



AGENDA
CITY OF KENTWOOD PLANNING COMMISSION
TUESDAY, OCTOBER 10, 2023
KENTWOOD COMMISSION CHAMBERS
4900 BRETON AVENUE, SE
7:00 P.M.

- A. Call to Order
- B. Pledge of Allegiance (Dan Holtrop)
- C. Roll Call
- D. Declaration of Conflict of Interest
- E. Approval of the Minutes of September 26, 2023, and Findings of Fact for: **Case#22-23** – Storage Five Kentwood LLC – Rezoning of 8.2 acres of land from C-2 Commercial to Conditional I-1 located at 1800-1900 44th Street SE; **Case#23-23** -Body Shop Boss – Special Land Use and Site Plan Review for a Major Vehicle Repair located at 3851 Model Ct. SE
- F. Approval of the Agenda for October 10, 2023
- G. Acknowledge visitors and those wishing to speak to non- agenda items.
- H. Old Business
- I. Public Hearing

Case#17-23 – Bosgraff Walma 44th - Change in the Master Planned Land Use Designation from Low Density Residential to Medium Density Residential located at 2802 – 44th Street -

Case#24-23 – Hotel Conversion – Special Land Use and Site Plan Review to convert an existing office Building into a Hotel Located at 2180-44th Street SE (**Recommendation to Table Action to October 24**)

- J. Work Session

Case#25-23 – Master Plan Amendment 52nd and Broadmoor Ave – Change in the Master Planned Land Use Designation from Industrial to Commercial located at the northeast corner of 52nd Street and Broadmoor Avenue

Case#26-23 – Biggby Coffee – Special Land Use and Site Plan Review for a Drive Through Restaurant – Located at 2300 44th Street SE;

Case#27-23 – Kentwood Drive and Shine – Special Land Use and Site Plan Review for a Vehicle Wash Establishment – Located at 3311 Woodland Drive SE

K. New Business

Set November 14, 2023, as the public hearing date for **Case#28-23** -Request of DAMA Ventures LLC for a Special Land Use Indoor Vehicle Sales and Site Plan Review- Located within Phase A of 3350 Broadmoor Avenue, zoned I-1 Light Industrial

L. Other Business

1. Commissioners' Comments
2. Staff's Comments

M. Adjournment

*Public Hearing Format:

1. Staff Presentation – Introduction of project, Staff Report and Recommendation
Introduction of project representative
2. Project Presentation – By project representative
3. Open Public Hearing (please state name, address and speak at podium. Comments are limited to five minutes per speaker; exceptions may be granted by the chair for representative speakers and applicants.)
4. Close Public Hearing
5. Commission Discussion – Requests for clarification to project representative, public or staff
6. Commission decision – Options
 - a. postpone decision – table to date certain
 - b. reject proposal
 - c. accept proposal
 - d. accept proposal with conditions.

PROPOSED MINUTES OF THE REGULAR MEETING
OF THE KENTWOOD PLANNING COMMISSION
SEPTEMBER 26, 2023, 7:00 P.M.
COMMISSION CHAMBERS

- A. Chair Jones called the meeting to order at 7:00p.m.
- B. The Pledge of Allegiance was led by Commissioner Holtrop.
- C. Roll Call:
Members Present: Bill Benoit, Dan Holtrop, Sandra Jones, Alex Porter, Ray Poyner, Doug VanderMeer, Sarah Weir
Members Absent: Darius Quinn and Ed Kape (with notification)
Others Present: Community Development Director Terry Schweitzer, Economic Development Planner Lisa Golder, Senior Planner Joe Pung, Planning Assistant Monique Collier, the applicants and about 5 citizens.

Motion by Benoit, supported by Poyner, to excuse Kape and Quinn from the meeting.

- Motion Carried (7-0) –
- Kape and Quinn absent -

- D. Declaration of Conflict of Interest

There was no conflict of interest expressed.

- E. Approval of the Minutes and Findings of Fact

Motion by Commissioner Poyner, supported by Commissioner Porter, to approve the Minutes of September 12, 2023, and the Findings of Fact for: Case#21-23 – Fox Ford Commercial Vehicle Service Facility – Special Land Use and Site Plan Review for Vehicle Repair Located at 3560 – 28th Street SE

- Motion Carried (7-0) –
- Kape and Quinn absent -

- F. Approval of the Agenda

Motion by Commissioner Holtrop, supported by Commissioner Benoit, to approve the agenda for the September 26, 2023, meeting.

- Motion Carried (7-0) –
- Kape and Quinn absent -

- G. Acknowledge visitors wishing to speak to non-agenda items.

There was no public comment.

There was no Old Business

I. Public Hearing

Case#22-23 – Storage Five Kentwood LLC – Conditional Rezoning of 8.2 acres of land from C-2 Commercial to I-1 Industrial, located at 1800-1900 44th Street SE

Golder stated the request is a conditional rezoning of 8.2 acres of land from C-2 Commercial to I-1 Industrial. She stated the applicant has voluntarily offered restrictions on their own property. Those restrictions will limit the use to self-storage both within an enclosed, climate-controlled building, with storage doors within the facility, and potentially a new facility with exterior doors that would face inward and shielded from the public street. Also allowed would be financial institutions, office buildings of less than 50,000 square feet, office building/uses of 50,000 square feet or more (SLU), research or development facility, trade or industrial schools, freestanding restaurants, and accessory buildings subject to Sections 3.15 and 3.16 of the Zoning Ordinance.

Golder stated her concern is the 80,000 square foot parking lot area to the south and to the west, where it is clear that additional self-storage can be constructed. She stated it is adjacent to residential and we don't know what type of storage would be proposed. We don't know about any restrictions on the potential height of the building, what it will look like, and whether it will be fenced.

Golder stated the commissioners asked staff to gather information from the assessor regarding the taxation of a call center versus a self-storage facility. Golder stated the assessment for a storage is based on the revenue generated, and therefore the taxable value would be higher than a call center. The assessor provided a self-storage almanac that provides information on self-storage facilities by state and for the country. According to the almanac, Michigan averages 4.99 square feet per capita of storage and the U.S. averages 6.10 per capita. The City of Kentwood has 495,971 square feet of storage in 9 facilities and that equals 9.02 square feet per capita, putting Kentwood well over the average of self-storage per capita.

Golder stated that the staff recommendation is for denial as described in her memo, adding an additional basis that states the city already has 9 facilities of almost 500,000 square feet.

Chris Catania was present. He stated the national average has risen to about 9 square feet per capita. He looked at self-storage within 1, 2 or 3 miles of the proposed facility. He stated there is zero square footage per capita in the 1-mile radius, in the 2 mile there is 1.26 square feet per capita, and 3.8 of non-climate-controlled storage which equals 5.14 per capita. Within a 3-mile radius that goes up to 8 square feet per capita. Therefore, it is below the national average in their primary market.

Catania stated that he provided staff and the commissioners with answers to the topics that were raised at the work session. He also provided examples and pictures of the interior and exteriors of storage buildings. He stated he also submitted a link to a website of a self-storage facility in the area. Catania stated hazardous materials are not allowed to be stored within their facilities; this is in every lease. He stated he sent a link to Cube Smart's rules and regulations. He stated regarding the acreage in the back it is a land locked piece of property he doesn't know what the highest and best use is, he assumes it will be self-storage, however, he doesn't know. He stated if you can see self-storage doors from the street it is a bad look. He stated he wrote the condition such that if a storage facility was to be built back there it would be completely enclosed in a building or that the new building would be oriented such that there would be no doors shown from the street. You could not see the doors; it would look like a normal building as you drove by and would not look like a storage facility.

Jones opened the public hearing.

There was no public comment.

Motion by Benoit, supported by Holtrop, to close the public hearing.

- Motion Carried (7-0) –
- Kape and Quinn absent -

VanderMeer stated staff stated he didn't define what he is going to do with the 8.2 acres but he did define what he wants to do with the 8.2 acres. Catania stated in the conditional zone he specially said all self-storage doors to be located within a fully enclosed building and/or facing inwards to the property shielded from view from any public ROW, but there is no plan right now. As a developer he is going to look for the highest and best use. He stated if he were to build self-storage that is the condition that would keep it from having those doors facing outwards or looking like a U-Haul facility. Golder stated that the applicant's condition of rezoning allowed the parking lots to be used for more self-storage. Discussion ensued.

Benoit stated his only concern is that it is not consistent with the Master Plan then it gets sent to the City Commission and they are going to deny the request because they already didn't want to amend the Master Plan; otherwise, they would have amended the Master Plan. He stated he is going to have a hard time supporting due to it not being complaint with the Master Plan.

Holtrop stated if the 8.2 acres were used as storage, the applicant would still have to comply with the requirements for being adjacent to the residential area.

Porter's concerns were with the businesses that he is offering different kinds of uses and some of these uses are not special land uses. Catania stated that the uses included in the conditional rezoning are those that are allowed currently in the C-2 zoning district.

Poyner questioned if the commissioners were to approve the rezoning, can there be a basis added that says if there is self-storage to be developed in the 8.2 acres we require it to be climate controlled. Golder stated that all comes down to the conditions offered by the applicant for the rezoning. The applicant did not offer that all of the self-storage would be climate controlled. He is able to change the application but that is not what is in front of the commissioners now.

Jones stated her thought was regarding the City Commission and sending something forward that we already know they have some reservations and strong opinions about that parcel.

Motion by Benoit, supported by Poyner, to recommend to the City Commission the denial of the conditional rezoning of 8.2 acres of land from C-2 Commercial to I-1 Light Industrial Conditional Zoning as described in Case No. 22-23. Approval is denied based on basis points 1-5 adding condition 6 to read as follows "The City already has 9 self-storage facilities with a total of 495,971 square feet of lease space. Additional self-storage space is excessive in terms of the per capita amount of self-storage within the city when compared to the state of Michigan and the country".as described in Golder's memo dated September 18, 2023.

- Motion Carried (5-2) –
- Holtrop and VanderMeer opposed -

Case#23-23 -Body Shop Boss – Special Land Use and Site Plan Review for a Major Vehicle Repair located at 3851 Model Ct. SE

Pung stated the request is for special land use and site plan review for a vehicle repair operation located in an industrial district. He stated they are looking at utilizing approximately 17,000 square feet of an existing 50,000 square foot building which is accessed off Model Court. He stated they are only going to be doing cosmetic repairs which would be nonstructural, dents, scratches, etc. There will be no bodywork or engine repairs. He stated that for their own vehicles they will do brake repair. They indicated that there will be no other type of repair just scratch and dent and nonstructural bodywork at this location. He stated they will only be working on Amazon vehicles in the greater Grand Rapids area.

Pung stated with this request two variances will be required that have to do with the vehicle repair site design standards. He stated the zoning ordinance requires that for vehicle repair they have a minimum frontage of 100 feet. In this case, it is located on the end of a cul-de-sac and the street frontage is 44 feet; the lot width being measured the way the building is situated.

The other variance relates to having at least one side that abuts an arterial street. Model Court is not an arterial street. Although they are within 220 feet of Broadmoor Avenue and 6 lots total served by Model Court, the ordinance states they have to abut an arterial street. The applicant has submitted an application for variances to the Zoning Board of Appeals.

Pung stated he is recommending conditional approval of the special land use but amending Condition 2 to read: "Use to be operated consistent with the project narratives received August 31, 2023 and September 20, 2023 and site plan review as described in his memo's dated September 20, 2023".

Jones opened the public hearing.

There was no public comment.

Motion by Holtrop, supported by Porter, to close the public hearing.

- Motion Carried (7-0) –
- Kape and Quinn absent -

Poyner questioned if the Zoning Board doesn't approve the variances and the Planning Commission approves the special land use and site plan review what happens? Pung stated one of the conditions will be the Zoning Board has to approve those variances, if they are not approved then that condition is not met.

The commissioners were ok with the request and offered no additional questions.

Motion by Holtrop, supported by Benoit, to grant conditional approval of the special land use vehicle repair operation as described in Case 23-23. The approval is conditioned on conditions 1 – 7, modifying condition 2 to read "The use to be operated consistent with the project narratives received August 31, 2023 and September 20, 2023" and basis point 1 –7 as described in Pung's memo dated September 20, 2023.

- Motion Carried (7-0) –
- Kape and Quinn absent -

Motion by Holtrop, supported by Benoit, to grant conditional approval of the site plan March 22, 2001, as described in Case 23-23. Approval is conditioned on conditions 1 – 6 and basis points 1 –6 as described in Pung's memo dated September 20, 2023.

- Motion Carried (7-0) –
- Kape and Quinn absent -

J. Work Session

Case#24-23 – Hotel Conversion – Special Land Use and Site Plan Review to convert an existing office building into a hotel, located at 2180-44th Street SE

Golder stated the request is for special land use and site plan review for a 24-room boutique hotel on 1.34 acres of land. The existing use is an office building. The zoning is for office, hotels are allowed with special land use and the Master Plan recommends commercial. Therefore, it is consistent with the Master Plan.

Golder stated initially there was a concern from the Fire Department regarding how far the fire lane is from the building. However, the Fire Department said that if it is a sprinkled building (which it will be), they are okay with the proposed location of the fire lane.

Golder stated there are currently 87 parking spaces on the site, which is excessive for a 24-room hotel. Therefore, they have converted some of the parking to green space. The applicant is proposing over 40 feet of greenspace between the hotel parking lot and the adjacent residential use to the south. The residential use (a duplex) is located 186 feet away from the proposed hotel.

Golder stated there are two existing driveways that will be reduced to one. The driveway will be relocated slightly to the south to align with the drive aisle in the hotel parking lot.

Golder stated that she believes the proposed hotel meets the general special land use standards. The hotel within the existing building is appropriate and compatible with the character of the area, it is served by public facilities, it will not require additional upgrades at public cost, and with 24 units it is not expected to generate any traffic or noise. She stated we would like more information about site lighting.

Golder stated with respect to the specific special standards of Section 15.03 O, she thinks that generally, the hotel meets all of those as well. However, Section 15.03 O 4 of the zoning ordinance requires a landscape buffer zone of 20 feet. The Planning Commission can also require a wall or fence of up to 6 feet.

Golder stated the zoning ordinance requires hotels to provide one parking space per unit plus one per employee. There are 24 units proposed and the applicant has 48 spaces. Additional landscaping could be provided instead of excess parking spaces.

Golder stated the only concern she has is how to prevent the hotel from becoming a long-term rental property.

Vince Rostov was present. He stated he did speak to staff about if he isn't the owner years down the road, he is willing to sign something stating that the units cannot be used for apartments.

VanderMeer stated his concern that the property would become another leased property and questioned if there is some kind of language that the applicant can put in to prevent that from being a monthly rental facility of 6 months or longer. Golder stated she will have to ask the City Attorney. VanderMeer questioned if he was thinking about having a dining area or a cocktail bar. Rostov stated there isn't that much room for dining. It could be an area for coffee and sandwiches.

Rostov stated he likes the proximity to the airport. The way they would do the landscaping they would hide the building from the neighborhood and from the office buildings that are next door. They will have good landscaping and grown trees.

Benoit questioned the floor plan. Rostov stated the bathrooms will be new and there will be a shower in every room. Rostov stated he would like to keep the kitchenettes in the rooms because the rooms are large. Discussion ensued.

Hooltop questioned if there will be any exterior changes. Rostov stated the only thing they will be doing is changing the windows and a new roof.

Porter questioned the anticipated occupancy rate. Rostov stated low end 65%, high end 80%.

Poyner questioned what the daily rate will be at the hotel. Rostov stated it depends on the day; he thinks an average of \$140-\$150 per day. Discussion ensued.

Jones questioned if there were currently tenants in the building. Rostov stated they are currently at 75% occupied that are month to month. He stated he has 2 tenants that will be moving out at the end of the year. Jones questioned why we would have stipulations on this hotel as opposed to a Residence Inn; will this hotel be the same sort of thing?

Jones asked what happens if he receives approval of the hotel and the occupancy isn't where it needs to be for his bottom line. Rostov stated the mortgage can be paid and if they have to go back to the using the building as office, he probably could, but he really doesn't want to. He stated right now the building isn't making any money.

K. New Business

Motion by Holtrop, supported by Poyner, to Set public hearing date of October 24, 2023, for: Case#26-23 – Biggby Coffee – Special Land Use and Site Plan Review for a Drive Through Restaurant – Located at 2300 44th Street SE; Case#27-23 – Kentwood Drive and Shine – Special Land Use and Site Plan Review for a Vehicle Wash Establishment – Located at 3311 Woodland Drive SE

L. Other Business

1. Commissioners' Comments

Holtrop stated there was a Master Plan Committee meeting requesting a change in the Master Plan from Industrial to Commercial. The concern is that we have limited industrial land and there is a shortage. Holtrop stated he said it has been Industrial for years but nobody has made use of the property.

Jones stated CVS at 52nd Street and Eastern is closing November 1st.

2. Staff's Comments

Schweitzer stated that on October 17, the Transit Master Plan will be discussed at the Committee of the Whole.

Staff offered no additional comments.

M. Adjournment

Motion by Commissioner Benoit, supported by Commissioner Poyner, to adjourn the meeting.

- Motion Carried (7-0) –
- Kape and Quinn absent -

Meeting adjourned at 8:05pm

Respectfully submitted,

Ed Kape, Secretary

**CITY OF KENTWOOD
PLANNING COMMISSION
PROPOSED
FINDINGS OF FACT
OCTOBER 10, 2023**

Golder 9/18/23

PROJECT: Storage Five Conditional Rezoning

APPLICATION: 22-23

REQUEST: Rezoning of 8.2 acres of land from C-2 Commercial to I-1 Light Industrial Conditional Zoning

HEARING DATE: September 26, 2023

MOTION: **Motion by Benoit, supported by Poyner, to recommend to the City Commission the denial of the conditional rezoning of 8.2 acres of land from C-2 Commercial to I-1 Light Industrial Conditional Zoning as described in Case No. 22-23. Approval is denied based on basis points 1-5 adding condition 6 to read as follows “The City already has 9 self-storage facilities with a total of 495,971 square feet of lease space. Additional self-storage space is excessive in terms of the per capita amount of self-storage within the city when compared to the state of Michigan and the country” as described in Golder’s memo dated September 18, 2023.**

- Motion Carried (5-2) –
- Holtrop and VanderMeer opposed -

BASIS:

1. Self-storage units are considered an industrial use permitted by right in the I-1 Light Industrial zone. The Kentwood Master Plan recommends commercial use for this site; the City chose not to amend the Master Plan for Industrial use. Therefore, the use is inconsistent with the Master Plan.
2. Although the applicant proposes the re-use of an existing vacant building, he also includes the possibility of using the 80,000 square foot parking area south of the building for future self-storage. The applicant’s

proposed conditions of rezoning state that “All storage doors to be located within a fully enclosed building and/or facing inward to the property shielded from view of any public right of way.” Since the proposed storage within the existing building requires only 30 parking spaces (according to the developer), the developer clearly intends to allow the possibility of additional storage units to be constructed on the site. In addition, no restrictions are placed on whether any new self-storage built (outside of the existing building) are climate controlled or interior access only, or whether it would be built to the full height allowed in the I-1 Industrial zone (45’).

3. The conditional rezoning may not be compatible with the existing residential uses in the area. The southwest corner of the existing building proposed for self-storage is 34 feet from the common property line for Tamarisk Apartments. Section 10.03C 4 of the Zoning Ordinance requires that no industrial building or storage shall be located closer than 100 feet to a residential district boundary.
4. The 80,000 square foot parking area included in the rezoning (and presumably allowed to be developed for self-storage) is located adjacent to Tamarisk Apartments as well as the Bowen House, a designated historic property that is being used as a duplex unit. The potential construction of additional storage units would have a negative impact on these properties.
5. Discussion during work session and public hearings.
6. The City already has 9 self-storage facilities with a total of 495,971 square feet of lease space. Additional self-storage space is excessive in terms of the per capita amount of self-storage within the city when compared to the state of Michigan and the country.

**CITY OF KENTWOOD
PLANNING COMMISSION
PROPOSED
FINDINGS OF FACT
OCTOBER 10, 2023**

Pung 09/20/23

PROJECT: Body Shop Boss

APPLICATION: 23-23

LOCATION: 3851 Model Court

HEARING DATE: September 26, 2023

REVIEW TYPE: Special Land Use for vehicle repair operation

MOTION: **Motion by Holtrop, supported by Benoit, to grant conditional approval of the special land use vehicle repair operation as described in Case 23-23. The approval is conditioned on conditions 1 – 7 modifying condition 2 to read “The use to be operated consistent with the project narratives received August 31, 2023 and September 20, 2023” and basis point 1 –7 as described in Pung’s memo dated September 20, 2023.**

- Motion Carried (7-0) –
- Kape and Quinn absent -

CONDITION:

1. Planning Commission approval of the site plan dated March 22, 2001.
2. The use to be operated consistent with the project narratives received August 31, 2023 and September 20, 2023
3. All repair work shall be done within the building.
4. No outdoor storage of vehicles, material, merchandise, equipment, or other materials associated with the vehicle repair operation shall occur until such time as an outdoor storage area meeting the requirements of the Zoning Ordinance is constructed.
5. Variances will be required from the Kentwood Zoning Board of Appeals to permit the use to be located on a site with less than one-hundred (100) feet of frontage and with no frontage on an arterial street.

6. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
7. Compliance with all applicable standards and requirements of the Kentwood Fire Department.

BASIS:

1. The use is a special land use in the I1 Light Industrial district and as such is compatible with the current zoning of the property and the Master Plan recommendation for industrial development of the site.
2. The use is not anticipated to have a substantial and adverse impact on neighboring property nor create any type of blight within the area.
3. A revised project narrative is required which accurately describes how the repair facility will operate on the site based on representations provided by the applicant at the work session and public hearing.
4. Section 15.04.E.3 requires that the minimum frontage shall be one-hundred (100) feet. The site has frontage of only forty-four (44) feet.
5. Section 15.04.E.4 requires that at least one (1) side abuts an arterial street. The site only has frontage on Model Court which is not an arterial street.
6. Representations by the applicant at the work session and public hearing.
7. Discussion at the work session and public hearing

**CITY OF KENTWOOD
PLANNING COMMISSION
PROPOSED
FINDINGS OF FACT
OCTOBER 10, 2023**

Pung 09/20/23

PROJECT: Body Shop Boss

APPLICATION: 23-23

LOCATION: 3851 Model Court

HEARING DATE: September 26, 2023

REVIEW TYPE: Site plan review for vehicle repair operation

MOTION: **Motion by Holtrop, supported by Benoit, to grant conditional approval of the site plan March 22, 2001, as described in Case 23-23. Approval is conditioned on conditions 1 – 6 and basis points 1 – 6 as described in Pun’s memo dated September 20, 2023.**

- Motion Carried (7-0) –
- Kape and Quinn absent -

CONDITION:

1. Planning Commission approval of the special land use for vehicle repair.
2. All repair work shall be done within the building.
3. No outdoor storage of vehicles, material, merchandise, equipment, or other materials associated with the vehicle repair operation shall occur until such time as an outdoor storage area meeting the requirements of the Zoning Ordinance is constructed.
4. Variances will be required from the Kentwood Zoning Board of Appeals to permit the use to be located on a site with less than one-hundred (100) feet of frontage and with no frontage on an arterial street.
5. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
6. Compliance with all applicable standards and requirements of the Kentwood Fire Department.

BASIS:

1. The use is a special land use in the I1 Light Industrial district and as such is compatible with the current zoning of the property and the Master Plan recommendation for industrial development of the site.
2. Section 15.04.E.3 requires that the minimum frontage shall be one-hundred (100) feet. The site has frontage of only forty-four (44) feet.
3. Section 15.04.E.4 requires that at least one (1) side abuts an arterial street. The site only has frontage on Model Court which is not an arterial street.
4. The site plan otherwise meets the requirements of the Kentwood Zoning Ordinance.
5. Representations by the applicant at the work session and public hearing.
6. Discussion at the work session and public hearing.

PLANNING STAFF RECOMMENDATION

Golder 10/2/23

PROJECT: Bosgraaf Homes LLC

APPLICATION: 17-23

REQUEST: Change of Master Plan designation from Low Density Residential to Medium Density Residential

LOCATION: 2802 44th Street SE

HEARING DATE: October 10, 2023

RECOMMENDATION: Recommend conditional approval of the request to amend the Master Plan designation for 4.72 acres of land located at 2802 44th Street from Low Density Residential to Medium Density Residential as described in Case No. 17-23. Approval is conditioned on the following:

CONDITION:

1. The site shall be developed as a Residential Planned Unit Development.
2. The proposed residences shall be limited to two stories or 25 feet in height.

BASIS:

1. Redevelopment of the site from Low Density Residential to Medium Density Residential can be accomplished in a way that is compatible with the surrounding residential uses.

The areas adjacent to the subject property are low density residential homes. The proposed development can provide adequate separation from the adjacent uses. Further, any proposed structures on the site would be limited to 2 stories in height, consistent with homes located on adjacent properties.

2. When developed as a PUD, property will require approval of a site plan, building elevations, and landscape plans at the time of the rezoning.

In preparing the Master Plan amendment the applicant has provided examples of housing development that may be proposed for the site. Some concern was expressed that the amendment of the Master Plan to Medium Density Residential would allow the maximum density of up to 8 units per acre. The requirement to develop the site as a PUD offers the city flexibility in determining whether the density proposed is appropriate for the location. At the same time, the PUD will allow the developer the flexibility to cluster the housing in a way that preserves open space and provides screening to the adjacent homes.

3. The applicant has indicated his intent to develop the site for housing units that are owned rather than rented.

The PUD zoning will allow the city to incorporate this intention into the PUD Statement, which will become a condition of the rezoning approval.

4. The City will have the ability to review the plan and to determine if the proposed site plan, density, open space, access, and amenities offered are adequate.

Review and consideration of the site plan submitted for PUD approval may require amendments to the plan; including, but not limited to, a reduction in density, a reduction in building height, an increase of open space and amenities, or a traffic analysis to determine whether ingress and egress to the site and provide safe access to the development..

5. The 4.72 acre site includes wetlands on the south side of the site and 660 feet of frontage along 44th Street, an arterial street with a vehicle count of more than 36,000 vehicles per day. Low density residential use may be difficult to build given the limitations of the site.
6. Discussion at the Master Plan Committee, Land Use and Zoning Committee, work session, public meeting and public hearing.



29 June 2023

City of Kentwood Planning Commission

PO Box 8848
Kentwood, MI 49518
GolderL@kentwood.us

RE: 2802 44th St. SE Master Plan Amendment Request

Members of the Planning Commission:

We are respectfully requesting an amendment to the City's Master Plan to allow Medium Density Residential development at 2802 44th St. SE, situated at the southeast corner of Walma St. and 44th St. Our ultimate objective is to introduce a new high-quality home ownership option to the City of Kentwood.

Our path to this proposal has been shaped by constructive discussions with the city staff, as well as the Land Use and Master Planning committees. The discussions yielded encouraging feedback, underlining several points:

- The preference for homeownership over rentals
- An agreement on 6 to 8 units per acre, permitted the site doesn't feel overcrowded
- The necessity to include walk connectivity with the adjacent walk network
- The need to incorporate internal amenities

In response to the commission's and community's interests, we are striving to devise a plan that resonates with all stakeholders. Our preliminary plan is to secure a residential Planned Unit Development (PUD) zoning, fostering a collaborative dialogue between the City and our team throughout the concept development process. This dialogue will ensure the inclusion of key stipulations integral to the design.

Although we examined a provisional concept in our previous discussions, we hope to jointly develop the final concept through the PUD process. This approach guarantees a genuinely cooperative endeavor.

We appreciate the insightful feedback thus far and are eager to continue our dialogue with you regarding this opportunity. We hope for your support and approval to amend the Master Plan on the 25th. Thank you!

Sincerely,

Michael C. Corby FAIA, President
INTEGRATED ARCHITECTURE

cc: Mike Bosgraaf
Attachment: Walma Ave & 44th St Preliminary Plat

PLANNING STAFF RECOMMENDATION

Golder 10/5/2023

PROJECT: 2180 44th Street hotel

APPLICATION: 24-23

REQUEST: Special Land Use for a 24-room hotel

LOCATION: 2180 44th Street SE

HEARING DATE: 10/10/23

RECOMMENDATION: Recommend tabling action until October 24, 2023 of the request for Special Land Use approval of a 24-room hotel as described in Case No. 24-23.

BASIS:

1. The applicant is revising the Statement of Operations to incorporate measures to ensure that the hotel does not become a long-term residential rental facility.
2. The applicant is revising the site plan to incorporate recommendations raised in the Planning Commission review and staff report.

STAFF REPORT October 5, 2023

PREPARED FOR: Kentwood Planning Commission

PREPARED BY: Terry Schweitzer

CASE NO.: 25-23 Master Plan Amendment NE Quadrant 52nd St and M-37

GENERAL INFORMATION

APPLICANT: Andrew Anderson
2465 Cascade Springs Drive, SE
Grand Rapids, MI 49546

APPLICANT
REPRESENTATIVE: Andrew Anderson

STATUS OF
APPLICANT: Petitioner by Way of Buy and Sell Agreement

REQUESTED ACTION: Amend Master Plan Designation from Industrial to Commercial
EXISTING ZONING OF
SUBJECT PARCEL: I-1 Light Industrial

GENERAL LOCATION: Northeast Quadrant of 52nd Street and Broadmoor Avenue (M-37)
PARCEL SIZE: 7 acres

EXISTING LAND USE
ON THE PARCEL: Vacant

ADJACENT AREA
LAND USE: N- Office
S- Industrial Office/Warehouse
E-Railroad Spur/Industrial Truck Terminal/Manufacturer
W- Commercial Gas Station Convenience Store/Drive Through
Restaurant

ZONING ON ADJOINING
PARCELS: All adjoining properties are zoned I-1 Light Industrial except for
CPUD to the West

Proposal Overview:

The applicant, Andrew Anderson, has submitted a narrative dated 9/1/2023 as well as conceptual floor and site plans to build a pickleball and Wiffleball restaurant and recreational sports courts on properties addressed 5080, 5090, 5140 Broadmoor Avenue, SE and 4581 52nd Street, SE. The restaurant use would be permissible under the current I-1 Light Industrial zoning, subject to Special Land Use and Site Plan review and approval by the Planning Commission. Retail as

well as indoor and outdoor recreational uses are not permitted under the I-1 Light Industrial zoning.

Compatibility with Master Plan:

The Kentwood Master Plan designation for this site is industrial use. The proposed combination of uses is commercial in nature, thus the request to change the current land use designation.

Relevant Zoning Ordinance Sections:

Chapter 8 contains the Commercial/Office Districts. Chapter 10 contains the Industrial Districts.

Streets and Traffic

Broadmoor Avenue is a state trunkline, M-37, and across the frontage of the site it is a four-lane boulevard within a 205-foot-wide public right-of-way. The 52nd Street frontage is a five-lane arterial roadway within an 83-100-foot-wide public right-of-way. No direct left turns are allowed at the intersection as well as along the Broadmoor frontage.

Traffic Analysis

The magnitude of this proposed land use change, especially along the M-37 State Trunkline, warrants a comprehensive review including the Michigan Department of Transportation MDOT, KCRC and the neighboring Four Corner communities. We will work through the Grand Valley Metro Council to assemble a meeting of the East Beltline Zoning Advisory Committee.

The attached narrative submitted by the applicant details their reasoning for the proposed land use change. Their site selection process put a high premium on locations proximate to a highway interchange to be readily accessible to the entire metro area.

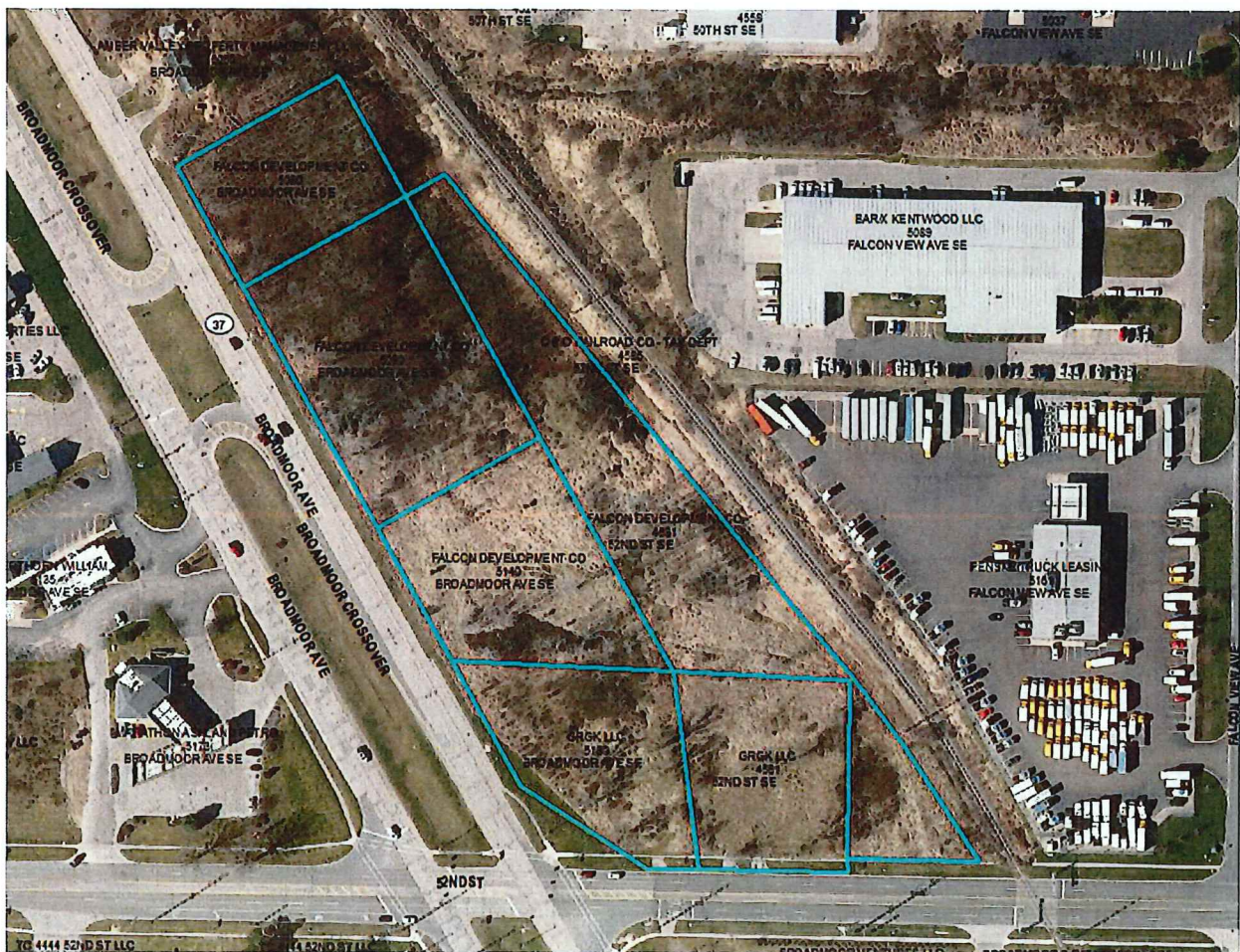
Regardless of the land use designation, there is a need to rely upon access control standards relative to the intersection of a major arterial street and a state trunkline as well as safely distancing private driveways from the boulevard median openings administered by MDOT and KCRC. We are seeking guidance from our road agency partners to ascertain what type of traffic analysis may be desirable/necessary to factor into the project review.

Staff Analysis

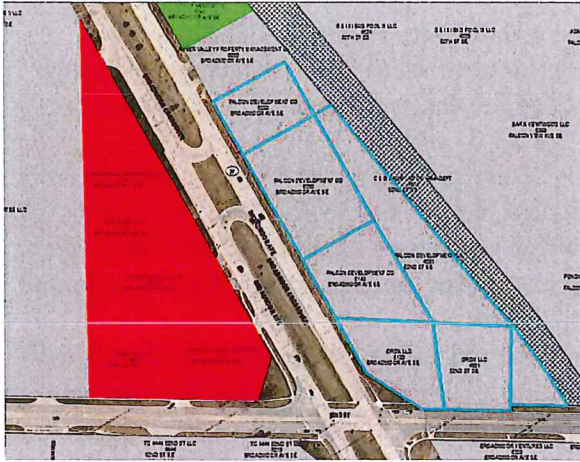
1. The 2000 Kentwood Wireless Communications Plan identified this northeast quadrant of Broadmoor and 52nd Street as one of the eight preferred cell tower sites within the city limits. The effect of the plan was to encourage tower providers and wireless communications service providers to first consider preferred sites before other possible sites within the city. Furthermore, the designated sites were allowed towers by right. We recently contacted airport staff and learned that the cell tower concept would be subject to FAA Part 77 restrictions.
2. The primary staff concern relates to the availability of land suitably zoned to support industrial development in Kentwood and the greater Grand Rapids area. A recent Crains Grand Rapids Business article dated August 8, 2023, highlighted the scarcity of available industrial real estate in the West Michigan area. We reached out to Tim Mroz, the Senior Vice President of Community Development with The Right Place for their perspective on the availability of industrial properties. He provided us with the attachments to this staff report describing the industrial vacancy rates in the southeast portion of the Grand Rapids Metro area through the second quarter of 2023 from the viewpoint of JLL and NAI Wisinski of West Michigan. Mroz also provided the

2023 The Right Place Development Report which described their pursuit of build-ready industrial sites.

3. The current amount of industrially zoned land in Kentwood is approximately 2760 acres and it is a major component of the city's tax base. Working with the City Assessor's Office we have identified the subject site as well as 6 others that appear to be vacant and available for industrial development according to the Commercial Alliance of Realtors website. However, these sites only range from 1-10 acres in size.
4. The site of the Veneklasen Construction industrial development along the east side of Broadmoor Avenue, just south of 52nd Street is arguably configured like this northeast corner. It is not unreasonable to expect that a similar industrial development would likewise be successful. We recently received a concept plan from a group considering this northeast corner for two industrial buildings of between 34,000 and 38,000 square feet in area.
5. Planning staff feels the land use designation for this site and the two properties immediately to the south should continue to be consistent and if the land use designation is changed to commercial, the properties should be developed as part of a commercial PUD. Given this location at the intersection of an arterial street and a state trunkline, access onto Broadmoor Avenue and 52nd Street should be integrated.
6. Area outlined in blue is the Anderson property and the corner properties that should likewise be considered for the same change.



7. Current Land Use Designations



8. Recently Submitted Concept Plan

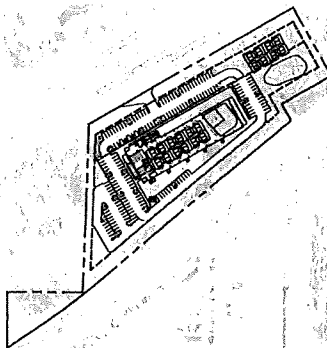


I am proposing a change to the Master Plan, and if that succeeds, the rezoning of 5080,5090, 5140 Broadmoor Ave. SE and 4581 52nd St. SE located in the city of Kentwood. I am seeking these changes so that I can build a pickleball and Wiffle® ball restaurant and recreational sport courts social club. Currently, restaurants are permitted in L1 zoning. However, sport courts, like the ones I want to include with my restaurant, are not included in L1 zoning.

Therefore, I am asking the Planning Commission to change their master plan for the above addresses so that I can build my restaurant and recreational sport courts social club that will cater to people who want to play pickleball and Wiffle® ball, (inside and out) and/or who are looking for a great meal in the surrounding area or on the way to the airport.

My restaurant will include six indoor pickleball courts as well as an indoor regulation-size Wiffle® Ball field. I will also have four outdoor pickleball courts and outdoor seating. Besides the pickleball courts and Wiffle® ball field, I will have a bar and restaurant for the surrounding "working" community that will serve burgers, sandwiches, soups, and salads; hence a gathering place. I will also offer a juice bar as well as small "pro shop." The second story of the building will have a conference room for corporate events that will overlook the indoor pickleball courts. This building will be a standard steel industrial building. This restaurant will add a much-needed eatery away from the busy 28th St. corridor and add to the growing evidence that Kentwood is a great community to live, work, and play.

Thank you. Andy Anderson



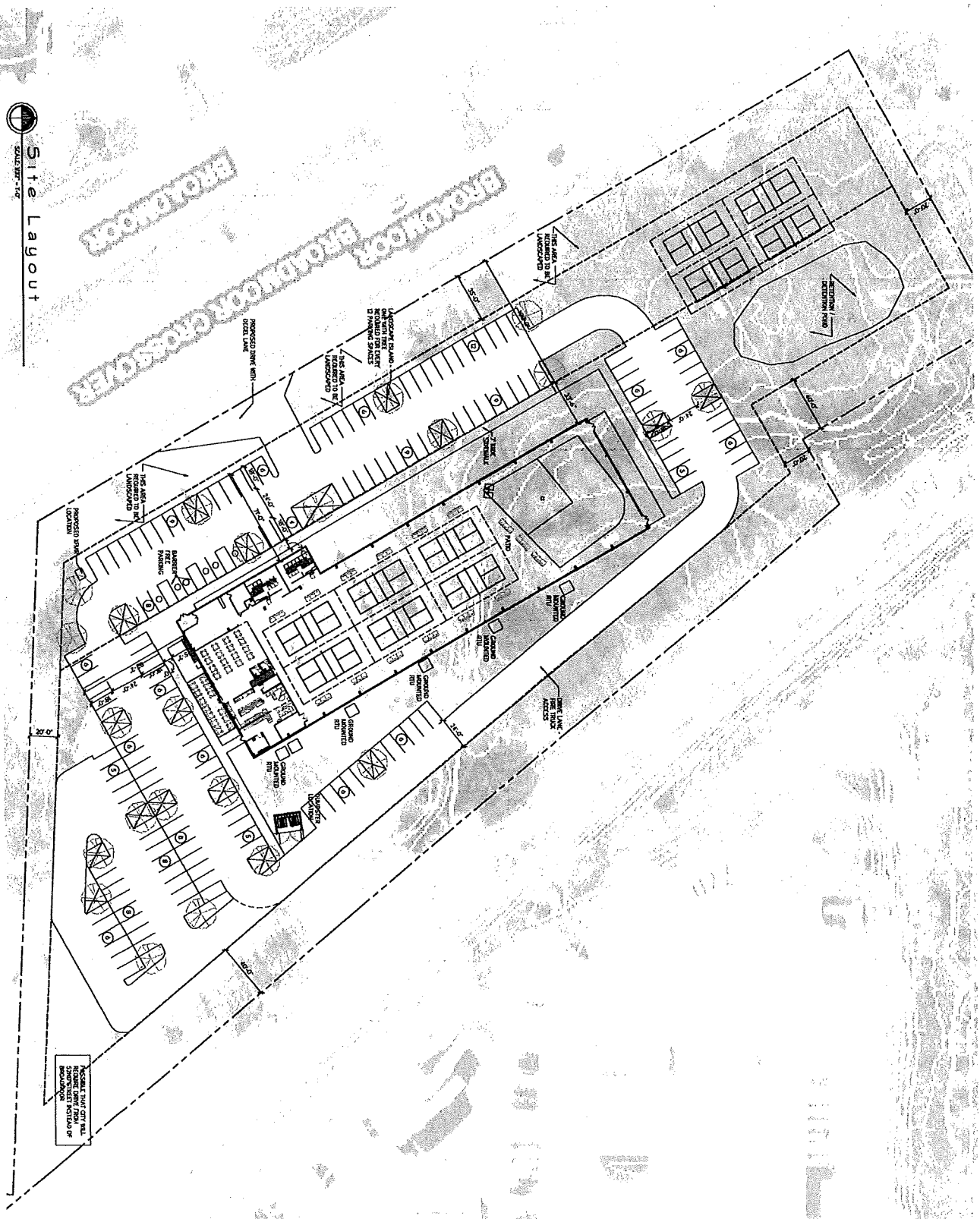
Site Layout

NOT TO SCALE

PARKING STANDARDS:
 COMMERCIAL RECREATION - 10000 - 4 SPACES PER COURT
 COMMERCIAL RECREATION - OUTDOOR - 4 SPACES PER COURT
 OFFICE SPACE - 1 SPACE PER 300 SQUARE FEET
 RESTAURANT - 1 SPACE PER 300 SQUARE FEET
 RETAIL - 1 SPACE PER 200 SQUARE FEET
 STORAGE - 1 SPACE PER 200 SQUARE FEET

PARKING REQUIRED:
 COMMERCIAL RECREATION - 10000 - 4 SPACES PER COURT
 COMMERCIAL RECREATION - OUTDOOR - 4 SPACES PER COURT
 OFFICE SPACE - 80 SQUARE FEET
 RESTAURANT - 200 SQUARE FEET (COMMERCIAL HOTEL / OUTDOOR)
 RETAIL - 100 SQUARE FEET - 100 SHOPS
 STORAGE - 100 SQUARE FEET

TOTAL SPACES	91 SPACES
PROPOSED	100 SPACES

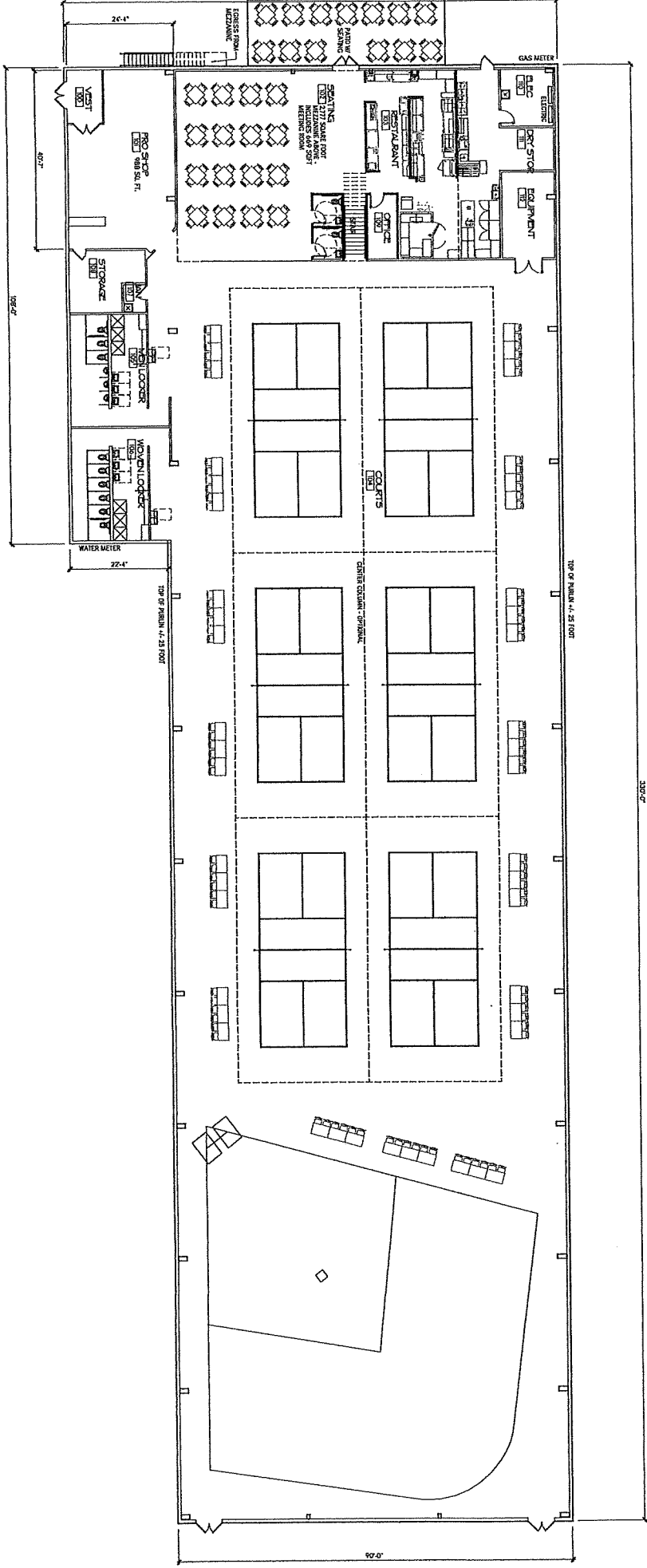


Site Layout



SCALE: 1" = 40'

NOTES: THIS CITY WILL
 SUBMIT THIS SITE PLAN
 FOR REVIEW



First Floor Plan
 SCALE: 3/32" = 1'-0"
 2124N S&A FT. INTERIOR

West Michigan industrial real estate remains scarce as demand eases

Danielle Nelson

August 8, 2023

Prime industrial real estate along U.S. 131 near Byron Center. Credit: Courtesy of Brian Silvernail, Byron Center Real Estate
Industrial real estate vacancies increased slightly in areas of West Michigan during the second quarter, though experts say opportunities for industrial buildings and vacant land remain scarce.

Quarterly reports from local brokerages indicate industrial vacancy rates between 1.6% and 2.9%, covering areas that span the lakeshore to M-66 east of Grand Rapids.

Colliers International's West Michigan office, for example, reported a slight vacancy rate increase, from a record low of 2.1% in the first quarter to nearly 2.7% in the second quarter of this year.

Keep up with all things West Michigan business. Sign up for our free newsletters today.

NAI Wisinski of West Michigan reported a 1.8% overall vacancy rate across five submarkets of West Michigan, from Muskegon to Saugatuck along the lakeshore to around Greenville and Hastings east of Grand Rapids.

Chris Prins, partner and senior vice president of industrial brokerage at NAI Wisinski of West Michigan, noted that a "continued supply issue" for both sales and leases is the main factor affecting the region's industrial market.

"There are simply not enough industrial buildings on the market for sale or for lease," Prins wrote in a recent second-quarter market report. "Common sense would tell you that the solution would be to construct more industrial buildings. However, with rising interest rates, high construction costs and a shortage of industrial vacant land, the rent required to make the overall project cost viable is keeping several developers on the sidelines. ... Without the economies of scale that come along with constructing a large building, it is difficult to get construction costs down to where it makes sense relative to market rents."

Randy Bronkema, owner of Grandville-based Independence Realty, noted that the acceleration of demand for industrial facilities that was driven by low interest rates is now starting to balance out.

"We are starting to see more buildings on the market and a little bit more marketing time," he said. "We are going to go back to a little more buyer-seller market versus buildings that were put on the market and were selling more or less instantly."

Bronkema added that "location, location location" remains the primary driver of whether industrial buildings and properties are leased or sold.

Prime locations

With prime industrial buildings generally located near freeways, Bronkema said that the M-6 interchange near Byron Center and M-37 through Kentwood have been growing, along with areas around the Gerald R. Ford International Airport. Areas in Walker near Fruit Ridge Avenue also have experienced strong industrial growth, according to local brokers.

Grand Rapids-area submarkets such as downtown, northeast and outside of the metro area have vacancy rates below 1%, according to Colliers. The southwest

and northwest submarkets have vacancy rates of 2.2% and 1.6%, respectively. The southeast metro area boasts the highest vacancy rate of 5%, according to Colliers.

Multiple brokerages also noted American Seating Co.'s recent announcement that it is relocating its office and manufacturing operations from the west side of the city of Grand Rapids to a former Steelcase building on the city's south side. Company officials said future plans for American Seating's legacy manufacturing operations, which has shrunk over the years, is still undetermined.

Meanwhile, brokers also reported an increase in overall asking lease rates during the second quarter. Asking lease rates are trending upward, ranging from \$4.94 to \$6.59 per-square-foot. Brokers at real estate services firm JLL noted that a \$4.94 per-square-foot average asking rent during the second quarter is a 15.9% increase from the same period last year.

As well, the region's low supply of industrial space has contributed to increased activity in the sublease market this quarter, according to Advantage Commercial Real Estate.

"As the supply of new space stays low, companies look to absorb current space through subleasing. This surge is reflected in the absorption of sublease space over the past few months," according to Advantage Commercial Real Estate's second-quarter market report.

Of more than 805,000 square feet of sublease space listed at the start of the second quarter, more than 272,074 has been absorbed.

"This level of sublease absorption is truly remarkable, especially when compared to previous sublease reports. Over the past two years, excluding this quarter, only 203,557 (square feet) of sublease transactions were reported, further highlighting the significance of this quarter's numbers," according to Advantage Commercial Real Estate.

Construction on an industrial property between 84th Street and 100th Street south of Grand Rapids. Credit: Courtesy of Brian Silvernail, Byron Center Real Estate

Land scarcity, new construction

The latest quarterly reports also indicate ongoing strong demand for land amid a scarcity of ready-to-build properties throughout West Michigan.

“In the south Grand Rapids area, going to Byron Center ... there is a major demand for industrial properties,” said Brian Silvernail, owner of Byron Center Real Estate. “However, there is very little availability of (land) that just doesn’t have zoning for industrial properties, but also the infrastructure, meaning the sewer and water in particular, that would facilitate industrial facilities.”

Some notable Grand Rapids-area construction starts in the second quarter include:

- Holland-based Enviro-Clean Services **started construction** on a new facility at 1151 44th St. in Grand Rapids. The 47,000-square-foot building will consist of 17,000 square feet for their business and roughly 30,000 square feet of spec industrial space for other tenants.
- Ada-based Ascent Fine Cabinetry **acquired a 2.1 acre parcel** in the Walker View Industrial Park in Walker to roughly triple the size of its manufacturing footprint. Company officials plan for 15,600 square feet of new space with a potential future expansion up to 31,000 square feet.
- Robert Grooters Development Co. **broke ground** on its new speculative industrial building in Gaines Township. The more than \$9 million facility will add nearly 200,000 square feet of industrial space to the market for new companies or those looking to expand in southeast Grand Rapids.

Silvernail noted that increases in land prices are prevalent, regardless of whether they're close to a freeway, because of a lack of land with industrial zoning and utilities.

Design plans for Enviro-Clean's new Grand Rapids office, which will include 30,000 square feet of speculative industrial space. Credit: Courtesy of Enviro-Clean Services Inc.

"Right now, I have an industrial piece of land between 84th Street and 100th Street that a sewer line is being brought to," he said. "The water line is there. It is already zoned, and it does front the freeway. I am advising my client to put the pricing at \$200,000 per acre. Typically, in the past, that was more of an office-type price for land, not industrial. In the past, it was hovering at or around the \$100,000 mark. Now it is at the \$150,000 watermark. For land on the freeway, it goes up from there."

Meanwhile, Colliers forecasts that the development pipeline should catch up in late 2023. The firm's quarterly report also notes that with the relatively small amount of new construction, vacancy rates should remain low throughout the next few years, and growth will continue in submarkets with highway access and near the airport.

"The future of West Michigan is very strong," Bronkema said. "It has been strong, and it will probably continue to be strong because we are somewhat of a niche market. We are small, but then we are big if you add all of our suburban cities to it. Our businesses are diverse. We have grown and adapted to our current economy and current global situations, so I think we are going to be strong."

More from Crain's Grand Rapids Business:

LG Energy Solution 'seriously considering' Holland for North American HQ

Construction outlook strong at mid-year, though industry leaders forecast 2024 slowdown

Former HopCat owner sells vacant Grand Rapids property to another restaurateur

- **TAGS**
- Advantage Commercial Real Estate
- Colliers International West Michigan
- industrial real estate
- NAI Wisinski of West Michigan

Previous article Michigan dangles \$150M toward restarting nuclear plant, but what else would it take?

West Michigan

West Michigan industrial market holds steady in Q2 amid strong fundamentals

- Automotive related activity continues to gain traction, as LG Energy Solution nears completion on their expansion and Gotion will move forward with their own \$2.4 billion battery plant in Big Rapids.
- Average asking rents continue to trend upward toward \$5.00 p.s.f., currently at \$4.94 p.s.f., up 15.9% year-over-year.
- American Seating is relocating their manufacturing operations from the West Side of Grand Rapids to the former Steelcase Campus on the south side.

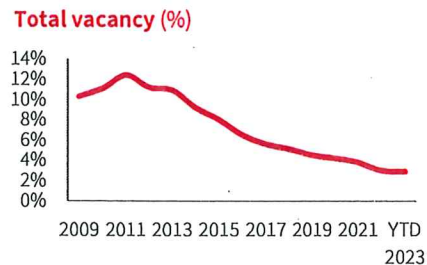
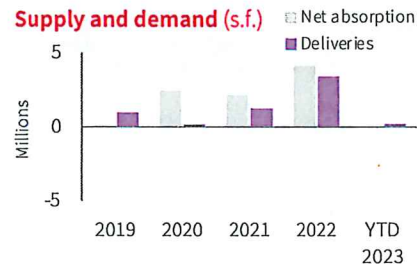
The second quarter saw total vacancy hold steady at 2.9% in the West Michigan industrial market as there was an absence of major leasing activity once again. The bulk of leasing activity was made up of smaller and mid-sized transactions and move-ins. American Seating is relocating their manufacturing operations from the West Side of Grand Rapids to the former Steelcase Campus on the south side, while in May, Axis Automation moved into their 75,000 s.f. space in Walker. In Kentwood, GrandStone Imports signed a 50,000 s.f. lease, and in Kalamazoo, Gaishin Manufacturing is taking space at 5200 Cork Street. Average asking rents continue to trend upward toward \$5.00 p.s.f., currently at \$4.94 p.s.f., up 15.9% year-over-year.

Automotive related activity continues to gain traction, as LG Energy Solution nears completion on their expansion to produce lithium-ion batteries in Holland and Gotion officially will move forward with their own \$2.4 billion battery plant in Big Rapids north of Grand Rapids. The development pipeline remains strong, with over 1.9 m.s.f. under construction across the region. Grooters Development and Honeycrisp Ventures remain active players, and we should expect to see additional projects break ground throughout the year given the strong fundamentals in the market. Expansion activity also remains prevalent with users such as Evapco Select Technologies, RoMan Manufacturing and Apex Controls all investing millions to expand operations in the region.

Outlook

Moving forward, we can expect the strong fundamentals in the West Michigan market to remain. Automotive and EV related investment will drive activity in the region moving forward, as suppliers will plant their flag near the large-scale manufacturing developments. It will be interesting to keep an eye on pre-leasing activity in the current pipeline as current projects deliver and additional projects break ground.

Fundamentals	Forecast
YTD net absorption	-16,728 s.f. ▲
Under construction	1,941,800 s.f. ▲
Total vacancy	2.9% ▼
Sublease vacancy	859,019 s.f. ►
Direct asking rent	\$4.94 p.s.f. ▲
Sublease asking rent	\$5.31 p.s.f. ▲
Concessions	Stable ►



JLL Research Report

Industrial Statistics

	Inventory (sf)	Quarterly total net absorption (sf)	YTD total net absorption (sf)	YTD total net absorption (% of stock)	Total vacancy (%)	Total availability (%)	Average total asking rent (\$ p.s.f.)	Quarterly Completions (sf)	YTD Completions (sf)	Under construction (sf)
West Michigan total										
Warehouse & Distribution	115,427,644	198,218	276,524	0.2%	2.9%	4.4%	\$5.08	95,130	95,130	1,521,800
Manufacturing	132,567,124	-135,118	-293,252	-0.2%	2.9%	2.9%	\$4.82	0	131,872	420,000
Overall Total	247,994,768	63,100	-16,728	0.0%	2.9%	3.6%	\$4.97	95,130	227,002	1,941,800
Northeast Grand Rapids										
Warehouse & Distribution	7,022,132	0	39,600	0.6%	0.8%	0.8%	\$7.95	0	0	0
Manufacturing	8,305,146	-1,668	64,830	0.8%	0.5%	0.5%	\$5.75	0	79,498	0
Overall Total	15,327,278	-1,668	104,430	0.7%	0.6%	0.6%	\$6.16	0	79,498	0
Northwest Grand Rapids										
Warehouse & Distribution	10,421,723	-11,910	324,519	3.1%	2.2%	2.8%	\$5.45	0	0	200,000
Manufacturing	12,966,533	161,732	156,732	1.2%	1.9%	3.2%	\$5.24	0	0	0
Overall Total	23,388,256	149,822	481,251	2.1%	2.0%	3.0%	\$5.34	0	0	200,000
Southeast Grand Rapids										
Warehouse & Distribution	35,299,958	263,630	183,903	0.5%	3.0%	4.6%	\$4.63	95,130	95,130	226,800
Manufacturing	28,898,924	-68,019	-104,544	-0.4%	5.5%	5.4%	\$4.26	0	0	0
Overall Total	64,198,882	195,611	79,359	0.1%	4.1%	5.0%	\$4.44	95,130	95,130	226,800
Southwest Grand Rapids										
Warehouse & Distribution	15,062,812	9,150	-122,500	-0.8%	2.8%	2.8%	\$4.52	0	0	0
Manufacturing	28,333,102	232,100	186,643	0.7%	1.0%	1.0%	\$5.13	0	0	0
Overall Total	43,395,914	241,250	64,143	0.1%	1.7%	1.7%	\$4.71	0	0	0
Southwest Michigan										
Warehouse & Distribution	22,990,724	-281,500	-257,310	-1.1%	5.2%	9.3%	\$5.53	0	0	1,035,000
Manufacturing	24,164,999	-401,289	-554,773	-2.3%	4.6%	4.2%	\$5.16	0	0	420,000
Overall Total	47,155,723	-682,789	-812,083	-1.7%	4.9%	6.7%	\$5.41	0	0	1,455,000
West Shore										
Warehouse & Distribution	24,630,295	218,848	108,312	0.4%	1.6%	1.9%	\$4.80	0	0	60,000
Manufacturing	29,898,420	-57,974	-42,140	-0.1%	1.9%	1.9%	\$5.49	0	52,374	0
Overall Total	54,528,715	160,874	66,172	0.1%	1.8%	1.9%	\$5.22	0	52,374	60,000



NAI Wisinski of
West Michigan

Q2'
2023

INDUSTRIAL

WEST MICHIGAN
MARKET REPORT

Office • Industrial • Retail • Multifamily • Investment

GRAND RAPIDS THE MARKET



Grand Rapids is the state's second-largest city, located between Chicago and Detroit in western Michigan.



1,109,533

TOTAL POPULATION



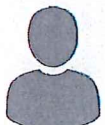
130+

INTERNATIONAL COMPANIES



\$74,743

MEDIAN HOUSEHOLD
INCOME



37.2

MEDIAN AGE

Grand Rapids-Kentwood, MI Metropolitan
Statistical Data.

Source: U.S. Census Bureau,
The Right Place

INDUSTRIAL MARKET TRENDS

There are several items that are impacting the current West Michigan industrial real estate market. The main one being a continued supply issue both on the sale and lease side. There are simply not enough industrial buildings on the market for sale or for lease. Common sense would tell you that the solution would be to construct more industrial buildings. However, with rising interest rates, high construction costs and a shortage of industrial vacant land, the rent required to make the overall project cost viable is keeping several developers on the sidelines. There are a few speculative industrial projects in the works, but only a few. In order to make construction numbers work relative to market rent numbers, the speculative buildings being built are larger in scale and divisible to around 50,000 square feet. Which means the pipeline of speculative industrial buildings divisible in the 5,000-30,000 square foot range is bare. Without the economies of scale that come along with constructing a large building, it is difficult to get construction costs down to where it makes sense relative to market rents.

The other side of the coin is industrial vacancy rates are around 1.8%, lease rates and building values keep increasing, and there is strong demand for industrial space. Some of this demand is coming from manufacturers, but a high percentage is logistics and distribution related. The supply chain issues we've experienced over the last 24 months seem to be improving, and inflation is heading in the right direction. These are all good indicators of a strong industrial real estate market.

Another effect on the current market conditions is the necessity for buyers and tenants to give themselves ample time to find the right building. Due to the low number of buildings currently on the market, it is taking longer than ever to find the right building, and it is important for buyers and tenants to plan accordingly. Companies who need space are having to be creative. Often this involves modifying, reconfiguring, or even adding on to a building to fit their needs. There are also a lot of properties that sell prior to even hitting the market. Knowing about available off-market properties is a big advantage for prospective tenants and buyers.

The best way to put yourself in a position to know about off-market opportunities is to work with an experienced real estate team. The industrial team at NAI Wisinski is the largest and most experienced in our market. Our team of 16 industrial agents have an average of more than 22 years of experience serving industrial real estate clients throughout West Michigan and Southwest Michigan. If you are looking to sell, purchase, or lease an Industrial Building, please contact us and let our experience and market knowledge begin working for you.



CHRIS PRINS, SIOR

Partner, Senior Vice President
Industrial Brokerage

NOTABLE INDUSTRIAL TRANSACTIONS



LEASED

200 MAPLE ST. NW.,
SPARTA
59,568 SF



LEASED

5275 68TH ST. SE, SUITE 4
CALEDONIA
25,920 SF



LEASED

5300 BROADMOOR AVE. SE,
SUITE D, GRAND RAPIDS
50,000 SF



LEASED

692 8TH S ST.,
KALAMAZOO
15,600 SF



LEASED

41 BUCKLEY ST. SW, SUITE B
GRAND RAPIDS
9,190 SF



SOLD

1154 COMSTOCK ST.,
MARNE
8,512 SF

MARKET ACTIVITY

› American Seating Co. is moving its longtime manufacturing operation and offices from Grand Rapids' west side to the former SteelCase campus on the city's south side to be closer to major freeways and the airport among other reasons. The company hopes that the nearly 4 million-square-foot campus, with plans to renovate, will help recruit more employees.

› Education-focused furniture manufacturer MiEN Co. is repurposing part of the former Baker Furniture site along the Grand River into the company's new headquarters. This includes redeveloping an existing 131,000-square-foot industrial building as well as adding 50,000 square feet of office space at 1661 Monroe Ave. NW.

› A Kentwood-based development firm, Grooters Development Company, begins construction on a 200,000-square-foot industrial building on 60th Street SE near Patterson Avenue in Gaines Township. The projected cost estimate is more than \$9 million and will host multiple businesses who need space for distribution, warehousing and logistics, or light manufacturing.

Q2' 2023

WEST MICHIGAN INDUSTRIAL SUBMARKET STATISTICS

Methodology: The industrial market report includes industrial buildings within each of the defined submarkets. Excluded are government buildings and institutional properties.

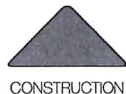
SUBMARKET	TOTAL RBA	VACANT AVAILABLE SF	VACANCY RATE	TOTAL AVERAGE NNN RATE (\$/SF/YR)	TOTAL NET ABSORPTION (SF)
Lakeshore					
Warehouse	20,309,948	224,413	1.1%	\$3.97	142,338
Manufacturing	32,557,592	523,682	1.6%	\$6.01	134,496
Hightech Flex	1,530,829	39,373	2.6%	\$8.82	290,498
Total	54,398,369	787,468	1.4%	\$6.01	567,332
Northeast					
Warehouse	5,988,171	0	0%	\$4.95	10,381
Manufacturing	8,122,739	49,715	0.6%	\$4.72	307,366
Hightech Flex	588,627	0	0%	\$7.95	1,400
Total	14,699,537	49,715	0.3%	\$4.94	319,147
Northwest					
Warehouse	5,786,046	59,322	1.0%	\$4.73	11,814
Manufacturing	14,499,137	285,986	2.0%	\$6.11	53,146
Hightech Flex	1,076,496	24,678	2.3%	\$7.25	0
Total	21,361,679	369,986	1.7%	\$5.79	64,960
Southeast					
Warehouse	24,324,389	302,151	1.2%	\$5.52	8,027
Manufacturing	26,587,434	1,201,122	4.5%	\$6.45	50,333
Hightech Flex	3,132,987	29,411	0.9%	\$9.21	7,919
Total	54,044,810	1,532,684	2.8%	\$6.19	66,279
Southwest					
Warehouse	8,833,039	64,838	0.7%	\$7.73	-32,938
Manufacturing	23,249,841	440,794	1.9%	\$5.03	167,578
Hightech Flex	745,605	0	0%	\$4.50	0
Total	32,828,485	505,632	1.5%	\$5.74	134,640
Total Overall	177,332,880	3,245,485	1.8%	\$5.69	1,152,358

Industrial Statistical Changes Year-over-Year and Quarter-over-Quarter

2Q23 vs. 2Q22



VACANCY RATE



2Q23 vs. 1Q23



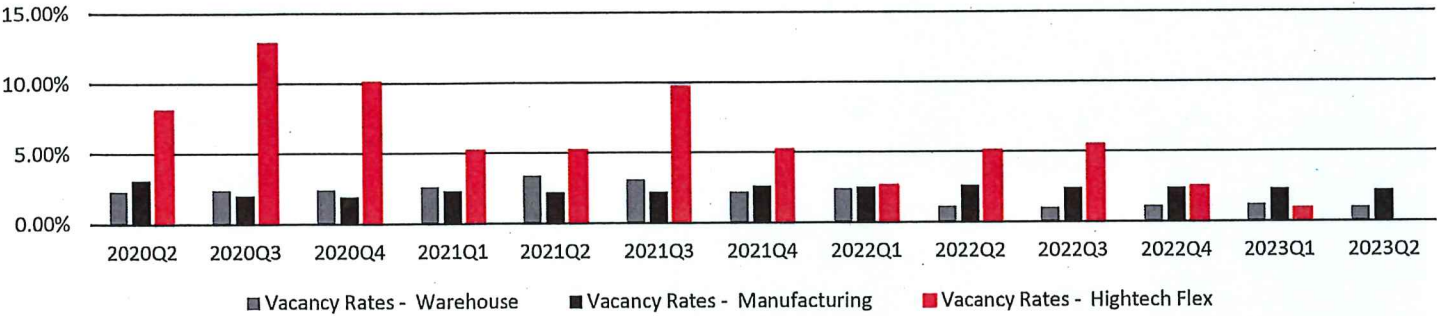
VACANCY RATE



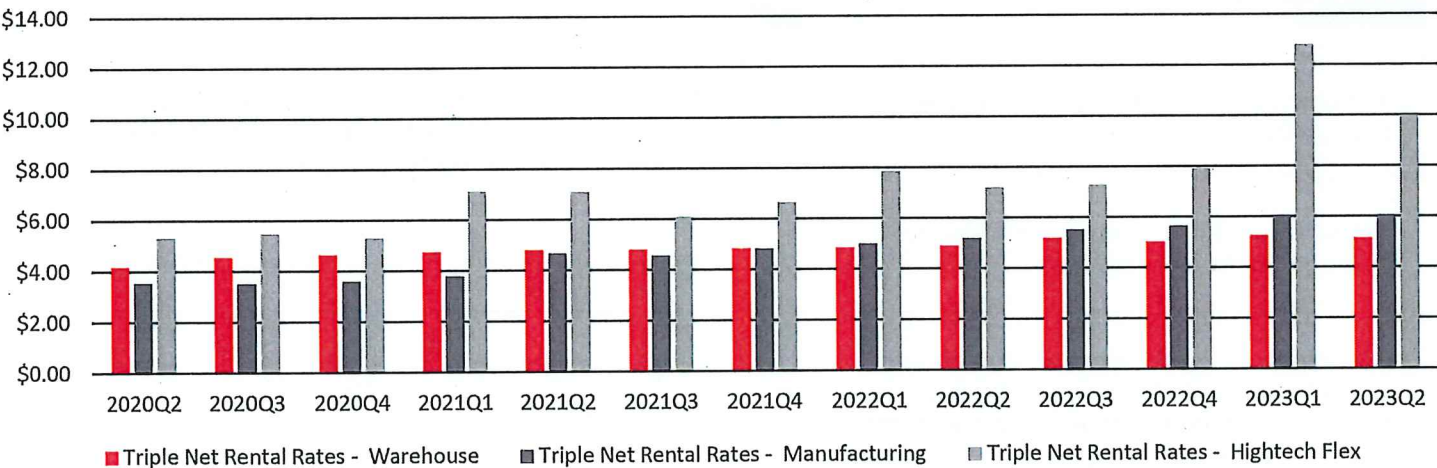
*Disclaimer: Historical data figures are subject to change based upon the timing of when CoStar receives market information. NAIWWM uses the numbers available at the time each quarterly report is published.

INDUSTRIAL OVERALL MARKET REPORT

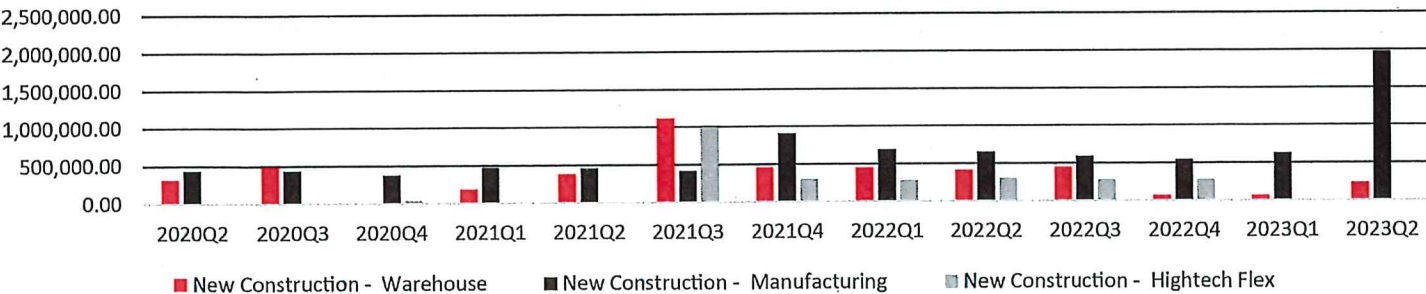
Vacancy Rate



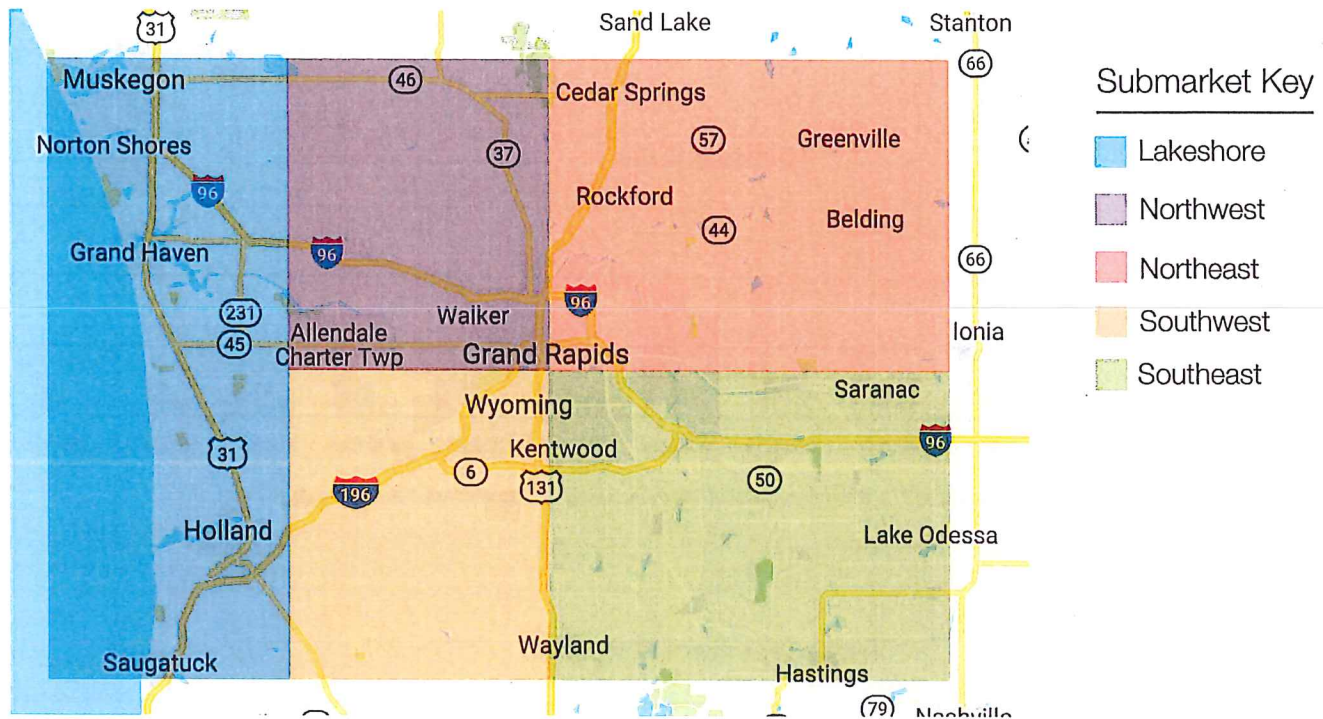
Triple Net Rental Rates



New Construction



METHODOLOGY | DEFINITIONS | SUBMARKET



ABSORPTION (NET)

The change in occupied space in a given time period.

AVAILABLE SQUARE FOOTAGE

Net rentable area considered available for lease; excludes sublease space.

AVERAGE ASKING RENTAL RATE

Rental rate as quoted from each building's owner/management company. For office space, a full service rate was requested; for retail, a triple net rate requested; for industrial, a NN basis.

BUILDING CLASS

Class A Product is office space of steel and concrete construction, built after 1980, quality tenants, excellent amenities & premium rates. Class B product is office space built after 1980, fair to good finishes & wide range of tenants.

DELIVERIES

Buildings that have their certificate of occupancy and are allowed to be moved into by the tenant/purchaser.

HIGHTECH FLEX

This type of space is only found in Flex buildings. It can be used as office, medical, industrial, warehouse, distribution, quasi-retail, or research and development space.

MANUFACTURING

A sub-type of industrial building primarily used for manufacturing products. May also include warehousing or distribution areas.

RBA

Rentable Building Area - mainly used for office and industrial.

SF/PSF

Square foot/per square foot, used as a unit of measurement.

UNDER CONSTRUCTION

Buildings in a state of construction, up until they receive their certificate of occupancy. In order for CoStar to consider a building under construction, the site must have a concrete foundation in place.

VACANCY RATE

All physically unoccupied lease space, either direct or sublease.

WAREHOUSE

A secondary type of industrial building generally used for storage and or distribution.

*The Lakeshore submarket was expanded to include Muskegon, MI.

OUR TEAM

NAI Wisinski of West Michigan was formed in the spring of 2011 when NAI West Michigan merged with The Wisinski Group. This merger brought together two successful, reputable companies to form what is now the largest independently owned commercial real estate firm in West Michigan.

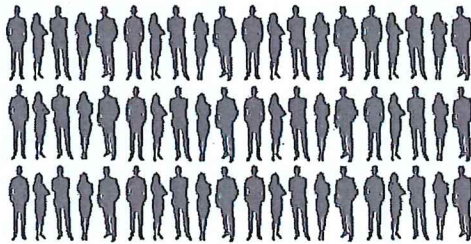
Our focus is simple: building client relationships for life. We do this by utilizing the rich diversity of skills and specialties of our agents and staff, actively listening to our clients, offering market appropriate advice, providing access to the industry's most current and proven technologies, and delivering the best possible service to each and every client. NAI Wisinski of West Michigan is headquartered in Grand Rapids, MI and maintains a second location in Kalamazoo, MI. Our company provides all facets of commercial real estate services, including brokerage and property management, throughout the entire West Michigan region.

Through our relationship with NAI Global, we have access to over 300 affiliate offices throughout the world.
NAI Wisinski of West Michigan: Local Knowledge, Global Reach, Achieve More.

BY THE NUMBERS

REAL ESTATE PROFESSIONALS

52



6

CCIM 
DESIGNEES

8

SIOR  SIOR
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naiwmm.com

THE RIGHT PLACE

DEVELOPMENT REPORT

2023



**THE
RIGHT PLACE**

Advancing the West Michigan Economy

SUMMARY

Greater Grand Rapids offers a high-growth, cost-competitive environment to take development projects from concept to concrete. The industrial market is primed with demand for build-ready sites. Likewise, vibrant communities and a growing population present countless opportunities for commercial development. Meanwhile, Greater Grand Rapids is in the midst of a housing boom, with studies indicating a 35,000-unit shortfall, equating to significant growth opportunities for multifamily developers and residential builders alike.

Note on the data: Greater Grand Rapids refers to the Grand Rapids-Kentwood metropolitan statistical area (MSA), which includes Kent, Ionia, Montcalm, and Ottawa counties.



CURRENT DEVELOPMENT CLIMATE

Office

Greater Grand Rapids witnessed several new major office projects recently, including the launch of both Perrigo's and Acrisure's downtown headquarters and the Michigan State University Grand Rapids Innovation Park. These major projects helped contribute to a nearly 6 percent increase in total inventory from approximately 12.6 million s.f. in 1Q22 to nearly 13.4 million s.f. in 1Q23. With the addition of this new premium space, direct asking rents increased over the past year, rising 5 percent to \$21.57 per s.f. Vacancies edged up, increasing more than two percent. At the same time, the post-Covid remote work trend continues, with the sublease market expanding as companies contemplate their office strategy. The office construction pipeline was largely expended with the large development projects noted above. As of 1Q23, approximately 11,000 s.f. of new office space is slated to come online in the coming months.

Key Metrics	Q1 2022	Q1 2023	Change
YTD Net Absorption	-33,761 s.f.	-38,094 s.f.	↓
Existing Supply	12,622,564 s.f.	13,365,446 s.f.	↑
Under Construction	421,000 s.f.	10,812 s.f.	↓
Total Vacancy	11.5%	13.7%	↑
Direct Asking Rent	\$20.48 p.s.f.	\$21.57 p.s.f.	↑

Source: JLL U.S. Office Insights

Industrial

The Greater Grand Rapids industrial market remains robust in 2023 with numerous projects, including Speed Rack Products Group and Amazon's Warehouse and Distribution Center, driving an additional 2.5 million s.f. of industrial space from 1Q22 to 1Q23. At the same time, total vacancy rates have edged down slightly from 3.2 percent in 1Q22 to 3 percent in 1Q23, while direct asking rents increased nearly 2 percent from \$4.35 per s.f. in 1Q22 to \$4.43 per s.f. in 1Q23. The construction pipeline currently sits at approximately 500,000 s.f. as of 1Q23.

Key Metrics	Q1 2022	Q1 2023	Change
YTD Net Absorption	716,339 s.f.	144,168 s.f.	↓
Existing Supply	143,660,369 s.f.	146,188,883 s.f.	↑
Under Construction	1,712,000 s.f.	521,930 s.f.	↓
Total Vacancy	3.2%	3%	↓
Direct Asking Rent	\$4.35 p.s.f.	\$4.43 p.s.f.	↑

Source: JLL U.S. Industrial Insights

Retail

Major brands and retailers continue to choose Greater Grand Rapids as a place to do business. Over the past year, brands including HomeGoods, Sierra Trading Post, and Whole Foods have established retail presences in the region. Moreover, smaller retailers including Gazelle Sports and numerous restaurants continue to open shop around the area. These projects led to a 112,000 s.f. increase in net absorption from 1Q22 to 1Q23, spurred substantially by a 48,000 s.f. retail project in Grandville and other projects. Total inventory remains nearly 145,000 s.f. less in 1Q23 than the same quarter the previous year. At the same time, asking rents increased nearly 14 percent in 1Q23 over 1Q22. The construction pipeline for new retail currently sits at 14,000, with much of pipeline from 1Q22 deployed during the past year.

Key Metrics	Q1 2022	Q1 2023	Change
YTD Net Absorption	-52,644 s.f.	59,927 s.f.	↑
Total Inventory	20,975,096 s.f.	20,830,458 s.f.	↓
Under Construction	172,194 s.f.	14,250 s.f.	↓
Total Vacancy	6.2%	4.9%	↓
Direct Asking Rent	\$13.91 p.s.f.	\$15.81 p.s.f.	↑

Source: Colliers

Housing

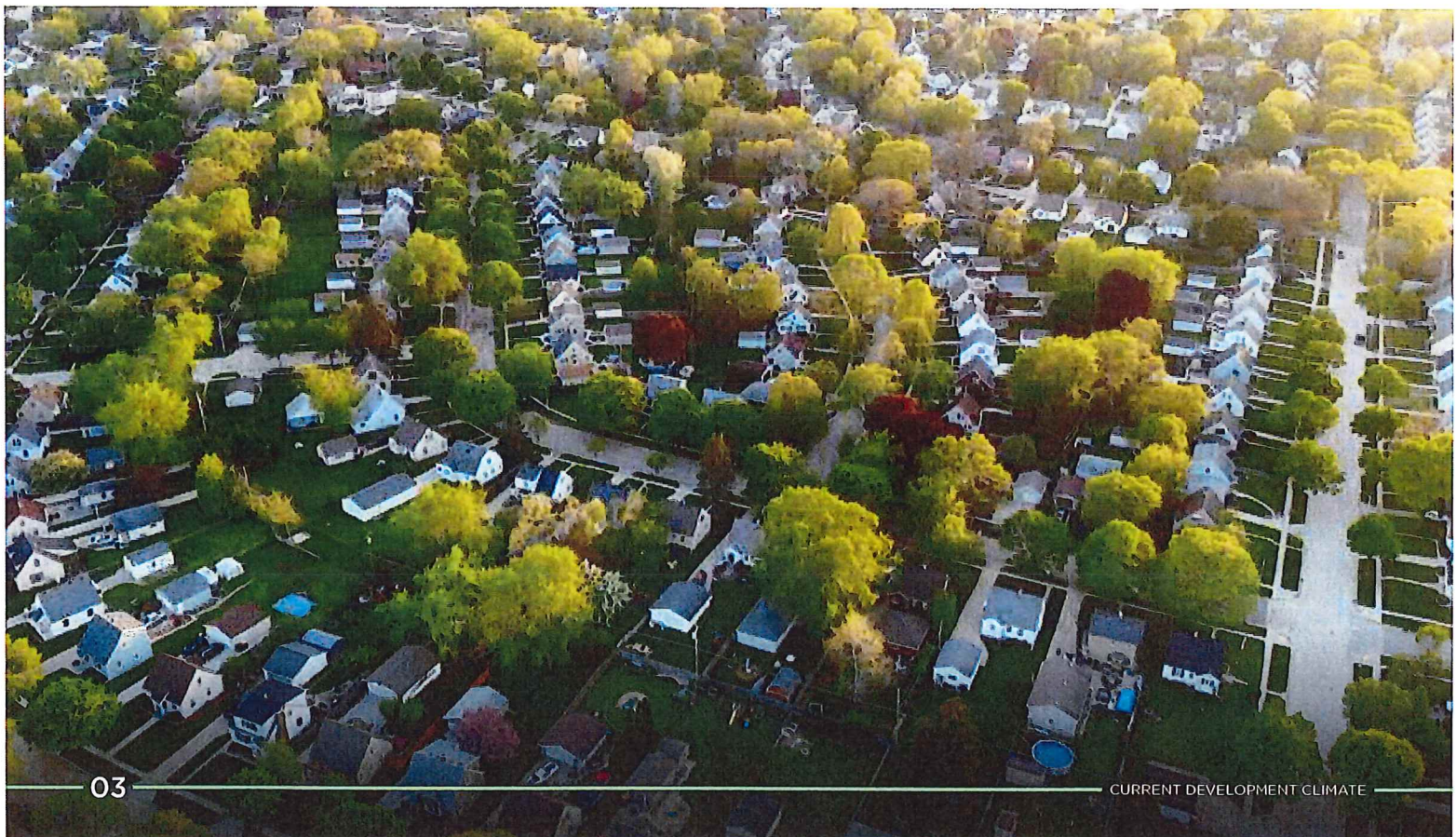
Greater Grand Rapids' housing market remains extremely tight, largely due to a significant lack of supply, though demand has shown signs of cooling, compared to the previous year, due to rising interest rates. New single-family listings in Kent County decreased nearly 14 percent in 1Q23 to 1,349 units, compared to 1,563 during the same quarter the previous year. Likewise, closed sales decreased 6.5 percent to 1,216 over the same period. Average days on market increased from 16 days in 1Q22 to 27 days 1Q23 while the percentage of houses selling over list price declined to 100.7 percent from 105.3 percent. Townhome and condo sales underwent many of the same trends with fewer listings and closed sales, from 1Q22 to 1Q23. Townhomes and condos also spent more time on the market on average with more properties selling under list price.

Single Family Year to Date			
Key Metrics	Thru 3/22	Thru 3/23	% Change
New Listings	1,563	1,349	-13.7%
Pending Sales	1,450	1,354	-6.6%
Closed Sales	1,301	1,216	-6.5%
Days on Market Until Sale	16	27	+68.8%
Median Sales Price	\$278,000	\$294,900	+6.1%
Average Sales Price	\$339,392	\$340,010	+0.2%
Percent of List Price Received	105.3%	100.7%	-4.4%

Source: Grand Rapids Association of Realtors

Townhouse-Condo Year to Date			
Key Metrics	Thru 3/22	Thru 3/23	% Change
New Listings	341	269	-21.1%
Pending Sales	320	263	-17.8%
Closed Sales	289	240	-17.0%
Days on Market Until Sale	28	36	+28.6%
Median Sales Price	\$265,000	\$258,700	-2.4%
Average Sales Price	\$274,487	\$281,500	+2.6%
Percent of List Price Received	102.7%	99.1%	-3.5%

Source: Grand Rapids Association of Realtors

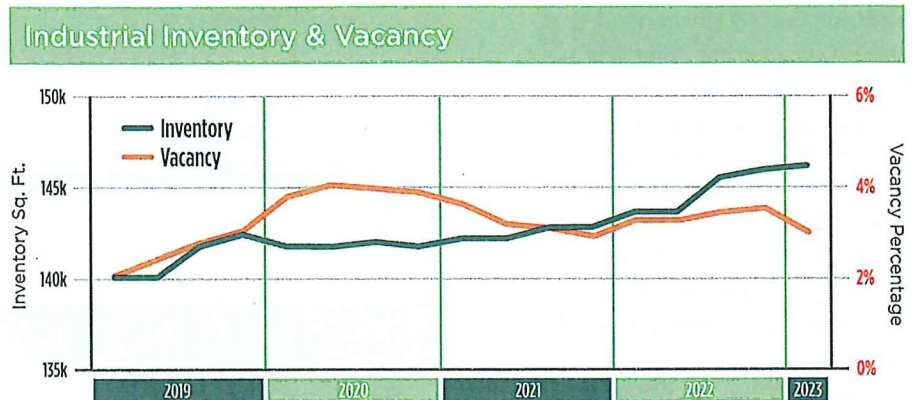


— STATE OF DEVELOPMENT — DIVING DEEPER —

INDUSTRIAL – Key Metrics

INVENTORY & VACANCY

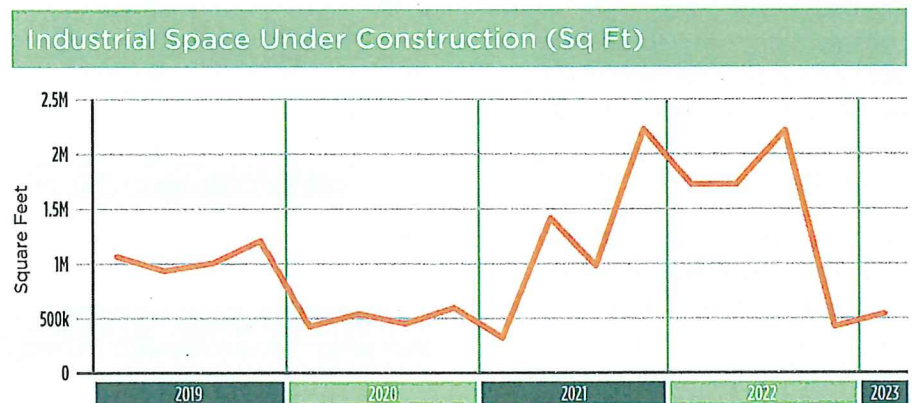
Industrial inventory has climbed steadily since 2019. During the last year, industrial inventory rose 2 percent, adding approximately 2.5 million square feet from 1Q22 to 1Q23. Large-scale projects including Speedrack Products Group's Walker expansion, and Amazon's Warehouse and Distribution Center in Gaines Township contributed to overall inventory growth in the past year.



Source: JLL

SQ. FT. UNDER CONSTRUCTION

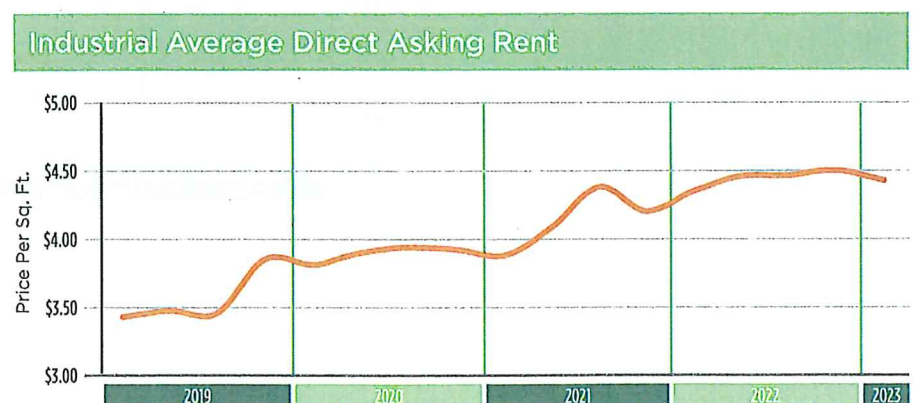
Industrial projects under construction ticked up in 1Q23 after having much of the pipeline drained from project completions through 2022.



Source: JLL

ASKING RENTS

In 1Q23 asking rents for industrial properties showed the first dip since 4Q21, edging down 1.6 percent from the previous quarter. Industrial rents remain approximately 2 percent above those during the same quarter the previous year, and around 29 percent above those of 2019 levels.



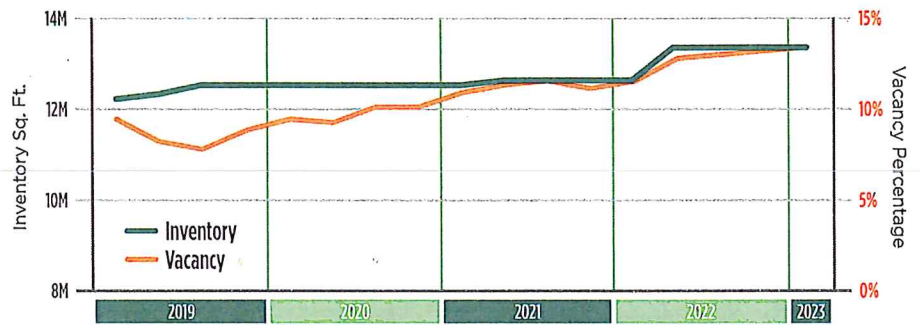
Source: JLL

OFFICE – Key Metrics

INVENTORY & VACANCY

Office inventory has remained relatively flat historically. From 1Q19 to 1Q23, inventory rose 9 percent with 5 percent of that growth occurring over the past year as large developments, including the new downtown headquarters of Perrigo and Acrisure, and Michigan State University Grand Rapids Innovation Park, came online. Meanwhile, vacancy rates in the office sector continue to climb moderately.

Office Inventory & Vacancy

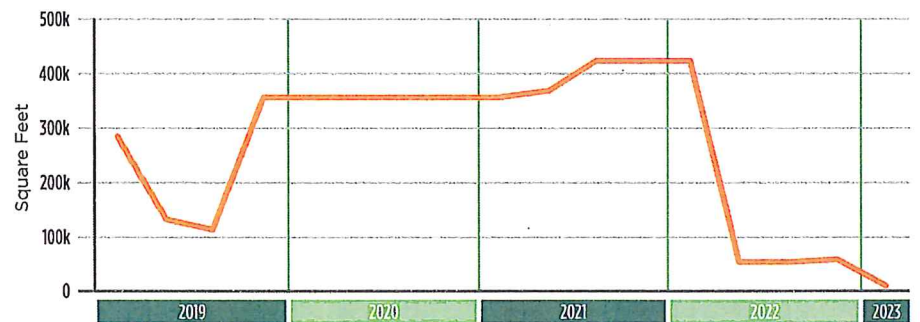


Source: JLL

SQ. FT. UNDER CONSTRUCTION

The backlog of office space under construction that had built up between 2Q21 and early 2022 was largely exhausted by 2Q22.

Office Space Under Construction (Sq Ft)

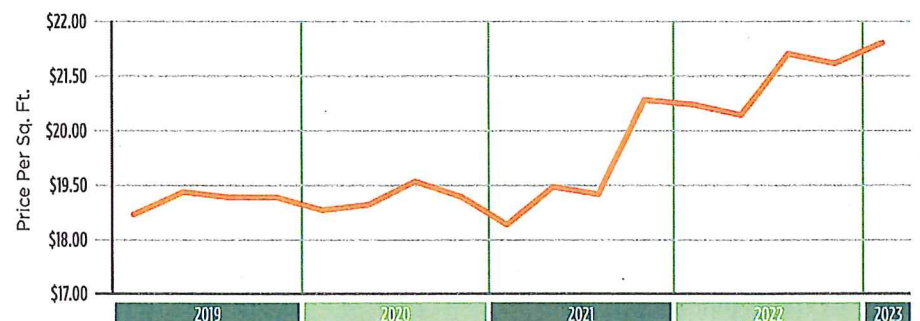


Source: JLL

ASKING RENTS

Rents for office space continue to increase, reaching \$21.57/sq-ft in 1Q23 from \$18.43/sq-ft during the same quarter of 2019, representing a 17 percent increase, driven largely by the addition of new Class A space.

Office Average Direct Asking Rent



Source: JLL

RETAIL – Key Metrics

INVENTORY & VACANCY

Total retail inventory in Greater Grand Rapids increased nearly 3 percent from 1Q21 to 1Q23, with substantial positive net absorption occurring from 1Q22 to 1Q23. During that time, a nearly 50,000 s.f. retail development in Grandville, containing Sierra Trading Post, Home Goods, and Kid to Kid stores, came online along with numerous other restaurants and boutique retailers across the region. Vacancy rates in the retail sector have generally trended downward, declining from nearly 6.2 percent in 1Q21 to nearly 4.9 percent in 1Q23.

SQ. FT. UNDER CONSTRUCTION

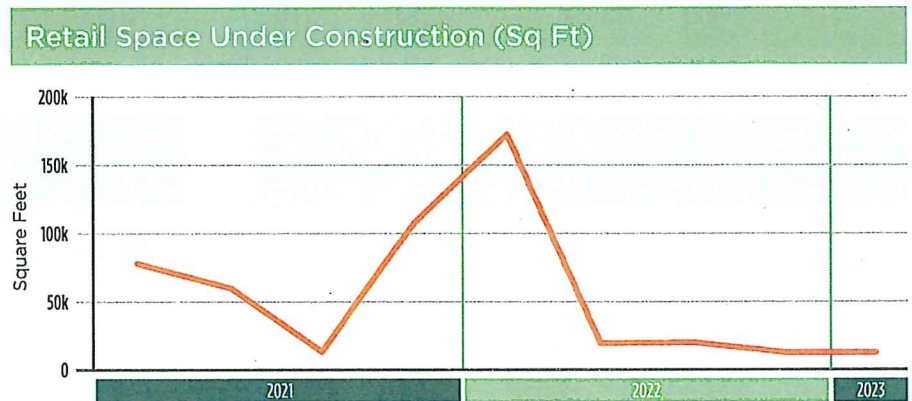
Much of the pipeline for new retail built up between 3Q21 and 1Q22 was expended in the second quarter of 2022. Approximately 150,000 s.f. was deployed during this time. Currently, roughly 14,000 s.f. of construction is slated for future completion.

ASKING RENTS

Rents on retail properties have generally trended upwards over the last two years, rising nearly 15 percent from 1Q21 to 1Q23. The majority of the increase in rents have occurred post Q2 2022.



Source: Colliers



Source: Colliers



Source: Colliers

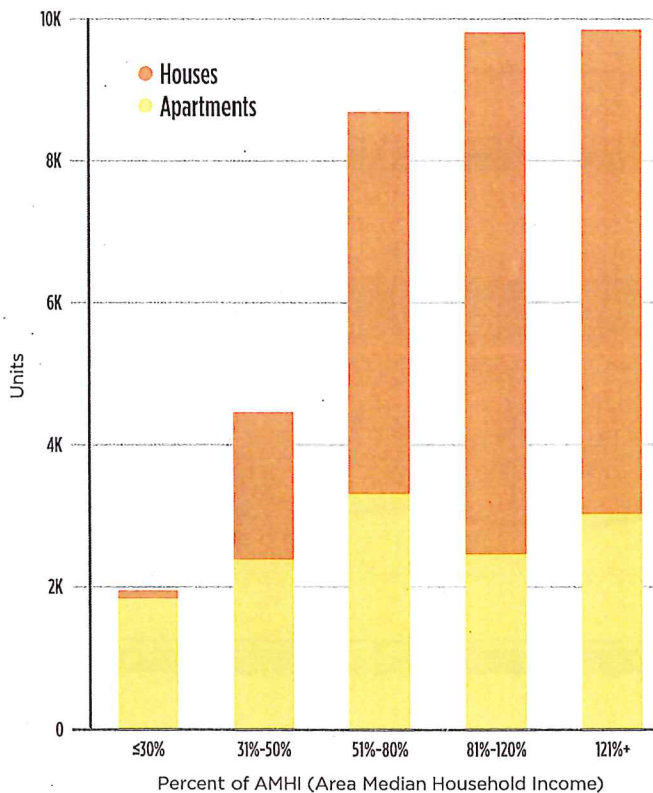
HOUSING – Key Metrics

In 2022 community partners across Greater Grand Rapids commissioned a housing needs study to identify gaps in the housing market across Kent County. Among the findings, the study identified the need for nearly 35,000 additional new housing units in Kent County between 2022 and 2027. This forecast breaks down the gap in housing into roughly 13,000 additional rental units and 22,000 additional homes across Kent County from 2022 to 2027. View the full housing needs assessment at rightplace.org/housingnext.

An analysis of residential building permits shows the pace of new construction increasing post-pandemic, particularly among single-family, 2-unit housing, and 3-4-unit housing. In 2021 and 2022 multi-family developments with more than 5 units did not meet pre-pandemic numbers. However, 2023 numbers show more than half as many building permits were pulled for 5+ unit developments in the first three months of the year than the whole of 2022.

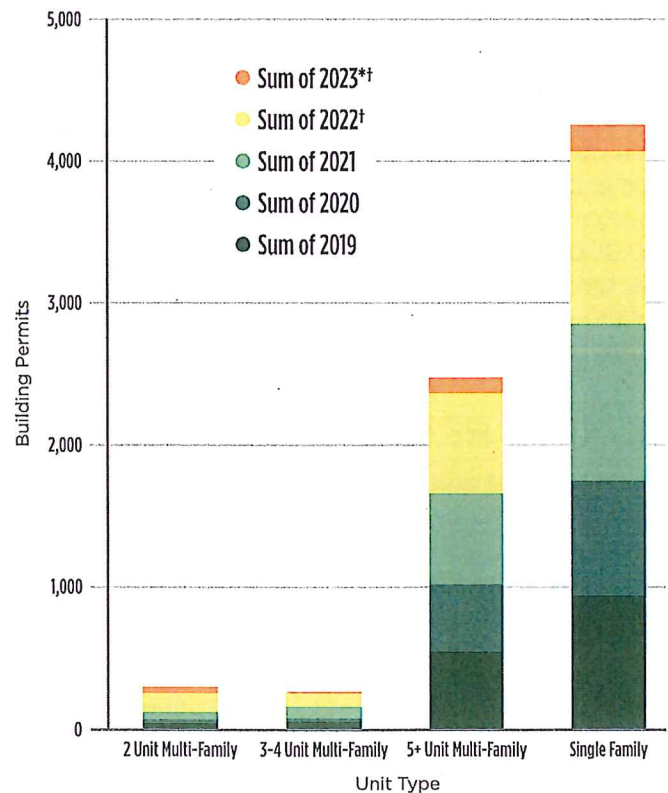


Housing Gaps 2022-2027 (Kent County)



Source: Bowen Research
(Commissioned by the Grand Rapids Chamber of Commerce and Housing Next)

Residential Building Permits by Unit Type (Kent County)



*2023 data represents building permits year-to-date from January to March 2023.
†2022 and 2023 represent preliminary numbers and are subject to change.

Source: U.S. Department of Housing and Urban Development

Commercial Building Permit Data

The Right Place analyzed commercial building permits filed between 1Q21 and 2Q23 for municipalities and townships in Kent County, providing deep insights into the region's development pipeline. Here is what the analysis found:

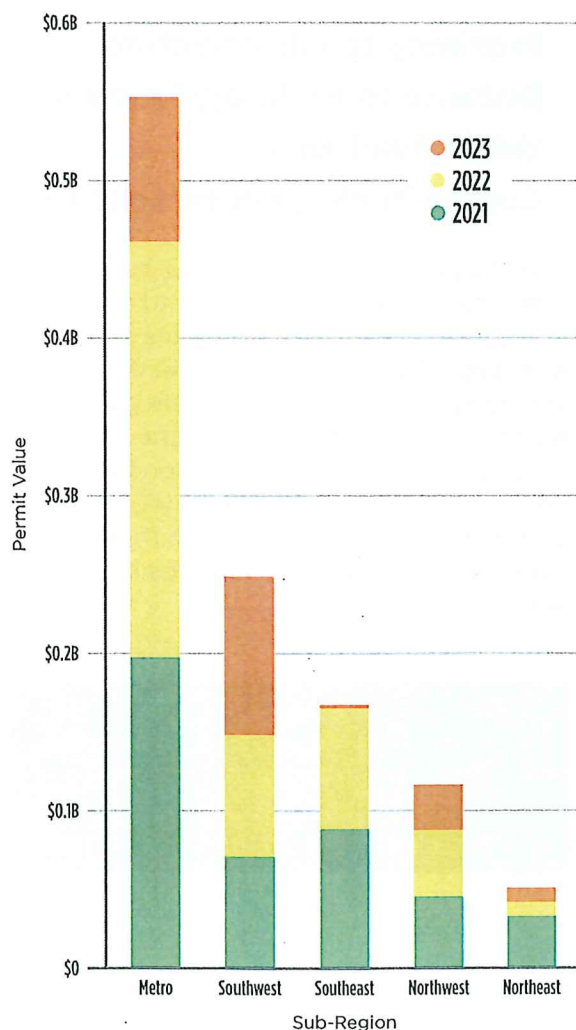
\$1.1B
total
investment

\$3M
average
investment
per project

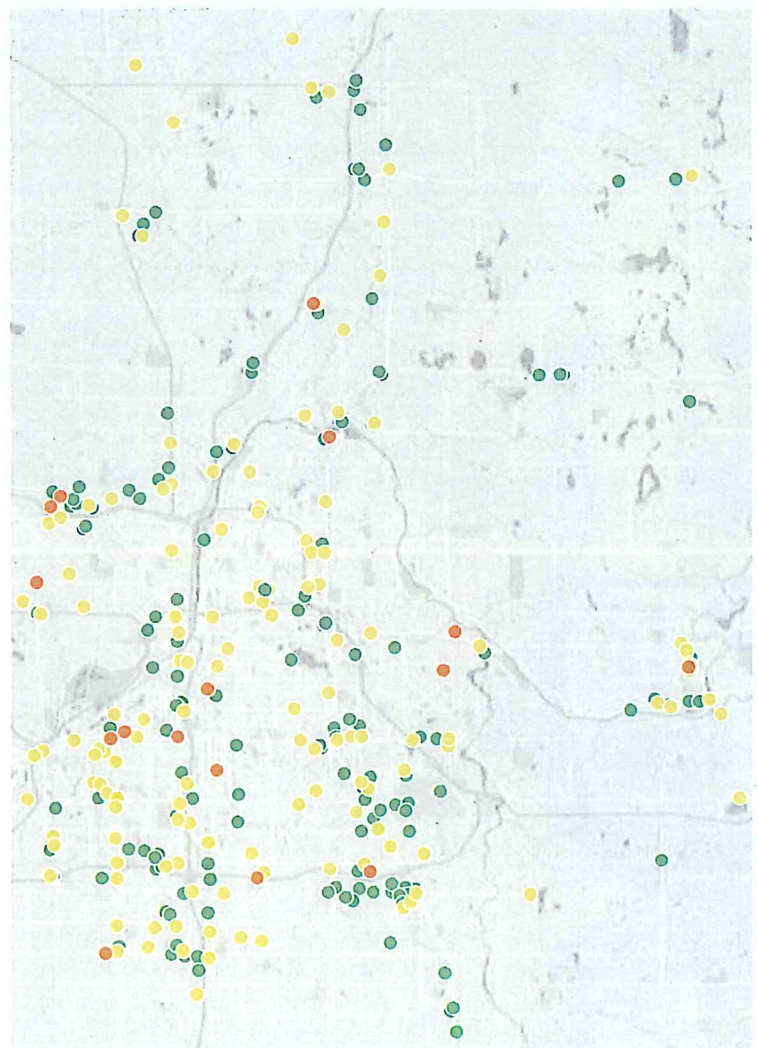
68%
building
permits for new
construction

30%
building permits
for additions or
remodels

Building Permit Investment Analysis



Source: BuilderTrack Report



Source: BuilderTrack Report

— INDUSTRIAL SITE READINESS INITIATIVE —



Land Development

The Right Place, in collaboration with a group of its regional economic development partners, real estate professionals, and a consulting group, engaged in a site readiness analysis for West Michigan during the past year. The partnership conducted an environmental scan of large (100+ acres) sites across the region to create an inventory of potential future business development sites. The analysis included:

- **Proximity to Infrastructure**
- **Distance to Highway/Freeway**
- **Talent Availability**
- **Current Zoning/Future Land Use**

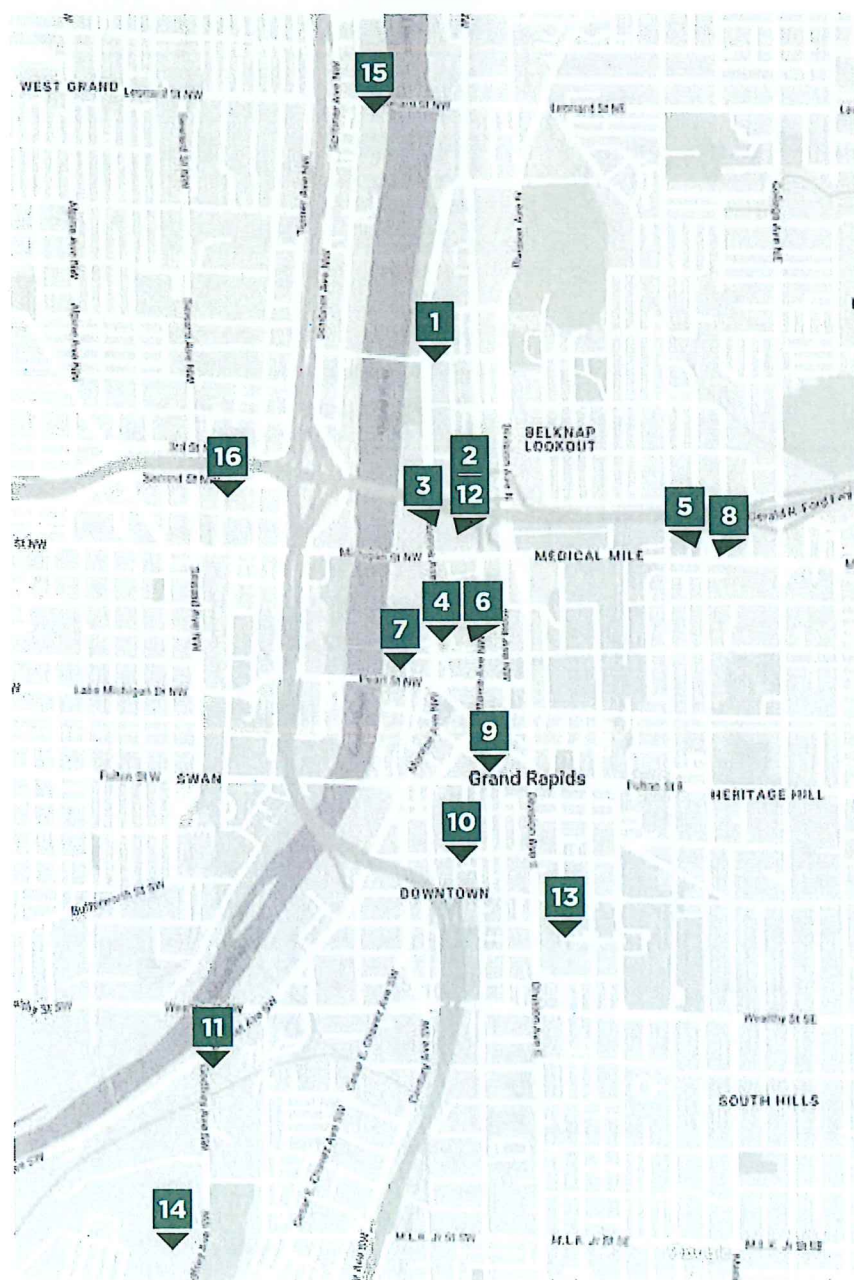
The analysis collected nearly 150 potential sites which were then screened and narrowed to create a list of 30 “top tier” sites for future evaluation. Full technical documentation and geotechnical assessments were generated for each of the 30 sites, and further vetting yielded five primary and five secondary sites. The consortium will work with local communities to further develop these ten sites - which range from 74 acres to 285 acres - build ready.

For additional information, please contact **Travis Alden** of The Right Place at aldent@rightplace.org.

— DEVELOPMENT HIGHLIGHTS —

Development in Greater Grand Rapids continues to surge ahead with substantial projects across industrial, office, retail, and in mixed-use developments. The following information represents notable development projects occurring throughout Greater Grand Rapids cataloged by The Right Place.

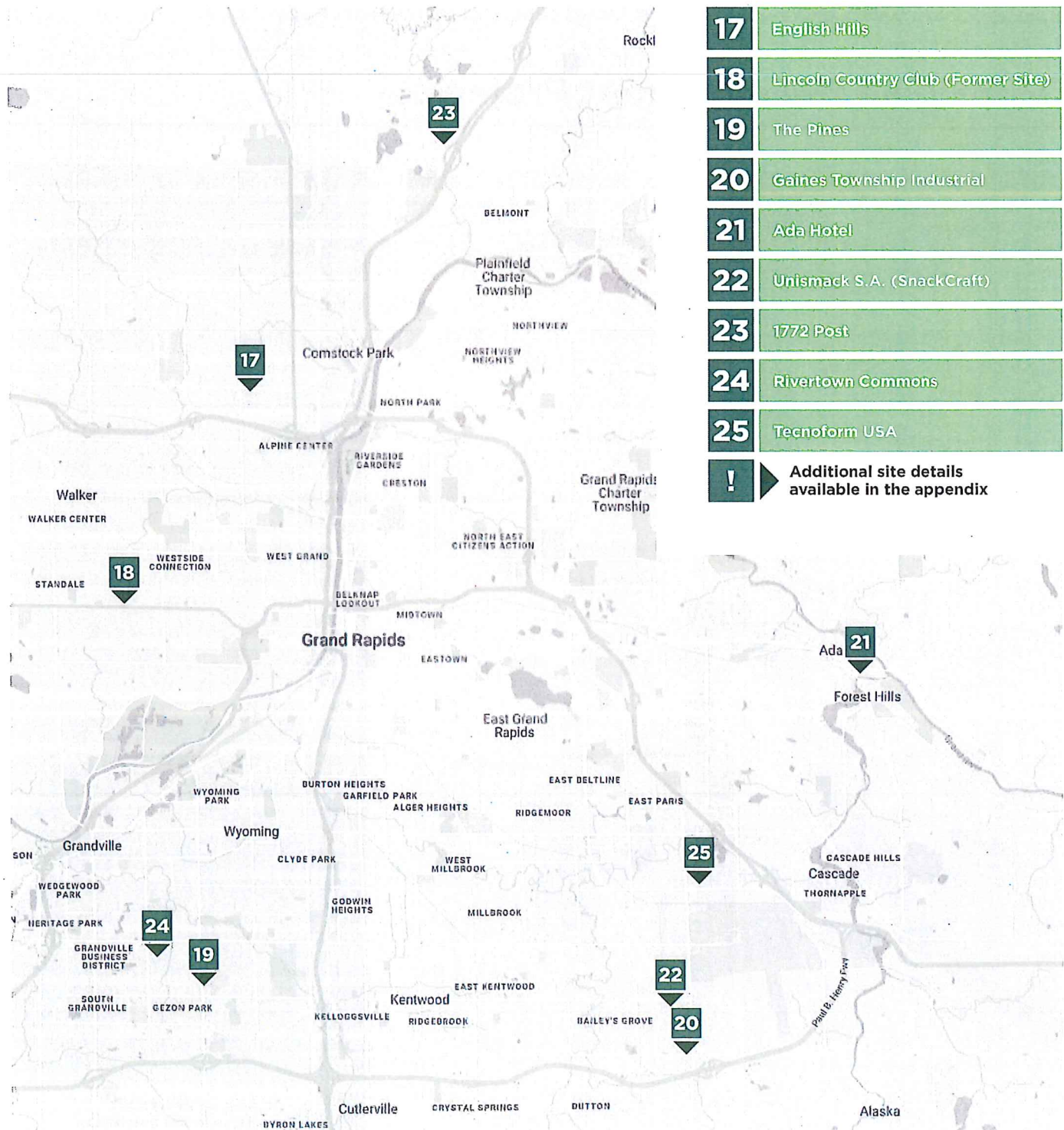
Downtown Development Projects



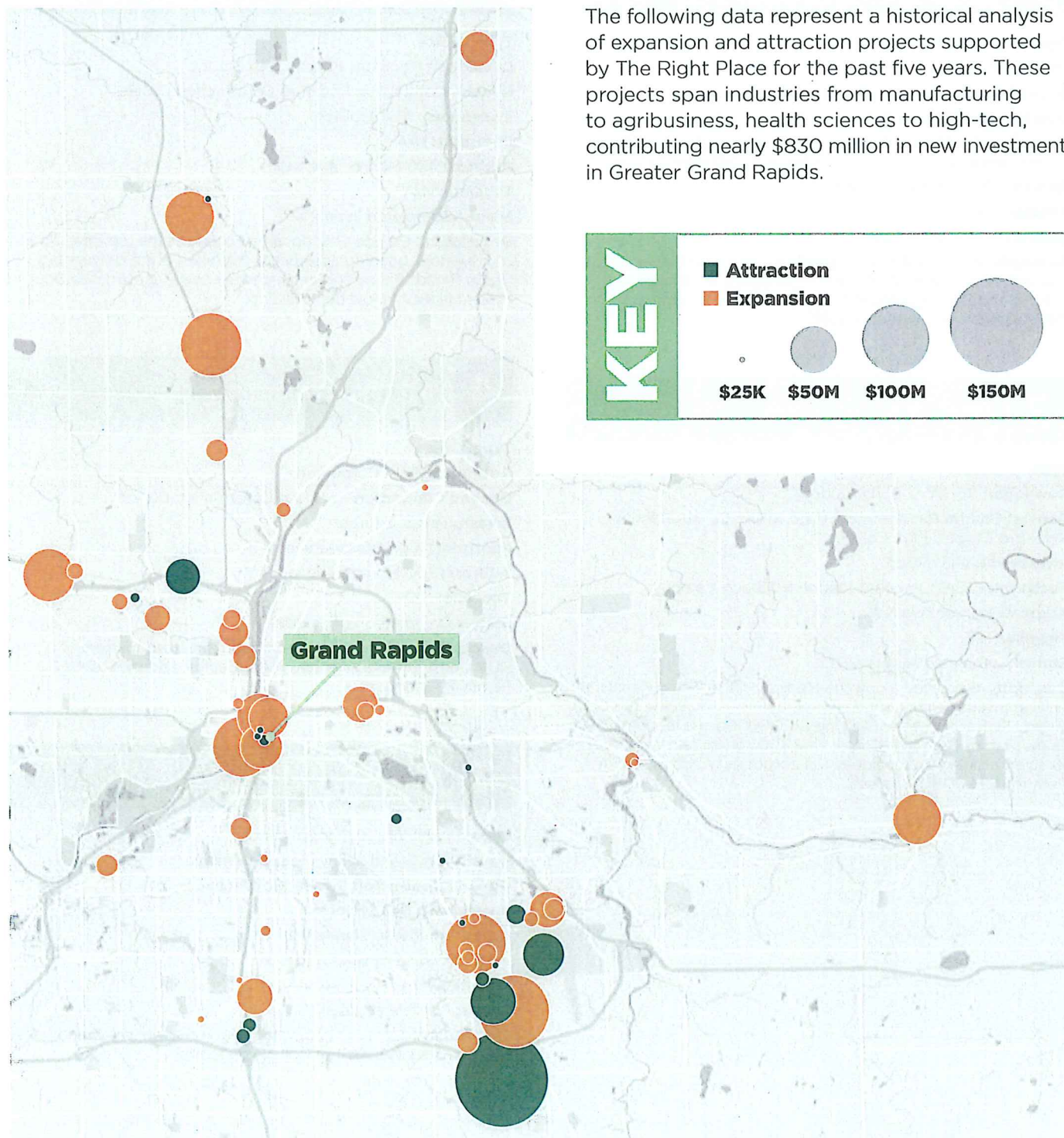
- | | |
|----|---|
| 1 | Corewell Health Center for Transformation & Innovation |
| 2 | MSU Innovation Park |
| 3 | Perrigo North American Headquarters |
| 4 | RDV Development |
| 5 | GVSU Daniel and Pamella DeVos Center for Interprofessional Health |
| 6 | Lyon Street Reactivation |
| 7 | Amway Grand Plaza Renovation |
| 8 | GVSU Corewell Parking Structure |
| 9 | Residence Inn |
| 10 | Acrisure HQ |
| 11 | Box Board Lofts |
| 12 | Bold Advanced Medical Future Health (BAMF) Headquarters |
| 13 | Wealthy & Sheldon Lofts |
| 14 | Factory Yards |
| 15 | Leonard & Front |
| 16 | Rockford Development on Alabama |
| ! | Additional site details available in the appendix |

Development activity is evident across Kent County, with dozens of projects planned, under construction, or recently completed. Across the region, developers are investing in projects ranging from industrial to multi-family and more.

Greater Grand Rapids Metro Area



— THE RIGHT PLACE COMMERCIAL/INDUSTRIAL PROJECT ANALYSIS —



Downtown Development Projects – Details

1

Corewell Health Center for Transformation & Innovation

Type: Healthcare/Office

Developer: Corewell Health

General Contractor: Rockford Construction Co. Inc.

Investment: \$100 million

Footprint: 160,000 square foot office complex over a 4.8-acre-site including two parking structures and additional surface lot.

Address: 760 Monroe Ave NW

Timeline: Summer 2023

Status: Under Construction

Description: Corewell Health is building a new headquarters to house approximately 12,000 administration staff, as well as a training and learning center. The new facility will connect with the adjacent Brass Works building.

3

Perrigo North American Headquarters

Type: Office

Developer: Rockford Construction Co. Inc.

General Contractor: Rockford Construction Co. Inc.

Investment: \$44.8 million

Footprint: N/A

Address: 430 Monroe Ave NW

Timeline: N/A

Status: Completed June 2021

Description: Perrigo's headquarters occupies the top three floors of a 10-story building adjacent to Michigan State University's Grand Rapids Research Center, and the newly constructed Doug Meijer Medical Innovation Building.

2

MSU Innovation Park

Type: Healthcare

Developer: Rockford Construction Co. Inc.

General Contractor: MB Real Estate, Walsh Construction, Rockford Construction Co. Inc.

Investment: \$83 million

Footprint: 425,800-square-feet on a 2.5-acre campus

Address: Monroe Ave NW

Timeline: N/A

Status: Completed August 2022

Description: Located along the Medical Mile in Grand Rapids, the MSU Innovation Park contains three buildings including the Doug Meijer Medical Innovation Building (200,000 square feet), the MSU Grand Rapids Research Center (162,800 square feet), and the 10-story building that includes the corporate headquarters of Perrigo (63,000 square feet).

4

RDV Development

Type: Office

Developer: RDV Corporation

General Contractor: Rockford Construction Co. Inc.

Investment: \$73 million

Footprint: 100,000 square feet

Address: 200 Monroe Avenue NW

Timeline: N/A

Status: Completed Spring 2021

Description: The new building houses the headquarters of RDV Corp., Ottawa Avenue Private Capital, and the DeVos Family Foundation.

5

GVSU Daniel and Pamella DeVos Center for Interprofessional Health

Type: Healthcare Higher Education

Developer: Grand Valley State University

General Contractor: Pioneer Construction

Investment: \$70 million

Footprint: 166,00 square feet

Address: 333 Michigan Street NE

Timeline: N/A

Status: Completed 2Q21

Description: A five-story development which houses Grand Valley State University's Kirkhof College of Nursing.

6

Lyon Street Reactivation

Type: Office/Retail**Developer:** CWD Real Estate Investment Inc.**General Contractor:** Triangle Associates Inc.**Investment:** \$61.7 million**Footprint:** 330,000 square feet**Address:** 111 Lyon Street NW**Timeline:** N/A**Status:** Completed Summer 2021

Description: The project aims to re-activate the stretch of Lyon Street between Monroe and Ottawa avenues by removing a stone wall along Lyon Street. CWD plans to add three to five retail and/or restaurant spaces on the ground floor of the development.

7

Amway Grand Plaza Renovation

Type: Hotel**Developer:** AHC Hospitality**General Contractor:** Rockford Construction Co. Inc.**Investment:** \$40 million**Footprint:** N/A**Address:** 187 Monroe Avenue NW**Timeline:** N/A**Status:** Completed June 2021

Description: The 29-story, 35-year-old Amway Grand Plaza Hotel was retrofitted with a new glass exterior as part of a \$40 million renovation project.

8

GVSU Corewell Parking Structure

Type: Parking**Developer:** Grand Valley State University**General Contractor:** Pioneer Construction**Investment:** \$39.4 million**Footprint:** 420,000 square feet**Address:** 335 Michigan Street NE**Timeline:** N/A**Status:** Completed May 2021

Description: Grand Valley State University designed and built the six-level parking ramp to conform to LEED certification standards. The parking structure is operated by the university as a condominium, with Corewell Health and GVSU owning their respective units.

9

Residence Inn

Type: Hotel**Developer:** Hinman Company**General Contractor:** Wolverine Building Group**Investment:** \$36 million**Footprint:** 140,000 square feet**Address:** 40 Louis St NW**Timeline:** N/A**Status:** Completed 2021

Description: The development includes a 13-story, mixed-use building housing the 147-suite Residence Inn by Marriott.

10

Acrisure Headquarters

Type: Office**Developer:** Olsen Loeks Development LLC**General Contractor:** Rockford Construction Co. Inc.**Investment:** \$33 million**Footprint:** 105,000 square feet**Address:** 122 Oakes St SW**Timeline:** N/A**Status:** Completed 2021

Description: Acrisure's new \$33 million offices are housed in Studio Park, a mixed-use development at 123 Ionia Ave. SW that contains apartments, retail space, a restaurant, movie theater, hotel, and live music venue. About 700 people are expected to work from the 105,000 sq ft office.

11

Box Board Lofts

Type: Housing**Developer:** 3F Properties (Chicago)**General Contractor:** N/A**Investment:** \$31.3 million**Footprint:** 185,000 square feet**Address:** 470 Market Ave SW**Timeline:** N/A**Status:** Completed July 2022

Description: This multi-family housing development is housed in a building previously occupied by the American Boxboard Company. The development offers 173 units across three stories and an underground parking garage. The building comprises studio, one-, and two-bedroom units, along with amenities including a community pet wash, bike storage, a fitness center, and others.

12

Bold Advanced Medical Future Health (BAMF) Headquarters**Type:** Healthcare**Developer:** N/A**General Contractor:** N/A**Investment:** \$30 million**Footprint:** 60,000 square feet of the Doug Meijer Medical Innovation Building as part of the MSU Innovation Park**Address:** 400 Monroe Ave NW**Timeline:** N/A**Status:** Completed August 2022**Description:** BAMF Health established its Grand Rapids Headquarters in August 2022 after receiving more than \$30 million in investment. The company specializes in advanced imaging technology used to spot and treat cancer. BAMF Health was launched by Anthony Chang, a former Van Andel Institute researcher.

13

Wealthy & Sheldon Lofts**Type:** Housing, Mixed Use**Developer:** Cella Building Company**General Contractor:** Cella Building Company**Investment:** \$17.5 million**Footprint:** 50,000 square feet**Address:** 415 Sheldon Blvd SE**Timeline:** TBD**Status:** In Planning**Description:** The developers plan to build two new five-story buildings on a vacant lot on the corner of Sheldon Avenue and Wealthy Street. The project would include 57 new apartments split between the two buildings, including a residential common area and 1,800 square-feet of commercial space.

14

Factory Yards**Type:** Multi-Family, Retail, Commercial Office**Developer:** Factory Yards Development, LLC**General Contractor:****Investment:** \$150 million**Footprint:** 650,000 square feet**Address:** 655 Godfrey Ave**Timeline:** Completion in 2026**Status:** In Planning**Description:** Factory Yards is a mixed-use 15+ acre development including 450+ residences, commercial space, unique restaurants, art installations, and community gathering areas.

15

Leonard & Front**Type:** Housing**Developer:** West Leonard Development LLC**General Contractor:** N/A**Investment:** TBD**Footprint:** 181,930 square feet**Address:** 260 Leonard St NW**Timeline:** TBD**Status:** In Planning**Description:** The Leonard & Front development project will include a 10-story, mixed use project containing 140 residential units and two commercial suites on the ground floor. The residential space will include 77 studio units, 56 one-bedroom units and seven two-bedroom units. Plans include offering a community fitness center, business center, roof-top terrace, pet washing room, electric vehicle charging station, and other amenities.

16

Rockford Development on Alabama**Type:** Housing**Developer:** Rockford Construction Co.**General Contractor:** Rockford Construction Co.**Investment:** \$25 million - \$30 million**Footprint:** N/A**Address:** 501 and 516 Alabama Ave NW**Timeline:** TBD**Status:** In Planning**Description:** This seven-story development would include 245 residential units and a 310-space parking deck in a U-shaped design. The original site held 13 single-family homes built in the early 1900s that became dilapidated and were eventually demolished. The ground floor will hold 29 of the units, a lobby, leasing office, fitness room, and residential lounge.

Greater Grand Rapids Metro Area Projects – Details

17

English Hills

Community: City of Walker

Type: Multi-Family

Developer: Redhawk Multi-Family LLC

General Contractor: TBD

Investment: TBD

Footprint: 142 Acres

Address: 1470 Four Mile Road NW

Timeline: Completion in 2026

Status: In Preconstruction

Description: Developers are planning a 552-unit apartment complex at the English Hills Country Club property in Walker. Half of the apartments are planned as one-bedroom units, 40 percent as two-bedroom units, and 10 percent as three-bedroom units. The apartment buildings will comprise approximately 30 percent of the two properties, which totals 142 acres. Average unit size is 1,000-square-foot and Redhawk expects average rents between \$1,400 to \$1,500 a month.

19

The Pines

Community: City of Wyoming

Type: Multi-Family

Developer: Redhawk Multifamily LLC

General Contractor: TBD

Investment: TBD

Footprint: 116 Acres

Address: 5050 Byron Center Ave SW

Timeline: Completion by 2025

Status: In Preconstruction

Description: The Proposed Mixed-Use PUD is located on the 116 acres of the Pines Golf Course and Driving Range off Byron Center Avenue SW just north of 52nd Street. The plan consists of 7,500 square feet of retail; 22,000 square feet of office; and 604 for-sale and for-rent residential homes. The overall residential density on the 116 acres is 5.25 units per acre. The PUD will have 37% Common Open Space versus 20% Required, and 60% of non-pervious space (Green). Most of the Property's natural features and existing trees are being preserved.

18

Lincoln Country Club (Former Site)

Community: City of Walker

Type: Multi-Family

Developer: Stoneleigh Companies LLC

General Contractor: Not Disclosed

Investment: TBD

Footprint: 105 Acres

Address: 3461 Lake Michigan Drive NW

Timeline: Completion in 2024

Status: Under Construction

Description: Illinois-based Stoneleigh Companies LLC plans to build a 250-unit apartment complex at the former Lincoln Country Club. The 250 apartments would span 39 buildings and feature a mix of 128 one-bedroom units, 100 two-bedroom units, and 22 three-bedroom units. The project also includes a 5,255-square-foot clubhouse, landscaping, walking paths, and gathering spaces in open areas.

20

Gaines Township Industrial

Community: Gaines Township

Type: Industrial

Developer: Robert Grooters Development Co.

General Contractor: Wolverine Building Group

Investment: \$9 million

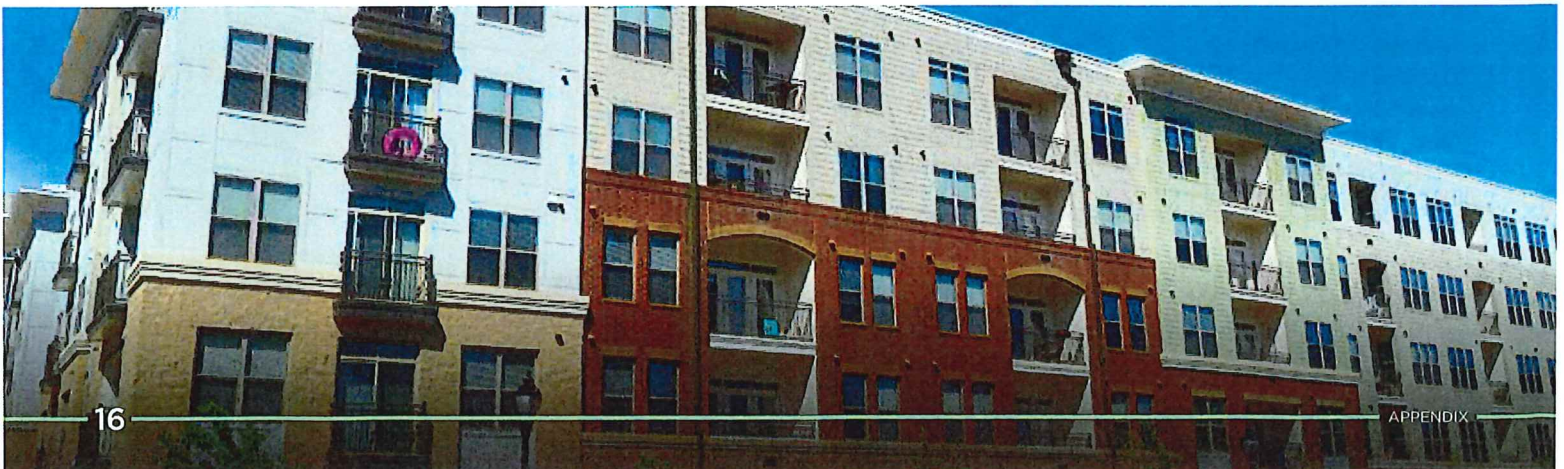
Footprint: 200,000 sq. ft.

Address: 4675 60th St

Timeline: Completion by 2024

Status: In Preconstruction

Description: Plans for the building include multiple dock and grade-level doors, ceiling-mounted sprinklers that eliminate the need for in-rack sprinkler systems, and energy efficiencies including motion-activated lighting. Robert Grooters Development is talking to a few prospective tenants interested in renting the space, but the project is speculative.



21

Ada Hotel

Community: Ada Township**Type:** Hotel**Developer:** CDV5 Properties**General Contractor:** First Companies**Investment:** Undisclosed**Footprint:** 37,000 sq. ft.**Address:** 7415 River St**Timeline:** Completion by 2024**Status:** In Preconstruction

Description: A 36-room hotel in downtown Ada Village. The project will offer two onsite restaurants: the Post Tavern, a 110-seat family friendly pub located on the first floor, and The Rix restaurant, a 130-seat restaurant on the third floor with a terrace for outdoor seating.

22

Unismack S.A. (SnackCraft)

Community: Kentwood**Type:** Industrial Food Processing**Developer:** ThirdCoast Development**General Contractor:** DND**Investment:** \$41.7 million**Footprint:** 122,000 sq. ft.**Address:** 4444 52nd St. SE**Timeline:** October 2022**Status:** In Production

Description: Unismack S.A., will build its first U.S. headquarters, innovation center, and manufacturing facility in Kentwood, MI. The U.S. business will operate under the name SnackCraft. The project involves a \$41.7 million capital investment over the next five years and will bring 185 new jobs to the area.

23

1772 Post

Community: Plainfield Charter Township**Type:** Multi-Family, Mixed-Use**Developer:** Brandon Visser and Dan Uccello**General Contractor:** TBD**Investment:** DND**Footprint:** Approx. 3 Acres**Address:** 1303 Post Drive**Timeline:** TBD**Status:** Design

Description: Early plans call for a two-story, mixed-use building, and a separate three-story residential building. The mixed-use building would have 3,600 square feet of retail and 3,600 square feet of restaurant space on the ground floor, and six multifamily units on the second floor. The residential building would be situated behind the mixed-use building and contain 12 two-bedroom apartments. The site plan leaves room to develop other amenities through landscaping, such as a dog park or community gardens.

24

Rivertown Commons

Community: City of Grandville**Type:** Multi-Family, Mixed-Use**Developer:** Trilogy Real Estate Group**General Contractor:** CD Barnes Construction**Investment:** DND**Footprint:** Approx. 30 Acres**Address:** 4612 Ivanrest Ave. SW**Timeline:** Mid-2024**Status:** Under Construction

Description: A 408-unit apartment community is being developed in Grandville. The development will consist of 12 three-story apartment buildings with one-, two- and three-bedroom floorplans featuring modern finishes and smart home technology. The community also will have a centralized clubhouse and various amenities, including a pool, sundeck, pet wash station, fitness center, yoga studio, grilling pavilion, outdoor fire pits, game room and a work-from-home studio.

25

Tecnoform USA

Community: Cascade Charter Township**Type:** Industrial**Developer:** DND**General Contractor:** DND**Investment:** \$7.3 million**Footprint:** 172,000 sq. ft.**Address:** 4999 36th St. SE**Timeline:** Mid-2023**Status:** Under Construction

Description: An Italian recreational vehicle furnishing manufacturer, Tecnoform USA plans to open its headquarters in Cascade Township. The new headquarters represents a \$7.3 million investment from the Italian company and expects to create up to 130 jobs.

AUTHOR'S PAGE

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About The Right Place

Serving West Michigan since 1985, The Right Place, Inc. is a regional economic development organization. We work to drive sustainable economic growth and shared prosperity for all in the Greater Grand Rapids Region.

Staffed by a skilled team of economic development and business professionals, The Right Place concentrates on three key strategic pillars: People, Place, and Prosperity. This philosophy focuses on people as the drivers of a successful economy, recognizing them to be the differentiating factor from one region from another.

The Right Place's ultimate goal is to help the people of the Greater Grand Rapids region reach their full potential within the community by driving business growth and attraction to create more opportunities for all in the region.

For questions on information contained in this report, or if you'd like to discuss your development goals with us, please contact:

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125 Ottawa Ave NW, Suite 450 | Grand Rapids, MI 49503 | info@rightplace.org | 616.771.0325

STAFF REPORT:

PREPARED FOR: Kentwood Planning Commission
PREPARED BY: Lisa Golder
CASE NO.: 26-23 Biggby Coffee Drive Through

GENERAL INFORMATION

APPLICANTS: Tyson Garner Dave Hanko
 2030 Lake Michigan Drive Feenstra Engineering
 Grand Rapids MI 49504 3145 Prairie St. SW
 Grandville MI 49418

STATUS OF
APPLICANT: Owner and engineering representative

REQUESTED ACTION: Special Land Use and Site Plan Review of a Drive Through Coffee Shop

EXISTING ZONING OF
SUBJECT PARCEL: C-2 Commercial

GENERAL LOCATION: 2300 44th Street SE

PARCEL SIZE: .65 acres

EXISTING LAND USE
ON THE PARCEL: Vacant

ADJACENT AREA
LAND USES: N: 44th Street
 S: Countrywood Drive
 W: Personal service establishment, vacant (city-owned property)
 E: Dentist, office

ZONING ON ADJOINING
PARCELS: N: Commercial (Grand Rapids)
 S, E, W: C-2 Commercial

Compatibility With Master Plan

The Master Plan recommends commercial use for this area. Drive-through facilities are permitted with Special Land Use.

Relevant Zoning Ordinance Sections

Chapter 8 describes the uses and regulations for the C-2 Commercial Zone. Chapter 15 lists Special Land Use Standards.

TECHNICAL INFORMATION

Streets and Traffic

The applicant is proposing a drive-through only Biggby Coffee facility located on a currently vacant property at 2300 44th Street. 44th Street incorporates a boulevard design that eliminates left turns onto 44th Street, instead, a vehicle wishing to travel west would have to turn right and make an indirect left turn. There is in fact, no driveway serving the proposed Biggby, but there does appear to be a shared driveway with the adjacent property. The applicant should note the existing easement that allows use of the driveway. There is no access proposed to Countrywood Drive to the south.

Project Description:

The applicant is requesting approval of a drive through coffee shop at 2300 44th Street.

Site Characteristics

The site is vacant. Wetlands exist along the west and south side of the parcel, and wetland mitigation will be required. The applicant should show where the wetland mitigation will occur.

Staff Review

Special Land Use

1. The Planning Commission must review the following standards with respect to the proposed restaurant:

A. Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that a use will not change the essential character of the area in which it is proposed.

The proposed drive-through facility for Biggby is located in a commercial district that includes other drive-through facilities. The Scooters coffee drive-through is located approximately 350 feet to the east.

B. Be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities or schools.

The use is adequately served by public facilities.

C. Not create excessive additional requirements at public cost for public facilities and services.

The proposed drive-through coffee shop should not create requirements for additional public facilities.

D. Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, electrical or electromagnetic interference or odors.

The proposed drive-through is located within a commercial area and makes use of an existing adjacent curb cut located on the property to the east. There is ample room for stacking for the drive through.

E. Be compatible and in accordance with the goals, objectives and policies of the Master Plan and promote the Intent and Purpose of the zoning district in which it is proposed to locate.

The use is generally compatible with the goals and objectives of the Master Plan. The Master Plan does promote walkability between commercial uses and nearby residences, and the proposed Biggby includes a walk-up window in front of the building. A crosswalk should be provided to direct pedestrians to the window.

F. Be subject to stipulations by the Planning Commission of additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights, and for insuring that the intent and objectives of this Ordinance will be observed. The breach of any condition, safeguard, or requirement shall automatically invalidate the granting of the Special Land Use.

G. Comply with all applicable licensing ordinances.

2. The applicant also must comply with Section 15.04 BB, as follows:

A. The point of drive-through transaction shall be set back fifty (50) feet from any adjacent public right-of-way or property line.

The window in which beverages/food are to be provided and payment is made exceeds the 50' setback from any right of way or property line.

Establishments constructed adjacent to other office and commercial development shall have a direct vehicular access connection when possible.

There is a direct connection to the adjacent property to the east. The wetlands to the south and west make it difficult to provide a connection to Countrywood Drive. There may be an opportunity for future connection to the property to west, but the drive-through lane as configured may be too narrow to allow for this connection currently.

Site Plan Review

3. The applicant is proposing a Biggby Coffee drive through facility. The use is strictly drive-through; no indoor seating or outdoor seating is proposed. The stated hours of operation are

5:00 AM-9:00 PM. Walk-up service is provided in front of the building; a crosswalk may help direct pedestrians to the window and alert drivers of pedestrian activity.

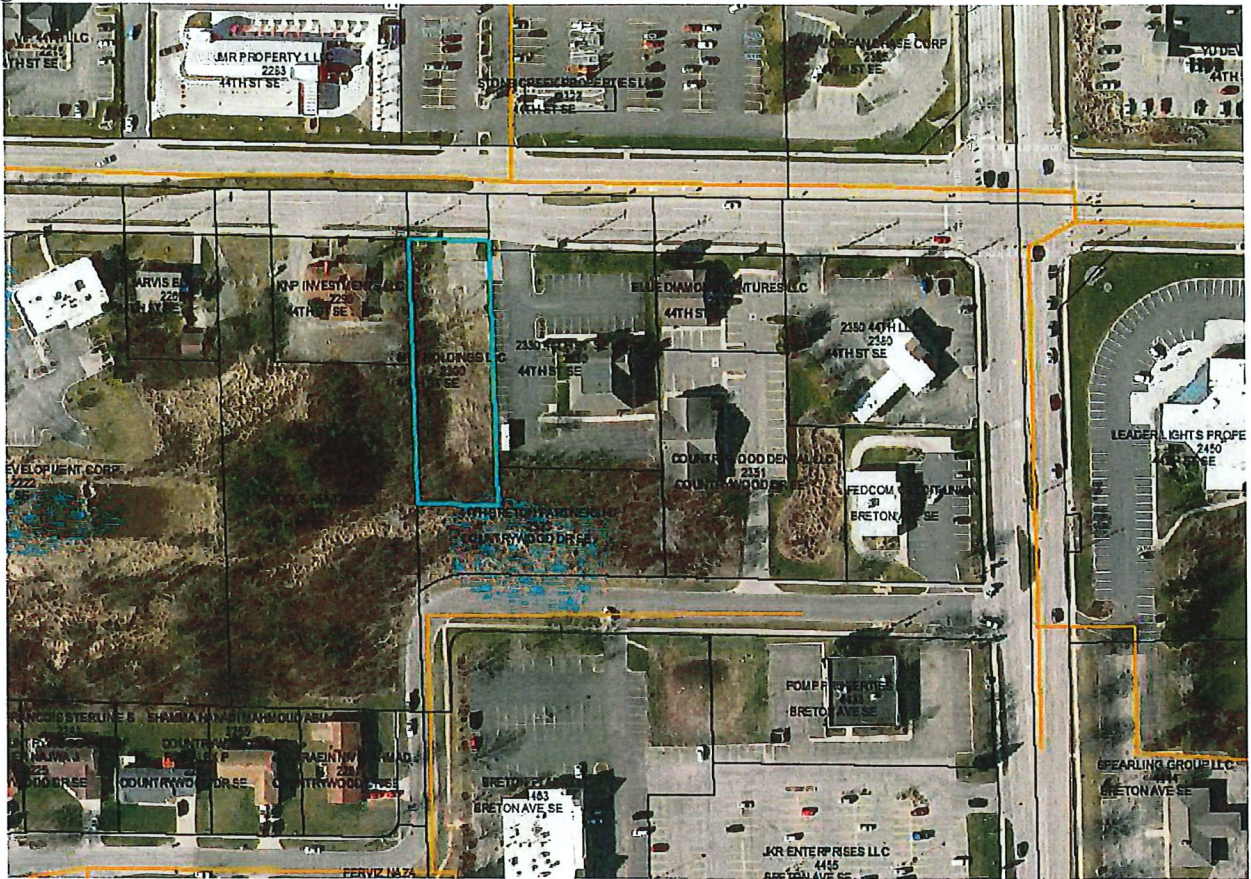
4. The vehicle access on the west side of the building provides the minimum required width for angled parking and drive aisle. As a practical matter, the lanes may be reduced in width depending on the ability of the owner to effectively remove snow. The applicant may wish to remove a few parking spaces to allow better maneuverability. The landscaping islands on the east and west sides of the parcel do not meet the landscaping requirements of Chapter 19.
5. The applicant is providing one drive-up lane with a menu board; there is adequate stacking for vehicles and enough room for a bypass lane.
6. Additional information must be provided on site lighting; no information has been provided.

Attributes:

- Adequate stacking
- Bypass lane for drive through

Issues:

- Easement for cross access with adjacent property
- Doesn't meet landscape standards of Chapter 19
- Proximity of another drive through facility
- Wetland mitigation
- Site lighting information needed





KENTWOOD PLAN REVIEW

Fire Department Information

Occupant ID: 24403

Inspection Date: 10/02/2023

Inspected By: QUICK, PATRICK

Facility Information

Occupant Name: BIGGBY COFFEE

Business Address: 2300 44TH

Inspection Information

Inspection Type: SITE PLAN ONLY

Inspection Notes: Site plan for new drive thru coffee shop. Plans approved as submitted.

Fire Code Reference

Description

Comments

Approved vehicle access for fire fighting shall be provided to all construction or demolition sites prior to and during the time of construction. Access road(s) (20 feet wide, designed and maintained to support a vehicle weighing 20 tons on a single axle with dual wheels and standard road tires) shall be constructed as required. This road may be gravel, but vehicle access must be maintained and unobstructed at all times. (IFC 501.4, 503.1.1, 503.2.3, 503.4, 3310.1)

Provide fire lane(s) on the _____ side(s) of the building. Each side of the building where a fire lane is required must have an entrance as close to the middle as possible. The fire lane must be a minimum of 10 feet and a maximum of 30 feet from the building, and within 100 feet of all fire department connections. (IFC 503.1.1)

Fire lanes are adequate for building.

Install _____ inch Arabic numerals on the front of the building in a color that contrasts with the immediate background on which the numerals are mounted and that will be readily visible during normal daylight. (IFC 505.1 – 505.1.7)

6 inch numbers required on building on the 44th street side. Or 4 inch numbers on building and sign at road.

Install supplementary _____ inch Arabic address numerals on a post or mailbox on the same side of the public road as, and directly in front of, the building in such a manner as to be readily visible to occupants of fire department vehicles on the public road. (IFC 505.1.2.4, 505.1.3)

Provide temporary numbers during construction phase of project.

Gas meters, regulators and piping shall not be placed where they will be subjected to damage, or shall be protected by approved physical barriers. (IFC 603.9, 312; NFPA 54)

Required means of egress shall be maintained during construction and demolition, remodeling or alterations and additions to any building. (IFC 3311.2)

Signatures

First Name

Last Name

Signature Date

Pat

Quick

10/02/2023

Golder, Lisa

From: Tyson Garner <tgarner@biggby.com>
Sent: Tuesday, September 26, 2023 2:11 PM
To: Golder, Lisa
Subject: Re: Information needed for review of Biggby

Hi Lisa, it was good to meet you yesterday! I've copied your email and will respond in red lettering with the answers to your questions.

Number of employees

We will have about 15 employees total but not more than 4 working at a time in general.

Hours of operation

Operating hours will be 5AM-9PM

Confirmation of drive through only

This will be a drive through only location with no inside seating

Description of walk up service?

Our plans will have a walk-up window option where customers can order and receive their purchase through the window.

Any outdoor seating areas planned

There are no outside seating areas planned

Description of issues with wetlands and process regarding resolution

I reached out to Dave Hanco with Feenstra to inquire about this and his response was:

Hi Tyson,

We will be applying to EGLE for a wetland permit.

Dave

I'm not sure that is the response you need for the wetland question but let me know if you need me to dig in deeper or I could forward his email on to you or something. Let me know if there is anything else.

Thanks a lot!

Tyson Garner
Biggby Coffee
Project Manager
tgarner@biggby.com

From: Golder, Lisa <GolderL@kentwood.us>
Sent: Monday, September 25, 2023 2:56 PM
To: Tyson Garner <tgarner@biggby.com>
Subject: Information needed for review of Biggby

Hi Tyson:

The city will need additional information on the drive through Biggby:

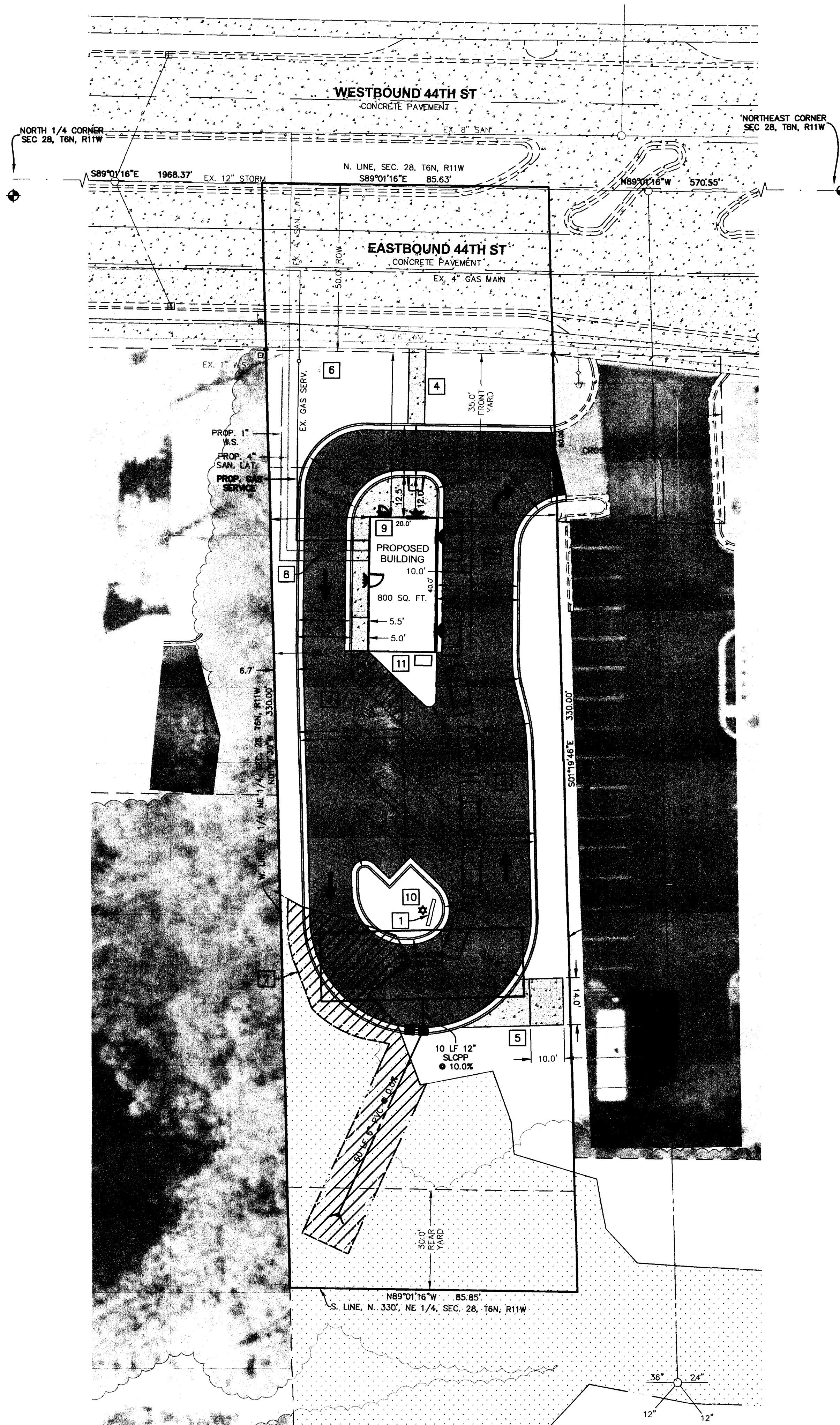
Number of employees

Hours of operation



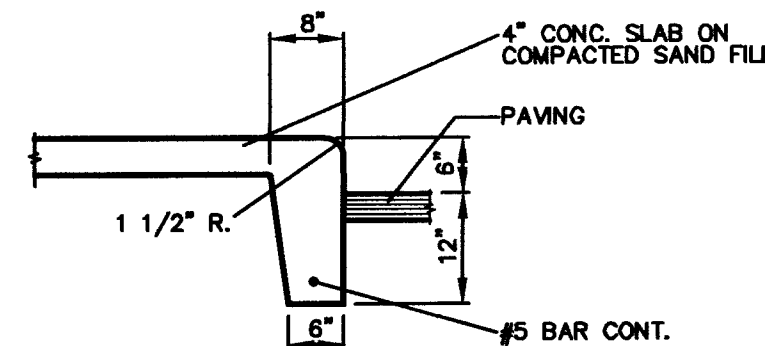
SCALE: 1" = 30'

4/18/2023



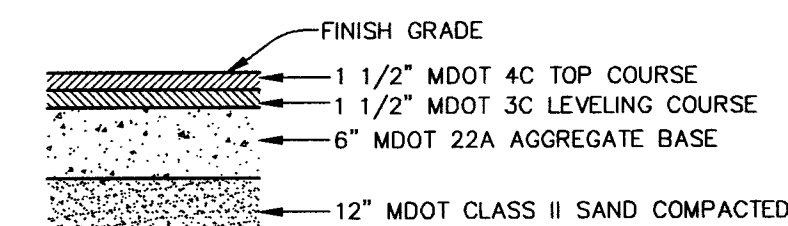
SITE PLAN KEY NOTES:

- 1 MENU BOARD
- 2 PARKING SPACE 9'x21' (TYP)
- 3 NEW BITUMINOUS PAVEMENT
- 4 PROPOSED 5' WIDE CONCRETE SIDEWALK
- 5 PROPOSED DUMPSTER ENCLOSURE
- 6 EXISTING POLE SIGN TO REMAIN
- 7 1,855 SQ. FT. OF IMPACTED WETLANDS
- 8 GREASE TRAP
- 9 SHIELDED WALL MOUNTED LIGHTS (TYP.)
- 10 SHIELDED LIGHT
- 11 TRANSFORMER



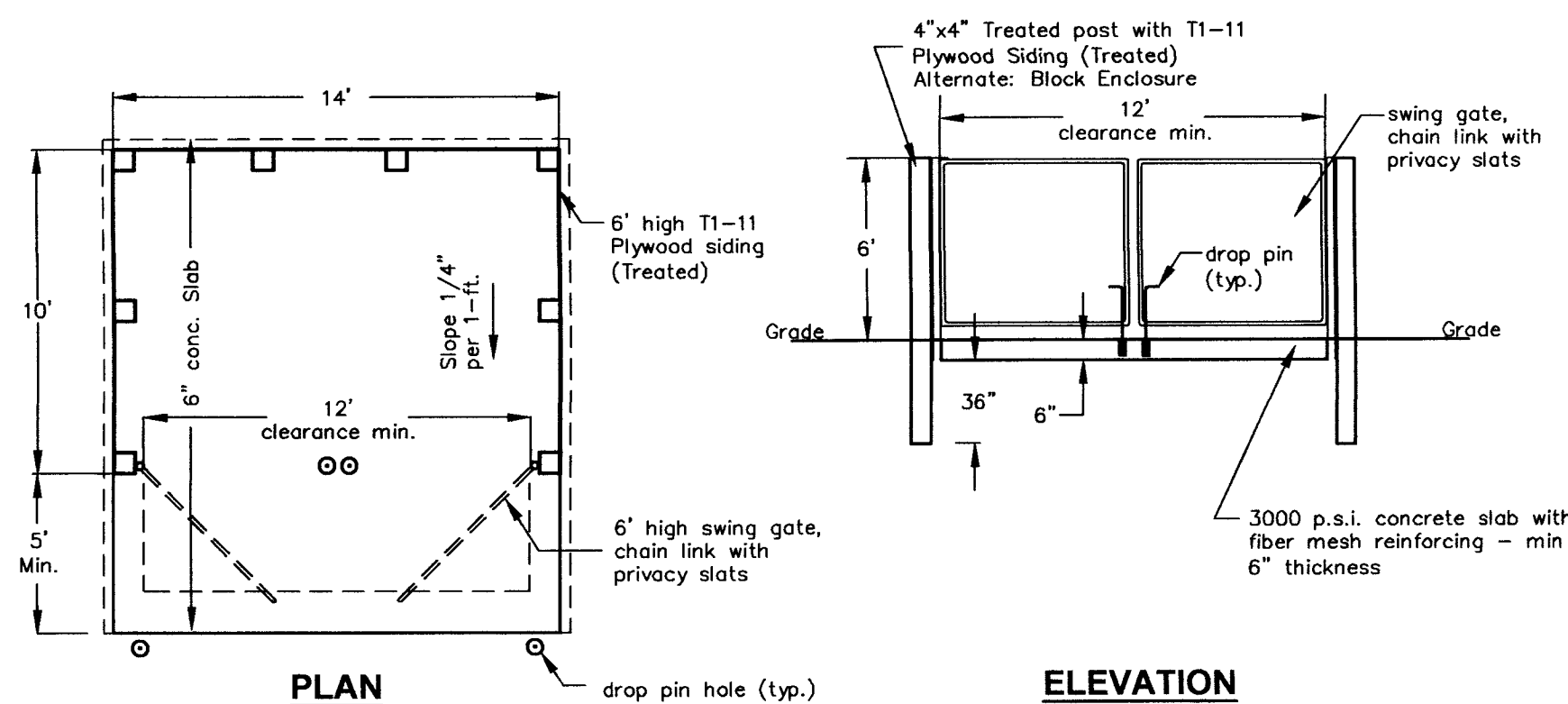
SIDEWALK WITH INTEGRATED CURB

NOT TO SCALE



PAVING DETAIL

NOT TO SCALE



PLAN

ELEVATION

DUMPSTER ENCLOSURE

NOT TO SCALE

BENCHMARK:

ELEVATION 772.93
Flange Bolt on Hydrant on South Side of 44th Street, 7.3' East of East property Line.

PROPERTY DESCRIPTION:

PPN# 41-18-28-226-006
2300 44th St SE
Owner: MT3 Holdings LLC
2030 Lake Michigan Drive SW
Grand Rapids, MI 49504

The North 330 feet of the East 1/4 of the Northeast 1/4 of Section 28, T6N, R11W, City of Kentwood, Kent County, Michigan, excepting therefrom the East 570.55 feet thereof.

Contains 28,270 SF or 0.65 Acres

REQUIREMENTS:

1. PROJECT DESCRIPTION:
CONSTRUCTION OF A NEW 800 SF BUILDING WITH ASSOCIATED DRIVEWAYS AND PARKING
2. ZONING: C-2 (COMMUNITY COMMERCIAL DISTRICT) ZONING

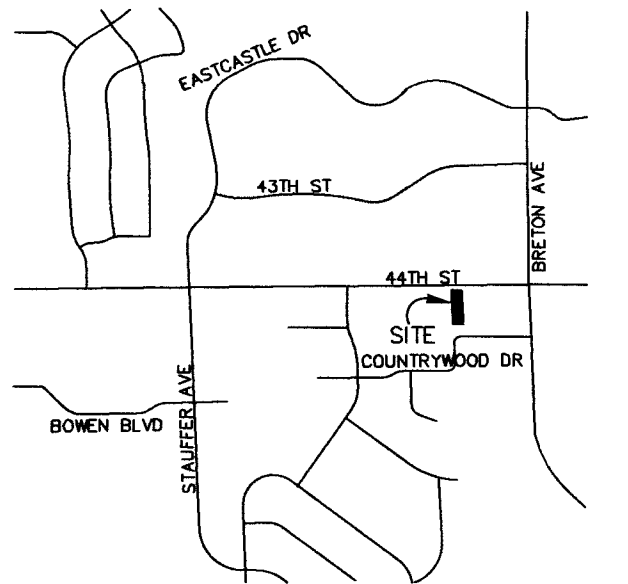
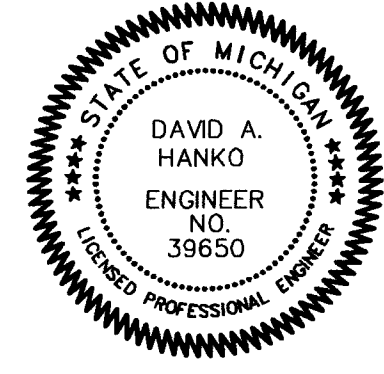
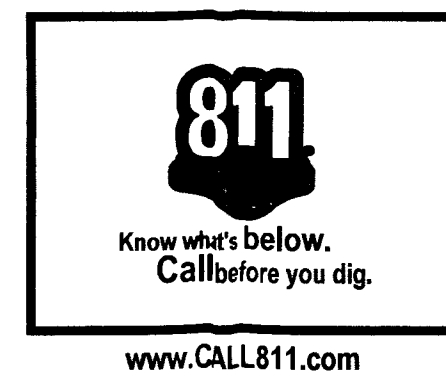
SETBACKS:
FRONT YARD: 35 FEET
REAR YARD: 30 FEET
SIDE YARD: 0 EXCEPT WHEN ABUTTING OS, C-4, OR RESIDENTIAL

LOT DIMENSIONS:
MINIMUM AREA: 11,050 SF
MINIMUM WIDTH: 85 FT
MAXIMUM LOT COVERAGE: 75%
MAXIMUM BUILDING HEIGHT: 45 FT (30 WHEN ABUTTING RESIDENTIAL)
3. PARKING REQUIREMENTS:
PARKING REQUIRED BY ZONING:
1 SPACE PER 50 SF UFA, PLUS 4 STANDING SPACES PER OUTSIDE SERVICE WINDOW

PROPOSED PARKING:
7 REGULAR SPACES
1 HANDICAPPED SPACE
8+ STANDING SPACES FOR SERVICE QUEUE

GENERAL NOTES:

1. All utilities shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be the exact locations nor should it be assumed that they are the only utilities in the area.
2. All work shall comply with applicable requirements or the local code, ordinances and accident/fire prevention regulations.
3. Remove all demolition materials and debris from the site and dispose of properly offsite.
4. Do not bury any debris, roots, topsoil or other materials.
5. Adequately protect the site, adjoining property, and utility services.
6. Contractor shall field verify all utilities prior to commencing work on new utility connections.
7. Install all utilities in accordance with local specifications and requirements.
8. Contractor shall be responsible for obtaining necessary permits for work in right-of-way and on any utility connections or abandonments.
9. Damage to existing utilities by the contractor shall be repaired at the contractor's expense.



LOCATION MAP

NOT TO SCALE

LEGEND

T - TOWN	SECTION CORNER
R - RANGE	SET CAPPED IRON
N - NORTH	FOUND IRON OR NAIL
S - SOUTH	STORM SEWER MANHOLE
E - EAST	SANITARY SEWER MANHOLE
W - WEST	CATCH BASIN
SEC. - SECTION	HYDRANT
POB - POINT OF BEGINNING	VALVE
PROPOSED BLACKTOP	UTILITY POE
PROPOSED CONCRETE	GUY WIRE
EXISTING BLACKTOP	LIGHT POLE
EXISTING CONCRETE	WALL MOUNTED LIGHT
BUILDING	PEDESTAL
	TRANSFORMER
	SIGN

REVISIONS

SITE PLAN BIGGBY COFFEE 2300 44TH ST SE

FOR: TYSON GARNER
BIGGBY COFFEE
2030 LAKE MICHIGAN DR NW
GRAND RAPIDS, MI 49504

PART OF THE NORTHEAST 1/4, SECTION 28, T6N, R11W,
CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

Feenstra
& Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
3145 Prairie St SW
Grandville, MI 49418
Phone: 616.457.7050
www.feenstrainc.com

C1

9/18/2023

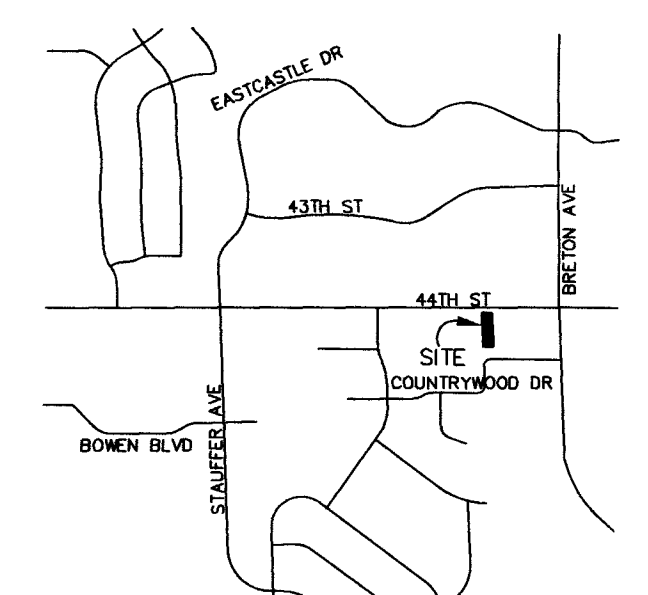
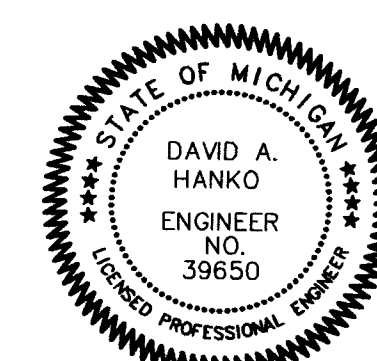
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Flange Bolt on Hydrant on South Side of 44th Street, 7.3' East of East property Line.

PPN# 41-18-28-226-006
2300 44th St SE
Owner: MT3 Holdings LLC
2030 Lake Michigan Drive SW
Grand Rapids, MI 49504

SOIL EROSION CONTROL GENERAL NOTES

1. ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION AND MAINTAINED, AS NECESSARY, UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
3. RE--SPREAD 9" OF TOPSOIL OVER ALL GRADED AREAS. SEED AND FERTILIZE USING DRILL (MDOT ROADSIDE MIX).
4. ALL DRAINAGE SWALES SHALL BE STABILIZED WITH A MINIMUM OF 4" TOPSOIL, SEEDING, AND SC-150 EROSION CONTROL MATTING.
5. STONE RIP--RAP SHALL BE 8" MIN. DIAMETER.
6. SILT FENCE SHALL BE TOED IN 6" AND STAKED EVERY 6' O/C.
7. PROTECT NEW & EXISTING STORM INLETS BY EXCAVATING A SUMP AROUND THEM & PLACING A SILT SACK INSIDE THE CATCHBASIN.
8. INSPECT AND MAINTAIN ALL TEMPORARY SOIL EROSION CONTROLS AFTER EACH SIGNIFICANT RAINFALL.
9. STREET SWEEPING SHALL BE COMPLETED DAILY ON AN AS NEEDED BASIS THROUGHOUT CONSTRUCTION.
10. DETENTION FACILITIES SHALL BE THE FIRST ITEM CONSTRUCTED.
11. STREET SWEEPING SHALL BE PERFORMED EACH DAY (OR MORE OFTEN AS NEEDED) BY MECHANICAL MEANS ON PAVED STREETS IN AND AROUND THE PERIMETER OF THE PROJECT. THIS INCLUDES SWEEPING PAVED SURFACES OUTSIDE THE LIMITS OF THE PROJECT, AS AFFECTED BY ANY TRUCKING OPERATIONS.
12. DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.
13. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND ALL OTHER PERSONS PARTICIPATING IN, CAUSING OR BEING FACTUALLY OR LEGALLY RESPONSIBLE FOR ANY EARTH CHANGE TO PROVIDE SOIL EROSION AND SEDIMENTATION CONTROL TO ADEQUATELY PREVENT SOIL FROM BEING ERODED AND DISCHARGED ONTO ADJACENT PROPERTIES, OR INTO A CITY STORMWATER DRAINAGE SYSTEM, A PUBLIC STREET OR RIGHT-OF-WAY, WETLAND, CREEK, STREAM, WATER BODY, OR FLOODPLAIN. NON-COMPLIANCE WITH THIS WILL RESULT IN VIOLATION NOTICES WITH RE-INSPECTION FEES

- 1 GRADING LIMITS 
- 2 SILT FENCE 
- 3 PLACE SILT SACKS IN CATCH BASIN (3 PROP) 
- 4 PLACE NA GREEN SC-150 STRAW BLANKET 



**GRADING AND SESC PLAN
BIGGBY COFFEE
2300 44TH ST SE**

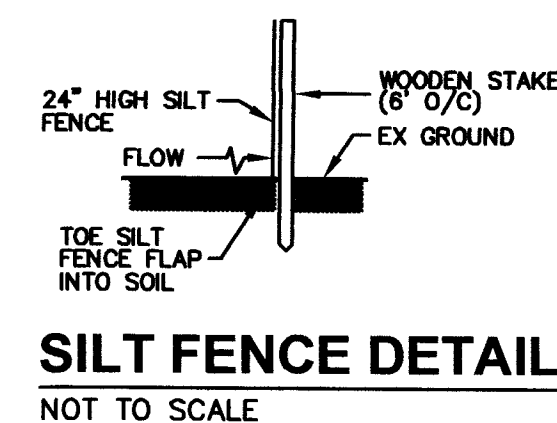
FOR: TYSON GARNER
BIGGBY COFFEE
2030 LAKE MICHIGAN DR NW
GRAND RAPIDS, MI 49504

PART OF THE NORTHEAST 1/4, SECTION 28, T6N, R11W,
CITY OF KENTWOOD, KENT COUNTY, MICHIGAN



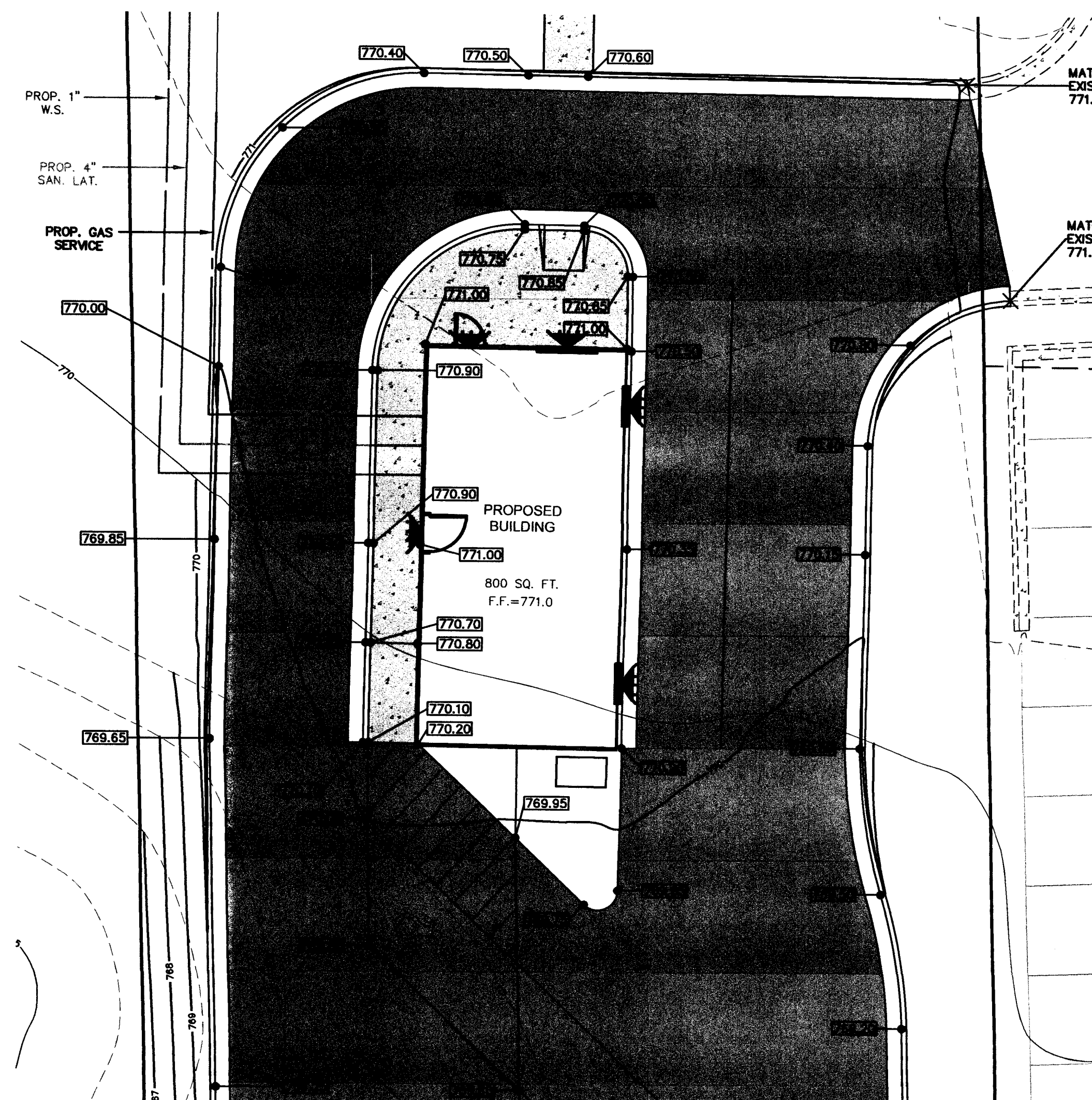
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














CATCH BASIN #1
2' DIA WITH EJIW 5105 GRATE
RIM 768.00
(E) 12" SLCPP INV 764.20

CATCH BASIN #2
4' DIA WITH EJIW 5105 GRATE
RIM 768.00
(W) 12" SLCPP INV 764.00
(N) 12" SLCPP INV 764.00
(S) 6" PVC INV 764.50



SCALE: 1" = 1/4"

LEGEND

T	TOWN		SECTION CORNER
R	RANGE		SET CAPPED IRON
N	NORTH		FOUND IRON OR NAIL
S	SOUTH		SEWER MANHOLE
E	EAST		SANITARY SEWER MANHOLE
W	WEST		CATCH BASIN
SEC.	SECTION		HYDRANT
PGB	POINT OF BEGINNING		VALVE
	PROPOSED BLACKTOP		UTILITY POLE
	PROPOSED CONCRETE		GUY WIRE
	EXISTING BLACKTOP		LIGHT POLE
	EXISTING CONCRETE		WALL MOUNTED LIGHT
	BUILDING		PEDESTAL
			TRANSFORMER
			SIGN

REVISIONS

	LAWN AREA, 4" MIN. TOPSOIL
	FRONT YARD GREENBELT
	PARKING LOT CANOPY TREE
	PARKING LOT LANDSCAPE AREA

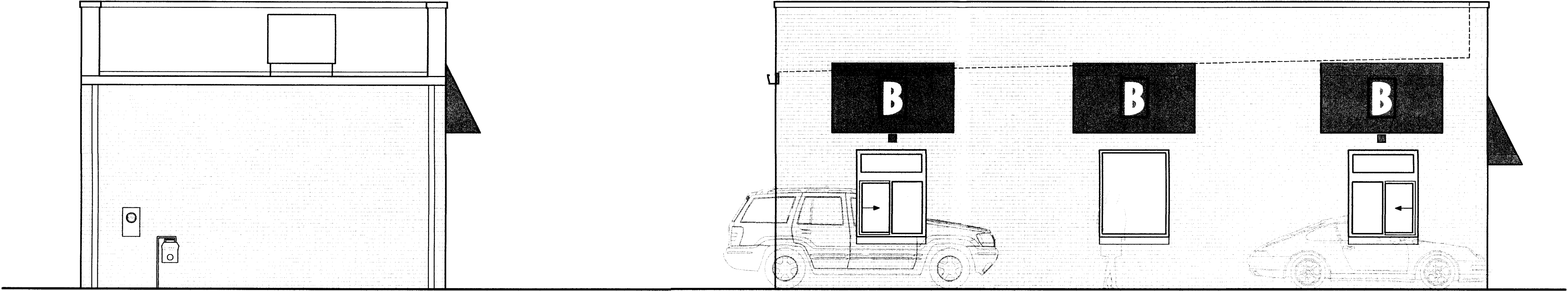
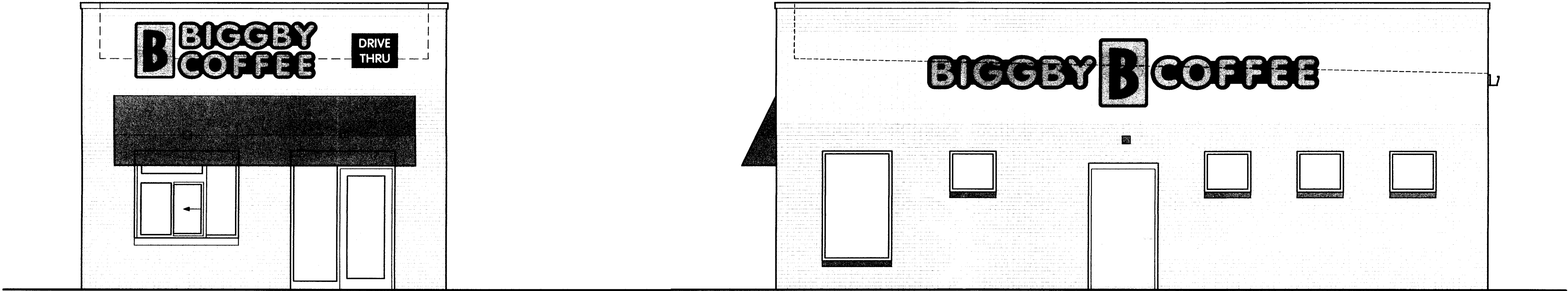
4 DECIDUOUS CANOPY - RED MAPLE (ACER RUBRUM) [MIN. CALIPER 2.5"]

20 GOLD MOUND SPIREA (SPIRAEA JAPONICA) [MIN. SPREAD 24"]

23 MY MONET WEIGELA (WEIGELA FLORIDA) [MIN. SPREAD 24"]

LAWN AREA, 4" MIN. TOPSOIL

18/2023



STAFF REPORT: October 4, 2023
PREPARED FOR: Kentwood Planning Commission
PREPARED BY: Joe Pung
CASE NO.: 27-23 Kentwood Drive and Shine

GENERAL INFORMATION

APPLICANT: DEV 2333 Beltline Ave Rep. AR Engineering
16915 Cleveland Road 5725 Venture Park Dr. Ste A
Granger, IN 46530 Kalamazoo, MI 49009

STATUS OF
APPLICANT: Property Owner

REQUESTED ACTION: Special land use and site plan review for a vehicle wash establishment.

EXISTING ZONING OF
SUBJECT PARCEL: C2 Community Commercial (Conditional)

GENERAL LOCATION: 3277, 3311 & 3343 Woodland Drive, SE

PARCEL SIZE: 4.54 acres

EXISTING LAND USE
ON THE PARCEL: Parking Lot

ADJACENT AREA
LAND USES: N: Apartment Complex & Office Building
S: Regional Shopping Center
E: Restaurant
W: Parking Lot

ZONING ON ADJOINING
PARCELS: N: Mixed Density Residential & Neighborhood Office Service
(City of Grand Rapids)
S: C3 Regional Commercial
E: C3 Regional Commercial
W: C3 Regional Commercial

Compatibility with Master Plan

The Master Plan recommendation is for commercial development of this site. The proposed vehicle wash establishment is a special land use in the C2 Community Commercial district and would be consistent with the Master Plan recommendation. The oil change/lube operation is a permitted use in the C2 Community Commercial district.

Zoning History

The City Commission approved the conditional rezoning of the property from C3 Regional Commercial to C2 Community Commercial on December 6, 2022. The condition of approval was:

Without limiting any final conditions of approval of the City, which conditions shall remain in effect and binding, the following restrictions will apply to the use and development of the applicant property for so long as it is zoned C2 Community Commercial:

- a. The uses shall be limited to a car wash with interior/exterior vacuums, detailing, and oil/lube facility. The oil/lube facility shall only be constructed as an integral part of the car wash facility.*
- b. Uses shall conform to the City of Kentwood Zoning Ordinance uses of vehicle repair and vehicle wash establishments.*
- c. All car wash and oil and lube operations shall be performed within the building.*

Relevant Zoning Ordinance Sections

Vehicle washes are a special land use in the C2 Community Commercial district (Zoning Ordinance Section 8.02). Section 13.04 requires Planning Commission review and approval of special land uses. Section 15.02 outlines the general approval standards for special land uses. Section 13.09 outlines the general review standards. Section 14.05 outlines the site plan review standards. Section 15.04.F lists the site design standards for vehicle wash establishments.

SITE INFORMATION

Site Characteristics

The site is currently developed as an overflow parking lot for the adjacent office building to the north. There is a detention pond on the west side of the site. At the southeast corner of the site is a drive that provides the adjacent property to the east access to Outer Drive (pvt); this drive is also intended to provide access to the proposed vehicle wash establishment. With the exception of the drive at the southeast corner, the site sits approximately 10 feet higher than the adjacent properties to the south and east (see Exhibit 2).

Traffic & Circulation

Access to the site will be from the existing drive off of Outer Drive (pvt.). The existing access on the north side of the site will be retained for egress only; a permanent egress easement from this site to East Beltline Avenue over the adjacent property to the north will need to be established (see Exhibit 3).

Vehicle circulation around the building is clockwise. Based on the circulation patterns, in order to use the exterior vacuums, interior vacuums, or the detailing service customers would have to go through either the car wash or the oil change/lube facility first (need to clarify if these services are only available as part of a car wash or oil/lube service).

If stacking for the oil/lube services is more than one vehicle it appears that the egress to the north would be blocked.

A pedestrian connection from the parking lot to the building entrance is needed.

A raised concrete median in Outer Drive restricts access to the site to right-in/right-out.

A Traffic Impact Study was conducted for the proposed project. The study concluded that:

- intersections within the study area would continue to operate similar to existing conditions,
- the impact on the adjacent roadway would be negligible, and
- projected vehicle cueing could be accommodated on site and would not be anticipated to impact internal site circulation or the adjacent roadway network.

Parking

The Zoning Ordinance requires one (1) parking space for each employee for the vehicle wash operation and two (2) parking spaces for each service stall, plus one (1) per employee, plus one (1) per each service area for the oil change/lube operation. There are three oil change/lube bays, and the applicant has indicated that there will be six (6) employees. Based on the number of service bays and number of employees, a minimum of twelve (12) parking spaces are required. The site plan depicts twenty-four (24) parking spaces.

Engineering

The development will have to meet all applicable Engineering Department regulations.

Fire

The development will have to meet all applicable Fire Department regulations.

Staff Comments

- 1) Section 8.03.B of the Zoning Ordinance requires a rear yard setback of 30 feet (the rear yard building setback is two (2) feet), Section 19.03.C requires a 10-foot buffer zone adjacent to the office zone to the north (no on-site buffer zone is provided), and Section 15.04.F.11 requires a building setback of 100 feet from the residential district to the north (the building is setback approximately eighty-seven (87) feet).

The Zoning Board of Appeals approved variances (Case V-23-10) in February of this year for a reduction of 28 feet to the required rear yard setback, a reduction of 13 feet to the required building setback from a residential district, and waiver to the required 10-foot buffer zone adjacent to the office use to the north. A condition of the approval was the creation of a permanent landscape easement (size and location to be approved by staff and the Planning Commission) on the adjacent property to the north to function as a landscape buffer (see Exhibit 4); the easement will need to be established as part of this development.

- 2) The applicant submitted an operational description. The operational description states that:
- Services provided would be limited to vehicle wash, outdoor vacuums, indoor vacuums, interior detailing, and lube center.
 - Hours of operation on the site would be:
 - Exterior Car Wash
Mon-Sat: 7:30 am – 8:00 pm
Sun: 8:30 am – 7:00 pm
 - Oil Change
Mon-Fri: 8:00 – 7:00 pm
Sat-Sun: 9:00 am – 6:00 pm
 - Interior Self Service
Mon-Sat: 7:30 am – 7:30 pm
Sun: 8:30 am – 6:30 pm
 - The number of employees would be six (6). (it is assumed that this would be the maximum number of employees on site at any given time, this needs to be verified).
 - Expected peak hour use is expected to be 78 vehicles per hour for the car wash and 14 vehicles per hour for the lube center.

Additional information to include in a revise operations description include:

- Statement on how wastewater will be treated.
 - Detail regarding how long it takes to provide each service.
 - Verify number of employees on-site (for the car wash and oil change/lube facility).
- 3) Three separate parcels currently make up the development site. The parcels will need to be combined into a single lot as part of the proposed development.

- 4) Section 15.02 of the Zoning Ordinance (Special Approval Standards) states that the Planning Commission must determine that the proposed special land use and its location meet the following standards:

- A. Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed.

The proposed use is consistent with the intended commercial character of the area.

- B. Be served adequately by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities or schools.

The site is adequately served by essential public services.

- C. Not create excessive additional requirements at public cost for public facilities and services.

The proposed development is not anticipated to create additional requirements for public facilities and services at public cost.

- D. Not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare. Electrical or electromagnetic interference or odors.

The proposed use is not anticipated to create excessive traffic, noise, smoke, fumes, or odors that will be detrimental but information on level of noise generated by the car wash and vacuums does need to be submitted to show how noise generated by the use will not be detrimental to adjacent properties.

- E. Be compatible and in accordance with the goals, objectives and policies of the Master Plan and promote the Intent and Purpose of the zoning district in which it is proposed to locate.

The proposed car wash is a special land use within the C2 Community Commercial district and as such can be considered consistent with the zoning and the Master Plan recommendation for commercial development. The proposed accessory oil/lube facility is a permitted use in the C2 Community Commercial district. Future exterior vacuums are depicted in the parking area to the west of the facility, these vacuums would be closer to the adjacent residential and would not be screened by the building.

- F. Be subject to stipulations by the Planning Commission of additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for ensuring that the intent and objectives of this Ordinance will be observed. The breach of any condition, safeguard or requirement shall automatically invalidate the granting of the Special Land Use.
 - G. Comply with all applicable licensing ordinances.
- 5) Section 15.04.F lists the following specific requirements that apply to vehicle wash establishments. The requirements are:

- A. Additional auto related facilities located on the premises such as vehicle fuel and fuel stations are allowed, however they must obtain separate special land use permits as provided for in this Chapter.

The applicant is proposing an oil change/lube facility accessory to the vehicle wash facility. An oil change/lube facility is classified as minor vehicle repair and as such is a permitted use in the C2 Community Commercial district.

- B. All washing activities must be within a building.

All washing activities are shown to occur within the building.

- C. Vacuuming activities, if outdoors, shall be set back at least one hundred (100) feet from any lot line adjoining a residential district or use.

Outdoor vacuums are proposed along the east end of the property and are approximately two hundred and ninety (290) feet from the adjacent residential use to the northwest and would be screened by the building. The plan depicts future exterior vacuums to the west of the building, these would be set back approximately one hundred and twenty (120) feet from the adjoining residential district but would not be screened by the building.

- D. The vehicular exit from the building shall be at least seventy-five (75) feet distant from the driveway egress.

The vehicular exit from the building is approximately one-hundred (100) feet distant (straight line) from the driveway egress; vehicle travel distance is over five-hundred (500) feet.

- E. No vehicle wash establishment operator shall permit patrons to extend lines of vehicles off of the premises.

Based on the available vehicle stacking, lines of vehicles should not extend off the site.

- F. Wastewater shall be filtered or otherwise cleansed so as to minimize discharge of soap, wax, and solid matter into the public sewer.

Statement to such should be included in operations description.

- G. The site shall be limited to no more than one (1) driveway for each street on which it has frontage.

There is only one driveway providing access to the site. There is an egress only drive onto the adjacent property to north. Egress easement is required.

- H. Each wash bay shall be provided ample space for required stacking spaces that is not located within the public or private right-of-way and that does not conflict with vehicle maneuvering areas and does not conflict with other activities on the site such as gasoline pumps or vacuums..

There is adequate space for stacking which does not conflict with other activities on the site.

- I. A bypass lane around the building is required for automated drive-through wash facilities.

There is a bypass lane which allows egress onto the adjacent property to the north (a permanent egress easement is required). Depending on the number of vehicles in line for the oil change/lube facility, there is the potential for the egress to be blocked.

- J. Overhead doors shall not face any roadway, except as approved by the Planning Commission for any of the following circumstances.
- For through garages where doors are provided on the front and rear of the building; or
 - Garages located on corner or through lots; or
 - Where it is determined that a rear garage door would have a negative impact on an abutting residential district.

Overhead doors do not face any roadway.

- K. A vehicle wash establishment building, and its accessory uses and buildings shall be located not less than one hundred (100) feet from any right-of-way line or from any side or rear lot line abutting a residential district.

The proposed building is setback at least one hundred (100) feet from the edge of both Woodland Drive (pvt.) and Outer Drive (pvt). The building is setback approximately eighty-seven (87) feet from the adjacent residential property line to the northwest; a variance (Case V-23-01) was granted allowing for the reduced setback from the residential district.

- L. No permitted activity shall emit noise that is readily discernable to the average person in any adjacent residential zone district providing that air handling equipment in property working condition deemed to comply with this provision is located on a roof with intervening noise reduction baffles. Nothing herein shall be interpreted to relieve the property owner or operator of the need to comply with all noise regulations of the City.

Information/detail on the level of noise generated by the car wash and vacuums needs to be submitted to show how noise generated by the use will comply with this requirement.

- 6) Approximately the western most one hundred and twenty (120) feet of the existing parking lot will be removed and converted into green space (see Exhibit 5).

Issues to Address

- The three (3) parcels will need to be combined into a single lot.
- Provide information on noise generation of car wash and vacuums.
- Submit revised operations plan.
- Permanent egress easement to East Beltline Avenue over adjacent property to the north.
- Permanent landscape easement on adjacent property to the north.

Exhibit 1: Project Location (2020 Aerial Photo)



Exhibit 2: View of Grade Change Along South Side of the Property



Exhibit 3: Egress Easement to East Beltline Avenue

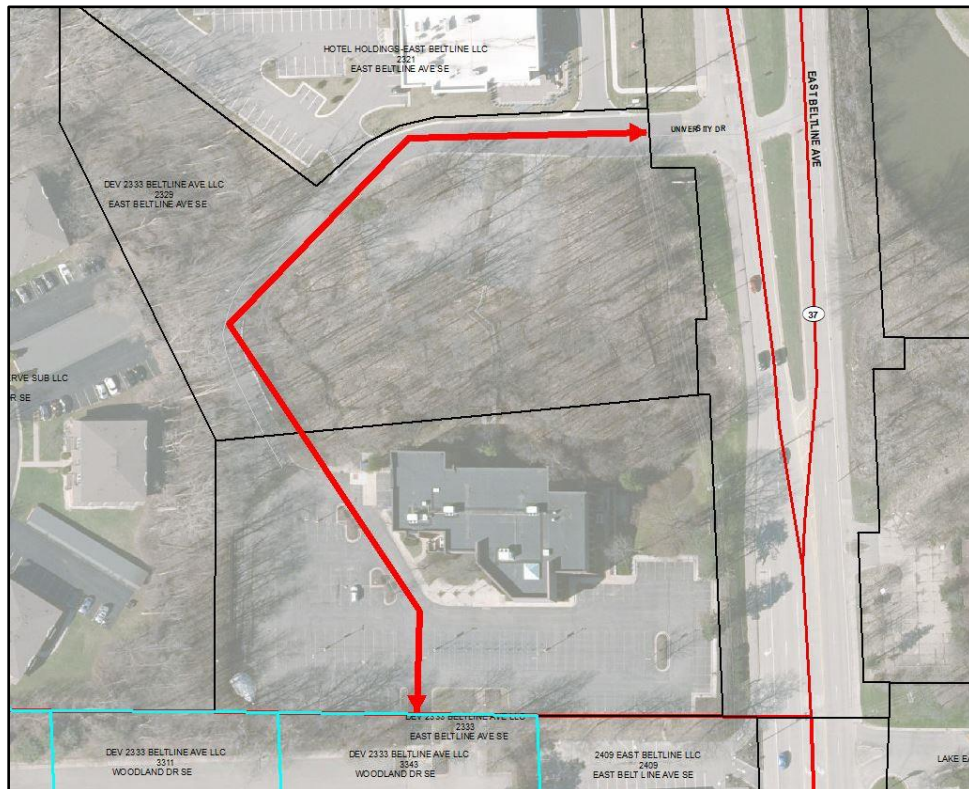


Exhibit 4: Location of Required Landscape Easement



Exhibit 5: Paved Area to be Converted to Greenspace



Exhibit 6: May 2023 Pictometry Photo (view from the south)





KENTWOOD PLAN REVIEW

Fire Department Information

Occupant ID: 24405

Inspection Date: 10/02/2023

Inspected By: QUICK, PATRICK

Facility Information

Occupant Name: DRIVE & SHINE

Business Address: 3311 Woodland Drive Southeast

Inspection Information

Inspection Type: SITE PLAN ONLY

Inspection Notes: Site plan for new building. See comments.

Fire Code Reference

Description	Comments
All combustible debris, rubbish and waste material must be removed daily, and shall not be disposed of by burning. (IFC 304.1, 3304.2)	
Approved vehicle access for fire fighting shall be provided to all construction or demolition sites prior to and during the time of construction. Access road(s) (20 feet wide, designed and maintained to support a vehicle weighing 20 tons on a single axle with dual wheels and standard road tires) shall be constructed as required. This road may be gravel, but vehicle access must be maintained and unobstructed at all times. (IFC 501.4, 503.1.1, 503.2.3, 503.4, 3310.1)	
Provide fire lane(s) on the _____ side(s) of the building. Each side of the building where a fire lane is required must have an entrance as close to the middle as possible. The fire lane must be a minimum of 10 feet and a maximum of 30 feet from the building, and within 100 feet of all fire department connections. (IFC 503.1.1)	Curbs will need to be modified for KFD Ladder Truck access on site. Currently plans show curb and curb cuts are too tight for KFD Ladder Truck.
Install _____ inch Arabic numerals on the front of the building in a color that contrasts with the immediate background on which the numerals are mounted and that will be readily visible during normal daylight. (IFC 505.1 – 505.1.7)	8 inch numbers required on building facing Woodland Dr., or 4 inch numbers on the building and 4 inch numbers on a sign at the road.
Install supplementary _____ inch Arabic address numerals on a post or mailbox on the same side of the public road as, and directly in front of, the building in such a manner as to be readily visible to occupants of fire department vehicles on the public road. (IFC 505.1.2.4, 505.1.3)	Provide temporary address numbers during the construction phase.
Construction involving combustible building materials shall not occur until operable fire hydrants are in place within 500 road feet of the furthest point of any building being constructed. (IFC 3312.1)	

KENTWOOD FIRE DEPARTMENT
4775 Walma Ave., SE
Kentwood, MI 49508

Station 1: 616-554-0800
Station 2: 616-949-1780
Station 3: 616-534-7117

Install supplemental fire hydrants per site plan on a minimum 6" public water main. (IFC 507.5.2) Hydrants must be East Jordan 5BR with two 2-1/2" and one 4" outlet in conformance with Kentwood specifications and be painted safety yellow.

Additional hydrant(s) may be required due to distance from existing hydrants around site.

An approved automatic sprinkler system shall be provided _____ throughout the entire building or in specific portion(s)/area(s) identified by the Fire Marshal in accordance with the code. (IFC 903; NFPA 13)

Sprinkler system required if building exceeds 12,000 sq ft in size.

Signatures

First Name	Last Name	Signature Date
Pat	Quick	10/02/2023



September 22, 2023

Joe Pung
City of Kentwood Planning Department
4900 Breton Avenue, SE
Kentwood, MI 49518

RE: Site Plan Review – Operational Description

This operations description is for the proposed Drive and Shine located at 3311 Woodland Dr in the City of Kentwood.

Proposed Building: 23,400 sft car care center including a car wash, indoor vacuums, interior detail belt, and a lube center.

Proposed Use: Vehicle wash, outdoor vacuums, indoor vacuums, interior detailing, lube center.

Hours of Operation:

Exterior Car Wash

Mon-Sat: 7:30 am – 8:00 pm

Sun: 8:30 am – 7:00 pm

Oil Change

Mon-Fri: 8:00 am – 7:00 pm

Sat-Sun: 9:00 am – 6:00 pm

Interior Self Service

Mon-Sat: 7:30 am – 7:30 pm

Sun: 8:30 am – 6:30 pm

Number of Employees: 6

Expected Vehicles Per Hour: 78 vph for car wash peak hour, 14 vph for lube center peak hour (refer to Traffic Impact Analysis prepared by Fleis & Vandenbrink).

Thank you for your continued support of the project and working with our team to achieve site plan approval. Please let us know if there is any additional information you need at this time.

Sincerely,

AR ENGINEERING, LLC.

Andrew S. Rossell, P.E.

Principal Engineer

MEMO

VIA EMAIL haji@driveandshine.com

To: **Haji Tehrani**
Drive & Shine

From: **Jacob Swanson, PE**
Mary Ollis, EIT
Fleis & VandenBrink

Date: **June 20, 2023**

Re: **Proposed Drive & Shine Development**
3311 Woodland Drive, Kentwood, Michigan
Traffic Impact Study

1 INTRODUCTION

This memorandum presents the results of the Traffic Impact Assessment (TIA) for the proposed development in Kentwood, Michigan. The project site is located at 3311 Woodland Drive, generally in the northwest quadrant of the intersection of Beltline Avenue & Woodland Drive in Kentwood, MI, as shown on the attached **Figure 1**. The proposed development includes the construction of a Drive & Shine car wash and lube center. No changes to the existing site access are proposed, which will be maintained via one (1) shared Right-In/Right-Out (RIRO) only driveway on Woodland Drive, which is a private roadway. The City of Kentwood has required the completion of a Traffic Impact Study (TIS), as part of the site plan approval process.

The scope of work for this study was developed based on the requirements as outlined by the City of Kentwood, Fleis & VandenBrink's (F&V) knowledge of the study area, understanding of the development program, accepted traffic engineering practices, and information published by the Institute of Transportation Engineers (ITE). Sources of data for this study include F&V subconsultant Gewalt Hamilton Associates, INC. (GHA), the City of Kentwood, the Michigan Department of Transportation (MDOT), and ITE. Information on the study roadways is summarized in **Table 1** below and the existing lane use and traffic control are shown on the attached **Figure 2**.

Table 1: Roadway Information

Roadway	Beltline Avenue SE	Woodland Drive
Number of Lanes	5 lanes (2 lanes each direction TWLTL)	4 lanes (2 lanes each direction/median divided)
National Functional Classification	Other Principal Arterial	Local Road
Roadway Jurisdiction	MDOT	Private
Speed Limit	45 mph	25 mph
AADT	35,410 vpd (MDOT 2017)	N/A

2 DATA COLLECTION

F&V subconsultant GHA collected existing Turning Movement Count (TMC) data during the weekday MD (11:00 AM to 1:00 PM), weekday PM (4:00 PM to 6:00 PM), and Saturday (11:00 AM to 1:00 PM) peak periods while school was in session. Data collection was performed at the following study intersections:

- Beltline Drive SE & Woodland Drive
- Woodland Drive & Site Driveway

2960 Lucerne Drive, Suite 100
Grand Rapids, MI 49546
P: 616.977.1000
F: 616.977.1005
www.fveng.com

During collection of the turning movement counts, Peak Hour Factors (PHFs), pedestrian and bike volumes, and commercial truck percentages were recorded for use in the traffic analysis. The MD/SAT and PM peak hours for the adjacent roadway network were generally observed to occur on between 12:00 PM to 1:00 PM and between 4:30 PM to 5:30 PM, respectively. The raw traffic volumes shown on the attached data collection summaries were balanced upward at the site driveway to determine the existing peak hour traffic volumes at the study intersections, as shown on the attached **Figure 3**.

Additionally, F&V obtained the current signal timing permits from MDOT for the signalized study intersection of Beltline Avenue SE & Woodland Drive / Lake Eastbrook Boulevard SE. All applicable background data referenced in this memorandum is attached.

3 EXISTING (2023) CONDITIONS

Existing peak hour vehicle delays and Levels of Service (LOS) were calculated at the study intersections using Synchro (Version 11) traffic analysis software. The study analyses were based on the existing lane use and traffic control shown on the attached **Figure 2**, the existing peak hour traffic volumes shown on the attached **Figure 3**, and the methodologies presented in the *Highway Capacity Manual 6th, Edition* (HCM6).

Descriptions of LOS "A" through "F" as defined in the HCM6, are attached. Typically, LOS D is considered acceptable, with LOS A representing minimal delay, and LOS F indicating failing conditions. Additionally, SimTraffic network simulations were reviewed to evaluate network operations and vehicle queues. The results for the existing conditions analysis are attached and shown in **Table 2**.

Table 2: Existing Intersection Operations

Intersection	Control	Approach	Existing Conditions					
			MD Peak		PM Peak		SAT Peak	
			Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS
1 Beltline Avenue SE & Woodland Drive / Lake Eastbrook Boulevard SE	Signalized	EBL	43.6	D	56.5	E	49.9	D
		EBT	51.6	D	60.8	E	38.7	D
		EBR	37.3	D	41.8	D	32.4	C
		WBL	55.8	E	95.2	F	50.2	D
		WBT	42.3	D	93.5	F	50.4	D
		WBR	38.7	D	85.2	F	31.6	C
		NBL	43.8	D	49.1	D	44.9	D
		NBT	29.4	C	40.0	D	35.9	D
		NBR	12.4	B	11.4	B	16.3	B
		SBL	47.0	D	55.0	D	48.9	D
		SBT	24.5	C	27.4	C	30.2	C
		SBR	13.5	B	11.0	B	18.3	B
		Overall	31.1	C	42.3	D	34.7	C
2 Woodland Drive & Site Drive	Stop (Minor)	EB	Free					
		WB	Free					
		SB	9.2	A	9.1	A	10.0	B

The results of the existing conditions analysis indicates that all approaches and movements and study intersections are currently operating acceptably, at LOS D or better, during the MD, PM, and SAT peak hours, with the following exceptions:

Beltline Avenue SE & Woodland Drive / Lake Eastbrook Boulevard SE

- During the MD peak hour: The westbound left-turn movement is currently operating at LOS E.
- During the PM peak hour: The westbound approach is currently operating at LOS F. Additionally, the eastbound left-turn and through movements are currently operating at LOS E.

Although the Synchro intersection LOS analysis indicates poor/failing operations, review of SimTraffic network simulations indicates generally acceptable operations during all peak periods. The majority of the vehicle queues present were observed to be processed through the signalized intersection within each cycle length, leaving minimal residual queueing.

4 SITE TRIP GENERATION

The number of peak hour (weekday MD, weekday PM, and Saturday) and daily vehicle trips that would be generated by the proposed development was forecast based on data published by ITE in the *Trip Generation, 11th Edition*. The proposed development includes the construction of a car wash and quick lubrication shop. The site trip generation forecast utilized for the proposed development is summarized in **Table 3**.

Table 3: Trip Generation Summary

Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	MD Peak Hour (vph)			PM Peak Hour (vph)			SAT Peak Hour (vph)		
					In	Out	Total	In	Out	Total	In	Out	Total
Quick Lube Vehicle Shop	941	3	Stations	120	7	7	14	8	7	15	7	7	14
Automated Car Wash	948	1	Tunnels	780	39	39	78	39	39	78	39	39	78
Total				900	46	46	92	47	46	93	46	46	92

5 SITE TRIP DISTRIBUTION

The vehicular trips that would be generated by the proposed development were assigned to the study roads based on the proposed site access plan and driveway configurations, the existing peak hour traffic patterns in the adjacent roadway network, and the methodologies published by ITE. The ITE trip distribution methodology assumes that new trips will enter the network and access the development, then leave the development and return to their direction of origin. The site trip distributions utilized in the analysis are summarized in **Table 4**.

Table 4: Site Trip Distribution

		Distribution		
To/From	Via	MD	PM	SAT
North	Beltline Avenue SE	51%	49%	55%
South	Beltline Avenue SE	36%	38%	34%
East	Lake Eastbrook Boulevard	13%	13%	11%
		100%	100%	100%

The vehicular traffic volumes shown in **Table 3** were distributed to the roadway network according to the distribution shown in **Table 4**. The site-generated trips are shown on the attached **Figure 4**.

6 FUTURE CONDITIONS

The proposed development is anticipated to be constructed within the next 12 months; therefore, the existing (2023) peak hour traffic volumes were assumed to equal to the future year (2024) background traffic volumes for purposes of this study. The site-generated trips shown on the attached **Figure 4** were added to the existing peak hour traffic volumes shown on the attached **Figure 3**, in order to calculate the future peak hour traffic volumes with the addition of the proposed development, as shown on the attached **Figure 5**.

The future peak hour vehicle delays and LOS *with the proposed development* were calculated based on the future lane use and traffic control shown on the attached **Figure 2**, the proposed site access, the future traffic volumes shown on the attached **Figure 5**, and the methodologies presented in the HCM6. The results of the future conditions analysis are attached and summarized in **Table 5**.

The results of the future conditions analysis, with the addition of the site generated traffic, indicates that the study intersections are expected to continue operating in a manner similar to existing conditions.

Review of SimTraffic network simulations for the study network during the MD, PM, and SAT peak hours indicates acceptable operations, with the majority of vehicle queues observed to be serviced within each cycle length, similar to those observations made during existing conditions analysis.

Table 5: Future Intersection Operations

Intersection	Control	Approach	Existing Conditions						Future Conditions						Difference						
			MD Peak		PM Peak		SAT Peak		MD Peak		PM Peak		SAT Peak		MD Peak		PM Peak		SAT Peak		
			Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	
1	Beltline Avenue SE & Woodland Drive / Lake Eastbrook Boulevard SE	Signal	EBL	43.6	D	56.5	E	49.9	D	43.6	D	56.5	E	49.9	D	0.0	-	0.0	-	0.0	-
			EBT	51.6	D	60.8	E	38.7	D	51.6	D	60.8	E	38.7	D	0.0	-	0.0	-	0.0	-
			EBR	37.3	D	41.8	D	32.4	C	36.9	D	41.5	D	31.8	C	-0.4	-	-0.3	-	-0.6	-
			WBL	55.8	E	95.2	F	50.2	D	55.8	E	95.2	F	50.2	D	0.0	-	0.0	-	0.0	-
			WBT	42.3	D	93.5	F	50.4	D	43.6	D	105.5	F	52.6	D	1.3	-	12.0	-	2.2	-
			WBR	38.7	D	85.2	F	31.6	C	38.7	D	85.2	F	31.6	C	0.0	-	0.0	-	0.0	-
			NBL	43.8	D	49.1	D	44.9	D	44.3	D	49.8	D	44.6	D	0.5	-	0.7	-	-0.3	-
			NBT	29.4	C	40.0	D	35.9	D	29.4	C	40.0	D	35.9	D	0.0	-	0.0	-	0.0	-
			NBR	12.4	B	11.4	B	16.3	B	12.4	B	11.4	B	16.3	B	0.0	-	0.0	-	0.0	-
			SBL	47.0	D	55.0	D	48.9	D	47.0	D	55.0	D	48.9	D	0.0	-	0.0	-	0.0	-
			SBT	24.5	C	27.4	C	30.2	C	24.9	C	27.9	C	31.3	C	0.4	-	0.5	-	1.1	-
			SBR	13.5	B	11.0	B	18.3	B	14.2	B	11.4	B	19.7	B	0.7	-	0.4	-	1.4	-
			Overall	31.1	C	42.3	D	34.7	C	31.3	C	42.8	D	35.2	D	0.2	-	0.5	-	0.5	C→D
2	Woodland Drive & Site Drive	Stop (Minor)	EB	Free						Free						N/A					
			WB	Free						Free						N/A					
			SB	9.2	A	9.1	A	10.0	B	9.4	A	9.5	A	10.5	B	0.2	-	0.4	-	0.5	-

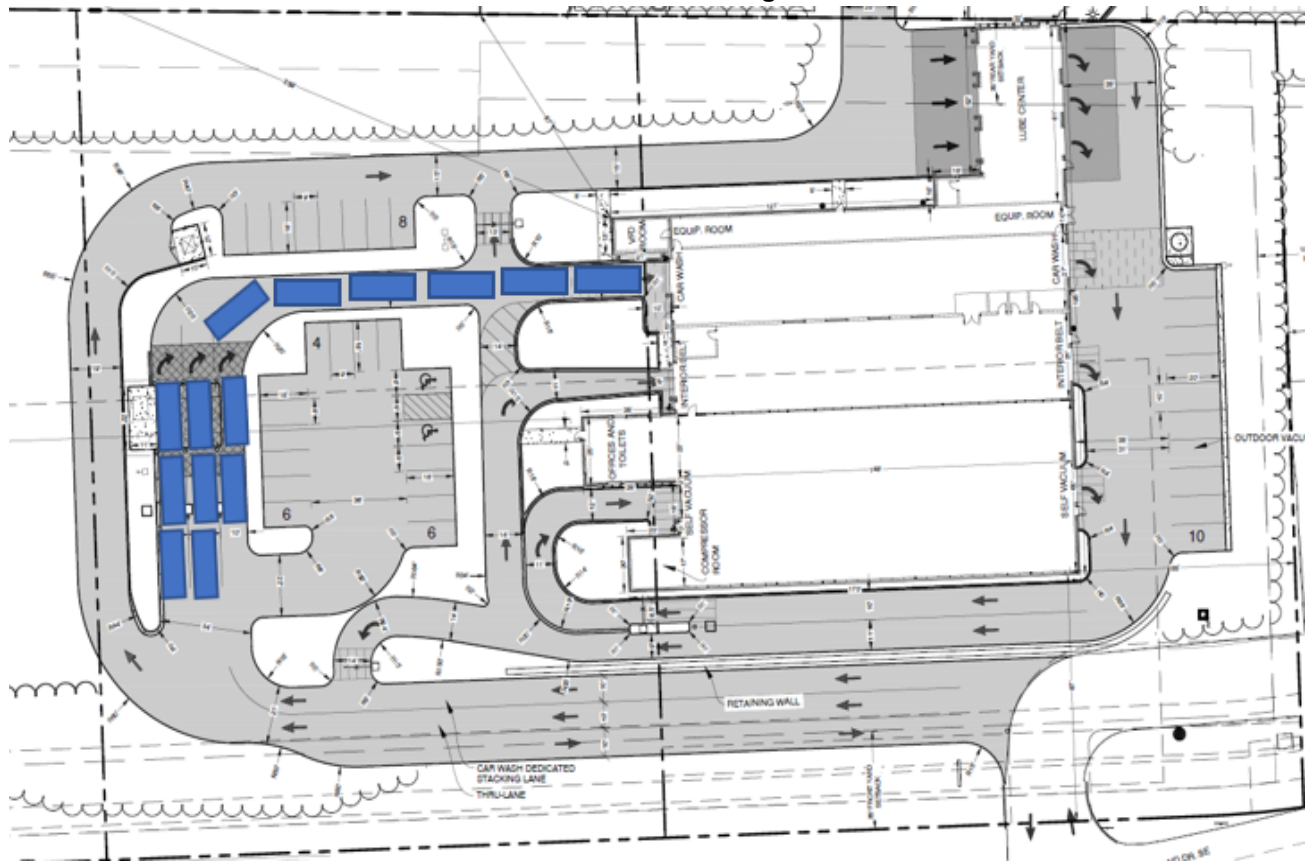
7 SITE CIRCULATION

The projected car wash vehicle queuing was reviewed to determine if the proposed on-site queue length for the car wash provides adequate storage to accommodate the projected operations. The proposed site includes three (3) drive-through lanes: Cash/Credit Card Payment (2 lanes) and the Unlimited Wash Club (1 lane). The typical service rate for a Drive & Shine Car Wash is 60 vehicles per hour, but they can process up to 120 vehicles per hour, as needed. For analysis purposes, it was assumed that the average Cash payment service rate is 60 seconds per vehicle and Unlimited Wash Club payment is 30 seconds per vehicle. Once paid, the vehicles enter the queue for the car wash tunnel which has a service rate of 18 seconds per vehicle. Additionally, it was assumed that the arriving vehicles were distributed equally among the three payment lanes.

Since the service rates for the site are higher than the projected demand for this site, a Poisson distribution analysis was performed to determine the projected queuing associated with random arrivals. The projected peak vehicle queue lengths are summarized in **Table 6** and shown on **Exhibit 1**. The projected vehicle queuing analysis indicates that the maximum anticipated arrivals can be adequately accommodated within the available queue length and will not impact operations along Woodland Drive.

Table 6: Vehicle Queuing Analysis

CAR WASH STACKING SPACES CASH/CREDIT		CAR WASH STACKING SPACES UNLIMITED WASH CLUB		CAR WASH STACKING SPACES TUNNEL	
Number of Arrivals	31	Number of Arrivals	15	Number of Arrivals	46
Time per Vehicle (s)	60	Time per Vehicle (s)	30	Time per Vehicle (s)	18
Service Rate (veh/hr)	60	Service Rate (veh/hr)	60	Service Rate (veh/hr)	60
Peak Arrival (veh)	5	Peak Arrival (veh)	3	Peak Arrival (veh)	6
Vehicle Length	25	Vehicle Length	25	Vehicle Length	25
TOTAL QUEUE (ft)	125	TOTAL QUEUE (ft)	75	TOTAL QUEUE (ft)	150

Exhibit 1: Vehicle Queuing Exhibit

8 CONCLUSIONS

The conclusions of this TIA are as follows:

- The proposed development includes access via a private roadway, with a shared access driveway. No new access is proposed with the addition of the proposed development.
- The results of the future conditions analysis, with the addition of the site generated traffic, indicates that the study intersections are expected to continue operating in a manner similar to the existing conditions analysis. The impact of the proposed site generated traffic on the adjacent roadway will be negligible.
 - Additionally, review of SimTraffic microsimulations indicates acceptable operations throughout the study roadway network. The majority of vehicle queues present were observed to be serviced within each cycle length, leaving minimal residual vehicle queuing.
- The projected vehicle queuing generated by the proposed car wash operations can be adequately accommodated on the site and is not anticipated to impact the internal site circulation or the adjacent roadway network.

9 RECOMMENDATIONS

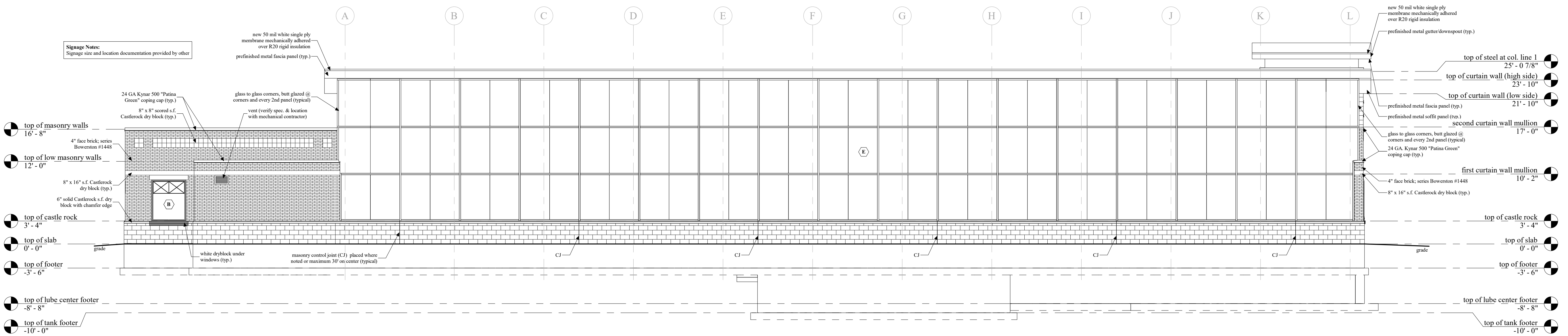
- The results of the TIS analysis indicates that the proposed development can be accommodated within the existing transportation network.

Any questions related to this memorandum, study, analysis, and results should be addressed to Fleis & VandenBrink.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

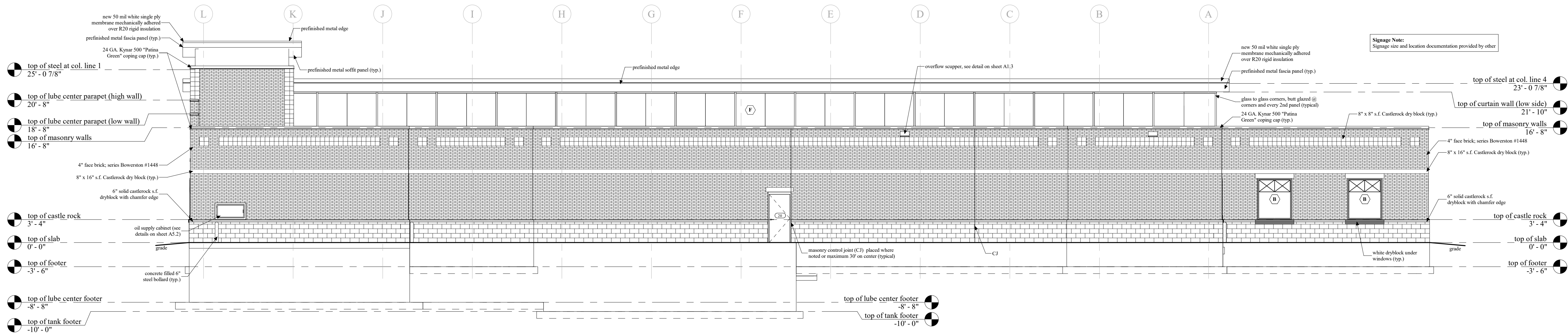
Attached: Figures 1-5
 Proposed Site Plan
 Traffic Volume Data
 Signal Timing Permit
 Synchro / SimTraffic Results



1
A2.0

South Elevation

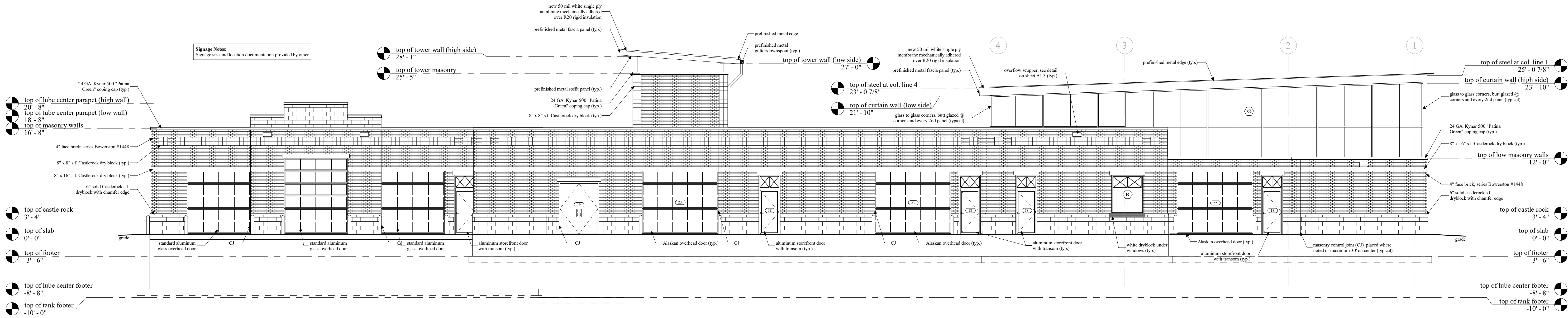
1/8" = 1'-0"



2
A2.0

North Elevation

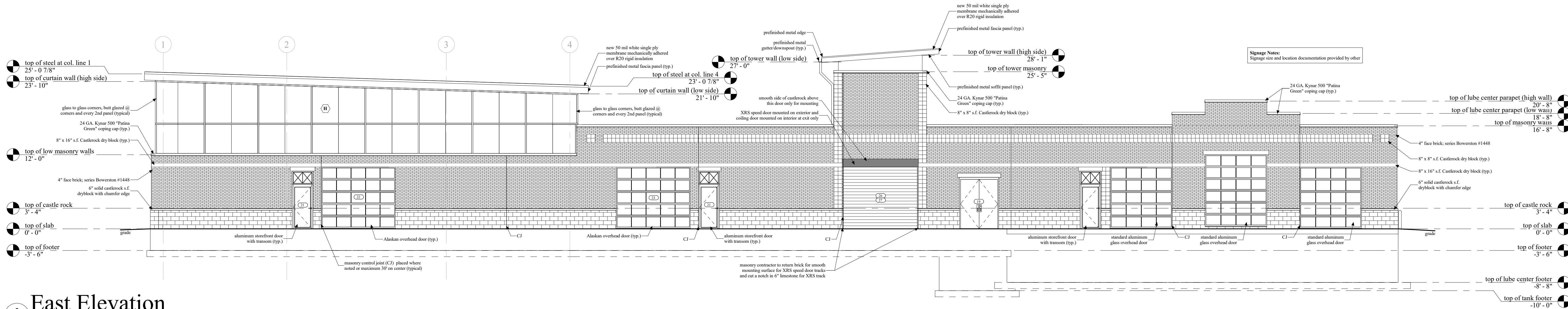
1/8" = 1'-0"



West Elevation

1
A2.1

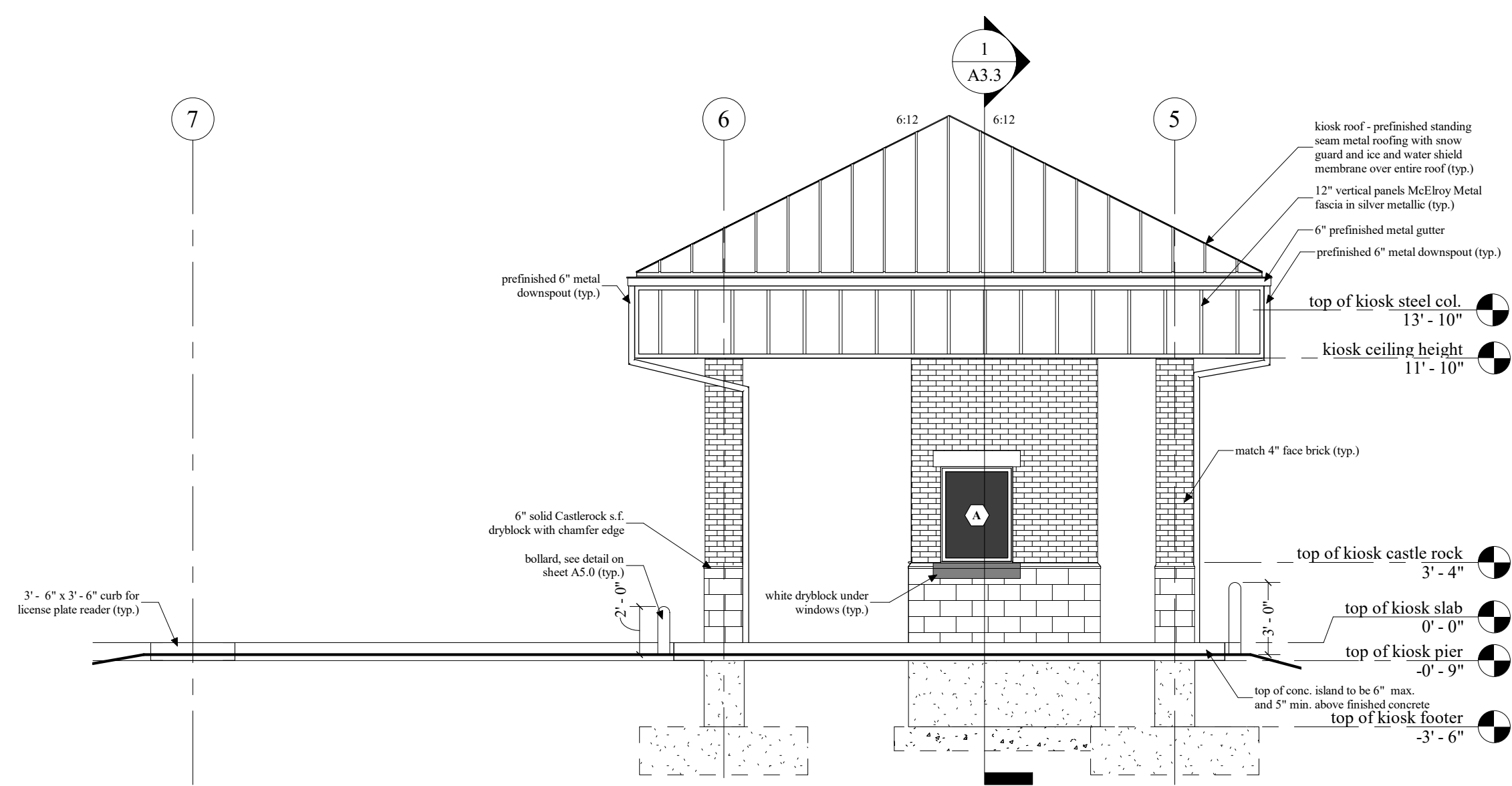
1/8" = 1'-0"



East Elevation

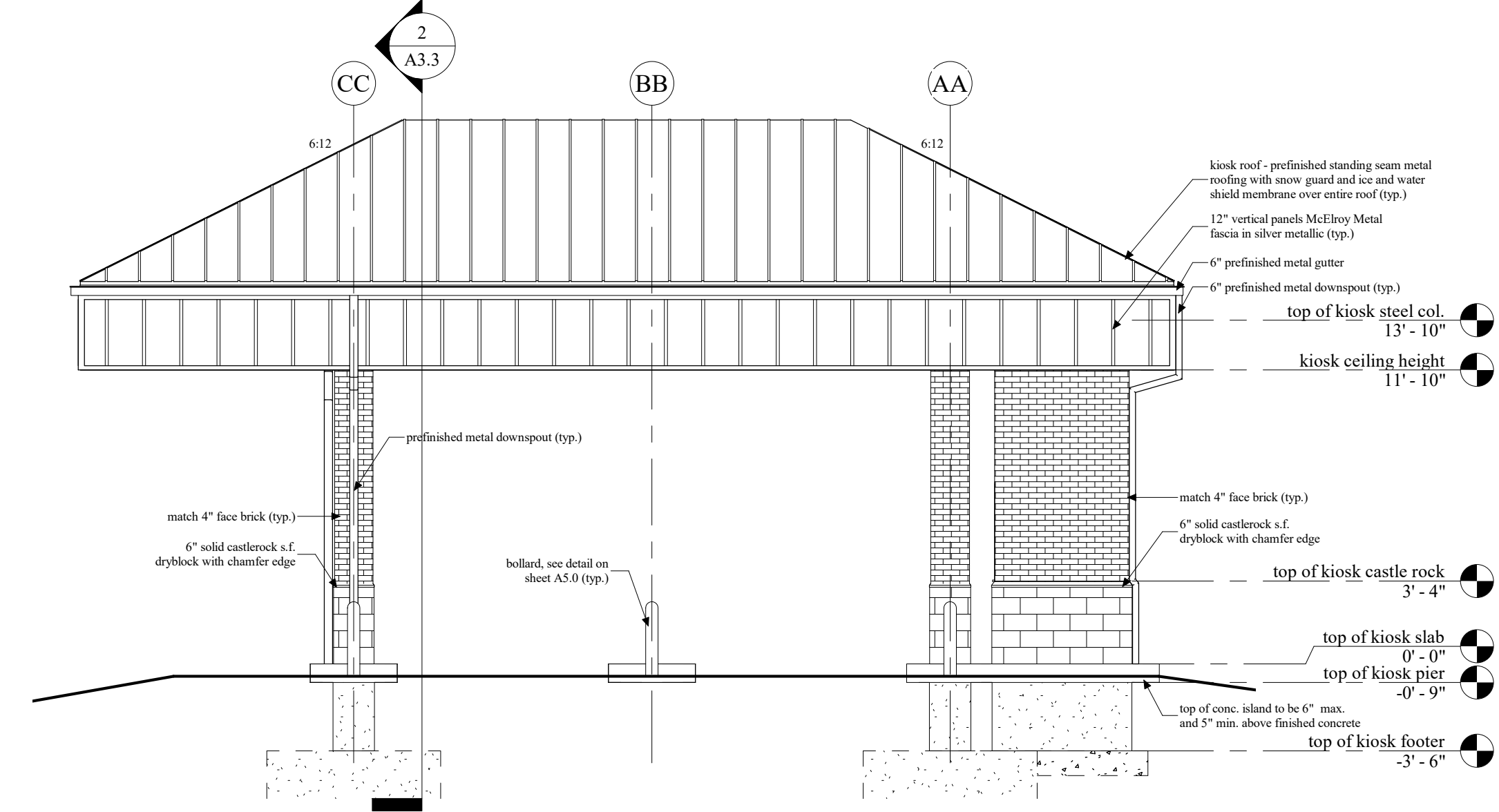
2
A2.1

1/8" = 1'-0"



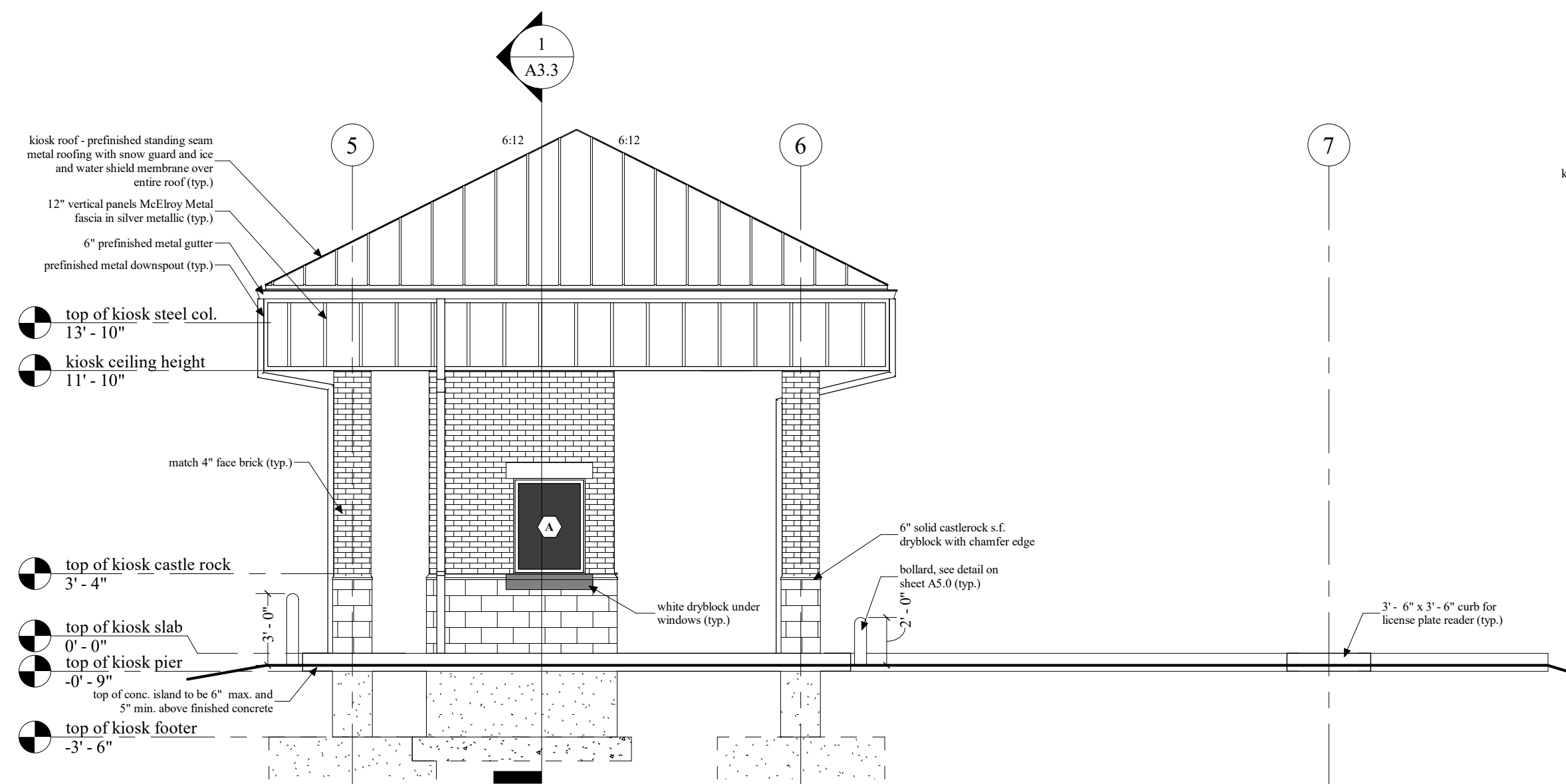
1 Kiosk - East Elevation

3/16" = 1'-0"



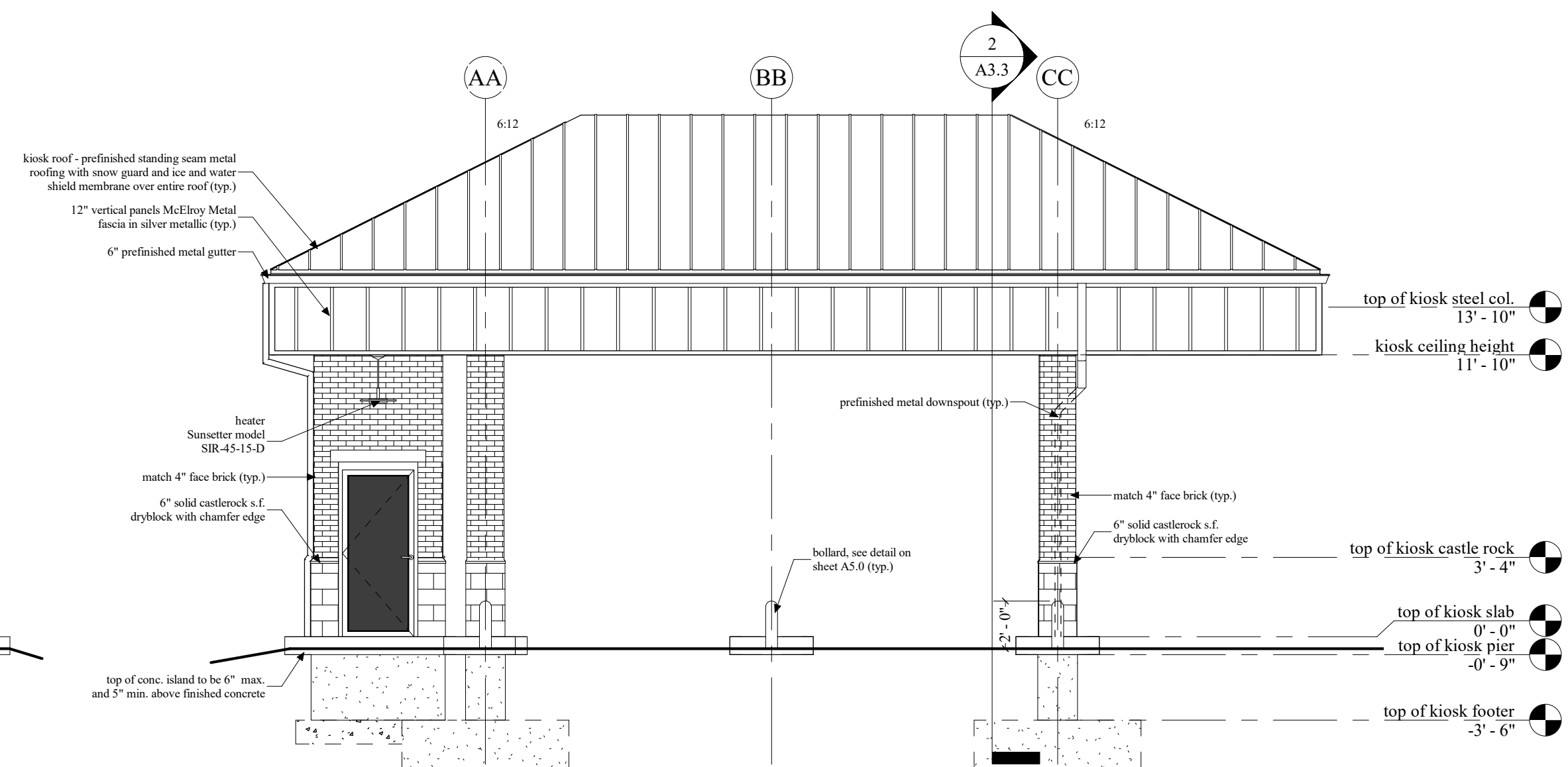
2 Kiosk - North Elevation

3/16" = 1'-0"



3 Kiosk - West Elevation

3/16" = 1'-0"



4 Kiosk - South Elevation

3/16" = 1'-0"

DRIVE & SHINE H30

**3311 WOODLAND DR SE
SECTION 11, T.06N, R.11W
CITY OF KENTWOOD
KENT COUNTY, MI**

**SITE DEVELOPMENT PLANS
SEPTEMBER 18, 2023**

ISSUED FOR: SITE PLAN REVIEW

SHEET INDEX

No.	SHEET TITLE
T1.0	TITLE SHEET
C0.0	OVERALL SITE PLAN
C1.0	EXISTING CONDITIONS
C1.1	DEMOLITION PLAN
C2.0	SITE LAYOUT
C3.0	UTILITY PLAN
C4.0	GRADING - SESC PLAN
C5.0	DETAILS
L1.0	LANDSCAPE PLAN
L2.0	PHOTOMETRIC PLAN
.	.
.	.

OWNERS:

DEV 2333 BELTLINE AVE
16915 CLEVELAND RD.
GRANGER, IN 46530

DEVELOPER:

DRIVE & SHINE, INC
16915 CLEVELAND RD.
GRANGER, IN 46530

REVISIONS

No.	ISSUED FOR:	DATE:	BY:
0	SITE PLAN REVIEW	09/18/2023	cvk
1	.	.	.
2	.	.	.
3	.	.	.
4	.	.	.
5	.	.	.

CIVIL ENGINEER:

AR ENGINEERING, LLC.
5725 VENTURE PARK DRIVE, SUITE A
KALAMAZOO, MI 49008
TEL. (269) 250-5991 FAX. (866) 569-0604



ANDREW ROSSELL, P.E.

DATE

LOCATION MAP

NOT TO SCALE



42°55'09.7"N 85°35'10.1"W

LEGAL DESCRIPTION

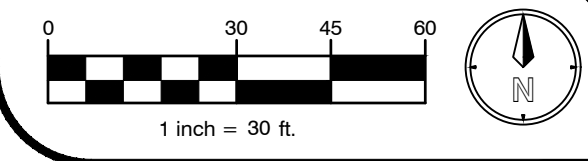
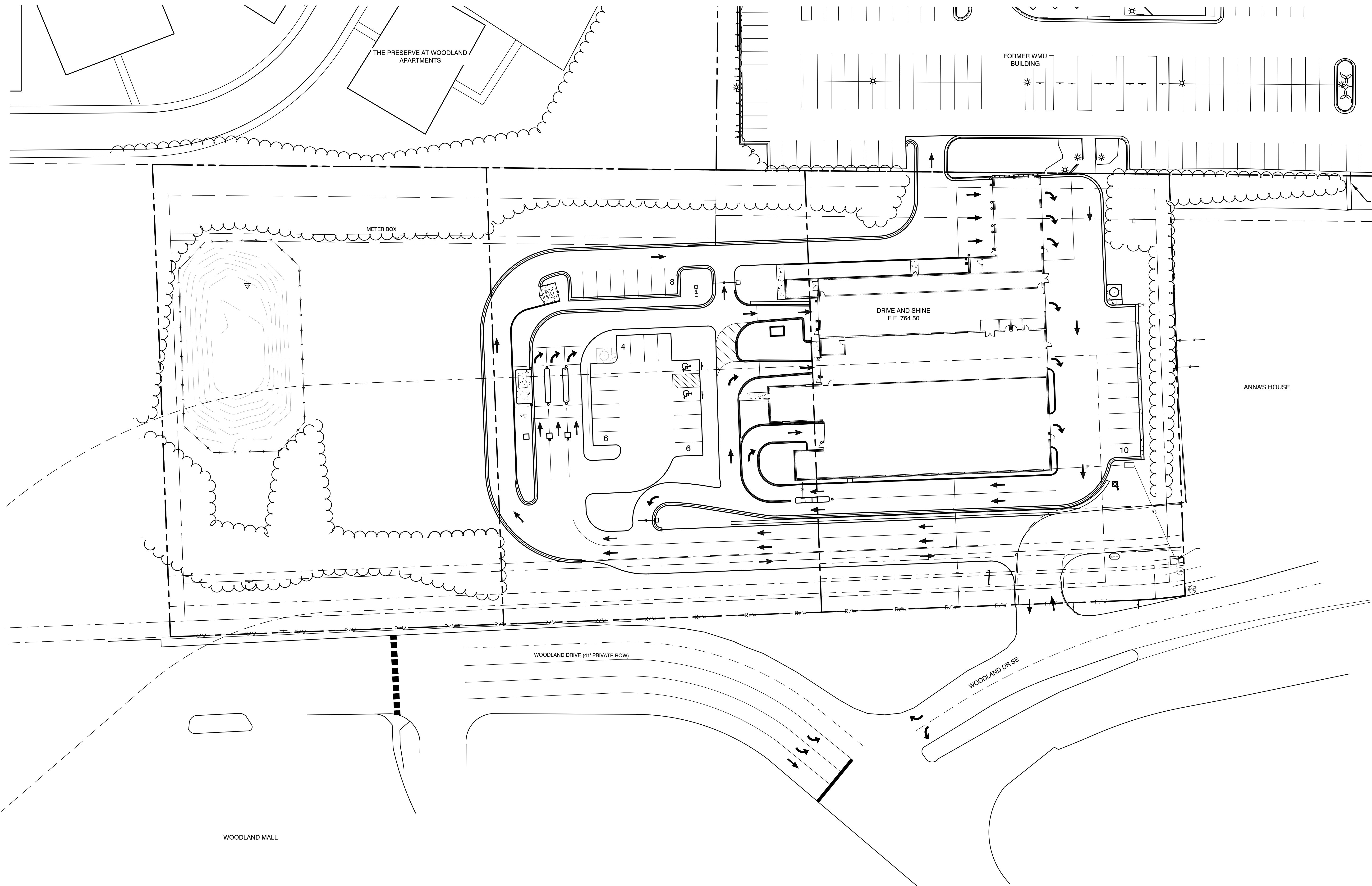
PARCEL #: 41-18-11-302-005, 41-18-11-302-004, 41-18-11-302-003

PARCELS 1, 2 AND 3:

LOTS 2, 3 AND 4, PLAT OF WOODLAND MALL, PART OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 6 NORTH, RANGE 11 WEST, AND PART OF THE SOUTHWEST 1/4 OF SECTION 11, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEROF AS RECORDED IN LIBER 77 OF PLATS, PAGE 44.

UTILITY CONTACTS

CABLE	AT&T 955 36TH ST SE GRAND RAPIDS, MI 49508 616-510-5768	TELEPHONE	AT&T 955 36TH ST SE GRAND RAPIDS, MI 49508 616-510-5768
WATER	CITY OF GRAND RAPIDS 300 MONROE AVE NW GRAND RAPIDS, MI 49503 616-456-300	SEWER	CITY OF GRAND RAPIDS 300 MONROE AVE NW GRAND RAPIDS, MI 49503 616-456-300
GAS	DTE ENERGY 444 WEALTHY ST SW GRAND RAPIDS, MI 49503 616-632-2631	ELECTRIC	CONSUMERS ENERGY 176 FULTON ST GRAND RAPIDS, MI 49503 800-477-5050
		MISS DIG	811



PLANS PREPARED BY:



DRAWN: ar
CHECKED: ASR

No.	ISSUED FOR:	DATE	BY
0	SITE PLAN REVIEW	09/18/2023	ar
1			
2			
3			
4			

OVERALL SITE PLAN
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

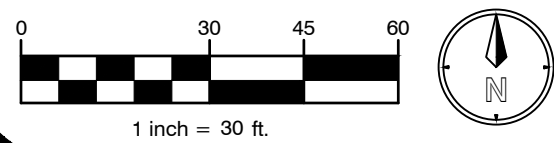
JOB NUMBER
2139006

DATE
09/18/2023

SHEET NUMBER
C0.0

SURVEYOR'S NOTES

- THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES ONLY. UNDERGROUND UTILITIES/STRUCTURES MAY EXIST ON SUBJECT PARCEL. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS BEGIN, MISS DIG SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPES AND FOR FIELD LOCATIONS.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, IN THE SURVEYOR'S OPINION, THE RELATIVE POSITIONAL PRECISION OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.
- PARCELS 1, 2, AND 3 ALL LIE WITHIN ZONE C (AREAS OF MINIMAL FLOODING) PER NATIONAL FLOOD INSURANCE RATES MAPS WITH COMMUNITY PANEL NUMBER 260107-0010B (EFFECTIVE DATE OF 11/18/81) AND COMMUNITY PANEL NUMBER 260106-0020C (EFFECTIVE DATE OF 11/5/82).
- THE PORTION OF PARCEL 1 HAS 167 PARKING SPACES AND 16 DISABLED PARKING SPACES. THE PARKING SPACES ON PARCEL 3 WERE INDISTINGUISHABLE AT TIME OF SURVEY.
- PARCELS 1, 2 AND 3 ARE CONTIGUOUS AND HAVE NO GAPS OR GORES. COMBINED PARCEL AREA IS 10.8 ACRES, MORE OR LESS.
- PROPERTY CORNERS SHOWN AS SET ARE 5/8" X 18" IRON BARS WITH RED PLASTIC CAPS MARKED "F.T.C.H. PS 52479" OR AS NOTED. PROPERTY CORNERS SHOWN AS FOUND ARE AS NOTED ON SURVEY DRAWING.
- BASIS OF BEARING: EAST-WEST 1/4 LINE, SECTION 11, TOWN 6 NORTH, RANGE 11 WEST, CITY OF GRAND RAPIDS, KENT COUNTY, MICHIGAN PER WARRANTY DEED RECORDED IN LIBER 2095, PAGE 405, KENT COUNTY RECORDS.
- VERTICAL DATUM: NAVD 88, GPS DERIVED
- A PORTION OF WOODLAND DRIVE WAS LOCATED USING AERIAL IMAGERY.



BENCHMARK INFORMATION

BM-A
CHISELED X ON SW BOLT OF LIGHT POLE, IN PARKING LOT ISLAND, EAST SIDE OF LOT, SOUTH OF 2333 EAST BELTLINE BUILDING
ELEVATION : 761.73

BM-B
CHISELED SQUARE ON NORTH SIDE OF LIGHT BASE, EAST SIDE OF PARKING LOT, SECOND PARKING LOT SOUTH OF 2333 EAST BELTLINE BUILDING.
ELEVATION : 766.79

PLANS PREPARED BY:



DRAWN: ar
CHECKED: ASR

No.	ISSUED FOR:	DATE	BY
0	SITE PLAN REVIEW	09/18/2023	ar
1			
2			
3			
4			

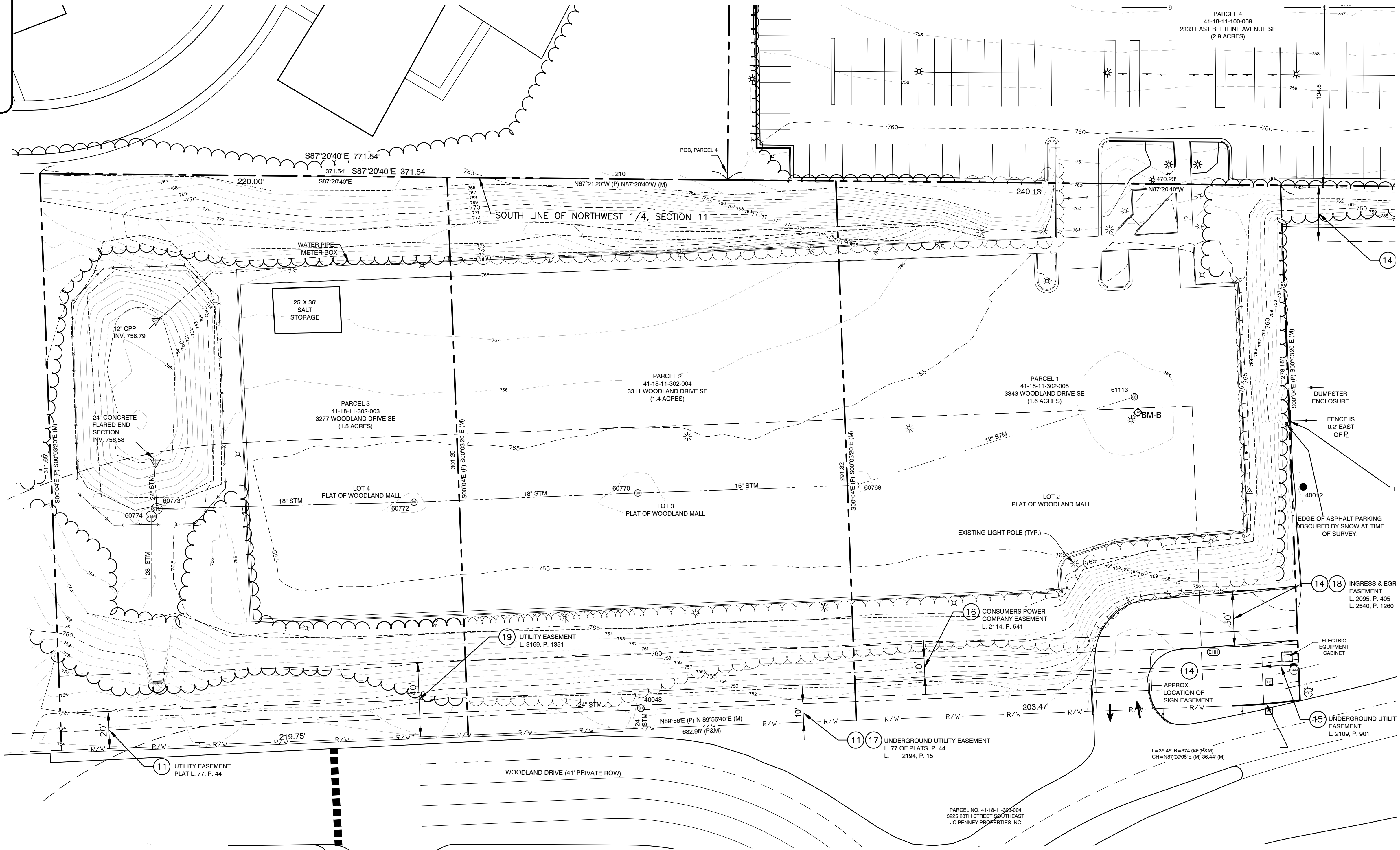
EXISTING CONDITIONS
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
2139006
DATE
09/18/2023

SHEET NUMBER
C1.0

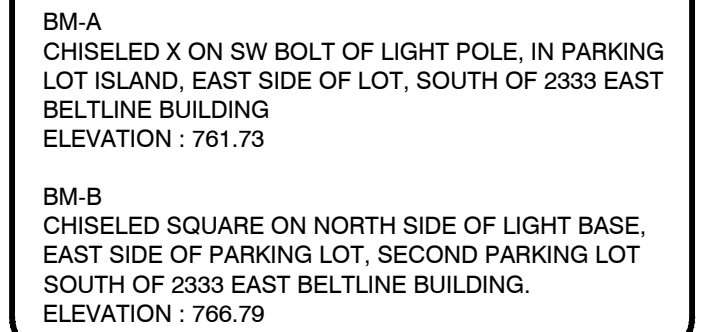
EXISTING STRUCTURES				
STRUCTURE	RIM	Ø PIPE DIR.	INVERT	NOTES
30035	753.99	6" W	741.79	4' PRECAST
		6" NE	741.59	
30036	747.14	12" RCP SSE	744.44	DOMED CB/FLOODED
30229	756.58	4" PVC E	752.48	2' PRECAST/DOMED
		4" PVC W	752.48	
30232	756.73	8" METAL SW	755.03	4' PRECAST
		4" CPP E	754.28	
		6" PVC S	752.23	
		6" PVC N	750.83	
		8" PVC E	752.03	
		12" RCP W	750.93	
		BOTTOM	749.23	
40012	753.72	6" PVC E	752.47	2' PLASTIC
		6" PVC W	752.37	DIRT IN BOTTOM
				MAY BE A LEACH BASIN
40048	751.00	24" RCP W	744.00	4' BLOCK
		24" RCP S	744.55	
		BOTTOM	742.75	
60153	753.02	12" RCP SE	748.72	4' PRECAST
		18" PVC N	748.72	
60396	755.88	3" PVC SSE	751.41	4' PRECAST
		12" RCP NW	750.76	
		12" RCP E	750.66	
60706	763.81	12" RCP NE	758.86	4' PRECAST
		15" RCP W	758.71	
		BOTTOM	756.51	
60770	763.54	15" RCP E	757.79	4' PRECAST
		18" RCP W	757.74	
		BOTTOM	755.34	
60772	763.85	18" RCP E	756.60	4' PRECAST
		18" RCP W	756.50	
		BOTTOM	754.75	
60773	764.34	24" RCP N	755.04	8' PRECAST WITH 60774
		18" RCP E	755.04	
		2" TO 3" ORIFICE	755.04	
		BOTTOM	755.04	
60774	764.35	2" TO 3" ORIFICE	754.85	
		28" RCP S	755.05	
61113	763.29	12" S	760.14	4' PRECAST
		BOTTOM	756.19	
70000	755.15	3" CPP S	751.35	
		12" PVC NW	750.75	



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: FISHBECK

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE CITY OF KENTWOOD, MICHIGAN AND KENT COUNTY.
3. CONTACT "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
6. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR THIS SITE BY.
7. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
8. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
9. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
10. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL AREAS REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
11. SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
12. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
13. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
14. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
15. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
16. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
17. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
18. CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TRIP PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.

	PAVEMENT REMOVAL
	BUILDING REMOVAL
	SAWCUT
	TREE REMOVAL
	REMOVE
	PROTECT
	CURBS & GUTTER REMOVAL
	UTILITY LINE REMOVAL



EXISTING STRUCTURES				
STRUCTURE	RIM	O PIPE DR.	INVERT	NOTES
30030	753.99	6" W	741.79	4" PRECAST
		6" NE	741.59	
30036	747.14	12" RCP SSE	744.44	DOMED CB/LOWED
30229	756.58	4" PVC E	752.48	2" PRECAST/DOMED
		4" PVC W	752.48	
30232	756.73	3" METAL SW	755.53	4" PRECAST
		4" CPP E	754.28	
		6" PVC S	752.23	
		6" PVC N	750.83	
		6" PVC E	752.03	
		12" RCP W	750.83	
		BOTTOM	749.23	
40012	753.72	6" PVC E	752.47	2" PLASTIC
		6" PVC W	752.37	DIRT IN BOTTOM
				MAY BE A LEACH BASIN
40048	751.00	24" RCP W	744.60	4" BLOCK
		24" RCP S	744.55	
		BOTTOM	742.75	
60153	753.02	12" RCP SSE	748.72	4" PRECAST
		16" PVC N	748.72	
60398	755.86	3" PVC SSE	751.41	4" PRECAST
		12" RCP NW	750.76	
		12" RCP E	750.66	
60798	763.81	12" RCP NE	758.86	4" PRECAST
		15" RCP W	758.71	
		BOTTOM	758.51	
60770	763.54	15" RCP E	757.79	4" PRECAST
		16" RCP W	757.74	
		BOTTOM	755.34	
60772	763.85	16" RCP E	756.60	4" PRECAST
		16" RCP W	756.50	
		BOTTOM	754.75	
60773	764.34	24" RCP N	755.04	6" PRECAST WITH 60774
		24" RCP E	755.04	
		2" TO 3" GRIFICE	755.04	
		BOTTOM	755.04	
60774	764.35	2" TO 3" GRIFICE	754.85	
		26" RCP S	755.05	
61113	763.29	12" S	760.14	4" PRECAST
		BOTTOM	758.19	
70000	755.15	3" CPP S	751.35	
		12" PVC NW	750.75	



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AWN:	ar
ECKED:	ASR

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DEMOLITION PLAN
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
2139006

DATE
09/18/2023

SHEET NUMBER

C1.1

SITE DATA

1. PROPERTY INFORMATION:
PARCEL #S: 41-18-11-302-003, 41-18-11-302-004, & 41-18-11-302-005
SITE AREA: 196,020 SF (4.5 AC)
OWNER: DEV 2333 BELTLINE AVE
16915 CLEVELAND RD.
GRANGER, IN 46530
DEVELOPER: DRIVE & SHINE, INC
16915 CLEVELAND RD.
GRANGER, IN 46530
2. ZONING:
PROPERTY CURRENTLY ZONED: C-3 REGIONAL COMMERCIAL
ABUTTING PROPERTY CURRENTLY ZONED: NORTH: CITY OF GRAND RAPIDS
NOS-NEIGHBORHOOD OFFICE SERVICE & MDR MIXED DENSITY RESIDENTIAL
SOUTH: C-3 REGIONAL COMMERCIAL
EAST: C-3 REGIONAL COMMERCIAL
WEST: C-3 REGIONAL COMMERCIAL
PROPOSED LAND USE = VEHICLE WASH
*REZONED TO CONDITIONAL C-2 COMMUNITY COMMERCIAL ON 12/06/2022
3. SETBACKS
FRONT = 35'
SIDES = NONE WHEN ADJACENT TO C-2,C-3,I-1 OR I-2
REAR = 30' (50' AGAINST RESIDENTIAL)
4. PARKING:
VEHICLE WASH = 1 SPACE FOR EACH EMPLOYEE
6 EMPLOYEES = 6 SPACES
REQUIRED = 1 PARKING SPACE PER 250 SF. OF GROSS FLOOR AREA
19,622 SF / 250 = 79.3 = 79
PROVIDED = STANDARD 9'X18' SPACES (6 FUTURE VACUUM SPACES) = 22
10'X20' VACUUM SPACES = 10
BARRIER FREE SPACES = 2
TOTAL PROVIDED = 34
*DEFERRED PARKING ALLOWED BY ZONING ADMINISTRATOR
5. BUILDING:
SINGLE STORY (28'-1")
MAXIMUM HEIGHT: N/A
TOTAL AREA OF 23,400 SFT. (SEE FLOOR PLAN AND ELEVATIONS FOR MORE DETAIL)
PROPOSED BUILDING COVERAGE: 12%
MAXIMUM BUILDING COVERAGE: 75%
6. LOT:
MINIMUM LOT SIZE: 11,050 SFT
MINIMUM LOT WIDTH: 85'
LOT SIZE: 196,020 SFT / 4.5 ACRES
LOT DIMENSIONS: IRREGULAR
7. LANDSCAPING:
SHALL BE IN ACCORDANCE WITH LANDSCAPING PLAN.
8. STORM WATER DETENTION REQUIRED:
STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY STORM WATER GUIDELINES.

SITE PLAN NOTES

- A CONCRETE PAVEMENT (SEE DETAIL SHEET).
B 13' X 10' (MIN.) - DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS).
C INTEGRAL CURB/WALK (SEE DETAIL SHEET).
D EXIT GATE (SEE DETAIL SHEET).
E LIGHTED MONUMENT SIGN W/ UNDERGROUND ELECTRIC. A SIGN PERMIT IS REQUIRED FOR ALL NEW SIGNAGES - APPLICATION WILL BE SUBMITTED AFTER SITE PLAN APPROVAL.
F BUILDING SIGN.
G ENTRY GATE.
H ATTENDANT SHELTER (SEE ARCHITECTURAL PLANS).
I CANOPY SHELTER (SEE ARCHITECTURAL PLANS).
J BOLLARDS - (24) TOTAL (TYP.).
K DOWNSPOUT (TYP.).
L PAINT/ STRIPING (SEE DETAIL SHEET) (TYP.).
M 4" PAINTED PARKING LOT MARKING/ STRIPING (TYP.).
N LIGHT POLE (SEE L2.0 PHOTOMETRIC SHEET) (TYP.).
O 6" DIA. FLAG POLE BASE, FLAG POLE AND HARDWARE BY OWNER, CONTRACTOR TO INSTALL BASE AND FLAG POLE. (SEE DETAIL SHEET).
- P 10' X 10' VACUUM ENCLOSURE (SEE ARCHITECTURAL PLANS).
Q 3'-6" X 22'-11" STAINLESS CURB BY OWNER, INSTALLED BY CONTRACTOR.
R CONCRETE CURB AND GUTTER - MDOT DETAIL F4 (SEE DETAIL SHEET).
S ROLLED CURB (SEE DETAIL SHEET).
T 10'-6" X 22'-11" STAINLESS CURB BY OWNER, INSTALLED BY CONTRACTOR.
U 6" BARRIER CURB - MDOT E2 (SEE DETAIL SHEET).
V 2" WIDE 2' DEEP PINNED TO CURB AND (2) #5 BAR HORIZONTAL THE ENTIRE LENGTH (FOR VACUUM SUPPORT).
W 3'-6" X 3'-6" LPR STAINLESS CURB BY OWNER, INSTALLED BY CONTRACTOR (SEE DETAIL SHEET).
X 3'-6" X 3'-6" LPR CURB FORMED AND INSTALLED BY CONTRACTOR (SEE DETAIL SHEET), NO STAINLESS CURB FOR THIS LPR.
Y GUARDRAIL.
Z XPT ENCLOSURES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR. VERIFY LOCATION WITH OWNER. (SEE ARCHITECTURAL PLANS).
AA 1' MOUNTABLE CURB (SEE DETAIL SHEET).
AB CONCRETE CURB AND GUTTER - MDOT DETAIL C2 (SEE DETAIL SHEET).

LEGEND

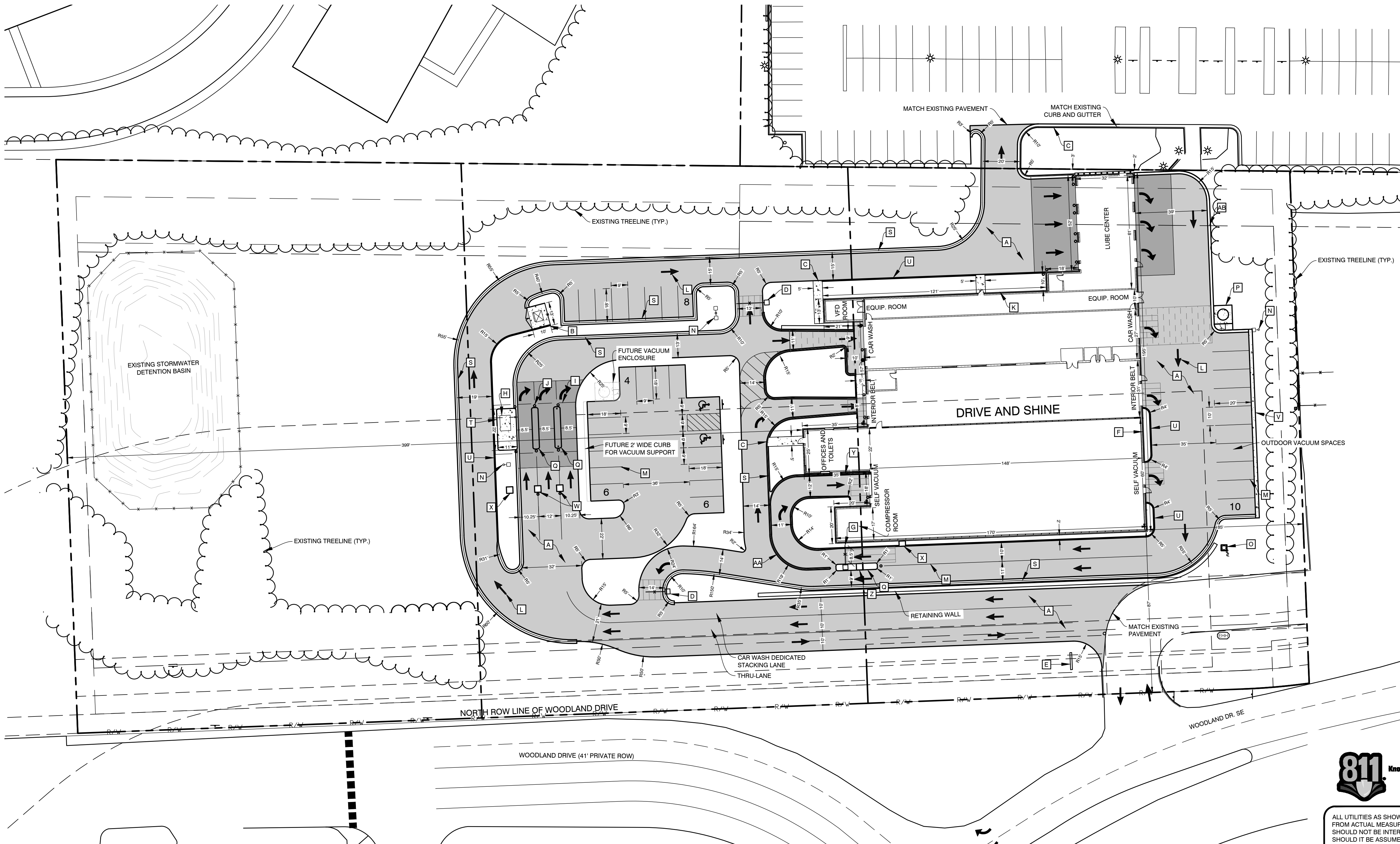
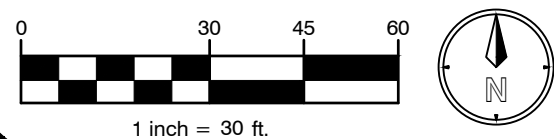
- STANDARD CONCRETE PAVEMENT (SEE DETAIL SHEET)
BLACK PIGMENT DYED CONCRETE PAVEMENT W/ FIBER REBAR 1' O.C.
SNO-MELT SYSTEM (SEE M/E/P PLANS)
CONCRETE SIDEWALK (SEE DETAIL SHEET)
#3 FIBERGLASS REBAR 1' O.C. (LOOPS PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR)

GENERAL NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. ALL CURB RADI AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
4. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING, SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.

BENCHMARK INFORMATION

BM-A
CHISELED X ON SW BOLT OF LIGHT POLE, IN PARKING LOT ISLAND, EAST SIDE OF LOT, SOUTH OF 2333 EAST BELTLINE BUILDING
ELEVATION : 761.73
BM-B
CHISELED SQUARE ON NORTH SIDE OF LIGHT BASE, EAST SIDE OF PARKING LOT, SECOND PARKING LOT SOUTH OF 2333 EAST BELTLINE BUILDING.
ELEVATION : 766.79



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: FISHBECK

PLANS PREPARED BY:



DRAWN: ar
CHECKED: ASR

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SITE LAYOUT
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
2139006

DATE
09/18/2023

SHEET NUMBER
C2.0

SITE MATERIALS & CONSTRUCTION NOTES

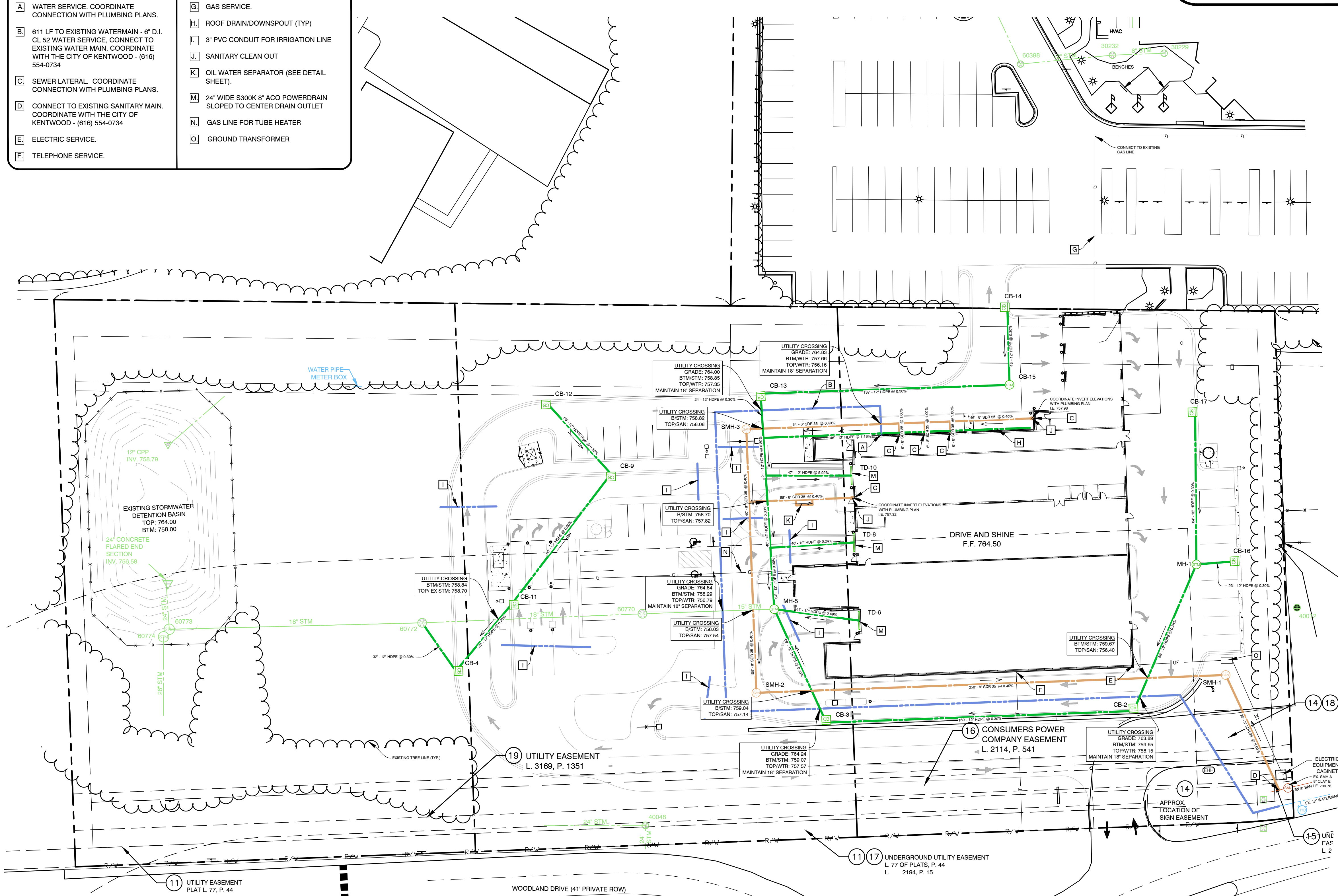
- SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN-OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
- REMOVE ALL SUBGRADE GRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL.
- STORM SEWER SHALL BE CORRUGATED HDPE PIPE WITH SMOOTH INTERIOR WALL, BY ADS OR EQUAL. LEACHING BASINS AND MANHOLES ARE TO BE REINFORCED CONCRETE WITH RIM AND SLOTTED GRATING (AS SHOWN). STORM SEWER & LEACHING BASINS ARE TO BE WRAPPED WITH FILTER FABRIC.
- SANITARY SEWER PIPE MAY BE PVC SDR 3034 MATERIAL.
- ALL WATER SERVICE LINES SHALL BE 6" D.I. PIPE WITHIN 5' OF BUILDING, WITH COMPRESSION FITTINGS OR MECHANICAL FITTINGS OTHER THAN FLARED ENDS. PROVIDE 5' COVER FROM FINISHED GRADE.
- PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL WATER SERVICE LINES, IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
- PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL SANITARY SEWER LINES, IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
- MAINTAIN 10 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN THE SEWER AND WATER MAIN UTILITIES. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE UTILITIES CROSS.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- EXTERIOR CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE 4 - 6 % AIR ENTRAINMENT WITH A BROOM FINISH.
- EXPANSION JOINTS IN CONCRETE PAVEMENT AND WALLS SHALL BE 1/2" ASPHALT IMPREGNATED FULL DEPTH 40" O.C. MAXIMUM & AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING AT SIDEWALK WIDTH DIMENSION AND @ 10'-0" O.C. IN DRIVES.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.E.C. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
- ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
- ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
- ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
- WATER SERVICE PRESSURE TESTING AND CHLORINATION SHALL BE PER EGLE AND THE CITY OF KENTWOOD REQUIREMENTS.
- SANITARY SEWER INSTALLATION AND TESTING MUST MEET THE REQUIREMENTS OF THE CITY OF KENTWOOD AND THE EGLE.
- ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK.
- CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION, AND AT THE CONTRACTORS EXPENSE. IF ANY ELEMENTS OF THE SANITARY SEWER SYSTEM ARE DAMAGED AND NEED REPAIRED, IT MUST MEET THE CITY OF KENTWOOD SPECIFICATIONS.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER PAD PER THE UTILITY COMPANY SPECIFICATIONS.
- THE TELEPHONE UTILITY COMPANY SHALL PROVIDE UNDERGROUND TELEPHONE TO THE BUILDING AT THE OWNERS EXPENSE.
- REFER TO ELECTRICAL DRAWINGS FOR UNDERGROUND ELECTRICAL REQUIREMENTS FOR SITE LIGHTING & SITE DETAILS SHEETS FOR THE FIXTURE AND POLE SPECIFICATIONS.
- DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
- CONTRACTOR IS TO UNCOVER AND CONFIRM ALL TAP LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION.
- THE CONTRACTOR IS TO PROVIDE THE WATER SERVICE PIPING FROM THE BUILDING TO THE EXISTING WATERMAIN. THE CONTRACTOR SHALL MAKE THE CONNECTION TO THE SHUT OFF VALVE. THE CONTRACTOR SHALL COORDINATE SERVICES WITH THE CITY OF KENTWOOD.
- CONTRACTOR/OWNER SHALL OBTAIN UTILITY CONNECTION PERMITS AND SETTLE APPLICABLE UTILITY ASSESSMENTS PRIOR TO EXTENSION OF PUBLIC UTILITIES ONSITE.
- MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT. STORM STRUCTURES MUST ALL HAVE A SUMP OF TWO FEET.
- ALL WATER MAIN TO HAVE A BURIAL DEPTH AS REQUIRED BY THE EGLE FOR THE SPECIFIC REGION OF WORK IN CITY OF KENTWOOD.
- DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
- THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT.
- DRIVEWAY LAYOUT AND CONNECTION TO WOODLAND DRIVE SHALL COMPLY WITH ALL ASPECTS OF THE CITY OF KENTWOOD DRIVE PERMIT.

UTILITY PLAN NOTES

- | | |
|--|---|
| A WATER SERVICE. COORDINATE CONNECTION WITH PLUMBING PLANS. | G GAS SERVICE. |
| B 611 LF TO EXISTING WATERMAIN - 6" D.I. CL 52 WATER SERVICE. CONNECT TO EXISTING WATER MAIN. COORDINATE WITH THE CITY OF KENTWOOD - (616) 554-0734 | H ROOF DRAIN/DOWNSPOUT (TYP) |
| C SEWER LATERAL. COORDINATE CONNECTION WITH PLUMBING PLANS. | I 3" PVC CONDUIT FOR IRRIGATION LINE |
| D CONNECT TO EXISTING SANITARY MAIN. COORDINATE WITH THE CITY OF KENTWOOD - (616) 554-0734 | J SANITARY CLEAN OUT |
| E ELECTRIC SERVICE. | K OIL WATER SEPARATOR (SEE DETAIL SHEET). |
| F TELEPHONE SERVICE. | M 24" WIDE S300K 8" ACO POWERDRAIN SLOPED TO CENTER DRAIN OUTLET |
| | N GAS LINE FOR TUBE HEATER |
| | O GROUND TRANSFORMER |



STORM STRUCTURES

MH-1, 4' DIA. EJIW 5105 RIM = 763.79 12" N 759.95 12" SW 759.95 12" E 759.95	TD-6 ACO S300K 8" RIM = 764.50 12" W 761.50	CB-13, 4' DIA. EJIW 5105 RIM = 763.73 12" E 758.93 12" S 758.93
CB-2, 4' DIA. EJIW 5105 RIM = 763.63 12" NE 759.65 12" W 759.65	TD-8 ACO S300K 8" RIM = 764.52 12" W 761.52	CB-14, 2' DIA. EJIW 5105 RIM = 763.18 12" S 759.47
CB-3, 4' DIA. EJIW 5105 RIM = 764.05 12" NE 759.14 12" NW 759.14	TD-10 ACO S300K 8" RIM = 764.56 12" W 761.56	CB-15, 4' DIA. EJIW 1020 SOLID RIM = 764.26 12" N 759.34 12" W 759.34
CB-4, 4' DIA. EJIW 5105 RIM = 762.11 12" NE 758.77 12" NW 758.70	CB-11, 4' DIA. EJIW 5105 RIM = 762.83 12" NE 758.92 12" SW 758.92	CB-16, 2' DIA. EJIW 5105 RIM = 763.33 12" W 760.02
MH-5, 4' DIA. EJIW 5105 RIM = 765.49 12" SE 758.94 12" N 758.57 12" E 758.94 EX.15" W 758.29	CB-12, 2' DIA. EJIW 5105 RIM = 762.15 12" SE 759.35	CB-17, 2' DIA. EJIW 5105 RIM = 763.53 12" S 760.20

SANITARY STRUCTURES

SMH-1, 4' DIA. EJIW 1020 SOLID RIM = 762.21 8" SE 743.26 8" W 755.54	SMH-2, 4' DIA. EJIW 1020 SOLID RIM = 764.60 8" E 756.57 8" N 756.67	SMH-3, 4' DIA. EJIW 1020 SOLID RIM = 764.60 8" S 757.25 8" E 757.35
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BENCHMARK INFORMATION

BM-A
CHISELED X ON SW BOLT OF LIGHT POLE, IN PARKING LOT ISLAND, EAST SIDE OF LOT, SOUTH OF 2333 EAST BELTLINE BUILDING
ELEVATION : 761.73

BM-B
CHISELED SQUARE ON NORTH SIDE OF LIGHT BASE, EAST SIDE OF PARKING LOT, SECOND PARKING LOT SOUTH OF 2333 EAST BELTLINE BUILDING.
ELEVATION : 766.79

EX. STORM STRUCTURES

60772, 4' PRECAST RIM = 763.85 18" RCP E 756.60 18" RCP W 754.75 BTM 756.60 PROPOSED 12" HDPE S 756.60	60770, 4' PRECAST RIM = 763.54 15" RCP E 757.79 18" RCP W 757.74 BTM 755.34
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PLANS PREPARED BY:



DRAWN: ar
CHECKED: ASR

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UTILITY PLAN
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
2139006

DATE
09/18/2023

SHEET NUMBER

C3.0

GRADING NOTES

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
- CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
- MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
- ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
- ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.

SOIL EROSION & SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH CITY OF KENTWOOD-EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE GOVERNING AUTHORITY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE GOVERNING AUTHORITY. IF APPLICABLE, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
- AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
- GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
- MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PER MDOT STANDARD DETAILS. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

SP DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH, KENT COUNTY ROAD COMMISSION SEEDING, MIXTURE TUF APPLIED AT A RATE OF 220 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CLA APPLIED AT A RATE OF 228 LB/ACRE, MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)

ST DENOTES TEMPORARY SEEDING. TEMPORARY SEEDING SHALL BE PLACED AT LOCATIONS DETERMINED BY THE ENGINEER IN THE FIELD AND SHALL INCLUDE CEREAL RYE SEED APPLIED AT A RATE OF 70 LB/ACRE AND MULCH.

4T DENOTES DUST CONTROL. DUST CONTROL MAY BE REQUIRED ON THE SUBGRADE CONSTRUCTION AND WILL INCLUDE APPLYING FRESH WATER TO BE INCLUDED IN THE ITEM OF EMBANKMENT. DUST CONTROL ON THE AGGREGATE BASE COURSE WILL BE ACCOMPLISHED BY APPLYING FRESH WATER (INCLUDED IN THE ITEM OF AGGREGATE BASE, 6 INCH) AND APPLYING DUST PALLIATIVE, APPLIED, CACL₂ (TON) AS DIRECTED BY THE PROJECT ENGINEER.

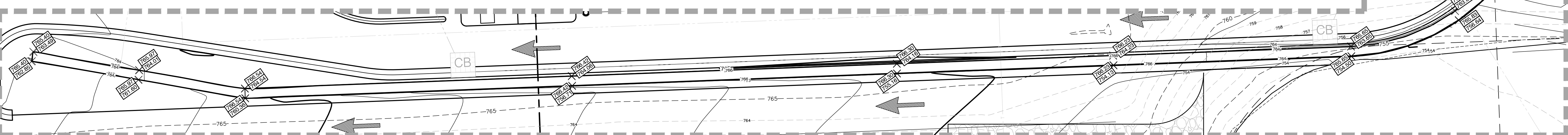
8P DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION

14T DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12' WIDE, 6" DEEP, AND CONSIST OF 2"-4" AGGREGATE.

28T DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.

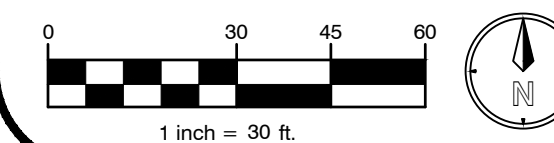
29T DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.

33T DENOTES MULCH BLANKET OR MATTING. SHALL BE NORTH AMERICAN GREEN DS150, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BIOSWALE BY CONTRACTOR RESPONSIBLE FOR RESTORING THAT AREA.



LEGEND

- LIMITS OF CONSTRUCTION
- SILT FENCE



PLANS PREPARED BY:



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0	SITE PLAN REVIEW	09/18/2023	ar
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GRADING & SESC PLAN
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
2139006

DATE
09/18/2023

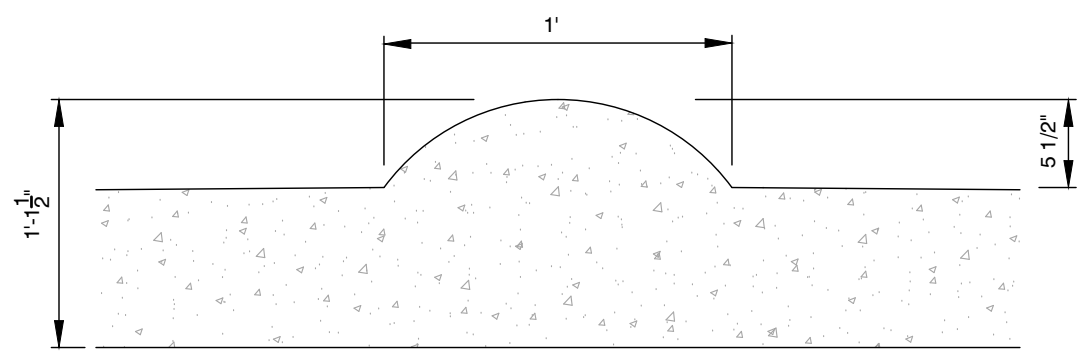
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C4.0



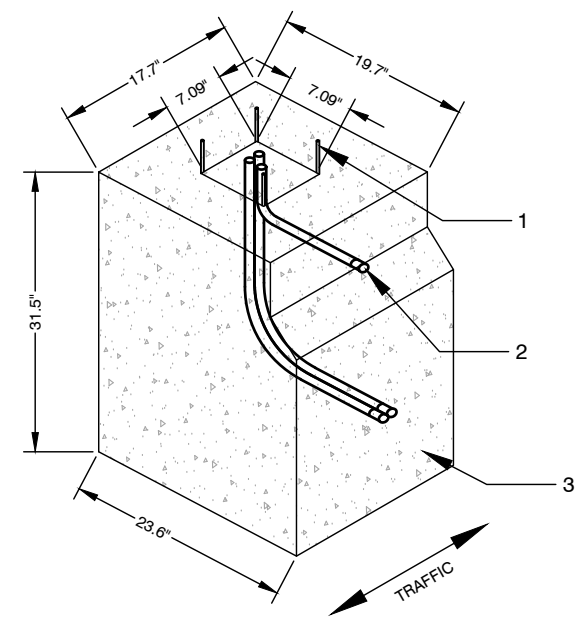
ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: FISHBECK

PLEASE PAY ATTENTION TO THE BID/SPECIFICATION DOCUMENT INCLUDED IN THE FRONT SECTION OF THE ARCHITECTURAL DRAWINGS. ALL NOTATIONS MADE IN THERE BECOME PART OF THE DRAWINGS. IN CASE OF A DISCREPANCY BETWEEN DRAWINGS AND BID/SPECIFICATIONS DOCUMENT, CONSULT THE OWNER BEFORE YOU PROCEED AS OWNER HAS THE RIGHT TO CHOOSE THE HIGHEST/BEST SPECIFICATIONS AS DETERMINED BY HIM SOLELY AND TO HIS DISCRETION.



MOUNTABLE CURB DETAIL

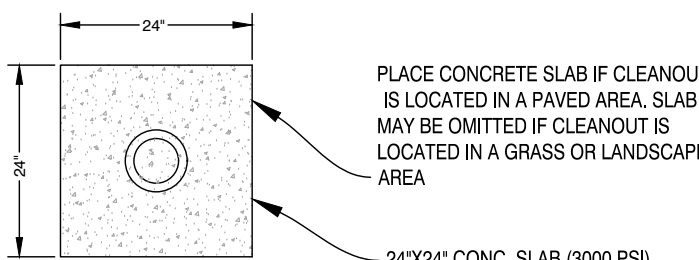
C5.0 - 030112 NOT TO SCALE



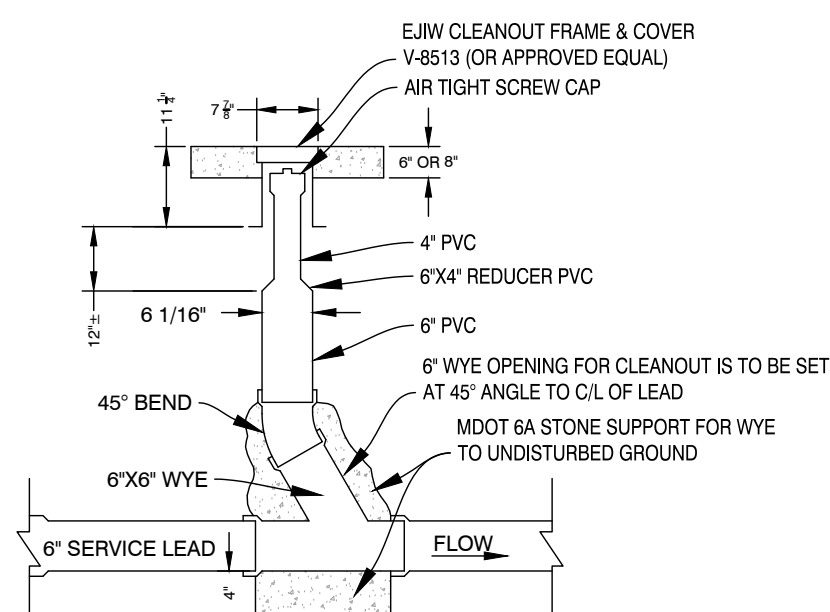
1. FOUNDATION ANCHOR (BY GATE INSTALLER)
2. CONDUIT
3. CONCRETE FOUNDATION

GATE BASE

C5.0 - 030108 NOT TO SCALE



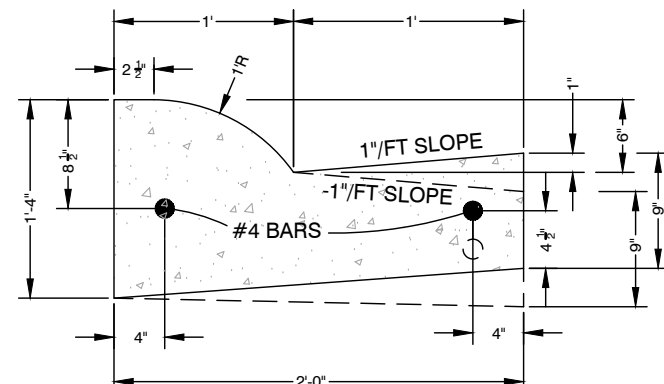
TOP VIEW



ELEVATION

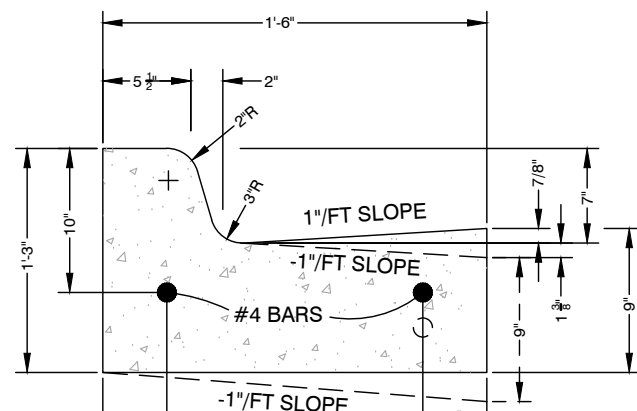
SANITARY SEWER CLEANOUT DETAIL

C5.0 - 090109 NOT TO SCALE



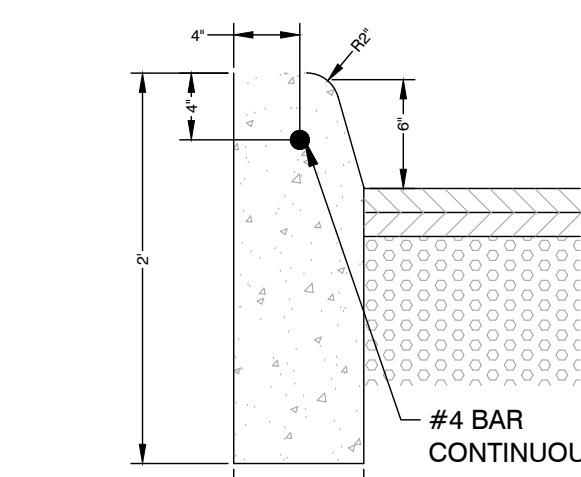
ROLLING CURB AND GUTTER DETAIL

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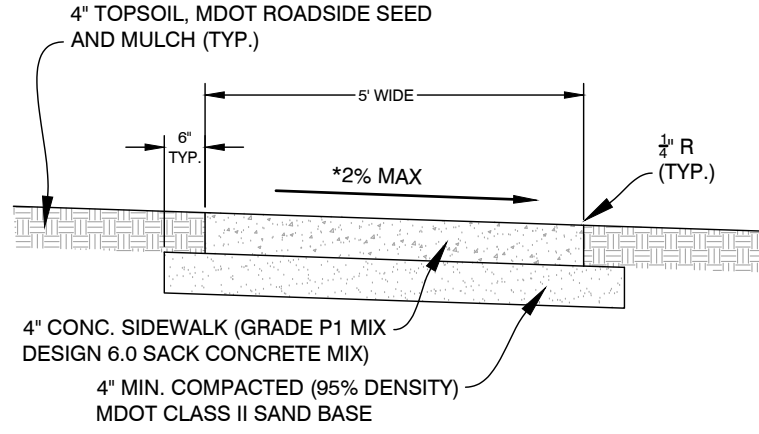
MDOT DETAIL C2 CURB AND GUTTER

C5.0 - 030108 NOT TO SCALE



\"E2\" CURB DETAIL

C5.0 - 030111 NOT TO SCALE



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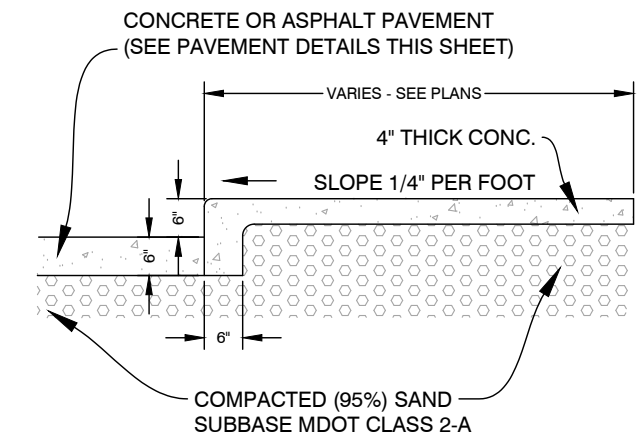
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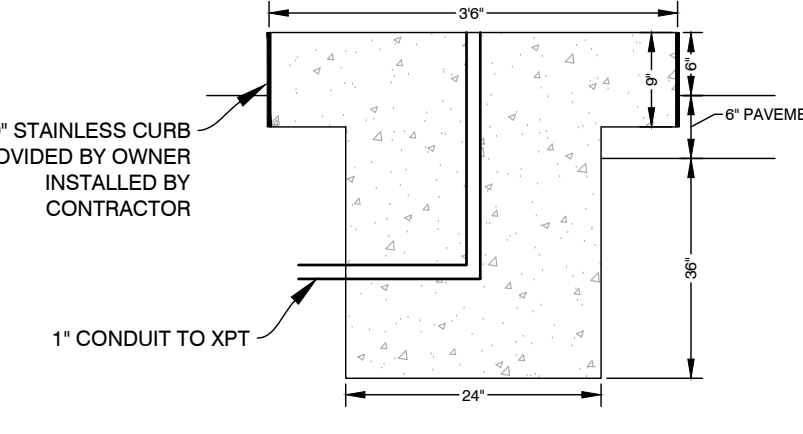
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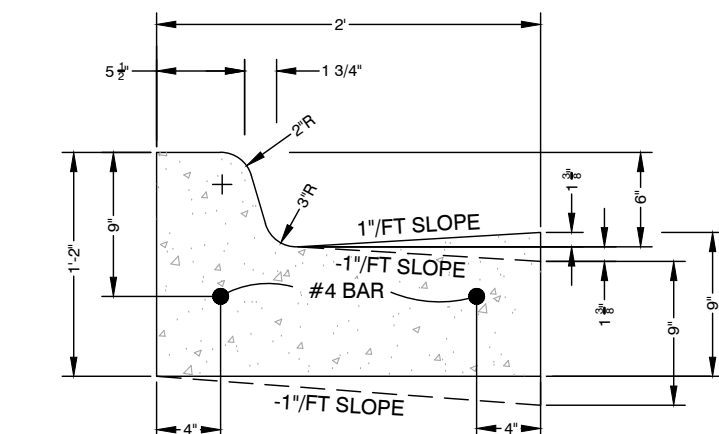
RAISED WALK SECTION

C5.0 - 030303 NOT TO SCALE



LICENSE PLATE READER

C5.0 - 030404 NOT TO SCALE



MDOT F4 CONC. CURB & GUTTER

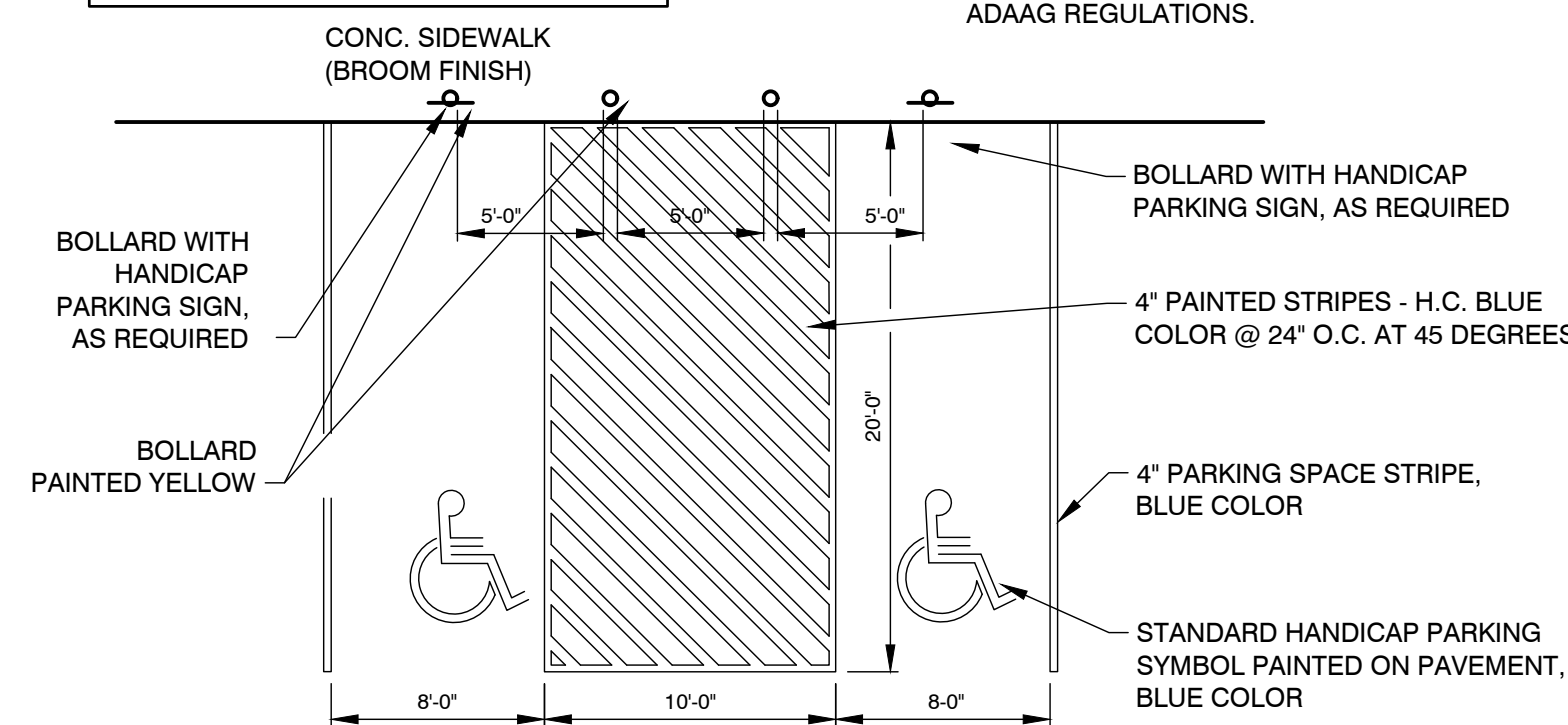
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FLAGPOLE

C5.0 - 110106 NOT TO SCALE

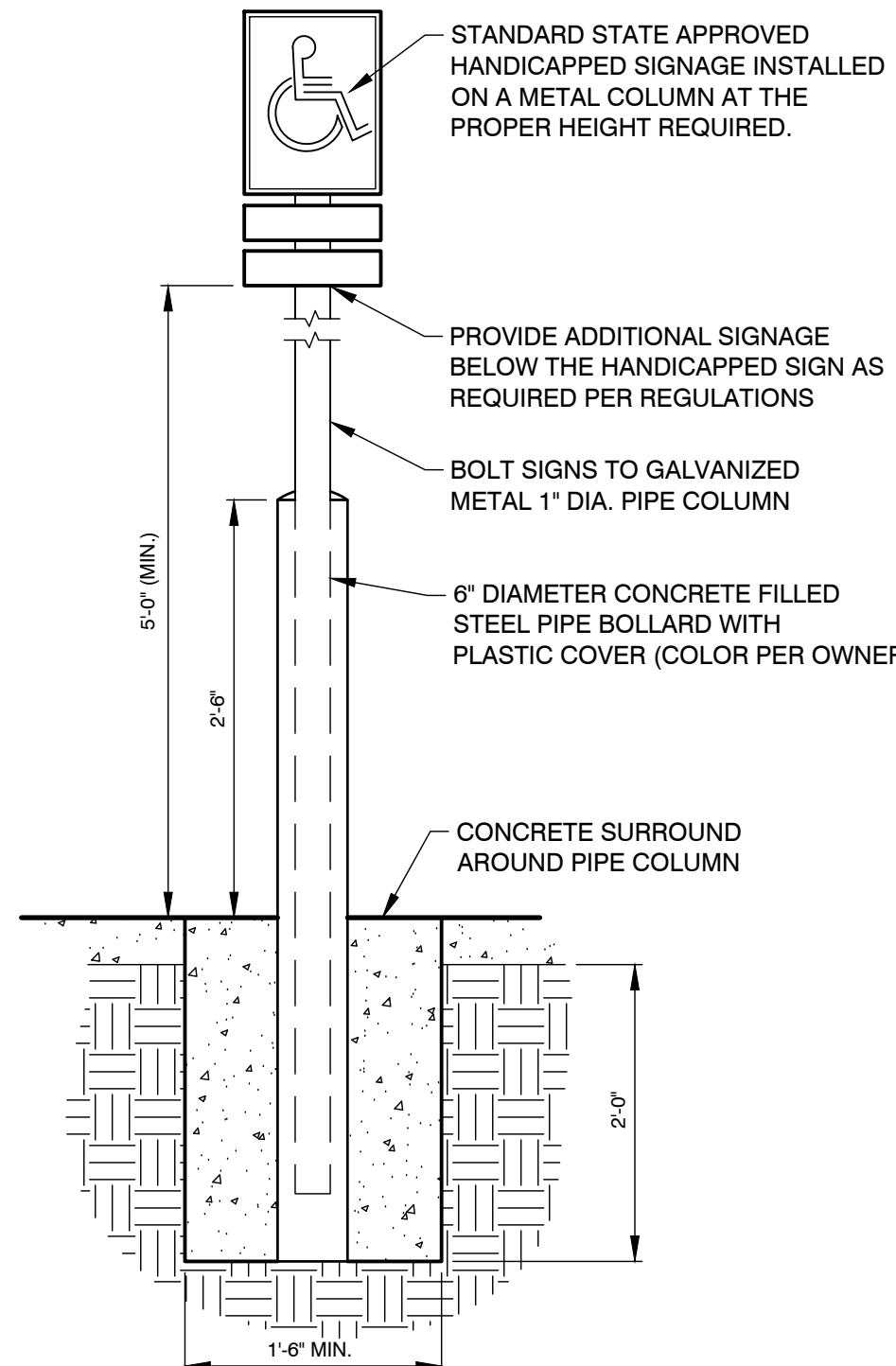
ALL PAVEMENT STRIPING MUST BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD)

NOTE: ALL HANDICAPPED RAMP AND ACCESS AISLES SHALL MEET ALL CODES AND ADAAG REGULATIONS.



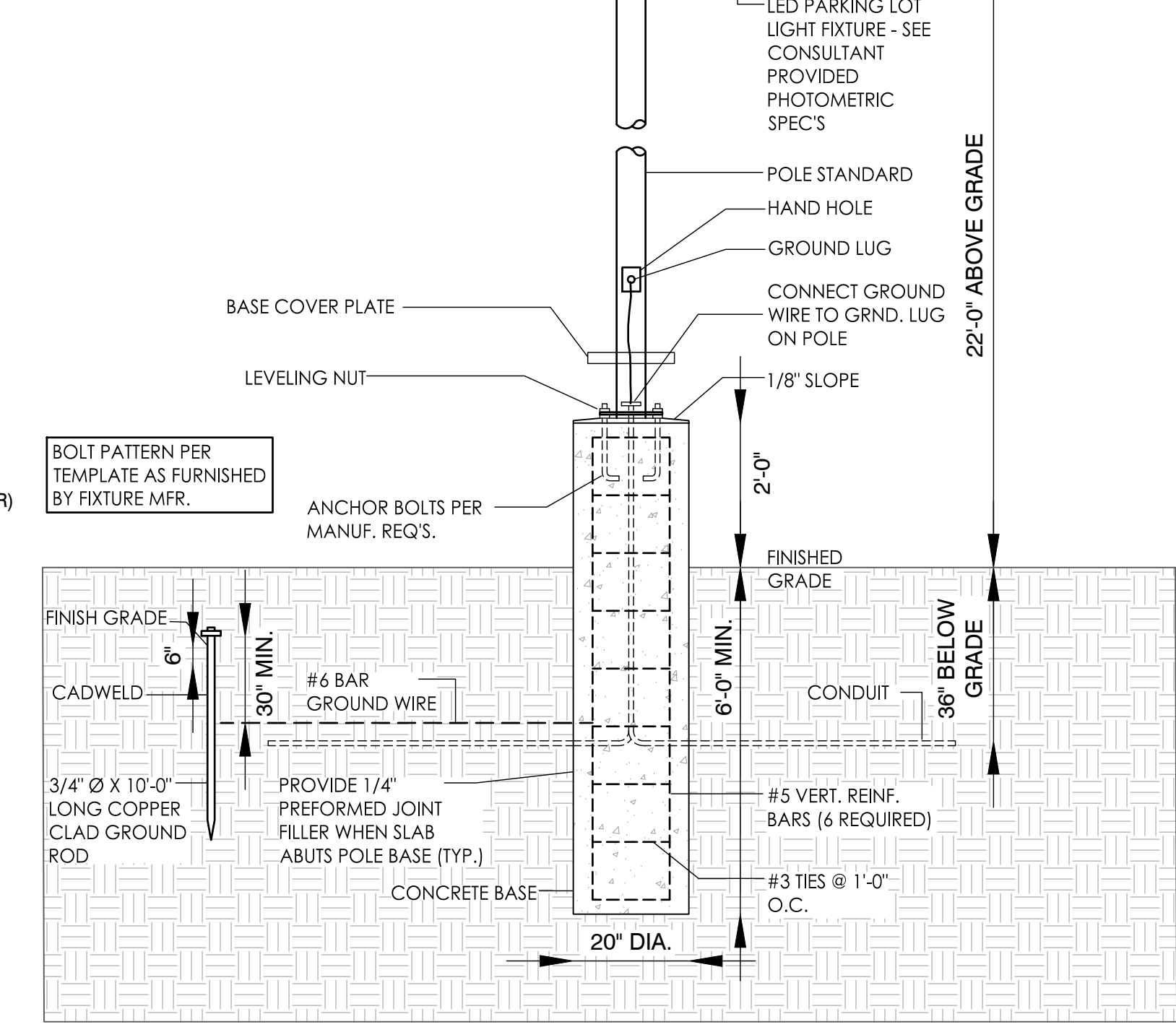
HANDICAP PARKING DETAIL

C5.0 - 040902 NOT TO SCALE



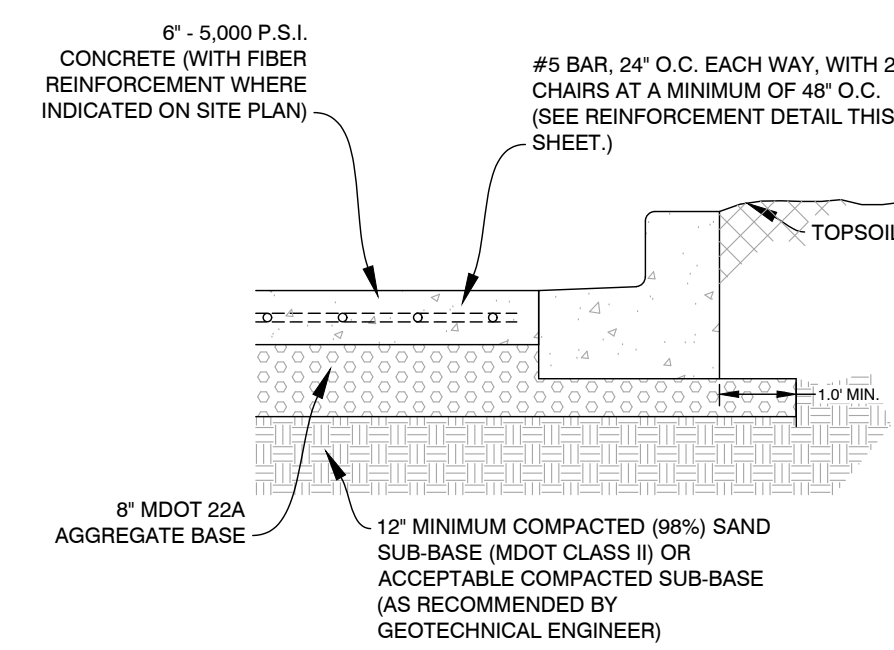
HANDICAP PARKING SIGN DETAIL

C5.0 - 090102 NOT TO SCALE



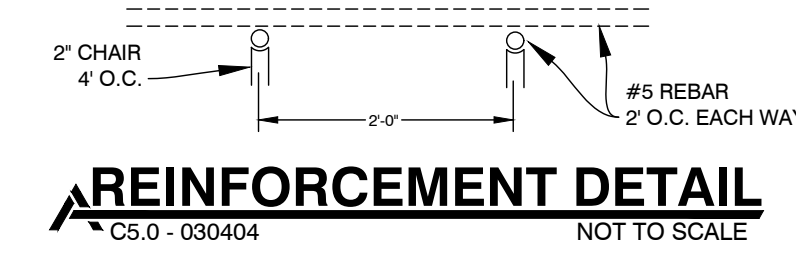
PARKING LIGHT POST DETAIL

C5.0 - 090110 NOT TO SCALE



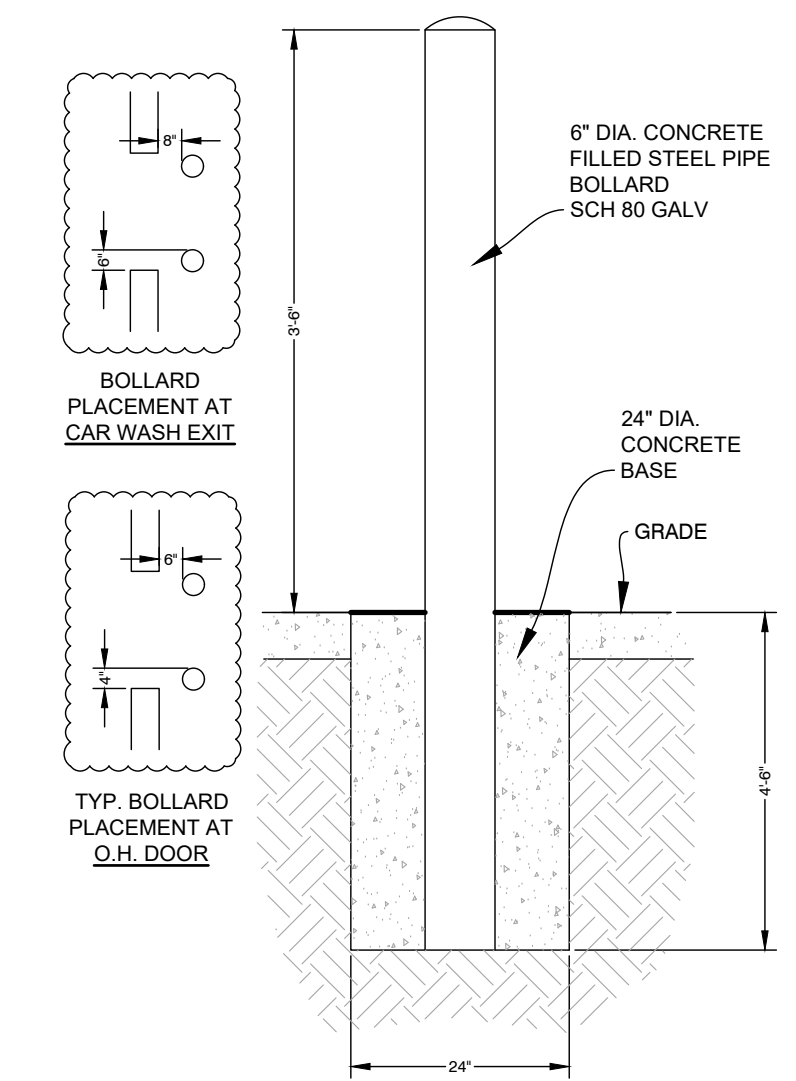
CONC. PAVEMENT SECTION

C5.0 - 030402 NOT TO SCALE



REINFORCEMENT DETAIL

C5.0 - 030404 NOT TO SCALE



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C5.0 - 140101 NOT TO SCALE

STRIPING LEGEND	
YELLOW CURBING AND BOLLARDS - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF HEAVY RUST 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300
STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT YELLOW TM5495
HANDICAP STRIPING - PARKING LOT	SURFACES SHOULD BE CLEAN, DRY. TOP COAT SHERWIN WILLIAMS - PROMAR TRAFFIC MARKING PAINT \"H.C.\" BLUE

PLANS PREPARED BY:



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CHECKED: ASR

No.	ISSUED FOR:	DATE	BY
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DETAILS
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
2139006
DATE
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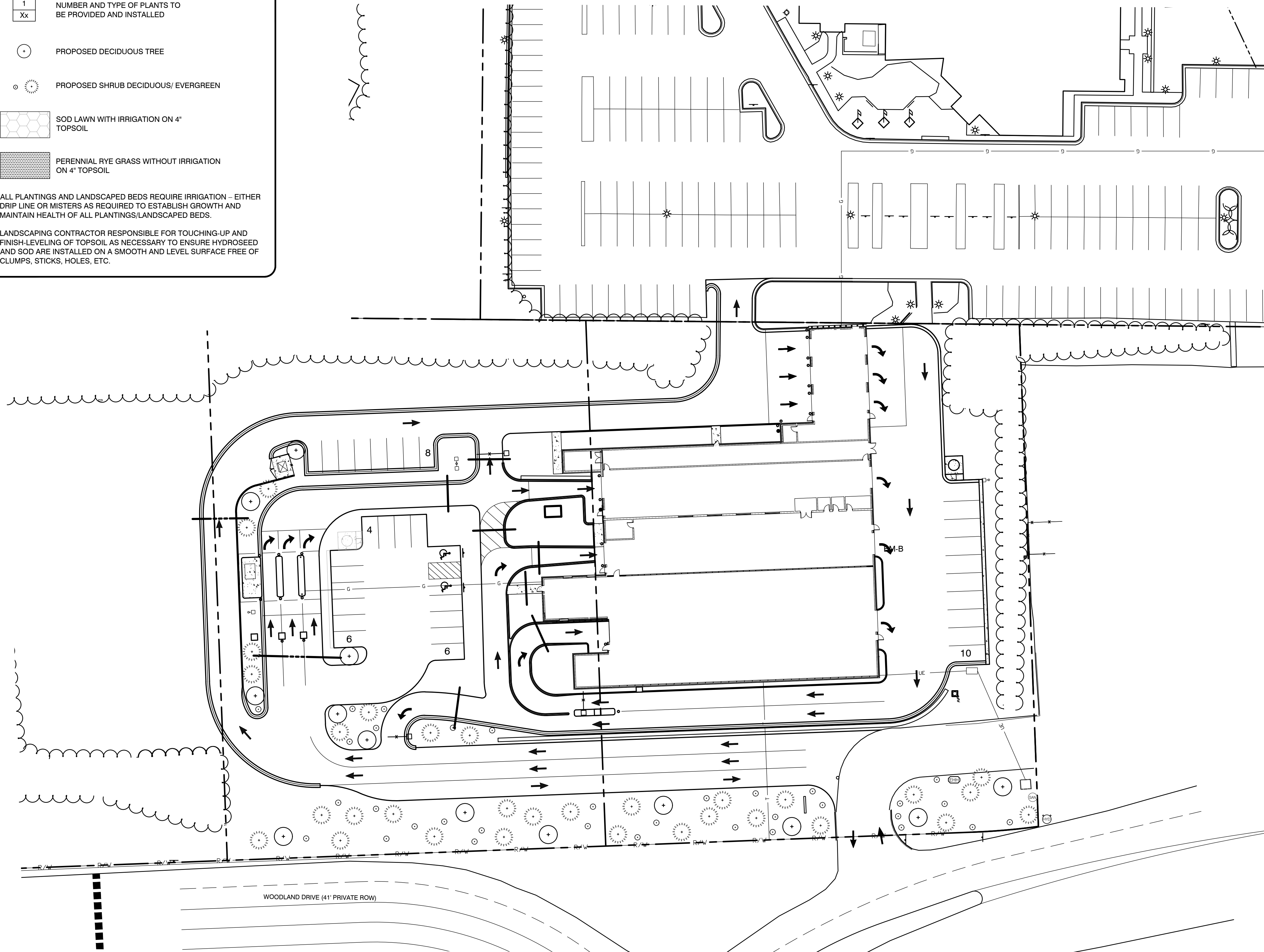
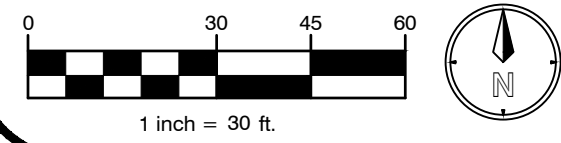
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LANDSCAPING NOTES

1. INSTALL CONSTRUCTION FENCE AROUND DRIP LINES OF EXISTING TREES TO REMAIN. NO COMPACTION OR INCREASED DEPTH OF SOIL OVER THE ROOT SYSTEM AREA PRIOR TO AND DURING CONSTRUCTION.
2. ALL LAWN AREAS SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 20% IMPROVED PERENNIAL RYEGRASS, 40% FINE FESCUE, AND 40% KENTUCKY BLUEGRASS AT A RATE OF 3-4 LBS/1000 SFT.
3. ALL EDGING SHALL BE STANDARD COMMERCIAL STEEL EDGING 3/4" X 4", ROLLED EDGE, FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
4. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK." MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
5. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
6. BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED; A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
8. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICK, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
9. MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.
10. MAINTAIN TREES AND SHRUBS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
11. REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
12. TREES, AND SHRUBS SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.

LEGEND

- | | |
|----------------------------|--|
| <div>1</div> <div>Xx</div> | NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED |
| <div>+</div> | PROPOSED DECIDUOUS TREE |
| <div>○</div> <div>⊙</div> | PROPOSED SHRUB DECIDUOUS/ EVERGREEN |
| <div></div> | SOD LAWN WITH IRRIGATION ON 4" TOPSOIL |
| <div></div> | PERENNIAL RYE GRASS WITHOUT IRRIGATION ON 4" TOPSOIL |
- ALL PLANTINGS AND LANDSCAPED BEDS REQUIRE IRRIGATION - EITHER DRIP LINE OR MISTERS AS REQUIRED TO ESTABLISH GROWTH AND MAINTAIN HEALTH OF ALL PLANTINGS/LANDSCAPED BEDS.
- LANDSCAPING CONTRACTOR RESPONSIBLE FOR TOUCHING-UP AND FINISH-LEVELING OF TOPSOIL AS NECESSARY TO ENSURE HYDROSEED AND SOD ARE INSTALLED ON A SMOOTH AND LEVEL SURFACE FREE OF CLUMPS, STICKS, HOLES, ETC.



LANDSCAPING CALCULATIONS

BUFFER YARD REQUIREMENTS

FRONT (ALONG ROW)
REQUIRED: 281 LF
1 CANOPY TREE PER 40 FT OF FRONTAGE
7 SHRUBS PER 40 FT OF FRONTAGE
3' HIGH BERM MAY BE REQUIRED IN ADDITION TO THE PLANT MATERIALS ALONG AND OUTSIDE THE PUBLIC ROW PARALLEL TO A MAJOR ARTERIAL STREET
PROVIDED:
281/40 = 7.025 = 7 CANOPY TREES
(329/40)*7 = 49.175 = 49 SHRUBS

SIDES
REQUIRED: 213 LF
10' MINIMUM WIDTH
1 CANOPY OR EVERGREEN TREE PER 40' ALONG PROPERTY LINE 213/40 = 5.325 = 5 TREES
5 SHRUBS PER 40' ALONG PROPERTY LINE (213/40) * 5 = 26.625 = 27 SHRUBS
PROVIDED:
EXISTING VEGETATION TO REMAIN

REAR
REQUIRED: 649 LF
10' MINIMUM WIDTH
1 CANOPY OR EVERGREEN TREE PER 40' ALONG PROPERTY LINE 649/40 = 16.225 = 16 TREES
5 SHRUBS PER 40' ALONG PROPERTY LINE (649/40) * 5 = 81.125 = 81 SHRUBS
PROVIDED:
EXISTING VEGETATION TO REMAIN

PARKING LOT LANDSCAPING
REQUIRED: 10-100 SPACES
1 CANOPY TREE PER 10 SPACES 34 SPACES/10 = 3.4 = 3 CANOPY TREES
100 SFT OF LANDSCAPED AREA PER 10 SPACES (34 SPACES/10)*100 = 340 SFT

PROVIDED:
6 CANOPY TREES
1,902 SFT

A MINIMUM OF 1/3 OF THE TREES SHALL BE PLACED ON THE INTERIOR OF THE PARKING AREA, DEFINED AS THE AREA WITHIN 18' SURROUNDING THE PARKING LOT

DETENTION/RETENTION POND:

REQUIRED:
1 CANOPY TREE PER 50' OF POND PERIMETER, AS MEASURED ALONG THE TOP OF THE BANK ELEVATION
9 SHRUBS PER 50' OF POND PERIMETER, AS MEASURED ALONG THE TOP OF THE BANK ELEVATION
*REQUIRED LANDSCAPING SHALL BE PLANTED IN A RANDOM PATTERN, NOT LIMITED TO THE TOP OF THE POND BANK
*WHERE NATURAL LANDSCAPE IS FOUND NOT TO BE PARTICULAR OR DESIRABLE, THE PLANNING COMMISSION MAY REQUIRE SOME TYPE OF DECORATIVE FENCING.

PLANS PREPARED BY:



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CHECKED: ASR

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LANDSCAPE PLAN
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

SHEET TITLE:
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JOB NUMBER
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ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: FISHBECK