

# 220 PARK ROAD BURLINGAME, CA



## PLANNING RESUBMITTAL 10.14.2020

### PROJECT TEAM:

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220 PARK ROAD

SARES REGIS

DOSTART  
DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

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ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.30.2020	PLANNING SUBMITTAL
△	06.22.2020	PLANNING RESUBMITTAL #1
△	08.17.2020	PLANNING RESUBMITTAL #2

PROJECT NUMBER  
19034

SHEET TITLE  
**COLOR RENDERING  
VIEW FROM PARK ROAD**

SCALE  
NTS



SHEET NUMBER



**A0.3**

220 PARK ROAD

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PROJECT NUMBER  
19034

SHEET TITLE  
**COLOR RENDERING  
VIEW FROM LORTON AVENUE**

SCALE  
NTS



SHEET NUMBER

**A0.4**

220 PARK ROAD

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SHEET TITLE  
**COLOR RENDERING  
VIEW FROM LORTON AVENUE**

SCALE  
NTS



SHEET NUMBER

**A0.5**

220 PARK ROAD

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(1) VIEW FROM HOWARD AVE & LORTON AVE



(2) VIEW FROM HOWARD AVE & PARK ROAD



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

SHEET TITLE  
**PEDESTRIAN VIEWS**

SCALE  
NTS

SHEET NUMBER

**A3.5**

220 PARK ROAD

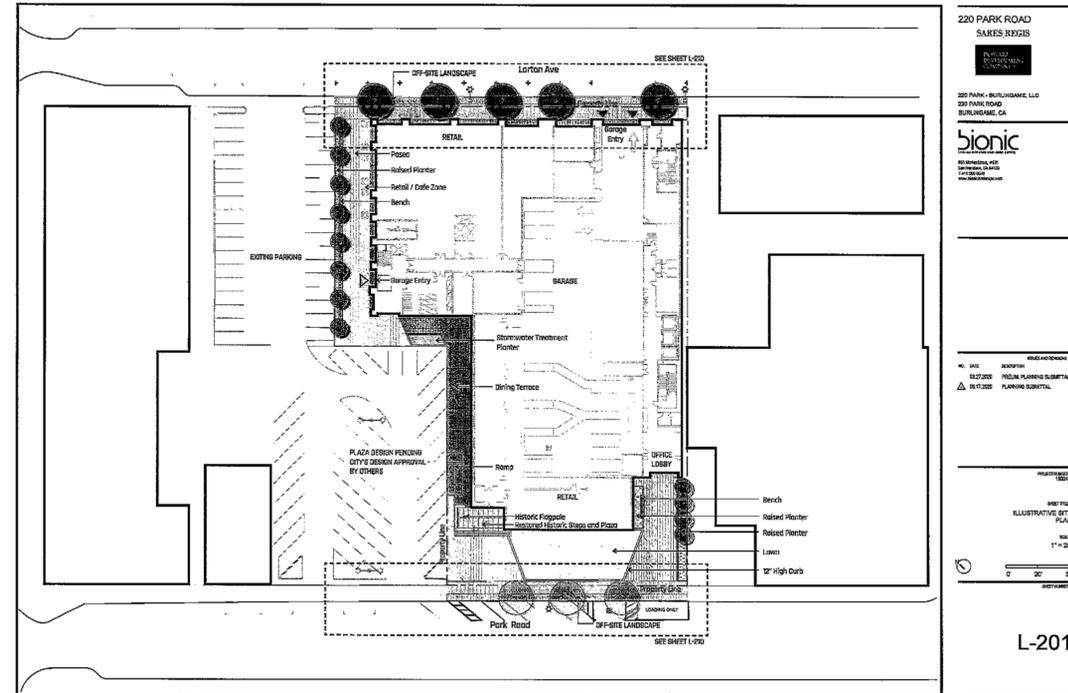
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COMPANY, LLC

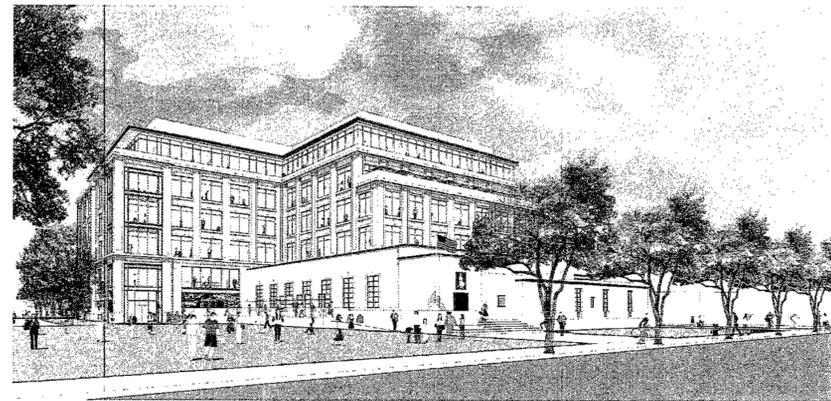
220 PARK - BURLINGAME, LLC  
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BURLINGAME, CA



PLANNING RESUBMITTAL  
06.22.2020

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ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
△	06.22.2020	PLANNING RESUBMITTAL #1
△	08.17.2020	PLANNING RESUBMITTAL #2

PROJECT NUMBER  
19034

SHEET TITLE  
AMMR

SCALE  
AS NOTED

SHEET NUMBER

A0.11a

220 PARK ROAD

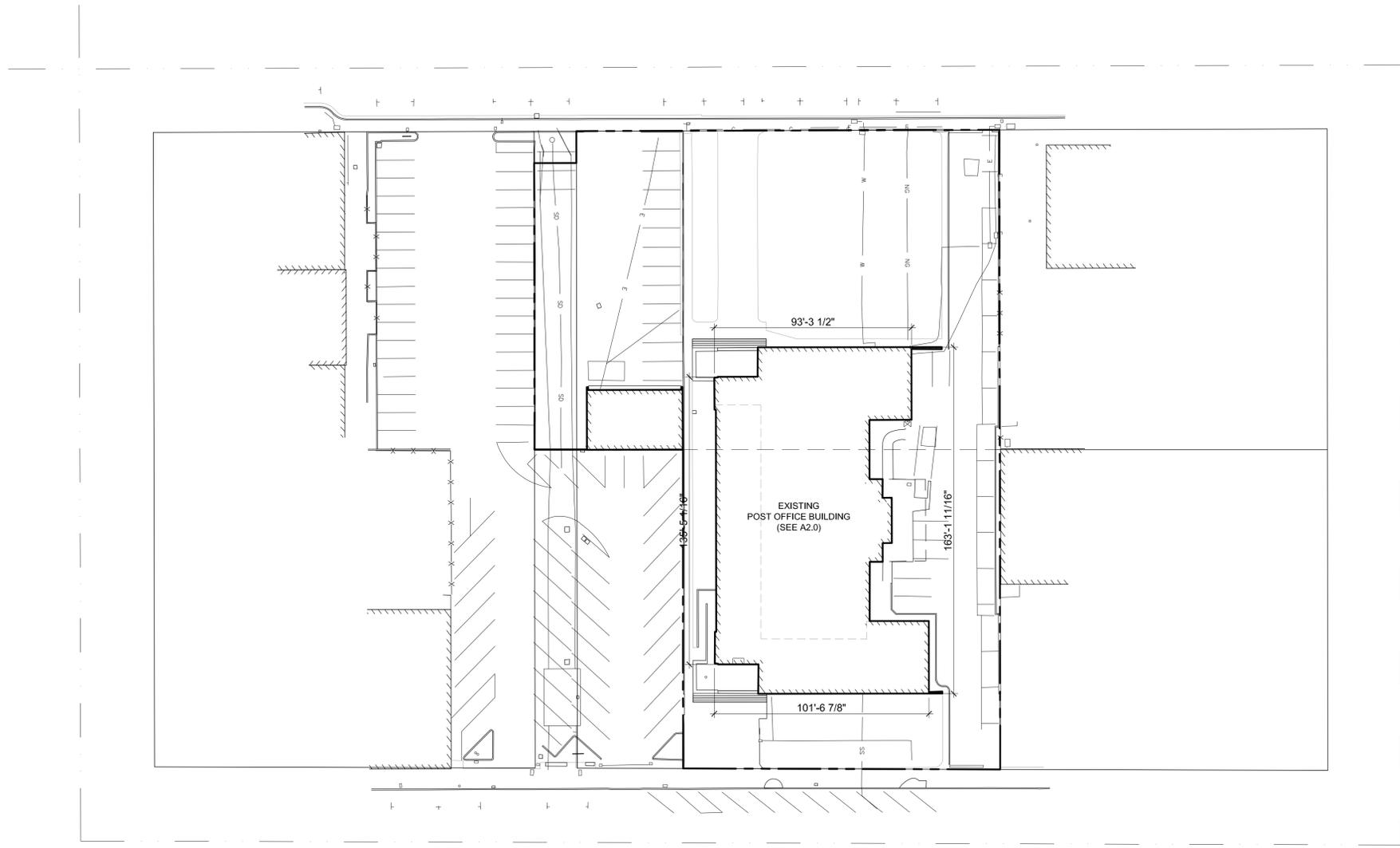
SARES REGIS

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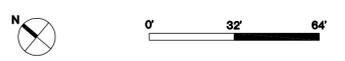


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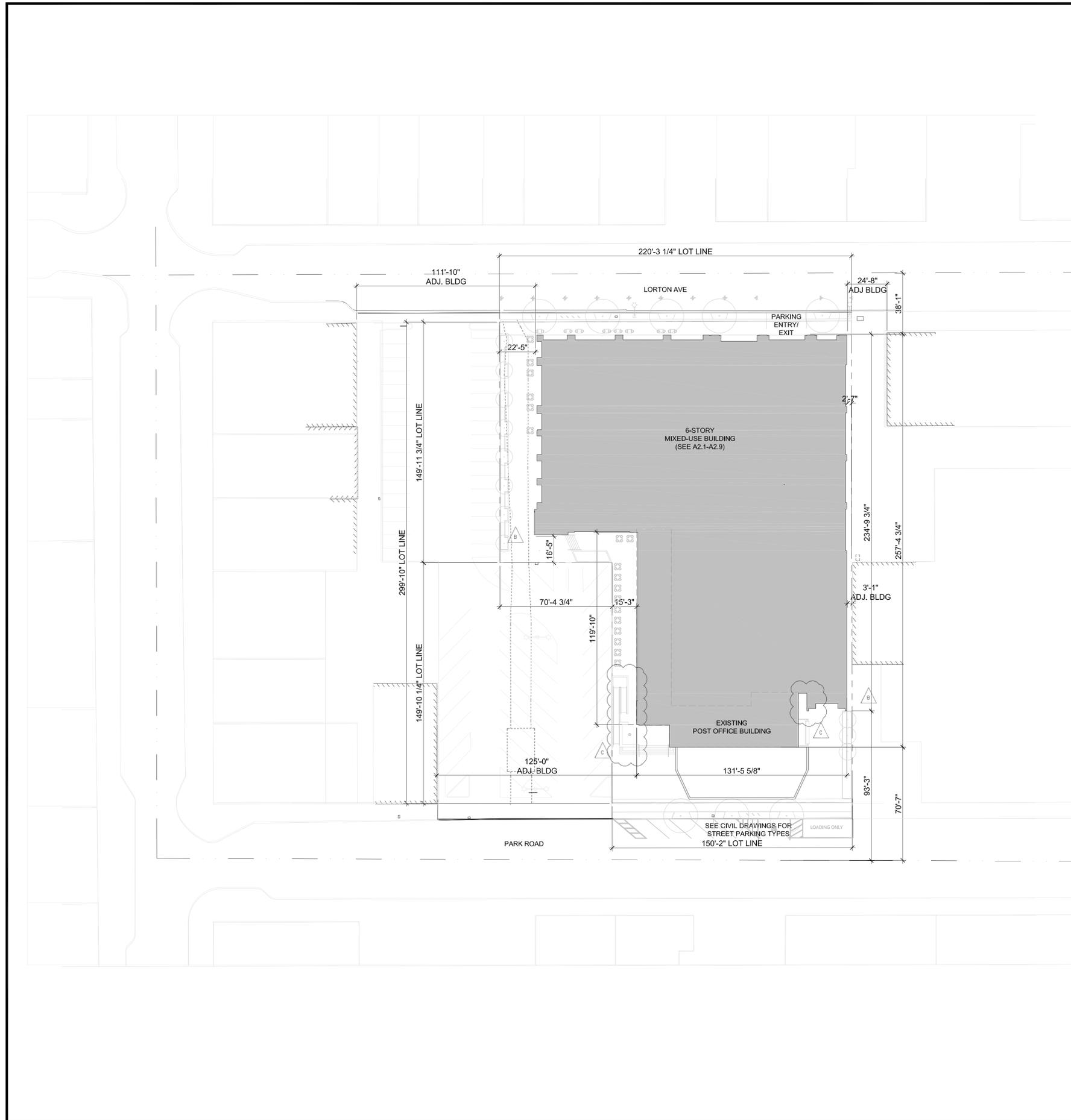
SHEET TITLE  
**EXISTING SITE PLAN**

SCALE  
1"=32'-0"



SHEET NUMBER

**A1.0**



**APPLICABLE CODES**

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLETING THE CONSTRUCTION OF THIS PROJECT IN ACCORDANCE WITH THE FOLLOWING FEDERAL, STATE AND LOCAL CODES, INCLUDING THEIR MOST RECENT AMENDMENTS AND REVISIONS.

THE CITY OF BURLINGAME ADOPTS THE FOLLOWING CODES, ORDINANCES, RULES AND REGULATIONS (INCLUDING ERRATA AND SUPPLEMENTS OF THE BELOW CODES):

A. 2019 CALIFORNIA BUILDING CODE  
 B. 2019 CALIFORNIA ELECTRICAL CODE  
 C. 2019 CALIFORNIA MECHANICAL CODE  
 D. 2019 CALIFORNIA PLUMBING CODE  
 E. 2019 CALIFORNIA ENERGY CODE  
 F. 2019 CALIFORNIA FIRE CODE  
 G. AMENDMENTS ADOPTED IN ORDINANCE 1889  
 H. 2019 CALIFORNIA HISTORICAL BUILDING CODE FOR PORTION OF EXISTING STRUCTURE/ POST OFFICE  
 I. ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS  
 J. 2019 CA BUILDING ENERGY EFFICIENCY STANDARDS (CEES)

**PROJECT DATA**

**PROJECT DESCRIPTION:**  
 220 PARK ROAD  
 APN: 029-204-250  
 ZONING: HMU

THE PROJECT CONSISTS OF AN OFFICE BUILDING OVER A PARKING STRUCTURE AND A PORTION OF THE EXISTING POST OFFICE. THE PARKING STRUCTURE HAS 2 BELOW GRADE LEVELS AND 1 LEVEL AT GRADE. THE BUILDING CONSISTS OF 5 OFFICE FLOORS (FLOORS 2-6) AND A GROUND FLOOR CONSISTING OF LOBBY, PARKING, AND RETAIL FUNCTIONS.

NO PUBLIC MONEY WILL BE USED TO CONSTRUCT THE PROJECT.

**PLANNING INFORMATION**

**1. TOTAL SITE COVERAGE**

SITE:	54,956	GSF
EXISTING FOOTPRINT:	4,840	GSF
BUILDING FOOTPRINT:	34,680	GSF
TOTAL FOOTPRINT	39,520	GSF
TOTAL LOT COVERAGE:	39,520 / 54,956	(72%)

**2. TOTAL GROSS FLOOR AREA (PROPOSED BLDG.)**

GROUND FLOOR:	34,680	GSF
SECOND FLOOR:	31,500	GSF
THIRD FLOOR:	28,600	GSF
FOURTH FLOOR:	28,740	GSF
FIFTH FLOOR:	27,318	GSF
SIXTH FLOOR:	23,780	GSF
TOTAL:	174,618	GSF

**3. TOTAL GROSS SQUARE FOOTAGE (EXISTING BLDG.)**

GROUND FLOOR:	4,840	GSF
TOTAL	4,840	GSF

**4. COMMERCIAL FLOOR AREAS (PROPOSED BLDG.)**

OFFICE	31,500	GSF
SECOND FLOOR:	28,600	GSF
THIRD FLOOR:	28,740	GSF
FOURTH FLOOR:	27,318	GSF
FIFTH FLOOR:	23,780	GSF
TOTAL:	139,938	GSF
RETAIL	4,840	GSF
EXIST. GROUND FLOOR:	4,840	GSF
PROP. GROUND FLOOR	7,562	GSF
TOTAL:	12,402	GSF

**5. TOTAL GROSS SQUARE FOOTAGE (ALL)**

TOTAL GSF	179,458	GSF
SITE:	54,956	GSF
BUILDING:	179,458	GSF
TOTAL F.A.R. PROPOSED:	3.26	

**6. TOTAL BUILDING HEIGHT**  
 BASED ON AVERAGE TOP OF CURB= 34.31'

	CIVIL ELEV (ARCH ELEVATION)	
ROOF SCREEN	132.81'	(98'-6")
ROOF	120.81'	(86'-6")
6TH FLOOR	106.81'	(72'-6")
5TH FLOOR	92.81'	(58'-6")
4TH FLOOR	78.81'	(44'-6")
3RD FLOOR	64.81'	(30'-6")
2ND FLOOR	50.81'	(16'-6")
GROUND AT (E) POST OFFICE	41.643'	(5'-4")
GROUND AT OFFICE ENTRY	36.31'	(2'-0")
GROUND AT GARAGE ENTRY	34.31'	(0'-0")
B1 LEVEL	22.81'	(-11'-6")
B2 LEVEL	12.31'	(-22'-0")

**7. TOTAL PARKING SPACES REQUIRED**

COMMERCIAL:	280	STALLS
	(139,938 GSF)	(2.0 / 1,000 SF)
TOTAL REQUIRED:	280	STALLS

**8. TOTAL PARKING SPACES PROVIDED**

LEVEL P2 (BELOW GRADE):	134	STALLS
LEVEL P1 (BELOW GRADE):	130	STALLS
GROUND FLOOR:	16	STALLS
TOTAL PROVIDED:	280	STALLS

**ACCESSIBLE STALLS PER**  
 CBC 11B-208.2 & CBC 2019 11B-208.2.4:  
 ACCESSIBLE VAN STALL 2  
 ACCESSIBLE STANDARD STALL 5  
 ACCESSIBLE VAN EV STALL 1  
 ACCESSIBLE STANDARD EV STALL 1  
 TOTAL ACCESSIBLE STALLS= 9

**CAVI/ EV STALLS PER CALGREEN 5.106.5.2**  
 280 X 8%= 23 STALLS TOTAL  
 EV CHARGERS PER  
 CALGREEN 5.106.5.3.3 & CBC 11B-228.3.2.1:  
 280 X 6%= 17 STALLS (SEE EV ACCESSIBLE ABOVE)  
 TOTAL CAV= 6 STALLS  
 TOTAL EV= 17 STALLS

**PER LEED GREEN VEHICLE STALLS**  
 280 X 5%= 14 STALLS

**BICYCLE PARKING PER CALGREEN 5.106.4.1.2**  
 280 X 5%= 14  
 SHORT TERM BICYCLE RACKS  
 280 X 5%= 14  
 LONG TERM BICYCLE LOCKERS  
 (SEE A2.3 FOR BIKE STORAGE ROOM)

**CONSTRUCTION HOURS**

WEEKDAYS: 8:00 AM- 7:00 PM  
 SATURDAYS: 9:00 AM-6:00 PM  
 SUNDAYS AND HOLIDAYS: NO WORK ALLOWED  
 (SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 18.07.10 & 13.04100 FOR DETAILS)

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 AM AND 5:00 PM.

**CODE ANALYSIS**

**A. USE AND OCCUPANCY** B. S-2, A-2, A-3  
 NON-SEPARATED OCC.  
 PER CBC 508.3.

**B. CONSTRUCTION TYPE** I-B, FULLY SPRINKLERED

**C. ALLOWABLE HEIGHT & AREA PER CBC 504 & 505**  
 TABULATED MAX HEIGHT: 12 STORIES / 180'-0"  
 TABULATED MAX AREA/FLR: UNLIMITED (A-2/A-3,B) 237,000 SF (S-2)

**D. PROPOSED HEIGHT & AREA**  
 STORIES ABOVE GRADE: 6 STORIES  
 MAXIMUM HEIGHT: 86'-6" (ROOF)  
 HIGHEST OCCUPIED FLOOR IS 72'-6" ABOVE  
 LOWEST LEVEL OF FIRE DEPARTMENT  
 VEHICLE ACCESS (GRADE EL. 33.28')  
 AREA PER FLOOR: SEE PLANNING INFO #2

**E. CONSTRUCTION FOR TYPE I-B (PER TABLE 601)**  
 PRIMARY STRUCTURAL FRAME: 2HR  
 BEARING WALLS:  
 EXTERIOR: 2 HR  
 INTERIOR: 2 HR  
 NON-BEARING WALLS AND PARTITIONS (INTERIOR):  
 0 HR  
 FLOOR CONSTRUCTION AND SECONDARY  
 MEMBERS: 2 HR  
 ROOF CONSTRUCTION AND SECONDARY MEMBERS:  
 1 HR

**F. FIRE SEPARATION DISTANCE**  
 FIRE RESISTANCE REQUIREMENTS FOR EXTERIOR  
 WALLS BASED ON FIRE SEPARATION DISTANCE  
 (CBC TABLE 602):  
 X < 5: 1HR  
 5 ≤ X < 10: 1HR  
 10 ≤ X < 30: 1 HR  
 X ≥ 30: 0 HR

PROVIDED FIRE SEPARATION DISTANCE:  
 PARK ROAD: 70'-7" (CENTERLINE OF STREET)  
 LORTON AVE: 38'-1" (CENTERLINE OF STREET)  
 LEFT SIDE: 22'-1" (INTERIOR LOT LINE)  
 RIGHT SIDE: 2'-8" (INTERIOR LOT LINE) \*\*  
 \* WHERE TABLE 705.8 PERMITS NONBEARING  
 EXTERIOR WALLS UNLIMITED AREA OF  
 UNPROTECTED OPENINGS, THE REQUIRED  
 FIRE-RESISTANCE RATING FOR THE  
 EXTERIOR WALLS IS 0 HOURS.  
 \*\* 1 HOUR RATED EXTERIOR WALL PROVIDED  
 ALONG RIGHT ELEVATION

**G. REQUIRED OPENING PROTECTION**  
 REQUIRED EXTERIOR WALL AND OPENING  
 PROTECTION (CBC TABLE 705.8)  
 MAX. AREA OF EXTERIOR WALL OPENINGS BASED  
 ON FIRE SEPARATION DISTANCE AND DEGREE OF  
 OPENING PROTECTION:  
 0 TO LESS THAN 3 FEET= UNPROTECTED AND  
 SPRINKLERED AREA NOT PERMITTED  
 15 TO LESS THAN 20 FEET= UNPROTECTED AND  
 SPRINKLERED AREA 75%  
 20 TO LESS THAN 25 FEET= UNPROTECTED AND  
 SPRINKLERED AREA NO LIMIT

**H. MIXED USE OCCUPANCY CALCULATION:**  
 FOR A-2, A-3, B- OCCUPANCIES,  
 AREA, HEIGHT, AND NUMBER OF STORIES IS UNLIMITED  
 MIXED OCC. DETERMINATION PER SEC. 506.2.4:  
 S-2 OCC: 14,700/237,000 = 0.062 < 3

THE TOTAL PROPOSED BUILDING AREA IS LESS THAN  
 THE ALLOWABLE AREA OF GROUP S-2 OCCUPANCY.  
 THIS ALLOWS FOR THE APPLICATION OF THE  
 NON-SEPARATED USE PROVISIONS TO ELIMINATE THE  
 OCCUPANCY SEPARATION BETWEEN THE GROUP S-2  
 OCCUPANCIES AND THE GROUP A AND B OCCUPANCY  
 AREAS.

**220 PARK ROAD**

SARES | REGIS

DOSTART  
 DEVELOPMENT  
 COMPANY, LLC

220 PARK - BURLINGAME, LLC  
 220 PARK ROAD  
 BURLINGAME, CA

**KSH ARCHITECTS**  
 KORTH SUNSERI HAGEY

349 SUTTER STREET  
 SAN FRANCISCO, CA 94108  
 TEL: 415.954.1960 FAX: 415.954.1970

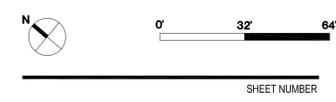
ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
03.30.2020		PLANNING SUBMITTAL
06.22.2020		PLANNING RESUBMITTAL #1
08.17.2020		PLANNING RESUBMITTAL #2
10.14.2020		PLANNING RESUBMITTAL #3

PROJECT NUMBER  
 19034

SHEET TITLE  
**PROPOSED SITE PLAN**

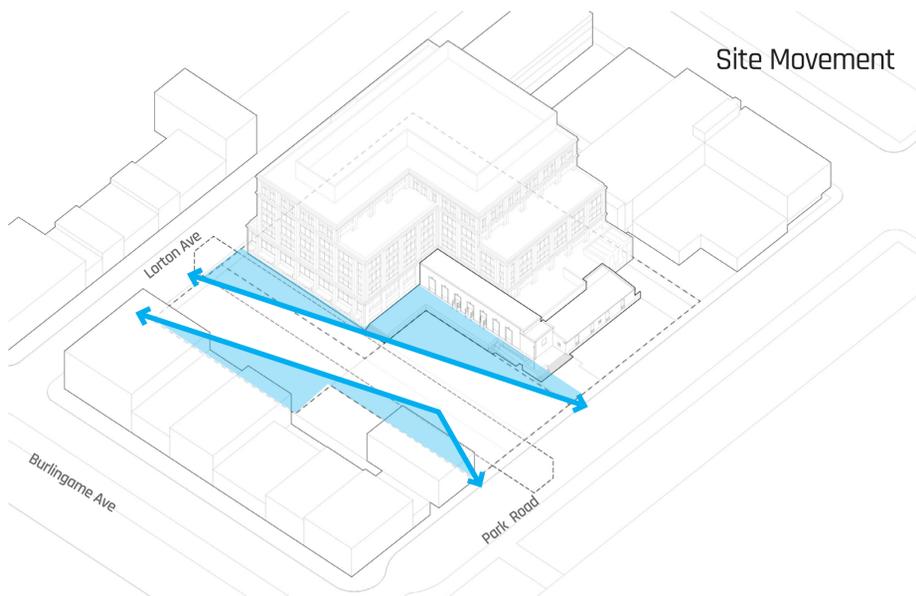
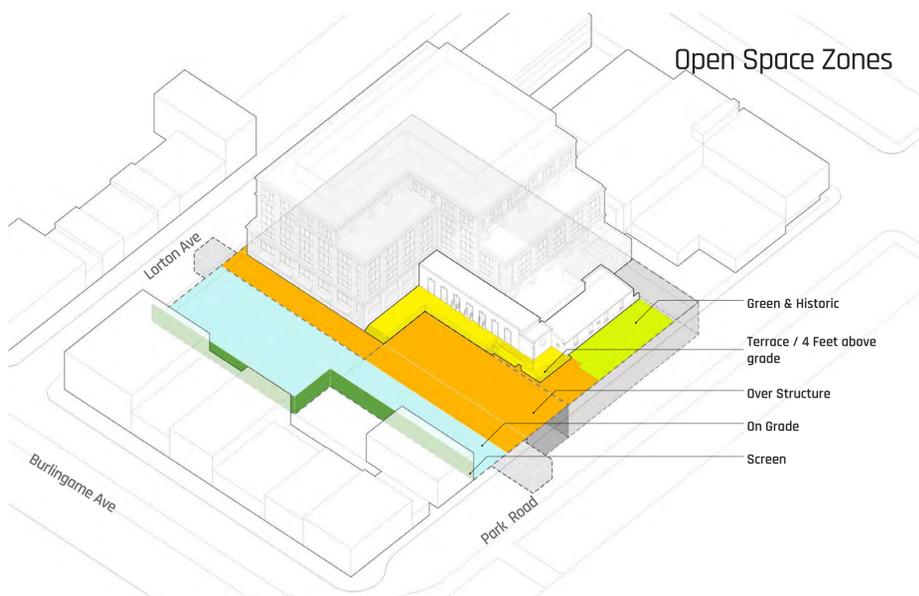
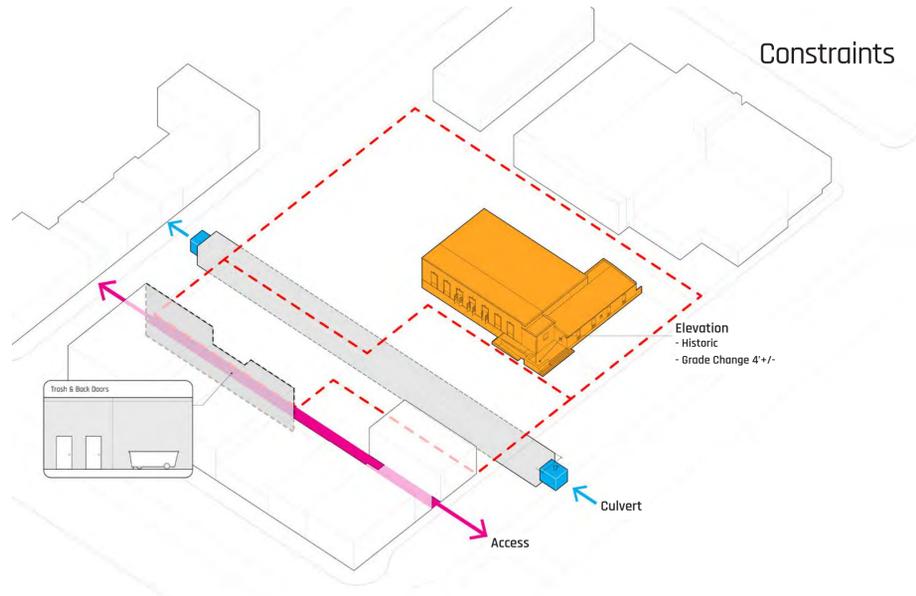
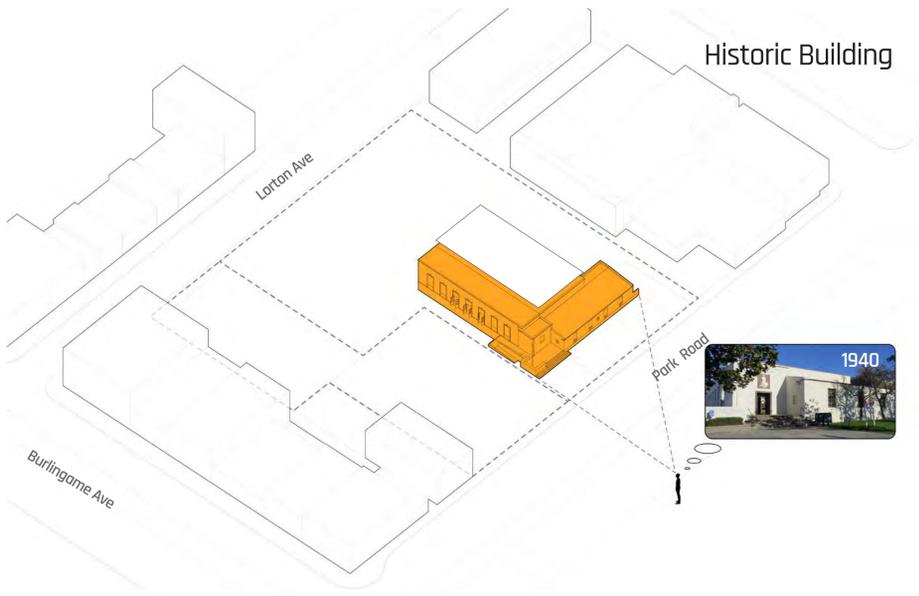
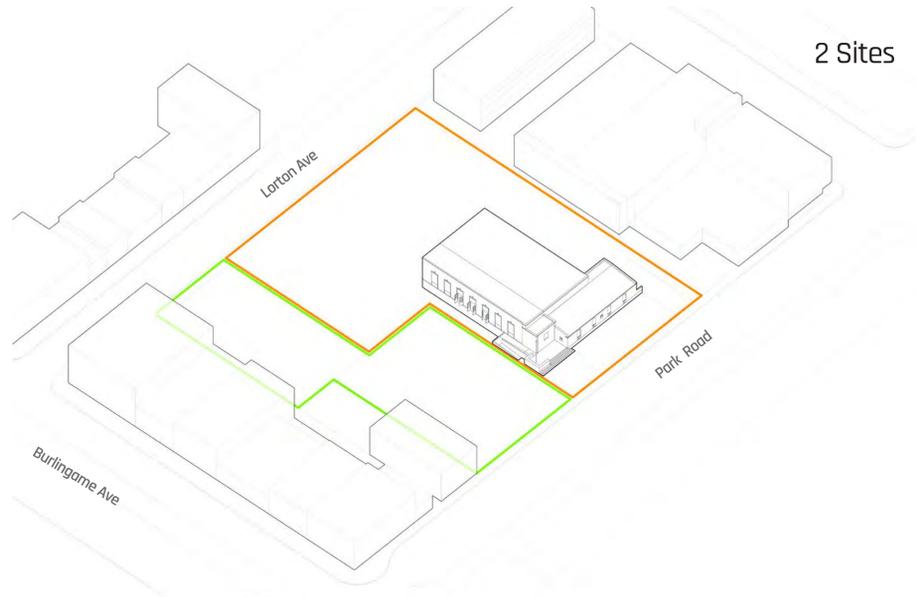
SCALE  
 1"=32'-0"



SHEET NUMBER

**A1.1**





220 PARK ROAD

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DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
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bionic  
landscape architecture urban design planning

833 Market Street, #601  
San Francisco, CA 94103  
T 415 206 0648  
www.bionicleandscape.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.27.2020	PRELIM. PLANNING SUBMITTAL
△	06.17.2020	PLANNING SUBMITTAL
△	08.17.2020	PLANNING SUBMITTAL
△	10.14.2020	PLANNING SUBMITTAL

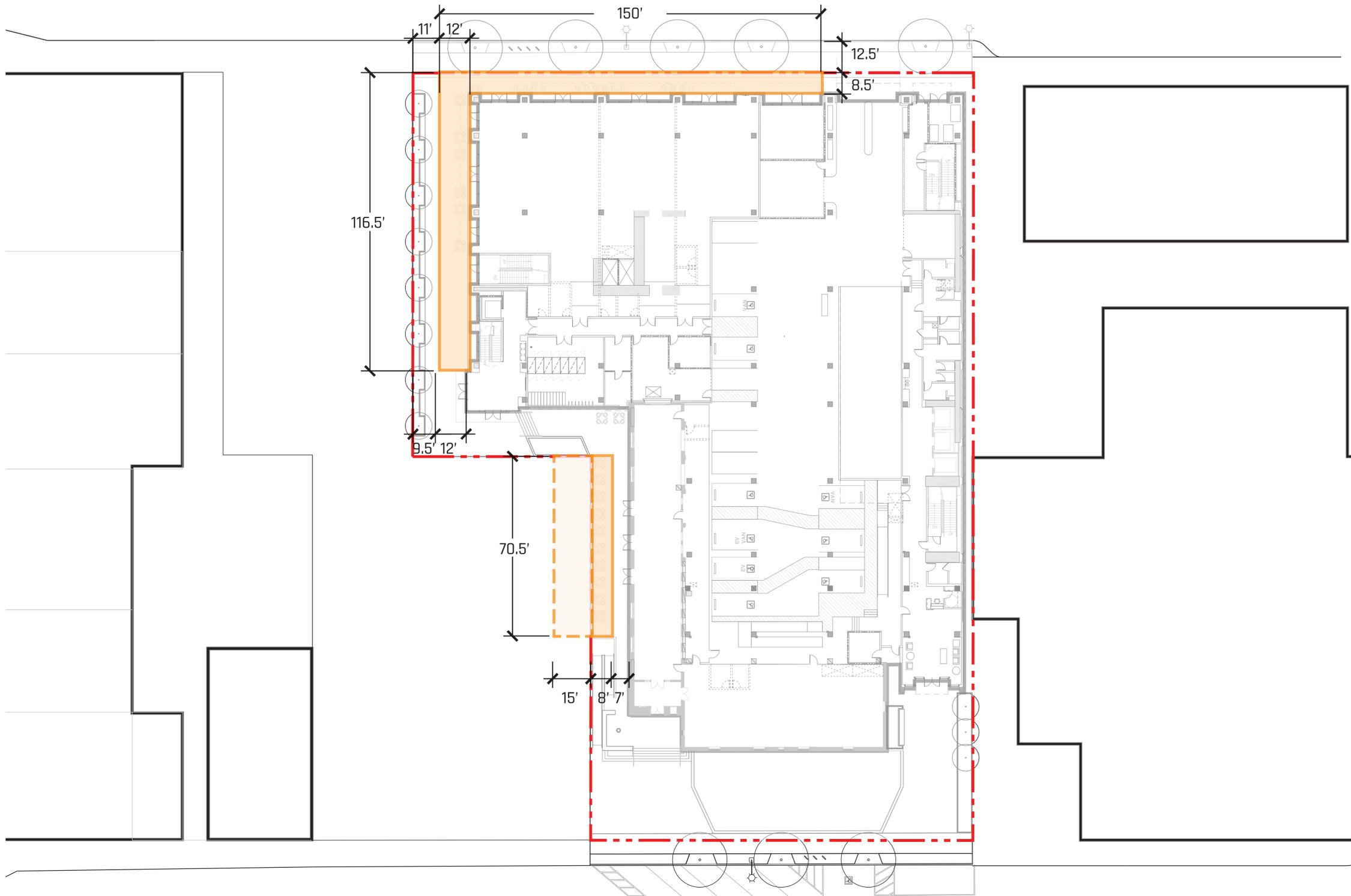
PROJECT NUMBER  
19034

SHEET TITLE  
FRAMEWORK PLAN

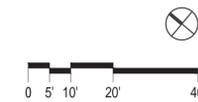
SCALE  
NTS

SHEET NUMBER

L-001



--- Property Line  
 ■ Outdoor Dining Zone



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.27.2020	PRELIM. PLANNING SUBMITTAL
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△	08.17.2020	PLANNING SUBMITTAL
△	10.14.2020	PLANNING SUBMITTAL

PROJECT NUMBER  
19034

SHEET TITLE  
OUTDOOR DINING  
ZONES

SCALE  
1"=20'

SHEET NUMBER

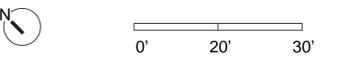
L-002

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.27.2020	PRELIM. PLANNING SUBMITTAL
△	06.17.2020	PLANNING SUBMITTAL
△	08.17.2020	PLANNING SUBMITTAL
△	10.14.2020	PLANNING SUBMITTAL

PROJECT NUMBER  
19034

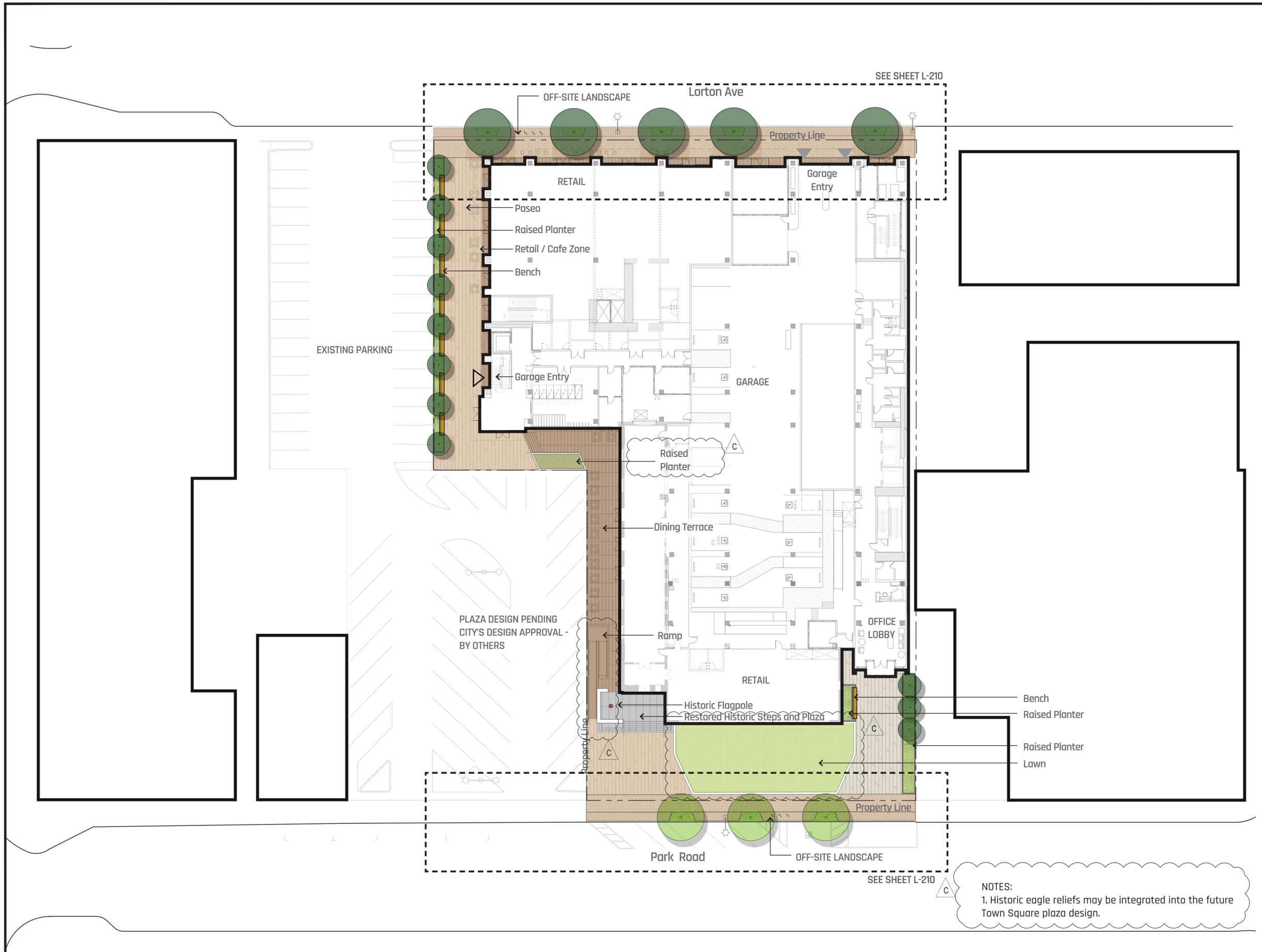
SHEET TITLE  
ILLUSTRATIVE SITE  
PLAN

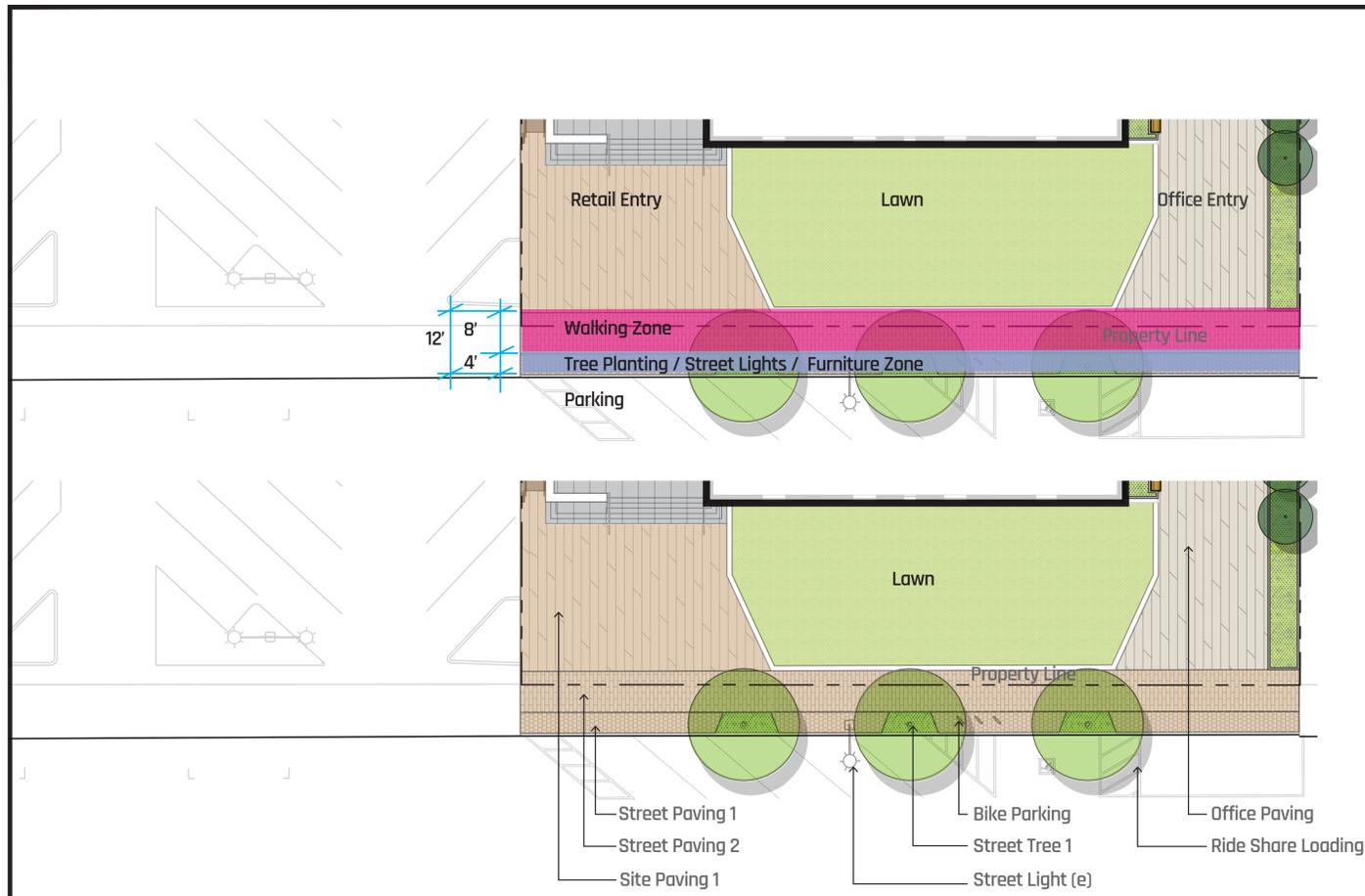
SCALE  
1" = 20'



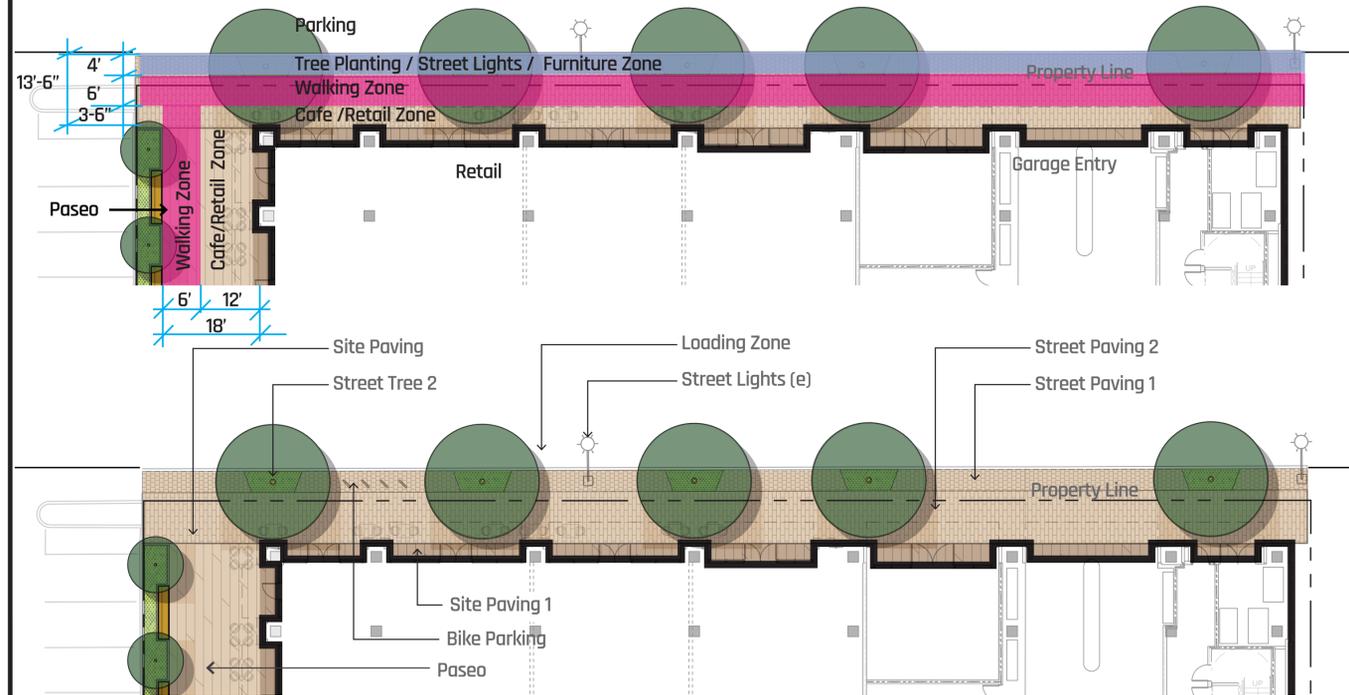
SHEET NUMBER

L-201

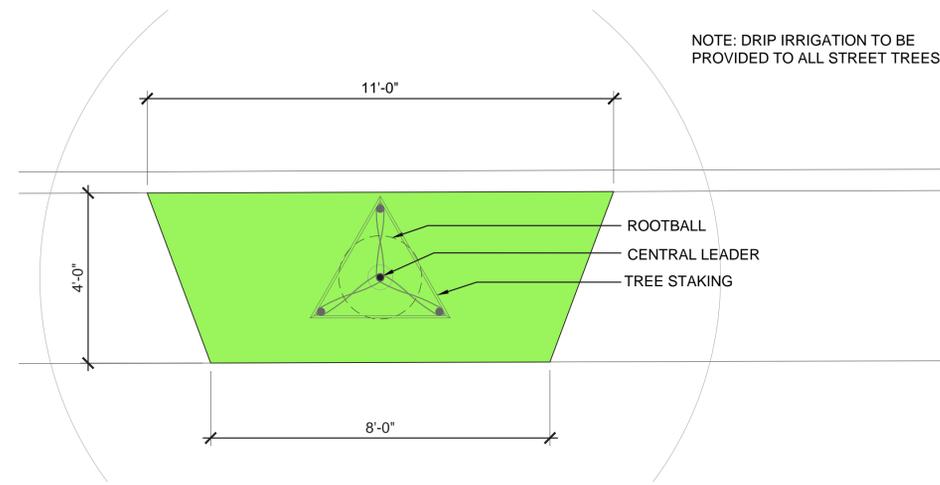




Streetscape - Park Road



Streetscape - Lorton Ave



Tree Well Plan Detail 1/2" = 1'-0"



Street Tree 1 (Park Road)  
Platanus acerifolia 'Columbia'



Street Tree 2 (Lorton Ave)  
'Armstrong' Red Maple



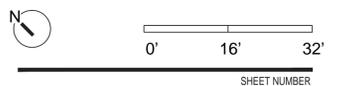
Streetscape Burlingame

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.27.2020	PRELIM. PLANNING SUBMITTAL
△	06.17.2020	PLANNING SUBMITTAL
△	08.17.2020	PLANNING SUBMITTAL
△	10.14.2020	PLANNING SUBMITTAL

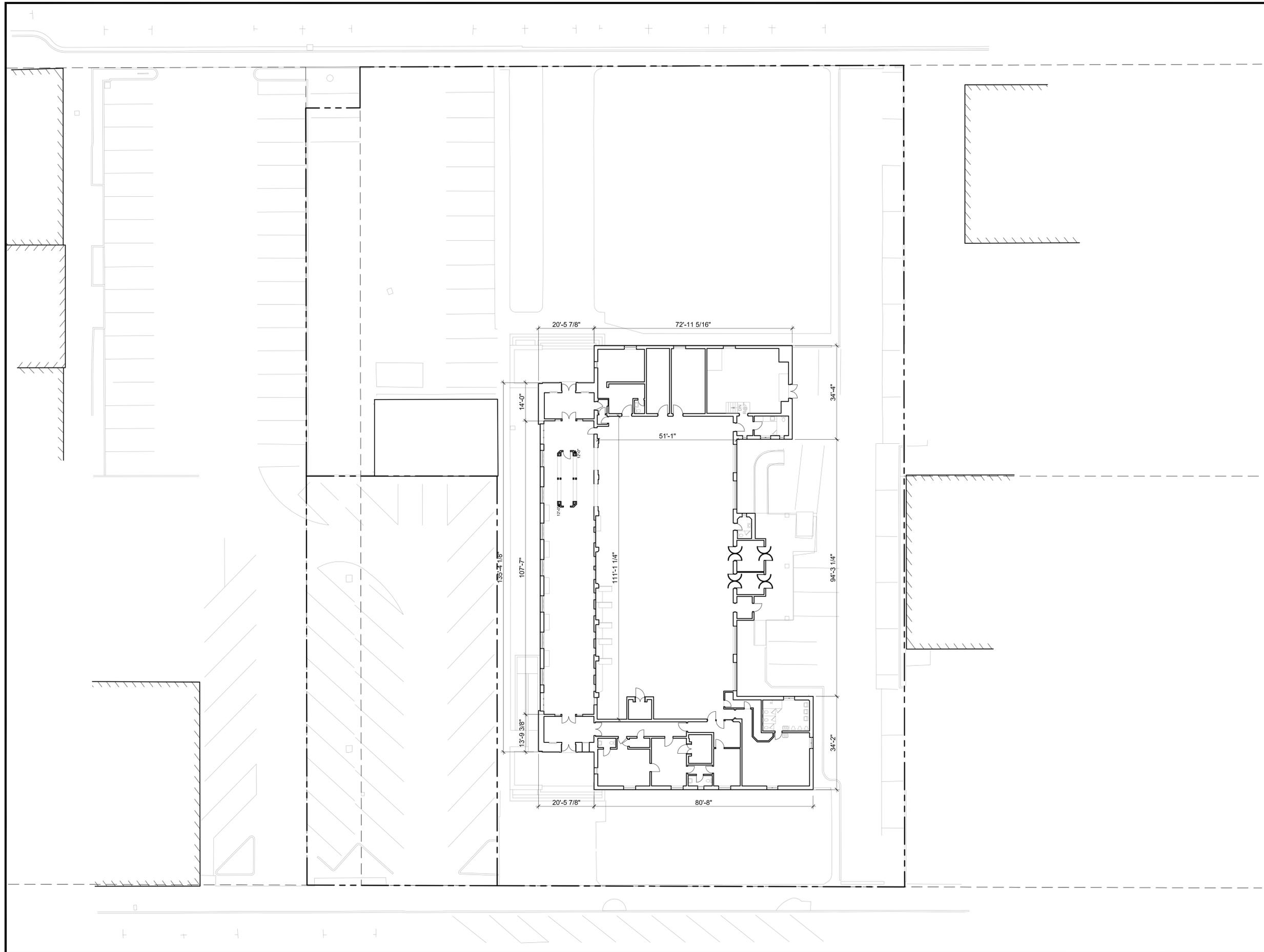
PROJECT NUMBER  
19034

SHEET TITLE  
STREETSCAPE LAYOUT AND MATERIAL

SCALE  
1/16" = 1'



L-210



220 PARK ROAD

SARES REGIS

DOSTART  
DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

**KSH ARCHITECTS**  
KORTH SUNSERI HAGEY

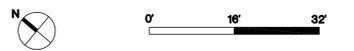
349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
TEL: 415.954.1960 FAX: 415.954.1970

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.30.2020	PLANNING SUBMITTAL

PROJECT NUMBER  
19034

SHEET TITLE  
**EXISTING FLOOR PLAN**

SCALE  
1"=16'-0"



SHEET NUMBER

**A2.0A**

LORTON AVE

PARK ROAD

DEMO LEGEND

- (E) WALL/CONSTRUCTION TO REMAIN
- (E) WALL/CONSTRUCTION TO BE DEMOLISHED
- (N) DOOR & FRAME TO REMAIN
- (E) DOOR & FRAME TO BE DEMOLISHED

SHEET NOTES

- 1 EXISTING EXTERIOR WALLS AND WINDOWS TO REMAIN, U.O.N. PATCH AND PREP AS REQUIRED.
- 2 EXISTING INTERIOR WALLS TO REMAIN. STRUCTURAL COLUMNS AND BEAMS TO REMAIN IN AREA. PATCH AND PREP AS REQUIRED. PROVIDE STRUCTURAL UPGRADES AS REQUIRED.
- 3 EXISTING SLAB AND TERRAZZO FLOORING TO REMAIN AND PROTECTED WITH FIRE RESISTANT VISQUEEN HOMOSOTE BOARD AND PLYWOOD PRIOR TO START OF DEMOLITION. NOTHING SHALL BE MECHANICALLY ATTACHED TO HISTORIC MATERIALS.
- 4 EXISTING FLAGPOLE, LANDING, AND PAVERS TO REMAIN AND PROTECTED IN PLACE.
- 5 EXISTING INTERIOR WINDOWS AND FINISHES TO REMAIN. PATCH AND PREP AS REQUIRED.
- 6 REMOVE (E) RAMP & PREPARE FOR (N) CONSTRUCTION
- 7 REMOVE (E) PORTION OF STRUCTURAL FRAME AND SLAB, ROOF, EXTERIOR WALLS, INTERIOR WALLS & ASSOCIATED DOORS/ FRAME, FINISHES AND MISC MILLWORK/ EQUIP/ FIXTURES
- 8 PORTION OF WINDOWS & SILL SHALL BE REMOVED IN FUTURE FOR (N) DOOR INSTALLATION.
- 9 DEMOLISH EXISTING BUILDING STRUCTURE AFTER REMOVAL OF EXISTING UTILITIES AND PORTIONS OF BUILDING TO BE SALVAGED.
- 10 PRECAST PAVERS TO BE SALVAGED SUBSTRUCTURE TO BE DEMOLISHED.
- 11 (E) ROOF STRUCTURE TO REMAIN. RETROFIT/ UPGRADE STRUCTURE AS REQUIRED.
- 12 PRECAST STAIRS AND RISERS TO BE SALVAGED, PACKAGED AND STORED FOR REUSE.
- 13 REMOVE NON HISTORIC PLASTERBOARD CAROUSEL
- 14 EXISTING MARBLE WAINSCOT TO REMAIN AND PROTECTED WITH FIRE RESISTANT VISQUEEN, HOMOSOTE BOARD AND PLYWOOD PRIOR TO START OF DEMOLITION. NOTHING SHALL BE MECHANICALLY ATTACHED TO HISTORIC MATERIALS.
- 15 ON THE EAST SIDE, PRECAST STAIRS & RISERS TO BE SALVAGED TO SUPPLEMENT POTENTIAL DAMAGE TO WEST STAIRS. SUBSTRUCTURE TO BE DEMOLISHED.
- 16 SALVAGE EAST ENTRY DOOR/ TRANSOM/ FRAME AND CRATE AND STORE FOR RELOCATION INSTALLATION. SALVAGE MARBLE FOR PATCHING OTHER AREAS.
- 17 SALVAGE (E) DOOR VAULT
- 18 DEMO EXISTING WALKWAY/ PAVING
- 19 SALVAGE THE LETTER RELIEF SCULPTURE ABOVE THE EAST ENTRY DOOR FOR RE-USE.
- 20 SALVAGE THE (3) CAST STONE EAGLE RELIEF UNDERNEATH THE WINDOWS ON THE EAST/ LORTON FACADE.
- 21 SALVAGE ROOF TILES ON THE EAST ELEVATION FOR POTENTIAL FILL-IN AS PART OF THE RECONSTRUCTION OF THE POSTMASTER WING ROOF.
- 22 (N) FUTURE OPENINGS/ DOORS
- 23 REMOVE PORTION OF WING WALL TO INCREASE WALKWAY WIDTH
- 24 RETROFIT EXISTING DOORS TO SWING IN DIRECTION OF EGRSS
- 25 (E) WING WALL TO REMAIN
- 26 SALVAGE MARBLE IN BATHROOMS

GENERAL NOTES

1. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS DISCOVERED DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL ISOLATE ANY AFFECTED AREAS AND CONTACT THE LANDLORD FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
2. PATCH REMAINING PORTIONS OF WALLS AND FINISHED SURFACES WHERE EXPOSED DUE TO DEMOLITION AS REQUIRED FOR NEW FINISHES.
3. REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIAL RESULTING FROM DEMOLITION OPERATIONS. COORDINATE EXACT DEBRIS BOX LOCATION WITH THE OWNER AND EXISTING TENANT.
4. MAINTAIN BUILDING SECURITY, ALL LIFE SAFETY/FIRE PROTECTION SYSTEMS AND EXIT PASSAGES AT ALL TIMES.
5. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, THE CONTRACTOR SHALL CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT PRIOR TO PROCEEDING.
6. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSION IN FLOORING SURFACE SUCH AS FASTENERS, OUTLET CORES, MOUNDED COVER PLATES, RESILIENT FLOORING, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC. ENSURE FLOOR IS SMOOTH AND LEVEL BEFORE APPLYING FINISH MATERIALS.
7. GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE START OF DEMOLITION.

220 PARK ROAD

SARES REGIS

DOSTART DEVELOPMENT COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

KSH ARCHITECTS  
KORTH SUNSERI HAGEY

349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
TEL: 415.954.1960 FAX: 415.954.1970

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
A	06.22.2020	PLANNING RESUBMITTAL #1
B	08.17.2020	PLANNING RESUBMITTAL #2
C	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

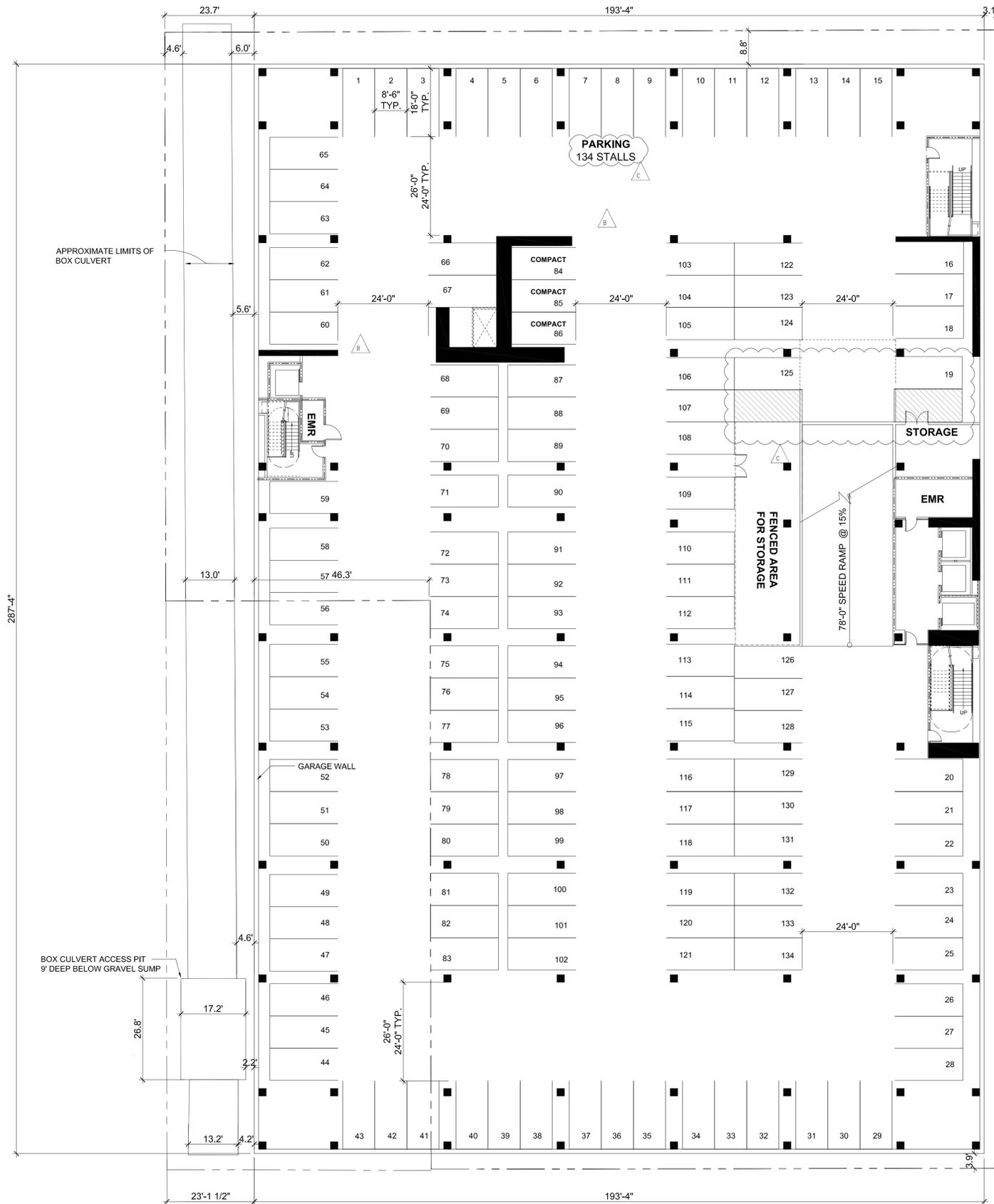
SHEET TITLE  
DEMO FLOOR PLAN

SCALE  
1"=16'-0"



SHEET NUMBER

A2.0B



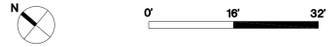
FLOOR GROSS SQUARE FOOTAGE:  
55,551 SF

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.30.2020	PLANNING SUBMITTAL
△	06.22.2020	PLANNING RESUBMITTAL #1
△	08.17.2020	PLANNING RESUBMITTAL #2
△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

SHEET TITLE  
**BELOW GRADE PARKING LEVEL 2**

SCALE  
1/16"=1'-0"



SHEET NUMBER

**A2.1**



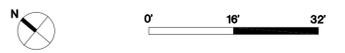
FLOOR GROSS SQUARE FOOTAGE:  
55,551 SF

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.30.2020	PLANNING SUBMITTAL
△	06.22.2020	PLANNING RESUBMITTAL #1
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△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

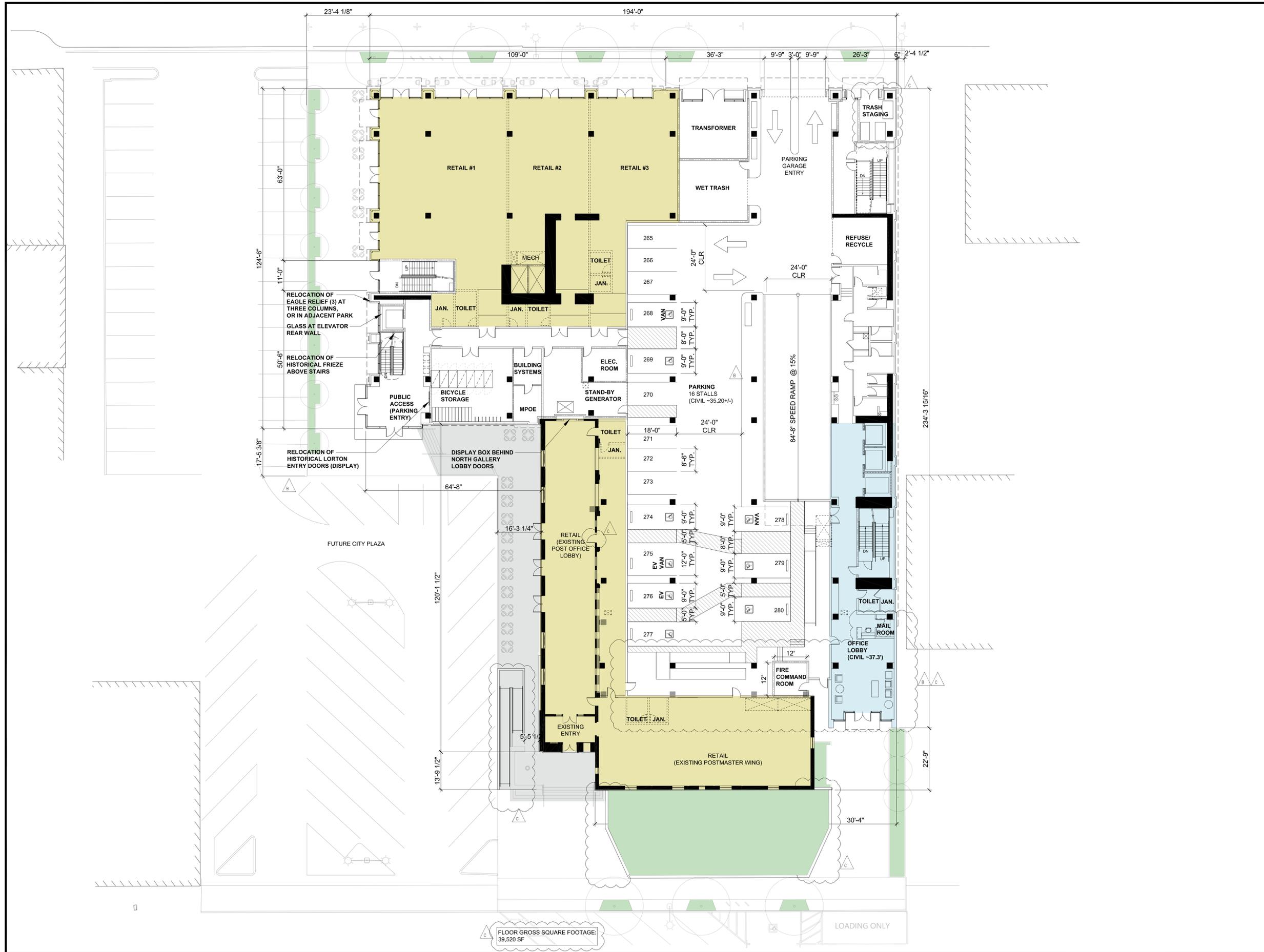
SHEET TITLE  
**BELOW GRADE PARKING LEVEL 1**

SCALE  
1/16"=1'-0"



SHEET NUMBER

**A2.2**



220 PARK ROAD

SARES REGIS

DOSTART  
DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

**KSH ARCHITECTS**  
KORTH SUNSERI HAGEY

349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
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ISSUES AND REVISIONS		
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△ C	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

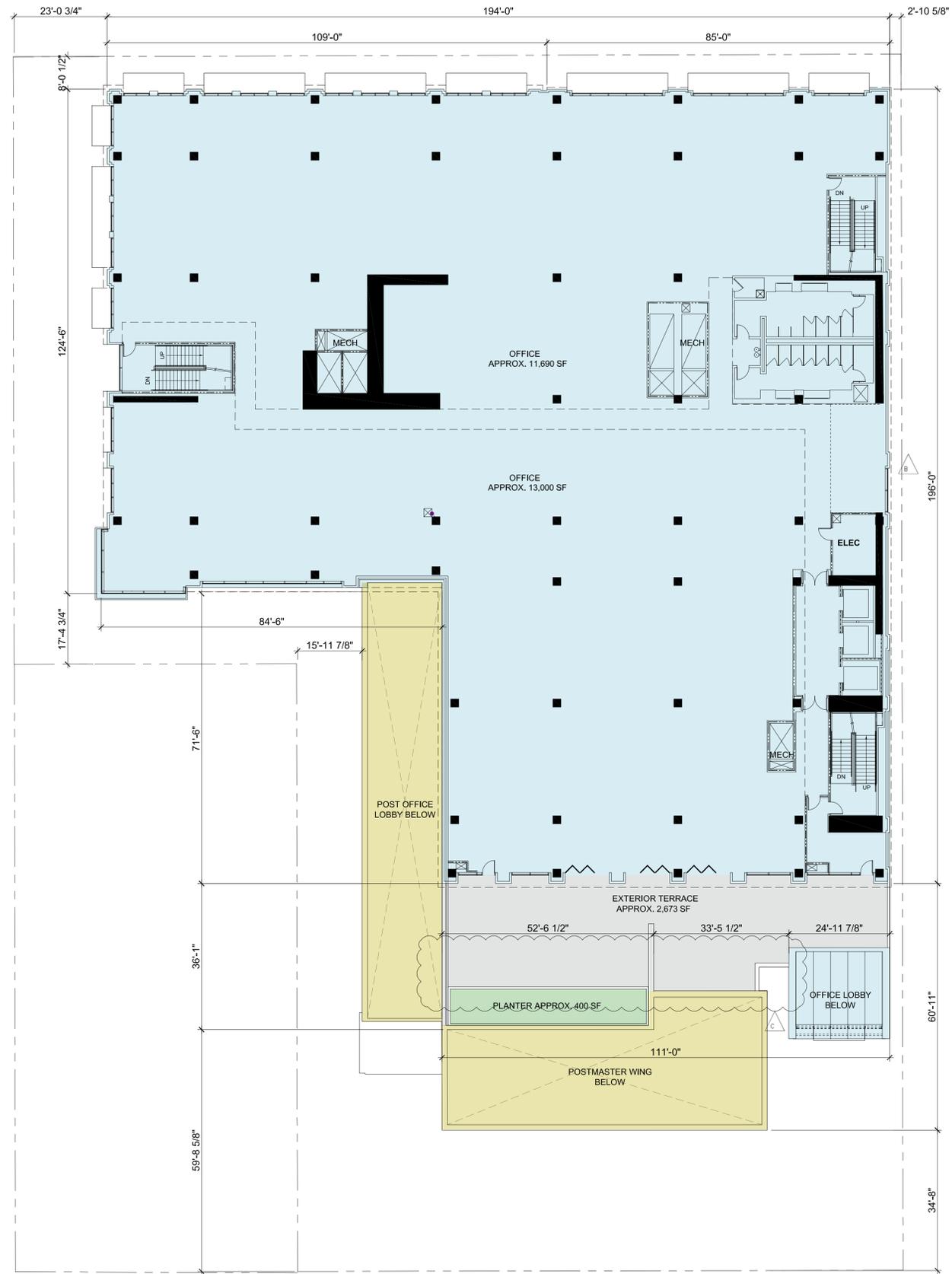
SHEET TITLE  
**GROUND FLOOR PLAN**

SCALE  
1/16"=1'-0"



SHEET NUMBER

**A2.3**



FLOOR GROSS SQUARE FOOTAGE:  
31,500 SF

220 PARK ROAD



220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA



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△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

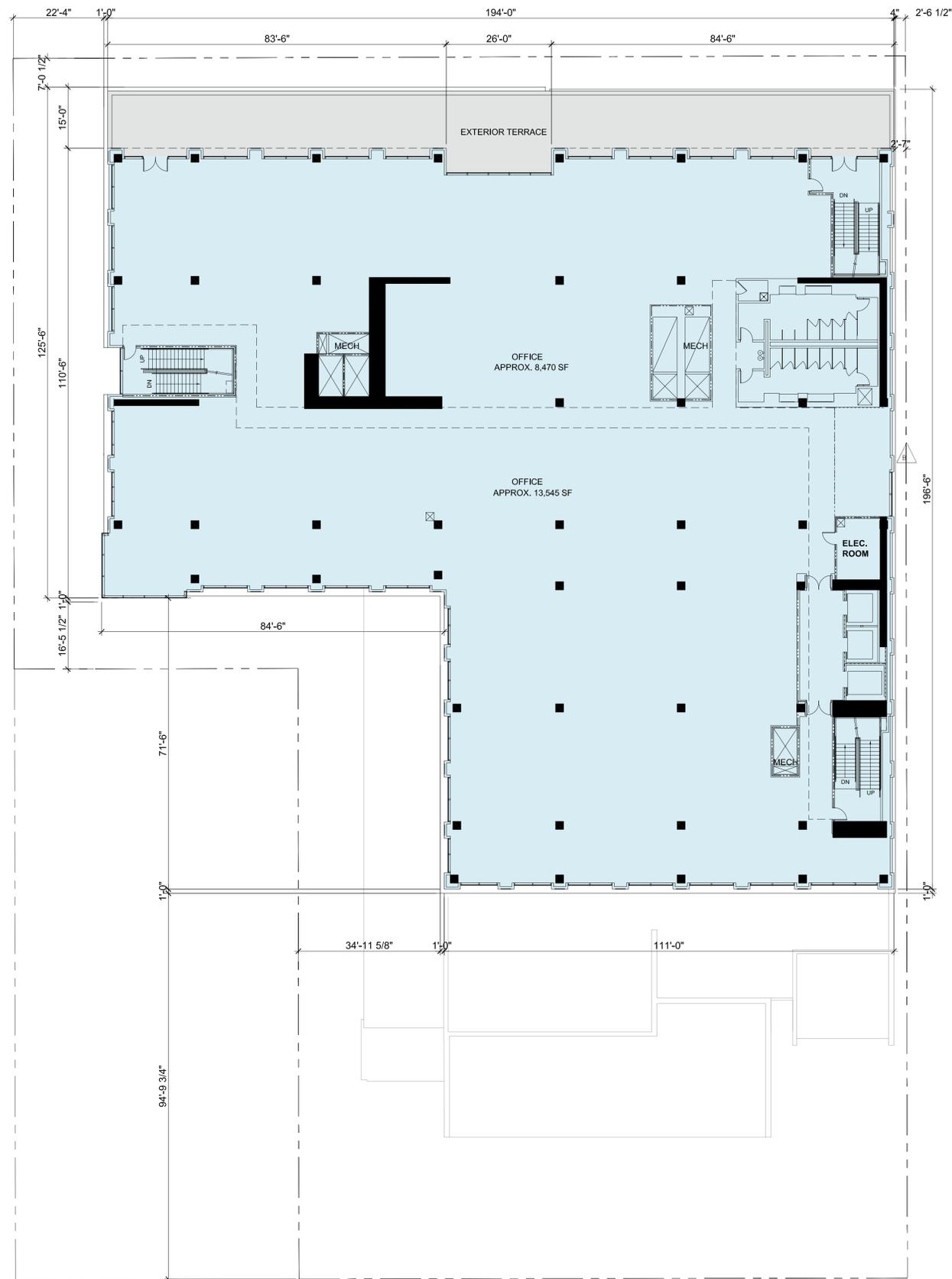
SHEET TITLE  
SECOND FLOOR PLAN

SCALE  
1/16"=1'-0"



SHEET NUMBER

A2.4



FLOOR GROSS SQUARE FOOTAGE:  
28,600 SF

220 PARK ROAD

SARES REGIS

DOSTART  
DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

**KSH ARCHITECTS**  
KORTH SUNSERI HAGEY

349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
TEL: 415.954.1960 FAX: 415.954.1970

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
	03.30.2020	PLANNING SUBMITTAL
△	06.22.2020	PLANNING RESUBMITTAL #1
△	08.17.2020	PLANNING RESUBMITTAL #2
△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

SHEET TITLE  
**THIRD FLOOR PLAN**

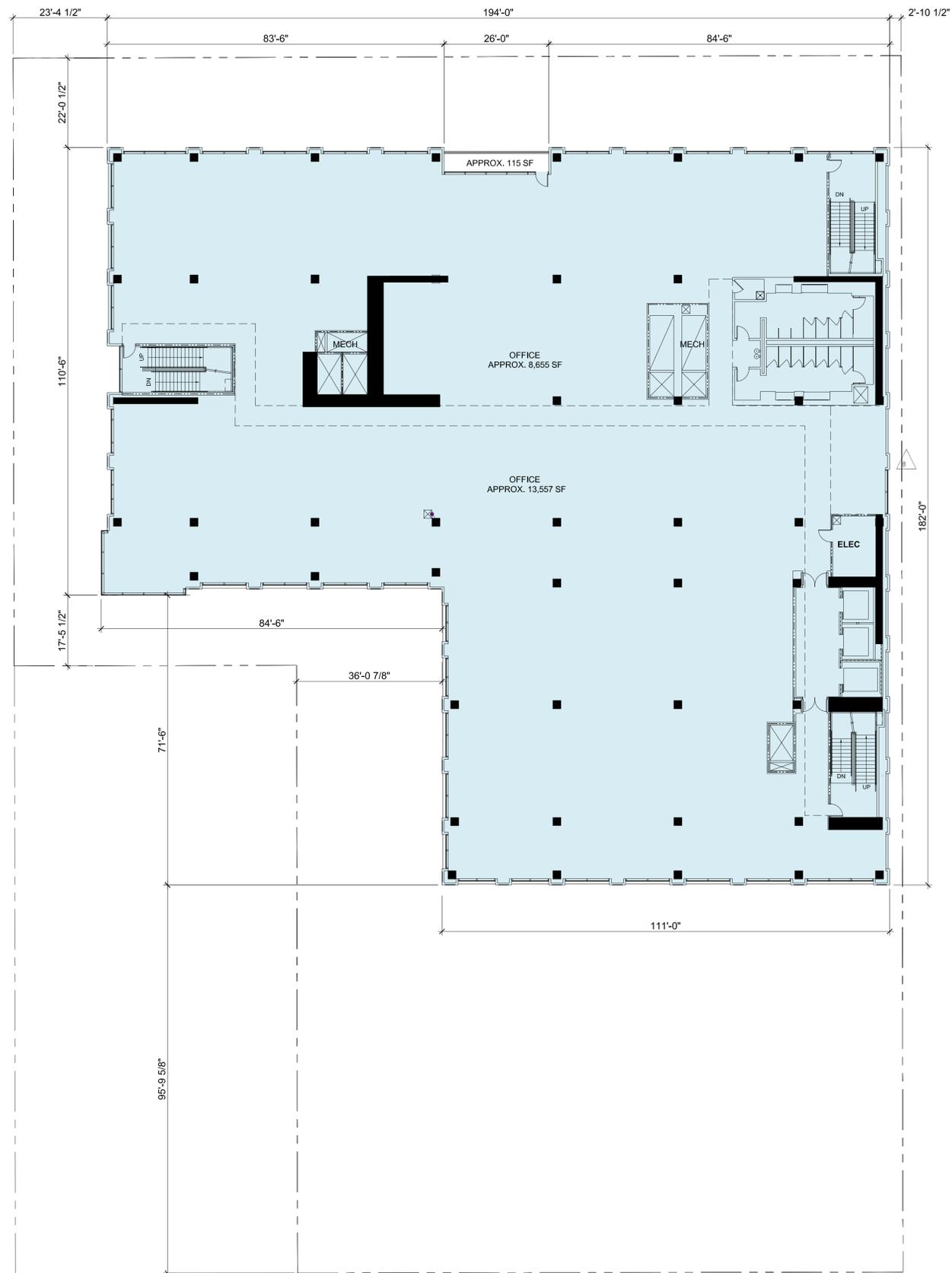
SCALE  
1/16"=1'-0"



0' 16' 32'

SHEET NUMBER

**A2.5**



FLOOR GROSS SQUARE FOOTAGE:  
28,740 SF

220 PARK ROAD

SARES REGIS

DOSTART  
DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

**KSH ARCHITECTS**  
KORTH SUNSERI HAGEY

349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
TEL: 415.954.1960 FAX: 415.954.1970

ISSUES AND REVISIONS		
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△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

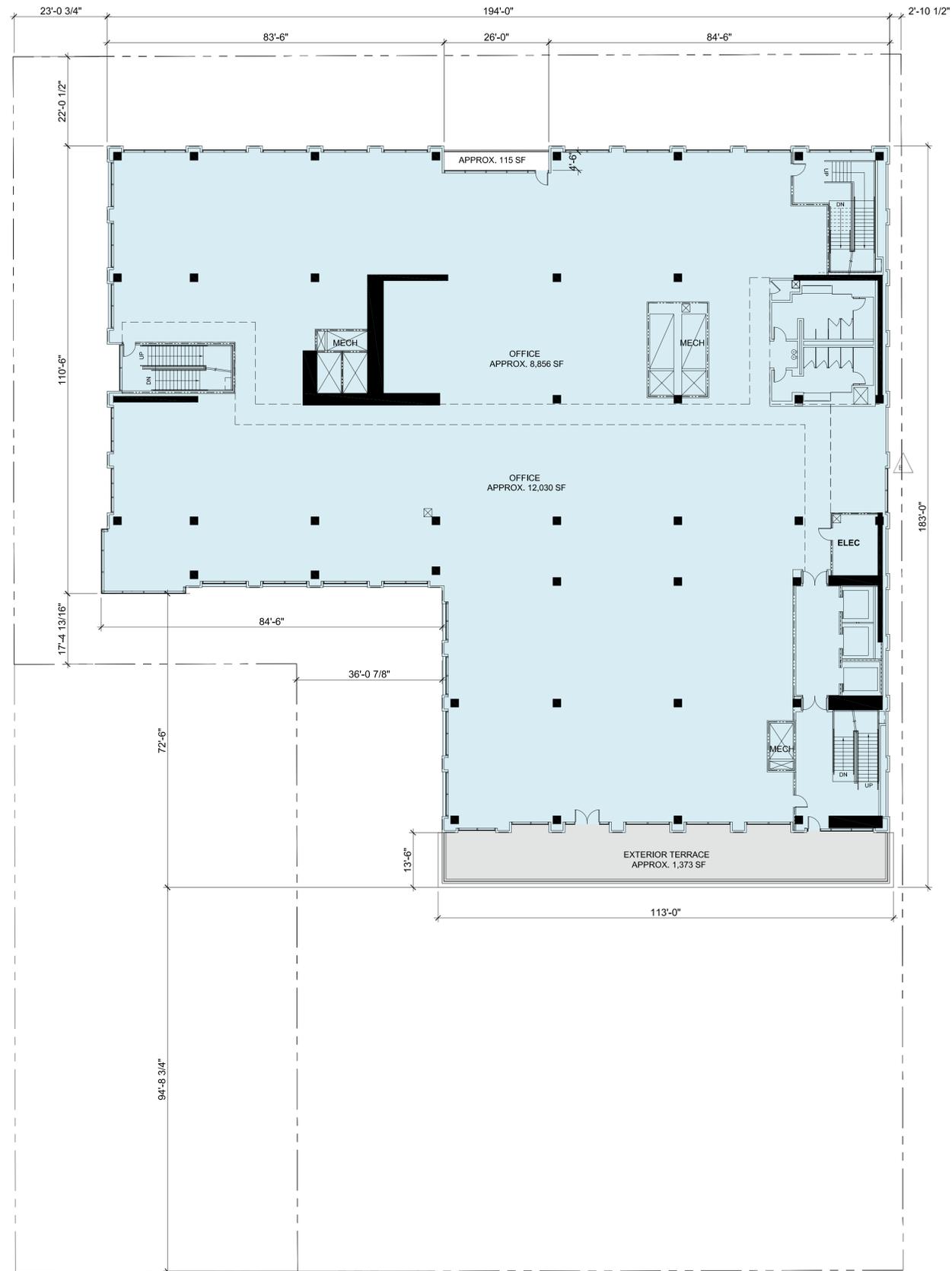
SHEET TITLE  
**FOURTH FLOOR PLAN**

SCALE  
1/16"=1'-0"



SHEET NUMBER

**A2.6**



FLOOR GROSS SQUARE FOOTAGE:  
27,318 SF

220 PARK ROAD

SARES | REGIS

DOSTART  
DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

**KSH ARCHITECTS**  
KORTH SUNSERI HAGEY

349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
TEL: 415.954.1960 FAX: 415.954.1970

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
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△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

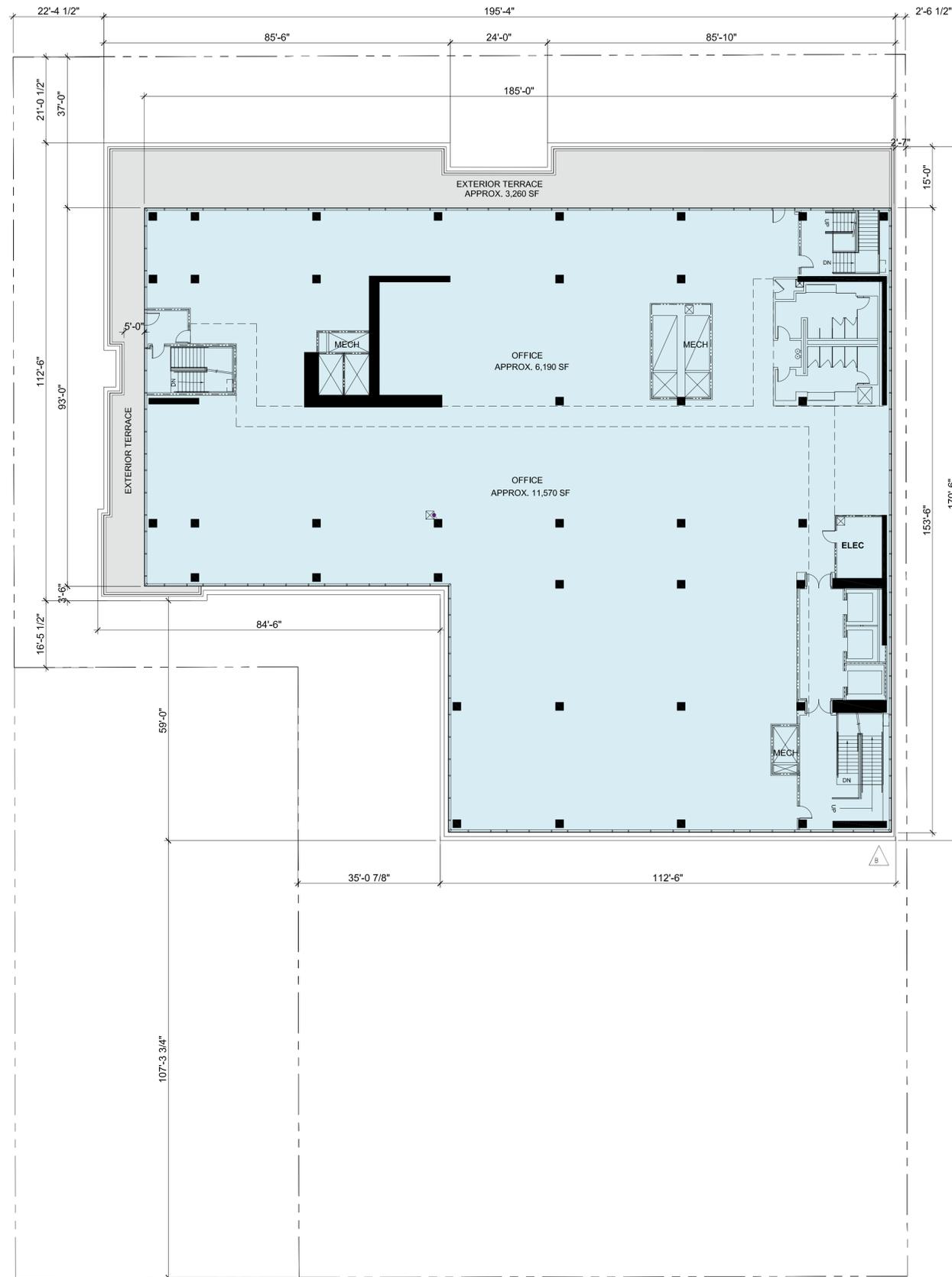
SHEET TITLE  
**FIFTH FLOOR PLAN**

SCALE  
1/16"=1'-0"



SHEET NUMBER

**A2.7**



FLOOR GROSS SQUARE FOOTAGE:  
23,780 SF

220 PARK ROAD

SARES | REGIS

DOSTART  
DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

**KSH ARCHITECTS**  
KORTH SUNSERI HAGEY

349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
TEL: 415.954.1960 FAX: 415.954.1970

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△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

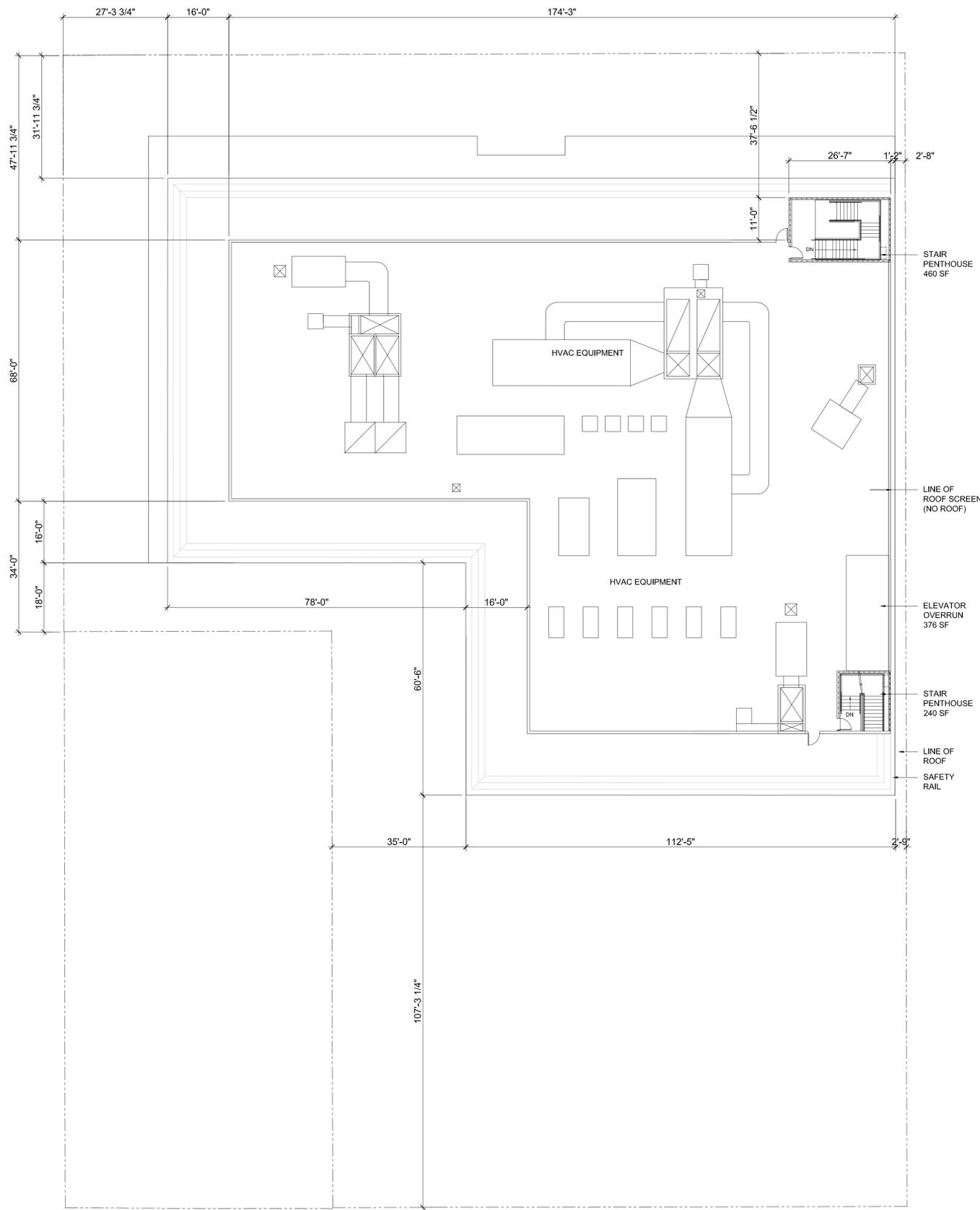
SHEET TITLE  
**SIXTH FLOOR PLAN**

SCALE  
1/16"=1'-0"



SHEET NUMBER

**A2.8**



ROOF ENCLOSURE  
STAIRS+ ELEVATOR= 1,076 SF/ 25,940 SF= 0.0415%  
~ 5% COVERAGE

220 PARK ROAD

SARES REGIS



220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA



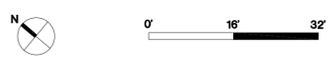
349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
TEL: 415.954.1960 FAX: 415.954.1970

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
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△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

SHEET TITLE  
ROOF PLAN

SCALE  
1/16"=1'-0"



SHEET NUMBER

A2.9

220 PARK ROAD

SARES | REGIS

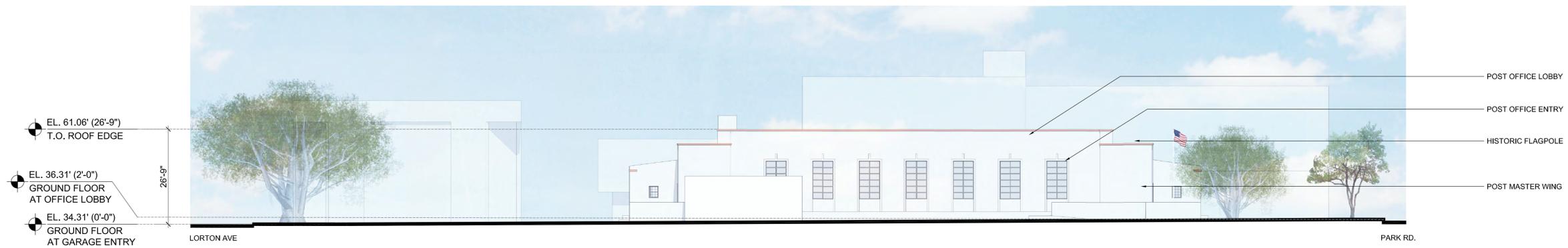
DOSTART  
DEVELOPMENT  
COMPANY, LLC

220 PARK - BURLINGAME, LLC  
220 PARK ROAD  
BURLINGAME, CA

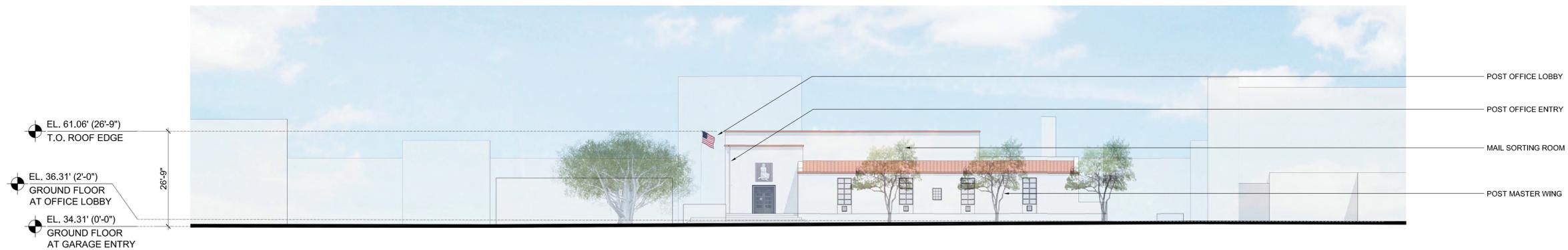
**KSH ARCHITECTS**  
KORTH SUNSERI HAGEY

349 SUTTER STREET  
SAN FRANCISCO, CA 94108  
TEL: 415.954.1960 FAX: 415.954.1970

**3** NORTHWEST ELEVATION  
1/16"=1'-0"



**2** SOUTHWEST ELEVATION  
1/16"=1'-0"



**1** NORTHEAST ELEVATION  
1/16"=1'-0"



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PROJECT NUMBER  
19034

SHEET TITLE  
**EXISTING ELEVATIONS**

SCALE  
1/16"=1'-0"



SHEET NUMBER

**A3.0**



**2** | **SOUTHWEST ELEVATION**  
1/16"=1'-0"

- CORRUGATED PAINTED ALUMINUM PANELS, COLOR H
- PAINTED ALUMINUM C-CHANNEL PROFILE, COLOR G
- VIRACON VNE 24-63 CLEAR VISION GLASS, TYP. WITH SHADOWBOX SET BACK 4"
- INTEGRAL COLOR CAST STONE CONCRETE TRIM, COLOR D
- INTEGRAL COLOR CAST STONE PANEL, COLOR C
- VIRACON VNE 24-63 CLEAR VISION GLASS, TYP.
- INTEGRAL COLOR CAST STONE CONCRETE TRIM, COLOR D
- PAINTED ALUMINUM C-CHANNEL PROFILE, COLOR G
- INTEGRAL COLOR CAST STONE PANEL, COLOR C
- VIRACON VNE 24-63 CLEAR VISION GLASS, TYP.
- PAINTED ALUMINUM C-CHANNEL PROFILE, COLOR G
- PAINTED METAL LOUVER, COLOR D (BEHIND WALL)
- EXISTING POST OFFICE WALL
- PAINTED ALUMINUM C-CHANNEL PROFILE, COLOR G
- PAINTED METAL LOUVER, COLOR G
- NBK TERRAZIT BAGUETTE TERRACOTTA LOUVERS, 2" X 4", COLOR C
- VIRACON VNE 24-63 CLEAR VISION GLASS, TYP.

ISSUES AND REVISIONS

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**1** | **NORTHEAST ELEVATION**  
1/16"=1'-0"

- CORRUGATED PAINTED ALUMINUM PANELS, COLOR H
- STEEL CABLE GUARDRAIL
- PAINTED ALUMINUM C-CHANNEL PROFILE, COLOR G
- VIRACON VNE 24-63 CLEAR VISION GLASS, TYP.
- INTEGRAL COLOR CAST STONE CONCRETE TRIM, COLOR E
- INTEGRAL COLOR CAST STONE PANEL, COLOR C
- INTEGRAL COLOR CAST STONE PANEL, COLOR C
- VIRACON VNE 24-63 CLEAR VISION GLASS, TYP.
- PAINTED ALUMINUM C-CHANNEL PROFILE, COLOR G
- CERAMIC / STONE TILES, COLOR B
- BRICK VENEER CLADDING ON CAST STONE PANELS, COLOR A
- PAINTED METAL LOUVERS, COLOR D
- VIRACON VNE 24-63 CLEAR VISION GLASS, TYP.
- PAINTED ALUMINUM C-CHANNEL PROFILE, COLOR G
- PAINTED ALUMINUM CANOPY, COLOR G
- GRAY CAST STONE PANELS, COLOR E
- INTEGRAL COLOR CAST STONE CONCRETE, COLOR D

PROJECT NUMBER  
19034

SHEET TITLE  
**ELEVATIONS**

SCALE  
1/16"=1'-0"

0' 16' 32'

SHEET NUMBER

**A3.1**

**2** | SOUTHEAST ELEVATION  
1/16"=1'-0"



**1** | NORTHWEST ELEVATION  
1/16"=1'-0"



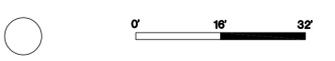
ISSUES AND REVISIONS

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PROJECT NUMBER  
19034

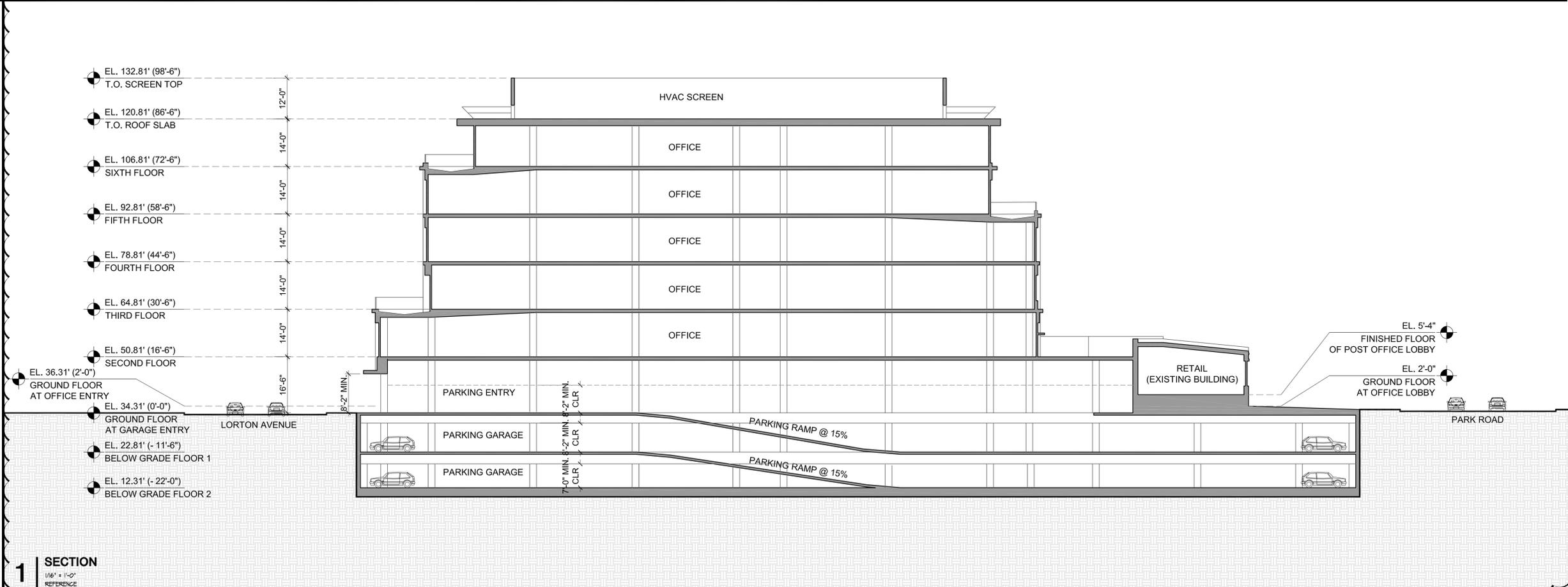
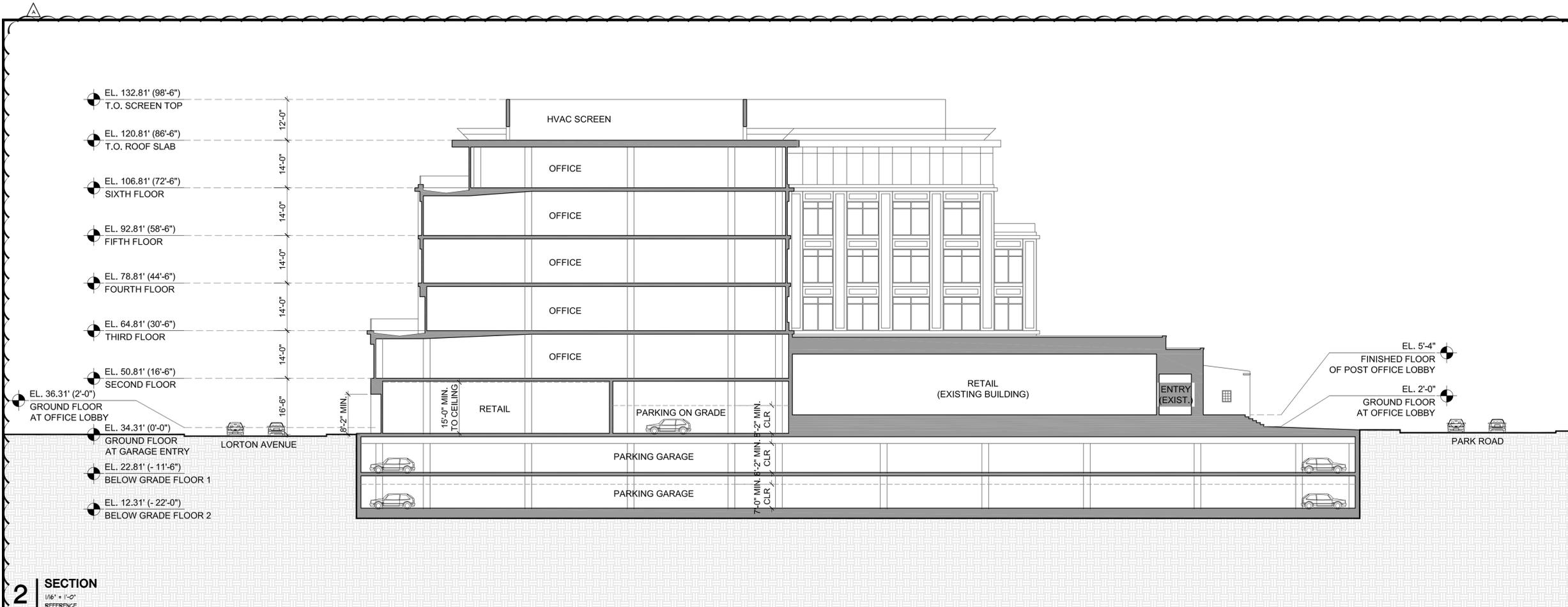
SHEET TITLE  
**ELEVATIONS**

SCALE  
1/16"=1'-0"



SHEET NUMBER

**A3.2**



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
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△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

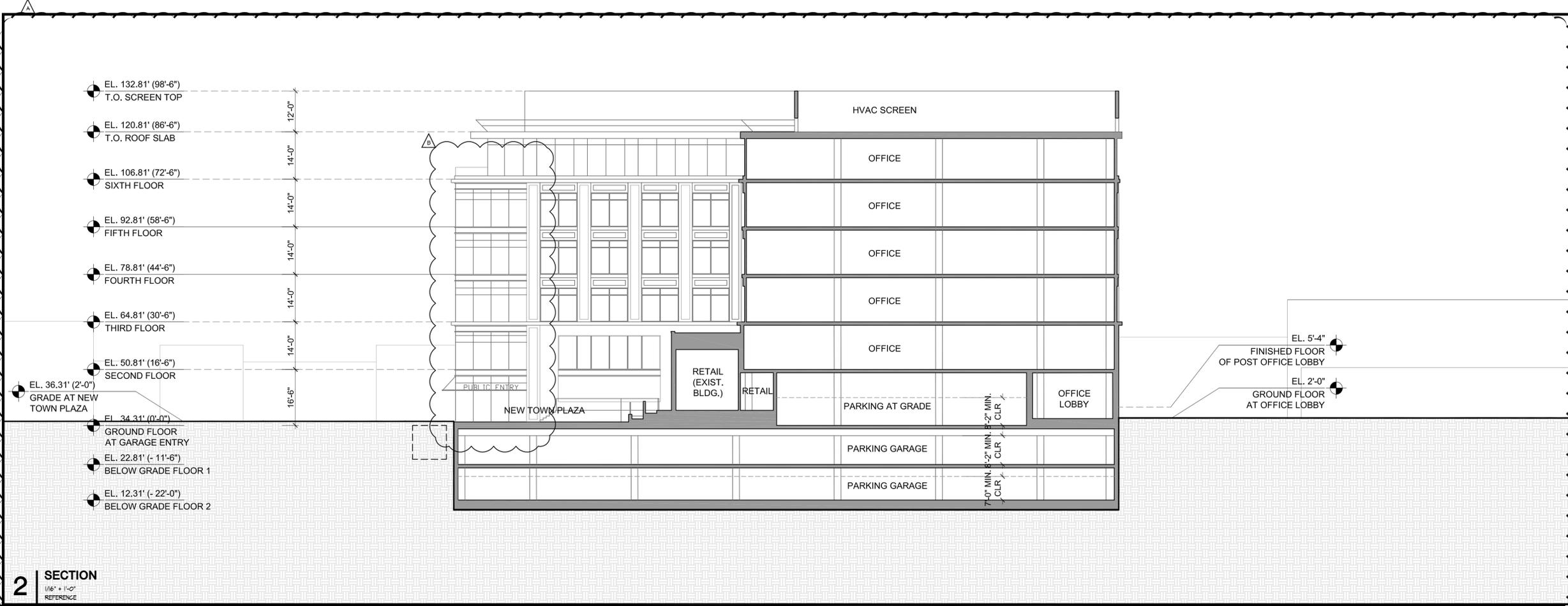
SHEET TITLE  
**SECTIONS**

SCALE  
1/16" = 1'-0"

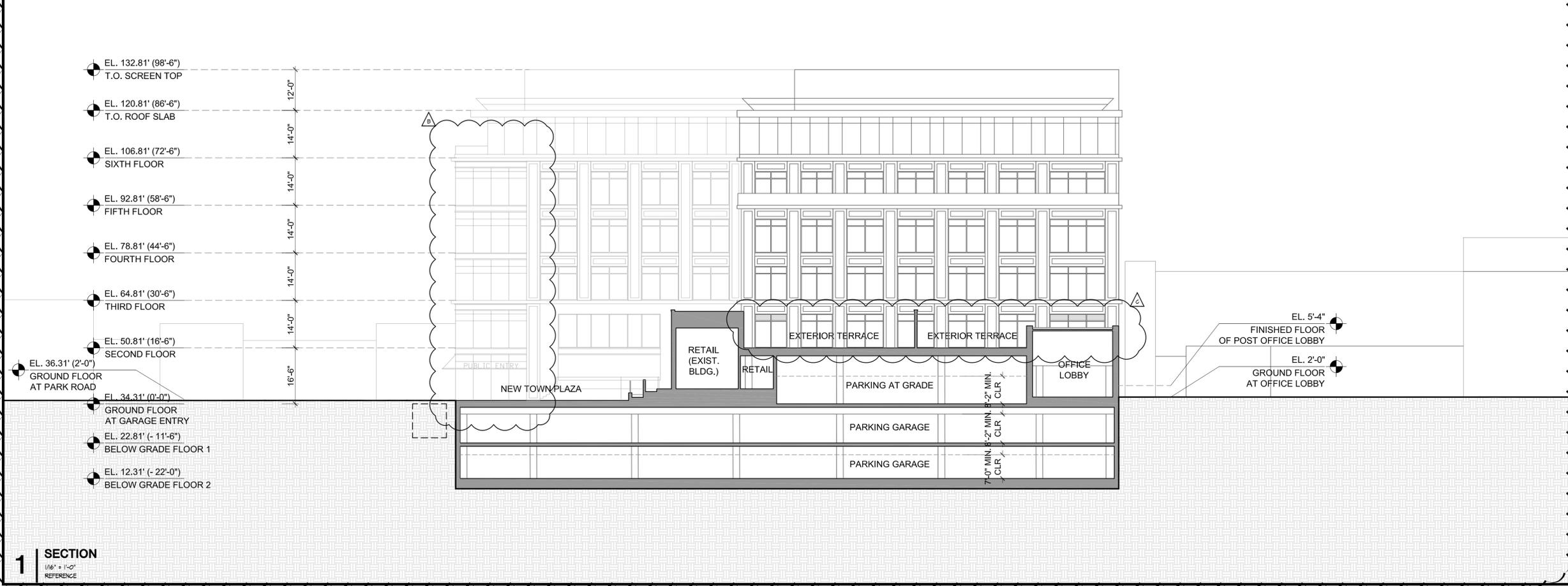
0 16' 32'

SHEET NUMBER

**A3.3**



**2** SECTION  
1/16" = 1'-0"  
REFERENCE



**1** SECTION  
1/16" = 1'-0"  
REFERENCE

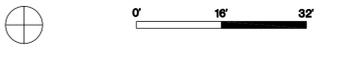
ISSUES AND REVISIONS

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△	08.17.2020	PLANNING RESUBMITTAL #2
△	10.14.2020	PLANNING RESUBMITTAL #3

PROJECT NUMBER  
19034

SHEET TITLE  
**SECTIONS**

SCALE  
1/16" = 1'-0"



SHEET NUMBER

**A3.4**