



**AGENDA
VILLAGE OF GLENCOE
ZONING BOARD OF APPEALS
REGULAR MEETING**

675 Village Court
December 5, 2022 - 7:00pm

1. CALL TO ORDER AND ROLL CALL

*Scott Novack, Chair
Sara Elsasser
Dena Fox
Jake Holzman
Alex Kaplan
Michael Kuppersmith
Debbie Ruderman*

2. CONSIDER ADOPTION OF THE NOVEMBER 7, 2022 ZONING BOARD OF APPEALS MEETING MINUTES

3. PUBLIC HEARING AND CONSIDERATION OF A REQUEST FOR A VARIATION TO INCREASE THE ALLOWABLE GROSS FLOOR AREA TO CONVERT A DETACHED GARAGE INTO A POOL HOUSE AT 655 SHERIDAN ROAD

4. PUBLIC HEARING AND CONSIDERATION OF A REQUEST FOR A VARIATION TO INCREASE THE ALLOWABLE GROSS FLOOR AREA FOR A NEW DETACHED GARAGE AND ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE AT 179 LAKE STREET

5. PUBLIC COMMENTS ON NON-AGENDA ITEMS

6. ADJOURN

The Village of Glencoe is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend the meeting who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to contact the Village of Glencoe at least 72 hours in advance of the meeting at (847) 835-4114, or the Illinois Relay Center at (800) 526-0844, to allow the Village of Glencoe to make reasonable accommodations for those persons.



**MINUTES
VILLAGE OF GLENCOE
ZONING BOARD OF APPEALS
REGULAR MEETING**

Council Chambers at Glencoe Village Hall
675 Village Court
Monday, November 7, 2022 – 7:00 PM

1. CALL TO ORDER AND ROLL CALL

The Regular Meeting of the Zoning Board of Appeals of the Village of Glencoe was called to order by Chairman Scott Novack at 7:00 p.m. on November 7, 2022, held in the Council Chamber at Glencoe Village Hall.

Attendee Name	Title	Status
Zoning Board of Appeals		
Scott Novack	ZBA Chairman	Present
Sara Elsasser	Member	Present
Alex Kaplan	Member	Absent
Debbie Ruderman	Member	Absent
Michael Kuppersmith	Member	Present
Jake Holzman	Member	Present
Dena Fox	Member	Present
Village Staff		
Taylor Baxter	Development Services Manager	Present
Richard McGowan	Planner	Present

2. CONSIDERATION OF MINUTES OF THE OCTOBER 3, 2022, ZBA MEETING

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kuppersmith, Holzman, Fox
NAYS:	None
ABSENT:	Kaplan, Ruderman

3. CONSIDERATION OF A VARIATION REQUEST AT 1085 BEINLICH COURT

Richard McGowan gave a brief overview of the case, stating that the applicants are once again seeking a variation for an in-ground pool to encroach into the required front yard setback.

1. *Section 3-111(C) – To reduce the required front setback from 50 feet to 15 feet, a variation of 70%.*

Mr. McGowan explained that this applicant was granted a front yard setback reduction in June 2021, however, there are now greater variation allowances for corner lots and through lots that were not available in June 2021. In June 2021, the applicants were granted a 40-foot front yard setback reduction (20% was the maximum reduction at the time, whereas a 50-foot front yard setback is required). After the Village had approved plans for the pool with a 40-foot front yard setback, the applicants informed the Village that they did not believe it was adequate for their needs. Mr. McGowan stated that since this is a corner lot, the shorter lot frontage is defined as the front yard, regardless of the orientation of the home, and because of the unique existing physical conditions and orientation of the lot, the property is significantly limited with where they can construct an accessory structure without a variation. Mr. McGowan added that in June 2021, the applicants received letters of support from neighbors to the north, east, and west, and the Village did not receive any letters of opposition in June 2021 or for tonight's hearing. Mr. McGowan noted that the ZBA may attach screening conditions for the pool if appropriate.

Chairman Scott Novack thanked staff and added that the change in the Zoning Code to allow greater front setback variations for corner lots and through lots was intended to correct situations exactly like this one. Although the front yard is already significantly screened along Dundee Road, Chairman Novack and Board Member Michael Kuppersmith both stated that they would like to add a condition that the screening along Dundee Road for the in-ground pool remains, in case the current homeowners ever sell the property.

Taylor Baxter then swore in the homeowner, Brad Friedman of 1085 Beinlich Court. Mr. Friedman stated that the greater setback variation allowance for corner lots is a huge help due to the existing conditions of the lot and the orientation of his home. Mr. Friedman stated that he spoke with neighbors and did not receive any opposition. Board Member Kuppersmith noted that he likes that he spoke with neighbors.

PUBLIC COMMENT

Chairman Novack thanked the applicant and asked the audience if there are any public comments. No public comments were made.

Chairman Novack asked the ZBA if they had any additional questions or comments. No additional comments or questions were made at this time. A motion was made and seconded to approve the requested variance as submitted, with the condition that the existing screening along Dundee Road be maintained.

FINDINGS

1. The requested variation is within the jurisdiction of the Zoning Board of Appeals.
2. Based on the totality of the relevant and persuasive testimony heard and presented, the Zoning Board determines that:
 - a. The requested variation is in harmony with general purpose and intent of the Glencoe Zoning Code.
 - b. There are practical difficulties and there is a hardship in the way of carrying out the strict letter of Section 3-111(C) of the Glencoe Zoning Code as applied to the lot in question.
 - c. The plight of the owner is due to unique circumstances.
 - d. The requested variation will not alter the essential character of the locality.
 - e. The requested variation will not set a precedent unfavorable to the neighborhood or to the Village as a whole.
 - f. The spirit of the Zoning Code will be observed, public safety and welfare will be secured, and substantial justice will be done if the requested variation is granted.

RESOLUTION

NOW THEREFORE BE IT RESOLVED that the request to reduce the required front yard setback at 1085 Beinlich Court be granted in substantial conformity with the drawings or plans submitted by the owner, and made part of the record.

BE IT FURTHER RESOLVED that the decision of the Development Services Manager is hereby reversed insofar as he denied the issuance of a building permit on the aforesaid property for the aforesaid construction;

BE IT FURTHER RESOLVED that this variation shall expire and be of no further force or effect at the end of twelve (12) months unless during said twelve-month period a building permit is issued, and construction begun and diligently pursued to completion; and

BE IT FURTHER RESOLVED that this resolution shall be spread upon the records of the Board and shall become a public record.

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kuppersmith, Holzman, Fox
NAYS:	None
ABSENT:	Kaplan, Ruderman

4. CONSIDERATION OF A VARIATION REQUEST AT 364 JACKSON AVENUE

Mr. McGowan gave an overview of the case, stating that the applicants are seeking to add an addition and deck to an existing single-family residence to encroach into the required side yard setback at 364 Jackson Avenue:

1. *Section 3-111(C) – To reduce the required side yard setback from 10 feet to 8.65 feet, a variation of 13.5%.*

Mr. McGowan noted that the existing home is nonconforming with regards to the side yard setback, as it is approximately 4.25 feet away from the east side lot line, and the applicants are not seeking to encroach into the required side yard setback any more than they already are. Mr. McGowan shared elevations of the proposed addition and added that the applicants do not need any variations for the rear setback or gross floor area. Mr. McGowan stated that the lot is relatively undersized for the RB Zoning District in terms of lot width and lot area, which is a unique physical condition.

Mr. McGowan shared a letter of support from the neighbors closest to the proposed addition and deck, to the east:

"We are Jack and Lauren's neighbor to the East at 362 Jackson Avenue. My husband Steve and I have reviewed the plans from their architect in detail on the impending improvements. We are completely in favor of them completing the project and have no issues with the plans at all. We wish the Peirce's the best in their construction project and are excited to see the house grow to accommodate their family better. Please feel free to contact us directly should you need anything further."

-Kristin and Steve Trovillion of 362 Jackson Avenue.

Chairman Novack thanked staff and asked for clarification on where the deck will be. Mr. McGowan shared elevations and a site plan and noted that it will be a low-profile deck. Board Member Dena Fox asked if the applicants are in compliance with gross floor area and Mr. McGowan confirmed that they are.

Mr. Baxter then swore in the applicant, Vince Weber with Normandy Remodeling. Mr. Weber stated that he is happy to answer any questions any one may have. Chairman Novack stated that it is nice that the neighbor's closest to the proposed addition are in support of the requested variation, and added that the fact that the existing home is encroaching into the required side yard setback is also worth noting. Chairman Novack then asked for clarification on why the addition would need to encroach into the required setback and Mr. Weber stated that because of the kitchen floorplan and layout, it makes the most sense to locate the addition where it is

currently proposed, and that they are trying to manage the bulk and height of the structure. Mr. Weber noted that the homeowner is available for questions as well.

PUBLIC COMMENT

Chairman Novack thanked the applicants and asked the audience if there are any public comments. No comments were made at this time.

Chairman Novack asked the ZBA if they had any additional questions or comments. No additional comments or questions were made at this time. A motion was made and seconded to approve the requested variance as submitted.

FINDINGS

1. The requested variation is within the jurisdiction of the Zoning Board of Appeals.
2. Based on the totality of the relevant and persuasive testimony heard and presented, the Zoning Board determines that:
 - a. The requested variation is in harmony with general purpose and intent of the Glencoe Zoning Code.
 - b. There are practical difficulties and there is a hardship in the way of carrying out the strict letter of Section 3-111(C) of the Glencoe Zoning Code as applied to the lot in question.
 - c. The plight of the owner is due to unique circumstances.
 - d. The requested variation will not alter the essential character of the locality.
 - e. The requested variation will not set a precedent unfavorable to the neighborhood or to the Village as a whole.
 - f. The spirit of the Zoning Code will be observed, public safety and welfare will be secured, and substantial justice will be done if the requested variation is granted.

RESOLUTION

NOW THEREFORE BE IT RESOLVED that the request to reduce the required side yard setback at 364 Jackson Avenue be granted in substantial conformity with the drawings or plans submitted by the owner, and made part of the record.

BE IT FURTHER RESOLVED that the decision of the Development Services Manager is hereby reversed insofar as he denied the issuance of a building permit on the aforesaid property for the aforesaid construction;

BE IT FURTHER RESOLVED that this variation shall expire and be of no further force or effect at the end of twelve (12) months unless during said twelve-month period a building permit is issued, and construction begun and diligently pursued to completion; and

BE IT FURTHER RESOLVED that this resolution shall be spread upon the records of the Board and shall become a public record.

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kuppersmith, Holzman, Fox
NAYS:	None
ABSENT:	Kaplan, Ruderman

5. CONSIDERATION OF A VARIATION AT 707 BLUFF STREET

Taylor Baxter gave an overview of the requested variation, explaining that the applicants are proposing to encroach into the required front yard setback to allow for an attached pergola at 707 Bluff Street:

1. *Section 3-111(C)(1) – To reduce the required front setback for an attached pergola from 41.4' to 37.32', a variation of 9.9%.*

Mr. Baxter explained that this pergola is part of a new home that is currently under review, however, the home itself meets code and does not need any variations. Mr. Baxter stated that since this is a corner lot, the shorter lot frontage along Park Avenue is defined as the front yard by the Zoning Code, although the applicants have stated that this yard will function as the homeowner's backyard. Mr. Baxter clarified that corner lots have greater variation allowances for front yards, up to 12 feet from the front lot line, whereas this applicant is proposing to be 37.32 feet from the front lot line, and the required front yard setback is 41.4 feet. Mr. Baxter added that the existing home that is proposed to be demolished is closer to the front lot line than this pergola would be, as the existing home is 29.15 feet from the front lot line. Mr. Baxter then shared renderings of what the proposed home and pergola will look like.

Mr. Baxter then swore in the applicant, Steve Aisen of Newgard Custom Homes. Mr. Aisen reiterated that functionally, this area is going to be used as a side and rear yard for the future homeowners. Chairman Novack asked if Mr. Aisen has spoken with neighbors and Mr. Aisen said that he has rung the doorbell but did not have any luck getting in contact with neighbors. Mr. Baxter noted that the Village has not received any letters of support or opposition for the pergola.

Board Member Kuppersmith asked for clarification on the existing home's location and Mr. Baxter said that it is currently closer to Park Avenue than what the applicants are proposing. Chairman Novack said that the requested variation makes sense for the most part, but the only difference here is that it's for a new home that's starting with a blank slate. Board Member Fox

asked what the setback is from Bluff Street and Mr. Baxter stated that it is 25 feet for the house, but due to the side lot line and orientation of the neighboring property directly north, an accessory structure would have to be further from the corner side lot line than the house, which is where the detached garage is proposed to be.

Chairman Novack asked if the applicant is maxed out on gross floor area and Mr. Aisen said that they are pretty close, but they are not requesting any variations for the gross floor area. Mr. Aisen noted that they felt as though the pergola would be better in this location due to the proposed layout and because it is further away from the neighbor immediately to the east. Mr. Baxter clarified that the area to the east would not require a variation.

PUBLIC COMMENT

Chairman Novack thanked staff and asked the ZBA Members if they had any questions. Mr. Jason Jones of 487 Park Avenue was then sworn in by Mr. Baxter.

Mr. Jones stated that he is the immediate neighbor to the east and he is concerned with the proposed pergola and has not had any conversations with the developer. Mr. Jones stated that he is primarily concerned with light, and impacts to his home and vegetation with the new home. Mr. Jones noted that the rendering appears to show a wall around the property, rather than a fence, that would impede upon his plot and vegetation.

Chairman Novack thanked Mr. Jones and asked him to stay at the podium for questions. Chairman Novack asked what the height of the wall and Mr. Aisen stated that it depends on the code requirements, and Mr. Baxter explained that it would be a four-foot-tall fence in the front yard along Park Avenue, and a six-foot-tall fence would be permitted beyond the front yard along Park Avenue. Mr. Aisen noted that it is to be determined as to whether it will be a fence or a wall. Mr. Jones stated that the new home will be closer to Park Avenue, and the ZBA corrected him saying that the new home and pergola would actually be further from Park Avenue than the current home. Board Member Kupper-Smith asked about the height of the fence in the renderings of the home and pergola. Board Member Sara Elsasser said that she thinks that the renderings are a bit deceiving, but she completely understands the neighbor's concerns because of the renderings. Board Member Elsasser noted that the applicants will also need to meet the fence code which limits the height to no more than six feet beyond the front yard. Chairman Novack added that a six-foot-tall fence may actually help with privacy and Mr. Jones said that he understands that aspect but is still concerned with the light impacts to vegetation.

Cathie Dunal of 494 Park Avenue was then sworn in by Mr. Baxter. Ms. Dunal stated that she lives directly across the street from 707 Bluff Street and that she is a little bit dumbfounded that a new home cannot meet Village regulations, and why the Village regulations cannot be respected. Ms. Dunal stated that she has concerns about the bulk of the home and that open land is a lovely thing, and noted that she was curious about drainage impacts if a new fence is built along Park Avenue. Chairman Novack thanked Ms. Dunal and noted that the applicant is not seeking a variation for gross floor area, which contributes to the bulk, so in that sense, the applicant is meeting the code and not seeking a variation, however, they are requesting to reduce the required front setback. Chairman Novack said that he understands where she is

coming from and really appreciates her and Mr. Jones coming forward with their comments. Ms. Dunal concluded that she understands the needs for variations for people in existing homes, but does not understand the need for new homes. Chairman Novack thanked Ms. Dunal again.

Chairman Novack stated that they take neighbor concerns very seriously. Board Member Fox added that Mr. Aisen is a Glencoe resident. Mr. Aisen said that they try their best to meet code as he has been building homes in Glencoe for years and has rarely needed a variation, but this is a unique circumstance. Board Member Elsasser reiterated that it is a little different in terms of bulk since it is an open-sided pergola and will actually be further away from Park Avenue than the current home, and although she understands and respects the neighbors' concerns, the concerns are not necessarily directed at the pergola itself. Chairman Novack asked if the pergola will be visible from Park Avenue and Mr. Aisen stated that with a fence and maturation of the trees and screening, it eventually may not be visible from Park Avenue eventually. Board Member Fox stated that she is leaning towards approving the variation but with a stipulation that the fence around the property is a fence and not a wall.

Board Member Jake Holzman suggested that the ZBA asks the neighbor what his thoughts are on the fence. Chairman Novack asked Mr. Jones if the idea of a fence versus a wall interests him. Mr. Jones said that it does, and it comes down to light as his concern is the light impacts to his property. Mr. Jones said that he and his wife would prefer a non-opaque fence. Mr. Aisen said that it should not be an open fence as there should be a balance for privacy for the future homeowners of 707 Bluff Street.

Board Member Kuppersmith said he is a bit hesitant to support this because he cannot conceptualize the hardship on this lot because it is new construction and is torn because of the impact to neighbors.

Mr. Baxter noted that the vote will need to be 4-1 in favor since there are two ZBA members absent. Board Member Fox added that the applicants could potentially have an opaque fence, but it could potentially be a bit more neighborly than a wall.

Mr. Aisen stated that if the variation is denied, then he would install the pergola on the east side of the house, closer to Mr. Jones at 487 Park Avenue. Chairman Novack noted that this area on the east side would not require a variation and asked Mr. Jones if he understood what the applicants could potentially do with out a variation. Mr. Jones stated that he would rather have the pergola in the position that it is proposed to be in now, and would rather not have it move closer to his property. Board Member Kuppersmith noted that by hypothetically denying the requested variation, he would hate for it to inadvertently impact the neighbors in a negative way.

Chairman Novack asked the ZBA if they had any additional questions or comments. No additional comments or questions were made at this time. A motion was made and seconded to approve the requested variance as submitted, with the conditions that a privacy barrier along the east side property line would have to be a fence and not a wall, and that the front yard is

screened along the entirety of a fence along the front lot line along Park Avenue with six-foot-tall arborvitae trees or similar.

There was discussion and clarification that there is no required screening along the interior lot line as part of the conditions of approval, but the applicant may elect to do so if desired.

FINDINGS

1. The requested variation is within the jurisdiction of the Zoning Board of Appeals.
2. Based on the totality of the relevant and persuasive testimony heard and presented, the Zoning Board determines that:
 - a. The requested variation is in harmony with general purpose and intent of the Glencoe Zoning Code.
 - b. There are practical difficulties and there is a hardship in the way of carrying out the strict letter of Section 3-111(C)(1) of the Glencoe Zoning Code as applied to the lot in question.
 - c. The plight of the owner is due to unique circumstances.
 - d. The requested variation will not alter the essential character of the locality.
 - e. The requested variation will not set a precedent unfavorable to the neighborhood or to the Village as a whole.
 - f. The spirit of the Zoning Code will be observed, public safety and welfare will be secured, and substantial justice will be done if the requested variation is granted.

RESOLUTION

NOW THEREFORE BE IT RESOLVED that the request to reduce the required front yard setback at 707 Bluff Street be granted in substantial conformity with the drawings or plans submitted by the owner, and made part of the record.

BE IT FURTHER RESOLVED that the decision of the Development Services Manager is hereby reversed insofar as he denied the issuance of a building permit on the aforesaid property for the aforesaid construction;

BE IT FURTHER RESOLVED that this variation shall expire and be of no further force or effect at the end of twelve (12) months unless during said twelve-month period a building permit is issued, and construction begun and diligently pursued to completion; and

BE IT FURTHER RESOLVED that this resolution shall be spread upon the records of the Board and shall become a public record.

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kuppersmith, Holzman, Fox
NAYS:	None
ABSENT:	Kaplan, Ruderman

6. PUBLIC COMMENT ON NON-AGENDA ITEMS

Chairman Novack asked the audience if there were any public comments on non-agenda items. No public comments on non-agenda items were made.

7. ADJOURN

The meeting adjourned at 8:11 p.m.

RESULT:	ACCEPTED
AYES:	Novack, Elsasser, Kuppersmith, Holzman, Fox
NAYS:	None
ABSENT:	Kaplan, Ruderman



VILLAGE OF GLENCOE MEMORANDUM

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Zoning Board of Appeals Memorandum – 655 Sheridan Road

DATE: November 23, 2022

TO: Zoning Board of Appeals

FROM: Taylor Baxter, AICP, Development Services Manager
Rich McGowan, Planner

SUBJECT: Consideration of variation to increase the allowable gross floor area to convert a detached garage into a pool house

Background: In August of 2018, the Zoning Board of Appeals approved a variation to increase the allowable gross floor area at 655 Sheridan Road from 8,459 square feet to 9,117.21 square feet, an increase of 7.78%. This variation was granted to allow the renovation of an existing single-family house, including an addition and new detached garage. The Zoning Code provides a 400-square-foot gross floor area exclusion for detached garages that is not applicable to other accessory structures. The applicant is now proposing the conversion of the garage into a pool house, which would result in the loss of this exclusion and an increase in gross floor area on the property of 400 square feet, requiring a new variation.

Variation Request:

The requested variation is from the following standard in the Zoning Code:

1. *Section 3-111(E) – To increase the allowable gross floor area from 8,459 square feet to 9,517.21 square feet, a variation of 12.5%.*

The ZBA may grant variations to increase allowable gross floor area by up to 15%.

	Existing	Allowed	Proposed	Variation %
Gross Floor Area	9,117.21 sq ft	8,459 sq ft	9,517.21 sq ft	12.5%

Analysis: The Zoning Code includes the following standards for the consideration of variation requests:

- 1.) *General Standard. No variation shall be granted pursuant to this Section unless the applicant shall establish that carrying out the strict letter of the provisions of this Code would create a particular*

hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection.

The applicants have stated that the variation would allow them to change the use of the garage without any change to the bulk of the structures on the property.

- 2.) *Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.*

The fact that the property is already over its gross floor limit is a unique physical condition. This condition is the result of a gross floor area limit increase granted by the ZBA in 2018.

- 3.) *Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.*

The aforesaid condition is the result of a gross floor area limit increase granted by the ZBA in 2018, which allowed the construction of the detached garage and an addition to the existing house.

- 4.) *Not Merely Special Condition. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.*

The applicant has stated that the proposed variation would not result in any visible changes to the property, other than to the façade of the garage. There are no proposed changes to the size or bulk of the structure.

- 5.) *Code and Plan Purposes. The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted.*

The proposed addition would not result in a development significantly out of harmony with the purpose of the code. Gross floor area limits are intended to limit the visible bulk of structures, which would not be impacted by the proposed conversion.

- 6.) *Essential Character of the Area. The variation would not result in a use or development on the subject property that:*
(a) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or

- (b) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or*
- (c) Would substantially increase congestion in the public streets due to traffic or parking; or*
- (d) Would unduly increase the danger of flood or fire; or*
- (e) Would unduly tax public utilities and facilities in the area; or*
- (f) Would endanger the public health or safety.*

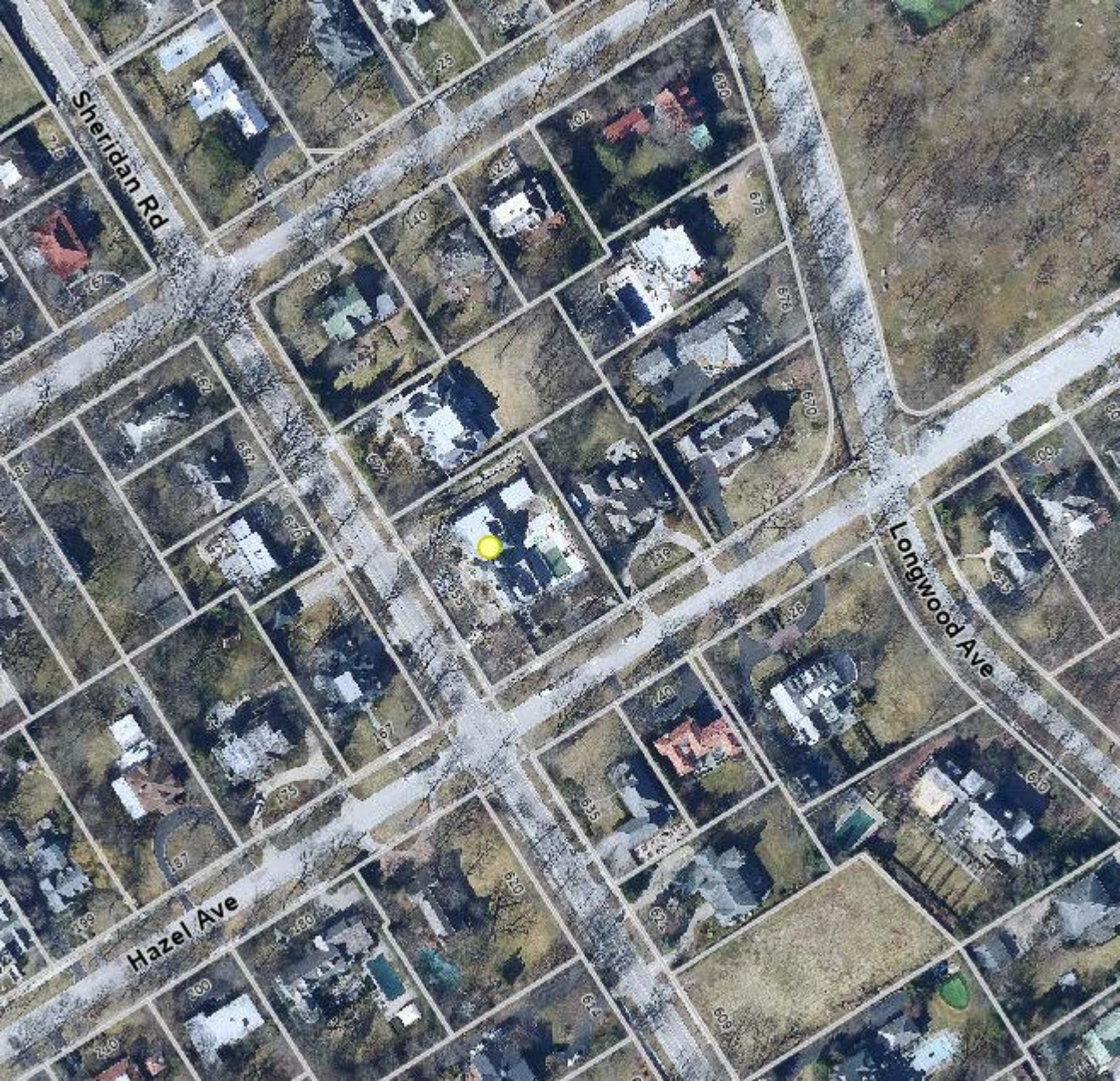
The proposed variation would be unlikely to have a significant impact on the essential character of the area.

This variation request received printed public notice at least 15 days prior to the public hearing. Additionally, owners of properties within 200 feet of the subject property were notified.

Recommendation: Based on the materials presented and the public hearing, it is the recommendation of staff that the variation request of be accepted or denied. The Board may consider conditions of approval, including fencing and screening requirements.

Motion: The Zoning Board of Appeals may make a motion as follows:

Move to accept/deny the request for a variation to increase the allowable gross floor area at 655 Sheridan Road to allow the conversion of a detached garage to a pool house, in accordance with the plans provided with this application.





VILLAGE OF GLENCOE

FORMS & APPLICATIONS

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Zoning Board of Appeals (ZBA) Application

Section A: Application Information

Check all that apply:

- ☒ Request for variation(s) from the zoning code
☐ Appeal of an order, determination, or decision made by Village staff based on the zoning code

Subject property address: 655 Sheridan Road

Applicant name: Shana Kelley and Edward Hartley Sargent Applicant phone: 847.644.8194

Applicant email: ted.sargent@northwestern.edu

Owner name (if different from applicant): _____

Owner phone: 847.644.8194 Owner email: ted.sargent@northwestern.edu

Brief description of project:

The owners desire is to convert the existing three-car Garage into a Pool House. The residence has an attached two-car Garage that is sufficient for their needs. Since the additional Garage space is not needed, they would like to re-purpose the space.

Variation request(s):

There is no visible change in the envelope or footprint of the existing three-car Garage. Its use is just being converted from the Garage to a Pool House. Due to the change in use, the 400 square-foot Garage exclusion will be eliminated. The result is a need to increase the applicable square-footage from 9,117.21 to 9,517.21. It is not new actual square footage, but it must be accounted for in a different manner because of the change of use. It is essentially virtual square footage. The result will be an FAR increase from 7.78% to 12.51%, which is still well below the maximum 15% increase that can be allowed.



VILLAGE OF GLENCOE

FORMS & APPLICATIONS

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Section B: Standards for Variations

For applications for variations, provide a brief response to the following prompts. Use this form or attach a separate letter to this application. The full text of the standards for the approval of variations can be found in [Sec. 7-403\(e\) of the zoning code](#).

1. Why are the requested variations necessary? What hardship or practical difficulty would result if they are not approved? Include a description of any exceptional physical characteristics of the property (for example, unusual size, shape, topography, existing uses or structures, etc.), if applicable.

The owner's desire is to convert the existing three-car Garage into a Pool House. An FAR variance is required. When the structure was built as a detached Garage in the rear half of the lot, it qualified for a 400 SF exclusion. Converting it to a Pool House eliminates that exclusion. This request does not include any changes to the envelope or footprint of the structure. It is a simple change of use.

The only evidence of the alterations will be the replacement of the three overhead Garage doors with French doors, and a small existing window on the south elevation will be filled in with to match the adjacent existing finish.



VILLAGE OF GLENCOE

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2. Describe how the proposed variations would result in a development that is not detrimental to adjacent or nearby properties or the public good.

This request, if approved, would have no detrimental impact to adjacent properties, or the public good. Since there is no additional square footage being added, it is simply a change in calculations, that would not have a perceivable impact on the existing structure.

3. Describe any efforts the applicant has made to solicit feedback on the proposed variations from neighboring or nearby property owners or residents. What was the result of these efforts?

We reached out to neighbours to the north and to the south.
We explained the proposed variance request and explained the proposed change of use of garage use to pool house use. Neighbours, appreciating no material change to envelope nor footprint – and understanding the proposed alterations being to doors and windows – did not object, nor did they have further advice or requests.

Section C: Petition for Appeal

Provide a separate letter describing the order, determination, procedures, or failure to act being appealed. Applicants only applying for variations from the zoning code do not need to provide this letter.



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Section D: Acknowledgement and Signature



I hereby acknowledge that all information provided in this application is true and correct.

Edward H. Fayat OK

Applicant's signature

10.28.22

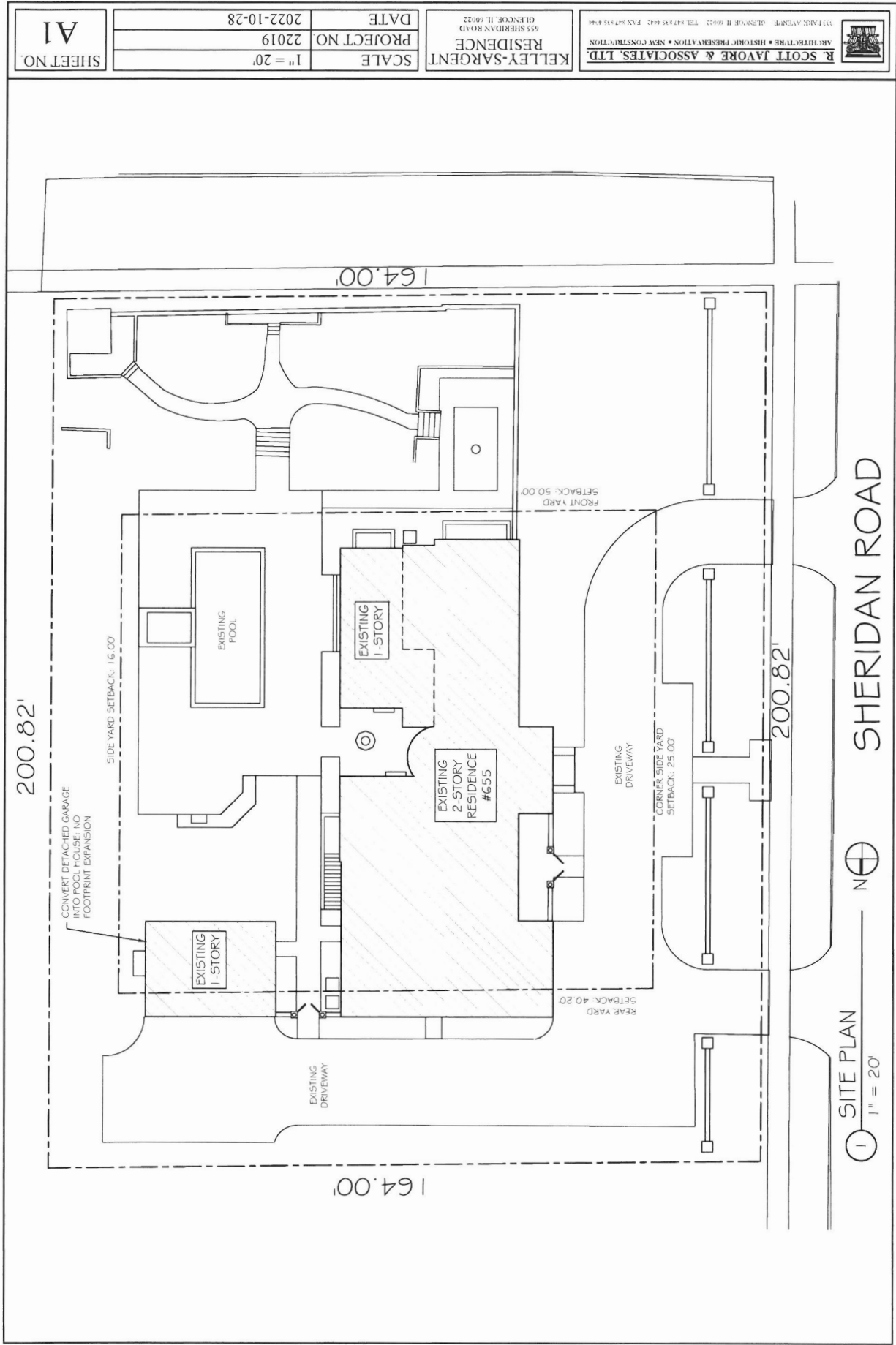
Date

OK

Owner's signature (if different than applicant)

10.28.22

Date



1 SITE PLAN
1" = 20'



SHERIDAN ROAD



R. SCOTT JAVORE & ASSOCIATES, LTD.
ARCHITECTURE • HISTORIC PRESERVATION • NEW CONSTRUCTION
333 PARK AVENUE • SUITE 1000 • CHICAGO, IL 60622 • TEL: 312.467.4442 • FAX: 312.467.4443

KELLEY-SARGENT
RESIDENCE
655 SHERIDAN ROAD
CHICAGO, IL 60622

SCALE	1" = 20'
PROJECT NO.	22019
DATE	2022-10-28

SHEET NO. A1



1 AERIAL VIEW



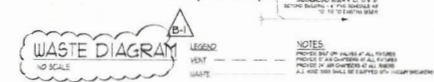
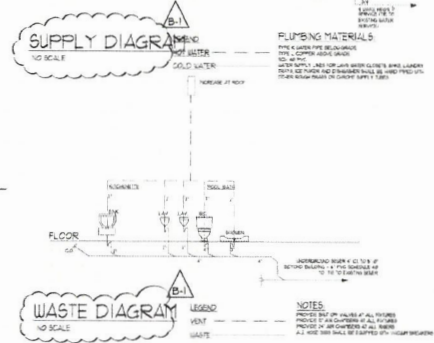
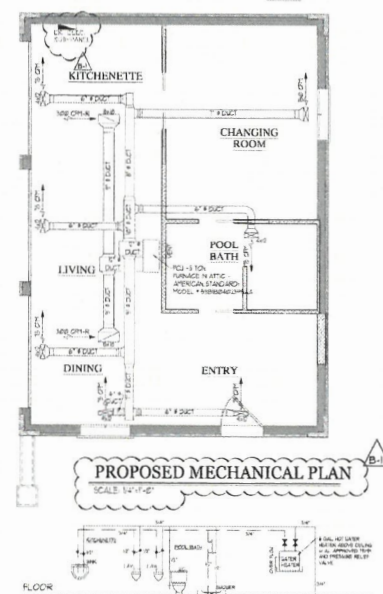
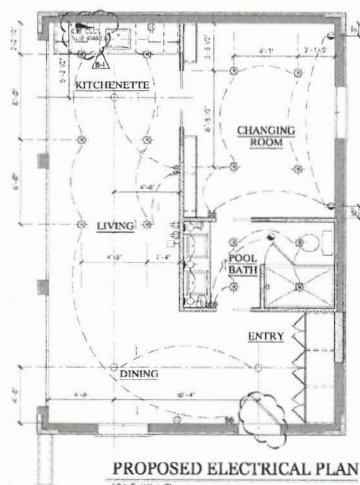
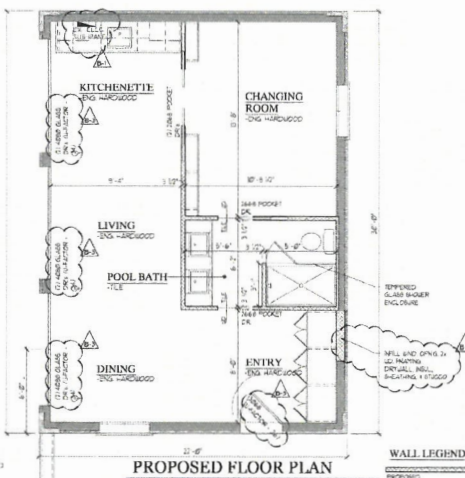
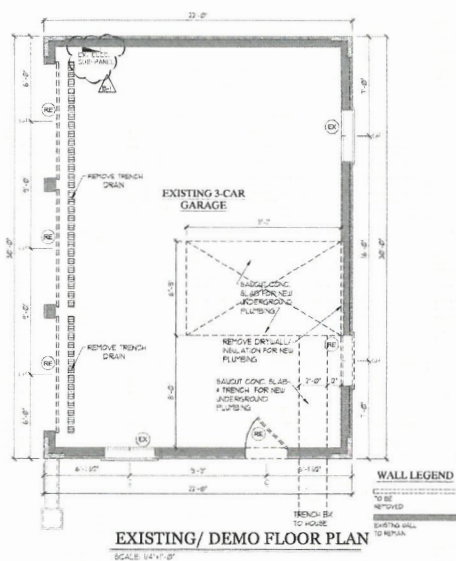
3 REAR YARD VIEW



2 REAR YARD VIEW

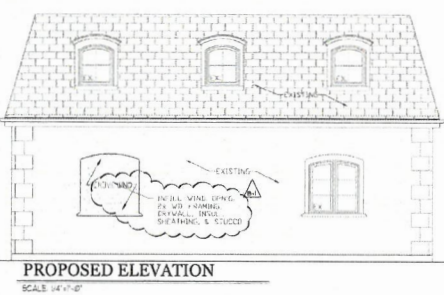
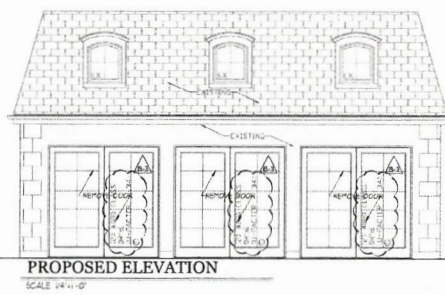
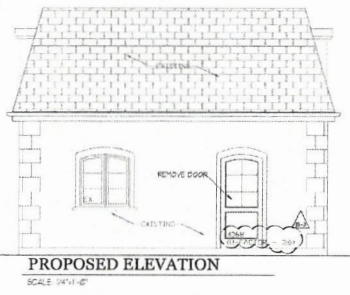
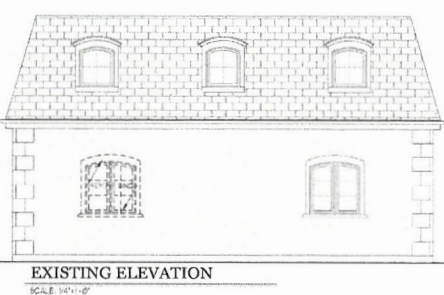
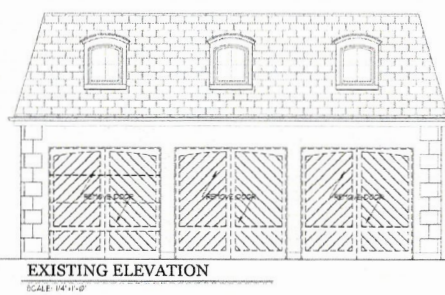
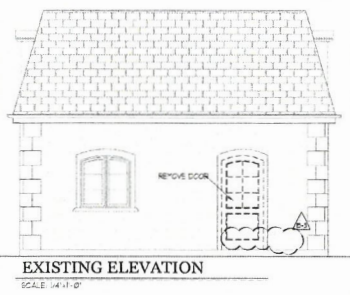


4 REAR YARD VIEW



PLUMBING FIXTURE COUNT			
FIXTURE	# OF FIXTURES	# OF SUPPLY FIXTURE UNITS	TOTAL
WATER CLOSETS	1	2	3
WATERVARY	1	1	2
SHOWER STALL		1	1
KITCHEN SINK		2	2
		TOTAL	9

GRAND TOTAL	SERVICE LINE
2-100' UPR	10' SERVICE LINE
5-150' UPR	30' SERVICE LINE
30-34 UPR	7' SERVICE LINE
35-55 UPR	14' SERVICE LINE
60-75 UPR	12' SERVICE LINE





VILLAGE OF GLENCOE MEMORANDUM

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Zoning Board of Appeals Memorandum – 179 Lake Street

DATE: November 23, 2022

TO: Zoning Board of Appeals

FROM: Taylor Baxter, AICP, Development Services Manager
Rich McGowan, Planner

SUBJECT: Consideration of variation to increase the allowable gross floor area for an addition and detached garage at an existing single-family residence

Background: The applicant has requested a gross floor area variation to allow for a 476.7-square-foot addition and new 520-square-foot detached garage at an existing single-family residence. As part of the proposal, the existing attached garage would be converted into a bedroom and 17.7 square foot of floor area would be removed. The existing gross floor area on the property is 3,267 square feet.

Variation Request:

The requested variation is from the following standard in the Zoning Code:

1. *Section 3-111(E) – To increase the allowable gross floor area from 3,699.5 square feet to 3,846.1 square feet, a variation of 3.9%.*

The ZBA may grant variations to increase allowable gross floor area by up to 15%.

	Existing	Allowed	Proposed	Variation %
Gross Floor Area	3,267.1 sq ft	3,699.5 sq ft	3,846.1 sq ft	3.9%

Analysis: The Zoning Code includes the following standards for the consideration of variation requests:

- 1.) *General Standard. No variation shall be granted pursuant to this Section unless the applicant shall establish that carrying out the strict letter of the provisions of this Code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection.*

The applicants have stated that the variation would allow them to update their home to modern standards without an increase in footprint of the principal structure. The new garage would allow for the conversion of the existing garage into living space.

- 2.) *Unique Physical Condition. The subject property is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject property that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.*

There are no unique physical conditions on the property, other than the existence of a nearly 100-year-old home with what the applicant has described as structural and usability problems.

- 3.) *Not Self-Created. The aforesaid unique physical condition is not the result of any action or inaction of the owner, or of the owner's predecessors in title and known to the owner prior to acquisition of the subject property, and existed at the time of the enactment of the provisions from which a variation is sought or was created by natural forces or was the result of governmental action, other than the adoption of this Code, for which no compensation was paid.*

The aforesaid unique physical condition is not the result of any action of the owner.

- 4.) *Not Merely Special Condition. The alleged hardship or difficulty is not merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely an inability to make more money from the use of the subject property; provided, however, that where the standards herein set out exist, the existence of an economic hardship shall not be a prerequisite to the grant of an authorized variation.*

The proposed variation would not merely be to make more money from the subject property and is not merely due to economic hardship. The applicant has stated that the proposed variation would allow the property to be used much like new construction in the area, while maintain the appearance of the existing house.

- 5.) *Code and Plan Purposes. The variation would not result in a use or development of the subject property that would be not in harmony with the general and specific purposes for which this Code and the provision from which a variation is sought were enacted.*

The proposed addition would not result in a development significantly out of harmony with the purpose of the code. The impact on the visible bulk of the structures on the property would not be significant. The construction of a typical 400-square-foot garage, rather than the proposed 520-square-foot garage, would still require a variation, although the scale of the variation would be reduced.

- 6.) *Essential Character of the Area. The variation would not result in a use or development on the subject property that:*
(a) Would be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development, or value of property or improvements permitted in the vicinity; or

- (b) Would materially impair an adequate supply of light and air to the properties and improvements in the vicinity; or*
- (c) Would substantially increase congestion in the public streets due to traffic or parking; or*
- (d) Would unduly increase the danger of flood or fire; or*
- (e) Would unduly tax public utilities and facilities in the area; or*
- (f) Would endanger the public health or safety.*

The proposed variation would be unlikely to have a significant impact on the essential character of the area. It would result in a property with structures that have a total bulk slightly above what would be permitted without a variation.

This variation request received printed public notice at least 15 days prior to the public hearing. Additionally, owners of properties within 200 feet of the subject property were notified.

Recommendation: Based on the materials presented and the public hearing, it is the recommendation of staff that the variation request of be accepted or denied. The Board may consider conditions of approval, including fencing and screening requirements.

Motion: The Zoning Board of Appeals may make a motion as follows:

Move to accept/deny the request for a variation to increase the allowable gross floor area at 179 Lake Street to allow an addition and detached garage, in accordance with the plans provided with this application.



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Zoning Board of Appeals (ZBA) Application

Section A: Application Information

Check all that apply:

☐ Request for variation(s) from the zoning code

☐ Appeal of an order, determination, or decision made by Village staff based on the zoning code

Subject property address: _____

Applicant name: _____ Applicant phone: _____

Applicant email: _____

Owner name (if different from applicant): _____

Owner phone: _____ Owner email: _____

Brief description of project:

Variation request(s):

147



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Section B: Standards for Variations

For applications for variations, provide a brief response to the following prompts. Use this form or attach a separate letter to this application. The full text of the standards for the approval of variations can be found in [Sec. 7-403\(e\) of the zoning code](#).

1. Why are the requested variations necessary? What hardship or practical difficulty would result if they are not approved? Include a description of any exceptional physical characteristics of the property (for example, unusual size, shape, topography, existing uses or structures, etc.), if applicable.



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2. Describe how the proposed variations would result in a development that is not detrimental to adjacent or nearby properties or the public good.

3. Describe any efforts the applicant has made to solicit feedback on the proposed variations from neighboring or nearby property owners or residents. What was the result of these efforts?

Section C: Petition for Appeal

Provide a separate letter describing the order, determination, procedures, or failure to act being appealed. Applicants only applying for variations from the zoning code do not need to provide this letter.



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Section D: Acknowledgement and Signature

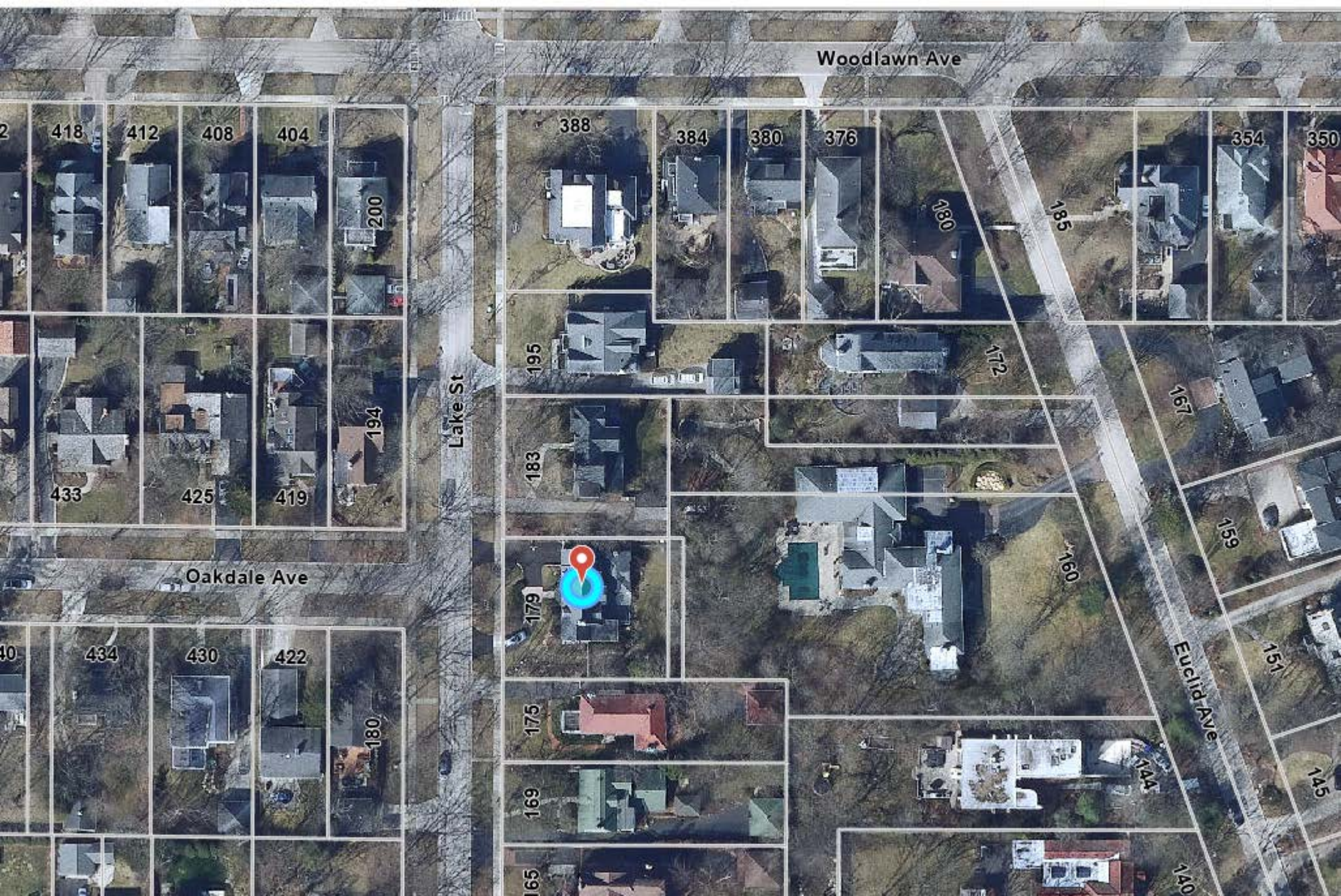
☐ *I hereby acknowledge that all information provided in this application is true and correct.*

Applicant's signature

Date

Owner's signature (if different than applicant)

Date



Woodlawn Ave

Lake St

Oakdale Ave

Euclid Ave



2
418
412
408
404
200
433
425
419
194

388
384
380
376
180
185
172
195
183
179
175
169
165
354
350
167
159
151
145
140
144

40
434
430
422
180

179 Lake St.
Glencoe, IL 60022

Architect:
Widler Architectural, Inc.
26 W. St. Charles Rd., #205
Lombard, IL 60148
P (630) 613 9503
www.widlerarch.com

Professional Design Firm # 184005758-0001


















INDEX OF DRAWINGS

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		C-2.1
		C-2.2
ARCHITECTURAL		
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AD1.2	1ST FLOOR DEMOLITION PLAN	C-4
AD1.3	2ND FLOOR DEMOLITION PLAN	C-5
AD2.1	EXISTING EXTERIOR ELEVATIONS	
AD2.2	EXISTING EXTERIOR ELEVATIONS	
A1.1	BASEMENT / FOUNDATION FLOOR PLAN	
A1.2	1ST FLOOR PLAN / WALL TYPES	
A1.3	2ND FLOOR/ ROOF PLAN	
A1.4	GARAGE PLANS	
A2.1	EXTERIOR ELEVATIONS	
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MEP		
ME1.0	MECHANICAL & ELECTRICAL PLANS	
ME1.1	MECHANICAL & ELECTRICAL PLANS	
ME1.2	MECHANICAL & ELECTRICAL PLANS	
ME2.1	ELECTRICAL NOTES & SCHEDULES	
P1.1	PLUMBING RISER DIAGRAMS	

APPLICABLE CODES

CURRENT GLENCOE ZONING ORDINANCE
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL RESIDENTIAL CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL FIRE CODE
2014 NATIONAL FIRE PREVENTION ASSOCIATION (NFPA) ELECTRIC CODE
2015 ILLINOIS ENERGY CONSERVATION CODE
CURRENT ILLINOIS STATE PLUMBING CODE
GLENCOE AMENDMENTS TO ADOPTED CODES

MATERIAL DESIGNATIONS

ELEVATION	PLAN/SECTION
	
CONCRETE	EARTH FILL
	
CERAMIC TILE	GRANULAR FILL
	
BRICK	CONCRETE
	
RUNNING BOND MASONRY	BRICK
	
STONE	CONCRETE BLOCK
	
WOOD BLOCKING	BOARD/RIGID INSULATION
	
FINISHED WOOD	LOOSE FILL/BATT INSULATION
	
PLYWOOD	GYP. BD./PLASTER BD.
	
METAL	

SYMBOLS

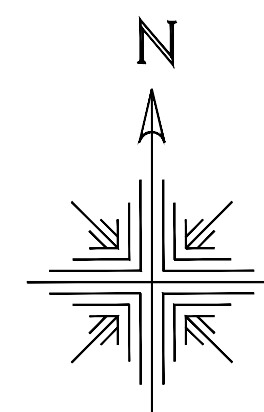
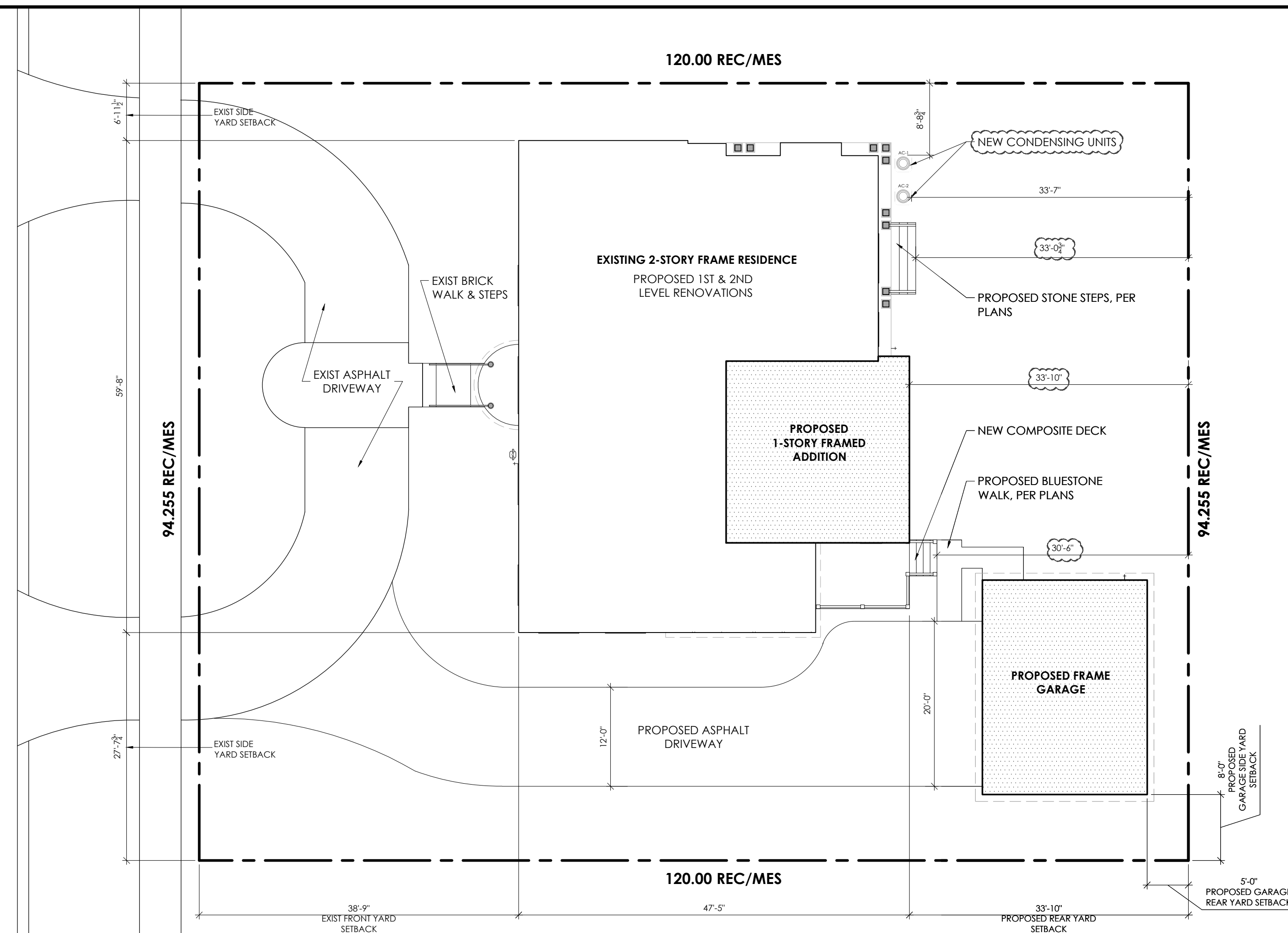
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	DETAIL TARGET: SECTION LETTER SHEET NUMBER		INTERIOR ELEVATION TARGET ELEVATION LETTER SHEET NUMBER
	INTERIOR DOOR TYPE		ROOM NUMBER
	NOTE		ELEVATION TAG
	EXTERIOR DOOR / WINDOW TYPE		REVISION CHANGES MADE BEFORE CONTRACT IS SIGNED.
	CENTER LINE		NORTH DESIGNATION
	SLOPE INDICATION		TRACK LIGHTING
	PARTITION TYPE		SINGLE POLE SWITCH
	NEW CONSTRUCTION		THREE WAY SWITCH
	NEW CONSTRUCTION PARTIAL HEIGHT		SWITCH ABOVE FINISHED FLOOR
	EXISTING WALL		DIMMER SWITCH
	WALL TO BE DEMOLISHED		DOWN LIGHT
	QUADRAPLEX FLOOR OUTLET		WALL WASHER
	DUPLEX FLOOR OUTLET		WALL SCONCE
	TELEPHONE FLOOR OUTLET		WALL SCONCE A.F.F. TO CENTER
	QUADRAPLEX RECEPTACLE		PENDANT LIGHT FIXTURE
	DUPLEX RECEPTACLE		CEILING LIGHT SOCKET
	DUPLEX RECEPTACLE A.A.F. TO CENTER		SMOKE DETECTOR
	GROUND FAULT INTERCEPT		CABLE TELEVISION OUTLET
	TELEPHONE OUTLET		CARBON DIOXIDE DETECTOR
	THERMOSTAT		TELEPHONE / CAT-6 DATA OUTLET

ABBREVIATIONS

AFB	ABOVE FINISHED FLOOR	LIN	LINOLEUM
ALT	ALTERNATE	L	LENGTH
AL	ALUMINUM	LW	LIGHTWEIGHT
ARCH	ARCHITECT	LTL	LINTEL
BLKG	BLOCKING	MFT	MANUFACTURER
BD	BOARD	MRB	MARBLE
BRK	BRICK	MAS	MASONRY
BLDG	BUILDING	MTL	MATERIALS
CPT	CARPET	MAX	MAXIMUM
CLG	CEILING	MECH	MECHANICAL
CT	CERAMIC TILE	MED	MEDIUM
CONC	CONCRETE	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MISC	MISCELLANEOUS
CONST	CONSTRUCTION	NOM	NOMINAL
CONT	CONTINUOUS OR CONTINUE	NIC	NOT IN CONTRACT
CPT	CARPET	NTS	NOT TO SCALE
DTL	DETAIL	OC	ON CENTER
DIAG	DIAGONAL	OPG	OPENING
DIAM	DIAMETER	OD	OUTSIDE DIMENSION
DIM	DIMENSION	OA	OVERALL
DR	DOOR	OH	OVERHEAD
DWG	DRAWING	PLAM	PLASTIC LAMINATE
E	EAST	R	RADIUS
ELEC	ELECTRIC/ELECTRICAL	REF	REFERENCE
REV	ELECTRICAL PANEL	REV	REVISION/REVISED
EL	ELEVATION	RFG	ROOFING
ETR	EXISTING TO REMAIN	RM	ROOM
EX	EXPOSED	SCH	SCHEDULE
FIN	FINISH/FINISHED	SCW	SOLID CORE WOOD
FLR	FLOOR/FLOORING	SPEC	SPECIFICATIONS
FUR	FURRED/FURRING	SST	STAINLESS STEEL
GC	GENERAL CONTRACTOR	ST	STAIN
GL	GLASS/GLAZING	STD	STANDARD
GYP BD	GYPSUM BOARD	STL	STEEL
HDW	HARDWARE	THK	THICK
HWD	HARDWOOD	T&G	TONGUE AND GROOVE
HVAC	HEATING/VENT/AIR CONDIT.	VAR	VARNISH
HT	HEIGHT	VCT	VINYL COMPOSITION TILE
HC	HOLLOW CORE	VF	VERIFY IN FIELD
HOR	HORIZONTAL	VT	VINYL TILE
ID	INSIDE DIAMETER	V8	VINYL BASE
INS	INSULATE/D/ION	WD	WOOD
INT	INTERIOR	WIN	WINDOW
KIT	KITCHEN	WP	WATERPROOFING
LAM	LAMINATE		
LH	LEFT HAND		

SITE PLAN

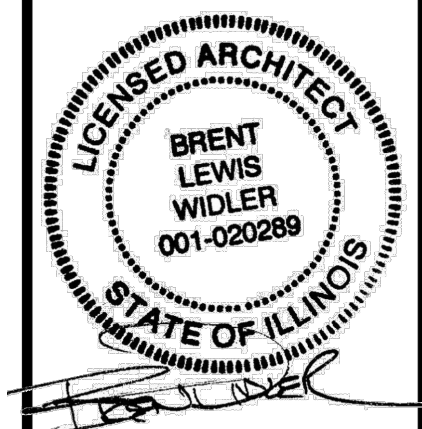
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DATE	ISSUE
05/13/22	ISSUE FOR PRICING
07/20/22	CLIENT REVIEW
07/22/22	PERMIT / PRICING
08/25/22	PRICING
10/03/2022	PERMIT
10/31/2022	FAR CALCULATIONS / PERMIT REVISIONS

THESE DRAWINGS HAVE
BEEN PREPARED AT AND/OR
UNDER MY DIRECT
SUPERVISION AND TO THE
BEST OF MY KNOWLEDGE
AND BELIEF CONFORM AND
WITH THE REQUIREMENTS
OF THE BUILDING
DEPARTMENT AND CODES
HAVING JURISDICTION.

10.03.2022
DATE



ARCHITECT
BRENT WIDLER
STATE OF ILLINOIS
LICENSED ARCHITECT
#001.020289
EXPIRATION DATE: 11.30.22

PROJECT NAME

**Lightbody
Residence**
1179 Lake St.
Glencoe, IL 60022

DRAWN BY
BW, JV, CC, CS

CHECKED BY
BW

DATE
10.03.2022

JOB NUMBER	21031
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SHEET NAME

COVER SHEET

SHEET NUMBER

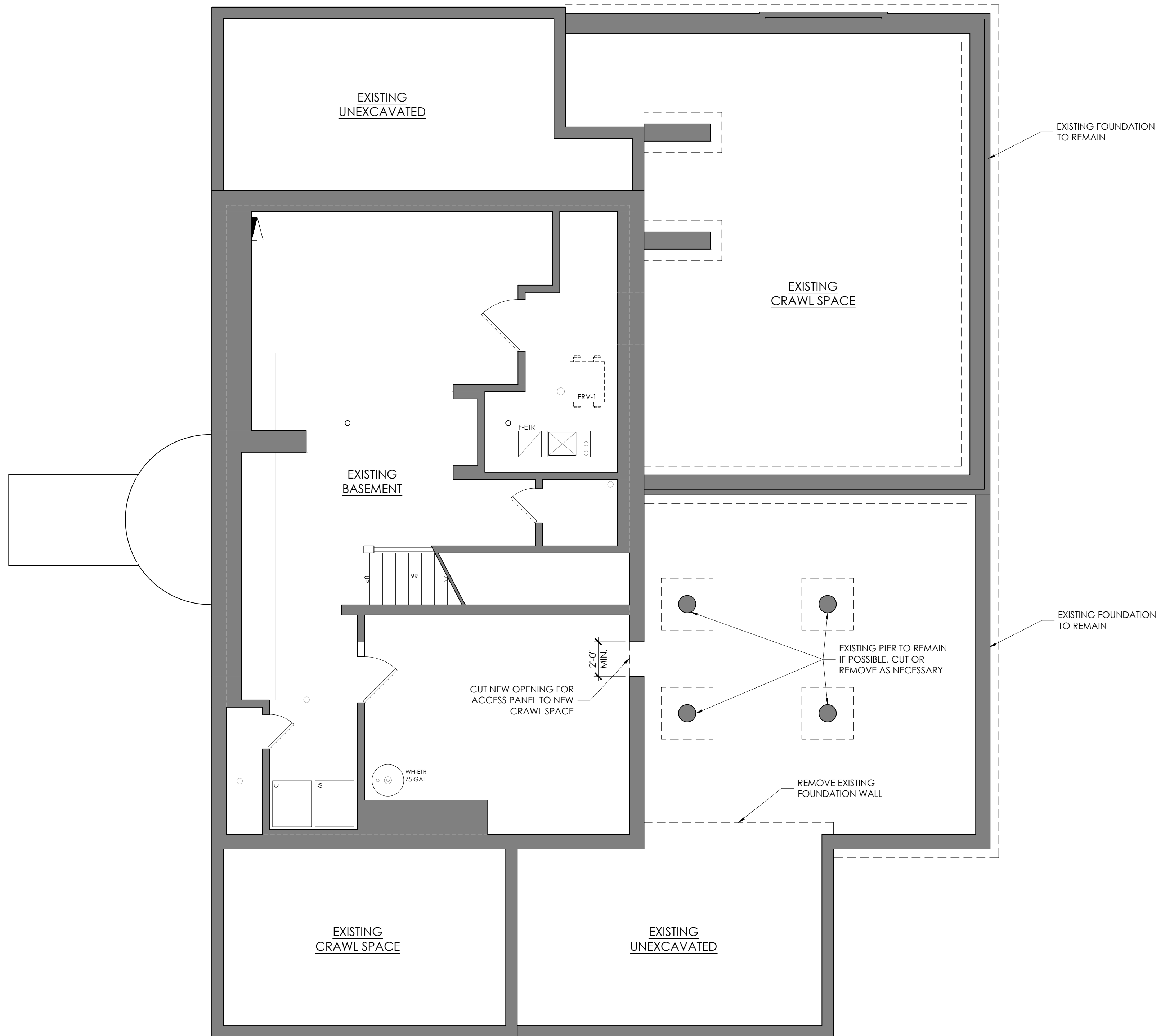
G0.0

DEMOLITION NOTES:

1. THE INTENT OF THE DEMOLITION PLANS IS TO SHOW THE GENERAL NATURE OF THE DEMOLITION SCOPE OF WORK & DESIGN INTENT TO ACHIEVE THE NEW WORK DESCRIBED WITHIN THE SPECIFICATIONS & THE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND VERIFYING ANY EXISTING FIELD CONDITIONS, INSPECT EXISTING EQUIPMENT, AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE SUBMISSION OF THEIR BID & CONSTRUCTION.
2. THE DEMOLITION NOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS IN FIELD AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION WORK IS COMPLETE AS REQUIRED FOR PROPOSED PLANS
3. REMOVE EXISTING CONSTRUCTION AND PERFORM DEMOLITION WORK AS NECESSARY TO PREPARE THE SITE FOR THE NEW WORK AS FURTHER DESCRIBED IN THE PROJECT SPECIFICATIONS AND DRAWINGS.
4. REMOVE ALL DEMOLISHED MATERIALS FROM SITE IMMEDIATELY.
4. MAINTAIN EXIT AND ACCESS WAYS IN A CLEAN, UNOBSTRUCTED, AND PROPERLY ILLUMINATED MANNER AT ALL TIMES. ALL WORK ACTIVITIES TO BE CONDUCTED ACCORDING TO OSHA STANDARDS.
5. PROTECT SPACES & WORK TO REMAIN FREE FROM DUST, NOISE, AND DAMAGE. PROVIDE TEMPORARY ENCLOSURE TO INSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO THE INTERIOR AREA OR STRUCTURE. MAINTAIN SITE IN A CLOSED AND SECURED MANNER TO PREVENT THEFT, VANDALISM, AND UNAUTHORIZED ENTRY.
6. DEMOLITION WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - 6.1. ABANDONED WIRING, PIPING, CONDUITS, FIXTURES, PANELS, AND DEVICES.
 - 6.2. PARTITIONS AND FINISHES AS NOTED ON PLANS.
 - 6.3. CLIPS, BRACKETS, SUPPORTS, HANGERS, ETC. WHICH ARE NOT A PART OF AN ASSEMBLY TO REMAIN.
 - 6.4. ALL FINISHED FLOORING & DAMAGED SUBFLOORING.
7. ITEMS TO SALVAGE OR PROTECT SHALL INCLUDE (COORDINATE/VERIFY WITH OWNER):
 - 7.1. ALL BATHROOM FIXTURES & KITCHEN APPLIANCES. COORDINATE/VERIFY WITH OWNER PRIOR TO ANY DEMOLITION.
 - 7.2. AS NOTED ON DRAWINGS.
8. GC AND/OR DEMOLITION CONTRACTOR TO REVIEW DEMOLITION WITH ARCHITECT & OWNER ON SITE, PRIOR TO PERFORMING ANY DEMOLITION WORK. CONTRACTOR SHALL VERIFY ALL BEARING CONDITIONS & PROVIDE SHORING AND BRACING AS REQ'D PRIOR TO REMOVAL OF ALL ITEMS.
9. ALL PLUMBING AND ELECTRICAL ITEMS TO BE REMOVED SHALL BE CAPPED OR REROUTED IN EXISTING OR NEW WALLS OR BENEATH THE FLOOR, TO MEET OR EXCEED LOCAL CODE.
10. GENERAL CONTRACTOR RESPONSIBLE TO STORE & PROTECT ALL ITEMS TO BE SALVAGED & REUSED PER THE SPECIFICATIONS & DRAWINGS AS WELL AS ITEMS NOTED DURING WALK-THROUGH PRIOR TO BID & CONSTRUCTION.
11. PATCH AND REPAIR ALL EXISTING CEILINGS, PARTITIONS, AND FLOORS DISTURBED FOR NEW WORK AND FINISH AS REQ'D TO ITS ORIGINAL APPEARANCE.
12. PROTECT ANY TREES, SHRUBS, PLANTS, ETC THAT ARE TO REMAIN AND ARE NOT SCHEDULE TO BE PART OF DEMOLITION.

DEMOLITION LEGEND:

- NEW WALLS TO REMAIN.
- EXISTING WALLS & FINISHES TO BE REMOVED.
- LOAD BEARING WALL
- NO WORK THIS AREA.



1 BASEMENT - DEMOLITION PLAN
SCALE: 1/4"=1'-0"



DATE	ISSUE
05.13.22	ISSUE FOR PRICING
07.20.22	CLIENT REVIEW
07.22.22	PERMIT / PRICING
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10.03.2022	PERMIT
10.31.2022	FOR CALCULATIONS / PERMIT REVISIONS

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10.03.2022
DATE

BRENT LEWIS WIDLER
001-020289
STATE OF ILLINOIS
LICENSED ARCHITECT

ARCHITECT
BRENT WIDLER
STATE OF ILLINOIS
LICENSED ARCHITECT
#001.020289
EXPIRATION DATE: 11.30.22

PROJECT NAME

Lightbody Residence
179 Lake St.
Glencoe, IL 60022

DRAWN BY BW, JV, CC, CS
CHECKED BY BW
DATE 10.03.2022
JOB NUMBER 21031

SHEET NAME

BASEMENT
DEMOLITION PLAN

SHEET NUMBER

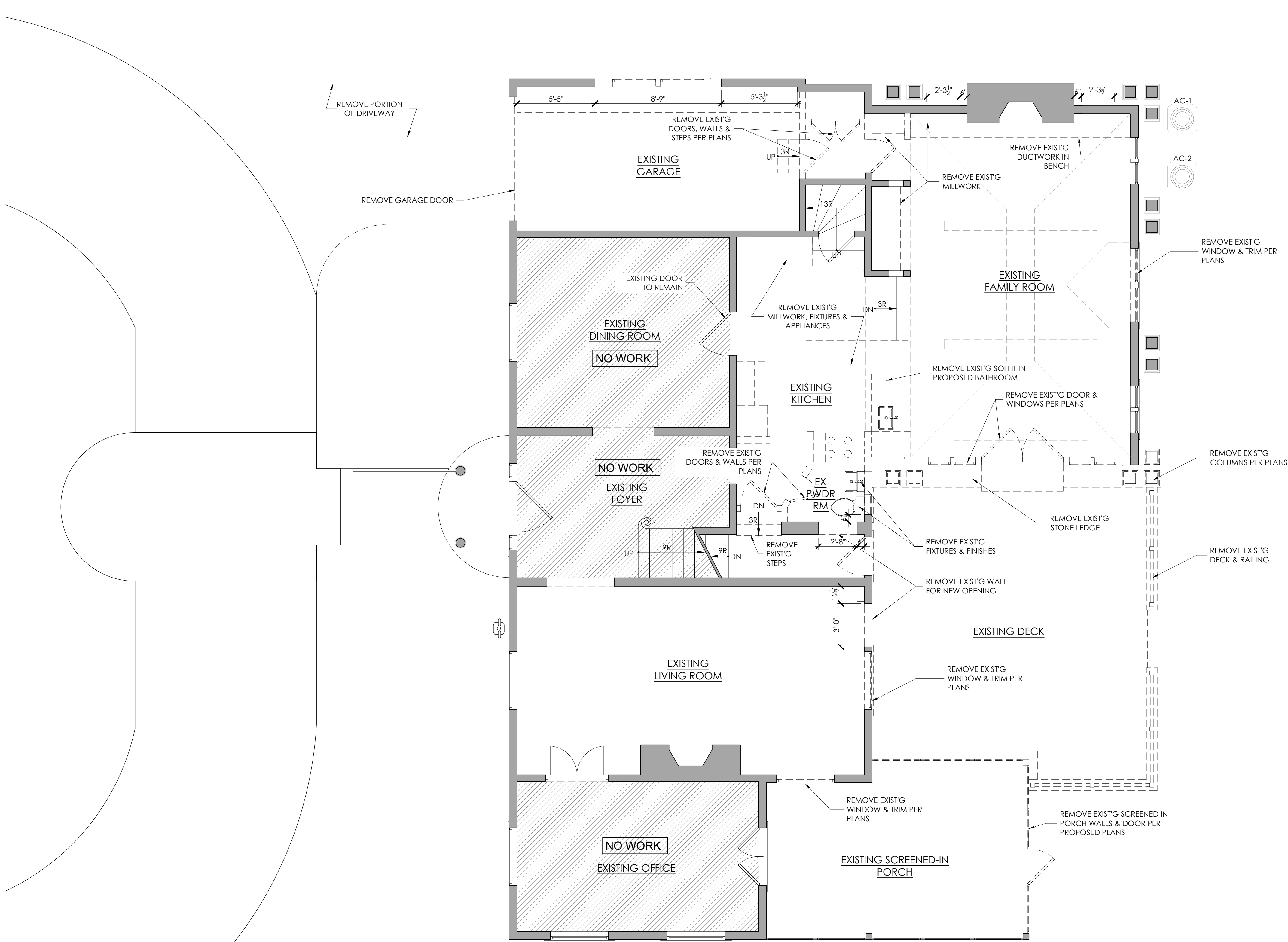
AD1.1

DEMOLITION NOTES:

1. THE INTENT OF THE DEMOLITION PLANS IS TO SHOW THE GENERAL NATURE OF THE DEMOLITION SCOPE OF WORK & DESIGN INTENT TO ACHIEVE THE NEW WORK DESCRIBED WITHIN THE SPECIFICATIONS & THE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND VERIFYING ANY EXISTING FIELD CONDITIONS, INSPECT EXISTING EQUIPMENT, AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE SUBMISSION OF THEIR BID & CONSTRUCTION.
2. THE DEMOLITION NOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS IN FIELD AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION WORK IS COMPLETE AS REQUIRED FOR PROPOSED PLANS
3. REMOVE EXISTING CONSTRUCTION AND PERFORM DEMOLITION WORK AS NECESSARY TO PREPARE THE SITE FOR THE NEW WORK AS FURTHER DESCRIBED IN THE PROJECT SPECIFICATIONS AND DRAWINGS.
4. REMOVE ALL DEMOLISHED MATERIALS FROM SITE IMMEDIATELY.
4. MAINTAIN EXIT AND ACCESS WAYS IN A CLEAN, UNOBSTRUCTED, AND PROPERLY ILLUMINATED MANNER AT ALL TIMES. ALL WORK ACTIVITIES TO BE CONDUCTED ACCORDING TO OSHA STANDARDS.
5. PROTECT SPACES & WORK TO REMAIN FREE FROM DUST, NOISE, AND DAMAGE. PROVIDE TEMPORARY ENCLOSURE TO INSURE THAT NO WATER LEAKAGE OR DAMAGE OCCURS TO THE INTERIOR AREA OR STRUCTURE. MAINTAIN SITE IN A CLOSED AND SECURED MANNER TO PREVENT THEFT, VANDALISM, AND UNAUTHORIZED ENTRY.
6. DEMOLITION WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
6.1. ABANDONED WIRING, PIPING, CONDUITS, FIXTURES, PANELS, AND DEVICES.
6.2. PARTITIONS AND FINISHES AS NOTED ON PLANS.
6.3. CLIPS, BRACKETS, SUPPORTS, HANGERS, ETC. WHICH ARE NOT A PART OF AN ASSEMBLY TO REMAIN.
6.4. ALL FINISHED FLOORING & DAMAGED SUBFLOORING.
7. ITEMS TO SALVAGE OR PROTECT SHALL INCLUDE (COORDINATE/VERIFY WITH OWNER):
7.1. ALL BATHROOM FIXTURES & KITCHEN APPLIANCES. COORDINATE/VERIFY WITH OWNER PRIOR TO ANY DEMOLITION.
7.2. AS NOTED ON DRAWINGS.
8. GC AND/OR DEMOLITION CONTRACTOR TO REVIEW DEMOLITION WITH ARCHITECT & OWNER ON SITE, PRIOR TO PERFORMING ANY DEMOLITION WORK. CONTRACTOR SHALL VERIFY ALL BEARING CONDITIONS & PROVIDE SHORING AND BRACING AS REQ'D PRIOR TO REMOVAL OF ALL ITEMS.
9. ALL PLUMBING AND ELECTRICAL ITEMS TO BE REMOVED SHALL BE CAPPED OR ROUTED IN EXISTING OR NEW WALLS OR BENEATH THE FLOOR, TO MEET OR EXCEED LOCAL CODE.
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- LOAD BEARING WALL
- NO WORK THIS AREA.



1 1ST FLOOR - DEMOLITION PLAN

SCALE: 1/4"=1'-0"



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10.03.2022
DATE



ARCHITECT
BRENT WIDLER
STATE OF ILLINOIS
LICENSED ARCHITECT
#001-020289
EXPIRATION DATE: 11.30.22

PROJECT NAME

Lightbody
Residence
179 Lake St.
Glencoe, IL 60022

DRAWN BY
BW, JV, CC, CS

CHECKED BY
BW

DATE
10.03.2022

JOB NUMBER
21031

SHEET NAME

1ST FLOOR
DEMOLITION PLAN

SHEET NUMBER

AD1.2

DEMOLITION NOTES:

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4. REMOVE ALL DEMOLISHED MATERIALS FROM SITE IMMEDIATELY.

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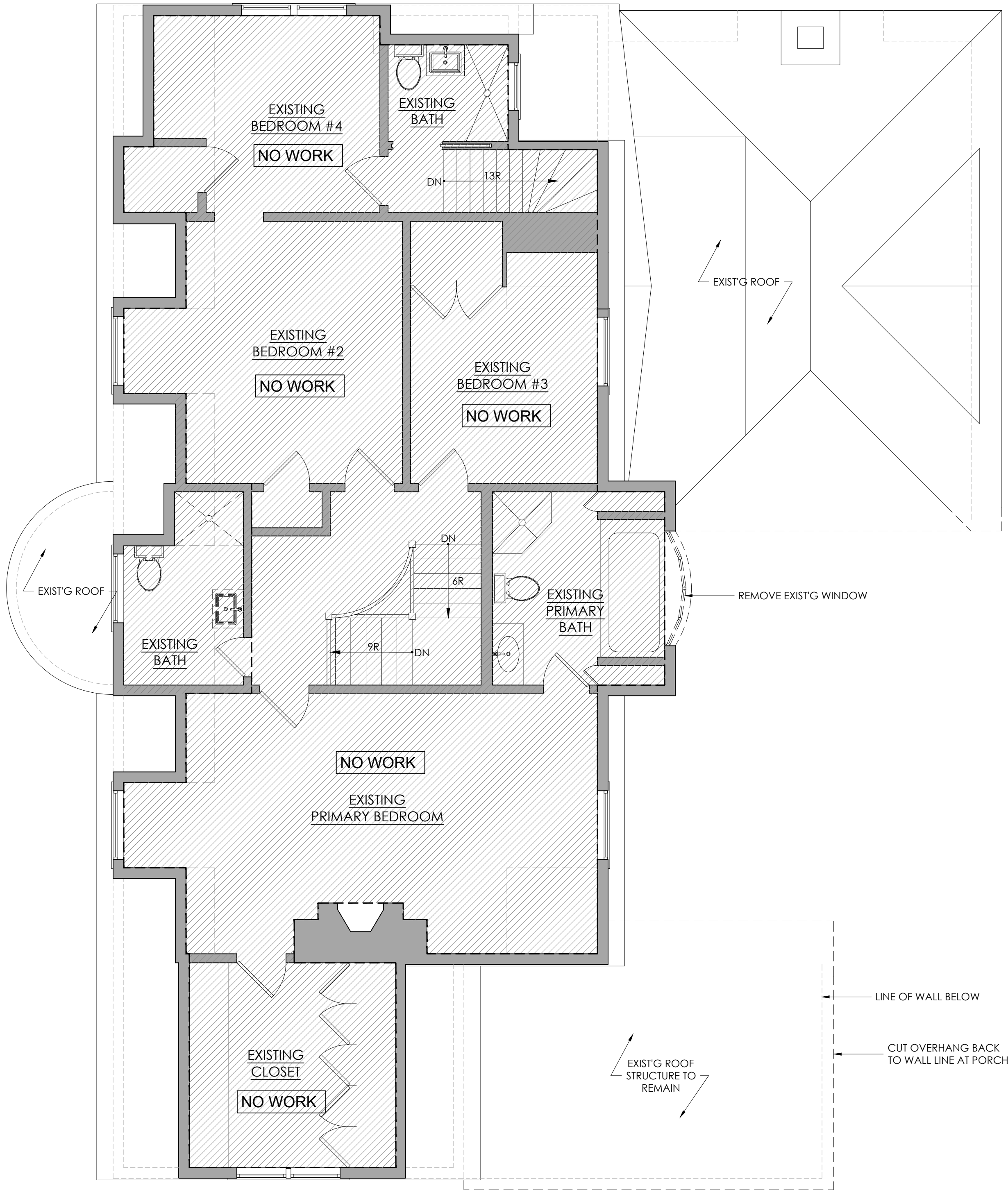
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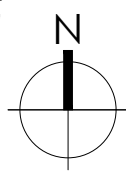


1 2ND FLOOR - DEMOLITION PLAN

SCALE: 1/4"=1'-0"



1 INCH = 4 FEET



WIDLER ARCHITECTURE
26 W. St. Charles Rd. #205, Lombard, IL 60148
P (630) 413-9503
www.widlerarch.com

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Glencoe, IL 60022

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CHECKED BY
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JOB NUMBER
21031

SHEET NAME

2ND FLOOR
DEMOLITION PLAN

SHEET NUMBER

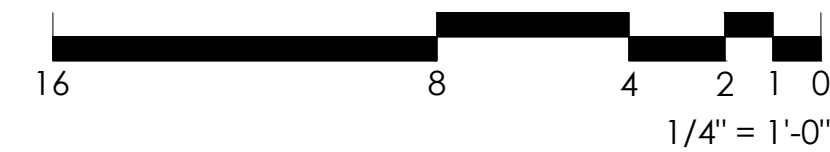
AD1.3



2 SOUTH - ELEVATION
SCALE: 1/4"=1'-0"



1 WEST- ELEVATION
SCALE: 1/4"=1'-0"



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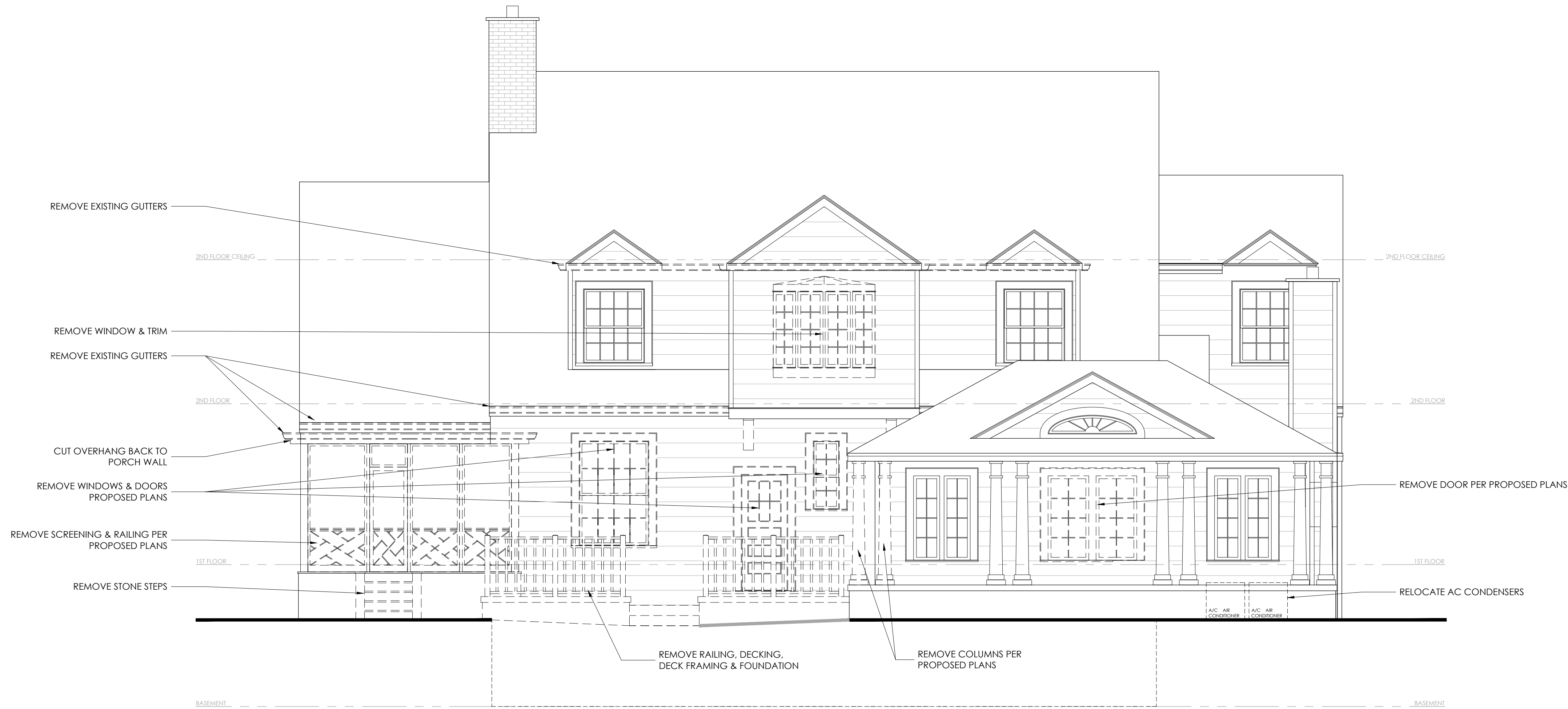
CHECKED BY
BW

DATE
10.03.2022

JOB NUMBER
21031

SHEET NAME
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER
AD2.1



2 EAST - ELEVATION
SCALE: 1/4"=1'-0"



1 NORTH - ELEVATION
SCALE: 1/4"=1'-0"



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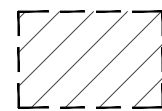

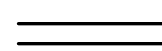
SHEET NAME

EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER

AD2.2

FLOOR PLAN LEGEND:

-  - NO WORK THIS AREA, **EXISTING TO REMAIN**
-  - EXISTING WALL TO REMAIN
-  - NEW WALL PER WALL TYPES OR AS NOTED

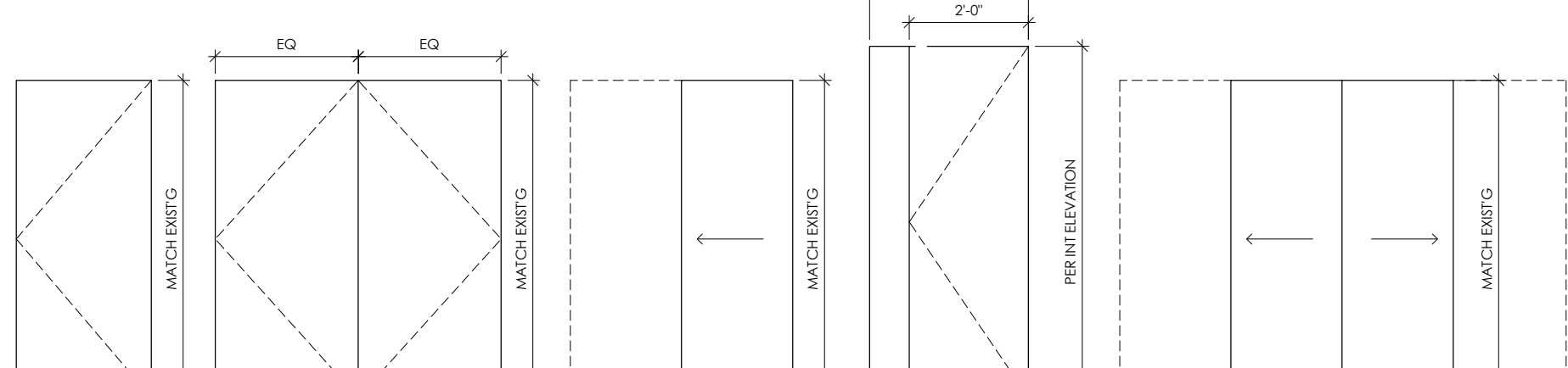
FOUNDATION PLAN GENERAL NOTES:

- SILL ANCHOR BOLTS TO BE 3/4" DIA, 10" MIN. IN LENGTH AND A MIN. OF 7" EMBEDDED IN CONCRETE. PROVIDE WASHER UNDER NUTS ON BOLT. SPACING TO BE NO MORE THAN 6' O.C. AND W/IN 12" OF ENDS. MIN. OF 2 BOLTS IN EACH SIDE.
- NEW CONCRETE FOUNDATION WALL TO HAVE SPRAY ON DAMPROOFING APPLIED.
- ASSUMED ALLOWABLE SOIL BEARING CAPACITY 3,000PPS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR PLAN GENERAL NOTES:

- ALL RECEPTACLES, OUTLETS, LIGHTING OUTLETS AND SMOKE DETECTORS INSTALLED IN BEDROOMS TO BE AFCI PROTECTED.
- ALL NEW EXTERIOR DOORWAYS TO HAVE FOLDED END DAMN FLASHING.
- AT ALL OPENINGS, CUT HOUSE WRAP AT PERIMETER OF WINDOW/OPENING. IT IS NOT TO WRAP JAMBS, SILL OR HEADER. AT SILL, INSTALL A 9" WIDE STRIP OF DUPONT FLEXWRAP THAT IS 12" LONGER THAN SILL LENGTH. USE SELF TAPPING WRAP CAP SCREWS TO HOLD DOWN THE EDGE OF THE CORNERS. INSTALL 9" STRIPS OF DUPONT STRAIGHTFLASH INTO THE JAMBS AND HEADER. THE JAMB FLASHING SHOULD OVERLAP SILL FLASHING BY A MIN. OF 2". THE HEAD FLASHING SHOULD OVERLAY THE TOP OF THE JAMB FLASHING BY 6".
- ALL CLOSETS TO RECEIVE 1 WD SHELF AND ROD UNLESS NOTED DIFFERENTLY.
- ALL STAIRS + RAILINGS: 10" W/ TREAD, DEPTH MEASURED FROM NOSING TO NOSING. NOISING NO LESS THAN 3/4" & NOT TO EXCEED 1 1/4". GUARDRAIL HT. +42". HANDRAIL HT. 34" (ON WALL SIDE). BALUSTER/INTERMEDIATE RAIL SPACING ON ALL GUARDRAILS MUST BE SPACED 4" O.C. MAX VERTICALLY.
- ALL EXTERIOR RECEPTACLE OUTLETS REQUIRE WEATHERPROOF COVERS.
- RECEPTACLE OUTLET SPACING TO COMPLY WITH NEC ARTICLES 210.52(A) AND 210.52 (C).
- ALL BATT INSULATION TO BE RESNET GRADE 1 INSTALLATION QUALITY.**
- A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE PREDOMINATE R-VALUES OF INSULATION INSTALLED IN THE CEILINGS, WALLS, FOUNDATION AND DUCTS OUTSIDE OF CONDITIONED SPACE; U-FACTORS FOR WINDOWS AND SKYLIGHTS; AND THE RESULTS FROM ANY REQUIRED DUCT AND BUILDING ENVELOPE TESTING. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.
- THE INSULATION INSTALLER SHALL PROVIDE A CERTIFICATION LISTING THE TYPE, MANUFACTURE AND R-VALUE OF INSULATION INSTALLED IN EACH ELEMENT OF THE BUILDING THERMAL ENVELOPE. THE INSTALLER SHALL SIGN, DATE AND POST THE CERTIFICATION IN A CONSPICUOUS LOCATION.
- ALL RAISED WALKING SURFACES, DECKS AND LANDINGS THAT ARE GREATER THAN 8" ABOVE GRADE REQUIRES A GUARD AT LEAST 36" IN HEIGHT, WHERE GREATER THAN 30" ABOVE GRADE, THE GUARD SHALL BE A MINIMUM OF 42".

DOOR LEGEND:



TYPE A SWING
TYPE B SWING - PAIR
TYPE C POCKET
TYPE D TEMPERED GLASS SHOWER & SURROUND. SEE PLANS FOR EXACT CONFIGURATION
TYPE E POCKET-PAIR

DOOR NOTES:
-ALL DOORS TO MATCH EXISTING 1-3/8" THICK SOLID-CORE WOOD DOOR (1-3/4" THICK @ ALL BEDROOM DOORS) w/ WOOD FRAME, STAIN GRADE UNO.
-REFER TO PLANS FOR DOOR HAND & QUANTITIES.

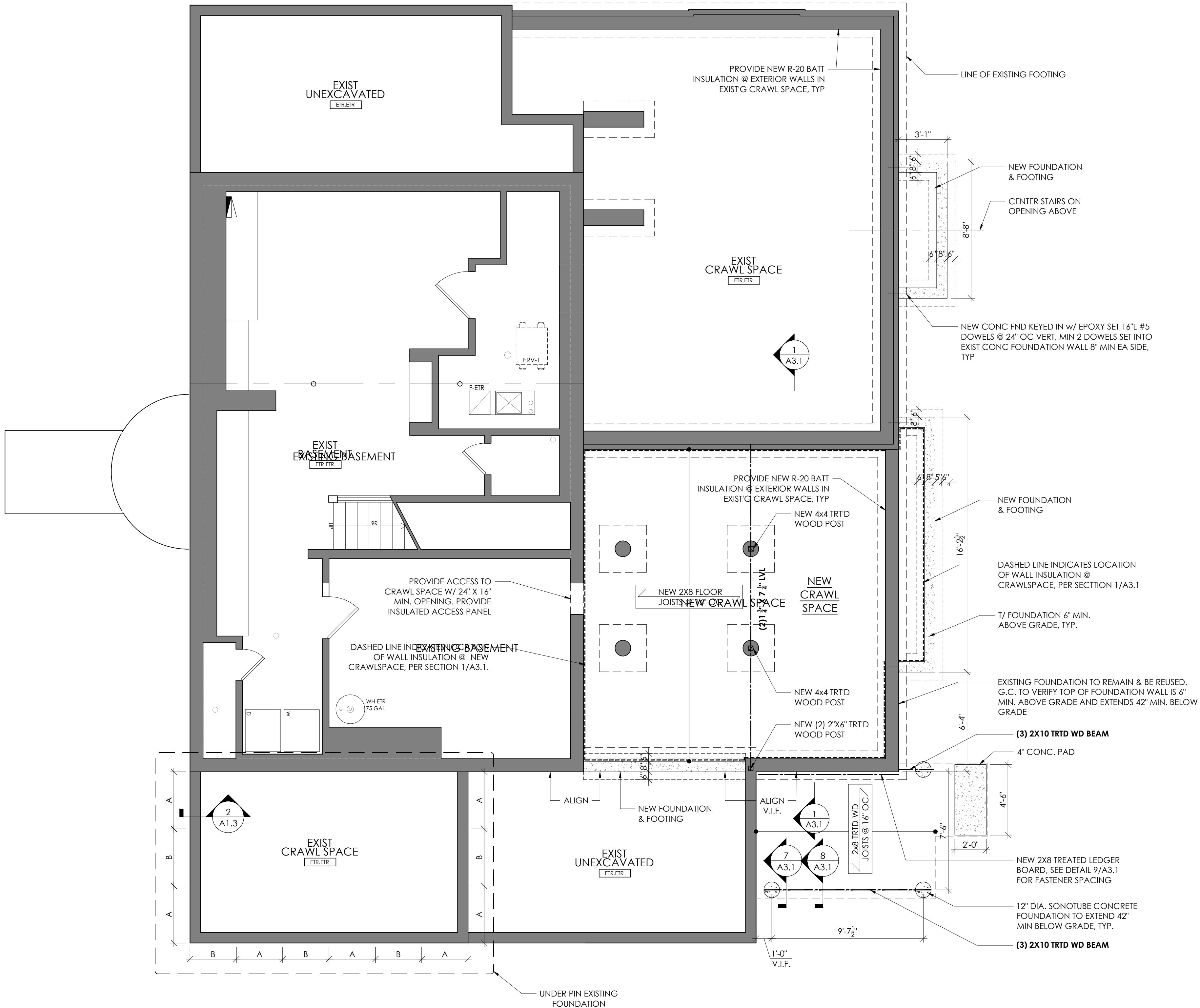
DOOR KEY:
FIRST LETTER = DOOR TYPE
NUMBERS = DOOR WIDTH IN INCHES.

NOTE FOR SEQUENCE OF EXCAVATION & UNDERPINNING

1. EXCAVATE BENEATH EXISTING FOOTING AND FOUNDATION WALL IN MAXIMUM OF 3 FT LONG SECTIONS & SKIPPING ONE SECTION. REFER TO A/B SECTIONS ON FOUNDATION PLAN. EXCAVATE & POUR ALL "A" SECTIONS FIRST. AFTER COMPLETION, EXCAVATE AND POUR ALL "B" SECTIONS.

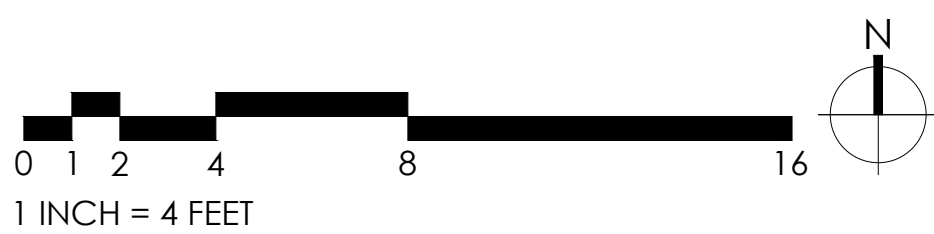
INTERIOR FINISH SCHEDULE

FINISH PACKAGES		
FP-1		
TAG	DESCRIPTION	
F1	HW	MATCH EXIST'G, TYP
B1	WD WALL BASE, FINISH BY OWNER	MATCH EXIST'G, TYP
WT1	WINDOW TRIM	MATCH EXIST'G, TYP
DT1	DOOR TRIM	MATCH EXIST'G, TYP
C1	CROWN MOLDING	MATCH EXIST'G, TYP
FP-2		
TAG	DESCRIPTION	MODEL/TYPE
F2	CERAMIC OR PORCELAIN TILE, BY OWNER	SELECTION BY OWNER
B1	WD WALL BASE, FINISH BY OWNER	SELECTION BY OWNER
WT1	WINDOW TRIM	SELECTION BY OWNER
DT1	DOOR TRIM	SELECTION BY OWNER
C1	CROWN MOLDING	SELECTION BY OWNER
FP-3		
TAG	DESCRIPTION	MODEL/TYPE
F3	RUBBER GYM FLOORING	SELECTION BY OWNER
B1	WD WALL BASE, FINISH BY OWNER	SELECTION BY OWNER
WT1	WINDOW TRIM	SELECTION BY OWNER
DT1	DOOR TRIM	SELECTION BY OWNER
C1	CROWN MOLDING	NONE



1 BASEMENT - FOUNDATION PLAN

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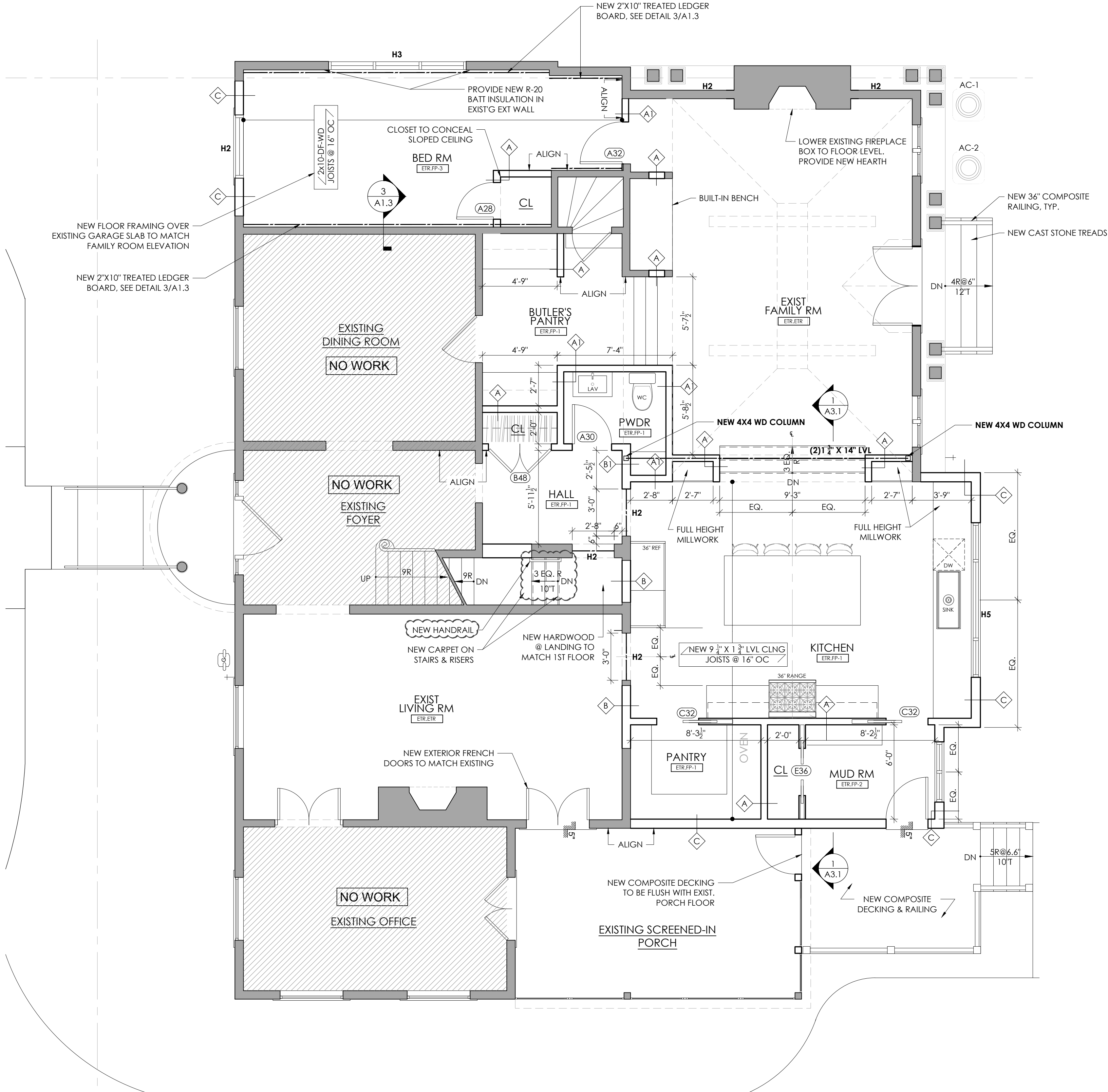
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SHEET NAME BASEMENT/ FOUNDATION PLAN
SHEET NUMBER A1.1

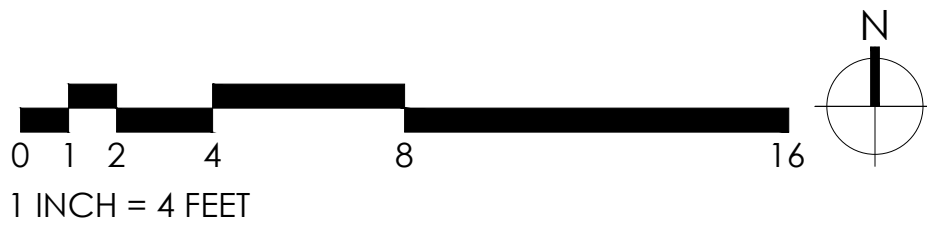
WALL SCHEDULE:

<p>2x4 WD STUDS @ 16" OC, w/ FIREBLOCKING MATERIAL AS REQ'D</p> <p>5/8" TYPE 'X' GYP BD EACH SIDE, USE CEMENT BOARD (DUROCK OR EQ) @ ALL WET LOCATIONS, TYP</p> <p>*GYP, ONLY ON FINISHED SIDE OF INTERIOR ATTIC WALLS</p> <p>5/8" 5/8" 4 3/4" 3 1/2"</p>	<p>2x4 WD STUDS @ 16" OC, w/ FIREBLOCKING MATERIAL AS REQ'D</p> <p>SOUND BATT INSULATION</p> <p>5/8" TYPE 'X' GYP BD EACH SIDE, USE CEMENT BOARD (DUROCK OR EQ) @ ALL WET LOCATIONS, TYP</p> <p>*GYP, ONLY ON FINISHED SIDE OF INTERIOR ATTIC WALLS</p> <p>5/8" 5/8" 4 3/4" 3 1/2"</p>
<p>A INTERIOR PARTITION</p> <p>2x4 WALL</p> <p>BEARING & NON-BEARING</p> <p>UL: NR</p>	<p>A1 INTERIOR PARTITION</p> <p>2x4 WALL W/ INSULATION</p> <p>BEARING & NON-BEARING</p> <p>UL: NR</p>
<p>2x6 WD STUDS @ 16" OC, w/ FIREBLOCKING MATERIAL AS REQ'D</p> <p>5/8" TYPE 'X' GYP BD EACH SIDE, USE CEMENT BOARD (DUROCK OR EQ) @ ALL WET LOCATIONS, TYP</p> <p>*GYP, ONLY ON FINISHED SIDE OF INTERIOR ATTIC WALLS</p> <p>5/8" 5 1/2" 5/8" 6 3/4"</p>	<p>2x6 WD STUDS @ 16" OC, w/ FIREBLOCKING MATERIAL AS REQ'D</p> <p>SOUND BATT INSULATION</p> <p>5/8" TYPE 'X' GYP BD EACH SIDE, USE CEMENT BOARD (DUROCK OR EQ) @ ALL WET LOCATIONS, TYP</p> <p>*GYP, ONLY ON FINISHED SIDE OF INTERIOR ATTIC WALLS</p> <p>5/8" 5 1/2" 5/8" 6 3/4"</p>
<p>B INTERIOR PARTITION</p> <p>2x6 WALL</p> <p>BEARING & NON-BEARING</p> <p>UL: NR</p>	<p>B1 INTERIOR PARTITION</p> <p>2x6 WALL W/ INSULATION</p> <p>BEARING & NON-BEARING</p> <p>UL: NR</p>
<p>COMPOSITE SIDING TO MATCH EXIST.</p> <p>7/16" ZIP PANEL SHEATHING</p> <p>FIBERGLASS BATT INSULATION, R-20 MIN.</p> <p>CLASS I VAPOR RETARDER</p> <p>2x6 WD STUD @ 16" OC W/ FIREBLOCKING MATERIAL AS REQ'D</p> <p>(1) ONE LAYER 5/8 TYPE 'X' GYP BD</p> <p>5/8" 5 1/2" 5/16" 7/16" +/- 7 1/8"</p>	
<p>C EXT - COMPOSITE SIDING</p> <p>NEW CONST</p> <p>1 HR</p> <p>UL: U303</p>	



1 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



WIDLER ARCHITECTURE
24 W. St. Charles Rd. #205, Lombard, IL 60148
P (630) 413-9503
www.widlerarch.com

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10.03.2022

DATE

LICENSED ARCHITECT

BRENT LEWIS WIDLER

001-020289

STATE OF ILLINOIS

ARCHITECT

BRENT WIDLER

STATE OF ILLINOIS

LICENSED ARCHITECT

#001.020289

EXPIRATION DATE: 11.30.22

PROJECT NAME

Lightbody Residence

179 Lake St.

Glencoe, IL 60022

DRAWN BY	BW, JV, CC, CS
CHECKED BY	BW
DATE	10.03.2022
JOB NUMBER	21031

SHEET NAME

1ST FLOOR PLAN - WALL TYPES

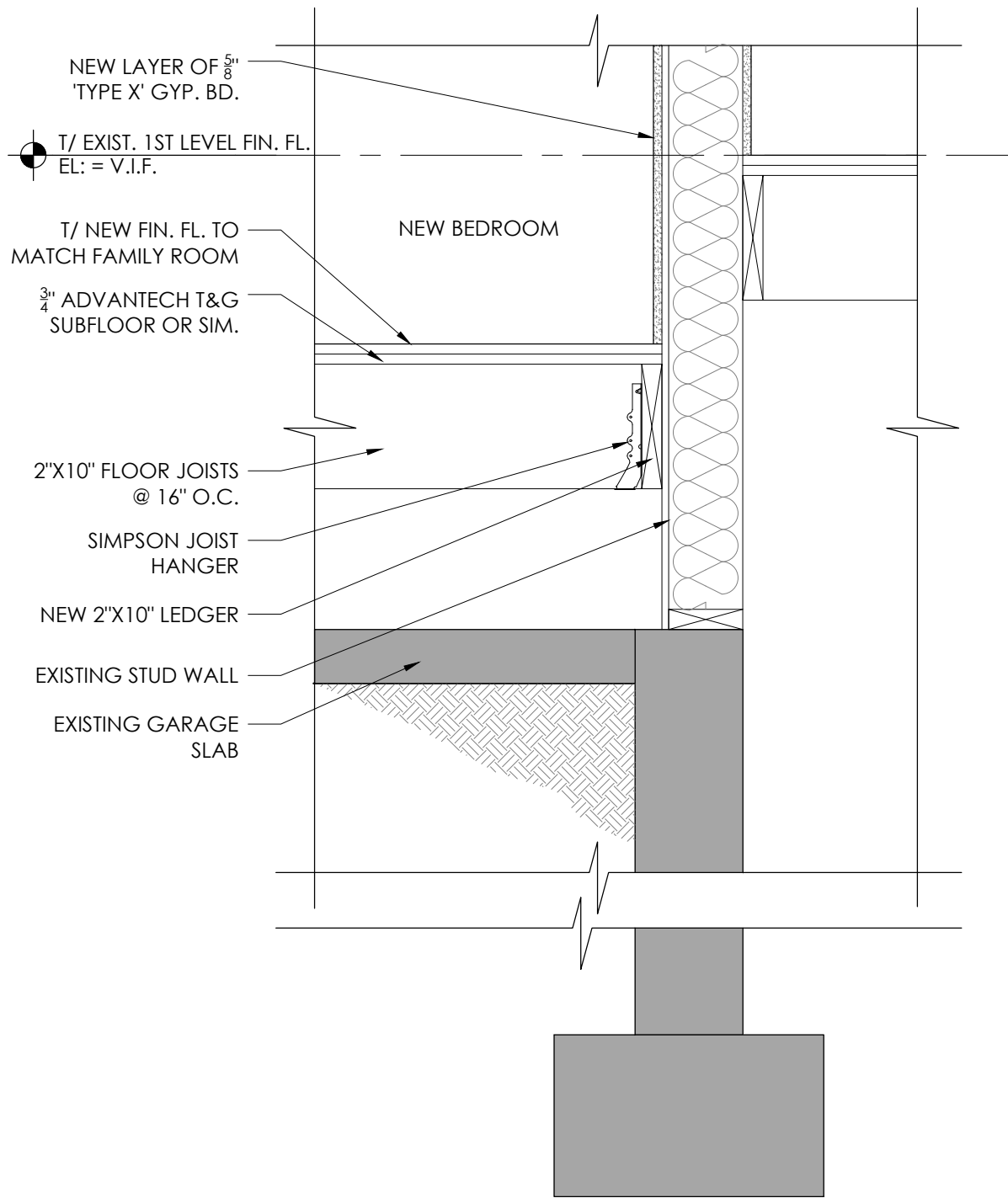
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A1.2

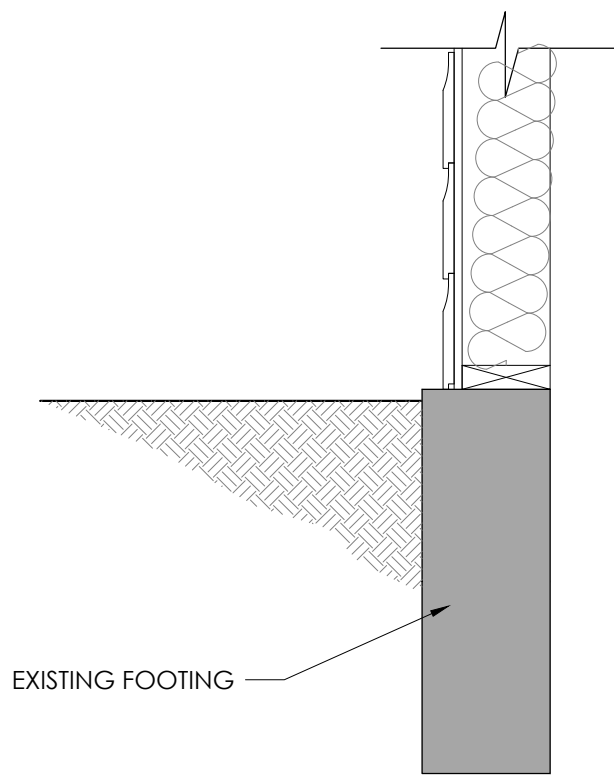
HEADER / LINTEL SCHEDULE				
MARK	SIZE	CONNECTION TO JAMB STUD	JACK STUDS	KING STUDS
H1	(2)-2 x 6	Simpson H4	(2) 2 x 4	(1) 2 x 4
H2	(2)-2 x 8	Simpson H4	(2) 2 x 4	(1) 2 x 4
H3	(2)-2 x 10	Simpson H4	(2) 2 x 6	(1) 2 x 4
H4	(2)-2 x 12	Simpson H4	(2) 2 x 4	(1) 2 x 4
H5	(2)-1 3/4" X 7 1/4" LVL	Simpson H4	(3) 2 x 4	(1) 2 x 4
H6	(2)-1 3/4" X 9 1/4" LVL	Simpson H4	(3) 2 x 4	(1) 2 x 4
1. MINIMUM HEADER SIZE IS INDICATED. ADDITIONAL AND/OR DEEPER MEMBERS MAY BE ADDED TO FILL OUT STUD SPACE OR OTHERWISE SIMPLIFY FRAMING PROCEDURES.				
2. NAIL HEADER MEMBERS W/(3)-ROWS 10d NAILS @ 12" OC EACH FACE.				
3. NAIL HEADER MEMBERS W/(2)-ROWS 10d NAILS @ 12" OC EACH FACE.				
4. (4)- 5/8" DIA BOLTS TO BEAM, (2)- DIA BOLTS POST.				
5. BASE OF POST TO HAVE SIMPSON ABU66 POST BASE W/ 5/8"DIA ANCHOR BOLT.				
6. ALL 2 X 10 & 2 X 12 TO BE MINIMUM #2 SPF.				
7. ALL HEADERS TO BE (2) 2X8 UNLESS OTHERWISE NOTED				

NON-LOAD BEARING PARTITION WALL HEADER SCHED.	
SIZE	MAX R.O.
(2) 2x6	4'-6"
(2) 2x8	7'-0"
(2) 2x10	10'-0"
(2) 2x12	14'-0"

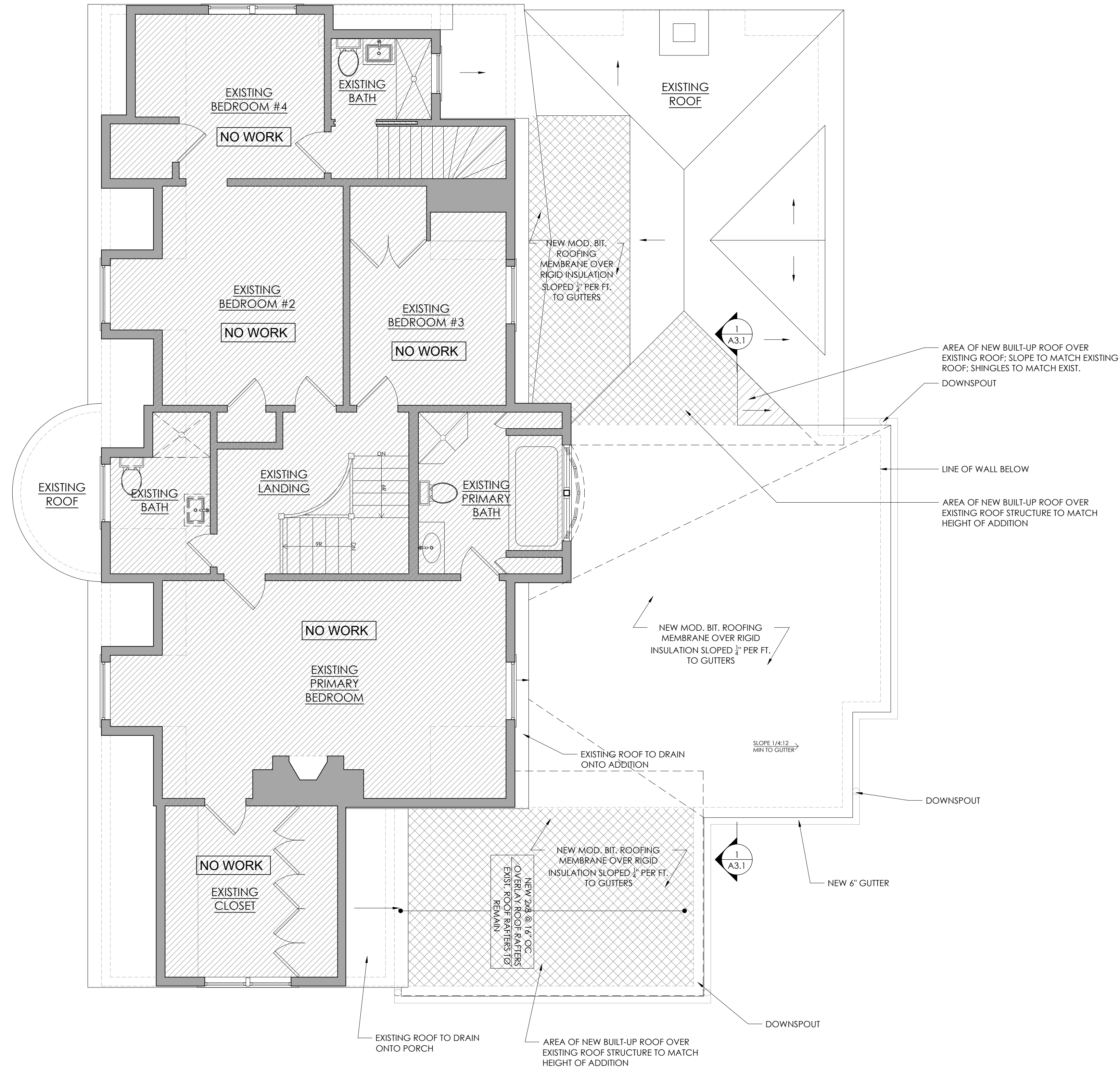
NOTE: CONTRACTOR TO VERIFY ALL FRAMING AND CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.
IF DISCREPANCIES WITH STRUCTURAL DETAILS CONTACT S.E./ARCHITECT BEFORE PROCEEDING.



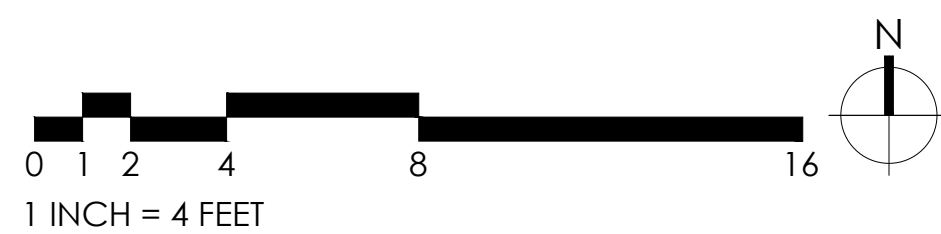
3 NEW FLOOR SECTION DETAIL
SCALE: 1"=1'-0"



2 UNDERPINNING DETAIL
SCALE: 1"=1'-0"



1 2ND FLOOR/ ROOF PLAN
SCALE: 1/4"=1'-0"



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LICENSED ARCHITECT
BRENT LEWIS
WIDLER
001-020289
STATE OF ILLINOIS

ARCHITECT
BRENT WIDLER
STATE OF ILLINOIS
LICENSED ARCHITECT
#001.020289
EXPIRATION DATE: 11.30.22

PROJECT NAME

Lightbody
Residence
179 Lake St.
Glencoe, IL 60022

DRAWN BY BW, JV, CC, CS
CHECKED BY BW
DATE 10.03.2022
JOB NUMBER 21031

SHEET NAME 2ND FLOOR/ ROOF PLAN
SHEET NUMBER A1.3

DATE	ISSUE
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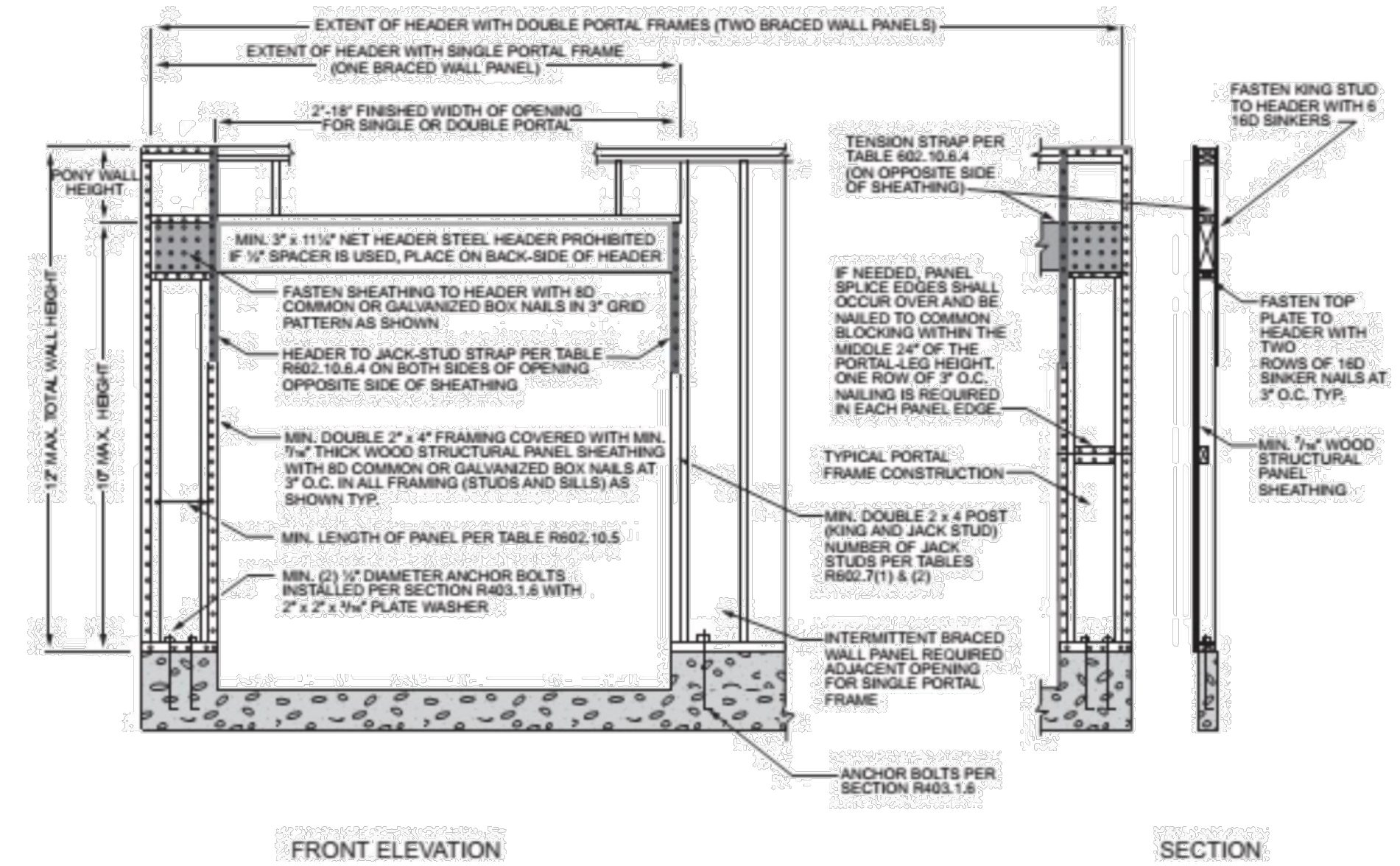
JOB NUMBER
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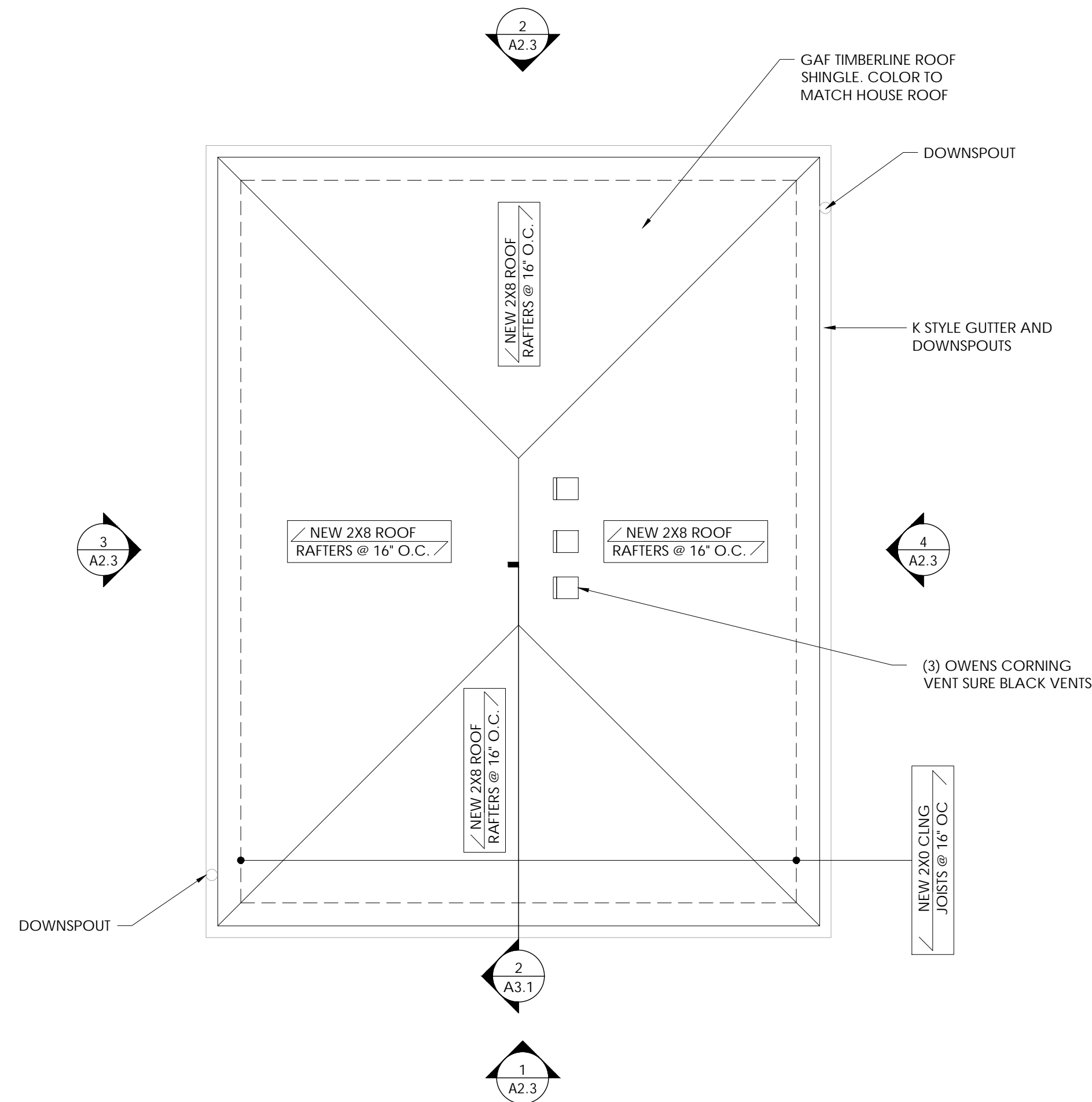
GARAGE PLANS

SHEET NUMBER

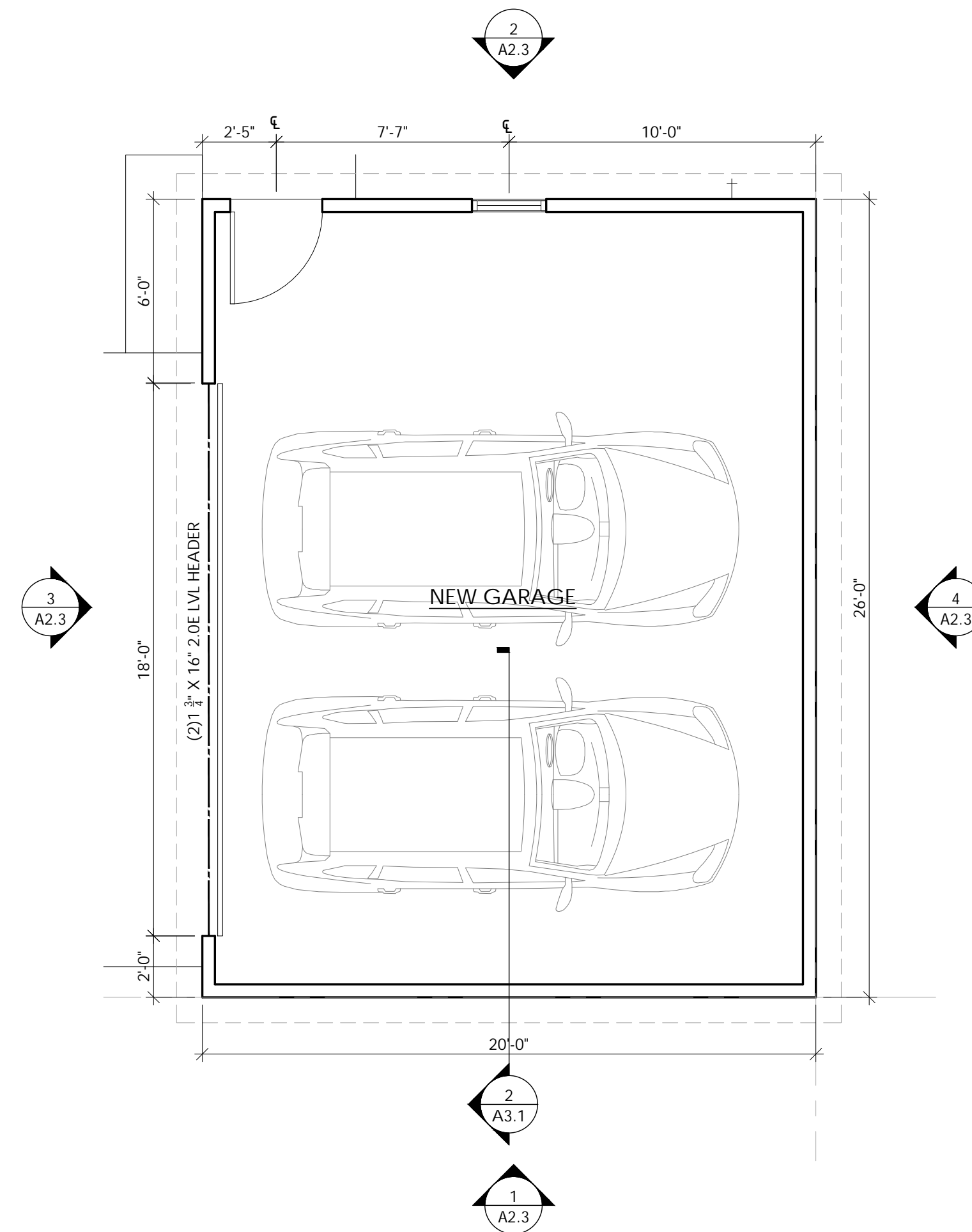
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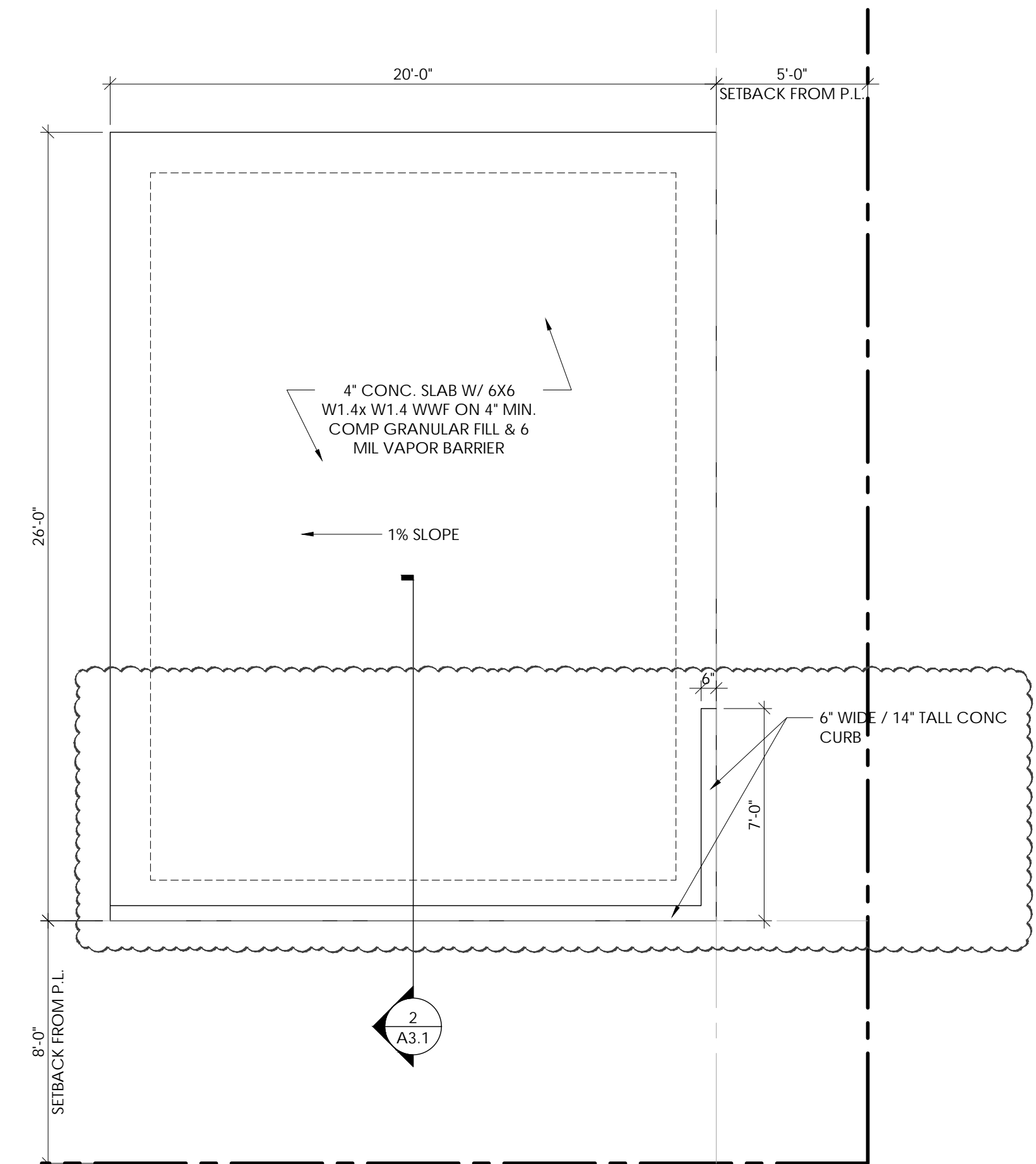
4 GARAGE PORTAL FRAME DETAIL
SCALE: 1/4"=1'-0"



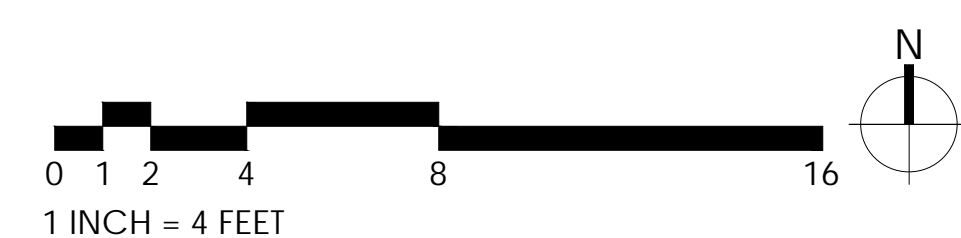
3 GARAGE ROOF PLAN
SCALE: 1/4"=1'-0"



2 GARAGE FLOOR PLAN
SCALE: 1/4"=1'-0"



1 GARAGE FOUNDATION PLAN
SCALE: 1/4"=1'-0"



WINDOW/EXTERIOR DOOR SCHEDULE

ROOM / WINDOW #	WIDTH	HEIGHT	THICK.	MATERIAL	FINISH	MODEL #	GLAZ AREA (SF)	VENT AREA (SF)	HRDWRE SET	MFR	REMARKS
A	4'-0"	6'-0"		ALUM/WD	WHT	MATCH EXIST.	20.3	11		TBD	DOUBLE HUNG
B	8'-10 1/2"	1'-11 1/2"		ALUM/WD	WHT		10.5	15.8		TBD	AWNING
C	NOT USED										
D	4'-11"	6'-8"		ALUM/WD	WHT		17.3	30.6		TBD	FRENCH DOOR
E	2'-5"	3'-11"		ALUM/WD	WHT		7.0	8.2		TBD	CASEMENT
F	3'-10"	3'-11"		ALUM/WD	WHT		10.5	13.4		TBD	CASEMENT
G	3'-0"	7'-0"		ALUM/WD	WHT		11.7	19.4		TBD	DOOR
H	2'-5"	3'-11"		ALUM/WD	WHT		7	8		TBD	CASEMENT
I				ALUM/WD	WHT	MATCH EXIST.				TBD	FRENCH DOOR
J	2'-9"	4'-4"		ALUM/WD	WHT		8.3	5		TBD	DOUBLE HUNG
K	5'-0"	3'-11"		ALUM/WD	WHT		16.1			TBD	FIXED



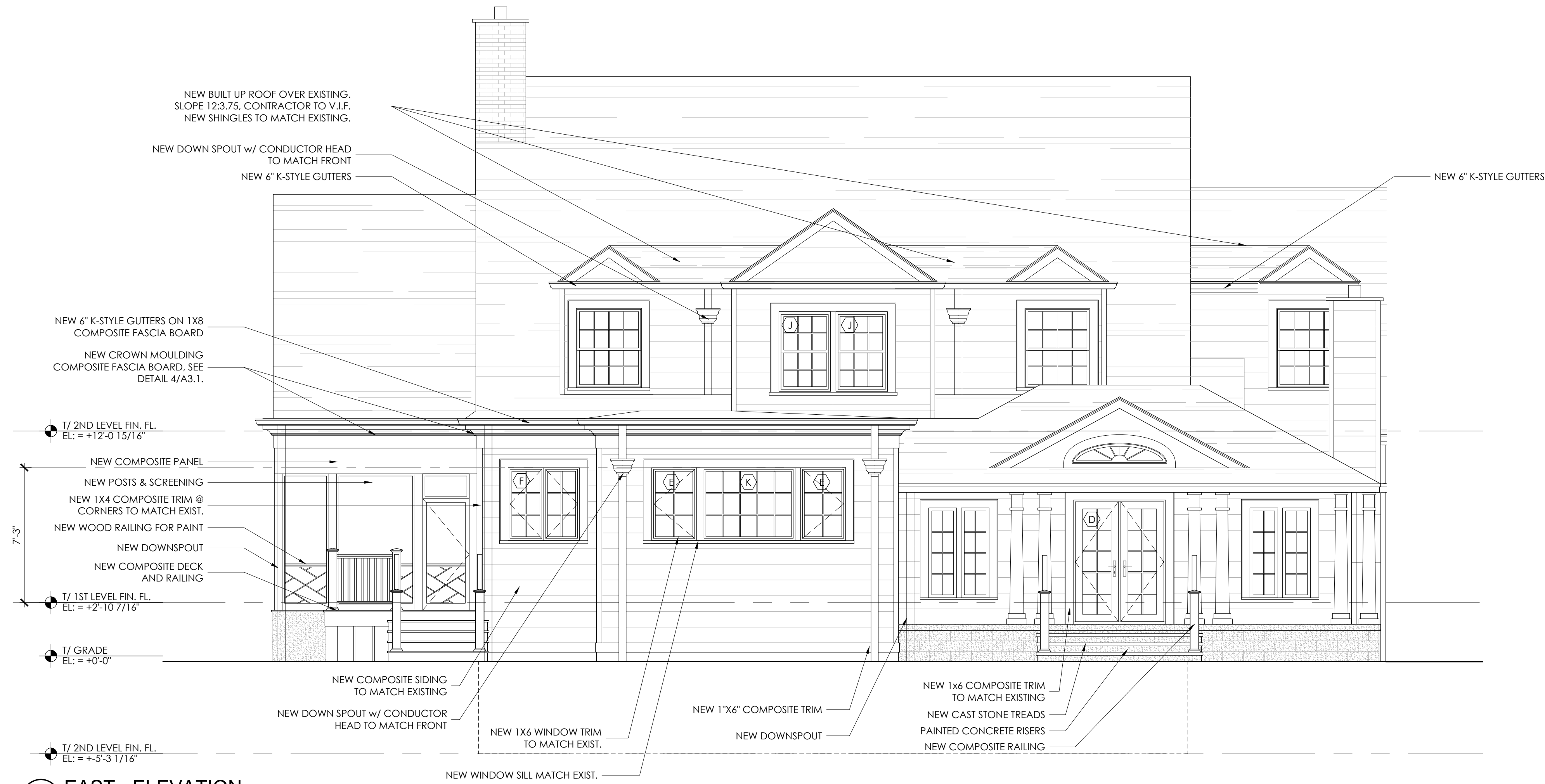
2 SOUTH - ELEVATION
SCALE: 1/4"=1'-0"



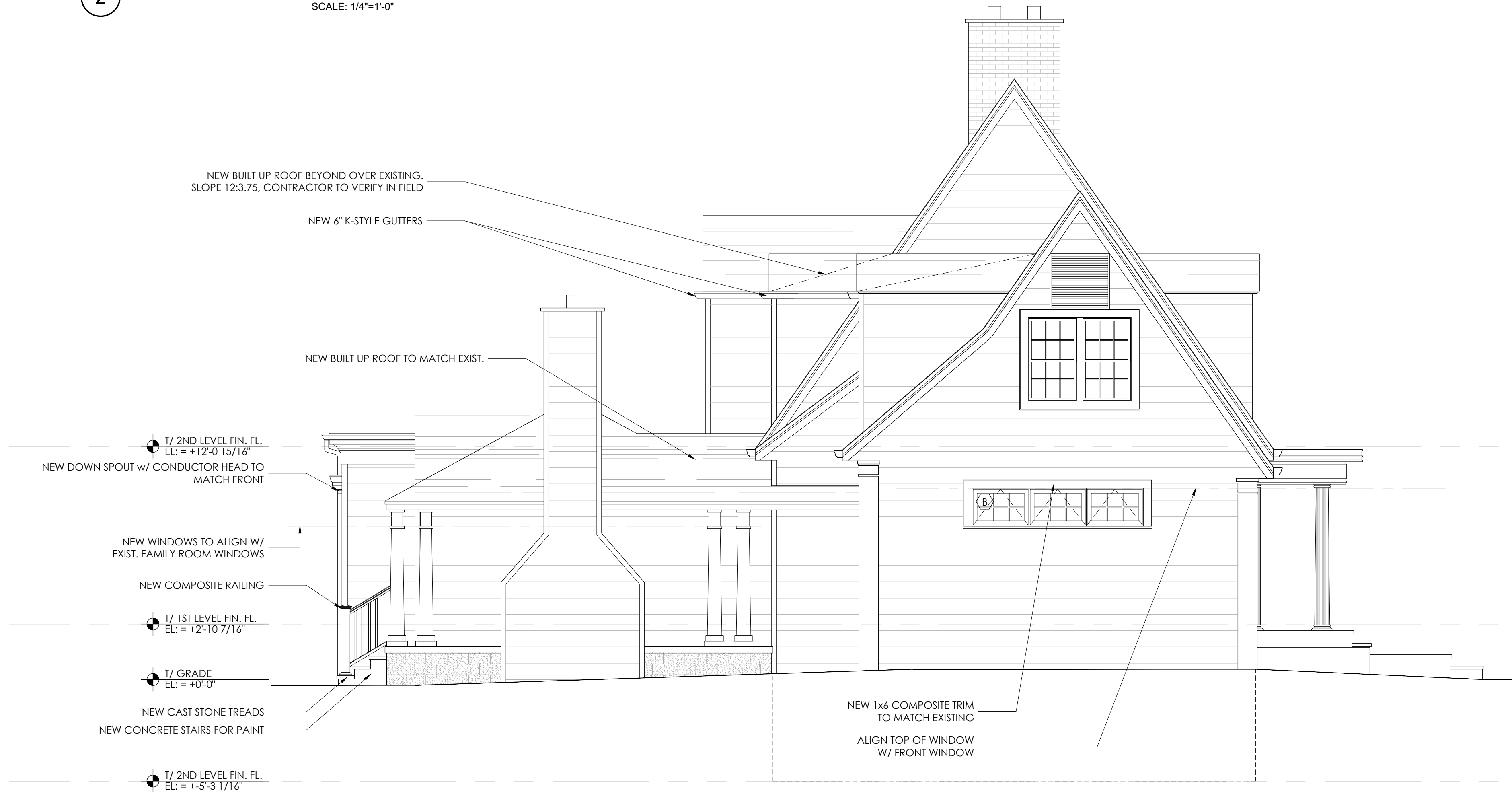
1 WEST- ELEVATION
SCALE: 1/4"=1'-0"



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2 EAST - ELEVATION
SCALE: 1/4"=1'-0"



1 NORTH - ELEVATION
SCALE: 1/4"=1'-0"



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ARCHITECT
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STATE OF ILLINOIS
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#001.020289
EXPIRATION DATE: 11.30.22

PROJECT NAME

Lightbody Residence
179 Lake St.
Glencoe, IL 60022

DRAWN BY
BW, JV, CC, CS

CHECKED BY
BW

DATE
10.03.2022

JOB NUMBER
21031

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NUMBER
A2.2

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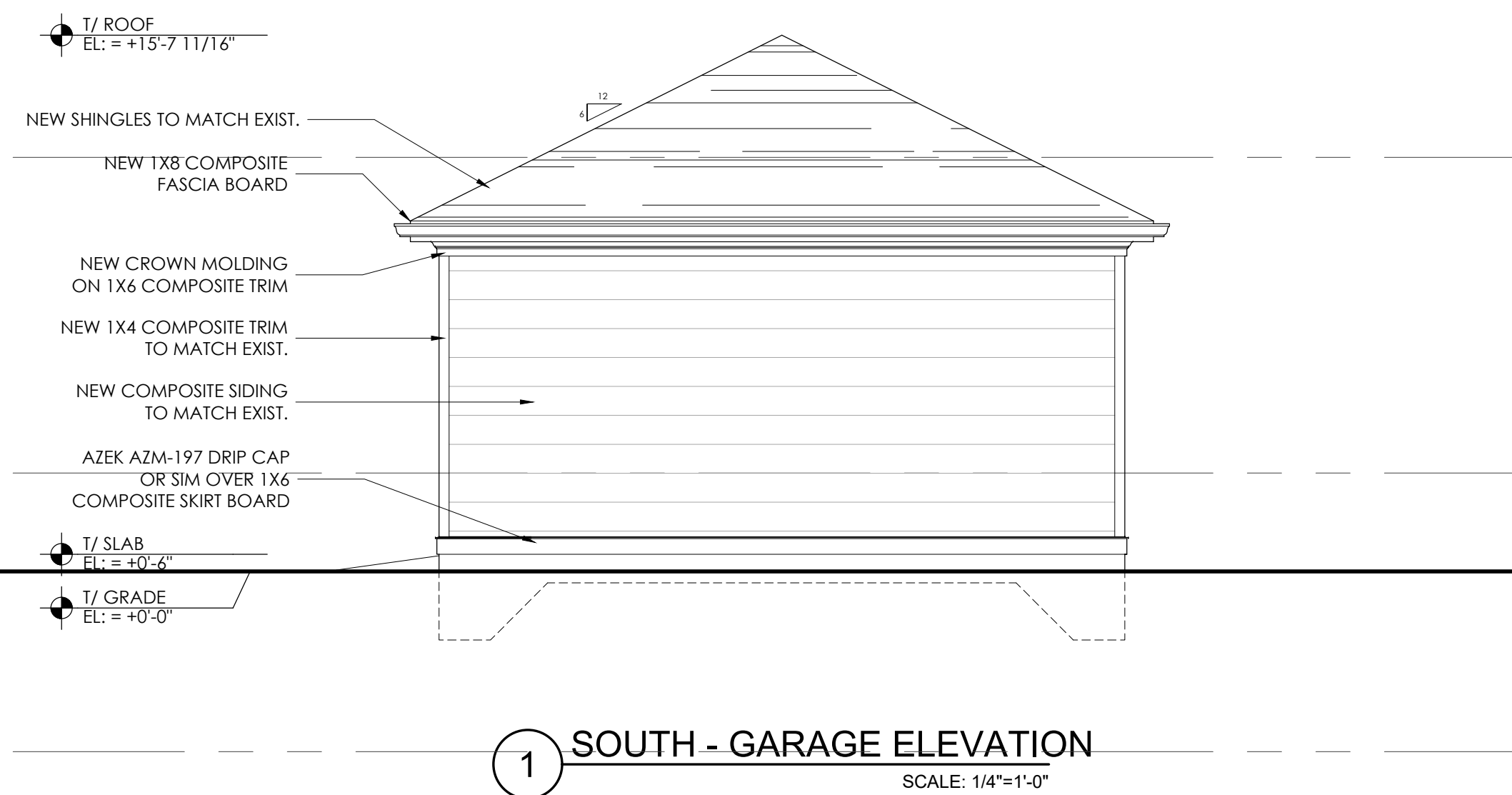
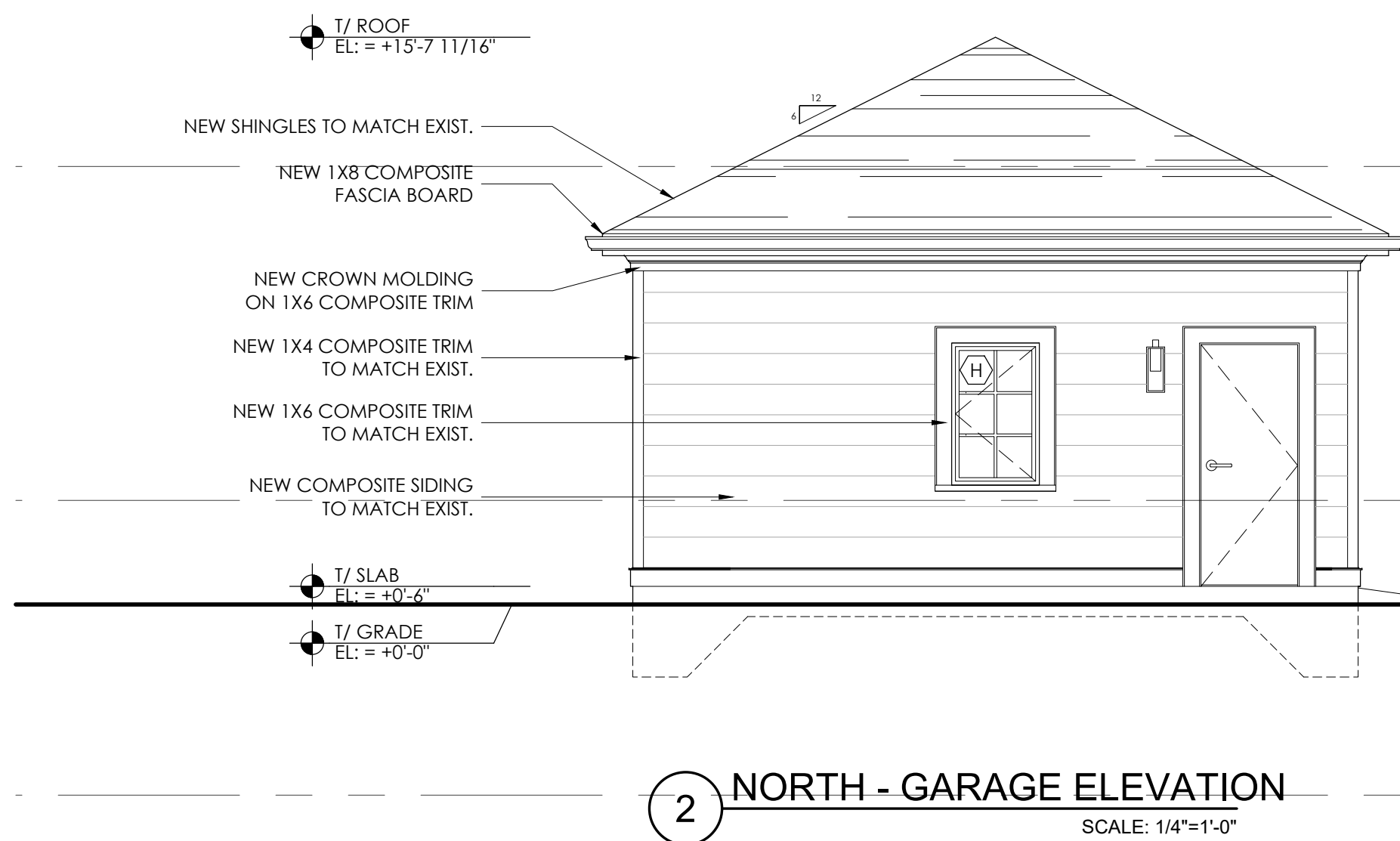
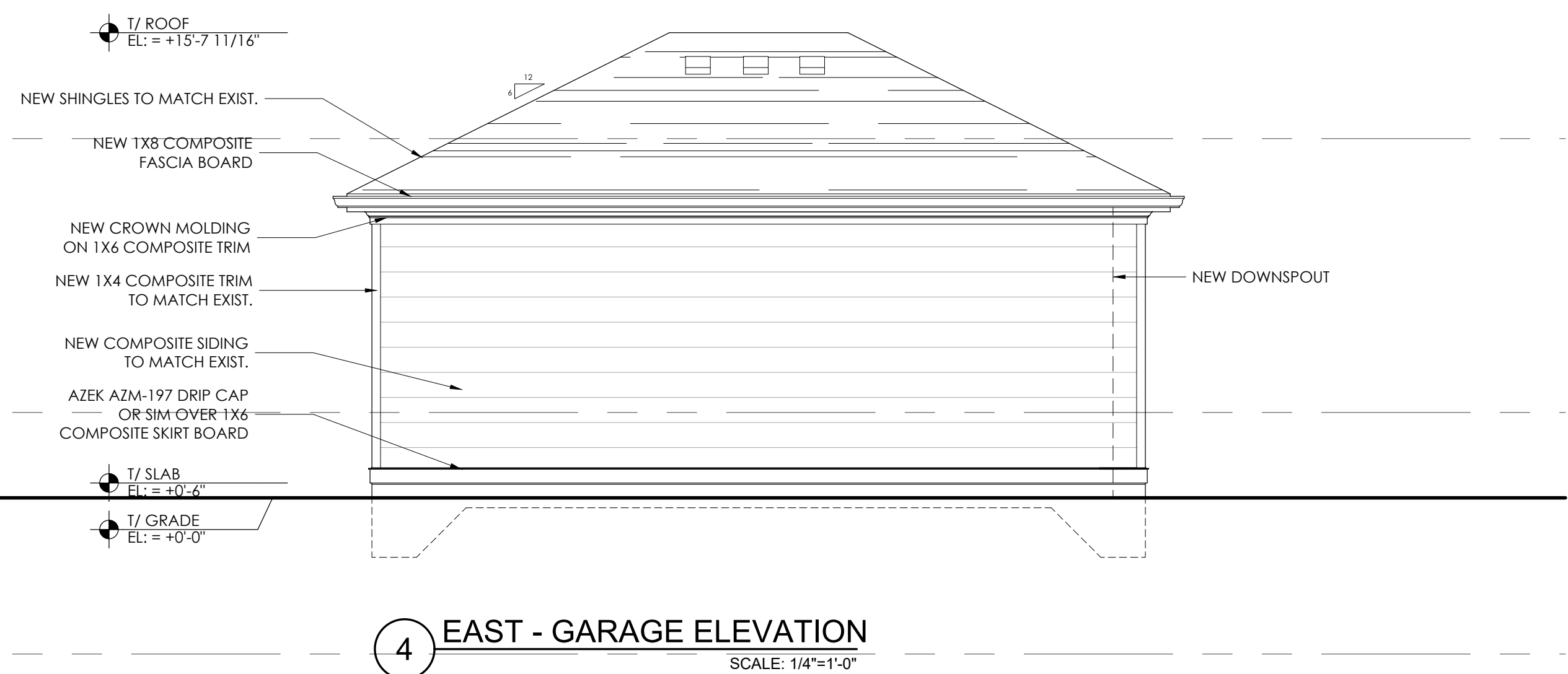
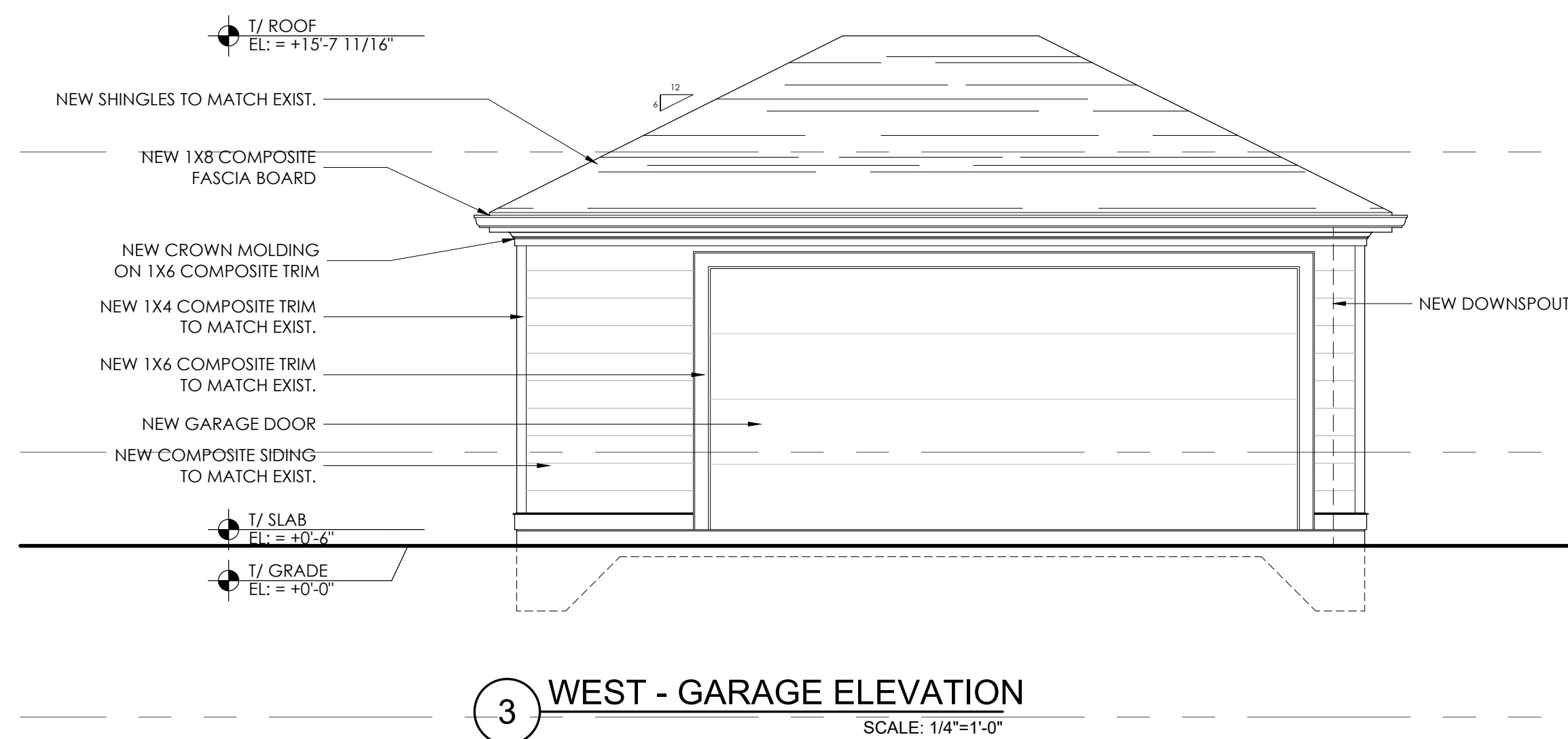
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BW

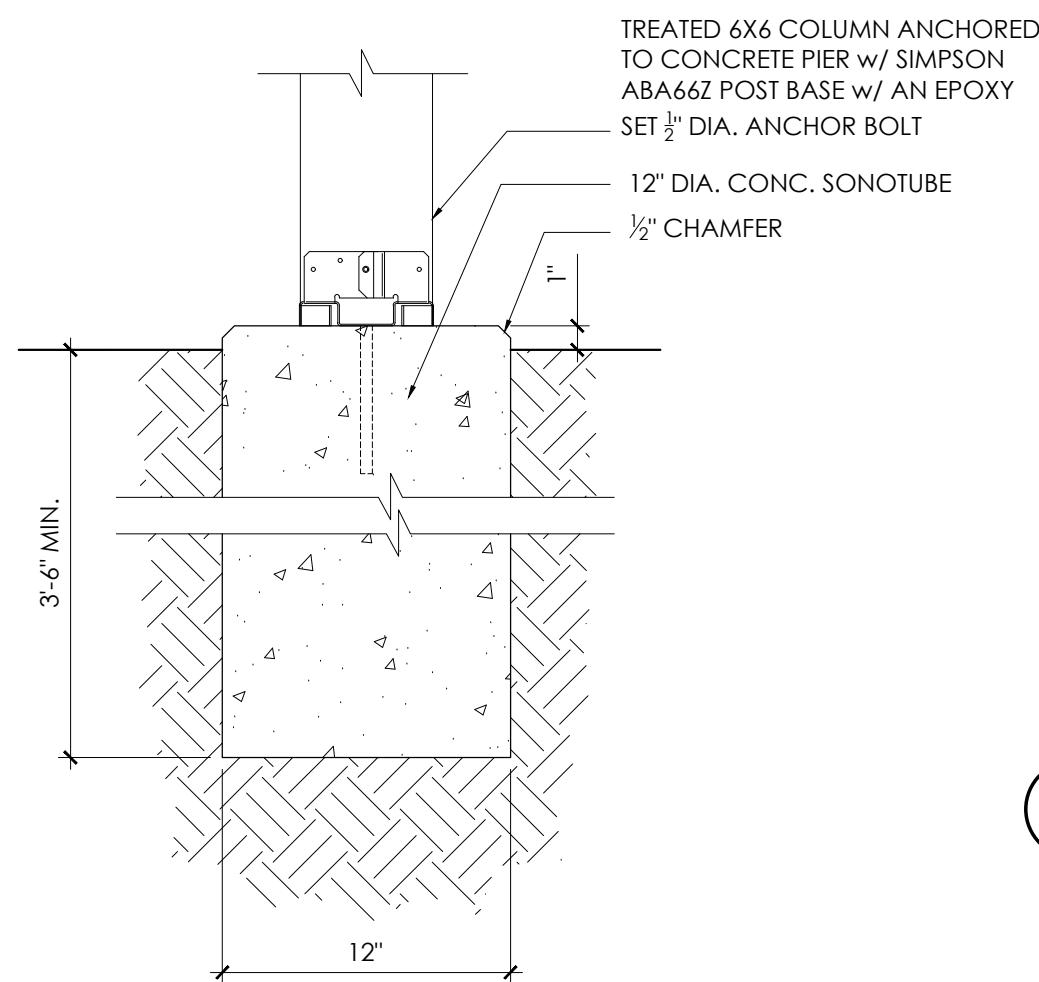
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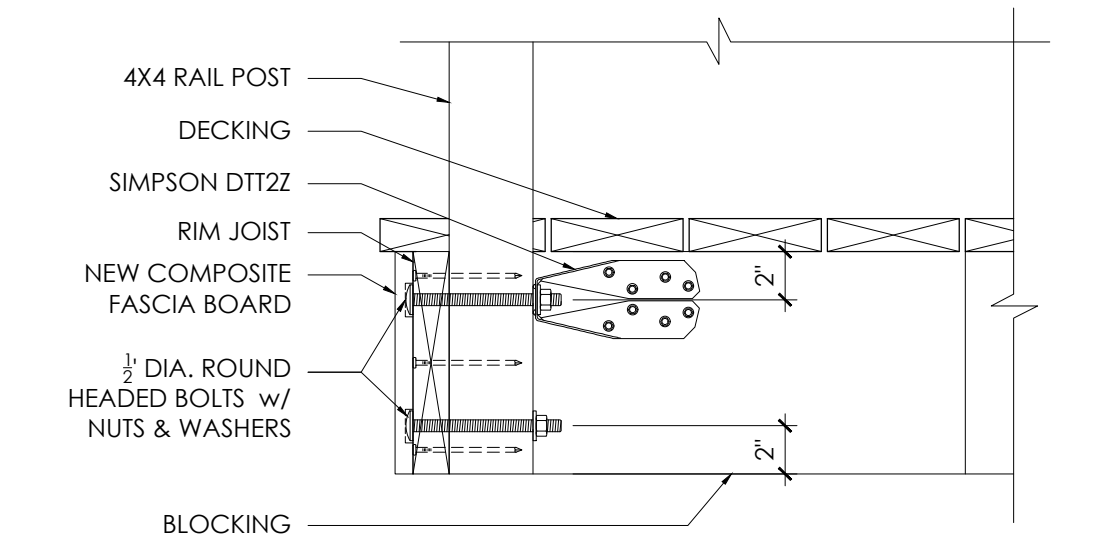
SHEET NAME
GARAGE EXTERIOR
ELEVATIONS

SHEET NUMBER
A2.3

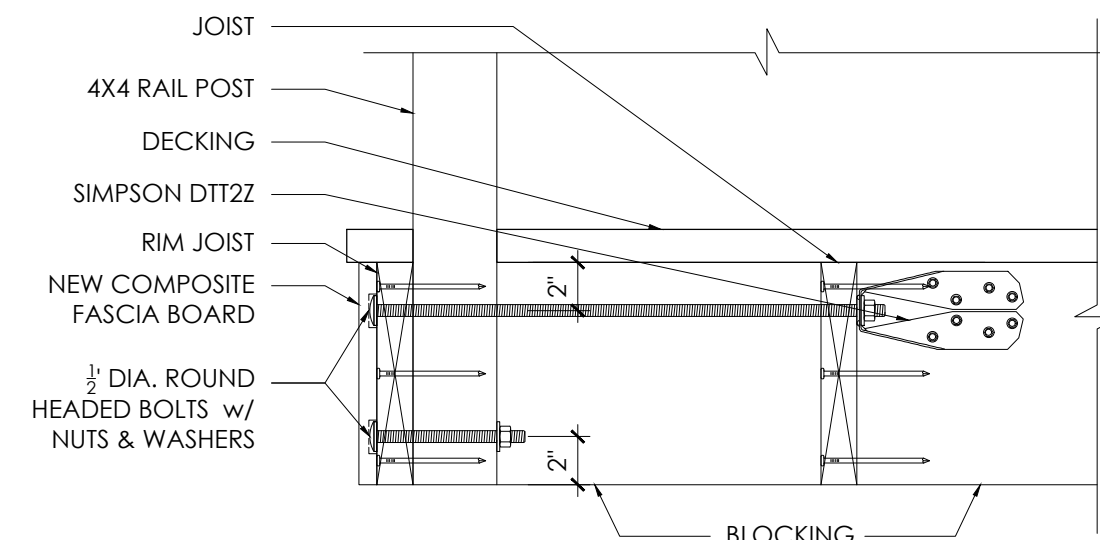




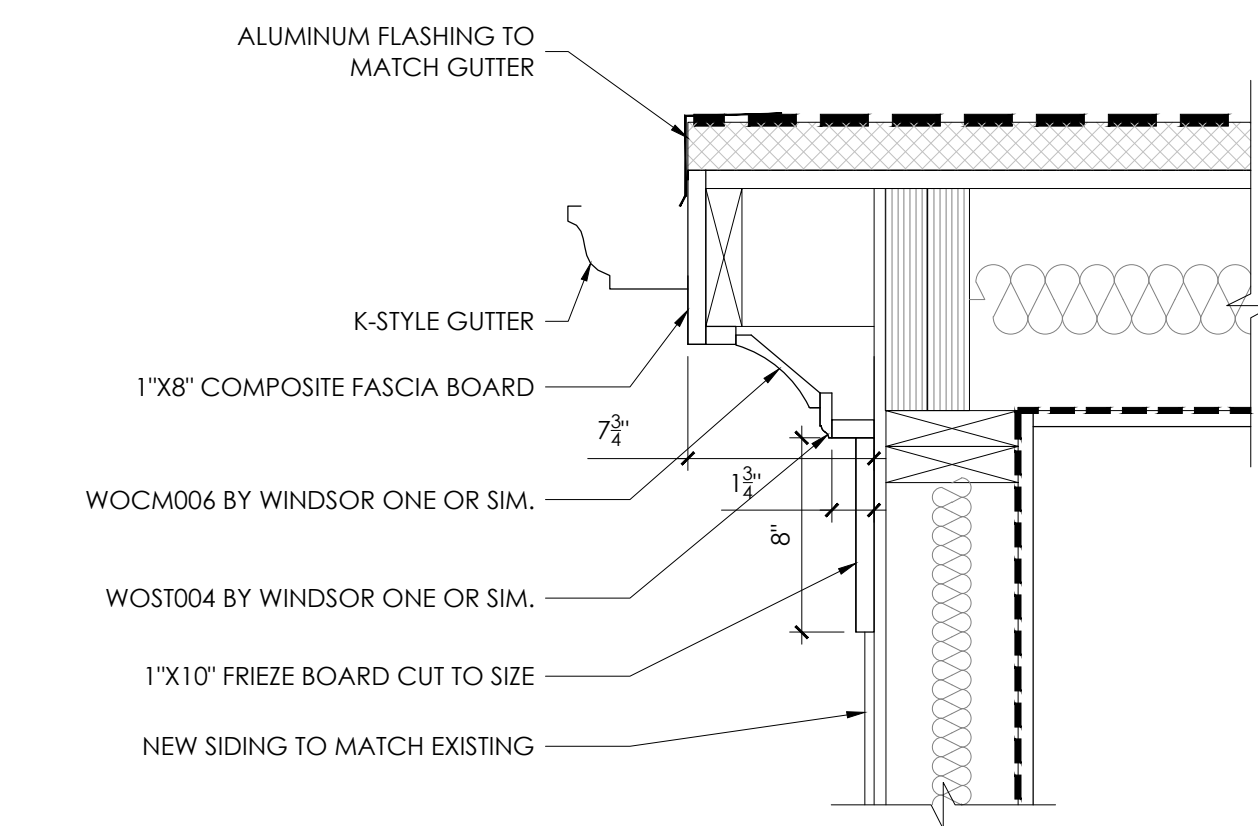
7 TYP. POST FOOTING DETAIL
Scale: 1 1/2" = 1'-0"



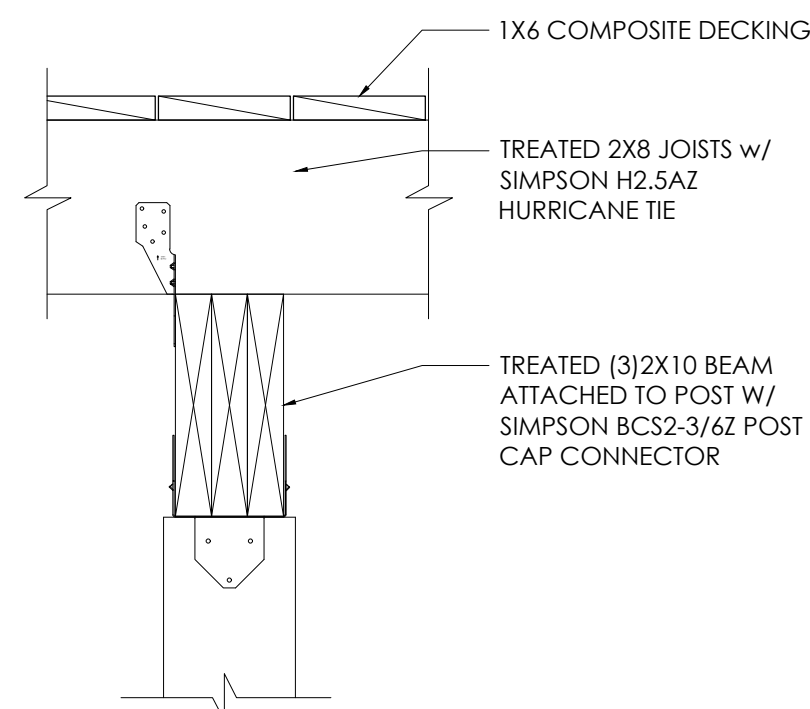
6 TYP. RAIL POST CONNECTION DETAIL
Scale: 1 1/2" = 1'-0"



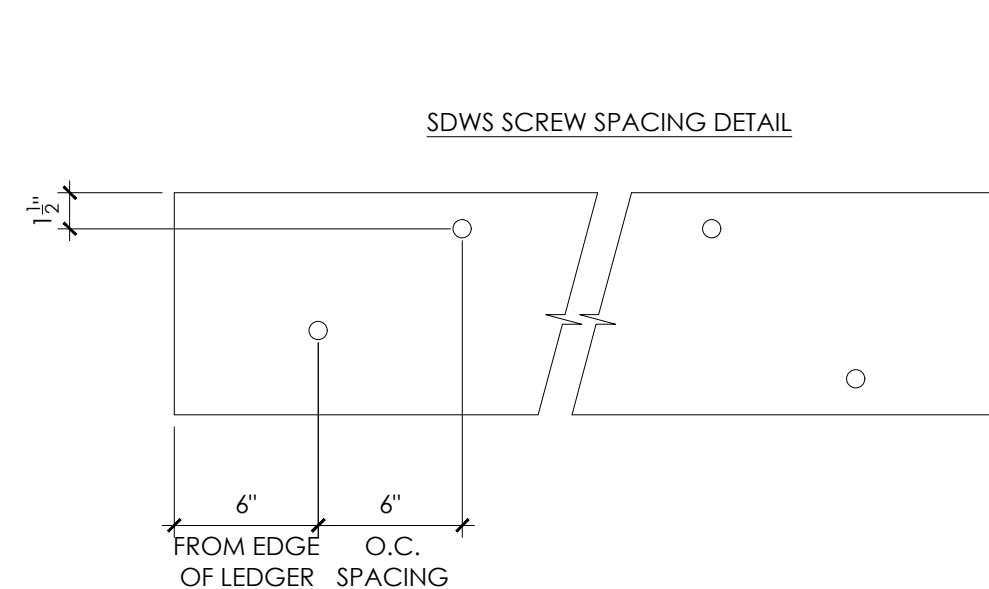
5 TYP. RAIL POST CONNECTION DETAIL
Scale: 1 1/2" = 1'-0"



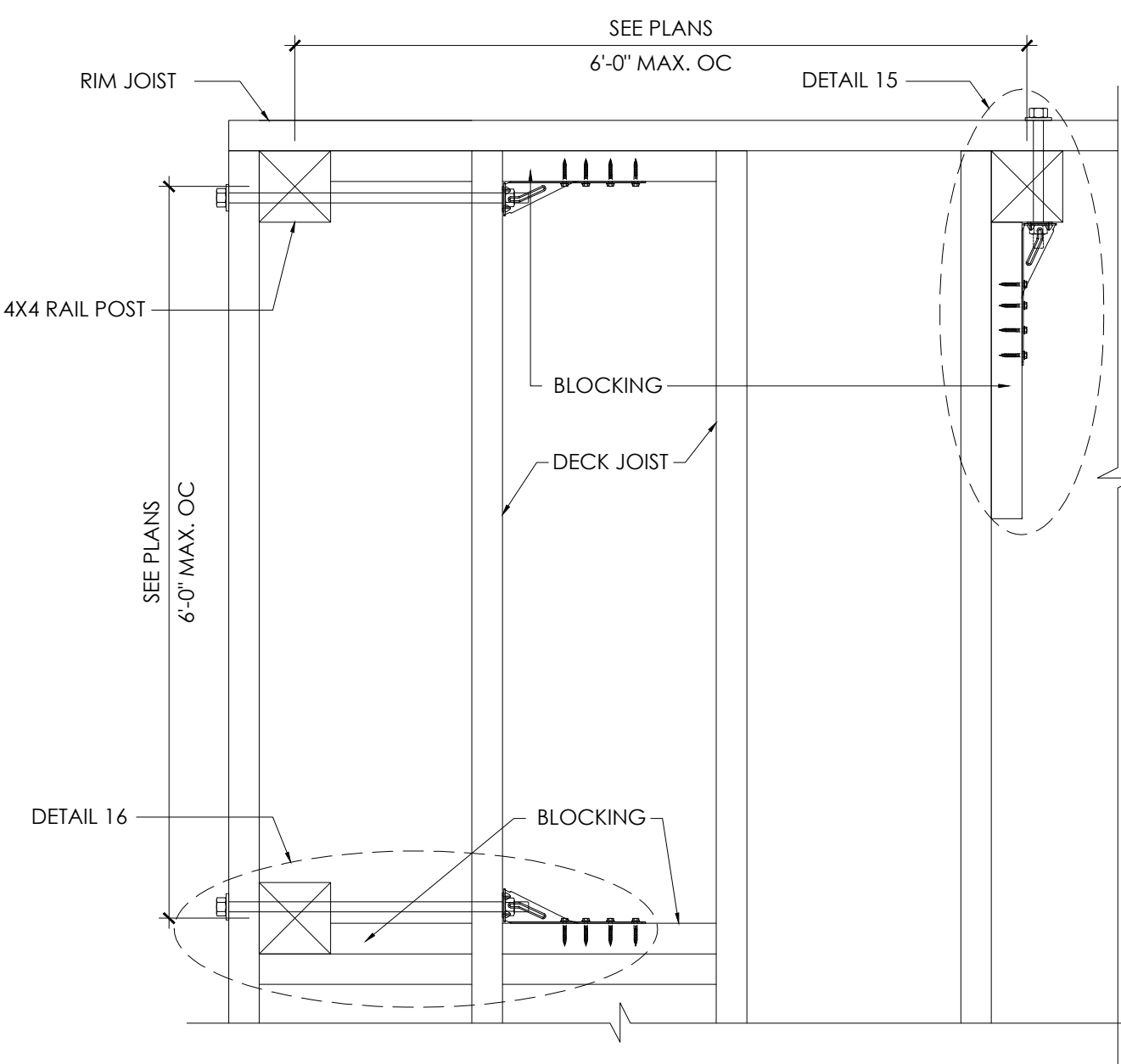
4 TYP. CORNICE DETAIL
Scale: 1 1/2" = 1'-0"



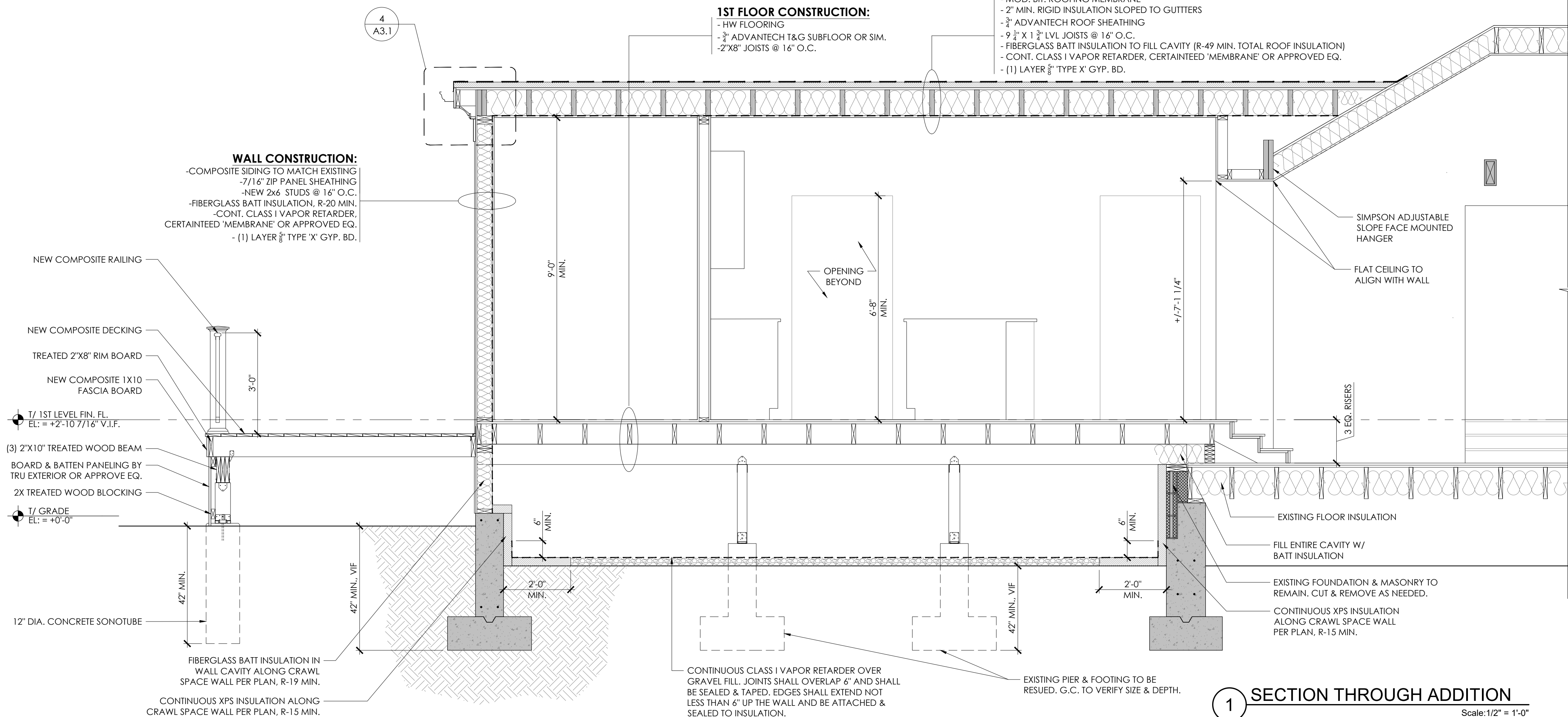
8 TYP. POST TO BEAM CONNECTION DETAIL
Scale: 1 1/2" = 1'-0"



9 LEDGER FASTENER SPACING DETAIL
Scale: 1 1/2" = 1'-0"

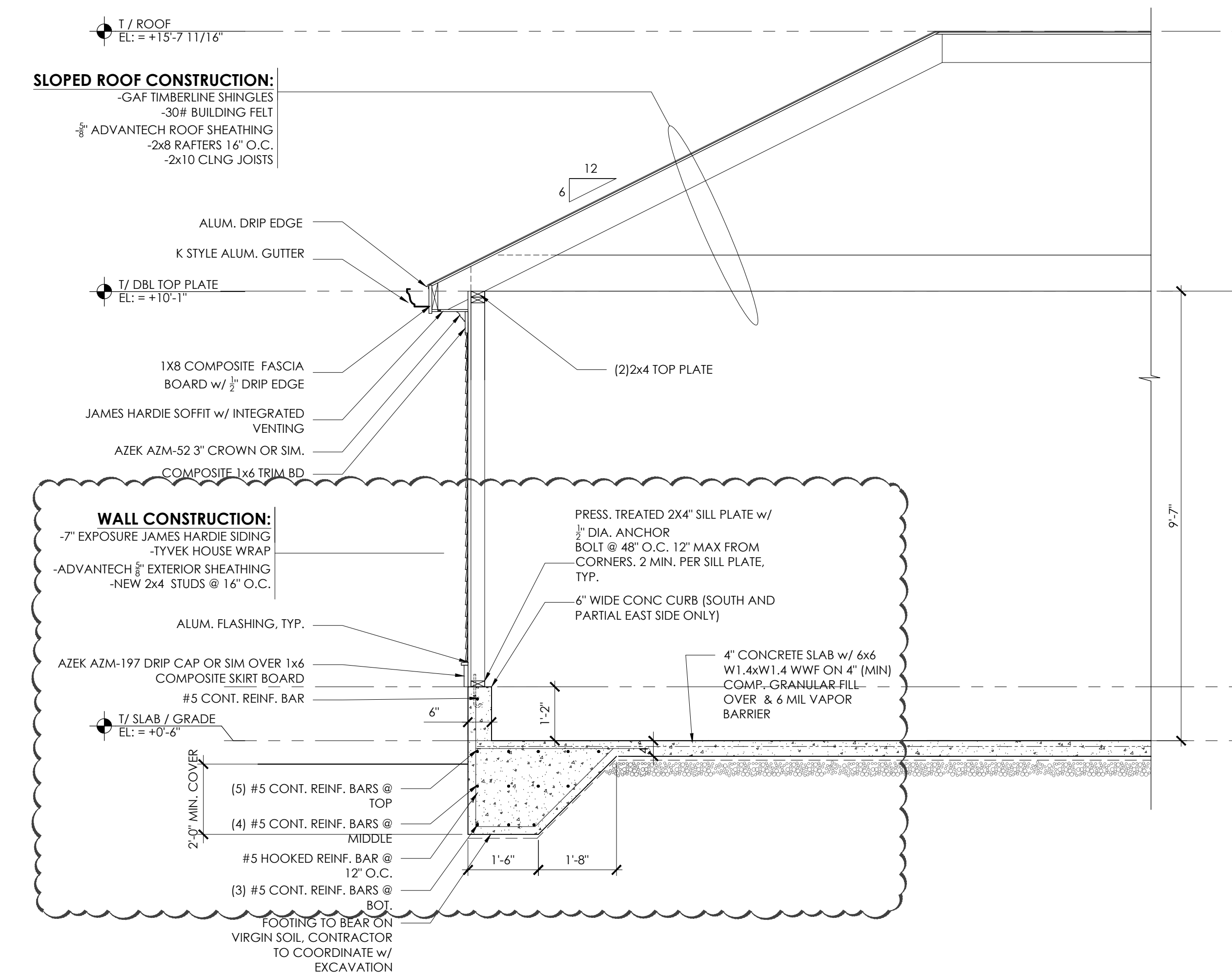


3 TYP. RAIL POST CONNECTION DETAIL (PLAN)
Scale: 1 1/2" = 1'-0"



1 SECTION THROUGH ADDITION
Scale: 1/2" = 1'-0"

GENERAL NOTE:
- PROVIDE COMPLETE COVERAGE OF GAF
STORMGUARD SELF-ADHESIVE ICE & WATER
BARRIER - LAP DOWN FASCIA 4" MIN. @ BOT.
EDGES OF ROOF AND UP OVER ROOF CURB



2 PARTIAL GARAGE SECTION
Scale: 1/2" = 1'-0"

1ST FLOOR CONSTRUCTION:
- HW FLOORING
- 3/4" ADVANTECH T&G SUBFLOOR OR SIM.
- 2X8 JOISTS @ 16" O.C.

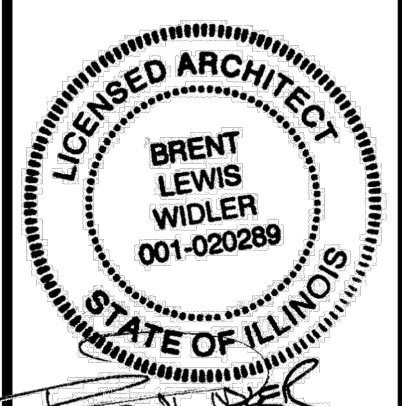
ROOF CONSTRUCTION:
- MOD. BIT. ROOFING MEMBRANE
- 2" MIN. RIGID INSULATION SLOPED TO GUTTERS
- 3/4" ADVANTECH ROOF SHEATHING
- 9 1/2" X 1 3/4" LVL JOISTS @ 16" O.C.
- FIBERGLASS BATT INSULATION TO FILL CAVITY (R-49 MIN. TOTAL ROOF INSULATION)
- CONT. CLASS I VAPOR RETARDER, CERTAINTIED 'MEMBRANE' OR APPROVED EQ.
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

WALL CONSTRUCTION:
- COMPOSITE SIDING TO MATCH EXISTING
- 7/16" ZIP PANEL SHEATHING
- NEW 2X6 STUDS @ 16" O.C.
- FIBERGLASS BATT INSULATION, R-20 MIN.
- CONT. CLASS I VAPOR RETARDER,
CERTAINTIED 'MEMBRANE' OR APPROVED EQ.
- (1) LAYER 5/8" TYPE 'X' GYP. BD.

EXISTING PIER & FOOTING TO BE
RESUED, G.C. TO VERIFY SIZE & DEPTH.

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07.22.22	07.22.22	07.22.22	07.22.22	07.22.22	08.25.22	10.03.2022
08.25.22	08.25.22	08.25.22	08.25.22	08.25.22	08.25.22	10.03.2022
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BRENT WIDLER
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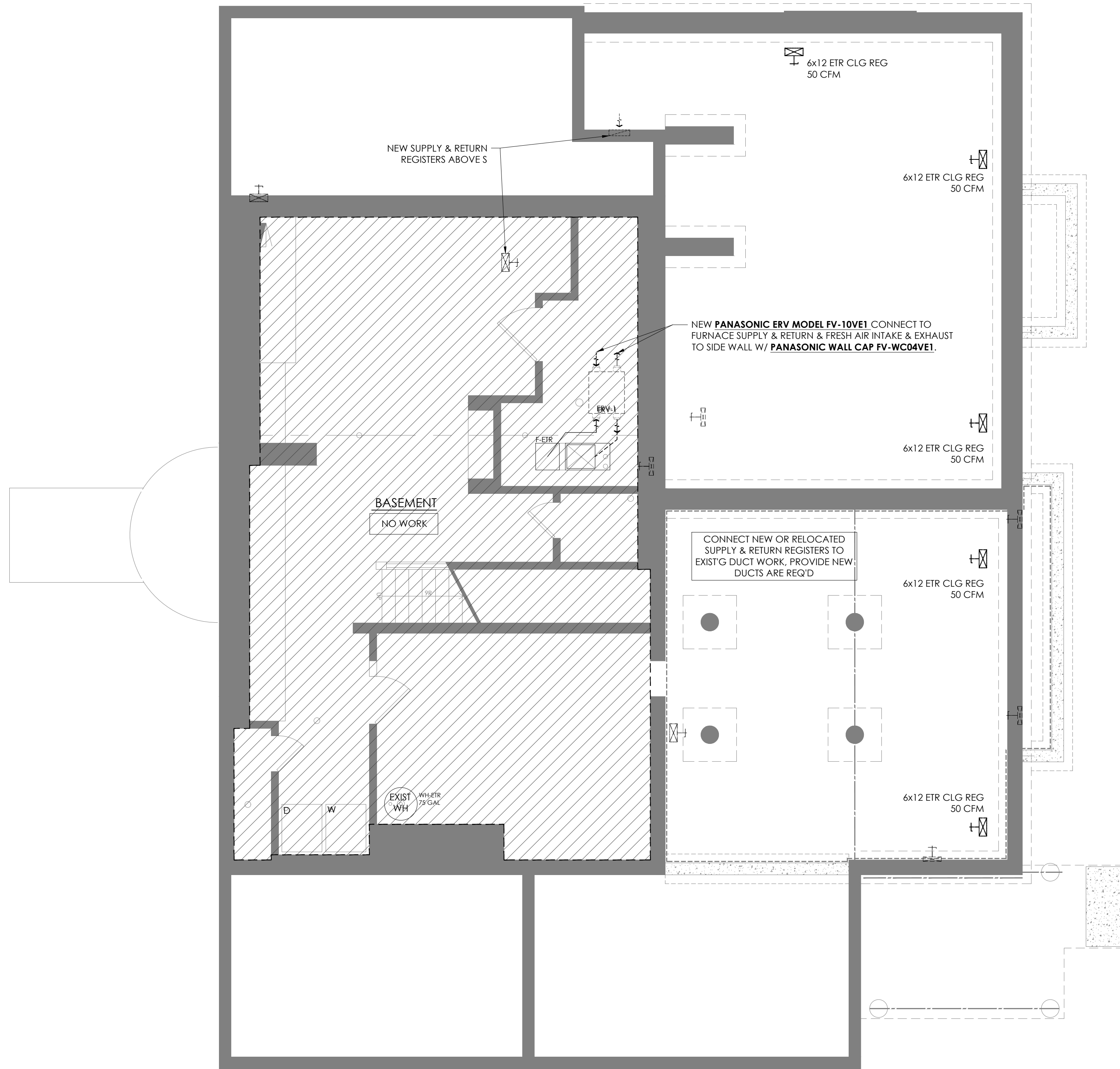
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SHEET NAME

BUILDING SECTION
& DETAILS

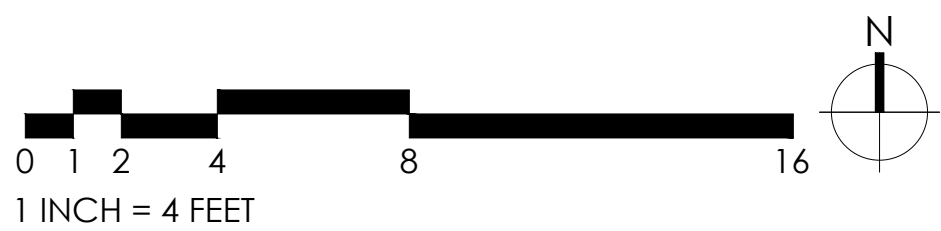
SHEET NUMBER

A3.1



1 BASEMENT - MECHANICAL & ELECTRICAL PLAN

Scale: 1/4" = 1'-0"



WIDLER ARCHITECTURE
 24 W. St. Charles Rd. #205, Lombard, IL 60148
 P. (630) 413-9503
 www.widlerarch.com

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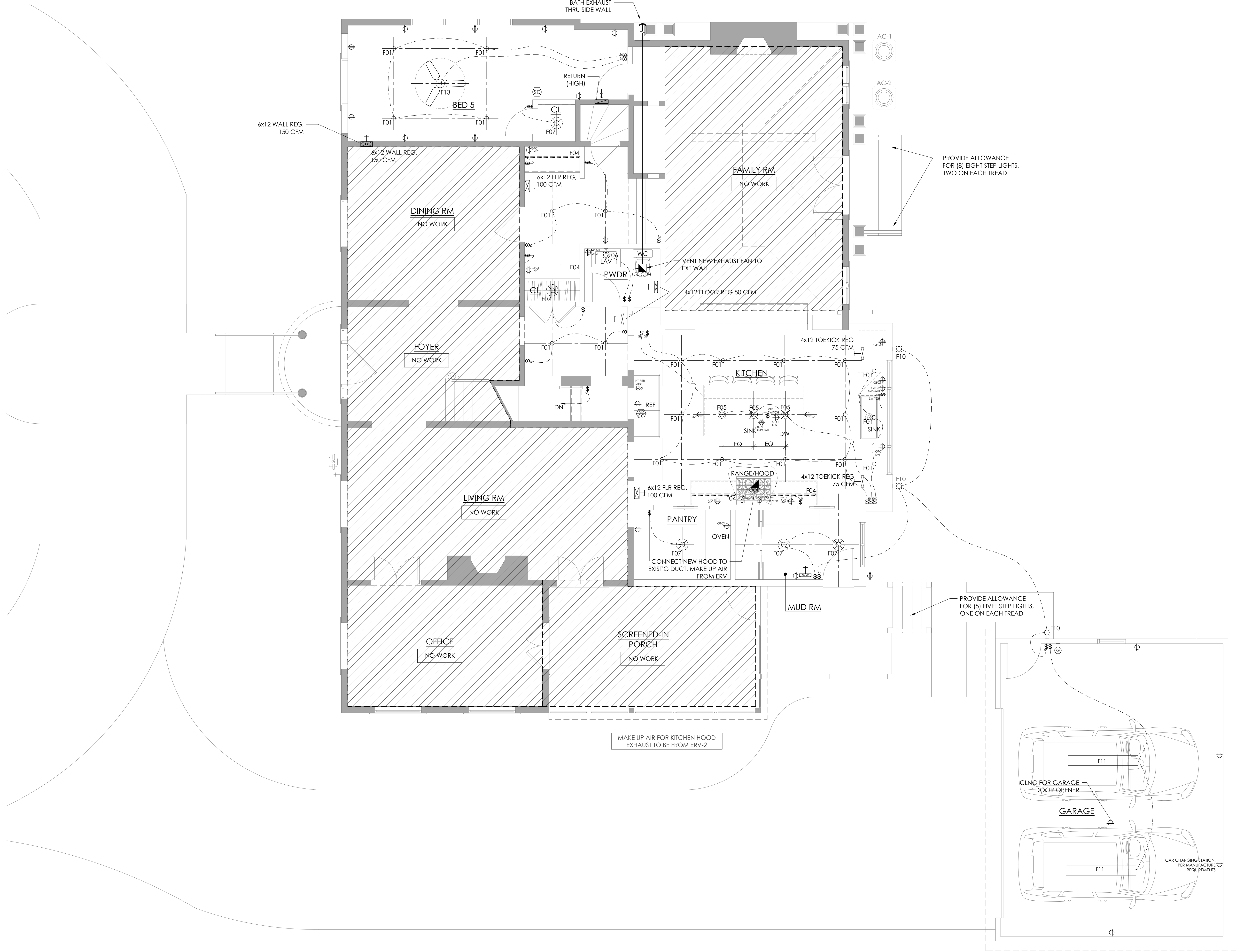
JOB NUMBER
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SHEET NAME

MECHANICAL & ELECTRICAL PLANS

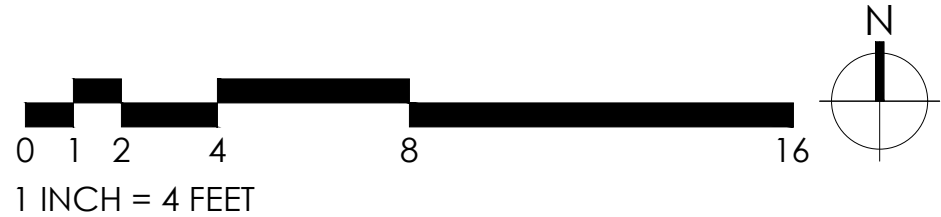
SHEET NUMBER

ME1.0



1 1ST LEVEL - MECHANICAL & ELECTRICAL PLAN

Scale: 1/4" = 1'-0"



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001-020289
STATE OF ILLINOIS

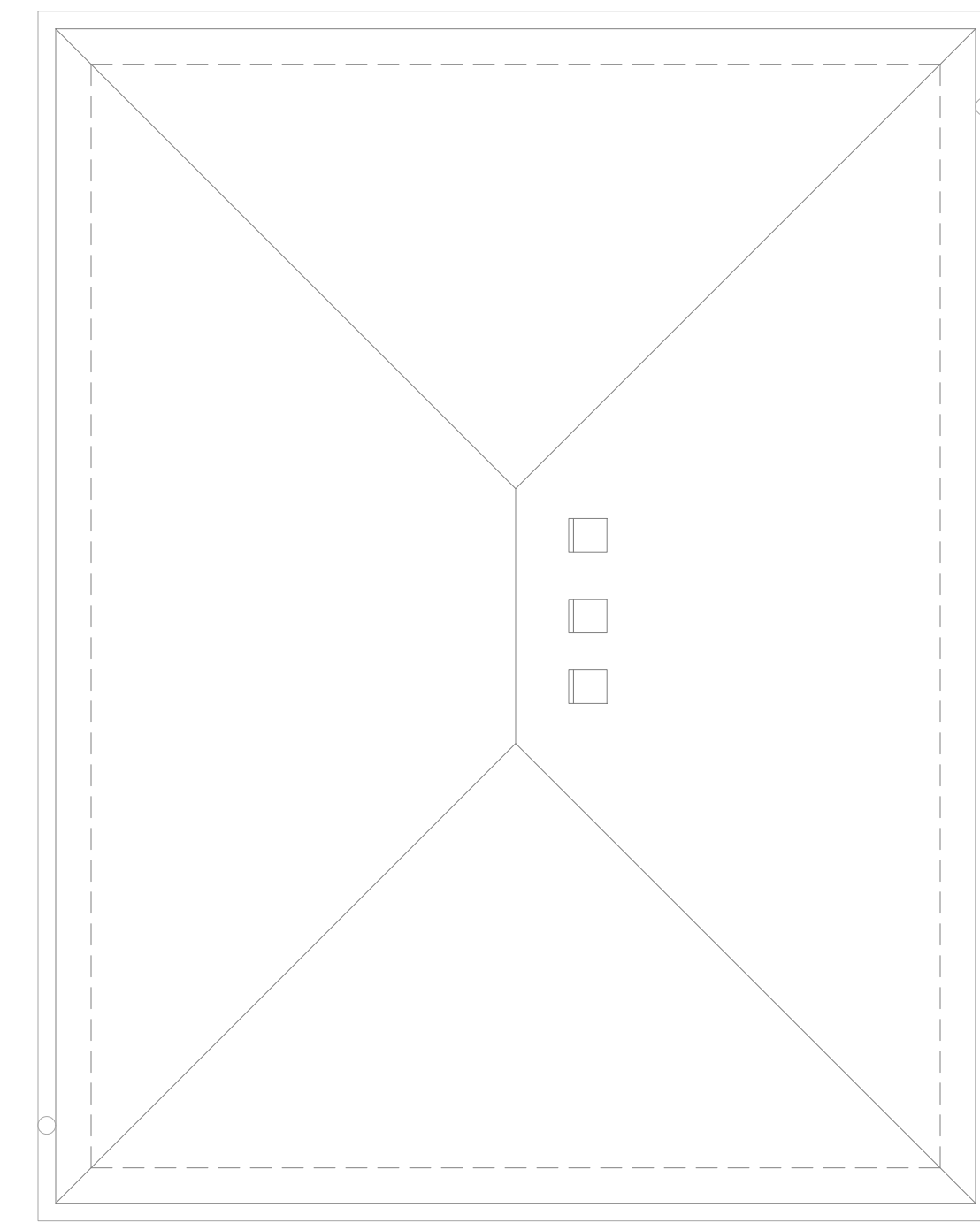
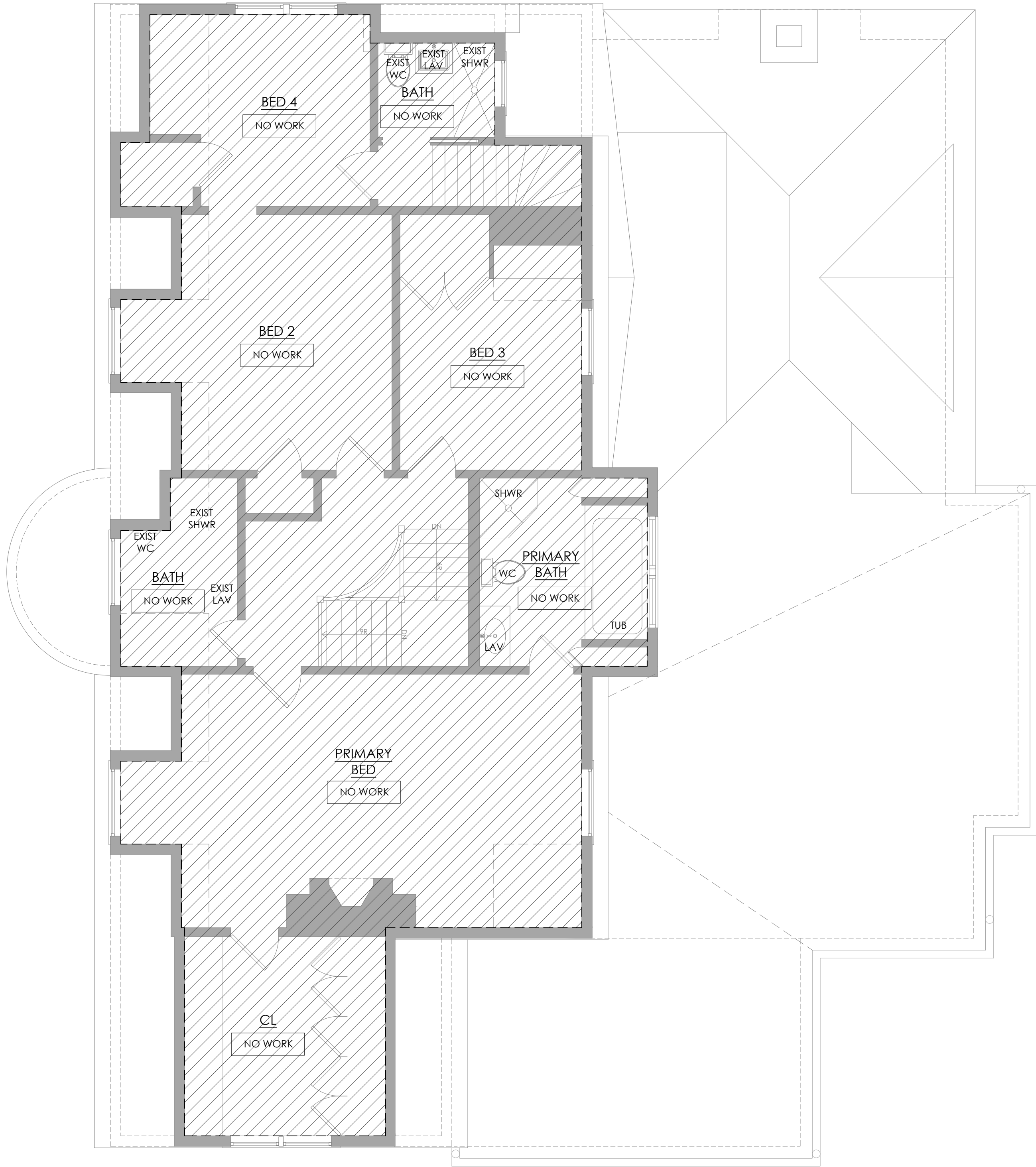
ARCHITECT
BRENT WIDLER
STATE OF ILLINOIS
LICENSED ARCHITECT
#001.020289
EXPIRATION DATE: 11.30.22

PROJECT NAME

Lightbody Residence
179 Lake St.
Glencoe, IL 60022

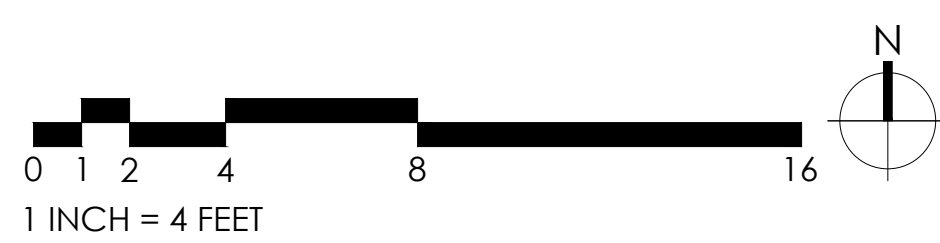
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CHECKED BY BW
DATE 10.03.2022
JOB NUMBER 21031

SHEET NAME MECHANICAL & ELECTRICAL PLANS
SHEET NUMBER ME1.1



1 2ND LEVEL - MECHANICAL & ELECTRICAL PLAN

Scale: 1/4" = 1'-0"



WIDLER
ARCHITECTURE

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www.WidlerArch.com

DATE	ISSUE
05.13.22	ISSUE FOR PRICING
07.20.22	CLIENT REVIEW
07.22.22	PERMIT / PRICING
08.25.22	PRICING
10.03.2022	PERMIT
10.31.2022	FAR CALCULATIONS / PERMIT REVISIONS

THESE DRAWINGS HAVE BEEN PREPARED BY AND/OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM AND WITH THE REQUIREMENTS OF THE BUILDING DEPARTMENT AND CODES HAVING JURISDICTION.

10.03.2022

DATE

LICENSED ARCHITECT

BRENT
LEWIS
WIDLER
001-020289

STATE OF ILLINOIS

ARCHITECT

BRENT WIDLER

STATE OF ILLINOIS

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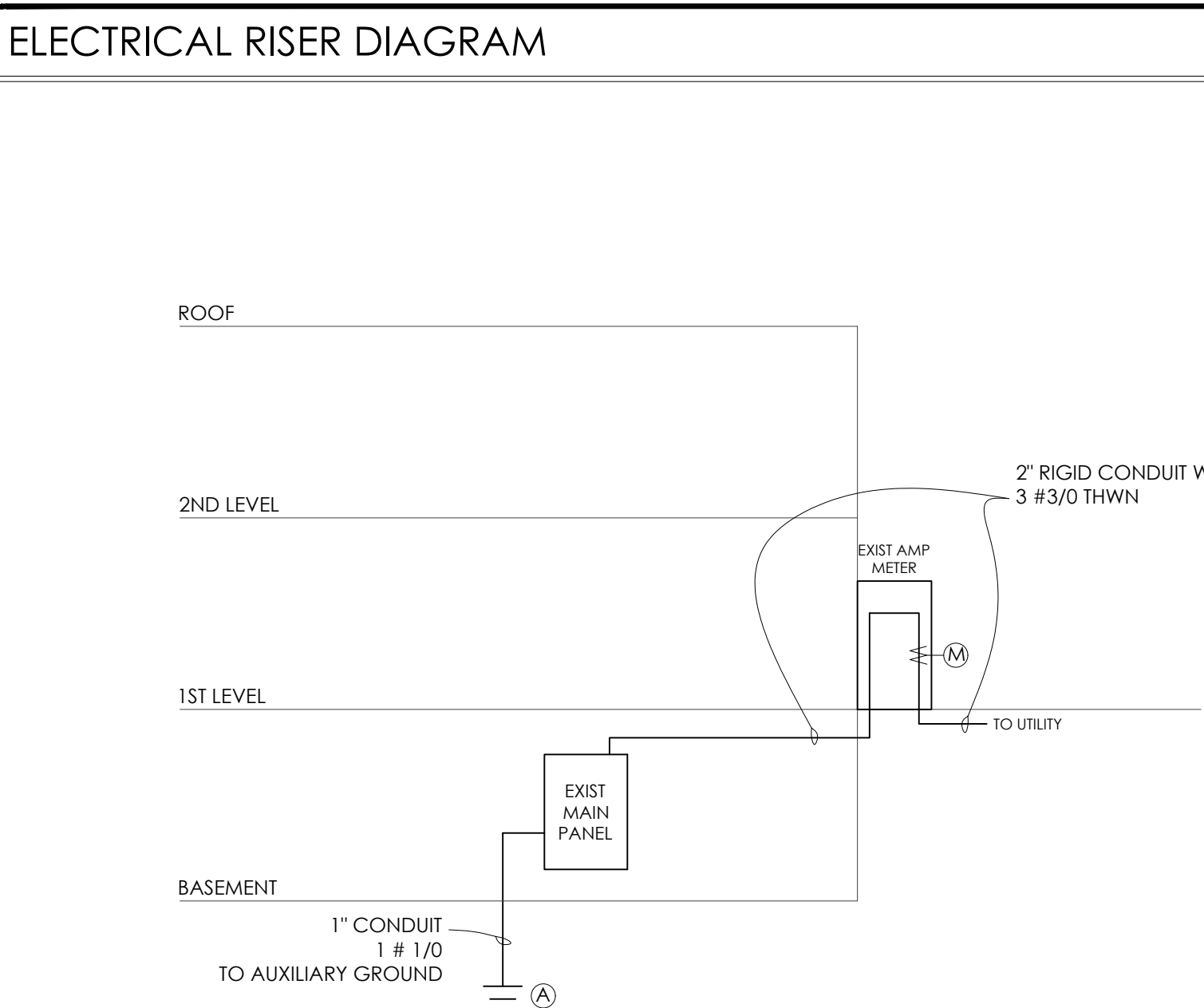
MECHANICAL &
ELECTRICAL PLANS

SHEET NUMBER

ME1.2

ELECTRICAL LEGEND						
SYMBOL	DESCRIPTION	MANF.	NO.	FINISH	MTG HT	REMARKS
	SIMPLEX OUTLET	LEVITON	DECORA	WHITE	-	SUMP/EJECTORS 36" AFF & TO BE DEDICATED
	DUPLEX OUTLET	LEVITON	DECORA	WHITE	12" AFF, UNO	
	SWITCHED DUPLEX	LEVITON	DECORA	WHITE	12" AFF, UNO	
	DUPLEX/USB OUTLET	LEVITON	DECORA	WHITE	12" AFF, UNO	
	WATERPROOF OUTLET	LEVITON	DECORA	WHITE	12" AFF, UNO	WP BOX & COVER w/ SPRING GASKET DOOR
	GROUND FAULT CIRCUIT INTERRUPTED OUTLET	LEVITON	DECORA	WHITE	12" AFF, UNO	AT ALL WET LOCATIONS
	WATERPROOF, GFCI OUTLET	LEVITON	DECORA	WHITE	12" AFF, UNO	WP BOX & COVER w/ SPRING GASKET DOOR
	QUAD OUTLET	LEVITON	DECORA	WHITE	12" AFF, UNO	
	WATERPROOF, GFCI QUAD OUTLET	LEVITON	DECORA	WHITE	12" AFF, UNO	WP BOX & COVER w/ SPRING GASKET DOOR
	DUPLEX FLOOR OUTLET WITH BRUSHED MTL FINISH	-	-	BY OWNER		BY OWNER
	GFCI OUTLET, FLOOR	-				
	RECESSED FIXTURE				CEILING, UNO	PER FIXTURE SCHEDULE
	RECESSED DIRECTIONAL MOUNTED FIXTURE				CEILING, UNO	
	CEILING MOUNTED FIXTURE				CEILING, UNO	SURFACE OR PENDANT, PER FIXTURE SCHEDULE
	WALL MOUNTED FIXTURE				AS NOTED	PER FIXTURE SCHEDULE
	WALL MOUNTED FIXTURE				AS NOTED	PER FIXTURE SCHEDULE
	RECESSED CAN LIGHT w/ ADJUSTABLE APERTURE				CEILING, UNO	PER FIXTURE SCHEDULE
	CEILING MOUNTED JUNCTION BOX				CEILING, UNO	COORDINATE CLG FAN J BOX LOCATION w/ OWNER
	WALL MOUNTED JUNCTION BOX				PER	Ø HARD WIRED APPLIANCES OR AS REQ'D PER
	PORCELAIN SOCKET					
	FLOURESCENT OR LED LIGHT				CEILING, UNO	
	UNDER CABINET/COVE/STRIP					PER FIXTURE SCHEDULE
	EXTERIOR GROUND FIXTURE				GROUND	WET LISTED PER FIXTURE SCHEDULE
	SINGLE POLE SWITCH	LEVITON	DECORA	WHITE	44" AFF, UNO	ROCKER SWITCHES
	THREE WAY SWITCH	LEVITON	DECORA	WHITE	44" AFF, UNO	ROCKER SWITCHES
	FOUR WAY SWITCH	LEVITON	DECORA	WHITE	44" AFF, UNO	ROCKER SWITCHES
	DIMMER SWITCH	LEVITON	DECORA	WHITE	44" AFF, UNO	ROCKER SWITCHES
	TELEPHONE HOOK-UP	LEVITON	DECORA	WHITE	12" AFF, UNO	
	DATA HOOK-UP	LEVITON	DECORA	WHITE	12" AFF, UNO	
	CABLE HOOK-UP	LEVITON	DECORA	WHITE	12" AFF, UNO	
	WALL MOUNTED THERMOSTAT			WHITE	48" AFF, UNO	SEE MECH PLANS FOR LOCATIONS
	WALL MOUNTED INTERCOM			WHITE	48" AFF, UNO	
	DOOR BELL				CEILING, UNO	
	GARAGE DOOR OPENER				44" AFF, UNO	
	CARBON MONOXIDE DETECTOR					HARD-WIRED 110V PER LOCAL CODES
	SMOKE DETECTOR					HARD-WIRED 110V SEE NOTE #3
	SMOKE/ CARBON MONOXIDE DETECTOR COMBO	-				HARD-WIRED 110V SEE NOTE #3
	EXHAUST FAN				CEILING, UNO	SHEET METAL DUCT TO EXTERIOR PER PLANS
	ELECTRIC PANEL					SURFACE FLUSH MOUNT
	METER (GAS, WATER, ELEC)					

ELECTRICAL FIXTURE SCHEDULE					
	MANUFACTURER/ DESCRIPTION	MODEL #	LAMP DESCRIPTION	MOUNTING	REMARKS
F01	JUNO - 4" LED DOWNLIGHT OR APPROVED SIM	HOUSING: IC1RLED 900LM Remodel housing TRIM: 17 WWH	2700K LED/ 90 CRI	RECESSED	SEE MFR FOR APPROVED DIMMERS SEE NOTE 2
F02	JUNO - 4" LED DOWNLIGHT OR APPROVED SIM	HOUSING: IC1RLED 900LM Remodel housing TRIM: 39 WWH	2700K LED/ 90 CRI	RECESSED	4" RECESSED WALL WASH SEE NOTE 2
F03	JUNO - 4" LED DOWNLIGHT OR APPROVED SIM	HOUSING: IC1RLED 900LM Remodel housing TRIM: 12 WWH	2700K LED/ 90 CRI	RECESSED	WET LISTED FIXTURE SEE NOTE 2
F04	BY OWNER - UNDER CABINET	UPLD (LENGTH TBD) SWW4 30K 90CRI WH	LED - 2700K	UNDER CABINET/STRIP	SURFACE MOUNTED
F05	BY OWNER - DECORATIVE CLING MOUNT	BY OWNER - SEE NOTE 5			
F06	BY OWNER - WALL SCONCE	BY OWNER - SEE NOTE 5	LED - 2700K-3000K		COORDINATE FINAL MOUNTING HEIGHT/LOCATION AFTER FIXTURE SELECTIONS HAVE BEEN FINALIZED.
F07	BY OWNER - SURFACE: SMALL SPACE	BY OWNER - SEE NOTE 5	LED - 2700K-3000K		BATHROOM SCONCES TO BE WET LISTED FULLY ENCLOSED
F08	BY OWNER - SURFACE	BY OWNER - SEE NOTE 5	LED - 2700K-3000K		
F09	BY OWNER - CLG FAN	BY OWNER - SEE NOTE 5		CLG FAN	
F10	BY OWNER - EXTERIOR SCONCE	BY OWNER - SEE NOTE 5			WET LISTED FOR EXTERIOR USE
F11	BY OWNER - EXTERIOR SURFACE	BY OWNER - SEE NOTE 5			WET LISTED FOR EXTERIOR USE
F12	BY OWNER - EXTERIOR PENDANT	BY OWNER - SEE NOTE 5			WET LISTED FOR EXTERIOR USE
F13	BY OWNER - CEILING FAN	BY OWNER - SEE NOTE 5			
LIGHT FIXTURE NOTES: 1. ALL CLOSET LIGHT FIXTURES TO BE THE TOTALLY ENCLOSED TYPE. 2. ALL LIGHTS THAT ARE IN INSULATED CEILINGS MUST BE RATED FOR INSULATED HOUSING. 3. ALL DECORATIVE LIGHTS AND CEILING FANS TO BE SELECTED BY OWNER AND INSTALLED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE ALLOWANCES w/ OWNER & ARCHITECT PRIOR TO BID & CONSTRUCTION. 4. SUBSTITUTION OF SCHEDULED LIGHT FIXTURES TO BE APPROVED BY ARCHITECT & OWNER PRIOR TO BID & CONSTRUCTION. 5. COORDINATE FINAL LOCATION/HEIGHTS w/ OWNER FOR ALL OWNER SELECTED FIXTURES PRIOR TO INSTALLATION 6. CONTRACTOR TO INCLUDED DRIVERS, FEEDS, CONNECTORS, ETC AS REQUIRED BY FOR ALL LED FIXTURES THAT ARE REQUIRED TO INSTALL SPECIFIED LIGHTING & HOUSING, TYP.					



RISER DIAGRAM NOTES:

EXIST'G 200 AMP C/T CABET & METER:
200 AMP, 1 PHASE, 3 WIRE CURRENT TRANSFORMER METER SOCKET ASSEMBLY MEETING LOCAL UTILITY REQUIREMENTS.

KEYED NOTES:

- (A) GROUNDING AT PANEL TO INCLUDE:
#1/0 AWG IN 1" CONDUIT TO INCOMING WATER MAIN WITH BONDING BONDING JUMPER OVER WATER METER.

GENERAL ELECTRICAL NOTES

- 1. ALL NEW** 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENs, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. NEC 2011 - 210.1.
- ALL NEW RECEPTACLES TO BE TAMPER RESISTANT TYPE.
- PROVIDE DEDICATED LAUNDRY BRANCH CIRCUIT FOR ALL LAUNDRY ROOMS.
- LIGHTING EQUIPMENT:**
- NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- EXCEPTION: LOW-VOLTAGE LIGHTING.
- RECEPTACLE OUTLETS SERVING KITCHEN COUNTERS SHALL BE SPACE SO THAT NO OUTLET IS MORE THAN 24 INCHES FROM AN OUTLET MEASURED ALONG THE WALL. NEC 201.52.
- PROVIDE RECEPTACLE OUTLETS IN MASTER BEDROOM ALONG WALL WHERE NO OUTLET IS MORE THAN 6 FEET FROM AN OUTLET. NEC 2011 - 210.5.

-MAIN ELECTRIC PANEL SHALL CONTAIN A SCHEDULE OF NEW CIRCUITS DIRECTORY ON OR INSIDE THE PANEL. NEC 2011 - 408.4.
GENERAL

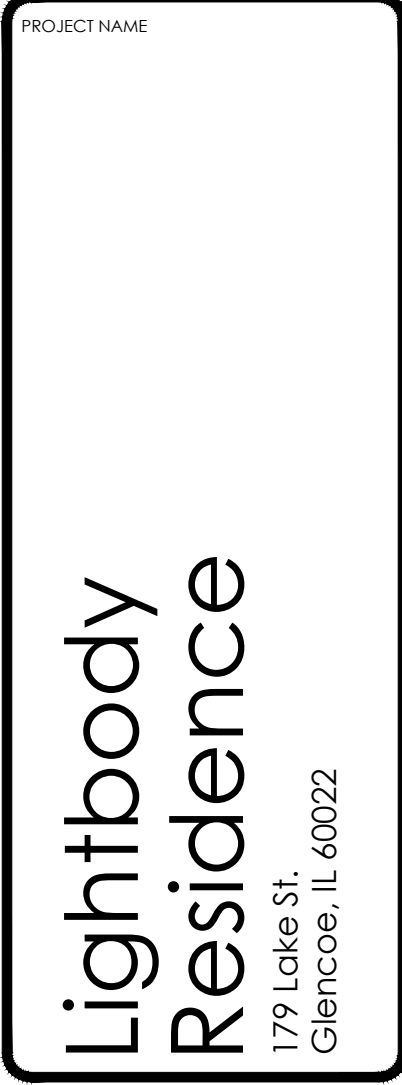
- PROVIDE AND INSTALL COMPLETE AND OPERATING ELECTRICAL SERVICE, POWER & LIGHTING PRODUCTS, LAMPS & LAMP HOLDERS AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN.
- PROVIDE EXPERIENCED, WELL-TRAINED WORKERS COMPETENT TO COMPLETE THE WORK AS SPECIFIED. UNLESS APPROVED BY THE OWNER, PROVIDE ALL RELATED PRODUCTS AND ACCESSORIES FROM ONE MANUFACTURER.
- USE PRODUCTS AND ACCESSORIES FROM MANUFACTURERS WHO SPECIALIZE IN MAKING, INSTALLING, AND SERVICING SYSTEMS OF THIS TYPE FROM A MANUFACTURER SPECIFIED OR APPROVED BY OWNER.
- ALL WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND GOVERNING BUILDING & SAFETY CODES.
- PROVIDE AND STORE ALL MATERIALS REQUIRED TO COMPLETE THE WORK AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN. DELIVER, STORE AND TRANSPORT MATERIALS TO AVOID DAMAGE TO THE PRODUCT OR TO ANY OTHER WORK. REJECT AND RETURN ANY PRODUCTS OR MATERIALS DELIVERED IN A DAMAGED OR UNSATISFACTORY CONDITION. MATERIALS AND PRODUCTS DELIVERED WILL BE CERTIFIED BY MANUFACTURER TO BE AS SPECIFIED.
- EXAMINE AND VERIFY THAT JOB CONDITIONS ARE SATISFACTORY FOR SPEEDY AND ACCEPTABLE WORK. MAINTAIN AND USE UP TO DATE CONSTRUCTION DOCUMENTS ON SITE. MAINTAIN AND UP TO DATE TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
- CONFIRM THERE IS NO CONFLICT BETWEEN THIS WORK AND GOVERNING BUILDING AND SAFETY CODES. CONFIRM THERE ARE NO CONFLICTS BETWEEN THIS WORK AND WORK OF OTHER TRADES. CONFIRM THAT WORK OF OTHER TRADES THAT MUST PRECEDE THIS WORK HAS BEEN COMPLETED. MEET ALL REQUIREMENTS TO SECURE WARRANTY.
- ALL MATERIALS MUST BE NEW AND OF THE TYPE AND QUALITY SPECIFIED. MATERIALS MUST BE DELIVERED IN LABELED, UNOPENED CONTAINERS. ALL ELECTRICAL PRODUCTS MUST BEAR THE UNDERWRITERS LABORATORY LABEL.
- PROVIDE TEMPORARY POWER, POWER POLE, CONNECTION TO UTILITY, AND TEMPORARY METER AS REQUIRED FOR CONSTRUCTION. PROVIDE AND INSTALL PERMANENT ELECTRICAL METER AS BUILDING NEARS COMPLETION.
- ELECTRICAL OUTLETS ABOVE KITCHEN COUNTER TOPS SHALL BE SPACED AT 4'-0" APART MAXIMUM. ELECTRICAL OUTLETS IN LIVING AREAS SHALL BE SPACED AT 12'-0" OC MAXIMUM.
- PROVIDE DISCONNECTING MEANS AS REQUIRED FOR ALL EQUIPMENT.
- PROVIDE COMPLETE SWITCHES, RECEPTACLES, WALL PLATES AND RELATED MATERIALS AS SHOWN ON DRAWINGS.
WALL SWITCHES: QUIET OPERATING SWITCH RATED 20 AMPERES AND 110-220 VOLT AC, COLOR & SWITCH TYPE PER ELECTRICAL SCHEDULE.
WALL DIMMER: LINEAR SLIDE TYPE, RATED FOR 600 WATT MINIMUM, SIZE PER CIRCUIT, COLOR PER ELECTRICAL SCHEDULE.
RECEPTACLES: PER SCHEDULE, SPECIFIC RECEPTACLES AS SHOWN ON DRAWINGS.
- EXTERIOR WEATHERPROOF COVER PLATES SHALL BE GASKETED CAST METAL w/ HINGED GASKETED COVERS.
- CORRECT ANY CONDITIONS THAT MIGHT INTERFERE WITH SPEEDY, WELL-COORDINATED EXECUTION OF WORK.
- STRAPS AND OTHER SUPPORT CONSTRUCTION FOR ELECTRICAL EQUIPMENT MUST BE AS REQUIRED BY THE BUILDING DEPARTMENT.
- UPON COMPLETION, INSPECT ALL WORK FOR IMPROPER INSTALLATION OR DAMAGE. SECURE ALL REQUIRED TESTS, INSPECTIONS, AND APPROVALS OF COMPLETED SYSTEM. MAKE ALL REQUIRED ADJUSTMENTS AND CORRECTIONS AT NO ADDED COST TO THE OWNER.
- PROVIDE FOR MAINTENANCE OF THIS WORK FOR ONE YEAR FOLLOWING FINAL APPROVAL BY GOVERNING AGENCIES. MAINTENANCE INCLUDES ALL WORK REQUIRED IN MANUFACTURER'S INSTRUCTIONS SUCH AS INSPECTION, ADJUSTMENT, REPAIR AND REPLACEMENT OF PARTS AS REQUIRED.
- OPERATING FIXTURES MUST PERFORM SMOOTHLY. REPAIR OR REPLACE ANY DEFECTIVE WORK. REPAIR WORK WILL BE UNDETECTABLE. REDO REPAIRS IF WORK IS STILL DEFECTIVE, AS DIRECTED BY OWNER OR GOVERNING REGULATORY AGENCY.
- CLEAN THE WORK AREA AND REMOVE ALL SCRAP AND EXCESS MATERIALS FROM THE SITE.
- VERIFY WITH OWNER FOR ALL DIMMER LOCATIONS PRIOR TO BID & CONSTRUCTION.
- NO LIVE UNFUSED SERVICE ENTRANCE SHALL EXTEND OVER 5'-0" INSIDE THE BUILDING WITHOUT A MAIN BREAKER OUTSIDE AT SERVICE.

COMMUNICATION NOTES:

- PROVIDE COMPLETE TELEPHONE AND VIDEO CABLE SERVICE AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN.
- TELEPHONE SERVICE INCLUDES EQUIPMENT NOT PROVIDED BY THE PHONE COMPANY AND MAY INCLUDE SERVICE ENTRANCE EQUIPMENT, OUTLETS, TERMINAL BOARDS AND OTHER ITEMS SHOWN ON DRAWINGS OR REQUIRED FOR A COMPLETE OPERATING TELEPHONE SERVICE.
- COORDINATE INSTALLATION OF ITEMS PROVIDED BY TELEPHONE COMPANY.
- CABLE TELEVISION INCLUDES EQUIPMENT NOT PROVIDED BY CABLE COMPANY AND MAY INCLUDE SERVICE ENTRANCE EQUIPMENT, OUTLETS AND OTHER ITEMS SHOWN ON DRAWINGS OR REQUIRED FOR A COMPLETE OPERATING CABLE SERVICE. PROVIDE PREMIUM CABLE WIRE.
- COORDINATE INSTALLATION OF MATERIALS PROVIDED AND INSTALLED BY CABLE COMPANY.



DATE	ISSUE	ISSUE FOR PRICING	CLIENT REVIEW	PERMIT / PRICING	PRICING	PERMIT	FAR CALCULATIONS / PERMIT REVISIONS
05.13.22							
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SHEET NAME ELECTRICAL NOTES & DIAGRAMS
SHEET NUMBER ME2.1

