



**AGENDA
VILLAGE OF GLENCOE
ZONING BOARD OF APPEALS
REGULAR MEETING**

675 Village Court
June 5, 2023 - 7:00 p.m.

1. CALL TO ORDER AND ROLL CALL

*Scott Novack, Chair
Sara Elsasser
Dena Fox
Jake Holzman
Michael Kuppersmith
Debbie Ruderman
Michael Zuckerman*

2. INTRODUCTION OF NEW BOARD MEMBER MICHAEL ZUCKERMAN

3. CONSIDER ADOPTION OF THE MAY 1, 2023 ZONING BOARD OF APPEALS MEETING MINUTES

4. PUBLIC HEARING AND CONSIDERATION OF A REQUEST FOR VARIATIONS FROM THE ZONING CODE TO REDUCE THE REQUIRED SIDE AND REAR SETBACKS AND TO ALLOW AN ENCROACHMENT INTO THE SETBACK PLANE TO AN EXTENT GREATER THAN ALLOWED BY CODE FOR AN ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE AT 10 CRESCENT DRIVE

5. PUBLIC HEARING AND CONSIDERATION OF A REQUEST FOR A VARIATION FROM THE ZONING CODE TO INCREASE THE ALLOWABLE GROSS FLOOR AREA FOR AN ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE AT 536 SOUTH AVENUE

6. PUBLIC HEARING AND CONSIDERATION OF A REQUEST FOR A VARIATION FROM THE ZONING CODE TO REDUCE THE REQUIRED SIDE SETBACK FOR A NEW AIR CONDITIONING UNIT AT AN EXISTING SINGLE-FAMILY RESIDENCE AT 529 OLD GREEN BAY ROAD

7. PUBLIC COMMENTS ON NON-AGENDA ITEMS

8. ADJOURN

The Village of Glencoe is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend the meeting who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact the Village of Glencoe at least 72 hours in advance of the meeting at (847) 835-4114, or the Illinois Relay Center at (800) 526-0844, to allow the Village of Glencoe to make reasonable accommodations for those persons.



**MINUTES
VILLAGE OF GLENCOE
ZONING BOARD OF APPEALS
REGULAR MEETING**

Council Chambers at Glencoe Village Hall
675 Village Court
Monday, May 1, 2023 – 7:00 p.m.

1. CALL TO ORDER AND ROLL CALL

The Regular Meeting of the Zoning Board of Appeals of the Village of Glencoe was called to order by Chairman Scott Novack at 7:00 p.m. on May 1, 2023, held in the Council Chambers at Glencoe Village Hall.

Attendee Name	Title	Status
Zoning Board of Appeals		
Scott Novack	ZBA Chairman	Present
Sara Elsasser	Member	Present
Alex Kaplan	Member	Absent
Debbie Ruderman	Member	Present
Michael Kuppersmith	Member	Present
Jake Holzman	Member	Present
Dena Fox	Member	Absent
Village Staff		
Taylor Baxter	Development Services Manager	Present
Richard McGowan	Planner	Present

2. CONSIDERATION OF MINUTES OF THE APRIL 4, 2023, ZBA MEETING

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kuppersmith, Ruderman, Holzman
NAYS:	None
ABSENT:	Kaplan, Fox

3. CONSIDERATION OF A VARIATION REQUEST AT 634 GREENLEAF AVENUE

Taylor Baxter gave an overview of the request, explaining that the applicants are seeking a variation from the zoning code to allow for a detached garage to encroach into the required corner side yard setback at a new single-family residence under construction at 634 Greenleaf Avenue.

The requested variation is from the following standard in the Zoning Code:

1. Section 3-111(C) – *To reduce the required corner side setback for a detached structure (two-car garage) with a rear setback of five feet from 50 feet to 40 feet, a variation of 20%.*

Mr. Baxter stated that the Village Engineer provided a statement that noted a reduced front setback and increased gross floor area do not appear to present any new stormwater related Concerns, which has been an ongoing discussion with several neighbors for the area near 244 Hazel Avenue. Mr. Baxter added that the ZBA has received all of the letters of opposition received from neighbors thus far.

Mr. Baxter noted that the Village has received at least 4 letters of opposition from neighbors and has met with multiple neighbors to explain the requested variation. Mr. Baxter stated that if this detached garage is at least 50 feet from the corner side lot line, then the rear yard setback for this garage can be 5 feet, but since they currently have an approved site plan for a corner side yard setback of 34.97 feet from the corner side yard lot line, the required rear setback for the detached garage on this corner lot is 12 feet (equal to the required minimum side setback of the adjacent lot).

Chairman Novack asked if the 34.97-foot corner side yard setback that was approved for the house under construction was because of the front yard setback of the adjacent lot and Mr. Baxter confirmed that's correct. Mr. Baxter then clarified that the Staff Memorandum stated that the proposed garage would be closer to a large Oak tree in neighbor's yard, but staff re-measured and the closest point of the approved and proposed garages would be approximately one foot further away (A/C equipment pad on approved site plan; corner of the detached garage on the proposed site plan).

Mr. Baxter added that since there are only 5 of 7 ZBA Members present, 4 "aye" votes are required to approve the requested variation, and that the applicant may withdraw before a vote which would allow the applicant to re-apply for a variation at a later date.

Mr. Baxter then swore in the applicant's Architect, Beata Kociuba, and the owner of 634 Greenleaf Avenue, John Cullis. Chairman Scott Novack thanked staff and prefaced the applicant's presentation by saying it is not common for the Village to receive multiple letters of opposition for a ZBA request. Mr. Cullis then provided the ZBA Members and staff with a 12-page handout with site plans, renderings, and existing examples. Mr. Cullis stated that he and his family intend to live in this house, and they originally applied for a ZBA variation in March 2022 which was subsequently withdrawn before the ZBA Public Hearing after receiving letters of opposition and feedback from neighbors. Mr. Cullis explained that they had reached out to nearby neighbors to explain their project and requests as this is a corner lot and is relatively undersized for the RA Zoning District. Mr. Cullis then proceeded to ask Ms. Kociuba questions by means of a cross-examination. Ms. Kociuba answered all of Mr. Cullis' questions, stating that she is a licensed Architect in the State of Illinois and Colorado, she's been an Architect for 45 years, the practical difficulties are that it's a corner lot, setbacks, and recreation areas, and that the lot area is about 75% of the minimum required lot area for the RA Zoning District. Mr.

Cullis continued to ask his Architect questions, to which she noted that the applicants originally wanted to make the driveway off of Greenleaf Avenue but there are several mature trees in that area that they did not want to disrupt, and that they thought that the proposed location of the detached garage would be in line with the closest neighbor's side yard (at 244 Hazel Avenue) which is a brick wall that would not be able to see the detached garage from their windows. Ms. Kociuba added details, stating that they have been trying to design the project and detached garage to avoid a large Oak tree ("Tree #270" on the site plan), and that in addition to the lot being relatively undersized with regards to the lot area requirements in the RA Zoning District, that another part of the reason for this proposed location was in attempt to avoid any impacts to the neighbor's tree (#270). Ms. Kociuba added that if this was not a corner lot, the detached garage would be able to be 5 feet away from the rear lot line, and the current approved site plan has a one-car detached garage, which is not common. Ms. Kociuba concluded that the proposed location would be further from Tree #270 and would likely not be seen from (inside the home of) the closest neighboring property at 244 Hazel Avenue.

Chairman Novack thanked the applicants and asked if they were evaluating one-car or two-car garages based on undersized lots in the same Zoning District and since the second floor of the proposed detached garage is noted as storage space, would they have two doors to access the proposed garage. Mr. Cullis stated that it would have two doors and that the reason they want a two-car detached garage is because his son is almost at the driving age where he would be parking his vehicle. Mr. Cullis added that the March 2022 proposed variation (that was withdrawn before the hearing) noted storage space which was intended to be used for his Wife's business, but her job has since changed where that need is no longer necessary, however, the storage within this proposed two-car detached garage is for typical storage of lawn equipment, bikes, etc. and then addressed a letter of opposition from a neighbor across the street, Bart Schneider of 654 Greenleaf Avenue. Mr. Cullis explained that Mr. Schneider noted that this much garage space is not common in this neighborhood and Mr. Cullis stated that most of the homes in the area are at least 70 years old so it was not common to have additional garage space at the times those homes were built, and that this will still be reviewed by the Village Engineer if it's approved. Chairman Novack added that he didn't think engineering would be worth getting into detail since any plans would be fully reviewed by the Village Engineer during the plan review process, who also has provided a general statement saying that the proposed variation would not have any negative impacts.

Board Member Jake Holzman asked the applicant what changed their mindset from the currently approved plans for the new home and Mr. Cullis stated that because of the time and complexities involved with lining up contractor schedules and building materials, the plan has always been to receive their permit and then apply for a variation to avoid losing additional time on the project, especially since they spent a couple months preparing for the March 2022 variation request that was withdrawn. Board Member Michael Kupper Smith noted that it looks like the applicants haven't had much recent contact with the neighbors and Mr. Cullis stated that they knew reaching out further wouldn't do much after they had received several letters of opposition from neighbors.

PUBLIC COMMENT

Chairman Novack thanked the applicant and asked the audience if there are any public comments. Andre Lerman of 244 Hazel Avenue, who also provided a letter of opposition prior to the hearing, was then sworn in by Mr. Baxter. Mr. Lerman said that he urges the ZBA to deny the requested variation as there is no hardship or practical difficulty. Mr. Lerman said that the developer knew what he was getting into when he purchased the property, and that nothing has changed, and developer greed is not a good reason. Mr. Lerman added that they have a historic Oak tree (#270) that was deemed historic by members of the community, and is at least 100 years old, and if that tree dies then the hardship falls on himself as the neighbor. Mr. Lerman added that the applicant misrepresented him and that nobody has a four-car garage.

Bart Schneider of 654 Greenleaf Avenue, who also provided a letter of opposition prior to the hearing, was sworn in by Mr. Baxter. Mr. Schneider noted that four-car garages are not the standard, and that the norm is a two-car garage, and maybe occasionally a three-car garage. Mr. Schneider added that the developer knew what he was getting into and should have purchased a larger lot, and if 244 Hazel Avenue is ever sold and torn down then it would be too close to the house. Chairman Novack asked Mr. Schneider what his biggest concerns were and Mr. Schneider said that it feels like a “bait and switch” since the builder withdrew his previous ZBA request, started construction, and is now requesting a different variation, and that there is a lack of screening for the detached garage, and that it would limit the value of 244 Hazel Avenue’s home.

Steven Buckman of 199 Hazel Avenue, who also provided a letter of opposition prior to the hearing, was sworn in by Mr. Baxter. Mr. Buckman stated that he has looked at the meeting minutes for the past 12 months of ZBA hearings and is wondering where a four-car garage is a hardship.

Mr. Cullis responded to Mr. Schneider’s comments and added that they intend on planting trees on the property as they have always done, in addition to a possible fence and bushes. Mr. Cullis stated that a ‘practical difficulty’ is the fact that this is an undersized RA lot and it’s a corner lot, and that ultimately a one-car detached garage would look more like a doll house or shed. Mr. Cullis added that he is disappointed in Mr. Lerman’s comments because we’re a Glencoe community and he’s had lengthy conversations with Mr. Lerman who seemed to be in support of the March 2022 front yard setback relief request because it would have been further away from Mr. Lerman’s tree (#270), and now that the proposed garage is going to be further away from his tree (than what is currently approved), he is still opposed. Chairman Novack added that when a neighbor is opposed to a requested variation, it makes it even more of a granular decision making process, and when things such as character are explained by the applicant and opposed by neighbors it makes it even more difficult, and regarding the hardships on the size of the lot and being a corner lot, I get, but I’m a little weary of granting relief on a lot for new construction because it was an existing lot, home, and Zoning Code before construction began, so I am leaning towards voting no. Board Member Sara Elsasser stated that she agrees with Chairman Novack since it’s an existing lot and a new build.

Mr. Cullis then stated that they are withdrawing their application for a requested variation.

Chairman Novack thanked Mr. Cullis for his time spent on this and noted that this is a very difficult decision to evaluate.

4. PUBLIC COMMENT ON NON-AGENDA ITEMS

Chairman Novack asked the audience if there were any public comments on non-agenda items. Andre Lerman of 244 Hazel Avenue said that the public notification procedure is extremely quick, and that the problem is the deadline with ZBA applications. Mr. Lerman added that if residents had more time, perhaps 2 months, it would be beneficial, and that he understands that this is more of a Village Trustee issue than the ZBA, but this would help level the playing field so that neighbors can better prepare for a public hearing. Chairman Novack thanked Mr. Lerman for his feedback and noted that 2 weeks is very standard – not just in Illinois, but across the country, but he appreciates the input and perhaps there are ways the Village can evaluate the existing procedures for neighbor notifications.

5. ADJOURN

The meeting adjourned at 8:30p.m.

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kuppersmith, Ruderman, Holzman
NAYS:	None
ABSENT:	Kaplan, Fox



VILLAGE OF GLENCOE MEMORANDUM

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Zoning Board of Appeals Memorandum – 10 Crescent Drive

DATE: May 26, 2023

TO: Zoning Board of Appeals

FROM: Taylor Baxter, AICP, Development Services Manager
Rich McGowan, Planner

SUBJECT: Public hearing and consideration of a request for variations from the Zoning Code to reduce the required side and rear setbacks and to allow an encroachment into the setback plane to an extent greater than allowed by code for an addition to an existing single-family residence

Background: The applicant has requested three variations for an addition to an existing single-family home with no expansion of the home's current footprint. The addition would be for second-story living space over the existing one-story garage and living room.

Variation Requests:

The requested variation is from the following standard in the Zoning Code:

1. *Section 3-111(C) – To reduce the required interior side setback from 12 feet to 7.83 feet, a variation of 34.75%.*
2. *Section 3-111(C) – To reduce the required rear setback from 39.9 feet to 25.9 feet, a variation of 30.09%.*
3. *Section 3-111(G)(14) – To allow an encroachment into the setback plane to an extent greater than allowed by code.*

The ZBA typically can grant setback reductions of no more than 20%. However, this limit does not apply to the vertical expansion of a non-conforming structure within the setback.

	Existing	Required/Allowed	Proposed	Variation %	Max Variation %
Interior Side Setback	7.83 ft	12 ft	7.83 ft	37.75%	NA
Rear Setback	25.9 ft	39.9 ft	25.9 ft	30.09%	NA

The setback plane variation is required because the Zoning Code prohibits dormers that project from a roof end that extends into the setback plane. The east side setback plane currently intersects with the

two-story part of the house below the roof eaves, which is prohibited by the Zoning Code. The proposed addition would include new dormers projecting from this roof, which has been determined to be an enlargement of an existing non-conformity, requiring a variation.

Analysis: The Zoning Code includes the following standards for the consideration of variation requests:

- 1.) *General Standard. No variation shall be granted pursuant to this Section unless the applicant shall establish that carrying out the strict letter of the provisions of this Code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection.*

The existing house, which was built in 1924, is non-conforming to Zoning Code requirements for setback plane intersections and side and rear setbacks. The applicant has proposed a second-floor addition within the existing house footprint that would be considered an enlargement of these existing non-conformities, requiring variations.

- 2.) *Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.*

The non-conforming location of the existing 99-year-old house is a unique physical condition. With an average width of 80.69 feet and an area of 16,200 square feet, the lot does not meet the 100-foot minimum average lot width or 20,000-square-foot minimum lot area requirements in the R-A zoning district. Likewise, the unusual shape of the property, particularly the angular rear lot line, along with a ravine running through the rear of the lot, uniquely limits the lot's buildable area.

- 3.) *Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.*

The aforesaid unique physical conditions are not the result of any action of the owner.

- 4.) *Not Merely Special Condition. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.*

The proposed variation would not merely be to make more money from the subject property and is not merely due to economic hardship.

- 5.) *Code and Plan Purposes. The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted.*

The proposed addition would be unlikely to result in a development significantly out of harmony with the purpose of the code. The proposed expansion would not expand the footprint of the structure and would not create a house with unusual height or bulk.

- 6.) *Essential Character of the Area. The variation would not result in a use or development on the subject property that:*
- (a) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or*
 - (b) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or*
 - (c) Would substantially increase congestion in the public streets due to traffic or parking; or*
 - (d) Would unduly increase the danger of flood or fire; or*
 - (e) Would unduly tax public utilities and facilities in the area; or*
 - (f) Would endanger the public health or safety.*

The proposed variation would be unlikely to have a significant impact on the essential character of the area. However, the Board should consider the potential visual impact of the addition on nearby properties, particularly on the neighboring property to the east at 245 Lincoln Drive, which would be the most impacted by the addition.

This variation request received printed public notice at least 15 days prior to the public hearing. Additionally, owners of properties within 200 feet of the subject property were notified.

Recommendation: Based on the materials presented and the public hearing, it is the recommendation of staff that the variation request of be accepted or denied. The Board may consider conditions of approval, including fencing and screening requirements.

Motion: The Zoning Board of Appeals may make a motion as follows:

Move to accept/deny the request for variations from the Zoning Code to reduce the required side and rear setbacks and to allow an encroachment into the setback plane to an extent greater than allowed by code at 10 Crescent Drive to allow an addition to an existing single-family house, in substantial accordance with the plans provided with this application. The Board may include conditions of approval as determined to be appropriate.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Zoning Board of Appeals (ZBA) Application

Section A: Application Information

Check all that apply:

☐ Request for variation(s) from the zoning code

☐ Appeal of an order, determination, or decision made by Village staff based on the zoning code

Subject property address: _____

Applicant name: _____ Applicant phone: _____

Applicant email: _____

Owner name (if different from applicant): _____

Owner phone: _____ Owner email: _____

Brief description of project:

Variation request(s):



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Section B: Standards for Variations

For applications for variations, provide a brief response to the following prompts. Use this form or attach a separate letter to this application. The full text of the standards for the approval of variations can be found in [Sec. 7-403\(e\) of the zoning code](#).

1. Why are the requested variations necessary? What hardship or practical difficulty would result if they are not approved? Include a description of any exceptional physical characteristics of the property (for example, unusual size, shape, topography, existing uses or structures, etc.), if applicable.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

2. Describe how the proposed variations would result in a development that is not detrimental to adjacent or nearby properties or the public good.

3. Describe any efforts the applicant has made to solicit feedback on the proposed variations from neighboring or nearby property owners or residents. What was the result of these efforts?

Section C: Petition for Appeal

Provide a separate letter describing the order, determination, procedures, or failure to act being appealed. Applicants only applying for variations from the zoning code do not need to provide this letter.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Section D: Acknowledgement and Signature



I hereby acknowledge that all information provided in this application is true and correct.

Michael Alshen

Applicant's signature

May 11, 2023

Date

M. Alshen

Owner's signature (if different than applicant)

May 11, 2023

Date



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Pre-Application Information Form

Section A: Applicant Information

Applicant Name: _____

Company: _____ Phone: _____

Email: _____

Section B: Project summary:

Address of Project: _____

Name of project (if any): _____

Application type (variation, external appearance review, subdivision, etc.):

Description of project:

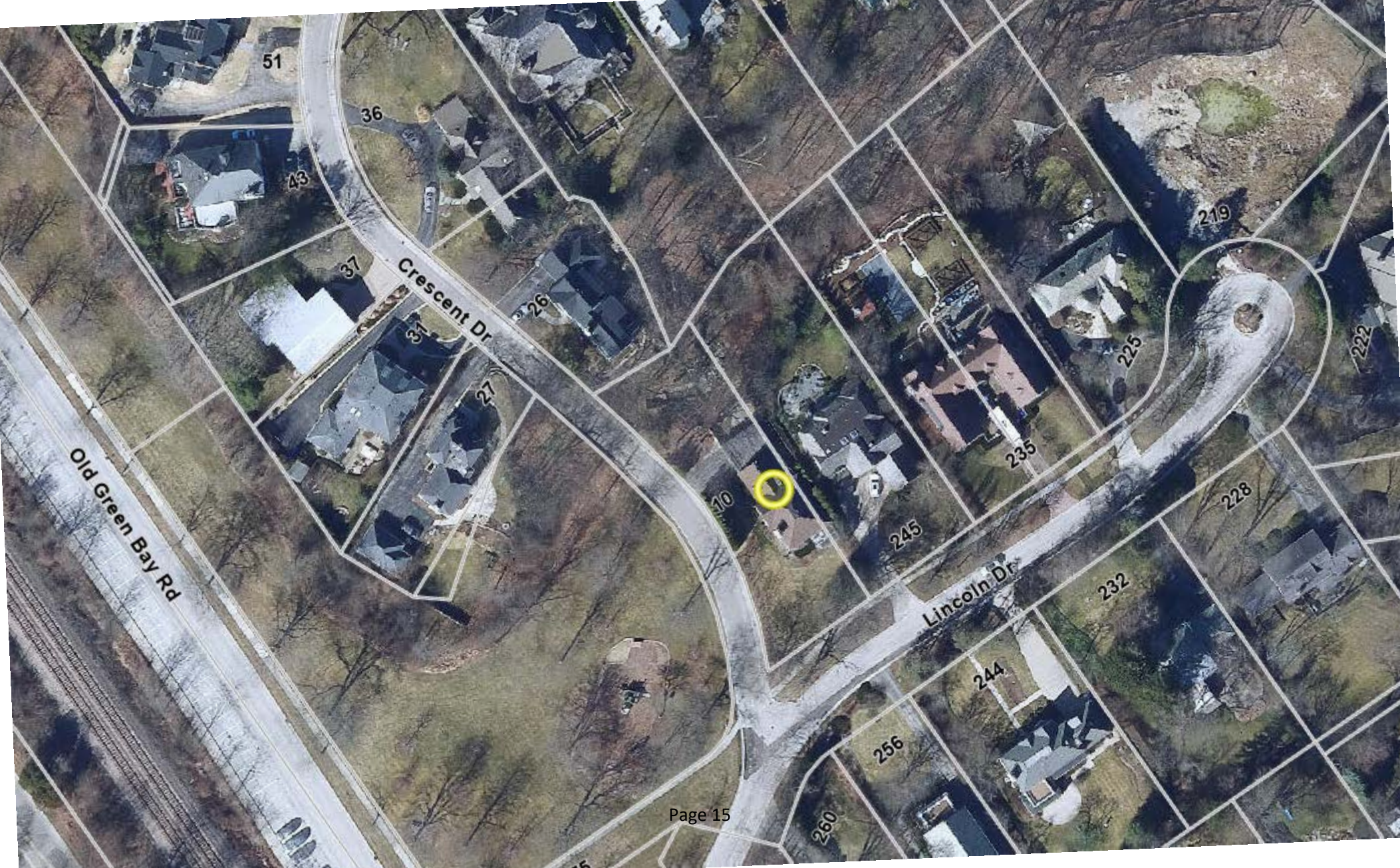
Michael Hershenson

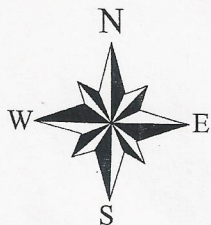
Applicant's signature

Date

Village staff signature

Date





PLAT OF SURVEY

DESCRIBED AS :

LOT 13 (EXCEPT THE EASTERLY 75 FEET THEREOF, MEASURED ON THE NORTH LINE OF LINCOLN DRIVE) IN MCDONALD'S SUBDIVISION OF PART OF THE SOUTH 1/4 OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 10, 1912 AS DOCUMENT 5040120, IN COOK COUNTY, ILLINOIS.



LEGEND

- CHAIN LINK FENCE
- WOOD FENCE
- IRON FENCE
- CONCRETE PAVEMENT
- E. FR. P. - ENCLOSED FRAME PORCH
- O. FR. P. - OPEN FRAME PORCH
- SIDE BOUNDARY LINE
- EASEMENT LINE
- BLDG. SETBACK LINE
- CENTER LINE

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

SCALE : 1" = 25'

ORDERED : MEG SAUSER, ATTY

JOB NO : 190522 S

FIELDWORK COMPLETION MAY 22ND 2019

DATE : MAY 22ND 2019

MUNICIPALITY : GLENCOE

THE LEGAL DESCRIPTION NOTED ON THIS PLAT IS A COPY OF THE ORDERS AND FOR ACCURACY MUST BE COMPARED WITH THE DEED.

STATE OF ILLINOIS
COUNTY OF COOK SS

SIGNATURE DATE:
MAY 22ND 2019

I, ANDRZEJ MURZANSKI, AN ILLINOIS REGISTERED LAND SURVEYOR, DO HERBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

ANDRZEJ MURZANSKI PLS. NO. 35-3258 EXPIRES 11/30/2020
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ANY DISCREPANCY IN MEASUREMENT SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THIS PLAT REFER TO YOUR ABSTRACT, DEED, TITLE POLICY AND LOCAL BUILDING REGULATIONS.

ANDRZEJ MURZANSKI
LAND SURVEYORS, INC
PROFESSIONAL DESIGN FIRM
NO. 184-004748

240 COUNTRY LANE
GLENVIEW, IL 60025
PHONE : 847-486-8731
FAX : 847-486-8732

amurzanski@outlook.com



GENERAL NOTES

1. THE INFORMATION CONTAINED ON THE CONSTRUCTION DOCUMENTS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE CONTRACT DOCUMENTS AND WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
2. Contractor is to assume full responsibility, unrelieved by review of shop drawings and by supervision or periodic observation of construction, for compliance with the contract documents, for dimensions to be confirmed and correlated on the job site and between individual drawings or sets of drawings for fabrication processes and construction techniques (including excavation, shoring, scaffolding, bracing, erection, formwork, etc.), for coordination of the various trades, and for the safe conditions on the job site. Variations in field conditions relative to the contract documents shall be reported to the architect and owner. Work shall not progress until written permission from the architect and owner is obtained.
3. DO NOT SCALE OFF OF DRAWINGS; use written dimensions only. If dimension is missing or inaccurate, consult with architect immediately.
4. Details not shown are similar in character to those detailed. Where specific dimensions, details, or design intent cannot be determined, consult with the architect before proceeding with the work.
5. Architect's approval must be secured in writing for all substitutions. If Architect's approval is not obtained, the Architect shall not be responsible for any related repercussions issuing from the substitution.
6. The Contractor will be responsible for replacing any items damaged during construction.
7. The General Contractor and Sub-Contractors shall maintain throughout the construction period Workman's Compensation, Comprehensive General Liability, and Automobile Liability Insurance. Certificates of Insurance shall be submitted to the Owner and Architect. The Contractor shall cause to have an endorsement contained naming the Owner and the Architect as Additional Insured. All contractors must be licensed and bonded.
8. Sealed engineered truss drawings required for submittal prior to installation. copy of drawings required on job site at the time of rough framing inspection (irc 802.10.1).

SITE NOTES

1. Contractor to limit excavation in attempt to save maximum number of trees.
2. The General Contractor shall be responsible for the construction, erection, and maintenance of temporary fencing or other physical barrier around tree preservation areas as required by the governing municipality. No construction activity, movement, and/or placement of equipment or material within the tree preservation area. No excess soil, additional fill, liquids, or construction debris shall be placed within the root zone of any tree that is required to be preserved. The fencing or other physical barrier must stay in place throughout the entire construction period. All fencing must be secured to metal posts driven into the ground and spaced no further than 10 feet apart.
3. Driveways on public parkways must be 10 to 15 feet from the base of established trees depending on tree diameter size.
4. All existing sidewalk to be replaced as part of new house construction. Solid surface driveway apron only. Sidewalk to be replaced with 6" thick walk at driveway.
5. All excavation and trenching must conform with the Occupational Safety and Health Administration Excavation and Trenching Standard, Part 1926, revised July 1, 1990.
6. Contractor will clean the construction site daily and store tools and materials in an orderly manner.

CODE REQUIREMENT NOTES

1. All work to be done in accordance with the latest requirements of all governing codes, ordinances, regulations & all Village amendments:
 - 2015 International Code Council (ICC) Building, Residential, Mechanical, Plumbing and Fire Codes
 - 2014 National Fire Prevention Association (NFPA) Electric Code
 - 2015 NFPA Life Safety Code
 - 2015 Illinois Energy Conservation Code
 - 2013 U.S. Public Health Service Food Code
 - Illinois State Plumbing Code
 - Amendments to Adopted Codes
2. Provide tempered glazing in all hazardous locations.
 - 1) glazing in any part of the building where the bottom edge of the glazing is less than 18" above a standing surface. (i.e. shower door and enclosure)
 - 2) glazing in egress doors and glazing adjacent to a door where the nearest vertical edge is within a 24" arc of the door in a closed position and where the bottom edge is less than 60" above a standing surface.
3. Fireplace hearths to extend a minimum of 16" beyond the face of the fireplace opening and a minimum of 8" on each side of the fireplace opening for fireplaces having an opening of less than 6 square feet. The hearth of larger sized fireplaces shall extend a minimum of 20" beyond the face of the fireplace opening and a minimum of 12" on each side.
4. All stairways shall meet code requirements. Minimum stair width to be 36". Interior handrails to be 34" to 38" above nosing. Maximum riser height is 7 3/4". Minimum tread depth shall be 10" with 1" nosing. Handrails are to project no greater than 3 1/2" into stairway width and a clear space of no less than 1 1/2" from wall. Maximum opening between vertical balusters is less than 4". Provide a minimum of 80" headroom. Interior and exterior guardrails, guardwalls, and parapets to be 36" above finished floor or deck. Enclosed accessible space under stairs shall be enclosed with 1/2" min. gypsum board.
5. Structural Design Loads: Floors: 40 LBS Live Load, 15 LBS Dead Load; Roof: 30 LBS Live Load, 15 LBS Dead Load. Footing Design Bearing Pressure = 3,000 PSF; Wind Load = 20 PSF.
6. Dimensional lumber shall be Hem Fir NO. 2 or better. Drilling and notching of top plates and studs will comply with code requirements.
7. Provide treated wood plates and wall furring for all walls nailed to foundation walls.
8. Provide 5/8" gypsum board at frame walls and ceiling between house and garage.
9. Provide 2" thick minimum wood firestopping to close off all concealed draft openings and to form effective fire barriers between stories and in all concealed spaces therein against the spread of fire.
10. Air conditioning condenser location to adhere to zoning setback requirements.
11. Anchor bolts shall be embedded 7" minimum into concrete. (Sec. 403.1.6, International Residential Code)
12. Openings between garage and residence shall be equipped with solid wood doors not less than 1-3/8" in thickness, solid or honeycomb-core steel doors not less than 1-3/8" thick, or 20 minute fire-rated doors, equipped with a self-closing device. (Sec. R-302.5.1, International Residential Code)
13. Provide access to attic 22" x 30" minimum. (Sec. R-807, International Residential Code)
14. Provide combustion air to furnace room. (Sec. R-1701.1, International Residential Code)
15. Crawl spaces to be conditioned. (Sec. R-408, International Residential Code)
16. Smoke detectors to be provided and installed per code & local amendments. Smoke detectors to be permanently wired to the electrical service of the building.
17. A carbon monoxide detector is required within 15' of every sleeping room. The carbon monoxide detector may be combined with a smoke detector. A carbon monoxide detector may be battery operated or hardwired. Verify distance to each bedroom. 2nd Floor may require two detectors. (State of Illinois, Carbon Monoxide Alarm Detector Act)

or Illinois, Carbon Monoxide Alarm Detector Act)

18. All closet lights shall be:
 - A. recessed lights with 6" clearance between fixture and nearest point of storage space.
 - B. fluorescent lights with 6" clearance between fixture and nearest point of storage space.
 - C. incandescent lights with 12" clearance between fixture and nearest point of storage space. (Sec. 410.6.B, NEC)
19. Light fixture above whirlpool, tubs and showers shall be G.F.I. (Sec. 680.6, NEC)
20. Arc-fault circuit-interrupter protection:
 - All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways and similar rooms or areas shall be protected by a combination type arc-fault circuit interrupter installed to provide protection of the branch circuit - see code for exceptions.
21. The vent extension through and above the roof shall be not less than 3" in diameter and shall have a diameter at least 1" greater than that of the pipe to the roof. (Sec. 890.1400.a, Illinois State Plumbing Code)
22. Where the opening of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a min. of 24" above the finished floor of the room in which the window is located.
23. Contractor shall submit fire sprinkler documentation including shop drawings and hydraulic calculations to the Village of Glencoe for review and approval per 2015 International Fire Code (IFC).
24. Roof ventilation is not required if all conditions of section R806.5 of IRC 2015 are met, see notes on A0.2

ENERGY CONSERVATION CODE

This project is designed in accordance with the 2015 International Energy Conservation Code (I.E.C.C.). Using the Prescriptive Approach, the residence complies with the insulation & fenestration requirements by component based on Climate Zone 5.

Building Thermal Envelope Requirements for Climate Zone 5 (IECC Table 402.1.1):

Glazing U Factor: Required: 0.32; Actual: 0.30-0.32

Skylights Glazing U Factor: Max: .55; Actual: .51

Ceiling R- Value: Required: R-49; Actual: R-49

Wood Frame Wall R-Value: Required: R-20; Actual: R-21

Floor R-Value: Required: R-30; Actual: R-38

Basement Wall R-Value: Required: R-15/19; Actual: R-13 interior & R-5 rigid exterior

Basement Slab R-Value: Not Required when slab is more than 12" below grade; Actual: R-10

Ducts R-Value: Required: None when in envelope; Actual: In envelope

Piping R-Value: Required: R-3; Actual: R-3

NOTE: A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, ELECTRICAL PANEL OR APPROVED LOCATION INSIDE THE BUILDING. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON ROOF/CEILING, WALLS, FOUNDATION (SLAB, CRAWLSPACE, BASEMENT WALLS AND FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE SOLAR HEAT GAIN COEFFICIENT OF FENESTRATION; AND RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING (IRC R401.3).

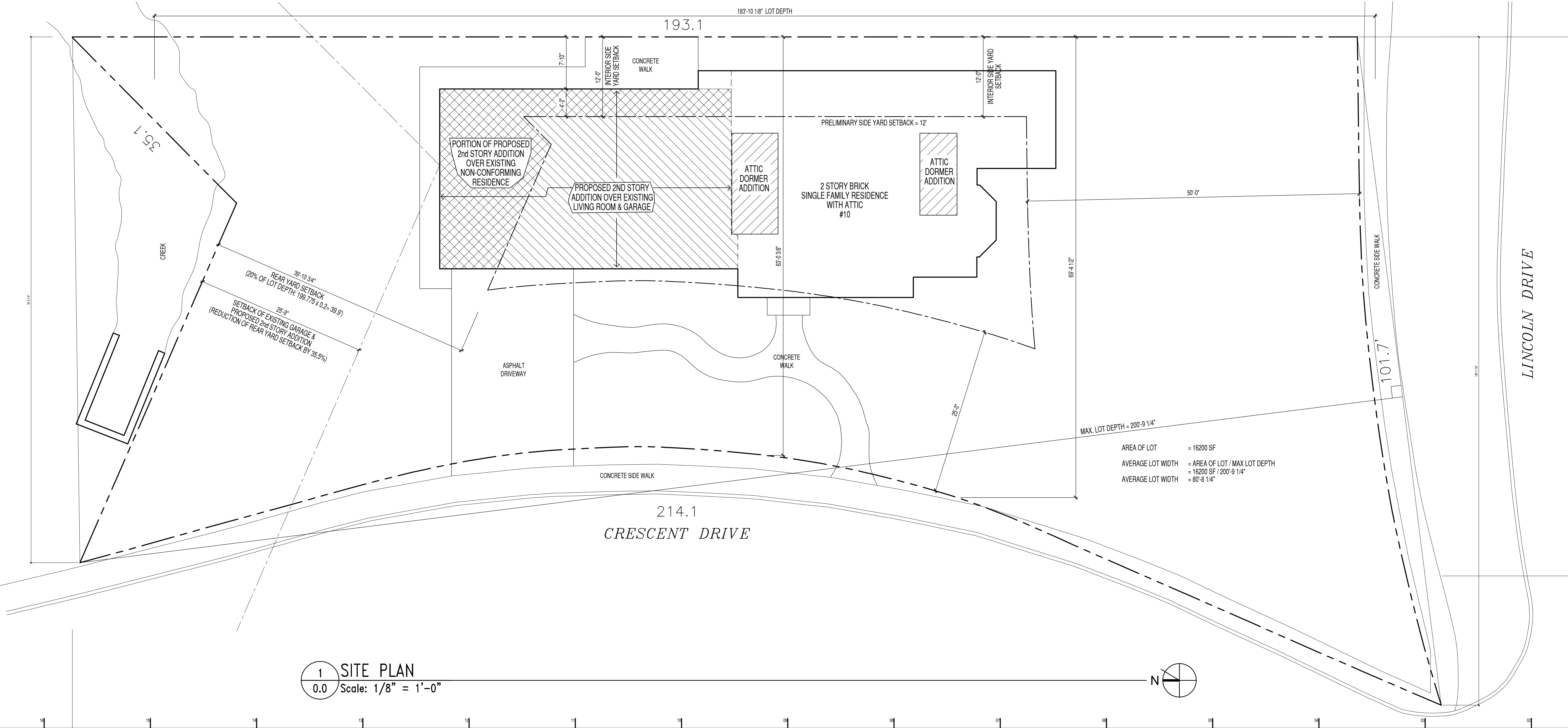
FIRE SPRINKLER NOTE:
INSTALL FIRE SPRINKLER SYSTEM COMPLYING WITH NFPA 13D. A SEPARATE FIRE SPRINKLER SYSTEM PERMIT SUBMITTAL IS REQUIRED FOR REVIEW & APPROVAL BY VILLAGE OF GLENCOE.

2015 International Energy Conservation Code (I.E.C.C.)

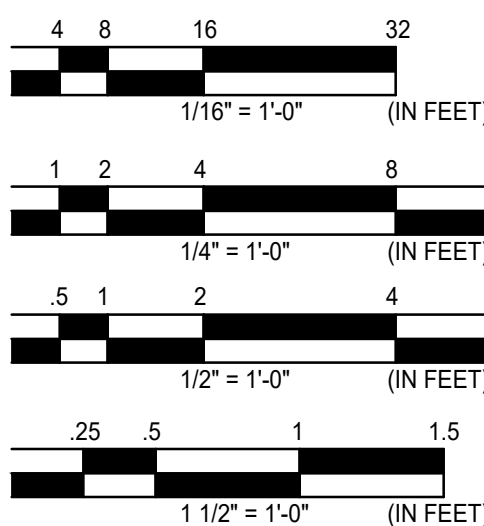
TABLE R402.4.1.1 AIR BARRIER & INSULATION INSTALLATION

Air barrier and thermal barrier	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/skotti shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.
Walls	Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.
Rim joists	Rim joists shall be insulated and include the air barrier.
Floors (including above-garage and cantilevered floors)	Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.
Crawl space walls	Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls. Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.

Narrow cavities	Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.
Plumbing and wiring	Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.
Fireplace	An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors.
DOOR BLOWER TEST: DWELLING SHALL HAVE A BLOWER DOOR TEST DONE PER REQUIREMENTS IN THE 2015 IECC TABLE 402.4.1.2	
AIR LEAKAGE TEST NEW HOMES AIR LEAKAGE TEST REQUIRED (IECC 402.4)	
DUCT TESTING NEW HOMES DUCT TESTING IS REQUIRED (IECC 403.3.3)	



GRAPHIC SCALES



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847. 869. 7700
Facsimile: 847. 869. 7707
● 2023 Michael Hershenson Architects

SITE PLAN

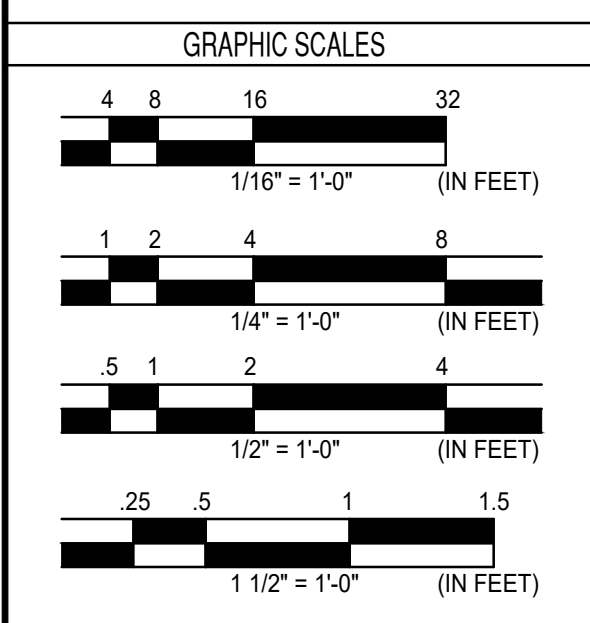
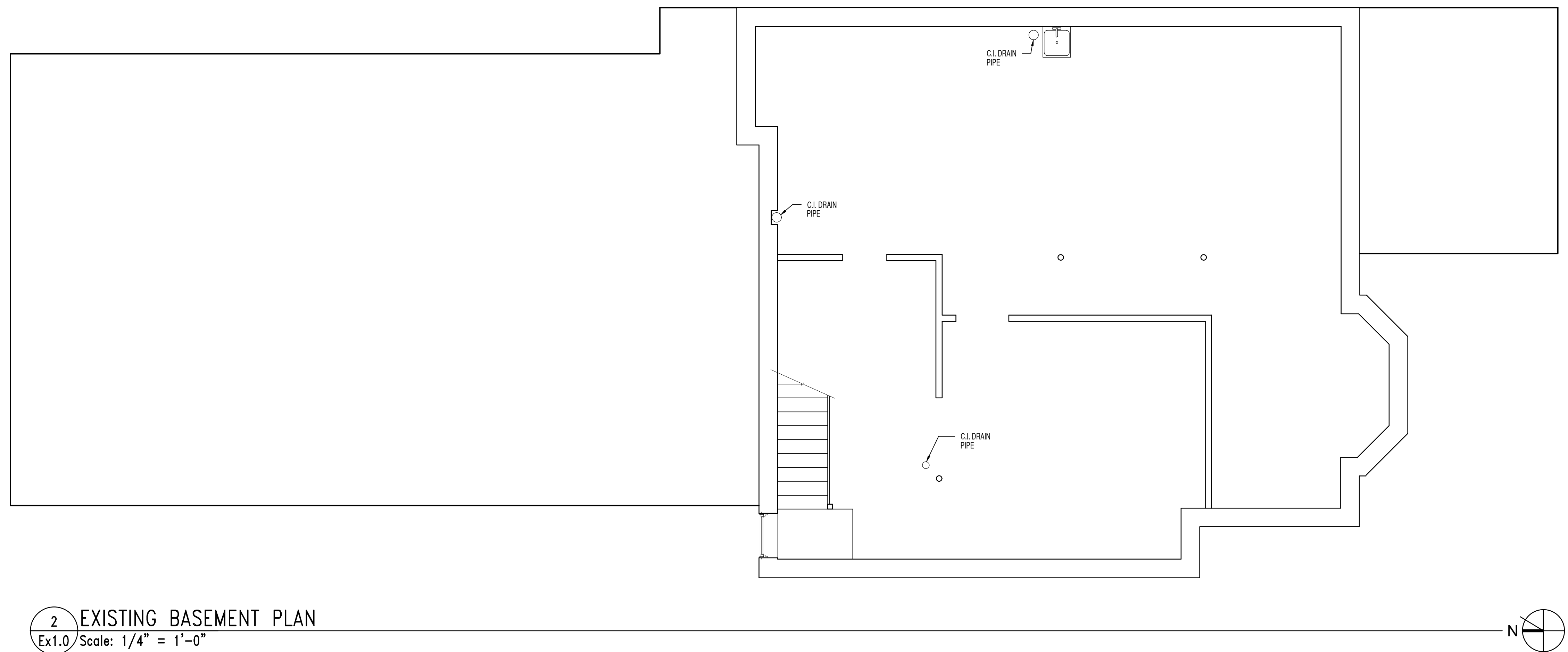
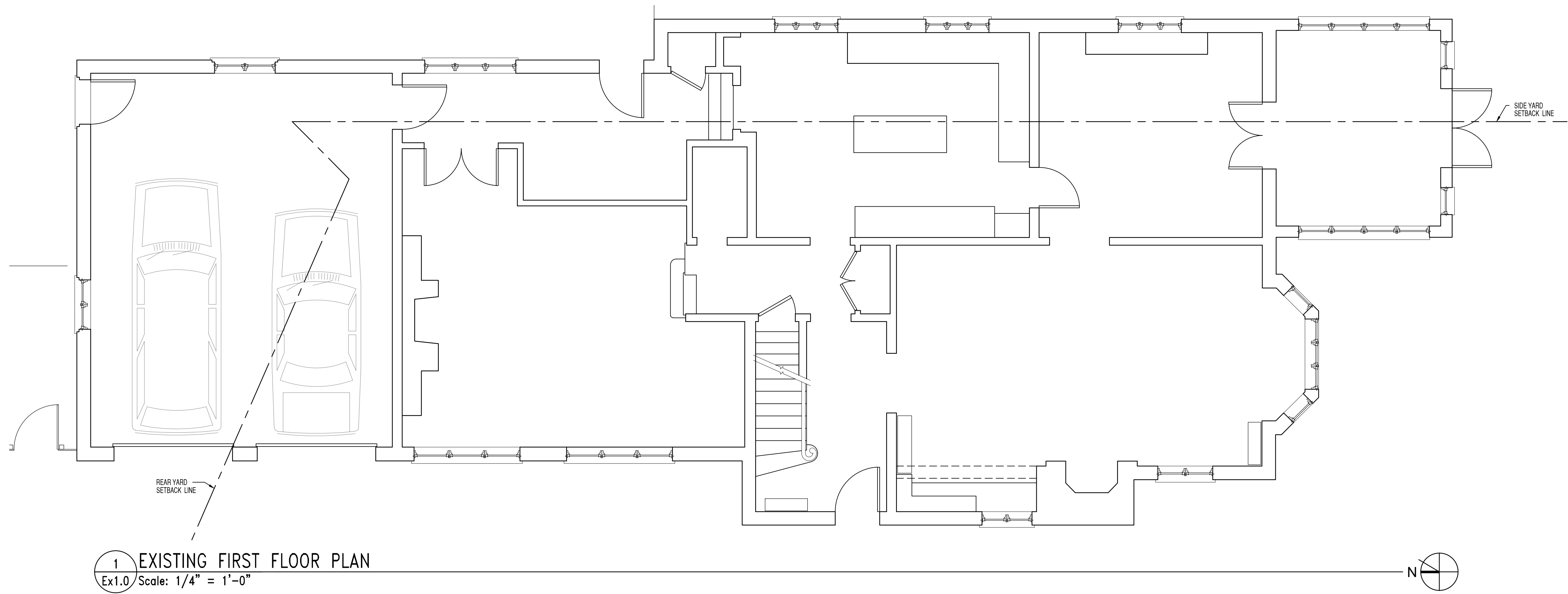
Scale: As Noted

Drawn By:

Sheet Number:

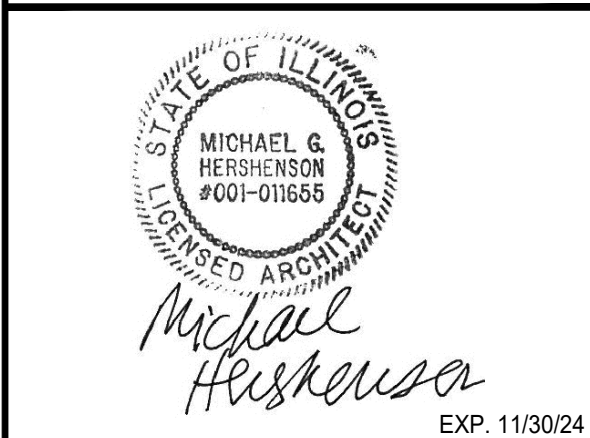
Checked By:

A0.0



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

**JONES / KREUSER
RESIDENCE**
10 CRESCENT DRIVE
GLENCOE, IL 60022

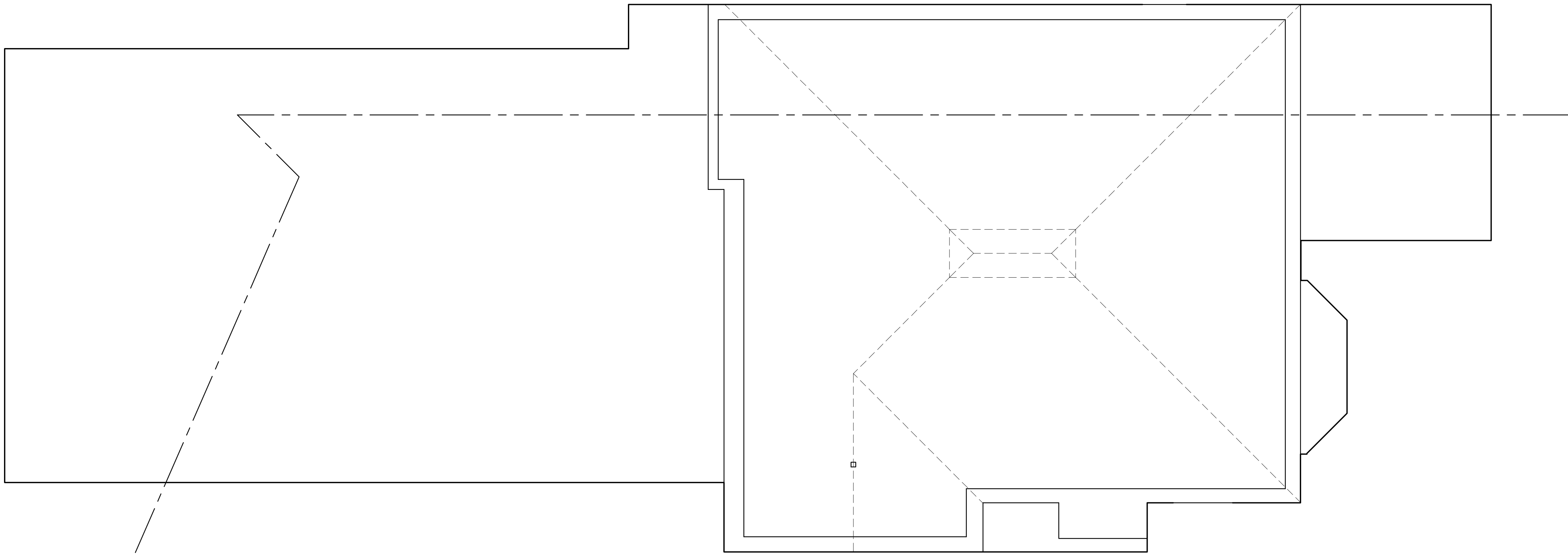


MHA MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847.866.7700
Facsimile: 847.866.7707
© 2023 Michael Hershenson Architects

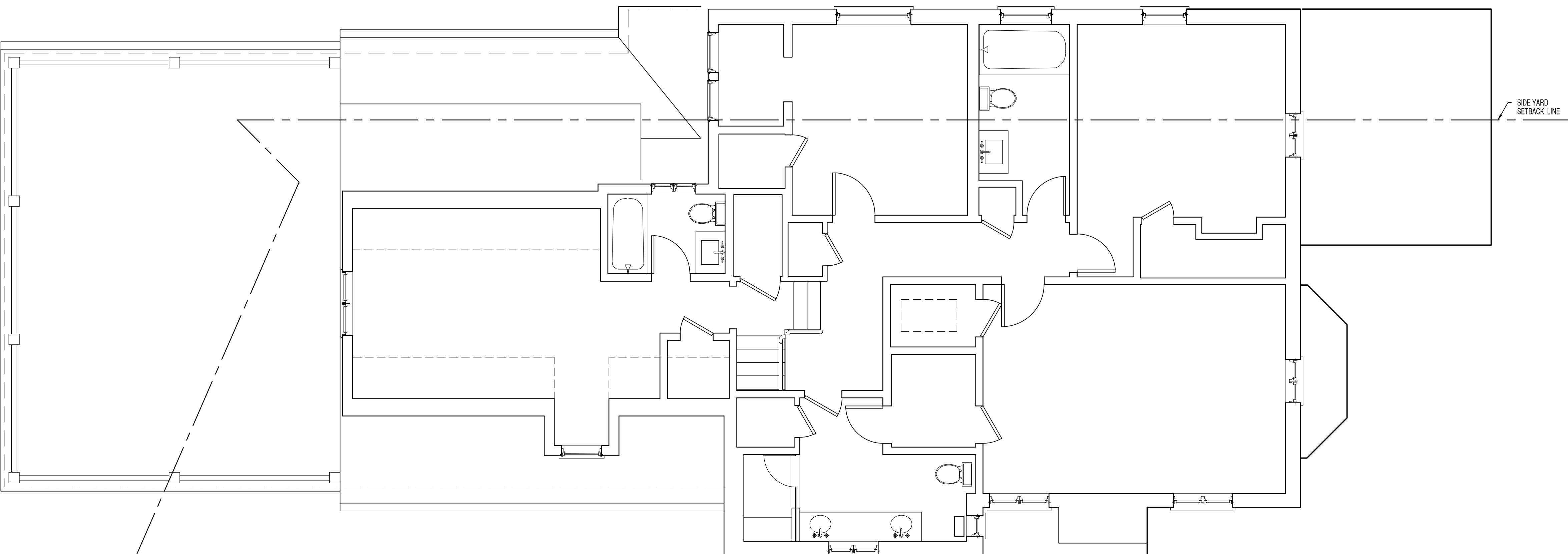
**BASEMENT & 1st FLOOR
EXISTING PLANS**

Scale: As Noted

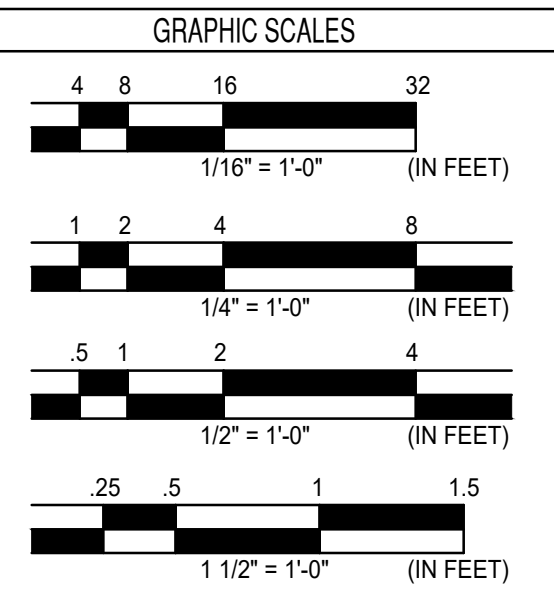
Drawn By: Sheet Number:
Checked By: **Ex1.0**



1 EXISTING THIRD FLOOR PLAN
Ex1.1 Scale: 1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
Ex1.1 Scale: 1/4" = 1'-0"



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



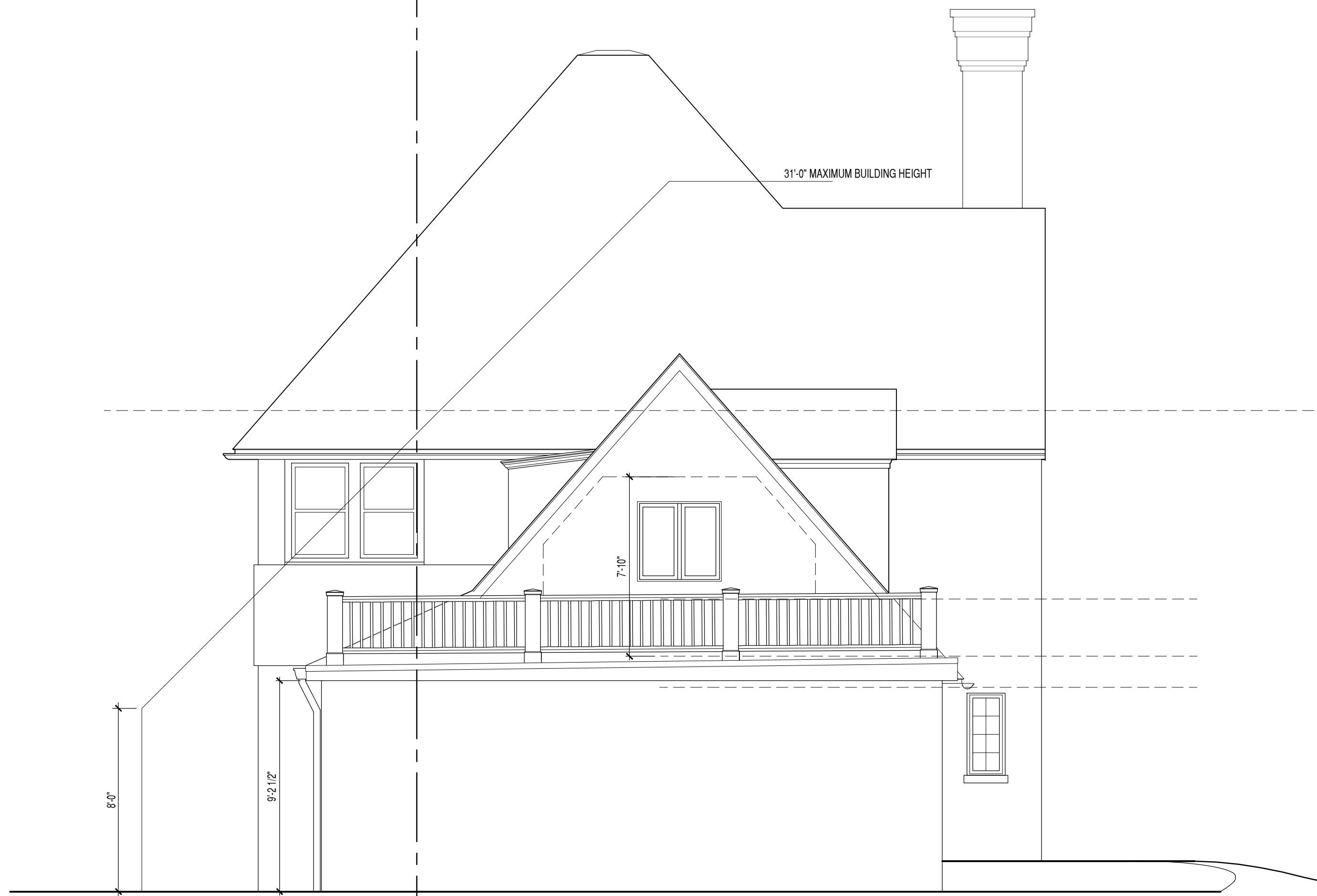
MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847.869.7700
Facsimile: 847.869.7707
© 2023 Michael Hershenson Architects

2nd FLOOR
EXISTING PLAN

Scale: As Noted

Drawn By:
Checked By:

Sheet Number:
Ex1.1



1 EXISTING NORTH ELEVATION
Ex2.0 Scale: 1/4" = 1'-0"

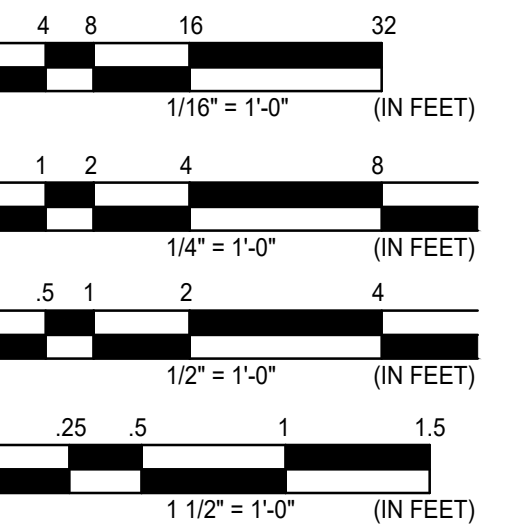


2 EXISTING SOUTH ELEVATION
Ex2.0 Scale: 1/4" = 1'-0"



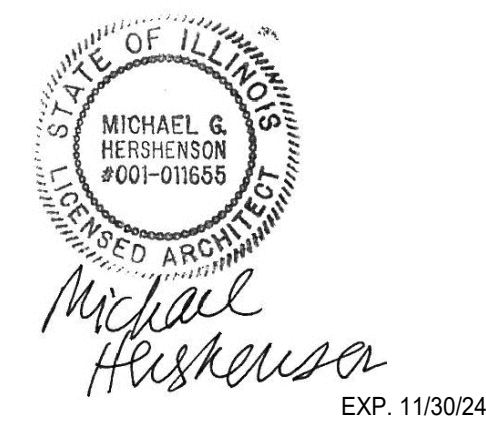
3 EXISTING WEST ELEVATION
Ex2.0 Scale: 1/4" = 1'-0"

GRAPHIC SCALES



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847. 869. 7700
Facsimile: 847. 869. 7707
© 2023 Michael Hershenson Architects

EXISTING WEST
ELEVATION

Scale: As Noted

Drawn By:
Checked By:

Sheet Number:
Ex2.0

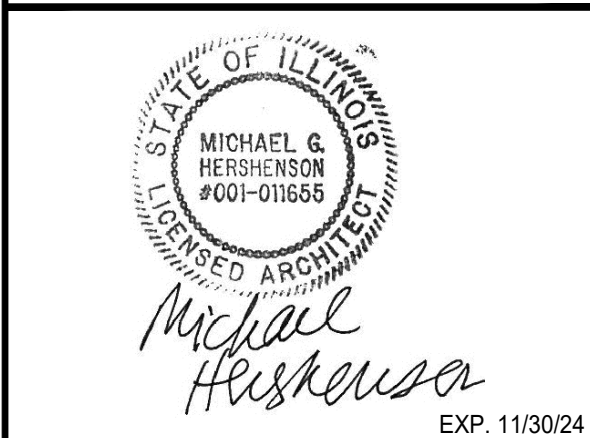


1 EXISTING EAST ELEVATION
Ex2.1 Scale: 1/4" = 1'-0"

GRAPHIC SCALES		
4 8 16 32	1/16" = 1'-0"	(IN FEET)
1 2 4 8	1/4" = 1'-0"	(IN FEET)
.5 1 2 4	1/2" = 1'-0"	(IN FEET)
.25 .5 1 1.5	1 1/2" = 1'-0"	(IN FEET)

3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



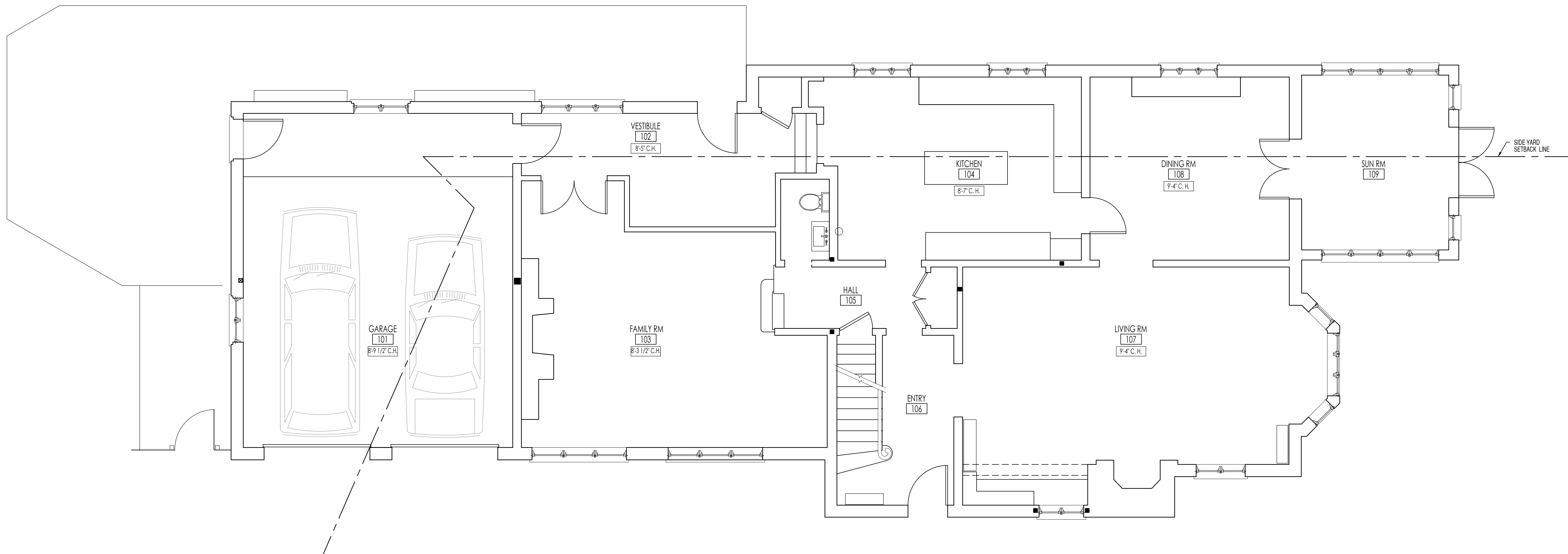
MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847. 869. 7700
Facsimile: 847. 869. 7707
● 2023 Michael Hershenson Architects

EXISTING EAST
ELEVATION

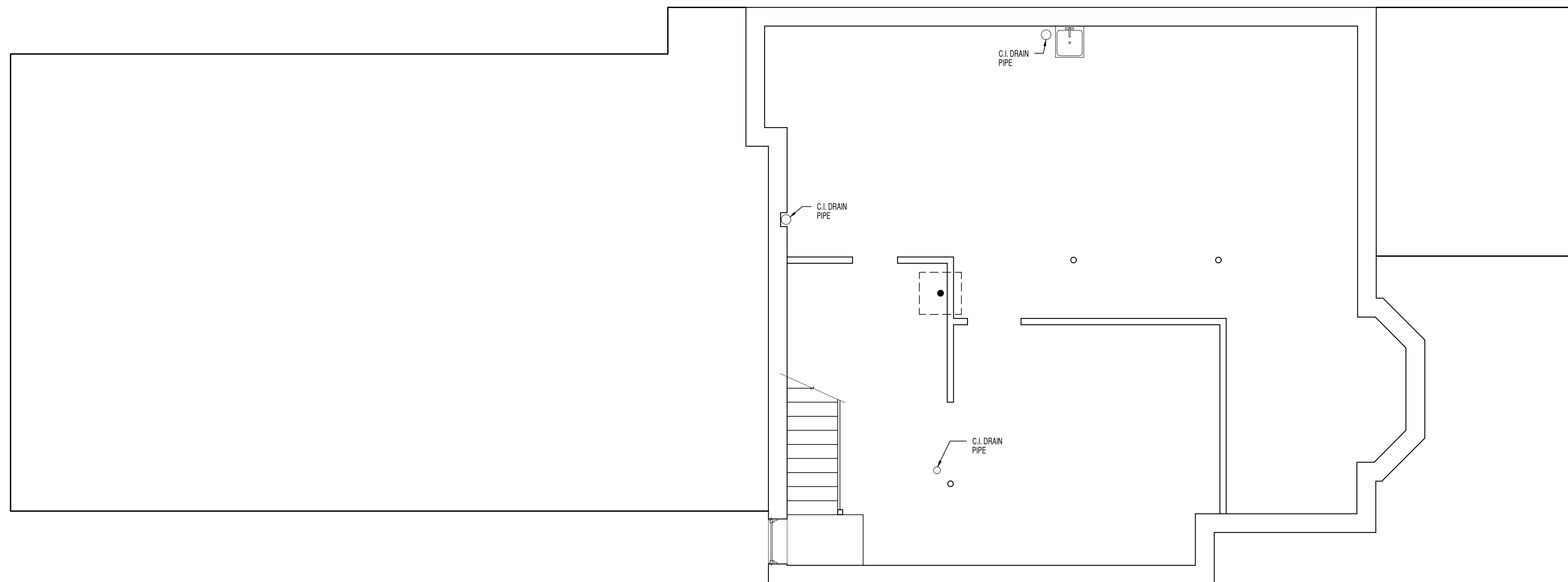
Scale: As Noted

Drawn By:
Checked By:

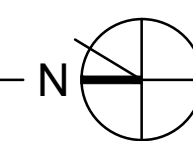
Sheet Number:
Ex2.1



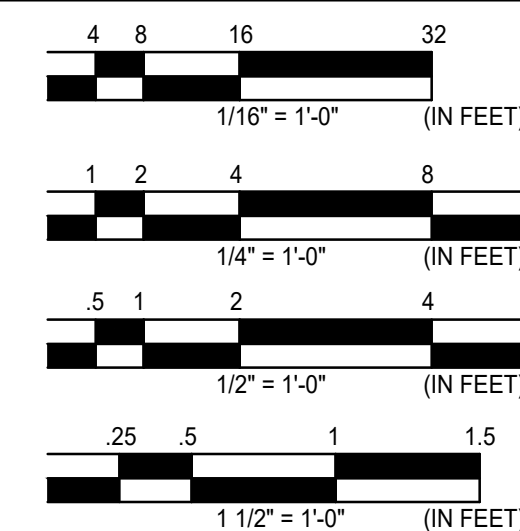
1 PROPOSED FIRST FLOOR PLAN
A1.0 Scale: 1/4" = 1'-0"



2 PROPOSED BASEMENT PLAN
A1.0 Scale: 1/4" = 1'-0"



GRAPHIC SCALES



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



EXP. 11/30/24

MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847.866.7700
Facsimile: 847.866.7707
© 2023 Michael Hershenson Architects

PROPOSED BASEMENT
PLAN

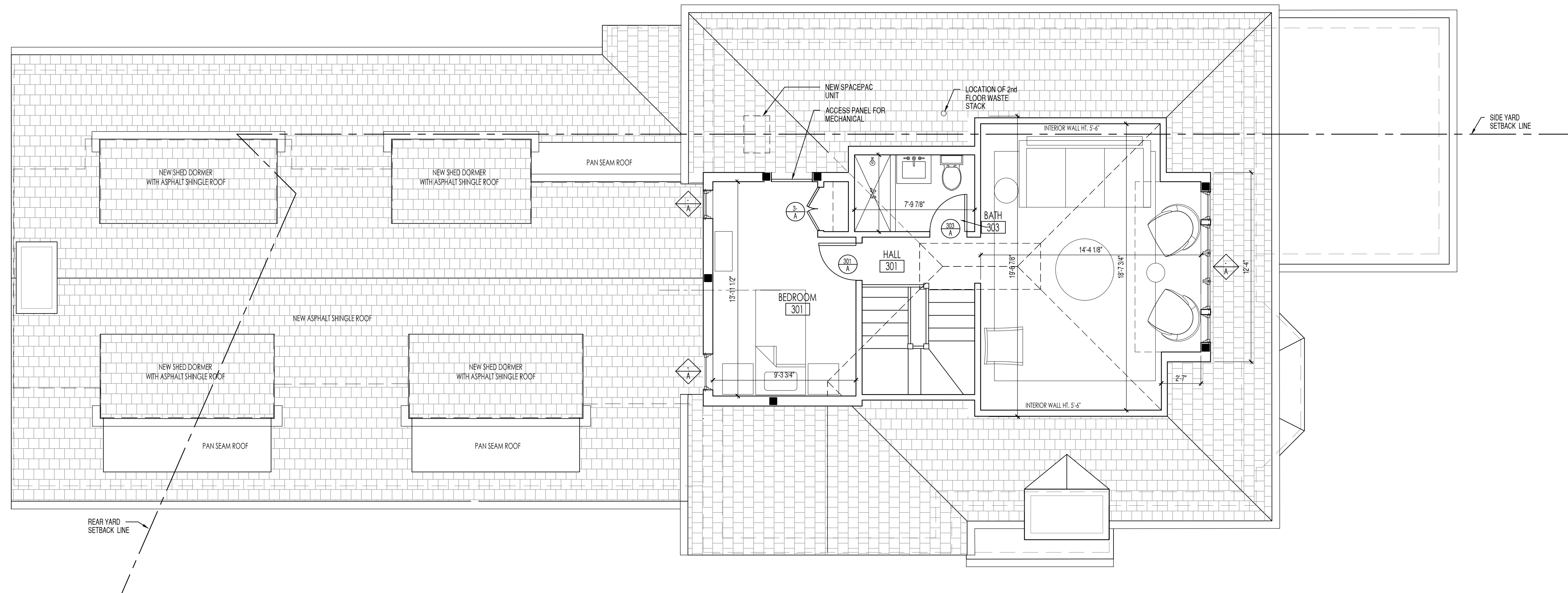
Scale: As Noted

Drawn By:

Sheet Number:

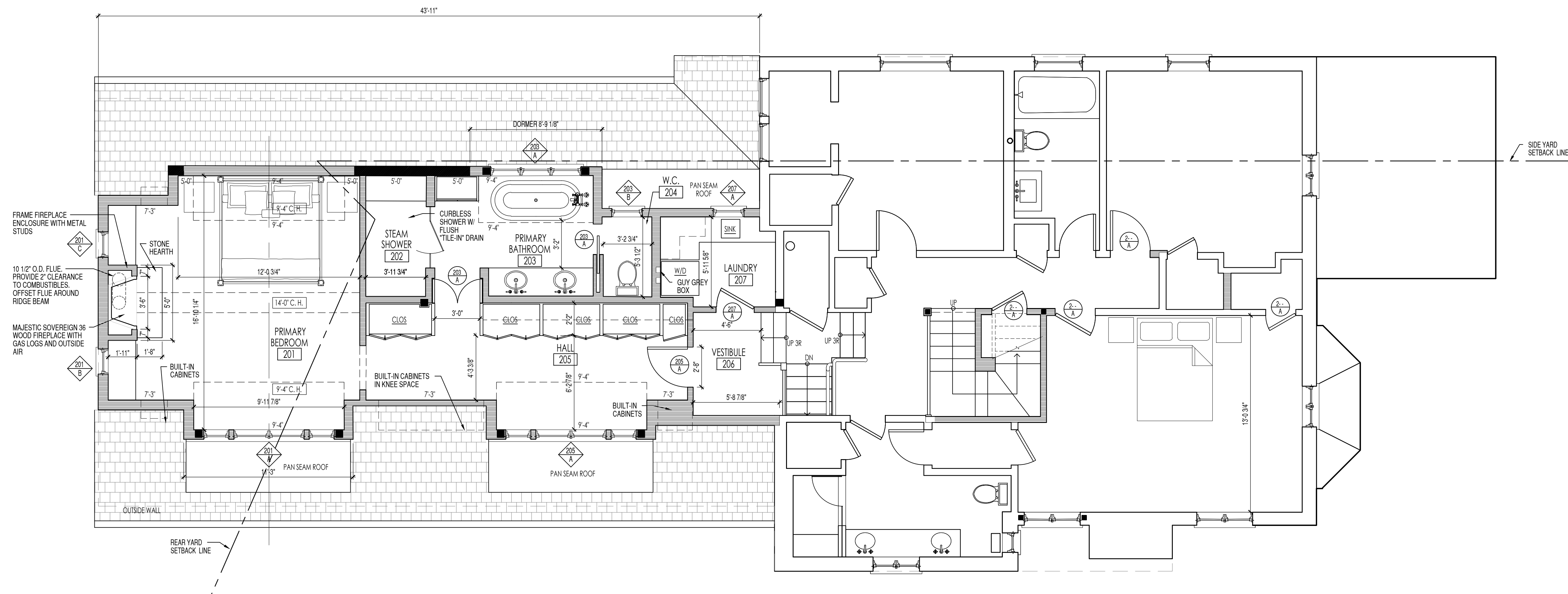
Checked By:

A1.0



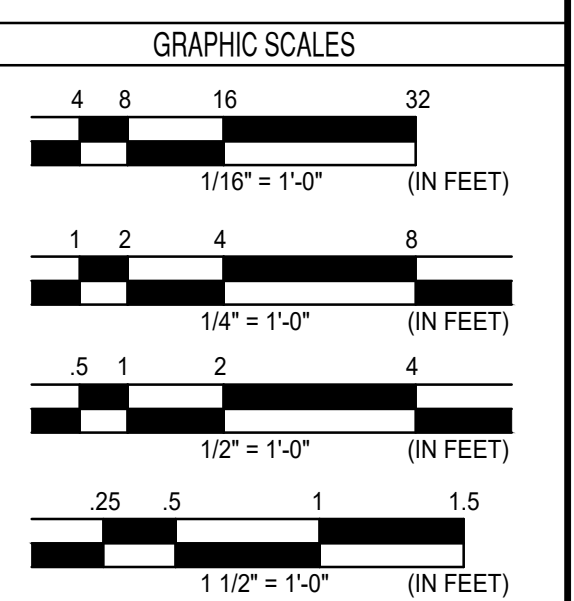
1 PROPOSED THIRD FLOOR PLAN
A1.1 Scale: 1/4" = 1'-0"

A1.1 Scale: $1/4'' = 1'-0''$



2 PROPOSED SECOND FLOOR PLAN

(A1.1) Scale: 1/4" = 1'-0"



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

2	ISSUE FOR ZONING REVIEW	05/01/23
---	-------------------------	----------

1	REVIEW	04/20/23
---	--------	----------

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022

10 CRESCENT DRIVE
GLENCOE, IL 60022



EXP. 11/30/24

MHA

MICHAEL HERSHENSON ARCHITECTS

1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201

Telephone: 847 . 869 . 7700
Facsimile: 847 . 869 . 7707

● 2003 Michael Hershenson Architects

PROPOSED SECOND FLOOR PLAN

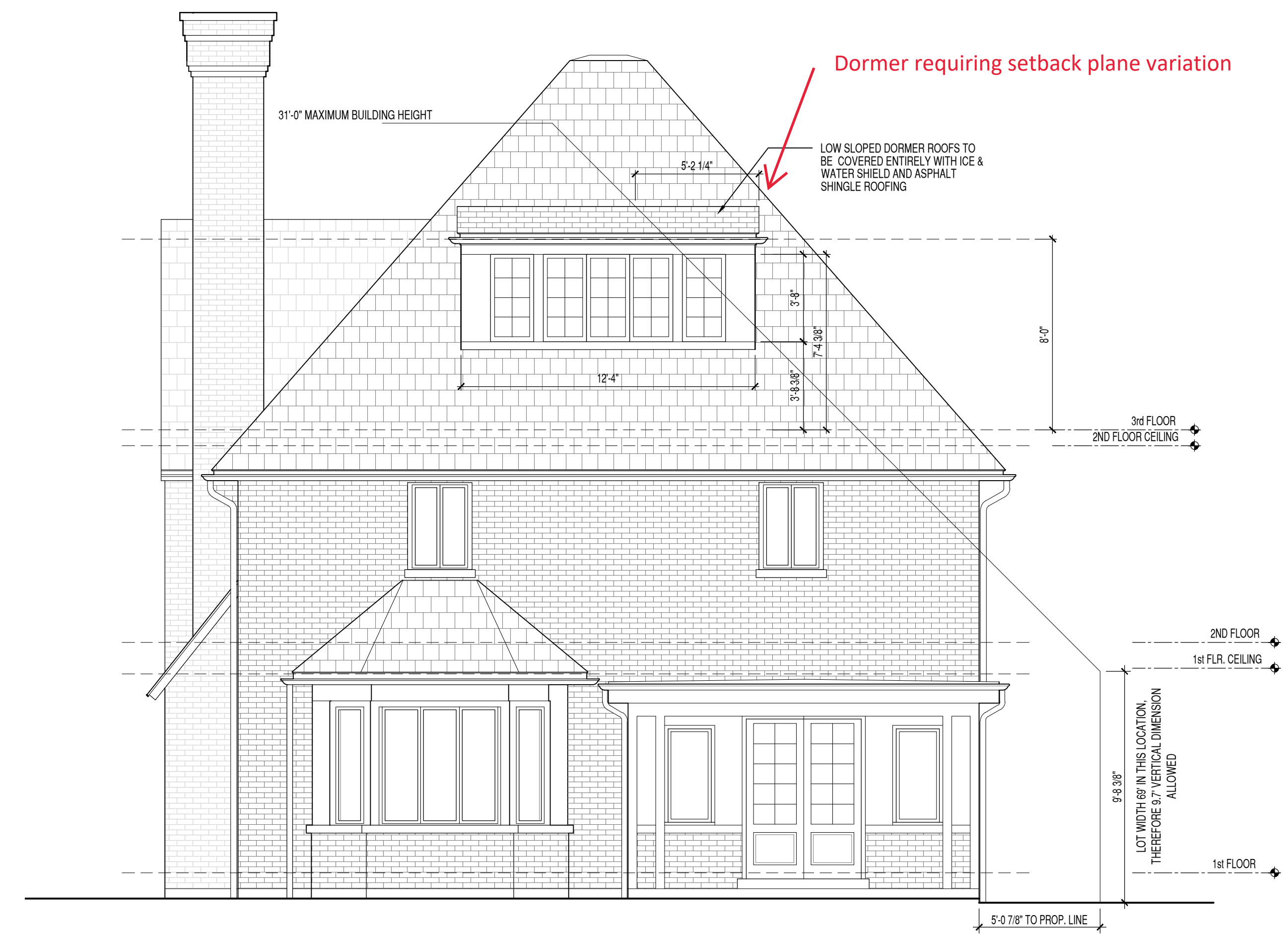
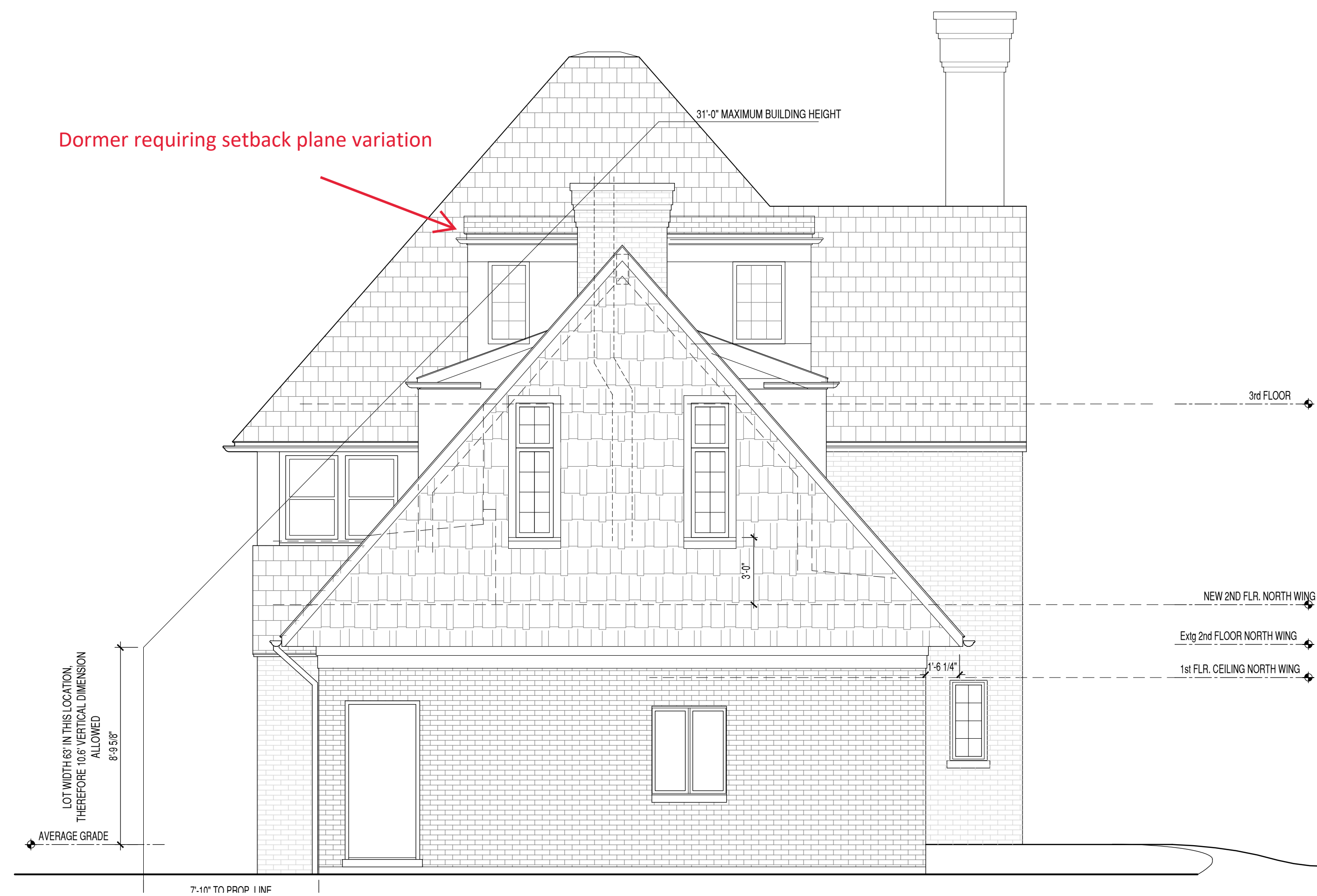
Scale: As Noted

Drawn By:

Sheet Number:

Checked By:

A1.1



GRAPHIC SCALES

4 8 16 32
1/16" = 1'-0" (IN FEET)

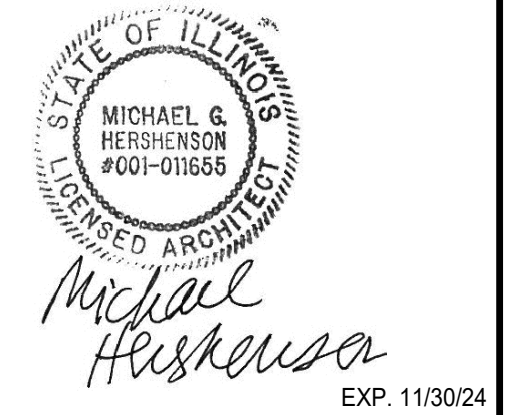
1 2 4 8
1/4" = 1'-0" (IN FEET)

.5 1 2 4
1/2" = 1'-0" (IN FEET)

.25 .5 1 1.5
1 1/2" = 1'-0" (IN FEET)

3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



MHA

MICHAEL HERSHENSON ARCHITECTS

1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201

Telephone: 847 . 869 . 7700
Facsimile: 847 . 869 . 7707

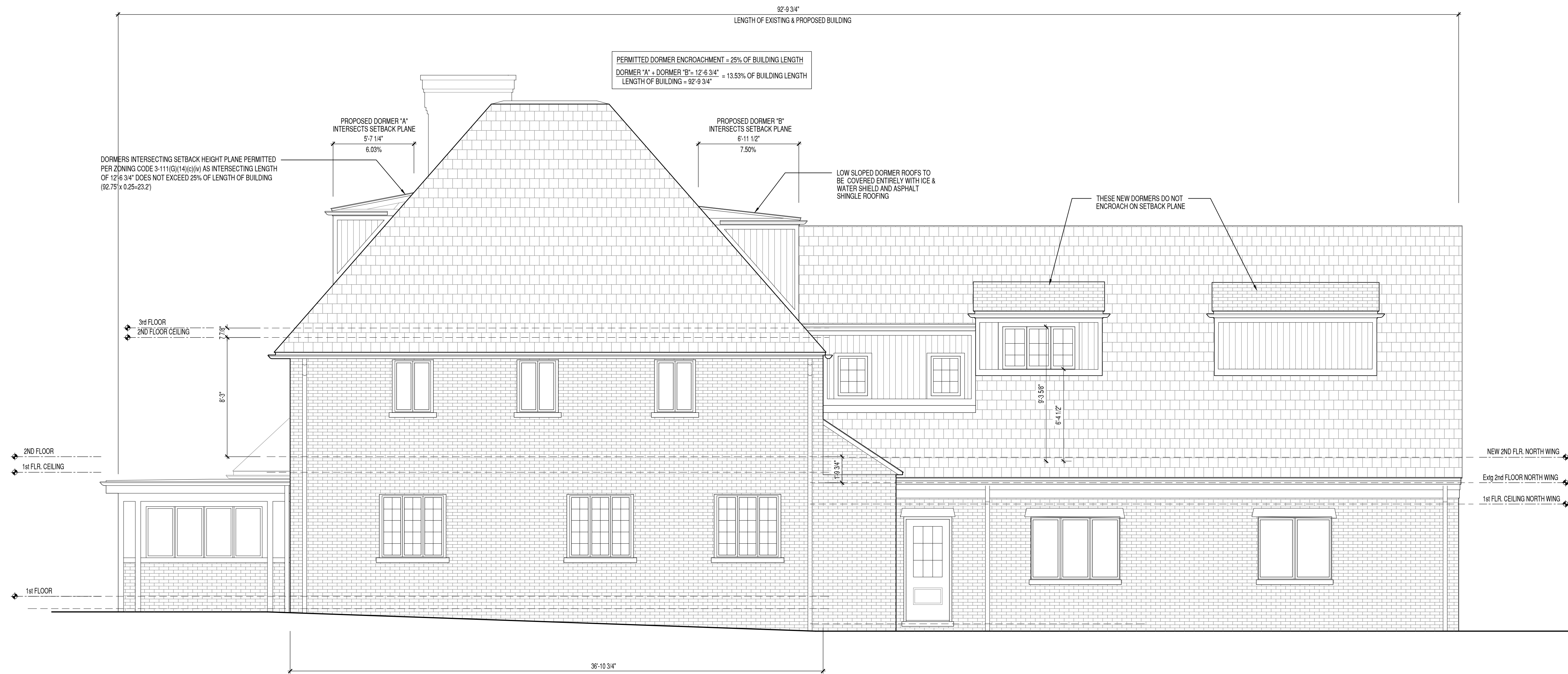
● 2023 Michael Hershenson Architects

PROPOSED WEST
ELEVATION

Scale: As Noted

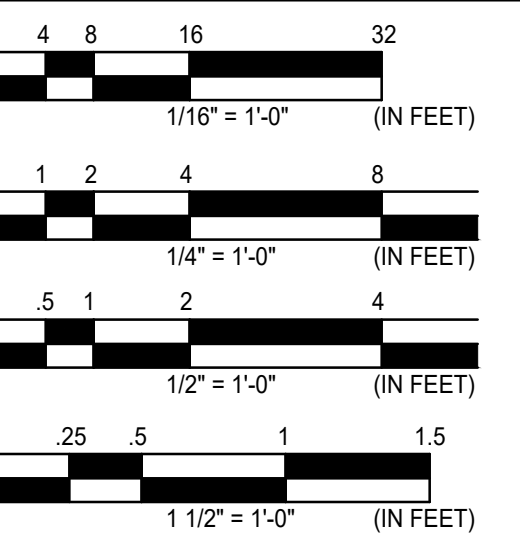
Drawn By:	Sheet Number:
Checked By:	A 2 0

A2.0



1 PROPOSED EAST ELEVATION
A2.1 Scale: 1/4" = 1'-0"

GRAPHIC SCALES



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847. 869. 7700
Facsimile: 847. 869. 7707
© 2023 Michael Hershenson Architects

PROPOSED EAST
ELEVATION

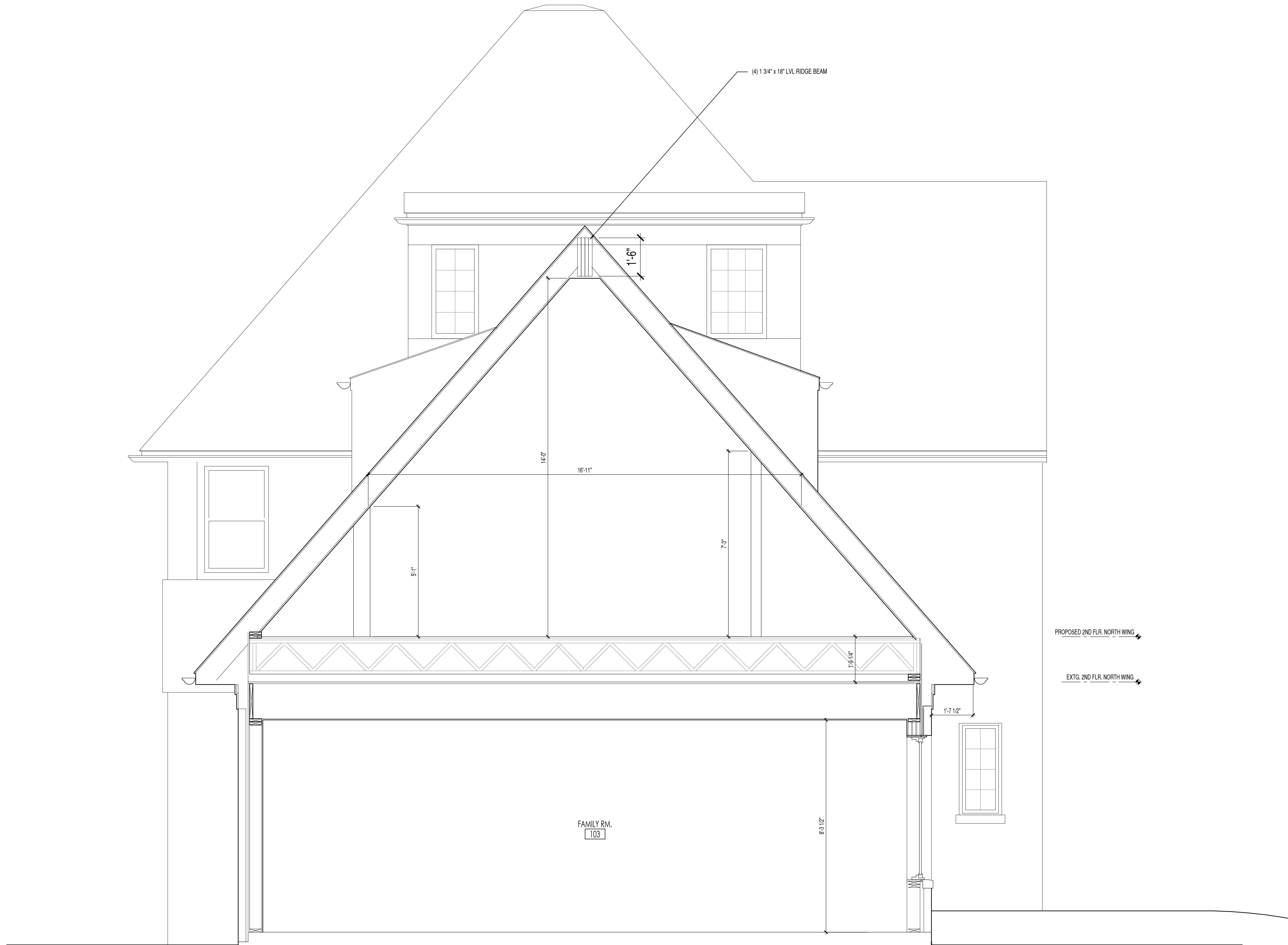
Scale: As Noted

Drawn By:

Sheet Number:

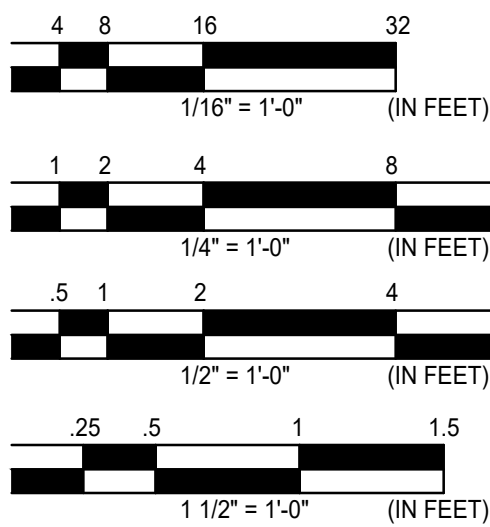
Checked By:

A2.1



1 PROPOSED SECTION AT BATH & HALL
A3.0 Scale: 1/2" = 1'-0"

GRAPHIC SCALES



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



Michael
Hershenson
EXP. 11/30/24

MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847. 860. 7700
Facsimile: 847. 860. 7707
© 2023 Michael Hershenson Architects

BUILDING SECTION

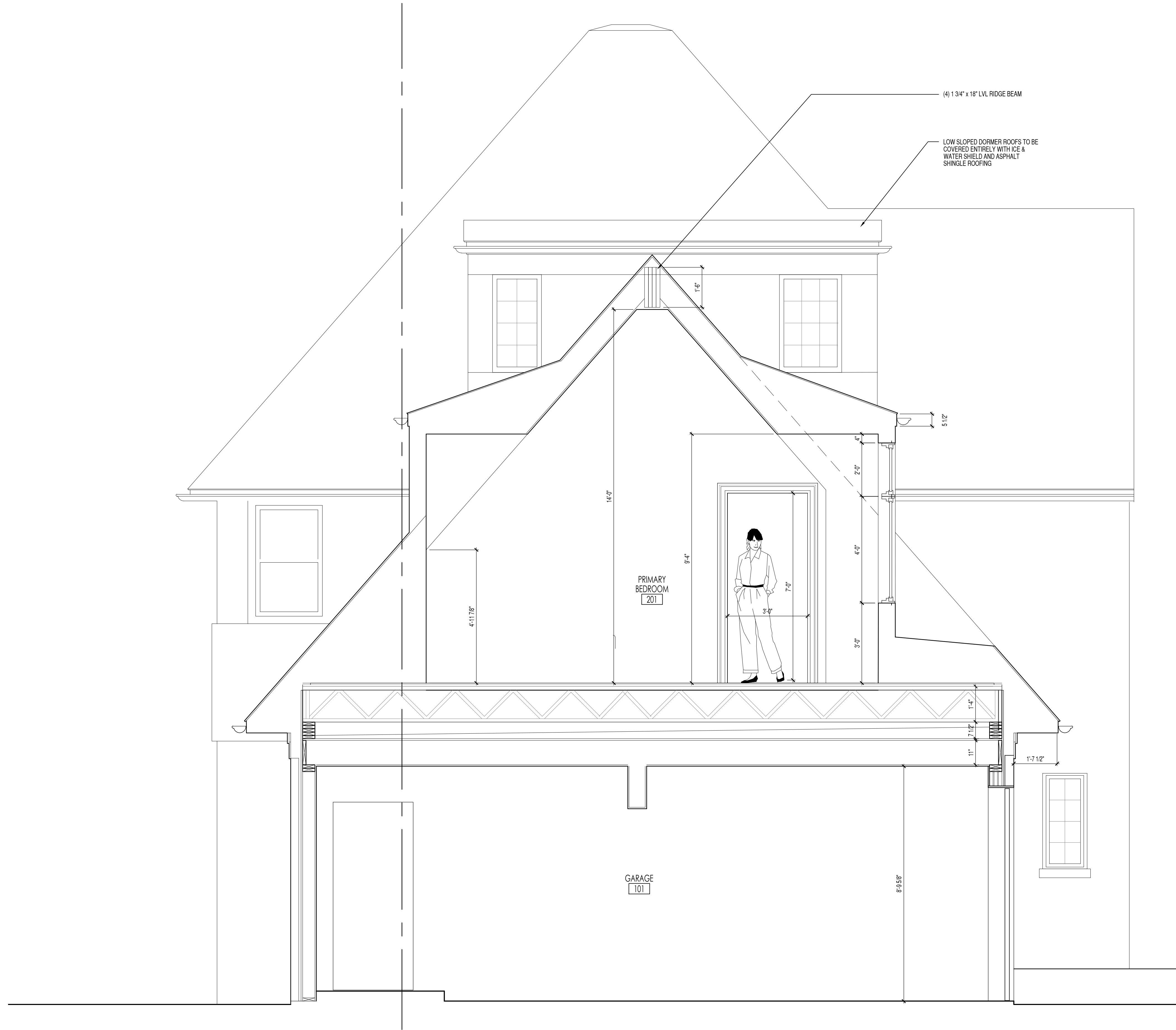
Scale: As Noted

Drawn By:

Checked By:

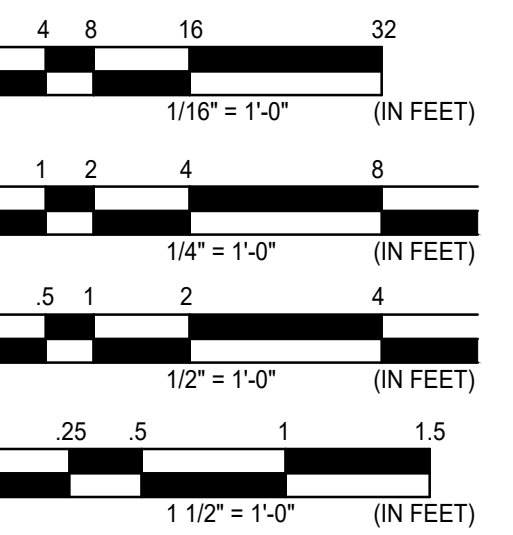
Sheet Number:

A3.0



1 PROPOSED SECTION AT GARAGE & PRIMARY BEDROOM
A3.1 Scale: 1/2" = 1'-0"

GRAPHIC SCALES



3	ZONING CLARIFICATIONS	05/08/23
2	ISSUE FOR ZONING REVIEW	05/01/23
1	REVIEW	04/20/23

JONES / KREUSER
RESIDENCE
10 CRESCENT DRIVE
GLENCOE, IL 60022



Michael
Hershenson
EXP. 11/30/24

MICHAEL HERSHENSON ARCHITECTS
1515 Sherman Ave., Suite 2S
Evanston, Illinois 60201
Telephone: 847.866.7700
Facsimile: 847.866.7707
© 2023 Michael Hershenson Architects

BUILDING SECTION

Scale: As Noted

Drawn By:

Sheet Number:

Checked By:

A3.1



VILLAGE OF GLENCOE MEMORANDUM

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Zoning Board of Appeals Memorandum – 536 South Ave

DATE: May 26, 2023

TO: Zoning Board of Appeals

FROM: Taylor Baxter, AICP, Development Services Manager
Rich McGowan, Planner

SUBJECT: Public hearing and consideration of a request for a variation from the Zoning Code to increase the allowable gross floor area for an addition to an existing single-family residence

Background: The applicant has requested a variation for an 80.9-square-foot addition to an existing single-family home for a kitchen expansion. As the property is currently three square feet under the gross floor area limit, the addition requires a variation.

Variation Requests:

The requested variation is from the following standard in the Zoning Code:

1. *Section 3-111(E) – To increase the allowable gross floor area from 6,052.9 square feet to 6,130.8 square feet, a variation of 1.3%.*

The ZBA may grant gross floor variations of up to 15%.

	Existing	Allowed	Proposed	Variation %	Max Variation %
Gross Floor Area	6,049.9 sq ft	6,052.9 sq ft	6,130.8 sq ft	1.3%	15%

Analysis: The Zoning Code includes the following standards for the consideration of variation requests:

- 1.) *General Standard. No variation shall be granted pursuant to this Section unless the applicant shall establish that carrying out the strict letter of the provisions of this Code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection.*

The existing house, which was built in 1921, has three square feet of gross floor area remaining. The applicant has stated that the proposed addition is needed to make the kitchen space usable.

- 2.) *Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.*

Other than the existence of a 102-year-old house with only three square feet of available gross floor area, there are no unique physical conditions on the property. Village records show that two small additions (totaling less than 150 square feet) have been made to the house since 2005.

- 3.) *Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.*

The aforesaid unique physical condition is the result of the size of the house that was built in 1921 and of two small additions made since 2005.

- 4.) *Not Merely Special Condition. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.*

The proposed variation would not merely be to make more money from the subject property and is not merely due to economic hardship.

- 5.) *Code and Plan Purposes. The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted.*

The proposed addition would be unlikely to result in a development significantly out of harmony with the purpose of the code. The increase in the bulk of the structure would be minimal.

- 6.) *Essential Character of the Area. The variation would not result in a use or development on the subject property that:*
- (a) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or*
 - (b) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or*
 - (c) Would substantially increase congestion in the public streets due to traffic or parking; or*
 - (d) Would unduly increase the danger of flood or fire; or*
 - (e) Would unduly tax public utilities and facilities in the area; or*
 - (f) Would endanger the public health or safety.*

The proposed variation would be unlikely to have a significant impact on the essential character of the area. By increasing the functionality of the home, the proposed variation may serve to help in its preservation, which would in turn help maintain the essential character of the area. The home is listed as historically or architecturally significant, but is not an honorary or certified landmark.

This variation request received printed public notice at least 15 days prior to the public hearing. Additionally, owners of properties within 200 feet of the subject property were notified.

Recommendation: Based on the materials presented and the public hearing, it is the recommendation of staff that the variation request of be accepted or denied. The Board may consider conditions of approval, including fencing and screening requirements.

Motion: The Zoning Board of Appeals may make a motion as follows:

Move to accept/deny the request for a variation from the Zoning Code to increase the allowable gross floor area at 536 South Avenue in substantial accordance with the plans provided with this application. The Board may include conditions of approval as determined to be appropriate.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Zoning Board of Appeals (ZBA) Application

Section A: Application Information

Check all that apply:



Request for variation(s) from the zoning code



Appeal of an order, determination, or decision made by Village staff based on the zoning code

Subject property address: 536 South Ave

Applicant name: Victor Lew Applicant phone: 847-509-0808

Applicant email: vlew@jlewa.com

Owner name (if different from applicant): Holly & Johnathan Reinsdorf

Owner phone: (312) 933-8162 Owner email: hollyreinsdorf@gmail.com

Brief description of project:

One-story kitchen addition (80.9sf)

Variation request(s):

A variance of 1.29% of gross floor area.
Total Allowed Sq. Ft. is 6,052.9sf
Total Proposed Sq. Ft. will be 6,130.8sf



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Section B: Standards for Variations

For applications for variations, provide a brief response to the following prompts. Use this form or attach a separate letter to this application. The full text of the standards for the approval of variations can be found in [Sec. 7-403\(e\) of the zoning code](#).

1. Why are the requested variations necessary? What hardship or practical difficulty would result if they are not approved? Include a description of any exceptional physical characteristics of the property (for example, unusual size, shape, topography, existing uses or structures, etc.), if applicable.

536 South Avenue presents unique challenges. The home is considered an important and historic home in Glencoe. The applicants desire to update and improve the kitchen area to accommodate a modern lifestyle while preserving the vision of the original architect. Due to the current kitchen's layout, it is impossible to improve it without adding exceeding the allowable square footage by 78 square feet. The requested variation is the minimal amount necessary to allow for a modern lifestyle while as the same time extending the relevance of the current historic home.

The applicants plight is due to unique circumstances and the proposed variations will not merely serve as a convenience, but instead will alleviate some demonstrable and unusual hardship which would result if the strict letter of the Code was carried out. Furthermore, this hardship is not generally applicable to other property within the same zoning district. The site context and the desire to update a historic home create an unusual hardship which requires a variance from the code. This hardship is unique to the lot in question and is not generally applicable to other homes in the zoning district.

The structure to be constructed will be in property's side, barely visible to the street or the public and tucked in within the outer footprint of the home. Thus, even though there will technically be more FAR, no additional public bulk will be apparent due to the location thereby mitigating its impact.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

2. Describe how the proposed variations would result in a development that is not detrimental to adjacent or nearby properties or the public good.

The variation sought herein will not be materially detrimental to the public welfare or injurious to other property in the neighborhood. In fact, by preserving the nature of the block and extending the relevance of a historic home, the applicants' request will preserve the block's character, benefiting the surrounding homes. The structure to be added to the side of the home is small and will barely be visible to the street, thereby mitigating any appearance of bulk. Thus, as proposed, the 78 square foot addition will not be detrimental to adjacent or nearby properties.

3. Describe any efforts the applicant has made to solicit feedback on the proposed variations from neighboring or nearby property owners or residents. What was the result of these efforts?

We are in the process of contacting our neighbors for approval and will provide the approval at the zoning board meeting.

Section C: Petition for Appeal

Provide a separate letter describing the order, determination, procedures, or failure to act being appealed. Applicants only applying for variations from the zoning code do not need to provide this letter.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Section D: Acknowledgement and Signature



I hereby acknowledge that all information provided in this application is true and correct.

Applicant's signature

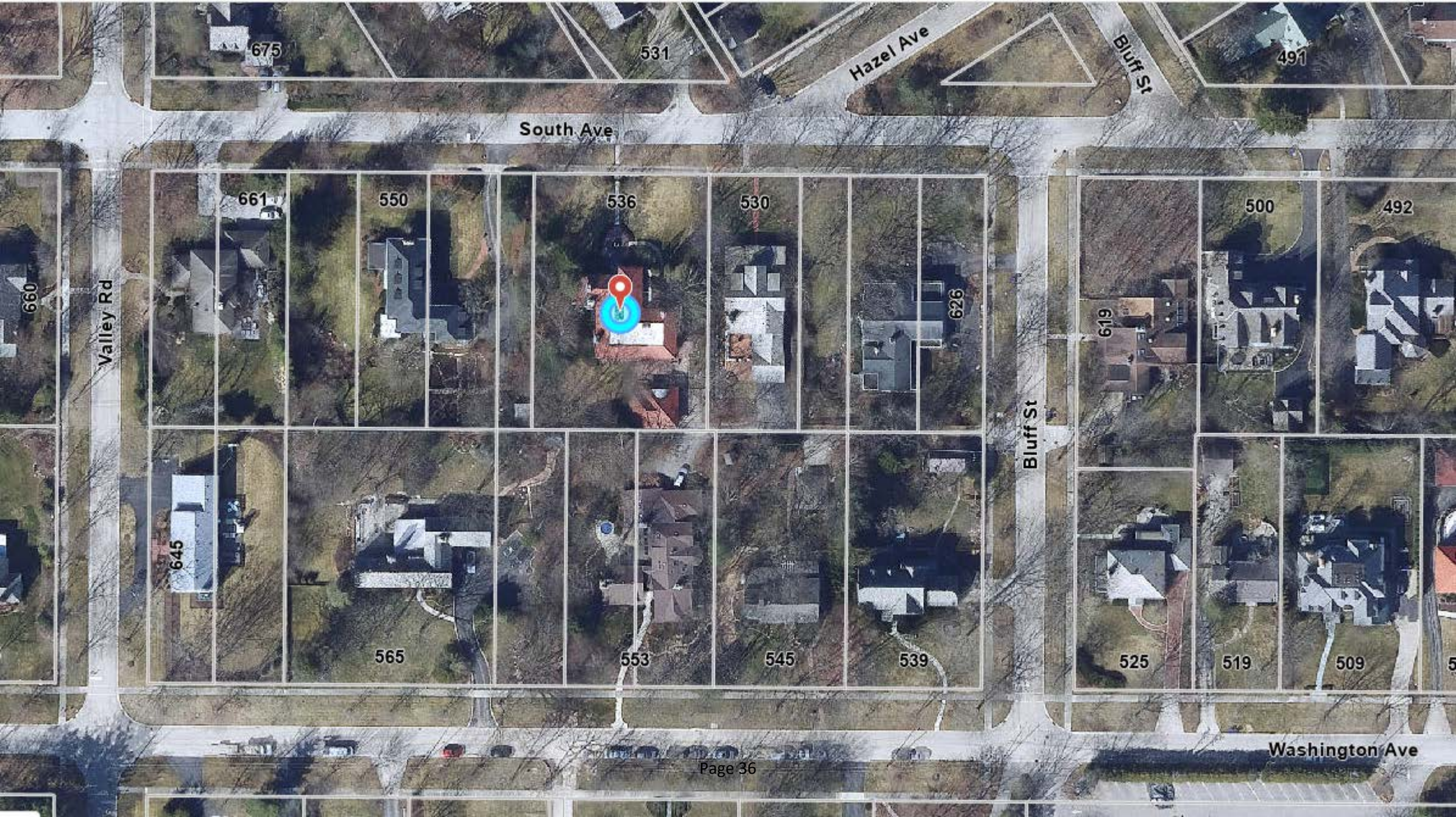
04-21-23

Date

Owner's signature (if different than applicant)

04/21/23

Date



South Ave

Hazel Ave

Bluff St

Valley Rd

Bluff St

Washington Ave

PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM NO. 184-003023

7100 N. TRIPP AVENUE
LINCOLNWOOD, ILLINOIS 60712
www.professionalsassociated.com

TEL: (847) 675-3000
FAX: (847) 675-2167
e-mail: pa@professionalsassociated.com

PLAT OF SURVEY

OF



GRAPHIC SCALE



(IN FEET)

1 Inch = 25 Ft.

PARCEL 1:

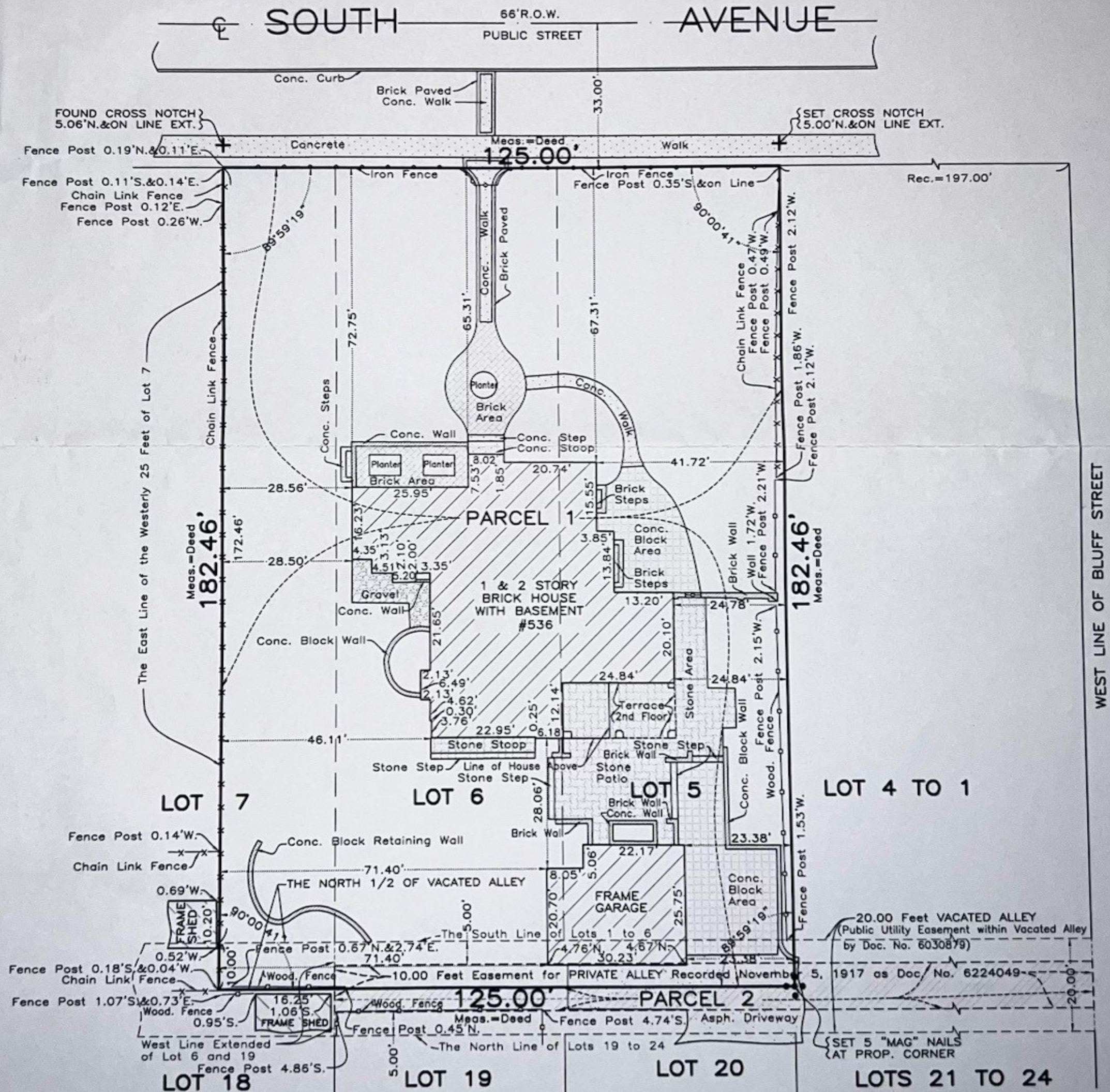
LOT 7 (EXCEPT THE WESTERLY 25 FEET THEREOF), AND ALL OF LOTS 5 AND 6, AND THE NORTH 1/2 OF THE VACATED ALLEY, LYING SOUTH OF AND ADJOINING SAID LOT 7 (EXCEPT THE WESTERLY 25 FEET THEREOF), AND ALL OF LOTS 5 AND 6, IN BLOCK 2, IN GORMLEY'S ADDITION TO GLENCOE, BEING A SUBDIVISION OF THE SOUTHWEST 1/4 OF SECTION 7 AND THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2:

AN EASEMENT FOR A PRIVATE ALLEY, AS CREATED BY AN AGREEMENT, DATED SEPTEMBER 11, 1917 AND RECORDED NOVEMBER 5, 1917, IN BOOK 14726, AT PAGE 92, AS DOCUMENT NUMBER 6224049, OVER A 10 FOOT STRIP OF LAND, BEGINNING AT THE WEST LINE EXTENDED, OF LOTS 6 AND 19, IN BLOCK 2, IN GORMLEY'S ADDITION TO GLENCOE AFORESAID, SAID STRIP EXTENDING FROM SAID WEST LINE, EXTENDED OF SAID LOTS 6 AND 19, TO THE WEST LINE OF BLUFF STREET, IN THE VILLAGE OF GLENCOE, THE NORTH LINE OF SAID STRIP, BEING 5 FEET, SOUTH OF AND PARALLEL WITH THE SOUTH LINE OF LOTS 1 TO 6, IN SAID BLOCK 2 AND THE SOUTH LINE OF SAID STRIP, BEING 5 FEET, NORTH OF AND PARALLEL WITH THE NORTH LINE OF LOTS 19 TO 24, IN SAID BLOCK 2, (EXCEPT THAT PART OF THE SAID 10 FOOT STRIP, FALLING IN PARCEL 1), IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 22,807 SQ.FT. = 0.523 ACRE.

COMMONLY KNOWN AS: 536 SOUTH AVENUE, GLENCOE, ILLINOIS.



THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

NOTE:
SURVEYOR IS NOT ABLE TO ESTABLISH A STAKE AT THE SOUTHWEST PROPERTY CORNER BECAUSE OF OBSTRUCTION.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

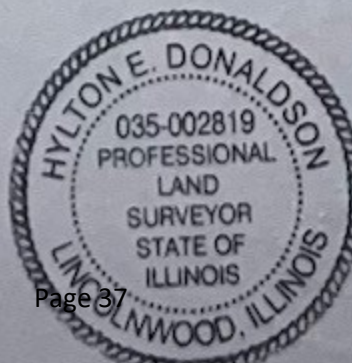
State of Illinois
County of Cook

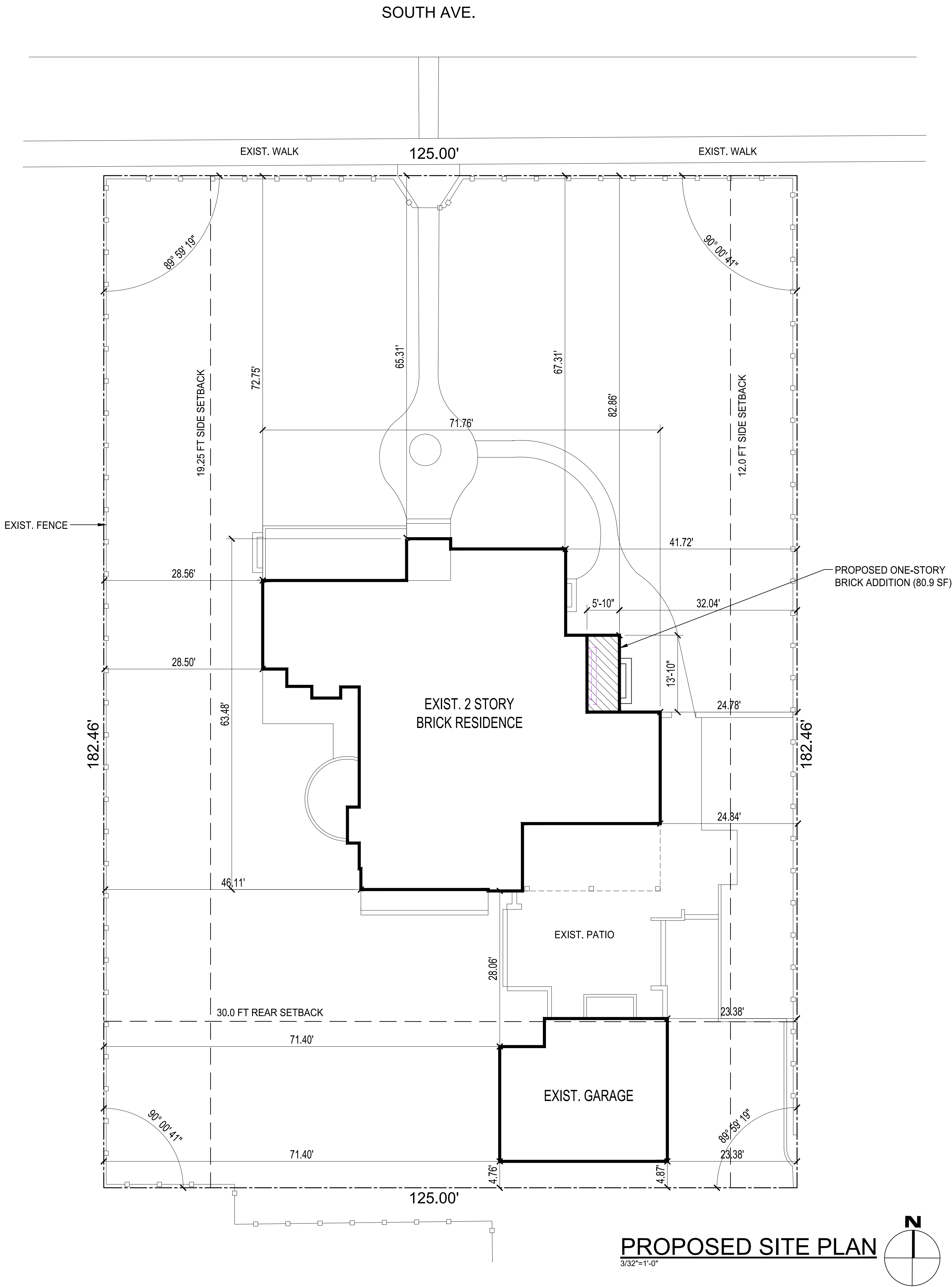
We, PROFESSIONALS ASSOCIATED SURVEY INC., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

Date: December 21, 2017.

IL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2018.
Drawn by: J.V.

Order No. 17-93106
Scale: 1 inch = 25 feet.
Date of Field Work: December 20, 2017.
Ordered by: Daniel E. Fajerstein
Attorney at Law





EXIST. EAST ELEVATION PHOTO
N.T.S.



EXIST. NORTH ELEVATION PHOTO
N.T.S.

Field Verification
Contractor shall verify all figured dimensions and conditions at the job site and notify the architect of any dimensional errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

HOUSE RENOVATION FOR MR. & MRS. REINSORF AT 536 SOUTH AVE., GLENCOE, IL	PROPOSED SITE PLAN EAST & NORTH ELEVATION EXIST. PICTURE
---	---

ISSUES and REVISIONS

I hereby certify that these plans were prepared under my supervision that they comply, to the best of my knowledge and belief, with the requirements of the building ordinance of GLENCOE

Drawings and specifications are property of the architects, they are not to be used, altered, modified, or reproduced in whole or in part by any party in any way except with written authorization of the architects.

© Jeremy Lew and Associates, Inc., 2022, All Rights Reserved

JOB NO.	2222
DESIGN	VL
DRAFTING	ML, EL
SCALE	1/4"=1'-0"
DATE	04-11-23

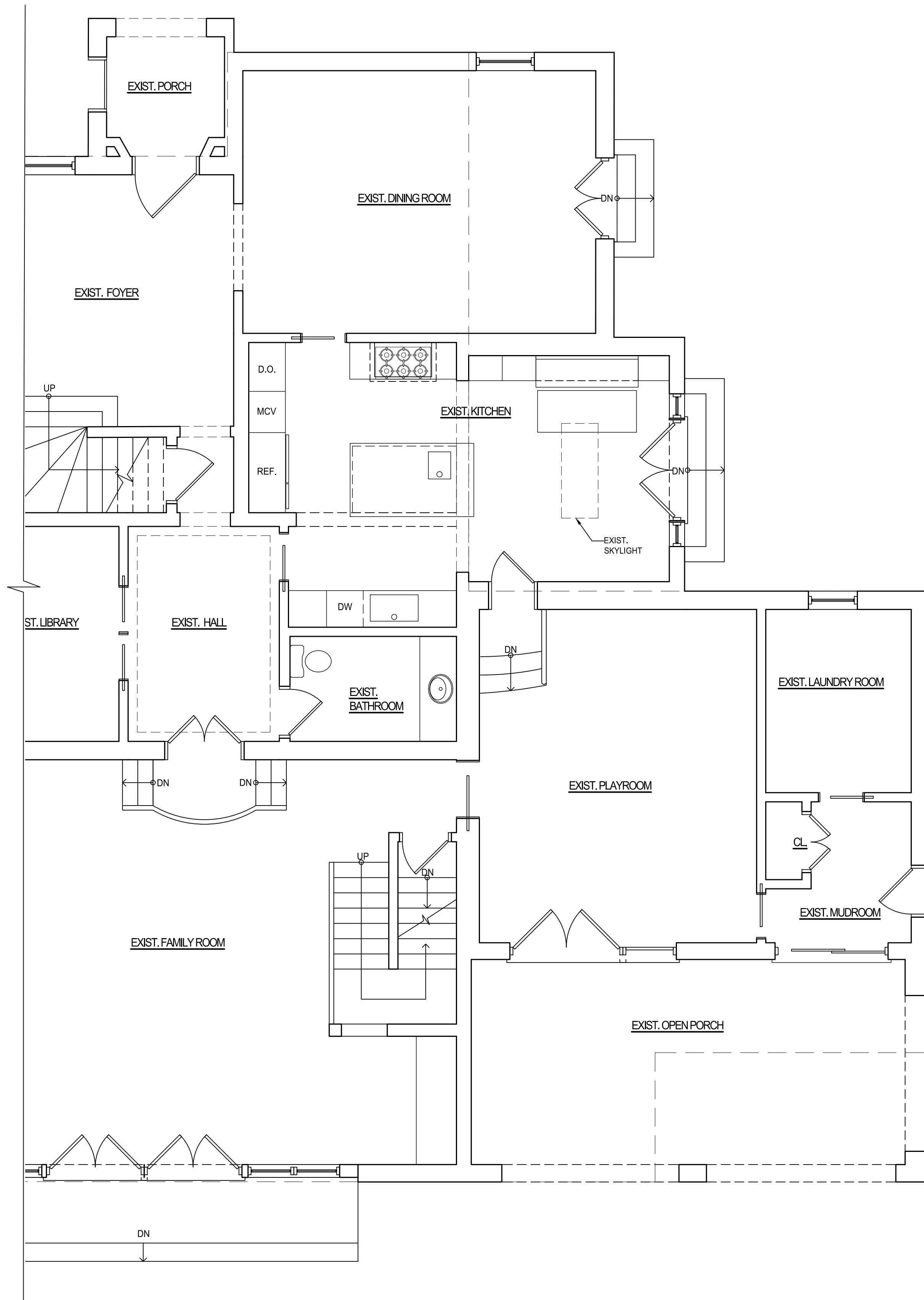


JEREMY LEW
AND ASSOCIATES, INC.

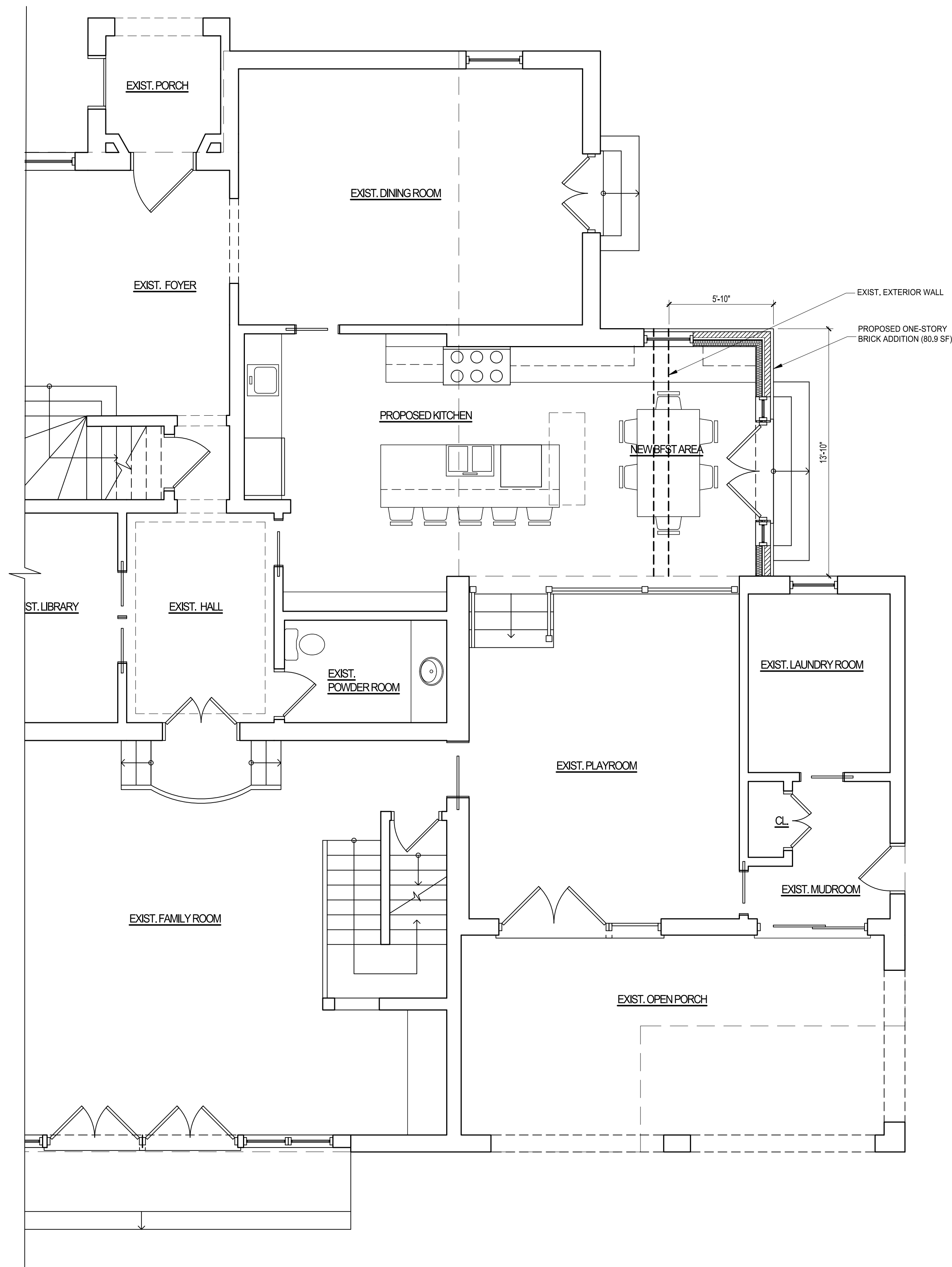
3000 Dundee Road Suite 320
Northbrook, IL 60062-2398
t 847) 509 0808
f 847) 509 1880

ARCHITECTS / BUILDERS

A1



EXIST. 1-ST FLOOR PLAN
1/4"=1'-0"



PROPOSED 1-ST FLOOR PLAN
1/4"=1'-0"

Field Verification
Contractor shall verify all figured dimensions and conditions at the job site and notify the architect of any dimensional errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

HOUSE RENOVATION FOR
MR. & MRS. REINSORF
AT 536 SOUTH AVE., GLENCOE, IL
EXIST. 1-ST FLOOR PLAN
PROPOSED 1-ST FLOOR PLAN

ISSUES and REVISIONS

I hereby certify that these plans were prepared under my supervision that they comply, to the best of my knowledge and belief, with the requirements of the building ordinance of GLENCOE

Drawings and specifications are property of the architects, they are not to be used, altered, modified, or reproduced in whole or in part by any party in any way except with written authorization of the architects.

© Jeremy Lew and Associates, Inc., 2022, All Rights Reserved

JOB NO.	2222
DESIGN	VL
DRAFTING	ML, EL
SCALE	1/4"=1'-0"
DATE	04-11-23

JEREMY LEW
AND ASSOCIATES, INC.

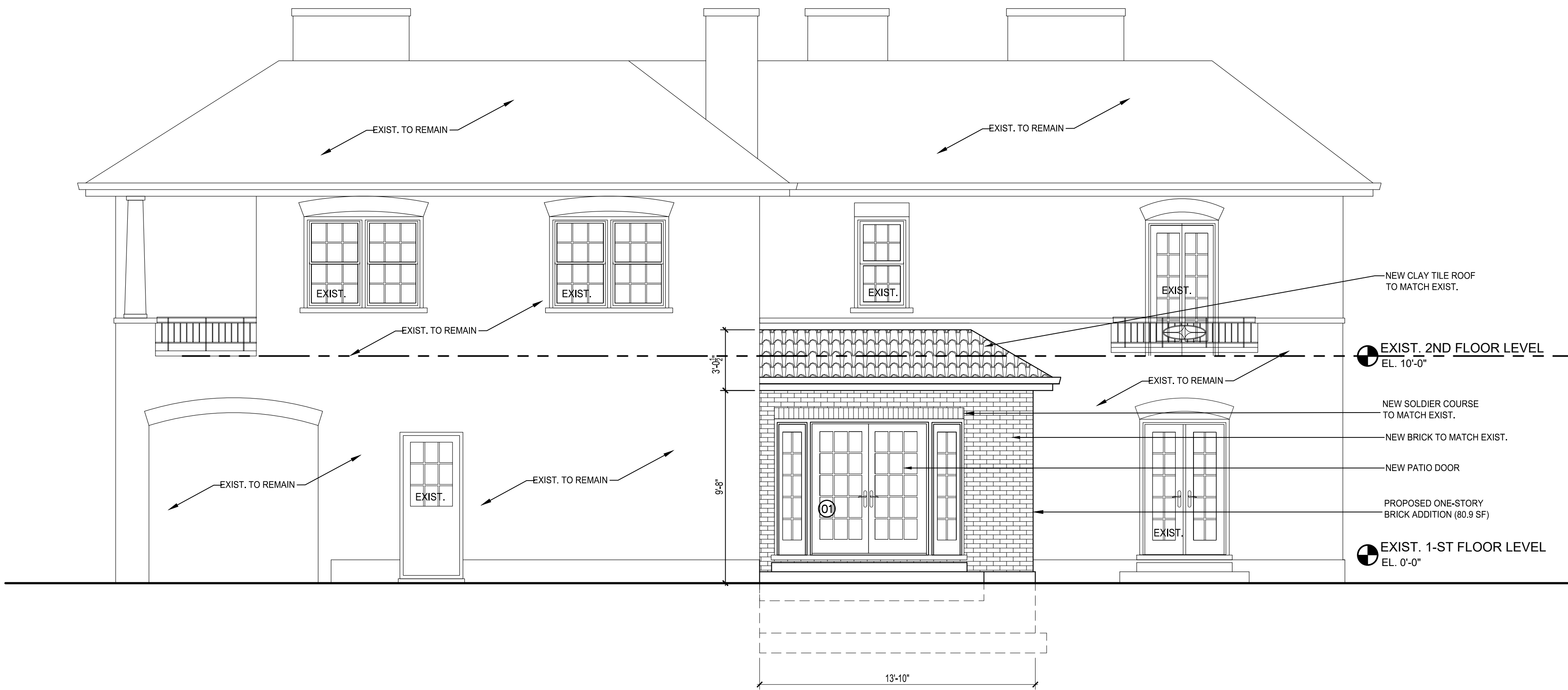
3000 Dundee Road Suite 320
Northbrook, IL 60062-2398
t 847) 509 0808
f 847) 509 1880

ARCHITECTS / BUILDERS

A2



EXIST. EAST ELEVATION
1/4"=1'-0"



PROPOSED EAST ELEVATION
1/4"=1'-0"

Field Verification
Contractor shall verify all figured dimensions and conditions at the job site and notify the architect of any dimensional errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

HOUSE RENOVATION FOR
MR. & MRS. REINSORF
AT 536 SOUTH AVE., GLENCOE, IL

EXIST. EAST ELEVATION
PROPOSED EAST ELEVATION

ISSUES and REVISIONS

I hereby certify that these plans were prepared under my supervision that they comply, to the best of my knowledge and belief, with the requirements of the building ordinance of GLENCOE

Drawings and specifications are property of the architects, they are not to be used, altered, modified, or reproduced in whole or in part by any party in any way except with written authorization of the architects.

© Jeremy Lew and Associates, Inc., 2022.
All Rights Reserved

JOB NO.	2222
DESIGN	VL
DRAFTING	ML, EL
SCALE	1/4"=1'-0"
DATE	04-11-23


JEREMY LEW
AND ASSOCIATES, INC.

3000 Dundee Road Suite 320
Northbrook, IL 60062-2398
t 847) 509 0808
f 847) 509 1880

ARCHITECTS / BUILDERS

A3



EXIST. NORTH ELEVATION
1/4"=1'-0"



PROPOSED NORTH ELEVATION
1/4"=1'-0"

Field Verification
Contractor shall verify all figured dimensions and conditions at the job site and notify the architect of any dimensional errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

HOUSE RENOVATION FOR
MR. & MRS. REINSDORF
AT 536 SOUTH AVE., GLENCOE, IL

EXIST. NORTH ELEVATION
PROPOSED NORTH ELEVATION

ISSUES and REVISIONS

I hereby certify that these plans were prepared under my supervision that they comply, to the best of my knowledge and belief, with the requirements of the building ordinance of **GLENCOE**

Drawings and specifications are property of the architects, they are not to be used, altered, modified, or reproduced in whole or in part by any party in any way except with written authorization of the architects.

© Jeremy Lew and Associates, Inc., 2022. All Rights Reserved

JOB NO.	2222
DESIGN	VL
DRAFTING	ML, EL
SCALE	1/4"=1'-0"
DATE	04-11-23


JEREMY LEW
AND ASSOCIATES, INC.

3000 Dundee Road Suite 320
Northbrook, IL 60062-2398
t 847) 509 0808
f 847) 509 1880

ARCHITECTS / BUILDERS

A4



VILLAGE OF GLENCOE MEMORANDUM

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Zoning Board of Appeals Memorandum – 529 Old Green Bay

DATE: May 26, 2023

TO: Zoning Board of Appeals

FROM: Taylor Baxter, AICP, Development Services Manager
Rich McGowan, Planner

SUBJECT: Consideration of variation to reduce the required side setback for a new air conditioning unit at an existing single-family residence

Background: The applicant has requested a variation to reduce the required side yard setback for a new air conditioning unit at an existing single-family residence at 529 Old Green Bay Road. The lot is zoned R-B and significantly narrower than every lot it abuts, and the proposed A/C unit would not be any closer to the lot line than the existing home at 529 Old Green Bay Road. The applicants have spoken with their neighbors to the north at 525 Old Green Bay Road, who will be closest to the proposed unit, and are in support of the request, per the applicant.

Variation Request:

The requested variation is from the following standard in the Zoning Code:

1. *Section 3-111(C) – To reduce the required side setback from 10 feet to 8 feet, a variation of 20%.*

The ZBA may grant variations to reduce the required setback by up to 20%.

	Existing	Required	Proposed	Variation %
Side Setback	2.69 ft at closest, 10.11 ft at furthest (No A/C unit in side setback)	10 ft	8 ft	20%

Analysis: The Zoning Code includes the following standards for the consideration of variation requests:

- 1.) *General Standard. No variation shall be granted pursuant to this Section unless the applicant shall establish that carrying out the strict letter of the provisions of this Code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection.*

The applicant has stated that the lot is narrow (50') and has limited places where an air conditioning unit can be placed, and that the new location will be closer to the unit within the home and will improve the efficiency of the air conditioning. Additionally, the applicants have noted that they will be making exterior improvements to their rear yard and this new location will allow them greater flexibility to do so.

- 2.) *Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.*

The lot is undersized for the RB District. The minimum lot width in the RB District is 80 feet, and the minimum lot area is 15,000 square feet. The subject property is approximately 50 feet wide and has a lot area of roughly 10,500 square feet. The lot is significantly narrower than all other lots that it abuts.

- 3.) *Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.*

The unique characteristics of the lot are not self-created.

- 4.) *Not Merely Special Condition. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.*

The proposed variation is not a special privilege or additional right not available to other property owners who may seek a variation.

- 5.) *Code and Plan Purposes. The variation would not result in a use or development of the subject property that would not be in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted.*

The proposed A/C unit would not result in a development that is significantly out of harmony with the purposes of the Code, especially since it is very common for A/C units to be located in side yards. Additionally, the existing home at 529 Old Green Bay Road is about six feet closer to the lot line than the proposed A/C unit would be.

6.) *Essential Character of the Area. The variation would not result in a use or development on the subject property that:*

- (a) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or*
- (b) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or*
- (c) Would substantially increase congestion in the public streets due to traffic or parking; or*
- (d) Would unduly increase the danger of flood or fire; or*
- (e) Would unduly tax public utilities and facilities in the area; or*
- (f) Would endanger the public health or safety.*

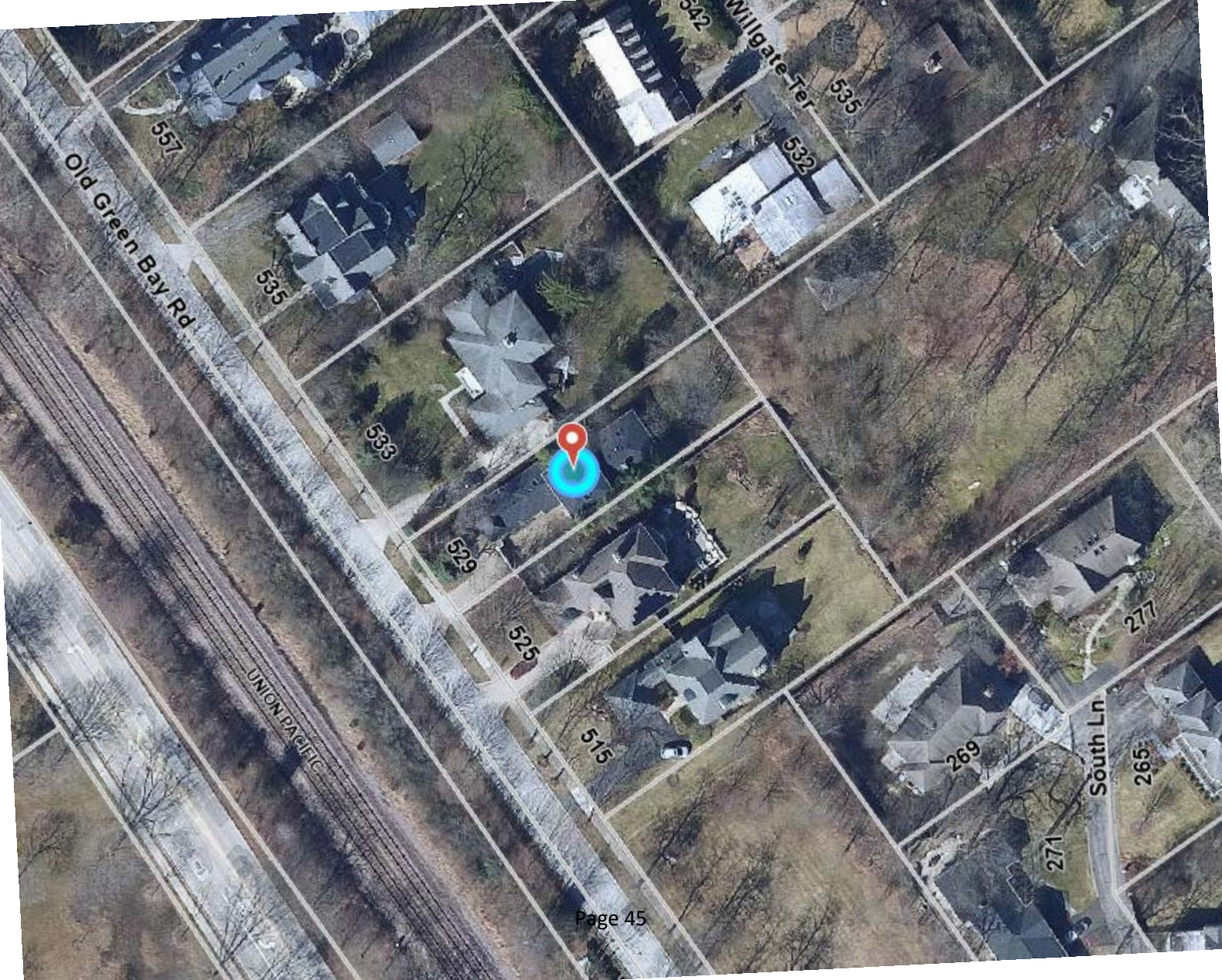
Given the fact that the closest point of the existing home at 529 Old Green Bay is about six feet closer to the lot line than this unit would be, and the fact that there is significant vegetation in the surrounding area, it is highly likely that this air conditioning unit will not be able to be seen from the street. The proposed variation would not result in a development that would be detrimental to the essential character of the area. Most homes in the Village have air conditioning units, and many of those are much closer to the lot line than this one is proposed to be.

This variation request received printed public notice at least 15 days prior to the public hearing. Additionally, owners of properties within 200 feet of the subject property were notified.

Recommendation: Based on the materials presented and the public hearing, it is the recommendation of staff that the variation request be approved or denied. The Board may consider conditions of approval, including fencing and screening requirements.

Motion: The Zoning Board of Appeals may make a motion as follows:

Move to approve/deny the request for a variation to reduce the required side setback for an air conditioning unit at 529 Old Green Bay Road, in substantial accordance with the plans provided with this application. The Board may include conditions of approval as determined to be appropriate.



PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM NO. 184-003023

7100 N. TRIPP AVENUE
LINCOLNWOOD, ILLINOIS 60712
www.professionalsassociated.com

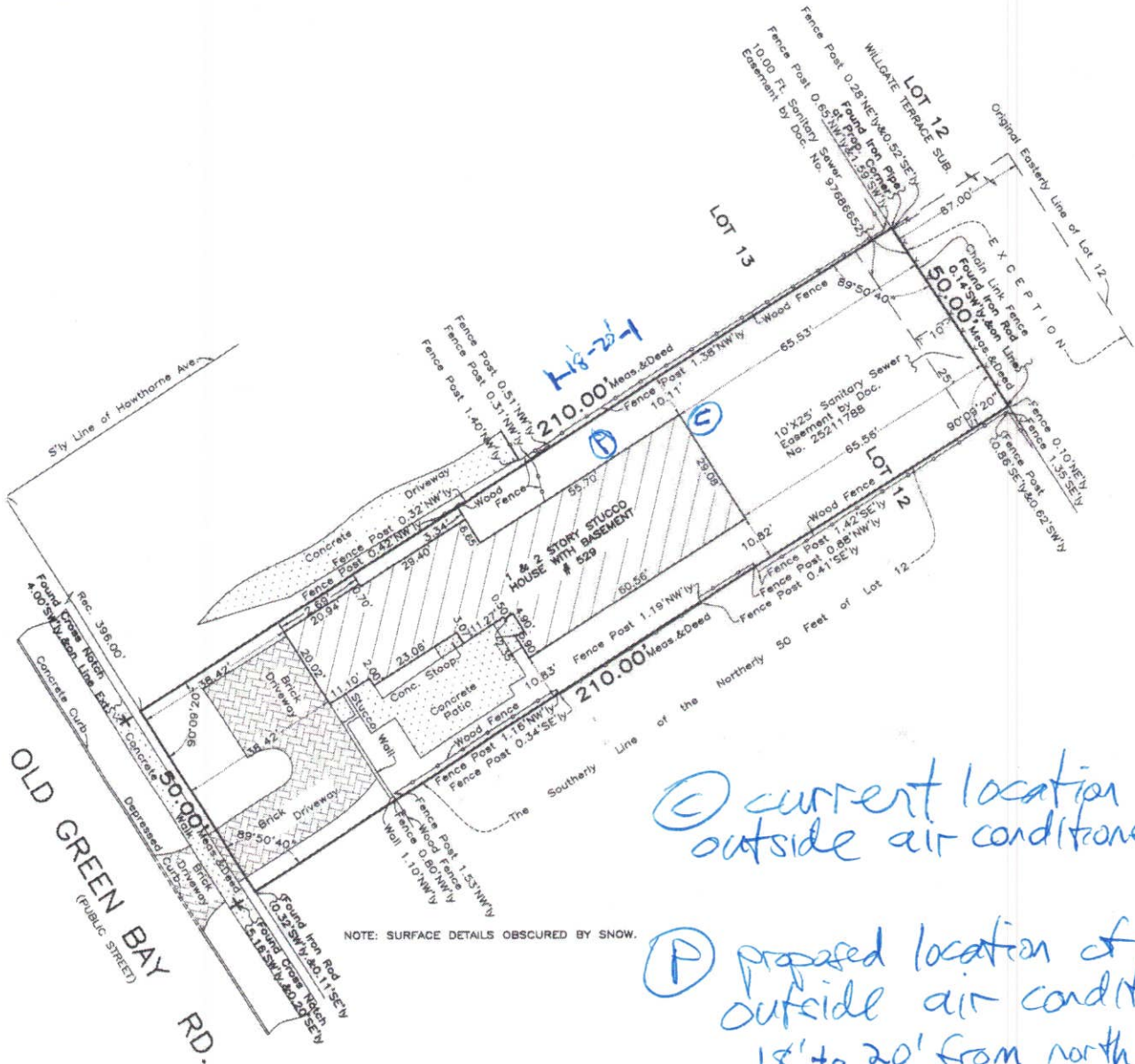
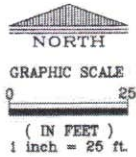
TEL: (847) 675-3000
FAX: (847) 675-2167
e-mail: pa@professionalsassociated.com

PLAT OF SURVEY OF

THE NORTHERLY 50 FEET OF LOT 12 (EXCEPT THE EASTERLY 87 FEET) IN
BLOCK 1 IN GLENCOE IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF
SECTION 7, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL
MERIDIAN, IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 10,499.96 SQ. FT. = 0.2410 ACRE.

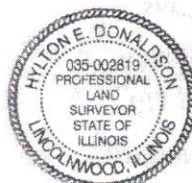
COMMONLY KNOWN AS: 529 OLD GREEN BAY ROAD, GLENCOE, ILLINOIS.



NOTE: SURFACE DETAILS OBSCURED BY SNOW.

THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON
DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY
SHOULD BE COMPARED WITH THE TITLE OR DEED.
DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.
BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE
THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO
YOUR DEED OR ABSTRACT.

Order No. 19-94893
Scale: 1 inch = 25 feet.
Date of Field Work: February 25, 2019.
Ordered by: DANIEL E. FAJERSTEIN
Attorney at Law



Page 46

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT
ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS SURVEY HAS BEEN ORDERED FOR SURFACE
DIMENSIONS ONLY, NOT FOR ELEVATIONS.
THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND
AT ONCE REPORT ANY DIFFERENCE.

State of Illinois
County of Cook

We, PROFESSIONALS ASSOCIATED SURVEY INC., do hereby
certify that we have surveyed the above described property and that,
to the best of our knowledge, the plat hereon drawn is an accurate
representation of said survey.

Date: February 27, 2019

Hylo Donaldson
ILL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2020.
Drawn by: JR



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Zoning Board of Appeals (ZBA) Application

Section A: Application Information

Check all that apply:

☒
☐

Request for variation(s) from the zoning code

Appeal of an order, determination, or decision made by Village staff based on the zoning code

Subject property address: 529 Old Green Bay Road

Applicant name: Mathias & Kalpana Reiter

Applicant phone: 312-576-4463

Applicant email: MandKhikers@me.com

Owner name (if different from applicant): Same

Owner phone: Same

Owner email: Same

Brief description of project:

- Current old outside air conditioner condenser needs to be replaced
- A new quieter condenser will be purchased and we wish to move it to a location on the north side of the house

Variation request(s):

- The current distance between the north side house wall and north property line and fence is 10' 11".
- We understand any unit must be placed 14" from the wall.
- Any side setback must be 10'.
- A 3" variance will be needed.

STAFF CLARIFICATION:
THE A/C UNIT IS PROPOSED TO BE
NO CLOSER THAN 8 FEET FROM
THE SIDE LOT LINE (20%).



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Section B: Standards for Variations

For applications for variations, provide a brief response to the following prompts. Use this form or attach a separate letter to this application. The full text of the standards for the approval of variations can be found in Sec. 7-403(e) of the zoning code.

1. Why are the requested variations necessary? What hardship or practical difficulty would result if they are not approved? Include a description of any exceptional physical characteristics of the property (for example, unusual size, shape, topography, existing uses or structures, etc.), if applicable.

The lot of 529 Old Green Bay Road is long and narrow and has limited places where an outside air conditioner condenser can be placed. Please see attached Plat of Survey with locations marked.

The proposed placement of the condenser will be closer to the air conditioner unit in the basement and more efficient. We also plan on renovating and updating our back yard and moving this condenser unit to a side location will allow more flexibility with these design plans.

A 3" variance will be within the 20% variance threshold, if approved.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022

p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

2. Describe how the proposed variations would result in a development that is not detrimental to adjacent or nearby properties or the public good.

We have selected a "quiet" air conditioner condenser unit - see attached Product Specification booklet from Bosch.

See response of discussion with neighbors below in question 3, but we also note that the fence between 529 and 525 Old Green Bay Road is new and will also provide some sound barrier.

3. Describe any efforts the applicant has made to solicit feedback on the proposed variations from neighboring or nearby property owners or residents. What was the result of these efforts?

We have discussed this air conditioner replacement and movement with our neighbors Jessica Romaniuk and Adam Weber of 525 Old Green Bay Road as the air conditioner will face their house.

Jessica and Adam came into our backyard with Kalpana to see and discuss our proposed air conditioner replacement and movement.

Based on this meeting and discussion, Jessica and Adam said that they were fine with our requesting a variance to move the air conditioner.

Section C: Petition for Appeal

Provide a separate letter describing the order, determination, procedures, or failure to act being appealed. Applicants only applying for variations from the zoning code do not need to provide this letter.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

675 Village Court, Glencoe, Illinois 60022
p: (847) 835-4111 | info@villageofglencoe.org | Follow Us: @VGlencoe

www.villageofglencoe.org

Section D: Acknowledgement and Signature



I hereby acknowledge that all information provided in this application is true and correct.

Mallory Schmitt
Kathleen Smith

Applicant's signature

4/17/23
4/17/2023

Date

Owner's signature (if different than applicant)

Date

PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM NO. 184-003023

7100 N. TRIPP AVENUE
LINCOLNWOOD, ILLINOIS 60712
www.professionalsassociated.com

TEL: (847) 675-3000
FAX: (847) 675-2167
e-mail: pa@professionalsassociated.com

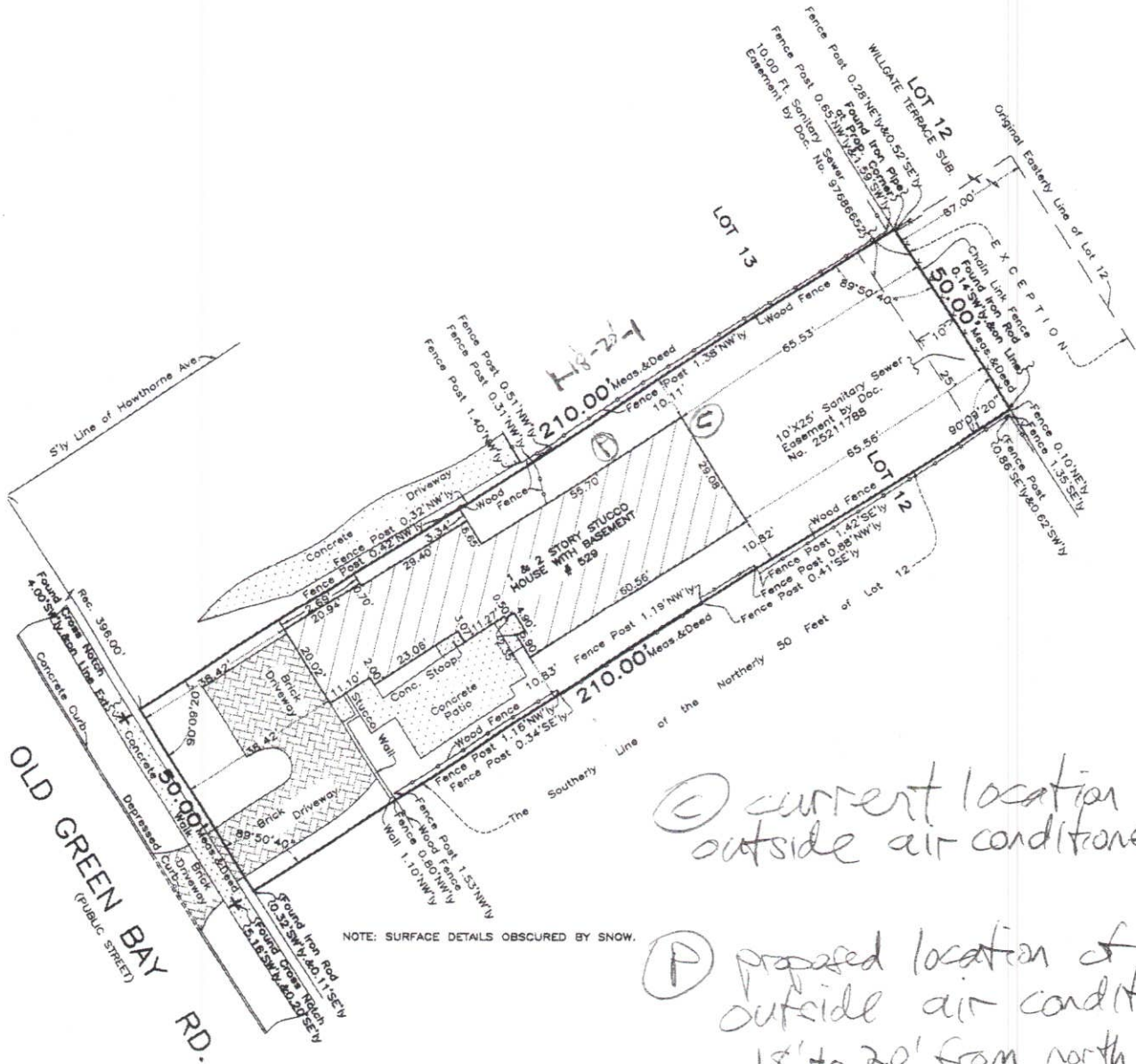
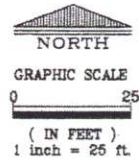
PLAT OF SURVEY

OF

THE NORTHERLY 50 FEET OF LOT 12 (EXCEPT THE EASTERLY 87 FEET) IN BLOCK 1 IN GLENCOE IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 10,499.96 SQ. FT. = 0.2410 ACRE.

COMMONLY KNOWN AS: 529 OLD GREEN BAY ROAD, GLENCOE, ILLINOIS.



NOTE: SURFACE DETAILS OBSCURED BY SNOW.

THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

Order No. 19-94893
Scale: 1 inch = 25 feet.
Date of Field Work: February 25, 2019.
Ordered by: DANIEL E. FAJERSTEIN
Attorney at Law



Page 51

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY. COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

State of Illinois
County of Cook
We, PROFESSIONALS ASSOCIATED SURVEY, INC., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

Date: February 27, 2019
Hylton E. Donaldson
ILL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2020.
Drawn by: J.R.