

240 LORTON AVE

240 LORTON AVENUE
BURLINGAME CA, 94010

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No.	Date	Issue
	27 MAY 16	PRELIMINARY PLANNING PACKAGE
	21 JUNE 16	PLANNING PACKAGE
△	17 AUG 16	PLANNING REVIEW RESPONSE "A"
△	19 SEP 16	PLANNING REVIEW RESPONSE "B"
△	03 OCT 16	PLANNING REVIEW RESPONSE "C"



240 LORTON AVE
BURLINGAME, CALIFORNIA

PLANNING REVIEW RESPONSE "C"

OCTOBER 03, 2016

PROJECT DIRECTORY

OWNER / CONTRACTOR / OWNER CONSULTANTS

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CONTRACTOR:	TBD	GEOTECHNICAL ENGINEER:	CORNERSTONE EARTH GROUP 1259 OAKMEAD PARKWAY SUNNYVALE, CA 94085 408 245 4600 ATTN: BARRY BUTLET
MECHANICAL ENGINEER:	TBD		
ELECTRICAL ENGINEER:	HELIX COMPANY 7677 OAKPORT STREET, SUITE 1040 OAKLAND, CA 94621 510 632-9600 ATTN: TIM MAGGIORE		

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Project	51017
Scale	N/A
Drawing Title	COVER SHEET,PROJECT DIRECTORY
Drawing No.	

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ABBREVIATIONS

A	Anchor Bolt	GRP	Glass Fiber Reinforced Plaster	SHTG	Sheeting
ACC	According/Accord	GL	Glass/Glazing/Glazed	SHV	Sheet Vinyl
ACOUS	Acoustical	GLAM	Glue Laminated Wood	SM	Similar
ACT	Acoustical Ceiling Tile	GWS	Gypsum Wallboard	SMS	Sheet Metal Screws
AD	Area Drain	GYP BD	Gypsum Board	SQ	Square
ADD	Addendum	H	Hinge/High	SS	Seismic Sisk
ADJ	Adjustable/Adjacent	HB	Hour/Bd	SSD	See Structural Drawings
AF	Above Finished Floor	HC	Handicap/Hollow Core	SST	Stainless Steel
AGG	Aggregate	HCW	Hot and Cold Water/Hollow Core	STD	Standard
AHU	Air-Handling Unit	HDR	Hardboard	STL	Steel
AL	Aluminum	HOBR	Hardboard	STOR	Storage
ALT	Alternate/Alteration	HOHR	Header	SUBFL	Subfloor
ANOD	Anodized	HOR	Header	SURF	Surface
AP	Access Panel/Apron Panel	HDWD	Hardwood	SUSP	Suspended
APPROX	Approximate	HOWE	Hardware	SYM	Symmetrical
APT	Apartment	HM	Hollow Metal	T	Top/Threshold/Tread/Toilet
ARCH	Architect/Architectural	HP	Horizontal/High Point/Heat Pump	T&B	Top & Bottom
ASPH	Asphalt	HR	Hour/Handrail	T&G	Tongue & Groove
AVE	Avenue	HT	Height	T&TB	Tongue Bar/Tack Board
AUG	Average	HTG	Heating	TD	Towel Dispenser
AWP	Acoustic Wall Panel	HW	Hot Water	T&W	Towel Dispenser & Water
		HWR	Hot Water Return	T&WT	Towel Dispenser & Water
B	Bottom of Curb	ID	Inside Diameter/Inside Dimension	T&WT	Towel Dispenser & Water
BD	Board	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BTUM	Bluminox	IT	Invert Elevation	T&WT	Towel Dispenser & Water
BL	Building Line	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BLDG	Building	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BLOC	Blocking	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BULD	Bowled	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BM	Beam	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BOT	Bottom	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BP	Building Paper	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BRS	Bearing	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BSMT	Basement	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BTWN	Between	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BR	Brick	IS	Invert Elevation	T&WT	Towel Dispenser & Water
BW	Bottom of Wall	IS	Invert Elevation	T&WT	Towel Dispenser & Water
		IS	Invert Elevation	T&WT	Towel Dispenser & Water
C	Cabinet	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CAP, CAPY	Capacity	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CASP	Capit	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CB	Catch Basin/Chalkboard	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CBC	California Building Code	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CD	Calling Driveway	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CEM	Cement	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CEM PL	Cement Plaster	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CEM	Cement	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CG	Corner Guard	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CH	Chest Hook	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CHBL	Chair Rail	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CI	Cast Iron	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CIP	Cast In Place	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CJ	Control Joint	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CL	Centerline	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CLG	Ceiling	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CLG	Ceiling	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CLO	Closet	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CLR	Clear	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CLS	Closer	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CMU	Concrete Masonry Units	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CO	Clean Out	IS	Invert Elevation	T&WT	Towel Dispenser & Water
COL	Column	IS	Invert Elevation	T&WT	Towel Dispenser & Water
COMP	Composite/Composition	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CONC	Concrete	IS	Invert Elevation	T&WT	Towel Dispenser & Water
COND	Condition	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CONN	Connect/Connection	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CONCT	Construction	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CONT	Continuous	IS	Invert Elevation	T&WT	Towel Dispenser & Water
COORD	Coordinate	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CORR	Corridor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CR	Cold Rolled	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CT	Ceramic Tile/Curtain Track	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CTR	Center	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CTSK	Countersink	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CU	Cubic	IS	Invert Elevation	T&WT	Towel Dispenser & Water
CW	Cold Water	IS	Invert Elevation	T&WT	Towel Dispenser & Water
C"	Celsius/Centigrade Degrees	IS	Invert Elevation	T&WT	Towel Dispenser & Water
D	Dryer	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DB	Double	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DBL	Double	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DEPT	Department	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DET	Detail	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DF	Drinking Fountain/Douglas Fir	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DIA	Diameter	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DAG	Disposal	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DICA	Dilled In Concrete Anchor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DIF	Diffuser	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DM	Dimension	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DSP	Disposal	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DL	Dead Load	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DN	Down	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DR	Door/Drain	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DS	Downspout	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DSP	Dry Standpipe	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DTL	Detail	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DW	Dishwasher	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DWG	Drawing	IS	Invert Elevation	T&WT	Towel Dispenser & Water
DWR	Drawer	IS	Invert Elevation	T&WT	Towel Dispenser & Water
E	Existing	IS	Invert Elevation	T&WT	Towel Dispenser & Water
E, (E)	Existing	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EA	Expansion Bolt	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EB	Expansion Joint	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EJ	Expansion Joint	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EL	Elevation	IS	Invert Elevation	T&WT	Towel Dispenser & Water
ELEC	Electrical	IS	Invert Elevation	T&WT	Towel Dispenser & Water
ELV	Elevator	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EMERG	Emergency	IS	Invert Elevation	T&WT	Towel Dispenser & Water
ENTR	Entrance	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EOS	Edge of Slab	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EP	Electrical Panelboard/End Panel	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EQ	Equal/Earthquake	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EQU	Equipment	IS	Invert Elevation	T&WT	Towel Dispenser & Water
ETR	Existing to Remain	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EW	Electric Water Cooler	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EXC	Excavated/Excavation	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EXH	Exhaust	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EXP	Exposure	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EXT	Exterior	IS	Invert Elevation	T&WT	Towel Dispenser & Water
EXT	Exterior	IS	Invert Elevation	T&WT	Towel Dispenser & Water
F	Fire Alarm/Forced Air	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FA	Fabricate	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FAB	Fabricate	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FB	Flat Bar	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FBD	Fiber Board	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FD	Floor Drain	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FDC	Fire Department Connection	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FEN	Foundation	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FE	Fire Extinguisher	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FEC	Fire Extinguisher Cabinet	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FF	Factory Finish/Finish Floor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FG	Floor Glass	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FH	Floorhead	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FHC	Fire Hose Cabinet	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FMS	Flathead Machine Screw	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FHWS	Flathead Wood Screw	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FK	Furnished and Installed by Contractor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FIN	Finish	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FID	Furnished and Installed by Owner	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FIT	Furnished and Installed by Tenant	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FL	Floor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FLASH	Flashing	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FLUOR	Fluorescent	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FM	From/Factory Mutual Research Corp.	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FOB	Face of Brick	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FOC	Face of Concrete	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FOF	Face of Finish	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FOIC	Furnished by Owner Installed by Contractor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FOIV	Furnished by Owner Installed by Vendor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FOM	Face of Masonry	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FOB	Face of Brick	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FP	Freezer/Free Retardant	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FR	Freezer/Free Retardant	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FRT	Fire Retardant Treated	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FS	Full Size/Floor Sink	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FT	Foot/Foot	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FTG	Footings	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FTC	Furnished by Tenant Installed by Contractor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FURN	Furnish	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FURR	Furnish	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FUT	Fut	IS	Invert Elevation	T&WT	Towel Dispenser & Water
FWP	Flat Wall Paint	IS	Invert Elevation	T&WT	Towel Dispenser & Water
F"	Degrees Fahrenheit	IS	Invert Elevation	T&WT	Towel Dispenser & Water
G	Gas	IS	Invert Elevation	T&WT	Towel Dispenser & Water
GA	Gage	IS	Invert Elevation	T&WT	Towel Dispenser & Water
GALV	Galvanized	IS	Invert Elevation	T&WT	Towel Dispenser & Water
GB	Grab Bar	IS	Invert Elevation	T&WT	Towel Dispenser & Water
GC	General Contractor	IS	Invert Elevation	T&WT	Towel Dispenser & Water
GD	Garbage Disposer	IS	Invert Elevation	T&WT	Towel Dispenser & Water
GFRC	Glass Fiber Reinforced Concrete	IS	Invert Elevation	T&WT	Towel Dispenser & Water
GRG	Glass Fiber Reinforced Gypsum	IS	Invert Elevation	T&WT	Towel Dispenser & Water

SYMBOL LEGEND

NORTH ARROW		PROJECT NORTH
GRID / COLUMN LINES		TRUE NORTH
SECTION / DETAIL		
EXTERIOR ELEVATION		
INTERIOR ELEVATION		
ENLARGED PLAN OR DETAIL		
WORK / CONTROL OR DATUM LEVEL		
SPOT ELEVATION		
SHEET NOTE		
DOOR		
WINDOW		
FIXTURE (TYPE VARIES)		
FINISH MATERIAL		
WALL / PARTITION TYPE		
REVISION		
PROPERTY LINE		
CENTER LINE		

NEIGHBORHOOD PHOTOS



GENERAL NOTES

- PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ON SITE TO ARRANGE JOB SCHEDULING WITH THE ARCHITECT AND CLIENT.
- THE CONTRACTOR SHALL SCHEDULE WORK AND COORDINATE WITH THOSE DOING OTHER WORK TO AVOID DELAYS, INTERFERENCE AND UNNECESSARY WORK.
- THE CONTRACTOR SHALL MAKE NECESSARY CHANGES, INCLUDING REMOVAL & REINSTALLATION OF MATERIALS AT HIS SOLE EXPENSE, IF HE FAILS TO CHECK WITH THOSE DOING OTHER WORK AND HIS INSTALLED WORK IS LATER FOUND TO INTERFERE WITH SUCH WORK.
- WHERE WORK OF ONE TRADE JOINS, OR IS ON OTHER WORK, THERE SHALL BE NO DISCREPANCY WHEN THE WORK IS COMPLETED. IN ENGAGING ONE KIND OF WORK WITH ANOTHER, MARRING OR DAMAGING THE WORK WILL NOT BE PERMITTED. SHOULD IMPROPER WORK OF ANY TRADE BE COVERED BY ANOTHER WHICH RESULTS IN DAMAGE OR DEFECTS, THE WHOLE WORK AFFECTED SHALL BE MADE GOOD BY THE CONTRACTOR WITHOUT EXPENSE OR DELAY TO THE PROJECT OR PROJECT SCHEDULE.
- THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED ON DRAWINGS PROVIDED BY THE CLIENT. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA BY CONSTRUCTION OF DUST BARRIERS AS MAY BE REQUIRED BY THE SCOPE OF WORK AND/OR BY THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL FIRE PROOFING DAMAGE INCURRED DURING CONSTRUCTION. THE CONTRACTOR SHALL FIREPROOF ALL NEW & EXISTING PENETRATIONS THROUGH RATED ASSEMBLIES GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE BUILDING BEFORE ORDERING MATERIAL OR DOING ANY WORK. IF ANY INCONSISTENCIES OCCUR, THE CONTRACTOR SHALL REPORT TO THE ARCHITECT, ANY INCONSISTENCIES OR ERRORS IN THE WORK OF OTHERS, AFFECTING THE POSSIBLE PERFECTION OF HIS WORK. THE CONTRACTOR SHALL OBTAIN CLARIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK. FAILURE TO OBTAIN CLARIFICATION MAY RESULT IN THE WORK BEING REJECTED & CORRECTED AT NO COST TO THE PROJECT OR DELAY IN THE PROJECT SCHEDULE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE BUILDING LAYOUT IS ACCURATE. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM TO THE ARCHITECT AND OBTAIN CLARIFICATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK. FAILURE TO OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION, OR RELATED WORK, MAY RESULT IN THE WORK BEING REJECTED AND CORRECTED AT NO COST TO THE PROJECT OR DELAY IN THE PROJECT SCHEDULE.
- CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. SUBCONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS TO ENSURE COORDINATION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN ALL PARTITION LOCATIONS. ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT. FLOOR PLAN BY ARCHITECT SUPERSEDES OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.
- THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE-PROTECTION, DESIGN/BUILD CONTRACTORS AND SUBMIT ALL DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.

VICINITY MAP

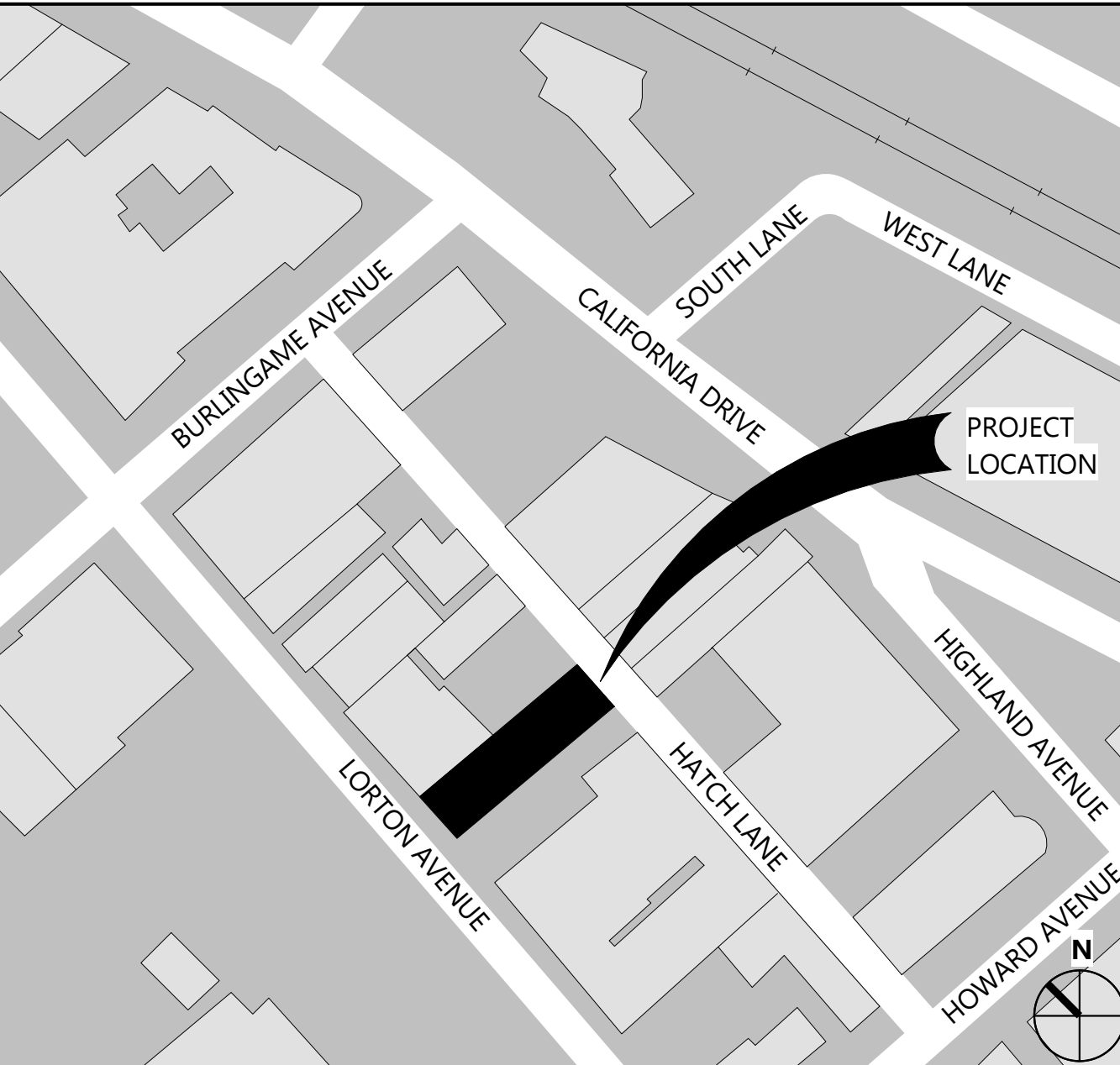
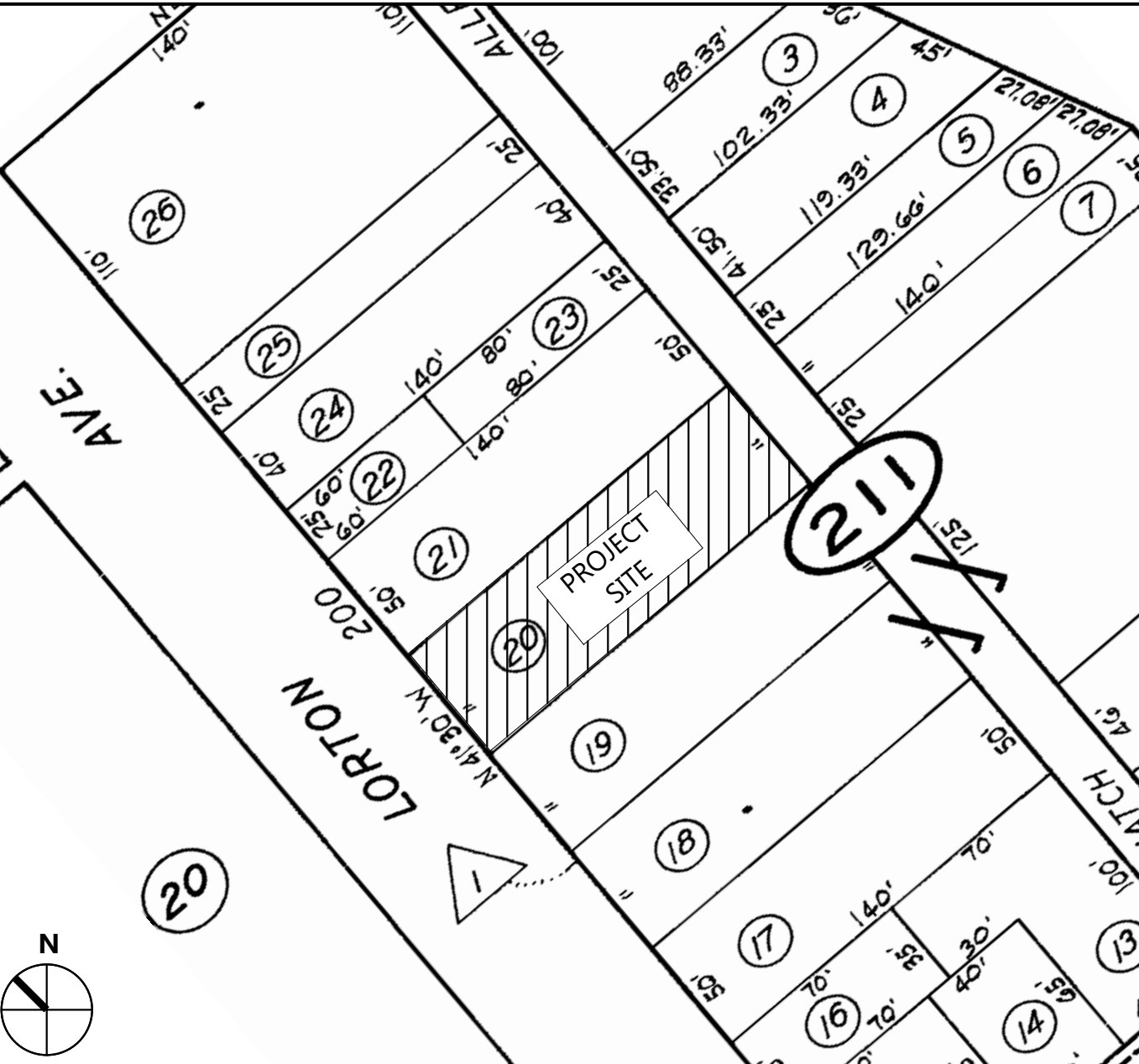


PHOTO KEY PLAN



PLAT MAP



240 LORTON AVE

240 LORTON AVENUE BURLINGAME CA, 94010

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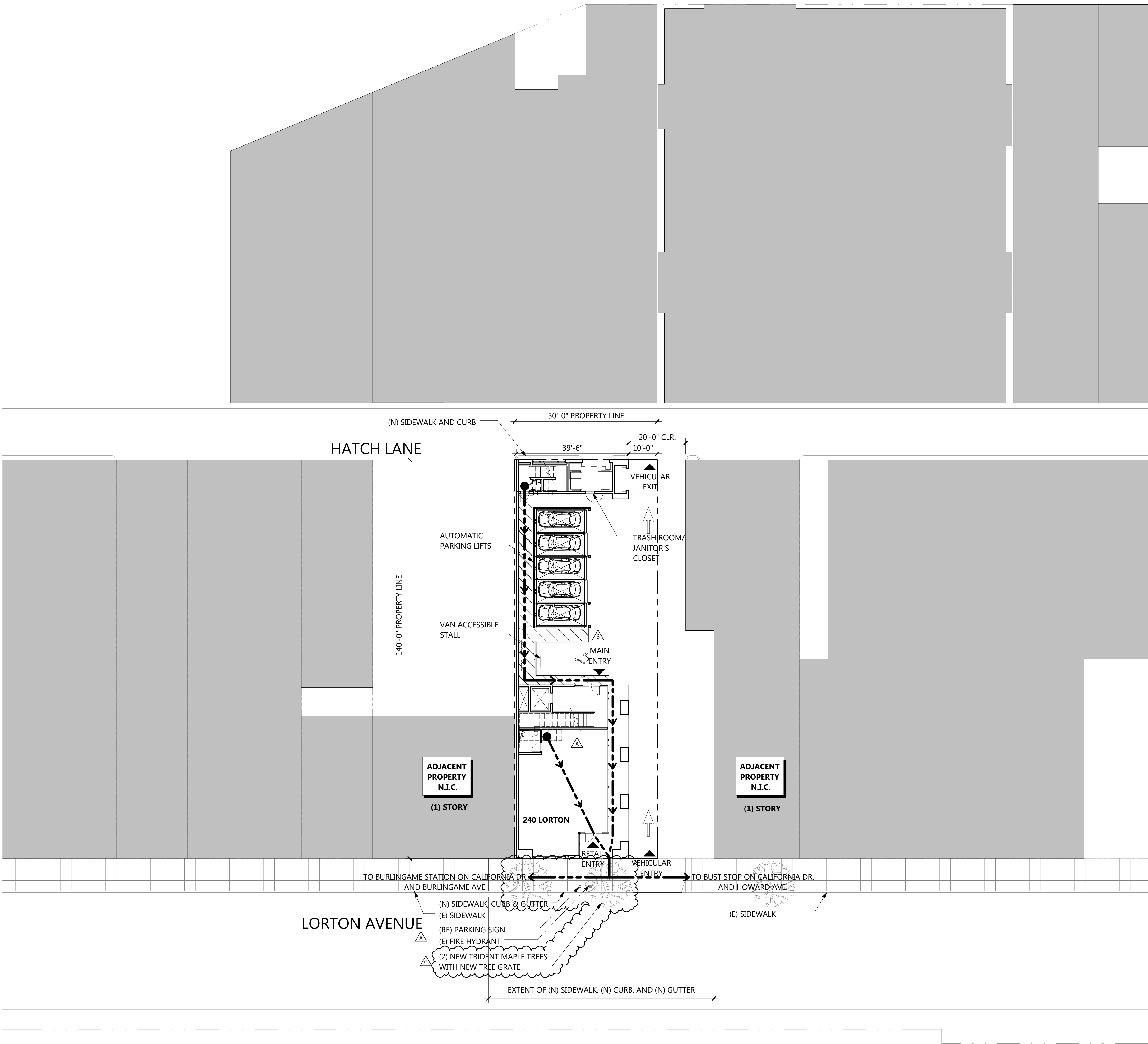
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Project	51017
Scale	N/A
Drawing Title	GENERAL NOTES, SYMBOL LEGEND & ABBREVIATIONS

	<div>CITY OF BURLINGAME CONDITIONS</div> <div>1. ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.</div> <div>2. AT THE TIME OF THE BUILDING PERMIT APPLICATION, PLANS AND ENGINEERING WILL BE SUBMITTED FOR SHORING AS REQUIRED BY 2013 CBC, CHAPTER 31 REGARDING THE PROTECTION OF ADJACENT PROPERTY AND AS REQUIRED BY OSHA. ON THE PLANS, INDICATE THAT THE FOLLOWING WILL BE ADDRESSED:</div> <div><div>a. THE WALLS OF THE PROPOSED BASEMENT SHALL BE PROPERLY SHORED, PRIOR TO CONSTRUCTION ACTIVITY. THIS EXCAVATION MAY NEED TEMPORARY SHORING. A COMPETENT CONTRACTOR SHALL BE CONSULTED FOR RECOMMENDATIONS AND DESIGN OF SHORING SCHEME FOR THE EXCAVATION. THE RECOMMENDED DESIGN TYPE OF SHORING SHALL BE APPROVED BY THE ENGINEER OF RECORD OR SOILS ENGINEER PRIOR TO USAGE.</div><div>b. ALL APPROPRIATE GUIDELINES OF OSHA SHALL BE INCORPORATED INTO THE SHORING DESIGN BY THE CONTRACTOR. WHERE SPACE PERMITS, TEMPORARY CONSTRUCTION SLOPES MAY BE UTILIZED IN LIEU OF SHORING. MAXIMUM ALLOWABLE VERTICAL CUT OF THE SUBJECT PROJECT WILL BE FIVE (5) FEET. BEYOND THAT HORIZONTAL BENCHES OF 5 FEET WIDE WILL BE REQUIRED. TEMPORARY SHORES SHALL NOT EXCEED 1 TO 1 (HORIZONTAL TO VERTICAL). IN SOME AREAS DUE TO HIGH MOISTURE CONTENT / WATER TABLE, FLATTER SLOPES WILL REQUIRE WHICH WILL BE RECOMMENDED BY THE SOILS ENGINEER IN FIELD.</div><div>c. IF SHORING IS REQUIRED, SPECIFY ON THE PLANS THE LICENSED DESIGN PROFESSIONAL THAT HAS SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THE BUILDING.</div><div>d. SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOF, AND WALL SHEATHING HAVE BEEN ENTIRELY CONSTRUCTED.</div><div>e. SHORING PLANS SHALL BE WET-STAMPED AND SIGNED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION. IF APPLICABLE, INCLUDE SURCHARGE LOADS FROM ADJACENT STRUCTURES THAT ARE WITHIN THE ZONE OF INFLUENCE (45 DEGREE WEDGE UP THE SLOPE FROM THE BASE OF THE RETAINING WALL) AND / OR DRIVEWAY SURCHARGE LOADS.</div></div> <div>3. AN OSHA PERMIT WILL BE OBTAINED FOR THE SHORING* AT THE EXCAVATION SITE PER CAL/OSHA REQUIREMENTS. REFER TO CAL/OSHA HANDBOOK. *CONSTRUCTION SAFETY ORDERS: CHAPTER 4, SUBCHAPTER 4, ARTICLE 6, SECTION 1541.1.</div> <div>4. A GRADING PERMIT, IF REQUIRED, WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.</div> <div>5. WHEN PLANS ARE SUBMITTED FOR BUILDING CODE PLAN CHECK, THEY WILL INCLUDE A COMPLETE UNDERGROUND PLUMBING PLAN INCLUDING COMPLETE DETAILS FOR THE LOCATION OF ALL REQUIRED GREASE TRAPS AND CITY-REQUIRED BACKWATER PREVENTION DEVICES.</div> <div>⚠</div>	<div>FIRE PROTECTION NOTES</div> <div>1. SUBMIT SHOP DRAWINGS FOR FIRE PROTECTION/SPRINKLER SYSTEM AND COMPLY WITH NFPA 13 AND LOCAL AMENDMENTS.</div> <div>2. DURING CONSTRUCTION MOUNT MINIMUM 2A-10BC RATED FIRE EXTINGUISHER(S) WITHIN 75 FEET OF ALL PORTIONS OF TENANT SPACE. FIRE EXTINGUISHER QUANTITY AND LOCATION(S) SHALL BE APPROVED BY THE FIRE INSPECTOR.</div> <div>3. EXIT AND EMERGENCY LIGHTING SHALL COMPLY WITH CALIFORNIA FIRE CODE AND LOCAL AMENDMENTS.</div> <div>4. SUBMIT SHOP DRAWINGS FOR FIRE-ALARM SYSTEM AND COMPLY WITH NFPA 72 AND LOCAL CODES.</div> <div>DEFERRED SUBMITTALS</div> <div>DEFERRED SUBMITTALS (SHOP DRAWINGS) SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF THE REVIEW AND COORDINATION BY THE ARCHITECT AND/OR ENGINEER OF RECORD; A SUBMITTAL MAY THEN BE MADE TO THE CITY OF BURLINGAME BUILDING DEPARTMENT FOR REVIEW AND APPROVAL, WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G., WITH REGARD TO GEOMETRY, LOAD CALCULATIONS, ET.) WITH NO EXCEPTIONS.</div> <div>DEFERRED SUBMITTALS:</div> <div><div>• DEMOLITION/EXCAVATION/SHORING</div><div>• FIRE SPRINKLER</div><div>• SIGNAGE</div><div>• MECHANICAL, ELECTRICAL, PLUMBING</div></div> <div>SITE ZONING ANALYSIS</div> <div><div>APN:</div><div>029-211-200</div></div> <div><div>SIZE OF PROPERTY:</div><div>7,006 SF</div></div> <div><div>GENERAL PLAN / SITE ZONING:</div><div>BURLINGAME AVENUE COMMERCIAL (BAC)</div></div> <div><div>SETBACKS: (BAC)</div><div><div>FRONT: 0'-0"</div><div>SIDE: 0'-0"</div><div>REAR: 0'-0"</div></div><div>MAX. HEIGHT: 55 FEET</div></div> <div><div>PROJECT FOOTPRINT AREA:</div><div>5,530 SF</div></div> <div><div>OPEN AREA:</div><div>2,423 SF</div></div> <div><div>FLOOR AREA RATIO:</div><div>21,899 SF / 7,006 = 3.26</div></div>	<div>PROJECT DATA</div> <div><div>LAND AREA</div><div>7,006 SF</div><div>0.07 ACRES</div></div> <div><div>EXISTING BUILDING AREA</div><div>6,406 SF (TWO STORIES)</div></div> <div>NEW GROSS BUILDING AREA TOTALS FOR RETAIL AND OFFICE OCCUPANCIES ONLY</div> <div><div>RETAIL GROSS SF</div><div>1,375 SF</div><div>OFFICE GROSS SF</div><div>13,801 SF</div><div>15,176 SF</div></div> <div><div>PARKING (GROUND, PIT)</div><div>2,441 SF</div></div> <div>PARKING TABULATION</div> <div><div>PARKING</div><div>RETAIL: NO RETAIL PARKING REQUIRED PER CHAPTER 25.70 OFF-STREET PARKING SECTION 25.70.090 (a) and (b).</div><div>OFFICE: 1 SPACE FOR EACH 300 SQUARE FEET OF FLOOR AREA</div><div>13,801 SQ. FT. OFFICE FLOOR AREA / 300 = 46 PARKING SPACES REQUIRED</div><div>PARKING SPACES PROVIDED:</div><div><div>PUZZLE LIFTS</div><div>14 SPACES</div><div>ACCESSIBLE SPACE</div><div>1 SPACE</div></div><div>TOTAL PARKING SPACED PROVIDED: 15 SPACES</div><div>TOTAL PARKING SPACES REQUIRED 46 SPACES</div><div><div>REQUIRED</div><div>46 PARKING SPACES REQUIRED</div><div>PROVIDED</div><div>- 15 PARKING SPACED PROVIDED</div><div>31 PARKING SPACES</div></div><div>NOTE: IN LIEU FEE WILL PAY FOR 31 PARKING SPACES.</div><div>⚠</div></div>	<div>PROJECT INFORMATION</div> <div><div>BUILDING ADDRESS:</div><div>240 LORTON AVENUE</div><div>BURLINGAME, CA 94010</div></div> <div><div>ASSESSORS PARCEL NO.:</div><div>029-211-200</div></div> <div><div>EXISTING LAND USE:</div><div>MERCANTILE</div></div> <div><div>PROPOSED LAND USE:</div><div>MERCANTILE AND BUSINESS</div></div> <div><div>ZONING:</div><div>BURLINGAME AVENUE COMMERCIAL (BAC)</div></div> <div><div>LOT SIZE:</div><div>7,006 SF</div></div> <div><div>OCCUPANCY TYPE:</div><div>MERCANTILE GROUP M (RETAIL AREA)</div><div>BUSINESS GROUP B (OFFICE AREA)</div><div>STORAGE GROUP S-2 (OPEN PARKING GARAGE)</div></div> <div><div>CONSTRUCTION TYPE:</div><div>4 STORIES TYPE III-B</div></div> <div><div>GROSS BUILDING AREA:</div><div>21,899 SF</div></div> <div><div>BUILDING HEIGHT:</div><div>55'-0" (MAXIMUM)</div></div> <div><div>FIRE PROTECTION:</div><div>FULLY AUTOMATED FIRE SPRINKLER SYSTEM PER NFPA 13</div></div> <div>PROJECT DESCRIPTION</div> <div>1. EXISTING BUILDING TO BE COMPLETELY DEMOLISHED.</div> <div>2. CONSTRUCTION OF NEW FOUR STORY BUILDING WITH RETAIL, OFFICE LOBBY, AND TENANT PARKING AT THE GROUND FLOOR, AND THREE LEVELS OF OFFICE ABOVE.</div> <div>3. SIGNAGE UNDER A SEPARATE PERMIT.</div> <div>4. ALL PORTIONS OF THIS PROJECT ARE PRIVATELY FUNDED.</div> <div>⚠</div> <div>APPLICABLE CODES</div> <div>1. ALL NEW CONSTRUCTION SHALL COMPLY WITH 2013 CALIFORNIA BUILDING CODE.</div> <div>2. ALL NEW MECHANICAL WORK SHALL COMPLY WITH 2013 CALIFORNIA MECHANICAL CODE.</div> <div>3. ALL NEW PLUMBING WORK SHALL COMPLY WITH 2013 CALIFORNIA PLUMBING CODE, INCLUDING ALL AMENDMENTS ADOPTED IN ORDINANCE 1889.</div> <div>4. ALL NEW ELECTRICAL WORK SHALL COMPLY WITH 2013 CALIFORNIA ELECTRICAL CODE.</div> <div>5. ALL SPRINKLER WORK SHALL COMPLY WITH THE 2013 CALIFORNIA FIRE CODE.</div> <div>6. ALL NEW CONSTRUCTION SHALL COMPLY WITH 2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS.</div> <div>7. ALL NEW CONSTRUCTION SHALL COMPLY WITH 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN).</div> <div>8. ALL NEW CONSTRUCTION SHALL COMPLY WITH CALIFORNIA DISABLED ACCESS REQUIREMENTS.</div>
<div>BUILDING CODE ANALYSIS</div>	<div>B</div> <div>BUSINESS</div> <div>CONSTRUCTION:</div> <div><div>CONSTRUCTION TYPE:</div><div>III-B</div></div> <div><div>STRUCTURAL FRAME:</div><div>2-HR</div></div> <div><div>BEARING WALLS</div><div><div>EXTERIOR:</div><div>2-HR</div><div>INTERIOR:</div><div>0-HR</div></div></div> <div><div>NON-BEARING WALLS</div><div><div>EXTERIOR:</div><div>1-HR < 30', N.R. ELSEWHERE</div><div>INTERIOR:</div><div>0-HR</div></div></div> <div><div>SHAFT ENCLOSURES:</div><div>2-HR: ≥ 4 STORIES PER 2013 CBC SECTION 713.4</div><div>0-HR</div></div> <div><div>FLOOR CONSTRUCTION:</div><div>0-HR</div></div> <div><div>ROOF CONSTRUCTION:</div><div>0-HR</div></div> <div><div>CORRIDORS:</div><div>0-HR PER 2013 CBC SECTION 1018.1.3</div></div> <div><div>STAIR ENCLOSURES:</div><div>2-HR: ≥ 4 STORIES PER 2013 CBC TABLE 1009.3.1.2</div></div> <div>EXTERIOR WALL OPENINGS TABULATION:</div> <div>SEE SHEET A0.1.1</div> <div>OCCUPANCY:</div> <div><div>OCCUPANCY SEPARATIONS:</div><div>B / M = 0-HR</div><div>B / S-2 = 1-HR</div></div> <div>SPRINKLERS:</div> <div>FULLY SPRINKLERED BUILDING</div> <div>BUILDING AREA</div> <div><div>BASIC ALLOWABLE At:</div><div>19,000 SF/STORY</div><div>BUILDING AREA MODIFICATION Aa:</div><div>Aa = (At + [At x Is] + [At x If])</div><div>At x Is = (19,000 x 2) = 38,000 SF</div><div>SPRINKLER INCREASE:</div><div>{19,000 + [38,000] + [38,000 X 0]}= 57,000 SF</div><div>BUILDING AREA MODIFICATION Aa:</div><div>21,899 SF</div><div>ACTUAL:</div></div> <div>STORIES:</div> <div><div>ALLOWABLE:</div><div>3+1 STORIES</div><div>PROVIDED:</div><div>(4) STORIES</div></div>	<div>M</div> <div>RETAIL</div> <div>CONSTRUCTION:</div> <div><div>CONSTRUCTION TYPE:</div><div>III-B</div></div> <div><div>STRUCTURAL FRAME:</div><div>2-HR</div></div> <div><div>BEARING WALLS</div><div><div>EXTERIOR:</div><div>2-HR</div><div>INTERIOR:</div><div>0-HR</div></div></div> <div><div>NON-BEARING WALLS</div><div><div>EXTERIOR:</div><div>2-HR < 5', 1-HR < 30', N.R. ELSEWHERE</div><div>INTERIOR:</div><div>0-HR</div></div></div> <div><div>SHAFT ENCLOSURES:</div><div>2-HR: ≥ 4 STORIES PER 2013 CBC SECTION 713.4</div><div>0-HR</div></div> <div><div>FLOOR CONSTRUCTION:</div><div>0-HR</div></div> <div><div>ROOF CONSTRUCTION:</div><div>0-HR</div></div> <div><div>CORRIDORS:</div><div>0-HR PER 2013 CBC SECTION 1018.1.3</div></div> <div><div>STAIR ENCLOSURES:</div><div>2-HR: ≥ 4 STORIES PER 2013 CBC TABLE 1009.3.1.2</div></div> <div>EXTERIOR WALL OPENINGS TABULATION:</div> <div>SEE SHEET A0.1.1</div> <div>OCCUPANCY:</div> <div><div>OCCUPANCY SEPARATIONS:</div><div>M / B = 0-HR</div><div>M / S-2 = 1-HR</div></div> <div>SPRINKLERS:</div> <div>FULLY SPRINKLERED BUILDING</div> <div>BUILDING AREA</div> <div><div>BASIC ALLOWABLE At:</div><div>12,500 SF/STORY</div><div>BUILDING AREA MODIFICATION Aa:</div><div>Aa = (At + [At x Is] + [At x If])</div><div>At x Is = (12,500 x 2) = 25,000 SF</div><div>SPRINKLER INCREASE:</div><div>{12,500 + [25,000] + [26,000 X 0]}= 37,500 SF</div><div>BUILDING AREA MODIFICATION Aa:</div><div>21,899 SF</div><div>ACTUAL:</div></div> <div>STORIES:</div> <div><div>ALLOWABLE:</div><div>2+1 STORIES</div><div>PROVIDED:</div><div>(1) STORY</div></div>	<div>S-2</div> <div>OPEN PARKING GARAGE</div> <div>CONSTRUCTION:</div> <div><div>CONSTRUCTION TYPE:</div><div>III-B</div></div> <div><div>STRUCTURAL FRAME:</div><div>2-HR</div></div> <div><div>BEARING WALLS</div><div><div>EXTERIOR:</div><div>2-HR</div><div>INTERIOR:</div><div>0-HR</div></div></div> <div><div>NON-BEARING WALLS</div><div><div>EXTERIOR:</div><div>1-HR < 10', N.R. ELSEWHERE</div><div>INTERIOR:</div><div>1-HR</div></div></div> <div><div>SHAFT ENCLOSURES:</div><div>2-HR: ≥ 4 STORIES PER 2013 CBC SECTION 713.4</div><div>0-HR</div></div> <div><div>FLOOR CONSTRUCTION:</div><div>0-HR</div></div> <div><div>ROOF CONSTRUCTION:</div><div>0-HR</div></div> <div><div>CORRIDORS:</div><div>0-HR PER 2013 CBC SECTION 1018.1.3</div></div> <div><div>STAIR ENCLOSURES:</div><div>2-HR: ≥ 4 STORIES PER 2013 CBC TABLE 1009.3.1.2</div></div> <div>EXTERIOR WALL OPENINGS TABULATION:</div> <div>SEE SHEET A0.1.1</div> <div>OCCUPANCY:</div> <div><div>OCCUPANCY SEPARATIONS:</div><div>S-2 / M = 1-HR</div><div>S-2 / B = 1-HR</div></div> <div>SPRINKLERS:</div> <div>FULLY SPRINKLERED BUILDING</div> <div>BUILDING AREA</div> <div><div>BASIC ALLOWABLE At:</div><div>26,000 SF/STORY</div><div>BUILDING AREA MODIFICATION Aa:</div><div>Aa = (At + [At x Is] + [At x If])</div><div>At x Is = (26,000 x 2) = 52,000 SF</div><div>SPRINKLER INCREASE:</div><div>{26,000 + [26,000 X 2] + [26,000 X 0]}= 78,000 SF</div><div>BUILDING AREA MODIFICATION Aa:</div><div>21,899 SF</div><div>ACTUAL:</div></div> <div>STORIES:</div> <div><div>ALLOWABLE:</div><div>3+1 STORIES</div><div>PROVIDED:</div><div>(1) STORY</div></div>	<div>CONSTRUCTION HOURS</div> <div>WEEKDAYS: 7:00 A.M. - 7:00 P.M.</div> <div>SATURDAYS: 9:00 A.M. - 6:00 P.M.</div> <div>SUNDAYS AND HOLIDAYS: 10:00 A.M. - 6:00 P.M.</div> <div>(SEE CITY OF BURLINGAME MUNICIPAL CODE, SECTION 13.04.100 FOR DETAILS)</div> <div>CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00 A.M. AND 5:00 P.M.</div> <div>NOTE: CONSTRUCTION HOURS FOR WORK IN THE PUBLIC RIGHT OF WAY MUST NOW BE INCLUDED ON THE PLANS.</div> <div>⚠</div>

[illegible]

A0.1.0



SITE PLAN LEGEND

- PROPERTY LINE
- AREA OF ADJACENT PROPERTY, N.I.C.
- SIDEWALK
- ACCESSIBLE EXIT PATH OF TRAVEL TO PUBLIC RIGHT OF WAY

SITE PLAN NOTES

- ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR.

240 LORTON AVE

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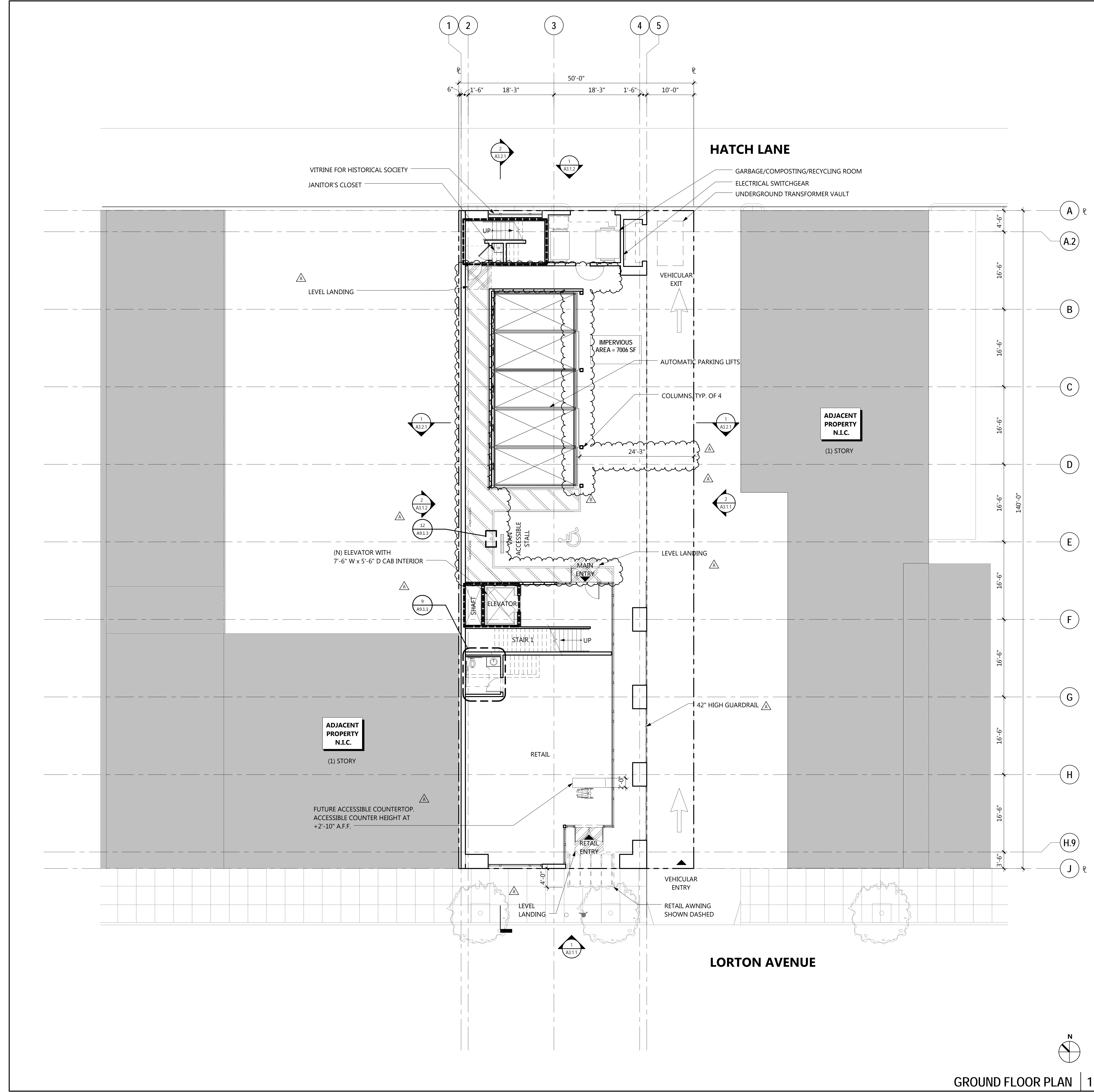
No.	Date	Issue
	27 MAY 16	PRELIMINARY PLANNING PACKAGE
	21 JUNE 16	PLANNING PACKAGE
△	17 AUG 16	PLANNING REVIEW RESPONSE "A"
△	19 SEP 16	PLANNING REVIEW RESPONSE "B"
△	03 OCT 16	PLANNING REVIEW RESPONSE "C"

Project	51017
Scale	1/16" = 1'-0"
Drawing Title	SITE PLAN

C:\projects\51017-240 Lorton\2016\240 Lorton-01.dwg
Drawing No.

A1.0.0

A2.0.0



FLOOR PLAN LEGEND

- PROPERTY LINE
- 2 HR ELEVATOR SHAFT / STAIR SHAFT
- NON-VEHICULAR ACCESS
- ACCESSIBLE VAN STALL
- LEVEL LANDING SLOPE AND CROSS SLOPE (1:48 MAX. SLOPE)

FLOOR PLAN NOTES

- ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR.
- IMPERVIOUS SURFACE AREA CALCULATION
EXISTING SITE IMPERVIOUS AREA: 7,006 SF
PROPOSED SITE IMPERVIOUS AREA: 7,006 SF
- PERVIOUS SURFACE AREA CALCULATION
EXISTING PERVIOUS AREA: 0 SF
PROPOSED PERVIOUS AREA: 681 SF
SEE ROOF PLAN ON SHEET A2.0.5 FOR PROPOSED PERVIOUS AREA
- NOTE: SEE SHEET A2.0.4 FOR PLANTING AT FOURTH FLOOR AND SHEET A2.0.5 ROOF PLAN FOR DIRECT ROOF RUNOFF ONTO VEGETATED AREAS.

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17 AUG 16		PLANNING REVIEW RESPONSE "A"
19 SEP 16		PLANNING REVIEW RESPONSE "B"

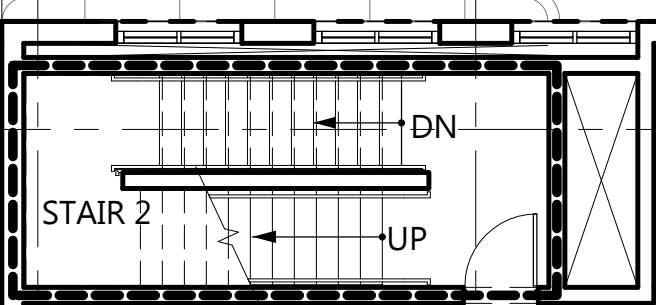
Project	51017
Scale	1/8" = 1'-0"
Drawing Title	GROUND FLOOR PLAN

C:\Users\50517-240 Lorton\2017-240 Lorton-160401.dwg
Drawing No.

A2.0.1

1 2 3 4 5
6" 1'-6" 18'-3" 50'-0" 18'-3" 1'-6" 10'-0"

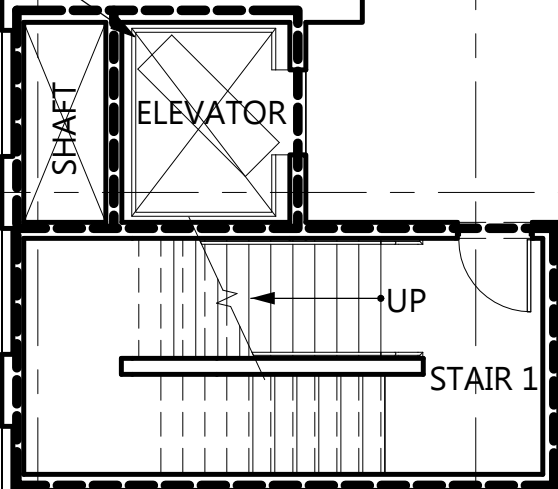
HATCH LANE



UTILITY

MEN'S RESTROOM

WOMEN'S RESTROOM



(N) ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR

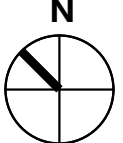
ADJACENT PROPERTY N.I.C. (1) STORY

(4) 1HR FIRE-RATED WINDOWS, TO MATCH EXTERIOR WALL RATING.

ADJACENT PROPERTY N.I.C. (1) STORY

A A.2 B C D E F G H H.9 J

LORTON AVENUE



SECOND FLOOR | 1

FLOOR PLAN LEGEND

- PROPERTY LINE
- 2 HR ELEVATOR SHAFT / STAIR SHAFT

FLOOR PLAN NOTES

1. ELEVATOR WITH 7'-6" W x 5'-6" D CAB INTERIOR.



MBH

960 Atlantic Avenue
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

dlc

dewey land company, inc.

240 LORTON AVE

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BURLINGAME CA, 94010

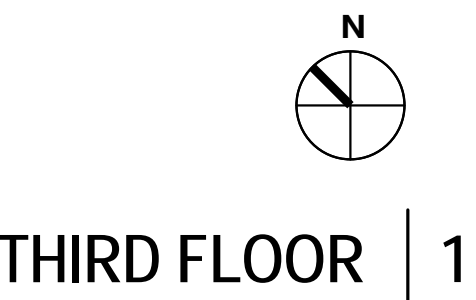
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21 JUNE 16	21 JUNE 16	PLANNING PACKAGE
17 AUG 16	17 AUG 16	PLANNING REVIEW RESPONSE "A"

Project	51017
Scale	1/8" = 1'-0"
Drawing Title	SECOND FLOOR PLAN

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Drawing No.

A2.0.2



A2.0.3



A2.0.4



PROPERTY LINE

2 HR ELEVATOR SHAFT / STAIR SHAFT

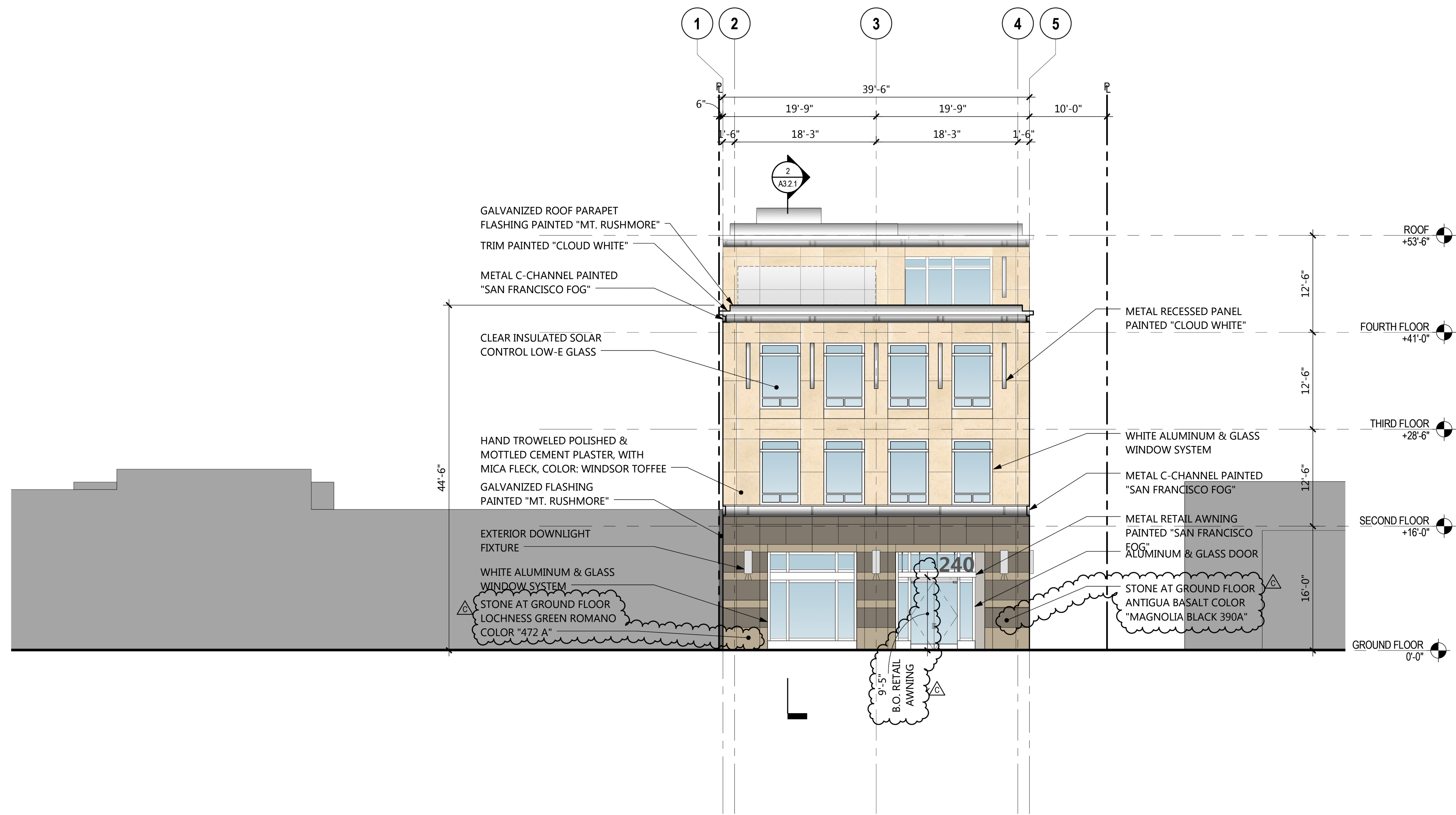
(N) ROOF DRAIN, TYP. OF (3)

AREA OF BUILDING ROOF OVER 55'-0" IS LESS THAN 10% PER CHAPTER 25.32 BAC (BURLINGAME AVENUE COMMERCIAL) DISTRICT REGULATIONS EXCEPTIONS (A) UNDER SECTION 25.32.065

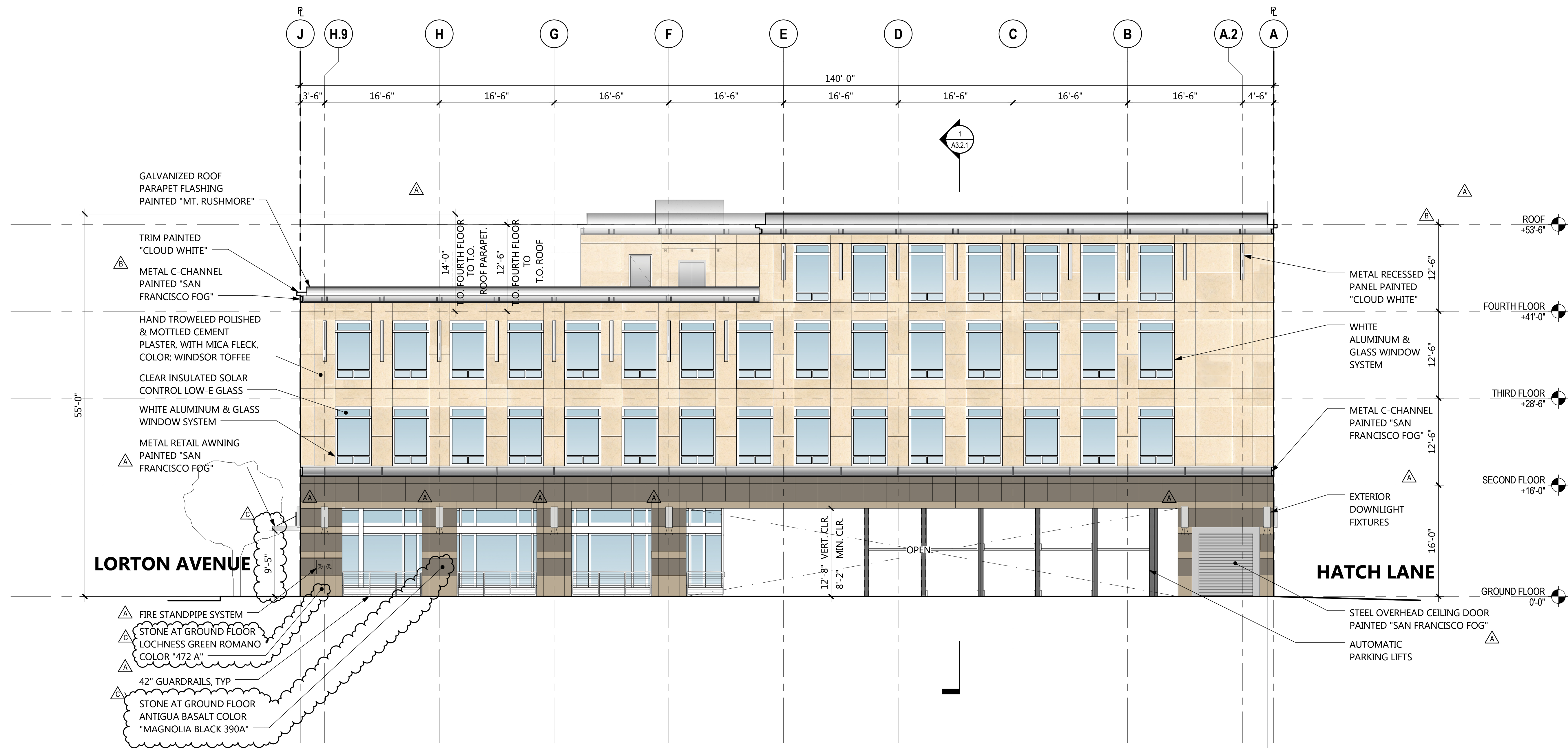
AREA OF ELEVATOR OVERRUN : 81 SQ FT

TOTAL PERCENTAGE 81 SQ FT / 2,840 SQ FT = 2.85%

A2.0.5



SOUTH EXTERIOR ELEVATION | 1



EAST EXTERIOR ELEVATION | 2

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	03 OCT 16	PLANNING REVIEW RESPONSE "C"

Project	51017
Scale	1/8" = 1'-0"
Drawing Title	EXTERIOR ELEVATIONS

C:\DWG\2017\240 LORTON\2017 PRELIMINARY PLANNING PACKAGE.dwg
Drawing No.

A3.1.1

240 LORTON AVE

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BURLINGAME CA, 94010

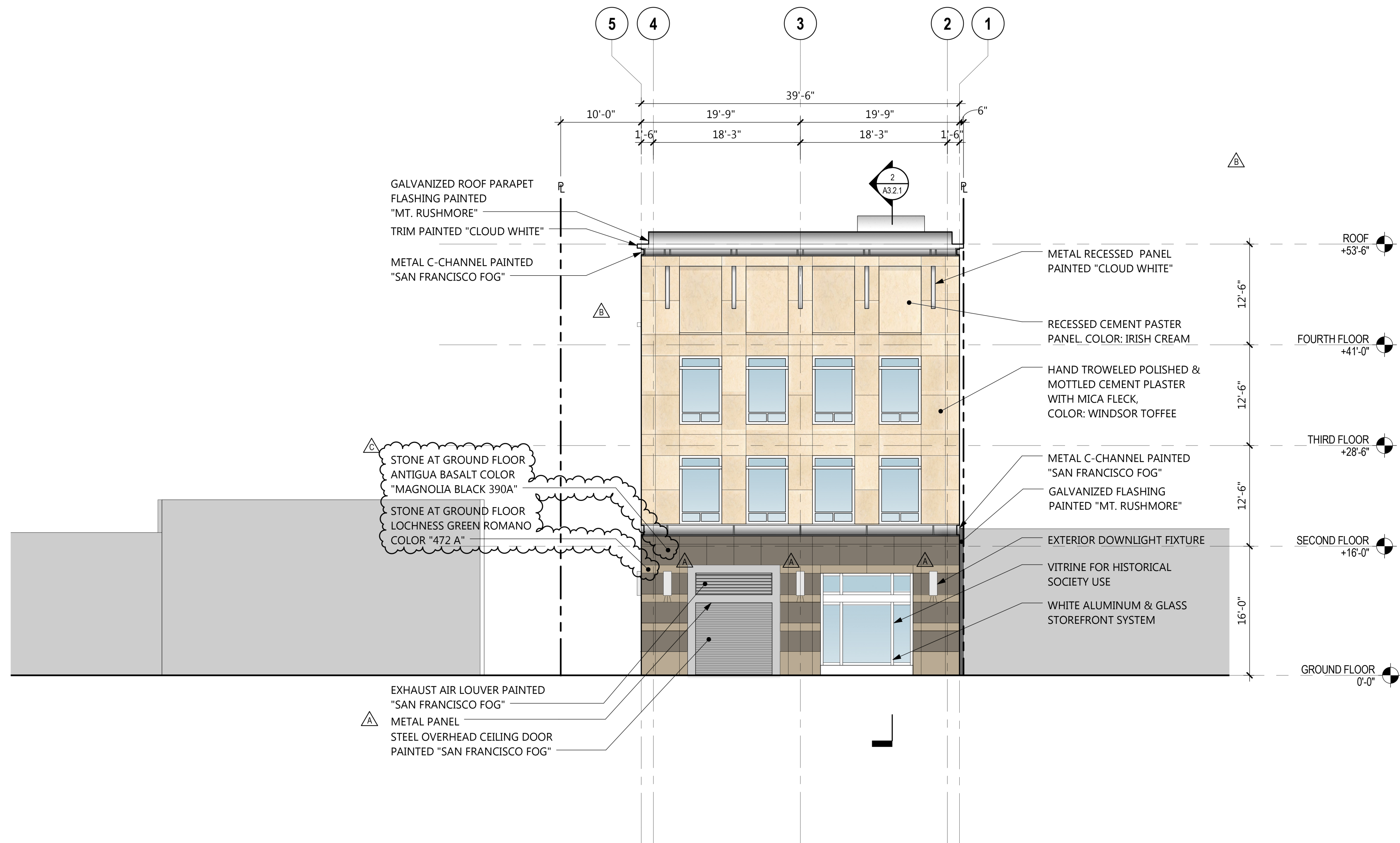
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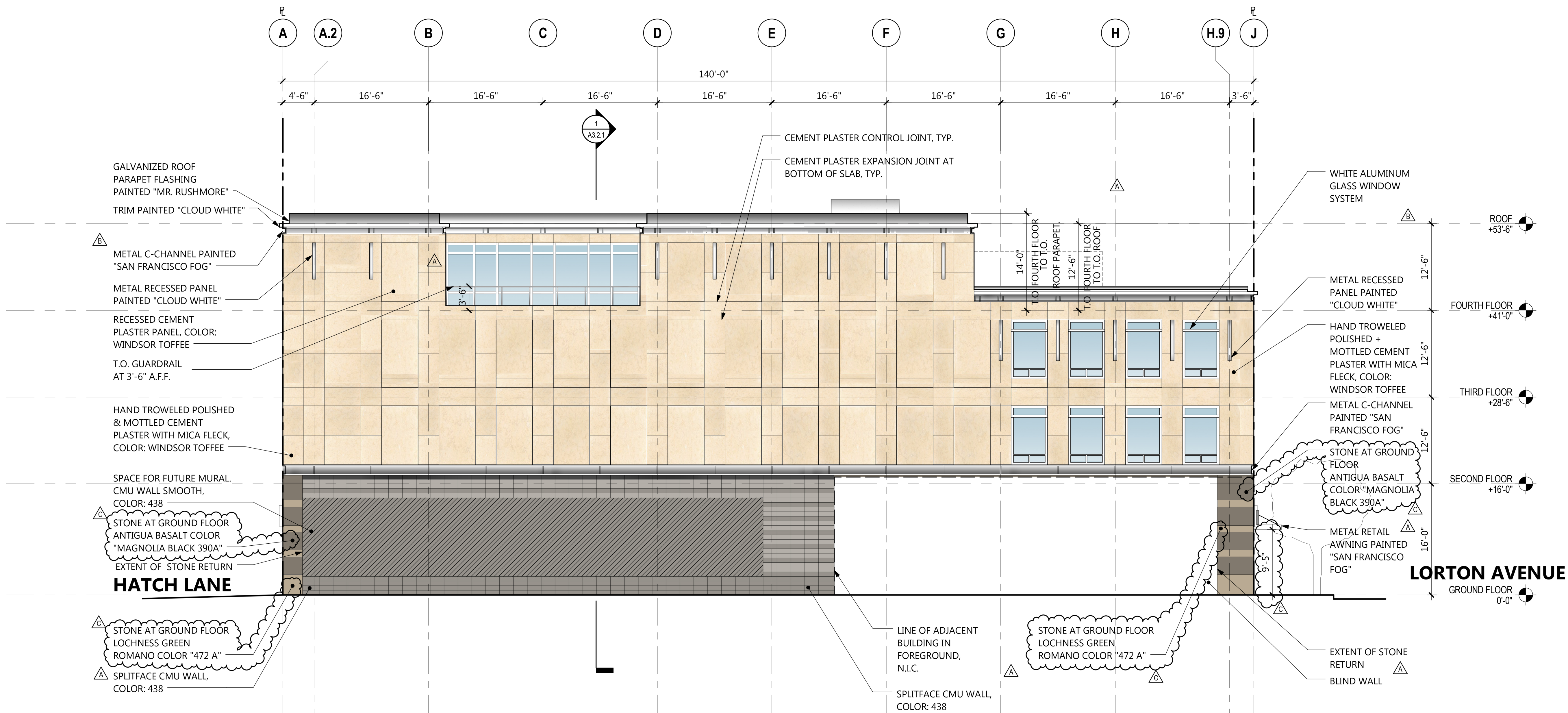
Project 51017
Scale As indicated
Drawing Title EXTERIOR ELEVATIONS

C:\dwg\51017\240 Lorton\2017\240 Lorton.dwg
Drawing No.

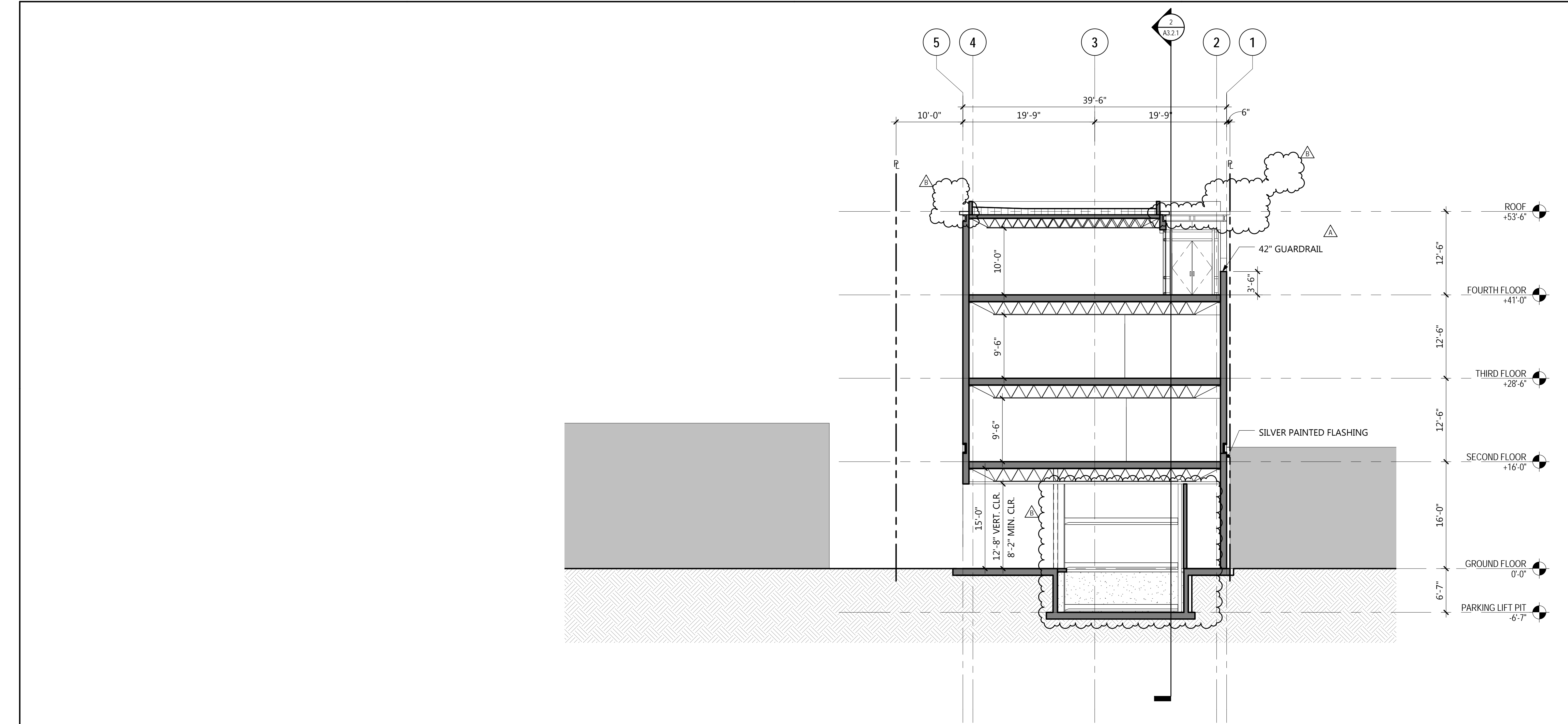
A3.1.2



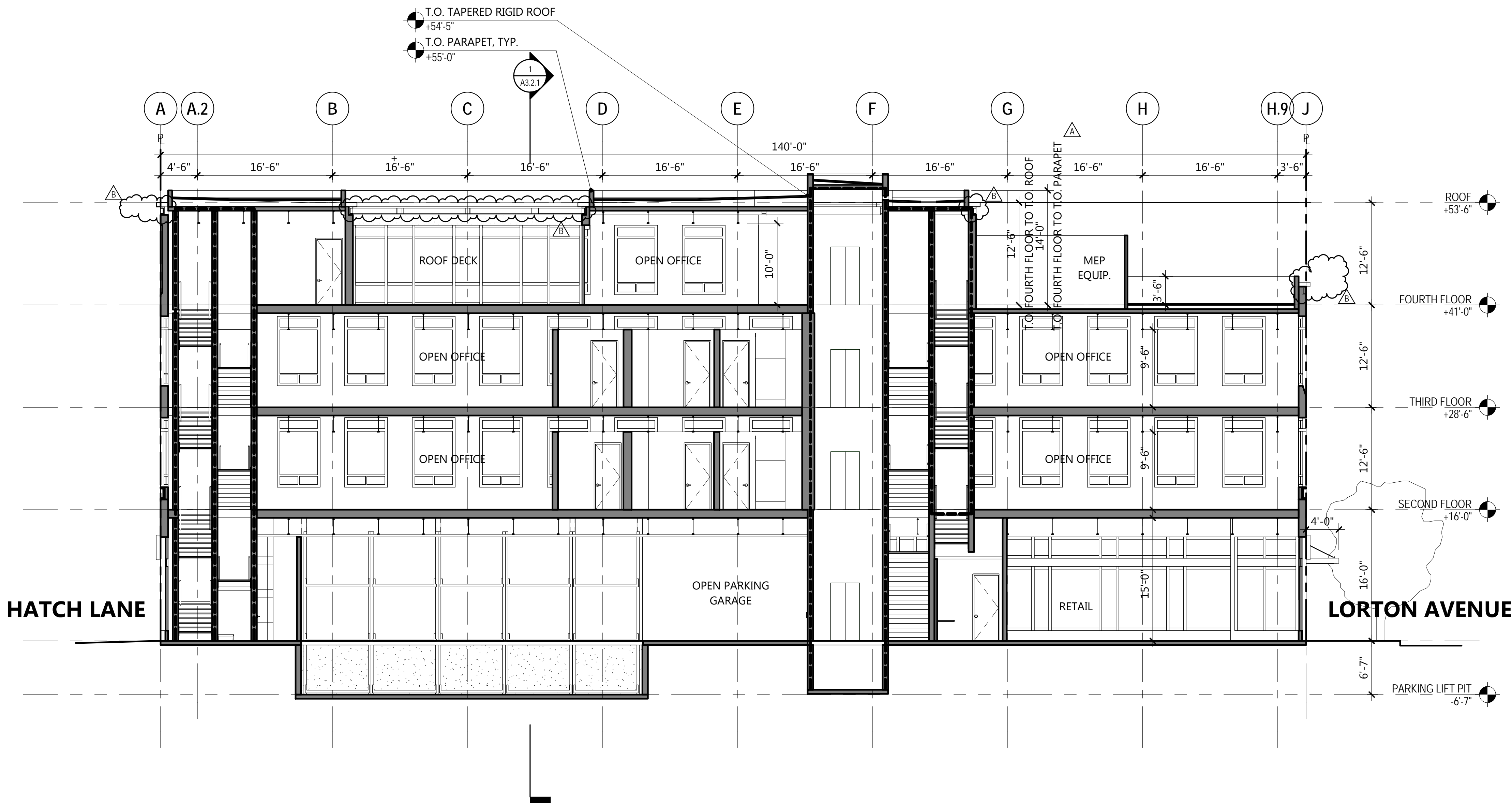
NORTH EXTERIOR ELEVATION | 1



WEST EXTERIOR ELEVATION | 2



BUILDING SECTION, EAST-WEST | 1



BUILDING SECTION, NORTH-SOUTH | 2

BUILDING SECTIONS LEGEND

2 HR ELEVATOR SHAFT / STAIR SHAFT



MBH 960 Atlantic Avenue
Alameda, CA 94501
Tel 510 865 8663
Fax 510 865 1611

dlc dewey land company, inc.

240 LORTON AVE

240 LORTON AVENUE
BURLINGAME CA, 94010

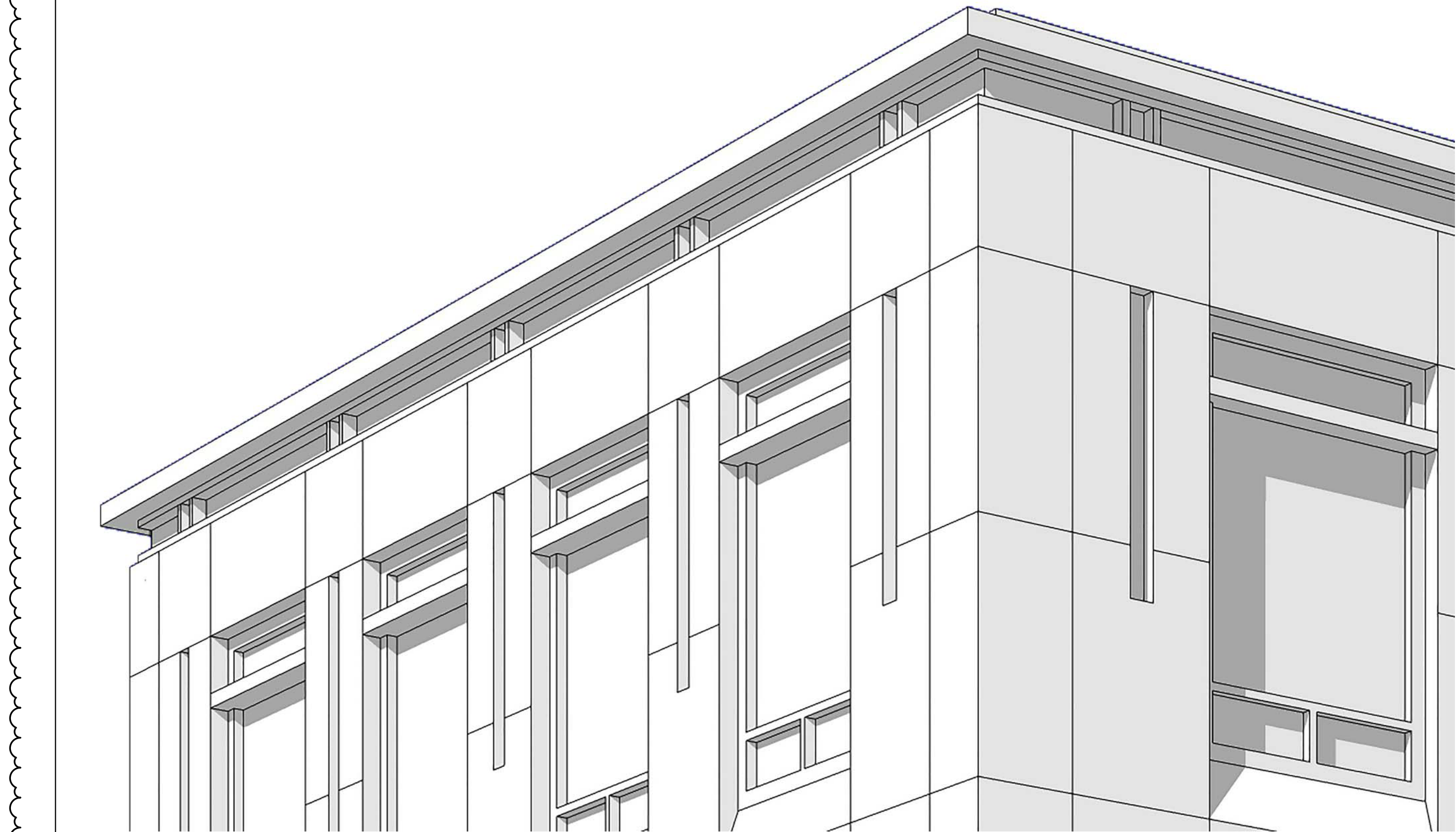
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No.	Date	Issue
	27 MAY 16	PRELIMINARY PLANNING PACKAGE
	21 JUNE 16	PLANNING PACKAGE
	17 AUG 16	PLANNING REVIEW RESPONSE "A"
	19 SEP 16	PLANNING REVIEW RESPONSE "B"

Project	51017
Scale	1/8" = 1'-0"
Drawing Title	BUILDING SECTIONS

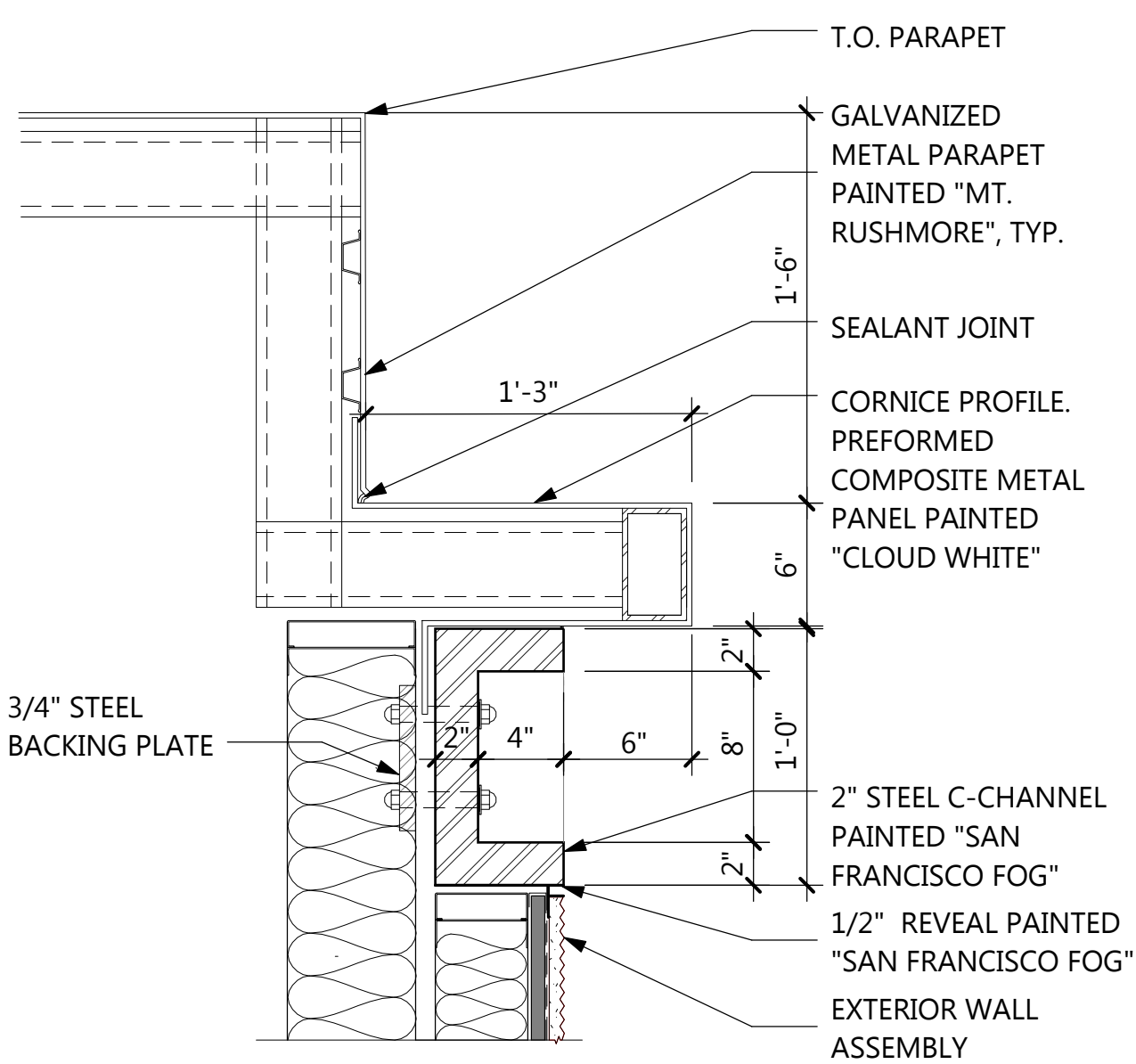
C:\Users\G317-240 Lorton\2017-240 Lorton\240 Lorton\240 Lorton.dwg
Drawing No.

A3.2.1



6 ENLAGRED CORNICE AXONOMETRIC

1 1/2" = 1'-0"



7 PARAPET AT CORNICE DETAIL

SECTION

1 1/2" = 1'-0"

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240 LORTON AVENUE
BURLINGAME CA, 94010

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21 JUNE 16		PLANNING PACKAGE
19 SEP 16		PLANNING REVIEW RESPONSE "B"
03 OCT 16		PLANNING REVIEW RESPONSE "C"

Project	51017
Scale	1 1/2" = 1'-0"
Drawing Title	CORNICE DETAIL AND AXONOMETRIC
Drawing No.	

A8.1.1



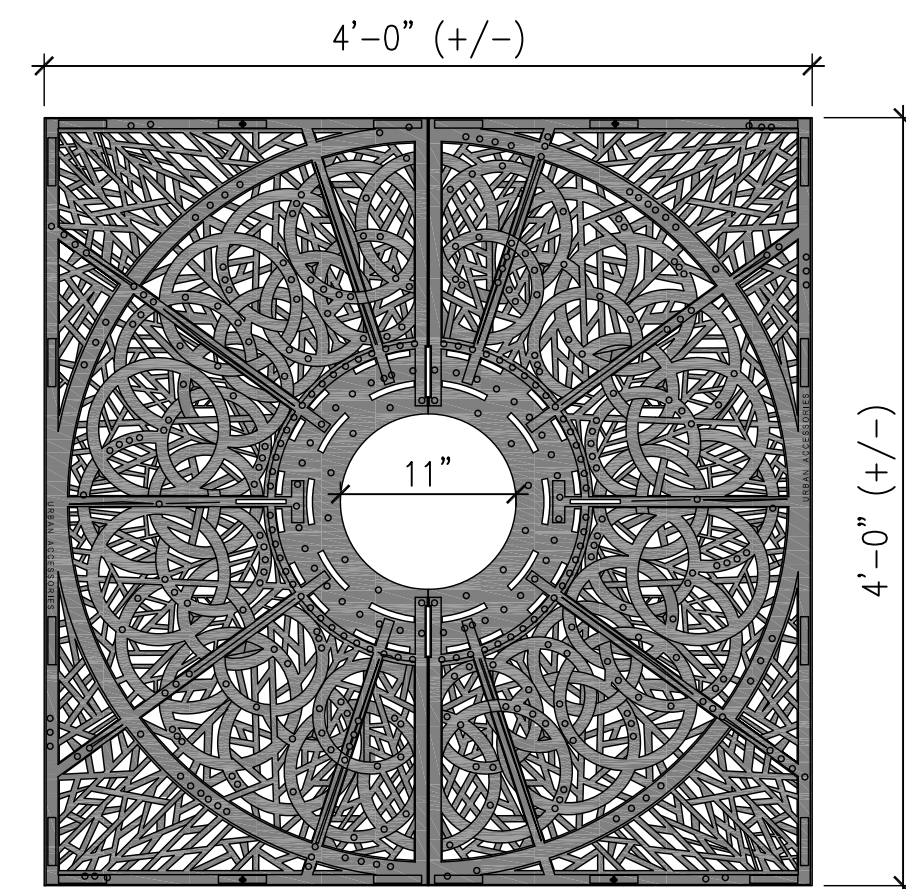
PLANTER WALLS - ALTERNATING HEIGHTS



PEDESTAL PAVERS



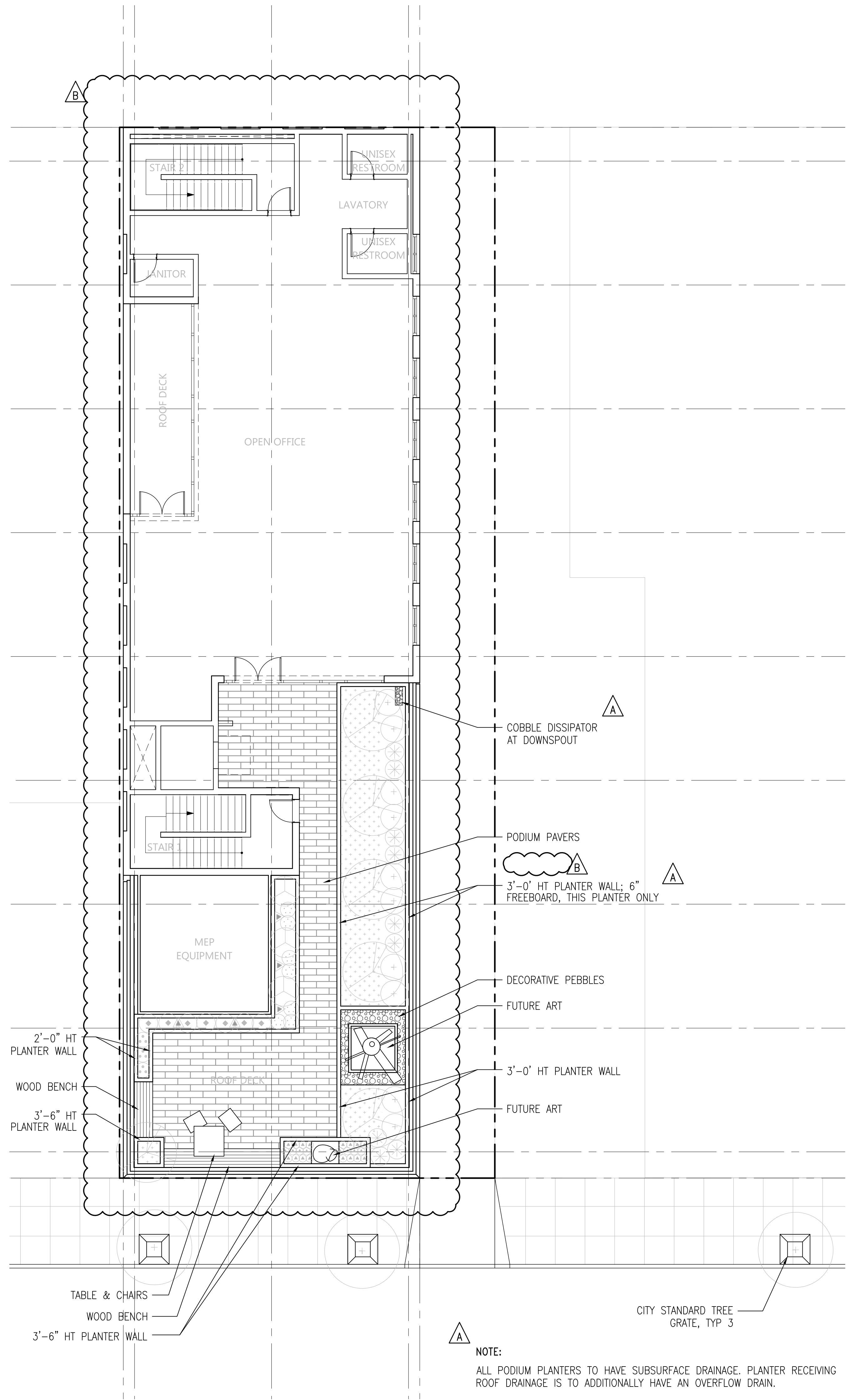
BENCH, TYPICAL



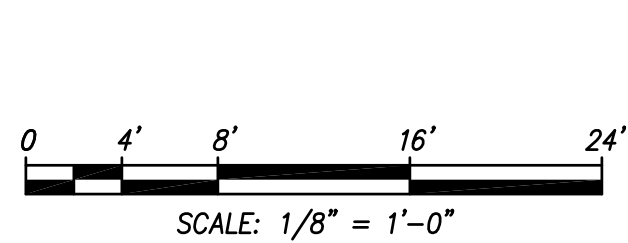
TREE GRATE TO BE CITY OF BURLINGAME STANDARD: URBAN ACCESSORIES
OT TITLE-24 4'-0" SQUARE DARK GREEN POWDERCOATED GRAY IRON GRATE.

PRECEDENT IMAGES

TREE GRATE



FOURTH FLOOR & GROUND FLOOR LANDSCAPE PLAN
1/8" = 1'-0"



A large, mature tree with dense green foliage stands in front of a red brick building with white window frames. A stone bench is visible at the base of the tree.



Cercis canadensis 'Forest Pansy'

PRELIMINARY PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WTR USE	
STREET TREE						
	ACER BUERGERIANUM	TRIDENT MAPLE	24" BOX	PER PLAN		
FOURTH FLOOR TREE						
	CERCIS CANADENSIS 'FOREST PANSY'	PURPLE LEAF REDBUD	15 GAL	PER PLAN	M	
SHRUBS						
	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	4'-0" OC	L	
	AGAVE PARRYI TRUNCATA - CENTRY	PARRYI'S AGAVE	5 GAL	3'-0" OC	L	
	ANIGOZANTHOS 'BUSH TANGO'	KANGAROO PAW	5 GAL	3'-0" OC	L	
	BULBINE FRUITESCENS	STALKED BULBINE	1 GAL	2'-0" OC	L	
	LEUCADENDRON 'JESTER'	SUNSHINE CONEBUSH	5 GAL	4'-0" OC	L	
	BERBERIS 'GOLDEN ROCKET'	BARBERRY	5 GAL	4'-0" OC	M	
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-6" OC	L	
GRASSES						
	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	3'-0" OC	L	
	MUHLNBERGIA RIGENS	DEER GRASS	5 GAL	3'-0" OC	L	
	CAREX TUMULCOLA	BERKELEY SEDGE	1 GAL	1'-0" OC	L	
	LIBERTIA PERGRINANS	ORANGE LIBERTIA	5 GAL	2'-0" OC	L	
	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	3'-0" OC	L	
	PENNESETUM 'FAIRY TAILS'	FOUNTAIN GRASS	5 GAL	3'-0" OC	M	
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	L	
	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL	2'-0" OC	M	
VINES						
	BOUGAINVILLEA SSP.	PURPLE LILAC VINE	5 GAL	PER PLAN	L	

A large, dense, green, low-growing shrub, likely a Japanese maple, planted in a garden bed next to a light-colored stone wall. The shrub has a rounded, bushy form with many small, serrated leaves. It is situated in a bed of dark mulch, with a gravel path visible in the foreground. The background wall is made of large, light-colored rectangular stones.

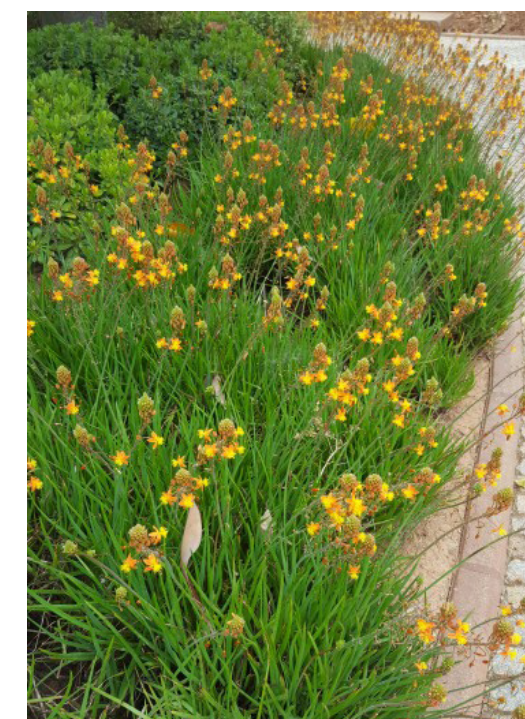
Acacia cognata 'Cousin Itt'



Agave perryi truncata - Gentry form



Anigozanthos 'Bush Tango'



Bulbine frutescens



Carex divulsa



Calamagrostis 'Karl Foerster'



Muhlenbergia rigens



Leucadendron 'Jester'



Berberis 'Golden Rocket'



Carex tumulcola



Libertia peregrinans



Chondropetalum tectorum



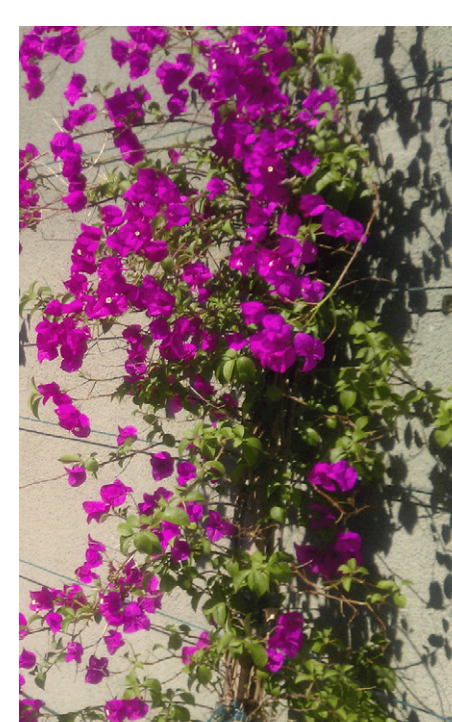
Pennesetum 'Fairy Tails'



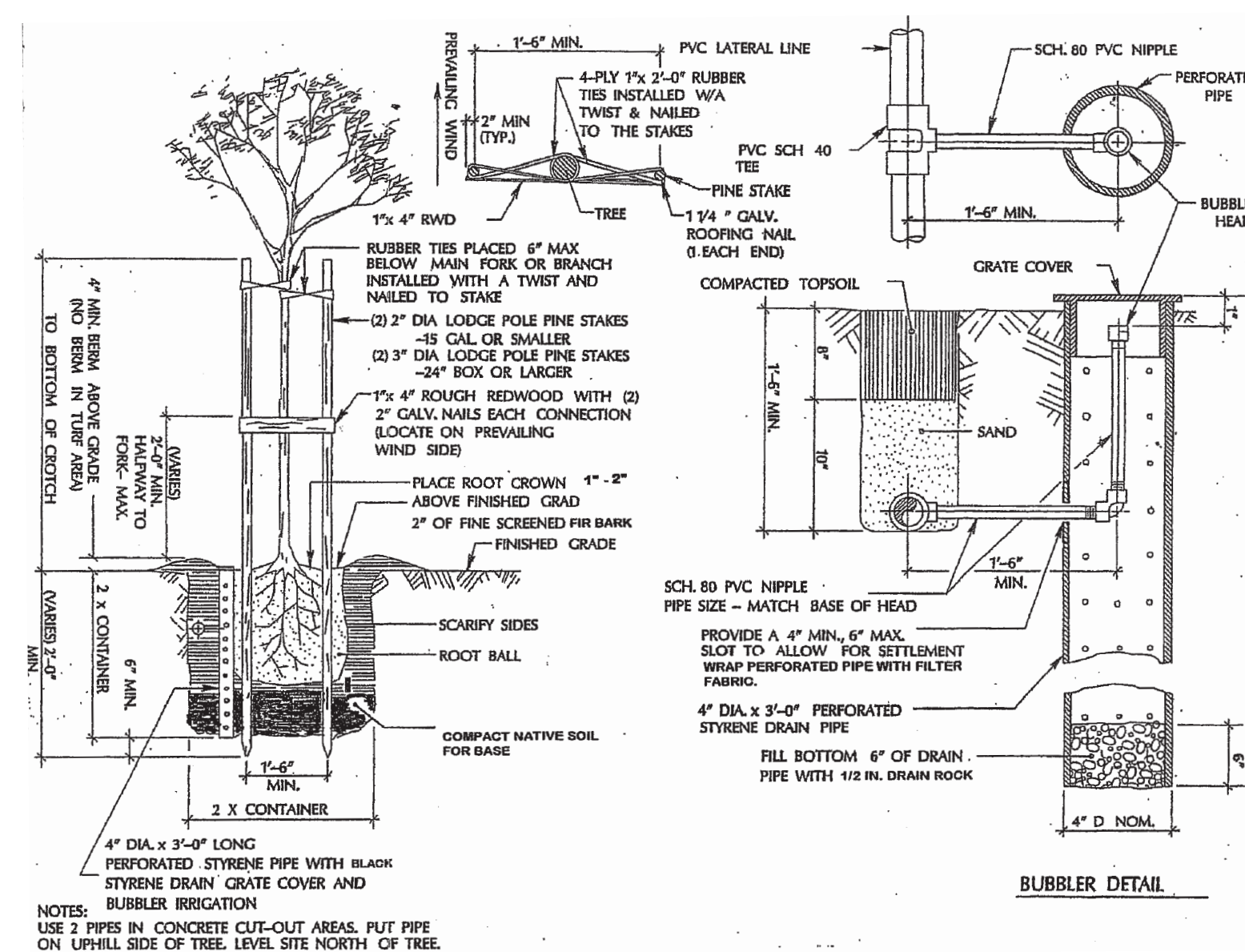
Lomandra longifolia Breeze



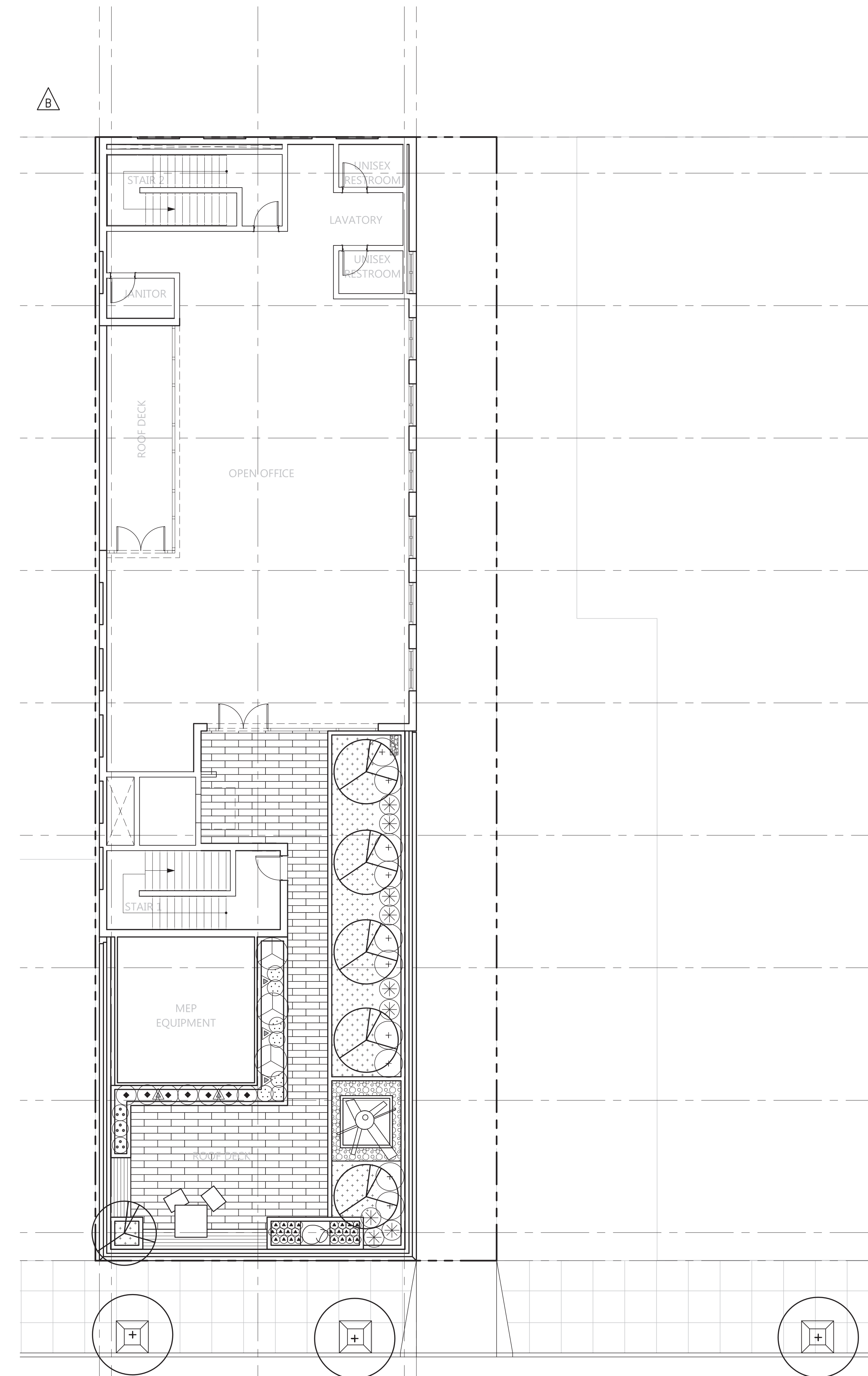
Sesleria autumnalis



Bougainvillea



CITY STANDARD TREE PLANTING DETAIL



FOURTH FLOOR & GROUND FLOOR PLANTING PLAN
1/8"=1'-0"

240 LORTON
BURLINGAME, CA

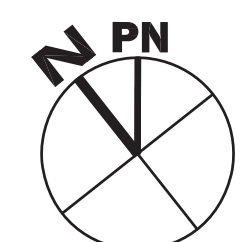
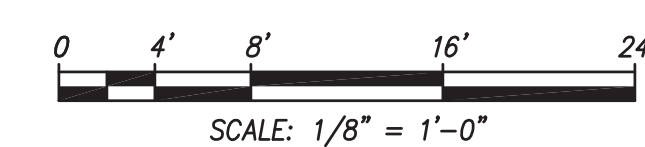
NO.	DATE	ISSUE
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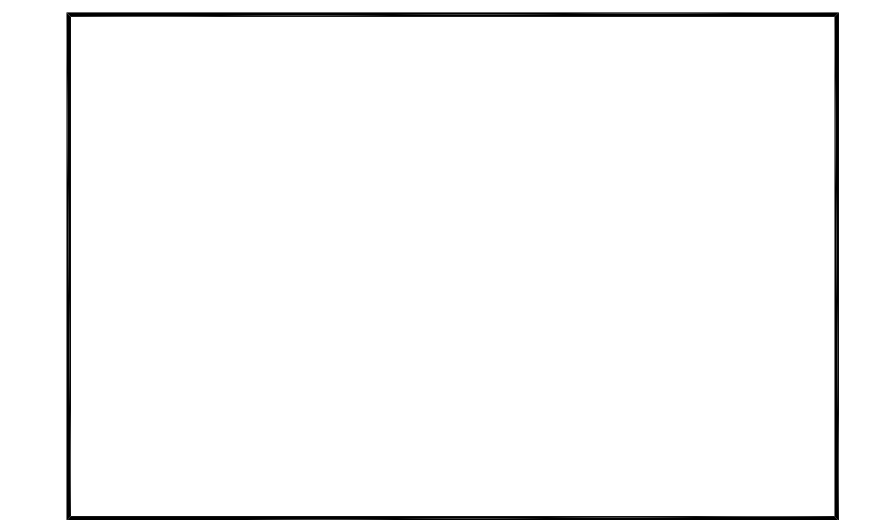
SHEET TITLE

FOURTH FLOOR &
GROUND FLOOR
PLANTING PLAN

JOB NO.	
SCALE	
DRAWN BY	
SHEET NO.	

L2.01





1 PAINT - WHITE
"CLOUD WHITE" COLOR



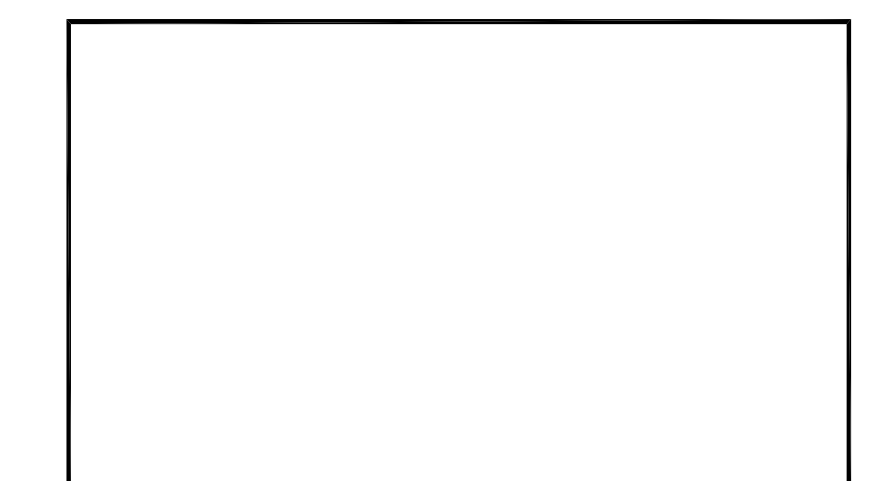
2 CEMENT PLASTER
HAND-TROWELED
"WINDSOR TOFFEE" COLOR



3 PAINT - LIGHT GREY
"SAN FRANCISCO FOG" COLOR



4 PAINT - DARK GREY
"MT. RUSHMORE" COLOR



5 STOREFRONT MULLION
"65G OASIS WHITE STRIPE" COLOR



11 CONCRETE
"PEWTER 860" COLOR



10 CMU WALL
SPLITFACE
"438" COLOR



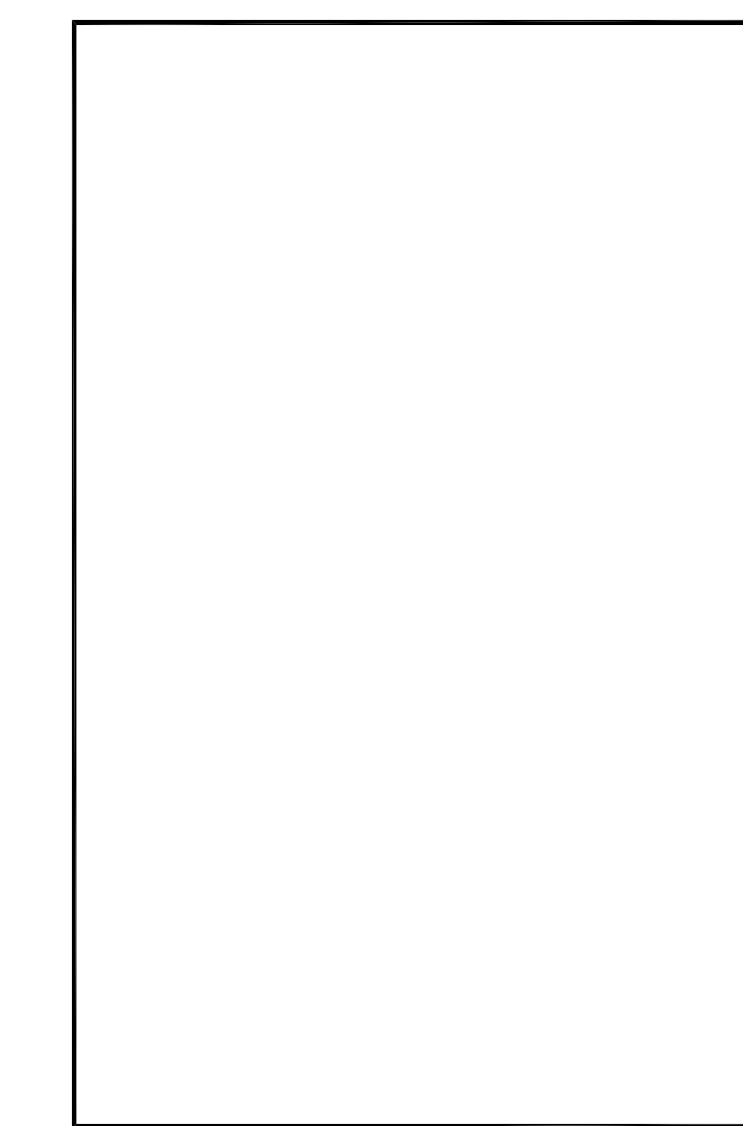
9 CMU WALL
PRECISION SMOOTH
"438" COLOR



8 STONE BASE
LOCHNESS GREEN ROMANO
"472 A" COLOR



7 STONE
ANTIGUA BASALT
"MAGNOLIA BLACK 390A" COLOR



6 WINDOWS
CLEAR UV-COATED GLASS