



AGENDA
CITY OF KENTWOOD PLANNING COMMISSION
TUESDAY, JANUARY 24, 2023
KENTWOOD COMMISSION CHAMBERS
4900 BRETON AVENUE
7:00 P.M.

- A. Call to Order
- B. Pledge of Allegiance (Alex Porter)
- C. Roll Call
- D. Approval of the Minutes of January 10, 2023 and Findings of Fact for:
Case# 1-23 – Steelcase– Major PUD Change and Preliminary Site Plan – Located at 4308 52nd Street SE

- E. Approval of the Agenda for January 24, 2023

- F. Acknowledge visitors and those wishing to speak to non- agenda items.

- G. Old Business

There is no Old Business

- H. Public Hearing

Case# 2-23 – Zoning Ordinance Text Amendments Relating to: Childcare provisions; sign provisions; PUD procedures; Chapter 8 Flood Plain Amendments

- I. Work Session

Case#3-23 – Caring Hearts Adult Day Center – Special Land Use and Site plan Review for an Adult Daycare located at 4488 Breton Ave SE

Case#4-23 – Snackcraft Building Addition – Major Change to a PUD and Final Site Plan Review located at 4444 – 52nd Street SE;

Case#5-23 – Blue Pearl Specialty and Emergency Pet Hospital – Special Land Use and Site Plan Review for an Animal Hospital located at 2500 East Paris Ave SE

- J. New Business

Set public hearing date of February 28, 2023, for: **Case#6-23** – Dykstra Auto – Major Change to an Approved Site Plan located at 4782 – 44th Street SE

K. Other Business

1. Commissioners' Comments
2. Staff's Comments

L. Adjournment

*Public Hearing Format:

1. Staff Presentation – Introduction of project, Staff Report and Recommendation
Introduction of project representative
2. Project Presentation – By project representative
3. Open Public Hearing (please state name, address and speak at podium. Comments are limited to five minutes per speaker; exceptions may be granted by the chair for representative speakers and applicants.)
4. Close Public Hearing
5. Commission Discussion – Requests for clarification to project representative, public or staff
6. Commission decision – Options
 - a. postpone decision – table to date certain
 - b. reject proposal
 - c. accept proposal
 - d. accept proposal with conditions.

PROPOSED MINUTES OF THE REGULAR MEETING
OF THE KENTWOOD PLANNING COMMISSION
JANUARY 10, 2023, 7:00 P.M.
COMMISSION CHAMBERS

- A. Chair Jones called the meeting to order at 7:00 p.m.
- B. The Pledge of Allegiance was led by Commissioner Weir.
- C. Swearing in New Commissioner (Alex Porter)
- D. Roll Call:
Members Present: Bill Benoit, Dan Holtrop, Sandra Jones, Ed Kape, Alex Porter, Ray Poyner, Darius Quinn, David VanderMeer, Sarah Weir
Members Absent: None
Others Present: Economic Development Planner Lisa Golder, Senior Planner Joe Pung, Planning Assistant Monique Collier and the applicants.
- E. Approval of the Minutes and Findings of Fact

Motion by Commissioner Quinn, supported by Commissioner Poyner, to approve the Minutes of December 13, 2022.

- Motion Carried (9-0) –
- F. Approval of the Agenda

Motion by Commissioner Benoit, supported by Commissioner Kape, to approve the agenda for the January 10, 2023 meeting.

- Motion Carried (9-0) –
- G. Acknowledge visitors wishing to speak to non-agenda items.

There was no public comment.

- H. Old Business

There was no Old Business

- I. Public Hearing

Case# 1-23 – Steelcase– Major PUD Change and Preliminary Site Plan – Located at 4308 52nd Street SE

Golder stated the property was zoned for agriculture and low density residential prior to 1980. In the 1980s the land was rezoned from Agricultural and R1-B Low Density Residential to I-1 Light Industrial and later to an Industrial PUD. At one time, it was envisioned that Steelcase would someday build and occupy approximately 6 million square feet of manufacturing, shipping, distribution and other operations within the campus. Over time, Steelcase found they did not need as much land or manufacturing space as was previously thought.

In 2014 a Major Change to the approved Steelcase site plan was approved through the Planning and City Commissions to allow for other business to utilize portions of the Steelcase PUD. A new development agreement was approved and signed by all the property owners—Steelcase, Franklin Partners, Roskam Baking, as well as the city.

In 2017 another amendment to the Steelcase PUD was approved to allow the construction of a credit union and to allow for the increase of square footage of several of the buildings in the southeast corner of the PUD.

Golder stated with each of these revisions there was a change to the PUD plan and a change to PUD the agreement between the City and Steelcase. Among other things the agreement laid out a procedure asking for additional curb cuts onto the public streets. The agreement states that a key provision of the PUD is to reasonably limit access points to the public rights-of-way. She stated each building cannot have its own individual driveway. She stated it is considered a major change to the approved PUD. She stated in addition, any new proposed buildings are also a major change to the PUD.

Golder stated with the 2014 and 2017 PUD amendments two former Steelcase plants became Roskam Baking Company. ETO Magnetic and Kentwood Distribution Center. Now we are looking at the area off of 52nd Street. It is about 30 acres in size, it is the current Steelcase Fleet and Maintenance Facility. She stated it currently includes a truck washing facility and a truck maintenance facility and the vacant property has a future 80,000 square foot building.

Golder stated now the plan has changed which involves truck parking. She stated the applicant is proposing as many as 3 curb cuts onto 52nd Street. She stated Steelcase wants to sell about 27 acres to Transport Properties and they would like to lease or sell the property to other entities. She stated the applicant will likely sell or lease the entire 27 acres to 1,2, or 3 separate owners.

Golder stated if the maintenance facility is integral to the operation, then that is consistent with what Steelcase was already doing. There is no other approval other than final site plan review that the Planning Commission has to approve. She stated if it is a separate entity and they are looking for customers to come off the street, then that would be a vehicle maintenance major repair and that is a special land use. Golder stated we don't know what is going to happen yet but it may that some of the uses proposed end up as special land uses. She stated we don't know how many tenants there are going to be, the type of traffic they will produce or the security that they might need to have on the site. She stated there was a concern regarding the potential for 3 curb cuts in the Engineering and Planning departments. She stated a traffic study was completed and said for the types of uses envisioned it probably is not going to be a lot of traffic generated. She

stated this led to the question why are 3 curb cuts needed. She stated due to customs requirements it is not possible for the 27 acre piece to utilize the existing driveway that Steelcase uses right now because they need to be separate unless Steelcase moves the guard shack back to where their facility is located. She stated at this point it looks like there will be at least one driveway if not 2 or 3 on the site and that is a question that needs to be answered with the final PUD approval. She stated what the Planning Commissioners are looking at is the preliminary PUD that will go to the City Commission and the final plan will come before the Planning Commission and we will get more detail about the type of use at that time. She stated one of the concerns is whether or not they will have a gate because a gate mechanism could potentially back traffic up onto the public street. They will have to show that won't be a problem for the commissioners to review and approve.

Golder stated she is recommending to the city commission approval of the request for major change to an approved PUD site plan and described in her memo date 12/28/22.

Tim McCahill, Transport Properties, was present. He stated they want one tenant but this is a massive facility that was designed to support a million square feet. He stated the way it sits today will probably have to be divided up in some way in which they don't know yet. He appreciates the flexibility to keep it as flexible as possible for future user or users.

Jones opened the public hearing.

There was no public comment.

Motion by Benoit, supported by Quinn to close the public hearing.

- Motion Carried (9-0) -

VanderMeer questioned if they can have a curb cut onto East Paris versus having 3 curb cuts on 52nd Street.

Holtrop questioned if there was something about no access off of East Paris. Golder stated there is no truck access off East Paris. She stated Steelcase is looking into what is going to happen to the rest of the site and she is hoping that access will become part of that discussion. Golder stated in the current plans offices were planned along East Paris. Holtrop stated Golder mentioned the existing guard shack could be moved, but that would be up to Steelcase to offer that. Golder stated that is correct. Golder stated at some point there will have to be changes to the guard shack. Holtrop questioned if trucks on 52nd Street can they only come from the east. Golder stated not beyond East Paris. Holtrop stated most of the truck traffic would come from the east and stack in the turn lane until they can turn into the property.

Porter questioned access to the building to the east. Golder stated they have their own access. Porter questioned the drainage and how the Steelcase retention ponds are being utilized. Golder stated when the original approval was granted, they had a system of storm water detention around the site so that still exists today. Golder stated we have to make sure it is still good

because standards have changed, but the City Engineer was comfortable enough to let it move on to the final phase where they will have to show they have the capability for stormwater.

Porter questioned if there was an agreement between Steelcase and the other companies to have proper access. Eric Calterra, Director of Facilities, was present. He stated there has been discussion of internal circulation but the what ifs get in the way. Discussion ensued regarding pond 1,2,3,4,5 and 6 he stated easements were created when they sold to Roskam for stormwater to enter into ponds 1,2 3, 4, and 5 and then exit out into the Plaster Creek watershed. Calterra stated they are in the process of putting together easements that would allow this property to continue into pond A and over into pond B and out onto East Paris. They are in the process of writing the legal description that would identify that, create the drawings and exhibits and then record those as easements with the County.

Poyner questioned if the detention pond would come up again when the applicant comes forward with a plan. Golder stated that is correct, that is when the detail has to be submitted. Poyner stated there was discussion regarding the alignment of the curb cuts that need to align to those across the street. Golder stated the new plans show that they are aligned. If driveways will be permitted they will align with the ones across the street.

Motion by Poyner, supported by Quinn, to recommend to the City Commission conditional approval of the request for Major Change to an Approved PUD Site Plan for the site plan dated December 20, 2022 for the Steelcase PUD as described in Case No. 1-23. Approval is conditioned on the following: Approval is conditioned upon conditions 1 –9 and basis points 1 – 7 as described Golder’s memo dated December 28, 2022

- Motion Carried (9-0) –

J. Work Session

Case# 2-23 – Zoning Ordinance Text Amendments Relating to: Childcare provisions; sign provisions; PUD procedures

Pung went over zoning ordinance memos related to

***Menu Boards**

Currently the Zoning Ordinance does not specifically make allowance for menu board or pre-order boards for drive-through establishments or vehicle wash establishments. Such signs are currently allowed through a Zoning Administrator interpretation.

Based on the definition in Section 2.20.S of the Zoning Ordinance a menu board in many respects is a sign. However, when the menu board is located at the rear of a site, the focus is narrowed to the specific options and associated pricing rather than attracting attention to or identifying a business to motorists etc. It is practical and desirable to allow drive-through establishments and vehicle wash establishments a limited ability to communicate to customers the specific options and pricing information in a manner

distinguished from the freestanding, wall, and window identification sign allowances. The proposed amendment to the Zoning Ordinance would explicitly make allowance for menu boards and pre-order boards as permitted signs.

The proposed language was approved by the Planning Commission in 2021 but was not reviewed by the City Commission. In April, the Planning Commission confirmed the proposed language.

Proposed Language:

Add Subsection K to Section 16.03 Signs Permitted or Prohibited

K. Menu Boards and Companion Display for Drive-through and Vehicle Wash Establishments

1. Menu board shall not exceed sixty-four (64) square feet in area nor exceed a height of ten (10) feet
2. Menu board shall be located within ten (10) feet of where the order is placed.
3. Companion display shall not exceed sixteen (16) square feet in area nor exceed a height of ten (10) feet.
4. Companion display shall be located adjacent to a menu board to communicate special pricing and services.

Vandermeer questioned how we determined the 64 square feet versus the 16 square feet. Pung stated Schweitzer did a lot of research and looking at existing restaurants and how big they are currently. 64 square feet seemed more than reasonable with regard to what they would need to display their menus and prices. Discussion ensued.

***Definition of Dwelling, Multiple Family**

Amend Section 2.02 of the Zoning Ordinance to modify the definition *Dwelling, Multiple*.

Current zoning ordinance language for Dwelling, Multiple

DWELLING, MULTIPLE: A building or portion of a building, used or designated for use as a residence for more than two (2) families living independently of each other. This definition does not include manufactured homes, single family attached dwellings or two (2) family dwellings.

Proposed zoning ordinance language.

DWELLING, MULTIPLE-FAMILY: A building or portion of a building, used or designated for use as a residence for more than two (2) families living independently of

each other. This definition does not include manufactured homes, single family attached dwellings or two (2) family dwellings.

***Child Care Facility Definitions**

In June of this year, the State approved Act No. 106 of Public Acts of 2022 amending 1973 PA 116 making allowance for the increase in capacity of family child care homes (1 additional child – up to 7 total) and group child care homes (2 additional children – up to 14 total). The Kentwood Zoning ordinance currently limits family child care homes to no more than six (6) children and group child care homes to no more than twelve (12) children.

Proposed Ordinance Language:

Modify the definition of child care organization under Chapter 2 to read as follows:

CHILD CARE ORGANIZATION: An organization having as its principal function the receiving of minor children for care, maintenance, training, and supervision notwithstanding that educational instruction may be given. Child care organizations are licensed and regulated under the State of Michigan Act 116 of 1973, as amended, and include the following:

1. Child Care Center (or Day Care Center): A facility, other than a private residence, receiving one or more preschool or school age children for care for periods of less than twenty-four (24) hours a day and for not less than two (2) consecutive weeks and where the parents or guardians are not immediately available to the child.
2. Foster Family Home: A private home in which one (1) but not more than four (4) minor children, who are not related to an adult member of the household by blood, marriage or who are not placed in the household pursuant to the adoption code, are given care and supervision for twenty-four (24) hours a day, for four (4) or more days a week for two (2) or more consecutive weeks, unattended by a parent or legal guardian.
3. Foster Family Group Home: A private home in which more than four (4) but fewer than seven (7) minor children, who are not related to an adult member of the household by blood, marriage, or who are not placed in the household pursuant to the adoption code, are provided care for twenty-four (24) hours a day, for four (4) or more days a week for two (2) or more consecutive weeks, unattended by a parent or legal guardian.

Vandermeer questioned when we can determine we follow the State rules and when we don't follow the State rules. Pung stated our current ordinance is consistent with how the State defines it. Within the last legislature they passed a new bill that said there is the allowance for that increase capacity but they have to be in operation for 3 years received no violations then they can apply for the increased capacity. Discussion ensued.

***Group Child Day Care Home Proximity**

The Zoning Ordinance currently requires that a group child day care home not be located within a 1,200 foot radius of any other group child day care. The radius is measured in a straight line from the actual location of the use to the nearest property line of the other group child day care home.

Current zoning ordinance language for Section 3.20.A

A. Requirements Pertaining to Group Child Day Care Homes

1. There shall be sufficient on-site outdoor play area to meet state regulations. All required outdoor play areas shall be fenced with a minimum of four (4) foot tall fence, provided that no such fence shall be located in the front yard.
2. Ingress and egress shall be provided as far as possible from two (2) intersecting streets and shall be at least one hundred (100) feet from two through streets.
3. A group child day care shall not be located within a twelve hundred (1,200) foot radius of any other group child day care.
4. For the purpose of this Section, the measurement of a radius shall be measured in a straight line from the actual location of the use to the nearest property line of the other group day care home.
5. An on-site drive shall be provided for drop offs/loading. This drive shall be arranged to allow maneuvers without creating a hazard to traffic flow on the public street.

In April, the Planning Commission reviewed the current separation requirement (see attached memo dated April 5, 2022). The Planning Commission was favorable to amending the ordinance to measure the 1,200 foot separation along a street, road, or other public throughfare.

Poyner questioned why we are doing the radius. Pung stated it is easier to measure from the radius but you also get a large separation. Main reason for the separation didn't want so many group daycares that may have an impact on traffic during peak time.

Benoit stated he likes the option of removing the proximity all together let the State do it if we aren't having any problems there is nothing there to fix.

***Placement of Wall Signs in Industrial Districts**

Currently Section 10.03.E requires that wall signs in the I1 and I2 districts be placed on the wall facing the street frontage.

The I1 and I2 districts are the only zoning districts where wall signs are required to be placed on the wall facing the street. In other districts, such as commercial and office districts, the property owner/tenant can decide on which wall to place their allotted wall sign(s).

There are circumstances, especially with multi-tenant buildings, where a tenant space may not face a street, or it may not be practical or desirable to place the sign on the wall facing the street.

In April, the Planning Commission discussed this requirement, it was the consensus of the Commission that the requirement that wall signs in industrial be placed on the wall facing the street frontage be removed.

***PUD Site Plan Deviation Procedures**

Current ordinance just refers to the wrong section

Amend Section 12.13.A.2 of the Zoning Ordinance.

Proposed zoning ordinance language for Section 3.20.A

A. Amendments and Deviations from Approved Final PUD Site Plan

1. Deviations: Deviations from the approved Final PUD Site Plan may occur only when an applicant or property owner granted Final PUD Site Plan approval notifies the Zoning Administrator of the proposed amendment to such approved site plan in writing, accompanied by a site plan illustrating the proposed change, and receives approval consistent with this section. The request shall be received prior to initiation of any construction in conflict with the approved Final PUD Site Plan.
2. Procedure: Within fourteen (14) days of receipt of a request to amend the Final PUD Site Plan, the Zoning Administrator shall determine whether the change is major, warranting review by the Planning Commission, or minor, allowing administrative approval, as outlined in Section 13.05.I.

(The current ordinance refers to a zoning ordinance section (13.05 (D) 8) which does not existing, the proposed amendment would refer to the correct section of the zoning ordinance.)

Holtrop questioned how we know the difference between minor and major in a 2. Pung stated there is another section in the ordinance that defines what a major and minor change is.

***Chapter 8 Flood Plain amendments**

Amend Section 4.01 of the Zoning Ordinance to comply with Federal requirements.

Proposed zoning ordinance language for Section 4.01

Section 4.01 FLOODPLAIN

This district relies upon the analysis of flood prone lands in the city as defined by the Federal Emergency Management Agency ("FEMA") in a scientific and engineering report entitled "The Flood Insurance Study for Kent County, All Jurisdictions," dated February 23, 2023, with its accompanying Flood Insurance Rate Maps ("FIRM") panels 26081 CINDIA and 26081 CINDA2A, effective February 23, 2023, which documents are hereby adopted by reference and declared to be a part of this ordinance. The limitations of the flood prone areas shall be considered to be the 100- year floodplain as shown on the most current FIRM.

The proposed changes are to comply with Federal requirements

K. New Business

Motion by Holtrop, supported by Poyner, to set public hearing date of February 14, 2023, for: Case#3-23 – Caring Hearts Adult Day Center – Special Land Use and Site plan Review for an Adult Daycare located at 4488 Breton Ave SE Case#4-23 – Snackcraft Building Addition – Major Change to a PUD and Final Site Plan Review located at 4444 – 52nd Street SE; Case#5-23 – Blue Pearl Specialty and Emergency Pet Hospital – Special Land Use and Site Plan Review for an Animal Hospital located at 2500 East Paris Ave SE

- Motion Carried (9-0) -

L. Other Business

1. Residential Architectural Amendments

Pung submitted a redline and clean version of the current draft proposed ordinance amendments for residential architectural design Zoning Ordinance Section 3.05 and Section 3.22

A letter was submitted from the Home Builders Association. Staff stated they will have the City Attorney look into the letter.

2. Election of Officers

Motion by Benoit, supported by Quinn, to keep the board officers the same

Chair – Sandra Jones
Vice Chair Holtrop

Secretary – Ed Kape

- Motion Carried (9-0) –

3. Committee Appointments

Benoit - LUZ

VanderMeer – Open Space

Poyner – Structures and Improvements Plan

Quinn – Conservation Oriented Development

Weir – Open Space

Porter – Structures and Improvements

4. Commissioners' Comments

The Commissioners welcomed the new commissioner Alex Porter

Porter stated he is the Global Director of Engineering at Intertek. He has lived in the City of Kentwood for 11 years but 30 years at Intertek.

Holtrop stated the number of cars at GR Auto Gallery are in the parking lot has increased. Also, Patterson south of 44th Street two more auto places that were approved there have been cars stored outside those as well.

5. Staff's Comments

Staff offered no additional comments.

M. Adjournment

Motion by Commissioner Benoit, supported by Commissioner Poyner, to adjourn the meeting.

- Motion Carried (9-0) –

Meeting adjourned at 8:05pm

Respectfully submitted,

Ed Kape, Secretary



**CITY OF KENTWOOD
PLANNING COMMISSION
PROPOSED
FINDINGS OF FACT
JANUARY 24, 2023**

Golder 12/28/22

PROJECT: Steelcase PUD Major Change

APPLICATION: 1-23

REQUEST: Major Change to an Approved PUD Site Plan

LOCATION: 4308 52nd Street SE

HEARING DATE: January 10, 2023

MOTION: **Motion by Poyner, supported by Quinn, to recommend to the City Commission conditional approval of the request for Major Change to an Approved PUD Site Plan for the site plan dated December 20, 2022 for the Steelcase PUD as described in Case No. 1-23. Approval is conditioned on the following: Approval is conditioned upon conditions 1 –9 and basis points 1 – 7 as described Golder’s memo dated December 28, 2022**

- Motion Carried (9-0) –

CONDITIONS:

1. Compliance with the applicant’s written description of the proposed Amendment to the IPUD Plan dated December 21, 2022.
2. Review and approval by staff and the city attorney of a revised PUD Development Agreement, and execution of the Development Agreement by all parties required to sign.
3. Compliance with the City Engineer memo dated December 9, 2022, and the Kentwood Fire Marshal memo dated December 1, 2022.
4. Driveways portrayed on the site plan shall be labeled “Potential Curb Cuts”.
5. The application for Final Site Plan approval shall include a justification for each proposed driveway. Any land division (beyond the division of the overall 27 acres) shall occur only after final site plan approval.

6. Final approval of driveway design by Kentwood City Engineer. This shall include entry gate design.
7. Final approval of landscaping plan related to any proposed driveways on 52nd Street. Landscaping plan shall include proposed fencing and gates on the property.
8. Staff approval of final building elevations and lighting.
9. Planning Commission approval of the final PUD plan(s).

BASIS

1. An amendment to the Steelcase Planned Unit Development was approved in 2014 and 2017 and a revised PUD Agreement was signed at that time detailing requirements and restrictions within the development. With the proposed major change, the overall PUD Agreement must be amended again.
2. The applicant has indicated that they may lease the facility to one, two, or three separate lessees. Therefore, it is not known at this time how many driveways may be necessary. Since the 27-acre parcel needs to be physically separate from Steelcase, at least one driveway would be permitted for the site. However, the applicant will need to provide justification as to why tenants may need additional driveways, given the lack of traffic volume generated by the potential users identified.

Section 17.10 of the Zoning Ordinance addresses access management for driveways onto arterial streets within the city. Section 17.11 B indicates that the number of driveways shall be the minimum necessary to provide reasonable access for regular traffic and emergency vehicles. The applicant will need to provide justification for the number of driveways requested.

3. The City Engineer shall determine whether the proposed driveways meet city standards for design and width. The developer must provide information on proposed entry gates to determine whether gated access will create stacking issues on 52nd Street. Additional review by the applicant's traffic engineer may be necessary to determine whether the proposed gated access design is acceptable.
4. The applicant has indicated that fencing might be required to separate the Steelcase property from the 27-acre property under consideration. The location and design of the fence must be noted on the site plan.

5. The PUD Agreement outlines requirements for the tree preservation and landscaping plans within the PUD. These can be addressed at the time of final PUD Approval.
6. The 2017 PUD Development Agreement holds any new construction to the same standard that is used for any commercial or industrial building within the city.
7. Discussion and representations during the work session and public hearings.



PLANNING STAFF RECOMMENDATION

Pung 1/18/23

PROJECT: Zoning Ordinance Text Amendments

APPLICATION: 2-23

HEARING DATE: January 24, 2023

REVIEW TYPE: Zoning Ordinance Amendment Relating to Multiple-Family Dwelling Definition

RECOMMENDATION: Recommend to the City Commission to amend the Kentwood Zoning Ordinance No. 9-02 as follows:

Amend the definition of Dwelling, Multiple in Section 2,02 to read as follows:

DWELLING, MULITPLE-FAMILY: A building or portion of a building, used or designated for use as a residence for more than two (2) families living independently of each other. This definition does not include manufactured homes, single family attached dwellings or two (2) family dwellings.

REDLINE VERSION

DWELLING, MULITPLE-FAMILY: A building or portion of a building, used or designated for use as a residence for more than two (2) families living independently of each other. This definition does not include manufactured homes, single family attached dwellings or two (2) family dwellings.

BASIS:

1. Change to clarify that the definition refers to multiple-family residential dwellings consistent with the definition language for single family attached, detached, and two family dwellings.



PLANNING STAFF RECOMMENDATION

Pung 1/18/23

PROJECT: Zoning Ordinance Text Amendments

APPLICATION: 2-23

HEARING DATE: January 24, 2023

REVIEW TYPE: Zoning Ordinance Amendment to Chapter 16 relating to Menu Boards

RECOMMENDATION: Recommend to the City Commission to amend the Kentwood Zoning Ordinance No. 9-02 as follows:

Add Subsection K to Section 16.03 Signs Permitted or Prohibited

K. Menu Boards and Companion Display for Drive-through and Vehicle Wash Establishments

1. Menu board shall not exceed sixty-four (64) square feet in area nor exceed a height of ten (10) feet
2. Menu board shall be located within ten (10) feet of where the order is placed.
3. Companion display shall not exceed sixteen (16) square feet in area nor exceed a height of ten (10) feet.
4. Companion display shall be located adjacent to a menu board to communicate special pricing and services.

BASIS:

1. Based on the definition in Section 2.20.S of the Zoning Ordinance a menu board in many respects is a sign. However, when the menu board is located at the rear of a site, the focus is narrowed to the specific options and associated pricing rather than attracting attention to or identifying a business to motorists etc. It is practical and desirable to allow drive-through establishments and vehicle wash establishments a limited ability to communicate to customers the specific options and pricing information in a manner distinguished from the freestanding, wall, and window identification sign allowances
2. Currently the Zoning Ordinance does not specifically make allowance for menu board or pre-order boards for drive-through establishments or vehicle wash establishments. Such signs are currently allowed through a Zoning Administrator interpretation. The proposed amendment to the Zoning Ordinance would explicitly make allowance for menu boards and pre-order boards as permitted signs.



PLANNING STAFF RECOMMENDATION

Pung 1/18/23

PROJECT: Zoning Ordinance Text Amendments

APPLICATION: 2-23

HEARING DATE: January 24, 2023

REVIEW TYPE: Zoning Ordinance Amendment Relating Wall Signs in Industrial Districts

RECOMMENDATION: Recommend to the City Commission to amend the Kentwood Zoning Ordinance No. 9-02 as follows:

Amend Section 10.03.E to read as follows:

Signs Permitted	I-1 and I-2 Districts				Other Requirements
	Size	Number	Height	Location	
Freestanding –For each main building with less than 150 ft. of front wall width	48 sq. ft.	1/main building	15 ft.	At least seventeen (17) feet behind the public right-of-way	Sign must complement the architectural details of the building and be appropriately landscaped
Freestanding –For each main building of ft. 150 or greater front wall width	Area equal to 2% of the area of the front wall up to 100 sq. ft.				
Industrial Park Identification Sign	48 sq. ft.	1/each Park entrance	15 ft.	At least seventeen (17) feet behind the public right-of-way	May be freestanding or attached to a wall or fence; must be appropriately landscaped
Wall – Main buildings with a wall width of up to 250 ft.	1 sq. ft. for each 2 ½ lineal foot of wall	1/street frontage	Cannot extend above roof line		Area of wall signs is calculated by using the wall to which the sign will be attached
Wall – Main buildings with a wall width of 250 ft. or more	1 sq. ft. for each 2 ½ lineal foot of wall plus 1 sq. ft. for each 5 lineal ft. of wall in				

Signs Permitted	I-1 and I-2 Districts				Other Requirements
	Size	Number	Height	Location	
	excess of 250 lineal ft..				
Non-Commercial	32 sq. ft	1/issue or candidate per street frontage	4 ft.	Behind the ROW	Signs may remain until deemed unsightly through disrepair or action of the elements
Real Estate	32 sq. ft.	1/premise or building	4 ft. above mean grade If less than 10 ft. from ROW line 6 ft. above mean grade If 10 ft. or more from ROW line	Behind the ROW	Permitted only when property is for sale, rent, or lease
Directional	24 sq. ft.	Only to the extent necessary as determined by the Zoning Administrator for traffic safety, subject to approved plan for design, number, and location.			
Portable	32 sq. ft.	1/lot	4 ft. above mean grade If less than 10 ft. from ROW line 6 ft. above mean grade If 10 ft. or more from ROW line	Behind the ROW and in a location where driver visibility is not impaired	Limited to 30 days of display in any calendar year
Billboard	300 sq. ft.	1/lot as a principal use only	25 ft.	Set back 100 ft. from street right-of-way line	Approved by Special Land Use in accordance with Chapter 15

REDLINE VERSION

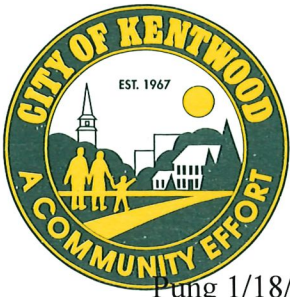
Signs Permitted	I-1 and I-2 Districts				Other Requirements
	Size	Number	Height	Location	
Freestanding –For each main building with less than 150 ft. of front wall width	48 sq. ft.	1/main building	15 ft.	At least seventeen (17) feet behind the public right-of-way	Sign must complement the architectural details of the building and be appropriately landscaped
Freestanding –For each	Area equal to 2% of the				

Signs Permitted	I-1 and I-2 Districts				Other Requirements
	Size	Number	Height	Location	
main building of ft. 150 or greater front wall width	area of the front wall up to 100 sq. ft.				
Industrial Park Identification Sign	48 sq. ft.	1/each Park entrance	15 ft.	At least seventeen (17) feet behind the public right-of-way	May be freestanding or attached to a wall or fence; must be appropriately landscaped
Wall – Main buildings with a wall width of up to 250 ft.	1 sq. ft. for each 2 ½ lineal foot of wall	1/street frontage	Cannot extend above roof line	On-wall facing-street frontage	Area of wall signs is calculated by using the wall to which the sign will be attached
Wall – Main buildings with a wall width of 250 ft. or more	1 sq. ft. for each 2 ½ lineal foot of wall plus 1 sq. ft. for each 5 lineal ft. of wall in excess of 250 lineal ft..				
Non-Commercial	32 sq. ft.	1/issue or candidate per street frontage	4 ft.	Behind the ROW	Signs may remain until deemed unsightly through disrepair or action of the elements
Real Estate	32 sq. ft.	1/premise or building	4 ft. above mean grade If less than 10 ft. from ROW line 6 ft. above mean grade If 10 ft. or more from ROW line	Behind the ROW	Permitted only when property is for sale, rent, or lease
Directional	24 sq. ft.	Only to the extent necessary as determined by the Zoning Administrator for traffic safety, subject to approved plan for design, number, and location.			
Portable	32 sq. ft.	1/lot	4 ft. above mean grade If less than 10 ft. from ROW line	Behind the ROW and in a location where driver visibility is not impaired	Limited to 30 days of display in any calendar year
			6 ft. above mean grade		

Signs Permitted	I-1 and I-2 Districts				Other Requirements
	Size	Number	Height If 10 ft. or more from ROW line	Location	
Billboard	300 sq. ft.	1/lot as a principal use only	25 ft.	Set back 100 ft. from street right-of-way line	Approved by Special Land Use in accordance with Chapter 15

BASIS:

1. Currently the ordinance requires that wall signs within industrial districts be placed on the wall facing the street frontage. The industrial districts are the only districts where wall signs are required to be placed on the wall facing the street frontage.
2. There are circumstances, especially with multi-tenant buildings, where a tenant space may not face a street, or it may not be practical or desirable to place the sign on a wall facing the street frontage.



PLANNING STAFF RECOMMENDATION

Pung 1/18/23

PROJECT: Zoning Ordinance Text Amendments

APPLICATION: 2-23

HEARING DATE: January 24, 2023

REVIEW TYPE: Zoning Ordinance Amendment Relating to Group Child Day Care Home Proximity

RECOMMENDATION: Recommend to the City Commission to amend the Kentwood Zoning Ordinance No. 9-02 as follows:

Amend Section 3.20.A to read as follows:

A. Requirements Pertaining to Group Child Day Care Homes

1. There shall be sufficient on-site outdoor play area to meet state regulations. All required outdoor play areas shall be fenced with a minimum of four (4) foot tall fence, provided that no such fence shall be located in the front yard.
2. Ingress and egress shall be provided as far as possible from two (2) intersecting streets and shall be at least one hundred (100) feet from two through streets.
3. A group child day care shall not be located within a twelve hundred (1,200) feet of any other group child day care.
4. For the purpose of this Section, the measurement shall be measured along a street, road, or other public throughfare from the actual location of the use to the nearest property line of the other group day care home.
5. An on-site drive shall be provided for drop offs/loading. This drive shall be arranged to allow maneuvers without creating a hazard to traffic flow on the public street.

REDLINE VERSION

A. Requirements Pertaining to Group Child Day Care Homes

1. There shall be sufficient on-site outdoor play area to meet state regulations. All required outdoor play areas shall be fenced with a minimum of four (4) foot tall fence, provided that no such fence shall be located in the front yard.
2. Ingress and egress shall be provided as far as possible from two (2) intersecting streets and shall be at least one hundred (100) feet from two through streets.
3. A group child day care shall not be located within a twelve hundred (1,200) ~~feet~~ **radius feet** of any other group child day care.

4. For the purpose of this Section, the measurement ~~of a radius~~ shall be ~~measured in~~ ~~a straight line along a street, road, or other public throughfare~~ from the actual location of the use to the nearest property line of the other group day care home.
5. An on-site drive shall be provided for drop offs/loading. This drive shall be arranged to allow maneuvers without creating a hazard to traffic flow on the public street.

BASIS:

1. The proposed amendments are consistent with how other municipalities measure such separation requirements and is consistent with the Michigan Zoning Enabling Act (Act 110 of 2006 as amended).
2. All existing group child day homes would be in conformance with the proposed amendments.



PLANNING STAFF RECOMMENDATION

Pung 1/17/23

PROJECT: Zoning Ordinance Text Amendments

APPLICATION: 2-23

HEARING DATE: January 24, 2023

REVIEW TYPE: Zoning Ordinance Amendment Relating to Chapter 4: Flood Plain

RECOMMENDATION: Recommend to the City Commission to amend the Kentwood Zoning Ordinance No. 9-02 as follows:

Amend Section 4.01 to read as follows:

Section 4.01 FLOODPLAIN

This district relies upon the analysis of flood prone lands in the City as defined by the Federal Emergency Management Agency ("FEMA") in a scientific and engineering report entitled "The Flood Insurance Study for Kent County, All Jurisdictions," dated February 23, 2023, with its accompanying Flood Insurance Rate Maps ("FIRM") listed on index panels 26081 CIND1A and 26081 CIND2A, effective February 23, 2023, which documents are hereby adopted by reference and declared to be a part of this ordinance. The limitations of the flood prone areas shall be considered to be the 100-year floodplain as shown on the most current FIRM.

Amend Section 4.03.A to read as follows:

- A. This district shall apply to all lands within the city located within the mapped 100-year floodplain as shown on the FIRM. The provisions and restrictions of this district shall be considered to apply in addition to the provisions of underlying zoning districts shown on the official zoning map, sufficient to fulfill the purpose of this chapter.

Amend Section 4.04 to read as follows:

Section 4.04 TABLE OF USES

- A. The following abbreviations apply to the Table of Uses

P: These uses have a low flood damage potential because of their open space nature and shall be permitted by right to the extent that they are allowed uses in the underlying Zoning District.

SLU: The following uses shall be allowed only by Special Land Use approval, to the extent that they are allowed uses in the underlying Zoning Districts, provided all requirements of Chapter 15 are met and priority is given to the retention of the site in its natural state.

F-1 FLOODPLAIN DISTRICT – TABLE OF USES	
Parks, swimming areas, picnic grounds, wildlife and nature preserves, fishing and hiking areas	P
Residential support uses such as lawns, gardens, parking areas and play areas	P
Utility facilities such as: transmission lines, pipelines, and water monitoring devices	P
Bridges, culverts, and river crossings of transmission lines	SLU
Accessory uses to any of the permitted uses as regulated in sections 3.15 and 3.16	SLU
Billboards and signs	SLU
Industrial-commercial accessory uses such as: loading areas, parking areas, and storage yards for equipment or machinery easily moved or not subject to flood damage	SLU
Golf courses, driving ranges	SLU
Storage yards for heavy equipment, materials or machinery	SLU
Transient amusement enterprises such as: circuses, carnivals and fairs	SLU

Add Section 4.07 to read as follows:

Section 4.07 CODE APPENDIX ENFORCED

As adopted under Section 74-31 of the City Code, pursuant to the provisions of the State Construction Code Act, in accordance with Sections 8a and 8b of Act 230, of the Public Acts of 1972, as amended, Appendix G of the Michigan Building Code is hereby expressly adopted and shall be enforced by the building official enforcing agency within the jurisdiction of City.

REDLINE VERSION

Section 4.01

Section 4.01 ~~FLOOD-PLAIN~~FLOODPLAIN

This ~~District-district~~ relies upon the analysis of flood prone lands in the City as defined ~~in~~ by the ~~City of Kentwood Flood Insurance Study dated May 18, 1981, prepared by the Federal Insurance Administration with accompanying Flood Insurance Rate Maps~~Federal Emergency Management Agency ("FEMA") in a scientific and engineering report entitled "The Flood Insurance Study for Kent County, All Jurisdictions," dated February 23, 2023, with its accompanying Flood Insurance Rate Maps ("FIRM") listed on index panels 26081 CIND1A and 26081 CIND2A, effective February 23, 2023, which documents are hereby adopted by reference and declared to be a part of this ordinance.. The study and accompanying maps, as amended from time to time, are adopted by reference, and declared to be a part of this Ordinance. The limitations of the flood prone areas shall be considered to be the ~~one hundred (100)~~100-year floodplain as shown on the most current ~~Federal Insurance Administrations maps~~FIRM.

Section 4.03.A:

- A. This district shall apply to all lands within the ~~City-city~~ located within the ~~mapped 100-year floodplain as shown on the FIRM boundaries of the Plaster Creek, Little Plaster Creek, and Whiskey Creek Floodplains as shown on the Federal Insurance Administration maps.~~ The provisions and restrictions of this District shall be considered to apply in addition to the provisions of underlying Zoning Districts shown on the Official Zoning Map, sufficient to fulfill the purpose of this Chapter.

Section 4.04 TABLE OF USES

- A. The following abbreviations apply to the Table of Use:

- P: These uses have a low flood damage potential because of their open space nature and shall be permitted by right to the extent that they are allowed uses in the underlying Zoning District
- SLU: The following uses shall be allowed only by Special Land Use approval, to the extent that they are allowed uses in the underlying Zoning Districts, provided all requirements of Chapter 15 are met and priority is given to the retention of the site in its natural state.
- ~~NP: Use is not permitted in the District~~

F-1 FLOOD-PLAIN DISTRICT TABLE – TABLE OF USES	
Parks, swimming areas, picnic grounds, wildlife and nature preserves, fishing and hiking areas	P
Residential support uses such as lawns, gardens, parking areas and play areas	P
Utility facilities such as: transmission lines, pipelines, and water monitoring devices	P
Bridges, culverts, and river crossings of transmission lines, subject to approval by the Water Resources Commission of the Michigan Department of Environmental Quality	<u>PSLU</u>
Accessory uses to any of the permitted uses as regulated in sections 3.15 and 3.16	SLU
Billboards and signs	SLU
Industrial-commercial accessory uses such as: loading areas, parking areas, and storage yards for equipment or machinery easily moved or not subject to flood damage	SLU
Golf courses, driving ranges	SLU
Storage yards for heavy equipment, materials or machinery	SLU
Transient amusement enterprises such as: circuses, carnivals and fairs	SLU
A permanent structure of any type	NP
Agricultural uses such as: general farming, grazing pasture, truck farming, and fruit orchards	NP
Extraction uses such as sand, gravel, plaster, and other mining operations; or oil drilling	NP
Landfill, dump or junkyard	NP
Enlargement of an existing building	NP
On-site sewage disposal systems	NP
Storage or processing of materials which in time of flooding become buoyant, flammable, explosive or otherwise injurious to public health	NP

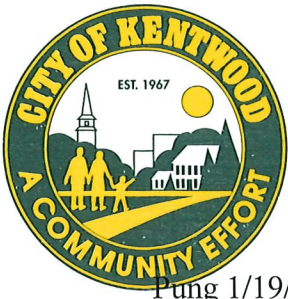
Section 4.07

Section 4.07 CODE APPENDIX ENFORCED

As adopted under Section 74-31 of the City Code, pursuant to the provisions of the State Construction Code Act, in accordance with Sections 8a and 8b of Act 230, of the Public Acts of 1972, as amended, Appendix G of the Michigan Building Code is hereby expressly adopted and shall be enforced by the building official enforcing agency within the jurisdiction of City.

BASIS:

1. The proposed adjustments to regulation of the floodplain are required to remain in compliance with the NFIP (National Flood Insurance Program).
2. Per the City Attorney, Section 4.03.B essentially states that “those uses not permitted are prohibited”; based on their recommendation, the items identified in the Table of Uses and “not permitted” have been removed.



PLANNING STAFF RECOMMENDATION

Pung 1/19/23

PROJECT: Zoning Ordinance Text Amendments

APPLICATION: 2-23

HEARING DATE: January 24, 2023

REVIEW TYPE: Zoning Ordinance Amendment to Section 12.13.A

RECOMMENDATION: Recommend to the City Commission to amend the Kentwood Zoning Ordinance No. 9-02 as follows:

Amend Section 12,13.A to read as follows:

A. Amendments and Deviations from Approved Final PUD Site Plan

1. Deviations: Deviations from the approved Final PUD Site Plan may occur only when an applicant or property owner granted Final PUD Site Plan approval notifies the Zoning Administrator of the proposed amendment to such approved site plan in writing, accompanied by a site plan illustrating the proposed change, and receives approval consistent with this section. The request shall be received prior to initiation of any construction in conflict with the approved Final PUD Site Plan.
2. Procedure: Within fourteen (14) days of receipt of a request to amend the Final PUD Site Plan, the Zoning Administrator shall determine whether the change is major, warranting review by the Planning Commission, or minor, allowing administrative approval, as outlined in Section 13.05.I.

REDLINE VERSION

A. Amendments and Deviations from Approved Final PUD Site Plan

1. Deviations: Deviations from the approved Final PUD Site Plan may occur only when an applicant or property owner granted Final PUD Site Plan approval notifies the Zoning Administrator of the proposed amendment to such approved site plan in writing, accompanied by a site plan illustrating the proposed change, and receives approval consistent with this section. The request shall be received prior to initiation of any construction in conflict with the approved Final PUD Site Plan.
2. Procedure: Within fourteen (14) days of receipt of a request to amend the Final PUD Site Plan, the Zoning Administrator shall determine whether the change is major, warranting review by the Planning Commission, or minor, allowing administrative approval, as outlined in Section ~~13.05(D)~~ **8 13.05.I.**

BASIS:

1. The ordinance currently refers to Section 13.05(D) 8 to determine if proposed changes to an approved site plan are considered minor or major changes. The section currently referenced is not correct, the proposed amendment would reference the correct section of the Zoning Ordinance.



PLANNING STAFF RECOMMENDATION

Pung 1/18/23

PROJECT: Zoning Ordinance Text Amendments

APPLICATION: 2-23

HEARING DATE: January 24, 2023

REVIEW TYPE: Zoning Ordinance Amendment Relating Child Care Facility Definitions

RECOMMENDATION: Recommend to the City Commission to amend the Kentwood Zoning Ordinance No. 9-02 as follows:

Amend the definition of Child Care Organization in Section 2,02 to read as follows:

CHILD CARE ORGANIZATION: An organization having as its principal function the receiving of minor children for care, maintenance, training, and supervision notwithstanding that educational instruction may be given. Child care organizations are licensed and regulated under the State of Michigan Act 116 of 1973, as amended, and include the following:

1. Child Care Center (or Day Care Center): A facility, other than a private residence, receiving one or more preschool or school age children for care for periods of less than twenty-four (24) hours a day and for not less than two (2) consecutive weeks and where the parents or guardians are not immediately available to the child.
2. Foster Family Home: A private home in which one (1) but not more than four (4) minor children, who are not related to an adult member of the household by blood, marriage or who are not placed in the household pursuant to the adoption code, are given care and supervision for twenty-four (24) hours a day, for four (4) or more days a week for two (2) or more consecutive weeks, unattended by a parent or legal guardian.
3. Foster Family Group Home: A private home in which more than four (4) but fewer than seven (7) minor children, who are not related to an adult member of the household by blood, marriage, or who are not placed in the household pursuant to the adoption code, are provided care for twenty-four (24) hours a day, for four (4) or more days a week for two (2) or more consecutive weeks, unattended by a parent or legal guardian.
4. Family Child Day Care Home: A private home in which one (1) but fewer than seven (7) minor children are received for care and supervision for periods of less than twenty-four (24) hours a day, unattended by a parent or legal guardian, except children related to an adult member of the family by blood, marriage, or adoption. Family day care home includes a home that gives care to an unrelated minor child for more than four (4) weeks

during a calendar year. Family child day care home includes a private home with increased capacity as defined by the State of Michigan.

5. Group Child Day Care Home: A private home in which more than six (6) but not more than twelve (12) minor children are given care and supervision for periods of less than twenty-four (24) hours a day unattended by a parent or legal guardian, except children related to the adult member of the family by blood, marriage, or adoption. Group day care home includes a home that gives care to an unrelated minor child for more than four (4) weeks during a calendar year. Group child day care home includes a private home with increase capacity as defined by the State of Michigan.
6. Child Caring Institution: A child care facility which is organized for the purpose of receiving children for care, maintenance, and supervision usually on a twenty-four (24) hour basis to more than six (6) children in a building maintained for that purpose and operates throughout the year. It includes a maternity home for the care of un-married mothers and institutions for orphaned, mentally, emotionally, or developmentally challenged or disturbed children.

REDLINE VERSION

CHILD CARE ORGANIZATION: An organization having as its principal function the receiving of minor children for care, maintenance, training, and supervision notwithstanding that educational instruction may be given. Child care organizations are licensed and regulated under the State of Michigan Act 116 of 1973, as amended, and include the following:

1. Child Care Center (or Day Care Center): A facility, other than a private residence, receiving one or more preschool or school age children for care for periods of less than twenty-four (24) hours a day and for not less than two (2) consecutive weeks and where the parents or guardians are not immediately available to the child.
2. Foster Family Home: A private home in which one (1) but not more than four (4) minor children, who are not related to an adult member of the household by blood, marriage or who are not placed in the household pursuant to the adoption code, are given care and supervision for twenty-four (24) hours a day, for four (4) or more days a week for two (2) or more consecutive weeks, unattended by a parent or legal guardian.
3. Foster Family Group Home: A private home in which more than four (4) but fewer than seven (7) minor children, who are not related to an adult member of the household by blood, marriage, or who are not placed in the household pursuant to the adoption code, are provided care for twenty-four (24) hours a day, for four (4) or more days a week for two (2) or more consecutive weeks, unattended by a parent or legal guardian.
- 3.4. Family Child Day Care Home: A private home in which one (1) but fewer than seven (7) minor children are received for care and supervision for periods of less than twenty-four (24) hours a day, unattended by a parent or legal guardian, except children related to an adult member of the family by blood, marriage, or adoption. Family day care home includes a home that gives care to an unrelated minor child for more than four (4) weeks

during a calendar year. Family child day care home includes a private home with increased capacity as defined by the State of Michigan.

~~4.~~5. Group Child Day Care Home: A private home in which more than six (6) but not more than twelve (12) minor children are given care and supervision for periods of less than twenty-four (24) hours a day unattended by a parent or legal guardian, except children related to the adult member of the family by blood, marriage, or adoption. Group day care home includes a home that gives care to an unrelated minor child for more than four (4) weeks during a calendar year. Group child day care home includes a private home with increase capacity as defined by the State of Michigan.

~~5.~~6. Child Caring Institution: A child care facility which is organized for the purpose of receiving children for care, maintenance, and supervision usually on a twenty-four (24) hour basis to more than six (6) children in a building maintained for that purpose and operates throughout the year. It includes a maternity home for the care of un-married mothers and institutions for orphaned, mentally, emotionally, or developmentally challenged or disturbed children.

BASIS:

1. In June of 2022, the State approved Act No. 106 of Public Acts of 2022 amending 1973 PA 116 making allowance for the increase in capacity of family child care homes (1 additional child – up to 7 total) and group child care homes (2 additional children – up to 14 total).
2. The Kentwood Zoning ordinance currently limits family child care homes to no more than six (6) children and group child care homes to no more than twelve (12) children.
3. The proposed amendments will bring the Zoning Ordinance definitions of family child day care home and group child day care home in alignment with the State of Michigan definitions and the new allowance for increased capacity.
4. The definition for Family Child Day Care Home is placed in its own section as opposed to under Foster Family Group Home

STAFF REPORT: January 12, 2023
PREPARED FOR: Kentwood Planning Commission
PREPARED BY: Joe Pung
CASE NO.: 03-23 Caring Hearts Adult Day Care Center

GENERAL INFORMATION

APPLICANT: Victoria Russell
2529 Bridgeport Lane, SE
Kentwood, MI 49508

STATUS OF APPLICANT: Potential Tenant

REQUESTED ACTION: Special Land Use and Site Plan Review for an Adult Day Care Facility

EXISTING ZONING OF SUBJECT PARCEL: C-PUD Commercial Planned Unit Development

GENERAL LOCATION: 4488 Breton Avenue

PARCEL SIZE: 8.91 acres

EXISTING LAND USE ON THE PARCEL: Multi-tenant Commercial Building

ADJACENT AREA LAND USES:
N: Office
S: Office/Senior Housing
E: Vacant Land
W: Office/Breton Avenue ROW

ZONING ON ADJOINING PARCELS:
N: C-PUD Commercial Planned Unit Development
S: C-PUD Commercial Planned Unit Development
E: C-PUD Commercial Planned Unit Development
W: C-PUD Commercial Planned Unit Development

Compatibility With Master Plan

The Master Plan recommendation is for commercial development in this area. The proposed adult day care facility is a special land use the C-PUD district and would therefore be consistent with the Master Plan recommendation.

Zoning History

The site has been zoned for commercial development since at least 1976. The property zoned to C-PUD Commercial Planned Unit Development in 1980. The site plan for the PUD was reviewed and approved in 1987

Relevant Zoning Ordinance Sections

Adult day care facilities are a special land use in the C-PUD Commercial Planned Unit Development district (Zoning Ordinance Section 12.05.B). Section 13.04 requires Planning Commission review and approval of special land uses. Section 15.02 outlines the general approval standards for special land uses. Section 13.08 outlines the general review standards. Section 14.05 outlines the site plan review standards. Section 15.04.B outlines the site design standards for an adult day care facility.

SITE INFORMATION

Site Characteristics

The parcel is 8.91 acres in area and is the site of a 71,317 square foot multi-tenant commercial building. The proposed use would be located within a vacant tenant space in the Brentwood Center.

Traffic & Circulation

The property can be accessed off of Breton Avenue and 44th Street.

Parking

The Zoning Ordinance requires a parking operations plan or a minimum of one (1) parking space per each three (3) clients computed on the basis of the greatest number of clients on site at a given time; information on the number of clients was not provided with the application materials. There are approximately 458 parking spaces on site which exceeds the minimum parking requirements (255 parking spaces) for a retail center the size of Brentwood Center. Based on the description of the operation and the current tenant mix and occupancy for the shopping center, the parking currently provided on-site should be more than adequate to support the proposed use.

Engineering

The development will have to meet all applicable Engineering Department regulations.

Fire

The development will have to meet all applicable Fire Department regulations.

Staff Comments

- 1) The applicant intends to operate an adult day care facility within a 6,648 square foot tenant space formerly occupied by The Well Church.
- 2) An adult day care facility is defined in the Zoning Ordinance as an unlicensed facility which provides care for elderly and/or functionally impaired adults in a protective setting for a portion of a twenty-four (24) hour day.
- 3) Section 15.02 of the Zoning Ordinance (Special Approval Standards) states that the Planning Commission must determine that the proposed special land use and its location meet the following standards:
 - A. Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed.

The proposed use is consistent with the intended character of the area. The site is developed and no exterior changes to the site have been proposed. Use of the property would continue to be commercial in nature.

- B. Be served adequately by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities or schools.

The site is adequately served by essential public services.

- C. Not create excessive additional requirements at public cost for public facilities and services.

The proposed use is not anticipated to create additional requirements for public facilities and services at public cost.

- D. Not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The proposed use is not anticipated to create excessive traffic, noise, smoke, fumes, or odors that will be detrimental.

- E. Be consistent with the intent and purpose of the zoning district in which it is proposed to locate such use.

The proposed use is a special land use within the zoning district and as such can be considered consistent with the zoning and the Master Plan recommendation for industrial development.

- F. Be subject to stipulations by the Planning Commission of additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for insuring that the intent and objectives of the Zoning Ordinance will be observed. The breach of any condition, safeguard or requirement shall automatically invalidate the granting of the Special Land Use.

- G. Comply with all applicable licensing ordinances.

- 4) Section 15.04 of the Zoning Ordinance identifies the following special land use site design standards for the adult day care facility:

1. The use shall be registered with the City.

A Business License Application has been submitted.

2. Non-residential parking setback and screening provisions shall apply.

The proposed facility is located within an existing multi-tenant retail center and will be utilizing the existing parking facilities for the center. The main parking area is to the west of the primary entrance and is screened from the rear and side property lines by the existing building and a landscaped detention pond.

3. The building shall have an appearance that is non-intrusive and consistent in color, materials, roofline, and architecture with the Residential District and neighborhood in which it is located.

The facility will not be located within a residential district or neighborhood.

4. An on-site drive shall be provided for drop offs/loading. This drive shall be located to allow maneuvers without creating a hazard to traffic flow on the public street.

The tenant space entrance is over 400 feet from Breton Avenue. Vehicle traffic for this use would not create a hazard to traffic flow on any adjacent public streets.

5. The lot shall be located so that at least one (1) side abuts an arterial or collector street and all access shall be from an arterial or collector street.

The site abuts 44th Street and Breton Avenue, both of which are arterial streets.

6. The facility may operate a maximum of sixteen (16) hours per day.

Per the *Business License Application* submitted to the city, the hours of operation would be 6 a.m. to 7 p.m. (13 hours) on weekdays with varying hours on weekends.

Exhibit 1: Project Location (2020 Aerial Photo)

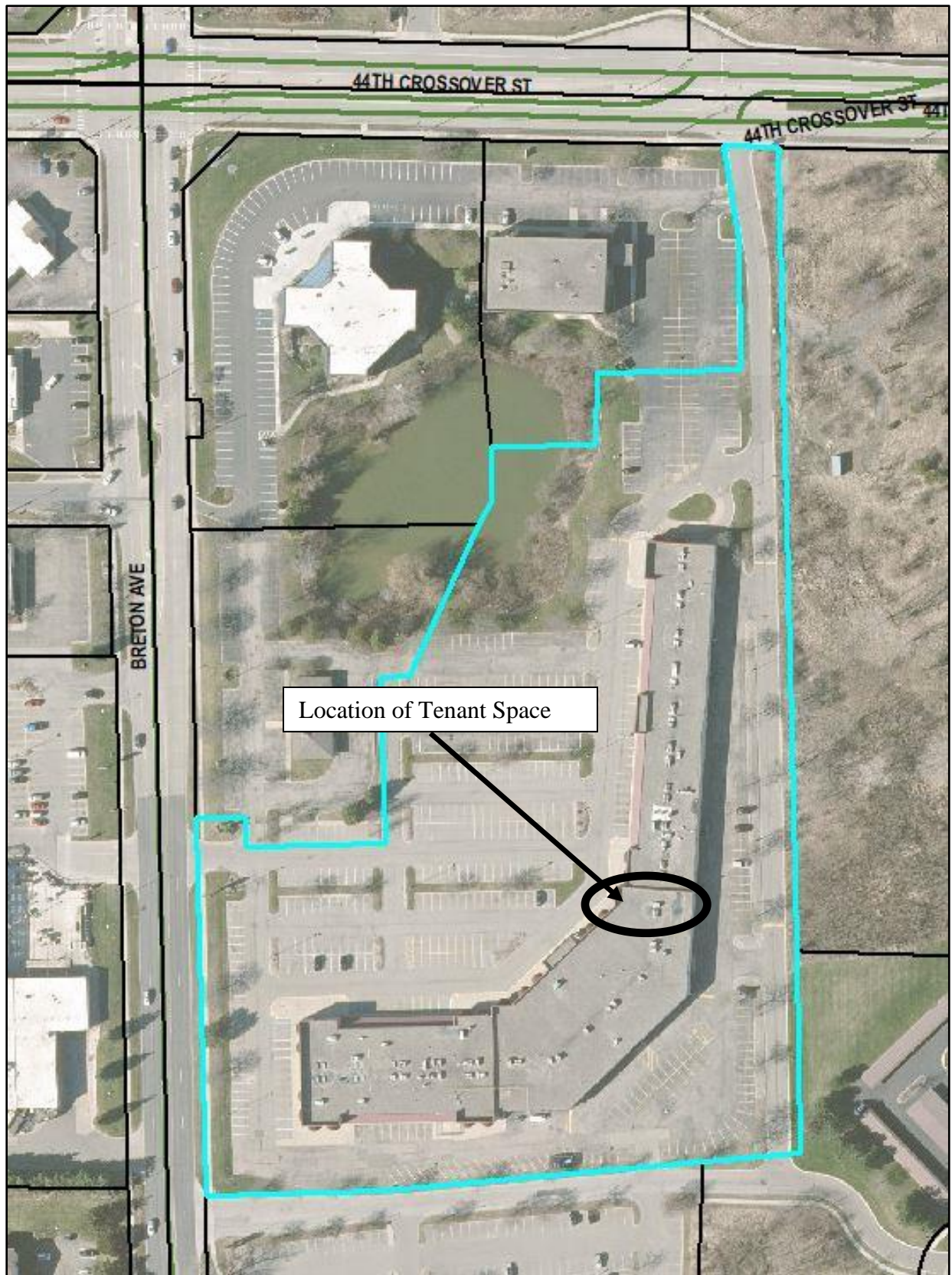


Exhibit 2: Tenant Space Entrance



Caring Hearts Adult Day Center

At our Adult Day Care Center, our trained and compassionate staff provides quality personal care, social activities, supportive assistance, and cognitive stimulation. They follow our daily schedule.

Attending our daytime adult day programs leads to improved well-being and increased socialization. All this occurs in our safe, nurturing and comfortable community setting. Full supervision by our experienced management team provides the structure for success.

We will offer respite for family/caregivers and the opportunities to avoid isolation, offer companionship. This will help older adults to better manage their independence, to break the cycle of isolation and loneliness and to actively participate in a peer community through social services planned program of events, such as daily exercise, arts and crafts, music, discussion support groups and companionship with like-minded people.

Nutritious meals and snacks along with special meals are offered to those with specific dietary needs.

We will celebrate birthdays, special events and Holidays in a way fitting for the participants.

Adult Day Care empowers a participant's overall behavior and gives the family/caregiver a needed break and time off.

Or Daily Schedule

7:00-8:00 drop off

8-9:00 a.m.

9-10:00 a.m.

10-10:45 a.m.

10:45-11:15 a.m.

11:15-11:30 a.m.

11:30-12:30 p.m.

12:30-1:30 p.m.

1:30-4:00 p.m.

3:00 p.m.

Tentative

Nutritious Breakfast

Welcome & Current Event/Socialization

Word Games & Cognitive Fun

Get Fit Activities

Hydration Station & Snack

Bingo & Hands-on Activities

Delicious Lunch

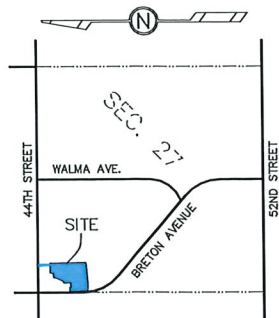
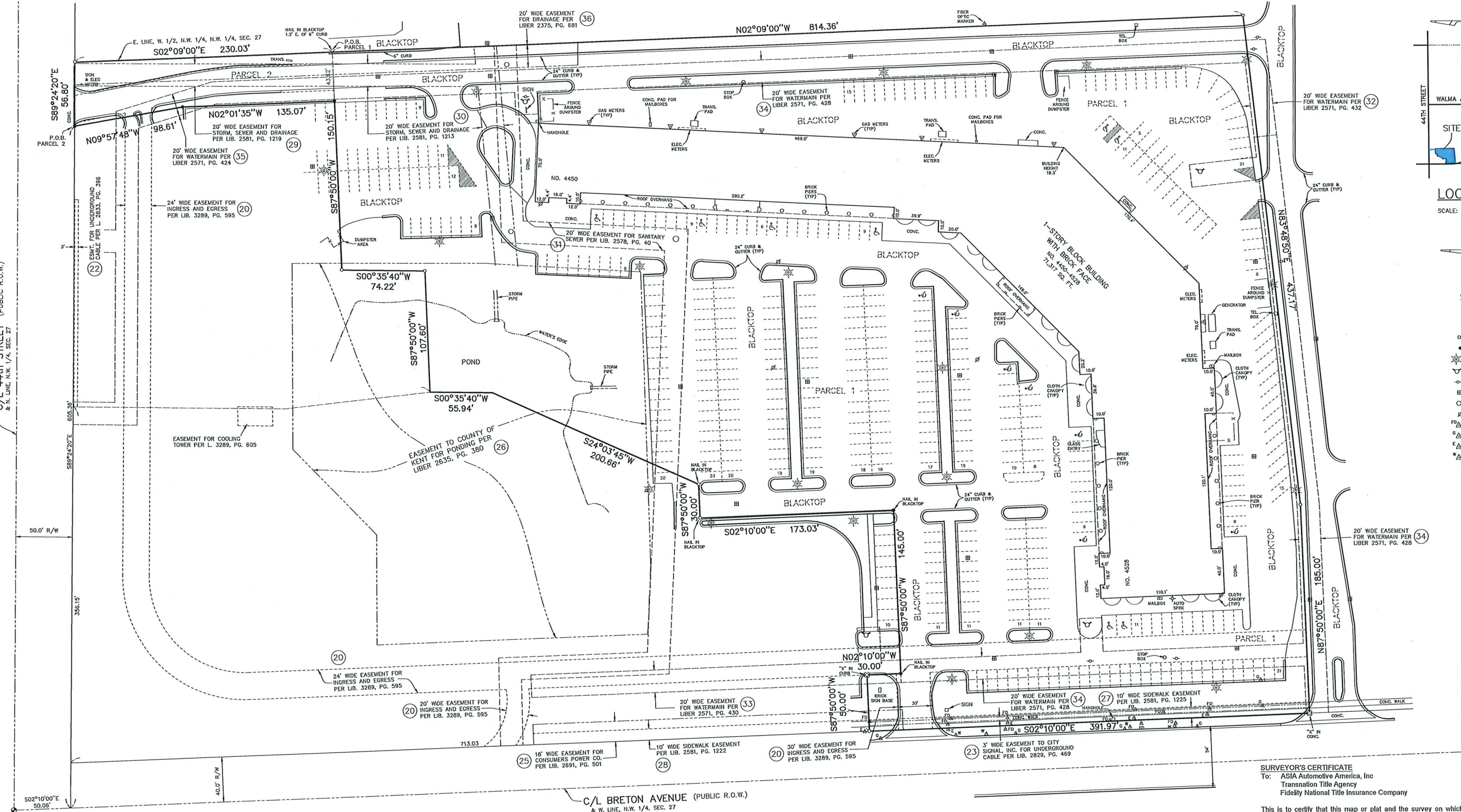
Activities Galore

Afternoon Snack

Additional regular activities include Arts & Crafts, Yoga Dance, Easy Movement, Music Sing-a-Longs,

C/L 44th STREET (PUBLIC R.O.W.)
& N. LINE, N.W. 1/4, SEC. 27

N.W. COR.
SEC. 27



LOCATION MAP

SCALE: 1" = 2000'



SCALE: 1" = 40'

LEGEND

- = IRON STAKE FOUND
- = IRON STAKE SET
- ✱ = LIGHT POLE
- ⋈ = HYDRANT
- ⋈ = WATERMAIN VALVE
- ⊠ = CATCH BASIN
- = MANHOLE
- ⊘ = CLEAN OUT
- ⋈ = BURIED FIBER OPTIC MARKER
- ⋈ = BURIED GAS LINE MARKER
- ⋈ = BURIED ELECTRIC MARKER
- ⋈ = BURIED WATERMAIN MARKER



SURVEYOR'S CERTIFICATE
To: ASIA Automotive America, Inc
Transnation Title Agency
Fidelity National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 4, 7a, 7b1, 8 and 9 of Table A thereof. The field work was completed on September 11, 2020.

October 1, 2020

Brent M. Feyen, P.E.
Brent M. Feyen, P.E. 55904

ALTA/NSPS LAND TITLE SURVEY

RE: 4450 BRETON AVE SE

FOR: ASIA AUTOMOTIVE AMERICA, INC
ATTN: HOON CO
3001 W BIG BEAVER RD; STE 410
TROY, MI 48064

PART OF THE NW 1/4, SECTION 27, T6N, R11W, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN



DRAWN BY: BMF/BAB PROJ. ENG.:
APPROVED BY: BMF PROJ. SURV.: BMF
FILE NO.: S201775 DATE: 10/1/2020

SHEET
1 of 1

Description as Furnished: (Parcel 1)
That part of the W 1/2 of the NW 1/4 of the NW 1/4 of Section 27, T6N, R11W, City of Kentwood, Kent County, Michigan, described as: Commencing at the NW corner of said Section 27; thence S2°10'00"E 50.06 feet along the West line of said Section 27 to the South right-of-way line of 44th Street (100 feet wide) extended Westerly; thence S89°24'20"E 662.16 feet along said South right-of-way line and its Westerly extension thereof to the East line of said W 1/2 of the NW 1/4 of the NW 1/4 of Section 27; thence S2°09'00"E 230.03 feet along said East line of the W 1/2 of the NW 1/4 of the NW 1/4 of Section 27; thence S87°50'00"W 107.60 feet to a point that is 318.50 feet S0°35'40"W from a point on the South right-of-way line of 44th Street (100 feet wide) that is 372.16 feet S89°24'20"E along said South right-of-way line and its Westerly extension thereof from the West line of said Section 27; thence S0°35'40"W 55.94 feet; thence S24°03'45"W 200.66 feet; thence S87°50'00"W 30.00 feet; thence S2°10'00"E 173.03 feet; thence S87°50'00"W 145.00 feet; thence N2°10'00"W 30.00 feet parallel with the East right-of-way line of Breton Avenue (80 feet wide); thence S87°50'00"W 50.00 feet to said East right-of-way line of Breton Avenue (80 feet wide) at a point that is 713.03 feet S2°10'00"E along said East right-of-way line from the South right-of-way line of 44th Street (100 feet wide); thence S2°10'00"E 391.97 feet along said East right-of-way line of Breton Avenue; thence N87°50'00"E 185.00 feet; thence N83°48'50"E 437.17 feet to the East line of said W 1/2 of the NW 1/4 of the NW 1/4 of the NW 1/4 at a point that is 814.36 feet S2°09'00"E from the place of beginning of this description; thence N2°09'00"W 814.36 feet along said East line of the W 1/2 of the NW 1/4 of the NW 1/4 to the place of beginning.

Together with rights under a reciprocal parking easement agreement recorded in Liber 3186 on Page 1198, and under a reciprocal access easement agreement recorded in Liber 3289 on Page 595, Kent County Records.

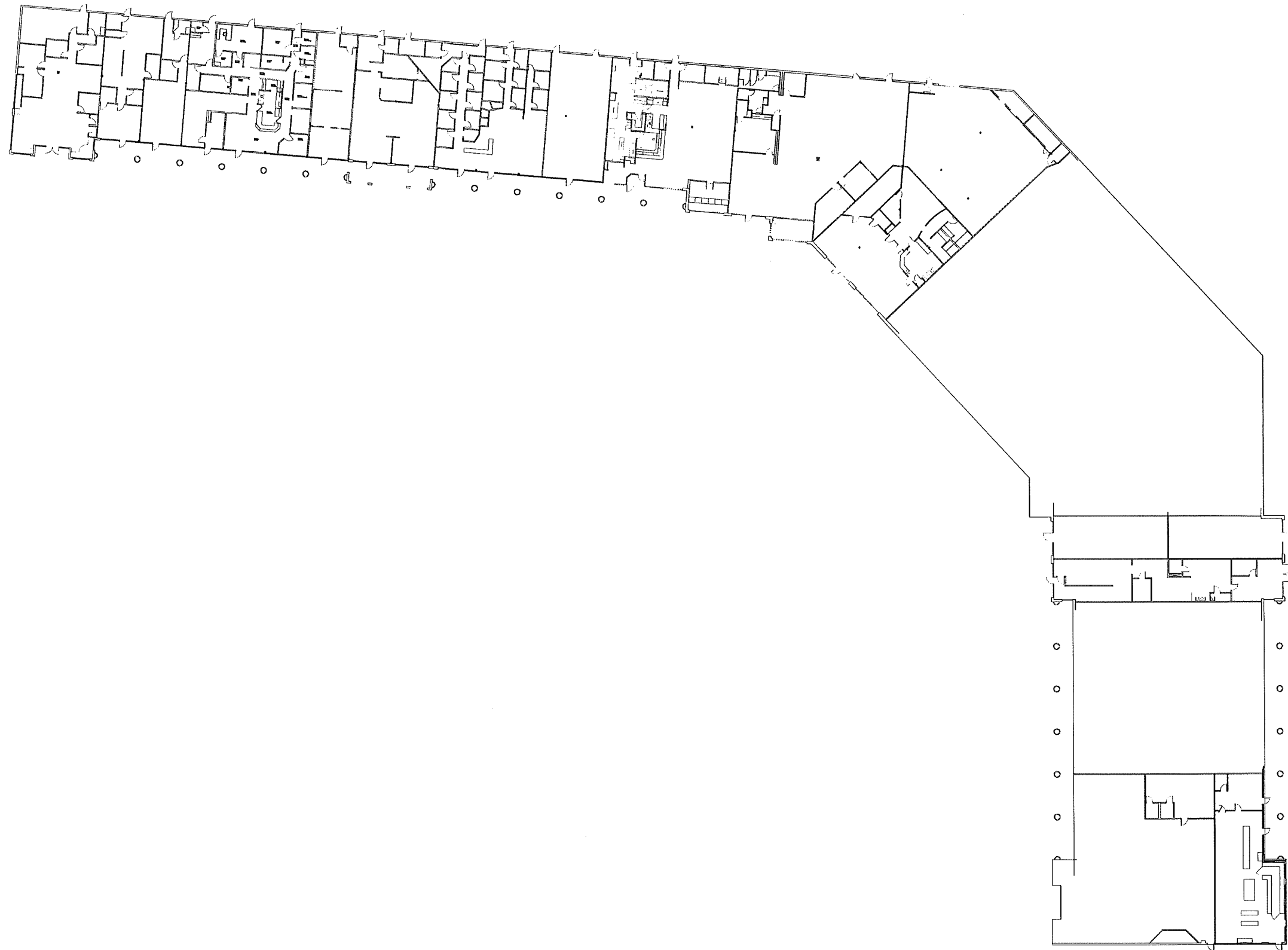
Description as Furnished: (Parcel 2)

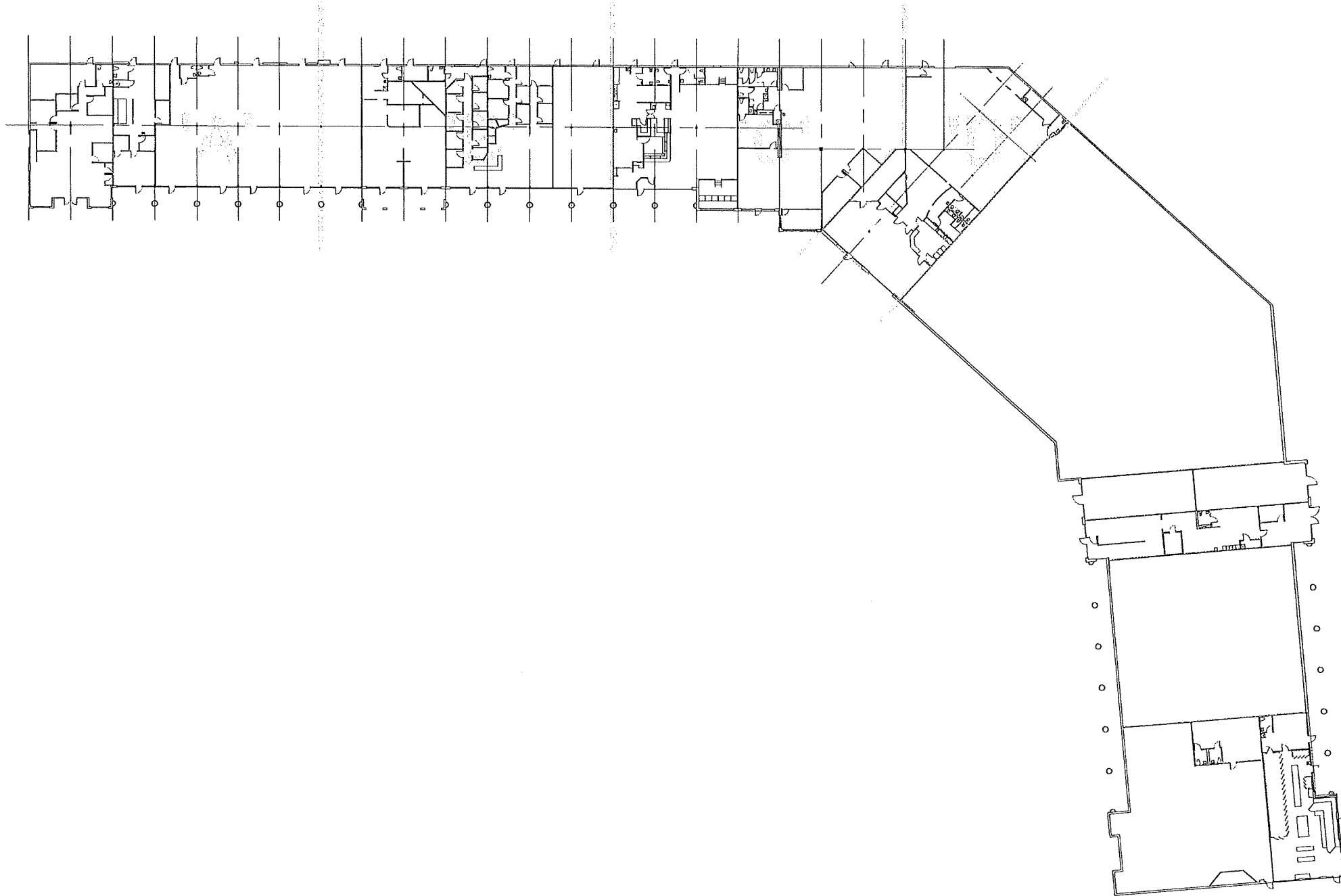
Part of the West 1/2 of the Northwest 1/4 of the Northwest 1/4 of Section 27, Town 6 North, Range 11 West, City of Kentwood, Kent County, Michigan, described as: Commencing at the Northwest corner of said Section 27; thence South 02 degrees 10 minutes 00 seconds East 50.06 feet along the West line of said Section 27 to the South right-of-way line of 44th Street (100 feet wide right of way) extended Westerly; thence South 89 degrees 24 minutes 20 seconds East 605.36 feet along said South right-of-way line and its Westerly extension to the point of beginning; thence South 89 degrees 24 minutes 20 seconds East 58.80 feet along said South right-of-way line to the East line of the West 1/2 of the Northwest 1/4 of the Northwest 1/4 of said Section 27; thence South 2 degrees 09 minutes 00 seconds East 230.03 feet along said East line; thence South 87 degrees 50 minutes 00 seconds West 43.62 feet; thence North 02 degrees 01 minutes 35 seconds West 135.07 feet; thence North 09 degrees 57 minutes 48 seconds West 98.61 feet to a point on the South right-of-way line of 44th Street and the point of beginning.

NOTES:

- This property is subject to the terms and conditions of Reciprocal Parking Easement Agreement as recorded in Liber 3186, Page 1198 and Reciprocal Access Easement Agreement as recorded in Liber 3289, Page 595, Kent County Records.
- This property is located within Zone "C" (defined as "Areas of Minimal Flooding") as identified on Community Panel No. 260107 0010B, dated November 18, 1981 as published by the Federal Emergency Management Agency.
- This property is subject to the terms, covenants, and conditions of Consent Judgement as recorded in Liber 2716, Page 1185.
- Bearings shown hereon are based on the plat of Breton Commons, as recorded in Liber 85 of Plats, Page 5.
- This parcel contains 388,356 square feet, 8,915 acres.
- Recorded easement information shown hereon is based on Transnation Title Agency Commitment No. 319496GRS Revision No. 1, dated July 17, 2020.

- Utilities shown hereon are based on those which were visible on the surface of the ground on the date of this survey.
- The building located on this site contains 71,317 square feet based on exterior building measurements.
- This property contains 458 parking spaces, which includes 443 regular parking spaces and 15 handicapped parking spaces.
- Parcel 2 is subject to the easements and the terms, conditions and provisions thereof which are recited in Access, Utility and Drainage Easement recorded in Instrument No. 20170801-0064809.
- Parcel 2 is part of a larger tract of land and is subject to the easements and the terms, conditions and provisions thereof which are recited in Reciprocal Parking and Cooling Tower Easement Agreement recorded in Liber 3289, Page 605. It does not appear that any of the reserved parking or cross parking areas lie within the subject property. The cooling tower easement does not lie within the subject property.
- Easements and the terms, conditions and provisions thereof which are recited in Grant of Easement for Underground Cable recorded in Liber 2833, Page 396. Easement area does not lie within the subject property.





OVERALL FLOOR PLAN

SCALE: NONE



OMEGA Architects

3483 Prairie St. SW
Grandville, Michigan 49418
Phone: (616) 532-7775
Fax: (616) 532-1414

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BRETWOOD CENTRE

4528 Breton Road SE
Kentwood, Michigan 49508

PROJ. NO.

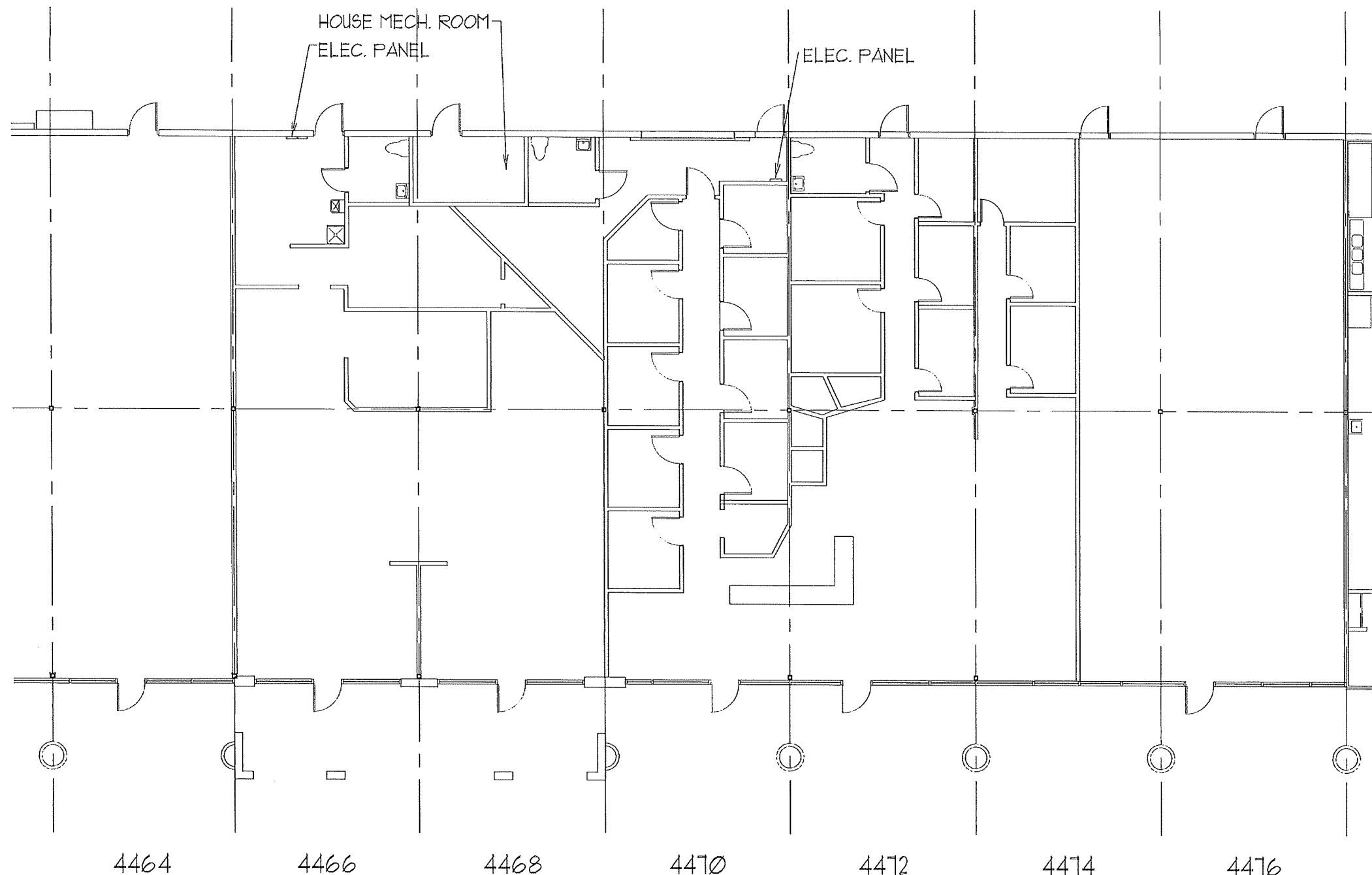
15051

DATE

02-27-2019

SHEET

OVERALL PLAN



PART 'B'
FLOOR PLAN
SCALE: 3/32" = 1'-0"



OMEGA
Architects

3483 Prairie St. SW
Grandville, Michigan 49418

Phone: (616) 532-7775
Fax: (616) 532-1414

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BRETWOOD CENTRE

4528 Breton Road SE
Kentwood, Michigan 49508

PROJ. NO.

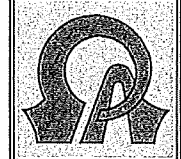
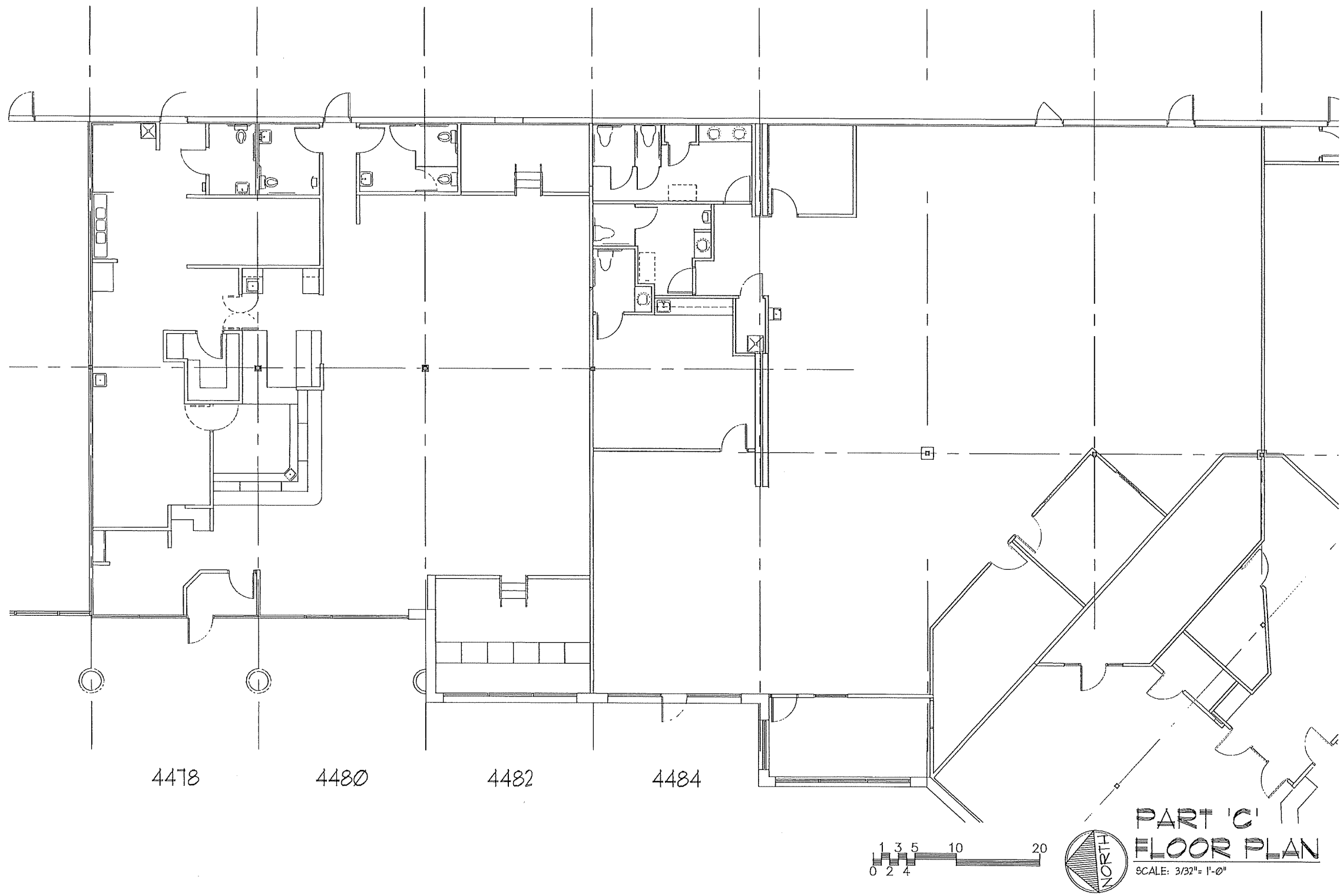
15051

DATE

02-27-2019

SHEET

PART 'B'



OMEGA
Architects
3483 Prairie St. SW
Grandville, Michigan 49418
Phone: (616) 532-7775
Fax: (616) 532-1414

BRETWOOD CENTRE
4528 Breton Road SE
Kentwood, Michigan 49508

PROJ. NO.
15051
DATE
02-27-2019
SHEET
PART 'C'

STAFF REPORT: January 19, 2023
PREPARED FOR: Kentwood Planning Commission
PREPARED BY: Joe Pung
CASE NO.: 4-23 Snackcraft Building Addition

GENERAL INFORMATION

APPLICANT: Third Coast Development
545 Michigan Street, NE Unit 203
Grand Rapids, MI 49503

STATUS OF APPLICANT: Property Owner

REQUESTED ACTION: Major change to a Planned Unit Development and Final PUD Site Plan

EXISTING ZONING OF SUBJECT PARCEL: IPUD Industrial Planned Unit Development

GENERAL LOCATION: 4444 – 52nd Street, 5219 Broadmoor Avenue, and 5217 Broadmoor Avenue

PARCEL SIZE: 21.92 acres (3 parcels)

EXISTING LAND USE ON THE PARCEL: Industrial

ADJACENT AREA LAND USES: N: 52nd Street ROW
S: Industrial
E: Broadmoor Avenue ROW
W: Industrial

ZONING ON ADJOINING PARCELS: N: CPUD Commercial Planned Unit Development
S: IPUD Industrial Planned Unit Development
E: I1 Light Industrial
W: IPUD Industrial Planned Unit Development

Compatibility with Master Plan

The Master Plan recommendation is for industrial use for this site. The existing use and proposed building expansion are consistent with the Master Plan recommendation.

Relevant Zoning Ordinance Sections

Chapter 12 of the Zoning Ordinance describes the regulations pertaining to Planned Unit Development districts. Section 13.06.D requires Planning Commission review and approval of final site plans for a PUD phase and recommendation to the City Commission for any major changes. Section 13.06.E requires City Commission approval of a major change to a planned unit development. Section 13.09 outlines the general review standards. Section 14.05 outlines the site plan review standards.

Zoning History

In 1991 the city approved the rezoning of the property from I1 Light Industrial to IPUD Industrial Planned Unit Development (see Exhibits 2 & 3: Case 25-91 City Commission Rezoning Findings of Fact and Applicant Statement of Purpose) and a Preliminary PUD Plan (see Exhibits 4 – 7: Case 25-91 Planning Commission Site Plan Findings of Fact and Preliminary PUD Plan).

SITE INFORMATION

Site Characteristics

The 21.92 acre site (3 parcels) is located at the southwest corner of 52nd Street and Broadmoor Avenue. The site relatively flat and developed with an existing 122,904+/- square foot industrial building and parking. There is an existing tree line along the west property line and several trees in the northeast corner of the site; the remainder of the site is natural vegetation or lawn.

Traffic & Circulation

The site has access off of 52nd Street through an existing curb cut. No change to the access is proposed. The approved 1991 Preliminary Site Plan depicted a drive onto Broadmoor Avenue; no drive is proposed, nor is such a drive recommended by staff.

The City of Kentwood Non-motorized Plan calls for a 10-foot wide shared use path along Broadmoor Avenue. There is currently an incomplete (gap of approximately 90 feet) approximately 5-foot wide asphalt path along Broadmoor Avenue (see Exhibit 8); the existing path will need to be expanded to a width of 10 feet and the gap filled.

There is currently no pedestrian access from the pedestrian facilities along Broadmoor Avenue and 52nd Street to the building entrance. A pedestrian pathway needs to be established to permit pedestrian access to the building without having to use the vehicular circulation system. This would be consistent an intent and purpose of a planned unit development.

Parking

Based on the use breakdown provided by the applicant, a minimum 221 parking spaces are required. The applicant is proposing to provide 135 parking spaces in addition to 87 deferred parking spaces for a total of 222 parking spaces. Chapter 17 of the Zoning Ordinance makes allowance for deferred parking. The installation of the deferred parking can be initiated by the owner or required by the Zoning Administrator.

Engineering

All applicable Engineering Department standards and requirements will have to be met.

Fire

All applicable Fire Department standards and requirements will have to be met.

Staff Comments

- 1) The proposed 171,150+/- square foot addition to the existing building and removal of several out lots constitutes a major change to an approved planned unit development thereby requiring review and approval from the Planning and City Commissions.
- 2) The initial industrial building was constructed in 1974, prior to the rezoning of the property. A 6,160 square foot addition was constructed in 1995, a 4,050 square foot addition in 1999, and a 14,000 square foot addition in 1996.
- 3) The existing building has a nonconforming height of 45.9 feet at its highest point; the Zoning Ordinance limits the building height to 45 feet. The proposed addition would have a height of 32 feet.
- 4) A condition of the original preliminary site plan approval was for Planning Commission review and approval of the architecture for the redevelopment and expansion of the existing industrial building. The exterior of the proposed addition would consist primarily of insulated metal panels. The Zoning Ordinance currently limits metal composite material panels to 75 percent and requires that the predominant material utilized on facades visible from a public right-of-way or parking lot be brick. Staff has reached out to the City Attorney to determine if the development would be held to the current building material standards; if so, the applicant would need to revise the building materials or request a waiver from the requirement.
- 5) When the rezoning and preliminary site plan were approved in 1991, a PUD Agreement was not required. The Zoning Ordinance currently requires a PUD Agreement be reviewed and approved as part of a planned unit development. Section 12.09.D of the Zoning Ordinance lays out what is to be included in a PUD Agreement. Staff has reached out to

the City Attorney on whether or not a PUD Agreement will need to be drafted as part of this request.

- 6) The applicant is proposing to significantly increase the amount of landscaping on the site.

Exhibit 1: Project Location



Exhibit 2: Case 25-91 City Commission Rezoning Findings of Fact



KENTWOOD CITY COMMISSION
APPROVED
FINDINGS OF FACT
November 11, 1991

PROJECT: Kentwood Commerce Center
APPLICATION: 25-91
LOCATION: Southwest corner of Broadmoor Avenue and 52nd Street
HEARING DATE: October 15, 1991
REVIEW TYPE: Request to rezone 23.46 acres from I-1 Light Industrial to IPUD Industrial Planned Unit Development
MOTION: MOTION BY HARDMAN SUPPORTED BY WILIE TO ADOPT ORDINANCE 7-91 AMENDING THE ZONING ORDINANCE TO REZONE THE KENTWOOD COMMERCE CENTER, LOCATED ON THE SOUTHWEST CORNER OF 52ND STREET AND BROADMOOR AVENUE, FROM I-1 LIGHT INDUSTRIAL TO IPUD INDUSTRIAL PLANNED UNIT DEVELOPMENT.

Roll Call Vote: Yeas: All. Nays: None. Absents: None.

- Ordinance adopted -

- BASIS:
1. The Master Plan recommends industrial use for this property. Both the existing zoning and the proposed IPUD zoning comply with this designation. However, the ability to coordinate access and circulation on the overall project site justifies the IPUD project proposal.
 2. The Written Statements submitted in support of the proposal describes uses on the outlots that are subject to discretionary Special Use review by the Planning Commission. Thus approval of the rezoning with its development concept is still subject to subsequent detailed review and approval of the uses within.
 3. The applicant has otherwise demonstrated through the accompanying preliminary site plan and written statements that the project can meet the IPUD qualifying conditions contained in Kentwood Zoning Ordinance Section 23.10.2.

Exhibit 3: Case 25-91 Applicant Statement of Purpose



STATEMENT OF PURPOSE

It is the purpose of United Development to establish an Industrial Planned Unit Development project on the southwest corner of 52nd Street and Broadmoor Avenue.

The Master Plan anticipated industrial uses in this portion of the City of Kentwood and the Planning Commission has recently reaffirmed its commitment to that land use classification. The Planning Commission, however, has also recognized the need for certain types of supporting retail uses as represented in the I-PUD District.

The various workers and employees in the area have both personal and business-related retail needs that currently require travel to either 44th Street or 28th Street retail areas. We contend that such requirements serve to add to congestion of these heavily developed retail streets, and cannot be accomplished within reasonable time periods.

With respect to the requirements of the Zoning ordinance related to this project, I would submit the following:

- 1) The proposed rezoning conforms to the Future Land Use Plan in that the property remains in an industrial classification.
- 2) There is vacant and undeveloped land elsewhere in Kentwood for which this classification might be applied. We believe, however, that the site under consideration is the best for this purpose because its accessibility and its centrality to the northeast industrial area.
- 3) The site could be used as it is presently zoned, however, the existing building can be doubled in size with remaining excess land ideally located for supporting retail uses.
- 4) Previous and extensive analysis of traffic in the area indicates that for most traffic movements, the existing facilities are adequate. Future improvements to these facilities will eliminate any deficiencies. The proposed planned unit development will have substantially reduced volumes than previously planned because of an industrial vs retail use concept. The internal circulation system and relocation of the access drives will significantly reduce the impact of this project on the transportation system.

Exhibit 4: Case 25-91 Planning Commission Site Plan Findings of Fact (Page 1 of 3)



KENTWOOD PLANNING COMMISSION

APPROVED

FINDINGS OF FACT

October 8, 1991

PROJECT: Kentwood Commerce Center
APPLICATION: 25-91
LOCATION: Southwest corner of Broadmoor Avenue and 52nd Street
HEARING DATE: September 24, 1991
REVIEW TYPE: Preliminary Site Plan Review of an IKUD Development Proposal
MOTION: MOTION BY BOOT SUPPORTED BY RICHARD TO CONDITIONALLY APPROVE THE PRELIMINARY SITE PLAN DATED NOVEMBER, 1991, FOR KENTWOOD COMMERCE CENTER ON PROPERTY AS DESCRIBED IN CASE #25-91 BASED ON CONDITIONS 1-11 INCLUDING AND THE BASIS FOR APPROVAL IN SCHWEITZER'S MEMO DATED 10-4-91.

- Motion Carried (9-0) -

- Condition:**
1. Approval of the pending IKUD rezoning request.
 2. The proposed landscaping within the future Broadmoor right-of-way must be reviewed and approved by the Michigan Department of Transportation. The balance of the on-site landscaping shall be reviewed and approved within the final site plan review of each phase. Buierscape B should be employed on the perimeter lot lines adjacent to industrial development.
 3. Installation of the Broadmoor access prior to the reconstruction of M-17 will require a bypass flare across from the drive in addition to the right-turn deceleration lane approaching the drive from the north depicted on the plan. Detail of the improvements must be reviewed and approved by the Michigan Department of Transportation.
 4. The architectural scheme portrayed in the bank building elevation dated November 19, 1990, shall be employed on the outlet buildings.

The architecture for the redevelopment and expansion of the existing industrial building shall be subject to review by the Kentwood Planning Commission.

Exhibit 5: Case 25-91 Planning Commission Site Plan Findings of Fact (Page 2 of 3)

Findings of Fact
Case #25-91 Site Plan
Page 2

5. The sign display provisions for this development as detailed in Section 25.13.5 shall complement the architecture of the buildings and be subject to review by the Kentwood Planning Commission.
6. Installation of the 52nd Street driveway prior to the reconstruction of 52nd Street will require a bypass flare across from the drive and a right turn deceleration lane approaching the drive from the west.
7. Screening of loading areas should be maximized to screen its view from general parking areas and adjacent properties.
8. Public sanitary sewer will be needed along the west side of Broadmoor.
9. Watermain will have to be looped from 52nd Street to Broadmoor Avenue. Payback to Steelcase on the Broadmoor frontage.
10. Stormwater detention outlet for the south side in an existing 24 inch at the southwest corner.
11. Fire marshal's August 28, 1991, memo.

BASIS:

1. The rezoning is a necessary precondition to allow the placement of the dissimilar industrial uses on the same lot.
2. Landscape improvements within the future right-of-way must be reconciled with the drainage improvements associated with the state's reconstruction and expansion of Broadmoor. The Michigan Department of Transportation is the agency responsible for the issuance of driveway permits on state trunklines. Establishment of the Broadmoor driveway prior to the reconstruction of the road will create the need to protect and accommodate turn movements into the property without interrupting the flow of through traffic on Broadmoor.
3. Design continuity is considered an important issue to qualify this project as a planned development and is most apparent in the architecture of the buildings and the accompanying sign display.
4. The prescribed modifications to the Broadmoor drive location and boulevard design are considered necessary to accommodate the median openings within a reconstructed and expanded Broadmoor as well as further separate circulation within the site from the public right-of-way.

Exhibit 6: Case 25-91 Planning Commission Site Plan Findings of Fact (Page 3 of 3)

Findings of Fact
Case #25-91 Site Plan
Page 3

5. Constructing the 52nd Street driveway prior to the reconstruction of this road will create the need to protect and accommodate turn movements into the property without interrupting the flow of through traffic on 52nd Street.

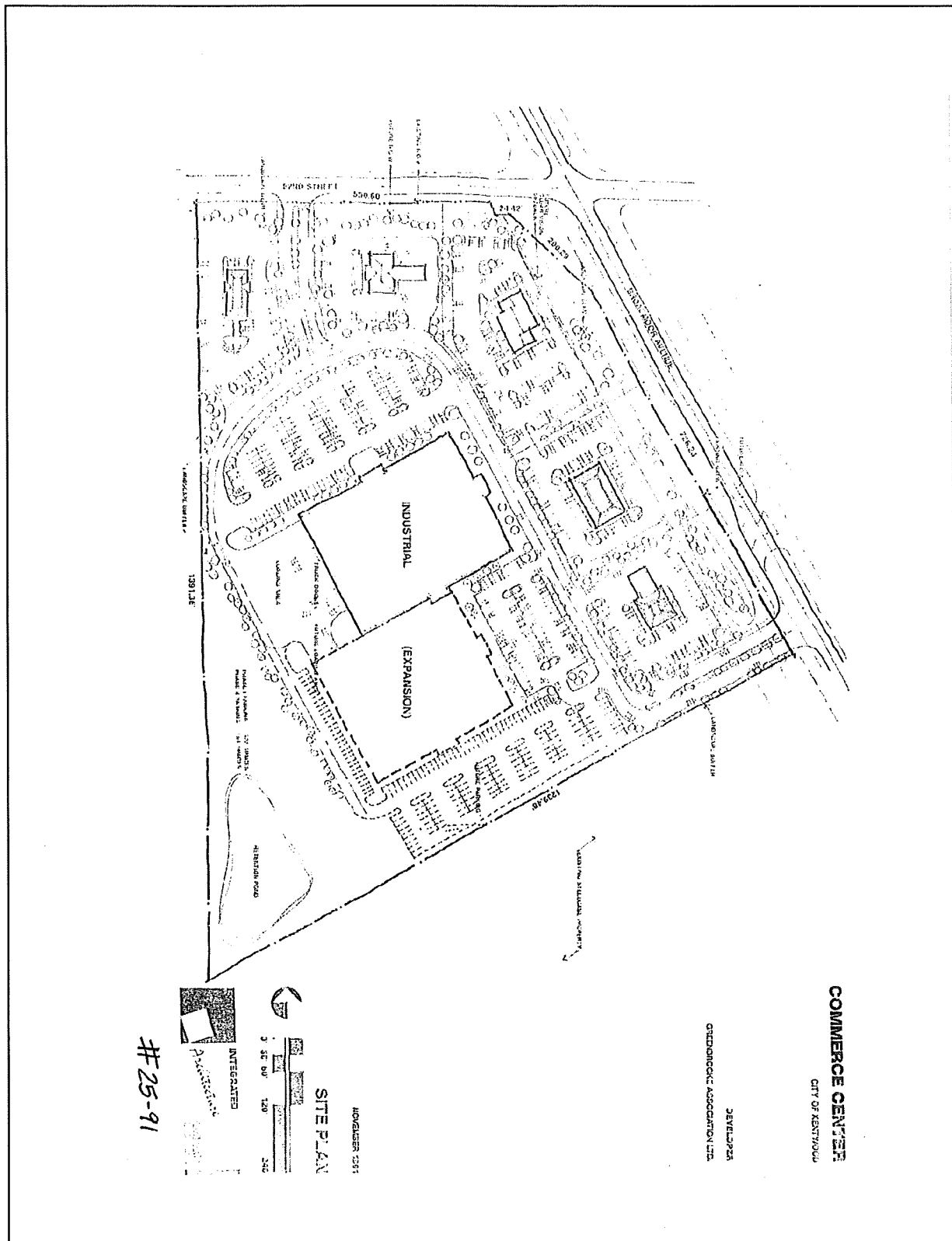


Exhibit 8: Existing Pathway Along Broadmoor Avenue

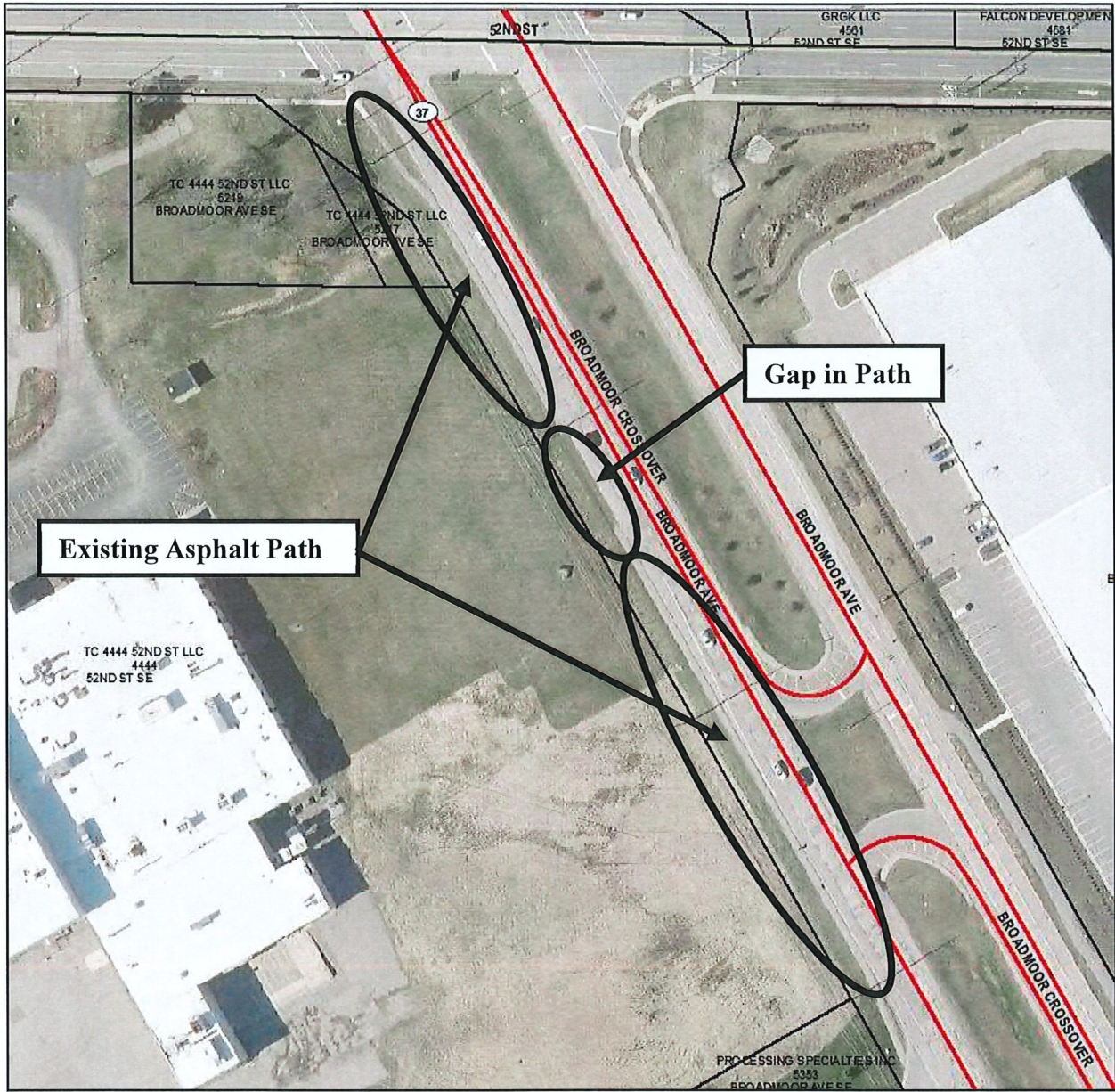


Exhibit 9: April 2020 Pictometry Photo (View from the North)

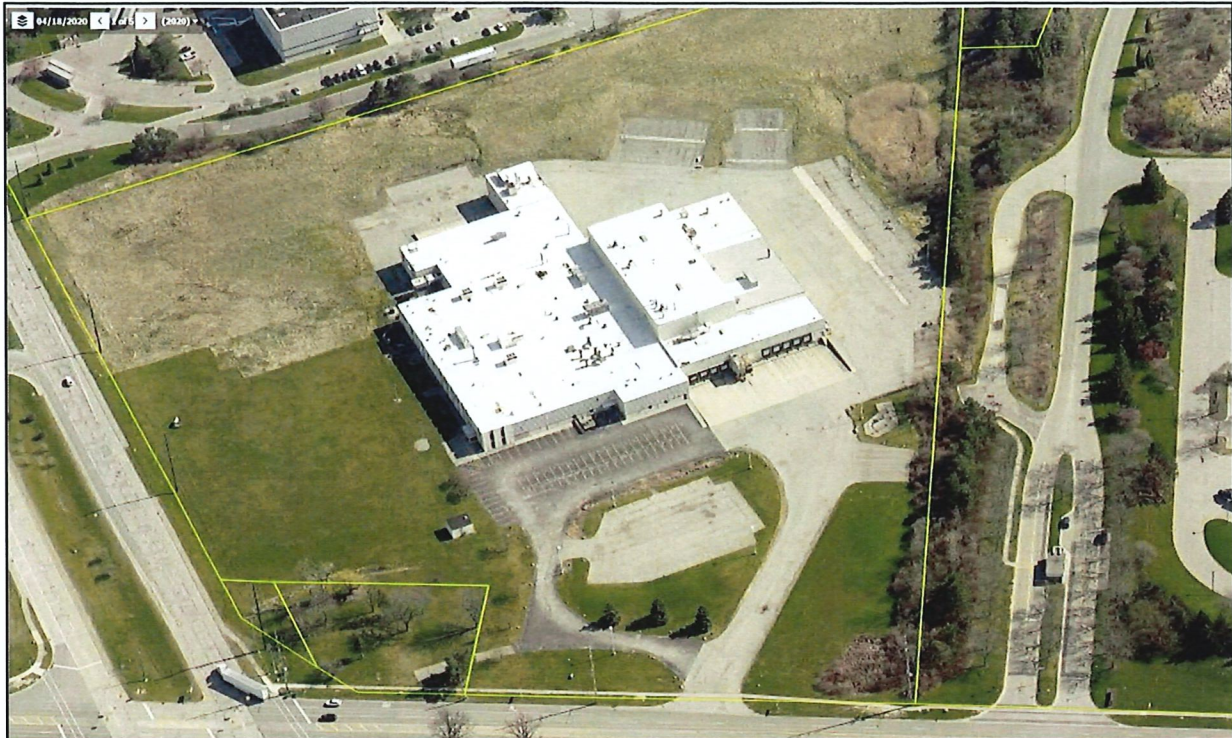


Exhibit 10: April 2020 Pictometry Photo (View from the East)



Exhibit 11: September 2022 Google Streetview (View from 52nd Street)



Exhibit 12: August 2021 Google Streetview (View from Broadmoor Avenue)





To: Ryan Ysseldyke, P.E.
Holland Engineering
rysseldyke@hollandengineering.com

From: Brad Boomstra, P.E.
City Engineer

Date: January 19, 2023

Re: **Snackcraft Addition**
4444 52nd Street SE
41-18-36-200-033
Review of Site Plan Received 1-3-2023

We have completed our review of the proposed site plans dated 1-3-2023 and received in our office on 1-3-2023 for the above referenced project.

Kentwood Engineering has the following comments that will need to be addressed before this office can grant site plan / construction plan approval:

Street / Sidewalk / Parking Lot:

1. There appear to be sight distance problems at the southwest corners of the proposed building. Twenty (20) feet are needed between any solid wall and the edge of the driving surface.

Grading:

1. Please identify at least one (1) benchmark on the plan.
2. Indicate the proposed limits of grading on the site plan. A thick, shaded line works well for this.
3. Indicate and label the 1% chance (100-year) flood elevation on the site plan or add a note that none exists on this site.
4. If the retaining wall shown on the plans measures over 4 feet from the top of the foundation to the top of the wall, a Building Permit will be needed from the Kentwood Inspections Department prior to construction of the wall, including detailed structural plans. Contact Kentwood Inspections (Renee Hargrave, 554-0781) for more information.
5. A significant amount of fill will be placed. Who will be monitoring and testing this fill placement to ensure that it gets properly placed and compacted? Are there project specifications that address this issue? This is critical to ensure that future structures placed on top of this fill will not experience unacceptable settlement.

Snackcraft Addition

4444 52nd Street

Page 2 of 4

6. A temporary grading easement or a letter will be required from the adjacent property owner for any earthwork performed outside the property boundary. The City cannot approve a plan to place fill on another parcel without the proper permission in place.
7. Additional comments regarding grading may be made upon further review.

Storm Sewer / Drainage:

1. How will the roof be drained? Where will this flow go?
2. Additional comments regarding drainage may be made upon further review.

Detention Basin:

1. The proposed detention basin outlet structure will be difficult to maintain. The 10-inch hole in the weir wall is over 17 feet lower than the rim of the 4 ft diameter manhole. In order to maintain this outlet, the diameter of the manhole needs to be increased, or the outlet structure redesigned so that it can be maintained should it become clogged.
2. A low flow channel will be needed across the bottom of the detention basins between the end section(s) and the outlet structure with a minimum grade of 0.6 percent. This may consist of 4" concrete, grouted riprap, or properly sized riprap, all on filter fabric (MDOT "Geotextile Liner"). Both the surface material and the fabric must be toed in at least 18 inches at all earth interfaces. The remainder of the basin bottom shall have a minimum 2 percent slope to the low flow channel.
3. A 15-foot-wide flat maintenance shelf for vehicular access is required for the detention basins.
4. Because you are using an existing detention basin that will serve this project, we are requesting an inspection of the pond and an inspection report.

Soil Erosion and Sediment Control:

1. We will need to see some additional soil erosion control measures as part of the plan review. Section 78-62 of the City of Kentwood Ordinance (posted on the City's website) contains minimum requirements for information that shall be included on the plan. Go to: <http://www.ci.kentwood.mi.us> (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORMWATER" link near the top of the page). Please review this ordinance carefully.
2. Per the requirements of Part 91 of Public Act 451, all proposed grading and soil erosion controls must be shown on a sheet(s) titled, at least in part, "SOIL EROSION AND SEDIMENTATION CONTROL PLAN". This plan should show surface features related to grading and soil erosion and sediment control. The SESC Plan may be combined with other plans and improvements as long as clarity is retained. Two (2) copies of this sheet, once approved, will need to accompany the application for an earth change.
3. Include a written description of the soil types of the exposed land area contemplated for an earth change.
4. Place a note on the soil erosion control plan to indicate that existing and new catch basins shall be protected with an inlet filter drop (silt sack). Straw bales or fabric placed under the grate are NOT acceptable, and sediment traps alone are not sufficient to

Snackcraft Addition

4444 52nd Street

Page 3 of 4

- provide adequate sediment filtration. Such a note might read, “EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FABRIC DROP (SILT SACK).” Include a simple detail of the proposed silt sack on the Soil Erosion and Sediment Control plan. We can provide you with an acceptable CAD detail upon request.
5. Per the requirements of Part 91 of P.A. 451, place on the soil erosion control plan a bar graph or chart showing the proposed timing and sequence of each proposed earth change. It must include the installation of both permanent and temporary soil erosion and sedimentation controls, as well as the removal of temporary controls. It must also show the sequence of any construction phases.
 6. Additional soil erosion and sediment control comments may be made by Kentwood staff upon further review.

Utilities (Sanitary & Water):

1. The City of Grand Rapids owns, operates and maintains the sanitary sewer collection and water distribution systems in this portion of Kentwood. Any alterations, extensions or new connections to either of these systems will require approval from Grand Rapids. Construction plans (drafting standards) and specifications for the proposed watermain and sanitary sewer must conform to Grand Rapids requirements.

Required Permits, Bonds, Fees [and Escrow]:

1. Because this parcel is adjacent to a public street, over one (1) acre is being disturbed, or is within 500 feet of a lake or stream, a Permit for an Earth Change (fee \$400) and a \$5,000 soil erosion control performance bond or an irrevocable letter of credit using the City of Kentwood format will be required through Kentwood Engineering. The Owner/Developer must sign the Permit for an Earth Change. Both the Owner/Developer and the Contractor must be named on the bond. Please contact us if you need a permit and/or a bond template form, or one can be accessed on the City’s website at <http://www.ci.kentwood.mi.us> (hover over “CITY SERVICES” and “DEPARTMENTS” then click “ENGINEERING”, then click the “SOIL EROSION AND STORM WATER” link near the top of the page). There is a 365-day limit to complete the work under this permit.
2. An NPDES Notice of Coverage will also be needed if the proposed area of disturbance exceeds 5 acres. At the time the Earth Change permit is issued by the Kentwood, your Notice of Coverage will immediately become effective as a “permit-by-rule” as soon as the NOC has been properly filed and the appropriate fee is paid.
3. A \$30,000 Site Grading and Stormwater Management Bond or an irrevocable letter of credit using the City of Kentwood format and an administrative fee of \$600 will be required through Kentwood Engineering. This bond is posted to assure that the plan, once approved, is constructed in the field according to that plan. Both the Owner/Developer and the Contractor must be named on the bond. Let us know if you need our bond template, or it can be accessed on the City’s website.
4. A permit will be needed from EGLE for any proposed work within the existing wetlands.

Snackcraft Addition

4444 52nd Street

Page 4 of 4

5. Please note that all required bonds and permit applications and fees must be submitted to, and accepted by, Kentwood Engineering *before any permits can be issued!* There will be no “partial” or “conditional” permits issued.

Miscellaneous / Reminders:

1. Please be advised that at the completion of construction, a civil engineer or surveyor will need to provide an as-built plan to the City of Kentwood with a certification by a registered engineer stating that the site grading and the stormwater system were constructed in accordance with the approved plans. A copy of the certification form is available upon request or on the City's website.
2. Remember that, for a Building Permit to be issued, other City departments (fire, assessor, treasurer, water, planning) may have comments regarding this plan. Contact Kentwood Inspections (Renee Hargrave, 554-0781) regarding building permit application procedures, fees, plan requirements and approval status.
3. Once final approval by all departments has been granted, make sure the contractor has the latest approved set of plans before beginning construction!

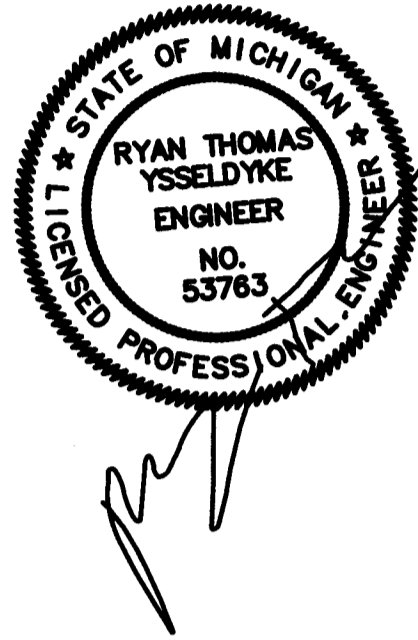
After the appropriate revisions have been made, please submit one (1) revised drawing set (civil sheets only) to Kentwood Engineering for additional review. We would be pleased to meet with you in person if this would be of help.

Should you have any questions regarding this department's review, please feel free to contact our office.

cc: Kentwood Engineering Permit Staff
Kentwood Planning Department

SNACKCRAFT

4444 52ND STREET SE
KENTWOOD, MICHIGAN 49512



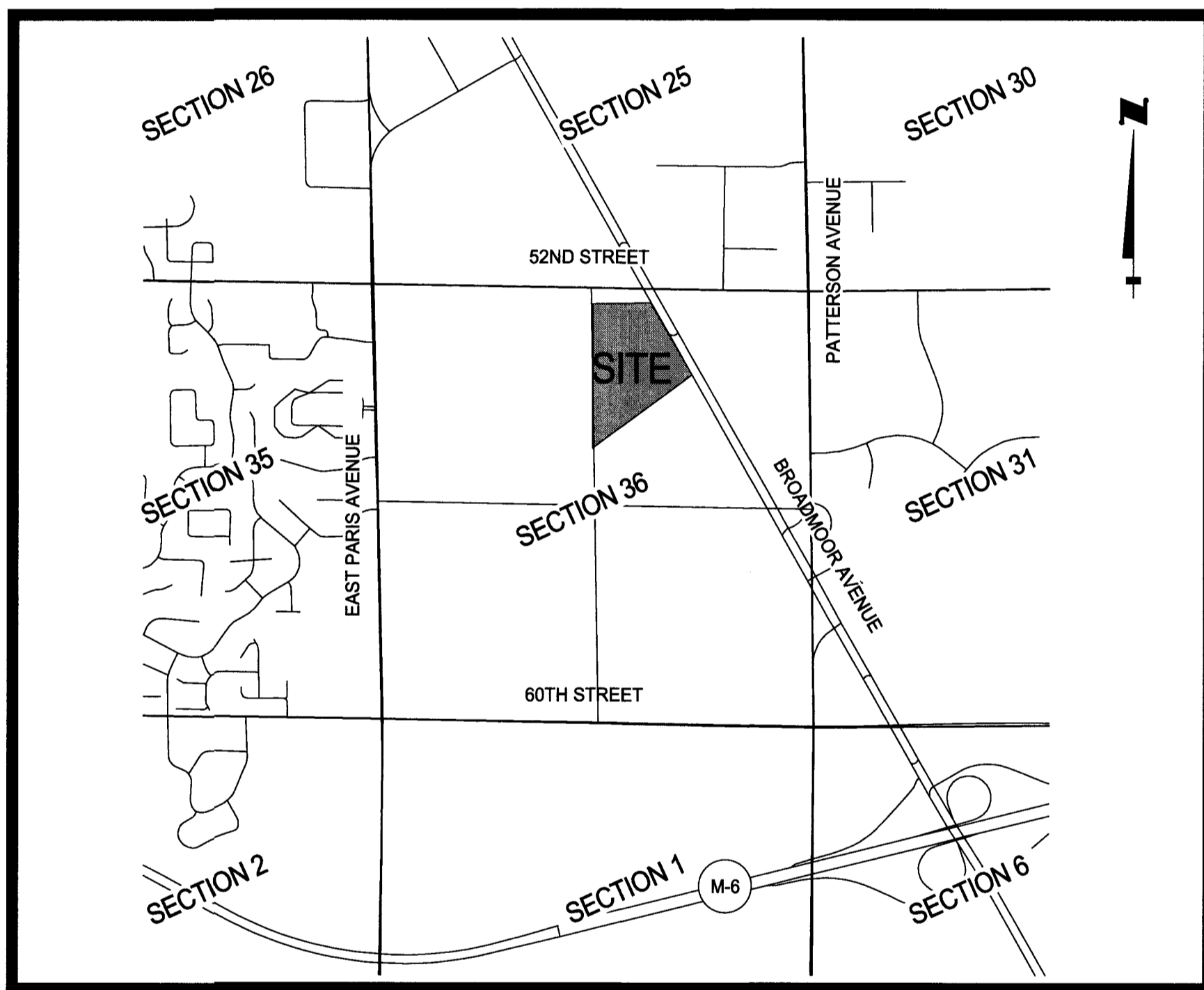
ZONING

I-PUD (INDUSTRIAL PLANNED UNIT DEVELOPMENT)

SETBACKS:

FRONT YARD	35 FEET MIN.
FRONT YARD W/ PARKING	75 FEET MIN.
SIDE YARD	50 FEET MIN.
REAR YARD	25 FEET MIN.
BUILDING HEIGHT	***

*** BUILDING HEIGHT. THE HEIGHT OF BUILDINGS WITHIN THE PUD SHALL BE DETERMINED BY THE USE. I-1 USES SHALL BE LIMITED TO I-1 HEIGHT REQUIREMENTS, I-2 USES SHALL BE LIMITED TO I-2 HEIGHT REQUIREMENTS.



LOCATION MAP NOT TO SCALE

DESCRIPTION

PER FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 948833
COMMITMENT DATE: SEPTEMBER 16, 2021

LAND IN THE CITY OF KENTWOOD, KENT COUNTY, MI, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 36, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN; THENCE SOUTH 01 DEGREES 54 MINUTES 17 SECONDS EAST, 60.04 FEET ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 36 TO THE PLACE OF BEGINNING; THENCE SOUTH 89 DEGREES 56 MINUTES 42 SECONDS EAST, 562.21 FEET ALONG THE SOUTH RIGHT-OF-WAY LINE OF 52ND STREET, 60 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 36; THENCE SOUTH 61 DEGREES 32 MINUTES 14 SECONDS EAST, 109.10 FEET ALONG THE WESTERLY LINE OF HIGHWAY M-37 (VARIABLE WIDTH RIGHT-OF-WAY); THENCE SOUTH 30 DEGREES 28 MINUTES 07 SECONDS EAST, 819.36 FEET ALONG THE WESTERLY RIGHT-OF-WAY LINE OF HIGHWAY M-37 (BROADMOOR AVENUE); THENCE SOUTH 59 DEGREES 32 MINUTES 02 SECONDS WEST, 1192.96 FEET TO A POINT ON THE NORTH-SOUTH 1/4 LINE THAT IS LOCATED 1215.40 FEET NORTHERLY OF THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 36; THENCE NORTH 01 DEGREES 54 MINUTES 17 SECONDS WEST, 1364.36 FEET (RECORDED AS NORTH 01 DEGREES 54 MINUTES 24 SECONDS WEST) ALONG SAID NORTH-SOUTH 1/4 LINE TO THE PLACE OF BEGINNING. EXCEPT, THAT PART OF THE FOLLOWING DESCRIPTION THAT LIES NORTHEASTERLY OF A LINE DESCRIBED AS: BEGINNING AT A POINT ON THE NORTH LINE OF SECTION 36, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, WHICH IS SOUTH 89 DEGREES 04 MINUTES 03 SECONDS EAST, A DISTANCE OF 453.33 FEET FROM THE NORTH 1/4 CORNER OF SAID SECTION 36; THENCE SOUTH 60 DEGREES 39 MINUTES 35 SECONDS EAST, 235.22 FEET; THENCE SOUTH 29 DEGREES 35 MINUTES 26 SECONDS EAST, A DISTANCE OF 1000.00 FEET TO THE POINT OF ENDING OF THIS LINE DESCRIPTION.



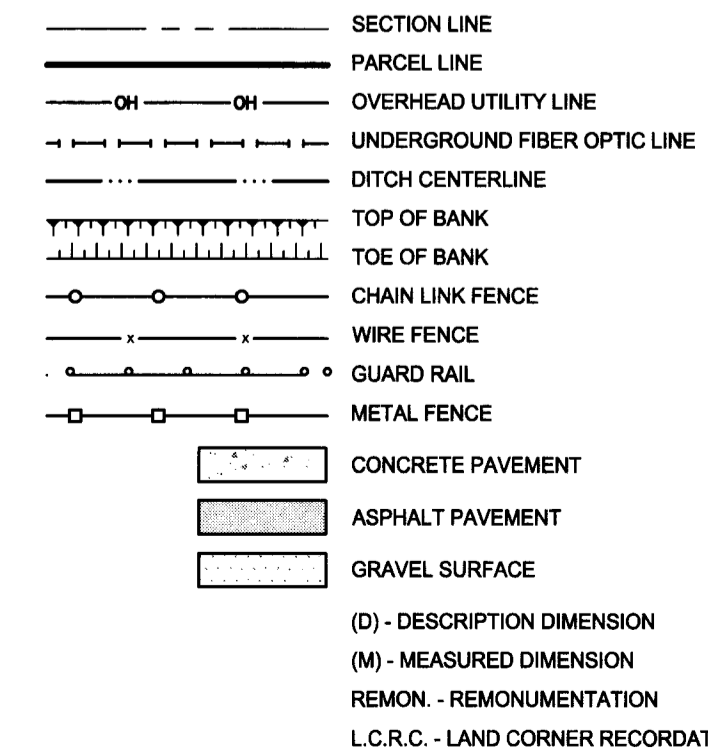
Know what's **below**.
Call before you dig.

TABLE OF CONTENTS

SHEET G-100	COVER SHEET
SHEET V-101	EXISTING CONDITIONS
SHEET CD-101	CIVIL DEMOLITION PLAN
SHEET C-101	SITE LAYOUT PLAN
SHEET C-201	GRADING, DRAINAGE & SESC PLAN
SHEET C-501	GENERAL DETAILS

LEGEND

- FOUND 1/2" STEEL BAR WITH CAP #28407
- FOUND 1/2" STEEL BAR WITH CAP #63096
- FOUND 1/2" STEEL BAR WITH CAP #24597
- ⚡ UTILITY POLE
- GUY ANCHOR
- 📮 SIGN
- 📮 MAILBOX
- + TELEPHONE PEDESTAL
- ⬆ ABOVE GROUND MARKER FOR UNDERGROUND UTILITY
- ⚡ ELECTRIC METER
- ⚡ ELECTRIC TRANSFORMER
- 🔌 MISCELLANEOUS ELECTRIC UTILITY
- 🔌 STORM CATCH BASIN
- SANITARY CLEANOUT
- 🔌 SPRINKLER/FIRE HOOKUP
- 🔌 FIRE HYDRANT
- 🔌 WATER VALVE
- ✳ LIGHT POLE
- 🚩 BOLLARD
- 🚩 FLAG POLE
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ MISCELLANEOUS UTILITY MANHOLE
- ⊙ TELEPHONE MANHOLE



HOLLAND
ENGINEERING

Holland, Michigan 49423-3766
www.hollandengineering.com
T 616-392-5938 F 616-392-2116

THIRD COAST DEVELOPMENT

ATTN: MR. BRAD ROSELY;Y
545 MICHIGAN STREET NE UNIT 203
GRAND RAPIDS, MI 49503

SNACKCRAFT
4444 52ND STREET. SE

KENTWOOD, MICHIGAN 49512

PT OF THE NE 1/4 SECT. 36, T6N, R11W
CITY OF KENTWOOD, KENT CO., MI.

Issued for:

No.	Description	Date
A	SITE PLAN SUBMITTAL	01/03/2023

Plans are preliminary & incomplete until ISSUED FOR CONSTRUCTION

Project Manager	RYAN T. YSSELDYKE, P.E.
-----------------	-------------------------

Vertical Datum NAVD88	Horz. Datum LOCAL
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Drawn by
MARK BROOKHOUSE

Checked by Survey	Date
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Civil	.	.
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Struc.	.	.
I A		

HEI Project Number
00-10-000

22-10-032

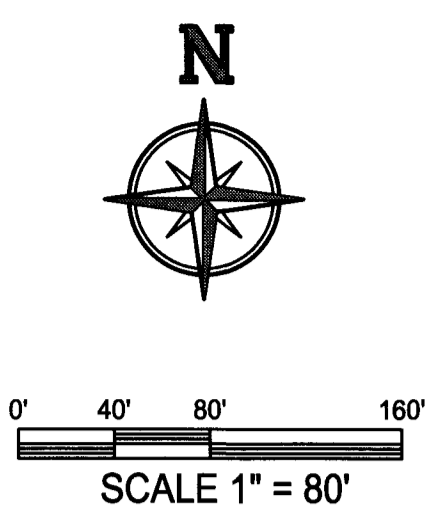
Sheet Title

COVER
SHEET

SHEET 1

Sheet No. 100

G-100



HOLLAND
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T 616-392-5938 F 616-392-2116

The Surveyors' / Engineer's liability for any and all claims, including but not limited to those arising out of the Surveyor's / Engineer's professional services, negligence, gross misconduct, warranties or misrepresentations shall be deemed limited to an amount no greater than the service fee.

THIRD COAST DEVELOPMENT

ATTN: MR. BRAD ROSELY;Y
545 MICHIGAN STREET NE UNIT 203
GRAND RAPIDS, MI 49503

SNACKCRAFT

4444 52ND STREET, SE
KENTWOOD, MICHIGAN 49512
EPT OF THE NE 1/4 SECT. 36, T
CITY OF KENTWOOD, KENT O

Issued for:		
Date	Description	No.
01/03/2023	SITE PLAN SUBMITTAL	A

Plans are preliminary & incomplete until ISSUED FOR CONSTRUCTION

Project Manager	
RYAN T. YSELIDYKE, P.E.	
Vertical Datum	Horz. Datum
NAVD88	LOCAL
Drawn by	
MARK BROOKHOUSE	
Checked by	Date
Survey	.
Civil	.
Struc.	.
L. A.	.

HEI Project Number
22-10-032

Sheet Title

**EXISTING
CONDITIONS**

Sheet No. **V-101**

SURVEYOR'S NOTES

THIS SURVEY WAS PREPARED FOR THE LANDS AS DESCRIBED HEREIN WITHOUT THE BENEFIT OF CURRENT TITLE WORK. IT IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES.

BEARINGS ARE BASED ON THE WEST LINE OF THE NORTHEAST 1/4 OF SECTION 36, TOWN 8 NORTH, RANGE 11 WEST AS BEING: SOUTH 01°54'17" EAST AS REFERENCED IN THE TITLE DESCRIPTION FOR KENT COUNTY PARCEL NUMBER 41-18-36-200-033 PER FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT NO.: 948833 WITH A COMMITMENT DATE OF SEPTEMBER 16, 2021

SOURCE BENCHMARK -GRAR CORS STATION

ELEVATIONS HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88)

UTILITIES SHOWN HEREON ARE BASED UPON A COMBINATION OF ABOVE GROUND OBSERVATIONS THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA. THIS SURVEY SHOULD NOT BE RELIED UPON TO DEPICT THE LOCATIONS OF ALL UNDERGROUND UTILITIES.

CONNECTIVITY AS SHOWN HEREON IS BASED UPON BEST AVAILABLE INFORMATION. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

FOUNDATIONS BELOW GROUND SURFACE AND ANY OTHER BELOW GROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED UNDER THE SCOPE OF THIS SURVEY.

DATE OF FIELD SURVEY: OCT 27, 2022.

FLOOD NOTE:

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY,
THIS PROPERTY LIES IN

ZONE C (AREAS OF MINIMAL FLOODING)

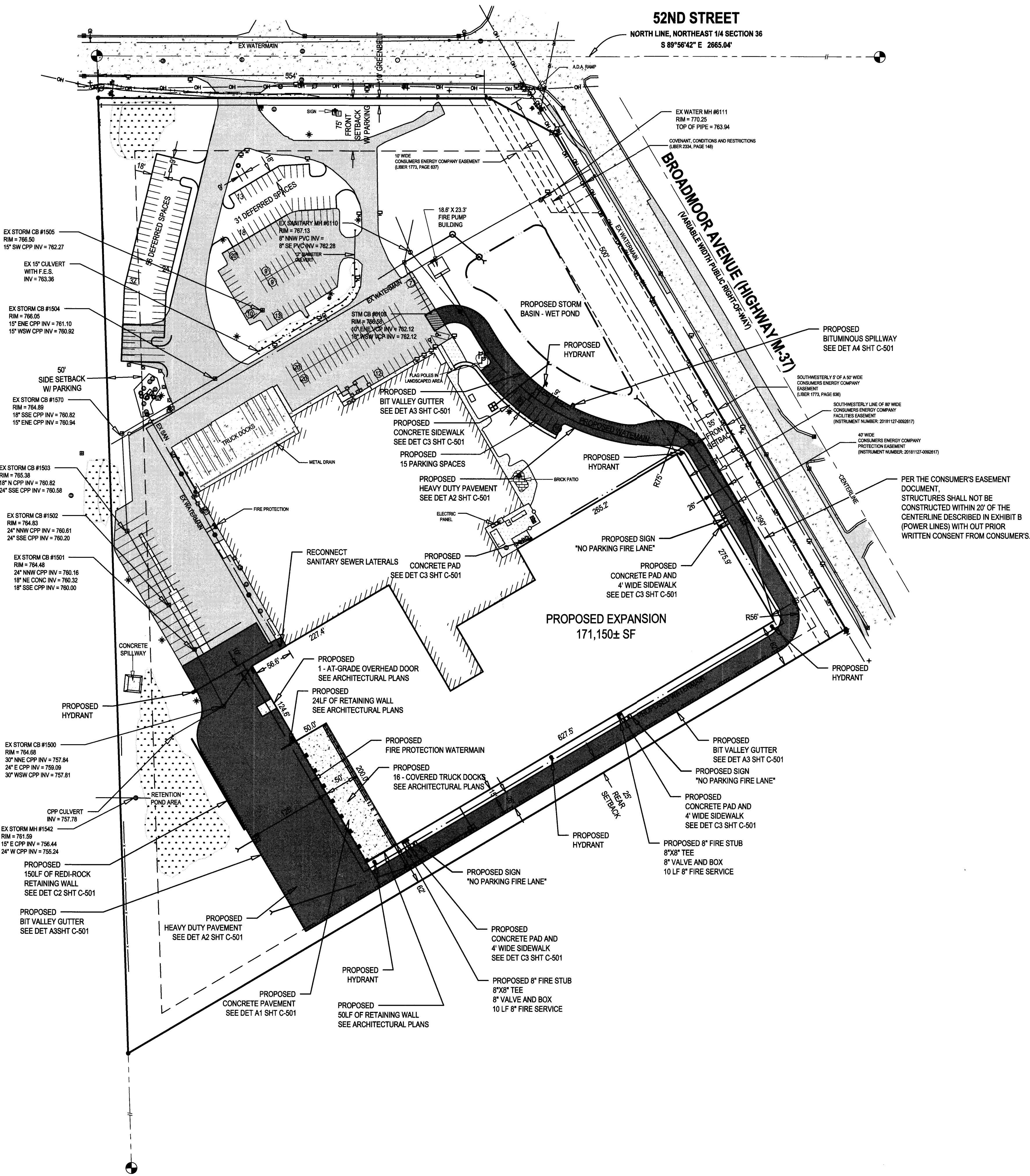
AND IS NOT IN A SPECIAL FLOOD HAZARD AREA

AND IS NOT IN A SPECIAL FLOOD HAZARD AREA

PER THE FLOOD INSURANCE RATE MAP
CITY OF KENTWOOD, KENT COUNTY, MICHIGAN
MAP NUMBER: 2601070010B
EFFECTIVE DATE: NOVEMBER 18, 1981

PARKING SUMMARY:

<u>PARKING SUMMARY:</u>	
REGULAR PARKING SPACES	92
HANDICAPPED PARKING SPACES	2
TOTAL PARKING SPACES	94



I-PUD ZONING REQUIREMENTS:

SETBACKS:
FRONT: 35' (LANDSCAPED); 75' WITH PARKING (FRONT 30' LANDSCAPED)
SIDE: 10'; 50' WITH PARKING
REAR: 25'

BUILDING COVERAGE: 50% (ALTHOUGH IT'S NOT LISTED IN I-PUD SECTION)

PARKING:
OFFICE: 1 PER 300 SF GROSS FLOOR AREA
14,000 SF / 300 = 47 SPACES
MANUFACTURING: 1 PER 2,000 SF GROSS FLOOR AREA
80,000 SF / 2,000 = 40 SPACES
WAREHOUSE: 1 PER 1,500 SF GROSS FLOOR AREA
100,050 / 1,500 = 134 SPACES
TOTAL PARKING REQUIRED: 221 SPACES

DEVELOPMENT SUMMARY:

PROPERTY AREA: 954,801 SF (21.9 ACRES)

BUILDING AREA:
EXISTING: 122,900 SF
PROPOSED: 171,150 SF
TOTAL: 294,050 SF
BUILDING COVERAGE: 30.8%

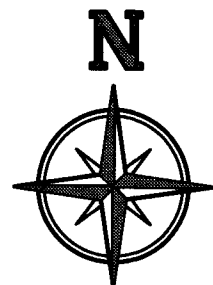
PARKING SPACES: 120 EXISTING SPACES
15 PROPOSED SPACES
135 SPACES PROVIDED
46 EMPLOYEES ON LARGEST SHIFT
REQUEST DEFERMENT OF 36 SPACES
-87 DEFERRED SPACES SHOWN

TRUCK DOCKS:
EXISTING: 10 DOCKS
PROPOSED: 16 DOCKS

TRAILER PARKING: 26 SPACES
(21 IF DEFERRED PARKING IS ADDED)

LAYOUT & UTILITY NOTES:

- SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEOTECHNICAL INFORMATION, WHICH MAY AFFECT THE SITE DESIGN, EARTHWORK QUANTITIES, USABLE SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEOTECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM SOILS INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
- CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- WETLANDS EXIST WITHIN THE PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL NOT DISTURB THE WETLAND AREAS, UNLESS PERMITTED BY THE EGLE. CONTRACTOR SHALL COMPLETE ALL WETLAND DISTURBANCE WORK IN ACCORDANCE WITH THE EGLE / USACE JOINT PERMIT AND EGLE STANDARDS AND REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE A COPY OF THE EGLE / USACE JOINT PERMIT.
- CONTRACTOR SHALL CONTACT ENGINEER IF ANY DISCREPANCIES ARE DETERMINED BETWEEN SITE LAYOUT DIMENSIONS AND ACTUAL SITE CONDITIONS.
- COORDINATE ALL UTILITY CONSTRUCTION WITH UTILITY PROVIDER, AS REQUIRED.
- CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE CITY OF KENTWOOD STANDARDS & SPECIFICATIONS.
- ALL WATERMAIN, WATER SERVICES, AND FIRE PROTECTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF THE CITY OF KENTWOOD STANDARDS & SPECIFICATIONS.
- ALL WORK WITHIN THE PUBLIC ROAD RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM THE KENT COUNTY ROAD COMMISSION AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THEIR STANDARDS & SPECIFICATIONS.
- COORDINATE ALL SIGNAGE REMOVAL AND RELOCATION WITHIN THE RIGHT-OF-WAY WITH KENT COUNTY ROAD COMMISSION.
- SITE CONTRACTOR RESPONSIBLE TO CONNECT EXISTING AND PROPOSED BUILDING TO WATER SERVICE AND SANITARY SEWER LATERAL, REFER TO PLUMBING PLANS FOR CONNECTION LOCATION AND DETAILS.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS. BUILDING SHALL BE STAKED BASED ON FOUNDATION PLAN. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE ARE DISCREPANCIES BETWEEN THE BUILDING AND SITE DRAWINGS.
- ON-SITE LIGHTING SHALL DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES AS REQUIRED PER THE CITY OF KENTWOOD ZONING ORDINANCE.
- SITE SIGNAGE SHALL MEET THE STANDARDS AND REQUIREMENTS OF THE CITY OF KENTWOOD ZONING ORDINANCE. A SIGN PERMIT SHALL BE ACQUIRED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MEETING THE STANDARDS AND REQUIREMENTS OF THE LOCAL NOISE ORDINANCE FOR ALL CONSTRUCTION PRACTICES.
- SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.



0' 40' 80' 160'
SCALE 1" = 80'

HOLLAND
ENGINEERING

THIRD COAST DEVELOPMENT

SNACKCRAFT
4444 52ND STREET, SE
KENTWOOD, MICHIGAN 49512

PT OF THE NE 1/4 SECT. 36, T6N, R11W
CITY OF KENTWOOD, KENT CO., MI.

The Surveyor's / Engineer's liability for any and all claims, including those arising out of the Surveyor's / Engineer's professional services, misrepresentation shall amount no greater than the service fee.

ATTN: MR. BRAD ROSELY, Y
545 MICHIGAN STREET NE UNIT 203
GRAND RAPIDS, MI 49503

Issued for:

No.	Description	Date
1	SITE PLAN SUBMITTAL	10/03/2023

Project Manager

RYAN T. YSSELDYKE, P.E.

Vertical Datum

NAVD88

Horizontal Datum

LOCAL

Drawn by

MARK BROOKHOUSE

Checked by

Survey

Civil

Struc.

L.A.

HEI Project Number

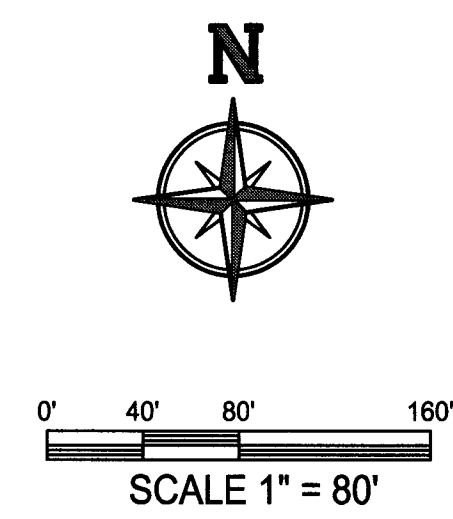
22-10-032

Sheet Title

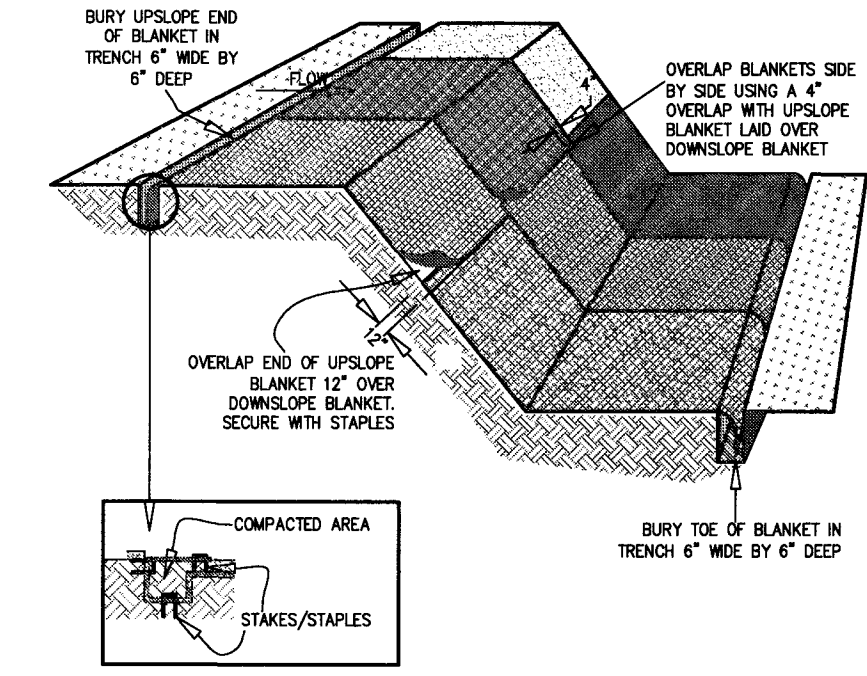
SITE LAYOUT PLAN

Sheet No.

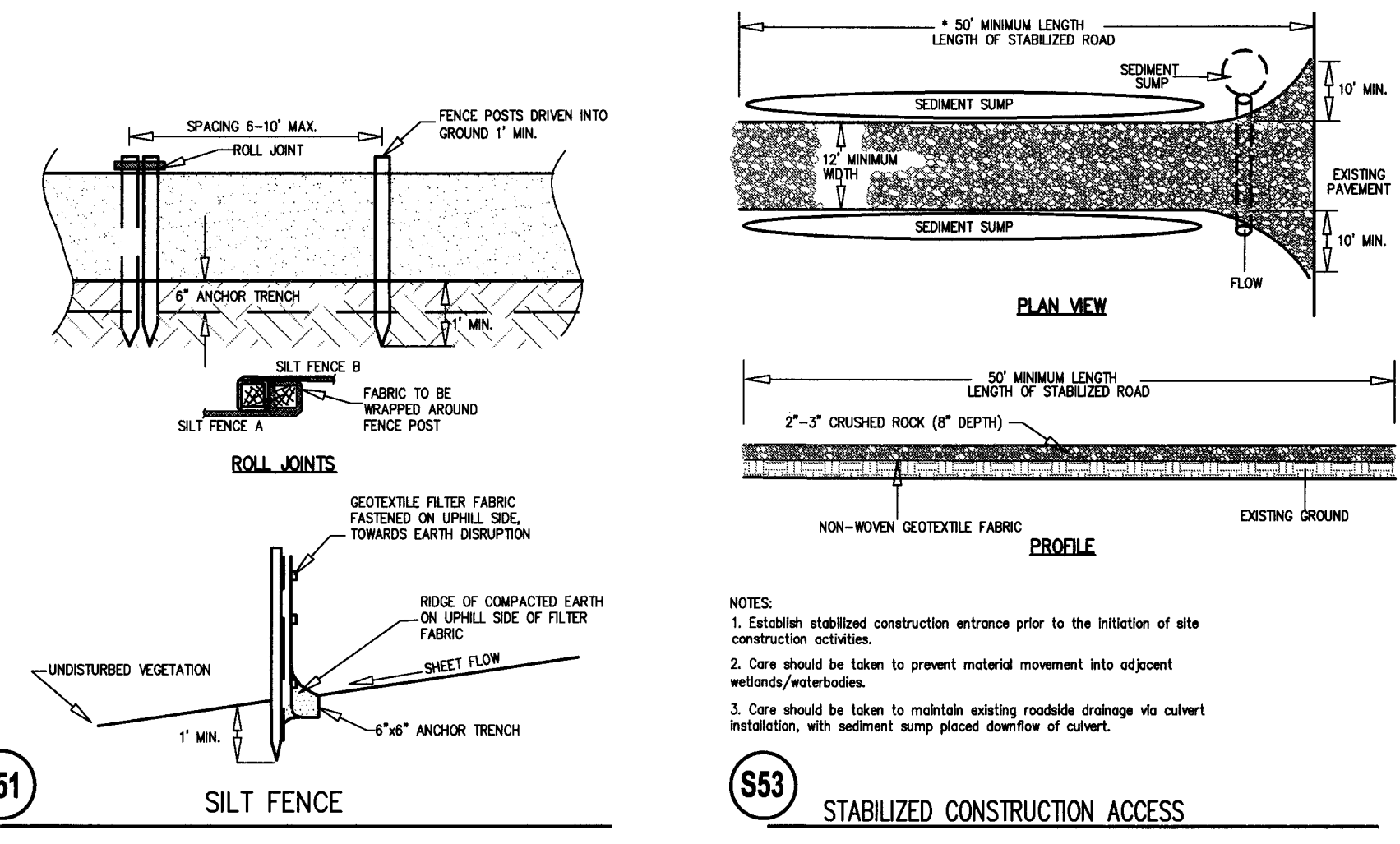
C-101



E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
E9	MULCH BLANKETS		On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion.
E12	RIPRAP		Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion.
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.



- NOTES:
- ① PLACE MULCH BLANKET PARALLEL TO FLOW AND ANCHOR SECURELY.
 - ② WHEN BLANKETS ARE USED IN FLOWING DITCH, BLANKETS SHOULD NOT OVERLAP IN DITCH CENTER PARALLEL TO FLOW.
 - ③ STAPLES INSTALLED/SECURED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - ④ WHERE POSSIBLE, CONSTRUCT WITH BIODEGRADABLE MATERIAL.



GRADING & STORM SEWER NOTES:


1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN ACQUIRED PRIOR TO CONSTRUCTION.
2. SITE DESIGN WAS DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEOTECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL ACQUIRE A COPY OF THE GEOTECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEOTECHNICAL INFORMATION WHICH WAS USED IN THE DESIGN. EASTWARD COUNTY HAS THE USE/ SOILS, AND SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEOTECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM SOIL INFORMATION CONTAINED IN THE GEOTECHNICAL INFORMATION.
3. CALL MISS DIG AT LEAST 3 (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
4. WETLANDS EXIST WITHIN THE PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL NOT DISTURB THE WETLAND AREAS, UNLESS PERMITTED BY THE EGLE. CONTRACTOR SHALL OBTAIN A PERMIT FROM EGLE AND EASTWARD COUNTY TO OBTAIN THE USE/ USACE JOINT PERMIT AND EGLE STANDARDS AND REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE A COPY OF THE EGLE / USACE JOINT PERMIT.
5. CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
6. ALL WORK WITHIN THE RIGHT-OF-WAY WILL REQUIRE A PERMIT AND OR APPROVAL FROM K.C.R.G.O. SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THEIR STANDARDS & SPECIFICATIONS.
7. STORM WATER MANAGEMENT SYSTEM AND GRADING SHALL BE IN ACCORDANCE WITH THE CITY OF KENTWOOD STORM WATER ORDINANCE.
8. SITE CONTRACTOR RESPONSIBLE TO CONSTRUCT STORM / ROOF WATER TO STORM DRAIN AS SHOWN, BEFORE TO PLUMBING PLANS FOR CONNECTION TO THE BUILDING AND DETAILS.
9. SITE SHALL BE GRADED WITH SMOOTH CONTOURS IN ALL AREAS OF DISTURBANCE AND GRADING SLOPE AWAY FROM THE EXISTING AND PROPOSED BUILDINGS AND SIDEWALKS.
10. ALL STORM SEWER PIPING SHALL BE ADS N-12, HANCOX HI-Q OR APPROVED EQUIVALENT POLYETHYLENE (PE) PLASTIC PIPE AND FITTINGS, UNLESS OTHERWISE SPECIFICALLY SPECIFIED IN THE PLANS, CONCRETE CLASS IV PIPE WITH RUBBER GASKETS IS REQUIRED.
11. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

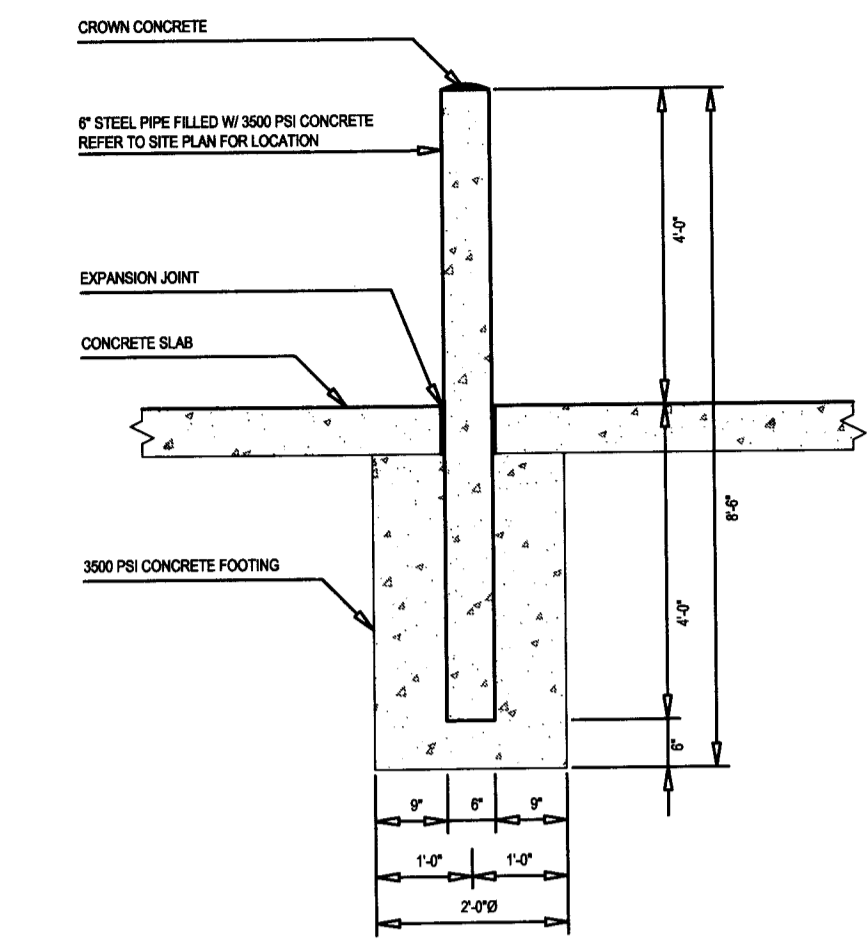
SECT NOTES:

1. CONTRACTOR SHALL OBTAIN ALL STATE AND LOCAL PERMITS AS NECESSARY FOR CONSTRUCTION.
2. SITE DESIGN SHALL BE DEVELOPED IN ACCORDANCE WITH THE INFORMATION CONTAINED IN THE GEO TECHNICAL REPORT AND SOIL BORINGS COMPLETED FOR THE PROJECT. CONTRACTOR SHALL CONSULT WITH THE GEO TECHNICAL REPORT AND SOIL BORING INFORMATION. SOIL CONDITIONS MAY VARY FROM THE GEO TECHNICAL INFORMATION, WHICH MAY AFFECT THE SITE DESIGN, EARTHWORK QUANTITIES, USABLE SOILS. THE SOIL EROSION CONTROL PLAN, EROSION CONTROL PRACTICES. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND GEO TECHNICAL ENGINEER IF SITE CONDITIONS VARY FROM SOILS INFORMATION CONTAINED IN THE GEO TECHNICAL INFORMATION.
3. CONTRACTOR IS RESPONSIBLE TO ACQUIRE THE CITY OF KENTWOOD SOIL EROSION AND SEDIMENTATION CONTROL PLAN, PERMITS, COVERAGE AND COMPLIANCE WITH ALL PERMIT REQUIREMENTS AND WITH ALL STANDARDS AND REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION.
4. EROSION CONTROL MEASURES SHALL BE UTILIZED DURING AND AFTER CONSTRUCTION FOR TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
5. CONTRACTOR SHALL PROVIDE A CERTIFIED STORM WATER OPERATOR FROM THE CONSTRUCTION COMPANY TO MONITOR SITE STABILIZATION.
6. THE TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH SIGNIFICANT RAIN EVENT IN ACCORDANCE WITH THE EROE REQUIREMENTS.
7. CALL MISS DIG AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KENTWOOD AND KENT COUNTY ROAD COMMISSION STANDARDS AND SPECIFICATIONS.
9. SOIL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO EARTH MOVING OR GRADING. DISTURBANCE AND REMAIN IN PLACE UNTIL FINAL RESTORATION HAS BEEN ESTABLISHED.
10. THE STORM WATER MANAGEMENT BASIN SHALL BE CONSTRUCTED FIRST. CONTRACTOR IS RESPONSIBLE TO REMOVE SEDIMENT FROM BOTTOM OF DETENTION BASIN PRIOR TO THE SITE STABILIZATION PERMIT.
11. ALL FOREIGN MATERIAL OR DEBRIS FROM JOB SITE WHICH IS DEPOSITED ON PAVED ROADWAY SHALL BE REMOVED IMMEDIATELY.
12. THE PAVED ROADWAY SHALL BE SWEEP CLEAN AS NEEDED, BUT AT LEAST ONCE A WEEK.
13. SOIL EROSION CONTROL MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND THE OWNER UPON COMPLETION.
14. CONTRACTOR SHALL PHASE THE PLACEMENT OF THE SOIL EROSION CONTROL MEASURES AS NECESSARY FOR THE SITE IMPROVEMENTS WITHIN THE LIMITATIONS OF THE TEMPORARY SOIL EROSION CONTROL PERMIT.
15. STOCKPILE AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT SEED IN ACCORDANCE WITH THE CITY OF KENTWOOD SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS. ALL EXCESS SOILS SHALL BE REMOVED FROM SITE.
16. ALL EXCESS SOILS SHALL BE HAULED OFFSITE AND LEGALLY PLACED IN AN UNPAVED AREA OF AN ENCUMBERED WETLANDS OR FLOODPLAIN.
17. THERE SHALL BE NO EARTH MOVEMENT OR DISTURBANCE OUTSIDE THE LIMITS OF DISTURBANCE WITHOUT PRIOR AUTHORIZATION FROM THE CITY OF KENTWOOD.
18. THE MINIMUM AMOUNT OF SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE SHOWN THE DRAWINGS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONTROL MEASURES, MAINTENANCE AND/OR STABILIZATION MEASURES AS NECESSARY FOR CONSTRUCTION ACTIVITIES.
19. SEE OTHER SHEETS IN PLAN SET FOR MORE INFORMATION.

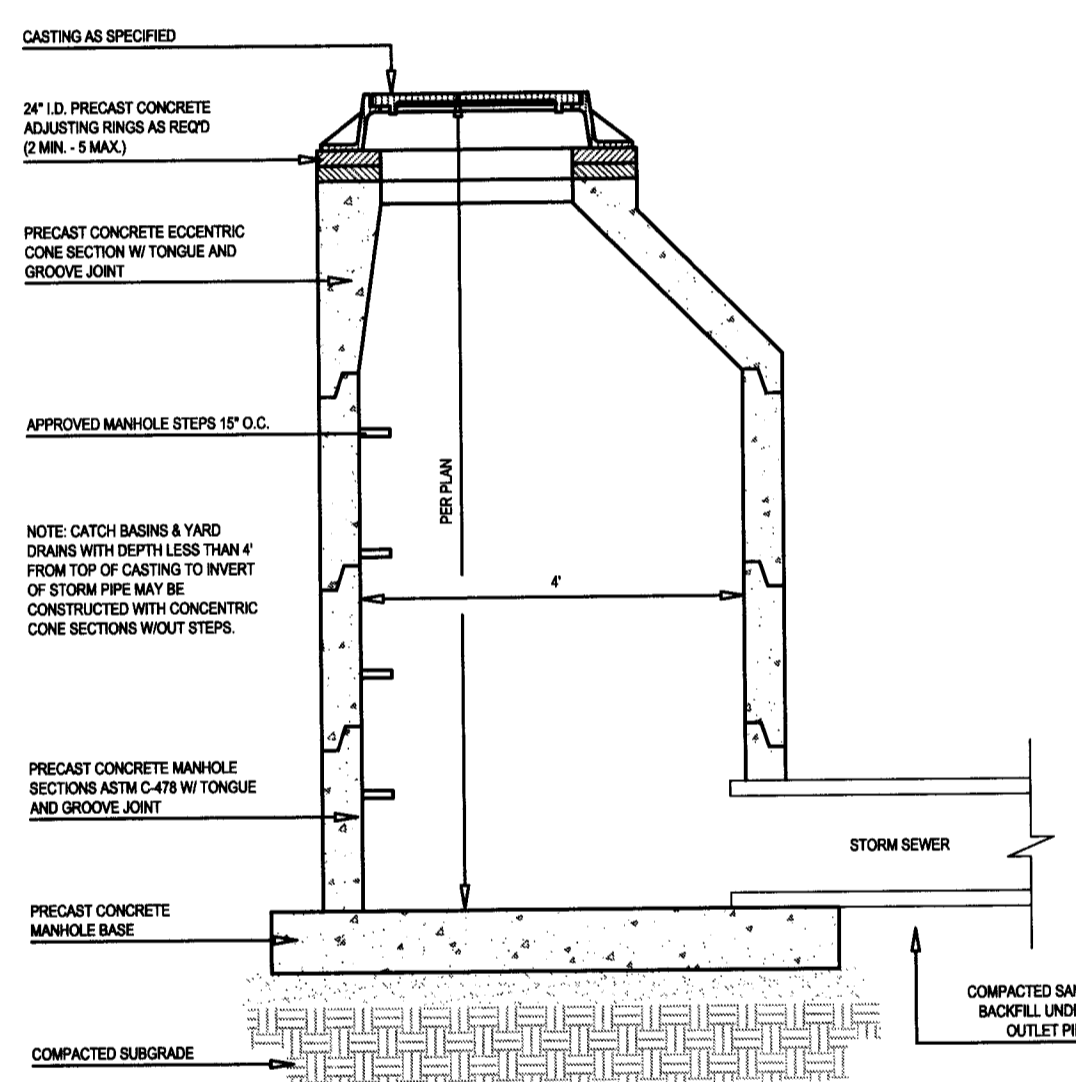
CITY OF KENTWOOD SESC NOTES:

1. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC ACT 461.
2. ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS UNTIL AND AFTER THE OCCURRENCE OF ANY SIGNIFICANT RAINFALL EVENT.
3. ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
4. EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.
5. SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL THE EROSION CONTROL MEASURES ARE ESTABLISHED. THE SILT FENCE MUST BE TIED IN A MINIMUM OF 8 INCHES ALONG ITS BASE.
6. ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 AND THE DETENTION BASIN BANKS AND BOTTOM MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN 5-150 (OR APPROVED EQUAL). EROSION CONTROL BLANKET, THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE TOPOGRAPHY SURFACE.
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS, AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
8. NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT DOES OCCUR, IT SHALL BE CLEANED DAILY.

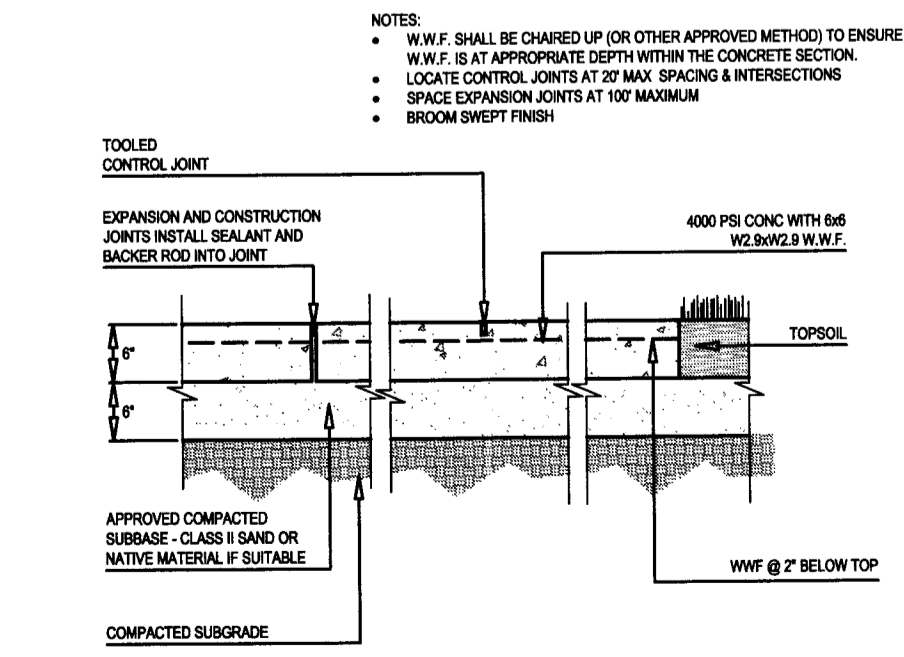
<div><div></div><div><div>220 Hoover Boulevard</div><div>Holland, Michigan 49423-3766</div><div>T 616-392-3536 F 616-392-2110</div></div></div>		<div><div><div>Third Coast Development</div><div>ATTN: MR. BRAD ROSELY, Y</div><div>545 MICHIGAN STREET NE UNIT 203</div><div>GRAND RAPIDS, MI 49503</div></div><div><div>The Engineer's liability for any work performed including but not limited to those arising out of the Engineer's professional design, negligence, gross misconduct, warranties or misrepresentations shall not be limited in any manner to the amount not greater than the service fee.</div></div></div>																																		
<div><div>SNACKCRAFT</div><div>4444 52ND STREET, SE</div><div>KENTWOOD, MICHIGAN 49512</div></div>		<div><div>PT OF THE NE 1/4 SECT. 36, T6N, R11W</div><div>CITY OF KENTWOOD, KENT CO., MI.</div></div>																																		
<div><div>Issued for:</div><table><tr><th>Date</th><th>Description</th><th>No.</th></tr><tr><td>01/03/2023</td><td>SITE PLAN SUBMITTAL</td><td>A</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table></div>		Date	Description	No.	01/03/2023	SITE PLAN SUBMITTAL	A																												<div><div>Project Manager</div><div>RYAN T. YSSELDYKE, P.E.</div></div> <div><div>Vertical Datum</div><div>NAVD88</div></div> <div><div>Horz. Datum</div><div>LOCAL</div></div> <div><div>Drawn by</div><div>MARK BROOKHOUSE</div></div> <div><div>Checked by</div><div>Survey</div></div> <div><div>Date</div><div> </div></div> <div><div>Civil</div><div> </div></div> <div><div>Struc.</div><div> </div></div> <div><div>L. A.</div><div> </div></div>	
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<div><div>HEI Project Number</div><div>22-10-032</div></div>																																				
<div><div>Sheet Title</div><div>GRADING, DRAINAGE AND ESEC PLAN</div></div>																																				
<div><div>Sheet No.</div><div>C-201</div></div>																																				



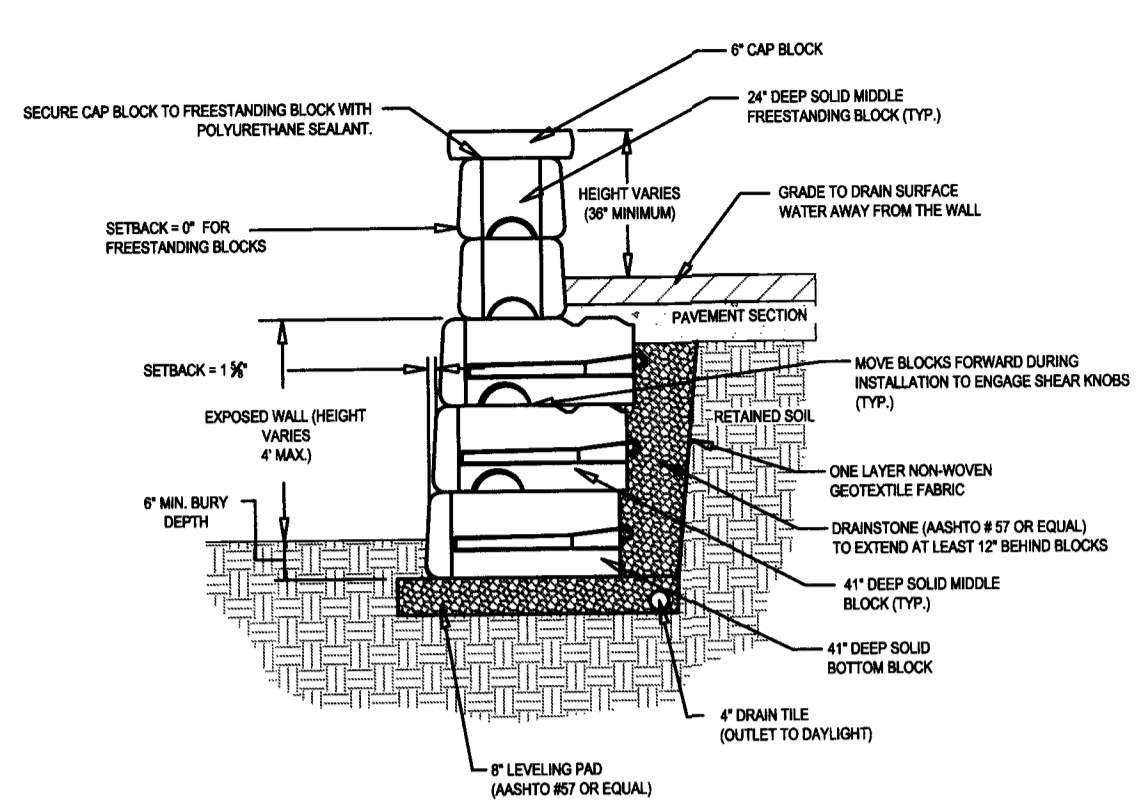
C1 6" DIAMETER BOLLARD DETAIL



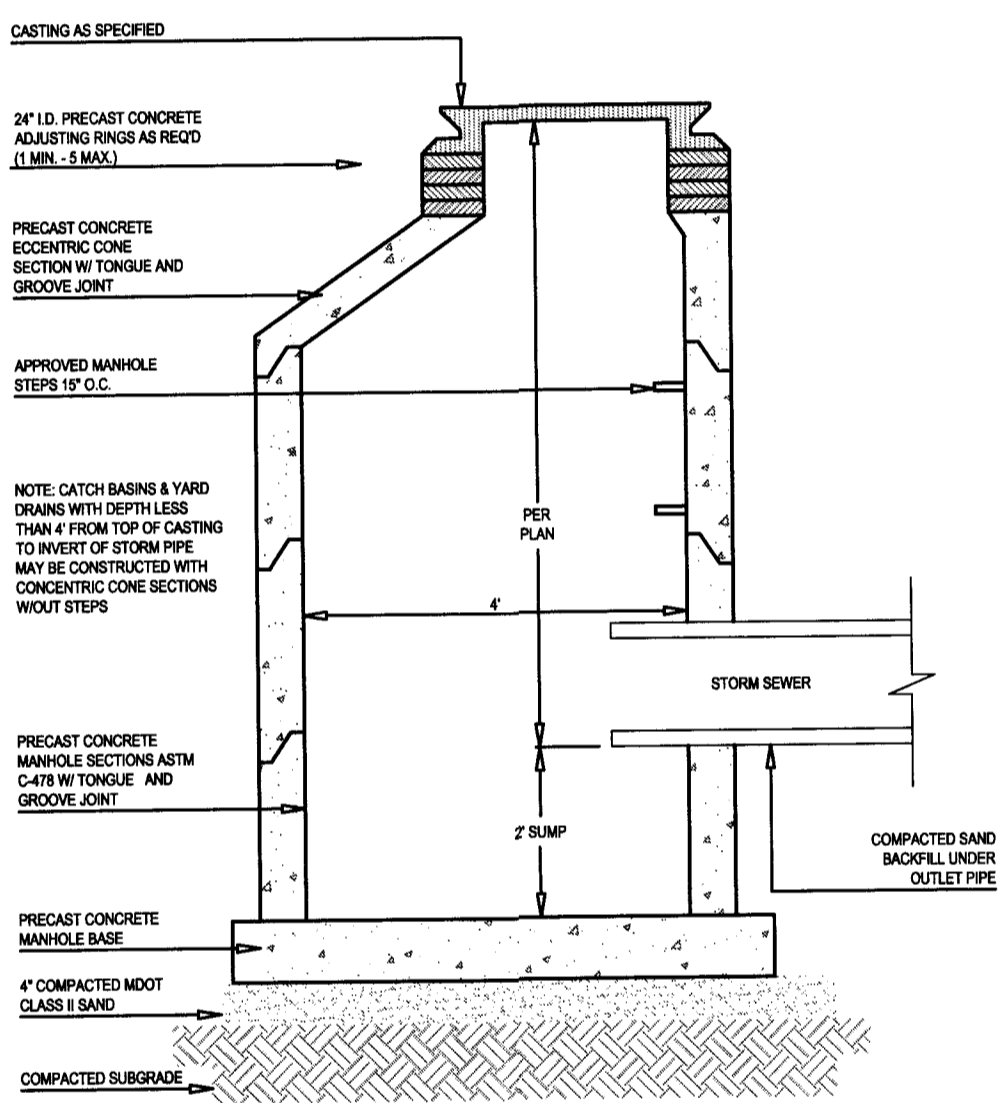
B1 4' DIA. STORM MANHOLE



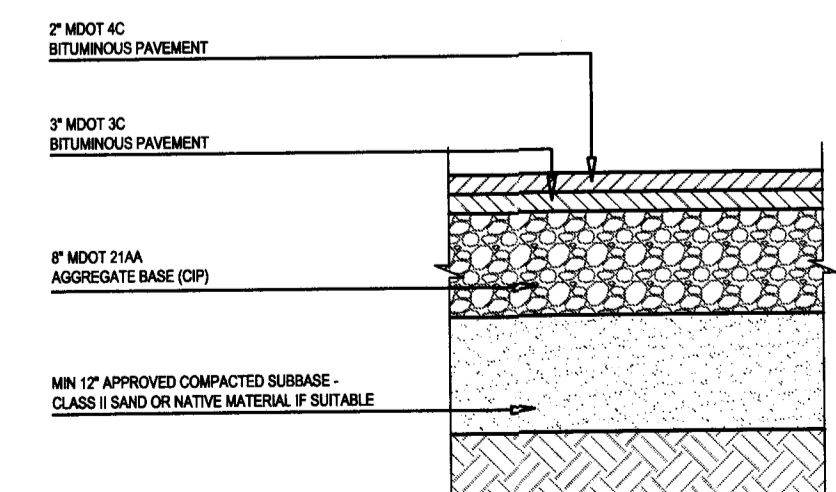
A1 6" CONCRETE PAVEMENT



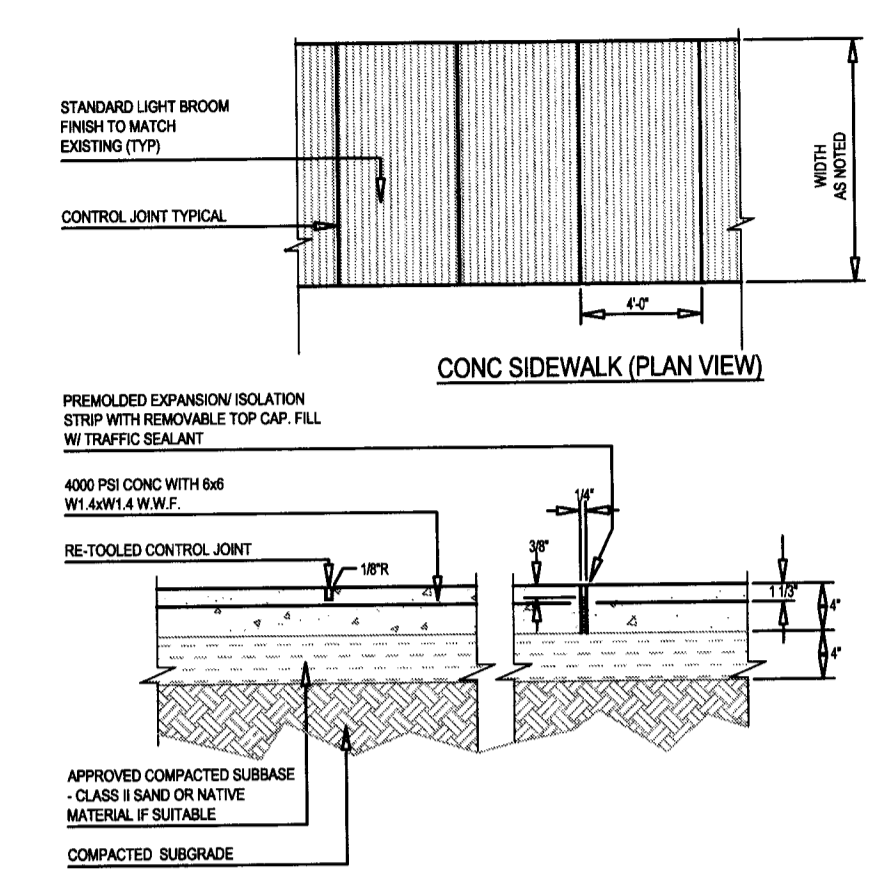
C2 REDI ROCK RETAINING WALL



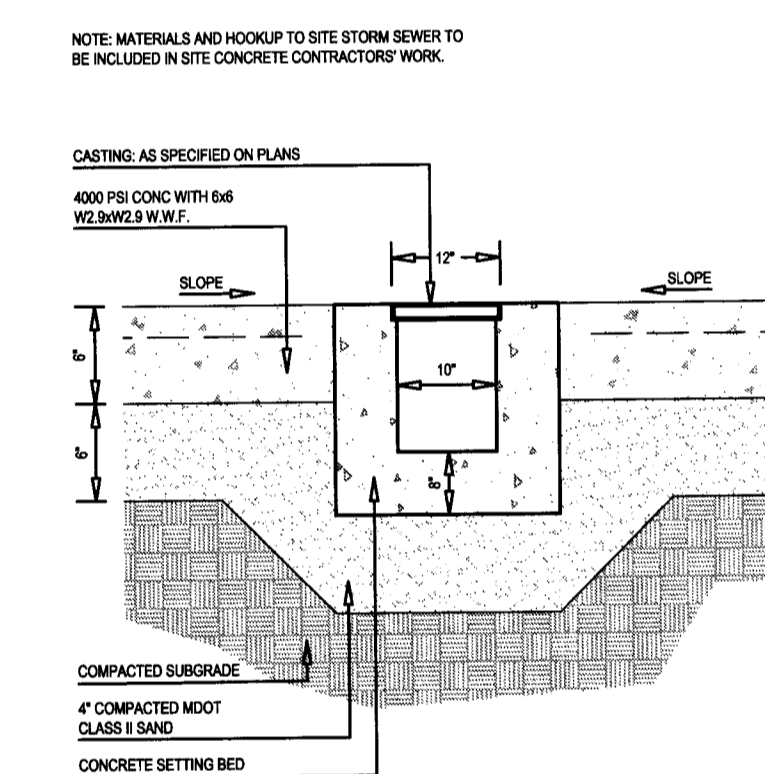
B2 4' DIA. CATCH BASIN



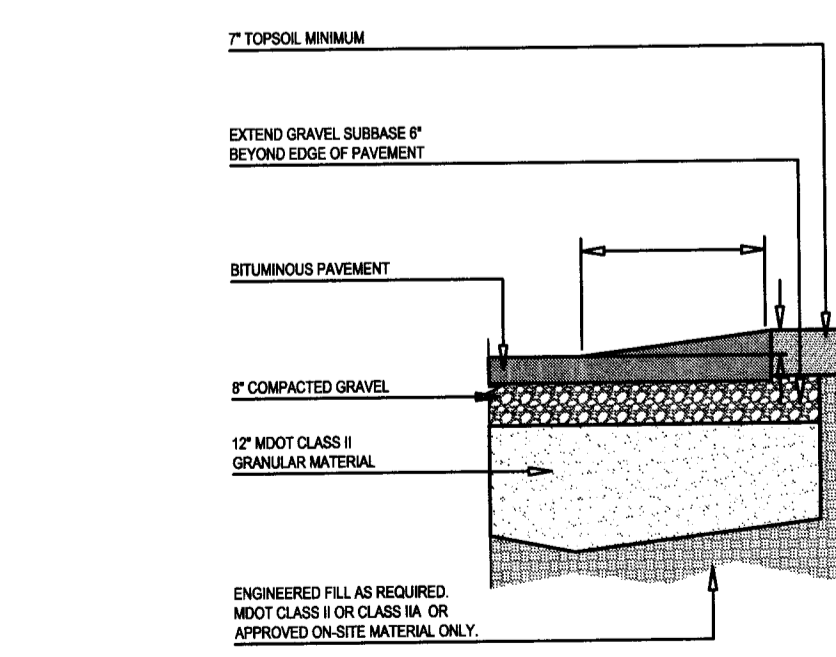
A2 HEAVY DUTY BITUMINOUS PAVEMENT SECTION



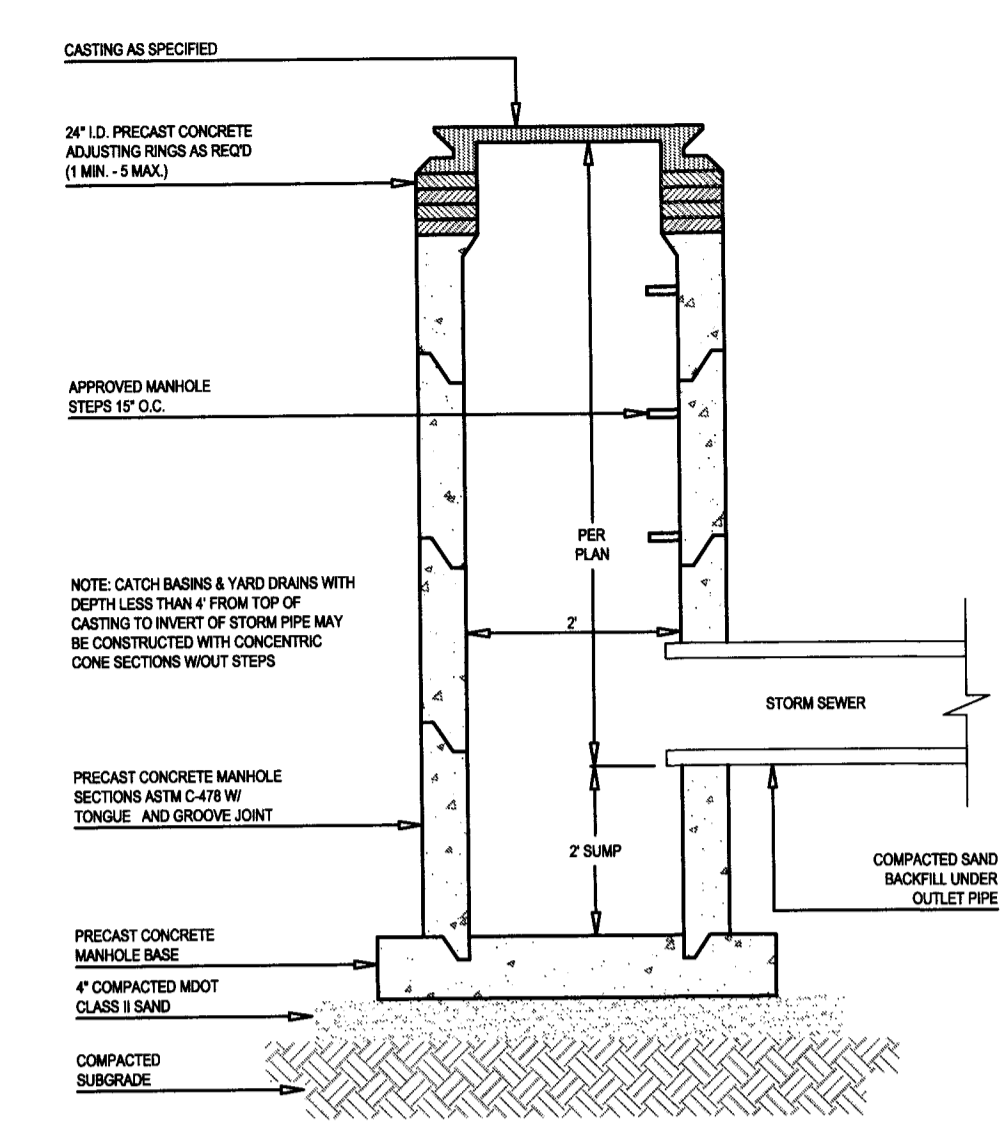
C3 4" CONCRETE PAVEMENT SIDEWALK



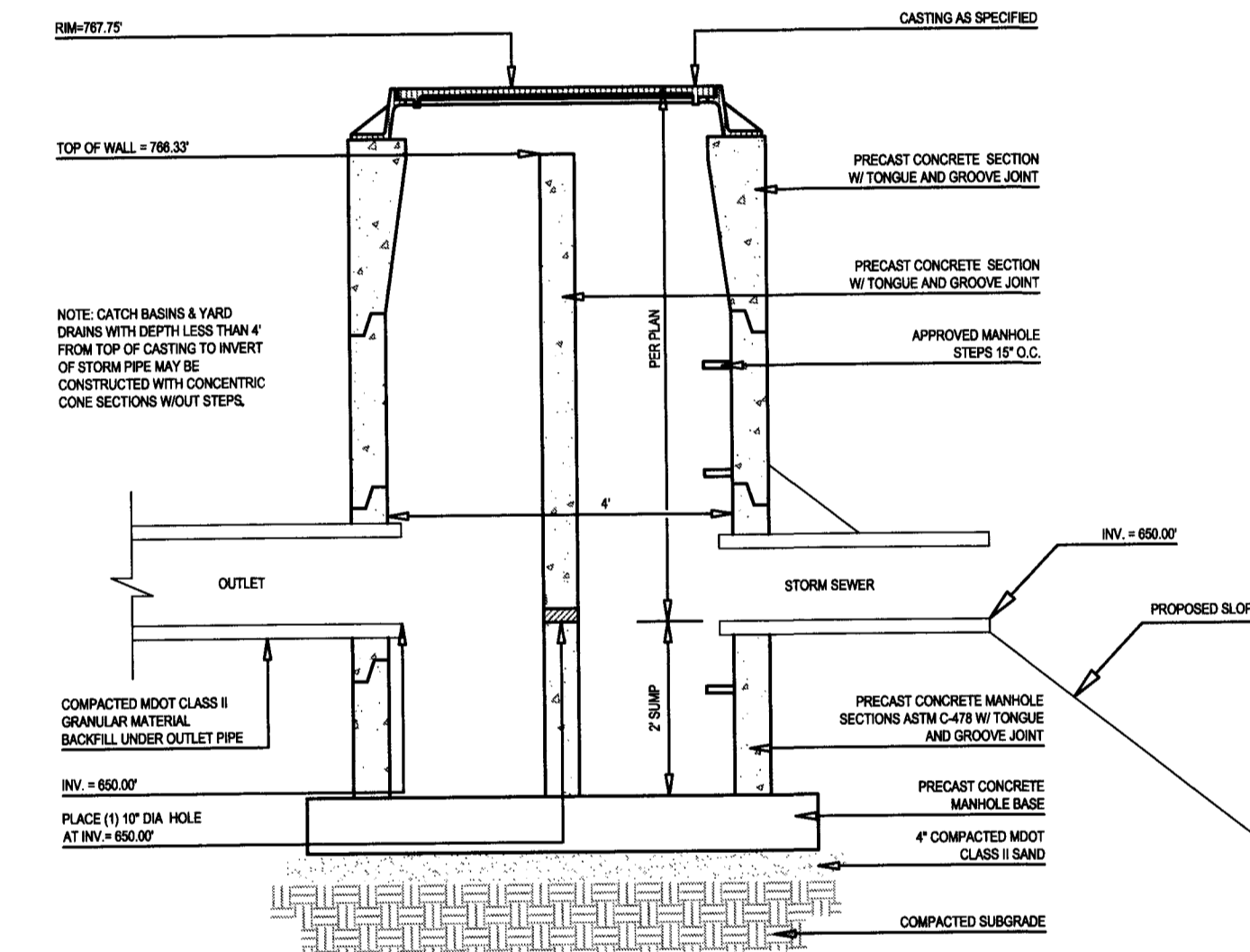
B3 TRENCH DRAIN



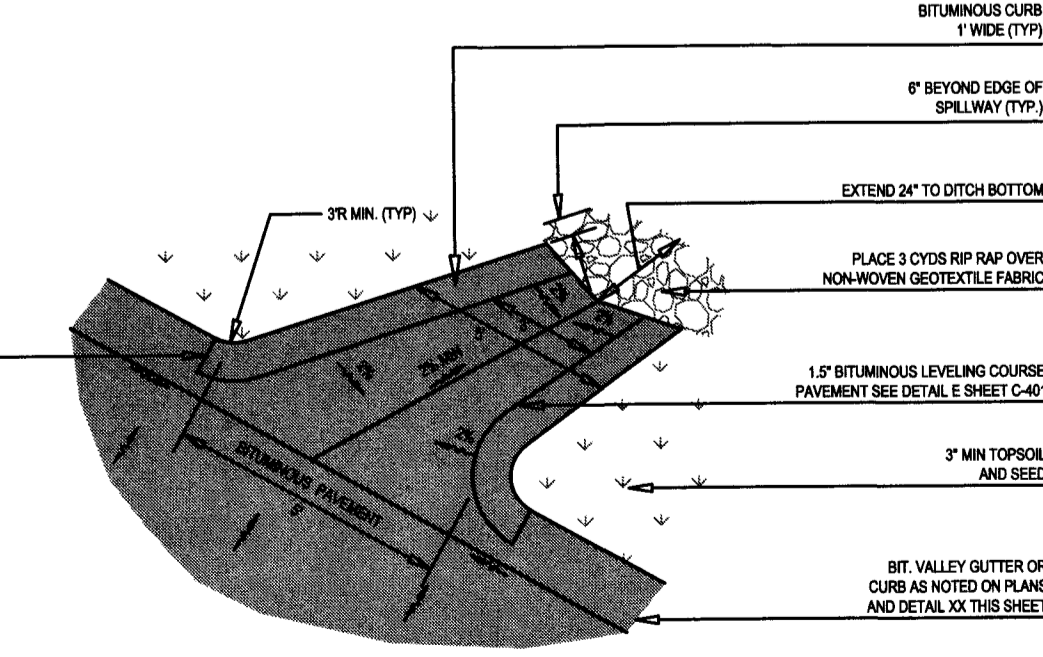
A3 BITUMINOUS VALLEY GUTTER



C4 2' DIA. CATCH BASIN



B4 4' DIA. OUTLET CONTROL OUTLET W/ WEIR WALL



A4 BITUMINOUS SPILLWAY

No.	Description	Date
1	SITE PLAN SUBMITTAL	01/03/2023

Project Manager	RYAN T. YSSELDYKE, P.E.
Vertical Datum	NAVD88
Horizontal Datum	LOCAL
Drawn by	MARK BROOKHOUSE
Checked by	
Survey	
Civil	
Struc.	
L.A.	
HEI Project Number	22-10-032
Sheet Title	GENERAL DETAILS
Sheet No.	C-501

NORTH LINE, NORTHEAST 1/4 SECTION 36
S 89°56'42" E 2665.04'

NOTE:
INSTALL TREE WRAP AT TIME OF
PLANTING, AS DIRECTED BY
LANDSCAPE ARCHITECT, REMOVE
NO LATER THAN 1 YEAR
AFTER PLANTING

**WRAP TREES WITH VERY THIN BARK,
(RED MAPLE) AS DIRECTED BY
LANDSCAPE ARCHITECT.**

**USE WOODEN STAKES WITH
NYLON TIES WHEN STAKING
TREES**



INTEGRATED
ARCHITECTURE

Integrated Architecture
340 Ottawa Avenue NW
Grand Rapids, MI 49503
516.574.0220 P
516.574.0953 F
www.intarch.com

Snack Craft Addition

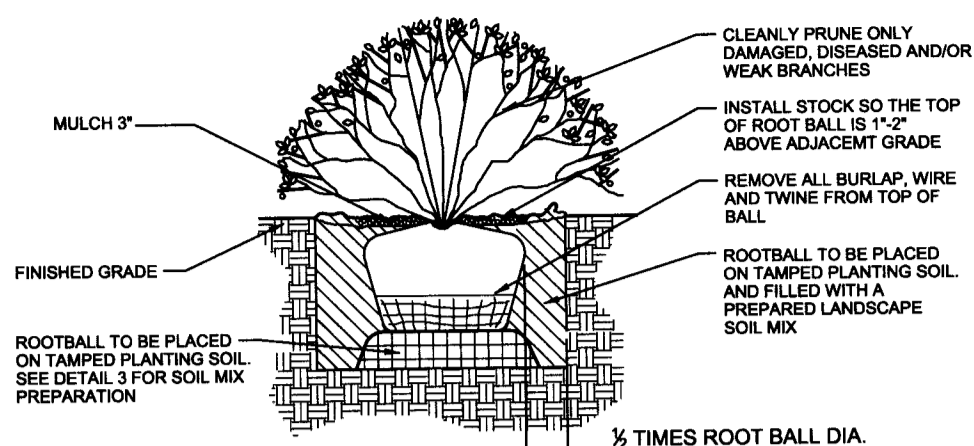
Kentwood, MI 49512

City of Kentwood Site Plan Submittal	30 Dec 2022
Design	KAB
PM / PA	DD /KS
Drawn	KAB
IA Project Number	20221110

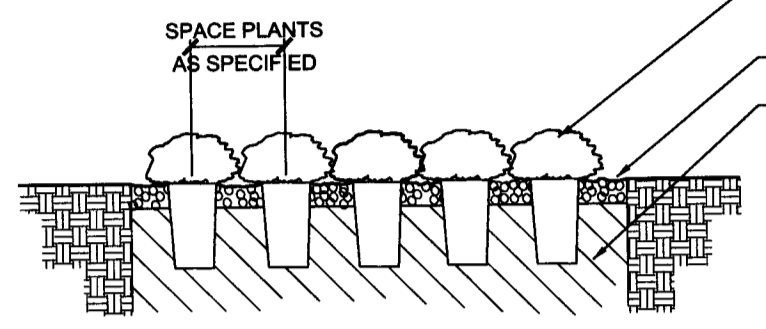
SITE LANDSCAPE PLAN

LP1-0

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LP1.0 NOT TO SCALE



LP1.0 NOT TO SCALE

CONTRACTOR NOTE:

ALL PROPOSED LANDSCAPE AREAS AND BEDS TO BE IRRIGATED. CONNECT TO EXISTING SYSTEM IF AVAILABLE.

ALL PLANTING BEDS - ANNUAL, PERENNIAL AND SHRUB BEDS TO RECEIVE 2" MIN. INCHES OF HIGH GRADE PLANTING SOIL MIX.

STEEL EDGING TO BE INSTALLED BETWEEN PLANTING BEDS AND LAWN

ALL DECIDUOUS TREES TO BE 2.5" CAL. AT TIME OF PLANTING UNLESS OTHERWISE STATED

ALL ORNAMENTAL TREES TO BE 2" CAL. AT TIME OF PLANTING UNLESS OTHERWISE STATED

ALL EVERGREEN TREES TO BE 6" TALL AT TIME OF PLANTING.

ALL DECIDUOUS SHRUBS TO BE FROM 18" MIN. IN SIZE AT TIME OF PLANTING

ALL UPRIGHT OR SPREADING EVERGREEN SHRUBS TO BE FROM 18" TO 2' TALL IN SIZE AT TIME OF PLANTING

ALL PERENNIAL/ORNAMENTAL GRASS TO BE FROM 6" TO 18" TALL AT TIME OF PLANTING UNLESS OTHERWISE STATED

CITY OF KENTWOOD ZONING REQUIREMENTS

CHAPTER 19 - LANDSCAPING/SCREENING REGULATIONS

SECTION 19.03 - REQUIRED LANDSCAPING

- A. GREENBELT ALONG STREET FRONTAGE
- 1. FRONTAGE ALONG 52ND STREET
 - a. TOTAL LENGTH OF FRONTAGE = 562.21 L.F.
 - b. TOTAL TREES REQUIRED = $562.21 / 40 \text{ L.F.} = 14 \text{ TREES}$
 - 1. TOTAL PROVIDED = 6 EXISTING AND 5 NEW TREES
 - c. TOTAL SHRUBS REQUIRED = $562.21 / 40 \text{ L.F.} = 14 \times 7 \text{ SHRUBS} = 98 \text{ SHRUBS}$
 - 2. FRONTAGE ALONG 42ND AVENUE
 - a. TOTAL SHRUBS PROVIDED = USE EXISTING VEGETATION
 - b. TOTAL LENGTH OF FRONTAGE = 819.38 L.F.
 - c. DUE TO THE CONSUMING POWER EASEMENT WE WILL WORK WITH CITY STAFF TO DETERMINE PLANT MATERIAL NEEDED.
- C. BUFFER ZONES
- 1. BUFFERS IN THIS AREA ARE EXEMPT FROM THIS REQUIREMENT AS THE ADJACENT LANDUSES ARE THE SAME
- D. PARKING AREA LANDSCAPING
- 1. OFF-STREET PARKING AREAS CONTAINING TEN (10) OR MORE PARKING SPACES SHALL BE PROVIDED WITH LANDSCAPING.
 - a. EXISTING PARKING AREA NORTH OF BUILDING FRONTAGE = 61 SPACES. TOTAL TREES REQUIRED = 6 TREES
 - 1. TOTAL NEW TREES PROVIDED = 6 TREES
 - b. EXISTING PARKING AREA NORTH OF BUILDING FRONTAGE = 59 SPACES. TOTAL TREES REQUIRED = 6 TREES
 - 1. TOTAL NEW TREES PROVIDED = 6 TREES
 - 2. TOTAL EXISTING TREES SAVED = 1 TREE
 - c. PARKING AREAS LOCATED WITHIN THE FRONT YARD SHALL HAVE A HEDGEROW OR BERM
 - a. 3 TALL BERM AND THREE (3) EXISTING EVERGREEN TREES ARE LOCATED BETWEEN THE PARKING AREA AND STREET FRONTAGE.
- E. DETENTION/RETENTION POND LANDSCAPING
- 1. ONE (1) CANOPY TREE (POND) AND NINE (9) SHRUBS ARE REQUIRED PER FIFTY (50) L.F. OF POND PERIMETER.
 - a. TOTAL PERIMETER OF POND = 873.48 L.F.
 - 1. TOTAL TREES NEEDED SURROUNDING POND = 17.48 TREES
 - 2. TOTAL TREES PROVIDED 18 DECIDUOUS AND EVERGREEN TREES
 - b. TOTAL SHRUBS NEEDED SURROUNDING POND = 167 SHRUBS
 - 1. TOTAL SHRUBS PROVIDED = 53 SHRUBS AND ORNAMENTAL GRASSES
- G. ACCESSORY SITE COMPONENTS
- 1. SCREENING OF UTILITY TRENCHES ARE REQUIRED
 - a. PROVIDED FIVE (5) EVERGREEN TREES

GENERAL STANDARDS FOR LANDSCAPING:

1. REQUIRED VEGETATION: ALL AREAS NOT COVERED BY BUILDINGS, PARKING AREAS, DRIVEWAYS, WALKWAYS, PEDESTRIAN PLAZAS OR OTHER PEDESTRIAN - ORIENTED IMPERVIOUS SURFACES OR WATER SURFACES SHALL BE PLANTED WITH LIVING VEGETATION, INCLUDING CANOPY TREES, SHRUBBERY AND GROUND COVERS.
2. TOPSOIL: TOPSOIL SHALL BE INSTALLED WITH A MINIMUM DEPTH OF FOUR (4) INCHES FOR LAWN AREAS, AND TWELVE (12) TO FIFTEEN (15) WITHIN PLANTING BEDS. THE TOPSOIL WITHIN THE LIMITS OF DISTURBANCE OF A CONSTRUCTION SITE SHALL BE AMENDED WITH ORGANIC SOIL ADDITIVES AS RECOMMENDED BY A LANDSCAPE SOILS TEST PRIOR TO BEING REDISTRIBUTED IN ACCORDANCE WITH BEST LANDSCAPE PRACTICES.
4. LANDSCAPE SOILS THAT HAVE BEEN COMPACTED DURING CONSTRUCTION ACTIVITIES SHALL BE LOOSENEED AND AERATED TO A DEPTH OF AT LEAST SIX (6) INCHES.
5. STABILIZATION: ALL LANDSCAPE PLANTING AREAS SHALL BE STABILIZED AND MAINTAINED WITH SEED, SOD, GROUND COVERS, MULCHES OR OTHER APPROVED MATERIALS TO PREVENT SOIL EROSION AND ALLOW RAINWATER INFILTRATION
6. PLANTING BEDS: BARK USED AS MULCH SHALL BE MAINTAINED AT A MINIMUM DEPTH OF THREE (3) INCHES. PLANTING BEDS SHALL EDGED WITH PLASTIC METAL BRICK OR STONE IN RESIDENTIAL ZONE DISTRICTS AND METAL IN ALL OTHER ZONE DISTRICTS.
7. TIMING OF PLANTING: ALL REQUIRED PLANT MATERIAL SHALL BE PLANTED PRIOR TO ISSUING A BUILDING CERTIFICATE OF OCCUPANCY.
8. COMPLETION OF IMPROVEMENTS: TREE STAKES, GUY STAKES AND TREE WRAP SHALL BE REMOVED AFTER COMPLETION OF THE INITIAL GROWING SEASON.
9. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AREAS, INCLUDING VEGETATION IN THE RIGHT-OF-WAY.
10. PLANT MATERIALS, INCLUDING LAWN SHALL BE MAINTAINED IN A SUBSTANTIALLY WEED FREE, HEALTHY GROWING CONDITION, NEAT AND ORDERLY IN APPEARANCE IN ACCORDANCE WITH THE APPROVED SITE PLAN.
11. PLANTS SHALL BE CONTROLLED BY PRUNING, TRIMMING, OR OTHER SUITABLE METHODS SO AS NOT TO INTERFERE WITH PUBLIC UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR CONSTITUTE A TRAFFIC HAZARD.
12. UNHEALTHY, WITHERED, SEVERELY PRUNED, DISEASED OR DEAD PLANTS SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.
13. PRIORITY SHALL BE GIVEN TO PRESERVING AND PROTECTING SIGNIFICANT TREES THAT PROVIDE SCREENING, BUFFERING, WILDLIFE HABITAT AND/OR LINKAGES TO WILDLIFE HABITAT.
14. LANDSCAPING SHALL BE INSTALLED SUCH THAT, WHEN MATURING, IT DOES NOT OBSCURE SIGNAGE, BARRIERS, LIGHTING, DRAINAGE PATTERNS ON SITE OR ADJACENT PROPERTIES, OR OBSTRUCT VISION FOR SAFETY OF INGRESS OR EGRESS
15. ALL LANDSCAPED AREAS SHALL BE ARRANGED TO SIMULATE A NATURAL SETTING SUCH AS STAGGERED ROWS OR MASSINGS
16. ALL DECIDUOUS TREES AND EVERGREENS MUST HAVE A HEAVY SOIL ROOT BALL

NOTE:
IT IS THE INTENTION OF THIS PROJECT TO MEET THE LANDSCAPE
STANDARDS AS INDICATED WITHIN CHAPTER 19 - LANDSCAPE
REGULATIONS OF THE ZONING ORDINANCE. DUE TO THE CONSUMERS
POWER EASEMENTS ALONG BROADMOR AVENUE WE WILL WORK WITH
THE CITY STAFF TO DETERMINE THE APPROPRIATE LANDSCAPE
ENHANCEMENTS WITHIN THIS AREA.

EXISTING TREES:

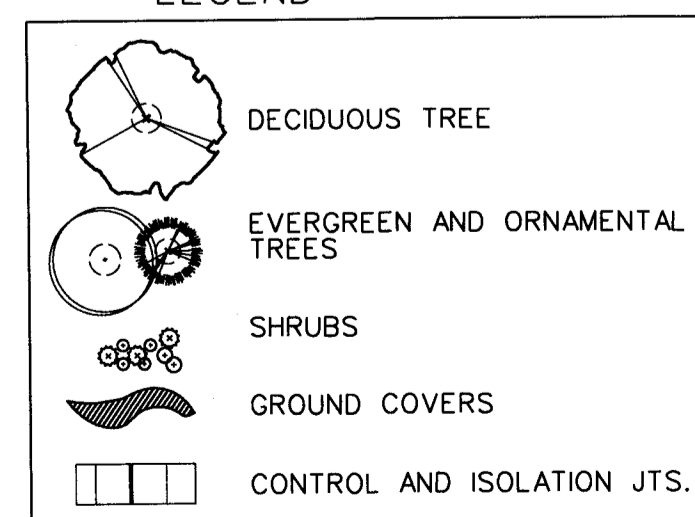
THE AREA BELOW THE DRIP LINE OF AN EXISTING TREE TO BE SAVED SHALL REMAIN UNDISTURBED. NO IMPERVIOUS MATERIAL SHALL BE PLACED UNDER THE DRIP LINE. PROVIDE TREE PROTECTION FENCING AND INSTALL AROUND TREES DESIGNATED TO BE SAVED AND/OR LINE OF DISTURBANCE.

NO VEHICLE OR CONSTRUCTION EQUIPMENT SHALL BE PARKED OR STORED WITHIN THE DRIP LINE OF ANY PLANT MATERIAL DESIGNATED TO BE SAVED.

NO VEHICLE OR CONSTRUCTION EQUIPMENT SHALL BE PARKED OR STORED WITHIN THE DRIP LINE OF ANY PLANT MATERIAL DESIGNATED TO BE SAVED.

IN THE EVENT THAT HEALTHY EXISTING TREES DESIGNATED TO BE SAVED ARE DESTROYED, THEY SHALL BE REPLACED WITH TREES WHICH COMPLY WITH THE TOWNSHIP REQUIREMENTS.

LEGEND



KEY	QUAN	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AGA	4	AMELANCHIER X GRAND. 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2.5' CAL./B & B	MULTISTEMMED TREE, 3-5 CANES
ASJ	7	ACER SACCHARUM 'JFS-KW8'	AUTUMN FEST MAPLE	2.5' CAL./B & B	FULL HEADS WITH STRAIGHT LEADERS
BNC	6	BETULA NIGRA 'CULLY'	HERITAGE BIRCH	2.5' CAL./B & B	FULL HEADS WITH STRAIGHT LEADERS
CCJ	9	CARPINUS CAROLINIANA 'JFS-KW6'	NATIVE FLAME AMERICAN HORNBEAM	2.5' CAL./B & B	FULL HEADS WITH STRAIGHT LEADERS
NSD	7	NYSSA SYLVATICA 'DAVID ODOM'	AFTER FIRE TUPELO	2.5' CAL./B & B	FULL HEADS WITH STRAIGHT LEADERS
PP	8	PINUS PUNGENS	WHITE SPRUCE	6' TALL/B&B	TREES TO BE SHEARD SYMMETRICALLY
CA		CEANOETHUS AMERICANUS	NEW JERSEY TEA	18" TALL MIN.	SPACING 4' O.C.
CS		CORNUS STOLONIFERA	RED TWIG DOGWOOD	18" TALL MIN.	SPACING 4' O.C.
CXC		CARYOPTERIS X CLAND 'FRIST CHOICE'	BLUEBEARD 'FIRST CHOICE'	18" TALL MIN.	SPACING 3' O.C.
HKS		HYPERICUM KALM. 'SUNNY BOULEVARD'	KALM'S ST. JOHN'S WORT	18" TALL MIN.	SPACING 3' O.C.
IVS		ITEA VIRGINICA 'SMINWDFC'	SCENTLANDIA SWEETSPIRE	18" TALL MIN.	SPACING 3' O.C.
JPO		JUNIPERUS X PRITZERIANA 'OLD GOLD'	OLD GOLD JUNIPER	18"-24" SPREAD	SPACING 3' O.C.
POS		PHYSCOCARPUS OPULUS 'SMPTOT'	TINY WINE NINEBARK	18" TALL MIN.	SPACING 4' O.C.
PVH		PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	2 GALLON	SPACING 2.5' O.C.

REPORTED CHANGES MADE TO PLANT TYPE, QUANTITY AND/OR SIZE

SITE LANDSCAPE PLAN

SCALE: 1" = 60'-0"

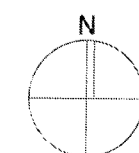
PRELIMINARY NOT FOR CONSTRUCTION

Snack Craft
Addition
4444 52nd Street SE
Kenosha, WI 53142

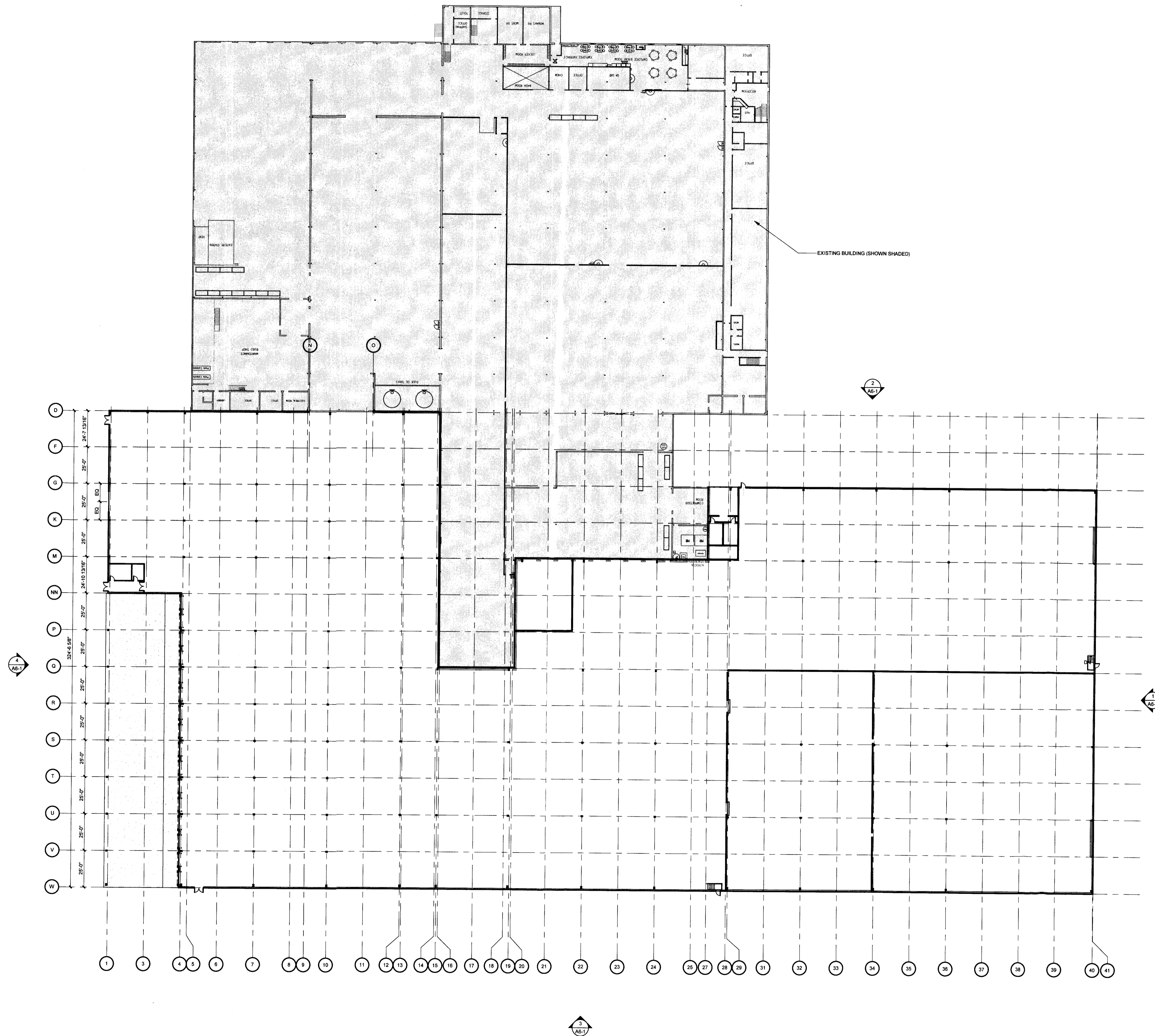
Site Plan Approval	30 December 2022
Design	MC
PM/PA	DD / KS
Drawn	MW
IA Project Number	20221110

OVERALL MAIN
FLOOR PLAN

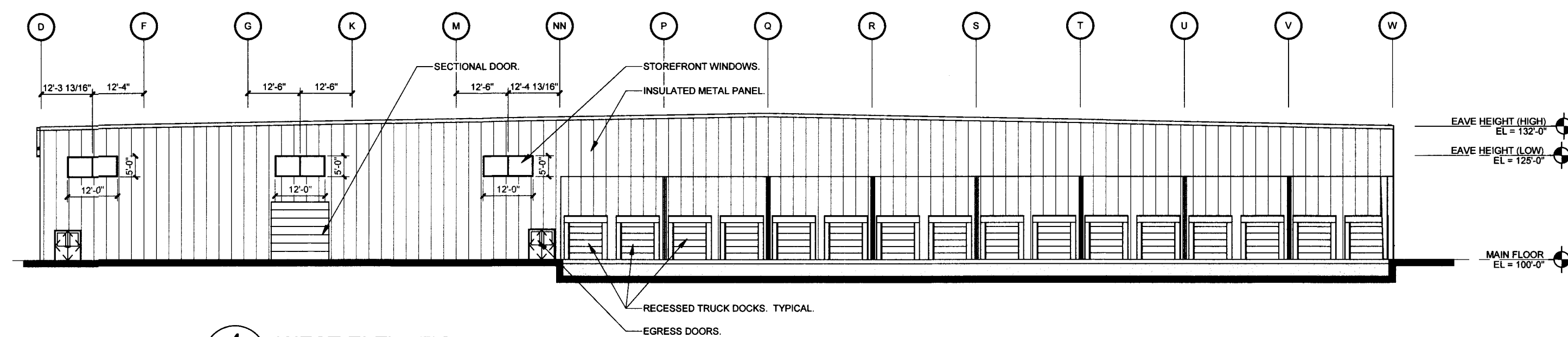
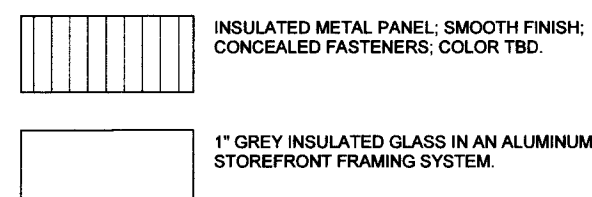
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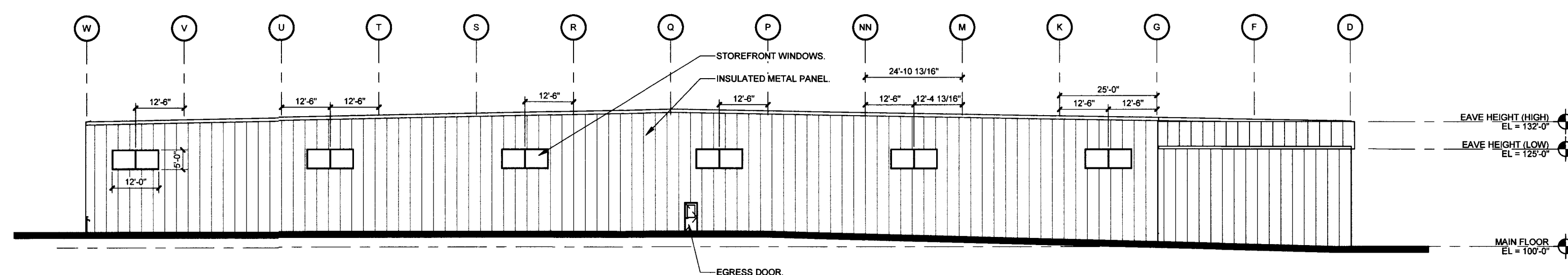
OVERALL MAIN FLOOR PLAN
SCALE: 1" = 30'-0"



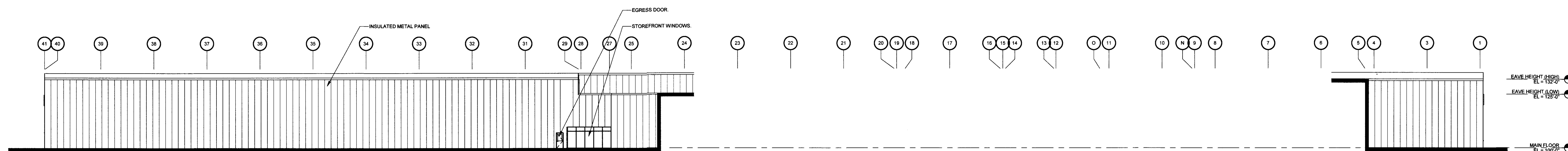
EXTERIOR ELEVATION LEGEND



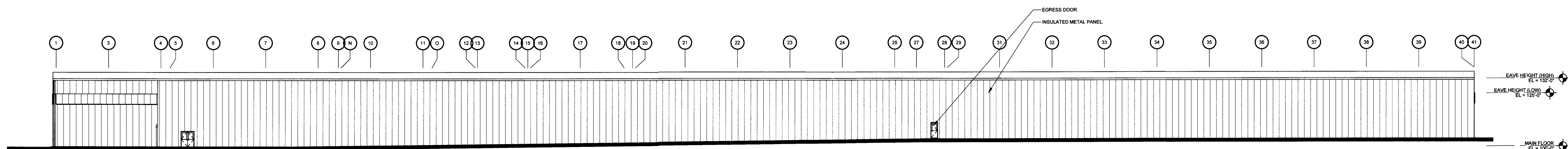
4 WEST ELEVATION
A0-1 SCALE: 1" = 20'-0"



1 EAST ELEVATION
A0-1 SCALE: 1" = 20'-0"



2 NORTH ELEVATION
A0-1 SCALE: 1" = 20'-0"



3 SOUTH ELEVATION
A0-1 SCALE: 1" = 20'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Snack Craft
Addition

4444 Dowd Street SE
Grand Rapids, MI 49508

Site Plan Approval	30 December 2022
Design	MC
PM/PA	DD / KS
Drawn	MW
IA Project Number	20221110

**EXTERIOR
ELEVATIONS**

A6-1

STAFF REPORT January 19, 2023

PREPARED FOR: Kentwood Planning Commission

PREPARED BY: Terry Schweitzer

CASE NO.: 5-23 Blue Pearl Specialty and Emergency Pet Hospital

GENERAL INFORMATION

APPLICANT:	First Companies 4380 Brockton Drive, SE Ste 1 Kentwood, MI 49508	Exxel Engineering 5252 Clyde Park, SW Wyoming, MI 49509
APPLICANT REPRESENTATIVE:	Craig Baker	Doug Stalsonburg
STATUS OF APPLICANT:	Petitioner	
REQUESTED ACTION:	Special Land Use Animal Hospital and Site Plan Review	
EXISTING ZONING OF SUBJECT PARCEL:	Conditional C-2	
GENERAL LOCATION:	2500 East Paris Avenue, SE on the northeast corner of East Paris Avenue and Embassy Drive	
SITE SIZE:	3.26 acres	
EXISTING LAND USE ON THE PARCEL:	Vacant	
ADJACENT AREA LAND USES:	N- Vacant and Single-Story Residential Condominiums S- Office E- Office W- Office	
ZONING ON ADJOINING PARCELS:	N- C-4 Office and R-4 High Density Residential S- C-4 Office E – C-4 Office Residential W- SD-PRD Planned Redevelopment District	

Compatibility with Master Plan:

The Kentwood Master Plan designation for this site is office use. The City Commission recently approved a conditional rezoning of this site to C-2 Community Commercial, a key component of which was to make allowance for the Special Land Use consideration for an animal hospital with the associated site plan review. The proposed use is compatible with the office designation.

Relevant Zoning Ordinance Sections:

Chapter 8 contains the Commercial/Office Districts. Chapter 15 contains the general and specific Special Land Use standards for an animal hospital. Sections 13.02, 13.04 and 13.05 detail the respective Impact Study, Special Land Use and Site Plan Review requirements and procedures.

Proposal Overview:

In the applicant's Statement dated September 8, 2022, he explains that the Blue Pearl Specialty and Emergency Pet Hospital is proposing a 25,300 square foot single story building at 2500 East Paris Avenue, SE. The business will operate 24 hours a day, seven days a week. There will be no exterior animal occupancy (all service provided in the building). They will provide deceased animal service (storage of deceased pets within the building until pickup) and the only pets that stay in the facility overnight are those receiving treatment or recovering from treatment. There will be no non-treatment kenneling.

TECHNICAL INFORMATION

Streets and Traffic

The site is located at the northeast corner of East Paris Avenue and Embassy Drive. East Paris Avenue is a five-lane arterial roadway with two through lanes in each direction and a center turn lane. The posted speed limit along East Paris Avenue is 40 miles per hour and the 2022 traffic count was 14,150. Embassy Drive is a two-lane local street.

The Blue Pearl development proposes two driveways. The proposed East Paris Avenue driveway aligns with Peninsular Drive to the west and straddles the property line between the subject property and the property immediately to the north. The proposed 30-foot-wide shared ingress, egress and utility easement should be a condition of any site plan approval. The proposed driveway onto Embassy Drive is sufficiently spaced from East Paris Avenue and properly aligned with the easternmost access into 2560 East Paris on the south side of Embassy Drive.

Trip Generation and Traffic Analysis

Section 13.02.C of the Zoning Ordinance specifies the directional trip thresholds to determine whether a Traffic Impact Assessment or a Traffic Impact Study is required for Special Land Uses such as an Animal Hospital. Volume 4 of the 11th Edition of the Institute of Transportation Engineers Trip Generation Manual includes trip generation projections for an Animal Hospital/Veterinary Clinic that staff draws upon to make a preliminary determination. The projections key into vehicle trip ends based on 1000 square feet of gross floor area as well as projections based on the number of employees.

Based on directional trips per 1000 square feet during a typical day and during the am and pm peak hours, it appears the applicant will need to supplement this application with a Traffic Impact Assessment. At this time, we have not received information from the applicant relating to the greatest number of employees projected to be on site during a given day.

Staff Review

1. Animal Hospital is defined in Section 2.02.A of the Kentwood Zoning Ordinance as follows:

A place where animals or pets are given medical or surgical treatment and the boarding of animals is limited to short term care incidental to the hospital use. This term does not include a stable, kennel or a farm.

2. On September 13, 2022, the Land Use and Zoning Committee met with First Companies to review the concept of a rezone request to allow an Animal Specialty and Emergency Hospital at a property they own at 2500 East Paris Avenue, SE zoned C-4 Office. The committee expressed agreement with the premise that during COVID more families have acquired a pet(s) and the need for veterinary and emergency veterinary care had increased. While they were impressed with the types of equipment and technologies being employed by some of the animal hospital providers, there was also recognition that adjacency to residential and/or office uses may require scrutiny in terms of lighting, outside noise, buffering/screening and disposal of animal waste. The committee noted that emergency medical centers and hospitals for human patients were already special land uses in the C-4 zone. In the end the committee reached a consensus there was some merit to consider an allowance for an animal hospital in the C-4 Office zone district provided it was subject to Special Land Use review.
3. During the October 11, 2022, Planning Commission work session on the proposed zoning ordinance text amendment to add animal hospital as a special land use in the C-4 zone district, several commissioners indicated that they thought a conditional rezoning would be a more appropriate method of making allowance for an animal hospital at 2500 East Paris Avenue.
4. In a letter dated October 17, 2022, the applicant changed the proposed text amendment request to a conditional rezoning from C-4 to C-2 and voluntarily offered the following conditions:
 - Uses shall be limited to animal hospital subject to Special Land Use and Site Plan approval and those C-2 uses subject to the review as otherwise allowed as permitted or special land uses in the C-4 Office Zone district.
 - An animal hospital must be separated by a minimum of 150 feet from a residential district or use.
 - All principal and accessory animal hospital use activities shall be conducted within a totally enclosed building.

5. The self-imposed conditional zoning provisions appear to be aligned with the adjacency to residential and/or office use considerations associated with the former text amendment request.
6. On December 6, 2022, the City Commission approved the conditional rezoning request.

Special Land Use

7. The Special Land Use site design standard found in Section 15.04.C for Animal Hospital is as follows:

All principal use activities shall be conducted within a totally enclosed main building.

General Special Land Use Standards

8. As a Special Land Use, the proposed animal hospital must also comply with the standards of Section 15.02, as follows:
 - A. Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that a use will not change the essential character of the area in which it is proposed.

The site was recently conditionally rezoned to C-2 Community Commercial with specific allowance for an animal hospital use subject to Special Land Use and Site Plan approval. The proposed animal hospital is a 26-foot-high one-story building very comparable to the office buildings along Embassy Drive as well as along East Paris Avenue. While it is an emergency facility, it will not involve the lights and sirens generally associated with ambulance service transporting people.

- B. Be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities or schools.

The use is adequately served by public utilities.

- C. Not create excessive additional requirements at public cost for public facilities and services.

The use will not create additional requirements at public cost.

- D. Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, electrical or electromagnetic interference or odors.

The conditional rezoning included voluntary self-imposed conditions specifying a minimum 150-foot separation from a residential district or use as well requiring

all principal and accessory use activities within a totally enclosed building. The proposed site design includes a pet drop-off and pickup area very close to the covered entry into the building minimizing the time pets are outside the building.

- E. Be compatible and in accordance with the goals, objectives and policies of the master plan and promote the intent and purpose of the zoning district in which it is proposed to locate.

The use is generally consistent with the Master Plan.

- F. Be subject to stipulations by the Planning Commission of additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights, and for insuring that the intent and objectives of this ordinance will be observed. The breach of any condition, safeguard, or requirement shall automatically invalidate the granting of the special land use.
- G. Comply with all applicable licensing ordinances.

Site Plan Review

9. The minimum parking calculation for the animal hospital is one parking space for every 400 square feet of gross floor area. General note #4 properly computes the minimum parking to be 64 spaces. However, they wish to initially develop 121 parking spaces and they identify possible parking expansion near the east lot line for another 23 parking spaces. This detail should be reviewed with the applicant.
10. The parking layout provides well defined pedestrian circulation most notably for the two double tiers of parking leading to the entrances on the east side of the building.
11. Five of the required 8 minimum trees along the East Paris frontage are not identified to be a specific variety and appear to have an icon reflecting some type of evergreen. Given their proximity to the East Paris Avenue sidewalk it may be desirable to specify a variety of canopy tree in this area of the site.
12. Several light fixtures in the lighting plan must be reduced in height so it appears that the lighting plan should be recalculated. In addition, the minimum readings for the parking lot area should reflect the readings at the outer edge of the parking lot as opposed to the perimeter of the site. With these changes we will be able to confirm compliance with the lighting regulations.
13. We have contacted the design professional that prepared the proposed building elevations and requested the relative amount of the proposed walls that are proposed to be architectural composite metal panels, masonry and glass. This will enable us to verify compliance with the table in Section 10.03.C.1.

Attributes:

- **Attractive building**
- **Well designed pedestrian circulation through parking area and into the building**

- Overall landscape plan is good especially in the parking lot area
- State of the art 24-hour medical facility for pets

Issues:

- Apparent need for Traffic Impact Assessment
- Discuss need for parking in excess of minimum requirements
- Modify tree selection along the East Paris Avenue frontage



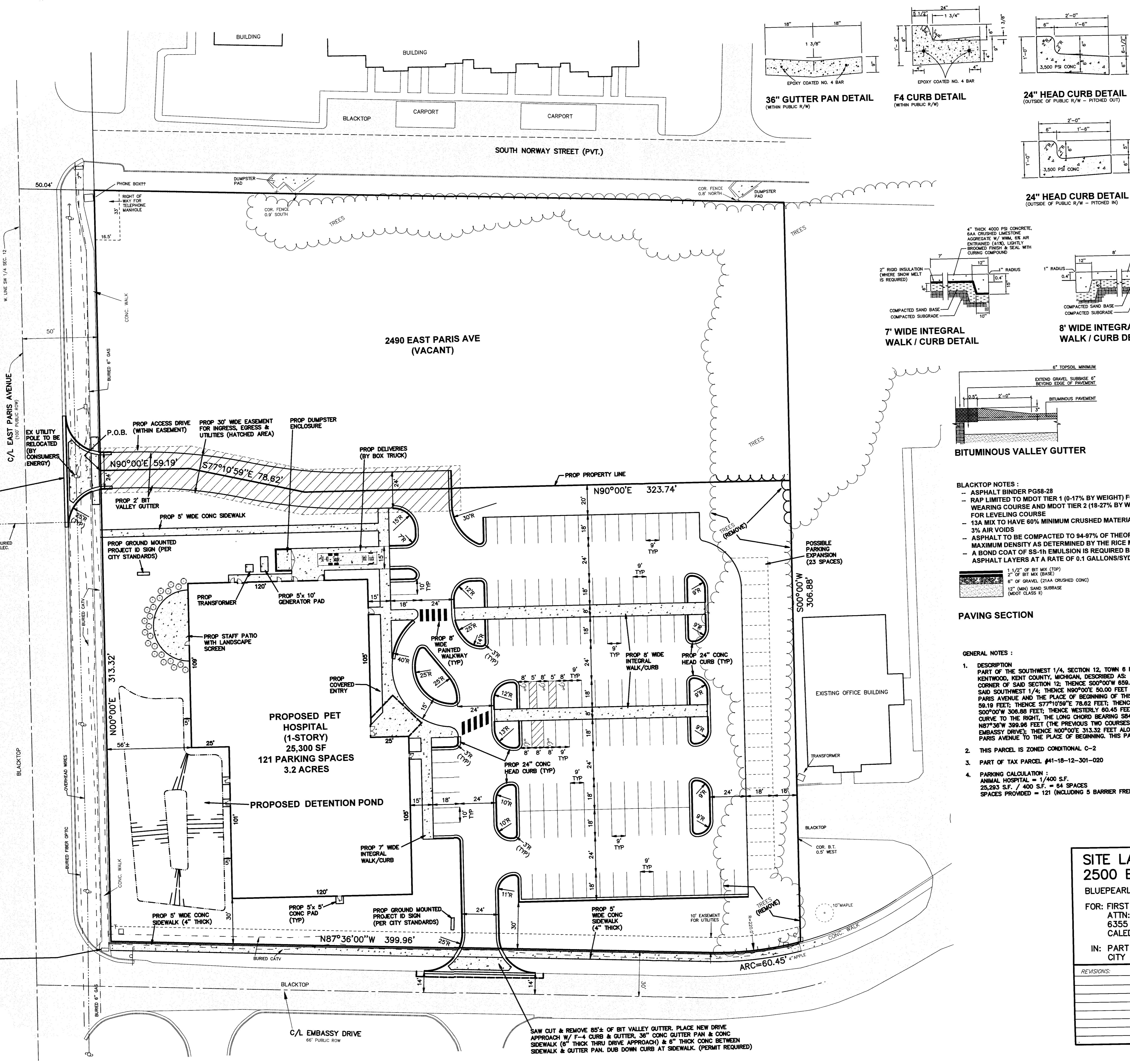
Looking northeast of E. Paris and Embassy Drive



MODIFY EXISTING SIDEWALK RAMP TO MEET A.D.A. REQUIREMENTS. GRADING EASEMENT WILL BE GRANTED IF NECESSARY

SAW CUT & REMOVE 75% OF CONC HEAD CURB & 45% OF CONC SIDEWALK (TO NEAREST JOINT). PLACE NEW DRIVE APPROACH W/ F-4 CURB & GUTTER, 36" CONC GUTTER PAN & CONC SIDEWALK (4" THICK, 6" THICK THRU DRIVE APPROACH) & 6" THICK CONC BETWEEN SIDEWALK & GUTTER PAN. DUB DOWN CURB AT SIDEWALK. (PERMIT REQUIRED)

SAW CUT & REMOVE 85% OF BIT VALLEY GUTTER. PLACE NEW DRIVE APPROACH W/ F-4 CURB & GUTTER, 36" CONC GUTTER PAN & CONC SIDEWALK (6" THICK THRU DRIVE APPROACH) & 6" THICK CONC BETWEEN SIDEWALK & GUTTER PAN. DUB DOWN CURB AT SIDEWALK. (PERMIT REQUIRED)



36" GUTTER PAN DETAIL
(WITHIN PUBLIC R/W)

F4 CURB DETAIL
(WITHIN PUBLIC R/W)

24" HEAD CURB DETAIL
(OUTSIDE OF PUBLIC R/W - PITCHED OUT)

24" HEAD CURB DETAIL
(OUTSIDE OF PUBLIC R/W - PITCHED IN)

7" WIDE INTEGRAL WALK / CURB DETAIL

8" WIDE INTEGRAL WALK / CURB DETAIL

BITUMINOUS VALLEY GUTTER

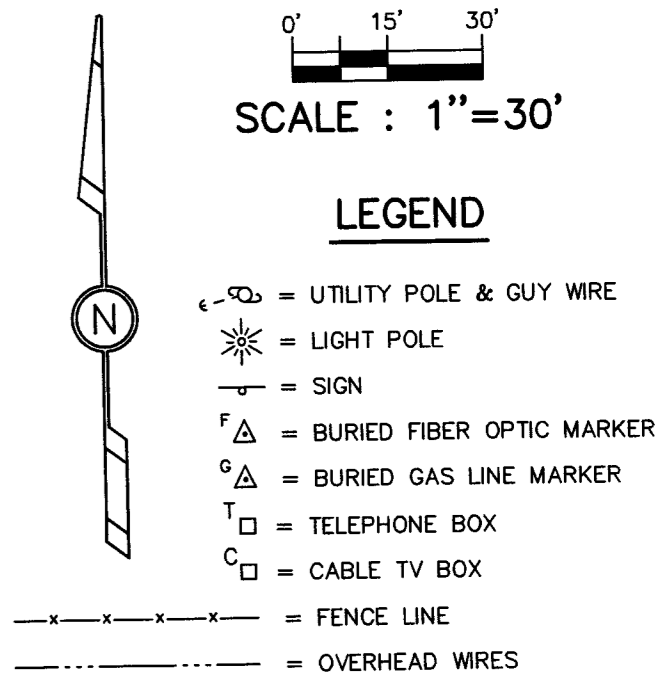
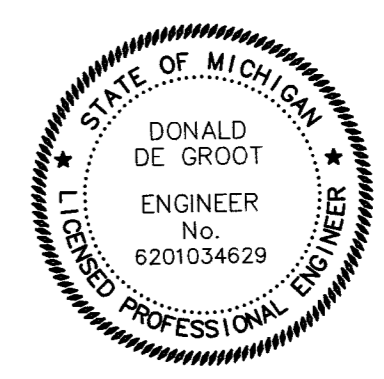
BLACKTOP NOTES:
- ASPHALT BINDER PG58-28
- RAP LIMITED TO MDOT TIER 1 (0-17% BY WEIGHT) FOR WEARING COURSE AND MDOT TIER 2 (18-27% BY WEIGHT) FOR LEVELING COURSE
- 13A MIX TO HAVE 60% MINIMUM CRUSHED MATERIAL WITH 3% AIR VOIDS
- ASPHALT TO BE COMPACTED TO 94-97% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY THE RICE METHOD
- A BOND COAT OF SS-1H EMULSION IS REQUIRED BETWEEN ASPHALT LAYERS AT A RATE OF 0.1 GALLONS/SYD

PAVING SECTION

- GENERAL NOTES:**
- DESCRIPTION
PART OF THE SOUTHWEST 1/4, SECTION 12, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 12; THENCE S00°00'W 659.19 FEET ALONG THE WEST LINE OF SAID SOUTHWEST 1/4; THENCE N90°00'E 50.00 FEET TO THE EASTERLY LINE OF EAST SAID SOUTHWEST 1/4; THENCE S77°10'59"E 78.62 FEET; THENCE N90°00'E 323.74 FEET; THENCE S00°00'W 306.88 FEET; THENCE WESTERLY 60.45 FEET ALONG A 220.00 FOOT RADIUS CURVE TO THE RIGHT, THE LONG CHORD BEARING S84°32'W 60.26 FEET; THENCE N87°38'W 399.96 FEET (THE PREVIOUS TWO COURSES BEING ALONG THE NORTH LINE OF EMBASSY DRIVE); THENCE N00°00'E 313.32 FEET ALONG THE EASTERLY LINE OF EAST PARIS AVENUE TO THE PLACE OF BEGINNING. THIS PARCEL CONTAINS 3.28 ACRES.
 - THIS PARCEL IS ZONED CONDITIONAL C-2
 - PART OF TAX PARCEL #41-18-12-301-020
 - PARKING CALCULATION:
ANNUAL HOSPITAL = 1/400 S.F.
25,293 S.F. / 400 S.F. = 64 SPACES
SPACES PROVIDED = 121 (INCLUDING 5 BARRIER FREE)



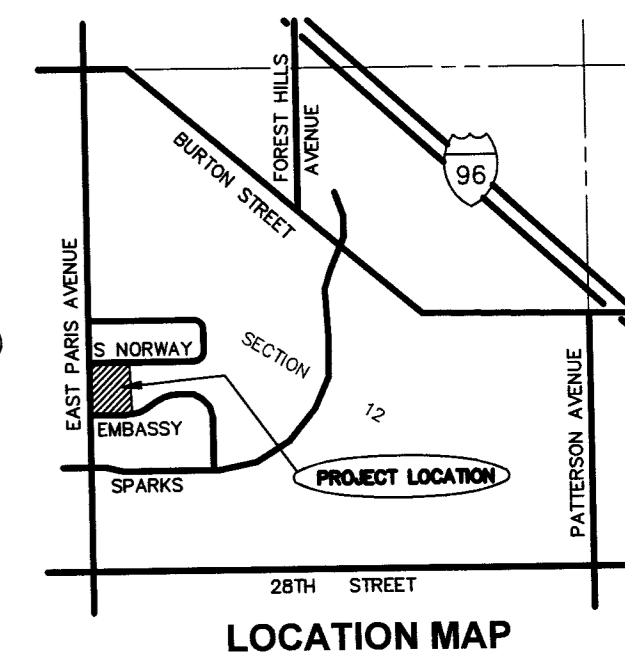
Know what's below.
Call before you dig.



General Drive Notes

- All workmanship and materials shall be according to the current Michigan Department of Transportation (M.D.O.T) Standard Specifications for Construction.
- All driveway approaches to be 6" thick concrete.
- Concrete curb and gutter to be F-4 Modified or as approved by the Kentwood Engineer.
- Where poor soil conditions exist, the depth of the gravel and sand subbase between the new curb and existing pavement, shall be determined by the Engineer.
- No advertising sign or device shall be placed in, or overhanging into the existing highway right of way.
- City of Kentwood Engineering/Inspection is to be notified 48 hours prior to the start of construction, excluding Saturdays, Sundays, and Holidays. This agency will inspect all work within the highway right of way.
- Prior to the start of construction, it will be mandatory for the applicant or contractor to have in place the necessary safety traffic sign, cones, barricades and any other safety device to insure safety to the public.
- All disturbed areas are to be leveled and restored with topsoil; and seeded to a mowable condition so as to prevent future erosion or maintenance problems. Slopes that are 1 on 2 or steeper shall be sodded.
- The highway right of way shall not be used for private business purposes.
- No parking of vehicles, equipment, or material storage permitted within the highway right of way.
- The owner must provide for adequate drainage from parking areas, and clear same with the City of Kentwood. Issuance of a permit does not alleviate owner of this responsibility.
- Culverts, storm sewers, or other drainage structures shall be inspected by the City of Kentwood Inspector before backfill is placed.
- Water from this property shall not drain onto City, County or State Highway right of way.
- Resurface existing public roadway as necessary to fit drive approach, correct crown, correct drainage, or repair damage by construction. Sawcut remove all curb, concrete, and bituminous as required by the City of Kentwood.
- Property owner is responsible for obtaining a Soil Erosion & Sedimentation Control Permit for any earth change greater than one acre, adjacent to a public road, or within 500 feet of the "Waters of the State".
- A utility permit must be obtained for placement of hookup of utilities (i.e. water, gas, oil, sewer, telephone, electric, cable TV) in the highway right of way.
- Contact "MISS DIG" toll free at 1-800-482-7171 three (3) days prior to the start of construction, excluding Saturdays, Sundays, and Holidays.
- Additional work (bituminous paving, grading, etc.) may be required by the City of Kentwood Inspector to correct poor workmanship and/or alleviate drainage problems.
- All work in the highway right of way approved by a commercial drive/private street approach permit must be completed within one (1) year of permit issuance date.

(Revised Sept-03)

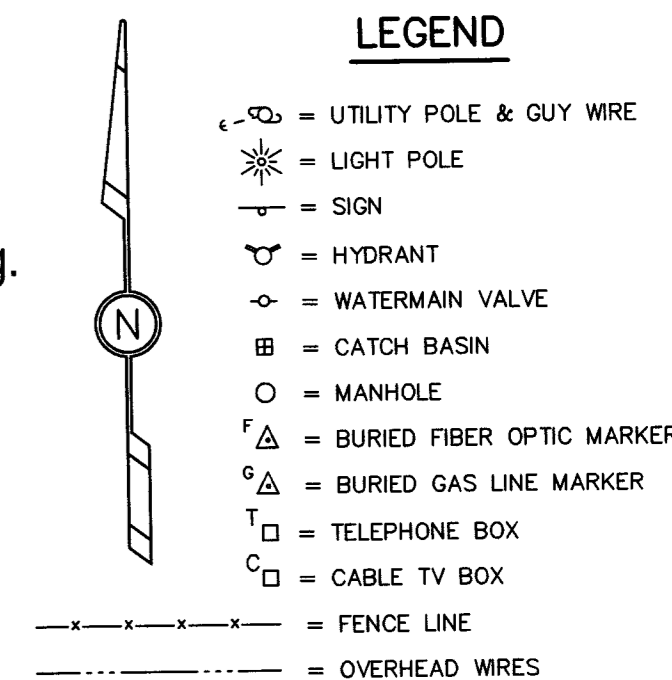
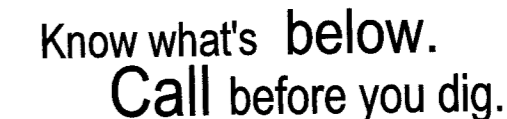


SITE LAYOUT PLAN
2500 EAST PARIS AVE
BLUEPEARL PET HOSPITAL
FOR: FIRST COMPANIES
ATTN: CRAIG BAKER
6355 EAST PARIS AVENUE
CALEDONIA, MI 49316
IN: PART OF THE SW 1/4, SECTION 12, T6N, R11W,
CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

REVISIONS:	

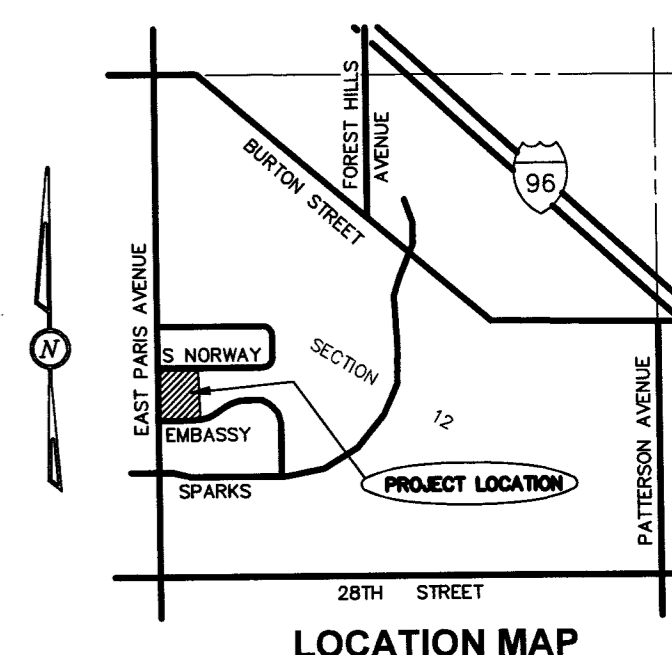
exxel engineering, inc.
planners • engineers • surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 www.exxelengineering.com

DRAWN BY:	MK	FILE NO.:	191063E
APPROVED BY:	DJS/DDG	SHEET	1 OF 3
DATE:	12-28-22		



STORM SEWER NOTES :


1. CATCH BASIN (CB) WITHIN HEAD CURB SHALL HAVE EJ NO. 7045 CASTING WITH M1 GRATE, T3 BACK + 2' SUMP UNLESS NOTED OTHER WISE.
2. CATCH BASIN (CB) WITHIN CONC AREA SHALL HAVE EJ NO. 5105 CASTING + 2' SUMP.
3. STORM MANHOLES (MH) SHALL HAVE EJ NO. 1020 CASTING WITH SOLID COVER.
4. STORM SEWER SHALL BE ADS N-12 OR APPROVED EQUAL.
5. STORM UNDERDRAIN SHALL BE PERFORATED ADS N-14H WITH SOCK OR APPROVED EQUAL.
6. 6" UNDERDRAIN SHALL BE CORRUGATED PLASTIC PIPE WITH SOCK OR APPROVED EQUAL. MAINTAIN 3 MIN. COVER WHEN POSSIBLE.
7. ROOF DRAIN LEAD SHALL BE PVC SDR-35.

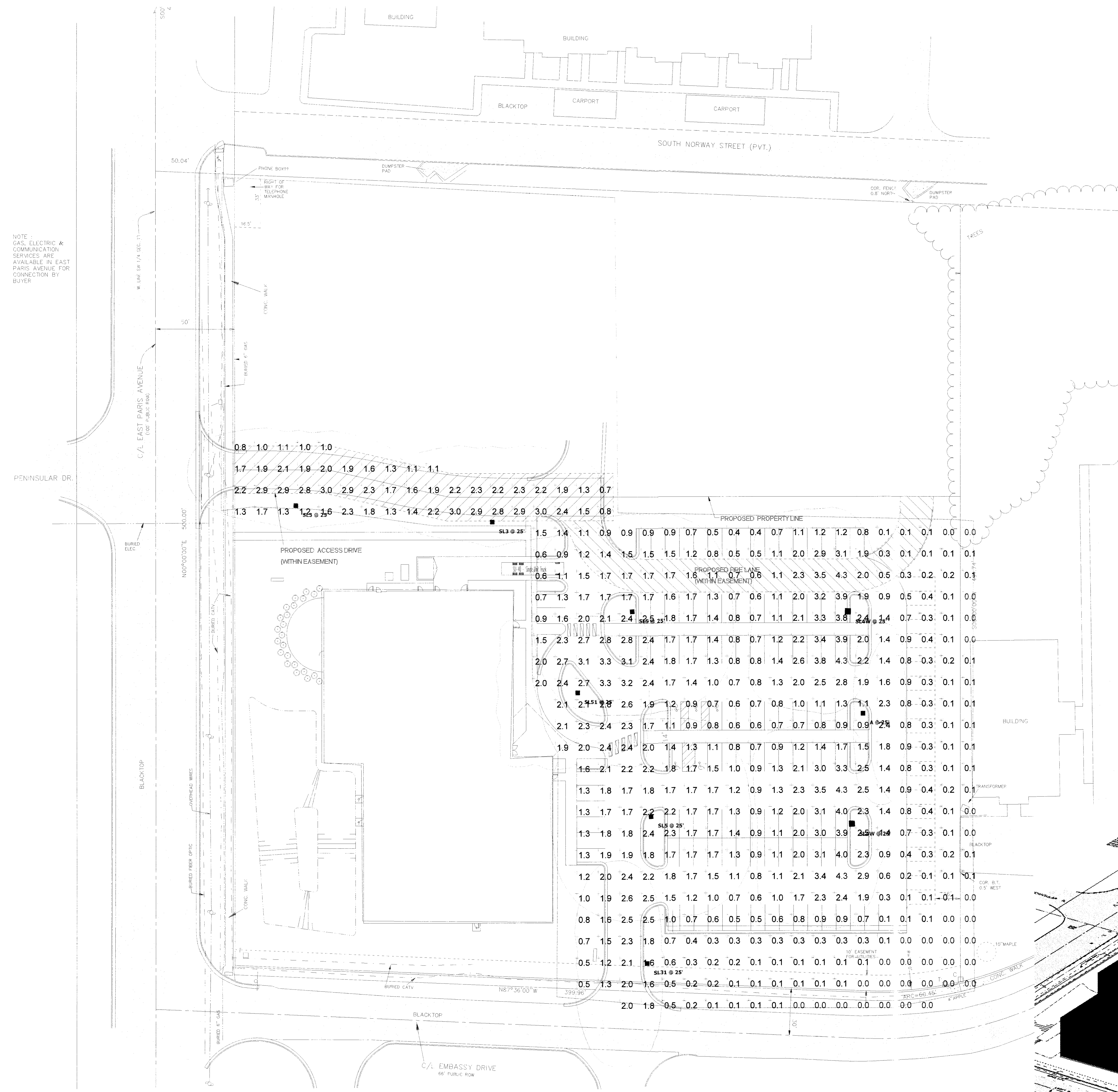


BLUEPEARL PET HOSPITAL

FOR: FIRST COMPANIES
ATTN: CRAIG BAKER
6355 EAST PARIS AVENUE
CALEDONIA, MI 49316

IN: PART OF THE SW 1/4, SECTION 12, T6N, R11W,
CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

REVISIONS: 	 wexxel engineering, inc. planners · engineers · surveyors 5252 Cyde Park, S.W. • Grand Rapids, MI 49509 Phone: (616) 531-3660 www.wexxelengineering.com		
	DRAWN BY:	MK	FILE NO.:
	APPROVED BY:	DJS/DDG	SHEET
	DATE:	12-28-09	2 OF 3



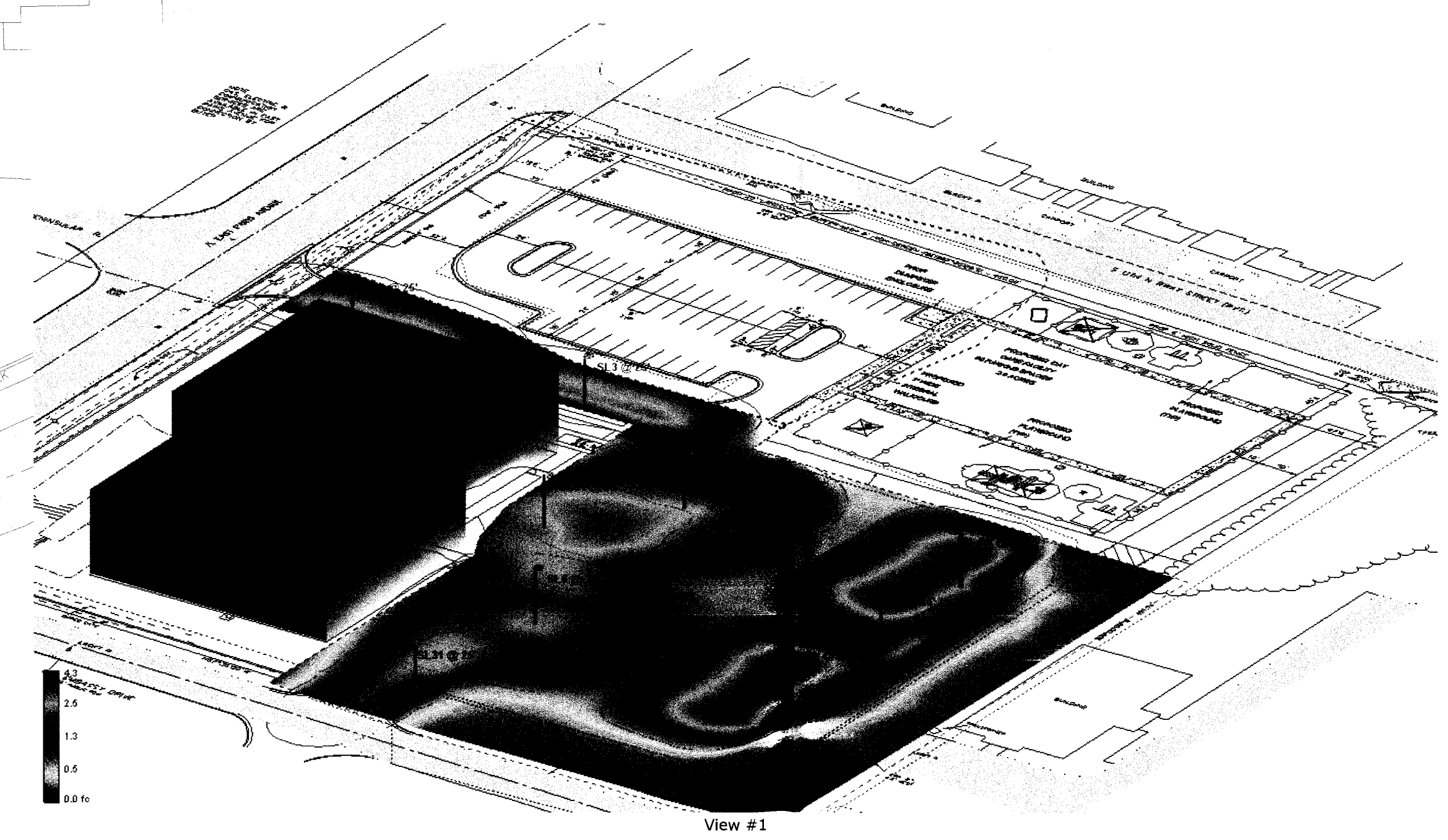
SITE LAYOUT PLAN
2490 EAST PARIS AVE

Plan View
Scale - 1" = 35ft

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
SL4 W		2	BEACON PRODUCTS	VP-1-160L-160-4K7-4W	LED Type IV W Area Fixture	1	22470	1	157.8
SL3		2	HUBBELL OUTDOOR	VP-1-160L-100-4K7-3	LED Type III Area Fixture	1	14112	1	97.2
SL5		2	HUBBELL OUTDOOR	VP-1-160L-160-4K7-5QW	LED Type V Area Fixture	1	23007	1	157.8
SL31		1	HUBBELL OUTDOOR	VP-1-160L-75-4K7-3	LED Type III Fixture	1	10463	1	72.1
SL2		1	Beacon Products	VP-1-36L-39-5K7-2	VIPER	1	5639	1	39.6
SL51		1	Beacon Products	VP-1-36L-105-4K7-5QM	LED Type V	1	12621	1	108.2

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	+	1.6 fc	4.3 fc	0.0 fc	N/A	N/A
Perimeter	X	0.1 fc	1.1 fc	0.0 fc	N/A	N/A



View #1



No trees should be planted near power lines. However, many trees are attractive additions to your yard and, under normal conditions, will not grow tall enough to interfere with our distribution lines.

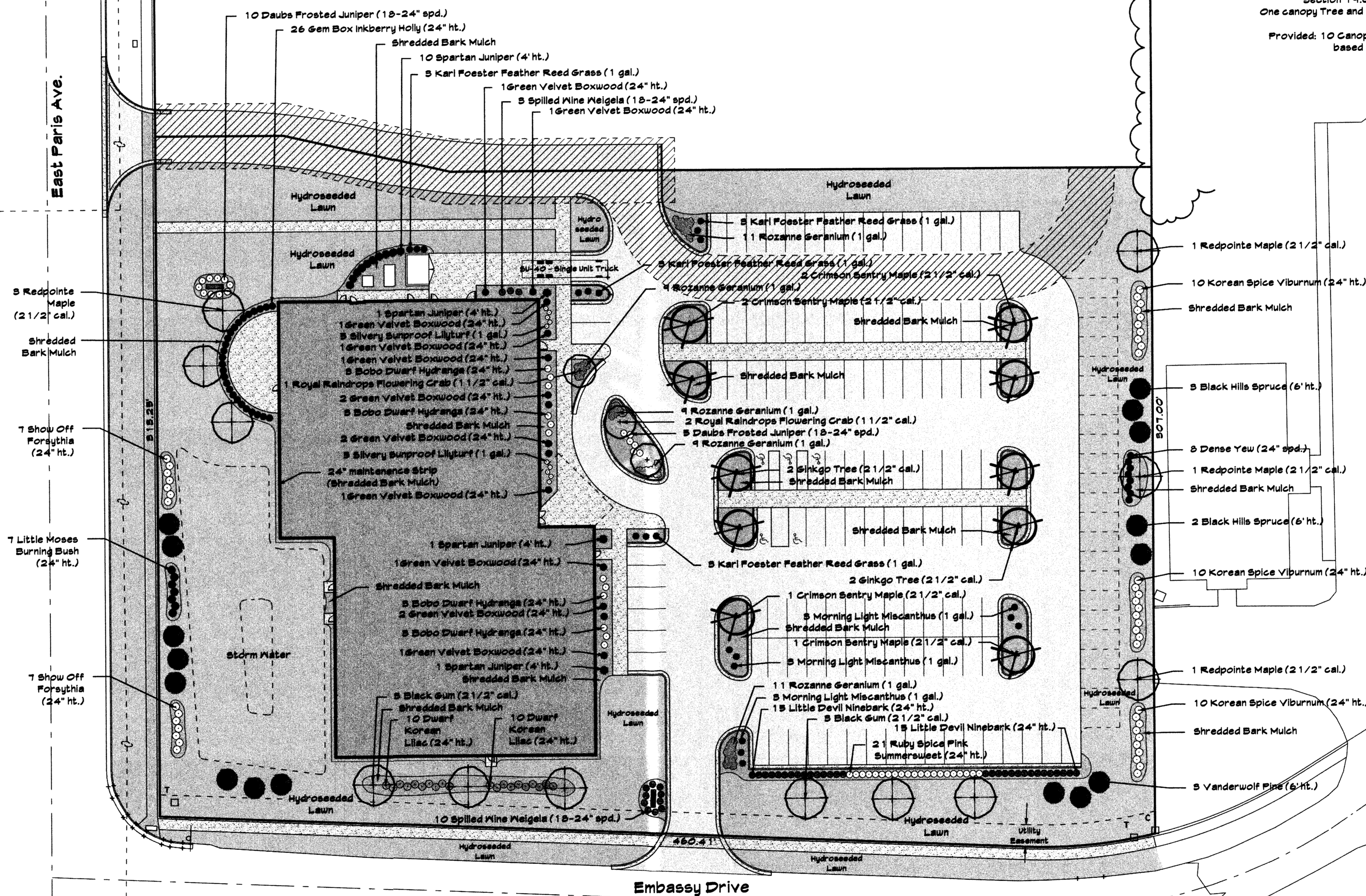
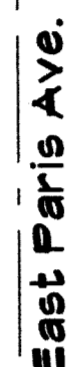
Avoid planting tall-growing trees such as the following near or under power lines:

- Silver Maple
- Norway Maple
- Oak
- White Spruce
- Colorado Blue Spruce
- Most pines
- Willows

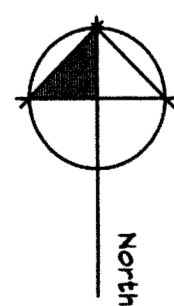
Notes:

1. Plant species specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
2. The contractor shall be responsible for 3" shredded premium hardwood bark mulch. Trees in lawn areas shall receive a 6" diameter bark ring 3" deep.
3. The landscape contractor shall remove any wire that is wrapped around the trunk of any tree or shrub. The contractor shall be responsible to remove excess soil on the top of the root ball to expose the root flare or first layer of roots prior to planting. Use a wire cutter to make 3-5 cuts in the wire basket to allow roots to grow through.
4. The contractor shall be responsible for the removal of any trees or shrubs not used if indicated on the plan or specified.
5. Parking Islands shall be back filled with at least 24" of topsoil. Amend the topsoil with 20% organic material to the topsoil at a depth of 6-12". Any aggregate or stone from the construction of the parking lot shall be removed prior to backfill.
6. Lawn areas shall be maintained and seeded with a seed blend of the following: 50% Kentucky Bluegrass, 20% Perennial Ryegrass, 10% Hard Fescue, 20% Creeping Red Fescue and 20% Chewings Fescue.
7. Maintenance of the landscape shall be provided for as well as include fertilizing and watering of the landscape and plants during the growing season every other year and provide 1" of water per week during the growing season.
8. Plant materials shall be chosen and installed in accordance with standards recommended by the Landscape Architect.

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Embassy Drive



811 Know what's below.
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City of Kentwood

Per Chapter 19 City of Kentwood Landscaping/Screening Regulation

**Section 19.03 A Greenbelt along street frontage:
One canopy Tree and 7 shrubs for every 40 in. ft. of frontage**

Provided: Along East Paris Ave. based on 515.25' of frontage:
8 Canopy Trees and 55 Shrubs

Provided: Along Embassy Drive based on 460.41' of frontage:
6 Canopy Trees, 6 Evergreen Trees and 81 Shrubs

Section 19.05 C Buffer Zones:
One canopy Tree and 5 shrubs for every 40 ln. ft. of frontage

Provided: East Prop. Line based on 307.00':
3 Canopy Trees, 5 Evergreen Trees and 38 Shrubs

Section 19.03 D. 1 Parking area landscaping:
One canopy Tree and 100 sq. ft. landscaped area per 12 spaces

Provided: 10 Canopy Trees and 984 sq. ft. landscape area
based on 118 proposed spaces

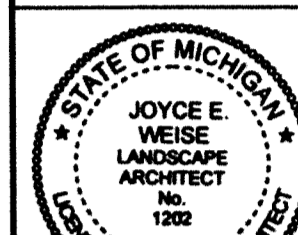
DJ's LANDSCAPE
MANAGEMENT
D.J. Vander Slik
Holland Grand Rapids Kalamazoo
Phone (616)698-2700 Fax (616)698-2900

ASSOCIATION OF GRAND RAPIDS
Landscape Professionals

The Professional.
MCN



PLANET
Professional Landscape Network



John E. Wise

Landscape Plan Drawn By:

WE PLAN FOR:
2500 East Paris Ave.
City of Kentwood, Michigan

APPROVED LANDSCAPE PLANNING.

PROJECT NUMBER:
122722

DRAWN BY:
Joyce E. Weise PLA, ASLA

DRAWING DATE:
010223

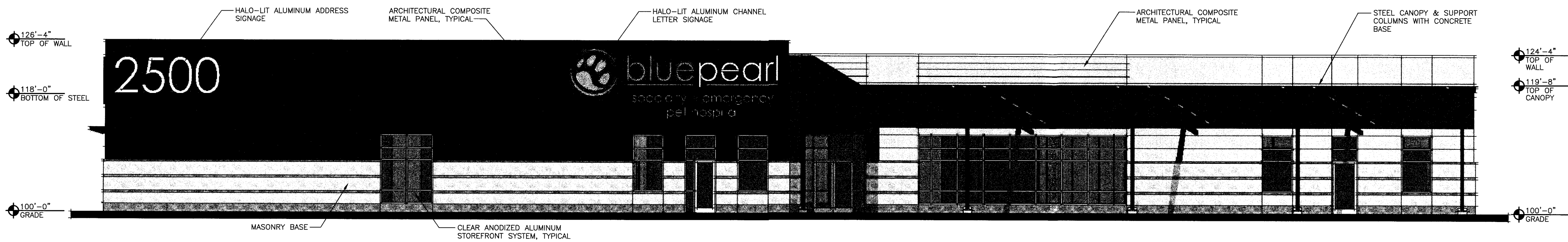
ISSUED FOR:
01/08/20 Site Plan Approval

SCALE

1"=30'

SHEET NUMBER

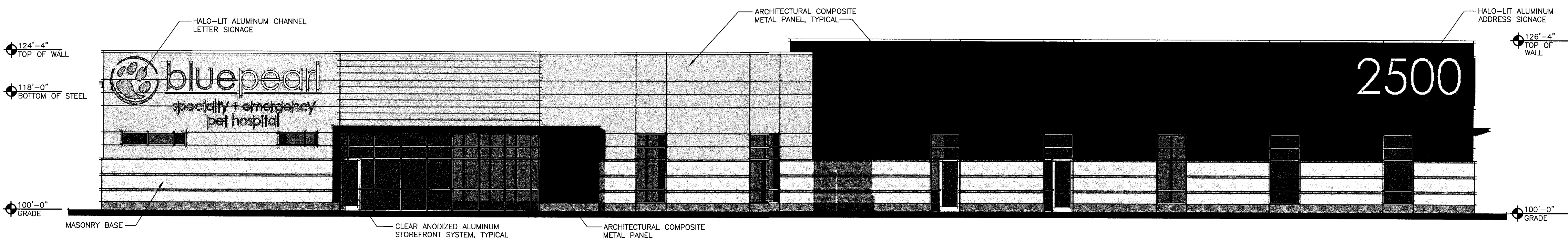
L-1



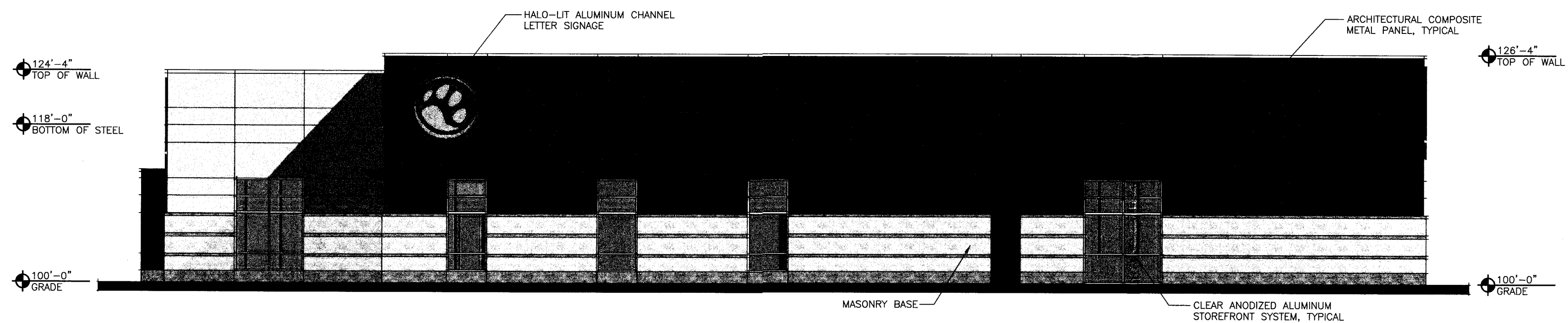
01 EAST ELEVATION
SCALE: 1/8" = 1'-0"



02 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



03 WEST ELEVATION
SCALE: 1/8" = 1'-0"



04 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY EXTERIOR MATERIAL SPECIFICATIONS

MASONRY:
CS-1
MANUFACTURER: -
PRODUCT: -
SIZE: -
COLOR/TYPE: -
ASSOCIATED MORTAR/COLOR: -

METAL PANEL:
MP-1 (LIGHT)
MANUFACTURER: -
SERIES: -
STYLE/TYPE: -
COLOR: -

MP-2 (DARK)
MANUFACTURER: -
SERIES: -
STYLE/TYPE: -
COLOR: -

ALUMINUM STOREFRONT AND ENTRANCE SYSTEMS:
AS-1
MANUFACTURER: KAWNEER
PRODUCT: 451 SERIES
FINISH/COLOR: CLEAR ANODIZED
COLOR: KAWNEER 500 SERIES STANDARD ENTRANCES
TYPE: MEDIUM STYLE W/ 10" BOTTOM RAIL
HARDWARE: SEE SPECIFICATIONS
ASSEMBLY MAX U (FIXED): U-0.42
ASSEMBLY MAX U (DOORS): U-0.77
ASSEMBLY MAX SHGC: 0.40
ASSEMBLY MIN VT/SHGC: 1.10

EXTERIOR GLAZING:
GL-1
MFR: GUARDIAN GLASS (BASIS OF DESIGN)
SUPERNEUTRAL 68
TYPE: 1" INSULATED LOW-E
COLOR: GREY
ASSEMBLY MAX U (FIXED): U-0.42
ASSEMBLY MAX U (DOORS): U-0.77
ASSEMBLY MAX SHGC: 0.40
ASSEMBLY MIN VT/SHGC: 1.10

GL-2 (SPANDREL)
MFR: GUARDIAN GLASS
TYPE: 1" INSULATED (FRIT)
COLOR: -

EXTERIOR PAINT:
EP-1 (EXPOSED STEEL LINTELS):
MANUFACTURER: SHERWIN WILLIAMS
TYPE/FINISH: -
COLOR: TO MATCH METAL PANEL COLOR

EXTERIOR WALL SOUNGE (DESIGN INTENT):
MANUFACTURER: KICHLER
PRODUCT: WALDEN 2-LIGHT LED
PRODUCT #: KIC-WALDEN-2-LT-LED-OUTDOOR-WALL-LIGHT
FINISH/COLOR: DARK BRONZE

EXTERIOR WALL SHEATHING:
MANUFACTURER: HUNTER PANELS
PRODUCT: Xci PLY
R-VALUE: 6.6
THICKNESS: 1.6"

EXTERIOR FINISH NOTES

1. FOR DESIGN INTENT ONLY

ELEVATION NOTES

1. PROVIDE SIDING BLOCKS FOR MECH, ELEC AND PLUMBING PENETRATIONS - COORDINATE WITH DESIGN/BUILD DWGS
2. (D) DENOTES SAFETY GLASS
3. SEE WALL SECTIONS/DETAILS IN A3.00 SERIES FOR MORE DETAILED INFORMATION
4. SIGNAGE FOR REFERENCE ONLY, APPROVALS UNDER SEPARATE SUBMITTAL



Blue Pearl Specialty & Emergency Pet Hospital
2500 East Paris Avenue
City of Kentwood, Michigan

NOT FOR CONSTRUCTION

△		
△		
△		
△		
△		
△		
△		
△		
△		
No.	Date	Item
Issued Drawing Log		



architecture
planning
interior design
graphic design
r2 design group, pllc
1011 Fulton Street East
Grand Rapids, MI 49503
t616.301.1210
www.r2designgroup.com

PROPOSED ELEVATIONS

Job No:	GR221101
Issue:	Issue for Review
Issue Date:	03 January, 2023