIPMENT THE PIPE SIZE OF THE FINAL TEN (10) FEET OF ANY TERMINAL MUST BE INCREASED TO THREE INCHES (3") OR, AS AN ALTERNATIVE, MANUFACTURER-APPROVED BAFFLES MUST BE INSTALLED.

25

PROVIDE LIGHTING AT ALL EXTERIOR LANDINGS. 2016 CBC §1008.2 AND 2016 CBC §1205.4 (ORD. 1856 §7, (2010); ORD. 1889 §8, (2013))

DRAWING LEGEND:

EXISTING WALLS

NEW WALL

1-HR RATED WALL

GRAPHIC SCALE

2

5

10

TRUE NORTH

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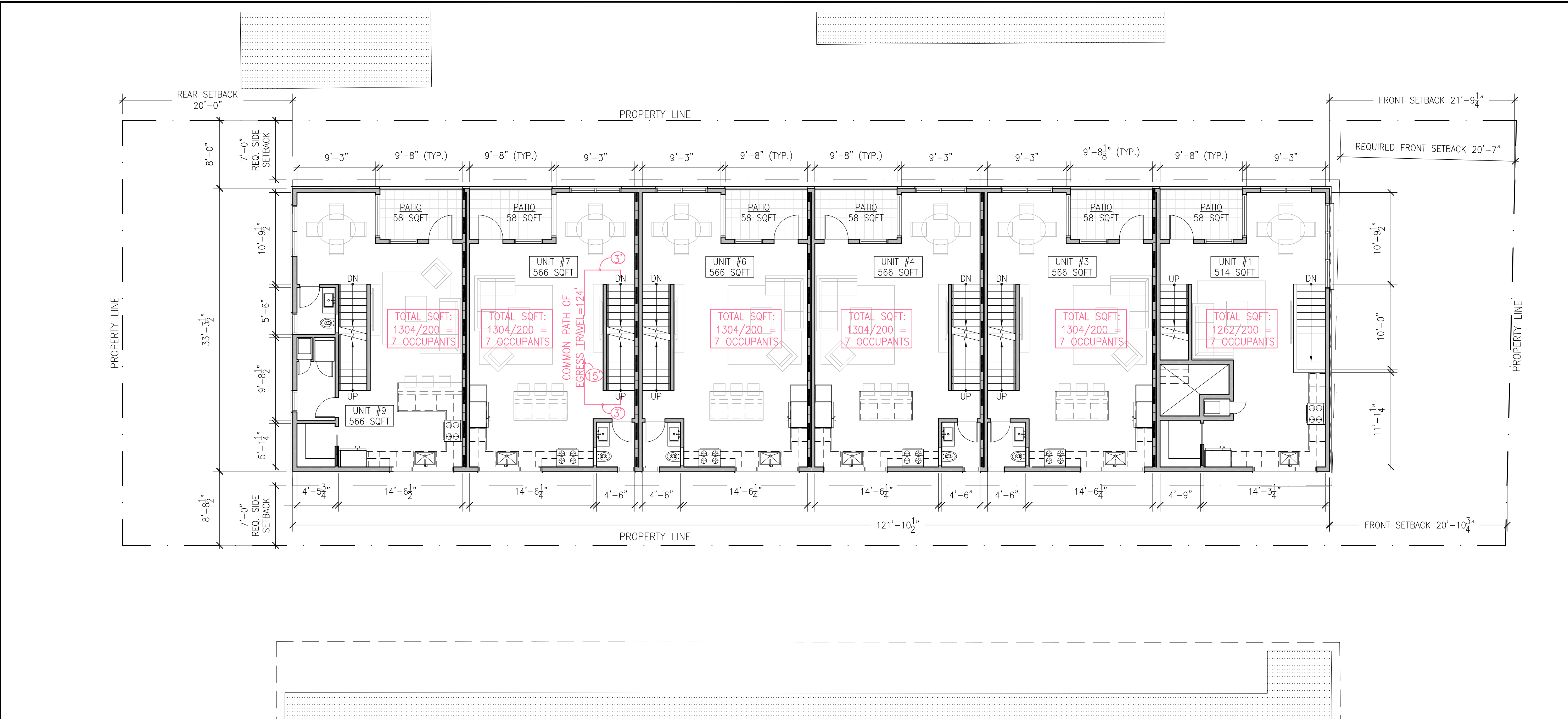
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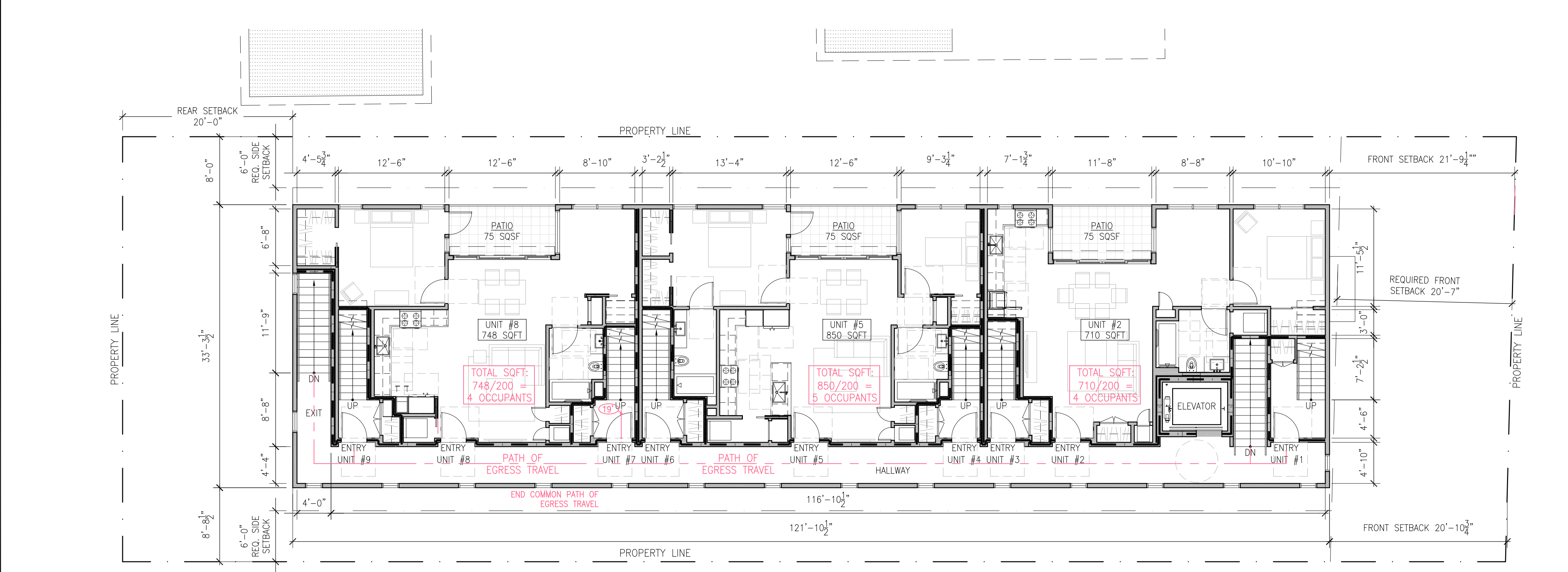
SCALE:
1/4"=1'-0"

PROPOSED FLOOR PLAN & EXIT PLAN

A2.0



2 PROPOSED THIRD FLOOR
SCALE: 1/8"= 1'-0"



1 PROPOSED SECOND FLOOR
SCALE: 1/8"= 1'-0"

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11

DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFMC 802.2.4 GAS VENT TERMINATION PER CMC 802.6. & SFMC 802.6.2 THROUGH WALL VENT TERMINATION PER SFMC 802.8

12

STEEL DUCTS NOT LESS THAN 0.019 IN. IN DUCT THICKNESS AND NO OPENINGS IN GARAGE PER CBC 406.3.4.3

13

PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.

14

WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" Ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.

15

1-HR FIRE RATED CEILING UNDER STAIR.

16

AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN DWELLING AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2013 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:

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17

PROVIDE R-13 INSULATION AT 2x4 WALLS, R-19 AT 2x6 WALLS AND INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.

18

DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 AND COMPLY WITH CMC TABLE 403.7.

19

SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #4 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.

20

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23

2016 CALIFORNIA RESIDENTIAL CODE 18.10.100 APPENDIX C, FIGURE C AMENDED - EXIT TERMINALS OF MECHANICAL DRAFT AND DIRECT VENT VENTING SYSTEMS.

24

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PROVIDE LIGHTING AT ALL EXTERIOR LANDINGS. 2016 CBC §1008.2 AND 2016 CBC §1205.4 (ORD. 1856 §7, (2010); ORD. 1889 §8, (2013))

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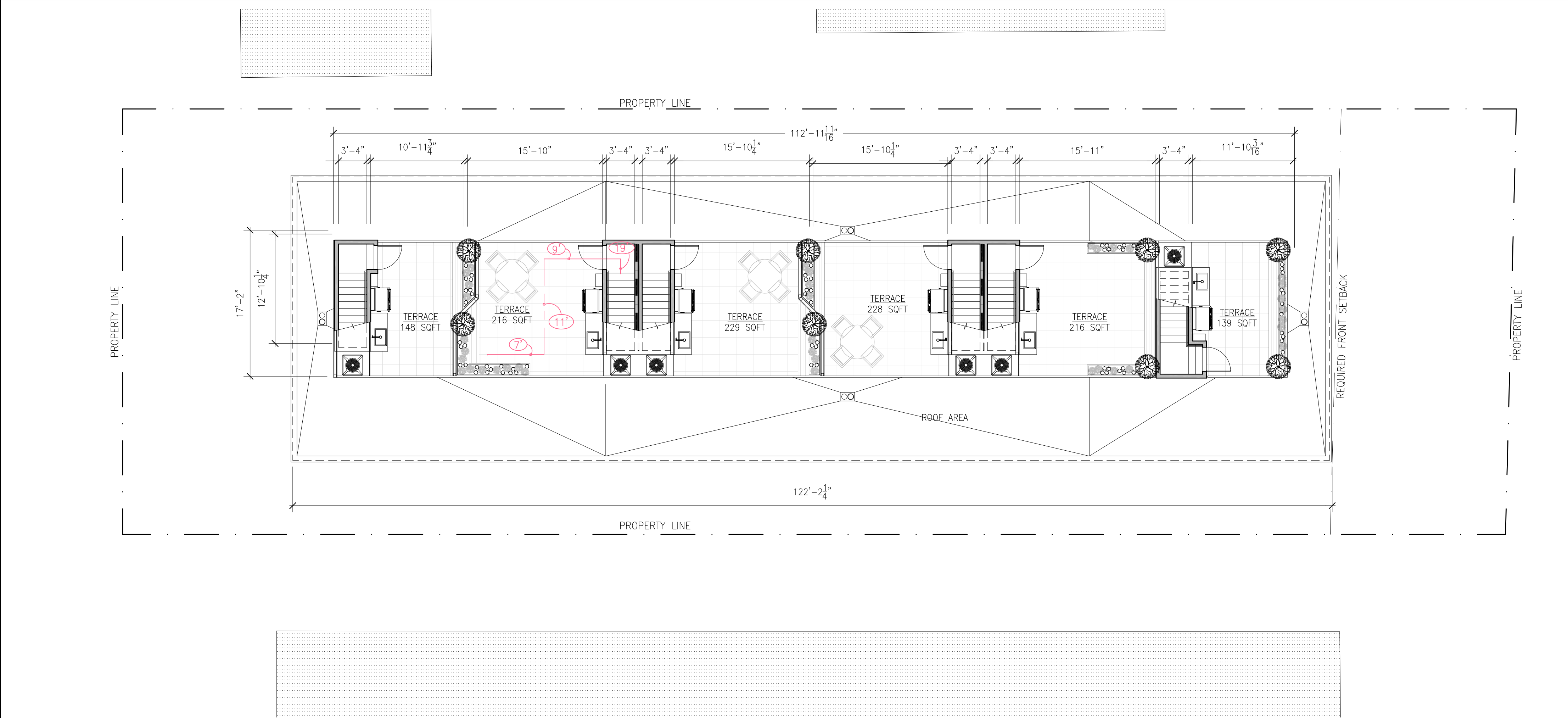
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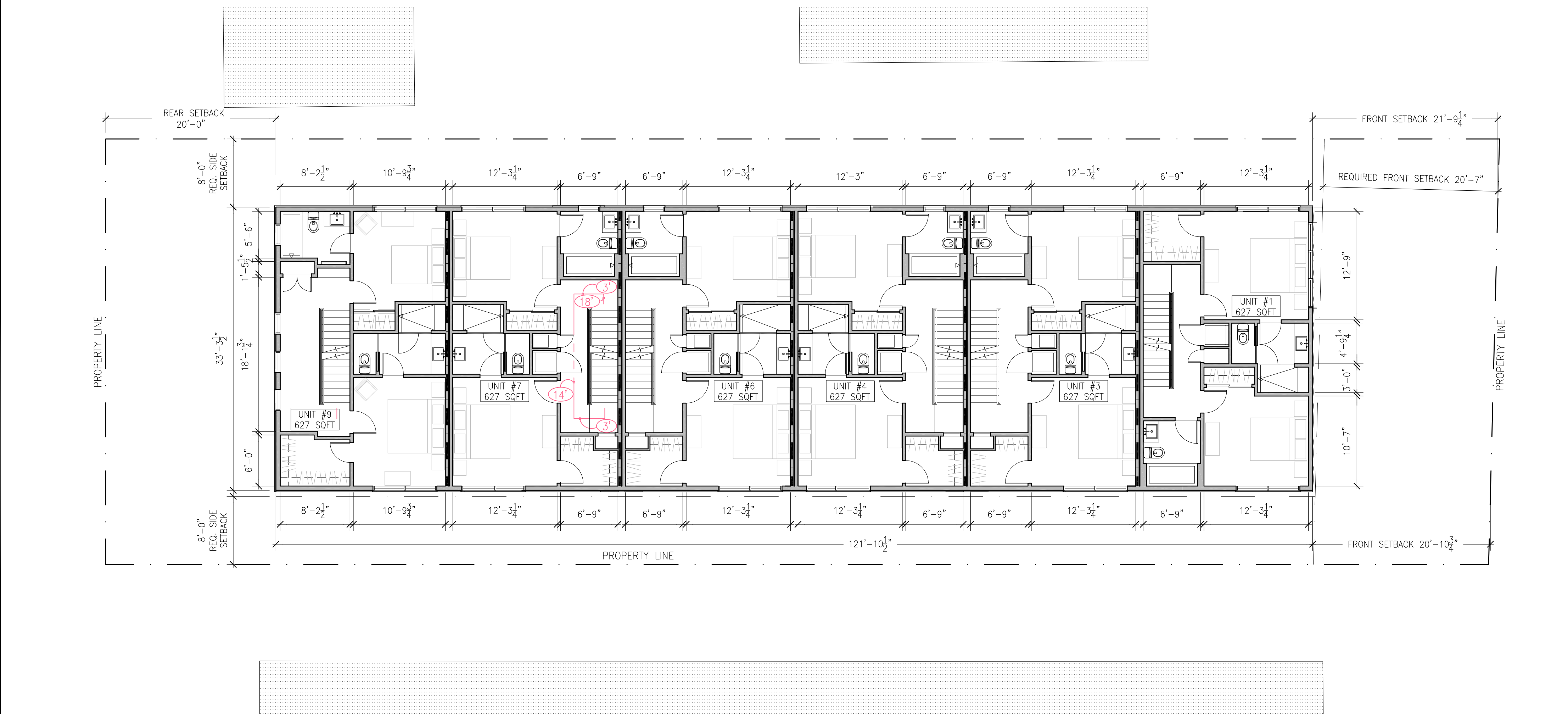
APPROVAL

DRAWN:
SC
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TK
SCALE:
1/4"=1'-0"

PROPOSED FLOOR PLAN
& EXIT PLAN
A2.1



2 PROPOSED ROOF PLAN
SCALE: 1/8"= 1'-0"



1 PROPOSED FOURTH FLOOR
SCALE: 1/8"= 1'-0"

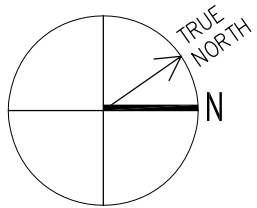
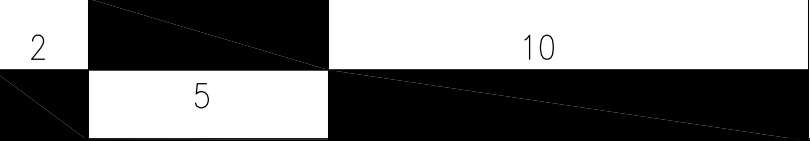
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DRAWING LEGEND:

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

GRAPHIC SCALE



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1 4 5 7 E L C A M I N O R E A L

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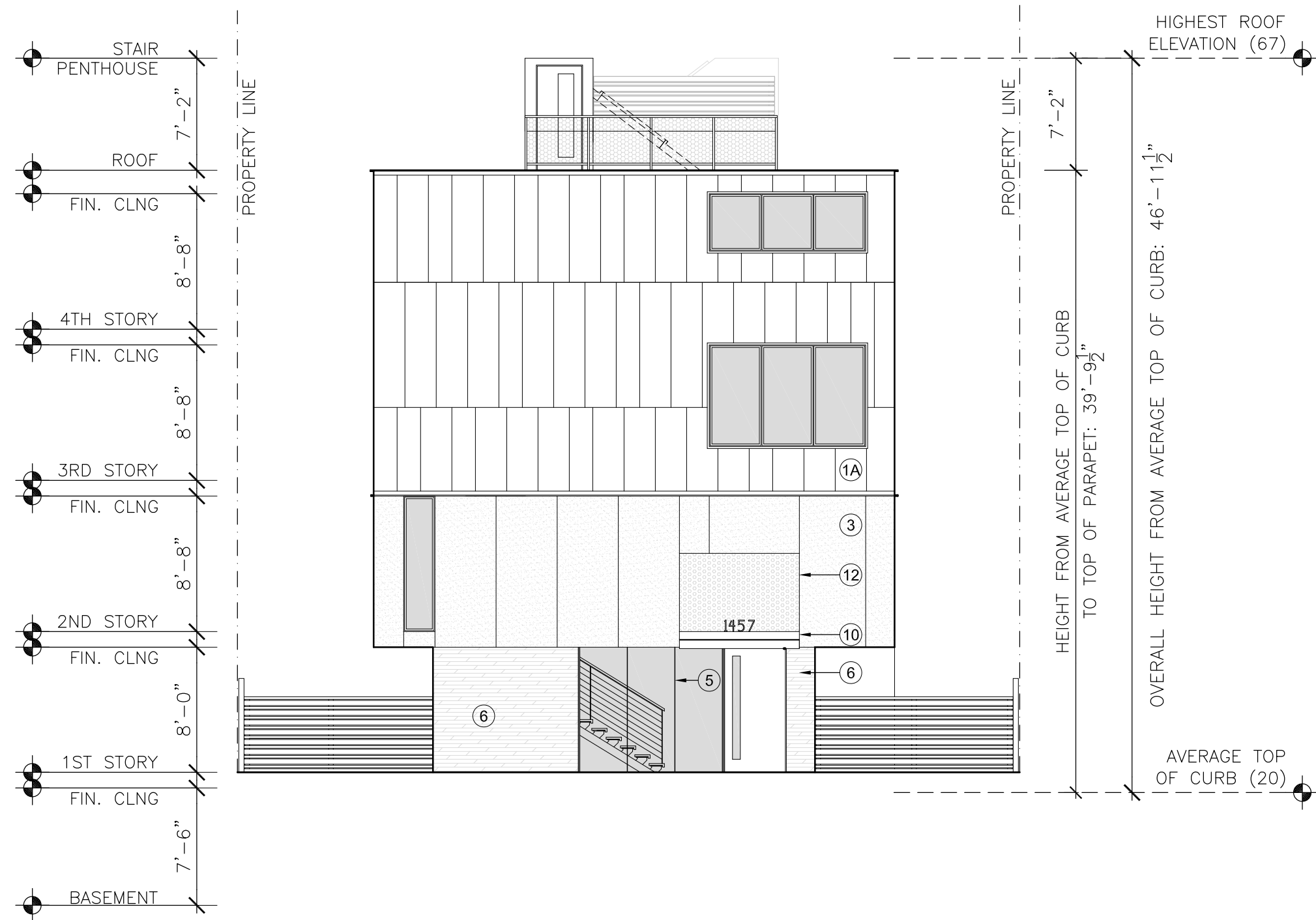
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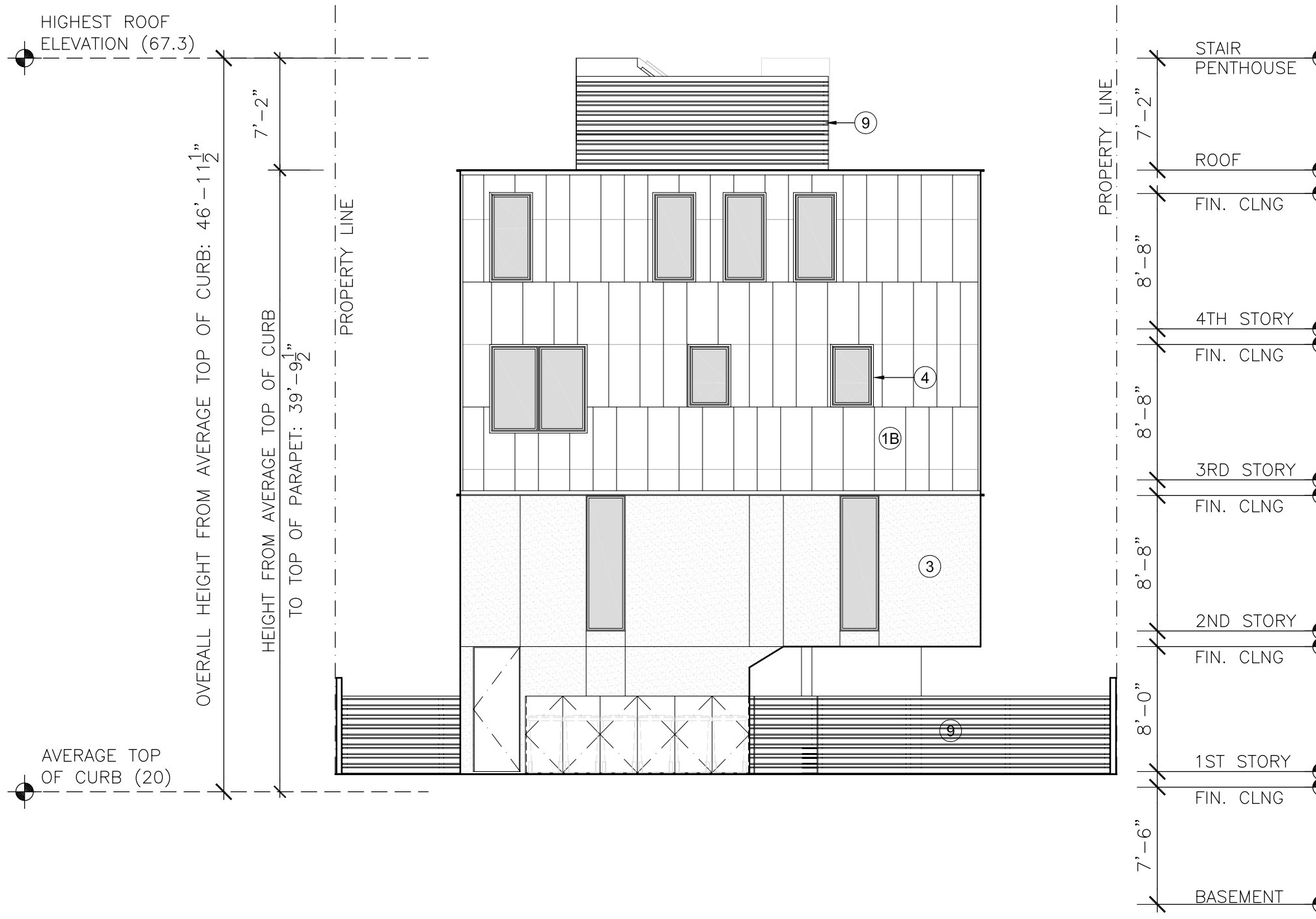
PROPOSED FLOOR PLANS

A2.2



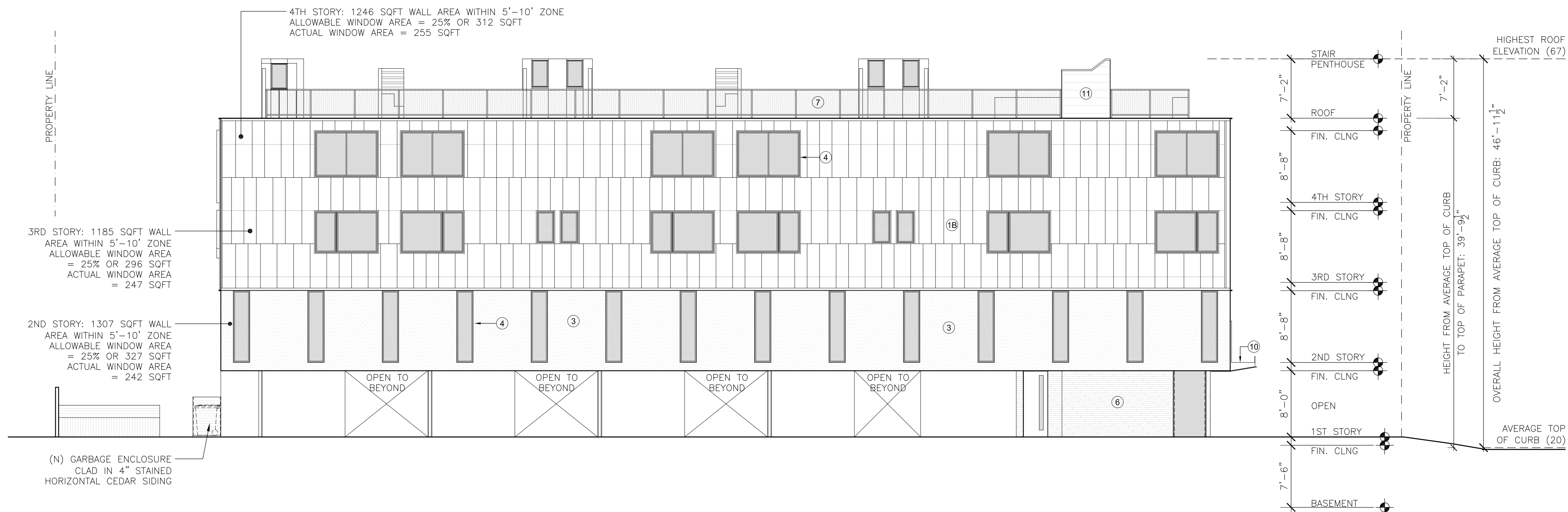
1 PROPOSED NORTH ELEVATION

SCALE: 1/8"= 1'-0"



2 PROPOSED SOUTH ELEVATION

SCALE: 1/8"= 1'-0"



3 PROPOSED EAST ELEVATION

SCALE: 1/8"= 1'-0"

EXTERIOR FINISHES

- 1A PAINTED ALUMINUM PANELS, DRI-DESIGN TAPERED SERIES RAINSCREEN SYSTEM
- 1B PAINTED ALUMINUM PANELS, DRI-DESIGN FLAT PANEL EN-V RAINSCREEN SYSTEM. 2 FINISHES
- 2 PAINTING ALUMINUM PANELS PERFORATED AT GUARDRAIL CONDITION
- 3 CEMENT PLASTER OR DRYVIT SYSTEM, LIGHT SAND FINISH
- 4 ANNOIDIZED ALUMINIM WINDOWS
- 5 ANNOIDIZED ALUMINUM STOREFRONT SYSTEM
- 6 CERAMIC TILE OR NATURAL STONE TILE WITH LINEAR PATTERN
- 7 PERFORATED METAL PANEL IN POWDERCOATED STEEL FRAME
- 8 STANDING SEAM METAL ROOF
- 9 WOOD SCREEN OR WOOD ENCLOSURE, THERMALLY MODIFIED FOR EXTERIOR USE
- 10 METAL CANOPY WITH INTEGRATED DRAIN, POWDERCOATED BOTTOM AND SIDE PANEL
- 11 PAINTED WOOD SIDING
- 12 LASERCUT PERFORATED PANEL, POWDERCOATED. SPACED FROM WALL WITH INTEGRATED LED BACK LIGHTING

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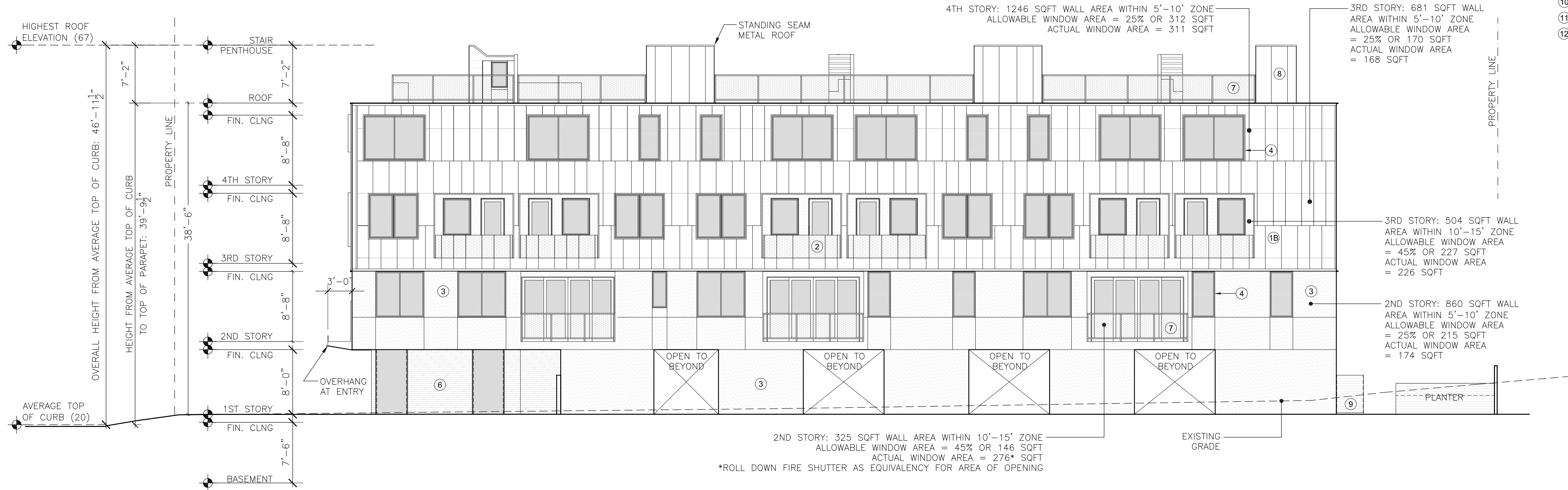
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PROPOSED ELEVATIONS

A3.0

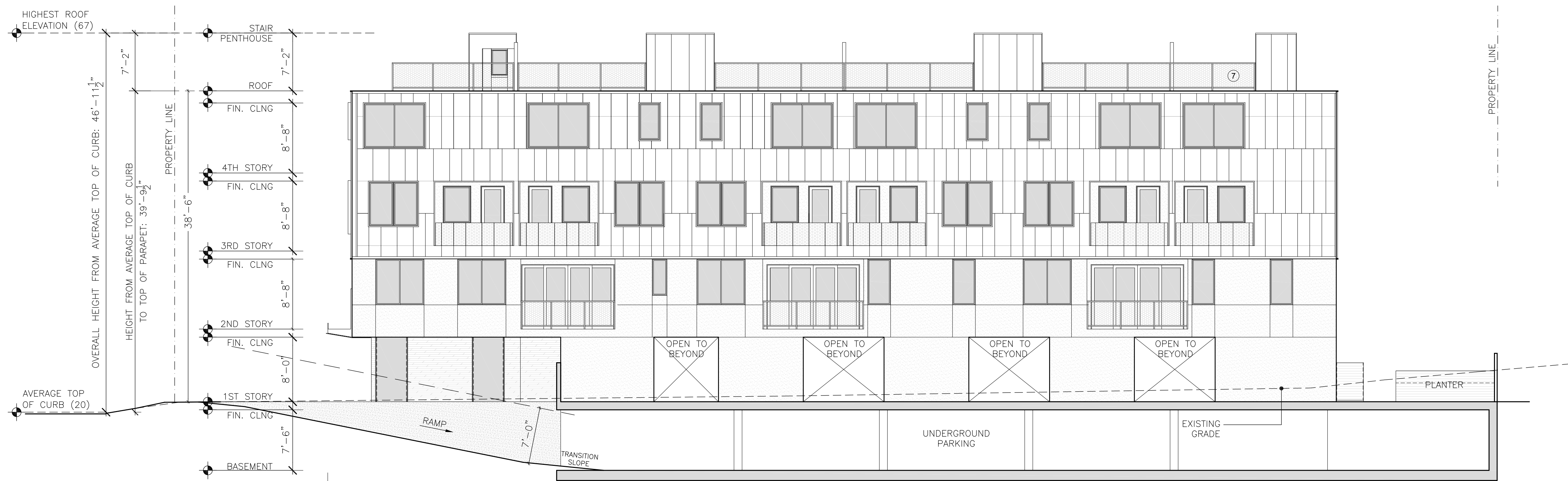
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1 4 5 7 E L C A M I N O R E A L



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 - 12 LASERCUT PERFORATED PANEL, POWDERCOATED. SPACED FROM WALL WITH INTEGRATED LED BACK LIGHTING

2 PROPOSED WEST ELEVATION
SCALE: 1/8"= 1'-0"



1 PROPOSED BUILDING SECTION THROUGH RAMP
SCALE: 1/8"= 1'-0"

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1457 EL CAMINO REAL

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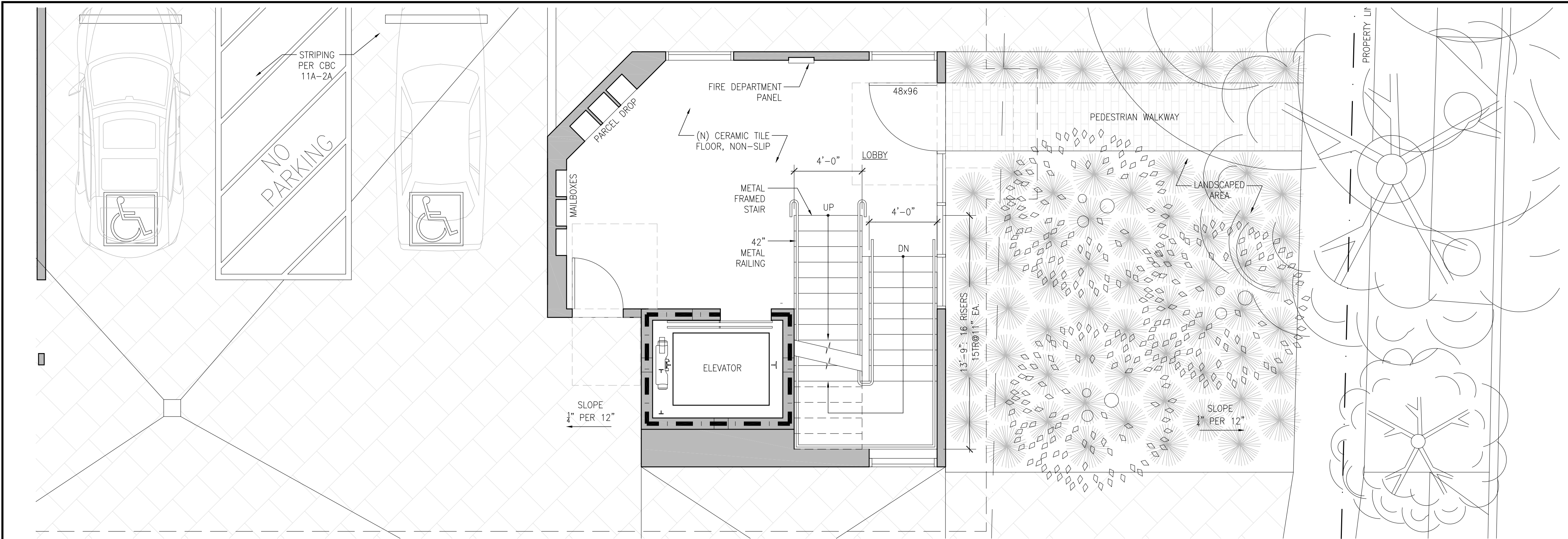
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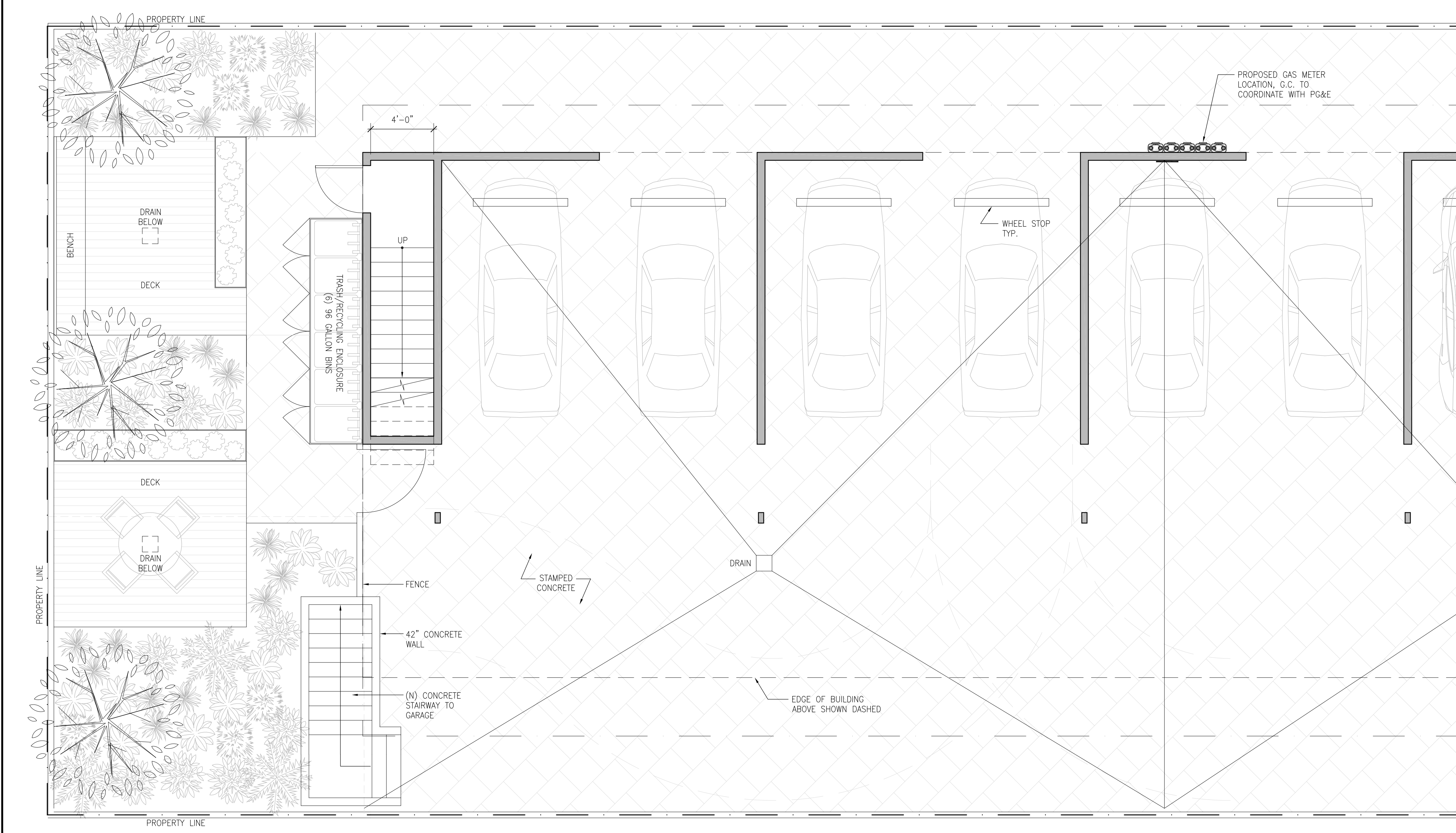
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SCALE:
1/4"=1'-0"

PROPOSED ELEVATION
& BUILDING SECTIONS

A3.1



1 ENLARGED PLAN: FIRST FLOOR LOBBY
SCALE: 1/4"= 1'-0"



2 ENLARGED PLAN: COMMON OPEN SPACE AT REAR YARD
SCALE: 1/4"= 1'-0"

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DATE:
07.13.2018
11.16.2018
12.20.2018
05.24.2019
01.15.2020

CONSULTANT

APPROVAL

DRAWN:
SC

CHECKED:
TK

SCALE:
1/4"=1'-0"

ENLARGED PLANS

A4.0

DRAWING LEGEND:

EXISTING WALLS

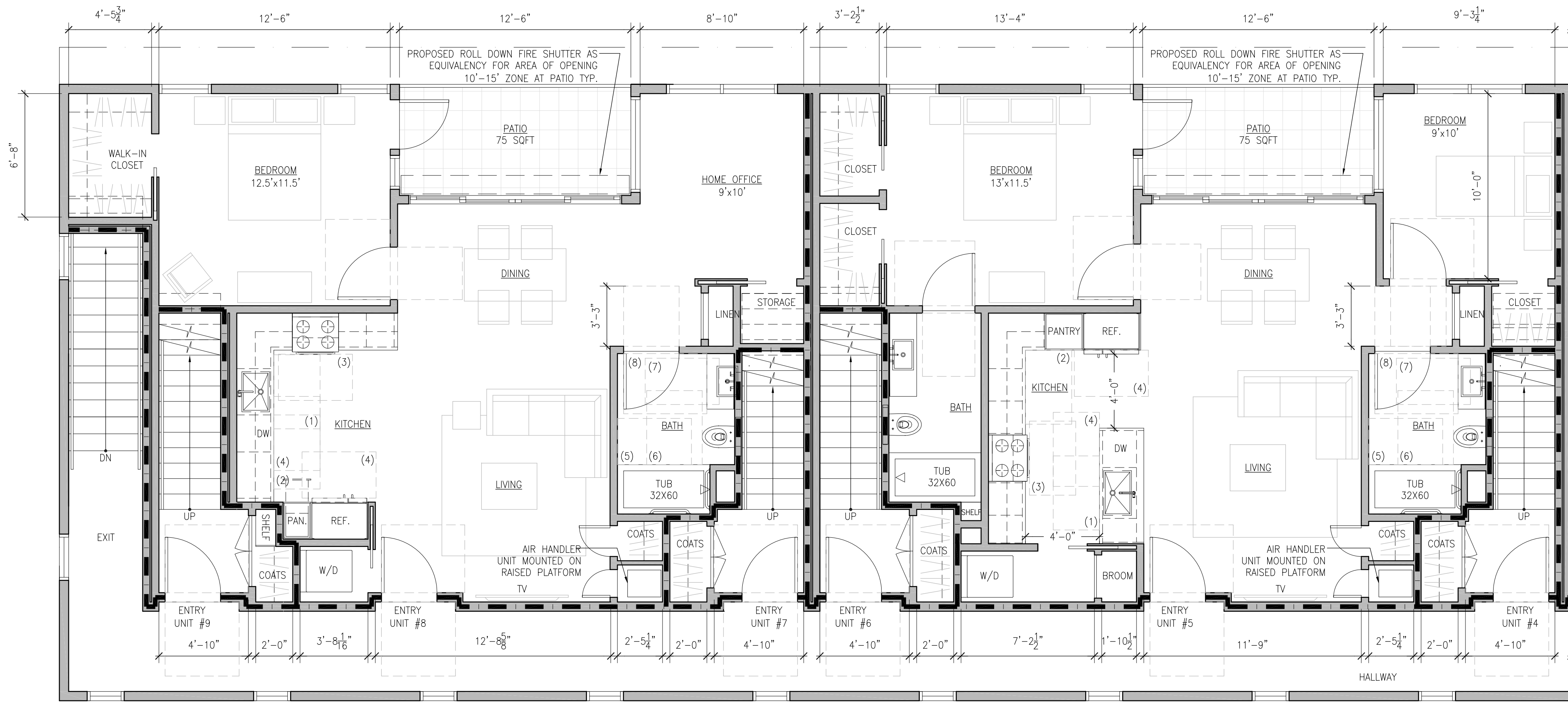
NEW WALL

1-HR RATED WALL

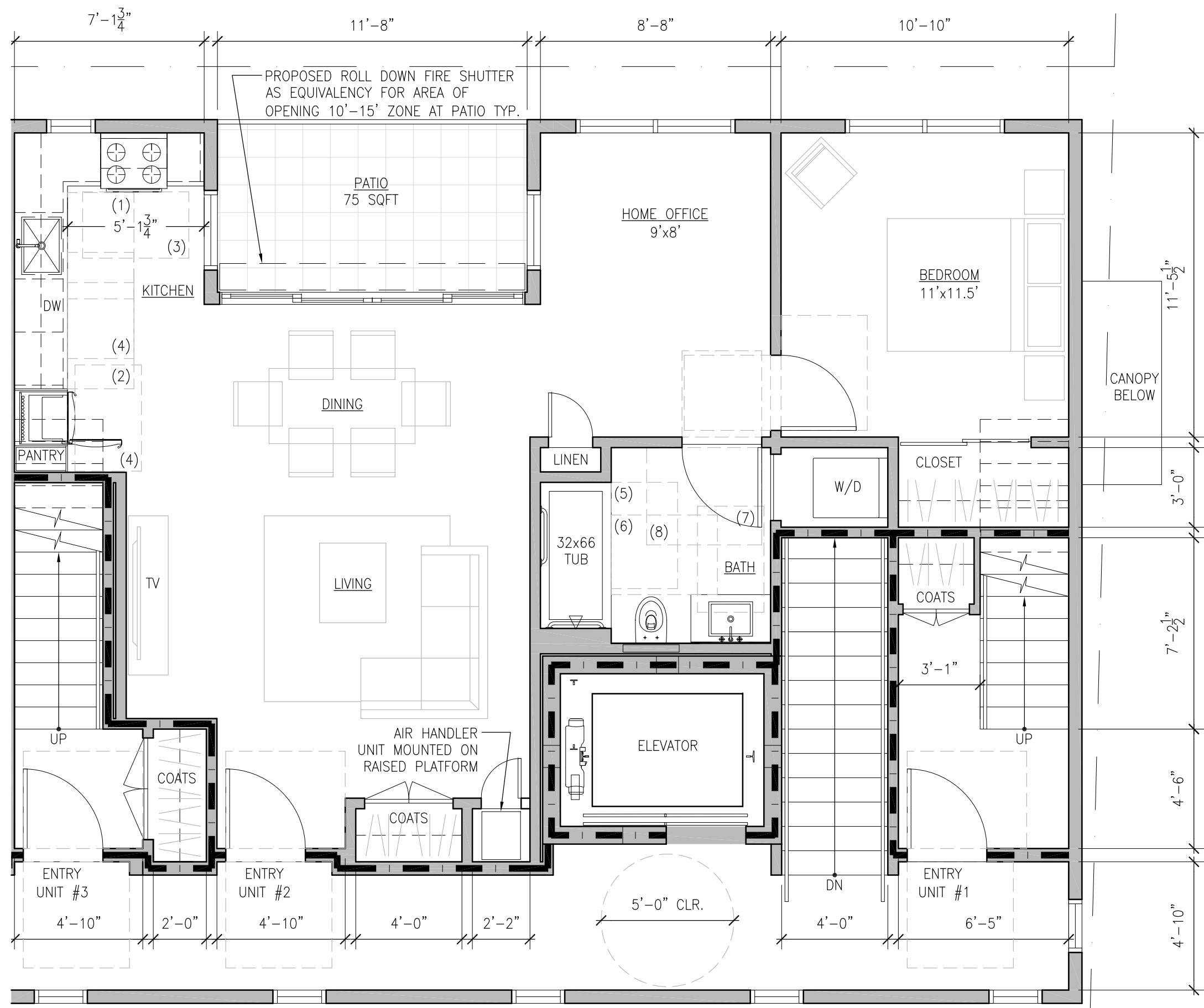
GRAPHIC SCALE

2 5 10

TRUE NORTH



1 ENLARGED PLAN: SECOND FLOOR
SCALE: 1/4"= 1'-0"



2 ENLARGED PLAN: SECOND FLOOR
SCALE: 1/4"= 1'-0"

ADAPTABLE KITCHEN CLEARANCES:	
(1)	30" MIN. COUNTERTOP SPACE FOR SINK INSTALLATION WITH REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH THE SINK; 30" x 48" MIN. CLEAR FLOOR SPACE TO ALLOW PARALLEL OR FORWARD APPROACH
(2)	30" MIN. COUNTERTOP FOR WORK SURFACE WITH REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH; 30" x 48" MIN. CLEAR FLOOR SPACE TO ALLOW PARALLEL OR FORWARD APPROACH
(3)	30" x 48" MIN. CLEAR FLOOR SPACE ADJACENT TO RANGE TO ALLOW PARALLEL APPROACH
(4)	30" x 48" CLEAR FLOOR SPACE AT REFRIGERATOR, DISHWASHER, TRASH COMPACTOR OR OTHER APPLIANCES TO ALLOW PARALLEL OR FORWARD APPROACH

ADAPTABLE BATHROOM CLEARANCES:	
(5)	48" MIN. PARALLEL BY 30" PERPENDICULAR CLEAR FLOOR SPACE ADJACENT TO BATHTUB CONTROL END
(6)	36" x 48" MIN. CLEAR FLOOR SPACE IN FRONT OF WATER CLOSET
(7)	30" x 48" MIN. CLEAR FLOOR SPACE CENTERED ON LAVATORY
(8)	42" MIN. CLEAR LENGTH ON BOTH SIDES INTERIOR DOOR OR 39" LENGTH ACCEPTABLE IF MIN. DOOR CLEAR OPENING WIDTH OF 34". 18" MIN. CLEAR ON THE SWING SIDE OF THE DOOR AT THE STRIKE EDGE OF THE DOOR

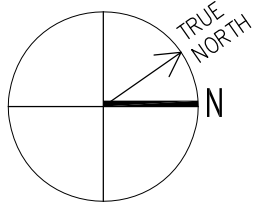
KEYNOTES:

- ENVIRONMENTAL AIR DUCTS (TOILET, LAUNDRY, AND KITCHEN EXHAUST) SHALL TERMINATE 3'-0" MIN. FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
- MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
- (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
- WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
- PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFBC 406.3.7.
- PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
- (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
- EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT OUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).
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- DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFMC 802.2.4 GAS VENT TERMINATION PER CMC 802.6. & SFMC 802.6.2 THROUGH WALL VENT TERMINATION PER SFMC 802.8
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- 1-HR FIRE RATED CEILING UNDER STAIR.
- AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN DWELLING AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2013 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
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- PROVIDE LIGHTING AT ALL EXTERIOR LANDINGS. 2016 CBC §1008.2 AND 2016 CBC §1205.4 (ORD. 1856 §7, (2010); ORD. 1889 §8, (2013))

DRAWING LEGEND:

- | | |
|--|-----------------|
| | EXISTING WALLS |
| | NEW WALL |
| | 1-HR RATED WALL |

GRAPHIC SCALE



OWNER:
RABIH S. BALLOUT &
AMAL D. BALLOUT
361-367 BEACH ROAD
BURLINGAME, CA 94010
PHONE: 650.208.3686
RABIN@OSCARTER.COM

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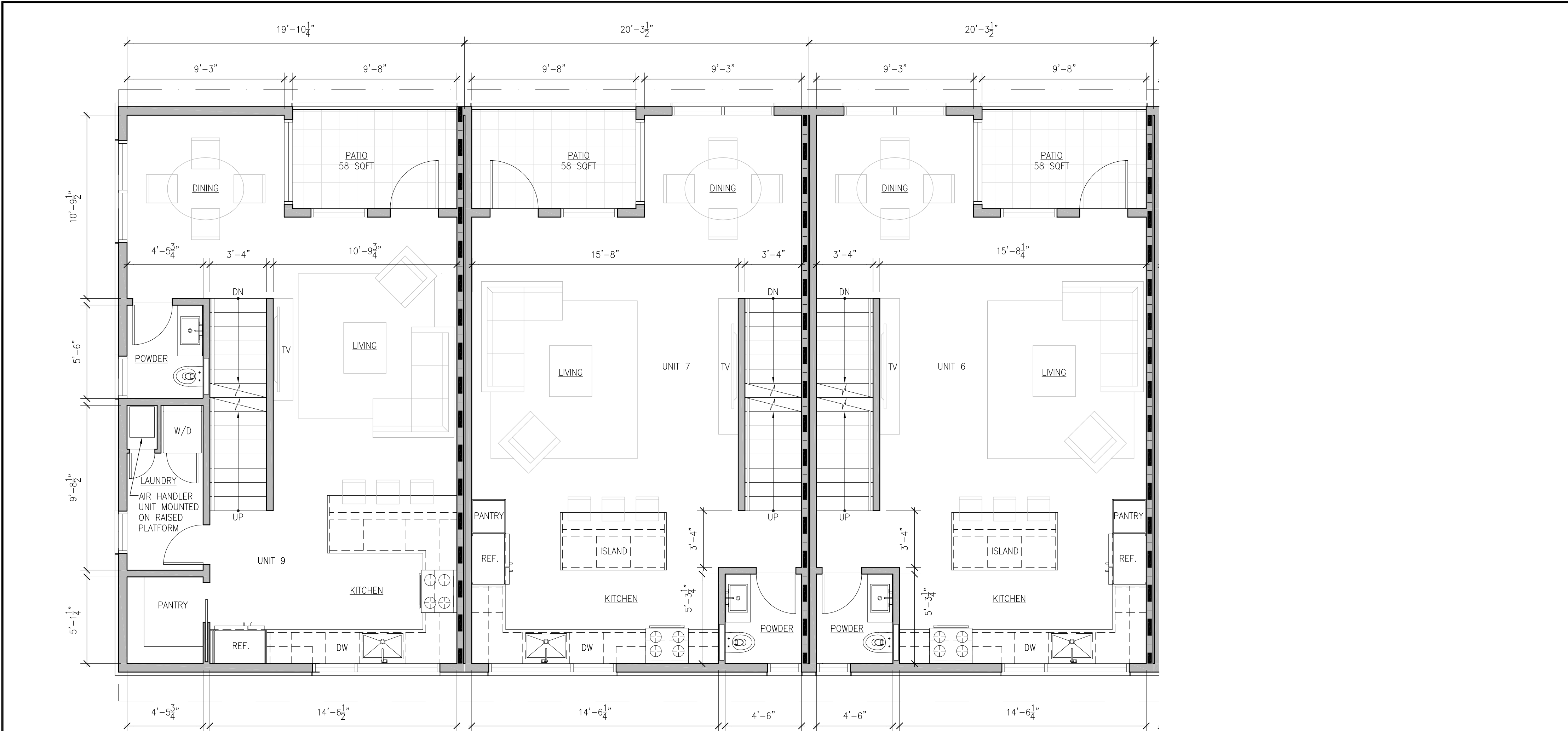
CONSULTANT

APPROVAL

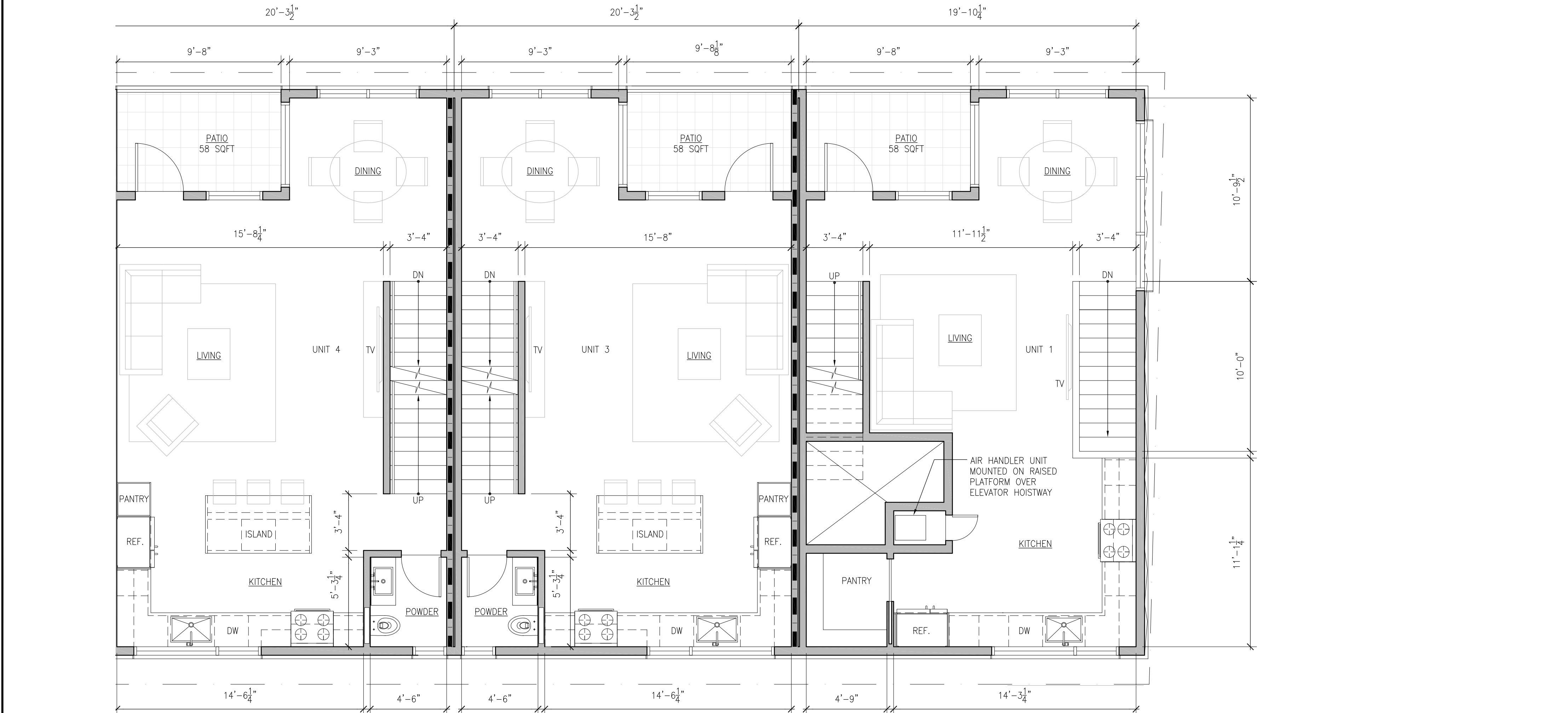
DRAWN:	SC
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SCALE:	
1/4"=1'-0"	

ENLARGED UNIT PLANS

A4.1



1 ENLARGED FLOOR PLAN: THIRD FLOOR
SCALE: 1/4"= 1'-0"



2 ENLARGED FLOOR PLAN: THIRD FLOOR
SCALE: 1/4"= 1'-0"

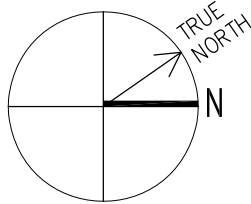
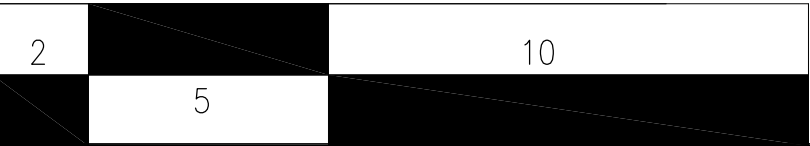
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DRAWING LEGEND:

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

GRAPHIC SCALE



TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 401, SF CA 94107. PHONE/FAX 415.431.0869

1457 EL CAMINO REAL

OWNER:
RABIH S. BALLOUT &
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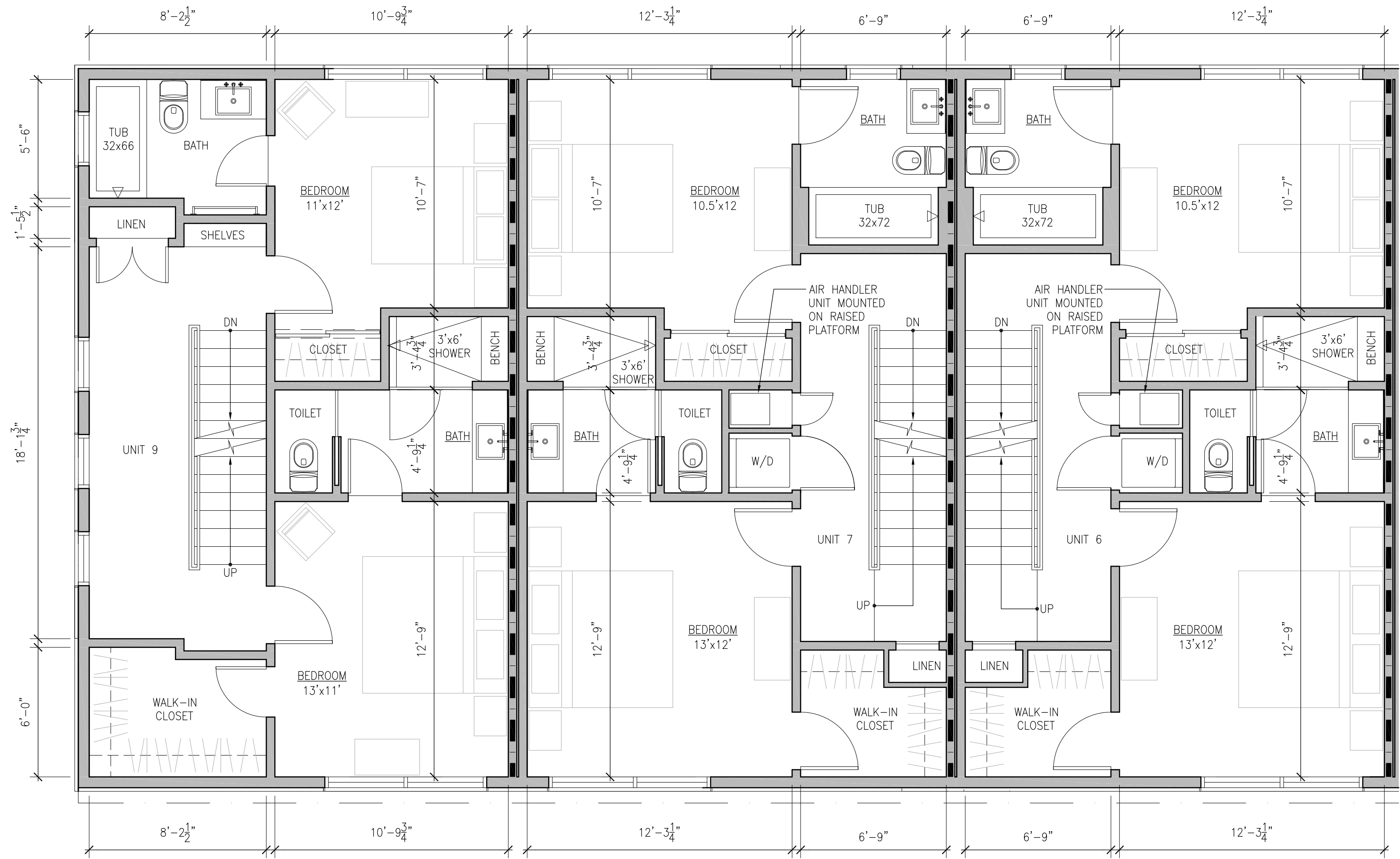
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DRAWN:	SC
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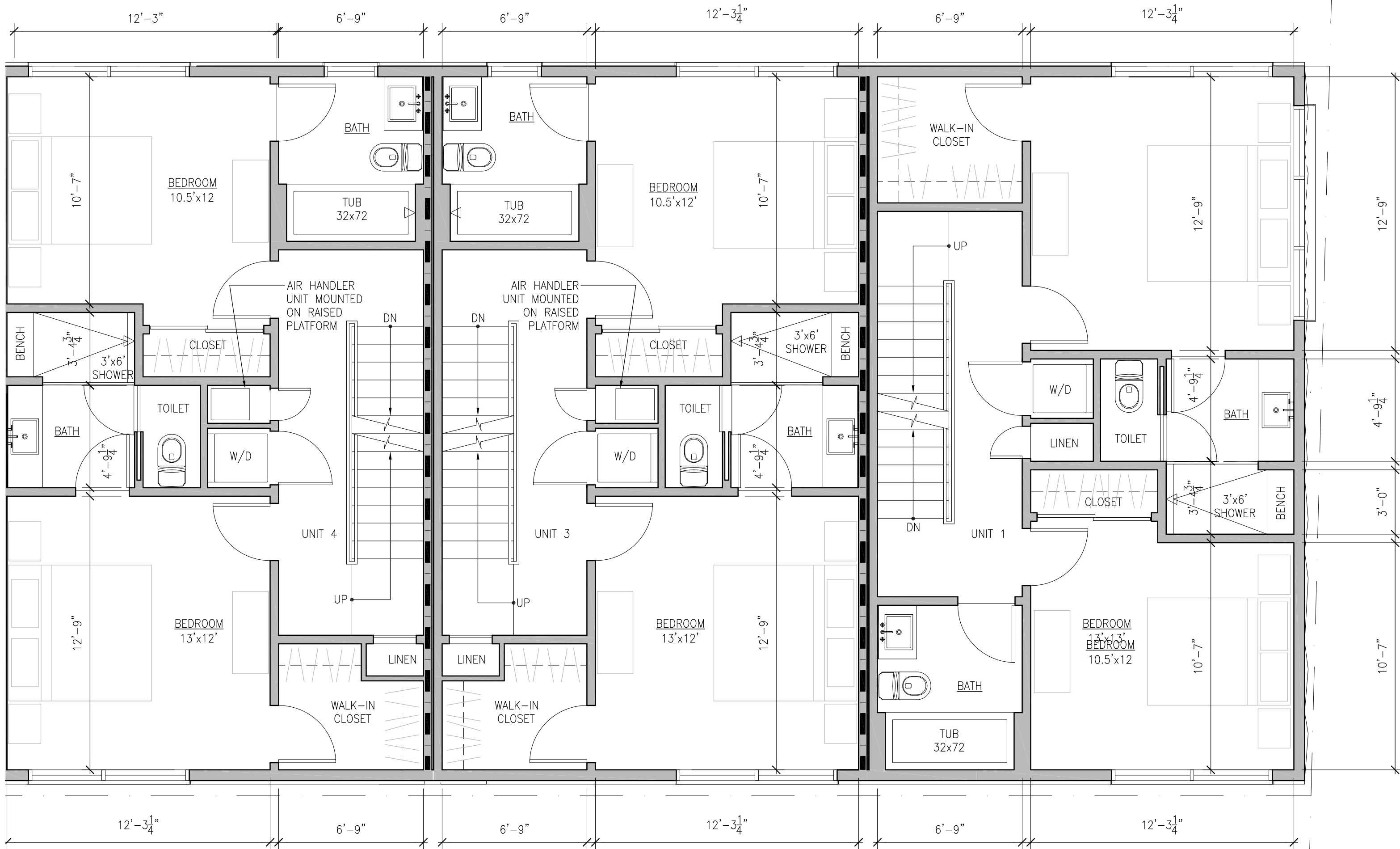
ENLARGED UNIT PLANS

A4.2



1 ENLARGED FLOOR PLAN: FOURTH FLOOR

SCALE: 1/4"= 1'-0"



2 ENLARGED FLOOR PLAN: FOURTH FLOOR

SCALE: 1/4"= 1'-0"

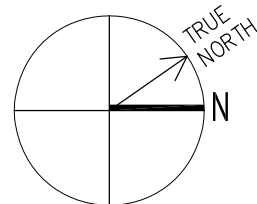
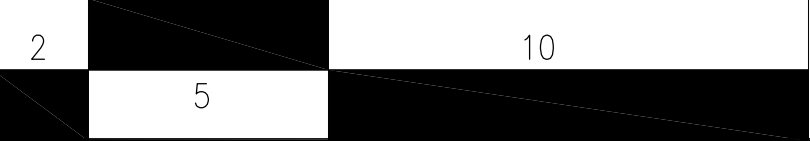
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- 1-HR RATED WALL

GRAPHIC SCALE



OWNER:
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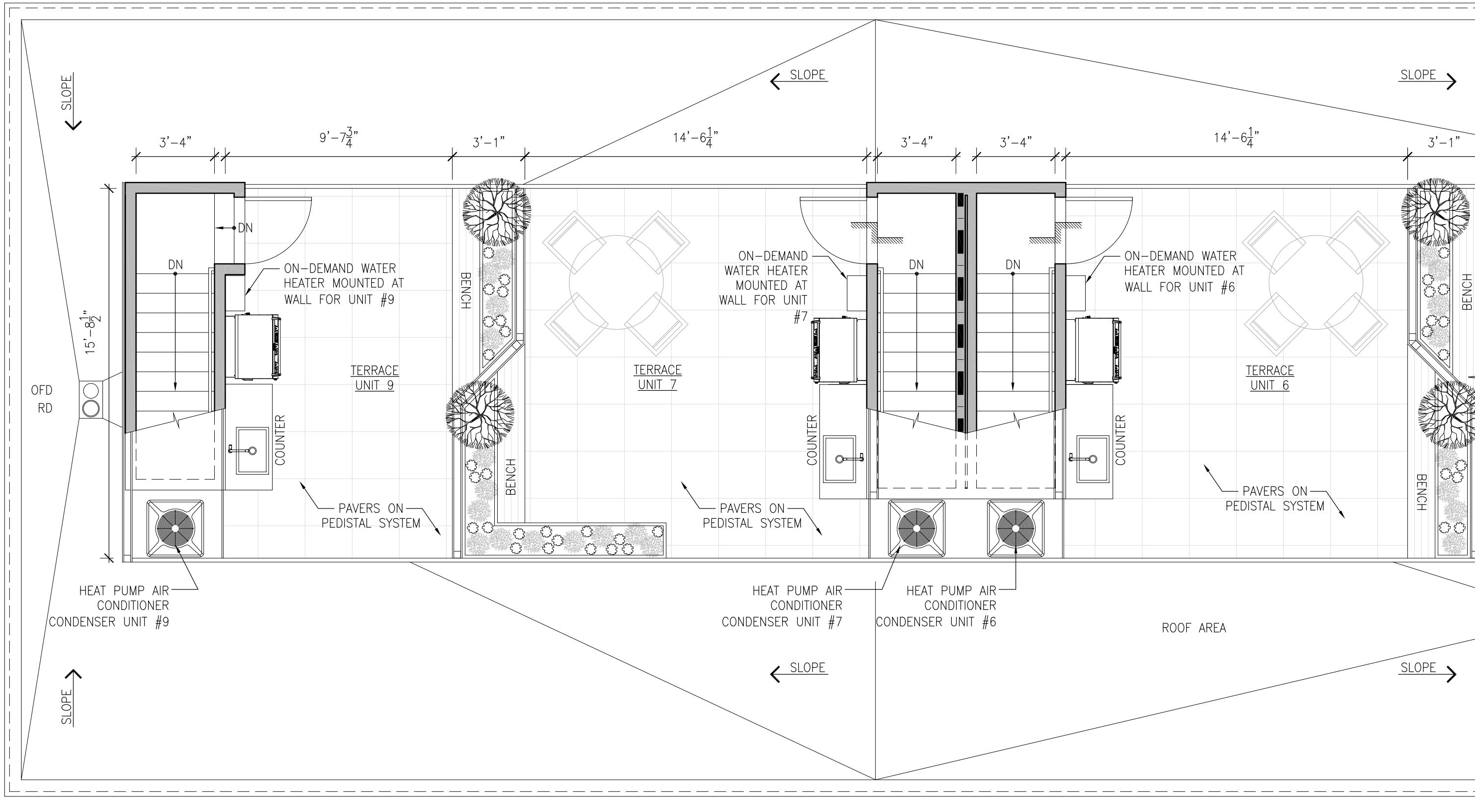
CONSULTANT

APPROVAL

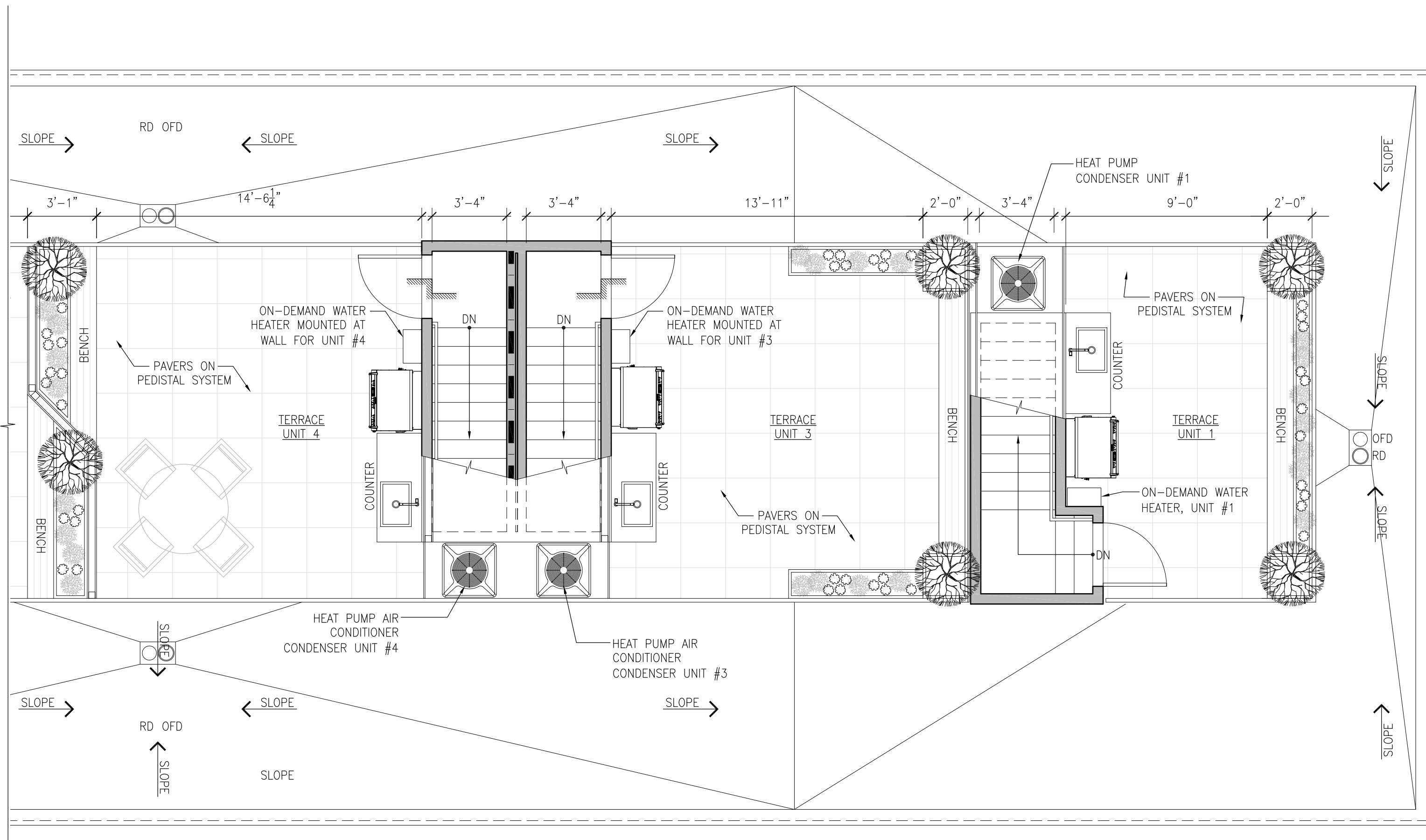
DRAWN:	SC
	CHECKED:
	TK
SCALE:	
1/4"=1'-0"	

ENLARGED FLOOR PLANS

A4.3



1 ENLARGED FLOOR PLAN: ROOF
SCALE: 1/4"= 1'-0"



2 ENLARGED FLOOR PLAN: ROOF
SCALE: 1/4"= 1'-0"

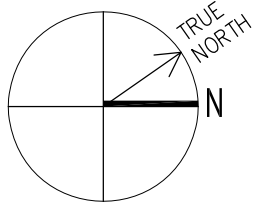
KEYNOTES:

- ENVIRONMENTAL AIR DUCTS (TOILET, LAUNDRY, AND KITCHEN EXHAUST) SHALL TERMINATE 3'-0" MIN. FROM PROPERTY LINES AND BUILDING OPENINGS PER CMC 502.2.1 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.1 EXHAUST SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY, PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
- MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6.
- (N) WINDOW, MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.32 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
- WINDOW TO MEET REQUIREMENTS FOR RESCUE WINDOW: 20" CLEAR WIDTH, 24" CLEAR HEIGHT, 5.7 SQ. FT. MIN. 44" A.F.F.
- PROVIDE A MIN. 200 SQUARE INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFCB 406.3.7.
- PROVIDE MOISTURE RESISTANT GYP BOARD AT BATHROOM WALLS AND SOFFIT, PRIMED AND PAINTED PER OWNER SELECTION. PROVIDE CEMENTITIOUS BACKING BOARD WHERE REQ'D FOR TILE INSTALLATION. ASSEMBLIES PER TILE COUNCIL OF AMERICA STANDARD DETAILS.
- (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
- EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF TABLE 403.7 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT OUTSHEET FOR APPROVAL PRIOR TO INSTALLATION (50 CFM MIN.).
- HARDWIRED SMOKE ALARM WITH BATTERY BACKUP. ALL NEW SMOKE ALARMS TO COMPLY WITH CBC SECTIONS: 907.2.10.1.2 FOR LOCATION, 907.2.10.2 TO BE HARD-WIRED WITH BATTERY BACKUP, 907.2.10.3 FOR INTERCONNECTION.
- PROVIDE CA STATE FIRE MARSHALL APPROVED CARBON MONOXIDE ALARM OUTSIDE OF EACH SLEEPING AREA AND ON EACH LEVEL. ALARMS TO BE HARDWIRED WITH BATTERY BACKUP. MAY BE COMBINED SMOKE/CARBON MONOXIDE ALARM.
- DIRECT VENT APPLIANCES SHALL BE VENTED ACCORDING TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL COMPLY WITH CMC 802.2.4 & SFCM 802.2.4 GAS VENT TERMINATION PER CMC 802.6. & SFCM 802.6.2 THROUGH WALL VENT TERMINATION PER SFCM 802.8
- STEEL DUCTS NOT LESS THAN 0.019 IN. IN DUCT THICKNESS AND NO OPENINGS IN GARAGE PER CBC 406.3.4.3
- PROVIDE COMBUSTION AIR OPENING FROM OUTSIDE FOR FURNACES AND WATER HEATERS PER CMC 701.10(3), 701.10(6), CMC 701.10(7) AND ALL OTHER APPLICABLE CODES. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
- WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. EXHAUST SHALL BE A MIN. OF 4" Ø DUCT, TERMINATE TO THE OUTSIDE OF THE BUILDING 3' FROM ANY OPENING OR PL PER CMC 504.5, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4. PROVIDE 100 SQ.IN. MIN. MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
- 1-HR FIRE RATED CEILING UNDER STAIR.
- AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT ALL RECEPTACLES IN DWELLING AREAS WITH BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE 15 AND 20-AMPERE RECEPTACLE OUTLETS. 2013 CEC SECTION 210-12(b). ARC FAULT CIRCUIT INTERRUPTER REQUIREMENTS:
 - THE BEDROOM BRANCH CIRCUIT(S) SHALL BE RUN SEPARATELY FROM ALL OTHER BRANCH CIRCUITS. THE RACEWAYS OR CABLE ASSEMBLIES SHALL NOT TERMINATE INTO ANY JUNCTION BOX (OTHER THAN THE PANEL BOARD) WHERE OTHER CIRCUIT CONDUCTORS ARE LOCATED.
 - THE BEDROOM BRANCH CIRCUIT CONDUCTORS SHALL BE PERMANENTLY IDENTIFIED AT THE POINT OF ENTRY TO THE PANEL BOARD.
 - THE AFCI BREAKER SHALL BE A LISTED AND APPROVED DEVICE INSTALLED IN AN APPROVED PANEL BOARD IN ACCORDANCE WITH ITS LISTING.
 - OTHER OUTLETS WITHIN THE DWELLING UNIT MAY BE CONNECT TO THE AFCI PROTECTED BRANCH CIRCUIT; HOWEVER, THE SAME WIRING METHODS AS REQUIRED ABOVE FOR BEDROOMS SHALL BE USED.
- PROVIDE R-13 INSULATION AT 2x4 WALLS, R-19 AT 2x6 WALLS AND INSULATION UNDER FLOOR, R-30 INSULATION AT ROOF OR AS REQUIRED BY TITLE 24 ENERGY CALCULATIONS.
- DOMESTIC RANGE AND COOK TOP UNIT INSTALLATION PER MFR.'S INSTRUCTIONS AND VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 AND COMPLY WITH CMC TABLE 403.7.
- SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL. FINISH TO MATCH #4 FINISH, NO ORANGE PEEL, NO TEXTURE. TYP ALL FINISHES.
- ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
- HEATING VENT LOCATIONS TO BE COORDINATED BY G.C. & MECHANICAL CONTRACTOR. VERIFY WITH ARCHITECT/OWNER PRIOR TO INSTALLATION.
- G.C. AND PLUMBING CONTRACTOR TO CONFIRM DEPTH OF (E) SANITARY SEWER LINE AS STREET, REPLACE UP TO POINT OF CONNECTION AS NEEDED, OR PROVIDE SUMP AND EJECTOR PUMP WHERE PERMITTED BY CODE.
- 2016 CALIFORNIA RESIDENTIAL CODE 18.10.100 APPENDIX C, FIGURE C AMENDED - EXIT TERMINALS OF MECHANICAL DRAFT AND DIRECT VENT VENTING SYSTEMS.
- WHERE THE PROPERTY LINE IS LESS THAN 10 (10) FEET FROM THE EXIT TERMINAL OF ANY NEWLY INSTALLED OR REPLACEMENT HIGH EFFICIENCY MECHANICAL EQUIPMENT THE PIPE SIZE OF THE FINAL TEN (10) FEET OF ANY TERMINAL MUST BE INCREASED TO THREE INCHES (3") OR, AS AN ALTERNATIVE, MANUFACTURER-APPROVED BAFFLES MUST BE INSTALLED.
- PROVIDE LIGHTING AT ALL EXTERIOR LANDINGS. 2016 CBC §1008.2 AND 2016 CBC §1205.4 (ORD. 1856 §7, (2010); ORD. 1889 §8, (2013))

DRAWING LEGEND:

- EXISTING WALLS
- NEW WALL
- 1-HR RATED WALL

GRAPHIC SCALE



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1457 EL CAMINO REAL

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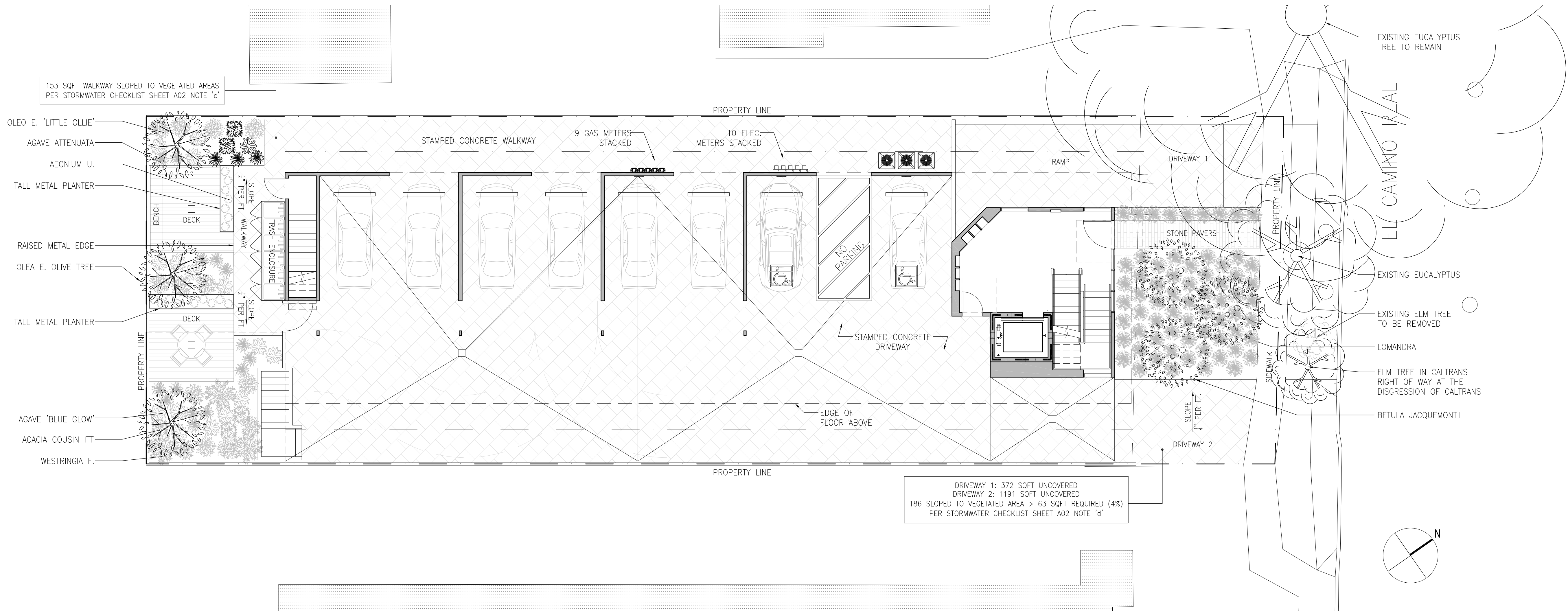
CONSULTANT

APPROVAL

	DRAWN:
	SC
	CHECKED:
	TK
	SCALE:
	1/4"=1'-0"

ENLARGED FLOOR PLANS

A4.4



2 FIRST FLOOR LANDSCAPE PLAN (AT GRADE)
SCALE: 1/8" = 1'-0"

PLANTING NOTES

1. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICES ADMINISTRATION PRIOR TO EXCAVATION AND GRADING.
2. ALL PLANTING AREAS SHALL BE CLEARED OF WEEDS AND OTHER DEBRIS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHICH EXISTING PLANTS ARE TO REMAIN. EXISTING PLANTS TO BE REMOVED SHALL BE VERIFIED WITH OWNER PRIOR TO REMOVAL. ALL IVY IN PROJECT AREA SHALL BE REMOVED; IVY SHALL BE SPRAYED WITH HERBICIDE TWO WEEKS PRIOR TO REMOVAL.
3. REMOVAL OF EXISTING TREES SHALL BE CONFIRMED WITH THE LANDSCAPE ARCHITECT AND OWNER IN THE FIELD PRIOR TO REMOVAL. EACH TREE TO BE REMOVED SHALL HAVE A RED OR ORANGE TAPE SECURED TO A BRANCH, AND THE TRUNK SHALL BE CLEARLY MARKED WITH PAINT OF THE SAME COLOR. THE CONTRACTOR SHALL SUPPLY THE MATERIALS FOR MARKING THE TREES AND COORDINATE WITH THE LANDSCAPE ARCHITECT. THE TREE STUMPS AND ROOTS SHALL ALSO BE REMOVED, AND SURROUNDING SURFACE RE-GRADED AND RESTORED.
4. SOIL TESTING SHALL BE UNDERTAKEN BY THE CONTRACTOR, AND PERFORMED BY A CERTIFIED LABORATORY. A COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT. RECOMMENDATIONS FOR AMENDMENTS AND FERTILIZATION SHALL REFLECT THE NUTRIENT REQUIREMENTS OF SPECIFIED PLANT SPECIES.
5. SOIL AMENDMENTS SHALL BE FREE OF DEBRIS SUCH AS LITTER, BROKEN CLAY POTS, AND OTHER FOREIGN MATERIAL. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS SHALL HAVE THE FOLLOWING CONTENT: REDWOOD NITRIFIED COMPOST 40%, COARSE SAND 30%, BLACK TOPSOIL 30%.
6. PLANT HOLES SHALL BE DOUBLE THE SIZE OF THE CONTAINER (generally). THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH THE FOLLOWING MIXTURE: 80% TO 20% IMPORTED SOIL TO EXISTING SOIL.
7. SOIL BERMS SHALL BE FORMED AROUND ALL PLANTS 1 GALLON SIZE AND LARGER. BASINS SHALL BE MULCHED WITH A 2" LAYER OF BARK CHIPS, MINIMUM OF 1" IN SIZE.
8. ALL PLANTS SHALL BE FERTILIZED. FERTILIZER SHALL BE COMMERCIALY AVAILABLE TYPE, AGRIFORM OR EQUIVALENT. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
9. TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIAMETER POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
11. ROOT BARRIERS FOR ALL TREES WITHIN EIGHT FEET OF PAVEMENT SHALL BE INSTALLED. BARRIERS SHALL BE PLASTIC AND EXTEND COMPLETELY AROUND THE ROOT BALL. THE DIAMETER OF THE BARRIER SHALL BE 42". THE BARRIER SHALL EXTEND TO A DEPTH OF 24".
12. ESPALIER PLANTS SHALL BE FURNISHED WITH A PREMANUFACTURED WOOD TRELLIS. THE TRELLIS SHALL BE SECURELY FASTENED TO TWO PRESSURE TREATED 2" DIAMETER POLES.
13. PLANTING AREAS SHALL BE COVERED WITH A TWO INCH LAYER OF BARK CHIPS.

PLANT LIST: (USDA HARDINESS ZONE 10a)

BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS	WUCOLS FACTOR
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	13	5 GAL. @ 24" O.C.	PERENNIAL SHRUB	.2 (LOW)
AGAVE ATTENUATA	FOXTAIL AGAVE	17	5 GAL. @ 30" O.C.	PERENNIAL SHRUB	.2 (LOW)
OLEA E. 'LITTLE OLLIE'	LITTLE OLLIE DWARF OLIVE	13	5 GAL. @ 36" O.C.	EVERGREEN SHRUB	.2 (LOW)
WESTRINGIA FRUTICOSA 'SMOKEY'	SMOKEY COAST ROSEMARY	3	5 GAL. @ 48" O.C.	EVERGREEN SHRUB	.2 (LOW)
ACACIA COGNATA 'LIMELIGHT' RIVER WATTLE	COUSIN ITT RIVER WATTLE	5	1 GAL. @ 30" O.C.	EVERGREEN SHRUB	.2 (LOW)
AEONIUM ARBOREUM	TREE AEONIUM	17	1 GAL. @ 15" O.C.	SUCCULENT	.2 (LOW)
OLEA E. 'SWAN HILL'	SWAN HILL OLIVE TREE	3	24" BOX	EVERGREEN TREE	.2 (LOW)
BETULA JACQUEMONTII MULTI STEM	WHITE BARKED HIMALAYAN BIRCH	3	24" BOX	DECIDUOUS TREE	.85 (HIGH)
LOMANDRA LONGIFOLIA	BASKET GRASS	53	1 GAL @ 30" O.C.	DECIDUOUS PERENNIAL	.2 (LOW)

*NOTE: CONTRACTOR TO VERIFY QUANTITIES

AVERAGE WUCOLS FACTOR:
[(125 x .2) + (3 x .85)] / 128 = .2 WUCOLS AVERAGE FOR PROJECT
2 < .3 MAXIMUM ALLOWED

75% OF LANDSCAPE CONSISTS OF PLANTS THAT AVERAGE A WUCOLS PLANT FACTOR OF .3

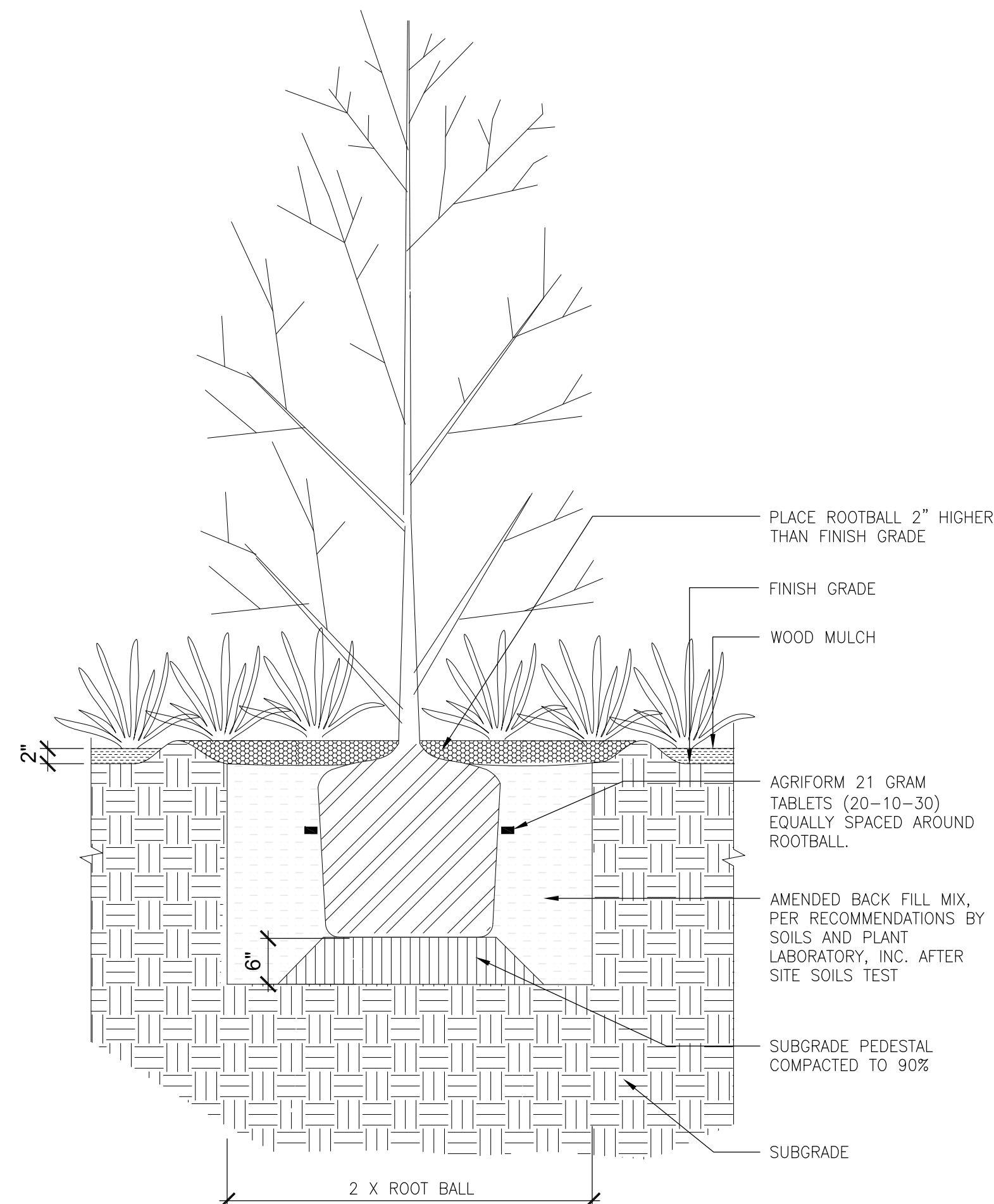
LANDSCAPING & IRRIGATION NOTES:

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OF ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS. NO TURF PERMITTED IN NON-RESIDENTIAL AREAS. TURF NOT PERMITTED ON SLOPES GREATER THAN 25%. TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.

AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.

MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY. AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY. FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ.FT OR MORE, PRIVATE SUB-METERS(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.



1 TREE PLANTING, TYPICAL
SCALE: 3/4" = 1'-0"

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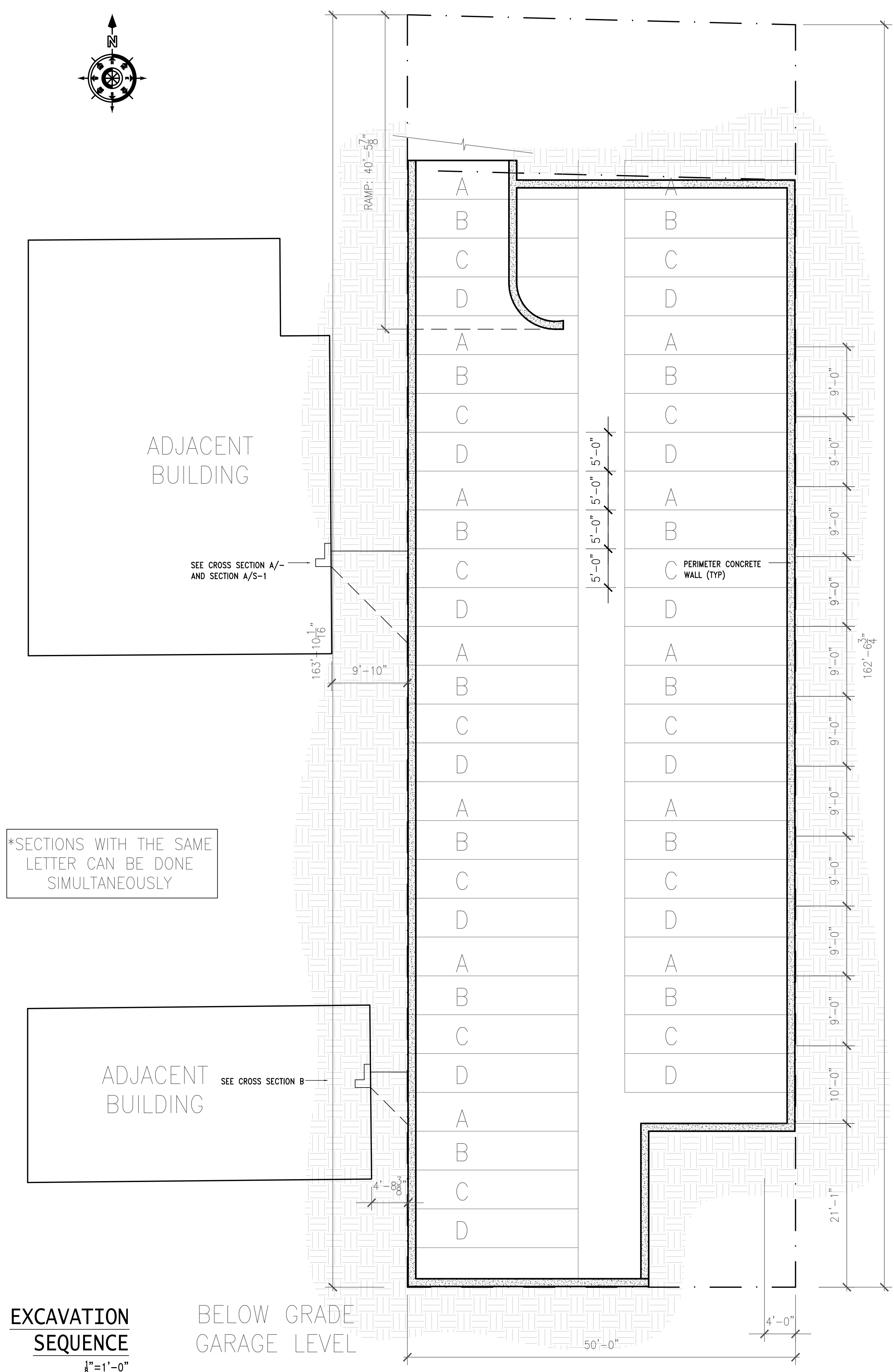
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	SCALE:

LANDSCAPE PLAN

L1.0

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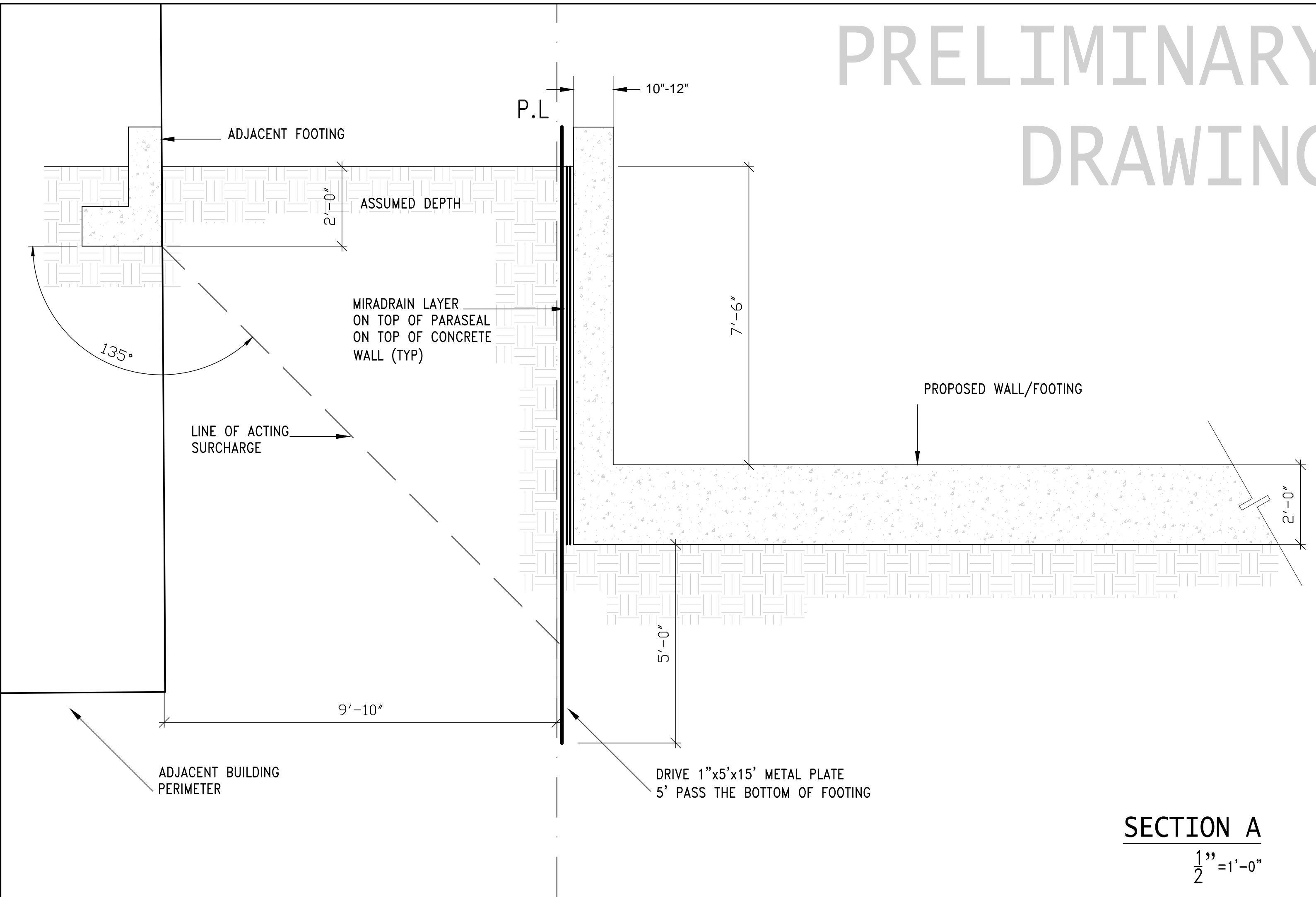
1457 EL CAMINO REAL



EXCAVATION
SEQUENCE
1"=1'-0"

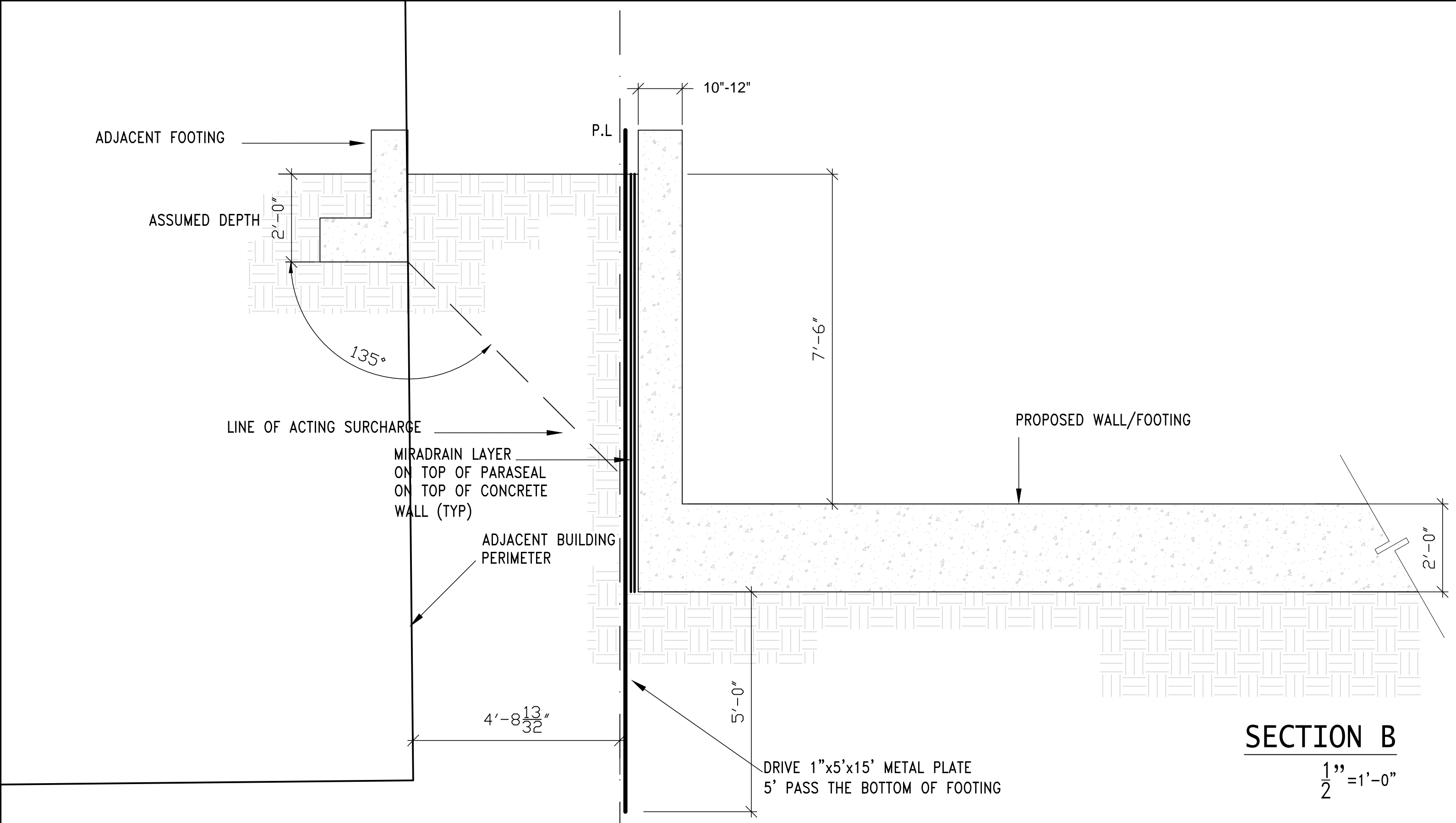
BELOW GRADE
GARAGE LEVEL

PRELIMINARY
DRAWING



SECTION A

$\frac{1}{2}'' = 1'-0''$



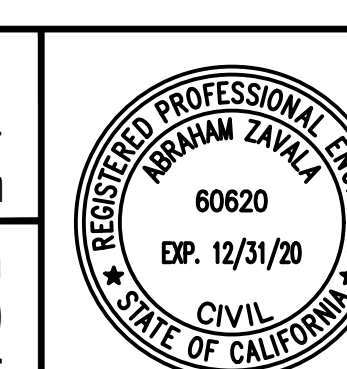
SECTION B


$\frac{1}{2}'' = 1'-0''$



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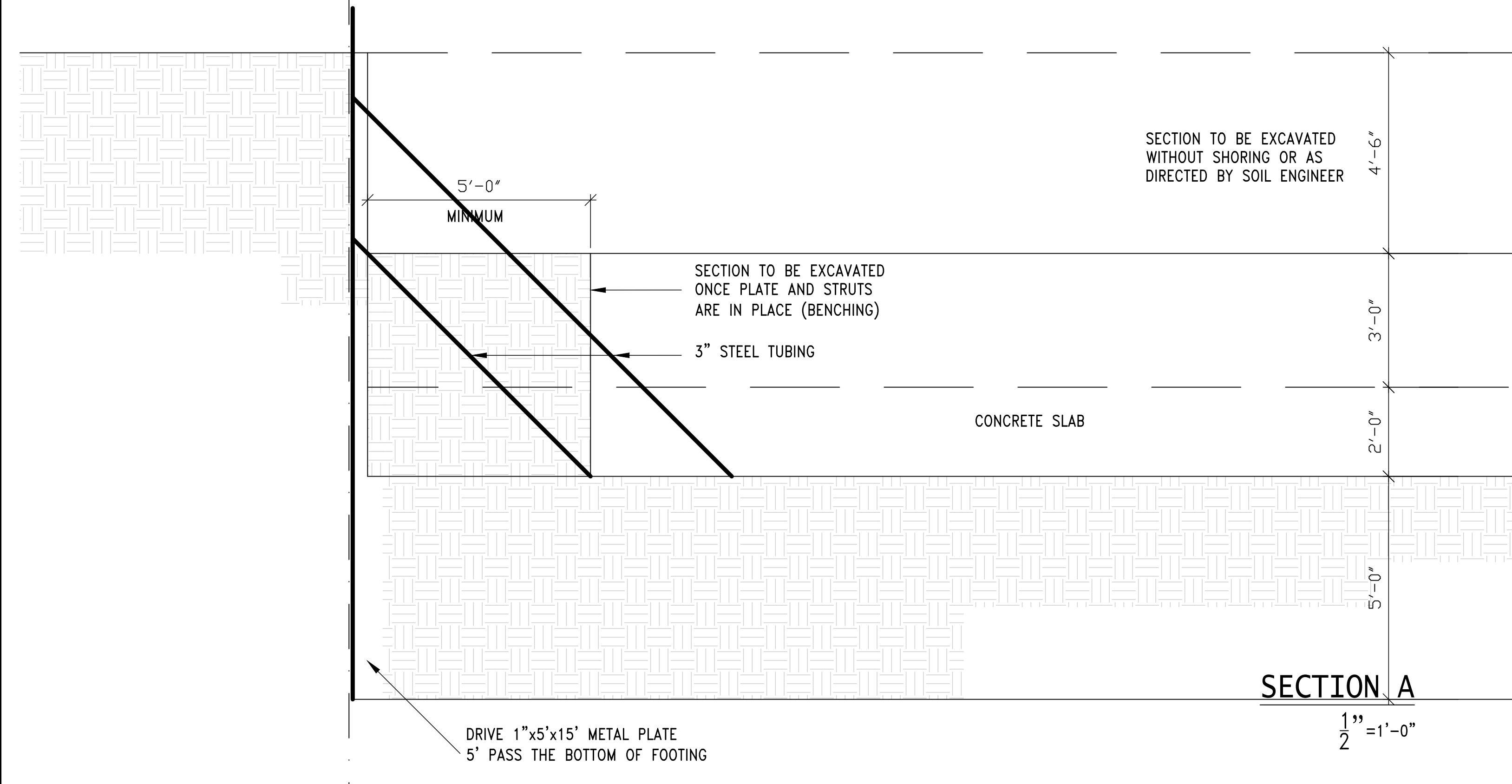
RESIDENTIAL CONDOMINIUM BUILDING
1457 EL CAMINO REAL, BURLINGAME CA 94010
A.P.N 026-013-050 LOT SIZE 8,160 SQF



	REVISION/DATE	
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S-0

PRELIMINARY
DRAWING



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S-1