



**AGENDA
VILLAGE OF GLENCOE
ZONING BOARD OF APPEALS
REGULAR MEETING**

**675 Village Court
May 2, 2022
7:00pm**

1. CALL TO ORDER AND ROLL CALL

*Scott Novack, Chair
Sara Elsasser
Dena Fox
Jake Holzman
Alex Kaplan
Michael Kuppersmith
Debbie Ruderman*

2. CONSIDER ADOPTION OF THE MARCH 7, 2022 ZONING BOARD OF APPEALS MEETING MINUTES

3. CONSIDERATION OF A REQUEST FOR A VARIATION FROM THE ZONING CODE TO A NEW SPORT COURT AT AN EXISTING SINGLE-FAMILY RESIDENCE TO ENCROACH INTO THE REQUIRED FRONT SETBACK AT 350 SUNRISE CIRCLE.

4. CONSIDERATION OF A REQUEST FOR A VARIATION FROM THE ZONING CODE TO INCREASE THE ALLOWABLE GROSS FLOOR AREA AT 1106 ASTOR PLACE TO ALLOW FOR THE CONSTRUCTION OF A NEW OUTDOOR PAVILION FOR AN EXISTING SINGLE-FAMILY REIDENCE.

5. PUBLIC COMMENTS ON NON-AGENDA ITEMS

6. ADJOURN

The Village of Glencoe is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend the meeting who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact the Village of Glencoe at least 72 hours in advance of the meeting at (847) 835-4114, or the Illinois Relay Center at (800) 526-0844, to allow the Village of Glencoe to make reasonable accommodations for those persons.



**MINUTES
VILLAGE OF GLENCOE
ZONING BOARD OF APPEALS
REGULAR MEETING**

Videoconference
675 Village Court
Monday, March 7, 2022 – 6:30 PM

1. CALL TO ORDER AND ROLL CALL

The Regular Meeting of the Zoning Board of Appeals of the Village of Glencoe was called to order by Chairman Scott Novack at 6:30 p.m. on March 7, 2022, held virtually via Zoom web videoconference.

Attendee Name	Title	Status
Zoning Board of Appeals		
Scott Novack	ZBA Chairman	Present
Sara Elsasser	Member	Present
Alex Kaplan	Member	Present
John Satter	Member	Present
Debbie Ruderman	Member	Present
Michael Kuppersmith	Member	Present
Jake Holzman	Member	Present
Village Staff		
Taylor Baxter	Development Services Manager	Present
Richard McGowan	Planner	Present

Chairman Scott Novack introduced the newest ZBA Member, Mr. Jake Holzman.

2. CONSIDERATION OF MINUTES OF THE FEBRUARY 7, 2022, ZBA MEETING

Board Member Holzman abstained since he was not at the February 7th, 2022, meeting.

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kaplan, Satter, Ruderman, Kuppersmith
NAYS:	None
ABSENT:	None
ABSTAIN:	Holzman

3. CONSIDER VARIATION REQUEST AT 332 ADAMS AVENUE

Taylor Baxter gave a brief overview of the case, stating that the applicants are seeking one variation to allow for the construction of a single-family home to encroach into the side setback at 332 Adams Avenue:

1. Section 3-111(C) – To reduce the required west side setback from 8 feet to 6.5 feet.

Mr. Baxter explained that the lot is currently vacant and the home that was demolished in April 2020 had the same side setback as the requested variance, and that the applicants would normally be allowed to utilize this setback for new construction, however, the applicants did not apply for a new construction building permit within one year of the demolition, so they are required to obtain a variance in order to utilize this setback. Mr. Baxter clarified that the proposed home would be slightly further from where it was and that the variation request is an 18.8% reduction in the required side yard setback, which is below the maximum threshold of 20%.

Mr. Baxter then swore in the owner of 332 Adams Avenue, Mr. Bryan Lammers. Mr. Lammers stated that he intended to apply for a new construction building permit before April of 2020 so that they would not need approval of a variance, but his Engineer became severely ill and was unable to work for four months. Chairman Novack stated that he understood the circumstances and the request but wanted to clarify that it will be slightly further from where it was prior to demolition in April 2020. Mr. Lammers confirmed that it will be. Chairman Novack said that it is clear that the applicant's intent was to fit in the new home as cleanly as possible given that it is an undersized lot in terms of lot width and lot area.

Mr. Lammers then explained that on the east side of the home they improved the setback so that it would be conforming with the RC Zoning District. Board Member Michael Kuppersmith asked if the owner the west supports the requested variance and Mr. Lammers confirmed that they are in support and have submitted a letter as well. Mr. Baxter then read a public comment provided by a resident, Joe Keefe:

"Zoning Board of Appeals,

I am Joe Keefe, resident of 411 Randolph Street. I respectfully request that action be deferred on the variance request for 332 Adams until I am able to present to the Glencoe Village Board. New construction at 409 Randolph site - same owners and contractor - has revealed contradictions in Glencoe building code ordinances. I will attend the March 7th meeting to more fully explain concerns. Please contact me for any needs.

Thanks for your consideration.

*Joe Keefe
411 Randolph Street"*

PUBLIC COMMENT

Chairman Novack thanked the applicants and asked the audience if there are any public comments. Mr. Keefe of 411 Randolph Street then stated that Mr. Lammers also built and owns the home at 409 Randolph Street, which is directly south of Mr. Keefe's property. Mr. Keefe stated that Mr. Lammers had constructed egress window wells and wall inside of his easement at 409 Randolph Street, and that the Village is now gradually allowing more things to be constructed within the required setbacks. Mr. Keefe noted that Mr. Lammers may end up doing the same thing with 332 Adams Avenue, resulting in an even closer proximity to the neighbors. Mr. Keefe then clarified that he is not supporting nor objecting to the requested variance, however, he is asking the ZBA to defer the case so that he can first go to the Village Board to discuss window wells and other structures within setbacks.

Chairman Novack clarified that the ZBA cannot necessarily entertain issues with 409 Randolph but the ZBA can address window well questions. Board Member Alex Kaplan then asked if the applicant was entitled or grandfathered to the current setback requirements for window wells, regardless of whether the Village Board decides to approve a future text amendment or not. Mr. Baxter confirmed that a text amendment would not change what the applicant could do with regard to window wells. Chairman Novack told Mr. Keefe that he appreciates his interest to improve the code and that it is certainly within his right to go to the Village Board. Board Member John Satter clarified that when the ZBA approves a variation request, that would be the final decision for zoning-related matters for that particular variance request. Mr. Satter added that this seems like a fairly small ask considering what was there prior to April 2020, that it's good that the neighbor closest to the requested variance is in support, it's a relatively small lot, and that it's good that there could potentially be more affordable housing available as a result of the new construction. Board Member Sara Elsasser said that she agrees with Board Member Satter completely. Board Member Debbie Ruderman stated that if the circumstances were different and the timing was not an issue then the ZBA would not be discussing this because a variance would not be required.

Mr. Keefe reiterated that he is not necessarily against the requested variance, but the process to provide public comment is now, and as a resident, egress windows can be constructed in many areas, and that the notion that they can encroach into setbacks is a significant concern of his.

Mr. Keefe concluded that if the ZBA votes in favor of the requested variance, then he wishes the record to say that he objects to the variance and that he can express his concerns to the Village Board as well.

Chairman Novack thanked Mr. Keefe for providing his input and expressing his concerns, and asked staff if there were any additional comments. Chairman Novack then stated that this process is playing out as it's designed, with a thorough discussion and feedback from residents. Chairman Novack concluded that he appreciates that the applicant spoke to the neighbor to the west and can tell that the applicant and Architect were very limited with what they could do due to the narrow and undersized lot. No additional questions or comments were made. A motion was made and seconded to approve the requested variance as submitted.

FINDINGS

1. The requested variation is within the jurisdiction of the Zoning Board of Appeals.
2. Based on the totality of the relevant and persuasive testimony heard and presented, the Zoning Board determines that:
 - a. The requested variation is in harmony with general purpose and intent of the Glencoe Zoning Code.
 - b. There are practical difficulties and there is a hardship in the way of carrying out the strict letter of Section 3-111(C) of the Glencoe Zoning Code as applied to the lot in question.
 - c. The plight of the owner is due to unique circumstances.
 - d. The requested variation will not alter the essential character of the locality.
 - e. The requested variation will not set a precedent unfavorable to the neighborhood or to the Village as a whole.
 - f. The spirit of the Zoning Code will be observed, public safety and welfare will be secured, and substantial justice will be done if the requested variation is granted.

RESOLUTION

NOW THEREFORE BE IT RESOLVED that the request to reduce the required west side setback at 332 Adams Avenue be granted as shown in the drawings or plans submitted by the owner and made part of the record.

BE IT FURTHER RESOLVED that the decision of the Development Services Manager is hereby reversed insofar as he denied the issuance of a building permit on the aforesaid property for the aforesaid construction;

BE IT FURTHER RESOLVED that this variation shall expire and be of no further force or effect at the end of twelve (12) months unless during said twelve-month period a building permit is issued, and construction begun and diligently pursued to completion; and

BE IT FURTHER RESOLVED that this resolution shall be spread upon the records of the Board and shall become a public record.

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kaplan, Satter, Ruderman, Kuppersmith
NAYS:	None
ABSENT:	Holzman (unable to vote due to technical issues)

4. PUBLIC COMMENT ON NON-AGENDA ITEMS

Chairman Novack asked the audience if there are any public comments on non-agenda items. No additional questions or comments were made.

6. ADJOURN

Before the meeting ended, the ZBA agreed that due to the improving state of the COVID-19 pandemic, future meetings will be held in person at Glencoe Village Hall in the Council Chambers, with a new start time of 7:00 p.m. rather than 6:30 p.m.

The meeting adjourned at 7:11 p.m.

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kaplan, Satter, Ruderman, Kuppersmith
NAYS:	None
ABSENT:	Holzman



VILLAGE OF GLENCOE MEMORANDUM

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Zoning Board of Appeals Memorandum

DATE: April 18, 2022

TO: Zoning Board of Appeals

FROM: Taylor Baxter, AICP, Development Services Manager
Rich McGowan, Planner

SUBJECT: Consideration of a variation to reduce the required front yard setback to allow for the installation of a sport court at 350 Sunrise Circle

Background: The applicant is requesting one variation from the Zoning Code to reduce the required front yard setback to allow for the installation of a sport court at an existing single-family residence at 350 Sunrise Circle in the RA zoning district. Because this is a through lot with frontage on two non-intersecting streets (Sunrise Circle and Surfside Place), what is functionally the property's rear yard is technically a front yard and is subject to a 40-foot front setback requirement.

Requested variations:

1. *Section 3-111(C)– To reduce the required front yard setback from 40 feet to 15 feet.*

As a result of a recent amendment to the Glencoe Zoning Code related to accessory structure setbacks, homeowners on corner lots and through lots may now request a front setback reduction for accessory structures to no less than 12 feet. The intent of this ordinance change was to allow greater flexibility for properties on which what is functionally the lot's only rear yard is technically a front yard.

Variation	Required/Allowed	Proposed	Variation %	Max. Allowable Variation %
Front setback	40 ft.	15 ft.	37.5%	Structure must be at least 12 ft. from a front lot line

The applicants are proposing a multi-sport athletic surface that will not have any additional lighting or fencing, and its sole use will be for residential recreation. The court will be consistent with the natural pitch of the yard and a basketball hoop will be located on the south side of the concrete pad, which does not require a variation. The applicant has also noted that existing landscaping screens adjacent neighbors from seeing the sport court, and all potentially impacted trees will have protective tree fencing around them.

Analysis: The Zoning Code includes the following standards for the consideration of variation requests:

- 1.) *General Standard. No variation shall be granted pursuant to this Section unless the applicant shall establish that carrying out the strict letter of the provisions of this Code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection.*

This through lot does not technically have a rear yard, and therefore is not eligible for the typical 5-foot rear accessory structure setback. Instead, this property has two front yards requiring 40-foot front setbacks.

- 2.) *Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.*

This lot is not undersized in terms of lot width and lot area. However, since it is a through lot, its unique physical condition is that it has frontages on Sunrise Circle and Surfside Place, which means that it has two front yard setback requirements (whereas the majority of properties in the Village only have one), and it does not have a rear yard setback allowance for accessory structures that most lots in the Village do. What is functionally the property's rear yard is technically a front yard. The depth of this yard between the house and Surfside Place property line is approximately 110-130 feet, potentially leaving room for a sport court to be located outside of the required 40-foot setback, however, there is an existing patio and several mature trees that could potentially be impacted as a result. Moving the court west of the proposed location to stay out of this required setback may put it closer proximity to the house to the south than the proposed location, which is adjacent to the neighboring driveway and basketball hoop.

- 3.) *Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.*

The size and shape of the lot are not self-created.

- 4.) *Not Merely Special Condition. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.*

The purpose of the requested variations is not based exclusively on a desire to make more money from the property. Because of the uniqueness the lot being a through lot, it is unlikely that the granting of the variations would be considered a special privilege.

- 5.) *Code and Plan Purposes. The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted.*

Due to the existing landscape screening in the vicinity of where the sport court is proposed and being in a functional rear yard of 350 Sunrise Circle, it is unlikely that granting this variation would not be in harmony with the general and specific purposes of the zoning code.

- 6.) *Essential Character of the Area. The variation would not result in a use or development on the subject property that:*
- (a) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or*
 - (b) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or*
 - (c) Would substantially increase congestion in the public streets due to traffic or parking; or*
 - (d) Would unduly increase the danger of flood or fire; or*
 - (e) Would unduly tax public utilities and facilities in the area; or*
 - (f) Would endanger the public health or safety.*

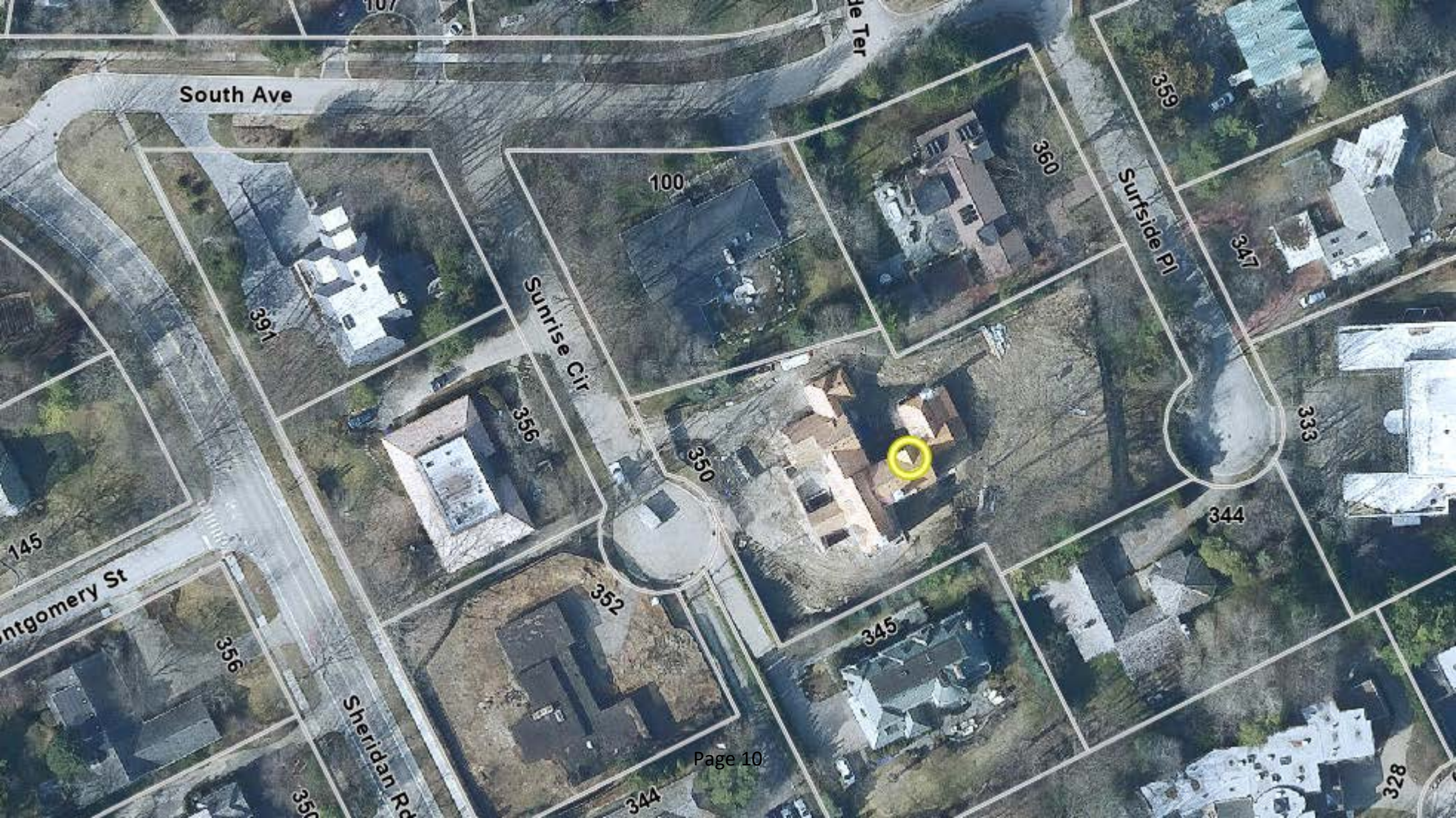
The proposed variation is unlikely to be detrimental to the enjoyment of the property immediately to the south of the proposed sport court (344 Surfside Place) as there is an existing driveway and basketball hoop in close proximity, and the applicants have noted that there existing landscaping will screen the sport court. The applicants have also noted that they will not be installing any additional lighting or fencing. It is unknown how well the existing landscaping will screen the sport court from properties across the street at 333 and 347 Surfside Place.

This variation request received printed public notice at least 15 days prior to the public hearing. Additionally, owners of properties within 200 feet of the subject property were notified.

Recommendation: Based on the materials presented and the public hearing, it is the recommendation of staff that the variation request of be accepted or denied. The Board may impose conditions of approval as it determines to be appropriate.

Motion: The Zoning Board of Appeals may make a motion as follows:

Move to accept/deny the request for a variation to reduce the required front yard setback for the installation of a sport court at an existing single-family residence at 350 Sunrise Circle, per the plans provided with this application. The Board may include conditions of approval as determined to be appropriate.





VILLAGE OF GLENCOE

FORMS & APPLICATIONS

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Zoning Board of Appeals (ZBA) Application

Section A: Application Information

Check all that apply:



Request for variation(s) from the zoning code



Appeal of an order, determination, or decision made by Village staff based on the zoning code

Subject property address: 350 Sunrise Circle

Applicant name: Ryan and Jessica Turf Applicant phone: (312)405-4524

Applicant email: rturf@cb2.com jessica@jessicaturf.com

Owner name (if different from applicant): _____

Owner phone: _____ Owner email: _____

Brief description of project:

See attached scope of work

Variation request(s):

See attached scope of work



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Section B: Standards for Variations

For applications for variations, provide a brief response to the following prompts. Use this form or attach a separate letter to this application. The full text of the standards for the approval of variations can be found in Sec. 7-403(e) of the zoning code.

1. Why are the requested variations necessary? What hardship or practical difficulty would result if they are not approved? Include a description of any exceptional physical characteristics of the property (for example, unusual size, shape, topography, existing uses or structures, etc.), if applicable.

The Turf residence does not currently have a rear setback, which limits their ability to make improvements to the backyard on the property.



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2. Describe how the proposed variations would result in a development that is not detrimental to adjacent or nearby properties or the public good.

Providing a multi-sport athletic surface that will not have any additional lighting or fencing. Its sole use will be for residential play and not commercial.

3. Describe any efforts the applicant has made to solicit feedback on the proposed variations from neighboring or nearby property owners or residents. What was the result of these efforts?

Section C: Petition for Appeal

Provide a separate letter describing the order, determination, procedures, or failure to act being appealed. Applicants only applying for variations from the zoning code do not need to provide this letter.



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Section D: Acknowledgement and Signature

☒ I hereby acknowledge that all information provided in this application is true and correct.


Applicant's signature

3/18/2022
Date

Owner's signature (if different than applicant)

Date



Home Court Advantage
724 Anthony Trail Northbrook, IL 60062
847-274-8998

March 17, 2022
Submitted to:
Village of Glencoe

Ryan and Jessica Turf
350 Sunrise Circle, Glencoe

Scope of work:

Remove current soil in permitted area. The subbase will be 4" of a crushed stone base with 4" of a 4000 psi concrete. The concrete pad will have rebar in the concrete base every 36". The court will be pitched 1" for every 10 feet based on keeping with the natural pitch of the yard. The concrete pad will be 60'x 30' with athletic surface on top and will not have lights or fencing. A basketball hoop will be located on the south side of the concrete pad.

All impacted trees will have tree fencing around them.

Thank you!

Nate Parsons President

PLAT OF SURVEY

LOT 1 IN PARCEL'S CONSOLIDATION, BEING A CONSOLIDATION OF LOTS 5 AND 8 IN N.A. PARCEL'S SUBDIVISION OF LOTS 1, 2 AND 3 IN RUBEN AND ONE'S SUBDIVISION OF PART OF FRACTIONAL SECTION 8, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF GLENCOE, IN COOK COUNTY, ILLINOIS.

9
150 Sunrise Circle
Glencoe, IL 60022

LOCATION MAP

SURFSIDE PLACE
ADJACENT PARCEL

S 24° 56' 30" E 88.32' (BL.34)
WIDE FENCE

CH=58.92'
R=35.00'
L=70.03'

LOT 1
10.07'
10.07'
10.07'

LOT 4
12.30' (BL.32)

LOT 5
12.30' (BL.32)

AREA
40,887 Sq. Ft. OR 0.94 ACRES (MORE OR LESS)

STATE OF ILLINOIS }
COUNTY OF LAKE }

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 3RD DAY OF AUGUST, A.D. 2020

Joseph R. Sadorski
JOSEPH R. SADOWSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11-30-20

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LANSING, ILLINOIS 60089



SURVEYOR'S NOTES:
1. THIS SURVEY IS LIMITED TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. NO OTHER IMPROVEMENTS ARE SHOWN AS THIS DATE.
3. BUILDING SET BACKS HEREIN ARE BASED ON THE OUTSIDE FACE OF THICKER CONCRETE FOUNDATION.
4. (1) SETBACK RECORDS INDICATE.
5. BUILDINGS HEREIN SHOWN ARE ON AN ASSUMED BASIS.
6. ORIGINAL CLEAR-ROAD TUFF.
7. ORIGINAL FIELD WORK COMPLETED 07-10-18

GREENGARD, INC.
Engineers & Surveyors
111 Barclay Blvd., Suite 310, Lansing, Illinois 60089-3615
Phone: 847-631-1883 FAX: 847-631-1880
E-MAIL: info@greengard.com IL REGISTRATION NO. 041-000000

DATE	BY	DATE	BY
07-20-18	APPROVED BY	07-21-18	APPROVED BY
08-11-18	APPROVED BY	07-18-18	APPROVED BY
07-28-18	APPROVED BY	07-18-18	APPROVED BY

CERTIFICATION:
1. NO INTERFERENCES ARE KNOWN TO THE SURVEYOR.
2. ONLY THOSE BUILDINGS AND UTILITIES SHOWN ON THIS MAP AND LISTED IN THE SURVEYOR'S NOTES ARE SHOWN ON THE RECORDS OF THE SURVEYOR.
3. BUILDINGS HEREIN SHOWN ARE BASED ON THE OUTSIDE FACE OF THICKER CONCRETE FOUNDATION.
4. (1) SETBACK RECORDS INDICATE.
5. BUILDINGS HEREIN SHOWN ARE ON AN ASSUMED BASIS.
6. ORIGINAL CLEAR-ROAD TUFF.
7. ORIGINAL FIELD WORK COMPLETED 07-10-18

SUNRISE CIRCLE
ADJACENT PARCEL

S 24° 58' 30" E 46.75' (BL.30)
WIDE FENCE

CH=35.00'
R=32.40'

2-STORY BRICK, FRAME & STUCCO RESIDENCE

LOT 6
12.30' (BL.32)

LOT 7
12.30' (BL.32)

LOT 8
12.30' (BL.32)

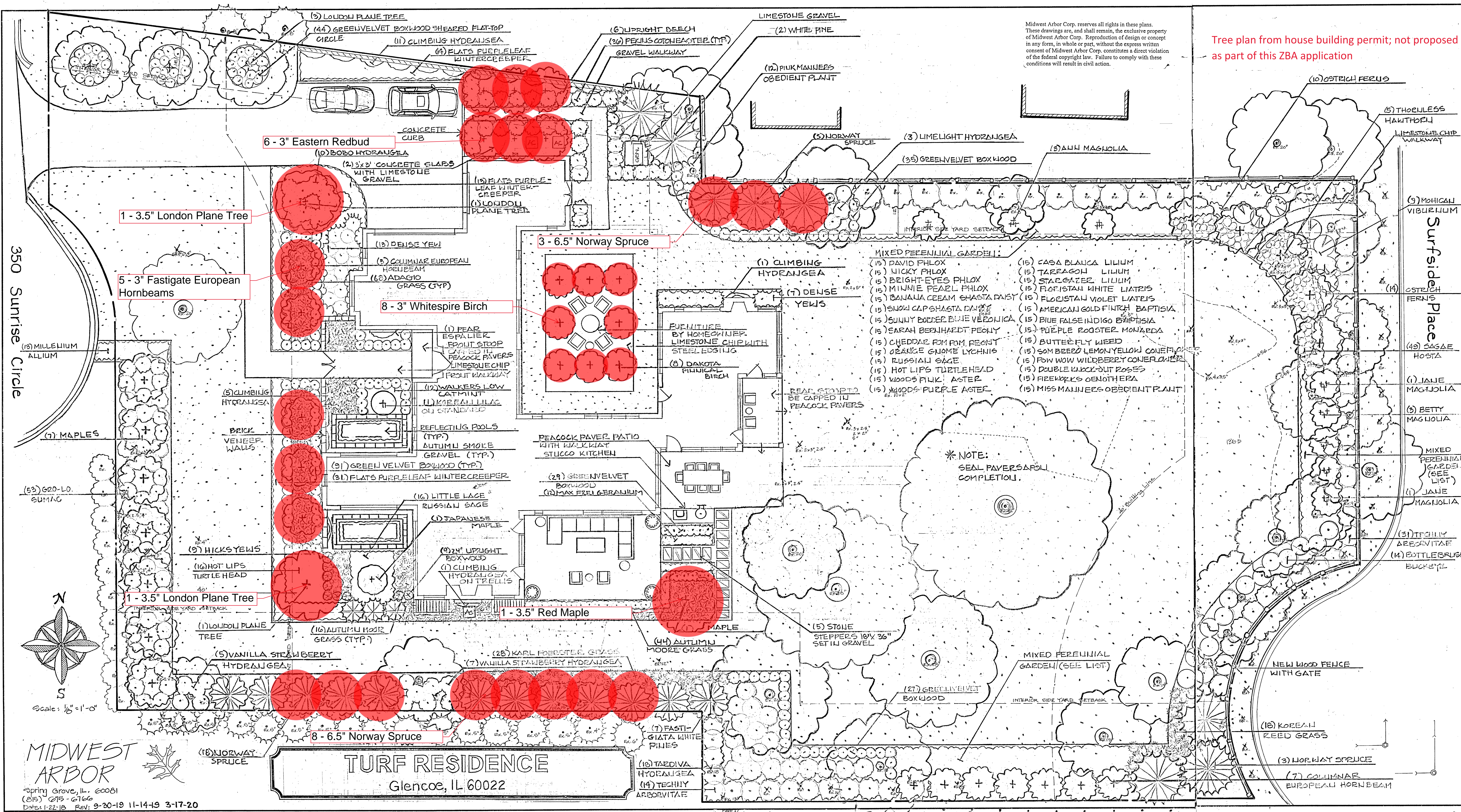
LOT 9
12.30' (BL.32)

LOT 10
12.30' (BL.32)

LOT 11
12.30' (BL.32)

LOT 12
12.30' (BL.32)

LOT 13
12.30' (BL.32)



Midwest Arbor Corp. reserves all rights in these plans. These drawings are, and shall remain, the exclusive property of Midwest Arbor Corp. Reproduction of design or concept in any form, in whole or part, without the express written consent of Midwest Arbor Corp. constitutes a direct violation of the federal copyright law. Failure to comply with these conditions will result in civil action.

Tree plan from house building permit; not proposed as part of this ZBA application

MIDWEST ARBOR
Spring Grove, IL 60081
(815) 675-6766
Date: 1-22-19 Rev: 9-30-19 11-14-19 3-17-20

TURF RESIDENCE
Glencoe, IL 60022

TREES COMPLETELY
BLOCK NEIGHBOR FROM
SEEING SPORT COURT



TREES PROVIDING
PRIVACY FOR ALL
NEIGHBORS - THE NEIGHBOR
DIRECTLY TO THE SOUTH
WOULD NOT BE ABLE TO
SEE THE COURT AT ALL



SPORT COURT WOULD
GO IN THIS CORNER-
SWINGSET WOULD BE
REMOVED
FOLLOWING REQUESTED
15' SETBACK



VILLAGE OF GLENCOE MEMORANDUM

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Zoning Board of Appeals Memorandum

DATE: April 22, 2022

TO: Zoning Board of Appeals

FROM: Taylor Baxter, AICP, Development Services Manager
Rich McGowan, Planner

SUBJECT: Consideration of a variation to increase the allowable gross floor area at 1106 Astor Place to allow for the construction of a new outdoor pavilion.

Background: The applicant is requesting a variation to increase the allowable gross floor area at 1106 Astor Place for the replacement of an existing pool with a new 348-square-foot outdoor pavilion. The property is located on the west side of Astor Place at the end of the street's cul-de-sac in the RB zoning district.

Requested variation:

1. Section 3-111(E) – To increase the allowable gross floor area from 5,006.14 square feet to 5,752.17 square feet, a variation of 14.9%.

The ZBA may approve gross floor area increase of up to 15%.

Variation	Allowed	Existing	Proposed	Variation %	Max. Allowable Variation %
Gross Floor Area	5,006.14 sq ft	5,401 sq ft	5,752.17 sq ft	14.9%	15%

At 17,398 square feet, the property exceeds the minimum 15,000-square-foot lot size in the RB district.

Analysis: The Zoning Code includes the following standards for the consideration of variation requests:

- 1.) *General Standard. No variation shall be granted pursuant to this Section unless the applicant shall establish that carrying out the strict letter of the provisions of this Code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection.*

The existing home on the property was approved in 1999 with a gross floor area of 5,401 square feet. At the time, the maximum allowable gross floor area on the property was 5,418 square feet.

Subsequent code revisions have reduced the allowable gross floor area to 5,006 square feet, making the existing structure non-conforming. The applicant is proposing an addition of 348 square feet, requiring a variation for an increase of 746 square feet of allowable gross floor area.

- 2.) *Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.*

The existence of a house exceeding the allowable gross floor area on the property, which was conforming when permitted, is an unusual physical condition.

- 3.) *Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.*

The existing house's non-conformity was created by a code update, rather than through any action of the owner or owner's predecessors.

- 4.) *Not Merely Special Condition. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.*

The application indicates that the purpose of the requested variations is not based exclusively on a desire to make more money from the property. The applicants have stated that the pool is deteriorating and causing water damage to the house. The pool does not count toward gross floor area totals, and the applicants would like to replace it with the proposed pavilion.

- 5.) *Code and Plan Purposes. The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted.*

The purpose of the gross floor area regulation is to limit the visible bulk of residential structures. The existing house was built close to the gross floor area limit on the property in 1999, which has since been reduced. The applicants are not proposing to increase the size of the house. The Board should consider whether the additional 348 square feet of floor area proposed by the applicant is in keeping with the purpose of the zoning code's purposes. This new structure would not be highly visible from the street, but would be visible from properties to the south and west.

- 6.) *Essential Character of the Area. The variation would not result in a use or development on the subject property that:*

- (a) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or*
- (b) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or*
- (c) Would substantially increase congestion in the public streets due to traffic or parking; or*
- (d) Would unduly increase the danger of flood or fire; or*
- (e) Would unduly tax public utilities and facilities in the area; or*
- (f) Would endanger the public health or safety.*

Other than allowing a structure visible from adjacent properties to the south and west, the proposed variation would be unlikely to have a significant impact on the essential character of the area.

This variation request received printed public notice at least 15 days prior to the public hearing. Additionally, owners of properties within 200 feet of the subject property were notified.

Recommendation: Based on the materials presented and the public hearing, it is the recommendation of staff that the variation request of be accepted or denied. The Board may include conditions of approval as determined to be appropriate.

Motion: The Zoning Board of Appeals may make a motion as follows:

Move to approve/deny the request for a variation to allow an increase in gross floor area at 1106 Astor Place to allow for the construction of a new outdoor pavilion, per the plans provided with this application. The Board may include conditions of approval as determined to be appropriate.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

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Zoning Board of Appeals (ZBA) Application

Section A: Application Information

Check all that apply:

☒
☐

Request for variation(s) from the zoning code

Appeal of an order, determination, or decision made by Village staff based on the zoning code

Subject property address: 1106 ASTOR PLACE

Applicant name: JOE & LAURA McKEOWN Applicant phone: 703-927-1963

Applicant email: BBALLRUS11@YAHOO.COM

Owner name (if different from applicant): —

Owner phone: — Owner email: —

Brief description of project:

REMOVE EXISTING POOL AND ADD NEW OUTDOOR PAVILION.

Variation request(s):

FLOOR AREA. MAX = 5,006.141 PROPOSED = 5,752.17 (14.9%)



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Section B: Standards for Variations

For applications for variations, provide a brief response to the following prompts. Use this form or attach a separate letter to this application. The full text of the standards for the approval of variations can be found in Sec. 7-403(e) of the zoning code.

1. Why are the requested variations necessary? What hardship or practical difficulty would result if they are not approved? Include a description of any exceptional physical characteristics of the property (for example, unusual size, shape, topography, existing uses or structures, etc.), if applicable.

The original home was approved in 1999 and this was prior to the revision made to the maximum floor area allowed for the single-family homes in the RB zoning district. When the home was built it had a maximum allowed floor area of 5417.58 sf and the home was at 5,404.17 sf

The new maximum floor area allowed is 5,006.141 sf. We are proposing to remove the current swimming pool which is not counted in bulk but is a large element in the rear yard and replacing it with a pavilion building for similar outdoor entertaining but because of the roofed structure is included in floor area calculations and this is the reason for the variance request.

The current pool is old and leaking and has settled towards the house causing water damage in the house. We will use the space in the same manner as we did with the pool and pool decking with a family outdoor gathering as the main purpose. My mother lives with us, she is elderly, on a walker and Covid has restricted her to go out. We would like to be able to entertain in an outdoor setting.

The site has an easement for storm water detention in a large portion of the rear yard and our proposed placement of the pavilion meets all current zoning setback requirements and height requirements and is located in the similar location of the current pool.



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2. Describe how the proposed variations would result in a development that is not detrimental to adjacent or nearby properties or the public good.

The proposed pavilion would not be detrimental to adjacent or nearby properties or the public good because of it meeting all applicable zoning regulations for height and setbacks on the property and add to the overall character of the neighborhood with its high-quality building materials and aesthetic appeal. Only due to the fact that it is a roofed building, and the original home was built prior to the current zoning changes for floor area that this variation is requested.

3. Describe any efforts the applicant has made to solicit feedback on the proposed variations from neighboring or nearby property owners or residents. What was the result of these efforts?

We are visiting all our neighbors to let them know of our proposed pavilion which will require a variation and we will be sharing their feedback to the Board prior to the public meeting.

Section C: Petition for Appeal

Provide a separate letter describing the order, determination, procedures, or failure to act being appealed. Applicants only applying for variations from the zoning code do not need to provide this letter.



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Section D: Acknowledgement and Signature



I hereby acknowledge that all information provided in this application is true and correct.

Joe McKeown

Applicant's signature

March 23, 2022

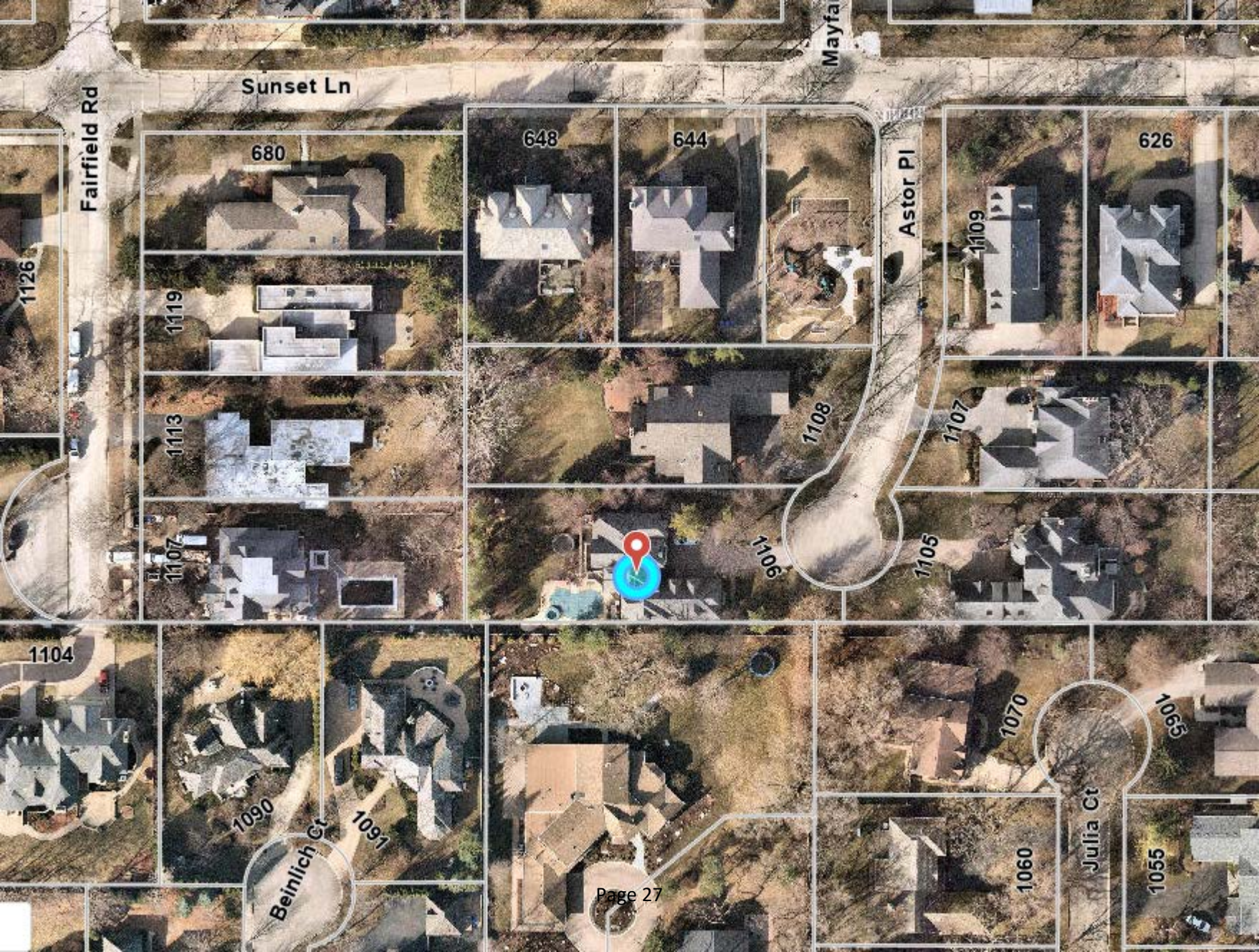
Date

Joe McKeown

Owner's signature (if different than applicant)

March 23, 2022

Date



Mayfa

Fairfield Rd

Sunset Ln

Astor Pl

Julia Ct

Beinlich Ct

1126

680

1119

1113

1107

1104

1090

1091

648

644

1108

1106

1107

1105

1109

1070

1060

626

1055

1065



MURRY AND MOODY, LTD.

Land Surveyors

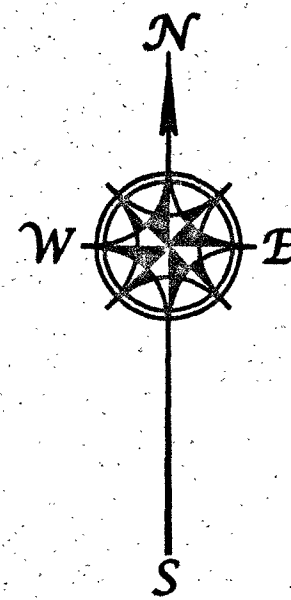
Illinois Professional Land Surveying Firm Corporation License No. 184-002845

933 S. Plum Grove Road Suite 101 Palatine, Illinois 60067

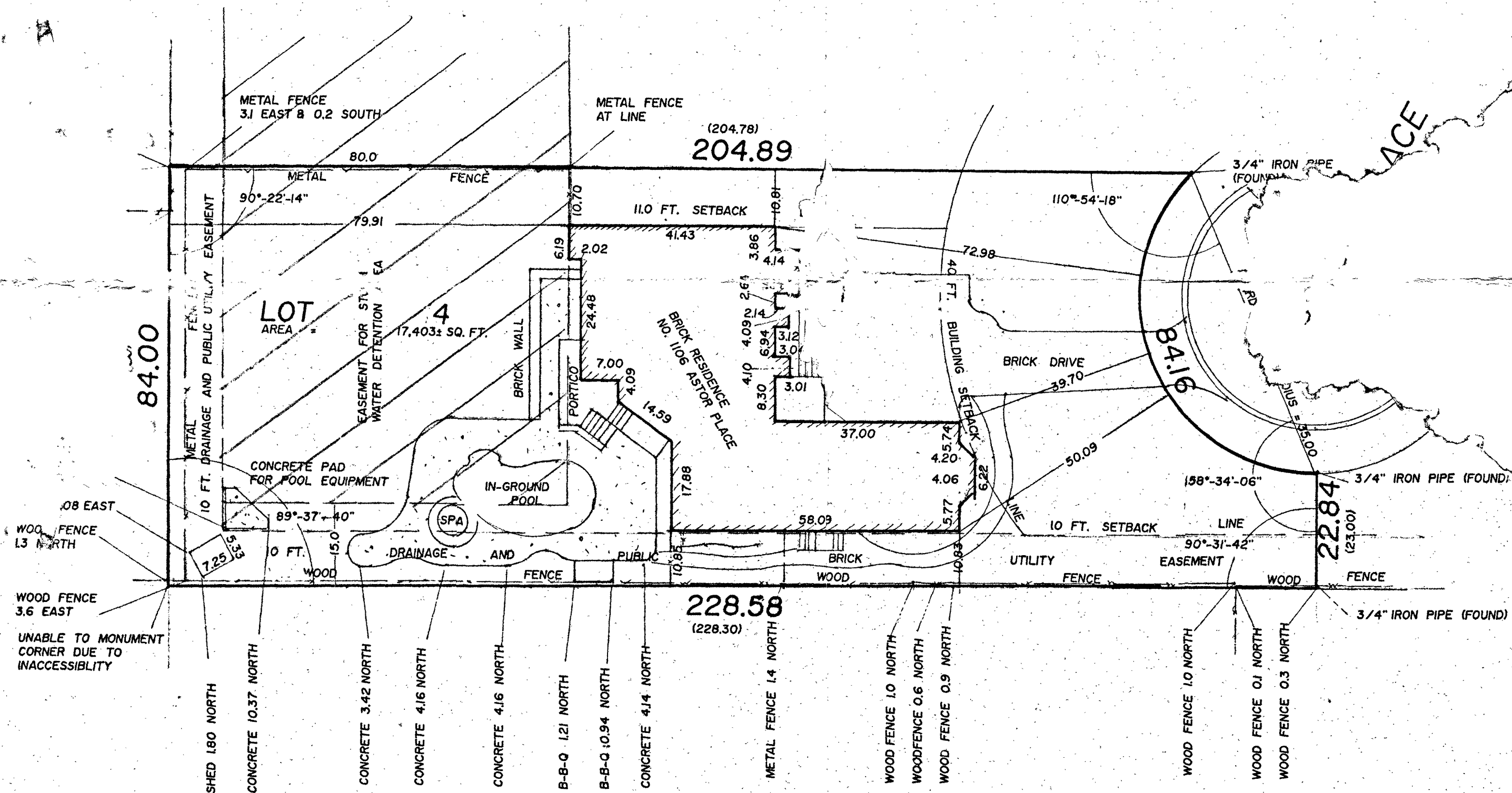
Phone (847) 358-5960

PLAT OF SURVEY

OF



LOT 4 IN RASHUSSEN'S SUBDIVISION, BEING A SUBDIVISION OF THE EAST 660.73 FEET OF THE SOUTH 40 RODS (EXCEPT THE SOUTH 330.00 FEET) OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 42 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 3, 1999, AS DOCUMENT NUMBER 99 206 467, IN COOK COUNTY, ILLINOIS.



LEGENDS AND NOTES

Dimensions shown thus: 50.25 are feet and decimal parts thereof. Angular data shown thus: 90° 00' 00" indicate degrees, minutes and seconds.

50.25 / N 90° 00' 00" E indicates measure dimension / bearing.
(50.25) / (N 90° 00' 00" E) indicates record dimension / bearing.
(50.25 d) / (N 90° 00' 00" E d) indicates deed call dimension / bearing.

Bearings shown hereon, if any, per local or assumed data, unless shown otherwise.

Compare your points before using same and report any differences immediately.

Check legal description with deed or title policy and report any discrepancy immediately. Building lines and easements, if any shown hereon are as shown on the recorded subdivision plat or as indicated.

STATE OF ILLINOIS } COUNTY OF COOK } S.S.

Barbara C. Murry

I, Barbara C. Murry, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey and that this professional service conforms to the current Illinois minimum standards for a boundary survey.

Date of completion of field work: JULY 29, 2011

Palatine, Illinois AUGUST 8, 2011

Illinois Professional Land Surveyor

Barbara C. Murry 03-003529

Licence Renewal date: November 30, 2012

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO ALL APPLICABLE LOCAL AND NATIONAL CODES.

- 2015 INTERNATIONAL RESIDENCIAL CODE (IRC) WITH VILLAGE AMENDMENTS
- 2014 NATIONAL ELECTRIC CODE (NEC) WITH VILLAGE AMENDMENTS
- 2015 INTERNATIONAL MECHANICAL CODE (IMC) WITH VILLAGE AMENDMENTS
- 2015 INTERNATIONAL FIRE CODE (IFC) WITH VILLAGE AMENDMENTS
- 2015 INTERNATIONAL FUEL GAS CODE (IFGC) WITH VILLAGE AMENDMENTS
- 2019 ILLINOIS ENERGY CONSERVATION CODE (IECC)
- 2014 ILLINOIS STATE PLUMBING CODE
- 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC) WITH VILLAGE AMENDMENTS

EACH CONTRACTOR SHALL REVIEW AND VERIFY THE PLANS AND FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE GENERAL CONTRACTOR. ALL DISCREPANCIES SHALL BE RESOLVED BEFORE THE START OF CONSTRUCTION.

ALL CONTRACTORS SHALL COORDINATE WITH ALL OTHER CONTRACTORS PRIOR TO AND DURING CONSTRUCTION.

DO NOT SCALE DRAWINGS.

ALL MATERIALS, EQUIPMENT, STRUCTURAL ELEMENTS, FINISHES, WINDOWS, DOORS, ETC., WHETHER PRE-MANUFACTURED OR SITE BUILT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

THE CONTRACTOR SHALL NOT TO ALLOW DEBRIS TO ACCUMULATE ON SITE DURING CONSTRUCTION. LEAVE AREA "BROOM CLEAN" DAILY. REMOVE WASTE BUILDING MATERIAL WEEKLY.

ARCHITECT NOT ENGAGED FOR SUPERVISION AND ASSUMES NO SUCH RESPONSIBILITY.

CONTRACTOR TO BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, TECHNIQUES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

OWNER / CONTRACTOR RESPONSIBLE FOR OBTAINING APPROPRIATE PERMITS, INSURANCE FOR CONSTRUCTION AND OCCUPANCY.

OWNER / GENERAL CONTRACTOR TO CHOOSE FIXTURES, APPLIANCES, FINISHES (PAINT, WALL COVERINGS, TILE, LAMINATES, CABINETRY COLORS, HARDWARE, FURN. AND ETC. UNLESS NOTED OTHERWISE. SUB - CONTRACTORS TO SUPPLY SAMPLES TO OWNER / GENERAL CONTRACTOR FOR FINAL APPROVAL PRIOR TO START OF CONSTRUCTION.

ALL SURFACES AND CONSTRUCTION TO BE ADEQUATELY BRACED AND PROTECTED.

APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

SITE WORK

(AS APPLICABLE)

CONTRACTOR TO VERIFY SITE AND EXISTING CONSTRUCTION CONDITIONS ESPECIALLY UNDERGROUND AND OVERHEAD UTILITY SERVICES.

THE FOOTINGS AND FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL WITH A MINIMUM BEARING CAPACITY OF 3000 P.S.F.

ALL FOOTINGS SHALL BE PLACED A MINIMUM OF 3'-6" BELOW THE FINISHED FINAL GRADE.

VERIFY FOOTING STEPS WITH FINAL FINISH GRADE.

PORCH AND STOOP FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL.

THE PORCH FOOTING ADJACENT TO THE BASEMENT FOUNDATION ON OVER EXCAVATED AREA SHALL BE INSTALLED ON EITHER COMPACTED ENGINEERED FILL OR STEPPED FOOTING SHALL BE PROVIDED.

IF THE EXISTING UNDISTURBED SOIL, CONDITIONS ARE DETERMINED, BY THE GENERAL CONTRACTOR OR OWNER'S AGENT, TO BE OF INADEQUATE BEARING CAPACITY AT THE DESIGN DEPTH AT THE TIME OF EXCAVATION, THEN AN ILLINOIS LICENSED GEOTECHNICAL ENGINEER SHALL REVIEW THE EXISTING CONDITIONS AND PREPARE A WRITTEN REPORT TO BE SUBMITTED TO THE ARCHITECT THE BUILDING DEPARTMENT. THE REPORT SHALL INCLUDE THE DEPTH AND CAPACITY OF THE EXISTING SOIL BEARING CONDITIONS AND INCLUDE RECOMMENDATIONS FOR FOOTING DESIGN. THE REPORT SHALL BE SUBMITTED TO THE ARCHITECT AND BUILDING DEPARTMENT PRIOR TO THE START OF FOOTING FORM WORK.

CONCRETE WORK

(AS APPLICABLE)

ALL CONCRETE WORK SHALL CONFORM TO ACI 318 OF THE AMERICAN CONCRETE INSTITUTE FOR UNREINFORCED CONCRETE.

ALL CONCRETE WORK SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.

ALL CONCRETE WORK SHALL COMPLY TO THE ACI STANDARDS FOR HOT AND COLD WEATHER CONCRETING.

METALS

(AS APPLICABLE)

ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM WITH THE APPROPRIATE ASTM SPECIFICATIONS AND STANDARDS AS FOLLOWS: ASTM A36, ASTM A573, ASTM A501, ASTM A501, AND ASTM.

ALL STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.

CARPENTRY NOTES

(AS APPLICABLE)

ALL INTERIOR PARTITIONS ARE BASED ON 3 1/2" UNLESS OTHERWISE NOTED.

ALL UNSUPPORTED LOAD BEARING FRAME WALLS 10'-0" OR TALLER AND UNSUPPORTED NON-LOAD BEARING FRAME WALLS 12'-0" OR TALLER SHALL BE FRAMED WITH 2x6 STUDS AT 16" ON CENTER UNLESS NOTED OTHERWISE.

PROVIDE 2x6 STUDS IN LIEU OF 2x4 FOR FOR FRAME WALLS DRILLED FOR PLUMBING PIPES . ALL CANTILEVERS TO BE A MINIMUM 2:1 RATIO PER THE CURRENT CODE.

PROVIDE GROSS BRIDGING FOR ALL FLOOR JOISTS SPANNING 15'-0" OR GREATER. MINIMUM 8'-0" ON CENTER.

ALL LOAD BEARING HEADERS SHALL BE (2) 2x12 WITH 1/2" PLYWOOD SPACER UNLESS OTHER WISE NOTED. INSTALL DOUBLE CRIPPLES EACH SIDE FOR ALL SPANS OVER 6'-0" (UNLESS OTHERWISE NOTED).

PROVIDE APPROVED FIRE STOPPING AT ALL FURRING, PARTITIONS, EXTERIOR WALLS AT EACH FLOOR AND CEILING LEVEL, AND AT THE JUNCTURE OF THE ROOF RAFTERS AND WALL.

INSTALL SQUASH BLOCKING AT ALL JOIST BAYS BELOW CONCENTRATED BEAM AND POST LOADS.

PROVIDE SOLID WOOD BLOCKING IN WALLS FOR ANCHORAGE AT ALL SHELVING, CABINETRY AND TOILET ACCESSORIES. FIELD VERIFY WITH OWNER.

ALL FLOOR JOISTS FRAMED TO FLUSH HEADERS SHALL BE CONNECTED WITH METAL JOIST HANGERS.

ALL ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE SHALL BE PROTECTED WITH MINIMUM 1/2" DRYWALL.

ALL OPEN SOFFIT AREAS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/2" DRYWALL.

ALL EXTERIOR DECK FRAMING, DECKING MATERIAL, RAILS, TREADS ETC SHALL BE APPROVED PRESSURE PRESERVATIVE TREATED.

ALL METAL CONNECTORS, HANGERS, BRACKETS, NAILS, SCREENS, ETC. IN CONTACT WITH TREATED LUMBER SHALL BE APPROVED TO BE COMPATIBLE WITH THE TREATED LUMBER ANOR SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER, AND COMPLY WITH THE CODE.

ALL PRE-MANUFACTURED CONNECTORS, TIES, POST CAPS, BASE AND ANCHOR BRACKETS, FASTENERS ETC SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS.

PROVIDE CONCEALED GALVANIZED OR ALUMINUM SHEET METAL FLASHING AT ALL WALL/ROOF JUNCTIONS AND AS REQUIRED FOR WATERPROOF CONSTRUCTION.

MASONRY

NOT APPLICABLE

GENERAL NOTES

DOORS AND WINDOWS

N/A

MECHANICAL

N/A

ELECTRICAL

(AS APPLICABLE)

SEE ELECTRICAL SHEET FOR PLAN AND NOTES

PLUMBING

CONNECT NEW PLUMBING SUPPLY WASTE AND TO EXISTING. VERIFY EXISTING PIPE SIZE, TYPE, AND SYSTEM CAPACITY TO ACCOMMODATE NEW CONSTRUCTION. RE-WORK AS REQUIRED.

THERMAL AND MOISTURE PROTECTION

(AS APPLICABLE)

REFER TO TYPICAL WALL SECTIONS FOR R-VALUES.

METAL VALLEY FLASHING TO CONFORM WITH APPLICABLE CODES.

ALL EXTERIOR JOINTS, SEAMS, AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK, TAPE, GASKETS OR WEATHER STRIPPING TO PREVENT AIR LEAKAGE.

VAPOR RETARDERS WITH A PER RATING OF 1.0 OR LESS SHALL BE INSTALLED IN ALL FRAMED CEILING, WALLS, AND FLOORS.

PROVIDE CONCEALED GALVANIZED OR ALUMINUM SHEET METAL FLASHING AT ALL WALL/ROOF JUNCTIONS AND AS REQUIRED FOR WATERPROOF CONSTRUCTION.

ACCESS PANELS TO ATTICS SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

STRUCTURAL DESIGN CRITERIA

DESIGN LOADS			
FLOOR	N/A		
ATTIC	N/A		
ROOF	30 P.S.F.-LL.	10 P.S.F.-DL.	SNOW LOAD
CATHEDRAL CEILING	30 P.S.F.-LL.	15 P.S.F.-DL.	SNOW LOAD
DECKS	N/A		
WINDSPEED	115 MPH		

ALL FLOOR AND CEILING JOISTS, ROOF RAFTERS, BEAMS AND HEADERS SHALL BE DOMESTIC HEM FIR #2 UNLESS OTHERWISE NOTED. MINIMUM E = 1,300,000 P.S.I. AND MINIMUM BASE Fb = 850 OR BETTER.

ALL STRUCTURAL WOOD POSTS SHALL BE S-P-F STRUCTURAL GRADE OR BETTER.

PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, BATHTUBS, WASHER, DRYER, AND OTHER STATIONARY APPLIANCES.

MINIMUM IN GRADE BASE VALUES FOR STUDS:

FIRST FLOOR EXTERIOR LOAD BEARING WALLS	E = 1,400,000	Fc = 825
FIRST FLOOR INTERIOR LOAD BEARING WALLS	E = 1,200,000	Fc = 800
SECOND FLOOR EXTERIOR LOAD BEARING WALLS	E = 1,200,000	Fc = 800
SECOND FLOOR INTERIOR LOAD BEARING WALLS	E = 1,000,000	Fc = 600
ALL NON LOAD BEARING WALLS	E = 1,000,000	Fc = 600

EXTERIOR DECK STRUCTURAL FRAMING LUMBER:

ALL DECK STRUCTURAL FRAMING HAS BEEN DESIGNED BASED UPON #2 SOUTHERN YELLOW PINE OF U.S. ORIGIN AS CLASSIFIED BY THE SOUTHERN PINE MARKETING COUNCIL.

Fb: 2x8 = 1380 P.S.I. / 2x10 = 1210 P.S.I. / 2x12 = 1120 P.S.I. / E = 1,600,000

ENGINEERED WOOD PRODUCTS:

MANUFACTURED STRUCTURAL WOOD PRODUCTS SUCH AS HEADERS AND BEAMS HAVE BEEN DESIGNED BASED UPON MICROLLAMMS AND PARALLAMS AS MANUFACTURED BY TRUS-JOIST.

1.4 MICROLLAMMS	Fb = 2600 P.S.I.	E = 1,800,000 P.S.I.
2.0 PARALLAMS	Fb = 2400 P.S.I.	E = 2,000,000 P.S.I.
1.5 TIMBERSTRAND	Fb = 2250 P.S.I.	E = 1,500,000 P.S.I.

FIRESTOPPING NOTES

FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRESTOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVEL.
- 2) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS THOSE THAT OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
- 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RIM.
- 4) AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITH NON COMBUSTIBLE MATERIALS.

EXCEPT AS PROVIDED IN ITEM 4. ABOVE, FIRESTOPPING SHALL CONSIST OF 2 INCH NOMINAL LUMBER, OR TWO THICKNESSES OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR ONE THICKNESS OF 23/32 INCH PLYWOOD WITH JOINTS BACKED BY 23/32 INCH PLYWOOD, OR ONE THICKNESS OF 3/4 INCH TYPE 2-M PARTICLE BOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLE BOARD, OR OTHER APPROVED MATERIALS.

THE INTEGRITY OF ALL FIRESTOPS SHALL BE MAINTAINED.

NOTE:

ALL FIREBLOCKING AND DRAFTSTOPPING SHALL MEET REQUIREMENTS OF IRC R602.8 AND RELATED SECTIONS AND TABLES AND IRC R502.12 AND RELATED SECTIONS.

ABBREVIATIONS

F.P.H.B. - FROST PROOF HOSE BIB	WP - WATER PROOF FIXTURE
F.F.G.L. - FLOOR FINISH CHANGE LINE	SD - SMOKE DETECTOR
G.G.B. - GUY GREY BOX	R - RECESSED CAN
W/ - WITH	T - TIMER CONTROL
O.G. - ON CENTER	D - DIMMER CONTROL
GFI - GROUND FAULT INTERRUPT	S - SPEED CONTROL
DED. - DEDICATED	3 - 3-WAY SWITCH
	4 - 4-WAY SWITCH

NEW PAVILION PROJECT:

McKEOWN RESIDENCE

SINGLE FAMILY
1106 ASTOR PLACE
GLENCOE, IL 60022
COOK COUNTY

DESIGN CRITERIA

- 1). REMOVE EXISTING POOL AND REPLACE WITH NEW PAVILION. DETACHED ONE STORY STRUCTURE WITH NEW FOUNDATION WALLS AND PIERS PER PLANS.
- 2). ALL FINAL LANDSCAPE DESIGN (BY OTHERS)
- 3). CONNECT TO EXISTING ELECTRICAL PANEL AND VERIFY IN FIELD PANEL LOADS, AMPS., ETC. PROVIDE NEW SUB-PANEL IF REQUIRED.
- 4). ALL EXTERIOR FINISHES AND BRICK / MASONRY MATERIALS SHALL MATCH EXISTING (UNLESS OTHERWISE NOTED). VERIFY IN FIELD PRIOR TO START OF NEW CONSTRUCTION.
- 6). OPEN AIR STAND ALONE STRUCTURE SHALL BE NON-CONDITIONED SPACE AND INCLUDE NEW ELECTRICAL LIGHTS, OUTLETS AND SWITCHES ALL BE A MINIMUM FOR AT EXTERIOR USE. DO NOT USE ANY INTERIOR USE ELECTRICAL SYSTEMS.
- 7). WRAP ALL BEAMS, POSTS, HEADERS, (STRUCTURE) WITH 1x 1P FINISH.
- 8). PAINT AND CLEAR FINISHES SHALL BE PER OWNER'S APPROVED FINAL SELECTION. PROVIDE A MIN. (3) COATS MINIMUM FINISH.
- 9). SITE PLAN, CIVIL ENGINEERING, AND PROPOSED TOPOGRAPHY (BY OTHERS) NOT INCLUDED IN THIS SET. VERIFY ALL FINAL APPROVED GRADES IN FIELD PRIOR TO START OF NEW CONSTRUCTION. COORDINATE WITH ARCHITECT.
- 10). ALL APPLIANCES, SWITCHES, MEDIA, ELECTRIC UNITS AND BUILT IN CABINETS SHALL BE FOR EXTERIOR USE ONLY. ALL COUNTERTOP SHALL BE GRANITE OR APPROVED EQUAL FOR EXTERIOR USE.
- 11). VERIFY ALL CABINET FINISHES AND VENEERS WITH OWNER PRIOR TO START OF NEW CONSTRUCTION. ALL EXTERIOR GRADE MATERIALS ONLY. COORDINATE ALL FINAL APPROVED SPECIFICATIONS, SHOP DRAWINGS AND / OR MANUFACTURER'S SELECTIONS SPECIFICATIONS CUT SHEETS WITH ARCHITECT PRIOR TO ALL NEW INSTALLATIONS.

NOTES:

VERIFY WITH OWNER ALL FINAL APPROVED FIXTURES, FINISHES, INTERIOR MATERIALS AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO START OF NEW CONSTRUCTION.

AREA CALCULATIONS

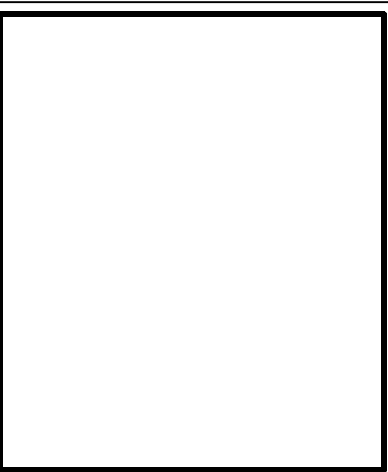
- 1). NEW PAVILION PROJECT
A SINGLE STORY DETACHED STRUCTURE TOTAL SQUARE FEET = ± 348.00

SHEET INDEX

NO.	SHEET	DESCRIPTION
1).	A 01	TITLE SHEET AND GENERAL NOTES
2).	A 02	EXISTING AND PROPOSED SITE PLANS
3).	A 03	PROPOSED EXTERIOR ELEVATIONS
4).	A 04	PROPOSED FOUNDATION, FLOOR AND ROOF PLANS
5).	A 05	PROPOSED ELECTRICAL PLAN WITH ELECTRICAL NOTES AND TYPICAL DETAILS

CIVIL ENGINEERING

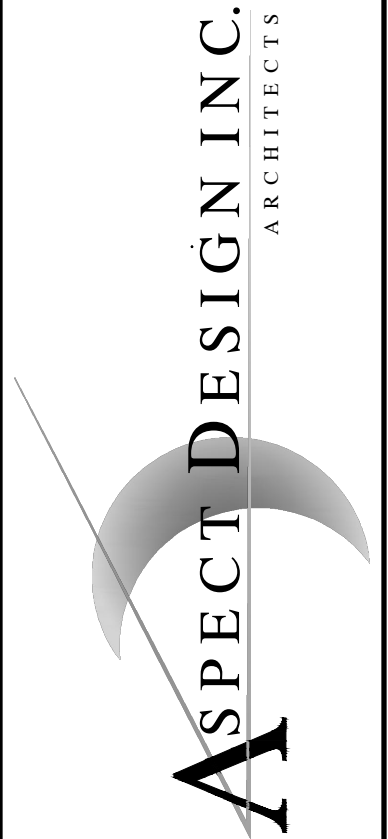
ALL FINAL APPROVED GRADING PLAN, CIVIL ENGINEERING, WATER MANAGEMENT DESIGN BY OTHERS. VERIFY WITH ARCHITECT ALL FINAL APPROVED LANDSCAPE DESIGN, CIVIL ENGINEERING, GRADING PRIOR TO START OF NEW CONSTRUCTION. VERIFY IN FIELD AND COORDINATE AS REQUIRED.



McKEOWN
RESIDENCE
NEW PAVILION PROJECT
1106 ASTOR PLACE
GLENCOE, IL 60022

REVIEW	02/20/2022
REVIEW	02/28/2022
REVIEW	04/02/2022

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
IL LICENSE # 184-040154



PROJECT # AD21198
DRAWN BY: COM/NH
1106 ASTOR PLACE
TITLE SHEET & GEN. NOTES

A 01

1 OF 5 TOTAL SHEETS

NOTE: ALL SCALE DESIGNATIONS ARE FOR SHEETS PRINTED ON 24" x 36" SIZE PAPER. (ARCH-D)

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VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.

DISCONNECT AND CAP OFF ALL PLUMBING AND GAS PIPING, ELECTRICAL WIRING AND DEVICES, LOW VOLTAGE WIRING, MECHANICAL DUCT WORK AS REQUIRED FOR NEW CONSTRUCTION.

ALL DEMOLITION OF EXISTING PLUMBING PIPING, FIXTURES AND EQUIPMENT ETC SHALL BE PERFORMED BY AN ILLINOIS LICENSED PLUMBER.

CONNECT NEW ELECTRICAL CIRCUITS TO EXISTING PANEL. VERIFY PANEL SIZE AND AVAILABLE CIRCUITS. SUPPLY AND INSTALL AN ADDITIONAL SUB PANEL IF REQUIRED.

ALL EXPOSED CEILING, WALL AND FLOOR CAVITIES SHALL BE FILLED WITH INSULATION VERIFIED R-VALUE WITH BUILDING INSPECTOR.

REPAIR AND PATCH AS REQUIRED TO MATCH EXISTING

EXISTING WALL TO REMAIN

NEW FRAME WALL
WOOD STUDS AT 16" O.C.
1/2" DRYWALL EACH SIDE

EXISTING CONCRETE
FOUNDATION WALL TO REMAIN

EXISTING WALL AND ASSOCIATED
ELEMENTS TO BE REMOVED
PATCH AND REPAIR AS REQUIRED
TO MATCH EXISTING
SHORE UP EXISTING
CONSTRUCTION AS REQUIRED

ALL FINAL APPROVED GRADES (BY OTHERS)

VERIFY IN FIELD ALL EXISTING CONDITIONS AND
COORDINATE WITH ALL PROPOSED SITE IMPROVEMENTS
AS REQUIRED PRIOR TO START OF CONSTRUCTION.

NOTE:
ALL EXISTING CONDITIONS BASED ON PLAT OF SURVEY PROVIDED BY:

BARBARA C. MURRY (03-003529)

MURRAY AND MOODY, LTD
933 S. PLUM GROVE ROAD
SUITE 101
PALATINE, IL 60067
PHONE: (847) 358-5460

DATE: AUGUST 8, 2011
ORDER NO.: 11-1146 271L



A 02

PROPOSED NEW DETACHED UNCONDITIONED SPACE SINGLE STORY PAVILION STRUCTURE IN EXISTING REAR YARD

SCALE: 1" = 10'-0"



A 02

DEMOLITION AREA

SCALE: 1" = 10'-0"

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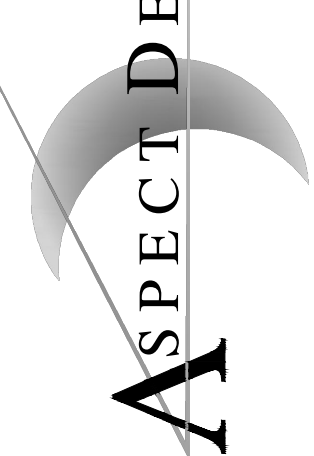
McKEOWN
RESIDENCE

NEW PAVILION PROJECT
1106 ASTOR PLACE
GLENCOE, IL 60022

REVIEW	02/20/2022
REVIEW	02/28/2022
REVIEW	04/02/2022

26575 COMMERCE DR.
SUITE 607
VOLO, IL 60073
MAIN: 847-457-2500
WWW.ASPECTDESIGNINC.COM
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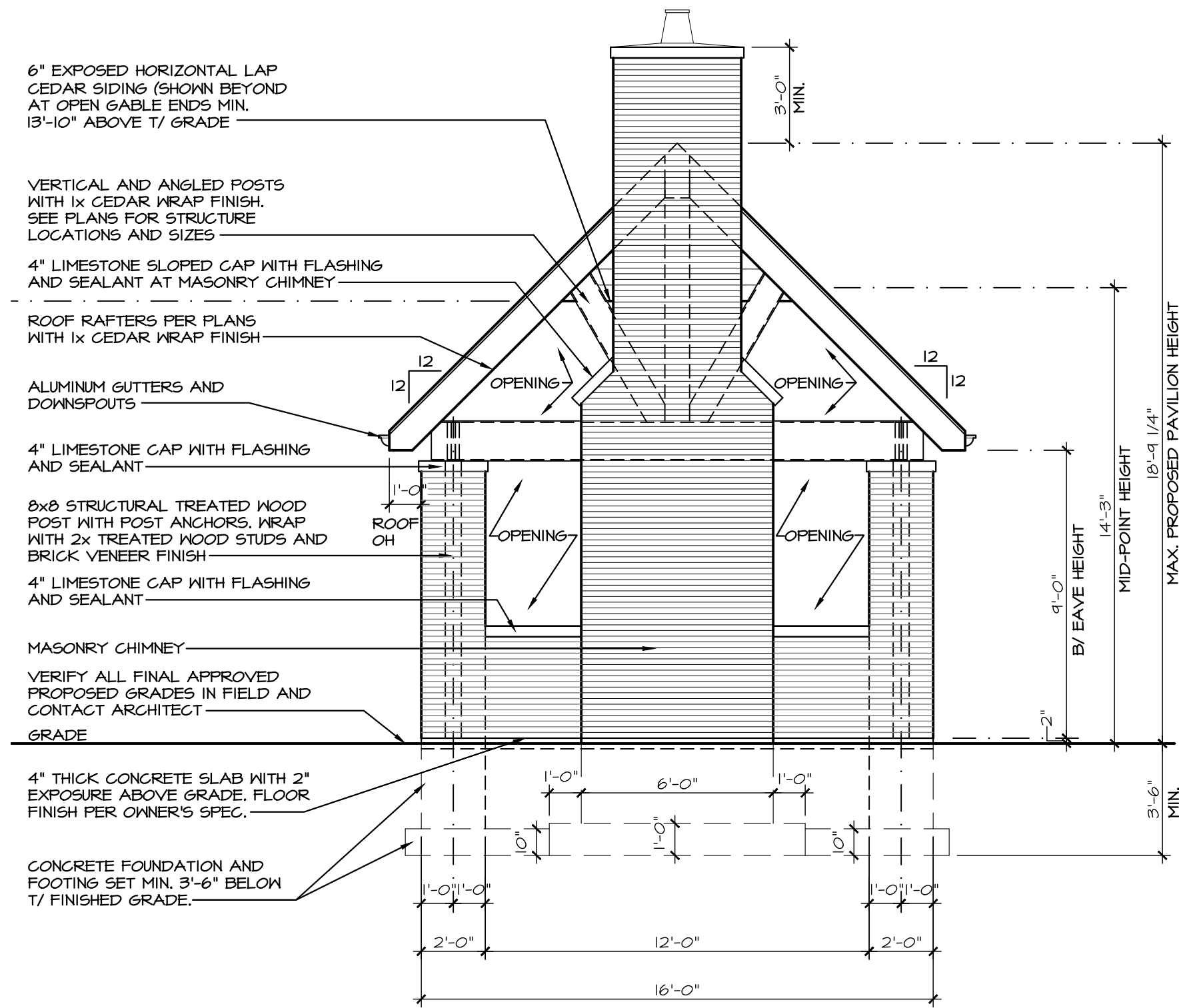
INC.
ARCHITECTS



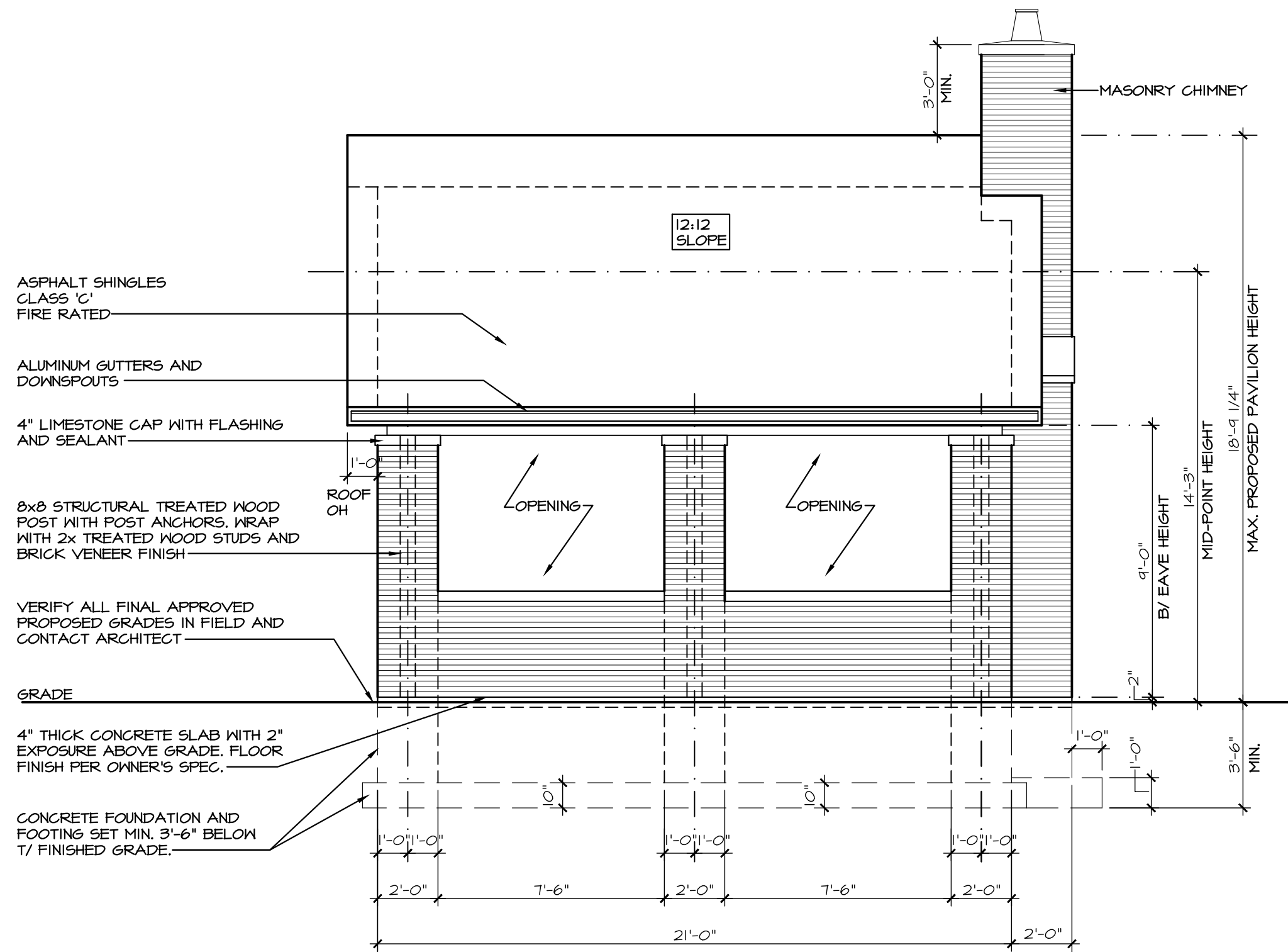
PROJECT #	AD21198
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1106 ASTOR PLACE PROPOSED SITE PLAN	

A 02

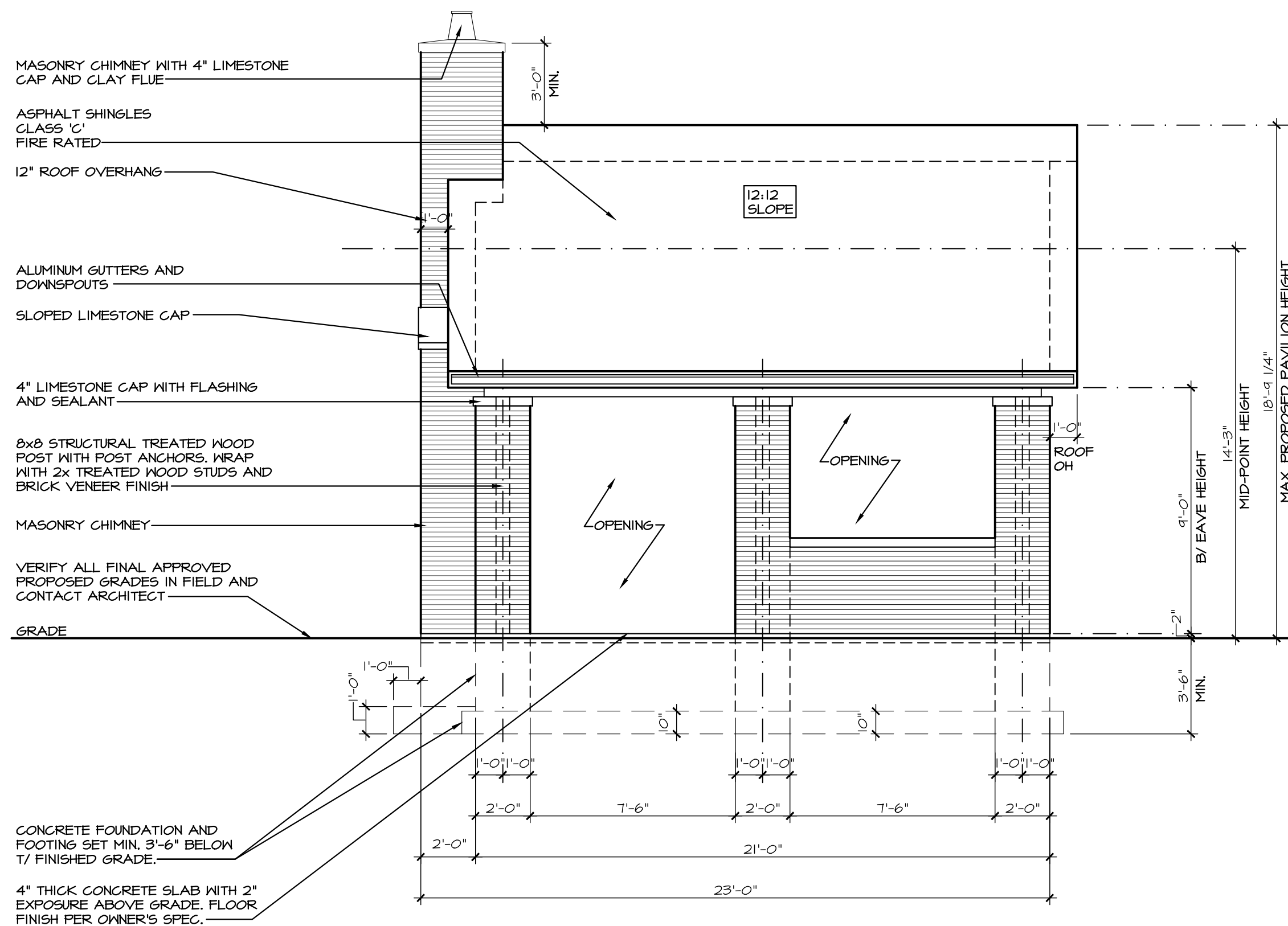
2 OF 5 TOTAL SHEETS



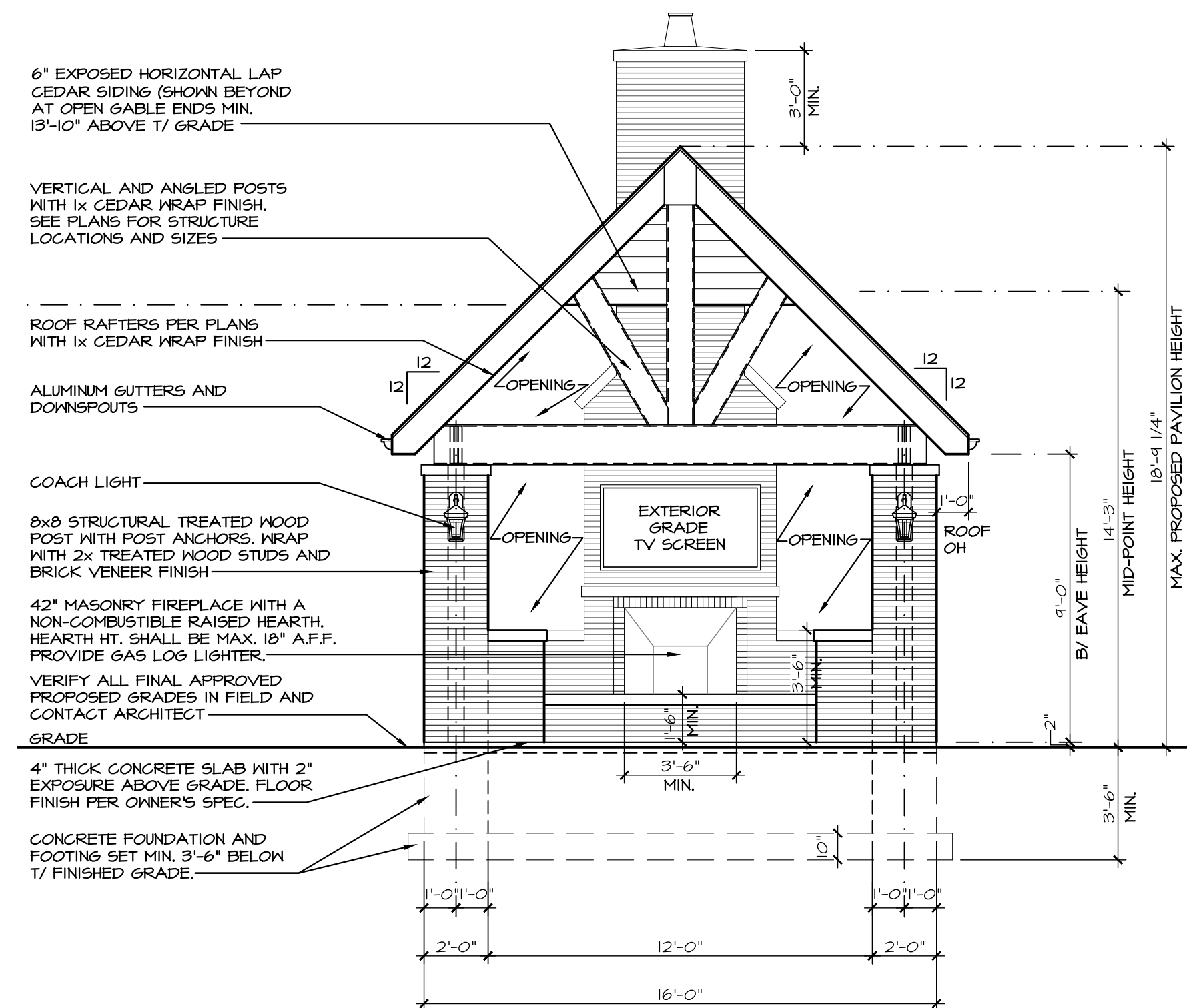
4 REAR ELEVATION (WEST)
A 03 NEW PAVILION
ONE STORY DETACHED (NON-CONDITIONED) STRUCTURE
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION (NORTH)
A 03 NEW PAVILION
ONE STORY DETACHED (NON-CONDITIONED) STRUCTURE
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION (SOUTH)
A 03 NEW PAVILION
ONE STORY DETACHED (NON-CONDITIONED) STRUCTURE
SCALE: 1/4" = 1'-0"



1 MAIN ENTRY FRONT ELEVATION (EAST)
A 03 NEW PAVILION
ONE STORY DETACHED (NON-CONDITIONED) STRUCTURE
SCALE: 1/4" = 1'-0"

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REVIEW ONLY-NOT FOR CONSTRUCTION

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RESIDENCE
NEW PAVILION PROJECT
1106 ASTOR PLACE
GLENCOE, IL 60022

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1106 ASTOR PLACE PROPOSED ELEVATIONS	

A 03

3 OF 5 TOTAL SHEETS

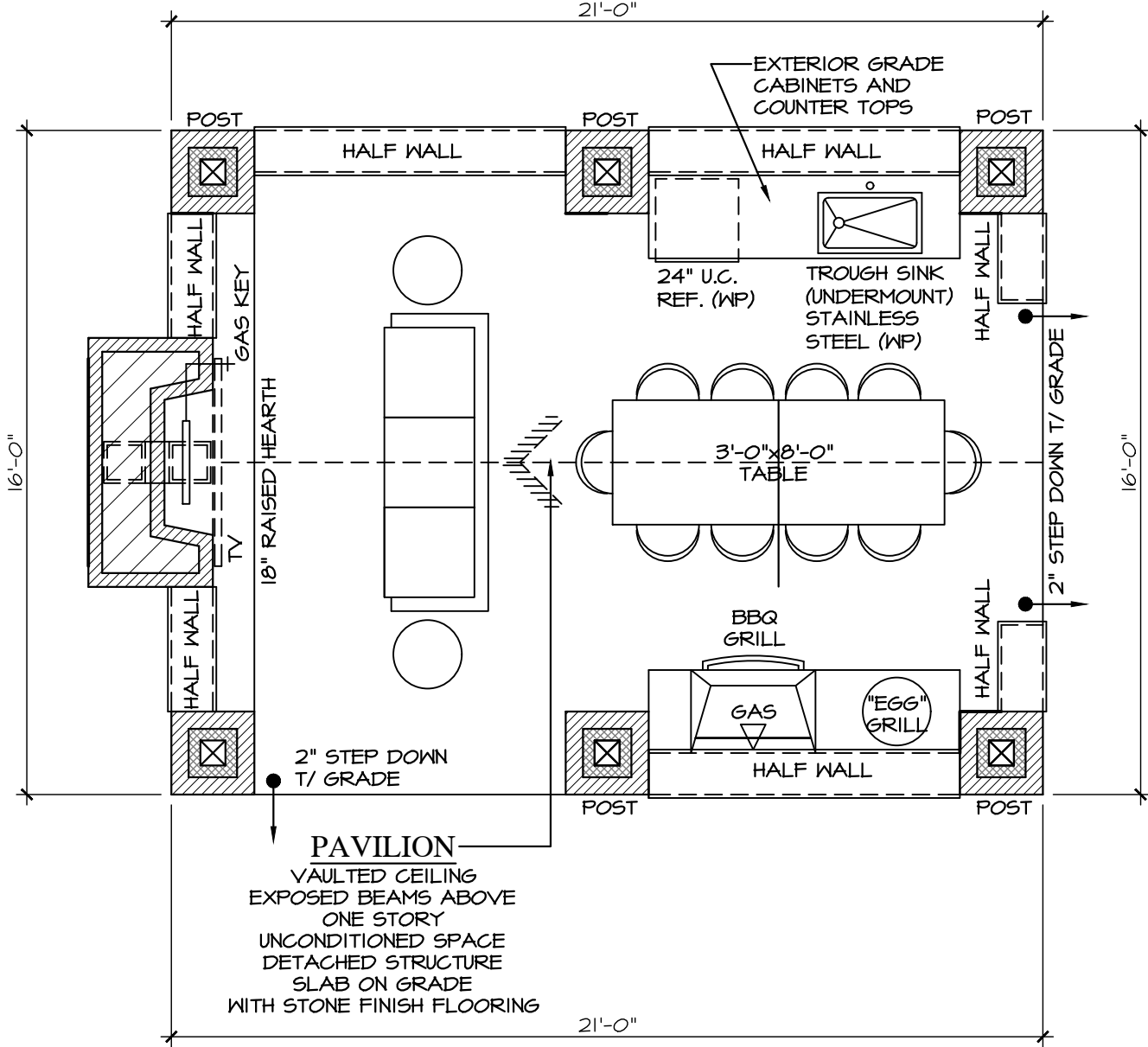
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A 04

FURNITURE / APPLIANCE PLAN

PROPOSED POOL CABANA

SCALE: 1/4" = 1'-0"



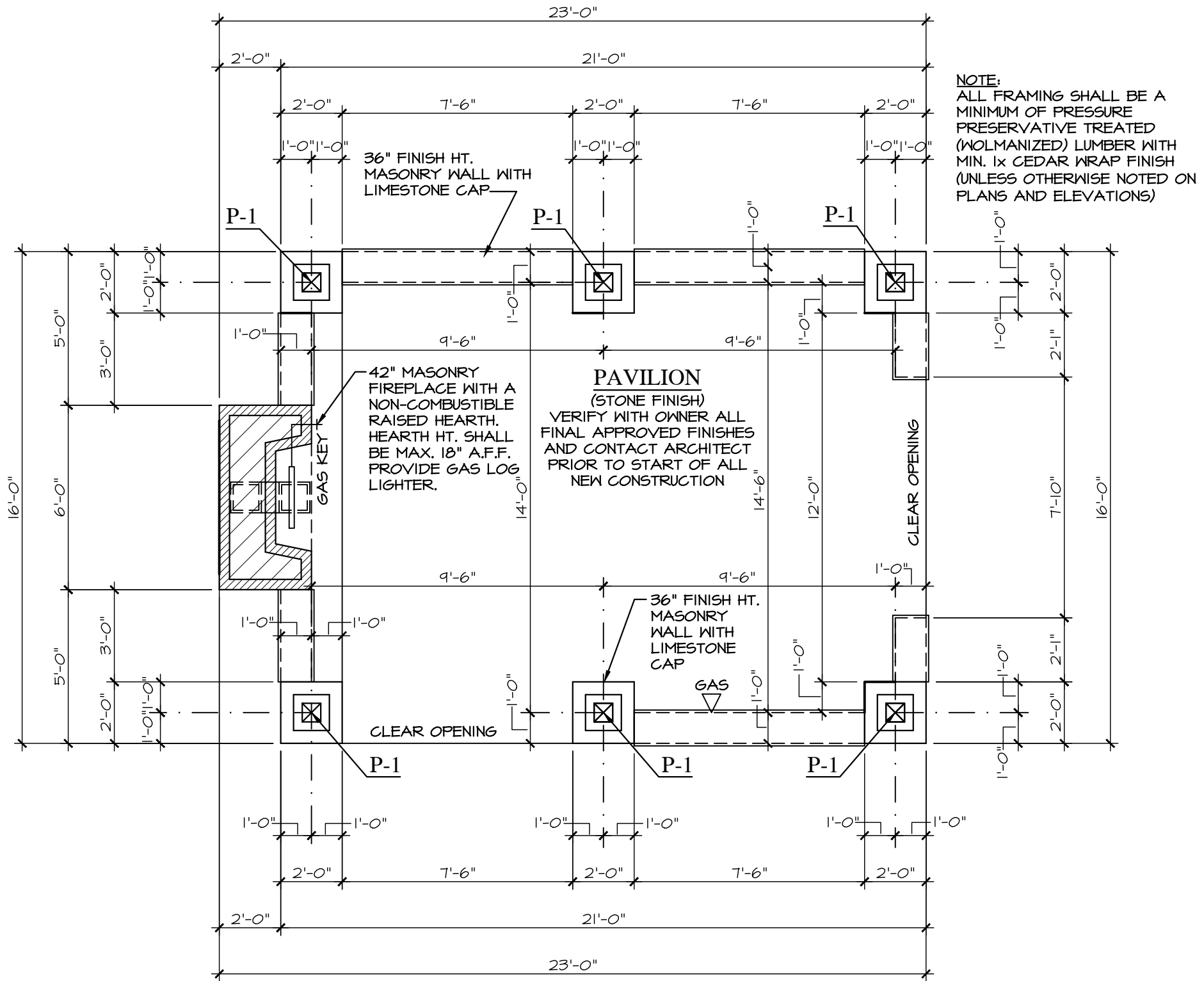
2

A 04

FLOOR PLAN

PROPOSED POOL CABANA

SCALE: 1/4" = 1'-0"



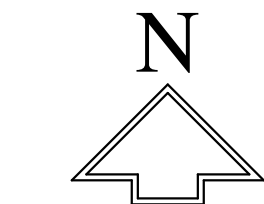
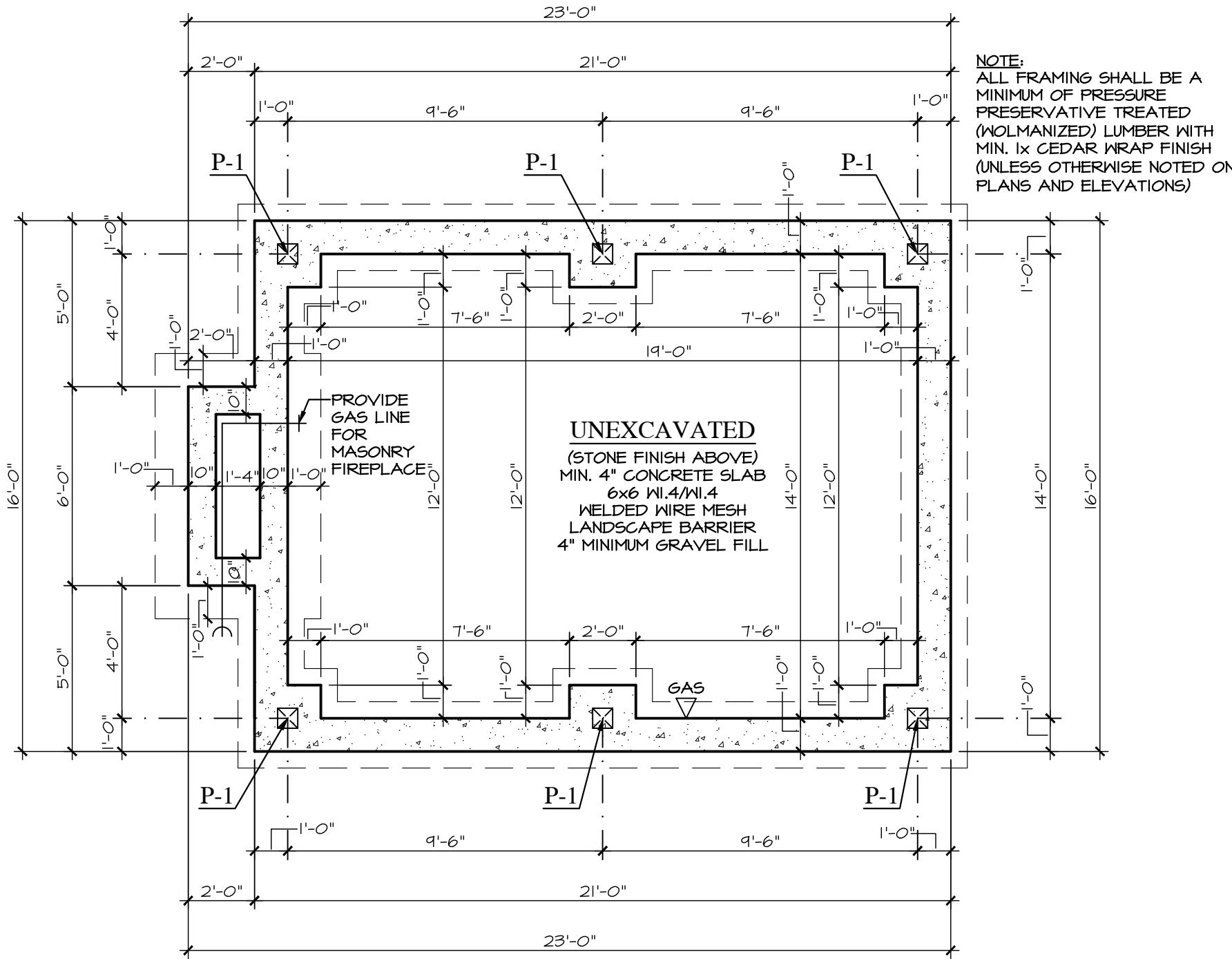
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A 04

FOUNDATION PLAN

PROPOSED NEW PAVILION

SCALE: 1/4" = 1'-0"



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GENERAL NOTES

VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.

CONNECT NEW ELECTRICAL TO EXISTING. VERIFY EXISTING PANEL AND PROVIDE A NEW OR SUB-PANEL AS REQUIRED. VERIFY EXISTING GAS PIPE SUPPLY SIZE AND SYSTEM CAPACITY TO ACCOMMODATE NEW CONSTRUCTION. RE-WORK AS REQUIRED.

NOTE:
ALL FRAMING SHALL BE A
MINIMUM OF PRESSURE
PRESERVATIVE TREATED
(WOLMANIZED) LUMBER WITH
MIN. 1x CEDAR WRAP FINISH
(UNLESS OTHERWISE NOTED ON
PLANS AND ELEVATIONS)

PAVILION
(STONE FINISH)
VERIFY WITH OWNER ALL
FINAL APPROVED FINISHES
AND CONTACT ARCHITECT
PRIOR TO START OF ALL
NEW CONSTRUCTION

36" FINISH HT.
MASONRY
WALL WITH
LIMESTONE
CAP

42" MASONRY
FIREPLACE WITH A
NON-COMBUSTIBLE
RAISED HEARTH.
HEARTH HT. SHALL
BE MAX. 18" A.F.F.
PROVIDE GAS LOG
LIGHTER.

McKEOWN
RESIDENCE

NEW PAVILION PROJECT
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A 04	
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1106 ASTOR PLACE
ELECTRICAL PLAN

A 05

5 OF 5 TOTAL SHEETS

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE		TELEPHONE JACK
	DUPLEX RECEPTACLE SPLIT WIRED TO SWITCH		FAX LINE
	GROUND FAULT INTERRUPTER RECEPTICAL		COMPUTER MODEM HOOK-UP
	RECESSED PICTURE LIGHT RECEPTACLE SPLIT WIRED TO SWITCH (VERIFY HEIGHT W/ OWNER)		BUNDLED CABLE- TV, DSL, FIBER OPTICS, PHONE
	QUAD RECEPTACLE		TELEVISION / CABLE JACK
	DIRECT CONNECT SPECIAL PURPOSE OUTLET/ J-BOX		ALARM CONTROL PANEL
	RECESSED FLOOR RECEPTACLE SPLIT WIRED TO SWITCH		DOORBELL CHIME
	PLUG MOLD		VOLUME CONTROL
	SINGLE POLE SWITCH		SMOKE DETECTOR
	3-WAY SWITCH		GAS SUPPLY W/ VALVE
	DIMMER - Lutron Maestro Series (Verify Voltage Req.)		EXTERIOR FLOOD LIGHT
	CEILING FAN SWITCH BY FAN MANUFACTURER		COMBINATION FAN LIGHT
	TIMER SWITCH INTERMOTIC		EXHAUST FAN - CEILING MOUNTED
	RECESSED LIGHT FIXTURE		MOTOR CONNECTION
	RECESSED WALL WASHER LIGHT FIXTURE		PROGRAMMABLE THERMOSTAT
	LIGHT FIXTURE - CEILING MOUNTED		AUDIO SPEAKER (FLUSH CEILING MOUNTED)
	LIGHT FIXTURE - WALL MOUNTED		
	UNDERCABINET MTD. LIGHT FIXTURE		

NOTE:
ALL ELECTRICAL BRANCH CIRCUITS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.

ELECTRICAL NOTES

AS APPLICABLE ALL ELECTRICAL WORK, INSTALLATION, MATERIALS, DEVICES, LIGHTING EQUIPMENT, ETC. SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND AMENDMENTS.

THE ELECTRICAL CIRCUITS AND PANEL LAYOUT ARE TO BE DESIGNED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES

PROVIDE A SMOKE DETECTOR ON EACH FLOOR LEVEL AND IN EACH SLEEPING AREA. ALL SMOKE DETECTORS SHALL BE 110V WITH BATTERY BACK-UP AND WIRED IN SERIES.

ALL CONVENIENCE ELECTRICAL OUTLETS IN HABITABLE AREAS SHALL BE PLACED 12" ABOVE THE FINISHED FLOOR AND BE SPACED PER THE 6/12 RULE.

RECEPTACLE OUTLETS ARE REQUIRED TO BE LOCATED PER THE NATIONAL ELECTRICAL CODE.

ALL CONVENIENCE OUTLETS, SWITCHES, AND LIGHTS WITHIN 6'-0" OF A SINK OR LAUNDRY TUB SHALL BE GFCI PROTECTED

ALL OUTLETS, LIGHT FIXTURES, AND SWITCHES WITHIN 5'-0" OF A SHOWER OR BATH TUB SHALL BE GFCI PROTECTED

BRANCH CIRCUIT WIRING TO BE PER THE NATIONAL ELECTRIC CODE

ALL LIGHTING FIXTURES ABOVE OR WITHIN TWO FEET OF THE INSIDE EDGE OF A BATH TUB SHALL HAVE GFCI PROTECTION

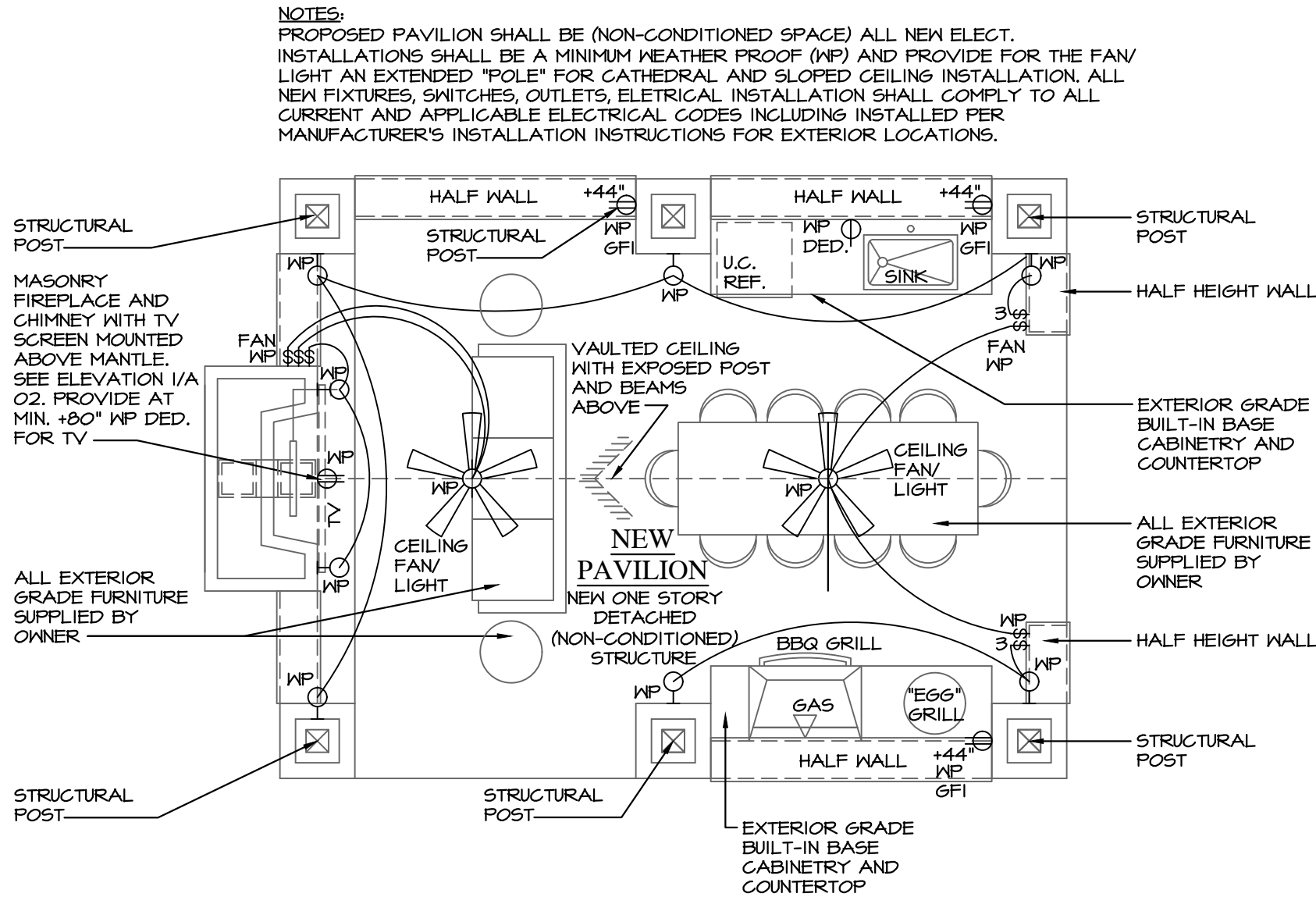
ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER NEC, (EXCEPT GFI OUTLETS).

NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS OR NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICIENCY LAMPS.

CONNECT NEW ELECTRICAL CIRCUITS TO EXISTING PANEL. VERIFY PANEL SIZE AND AVAILABLE CIRCUITS. SUPPLY AND INSTALL AN ADDITIONAL SUB PANEL IF REQUIRED.

GENERAL NOTES

VERIFY ALL EXISTING CONDITIONS AND COMPARE TO THE PLANS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE GENERAL CONTRACTOR AND ARCHITECT IMMEDIATELY UPON THE DISCOVERY OF ANY DISCREPANCIES.



1 ELECTRICAL PLAN

A 05

NEW PAVILION
ONE STORY DETACHED (NON-CONDITIONED) STRUCTURE

SCALE: 1/4" = 1'-0"

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