

MEMO



To: Mayor Hoeft and Board of Trustees

From: David J. Johnson, Village Manager

Date: March 18, 2022

Re: **March 24, 2022 Village Board Meeting**

Included please find the agenda and supporting documentation for the March 24, 2022 Village Board Meeting.

Please Note: There will be an Executive Session on Thursday to discuss: Property Acquisition, Purchase, Sale or Lease of Real Estate.

Please do not hesitate to contact us should you have questions or need additional information on any of the agenda items.

**PUBLIC MEETING NOTICE AND AGENDA
VILLAGE OF HUNTLEY
VILLAGE BOARD MEETING**



**THURSDAY, MARCH 24, 2022
7:00 P.M.**

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Special Presentations:
 - a) Proclamation – Recognition of Thomas Stillwell Huntley 215th Birthday
5. Public Comments
6. Consent Agenda: All items listed under Consent Agenda are considered to be routine by the Village Board and may be approved and/or accepted by one motion with a Roll Call Vote. If further discussion is needed, any member of the Board may request that an item be moved off of the Consent Agenda to Items for Discussion and Consideration.
 - a) Consideration – Approval of the March 24, 2022 Bill List in the Amount of \$679,802.20
 - b) Consideration – Resolution Declaring Surplus Property (Vehicles) and Granting Approval of the Sale and/or Disposal of Village-Owned Property
 - c) Consideration - Ordinance Approving the 2022 Village of Huntley Zoning Map Update
7. Items For Discussion and Consideration:
 - a) Discussion – Proposed Additional Signage and Roadway Delineators on Sun City Boulevard to Enhance Driver Awareness of the Designated On-Street Parking Condition on the Westbound Traffic Lane Between Del Webb Boulevard and Crestview Drive
 - b) Discussion – Proposed Vehicle/Truck Weight Roadway Restrictions
 - c) Conceptual Review – Proposed Rezoning from RE-1 Residential Estate to R-5 Multiple Family Residence of ±2 Acres at 11219 S. Donald Drive to Allow for 24 Townhomes
 - d) Consideration – Ordinance Approving (i) A Special Use Permit for a Car Wash within the “B-3 (PUD)” Shopping Center Business District – Planned Unit Development; and (ii) Final Planned Unit Development, including any necessary relief, for the construction of a new ±4,551 square-foot Car Wash at the Southeast Corner of IL Route 47 and Regency Parkway
 - e) Policy Direction – Proposed Text Amendments to the Village of Huntley Zoning Ordinance to Address Box Signs, Residential Signs, and Temporary Signs

- f) Consideration – Resolution Approving and Accepting Assignment of a Property Purchase and Sale Agreement for 11011 Woodstock Street
 - g) Consideration – Resolution Waiving the Formal Bidding Process and Approve the Purchase of two Ford F-350 Pickup Trucks from Huntley Ford in the amount of \$94,410.00
 - h) Consideration – Resolution Waiving the Formal Bidding Process and Approve the Purchase of an Electronic Sign Insert for the Gateway Sign at Route 47 and Main Street
 - i) Consideration – Resolution Designating 2022 Village Sponsored Special Events as Designated Outdoor Refreshment Area (DORA) Special Events
- 8. Village Attorney’s Report
 - 9. Village Manager’s Report
 - 10. Village President’s Report
 - 11. Unfinished Business
 - 12. New Business
 - 13. Executive Session:
 - a) Property Acquisition, Purchase, Sale or Lease of Real Estate
 - 14. Possible Action on any Closed Session Item
 - 15. Adjournment

MEETING LOCATION
Village of Huntley Municipal Complex
10987 Main Street
Huntley, IL 60142

The Village of Huntley is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, are requested to contact Mr. David Johnson, Village Manager at 847-515-5200. The Village Board Room is handicap accessible.



David J. Johnson
Village Manager

To view Board Meetings live online, click on the link as noted on the Village website at
www.huntley.il.us
The live feed becomes active once the meeting begins.



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Agenda Item: Special Presentation
a) Recognition Honoring the 215th Birthday of Thomas Stillwell Huntley

Department: Village Manager's Office

Mayor Hoeft will read a proclamation commemorating the birth and accomplishments of Huntley's founding father, Thomas Stillwell Huntley.



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Agenda Item: March 24, 2022 Bill List in the amount of \$679,802.20

Department: Finance

Included in the agenda packet is the March 24, 2022 Bill List. The Bill List has been reviewed by Staff. All is in order for Village Board consideration at this time.

- Bills Payable Fund Summary Report
- Bill List - Detail Board Report \$ 679,562.20
- Bill List – Petty Cash Checking Account \$ 240.00
- Total for approval \$ 679,802.20

- Payroll - 3/10/22 \$ 464,304.27

ACTION REQUESTED

A motion by the Village Board to authorize payment of the March 24, 2022 Bill List in the amount of \$679,802.20.

- FY21 Budget expenditures total \$201,029.12
- FY22 Budget expenditures total \$478,773.08

Reviewed by: 
Village Manager

Reviewed by: 
Finance Director



AGENDA ITEM
VILLAGE BOARD MEETING: 3/24/2022
Bills List Fiscal Year End 12/31/2022

The following is a breakdown by Fund for the March 24, 2022 Bills List.

FUND	DEPARTMENT	TOTALS
100	General Fund *(Non-Expense Related Items)	\$270,086.11
100-10	Legislative & Executive	\$9,001.76
100-20-10	Village Manager's Office	\$756.93
100-20-21	Human Resources	\$1,664.50
100-20-22	Information Technology	\$375.63
100-30	Finance	\$2,935.99
100-50	Police Department	\$15,225.33
100-60-10	PW Admin/Engineering	\$9,781.13
100-60-61	Streets/Underground	\$111,741.46
100-60-62	Buildings & Grounds	\$1,404.04
100-70	Development Services	\$9,633.27
220	Cemetery	\$2,917.04
230	Public Liability Insurance	\$1,867.21
400	Capital Projects Fund	\$59,919.96
410	Facilities & Grounds Maintenance	\$1,056.39
420	Street Improvement/Road & Bridge	\$8,152.89
440	Downtown TIF	\$37,839.00
480	Equipment Replacement	\$1,228.75
510	Water Operating	\$22,419.14
515	Water Capital Fund	\$37,919.56
520	Wastewater Operating	\$12,339.38
525	Wastewater Capital Fund	\$51,330.41
600	Benefits Fund	\$1,216.78
700	Escrow Agency Fund	\$8,989.54
	3/24/22 Bills Payable	\$679,802.20
	3/10/2022 Payroll Date	\$464,304.27
	Total Payroll	\$464,304.27
	Total Disbursements	\$1,144,106.47

*(Compliance Bond Refunds, Impact Fees, Sales Tax Rebates, Deposit Refunds, Pre-Paid Expenses, and A/R-Bulk Fuel)



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT		AMOUNT
101 - ACS SUSICO		
ROOM SIGNS		
<i>General Fund-Village Managers Office-Human Resources</i>		\$143.00
101 - ACS SUSICO Total		<u>\$143.00</u>
102 - ADT LLC		
SECURITY CAMERA SERVICE - PW BAKLEY & TOWN SQUARE		
<i>Facilities & Grounds Maintenance</i>		\$406.18
102 - ADT LLC Total		<u>\$406.18</u>
1034 - MIDAMERICAN ENERGY SERVICES LLC		
ELECTRICITY		
<i>Water Operating Fund-Public Works-Water</i>		\$5,916.64
1034 - MIDAMERICAN ENERGY SERVICES LLC Total		<u>\$5,916.64</u>
1041 - DYNEGY ENERGY SERVICES		
ELECTRICITY		
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>		\$720.77
<i>Wastewater Operating Fund-Public Works-Wastewater</i>		\$527.11
1041 - DYNEGY ENERGY SERVICES Total		<u>\$1,247.88</u>
105 - AWWA		
MEMBERSHIP DUES, 5/1/22 -4/30/23 - TIM FARRELL		
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>		\$85.00
105 - AWWA Total		<u>\$85.00</u>
1076 - PLOTE CONSTRUCTION INC		
EMERGENCY ROAD REPAIR - RT 47 MAIN BREAK		
<i>Water Capital & Equipment Fund</i>		\$8,099.64
1076 - PLOTE CONSTRUCTION INC Total		<u>\$8,099.64</u>
1095 - AMAZON CAPITAL SERVICES INC		
D-BATTERIES		
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>		\$73.11
IMPACT SOCKET, DUCT TAPE		
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>		\$26.99
POSTER FRAMES		
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>		\$34.99
RETURN CREDIT - IMPACT SOCKET, DUCT TAPE		
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>		(\$26.99)
1095 - AMAZON CAPITAL SERVICES INC Total		<u>\$108.10</u>



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
110 - ACE HARDWARE	
36" PICKUP TOOL <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$53.98
9V BATTERY FOR TINT METER <i>General Fund-Police</i>	\$3.59
FASTENERS <i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$4.38
GRAFFITI REMOVAL PRODUCT <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$7.59
GRAFFITI REMOVAL PRODUCTS <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$44.95
SUPPLIES SSQUAD MAINT/CLEANING <i>General Fund-Police</i>	\$7.99
110 - ACE HARDWARE Total	\$122.48
112 - ADVANCED BUSINESS NETWORKS INC	
LENOVO POWER ADAPTER <i>Equipment Replacement Fund</i>	\$60.00
LENOVO THINKPAD T15P DOCKING STATION <i>Equipment Replacement Fund</i>	\$1,000.00
112 - ADVANCED BUSINESS NETWORKS INC Total	\$1,060.00
1125 - KIMBALL MIDWEST	
MISC HARDWARE <i>Water Operating Fund-Public Works-Water</i>	\$434.80
VANDAL MARK REMOVER <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$43.70
1125 - KIMBALL MIDWEST Total	\$478.50
113 - ADVOCATE SHERMAN OCCUP HEALTH	
BREATH ALCOHOL TEST <i>General Fund-Village Managers Office-Human Resources</i>	\$33.88
DRUG SCREEN <i>General Fund-Village Managers Office-Human Resources</i>	\$39.00
RANDOM DRUG POOL MAINTENANCE FEE <i>General Fund-Village Managers Office-Human Resources</i>	\$250.00
113 - ADVOCATE SHERMAN OCCUP HEALTH Total	\$322.88



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
1133 - JAYDEV BREW d/b/a MORE BREWING CO.	
SALES TAX REBATE - 4TH QTR 2021	
<i>General Fund</i>	\$4,268.37
1133 - JAYDEV BREW d/b/a MORE BREWING CO. Total	\$4,268.37
1150 - WEX HEALTH	
FSA MONTHLY FEES	
<i>General Fund-Village Managers Office-Human Resources</i>	\$106.25
1150 - WEX HEALTH Total	\$106.25
1168 - SAFEWAY INC, NASC-SALE & USE TAX DEPT.	
SALES TAX REBATE - 4TH QTR 2021	
<i>Capital Projects and Improvement</i>	\$2,412.96
<i>General Fund</i>	\$34,649.21
<i>Street Improvement/Road & Bridge</i>	\$7,238.89
1168 - SAFEWAY INC, NASC-SALE & USE TAX DEPT. Total	\$44,301.06
118 - ALLIED ASPHALT	
ASPHALT MATERIAL	
<i>Water Capital & Equipment Fund</i>	\$167.50
118 - ALLIED ASPHALT Total	\$167.50
119 - ALTHOFF INDUSTRIES INC	
2022 ANNUAL MAINTENANCE CONTRACT - WEST PLANT	
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$2,930.00
119 - ALTHOFF INDUSTRIES INC Total	\$2,930.00
1230 - SECURITAS ELECTRONIC SECURITY INC	
LABOR/REPAIR BOOKING WORKSTATION	
<i>Facilities & Grounds Maintenance</i>	\$240.00
1230 - SECURITAS ELECTRONIC SECURITY INC Total	\$240.00
1242 - FRANCE MEDIA INC	
ECONOMIC DEV ADVERTISING/HEARTLAND REAL ESTATE BUSINESS	
<i>General Fund-Development Services</i>	\$1,650.00
1242 - FRANCE MEDIA INC Total	\$1,650.00
1343 - MIDWEST SALT LLC	
WATER SOFTENER SALT	
<i>Water Operating Fund-Public Works-Water</i>	\$2,843.52
1343 - MIDWEST SALT LLC Total	\$2,843.52



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
1351 - U S POST CO INC	
MAILBOX DOUBLE PLATES <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$130.00
MAILBOX SCROLLS <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$130.00
1351 - U S POST CO INC Total	\$260.00
1363 - PACE ANALYTICAL	
LAB SAMPLE TESTING <i>Water Operating Fund-Public Works-Water</i>	\$2,941.50
1363 - PACE ANALYTICAL Total	\$2,941.50
143 - B&F CONSTRUCTION CODE SVC INC	
BACKFLOW INSPECTION SERVICES - 1/2022 <i>Water Operating Fund-Public Works-Water</i>	\$580.00
INSPECTION SERVICES - 1/2022 <i>General Fund-Development Services</i>	\$1,860.80
PLAN REVIEW #1125262 <i>General Fund-Development Services</i>	\$975.00
143 - B&F CONSTRUCTION CODE SVC INC Total	\$3,415.80
145 - BACKFLOW SOLUTIONS INC	
CROSS CONNECT CONTROL PROGRAM <i>Water Operating Fund-Public Works-Water</i>	\$14.95
145 - BACKFLOW SOLUTIONS INC Total	\$14.95
158 - BLU PETROLEUM	
VEHICLE FUEL - DIESEL <i>General Fund</i>	\$8,326.64
VEHICLE FUEL - REGULAR <i>General Fund</i>	\$9,314.42
WINTER ADDITIVE <i>General Fund</i>	\$127.40
158 - BLU PETROLEUM Total	\$17,768.46
164 - BOTTTS WELDING & TRK SVC INC	
SAFETY INSPECTION - VEH 1961 <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$28.00
164 - BOTTTS WELDING & TRK SVC INC Total	\$28.00



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
171 - C & L RENTALS SALES & SVC INC	
16X20 METAL BLADE <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$77.88
MORTAR MIX <i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$17.98
QUICK COUPLER <i>Water Operating Fund-Public Works-Water</i>	\$12.78
RENT FLOOR SANDER <i>General Fund-Public Works-Buildings & Grounds</i>	\$91.11
171 - C & L RENTALS SALES & SVC INC Total	\$199.75
173 - CB BURKE ENGINEERING LTD	
AMAZON XL DISTRIBUTION FACILITY <i>General Fund-Public Works-Administration</i>	\$4,460.00
BILL: MI HOMES FIELDSTONE <i>Escrow / Recapture Fund</i>	\$875.00
CATTY BLDG REDEVELOPMENT SITE IMPR. <i>Downtown TIF Fund</i>	\$3,969.50
CHURCH ST. PARKING LOT IMPROVEMENTS <i>Downtown TIF Fund</i>	\$7,178.00
CIDER GROVE PHASE II <i>General Fund-Public Works-Administration</i>	\$87.50
DOWNTOWN ON STREET PARKING - 1ST & WOODSTOCK <i>Downtown TIF Fund</i>	\$3,354.75
DOWNTOWN STREETScape IMPROVEMENTS (S. CHURCH & MILL) <i>Downtown TIF Fund</i>	\$931.35
EAKIN CREEK SANITARY INTERCEPT SEWER DESGIN <i>Wastewater Capital & Equipment</i>	\$8,301.16
HUNTLEY CEMETERY PLOTTING <i>Cemetery Fund</i>	\$121.00
HUNTLEY COMMERCIAL CENTER <i>Escrow / Recapture Fund</i>	\$5,885.00
HUNTLEY CROSSINGS PH 2, PLAT 2 <i>General Fund-Public Works-Administration</i>	\$175.00
HUNTLEY DUNDEE DRAINAGE ANALYSIS <i>Capital Projects and Improvement</i>	\$10,573.75
IL RT 47 WATER MAIN REPLACEMENT PROGRAM <i>Water Capital & Equipment Fund</i>	\$2,305.05
MILL & DEAN ST. WATER MAIN IMPROVEMENTS <i>Water Capital & Equipment Fund</i>	\$5,443.00
MUNICIPAL ENGINEERING SERVICES <i>General Fund-Public Works-Administration</i>	\$968.00



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
SAFETY RECOMMENDATION FOR SELECT PEDESTRIAN CROSSWALKS	
<i>Street Improvement/Road & Bridge</i>	\$914.00
WING POINTE - 2022 NATURAL AREA MAINTENANCE & ENHANCEMENT	
<i>Capital Projects and Improvement</i>	\$733.25
WOODSTOCK ST. PARKING LOT IMPR. DESIGN ENG.	
<i>Downtown TIF Fund</i>	\$13,609.90
173 - CB BURKE ENGINEERING LTD Total	\$69,885.21
175 - CDM PROMOTIONS INC	
DOCUMENT BAGS	
<i>General Fund-Village Managers Office-Human Resources</i>	\$491.13
175 - CDM PROMOTIONS INC Total	\$491.13
196 - CLARK BAIRD SMITH LLP	
LEGAL SERVICES	
<i>General Fund-Legislative</i>	\$68.75
196 - CLARK BAIRD SMITH LLP Total	\$68.75
199 - CLARKE MOSQUITO CNTRL PRODS INC	
2022 MOSQUITO MANAGEMENT PROGRAM	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$25,785.00
199 - CLARKE MOSQUITO CNTRL PRODS INC Total	\$25,785.00
204 - CONCENTRIC INTEGRATION LLC	
CHLORINE ROOM THERMOSTAT SENSOR INTEGRATION - 5 WATER PLANTS	
<i>Water Capital & Equipment Fund</i>	\$1,725.00
204 - CONCENTRIC INTEGRATION LLC Total	\$1,725.00
205 - COMCAST BUSINESS	
DIGITAL ADAPTER SVC - PD	
<i>General Fund-Police</i>	\$11.25
205 - COMCAST BUSINESS Total	\$11.25
207 - COLUMBIA PIPE & SUPPLY CO	
3'X2" COUPLING	
<i>Water Operating Fund-Public Works-Water</i>	\$42.22
207 - COLUMBIA PIPE & SUPPLY CO Total	\$42.22

DETAIL BOARD REPORT 3/24/2022



VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
208 - COMED	
ELECTRICITY	
<i>Cemetery Fund</i>	\$19.06
<i>Facilities & Grounds Maintenance</i>	\$97.71
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$228.60
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$576.01
<i>Water Operating Fund-Public Works-Water</i>	\$412.09
208 - COMED Total	\$1,333.47
 214 - CORE & MAIN	
6X20 REP CLAMPS	
<i>Water Operating Fund-Public Works-Water</i>	\$651.14
MXU & WATER METER REPLACEMENT PROGRAM	
<i>Water Capital & Equipment Fund</i>	\$2,325.00
WATER METERS & EQUIPMENT - NEW CONSTRUCTION	
<i>Water Capital & Equipment Fund</i>	\$927.38
214 - CORE & MAIN Total	\$3,903.52
 218 - COWLIN & CURRAN PROF CORP	
LEGAL SERVICES - 2/2022	
<i>General Fund-Police</i>	\$6,355.00
218 - COWLIN & CURRAN PROF CORP Total	\$6,355.00
 226 - DAHME MECHANICAL INDUSTRIES	
INSTALL NEW NON-POTABLE STRAINER - WEST PLANT	
<i>Wastewater Capital & Equipment</i>	\$4,888.00
NEW NON-POTABLE STRAINER - WEST PLANT	
<i>Wastewater Capital & Equipment</i>	\$19,895.00
REPLACE CHECK VALVE - WEST PLANT RAS #2 STATION	
<i>Wastewater Capital & Equipment</i>	\$7,800.00
226 - DAHME MECHANICAL INDUSTRIES Total	\$32,583.00
 243 - EDSUITE	
ANNUAL LICENSE SITES & BUILDINGS	
<i>General Fund-Development Services</i>	\$839.00
ANNUAL WEBSITE HOSTING-HUNTLEYFIRST.COM	
<i>General Fund-Development Services</i>	\$300.00
243 - EDSUITE Total	\$1,139.00

DETAIL BOARD REPORT 3/24/2022



VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
246 - ENGINEERING ENTERPRISES INC	
COMPREHENSIVE UTILITY MASTER PLAN UPDATE	
<i>Wastewater Capital & Equipment</i>	\$1,585.50
<i>Water Capital & Equipment Fund</i>	\$1,585.50
EAST WWTF UV MODIFICATIONS	
<i>Wastewater Capital & Equipment</i>	\$8,692.00
SPRAY IRRIGATION PERMIT REVIEW	
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$471.00
WELL NO. 12 DESIGN	
<i>Water Capital & Equipment Fund</i>	\$1,944.00
246 - ENGINEERING ENTERPRISES INC Total	\$14,278.00
252 - FSCI	
FIRE SPRINKLER PLAN REVIEW #22-342	
<i>General Fund-Development Services</i>	\$520.00
FIRE SPRINKLER PLAN REVIEW #22-425	
<i>General Fund-Development Services</i>	\$1,030.00
252 - FSCI Total	\$1,550.00
258 - FEDEX	
UB LOCK BOX REPORTS	
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$54.52
<i>Water Operating Fund-Public Works-Water</i>	\$54.50
258 - FEDEX Total	\$109.02
259 - FILIPPINI LAW FIRM LLP	
BILL: HUNLEY XNG PHS 1 - LOT 9 RESUBDIVISION	
<i>Escrow / Recapture Fund</i>	\$49.00
BILL: HUNTLEY COMMERCIAL CENTER/OUTLET MALL REDEV	
<i>Escrow / Recapture Fund</i>	\$1,323.00
BILL: MI HOMES FIELDSTONE	
<i>Escrow / Recapture Fund</i>	\$294.00
LEGAL SERVICES	
<i>Downtown TIF Fund</i>	\$8,795.50
<i>General Fund-Legislative</i>	\$5,906.00
<i>General Fund-Police</i>	\$3,013.50
259 - FILIPPINI LAW FIRM LLP Total	\$19,381.00



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
286 - GRAFTON TOWNSHIP	
IMPACT FEES FEB 2022	
<i>General Fund</i>	\$600.00
IMPACT FEES JAN 2022	
<i>General Fund</i>	\$300.00
286 - GRAFTON TOWNSHIP Total	\$900.00
293 - HAWKS NAPA AUTO PARTS	
CALBE TIES, GREASE FITTINGS, HEAT SHRINK TUBING	
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$20.87
CORE DEPOSIT REFUND - VEH 1691	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	(\$81.00)
CORE DEPOSIT REFUND - VEH 2613	
<i>General Fund-Police</i>	(\$18.00)
OIL FILTERS	
<i>General Fund-Public Works-Administration</i>	\$22.80
SAFETY EYEWEAR	
<i>Water Operating Fund-Public Works-Water</i>	\$53.46
WINDSHIELD WASHER JET - VEH 1665	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$12.50
293 - HAWKS NAPA AUTO PARTS Total	\$10.63
302 - HUNTLEY FIRE PROTECTION DIST	
IMPACT FEES FEB 2022	
<i>General Fund</i>	\$6,165.00
IMPACT FEES JAN 2022	
<i>General Fund</i>	\$5,295.00
302 - HUNTLEY FIRE PROTECTION DIST Total	\$11,460.00
304 - HUNTLEY LIBRARY DISTRICT	
IMPACT FEES FEB 2022	
<i>General Fund</i>	\$3,060.00
IMPACT FEES JAN 2022	
<i>General Fund</i>	\$2,630.00
304 - HUNTLEY LIBRARY DISTRICT Total	\$5,690.00
305 - HUNTLEY PARK DISTRICT	
IMPACT FEES JAN 2022	
<i>General Fund</i>	\$3,835.38
305 - HUNTLEY PARK DISTRICT Total	\$3,835.38



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
307 - HUNTLEY COMMUNITY SCHOOL DIST 158	
IMPACT FEES FEB 2022	
<i>General Fund</i>	\$45,782.00
IMPACT FEES JAN 2022	
<i>General Fund</i>	\$39,820.00
307 - HUNTLEY COMMUNITY SCHOOL DIST 158 Total	\$85,602.00
309 - HUNTLEY TAX HOLDINGS LLC	
SALES TAX REBATE - 4TH QTR 2021	
<i>General Fund</i>	\$104,712.69
309 - HUNTLEY TAX HOLDINGS LLC Total	\$104,712.69
313 - ID NETWORKS INC	
ANNUAL MAINTENANCE & SUPPORT	
<i>Capital Projects and Improvement</i>	\$6,750.00
NEW RMS/FBR REPORTING PROGRAM	
<i>Capital Projects and Improvement</i>	\$39,450.00
313 - ID NETWORKS INC Total	\$46,200.00
329 - ITOA	
ITOA CONFR FEE & ARMORERS COURSE/LARKIN & ROWE	
<i>General Fund-Police</i>	\$865.00
329 - ITOA Total	\$865.00
338 - ITEA	
ITEA CONFERENCE/KEPPLER & JULIANO	
<i>General Fund-Police</i>	\$256.26
338 - ITEA Total	\$256.26
339 - JG UNIFORMS INC	
CUSTOM VEST COVER/GREGORIO	
<i>General Fund-Police</i>	\$212.00
339 - JG UNIFORMS INC Total	\$212.00
340 - JA DHAMER TRUCKING INC	
SUPER AGGREGATE, STONE	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$1,020.72
340 - JA DHAMER TRUCKING INC Total	\$1,020.72



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
348 - K-TECH SPECIALTY COATINGS	
BEET HEET CONCENTRATE (4600 GALS)	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$7,248.17
348 - K-TECH SPECIALTY COATINGS Total	\$7,248.17
361 - LAKE IN THE HILLS	
SOUTHWIND WATER TREATMENT FACILITY DISCHARGE	
<i>Water Operating Fund-Public Works-Water</i>	\$54.50
361 - LAKE IN THE HILLS Total	\$54.50
365 - LANGTON GROUP	
SNOW REMOVAL SERVICES - CUL-DE-SACS	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$6,726.35
SNOW REMOVAL SERVICES 2/11/22	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$2,072.85
SNOW REMOVAL SERVICES 2/17/22	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$3,348.00
SNOW REMOVAL SERVICES 2/18/22	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$1,112.01
SNOW REMOVAL SERVICES 2/25/22	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$4,163.61
SNOW REMOVAL SERVICES 3/7/22	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$15,148.31
365 - LANGTON GROUP Total	\$32,571.13
375 - LEXISNEXIS RISK SOLUTIONS	
LAW ENFORCEMENT DATABASE	
<i>General Fund-Police</i>	\$206.50
375 - LEXISNEXIS RISK SOLUTIONS Total	\$206.50
383 - MCHENRY COUNTY	
RECORD DOCUMENT	
<i>General Fund-Legislative</i>	\$14.50
383 - MCHENRY COUNTY Total	\$14.50
384 - MIAT	
2022 ANNUAL OPERATIONAL FEE	
<i>General Fund-Police</i>	\$1,000.00
384 - MIAT Total	\$1,000.00



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
397 - MCEDC	
2022 INVESTMENT REQUEST	
<i>General Fund-Legislative</i>	\$1,500.00
397 - MCEDC Total	\$1,500.00
400 - MCHENRY COUNTY COUNCIL OF GOVT	
FEBRUARY MEMBERSHIP MEETING	
<i>General Fund-Village Managers Office-Administration</i>	\$50.00
400 - MCHENRY COUNTY COUNCIL OF GOVT Total	\$50.00
402 - MEADE ELECTRIC CO INC	
TRAFFIC SIGNAL MAINTENANCE	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$829.80
402 - MEADE ELECTRIC CO INC Total	\$829.80
423 - QUADIENT LEASING USA INC	
LETTER OPENER LEASE - 1ST QTR 2022	
<i>General Fund-Finance</i>	\$62.33
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$62.33
<i>Water Operating Fund-Public Works-Water</i>	\$62.33
423 - QUADIENT LEASING USA INC Total	\$186.99
424 - OFFICE DEPOT	
ENVELOPE ORDER	
<i>General Fund-Village Managers Office-Administration</i>	\$15.22
OFFICE SUPPLIES	
<i>General Fund-Development Services</i>	\$15.04
<i>General Fund-Finance</i>	\$53.53
<i>General Fund-Village Managers Office-Administration</i>	\$7.05
424 - OFFICE DEPOT Total	\$90.84
425 - COMPASS MINERALS	
ROAD SALT (500 TONS)	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$26,848.82
425 - COMPASS MINERALS Total	\$26,848.82
428 - NICOR GAS	
NATURAL GAS	
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$1,286.07
428 - NICOR GAS Total	\$1,286.07



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
429 - NORTHWEST HERALD - SHAW	
BII: GENERAL RV <i>Escrow / Recapture Fund</i>	\$120.02
BILL: TOMMY'S CAR WASH <i>Escrow / Recapture Fund</i>	\$133.42
PUBLIC NOTICE CATTY <i>General Fund-Legislative</i>	\$140.12
PUBLIC NOTICE FIRE STATION ZONING <i>General Fund-Legislative</i>	\$161.56
429 - NORTHWEST HERALD - SHAW Total	\$555.12
455 - POSTAL PROS SOUTHWEST INC	
FEBRUARY NEWSLETTER <i>General Fund-Legislative</i>	\$550.00
UM 1/1/22-1/9/22 <i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$6.35
<i>Water Operating Fund-Public Works-Water</i>	\$6.34
UM 2.14.22-2.20.22 <i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$1,222.91
<i>Water Operating Fund-Public Works-Water</i>	\$1,222.90
455 - POSTAL PROS SOUTHWEST INC Total	\$3,008.50
459 - PRECISE MOBILE RESOURCE MGMNT	
GPS MONITORING SERVICE <i>Equipment Replacement Fund</i>	\$168.75
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$281.25
<i>Wastewater Capital & Equipment</i>	\$168.75
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$168.75
<i>Water Capital & Equipment Fund</i>	\$112.50
<i>Water Operating Fund-Public Works-Water</i>	\$225.00
459 - PRECISE MOBILE RESOURCE MGMNT Total	\$1,125.00
462 - PROFESSIONAL CEMETERY SVCS	
CEMETERY GROUNDS MAINTENANCE - FEB <i>Cemetery Fund</i>	\$925.66
CEMETERY GROUNDS MAINTENANCE - JAN <i>Cemetery Fund</i>	\$925.66
CEMETERY GROUNDS MAINTENANCE - MARCH <i>Cemetery Fund</i>	\$925.66
462 - PROFESSIONAL CEMETERY SVCS Total	\$2,776.98



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
472 - R/K AUTOBODY INC	
REPAIR DAMAGE TO SQUAD 21 (HU-22-000928)	
<i>Liability Insurance Fund</i>	\$783.60
472 - R/K AUTOBODY INC Total	\$783.60
473 - RADICOM BUSINESS COMM SYSTEMS	
RADIO/SIREN REPAIR	
<i>Facilities & Grounds Maintenance</i>	\$312.50
473 - RADICOM BUSINESS COMM SYSTEMS Total	\$312.50
479 - RAY OHERRON CO INC	
TACO MAG POUCH PISTOL BLACK	
<i>General Fund-Police</i>	\$37.79
479 - RAY OHERRON CO INC Total	\$37.79
481 - RED WING SHOE COMPANY INC	
BOOTS/HENRY AUL	
<i>General Fund-Public Works-Buildings & Grounds</i>	\$230.48
BOOTS/BRANDMIRE	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$8.50
481 - RED WING SHOE COMPANY INC Total	\$238.98
492 - RUBINO ENGINEERING INC	
CONCRETE MATERIAL TESTING FROM ROUTE 47 MAIN BREAK 1/31/22	
<i>Water Capital & Equipment Fund</i>	\$941.00
492 - RUBINO ENGINEERING INC Total	\$941.00
493 - RUEKERT & MIELKE INC	
2022 GIS ANNUAL SERVICES	
<i>General Fund-Development Services</i>	\$335.00
<i>General Fund-Police</i>	\$335.00
<i>General Fund-Public Works-Administration</i>	\$1,000.00
<i>General Fund-Public Works-Buildings & Grounds</i>	\$330.00
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$1,000.00
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$1,000.00
<i>Water Operating Fund-Public Works-Water</i>	\$1,000.00
2022 VUEWORKS ANNUAL SERVICES	
<i>General Fund-Development Services</i>	\$670.00
<i>General Fund-Police</i>	\$670.00
<i>General Fund-Public Works-Administration</i>	\$2,000.00
<i>General Fund-Public Works-Buildings & Grounds</i>	\$660.00
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$2,000.00
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$2,000.00
<i>Water Operating Fund-Public Works-Water</i>	\$2,000.00
493 - RUEKERT & MIELKE INC Total	\$15,000.00



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
496 - RUSSO POWER EQUIPMENT	
PRUNER, PRUNING SAW, LOPPER	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$283.94
496 - RUSSO POWER EQUIPMENT Total	\$283.94
 501 - SAMS CLUB SYNCHRONY BANK	
OFFICE SUPPLIES	
<i>General Fund-Development Services</i>	\$135.68
501 - SAMS CLUB SYNCHRONY BANK Total	\$135.68
 512 - SIKICH LLP	
ACCOUNTING SERVICES - 1&2/2022	
<i>General Fund-Finance</i>	\$2,377.25
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$475.45
<i>Water Operating Fund-Public Works-Water</i>	\$1,901.80
512 - SIKICH LLP Total	\$4,754.50
 517 - SMITH ECOLOGICAL SYSTEMS INC	
SERVICE GAS CHLORINE REGULATORS	
<i>Water Capital & Equipment Fund</i>	\$1,640.25
517 - SMITH ECOLOGICAL SYSTEMS INC Total	\$1,640.25
 526 - STEINER ELECTRIC CO	
BULBS	
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$273.40
STREETLIGHT POLE - INCIDENT 8/21/21 - FOX TAIL & WINDY PRAIRIE	
<i>Liability Insurance Fund</i>	\$1,083.61
526 - STEINER ELECTRIC CO Total	\$1,357.01
 545 - THOMPSON ELEVATOR INSP SVC INC	
ELEVATOR INSPECTIONS	
<i>General Fund-Development Services</i>	\$360.00
545 - THOMPSON ELEVATOR INSP SVC INC Total	\$360.00
 552 - TRAFFIC CONTROL & PROTECTION	
SIGNS AND STRIPING SUPPLIES	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$221.25
552 - TRAFFIC CONTROL & PROTECTION Total	\$221.25



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
556 - TPI TYLER PRESS INC	
BUSINESS CARDS - TRUSTEE	
<i>General Fund-Village Managers Office-Administration</i>	\$54.95
VOH ENVELOPES	
<i>General Fund-Development Services</i>	\$158.80
<i>General Fund-Legislative</i>	\$65.20
556 - TPI TYLER PRESS INC Total	\$278.95
558 - THE UPS STORE 6063	
SHIP CL2 REGULATORS	
<i>Water Operating Fund-Public Works-Water</i>	\$17.22
558 - THE UPS STORE 6063 Total	\$17.22
559 - U S POSTAL SERVICE	
POSTAGE METER REFILL #26377817	
<i>General Fund</i>	\$1,200.00
559 - U S POSTAL SERVICE Total	\$1,200.00
570 - VERIZON WIRELESS	
CELL PHONE SERVICE	
<i>General Fund-Development Services</i>	\$383.41
<i>General Fund-Finance</i>	\$42.33
<i>General Fund-Legislative</i>	\$32.33
<i>General Fund-Police</i>	\$1,049.11
<i>General Fund-Public Works-Administration</i>	\$122.78
<i>General Fund-Public Works-Buildings & Grounds</i>	\$92.45
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$314.37
<i>General Fund-Village Managers Office-Administration</i>	\$194.17
<i>General Fund-Village Managers Office-Human Resources</i>	\$47.33
<i>General Fund-Village Managers Office-Information Technology</i>	\$52.33
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$315.17
<i>Water Operating Fund-Public Works-Water</i>	\$326.72
570 - VERIZON WIRELESS Total	\$2,972.50
572 - VILLAGE OF DOWNERS GROVE	
HEALTH INSURANCE PREMIUM-PORTER 4/2022	
<i>Benefits Fund</i>	\$1,216.78
572 - VILLAGE OF DOWNERS GROVE Total	\$1,216.78



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
583 - WEST SIDE EXCHANGE	
FORWARD/REVERSE SWITCH	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$200.83
FREIGHT	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$15.00
583 - WEST SIDE EXCHANGE Total	\$215.83
 602 - MONTEMAYOR CONSTRUCTION INC	
WATERMAIN REPAIR - ROUTE 47 MAIN BREAK 1/31/22	
<i>Water Capital & Equipment Fund</i>	\$10,703.74
602 - MONTEMAYOR CONSTRUCTION INC Total	\$10,703.74
 630 - CIVILTECH ENGINEERING INC	
BILL: M/I HOMES FIELDSTONE SUBDIV	
<i>Escrow / Recapture Fund</i>	\$310.10
630 - CIVILTECH ENGINEERING INC Total	\$310.10
 640 - PERSPECTIVES LTD	
EAP SERVICES 03.01.2022	
<i>General Fund-Village Managers Office-Human Resources</i>	\$285.00
640 - PERSPECTIVES LTD Total	\$285.00
 689 - O'REILLY - STORE 5851	
BRUSH KIT, CAPSULE	
<i>General Fund-Police</i>	\$78.03
689 - O'REILLY - STORE 5851 Total	\$78.03
 858 - NORTHWESTERN MEDICINE OCCUPATIONAL HEALTH	
AUDIOMETRY SCREENING	
<i>General Fund-Village Managers Office-Human Resources</i>	\$40.00
BACK SCREENING	
<i>General Fund-Village Managers Office-Human Resources</i>	\$45.00
DRUG SCREEN	
<i>General Fund-Village Managers Office-Human Resources</i>	\$30.00
PHYSICAL SCREENING	
<i>General Fund-Village Managers Office-Human Resources</i>	\$85.00
VISION SCREENING	
<i>General Fund-Village Managers Office-Human Resources</i>	\$20.00
858 - NORTHWESTERN MEDICINE OCCUPATIONAL HEALTH Total	\$220.00



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
932 - VARITECH INDUSTRIES INC	
FLOWMETER SENSOR	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$136.15
FREIGHT	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$19.14
MT500 FLOWMETER	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$389.15
PRE-WET PUMP	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$466.43
932 - VARITECH INDUSTRIES INC Total	\$1,010.87
933 - GREVE CONSTRUCTION INC	
SNOW REMOVAL SERVICES, 2/24, 2/25, 2/26	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$9,755.00
933 - GREVE CONSTRUCTION INC Total	\$9,755.00
937 - CURRAN CONTRACTING CO	
UPM	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$603.00
937 - CURRAN CONTRACTING CO Total	\$603.00
976 - OLECH, EVRIDIKE EVIE	
MILEAGE REIMBURSEMENT	
<i>General Fund-Village Managers Office-Human Resources</i>	\$48.91
976 - OLECH, EVRIDIKE EVIE Total	\$48.91
983 - HUNTLEY FORD	
FRONT BRAKE PADS & ROTORS - VEH 12-13	
<i>General Fund-Police</i>	\$321.76
STEERING ROD & DAMPER	
<i>Water Operating Fund-Public Works-Water</i>	\$286.05
WINDSHIELD WASHER KIT	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$35.76
WINDSHIELD WIPERS	
<i>General Fund-Public Works-Streets Utilities & Fleet Svcs</i>	\$100.00
983 - HUNTLEY FORD Total	\$743.57
999 - FRONTLINE PUBLIC SAFETY SOLUTIONS	
FRONTLINE PUBLIC SAFETY SOLUTIONS MOBIL TOOL KIT RNWL	
<i>General Fund-Police</i>	\$420.00
999 - FRONTLINE PUBLIC SAFETY SOLUTIONS Total	\$420.00



DETAIL BOARD REPORT 3/24/2022

VENDOR/DESCRIPTION/FUND/DEPARTMENT	AMOUNT
1246 - METRO WEST COUNCIL OF GOVERNMENT	
2022 LEGISLATIVE BREAKFAST/MAYOR HOEFT	
<i>General Fund-Village Managers Office-Administration</i>	\$35.00
1246 - METRO WEST COUNCIL OF GOVERNMENT Total	\$35.00
0 - ADAM SEILER	
0201002190-004 UM CREDIT BALANCE REFUND	
<i>Water Operating</i>	\$30.61
0 - ADAM SEILER Total	\$30.61
0 - GAETANO & GIOVANA DIPASQUALE	
0401005910-004 UM CREDIT BALANCE REFUND	
<i>Water Operating</i>	\$239.01
0 - GAETANO & GIOVANA DIPASQUALE Total	\$239.01
0 - PETER LEPRICH	
0501013740-001 UM CREDIT BALANCE REFUND	
<i>Water Operating</i>	\$144.00
0 - PETER LEPRICH Total	\$144.00
205 - COMCAST BUSINESS	
INTERNET SERVICES - 3/2022	
<i>General Fund-Development Services</i>	\$323.30
<i>General Fund-Finance</i>	\$323.31
<i>General Fund-Legislative</i>	\$323.30
<i>General Fund-Police</i>	\$323.31
<i>General Fund-Public Works-Administration</i>	\$945.05
<i>General Fund-Village Managers Office-Administration</i>	\$323.31
<i>General Fund-Village Managers Office-Information Technology</i>	\$323.30
<i>Wastewater Operating Fund-Public Works-Wastewater</i>	\$945.06
<i>Water Operating Fund-Public Works-Water</i>	\$945.06
PHONE PRI SVCS/515-5200 - 3/2022	
<i>General Fund-Development Services</i>	\$77.24
<i>General Fund-Finance</i>	\$77.24
<i>General Fund-Police</i>	\$77.24
<i>General Fund-Village Managers Office-Administration</i>	\$77.23
205 - COMCAST BUSINESS Total	\$5,083.95
Grand Total	\$679,562.20

VILLAGE OF HUNTLEY
 PETTY CASH CHECKING ACCOUNT - AMERICAN COMMUNITY BANK

DATE	CK#	AMOUNT	PAYEE	DESCRIPTION	100-1033 G/L Account #
2/9/2022	1670	11.00	MCHENRY COUNTY CLERK	Cert Plat/Cemetery Addition Plat	100-10-00-6380
2/8/2022	1671	45.00	MCHENRY COUNTY RECORDER	Record Warranty Deed/Wing Pointe Well Deed	100-10-00-6380
2/9/2022	1672	84.00	MCHENRY COUNTY RECORDER	Record Plat/Cemetery Addition Plat	100-10-00-6380
2/15/2022	1673	0.00	VOID		
2/15/2022	1674	50.00	ST. JUDES CHILDRENS RESEARCH	Memorial/Fred Olsen	100-10-00-6250
2/15/2022	1675	50.00	PROJECT HOPE ANIMAL RESCUE	Memorial/Larry Graf	100-10-00-6250
2/16/2022	1676	0.00	VOID		
		240.00	Submitted To Village Board Meeting 3/24/22		



VILLAGE OF HUNTLEY
AGENDA SUMMARY

March 24, 2022
Village Board Meeting

Agenda Item: Consideration - Resolution Declaring Surplus Property (Vehicles) and Granting Approval of the Sale and/or Disposal of Village-Owned Property

Department: Public Works and Engineering – Streets & Underground and Fleet Division

INTRODUCTION

Vehicle 1614 is a 2007 Ford F-250 and Vehicle 1616 is a 2008 Ford F-150.

STAFF ANALYSIS

Staff is requesting approval to declare the following vehicles surplus and to sell.

Vehicle #	Vehicle Year	Item Description	VIN#
1614	2007	Ford F-250	1FTNF21537EA73483
1616	2008	Ford F-150	1FTPW14V68FB41589

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies “*Forward Looking Community*” as a strategic focus and the following goal: “*Management of Infrastructure Assets for Today and Tomorrow.*” Fleet management is a form of asset management which seeks to optimize life-cycle costs of vehicles and equipment.

FINANCIAL IMPACT

Revenue generated from the sales will go into the Equipment Replacement Fund.

LEGAL ANALYSIS

Not required.

ACTION REQUESTED

A motion by the Village Board for a Resolution Declaring Surplus Property (Vehicles) and Granting Approval of the Sale and/or Disposal of Village-Owned Property.

SUPPORTING DOCUMENTS

1. Draft Resolution

**RESOLUTION DECLARING SURPLUS PROPERTY (VEHICLES) AND
APPROVING THE SALE AND/OR DISPOSAL OF VILLAGE-OWNED PROPERTY**

RESOLUTION (R)2022-03.xx

WHEREAS, the Village of Huntley is a home rule unit of local government under the Illinois Constitution, 1970, Article VII, Section 6; and

WHEREAS, in accordance with the Village of Huntley Vehicle Replacement Policy, the vehicles as listed below are being requested for designation as surplus and for auction and/or disposal; and

WHEREAS, an online auction service will be utilized to assist in the orderly disposal of the vehicles.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HUNTLEY as follows:

SECTION I: The Village of Huntley hereby declares the vehicles listed below as surplus and approves the sale and/or disposal of the vehicles through the services of an online auction company that specializes in the sale of public surplus items and authorizes Village Staff to enter into an auction agreement, if required, with a Public Auction Service to dispose of said vehicles.

Vehicle #	Vehicle Year	Item Description	VIN#
1614	2007	Ford F-250	1FTNF21537EA73483
1616	2008	Ford F-150	1FTPW14V68FB41589

SECTION II: The Village of Huntley approves the sale and/or disposal of other miscellaneous items and equipment through online sales, scrap sales or recycling centers.

SECTION III: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

SECTION IV: All Resolutions and parts of resolutions in conflict herewith are hereby repealed.

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Goldman	_____	_____	_____	_____
Trustee Holzkopf	_____	_____	_____	_____
Trustee Kanakaris	_____	_____	_____	_____
Trustee Kittel	_____	_____	_____	_____
Trustee Leopold	_____	_____	_____	_____
Trustee Westberg	_____	_____	_____	_____

PASSED and APPROVED this 24th day of March, 2022.

APPROVED:

ATTEST:

Timothy J. Hoeft, Village President

Rita McMahan, Village Clerk



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Agenda Item: **Consideration - An Ordinance Approving the 2022 Village of Huntley Zoning Map Update**

Department: **Development Services – Planning and Zoning Division**

INTRODUCTION

Annually, in accordance with the Huntley Zoning Ordinance and state statute, the Village is required to formally adopt an updated zoning map. The required notice, informing the public of the revised map, appeared in the Northwest Herald during the week of March 14, 2022.

STAFF ANALYSIS

The Zoning Map has been updated to reflect the following:

1. On August 26, 2021, Ordinance (O) 2021-08.38 was approved for the rezoning of property owned and developed by Huntley Development Limited Partnership at the northeast corner of Route 47 and Freeman Road from “C-2” Regional Retail District to “BP” Business Park District; and the rezoning of property at the northwest corner of Route 47 and Jim Dhamer Drive from “O” Corporate Office District and “P” Park and Open Space District to “BP” Business Park District and “C-2” Regional Retail District.

FINANCIAL IMPACT

None.

LEGAL ANALYSIS

The Zoning Ordinance and Illinois State Statute (65 ILCS 5/11-13-19) require the annual publication of the current zoning map.

ACTION REQUESTED

A motion of the Village Board to Approve an Ordinance Adopting the 2022 Village of Huntley Zoning Map.

SUPPORTING DOCUMENTS

1. Draft 2022 Zoning Map
2. Draft Ordinance

**AN ORDINANCE APPROVING AND ADOPTING
THE ANNUAL VILLAGE OF HUNTLEY ZONING MAP**

Ordinance (O)2022-03.**

WHEREAS, the Village of Huntley is a home rule unit of local government under the Illinois Constitution, 1970, Article VII, Section 6; and

WHEREAS, in accordance with the Zoning Ordinance, the Village of Huntley is required to annually adopt an update of the Village’s official Zoning Map.

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES as follows:

SECTION I: The Village of Huntley Zoning Map, dated March 24th, 2022, a copy of which is attached hereto, is approved and adopted.

SECTION II: The Village President and Village Clerk are authorized to sign and record, as necessary, the Zoning Map.

SECTION III: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

SECTION IV: All ordinances and parts of ordinances in conflict herewith are hereby repealed.

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Goldman	_____	_____	_____	_____
Trustee Holzkopf	_____	_____	_____	_____
Trustee Kanakaris	_____	_____	_____	_____
Trustee Kittel	_____	_____	_____	_____
Trustee Leopold	_____	_____	_____	_____
Trustee Westberg	_____	_____	_____	_____

PASSED and APPROVED this 24th day of March, 2022.

APPROVED:

Village President

ATTEST:

Village Clerk



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Agenda Item: Discussion – Proposed Additional Signage and Roadway Delineators on Sun City Boulevard to Enhance Driver Awareness of the Designated On-Street Parking Condition on the Westbound Traffic Lane Between Del Webb Boulevard and Crestview Drive

Department: Public Works and Engineering – Administration and Engineering Division

INTRODUCTION

On April 9, 2020, the Village Board adopted Ordinance (O)2020-04.21 that restricts parking on the north side of Drendel Road and the west side of Shirley Lane in the vicinity of the tennis/pickle ball courts at Sun City. The ordinance also modifies the westbound traffic lanes on Sun City Boulevard between Del Webb Boulevard and Crestview Drive by reducing from two lanes to one lane of through traffic to accommodate on-street parking as depicted in the pavement marking and signage plan attached.

STAFF ANALYSIS

Pavement markings and corresponding parking signage were installed shortly after the approval of the ordinance. Staff has received some reports from motorists on Sun City Boulevard that they have witnessed vehicles driving through the designated on-street parking lane and making a right turn on Crestview thus creating a potential hazard for drivers making a proper right turn from the adjacent westbound travel lane. Staff has prepared the attached additional signage and roadway delineator plan to enhance driver awareness of the designated on-street parking condition on the westbound traffic lane between Del Webb Boulevard and Crestview Drive.

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies “*Healthy, Safe, and Attractive Community*” as a strategic focus and the following goal: “*A Safe Community.*” Additional signage will promote driver awareness of the designated on-street parking condition that exists on this roadway.

FINANCIAL IMPACT

The additional signage, posts and reflective road delineators are estimated to cost approximately \$2,000 and will be funded through the Street Improvements and Roads & Bridges Fund 420-00-00-8001.

LEGAL ANALYSIS

None Required.

ACTION REQUESTED

The additional signage and roadway delineator plan is presented for Village Board review and discussion.

SUPPORTING DOCUMENTS

1. Ordinance (O)2020-04.21
2. Proposed Additional Signage Exhibits

AN ORDINANCE CREATING CERTAIN PARKING REGULATIONS IN THE VILLAGE OF HUNTLEY

Ordinance (O)2020-04.21

WHEREAS, the Village of Huntley is a home rule unit of local government under the Illinois Constitution, 1970, Article VII, Section 6; and

WHEREAS, the Village of Huntley has considered certain existing parking conditions within the Village and has determined that the designation of certain areas within the Village as “No Parking” is in the best interest of the residents of the Village of Huntley.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HUNTLEY as follows:

SECTION I: No parking shall be permitted on the north side of Drendel Road from Del Webb Boulevard west to Shirley Lane or on the west side of Shirley Lane from Drendel Road south approximately 250 feet. Appropriate signage designating these sections of roadway as “No Parking Between Signs” shall be posted.

SECTION II: Any persons violating the provisions of Section I of this Ordinance shall pay a fine not less than TWENTY-FIVE AND NO/100 DOLLARS (\$25.00) and not more than ONE THOUSAND AND NO/100 DOLLARS (\$1,000.00).

SECTION III: The westbound traffic lanes of Sun City Boulevard shall be modified to one lane of through traffic between Del Webb Boulevard and Crestview Drive to accommodate on-street parking as depicted in the attached Exhibit A pavement marking and signage plan.

SECTION IV: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

SECTION V: All ordinances and parts of ordinances in conflict herewith are hereby repealed.

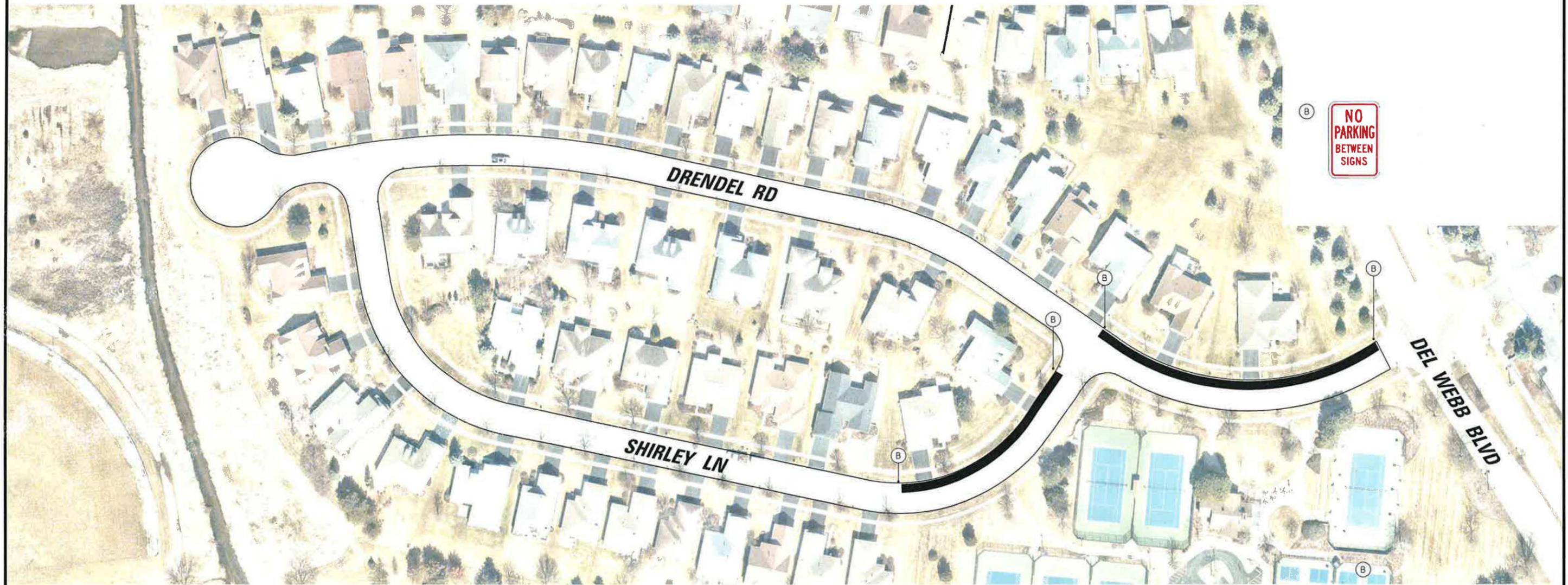
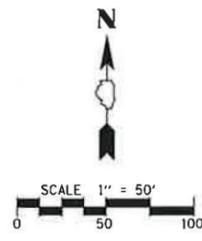
	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Goldman	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Hoeft	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Kanakaris	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Leopold	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Piwko	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Westberg	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

PASSED and APPROVED this 9th day of April, 2020.



Atto M. M. Mahan
Village Clerk

APPROVED:
[Signature]
Village President



OPTION 2:
 NORTH SIDE, NO PARKING
 BY TENNIS COURTS

CB
CHRISTOPHER B. BURKE ENGINEERING, LTD.
 9575 W. Higgins Road, Suite 600
 Rosemont, Illinois 60018
 (847) 823-0500

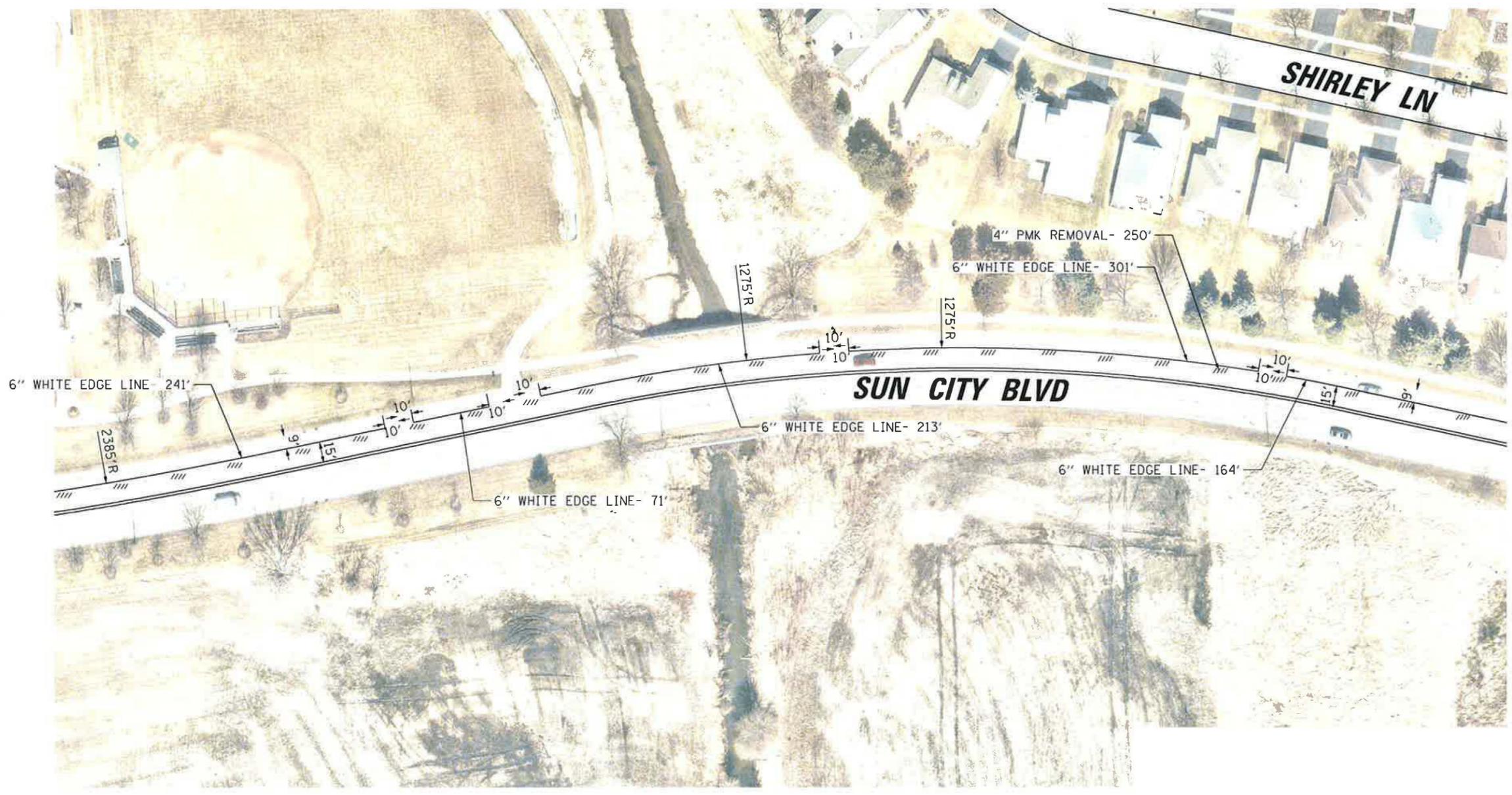
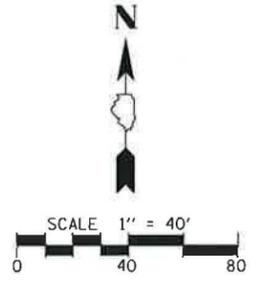
CLIENT:

VILLAGE OF HUNTLEY
 10987 MAIN STREET
 HUNTLEY, IL 60142
 (847) 669-3450

NO.	DATE	NATURE OF REVISION	CHKD.	MODEL:	EXH
FILE NAME	N:\Huntley\Sun City Blvd\013020\drenDel.shirley_2.sht				
DSGN.	DWN.	CHKD.	EDT		
SCALE:	50'				
PLOT DATE:	2/3/2020				
CAD USER:	mgoldenberq				

TITLE:
PARKING RESTRICTION EXHIBIT 2
NORTH SIDE – NO PARKING
BY TENNIS COURTS

PROJ. NO. 000
 DATE: 2/3/2020
 SHEET 2 OF
 DRAWING NO.
EXH 2



CHRISTOPHER B. BURKE ENGINEERING, LTD.
 9575 W. Higgins Road, Suite 600
 Rosemont, Illinois 60018
 (847) 823-0500

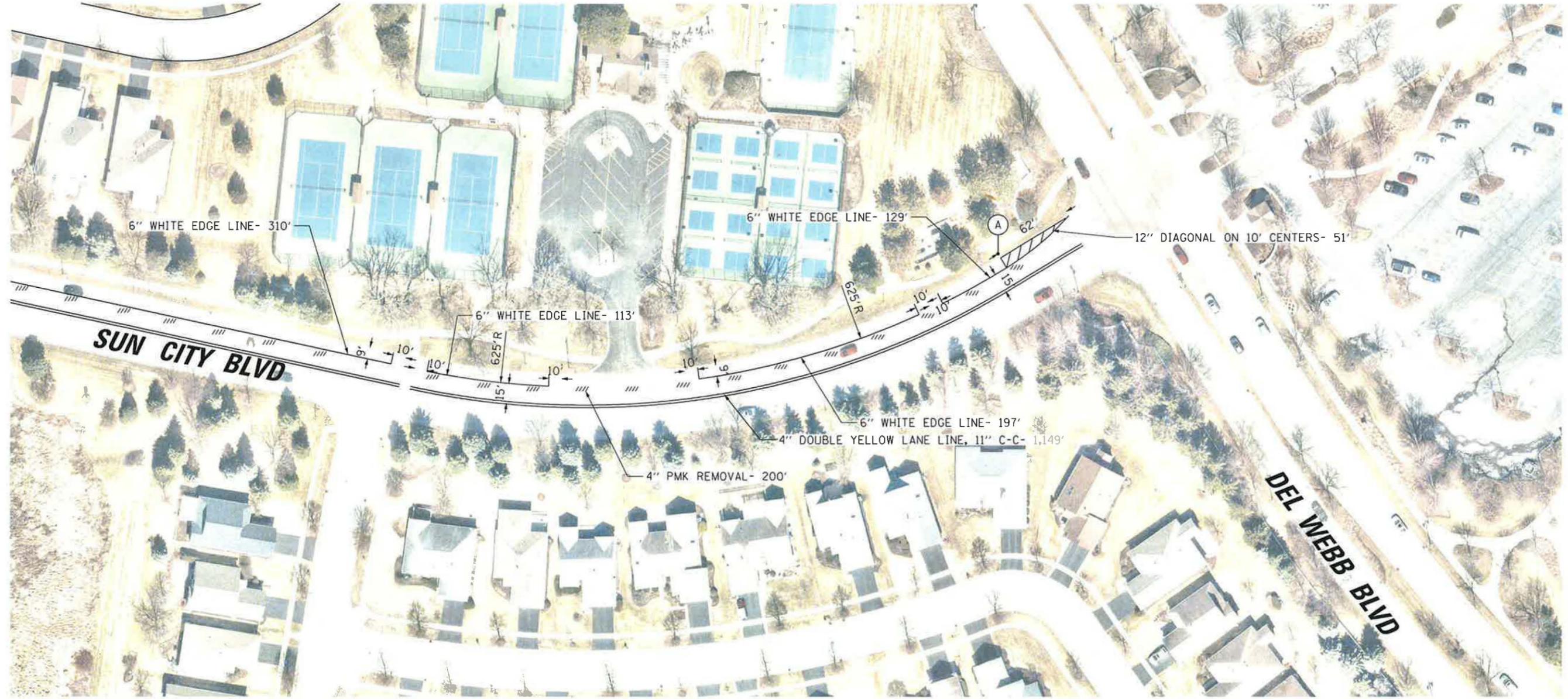
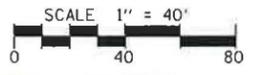
CLIENT:

VILLAGE OF HUNTLEY
 10987 MAIN STREET
 HUNTLEY, IL 60142
 (847) 669-3450

NO.	DATE	NATURE OF REVISION	CHKD.	MODEL	EXH
FILE NAME: N:\Huntley\Sun City Blvd\0320\sun.city.2.sht					

TITLE:
**SUN CITY BOULEVARD
 PAVEMENT STRIPPING**

PROJ. NO. 000
 DATE: 2/3/2020
 SHEET 4 OF
 DRAWING NO.
2



CHRISTOPHER B. BURKE ENGINEERING, LTD.
 9575 W. Higgins Road, Suite 600
 Rosemont, Illinois 60018
 (847) 823-0500



VILLAGE OF HUNTLEY
 10987 MAIN STREET
 HUNTLEY, IL 60142
 (847) 669-3450

NO.	DATE	NATURE OF REVISION	CHKD.	MODEL:	EXH
FILE NAME: N:\Huntley\Sun City Blvd\03020\sun.cty.3.sht					

TITLE:

**SUN CITY BOULEVARD
 PAVEMENT STRIPPING**

PROJ. NO. 000
 DATE: 2/3/2020
 SHEET 5 OF
 DRAWING NO.



VILLAGE OF HUNTLEY SUN CITY BLVD - PARKING / THRU TRAFFIC SIGNAGE

● STREETLIGHT POLES

±400 FEET - DISTANCE BETWEEN STREETLIGHTS

TRAFFIC DELINEATOR AREA

Existing "No Parking Here To Corner" Sign To Be Removed





Village of Huntley GIS
 SUN CITY BLVD SECTIONS 1,2,3



SCALE: 1" = 40'



VILLAGE OF HUNTLEY
 10987 Main Street
 Huntley, IL 60142
 (847)669-9600

Print Date: 1/12/2022

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

SIGN # 1



SIGN # 2





Village of Huntley GIS
 SUN CITY BLVD SECTIONS 4,5

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 50'

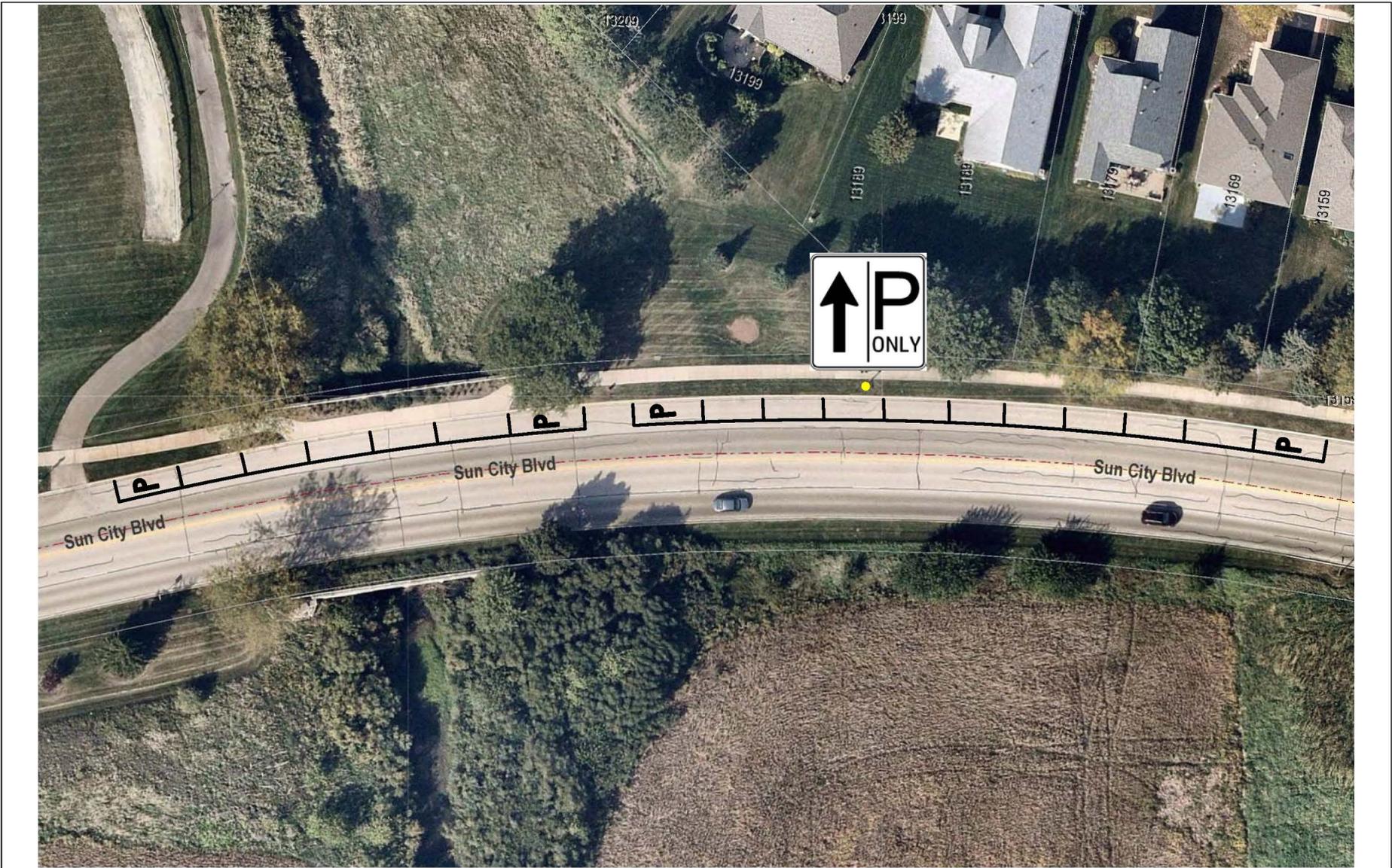


VILLAGE OF HUNTLEY
 10987 Main Street
 Huntley, IL 60142
 (847)669-9600

Print Date: 10/7/2021

SIGN # 3





Village of Huntley GIS
 SUN CITY BLVD SECTIONS 6,7

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SCALE: 1" = 60'



VILLAGE OF HUNTLEY
 10987 Main Street
 Huntley, IL 60142
 (847)669-9600

Print Date: 10/7/2021

SIGN # 4





Village of Huntley GIS
 SUN CITY BLVD SECTIONS 8,9

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SCALE: 1" = 50'



VILLAGE OF HUNTLEY
 10987 Main Street
 Huntley, IL 60142
 (847)669-9600

Print Date: 10/7/2021

SIGN # 5





Village of Huntley GIS

SUN CITY BLVD SECTIONS 10,11,12

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SCALE: 1" = 60'



VILLAGE OF HUNTLEY

10987 Main Street
Huntley, IL 60142
(847)669-9600

Print Date: 10/7/2021

SIGN # 6



SIGN # 7

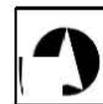




Village of Huntley GIS

SUN CITY BLVD & CRESTVIEW PARKING SECTION 13

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 50'



VILLAGE OF HUNTLEY

10987 Main Street
 Huntley, IL 60142
 (847)669-9600

Print Date: 10/5/2021

SIGN # 8





Agenda Item: Discussion – Proposed Vehicle/Truck Weight Roadway Restrictions

Department: Public Works and Engineering – Administration and Engineering Division

INTRODUCTION

The safe and efficient movement of goods and services is critical for the Village’s vibrant economy. In certain cases, physical limitations may require truck restrictions. A system of truck restrictions working together with designated truck routes can maintain corridor connectivity while improving safety and efficiency of both pedestrians and motorists.

STAFF ANALYSIS

The Village has previously established truck restrictions on certain Village roads as follows:

On March 7, 2006 the Village Board adopted Ordinance (O)2006-03.29 removing the 12,000 pound traffic weight restriction on Dean Street from Route 47 to Mill Street. However, the weight restriction signs were never removed and this roadway still operates based on the 12,000 pound weight restriction.

On June 11, 2009, the Village Board adopted Ordinance (O)2009-06.20 restricting traffic on Haligus Road between Huntley-Dundee Road and Kreutzer Road from any vehicle over 12,000 pound gross vehicle weight rating (GVWR).

On February 11, 2016, the Village Board adopted Ordinance (O)2016-02.05 restricting traffic in the downtown from any vehicle over 12,000 pound GVWR.

Brier Hill Road within the Village jurisdiction is currently signed for a 12 ton (24,000 pound) weight restriction. Brier Hill Road within the Coral Township jurisdiction, just north of the Village, has a seasonal weight restriction of 8 tons (16,000 pound) per axle except February 1 to May 1 where it is 4 tons (8,000 pound) per axle.

The remaining Village owned and maintained roadway network is currently undesignated. The exhibit labeled “Existing Conditions” provides a visual summary of the existing roadway designations within the Village.

The attached exhibit of “Proposed Conditions” would modify the roadway restrictions and designations as follows:

Establish a 26,000 pound GVWR restriction on all Village roadways with the exception of those roadways shown as “Undesignated” or those roadways shown with a 12,000 pounds or less GVWR. More specifically this would consist of the following:

Brier Hill Road: Remove the weight restriction on the Village jurisdictional section and allow the existing Coral Township weight restriction to dictate the requirement for this road;



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Dean Street from Route 47 to Mill Street: Re-establish the 12,000 pound traffic weight restriction;

Haligus Road from Huntley Dundee Road to north Village limit: maintain as “Undesignated.”

Haligus Road from Huntley Dundee Road to Kreutzer Road: maintain as 12,000 pound GVWR restriction.

Reed Road from Route 47 east to Village limit: maintain as “Undesignated.”

Downtown: Maintain as 12,000 pound GVWR restriction with the exception of Main Street from Route 47 to Bakley Street: Modify current 12,000 pound GVWR restriction to 26,000 pound GVWR restriction.

Attached is an infographic of various truck classifications. For reference, vehicles up to 26,000 pounds would include agricultural vehicles, beverage delivery trucks, school buses and a properly plated combination truck and trailer. Exceptions will be made for roadways restricted to 26,000 pounds for vehicles such as street sweepers, Village permitted garbage trucks, and delivery trucks conducting business within the restricted area.

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies “*Healthy, Safe, and Attractive Community*” as a strategic focus and the following goal: “*A Safe Community.*” Truck restrictions will regulate over-weight trucks from traveling on local roadways thereby enhancing roadway traffic safety.

FINANCIAL IMPACT

The additional signage and posts designating the truck restriction areas are estimated to cost approximately \$2,000 and funded through the Street Improvements and Roads & Bridges Fund 420-00-00-8001.

LEGAL ANALYSIS

Chapter 15 of the Illinois Vehicle Code (625 ILCS 5/Ch. 15 heading) governs vehicle requirements for size, weight, load and permits. Sec. 15-316 regulates “when the Department or local authority may restrict right to use highways.” To summarize, the Village has the authority to restrict trucks on local roads with passage of a resolution or ordinance and proper public notice in accordance with these regulations.

ACTION REQUESTED

The Proposed Vehicle/Truck Weight Restriction Plan is presented for Village Board review and discussion. A Vehicle/Truck Weight Restriction Ordinance will be presented at a later date for Village Board consideration.

SUPPORTING DOCUMENTS

1. Ordinance (O)2006-03.29
2. Ordinance (O)2009-06.20
3. Ordinance (O)2016-02.05 and Exhibits
4. Infographic of Truck Classifications
5. Designated Truck Routes and Restrictions Exhibits

**AN ORDINANCE AMENDING DEAN STREET
TRAFFIC WEIGHT RESTRICTION (ROUTE 47 TO MILL SREET)**

Ordinance (O)2006-03.29

WHEREAS, in the mid-1990's the Village Board prohibited truck traffic beyond the weigh limit of six tons from using the section of Dean Street from Route 47 to Mill Street; and

WHEREAS, tractor trailer trucks from Dean Foods were the primary users that were restricted from using Dean Street to reach the plant located at the intersection of Dean and Mill Streets; and

WHEREAS, reconsideration at this point in time is due primarily to redirect truck traffic off of Main Street that results in considerable congestion and traffic backups for a more direct route to the plant facility by utilizing Dean Street; and

WHEREAS, utilizing Dean Street would divert traffic congestion from Route 47 and Mill Street through the Main Street corridor of downtown by tying up traffic from Mill Street to Main Street, and further onto Church Street; and

WHEREAS, Dean Street is constructed to effectively and efficiently handle the weight of the trucks; and

WHEREAS, no changes are requested to the 25 mph speed limit; and

WHEREAS, representatives of Dean Foods are in favor of this request.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HUNTLEY as follows:

SECTION I: Truck traffic beyond the weight limit of six tons shall be allowed to use Dean Street from Route 47 to Mill Street. The signs prohibiting said weight limit shall be removed.

SECTION II: The 25 mph speed limit shall not be changed.

SECTION III: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

SECTION IV: All ordinances and parts of ordinances in conflict herewith are hereby repealed.

AYES: 5

NAYS: 0

ABSENT: 1

PASSED this 7th day of March 2006.

APPROVED this 7th day of March 2006.



APPROVED:

Charles A. San
Village President

ATTEST:

Rita M. Mahmud
Village Clerk

**AN ORDINANCE RESTRICTING TRAFFIC ON HALIGUS ROAD
TO VEHICLES LESS THAN
12,000 GROSS VEHICLE WEIGHT RATING (GVWR)**

Ordinance (O)2009-06.20

WHEREAS, enactment of this ordinance would authorize installation of 12,000 pound Gross Vehicle Weight limit signs on Haligus Road between Huntley-Dundee Road and Kreutzer Road; and

WHEREAS, no vehicle, defined as a truck over 12,000 pounds Gross Vehicle Weight Rating, shall be operated or moved upon the following roads, unless permitted by the local authority with respect to highways and bridges under their respective jurisdictions; and

WHEREAS, this restriction will be enforced on Haligus Road between Huntley-Dundee Road and Kreutzer Road; and

WHEREAS, this Ordinance shall be known, cited and referred to in the Village of Huntley Traffic Schedules, Chapter 72 of Title VII of the Village of Huntley Code of Ordinances; and

WHEREAS, official signs shall be erected within the legal right-of-way limits in such a position as to face traffic approaching the intersection, as per Department of Transportation and Village ordinance requirements; and

WHEREAS, the following definitions and interpretations are as follows:

SECTION I: DEFINITIONS: Except as may otherwise be provided or clearly implied by context; all terms shall be given their commonly accepted definitions. The singular shall include the plural and the plural shall include the singular. The term shall mean mandatory and the term may mean permissive. The following terms shall have the definitions given to them:

Commercial Vehicle: Any vehicle over 12,000 pounds gross vehicle weight that is used primarily for commercial uses in the operation of a business. This also includes vehicles for hire or contracted by a business that is not owned by the business that has hired or contracted the vehicle or driver and vehicle.

Truck: Means any of the following:

- a. Vehicles commonly known as trucks that have a capacity of more than 12,000 pounds according to the manufacturer's rating, or,
- b. Vehicles commonly known as trucks having an overall length of more than 25 feet, or width at any point of more than 8 feet, or,
- c. Dump trucks, tractors, truck-tractors, semi-trailers or any heavy machinery.

SECTION II: EXCEPTIONS: Exceptions are as follows:

1. The operation of trucks upon any officially established detour in any case where such trucks cannot be operated along Huntley-Dundee Road or Kreutzer Road
2. When the truck is specifically directed to deviate by a police officer of the Village of Huntley, or other police agency.
3. Trucks making local deliveries may deviate from the through truck route only to make a local delivery and then may only deviate via the shortest maneuverable route to the destination point and must then return to the nearest truck route via the same manner.

SECTION III: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

SECTION IV: All ordinances and parts of ordinances in conflict herewith are hereby repealed.

AYES: 4
NAYS: 0
ABSENT: 2

PASSED this 11th day of June 2009

APPROVED this 11th day of June 2009



ATTEST:

Pete M. Muehlen
Village Clerk

APPROVED:

Charles H. Jan
Village President

**AN ORDINANCE RESTRICTING TRAFFIC IN DOWNTOWN HUNTLEY
TO VEHICLES LESS THAN 12,000 POUND
GROSS VEHICLE WEIGHT RATING (GVWR)**

Ordinance (0)2016-02.05

WHEREAS, enactment of this ordinance would authorize installation of signs stating “No Trucks Except Local Delivery” and “12,000 pound Gross Vehicle Weight Limit” in locations necessary to warn motorists of the restriction area; and

WHEREAS, no vehicle, defined as a truck over 12,000 pounds Gross Vehicle Weight Rating, shall be operated or moved upon the following roads, unless permitted by the local authority with respect to highways and bridges under their respective jurisdictions; and

WHEREAS, this restriction will be enforced on the following roads:

- Main Street between Illinois Route 47 and Bakley Street
- North Street between Illinois Route 47 and Woodstock Street
- Woodstock Street between North Street and Main Street
- Dwyer Street between Coral Street and Main Street
- Church Street between Algonquin Road and Mill Street
- Myrtle Street between Main Street and 2nd Street
- Coral Street between Dwyer Street and Church Street
- 1st Street between Woodstock Street and Church Street
- 2nd Street between Woodstock Street and Myrtle Street
- 3rd Street between Woodstock Street and Church Street
- Mill Street between Railroad ROW and Church Street; and

WHEREAS, this Ordinance shall be known, cited and referred to in the Village of Huntley Traffic Schedules, Chapter 72 of Title VII of the Village of Huntley Code of Ordinances; and

WHEREAS, official signs shall be erected within the legal right-of-way limits in such a position as to face traffic approaching the restricted area, as per Department of Transportation and Village ordinance requirements; and

WHEREAS, the following definitions and interpretations are as follows:

SECTION I: DEFINITIONS: Except as may otherwise be provided or clearly implied by context, all terms shall be given their commonly accepted definitions. The singular shall include the plural and the plural shall include the singular. The term shall mean mandatory and the term may mean permissive. The following terms shall have the definitions given to them:

Commercial Vehicle: Any vehicle over 12,000 pounds gross vehicle weight that is used primarily for commercial uses in the operation of a business. This also includes vehicles for hire or contracted by a business that is not owned by the business that has hired or contracted the vehicle or driver and vehicle.

Truck: Means any of the following:

- a. Vehicles commonly known as trucks that have a capacity of more than 12,000 pounds according to the manufacturer's rating; or,
- b. Vehicles commonly known as trucks having an overall length of more than 25 feet, or width at any point of more than 8 feet; or,
- c. Dump trucks, tractors, truck-tractors, semi-trailers or any heavy machinery.

SECTION II: EXCEPTIONS: Exceptions are as follows:

1. The operation of trucks upon any officially established detour in any case where such trucks cannot be operated along adjacent Truck Routes.
2. When the truck is specifically directed to deviate by a police officer of the Village of Huntley, or other police agency.
3. Trucks making local deliveries may deviate from the through truck route only to make a local delivery and then may only deviate via the shortest maneuverable route to the destination point and must then return to the nearest truck route via the same manner.

SECTION III: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

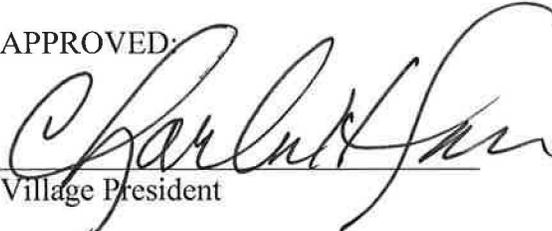
SECTION IV: All ordinances and parts of ordinances in conflict herewith are hereby repealed.

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Mayor Sass	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Goldman	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Hoeft	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Kanakaris	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Leopold	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Piwko	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Trustee Westberg	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

PASSED and APPROVED this 11th day of February, 2016.



APPROVED:


Village President

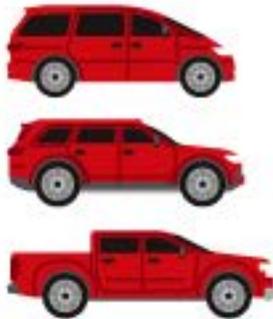


EVER WONDER WHAT EACH CLASS OF TRUCK LOOKS LIKE?

US TOO. WE CREATED THIS HANDY INFOGRAPHIC FOR YOU TO USE!

CLASS 1-3 NON-COMMERCIAL VEHICLES

No concern of ours
Anyone can drive a minivan
or a station wagon
Famous representation:
Lightning McQueen



IF YOUR SHOP HANDLES ANY CLASSES, CHECK OUT FULLBAY AND SEE WHAT WE CAN DO FOR YOU!

CLASS 4 BETWEEN 14,000-16,000 POUNDS

You can drive these yourself,
but be careful
Box trucks and some delivery trucks
Famous representation:
The COSTCO food delivery truck



CLASS 6 BETWEEN 19,501-26,000 POUNDS

Beverage trucks, rack trucks,
and school buses
You need a CDL for this type of vehicle
Famous representation:
The Magic School Bus



CLASS 8 OVER 33,001 POUNDS

Heavy isn't enough of an adjective - these trucks are called severe-duty
Most big rigs, along with cement trucks and dump trucks
Famous representation: Optimus Prime



CLASS 9 FOR VEHICLES THAT DEFY CLASSIFICATION

"The Great Beyond"
A big 18-wheeler can weigh up to 80,000 pounds
Might need to obtain special permits and stick to specific routes
Famous representation: Unicorn



CLASS 5 BETWEEN 16,001-19,500 POUNDS

Lots of farming equipment
Bucket trucks, cherry pickers
Famous representation:
Your local electrical company probably
probably has a fleet of bucket trucks



CLASS 7 BETWEEN 26,001-33,000 POUNDS

Working trucks you see on a daily basis
Street sweepers, garbage trucks, and
city transit buses
Famous representation:
GDM-5303 (a.k.a. that bus from Speed)





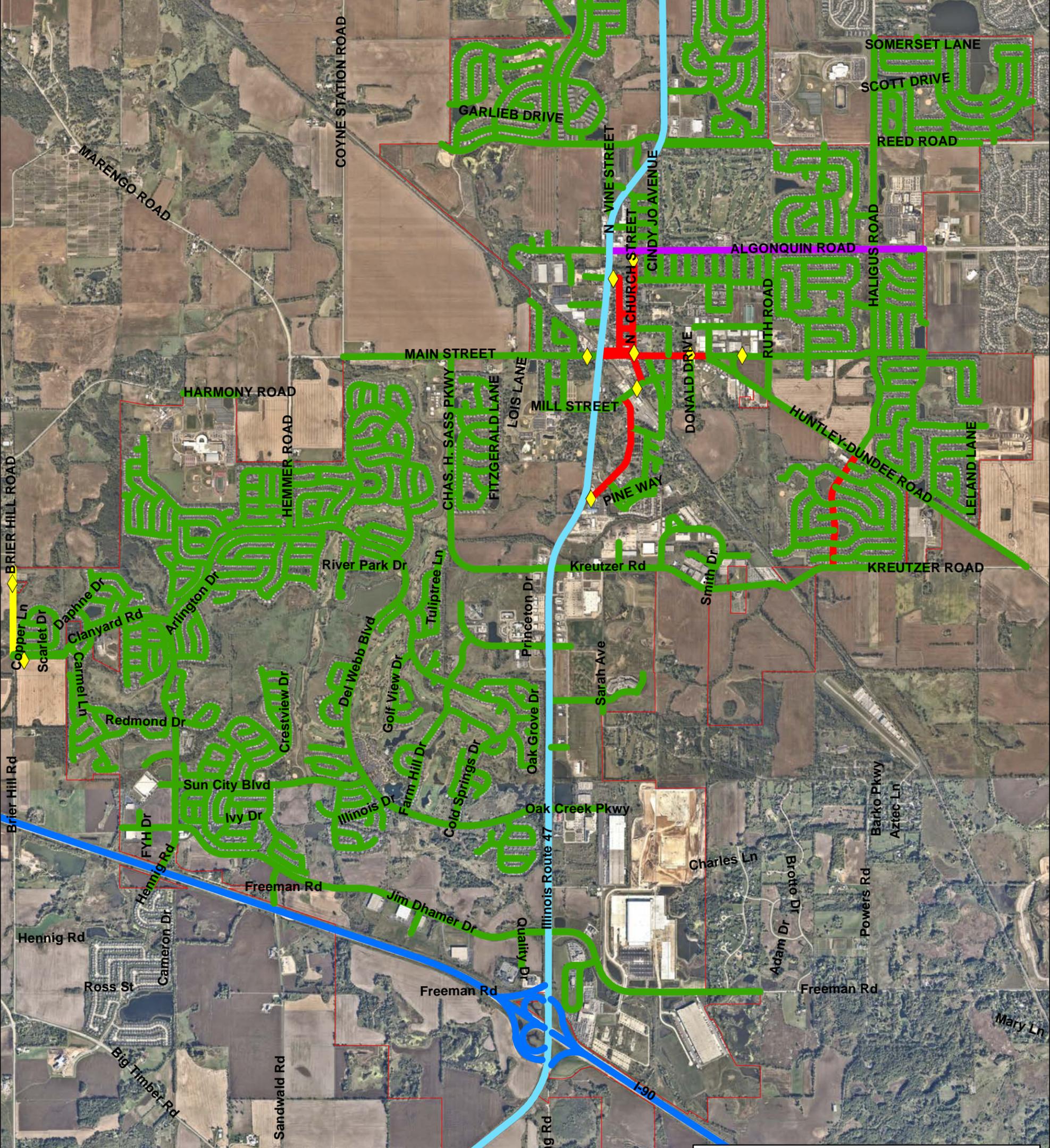
VILLAGE OF HUNTLEY DESIGNATED TRUCK ROUTES (DTR) & RESTRICTIONS

Designated Truck Routes (DTR)

- Tollway CLASS I
- Illinois DOT CLASS I
- McHenry Co. DOT CLASS II
- Huntley - Undesignated
- Huntley - 12,000 lbs. or less
- Huntley - 26,000 lbs. or less

Existing / Required Truck Restriction Signs

- ◆ EXISTING (10)
- Village Boundary





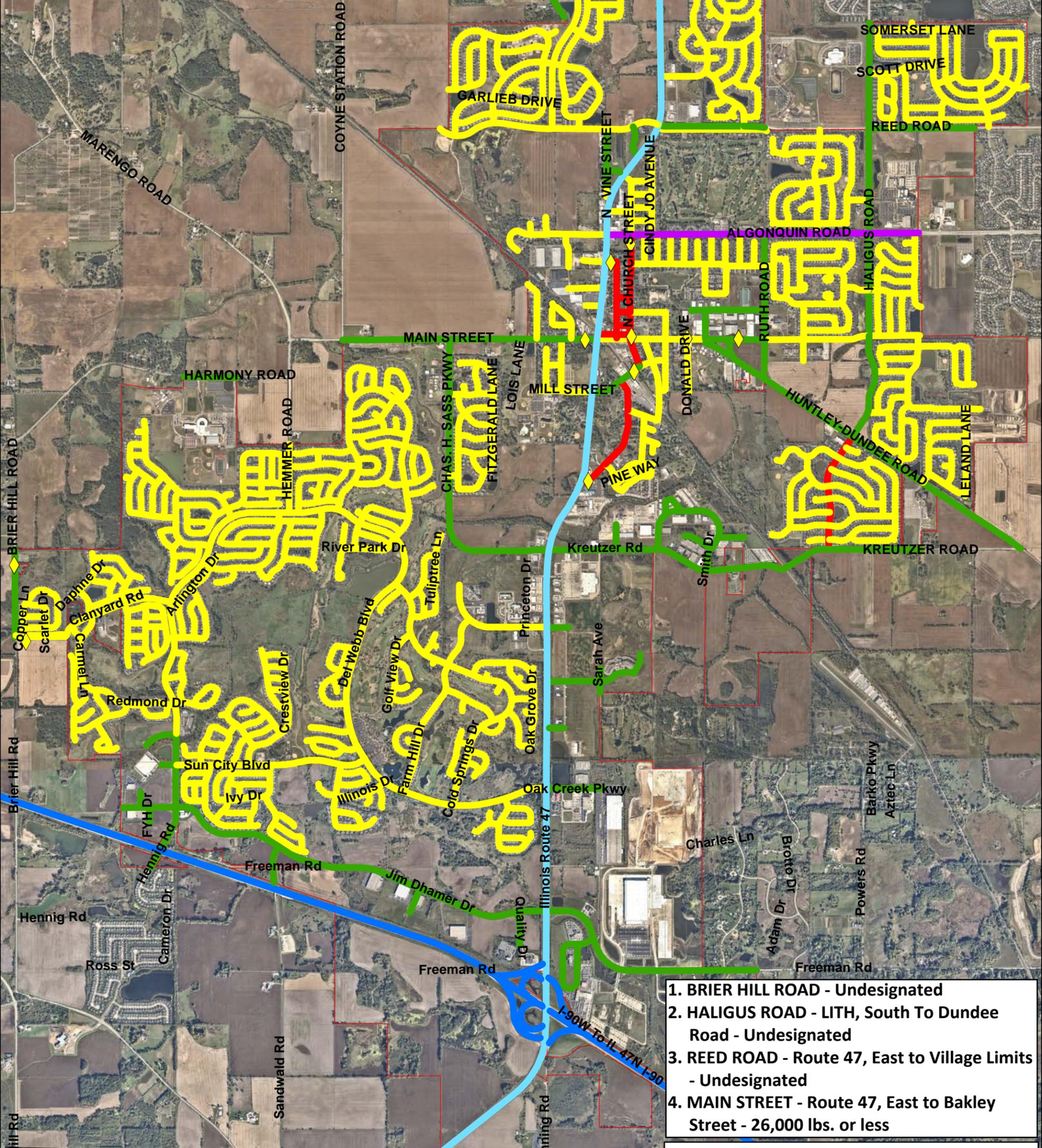
VILLAGE OF HUNTLEY DESIGNATED TRUCK ROUTES (DTR) & RESTRICTIONS

Designated Truck Routes (DTR)

- Tollway CLASS I
- Illinois DOT CLASS I
- McHenry Co. DOT CLASS II
- Huntley - Undesignated
- Huntley - 12,000 lbs. or less
- Huntley - 26,000 lbs. or less

Existing / Required Truck Restriction Signs

- ◆ EXISTING (10)
- Village Boundary



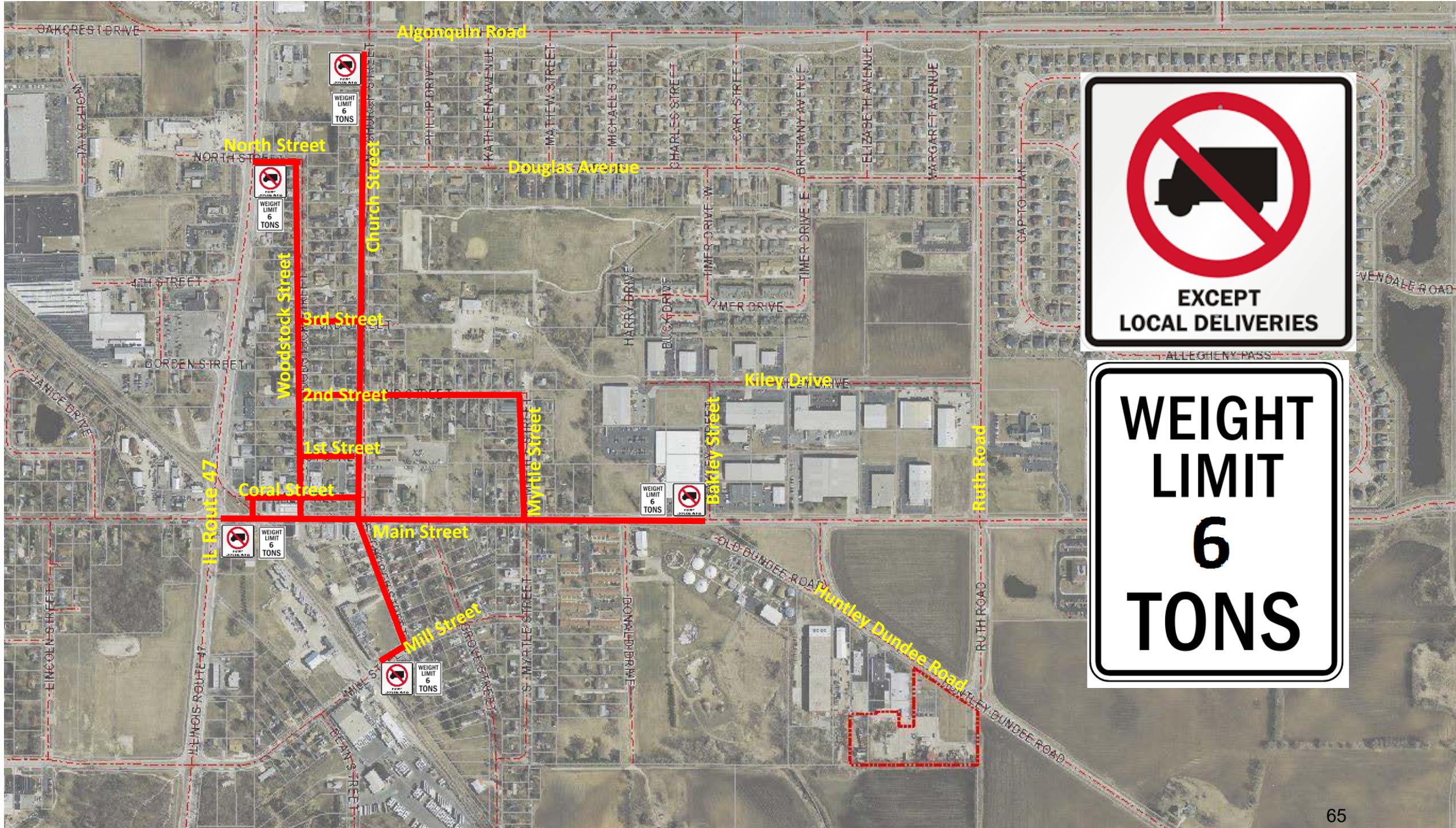
1. BRIER HILL ROAD - Undesignated
2. HALIGUS ROAD - LITH, South To Dundee Road - Undesignated
3. REED ROAD - Route 47, East to Village Limits - Undesignated
4. MAIN STREET - Route 47, East to Bakley Street - 26,000 lbs. or less

03 / 15 / 2022

PROPOSED CONDITIONS

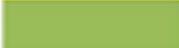
Effective February 22, 2016
Ordinance (O)2016-02.05

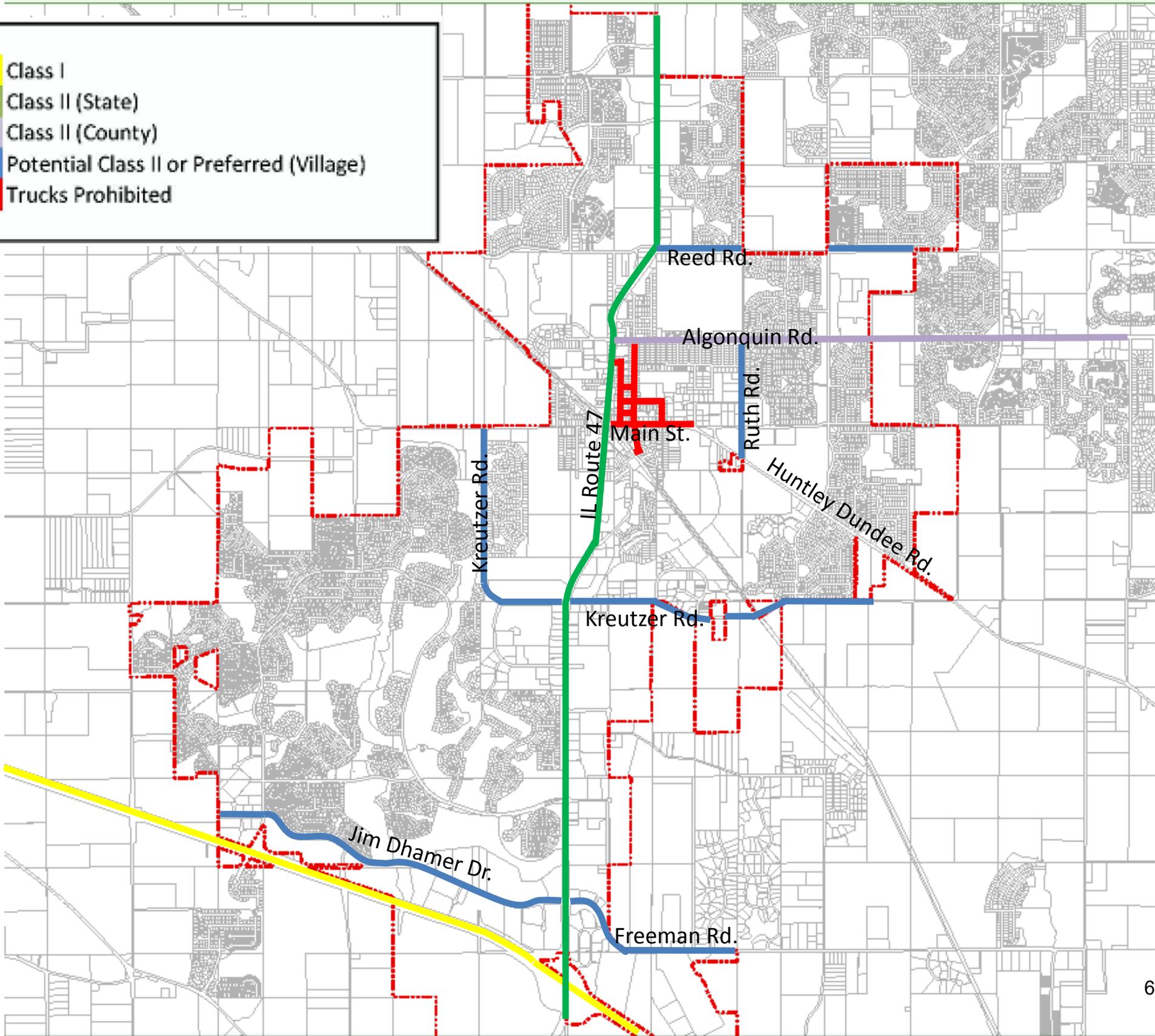
TRUCK RESTRICTION EXHIBIT



Effective February 22, 2016
Resolution (R)2016-02.12

TRUCK ROUTE DESIGNATION

	Class I
	Class II (State)
	Class II (County)
	Potential Class II or Preferred (Village)
	Trucks Prohibited





**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Agenda Item: Conceptual Review – Proposed Rezoning from RE-1 Residential Estate to R-5 Multiple Family Residence of ±2 Acres at 11219 S. Donald Drive to Allow for 24 Townhomes

Petitioner: Powder Park LLC, petitioner/owner

Department: Development Services – Planning and Zoning Division

INTRODUCTION

The petitioner is requesting conceptual review of a proposed plan to rezone ±2 acres at 11219 S. Donald Drive to allow for the construction of 24 townhomes within two buildings. The subject site is currently zoned “RE-1” Residential Estate would and need to be rezoned to “R-5” Multiple Family Residence to allow for the proposed development. Staff notes, the “R-5” zoning is required, rather than “R-4” Townhouse Residence zoning, due to the buildings each containing 12 townhome units. The “R-4” district limits the number of townhome units to four per building.

The site is located at the south end of Donald Drive and is surrounded by “R-2” Single Family Residence zoned properties to the north and west. The property to the south is zoned “R-4” Townhouse Residence and was previously proposed for townhomes in 2007 as part of the Arbor Place development by Grand Pointe Homes. To the east of the site is Village-owned property (zoned “R-1” Single Family Residence) that includes athletic fields and the wastewater treatment plant.

STAFF ANALYSIS

The proposed plan calls for the construction of two buildings each containing 12 townhomes. Access to the site would be provided via three driveways on Donald Drive. Donald Drive is currently a gravel roadway across the frontage of the site and will need to be improved to Village standards should the petitioner be allowed to proceed with the development. The driveways will provide access to each unit’s garage space, which are along the north and south elevations of each building. The buildings are three stories with an overall height of ±35 feet. The petitioner is proposing to screen the townhomes from the single family residence to the north by utilizing a fence, berm and landscaping. Stormwater management for the site is proposed at the rear of the property, west of the townhomes.

The petitioner has provided example townhome elevations to represent the overall design and materials proposed for the buildings. Staff notes, the elevations do not accurately illustrate the locations of the garages. All garages would accommodate two cars and would be located on the north and south elevations of the buildings.

REQUIRED APPROVALS

The petitioner shall be required to submit a Development Application for the following entitlements should they choose to proceed in the formal review process:

1. An Amendment to the Comprehensive Plan, which identifies use of the property for Single-Family Residential on 8,400 square-foot lots



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

*March 24, 2022
Village Board Meeting*

2. A Map Amendment to rezone the subject site from “RE-1” Residential Estate to “R-5” Multiple Family Residence

3. Preliminary and Final Planned Unit Development

FINANCIAL IMPACT

None.

LEGAL ANALYSIS

None.

COURTESY REVIEW

The petitioner has requested the Village Board to conceptually discuss the proposed rezoning and development plan for the subject site. The Village Board is not required to provide a formal position statement on the proposal, and the petitioner shall not be required to comply with any position statements which are offered. The concept review shall provide the petitioner with initial comments and concerns that should be considered as they proceed in the formal review process. The Village Board and its individual members are not bound by any comments made during the discussion and the petitioner acknowledges that it cannot claim in the future any reliance whatsoever on those comments.

ACTION REQUESTED

The Village Board is requested to discuss the proposed rezoning and development plan and provide any questions, comments, or concerns for the petitioner to consider as they proceed in the formal review process.

SUPPORTING DOCUMENTS

1. Aerial Photograph
2. Zoning of Subject Property
3. Presentation Packet, dated 1/23/22
4. Site Plan, dated 1/10/22



Donald Drive Townhomes

VILLAGE OF HUNTLEY

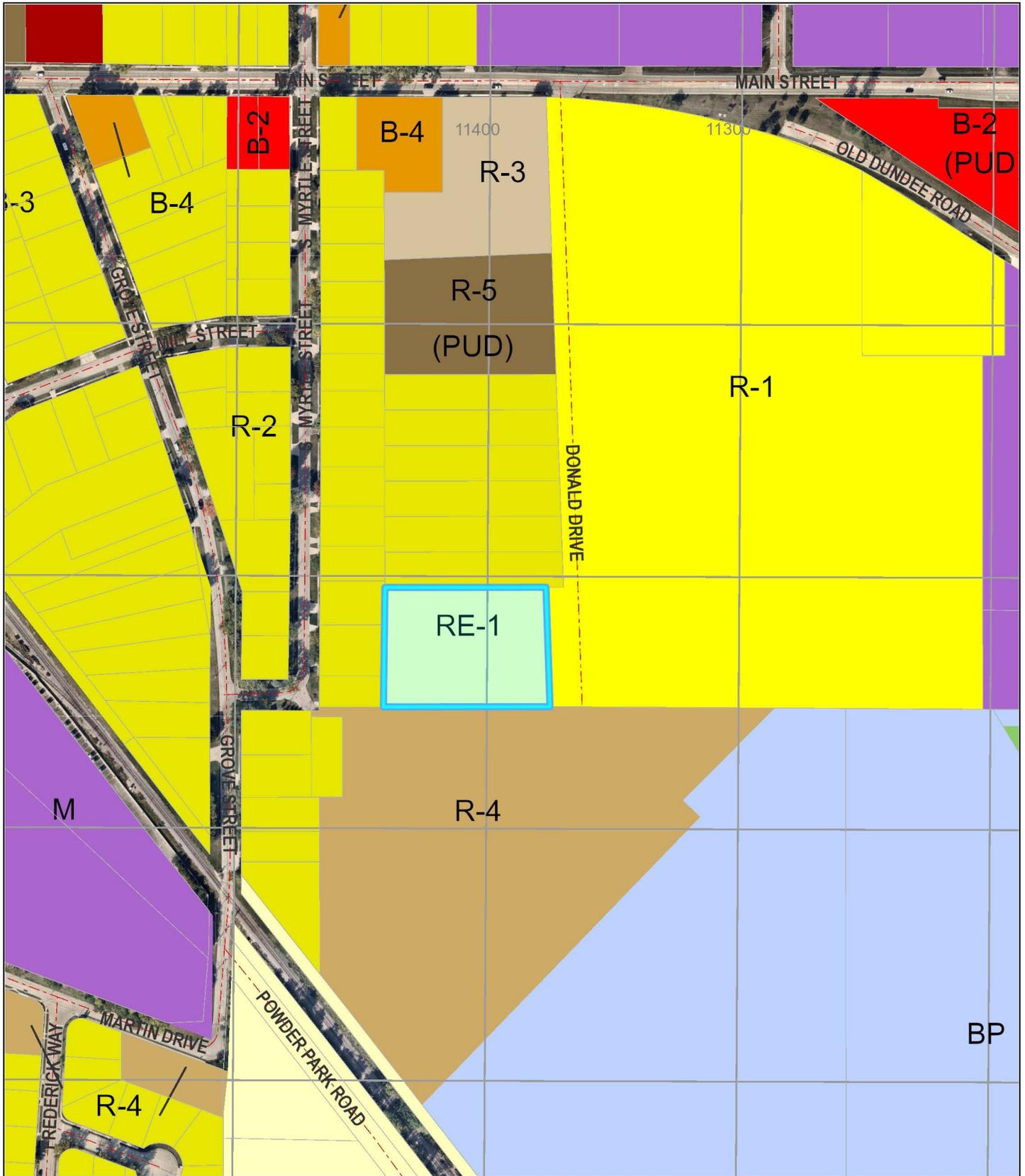
10987 Main Street
Huntley, IL 60142
(847)669-9600

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SCALE: 1" = 300'

Print Date: 3/15/2022



Donald Drive Townhomes - Zoning

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VILLAGE OF HUNTLEY
 10987 Main Street
 Huntley, IL 60142
 (847)669-9600

SCALE: 1" = 300'

Print Date: 3/15/2022

Proposed Townhome Development





NORTH MARK CONSTRUCTION, LLC

2400 Big Timber Rd, Suite 105 A Elgin, IL 60123

1/23/2022

Mr. David J. Johnson
Village Manager
Village of Huntley

RE: Proposed development of (PUD Planned Unit Development of 28 townhomes located at 11219 s. Donald Drive.

Dear Mr. Johnson and Planning Staff,

North Mark Construction and property owner, Powder Park LLC. (Developers), are seeking the Village of Huntley's consideration for a planned unit development (PUD) for 28 townhomes to be approved upon the property. The subject property consists of 2.3 +/- acres of undeveloped land located at 11219 South Donald drive of which is located on the West side of Donald Drive. The developers anticipate the new townhomes selling prices will start in the low 300's. See building elevation provided.

1. **Site Characteristics:** The site is located on the south end of Donald Drive south of Huntley rd. The land is square parcel that is relatively flat with minimal topography and no wetlands are present.
1. **Sewer and Water:** The developer anticipate working with the village of Huntley's Engineering Department to devise a functional utility plan to provide sewer and water to serve the site. It is believed the sewer and water connections are near and available to the parcel.
1. **Parking:** The proposed building plans provides for each new town home unit to have 2 interior garage parking spaces and 2 exterior parking spaces in the driveway of each home, thus exceeding parking ordinance requirements.
1. **Roadways and Access:** as part of the development improvements, developer intends to improve Donald Drive in front of the property.
1. **Property History:** The subject property was purchased in 1999 by A&H LLC a subsidiary company of Abitua Mechanical property is held in Power Park LLC. When the property was purchased 1999 there was a 35'-foot-wide easement crossing the easterly frontage of the property. In 2005 Ownership was considering developing the property and attended the village Huntley zoning board of appeals meeting seeking information about the 35' foot wide cross easement that was dedicated across the frontage of this property. At the meeting, ownership was told by village public works director that the easement was not necessary and could be vacated. Developers are seeking as part of the PUD approval process that this easement would be vacated.
1. **Landscaping:** If the developer gains support for this project by the village of Huntley planning staff. Developer will provide detailed engineering and landscape plans to meet the village Huntley next step for the approval process.

Experience

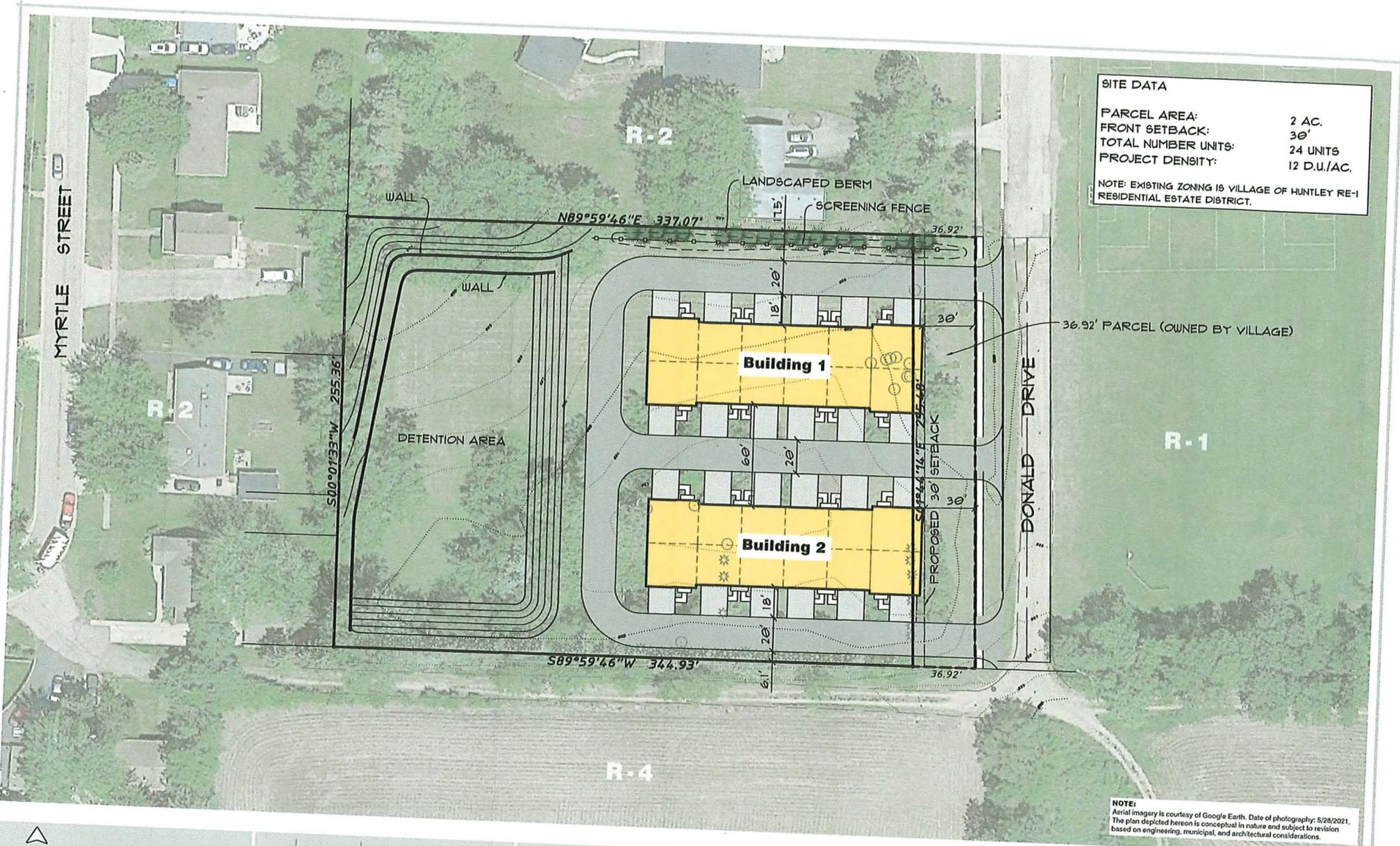
North Mark Homes, Inc - a multi-state family run building and development company is led by Jeffrey Pelock.

As a privately held family business the company has had great success delivering thousands of high-quality homes for the past three (3+) decades for its customers.

In closing, we are excited to work with the Village of Huntley on making this a successful project. If you have any questions, please feel free to reach out to me at any time.

Sincerely,

Jeff Pelock
North Mark Construction Inc
847 494 0775
jpelock@revcoventures.com

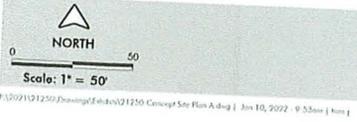


SITE DATA

PARCEL AREA: 2 AC.
 FRONT SETBACK: 30'
 TOTAL NUMBER UNITS: 24 UNITS
 PROJECT DENSITY: 12 D.U./AC.

NOTE: EXISTING ZONING IS VILLAGE OF HUNTLEY RE-1 RESIDENTIAL ESTATE DISTRICT.

NOTE:
 Aerial imagery is courtesy of Google Earth. Date of photography: 5/28/2021.
 The plan depicted hereon is conceptual in nature and subject to revision based on engineering, municipal, and architectural considerations.



2	01.10.2022	Per Village Review
1	12.13.2021	Client
No.	Date	Revision

CONCEPT SITE PLAN A
DONALD DRIVE PARCEL
 VILLAGE OF HUNTLEY, McHENRY COUNTY, ILLINOIS

HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East State Parkway, Schaumburg, IL 60173 Tel: 847.334.6600 Fax: 847.334.6608
 Illinois Professional Design Firm License No. 184-003152 www.HaegerEngineering.com

Project Manager: LAK
 Engineer: LAK
 Date: 10.21.2021
 Project No. 21-250
 Sheet 1 / 1

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**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Agenda Item: Consideration – An Ordinance Approving (i) A Special Use Permit for a Car Wash within the “B-3 (PUD)” Shopping Center Business District – Planned Unit Development; and (ii) Final Planned Unit Development, including any necessary relief, for the construction of a new ±4,551 square-foot Car Wash at the Southeast Corner of IL Route 47 and Regency Parkway

Petitioner: Christianson Companies, Petitioner and RUBY-02-HNTLYCMRCL, LLC, Owner

Department: Development Services – Planning and Zoning Division

INTRODUCTION

The petitioner is proposing to construct a Tommy’s Car Wash on Lot 8 of Huntley Crossings – Phase II Plat II. The ±1.43-acre parcel lies one lot south of Regency Parkway and is zoned “B-3 (PUD)” Shopping Center Business District – Planned Unit Development. The Zoning Code includes Car Wash as a Special Use within the “B-3” Shopping Center Business District. Tommy’s Car Wash currently operates in Orland Park with new locations coming soon to Lombard, Loves Park, and Peoria.

STAFF ANALYSIS

Site Plan

The petitioner proposes to construct a new 4,551 square-foot car wash. The principal access to the site is provided by the private service road, which runs parallel to Route 47 and connects Regency Parkway to Powers Road. The proposed building is sited to comply with the platted building setback lines and maintains the required 100’ greenbelt across the Route 47 frontage. This area also provides for stormwater management. Vehicles utilizing the car wash will enter through the northeast entrance and proceed to the payment canopy in one of the three drive-thru lanes. The lanes consist of one cashier lane that accommodates all payment types and two express lanes reserved for customers using the app or those enrolled in the car wash membership program. Plans demonstrate these drive aisles can accommodate nine vehicles stacked per lane with a maximum total stacking capacity of 35 vehicles (this includes vehicle stacking to enter the car wash). Vehicles circulating through the wash tunnel will exit using the southeast access drive. The south side paved lot is comprised of 16 vacuum stations in oversized stalls and eight 10’ x 19’ parking spaces including one required ADA parking space.

Elevations

The proposed wash tunnel is powder coated structural steel with clear anodized storefront glass and an acrylic roof system. The tunnel is capped on both the east and west elevations with the Tommy’s signature “sunburst” using red and black aluminum composite panels. The tunnel is bookended by two gray brick masonry parapet towers. The 24’ and 28’ tall structures feature two charcoal brick soldier courses and a charcoal brick wainscot at the base. The north elevation supports the entrance canopy, which projects from the west tower. Accent materials include metallic aluminum cornice, fascia and eaves.



VILLAGE OF HUNTLEY AGENDA SUMMARY

March 24, 2022
Village Board Meeting

Landscaping

Landscape plans have been submitted which show a mix of landscaping elements along all lot lines and foundation plantings where possible at the entrance and exits of the wash tunnel and along the north side drive aisle. The plan proposes 23 large trees and 10 small trees offering four different species as well as 121 shrubs of six different species, which complies with the Village's landscape ordinance. Plantings have been placed to offer a natural screening of mechanical equipment and the dumpster enclosure. A hedgerow of red twig dogwood has been planted atop a 1-½ - foot to 2-½ - foot tall modular brick retaining wall along the Route 47 frontage of the lot.

Signage

Wall Signs

The petitioner proposes a compliant ±39 square-foot illuminated wall sign on the west elevation, facing Route 47. The proposal also calls for the installation of a second illuminated wall sign of the same size on the east elevation, facing the private access road. Relief from Sections 156.123(C) and 156.123(D) of the Zoning Code has been requested by the petitioner for the installation of the additional wall sign upon an elevation with no public street frontage. Relief from Zoning Code Section 156.123(A) would accommodate the proposed wall sign area overage of ±27.16 square feet.

Monument Sign

The petitioner has proposed a stand-alone monument sign near the northwest corner of the lot. The 7'-3" tall sign features a charcoal brick base and a compliant ±51 square feet of face area per side. The sign shall be installed no closer than 10' from the neighboring north property line. Along with the Tommy's logo, the monument face proposes a 20 square-foot full color LED electronic message center on each side. Relief is required from Zoning Code Section 156.121(A) to allow a changeable electronic message board as a component of the monument sign.

Directional Signs

The petitioner provides several directional signs upon the property including three freestanding signs installed near the wash entrance and exit. The proposed directional pylons are 3' tall and do not exceed six square feet in face area in compliance with the Zoning Code.

Required Relief

As proposed, the plans will require the following relief to be approved as part of the Final Planned Unit Development Review:

1. Section 156.123(D) of the Zoning Code allows one wall sign per street frontage. Section 156.123(C) requires the location of the sign be limited to the street frontage of the building. Section 156.123(A) states the total surface area of all wall signs on a building shall not exceed one (1) square foot for each lineal foot of the building frontage. The site only has frontage on Route 47 and the building's frontage measures ±50.63-feet, therefore allowing one wall sign measuring up to 50.63 square feet. Relief is required to allow a total of two wall signs totaling ±77.78 square feet, with the second wall sign installed upon the rear elevation.



VILLAGE OF HUNTLEY AGENDA SUMMARY

March 24, 2022
Village Board Meeting

2. Section 156.121(A) of the Zoning Code prohibits the installation of flashing signs and devices used to attract attention. Relief is required to allow a changeable electronic message board as a component of the monument sign.

Special Use

A Special Use Permit for a Car Wash in the “B-3” District is required to accommodate the construction of the car wash pursuant to Section 156.039 (B)(2) of the Zoning Code. The petitioner’s responses to the standards identified in Section 156.068(E) of the Zoning Code are provided as an attachment to this report. The Plan Commission considered both the public benefit and mitigation of adverse impacts when evaluating the petitioner’s evidence.

Village Board Concept Review

The Village Board reviewed conceptual plans for Tommy’s Car Wash on December 2, 2021 and provided the following comments:

1. Concern was expressed regarding the location of the car wash in Huntley Crossings Phase II and its proximity to the new car wash proposed near at the NWC of Route 47 and Kreutzer. *The petitioner explained that given the population and traffic counts, a second car wash can be supported.*
2. It was requested that the monument signage feature brick in compliance with the Village’s design guidelines. *The petitioner is revising the signage to meet this requirement and will provide new sign elevations prior to the Village Board meeting.*
3. It was recommended that an upgraded façade package be used to ensure the Huntley facility would utilize the highest quality design standards. *The petitioner has replaced all metal panels, fiber cement panels, and CMU with brick.*

Plan Commission Recommendation

The Plan Commission conducted a public hearing to consider the petitioner’s request on March 14, 2022, and, with no members of the public offering testimony in favor or opposition to the request, unanimously recommended approval of the petition by a vote of 5 to 0, subject to the following conditions:

1. All public improvements and site development must occur in full compliance with the submitted plans and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
3. The lighting fixture shall be selected to match that of the neighboring development and the photometric plans shall be resubmitted and approved by the Development Services Department.
4. The monument sign shall be revised to show brick surrounding the sign face and utilize a decorative stone cap. Sign plans shall be resubmitted and approved by the Development Services Department.
5. The directional signs shall be revised to provide a brick base.
6. The electronic message board sign shall contain static messages only and shall not have movement or the appearance or optical illusion of movement, of any part of the sign structure,



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing, scintillating or varying of light intensity other than that provided through an automatic dimming system to control overall illumination intensity. Each message on the sign shall be displayed for a minimum of 10 seconds. The change of messages must be accomplished immediately.

7. No building plans, permits, sign permits, or Certificates of Occupancy are approved as part of this submittal.

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies *“Strong Local Economy”* as a strategic focus and the following goal: *“Location of Choice for New and Expanding Businesses of all Sizes.”*

FINANCIAL IMPACT

None.

LEGAL ANALYSIS

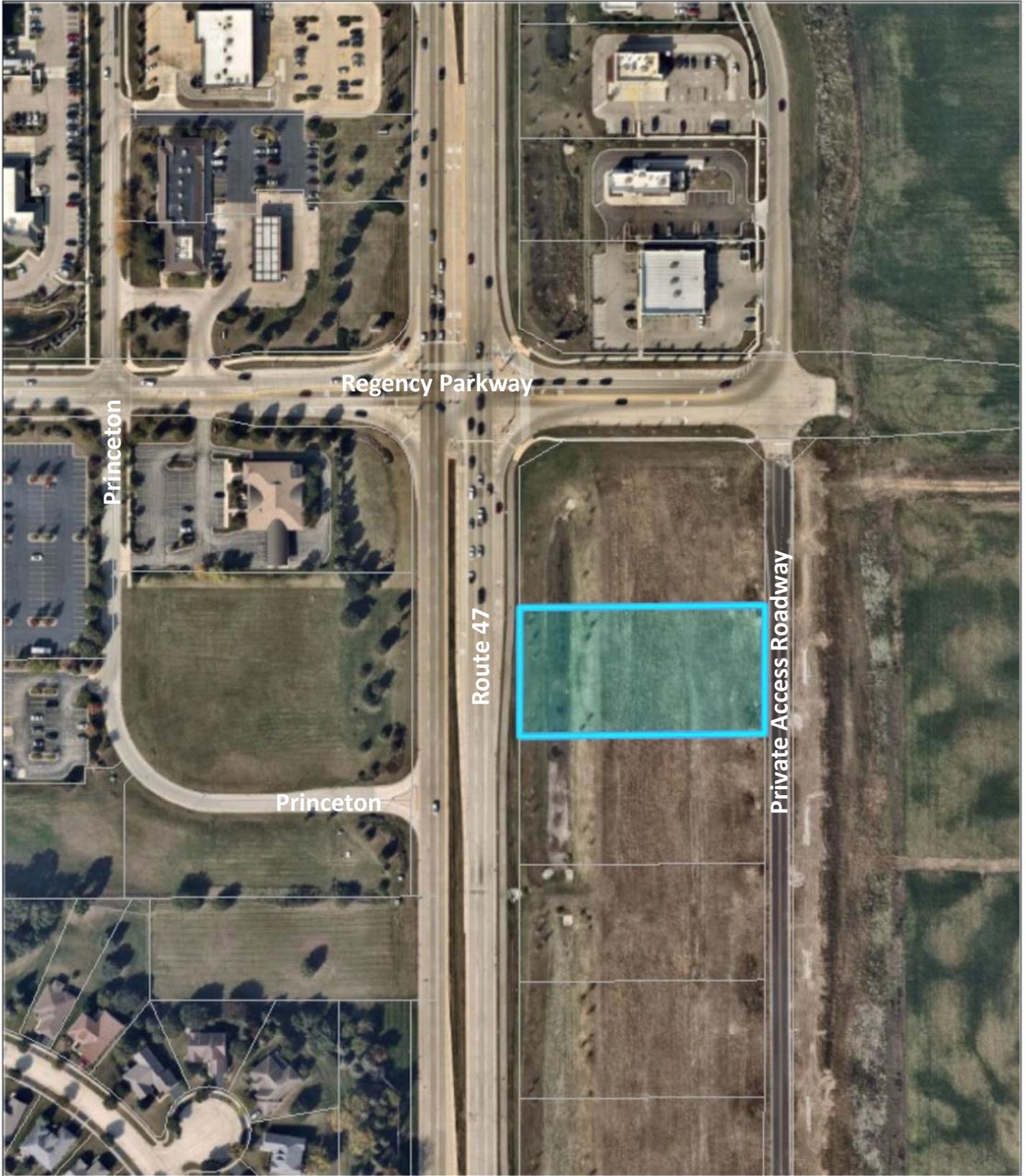
The required public hearing was conducted by the Plan Commission.

ACTION REQUESTED

The petitioner is requesting a motion of the Village Board to Approve an Ordinance Approving (i) A Special Use Permit for a Car Wash within the “B-3 (PUD)” Shopping Center Business District – Planned Unit Development; and (ii) Final Planned Unit Development, including any necessary relief, for the construction of a new ±4,551 square foot Car Wash on Lot 8 of Huntley Crossings – Phase II Plat II, at the Southeast Corner of IL Route 47 and Regency Parkway.

SUPPORTING DOCUMENTS

1. Aerial Photo, 9/30/21
2. Petitioner’s Cover Letter, 11/3/21
3. Petitioner’s Response to Special Use Standards
4. Site Plan, 2/15/22
5. Site Engineering Plans, 2/18/22
6. Building, Dumpster, and Vacuum Elevations, 2/21/22
7. Landscape Plan, 1/12/22
8. Sign Package, 2/21/22
9. Photo Exhibit (15819 Wolf Rd, Orland Park), 7/31/21 surround



Tommy's Express Car Wash
 Huntley Crossings Phase II Plat II Lot 8

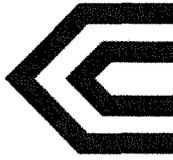
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VILLAGE OF HUNTLEY
 10987 Main Street
 Huntley, IL 60142
 (847)669-9600

SCALE: 1" = 200'

Print Date: 11/3/2021



CHRISTIANSON
C O M P A N I E S

11/3/2021

Village of Huntley
Village Board of Trustees

To whom it may concern,

Christianson Companies is proposing to build a Tommy's Express Car Wash on the southeast corner of Regency Parkway and Highway 47. Tommy's Express is a state-of-the-art, environmentally friendly, automated car wash. With our conveyor belt and license plate reader technology, Tommy's offers the best and most efficient wash on the market. This car wash uses a membership model where customers can pay a monthly fee to join the TommyClub and receive unlimited washes and instant access in the TommyClub lane. Tommy's employs an advanced water reclaim system that reclaims one third of the water used in every wash, and uses 60% less fresh water than washing at home. We are respectfully asking the Village Board of Trustees to support our project because we believe we will be a great addition to the community, offering high quality jobs, and a benefit to the residents of the Village of Huntley.

Sincerely,

Tanner Brandt
Christianson Companies



CHRISTIANSON

C O M P A N I E S

Standards for Special Use Permit Narrative

(a) Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.

If our SUP is granted, our use would be in harmony with the neighboring uses. There are other auto uses in the immediate area and our car wash would not cause any issues for the neighboring businesses.

(b) No Undue Adverse Impact. The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.

We are the first business to come in to this newly developed piece of land that was developed for commercial uses like a car wash. The utilities and access road were provided for a commercial use like a car wash and we will not have a negative effect on the area or the public by building here.

(c) No Undue Interference with Surrounding Development. The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

The car wash will fit in very well with the neighboring uses, and will not interfere with any other type of neighboring use that will come along in the development in the future. It is very common to have an express car wash as a neighbor to Quick Service Restaurants and other auto uses like this area.

(d) Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities (water consumption and waste generation), drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

The developer of this land has added an access road and installed all necessary utilities for commercial uses such as a car wash. The infrastructure has been tailored for what we need to successfully run a car wash.

(e) No Undue Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.

There is a lighted intersection at the corner of Regency Parkway and IL-47 as well as an access road on the east side of the property that leads south to Powers Road. This is optimal access for our car wash and our site plan will provide adequate circulation and not cause any unnecessary traffic congestion or traffic issues.

(f) No Undue Destruction of Significant Features. The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.

There are no natural, scenic or historical features of significant importance on this property.

(g) Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

We are in compliance with all additional standards and will work with the city to make sure we are in compliance with all areas of the code if we are granted the Special Use Permit.

GENERAL NOTES:

1. REFERENCED SPECIFICATIONS
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED APRIL, 2016 BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT STANDARD SPECIFICATIONS) FOR ROADWAY AND DRAINAGE IMPROVEMENTS.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS, 7th EDITION (STANDARD SPECIFICATIONS) FOR WATER MAIN, SANITARY SEWER AND STORM SEWER IMPROVEMENTS.
 - VILLAGE OF HUNTLEY MUNICIPAL CODE.
 - VILLAGE OF HUNTLEY DEVELOPMENT REQUIREMENTS AND STANDARDS MANUAL
 - VILLAGE OF HUNTLEY APPROVED MATERIAL LIST
 - ILLINOIS URBAN MANUAL, LATEST EDITION
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (2009 EDITION)
2. NOTIFICATION
 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE FOLLOWING:
 - THE VILLAGE OF HUNTLEY 48 HOURS PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION.
 - THE ELECTRIC, TELEPHONE AND GAS UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION (JULIE).
3. INDEMNIFICATION
 - THE CONTRACTOR(S) SHALL INDEMNIFY THE VILLAGE OF HUNTLEY, THE ENGINEER, OWNER AND THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THIS WORK ON THIS PROJECT AND NAME THEM AS CO-INSURED.
4. GENERAL
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE VILLAGE OF HUNTLEY
 THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED BY THE CONTRACTORS. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THOSE IMPROVEMENTS INDICATED ON THE ENGINEERING PLAN.
 - ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAYS, ETC., DAMAGED BY THE CONTRACTOR'S OPERATIONS AND NOT CALLED FOR IN THE CONTRACT TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
 - THE LOCATION OF VARIOUS EXISTING UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR LOCATIONS AND ELEVATIONS PRIOR TO THE CONSTRUCTION OPERATIONS.
5. PERMITS
 - NO SITEWORK SHALL BEGIN UNTIL A VILLAGE OF HUNTLEY PERMIT HAS BEEN OBTAINED.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN NECESSARY PERMITS FROM THE VILLAGE OF HUNTLEY AND PAY ALL APPLICABLE FEES.
6. EXCAVATION AND GRADING
 - NO EQUIPMENT, MATERIALS OR WORK SHALL BE PLACED OR PERFORMED OUTSIDE THE LIMITS OF THE PROJECT WITHOUT THE APPROVAL OF THE OWNER.
7. SUBGRADE PREPARATION, AGGREGATE BASE COURSE AND HOT MIX ASPHALT SURFACES
 - ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE IDOT STANDARD SPECIFICATIONS.
 - AFTER REMOVAL OF EXISTING PAVEMENT, AGGREGATE BASE SHALL BE PROOF-ROLLED WITH LOADED 6-WHEEL TRUCK. FAILED BASE AREAS SHALL BE REMOVED AND REPLACED WITH CA-6, GRADE 8 OR 9 GRAVEL, PAID AT CONTRACT PRICE PER TON AS BID.
 - NO HOT MIX ASPHALT SURFACING SHALL BE INSTALLED UNTIL THE BASE COURSE GRAVEL HAS BEEN APPROVED BY THE ENGINEER.
 - BITUMINOUS PRIME SHALL BE APPLIED AT THE RATE OF 0.20 GALLONS PER SQUARE YARD.
 - HOT MIX ASPHALT SURFACE SHALL CONSIST OF A BINDER COURSE AND A SURFACE COURSE AS SHOWN ON THE TYPICAL SECTION AND SHALL BE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS.
8. PAVEMENT MARKINGS
 ALL PAVEMENT STRIPING AND LETTERS AND SYMBOLS SHALL CONFORM TO SECTION 780 OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS RELATED TO PAINT PAVEMENT MARKINGS. INSTALLATION SHALL CONFORM TO SECTION 780.06 AND ALL MATERIAL TO ARTICLE 1095.02. ALL PAINT PAVEMENT MARKING LINES AND LETTER AND SYMBOLS SHALL BE INSTALLED IN THE FIELD AT THE LOCATIONS DESIGNATED BY THE OWNER.

HUNTLEY, ILLINOIS

TOMMY'S CAR WASH

LOT 8 - HUNTLEY CROSSING

12440 ROUTE 47

INDEX OF SHEETS

1. TITLE SHEET
2. DEMOLITION PLAN
3. SITE PLAN
4. GEOMETRIC PLAN
5. UTILITY PLAN
6. UTILITY DETAILS
7. GRADING PLAN
8. STORM WATER POLLUTION PREVENTION PLAN
9. VILLAGE OF HUNTLEY APPROVED MATERIALS LIST
10. VILLAGE OF HUNTLEY GENERAL NOTES
11. VILLAGE OF HUNTLEY DETAILS 1
12. VILLAGE OF HUNTLEY DETAILS 2



LOCATION MAP

CONTACTS:

OWNER:
 DESIGN RESOURCES GROUP

CIVIL ENGINEER:
 SCHEFLOW ENGINEERS
 1814 GRANDSTAND PLACE
 ELGIN, IL 60123
 FRANK C. CUDA, P.E.
 PHONE: (847) 697-7095
 EMAIL: FCUDA@SCHEFLOWENG.COM

ARCHITECT:
 CHRISTIANSON COMPANIES
 4609 33RD AVENUE SOUTH
 SUITE 400
 FARGO, ND 58104
 CHRIS MACK
 PHONE: (701)281-9500
 EMAIL: CM@DRGTEAM.COM



PH. (701) 499-0212
 FAX (701) 281-9501



PH. (701) 281-9500
 FAX (701) 281-9501

4609 33RD AVE. S.
 SUITE 400
 FARGO, ND 58104

VILLAGE OF HUNTLEY PUBLIC WORKS AND ENGINEERING:

10987 MAIN STREET
 HUNTLEY, IL 60142
 TIM FARRELL, P.E.
 DIRECTOR OF PUBLIC WORKS AND ENGINEERING
 PHONE: (847) 515-5222
 EMAIL: TFARRELL@HUNTLEY.IL.US

VILLAGE OF HUNTLEY DEVELOPMENT SERVICES DEP:

10987 MAIN STREET
 HUNTLEY, IL 60142
 CHARLES NORDMAN, AICP
 DIRECTOR OF DEVELOPMENT SERVICES
 PHONE: (847) 515-5252
 EMAIL: CNORDMAN@HUNTLEY.IL.US

BENCHMARKS:

SOURCE BENCHMARK:

VILLAGE OF HUNTLEY BENCHMARK 9
 ELEVATION 877.66 (NAVD 88)

SITE BENCHMARKS:

CROSS CUT ON CONCRETE BIKE PATH AT THE SOUTHEAST INTERSECTION IL RT 47 AND REGENCY PARKWAY, APPROX 18' FROM NORTHEAST CORNER OF LOT 7.
 ELEVATION 897.45 (NAVD 88)

IRON ROD AT NORTHEAST PROPERTY CORNER OF LOT 8
 ELEVATION 899.10 (NAVD 88)

IRON ROD AT SOUTHEAST PROPERTY CORNER OF LOT 8
 ELEVATION 901.93 (NAVD 88)

PARCEL INFORMATION:

PARCEL NUMBER:

02-04-151-002

LEGAL DESCRIPTION:

HUNTLEY CROSSINGS, PHASE 2, PLAT 2 - LOT 8

LOT SIZE:

1.430 ACRES



J.U.L.I.E
 JOINT UTILITY LOCATION INFORMATION FOR EXCAVATION
 CALL 811
 Know what's below.
 Call before you dig.

VILLAGE OF HUNTLEY GENERAL NOTES DETAILS SUPERCEDE ALL OTHER NOTES AND DETAILS

#	DATE	REMARKS
1	2-18-22	PER VILLAGE REV.



1814 GRANDSTAND PLACE
 ELGIN, ILLINOIS 60123
 phone 847.697.7095
 fax 847.697.7099
 scheffloweng.com
 Firm License No. 184-001104

HUNTLEY

TOMMY'S CAR WASH
 12440 ROUTE 47

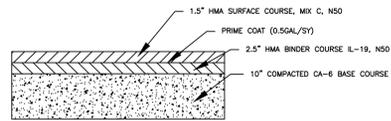
TITLE SHEET

ILLINOIS

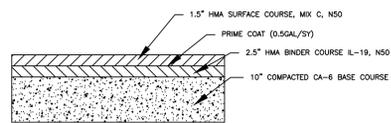
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DRAWN BY PCS	JOB NO. 5771
CHECKED BY FCC	SHEET NO. 1 of 18



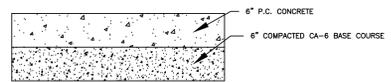
11/23 2/18/22
 LIC. EXP. DATE DATE
 Frank C. CUDA
 SIGNATURE



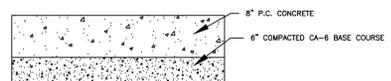
PARKING LOT PAVEMENT DETAIL



ACCESS ROAD PAVEMENT DETAIL

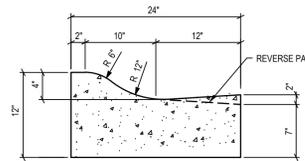


CONCRETE PAVEMENT DETAIL



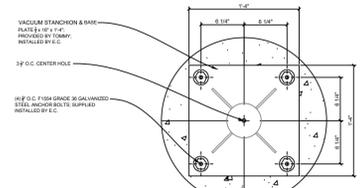
HEAVY DUTY CONCRETE PAVEMENT DETAIL

NOTE:
REVERSE SLOPE ON GUTTER
PAN AS REQUIRED ON PLANS.

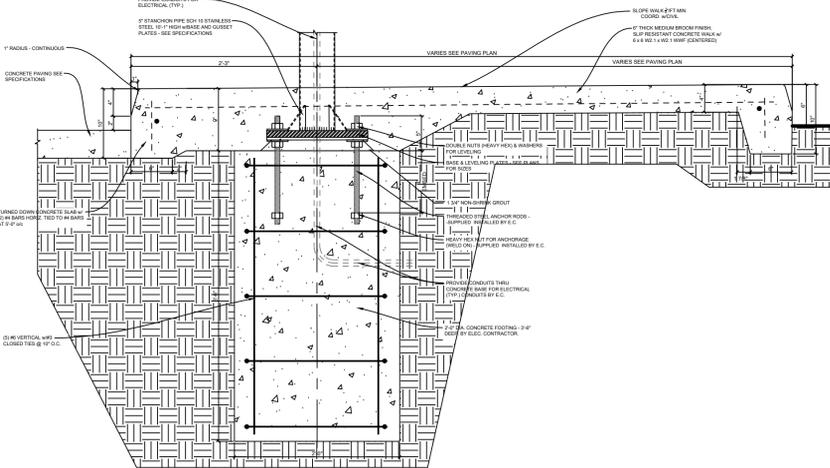


MOUNTABLE CURB DETAIL

NOT TO SCALE

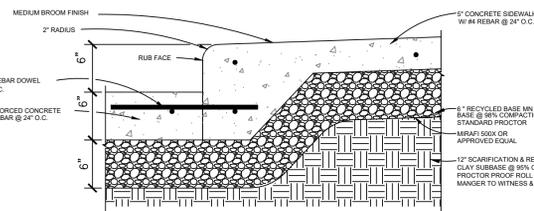


PLAN VIEW



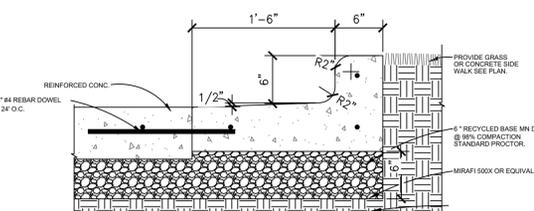
VACUUM BASE & CURB DETAIL

NOT TO SCALE



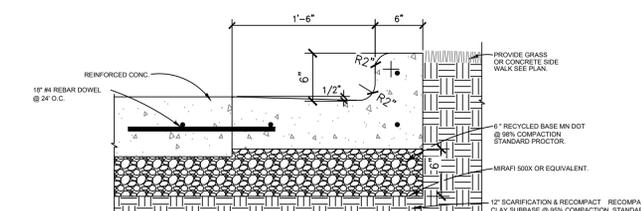
CONC. & THICKENED SIDE WALK EDGE

NOT TO SCALE



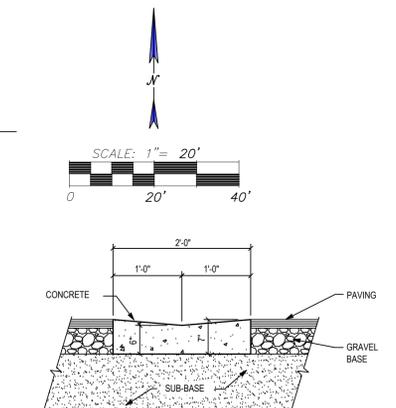
B6.18 - OUTFLOW CURB

NOT TO SCALE



B6.18 - INFLOW CURB

NOT TO SCALE

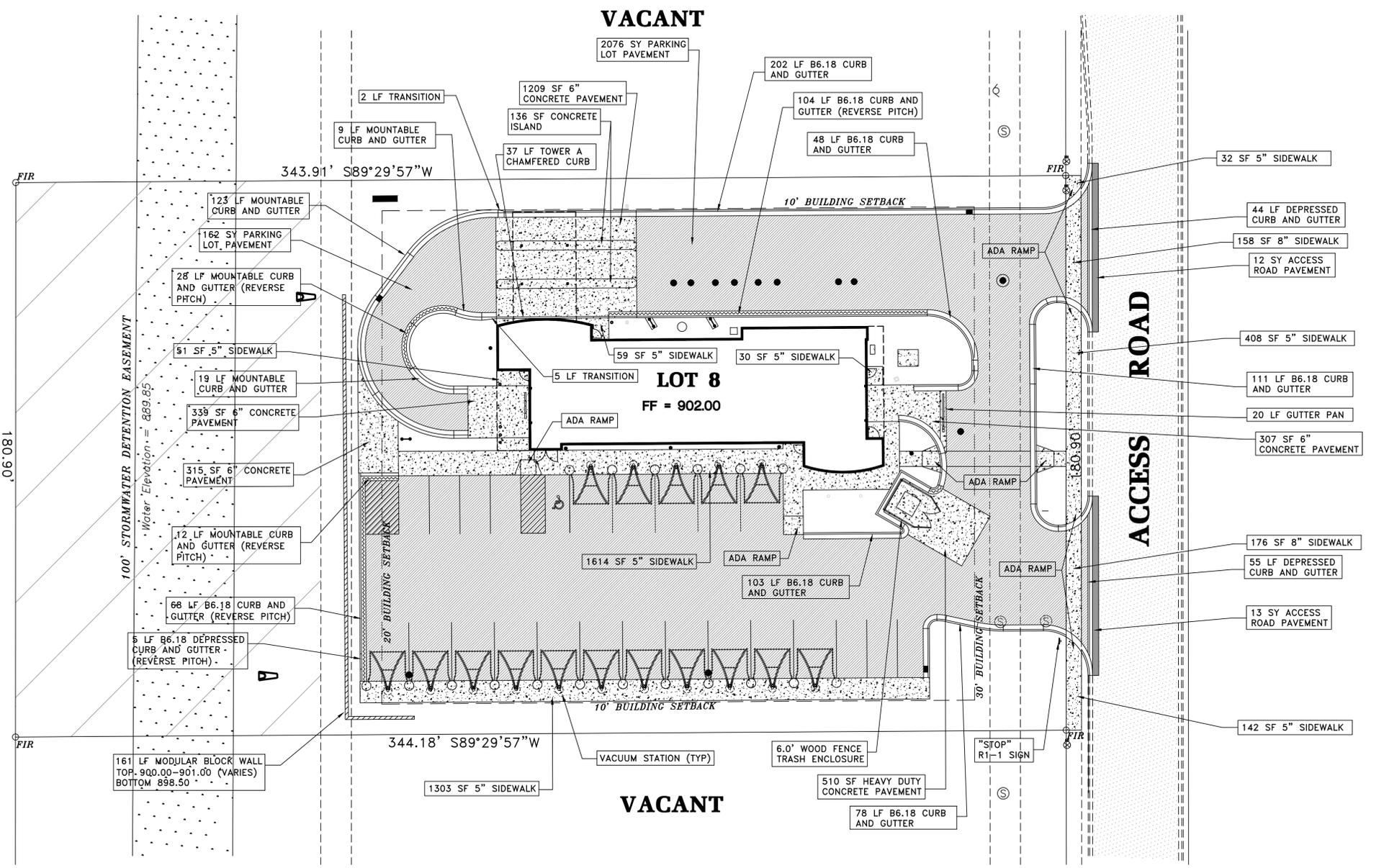


TYPICAL GUTTER PAN DETAIL

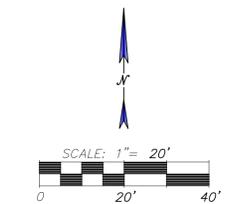
NOT TO SCALE

ILLINOIS ROUTE 47

Existing Bikepath



SITE PLAN



#	DATE	REMARKS
1	2-18-22	PER VILLAGE REV.

SCHEFLOW
engineers

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scheffloweng.com
Firm License No. 184-001104

HUNTLEY

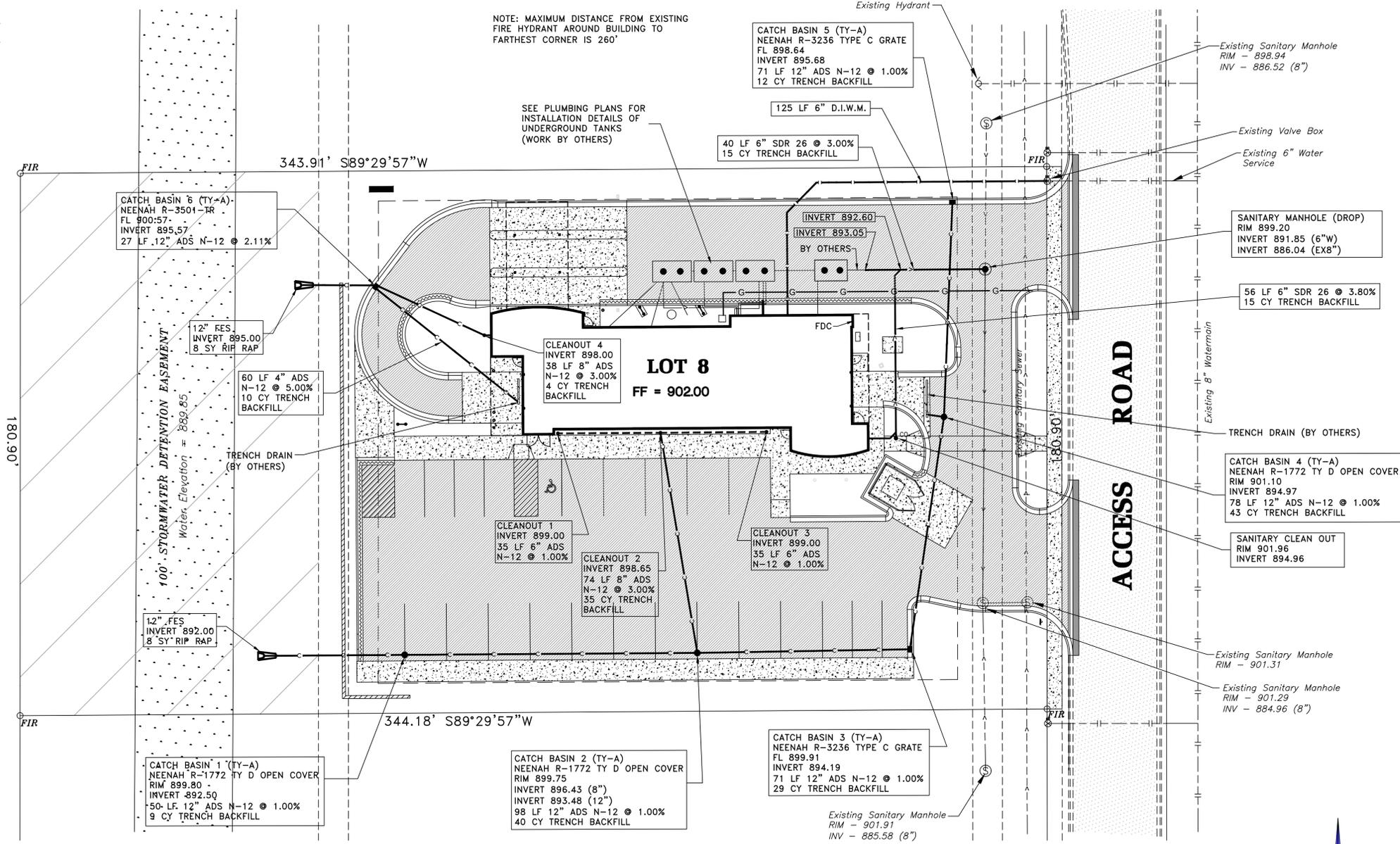
TOMMY'S CAR WASH
12440 ROUTE 47

SITE PLAN

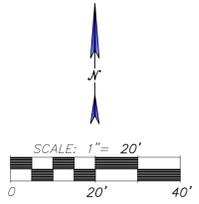
SCALE	DATE
1" = 20'	1/24/22
DRAWN BY	JOB NO.
PCS	5771
CHECKED BY	SHEET NO.
FCC	3 of 10

VILLAGE OF HUNTLEY GENERAL NOTES DETAILS SUPERCEDE ALL OTHER NOTES AND DETAILS

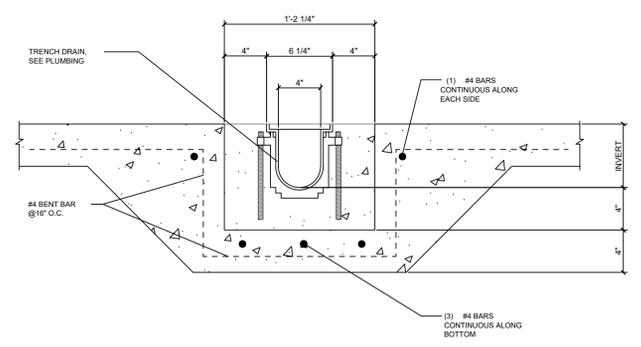
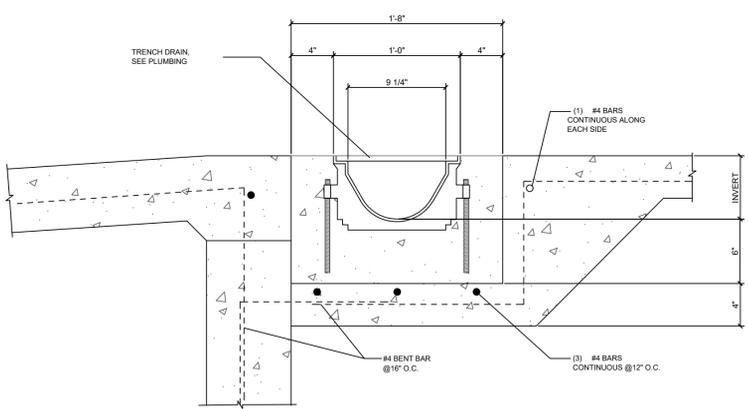
ILLINOIS ROUTE 47



UTILITY PLAN



NOTE:
ALL DIMENSIONS ARE TO BE VERIFIED WITH ACTUAL MANUFACTURER OF TRENCH DRAIN



SYMBOL LEGEND

	EXISTING PAVEMENT		REMOVAL
	- SITE BENCHMARK		PROPOSED PAVEMENT
	- BUFFALO BOX		PROPOSED PAVEMENT
	- SANITARY MANHOLE		EXISTING WATER MAIN
	- SURFACE FLOW DIRECTION		EXISTING SANITARY SEWER
	- EXISTING SPOT GRADE		PROPOSED WATER SERVICE
	- PROPOSED SPOT GRADE		PROPOSED STORM SEWER
	- PROPOSED SANITARY MANHOLE		PROPOSED SANITARY SEWER
	- PROPOSED CATCH BASIN CURB GRATE		SILT FENCE
	- PROPOSED CATCH BASIN		PROPOSED CONTOUR
	- PROPOSED CURB AND GUTTER		OVERLAND FLOW ROUTE AND DEPTH
	- PROPOSED REVERSE PITCH CURB AND GUTTER		
	- EXISTING CURB AND GUTTER		

#	DATE	REMARKS
1	2-18-22	PER VILLAGE REV.

SCHEFLOW engineers

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fax 847.697.7099
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HUNTLEY

TOMMY'S CAR WASH
12440 ROUTE 47
UTILITY PLAN

SCALE	DATE
1"=20'	1/24/22
DRAWN BY	JOB NO.
PCS	5771
CHECKED BY	SHEET NO.
FCC	5 of 19

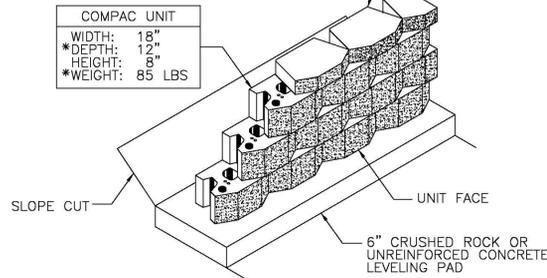
VILLAGE OF HUNTLEY GENERAL NOTES DETAILS SUPERCEDE ALL OTHER NOTES AND DETAILS

BASE LEVELING PAD NOTES:

1. THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2,000 PSI± UNREINFORCED CONCRETE.
2. THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.

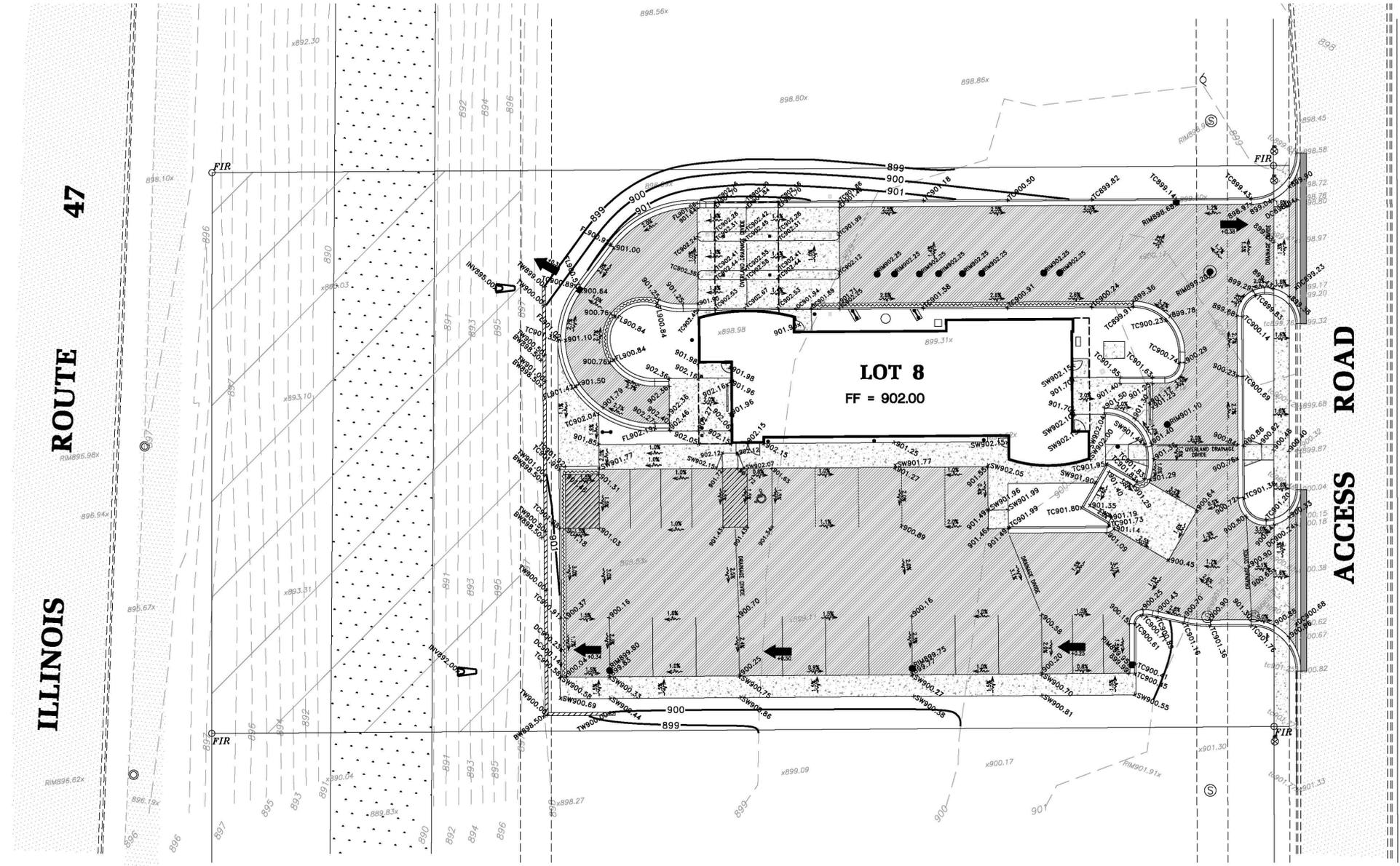
MINI CAP UNIT
 *WIDTH: 18"
 *DEPTH: 10"
 *HEIGHT: 4"
 *WEIGHT: 45 LBS

COMPAC UNIT
 *WIDTH: 18"
 *DEPTH: 12"
 *HEIGHT: 8"
 *WEIGHT: 85 LBS



*DIMENSIONS & WEIGHT MAY VARY BY REGION

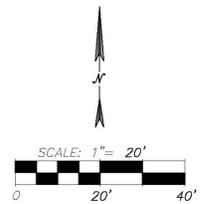
**COMPAC UNIT/BASE PAD ISOMETRIC VIEW
RETAINING WALL**



SYMBOL LEGEND

	EXISTING PAVEMENT		REMOVAL
	- SITE BENCHMARK		PROPOSED PAVEMENT
	- BUFFALO BOX		PROPOSED PAVEMENT
	- SANITARY MANHOLE		- EXISTING WATER MAIN
	- SURFACE FLOW DIRECTION		- EXISTING SANITARY SEWER
	- EXISTING SPOT GRADE		- PROPOSED WATER SERVICE
	- PROPOSED SPOT GRADE		- PROPOSED STORM SEWER
	- PROPOSED SANITARY MANHOLE		- PROPOSED SANITARY SEWER
	- PROPOSED CATCH BASIN CURB GRATE		- SILT FENCE
	- PROPOSED CATCH BASIN		- PROPOSED CONTOUR
	- PROPOSED CURB AND GUTTER		- OVERLAND FLOW ROUTE AND DEPTH
	- PROPOSED REVERSE PITCH CURB AND GUTTER		
	- EXISTING CURB AND GUTTER		

GRADING PLAN



VILLAGE OF HUNTLEY GENERAL NOTES DETAILS SUPERCEDE ALL OTHER NOTES AND DETAILS

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1	2-18-22	PER VILLAGE REV.



1814 GRANDSTAND PLACE
 ELGIN, ILLINOIS 60123
 phone 847.697.7095
 fax 847.697.7099
 scheffloweng.com
 Firm License No. 184-001104

HUNTLEY

TOMMY'S CAR WASH
 12440 ROUTE 47
GRADING PLAN

ILLINOIS

SCALE	DATE
1"=20'	1/24/22
DRAWN BY	JOB NO.
PCS	5771
CHECKED BY	SHEET NO.
FCC	7 of 12

DATE: 02/21/2022
 PROJECT NO: 21-059
 DRAWN BY: EK
 CHECKED BY: MK
 REVISIONS:

EXTERIOR MATERIALS LEGEND

- BRICK MASONRY - FIELD
- BRICK MASONRY - FIELD SOLDIER
- BRICK MASONRY - BASE
- BRICK MASONRY - BASE SOLDIER
- PREFINISHED METAL COPING
- GLAZING
- PREFINISHED METAL PANELS (RED)
- PREFINISHED METAL PANELS (BLACK)

NOTE:
 REFER TO SIGNAGE PACKAGE FOR EXACT LOCATIONS
 AND SIZES OF BUILDING SIGNAGE

TOMMY CAR WASH SYSTEMS
 12440 ROUTE 47
 HUNTLEY, IL

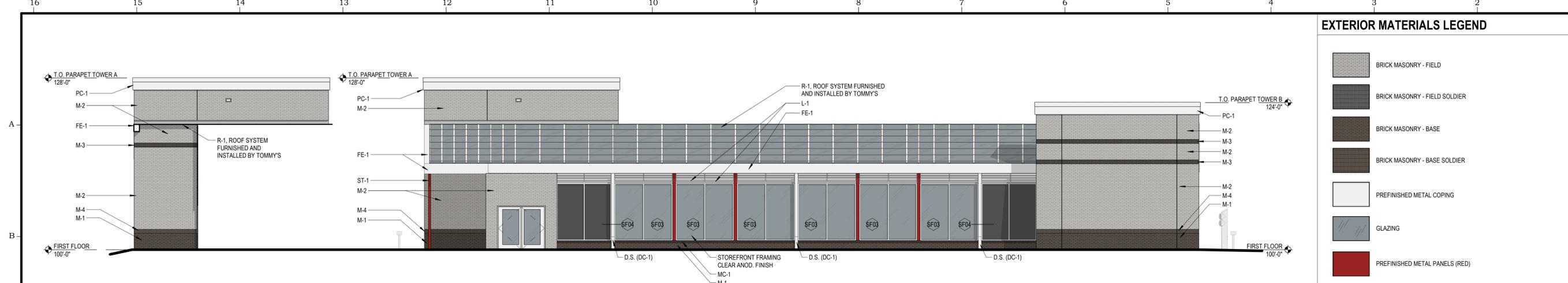
**NOT FOR
 CONSTRUCTION**

**CHRISTIANSON
 COMPANIES**
 PH. (701) 281-9500
 FAX (701) 281-9501
 4609 33RD AVE. S.
 SUITE 400
 FARGO, ND 58104

IDG
 DESIGN RESOURCES GROUP
 PH. (701) 499-0212
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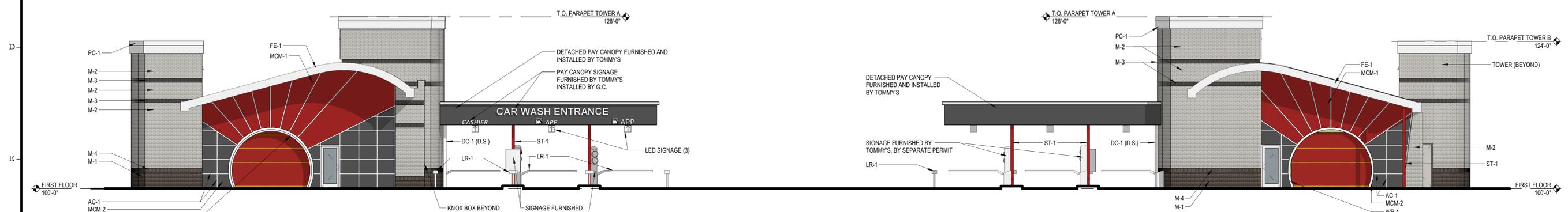
SHEET DESCRIPTION:
 PRESENTATION ELEVATIONS

Sheet
A201



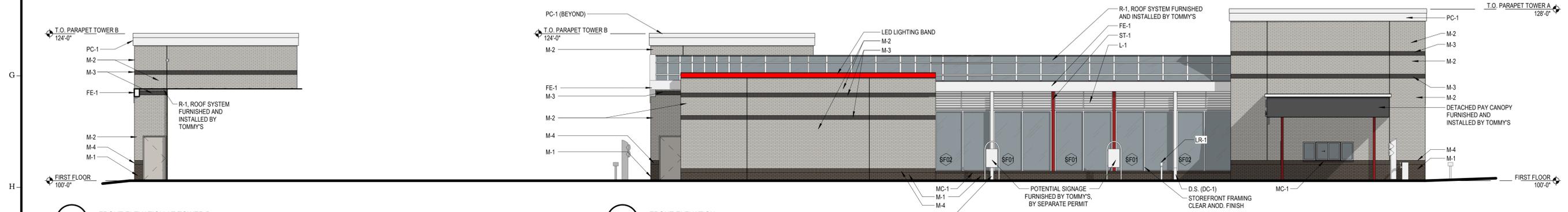
1 BACK ELEVATION AT TOWER A
 1/8" = 1'-0"

2 BACK ELEVATION
 A101
 1/8" = 1'-0"



3 EXIT END ELEVATION
 1/8" = 1'-0"

4 ENTRY END ELEVATION
 1/8" = 1'-0"



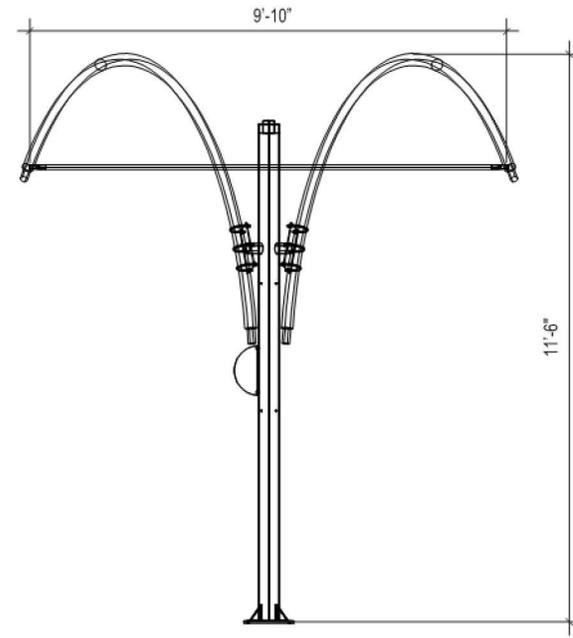
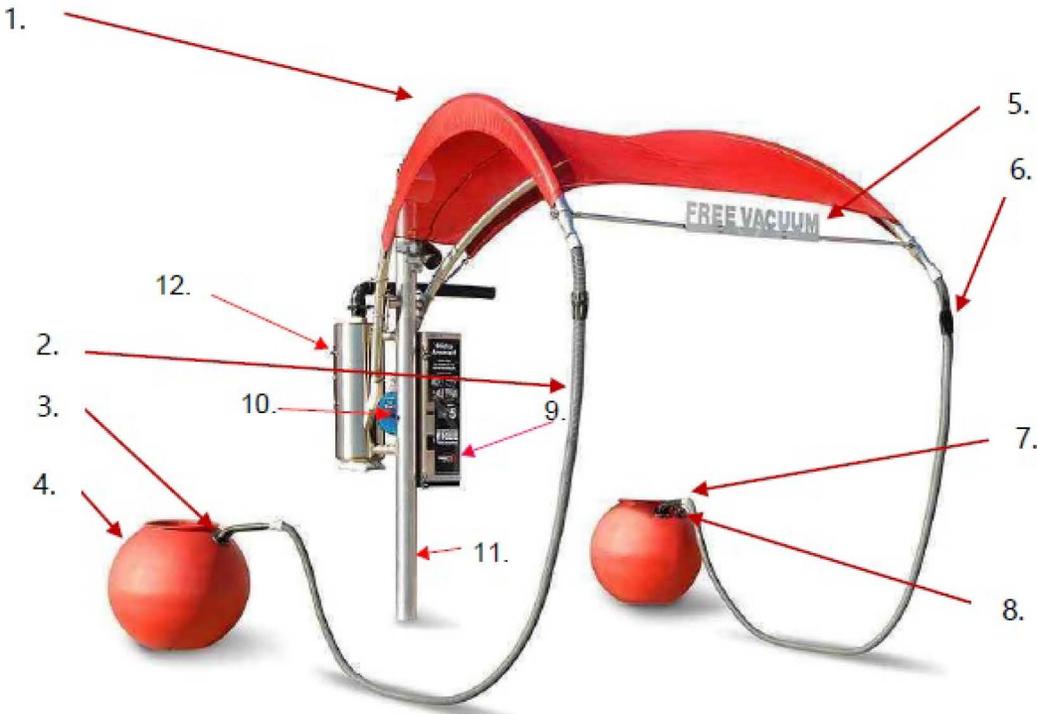
5 FRONT ELEVATION AT TOWER B
 1/8" = 1'-0"

6 FRONT ELEVATION
 1/8" = 1'-0"

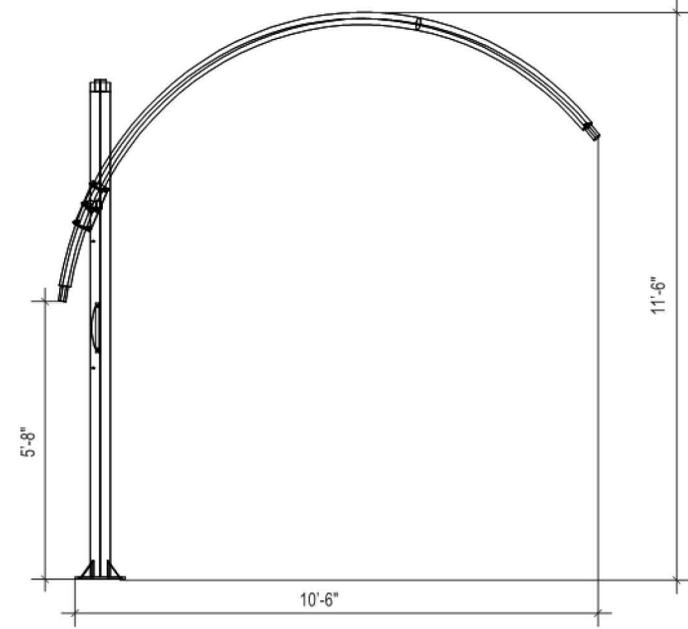
TAG	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	FURNISHED BY	INSTALLED BY
ST-1	STRUCTURAL STEEL	RBI	POWDER COATED STRUCTURAL STEEL	RAL 3001	TOMMY'S	TOMMY'S
MC-1	BRICK	GLEN-GERY	KLAYCOAT; STAND. MODULAR; ROWLOCK	CHARCOAL	SUBCONTRACTOR	SUBCONTRACTOR
M-1	BRICK	GLEN-GERY	KLAYCOAT; STAND. MODULAR; RUNNING BOND	CHARCOAL	SUBCONTRACTOR	SUBCONTRACTOR
M-2	BRICK	GLEN-GERY	KLAYCOAT; STAND. MODULAR; RUNNING BOND	STONE GRAY	SUBCONTRACTOR	SUBCONTRACTOR
M-3	BRICK	GLEN-GERY	GLAZED; STAND. MODULAR; SOLDIER COURSE	BLACK	SUBCONTRACTOR	SUBCONTRACTOR
M-4	BRICK	GLEN-GERY	KLAYCOAT; STAND. MODULAR; SOLDIER COURSE	CHARCOAL	SUBCONTRACTOR	SUBCONTRACTOR
PC-1	PREFIN. ALUM. PARAPET CORNICE	ARCONIC	REYNBOND COMPOSITE PANELS	BRIGHT SILVER METALLIC	TOMMY'S	SUBCONTRACTOR
MCM-1	PREFIN. ALUM. COMPOSITE PANELS	LAMINATORS	LAMINATORS OMEGA SERIES	BRITE RED	TOMMY'S	SUBCONTRACTOR
MCM-2	PREFIN. ALUM. COMPOSITE PANELS	CITADEL	SINOCORE	EBONY	TOMMY'S	SUBCONTRACTOR

TAG	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR	FURNISHED BY	INSTALLED BY
AC-1	PREFIN. ALUM. CLOSURE CAPS	TUBELITE	TUBELITE 200 SERIES STOREFRONT	CLEAR ANNOZIDED	TOMMY'S	SUBCONTRACTOR
SF01, SF02, SF03	PREFIN. ALUM. STOREFRONT WITH INSULATED GLASS	KAWNEER	1" INSULATED GLASS LOW-E	CLEAR ANNOZIDED	G.C.	SUBCONTRACTOR
SF04	PREFIN. ALUM. STOREFRONT WITH METAL PANEL INFILL	KAWNEER/CITADEL	1" GLAZE GUARD 1000 WR-1 PANEL INFILL SEE DETAIL ON A602	CLEAR ANNOZIDED FRAMES/ EBONY INFILL PANELS	G.C.	SUBCONTRACTOR
DC-1	PREFINISHED ALUMINUM	ALPOLIC	4MM MCM PANELS DOWNSPOUT COVER	METALLIC SILVER	TOMMY'S	TOMMY'S
LR-1	LICENSE PLATE READER	TOMMY'S	BOLLARD	STAINLESS STEEL	TOMMY'S	SUBCONTRACTOR
WR-1	PREFIN. ALUM. COMPOSITE PANELS	ARCONIC	MCM WRAP COVER FOR STEEL RING	CLEAR ANNOZIDED	TOMMY'S	
FE-1	FASCIA / EAVE	ALPOLIC	4MM MCM PANELS AT EAVES AND FASCIA	METALLIC SILVER	TOMMY'S	TOMMY'S
L-1	PREFIN. ALUM LOUVER	RUSKIN	DRAINABLE LOUVER	CLEAR ANNOZIDED	TOMMY'S	TOMMY'S
R-1	ACRYLIC ROOF SYSTEM	ACRYLITE	DRAINABLE ACRYLIC ROOF SYSTEM	COOL BLUE	TOMMY'S	TOMMY'S

VACUUM ELEVATIONS



FRONT ELEVATION

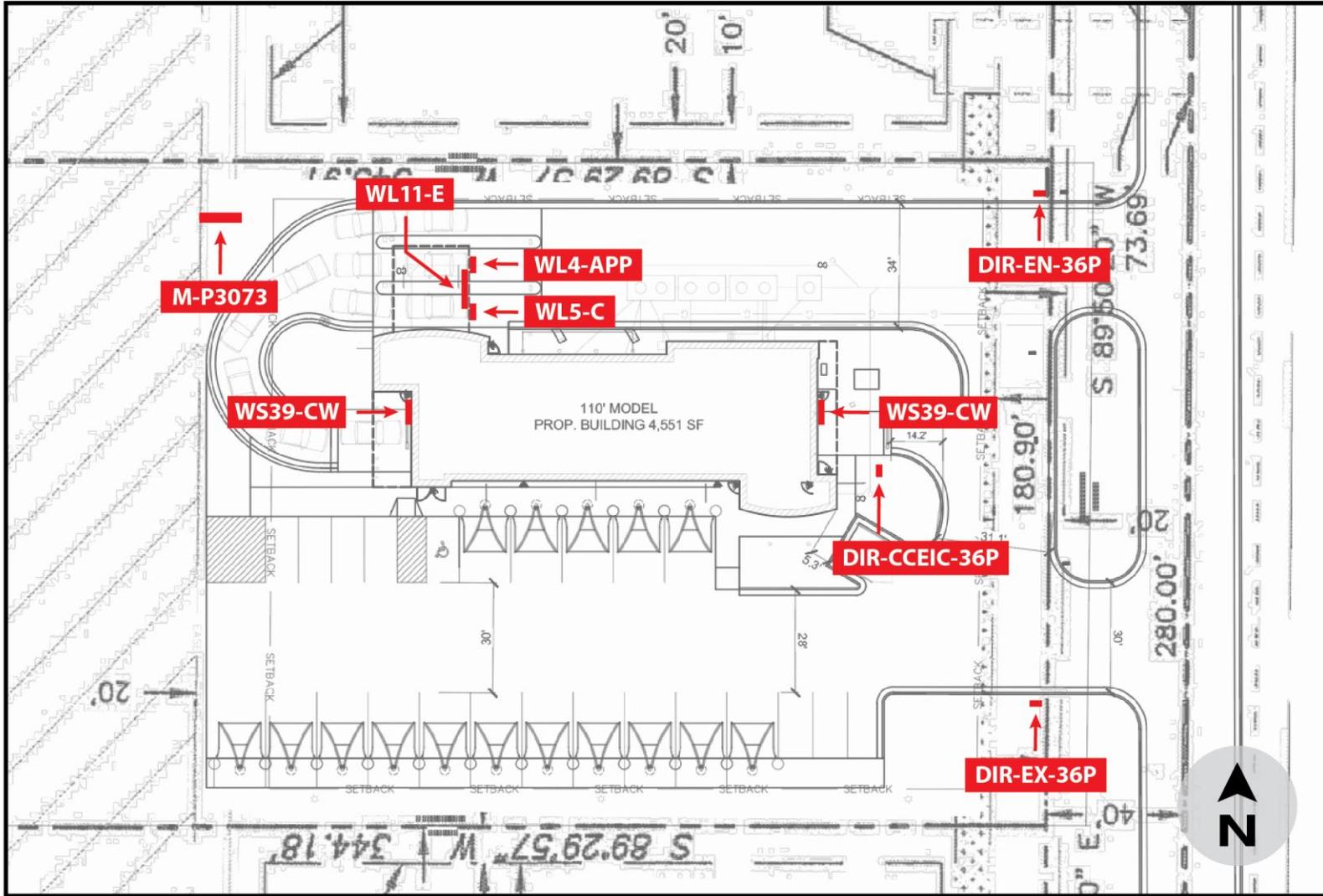


SIDE ELEVATION



Sign Detail Package

Primary Site Signage



RESPONSIBILITIES

General Contractor

M-P3073:
DIR-EN-36P:
DIR-EX-36P:
 Property line staking
 Masonry

Electrical Contractor

M-P3073:
WS39-CW (2):
WL11-E:
WL5-C:
WL4-APP:
 Electrical Service

*** Note ***

Please reference architectural plans for required installation detail.



5009 West River Drive
 Comstock Park, MI 49321
 Ph 616.784.5711 | Fx 616.784.8280
www.valleycitysign.com

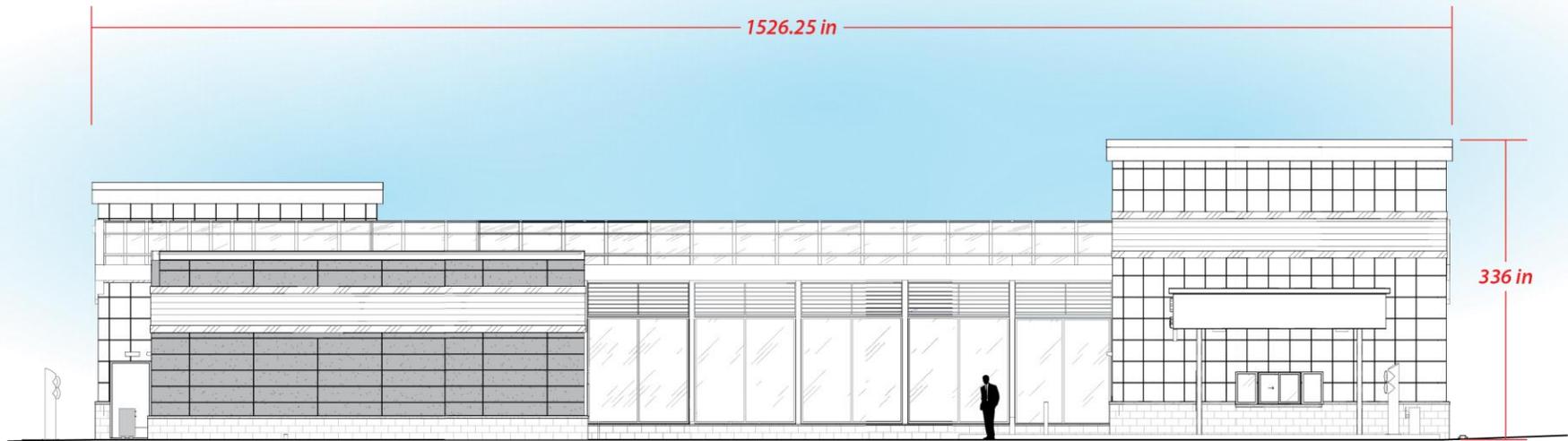
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CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 98 Illinois



Front Side Elevation | Scale: 1/16" = 1'-0"



5009 West River Drive
 Comstock Park, MI 49321
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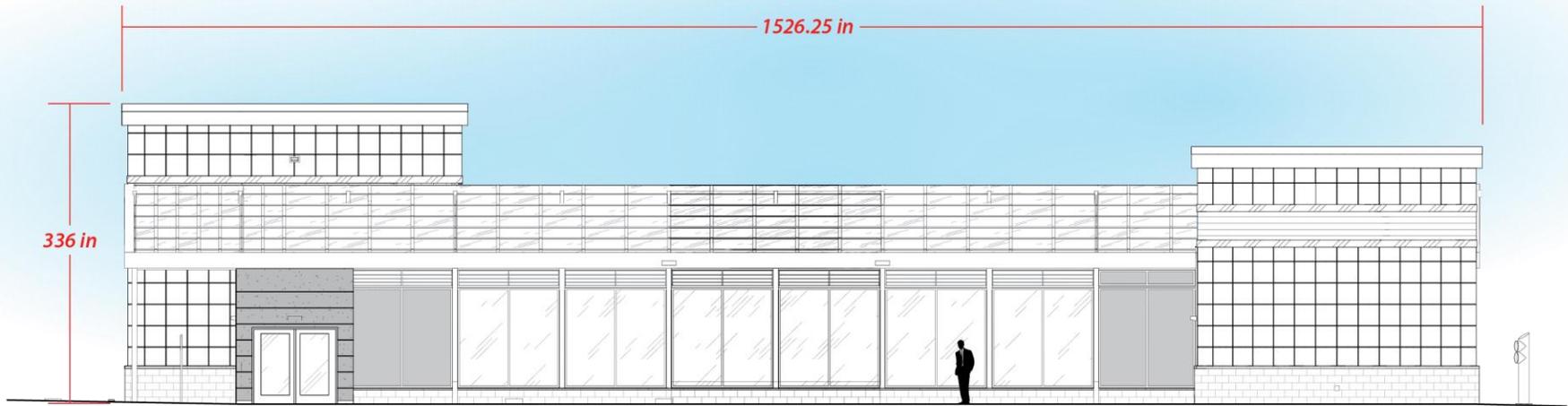
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REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 Illinois
 99



Back Side Elevation | Scale: 1/16" = 1'-0"



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 Comstock Park, MI 49321
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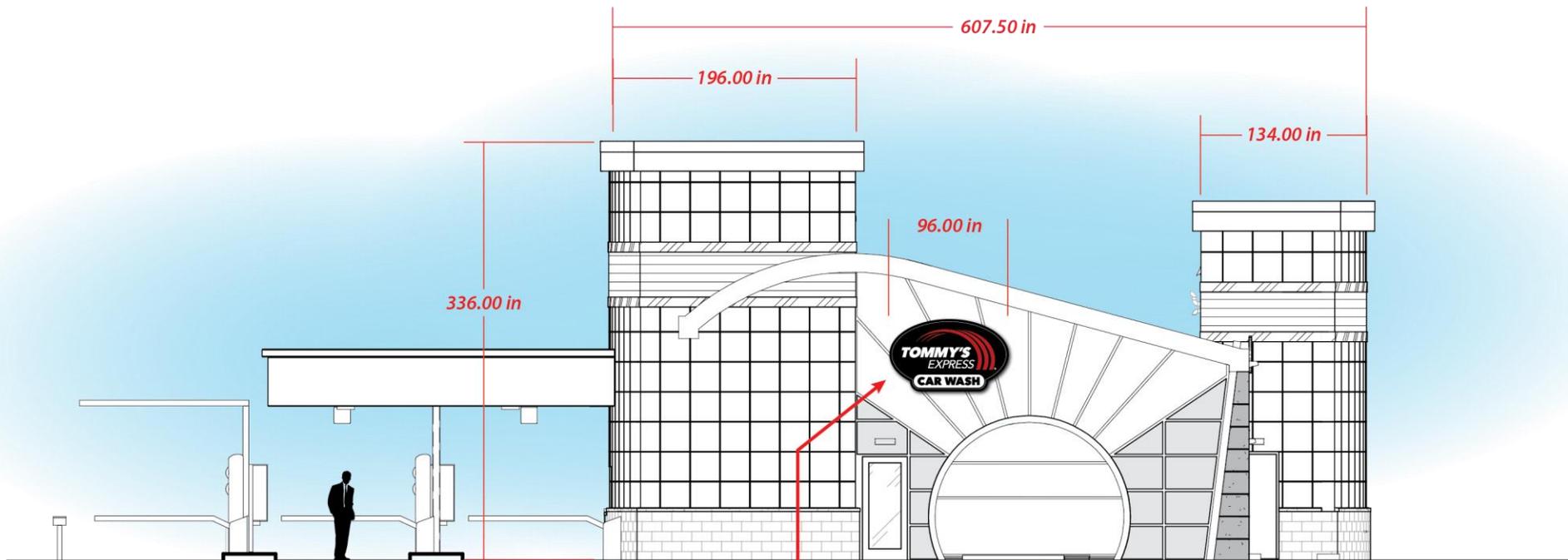
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REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 Illinois
 100



North Elevation (Entry End) | Scale: 3/32" = 1'-0"

WS39-CW



5009 West River Drive
Comstock Park, MI 49321
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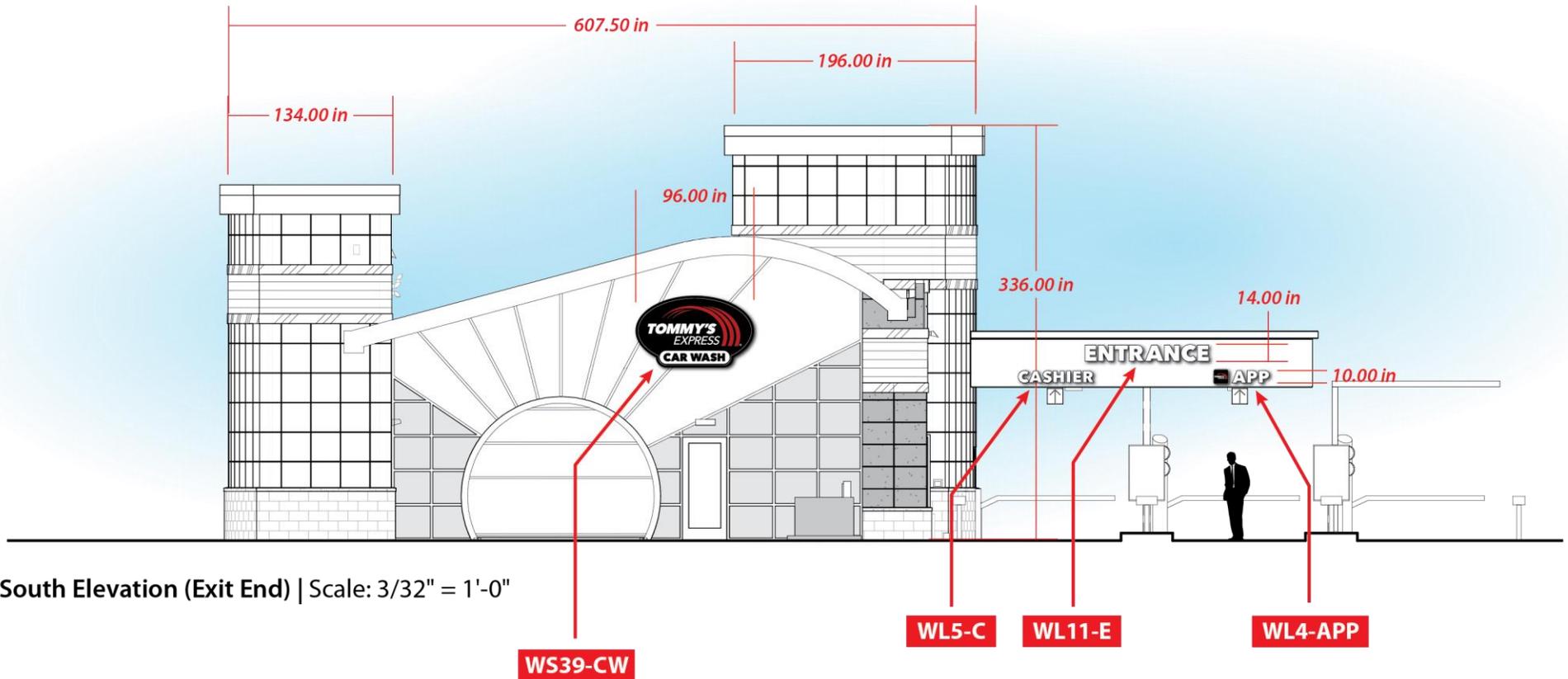
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L --	

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Huntley,
Illinois
101



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CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

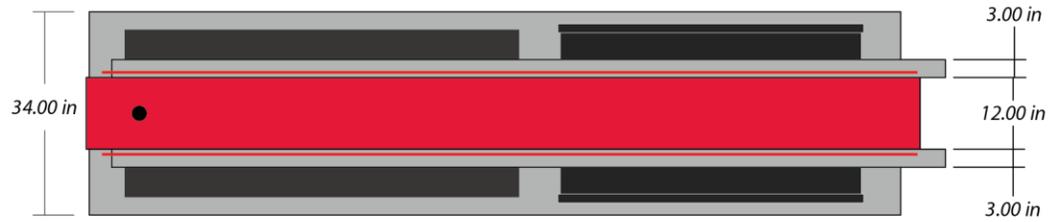
REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

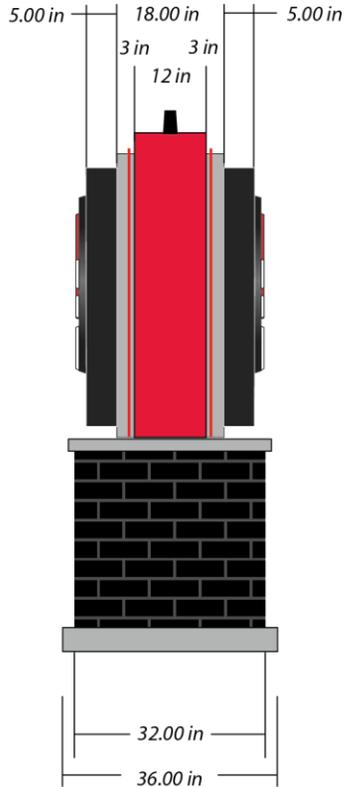
SITE#
P3073
 Huntley,
 Illinois
 102



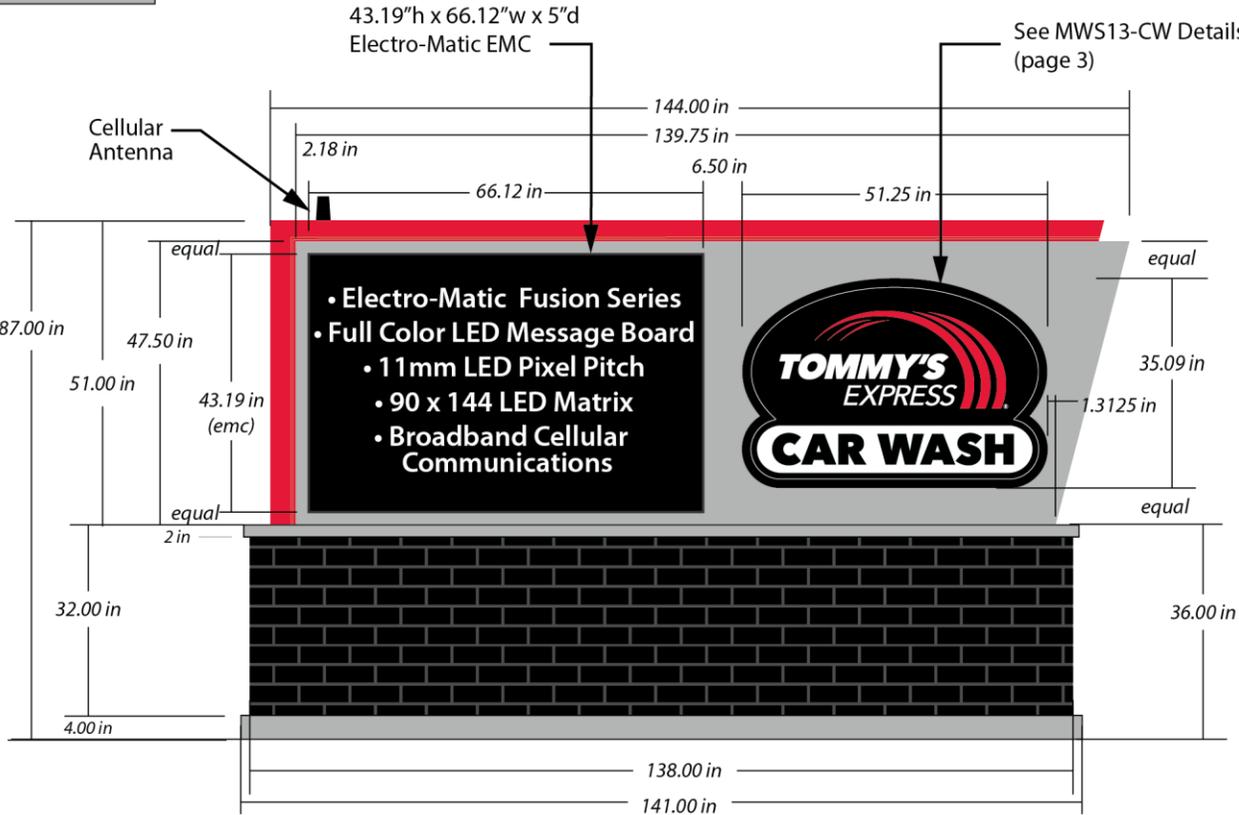
Side B



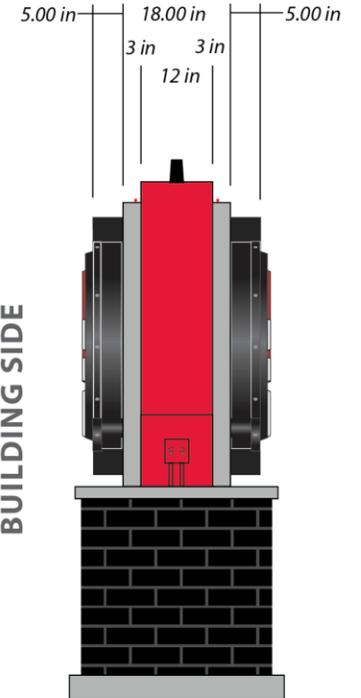
See Details
(pages 2 & 3)



STREET SIDE



BUILDING SIDE



MONUMENT SIGN

SIGN CODE:	M-P3073
SCALE:	3/8" = 1'
DATE:	2.21.22

QUANTITY:	1
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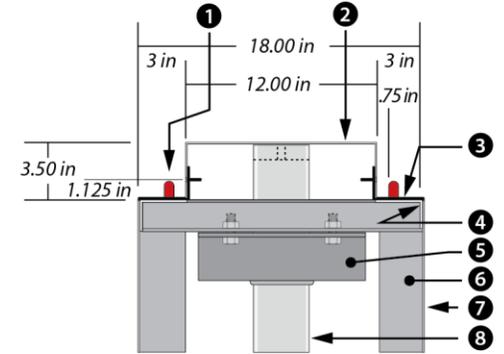
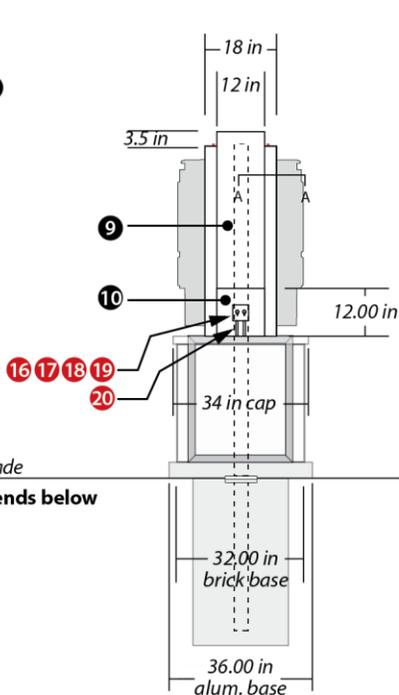
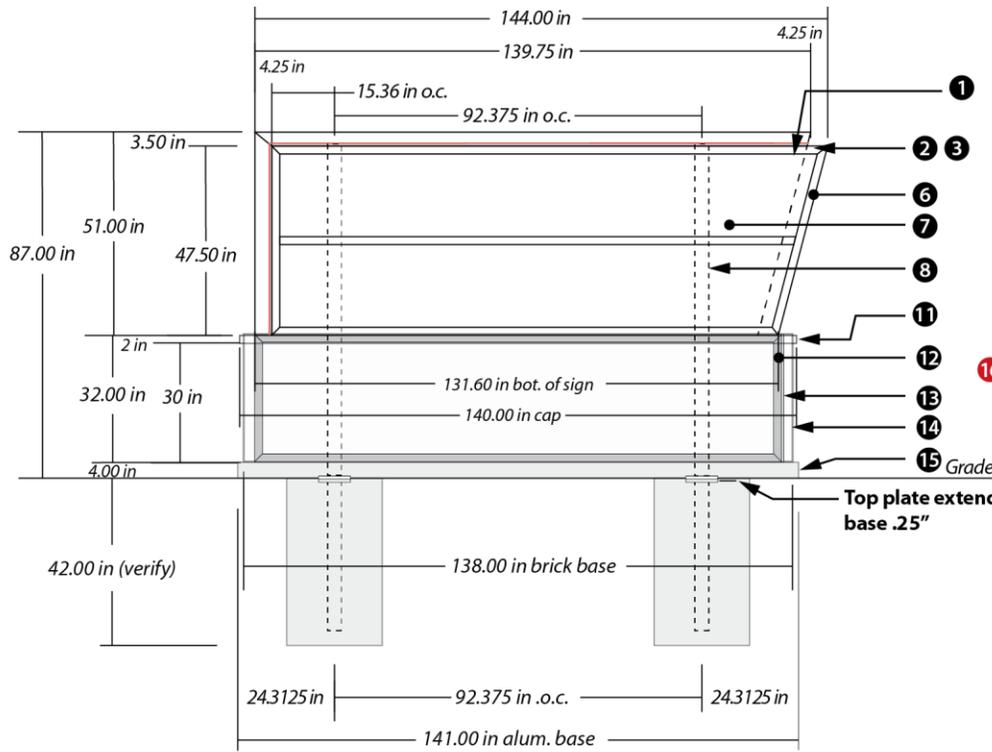
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Tommy's Express Car Wash	ACCOUNT
12440 Route 47	ADDRESS
February 18th, 2022	INITIAL PROPOSAL DATE

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
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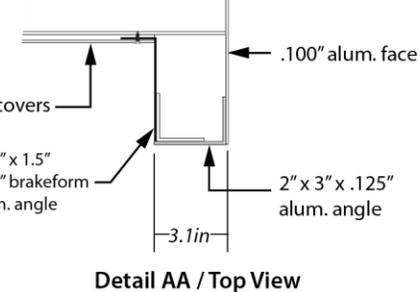
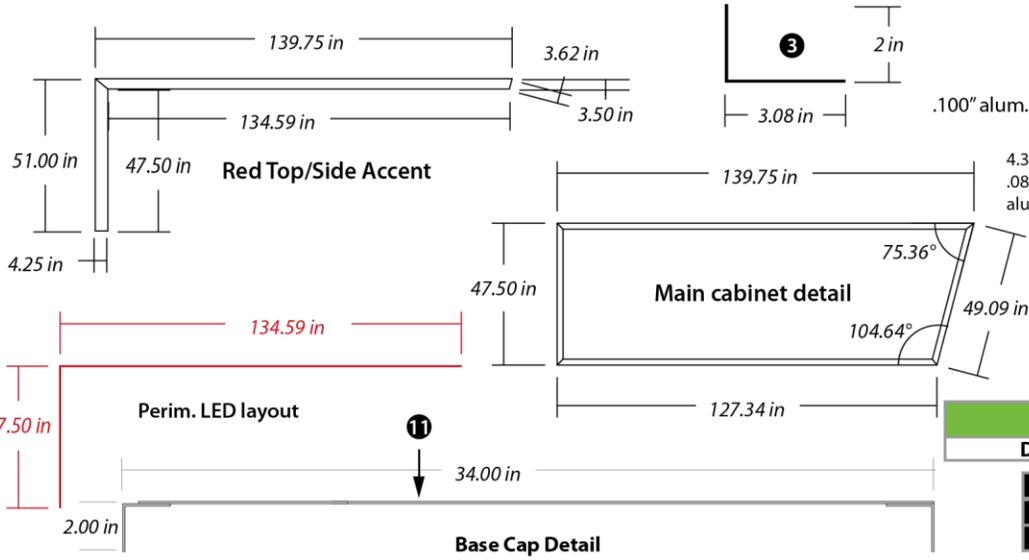
SITE#
P3073
 Huntley,
 Illinois
 103



MONUMENT SIGN

ITEM	CONSTRUCTION
1	MORGAN-HOPE RED LED PERIMETER LIGHTING
2	.100" BRAKEFORM TOP AND SIDE ACCENT
3	3.08" x 2" - .080" ALUM. BRAKEFORM ANGLE
4	2" x 3" x .125" ALUM. ANGLE
5	STEEL ANGLE CONNECTION
6	2" x 3" x .125" ALUM. ANGLE
7	.100" FACES
8	3.5" x 3.5" x .375" x 83.5" INTERNAL ST. SUPPORTS W/8" x 10" x .75" ST. MATCH PLATES 2x - 38" STUBS W/MATCH PLATES REQ. WELD BOLTS TO BOTTOM PLATE POINTING UP
9	34"H - .100" ALUM. #10 x 1" PHILLIPS C.S. SCREW / BLUE LOCTITE
10	12"H - .100" ALUM. RIVET AFTER PAINT
11	2"H x 140"W x 34" DEEP CAP
12	2" x 2" x .125" ALUM. ANGLE FRAME
13	.080" ALUM. SHEETING
14	2" x 2" x .1875" ALUM. ANGLE BLACK BRICK VENEER TBD, VENEER TO BE SUPPLIED BY THE GC
15	4"h x 141"W x 36" DEEP - .100" BRKFRM ALUM. BASE

CABINET PAINT COLORS	
	MAP MP99606N RED (SEMI-GLOSS)
	MAP MP 33172 SILV. SURFER MET. (SEMI-GLOSS)



Page 2 of 3

INSTALLATION	
DIR. BURY TBD	
SIGN CODE:	M-P3073
SCALE:	1/4" = 1'
DATE:	2.21.22



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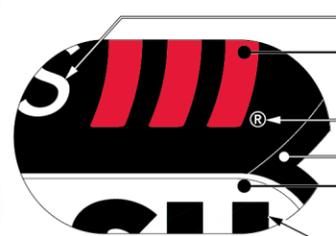
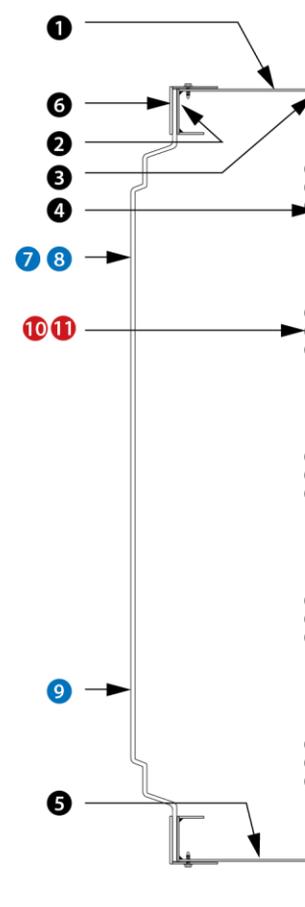
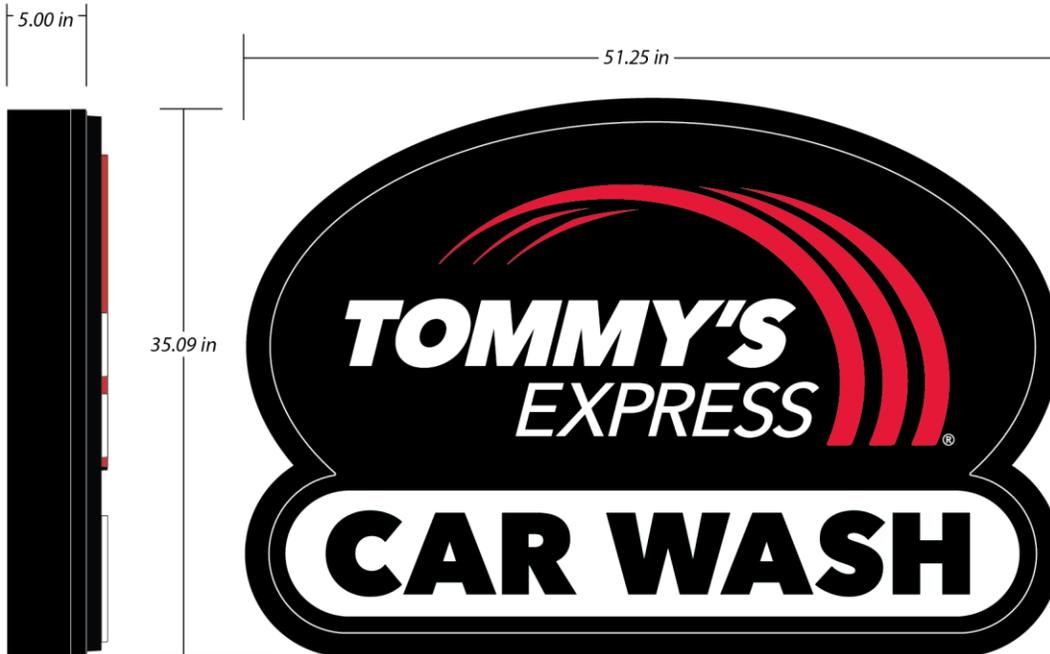
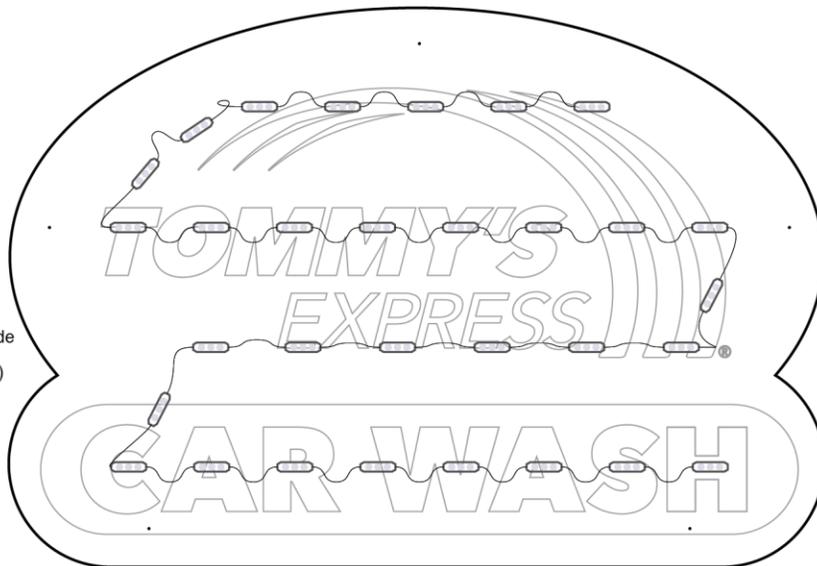
CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
Huntley,
Illinois
104

Load: 37.2% per side
 Modules: 31 White WoW per side
 Watts: 22.3 of 60.0 per side
 PS: 1x - 60watt (runs both sides)
 12.930 perim ft
 Watts: 44.6 watts total for both sides



Face Details

CUSTOM WALL SIGN	
ITEM RETAINER / CABINET STRUCTURE	
1	5" - .080" SIDEWALLS
2	1.5" - .100" ROUTED ALUM. FLANGE
3	WELDED CONSTRUCTION
4	.100" ALUM. BACK / SUPPORTS-GUSSETS
5	WEEP HOLES
6	.100" - 1.5" X 1.5" RETAINER
CABINET /RETAINER PAINT COLORS	
MAP BLK, SIDEWALLS AND BACK (GLOSS)	
ITEM FACE	
7	.177" CLEAR POLY. / 1-1/4" D - 1/2" EMOSS.
8	SUBSURFACE PAINT
9	REGISTER MARK NOT EMOSSED
FACE PAINT COLORS	
GRIP FLEX BLACK	
GRIP FLEX TO MATCH PMS 186	
GRIP FLEX WHITE	
ITEM ELECTRICAL: 120v	
10	LED: G2G WHITE WOW
11	POWER SUPPLY: 1x 60W (ALLANSON)
INSTALLATION	
MOUNT TO MONUMENT	

SIGN CODE:	MWS13-CW
SCALE:	1" = 1'
DATE:	2.21.22
QUANTITY:	2 Pre-assembled onto monument sign

- .50" emboss, back paint Grip Flex White
- .50" emboss, back paint Grip Flex to match PMS 186
- Not embossed, paint Grip Flex White
- 1.75" Flange, 34.59" x 50.75" trim, 32.09" x 48.25" v.o.
- .50" emboss (oval only), back paint Grip Flex White
- Back paint Grip Flex Black (Not Embossed)



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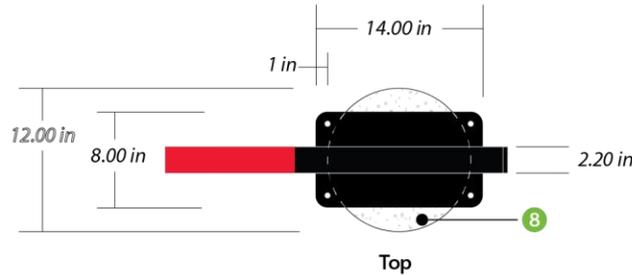
CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

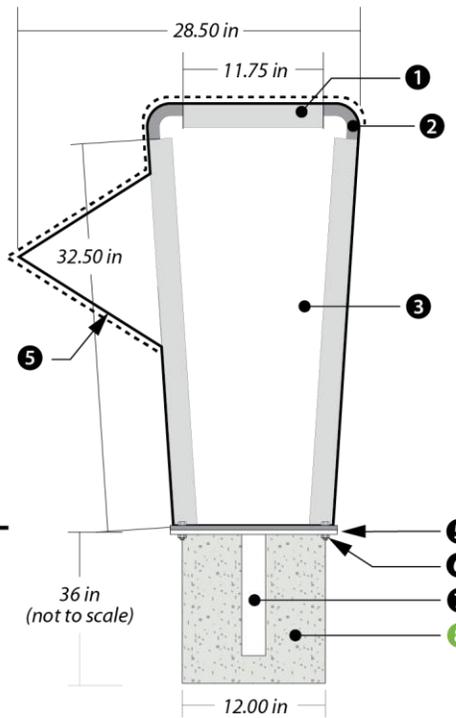
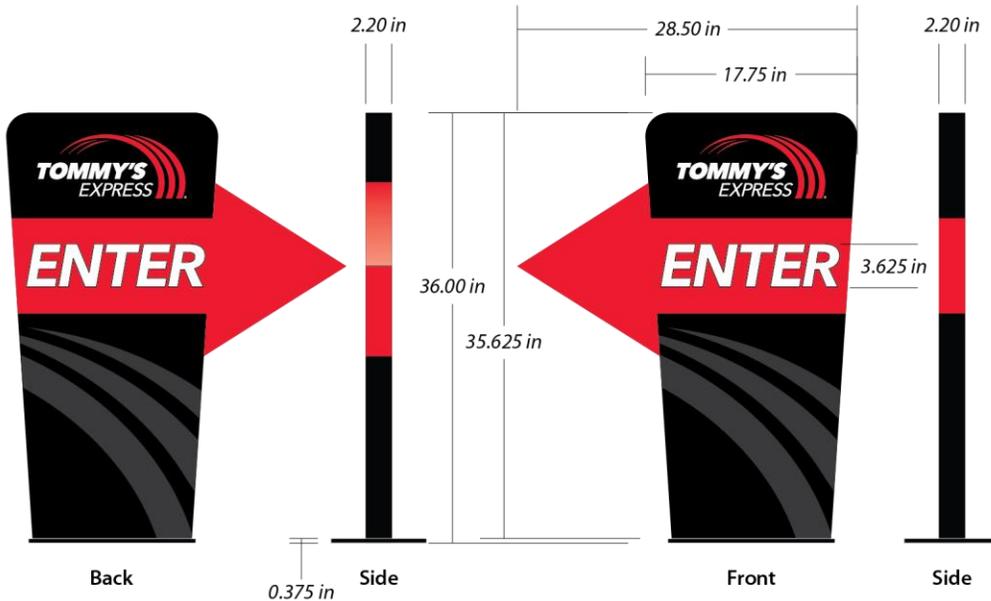
REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 Illinois
 105

0.11 in (R) 0.20 in
Register mark actual size



- Perfect Match Red Scotchcal (#7725-263)
- White Scotchcal (#7725-10)
- Digital print on Opaque white w/ Gloss overlaminate (note: digitally printed Black outline)
- Paint MAP MP80141 Red (Gloss)
- Paint MAP Black (Gloss)
- Dark Gray Scotchcal (#7725-41)



DIRECTIONAL SIGN

ITEM	CABINET STRUCTURE
1	2" X 2" X .125" ALUM. TUBE
2	.100" ROUTED ALUM. RIBS (4x - REQ.)
3	.100" ROUTED ALUM. FACES
4	.063" ROLLED ALUM. SIDEWALL SECTION
5	8" X 14" X .375" ALUM. MATCH PLATES 2x - REQUIRED
	4x - .50" Ø HOLES
6	.375" Ø X 1.25" GALV STEEL NUTS/BOLTS
7	2" x 3" x .125" x 32" LONG ALUM. STUB WELD TO BOTTOM MATCH PLATE

PAINT COLORS	
	MAP BLACK (GLOSS)
	MAP MP80141 RED (GLOSS)
VINYL COLORS	
	DARK GRAY SCOTCHCAL (#7725-41)
	PERFECT MATCH RED SCOTCHCAL (#7725-263)
	WHITE SCOTCHCAL (#7725-10)

INSTALLATION	
8	12" DIA. x 36" D CONCRETE FOOTING

SIGN CODE:	DIR-EN-36P
SCALE:	3/4" = 1'
DATE:	11.30.21B

QUANTITY:	1
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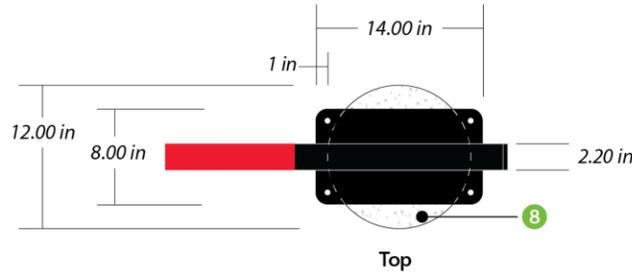
CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

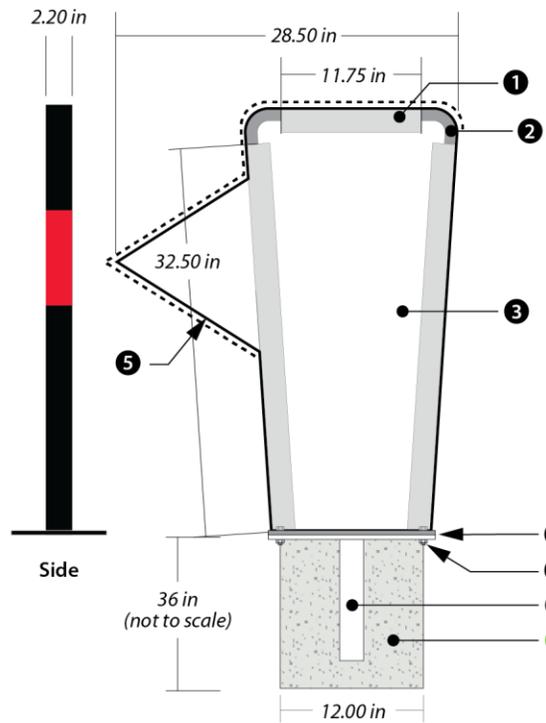
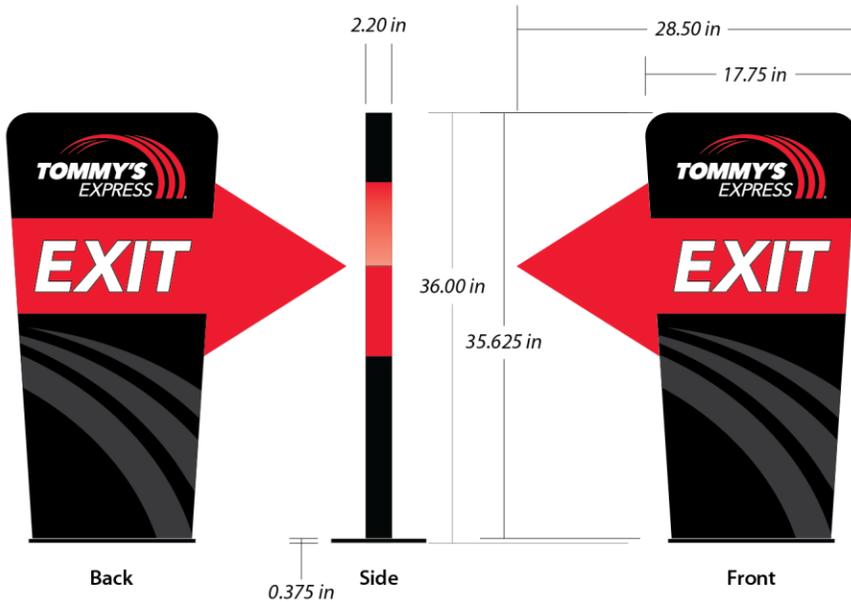
REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
Huntley,
Illinois
106

0.11 in (R) 0.20 in
Register mark actual size



- Perfect Match Red Scotchcal (#7725-263)
- White Scotchcal (#7725-10)
- Digital print on Opaque white w/ Gloss overlamine (note: digitally printed Black outline)
- Paint MAP MP80141 Red (Gloss)
- Paint MAP Black (Gloss)
- Dark Gray Scotchcal (#7725-41)



DIRECTIONAL SIGN

ITEM	CABINET STRUCTURE
1	2" X 2" X .125" ALUM. TUBE
2	.100" ROUTED ALUM. RIBS (4x - REQ.)
3	.100" ROUTED ALUM. FACES
4	.063" ROLLED ALUM. SIDEWALL SECTION
5	8" X 14" X .375" ALUM. MATCH PLATES 2x - REQUIRED
	4x - .50" Ø HOLES
6	.375" Ø X 1.25" GALV STEEL NUTS/BOLTS
7	2" x 3" x .125" x 32" LONG ALUM. STUB WELD TO BOTTOM MATCH PLATE

PAINT COLORS	
	MAP BLACK (GLOSS)
	MAP MP80141 RED (GLOSS)
VINYL COLORS	
	DARK GRAY SCOTCHCAL (#7725-41)
	PERFECT MATCH RED SCOTCHCAL (#7725-263)
	WHITE SCOTCHCAL (#7725-10)

INSTALLATION	
8	12" DIA. x 36" D CONCRETE FOOTING

SIGN CODE:	DIR-EX-36P
SCALE:	3/4" = 1'
DATE:	11.30.21B

QUANTITY:	1
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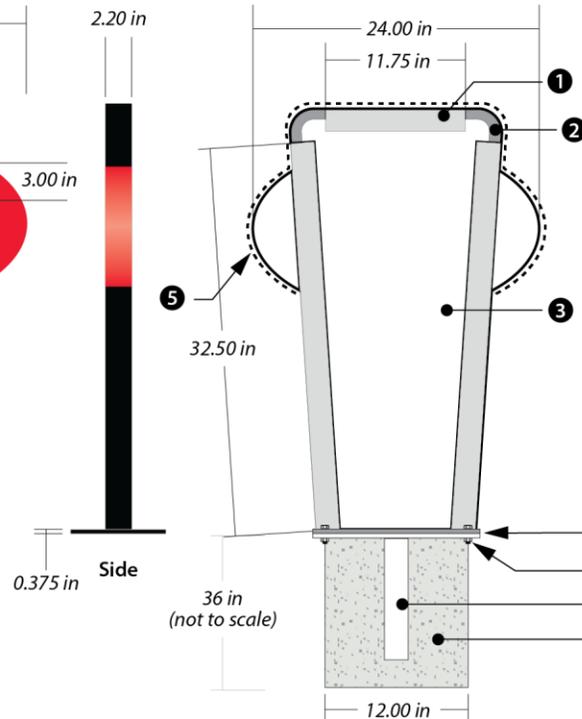
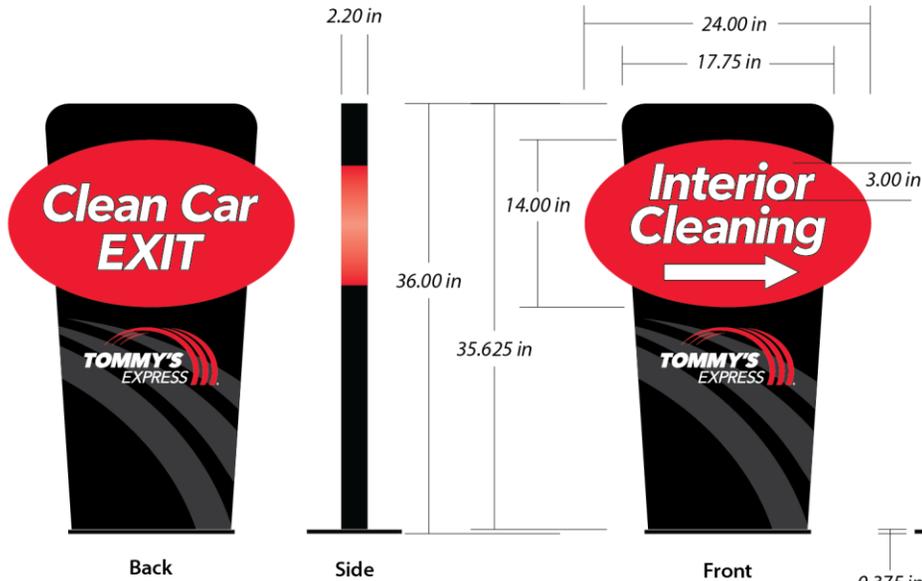
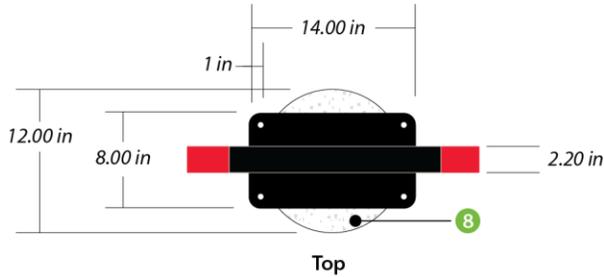
CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
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February 18th, 2022	
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REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
Huntley,
Illinois
107

0.11 in (R) 0.20 in
Register mark actual size



DIRECTIONAL SIGN	
ITEM	CABINET STRUCTURE
1	2" X 2" X .125" ALUM. TUBE
2	.100" ROUTED ALUM. RIBS (4x - REQ.)
3	.100" ROUTED ALUM. FACES
4	.063" ROLLED ALUM. SIDEWALL SECTION
5	8" X 14" X .375" ALUM. MATCH PLATES
	2x - REQUIRED
	4x - .50"Ø HOLES
6	.375"Ø X 1.25" GALV STEEL NUTS/BOLTS
7	2" x 3" x .125" x 32" LONG ALUM. STUB
	WELD TO BOTTOM MATCH PLATE
PAINT COLORS	
	MAP BLACK (GLOSS)
	MAP MP80141 RED (GLOSS)
VINYL COLORS	
	DARK GRAY SCOTCHCAL (#7725-41)
	PERFECT MATCH RED SCOTCHCAL (#7725-263)
	WHITE SCOTCHCAL (#7725-10)
INSTALLATION	
8	12"DIA. x 36"D CONCRETE FOOTING

SIGN CODE:	DIR-CCEIC-36P
SCALE:	3/4" = 1'
DATE:	11.30.21B
QUANTITY:	1



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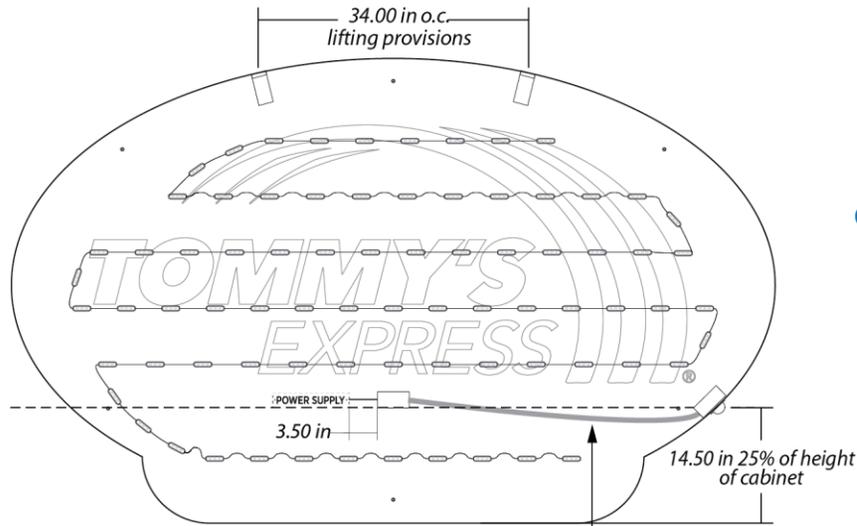
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REVISIONS	INITIALS & DATE
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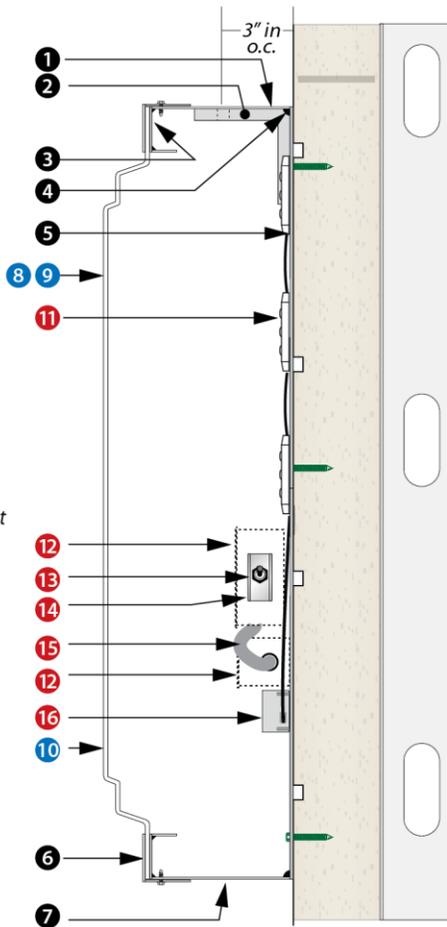
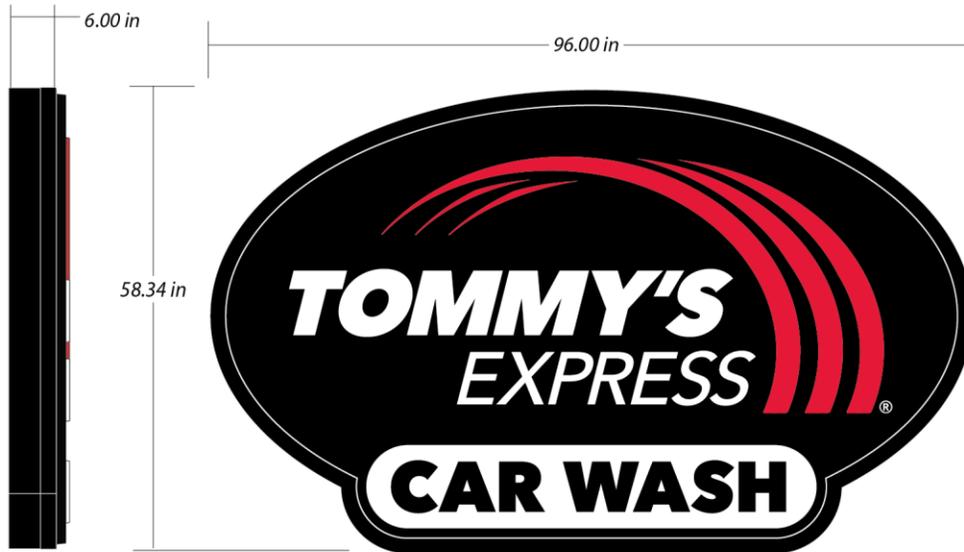
REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
Huntley,
Illinois
108



Load: 92.4%
 Modules: 77 White WoW
 Watts: 55.4 of 60.0
 PS: 60 watt
 21 Perim. ft.

15 *Mechanically fasten inside cabinet



Side View (not to scale)



Face Details

- .50" emboss, back paint Grip Flex White
- .50" emboss, back paint Grip Flex to match PMS 186
- Not embossed, paint Grip Flex White
- 2.5" Flange, 57.84" x 95.5" trim, 54.34" x 92" v.o.
- .50" emboss (oval only), back paint Grip Flex White
- Back paint Grip Flex Black (Not Embossed)

CUSTOM WALL SIGN

ITEM	RETAINER / CABINET STRUCTURE
1	6" - .080" SIDEWALLS
2	4" x 4" x .50" x 1.875" ALUM. ANGLE
	.625"-11 TAP, WELD TO BACK, 34" O.C.
3	2" - .100" ROUTED ALUM. FLANGE
4	WELDED CONSTRUCTION
5	.100" ALUM. BACK / SUPPORTS-GUSSETS
6	.100" - 2" X 2" RETAINER
7	WEEP HOLES

CABINET / RETAINER PAINT COLORS

MAP BLACK (GLOSS)

ITEM	FACE
8	.177" CLEAR POLY. / 1-1/4" D - 1/2" EMBOSS.
9	SUBSURFACE PAINT
10	REGISTER MARK NOT EMBOSSED

FACE PAINT COLORS

- GRIP FLEX BLACK
- GRIP FLEX TO MATCH PMS 186
- GRIP FLEX WHITE

ELECTRICAL: 120v

11	LED: G2G WHITE WOW
12	ELECT. BOX (PART #EL-BOX-45SLEK) 2X REQ.
13	20A TOGGLE SWITCH (EL-SW-SW20)
14	LOCKING PLATE (EL-SW-LOCKING PLATE)
15	MC CABLE* (EL-COND-AL-.375FLX)
16	POWER SUPPLY: 1X 60W (ALLANSON) ELECTRICAL BOX W/LOCKING SWITCH REQ. BY ELECTRICIAN ON INTERIOR WALL

INSTALLATION

SIGN CODE: WS39-CW

SCALE: 1/2" = 1'

DATE: 08.08.19H

QUANTITY: 2



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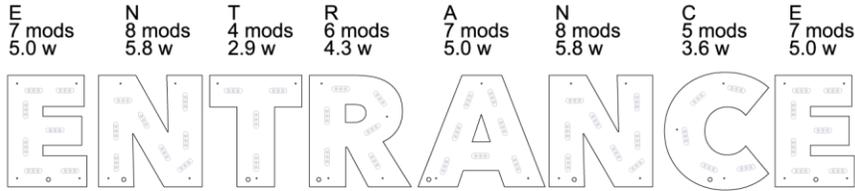
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Tommy's Express Car Wash	
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INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
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REVISIONS CONT.	INITIALS & DATE
G --	
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K --	
L --	

SITE#
P3073
 Huntley,
 Illinois
 109

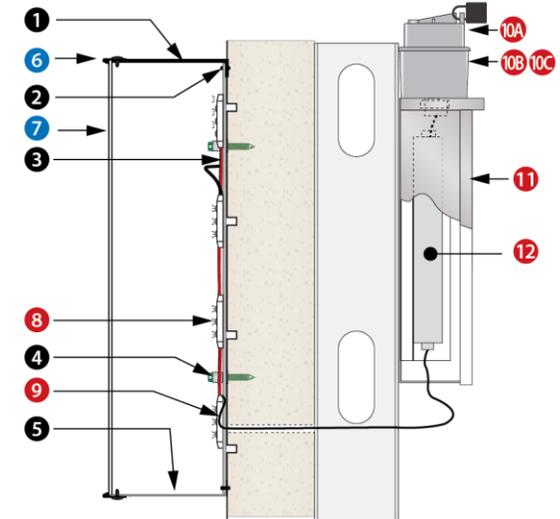


Load: 62.4%
 Modules: 52 White G2G WOW
 Watts: 37.4 of 60.0
 PS: 60watt
 Perim ft: 44.325



JEWELITE CHANNEL LETTERS	
ITEM	CABINET STRUCTURE
1	5" - .040" PREPAINTED BLACK SIDEWALLS
2	STAPLED CONSTRUCTION
3	3mm ACM PANEL
4	.25-20 INSERT W/FASTENER
5	WEEP HOLES
ITEM	FACE / RETAINER
6	1" BLACK JEWELITE / BLACK JEWELITE SCREW
7	.125" WHITE PLEX FACE (7328)
ITEM	ELECTRICAL: 120V
8	G2G WHITE WOW LED (52)
9	SLEEVED LED CABLE
10A	LOCKING COVER (EL-COVER-PTC100GY)
10B	ELECTRICAL BOX (EL-BOX-IH3-ILM)
10C	120V/20A SWITCH (EL-SW-CS120-2)
11	POWER SUPPLY BOX
12	POWER SUPPLY (1X - 60W REQ.) ALLANSON ELECTRICAL BOX W/LOCKING SWITCH REQ. BY ELECTRICIAN ON INTERIOR WALL
INSTALLATION	

SIGN CODE:	WL11-E
SCALE:	3/8" = 1'
DATE:	05.22.19B
QUANTITY:	1



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 Ph 616.784.5711 | Fx 616.784.8280
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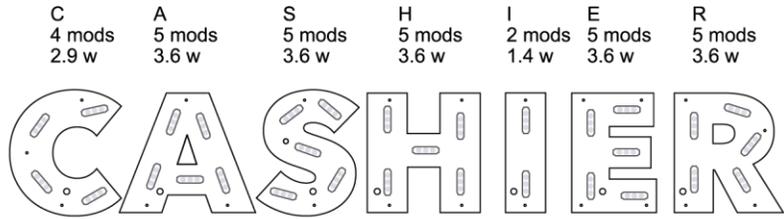
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CUSTOMER INFO	
Tommy's Express Car Wash	
ACCOUNT	
12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 Illinois
 110

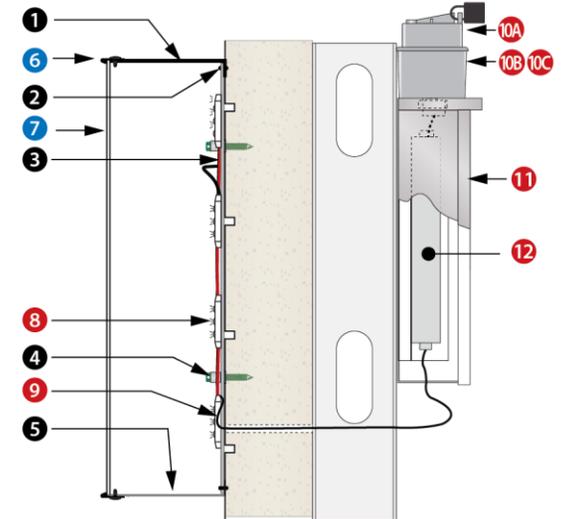


Load: 37.2%
 Modules: 31 White G2G WOW
 Watts: 22.3 of 60.0
 PS: Universal 60watt
 Perim ft: 26.56



JEWELITE CHANNEL LETTERS	
ITEM	CABINET STRUCTURE
1	5" - .040" PREPAINTED BLACK SIDEWALLS
2	STAPLED CONSTRUCTION
3	3mm ACM PANEL
4	.25-20 INSERT W/FASTENER
5	WEEP HOLES
ITEM	FACE / RETAINER
6	1" BLACK JEWELITE / BLACK JEWELITE SCREW
7	.125" WHITE PLEX FACE (7328)
ITEM	ELECTRICAL: 120V
8	G2G WHITE WOW LED (31)
9	SLEEVED LED CABLE
10A	LOCKING COVER (EL-COVER-PTC100GY)
10B	ELECTRICAL BOX (EL-BOX-IH3-ILM)
10C	120V/20A SWITCH (EL-SW-CS120-2)
11	POWER SUPPLY BOX
12	POWER SUPPLY (1X - 60W REQ.) ALLANSON ELECTRICAL BOX W/LOCKING SWITCH REQ. BY ELECTRICIAN ON INTERIOR WALL
INSTALLATION	

SIGN CODE:	WL5-C
SCALE:	3/4" = 1'
DATE:	05.22.19B
QUANTITY:	1



5009 West River Drive
 Comstock Park, MI 49321
 Ph 616.784.5711 | Fx 616.784.8280
www.valleycitysign.com

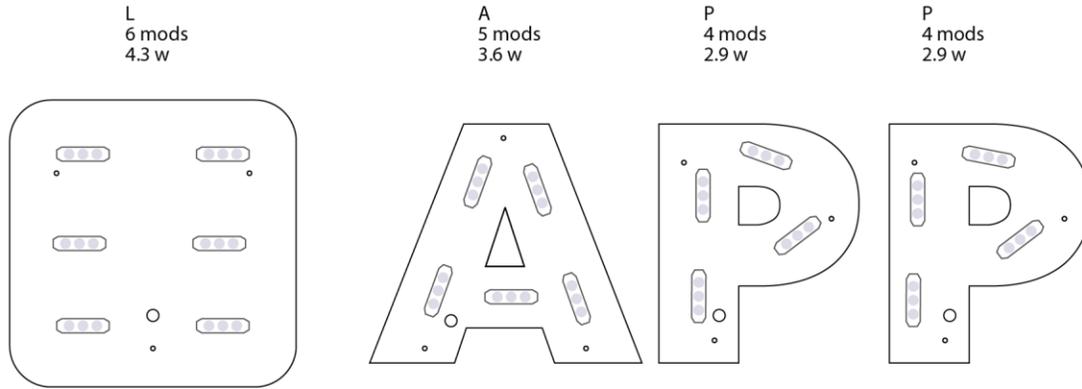
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CUSTOMER INFO	
Tommy's Express Car Wash	
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12440 Route 47	
ADDRESS	
February 18th, 2022	
INITIAL PROPOSAL DATE	

REVISIONS	INITIALS & DATE
A Updated brick on monument	JV 2/21/22
B --	
C --	
D --	
E --	
F --	

REVISIONS CONT.	INITIALS & DATE
G --	
H --	
I --	
J --	
K --	
L --	

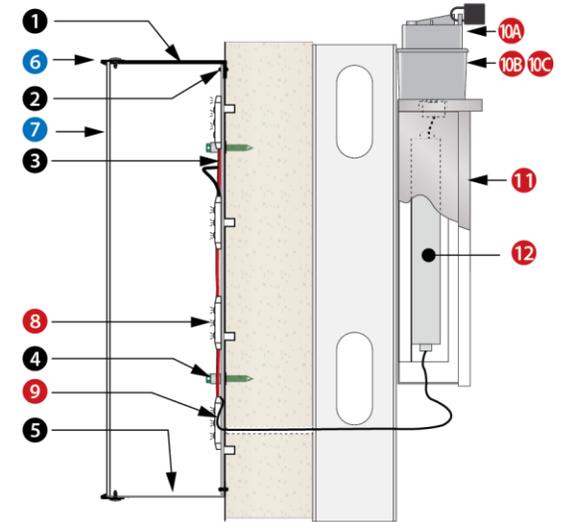
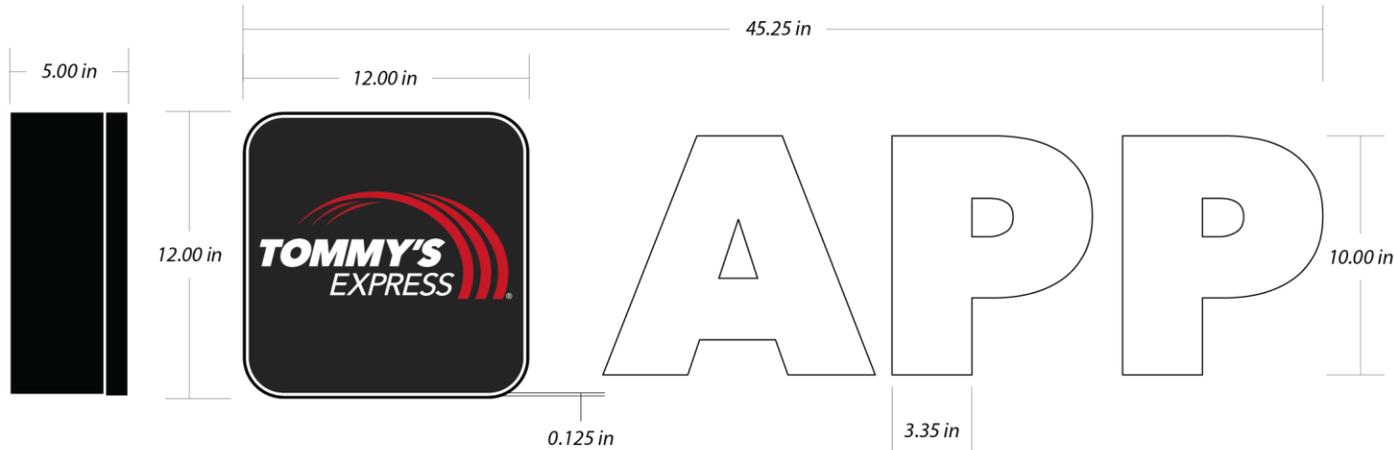
SITE#
P3073
 Huntley,
 Illinois
 111



19 Modules: G2G WOW 7500K
 19 Total Modules
 13.7 Watts
 1 Power Supply: 60W
 2.334 sq ft
 14.18 perim ft

SIGN CODE:	WL4-APP
SCALE:	1-1/2" = 1'
DATE:	6.18.20D
QUANTITY:	1

JEWELITE CHANNEL LETTERS	
CABINET STRUCTURE	
ITEM 1	5" - .040" PREPAINTED BLACK SIDEWALLS
ITEM 2	STAPLED CONSTRUCTION
ITEM 3	3mm ACM PANEL
ITEM 4	.25-20 INSERT W/FASTENER
ITEM 5	WEEP HOLES
FACE / RETAINER	
ITEM 6	1" BLACK JEWELITE / BLACK JEWELITE SCREW
ITEM 7	.125" WHITE PLEX FACE (7328)
VINYL COLORS	
MATTE BLACK SCOTCHCAL (#7725-22)	
DARK RED SCOTCHCAL (#3630-73)	
ELECTRICAL: 120V	
ITEM 8	G2G WHITE WOW LED (19)
ITEM 9	SLEEVED LED CABLE
ITEM 10A	LOCKING COVER (EL-COVER-PTC100GY)
ITEM 10B	ELECTRICAL BOX (EL-BOX-IH3-ILM)
ITEM 10C	120V/20A SWITCH (EL-SW-CS120-2)
ITEM 11	POWER SUPPLY BOX
ITEM 12	POWER SUPPLY (1X - 60W REQ.) ALLANSON ELECTRICAL BOX W/LOCKING SWITCH REQ. BY ELECTRICIAN ON INTERIOR WALL
INSTALLATION	



5009 West River Drive
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G --	
H --	
I --	
J --	
K --	
L --	

SITE#
P3073
 Huntley,
 Illinois
 112



View of south [side] elevation as would be viewed from northbound Route 47



View of west [front] elevation as would be viewed from Route 47



View of north [side] elevation as would be viewed from Regency Parkway



View of east [rear] elevation as would be viewed from private drive entrance

**AN ORDINANCE APPROVING A FINAL PLANNED UNIT DEVELOPMENT
AND A SPECIAL USE PERMIT FOR A CAR WASH ON LOT 8, HUNTLEY CROSSINGS – PHASE II PLAT II
WITHIN THE “B-3 (PUD)” – SHOPPING CENTER BUSINESS DISTRICT**

Christianson Companies, Petitioner and RUBY-02-HNTLYCMRCL, LLC, Owner

Ordinance (O)2022-03.##

WHEREAS, the Village of Huntley is a home rule unit of local government under the Illinois Constitution, 1970, Article VII, Section 6; and

WHEREAS, Christianson Companies, Petitioner and RUBY-02-HNTLYCMRCL, LLC, Owner have requested approval of a Final Planned Unit Development for Lot 8 of Huntley Crossings – Phase II Plat II (PIN 02-04-151-002) to allow for a Tommy’s Car Wash; and

WHEREAS, the ±1.43-acre parcel is located one lot south of Regency Parkway and is zoned “B-3 (PUD) – Shopping Center Business District; and

WHEREAS, a Car Wash requires a Special Use Permit in the “B-3” District; and

WHEREAS, Christianson Companies submitted a proposal for development which includes the construction of a new 4,551 square-foot Tommy’s Express Car Wash; and

WHEREAS, as proposed, the submitted plans will require the following relief to be approved as part of the Final Planned Unit Development:

1. Section 156.123(D) of the Zoning Ordinance, allows one wall sign per street frontage. Section 156.123(C) requires the location of the sign be limited to the street frontage of the building. Section 156.123(A) states the total surface area of all wall signs on a building shall not exceed one (1) square foot for each lineal foot of the building frontage. The site only has frontage on Route 47 and the building’s frontage measures ±50.63-feet, therefore allowing one wall sign measuring up to 50.63 square feet. Relief is required to allow a total of two (2) wall signs totaling ±77.78 square feet, with the second wall sign installed upon the rear elevation.
2. Section 156.121(A) of the Zoning Ordinance prohibit the installation of flashing signs and devices used to attract attention. Relief is required to allow a changeable electronic message board as a component of the monument sign.

WHEREAS, the Plan Commission conducted a public hearing for the request on Monday, March 14, 2022, and with no members of the public offering testimony in opposition or in favor of the request, and after having considered Standards for Special Use Permits, the Plan Commission unanimously recommended approval of the request by a vote of 5 to 0, subject to the following conditions:

1. All public improvements and site development must occur in full compliance with the submitted plans and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.

2. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
3. The lighting fixture shall be selected to match that of the neighboring development and the photometric plans shall be resubmitted and approved by the Development Services Department.
4. The monument sign shall be revised to show brick surrounding the sign face and utilize a decorative stone cap. Sign plans shall be resubmitted and approved by the Development Services Department.
5. The directional signs shall be revised to provide a brick base.
6. The electronic message board sign shall contain static messages only and shall not have movement or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing, scintillating or varying of light intensity other than that provided through an automatic dimming system to control overall illumination intensity. Each message on the sign shall be displayed for a minimum of 10 seconds. The change of messages must be accomplished immediately.
7. No building plans, permits, sign permits, or Certificates of Occupancy are approved as part of this submittal.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HUNTLEY as follows:

SECTION I: Pursuant to the Village's Zoning Code and Subdivision Regulations (including the specific provisions set forth below), home rule powers, and other applicable authority, the Requested Relief and Approvals are hereby granted as follows to permit the Proposed Development on the Property consistent with the Plans, and subject to the conditions and limitations set forth in Section II of this Ordinance:

- (a) Pursuant to Sections 156.039(B)(2) and 156.068 of the Zoning Code, a special use permit for a car wash for an approximately 4,551 square-foot building on the Property;
- (b) Pursuant to Section 156.070(E)(3) of the Zoning Code, final PUD approval for the Proposed Development on the Property consistent with the Plans and the terms and conditions of this Ordinance;
- (c) Pursuant to Section 156.123(D), Section 156.123(C), and Section 156.123(A) of the Zoning Code, Relief is required to allow a total of two (2) wall signs totaling ± 77.78 square feet, with the second wall sign installed upon the rear elevation.
- (d) Pursuant to Section 156.121(A) of the Zoning Code, Relief is required to allow a changeable electronic message board as a component of the monument sign.
- (e) Pursuant to Section 156.070(D)(1) of the Zoning Code, approval of the Requested PUD Standards as alternate standards for the development and design of the Proposed Development, which Requested PUD Standards shall apply to the

Proposed Development on the Property in lieu of the general regulations set forth elsewhere in the Zoning Code.

SECTION II: The approvals granted by this Ordinance shall be, and are hereby, subject to and limited by the following conditions, the violation of any of which shall be deemed violations of both this Ordinance and the Zoning Code:

- (a) Compliance with Plans. The Proposed Development and all improvements on the Property shall be constructed, located, installed, and maintained in substantial conformity with the Plans.
- (b) Compliance with Laws. Except as otherwise expressly provided in this Ordinance the Village's Zoning Code, Subdivision Regulations, and all other applicable ordinances and regulations shall continue to apply to the Proposed Development and the Property, and the development and use of the Property shall comply with all applicable laws, regulations, and ordinances of all federal, state, and local governments and agencies having jurisdiction.
- (c) Binding Effect/Successors and Assigns. The rights and obligations set forth in this Ordinance shall run with the land and be binding on Petitioner and any and all of their successors and assigns to all or any portion of the Property.
- (d) Public improvements and site development. All public improvements and site development must occur in full compliance with the submitted plans and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
- (e) The Petitioner is required to meet all development requirements of the Huntley Fire Protection District.
- (f) The lighting fixture shall be selected to match that of the neighboring development and the photometric plans shall be resubmitted and approved by the Development Services Department.
- (g) The monument sign shall be revised to show brick surrounding the sign face and utilize a decorative stone cap. Sign plans shall be resubmitted and approved by the Development Services Department.
- (h) The directional signs shall be revised to provide a brick base.
- (i) The electronic message board sign shall contain static messages only and shall not have movement or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing, scintillating or varying of light intensity other than that provided through an automatic dimming system to control overall illumination intensity. Each message

on the sign shall be displayed for a minimum of 10 seconds. The change of messages must be accomplished immediately.

- (j) No building plans, permits, sign permits, or Certificates of Occupancy are approved as part of this submittal.

SECTION III: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

SECTION IV: All ordinances and parts of ordinances in conflict herewith are hereby repealed.

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Goldman	_____	_____	_____	_____
Trustee Holzkopf	_____	_____	_____	_____
Trustee Kanakaris	_____	_____	_____	_____
Trustee Kittel	_____	_____	_____	_____
Trustee Leopold	_____	_____	_____	_____
Trustee Westberg	_____	_____	_____	_____

PASSED and APPROVED this 24th day of March, 2022.

APPROVED:

Timothy J. Hoeft, Village President

ATTEST:

Rita McMahon, Village Clerk



Agenda Item: Policy Direction – Proposed Text Amendments to the Village of Huntley Zoning Ordinance to Address Box Signs, Residential Signs, and Temporary Signs

Department: Development Services – Planning and Zoning Division

INTRODUCTION

At the direction of the Village Board, staff has drafted proposed amendments to the sign regulations found within the Village’s Zoning Ordinance. Most notably, the proposed amendments would (i) prohibit the installation of new box signs; and (ii) add new limitations on residential and non-residential signage, specifically related to flags.

STAFF ANALYSIS

The proposed changes to the signs regulations would accomplish the following:

- Box signs:
 - Add a definition of “box sign”.
 - Prohibit wall-mounted box signs. Existing box signs would become legal non-conforming and be allowed to continue in compliance with Sections 156.126 and 156.127. Certain triggers such as replacement, structural changes, or abandonment would result in the existing box signs removal and replacement with a supported alternative.
- Flags and Signs:
 - Add restrictions for flags on residential and non-residential properties, including requiring flags to be attached to a flagpole and limiting their number.
- Temporary signs:
 - Clarify that the Village Board’s approval of special community event signs/banners that vary from the standards listed in Section 156.120(E)(4) do not require public hearing or notice other than publication of the meeting agenda that includes consideration of such request.

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies “*Healthy, Safe and Attractive Community*” as a strategic focus and the following goal: “*An Attractive Community.*” The text amendments are intended to improve the existing signs regulations to further the goal of creating an attractive community.

FINANCIAL IMPACT

None.

LEGAL ANALYSIS

The sign regulations are part of the Zoning Ordinance, Chapter 156 of the Village Code. The procedure for any amendments to Chapter 156 includes preliminary consideration by the Village Board and referral to the Plan Commission. Upon referral, the Plan Commission shall hold a public hearing to consider the amendments. Following the public hearing, the Plan Commission shall forward a recommendation to the Village Board for final approval.

ACTION REQUESTED

The Village Board is requested to review the draft amendments and refer the amendments to the Plan Commission to conduct a public hearing.

SUPPORTING DOCUMENTS

1. Draft Amendments to Zoning Code, Article XIII - Sign Regulations

ARTICLE XIII
SIGN REGULATIONS
Draft Amendments for March 24, 2022 Board Meeting

§ 156.111 DEFINITIONS

Unless otherwise stated, the following words or terms shall, for the purpose of this article, have their meanings indicated as follows:

* * *

BOX SIGN. **An internally illuminated sign having a square, rectangular, or similar frame to which one or more translucent sign face panels is attached. A box sign does not include a sign with an opaque sign face background, such that light is not transmissible through any portion of the sign other than the sign message.**

* * *

§ 156.119 SIGNS PERMITTED WITHOUT A SIGN PERMIT

The provisions of this article shall not apply to the following signs, provided, however, said signs shall be subject to the provisions of § 156.118 **and § 156.121**, and no sign or advertising device can be placed off-site or in any right-of-way without documented permission from the Village Board.

* * *

(B) ~~Flags of any government or governmental agency, or any patriotic, religious, charitable, civic, educational or fraternal organization.~~ **A flag shall be attached by one of its edges to a flagpole that is securely mounted on a building or permanently affixed to the ground, subject to the following provisions:**

(1) On non-residential property:

(a) A ground-mounted flagpole may not exceed 45 feet in height, and a building mounted flagpole project above the wall to which it is attached. Not more than three (3) ground-mounted flagpoles shall be permitted on a non-residential lot.

(2) On residential property:

(a) A ground-mounted flagpole may not exceed 30 feet in height, and a building mounted flagpole may not be greater than 8 feet in length or project above the wall to which it is attached. Not more than one ground-mounted flagpole shall be permitted on a residential lot.

* * *

§ 156.120 SPECIAL EXCEPTION SIGNS

The following signs shall be allowed, but only after issuance of a sign permit. All such signs shall be constructed and maintained in accordance with the provisions set forth below and with all other applicable provisions of this Article.

* * *

(E) *Temporary Signs.* The display of temporary signs, including banners, shall be permitted only under the following conditions and subject to the following limitations:

* * *

(4) *Special Events and Promotions.* Temporary signage shall be permitted for special events, sales, promotions, civic and community events. Such signs shall be subject to the following limitations; **provided, however, that the Village Board may grant variations from such limitations without public hearing or notice (other than publication of the meeting agenda in accordance with applicable law) upon request and good cause shown by the permit applicant:**

* * *

§ 156.121 PROHIBITED SIGNS

It shall be unlawful for any person to install or maintain any signs, poster, advertisement, or notice when it is:

(A) Fluttering, undulating, swinging, rotating, moving and/or flashing sign, except time and temperature signs, and festoon lighting, **and flags or banners that comply with all applicable requirements of this chapter.** This **prohibition** includes spot lights ~~and~~ other light producing devices used to attract attention.

* * *

(K) Flags **except as allowed by § 156.119.** ~~that do not represent a government or governmental agency, or any patriotic, religious, charitable, civic, educational or fraternal organization shall not be displayed on any property that is zoned other than single family use.~~

* * *

(P) No sign shall be allowed **on any residential property except** ~~in any zoning district representing residential use except for special exemption signs as outlined in as permitted under § 156.119 or § 156.120 and site specific signs for residential subdivisions as approved through Village Board actions.~~

* * *

(R) Wall-mounted box signs are prohibited.



Agenda Item: Consideration – A Resolution Approving and Accepting Assignment of a Property Purchase and Sale Agreement for 11011 Woodstock Street

Department: Village Manager’s Office

INTRODUCTION

The Purchase and Sale Agreement (PSA) approved by the Village Board on March 10, 2022 between the Village and Billitteri Enterprises, LLC regarding acquisition and redevelopment of the fire station property at 11808 Coral Street includes a requirement for the developer to purchase the property to the east at 11011 Woodstock Street to be incorporated into a new Woodstock Street parking lot constructed by the Village. The PSA provides the option to assign the contract to the Village if so requested by the Village. Also on March 10th, the Village Board authorized staff to seek bids for infrastructure improvements related to the Woodstock Street Parking Lot and additional on-street parking. The Village has requested the assignment to facilitate the property acquisition process and construction of the parking lot.

STAFF ANALYSIS

Billitteri Enterprises, LLC (“Assignor”) has entered into a Real Estate Purchase Agreement dated December 17, 2021 (“Agreement”) pursuant to which Assignor has agreed to purchase the real property located at 11011 Woodstock Street, Huntley, Illinois (P.I.N. 18-28-376-098) (the “Property”) for a purchase price of \$260,000.00, subject to the terms and conditions of the Agreement. Assignor has offered to assign all of its rights, title, and interest in the Agreement to the Village subject to the terms of an assignment agreement (“Assignment Agreement”).

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies “*Strong Local Economy*” as a strategic focus and the following goals: “*Location of Choice for Residents,*” “*Location of Choice for New and Expanding Businesses of all Sizes,*” and “*A Vibrant Downtown Gathering Place.*”

FINANCIAL IMPACT

Acquisition cost for the Woodstock Street property is \$260,000. The cost is included as part of the Woodstock Street Parking Lot project cost included in the FY22 Budget in the Downtown TIF Fund, 440-00-00-8007.

LEGAL ANALYSIS

The Village Attorney has reviewed the agreement and prepared the resolution for Village Board consideration.

ACTION REQUESTED

A motion of the Village Board is requested for a Resolution Approving and Accepting Assignment of a Property Purchase and Sale Agreement for 11011 Woodstock Street.

SUPPORTING DOCUMENTS

1. Draft Resolution

**A RESOLUTION APPROVING AND ACCEPTING ASSIGNMENT OF A PROPERTY
PURCHASE AND SALE AGREEMENT FOR 11011 WOODSTOCK STREET, HUNTLEY**

Resolution (R)2022-03.xx

WHEREAS, the Village of Huntley, Illinois (“*Village*”) is a home rule unit of local government pursuant to the provisions of Section 6, Article VII of the 1970 Constitution of the State of Illinois; and

WHEREAS, Billitteri Enterprises, LLC (“*Assignor*”) has entered into a Real Estate Purchase Agreement dated December 17, 2021 (“*Agreement*”) pursuant to which Assignor has agreed to purchase the real property located at 11011 Woodstock Street, Huntley, Illinois (P.I.N. 18-28-376-098) (the “*Property*”) for a purchase price of \$260,000.00, subject to the terms and conditions of the Agreement; and

WHEREAS, the Village is the contract purchaser of certain adjacent real property located at 11808 Coral Street, Huntley, Illinois [P.I.N. 18-28-376-043] (the “*Adjacent Property*”); and

WHEREAS, the Village desires to acquire the Property in order to consolidate it with a portion of the Adjacent Property for development of a public parking lot and related facilities; and

WHEREAS, the Property is located in the Village’s Downtown TIF District, and development of the proposed public parking facilities is consistent with, and in furtherance of, the TIF Redevelopment Plan previously approved for the Downtown TIF District; and

WHEREAS, Assignor has offered to assign all of its rights, title, and interest in the Agreement to the Village subject to the terms of an assignment agreement (“*Assignment Agreement*”), a copy of which has been presented to the Village Board for review in executive session consistent with Section 2(c)(5) of the Open Meetings Act, 5 ILCS 120/2(c)(5), but is not being publicly disseminated until the closing on the Property purchase is completed, consistent with Section 7(1)(r) of the Freedom of Information Act, 5 ILCS 140/7(1)(r); and

WHEREAS, the Mayor and Village Board of Trustees, having reviewed and considered the Agreement and the Assignment Agreement, find and determine that approving, accepting, and executing the Assignment Agreement is in the best interests of the Village and its residents and will further the goals and objectives of the TIF Plan;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HUNTLEY, MCHENRY AND KANE COUNTIES, ILLINOIS, AS FOLLOWS:

SECTION I: The foregoing recitals are hereby incorporated into this Resolution as if fully set forth herein.

SECTION II: The Village Board hereby accepts the assignment of all of Assignor’s rights, title, and interest in the Agreement and approves the Assignment Agreement in substantially the form presented to the Village Board, and in a final form to be approved by the Village Manager in consultation with the Village Attorney. The Village President is hereby authorized and directed to execute the Assignment Agreement in its final form on behalf of the Village.

SECTION III: Following execution in full of the Assignment Agreement, the Village Manager, Village Attorney, and any other officers, employees, or consultants of the Village as the Village Manager determines to be necessary or appropriate, are hereby authorized and directed to do, or cause to be done, all things necessary to effect the closing of the Village’s purchase of the Property pursuant to the Agreement and the Assignment Agreement.

SECTION IV: This Resolution shall be in full force and effect upon its passage and approval as provided by law.

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Goldman	_____	_____	_____	_____
Trustee Holzkopf	_____	_____	_____	_____
Trustee Kanakaris	_____	_____	_____	_____
Trustee Kittel	_____	_____	_____	_____
Trustee Leopold	_____	_____	_____	_____
Trustee Westberg	_____	_____	_____	_____

PASSED and APPROVED this 24th day of March 2022.

APPROVED:

 Timothy J. Hoeft, Village President

ATTEST:

 Rita McMahan, Village Clerk



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Agenda Item: **Consideration - Resolution Waiving the Formal Bidding Process and Approve the Purchase of two Ford F-350 Pickup Trucks from Huntley Ford in the amount of \$94,410.00**

Department: **Public Works and Engineering – Streets & Underground and Fleet Division**

INTRODUCTION

The FY22 budget includes funding for the purchase of two Ford F-350 pickup trucks with plows and accessories. These vehicles will replace vehicles 1614, a 2007 Ford F-250 pickup truck and 1616, a 2008 Ford F-150 pickup truck that have reached the end of useful life. A resolution declaring the trucks as surplus property and granting approval of the sale and/or disposal is included as a separate agenda item for consideration.

STAFF ANALYSIS

Vehicle 1614 is a 2007 Ford F-250 with approximately 80,000 miles used by the Streets & Underground Division. This vehicle shows signs of significant interior damage, due to the severe every day work conditions in the Streets Division. The bed itself has significant damage from every day use. This vehicle had a 2021 evaluation score of 24 (poor condition) with a recommendation of priority replacement. Vehicle 1616 is a 2008 Ford F-150 with approximately 151,000 miles used by the Fleet Division. This vehicle was rolled down from the Utilities Superintendent in 2019. This vehicle has significant rust on the exterior and more importantly on the frame of the truck. The interior is showing excessive wear. This vehicle had a 2021 evaluation score of 19 (Fair condition) with a recommendation for replacement.

The two new pickup trucks will be assigned to the Streets & Underground Division. Vehicle 1617, a Ford F-250 currently used in the Streets & Underground Division will be rolled down to Fleet Services to replace Vehicle 1616.

Staff has been informed that the joint cooperative purchasing contract for Ford Super Duty vehicles expired in the fall of 2021. It is not certain when a new joint purchasing contract will become available. Staff has received a proposal in the amount of \$47,205.00 each for the purchase of two 2022 Ford F-350 pickup trucks from Huntley Ford. An estimated additional \$11,880.00 for each truck will be required and processed through separate purchase orders for the plows and accessories through outside vendors and will be installed by Fleet Services. These are multi-purpose vehicles used year round by the Streets & Underground Division for snowplowing, road repairs, and underground work. Staff received a total of three quotes for the trucks and Huntley Ford was the lowest cost.

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies “*Forward Looking Community*” as a strategic focus and the following goal: “*Management of Infrastructure Assets for Today and Tomorrow.*” Fleet management is a form of asset management which seeks to optimize life-cycle costs of vehicles and equipment and achieve the lowest cost of ownership for the Village fleet.



VILLAGE OF HUNTLEY AGENDA SUMMARY

March 24, 2022
Village Board Meeting

FINANCIAL IMPACT

The FY22 Budget includes funding in the Equipment Replacement Fund, 480-50-00-8131; Water Capital Fund, 515-00-00-8133; and Wastewater Capital Fund, 525-00-00-8134. The cost to purchase the two Ford F-350's is \$94,410. An estimated additional \$23,760.00 will be requested through separate purchase orders for additional accessories bringing the total price for two trucks to approximately \$118,170.00. The total amount budgeted is \$100,000. However, overall vehicle purchases are under the total amount budgeted for FY22 as shown in the attached exhibit.

LEGAL ANALYSIS

In accordance with State Statute, a bid waiver shall be approved by a vote of two-thirds of all the trustees then holding office, thus requiring an affirmative vote of 4 trustees, with the mayor not voting.

ACTION REQUESTED

A motion by the Village Board for a Resolution Waiving the Formal Bidding Process and Approve the purchase of two Ford F-350 pickup trucks from Huntley Ford in the amount of \$94,410.00.

SUPPORTING DOCUMENTS

1. Huntley Ford Quote
2. Quote Comparison Table
3. 2022 PWE Vehicle Purchases Budget vs Actual Table
4. Draft Purchase Resolution

2022 Super Duty

F-350 XL

Have vehicle questions?



Representative exterior image shown. Actual exterior may vary. See your dealer for details.

Payment

- Base MSRP^{S1} \$41,810
- Total of Options^{S4} \$3,700
- Destination Charges^{S17} \$1,695
- Total MSRP^{S16} \$47,205
- Available Incentives^{S3} -\$0

Estimated Net Price^{S5}

\$47,205

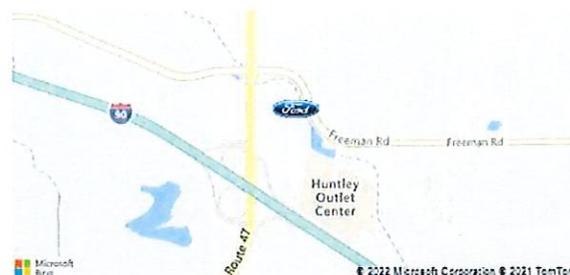
\$0^{S6} Lease based on \$4,721 down payment, month term and mileage, \$0 trade-in-value

Dealer Information

Huntley Ford
13900 Auto Mall Drive



Huntley, IL 60142



Showing the nearest Authorized Dealer for the entered zip code

Model

- 2022 Ford Super Duty F-350 XL Regular Cab, 8' Box, 6.2L 2-valve SOHC Flex Fuel V8, TorqShift® 10-speed Automatic Transmission, 3.73 Non-Limited Slip Axle Ratio, 4X4, SRW **\$41,810**

Paint^{S4}

- Race Red **\$0**
- No Secondary Color **\$0**

Powertrain^{S4}

- 6.2L 2-valve SOHC Flex Fuel V8
- 4X4
- TorqShift® 10-speed Automatic Transmission
- 3.73 Non-Limited Slip Axle Ratio

Packages^{S4}

- Power Equipment Group **\$915**
- Snow Plow / Camper Package **\$305**

Exterior^{S4}

- 17" Argent-Painted Steel Wheels with Painted Hub Cover and Center Ornament (SRW) **\$0**
- Splash Guards/Mud Flaps – Rear **\$0**
- Splash Guards/Mud Flaps – Front **\$130**
- Bedliner – Tough Bed® Spray-in **\$595**
- Wheel Well Liner – Front/Rear **\$325**
- Electronic Shift-On-The-Fly (ESOF) **\$0**
- Exterior Backup Alarm **\$150**
- Alternator – 240 Amp **\$85**
- Center High-Mounted Stop Lamp (CHMSL) **\$0**
- LT245/75Rx17E BSW A/T Tires **\$165**
- Manual Telescoping Trailer Tow Mirrors with Power Heated Glass and Integrated Clearance Lamps and Turn Signals **\$0**
- Platform Running Boards **\$370**

• Platform Running Boards \$520

Interior^{S4}

- Medium Earth Gray \$0
- Cloth Split Bench 40/20/40 Front Seats \$100
- Floor Covering – Carpet Delete \$0
- Integrated Trailer Brake Controller \$270
- 110-Volt/400-Watt AC Outlet \$175
- Upfitter Switches \$165
- AM/FM Stereo with MP3 Player \$0
- SYNC® \$0

Standard Features

Exterior Features

- Bumpers, front and rear - black painted steel with front grained molded-in-color top cover and black lower air dam
- Door Handles - black
- Grille - Black bar-style
- Headlamps - Quad Dual-Beam Halogen
- Mirrors - Manual Telescoping/Folding Trailer Tow with Manual Glass
- Tailgate - Removable w/key lock
- Tie-down hooks – pickup box
- Tow hooks – (2) front, black
- Glass – rear, solar tinted
- Window - Rear, Fixed
- Window - rear, defrost fixed and privacy glass

Interior Features

- Air Conditioning – Manual Temperature Control
 - Dash-top tray
 - Floor Covering - black vinyl
 - Carpet Delete
 - Grab handles - driver and front passenger and roof ride handles; front passenger (also over rear doors with Crew Cab)
 - Headliner – color coordinated cloth
 - Instrument Cluster - 2.3" Productivity Screen
 - Two (2) Powerpoint in instrument panel
 - 1 USB Port in Lower Center Console
 - Rear View Camera—Tailgate Mounted
 - Steering Wheel - Audio Controls
 - Steering Wheel - Black Molded Polyurethane
 - Storage - Front Arm Rest Storage (40/20/40 Seating)
 - Visors with passenger-side uncovered mirror
 - Tilt/telescoping steering wheel
 - Windshield wipers - intermittent
 - Upfitter Interface Module (fleet only)
 - FordPass™ Connect with 4G LTE Wi-Fi Hotspot
 - Ford Telematics™ (fleet only)
 - Ford Data Services™ (fleet only)
 - Operator-Commanded Regeneration with Active Inhibit (diesel engine only)
 - Audio - AM/FM Stereo, (4 Speakers regular cab, 6 speakers Super Cab and Crew Cab)
 - SYNC®
-
- Seats - Front, HD Vinyl 40/20/40 Split Bench
 - Seats - Medium Earth Gray Vinyl
 - Seats - Front, Manual Lumbar Support₁₂₉

Driver Side

- Seats - Rear, Vinyl 60/40 Fold-Up Bench Seat (SuperCab)
- Seats - Rear, 60/40 Flip-Up/Fold-Down Bench Seat (Crew Cab)

Packages

Power and Handling

- Tire Pressure Monitoring System (TPMS) - SRW/F-350 DRW Only
- Alternator - 157-amp 6.2L
- Alternator - 240-amp 7.3L
- Alternator - 175-amp 6.7L
- Axle - Twin I-beam front axle with coil spring suspension – 4x2 (F-250, F-350)
- Axle - Mono-beam front axle with coil spring suspension – 4x4 (F-250, F-350)
- Brakes – Four-wheel disc Anti-lock Brake System (ABS)
- AdvanceTrac™ with RSC® (Roll Stability Control™) and Trailer Sway Control
- Trailer Sway Control
- 29 Gallon Fuel Tank (Diesel Engine) – 142" (Regular Cab) & 148" (SuperCab 6.75ft box) Wheelbase
- 34 Gallon Fuel Tank (Diesel Engine) – 160" (SuperCab 8ft box) & 164" (Crew Cab 6.75ft box) Wheelbase
- 34 Gallon Fuel Tank (Gas Engine) NA 176" (Crew Cab 8ft box) Wheelbase
- 48 Gallon Fuel Tank (Gas Engine) – 176" (Crew Cab 8ft box) Wheelbase
- 48 Gallon Fuel Tank (Diesel Engine) – 176" (Crew Cab 8ft box) Wheelbase
- Shock absorbers – heavy-duty gas
- Stabilizer bar – front
- Stationary Elevated Idle Control (SEIC)
- Steering damper
- Trailer Hitch Receiver – 2.5" Built Ford Tough® Trailer Hitch Receiver
- Trailer Hitch Receiver – 3" Built Ford Tough® Trailer Hitch Receiver
- Transfer Case - Electronic Shift-On-the-Fly (ESOF) 4-Wheel-Drive System (4x4 models only)
- Engine - 6.2L SOHC 2-valve Flex Fuel V8 (F-250/350)
- Transmission - TorqShift® 10-speed Automatic with Selectable Drive Modes: Normal, Slippery, Tow/Haul, Eco and Deep Sand/Snow
- Diesel Engine-Exhaust Brake (diesel engine only)
- Wheels - 17-inch Argent-Painted Steel (SRW)
- Wheels - 17-inch Argent-Painted Steel (DRW)

- LT245/75Rx17E BSW A/S
- Tire - Spare, wheel, lock and frame-mounted carrier
- Jack - 2-ton, mechanical (SRW)
- Jack - 4-ton, hydraulic (DRW)

Safety

- Airbags - Front Seat Front with Passenger-Side Deactivation Switch (Regular Cab and Supercab Only)
- Airbags - Front Seat Side
- Safety Canopy® System with side-curtain airbags
- Belt-Minder®, chime and flashing warning light on instrument cluster if belts not buckled
- Child tethers (Regular Cab, front passenger and all rear seating positions)
- Seat Belts - color coordinated with height adjustment (front outboard seating positions only)
- SOS Post Crash Alert System
- SecuriLock® Passive Anti-Theft System
- MyKey®

Your Configuration: 2022 Ford Super Duty F-350 XL Regular Cab, 8' Box, 6.2L 2-valve SOHC Flex Fuel V8, TorqShift® 10-speed Automatic Transmission, 3.73 Non-Limited Slip Axle Ratio, 4X4, SRW

Pricing shown for Zip code 60142 as of March 1, 2022 ^{S2}

Note. Information is provided on an "as is" basis and could include technical, typographical or other errors. Ford makes no warranties, representations, or guarantees of any kind, express or implied, including but not limited to, accuracy, currency, or completeness, the operation of the Site, the information, materials, content, availability, and products. Ford reserves the right to change product specifications, pricing and equipment at any time without incurring obligations. Your Ford dealer is the best source of the most up-to-date information on Ford vehicles.

Disclosures through S18 apply to Search Dealer Inventory, Request A Quote, Get An Internet Price, Get A Quote, Let Us Find It For You, Build & Price and Incentives & Offers.

S1.

Manufacturer's Suggested Retail Price (also referred to as "MSRP", "Base MSRP", "Base Price" or the "Starting At" price), excludes destination/delivery charge, taxes, title, license, and registration and/or electronic filing fees, dealer fees, and total of options.

For authenticated AXZ Plan customers, the price displayed may represent Plan pricing. Not all AXZ Plan customers will qualify for the Plan pricing shown and not all offers or incentives are available to AXZ Plan customers.

S2.

Images shown are for information purposes only, and may not necessarily represent the configurable options selected or available on the vehicle. We cannot be responsible for typographical or other errors, including data transmission, display, or software errors, that may appear on the site.

S3.

Offers shown may not be available to all customers. Incentives lists are examples of offers available at the time of posting and are subject to change and expiration. Not all incentives can be redeemed together. To take advantage of rebates, incentives and/or financing offers you must take new retail delivery from dealer stock by the expiration date noted. Not all buyers will qualify for Ford Credit financing or other offers. Restrictions apply. See your local dealer for complete details.

S4.

The Option Package price and monthly payment displayed is for illustration purposes, only. Prices and monthly payments may vary based on features included in package, financing terms and availability. Some Options are not available separately. Not all Options or Option Packages are available on all vehicles. See your local dealer for details.

S5. Estimated Net Price is the Total Manufacturer's Suggested Retail Price ("Total MSRP") minus any available offers and/or incentives. Incentives may vary. Excludes taxes, title, and registration fees. For authenticated AXZ Plan customers, the price displayed may represent Plan pricing. Not all AXZ Plan customers will qualify for the Plan pricing shown and not all offers or incentives are available to AXZ Plan customers.

S6.

The payment estimator will calculate a monthly payment based on the MSRP of the vehicle you have configured, including the dealer-installed accessories. For authenticated AXZ Plan customers, the price displayed may represent Plan pricing. Not all AXZ Plan customers will qualify for the Plan pricing shown. Actual monthly payment is based on a variety of factors, including differing financing or leasing terms, accessory prices and installation costs. Financing payment calculations are estimates only, and are based on amount of down payment, APR and term. Lease payment calculations are estimates only, and are based on an annual mileage calculation determined by your dealer. A charge is assessed for any mileage driven that exceeds this limit. Lessee is responsible for \$395 lease Disposition Fee in select states. Not all buyers will qualify for financing or a lease. Contact your local Ford or Lincoln Dealer for details.

S7.

While dealer inventory is generally updated on a daily basis, there are no guarantees that the inventory shown will be available at the dealership. Mid-model-year manufacturing changes, as well as dealer-added accessories on the actual vehicle may differ from the options and features listed. Vehicles that are identified as 'Exact Matches' may have a different price or different features not represented on the site. We make every effort to provide you with the most accurate, up-to-date information, however, only your local Ford dealer can provide you with information regarding actual vehicle availability.

S8.

Dealer Accessories are defined as items that do not appear on the factory window sticker that are installed by a Ford or Lincoln Dealers. Actual Prices for all accessories may vary and depend upon your dealer. Prices DO NOT include installation or painting, which may be required for particular items. Please check with your authorized dealer for complete pricing accuracy for all accessories and parts.

Genuine Ford Accessories will be warranted for whichever provides you the greatest benefit: 12 months or 12,000 miles (whichever occurs first) or the remainder of your Bumper-to-Bumper 3-year/36,000-mile New Vehicles Warranty. Contact your local Ford, Lincoln or Mercury dealer for details and a copy of the limited warranty.

Ford Licensed Accessories (FLA) are warranted by the accessories manufacturer's warranty. Contact your Ford, Lincoln or Mercury Dealer for details regarding the manufacturer's limited warranty and/or a copy of the FLA product limited warranty offered by the accessory manufacturer.

Most Ford Racing Performance Parts are sold with no warranty. Ford Racing Performance Parts are sold "As Is", "With All Faults", "As They Stand" and without any express warranty whatsoever, unless otherwise expressly designated herein. To determine which parts come with a warranty from the original manufacturer, or from Ford Racing, please contact the Ford Racing Techline at (800) FORD788.

S9.

The "Trade-In Value" of your vehicle is an estimate, only, and many factors that cannot be assessed without a physical inspection of the vehicle may affect actual value. For purposes of this website, we use the services of a third-party vendor to provide Trade-In Value calculations. While we believe this information is reliable, we are not responsible for and do not guarantee the accuracy or reliability of the information. Please see your local Ford dealer for information regarding actual trade-in availability and value.

S10.

AXZ Plan pricing, including AXZ Plan option pricing, is exclusively for eligible Ford Motor Company employees, friends and family-members of eligible employees, and Ford Motor Company eligible partners. Restrictions apply. See your Ford or Lincoln dealer for complete details and qualifications. Ford Motor Company reserves the right to modify the terms of AXZ Plan pricing or availability at any time. Some dealers may also chose not to participate in plan pricing Contact your local dealer to determine final pricing.

S11.

EPA estimated city/highway mpg based on base engine/transmission configuration. Actual mileage will vary.

S12.

Towing - Properly equipped.

S13.

For Dealer Ordered vehicles, the vehicle has already been ordered by the dealer and is in the process of being manufactured by the factory. If you are interested in the vehicle marked "Dealer Ordered", contact the dealership for a delivery estimate.

S14. The "estimated selling price" is for estimation purposes only and the figures presented do not represent an offer that can be accepted by you. See your local dealer for vehicle availability and actual price. The Estimated Selling Price shown is the Base MSRP plus destination charges and total of options, but does not include service contracts, insurance or any outstanding prior credit balance. Does not include tax, title or registration fees. It also includes the acquisition fee. For Commercial Lease product, upfit amounts are included.

The "estimated capitalized cost" is for estimation purposes only and the figures presented do not represent an offer that can be accepted by you. See your local dealer for vehicle availability, actual price, and financing options. Estimated Capitalized Cost shown is the Base MSRP plus destination charges and total of options, but does not include service contracts, insurance or any outstanding prior credit balance. Does not include tax, title or registration fees. It also includes the acquisition fee. For Commercial Lease product, upfit amounts are included.

S15. The "amount financed" is for estimation purposes only and the figures presented do not represent an offer that can be accepted by you. See your local dealer for vehicle availability, actual price, and financing options. Estimated Amount Financed is the amount used to determine the Estimated Monthly Payment. It is equal to the Estimated Selling Price of the vehicle less Down Payment, Available Incentives and Net Trade-in Amount.

The "adjusted capitalized cost" is for estimation purposes only and the figures presented do not represent an offer that can be accepted by you. See your local dealer for vehicle availability, actual price, and financing options. Estimated Adjusted Capitalized Cost is the amount used to determine the Estimated Monthly Payment. It is equal to the Estimated Capitalized Cost less Down Payment, Available Incentives, and Net Trade-in Amount.

S16.

Total MSRP is Base MSRP plus options, destination and delivery charges. Excludes taxes, title, and registration fees.

S17.

Destination Charges are associated with getting the vehicle from the manufacturer to the dealership. Prices listed are MSRP and are based on information updated on this website from time to time.

S18. Acquisition Fee is a charge paid by the lessee to Ford Credit to help cover the cost of acquiring and servicing the account.

Note2.

For Manufacturer Specific Disclosures See Below

1.

Starting MSRP excludes destination/delivery charge, taxes, title and registration. Optional equipment not included. Starting A, Z and X Plan price is for qualified, eligible customers and excludes document fee, destination/delivery charge, taxes, title and registration. Not all vehicles qualify for A, Z or X Plan. All Mustang Shelby GT350 and Shelby GT350R prices exclude gas guzzler tax.

2.

EPA-estimated city/hwy mpg. See fueleconomy.gov for fuel economy of other engine/transmission combinations. Actual mileage will vary. MPGe is the EPA equivalent measure of gasoline fuel efficiency for electric mode operation.

DISCLOSURES ()

2022 Ford F-350 Quotes and Estimates

	Huntley Ford	Morrow Brothers	Bull Valley Ford
Truck Quote	\$47,205.00	\$57,725.00	\$47,205.00
Above MSRP			\$3,000.00
Additional Accessories:			
Plow	\$5,000.00	Included	\$5,000.00
Lift Gate	\$3,835.00	Included	\$3,835.00
Lightbar	\$895.00	Included	\$895.00
Backrack	\$300.00	Included	\$300.00
Radio Lettering	\$1,850.00	\$1,850.00	\$1,850.00
Subtotal	\$11,880.00	\$1,850.00	\$11,880.00
Total	\$59,085.00	\$59,575.00	\$62,085.00

2022 PWE Vehicle Purchases Budget Vs. Actual

Vehicle	Cab/Chassis	Cab/Chassis Surcharges	Bonnell	Anti-Icing Tank	Additional Upfitting	Actual	Budgeted
6-Whl	\$93,216.00		\$151,038.00		\$1,850.00	\$246,104.00	\$246,700.00
F-150	\$29,876.00				\$400.00	\$30,276.00	\$34,700.00
F-150	\$29,876.00				\$400.00	\$30,276.00	\$34,700.00
F-350	\$47,205.00				\$11,880.00	\$59,085.00	\$50,000.00
F-350	\$47,205.00				\$11,880.00	\$59,085.00	\$50,000.00
5-Yd	\$83,120.00		\$116,888.00	\$22,077.00	\$1,850.00	\$223,935.00	\$222,100.00
1 Ton S/D	\$48,206.00		\$86,052.00		\$2,382.00	\$136,640.00	\$154,900.00
TOTAL						\$785,401.00	\$793,100.00
Actual (Over)/Under Budget						\$7,699.00	

RESOLUTION WAIVING THE FORMAL BIDDING PROCESS AND APPROVE THE PURCHASE OF TWO 2022 FORD F-350 SUPER DUTY PICKUP TRUCKS FROM HUNTLEY FORD IN THE AMOUNT OF \$94,410.00

Resolution (R)2022-03.xx

WHEREAS, the Village of Huntley is a home rule unit of local government under the Illinois Constitution, 1970, Article VII, Section 6; and

WHEREAS, the FY22 Budget includes funding for the purchase of two fully equipped F-350 Super Duty trucks; and

WHEREAS, a joint procurement contract is not available at this time for Super Duty pickup trucks; and

WHEREAS, the Village received proposals for two 2022 Ford F-350 Super Duty pickup trucks and Huntley Ford was the lowest in the amount of \$94,410.00; and

WHEREAS, the new pickup trucks are multi-purpose vehicles that are used year round by Public Works for snowplowing, road repairs, and underground work; and

WHEREAS, the Village of Huntley has reviewed the proposal submitted and determined that it is in the best interest to waive the formal bidding process and authorize the purchase of two 2022 Ford F-350 Super Duty pickup trucks from Huntley Ford in the amount of \$94,410.00.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HUNTLEY as follows:

SECTION I: The Village Board hereby waives the formal bidding process and approves the purchase of two (2) 2022 Ford F-350 Super Duty pickup trucks from Huntley Ford in the amount of \$94,410.00

SECTION II: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

SECTION III: All Resolutions and parts of resolutions in conflict herewith are hereby repealed.

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Goldman	_____	_____	_____	_____
Trustee Holzkopf	_____	_____	_____	_____
Trustee Kanakaris	_____	_____	_____	_____
Trustee Kittel	_____	_____	_____	_____
Trustee Leopold	_____	_____	_____	_____
Trustee Westberg	_____	_____	_____	_____

PASSED and APPROVED this 24th day of March, 2022.

APPROVED:

Timothy J. Hoeft, Village President

ATTEST :

Rita McMahan, Village Clerk



**VILLAGE OF HUNTLEY
AGENDA SUMMARY**

March 24, 2022
Village Board Meeting

Agenda Item: Consideration - Resolution Waiving the Formal Bidding Process and Approving the Purchase of an Electronic Sign Insert for the Gateway Sign at Route 47 and Main Street

Department: Village Manager's Office

INTRODUCTION

The existing gateway sign located at Route 47 and Main Street was constructed in 2012. The quality of the display has degraded over the years and the technology associated with making changes to the message is outdated and difficult to manage at times.

STAFF ANALYSIS

The Village's current gateway sign vendor is located out of state and communication with and support from the vendor at times has been difficult. The electronic message portion of the sign can be removed and replaced with a better quality display. The sign's message can be updated from an application that can allow staff to update it from any location and at any time as needed. Currently, the message can only be changed/updated from one computer in the Village Manager's Office.

Staff contacted Aurora Sign Co., the vendor that replaced the electronic sign at the FNBO in Lake in the Hills at Lakewood and Algonquin Road. The clarity of the sign is outstanding and the bank gave excellent reviews of the sign company's product and service.

The sign manufacturer, Watchfire, is located in Danville, IL with the signs being built at this location as well. Watchfire supports their sign replacement parts for 10 years. Should a part need to be replaced, the replacement can take place in a shorter period of time as both the manufacturer and sign company are located in Illinois.

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies *"Forward Looking Community"* as a strategic focus and the following goal: *"Innovation and Implementation of Technology to Enhance Service Delivery."*

FINANCIAL IMPACT

The FY22 Budget includes \$30,000 in the Facilities and Grounds Maintenance Fund, 410-00-00-8003 for this item. The proposal includes removal of the existing electronic insert and installation/set up of a 6mm full color Watchfire EMC for \$28,456.00.

LEGAL ANALYSIS

In accordance with State Statute, a bid waiver shall be approved by a vote of two-thirds of all the trustees then holding office, thus requiring an affirmative vote of four trustees, with the mayor not voting.

ACTION REQUESTED

A motion of the Village Board for a Resolution Waiving the Formal Bidding Process and Approving the Purchase of a 6mm Watchfire EMC from Aurora Sign Co.

SUPPORTING DOCUMENTS

1. Aurora Sign Co. Proposal
2. Draft Resolution



PROPOSAL

210210-03
 Date: 08/25/2021
 Expires: 03/25/2022
 Drawing Numbers: 210210-01

Project: Village of Huntley
 10987 Main Street
 Huntley, IL 60142

Client: Village of Huntley
 10987 Main Street
 Huntley, IL 60142

Contact: Barb Read 847-515-5262 bread@huntley.il.us

We are pleased to offer this proposal for the following services at the above location.

Project Description:	Item Total:
1. EMC Replacement on existing masonry ground sign; remove and discard one (1) EMC unit. Replace with one (1) 8mm, Watchfire full color unit. New software and training included. Communication provided by Broadband with lifetime data plan. Connect to power provided at existing sign location.	
A. Remove/Discard & Install/Setup	\$3,469.00
B. One (1) 8mm full color Watchfire EMC	\$21,754.00

**** Upgrade to 6mm display, please add \$3233 to above.

**** **Power Requirements; For either option, site will require one (1) constant power lead of 120v at 25amp minimum dedicated for EMC only.**

**** **Customer is tax exempt**

Deposit Rate: 65%	Subtotal:	\$25,223.00
Deposit: \$16,394.95		
	Total:	\$25,223.00

TERMS: A deposit of 50% of the total project is required with order. The balance is due within 10 days of completion invoice.
 OPTION: A 2%DISCOUNT WILL APPLY TO PAYMENT IN FULL AT CONTRACT SIGNING. Permit costs will be billed separately.
 PERMITS: Permit fees, engineering fees required by cities, and procurement fees will be additional. Sign construction will commence upon receipt of permit. Delivery dates are estimated from receipt of permit.
 TAXES: The total cost of this contract is subject to the State of Illinois Service Occupation Tax (equivalent to 3.63%) effective January 1, 1990 **TO BE BILLED ON FINAL INVOICE.**
 EXCAVATION AND LANDSCAPING: In the instance where trenching and/or excavating for a sign base is involved, Aurora Sign Company assumes no responsibility for the final reseeding, planting and/or black dirt replacement involve in this operation. Aurora Sign Company will return the area to a workable condition to allow the customer to do the final landscaping involved. The above contract pricing is calculated with engineered footings for soil types common to your area. Upon excavation of abnormal soil conditions, (i.e.loose compaction, fresh backfill, abnormal backfill, building debris, hidden concrete) additional cost may be incurred. These additional costs will be passed along to the customer at a rate of cost plus 15% for handling.
 WARRANTY: The above signage is guaranteed against defects in workmanship for a period of 24 months after the completion date. A Maintenance Contract is available to continue regular service following the warranty period.
 DRAWINGS: The drawings that are submitted with this proposal are the property of Aurora Sign Company and are to be used only in connection with work

Salesperson: Aaron Stoeckel

Buyer _____ Seller _____



PROPOSAL

210210-03

Date: 08/25/2021

Expires: 03/25/2022

Drawing Numbers: 210210-01

Project: Village of Huntley
10987 Main Street
Huntley, IL 60142

Client: Village of Huntley
10987 Main Street
Huntley, IL 60142

Contact: Barb Read 847-515-5262 bread@huntley.il.us

performed by them. Reproduction in whole or in part for any other purpose is expressly forbidden without written consent from Aurora Sign Company. Design and layout charges of up to \$3000.00 may be assessed for misuse or reproduction of these plans.

Salesperson: Aaron Stoeckel

Buyer's Acceptance _____ Title _____ Date _____

Seller's Acceptance _____ Title _____ Date _____

RESOLUTION WAIVING THE FORMAL BIDDING PROCESS AND APPROVING THE PURCHASE OF AN ELECTRIC SIGN INSERT FOR THE VILLAGE GATEWAY SIGN LOCATED AT ROUTE 47 AND MAIN STREET

Resolution (R)2022-03.xx

WHEREAS, the Village of Huntley is a home rule unit of local government under the Illinois Constitution, 1970, Article VII, Section 6; and

WHEREAS, the FY22 Budget includes funding for the purchase of an electric sign insert for the Village Gateway Sign; and

WHEREAS, the Village contacted Aurora Sign Co. for a proposal to remove and replace the current message board, as the quality of the display has degraded over the years; and

WHEREAS, Aurora Sign Co. and Watchfire (manufacturer) are both located in Illinois making the replacement and service more efficient; and

WHEREAS, the Village of Huntley has reviewed the proposal submitted and received an excellent review from a local business using the sign company.

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HUNTLEY as follows:

SECTION I: The Village Board hereby waives the formal bidding process and approves the purchase of a 6mm Watchfire EMC from Aurora Sign Co. in the amount of \$28,456.00.

SECTION II: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

SECTION III: All Resolutions and parts of resolutions in conflict herewith are hereby repealed.

	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Trustee Goldman	_____	_____	_____	_____
Trustee Holzkopf	_____	_____	_____	_____
Trustee Kanakaris	_____	_____	_____	_____
Trustee Kittel	_____	_____	_____	_____
Trustee Leopold	_____	_____	_____	_____
Trustee Westberg	_____	_____	_____	_____

PASSED and APPROVED this 24th day of March, 2022.

APPROVED:

Timothy J. Hoeft, Village President

ATTEST :

Rita McMahon, Village Clerk



Agenda Item: **Consideration - A Resolution Designating 2022 Village Sponsored Special Events as Designated Outdoor Refreshment Area (DORA) Special Events**

Department: **Village Manager's Office**

INTRODUCTION

The Village Board approved an amendment to the Liquor Code in May 2020 to allow a Designated Outdoor Refreshment Area (DORA) during certain Village-Sponsored Special Events in the Downtown Area. The amendment established the boundaries for the area, which are noted below and in the attached exhibit.

The temporary provisions that were established in 2020 and extended through 2021 due to the pandemic have expired. The temporary provisions allowed the possession of open containers and consumption of alcoholic beverages within the Town Square daily between the hours of 11:00 a.m. and 9:00 p.m.

Designating certain special events as DORA special events will allow for the possession of open containers and consumption of alcoholic beverages in the Town Square only during the DORA approved events.

STAFF ANALYSIS

The interest in Village-sponsored concerts and special events in the Town Square and downtown area continues to grow. Temporarily permitting consumption of alcoholic beverages in the downtown in 2020 and 2021 did not result in an increase in issues due to consumption outside of the businesses.

DORA boundaries as provided for in the 2020 code amendment are as follows: (as noted on Exhibit)

- Main Street from the eastern edge of Huntley Eye Care to the southeast corner of Main and Church Street.
- The southeast corner of Main and Church Street to the northeast corner of Church and Coral Street
- The Northeast Corner of Coral Street at Church to the northwest corner of Coral Street and Woodstock Street
- The Northwest corner of Woodstock Street at Coral Street to the northwest corner of Main Street and Woodstock Street
- The northwest corner Main at Woodstock Street to the northeast corner of Main Street at Dwyer Street.

Conditions:

- Alcoholic beverages are to be purchased from a licensed and registered business premises that is located within the DORA boundary or brought into the DORA in a sealed original package (BYOB)



VILLAGE OF HUNTLEY AGENDA SUMMARY

March 24, 2022
Village Board Meeting

- Individuals 21 years of age or older must wear a Village-issued DORA wristband provided at no charge from an authorized DORA business or who bring alcohol from outside the DORA (BYOB) provided on-site from a Village representative
- Beverages must be in plastic cups or cans (no glass)
- Open containers of alcohol may not be carried outside of the DORA boundaries
- Possession of open containers and consumption of alcoholic beverages within the DORA boundaries shall be permitted only during the DORA Events with specific times

DORA Events with Specific Times:

- Concerts in the Square (6-9 p.m.) on the following dates: July 5, 12, 19, 26; Aug 2, 9, 16
- Ladies Night Out (5-8 p.m.) on May 5 and Dec 8
- First Fridays on the Square (6-10 p.m.) on the following dates: July 1, Aug 5, Sept 2
- Hootenanny Glow 5k (6-10 p.m.) Sept 10
- A Very Merry Huntley (3-6 p.m.) December 3

2022-2025 STRATEGIC PLAN ALIGNMENT

The Strategic Plan identifies an “*Engaged Community*” as a strategic focus and the following goal: “*Community Events*” that will attract residents of all ages.

FINANCIAL IMPACT

While there is no financial impact for the Village, this program will most likely enhance business at local establishments during the approved events.

LEGAL ANALYSIS

The DORA program and boundaries were established by amendment to the Village Code by Ordinance (O)2020-05.37.

ACTION REQUESTED

A motion of the Village Board Approving a Resolution Designating 2022 Village Sponsored Special Events as Designated Outdoor Refreshment Area (DORA) Special Events.

SUPPORTING DOCUMENTS

1. DORA Boundary Exhibit
2. Ordinance (O)2020-05.37
3. Draft Resolution



Proposed DORA Area

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 100'

VILLAGE OF HUNTLEY

10987 Main Street
Huntley, IL 60142
(847)669-9600

Print Date: 1/16/2020

**A RESOLUTION DESIGNATING 2022 VILLAGE SPONSORED SPECIAL EVENTS
AS DESIGNATED OUTDOOR REFRESHMENT AREA (DORA) SPECIAL EVENTS**

Resolution (R)2022-03.xx

WHEREAS, the Village of Huntley is a home rule unit of local government under the Illinois Constitution, 1970, Article VII, Section 6; and

WHEREAS, on May 28, 2020 the Village Board approved Ordinance (O)2020-05.37 Amending Section 110.14 of the Liquor Code to Allow Consumption of Alcoholic Beverages in a Designated Outdoor Refreshment Area (DORA) During Certain Village-Sponsored Events.

NOW THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF HUNTLEY as follows:

SECTION I: The foregoing recitals are hereby incorporated into this Resolution as the findings of the President and Board of Trustees.

SECTION II: The following Village-Sponsored Events are hereby designated as 2022 DORA Special Events:

- Concerts in the Square (6-9pm) on the following dates: July 5, 12, 19, 26; Aug 2, 9, 16
- Ladies Night Out (5-8pm) on May 5 and Dec 8
- First Fridays on the Square (6-10pm) on the following dates: July 1, Aug 5, Sept 2
- Hootenanny Glow 5k (6-10pm) Sept 10
- A Very Merry Huntley (3-6pm) December 3

SECTION III: This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

	Aye	Nay	Absent	Abstain
Trustee Goldman	_____	_____	_____	_____
Trustee Holzkopf	_____	_____	_____	_____
Trustee Kanakaris	_____	_____	_____	_____
Trustee Kittel	_____	_____	_____	_____
Trustee Leopold	_____	_____	_____	_____
Trustee Westberg	_____	_____	_____	_____

PASSED and APPROVED this 24th day of March 2022.

APPROVED:

Timothy J. Hoeft, Village President

ATTEST:

Rita McMahan, Village Clerk

EXHIBIT A

DORA Boundary Exhibit

DRAFT