

AGENDA CITY OF KENTWOOD PLANNING COMMISSION TUESDAY, OCTOBER 24, 2023 KENTWOOD COMMISSION CHAMBERS 4900 BRETON AVENUE, SE 7:00 P.M.

- A. Call to Order
- B. Pledge of Allegiance (Dan Holtrop)
- C. Roll Call
- D. Declaration of Conflict of Interest
- E. Approval of the Minutes of October 10, 2023 and Findings of Fact for: <u>Case#17-23</u> Bosgraff Walma 44th Change in the Master Planned Land Use Designation from Low Density Residential to Medium Density Residential located at 2802 44th Street -
- F. Approval of the Agenda for October 24, 2023
- G. Acknowledge visitors and those wishing to speak to non- agenda items.
- H. Old Business

<u>Case#24-23</u> – Hotel Conversion – Special Land Use and Site Plan Review to convert an existing office Building into a Hotel Located at 2180-44th Street SE (**Tabled from the October 10 public hearing meeting**)

I. Public Hearing

<u>Case#26-23</u> – Biggby Coffee – Special Land Use and Site Plan Review for a Drive Through Restaurant – Located at 2300 44th Street SE;

<u>Case#27-23</u> – Kentwood Drive and Shine – Special Land Use and Site Plan Review for a Vehicle Wash Establishment – Located at 3311 Woodland Drive SE

J. Work Session

<u>Case# 28-23</u> - DAMA Ventures LLC – Special Land Use Indoor Vehicle Sales and Site Plan Review – Located within Phase A of 3350 Broadmoor Avenue, zoned I-1 Light Industrial

K. New Business

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Set public hearing date of , for:

L. Other Business

- 1. Commissioners' Comments
- 2. Staff's Comments

M. Adjournment

*Public Hearing Format:

- 1. Staff Presentation Introduction of project, Staff Report and Recommendation Introduction of project representative
- 2. Project Presentation By project representative
- 3. Open Public Hearing (please state name, address and speak at podium. Comments are limited to five minutes per speaker; exceptions may be granted by the chair for representative speakers and applicants.)
- 4. Close Public Hearing
- 5. Commission Discussion Requests for clarification to project representative, public or staff
- 6. Commission decision Options
- a. postpone decision table to date certain
- b. reject proposal
- c. accept proposal
- d. accept proposal with conditions.

PROPOSED MINUTES OF THE REGULAR MEETING OF THE KENTWOOD PLANNING COMMISSION OCTOBER 10, 2023, 7:00 P.M. COMMISSION CHAMBERS

- A. Chair Jones called the meeting to order at 7:00 p.m.
- B. The Pledge of Allegiance was led by Commissioner Holtrop.
- C. Roll Call:

Members Present: Dan Holtrop, Sandra Jones, Alex Porter, Ray Poyner, Darius Quinn, Doug VanderMeer, Sarah Weir

Members Absent: Bill Benoit and Ed Kape (absent with notification)

Others Present: Community Development Director Terry Schweitzer, Economic

Development Planner Lisa Golder, Senior Planner Joe Pung, Planning Assistant Monique Collier one citizen and the applicants.

Motion by Holtrop, supported by Poyner, to excuse Benoit and Kape from the meeting.

- Motion Carried (7-0) –
- Benoit and Kape absent -
- D. Declaration of Conflict of Interest

There was no conflict of interest statement expressed.

E. Approval of the Minutes and Findings of Fact

Motion by Commissioner Holtrop, supported by Commissioner Poyner, to approve the Minutes of September 26, 2023 and the Findings of Fact for: <u>Case#22-23</u> – Storage Five Kentwood LLC – Rezoning of 8.2 acres of land from C-2 Commercial to Conditional I-1 located at 1800-1900 44th Street SE; <u>Case#23-23</u> -Body Shop Boss – Special Land Use and Site Plan Review for a Major Vehicle Repair located at 3851 Model Ct. SE

- Motion Carried (7-0) -
- Benoit and Kape absent -
- F. Approval of the Agenda

Motion by Commissioner Poyner, supported by Commissioner Quinn, to approve the agenda for the October 10, 2023 meeting.

- Motion Carried (7-0) -
- Benoit and Kape absent -
- G. Acknowledge visitors wishing to speak to non-agenda items.

There was no public comment.

H. Old Business

There was no Old Business

I. Public Hearing

 $\underline{\text{Case\#17-23}}$ – Bosgraff Walma 44th - Change in the Master Planned Land Use Designation from Low Density Residential to Medium Density Residential located at $2802-44^{th}$ Street

Golder stated the request is for a 4.72 acre parcel of land at the southeast corner of Walma and 44th Street. She stated it was zoned office and master planned for office up until 2021 at which time staff received a request to go to low density residential. Golder stated the commissioners approved the amendment to the Master Plan and then the developer withdrew the application. She stated now Bosgraff is interested in changing the Master Plan again to medium density residential from the low density residential.

Golder stated what they intend to build is attached condominiums and they have said that they would be willing to do it within a PUD.Golder stated when the applicant went before the LUZ Committee, the committee wanted to make sure they are condominiums and not rental units, medium density 4-8 units per acre. The committee members were more comfortable with closer to 6 units per acre but could possibly go higher depending on what design they come up with within the PUD. She stated the PUD will allow some control for the City.

Golder stated there was concern about having an adequate buffer on 44th Street and the appearance of the buildings along 44th Street. She stated there is also concern about having sidewalk leading out to the public street as well as sidewalk internal to the community and visitor parking.

Golder stated that the staff recommendation is for conditional approval for the change to the Master Planned designation with two conditions. 1. The site would have to be developed as a residential PUD and 2. The residences would be limited to 2 stories or 25 feet in height. The basis for that is staff feels that the development to medium density could be accomplished in a way that is compatible with the existing residential units. The residential units to the south and to the east are low density. There is no road that goes through; therefore, it is not going to increase traffic for those units but feel like they can provide adequate separation to those uses.

Golder stated with the development of the PUD the property would require approval of the site plan the building elevations and landscaping plans. That will allow the Planning Commission

and the City the ability to see whether the density proposed is adequate and whether there is enough separation between it and the existing units. If there is too much traffic or too much density the Planning Commissioners can make that determination as to whether or not that site plan suits what they are expecting. She stated at the same time it will allow the developer flexibility to try to cluster the housing to preserve open space and provide screening.

The applicant has indicated his intent to develop units that are owned and that can be a condition of approval with the PUD.

Golder stated the City Commission would like to see this Master Plan change proposed again after the Planning Commission.

Mike Corby, with Integrated Architecture, 840 Ottawa Grand Rapids, MI was present. Corby discussed the point of access and egress that they are proposing even though they don't have a detailed design yet. He stated they did engage with Amy Gecario from Wade Trim to confirm or at least identify where the safe ingress and egress point would be on 44th Street. He stated that any kind of access off Walma would not be safe mostly because of the proximity to the intersection. He stated Amy suggested putting it about 300 feet from the intersection and that would allow about 300 foot distance between that point and the cross over to westbound.

Jones opened the public hearing.

There was no public comment.

Motion by Poyner, supported by Quinn, to close the public hearing.

- Motion Carried (7-0) -
- Benoit and Kape absent -

VanderMeer questioned if we have the legal ability regarding ownership if he were to purchase a condo and then rent it out to someone else. Golder stated any individual that purchases could rent it out, but what we don't want is someone buying a group of condos and rent them all out. She stated that will be a condition of approval and we will put that in the condominium documents as well.

Poyner wanted to make sure the commissioners will see the landscaping plan and building elevations. Golder stated they will see all of that.

Porter questioned whether the ingress can have a slow down lane. Corby stated that would be something that they would address however, because of the low volume of the peak hour traffic that would indicate that it is not required.

Motion by Poyner, supported by Quinn, to recommend to the City Commission conditional approval of the request to amend the Master Plan Designation for 4.72 acres of land located at $2802-44^{th}$ Street from Low Density Residential to Medium Density Residential as described in Case No. 17-23. Approval is conditioned on conditions 1-2 and basis points 1-6 as described in Golder's memo dated October 2, 2023.

- Motion Carried (7-0) -
- Benoit and Kape absent -

<u>Case#24-23</u> – Hotel Conversion – Special Land Use and Site Plan Review to convert an existing office Building into a Hotel Located at 2180-44th Street SE (**Recommendation to Table Action to October 24**)

Jones opened the public hearing.

There was no public comment.

Motion by Holtrop, supported by Quinn, to table <u>Case#24-23</u> Hotel Conversion to October 24, 2023.

- Motion Carried (7-0) –
- Benoit and Kape absent -

J. Work Session

<u>Case#25-23</u> – Master Plan Amendment 52nd and Broadmoor Ave – Change in the Master Planned Land Use Designation from Industrial to Commercial located at the northeast corner of 52nd Street and Broadmoor Avenue

Schweitzer introduced the request. He stated the request is to change the Master Plan designation from industrial to commercial in the northeast quadrant of 52nd Street and Broadmoor Ave.

Schweitzer stated the applicant submitted a one page narrative and conceptual site plan and conceptual interior floor plans for a pickleball and wiffeball restaurant and interior and exterior recreational sports courts. He stated the restaurant use is allowed by special land use and site plan review under the existing zoning, however the recreational sports are not allowed under the industrial zoning.

Schweitzer stated Broadmoor Avenue is a state trunkline, M-37, and across the frontage of the site it is a four-lane boulevard within a 205-foot-wide public right-of-way. The 52nd Street frontage is a five-lane arterial roadway within an 83-100-foot-wide public right-of-way. No direct left turns are allowed at the intersection as well as along the Broadmoor frontage. Schweitzer stated the main thing with a State trunk line route is to move traffic through safely and efficiently.

Schweitzer stated the northwest quadrant is master planned and zoned and developed as commercial. He stated as you look at the SE quadrant it is developed as industrial with similar constraints with the adjacent rail spur and proximity to a major intersection. This provides evidence that it is feasible along the Broadmoor frontage and comparable to the SE quadrant to have industrial there.

Schweitzer stated it is predominantly master planned for industrial in that area with the exception of the NW corner. Schweitzer displayed the general layout shown as a concept of how they would develop the property if the master designation was changed and there was a subsequent rezoning.

Schwitzer displayed a layout of a plan that was submitted earlier this year involving a concept that was being considered by a developer. They wanted to show for their own benefit as well as perspective tenants that it would be feasible to develop this for an industrial use. Very comparable to the development pattern on the SE quadrant with parking in the front, buildings to the western portion of the property, then having loading and circulation parallel to the railroad spur.

Schweitzer stated in both cases the concept plan does not include the two corner properties. There was a request in January 2022 from Kum and Go for a master plan change from industrial to commercial for the two corner properties. He stated we took it to the East Beltline Advisory Board and within about 10 days Kum & Go withdrew their application. He stated there has been previous interest. Schweitzer stated for those two particular properties it would be reasonable to tie those together. The main thing is for safe access onto the streets. If it is left up to the configuration of the two lots where it is right now, it would not meet MDOT's standards as far as access for them to access onto Broadmoor Avenue and 52nd Street. If you are going to have access further onto 52nd Street that is going to be further to the east closer to the railroad spur where that crosses.

Schweitzer stated the commissioners have a summary of the discussion with the LUZ Committee and Master Plan Committee and a lot of that conversation involved the primary staff/commissioners concern relating to the availability of land suitably zoned to support industrial development in Kentwood and the greater Grand Rapids area. A recent Crains Grand Rapids Business article dated August 8, 2023, highlighted the scarcity of available industrial real estate in the West Michigan area. Schweitzer stated we reached out to Tim Mroz, the Senior Vice President of Community Development with The Right Place for his perspective on the availability of industrial properties. He provided us a report describing the industrial vacancy rates in the southeast portion of the Grand Rapids Metro area through the second quarter of 2023 from the viewpoint of JLL and NAI Wisinski of West Michigan. Mroz also provided the 2023 The Right Place Development Report which described their pursuit of build-ready industrial sites.

The current amount of industrially zoned land in Kentwood is approximately 2,760 acres and it is a major component of the city's tax base. He stated working with the City Assessor's Office we have identified the subject site as well as 6 others that appear to be vacant and available for industrial development according to the Commercial Alliance of Realtors website. However, these sites only range from 1-10 acres in size.

Schweizer stated we will have a public meeting on November 14 for this Master plan change request from the applicant.

Andy Anderson was present. He stated he would like that Master Plan to be changed from industrial to commercial so he can build a pickleball and wiffleball restaurant. He stated within the restaurant they will have 6 indoor pickleball courts, 4 outdoor courts and an indoor whiffleball field. He stated pickleball is the fastest growing sport in America and this will be the first one in the State of Michigan. He stated the land has been vacant for 40 years. The last survey of it was 1989. He stated it has been up for sale around 10 years. He stated he is here to develop the land and add some tax revenue to the City of Kentwood. He stated with pickleball there can be noise complaints if it is in a residential area, this is not near residential, there will be no noise complaints and 6 of the 10 courts will be indoors.

Anderson stated he chose this area because this will provide a restaurant not only to the residents but also to the workers, so they won't have to take an hour to get to lunch on 28thstreet. He stated additionally people going to the airport getting off of M6 from Lansing or Holland, it will provide an additional place for them to grab a meal other than the Arby's and Burger King that is also on Broadmoor.

Anderson stated looking through Kentwood's documents there has been strong interest in adding pickle ball courts. He felt that what he is proposing will compliment the pickleball courts that are being added to Covenant Park.

Anderson stated he has been to LUZ and there were some concerns. He stated the CRAINS article said the SE portion of Grand Rapids has about 5% availability for industrial land. He stated he had his realtor do a search and he found 22 sites that are currently for sale for lease, that includes 180,000 square feet of building space and 14 acres of land that are available for industrial right now. There are also 75 acres in Wyoming, 237 acres in Lowell and 16 acres in Caledonia surrounding Kentwood. He stated the acres he would like to convert to commercial will not impact the overall potential for industrial.

Anderson stated another concern was that this will not be industrial wages, it will be restaurant wages. He stated he will employee approximately 30 employees, however the business will drive economic growth. He stated pickleball tournaments draw people from all around.

Anderson stated another concern is that the City Commission won't approve due to the past decline of the indoor soccer facility. He stated he spoke to a couple of City Commissioners and they are in favor of his project and 2 of them voted against the indoor soccer field but they are in favor of this.

Anderson stated another concern was whether this will compete with Covenant Park pickleball courts. He stated this will compliment them. The public courts are open to the public, his restaurant will also be open to the public, but you have to pay to play on a court. When Covenant Park closes for the winter, they can come to his place and play inside, also when it is too dark to play, snowing or raining they can come to his place and play. He stated this will be year-round.

Porter stated there are a few restaurants in the area, he can see the benefit, however on the other hand he sees the point about industrial space and where we can grow industrial businesses. He stated he is curious about the tax base, questioning which gets more tax revenue commercial or industrial and if we expect to see a big difference. Schweitzer stated he would check with the City Assessor. Porter questioned if the railroad spur is active. Schweitzer stated it has been inactive for many years, still owned by the State.

Porter questioned the industrial concept plan. He noticed in the study it was about 5 dollars a square foot for industrial. He questioned whether we know what the net cost would have been for them with what they had to do to put it in here and would it have met the 5 dollar per square foot or was it working out higher or was there a cost factor. Schweitzer stated he doesn't know that detail but we can check with the source that shared that with us. Porter stated this would be an important factor for him for a change in the Master Plan land use designation.

Porter questioned if the two properties at the corner were rezoned, if the access to those would be through the proposed property. Schweitzer stated in the best case it would be. It would be a matter of property rights that come into play, but in terms of optimum design and also the unlikelihood of MDOT relaxing its standards to allow for separate access for one or both of those corner properties. Schweitzer stated that is why the Advisory Board gets together to get a broader perspective for an issue like this. Anderson stated as part of the plan they would share access together. That would be his ideal situation. Porter stated the easement is critical for the efficient use of all of this. Discussion ensued.

Holtrop questioned if this property has always been planned industrial. Schweitzer stated since about 1980 when public water and sewer was extended out to that area. Holtrop stated this has been industrial for 40 years and nobody has moved on it therefore he is ok with the change.

Holtrop stated another concern is the two corner lots the owner is holding it as industrial. He wondered if that owner had been notified about the request. Schweitzer stated because

of the November 14 public meeting date we have not yet sent out that notice, however a notice of intent was sent out in late September to the adjoining land owners.

Holtrop stated we are looking at articles about lack of industrial but our presentation states there is 2,700 acres of industrial and 6 that are still vacant and those 6 range from 1-10 acres. He stated at the highest point we would have 60 acres of industrial land left in Kentwood. Holtrop stated he is ok with changing the Master Plan.

Holtrop stated we have discussed the noise with pickleball next to residential, however how would that apply to having a restaurant in close proximity to pickleball courts. Anderson stated they tvs will be loud they won't even realize that it is happening. The inside will have some glass walls so they can still see but also not be as distracted.

Poyner questioned if the outdoor pickleball courts would be far enough away from M37 that they are not going to get noise from all the vehicles that are going down M37. He stated that is going to disturb those playing pickleball. Anderson stated he doesn't think the noise from the traffic will irritate them.

Poyner stated he is also curious to know about the tax revenue. He stated he doesn't believe that you can look at something and say that because it has been vacant for years that it would likely stay vacant going in the future. He would argue that we have had a lot of development recently at that intersection and if there is a demand for industrial that something may come in for industrial. Poyner questioned if he has looked at any other commercial properties in the City of Kentwood. Anderson stated he has done a very exhausting 3 month effort looking at all potential locations. Anderson stated however, you have to look at the size, he needs about 4 acres, and the cost, and is the location a good location. Discussion ensued. Poyner stated that he agrees that if we are going to change to commercial the other two adjacent lots on the corner sound also be considered as commercial as well.

VanderMeer stated he doesn't have a concern about the noise at this location. VanderMeer stated the buildings that are now on the southeast corner have gone up in the last 5 years. He stated that this property has been for sale for 10 years, why didn't they buy the northeast property when they had a chance.

VanderMeer questioned if the applicant has been talking to MDOT about access off of Broadmoor. Anderson stated he was waiting for the planning stages. Anderson stated whatever it is they will do whatever MDOT tells them to. Schweitzer stated we sent this request to the Advisory Committee and Anderson will be a part of the discussion at the October 19 meeting.

Quinn stated he is in support of zoning. He stated there has been discussion regarding the 2,700 acres, 6 vacant lots, and he doesn't see very much demand. He stated why let a

> property sit for many years. Quinn stated that parking would be his only concern. Anderson stated once we get into the actual details with this building, he feels that there will be adequate parking

> Jones questioned what kind of screening will there be. Anderson stated he is hoping to work with staff on the appropriate screening.

<u>Case#26-23</u> – Biggby Coffee – Special Land Use and Site Plan Review for a Drive Through Restaurant – Located at 2300 44th Street SE;

Golder stated the applicant is proposing a drive-thru only Biggby Coffee facility located on a currently vacant property at 2300 44th Street. She stated it is zoned commercial the proposed use is an 800 square foot coffee shop. There is no indoor seating, only the drive through and then there is a walk up window out in the front.

Golder stated it is a narrow lot 85 feet wide. There are wetlands to the south and to the west and that makes it impossible to get that rear exit that we might have thought we could get over to Countrywood.

Golder stated if you want to get into the property you would access from the adjacent property to the east there would be a direct turn into the property and then an easement that would allow you to go to get to the proposed Biggby. When you exit, you would have to turn right, go through the intersection and then come all the way back if you want to go back to the west. It is more difficult to get out to go westbound.

Golder stated this is a special land use therefore we use the general and specific standards. She stated there are no problems with the general standards. She stated with the specific standards there is a reference to if you are adjacent to office or commercial to try to make a connection to the adjacent property. She stated maybe there is a possibility to connect over to the office building adjacent, but that turn would be difficult. She stated the lane is narrow and it is a one way, 15 feet from curb to curb, it is very narrow to make that turn. She stated it might be difficult, and if you did get out there it is only 180 feet from the driveway to get to the indirect left. She stated she will look into that to see if there is any benefit to have any type of easement the west so that if something would happen in the future, we know where we can make a connection and make it safely.

Golder stated there is plenty of stacking area. She stated with the walk up she thought that it might be a good idea to have a crossing for that driveway so people know that there might be pedestrians there. The lanes meet our minimum and there is room for bypass, but the two landscape islands do not meet our standards. She stated we would also need more information on site lighting.

Mark Bailey with Feenstra & Associates was present. He stated the easement Golder was referring to they still do not have all the title work for the property they are trying to find

out if one exists already, they should have that soon. He stated they moved the building over because of the landscaping. It was very tight to put anything in so it made it much easier to put landscaping in with the wetlands they are trying to minimize the area that they are going to impact, so by sliding everything over it doesn't help a whole lot, but it does decrease that some. He said they put stripes across the road for the walk crossing. He stated they are currently working with EGLE on mitigation and the wetlands. He stated as far as the site lighting they are working with a commercial lighting company that is supposed to be providing that for them, they have not yet.

Garner Tyson with Biggby coffee was also present.

Holtrop questioned the landscaping on the east side of the parcel. Bailey stated they put about 7 deciduous trees on each side and about 25 shrub or dwarf type ornamental trees. Holtrop stated he thought it was strange that only one parcel is going to have landscaping.

Holtrop questioned their parking for the staff. Golder stated there are 8 spaces and that is more than they need for employees, it is only an 800 square foot building. She stated because it is tight, they might be able to remove some spaces and it might be a help with maneuverability because backing out is going to be tight.

Jones questioned why drive-thru only. Tyson stated they have done a lot of Biggby's and through covid they found that the lobbies aren't being used as much, not only can they staff less it is more economical.

The commissioners were ok with the request.

<u>Case#27-23</u> – Kentwood Drive and Shine – Special Land Use and Site Plan Review for a Vehicle Wash Establishment – Located at 3311 Woodland Drive SE

Pung stated the request is a special land use and site plan review for a vehicle wash facility and with it they are also proposing a accessory oil change and quick lube.

Pung stated this is a 4 ½ acre site located on the north side of Woodland Dr. west of the East Beltline. The site is currently an overflow parking lot for the office building to the north which the applicant also owns.

Pung stated there is currently a drive that only provides access to Anna's House which is on the adjacent property to the east. He stated with this proposal would also serve as the main access to this site. The existing drive connection to the north goes into the other parking lot that will be an egress only for bypass traffic. It will also serve as an egress only for bypass traffic.

Pung stated the building would be a 23,400 square foot building with an oil change facility, interior carwash, interior self-vacuum, and interior vacuum and cleaning that will be done by staff and then there will also be some exterior vacuums. He stated they are

also proposing future vacuums that will be closer to the residential so there may be some concerns with noise and screening.

Pung stated this site was conditionally rezoned to C2 community commercial in December of last year. One of the conditions of approval was that the use was restricted to the carwash and the accessory oil change only. As long as it is zoned C2 this is the only use that can be there, and the oil change can only be associated with the carwash.

Pung stated they also went to the Zoning Board of Appeals for several variances. One was for a reduction to the rear yard setback. They were granted a variance of 28 feet to the rearyard setback. They were also granted a reduction of 17 feet to the adjacent residential to the northwest. They were also granted a waiver to the 10-foot buffer zone requirement along the property line, but one of the conditions of approval was that, they would be putting in a permanent landscape easement that would act as that buffer but it will be on the adjacent property to the north.

Pung stated the applicant provided an operational description and indicated that the number of employees would be 6, but staff would like that to be clarified that they only intend to have 6 employees and that will be adequate to manage the services that they provide. Staff is also looking at them to add into the operations statement of how the wastewater is going to be treated. Pung stated staff would also like some additional detail of how long it takes to provide each service so staff can see how long the stacking might be.

Pung stated it is currently located on 3 separate parcels. Those parcels will have to be combined as part of this project. As noted, they want future outside vacuums on the westside of the building. Those would be closer to the apartments and residential to the northwest and they would not be screened by the building. Pung stated staff wants to make sure there isn't any noise issue. He stated regarding the noise the applicant has indicated that they have done studies showing how the noise is not going to be an issue. Staff is looking for them to provide that information and the studies of what the noise levels are going to be at that property line.

Pung stated we are looking at having the permanent landscape easement and also providing a permanent egress to the East Beltline over to the adjacent property to the north. We have to make sure if the property to the north is ever sold that egress is maintained and they are able to get off the site for the bypass. He stated staff is also looking at the bypass. If there is more than one vehicle the bypass could be blocked, we will need to know how busy the use is and how often it will get blocked or is there a way to create a different bypass so people aren't waiting in line for the oil change and they are not blocking the egress from someone trying to get out of the carwash.

Carolyn Kurtz, from AR Engineering was present. She stated they met with staff and the traffic engineer and a representative from the Fire Department to discuss any potential issues. In concerns of the vacuum noises, she read documents from the manufacturers

giving their statement on the noise levels and a statement from the owners. They do not see a potential issue with the noise generated from the vacuums. Even with the future vacuums shown, they are over 120 feet from the residential, twice the distance that the owner states and there is some tree screening.

Porter questioned if the building will be one or two stories and a lot of glass. Kurtz stated it is one story and the vacuum enclosure is all glass.

Holtrop stated he thinks if they can move the bypass lane further west, that would address the oil change back up potential. He stated he isn't sure of the reasoning of needing the reserved area for future vacuums, he is not a huge fan of putting the vacuums to the west. Kurtz stated the owners want them there in case demand is high for them and the actual vacuum is in an enclosure.

Poyner questioned if they have a specific plans as far as noise. Kurtz stated there is quite a bit of existing landscaping and they do have some proposed landscaping. She stated as mentioned they are over 100 feet from that residential property and according to the manufacturer the vacuums are 60 decibels at the actual enclosure therefore 100 feet it wouldn't provide much noise at all if any.

VanderMeer gave examples of other businesses that are 100 feet within a carwash with vacuums. He stated that you don't hear the noise. He stated he was more concerned about the only 6 employees, but the owner understands what it takes to run a business.

K. New Business

Motion by Holtrop, supported by Quinn, to set public hearing date of November 14, 2023, for: <u>Case# 28-23</u> - DAMA Ventures LLC – Special Land Use Indoor Vehicle Sales and Site Plan Review – Located within Phase A of 3350 Broadmoor Avenue, zoned I-1 Light Industrial

- Motion Carried (7-0) –
- Benoit and Kape absent -

L. Other Business

1. Commissioners' Comments

Commissioners offered no comments.

2. Staff's Comments

Schweitzer stated Tuesday October 17 at the City Commission Committee of the Whole meeting at 5:30pm there will be a presentation on the transit master plan and invited the commissioners to attend. Golder stated at the same meeting staff if also presenting the housing recommendations to the City Commission.

Golder stated Storage 5 has retained legal counsel and they tabled their City Commissioner conditional rezoning request. She believes they might try to amend the conditions and bring it back to the Planning Commission.

M. Adjournment

Motion by Commissioner Weir, supported by Commissioner Porter, to adjourn the meeting.

- Motion Carried (7-0) -
- Benoit and Kape absent

Meeting adjourned at 8:55pm.

Respectfully submitted,

Ed Kape, Secretary



CITY OF KENTWOOD PLANNING COMMISSION PROPOSED FINDINGS OF FACT OCTOBER 24, 2023

Golder 10/2/23

PROJECT:

Bosgraaf Homes LLC

APPLICATION:

17-23

REQUEST:

Change of Master Plan designation from Low Density

Residential to Medium Density Residential

LOCATION:

2802 44th Street SE

HEARING DATE:

October 10, 2023

MOTION: Motion by Poyner, supported by Quinn, to recommend to the City Commission conditional approval of the request to amend the Master Plan Designation for 4.72 acres of land located at $2802-44^{th}$ Street from Low Density Residential to Medium Density Residential as described in Case No. 17-23. Approval is conditioned on conditions 1-2 and basis points 1-6 as described in Golder's memo dated October 2, 2023.

- Motion Carried (7-0) -
- Benoit and Kape absent

CONDITION:

- 1. The site shall be developed as a Residential Planned Unit Development.
- 2. The proposed residences shall be limited to two stories or 25 feet in height.

BASIS:

1. Redevelopment of the site from Low Density Residential to Medium Density Residential can be accomplished in a way that is compatible with the surrounding residential uses.

The areas adjacent to the subject property are low density residential homes. The proposed development can provide adequate separation from the adjacent uses. Further, any proposed structures on the site would be limited to 2 stories in height, consistent with homes located on adjacent properties.

2. When developed as a PUD, property will require approval of a site plan, building elevations, and landscape plans at the time of the rezoning.

In preparing the Master Plan amendment the applicant has provided examples of housing development that may be proposed for the site. Some concern was expressed that the amendment of the Master Plan to Medium Density Residential would allow the maximum density of up to 8 units per acre. The requirement to develop the site as a PUD offers the city flexibility in determining whether the density proposed is appropriate for the location. At the same time, the PUD will allow the developer the flexibility to cluster the housing in a way that preserves open space and provides screening to the adjacent homes.

3. The applicant has indicated his intent to develop the site for housing units that are owned rather than rented.

The PUD zoning will allow the city to incorporate this intention into the PUD Statement, which will become a condition of the rezoning approval.

4. The City will have the ability to review the plan and to determine if the proposed site plan, density, open space, access, and amenities offered are adequate.

Review and consideration of the site plan submitted for PUD approval may require amendments to the plan; including, but not limited to, a reduction in density, a reduction in building height, an increase of open space and amenities, or a traffic analysis to determine whether ingress and egress to the site and provide safe access to the development.

- 5. The 4.72-acre site includes wetlands on the south side of the site and 660 feet of frontage along 44th Street, an arterial street with a vehicle count of more than 36,000 vehicles per day. Low density residential use may be difficult to build given the limitations of the site.
- 6. Discussion at the Master Plan Committee, Land Use and Zoning Committee, work session, public meeting and public hearing.

PLANNING STAFF RECOMMENDATION

Golder

PROJECT:

2180 44th Street hotel

APPLICATION:

24-23

REQUEST:

Special Land Use for a 24-room hotel

LOCATION:

2180 44th Street SE

HEARING DATE:

10/24/23

RECOMMENDATION:

Recommend Conditional Approval of the request for Special Land Use approval of a 24-room hotel as described in Case No. 24-23. Approval is conditioned on the

following:

CONDITIONS:

- 1. Compliance with the Applicant's Statement of Operation dated October 19, 2023.
- 2. Applicant to record a restrictive covenant, with language reviewed and approved by the city attorney, that the property cannot be used for "residential rental" purposes and that no landlord tenant relationship can be formed with any hotel guests.
- 3. The Applicant shall establish a guest policy or guest agreement that must be given to guests or posted in a prominent location that states, "Every Guest acknowledges that he or she is not a tenant but a licensee on a day-to-day basis, and that Guest has no property or possessory interest in the room being rented to Guest. The hotel may ask the Guest to leave the premises at any time."
- 4. Staff approval of a landscaping and lighting plan. The landscaping plan shall include detailed information on the type, size and quantity of proposed landscaping and details regarding the fence along the south property line. The lighting plan must meet the standards of Chapter 20 of the Kentwood Zoning Ordinance and must minimize any adverse impact on adjacent properties and maximize security enhancements.

The lighting plan will be subject to the review of the Kentwood Police Department.

- 5. Applicant shall provide operational security cameras within and outside of the hotel (including the parking lot) to ensure the safety of guests. The security camera system proposed shall be subject to the review of the Kentwood Police Department.
- 6. Relocation of the current driveway to align with the drive aisle nearest to the hotel. The other existing driveway serving the property shall be closed.
- 7. The one-way drive aisles on the east of west sides of the parking area shall be two-way drives of at least 24' of width.

BASIS:

- 1. The applicant's Statement of Operations includes rental policies, improvements, employees, and amenities that will ensure that the operation will be harmonious with the character of the area. The Statement of Operations also includes a representation to the City of the durational limit that will apply to all customers and guests to ensure that the hotel does not become a long-term rental property.
- 2. Michigan law does not have clear rules that distinguish hotel guests from tenants. If a guest becomes a tenant, there are specific tenant rights and landlord obligations that come into play and the nature of the use will have been changed. The requirement for restrictive covenants would prohibit the property from becoming a residential rental property (multifamily development) which is not permitted in the C-4 District.
- 3. The addition of security cameras for the hotel will ensure the safety of guests in the common areas of the hotel and in the outdoor perimeter of the property.
- 4. The property is zoned for Office use, which allows for hotels with Special Land Use approval. A total of 24 rooms are proposed. The use will not generate significant amounts of traffic and will be screened from view of the neighboring properties. Landscaping and fencing have been proposed along the south lot line to screen the residence to the south.
- 5. A hotel generates relatively little traffic when compared to other commercial/office uses that are permitted by right in the C-4 Office District.

6. Discussion at the work session and public hearing.

KEN1MOOD' WI 48208 5180 441H 21 2E A001 ¢4TH ST BOUTIQUE HOTEL



IDIT DENSITY LINE LOTA AREA. NOON OF HINL LOT MEA RESO, WA HAN LOT WROTH OF 150" + 400 SF LOT AREA PERINCIEL AND TELL OLIEST LINET. SELL ON SE

SIZE LJAOTEL GUEST UNITS TO BE 250 SF, MIN. / PROPOS

UILDING HEIGHT 45' ALLOWED! 33's EXIST.

ZETBACKS FROM T ØR REOD, 135'E EXIST, SIDE 12'REOD, 125'TOTAL) 124'E MIN, EXIST, (SINGLE SIDE) - REAR: 33' REOD, 1180'E EXIST. LOT COVERACE. - 35% MAXIMUM COVERAGE (BLDG GROUND FLOOR AREA) -> 58,887 SF SITE X.35 * 20,610 SF ALLGWED / 8,783 SF EXIS)

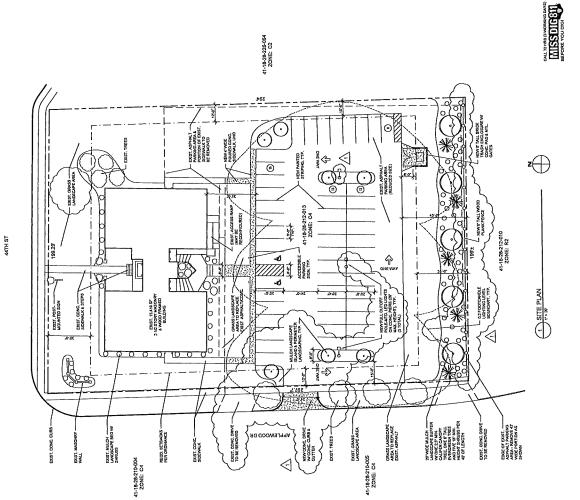
SITE DEVELOPMENT STANDARDS ING DISTRICT CA







VICINITY MAP



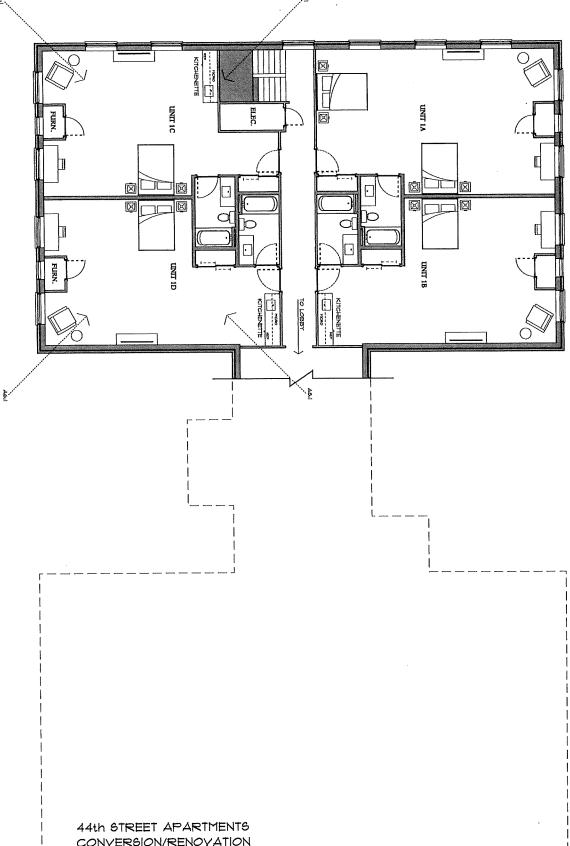
ENST, TREE OR BUWH
PROPOSED DECIDIOUS TREE
PROPOSED DECIDIOUS BUSH
PROPOSED EVERGREEN TREE OR BUSH

000*

LED pole kit with single 150 Watt LED light. 15-25 ft. pole options. Part #: PK150

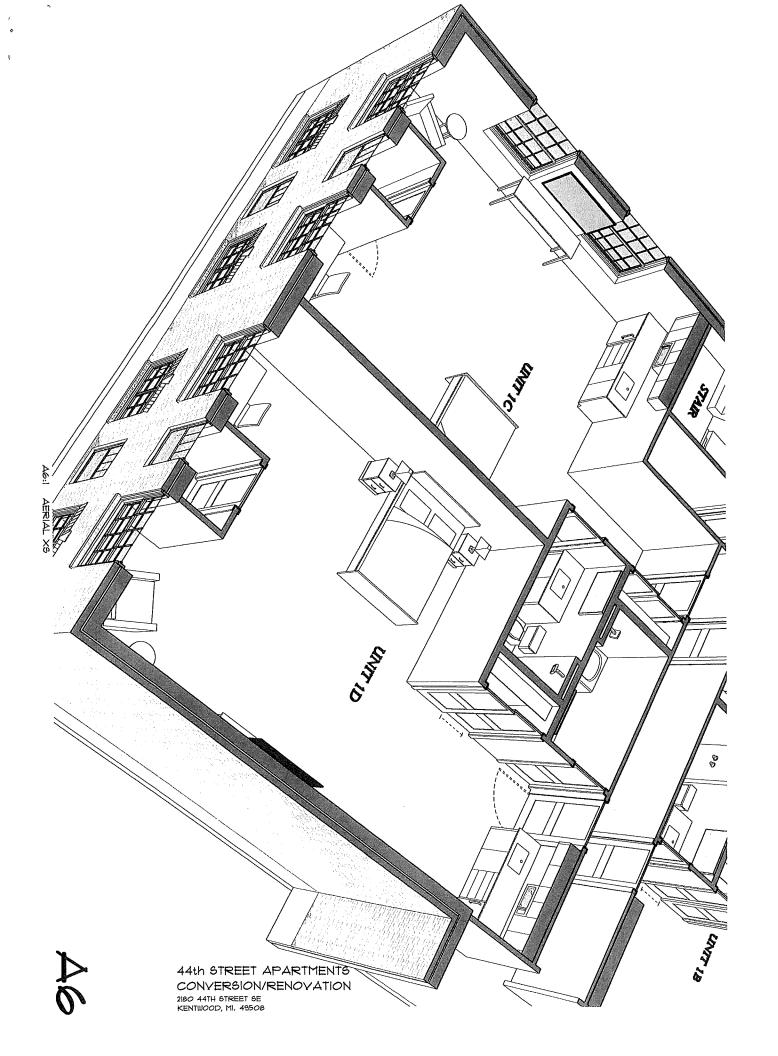
Pole Specifications: -Pole Material: -11-gauge steel (15 & 20 ft. poles) -7-gauge steel (25 ft. pole) -Pole height: 15, 20 and 25 ft. 20' POLE SPECIFIED FOR PROJECT --Pole Shape: 4 in square -Pole Color: Bronze -Bolt Circle: 8-9" SEE SITE PLAN. -Anchor bolt size: -3/4" X 17" X 3" (15 & 20 ft. poles) -3/4" X 30" X 3" (25 ft. pole) **Energy Light LED Specifications:** -Mounting Style: Direct Mount (Fixed-Not adjustable) -Power: 150 Watt -Voltage: Auto-Detect: 120 to 277 Volt -Delivered Lumens: 18,000 lumens -Amps: 1.25 (120 Volt) to 0.55 (277 Volt) Amps -Material: Die-Cast Aluminum -Rating: Wet location- Commercial Grade -IP Rating: IP 65 -Color Temperature: 5000 K -Warranty: 5 Years -Operating Temperature: -40 to 130 F -Lifespan: 50,000 hours -Certification: UL listed -Maximum Wind Rating: -160 mph: 15 ft. -150 mph: 20 ft. -140 mph: 25 ft 13 3/8"

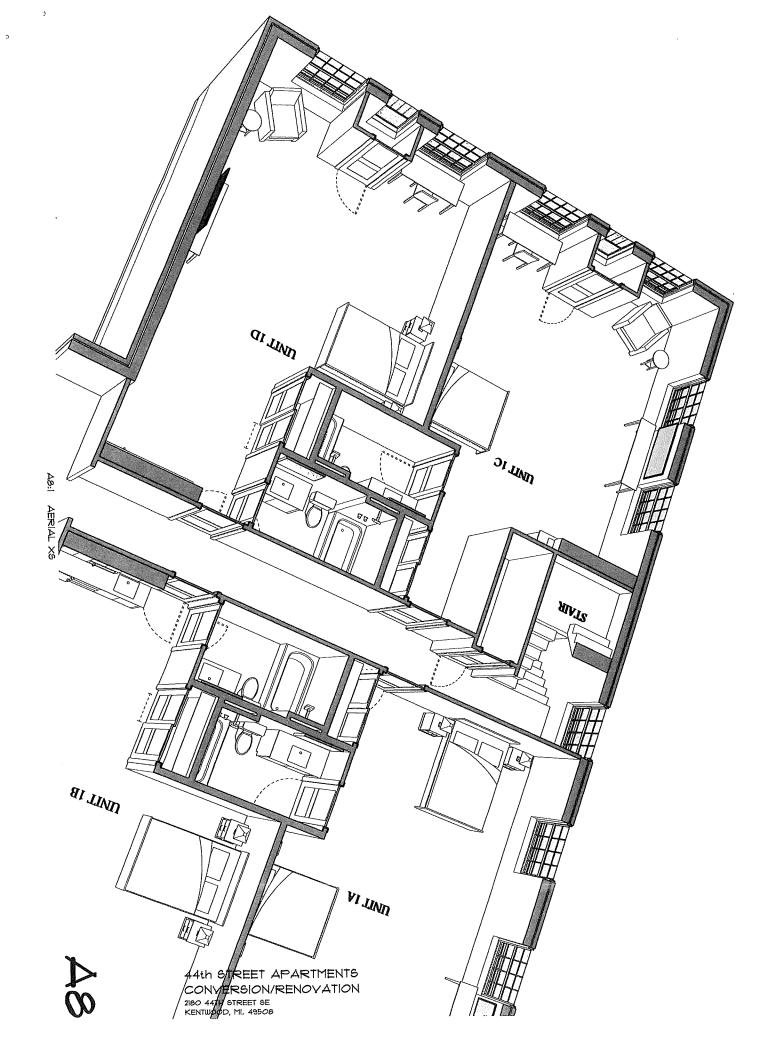
Energy Light Inc. 800 E. Northwest Hwy. Palatine, IL 60074



CONVERSION/RENOVATION

2180 44TH STREET SE KENTWOOD, MI. 49508





HOTEL OPERATING STATEMENT

2180 and 2186 44th Street SE Kentwood MI 49508

Date: October 19, 2023

Hotel Operating Statement #1.2



This Hotel Operating Statement ("Statement") executed on October 19, 2023 by Aura Boutique Hotel, LLC ("Hotel"), a legal structure of the Hotel, with its principal place of business located at 2180 and 2186 44th Street SE, Kentwood MI 49508 (the "Property").

1. Purpose

This statement outlines the terms and conditions governing the operation of the Hotel and the responsibilities of the parties involved, relative to development and use of the Property as a hotel for land use and zoning purposes.

2. Maximum Stay Duration

It is agreed that no tenant or guest shall be allowed to stay at the hotel for a continuous period exceeding three (3) months (90 days) within any six (6) month (180 day) period. Undersigned affirms that the property will not be used for residential rental purposes and no landlord /tenant relationship will be formed with any guest.

3. Reservations and Check-in

Guests may make reservations through the Hotel's reservation system or at the front desk. All guests are required to have valid identification and complete the check-in process.

4. Room rates and Payment

Room rates and payment terms will be set by the Hotel and communicated to guests during the reservation process or at the time of check-in. Rooms will be processed for single days only (e.g., not monthly).

5. Guest Conduct

All guests are expected to adhere to the Hotel's rules and policies, which will include but are limited to:

No excessive noise or disturbances.

No smoking in designated non-smoking rooms.

Compliance with all applicable laws and regulations.

No illegal activities on the premises.

6. Maintenance and Repairs

The hotel will maintain the premises in a clean and safe condition. Guests are responsible for reporting any damage or maintenance issues promptly. The Hotel will provide housekeeping services.

7. Termination

The Hotel reserves the right to terminate a guest's stay for violation of Hotel policies, illegal activities, non-payment, or other reasonable causes as permitted by law.

8. Governing Law

This statement shall be governed by and constructed in accordance with the laws of the State of Michigan.

Booking Restrictions

9. The Hotel will enforce a policy that mandates guests to engage with hotel staff for reservations of consecutive nights, thereby preventing the option to book multiple nights online.

10. Regular Room Inspections:

The Hotel will conduct regular room inspections to ensure the guests are not turning hotel rooms into long-term residences.

11. Periodic Rate Adjustments

The Hotel will regularly update the rates for extended stays to align with current market trends and discourage prolonged occupancy at a fixed price.

12. Promotion Restrictions

Extended stays can be obtained through various promotional offers, discounts, or loyalty programs available to individuals who can provide proof of employment from local businesses or hospitals in the area.

IN WITNESS WHEREOF, the undersigned has executed this Hotel Operating Statement as of the Effective Date.

Aura Bo	outique Hotel LLC			
Ву:	Vince Rostov			
Date :				

PLANNING STAFF RECOMMENDATION

Golder 10/19/23

PROJECT:

2180 44th Street hotel

APPLICATION:

24-23

REQUEST:

Site plan review of a 24-room hotel

LOCATION:

2180 44th Street SE

HEARING DATE:

10/24/23

RECOMMENDATION:

Recommend Conditional Approval of the site plan dated October 17, 2023 for a 24-room hotel as described in Case No. 24-23. Approval is conditioned on the following:

CONDITIONS:

- 1. Compliance with the Applicant's Statement of Operation dated October 19, 2023.
- 2. Staff approval of a landscaping and lighting plan. The landscaping plan shall include detailed information on the type, size and quantity of proposed landscaping and details regarding the fence along the south property line. The lighting plan must meet the standards of Chapter 20 of the Kentwood Zoning Ordinance and must minimize any adverse impact on adjacent properties and maximize security enhancements. The lighting plan will be subject to the review of the Kentwood Police Department.
- 3. Applicant shall provide operational security cameras within and outside of the hotel (including the parking lot) to ensure the safety of guests. The security camera system proposed shall be subject to the review of the Kentwood Police Department.
- 4. Relocation of the current driveway to align with the drive aisle nearest to the hotel. The other existing driveway serving the property shall be closed.
- 5. The one-way drive aisles on the east of west sides of the parking area shall be two-way drives of at least 24' of width.

BASIS:

- 1. The applicant's Statement of Operations includes rental policies, improvements, employees, and amenities that will ensure that the operation will be harmonious with the character of the area. The Statement of Operations also includes a representation to the City of the durational limit that will apply to all customers and guests to ensure that the hotel does not become a long-term rental property.
- 2. The addition of security cameras for the hotel will ensure the safety of guests in the common areas of the hotel and in the outdoor perimeter of the property.
- 3. The property is zoned for Office use, which allows for hotels with Special Land Use approval. A total of 24 rooms are proposed. The use will not generate significant amounts of traffic and will be screened from view of the neighboring properties. Landscaping and fencing have been proposed along the south lot line to screen the residence to the south.
- 4. Approval of the Special Land Use for the proposed hotel.
- 5. Discussion at the work session and public hearing.

PLANNING STAFF RECOMMENDATION

Golder 10/17/23

PROJECT:

Biggby Coffee Drive Through

APPLICATION:

26-23

REQUEST:

Special Land Use for a Drive-Through Facility

LOCATION:

2300 44th Street SE

HEARING DATE:

October 24, 2023

RECOMMENDATION:

Recommend conditional approval of the Biggby Coffee

Drive-Through facility as described in Case No. 26-23.

Approval is conditioned on the following:

CONDITIONS:

- 1. Drive-through shall be operated in accordance with the Applicant's operations narrative dated October 5, 2023.
- 2. Review and approval by the Kentwood City Engineer and compliance with the Kentwood Fire Marshal's memo dated October 2, 2023. Applicant shall provide turning radius information to ensure that service vehicles accessing the site can be accommodated.
- 3. Approval of the proposed site wetland mitigation by the Michigan Department of Environment, Great Lakes and Energy (EGLE).
- 4. Applicant shall provide a copy of the recorded cross access easement with the property to the east.
- 5. Staff approval of final landscaping and lighting plan for the site.

BASIS:

- 1. The final landscaping must be reviewed to ensure that it meets the requirements of Chapter 19 of the Zoning Ordinance and provides adequate visibility from the public street. The plan must also be reviewed from a safety standpoint to ensure that all areas of the site meet the lighting uniformity standards of Chapter 20 of the Zoning Ordinance.
- 2. The applicant has proposed the mitigation of wetlands area that must be approved by EGLE.
- 3. The site plan indicates the easement with the adjacent property as a proposed, rather than an existing easement.
- 4. The plan otherwise meets the Special Land Use Standards of Section 15.02 and 15.04BB of the Zoning Ordinance.
- 5. Discussion during work session and public hearing.

Station 1: 616-554-0800 Station 2: 616-949-1780 Station 3: 616-534-7117



KENTWOOD PLAN REVIEW

Fire Department Information

Occupant ID: 24403

Inspection Date: 10/02/2023
Inspected By: QUICK, PATRICK

Facility Information

Occupant Name: BIGGBY COFFEE
Business Address: 2300 44TH

Inspection Information

Inspection Type: SITE PLAN ONLY

Inspection Notes: Site plan for new drive thru coffee shop. Plans approved as submitted.

Fire Code Reference

Description Comments Approved vehicle access for fire fighting shall be provided to all construction or demolition sites prior to and during the time of construction. Access road(s) (20 feet wide, designed and maintained to support a vehicle weighing 20 tons on a single axle with dual wheels and standard road tires) shall be constructed as required. This road may be gravel, but vehicle access must be maintained and unobstructed at all times. (IFC 501.4, 503.1.1, 503.2.3, 503.4, 3310.1) Provide fire lane(s) on the side(s) of the Fire lanes are adequate for building. building. Each side of the building where a fire lane is required must have an entrance as close to the middle as possible. The fire lane must be a minimum of 10 feet and a maximum of 30 feet from the building, and within 100 feet of all fire department connections. (IFC 503.1.1) Install inch Arabic numerals on the front of the building in a 6 inch numbers required on building on the 44th color that contrasts with the immediate background on which the street side. Or 4 inch numbers on building and sign numerals are mounted and that will be readily visible during normal at road. daylight. (IFC 505.1 - 505.1.7) Install supplementary inch Arabic address numerals on a post Provide temporary numbers during construction or mailbox on the same side of the public road as, and directly in phase of project. front of, the building in such a manner as to be readily visible to occupants of fire department vehicles on the public road. (IFC 505.1.2.4, 505.1.3) Gas meters, regulators and piping shall not be placed where they will be subjected to damage, or shall be protected by approved physical barriers. (IFC 603.9, 312; NFPA 54) Required means of egress shall be maintained during construction and demolition, remodeling or alterations and additions to any building. (IFC 3311.2)

<u>Signatures</u>

First Name	Last Name	Signature Date	
Pat	Ouick	10/02/2023	



To:

Kentwood Planning Department

From:

Brad Boomstra, P.E.

City Engineer

Date:

October 18, 2023

Re:

Biggby Coffee

2300 44th Street SE 41-18-28-226-006

We have completed our review of the proposed revised preliminary plat site plan dated 9-18-2023 for the above referenced project.

Kentwood Engineering has the following comments that will need to be addressed before this office can grant site plan / construction plan approval:

Overall Plan Comments:

- 1. Sheet C1: Site Plan Key Notes: #4 provide a detail for the sidewalk construction.
- 2. Sheet C1: Site Plan Key Notes: #7 Provide a copy of the wetland permit when it is acquired.
- 3. Sheet C2: The construction schedule is not accurate.
- 4. Sheet C2: Storm Sewer Structures The proposed outlet is 0.5' higher in elevation than the inlet pipes. Provide a detail for these structures. Also label these structures in the Plan View.
- 5. Include the City of Kentwood General Notes on the plan(s). These notes are required for the work being performed in the 44th Street right-of-way. Highway permit conditions, specifications and required general plan notes are posted on the City's website, and can be accessed at http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "RIGHT-OF-WAY" link near the top of the page). This requirement relates to the construction of the proposed sidewalk
- 6. Sheet C2: The proposed sign will not be allowed in the _____ Street public right-of-way.

Storm Sewer / Drainage:

1. Provide a tributary area map and calculations to verify the capacity of the proposed and existing storm pipes to carry a 10-year storm (or a 100-year event if no overland floodway is provided). Use the Kentwood Storm Sewer Design Standards available on the City's website; they contain a Kentwood-specific IDF curve and time of

concentration (T_c) nomograph. Use a minimum initial T_c of 10 minutes. Maintain a minimum cleansing velocity of 2.5 ft/sec in the pipes. Calculations must be sealed by a registered engineer.

- 2. How will the roof be drained? Where will this flow go?
- 3. Additional comments regarding drainage may be made upon further review.

Detention Basin:

- 1. On-site stormwater detention will be required for this parcel. Section 78-123 of the City of Kentwood Ordinance requires that the new detention facility be sized for the entire parcel in a *fully developed condition*. We will need to see these calculations.
- 2. The amount of detention volume required may be based on an estimate of the percentage of impervious surface area based on the Kent County Subdivision Drainage Rules (short method #1), on the basis of 0.1 acre-ft per acre for the entire parcel (short method #2) or, alternately, a tabulation of actual reservoir routing (long method). Routing calculations usually result in the lowest required volume. The detention sizing must be based on a 25-year storm. We will need to see detention sizing and release calculations.
- 3. We need to see a more detailed drawing of the proposed detention basin outlet control structure.
- 4. Kentwood allows a maximum detention release rate of 0.33 cfs/acre, based on the total parcel size.
- 5. The minimum diameter restrictor pipe size is 4 inches.
- 6. In order to allow a proper transition from a point discharge to natural flow, 50 feet of downstream protection will be needed for the detention basin outlet pipe. This may consist of 4" concrete, grouted riprap, or properly sized riprap, all on filter fabric (MDOT "Geotextile Liner"). Both the surface material and the fabric must be toed in at least 18 inches at all earth interfaces. The treatment must be extended completely around the end of the pipe by two (2) feet to protect from eddy currents. The point source must be at least fifty (50) feet from the property line.
- 7. The emergency outlet pipe must be capable of carrying a 10-year, fully developed non-detained storm flow. Please provide calculations to show that the pipe can carry this flow.
- 8. An emergency spillway may also be used instead of an outlet pipe. Section V(E) of the City of Kentwood Standard Specifications for Design and Construction of Storm Detention Storage requires that the detention basin spillway "shall be constructed of hot-rolled plant mix asphalt or concrete, and must extend from the top of the berm to the intersection with the outfall channel. All interfaces with native soil shall be toed in." Show a detail on the plans.

Soil Erosion and Sediment Control:

1. We will need to see some additional soil erosion control measures as part of the plan review. Section 78-62 of the City of Kentwood Ordinance (posted on the City's

website) contains minimum requirements for information that shall be included on the plan. Go to: http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORMWATER" link near the top of the page). Please review this ordinance carefully.

- 2. Indicate and label the 1% chance (100-year) flood elevation on the SESC plan or add a note that none exists on this site.
- 3. Indicate and label the wetland delineation line or add a note that none exist on this site.
- 4. Include a written description of the soil types of the exposed land area contemplated for an earth change.
- 5. Place a note on the soil erosion control plan to indicate that existing and new catch basins shall be protected with an inlet filter drop (silt sack). Straw bales or fabric placed under the grate are NOT acceptable, and sediment traps alone are not sufficient to provide adequate sediment filtration. Such a note might read, "EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FABRIC DROP (SILT SACK)." Include a simple detail of the proposed silt sack on the Soil Erosion and Sediment Control plan. We can provide you with an acceptable CAD detail upon request.
- 6. Place the following notes on the soil erosion control plan:
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC ACT 451.
 - ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.
 - ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
 - EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED. (This area of disturbance, or grading limits, must be clearly shown on the site plan.)
 - SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE. (Remember that silt fences are intended to intercept *sheet flow* only and must always be installed *parallel* with the ground contours. Silt fences must not cross ravines, overland floodways, ditches, swales, etc. where concentrated flows occur.)
 - ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 AND THE DETENTION BASIN BANKS AND BOTTOM MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF. (Indicate such areas with shading or hatching on the plan.)
 - ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.

- NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT DOES
 OCCUR, IT SHALL BE CLEANED DAILY.
- THE STORMWATER DETENTION BASIN IS TO BE THE FIRST ITEM OF EARTH MOVING AND SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE INSTALLATION OF SOIL EROSION CONTROL MEASURES.
- 7. Per the requirements of Part 91 of P.A. 451, place on the soil erosion control plan a bar graph or chart showing the proposed timing and sequence of each proposed earth change. It must include the installation of both permanent and temporary soil erosion and sedimentation controls, as well as the removal of temporary controls. It must also show the sequence of any construction phases.
- 8. A stone construction exit must also be included as part of the soil erosion control plan. Indicate the location of this exit on the plan, along with a detail. The length of the rock construction exit shall be at least 50 feet and shall consist of a 6-inch minimum layer crushed rock or stone on top of non-woven geosynthetic fabric (MDOT "Heavy Geotextile Liner"). The size of the stone shall be selected so that it cannot get caught between dual truck tires.
- 9. Additional soil erosion and sediment control comments may be made by Kentwood staff upon further review.

Utilities (Sanitary & Water):

- 1. The City of Grand Rapids owns, operates and maintains the sanitary sewer collection and water distribution systems in this portion of Kentwood. Any alterations, extensions or new connections to either of these systems will require approval from Grand Rapids. Construction plans (drafting standards) and specifications for the proposed watermain and sanitary sewer must conform to Grand Rapids requirements.
- 2. A representative of the City of Kentwood Inspections Department must be present when the tap is made into the existing sanitary sewer.
- 3. The Grand Rapids Water Department must be present to make the tap into the existing watermain. Notify the Grand Rapids Water Department before making the connection to the existing service lateral.

Required Permits, Bonds, Fees [and Escrow]:

1. Because this parcel is adjacent to a public street, over one (1) acre is being disturbed, or is within 500 feet of a lake or steam, a Permit for an Earth Change (fee \$400) and a \$5,000 soil erosion control performance bond or an irrevocable letter of credit using the City of Kentwood format will be required through Kentwood Engineering. The Owner/Developer must sign the Permit for an Earth Change. Both the Owner/Developer and the Contractor must be named on the bond. Please contact us if you need a permit and/or a bond template form, or one can be accessed on the City's website at http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORM WATER" link near the top of the page). There is a 365-day limit to complete the work under this permit.

- 2. A \$30,000 Site Grading and Stormwater Management Bond or an irrevocable letter of credit using the City of Kentwood format and an administrative fee of \$600 will be required through Kentwood Engineering. This bond is posted to assure that the plan, once approved, is constructed in the field according to that plan. Both the Owner/Developer and the Contractor must be named on the bond. Let us know if you need our bond template, or it can be accessed on the City's website.
- 3. A permit will be needed from the MDEQ for the proposed work within the existing wetlands.
- 4. Please note that <u>all</u> required bonds and permit applications and fees must be submitted to, and accepted by, Kentwood Engineering *before any permits can be issued!* There will be no "partial" or "conditional" permits issued.

Miscellaneous / Reminders:

- 1. Please be advised that at the completion of construction, a civil engineer or surveyor will need to provide an as-built plan to the City of Kentwood with a certification by a registered engineer stating that the site grading and the stormwater system were constructed in accordance with the approved plans. A copy of the certification form is available upon request or on the City's website.
- 2. Remember that, for a Building Permit to be issued, other City departments (fire, assessor, treasurer, water, planning) may have comments regarding this plan. Contact Kentwood Inspections (Renee Hargrave, 554-0781) regarding building permit application procedures, fees, plan requirements and approval status.
- 3. Once final approval by all departments has been granted, make sure the contractor has the latest approved set of plans before beginning construction!

Should you have any questions regarding this department's review, please feel free to contact our office.

cc: Kentwood Engineering Permit Staff

PLANNING STAFF RECOMMENDATION

Golder 10/17/23

PROJECT:

Biggby Coffee Drive Through

APPLICATION:

26-23

REQUEST:

Site Plan Review for a Drive-Through Facility

LOCATION:

2300 44th Street SE

HEARING DATE:

October 24, 2023

RECOMMENDATION:

Recommend conditional approval of the site plan dated October 9, 2023 for Biggby Coffee Drive-Through facility as described in Case No. 26-23. Approval is conditioned on the following:

CONDITIONS:

- 1. Drive-through shall be operated in accordance with the Applicant's operations narrative dated October 5, 2023.
- 2. Review and approval by the Kentwood City Engineer and compliance with the Kentwood Fire Marshal's memo dated October 2, 2023. Applicant shall provide turning radius information to ensure that service vehicles accessing the site can be accommodated.
- 3. Site plan shall reflect the recorded cross access easement with the property to the east.
- 4. Staff approval of final landscaping and lighting plan for the site.
- 5. Staff approval of the building elevations and signage.

BASIS:

- 1. The final landscaping must be reviewed to ensure that it meets the requirements of Chapter 19 of the Zoning Ordinance and provides adequate visibility from the public street. The plan must also be reviewed from a safety standpoint to ensure that all areas of the site meet the lighting uniformity standards of Chapter 20 of the Zoning Ordinance.
- 2. The site plan indicates the easement with the adjacent property as a proposed, rather than an existing easement.
- 3. The building elevation must meet the materials requirements of Section 8.03 2 of the Zoning Ordinance. The signage proposed for the proposed building elevations does not meet the requirements of the Kentwood Zoning Ordinance
- 4. Approval of the Special Land Use drive through for Biggby.
- 5. Discussion during work session and public hearing.

Tyson Garner

616-802-7017 Tgarner@biggby.com

October 5th, 2023

Lisa Golder

Economic Development Planner City of Kentwood, MI

Dear Lisa,

I am representing Biggby Coffee, we recently acquired land on 44th Street with the aim of establishing a drive-thru Biggby location. I am writing to formally request a special land use and site plan review. Our proposal outlines a drive-thru Biggby Coffee operation. The property will house a drive-thru-only location with no indoor seating. Instead, we plan to incorporate a walk-up window option, allowing customers to place their orders and receive their purchases through this convenient service point. In terms of staffing, we anticipate a total of 15 employees. However, there will be no more than five employees working simultaneously. Our intended hours of operation will be from 5 a.m. to 9 p.m. I recently communicated with Dave Hanko from Feenstra, who informed me that they will be applying to EGLE for a wetland permit.

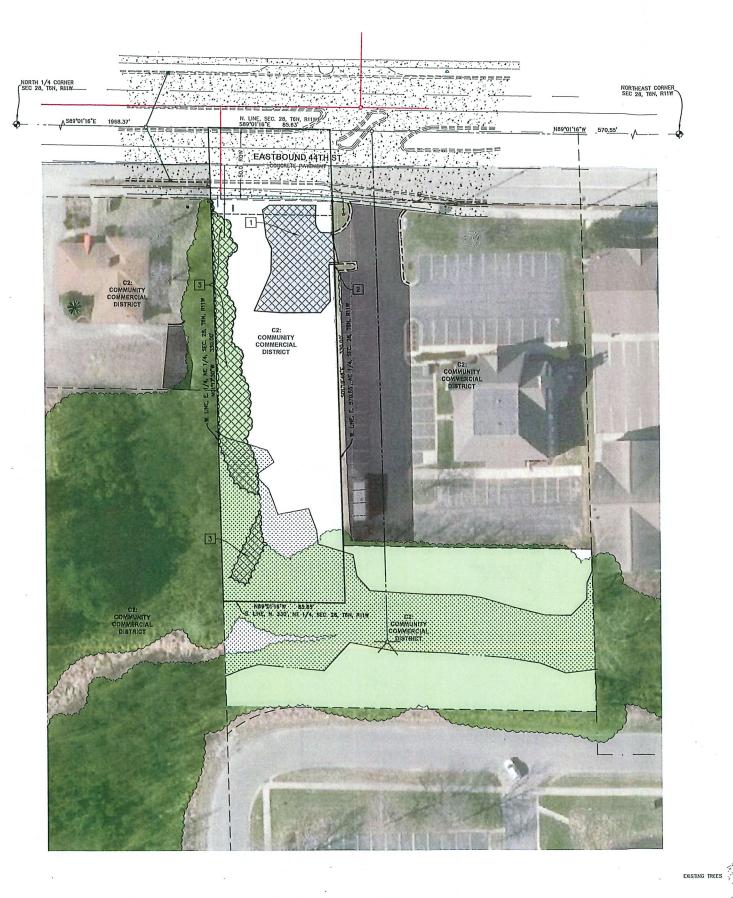
We look forward to discussing this proposal in detail, addressing any questions or concerns, and collaborating with the city and local authorities to ensure a successful development process. Thank you for your time on this project. We look forward to the opportunity of bringing this drive-thru Biggby location to 44th Street.

Sincerely,

Tyson Garner

Tgarner@biggby.com

616-802-7017



BENCHMARK:

ELEVATION 772.93
Flange Bolt on Hydrant on South Side of 44th Street, 7.3' East of East property Line.

PROPERTY DESCRIPTION:

PPN# 41-18-28-226-006 2300 44th St SE Owner: MT3 Holdings LLC 2030 Lake Michigan Drive SW Grand Rapids, MI 49504

The North 330 feet of the East 1/4 of the Northeast 1/4 of Section 28, T6N, R11W, City of Kentwood, Kent County, Michigan, excepting therefrom the East 570.55 feet thereof. Contains 28,270 SF or 0.65 Acres

1 REMOVE EXISTING BLACKTOP

DEMO PLAN KEY NOTES:

- 2 REMOVE EXISTING CURB
- 3 REMOVE EXISTING TREES







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LOCATION MAP NOT TO SCALE

LEGI	REVISIONS 10/9/23 PER REVIEW	
- TOWN	SECTION CORNER	COMMENTS
R - RANGE	- SET CAPPED IRON	
N – NORTH S – SOUTH	FOUND IRON OR NAIL	
- EAST	O STORM SEWER MANHOLE	
Y - WEST SEC SECTION	O SANITARY SEWER MANHOLE	
POB - POINT OF BEGINNING	E CATCH BASIN	
	Q HYDRANT	
PROPOSED BLACKTOP	◆ VALVE	
	⊕ UTILITY POLE	
PROPOSED CONCRETE	← GUY WRE	
EXISTING BLACKTOP	☆ LIGHT POLE	
Existino Benentos	∢ WALL MOUNTED LIGHT	
· ; EXISTING CONCRETE	m PEDESTAL	

SURVEY & DEMO PLAN **BIGGBY COFFEE** 2300 44TH ST SE

FOR: TYSON GARNER BIGGBY COFFEE 2030 LAKE MICHIGAN DR NW GRAND RAPIDS, MI 49504 PART OF THE NORTHEAST 1/4, SECTION 28, T6N, R11W, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

CIVIL ENGINEERS & SURVEYORS
3145 Prairle SI SW Phone: 616.457,7659
Grandville, MI 49418 www.leenstvainc.com

S1 9/18/2023



SCALE: 1" = 30'

EXISTING WETLAND



SITE PLAN KEY NOTES:

1 MENU BOARD

2 PARKING SPACE 9'x21' (TYP)

3 NEW BITUMINOUS PAVEMENT

4 PROPOSED 5' WIDE CONCRETE SIDEWALK

5 PROPOSED DUMPSTER ENCLOSURE

6 EXISTING POLE SIGN TO REMAIN

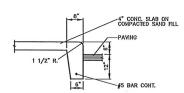
7 1,855 SQ. FT. OF IMPACTED WETLANDS

8 GREASE TRAP

9 SHIELDED WALL MOUNTED LIGHTS (TYP.)

10 SHIELDED LIGHT

11 TRANSFORMER

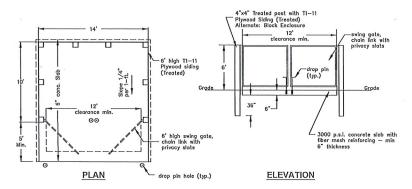


SIDEWALK WITH INTEGRATED CURB



PAVING DETAIL

NOT TO SCALE



DUMPSTER ENCLOSURE

BENCHMARK:

ELEVATION 772.93
Flange Bolt on Hydrant on South Side of 44th Street, 7.3' East of East property Line.

PROPERTY DESCRIPTION:

PPN# 41-18-28-226-006 2300 44th St SE Owner: MT3 Holdings LLC 2030 Loke Michigan Drive SW Grand Rapids, MI 49504

The North 330 feet of the East 1/4 of the Northeast 1/4 of Section 28, T6N, R11W, City of Kentwood, Kent County, Michigan, excepting therefrom the East 570.55 feet thereof.

Contains 28,270 SF or 0.65 Acres

REQUIREMENTS:

- PROJECT DESCRIPTION: CONSTRUCTION OF A NEW 800 SF BUILDING WITH ASSOCIATED DRIVEWAYS AND PARKING
- 2. ZONING: C-2 (COMMUNITY COMMERCIAL DISTRICT) ZONING

SETBACKS: FRONT YARD: REAR YARD: SIDE YARD;

30 FEET O EXCEPT WHEN ABUTTING OS, C-4, OR RESIDENTIAL

LOT DIMENSIONS:

MINIMUM AREA: 11,050 SF
MINIMUM WIDTH: 85 FT
MAXIMUM LOT COVERAGE: 75%

MAXIMUM BUILDING HEIGHT: 45 FT (30 WHEN ABUTTING RESIDENTIAL)

3. PARKING REQUIREMENTS:
PARKING REQUIRED BY ZONING:
1 SPACE PER 50 SF UFA, PLUS 4 STANDING SPACES PER OUTSIDE SERVICE WINDOW

PROPOSED PARKING;
7 REGULAR SPACES
1 HANDICAPPED SPACE
8+ STANDING SPACES FOR SERVICE QUEUE

GENERAL NOTES:

- 1. All utilities shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be the exact locations nor should it be assumed that they are the only utilities in the area.

 2. All work shall comply with applicable requirements or the local code, ordinances and accident/fire preventions regulations.

 3. Remove all demolition materials and debris from the site and dispose of properly affeits.

- offsite.

 Do not bury any debris, roots, topsoil or other materials.

 Adequately protect the site, adjoining property, and utility services.

 Contractor shall field verify all utilities prior to commencing work on new utility connections.

 Install all utilities in accordance with local specifications and requirements.

 Contractor shall be responsible for obtaining necessary permits for work in right-of-way and on any utility connections or abandonments.

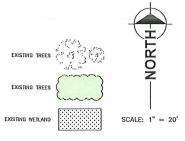
 Damage to existing utilities by the contractor shall be repaired at the contractor's expense.

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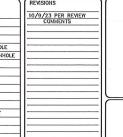




LOCATION MAP NOT TO SCALE



LEGE	END
T - TOWN	SECTION CORNER
R - RANGE	& SET CAPPED IRON
N - NORTH S - SOUTH	FOUND IRON OR NAIL
E - EAST	O STORM SEWER MANHOLE
W - WEST SEC SECTION	O SANITARY SEWER MANHOLE
POB - POINT OF BEGINNING	E CATCH BASIN
	Q HYDRANT
PROPOSED BLACKTOP	◆ VALVE
•	UTILITY POLE
PROPOSED CONCRETE	← GUY WRE
EXISTING BLACKTOP	☆ LIGHT POLE
	◀ WALL MOUNTED LIGHT
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BUILDING	─v─ SIGN



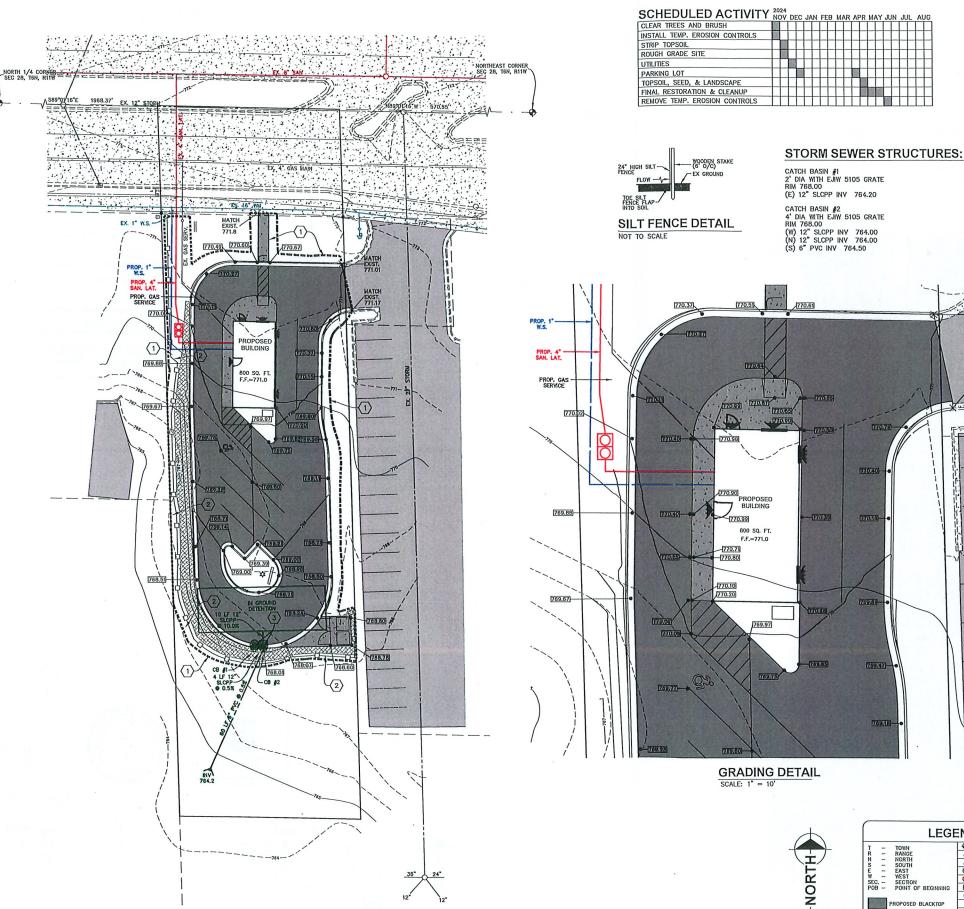


FOR: TYSON GARNER BIGGBY COFFEE 2030 LAKE MICHIGAN DR NW GRAND RAPIDS, MI 49504

PART OF THE NORTHEAST 1/4, SECTION 28, T6N, R11W, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN



C1 9/18/2023



BENCHMARK:

ELEVATION 772.93 Flange Bolt on Hydrant on South Side of 44th Street, 7.3' East of East property Line.

PROPERTY DESCRIPTION:

PPN# 41-18-28-226-006 2300 44th St SE Owner: MT3 Holdings LLC 2030 Loke Michigan Drive SW Grond Ropids, MI 49504

Contains 28,270 SF or 0.65 Acres

The North 330 feet of the East 1/4 of the Northeast 1/4 of Section 28, T6N, R11W, City of Kentwood, Kent County, Michigan, excepting therefrom the East 570.55 feet thereof.

SOIL EROSION CONTROL GENERAL NOTES

- 1. ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION AND MAINTAINED, AS NECESSARY, UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
- 3. RE-SPREAD 9" OF TOPSOIL OVER ALL GRADED AREAS. SEED AND FERTILIZE USING DRILL (MDOT ROADSIDE MIX).
- 4. ALL DRAINAGE SWALES SHALL BE STABILIZED WITH A MINIMUM OF 4" TOPSOIL, SEEDING, AND SC-150 EROSION CONTROL MATTING.
- 5. STONE RIP-RAP SHALL BE 8" MIN. DIAMETER.
- 6. SILT FENCE SHALL BE TOED IN 6" AND STAKED EVERY 6' O/C.
- 7. PROTECT NEW & EXISTING STORM INLETS BY EXCAVATING A SUMP AROUND THEM & PLACING A SILT SACK INSIDE THE CATCHBASIN.
- 8. INSPECT AND MAINTAIN ALL TEMPORARY SOIL EROSION CONTROLS AFTER EACH SIGNIFICANT RAINFALL.
- 9. STREET SWEEPING SHALL BE COMPLETED DAILY ON AN AS NEEDED BASIS THROUGHOUT CONSTRUCTION.
- 10. DETENTION FACILITIES SHALL BE THE FIRST ITEM CONSTRUCTED.
- 11. STREET SWEEPING SHALL BE PERFORMED EACH DAY (OR MORE OFTEN AS NEEDED) BY MECHANICAL MEANS ON PAVED STREETS IN AND AROUND THE PERIMETER OF THE PROJECT. THIS INCLUDES SWEEPING PAVED SURFACES OUTSIDE THE LIMITS OF THE PROJECT, AS AFFECTED BY ANY TRUCKING OPERATIONS.
- 12. DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.
- 13. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND ALL OTHER PERSONS PARTICIPATING IN, CAUSING OR BEING FACTUALLY OR LEGALLY RESPONSIBLE FOR ANY EARTH CHANGE TO PROVIDE SOIL EROSION AND SEDIMENTATION CONTROL TO ADEQUATELY PREVENT SOIL FROM BEING ERODED AND DISCHARGED ONTO ADJACENT PROPERTIES, OR INTO A CITY STORMWATER DRAINAGE SYSTEM, A PUBLIC STREET OR RIGHT-OF-WAY, WETLAND, CREEK, STREAM, WATER BODY, OR FLOODPLAIN, CONCLOMPLIANCE WITH THIS WILL RESULT IN VIOLATION NOTICES WITH RE-INSPECTION FEES

SOIL EROSION KEY NOTES:

1 GRADING LIMITS

INDUNTABBREEFINI

2 SILT FENCE

-0----

- (3) PLACE SILT SACKS IN CATCH BASIN (3 PROP)
- (4) PLACE NA GREEN SC-150 STRAW BLANKET



www.CALL811.com

Know what's below. Call before you dig.



10/9/23 PER REVIEW



LOCATION MAP NOT TO SCALE

GRADING AND SESC PLAN BIGGBY COFFEE 2300 44TH ST SE

FOR: TYSON GARNER BIGGBY COFFEE

2030 LAKE MICHIGAN DR NW
GRAND RAPIDS, MI 49504

PART OF THE NORTHEAST 1/4, SECTION 28, T6N, R11W, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN



C2 9/18/2023



SCALE: 1" = 20"



LANDSCAPING PLAN KEY NOTES:

- 1) LAWN AREA, 4" MIN. TOPSOIL
- 2 FRONT YARD GREENBELT
- (3) PARKING LOT CANOPY TREE
- 3 PARKING LOT LANDSCAPE AREA

LANDSCAPING LEGEND:

- 4 DECIDUOUS CANOPY RED MAPLE (ACER RUBRUM) [MIN. CALIPER 2.5"]
- 20 GOLD MOUND SPIREA (SPIRAEA JAPONICA) [MIN. SPREAD 24"]
- 23 MY MONET WEIGELA (WEIGELA FLORIDA) [MIN. SPREAD 24"]
- 50 DENSE YEW

PROPOSED LANDSCAPING AREA

LAWN AREA, 4" MIN. TOPSOIL

ELEVATION 772.93
Flange Bolt on Hydrant on South Side of 44th Street, 7.3' East of East property Line.

LANDSCAPE REQUIREMENTS:

10' FRONT YARD GREENBELT

REQ'D CANOPY TREES REQ'D SHRUBS

 $1/40 \times 85 \text{ LF} = 2.1 \text{ (3 CANOPY TREES)}$ $7/40 \times 85 \text{ LF} = 14.9 \text{ (15 SHRUBS)}$

PARKING LOT LANDSCAPING (8 PARKING SPACES TOTAL)
REQ'D CANOPY TREES 1 CANOPY TREE PER 10 PARKING SPACES
REQ'D LANDSCAPING AREA 100 SQ. FT.

BUFFER YARD, C2 TO C2 ZONING, TYPE C

REQ'D CANOPY OR EVERGREEN TREE REQ'D SHRUBS

1/40 LF x 200 LF = 5 TREES 5/40 LF x 200 LF = 25 SHRUBS

PROPOSED LANDSCAPING:

EXISTING DECIDUOUS TREES:
TO REMAIN ALONG SOUTH PROPERTY LINE

10' FRONT YARD GREENBELT: 3 DECIDUOUS CANOPY TREES (MINIMUM 2.5" CALIPER WHEN PLANTED) 24 SHRUBS

(MINIMUM SPREAD 24"WHEN PLANTED)

PARKING LOT LANDSCAPING
1 DECIDUOUS CANOPY TREES
(MINIMUM 2.5" CAUPER WHEN PLANTED)
LANDSCAPE AREA
190 SQ. FT. WITH 19 SHRUBS

(MINIMUM SPREAD 24"WHEN PLANTED)

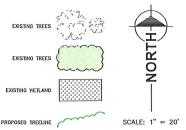
10' SIDE YARD GREENBELT: C2 TO C2 ZONING, TYPE C 5 DECIDUOUS CANOPY TREES — EACH SIDE (MINIMUM 2.5" CALIPER WHEN PLANTED) 25 SHRUBS — EACH SIDE (MINIMUM SPREAD 24"WHEN PLANTED)







LOCATION MAP



		LEGE	NI)
т	_	TOWN	0	SECTION CORNER
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		:11

LANDSCAPING PLAN **BIGGBY COFFEE** 2300 44TH ST SE

FOR: TYSON GARNER BIGGBY COFFEE 2030 LAKE MICHIGAN DR NW GRAND RAPIDS, MI 49504

PART OF THE NORTHEAST 1/4, SECTION 28, T6N, R11W, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN



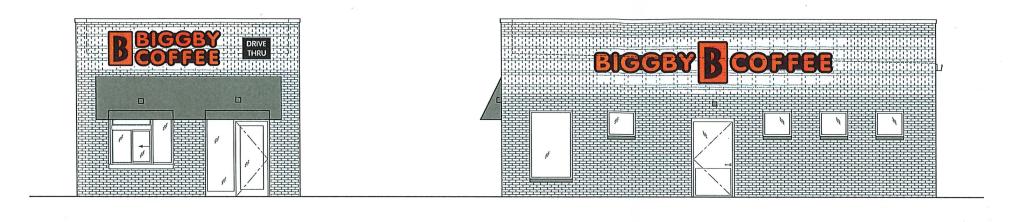
Phone: 616.457,7050 wmv.feenstrainc.com

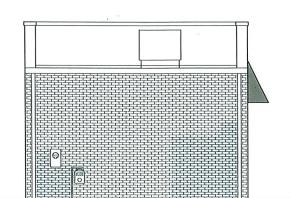
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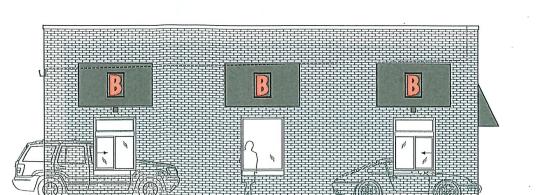
9/18/2023

05 July 2023 Plan and Elevations









PLANNING STAFF RECOMMENDATION

Pung 10/19/23

PROJECT: Kentwood Drive and Shine

APPLICATION: 27-23

LOCATION: 3277, 3311, & 3343 Woodland Drive, SE

HEARING DATE: October 24, 2023

REVIEW TYPE: Special Land Use for vehicle wash establishment

RECOMMENDATION: Conditional approval of the vehicle wash establishment as

described in Case 27-23. The approval is conditioned on the

following:

CONDITION: 1. Planning Commission approval of the site plan dated September

18, 2023.

2. Use to be operated consistent with the project narrative dated September 22, 2023, and revised October 16, 2023.

- 3. All washing activities shall be done within the building.
- 4. A permanent egress easement, reviewed and approved by staff and the City Attorney, to East Beltline Avenue through the properties to the north (2329 East Beltline Avenue & 2333 East Beltline Avenue) as depicted in Exhibit 1 shall be recorded.
- 5. If the sound generated by the outdoor vacuums or the car wash drying system becomes a detriment to adjacent residential or neighboring properties, measures shall be taken to mitigate the detrimental impacts.
- 6. If vehicle stacking for the oil change/lube facility becomes an issue, as determined by city staff, by blocking egress to the north, then measures shall be taken to address the issue.
- 7. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
- 8. Compliance with all applicable standards and requirements of the Kentwood Fire Department.

BASIS:

- 1. The use is a special land use in the C2 Community Commercial district and as such is compatible with the current zoning of the property and the Master Plan recommendation for commercial development of the site.
- 2. A permanent egress easement is required to ensure that egress remains accessible for the site in the event property ownership changes, etc.
- 3. Based on the information provided by the applicant for sound generated by the outdoor vacuums and interior drying system (see Exhibit 2 and Exhibit 3), the use is not anticipated to have a substantial and adverse impact on neighboring property nor create any type of blight within the area.
- 4. The applicant has indicated that the oil change operation would see less than three (3) cars per hour which will not produce a wait outside of the service bays.
- 5. Section 15.04.F.11 states that a vehicle wash establishment building, and its accessory uses and buildings shall be located not less than one hundred (100) feet from any right-of-way line or from any side or rear lot line abutting a residential district. The building is setback eighty-seven (87) feet from the adjacent residential property to the northwest; a variance (Case V-23-01) was granted allowing for the reduced setback from the residential property.
- 6. Representations by the applicant at the work session and public hearing.
- 7. Discussion at the work session and public hearing

Exhibit 1: Egress Easement to East Beltline Avenue

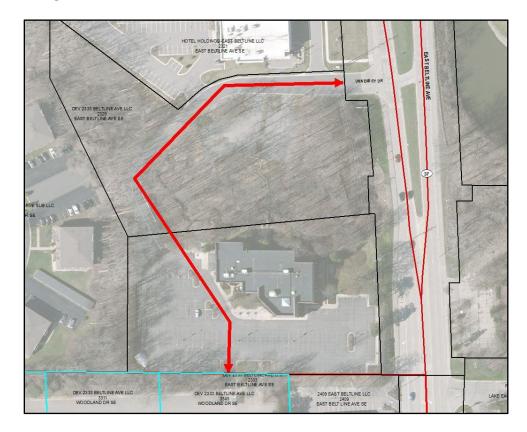


Exhibit 2: Automotive Drying System Sound Levels



FAST, DEPENDABLE SALES & SERVICE

P.O. BOX 235 BETHEL PARK, PA 15102

PHONE (412) 833-0113 FAX (412) 833-7027

REF: Aerotherm Automotive Drying System

SLG Industrial the exclusive manufacturer of the Aerotherm Automotive Drying System, our dryers are designed with the intent to minimize noise levels, while maximizing drying efficiency. These dryers produce only 82 decibels of noise at 5' of distance from the output nozzle.

To minimize noise impact to neighboring properties, we recommend that the dryers be installed inside the building- not outside. When mounted inside a masonry, the noise level outside the building is insignificant compared to average traffic noise. Here are some noise level measurements when dryers are mounted inside an 8" masonry block building:

- At 50' of distance directly forward of the exit of the dryers, the noise level is 63 decibels
- At 100' of distance directly forward of the exit of the dryers, the noise level is 58 decibels
- At 100' of distance and perpendicular to the carwash exit, the noise level is at only 54 decibels
- At 100' of distance and perpendicular to the carwash exit, the noise level is at only 45 decibels

President

Walter E. Gregg

Exhibit 3: Vacuum Sound Levels



SOUND LEVEL METER READINGS

MODEL: FT-DD-T340HP4 (40hp VACSTAR TURBINE VACUUM PRODUCER)

READING ONE: 43 DB-A, 3 FEET FROM CORNER OF ENCLOSURE @ 45° ANGLE AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING TWO: 36 DB-A, 10 FEET FROM CORNER OF ENCLOSURE @ 45° ANGLE

AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING THREE: 24 DB-A, 20 FEET FROM CORNER OF ENCLOSURE @ 45° ANGLE

AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING FOUR: 12 DB-A, 30 FEET FROM CORNER OF ENCLOSURE @ 45° ANGLE

AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

NOTE: THESE READINGS WERE TAKEN OUTSIDE OF 8'x10'x8' CINDER BLOCK ENCLOSURE WITH 4 WALLS, 4-0 DOOR AND CONCRETE SLAB WITH NO ROOF.

SOUND LEVEL METER USED:

SIMPSON MODEL #40003 - MSHA APPROVED. MEETS OSHA & WALSH-HEALY REQUIREMENTS FOR NOISE CONTROL. CONFORMS TO ANSI S1.4-1983, IEC 651 SPECS FOR METER TYPE.

Vacutech

1350 Hi-Tech Drive, Sheridan WY, 82801 PHONE: (800) 917-9444 FAX: (303) 675-1988 EMAIL: info@vacutechllc WEB SITE: vacutechllc.com



September 22, 2023 Rev. 10/16/23

Joe Pung City of Kentwood Planning Department 4900 Breton Avenue, SE Kentwood, MI 49518

RE: Site Plan Review – Operational Description

This operations description is for the proposed Drive and Shine located at 3311 Woodland Dr in the City of Kentwood.

Proposed Building: 23,400 sft car care center including a car wash, indoor vacuums, interior detail belt, and a lube center.

Proposed Use: Vehicle wash, outdoor vacuums, indoor vacuums, interior detailing, lube center.

Hours of Operation:

Exterior Car Wash

Mon-Sat: 7:30 am - 8:00 pmSun: 8:30 am - 7:00 pm

Oil Change

Mon-Fri: 8:00 am – 7:00 pm Sat-Sun: 9:00 am – 6:00 pm

Interior Self Service

Mon-Sat: 7:30 am – 7:30 pm Sun: 8:30 am – 6:30 pm

Number of Employees: 6 (3 car wash. 3 oil change).

Expected Vehicles Per Hour: 78 vph for car wash peak hour, 14 vph for lube center peak hour. (refer to Traffic Impact Analysis prepared by Fleis & Vandenbrink). With an average service time per vehicle of 18 seconds for the car wash and 60 seconds in the queuing line. The average service time for an oil change is 10 minutes. The busiest Drive & Shine oil change sees 25 vehicles per day, less than 3 cars per hour which will not produce a wait outside of the service bays.

Wastewater Treatment: The majority of the water from the car wash will be recycled through the car wash to reduce waste. The remaining wastewater will be sent through an oil water separator to the public sewer system. The oil from the lube center will be recycled through their heating system.

Thank you for your continued support of the project and working with our team to achieve site plan approval. Please let us know if there is any additional information you need at this time.

Sincerely,

AR ENGINEERING, LLC.

Andrew S. Rossell, P.E. Principal Engineer

PLANNING STAFF RECOMMENDATION

Pung 10/19/23

PROJECT: Kentwood Drive and Shine

APPLICATION: 27-23

LOCATION: 3277, 3311, & 3343 Woodland Drive, SE

HEARING DATE: October 24, 2023

REVIEW TYPE: Site plan review for a vehicle wash establishment

RECOMMENDATION: Recommend conditional approval of the site plan September 18,

2023, as described in Case 27-23. Approval is conditioned on the

following:

CONDITION: 1. Planning Commission approval of the special land use vehicle wash

establishment.

2. All washing activities shall be done within the building.

- 3. Recording of a permanent landscape easement, reviewed, and approved by staff and the City Attorney, on the adjacent property to the north (2333 East Beltline Avenue) as identified in Exhibit 1.
- 4. A permanent egress easement, reviewed and approved by staff and the City Attorney, to East Beltline Avenue through the properties to the north (2329 East Beltline Avenue & 2333 East Beltline Avenue) as depicted in Exhibit 2 shall be recorded.
- 5. If vehicle stacking for the oil change/lube facility becomes an issue, as determined by city staff, by blocking egress to the north, then measures shall be taken to address the issue.
- 6. The western most ninety-five (95) feet of existing pavement which will not be removed shall not be used for parking or storage and shall be kept free of weeds, trash, junk, etc. and shall be removed if it creates a nuisance or is otherwise a detriment to adjacent property or the surrounding neighborhood.

- 7. The three (3) parcels (3277, 3311 & 3343 Woodland Drive) shall be combined.
- 8. Staff review and approval of a landscape plan.
- 9. Staff review and approval of an exterior photometric plan consistent with current Zoning Ordinance requirements.
- 10. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
- 11. Compliance with all applicable standards and requirements of the Kentwood Fire Department.

BASIS:

- 1. The use is a special land use in the C2 Community Commercial district and as such is compatible with the current zoning of the property and the Master Plan recommendation for commercial development of the site.
- 2. Section 8.03.B of the Zoning Ordinance requires a rear yard setback of 30 feet (the rear yard building setback is two (2) feet), Section 19.03.C requires a 10-foot buffer zone adjacent to the office zone to the north (no on-site buffer zone is provided).

The Zoning Board of Appeals approved variances (Case V-23-10) in February of this year for a reduction of 28 feet to the required rear yard setback and waiver to the required 10-foot buffer zone adjacent to the office use to the north. A condition of the approval was that a permanent landscape easement was to be created on the adjacent property to the north.

- 3. A permanent egress easement is required to ensure that access to East Beltline Avenue remains accessible for the site in the event property ownership changes, etc.
- 4. The applicant has indicated that the oil change operation would see less than three (3) cars per hour which will not produce a wait outside of the service bays.
- 5. The applicant wishes to retain the western portion of the exiting pavement. To prevent the area from becoming a nuisance or detriment to the area, parking and storage are prohibited in this area, and it shall be maintained to prevent it from becoming a nuisance or detriment. The pavement will need to be removed if it does become a nuisance or detriment.

- 6. Section 15.04.F.11 states that a vehicle wash establishment building, and its accessory uses and buildings shall be located not less than one hundred (100) feet from any right-of-way line or from any side or rear lot line abutting a residential district. The building is setback eighty-seven (87) feet from the adjacent residential property to the northwest; a variance (Case V-23-01) was granted allowing for the reduced setback from the residential property.
- 7. The site plan otherwise meets the requirements of the Kentwood Zoning Ordinance.
- 8. Representations by the applicant at the work session and public hearing.
- 9. Discussion at the work session and public hearing.

Exhibit 1: Permanent Landscape Easement

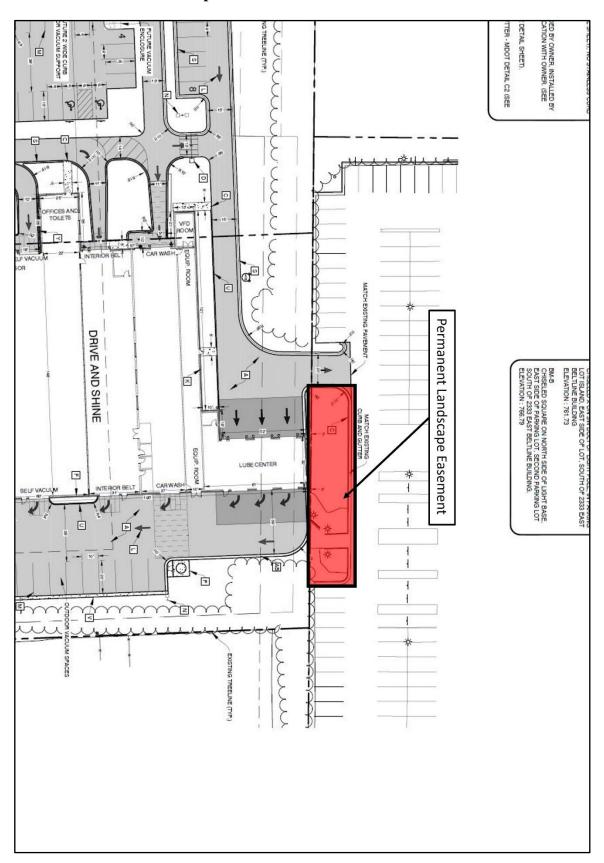


Exhibit 2: Egress Easement to East Beltline Avenue



DRIVE & SHINE H30

3311 WOODLAND DR SE SECTION 11, T.06N, R.11W CITY OF KENTWOOD KENT COUNTY, MI

SITE DEVELOPMENT PLANS SEPTEMBER 18, 2023

ISSUED FOR: SITE PLAN REVIEW

No.	SHEET TITLE	
T1.0	TITLE SHEET	
C0.0	OVERALL SITE PLAN	
C1.0	EXISTING CONDITIONS	
C1.1	DEMOLITION PLAN	
C2.0	SITE LAYOUT	
C3.0	UTILITY PLAN	
C4.0	GRADING - SESC PLAN	
C5.0	DETAILS	
L1.0	LANDSCAPE PLAN	
L2.0	PHOTOMETRIC PLAN	

No.	ISSUED FOR:	DATE:	BY
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OWNERS:

DEV 2333 BELTLINE AVE 16915 CLEVELAND RD. GRANGER, IN 46530

DEVELOPER:

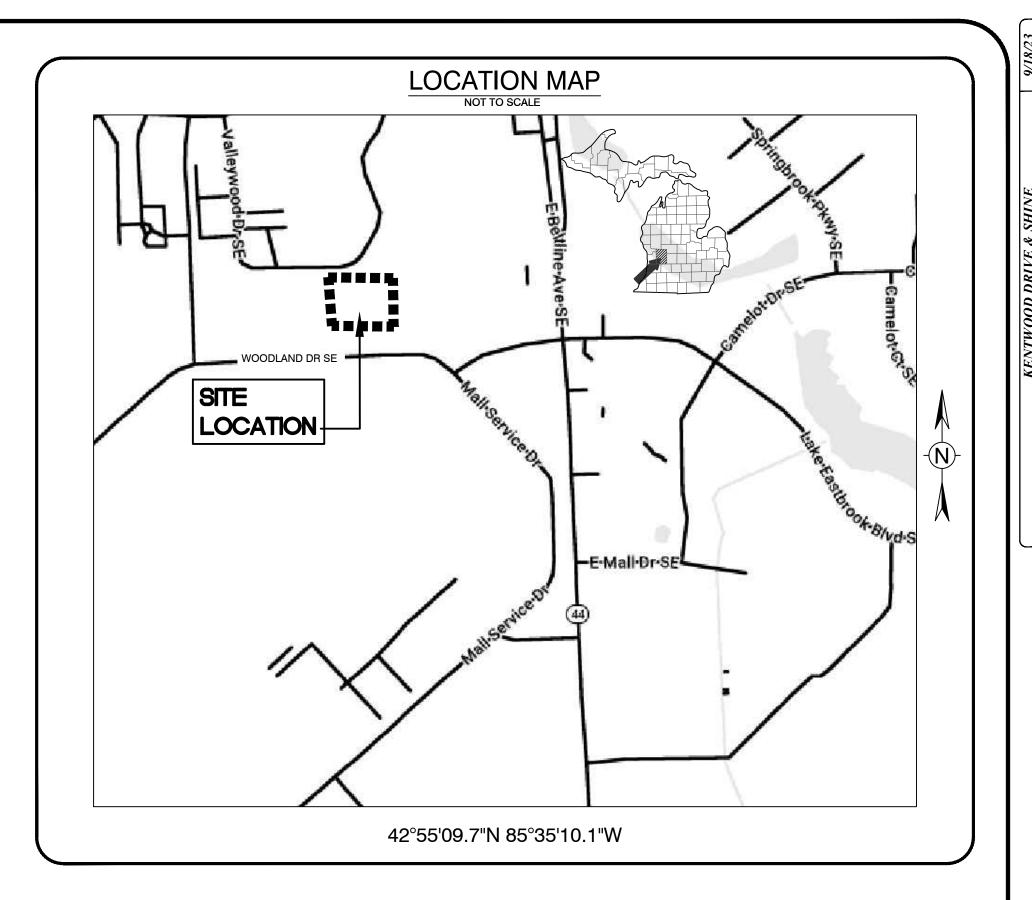
DRIVE & SHINE, INC 16915 CLEVELAND RD. GRANGER, IN 46530

CIVIL ENGINEER:

AR ENGINEERING, LLC.
5725 VENTURE PARK DRIVE, SUITE A
KALAMAZOO, MI 49008
TEL. (269) 250-5991 FAX. (866) 569-0604



ANDREW ROSSELL. P.E. DATE



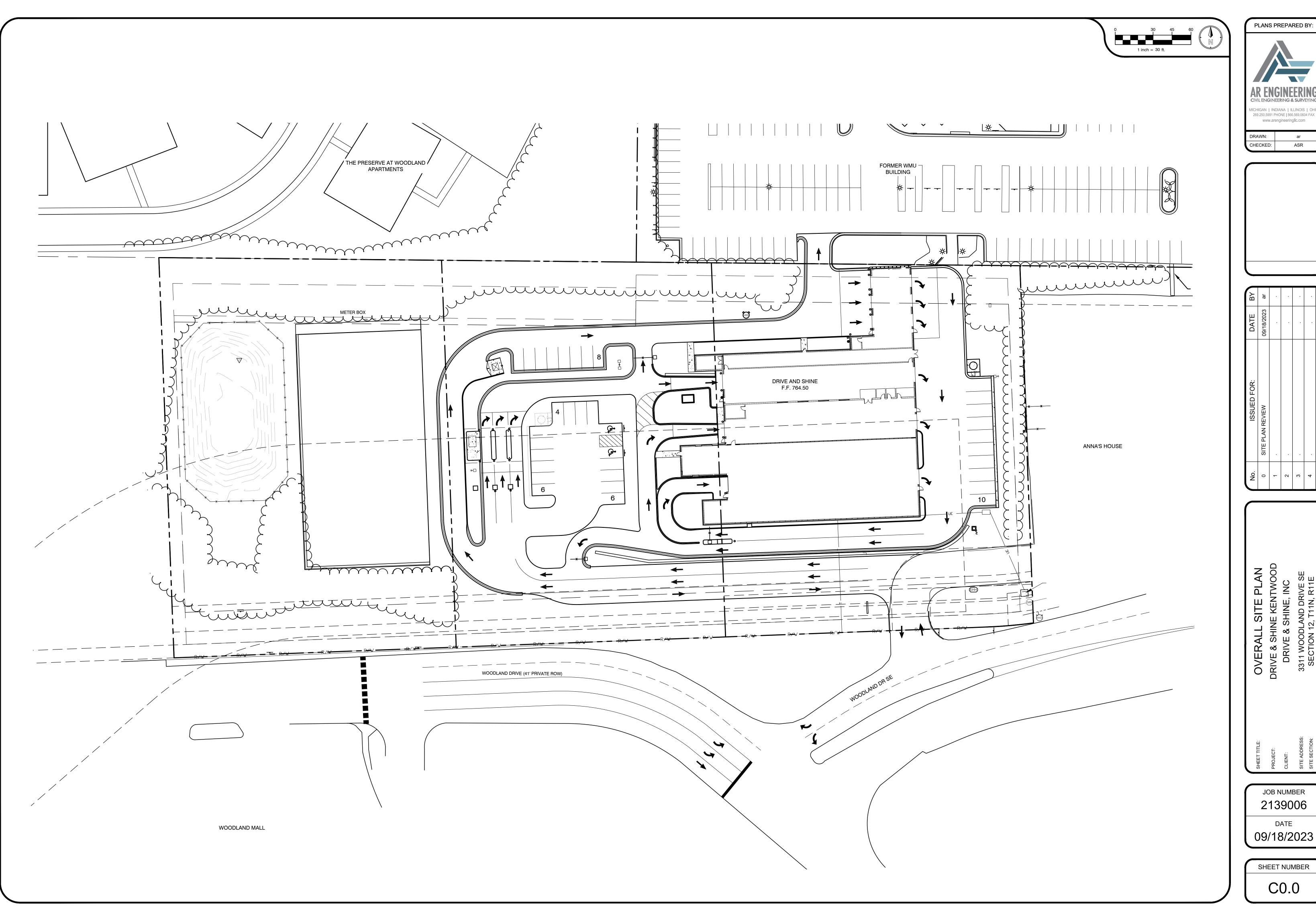
LEGAL DESCRIPTION

PARCEL #: 41-18-11-302-005, 41-18-11-302-004, 41-18-11-302-003

PARCELS 1, 2 AND 3:

LOTS 2, 3 AND 4, PLAT OF WOODLAND MALL, PART OF THE SOUTHEAST 1/4 OF SECTION 10, TOWN 6 NORTH, RANGE 11 WEST, AND PART OF THE SOUTHWEST 1/4 OF SECTION 11, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEROF AS RECORDED IN LIBER 77 OF PLATS, PAGE 44.

UTILITY CC	NTACTS		
CABLE	AT&T 955 36TH ST SE GRAND RAPIDS, MI 49508 616-510-5768	TELEPHONE	AT&T 955 36TH ST SE GRAND RAPIDS, MI 49508 616-510-5768
WATER	CITY OF GRAND RAPIDS 300 MONROE AVE NW GRAND RAPIDS, MI 49503 616-456-300	SEWER	CITY OF GRAND RAPIDS 300 MONROE AVE NW GRAND RAPIDS, MI 49503 616-456-300
GAS	DTE ENERGY 444 WEALTHY ST SW GRAND RAPIDS, MI 49503 616-632-2631	ELECTRIC	CONSUMERS ENERGY 176 FULTON ST GRAND RAPIDS, MI 49503 800-477-5050
		MISS DIG	811



PLANS PREPARED BY:

MICHIGAN | INDIANA | ILLINOIS | OHIO 269.250.5991 PHONE | 866.569.0604 FAX www.arengineeringllc.com

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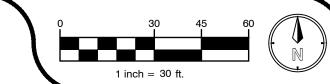
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SURVEYOR'S NOTES

- THE LOCATIONS OF UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES ONLY. UNDERGROUND UTILITIES/STRUCTURES MAY EXIST ON SUBJECT PARCEL. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS BEGIN, MISS DIG SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPES AND FOR FIELD LOCATIONS.
- 2. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- 3. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, IN THE SURVEYOR'S OPINION, THE RELATIVE POSITIONAL PRECISION OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.
- PARCELS 1, 2, AND 3 ALL LIE WITHIN ZONE C (AREAS OF MINIMAL FLOODING) PER NATIONAL FLOOD INSURANCE RATES MAPS WITH COMMUNITY PANEL NUMBER 260107-0010B (EFFECTIVE DATE OF 11/18/81) AND COMMUNITY PANEL NUMBER 260106-0020C (EFFECTIVE DATE OF
- 5. THE PORTION OF PARCEL 1 HAS 167 PARKING SPACES AND 16 DISABLED PARKING SPACES. THE PARKING SPACES ON PARCEL 3 WERE INDISTINGUISHABLE AT TIME OF SURVEY.
- 6. PARCELS 1, 2 AND 3 ARE CONTIGUOUS AND HAVE NO GAPS OR GORES. COMBINED PARCEL AREA IS 10.8 ACRES, MORE OR LESS.
- 7. PROPERTY CORNERS SHOWN AS SET ARE 5/8" X 18" IRON BARS WITH RED PLASTIC CAPS MARKED "FTCH PS 52479" OR AS NOTED. PROPERTY CORNERS SHOWN AS FOUND ARE AS NOTED ON SURVEY DRAWING.
- 8. BASIS OF BEARING: EAST-WEST 1/4 LINE, SECTION 11, TOWN 6 NORTH, RANGE 11 WEST, CITY OF GRAND RAPIDS, KENT COUNTY, MICHIGAN PER WARRANTY DEED RECORDED IN LIBER 2095, PAGE 405, KENT COUNTY RECORDS.
- 9. VERTICAL DATUM: NAVD 88, GPS DERIVED
- 10. A PORTION OF WOODLAND DRIVE WAS LOCATED USING AERIAL IMAGERY.

							$\frac{1}{2}$	24" CONCRI
							1 E 1	SECTION
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		6" NE	741.59		4			
30036	747.14	12" RCP SSE	744.44	DOMED CB/FLOODED		\	I , \	, <u> </u>
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40048	751.00	24" RCP W	744.60	4' BLOCK	7		j 1756 –	
		24" RCP S	744.55			i i		
		воттом	742.75			_		
60153	753.02	12" RCP SE	748.72	4' PRECAST	7	<i>,</i>	1.	•
		18" PVC N	748.72		7	· — /	-75 4 — -	- 8
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		12" RCP NW	750.76		1			-R/W
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		18" RCP W	756.50		4			
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		18" RCP E	755.04		4			
		2" TO 3" ORIFICE	755.04		4			
		воттом	755.04		4			
60774	764.35	2" TO 3" ORIFICE	754.85		4			
		28" RCP S	755.05		4			
61113	763.29	12" S	760.14	4' PRECAST	_			
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3" CPP S 12" PVC NW



BENCHMARK INFORMATION

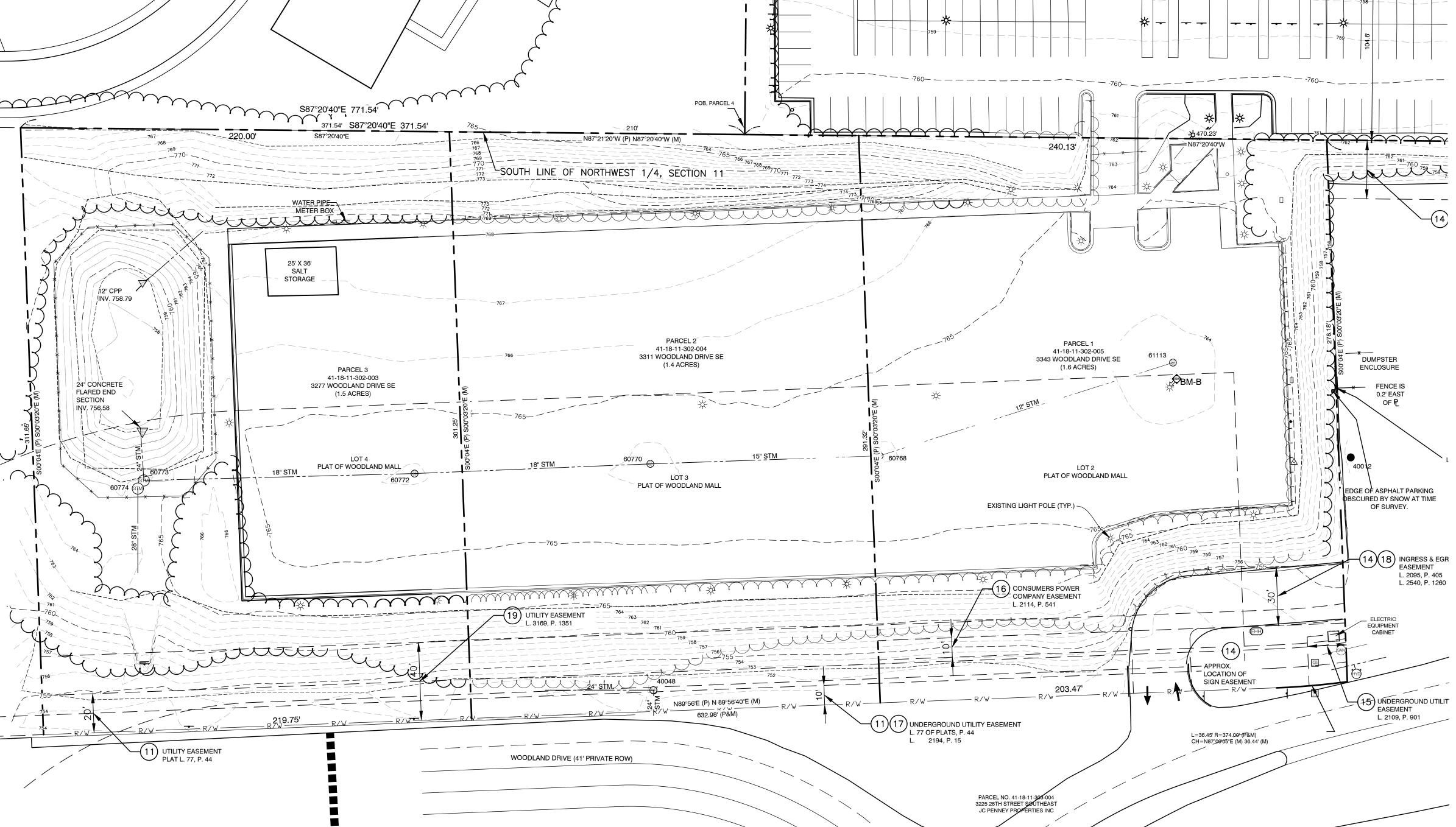
ELEVATION: 761.73

PARCEL 4 41-18-11-100-069

2333 EAST BELTLINE AVENUE SE

BM-A
CHISELED X ON SW BOLT OF LIGHT POLE, IN PARKING
LOT ISLAND, EAST SIDE OF LOT, SOUTH OF 2333 EAST
BELTLINE BUILDING

BM-B
CHISELED SQUARE ON NORTH SIDE OF LIGHT BASE,
EAST SIDE OF PARKING LOT, SECOND PARKING LOT
SOUTH OF 2333 EAST BELTLINE BUILDING.
ELEVATION: 766.79





ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: FISHBECK

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DRIVE & SHINE KENTWOOD

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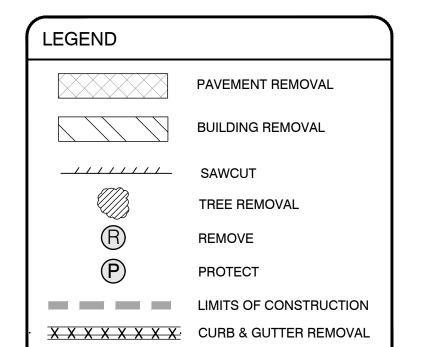
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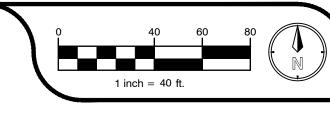
DEMOLITION NOTES

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE CITY OF KENTWOOD, MICHIGAN AND KENT COUNTY.
- CONTACT "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR THIS SITE BY.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
- ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION, BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
- REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP
- SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
- ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
- 13. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
- REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE
- REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TIRE PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.

		EXISTING STRU	JCTURES	
STRUCTURE	RIM	Ø PIPE DIR.	INVERT	NOTES
30035	753.99	6" W	741.79	4' PRECAST
		6" NE	741.59	
30036	747.14	12" RCP SSE	744.44	DOMED CB/FLOODED
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		6" PVC S	752.23	
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40012	753.72	6" PVC E	752.47	2' PLASTIC
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		12" RCP NW	750.76	
		12" RCP E	750.66	
60768	763.81	12" RCP NE	758.86	4' PRECAST
		15" RCP W	758.71	
		воттом	756.51	
60770	763.54	15" RCP E	757.79	4' PRECAST
		18" RCP W	757.74	
		воттом	755.34	
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		воттом	754.75	
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		воттом	755.04	
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		28" RCP S	755.05	
61113	763.29	12" S	760.14	4' PRECAST
		воттом	758.19	
70000	755.15	3" CPP S	751.35	
		12" PVC NW	750.75	



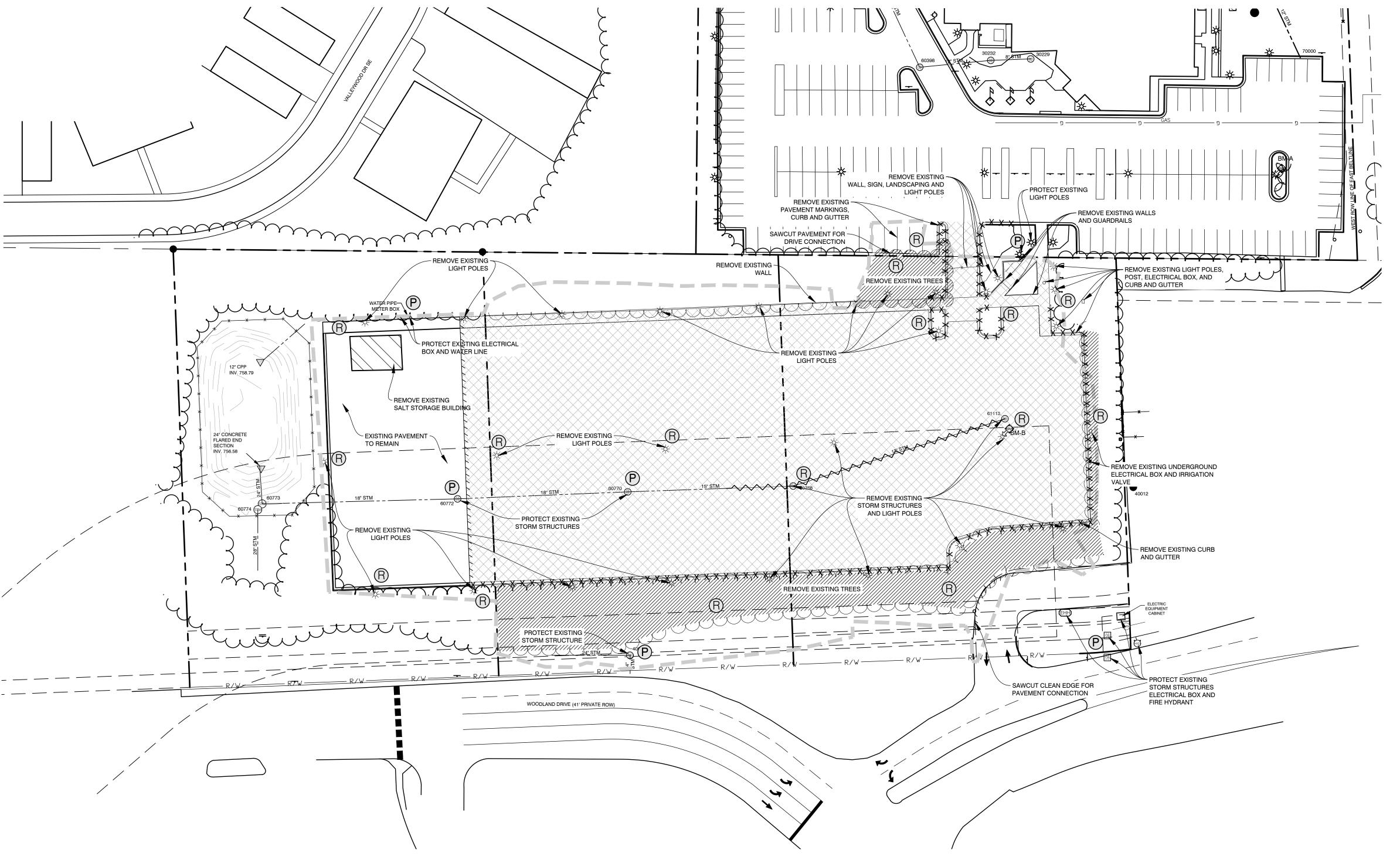
UTILITY LINE REMOVAL



BENCHMARK INFORMATION

CHISELED X ON SW BOLT OF LIGHT POLE, IN PARKING LOT ISLAND, EAST SIDE OF LOT, SOUTH OF 2333 EAST BELTLINE BUILDING ELEVATION: 761.73

CHISELED SQUARE ON NORTH SIDE OF LIGHT BASE, EAST SIDE OF PARKING LOT, SECOND PARKING LOT SOUTH OF 2333 EAST BELTLINE BUILDING. ELEVATION: 766.79



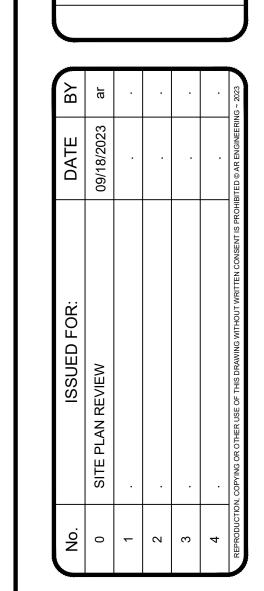


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PLANS PREPARED BY: IICHIGAN | INDIANA | ILLINOIS | OI 269.250.5991 PHONE | 866.569.0604 FAX www.arengineeringllc.com DRAWN: ar

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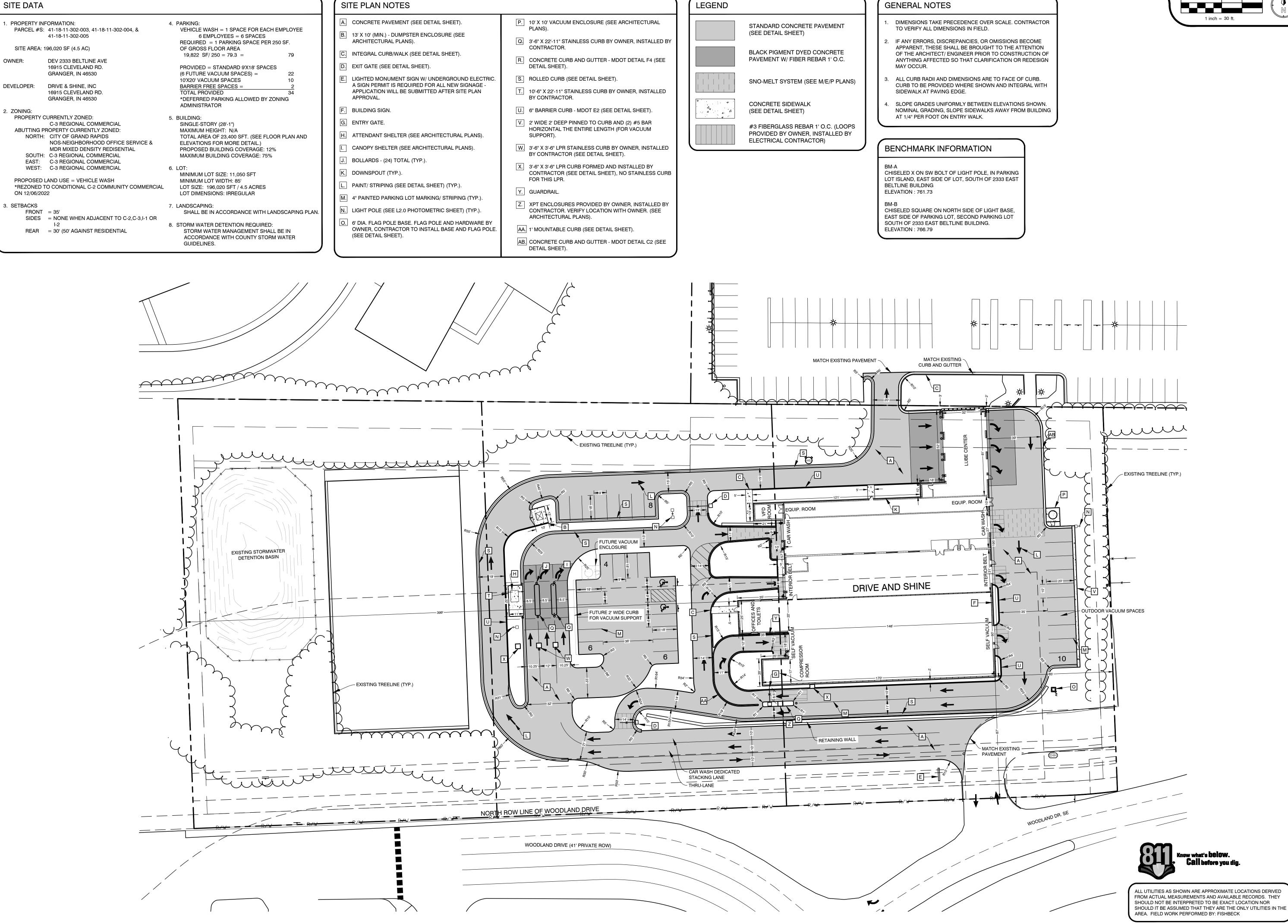
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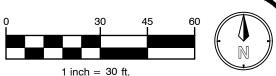


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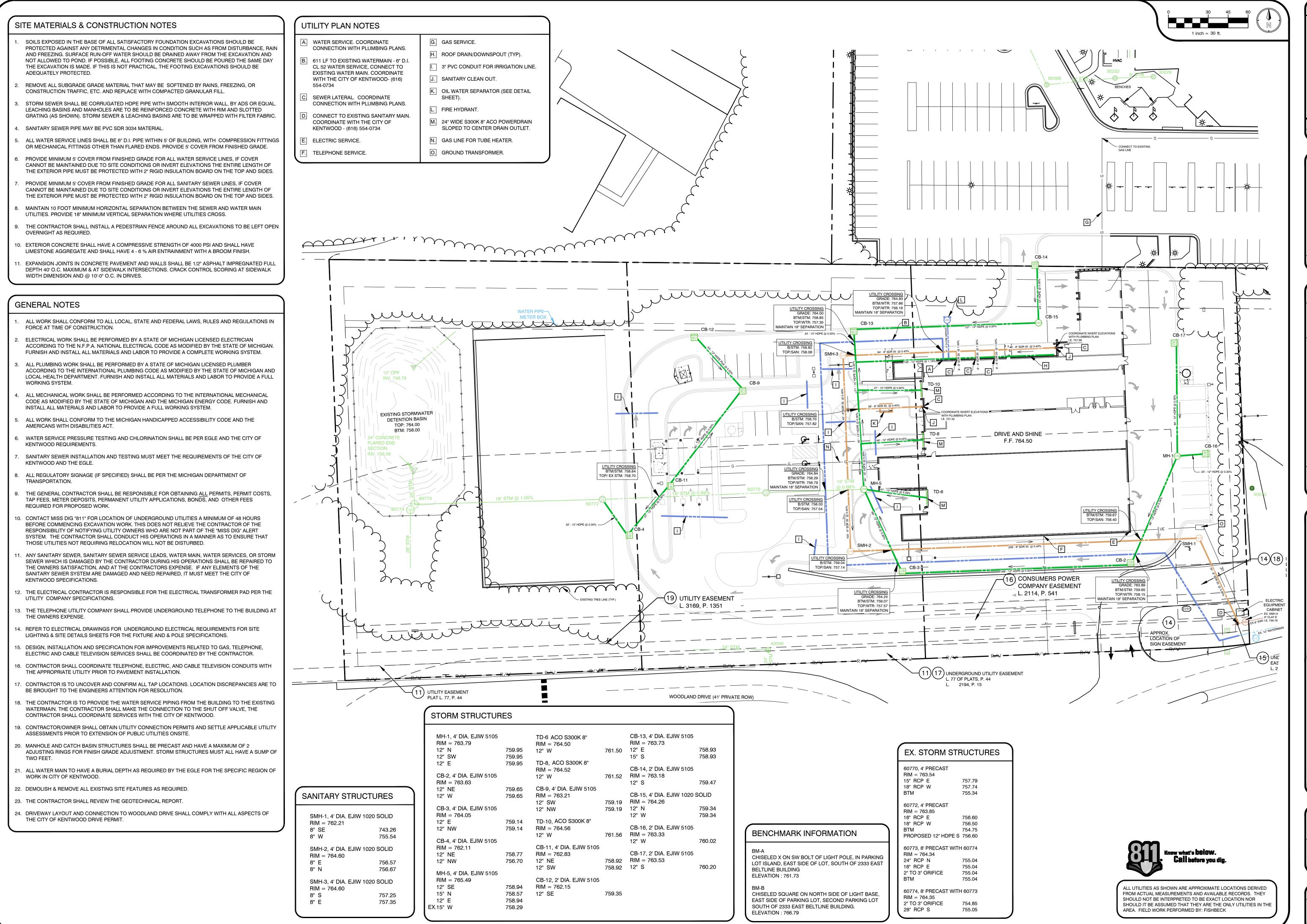
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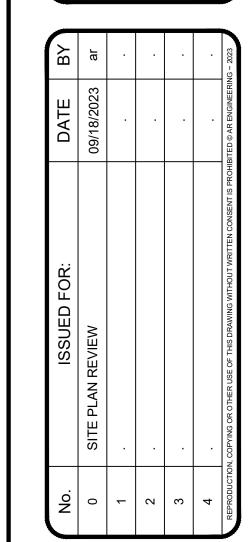
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DRIVE & SHINE KENTWOOD DRIVE & SHINE, INC 3311 WOODLAND DRIVE SE

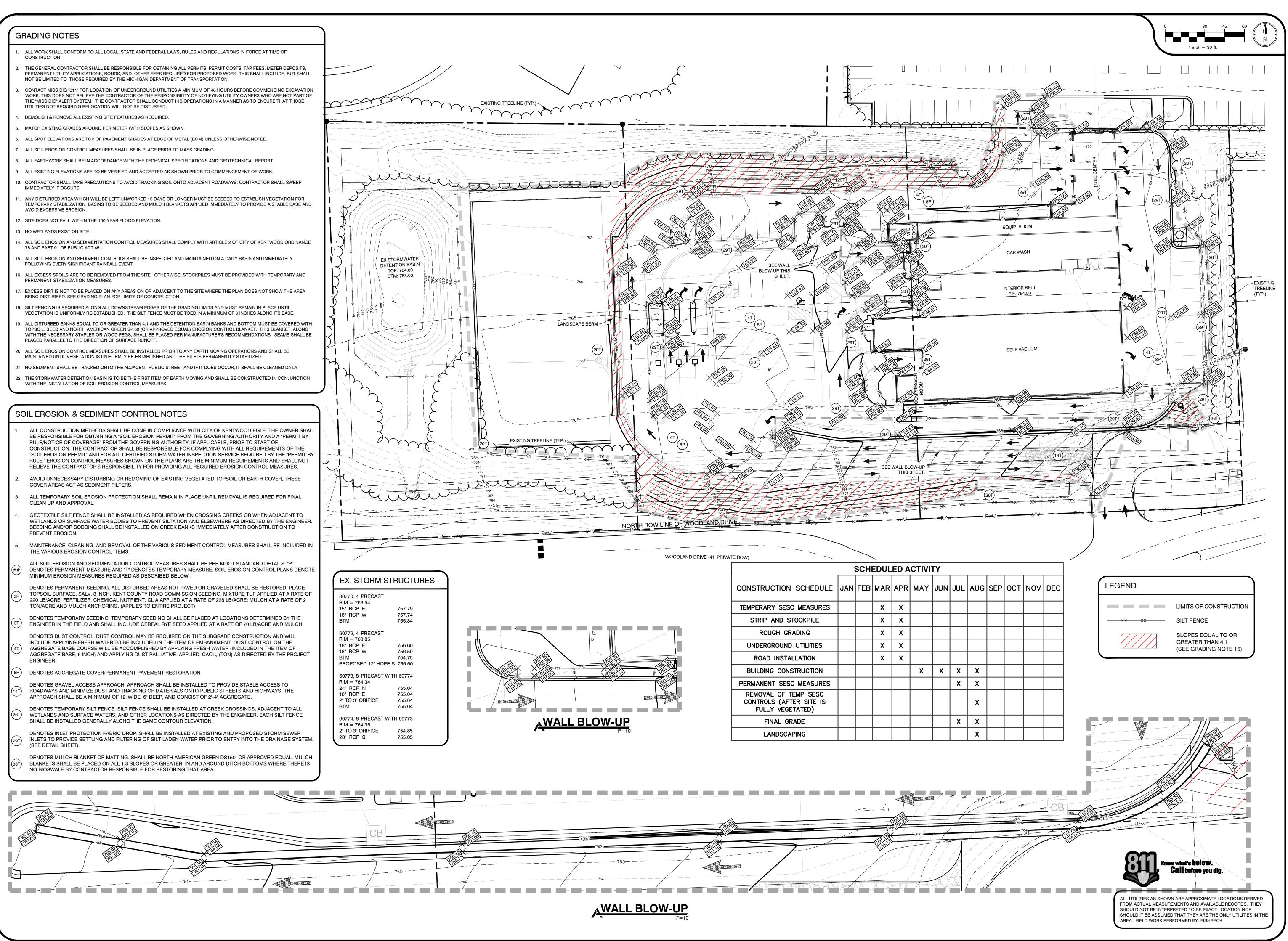
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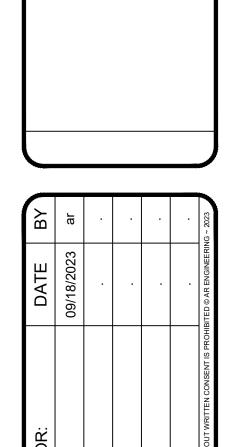
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DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
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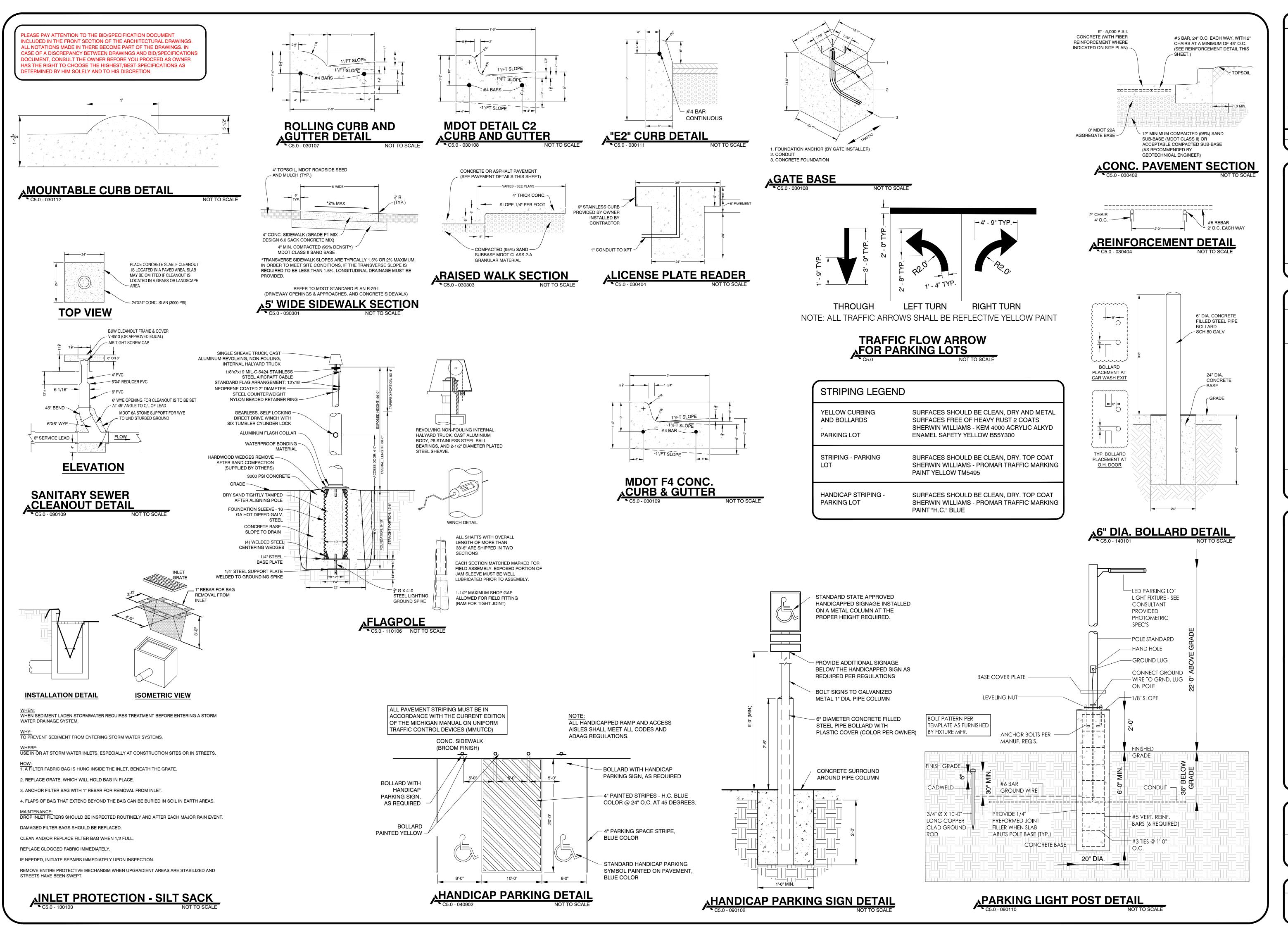
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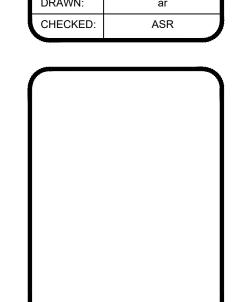
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DRIVE & SHINE, INC

DRIVE & SHINE, INC

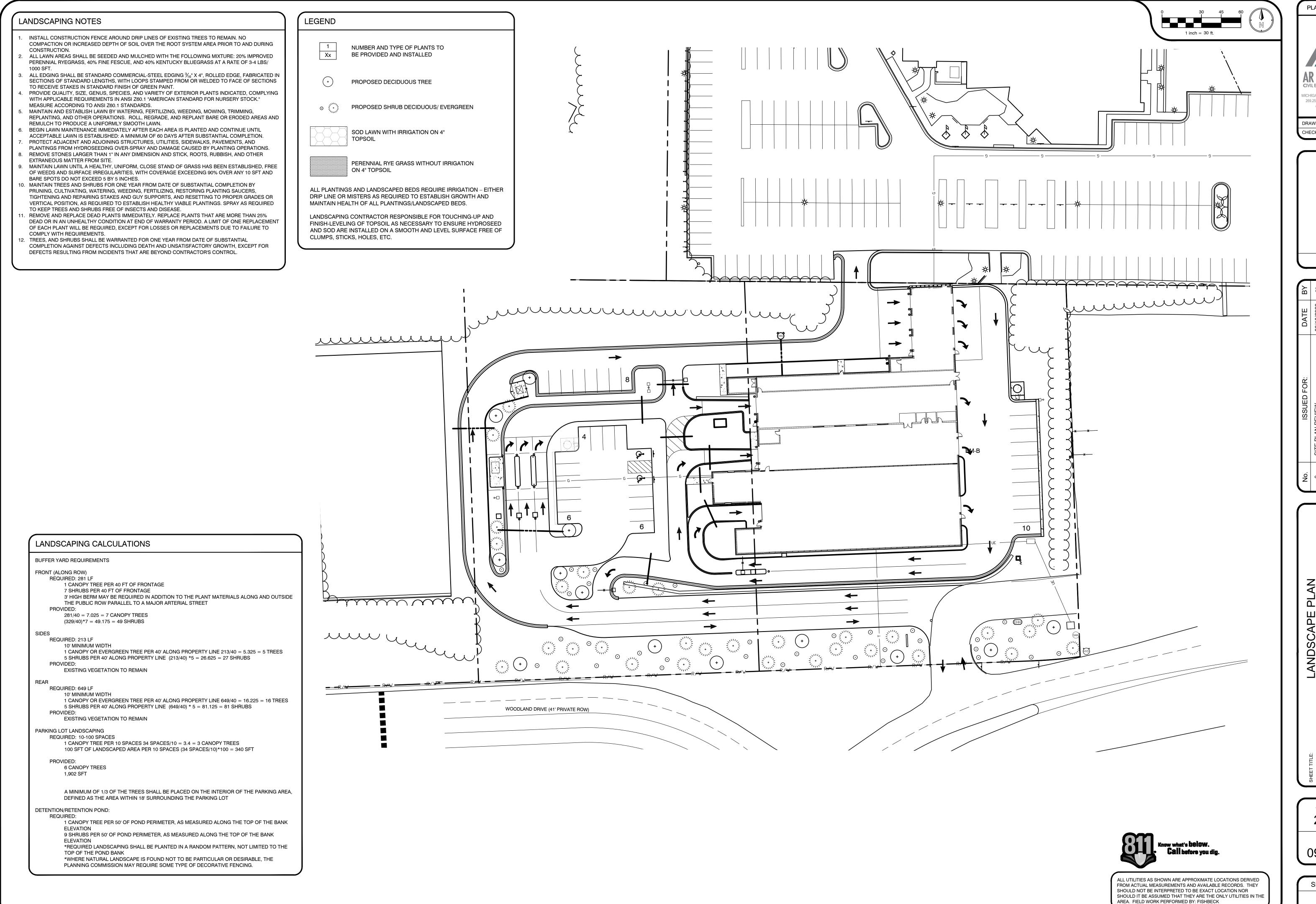
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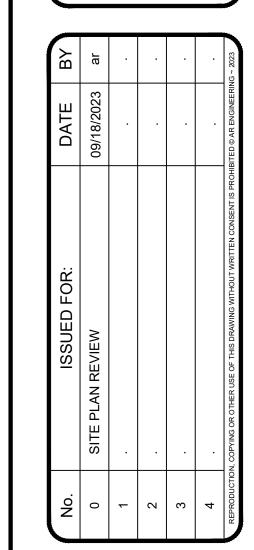
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DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE

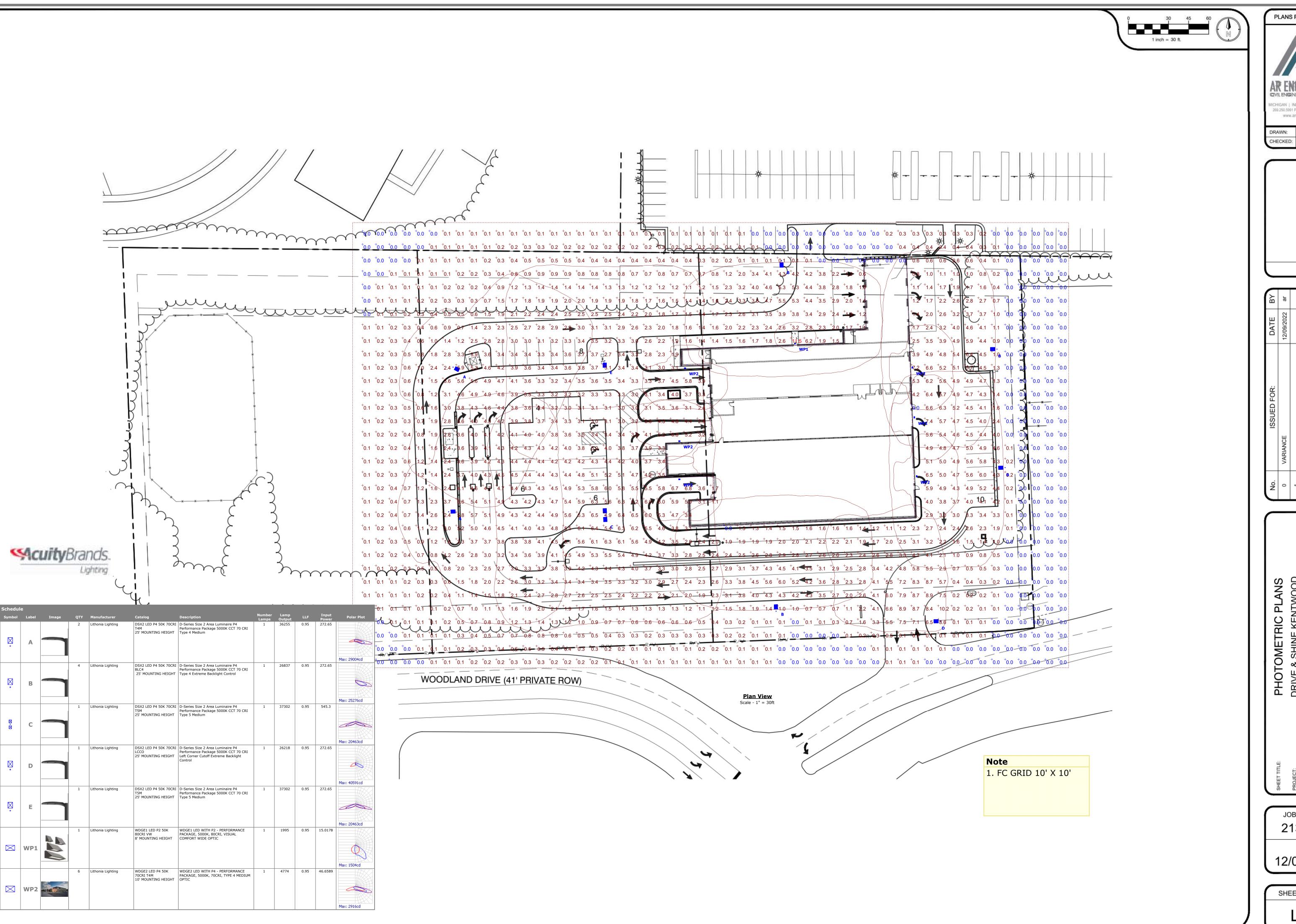
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www.arengineeringlkc.com

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PHOTOMETRIC PLANS
DRIVE & SHINE KENTWOOD
DRIVE & SHINE, INC
3311 WOODLAND DRIVE SE
SECTION 12, T11N, R11E

PROJECT: CLIENT: SITE ADDRESS:

JOB NUMBER **2139006**

DATE 12/09/2022

SHEET NUMBER

Not to Scale

Drawing No.

Summary

1 of 1

Designer

9/25/2023

STAFF REPORT: October 16, 2023

PREPARED FOR: Kentwood Planning Commission

PREPARED BY: Joe Pung

CASE NO.: 28-23 DAMA Ventures, LLC

GENERAL INFORMATION

APPLICANT: DAMA Ventures, LLC

276 Honey Creek Avenue, SE

Ada, MI 49301

STATUS OF

APPLICANT: Property Owner

REQUESTED ACTION: Special land use and site plan review for indoor vehicle sales in an

industrial district.

EXISTING ZONING OF

SUBJECT PARCEL: I-1 Light Industrial

GENERAL LOCATION: 3350 Broadmoor Avenue

PARCEL SIZE: 3.04 acres

EXISTING LAND USE

ON THE PARCEL: Vacant Building (former Spectrum Urgent Care Facility)

ADJACENT AREA

LAND USES: N: Office

S: Industrial E: Railroad Line

W: Broadmoor Avenue ROW

ZONING ON ADJOINING

PARCELS: N: I-1 Light Industrial

S: I-1 Light IndustrialE: I-1 Light IndustrialW: I-1 Light Industrial

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Compatibility With Master Plan

The Master Plan recommendation is for industrial development in this area. The proposed indoor vehicle sales business is a special land use in industrial districts and would therefore be consistent with the Master Plan recommendation.

Zoning History

The property is currently zoned I1 Light Industrial and has been since at least 1976.

Relevant Zoning Ordinance Sections

Indoor vehicle sales are a special land use in the I-1 Light Industrial district (Zoning Ordinance Section 10.02). Section 13.04 requires Planning Commission review and approval of special land uses. Section 15.02 outlines the general approval standards for special land uses. Section 13.09 outlines the general review standards. Section 14.05 outlines the site plan review standards. Section 15.04.HH lists the site design standards for indoor vehicle sales.

SITE INFORMATION

Site Characteristics

The parcel is 3.04 acres in area. The existing 15,317 square foot building was constructed in 1999 for Spectrum Health Occupational Services and Rehabilitation Service facility and was later used as an urgent care clinic.

Traffic & Circulation

The property has one (1) curb cut onto Broadmoor Avenue that is intended for egress only. Access to the site if from the adjacent property to the south.

Parking

The Zoning Ordinance does not identify minimum parking requirements for indoor vehicle sales in industrial districts. The site plan depicts sixty-one (61) parking spaces. The minimum required parking for office use of the building is fifty-one (51) spaces. Based on the description of the operation, the parking currently provided on-site should be sufficient.

Engineering

The development will have to meet all applicable Engineering Department regulations.

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<u>Fire</u>

The development will have to meet all applicable Fire Department regulations.

Staff Comments

- In June of 2012 the City amended the zoning ordinance to remove the option to request use variances from the Zoning Board of Appeals. In conjunction with amending the ordinance to remove the option to request use variances, staff reviewed the history of use variance requests and made recommendations to amend use allowances based on that research.
 - One recommendation was to permit limited indoor vehicle sales in industrial districts as a special land use and specify specific site design criteria for the use. The City approved the amendment to allow for indoor vehicle sales in industrial districts in June of 2012.
- 2) The vehicle sales operation would occupy 3,984 square feet of the existing 15,317 square foot building. The maximum capacity of the sales area would be eight (8) vehicles.
- In 2003 the Zoning Board of Appeals granted a variance for an increase in sign area of thirty (30) square feet and to allow for a sign base of four (4) feet. The variance was conditioned on only being allowed for urgent care use and if the use were to be discontinued the sign must conform to the standard ordinance requirements.
- 4) Section 15.02 of the Zoning Ordinance (Special Approval Standards) states that the Planning Commission must determine that the proposed special land use and its location meet the following standards:
 - A. Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed.
 - The site is developed, and the only exterior changes related to the indoor vehicle sales that are proposed are the addition of an overhead door and entrance door to the east side of the building and the removed of two (2) parking spaces to accommodate the new overhead door access. Use of the property would continue to be industrial in nature.
 - B. Be served adequately by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities or schools.

The site is adequately served by essential public services.

C. Not create excessive additional requirements at public cost for public facilities and services.

The proposed use is not anticipated to create additional requirements for public facilities and services at public cost.

D. Not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

The proposed use is not anticipated to create excessive traffic, noise, smoke, fumes, or odors that will be detrimental.

E. Be consistent with the intent and purpose of the zoning district in which it is proposed to locate such use.

The proposed use is a special land use within the zoning district and as such can be considered consistent with the zoning and the Master Plan recommendation for industrial development.

- F. Be subject to stipulations by the Planning Commission of additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for insuring that the intent and objectives of the Zoning Ordinance will be observed. The breach of any condition, safeguard or requirement shall automatically invalidate the granting of the Special Land Use.
- G. Comply with all applicable licensing ordinances.
- 5) Section 15.04.HH lists the following specific requirements that apply to indoor vehicle sales in an industrial district. The requirements are:
 - A. All activity to occur within the enclosed building.

The applicant has indicated all vehicle sales would occur within the showroom.

B. No open-air display or storage of inventory.

There will be no open-air display or storage of vehicles.

C. No vehicle repair or maintenance to occur on-site.

No vehicle repair or maintenance will occur on-site.

D. Vehicle display and/or storage area limited to 5,000 square feet.

The vehicle showroom and supporting storage areas would occupy 3,984 square feet of the building.

Exhibit 1: Project Location (20120 Aerial Photo)

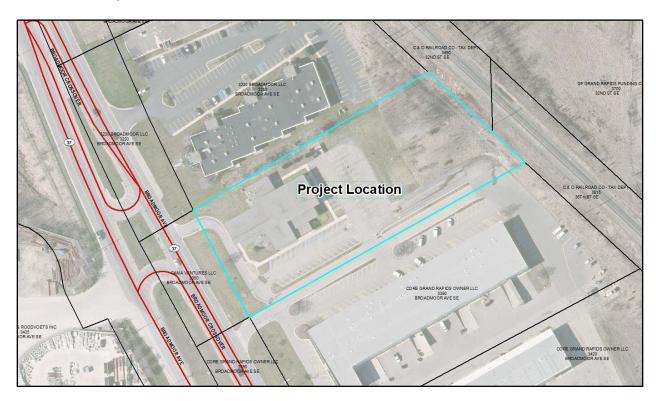


Exhibit 2: April 2023 Pictometry Photo (View from the South)



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Exhibit 3: April 2023 Pictometry Photo (View from the West)



Exhibit 4: April 2023 Pictometry Photo (View from the East)



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Exhibit 5: May 2023 Pictometry Photo (View from the North)



Exhibit 6: East (rear) Elevation of Existing Building



Exhibit 7: Existing Dumpster Enclsoure in Need of Repair or Replacement



Exhibit 8: Rear of Property Backing Up To Railroad



Station 1: 616-554-0800 Station 2: 616-949-1780 Station 3: 616-534-7117



KENTWOOD PLAN REVIEW

Fire Department Information

Occupant ID: 24414 Inspection Date: 10/16/2023
Inspected By: QUICK, PATRICK

Facility Information

Occupant Name: SBS TRANSPORT

Business Address: 3350 BROADMOOR Avenue

Southeast

Inspection Information

Inspection Type: SITE PLAN ONLY

Inspection Notes: Site plan review for change of use for site. Plans approved as submitted.

Fire Code Reference

Description	Comments
Approved vehicle access for fire fighting shall be provided to all construction or demolition sites prior to and during the time of construction. Access road(s) (20 feet wide, designed and maintained to support a vehicle weighing 20 tons on a single axle with dual wheels and standard road tires) shall be constructed as required. This road may be gravel, but vehicle access must be maintained and unobstructed at all times. (IFC 501.4, 503.1.1, 503.2.3, 503.4, 3310.1)	
Provide fire lane(s) on the side(s) of the building. Each side of the building where a fire lane is required must have an entrance as close to the middle as possible. The fire lane must be a minimum of 10 feet and a maximum of 30 feet from the building, and within 100 feet of all fire department connections. (IFC 503.1.1)	Current fire lanes are sufficient. If building footprint changes, changes to fire lanes may be required.
"No Parking – Fire Lane" signs shall be placed no closer than 25 feet apart or further than 75 feet apart. (IFC 503.1.1) The bottom of the sign must be 6'4" from grade level.	
Install inch Arabic numerals on the front of the building in a color that contrasts with the immediate background on which the numerals are mounted and that will be readily visible during normal daylight. (IFC 505.1 – 505.1.7)	4 inch address number facing the street required.
Required means of egress shall be maintained during construction and demolition, remodeling or alterations and additions to any building. (IFC 3311.2)	
An approved automatic sprinkler system shall be provided throughout the entire building or in specific portion(s)/area(s) identified by the Fire Marshal in accordance with the code. (IFC 903; NFPA 13)	Sprinkler system to be maintained.

<u>Signatures</u>

First Name	Last Name	Signature Date
Pat	Quick	10/16/2023

City of Kentwood Planning Commissioners,

I am the owner of the building located at 3350 Broadmoor Avenue SE. This is the site of the former Spectrum Health Services clinic. At this time, I am considering a small renovation which will allow me to provide indoor vehicle sales in the northeast portion of the building. The small sales area (which will only accommodate 8 cars at full capacity) will focus on the resale of used vehicles via internet sales with standard working hours Monday through Friday from 9am to 5pm.

In discussions with the Kentwood Planner, I learned that indoor vehicle sales is only allowable in this zoning district when approved by the Planning Commission as a Special Land Use. I have had drawings prepared by my Architect to clearly demonstrate the intent of this business. I'm also providing this narrative to clarify the limited impacts of the proposed use.

Per City of Kentwood Zoning Ordinance 15.02, The proposed special land use and its location shall:

- A. Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that a use will not change the essential character of the area in which it is proposed.
 Response: The proposed addition of the indoor vehicle showroom shall be compatible and harmonious with the general vicinity. The use is a low impact operation which will not detract from the character of the area.
- B. Be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities or schools.

Response: The existing building is adequately served by public facilities. The proposed indoor vehicle sales activities shall not have any detrimental affect on those existing facilities.

C. Not create excessive additional requirements at public cost for public facilities and services.

Response: The proposed indoor vehicle sales use shall not create any excessive additional requirements at public cost for public facilities and services.

D. Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, electrical or electromagnetic interference or odors.

Response: The proposed indoor vehicle sales use is a low impact operation which will not negatively affect the surrounding area. Other than the limited traffic created by staff and customers visiting the site, no other activities will occur on-site which would result in excessive traffic, noise, smoke, fumes, glare, electrical or electromagnetic interference or odors.

E. Be compatible and in accordance with the goals, objectives and policies of the master plan and promote the intent and purpose of the zoning district in which it is proposed to locate.
Response: The proposed indoor vehicle sales shall be compatible with the Kentwood master plan and support the purpose and intent of the overlaying zoning district.

F. Be subject to stipulations by the Planning Commission of additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights, and for insuring that the intent and objectives of this ordinance will be observed. The breach of any condition, safeguard, or requirement shall automatically invalidate the granting of the special land use.

Response: The proposed indoor vehicle sales shall be subject to the conditions of the Kentwood Planning Commission which they deem necessary.

G. Comply with all applicable licensing ordinances.

Response: The proposed indoor vehicle sales will comply with all applicable licensing ordinances.

In addition, per City of Kentwood Zoning Ordinance 15.04, The following subparagraph identifies specific requirements that shall be complied with by the individual special land use:

HH. Indoor vehicle sales in industrial.

1. All activities to occur within the enclosed building.

Response: All the proposed vehicle sales shall occur within the showroom. No outdoor sales of vehicles is proposed.

2. No open-air display or storage of inventory.

Response: No open-air display or storage of inventory is proposed.

3. No vehicle repair or maintenance to occur on-site.

Response: There are no vehicle repair or maintenance activities proposed to occur onsite.

4. Vehicle display and/or storage area limited to 5,000 sqft.

Response: The vehicle showroom and supporting storage rooms are 3,984 sqft.

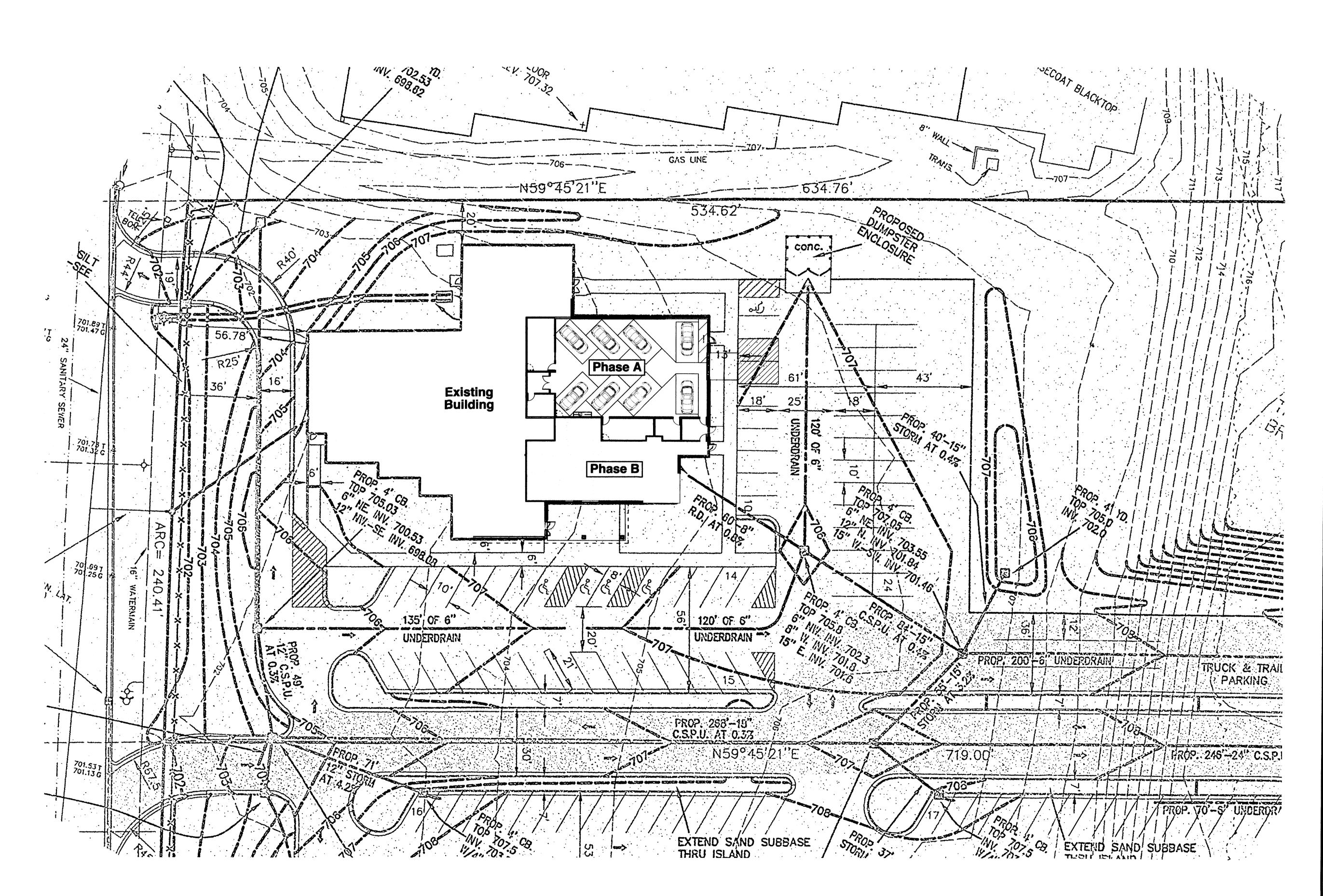
Thank you for your time and consideration of this exciting business venture.

Sincerely,

Marko Franovic

Enclosures:

- -Special Land Use Application
- -Application Fee
- -15 copies of drawings (24"x36")



223008 A11 A20 A21 A31 A32 A41 Plans SP/27/23, 1:57 PM

ARCHITECTURE
523 Ada Drive SE, Suite 200
PO Box 404
Ada, MI 49301
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6504 28th Street Southeast Suite J Grand Rapids, Michigan 49546 p. (616) 777-1844 https://sbstransportllc.com

7614 Clyde Park SW, PO Box 158

PHONE 616.878.0184 FAX 616.878.014

www.**DykhouseConstruction**.com

Site Plan

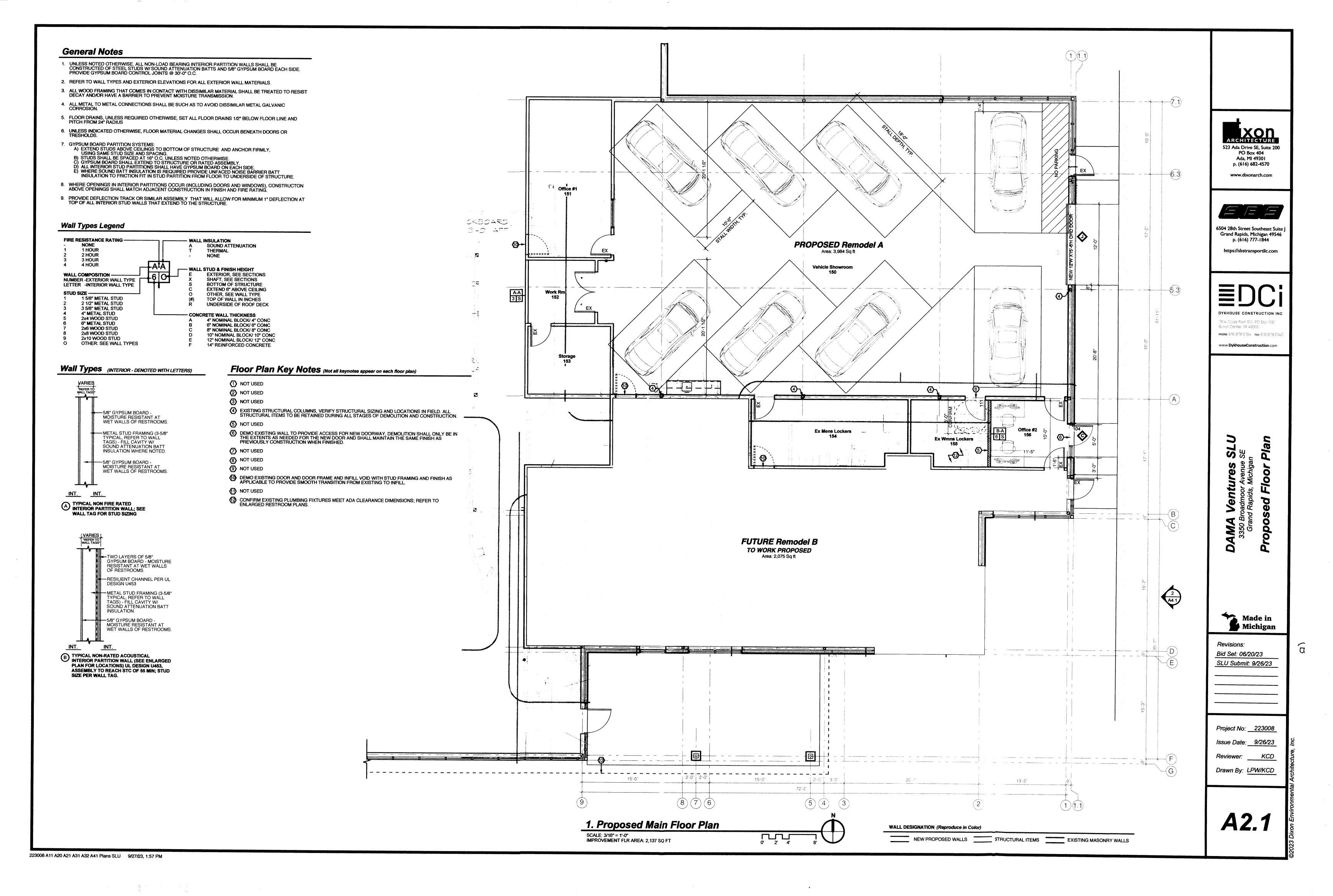
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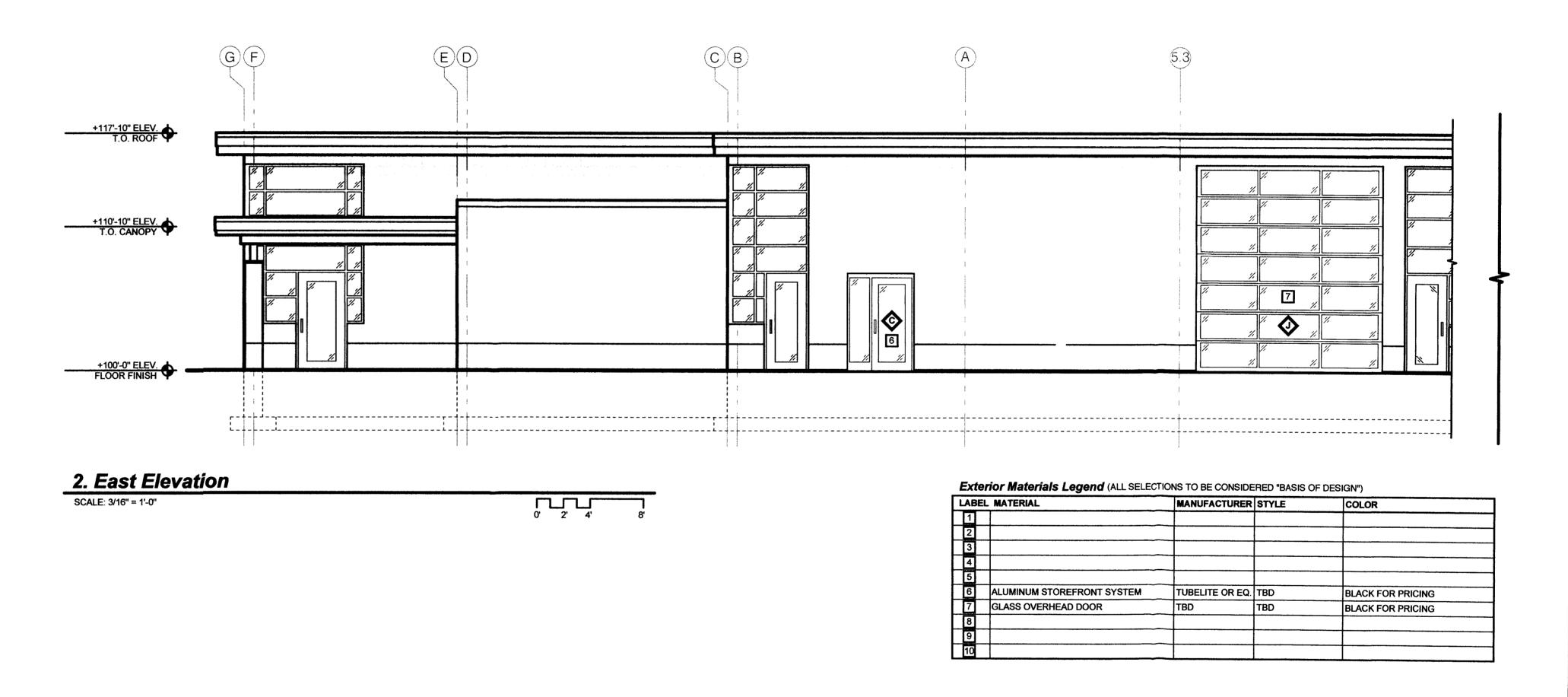
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Project No: 223008 Issue Date: 9/26/23

Drawn By: KCD

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www.DykhouseConstruction.com

SLU SE

Made in Michigan

Revisions: Bid Set: 06/20/23 SLU Submit: 9/26/23

Project No: 223008 Issue Date: 9/26/23

Drawn By: LPW/KCD

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