



# VILLAGE OF GLENCOE

675 Village Court, Glencoe, Illinois 60022  
p: (847) 835-4114 | [info@villageofglencoe.org](mailto:info@villageofglencoe.org) | Follow Us: @VGlencoe

[www.villageofglencoe.org](http://www.villageofglencoe.org)

## Virtual Meeting Information

As the Village of Glencoe and its partner agencies continue to follow social distancing requirements and Governor Pritzker's *Restore Illinois* Plan, the November 16, 2020 Zoning Board of Appeals meeting will be held virtually via telephone and video conference (individuals may participate either by telephone or by video conference). Individuals may call the following to participate in the meeting:

### **By Telephone:**

Phone Number: (312) 626-6799

Webinar ID: 921 8707 2139

### **By Zoom Video Conference:**

Zoom video conference link: [Click here](#)

Video conference participants using a computer will be prompted to install the Zoom client; participants using smart phones or tablets must download the Zoom app from their app store.

## **Public Comment Submittal Options**

### **Option 1: Submit Comments by E-Mail Prior to Meeting**

Public comments can be submitted in advance of the meeting by e-mail to [glencoemeeting@villageofglencoe.org](mailto:glencoemeeting@villageofglencoe.org). Public comments received by 6:30 p.m. or one hour before the start of the Zoning Board of Appeals meeting will be read during the ZBA meeting under Public Comment. Any comments received during the meeting may be read at the end of the meeting.

All e-mails received will be acknowledged. Public comment is limited to 400 words or less. E-mailed public comments should contain the following:

- The Subject Line of the e-mail should include the following text: "November 16<sup>th</sup> ZBA Meeting Public Comment"
- Name of person submitting comment (address can be provided, but is not required)
- Organization or agency person is submitting comments on behalf of, if applicable
- Topic or agenda item number of interest, or indicate if the public comment is on a matter not listed on the ZBA meeting agenda

### **Option 2: Submit Comments by Phone Prior to Meeting**

Individuals without access to e-mail may submit their comments through a voice message by calling (847) 461-1100. Verbal public comments will be read aloud during the meeting and will be limited to three minutes.



**AGENDA  
VILLAGE OF GLENCOE  
ZONING BOARD OF APPEALS  
SPECIAL MEETING**

**Virtual Meeting  
November 16, 2020  
7:30pm**

**1. CALL TO ORDER AND ROLL CALL**

*Howard Roin, Chair  
Sara Elsasser  
David Friedman  
Alex Kaplan  
Scott Novack  
John Satter*

**2. CONSIDER ADOPTION OF THE NOVEMBER 2, 2020 ZONING BOARD OF APPEALS MEETING MINUTES.**

**3. CONSIDER A REQUEST FOR AN EXTENSION OF AN APPROVED VARIATION AT 348 W. ELM COURT.**

**4. CONSIDER A REQUEST FOR VARIATIONS TO ALLOW TEMPORARY SIGNAGE IN THE PUBLIC RIGHT-OF-WAY AT 688-694 VERNON AVE.**

**5. ADJOURN**

*The Village of Glencoe is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend the meeting who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact the Village of Glencoe at least 72 hours in advance of the meeting at (847) 835-4114, or the Illinois Relay Center at (800) 526-0844, to allow the Village of Glencoe to make reasonable accommodations for those persons.*



**MINUTES  
VILLAGE OF GLENCOE  
ZONING BOARD OF APPEALS  
REGULAR MEETING**

Village Hall Council Chamber and Videoconference  
675 Village Court  
Monday, November 2, 2020 – 7:30 PM

**1. CALL TO ORDER AND ROLL CALL**

The Regular Meeting of the Zoning Board of Appeals of the Village of Glencoe was called to order by the Chairman, at 7:30 p.m. on the 2nd day of November 2020, held virtually via Zoom web videoconference.

Attendee Name	Title	Status
<b>Village Board</b>		
Howard Roin	ZBA Chairman	Present
Sara Elsasser	Member	Present
David Friedman	Member	Present
Alex Kaplan	Member	Present
Scott Novack	Member	Present
John Satter	Member	Present
<b>Village Staff</b>		
Taylor Baxter	Development Services Manager	Present
Rich McGowan	Planner	Present

**2. CONSIDERATION OF MINUTES OF THE OCTOBER 5, 2020 ZBA MEETING**

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>AYES:</b>	Roin, Elsasser, Friedman, Kaplan, Novack, Satter
<b>NAYS:</b>	None
<b>ABSENT:</b>	None

**3. SWEARING IN ATTENDEES FOR PUBLIC COMMENT**

Taylor Baxter swore in those attendees wishing to provide comments during the meeting.

**4. UNFINISHED BUSINESS: CONSIDER VARIATION REQUEST AT 510 JEFFERSON AVENUE**

Taylor Baxter gave a brief overview of case, stating that the applicants had sought approval at the October 5, 2020 ZBA meeting to increase the maximum allowable gross floor area

from 4,648 square feet to 4,893 square feet in order to construct a new pool house and pergola at 510 Jefferson Avenue. The variance request was deferred to the November 2, 2020 ZBA meeting to allow the Village Engineer to review the proposed plans due to stormwater requirements in a recent subdivision agreement and concerns expressed by the neighbor, Mr. Goodwin of 533 Madison Avenue. James Tigue, the Village's Engineer, was not present at the meeting but provided a memorandum stating that the plans are feasible to address the Village's stormwater management requirements.

Mr. Goodwin, who only attended the October 5, 2020 ZBA meeting, communicated with Mr. Baxter prior to the November 2, 2020 ZBA meeting and stated that if the Village's Engineer is satisfied with the proposed plans, then he does not have any further comments.

Chairman Howard Roin suggested that the ZBA could approve this request with conditions that the water concerns will be to the satisfaction of the Village's Engineer. Board Member Scott Novack was hesitant to approve with conditions due to the ZBA's role and to avoid setting a precedent for future variance approvals.

### **PUBLIC COMMENT**

Chairman Roin asked the audience if anyone had a public comment. No comments were made.

Following consideration of the testimony and discussion, a motion was made and seconded, that the variance request be granted with the condition that the plans meet the Village's engineering requirements.

### **FINDINGS**

1. The requested variation is within the jurisdiction of the Zoning Board of Appeals.
2. Based on the totality of the relevant and persuasive testimony heard and presented, the Zoning Board determines that:
  - a. The requested variation is in harmony with general purpose and intent of the Glencoe Zoning Code.
  - b. There are practical difficulties and there is a hardship in the way of carrying out the strict letter of Section 3-111(C)(2) of the Glencoe Zoning Code as applied to the lot in question.
  - c. The plight of the owner is due to unique circumstances.
  - d. The requested variation will not alter the essential character of the locality.
  - e. The requested variation will not set a precedent unfavorable to the neighborhood or to the Village as a whole.



- f. The spirit of the Zoning Code will be observed, public safety and welfare will be secured, and substantial justice will be done if the requested variation is granted.

### RESOLUTION

NOW THEREFORE BE IT RESOLVED that the request to increase the maximum allowable gross floor area at 510 Jefferson Avenue, be granted with the condition that the plans meet the Village's engineering requirements, and as shown in the drawings or plans submitted by the owner and made part of the record.

BE IT FURTHER RESOLVED that the decision of the Development Services Manager is hereby reversed insofar as he denied the issuance of a building permit on the aforesaid property for the aforesaid construction;

BE IT FURTHER RESOLVED that this variation shall expire and be of no further force or effect at the end of twelve (12) months unless during said twelve-month period a building permit is issued, and construction begun and diligently pursued to completion; and

BE IT FURTHER RESOLVED that this resolution shall be spread upon the records of the Board and shall become a public record.

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>AYES:</b>	Roin, Elsasser, Friedman, Kaplan, Novack, Satter
<b>NAYS:</b>	None
<b>ABSENT:</b>	None

#### 4. CONSIDER VARIATION REQUEST AT 679 BIRCH ROAD

Chairman Roin stated that the purpose of this portion of the meeting was to conduct a virtual public hearing on a request for a variation by applicants and homeowners Paul and Sarah Wine, to allow for the construction of a new single-family home to increase the maximum allowable gross floor area. This variation is authorized by Section 7-403-E-1 of the Zoning Code.

Mr. Baxter then gave an overview and background of the case, stating:

- 1) The applicants are seeking a variance to increase the maximum allowable gross floor area from 5,222.77 square feet to 5,468.42 square feet in order to construct a new single-family residence at 679 Birch Road.

Applicant and homeowner Sarah Wine then thanked the ZBA and staff for their time and stated that one of the main reasons for the request is to include a covered back porch so that her family can spend more time outdoors, especially during the pandemic.

## PUBLIC COMMENT

Chairman Roin asked the audience if anyone had a public comment.

Moria Bernstein, whose parents live at 673 Birch Road, stated that the home looks beautiful and she wanted to confirm that this request is just for the gross floor area and not the setbacks. Chairman Roin confirmed this variance request is only to increase the maximum gross floor area and not the setbacks. Ms. Bernstein asked if the footprint would remain the same. Applicant and homeowner Paul Wine stated that from the street it is proposed to remain the same, but it is a little different on the sides and rear. Planner Rich McGowan confirmed that the new home is proposed to be further from 673 Birch Road (east property line) based on a plat of survey the Village has on file and current zoning requirements.

Following consideration of the testimony and discussion, a motion was made and seconded, that the variance request be granted per the drawings presented, making findings and resolving as follows:

## FINDINGS

1. The requested variation is within the jurisdiction of the Zoning Board of Appeals.
2. Based on the totality of the relevant and persuasive testimony heard and presented, the Zoning Board determines that:
  - a. The requested variation is in harmony with general purpose and intent of the Glencoe Zoning Code.
  - b. There are practical difficulties and there is a hardship in the way of carrying out the strict letter of Section 3-111(C)(2) of the Glencoe Zoning Code as applied to the lot in question.
  - c. The plight of the owner is due to unique circumstances.
  - d. The requested variation will not alter the essential character of the locality.
  - e. The requested variation will not set a precedent unfavorable to the neighborhood or to the Village as a whole.
  - f. The spirit of the Zoning Code will be observed, public safety and welfare will be secured, and substantial justice will be done if the requested variation is granted.

## RESOLUTION

NOW THEREFORE BE IT RESOLVED that the request to increase the maximum allowable gross floor area at 679 Birch Road, be granted as shown in the drawings or plans submitted by the owner and made part of the record.

BE IT FURTHER RESOLVED that the decision of the Development Services Manager is hereby reversed insofar as he denied the issuance of a building permit on the aforesaid property for the aforesaid construction;

BE IT FURTHER RESOLVED that this variation shall expire and be of no further force or effect at the end of twelve (12) months unless during said twelve-month period a building permit is issued, and construction begun and diligently pursued to completion; and

BE IT FURTHER RESOLVED that this resolution shall be spread upon the records of the Board and shall become a public record.

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>AYES:</b>	Roin, Elsasser, Friedman, Kaplan, Novack, Satter
<b>NAYS:</b>	None
<b>ABSENT:</b>	None

## **5. ADJOURN**

Chairman Roin asked if there was any further public comment. Hearing none, the meeting was adjourned at 8:19 p.m.



# VILLAGE OF GLENCOE MEMORANDUM

675 Village Court, Glencoe, Illinois 60022  
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

[www.villageofglencoe.org](http://www.villageofglencoe.org)

## Zoning Board of Appeals Memorandum

**DATE:** November 9, 2020

**TO:** Zoning Board of Appeals

**FROM:** Taylor Baxter, AICP, Development Services Manager  
Rich McGowan, Planner

**SUBJECT:** Consideration of an extension of an approved variation for ground coverage at 348 W. Elm Court

---

**Background:** At its November 4, 2019, the ZBA unanimously approved a variation to allow a new home on the subject property to exceed the allowable ground coverage by 7.43%.

Per Sec. 7-403(L)(1) of the Village's Zoning Code, "subject to an extension of time granted by the Zoning Board of Appeals ... no variation from the provisions of this Code shall be valid for a period longer than one year unless a building permit is issued and construction is actually begun within that period and is thereafter diligently pursued to completion." No building permit has been issued for this project.

Per Sec. 7-403(L)(2), the ZBA had the ability to grant a 12-month extension for variations that have not yet received a building permit. Prior to the expiration of the variation, the Village received a written request from the applicant to allow such an extension.

The plans from the approved variation application are included in this agenda packet.

**Analysis:** The Zoning Code grants the ZBA the discretion to determine if an extension is "appropriate and necessary to avoid undue hardship" to the property owner. The applicant has stated in the extension request letter that the COVID-19 pandemic has caused delays in the design and bidding process.

**Recommendation:** If the ZBA determines that an extension is appropriate, Staff recommends approval of the request.

**Motion:** The Zoning Board of Appeals may make a motion as follows:

**Move to accept/deny the request for a one-year extension of the approved variation to increase the allowable ground coverage for a new single-family residence at 348 W. Elm Court.**

*Law Offices of*  
**SAMUELS & BERNSTEIN**

484 Central Ave., Suite 202  
Highland Park, Illinois 60035  
(847) 433-1980  
Fax: (847) 433-4740

Calvin A. Bernstein  
[Cbernstein@sambernlaw.com](mailto:Cbernstein@sambernlaw.com)

*Chicago Office*  
180 North LaSalle Street  
Suite 1925  
Chicago, Illinois 60601  
(By Appointment Only)

November 3, 2020

Mr. Taylor Baxter  
Development Services Manager  
Zoning Board of Appeals  
Village of Glencoe  
675 Village Court  
Glencoe, Illinois 60022

Re: Property: 348 West Elm Court, Glencoe, Illinois  
Variation Granted: November 4, 2019

Dear Mr. Baxter:

Please be advised that this office represents the owners of the above referenced property, Evie and Scott Rooth (the "Rooths"). On November 4, 2019, the Zoning Board of Appeals granted the Rooths a zoning variance to allow them to exceed the allowable ground coverage. Since receiving the variation, the Rooths have diligently worked to complete their plans and proceed with the project without unnecessary delay. However, an unforeseen situation has arisen that has made it impossible for the Rooths to timely obtain their building permits and commence construction. The COVID-19 pandemic virus caused a delay in the design and now in the bidding process. The COVID-19 pandemic has complicated the Rooths ability to make design changes and obtain bids from busy contractors.

As a result of the foregoing, it is appropriate and necessary to grant a one (1) year extension of the order granting their variation in order to avoid undue hardship. Causing the Rooths to repeat the process when they are working diligently to obtain building permits and commence construction would needlessly delay the project and add significant cost to the project.

By this letter, the Rooths hereby request that their variation expiration be extended for one

(1) year. The granting of these extensions will allow the Rooths time to complete their project without unnecessary delay or added expense. The Rooths sincerely appreciate the Village's assistance and cooperation as they move forward with their project.

If you have any questions or comments, please contact the undersigned.

Again, thank you for your assistance with this matter.

Very truly yours,

Calvin A. Bernstein

CAB/cb



## GENERAL NOTES

1. THE INFORMATION CONTAINED ON THE CONSTRUCTION DOCUMENTS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE CONTRACT DOCUMENTS AND WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE. WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.

2. Contractor is to assume full responsibility, unrelieved by review of shop drawings and by supervision or periodic observation of construction, for compliance with the contract documents, for dimensions to be confirmed and correlated on the job site and between individual drawings or sets of drawings for fabrication processes and construction techniques (including excavation, shoring, scaffolding, bracing, erection, formwork, etc.), for coordination of the various trades, and for the safe conditions on the job site. Variations in field conditions relative to the contract documents shall be reported to the architect and owner. Work shall not progress until written permission from the architect and owner is obtained.

3. DO NOT SCALE OFF OF DRAWINGS; use written dimensions only. If dimension is missing or inaccurate, consult with architect immediately.

4. Details not shown are similar in character to those detailed. Where specific dimensions, details, or design intent cannot be determined, consult with the architect before proceeding with the work.

5. Architect's approval must be secured in writing for all substitutions. If Architect's approval is not obtained, the Architect shall not be responsible for any related repercussions issuing from the substitution.

6. The Contractor will be responsible for replacing any items damaged during construction.

7. The General Contractor and Sub-Contractors shall maintain throughout the construction period Workman's Compensation, Comprehensive General Liability, and Automobile Liability Insurance. Certificates of Insurance shall be submitted to the Owner and Architect. The Contractor shall cause to have an endorsement contained naming the Owner and the Architect as Additional Insured. All contractors must be licensed and bonded.

8. SEALED ENGINEERED TRUSS DRAWINGS REQUIRED FOR SUBMITTAL PRIOR TO INSTALLATION. COPY OF DRAWINGS REQUIRED ONJOB SITE AT THE TIME OF ROUGH FRAMING INSPECTION (IRC R802.10.1).

## SITE NOTES

1. Contractor to limit excavation in attempt to save maximum number of trees.

2. The General Contractor shall be responsible for the construction, erection, and maintenance of temporary fencing or other physical barrier around tree preservation areas as required by the governing municipality. No construction activity, movement, and/or placement of equipment or material within the tree preservation area. No excess soil, additional fill, liquids, or construction debris shall be placed within the root zone of any tree that is required to be preserved. The fencing or other physical barrier must stay in place throughout the entire construction period. All fencing must be secured to metal posts driven into the ground and spaced no further than 10 feet apart.

3. Driveways on public parkways must be 10 to 15 feet from the base of established trees depending on tree diameter size.

4. All existing sidewalk to be replaced as part of new house construction. Solid surface driveway apron only. Sidewalk to be replaced with 6" thick walk at driveway.

5. All excavation and trenching must conform with the Occupational Safety and Health Administration Excavation and Trenching Standard, Part 1926, revised July 1, 1990.

6. Contractor will clean the construction site daily and store tools and materials in an orderly manner.

## CODE REQUIREMENT NOTES

1. All work to be done in accordance with the latest requirements of all governing codes, ordinances, regulations & all Village amendments:

2015 International Code Council (ICC) Building, Residential, Mechanical, Plumbing and Fire Codes  
2014 National Fire Prevention Association (NFPA) Electric Code  
2015 NFPA Life Safety Code  
2015 Illinois Energy Conservation Code  
2013 U.S. Public Health Service Food Code  
Illinois State Plumbing Code  
Amendments to Adopted Codes

2. Provide tempered glazing in all hazardous locations.

1) Glazing in any part of the building where the bottom edge of the glazing is less than 18 above a standing surface (i.e. shower door and enclosure)  
2) Glazing in egress doors and glazing adjacent to a door where the nearest vertical edge is within a 24" grc of the door in a closed position and where the bottom edge is less than 60" above a standing surface

3. Fireplace hearths to extend a minimum of 16" beyond the face of the fireplace opening and a minimum of 8" on each side of the fireplace opening for fireplaces having an opening of less than 6 square feet. The hearth of larger sized fireplaces shall extend a minimum of 20" beyond the face of the fireplace opening and a minimum of 12" on each side.

4. All stairways shall meet code requirements.

Minimum stair width to be 36". Interior handrails to be 34" to 38" above nosing. Maximum riser height is 7 3/4". Minimum tread depth shall be 10" with 1" nosing. Handrails are to project no greater than 3 1/2" into stairway width and a clear space of no less than 1 1/2" from wall. Maximum opening between vertical balusters is less than 4". Provide a minimum of 80" headroom. Interior and exterior guardrails, guardwalls, and parapets to be 36" above finished floor or deck. Enclosed accessible space under stairs shall be enclosed with 1/2" min. gypsum board

5. Structural Design Loads: Floors: 40 LBS Live Load, 15 LBS Dead Load; Roof: 30 LBS Live Load, 15 LBS Dead Load. Footing Design Bearing Pressure = 3,000 PSF. Wind Load = 20 PSF.

6. Dimensional lumber shall be Hem Fir NO. 2 or better. Drilling and notching of top plates and studs will comply with code requirements.

7. Provide treated wood plates and wall furring for all walls nailed to foundation walls.

8. Provide 5/8" gypsum board at frame walls and ceiling between house and garage.

9. Provide 2" thick minimum wood firestopping to close off all concealed draft openings and to form effective fire barriers between stories and in all concealed spaces therein against the spread of fire.

10. Air conditioning condenser location to adhere to zoning setback requirements.

11. Anchor bolts shall be embedded 7" minimum into concrete. (Sec. 403.1.6, International Residential Code)

12. Openings between garage and residence shall be equipped with solid wood doors not less than 1-3/8" in thickness, solid or honeycomb-core steel doors not less than 1-3/8" thick, or 20 minute fire-rated doors, equipped with a self-closing device. (Sec. R-302.5.1, International Residential Code)

13. Provide access to attic 22" x 30" minimum. (Sec. R-807, International Residential Code)

14. Provide combustion air to furnace room. (Sec. R-1701.1, International Residential Code)

15. Crawl spaces to be conditioned. (Sec. R-408, International Residential Code)

16. Smoke detectors to be provided and installed per code & local amendments. Smoke detectors to be permanently wired to the electrical service of the building.

17. A carbon monoxide detector is required within 15' of every sleeping room. The carbon monoxide detector may be combined with a smoke detector. A carbon monoxide detector may be battery operated or hardwired. Verify distance to each bedroom. 2nd Floor may require two detectors. (State of Illinois, Carbon Monoxide Alarm Detector Act)

18. All closet lights shall be:

A. recessed lights with 6" clearance between fixture and nearest point of storage space.  
B. fluorescent lights with 6" clearance between fixture and nearest point of storage space.  
C. incandescent lights with 12" clearance between fixture and nearest point of storage space. (Sec. 410.8.B, NEC)

19. Light fixture above whirlpool, tubs and showers shall be G.F.I. (Sec. 680.6, NEC)

20. Arc-fault circuit-interrupter protection:

All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit - see code for exceptions.

21. The vent extension through and above the roof shall be not less than 3" in diameter and shall have a diameter at least 1" greater than that of the pipe to the roof. (Sec. 890.1400.4, Illinois State Plumbing Code)

22. Where the opening of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a min. of 24" above the finished floor of the room in which the window is located.

23. Contractor shall submit fire sprinkler documentation including shop drawings and hydraulic calculations to the Village of Glencoe for review and approval per 2015 International Fire Code (IFC).

24. Roof ventilation is not required if all conditions of section R806.5 of IRC 2015 are met, see notes on A0.2

## ENERGY CONSERVATION CODE

This project is designed in accordance with the 2015 International Energy Conservation Code (I.E.C.C.). Using the Prescriptive Approach, the residence complies with the insulation & fenestration requirements by component based on Climate Zone 5.

Building Thermal Envelope Requirements for Climate Zone 5 (IECC Table 402.1.1):

Glazing U Factor: Required: 0.32; Actual: 0.30-0.32

Skylights Glazing U Factor: Max: .55; Actual: .51

Ceiling R-Value: Required: R-49; Actual: R-49

Wood Frame Wall R-Value: Required: R-20; Actual: R-21

Floor R-Value: Required: R-30; Actual: R-38

Basement Wall R-Value: Required: R-15/19; Actual: R-13 interior & R-5 rigid exterior

Basement Slab R-Value: Not Required when slab is more than 12" below grade; Actual: R-10

Ducts R-Value: Required: None when in envelope; Actual: In envelope

Piping R-Value: Required: R-3; Actual: R-3

NOTE: A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, ELECTRICAL PANEL OR APPROVED LOCATION INSIDE THE BUILDING. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON ROOF/CEILING, WALLS, FOUNDATION (SLAB, CRAWLSPACE, BASEMENT WALLS AND FLOOR) AND DUCTS OUTSIDE THE BUILDING. IT SHALL ALSO LIST THE FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT OF FENESTRATION, AND RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING (IRC R401.3).

2015 International Energy Conservation Code (I.E.C.C.)  
TABLE R402.4.1.1 AIR BARRIER & INSULATION INSTALLATION

Air barrier and thermal barrier	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop-down stair or knee wall doors to unconditioned attic spaces shall be sealed.
Walls	Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.
Rim joists	Rim joists shall be insulated and include the air barrier.
Floors (including above-garage and cantilevered floors)	Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.
Crawl space walls	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls. Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.

DOOR BLOWER TEST:  
DWELLING SHALL HAVE A BLOWER DOOR TEST DONE PER REQUIREMENTS IN THE 2015 IECC TABLE 402.4.1.2

Narrow cavities	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.
Plumbing and wiring	Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.
Fireplace	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.

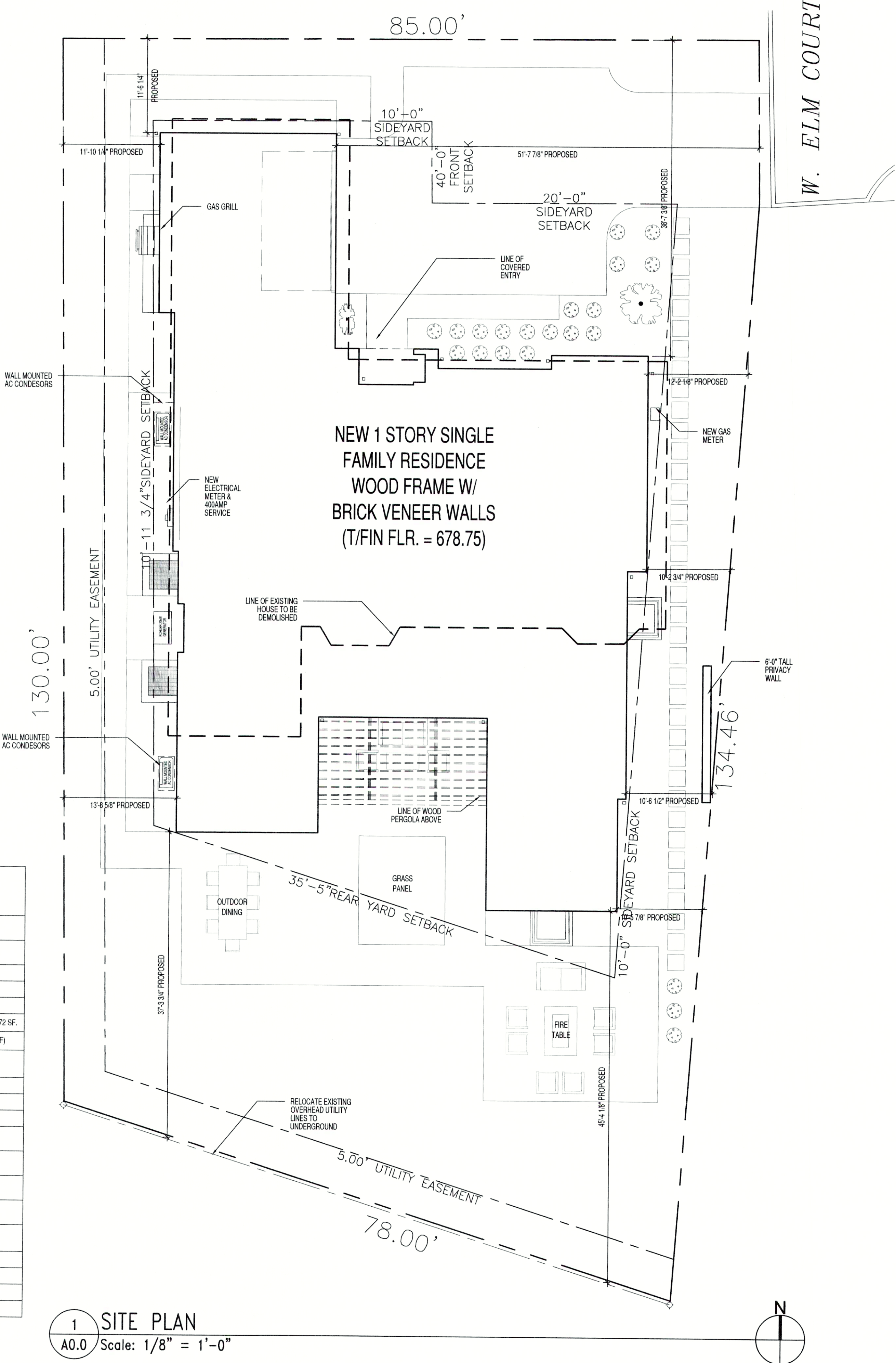
DOOR BLOWER TEST:  
DWELLING SHALL HAVE A BLOWER DOOR TEST DONE PER REQUIREMENTS IN THE 2015 IECC TABLE 402.4.1.2

CITY OF GLENCOE  
GENERAL ZONING REQ'S AND CODE MATRIX

ITEM	ISSUE	ORDINANCE REQUIREMENT	PROPOSED	REMARKS
ZONING REQUIREMENTS				
1.01	ZONING DISTRICT	R-B (SINGLE-FAMILY RESIDENTIAL)	R-B (SINGLE-FAMILY RESIDENTIAL)	
1.02	PERMITTED USES	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING	
1.03	LOT AREA	13,000 SF. MINIMUM	11,475 SF. (EXIST NON-CONFORM)	
1.04	MAX GROSS FLOOR AREA	((1.27 x LA) + 720) / (1 - ((1 x LA) - 9185 / 10815))) + 3,737 SF.	3,665 SF.	SEE FAR CALCULATION SUMMARY; UNDER BY 72 SF.
1.05	GROUND COVERAGE	.30 x LOT AREA = 3,443 SF.	3,699 SF.	VARIANCE SOUGHT (INCREASE OF 7.43%; 256SF)
	MAIN HOUSE		3665 SF (222 OVER ALLOW GROUND COVERAGE)	
	COVERED FRONT ENTRY		34 SF	
1.06	BUILDING HEIGHT / # OF STORIES	LESSER OF 31 FT. OR 3 STORIES	20'-11 1/4"	
1.07	MINIMUM YARDS			
	FRONT YARD	40'-0"	51'-7 7/8"	
	SIDE YARD (WEST)	10'-0"	11'-10 1/4" @ NORTH 13'-8 5/8" @ SOUTH	
	SIDE YARD (NORTH)	10'-0"	11'-6 1/4" @ WEST 38'-7 3/8" @ EAST	
	SIDE YARD (EAST)	10'-0"	12'-2 1/8" @ NORTH 10'-5 7/8" @ SOUTH	
	REAR YARD	35'-5"	37'-3 3/4" @ WEST 45'-4 1/8" @ EAST	
1.08	UNDER BAY OR UNDER EAVE AREA	64 SF.; LESS THAN 4'-0" FROM BLDG	0 SF.	PER 3-111(G)(12)(e)
1.09	PERGOLA			
	AREA	250 SF.	219 SF.	PER 5-101(D)(16)(b)
	HEIGHT	12'-0" MAX	11'-11-1/4"	PER 5-101(D)(16)(b)

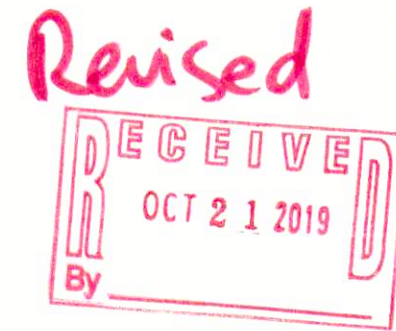
1 SITE PLAN

A0.0 Scale: 1/8" = 1'-0"



## INDEX OF DRAWINGS

A0.0 SITE PLAN & CODE NOTES  
A1.0 BASEMENT PLAN  
A1.1 FIRST FLOOR PLAN  
A1.2 ROOF PLAN  
A2.0 EXTERIOR ELEVATIONS  
A2.1 EXTERIOR ELEVATIONS



02 VARIANCE RESUBMIT 10.21.19  
01 FOR VARIANCE 08.30.19

## ROOTH RESIDENCE

348 WEST ELM COURT  
GLENCOE, IL 60022



Michael Hershenson  
EXP. 11/30/20

MICHAEL HERSHENSON ARCHITECTS  
1515 Sherman Ave., Suite 25  
Evanston, Illinois 60201  
Telephone: 847. 869. 7700  
Facsimile: 847. 869. 7707  
© 2019 Michael Hershenson Architects

SITE PLAN &  
CODE NOTES

Drawn By:

Sheet Number:

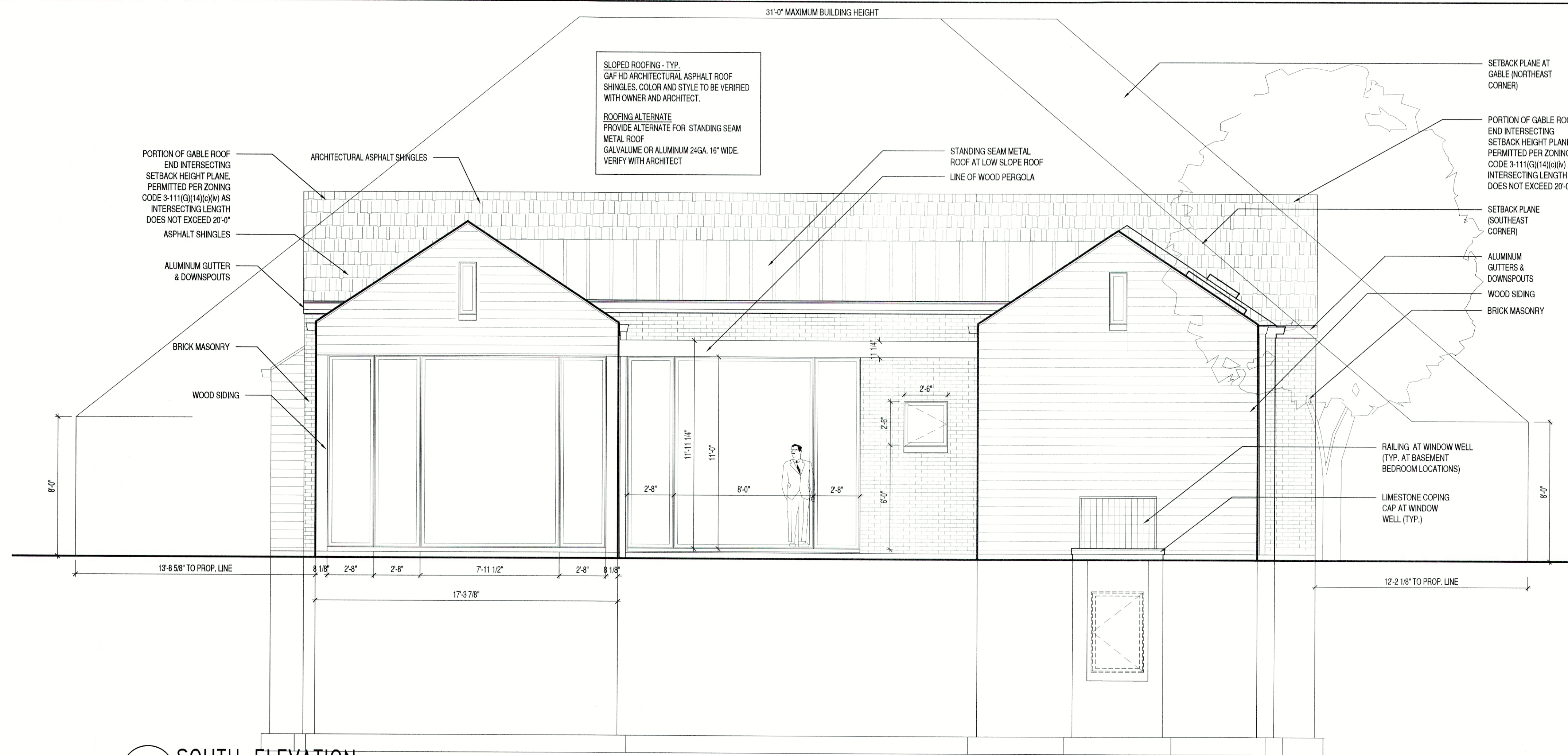
Checked By:

A0.0

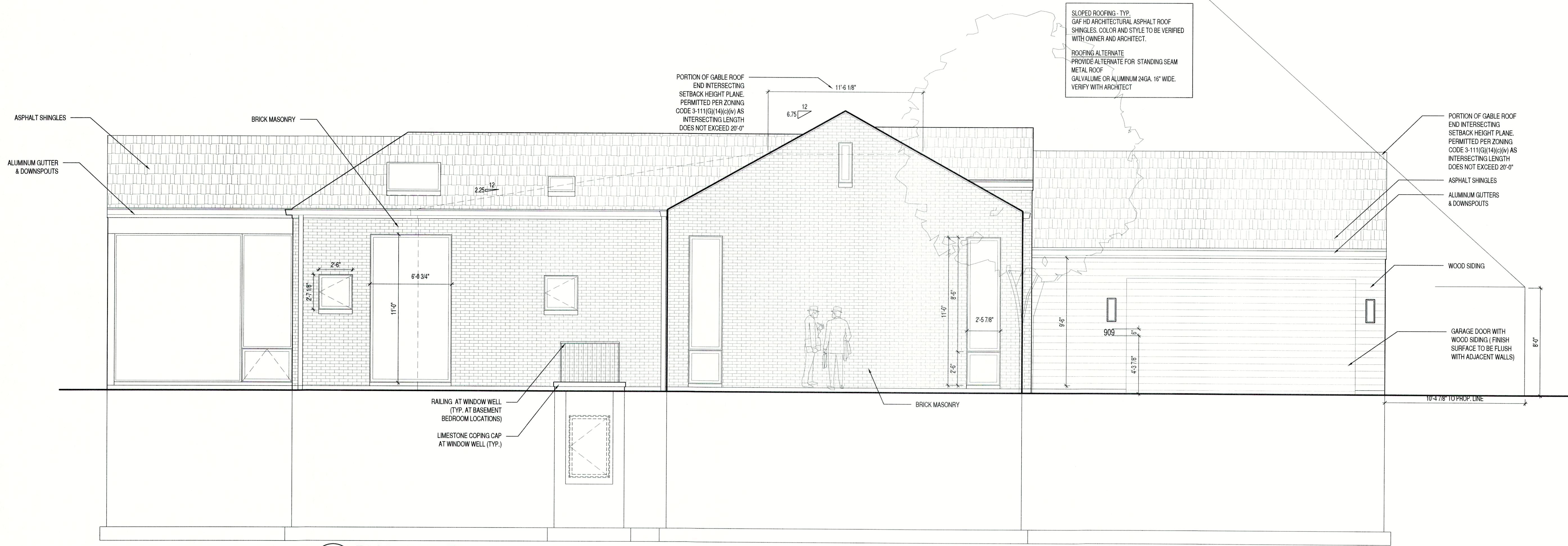








1 SOUTH ELEVATION  
A2.1 Scale: 1/4" = 1'-0"



2 EAST ELEVATION  
A2.1 Scale: 1/4" = 1'-0"

INDEX OF DRAWINGS  
A0.0 SITE PLAN & CODE NOTES  
A1.0 BASEMENT PLAN  
A1.1 FIRST FLOOR PLAN  
A1.2 ROOF PLAN  
A2.0 EXTERIOR ELEVATIONS  
A2.1 EXTERIOR ELEVATIONS



02 VARIANCE RESUBMIT 10.21.19  
01 FOR VARIANCE 08.30.19

ROOTH RESIDENCE

348 WEST ELM COURT  
GLENCOE, IL 60022



MICHAEL HERSHENSON ARCHITECTS  
1515 Sherman Ave., Suite 2S  
Evanston, Illinois 60201  
Telephone: 847.869.7700  
Facsimile: 847.869.7707  
© 2018 Michael Hershenson Architects

EXTERIOR ELEVATIONS

Drawn By:  
Checked By:

Sheet Number:

A2.1





# VILLAGE OF GLENCOE MEMORANDUM

675 Village Court, Glencoe, Illinois 60022  
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

[www.villageofglencoe.org](http://www.villageofglencoe.org)

## Zoning Board of Appeals Memorandum

**DATE:** November 9, 2020

**TO:** Zoning Board of Appeals

**FROM:** Taylor Baxter, AICP, Development Services Manager  
Rich McGowan, Planner

**SUBJECT:** Consideration of variations to allow temporary signage in the public right-of-way adjacent to 688-694 Vernon Avenue

**Background:** Because of the ongoing COVID-19 pandemic, the Village of Glencoe has been working with restaurant owners to develop plans to allow safe outdoor dining through the winter months. Guildhall restaurant, located at 694 Vernon Avenue, has proposed 12 small greenhouses in the public right-of-way, both on the sidewalk and on what are currently diagonal on-street parking spaces. These greenhouses would extend in front of Reach Yoga, located at 688 Vernon Avenue, directly south of Guildhall. During preliminary discussion of Guildhall's plans, the owners of Reach Yoga expressed concern that the greenhouses may reduce the visibility of their wall signage. Guildhall has proposed to install signage for both Guildhall and Reach Yoga on the concrete barrier wall that would separate the greenhouses from traffic on Vernon Avenue.

The Zoning Code gives the ZBA the ability to grant variations to allow signage otherwise prohibited by the sign code, except for variations that increase the allowable size or height of a sign by more than 15%. The Zoning Code gives the ZBA the ability to grant all the variations requested by the applicant.

The proposed temporary signage would require four variations from the sign code:

1. *Section 5-105(E)(4)(A) – To allow the bottom of a wall sign to be less than eight feet above grade.*
2. *Section 5-105(E)(8) – To allow signage to be placed in the public right-of-way.*
3. *Section 5-105(I)(3)(B) – To increase the number of allowable wall signs per business from one to two (Reach Yoga, Guildhall).*
4. *Section 5-105(I)(3)(C) – To allow a wall sign at a business that has a projecting sign (Guildhall).*

	Existing	Allowed/Required	Proposed
Wall sign clearance (min.)	N/A	8 ft	~1 ft
Number of wall signs per business (max.)	0 sq ft	1	2

Wall sign area (max.) – Reach Yoga	0 sq ft	18.87 sq ft	10.44 sq ft
Wall sign area (max.) – Guildhall	0 sq ft	53.74 sq ft	10.8 sq ft

**Analysis:** The Zoning Code includes the following standards for the consideration of variation requests:

- 1.) *General Standard. No variation shall be granted pursuant to this Section unless the applicant shall establish that carrying out the strict letter of the provisions of this Code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection.*

Carrying out the strict letter of the provisions of the Zoning Code would prevent the installation of temporary signage in the public right-of-way, which may result in the loss of visibility of signage at both Guildhall and Reach Yoga.

No signage can be installed in the public right-of-way without the approval of a variation. The applicant's request is for temporary signage only, and the ZBA has the ability to include a condition of approval of this variation that would require the removal of the signage after a specific period of time or at the time the outdoor dining greenhouses are removed.

The intent of the requirement that wall signs include at least eight feet of clearance from the ground is to provide a safe clear zone for pedestrians. However, no pedestrians will be walking under the proposed signage.

Both Guildhall and Reach Yoga have requested two temporary signs. As shown on the attached plans, the signs would face in different directions, allowing visibility from the north and south. Current storefront signage is visible from both directions and may be obscured by the outdoor dining greenhouses. The combined sign area for each business is significantly under the allowable size for a single wall sign at these locations.

Guidhall currently has a projecting sign on its storefront, which, per the sign code, prevents the installation of a wall sign unless a variation is granted. Visibility of this projecting sign may be limited by the installation of the outdoor dining greenhouses.

- 2.) *Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.*

The presence of the outdoor dining greenhouse structures is a unique physical condition as compared to other downtown properties.

- 3.) *Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.*

While the installation of the greenhouses is at the discretion of the applicant, the necessity of outdoor dining structures is due to circumstances that are not self-created.

- 4.) *Not Merely Special Condition. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.*

The hardship arising out of the requirements of the Zoning Code is not merely the right of the applicant to enjoy a special privilege not available to other property owners or occupants, due to the unique visibility challenges related to the subject property's signage.

- 5.) *Code and Plan Purposes. The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted.*

Provided that the proposed signage is temporary, it is likely that the proposed signage would be in keeping with the general and specific purposes of the Zoning Code.

- 6.) *Essential Character of the Area. The variation would not result in a use or development on the subject property that:*
- (a) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or*
  - (b) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or*
  - (c) Would substantially increase congestion in the public streets due to traffic or parking; or*
  - (d) Would unduly increase the danger of flood or fire; or*
  - (e) Would unduly tax public utilities and facilities in the area; or*
  - (f) Would endanger the public health or safety.*

The installation of temporary signage as proposed would be unlikely to have any significant materially detrimental results.

This variation request received printed public notice at least 15 days prior to the public hearing. Additionally, owners of properties within 200 feet of the subject property were notified.

**Recommendation:** Based on the materials presented and the public hearing, it is the recommendation of staff that the variation request of be accepted or denied. If accepted, Staff recommends that a condition of approval be added to require the removal of the signage when the outdoor dining greenhouses are removed.

**Motion:** The Zoning Board of Appeals may make a motion as follows:

**Move to accept/deny the request for variations to allow temporary signage in the public right-of-way adjacent to 688 and 694 Vernon Avenue.**



# VILLAGE OF GLENCOE

## FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022  
p: (847) 835-4111 | [info@villageofglencoe.org](mailto:info@villageofglencoe.org) | Follow Us: @VGlencoe

[www.villageofglencoe.org](http://www.villageofglencoe.org)

### Zoning Board of Appeals (ZBA) Application

#### Section A: Application Information

Check all that apply:

☐ Request for variation(s) from the zoning code

☐ Appeal of an order, determination, or decision made by Village staff based on the zoning code

Subject property address: \_\_\_\_\_

Applicant name: \_\_\_\_\_ Applicant phone: \_\_\_\_\_

Applicant email: \_\_\_\_\_

Owner name (if different from applicant): \_\_\_\_\_

Owner phone: \_\_\_\_\_ Owner email: \_\_\_\_\_

Brief description of project:

Variation request(s):



# VILLAGE OF GLENCOE

## FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022  
p: (847) 835-4111 | [info@villageofglencoe.org](mailto:info@villageofglencoe.org) | Follow Us: @VGlencoe

[www.villageofglencoe.org](http://www.villageofglencoe.org)

### Section B: Standards for Variations

For applications for variations, provide a brief response to the following prompts. Use this form or attach a separate letter to this application. The full text of the standards for the approval of variations can be found in [Sec. 7-403\(e\) of the zoning code](#).

1. Why are the requested variations necessary? What hardship or practical difficulty would result if they are not approved? Include a description of any exceptional physical characteristics of the property (for example, unusual size, shape, topography, existing uses or structures, etc.), if applicable.



# VILLAGE OF GLENCOE

## FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022  
p: (847) 835-4111 | [info@villageofglencoe.org](mailto:info@villageofglencoe.org) | Follow Us: @VGlencoe

[www.villageofglencoe.org](http://www.villageofglencoe.org)

2. Describe how the proposed variations would result in a development that is not detrimental to adjacent or nearby properties or the public good.

3. Describe any efforts the applicant has made to solicit feedback on the proposed variations from neighboring or nearby property owners or residents. What was the result of these efforts?

### Section C: Petition for Appeal

Provide a separate letter describing the order, determination, procedures, or failure to act being appealed. Applicants only applying for variations from the zoning code do not need to provide this letter.



# VILLAGE OF GLENCOE

## FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022  
p: (847) 835-4111 | [info@villageofglencoe.org](mailto:info@villageofglencoe.org) | Follow Us: @VGlencoe

[www.villageofglencoe.org](http://www.villageofglencoe.org)

### Section D: Acknowledgement and Signature

☐ *I hereby acknowledge that all information provided in this application is true and correct.*

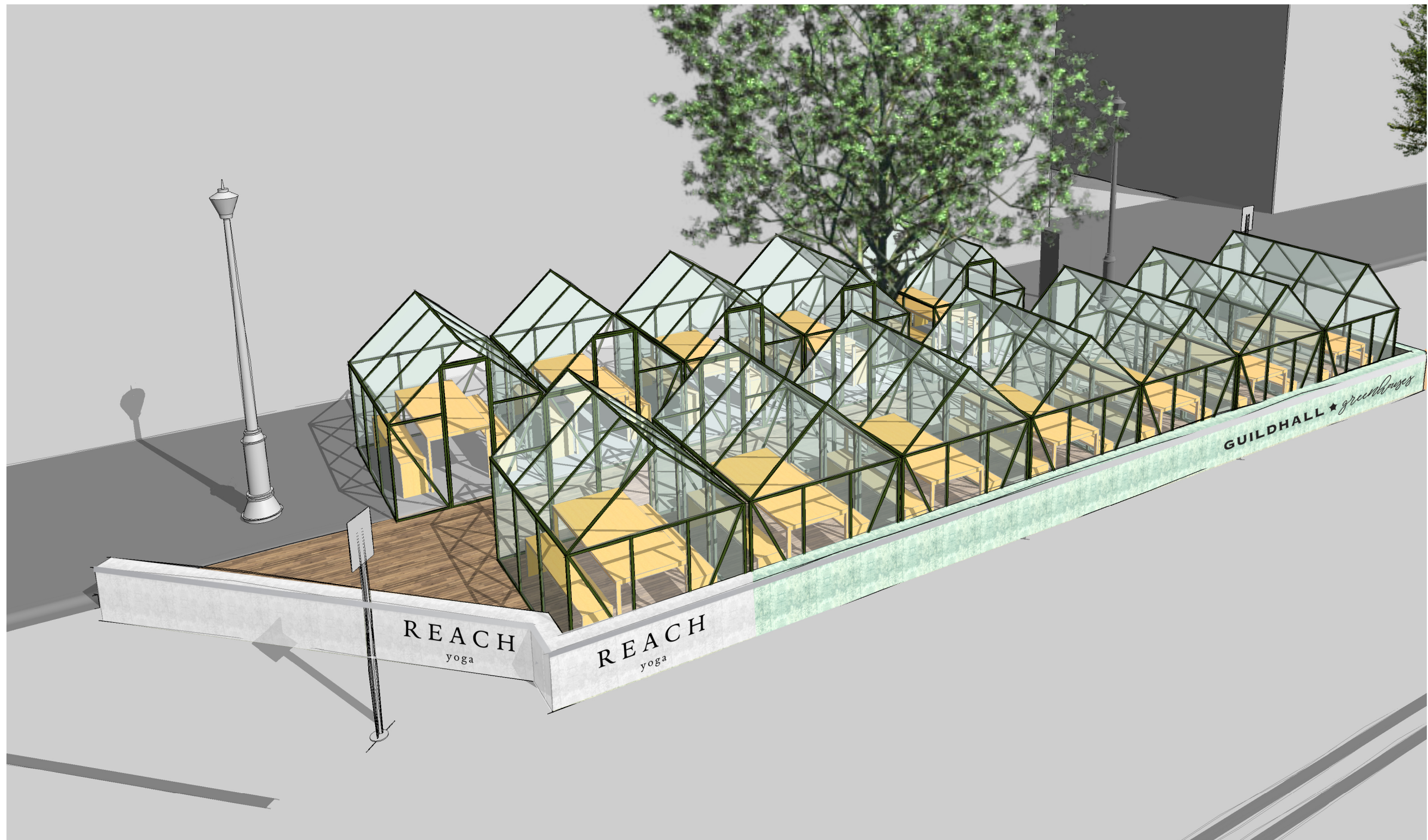
\_\_\_\_\_  
Applicant's signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner's signature (if different than applicant)

\_\_\_\_\_  
Date





Axonometric View | AD3.1

ECKENHOFF SAUNDERS

© 2020 Eckenhoff Saunders Architects, Inc.



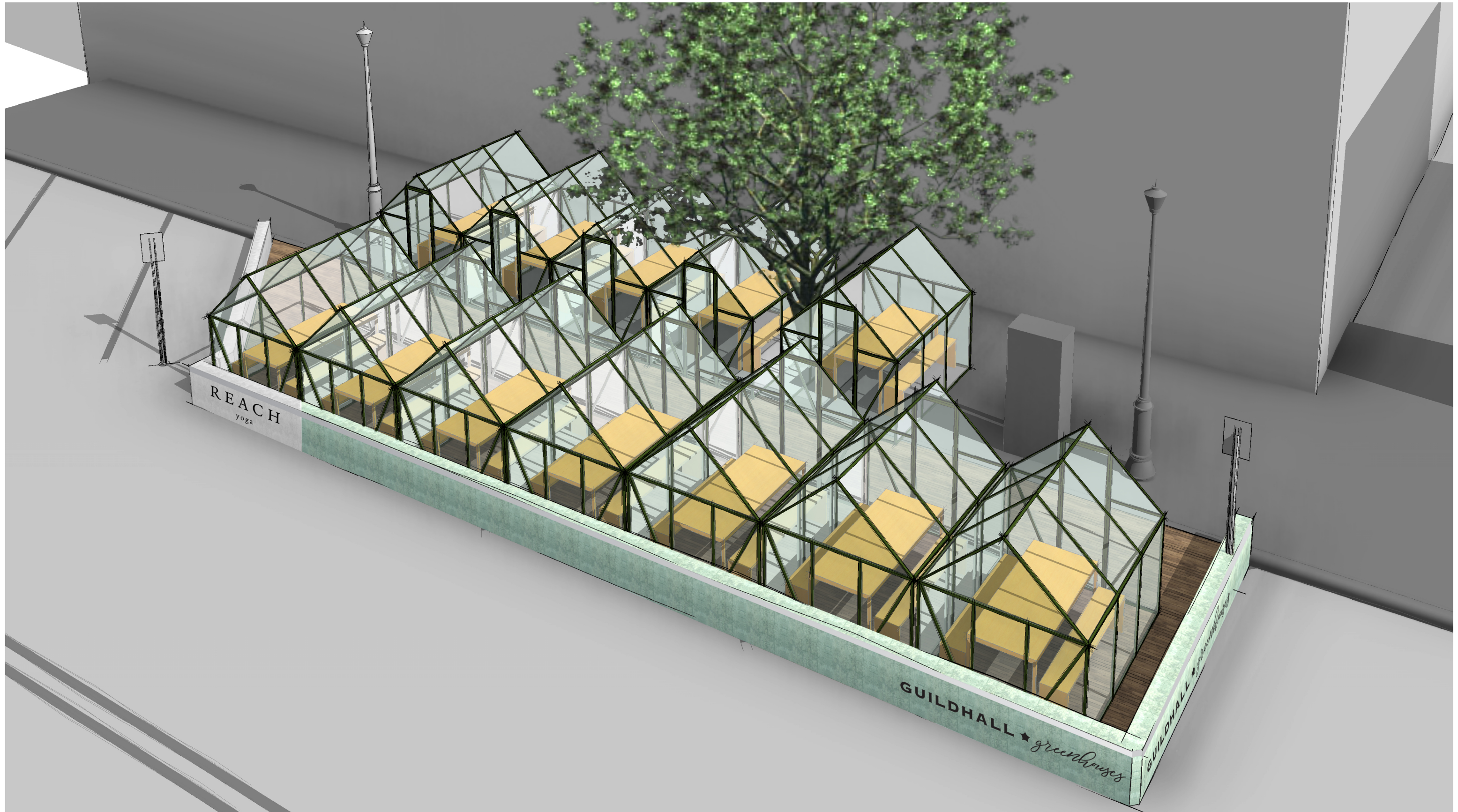
**GUILDHALL**

Outdoor Seating Plan

694 Vernon Ave.

Date: 10.22.20





Axonometric View | AD3.0

ECKENHOFF SAUNDERS

© 2020 Eckenhoff Saunders Architects, Inc.



**GUILDHALL**

Outdoor Seating Plan

694 Vernon Ave. Date: 10.22.20



36” TALL:





# VILLAGE OF GLENCOE

## PUBLIC WORKS DEPARTMENT

675 Village Court, Glencoe, Illinois 60022  
p: (847) 835-4111 | [publicworks@villageofglencoe.org](mailto:publicworks@villageofglencoe.org) | Follow Us: @VGlencoe

[www.villageofglencoe.org](http://www.villageofglencoe.org)

November 3, 2020

**Re: Zoning Board of Appeals Variation Public Hearing – 688-694 Vernon Ave**

Dear Resident or Property Owner,

The enclosed legal notice provides information on a Zoning Board of Appeals Public Hearing on Monday, November 16, 2020 at 7:30 p.m. You are being contacted because your property is located within 200 feet of 688-694 Vernon Ave. This virtual hearing will be held via Zoom and is open to the public. For information on how to attend this hearing and provide public comments, please visit the Zoning Board of Appeals page under the "Government" tab on the Village of Glencoe's website at [www.villageofglencoe.org](http://www.villageofglencoe.org), or contact me via the phone number or email address below.

The applicant is requesting variations from the zoning code to allow temporary signage in the public right-of-way.

Please feel free to reach out to me with any questions prior to the hearing.

Sincerely,

Taylor Baxter, AICP  
Development Services Manager  
Village of Glencoe  
675 Village Court | Glencoe, Illinois 60022  
[tbaxter@villageofglencoe.org](mailto:tbaxter@villageofglencoe.org) | (847) 461-1118

**VILLAGE OF GLENCOE**  
**GLENCOE, ILLINOIS**  
**ZONING BOARD OF APPEALS**  
**NOTICE OF PUBLIC HEARING**  
**NOVEMBER 16, 2020**

Notice is hereby given that a public hearing is to be conducted on Monday, November 16, 2020 at 7:30 p.m., before the Zoning Board of Appeals of the Village of Glencoe, Cook County, Illinois, to consider a request for a variation from the Zoning Code:

- 1) A request for variations from the Zoning Code by applicant Guildhall Restaurant to allow the installation of signage in the public right-of-way otherwise prohibited under Section 5-105 (Signs) of the Zoning Code, adjacent to 688 and 694 Vernon Avenue, Glencoe, Illinois, in the B-1 Central Business District Zoning District (Permanent Real Estate Index Numbers 05-07-205-015-0000 and 05-07-205-014-0000).

This hearing will be held virtually by videoconference. For instructions on how to access and participate in this hearing, visit the Zoning Commission/Board of Appeals page at [www.villageofglencoe.org](http://www.villageofglencoe.org), email [glencoemeeting@villageofglencoe.org](mailto:glencoemeeting@villageofglencoe.org), or call (847) 461-1118.

Legal Description: Public right-of-way.

All persons interested are urged to be present and will be given an opportunity to be heard.