

AGENDA
CITY OF KENTWOOD PLANNING COMMISSION
TUESDAY, SEPTEMBER 12, 2023
KENTWOOD COMMISSION CHAMBERS
4900 BRETON AVENUE, SE
7:00 P.M.

6:00pm - LUZ Committee Meeting Conf. Rm. #119 – (Benoit, Holtrop, Jones, Kape)

- A. Call to Order
- B. Pledge of Allegiance (Ed Kape)
- C. Roll Call
- D. Declaration of Conflict of Interest
- E. Approval of the Minutes of August 22, 2023, and Findings of Fact for:
- F. Approval of the Agenda for September 12, 2023
- G. Acknowledge visitors and those wishing to speak to non- agenda items.
- H. Old Business

Case#16-23 – Kum & Go – Special Land Use and Site Plan Review for a Vehicle Fuel Station located at 2975 and 2995 28th Street SE (**Tabled from the June 25, 2023, August 9, 2023 and August 22, 2023**) (**APPLICANT HAS WITHDRAWN THEIR REQUEST**)

- I. Public Hearing

Case#21-23 – Fox Ford Commercial Vehicle Service Facility – Special Land Use and Site Plan Review for Vehicle Repair Located at 3560 – 28th Street SE

- J. Work Session

Case#22-23 – Storage Five Kentwood LLC – Rezoning of 8.2 acres of land from C-2 Commercial to Conditional I-1 located at 1800-1900 44th Street SE

Case#23-23 -Body Shop Boss – Special Land Use and Site Plan Review for a Major Vehicle Repair located at 3851 Model Ct. SE

- K. New Business

Set Public Hearing date of October 10, 2023, for: **Case#17-23** – Bosgraff Walma 44th - Change in the Master Planned Land Use Designation from Low Density Residential to Medium Density Residential located at 2802 – 44th Street - **Case#24-22** – Hotel Conversion – Special and Use and Site Plan Review to convert an existing office Building into a Hotel Located at 2180-44th Street SE

Set a Public Meeting date of October 24, 2023 for: **Case#25-23** – Master Plan Amendment 52nd and Broadmoor Ave – Change in the Master Planned Land Use Designation from Industrial to Commercial located at the northeast corner of 52nd Street and Broadmoor Avenue

L. Other Business

1. Commissioners' Comments
2. Staff's Comments

M. Adjournment

*Public Hearing Format:

1. Staff Presentation – Introduction of project, Staff Report and Recommendation
Introduction of project representative
2. Project Presentation – By project representative
3. Open Public Hearing (please state name, address and speak at podium. Comments are limited to five minutes per speaker; exceptions may be granted by the chair for representative speakers and applicants.)
4. Close Public Hearing
5. Commission Discussion – Requests for clarification to project representative, public or staff
6. Commission decision – Options
 - a. postpone decision – table to date certain
 - b. reject proposal
 - c. accept proposal
 - d. accept proposal with conditions.



MEMORANDUM

TO: Land Use and Zoning Committee

FROM: Terry Schweitzer, Community Development Director

DATE: September 6, 2023

RE: Prospective Rezoning of Property at 3445 36th Street from Industrial to Commercial (6:30 to 7:00pm, September 12, 2023)

Attached you will find a recent aerial of the site addressed 3445 36th Street, SE. Midwest United FC is considering a lease of the property with the prospect of using the office space and putting a 30-yard by 60-yard indoor turf practice area within the existing 20,000 square foot building. The property is currently zoned I-1 Light Industrial, but the prospective project would not meet the qualifications of a special land use Small Group Fitness and Rehabilitation Training Facility since the ratio of instructor to trainee would exceed 1:4 and the size of the indoor turf practice area would exceed 25% of the building and exceed 10,000 square feet.

Midwest United is therefore seeking feedback on a request to rezone the property to either C-2 Commercial where indoor recreational facilities are allowed by right or C-4 Office where indoor recreational facilities are allowed subject to Special Land Use approval. The site is master planned for industrial use, however, the 36th Street frontage properties immediately to the east out to Broadmoor Avenue are master planned for office use. The cross hatched area portrayed on the site aerial reflects the presence of the Plaster Creek Floodplain which factored into the office future land use designation for the frontage properties to the east.

Schweitzer, Terry

From: Lewis Robinson <lrobinson@midwestunitedfc.com>
Sent: Monday, August 28, 2023 11:05 AM
To: Schweitzer, Terry
Subject: [EXTERNAL]Committee Request Sept 12th 6:30pm

⚠ Stop.Think.Read.This is an external email. Please use caution when clicking on any links or opening attachments.

Terry,

This is a follow up to hopefully speak with your planning subcommittee about the possible re-zoning of homies athletic tape building at 3445 36th Street SE.

We are looking at a possible 5-10 year lease to move into the building next to our office building and across the street from our turf fields at the complex. This would allow us to use the office space, and also put in a small 7v7 turfed indoor practice area. The space would largely be used the same as our fields for small group practices 4pm-9pm typically. It is a 7v7 (30 yard by 60 yard). Will be turfed with netting around the perimeter of the field. No official games, just practices and workouts. The field will probably only hold up to about 20 players at once max so we don't expect too much traffic at one time, and 1-2 coaches running soccer practices with kids aged 4-19.

I know we went through this once for a building over off Beltline that was much bigger with much less parking, so hoping this one should be much more simple as it is a smaller space, with plenty of parking space and fire exit/entrance too.

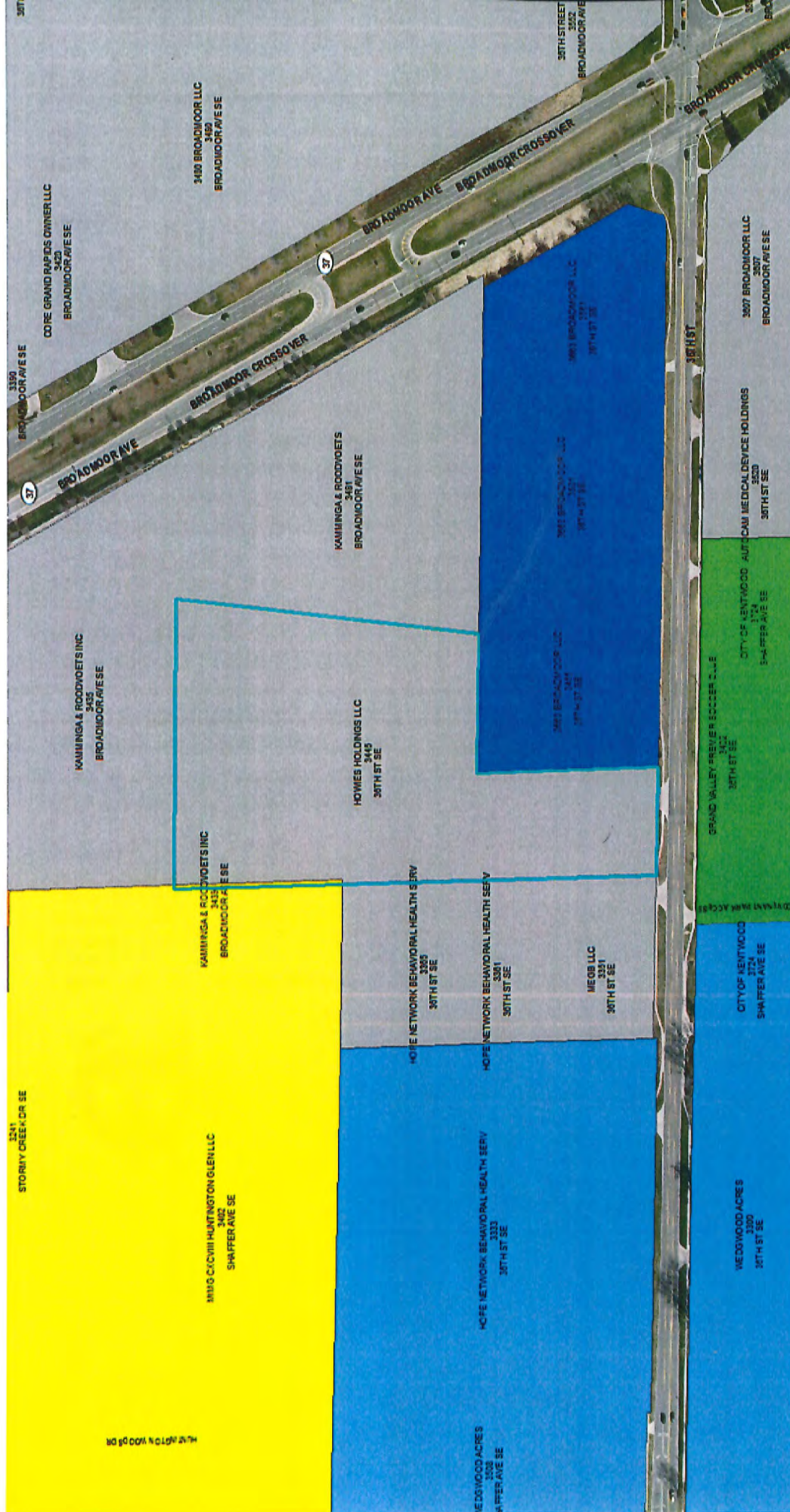
Let me know and we are tentatively planning on the Sept 12th meeting 6:30pm-7pm at your offices to discuss.

Thanks!

Lewis Robinson
Executive Director
Midwest United FC
616-828-7150
lrobinson@midwestunitedfc.com









MEMORANDUM

TO: Land Use and Zoning Committee

FROM: Terry Schweitzer, Community Development Director

DATE: September 6, 2023

RE: Prospective Conversion of Existing Car Wash to a Major Vehicle Repair Establishment (6:00-7:00pm, September 12, 2023)

In 2005 the Kentwood Planning Commission approved a Special Land Use application for a vehicle car wash and a drive through ice cream establishment at 900-52nd Street, SE. Attached you will find a recent aerial of the site, the current front façade of the car wash and frontage buildings, a conceptual site plan and floor plan associated with the contemplated conversion of the drive through car wash at 900 52nd Street, SE into a major auto repair establishment. The prospective applicant is Tom Thomson, the businessman who operated the major auto repair establishment formerly located at the southwest corner of 52nd Street and Kalamazoo Avenue. Attached you will find my email to Mr. Thomson outlining my initial feedback on the concept.

On August 17, Fire, Engineering, and Planning staff met with Mr. Thomson, along with a representative of Copperrock Construction and the current owner of the car wash. Mr. Thomson plans to: retain the drive through retail building and associated parking along the 52nd Street frontage; convert the tunnel car wash building into a 7-bay auto repair establishment; and expand the building by another 30 feet to the east to accommodate an office and waiting area. He expressed a concern that the topography of the site and the mechanical layout within the building would preclude having the garage doors placed on the rear elevation of the building. City staff stressed the need for a dedicated paved screened area to conceal vehicles that would be on site for more than 72 hours. Thomson noted that he has easement rights to park vehicles immediately south of the building and he described some new policies he would establish to minimize overcrowded parking on the site.

Mr. Thomson is seeking your feedback on this prospective development.

Recent Aerial

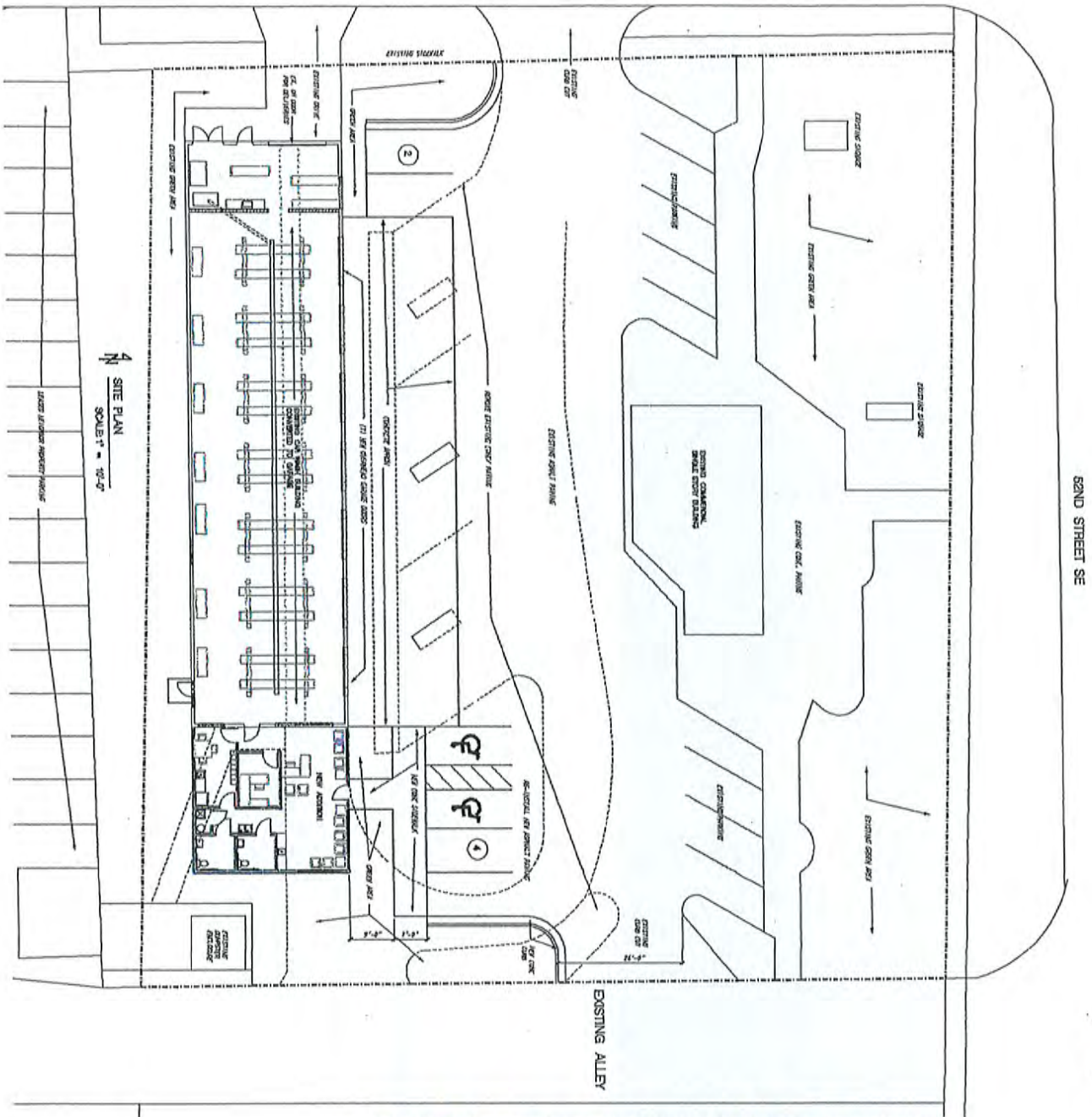




North Elevation of Existing Car Wash



North Elevation of Existing Feature Building



2



4 SITE AREA PLAN
NO SCALE

A-1
SHEET

DATE	REVISION
08-09-03	REVISED

GARAGE REMODEL
690 52ND ST SE,
KENTWOOD, MI 49508

COPPERROCK CONSTRUCTION
604 1/2 STREET SUITE 300
GRAND RAPIDS, MI 49505
616-755-0555
WWW.COPPERROCKCONSTRUCTION.COM

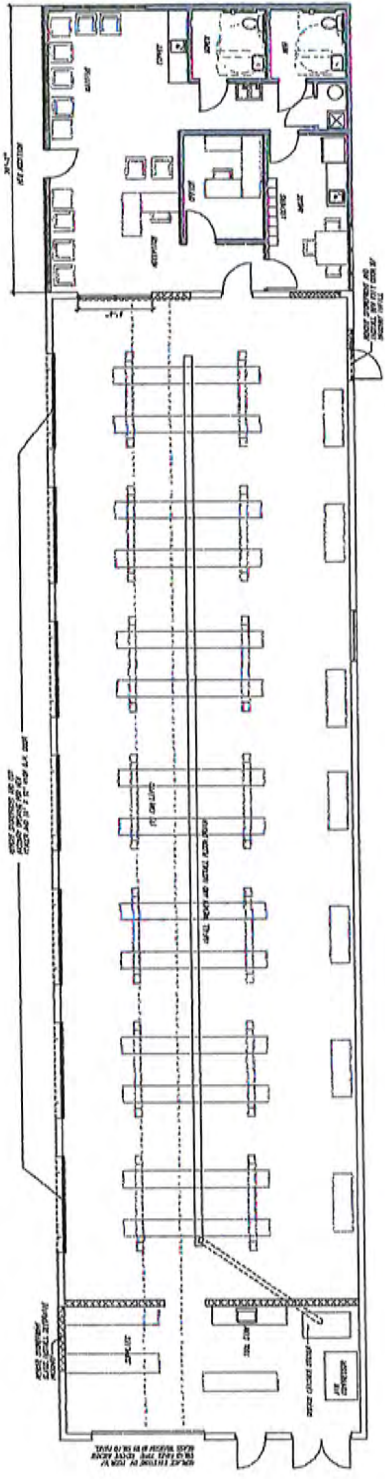
Design ARCHITECTURE
5519 Grand River Drive NW
Grand Rapids, MI 49505
info@designarchitect.com
616-755-9103

DATE	8-20-23
REVISION	
DESIGNED FOR	

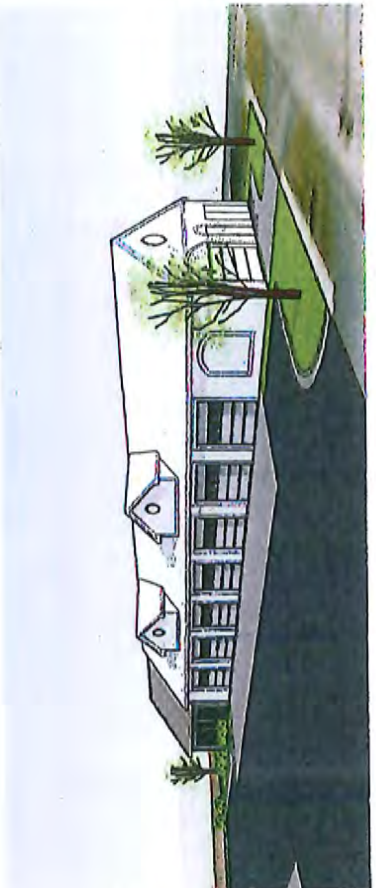
GARAGE REMODEL
890 62ND ST SE
KENTWOOD, MI 49508

COPPER ROCK
CONSTRUCTION
8630 92ND AVE SE
GRAND RAPIDS, MI 49508
WWW.COPPERROCKCONSTRUCTION.COM

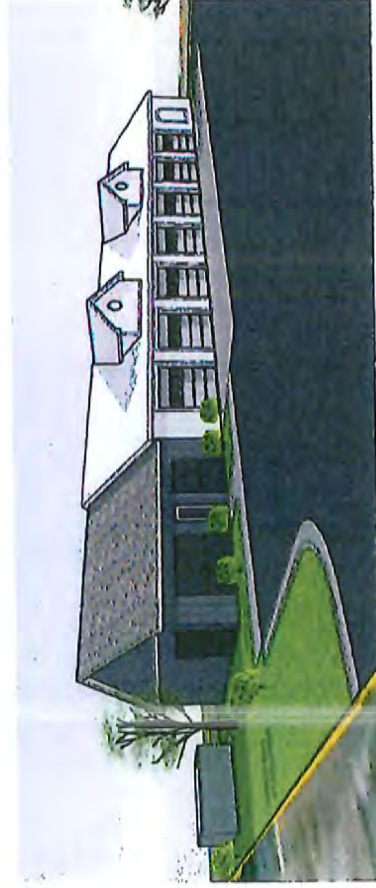
Design
ARCHITECTURE
5219 Grand Haven Drive SE
Grand Rapids, MI 49508
info@designarchitect.com
616-735-2105



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



NORTH WEST RENDER VIEW
NO SCALE



NORTH EAST RENDER VIEW
NO SCALE

Schweitzer, Terry

From: Schweitzer, Terry
Sent: Monday, August 7, 2023 5:00 PM
To: Thomas Thomson
Cc: Golder, Lisa; Pung, Joe
Subject: Conceptual Plans for Conversion of Car Wash to Major Vehicle Repair

Tom: You recently dropped off a conceptual site plan, conceptual building elevations and interior design associated with the potential conversion of the car wash at 900-52nd Street, SE into a major vehicle repair establishment. You expressed a desire to secure feedback on a Special Land Use and Site Plan Review submittal to the Planning Commission.

The proposed building elevations portray the overhead doors facing 52nd Street, the overhead doors would need to be changed to the south side of the building.

A detailed statement of operations will be required to describe what measures and policies will be taken to avoid prolonged outside storage of cars. . All proposed outside storage areas must be shown on the conceptual site plan.

The site plan should also portray any off-site parking areas over which you would possess easement rights to park, store and/or screen vehicles.

We suggest that you pull together the information noted above and set up a meeting with the Planning Commission Land Use and Zoning Committee to seek their feedback before deciding upon and submitting a formal request for this site.

Terry

Thomsons Auto Repair Inc.
Proposed purchase and renovation
Of 900 52nd st se (52nd auto wash)

Scope of work:

Office hours 8am-6pm Mon-Fri.

- 1. Brake systems: diagnose,replace.**
- 2. Exhaust systems: repair/replace.**
- 3. Suspension and steering systems: replace.**
- 4. Fuel systems: diagnose, repair/replace.**
- 5. Emission systems: diagnose, repair/replace.**
- 6. Drive train: diagnose, repair/replace.**
- 7. HVAC system: diagnose, repair/replace.**
- 8. Safety systems: diagnose, repair/replace.**
- 9. Electrical and Lighting systems diagnose, repair/replace.**
- 10. Computer and security systems: diagnose, repair/replace.**
- 11. Tires: repair/replace.**

Thomsons Auto Repair Inc. Is a full service mechanical auto repair shop.

We do not do any auto body repair or painting.

Thomsons office hours are Monday-Friday 8am to 6pm. The majority of our work is completed in one to two days. Some work may take longer due to part availability and warranty authorization.

Thomsons does have a close off site storage for vehicles that will not be completed in a timely manner.

Thomsons does have an open contract with HD Towing and Recovery to remove abandoned vehicles and vehicles that are left more than 2 days after completion. Most completed vehicles will owe a big enough bill that I will maintain possession at our off site storage facility in Grand Rapids

Most of the vehicles we see are in great shape cosmetically and the parking lot looks like a normal parking lot.

Small auto repair shops have about the same amount of traffic as a dentist or doctors office through the day.

When thinking of auto repair shops most folks think about the noise of loud tools however; those noises are no longer the norm. The majority of tools are now operated by battery and make about one tenth of the noise that those tools used to make, even the air tools we do use are muffled for hearing protection.

One would be hard pressed to even hear anything walking past.

The custom garage doors will be closed most of the year, we will have climate control in the whole building.

The custom garage doors will compliment the nice exterior of the building and will not be the traditional ugly doors of many shops.

The garage doors have to be put in on the north side of the building due to elevation of the building. On the interior south side the major mechanical comes in and is mounted on the south wall also.

This is one reason for the custom garage doors. The setback from the road is pretty far and our front building will block a lot of the bay doors from the road view.

My goal is to always have a pristine lawn and landscape.

This place will be ours and not the same as the shop of the past that we didn't own. the landlord of our old place had no intention of putting money into the building even if we paid more in rent. Our lease was month to month and we could have been evicted at any time so it made it extremely hard to put our own money into the shop. I had to put a roof on at one point and that was a hefty bill as some of you may know.

We have considered a longer term car parking fenced area across the parking lot as shown in the picture. It will not only be fenced in, it will also have bushes on the north side and possibly a couple on the east side towards the north corner.

Thank you!

Thomas C. Thomson

616-717-8553

ThomsonsAutoRepair@sbcglobal.net



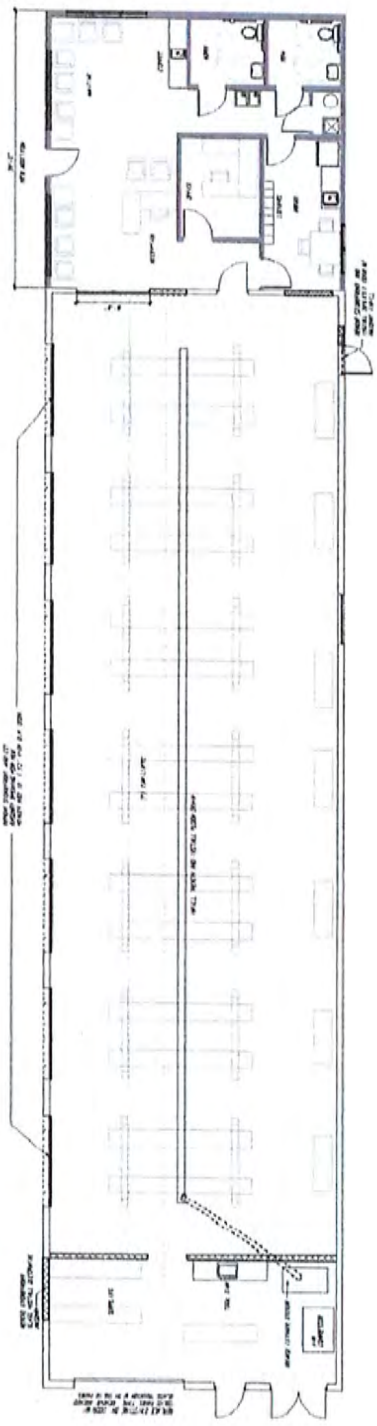
Auto Repair Inc.

DATE	1-10-12
REVISION	
BY	
CHECKED	

GARAGE REMODEL
890 52ND ST SE,
KENTWOOD, MI 49508

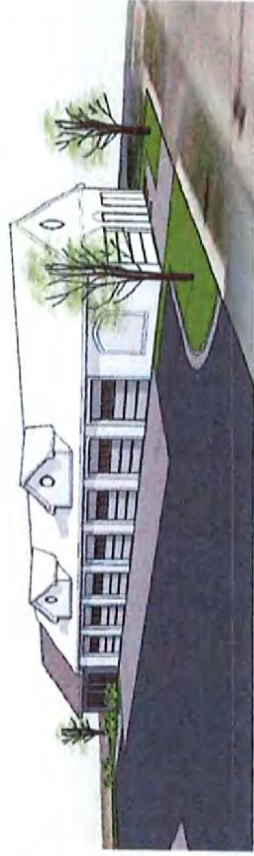
COPPER ROCK
CONSTRUCTION
14500 14TH AVE SE
GRAND RAPIDS, MI 49508
WWW.COPPERROCKCONSTRUCTION.COM

Design
ARCHITECTURE
1319 Grand River Drive N.E.
Grand Rapids, MI 49503
Tel: 616-734-9248
Fax: 616-734-9248
info@designarchitecture.com

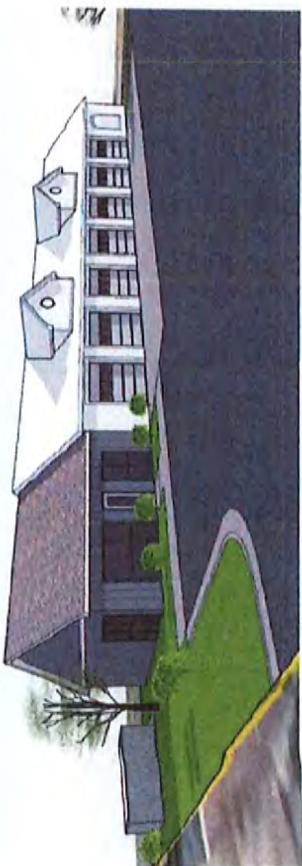


4 MAIN FLOOR PLAN
SCALE: 3/8" = 1'-0"

NORTH WEST RENDER VIEW
NO SCALE



NORTH EAST RENDER VIEW
NO SCALE



Kent County Web Map

August 16, 2023



PPERROCK
CONSTRUCTION
FIFTH STREET SUITE 300
RAND RAPIDS, MI 49505

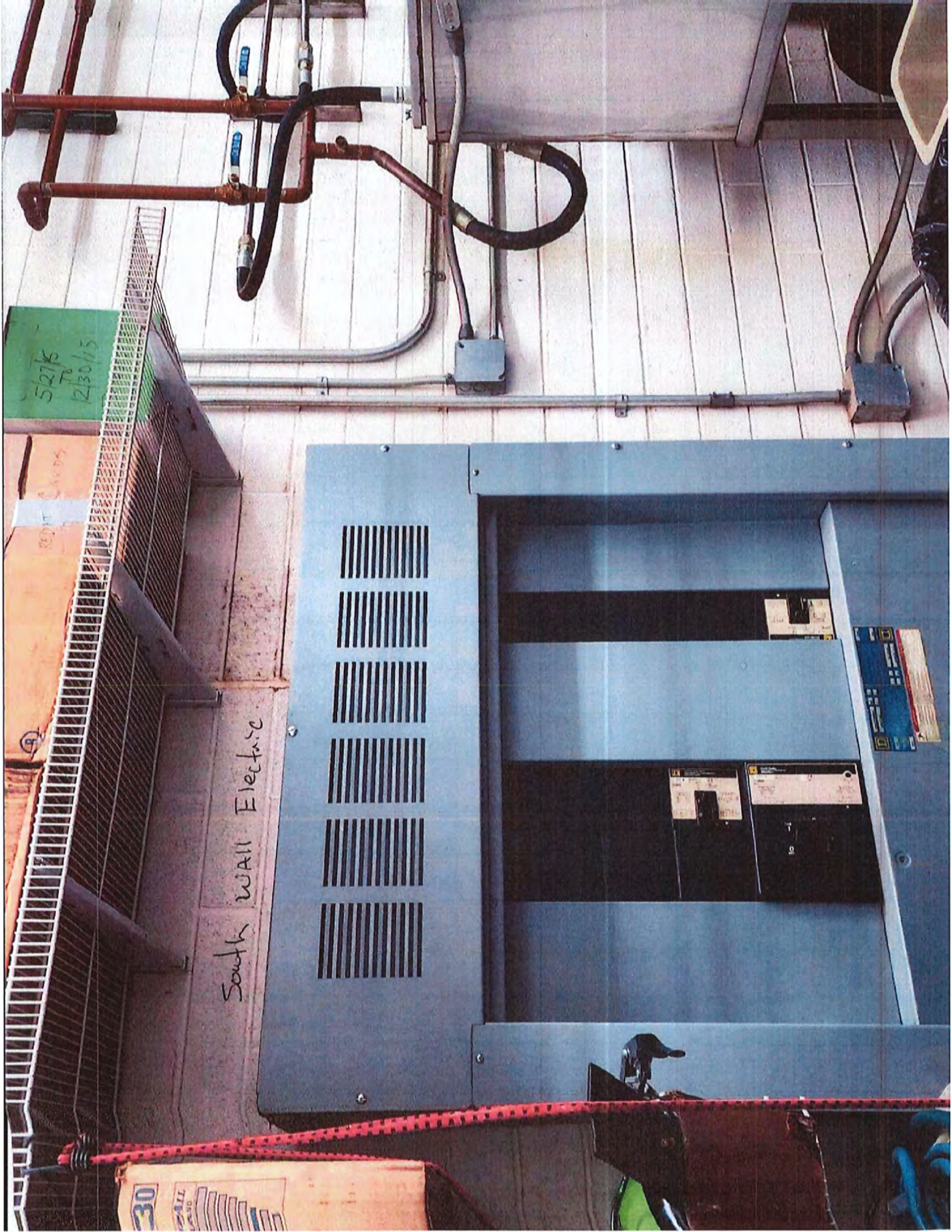
Design

ARCHITECTURE



South side
of carwash





South Wall Electric

5/27/16
12/30/15

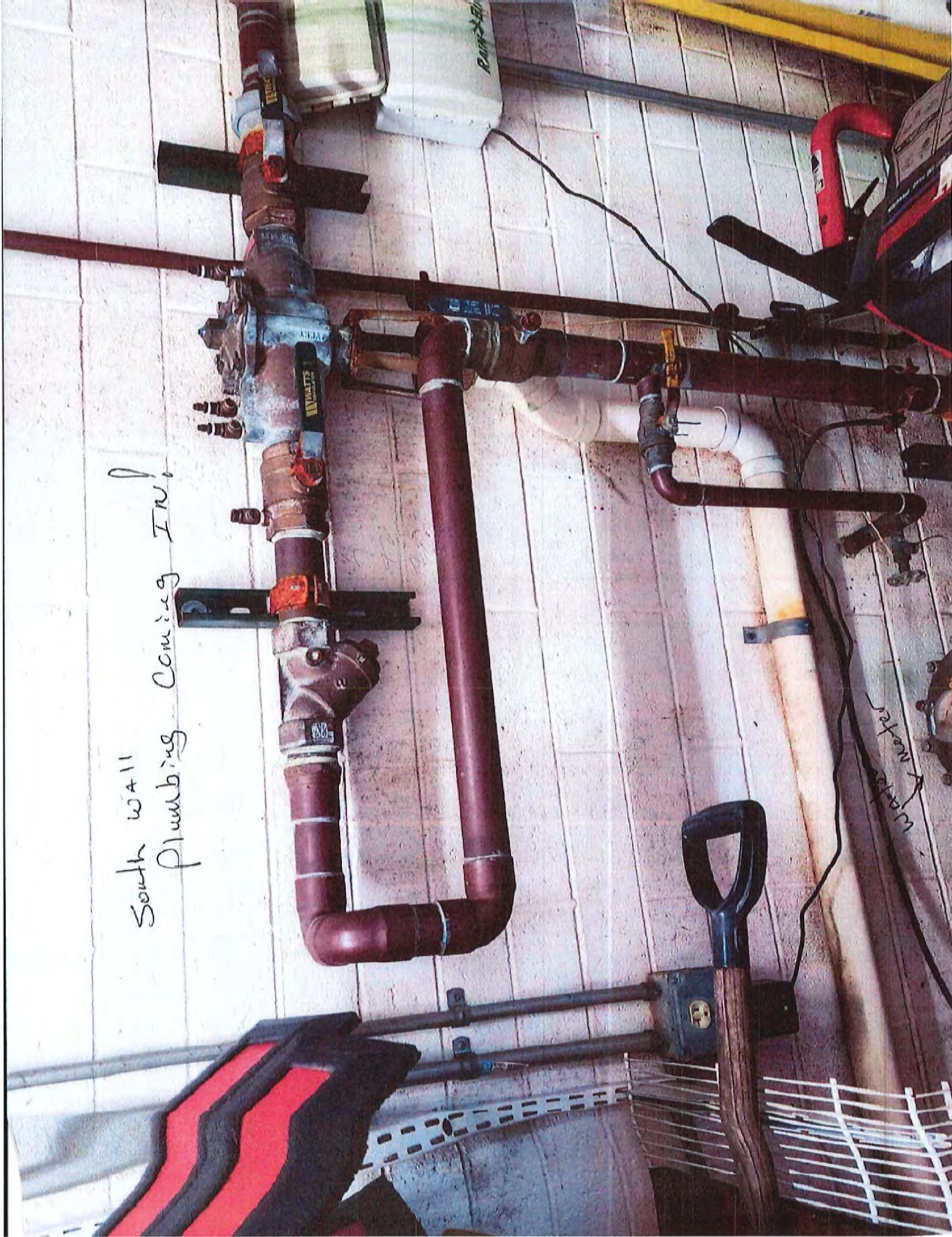
REDIT CREDIT

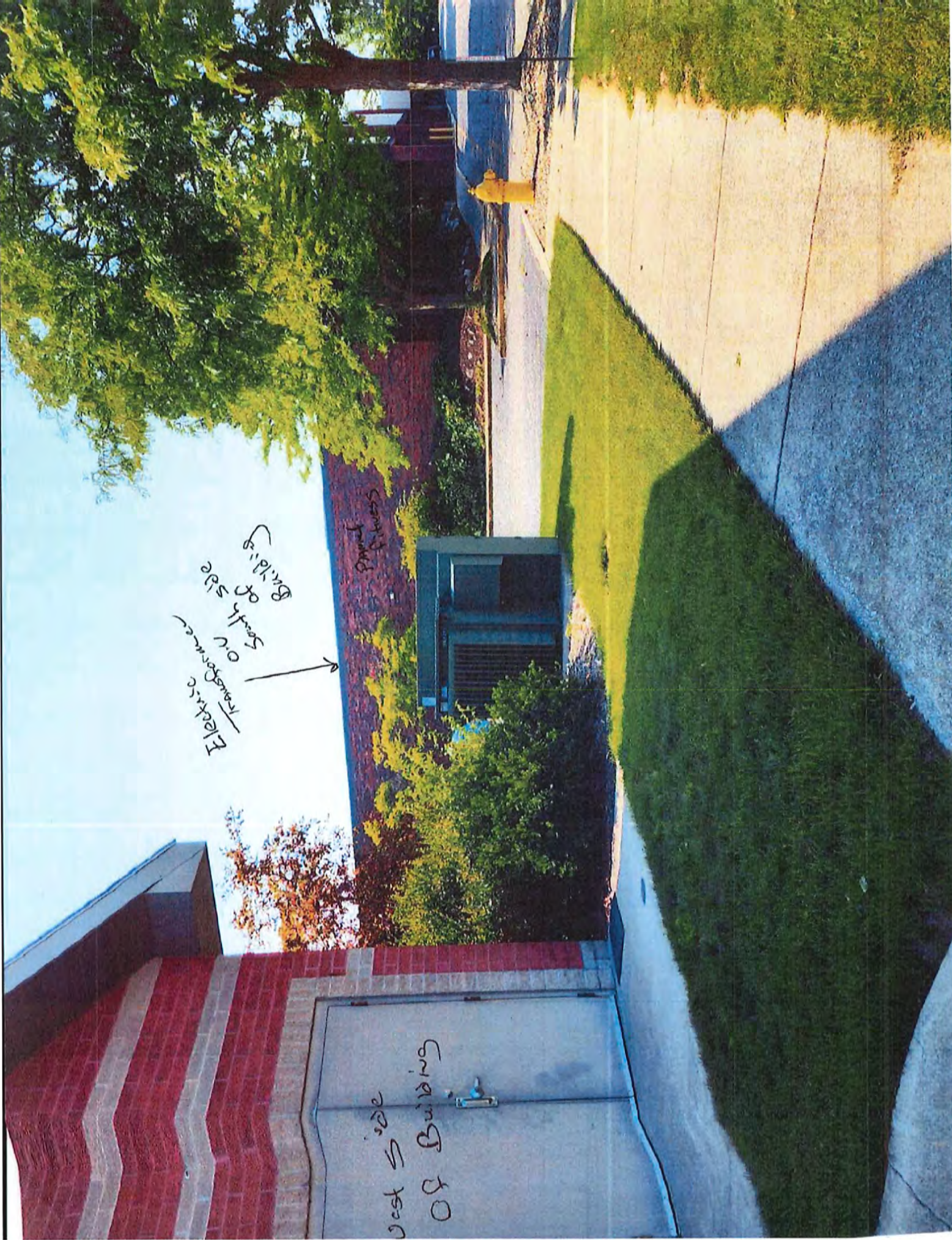
30
MAIL
LANG

South wall
Electric.



South wall
plumbing coming in!





West side
of Building

Electric
Transformer
→
South side
of Building

Painted fence



South side Looking West

280X5

200X

200X





Looking South
from car wash
Exit.

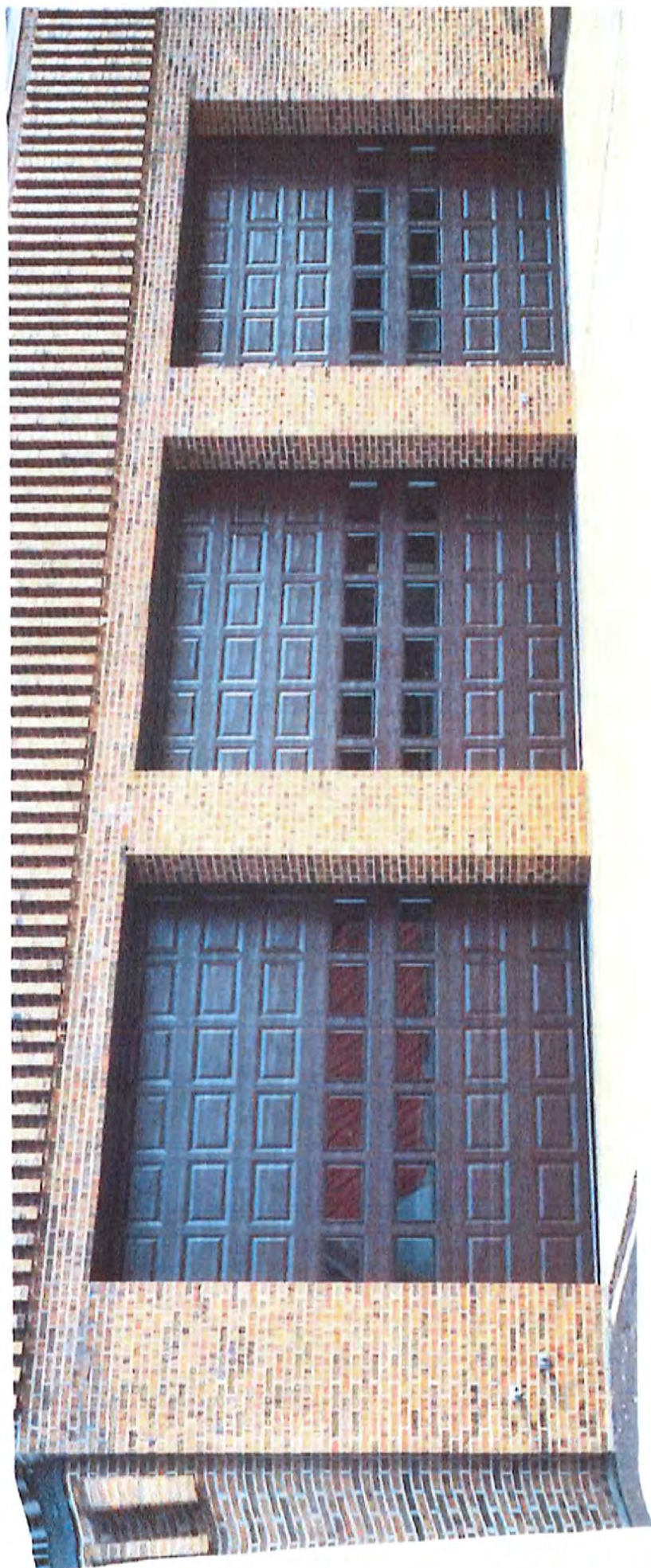
Looking west from car wash

Strip Mall

Kum n go
gors

Huey's
Howies
PIZZA
↓







1. Option for nice Doors.

Translucent not see through.

*****Notice*****

Any vehicle left
two (2) days after being
inspected/repaired

WILL BE CHARGED

\$ 20.00 PER DAY FOR

STORAGE

Thank You

ALL UNAUTHORIZED

VEHICLES WILL

BE TOWED AT

OWNER'S EXPENSE

BY HD RECOVERY

616-432-7447

PROPOSED MINUTES OF THE REGULAR MEETING
OF THE KENTWOOD PLANNING COMMISSION
AUGUST 22, 2023, 7:00 P.M.
COMMISSION CHAMBERS

- A. Chair Jones called the meeting to order at 7:00 p.m.
- B. The Pledge of Allegiance was led by Commissioner VanderMeer.
- C. Roll Call:
Members Present: Bill Benoit, Dan Holtrop, Sandra Jones, Ed Kape, Alex Porter, Ray Poyner, Darius Quinn, Doug VanderMeer, Sarah Weir
Members Absent: None
Others Present: Community Development Director Terry Schweitzer, Economic Development Planner Lisa Golder, Senior Planner Joe Pung, Planning Assistant Monique Collier, the applicants and about 30 citizens.
- D. Declaration of Conflict of Interest

There was no conflict of interest statement expressed.
- E. Approval of the Minutes and Findings of Fact

Motion by Commissioner Holtrop, supported by Commissioner Kape, to approve the minutes of August 9, 2023, and the Findings of Fact for: Case#18-23 - EquipmentShare – Special Land Use and Site Plan Review for an Open Air Construction and Industrial Equipment Sales and Rental located at 4250 – 52nd Street SE; Case#19-23 – EquipmentShare – Final Site Plan Review of a PUD located at 4250 -52nd Street SE

- Motion Carried (9-0) –
- F. Approval of the Agenda

Schweitzer stated under New Business to add setting a public hearing date of September 26, 2023, for Case#23-23 -Body Shop Boss – Special Land Use and Site Plan Review for a Major Vehicle Repair located at 3851 Model Ct. SE

Motion by Commissioner Kape, supported by Commissioner Quinn, to approve the agenda for the August 22, 2023, meeting with change noted.

- Motion Carried (9-0) –
- G. Acknowledge visitors wishing to speak to non-agenda items.

There was no public comment.
- H. Old Business

Case#16-23 – Kum & Go – Special Land Use and Site Plan Review for a Vehicle Fuel Station located at 2975 and 2995 28th Street SE (**Tabled from the June 25, 2023 meeting and the August 9, 2023 meeting**)

Golder stated there was a request from the developer to table the request again to the September 12, 2023, meeting because they hadn't had a chance to meet with Dollar General. But, since that time Dollar General has submitted a letter stating they did not support the right in, right out that MDOT was requesting. Golder stated with that information and feedback from the City's traffic consultant we are going to go forward and have a decision on September 12. She stated at that time we can take additional public comment.

Motion by Benoit, supported by Holtrop, to table the public hearing to September 12, 2023.

- Motion Carried (9-0) –

I. Public Hearing

Case#20-23 – Mi Prime Logistics – Special Land Use and Site Plan Review for a Major Vehicle Repair Located at 5120 East Paris SE (**Applicant has withdrawn their request**)

J. Work Session

Case#21-23 – Fox Ford Commercial Vehicle Service Facility – Special Land Use and Site Plan Review for Vehicle Repair Located at 3560 – 28th Street SE

Pung stated that request is for special land use and site plan review for a vehicle repair facility intended for commercial vehicles only. He stated they are looking at constructing a 50,000 square foot freestanding building with 27 service bays. He stated it would be a freestanding building adjacent to the existing Fox Ford dealership. He stated the applicant also owns the property at 2930 Broadmoor Avenue the former Manpower building. He stated that building would be demolished and then converted into a paved parking area.

Pung stated this site has multiple points of access. There are two on 29th Street. Three access drives off 28th Street and then there would also be an access point off of Broadmoor.

Pung stated there were no real issues with the use itself. There is auto repair currently being done within the existing dealership building. He stated their intent for this would be specifically to service commercial vehicles.

Pung stated the discussion that was taken at the staff/applicant review and some of the issues that would need to be addressed are:

- *Looking for a modified and updated operations statement specifically providing some additional information such as the number of employees that would be expected to be on site at any one time.
- *Verifying that all repairs would be indoors.
- *Clarify the type of services provided.
- * Indication of how long they expect vehicles to be on site.
- *Clarify that it is only going to be for commercial vehicles. He stated this is to ensure that in the future if they want to convert it into something other than commercial vehicles, they would have to come back to the Planning Commission as a major change.
- *Currently where the building is located there is vehicle storage. Staff wants to have them address how that would impact losing all the storage. Pung stated we want to make sure that the loss of existing vehicle storage isn't going to clog the site.
- *They need a 35-foot landscape setback along Broadmoor Avenue
- *Pung stated the ordinance prohibits overhead doors facing roadways, however, there are exceptions such as if it is a through lot, the Planning Commission can approve overhead doors facing the street. He stated as proposed, they are going to have overhead doors on all sides of the building. On the north and south side there is only going to be one door, most of the doors are on the east and west sides. He stated an overhead door faces Broadmoor Avenue but, it is a long distance from Broadmoor Avenue. He stated as it is a through lot the Planning Commission can approve overhead doors facing a roadway. Therefore, the applicant would not have to go to the Zoning Board of Appeals if it is approved by the Planning Commission.
- *Pung noted the multiple access drives into the overall site. He stated for vehicle repair operations zoning ordinance states that you only get one driveway per street frontage. The vehicle repair operation would be limited to a total of 3 driveways. They would need a variance.
- *MDOT wanted some traffic generation information regarding Broadmoor Avenue. The applicant would have to get that information and provide it to MDOT. MDOT has concerns with how close it is to the intersection and left turns in and out of the site.
- *Pung stated it was indicated that they currently aren't proposing any outdoor storage. Staff wants to verify that vehicles would not be on site or outdoors for more than 72 hours if the intent is that they would be placed indoors. He stated if vehicles are going to be placed outdoors for more than 72 hours, they would have to create a screened storage area meeting the zoning ordinance requirements. The applicant is going to get some more information on the operations and what the intent would be for vehicles being parked outside that are associated with the vehicle repair operation. Pung stated currently there are a lot of commercial vehicles on the site that is part of their commercial vehicle sales operation that is run out of there.

Benoit stated it will be interesting to see what MDOT comes up with especially coming out onto Broadmoor.

Porter questioned what will happen to the vehicles that are parked on this part of the overall site now. He stated he is curious about the storage situation which is one of the issues raised.

Colin Schfler, Director of Real Estate with DP Fox Ventures 200 Ottawa Ave NW Suite 800 Grand Rapids, MI 49503 was present. He stated essentially this facility sits on a current parking lot filled with a lot of inventory vehicles. They are going through a flux right now but essentially; they don't envision they are ever going to have the inventory like they used to have pre-pandemic.

Schfler stated as far as the number of new vehicles that are out there that is both the commercial vehicles that are for sale that are half finished or have the exposed chassis and the general passenger vehicles that just sit out front.

Schfler stated they own the real estate to the south. They own Fox Mazda and the adjacent parking lot between that and Fox Honda. He stated they are looking at potentially repositioning some of those vehicles that are for sale. The commercial vehicle display is currently centered along the 29th Street frontage. The existing commercial service department has 3 hoists. It is in a much smaller space; therefore, they can only fit 2 vehicles in there with the way that it is positioned. With the former Manpower building on 29th Street coming down it gives them the opportunity to have more storage space available there. He stated a lot of the other concerns they will have answers for those and be prepared for the public hearing.

Holtrop questioned if they can get rid of the Broadmoor Drive. Schfler stated it would be hard with the position of the building with all the overhead doors and access into that parking lot. Schfler stated he thinks it is important to note that all of these drives are existing, none are newly proposed drives. He stated they have the existing access through the Quick Lane building that they own too, but it gets really tight trying to get some of the larger vehicles through. It would be nice to have the straight shot into the service bays.

Holtrop questioned if storage can only be in lined or striped designated areas. Pung stated for parking they have the lined spaces. Vehicles that are going to be onsite for more than 72 hours are considered storage and all storage must be within an enclosed screened area. If they are going to have any vehicles under repair associated with this specific use more than 2 hours, they are going to have to be placed within an enclosed screen enclosure. Less than 72 hours, then they can be in parking space.

Holtrop questioned if there is any adverse reaction to screened storage. Schfler stated they haven't put energy into that. They will probably lose some spaces and lose some access to get in. He stated they can provide more detail for the next meeting that is relatively screened. He said currently they have tires and some of the plows they can easily relocate that and create some more spaces there. He stated as far as getting another fenced in area, he struggles with it. On the proposed site plan, the fence would be 6 feet and the vehicles are going to be taller than that. Schfler stated there is a little bit to be said about the nature of the business and what they are trying to hide when you are just going to be able to see it from the other side.

Poyner requested when they come back for the public hearing they have more information on the screening. He stated his questions are what are the expectations for the number of vehicles. Poyner stated some of the vehicles will fall into that 72 hour category. How many vehicles will they be anticipating, what size of screening will they need, where does it fit in the overall plan. Poyner stated he thinks this will be good to see at that next meeting .

Poyner questioned if they are going to have any landscaping in the buffer zones along 28th Street or on Broadmoor in front of the overhead doors so they won't be visible to those in the street. Schfler stated he would be happy to show the elevations, they don't have the landscape plan finalized yet. Schfler stated the front facing 28th Street is the store front and the office component up front. In the back, there is some curb there and some opportunity to do some landscaping but there is the transformer and a lot of other equipment that is going to be there.

VanderMeer questioned if there is a current service drive between their dealership and the vacant building. Schfler stated the current dealership has the express lanes on the far west end and a carwash bay and then the vacant lot and then the manpower building. He stated it would be a through parking lot behind the Quick Lane on the corner.

K. New Business

Motion by Holtrop, supported by Benoit, to set public hearing date of September 26, 2023, for: Case#22-23 – Storage Five Kentwood LLC – Rezoning of 8.2 acres of land from C2 Commercial to Conditional I-1 located at 1800-1900 44th Street SE; Case#23-23 -Body Shop Boss – Special Land Use and Site Plan Review for a Major Vehicle Repair located at 3851 Model Ct. SE

- Motion Carried (9-0) –

L. Other Business

1. Commissioners' Comments

Quinn mentioned that his cousin Dwight Quinn Jr. was hired as the new principal at Challenger Elementary. Quinn posed questions regarding the road construction on 52nd Street. Schweitzer stated from his understanding there was a recent progress meeting with the schools to give them an update as far as progression of the street reconstruction process. As he understands the contract with the contractor is through October 4, however, if the weather continues to go well it could be completed sooner.

Porter stated In the Image just finished their shoe drive 3,000 pair of shoes were given away to students in Kent County. It will also be going through until tomorrow they are shooting for 4,100 pair of shoes

2. Staff's Comments

No Comments offered.

M. Adjournment

Motion by Commissioner Benoit, supported by Commissioner Holtrop, to adjourn the meeting.

- Motion Carried (9-0) –

Meeting adjourned at 7:40pm

Respectfully submitted,

Ed Kape, Secretary

Golder, Lisa

To: Collier, Monique
Subject: FW: 28th & Ridgemoor - KG Store 2627

From: Michael J. McPherson <mmcperson@atwell-group.com>
Sent: Tuesday, September 5, 2023 4:05 PM
To: Golder, Lisa <GolderL@kentwood.us>
Cc: Ryan Halder (Ryan.Halder@kumandgo.com) <Ryan.Halder@kumandgo.com>; Jasinski, Nicholas (MDOT) <JasinskiN@michigan.gov>; keenk2 <keenk2@michigan.gov>; Jamie Antoniewicz <jantoniewicz@atwell-group.com>; Cole, Jason (MDOT) <ColeJ@michigan.gov>; jkroll@fveng.com
Subject: RE: 28th & Ridgemoor - KG Store 2627

Hi Lisa –

Please accept this email as a formal request to withdraw the KG site plan application for this site. KG has decided to terminate this site.

Jason/Kerwin – We will also be withdrawing the MDOT application.

Feel free to contact me with any questions.

Thanks,

Michael McPherson, PE, CPESC

Director

ATWELL, LLC

586.786.9800 Office

586.943.2071 Mobile

PLANNING STAFF RECOMMENDATION

Pung 09/06/23

PROJECT: Fox Ford Commercial Vehicle Services Facility

APPLICATION: 21-23

LOCATION: 3560 – 28th Street & 2930 Broadmoor Avenue

HEARING DATE: September 12, 2023

REVIEW TYPE: Special Land Use for vehicle repair operation

RECOMMENDATION: Conditional approval of the vehicle repair operation as described in Case 21-23. The approval is conditioned on the following:

CONDITION:

1. Planning Commission approval of the site plan dated September 5, 2023.
2. Use to be operated consistent with the project narrative dated September 5, 2023.
3. All repair work shall be done within the building.
4. No outdoor storage of vehicles, material, merchandise, equipment, or other materials associated with the vehicle repair operation shall occur until such time as an outdoor storage area meeting the requirements of the Zoning Ordinance is constructed.
5. Planning Commission approval of overhead doors facing 28th Street, 29th Street, and Broadmoor Avenue as permitted under Section 15.04.E.6 of the Kentwood Zoning Ordinance.
6. A variance will need to be received from the Kentwood Zoning Board of Appeals to permit more than one (1) driveway for each street frontage.
7. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
8. Compliance with all applicable standards and requirements of the Kentwood Fire Department.

BASIS:

1. The use is a special land use within the C2 Community Commercial district and as such is compatible with the current zoning of the property and the Master Plan recommendation for commercial development of the site.
2. The use is not anticipated to have a substantial and adverse impact on neighboring property nor create any type of blight within the area.
3. Section 15.04.E.6 states that overhead doors shall not face any roadway, except as approved by the Planning Commission for through garages, corner lots, through lots, or where a rear garage door would have a negative impact on an abutting residential district.

The proposed garage is a through garage with doors on all elevations and the lot is a through lot.

4. Section 15.04.E.5 states that the site shall be limited to no more than one (1) driveway for each street on which it has frontage. The site currently has six (6) driveways (one onto Broadmoor Avenue, two on 29th Street and three onto 28th Street). The site is allowed only three (3) driveways.
5. Representations by the applicant at the work session and public hearing.
6. Discussion at the work session and public hearing



Revised September 5, 2023

Fox Ford Pro Elite Commercial Service Center Description

The Fox Ford Pro- Elite Commercial Service Center will be a 50,150 Sq. stand alone service facility to be located adjacent to the existing Fox Ford Dealership at 3560 28th St SE Grand Rapids, MI 49512. The function of this new facility will be to help commercial customers work better, with productive, durable, smart, and connected services.

The new Fox Ford Pro Elite Commercial Service Center will have 27 service bays for Class 1-7 commercial vehicles, will service Ford and non-Ford makes and models, and will be equipped to meet electric vehicle (EV) standards and requirements to satisfy the needs of the entire lineup of Ford Commercial vehicles now and into the future. The Pro Ford Elite Commercial Service Center will facilitate routine commercial vehicle maintenance service and repair work, all maintenance work will be performed within the building enclosure. Collision body work and passenger vehicle service will not be performed in the new facility.

The new facility will employ 15 to 18 mechanics and service writers that will service up to 20 vehicles at any given time of a typical business day. Currently all commercial vehicle service maintenance and repair is being performed in 3 service bays at the existing adjacent Ford Dealership. Eighty to eighty five percent of current service appointments are scheduled, we anticipate this to be the case with the new service center. The 11x increase in service bay capacity will allow Fox Ford to more efficiently schedule service appointments, manage both sales and service traffic and allow service vehicles requiring longer than 72 hours of service to be housed within the confines of the new service center. The anticipated hours of operation of the Fox Pro Elite Commercial Service Center will be Monday through Friday from 7:30 am until 6:00 pm and Saturday from 8:00 am to 4:00 pm.

PLANNING STAFF RECOMMENDATION

Pung 09/06/23

PROJECT: Fox Ford Commercial Vehicle Services Facility

APPLICATION: 21-23

LOCATION: 3560 – 28th Street & 2930 Broadmoor Avenue

HEARING DATE: September 12, 2023

REVIEW TYPE: Site plan review for vehicle repair operation

RECOMMENDATION: Recommend conditional approval of the site plan September 5, 2023, as described in Case 21-23. Approval is conditioned on the following:

CONDITION: 1. Planning Commission approval of the special land use vehicle repair.

2. All repair work shall be done within the building.

3. No outdoor storage of vehicles, material, merchandise, equipment, or other materials associated with the vehicle repair operation shall occur until such time as an outdoor storage area meeting the requirements of the Zoning Ordinance is constructed.

4. Planning Commission approval of a dumpster enclosure in the front yard.

5. Planning Commission approval of overhead doors facing 28th Street, 29th Street, and Broadmoor Avenue as permitted under Section 15.04.E.6 of the Kentwood Zoning Ordinance.

6. The two properties (3560 – 28th Street and 2930 Broadmoor Avenue) shall be combined.

7. A variance will need to be received from the Kentwood Zoning Board of Appeals to permit more than one (1) driveway for each street frontage.

8. Staff review and approval of a landscape plan consistent with current Zoning Ordinance requirements.
9. Staff review and approval of an exterior photometric plan consistent with current Zoning Ordinance requirements.
10. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
11. Compliance with all applicable standards and requirements of the Kentwood Fire Department.

BASIS:

1. The use is a special land use within the C2 Community Commercial district and as such is compatible with the current zoning of the property and the Master Plan recommendation for commercial development of the site.
2. Section 19.03.F.3 states that dumpsters shall be located in the rear yard or non-required side yard, unless otherwise approved by the Planning Commission. The proposed dumpster location is in the front yard but is setback over six hundred (600) feet from 28th Street and will not be visible from 28th Street.
3. Section 15.04.E.6 states that overhead doors shall not face any roadway, except as approved by the Planning Commission for through garages, corner lots, through lots, or where a rear garage door would have a negative impact on an abutting residential district.

The proposed garage is a through garage with doors on all elevations and the lot is a through lot.

4. Section 15.04.E.5 states that the site shall be limited to no more than one (1) driveway for each street on which it has frontage. The site currently has six (6) driveways (one onto Broadmoor Avenue, two on 29th Street and three onto 28th Street). The site is allowed only three (3) driveways.
5. The site plan otherwise meets the requirements of the Kentwood Zoning Ordinance.
6. Representations by the applicant at the work session and public hearing.
7. Discussion at the work session and public hearing.

FOX FORD COMMERCIAL VEHICLE SERVICE CENTER

NEW CONSTRUCTION



3560 28TH ST SE GRAND RAPIDS, MI 49512

PROJECT DIRECTORY

PROJECT ADDRESS

3560 28TH ST SE
GRAND RAPIDS, MI 49512

ARCHITECT

PARADIGM DESIGN
415 LEONARD STREET NW, SUITE 200
GRAND RAPIDS, MI 49504

PHONE: 616-785-5656
CONTACT: GORDON JENDRITZ
EMAIL: GJENDRITZ@PARADIGMAE.COM

LANDSCAPE ARCHITECT

DESIGNSCAPES
7357 40TH AVE
HUDSONVILLE, MI 49426

PHONE: 616-669-8004
CONTACT: JOYCE WEISE
EMAIL: J.WEISE@COMCAST.NET

CLIENT

GREEN CASTLE PROPERTIES (DP FOX)
200 OTTAWA AVE NW
GRAND RAPIDS, MI 49503

CONTACT: COLIN SCHIEFLER
EMAIL: CSCHIEFLER@DPFOX.COM

CIVIL ENGINEER

PARADIGM DESIGN
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GRAND RAPIDS, MI 49504

PHONE: 616-785-5660
CONTACT: MARK ROCHELEAU, P.E.
EMAIL: MROCHELEAU@PARADIGMAE.COM

STRUCTURAL ENGINEER

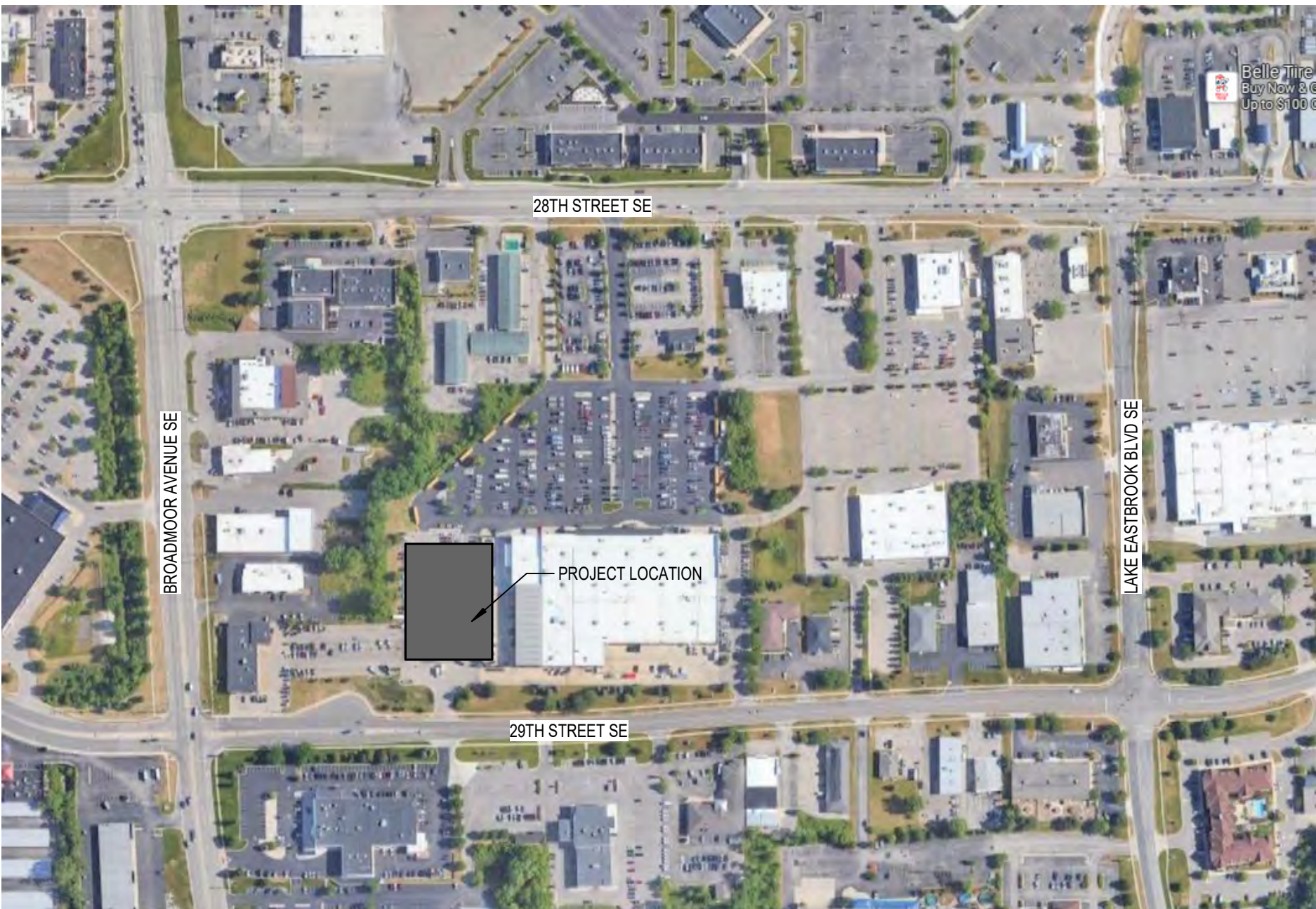
SOILS AND STRUCTURES
6480 GRAND HAVEN RD.
MUSKEGON, MI 49441

PHONE: 231-760-6829
CONTACT: CHRIS GATES, PE
EMAIL: CGATES@SOILSANDSTRUCTURES.COM

MECH/ELEC/PLUMB ENG.

RHOADES ENGINEERING
1751 BARLOW ST
TRAVERSE CITY, MI 49686

PHONE: 231-947-1707
CONTACT: PHILIP JAQUISH, P.E.
EMAIL: PJAQUISH@RHOADESENGINEERING.COM



LOCATION MAP
NOT TO SCALE

SHEET INDEX

#	X-X-XX	
		MOST RECENT ISSUE DATE
		MOST RECENT REVISION NUMBER
		FILLED IN SQUARE INDICATES DRAWING INCLUDED WITH THIS SET

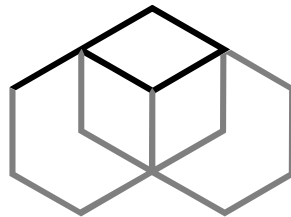
GENERAL			
	09-05-23	G-001	COVER SHEET

CIVIL			
	08-23-23	C-001	COVER SHEET
	08-23-23	C-003	EXISTING CONDITIONS & DEMOLITION PLAN
	09-05-23	C-100	SITE LAYOUT PLAN
	09-05-23	C-102	SITE LAYOUT PLAN
	09-05-23	C-103	GRADING AND DRAINAGE PLAN
	09-05-23	C-104	UTILITY PLAN
	08-23-23	C-200	OVERALL GRADING & DRAINAGE PLAN
	08-23-23	C-201	GRADING & DRAINAGE PLAN (NORTH)
	08-23-23	C-202	GRADING & DRAINAGE PLAN (SOUTH)
	08-23-23	C-203	GRADING & DRAINAGE PLAN (WEST)
	08-23-23	C-300	OVERALL UTILITY PLAN
	08-23-23	C-301	WATERMAIN PLAN & PROFILE
	08-23-23	C-400	CIVIL SWPP PLAN
	08-23-23	C-500	GRADING & DRAINAGE DETAILS
	08-23-23	C-501	UTILITY DETAILS
	08-23-23	C-502	SITE LAYOUT DETAILS
	08-23-23	C-503	EROSION CONTROL DETAILS

LANDSCAPE			
	09-05-23	L-101	LANDSCAPE PLAN

ARCHITECTURAL			
	09-05-23	A-101	ARCHITECTURAL FLOOR PLAN
	08-23-23	A-102	ARCHITECTURAL FLOOR PLAN - AREA A
	08-23-23	A-103	ARCHITECTURAL FLOOR PLAN - AREA B
	08-23-23	A-161	ARCHITECTURAL REFLECTED CEILING PLAN
	09-05-23	A-191	ARCHITECTURAL ROOF PLAN
	09-05-23	A-201	ARCHITECTURAL EXTERIOR ELEVATIONS
	09-05-23	A-301	ARCHITECTURAL BUILDING SECTIONS
	08-23-23	A-302	ARCHITECTURAL EXTERIOR WALL SECTIONS
	08-23-23	A-401	ARCHITECTURAL ENLARGED PLANS & ELEVATIONS
	08-23-23	A-402	ARCHITECTURAL ENLARGED PLANS & ELEVATIONS
	09-05-23	A-501	ARCHITECTURAL EXTERIOR DETAILS
		A-503	ARCHITECTURAL STAIR DETAILS
	08-23-23	A-601	ARCHITECTURAL DOOR SCHEDULE AND DOOR DETAILS
	08-23-23	A-701	ARCHITECTURAL FLOOR FINISH PLAN
	09-05-23	A-901	ARCHITECTURAL 3D PERSPECTIVES
	09-05-23	A-902	ARCHITECTURAL 3D RENDERINGS
	08-23-23	A-903	ARCHITECTURAL 3D PERSPECTIVES - INTERIOR

ELECTRICAL SITE			
	09-05-23	ES-101	PHOTOMETRIC PLAN

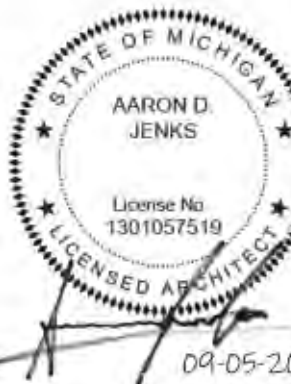


PARADIGM DESIGN

ARCHITECTS | ENGINEERS

415 Leonard Street NW, Suite 200
Grand Rapids, MI 49504
(616) 785-5656

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PROJECT

FOX FORD
COMMERCIAL
VEHICLE
SERVICE
CENTER
NEW
CONSTRUCTION

3560 28TH ST SE
GRAND RAPIDS, MI 49512

CLIENT

GREEN CASTLE
PROPERTIES
(DP FOX)

200 OTTAWA AVE NW
GRAND RAPIDS, MI 49503

RELEASE DATE

△	DATE	DESCRIPTION
	07-31-23	SITE PLAN APPROVAL
	08-23-23	50% OWNER REVIEW
	09-05-23	FINAL SITE PLAN APPROVAL

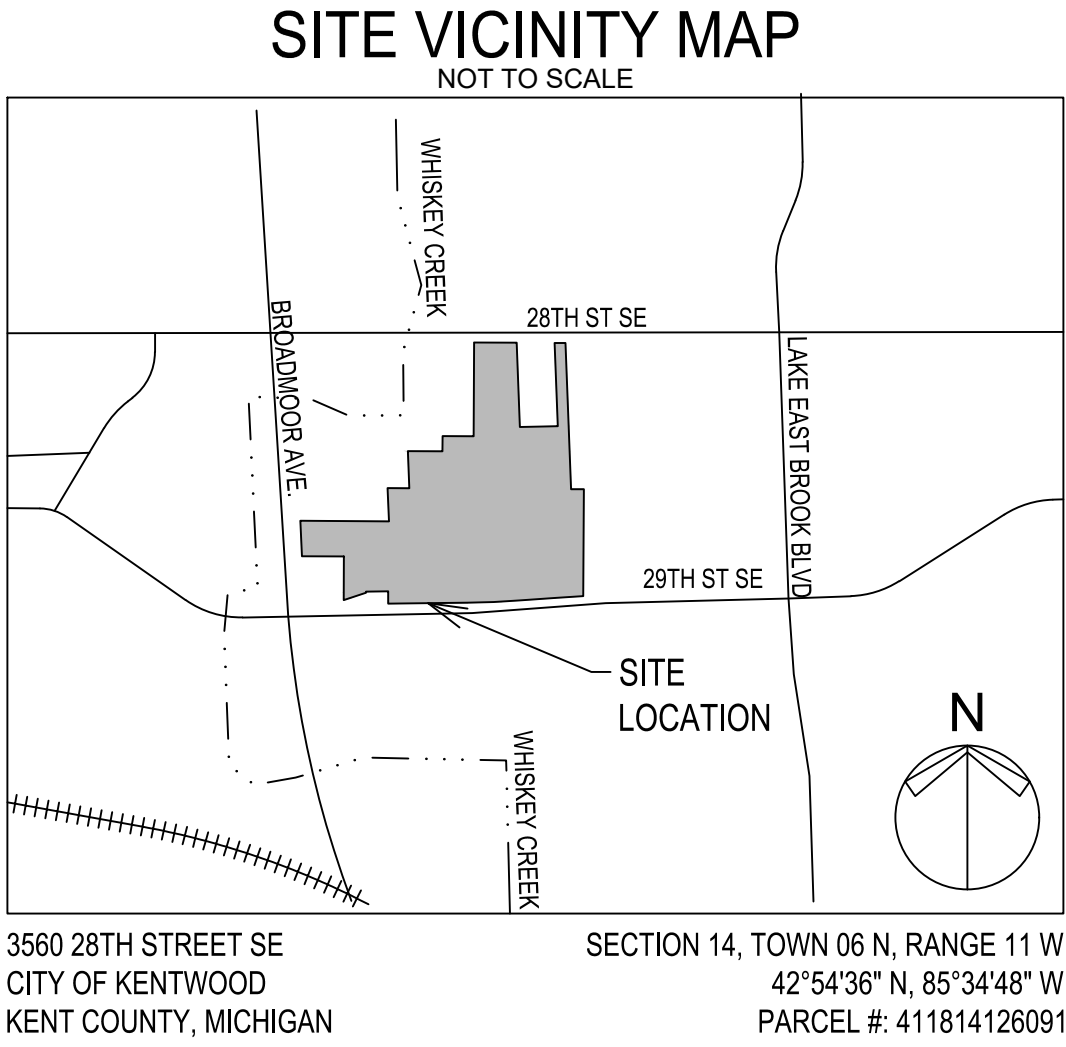
PROJECT

2306093GR

SHEET

COVER SHEET

G-001



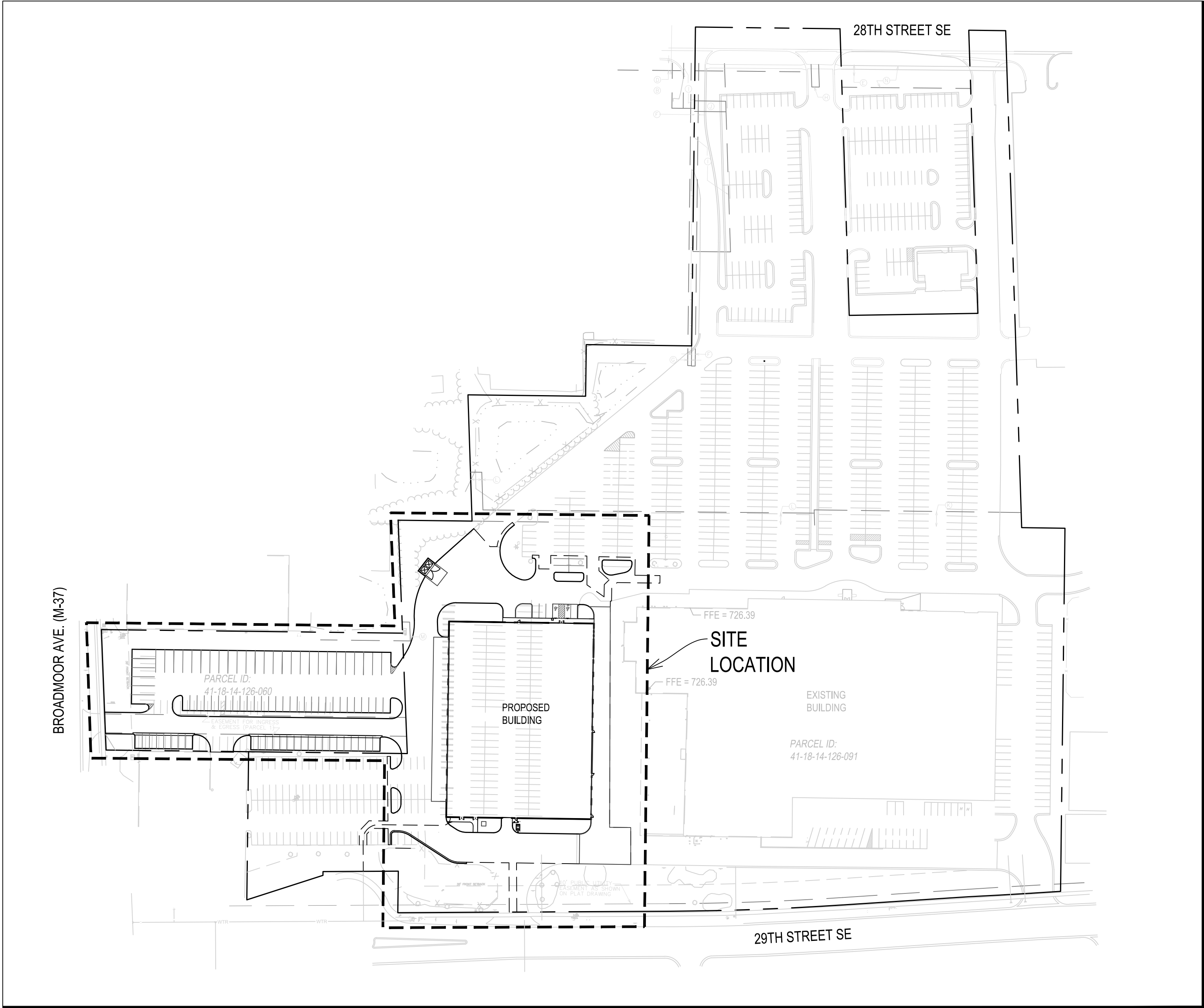
FOX FORD

COMMERCIAL VEHICLE SERVICE CENTER

COMMERCIAL SERVICE BUILDING

3560 28TH STREET SE. KENTWOOD, MI 49512

SITE LOCATION MAP
NOT TO SCALE



EASEMENTS:

TITLE COMMITMENT NO. KTC1641 - PARCEL 1
A - 8. DECLARATION OF EASEMENTS& RESTRICTIONS (LIBER 3981, PAGE 792 - FIRST AMENDMENT
LIBER 4114, PAGE 670)
B - 9. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 55, PAGE 281) AS SHOWN
C - 10. EASEMENT FOR HIGHWAY PURPOSES (LIBER 787, PAGE 399) AS SHOWN
D - 11. EASEMENT TO CITY OF KENTWOOD (LIBER 2059, PAGE 182) AS SHOWN
E - 12. EASEMENT FOR UNDERGROUND UTILITIES (LIBER 2068, PAGE 205)
F - 13. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 2122, PAGE 1063) AS SHOWN
G - 14. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 2122, PAGE 1065) AS SHOWN
H - 15. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 2125, PAGE 1116) AS SHOWN
I - 16. DECLARATION OF EASEMENT (LIBER 2142, PAGE 1042)
J - 17. EASEMENT FOR DRAINAGE (LIBER 2093, PAGE 679) IS A BLANKET EASEMENT
K - 18. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 2155, PAGE 1133) AS SHOWN
L - 19. EASEMENT TO KENT COUNTY DRAIN COMMISSIONER (LIBER 2248, PAGE 671)
M - 20. EASEMENT TO KENT COUNTY DRAIN COMMISSIONER (LIBER 2248, PAGE 672)
N - 21. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 2280, PAGE 902)

TITLE COMMITMENT NO. WMS6683 - PARCEL 1
E - 9. EASEMENT FOR UNDERGROUND UTILITIES (LIBER 2093, PAGE 205)
A - 10. DECLARATION OF EASEMENT & RESTRICTIONS (LIBER 3981, PAGE 792 - FIRST AMENDMENT
LIBER 4114, PAGE 675)
N - 11. UTILITY EASEMENT (LIBER 3981, PAGE 827)

TITLE COMMITMENT NO. 408691WMS - PARCEL 2
I - 7. DECLARATION OF EASEMENT (LIBER 2142, PAGE 1042) AS SHOWN
B - 8. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 55, PAGE 281) AS SHOWN
D - 9. EASEMENT TO CITY OF KENTWOOD (LIBER 2059, PAGE 182) AS SHOWN
J - 10. EASEMENT FOR DRAINAGE (LIBER 2093, PAGE 679) IS A BLANKET EASEMENT
F - 11. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 2122, PAGE 1063) AS SHOWN
J - 12. EASEMENT TO CONSUMERS ENERGY COMPANY (LIBER 2155, PAGE 1133) DOES NOT AFFECT PARCEL 2

LEGAL DESCRIPTION:
(ACCESSKENT.COM/PROPERTY/SEARCH/TAXSUMMARY.)

PARCEL ID: 41-18-14-126-091

PART OF NW 1/4 COM AT N 1/4 COR TH S 89D 47M 06S W ALONG N SEC LINE 49.0 FT TH S 2D 44M 31S E 376.0 FT TH S 88D 12M 08S W 170.86 FT TH N 2D 44M 31S W 380.72 FT TO N SEC LINE TH S 88D 47M 08S W ALONG N SEC LINE TO A PT 412.0 FT W FROM N 1/4 COR TH S PERP TO N SEC LINE 423.24 FT TH W PAR WITH N SEC LINE 140.0 FT TH S PERP TO N SEC LINE 88.58 FT TH W PAR WITH N SEC LINE 156.10 FT TO W LINE OF E 730 FT OF NW 1/4 TH S ALONG SD W LINE TO S LINE OF N 660 FT OF NW 1/4 TH W ALONG SD S LINE TO A PT WHICH IS 460 FT E FROM CL OF BROADMOOR AVE TH S PAR WITH SD CL TO NLY LINE OF 28TH ST COMMERCIAL PARK TH ELY NLY & ELY ALONG SD NLY LINE TO N&S 1/4 LINE TH N ALONG N&S 1/4 LINE TO BEG * SEC 14 T6N R11W 1/4 A ALSO LOT 2 EX COM AT SW COR THEREOF TH ALONG W LOT LINE 18.0 FT TH NELY TO A PT 50.0 FT N ALONG E LOT LINE FROM SE COR THEREOF TH S ALONG SD E LINE TO S LINE OF SD LOT TH W ALONG SD S LINE TO BEG ALSO LOT 3 EX S 55.0 FT ALSO LOTS 4 TO 12 INCL * 29TH ST COMMERCIAL PARK SPLIT ON 01/06/2010 FROM 41-18-14-126-090, 41-18-14-126-037

CONTAINS 17.03 ACRES.

PARCEL ID: 41-18-14-126-090

PART OF NW 1/4 COM ON CL OF BROADMOOR AVE AT A PT 810 FT S FROM N SEC LINE TH E 460 FT TH N 150 FT TH E 200 FT TH S 310 FT TH W 660 FT TO SD CL TH N 160 FT TO BEG EX W 60 FT & EX E 200 FT * SEC 14 T6N R11W

CONTAINS 1.47 ACRES.

SURVEYOR'S NOTES

BOUNDARY IS SHOWN APPROXIMATE AND BASED ON SURVEYS PROVIDED BY THE CLIENT. ALTA SURVEY FOR PARCEL 41-18-14-126-090 WAS PERFORMED BY MOORE & BRUGGINK, INC. AS PROJECT NO. 163024.1 DATED JULY 27, 2016. ALTA SURVEY FOR PARCEL 41-18-14-126-091 WAS PERFORMED BY PROGRESSIVE A&E AS FILE NO. 60790201 DATED NOVEMBER 11, 2006.

DEVELOPMENT REFERENCE:

OWNER/
DEVELOPER:
APPLICANT

GREEN CASTLE PROPERTIES
200 OTTAWA AVE. NW
GRAND RAPIDS, MI, 49503
COLIN SCHIEFLER
CSCHIEFLER@DPFOX.COM

CIVIL ENGINEER:

PARADIGM DESIGN
415 LEONARD STREET NW
GRAND RAPIDS, MI 49504
MARK G. ROCHELEAU P.E.
MROCHELEAU@PARADIGMAE.COM

ARCHITECT:

PARADIGM DESIGN
415 LEONARD STREET NW
GRAND RAPIDS, MI 49504
GORDON JENDRITZ
GJENDRITZ@PARADIGMAE.COM

COORDINATION INDEX:

WATER & SEWER:

GRAND RAPIDS WATER ADMINISTRATION
1900 OAK INDUSTRIAL DRIVE NE
GRAND RAPIDS, MI 49505
ARDEN POSTMA, P.E.
APOSTMA@GRAND-RAPIDS.MI.US

ELECTRIC:

CONSUMER'S ENERGY

GAS:

DTE ENERGY



Know what's below.
Call before you dig.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

NOT FOR
CONSTRUCTION



ARCHITECTS | ENGINEERS

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PROJECT

FOX FORD
COMMERCIAL
VEHICLE
SERVICE
CENTER

3560 28TH STREET SE
KENTWOOD, MI 49512

CLIENT

GREEN CASTLE
PROPERTIES
(DP FOX)

200 OTTAWA AVE. NW
GRAND RAPIDS, MI 49503

RELEASE DATE		
DATE	DESCRIPTION	
07-31-23	SITE PLAN APPROVAL	
09-05-23	FINAL SITE PLAN APPROVAL	

PROJECT

2306093GR

SHEET

CIVIL COVER
SHEET

C-100

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3560 28TH STREET SE
KENTWOOD, MI 49512

CLIENT

GREEN CASTLE
PROPERTIES
(DP FOX)

200 OTTAWA AVE. NW
GRAND RAPIDS, MI 49503

RELEASE DATE

	DATE	DESCRIPTION
	07-31-23	SITE PLAN APPROVAL
	09-05-23	FINAL SITE PLAN APPROVAL

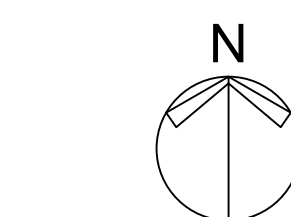
PROJECT

2306093GR

SHEET

SITE LAYOUT PLAN

C-102



**NOT FOR
CONSTRUCTION**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.



415 Leonard Street NW, Suite 200
Grand Rapids, MI 49504
(616) 785-5656

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FOX FORD
COMMERCIAL
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3560 28TH STREET SE
KENTWOOD, MI 49512

CLIENT

GREEN CASTLE
PROPERTIES
(DP FOX)

200 OTTAWA AVE. NW
GRAND RAPIDS, MI 49503

RELEASE DATE

	DATE	DESCRIPTION
	07-31-23	SITE PLAN APPROVAL
	09-05-23	FINAL SITE PLAN APPROVAL

PROJECT

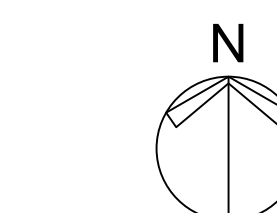
2306093GR



SHEET

GRADING & DRAINAGE PLAN

C-103



80'

**NOT FOR
CONSTRUCTION**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

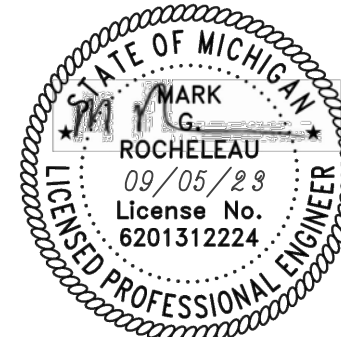


PARADIGM DESIGN

ARCHITECTS | ENGINEERS

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Grand Rapids, MI 49504
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PROJECT

FOX FORD
COMMERCIAL
VEHICLE
SERVICE
CENTER

3580 28TH STREET SE
KENTWOOD, MI 49512

CLIENT

GREEN CASTLE
PROPERTIES
(DP FOX)

200 OTTAWA AVE. NW
GRAND RAPIDS, MI 49503

RELEASE DATE

DATE	DESCRIPTION
07-31-23	SITE PLAN APPROVAL
09-05-23	FINAL SITE PLAN APPROVAL

PROJECT

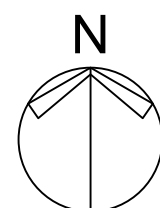
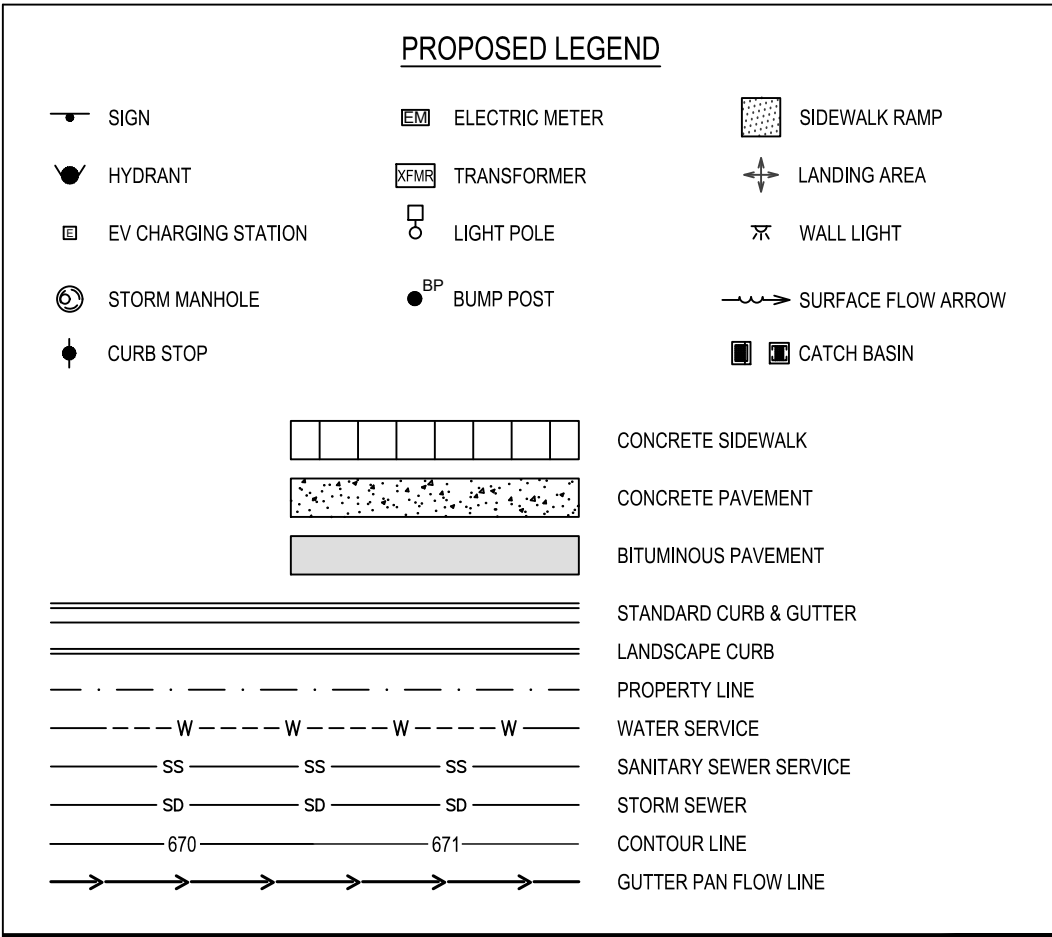
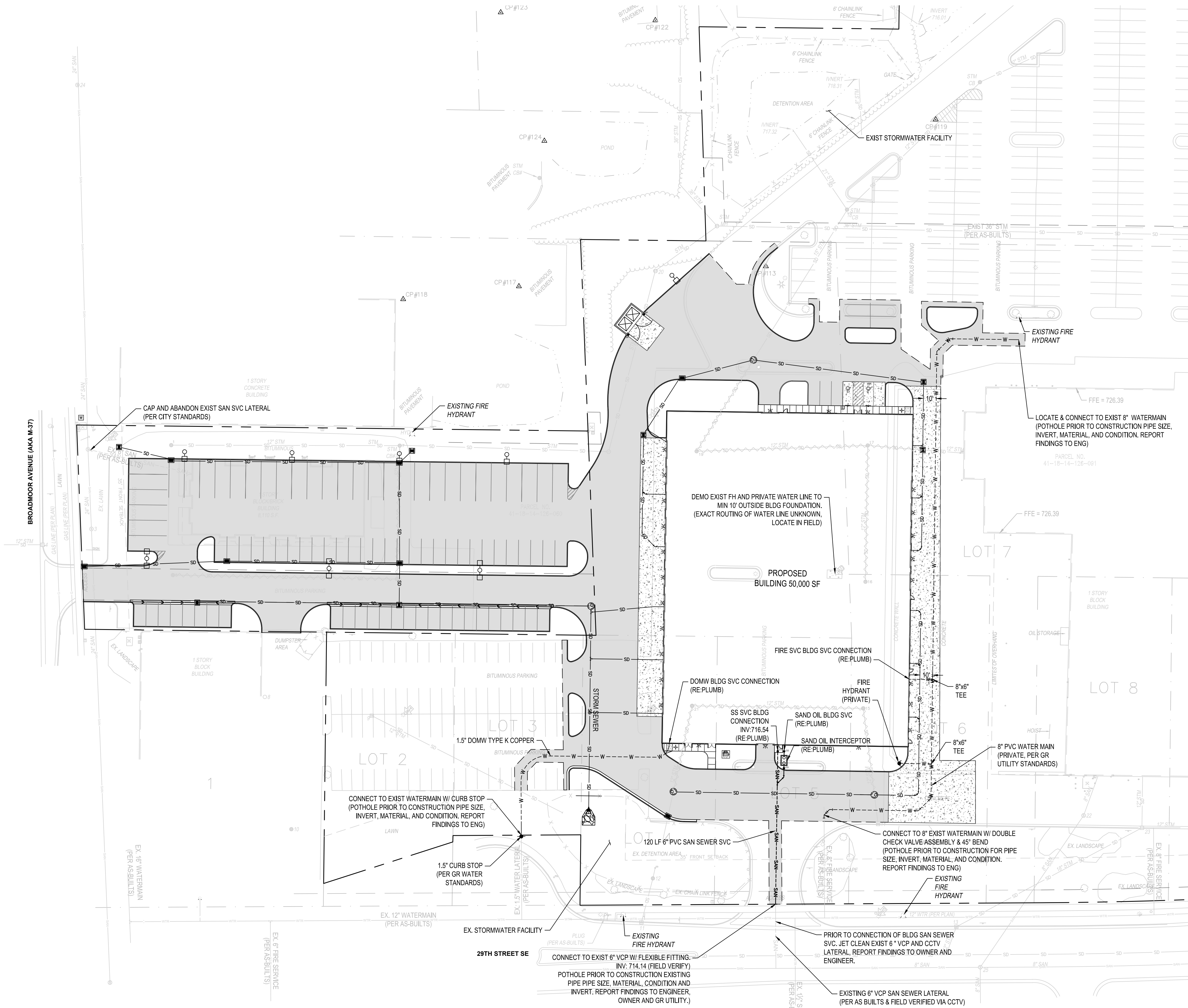
2306093GR

SHEET

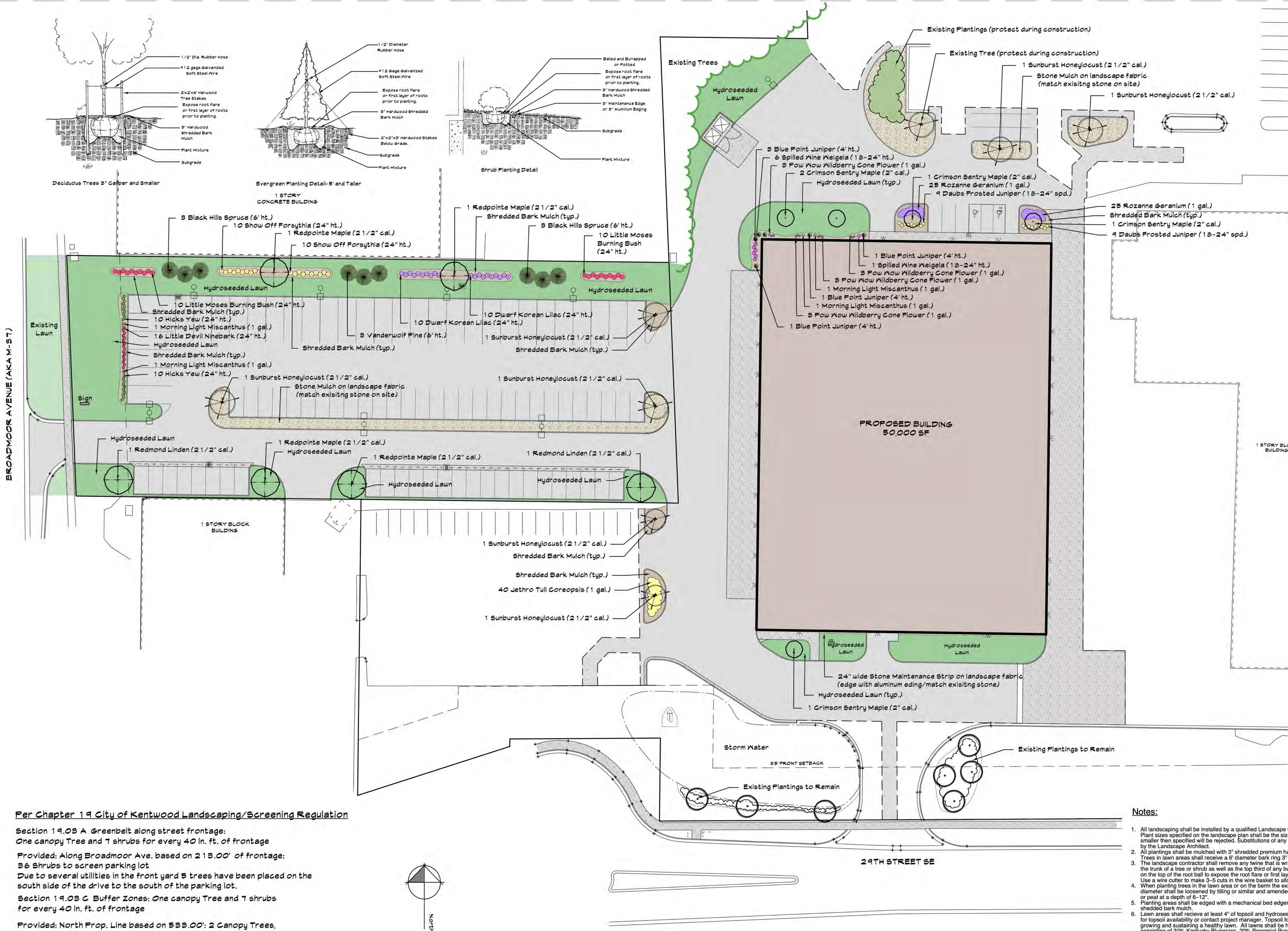
UTILITY LAYOUT
PLAN

C-104

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POT HOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.



NOT FOR
CONSTRUCTION



Per Chapter 19 City of Kentwood Landscaping/Screening Regulation

Section 19.03 A Greenbelt along street frontage:
One canopy Tree and 7 shrubs for every 40 ln. ft. of frontage

Provided: Along Broadmoor Ave. based on 213.00' of frontage:
36 Shrubs to screen parking lot
Due to several utilities in the front yard 5 trees have been placed on the south side of the drive to the south of the parking lot.

Section 19.03 C Buffer Zones: One canopy Tree and 7 shrubs for every 40 ln. ft. of frontage

Provided: North Prop. Line based on 533.00': 2 Canopy Trees, 9 Evergreen Trees and 60 Shrubs

Section 19.03 D. 1 Parking area landscaping: One canopy Tree and 100 sq. ft. landscaped area per 10 spaces

Provided: 9 Canopy Trees and 11250 sq. ft. landscape area based on 92 proposed spaces



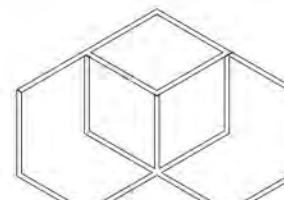
**Landscape Plan
(scale: 1"=30')**

Notes:

1. All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
2. All plantings shall be mulched with 3" shredded premium hardwood bark mulch. Trees in lawn areas shall receive a 6' diameter bark ring 3" deep.
3. The landscape contractor shall remove any twine that is wrapped around the trunk of a tree or shrub as well as the top third of any burlap. Remove excess soil on the top of the root ball to expose the root flare or first layer of roots prior to planting. Use a wire cutter to make 3-5 cuts in the wire basket to allow roots to grow through.
4. When planting trees in the lawn area or on the berm the existing soil within a 10 foot diameter shall be loosened by tilling or similar and amended with composted manure or peat at a depth of 6-12".
5. Planting areas shall be edged with a mechanical bed edger to define a border for the shedded bark mulch.
6. Lawn areas shall receive at least 4" of topsoil and hydroseeded. Check with specifications for topsoil availability or contact project manager. Topsoil for lawns shall be appropriate for growing and sustaining a healthy lawn. All lawns shall be hydroseeded with a seed blend consisting of 30% Kentucky Bluegrass, 20% Perennial Ryegrass, 10% Hard Fescue, 20% Creeping Red Fescue and 20% Chewings Fescue.
7. Maintenance of the landscape shall be provided for by the owner and include fertilizing of lawn and plant material, yearly pruning, top dressing of mulch areas every other year and provide 1" of water per week during the growing season.
8. Plant materials shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.



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Joyce E. Weise
Landscape Plan Drawn By:
Joyce E. Weise P.L.A. A.S.L.A.

PROJECT

**FOX FORD
COMMERCIAL
VEHICLE
SERVICE
CENTER**

3560 28TH STREET NE
KENTWOOD, MI 49512

OWNER

**GREEN CASTLE
PROPERTIES
(DP FOX)**

200 OTTAWA AVE. NW
GRAND RAPIDS, MI. 49503

RELEASE DATE

DATE	DESCRIPTION
07-31-23	SITE PLAN REVIEW
09-05-23	FINAL SITE PLAN APPROVAL

PROJECT

2306093GR

SHEET

LANDSCAPE PLAN

L-101

FLOOR PLAN KEYNOTES	
(+)	NOTE
NOTE: OMITTED NUMBERS ARE INTENTIONALLY SKIPPED TO REMOVE NOTES NOT APPLICABLE TO THIS PROJECT.	
REFER TO SHEETS G-002 AND A-002 FOR RESPONSIBILITY OF WHO IS FURNISHING AND INSTALLING EACH ITEM.	

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STATE OF MICHIGAN
AARON D. JENKS
License No. 1301057519
REGISTERED ARCHITECT
04-05-2023

PROJECT

FOX FORD
COMMERCIAL
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SERVICE
CENTER
NEW
CONSTRUCTION

3560 28TH ST SE
GRAND RAPIDS, MI 49512

CLIENT

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PROJECT

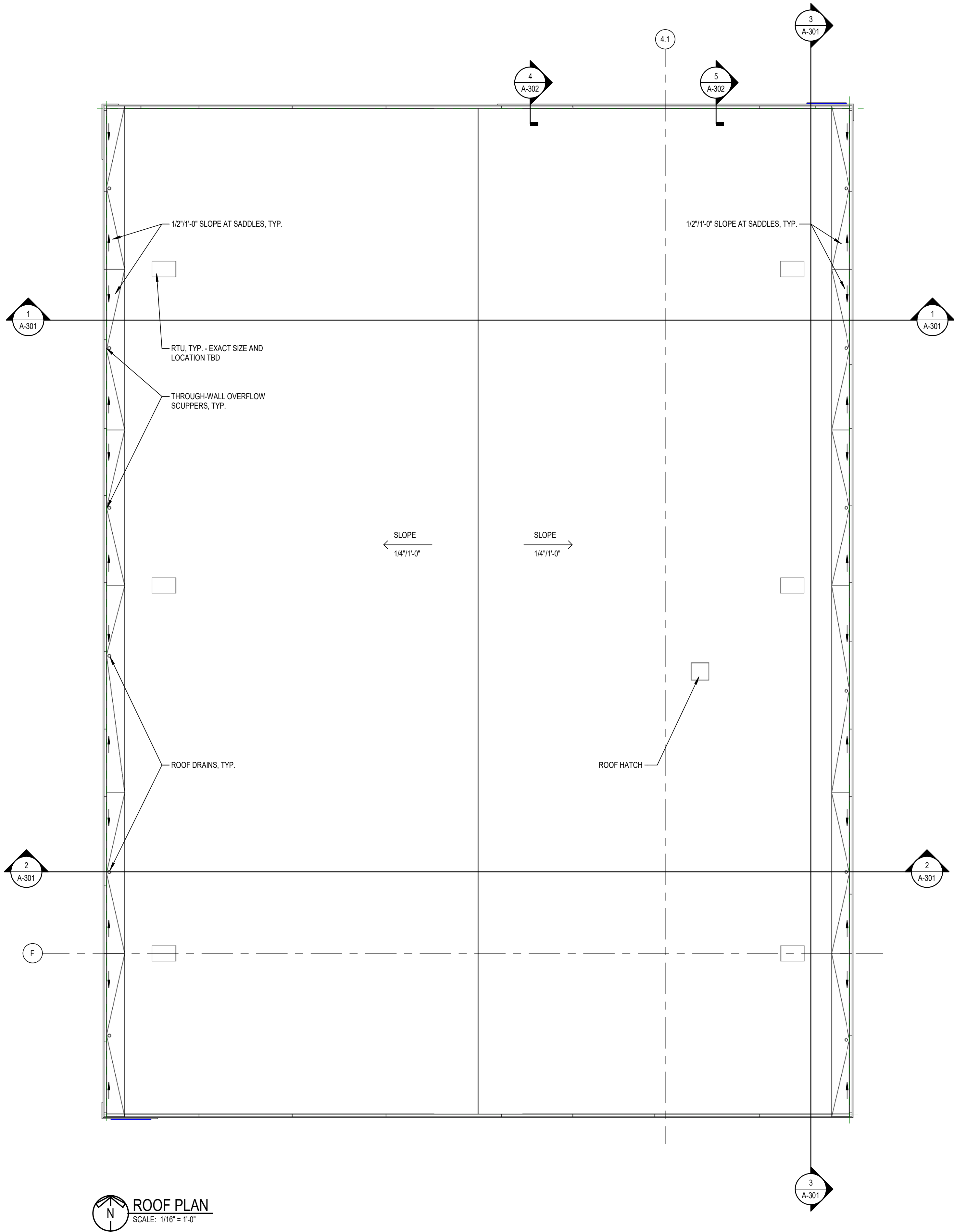
2306093GR

SHEET

ARCHITECTURAL FLOOR PLAN

A-101

9/5/2023 10:51:08 AM



ROOF PLAN LEGEND	
SYMBOL	DESCRIPTION
	AREA OF TAPERED ROOF INSULATION
	ROOF SLOPE DUE TO STRUCTURE
	ROOF SLOPE DUE TO TAPERED INSULATION
RD = ROOF DRAIN ORD = OVERFLOW ROOF DRAIN	

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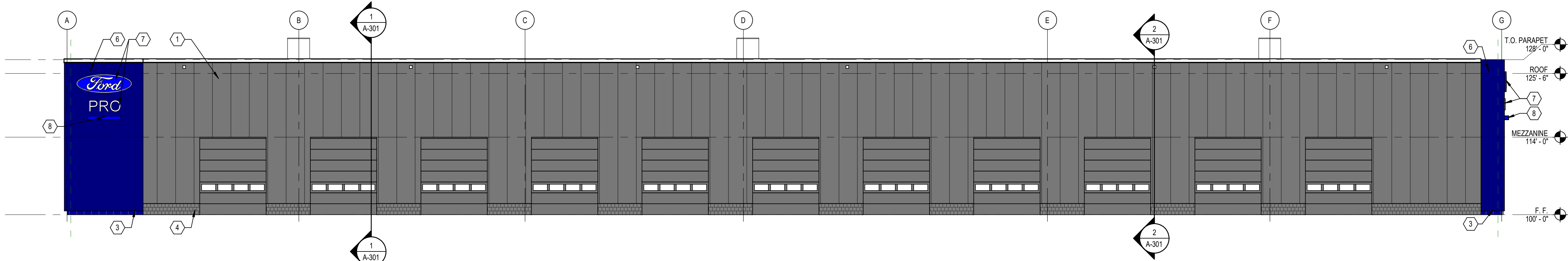
PROJECT

2306093GR

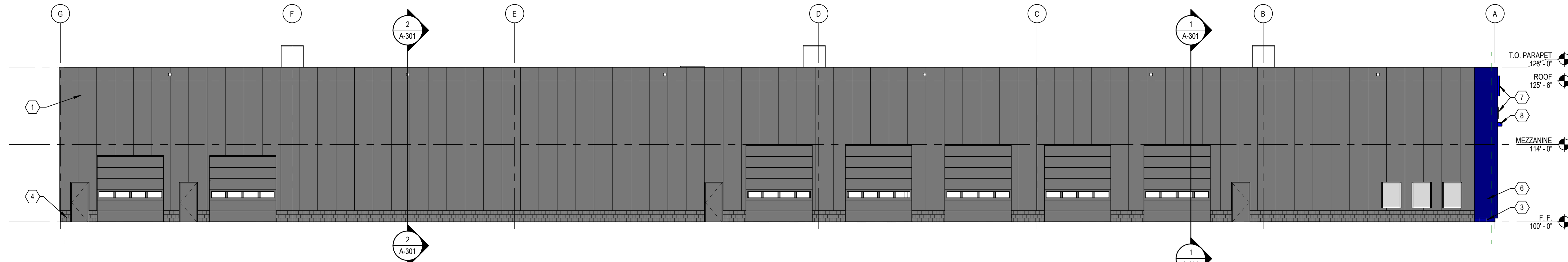
SHEET

ARCHITECTURAL ROOF PLAN

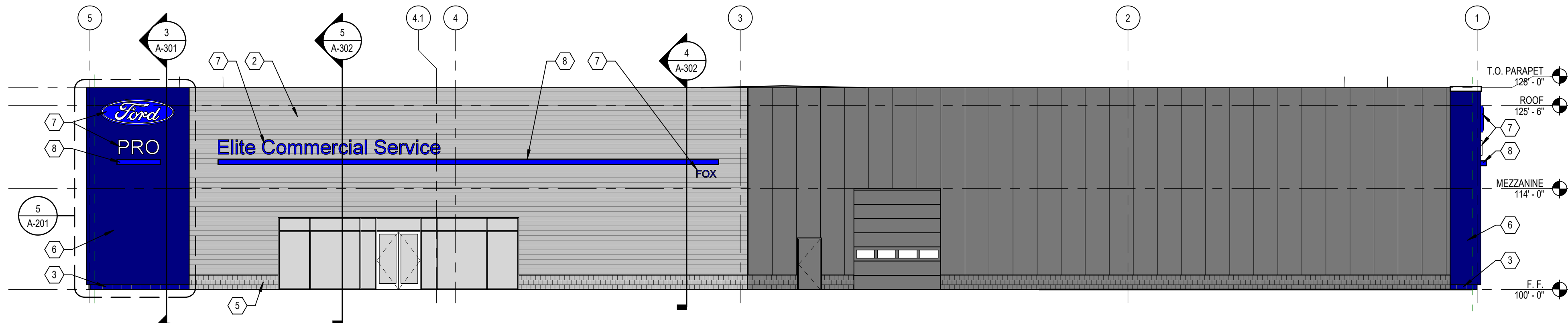
A-191



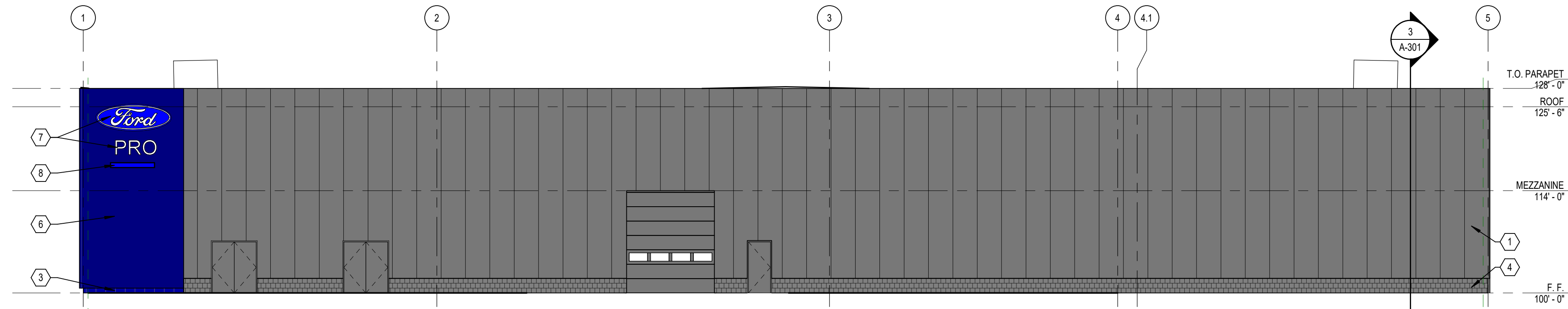
1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



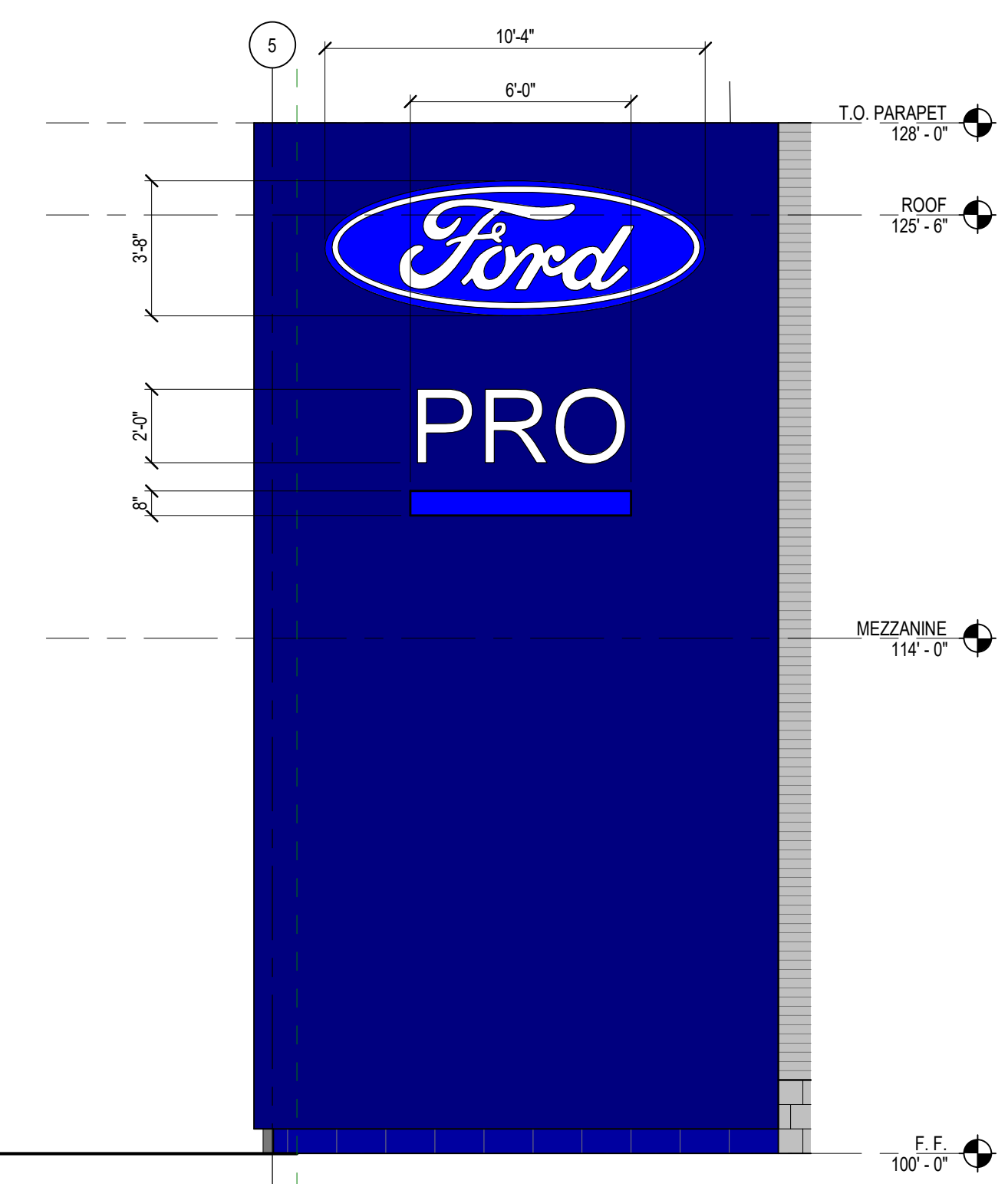
2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



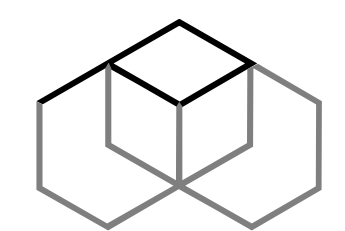
5 TYPICAL SIGNAGE WALL
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL KEYNOTES

#	MATERIAL
1	INSULATED METAL PANEL, COLOR: DARK GREY COLOR-MATCHED TO SHERWIN WILLIAMS GAUNTLET GREY SW7019
2	RIBBED METAL PANEL, COLOR: LIGHT GREY COLOR-MATCHED TO SHERWIN WILLIAMS MINDFUL GREY SW7016
3	BELDEN BRICK GLAZED BRICK, SIZE: TBD; COLOR-MATCHED TO CUSTOM SHERWIN WILLIAMS COLOR FMC001 FORD BLUE 202
4	BELDEN BRICK GLAZED BRICK, SIZE: TBD; COLOR-MATCHED TO SHERWIN WILLIAMS GAUNTLET GREY SW701
5	BELDEN BRICK GLAZED BRICK, SIZE: TBD; COLOR-MATCHED TO SHERWIN WILLIAMS MINDFUL GREY SW7016
6	BLUE FORD WALL PANEL PROVIDED & INSTALLED BY AGI; COLOR-MATCHED TO CUSTOM SHERWIN WILLIAMS COLOR FMC001 FORD BLUE 202
7	FORD SIGNAGE PROVIDED & INSTALLED BY AGI
8	GRABBER BAR BLUE AWNING PROVIDED & INSTALLED BY AGI

EXTERIOR ELEVATION GENERAL NOTES

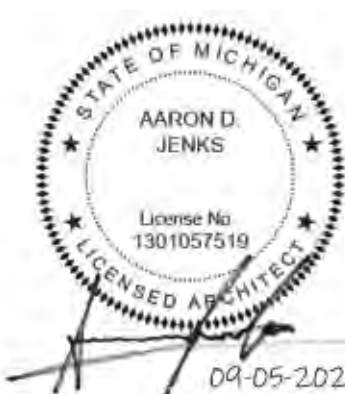
NO.	NOTE
A.	PAINT ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES TO MATCH ADJACENT WALL COLOR.
B.	PAINT ALL EXTERIOR OVERHEAD DOORS AND FRAMES TO MATCH ADJACENT WALL COLOR.
C.	PREP AND PAINT ALL EXPOSED CONDUIT, PIPING, LOUVERS, ETC. TO MATCH ADJACENT WALL COLOR.
D.	INSULATED METAL PANEL TO EXTEND ENTIRE PERIMETER OF BUILDING; ADDITIONAL EXTERIOR FINISHES TO ATTACH TO INSULATED METAL PANEL PER MANUFACTURER'S RECOMMENDATION.
NOTE: VERIFY ALL FINAL COLOR SELECTIONS WITH OWNER	



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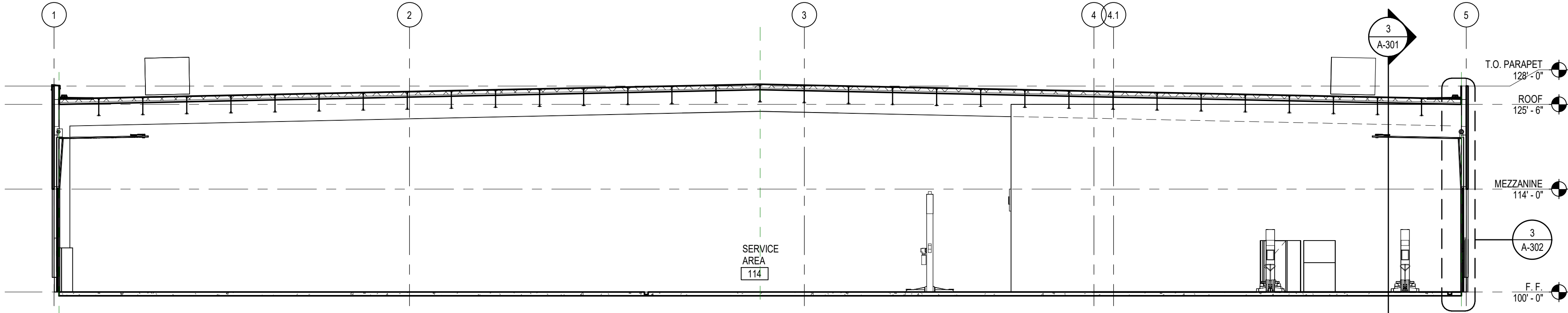
PROJECT

2306093GR

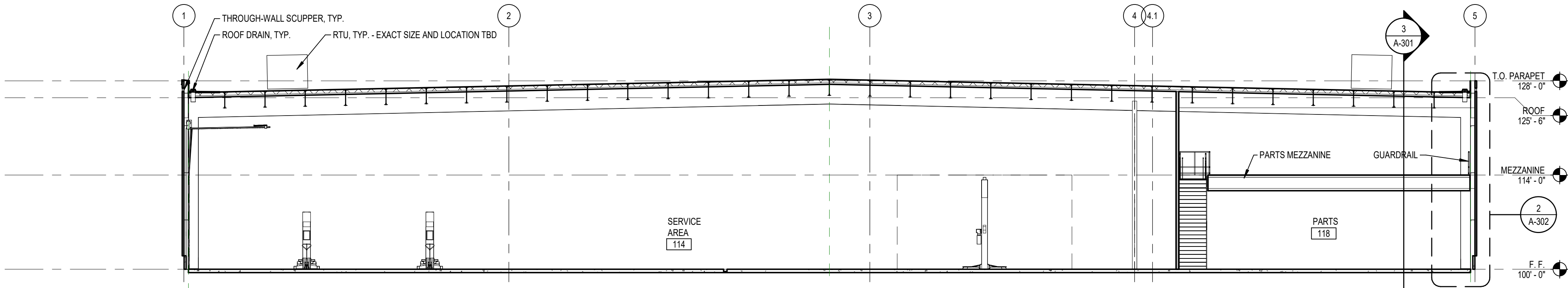
SHEET

**ARCHITECTURAL
EXTERIOR ELEVATIONS**

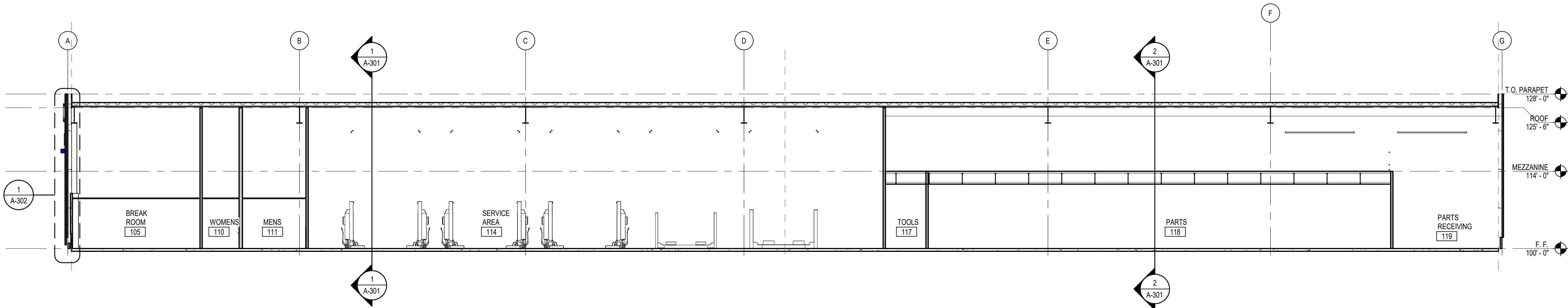
A-201



1 BUILDING SECTION
SCALE: 3/32" = 1'-0"

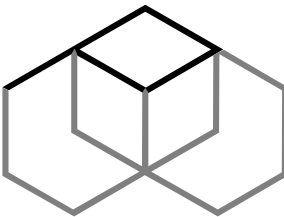


2 BUILDING SECTION
SCALE: 3/32" = 1'-0"



3 BUILDING SECTION
SCALE: 3/32" = 1'-0"

SECTION GENERAL NOTES	
NO.	NOTE
NOTE: REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL COLOR AND FINISH INFORMATION	

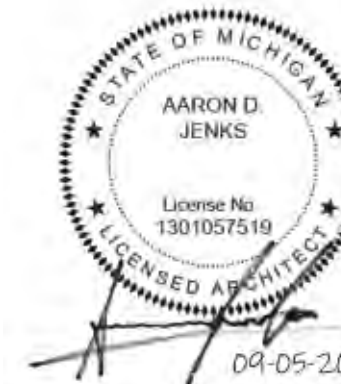


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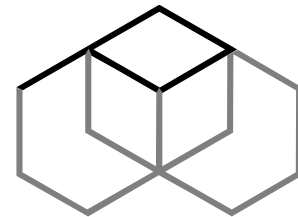
PROJECT

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SHEET

ARCHITECTURAL
BUILDING SECTIONS

A-301



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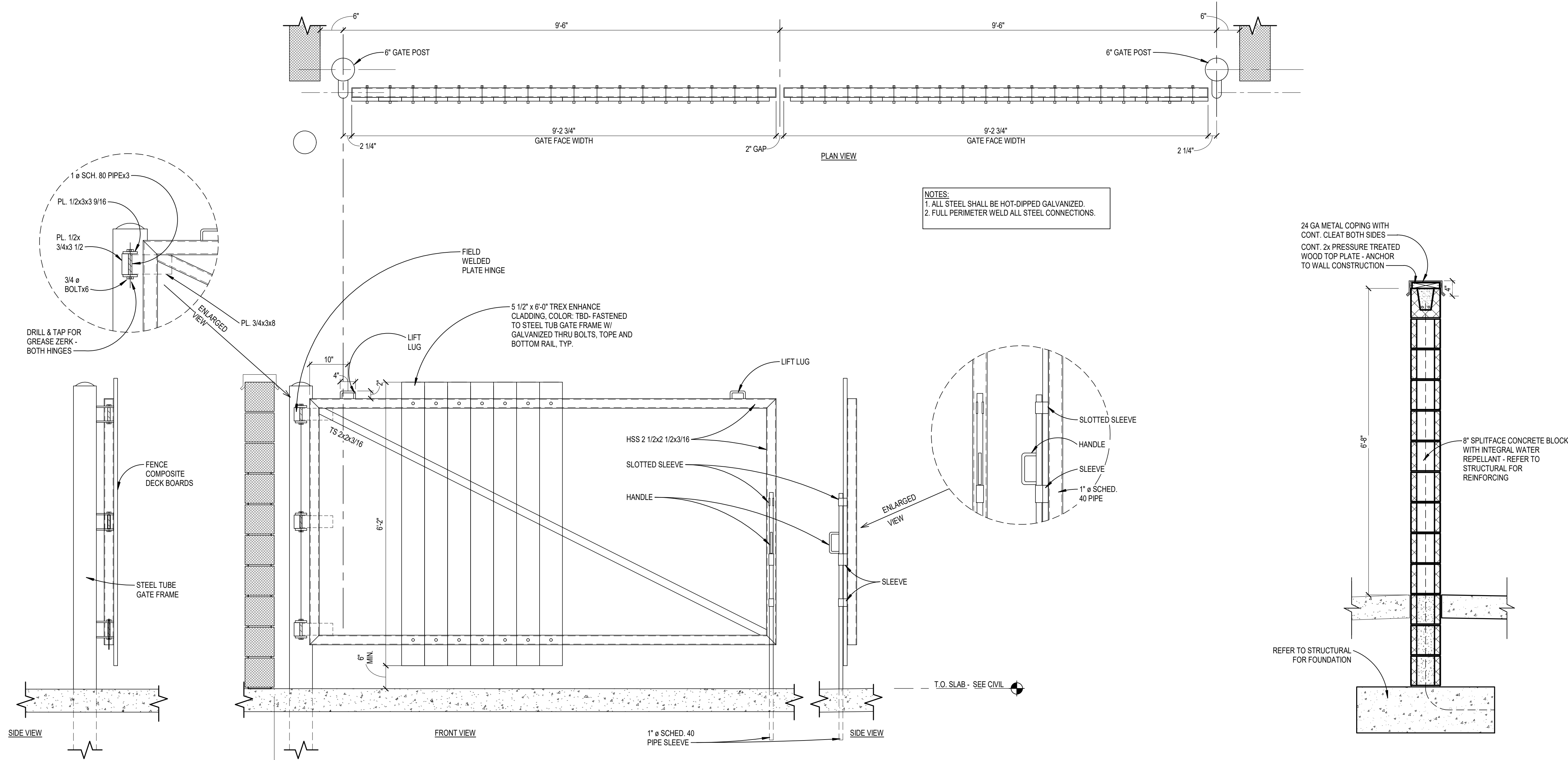
PROJECT

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SHEET

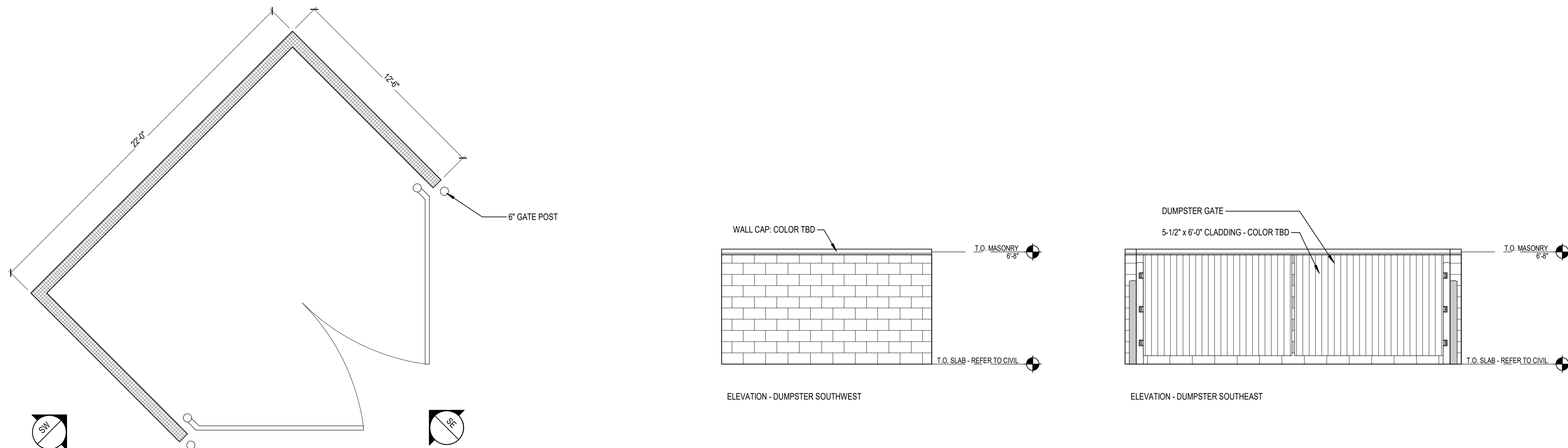
ARCHITECTURAL
EXTERIOR DETAILS

A-501



DUMPSTER ENCLOSURE DETAILS

SCALE: 3/4" = 1'-0"



DUMPSTER ENCLOSURE DETAILS

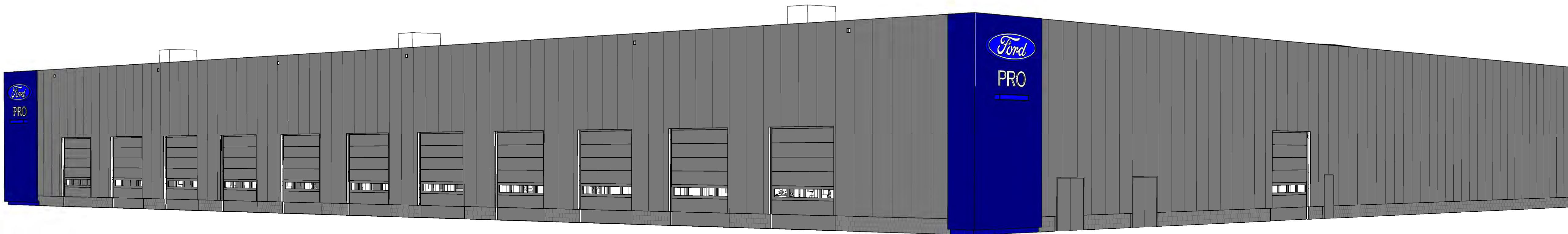
SCALE: 1/4" = 1'-0"



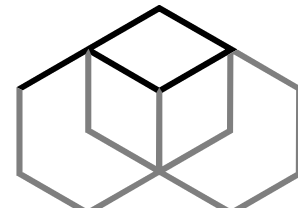
3D VIEW - EXTERIOR - FROM NORTHEAST
SCALE:



3D VIEW - EXTERIOR - FROM NORTHWEST
SCALE:



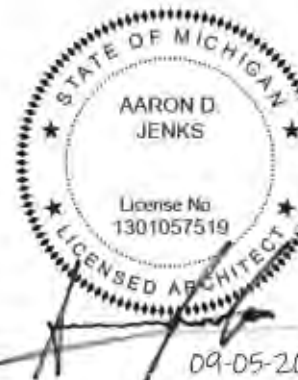
3D VIEW - EXTERIOR - FROM SOUTHWEST
SCALE:



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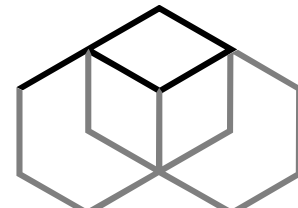
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SHEET

ARCHITECTURAL 3D
PERSPECTIVES

A-901

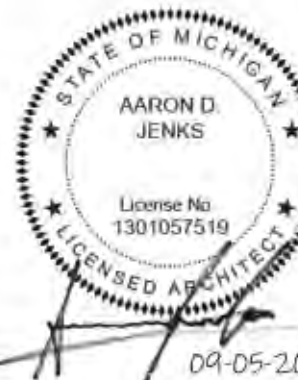




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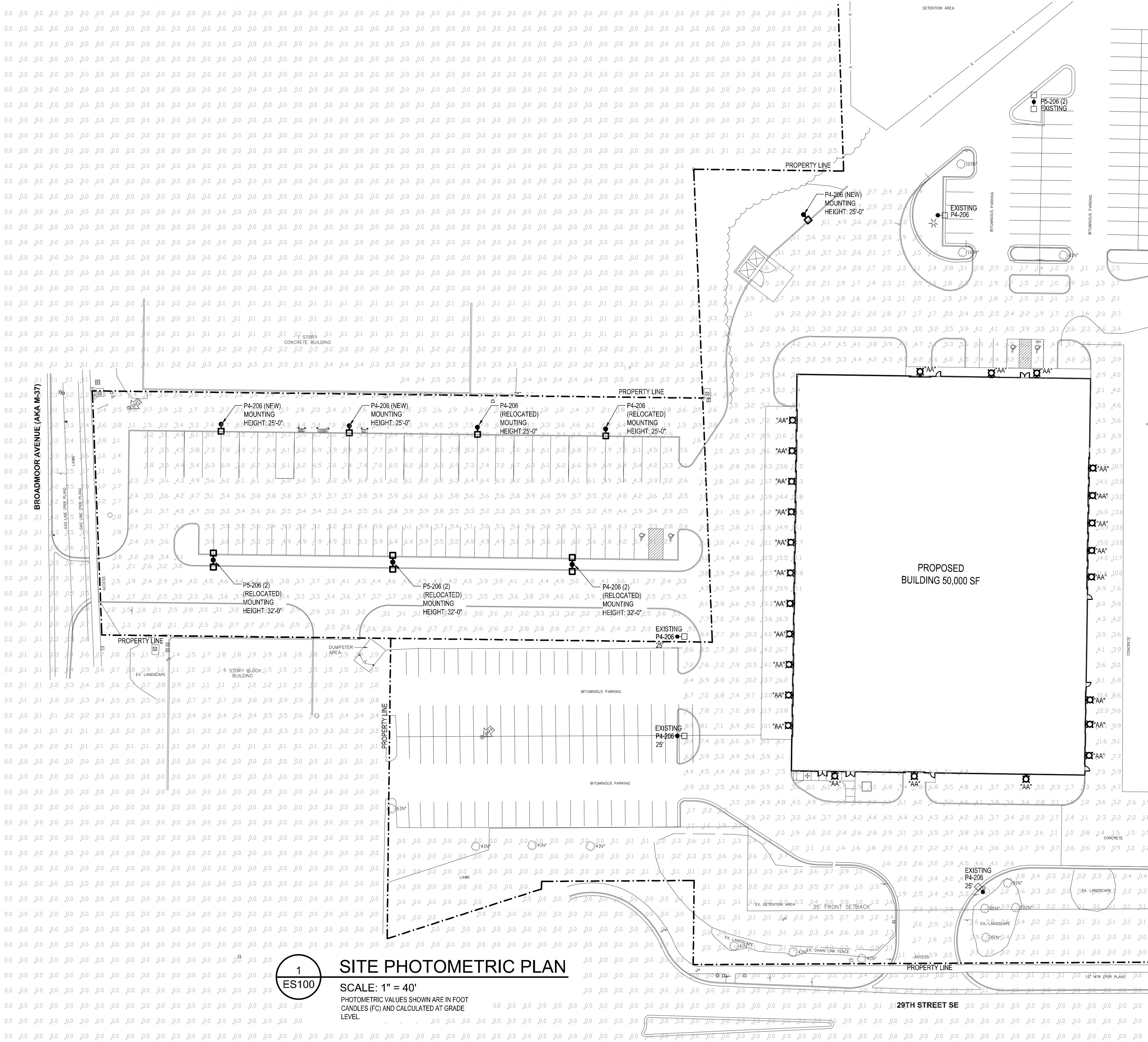
PROJECT

2306093GR

SHEET

ARCHITECTURAL 3D
RENDERINGS

A-902



SITE PHOTOMETRIC PLAN

SCALE: 1" = 40'

PHOTOMETRIC VALUES SHOWN ARE IN FOOT CANDLE (FC) AND CALCULATED AT GRADE LEVEL.

TYPE "AA"



TYPE "P-SERIES"



4000K LED Wattage and Lumen Values

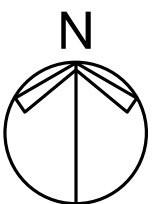
Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type 2			Type 3			Type 4			Type 5			Type 5W		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-L-80L-900-NW-G2-x	80	900	4000	225	29,796	B3-U0-G3	132	29,299	B3-U0-G4	130	29,840	B3-U0-G5	133	30,689	B5-U0-G4	136	30,362	B5-U0-G4	135
ECF-L-80L-1A-NW-G2-x	80	1050	4000	266	33,607	B4-U0-G4	127	33,048	B3-U0-G5	125	33,657	B3-U0-G6	127	34,615	B5-U0-G4	131	34,246	B5-U0-G4	129
ECF-L-80L-12A-NW-G2-x	80	1200	4000	289	37,070	B4-U0-G4	128	36,453	B3-U0-G5	126	37,125	B3-U0-G6	128	38,181	B5-U0-G4	132	37,775	B5-U0-G4	131
ECF-L-96L-800-NW-G2-x	96	800	4000	238	32,179	B4-U0-G4	135	31,590	B3-U0-G4	133	32,228	B3-U0-G5	136	33,144	B5-U0-G4	139	32,791	B5-U0-G4	138
ECF-L-96L-1A-NW-G2-x	96	1050	4000	316	40,061	B4-U0-G4	127	39,395	B3-U0-G5	124	40,122	B3-U0-G6	127	41,263	B5-U0-G4	130	40,624	B5-U0-G4	129
ECF-L-96L-12A-NW-G2-x	96	1200	4000	365	43,577	B4-U0-G4	119	42,852	B4-U0-G5	117	43,642	B3-U0-G5	120	44,884	B5-U0-G4	123	44,406	B5-U0-G5	122
ECF-L-96L-14A-NW-G2-x	96	1370	4000	422	48,179	B4-U0-G4	114	49,917	B4-U0-G5	118	49,311	B4-U0-G6	117	50,647	B5-U0-G5	120	49,221	B5-U0-G5	117

Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	B		33	COOPER LIGHTING SOLUTIONS - MCGRAW-HILL (FORMERLY EATON)	GWC-SA2B-750-U-T3	GALLEON WALL LUMINAIRE (2) 70 CR, 5000K, 800mA LIGHTSQUARES WITH 16 LEDs EACH AND TYPE 5 OPTICS	32	373	1	86	
	P5 206		14	SIGNIFY GARDCO	ECF-L-80L-900-NW-G2-5	EcoForm Area LED ECF - Large, 80 LED's, 4000K CCT, TYPE 5 OPTIC, No Shield	1	30692	1	224.8768	
	P4 206		11	SIGNIFY GARDCO	ECF-L-80L-900-NW-G2-4	EcoForm Area LED ECF - Large, 80 LED's, 4000K CCT, TYPE 4 OPTIC, No Shield	1	29840	1	224.8768	

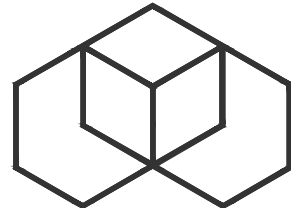
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
NEW PARKING ZONE	+	5.5 fc	9.8 fc	1.8 fc	5.4:1	3.1:1
NORTH PARKING GREENSPACE	+	2.2 fc	8.7 fc	0.2 fc	43.5:1	11.0:1
OFF PROPERTY WEST - SOUTH	+	0.0 fc	1.9 fc	0.0 fc	N/A	N/A
SIDE DRIVE	+	3.5 fc	5.0 fc	1.4 fc	3.6:1	2.5:1
SOUTH GREENSPACE	+	0.3 fc	2.5 fc	0.0 fc	N/A	N/A
SOUTH PARKING GREENSPACE 1	+	2.4 fc	3.2 fc	1.0 fc	3.2:1	2.4:1
SOUTH PARKING GREENSPACE 2	+	3.1 fc	9.5 fc	2.3 fc	4.1:1	1.3:1
SOUTHEAST GREENSPACE	+	0.3 fc	3.7 fc	0.0 fc	N/A	N/A
BUILDING PERIMETER AND DRIVE	+	5.0 fc	16.7 fc	0.5 fc	33.4:1	10.0:1



NOT FOR CONSTRUCTION

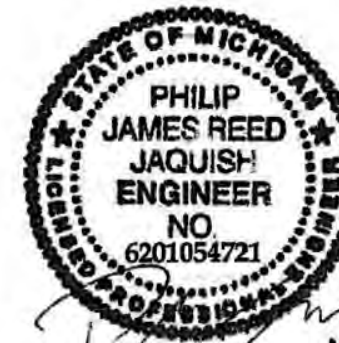
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.



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REC # 5048



RELEASE DATE

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PROJECT

2306093GR

SHEET

ELECTRICAL
SITE
PLAN
ES101

STAFF REPORT: September 5, 2023

PREPARED FOR: Kentwood Planning Commission

PREPARED BY: Lisa Golder

CASE NO.: 22-23 Storage Five Kentwood LLC - Conditional Rezoning

GENERAL INFORMATION

APPLICANT: Chris Catania
Storage Five Development
PO Box 1942
Seabrook, TX 77586

STATUS OF
APPLICANT: Option holder

REQUESTED ACTION: Conditional Rezoning of 8.2 acres of land from C-2 to I-1 Light Industrial

EXISTING ZONING OF
SUBJECT PARCEL: C-2 Commercial

GENERAL LOCATION: 1800-1900 44th Street SE

PARCEL SIZE: 8.2 Acres

EXISTING LAND USE
ON THE PARCEL: Vacant office space/call center

ADJACENT AREA
LAND USES:
N: 44th Street ROW
S: Residential—Tamarisk Apartments, multifamily
E: Commercial (gas station, daycare)
W: Restaurant, office

ZONING ON ADJOINING
PARCELS:
N-NOS Neighborhood Office Service and LDR Low Density Residential--City of Grand Rapids
S: C-2 Commercial, R-3 Medium Density Residential, R-4 High Density Residential
E: C-2 Commercial

W:C-2 Commercial

Compatibility with Master Plan:

The Kentwood 2020 Master Plan recommends Commercial use of this site.

Zoning and Land Use History:

The site has been zoned for commercial use since at least 1976. The property has been used as a grocery store, bowling alley, and mall before being used as a call center. Earlier in 2023, the applicant submitted an application for an amendment to the Master Plan that would have allowed 8.2 acres of the property to be designated for industrial use. The City Commission declined to set a hearing date for the Master Plan amendment; therefore the Master Plan designation will remain Commercial.

Project Overview:

In November of 2022, the applicant appeared before the Land Use and Zoning (LUZ) and later, to the Master Plan Subcommittees seeking feedback on the potential for rezoning of 8.2 acres of the overall 13.3 acre property from Commercial to Industrial. The building located on the property is 116,057 square feet in area and has been most recently used as a medical call center. The applicant would like to use the building for climate controlled self-storage, requiring industrial zoning.

The applicant has indicated that the call center was refurbished prior to the pandemic and then was never fully re-occupied since due to the popularity of work from home. The building has been largely vacant for three years; there has been little or no interest in leasing the building.

The applicant submitted an application for an amendment to the Master Plan to designate 8.2 acres of property to an Industrial designation. The City Commission declined to set a hearing date for the Master Plan amendment; therefore the Master Plan designation remains Commercial.

Despite the fact that the Master Plan will not be amended to the Industrial designation, the applicant has submitted an application for Conditional Zoning that would allow rezoning of 8.2 acres to I-1 Light Industrial, and voluntarily restricting uses to the following:

- Self-storage
- Financial institutions
- Office buildings/uses within a building of less than 50,000 square feet
- Office buildings/uses within a building of 50,000 square feet or more (SLU)
- Research or development facility
- Trade or industrial schools
- Freestanding restaurants (SLU)
- Accessory buildings subject to section 3.15 and 3.16

Staff Analysis:

1. Ordinance Requirements:

Section 13.03 of the Zoning Ordinance lists the requirements for the submission of a Rezoning request in the city. Section 13.03 A2b sets the following requirements for a plan, including the following:

- North arrow;
- Name of firm that prepared the land plan;
- Name and address of property owner;
- Location sketch to scale;
- Property size in acres; all lot lines with dimensions;
- Location of existing structures within 100 feet of property boundaries;
- Existing zoning of the surrounding properties;
- Location and size of any established flood plain areas, bodies of water, wetland areas and other unbuildable areas; contours.

The applicant shall provide information on the existing zoning as well as properties within 100 feet of the proposed rezoning boundaries.

2. The applicant is requesting Conditional Rezoning to allow the existing 116,057 square foot building to be used as a self-storage facility. Self-storage facilities are considered industrial warehouses in the City of Kentwood, and therefore a use permitted by right in the I-1 and I-2 zones. The applicant has also listed several other uses that could be permitted either by right or by Special Land Use within the area proposed for rezoning.
3. The overall property is 13.30 acres in area; only 8.2 acres of the overall 13.30 acre property would be conditionally rezoned to I-1 Light Industrial. The applicant intends to divide a 3.32 acre commercial parcel along the 44th Street frontage into four new commercial outlots. A fifth outlot is proposed on the southeast corner of the site, also intended to remain zoned C-2 Commercial. Since the subject parcel is a platted lot, additional approvals for the land divisions would be required.
4. If the property is rezoned for industrial use, 77 parking spaces would be required to be retained; alternatively, the applicant could provide deferred parking. The 8.2 acre parcel proposed for industrial use includes 391 parking spaces. The proposed use for this parking area is unclear. Given the proposed industrial zoning, it can be assumed that the intent is to use it for additional self-storage. Outside storage of recreational vehicles would not be permitted under the proposed Conditional Rezoning request.
5. In accordance with Section 10.3 C 4 of the Zoning Ordinance, no industrial building or storage can be located closer than 100 feet to a residential district or boundary. A building may be permitted as close as 50 feet if that area between the building and the boundary is an unlighted landscaped buffer used for no other purpose. Further, no entrance other than a require emergency door shall enter upon the area. In addition, an industrial rear yard adjoining a residential district must comply with Chapter 19 setback and screening

provisions. Chapter 19 requires a 50' minimum width buffer zone, with a 6-foot vertical screen and specific required planting materials within the screening area.

The southwest corner of the existing Trinity Health call center is 34 feet from the common property line for Tamarisk Apartments. Therefore, in order to rezone the property for industrial use, the applicant will have to receive Zoning Board variances to resolve these issues, or otherwise find some way to comply with the zoning regulations.

6. According to the Institute of Traffic Engineers report Trip Generation, 11th Edition, a self storage facility of 116,000 square feet can generate 168 trips per day. The use can generate 10.41 trips in the AM peak hour, and 17.4 trips in the PM peak hour.
7. The City Engineer will determine how storm water management will be accommodated on the site. This may affect the developable area of the proposed industrial area or the outlots.
8. The Planning and City Commissions should review the following in considering the merits of the rezoning:

- a. Consistency of the proposed rezoning with the goals, policies, and future land use map of the Master Plan, including any sub-area or corridor studies. If conditions have changed since the Master Plan was adopted, consistency with recent development trends in the area should be considered.

The Master Plan recommends commercial use for the site. The proposed rezoning is inconsistent with the Master Plan.

- b. Compatibility of the site's physical, geological, hydrological, and other environmental features with the uses permitted in the proposed zoning district.

The site's physical, geological, hydrological and other features are compatible with the proposed rezoning.

- c. The applicant's ability to develop the property with at least one (1) of the uses permitted under the current zoning.

Under the current zoning, the site could still be used for any number of commercial or office uses. The existing 116,000 square foot building may be difficult to re-use as a call center.

- d. The compatibility of all the potential uses allowed in the proposed zoning district with the surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.

The applicant has restricted the potential uses to self-storage as well as other uses that are permitted/special land uses in the current C-2 Commercial zone. In terms of traffic impacts, self-storage does not generate a large amount of

traffic. The future land use of the large parking areas is of concern, as these areas could be developed into additional self-storage or left vacant and untended. And while the self-storage does not necessarily create a large amount of traffic or noise for the adjacent residential area, it also does not provide any vitality or benefit. Information on exterior lighting, fencing, hours of operation, and the appearance of the self-storage facility have not been provided. While the applicant has indicated that the exterior of the building will be new and updated, there is no indication as to whether the applicant will increase the height to the maximum allowed in the I-1 district, or redevelop the facility entirely to allow for more self-storage.

- e. Whether the city's infrastructure and services are sufficient to accommodate the uses permitted in the requested district without compromising the "health safety and welfare" of the City.

The city's infrastructure is adequate to serve the site.

- f. Where a rezoning is reasonable given the above the guidelines, a determination that the requested zoning district is more appropriate than another district or amending the list of permitted or Special Land Uses within a district.

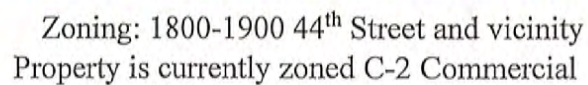
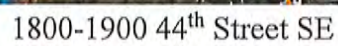
The potential for amending the C-2 district to allow for self-storage has been discussed. However, it is unlikely that the concerns regarding self storage at this site would be eliminated by amending the ordinance in this way. In addition, allowing self-storage in other zones may create more redevelopment of commercial buildings in the city.

Attributes:

- Re-use of a large vacant building
- Additional commercial uses on frontage will minimize vacant parking lot
- Building exterior will be updated

Issues:

- Impact of self-storage facility on neighborhood
- Unclear as to use of existing parking that is not needed for self storage
- Lighting, building façade, hours of operation, fencing not discussed
- Variances required for proximity to residential
- Unclear as to whether additional self storage would be built on site
- Self storage adds no vitality to area; only benefit to those who need storage, otherwise limited benefit to businesses or residences



August 16th 2023

Conditional Rezone- Kentwood, MI

Project: Storage Five Kentwood

Conditional Rezone: 1800-1900 44th St SE, Kentwood MI 49508

Subject property is located at 1800-1900 44th St SE Kentwood, MI 49508

PPNs: 41-18-28-125-006 and 41-18-28-125-010

Total Acres: 8.2 of 13.139

Current zoning is: C-2

Proposed Use: Self Storage- Conversion of an existing building

Additional Use: 4+1 Retail Pad Sites C-2

Storage Five Development (the developer) proposes an adaptive reuse of the existing 116,057 SF building to be converted to a Class A climate controlled self-storage facility. A new and updated exterior facade "look" will be part of the conversion. The building was originally built in 1957 and was most recently used as a call center. To allow for self-storage, the developer is proposing a property division and rezone. To allow for self-storage use, the main parcel containing the existing building plus the West and South parking will need to be rezoned from C-2 to I-1. The developer proposes creating 4 retail pads fronting 44th St SE (roughly 0.83 acres each) and keeping the Southeast portion of the property as C-2 (roughly 1.77 acres).

Proposed Conditions of the Rezone:

Only the following uses shall be allowed as a conditional of the rezone:

Industrial:

Self-Storage

Office:

Financial institutions (SLU)

Office buildings or office uses within a building of less than 50,000 square feet

Office buildings or office uses within a building of 50,000 square feet or more (SLU)

Research and development facility

Trade or industrial schools

Services:

Restaurants, freestanding (SLU)

Other:

Accessory buildings and uses subject to sections 3.15 and 3.16

Additional considerations/comments:

- According to the seller, the building has been empty and unoccupied for over 3 years. The current owner had planned on using the building as a call center and improved the building as a call center prior to the Covid-19 pandemic. The call center was never occupied and will never be occupied as a call center. Work at home has changed the business landscape. The seller's agent has indicated that there has been very little interest in the property.
- Code reads that no self-storage building shall be located closer than 100 feet to a residential district boundary. The existing building is closer than 100 foot from the adjacent Tamarisk Apartment parcel. If a variance is needed, one is requested concurrently with the rezone.
- Currently, Jiffy Lube has submitted a letter of intent to purchase the East most of the 4 future pad sites fronting 44th St SE should this plan be approved.

Thank You,



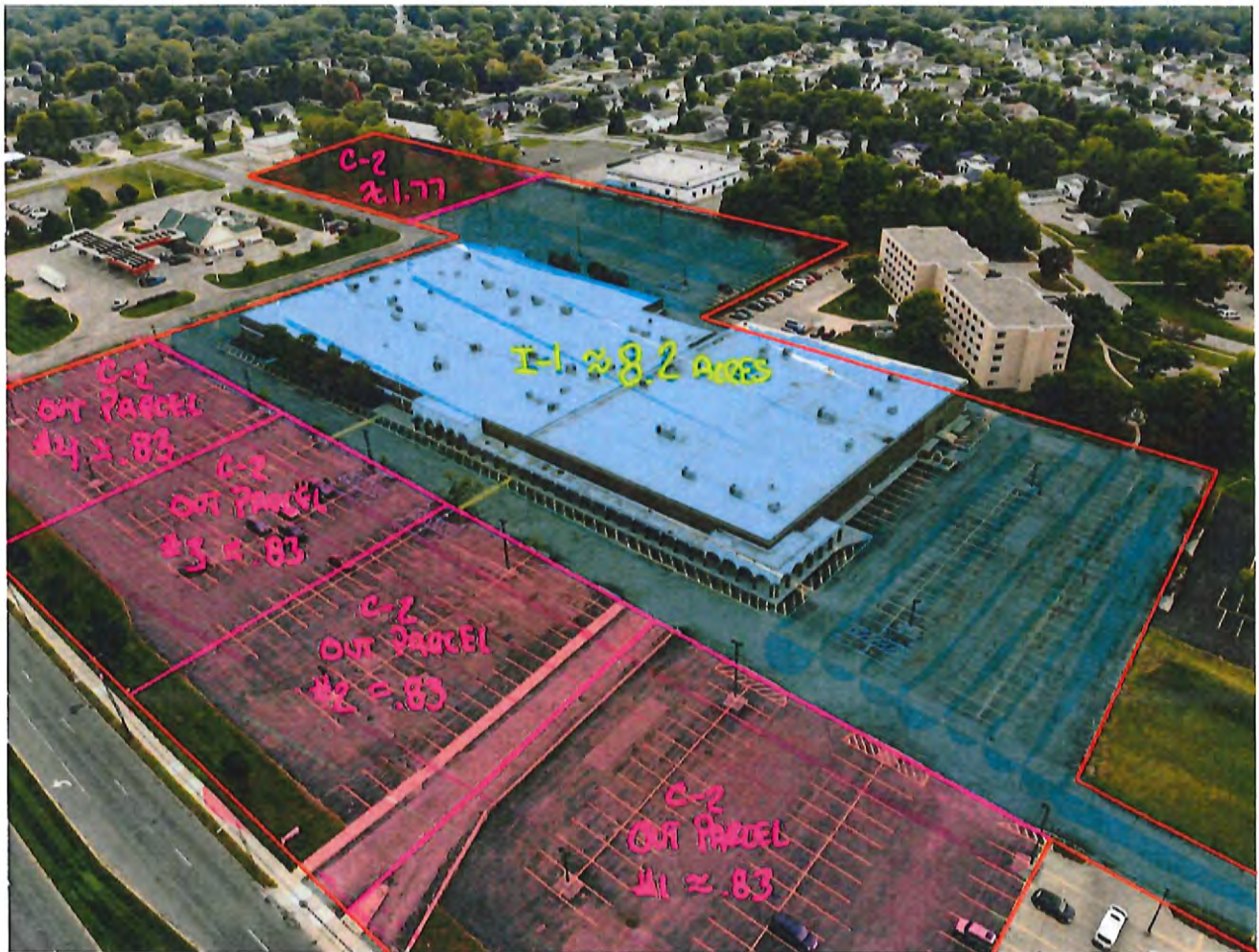
Chris Catania

Storage Five Development

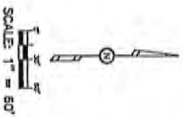
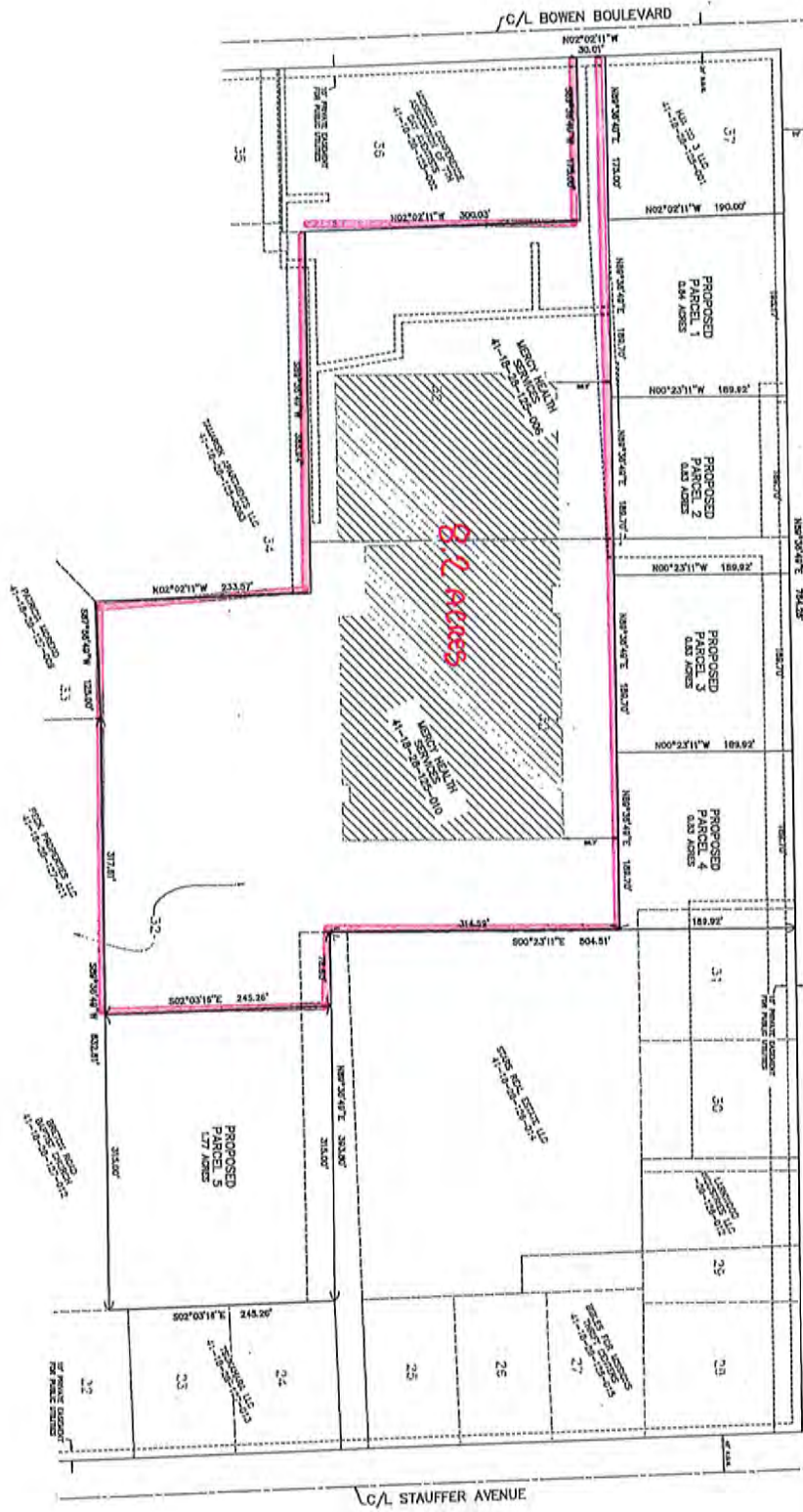
email: chris@buonproperties.com

cell: (+1) 713-545-0883





44TH STREET N.W. COR. NW 1/4 SEC. 28

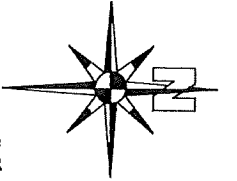


LAND DIVISION MAP RE: 1800-1800 44TH ST FOR: STORAGE FIRE DEVELOPMENT LLC 1800-1800 44TH ST PO BOX 1042 SEASIDE, TX 77585			
PART OF SEC 28, 1/4 SECTION 28, T8N, R74W, CITY OF SEASIDE, HUNT COUNTY, TEXAS			
excel engineering, inc. 1800-1800 44TH ST PO BOX 1042 SEASIDE, TX 77585 (409) 583-1042		DRAWN BY: [] CHECKED BY: [] APPROVED BY: [] DATE: []	
DATE:	DESIGN:	SCALE:	SHEET
			1 of 1

KENTWOOD MALL PLAT
 PART OF THE NW 1/4 SEC. 28, T6N, R11W,
 CITY OF KENTWOOD, KENT COUNTY, MICHIGAN
 SHEET 1 OF 6

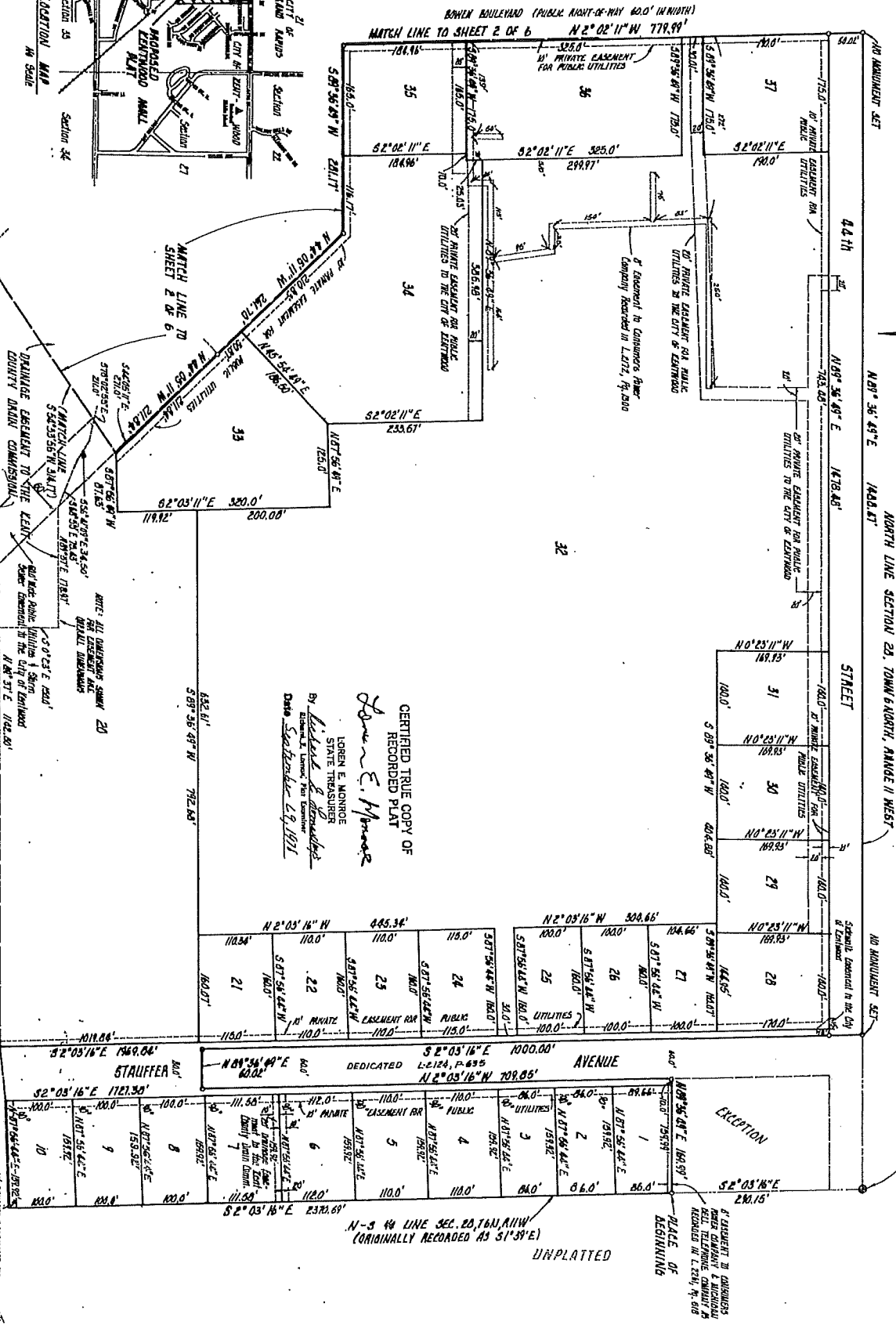
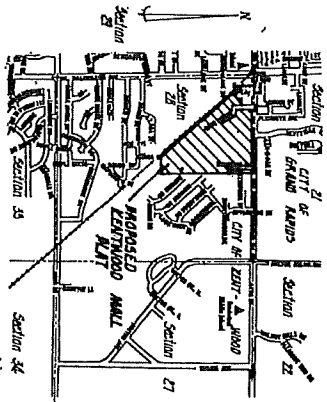


SCALE - 1" = 100'



LEGEND

All dimensions are in feet.
 All curvilinear measurements are arc lengths.
 Bearings are based on solar observation taken May 28, 1976.
 Concrete monuments 36" long and 4 inches in diameter set at all points marked thus "C".
 All lot corners are marked with iron pipes 1/2 inch or more in diameter by 18 inches or more in length.



CERTIFIED TRUE COPY OF
 RECORDED PLAT
 JOHN E. HOOKER
 SURVEYOR
 By *Robert E. HOOKER*
 Date *September 29, 1971*

UNPLATTED

STAFF REPORT: September 6, 2023
PREPARED FOR: Kentwood Planning Commission
PREPARED BY: Joe Pung
CASE NO.: 23-23 Body Shop Boss

GENERAL INFORMATION

APPLICANT: Craig Baker
967 Spaulding Avenue, SE Suite A
Ada, MI 495301

STATUS OF APPLICANT: Prospective Tenant Representative

REQUESTED ACTION: Special land use and site plan review for a vehicle repair operation.

EXISTING ZONING OF SUBJECT PARCEL: I1 Light Industrial

GENERAL LOCATION: 3851 Model Court

PARCEL SIZE: 4.84 acres

EXISTING LAND USE ON THE PARCEL: Multi-tenant Industrial Building

ADJACENT AREA LAND USES:
N: Vacant Land
S: Industrial Buildings
E: Vacant Land & Model Court ROW
W: Electrical Transmission Lines

ZONING ON ADJOINING PARCELS:
N: I1 Light Industrial
S: I1 Light Industrial
E: I1 Light Industrial
W: I1 Light Industrial

Compatibility with Master Plan

The Master Plan recommendation is for industrial development in this area. The proposed vehicle repair establishment is a special land use in industrial districts and would be consistent with the Master Plan recommendation.

Zoning History

The property is currently zoned I1 Light Industrial and has been since at least 1970.

Relevant Zoning Ordinance Sections

Major vehicle repair establishments are a special land use in the I1 Light Industrial district (Zoning Ordinance Section 10.02). Section 13.04 requires Planning Commission review and approval of special land uses. Section 15.02 outlines the general approval standards for special land uses. Section 13.08 outlines the general review standards. Section 14.05 outlines the site plan review standards. Section 15.04.E lists the site design standards for vehicle repair establishments.

SITE INFORMATION

Site Characteristics

The parcel is 4.84 acres in area and is currently development with a multi-tenant building. The existing 49,574 square foot building was constructed in 2001.

Traffic & Circulation

The site is accessed off of Model Court with a shared drive that also provides access to the adjacent property to the south.

Parking

The Zoning Ordinance requires one (1) parking space per each 800 square feet plus two (2) per each stall or service area. The tenant space is 16,997 square feet in area (22 parking spaces) and the applicant has indicated to staff there would be five (5) service bays (10 parking spaces) for a minimum requirement of thirty-two (32) parking spaces. Other than short-term parking of up to five (5) vehicles at any one time, the applicant has indicated that no vehicles would be stored outside the building. The applicant has indicated that there are twenty (20) parking spaces in front of their tenant space. The site plan for the building permit depicted fifty-four (54) parking spaces on site; the applicant will have to show that there is adequate parking available for all tenants in the building. Based on the fact that the proposed use it intended to only service vehicles of Amazon Delivery Service partners in the greater Grand Rapids the parking demands should be less than if service were provided to the general public.

Engineering

The development will have to meet all applicable Engineering Department regulations.

Fire

The development will have to meet all applicable Fire Department regulations.

Staff Comments

- 1) The applicant wishes to operate a fleet maintenance facility to perform cosmetic repair (non-structural damage including dents and scratches only) for Amazon delivery vehicles in the greater Grand Rapids area.
- 2) A project narrative was submitted by the applicant. A revised and signed narrative will need to be submit which includes but is not limited to the following additional information:
 - State that all repair work will be conducted indoors.
 - Expected number of vehicles onsite for service at any one time.
 - Specify the number of service bays.
- 3) Section 15.02 of the Zoning Ordinance (Special Approval Standards) states that the Planning Commission must determine that the proposed special land use and its location meet the following standards:
 - A. Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance, with the existing or intended character of the general vicinity and that such a use will not change the essential character of the area in which it is proposed.

The proposed use is consistent with the intended character of the area. The site is developed and no exterior changes to the site have been proposed. Use of the property would continue to be industrial in nature.
 - B. Be served adequately by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities or schools.

The site is adequately served by essential public services.
 - C. Not create excessive additional requirements at public cost for public facilities and services.

The proposed development is not anticipated to create additional requirements for public facilities and services at public cost.

- D. Not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare. Electrical or electromagnetic interference or odors.

The proposed use is not anticipated to create excessive traffic, noise, smoke, fumes, or odors that will be detrimental.

- E. Be compatible and in accordance with the goals, objectives and policies of the Master Plan and promote the Intent and Purpose of the zoning district in which it is proposed to locate.

The proposed use is a special land use within the zoning district and as such can be considered consistent with the zoning and the Master Plan recommendation for industrial development.

- F. Be subject to stipulations by the Planning Commission of additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for ensuring that the intent and objectives of this Ordinance will be observed. The breach of any condition, safeguard or requirement shall automatically invalidate the granting of the Special Land Use.

- G. Comply with all applicable licensing ordinances.

- 4) Section 15.04.E lists the following specific requirements that apply to vehicle repair establishments. The requirements are:

- A. A vehicle repair establishment building, and its accessory uses and buildings shall be located not less than fifty (50) feet from any right-of-way line or from any side or rear lot line abutting a residential district. This setback requirement shall not apply to accessory parking.

The portion of the building proposed for vehicle repair is setback over one hundred (100) feet from the Model Court right-of-way and the property does not abut a residential district.

- B. Where adjoining a residential use or residential district, Buffer Zone “B” (see Chapter 19, Landscaping) is required. In addition, the Planning Commission may require a solid wall or solid fence along the lot line having a maximum height of six (6) feet.

The property does not adjoin a residential use or residential district.

- C. The minimum frontage shall be one-hundred (100) feet and the minimum lot area one-half (1/2) acre.

The property is located at the end of a cul-de-sac and has frontage of approximately forty-four (44) feet on Model Court. The lot area 4.84 acres. A variance to the minimum required frontage will be required.

- D. The lot shall be located so that at least (1) side abuts an arterial street.

The lot abuts Model Court which is not a major arterial. A variance to the requirement that the lot abuts an arterial street will be required.

- E. The site shall be limited to no more than one (1) driveway for each street on which it has frontage.

The property has only one (1) driveway onto Model Court.

- F. Overhead doors shall not face any roadway, except as approved by the Planning Commission for any of the following circumstances.
- a. For through garages where doors are provided on the front and rear of the building; or
 - b. Garages located on corner or through lots; or
 - c. Where it is determined that a rear garage door would have a negative impact on an abutting residential district.

Overhead doors for this tenant space do not face any roadway.

- G. Accessory buildings shall not be permitted.

No accessory building is proposed.

- H. All repair work shall be done within the building.

The applicant has indicated that all repair work would occur within the building, but this will need to be stated within a revised narrative.

- I. All outdoor storage of vehicles, material, merchandise, equipment, and other material incidental to the operation shall be enclosed by a six (6) foot high solid wall or solid fence meeting the minimum design requirements of Chapter 19.

No outdoor storage of vehicles, material, merchandise, etc. related to the vehicle repair operation is proposed.

- J. Outdoor storage areas shall be paved with a permanent, durable, and dustless surface and shall be properly graded and drained to dispose of storm water.

No outdoor storage associated with the vehicle repair operation is proposed.

- K. Outdoor storage areas are not permitted in the front yard of the site and shall meet the side and rear yard setback requirements.

No outdoor storage associated with the vehicle repair operation is proposed.

- L. No operator shall permit outdoor storage of automobiles, truck, or trailers within the parking lot. It is presumed that vehicles on the site for a period in excess of seventy-two (72) hours would represent a violation of this section.

The applicant has indicated that the only service provided at this location would be cosmetic repair (non-structural damage including dents and scratches only) so there should not be any inoperable vehicles on the site nor should any vehicles be on-site in excess of seventy-two (72) hours.

Exhibit 1: Project Location (2020 Aerial Photo)

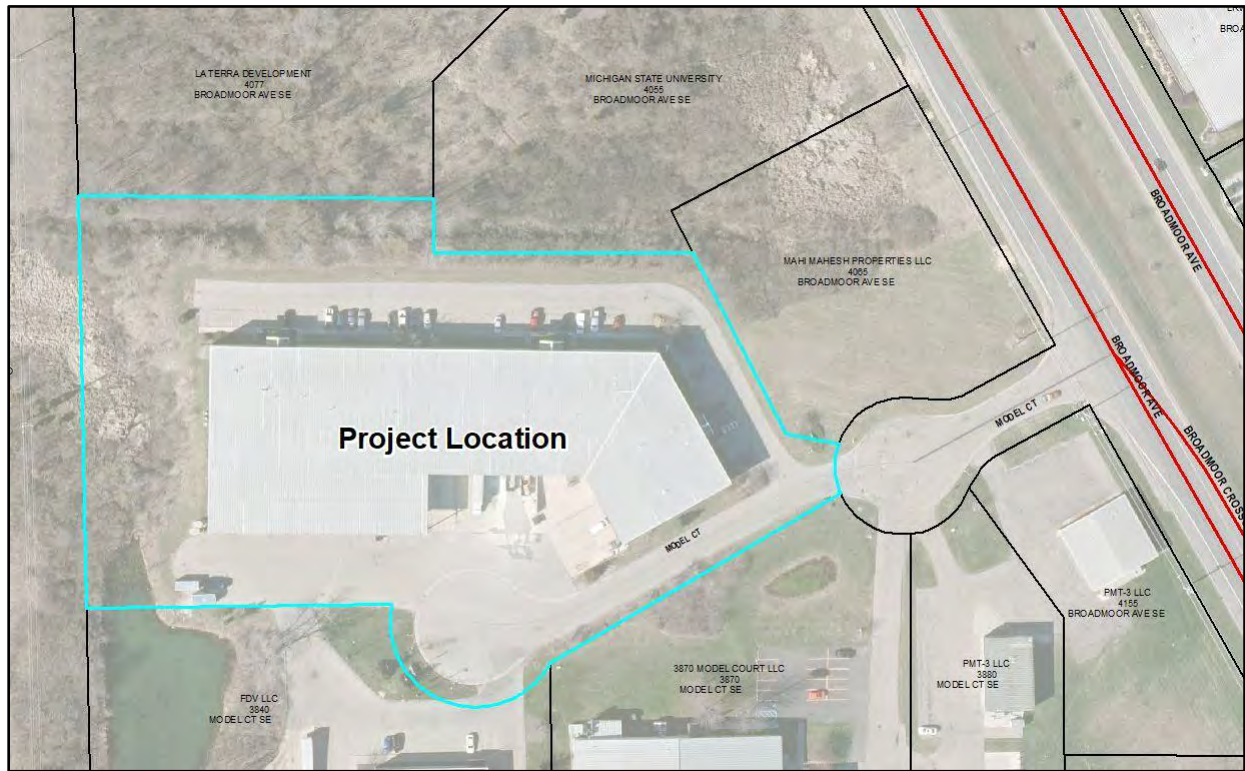


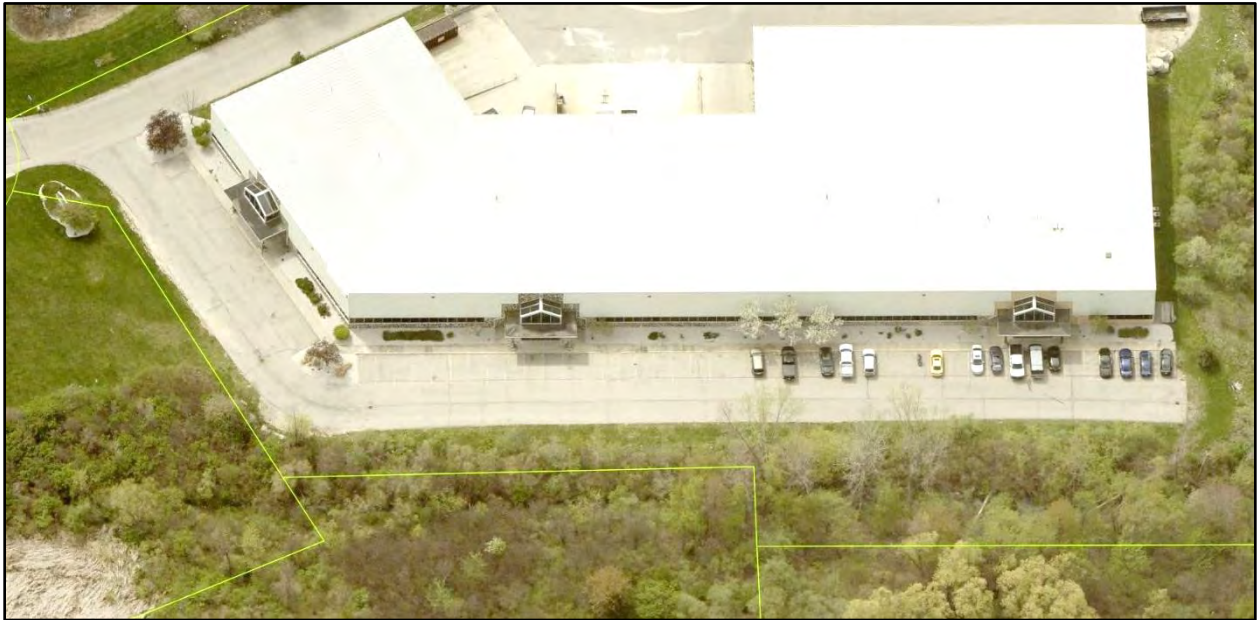
Exhibit 3: April 2023 Pictometry Photo (view from the south)



Exhibit 4: May 2023 Pictometry Photo (view from the east)



Exhibit 5: May 2023 Pictometry Photo (view from the east)



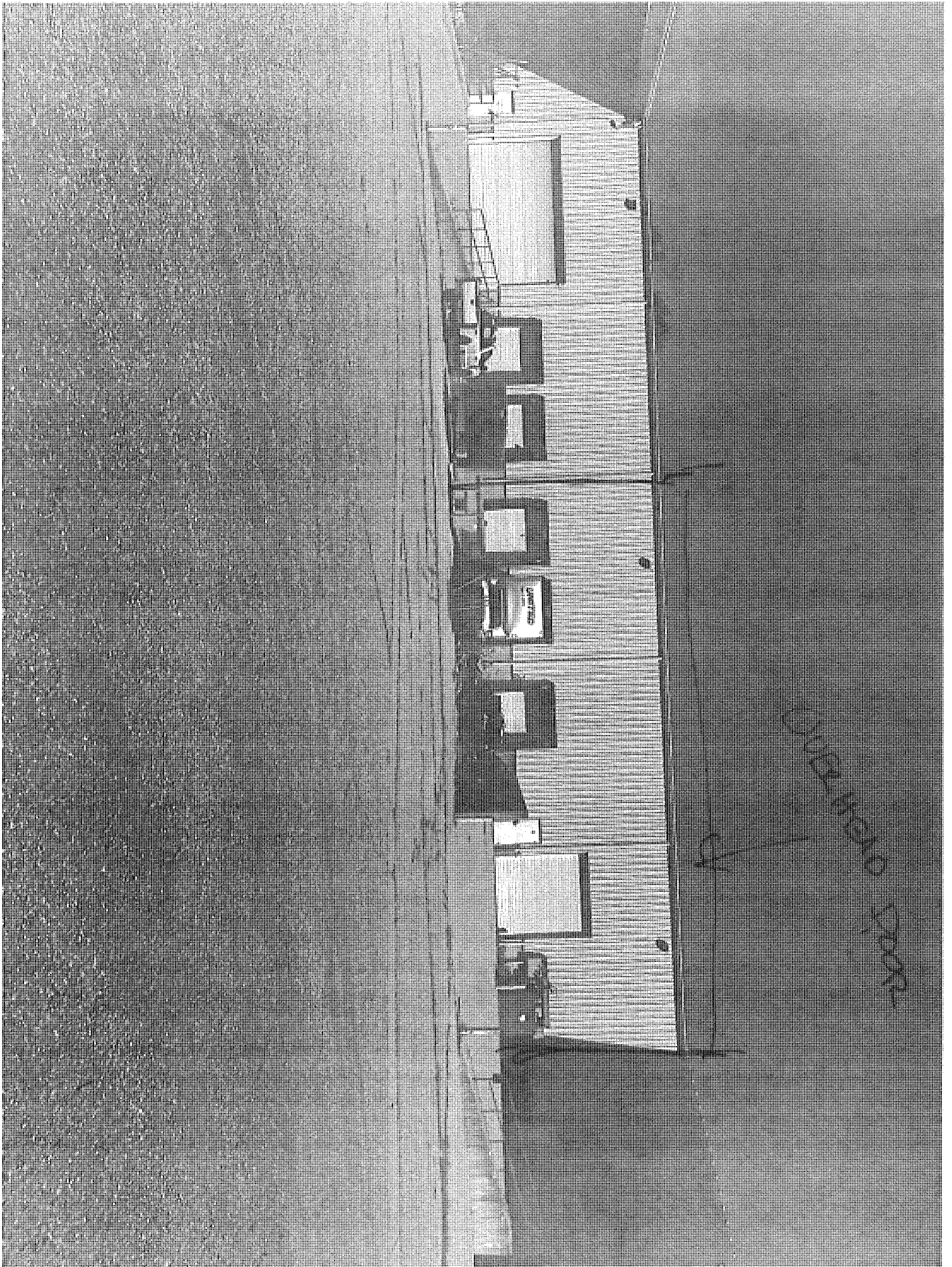
**Body Shop Boss LLC
City of Kentwood
Planning Commission
Description of Land Use**

We are expanding our fleet servicing company. It will continue to include cosmetic repair (non-structural damage including dents and scratches only) to vehicles of Amazon Delivery Service partners in the greater Grand Rapids area. We hope to locate this service center at 3851 Model Court SE, Kentwood.

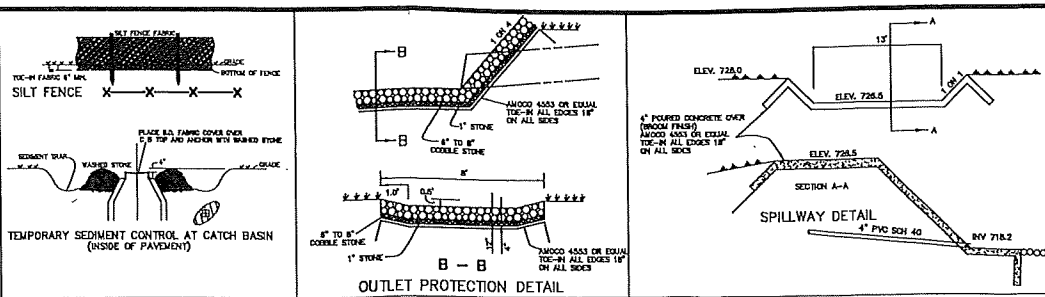
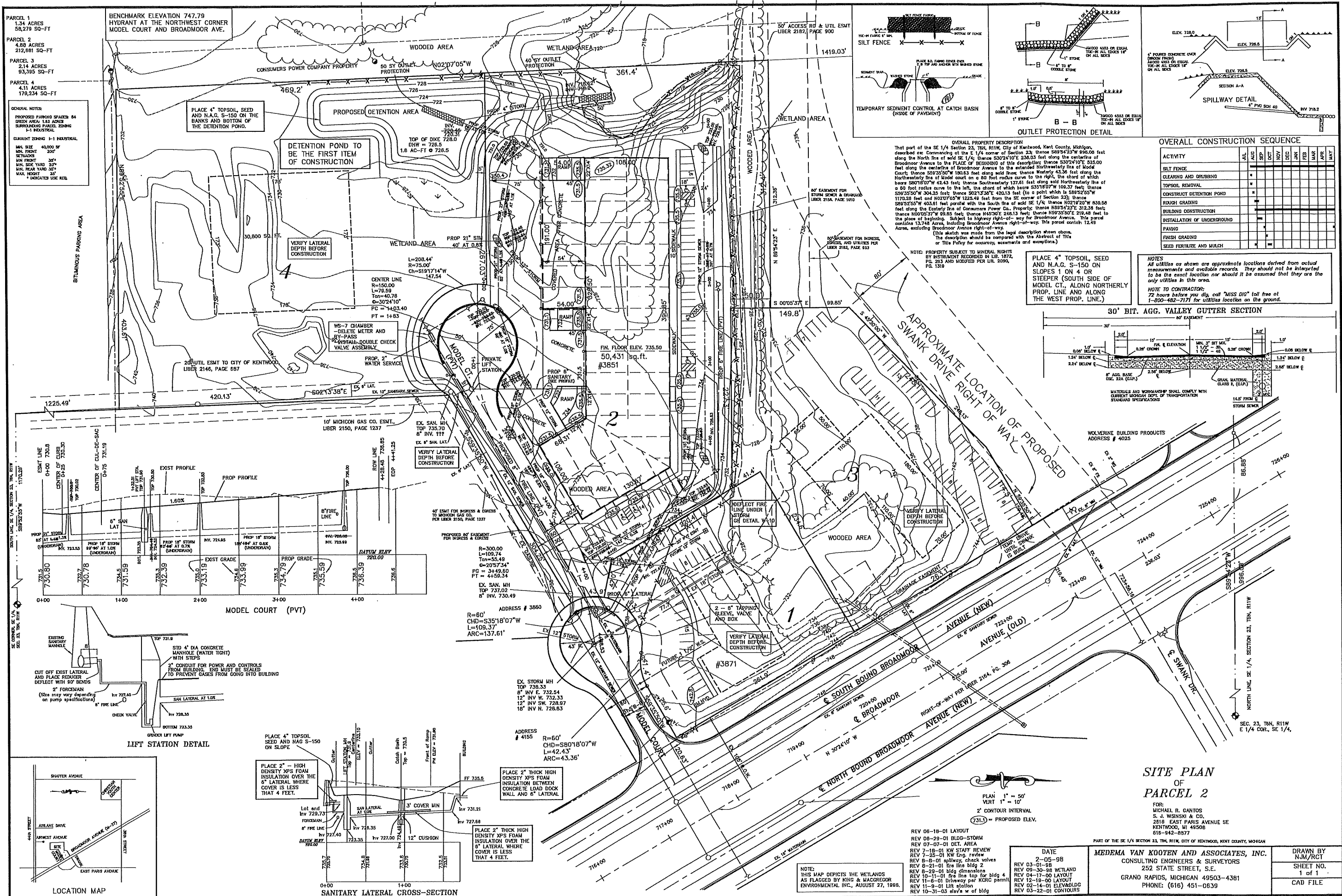
Hours of operations will be 8-4 Monday through Friday and closed on holidays. We expect to have approximately 10 employees. We do not plan on storing vehicles outside the building while waiting for service. However short term parking will be limited to 5 or less at any one time..

STEEL BUILDING





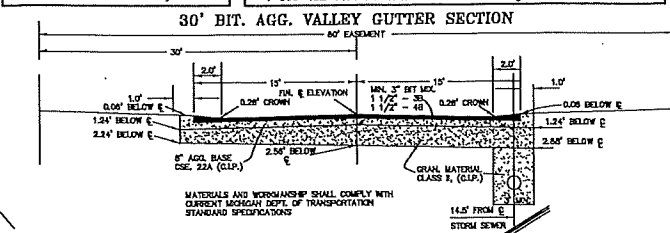
OVERHOLD
CROSS



OVERALL CONSTRUCTION SEQUENCE

ACTIVITY	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY
SILT FENCE											
CLEARING AND GRUBBING											
TOPSOIL REMOVAL											
CONSTRUCT DETENTION POND											
ROUGH GRADING											
BUILDING CONSTRUCTION											
INSTALLATION OF UNDERGROUND											
PAVING											
FINISH GRADING											
SEED FERTILIZE AND MULCH											

NOTES:
All utilities as shown are approximate locations derived from actual measurements and available records. They should not be treated as the exact location nor should it be assumed that they are the only utilities in this area.
NOTE TO CONTRACTOR:
72 hours before you dig, call "MISS DIG" toll free at 1-800-482-7171 for utilities location on the ground.



WOLVERINE BUILDING PRODUCTS
ADDRESS # 4025

SITE PLAN
OF
PARCEL 2

FOR:
MICHAEL R. GANTOS
S. J. WASINSKI & CO.
2818 EAST PARIS AVENUE SE
KENTWOOD, MI 49508
616-942-8877

MEDEMA VAN KOOTEN AND ASSOCIATES, INC.
CONSULTING ENGINEERS & SURVEYORS
252 STATE STREET, S.E.
GRAND RAPIDS, MICHIGAN 49503-4381
PHONE: (616) 451-0639

DRAWN BY
NJM/RCT
SHEET NO.
1 of 1
CAD FILE

REV 06-18-01 LAYOUT
REV 08-29-01 BLDG-STORM
REV 07-07-01 DET. AREA
REV 7-18-01 KW STAFF REVIEW
REV 7-25-01 KW Eng. review
REV 8-8-01 spiliway, check valves
REV 8-21-01 fire line bldg 2
REV 8-29-01 bldg dimensions
REV 10-11-01 fire line top bldg 4
REV 11-6-01 Driveway per KCR permit
REV 11-9-01 Lift station
REV 10-31-03 slope w of bldg

NOTE:
THIS MAP DEPICTS THE WETLANDS
AS FLAGGED BY KING & WAGGONER
ENVIRONMENTAL INC., AUGUST 27, 1998.