



AGENDA
CITY OF KENTWOOD PLANNING COMMISSION
TUESDAY, APRIL 23, 2024
KENTWOOD COMMISSION CHAMBERS
4900 BRETON AVENUE, SE
7:00 P.M.

- A. Call to Order
- B. Pledge of Allegiance (Alex Porter)
- C. Roll Call
- D. Declaration of Conflict of Interest
- E. Approval of the Minutes of April 9, 2024.
- F. Approval of the Agenda for April 23, 2024
- G. Acknowledge visitors and those wishing to speak to non- agenda items.
- H. Old Business

Case#3-24 – Breton Ravines RPUD – Rezoning and Preliminary PUD Approval for a Residential Planned Unit Development Located at 2720 52nd Street, 2854 52nd Street and 5491 Wing Avenue SE (**Applicant has requested tabling to the May 14, 2024**)

Case#8-24 – Hope Haven – Rezoning of 28.93 acres of land from R1-B Residential to RPUD-2 Detached Residential Planned Unit Development and Site Plan Review Located at 5578 Wing Avenue, 5606 Wing Avenue, 5632 Wing Avenue, 5600 Wing (**Tabled from the April 23, 2024**)

- I. Public Hearing

Case#9-24 – 44th Street and Walma Avenue Condominium Project - Rezoning of 4.72 acres of land from C4 Commercial to RPUD-1 Attached Residential Planned Unit Development and Site Plan Review located at the SE corner of 44th Street and Walma Avenue (**Applicant has requested tabling to the May 14, 2024 meeting**)

- J. Work Session

Case#10-24 – Grand Rapids Temple The Church of Jesus Christ of Latter Day Saints – Final Site Plan Review for a PUD Phase located at 2400 Forest Hill Avenue SE



Set public hearing date of May 28, 2024, for: **Case#11-24** – Lakewood West Wing – Preliminary and Final Site Plan Review of a PUD located at 2920 – 52nd Street, 2854 52nd Street, 5253 Wing Avenue, 5491 Wing Avenue; **Case#12-24** – Kentwood Community Center – Site Plan Review for a building in Open Space located at 4755 Walma Ave SE

L. Other Business

1. Commissioners' Comments
2. Staff's Comments

M. Adjournment

*Public Hearing Format:

1. Staff Presentation – Introduction of project, Staff Report and Recommendation
Introduction of project representative
2. Project Presentation – By project representative
3. Open Public Hearing (please state name, address and speak at podium. Comments are limited to five minutes per speaker; exceptions may be granted by the chair for representative speakers and applicants.)
4. Close Public Hearing
5. Commission Discussion – Requests for clarification to project representative, public or staff
6. Commission decision – Options
 - a. postpone decision – table to date certain
 - b. reject proposal
 - c. accept proposal
 - d. accept proposal with conditions.

PROPOSED MINUTES OF THE REGULAR MEETING
OF THE KENTWOOD PLANNING COMMISSION
APRIL 9, 2024, 7:00 P.M.
COMMISSION CHAMBERS

- A. Chair Jones called the meeting to order at 7:00 p.m.
- B. The Pledge of Allegiance was led by Commissioner Holtrop.
- C. Roll Call:
Members Present: Dan Holtrop, Sandra Jones, Alex Porter, Ray Poyner, Darius Quinn,
Doug VanderMeer, Sarah Weir
Members Absent: Ed Kape (with notification)
Others Present: Community Development Director Terry Schweitzer, Economic
Development Planner Lisa Golder, Senior Planner Joe Pung, Planning Assistant Monique
Collier, the applicants and about 50 citizens.

Motion by Poyner, supported by Quinn, to excuse Kape from the meeting.

- Motion Carried (7-0) –
- Kape absent -

- D. Declaration of Conflict of Interest

There was no conflict of interest statement expressed.

- E. Approval of the Minutes and Findings of Fact

Motion by Commissioner Holtrop, supported by Commissioner Quinn, to approve the Minutes of March 26, 2024 and the Findings of Fact for: Case#7-24 – Heyboer Acres Phase 2 – Preliminary Plat and Final Site Plan Review Located at 2500 52nd Street SE;

- Motion Carried (7-0) –
- Kape absent -

- F. Approval of the Agenda

Motion by Commissioner Quinn, supported by Commissioner Porter, to approve the agenda for the April 9, 2024 meeting.

- Motion Carried (7-0) –
- Kape absent -

- G. Acknowledge visitors wishing to speak to non-agenda items.

There was no public comment.

Case#3-24 – Breton Ravines RPUD – Rezoning and Preliminary PUD Approval for a Residential Planned Unit Development Located at 2720 52nd Street, 2854 52nd Street and 5491 Wing Avenue SE (**Applicant is requesting to table to the April 23, 2024 meeting.**)

Motion by Holtrop, supported by Poyner., to table Case#3-24 – Breton Ravines RPUD to the April 23, 2024, meeting.

- Motion Carried (7-0) –
- Kape absent -

I. Public Hearing

Case#8-24 – Hope Haven – Rezoning of 28.93 acres of land from R1-B Residential to RPUD-2 Detached Residential Planned Unit Development and Site Plan Review Located at 5578 Wing Avenue, 5606 Wing Avenue, 5632 Wing Avenue, 5600 Wing Avenue (**Staff is recommending tabling to the April 23, 2024 meeting.**)

Pung stated the request is rezoning of approximately 28.93 acres of land from R1-B Residential to RPUD-2 and Preliminary Site Plan Review. Pung stated his recommendation is to table.

Pung stated this project involves 4 lots, two of the lots have existing homes on them which would be preserved as part of the development. He stated there is significant wetland and floodplain on the property along the south and east and then to the north along the edges of the property.

Pung stated their proposal is for 57 lots. One of the existing homes will be on an outlot not part of the overall PUD. He stated the gross density is 1.97 units per acre and a net density of 2 ½ units per acre. He stated the Master Plan is for low density residential which is less than 4 units per acre, therefore, it is consistent with the Master Plan recommendation.

Pung stated as part of the PUD there is requirement for open space and the intent is to incorporate the open space within the lots and have the open space area covered with an easement to ensure that it is not developed by the lot owners.

Pung stated the applicant indicated that they will not be building the homes, but they would be selling individual lots to people or other developers to build the homes. He stated they will not be constructing the homes themselves.

Pung stated as indicated, the applicant presented a parallel plan showing how they could develop the property with 50 lots under the current zoning. He stated they would like to have 57 lots. They indicated that part of the reason for wanting the 57 lot is that it will cover the increased expenses under the PUD requirements.

Pung stated at the last meeting there were some concerns raised regarding the architecture, the number of lots, speeding, sight distance and accidents.

Pung stated regarding sight distance the applicant's engineer went out and measured the sight distance for southbound traffic and they indicated that they have 452 feet. The minimum requirement at 40 miles per hour is 445 feet; therefore, they are just within the minimum sight distance requirements. Pung stated the City Engineer indicated if that is accurate, they meet the requirements for sight distance.

Pung stated they are keeping the lots to 57, but to address some of the architectural issues they submitted a revised PUD agreement. He stated they are going to require our draft architectural standards that require homes to have at least 4 design elements. He stated they are indicating that each home would have to have at least 5 design elements. They are going above the minimum that we would be requiring. He stated they listed 8 design elements that are going to create more of a country style home and within that each home would be required to use 5 of the 8 design elements. They are also looking to have a minimum unit size of 1,200 square feet of finished living area.

Pung stated regarding speeding he received information from the police department that everything is well within the 85th percentile. Through their studies speeding has not been an issue. He stated regarding accidents, in 2022 there were 2 accidents on Wing. At 52nd and Wing there were 3 accidents and at Wing and 60th Street there were two accidents. He stated in 2021, there were 3 accidents on Wing Avenue and 1 accident on 52nd and Wing Avenue and nothing at 60th and Wing.

Adam Feenstra, with Feenstra and Associates, Project Engineer, 3462 Rockwood Dr. Hudsonville was present. He stated the land is zoned R1-B. He stated provided they meet the standard ordinance requirements of the zoning, the Planning and City Commission would be required to approve that development. He stated they have prepared a parallel plan which meets the R1-B requirements and is also acceptable to the developers. He stated the parallel plan allows for the 50 lots. He stated they would have the right to move forward with that plan for 50 lots under the current zoning. He stated they recognize that there is a wide variety of people that have an interest in how this land gets developed. Therefore, they have submitted the PUD plan. They believe the PUD plan offers a multitude of benefits for the neighbors, the community, the city, the future lot purchasers and the developers. They believe the proposed PUD which represents a slight increase in density, offers a variety of elements which are superior to the R1B parallel plan while at the same time providing for additional input by the Planning Commission, City Commission, and the public.

Feenstra presented the benefits of the PUD plan and contrast those to the parallel by right plan.

1. Buffering and Open Space – the biggest benefit

south property line

- a. PUD plan 13 lots backing up to the property line.
- b. R1-B plan 12 lots backing up to the property line.
- c. PUD plan estimated house distance from property line based on 20' front yard setback (assume 60' deep house due to lot width) = 67 feet
- d. R1-B plan estimated house distance from property line based on 40' front yard setback (assume 40' deep house) = 60 feet
- e. PUD plan provides enhanced buffering due to open space easement

east property line

- a. PUD plan 7 lots backing up to the property line.
- b. R1-B plan 9 lots backing up to the property line.
- c. PUD plan estimated house distance from property line based on 20' front yard setback (assume 60' deep house due to lot width) = 200 feet
- d. R1-B plan estimated house distance from property line based on 40' front yard setback (assume 40' deep house) = 70 feet
- e. PUD plan provides enhanced buffering due to shorter cul-de-sacs and open space easement.

north property line

- a. PUD plan 3 lots backing up to the property line.
- b. R1-B plan 3 lots backing up to the property line.
- c. PUD plan estimated house distance from property line based on 20' front yard setback (assume 60' deep house due to lot width) = 220 feet
- d. R1-B plan estimated house distance from property line based on 40' front yard setback (assume 40' deep house) = 90 feet
- e. PUD plan provides enhanced buffering due to shorter cul-de-sacs and open space easement.

north 1/2 of west property line

- a. PUD plan 6 lots backing up to the property line.
- b. R1-B plan 4 lots backing up to the property line.
- c. PUD plan estimated house distance from property line based on 20' front yard setback (assume 60' deep house due to lot width) = 60 feet
- d. R1-B plan estimated house distance from property line based on 40' front yard setback (assume 40' deep house) = 60 feet
- e. PUD plan provides enhanced buffering due to open space easement.

south 1/2 of west property line

- a. PUD plan 5 lots backing up to the property line.
- b. R1-B plan 4 lots backing up to the property line.
- c. PUD plan estimated house distance from property line based on 20' front yard setback (assume 60' deep house due to lot width) = 70 feet
- d. R1-B plan estimated house distance from property line based on 40' front yard setback (assume 40' deep house) = 60 feet
- e. PUD plan provides enhanced buffering due to association maintained evergreen screen.

2. Natural Benefits

- a. 11.87 acres open space (40% of total development area) preserved with the PUD vs no open space preserved with the R1-b plan.
- b. 7.71 acres of forested land disturbed for 57 houses with the PUD vs 12.57 acres of forested land disturbed for 50 houses with the R1-b plan.

3. Neighbors benefits

- a. 1,200 SF minimum house size with the PUD vs 1040 SF with the R1-B.
- b. Architectural requirements with the PUD to help ensure the development is cohesive with existing houses.
- c. Better buffering to the neighbors with the PUD plan vs the R1-B plan.

4. Traffic

- a. As brought up in previous meetings the city engineer has stated that there is sufficient capacity on Wing Ave for the proposed development.
- b. Wing Ave is fairly hilly and there were some concerns about sight distance at the proposed intersection. We have physically measured the sight distance and found it is sufficient to meet MDOT requirements.
- c. The 50 lots of the R1-B plan vs the 57 lots of the PUD plan will not make a noticeable difference in overall traffic.

5. Pedestrian Traffic

- a. Sidewalks are required by the city for the development. Since sidewalks are not desired in Wing Ave we will plan on our sidewalks being internal only. While this may not be common in the City of Kentwood there are many suburban developments that do not have sidewalk connectivity outside of the development. People still use these sidewalks every day for exercise and general enjoyment of the outdoors.
- b. Via the open space the PUD will allow residents access to natural, undeveloped areas without needing to walk down Wing Ave to either Paris Park Drive (to the Paris Park Nature Reserve) or to the Paul Henry Trail.

6. City Benefits

- a. Adapting and exceeding the city's proposed architectural requirements with the PUD.
- b. Less road to maintain and plow with the PUD vs the R1-B plan.

- c. Wider tax base with the PUD plan.
- d. Better emergency response time with the PUD due to shorter roads.

7. Developer Benefits

- a. Less infrastructure cost with the PUD
- b. Less conflict with adjacent property owners with the PUD
- c. Better overall lot value due to preserved natural areas with the PUD

8. Perspective Lot Buyers Benefit

- a. Bring your own builder, this is a benefit with either plan.
- b. Design your own house, no set house plans to pick from, this is a benefit with either plan.
- c. Better resale value since future buyers will appreciate the architectural diversity that the variety of builders and house plans bring to the development. This will be true for either plan but the PUD would see more benefit by ensuring some overall cohesion to the development so your country Victorian doesn't end up next to a modern flat roof house.
- d. More trees, more shade on more of the lots with the PUD.
- e. Cheaper lot prices since the infrastructure cost is less with the PUD.

Feenstra stated they feel that the PUD benefits all interested parties over the R1-B Parallel Plan and asked for support and approval.

Jones opened the public hearing.

Dwight Lemmon, 3036 Paris Park; John Houghton 3241 Paris Park; Bonnie Huyser, 3029 Paris Park; Jill Anderson, 5615 Wing Ave; Troy Smith, 3118 Paris Park; Terry Jacobs, 3195 Paris Park; Tom Black, 2251 Wolfboro, Angela VanHouten, 3191 Paris Park; Attah Obande, 5570 Wing; Gary Wernlund, 5483 Settlers Pass; Mark Anderson, 5615 Wing Ave; David Moore 2nd Ward City Commissioner 3170 Lindenwood Dr; Donna Edoff, 5496 Wing; Dave Owsinski, 3065 Paris Park; Jonathan Delange, 3062 Paris Park were present.

Their concerns were they look like starter homes, the lot sizes, density, safety, traffic, accidents, displacement of wild life, wetlands, will hydrants be put in, where will all the water go, detention ponds, how will people get from the development to Paris Park; a light at 52nd Street and Wing Avenue, has there been an environmental study done, will there be additional police and fire with the additional people in the community; will school buses be able to maneuver, will this disrupt the drainage and pollute the existing creek.

Motion by Holtrop, supported by Poyner to table the public hearing to April 23, 2024.

- Motion Carried (7-0) –
- Kape absent -

Spencer Galloway, owner of the property, was present. He stated he is confused about why staff is recommending tabling. The three reasons staff discussed tabling have been addressed. He stated the notice that was sent to the public did not indicate that the request would be tabled. He stated if there are things related to the PUD that they would like for them to add more information to he understands, but if not, they would like to move forward. He stated at the last meeting there was mention that they would only want to see 50 lots or nothing. He stated and if that is the case, they would like to know that and then they would proceed with the by right plan and abandon the PUD. If they are open to consider the PUD, they would like to know that and know the things they would like for them to address and not just have an open meeting not knowing what they are addressing.

Galloway stated he appreciates the comments from the residents. He stated he understands that nobody wants to see open space developed in their neighborhood and he can sympathize with that. However, there is a demand for housing. He stated the land was for sale, they studied the zoning that applies to the property and understood what they could build and purchased the property. He stated he thinks the PUD plan is superior. It makes the lots smaller but the reason it does that is to provide the open space and buffering and guaranteed buffering to the neighborhood. He stated they were trying to be sensitive to the neighbors with the PUD plan. Galloway stated there is no land left in Kentwood. He stated they bought the land to develop it. He stated if the City would like to turn that land into a park they would be happy to sell it to them. They would just keep the two homes that are there and sell the rest of the land. He stated if the community wants to put their money together and buy the property from them and leave it undeveloped they are happy to consider that too. He stated they hope to develop something positive to the community and allow a number of people to move into this area and have a home in Kentwood.

Galloway stated as it relates to speed and traffic that should be addressed by police traffic enforcement. He stated he realizes this will increase the traffic on the road, but it doesn't increase it beyond the design standards for the road. He stated hopefully when they put Breton in, it will relieve a little bit of the traffic pressure.

Galloway stated as it relates to water run off, all the water that runs off this land, all the driveways have to slope to the street, all the water runs into the storm sewer, the roof drains into the front and into the sewers and then all that water goes into the retention pond and it has to be held there. Whatever the engineer says, they calculate how much water naturally runs off of that land currently and they say you can not discharge that water any faster than what it currently is into the creek or into the neighbors' backyards. He stated if it is engineered properly, they should not see an increase in runoff that comes from this development.

Quinn stated he has heard all of the neighbors. He stated one of the primary concerns he continues to hear was the traffic light at 52nd and Wing Avenue and questioned what would need to happen for a traffic light to be considered. Schweitzer stated when Wing Avenue was constructed a few years back, part of the analysis was to look at the traffic in the area. There was a recognition that there was a lot of delay at that intersection that was caused for concern. At the point that the improvement was made it was still at a threshold that was considered to be

reasonable. Schweitzer stated as time goes on and as traffic routes change, we have to be cognitive of that. There is a process by which there would be an analysis of the activity taking into account the number of vehicles going through there, speeds of traffic and delays during parts of the day. He stated those things are factored into place to determine at what point whether that improvement would take place. Quinn questioned if we could make that a condition of approval to have the analysis done at 52nd and Wing Avenue.

Quinn stated at the last meeting he remembers 49 lots and questioned what they are looking for. Galloway stated there have been several plans and has had reconfigurations. Galloway stated the last reconfiguration allows for 50 lots. He stated they are comparing the by right plan of 50 lots or the PUD request at 57 lots. Quinn stated a few of the commissioner stated 49 lots is fine and he still stands by that to keep the character of the community.

Quinn questioned if there has been any discussion with neighbors. Galloway stated there was been an attempt to meet with each of the adjoining neighbors. They weren't able to connect with all of them. There were 17 that they were able to connect with.

Galloway stated if you look at the perspective that there is going to be one or the other there is much more open space on the PUD plan, there is guaranteed open space, there are barriers that cannot be destroyed. Whereas if people owned their lots within the by right plan, they can do what they want. Discussion ensued. Galloway stated they would be happy to meet with homeowners if there could be a consensus.

Porter stated this is tough, because you want to preserve the ground and the property. Porter questioned the water, is there something to be done to ensure they are not going to have a lot of water. Porter stated there is a lot of water that goes through there. Is the rule that it has to match the current flow or can the City Engineer look at something that would help the neighborhood. Feenstra stated the rule currently in the City of Kentwood is a release rate of .26cfs per acre of land. Feenstra stated chances are they would be reducing the rate that they are outleting water. If there are problem areas downstream or where their outlet is, they would be open to discussions with the City Engineer about reducing that rate even further to help protect downstream. Feenstra stated there are always pros and cons to everything. If you restrict it further, it can cause unintended issues. You have to be careful when you balance that. Feenstra stated drainage is also a major consideration with any development. Discussion ensued. Porter stated this may be an opportunity to engage and work through this and actually improve their drainage situation he doesn't know but it is worth discussing.

Porter stated one of the questions that was raised was about well water. He questioned if anything they are doing with the drainage is going to change the water level for well water. Feenstra stated the current regulations are that residential wells have to be dug to a depth of greater than 25 feet; unless the well is old, they will be operating at a depth greater than 25 feet. Any dewatering that they would have to do would be for sanitary sewer. In that case they are digging down to a depth of 15 to 16 feet. The chance of impacting a well that is deeper than 25 feet he doesn't see it. Discussion ensued. He stated he couldn't guarantee that they wouldn't impact a shallow well, but he doesn't think they will.

Porter stated some of the residents mentioned the environmental study and questioned what are the rules about that. Pung stated that isn't a requirement of our zoning ordinance. Porter stated there was mention regarding the flowers and the plants that were in the area that were unique. He stated there is a lot of wildlife; deer, turkeys, fox and wanted to know what is possible. Feenstra stated they had a company who specializes in wetland delineations come through the site and mark up the property. They just received an official report from them and their plan is to send that to EGLE for confirmation of the wetland delineation where they go out and double check the work. Feenstra stated when they go in for any environmental impact permit for any small area of wetlands they might impact; EGLE automatically does an endangered species analysis as part of that permit application. Porter questioned if study would be made available. Feenstra stated he will send it to staff as part of the packet.

Porter questioned what it will take to look at the CIP cost to put in a bike trail for a sidewalk through the neighborhood down to the trail so that it is a safe way to use the sidewalk and get into the trail system. City Commissioner Moore stated that would be a team effort, something they would look at very carefully to make sure that they are addressing all needs. Porter stated he is very concerned because there is no room for pedestrians. Galloway stated they would be willing to pay for the excavation and the installation of a bike path or sidewalk from their development as far as Paris Park street.

VanderMeer stated the Planning Commission is trying to find the happy median to please everybody. VanderMeer questioned what were some of the comments from the neighbors that he has been in contact with. Granzotto stated he dropped off pamphlets and knocked on doors. Granzotto stated the overwhelming comment is that in the mornings they are not able to turn onto 52nd Street from Wing Avenue, some people said that they don't want anything there, others were more receptive.

VanderMeer questioned the tree preservation. Feenstra stated there are street tree and landscaping requirements. One of the architectural requirements options in the City is various landscaping and when they require 5 out of the 6 options, he almost guarantees that everyone will pick the landscaping option. Pung stated there are 3 trees in the architectural plan and that would be in addition to 1 street tree for every 80 lineal feet of road on both sides. Feenstra stated you would be looking at 4 trees per lot.

Holtrop stated the developer asked what he needed to do before the next meeting. Holtrop stated from his standpoint, it was the number of homes. He likes that he has included the design standards he was more in favor with the lower number of homes. He stated by right 50 lots and the PUD 57 lots, if he could come back with a happy median that would be good to him. He stated he also understands the economics. Holtrop mentioned that the developer has the right to develop and trying to do the best he can and if somebody wants to buy it from him and do what they want, they can do that as well.

Weir thanked the residents that have come out. She stated she agrees with the other commissioners.

Poyner stated he agrees with the commissioners regarding the traffic, safety, tree preservation, the bike path, water retention, and architectural design standards. He concurs with everything that was said. Poyner stated if it really is truly an interest in the neighborhood of trying to preserve it and not have it developed, there may be an opportunity to get together and pull money together and see if the developer will sell them the land that is always an option.

Carson Galloway stated the benefits of the PUD is that there is a lot less lineal footage of road that would need to be maintained by the City and the natural preservation. He stated with the PUD it is pulling the houses further away from all the property lines instead of them being able to build closer to their neighbors. He stated trees are able to be maintained and required to be maintained by anybody that builds there. The houses have to be built closer to the road because the PUD standards are 20 feet off the road, the R1B standards are 40 feet. He thinks that consolidating the houses to bring it away from the neighboring properties and maintaining the trees he sees this as a major benefit. Discussion ensued. Galloway stated what they are trying to get everyone to understand is the benefits of the 57 lots of the PUD. He stated leaning towards the 50 lots takes away all those potential benefits. He stated there would be 5 acres of forested land that would have to be disturbed.

Quinn questioned if there is a way we can hear from the community. He would like to know how important the maintaining of wild life and open space actually is to the community. How can we find out what the community desires. Jones stated based on what the community has heard tonight, they have the opportunity to come back on April 23 and will have the opportunity to think about the pros and cons of the two plans.

Jones stated we have heard the concerns of the community. She stated it has happened where the neighbors pulled their funds and came together and purchased property that they don't want developed. She stated the only way you can control what someone else does to property they own is to buy it from them. She stated the commissioners are in a situation where you can look at the PUD with the benefits although it is 57 homes. She stated with the benefits of a PUD, that offers a measure of protection because you know what will be going in there versus what they can do by right under R1B. She stated they can sell those plats and people who buy them can do whatever they want within the law. She stated the way the developer has designed the PUD in such a way that it shields people's eyes from having to see this development very easily from the roadway is a benefit as well. She stated the community mentioned that these are starter homes; these will be homes in the 450k-500k range. These are not starter homes, they have been willing to work with us in terms of designs. Discussion ensued. Jones stated she is hoping that there will be continued conversation between the developers and the neighbors.

Pung stated the developer wants to know if they are ok with the 50 or 57 lots. He needs to know how many lots the commissioners prefer. Jones stated she is fine with 57 lots only because of the PUD and the protections that come with the PUD. Quinn stated he is fine with the 57 specifically for the greenspace, preservation and maintain habitat for the wildlife. Porter stated he is leaning towards 57 because if we are going to not impact the environment, they are going to live closer together. There are more lots tight together but that leaves more room for the environment. VanderMeer stated he is looking for what the developer feels based on what he has

heard. Holtrop and Poyner stated less than 57 would be better. Weir stated she is leaning towards the 57 lots to have more control of what it is going to look like.

J. Work Session

Case#9-24 – 44th Street and Walma Avenue Condominium Project - Rezoning of 4.95 acres of land from C4 Office to RPUD-1 Attached Residential Planned Unit Development and Site Plan Review located at the SE corner of 44th Street and Walma Avenue

Golder stated the request is to rezone 4.72 acres of land, it originally stated 4.95 acres, but that included the ROW. She stated the applicant is looking for a rezoning from C4 to RPUD and Preliminary and Final PUD site plan approval.

Golder stated they are looking at a 33-unit condominium units. She stated we amended the Master Plan in 2022 from office to medium density residential. She stated medium density is 4-8 units per acre. She stated the commissioners felt more comfortable about limiting the density to 6 units per acre; but were willing to look at the design to determine if it could go to the higher end of the 4 to 8 units per acre.

Golder stated the concerns that the commissioners had with the Master Plan was no rentals, adequate buffer on 44th Street, the appearance of buildings that face 44th Street, internal and external sidewalks and visitor parking and site amenities.

Golder stated looking at the site it drops towards the back. There are wetlands on the south side and the stormwater detention will end up in this location. She stated they have a driveway access onto 44th Street and then a main east/west driveway and then a north/south driveway.

Golder stated there will be 33 attached condominiums with 3-5 units attached and two different styles. There will be 2-3 bedroom units 12 of them have 2 stall garages and the rest will have 1 stall garages. There will be 12 extra parking spaces throughout. She stated those that have the 1 stall garage their second space comes from the driveway in front of the 1 stall garage.

Golder stated the density of the development is medium density residential coming in at 6.99 units per acre. That is the gross density. She stated we still need more information on the net density. She stated it basically meets our rezoning criteria. The proposed private roads are 22 feet in width. The east/west road has 25 units. She stated if this were outside a PUD that private road would have to be a 60-foot easement with 30-foot pavement with two sides of sidewalk. She stated in a PUD we use these standards as guidelines. She stated they have one side of sidewalk on those two streets; a 24 foot easement and a 22-foot paved street. She stated that seems narrow to her. She stated in a parking lot for 90-degree parking, we require a 24 foot of drive aisle, therefore it seems

narrow at 22 feet. She stated however, we do have some narrow streets in PUD's within the City. Discussion ensued regarding narrow streets.

Golder stated there is a patio right next to a parking space and there is only 15 feet from the drive aisle to the garage, if a car parked there it would be a clear vision issue.

Golder stated the waivers they are looking at is the 16-foot house setback. The RPUD-1 requires 20 feet.

Golder stated the overall acreage for a PUD had to be 5 acres and this is 4.72 acres therefore they would need a waiver for that.

Golder stated regarding the architectural standards, the developer proposed two different building types. She stated transparency is 12% and 17% for each. She isn't sure what other architectural standards features are proposed but they meet the transparency requirements.

Golder stated she attached to the staff report homes that have been built in Allendale she thinks they look good. They have stone on the front which wraps around the porch

Mike Corby, with Integrated Architecture, 840 Ottawa, Grand Rapids was present. He stated they have gone through the Master Plan amendment. He stated they originally came with a plan that had closer to 40 units on the property. He stated they are now at 33 units. He stated they want to construct a quality development. He stated this property has challenges. They now have a plan with 8 buildings on the property. They are working with the grades. Some of the units are walkouts to take advantage of the grades, and some of them back up to 44th Street and they have accommodations for screening.

Corby stated they are requesting to rezone to a PUD. They are under the 5 acres but the request for them to pursue PUD came from City Staff and Planning Commission so that the plan could have some of the benefits that you get from a prescriptive zoning like the PUD.

Corby stated one of the challenges was the berm and the setback on 44th Street. He stated they have a 40-foot setback along the north property line. They will be providing a berm as well as landscaping. That was one of the conditions that was discussed in early conversations.

Corby stated they are within the zoning density requirements. They had to reduce the number of units that they showed to achieve that and also to get the greenspace. They feel it is a good combination of adding greenspace and still getting a project that makes economic sense.

Corby stated the internal sidewalk connections that were mentioned, they also have them connected to the current city sidewalk network both on Walma Avenue and 44th Street.

Two sidewalk connections are on 44th Street and then one that heads west towards Walma.

Corby stated they are not touching the wetlands. The wetlands in their current state will be preserved. He stated they do have the large detention area. He stated they met with staff and the City Engineer indicated that the standards that you have to go through now for stormwater actually improve the rates of runoff and the runoff situation.

Corby stated staff's comment that came after the staff review work session was to increase the easterly setback from 20 feet. He stated they considered it a sideyard because they are looking at 44th Street as the front. He stated staff pointed out because the units are backing up to the east property line it should be looked at more as a rear yard setback so they increased that to the minimum 30 feet, and up to 35 feet. That allowed them to address preserving the existing trees lot that are on the east property line.

Corby stated they got some specific comments on the architecture and they will be looking at that before they make formal application for the rezone. He stated Bosgraff is known for their quality design and appreciated staff for going out to the project that they are emulating.

Corby stated that they are not subject to private drive requirements, but there are things that make roads, driveways and vehicular movement safe. He stated the wider the road, the more lane you have, the faster you go. He stated in their development they will not allow parking on the road. That is why they are adding separate parking spaces for guests. The 26-foot-wide roads to the east of this development allows parking on the road.

Corby stated they meet the clear vision corners. Some of the drives are close but they meet the clear vision corners. He stated the 16-foot waiver is only for one building. They have 8 buildings on the property and there is one building they are requesting a waiver from the 20 foot to the 16 foot setback. All the other buildings have at least 20 feet of greenspace from the pavement to the building. He stated the minimum drive depth is 20, feet many of the driveways are deeper than the 20 feet. Their driveway width does not include a 5-foot sidewalk that is planned on one side.

Poyner questioned where the sidewalks will be. Golder stated that they should extend to Walma and 44th Street. The proposed sidewalk goes up the east/west street and the north/south street. Corby stated they connect through the whole project with the sidewalk that goes out to Walma.

Poyner questioned if the buffering will screen the back of the condos. Golder stated that is the intent. They described it as being similar to Cobblestone (on the north side of 44th Street).

Weir questioned the price point. Mike Bosgraff stated that the homes would be in the 350-400k range. Weir stated she likes the look.

Holtrop questioned the parking. Corby stated each unit will have 2 spaces that they own and the end units will have 4 spaces and then the extra spaces for guests. Bosgraff stated the advantage of a condominium project is they are able to restrict parking by their association bylaws and restrictions. They will restrict parking on the drive. Holtrop stated there was concern about traffic, but he thinks the traffic is going to be ok. Holtrop stated the transparency is good, he likes the stone, he likes the horizontal stripes. For building 2 break up the horizontal stripe. Another feature can be a band board. Bosgraff stated they can go about 8 feet with siding before they need a band board. Corby stated they have the renderings of the elevation.

VanderMeer stated he is struggling when he looks at the corner and sees the wetlands. He stated architecturally they did a nice job it meets the transparency requirements.

Porter questioned where they will put the snow. Corby stated they do have some areas that don't have either parking or drives. They don't have a lot. Porter stated he likes where the drive is on 44th Street.

Quinn questioned if there was a patio area. Corwe stated there is a community social area. It may just be a nice sitting area that has views of the wetlands or a firepit the city stated as long as it is a gas type firepit unit it would be allowed. Quinn stated 44th Street drive may be challenging, but he will trust what the experts say.

Jones stated the streets seem extremely narrow. She stated she has concerns about the lack of parking especially on the holidays when you have family gatherings. Jones stated she doesn't like the sidewalk only on one side. She thinks about the ones who have mobility challenges. And also, if someone has children, it is a safety concern. Jones stated she doesn't want to see people parking their cars over the sidewalk. Jones stated she likes this, but she can't support this because of the sidewalk on one side and parking over the sidewalks.

K. New Business

Motion by Holtrop, supported by Quinn, to set public hearing date of May 14, 2024, for: Case#10-24 – Grand Rapids Temple The Church of Jesus Christ of Latter Day Saints – Final Site Plan Review for a PUD Phase located at 2400 Forest Hill Avenue SE

- Motion Carried (7-0) –
- Kape absent -

L. Other Business

1. Commissioners' Comments

Holtrop stated there was a LUZ Committee meeting prior to the Planning Commission meeting. At Eastern and 48th the owner could put in 11 homes, but he would prefer to put in 16 townhouses. Then he said he wanted to rent them. The commissioners explained why they don't want more rentals.

VanderMeer wanted a comparison of homes being built in other communities versus the homes that are being built in Kentwood.

2. Staff's Comments

Golder stated Storage 5 was approved at City Commission.

Golder stated she made contact with Lowes and they may be coming in for a special land use amendment.

M. Adjournment

Motion by Commissioner Weir, supported by Commissioner Poyner, to adjourn the meeting.

- Motion Carried (7-0) –
- Kape absent -

Meeting adjourned at 10:15pm

Respectfully submitted,

Ed Kape, Secretary

Golder, Lisa

From: Dan Larabel <dlarabel@allenedwin.com>
Sent: Wednesday, April 17, 2024 12:26 PM
To: Golder, Lisa
Subject: RE: information for packet

Sorry about that. Please table the Breton ravines application to the May 14 meeting.

Dan Larabel
Land Manager
Allen Edwin Homes
O: 616-878-1748 x428
M: 616-450-4631
dlarabel@allenedwin.com

From: Golder, Lisa <GolderL@kentwood.us>
Sent: Wednesday, April 17, 2024 12:04 PM
To: Dan Larabel <dlarabel@allenedwin.com>
Subject: RE: information for packet

Dan:
The next meeting date is May 14....can you amend your email to ask to table until then? Thanks!

Lisa

From: Dan Larabel <dlarabel@allenedwin.com>
Sent: Wednesday, April 17, 2024 11:51 AM
To: Golder, Lisa <GolderL@kentwood.us>
Subject: RE: information for packet

Hi Lisa,

I do not. Please keep our application tabled until the May 7th meeting.

Dan Larabel
Land Manager
Allen Edwin Homes
O: 616-878-1748 x428
M: 616-450-4631
dlarabel@allenedwin.com

From: Golder, Lisa <GolderL@kentwood.us>
Sent: Wednesday, April 17, 2024 11:39 AM
To: Dan Larabel <dlarabel@allenedwin.com>
Subject: information for packet

Hi Dan:
Will you be submitting something for the Planning Commission packet?

PLANNING STAFF RECOMMENDATION

Pung 04/17/2024

PROJECT: Hope Haven

APPLICATION: 08-24

LOCATION: 5578, 5606, 5632, & 5600 Wing Avenue

HEARING DATE: April 23, 2024

REVIEW TYPE: Rezoning of 28.93 acres from R1-B Single Family Residential to R-PUD-2 Detached Residential Planned Unit Development.

RECOMMENDATION: Recommend to the City Commission conditional approval of the request to rezone 28.93 acres from R1-B Single Family Residential to R-PUD-2 Detached Residential Planned Unit Development as described in Case No. 08-27. Approval is conditioned on the following:

- CONDITIONS:
1. Review and approval of a PUD Agreement and Condominium Master Deed by city staff and the city attorney's office. The PUD Agreement shall be consistent with the attached draft PUD Agreement submitted by the applicant including but not limited to the following amendments:
 - a. A final tree preservation plan shall be submitted for review and approval by Planning staff prior to commencement of site work. No tree designated on the approved plan to be preserved and protected during construction shall be removed from any lot without prior approval by the staff. Trees to be preserved must be fenced during construction whenever necessary for the protection of such trees. Any of those trees, designated on the approval plan for preservation, which die or are removed during construction shall be replaced by the developer with a tree of at least 4 inch caliper of the same species or other species as required or approved by Planning Staff.
 - b. Restrictions prohibiting the rental of more than one home/unit by a single purchaser. (restriction shall be included in the Condominium By-laws)
 2. City Commission approval of the preliminary PUD Plan dated April 17, 2024.

3. City staff and the developer shall work to determine if a pedestrian path along Wing Avenue between the proposed street entrance for the proposed development and Paris Park Drive to the south is feasible. If determined to be feasible the applicant shall contribute the soil preparation and pavement for such a path.
4. Building elevations to be consistent those submitted by the applicant (attached) and shall meet or exceed the draft architecture standards (attached) as identified with the PUD Agreement. These elevations shall be used by staff for evaluating the Developer's compliance with the architectural standards and are not intended to prevent the Developer from utilizing other architectural styles. Architectural diversity to be provided among adjacent homes and throughout the development through the use of front porches, varying building lines, garage placement, window placement, number of windows, daylight windows, color, texture, building materials (brick, stone etc.), etc.
5. Review and approval by staff of a final landscaping plan. Final landscaping plan to provide, at a minimum, the landscaping depicted in the site plan dated 04/17/24.
6. Review and approval by city staff and city attorney of open space and landscape easements.
7. The out lot identified along Wing Avenue shall be connected to both public water and sewer if not currently connected.
8. Compliance with all applicable Engineering Department regulations and requirements.
9. Compliance with all applicable Fire Department regulations and requirements.

BASIS:

1. The PUD Agreement will address issues such as architectural standards, tree preservation, dedication of open space, and other requirements and restrictions. The review and approval of these documents will hold the development to these standards and give additional direction to the developer as the project develops.
2. The rezoning is consistent with the Master Plan recommendation for low density residential development (less than 4 units per acre). The net density of the development would be approximately 2.53 units per acre. The density of the development is consistent with Section 12.04.A which states that the number of dwelling units would be determined through an alternative conventional plan and in

accordance with the Land Use Plan of the City's Master Plan. In researching other developments where alternative conceptual plans were available, the increase in units from the conceptual plan to the approved PUD plan ranged from 44 percent to 233 percent based on the merits of the development and the Master Plan recommendation.

3. The development preserves approximately 40% (11.87 acres) of the site as open space (37% of which is exclusive of wetlands and detention area) which exceeds the minimum required 25%.
4. The development will preserve the majority of the wetlands located on the property.
5. The proposed development is consistent with the Kentwood Master Plan recommendation for low density residential development.
6. The site is suitable for the proposed use.
7. The site is adequately served by essential public facilities and services.
8. The development provides the following benefits that might not otherwise possible under conventional zoning:
 - Ensures the perseverance of wetlands and open space.
 - Homes will exceed the minimum architectural requirements proposed by the city.
 - No builder would be allowed to purchase more than 1/3 of the total lots.
 - Builders purchasing multiple lots shall be spread throughout the development as much as practicable. Builders owning adjacent lots shall not build the same model home on the adjacent lots.
 - Minimum finished living area of 1,200 square feet for single story homes and 1,400 square for two-story homes.
 - Preservation of trees
 - Landscape screening.
9. To help ensure that the deed restrictions and easements make it clear to property owners what the restrictions (such as prohibition one fencing, tree removal, etc.) and requirements are for the open space easements areas and to ensure the open space areas remain as common open space usable and accessible to all residents of the development..
10. Representations made by the applicant and applicant's representatives at the work session and public hearing.

11. Discussion at the work session and public hearing.

Pung, Joe

From: Adam Feenstra <Adam@feenstrainc.com>
Sent: Wednesday, April 17, 2024 10:36 AM
To: Pung, Joe
Cc: carson.galloway; Spencer Galloway; Paul Granzotto
Subject: [EXTERNAL]Hope Haven PUD
Attachments: Hope Haven PUD 041724.pdf; PUD DEVELOPMENT AGREEMENT 04172024.pdf

⚠ Stop.Think.Read.This is an external email. Please use caution when clicking on any links or opening attachments.

Joe,

The following changes have been made since our last submittal.

1. The open space easement has been extended along the backyards of lots 7-12 to ensure that buffer remains in tact.
2. The west property line buffer has been extended along the back of lots 52-53. The homeowners actually weren't overly concerned about the screening so I didn't show a double row, but we wanted to make sure something was added there.
3. I added a couple of trees to kind of fill in the gap left by the driveway to the existing house.
4. A note was added about screening along the East property line next to the detention basin. It's a little vague, but the intent is to let the owner see how things look after construction and decide where we can place screening for maximum effect.
5. I made the open space easement line much bolder and added additional labels for it to the plan.
6. Requirement #4 on the PUD plan has been updated to include language about connecting the outlet to sanitary sewer.
7. Section "E" of the PUD agreement has been expanded to include
 - a. Developer review of all building plans
 - b. No more than 1/3 of lots to any single builder
 - c. Minimizing adjacent lots owned by a single builder
 - d. Requiring different house plans for adjacent lots built by the same builder.
 - e. Adding a minimum 10" eave requirement.
 - f. Expanded on the floor area requirement to clarify two story information.
8. Section "F" Walkability of the PUD agreement has been modified to include our offer on the pedestrian connection to Paris Park Drive.
9. We modified the PUD agreement to make the 3 tree landscaping element required for all lots. About ½ the lots will already meet this requirement due to existing trees, but it will ensure the other lots plant trees to replace the canopy cover lost with the construction of the development. We are maintaining our overall 5 element requirement.
10. An "Other Features" section of the PUD agreement has been added to the PUD agreement after section "G" Open Space Features. This section has restrictions on backyard lighting, trespassing, and confirms the association maintenance of the landscape buffers shown on the PUD plan.

I'm working on printing the 12 sets now and will get them dropped off soon.

Respectfully,
Adam Feenstra
Feenstra and Associates, Inc.
(616) 457-7050

PUD DEVELOPMENT AGREEMENT

This PUD Development Agreement (the "Agreement") is executed this day of _____ 2024, between the **City of Kentwood**, a Michigan municipal corporation, who's address of is 4900 Breton Avenue, S.E., P.O. Box 8848, Kentwood, Michigan 49518-8848 and shall be known as (the "City") and 5632 Wing Ave LLC, a Michigan limited liability company, the address of which is 55 Campau Ave NE, Ste 300, Grand Rapids, MI 49503.

BACKGROUND

- A. The Developer. The Developer is 5632 Wing Ave LLC this can be converted through another accepted LLC.
- B. Property. The Developer has an interest in approximately 29.51 acres of real property located on Wing avenue and between 60th St. and 52nd St. in the City of Kentwood, Kent County, Michigan (the "Property"), is described as:

That part of the Northeast 1/4 and Southeast 1/4 of Section 34, T6N, R11W, City of Kentwood, Kent County, Michigan, described as: Beginning at the East 1/4 corner of said Section; thence S00°06'49"E 598.54 feet along the East line of the Southeast 1/4 of said Section to the North line of the South 22.00 acres of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N88°15'29"W 1329.76 feet along said North line to the West line of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N00°00'55"E 176.93 feet along said West line; thence S88°15'29"E 240.00 feet; thence N00°00'55"E 380.00 feet; thence N88°15'29"W 240.00 feet to the West line of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N00°00'55"E 44.30 feet along said West line to the Center of Section; thence N00°07'51"W 37.00 feet along the West line of the Northeast 1/4 of said Section to the North line of the South 37.00 feet of the Northeast 1/4 of said Section; thence S88°08'37"E 479.26 feet along said North line to the East line of the West 478.50 feet of the Southeast 1/4 of the Northeast 1/4 of said Section; thence N00°07'51"W 622.48 feet along said East line to the North line of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section; thence S88°05'47"E 851.77 feet along said North line to the East line of the Northeast 1/4 of said Section; thence S00°11'06"E 658.80 feet along said East line to the Point of Beginning. Contains 29.51 acres.

- C. Current Zoning. The Property is currently zoned R1-B.
- D. Request. Developer is requesting the Property be rezoned to a RPUD-2 Detached Residential Planned Unit Development.

E. Description of Project and Architectural Features.

1. The Developer will record all related documents as a Site Condo.. The Project will include 57 lots (the "Units"). Each Unit will be eligible for separate ownership.
2. The developer will review and approve all building plans before construction for compliance with all requirements outlined in this agreement.
3. To help ensure architectural variation no builder shall be allowed to purchase more than 1/3 of the total development lots (19 lots).
4. Should a builder purchase multiple lots those lots shall be spread throughout the development as much as practical.
5. Any builder with that ends up owning adjacent lots shall not be allowed build the same model house side by side. Adjacent houses must be a noticeable different model house.
6. The current draft architectural regulations for the City of Kentwood shall be followed and are attached to this agreement for reference. One additional design element or sub-element from the draft regulations shall be required for all houses in the development for a total of 5 elements. Design element A.1 (Landscaping, 3 trees) shall be one of those elements for all units.
7. In addition to the draft architectural regulations a minimum of 5 of following 8 elements shall be used in each house to create a cohesive "country style" development that co-ordinates with the existing houses in the area. Elements from this list that are also part of the draft architectural regulations for the City of Kentwood may count towards both requirements.
 - a. Gabled roof
 - b. Dormers
 - c. Porches at least 6' deep by 12' wide
 - d. Natural stone or wood accents
 - e. Chimneys
 - f. Window Shutters
 - g. Cedar Shake or board and batten siding elements
 - h. Symmetrical double hung windows
8. All houses shall have a minimum 10" eave.
9. Each dwelling unit shall have a minimum finished living area of 1,200 square feet of floor area on the main floor for a single story house. A two story house shall have a minimum of 800 square feet on the main floor and 1,400 square feet of total finished living area above grade (excluding finished basement areas).
10. Each dwelling unit shall be set back a minimum of 20 feet from the front property line. Each garage (attached or detached) shall be set back a minimum of 35 feet from the front property line. Side yards shall be a minimum of 5 feet with no less than 12 combined side yards. Rear yards shall be 30 feet to the property line and 0 feet to the open space easement.
11. Sample houses have been submitted with this PUD agreement. These houses generally meet the draft architectural regulations but may require some minor modifications to be fully compliant. In addition these houses are not meant to be exact representation of what will be built on each unit but are meant to provide a starting point for builders to determine what they can construct on these units.

F. Walkability.

1. A sidewalk will be required to be installed by the builder on all street frontage.
2. The developer shall contribute the soil preparation and pavement installation of a sidewalk or other paved path between the proposed street entrance and Paris Park Drive.

G. Open Space Features.

1. The Project clusters the Units. As a result, open space is included with the lots to preserve the natural beauty of the environment. All reasonable efforts will be made to preserve trees that are already existing except if they are necessary to construct the infrastructure, the Units and yards.
2. The open space easements encompasses the environmentally sensitive areas of the site (wetlands, floodplain, ect.), the stormwater detention infrastructure, and several large areas of forested land. There are two open spaces. The small open space on the south edge of the development strictly covers sensitive areas and will not have public access easements. The larger open space around the North and East portions of the development will have an access point at the end of each culdesac down one of the lot lines.
3. The public access for the larger open space shall be restricted to pedestrian (walking) access only, no bikes, ATVs, or other recreational vehicles will be allowed. The public access will be restricted to residents of the development.

H. Other Features

1. Backyard lighting within the development shall be restricted to be downward facing and shall not cause nuisance illumination to any neighboring properties.
2. Should trespassing onto adjacent properties become an issue from residents of the development utilizing open space the condominium association shall pay for the installation of signage along the affected property line to help residents know where the open space of the development ends. Should the trespassing issue not be resolved with signage the condominium association shall pay for the installation of an appropriate fence to delineate the property line and prevent further trespass.
3. The condominium association shall be responsible for the maintenance of the landscaping buffers shown on the PUD plan submitted with this document.

- I. In Relationship to the Master Plan. The Project meets and exceeds the goals of the City Master Plan through clustering the lots while preserving the beauty of the open space through the use of a planned unit development. The Project is neighbored by very low density residential uses to the east and low density residential uses to the south. The area is master planned for low residential which would allow for up to four Units per acre. The Project would allow for a density of 2.53 units per acre. This plan meets or exceeds the minimums for development and will allow for increased property values in the area. The Project will also provide nicely designed Units providing quality homes with multiple builders allowing for a variety of different plans and diversity of construction.

AGREEMENT

Now, therefore, the parties state and agree as follows:

1. Compliance with Laws, Ordinances, Permits. Developer agrees that, if Developer develops the Project, Builders shall construct, install, and operate the Project in accordance with approvals that are received from governmental entities with applicable jurisdiction. In constructing the Project, Developers agrees to comply with all state and local laws, ordinances, and regulations as well as the terms of this Agreement. Without limiting the preceding sentence, it is understood and agreed that, except as expressly provided for herein, development of the Project must comply with the City of Kentwood Zoning Ordinance.
2. Compliance with City Approvals. Without limiting the provisions of paragraph 1, the Developer agrees that, if Developer develops the Project, All builders shall design, develop, construct and operate the Project in accordance with any and all approvals received from the City and/or its various bodies, officers, departments and commissions including, without limitation, the terms and conditions of this Agreement. Developer acknowledges and agrees that Developer will not seek variances from the Zoning Board of Appeals in connection with the PUD plan, but Developer may seek variances through other available processes (e.g., approved modification of PUD plan) once the Project is constructed.
3. Public Utilities. Developer agrees that, if Developer develops the Project, Developer shall provide public electricity, telephone, gas, water and sanitary sewer service ("Public Utilities") as shown on the Site Plan. In such event, Developer agrees that Public Utilities (except streetlights) shall be installed and maintained underground if required by the City. Prior to the issuance of any building permits for the Project Developer shall provide all easements reasonably necessary for Public Utilities shown on the Site Plan, in such locations approved in advance by the relevant utility service provider.
4. Deviations. The Project will contain no deviations from the City of Kentwood Zoning PUD requirements
5. Sidewalks. Developer agrees that, if Developer develops the Project, public concrete sidewalks shall be constructed, at the builders sole expense, within all public rights- of-way to City specifications and in compliance with City ordinances, unless otherwise shown on the Site Plan.
6. Tree Preservation and Planting. Developer agrees that, if Developer develops the Project, Developer shall preserve all trees and woodlands indicted on the Site Plan.
7. Stormwater. Developer agrees that, if Developer develops the Project, Developer will grade the Property to drain stormwater to a retention/detention pond located within the Project or as otherwise approved by the City.
8. Open Space. Developer acknowledges and agrees that depending on the plan accepted by the city there is at least twenty-five percent (25%) of the land within the Project will be preserved as open space.

9. Violation of Agreement. The parties acknowledge that monetary damages for a breach of this Agreement would be inadequate to compensate the parties for the benefit of their bargain. Accordingly, the parties expressly agree that in the event of a violation of this Agreement, the non-breaching party shall be entitled to receive specific performance.

10. Amendment. This Agreement may only be amended in writing, signed by the City and the Developer or Developer's successor or assigns.

11. Recording and Binding Effect. The rights and obligations under this Agreement are covenants that run with the land, and this Agreement shall be binding upon and inure to the benefit of the parties, as well as their subrogees, successors and assigns. It is the parties' intent that this Agreement shall be recorded with the Kent County Register of Deeds. The City shall be responsible for all costs associated with recording the Agreement. Upon the transfer of title to all of the Property by the Developer or any successor in title, the acquiring party shall be deemed to have acquired all of Developer's (and such transferor's) rights and assumed all of the Developer's (and such transferor's) obligations described herein, and the Developer (and any subsequent transferor) shall automatically be relieved of any further liability under this Agreement.

12. Miscellaneous

(a) Severability. The invalidity or unenforceability of any provision of this Agreement shall not affect the enforceability or validity of the remaining provisions and this Agreement shall be construed in all respects as if any invalid or unenforceable provision were omitted.

(b) Notices. Any and all notices permitted or required to be given shall be in writing and sent either by certified mail, return receipt requested, or personal delivery to the address first above given. Either party may modify its notice address or modifying purchasing LLC by providing the other party written notice of such modification.

(c) Waiver. No failure or delay on the part of any party in exercising any right, power, or privilege under this Agreement shall operate as a waiver thereof, nor shall any single or partial exercise of any right, power, or privilege under this Agreement preclude further exercise thereof or the exercise of any other right, power, or privilege. The rights and remedies provided in this Agreement are cumulative and not exclusive of any rights and remedies provided by law.

(d) Governing Law. This Agreement is being executed and delivered and is intended to be performed in the State of Michigan and shall be construed and enforced in accordance with, and the rights of the parties shall be governed by, the laws thereof.

(e) Authorization. The parties affirm that their representatives executing this Agreement on their behalf are authorized to do so and that all resolutions or similar actions necessary to approve this Agreement have been adopted and approved. The Developer further affirms that it is not in default under the terms of the purchase agreement for the Property.

The parties have executed this Agreement on the day and year first above written.

CITY OF KENTWOOD

Stephen Kepley, Mayor

Dan Kasunic, Clerk

STATE OF MICHIGAN)
) ss.
COUNTY OF KENT)

On this _____ day of _____, 2024, before me a Notary Public, personally appeared Stephen Kepley and Dan Kasunic, the Mayor and Cloer, respectively, of the City of Kentwood, a Michigan municipal corporation, who, being first duly sworn, did say they signed the document on behalf of the City.

Notary Public,
Kent County, Michigan
My Commission Expires: _____

{Additional signature on next page}

5632 WING AVE LLC

By: _____

Its _____

STATE OF MICHIGAN)
) ss.
COUNTY OF KENT)

On this _____ day of _____, 2024, before me a Notary Public, personally appeared _____, the _____, of 5632 Wing Ave LLC, a Michigan limited liability company, who, being first duly sworn, did say they signed the document on behalf of the company.

Notary Public,
Kent County, Michigan
My Commission Expires: _____

Drafted By/Return To:

Carson Galloway
5632 Wing Ave LLC
55 Campau Ave NE, Ste 300
Grand Rapids, MI 49503

SECTION 1.02 PURPOSE

The fundamental purpose of this ordinance is to promote and safeguard the public health, safety, prosperity and general welfare of the people of this City.

The provisions of this Ordinance are intended, among other things, to encourage the use of lands, waters, and other natural resources in the City in accordance with their character and in a reasonable manner; to limit the improper use of lands and resources; to eliminate nonconforming uses; to reduce hazards to life and property; to provide for orderly development within the City; to avoid overcrowding of land with structures or buildings; to provide adequate light, air and health conditions in dwellings and buildings hereafter erected or altered; to protect the prosperity and economic interests of the city, taxpayers, and property owners; to ensure that the built environment in the city is durable and sustainable; to encourage redevelopment efforts within the city; to manage the impact on the public roads and streets resulting from development; to protect and conserve natural recreational areas, residential and other areas naturally suited to particular uses; to facilitate the establishment of an adequate and economic system of transportation; sewage disposal, safe water supply, education, recreation and other public requirements; to conserve the expenditure of funds for public improvements and services to conform with the most advantageous uses of land, resources and properties.

SECTION 3.22 REGULATIONS APPLICABLE TO ALL RESIDENTIAL DWELLINGS

The following provisions shall not apply to dwellings located in manufactured home communities or Form Based Code districts. Provisions specific to a particular housing type shall apply in addition to the general provisions applicable to all housing types contained in Part B.

A. The purpose and intent of these provisions is:

1. To create neighborhoods that are safe, livable, attainable, and sustainable, and create a sense of community for Kentwood's varied households. Each home contributes to a neighborhood's context. Building placement, design, and parking location are all components that affect how walkable and safe a neighborhood is for children, the elderly, and the general community. Front porches, windows, and entries provide "eyes on the street" that contributes to the safety and security of a neighborhood.
2. Many of the following provisions have been used within residential Planned Unit Developments but were not formally codified as general provisions. The intent of codifying these rules is to increase transparency in the development process, provide greater predictability for the development community, and increase consistency in decision-making.
3. It is recognized that not every home and building site is the same. To that end, these provisions seek to provide flexibility for builders, homeowners, and City staff by instructing where administrative departures may be granted in lieu of the need for a zoning variance process.

4. It is recognized that the Building Code regulates appropriate construction materials to be used in residential construction. That Code, however, does not consider how all the various components contribute to building a neighborhood and a community. It is expected that materials will be compatible in character and scale with the structure on which it is being installed, have no visible fasteners, and be uniform in type and appearance. Installation according to the manufacturer's specification of durable building materials that do not result in warping or buckling, cracking, molding, fading, or oil canning is expected in simple configurations with solid craftsmanship.

B. All housing types. These general provisions are applicable to all housing types.

i. Transparency.

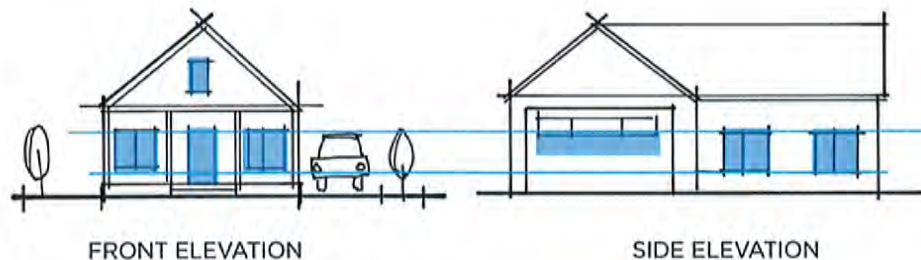
- a. Residential dwellings shall have windows on the front walls and side walls of the structure which face a street. The size and placement of windows on the facade shall be generally consistent.

- i. For all residential dwellings at least ~~ten percent (10%)~~ twelve percent (12%) of the area of the front façade shall consist of clear glass windows and may include the primary entrance door, which permit a view from the dwelling to the street. Garage door windows may count towards the percentage.

If the front façade of the residential dwelling has between 10%-12% clear glass windows, an additional design element must be provided from the list provided in Section 2.22 B. The design element must be provided in addition to the 4 required in Section 3.22 B.

If the front facade of a residential dwelling has less than 10% clear glass windows, an additional two design elements must be provided, selected from the list outlined in Section 3.22 B. The 2 design elements shall be in addition to the 4 design elements required in Section 3.22 B.

- ii. At least three (3) windows with a minimum of six (6) square feet each are required on side walls (those adjoining the front façade) that face a street.



- iii. Lightwell facades shall have twelve percent (12%) minimum clear glass between the finish floor line of the lightwell and the finish floor line of the first floor.

- iv. Administrative Departures. The following shall be eligible for an administrative departure request:
 - a. Side wall transparency for single-story dwellings where it is determined that the standard cannot be met due to the interior design of the dwelling.
 - b. Placement is limited by the presence of a garage. If the garage is facing the street, a departure cannot be provided to the facade.
 - c. Building code requirements make adherence to this requirement infeasible.

2. Exterior Materials.

- a. Exterior cladding may consist of brick, stone, vinyl or aluminum siding, glass, fiber cement siding, wood lap, stucco, or decorative split-faced block.
- b. EIFS shall only be used for building accents.
- d. Where more than one (1) façade material is proposed, the heavier material in appearance shall be incorporated below the lighter material (e.g. masonry below siding).
- e. Administrative Departure. Other materials of equivalent or better quality, including high quality synthetic material, may be approved, if determined appropriate for the building, site, and area with an approved sample and examples of successful, high quality local installations.

3. **Design Elements.** ~~The intent of this Section is to encourage the use of various design elements on residential lots and structures to create visual interest and support walkable neighborhoods. A menu of design elements applicable to all residential zone districts is provided. A minimum of four (4) elements or sub-elements from the menu are required. Implementation of these design elements should demonstrate thoughtful design; considering scale, symmetry, balance, and compatibility.~~

Design Elements. The intent of this Section is to encourage the use of various design elements on residential lots and structures to create visual interest and support walkable neighborhoods. The menu of design elements is intended to provide a variety of choices for potential design compositions. A number of the design elements represent a standard of quality and durability that can decrease future maintenance responsibilities for the homeowner or limit deterioration of the exterior of the home(s). It is also the intent of this Section to maintain the affordability, livability, and safety of housing in the City. A minimum of four (4) elements or sub-elements from the menu are required. Implementation of these design elements should demonstrate thoughtful design; considering scale, symmetry, balance and compatibility.

A minimum of one (1) design element must be different among adjacent detached dwelling units, or for each multi-family building. Landscaping and front porches shall be exempted from this requirement.

a. Landscaping.

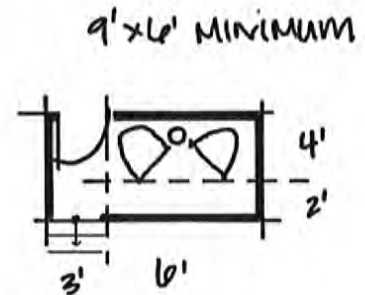
- i. Three (3) trees measuring 2.5" caliper or greater on the lot. A minimum of five-hundred (500) cubic feet of soil volume shall be provided per tree. Retained trees on the property can be credited towards this option.

ii. Planted landscape area/s of a minimum of one hundred fifty (150) square feet in the front yard.

iii. A sod grass lawn provided in the front, back, and side lawn.

b. Front Porch.

Front porch, as defined in Chapter 2, not including steps, that is at least five (5) six (6) feet in depth to provide for usable seating and circulation, and is at least one-third (1/3) the width of the front façade of the residential structure (not including the garage) but in no case is it less than nine (9) feet wide.



c. Structural Modifications.

- i. Dormers, the placement of which is balanced with the dwelling's façade.
- ii. Room bump-out (e.g. sunroom, bay window, etc.) on the façade of the building with a minimum depth of two (2) feet.
- iii. Dwelling is designed and constructed to meet the Type B Unit accessibility requirements of the ANSI A117.1 standard.

d. Windows and Window Detailing.

- i. Increased transparency of fifteen percent (15%) ~~twenty percent (20%)~~ or higher on front façade.
- ii. Exterior trim not less than three (3) inches in width.
- iii. Shutters that are one-half the width of the window on each side and of a high-quality material that will not fade or peel.
- iv. Other enhancements, such as awnings.

e. Roof Detailing.

- i. Eaves with a minimum of twelve-inch (12") overhang on all eaves.
- ii. Exterior soffit detailing such as brackets, moldings, or changes in materials.
- iii. Gable end (rakes) with a minimum eight-inch (8") overhang on all gable ends.
- iv. Eavestroughs with downspouts.

f. Materials.

- i. Brick, stone, or other decorative materials used on the façade of the building and wrap the sides of the structure with the same materials for a depth of at least two (2) feet.
- ii. Hardie Plank/fiber cement siding.
- iii. Metal siding, roofing, or paneling of 24 gauge or better with no visible fasteners. Any change in profile is non-corrugated and has a minimum rib depth of 1-inch.

- iv. A change in exterior building materials used as an accent on the façade of the building.

g. Columns

- i. Porch columns of 8 inches or more with a substantial base and capital.

Administrative Departures: The Zoning Administrator may accept alternative options that meet the intent of this provision to increase the visual diversity of residential structures within a neighborhood.

- C. **Detached single-family.** A detached single-family dwelling and any additions or alterations thereto, shall meet the requirements of this Section in addition to all other regulations of this Chapter.

- i. **Garages.** The following provisions shall apply to provide safe, unobstructed pedestrian through-movement on sidewalks, encourage the visibility of street activities from dwellings, ensure sufficient space for the parking of vehicles to avoid front-yard parking and street congestion, and reduce the visual dominance of garages and parking in neighborhoods.
 - a. For the purposes of this Section, the garage setback shall be considered independently from that of the residential dwelling.
 - b. Garages that are accessed through the front yard shall be placed a minimum of thirty-five (35) feet from the front lot line or from the edge of the right-of-way easement for private streets. Administrative departures for private roads may be approved by the Zoning Administrator.
 - c. Where garages are rear-loaded, off an alley or common drive through a rear yard, the minimum distance from the face of the garage to the edge of pavement is fifteen (15) feet.
 - d. The placement and size of attached garages shall be determined by the following:
 - i. Attached garages cannot exceed 50% of the total width of the front façade of a dwelling unit. Attached garages that are set back at least 15 feet behind the front of the dwelling unit are permitted and shall not be counted against front façade calculations.
 - ii. Garages that comprise 50% or less of the front façade of the dwelling may align with the front façade.
 - iii. Attached garages comprising 35% to 50% of the total width of the front facade may project up to 8 feet 5-feet forward of the front of the dwelling unit, or up to 10 feet forward of the front of the dwelling unit if a front porch is provided in compliance with Section 3.22.B.3.b. Front yard setbacks still apply.
 - iv. Attached garages that are 33% or less of a dwelling unit's front facade may be placed fully forward of the dwelling unit.

e. Where a third, single garage stall is desired, it shall be located at least two (2) feet behind the main façade of a two-stall garage. A third, single garage stall set back more than 5' shall not count toward the width of garage for the for the purposes of determining compliance with Section 3.22 C.1.d.

f. Administrative Departure. An administrative departure may be granted where seventy-five percent (75%) of existing dwelling units within three hundred (300) feet on the same block have a dwelling to garage façade ratio that does not meet the above requirements.

ii. If the dwelling unit was transported to the building site, all wheels, axles, and towing devices shall be removed from the dwelling unit once placed on the lot.

D. **Attached single-family, duplexes, and multi-family.** Attached single-family dwellings, duplexes, and multi-family dwellings (3 or more units) and any additions or alterations thereto, shall meet the requirements of this Section in addition to all other regulations of this Chapter.

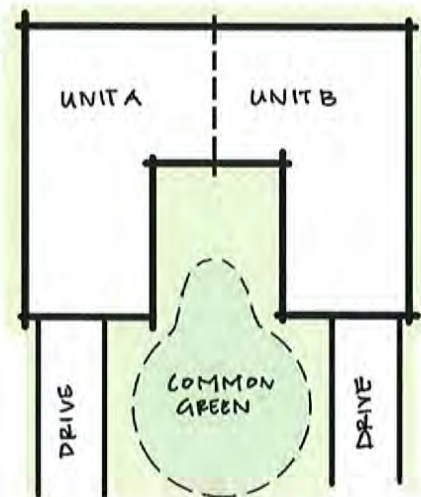
1. **Parking Areas, Garages, and Carports.**

a. Garages for duplexes are not allowed to be placed in the center of the front façade. Drive areas shall be separated to allow for a common green. A circular drive may be permitted for access management purposes.

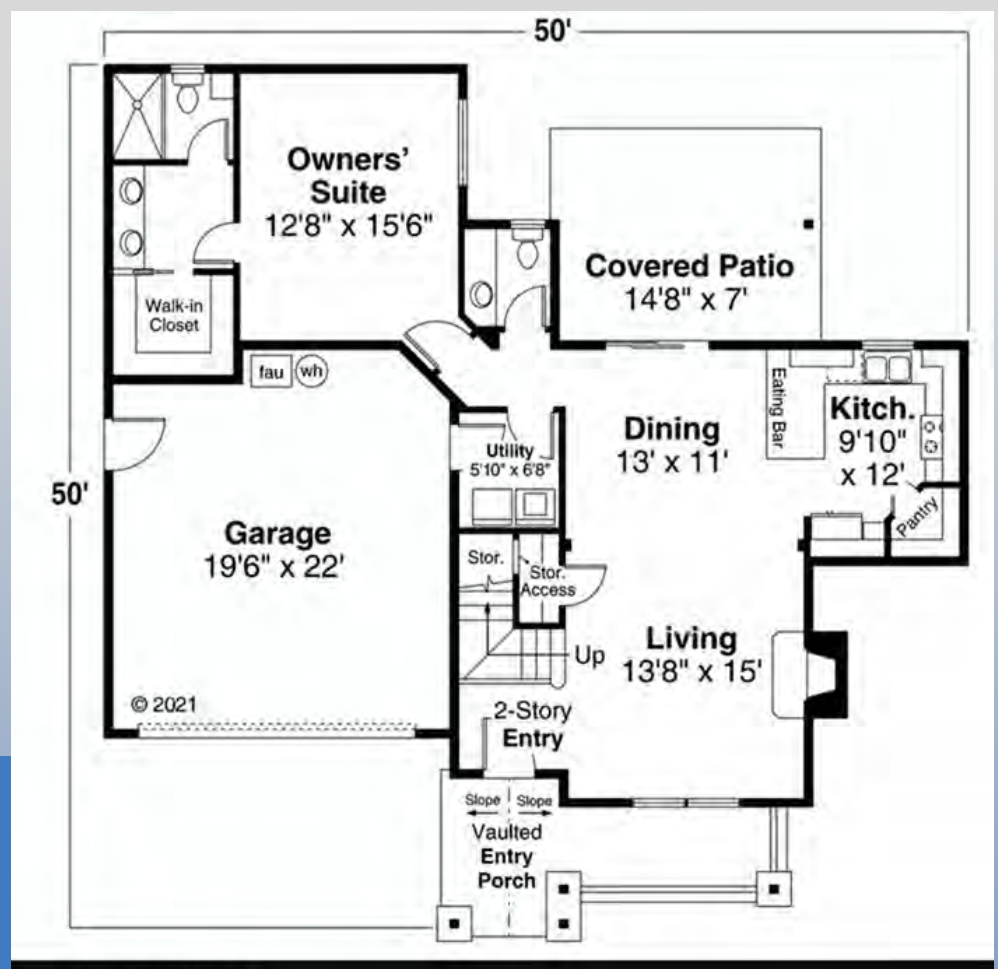
b. For multi-family developments unenclosed parking areas and freestanding parking structures (detached garages or carports) shall not occupy more than thirty percent (30%) of any public street frontage.

c. For multi-family developments parking areas visible from the public street shall be sited to be perpendicular to the street to reduce visual impacts on the streetscape.

d. Administrative Departure. An administrative departure may be granted to allow up to fifty percent (50%) of unenclosed parking areas or to adjust parking area



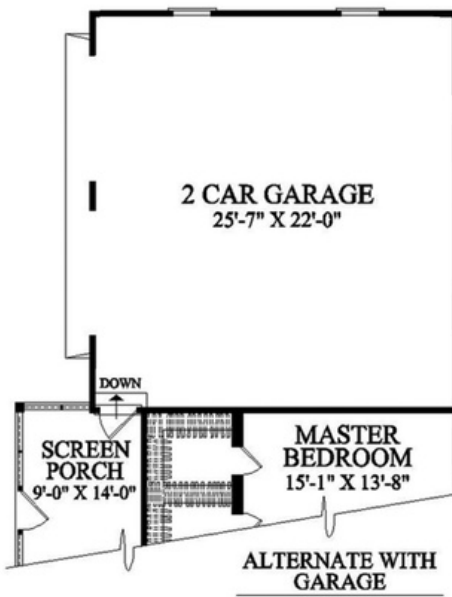
orientation along a street frontage when a dense year-round landscape screen is provided.



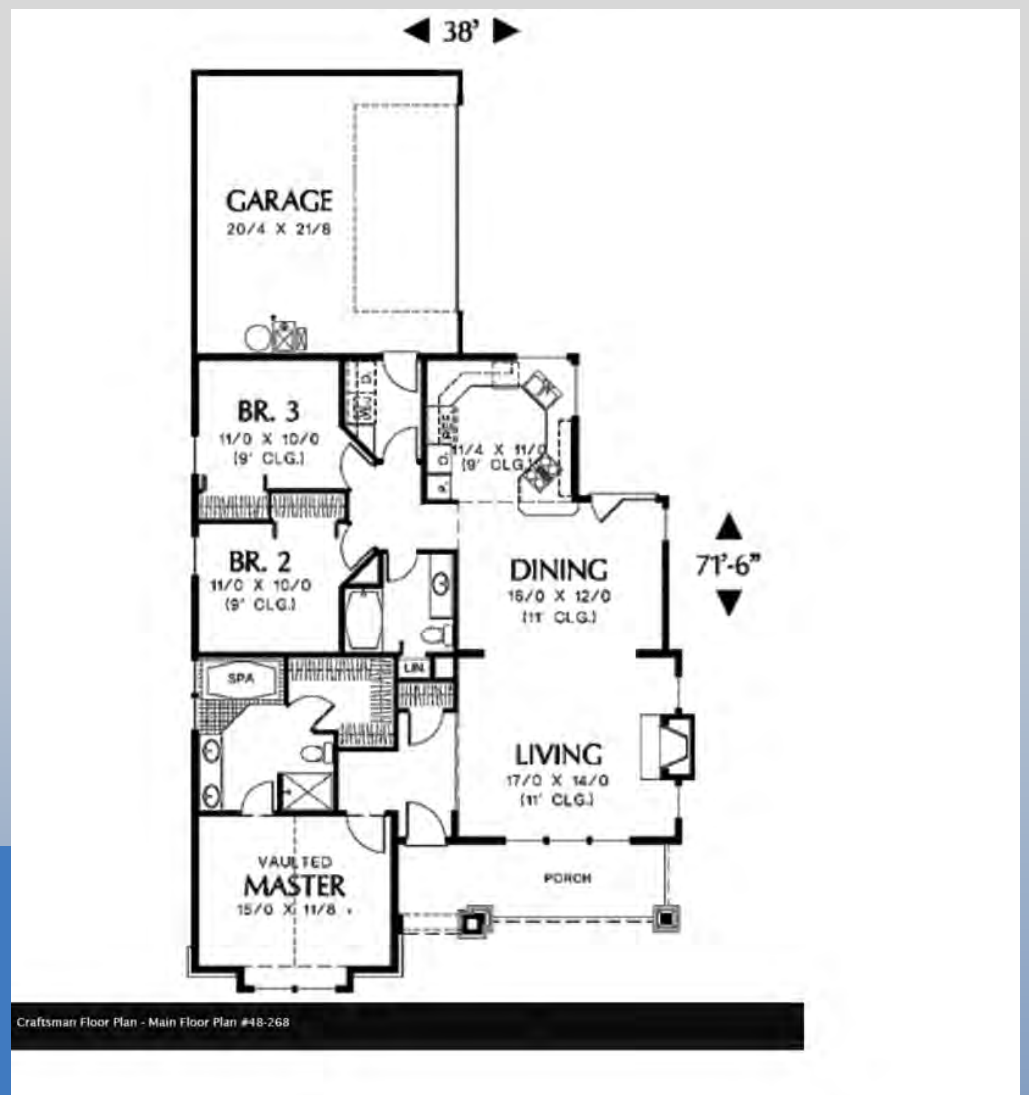
Width: 47' 2"

Sq Ft: 1780

Est cost: \$565k



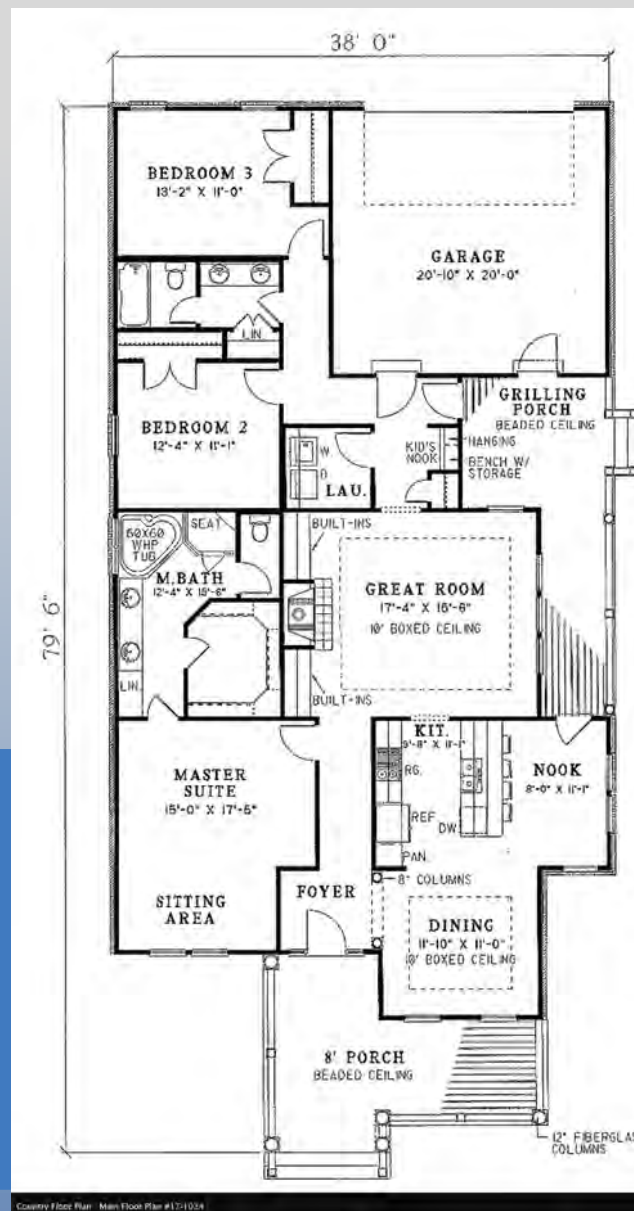
Width: 36'
Sq Ft: 1381
Est cost: \$423k



Width: 36'

Sq Ft: 1520

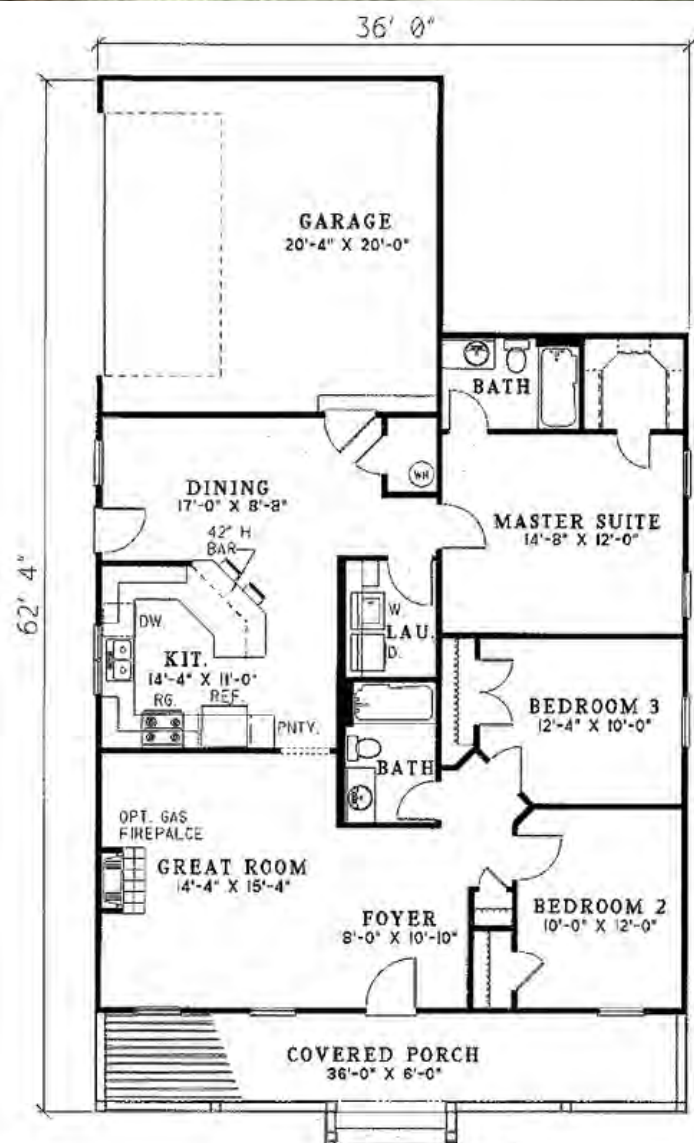
Est cost: \$490k

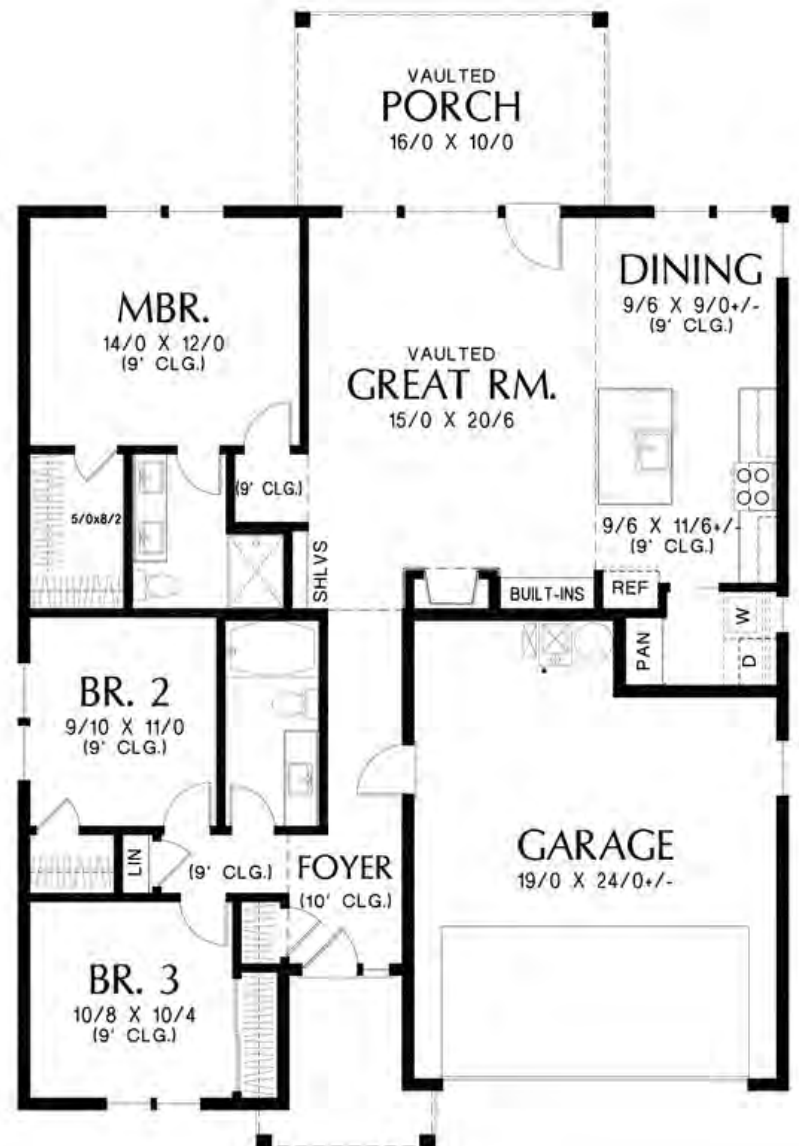


Width: 34'
Sq Ft: 1848
Est cost: \$537k



Width: 36'
Sq Ft: 1348
Est cost: \$437k

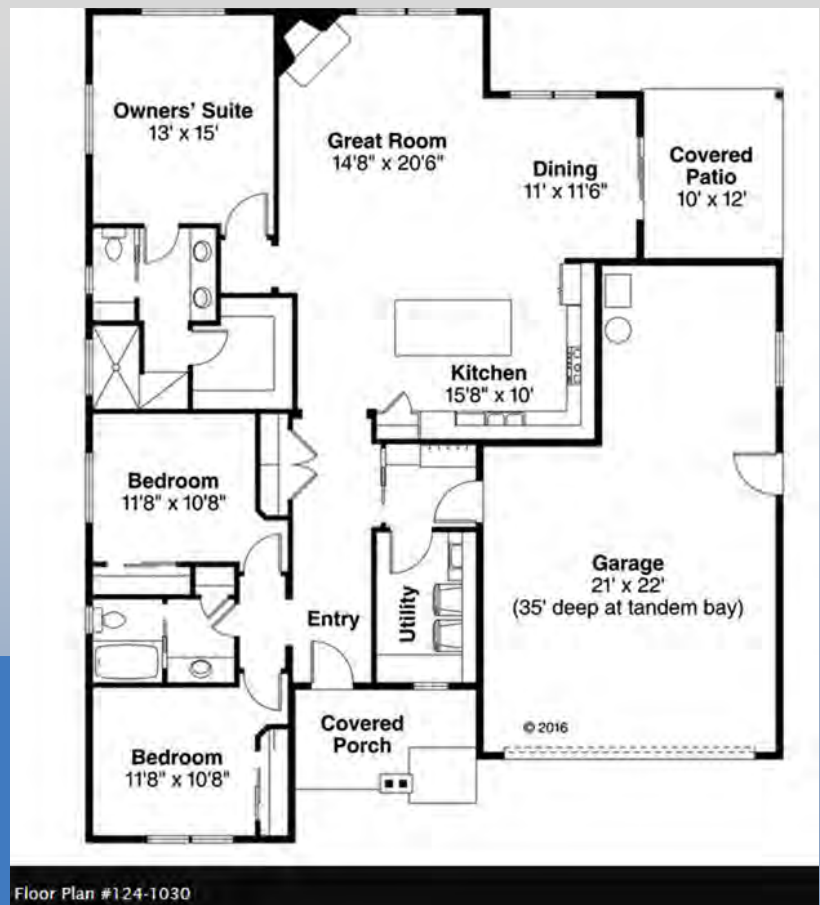




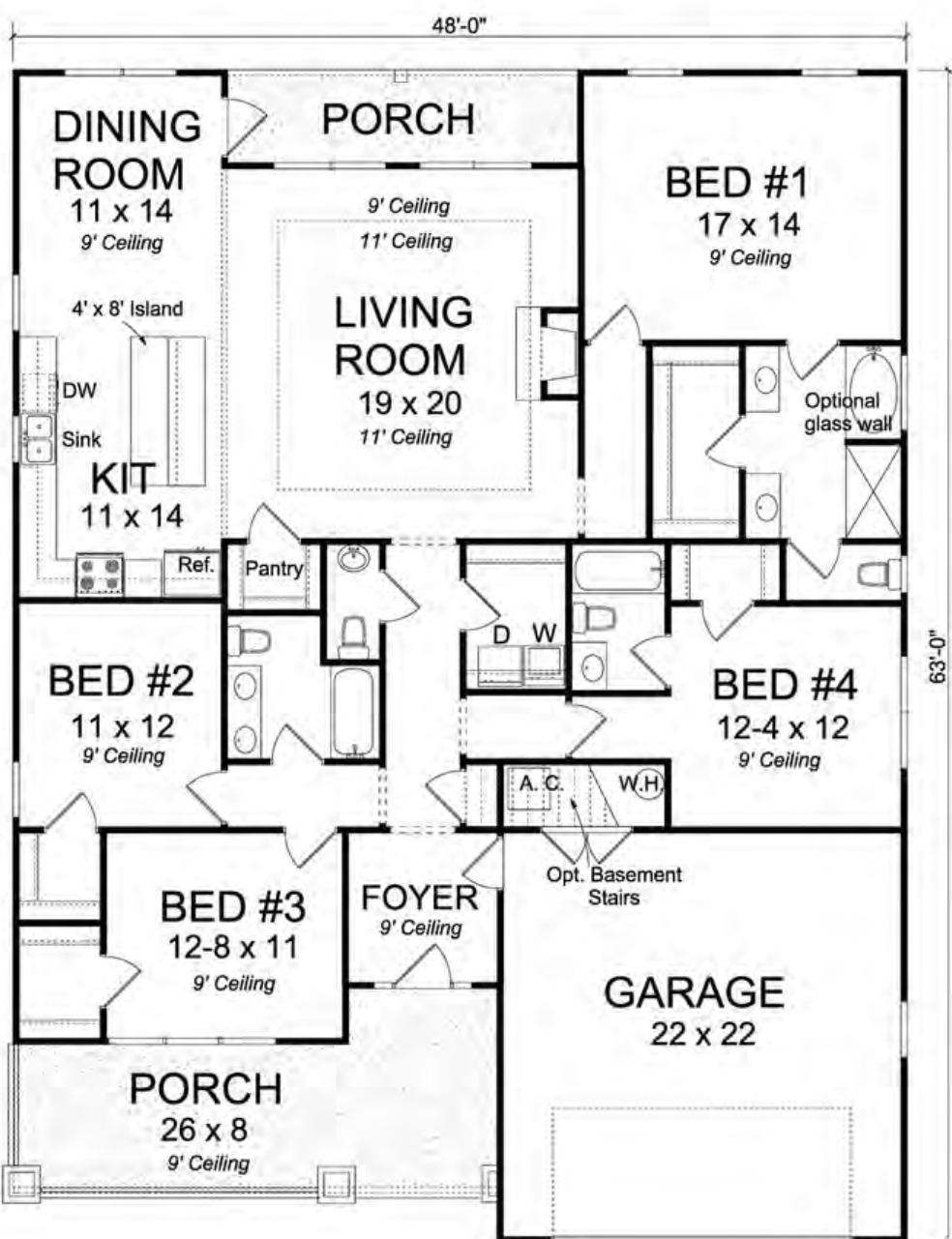
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Sq Ft: 1373
Est cost: \$445k



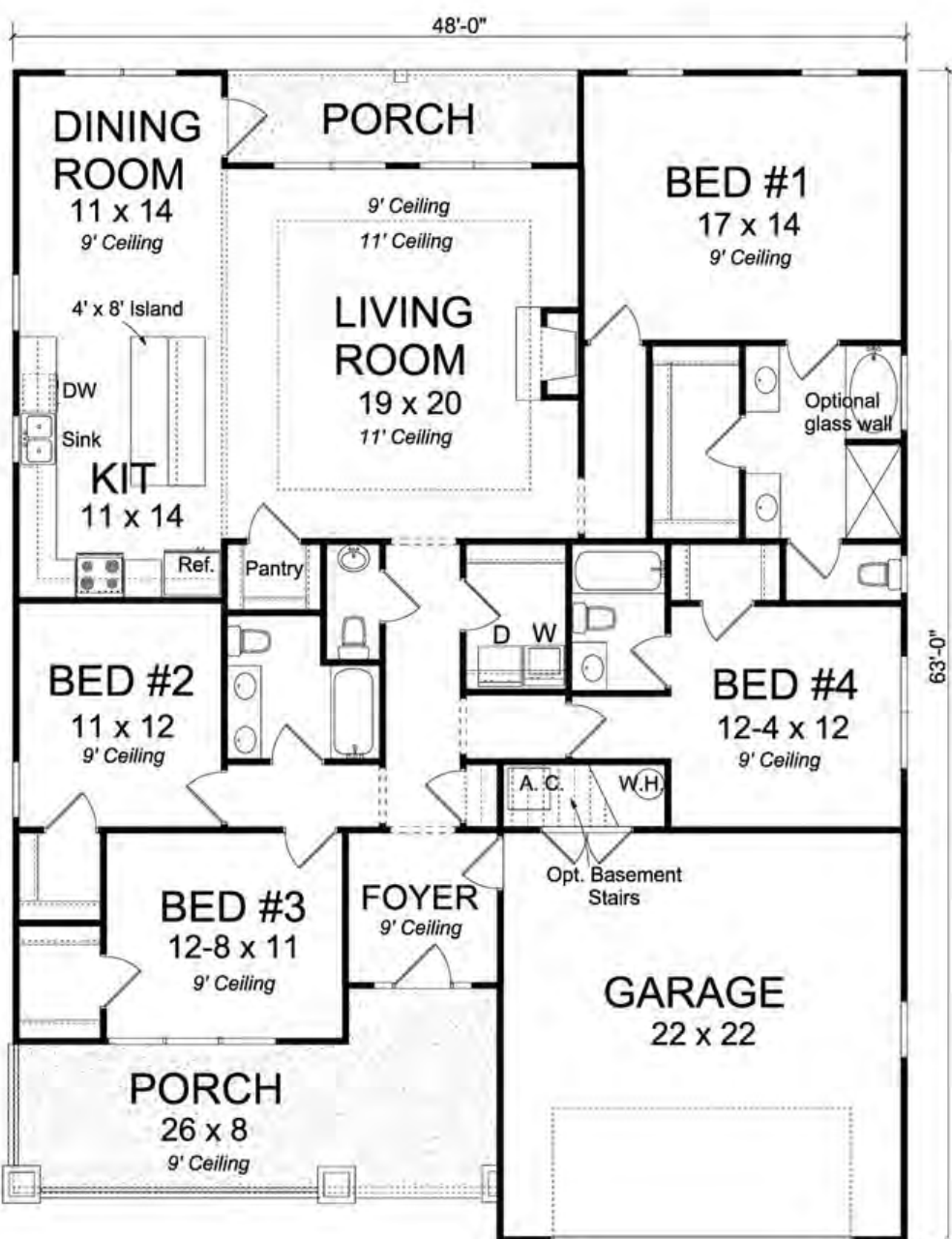
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Sq Ft: 1883
Est cost: \$545k



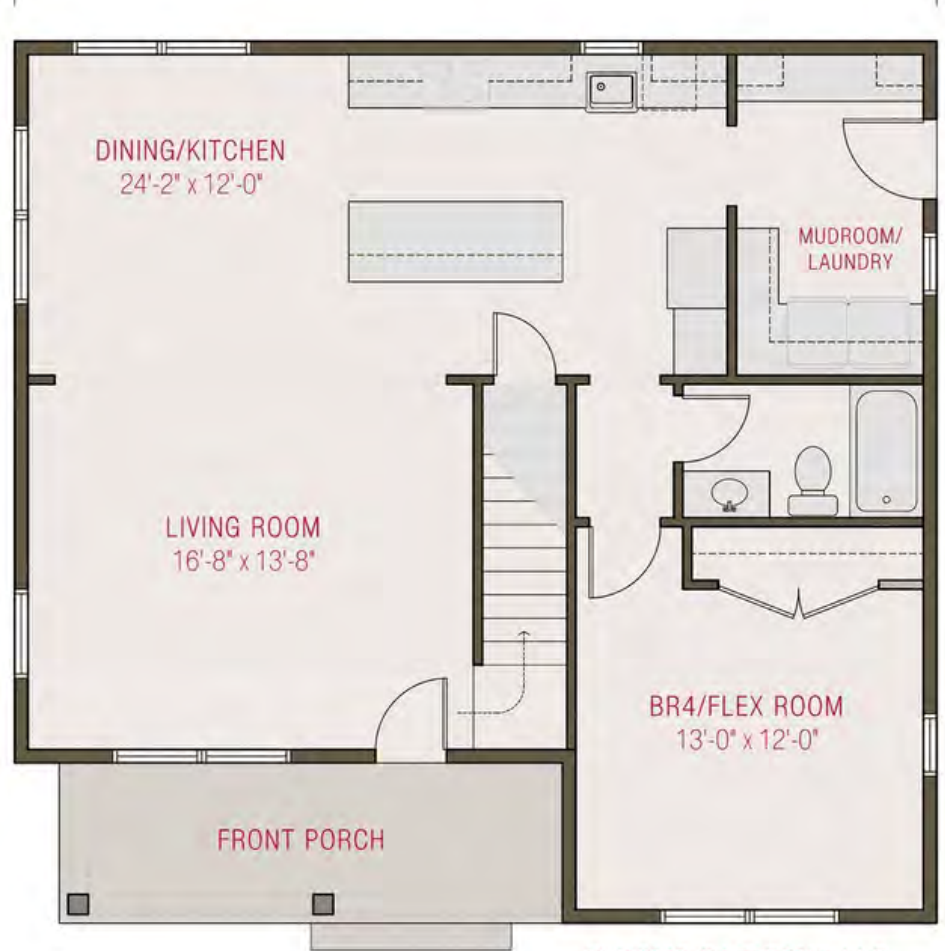
Width: 49' 8"
Sq Ft: 1819
Est cost: \$537k



Width: 48'
Sq Ft: 2107
Est cost: \$537k

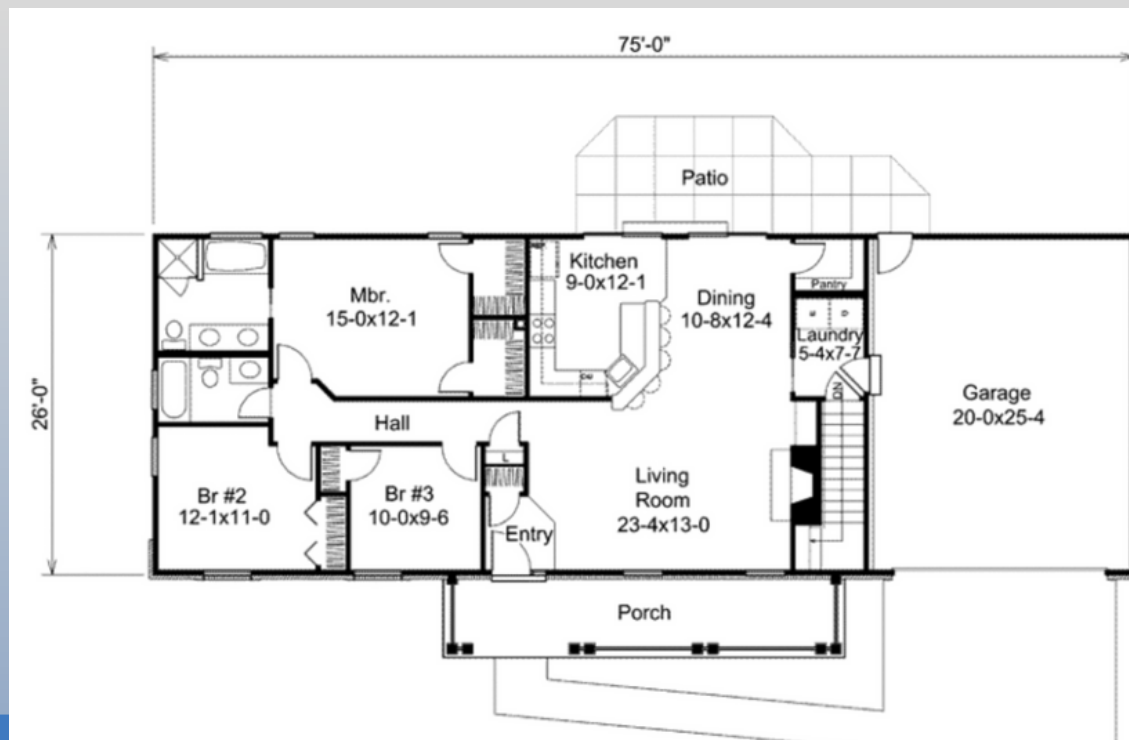


Width: 46'
Sq Ft: 1531
Est cost: \$482k



© HOME PATTERNS LLC

Width: 34' 6"
Sq Ft: 2010
Est cost: \$525k



Width: 62'

Sq Ft: 1,420

Est cost: \$456,500 w/ land

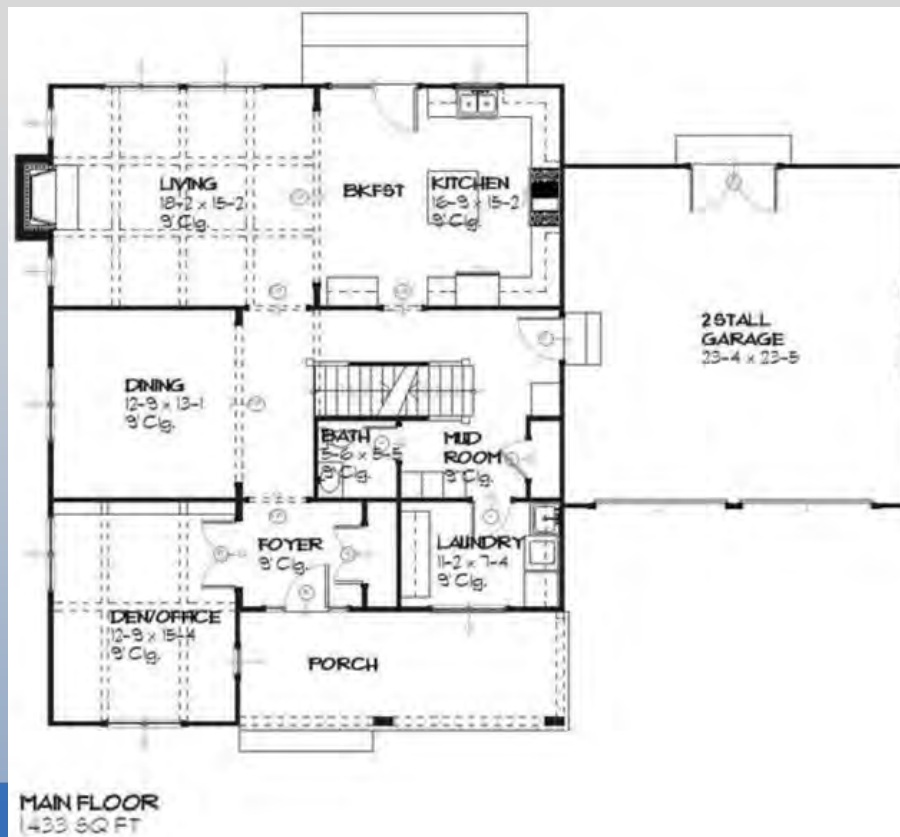


Width: 48'

Sq Ft: 1,556

Est cost: \$489k W/Land

Builder: JTB



Width: 60'

Est. Sq Ft: 1,433 (main floor)

Est cost: \$550k w/ land



Width: 30'

Sq Ft: 1,500

Est cost: \$400,000 w/ land



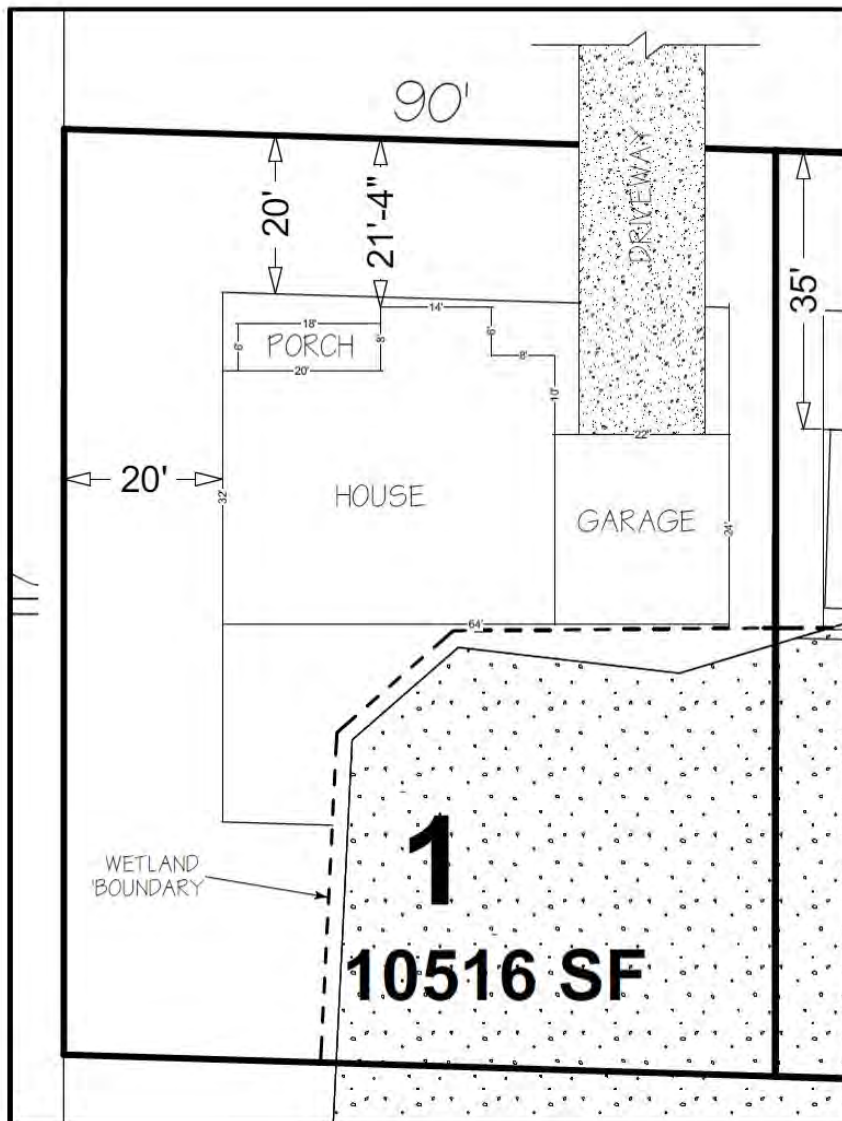
Width: 30'

Est. Sq Ft: 1,262 (main floor)

Additional 500 sq ft upstairs

Est cost: \$445k w/ land

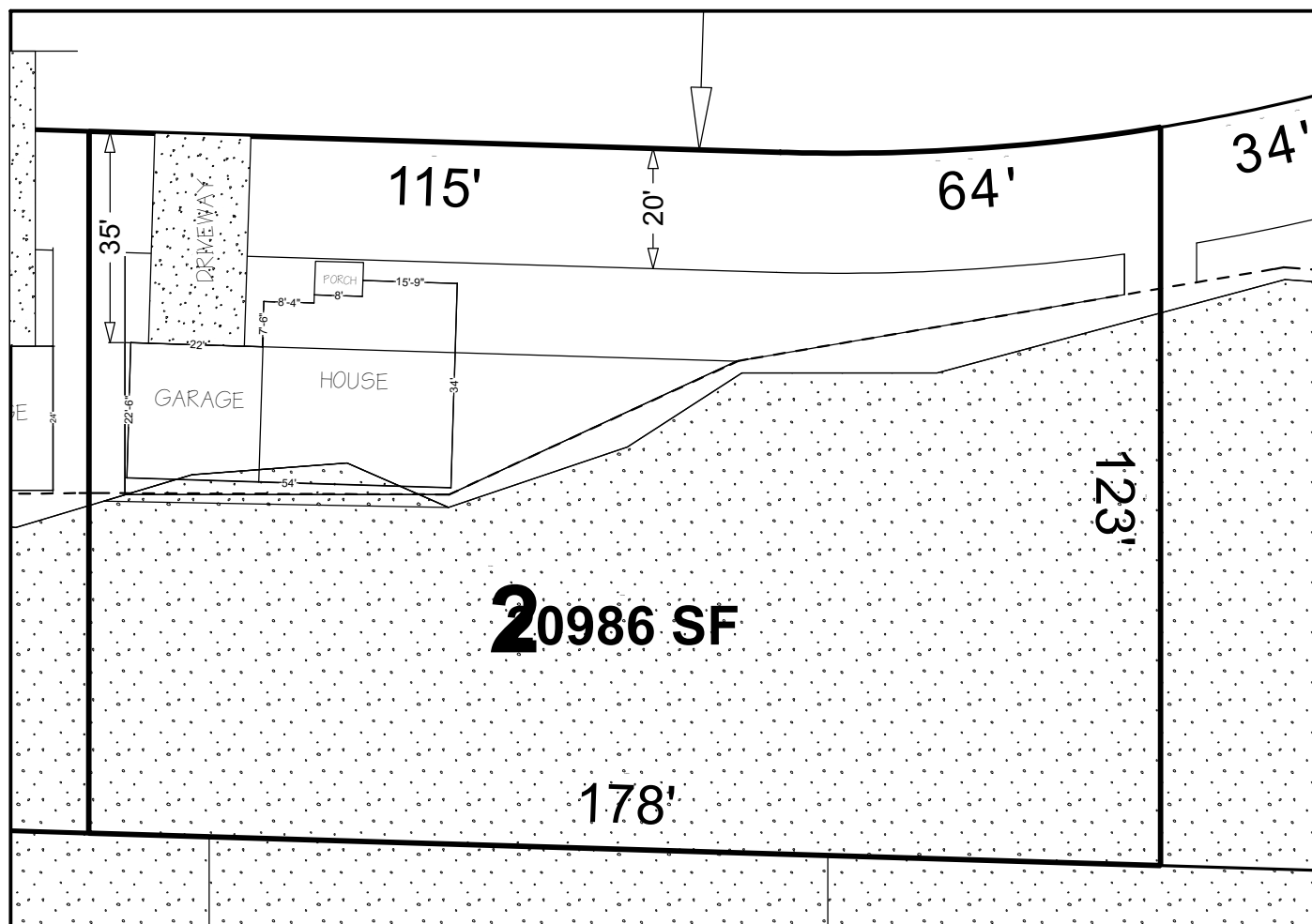
WING AVE
1479 SQFT RANCH; LOT 1 CONCEPT



DRAWN BY: BRENT BOVERHOF

SCALE: 1" = 25'
PAPER SIZE: 8 1/2" X 11"

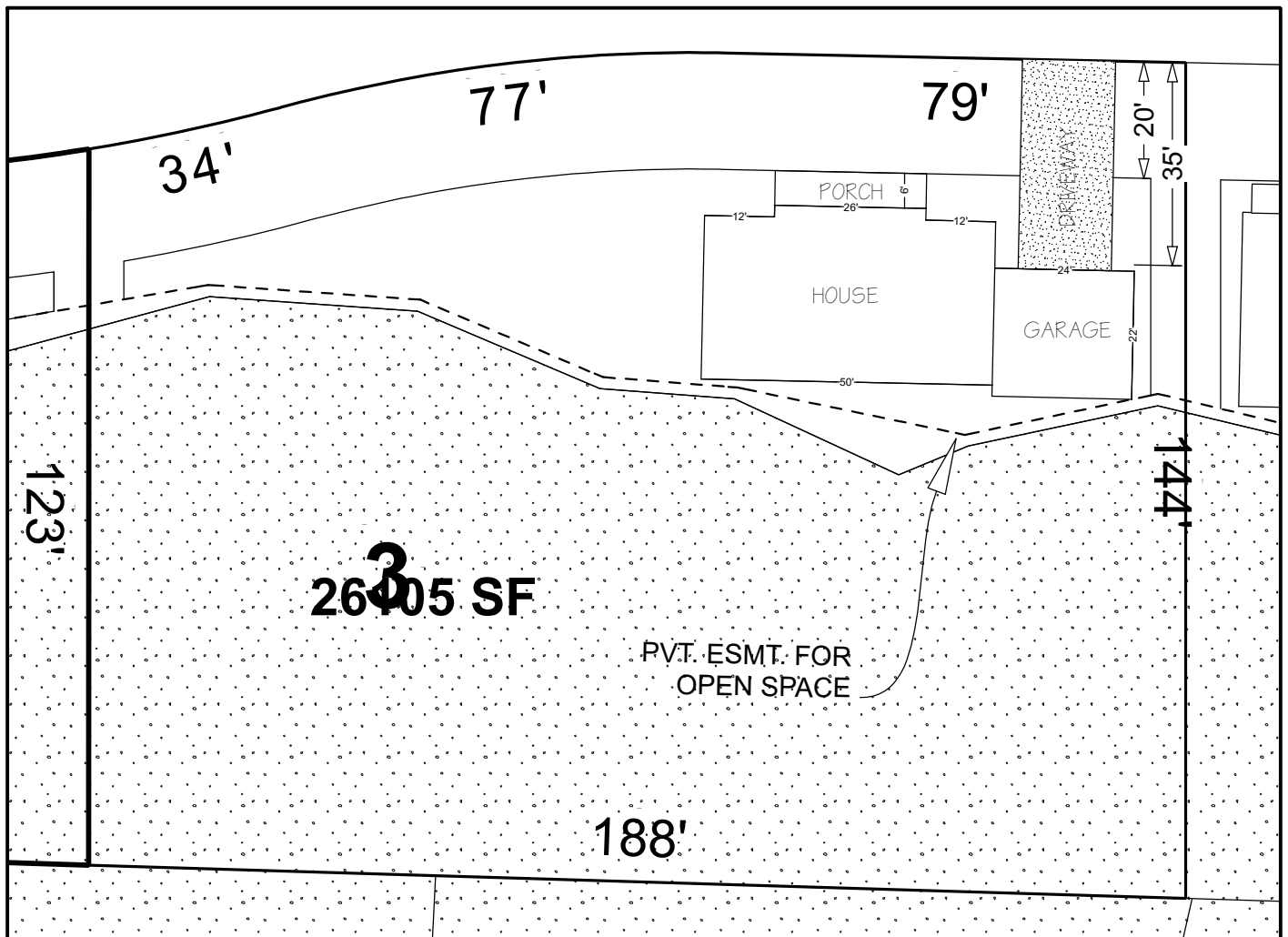
WING AVE
LOT 2 CONCEPT
2040 SQFT



DRAWN BY: BRENT BOVERHOF

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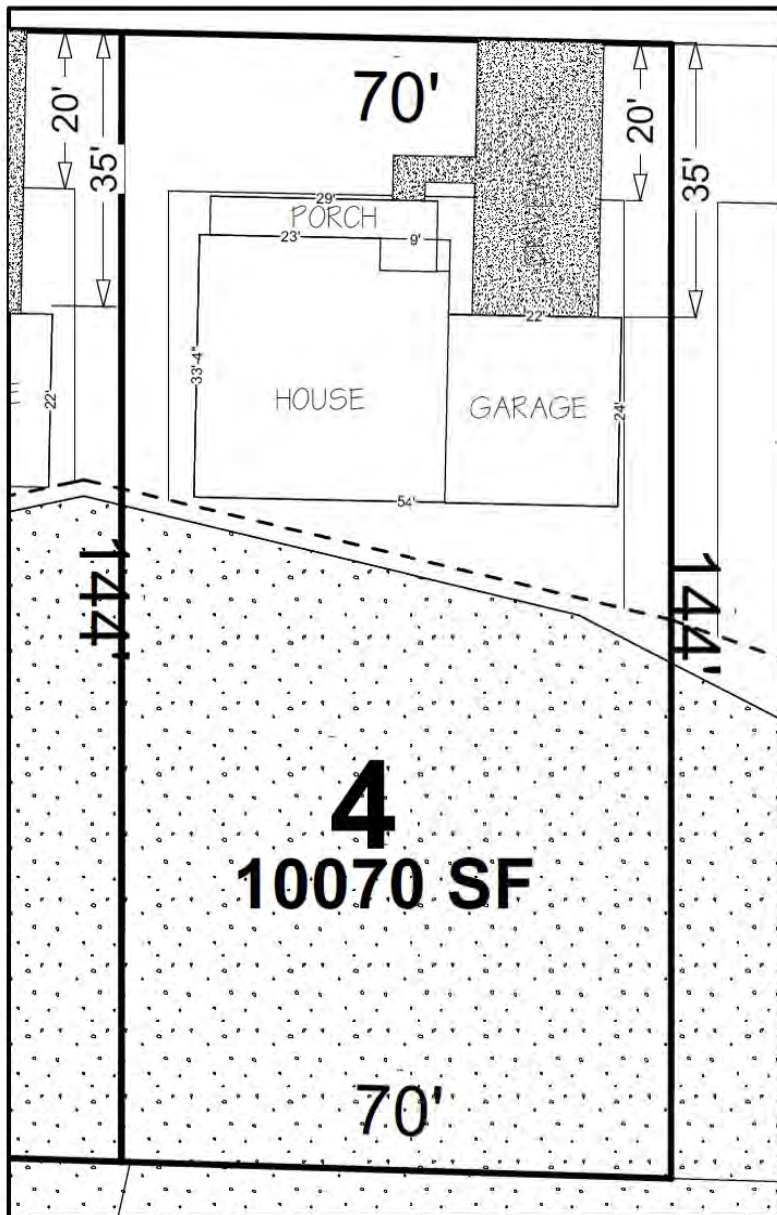
WING AVE
1448 SQFT
LOT 3 CONCEPT



DRAWN BY: BRENT BOVERHOF

SCALE: 1" = 30'
PAPER SIZE: 8 1/2" X 11"

WING AVE
2310 SQFT
LOT 4 CONCEPT



DRAWN BY: BRENT BOVERHOF

SCALE: 1" = 25'
PAPER SIZE: 8 1/2" X 11"

PLANNING STAFF RECOMMENDATION

Pung 04/17/2024

PROJECT: Hope Haven

APPLICATION: 08-24

LOCATION: 5578, 5606, 5632, & 5600 Wing Avenue

HEARING DATE: April 23, 2024

REVIEW TYPE: Preliminary site plan review of a Residential Planned Unit Development.

RECOMMENDATION: Recommend to the City Commission conditional approval of the preliminary PUD Plan dated April 17, 2024, for the Hope Haven rezoning as described in Case 08-24. Approval is conditioned on the following:

CONDITION:

1. City Commission approval of the rezoning of 28.93 acres from R1-B Single Family Residential to RPUD-2 Detached Residential Planned Unit Development.
2. Review and approval of a PUD Agreement and Condominium Master Deed by city staff and the city attorney's office. The PUD Agreement shall be consistent with the attached draft PUD Agreement submitted by the applicant including but not limited to the following amendments:
 - a. A final tree preservation plan shall be submitted for review and approval by Planning Staff prior to commencement of site work. No tree designated on the approved plan to be preserved and protected during construction shall be removed from any lot without prior approval by the Staff. Trees to be preserved must be fenced during construction whenever reasonably necessary for the protection of such trees. Any of those trees, designated on the approval plan for preservation, which die or are removed during construction shall be replaced by the developer with a tree of at least 4 inch caliper of the same species or other species as required or approved by Planning Staff.

- b. Restrictions prohibiting the rental of more than one unit by a single purchaser. (restriction shall be included in the Condominium By-laws)
3. City staff and the developer shall work to determine if a pedestrian path along Wing Avenue between the proposed street entrance for the proposed development and Paris Park Drive to the south is feasible. If determined to be feasible the applicant shall contribute the soil preparation and pavement for such a path.
4. Review and approval by staff of a final landscaping plan. Final landscaping plan to provide, at a minimum, the landscaping depicted in the site plan dated 04/17/24.
5. Review and approval by city staff and city attorney of open space and landscape easements.
6. The out lot identified along Wing Avenue shall be connected to both public water and sewer if not currently connected.
7. Compliance with all applicable City of Kentwood Engineering Department regulations and requirements.
8. Compliance with all applicable City of Kentwood Fire Department regulations and requirements.

BASIS:

1. The PUD Agreement will address issues such as architectural standards, tree preservation, dedication of open space, and other requirements and restrictions. The review and approval of these documents will hold the development to these standards and give additional direction to the developer as the project develops.
2. The site is suitable for the proposed use.
3. The site is adequately served by essential public facilities and services.
4. The development will preserve the majority of the wetlands located on the property.
5. The proposed development is consistent with the Kentwood Master Plan recommendation for low density residential development.
6. Representations made by the applicant and applicant's representatives at the work session and public hearing.
7. Discussion at the work session and public hearing.

R1-B ZONING

R1-B ZONING

R1-B ZONING

R1-B ZONING

R1-A ZONING

R1-B ZONING

R1-C ZONING

R1-B ZONING

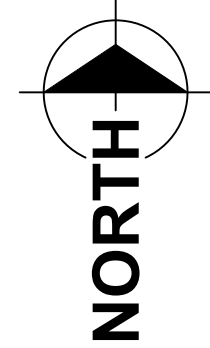
PROPERTY DESCRIPTION:

PROPOSED OVERALL DESCRIPTION:

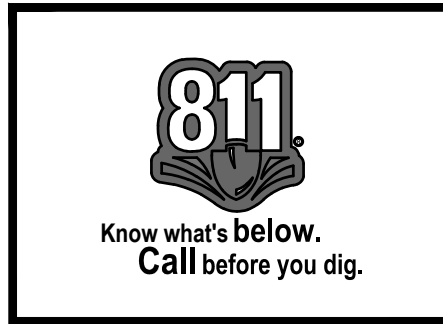
That part of the Northeast 1/4 and Southeast 1/4 of Section 34, T6N, R11W, City of Kentwood, Kent County, Michigan, described as: Beginning at the East 1/4 corner of said Section; thence S00°06'49"E 598.54 feet along the East line of the Southeast 1/4 of said Section to the North line of the South 22.00 acres of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N88°15'29"W 1329.76 feet along said North line to the West line of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N00°00'55"E 176.93 feet along said West line; thence S88°15'29"E 240.00 feet; thence N00°00'55"E 380.00 feet; thence N88°15'29"W 240.00 feet to the West line of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N00°00'55"E 44.30 feet along said West line to the Center of Section; thence N00°07'51"W 37.00 feet along the West line of the Northeast 1/4 of said Section to the North line of the South 37.00 feet of the Northeast 1/4 of said Section; thence S88°08'37"E 479.26 feet along said North line to the East line of the West 478.50 feet of the Southeast 1/4 of the Northeast 1/4 of said Section; thence N00°07'51"W 622.48 feet along said East line to the North line of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section; thence S88°05'47"E 851.77 feet along said North line to the East line of the Northeast 1/4 of said Section; thence S00°11'06"E 658.80 feet along said East line to the Point of Beginning. Contains 29.51 acres.

REQUIREMENTS:

- EXISTING ZONING: R1-B RESIDENTIAL ZONING
LOT WIDTH: 100 FEET
LOT AREA: 14,000 SFT
SETBACKS:
FRONT YARD: 20 FEET
REAR YARD: 35 FEET
SIDE YARD: 7 FEET
- PROPOSED ZONING: RPUD-2 DETACHED RESIDENTIAL PUD
LOT WIDTH: 62 FEET (NO MINIMUM LISTED)
LOT AREA: 8,500 SFT (PUD MINIMUM 6,500)
SETBACKS:
FRONT YARD: 20 FEET (PUD MINIMUM 20)
GARAGE FRONT YARD: 35 FEET (ARCHITECTURAL REQUIREMENTS MINIMUM)
REAR YARD: 30 FEET (PUD MINIMUM 30)
SIDE YARD: 5/12 FEET (PUD MINIMUM 5/12 TOTAL)
- AREA CALCULATIONS
DEVELOPMENT AREA: 29.51 ACRES
GROSS OPEN SPACE AREA: 11.87 ACRES (40% OF TOTAL DEVELOPMENT AREA)
WETLAND AREA: 6.52 ACRES
DETENTION AREA: 1.00 ACRES
UNENCUMBERED OPEN SPACE: 4.35 ACRES (37% OF TOTAL OPEN SPACE)
ROW AREA: 3.66 ACRES
FLOODPLAIN AREA: 2.91 ACRES
GROSS DENSITY: 58 LOTS (INCLUDING OUTLOT) / 29.51 ACRES = 1.97 LOTS / ACRE
NET DENSITY (EXCLUDING ROW AND FLOODPLAIN): 58 LOTS / 22.94 = 2.53 LOTS / ACRE
NOTE: ADDITIONAL INFORMATION PROVIDED ON SHEET C2
- PROPOSED IMPROVEMENTS:
EACH LOT TO BE SERVED BY PUBLIC WATER AND SANITARY SEWER. THE OUTLOT SHALL BE CONNECTED TO CITY SEWER.
PUBLIC STREETS WILL CONFORM TO CITY OF KENTWOOD STANDARD ROAD CROSS SECTION.
SIDEWALKS TO BE INSTALLED UPON THE COMPLETION OF HOUSE CONSTRUCTION ON EACH LOT.
- STORMWATER
DETENTION SHALL BE PROVIDED FOR THE DEVELOPMENT PER THE CITY OF KENTWOOD STORM WATER DESIGN STANDARDS.
- WETLANDS
A WETLAND IMPACT PERMIT WILL BE OBTAINED FROM EGLE FOR FILLS IN THE WETLANDS ON LOTS 2, 14, 36, AND 37.
- OPEN SPACE ACCESS
OPEN SPACE ACCESS EASEMENTS ARE FOR PEDESTRIAN (WALKING) ACCESS ONLY. NO BIKES, ATVs, OR OTHER RECREATIONAL VEHICLES WILL BE ALLOWED. OPEN SPACE ACCESS SHALL ALSO BE RESTRICTED TO RESIDENTS OF THE DEVELOPMENT.



SCALE: 1" = 80'



REVISIONS
02/13/2024 - INITIAL SUBMITTAL
02/16/2024 - CHANGED OPEN SPACE TO EASEMENT VS DEEDED
03/14/2024 - REVISED STREET LAYOUT FOR MAXIMUM LENGTH REDUCTION
03/21/2024 - PER INITIAL PC FEEDBACK
04/02/2024 - UPDATED REQUIREMENT NOTES
04/17/2024 - PER COMMUNITY FEEDBACK

LEGEND

T	TOWN	SECTION CORNER
R	RANGE	SET CAPPED IRON
N	NORTH	FOUND IRON OR NAIL
S	SOUTH	STORM SEWER MANHOLE
E	EAST	SANITARY SEWER MANHOLE
W	WEST	CATCH BASIN
SEC.	SECTION	HYDRANT
POB	POINT OF BEGINNING	VALVE
	PROPOSED BLACKTOP	UTILITY POLE
	PROPOSED CONCRETE	GUY WIRE
	EXISTING BLACKTOP	LIGHT POLE
	EXISTING CONCRETE	WALL MOUNTED LIGHT
		PEDESTAL
		TRANSFORMER
	BUILDING	SIGN

PRELIMINARY PUD
HOPE HAVEN

FOR: CARSON GALLOWAY
5632 WING AVE LLC
55 CAMPAU AVE NE, STE 300
GRAND RAPIDS, MI 49503

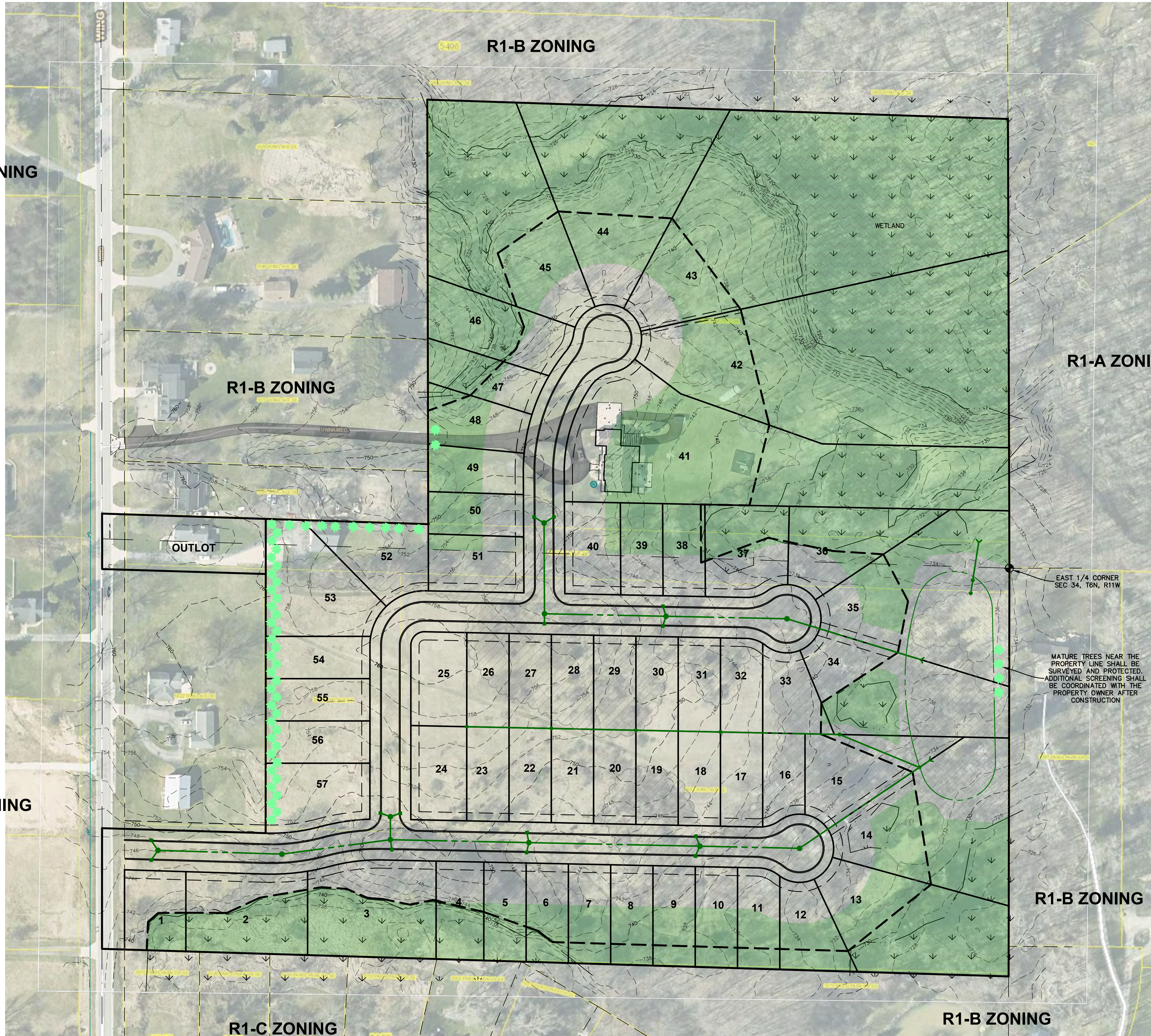
PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4, SECTION 34, T6N, R11W, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

Feenstra
& Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
3145 Prairie St SW Phone: 616.457.7050
Grandville, MI 49418 www.feenstra-inc.com

C1

R1-B ZONING

R1-B ZONING



PROPERTY DESCRIPTION:

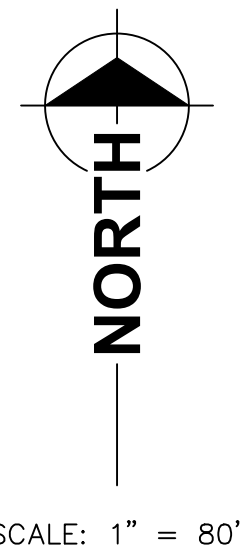
PROPOSED OVERALL DESCRIPTION:

That part of the Northeast 1/4 and Southeast 1/4 of Section 34, T6N, R11W, City of Kentwood, Kent County, Michigan, described as: Beginning at the East 1/4 corner of said Section; thence S00°06'49"E 598.54 feet along the East line of the Southeast 1/4 of said Section to the North line of the South 22.00 acres of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N88°15'29"W 1329.76 feet along said North line to the West line of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N00°00'55"E 176.93 feet along said West line; thence S88°15'29"E 240.00 feet; thence N00°00'55"E 380.00 feet; thence N88°15'29"W 240.00 feet to the West line of the Northeast 1/4 of the Southeast 1/4 of said Section; thence N00°00'55"E 44.30 feet along said West line to the Center of Section; thence N00°07'51"W 37.00 feet along the West line of the Northeast 1/4 of said Section to the North line of the South 37.00 feet of the Northeast 1/4 of said Section; thence S88°08'37"E 479.28 feet along said North line to the East line of the West 478.50 feet of the Southeast 1/4 of the Northeast 1/4 of said Section; thence N00°07'51"W 622.48 feet along said East line to the North line of the South 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section; thence S88°05'47"E 851.77 feet along said North line to the East line of the Northeast 1/4 of said Section; thence S00°11'06"E 658.80 feet along said East line to the Point of Beginning. Contains 29.51 acres.

AREA CALCULATIONS:

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GROSS OPEN SPACE AREA:	11.87 ACRES (40% OF TOTAL DEVELOPMENT AREA)
WETLAND AREA:	6.52 ACRES
DETENTION AREA:	1.00 ACRES
UNENCUMBERED OPEN SPACE:	4.35 ACRES (37% OF TOTAL OPEN SPACE)
ROW AREA:	3.66 ACRES
FLOODPLAIN AREA:	2.98 ACRES
GROSS DENSITY:	58 LOTS (INCLUDING OUTLOT) / 29.51 ACRES = 1.97 LOTS / ACRE
NET DENSITY (EXCLUDING ROW AND FLOODPLAIN):	58 LOTS / 22.94 = 2.53 LOTS / ACRE
AREA LEFT UNDISTURBED FROM CURRENT CONDITION	14.35 ACRES
WOODED AREA TO BE DISTURBED WITH INFRASTRUCTURE DEVELOPMENT	7.71 ACRES
FIELD AREA TO BE DISTURBED WITH INFRASTRUCTURE DEVELOPMENT	7.45 ACRES
PROPOSED BUFFER YARD ON WEST PROPERTY LINE	0.21 ACRES

NOTES:
1. BUFFER YARD TO BE PLACED WITHIN AN EASEMENT AND THE HOA SHALL ASSUME MAINTENANCE RESPONSIBLY TO ENSURE THE SCREENING REMAINS IN PLACE AND CONTINUOUS. THE PROPOSED EVERGREEN TREE SCREEN MAY BE REPLACED WITH A PRIVACY FENCE OR OTHER SCREENING WITH AGREEMENT FROM ALL PARTIES AFFECTED.
2. UNDISTURBED AREAS MAY DIFFER FROM THOSE OUTLINED ABOVE BASED ON REVIEW FROM CITY STAFF FOR COMPLIANCE WITH THE STORM WATER ORDINANCE OR OTHER REGULATIONS.



PRELIMINARY PUD
HOPE HAVEN

FOR: CARSON GALLOWAY
5632 WING AVE LLC
55 CAMPAU AVE NE, STE 300
GRAND RAPIDS, MI 49503

PART OF THE NORTHEAST 1/4 AND THE SOUTHEAST 1/4, SECTION 34,
T6N, R11W, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

Feenstra
& Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
3145 Prairie St SW Phone: 616.457.7050
Grandville, MI 49418 www.feenstrainc.com

C2

Golder, Lisa

From: Mike Corby <MCorby@INTARCH.com>
Sent: Tuesday, April 16, 2024 7:23 PM
To: Golder, Lisa
Cc: mike.bosgraaf@bosgraaf.com; rysseldyke@hollandengineering.com; Kerri Bennett
Subject: [EXTERNAL]44th and Walma. Bosgraaf project

⚠ Stop.Think.Read.This is an external email. Please use caution when clicking on any links or opening attachments.

Lisa,

Once again, thank you for the assistance in processing this application for PUD and Site Plan approval.

We appreciated the work session with the Planning Commission last week and we are in the process of addressing some of the comments at this time. Obviously, we are not able to complete the revisions and provide updated submission by today as required to be ready for the meeting next week. *We are therefore requesting a table of our project at next week's public hearing.*

We are also not planning to be in attendance, as we would expect the appropriate dialogue to occur at the time we can actually reference the revised submission. We would request and expect this to be at your May 14th Planning Commission agenda. Please confirm this.

We also expect to have the submission revisions completed and delivered to you sometime next week.

The reaction from the Commission in the work session was resoundingly positive with a few comments from the Commission and staff. Our revisions will include:

1. Increase the minimum garage apron/ parking space depth from a minimum of 20 feet to a minimum of 22 feet. More than 75% of the driveway aprons will actually be over 23 feet deep.
2. Maintain at least a 20 front yard for all buildings, with no exceptions. Previous submission requested a waiver for one building. That waiver will not be needed.
3. Maintain a 30 to 35 foot setback on our east property line, as it is acting as a rear yard more so than a side yard.
4. We plan to maintain a vegetative buffer on the east property line. This will involve retaining the existing mature vegetation. We will be assessing the current tree line and identifying the approximate number that will be retained and communicating this with our resubmission.

We, again, are excited to continue to move through this process and were so grateful to hear their positive feedback.

Please respond with your confirmation.

Best Regards,

Mike

Michael C. Corby FAIA, NCARB, LEED AP
President / Managing Partner
INTEGRATED ARCHITECTURE
840 Ottawa Avenue NW Grand Rapids, MI 49503
616.559.4721 Direct | 616.560.6459 Mobile

STAFF REPORT: April 10, 2024
PREPARED FOR: Kentwood Planning Commission
PREPARED BY: Lisa Golder
CASE NO.: 10-24 LDS Temple-PUD Phase

GENERAL INFORMATION

APPLICANT: The Church of Jesus Christ of Latter-Day Saints
2400 Forest Hill Avenue
Kentwood MI 49548
Rep by: Progressive AE
1814 4 Mile Road NE
Grand Rapids MI

STATUS OF APPLICANT: Owner and Developer's representative

REQUESTED ACTION: Applicant is requesting Final PUD approval for a PUD phase

EXISTING ZONING OF SUBJECT PARCEL: RPUD-1 Attached Residential Planned Unit Development

LOCATION: 2400 Forest Hill Avenue SE

PARCEL SIZE: 10.32 Acres

EXISTING LAND USE ON THE PARCEL: Christ Community Church (vacant)

ADJACENT AREA LAND USES: N, E: Single Family Residential
S: Forest Meadows Condominiums
W: Retirement Community & Single Family Residential

ZONING ON ADJOINING PARCELS: N, E: R1-C Single Family Residential
S: RPUD-1 Attached Residential PUD
W: RPUD-1 Attached Residential PUD and R1-C

Compatibility With Master Plan

The Master Plan was amended in 2022 from Institutional use to Medium Density Residential use. Churches are permitted in all residential districts, so the use is consistent with the Master Plan.

Relevant Zoning Ordinance Sections

Section 12.03 of the Zoning Ordinance describes the purpose, permitted uses, and other requirements of the RPUD-1 Attached Residential District. Site Plan Review Standards are found in Section 14.05 of the Zoning Ordinance.

Zoning History

The site was part of a 79-acre PUD that was originally approved in 1992. In 1995 the city approved a church for the site. The 2020 Master Plan showed the site as Institutional. With the closure of the church, a developer approached the city in 2021 to request a Master Plan amendment to medium density residential. While the Master Plan amendment was approved, a plan was not presented for city review.

SITE INFORMATION

Street and Traffic

Access to this site is from Forest Hills Avenue. The current circular driveway aligns with Somerset Drive (serving Clark Homes) with the second curb cut located 90 feet to the north. The applicant is proposing another circular driveway for the LDS Church. The southern driveway cut also aligns with Somerset Drive; the second curb cut is located 300 feet to the north. The northern driveway is about 430 feet from the Burton and Forest Hills intersection.

Church operations:

The church is not intended for Sunday worship services, recreational activities or other community events, but are used for special ceremonies called ordinances. These include baptisms, sealings (including marriages) and the Temple endowment. Temple ordinances are performed throughout the day. There are generally not large groups of people coming and going at once, but rather, a steady flow of patrons will arrive and leave during the hours the Temple is open. The Temple will have a small number of employees (4-5) responsible for maintenance, cleaning, laundry and other duties. A majority of people working at the Temple will be volunteers, who may serve one or more four-hour shifts throughout the week. At any given time, there may be 30-40 people working in the Temple.

After the Temple construction is completed, there will be a public open house. Once dedicated, the Temple is reserved for members of the church. However, the grounds around the Temple will remain open to the public during operating hours.

Site Information

The site includes a church approved in 1995. A detention pond for the development exists along Forest Hill Avenue. The site drops toward the single family subdivision that is east of the development.

Staff Review

Final PUD Site Plan:

1. The plan for the Christ Community Church was approved in 1995. The plan approved by the city included not only the church present on the site, but also additional expansion phases of the church facilities. The total area approved for the church was approximately 90,000 square feet, with a 1,000 seat sanctuary space. The LDS church is proposed to be located in the same area of the site as the Christ Community Church. However, the LDS is only proposed to be 20,485 square feet in area. The height of the walls of the temple are 30' from mean grade. The top of the mechanical mezzanine roof is 35'.
2. Applicant is proposing a roughly 4,000 square foot maintenance building for vehicles, maintenance equipment, workshop, storage, utilities and distribution center. The distribution center provides materials integral to the religious purpose of the temple. The RPUD-1 district allows for accessory structures to vary from the requirements of Section 3.15 and 3.16 of the Zoning Ordinance.
3. The applicant has received a variance from the Zoning Board of Appeals with respect to the height of the spire. The approval by the Zoning Board allows for a 95' height for the spire. In addition, up to a 3-foot extension may be permitted beyond the 95 feet, provided that the extension does not exceed 2.75 inches in diameter. The spire will therefore not be lit between the hours of 11:00PM and 5:00AM.

As part of the Zoning Board action the temple has agreed to lower the established mean grade by 2' at the building wall perimeter.

4. A lighting plan has been submitted for the parking lot. The applicant must comply with the City's lighting requirements for the building.
5. A detailed landscaping plan has been provided. The landscape plan includes a 4' high wrought iron fence that extends around the church building. Chapter 19 of the Zoning Ordinance requires one street tree for every 80 feet of lot frontage.

Attributes:

- Temple building proposed is smaller than approved Christ Community with its proposed expansions
- Temple generates very little traffic
- Zoning Board approved proposed height variance.
- No lighting of spire between 11:00PM and 5:00 AM.

Issues:

- Additional lighting details needed for building and spire

Subject: FW: [External] questions

From: Robert LaPlaca <laplacar@progressiveae.com>

Sent: Friday, April 12, 2024 3:56 PM

To: Golder, Lisa <GolderL@kentwood.us>

Cc: Tom Frey <TFrey@weareprogressive.com>; John Van Houten <JVanHouten@weareprogressive.com>; Lydia Fries <LFries@weareprogressive.com>

Subject: RE: [External] questions

1) Summary of ZBA Decision

- The ZBA approved the Church's application for a height variance on 18 March 2024, with the following conditions:
 1. The total height of the structure constructed on the property shall not exceed 95.00 feet, as measured pursuant to the Zoning Ordinance, provided that up to 3.0 feet of any portion of the structure less than or equal to 2 and $\frac{3}{4}$ inches in diameter may exceed the 95.00-foot maximum height.
 2. The established mean grade at the building wall perimeter shall not exceed 798.0 feet above sea level.
 3. Any portion of the structure exceeding 44.00 feet above the grade at the building wall perimeter shall not have any exterior façade lighting between the hours of 11:00 PM and 5:00 AM.
- The decisions reached in this meeting are reflected in the current submittal.
- Please reference the packet from the ZBA meeting held on 20 November 2023 (attached) for detailed background information regarding temples.

2) Explanation of the Type of Ceremonies

- Temples are different than ordinary Church meetinghouses. Temples are not used for Sunday worship services, recreational activities, and other community events, but they are used for special ceremonies called ordinances. These include baptisms, sealings (including marriages), and the temple endowment. In the temple, members of the Church receive religious instruction regarding the Savior Jesus Christ and God's plan for His children. As part of the ordinances, members make covenants (promises) with God that strengthen their relationship with Him and help them focus on the Savior, His Atonement, and their commitment to follow Him.
- More information regarding the purpose of temples and the ceremonies performed in temples is available on the Church website by following [this link](#).

3) General Hours

- Temples are generally in operation from 6:00a to 10:00p, Monday through Saturday. They are closed on Sundays. The hours may vary based on local needs.
- Temple ordinances are performed continuously throughout the day, and members attend the temple as their schedules allow. There are generally not large groups coming or going at once, but rather a steady flow of patrons arriving and leaving throughout the hours the temple is open.

4) Number of Employees

- The temple will have a small number of employees (4-5) that are responsible for maintenance, cleaning, laundry, clerical, and other similar duties.

- The vast majority of those working in the temple will be volunteers, who may serve for one or more four-hour shifts throughout the week. At any given time, there may be 30-40 volunteers working in the temple.

5) Upkeep of Grounds

- Temples are considered by members of the Church to be the house of the Lord. As such, they are constructed and maintained to the highest standards, using only the highest-quality materials. They are holy places of worship, and great care will be taken to ensure that the grounds and buildings are maintained in a way that reflects their sacred nature.

6) Public Access to the Grounds

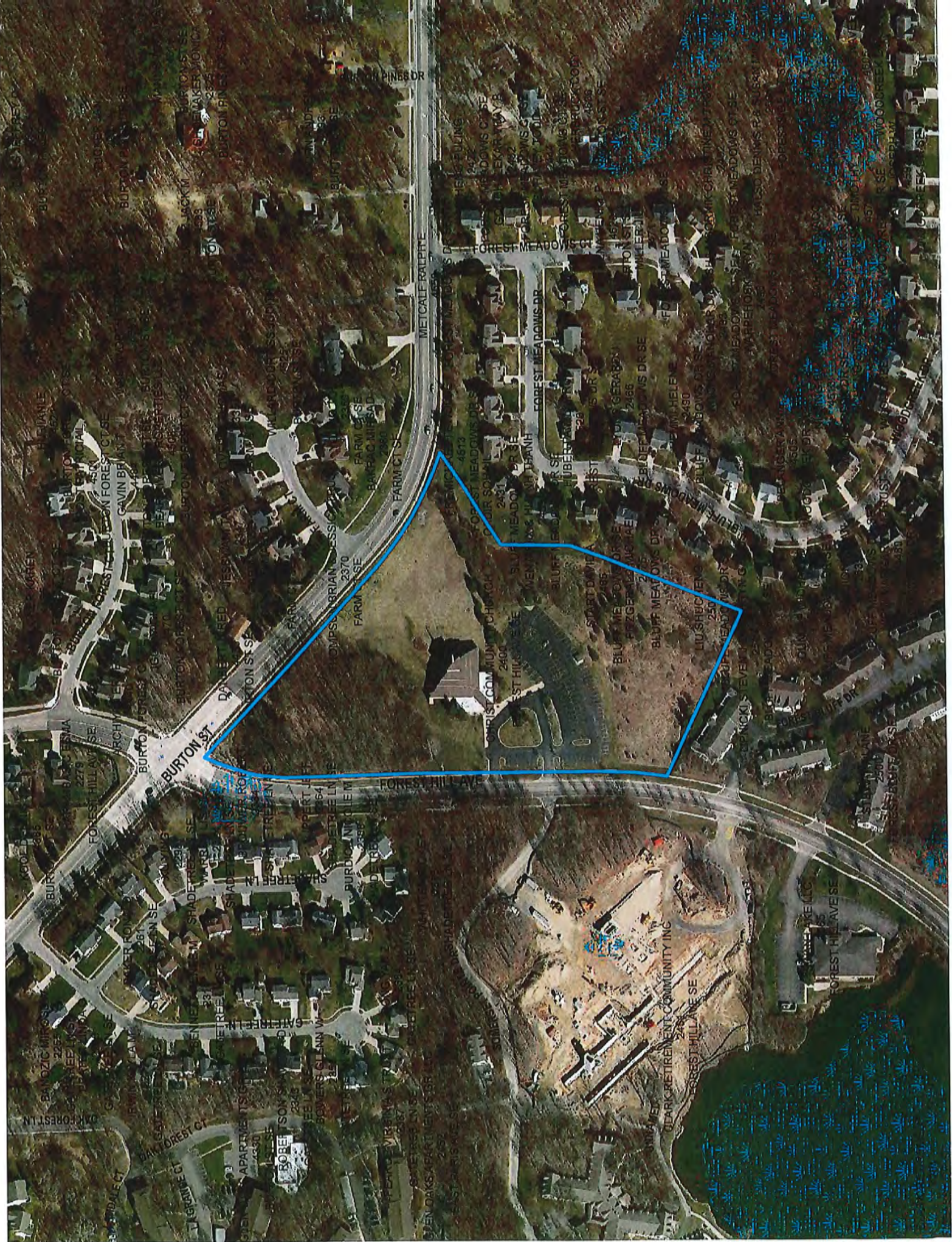
- After the construction of the temple is completed, the public will be invited to attend a free open house, which will generally last for a few weeks.
- Once dedicated, attendance in the temple is reserved for faithful members of the Church who are ready to participate in additional gospel ordinances
- The beautiful grounds around the temple will remain open to the public (during operating hours)

7) Maintenance Building

- Adjacent to the temple is a small utility and maintenance building that supports the temple
- This building includes a maintenance workshop, storage areas for materials and equipment, mechanical and electrical equipment, and offices and amenities for maintenance and grounds staff
- Also included in the maintenance building is a small distribution center, where the Church can provide clothing and materials integral to the religious purposes of the temple. People will be able to come here to purchase temple clothing, scriptures, religious artwork, hymnbooks, etc...

Rob LaPlaca, PE
Civil Engineer
Office 616.365.8564
Cell 630.394.0707
weareprogressive.com





FINDINGS OF FACT - 1995 Approval



KENTWOOD PLANNING COMMISSION

APPROVED

FINDINGS OF FACT

March 28, 1995

PROJECT: Christ Community Church
APPLICATION: S-95
LOCATION: Southeast corner of Forest Hills Avenue and Burton Street
HEARING DATE: March 14, 1995
REVIEW DATE: Final Site Plan for a PUD Phase

NOTICE: MOTION BY FRIGINS SUPPORTED BY LEMING TO CONDITIONALLY APPROVE THE SITE PLAN DATED MARCH 9, 1995. CHRIST COMMUNITY CHURCH AS AMENDED BY THE APPLICANT ON SECOND READING REGARDING FIRE LINES SURROUNDING THE CHURCH. DATED 3-9-95. MOTION BY FRIGINS TO AMEND THE PHRASE "STILL DOES NOT" TO "MUST" TO THE SITE. THE LOCATION TO BE A SECONDARY ACCESS TO THE SITE. MOTION 3. IN COLDS'S MEMO DATED 3-9-95. MOTION 4. PUD PLAN FOR EMERGENCY PARK SHOWS LANDSCAPING BY CONSTRUCTION STREET. ANY NATURAL AREA THAT WILL BE DISTURBED BY CONSTRUCTION STREET, PARKING AREAS, OR DETENTION PONDS SHALL BE LANDSCAPED TO PROVIDE PERSONNEL ACCESS. THE APPLICANT SHALL INDICATE THE BUILDING HAZARD TO BE SEEN DURING HEARING AND BASIS POINTS 1 THROUGH 4 IN COLDS'S MEMO DATED 3-9-95.

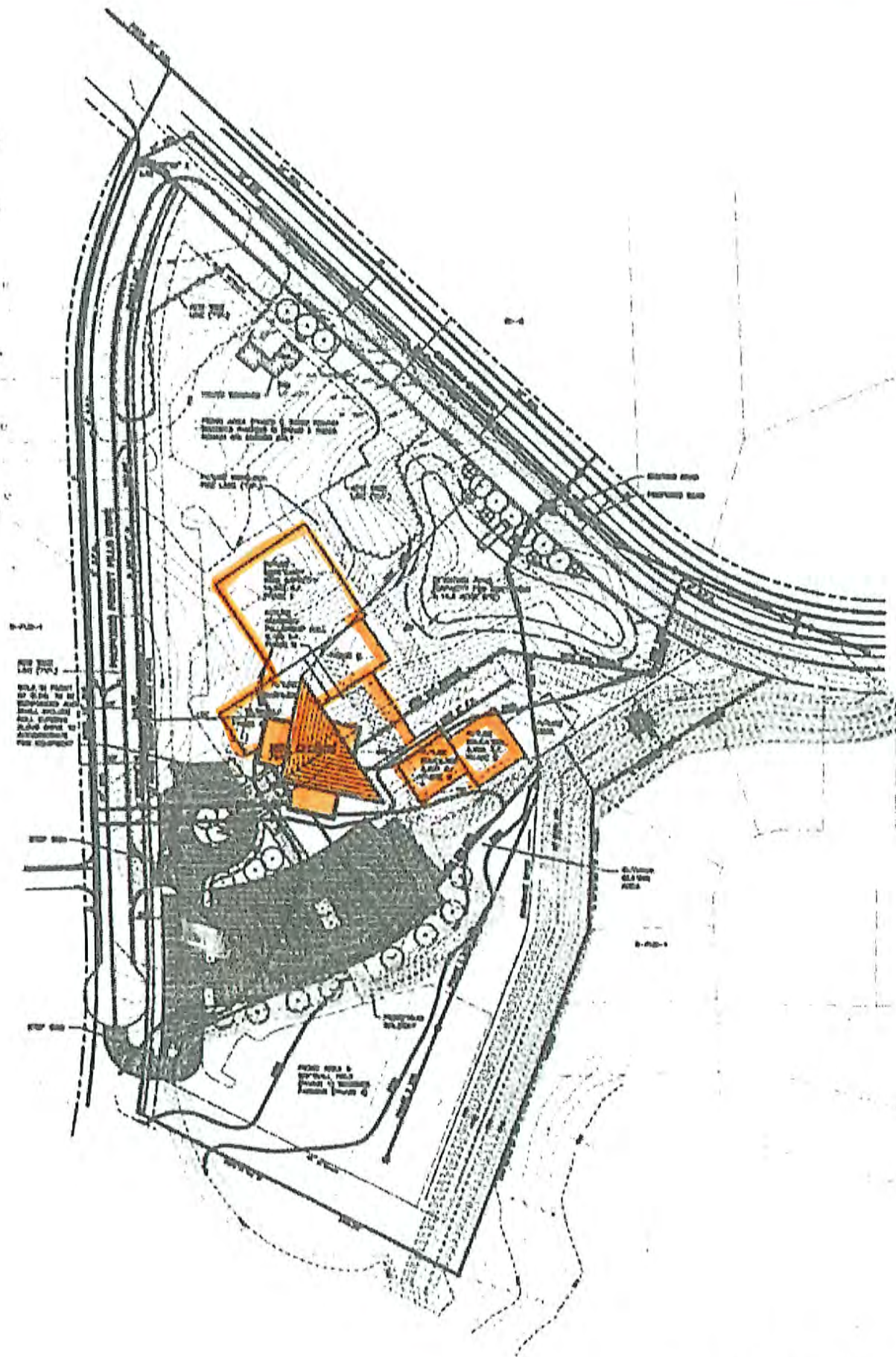
- Motion Carried (5-0) -
 McCarthy absent

- Condition:**
1. The proposed church must meet the requirements of the fire department for fire lanes. The size of the building and the fire lanes dictate more fire lanes than what is shown in the site plan.
 2. The applicant shall provide a secondary access to the site. The location to be agreed upon by applicant and staff.
 3. Compliance with the city engineer's memo dated February 9, 1995.

4926 BURTON AVE. S.E. P.O. BOX 1441 KENTWOOD, ALASKA 99123-0141 • PHONE (907) 464-9518
 An Equal Opportunity Employer M/F/H/V

Findings of Fact
 March 28-95
 Page 2

4. PUD plan for Embassy Park shows landscaping along Burton Street. Any natural area that will be disturbed by construction of Burton S. shall be landscaped to provide a secondary access to the site. The location to be agreed upon by staff and applicant.
 5. The applicant shall indicate the building materials to be used for the church building.
- BASIS:**
1. The fire marshal requested that the applicant curve the fire lane around the west side of the building. Also, the fire lane exceeds the 30-foot maximum distance from the building.
 2. The applicants indicated a desire to eliminate the secondary access off the cut-deck on Forest Hills. Until there are two means of access for fire protection, the fire department has a concern that the one entrance may be blocked in an emergency, and emergency vehicles could not reach the church.
 3. The applicants have indicated their desire to leave the site in its natural state, when possible. If the natural vegetation is destroyed, it should be replaced with landscaping. The new landscaping can be approved by staff.
 4. The applicants have indicated that due to cost concerns, changes have to be made. The building materials proposed for the church building are consistent with those previously approved.



APPROVED PLAN &
EXPANSION -
CHRIST COMMUNITY CHURCH



To: Kentwood Planning Department
From: Brad Boomstra, P.E.
City Engineer
Date: April 15, 2024
Re: **Grand Rapids Temple**
2400 Forest Hill Avenue
41-18-12-401-024

We have completed our planning level review of the proposed site plans dated April 1, 2024, for the above referenced project. Kentwood Engineering has the following comments that will need to be addressed as the review process proceeds. A more detailed review will be done when the development is submitted for Site Plan Construction review.

Street / Sidewalk / Parking Lot:

1. The pavement within the commercial drive approach between the sidewalk and the gutter pan must be concrete, at least 6 inches thick.
2. For any curb cut which terminates less than five (5) feet from a construction joint, the contractor shall remove and replace the existing curb to the next joint.
3. The sidewalk must be carried across the commercial drive. Where it crosses, it must be at least 6" thick.
4. Include the City of Kentwood General Notes on the plan(s). These notes are required for the work being performed in the Forest Hills Avenue right-of-way. Highway permit conditions, specifications and required general plan notes are posted on the City's website, and can be accessed at <http://www.ci.kentwood.mi.us> (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "RIGHT-OF-WAY" link near the top of the page).
5. Additional comments regarding the street and/or sidewalk may be made upon further review.

Grading:

1. Please identify at least one (1) benchmark on the plan.
2. Indicate the proposed limits of grading on the site plan. A thick, shaded line works well for this.
3. Indicate and label the 1% chance (100-year) flood elevation on the site plan or add a note that none exists on this site.
4. Indicate and label the wetland delineation line or add a note that none exist on this site.

5. In the area of the former building, there may be disturbed/loose soil remaining from the previous construction. Be sure the specifications require that an independent testing laboratory be on site to perform compaction testing during site grading. We want to be sure that all backfill soils are properly placed and compacted prior to new foundation construction.
6. Additional comments regarding grading may be made upon further review.

Detention Basin:

1. A low flow channel will be needed across the bottom of the detention basin between the end section(s) and the outlet structure with a minimum grade of 0.6 percent. This may consist of 4" concrete, grouted riprap, or properly sized riprap, all on filter fabric (MDOT "Geotextile Liner"). Both the surface material and the fabric must be toed in at least 18 inches at all earth interfaces. The remainder of the basin bottom shall have a minimum 2 percent slope to the low flow channel.

Soil Erosion and Sediment Control:

1. We will need to see some additional soil erosion control measures as part of the plan review. Section 78-62 of the City of Kentwood Ordinance (posted on the City's website) contains minimum requirements for information that shall be included on the plan. Go to: <http://www.ci.kentwood.mi.us> (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORMWATER" link near the top of the page). Please review this ordinance carefully.
2. Per the requirements of Part 91 of Public Act 451, all proposed grading and soil erosion controls must be shown on a sheet(s) titled, at least in part, "SOIL EROSION AND SEDIMENTATION CONTROL PLAN". This plan should show surface features related to grading and soil erosion and sediment control. The SESC Plan may be combined with other plans and improvements as long as clarity is retained. Two (2) copies of this sheet, once approved, will need to accompany the application for an earth change.
3. We need to see existing and proposed topography at a maximum of five (5) foot contour intervals on the SESC Plan. The existing topography shall include structures and natural features outside the site boundary line within 50 feet.
4. Show storm sewers on the SESC Plan
5. Place a note on the soil erosion control plan to indicate that existing and new catch basins shall be protected with an inlet filter drop (silt sack). Straw bales or fabric placed under the grate are NOT acceptable, and sediment traps alone are not sufficient to provide adequate sediment filtration. Such a note might read, "EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FABRIC DROP (SILT SACK)." Include a simple detail of the proposed silt sack on the Soil Erosion and Sediment Control plan. We can provide you with an acceptable CAD detail upon request.
6. Place the following notes on the soil erosion control plan:
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC ACT 451.
 - ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.

- ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
 - EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED. (This area of disturbance, or grading limits, must be clearly shown on the site plan.)
 - SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE. (Remember that silt fences are intended to intercept *sheet flow* only and must always be installed *parallel* with the ground contours. Silt fences must not cross ravines, overland floodways, ditches, swales, etc. where concentrated flows occur.)
 - ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 AND THE DETENTION BASIN BANKS AND BOTTOM MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF. (Indicate such areas with shading or hatching on the plan.)
 - ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
 - NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT DOES OCCUR, IT SHALL BE CLEANED DAILY.
 - THE STORMWATER DETENTION BASIN IS TO BE THE FIRST ITEM OF EARTH MOVING AND SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE INSTALLATION OF SOIL EROSION CONTROL MEASURES.
7. Per the requirements of Part 91 of P.A. 451, place on the soil erosion control plan a bar graph or chart showing the proposed timing and sequence of each proposed earth change. It must include the installation of both permanent and temporary soil erosion and sedimentation controls, as well as the removal of temporary controls. It must also show the sequence of any construction phases.
8. A stone construction exit must also be included as part of the soil erosion control plan. Indicate the location of this exit on the plan, along with a detail. The length of the rock construction exit shall be at least 50 feet and shall consist of a 6-inch minimum layer crushed rock or stone on top of non-woven geosynthetic fabric (MDOT "Heavy Geotextile Liner"). The size of the stone shall be selected so that it cannot get caught between dual truck tires.
9. The number system for the details on Sheet C104 does not match the numbering system on Sheet C103. Sheet C103 shows callout E5 at the southern driveway, however E5 is not referenced in the SESC keying system legend. Additionally, S53, stabilized construction access is not shown on the plans.
10. Sheet C103 – SESC Notes in the legend are not legible. There may be a font problem.

11. Additional soil erosion and sediment control comments may be made by Kentwood staff upon further review.

Utilities (Sanitary & Water):

1. The City of Grand Rapids owns, operates and maintains the sanitary sewer collection and water distribution systems in this portion of Kentwood. Any alterations, extensions or new connections to either of these systems will require approval from Grand Rapids. Construction plans (drafting standards) and specifications for the proposed watermain and sanitary sewer must conform to Grand Rapids requirements.
2. A representative of the City of Kentwood Inspections Department must be present when the tap is made into the existing sanitary sewer.
3. The Grand Rapids Water Department must be present to make the tap into the existing water main. Notify the Grand Rapids Water Department before making the connection to the existing service lateral.
4. Additional comments regarding utilities may be made upon further review.

Required Permits, Bonds, Fees [and Escrow]:

1. Because this parcel is adjacent to a public street, over one (1) acre is being disturbed, or is within 500 feet of a lake or stream, a Permit for an Earth Change (fee \$400) and a \$5,000 soil erosion control performance bond or an irrevocable letter of credit using the City of Kentwood format will be required through Kentwood Engineering. The Owner/Developer must sign the Permit for an Earth Change. Both the Owner/Developer and the Contractor must be named on the bond. Please contact us if you need a permit and/or a bond template form, or one can be accessed on the City's website at <http://www.ci.kentwood.mi.us> (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORM WATER" link near the top of the page). There is a 365-day limit to complete the work under this permit.
2. An NPDES Notice of Coverage will also be needed as the proposed area of disturbance exceeds 5 acres. At the time the Earth Change permit is issued by the Kentwood, your Notice of Coverage will immediately become effective as a "permit-by-rule" as soon as the NOC has been properly filed and the appropriate fee is paid.
3. Your contractor will need a Drive Permit from Kentwood Engineering for the proposed commercial drives into the Forest Hill Avenue right-of-way. A \$10,000 annual ROW bond or an irrevocable letter of credit using the City of Kentwood format and a certificate of insurance (with the City of Kentwood named as additional insured) will also be required. We will need to see a plan of the proposed commercial driveway at a plan scale no greater than 1" = 50'. Contact us if you need a permit and/or bond form, or they can be accessed on the City's website. Highway specifications, general conditions and required plan notes are also posted on the City's website.
4. A highway permit (\$800) will also be needed for any utility work in the Forest Hill Avenue right-of-way. A \$20,000 right-of-way bond or an irrevocable letter of credit using the City of Kentwood format and a certificate of insurance (with the City of

Kentwood named as additional insured) will also be required. We will also require that a traffic plans be submitted to us for road closure, signage and detours. Kentwood Engineering must be notified at least two (2) working days prior to making the open street cut so that Kentwood Police and the Kentwood Public Schools can be properly notified.

5. A \$30,000 Site Grading and Stormwater Management Bond or an irrevocable letter of credit using the City of Kentwood format and an administrative fee of \$600 will be required through Kentwood Engineering. This bond is posted to assure that the plan, once approved, is constructed in the field according to that plan. Both the Owner/Developer and the Contractor must be named on the bond. Let us know if you need our bond template, or it can be accessed on the City's website.
6. Please note that all required bonds and permit applications and fees must be submitted to, and accepted by, Kentwood Engineering *before any permits can be issued!* There will be no "partial" or "conditional" permits issued.

Miscellaneous / Reminders:

1. Please be advised that at the completion of construction, a civil engineer or surveyor will need to provide an as-built plan to the City of Kentwood with a certification by a registered engineer stating that the site grading and the stormwater system were constructed in accordance with the approved plans. A copy of the certification form is available upon request or on the City's website.
2. Remember that, for a Building Permit to be issued, other City departments (fire, assessor, treasurer, water, planning) may have comments regarding this plan. Contact Kentwood Inspections (Renee Hargrave, 554-0781) regarding building permit application procedures, fees, plan requirements and approval status.
3. Once final approval by all departments has been granted, make sure the contractor has the latest approved set of plans before beginning construction!

Should you have any questions regarding this department's review, please feel free to contact our office.

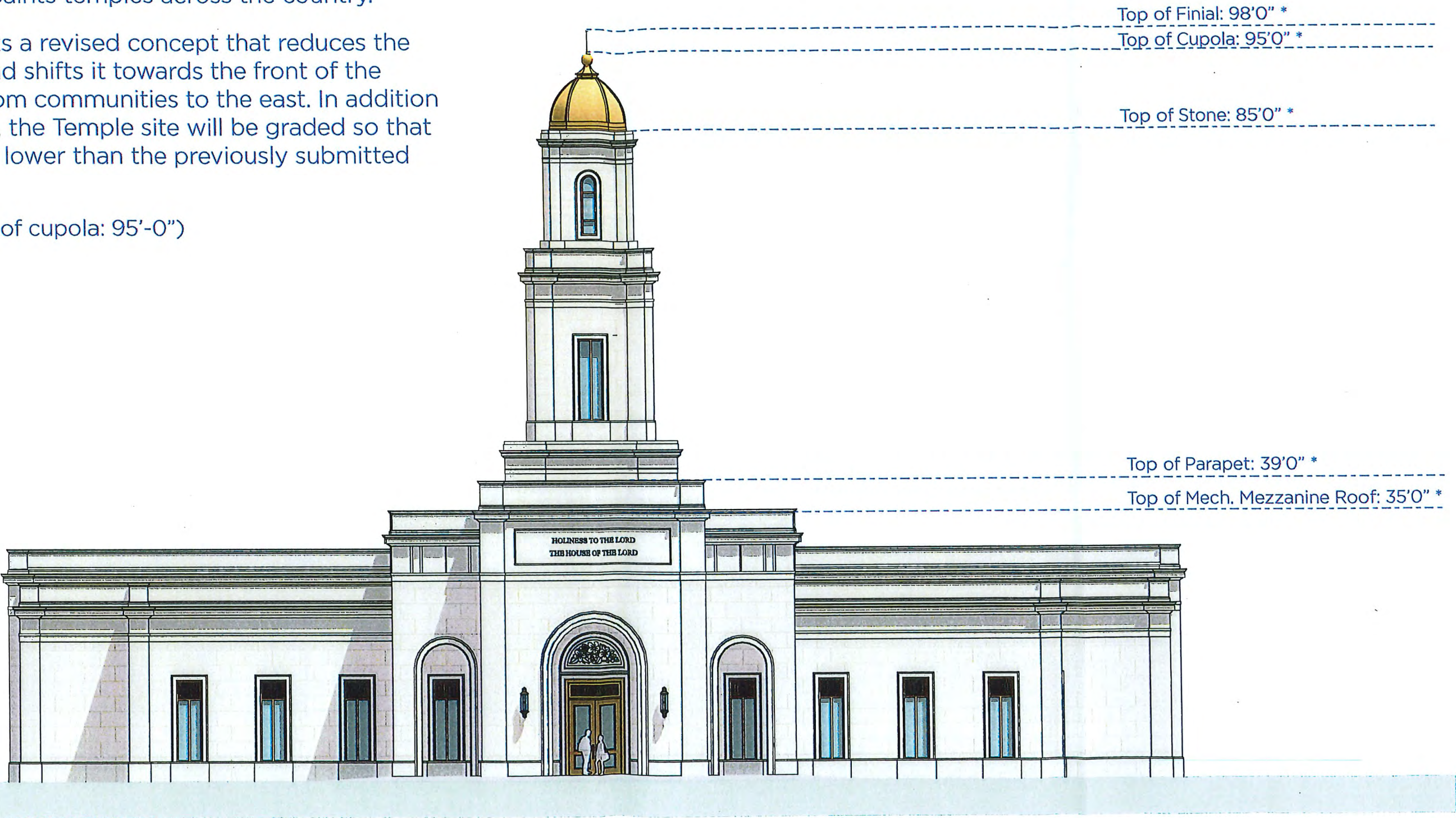
cc: Kentwood Engineering Permit Staff

Grand Rapids Temple: Proposed Temple Design

The Grand Rapids Temple is inspired by neoclassical architecture. Its size and proportions are consistent with buildings in that style and similarly sized Church of Jesus Christ of Latter-day Saints temples across the country.

This package presents a revised concept that reduces the height of the spire and shifts it towards the front of the building and away from communities to the east. In addition to reducing the spire, the Temple site will be graded so that the ground floor is 2' lower than the previously submitted concept.

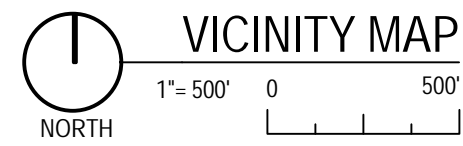
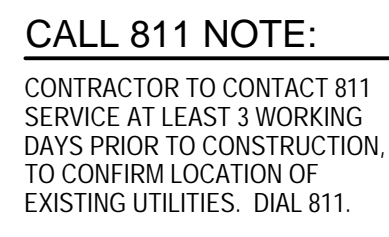
(Temple height to top of cupola: 95'-0")



NOTE: Images show building height and proportions but do not show final architectural design.

* All heights are measured from "mean grade" which is 4" below floor level.

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ZONE DISTRICT: RPUD-1
 ADJACENT ZONING: N, RT-C, E, RPUD-1, S, RPUD-1, W, RT-C
 PARCEL SIZE: 10.5 ACRES

REQUIRED SETBACKS:
 FRONT: 20 FEET
 SIDE: 20 FEET
 REAR: 30 FEET
 PARKING SETBACK: 45 FEET FROM REAR OR SIDE

REQUIRED PARKING: 2 SPACES PER 5 SEATS OF ASSEMBLY = (40/5) X 2 = 16

PARKING PROVIDED:
 STANDARD (9X19): 142
 BARRIER FREE: 6
 ADDITIONAL PARKING FOR MOTORCYCLES:
 STANDARD (9X19): 5
 TOTAL SPACES: 153

BIKE PARKING PROVIDED: 6

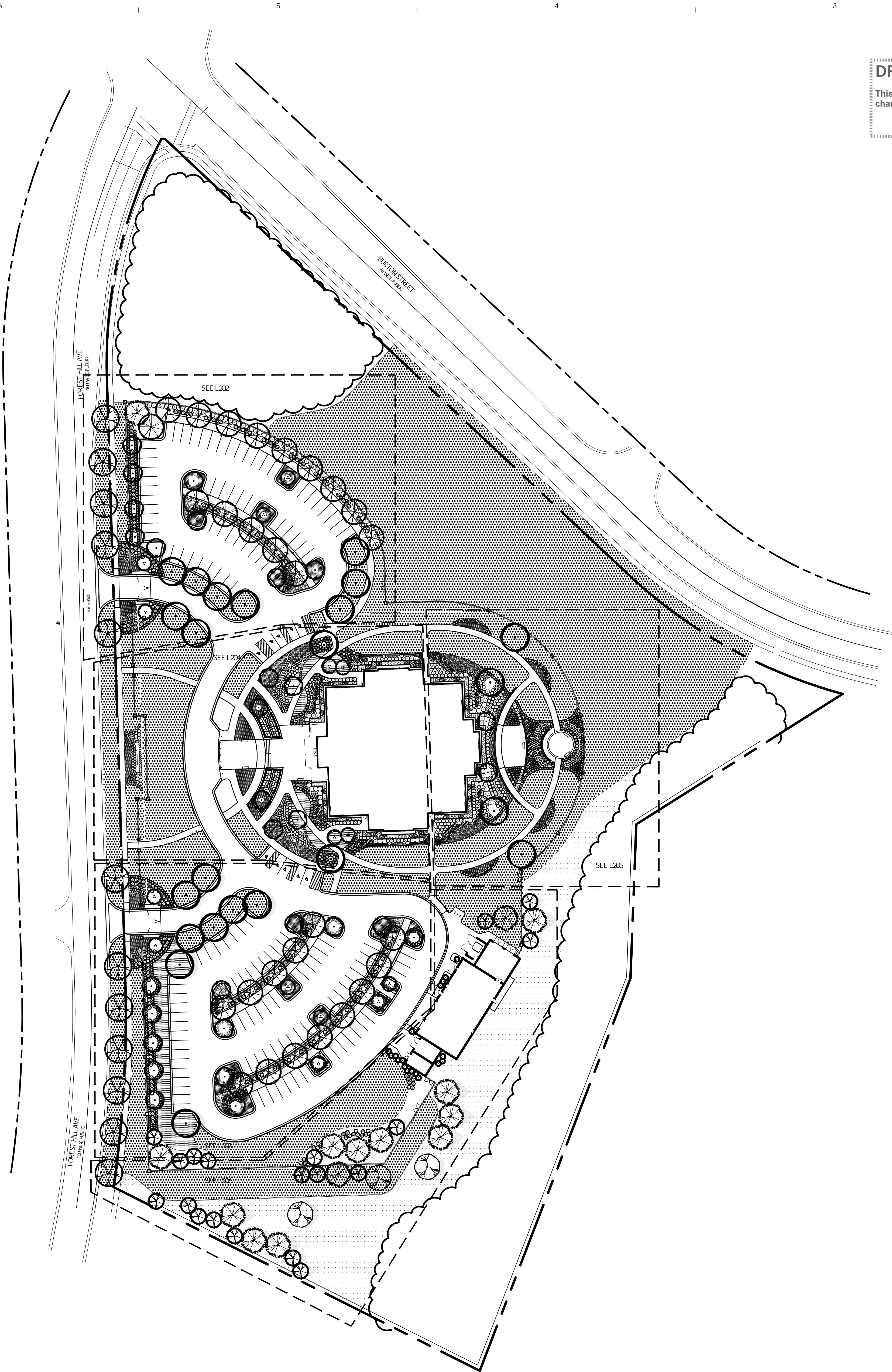
STANDARD CURB AND GUTTER

The drawings illustrate the following cross-sections:

- HEAVY-DUTY BITUMINOUS PAVEMENT:** A cross-section showing multiple layers of bituminous material and aggregate, with a 1 1/2" (165 LBS/SY) SEL WEARING COURSE, MDOT TACK COAT @ 0.15 GAL/SY, 2" (220 LBS/SY) MDOT 4EL LEVELING COURSE, 2" (172 (200 LBS/SY) MDOT 4EL LEVELING COURSE, 2" (275 LBS/SY) MDOT 4EL LEVELING COURSE, 10" AGGREGATE BASE, MDOT 21AA CRUSHED NATURAL AGGREGATE, and a 4" CONCRETE curb.
- LIGHT-DUTY BITUMINOUS PAVEMENT:** A cross-section showing multiple layers of bituminous material and aggregate, with a 1 1/2" (165 LBS/SY) SEL WEARING COURSE, MDOT TACK COAT @ 0.15 GAL/SY, 1 1/2" (220 LBS/SY) MDOT 4EL LEVELING COURSE, 2" (275 LBS/SY) MDOT 4EL LEVELING COURSE, 10" AGGREGATE BASE, MDOT 21AA CRUSHED NATURAL AGGREGATE, and a 4" CONCRETE curb.
- CONCRETE SIDEWALK:** A cross-section showing a 4" CONCRETE curb, 4" MDOT CLASS II GRANULAR BASE, APPROVED COMPACTED SUBBASE, and 8" CONCRETE, MDOT GRADE 3500.
- HEAVY DUTY DRIVE APPROACH CONCRETE:** A cross-section showing 8" CONCRETE, MDOT GRADE 3500, and 8" MDOT 21AA CRUSHED NATURAL AGGREGATE.
- BRICK PAVERS:** A cross-section showing BRICK PAVERS, 3/4" SAND SETTING BED, 1" DIA. WEPHOLIES THRU CONC. SLAB, 4" O.C., 4" CONCRETE, 12" MDOT CLASS II SAND, COMPACTED SUBGRADE, and BRICK PAVERS.
- BRICK PAVERS SECTION WITH SNOW MELT:** A cross-section showing BRICK PAVERS, 3/4" SAND SETTING BED, 1" DIA. WEPHOLIES THRU CONC. SLAB, 4" O.C., SNOWMELT TUBING 5/8" DIA, 9" O.C., 2" POLYSTYRENE FOAM BOARD, 6" MDOT CLASS II GRANULAR BASE, APPROVED COMPACTED SUBBASE, and BRICK PAVERS.
- 6" THICK CONCRETE WITH SNOW MELT:** A cross-section showing 6" CONCRETE, MDOT P1, SNOWMELT TUBING 5/8" DIA, 9" O.C., 2" POLYSTYRENE FOAM BOARD, 6" MDOT CLASS II GRANULAR BASE, and APPROVED COMPACTED SUBBASE.

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PROJECT NUMBER
95590001
PROJECT MANAGER
T. FREY
PROFESSIONAL
R. LAPLACA
DRAWN BY
R. LAPLACA
CHECKED BY
S. TEITSMA



DRAWING TO BE REPLACED BY APRIL 22nd.

This drawing is included to show scope and intent. A drawing reflecting layout changes will be included by April 22



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

GENERAL LANDSCAPE NOTES

- CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY PLAN DISCREPANCIES.
- PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES. NO PAINTING ALLOWED.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE ON PLANS.
- CONTRACTOR TO CONTACT MSS DIG AT PHONE NUMBER 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION TO CONFIRM LOCATION OF EXISTING UTILITIES.
- CONTRACTOR TO COORDINATE PLANTING SCHEDULE WITH IRRIGATION CONTRACTOR.
- NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- SHRUB PLANTING BEDS AND TREE SAUCERS TO RECEIVE 3" SHREDDED HARDWOOD MULCH. PERENNIAL BEDS TO RECEIVE 2" DEPTH MULCH AND GROUND COVER AREAS TO RECEIVE 1" DEPTH MULCH.
- ALL SHRUB BEDS TO HAVE ALUMINUM EDGING AND WEED BARRIER FABRIC (SEE SPECIFICATIONS).
- PLANTING MIXTURE FOR PERENNIALS SHALL BE SIX INCH DEPTH OF FOUR PARTS BY VOLUME OF TOPSOIL TO ONE PART OF SPAGNUM PEAT MOSS.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICES AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER (3 DAYS MIN. NOTICE) TO INSPECT AND TAG PLANT MATERIAL IN THE NURSERY PRIOR TO JOBSITE DELIVERY AND INSTALLATION.

LANDSCAPE REQUIREMENTS

- STREET TREES**
- REQUIRED: 1 CANOPY TREE EVERY 80' FOREST HILL AVE. - 1,000' = 13 TREES REQ. BURTON AVE. - 650' = 11 TREES REQ.
- PROPOSED: FOREST HILL AVE. - 12 TREES + 260' LF OF EXISTING WOODLANDS BURTON AVE. - 400' LF OF EXISTING WOODLANDS
- BUFFER ZONE**
- REQUIRED: BUFFER ZONE A: 50 MIN. 1 CANOPY TREE, 3 EVERGREEN TREES AND 3 SHRUBS PER 40' (ALONG EAST PROPERTY LINE)
- PROPOSED: EXISTING WOODLANDS ALONG ENTIRE EAST PROPERTY LINE
- PARKING AREAS**
- REQUIRED: 1 CANOPY TREE & 100 SQ. FT. OF LANDSCAPED AREA PER 12 SPACES 150 SPACES = 13 CANOPY TREES & 1,200 SQ. FT. OF LANDSCAPE
- PROPOSED: 70 CANOPY TREES 20,340 SQ. FT. OF LANDSCAPED AREAS
- LANDSCAPE SCREENING REQUIREMENTS MET FOR PARKING IN FRONT YARD.

LANDSCAPE LEGEND

- | | |
|--|--|
| | PLANTING BED EDGE (STEEL - SEE SPECS.) |
| | SEEDED LAWN |
| | LOW-MOW GRASS |
| | MEADOW GRASSES |
| | ANNUALS BED |
| | PERENNIALS/ GROUND COVERS |
| | EVERGREEN SHRUB |
| | DECIDUOUS SHRUB |
| | ORNAMENTAL GRASS |
| | EVERGREEN TREE |
| | CANOPY ORNAMENTAL TREE |

OVERALL LANDSCAPE PLAN
NORTH
1"=50'
0 50

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS
GRAND RAPIDS TEMPLE

COA ARCHITECT COA ENGINEER

NOT FOR
CONSTRUCTION

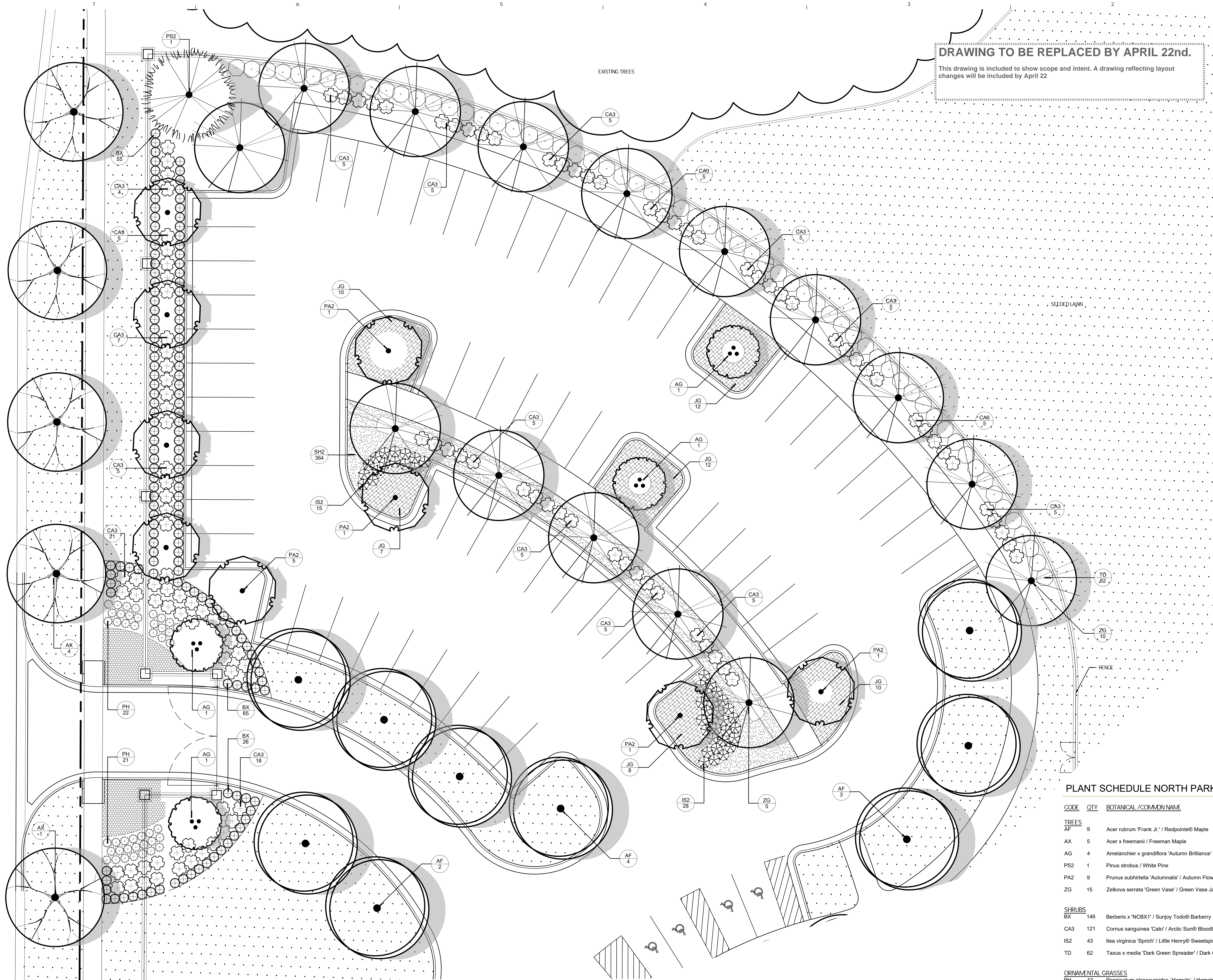
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ISSUANCE

8/22/2023	SCHEMATIC DESIGN
9/22/2023	50% DESIGN
11/22/2023	DEVELOPMENT
02/05/2024	FINAL SITE PLAN APPROVAL

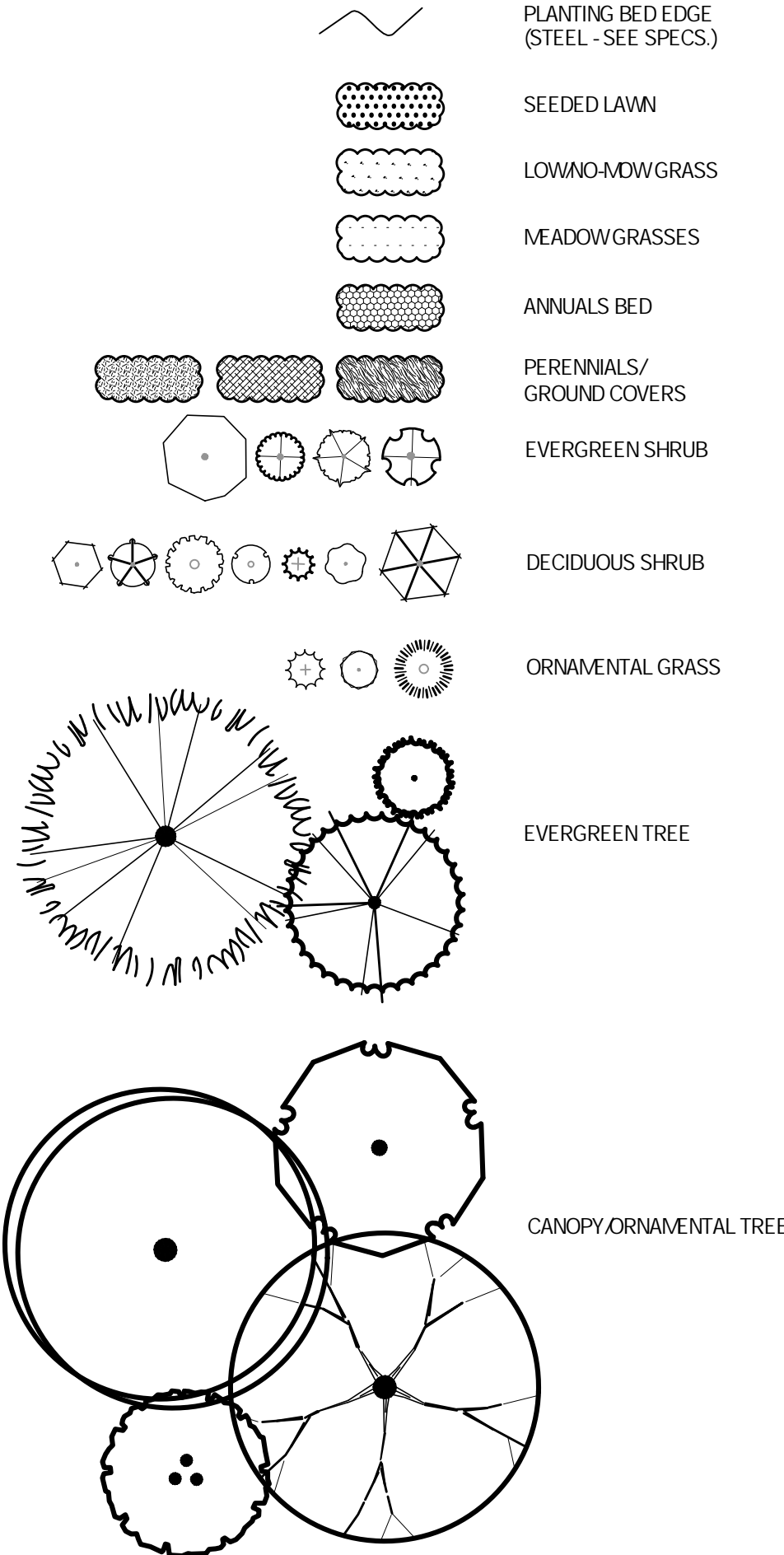
PROJECT NUMBER
9850001
PROJECT MANAGER
T. FREY
PROFESSIONAL
N. MILLER
DRAWN BY
N. MILLER
CHECKED BY
P. LAZDINS

OVERALL
LANDSCAPE PLAN
L201



DRAWING TO BE REPLACED BY APRIL 22nd.
This drawing is included to show scope and intent. A drawing reflecting layout changes will be included by April 22.

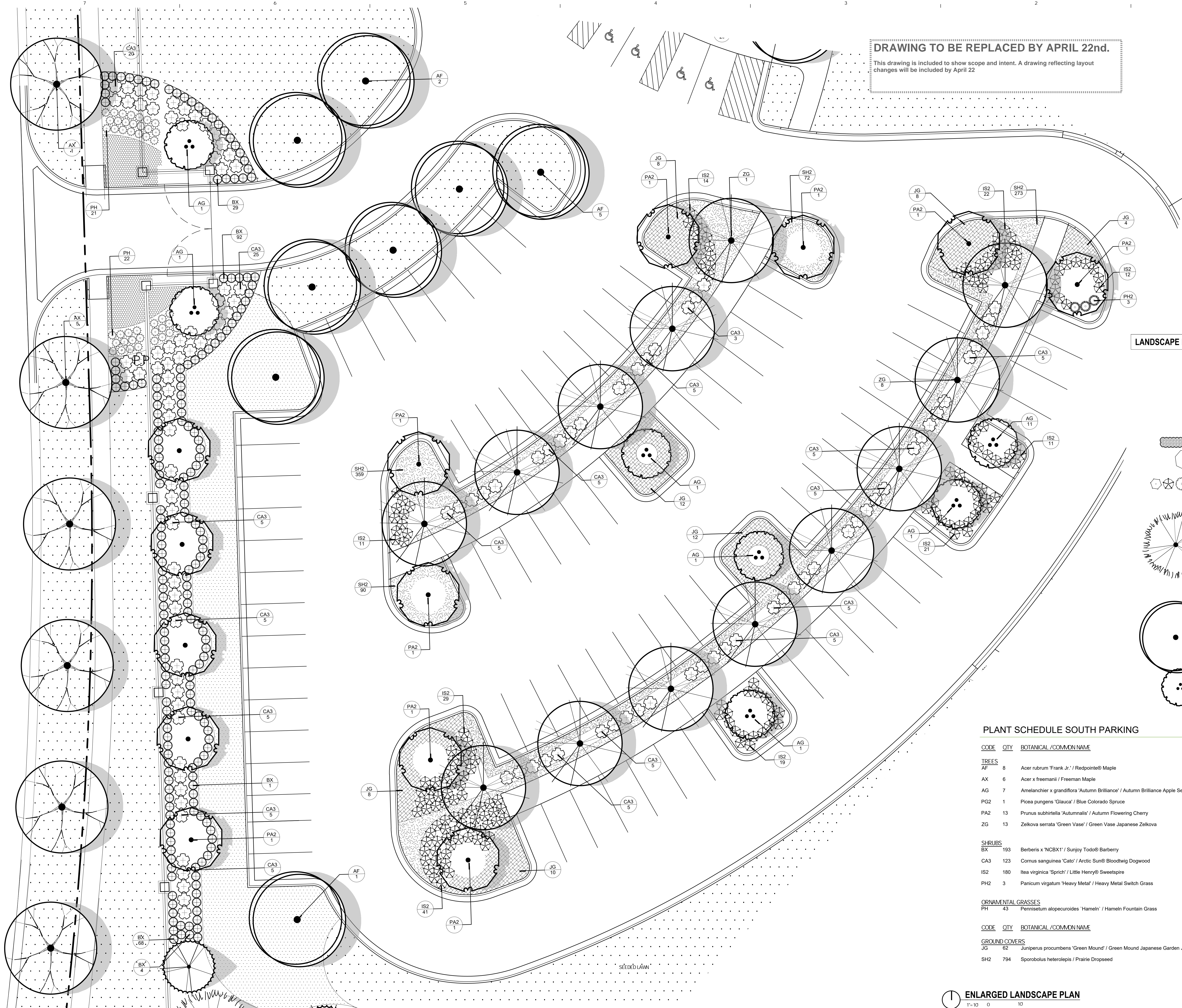
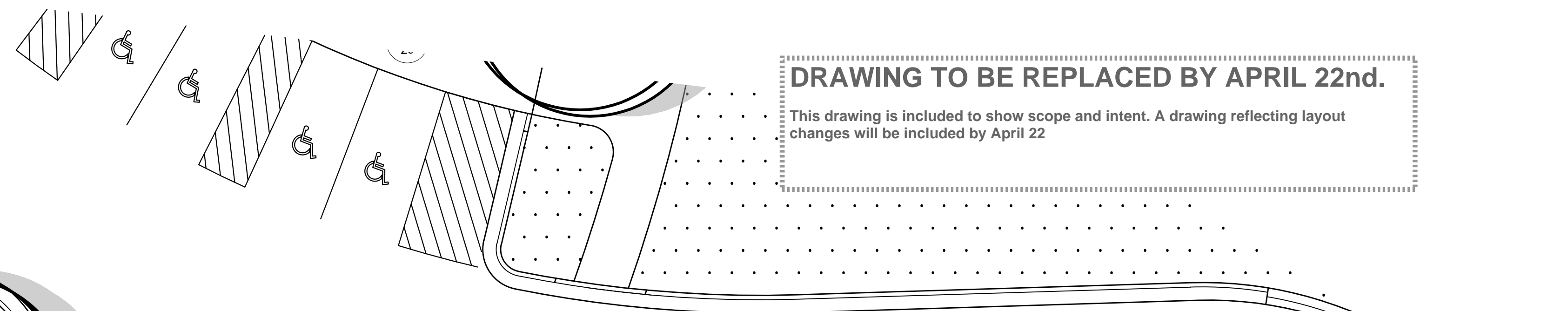
LANDSCAPE LEGEND

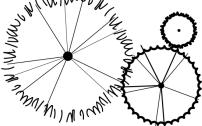
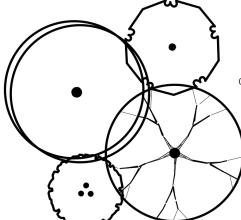


PLANT SCHEDULE NORTH PARKING

CODE	QTY	BOTANICAL /COMMON NAME	CONT
TREES			
AF	9	Acer rubrum 'Frank Jr.' / Redpointe® Maple	B & B
AX	5	Acer x freemanii / Freeman Maple	B & B
AG	4	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	B & B
PS2	1	Pinus strobus / White Pine	B & B
PA2	9	Prunus subhirtella 'Autumnalis' / Autumn Flowering Cherry	B & B
ZG	15	Zelkova serrata 'Green Vase' / Green Vase Japanese Zelkova	B & B
SHRUBS			
BX	146	Berberis x 'NCBX1' / Sunjoy Todo® Barberry	B&B
CA3	121	Cornus sanguinea 'Cato' / Arctic Sun® Bloodtwig Dogwood	#5 CONT
IS2	43	Itea virginica 'Sprich' / Little Henry® Sweetspire	B&B
TD	62	Taxus x media 'Dark Green Spreader' / Dark Green Spreader Yew	#5 CONT
ORNAMENTAL GRASSES			
PH	43	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	#5 CONT
GROUND COVERS			
JG	59	Juniperus procumbens 'Green Mound' / Green Mound Japanese Garden Juniper	1 GAL
SH2	364	Sporobolus heterolepis / Prairie Dropseed	#2 POT

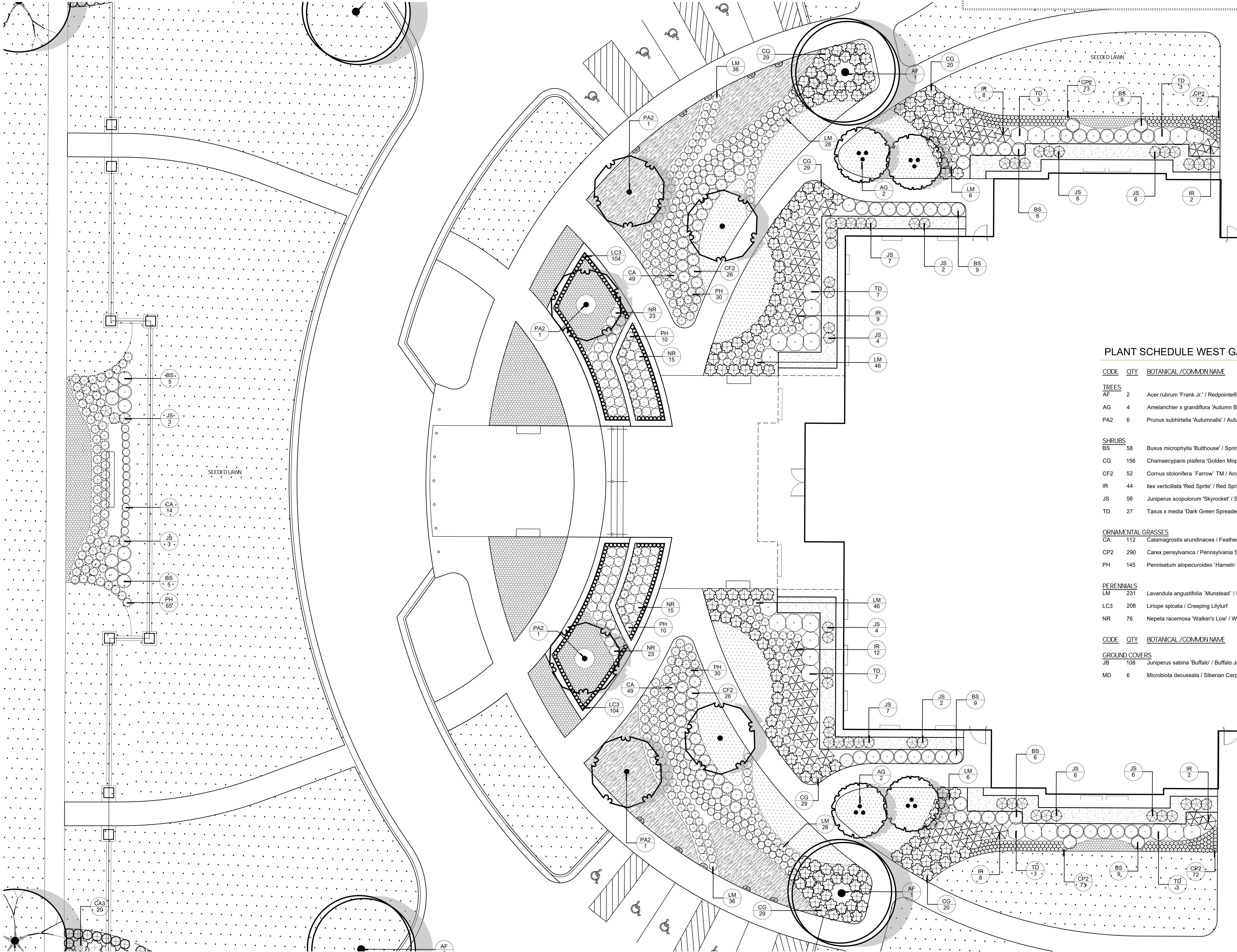
• This drawing is included to show scope and intent. A drawing reflecting layout changes will be included by April 22



	PLANTING BED EDGE (STEEL - SEE SPECS.)
	SEEDED LAWN
	LOW-MOW GRASS
	MEADOW GRASSES
	ANNUALS BED
	PERENNIALS/ GROUND COVERS
	EVERGREEN SHRUB
	DECIDUOUS SHRUB
	ORNAMENTAL GRASS
	EVERGREEN TREE
	CANOPY/ORNAMENTAL TREE

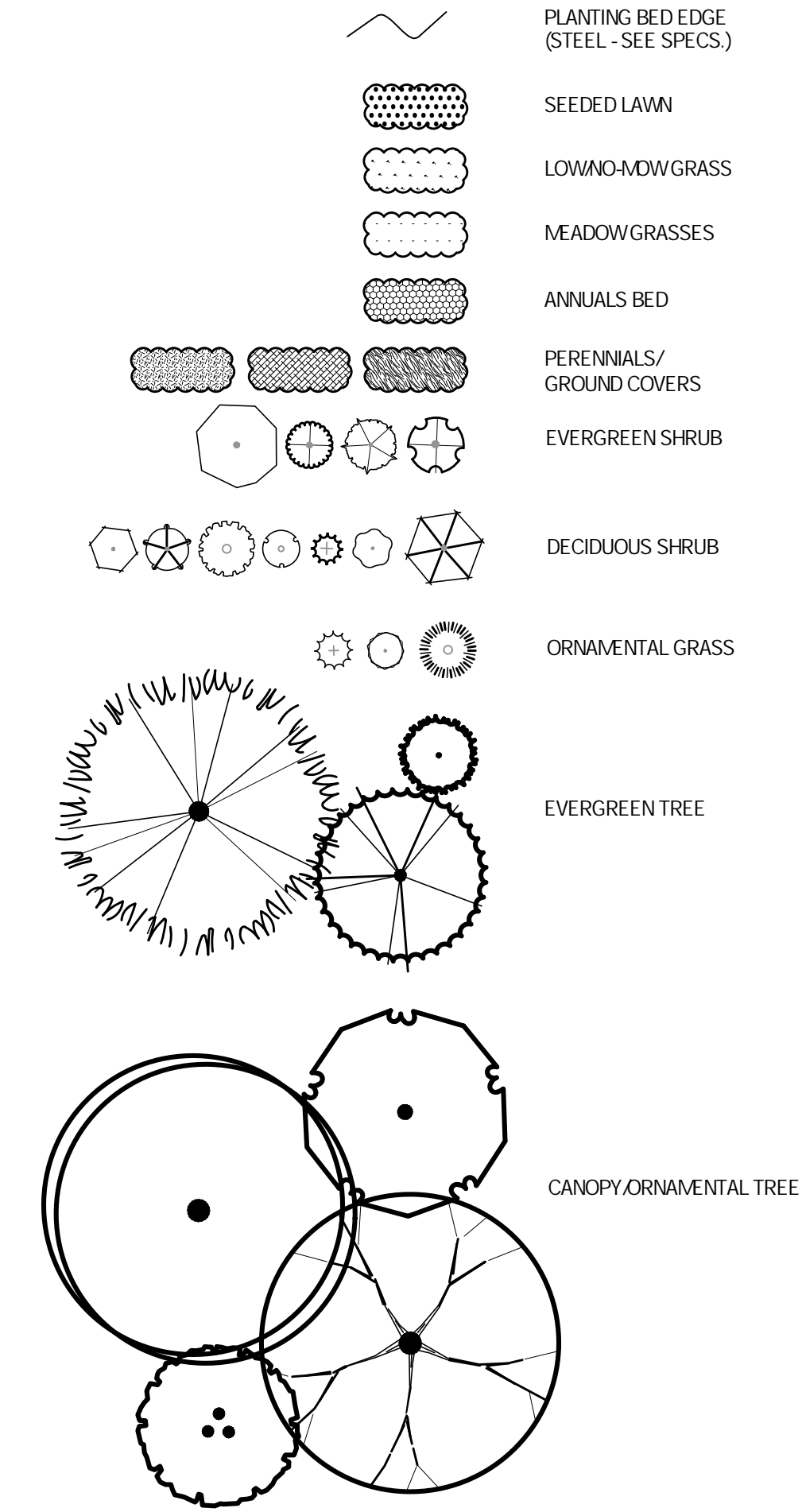
CODE	QTY	BOTANICAL /COMMON NAME	CONT
<u>TREES</u>			
AF	8	Acer rubrum 'Frank Jr.' / Redpoint® Maple	B & B
AX	6	Acer x freemanii / Freeman Maple	B & B
AG	7	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	B & B
PG2	1	Picea pungens 'Glaucia' / Blue Colorado Spruce	B & B
PA2	13	Prunus subhirtella 'Autumnalis' / Autumn Flowering Cherry	B & B
ZG	13	Zelkova serrata 'Green Vase' / Green Vase Japanese Zelkova	B & B
<u>SHRUBS</u>			
BX	193	Berberis x 'NCBX1' / Sunjoy Todo® Barberry	B&B
CA3	123	Cornus sanguinea 'Cato' / Arctic Sun® Bloodtwig Dogwood	#5 CONT
IS2	180	Ita virginica 'Sprich' / Little Henry® Sweetspire	B&B
PH2	3	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	#5 CONT
<u>ORNAIMENTAL GRASSES</u>			
PH	43	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	#5 CONT
<u>GROUND COVERS</u>			
JG	62	Juniperus procumbens 'Green Mound' / Green Mound Japanese Garden Juniper	1 GAL 60" o.c.
SH2	794	Sporobolus heterolepis / Prairie Dropseed	#2 POT 18" o.c.





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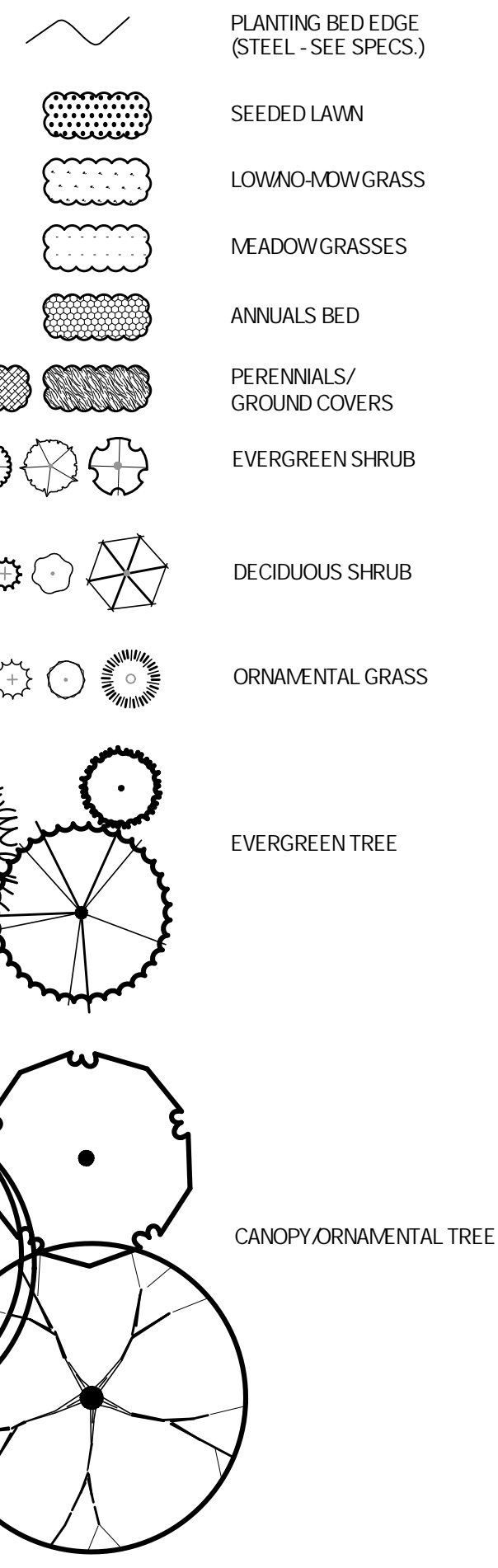
LANDSCAPE LEGEND



PLANT SCHEDULE WEST GARDEN

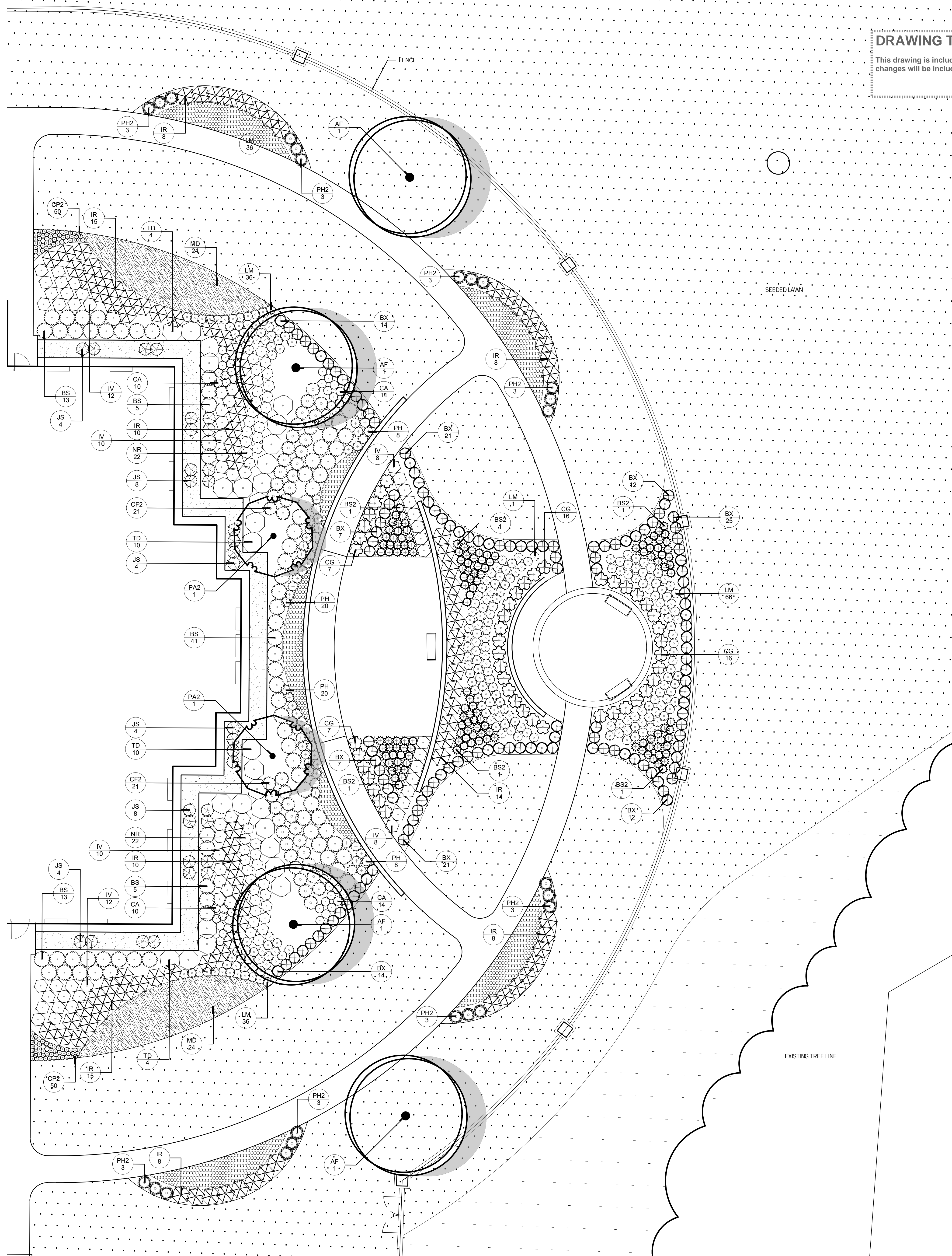
CODE	QTY	BOTANICAL /COMMON NAME	CONT	
TREES				
AF	2	Acer rubrum 'Frank Jr.' / Redpointe® Maple	B & B	
AG	4	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	B & B	
PA2	6	Prunus subhirtella 'Autumnalis' / Autumn Flowering Cherry	B & B	
SHRUBS				
BS	58	Buxus microphylla 'Bulthouse' / Sprinter® Littleleaf Boxwood	#25 CONT	
CG	156	Chamaecyparis pisifera 'Golden Mop' / Golden Mop Threadleaf Sawara Cypress	B&B	
CF2	52	Cornus stolonifera 'Farrow' TM / Arctic Fire Red Twig Dogwood	#5 CONT	
IR	44	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	#5 CONT	
JS	56	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	B&B	
TD	27	Taxus x media 'Dark Green Spreader' / Dark Green Spreader Yew	#5 CONT	
ORNAMENTAL GRASSES				
CA	112	Calamagrostis arundinacea / Feather Reed Grass	#5 CONT	
CP2	290	Carex pensylvanica / Pennsylvania Sedge	#1 CONT	
PH	145	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	#5 CONT	
PERENNIALS				
LM	231	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#3 CONT	
LC3	208	Liriope spicata / Creeping Lilyturf	#1 CONT	
NR	76	Nepeta racemosa 'Walker's Low' / Walker's Low Catmint	#5 CONT	
GROUND COVERS				
JB	108	Juniperus sabina 'Buffalo' / Buffalo Juniper	1 GAL	42" o.c.
MD	6	Microbiota decussata / Siberian Carpet Cypress	#2 POT	48" o.c.

LANDSCAPE LEGEND



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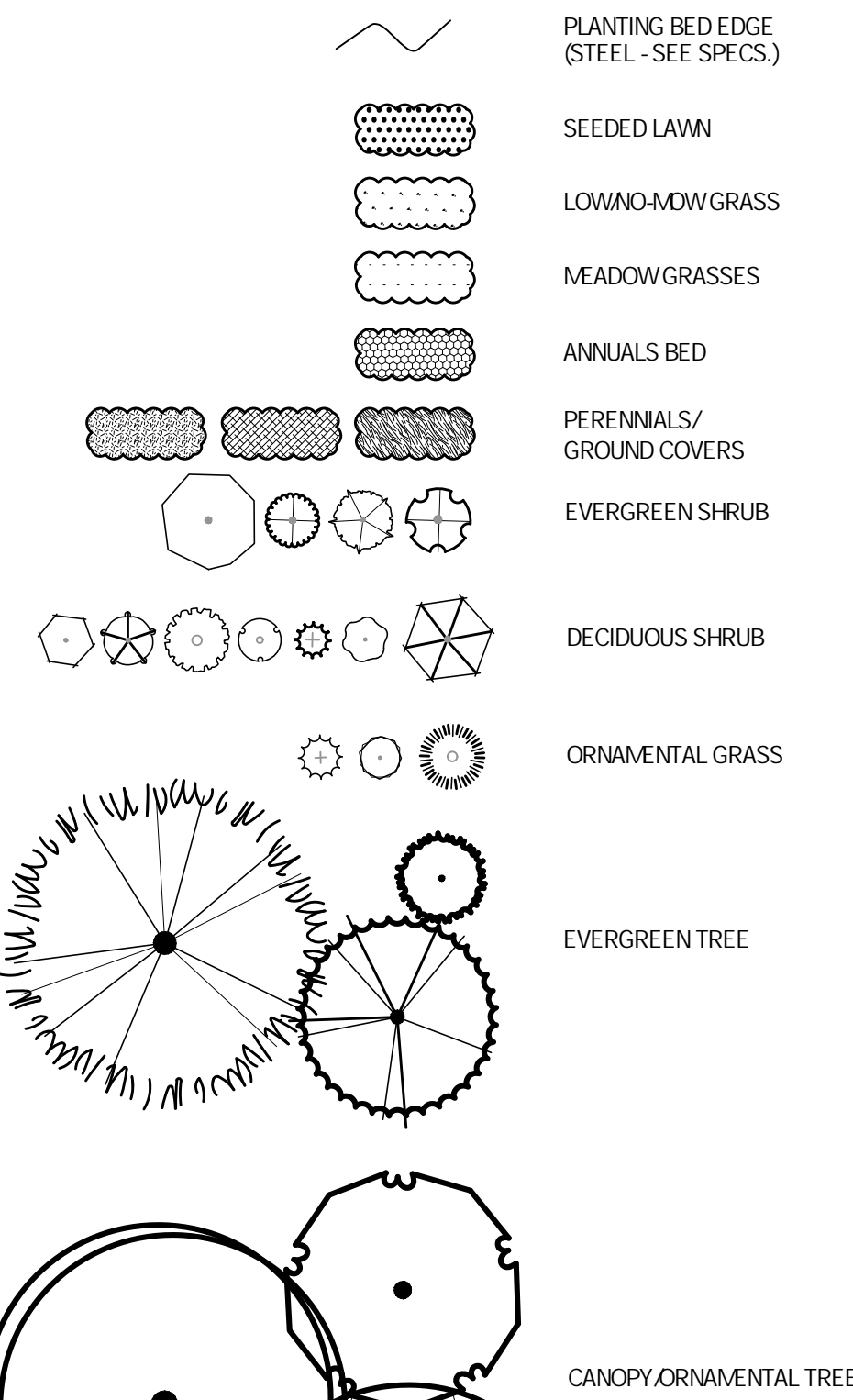


PLANT SCHEDULE EAST GARDEN

<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL /COMMON NAME</u>	<u>CONT</u>
<u>TREES</u>			
AF	4	Acer rubrum 'Frank Jr.' / Redpointe® Maple	B & B
PA2	2	Prunus subhirtella 'Autumnalis' / Autumn Flowering Cherry	B & B
<u>SHRUBS</u>			
B52	138	Berberis thunbergii 'Maria' / Sunjoy Gold Pillar® Japanese Barberry	B&B
BX	133	Berberis x NCBX1 / Sunjoy Todo® Barberry	B&B
BS	78	Buxus microphylla 'Bulthouse' / Sprinter® Littleleaf Boxwood	#25 CONT
CG	46	Chamaecyparis pisifera 'Golden Mop' / Golden Mop Threadleaf Sawara Cypress	B&B
CF2	42	Comus stolonifera 'Farrow' TM / Arctic Fire Red Twig Dogwood	#5 CONT
IR	96	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	#5 CONT
IV	60	Itea virginica / Virginia Sweetspire	#4 CONT
JS	32	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	B&B
PH2	24	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	#5 CONT
TD	28	Taxus x media 'Dark Green Spreader' / Dark Green Spreader Yew	#5 CONT
<u>ORNAMENTAL GRASSES</u>			
CA	48	Calamagrostis arundinacea / Feather Reed Grass	#5 CONT
CP2	100	Carex pensylvanica / Pennsylvania Sedge	#1 CONT
PH	55	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	#5 CONT
<u>PERENNIALS</u>			
LM	212	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#3 CONT
NR	43	Nepeta racemosa 'Walker's Low' / Walker's Low Catmint	#5 CONT
<u>GROUND COVERS</u>			
MD	48	Microbiota decussata / Siberian Carpet Cypress	#2 POT 48" o.c.



LANDSCAPE LEGEND



PLANT SCHEDULE SOUTH PARKING

CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES			
AF	8	Acer rubrum 'Frank Jr.' / Redpointe® Maple	B & B
AX	6	Acer x freemanii / Freeman Maple	B & B
AG	7	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	B & B
PG2	1	Picea pungens 'Glaucia' / Blue Colorado Spruce	B & B
PA2	13	Prunus subhirtella 'Autumnalis' / Autumn Flowering Cherry	B & B
ZG	13	Zelkova serrata 'Green Vase' / Green Vase Japanese Zelkova	B & B

SHRUBS			
BX	193	Berberis x 'NCBX1' / Sunjoy Todo® Barberry	B&B
CA3	123	Cornus sanguinea 'Cato' / Arctic Sun® Bloodtwig Dogwood	#5 CONT
IS2	180	Itea virginica 'Sprich' / Little Henry® Sweetspire	B&B
PH2	3	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	#5 CONT

ORNAMENTAL GRASSES			
PH	43	Pennisetum alopecuroides 'Hamelii' / Hameln Fountain Grass	#5 CONT

CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
GROUND COVERS				
JG	62	Juniperus procumbens 'Green Mound' / Green Mound Japanese Garden Juniper	1 GAL	60" o.c.
SH2	794	Sporobolus heterolepis / Prairie Dropseed	#2 POT	18" o.c.

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