

AGENDA CITY OF KENTWOOD PLANNING COMMISSION TUESDAY, MAY 14, 2024 KENTWOOD COMMISSION CHAMBERS 4900 BRETON AVENUE, SE 7:00 P.M.

- A. Call to Order
- B. Pledge of Allegiance (Dan Holtrop)
- C. Roll Call
- D. Declaration of Conflict of Interest
- E. Approval of the Minutes of April 9, 2024, and Findings of Fact for: <u>Case#8-24</u> Hope Haven – Rezoning of 28.93 acres of land from R1-B Residential to RPUD-2 Detached Residential Planned Unit Development and Site Plan Review Located at 5578 Wing Avenue, 5606 Wing Avenue, 5632 Wing Avenue, 5600 Wing
- F. Approval of the Agenda for May 14, 2024
- G. Acknowledge visitors and those wishing to speak to non- agenda items.
- H. Old Business
 - <u>Case#3-24</u> Breton Ravines RPUD Rezoning and Preliminary PUD Approval for a Residential Planned Unit Development Located at 2720 52nd Street, 2854 52nd Street and 5491 Wing Avenue SE (Applicant has requested tabling to the May 28, 2024)
 - <u>Case#9-24</u> 44th Street and Walma Avenue Condominium Project Rezoning of 4.72 acres of land from C4 Commercial to RPUD-1 Attached Residential Planned Unit Development and Site Plan Review located at the SE corner of 44th Street and Walma Avenue (Tabled from the April 23, 2024 meeting)
- I. Public Hearing
 - <u>Case#10-24</u> Grand Rapids Temple -The Church of Jesus Christ of Latter Day Saints Final Site Plan Review for a PUD Phase located at 2400 Forest Hill Avenue SE
- J. Work Session
 - <u>Case#11-24</u> Lakewood West Wing Preliminary and Final Site Plan Review of a PUD located at 2920 52nd Street, 2854 52nd Street, 5253 Wing Avenue, 5491 Wing Avenue;

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<u>Case#12-24</u> – Kentwood Community Center – Site Plan Review for a building in Open Space located at 4755 Walma Ave SE

K. New Business

Set public hearing date of , for:

- L. Other Business
 - 1. Commissioners' Comments
 - 2. Staff's Comments
- M. Adjournment

*Public Hearing Format:

- 1. Staff Presentation Introduction of project, Staff Report and Recommendation Introduction of project representative
- 2. Project Presentation By project representative
- 3. Open Public Hearing (please state name, address and speak at podium. Comments are limited to five minutes per speaker; exceptions may be granted by the chair for representative speakers and applicants.)
- 4. Close Public Hearing
- 5. Commission Discussion Requests for clarification to project representative, public or staff
- 6. Commission decision Options
- a. postpone decision table to date certain
- b. reject proposal
- c. accept proposal
- d. accept proposal with conditions.

PROPOSED MINUTES OF THE REGULAR MEETING OF THE KENTWOOD PLANNING COMMISSION APRIL 23, 2024, 7:00 P.M. COMMISSION CHAMBERS

- A. Chair Jones called the meeting to order at 7:00 p.m.
- B. The Pledge of Allegiance was led by Commissioner Porter.
- C. Roll Call:

Members Present: Dan Holtrop, Sandra Jones, Ed Kape, Alex Porter, Ray Poyner, Darius Quinn, Doug VanderMeer, Sarah Weir

Members Absent: None

Others Present: Community Development Director Terry Schweitzer, Economic Development Planner Lisa Golder, Senior Planner Joe Pung, Planning Assistant Monique Collier, the applicants and about 40 citizens.

D. Declaration of Conflict of Interest

There was no conflict of interest statement expressed.

E. Approval of the Minutes and Findings of Fact

Motion by Commissioner Kape, supported by Commissioner Quinn, to approve the Minutes of April 9, 2024.

- Motion Carried (8-0) -

F. Approval of the Agenda

Motion by Commissioner Quinn, supported by Commissioner Porter, to approve the agenda for the April 23, 2024 meeting.

- Motion Carried (8-0) -
- G. Acknowledge visitors wishing to speak to non-agenda items.

There was no public comment.

H. Old Business

<u>Case#3-24</u> – Breton Ravines RPUD – Rezoning and Preliminary PUD Approval for a Residential Planned Unit Development Located at 2720 52nd Street, 2854 52nd Street and 5491 Wing Avenue SE (Applicant has requested tabling to the May 14, 2024)

Motion by Holtrop, supported by Quinn, to table Case#3-24 Breton Ravines RPUD to the May 14, 2024, meeting.

- Motion Carried (8-0) -

<u>Case#8-24</u> — Hope Haven — Rezoning of 28.93 acres of land from R1-B Residential to RPUD-2 Detached Residential Planned Unit Development and Site Plan Review Located at 5578 Wing Avenue, 5606 Wing Avenue, 5632 Wing Avenue, 5600 Wing (Tabled from the April 9, 2024)

Pung stated the request is for rezoning of approximately 28.93 acres of land from R1-B Single Family Residential to RPUD-2 Detached Single Family Residential and Preliminary Site Plan Review.

Pung stated this project involves 4 lots, two of the lots have existing homes on them which would be preserved as part of the development. He stated there is significant wetland and floodplain on the property along the south and east and then to the north along the edges of the property.

Pung stated their proposal is for 57 lots. One of the existing homes will be on an outlot not part of the overall PUD. He stated this will have to be connected to both water and sewer to make sure it meets our ordinance requirements. He stated the gross density is 1.97 units per acre and a net density of 2 ½ units per acre. He stated the Master Plan is for low density residential which is less than 4 units per acre; therefore, it is consistent with the Master Plan recommendation.

Pung stated as part of the PUD there is requirement for open space and the intent is to incorporate the open space within the lots and have the open space area covered with an easement to ensure that it is not developed by the lot owners.

Pung stated the applicant indicated that they will not be building the homes, they would be selling individual lots to people or other developers to build the homes.

Pung stated the applicant reserved a room at the library on April 16 for two sessions to meet with the residents.

Pung stated with respect to the PUD, there are several things that the applicant is offering through the PUD agreement. He noted what they are offering. The developer will have review authority over all building plans. Based on some of the conversation at the meeting with the residents they indicated that no builder will be allowed to purchase more than 1/3 of the lots; if a developer has more than one lot, they would also require that they would have to be spread throughout the development. They also said that the same model home cannot be built on adjacent lots. He stated they are requiring at least 5 elements of the city's draft architectural standards with one of the elements being that they have to have at least 3 trees on the property. They are also requiring that all the homes have to use 5 out of the 8 elements that they are listing. The elements that they have listed are: gabled roofs, dormers, symmetrical double hung windows, porches that are a minimum of 6x12 feet; natural stone or wood accents, chimneys; window shutters, cedar sake or board and batten siding elements. Pung stated each home would have to have 5 out of these 8 elements as part of their design. They are also requiring that homes

> have a minimum of 10 inch eaves. For a one-story home it is a minimum of 1200 square feet on the main floor. For a 2-story home a minimum of 800 square feet on the main floor with a minimum of 1400 square feet of finished living area overall. He stated if it is feasible they have to work with the city to put some type of pedestrian sidewalk or pathway from their road down to Paris Park Drive. They would contribute the soil preparation and also the pavement. They have also required that all backyard lighting has to be shielded downward. He stated if there are issues with people trying to put things in the wetlands or encroach into the open space areas they are willing to put in signs designating where the open space easements begin. Originally, they added landscape buffer along the west property line, they have extended along two lots. There is also an existing driveway which is going to be removed, they are looking to put in a couple of trees there. They spoke with the neighbors to the east and possibly looking at some additional landscaping depending on what has to be removed for the detention pond. Pung stated they indicated the maintenance of those additional landscaping trees would be the responsibility of the condo association and not just the homeowner. Pung stated they extended the open space along lots 7-12 and which cannot be built upon by those individual property owners.

Pung stated he is recommending to the City Commission conditional approval of the rezoning and as described in his memo adding the condition prohibiting the rental of more than one home or unit by a single purchaser. And he is also recommending to the City Commission conditional approval of the Preliminary PUD plan dated April 17, 2024 as described in his memo.

Adam Feenstra, with Feenstra and Associates, Project Engineer, 3462 Rockwood Dr. Hudsonville was present. He stated at the public meeting they had about 8 residents in the afternoon session and about 7 residents in the evening session. He stated everyone wasn't enthusiastic about having any development behind them, but, looking over the plans they pretty much all agreed that the PUD provided more benefit to them than the by rights zoning. He stated they are trying to be as good of a neighbor as they can be. He stated they think they have a great plan.

Spencer Galloway, one of the developers of the project was present. He stated over time they have meet with about 20 residents. He stated of all the comments that people brought to the table clearly was speeding and safety on Wing Avenue which is something that need to be addressed by the police department and he hopes the city is able to do that.

Galloway stated another significant issue with everybody was water retention. There is some significantly low land all around the development where they are already struggling with water, and they are very aware of that. He stated they are excavators, and they are going to be doing the excavation. They have more control over that issue because they are the excavators and they are going to do everything they can to work with the city engineers as it relates to the retention scenario but they promise to exceed the minimal standards of water retention. He stated they are going to make sure the silt fence is seeded

all the way around and maintained so they are not leeching sand or muck into people's properties when it rains. He stated they will do what they can to exceed the standards for the retention pond and anything else they can do to keep more water than is already flowing. He stated there is already water flowing from this property, but it is their job to slow it down and make sure they don't contribute to the neighboring properties and they don't accelerate the water that is getting onto their properties currently.

Jones opened the public hearing.

Jamie King, 5781 Wing Ave, was present. He was concerned about having a duplex or a condo being built and stated there is no language to prohibit that.

Joe Rewa, 3189 Paris Park, was present. He stated he went to one of the meetings the developer held. He stated his biggest concern is the water runoff. He stated it seems like what they are proposing could be a benefit to them and he is in support of the PUD because of the greenspace and the buffer it gives them to not have people building right up to the property line in his front yard.

Bonnie Huyser 3029 Paris Park was present. She stated that she is the second house in and the development will be right in her backyard. She stated she does support the PUD because of the greenspace. She stated the traffic is going to be an issue no matter what.

Laurie Sheldon, 5965 Wing, was present. She stated she doesn't want to see anything built there but understands that it is out of her control. She stated she wants to make sure that this development matches the neighborhood. Wing is supposed to be a rural country feel in the middle of the City and asked to please hold it to that standard. She stated traffic is a huge issue and something has got to be done. She stated since the change on 52nd Street when the road was redone and all that traffic was being rerouted down Wing and it has not left. Everybody uses that as a cut through, even big trucks. She stated adding more traffic on Wing is going to hurt the neighborhood even more.

Landon Mitchner, 5540 Wing, was present. He stated the structure of the street is not ready for this type of development. He stated the traffic on Wing is heavy. He stated the picture is being painted into something that it is not just a bunch of greedy developers coming in. He stated he is concerned regarding the safety of the kids. He stated there is no space for a school bus to turn around. He stated he is also concerned about the water. He would like to see them build the 49 homes.

Dwight Lemmon, 336 Paris Park was present. He stated he likes some of the idea of the PUD, but his concern is the closeness of the homes and the density of the lots. He also has traffic concerns. He stated at some point they are going to have to put a left turn lane in. He stated building up to the road doesn't seem like it is going to fit in. He would like to keep the PUD but have less lots. He is also concerned about property values.

Attah Obande, 5570 Wing was present. His concerns are with traffic on Wing. His concern was how did they go from 49 homes to 57 homes. He would like to see 49 homes. He would also like to know what is happening with the road that runs through his property.

Angela VanHouten, 3191 Paris Park. She stated they walked the property with the developers. She stated they are in favor of the PUD because it saves about 6-7 acres and gives them a border of trees as a perimeter to separate their property from the development. She stated she is concerned about the traffic.

Motion by Holtrop, supported by Kape, to close the public hearing.

- Motion Carried (8-0) -

Holtrop stated he is in favor of the PUD but wishes it was less than 57 but the developers have provided a nice buffer, good open space, and the PUD allows them to pull the homes closer to the street versus the other plan having them setback further off the main road.

Weir stated she appreciates the comments of the neighbors. She stated she is in favor of the PUD because it gives the commission more control.

Porter stated he too appreciates the participation from the neighbors and staff. Porter stated there was question regarding duplexes, however it is stated as single family dwellings. Pung stated it will be single family detached dwellings, the PUD itself only allows permitted uses in the R1-C and R1D attached units are not allowed and all the buildings elevations they provided are for single family detached and that will also be in the basis. Porter questioned if Wing was a truck route. Pung stated it is not a truck route.

Porter questioned if the turn arounds are big enough for a school bus to turn around. Feenstra stated that turnarounds are designed for the City of Kentwood standard requirements for all public street turnarounds which are designed around school buses, garbage trucks, fire trucks etc. to safely turn around.

Porter stated he thinks the PUD will give more open space overall and because of the control it gives the Commission he is in favor of the PUD.

Poyner stated at first, he liked the by right plan, but after listening to the residents he is leaning towards the PUD when he considers the additional elements of the PUD that it offers. He was also hoping the developer would come back and lower the number of units from 57.

VanderMeer stated he also appreciates the neighbor's concerns and comments. He stated he thinks the developer has done a good job listening to the residents concerns and he has

gone above and beyond addressing the issues that he can control. He stated he is in favor of the PUD.

Quinn stated he is in support of the PUD. Quinn stated the PUD allows for more open space, more natural space, more space for wildlife, and more control.

Carson Galloway explained the benefits of the PUD versus the by right. He stated with the PUD you won't be able to see the development, it wont be evident from the road

Jones stated she appreciates the community involvement. She appreciates the developer scheduling the meetings to create an opportunity for the neighbors to be heard in a different way. She stated she also appreciated them going above and beyond the proposed architectural standards for new home developments. She stated no one builder can own more than 1/3 of the units and that there can only be one rental per builder in the deed restrictions. She appreciates that the condo association will be responsible for the trees. She stated having the PUD offers the commissioners to shape what goes in there. She stated she supports the PUD.

Motion by Holtrop, supported by Poyner, to recommend to the City Commission conditional approval of the request to rezone 28.93 acres from R1-B Single Family Residential to R-PUD-2 Detached Residential Planned Unit Development as described in Case No. 08-27. Approval is conditioned on conditions 1 -9 and basis points 1-2 as described in Pung's memo dated April 17, 2024.

Motion Carried (8-0) -

Motion by Holtrop, supported by Porter, to recommend to the City Commission conditional approval of the preliminary PUD Plan dated April 17, 2024, for the Hope Haven rezoning as described in Case 08-24. Approval is conditioned on conditions 1-8 and basis points 1-7 as described in Pung's memo dated April 17, 2024.

- Motion Carried (8-0) -

I. Public Hearing

<u>Case#9-24</u> — 44th Street and Walma Avenue Condominium Project - Rezoning of 4.72 acres of land from C4 Commercial to RPUD-1 Attached Residential Planned Unit Development and Site Plan Review located at the SE corner of 44th Street and Walma Avenue (Applicant has requested tabling to the May 14, 2024 meeting)

Motion by Kape, supported by Quinn, to table <u>Case #9-24</u> - 44th Street and Walma Avenue Condominiums.

Motion Carried (8-0) -

J. Work Session



CITY OF KENTWOOD PLANNING COMMISSION PROPOSED FINDINGS OF FACT MAY 14, 2024

Pung 04/17/2024

PROJECT:

Hope Haven

APPLICATION:

08-24

LOCATION:

5578, 5606, 5632, & 5600 Wing Avenue

HEARING DATE:

April 23, 2024

REVIEW TYPE:

Rezoning of 28.93 acres from R1-B Single Family Residential to R-

PUD-2 Detached Residential Planned Unit Development.

MOTION:

Motion by Holtrop, supported by Poyner, to recommend to the City Commission conditional approval of the request to rezone 28.93 acres from R1-B Single Family Residential to R-PUD-2 Detached Residential Planned Unit Development as described in Case No. 08-27. Approval is conditioned on conditions 1-9 and basis points 1-2 as described in Pung's memo dated April 17, 2024.

Motion Carried (8-0) -

CONDITIONS:

- Review and approval of a PUD Agreement and Condominium Master Deed by city staff and the city attorney's office. The PUD Agreement shall be consistent with the attached draft PUD Agreement submitted by the applicant including but not limited to the following amendments:
- a. A final tree preservation plan shall be submitted for review and approval by Planning staff prior to prior to commencement of site work. No tree designated on the approved plan to be preserved and protected during construction shall be removed from any lot without prior approval by the staff. Trees to be preserved must be fenced during construction whenever necessary for the protection of such trees. Any of those trees, designated on the approval plan for preservation, which die or are removed during construction shall be replaced by the developer with a tree of at least 4 inch caliper of the same species or other species as required or approved by Planning Staff.

1.

Findings of Fact (Rezoning) Case 08-24 Page 2

b. Restrictions prohibiting the rental of more than one home/unit by a single purchaser. (restriction shall be included in the Condominium By-laws)

- 2. City Commission approval of the preliminary PUD Plan dated April 17, 2024.
- 3. City staff and the developer shall work to determine if a pedestrian path along Wing Avenue between the proposed street entrance for the proposed development and Paris Park Drive to the south is feasible. If determined to be feasible the applicant shall contribute the soil preparation and pavement for such a path.
- 4. Building elevations to be consistent those submitted by the applicant (attached) and shall meet or exceed the draft architecture standards (attached) as identified with the PUD Agreement. These elevations shall be used by staff for evaluating the Developer's compliance with the architectural standards and are not intended to prevent the Developer from utilizing other architectural styles. Architectural diversity to be provided among adjacent homes and throughout the development through the use of front porches, varying building lines, garage placement, window placement, number of windows, daylight windows, color, texture, building materials (brick, stone etc.), etc.
- 5. Review and approval by staff of a final landscaping plan. Final landscaping plan to provide, at a minimum, the landscaping depicted in the site plan dated 04/17/24.
- 6. Review and approval by city staff and city attorney of open space and landscape easements.
- 7. The out lot identified along Wing Avenue shall be connected to both public water and sewer if not currently connected.
- 8. Compliance with all applicable Engineering Department regulations and requirements.
- 9. Compliance with all applicable Fire Department regulations and requirements.

BASIS:

- 1. The PUD Agreement will address issues such as architectural standards, tree preservation, dedication of open space, and other requirements and restrictions. The review and approval of these documents will hold the development to these standards and give additional direction to the developer as the project develops.
- 2. The rezoning is consistent with the Master Plan recommendation for low density residential development (less than 4 units per acre). The net density of the development would be approximately 2.53 units

per acre. The density of the development is consistent with Section 12.04.A which states that the number of dwelling units would be determined through an alternative conventional plan and in accordance with the Land Use Plan of the City's Master Plan. In researching other developments where alternative conceptual plans were available, the increase in units from the conceptual plan to the approved PUD plan ranged from 44 percent to 233 percent based on the merits of the development and the Master Plan recommendation.

- 3. The development preserves approximately 40% (11.87 acres) of the site as open space (37% of which is exclusive of wetlands and detention area) which exceeds the minimum required 25%.
- 4. The development will preserve the majority of the wetlands located on the property.
- 5. The proposed development is consistent with the Kentwood Master Plan recommendation for low density residential development.
- 6. The site is suitable for the proposed use.
- 7. The site is adequately served by essential public facilities and services.
- 8. The development provides the following benefits that might not otherwise possible under conventional zoning:
 - Ensures the perseveration of wetlands and open space.
 - Homes will exceed the minimum architectural requirements proposed by the city.
 - No builder would be allowed to purchase more than 1/3 of the total lots.
 - Builders purchasing multiple lots shall be spread throughout the development as much as practicable. Builders owning adjacent lots shall not build the same model home on the adjacent lots.
 - Minimum finished living area of 1,200 square feet for single story homes and 1,400 square for two-story homes.
 - Preservation of trees
 - Landscape screening.
- 9. To help ensure that the deed restrictions and easements make it clear to property owners what the restrictions (such as prohibition one fencing, tree removal, etc.) and requirements are for the open space easements areas and to ensure the open space areas remain as common open space usable and accessible to all residents of the development..

Findings of Fact (Rezoning)
Case 08-24
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- 10. Representations made by the applicant and applicant's representatives at the work session and public hearing.
- 11. Discussion at the work session and public hearing.



CITY OF KENTWOOD PLANNING COMMISSION PROPOSED FINDINGS OF FACT MAY 14, 2024

Pung 04/17/2024

PROJECT:

Hope Haven

APPLICATION:

08-24

LOCATION:

5578, 5606, 5632, & 5600 Wing Avenue

HEARING DATE:

April 23, 2024

REVIEW TYPE:

Preliminary site plan review of a Residential Planned Unit

Development.

MOTION:

Motion by Holtrop, supported by Porter, to recommend to the City Commission conditional approval of the preliminary PUD Plan dated April 17, 2024, for the Hope Haven rezoning as described in Case 08-24. Approval is conditioned on conditions 1 – 8 and basis points 1-7 as described in Pung's memo dated April 17, 2024.

- Motion Carried (8-0) -

CONDITION:

- City Commission approval of the rezoning of 28.93 acres from R1-B Single Family Residential to RPUD-2 Detached Residential Planned Unit Development.
- 2. Review and approval of a PUD Agreement and Condominium Master Deed by city staff and the city attorney's office. The PUD Agreement shall be consistent with the attached draft PUD Agreement submitted by the applicant including but not limited to the following amendments:
 - a. A final tree preservation plan shall be submitted for review and approval by Planning Staff prior to commencement of site work. No tree designated on the approved plan to be preserved and protected during construction shall be removed from any lot without prior approval by the Staff. Trees to be preserved must be fenced during construction whenever reasonably necessary for the protection of such trees. Any of those trees, designated on the approval plan for preservation, which die or are removed during construction shall be replaced by the developer with a

tree of at least 4 inch caliper of the same species or other species as required or approved by Planning Staff.

- b. Restrictions prohibiting the rental of more than one unit by a single purchaser. (restriction shall be included in the Condominium By-laws)
- 3. City staff and the developer shall work to determine if a pedestrian path along Wing Avenue between the proposed street entrance for the proposed development and Paris Park Drive to the south is feasible. If determined to be feasible the applicant shall contribute the soil preparation and pavement for such a path.
- 4. Review and approval by staff of a final landscaping plan. Final landscaping plan to provide, at a minimum, the landscaping depicted in the site plan dated 04/17/24.
- 5. Review and approval by city staff and city attorney of open space and landscape easements.
- 6. The out lot identified along Wing Avenue shall be connected to both public water and sewer if not currently connected.
- 7. Compliance with all applicable City of Kentwood Engineering Department regulations and requirements.
- 8. Compliance with all applicable City of Kentwood Fire Department regulations and requirements.

BASIS:

- 1. The PUD Agreement will address issues such as architectural standards, tree preservation, dedication of open space, and other requirements and restrictions. The review and approval of these documents will hold the development to these standards and give additional direction to the developer as the project develops.
- 2. The site is suitable for the proposed use.
- 3. The site is adequately served by essential public facilities and services.
- 4. The development will preserve the majority of the wetlands located on the property.
- 5. The proposed development is consistent with the Kentwood Master Plan recommendation for low density residential development.

Findings of Fact (Preliminary PUD Site Plan) Case 08-24 Page 3

- 6. Representations made by the applicant and applicant's representatives at the work session and public hearing.
- 7. Discussion at the work session and public hearing.

Golder, Lisa

From:

Dan Larabel <dlarabel@allenedwin.com>

Sent:

Tuesday, April 30, 2024 8:50 AM

To:

Golder, Lisa

Subject:

RE: [EXTERNAL]Bretonfield Address List

Hi Lisa, thanks for reaching out. Can you please table the application until the May 28 meeting?

Dan Larabel Land Manager Allen Edwin Homes O: 616-878-1748 x428 M: 616-450-4631 dlarabel@allenedwin.com

From: Golder, Lisa <GolderL@kentwood.us>
Sent: Monday, April 29, 2024 2:20 PM
To: Dan Larabel <dlarabel@allenedwin.com>
Subject: RE: [EXTERNAL]Bretonfield Address List

HI Dan:

Its sounding like you are going to need to table Breton Ravines again while all of the road detail is addressed and the plan is amended to remove the townhouses. Can you send me a letter indicating this and to what date it should be tabled to?

From: Dan Larabel < dlarabel@allenedwin.com > Sent: Wednesday, April 24, 2024 1:47 PM
To: Golder, Lisa < GolderL@kentwood.us > Subject: [EXTERNAL]Bretonfield Address List

▲ Stop.Think.Read.This is an external email. Please use caution when clicking on any links or opening attachments.

Hi Lisa, here is the list of homes that our entity currently owns for lease if you'd like to look into any ordinance related issues.

Dan Larabel Land Manager Allen Edwin Homes M: 616-450-4631 dlarabel@allenedwin.com

Caution: This is an external email. Please take care when clicking links or opening attachments.

PLANNING STAFF RECOMMENDATION

Golder 4/30/24

PROJECT:

Walma and 44th Street Condominiums

APPLICATION:

9-24

REQUEST:

Rezoning of 4.72 acres of land from C-4 Office to RPUD-1

Attached Residential Planned Unit Development.

Preliminary Site Plan Approval for a 33 unit condominium

development

LOCATION:

2802 44th Street SE

HEARING DATE:

April 23, 2024 and May 14, 2024

RECOMMENDATION:

Recommend to the City Commission conditional approval of the request for rezoning of rezoning 4.72 acres of land located at 2802 44th Street from C-4 to RPUD-1 Attached Planned Unit Development as described in Case No 9-24; and Preliminary Site Plan approval of the site plan dated April 19, 2024 as described in Case No. 9-24. Approval is

conditioned on the following:

CONDITIONS:

- 1. Compliance with the PUD Statement dated 3/15/24 with the following amendments:
 - Corrected property acreage of 4.72 acres
 - Corrected waiver request relating to front PUD setback
 - PUD statement shall incorporate the provisions for the retention of the 20' tree line along the eastern edge of the site.
- 2. The Master Deed and Bylaws for the development and condominium association must be approved by the Kentwood City Attorney and City staff.
- 3. Review and approval by staff and the Kentwood City Attorney of the PUD Statement and the PUD Development Agreement for the project.

Planning Staff Recommendation Case No. 9-24 Walma and 44th Street Condominiums – Rezoning and Preliminary PUD Page 2

- 4. Compliance with the City Engineer's memo dated March 28, 2024.
- 5. Review and approval of the final PUD plan by the Kentwood Fire Marshal.
- 6. The condominium buildings at the northwest corner of Trillium Court and Foxglove Lane shall be shifted at least 5' to the north to allow more site distance at the intersection.
- 7. Staff review and approval of the landscaping and lighting plan for the site.
- 8. Staff review and approval of the proposed building elevations for the site. Building elevations shall incorporate a brick or stone façade element as depicted in the attached photo dated May 1, 2024.
- 9. Planning Commission approval of the Final PUD plan.

BASIS:

- 1. The PUD statement dated 3/15/24 refers to the site being 4.95 acres in size; the site is 4.72 acres. This affects the proposed density of the development. The PUD statement also states that several buildings are set back 16' from the private road. The city has been calculating the setback in PUDs from the road pavement. By this standard, all units are 20' from the road pavement. However, two buildings have units that are 17' from the proposed sidewalk. This should be noted in the PUD Statement.
- 2. The development is a Planned Unit Development. The developer is required to enter into a PUD Agreement with the City that establishes the conditions of approval, waivers requested and approved, outlines the requirements for maintenance of common areas, road and stormwater facilities, describes the nature of the architecture and features of the proposed buildings within the PUD.
- 3. The condominiums at the corner of Foxglove and Trillium Court are located only 15' from the Foxglove Lane pavement.
 - The proximity of the homes at the intersection causes the corner unit (west side) to be located only 10' away from a proposed parking space, and a patio to be 5' from the sidewalk. If cars are parked in the driveways at the intersection, site distance is affected. If the building is moved to the north, additional site distance could be provided.
- 4. The applicant has provided building elevations for Building Type 1 and Building Type 2. No floor plans have been provided for either type.

Planning Staff Recommendation Case No. 9-24 Walma and 44^{th} Street Condominiums – Rezoning and Preliminary PUD Page 3

Additional architectural detail (stone/brick) around the porch area for Building Type 1 is recommended.

5. Discussion during the work session and public hearing.

Date: 03/15/2024

Project: 44th Street SE and Walma Ave SE

Project Description

The project consists of 33 proposed attached, single-family residences to be located on the southeast corner of the intersection of 44th Street and Walma Avenue. The site is 4.95 acres and includes a portion of wetland along its south edge and slopes down from north to south.

The site was recently amended to medium density residential in the City's master plan, which will allow up to 8 units per acre. During the review and ultimate approval of the master plan amendment, a few stipulations were discussed:

- That the project should pursue a PUD rezone to allow certain conditions such as home ownership versus apartments.
- A landscaped berm should be considered along 44th street.
- That although 8 units/acre are allowed, a development between 6 and 7 units/acre is preferred.
- A sidewalk connection should be considered to both 44th Street and Walma Avenue.
- A resident amenity should be considered.

To that end, we are requesting a rezone to RPUD-1 as well as final site plan approval. Following is a description of the design:

Site Design

Our site access/egress is planned on 44th street as recommended by our traffic consultant, Wade-Trim. Their recommendation is to locate the curb cut (right in/right out only) approximately 300 feet west of the 44th Street boulevard cross over. Wade-Trim does not recommend any other conditions for this access/egress.

Once on site, our drive arrangement follows the primary east/west slope, with a short drive leg that runs to the north on the eastern portion of our site.

Storm water detention will be served in a single storm basin located on the southeast portion of the site.

A social hub, for resident use is planned on the south slope that will have seating and a firepit and will have great views to the natural area to the south.

A dedicated sidewalk is planned with two connections to 44th Street and a connection to Walma Avenue.

We are planning a landscaped berm along 44th street, as recommended for screening and buffer. In addition to the garage and apron parking (each unit will have either two or four parking spaces), we are planning an additional (12) parking spaces for guest use.

We are providing new landscaping as required or utilizing existing vegetation to comply with City requirements.

A primary project sign is planned at the access/egress point. Final signage deigns and approvals will occur under separate permit application.

None of the existing wetlands will be affected by our site design.

Our internal drives (not private roads) will be 22 feet width to allow adequate movement and provide traffic calming. All turning radii are designed to meet City standards.

Building design

The project will consist of (33) two- and three-bedroom attached single family residences, with garages. The two-bedroom units will have a single garage with an additional parking space (2 total) and the three-bedroom units will have two additional parking spaces (4 total).

The units to the south will be two story with walkouts. All northerly units will be two story with basements.

The exterior designs are familiar, contemporary looks with light colored siding, defined porches and dark accent window sashes. Roofing is a high-quality asphalt shingle.

All units will have either terraces at grade or elevated decks at their rear main levels.

PUD Wavier Expectations

Our design will require minor adjustments in the form of waiver requests. These include:

- 1) PUD minimum lot size of 5 acres. Our site is 4.95 acres, just slightly under 5 acres. Our waiver request we feel is justified as the PUD rezone path was a stipulation of the City during Master Plan Amendment approval as it give the City the ability to formalize certain stipulations. Also, we are within 0.05 acres of the 5 acres requirement.
- 2) We have 8 buildings in our development. The west portion of the site is very narrow due to the wetland as well as the 40-foot setback on 44th street. We have one building of the total eight that we are proposing a 16-foot front yard, versus the 20-foot requirement. We feel this is limited to only one building and will be fully landscaped as the sidewalk is on the opposite side of the street.
- 3) While not specifically a waiver request, we are labeling our internal vehicular lanes as drives versus private roads. We feel the 22 feet width provides great movement, yet moreover maintains an optimal street "calming" measure. Wider lanes tend to promote faster speeds. Our target market will be families with children, and we feel this is a safer design. 22 feet width is a very typical internal lane width in most communities.



To: Kentwood Planning Department

From: Brad Boomstra, P.E.

City Engineer

Date: March 28, 2024

Re: Condominium Project

2802 44th Street SE 41-18-27-201-015

We have completed our planning level review of the proposed site plans dated March 15, 2024, for the above referenced project. Kentwood Engineering has the following comments that will need to be addressed as the review process proceeds. A more detailed review will be done when the development is submitted for Site Plan Construction review.

Street / Sidewalk / Parking Lot:

- 1. Pavement section details must be shown on the plan for all paving types proposed.
- For any curb cut which terminates less than five (5) feet from a construction joint, the contractor shall remove and replace the existing curb to the next joint.
- 3. Include the City of Kentwood General Notes on the plan(s). These notes are required for the work being performed in the 44th Street Drive right-of-way. Highway permit conditions, specifications and required general plan notes are posted on the City's website, and can be accessed at http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "RIGHT-OF-WAY" link near the top of the page).
- Additional comments regarding the street and/or sidewalk may be made upon further review.

Grading:

- 1. Indicate the proposed limits of grading on the site plan. A thick, shaded line works well for this.
- 2. Indicate and label the 1% chance (100-year) flood elevation on the site plan or add a note that none exists on this site.
- Indicate and label the wetland delineation line or add a note that none exist on this site.
- 4. Additional comments regarding grading may be made upon further review.

Storm Sewer / Drainage:

- 1. Provide a tributary area map and calculations to verify the capacity of the proposed and existing storm pipes to carry a 10-year storm (or a 100-year event if no overland floodway is provided). Use the Kentwood Storm Sewer Design Standards available on the City's website; they contain a Kentwood-specific IDF curve and time of concentration (T_c) nomograph. Use a minimum initial T_c of 10 minutes. Maintain a minimum cleansing velocity of 2.5 ft/sec in the pipes. Calculations must be sealed by a registered engineer.
- 2. Kentwood recommends storm laterals for all buildings in the development. These leads can be cored and booted into the storm sewer pipe and do not need to discharge directly into a manhole.
- 3. Additional comments regarding drainage may be made upon further review.

Detention Basin:

- 1. On-site stormwater detention will be required for this parcel. Section 78-123 of the City of Kentwood Ordinance requires that the new detention facility be sized for the entire parcel in a *fully developed condition*. We will need to see these calculations.
- 2. The amount of detention volume required may be based on an estimate of the percentage of impervious surface area based on the Kent County Subdivision Drainage Rules (short method #1), based on 0.1 acre-ft per acre for the entire parcel (short method #2) or, alternately, a tabulation of actual reservoir routing (long method). Routing calculations usually result in the lowest required volume. The detention sizing must be based on a 25-year storm. We will need to see detention sizing and release calculations.
- 3. We need to see a detailed drawing of the proposed detention basin outlet control structure.
- 4. Kentwood allows a maximum detention release rate of 0.33 cfs/acre, based on the total parcel size.
- 5. The minimum diameter restrictor pipe size is 4 inches.
- 6. A low flow channel will be needed across the bottom of the detention basin between the end section(s) and the outlet structure with a minimum grade of 0.6 percent. This may consist of 4" concrete, grouted riprap, or properly sized riprap, all on filter fabric (MDOT "Geotextile Liner"). Both the surface material and the fabric must be toed in at least 18 inches at all earth interfaces. The remainder of the basin bottom shall have a minimum 2 percent slope to the low flow channel.
- 7. To allow a proper transition from a point discharge to natural flow, 50 feet of downstream protection will be needed for the detention basin outlet pipe. This may consist of 4" concrete, grouted riprap, or properly sized riprap, all on filter fabric (MDOT "Geotextile Liner"). Both the surface material and the fabric must be toed in at least 18 inches at all earth interfaces. The treatment must be extended completely

- around the end of the pipe by two (2) feet to protect from eddy currents. The point source must be at least fifty (50) feet from the property line.
- The emergency outlet pipe must be capable of carrying a 10-year, fully developed nondetained storm flow. Please provide calculations to show that the pipe can carry this flow.
- 9. An emergency spillway may also be used instead of an outlet pipe. Section V(E) of the City of Kentwood Standard Specifications for Design and Construction of Storm Detention Storage requires that the detention basin spillway "shall be constructed of hot-rolled plant mix asphalt or concrete and must extend from the top of the berm to the intersection with the outfall channel. All interfaces with native soil shall be toed in." Show a detail on the plans.
- A 15-foot-wide flat maintenance shelf for vehicular access is required for the detention basin.

Soil Erosion and Sediment Control:

- 1. We will need to see some additional soil erosion control measures as part of the plan review. Section 78-62 of the City of Kentwood Ordinance (posted on the City's website) contains minimum requirements for information that shall be included on the plan. Go to: http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORMWATER" link near the top of the page). Please review this ordinance carefully.
- 2. Per the requirements of Part 91 of Public Act 451, all proposed grading and soil erosion controls must be shown on a sheet(s) titled, at least in part, "SOIL EROSION AND SEDIMENTATION CONTROL PLAN". This plan should show surface features related to grading and soil erosion and sediment control. The SESC Plan may be combined with other plans and improvements as long as clarity is retained. Two (2) copies of this sheet, once approved, will need to accompany the application for an earth change.
- Include a written description of the soil types of the exposed land area contemplated for an earth change.
- 4. Place a note on the soil erosion control plan to indicate that existing and new catch basins shall be protected with an inlet filter drop (silt sack). Straw bales or fabric placed under the grate are NOT acceptable, and sediment traps alone are not sufficient to provide adequate sediment filtration. Such a note might read, "EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FABRIC DROP (SILT SACK)." Include a simple detail of the proposed silt sack on the Soil Erosion and Sediment Control plan. We can provide you with an acceptable CAD detail upon request.
- 5. Place the following notes on the soil erosion control plan:
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC ACT 451.
 - ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.

- ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES
 MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
- EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED. (This area of disturbance, or grading limits, must be clearly shown on the site plan.)
- SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE. (Remember that silt fences are intended to intercept sheet flow only and must always be installed parallel with the ground contours. Silt fences must not cross ravines, overland floodways, ditches, swales, etc. where concentrated flows occur.)
- ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 AND THE DETENTION BASIN BANKS AND BOTTOM MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF. (Indicate such areas with shading or hatching on the plan.)
- ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
- NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT DOES
 OCCUR, IT SHALL BE CLEANED DAILY.
- THE STORMWATER DETENTION BASIN IS TO BE THE FIRST ITEM OF EARTH MOVING AND SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE INSTALLATION OF SOIL EROSION CONTROL MEASURES.
- 6. Per the requirements of Part 91 of P.A. 451, place on the soil erosion control plan a bar graph or chart showing the proposed timing and sequence of each proposed earth change. It must include the installation of both permanent and temporary soil erosion and sedimentation controls, as well as the removal of temporary controls. It must also show the sequence of any construction phases.
- 7. A stone construction exit must also be included as part of the soil erosion control plan. Indicate the location of this exit on the plan, along with a detail. The length of the rock construction exit shall be at least 50 feet and shall consist of a 6-inch minimum layer crushed rock or stone on top of non-woven geosynthetic fabric (MDOT "Heavy Geotextile Liner"). The size of the stone shall be selected so that it cannot get caught between dual truck tires.
- 8. Additional soil erosion and sediment control comments may be made by Kentwood staff upon further review.

Utilities (Sanitary & Water):

1. The City of Grand Rapids owns, operates and maintains the sanitary sewer collection and water distribution systems in this portion of Kentwood. Any alterations, extensions or new connections to either of these systems will require approval from Grand Rapids.

- Construction plans (drafting standards) and specifications for the proposed watermain and sanitary sewer must conform to Grand Rapids requirements.
- A construction agreement with the City of Grand Rapids will be required for the new watermain and sanitary sewer.
- 3. A representative of the City of Kentwood Inspections Department must be present when the tap is made into the existing sanitary sewer.
- 4. The Grand Rapids Water Department must be present to make the tap into the existing watermain. Notify the Grand Rapids Water Department before making the connection to the existing service lateral.
- 5. Additional comments regarding utilities may be made upon further review.

Required Permits, Bonds, Fees [and Escrow]:

- 1. Because this parcel is adjacent to a public street, over one (1) acre is being disturbed, or is within 500 feet of a lake or steam, a Permit for an Earth Change (fee \$400) and a \$5,000 soil erosion control performance bond or an irrevocable letter of credit using the City of Kentwood format will be required through Kentwood Engineering. The Owner/Developer must sign the Permit for an Earth Change. Both the Owner/Developer and the Contractor must be named on the bond. Please contact us if you need a permit and/or a bond template form, or one can be accessed on the City's website at http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORM WATER" link near the top of the page). There is a 365-day limit to complete the work under this permit.
- 2. An NPDES Notice of Coverage will also be needed as the proposed area of disturbance exceeds 5 acres. At the time the Earth Change permit is issued by the Kentwood, your Notice of Coverage will immediately become effective as a "permit-by-rule" as soon as the NOC has been properly filed and the appropriate fee is paid.
- 3. Your contractor will need a Drive Permit from Kentwood Engineering for the proposed private street into the 44th Street right-of-way. A \$10,000 annual ROW bond or an irrevocable letter of credit using the City of Kentwood format and a certificate of insurance (with the City of Kentwood named as additional insured) will also be required. We will need to see a plan of the proposed commercial driveway at a plan scale no greater than 1" = 50'. Contact us if you need a permit and/or bond form, or they can be accessed on the City's website. Highway specifications, general conditions and required plan notes are also posted on the City's website.
- 4. A highway permit (\$800) will also be needed for any utility work in the 44th Street right-of-way. A \$20,000 right-of-way bond or an irrevocable letter of credit using the City of Kentwood format and a certificate of insurance (with the City of Kentwood named as additional insured) will also be required. We will also require that a traffic plans be submitted to us for road closure, signage and detours. Kentwood Engineering must be notified at least two (2) working days prior to making the open street cut so that Kentwood Police and the Kentwood Public Schools can be properly notified.

- 5. A \$30,000 Site Grading and Stormwater Management Bond or an irrevocable letter of credit using the City of Kentwood format and an administrative fee of \$600 will be required through Kentwood Engineering. This bond is posted to assure that the plan, once approved, is constructed in the field according to that plan. Both the Owner/Developer and the Contractor must be named on the bond. Let us know if you need our bond template, or it can be accessed on the City's website.
- 6. A permit will be needed from the MDEQ for the proposed work within the existing wetlands.
- 7. Please note that <u>all</u> required bonds and permit applications and fees must be submitted to, and accepted by, Kentwood Engineering *before any permits can be issued!* There will be no "partial" or "conditional" permits issued.
- 8. For your information, prior to issuance of a building permit for any of the homes or buildings in a new **condominium development**, the following items must be fulfilled:
 - a. We will need a copy of the <u>recorded</u> Master Deed.
 - b. We will also need to see a copy of the Articles of Incorporation for the condominium association.
 - c. We will need a copy of the recorded deed for the public street right-of-way (if a public street is being built).
 - d. Improvement (street and storm sewer) Plan approval.
 - e. (Block) Grading, floodway and Soil Erosion and Sediment Control Plan approval.
 - f. Basement floor elevation and building opening restriction approval.
 - g. Construction of hydrant water (if not already available within 500 feet of every point of the proposed structure).
 - h. Provision for adequate emergency access. "Adequate emergency access" must be approved by the Kentwood Fire Department. Contact Bryan Lynch (Kentwood Fire Marshal, 554-0805).
 - i. Installation of permanent soil erosion controls for the current phase of development.
 - j. Soil Erosion and Sedimentation Control / Earth Change permit for each of the proposed condominium buildings.
 - k. Right-of-Way (Driveway) permit from Kentwood Engineering.
 - 1. Completed building permit application for the individual proposed condominium structures to be built.
 - m. For structures over 3,500 square feet, a stamped set of architectural building drawings that include the front, back, sides, foundation and all floor areas, cross section including stair area details, and truss layout drawings will need to be submitted to Kentwood Inspections.

Condominium Project

2802 44th Street SE

Page 7 of 7

- n. An approved site plan or survey for the individual condominium unit, showing easements, rights of ways, distances from the proposed building to the lot lines and other structures.
- o. All unit monumentation placed for the current phase of the project, or a letter of credit to guarantee same.
- p. As-built improvement and utility drawings.
- q. Certification of stormwater detention, swales and floodways.

Miscellaneous / Reminders:

- 1. Please be advised that at the completion of construction, a civil engineer or surveyor will need to provide an as-built plan to the City of Kentwood with a certification by a registered engineer stating that the site grading and the stormwater system were constructed in accordance with the approved plans. A copy of the certification form is available upon request or on the City's website.
- 2. We will also require copies of the final as-built mylar drawings for the Grand Rapids watermain and sanitary sewer.
- 3. Remember that, for a Building Permit to be issued, other City departments (fire, assessor, treasurer, water, planning) may have comments regarding this plan. Contact Kentwood Inspections (Renee Hargrave, 554-0781) regarding building permit application procedures, fees, plan requirements and approval status.
- 4. Once final approval by all departments has been granted, make sure the contractor has the <u>latest approved</u> set of plans before beginning construction!

Should you have any questions regarding this department's review, please feel free to contact our office.

cc: Kentwood Engineering Permit Staff



11/1/1 2024

PLANNING STAFF RECOMMENDATION

Golder 4/30/24

PROJECT:

Walma and 44th Street Condominiums

APPLICATION:

9-24

REQUEST:

Final Site Plan Approval of a PUD development

LOCATION:

2802 44th Street SE

HEARING DATE:

April 23, 2024 and May 14, 2024

RECOMMENDATION:

Recommend tabling action until May 28, 2024 on the

request for Final Site Plan approval for the Walma and 44th Street Condominium project as described in Case No. 9-24.

BASIS:

1. The applicant has not provided adequate detail for final PUD approval. This information should be provided for Planning Commission consideration at the May 28, 2024 meeting.

2. Discussion during the work session and public hearing.



29 April 2024

Lisa Golder City of Kentwood, Economic Development Department 4900 Breton Ave SE Kentwood, MI 49508

RE: 44th Street and Walma Avenue

Dear Lisa,

Once again, thank you for the assistance in processing this application for PUD and Site Plan approval.

The reaction from the Commission in the work session was resoundingly positive with a few comments from the Commission and staff. Our revisions will include:

- 1. Increase the minimum garage apron/ parking space depth from a minimum of 20 feet to a minimum of 22 feet. More than 75% of the driveway aprons will be over 23 feet deep.
- 2. Maintain at least a 20-front yard for all buildings, with no exceptions. Previous submission requested a waiver for one building. That waiver will not be needed.
- 3. Maintain a 30-to-35-foot setback on our east property line, as it is acting as a rear yard more so than a side yard.
- 4. We plan to maintain a vegetative buffer on the east property line. This will involve retaining the existing mature vegetation. We have assessed the current tree line and identified the approximate number that will be retained and communicated this with our resubmission.

We, again, are excited to continue to move through this process and were so grateful to hear their positive feedback.

Please respond with your confirmation.

Best,

Michael C. Corby, FAIA - President / Managing Partner

INTEGRATED ARCHITECTURE

44TH STREET AND WALMA AVENUE CONDOMINIUM PROJECT

44TH STREET CITY OF KENTWOOD, MI 49512

ZONING

REQUIRED PUD PERIMETER:

FRONT:

CORNER:

SIDE:

REAR:

MIN. OPEN SPACE: 25%

EXISTING ZONING: MAX. DENSITY: SETBACKS: 15'/30' TOTAL MIN. LOT AREA: TOWNHOUSE: 6,500 SF FOR 1ST DU +2,000 SF FOR EACH ADDITIONAL DU WITHIN A STRUCTURE MULTI-FAMILY: 4,000 SF FOR 1ST DU +2.250 SF FOR EACH ADDITIONAL DU SETBACKS: FRONT: 20' FOR BUILDINGS NONE, 20' BETWEEN BUILDINGS REAR: 30' FOR ALL DWELLINGS, BUT CAN BE

VARIED BY P.C. CONSIDERING OPEN SPACE WHICH ABUTS REAR YARD.

PROVIDED (MIN):

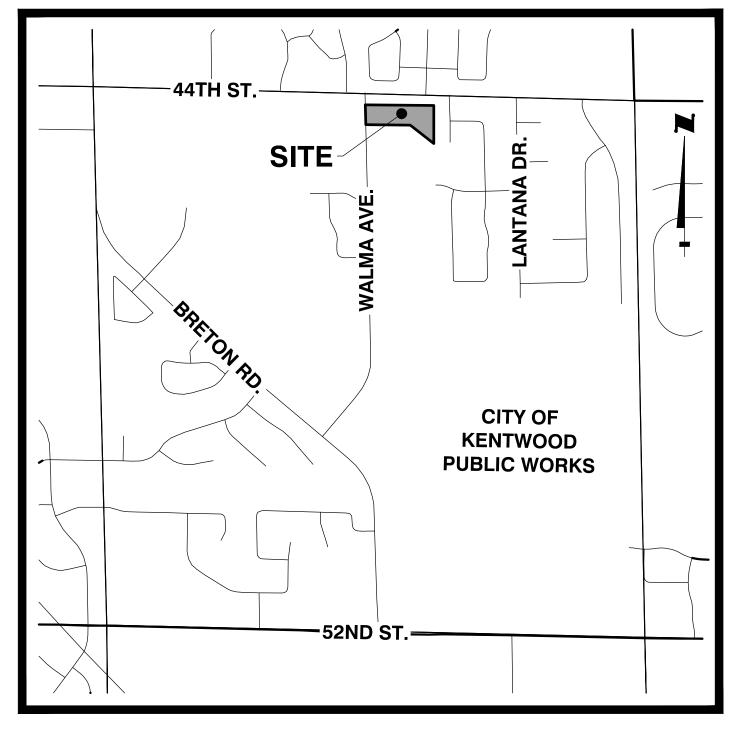
SIDE:

REAR:

OPEN SPACE: 64%

FRONT: 41'

CORNER: 40'



LOCATION MAP NOT TO SCALE

TABLE OF CONTENTS

SHEET G-100 COVER SHEET
SHEET V-101 EXISTING CONDITIONS
SHEET CD-101 CIVIL DEMOLITION PLAN
SHEET C-101 SITE LAYOUT PLAN
SHEET C-200 SESC PLAN
SHEET C-201 GRADING & DRAINAGE PLAN
SHEET C-301 SITE UTILITY PLAN

DESCRIPTION

25'

PER TAX DESCRIPTION FOR PARCEL NUMBER 41-18-27-201-015, KENT COUNTY, STATE OF MICHIGAN.

PART OF THE NORTHEAST 1/4 OF SECTION 27, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING 50.07 FEET, SOUTH 03 DEGREES 00 MINUTES 49 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE FROM THE NORTH 1/4 CORNER OF SAID SECTION; THENCE SOUTH 03 DEGREES 00 MINUTES 49 SECONDS EAST 254.60 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 287.62 FEET; THENCE SOUTH 56 DEGREES 43 MINUTES 40 SECONDS EAST 463.10 FEET TO THE EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF THE NORTHEAST 1/4; THENCE NORTH 03 DEGREES 02 MINUTES 00 SECONDS WEST ALONG SAID EAST LINE TO THE SOUTH LINE OF 44TH STREET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST ALONG SAID SOUTH LINE 661.25 FEET TO THE POINT OF BEGINNING.



LEGEND

SECTION CORNER O SET CUT 'X' IN CONCRETE ● FOUND 1/2 DIA. STEEL BAR W/ CAP #45494 ● FOUND 1/2 DIA. STEEL BAR - NO CAP ■ FOUND CONCRETE MONUMENT → TELEPHONE MANHOLE ① UTILITY MANHOLE U UTILITY HAND HOLE FIBER OPTIC VAULT -∳- TELEPHONE PEDESTAL FIRE HYDRANT WATER VALVE ■ ELECTRIC METER 모 SIGN

☐ SIGN ©
☐ TEST STATION FOR UNDERGROUND UTILITY
☐ ABOVE GROUND MARKER FOR UNDERGROUND UTILITY
☐ UTILITY POLE

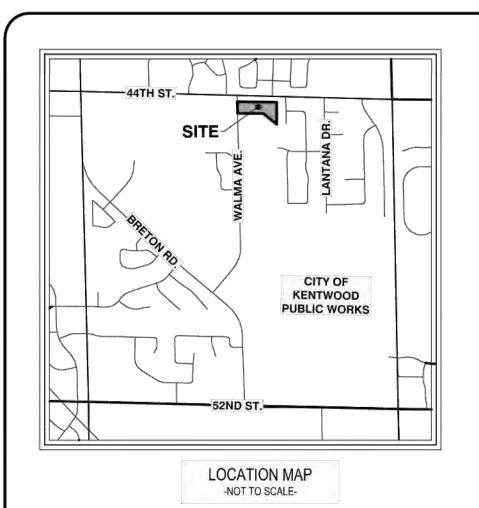
GUY ANCHOR

DECIDUOUS TREE

	SECTION LINE
	PARCEL LINE
	ROAD RIGHT-OF-WAY LINE
	PLATTED LOT LINE
	EASEMENT LINE
	UNDERGROUND GAS LINE
	UNDERGROUND WATER LINE
—	UNDERGROUND TELEPHONE LI
→ 	UNDERGROUND FIBER OPTIC LI
——Е——Е—	UNDERGROUND ELECTRIC LINE
—— он —— он ——	OVERHEAD UTILITY LINE
	WOOD FENCE LINE
	CHAIN LINK FENCE LINE
	BRUSH LINE
	TREE LINE
Ţ ŀŢŀŢŀŢŀŢŀŢŀŢŀŢŀŢŀŢŀŢŀŢŀŢ ŀŢ	TOP OF BANK
	TOE OF BANK
756	MINOR CONTOUR
755	MAJOR CONTOUR
	ASPHALT
A	CONCRETE
	GRAVEL

Project Manager RYAN T. YSSELDYKE Vertical Datum Horz. Datum NAVD '88 LOCAL Drawn by MARK BROOKHOUSE Checked by Survey Civil Struc. L. A. HEI Project Number 23-12-009 COVER SHEET

G-100



DESCRIPTION

PER TAX DESCRIPTION FOR PARCEL NUMBER 41-18-27-201-015, KENT COUNTY, STATE OF MICHIGAN.

PART OF THE NORTHEAST 1/4 OF SECTION 27, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING 50.07 FEET, SOUTH 03 DEGREES 00 MINUTES 49 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE FROM THE NORTH 1/4 CORNER OF SAID SECTION: THENCE SOUTH 03 DEGREES 00 MINUTES 49 SECONDS EAST 254.60 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 287.62 FEET; THENCE SOUTH 56 DEGREES 43 MINUTES 40 SECONDS EAST 463.10 FEET TO THE EAST LINE OF THE WEST 1/2 OF THE WEST 1/2 OF THE NORTHEAST 1/4: THENCE NORTH 03 DEGREES 02 MINUTES 00 SECONDS WEST ALONG SAID EAST LINE TO THE SOUTH LINE OF 44TH STREET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST ALONG SAID SOUTH LINE 661.25 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES

- (A) THIS SURVEY WAS PREPARED FOR THE LANDS AS DESCRIBED HEREIN WITHOUT THE BENEFIT OF CURRENT TITLEWORK AND IS NOT A CERTIFICATION OF TITLE, ZONING OR FREEDOM OF ENCUMBRANCES.
- (B) BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 27, AND HAVING A BEARING OF SOUTH 90°00'00" WEST.
- ELEVATIONS HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88).
- SOURCE BENCHMARK MICHIGAN DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OPERATING REFERENCE SYSTEM (CORS): GRAR
- E ALL UTILITIES AND BELOW GROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED UNDER THE SCOPE OF THIS SURVEY.
- UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND OBSERVATIONS AT THE TIME OF THE FIELD SURVEY AND FIELD MARKINGS AS THE RESULT OF A MISS DIG TICKET REQUEST. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA. THIS SURVEY SHOULD NOT BE RELIED UPON TO DEPICT THE LOCATION OF ALL UNDERGROUND UTILITIES.

NOTE: CONNECTIVITY AS SHOWN HEREON IS BASED UPON BEST AVAILABLE INFORMATION. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF ALL UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

- (G) NO EASEMENT INFORMATION WAS PROVIDED TO HOLLAND ENGINEERING, INC. AT THE TIME OF THE SURVEY FOR UTILITIES ACROSS THE SUBJECT
- PER THE FLOOD INSURANCE RATE MAP CITY OF KENTWOOD KENT COUNTY, MICHIGAN MAP NUMBER: 26081C0438D EFFECTIVE DATE: FEBRUARY 23, 2023

THE SUBJECT PARCEL LIES IN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

DATE OF FIELD SURVEY: JANUARY & FEBRUARY, 2024

I, MARK O. SCOVILL, A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MICHIGAN, HEREBY CERTIFY THAT I HAVE SURVEYED THE PARCEL(S) OF LAND DESCRIBED AND DELINEATED HEREON; THAT THE SURVEY MAP IS A TRUE REPRESENTATION OF THE SURVEY AS PERFORMED BY ME; THAT SAID SURVEY WAS PERFORMED RESULTING WITH A RELATIVE POSITIONAL PRECISION AT EACH BOUNDARY CORNER SHOWN HEREON WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING. THIS SURVEY WAS MADE FROM THE ATTACHED LEGAL DESCRIPTION. THE DESCRIPTION WAS GIVEN TO US BY OTHERS, OR WAS PREPARED BY US FROM INFORMATION OR DOCUMENTS GIVEN TO US BY OTHERS, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS.

LICENSE NO

HOLLAND ENGINEERING, INC. 220 HOOVER BOULEVARD HOLLAND, MICHIGAN 49423 (616) 392-5938

mark o- Seavell

MARK O. SCOVILL MICHIGAN PROFESSIONAL SURVEYOR #4001045504





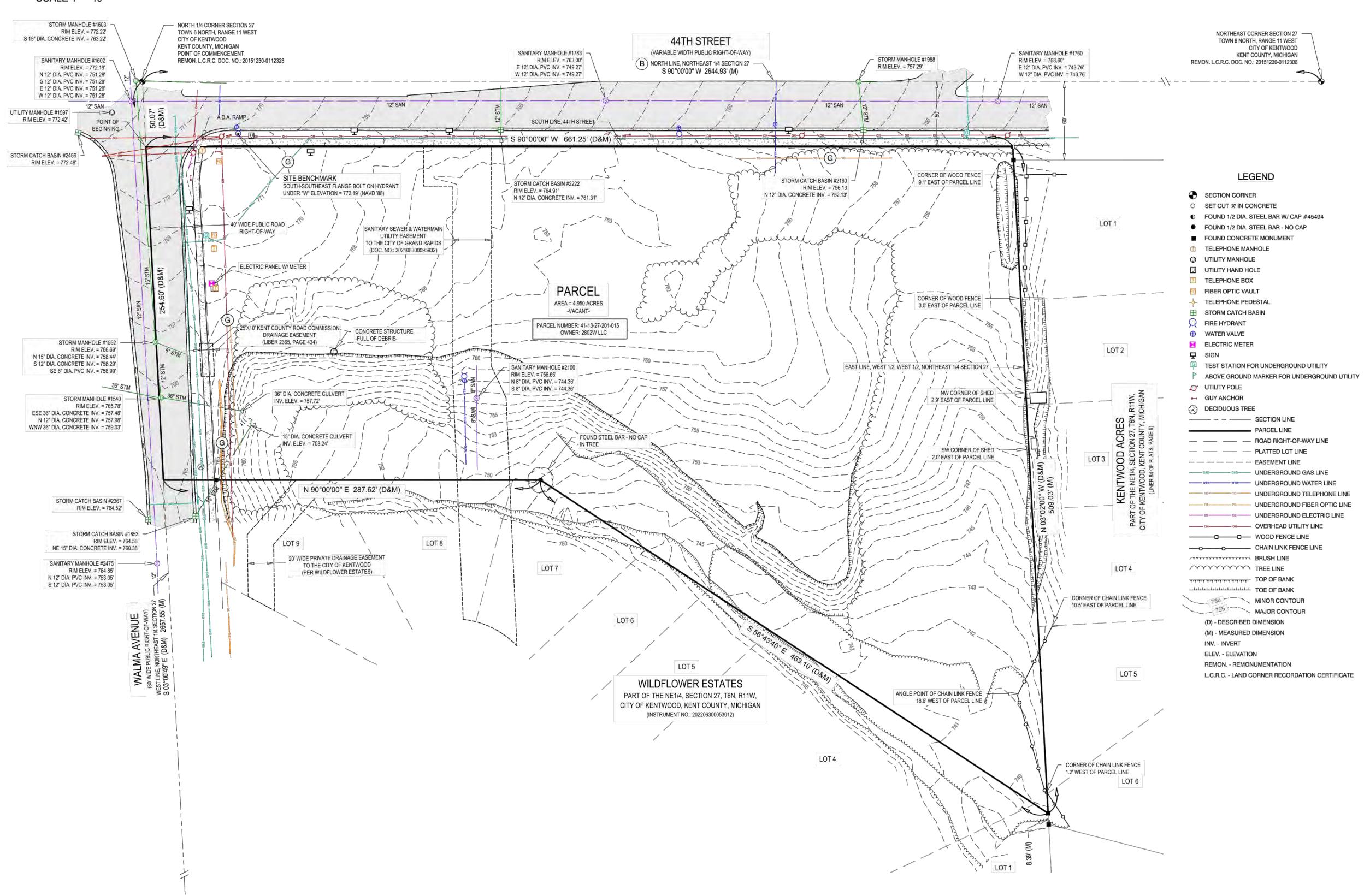
CENTER OF SECTION 27

KENT COUNTY, MICHIGAN

STAMP & FILE NO.: 8823

CITY OF KENTWOOD

TOWN 6 NORTH, RANGE 11 WEST



THE NE 1/4 SE(KENTWOOD,

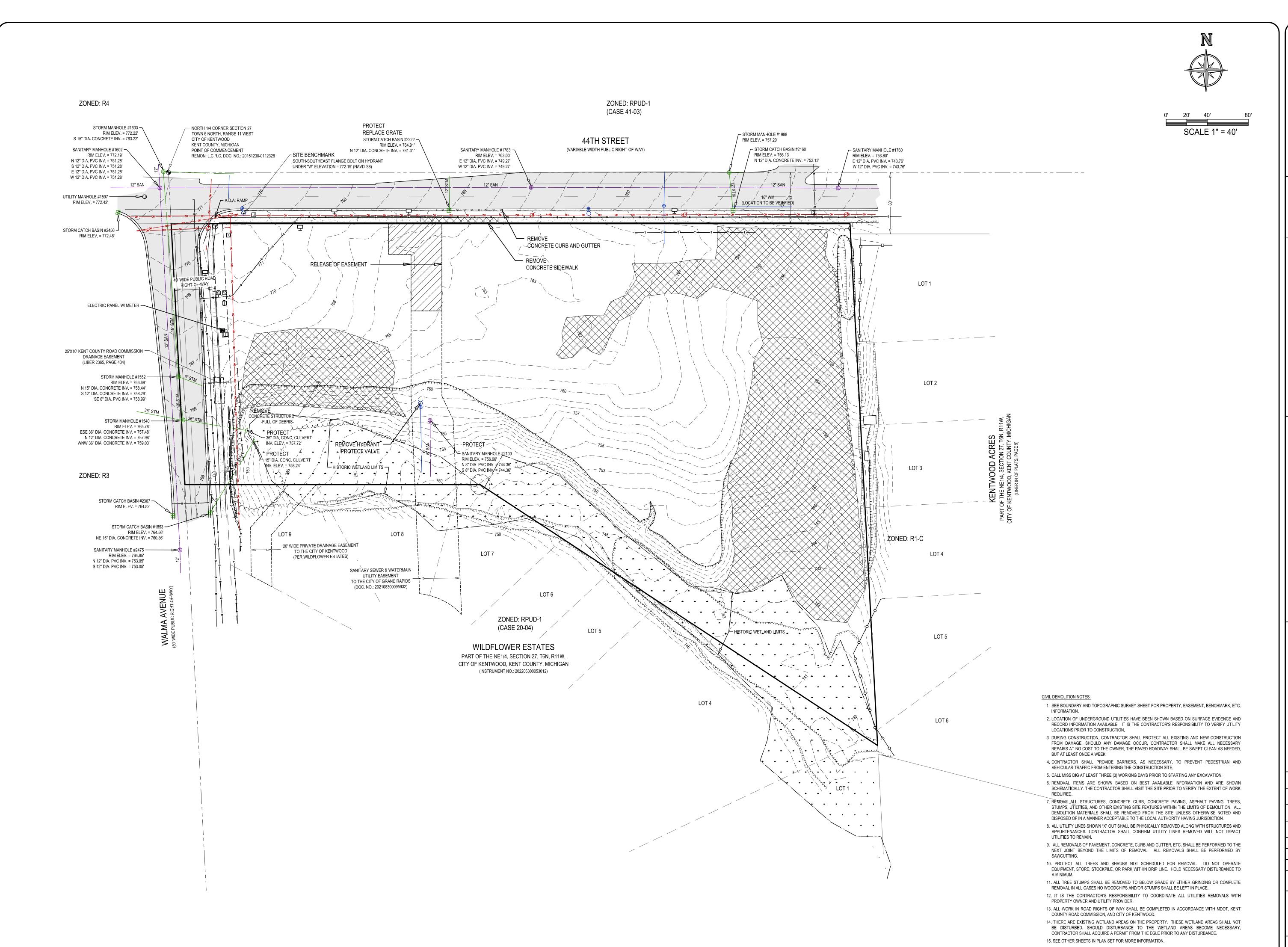
Project Manager RYAN T. YSSELDYKE Vertical Datum Horz. Datum LOCAL

NAVD '88 Drawn by JOHN M. RANKIN Checked by Survey MOS 02/21/2024 Civil Struc.

L. A. HEI Project Number 23-12-009 **EXISTING**

CONDITIONS

V-101

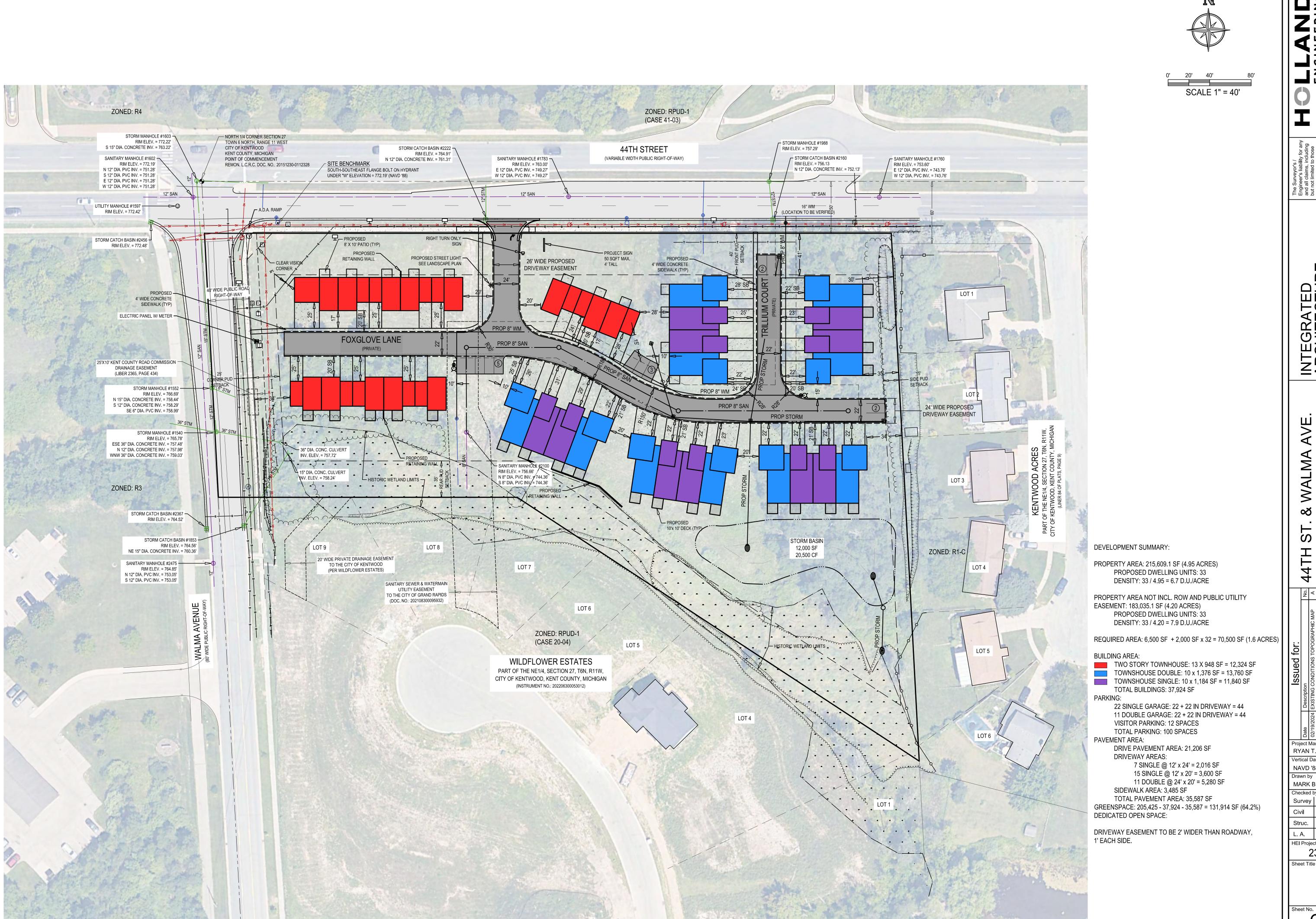


Project Manager RYAN T. YSSELDYKE Vertical Datum Horz. Datum NAVD '88 LOCAL Drawn by MARK BROOKHOUSE Checked by

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HEI Project Number 23-12-009

CIVIL **DEMOLITION**



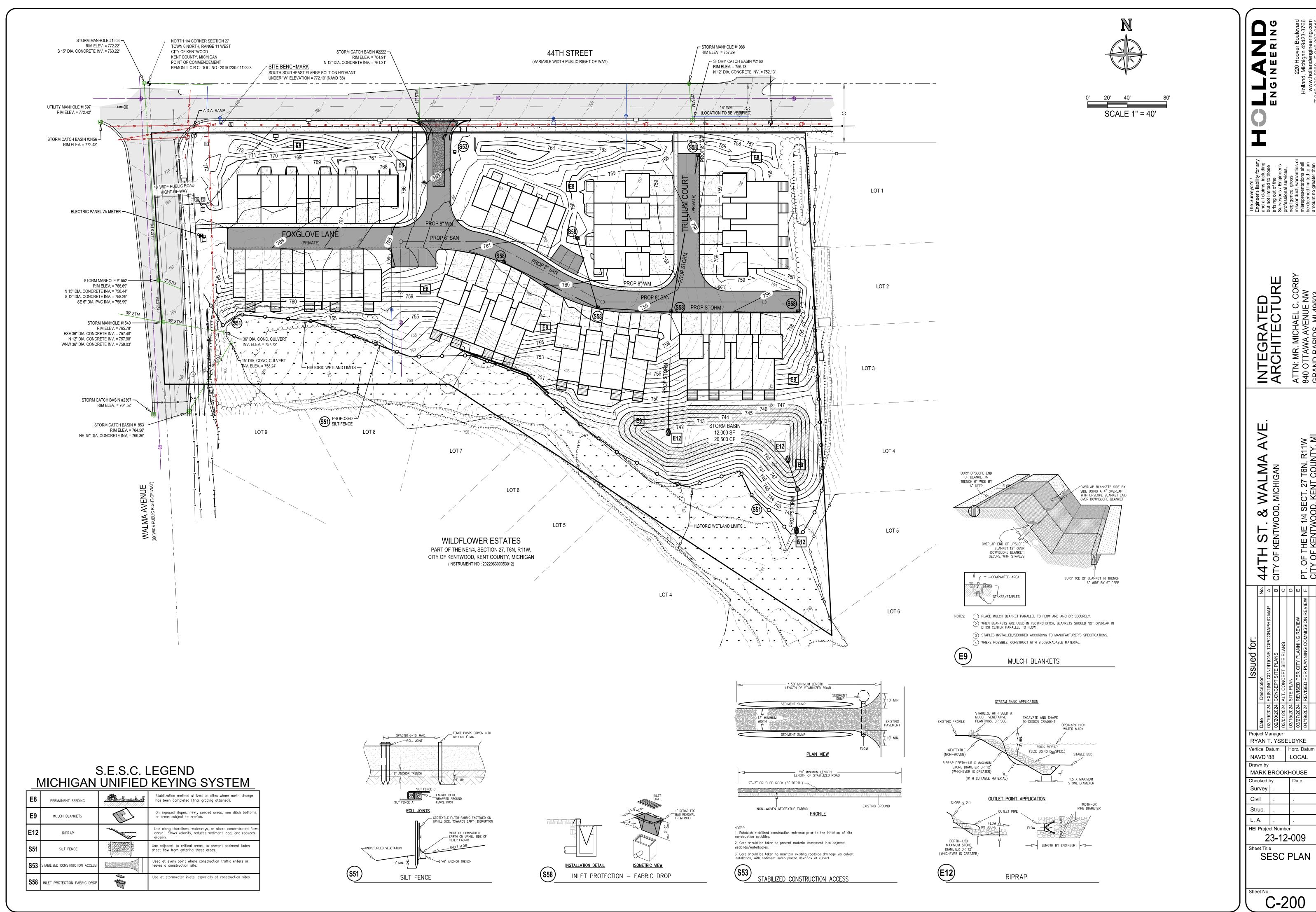
න 44 CITY

Project Manager RYAN T. YSSELDYKE Vertical Datum Horz. Datum NAVD '88 LOCAL MARK BROOKHOUSE Checked by

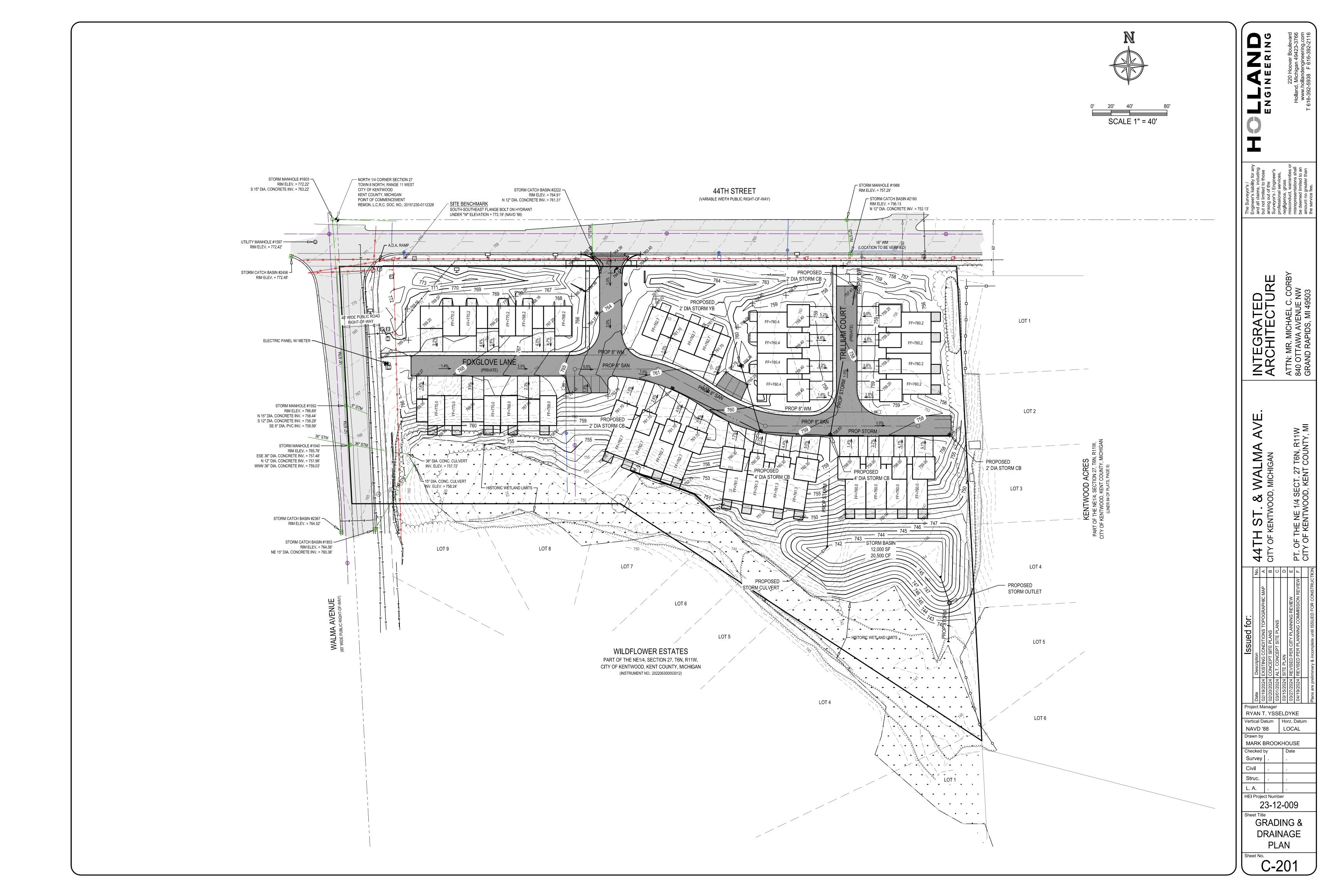
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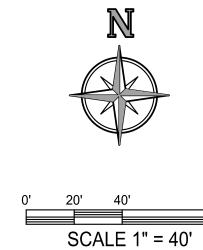
L. A. HEI Project Number 23-12-009

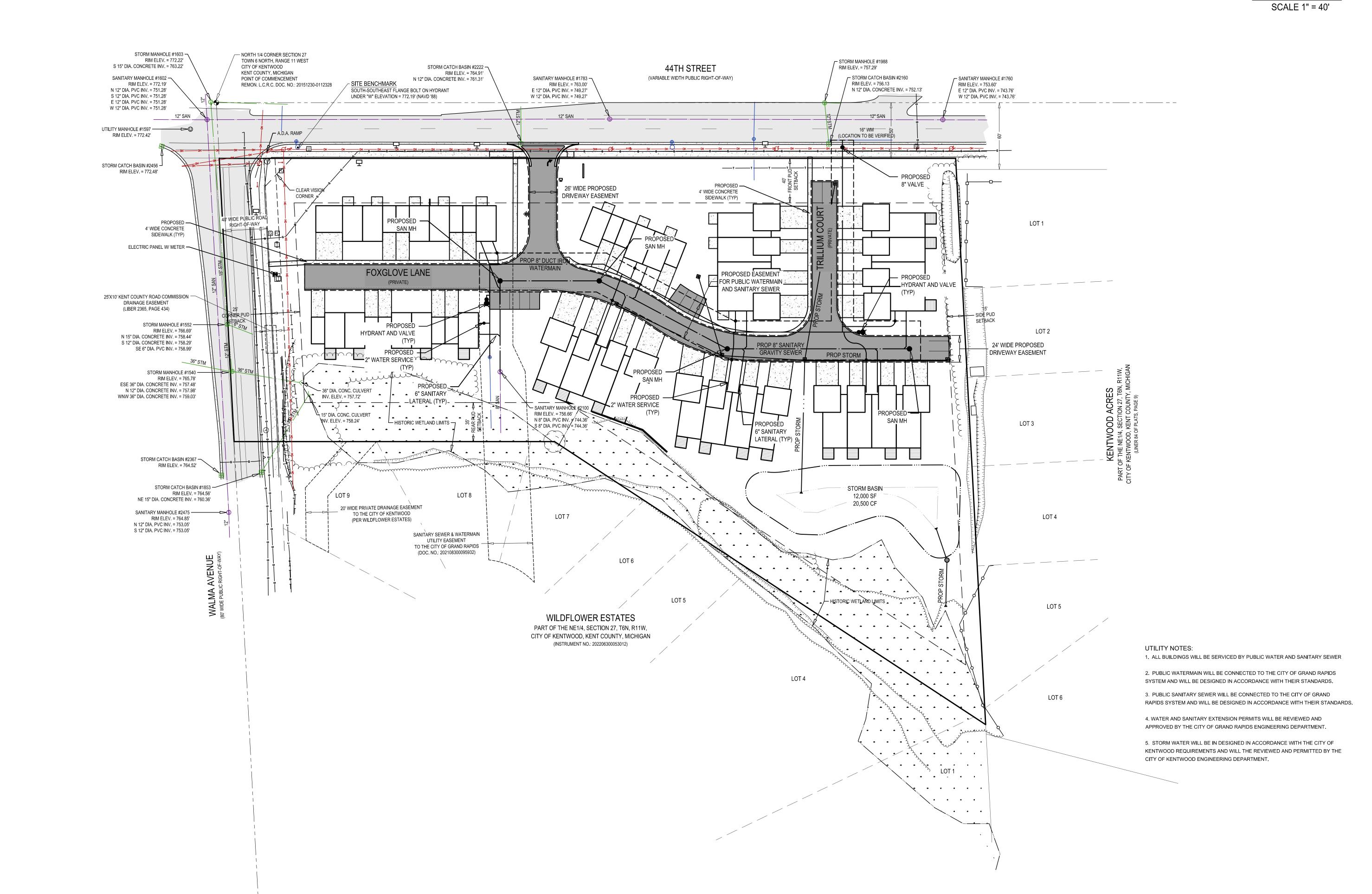
SITE PLAN



. OF THE NE 1/4 SEC TY OF KENTWOOD, I







INTEGRATED ARCHITECTURE

Project Manager

RYAN T. YSSELDYKE Vertical Datum Horz. Datum NAVD '88 LOCAL Drawn by MARK BROOKHOUSE Checked by Survey

Civil Struc. L. A. 23-12-009

HEI Project Number

UTILITY PLAN

NORTH ELEVATION GLASS TO WALL RATIO

TOTAL WALL AREA: 1,614 SF TOTAL GLAZING AREA: 279 SF GLASS TO WALL PERCENTAGE: 17%





EAST ELEVATION

INTEGRATED ARCHITECTURE

NORTH ELEVATION

44TH ST. & WALMA AVE.

26 APR 2024

SOUTH ELEVATION GLASS TO WALL RATIO

TOTAL WALL AREA: 1728.96 SF TOTAL GLAZING AREA: 230.16SF GLASS TO WALL PERCENTAGE: 13%





SUBGRADE BELOW LAWN AND LANDSCAPE AREAS.

EXCAVATION FOR PLANTING PITS.

WITH SPRINKLER HEADS AND LINES.

WITH BEST LANDSCAPE PRACTICES.

AND GROUND COVERS.

INFILTRATION

OTHER ZONE DISTRICTS.

CONSTITUTE A TRAFFIC HAZARD.

TO WILDLIFE HABITAT.

PLANTING PERIOD, WHICHEVER COMES FIRST.

LEGEND

DECIDUOUS TREE

GROUND COVERS

/ERGREEN AND ORNAMENTAL

CONTROL AND ISOLATION JTS.

LANDSCAPE MULCH.

FINE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.

INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM LINE AND

GRADE INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BY

NEW PLANT MATERIAL AND NOTIFY ARCHITECT FOR APPROVAL. NOTIFY ARCHITECT ONE WEEK MINIMUM PRIOR TO TENTATIVE DATE OF STAKING.

PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS,

SEEDED AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL

AREAS, DRIVEWAYS, WALKWAYS, PEDESTRIAN PLAZAS OR OTHER

RRIGATION CONTRACTOR TO ENSURE PROPER WATERING OF PLANTED AND

COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO MINIMIZE CONFLICTS

PEDESTRIAN - ORIENTED IMPERVIOUS SURFACES OR WATER SURFACES SHALL

BE PLANTED WITH LIVING VEGETATION, INCLUDING CANOPY TREES, SHRUBBERY

TOPSOIL: TOPSOIL SHALL BE INSTALLED WITH A MINIMUM DEPTH OF FOUR (4)

THE TOPSOIL WITHIN THE LIMITS OF DISTURBANCE OF A CONSTRUCTION SITE SHALL BE AMENDED WITH ORGANIC SOIL ADDITIVES AS RECOMMENDED BY A LANDSCAPE SOILS TEST PRIOR TO BEING REDISTRIBUTED IN ACCORDANCE

ACTIVITIES SHALL BE LOOSENED AND AERATED TO A DEPTH OF AT LEAST SIX (6)

MAINTAINED WITH SEED, SOD, GROUND COVERS, MULCHES OR OTHER APPROVED MATERIALS TO PREVENT SOIL EROSION AND ALLOW RAINWATER

DEPTH OF THREE (3) INCHES. PLANTING BEDS SHALL EDGED WITH PLASTIC

TO ISSUING A BUILDING CERTIFICATE OF OCCUPANCY.

METAL, BRICK OR STONE IN RESIDENTIAL ZONE DISTRICTS AND METAL IN ALL

SHALL BE REMOVED AFTER COMPLETION OF THE INITIAL GROWING SEASON.

LANDSCAPE AREAS, INCLUDING VEGETATION IN THE PUBLIC RIGHT-OF-WAY.

THAT PROVIDE SCREENING, BUFFERING, WILDLIFE HABITAT AND/OR LINKAGES

APPEARANCE IN ACCORDANCE WITH THE APPROVED SITE PLAN.

UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR

INCHES FOR LAWN AREAS, AND TWELVE (12) TO FIFTEEN (15) WITHIN PLANTING BEDS.

EARTHWORK CONTRACTOR BEFORE PLACING ANY TOPSOIL.

TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MULCH.

BORDER, UNLESS METAL EDGE BORDER IS SPECIFIED.

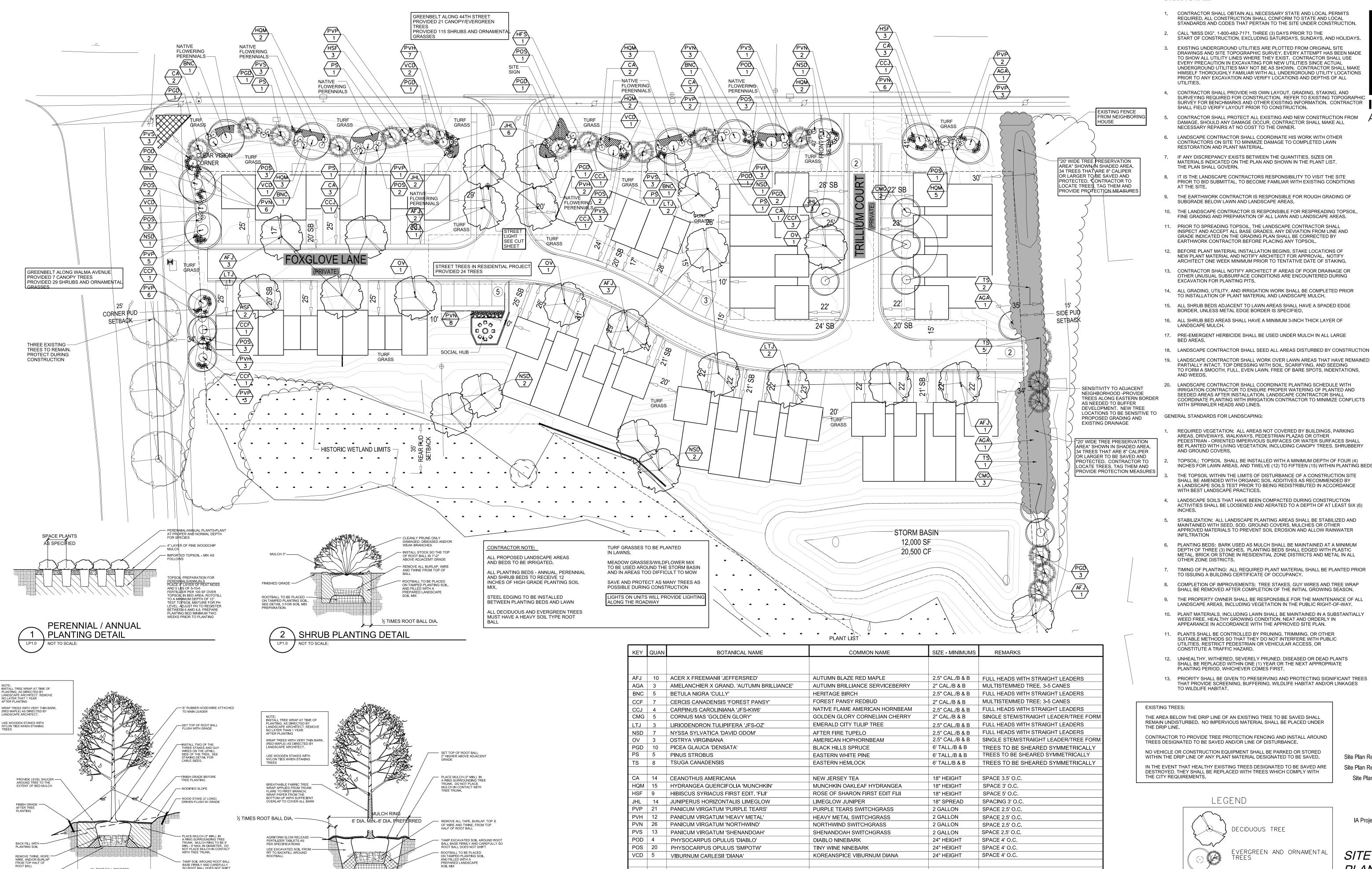
Site Plan Re-Submittal

26 April 2024 Site Plan Re-Submittal | 27 March 2024 Site Plan Submittal | 18 March 2024 KAB PM / PA MC/

KAB IA Project Number | 20230308

SITE LANDSCAPE PLAN

LP1-0



SITE LANDSCAPE PLAN

SCALE: 1" = 30'-0"

TREE PLANTING DETAIL

PLANTING AREA TO BE

TREE/SHRUB SLOPE PLANTING DETAIL

PLANNING STAFF RECOMMENDATION

Golder 4/29/24

PROJECT:

The Church of the Latter Day Saints Temple Final Site Plan

Review

APPLICATION: 10-24

REQUEST: Final Site Plan Review of a PUD Phase

LOCATION: 2400 Forest Hill Avenue SE

HEARING DATE: May 14, 2024

RECOMMENDATION: Recommend Conditional Approval of the Final Site Plan dated

April 1, 2024 for the Church of Jesus Christ of Latter Day Saints

project as described in Case No. 10-24.

CONDITIONS:

- 1. Review and approval by staff and the Kentwood City Attorney of a PUD Development Agreement for the project.
- 2. Compliance with the email statement from the applicants representative dated April 12, 2024 regarding the use and operations of the Temple.
- 3. Compliance with the City Engineer's memo dated April 15, 2024.
- 4. Approval of the site plan by the Kentwood Fire Marshal.
- 5. Staff approval the final lighting and landscaping plans.

BASIS:

- 1. A PUD Development Agreement is required by Chapter 12 of the Kentwood Zoning Ordinance.
- 2. Review of the lighting plans will ensure that the plan meets the requirements of the Zoning Ordinance.

Findings of Fact Case No. 10-24 Church of the Latter Day Saints Final Approval Page 2

- 3. The site plan otherwise meets the requirements of the Kentwood Zoning Ordinance.
- 4. Discussion at the work session and public hearing.

Subject:

FW: [External] questions

From: Robert LaPlaca < laplacar@progressiveae.com>

Sent: Friday, April 12, 2024 3:56 PM
To: Golder, Lisa <GolderL@kentwood.us>

Cc: Tom Frey <TFrey@weareprogressive.com>; John Van Houten <JVanHouten@weareprogressive.com>; Lydia Fries

<LFries@weareprogressive.com>
Subject: RE: [External] questions

1) Summary of ZBA Decision

 The ZBA approved the Church's application for a height variance on 18 March 2024, with the following conditions:

1. The total height of the structure constructed on the property shall not exceed 95.00 feet, as measured pursuant to the Zoning Ordinance, provided that up to 3.0 feet of any portion of the structure less than or equal to 2 and ¾ inches in diameter may exceed the 95.00-foot maximum height.

The established mean grade at the building wall perimeter shall not exceed 798.0 feet

above sea level.

- 3. Any portion of the structure exceeding 44.00 feet above the grade at the building wall perimeter shall not have any exterior façade lighting between the hours of 11:00 PM and 5:00 AM.
- The decisions reached in this meeting are reflected in the current submittal.
- Please reference the packet from the ZBA meeting held on 20 November 2023 (attached) for detailed background information regarding temples.

2) Explanation of the Type of Ceremonies

- Temples are different than ordinary Church meetinghouses. Temples are <u>not</u> used for Sunday worship services, recreational activities, and other community events, but they are used for special ceremonies called ordinances. These include baptisms, sealings (including marriages), and the temple endowment. In the temple, members of the Church receive religious instruction regarding the Savior Jesus Christ and God's plan for His children. As part of the ordinances, members make covenants (promises) with God that strengthen their relationship with Him and help them focus on the Savior, His Atonement, and their commitment to follow Him.
- More information regarding the purpose of temples and the ceremonies performed in temples is available on the Church website by following this link.

3) General Hours

- Temples are generally in operation from 6:00a to 10:00p, Monday through Saturday. They are closed on Sundays. The hours may vary based on local needs.
- Temple ordinances are performed continuously throughout the day, and members attend the temple as their schedules allow. There are generally not large groups coming or going at once, but rather a steady flow of patrons arriving and leaving throughout the hours the temple is open.

4) Number of Employees

• The temple will have a small number of employees (4-5) that are responsible for maintenance, cleaning, laundry, clerical, and other similar duties.

 The vast majority of those working in the temple will be volunteers, who may serve for one or more four-hour shifts throughout the week. At any given time, there may be 30-40 volunteers working in the temple.

5) Upkeep of Grounds

Temples are considered by members of the Church to be the house of the Lord. As such, they
are constructed and maintained to the highest standards, using only the highest-quality
materials. They are holy places of worship, and great care will be taken to ensure that the
grounds and buildings are maintained in a way that reflects their sacred nature.

6) Public Access to the Grounds

- After the construction of the temple is completed, the public will be invited to attend a free open house, which will generally last for a few weeks.
- Once dedicated, attendance in the temple is reserved for faithful members of the Church who are ready to participate in additional gospel ordinances
- The beautiful grounds around the temple will remain open to the public (during operating hours)

7) Maintenance Building

- Adjacent to the temple is a small utility and maintenance building that supports the temple
- This building includes a maintenance workshop, storage areas for materials and equipment, mechanical and electrical equipment, and offices and amenities for maintenance and grounds staff
- Also included in the maintenance building is a small distribution center, where the Church can
 provide clothing and materials integral to the religious purposes of the temple. People will be
 able to come here to purchase temple clothing, scriptures, religious artwork, hymnbooks, etc...

Rob LaPlaca, PE Civil Engineer Office 616.365.8564 Cell 630.394.0707 weareprogressive.com





To:

Kentwood Planning Department

From:

Brad Boomstra, P.E.

City Engineer

Date:

April 15, 2024

Re:

Grand Rapids Temple

2400 Forest Hill Avenue

41-18-12-401-024

We have completed our planning level review of the proposed site plans dated April 1, 2024, for the above referenced project. Kentwood Engineering has the following comments that will need to be addressed as the review process proceeds. A more detailed review will be done when the development is submitted for Site Plan Construction review.

Street / Sidewalk / Parking Lot:

- 1. The pavement within the commercial drive approach between the sidewalk and the gutter pan must be concrete, at least 6 inches thick.
- 2. For any curb cut which terminates less than five (5) feet from a construction joint, the contractor shall remove and replace the existing curb to the next joint.
- The sidewalk must be carried across the commercial drive. Where it crosses, it must be at least 6" thick.
- 4. Include the City of Kentwood General Notes on the plan(s). These notes are required for the work being performed in the Forest Hills Avenue right-of-way. Highway permit conditions, specifications and required general plan notes are posted on the City's website, and can be accessed at http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "RIGHT-OF-WAY" link near the top of the page).
- Additional comments regarding the street and/or sidewalk may be made upon further review.

Grading:

- Please identify at least one (1) benchmark on the plan.
- Indicate the proposed limits of grading on the site plan. A thick, shaded line works well for this.
- 3. Indicate and label the 1% chance (100-year) flood elevation on the site plan or add a note that none exists on this site.
- 4. Indicate and label the wetland delineation line or add a note that none exist on this site.

- 5. In the area of the former building, there may be disturbed/loose soil remaining from the previous construction. Be sure the specifications require that an independent testing laboratory be on site to perform compaction testing during site grading. We want to be sure that all backfill soils are properly placed and compacted prior to new foundation construction.
- 6. Additional comments regarding grading may be made upon further review.

Detention Basin:

1. A low flow channel will be needed across the bottom of the detention basin between the end section(s) and the outlet structure with a minimum grade of 0.6 percent. This may consist of 4" concrete, grouted riprap, or properly sized riprap, all on filter fabric (MDOT "Geotextile Liner"). Both the surface material and the fabric must be toed in at least 18 inches at all earth interfaces. The remainder of the basin bottom shall have a minimum 2 percent slope to the low flow channel.

Soil Erosion and Sediment Control:

- 1. We will need to see some additional soil erosion control measures as part of the plan review. Section 78-62 of the City of Kentwood Ordinance (posted on the City's website) contains minimum requirements for information that shall be included on the plan. Go to: http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORMWATER" link near the top of the page). Please review this ordinance carefully.
- 2. Per the requirements of Part 91 of Public Act 451, all proposed grading and soil erosion controls must be shown on a sheet(s) titled, at least in part, "SOIL EROSION AND SEDIMENTATION CONTROL PLAN". This plan should show surface features related to grading and soil erosion and sediment control. The SESC Plan may be combined with other plans and improvements as long as clarity is retained. Two (2) copies of this sheet, once approved, will need to accompany the application for an earth change.
- 3. We need to see existing and proposed topography at a maximum of five (5) foot contour intervals on the SESC Plan. The existing topography shall include structures and natural features outside the site boundary line within 50 feet.
- 4. Show storm sewers on the SESC Plan
- 5. Place a note on the soil erosion control plan to indicate that existing and new catch basins shall be protected with an inlet filter drop (silt sack). Straw bales or fabric placed under the grate are NOT acceptable, and sediment traps alone are not sufficient to provide adequate sediment filtration. Such a note might read, "EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FABRIC DROP (SILT SACK)." Include a simple detail of the proposed silt sack on the Soil Erosion and Sediment Control plan. We can provide you with an acceptable CAD detail upon request.
- 6. Place the following notes on the soil erosion control plan:
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC ACT 451.
 - ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.

- ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
- EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED. (This area of disturbance, or grading limits, must be clearly shown on the site plan.)
- SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE. (Remember that silt fences are intended to intercept *sheet flow* only and must always be installed *parallel* with the ground contours. Silt fences must not cross ravines, overland floodways, ditches, swales, etc. where concentrated flows occur.)
- ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 AND THE DETENTION BASIN BANKS AND BOTTOM MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF. (Indicate such areas with shading or hatching on the plan.)
- ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
- NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT DOES OCCUR, IT SHALL BE CLEANED DAILY.
- THE STORMWATER DETENTION BASIN IS TO BE THE FIRST ITEM OF EARTH MOVING AND SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE INSTALLATION OF SOIL EROSION CONTROL MEASURES.
- 7. Per the requirements of Part 91 of P.A. 451, place on the soil erosion control plan a bar graph or chart showing the proposed timing and sequence of each proposed earth change. It must include the installation of both permanent and temporary soil erosion and sedimentation controls, as well as the removal of temporary controls. It must also show the sequence of any construction phases.
- 8. A stone construction exit must also be included as part of the soil erosion control plan. Indicate the location of this exit on the plan, along with a detail. The length of the rock construction exit shall be at least 50 feet and shall consist of a 6-inch minimum layer crushed rock or stone on top of non-woven geosynthetic fabric (MDOT "Heavy Geotextile Liner"). The size of the stone shall be selected so that it cannot get caught between dual truck tires.
- 9. The number system for the details on Sheet C104 does not match the numbering system on Sheet C103. Sheet C103 shows callout E5 at the southern driveway, however E5 is not referenced in the SESC keying system legend. Additionally, S53, stabilized construction access is not shown on the plans.
- 10. Sheet C103 SESC Notes in the legend are not legible. There may be a font problem.

11. Additional soil erosion and sediment control comments may be made by Kentwood staff upon further review.

Utilities (Sanitary & Water):

- The City of Grand Rapids owns, operates and maintains the sanitary sewer collection and water distribution systems in this portion of Kentwood. Any alterations, extensions or new connections to either of these systems will require approval from Grand Rapids. Construction plans (drafting standards) and specifications for the proposed watermain and sanitary sewer must conform to Grand Rapids requirements.
- 2. A representative of the City of Kentwood Inspections Department must be present when the tap is made into the existing sanitary sewer.
- The Grand Rapids Water Department must be present to make the tap into the existing water main. Notify the Grand Rapids Water Department before making the connection to the existing service lateral.
- 4. Additional comments regarding utilities may be made upon further review.

Required Permits, Bonds, Fees [and Escrow]:

- 1. Because this parcel is adjacent to a public street, over one (1) acre is being disturbed, or is within 500 feet of a lake or steam, a Permit for an Earth Change (fee \$400) and a \$5,000 soil erosion control performance bond or an irrevocable letter of credit using the City of Kentwood format will be required through Kentwood Engineering. The Owner/Developer must sign the Permit for an Earth Change. Both the Owner/Developer and the Contractor must be named on the bond. Please contact us if you need a permit and/or a bond template form, or one can be accessed on the City's website at http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORM WATER" link near the top of the page). There is a 365-day limit to complete the work under this permit.
- 2. An NPDES Notice of Coverage will also be needed as the proposed area of disturbance exceeds 5 acres. At the time the Earth Change permit is issued by the Kentwood, your Notice of Coverage will immediately become effective as a "permit-by-rule" as soon as the NOC has been properly filed and the appropriate fee is paid.
- 3. Your contractor will need a Drive Permit from Kentwood Engineering for the proposed commercial drives into the Forest Hill Avenue right-of-way. A \$10,000 annual ROW bond or an irrevocable letter of credit using the City of Kentwood format and a certificate of insurance (with the City of Kentwood named as additional insured) will also be required. We will need to see a plan of the proposed commercial driveway at a plan scale no greater than 1" = 50'. Contact us if you need a permit and/or bond form, or they can be accessed on the City's website. Highway specifications, general conditions and required plan notes are also posted on the City's website.
- 4. A highway permit (\$800) will also be needed for any utility work in the Forest Hill Avenue right-of-way. A \$20,000 right-of-way bond or an irrevocable letter of credit using the City of Kentwood format and a certificate of insurance (with the City of

Kentwood named as additional insured) will also be required. We will also require that a traffic plans be submitted to us for road closure, signage and detours. Kentwood Engineering must be notified at least two (2) working days prior to making the open street cut so that Kentwood Police and the Kentwood Public Schools can be properly notified.

- 5. A \$30,000 Site Grading and Stormwater Management Bond or an irrevocable letter of credit using the City of Kentwood format and an administrative fee of \$600 will be required through Kentwood Engineering. This bond is posted to assure that the plan, once approved, is constructed in the field according to that plan. Both the Owner/Developer and the Contractor must be named on the bond. Let us know if you need our bond template, or it can be accessed on the City's website.
- 6. Please note that <u>all</u> required bonds and permit applications and fees must be submitted to, and accepted by, Kentwood Engineering *before any permits can be issued!* There will be no "partial" or "conditional" permits issued.

Miscellaneous / Reminders:

- 1. Please be advised that at the completion of construction, a civil engineer or surveyor will need to provide an as-built plan to the City of Kentwood with a certification by a registered engineer stating that the site grading and the stormwater system were constructed in accordance with the approved plans. A copy of the certification form is available upon request or on the City's website.
- 2. Remember that, for a Building Permit to be issued, other City departments (fire, assessor, treasurer, water, planning) may have comments regarding this plan. Contact Kentwood Inspections (Renee Hargrave, 554-0781) regarding building permit application procedures, fees, plan requirements and approval status.
- 3. Once final approval by all departments has been granted, make sure the contractor has the <u>latest approved</u> set of plans before beginning construction!

Should you have any questions regarding this department's review, please feel free to contact our office.

cc: Kentwood Engineering Permit Staff

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

GRAND RAPIDS TEMPLE

2400 FOREST HILL AVE SE, GRAND RAPIDS, MI 49546



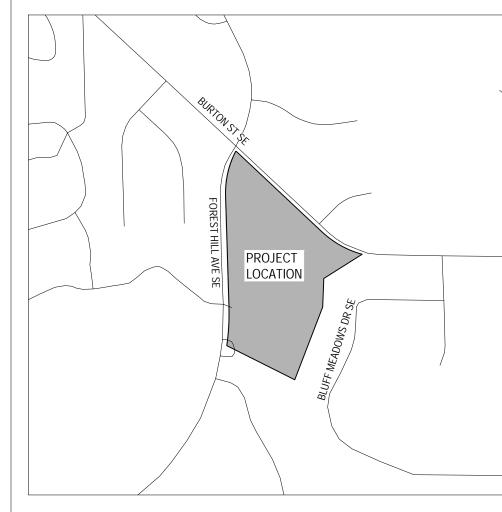
DRAWING INDEX - SITE PLAN APPLICATION TD001 TITLE DRAWING C101 TOPOGRAPHIC SURVEY SITE DEMOLITION PLAN SOIL EROSION AND SEDIMENT CONTROL PLAN SOIL EROSION AND SEDIMENT CONTROL DETAILS OVERALL SITE LAYOUT PLAN ENLARGED SITE LAYOUT PLAN ENLARGED SITE LAYOUT PLAN FIRE CIRCULATION PLAN ENLARGED SITE GRADING PLAN ENLARGED SITE GRADING PLAN OVERALL SITE UTILITY PLAN STORM SEWER PLAN AND PROFILE STORM SEWER PLAN AND PROFILE SITE DETAILS OVERALL LANDSCAPE PLAN L202 ENLARGED LANDSCAPE PLAN ENLARGED LANDSCAPE PLAN ENLARGED LANDSCAPE PLAN ENLARGED LANDSCAPE PLAN ARCHITECTURAL ARCHITECTURAL SITE PLAN ARCHITECTURAL SITE DETAILS AND MONUMENT SIGN GROUNDS BUILDING DIMENSION PLAN & REFLECTED CEILING PLAN GROUNDS BUILDING ROOF PLAN & EXTERIOR ELEVATIONS EAST WEST BUILDING SECTIONS NORTH SOUTH BUILDING SECTION E900 SITE LIGHTING PHOTOMETRIC PLAN (SHEETS NOT ISSUED FOR FINAL SITE PLAN APPROVAL) **VICINITY MAP** LOCATION MAP Forest Meadows Dr SE

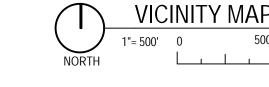
1/30/2024 9.29:20 AM Autodesk Docs://95590001 - CJCLDS - Grand Rapids Temple/95590001-Gi 1 TD001

TITLE DRAWING



CALL 811 NOTE: CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.





SURVEY LEGEND

©	MONUMENT
•	PROPERTY IRON SET
0	PROPERTY IRON FOUND
ф-	TRAFFIC SIGNAL POLE
*	BOLLARD LIGHT
\$	LIGHT POLE
Œ	FLOOD LIGHT
 -	SIGN
o FP	FLAG POLE
о со	CLEANOUT
-⊙- _{P.P.}	POWER POLE
-⊙- _{T.P.}	TELEPHONE POLE
□ нн	ELECTRICAL HAND HOLE
T E C G W	TEL., ELEC., CATV, GAS, WATER I
T E G W	TEL., ELEC., GAS, WATER MANHO
	TEL., ELEC., CATV, GAS MARKER
	CATCH BASIN
0	MANHOLE
⊗ SPR	SPRINKLER
⊗	VALVE & BOX
Q	HYDRANT
X 000.0	SPOT ELEVATION
000	MAJOR CONTOUR - 5 FT. INTERV
001	MINOR CONTOUR - 1 FT. INTERVA
	GUARD RAIL
X	FENCE LINE
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
G	GAS MAIN
т	UNDERGROUND TELEPHONE LIN
FO	UNDERGROUND FIBER OPTIC LIN
UGE	UNDERGROUND ELECTRIC LINE
· ·	DITCH CENTERLINE, TOE OF SLO
)	DECIDUOUS TREE
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	
	CONIFEROUS TREE
	TREE & BRUSH LINE

SURVEY NOTES

EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE.
THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.

BUILDING

SERVICE PROVIDED IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY. PROPERTY LINES ARE SHOWN IN APPROXIMATE LOCATION.

BENCHMARKS:

ELEVATION = 800.11 TOP OF SE FLANGE BOLT TO HYD UNDER "N" OF JORDAN 50'+/- ESE OF ENTRANCE TO CHURCH ELEVATION = 797.52 TOP OF NE FLANGE BOLT TO HYD UNDER "E" OF EAST 20'+/- S. OF ENTRANCE DRIVE

TO CLARK AT KELLER LAKE W. SIDE OF FOREST HILL AVE. SURVEY

E:		
(P) LOG BOOK NO.:		
ES:		
UM:		
OIVI.		

02/16/23 23-00 4-5 GPS GRID NORTH/MI STATE PLANE SOUTH NAD83/NAVD 88

95590001 PROJECT MANAGER

R. LAPLACA R. LAPLACA CHECKED BY S. TEITSMA

thenticity of any digital or electronic seal or

6/30/2023 SCHEMATIC DESIGN

04/01/2024 FINAL SITE PLAN

DEVELOPMENT 11/22/2023 DESIGN DEVELOPMENT

9/22/2023 50% DESIGN

ISSUANCE

TOPOGRAPHIC

CALL 811 NOTE:

Know what's below. Call before you dig.

UTILITIES PRIOR TO CONSTRUCTION.

2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.

3. REFER TO DRAWING C101 FOR BENCHMARK INFORMATION.

6. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR

7. EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIPLINE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIPLINE.

SITE CLEARING AND DEMOLITION NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING

NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SESC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND

THE OWNER OR REINSTALLED ON SITE AS NOTED.

SHALL BE ALLOWED ON SITE.

REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.

EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY

10. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN

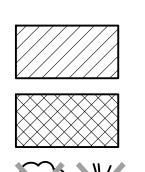
SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP TIE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.

DISTURBED BY CONSTRUCTION.

CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.

15. SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.

16. ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.



BITUMINOUS PAVEMENT

• | | • | | • | | •

 \cdot X \times X \cdot X \times X \cdot

TREE REMOVAL

ALL ITEMS IN BOLD TO BE REMOVED UNLESS OTHERWISE NOTED.

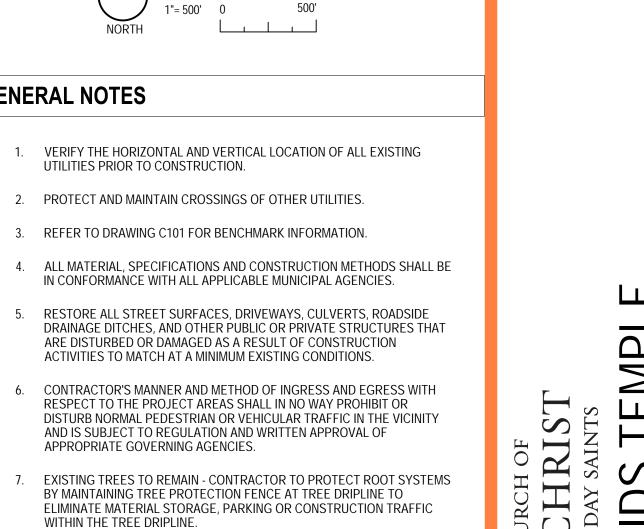
EAST 1/4 CORNER -

CITY OF KENTWOOD

KENT COUNTY, MI

LCRC# 14970

SECTION 12, T6N, R11W



COA ARCHIŢECT

COA ENGINEER

locument, you must contact the sealing

thenticity of any digital or electronic seal or

6/30/2023 SCHEMATIC DESIGN

DEVELOPMENT

11/22/2023 DESIGN DEVELOPMENT

04/01/2024 FINAL SITE PLAN APPROVAL

9/22/2023 50% DESIGN

ISSUANCE

PROJECT NUMBER

PROJECT MANAGER

R. LAPLACA

R. LAPLACA

ssional in writing to validate authenticity of

REQUIREMENTS.

APPROVAL.

3. ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO

NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL

THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.

THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.

SERVICES AT ALL TIMES.

9. ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.

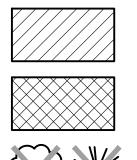
11. TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES

12. CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.

14. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO

13. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS

DEMOLITION LEGEND



CONCRETE REMOVAL

ABANDON UTILITY LINE REMOVE UTILITY LINE

NORTH 1/4 CORNER-SECTION 12, T6N, R11W CITY OF KENTWOOD
KENT COUNTY, MI

> STMH-03 RIM = 797.12

> > STMH-02 —

RIM = 795.84

CB-11 —

SAWCUT AND REMOVE

CURB AND SIDEWALK

SOUTH 1/4 CORNER —

SECTION 12, T6N, R11W

CITY OF KENTWOOD KENT COUNTY, MI LCRC# 7705

CENTER OF SECTION ——

SECTION 12, T6N, R11W

CITY OF KENTWOOD

KENT COUNTY, MI

LCRC# 8807

236.06' / /

7' SIDEWALK ESMT.

— 10' PVT ESMT. FOR

SAWCUT AND REMOVE CURB AND SIDEWALK \(\)

REMOVE BUILDINGS, FOUNDATIONS \dashv

TILITIES AND CONCRETE

REMOVE ALL EX. — LIGHTING UTILITIES NEAR EXT. BLDG

ou remove trees and roots ou

FFE=786.48'+/- BASEMENT

ou remove shrubs and $\,-$

∠ BRUSH ALONG BERM

- REMOVE LOW AREA

✓ REMOVE GARDEN AND

W/ CATTAILS

- 20' WIDE DRAINAGE

ESMT. L. 3380 P. 1291

LCRC# 7704

SITE DEMOLITION

WITH THE PLANS AND SPECIFICATIONS.

PER PLANS AND SPECIFICATIONS.

BE REMOVED IMMEDIATELY UPON ENTERING PUBLIC ROADWAYS AND SHALL BE RETURNED TO THE LIKELY POINT OF ORIGIN. SEDIMENTS SHALL NOT BE FLUSHED OR WASHED FROM THE AREA WITH WATER. SILTSACK MANUFACTURED BY CSI GEOTURF OR HANES GEO PRODUCTS OR

APPROVED EQUAL SHALL BE USED FOR STORM INLET PROTECTION ITEM S58 (SEE SESC KEYING SYSTEM LEGEND). CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE AROUND ALL SUBSOIL SPOIL AND TOPSOIL STOCKPILE AREAS. ALL SOIL PILES SHALL BE SEEDED WITH

APPROVED SEED MIXTURES AND BE LOCATED AWAY FROM ANY DOWNSLOPE

STREET, DRIVEWAY, DITCH OR DRAINAGE WAY. REMOVE TEMPORARY CONTROL MEASURES AS FOLLOWS: PAVEMENT AREAS - MAINTAIN IN SERVICE UNTIL PREPARATION FOR PLACEMENT OF BITUMINOUS LEVELING COURSES LAWN AREAS - REMOVE AFTER LAWN IS WELL

SILT FENCE SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND AFTER EVERY RAIN. SEDIMENT SHALL BE REMOVED IF DEPOSITS REACH HALF THE

ESTABLISHED AND ROOTED

CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY SOIL EROSION. OWNER WILL BE RESPONSIBLE FOR PERMANENT SOIL EROSION CONTROL.

DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST

EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FILTER DROP (SILT SACK).

EROSION CONTROL NOTES

ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC

> ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT

ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES..

EXCESS DIRT IS NOT BE TO PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.

SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TONED IN A MINIMUM OF 6 INCHES

ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1AND THE DETENTION BASIN BANKS AND BOTTOM MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACES PARALLEL TO THE DIRECTION OF SURFACE RUNOFF.

ALL SOIL EROSION CONTROL MEASURED SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.. NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT

DOES OCCUR,M IT SHALL BE CLEANED DAILY. THE STORM WATER DETENTION BASIN IS TO BE THE FIRST ITEM OF EARTH MOVING AND SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE INSTALLATION OF SOIL EROSION CONTROL MEASURES.

10.50 AC 457,484 FT

Use at stormwater inlets, especially at

construction sites.

SESC NOTES

1. TOTAL SITE AREA:

2. TOTAL DISTURBED AREA: XXX AC XXX FT S-E-S-C KEYING SYSTEM KEY BEST MANAGEMENT PRACTICES WHERE USED EROSION CONTROLS

Stabilization method utilized on sites where earth change has been completed (final grading attained). MULCH BLANKETS ditch bottoms, or areas subject to erosion. Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, RIPRAP Use adjacent to critical areas, to prevent SILT FENCE S53 | STABILIZED CONSTRUCTION Used at every point where construction traffic enters or leaves a construction site.

LIMITS OF DISTURBANCE

INLET PROTECTION

FABRIC DROP

SOIL EROSION AND SEDIMENT CONTROL PLAN

LOD = 8.03 ACRES

PROJECT NUMBER PROJECT MANAGER On exposed slopes, newly seeded areas, new reduces sediment load, and reduces erosion. sediment laden sheet flow from entering these CHECKED BY

COA ARCHITECT

COA ENGINEER

nticity of any digital or electronic seal or

6/30/2023 SCHEMATIC DESIGN

DEVELOPMENT

11/22/2023 DESIGN DEVELOPMENT

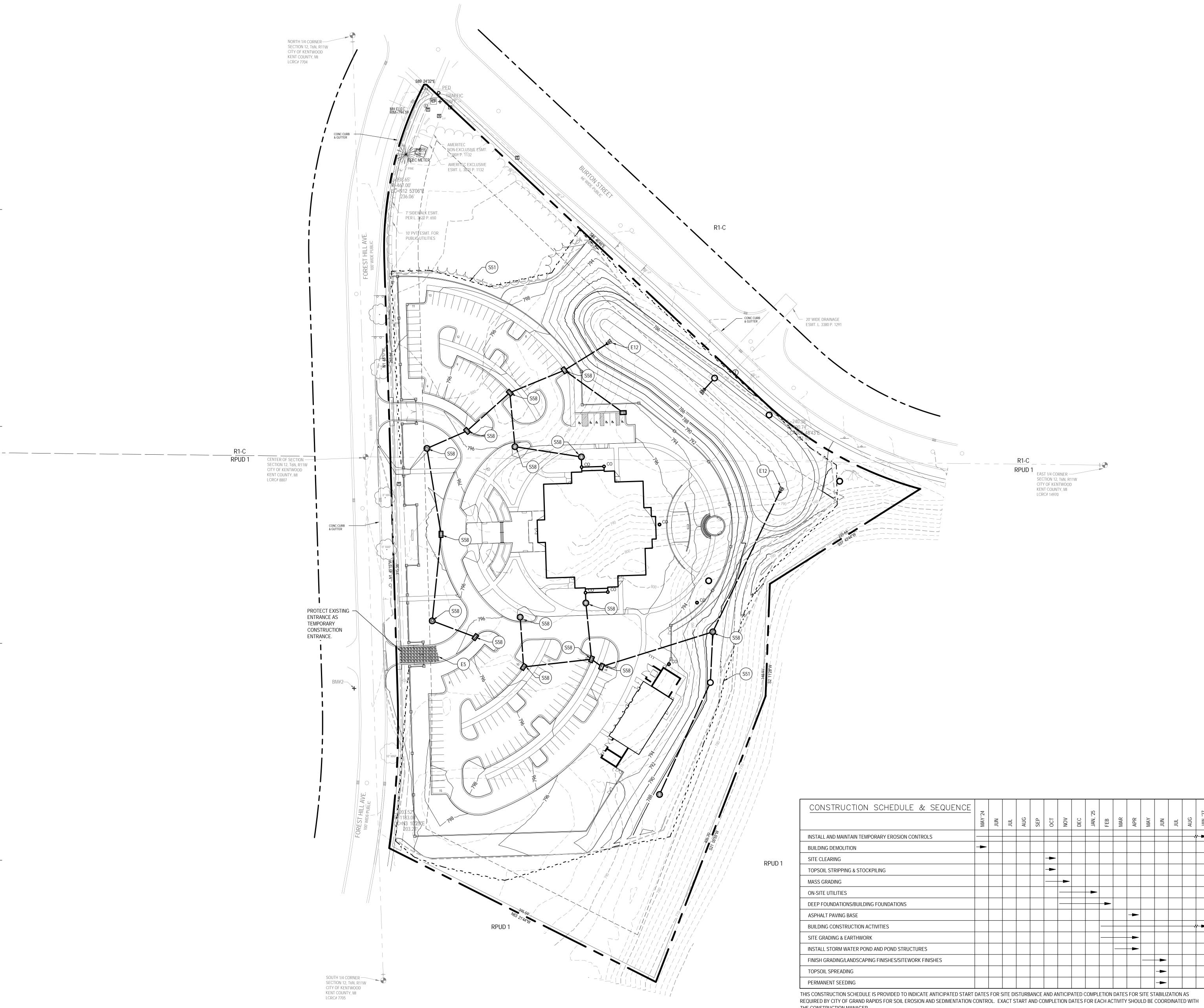
APPROVAL

04/01/2024 FINAL SITE PLAN

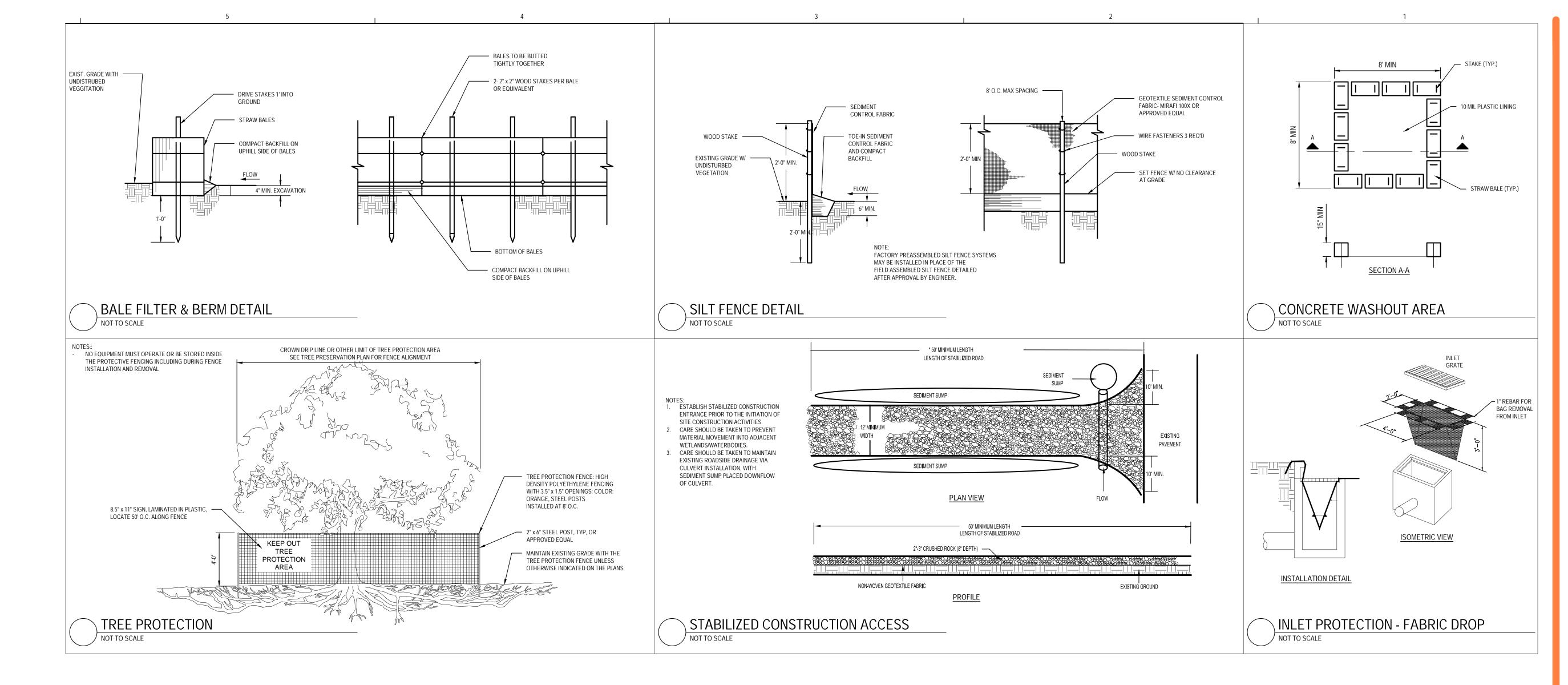
9/22/2023 50% DESIGN

ISSUANCE

SOIL EROSION AND SEDIMENT CONTROL PLAN



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SOUTH 1/4 CORNER SECTION 12, T6N, R11W CITY OF KENTWOOD

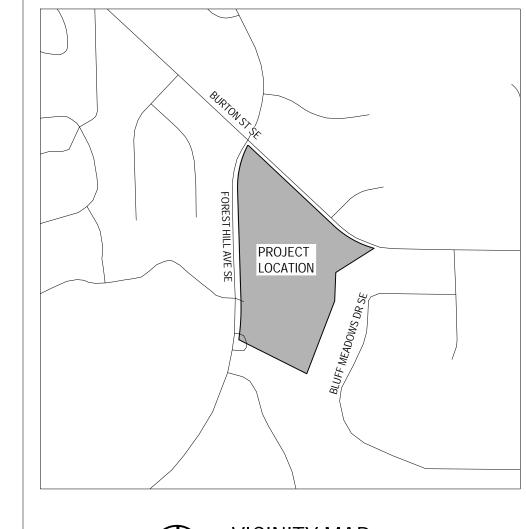
KENT COUNTY, MI LCRC# 7705





CALL 811 NOTE:

CONTRACTOR TO CONTACT 811
SERVICE AT LEAST 3 WORKING
DAYS PRIOR TO CONSTRUCTION,
TO CONFIRM LOCATION OF
EXISTING UTILITIES. DIAL 811.



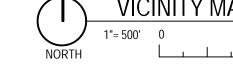


	Table 1:	Existing Surface / Subsurface Condit	ions - Soil Borings
Soil Borin	l Denth	Surficial Materials and Approximate Thickness	Major Native Soils
SB-0	1 30.5	6" Topsoil 3'6" Dark brown Sandy clay (fill) Total Thinckness: 4'	Brown SANDY CLAY Brown fine to medium SAND
SB-0	2 30.5	5" Topsoil	Brown fine to medium SAND Brown SANDY CLAY
SB-0	3 30.5	6" Topsoil	Brown fine to medium SAND Brown/Gray SANDY CLA
SB-0	4 30.5	7" Topsoil	Brown SANDY CLAY Brown fine to medium SAND
SB-0	5 30.5	7.5" Topsoil	Brown SANDY CLAY
SB-0	6 20.5	6.5" Topsoil	Brown/Gray SANDY CLA
SB-0	7 20.5	5" Topsoil	Brown/Gray SANDY CLA Brown fine to medium SAND
SB-0	8 20.5	6" Topsoil	Brown SANDY CLAY Brown fine to medium SAND
SB-0	9 20.5	5" Topsoil	Brown fine to medium SILTY SAND Brown SANDY CLAY
SB-1	0 20.5	6" Topsoil	Brown SANDY CLAY
	•		

Table 1 from: INTERTEK REPORT
Project Number: 0406883
Christ Community Church
Grand Rapids, Michigan
September 20, 2022

SOIL DESCRIPTION

Brown/Gray CLAY. A stratum of native clay was encountered below surficial layer at soil boring locations SB-01, SB-04 through SB-08, and SB-10, and below the sand strata at soil boring locations SB-02, SB-03, and SB-09. The clay strata extended to depths ranging between 11.5 and final depth of exploration of 30.5 feet below the existing ground surface. The native clay was predominantly sandy in composition with variable percentages of silt and gravel. The sandy clay layer at soil borings SB-03 contains variable amount of organic (moderate to high amount of organic). Moisture content of the tested clay samples ranged from 11 to 30 percent. Visually, the samples appeared moist to wet when examined in the laboratory. Standard Penetration Test (SPT) values (N values) from within the clay layers ranged from 3 to 21 blows per foot. Unconfined

r r 4 TSF d r r r rd .

Brown SAND. A stratum of brown and gray fine to medium sand with variable percentages of silt and gravel was encountered below surficial layer at soil boring locations SB-02, SB-03, and SB-09, and below the clay strata at soil boring locations SB-01, SB-04, SB-07, and SB-08. The brown fine to medium s and extended to depths ranging between 4 and final depth of exploration of 30.5 feet below the existing ground surface. The Standard Penetration Test values (N-values) of the sand layers ranged between 6 and 52 blows per foot, indicating a loose to very dense relative densities. The moisture content of the tested soil samples ranged from 2 to 26 percent. The samples visually appeared to be in a moist to wet conditions when examined in the laboratory.

In general, cobbles were not encountered during soil boring operations. The boring logs should be referenced with respect to this information. The presence of boulders and cobbles in the profile is a result of the geologic method of deposition of the soil materials at this site. Even where cobbles or boulders were not noted within the profile they could be encountered very nearby or between the boring positions. The contractor should be equipped for this condition.

Soil Descriptions from :
INTERTEK SOIL REPORT
Project Number: 0406883
Christ Community Church
Grand Rapids, Michigan
September 20, 2022

JESUS CHRIST
OF LATTER-DAY SAINTS
AND RAPIDS TEMPLE

COA ARCHITECT COA ENGINEER OF SOLUTION COA ENGINEER OR ENGINEER OF SOLUTION COA ENGINEER OF SOLU

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ISSUANCE

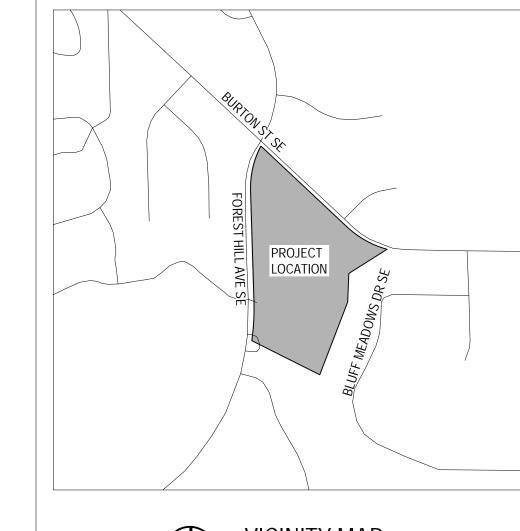
6/30/2023 SCHEMATIC DESIGN
9/22/2023 50% DESIGN
DEVELOPMENT
11/22/2023 DESIGN DEVELOPMENT
04/01/2024 FINAL SITE PLAN
APPROVAL

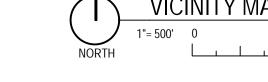
PROJECT NUMBER
95590001
PROJECT MANAGER
T FREY
PROFESSIONAL
R. LAPLACA
DRAWN BY
R. LAPLACA

SITE SOIL MAP



CALL 811 NOTE: CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.



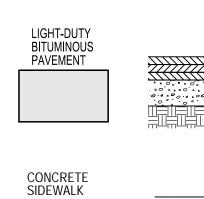


ZONE DISTRICT: RPUD-1
ADJACENT ZONING: N: R1-C, E: RPUD-1, S: RPUD-1, W: R1-C
PARCEL SIZE: 10.5 ACRES REQUIRED SETBACKS: PARKING SETBACK 45 FEET FROM REAR OR SIDE REQUIRED PARKING: 2 SPACES PER 5 SEATS OF ASSEMBLY = (40 / 5) X 2 = 16 PARKING PROVIDED: STANDARD (9'X18'): 142 BARRIER FREE: 6 ADDITIONAL PARKING FOR MOTORCYCLES: STANDARD (9'X18'): 5 TOTAL SPACES: 153 BIKE PARKING PROVIDED: 6



ZONING NOTES

____ LIMITS OF DISTURBANCE _ 1 1/2" (165 LB/SYD) 5EL WEARING BITUMINOUS PAVEMENT COURSE ✓ MDOT TACK COAT @ 0.15 GAL/SY — 2" (220 LB/SYD) MDOT 4EL LEVELING COURSE ── 2 1/2" (275 LB/SYD) MDOT 4EL LEVELING COURSE 10" AGGREGATE BASE, MDOT 21AA CRUSHED NATURAL AGGREGATE



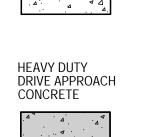
-----1 1/2" (220 LB/SYD) MDOT 4EL LEVELING COURSE ~ 2" (275 LB/SYD) MDOT 4EL LEVELING 10" AGGREGATE BASE, MDOT 21AA CRUSHED NATURAL AGGREGATE 4" CONCRETE

COURSE

_ 1 1/2" (165 LB/SYD) 5EL WEARING

── MDOT TACK COAT @ 0.15 GAL/SY

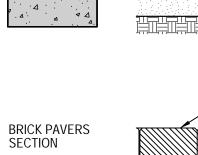
STANDARD CURB AND GUTTER

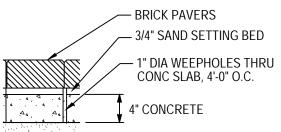


8" CONCRETE, MDOT GRADE 3500 8" MDOT 21AA CRUSHED NATURAL AGGREGATE

12" MDOT CLASS II SAND

GRANULAR BASE

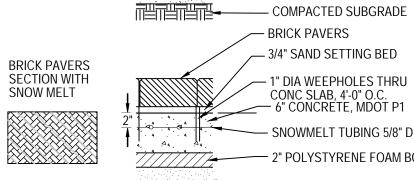




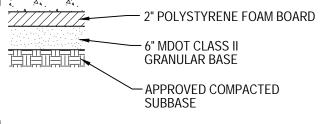
4" MDOT CLASS II

APPROVED COMPACTED

SUBBASE



BRICK PAVERS ___ 3/4" SAND SETTING BED ── 1" DIA WEEPHOLES THRU CONC SLAB, 4'-0" O.C.
6" CONCRETE, MDOT P1



SNOWMELT TUBING 5/8" DIA. 9" O.C. 2" POLYSTYRENE FOAM BOARD 6" MDOT CLASS II GRANULAR BASE

— APPROVED COMPACTED

PROJECT MANAGER T FREY PROFESSIONAL R. LAPLACA DRAWN BY R. LAPLACA CHECKED BY S. TEITSMA

PROJECT NUMBER 95590001

OVERALL SITE LAYOUT PLAN C201

SUS CHRR
SUS CHRR
LATTER-DAY SAII
RAPIDS
ORESTHIL AVE SE, GRAND RAPIDS,

COA ENGINEER

ssional in writing to validate authenticity of

seal and signature and shall not be liable for uthenticity of any digital or electronic seal or

6/30/2023 SCHEMATIC DESIGN

DEVELOPMENT

11/22/2023 DESIGN DEVELOPMENT

APPROVAL

04/01/2024 FINAL SITE PLAN

9/22/2023 50% DESIGN

ISSUANCE

COA ARCHIŢECT

OVERALL SITE LAYOUT PLAN

1"= 50' 0 50'

NORTH 1/4 CORNER— SECTION 12, T6N, R11W CITY OF KENTWOOD KENT COUNTY, MI LCRC# 7704

CENTER OF SECTION —

MONUMENT -

SOUTH 1/4 CORNER SECTION 12, T6N, R11W

CITY OF KENTWOOD KENT COUNTY, MI LCRC# 7705

SIGN

SECTION 12, T6N, R11W CITY OF KENTWOOD

KENT COUNTY, MI

LCRC# 8807

7' SIDEWALK ESMT. PER L. 3622 P. 650

> 10' PVT, ESMT. FOR PUBLIC UTILITIES

— ELECTRICAL EASEMENT

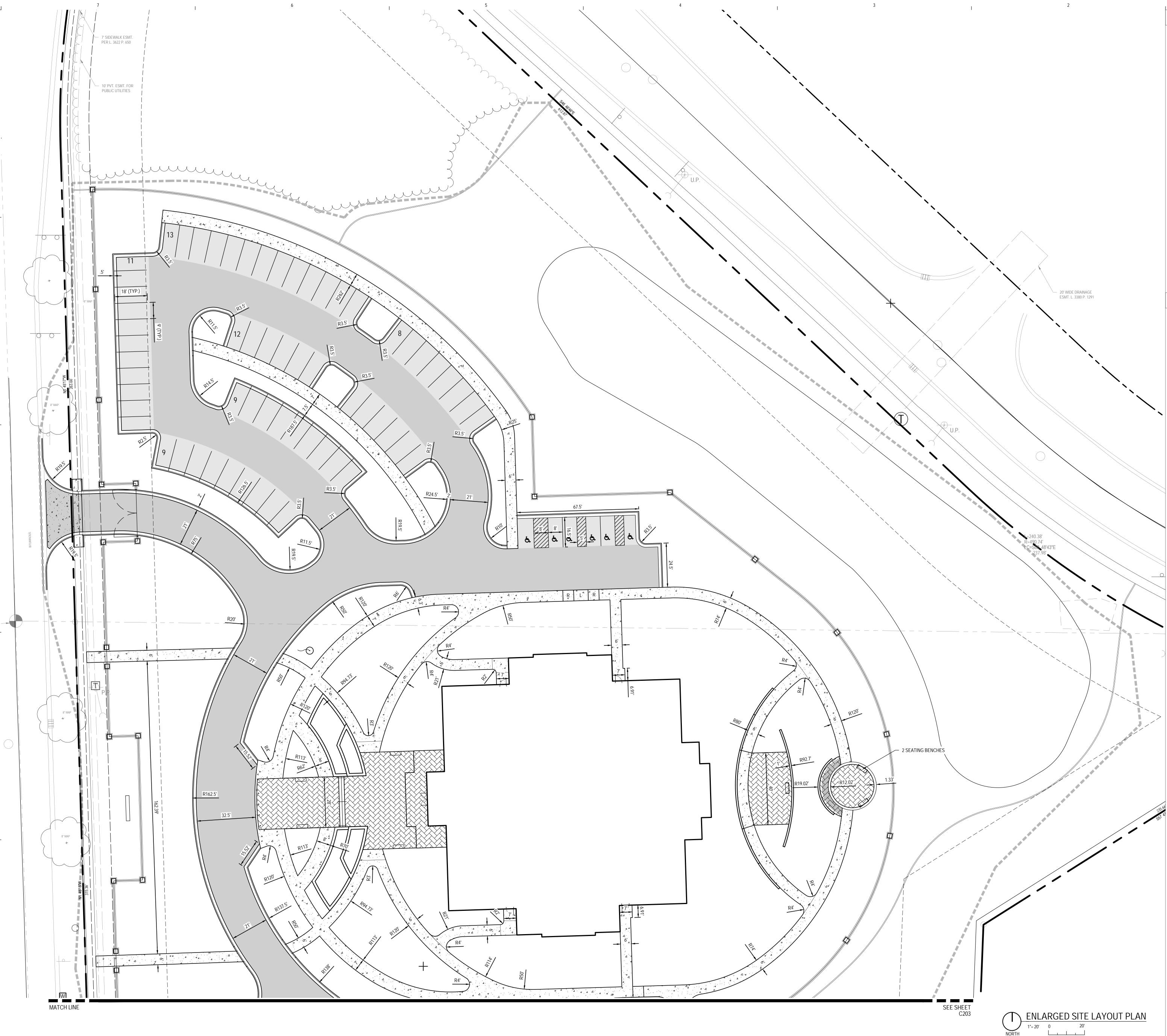
CONC.

SIDEWALK

85 STANDARD

6" THICK CONCRETE WITH

SNOW MELT



GENERAL SITE LAYOUT NOTES

- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- 2. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
- 3. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
- 4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
- 5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
- COLOR TO BE YELLOW.
- 6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
- 7. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
- 8. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
- 9. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
- 10. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF KENTWOOD STANDARDS.
- 11. CONTRACTOR TO PROTECT EXISTING IRRIGATION SYSTEM AS MUCH AS POSSIBLE. REPAIR DAMAGE TO EXISTING IRRIGATION SYSTEM AND RECONFIGURE SPRINKLER LAYOUT TO ACCOMMODATE THE NEW IMPROVEMENTS.
- 12. FOR ANY CURB CUT WHICH TERMINATES LESS THAN FIVE (5) FEET FROM A CONSTRUCTION JOINT, THE CONTRACTOR SHALL REMOVE AND REPLACE THE EXISTING CURB TO THE NEXT JOINT.

KENTWOOD GENERAL NOTES

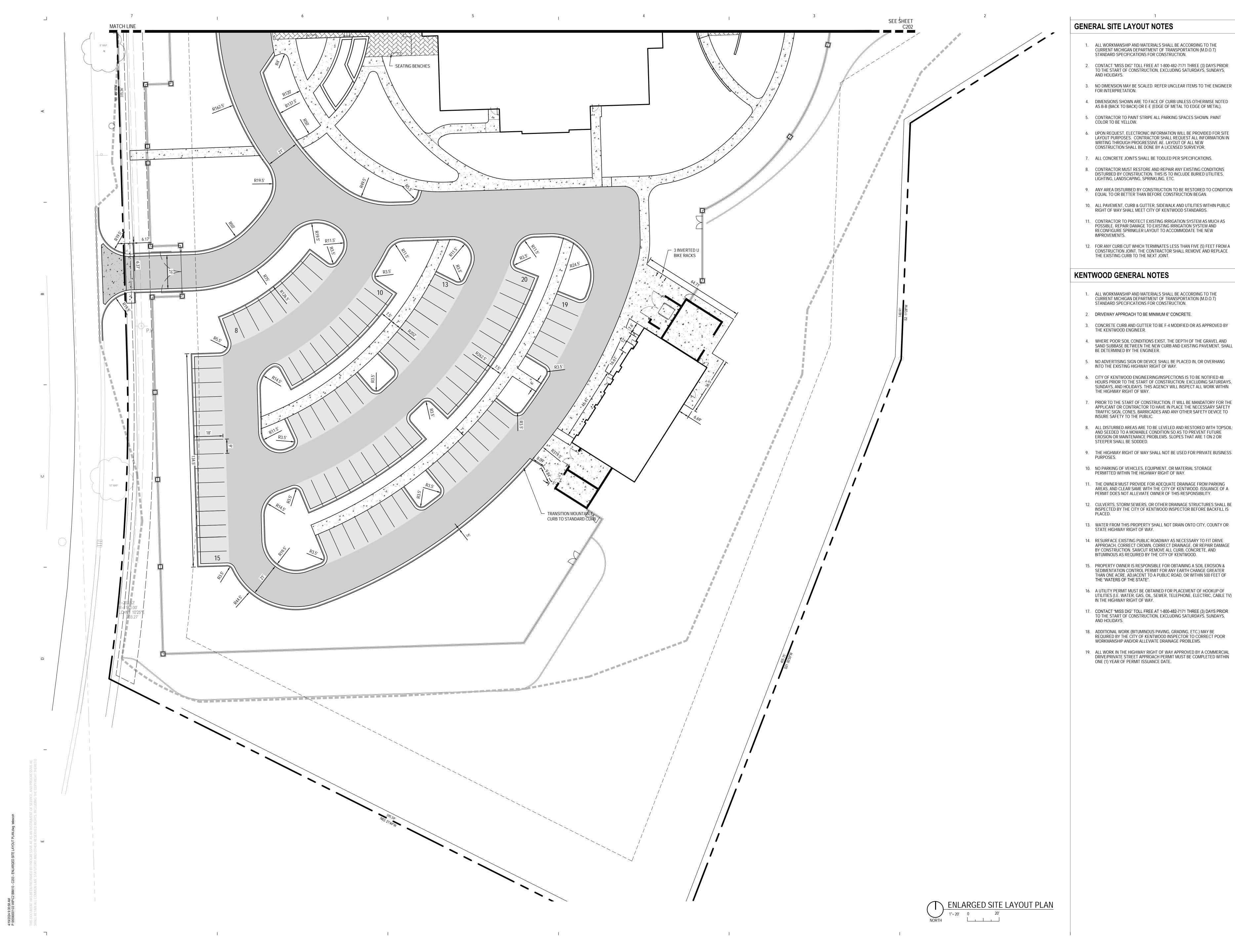
- ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- 2. DRIVEWAY APPROACH TO BE MINIMUM 6" CONCRETE.
- 3. CONCRETE CURB AND GUTTER TO BE F-4 MODIFIED OR AS APPROVED BY THE KENTWOOD ENGINEER.
- 4. WHERE POOR SOIL CONDITIONS EXIST, THE DEPTH OF THE GRAVEL AND SAND SUBBASE BETWEEN THE NEW CURB AND EXISTING PAVEMENT, SHALL BE DETERMINED BY THE ENGINEER.
- NO ADVERTISING SIGN OR DEVICE SHALL BE PLACED IN, OR OVERHANG INTO THE EXISTING HIGHWAY RIGHT OF WAY.
- 6. CITY OF KENTWOOD ENGINEERING/INSPECTIONS IS TO BE NOTIFIED 48 HOURS PRIOR TO THE START OF CONSTRUCTION; EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS. THIS AGENCY WILL INSPECT ALL WORK WITHIN THE HIGHWAY RIGHT OF WAY.
- 7. PRIOR TO THE START OF CONSTRUCTION, IT WILL BE MANDATORY FOR THE APPLICANT OR CONTRACTOR TO HAVE IN PLACE THE NECESSARY SAFETY TRAFFIC SIGN, CONES, BARRICADES AND ANY OTHER SAFETY DEVICE TO INSURE SAFETY TO THE PUBLIC.
- 8. ALL DISTURBED AREAS ARE TO BE LEVELED AND RESTORED WITH TOPSOIL; AND SEEDED TO A MOWABLE CONDITION SO AS TO PREVENT FUTURE EROSION OR MAINTENANCE PROBLEMS. SLOPES THAT ARE 1 ON 2 OR STEEPER SHALL BE SODDED.
- 9. THE HIGHWAY RIGHT OF WAY SHALL NOT BE USED FOR PRIVATE BUSINESS PURPOSES.
- 10. NO PARKING OF VEHICLES, EQUIPMENT, OR MATERIAL STORAGE PERMITTED WITHIN THE HIGHWAY RIGHT OF WAY.
- AREAS, AND CLEAR SAME WITH THE CITY OF KENTWOOD. ISSUANCE OF A PERMIT DOES NOT ALLEVIATE OWNER OF THIS RESPONSIBILITY.

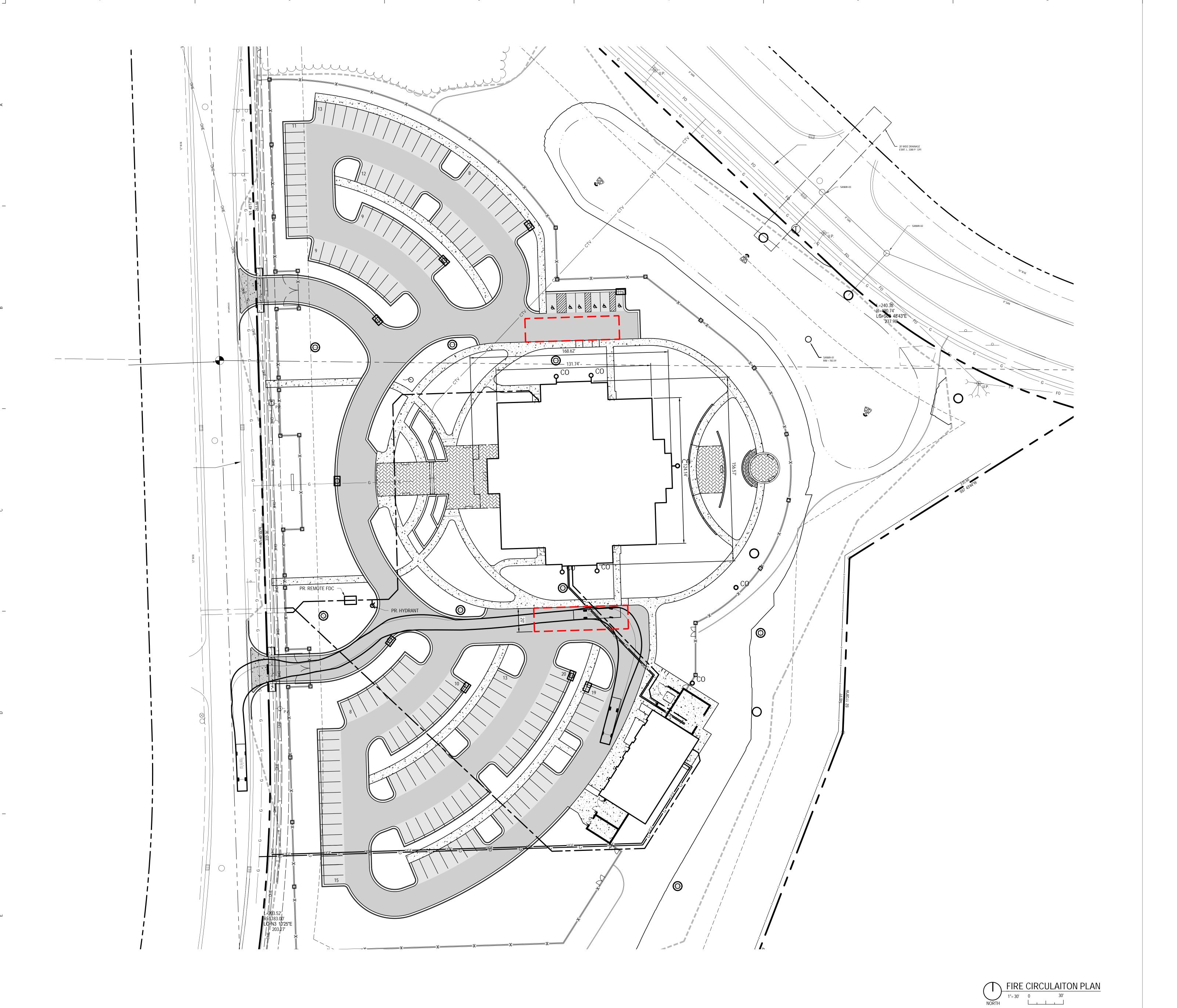
 12. CULVERTS, STORM SEWERS, OR OTHER DRAINAGE STRUCTURES SHALL BE

11. THE OWNER MUST PROVIDE FOR ADEQUATE DRAINAGE FROM PARKING

- INSPECTED BY THE CITY OF KENTWOOD INSPECTOR BEFORE BACKFILL IS PLACED.
- 13. WATER FROM THIS PROPERTY SHALL NOT DRAIN ONTO CITY, COUNTY OR STATE HIGHWAY RIGHT OF WAY.
- 14. RESURFACE EXISTING PUBLIC ROADWAY AS NECESSARY TO FIT DRIVE APPROACH, CORRECT CROWN, CORRECT DRAINAGE, OR REPAIR DAMAGE BY CONSTRUCTION. SAWCUT REMOVE ALL CURB, CONCRETE, AND BITUMINOUS AS REQUIRED BY THE CITY OF KENTWOOD.
- 15. PROPERTY OWNER IS RESPONSIBLE FOR OBTAINING A SOIL EROSION & SEDIMENTATION CONTROL PERMIT FOR ANY EARTH CHANGE GREATER THAN ONE ACRE, ADJACENT TO A PUBLIC ROAD, OR WITHIN 500 FEET OF THE "WATERS OF THE STATE".
- 16. A UTILITY PERMIT MUST BE OBTAINED FOR PLACEMENT OF HOOKUP OF UTILITIES (I.E. WATER, GAS, OIL, SEWER, TELEPHONE, ELECTRIC, CABLE TV) IN THE HIGHWAY RIGHT OF WAY.
- 17. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
- 18. ADDITIONAL WORK (BITUMINOUS PAVING, GRADING, ETC.) MAY BE REQUIRED BY THE CITY OF KENTWOOD INSPECTOR TO CORRECT POOR WORKMANSHIP AND/OR ALLEVIATE DRAINAGE PROBLEMS.
- 19. ALL WORK IN THE HIGHWAY RIGHT OF WAY APPROVED BY A COMMERCIAL DRIVE/PRIVATE STREET APPROACH PERMIT MUST BE COMPLETED WITHIN ONE (1) YEAR OF PERMIT ISSUANCE DATE.

ENLARGED SITE LAYOUT PLAN C203





T FREY PROFESSIONAL R. LAPLACA DRAWN BY R. LAPLACA

CHECKED BY

Retaining walls required if slope is greater than

2H:1V

OVERALL SITE GRADING PLAN
C301

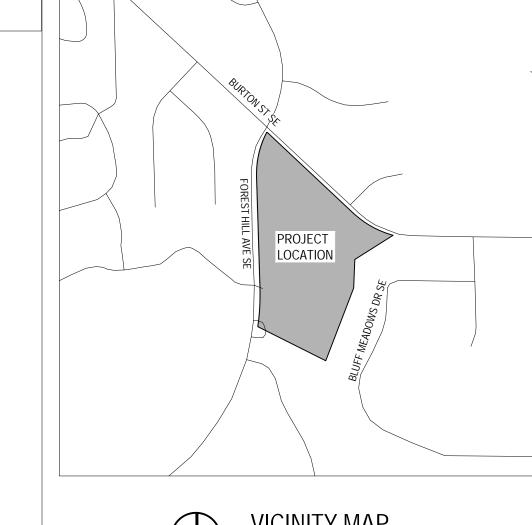
BENCHMARKS:

TOP OF NE FLANGE BOLT TO HYD UNDER "E" OF EAST 20'+/- S. OF ENTRANCE DRIVE TO CLARK AT KELLER LAKE W. SIDE OF FOREST HILL AVE. ELEVATION = 797.52

LEGEND

RPUD 1

LIMITS OF DISTURBANCE



CALL 811 NOTE:

TO CONFIRM LOCATION OF

EXISTING UTILITIES. DIAL 811.

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION,

EARTHWORK & GRADING NOTES

Know what's below. Call before you dig.

- 1. EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE 2012 EDITION OF THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.

2. THE SUBGRADE SHALL BE THOROUGHLY PROOFROLLED USING THE

- 3. PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
- 4. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
- 5. GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE AT A MINIMUM OF 1.5 PERCENT.

6. THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND

FROM THE SOILS. ANY ON-SITE SOILS USED FOR ENGINEERED FILL SHALL

COMPACT TO MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY

- THE PAVED EDGE. 7. THE EXISTING (SOIL TYPE) MAY BE UTILIZED AS ENGINEERED FILL PROVIDED ALL DELETERIOUS OR ORGANIC MATERIALS ARE REMOVED
- BE EVALUATED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. 8. ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT.
- PER ASTM D-1557, MODIFIED PROCTOR METHOD 9. ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SFT AREA AT EACH LIFT. WITHIN TRENCH
- EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT. 10. SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE
- UNLESS SHOWN OTHERWISE. 11. EXCESS TOPSOIL SHALL BE SPOILED ON SITE IN LOCATION DETERMINED
- WITH OWNER AND ENGINEER AND SEEDED. ANY REMAINING SOIL SHALL BE REMOVED BY CONTRACTOR.
- 12. PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE POSITIVE STORM WATER RUNOFF TO CATCH BASINS.
- 13. UNLESS SHOWN OTHERWISE, FINISH GRADES OF LAWN/LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 6" BELOW FINISH FLOOR
- 14. PLACE _" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEEDED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
- 15. FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
- 16. THERE IS NO 1% CHANCE (100-YEAR) FLOOD ELEVATION ON THIS SITE.
- 17. THERE ARE NO WETLANDS ON THIS SITE.

BARRIER FREE NOTES

- 1. BARRIER FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT
- 2. 2% MAXIMUM CROSS SLOPE ON ACCESSIBLE ROUTE(S)
- 3. 5% MAXIMUM LONGITUDINAL SLOPE (DIRECTION OF TRAVEL) UNLESS
- 4. 2% MAXIMUM SLOPE LONGITUDINAL AND TRANSVERSE SLOPES AT
- 5. ACCESSIBLE ENTRIES 2% MAXIMUM SLOPE IN ANY DIRECTION FOR
- 6. CONTRACTOR TO CONTACT ENGINEER PRIOR TO PAVING IF BARRIER FREE SLOPES DO NOT COMPLY OR FOR CLARIFICATION OF ANY DISCREPANCIES.

ALLOWABLE SITE GRADES			
AREA	MINIMUM SLOPE	MAXIMUM SLOPE	
Asphalt Parking	2 % (50H:1V)	5 % (20H:1V)	
Concrete Parking	1 % (100H:1V)	5 % (20H:1V)	
Driveways	Asphalt 2 % (50H:1V) Concrete 1 % (100H:1V)	8 % (12.5H:1V) (UP TO 12 % (8.3H:1V) Is allowed if approv by SPD Project Manager	
Gutters	0.5 % (100H:1V)	Match driveways	
Sidewalks	No minimum	8 % (12.5H:1V)	
Sidewalk Cross Slope	1 % (100H:1V) (Exception: If longitudinal slope exceeds 5%,	2 % (50H:1V)	

LIMITED TO THE FOLLOWING:

Accessible Means of Egress

AT BARRIER FREE RAMP

BARRIER FREE PARKING SPACES AND ASSOCIATED ACCESS AISLES

THE FIRST 5' FROM ENTRY DOOR

then cross slope may be eliminated | Means of Egress and | 1 % (100H:1V) Or as required by local codes | 5 % (20H:1V) Or as required by local codes

Areas intended to drain 2 % (50H:1V)

Elsewhere 1 % (100H:1V)

OVERALL SITE GRADING PLAN

1"= 50' 0 50'

- --- --- --- --- --- --- --- --- ---

7' SIDEWALK ESMT. PER L. 3/62/2 P. 650

R1-C

BUILDING FINISH FLOOR

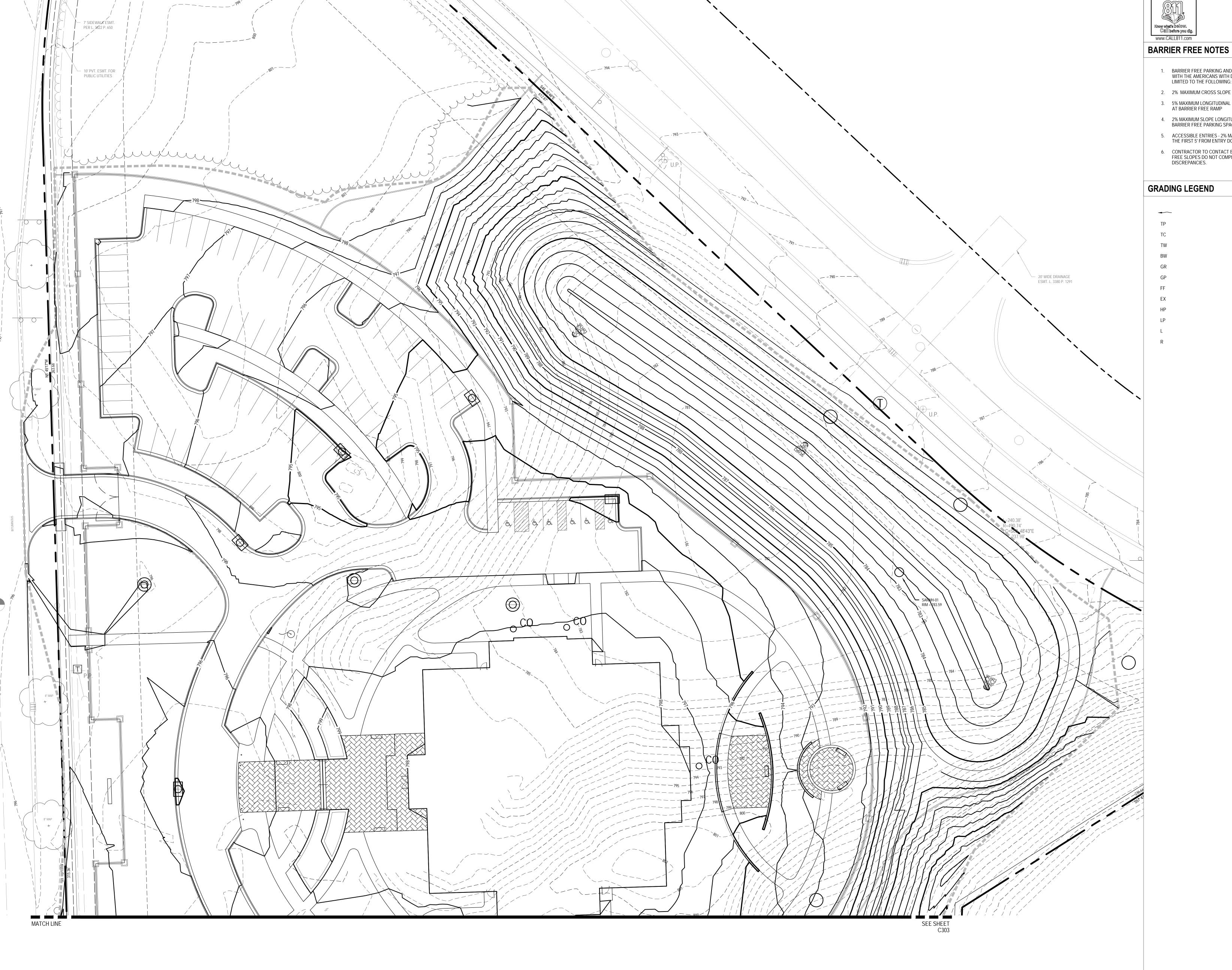
_AT 798.00′, /

20' WIDE DRAINAGE

ESMT. L. 3380 P. 1291

PROJECT NUMBER

ENLARGED SITE GRADING PLAN C302



- BARRIER FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 2. 2% MAXIMUM CROSS SLOPE ON ACCESSIBLE ROUTE(S)
- 3. 5% MAXIMUM LONGITUDINAL SLOPE (DIRECTION OF TRAVEL) UNLESS AT BARRIER FREE RAMP
- 4. 2% MAXIMUM SLOPE LONGITUDINAL AND TRANSVERSE SLOPES AT BARRIER FREE PARKING SPACES AND ASSOCIATED ACCESS AISLES

CALL 811 NOTE:

- 5. ACCESSIBLE ENTRIES 2% MAXIMUM SLOPE IN ANY DIRECTION FOR THE FIRST 5' FROM ENTRY DOOR
- 6. CONTRACTOR TO CONTACT ENGINEER PRIOR TO PAVING IF BARRIER FREE SLOPES DO NOT COMPLY OR FOR CLARIFICATION OF ANY DISCREPANCIES.

GRADING LEGEND

-	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
_	

CALL 811 NOTE: CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

BARRIER FREE NOTES

- BARRIER FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 2. 2% MAXIMUM CROSS SLOPE ON ACCESSIBLE ROUTE(S)
- 3. 5% MAXIMUM LONGITUDINAL SLOPE (DIRECTION OF TRAVEL) UNLESS AT BARRIER FREE RAMP 4. 2% MAXIMUM SLOPE LONGITUDINAL AND TRANSVERSE SLOPES AT
- BARRIER FREE PARKING SPACES AND ASSOCIATED ACCESS AISLES
- 5. ACCESSIBLE ENTRIES 2% MAXIMUM SLOPE IN ANY DIRECTION FOR THE FIRST 5' FROM ENTRY DOOR
- 6. CONTRACTOR TO CONTACT ENGINEER PRIOR TO PAVING IF BARRIER FREE SLOPES DO NOT COMPLY OR FOR CLARIFICATION OF ANY DISCREPANCIES.

GRADING LEGEND

-	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING

ISSUANCE 6/30/2023 SCHEMATIC DESIGN 9/22/2023 50% DESIGN DEVELOPMENT
11/22/2023 DESIGN DEVELOPMENT
04/01/2024 FINAL SITE PLAN

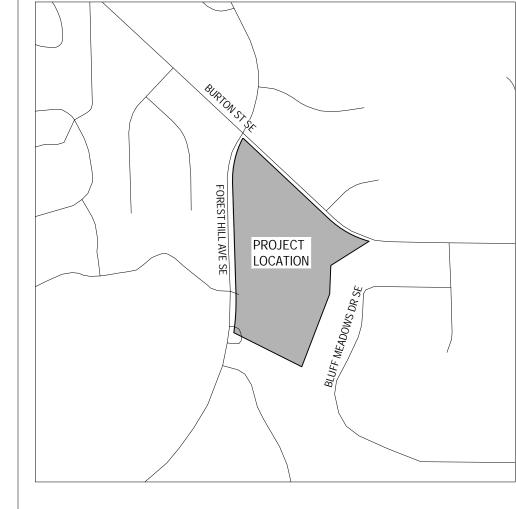
ENLARGED SITE GRADING PLAN
C303



 $\frac{7}{}$

Know what's below. Call before you dig.

CALL 811 NOTE: CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.





- 1. INSTALL WATERMAIN WITH MINIMUM 5.0' OF COVER TO TOP OF PIPE.
- 2. PROVIDE A MINIMUM 18" OF VERTICAL SEPARATION AND 10' OF HORIZONTAL SEPARATION BETWEEN WATERMAIN AND ALL SANITARY AND STORM
- 3. PROVIDE APPROVED MECHANICAL RESTRAINED JOINTS AT ALL WATERMAIN BENDS FOR A MINIMUM DISTANCE FROM THE FITTING AS SHOWN IN THE PIPE RESTRAINT TABLE.
- 4. WATERMAIN MATERIAL AND INSTALLATION SHALL BE PERFORMED TO THE CITY OF GRAND RAPIDS SPECIFICATIONS.
- 5. 4" AND LARGER WATERMAIN PIPE SHALL BE DUCTILE IRON PIPE.
- 6. 2" AND SMALLER DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER
- 7. COORDINATE WATER TAPS WITH CITY OF KENTWOOD

SANITARY SEWER NOTES

- 1. CONTRACTOR SHALL OBTAIN PERMIT TO CONNECT TO SANITARY SYSTEM FROM CITY OF KENTWOOD.
- 2. SANITARY SEWER WITHIN RIGHT OF WAY TO COMPLY WITH CITY OF KENTWOOD SANITARY SEWER SPECIFICATIONS.
- 3. CLEANOUTS TO BE PROVIDED WITHIN 5 FEET OF THE BUILDING EXTERIOR WALL ON ALL LATERALS EXITING THE BUILDING.
- 4. SANITARY SEWER LATERALS WITHIN SITE SHALL BE (ASTM D-3034) SDR <u>35</u>.
- 5. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- 6. REFER TO PLUMBING PLANS FOR SCHEDULE OF GREASE TRAPS, SAND TRAPS, AND TRENCH DRAIN.

STORM SEWER NOTES

- 1. STORM SEWER PIPE 10" DIA. OR LARGER SHALL BE ASTM C-76 CL IV REINFORCED CONCRETE PIPE OR ASTM F2306, HIGH DENSITY POLYETHYLENE PIPE. STORM SEWER PIPE SMALLER THAN 12" SHALL BE
- 2. YARD DRAINS (YD) TO BE 12" SQUARE DRAINTECH CATCH BASIN BY NDS WITH SQUARE POLYPROPYLENE GRATE OR APPROVED EQUAL.
- 3. CATCH BASINS (CB) TO BE 4' DIA. UNLESS NOTED OTHERWISE.
- 4. CONNECT ALL ROOF DRAINS TO PROVIDED STORM SEWER UNLESS OTHERWISE NOTED.
- 5. UNDERDRAIN TO BE INSTALLED AT ALL CATCH BASINS PER DETAIL ON
- SHEET C501.

6. ALL FLARED END SECTIONS TO BE CONCRETE UNLESS NOTED OTHERWISE.

STORMWATER JURISDICTION REQUIREMENTS

- 1. CITY OF KENTWOOD REQUIRES A VOLUME OF 0.1 ACRE FT./ACRE OF PARCEL SIZE
- 2. RELEASE RATE SHALL BE .33 CFS/ACRE OF PARCEL SIZE
- CITY OF KENTWOOD: STORMWATER DETENTION PONDS (SHORT FORM FROM ADOPTED STANDARD SPECIFICATIONS)

STORMWATER JURISDICTION REQUIREMENTS

PDS-based precipitation frequency estimates with 90% confidence intervals (in inches/hour) ¹			
Duration	Average recurrence interval (years)		
Duration	1	50	100
5-min	3.58 (3.10-4.16)	8.78(6.95-11.0)	9.98 (7.51-12.8)
15-min	2.13 (1.84-2.48)	5.23 (4.14-6.53)	5.94 (4.48-7.63)
2-hr	0.654 (0.569-0.756)	1.60(1.27-1.98)	1.82 (1.38-2.33)
12-hr	0.161(0.142-0.183)	0.401(0.326-0.492)	0.463 (0.360-0.584
24-hr	0.092(0.082-0.104)	0.227(0.186-0.277)	0.263(0.206-0.329

WITH 90% CONFIDENCE INTERVALS AND SUPPLEMENTARY INFORMATION (2023 06 08)
NOAA Atlas 14. Volume 8, Version 2 (SITE ACCESSED 2023 06 08)

OVERALL SITE UTILITY PLAN

1"= 50' 0 50'

CHECKED BY

UTILITY PLAN
C401

CHURCH OF CHR ER-DAY SALL PIDS

COA ARCHIŢECT

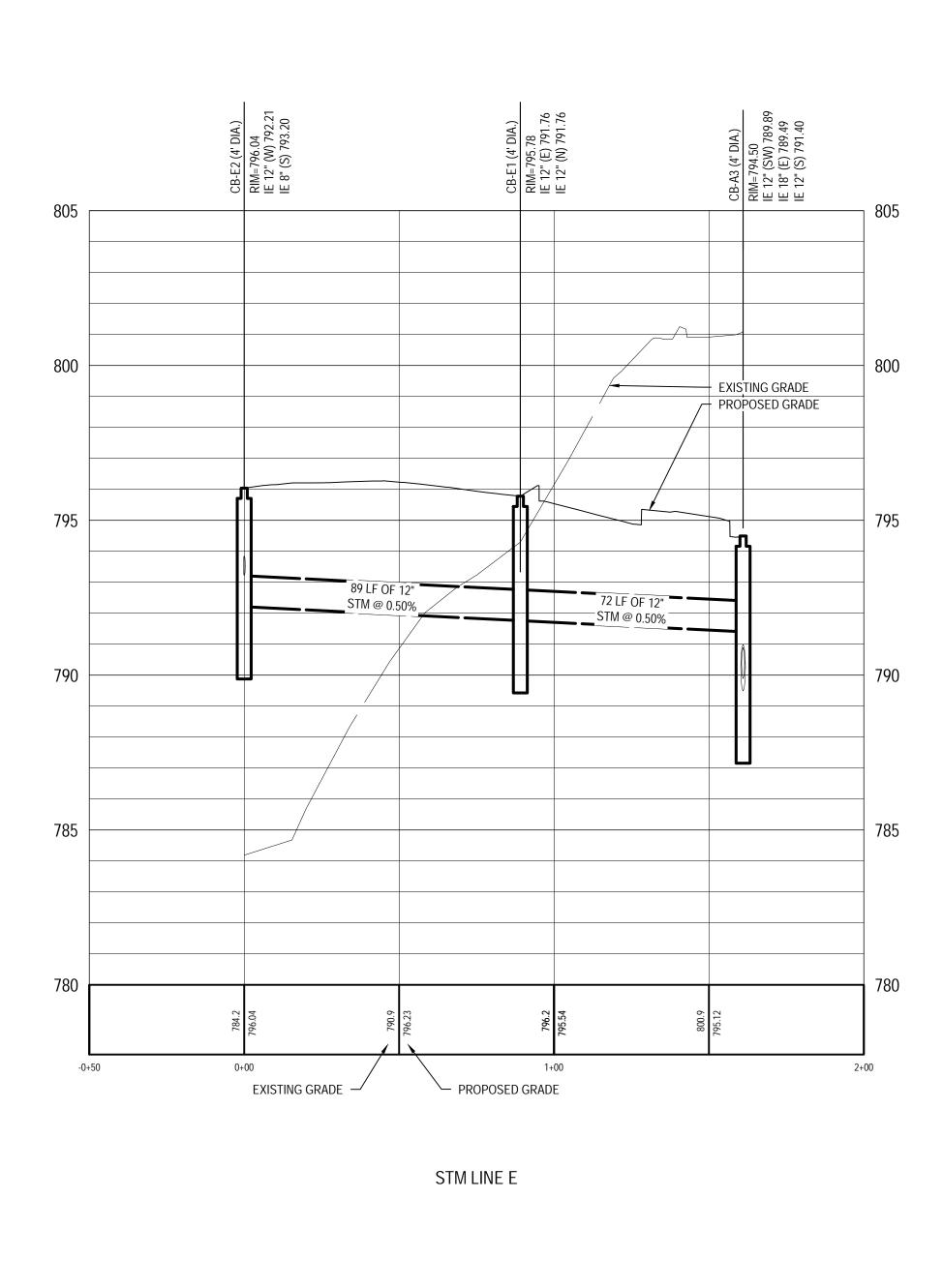
COA ENGINEER

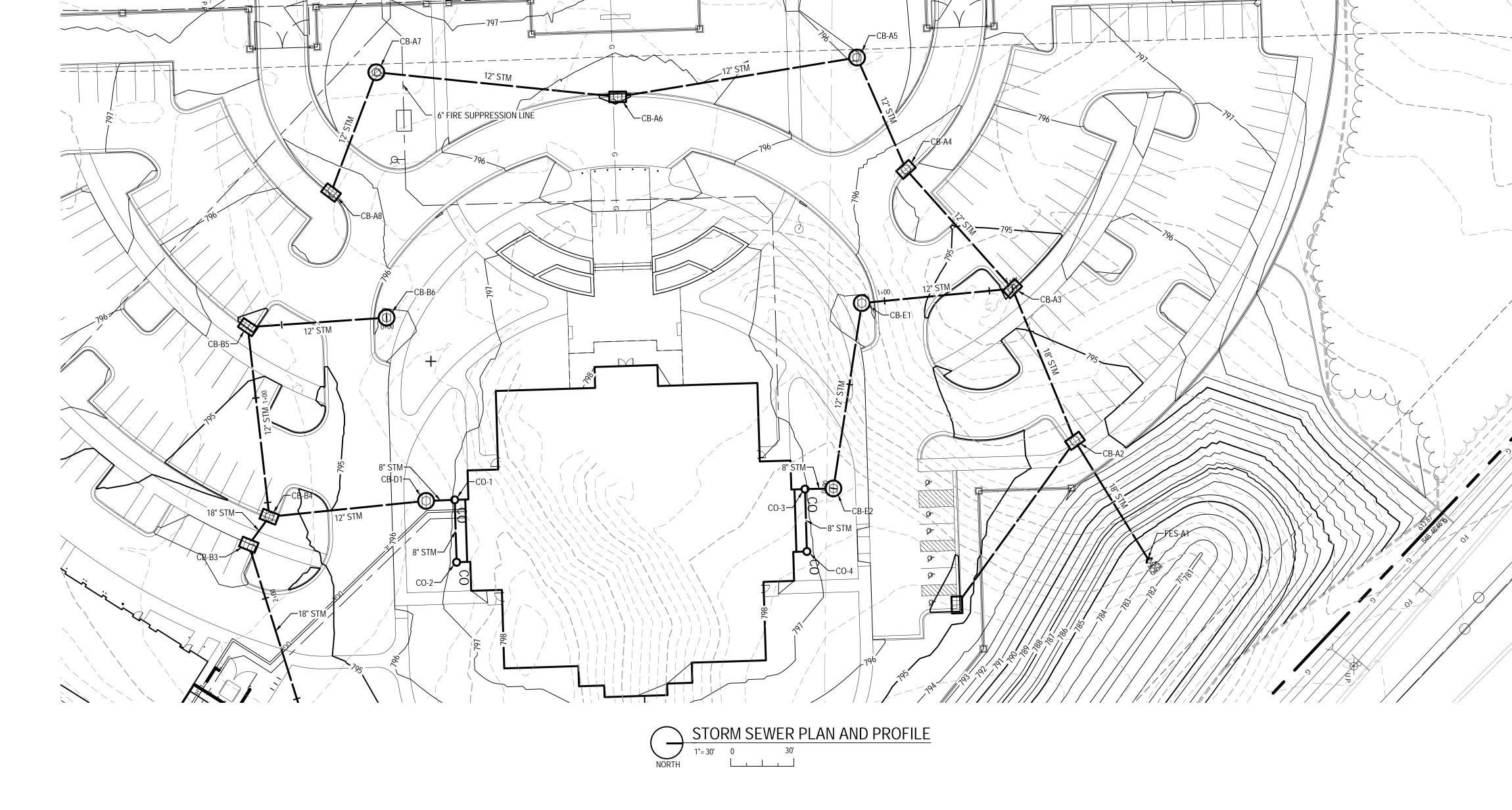
OVERALL SITE

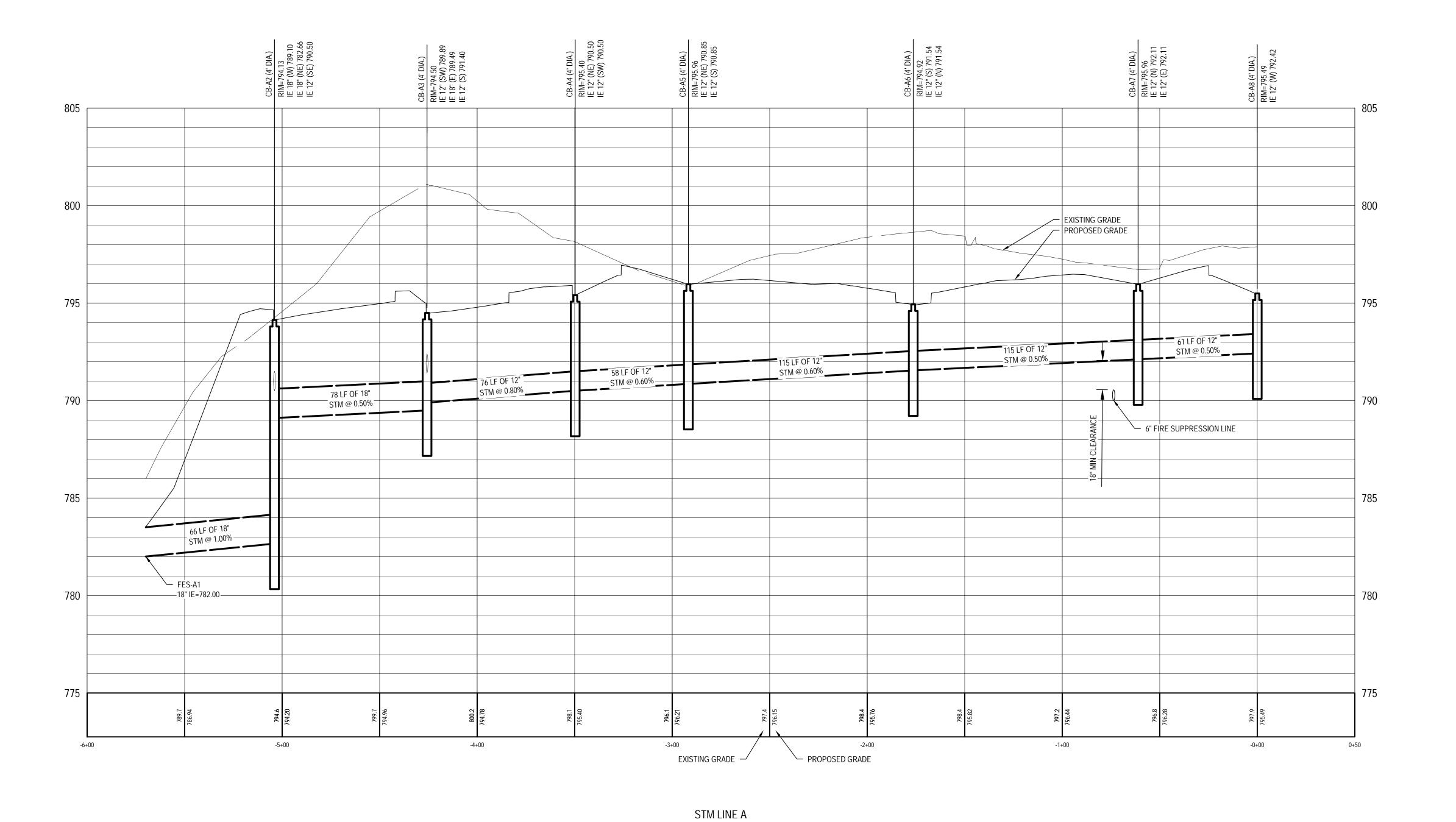
Know what's below. Call before you dig.

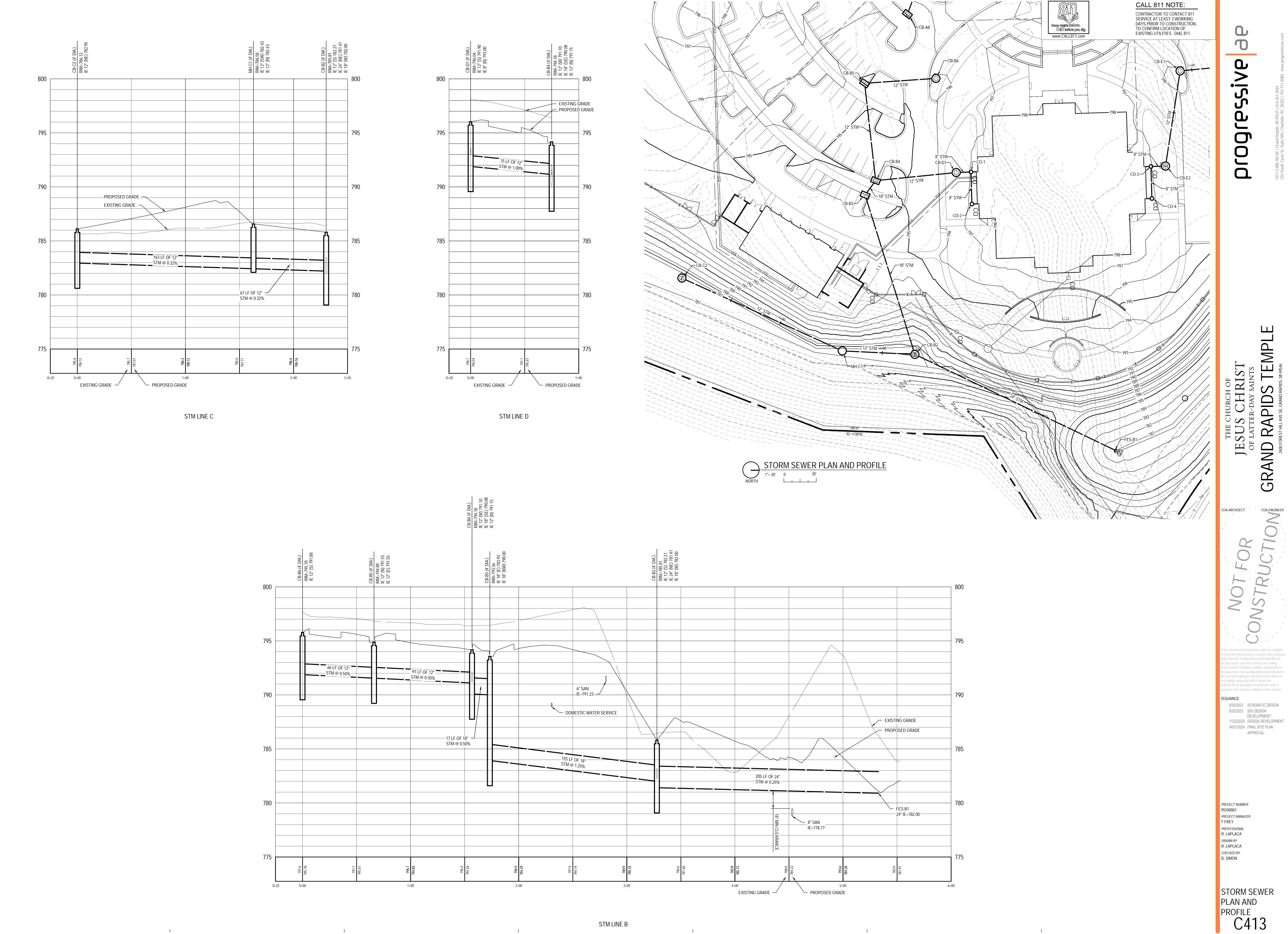
APPROVAL

STORM SEWER PLAN AND PROFILE C412





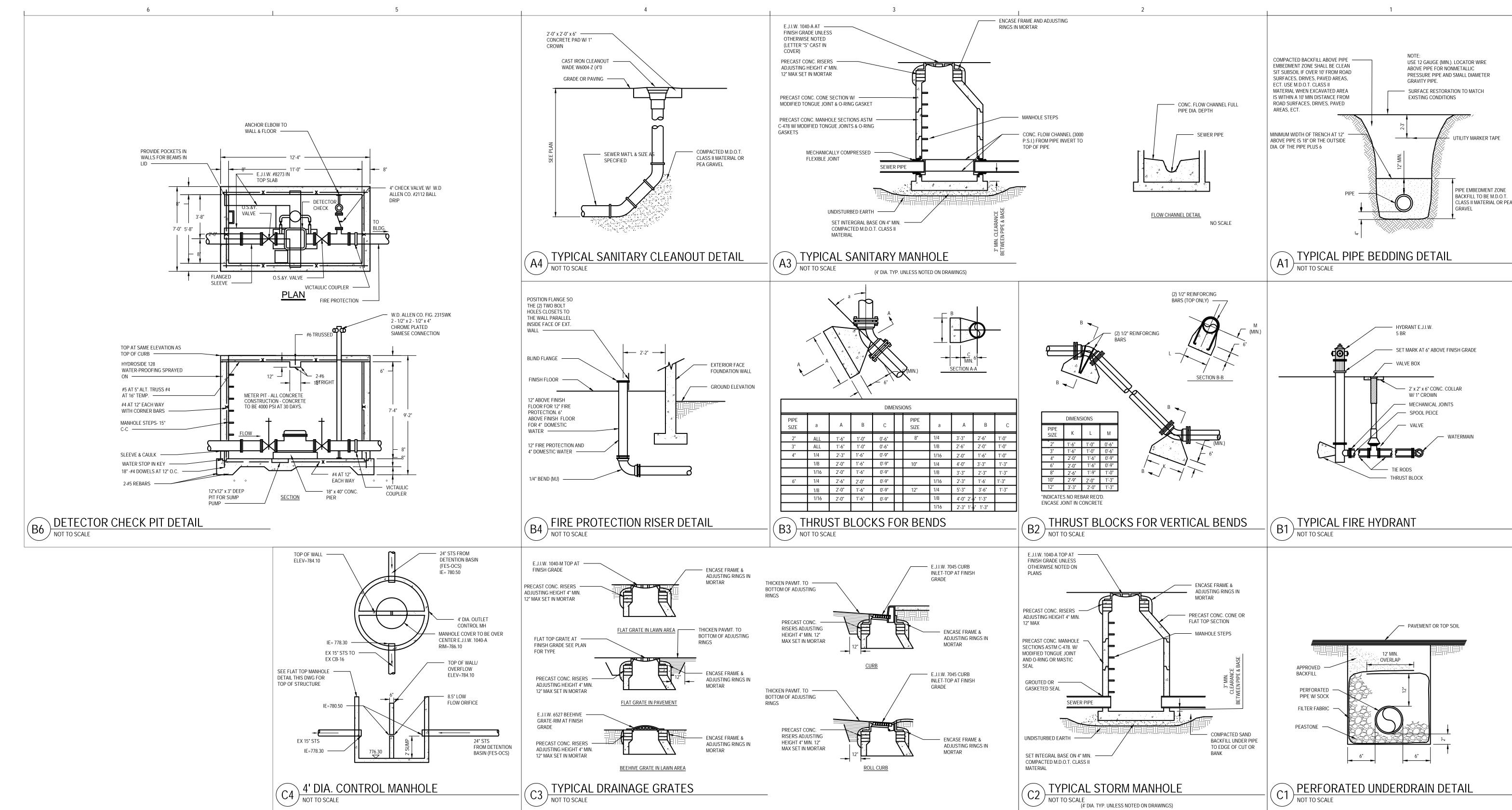




STORM SEWER

04/01/2024 FINAL SITE PLAN APPROVAL

F DETAII S



C502

CALL 811 NOTE:

CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION,

TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

LANDSCAPE REQUIREMENTS

Know what's below. Call before you dig.

www.CALL811.com

GENERAL LANDSCAPE NOTES

ANY PLAN DISCREPANCIES.

CONTRACTOR RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF

2. PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE

STREET TREES

REQUIRED: 1 CANOPY TREE EVERY 80'; FOREST HILL AVE. - 1,020' = 13 TREES REQ. BURTON AVE. - 853' = 11 TREES REQ.

DELIVERY AND INSTALLATION.

PROPOSED: FOREST HILL AVE. - 12 TREES + 260 LF OF EXISTING WOODLANDS BURTON AVE. - 400 LF OF EXISTING WOODLANDS

BUFFER ZONE

REQUIRED: BUFFER ZONE A: 50' MIN, 1 CANOPY TREE, 3 EVERGREEN TREES AND 3 SHRUBS PER 40' (ALONG EAST PROPERTY LINE)

PROPOSED: EXISTING WOODLANDS ALONG ENTIRE EAST PROPERTY LINE

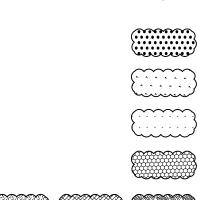
PARKING AREAS

REQUIRED: 1 CANOPY TREE & 100 SQ FT OF LANDSCAPED AREA PER 12 SPACES 150 SPACES = 13 CANOPY TREES & 1,250 SQ. FT OF LANDSCAPE PROPOSED: 70 CANOPY TREES

20,340 SQ FT OF LANDSCAPED AREAS

LANDSCAPE SCREENING REQUIREMENTS MET FOR PARKING IN FRONT YARD.

LANDSCAPE LEGEND



PLANTING BED EDGE (STEEL - SEE SPECS.) SEEDED LAWN

LOW/NO-MOW GRASS MEADOW GRASSES

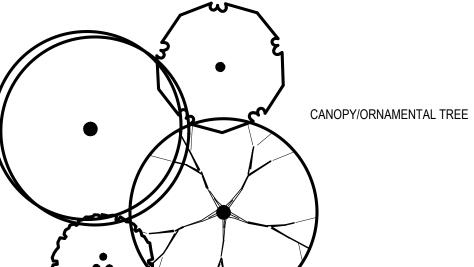
ANNUALS BED PERENNIALS/

EVERGREEN SHRUB









OVERALL LANDSCAPE PLAN

1"= 50' 0 50'

COA ARCHITECT

essional in writing to validate authenticity of ny liability associated with it where the uthenticity of any digital or electronic seal or ignature has not been validated in this manner. ISSUANCE 6/30/2023 SCHEMATIC DESIGN

9/22/2023 50% DESIGN DEVELOPMENT 11/22/2023 DESIGN DEVELOPMENT 04/01/2024 FINAL SITE PLAN APPROVAL

PROJECT NUMBER

OVERALL LANDSCAPE PLAN
L201

#2 POT 18" o.c.

CODE QTY BOTANICAL / COMMON NAME

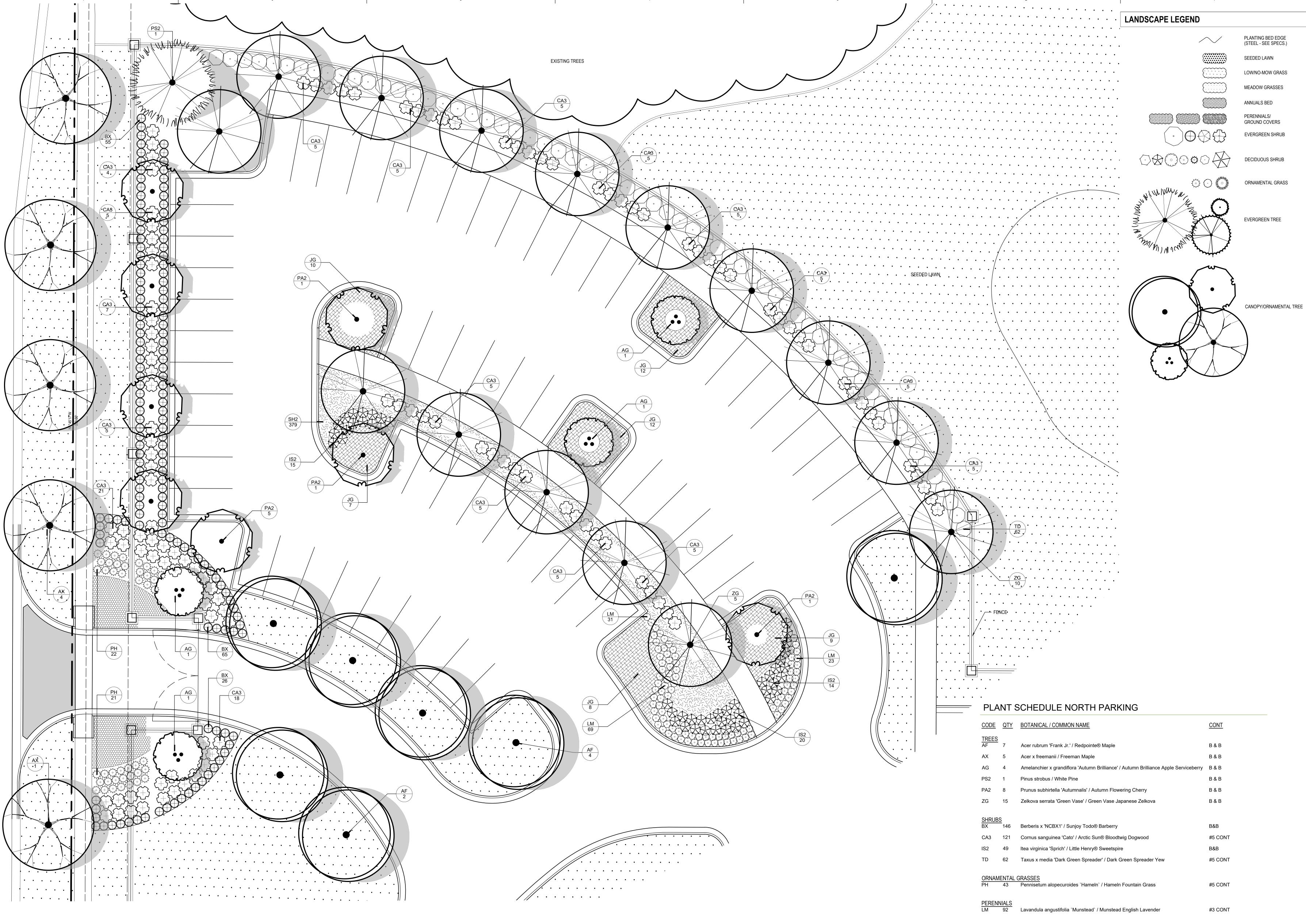
ENLARGED LANDSCAPE PLAN

SH2 379 Sporobolus heterolepis / Prairie Dropseed

GROUND COVERS

JG 61 Juniperus procumbens 'Green Mound' / Green Mound Japanese Garden Juniper

ENLARGED LANDSCAPE PLAN





JESUS CHRIST
OF LATTER-DAY SAINTS
AND RAPIDS TEMPLE

RCHITECT COA ENGINE

the document, you must contact the sealing professional in writing to validate authenticity of the document. The sealing professional disclaims the seal and signature and shall not be liable for any liability associated with it where the authenticity of any digital or electronic seal or signature has not been validated in this manner.

ISSUANCE

6/30/2023 SCHEMATIC DESIGN
9/22/2023 50% DESIGN
DEVELOPMENT
11/22/2023 DESIGN DEVELOPMENT
04/01/2024 FINAL SITE PLAN

ECT NUMBER 0001 ECT MANAGER EY ESSIONAL

95590001

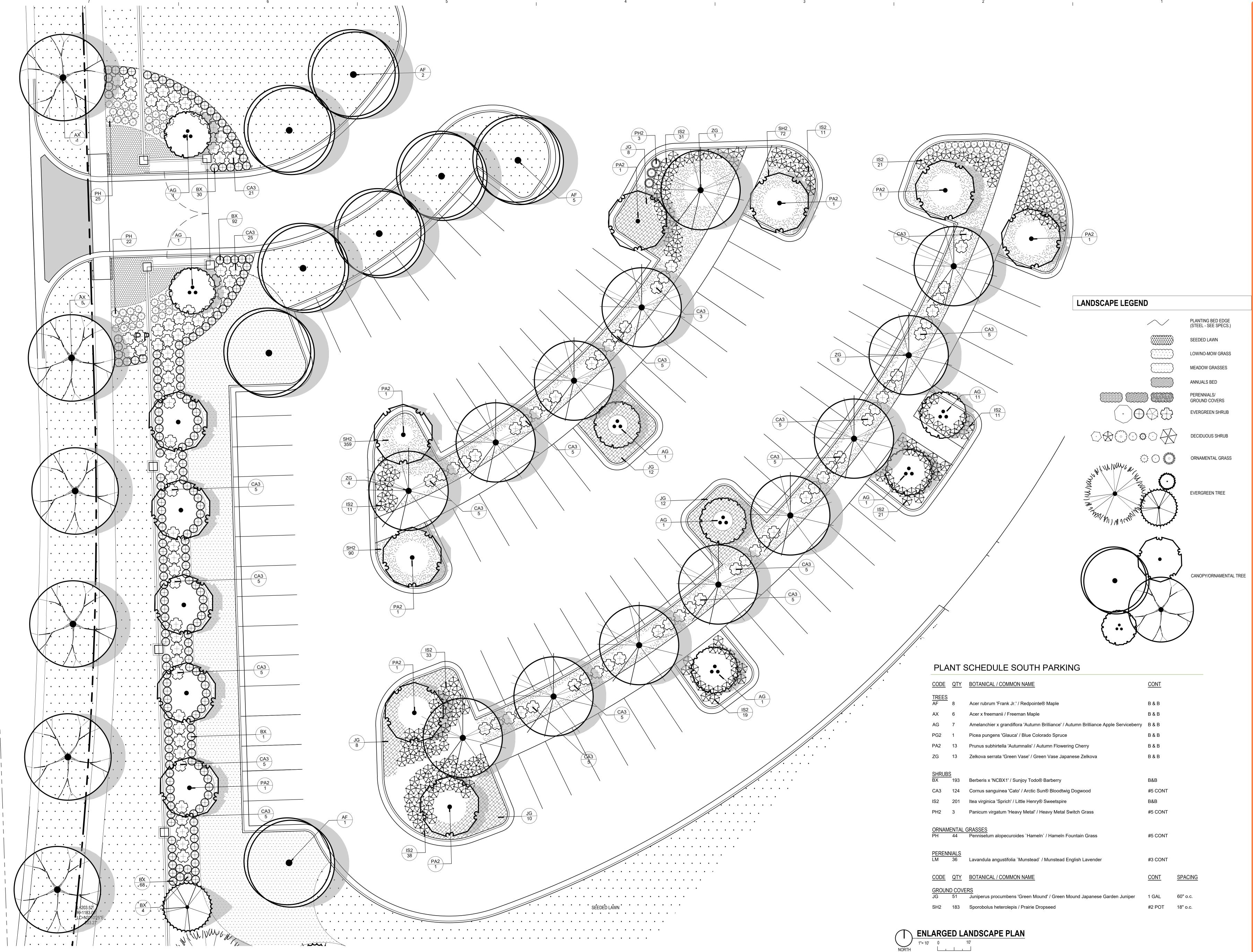
PROJECT MANAGER
T FREY

PROFESSIONAL
N. MILLER

DRAWN BY
N. MILLER

CHECKED BY
P. LAZDINS

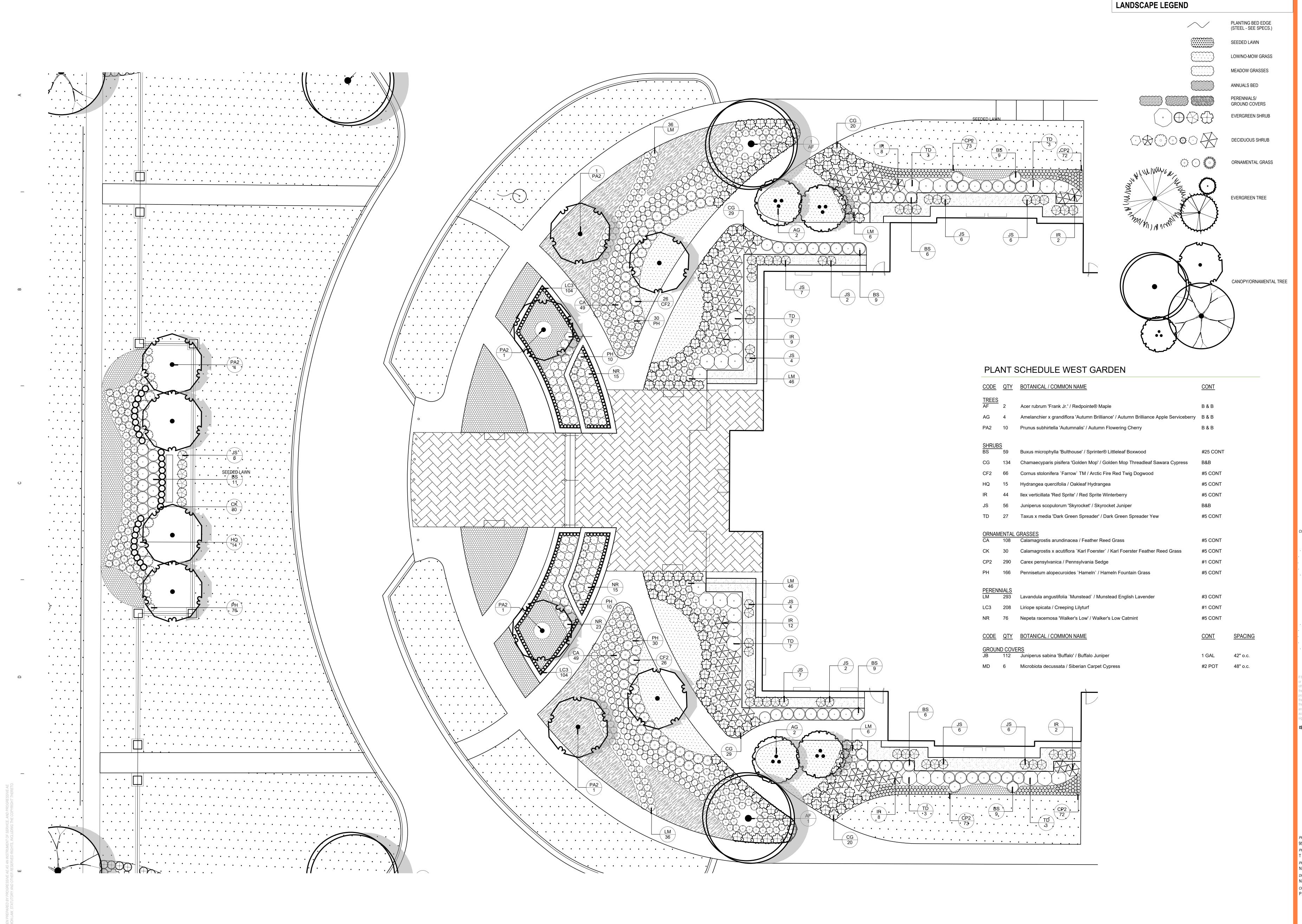
ENLARGED
LANDSCAPE PLAN



BY LER ED BY DINS

ENLARGED
LANDSCAPE PLAN
L 204

ENLARGED LANDSCAPE PLAN



11/22/2023 DESIGN DEVELOPMENT 04/01/2024 FINAL SITE PLAN

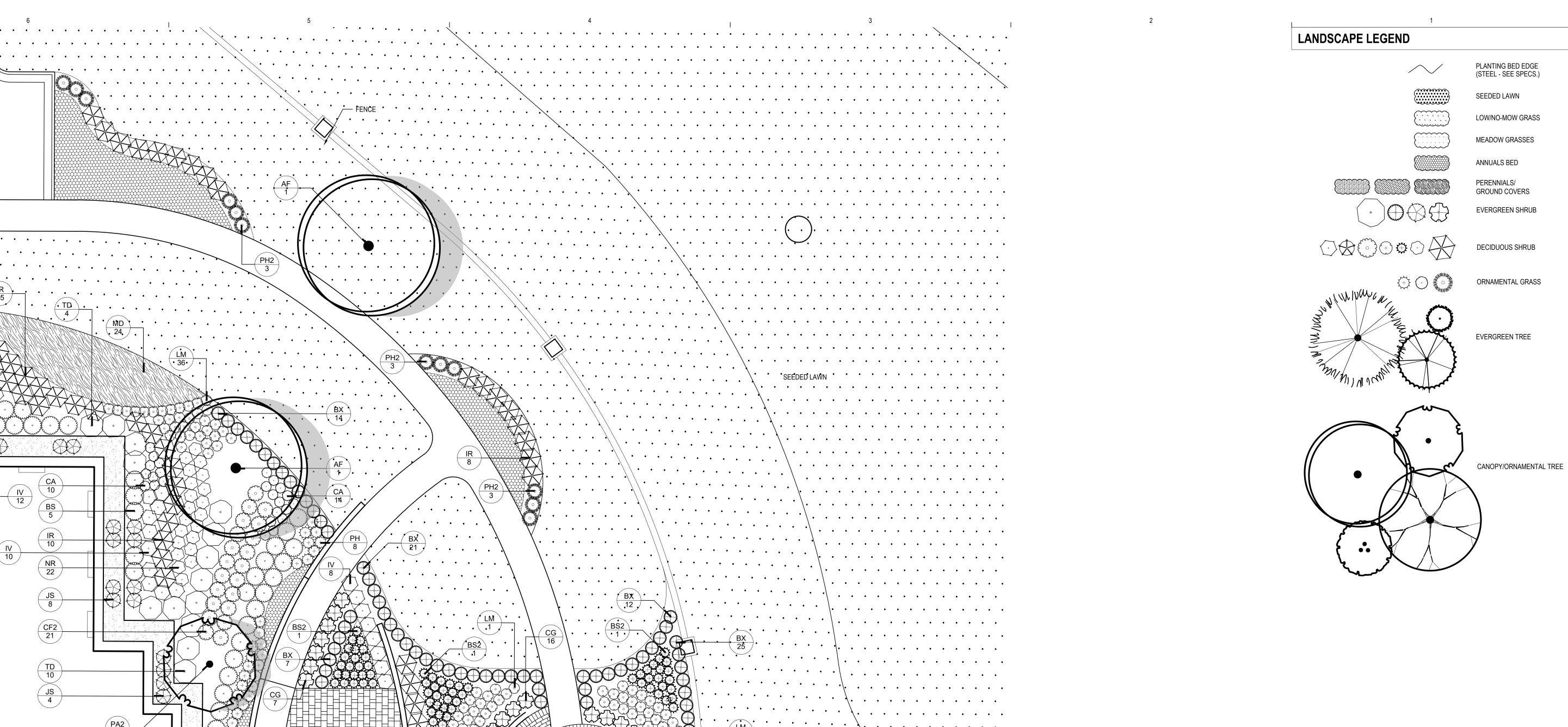
PROJECT MANAGER
T FREY

PROFESSIONAL
N. MILLER

DRAWN BY
N. MILLER

CHECKED BY
P. LAZDINS

ENLARGED
LANDSCAPE PLAN
L205



EXISTING TREE LINE

PLANT SCHEDULE EAST GARDEN

CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	<u>CONT</u>	
TREES				
AF	4	Acer rubrum 'Frank Jr.' / Redpointe® Maple	B & B	
PA2	2	Prunus subhirtella 'Autumnalis' / Autumn Flowering Cherry	B & B	
SHRUB	_			
BS2	138	Berberis thunbergii 'Maria' / Sunjoy Gold Pillar® Japanese Barberry	B&B	
BX	133	Berberis x 'NCBX1' / Sunjoy Todo® Barberry	B&B	
BS	78	Buxus microphylla 'Bulthouse' / Sprinter® Littleleaf Boxwood	#25 CONT	
CG	46	Chamaecyparis pisifera 'Golden Mop' / Golden Mop Threadleaf Sawara Cypress	B&B	
CF2	42	Cornus stolonifera `Farrow` TM / Arctic Fire Red Twig Dogwood	#5 CONT	
IR	96	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	#5 CONT	
IV	60	Itea virginica / Virginia Sweetspire	#4 CONT	
JS	32	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	B&B	
PH2	24	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	#5 CONT	
TD	28	Taxus x media 'Dark Green Spreader' / Dark Green Spreader Yew	#5 CONT	
ORNAM	ENTAL	GRASSES		
CA	48	Calamagrostis arundinacea / Feather Reed Grass	#5 CONT	
CP2	100	Carex pensylvanica / Pennsylvania Sedge	#1 CONT	
PH	55	Pennisetum alopecuroides `Hameln` / Hameln Fountain Grass	#5 CONT	
PERENI				
LM	212	Lavandula angustifolia `Munstead` / Munstead English Lavender	#3 CONT	
NR	43	Nepeta racemosa 'Walker's Low' / Walker's Low Catmint	#5 CONT	
CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CONT	SPACIN
GROUN	D COVE	ERS		
MD	48	Microbiota decussata / Siberian Carpet Cypress	#2 POT	48" o.c.

ENLARGED LANDSCAPE PLAN 1"= 10' 0 10'



OF LATTER-DAY SAINTS

AND RAPIDS TEMPLE

RCHITECT COA ENGINE

conic format and is received from some an the sealing professional identified in timent, you must contact the sealing conal in writing to validate authenticity of timent. The sealing professional disclar and signature and shall not be liable to lity associated with it where the city of any digital or electronic seal or the has not been validated in this manner.

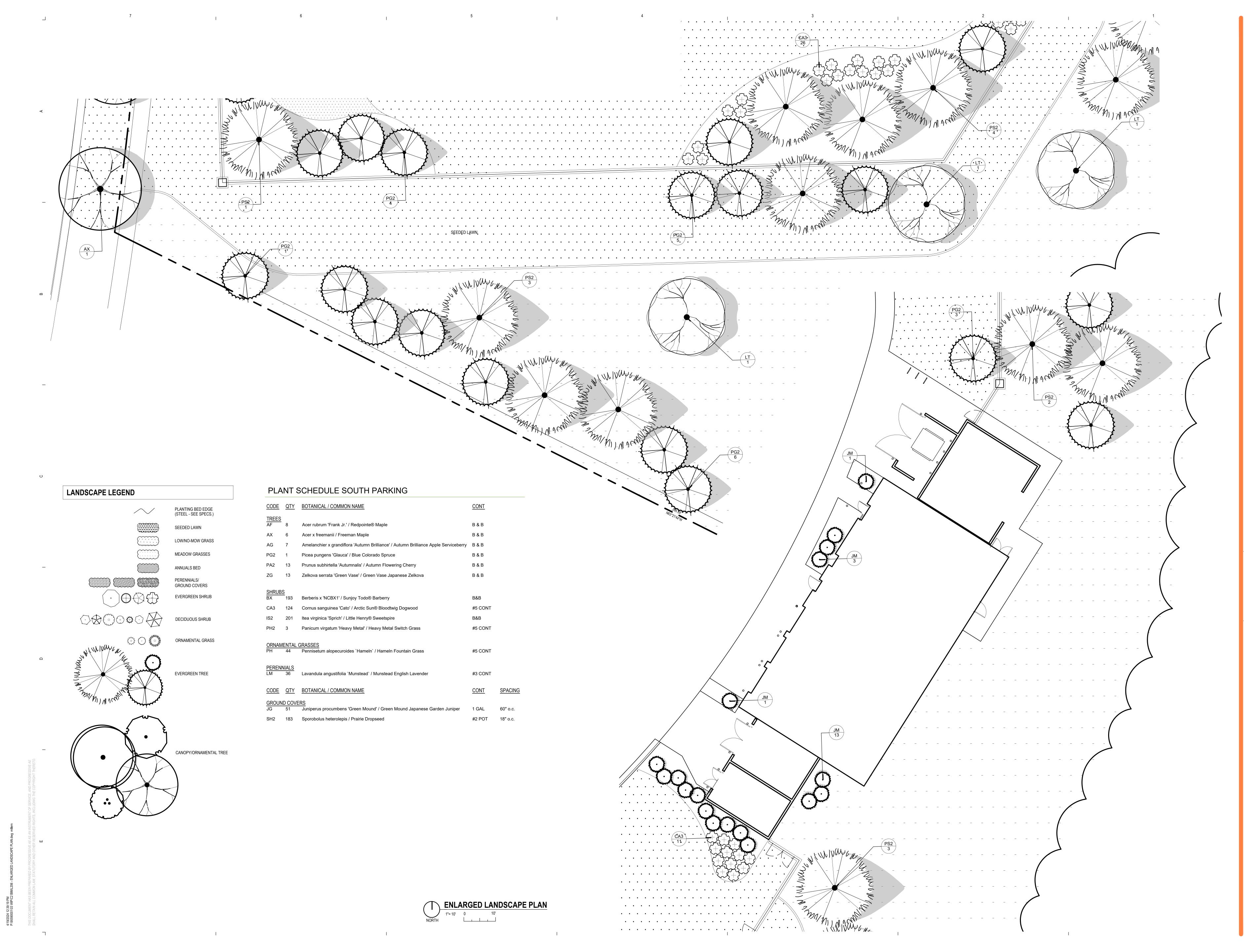
INCE

230/2023 SCHEMATIC DESIGN

6/30/2023 SCHEMATIC DESIGN
9/22/2023 50% DESIGN
DEVELOPMENT
11/22/2023 DESIGN DEVELOPMENT
04/01/2024 FINAL SITE PLAN
APPROVAL

PROJECT NUMBER
95590001
PROJECT MANAGER
T FREY
PROFESSIONAL
N. MILLER
DRAWN BY
N. MILLER
CHECKED BY

ENLARGED LANDSCAPE PLA 1 206



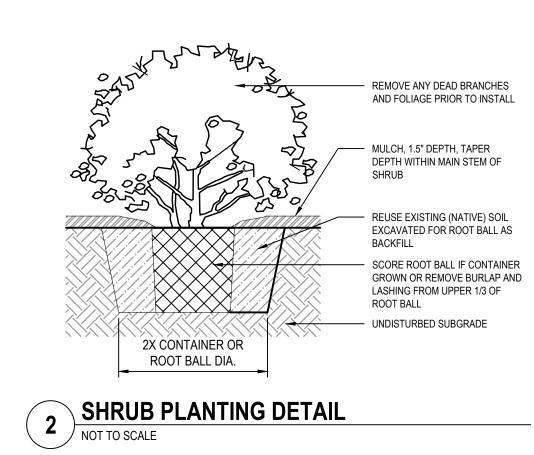
Know what's below. Call before you dig.

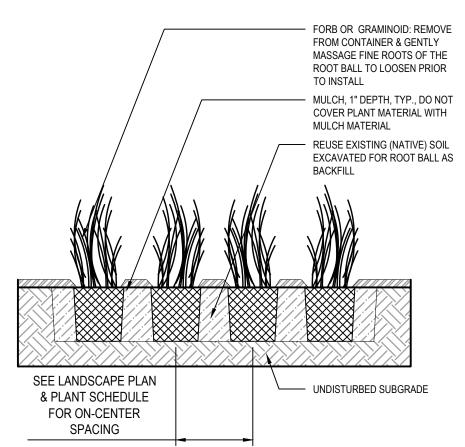
2 X 2 HARDWOOD STAKES — UNCOVER ROOT FLARE. ROOT OR CEDAR POSTS, 2 PER TREE FOR LESS THAN 3" FLARE TO BE 4" ABOVE FINISH CAL.; 3 PER TREE FOR 3" REMOVE WIRE BASKET TO BOTTOM OF ROOT BALL; REMOVE CAL. OR GREATER TREE WRAP -BURLAP AND LASHING FROM UPPER 1/3 OF ROOT BALL 3" HARDWOOD MULCH, — FORM SAUCER AROUND PLANT TAPER DEPTH WITHIN 12" OF TRUNK REUSE EXISTING (NATIVE) SOIL EXCAVATED FOR ROOT BALL AS BACKFILL UNDISTURBED SUBGRADE

 $\frac{1}{2}$

1 DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE





GRASSES | PERENNIALS |

GROUND COVERS PLANTING DETAIL

NOT TO SCALE

6/30/2023 SCHEMATIC DESIGN 11/22/2023 DESIGN DEVELOPMENT 12/19/2023 STONE BIDDING

SIGN AS104

GROUNDS BUILDING DIMENSION PLAN

REFLECTED CEILING PLAN LEGEND

1. ALL CEILING ELEMENTS AND GRIDS ARE TO BE CENTERED IN ROOM / AREA OR ALIGNED WITH ADJACENT ROOM / AREA AS INDICATED, UNLESS NOTED OTHERWISE. 2. CEILING HEIGHTS INDICATED ARE DIMENSIONED FROM THE FINISHED FLOOR BELOW.

SUPPLY AIR GRILLES ARE TO BE LOCATED IN THE CENTER OF THE CEILING PAD, UNLESS 4. COORDINATE MECHANICAL, ELECTRICAL AND FIRE PROTECTION TO ASSURE PROPER 5. MECHANICAL, ELECTRICAL AND FIRE PROTECTION CONTRACTORS TO UTILIZE ACCESS

EQUIPMENT. CONTACT ARCHITECT SHOULD ADDITIONAL ACCESS PANELS BE REQUIRED. 6. REFER TO FINISH SCHEDULE(S) FOR CEILING AND/OR EXPOSED STRUCTURE TO BE

2X2 ACOUSTIC CEILING PANEL CEIILING ACCESS PANEL **HVAC SUPPLY GRILLE** HVAC RETURN GRILLE FIRE EXIT SIGN LOCATION CAMERA LOCATION (SEE ELECTRICAL COMMUNICATIONS)

FURNITURE, FINISHES & ACCESSORIES

GROUNDS BUILDING EQUIPMENT & FURNITURE

REFER TO **G301** FOR RESPONSIBILITY MATRIX SCHEDULES

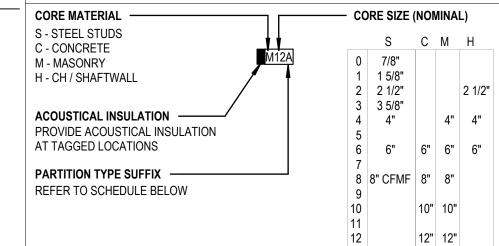
INTERIOR PARTITION GENERAL NOTES

CMU PARTITION

1. CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK FLUTES AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.

3. PROVIDE ACOUSTICAL SEALANT AT ALL WALLS WITH ACOUSTICAL INSULATION. 4. PROVIDE 5/8" WATER RESISTANT GYPSUM WALLBOARD AT ALL WALLS OF TOILET

ROOMS, WALLS RECEIVING TILE, AND WALLS BEHIND AND ADJACENT TO SINKS. 5. PROVIDE 5/8 TILE BACKER AT ALL WALLS OF SHOWER ENCLOSURES. 6. ALL WALLS ARE TYPE M8 UNLESS NOTED OTHERWISE.



INTERIOR PARTITION TYPE SUFFIXES

5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO DECK A2 (2) LAYERS 5/8" GYPSUM BOARD ON ROOM SIDE, (1) LAYER 5/8" GYPSUM BOARD OTHER

5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TO 6" ABOVE CEILING (OR HARD CEILING 5/8" GYPSUM BOARD ON BOTH SIDES; EXTEND TAGGED SIDE TO DECK AND OTHER SIDE TO

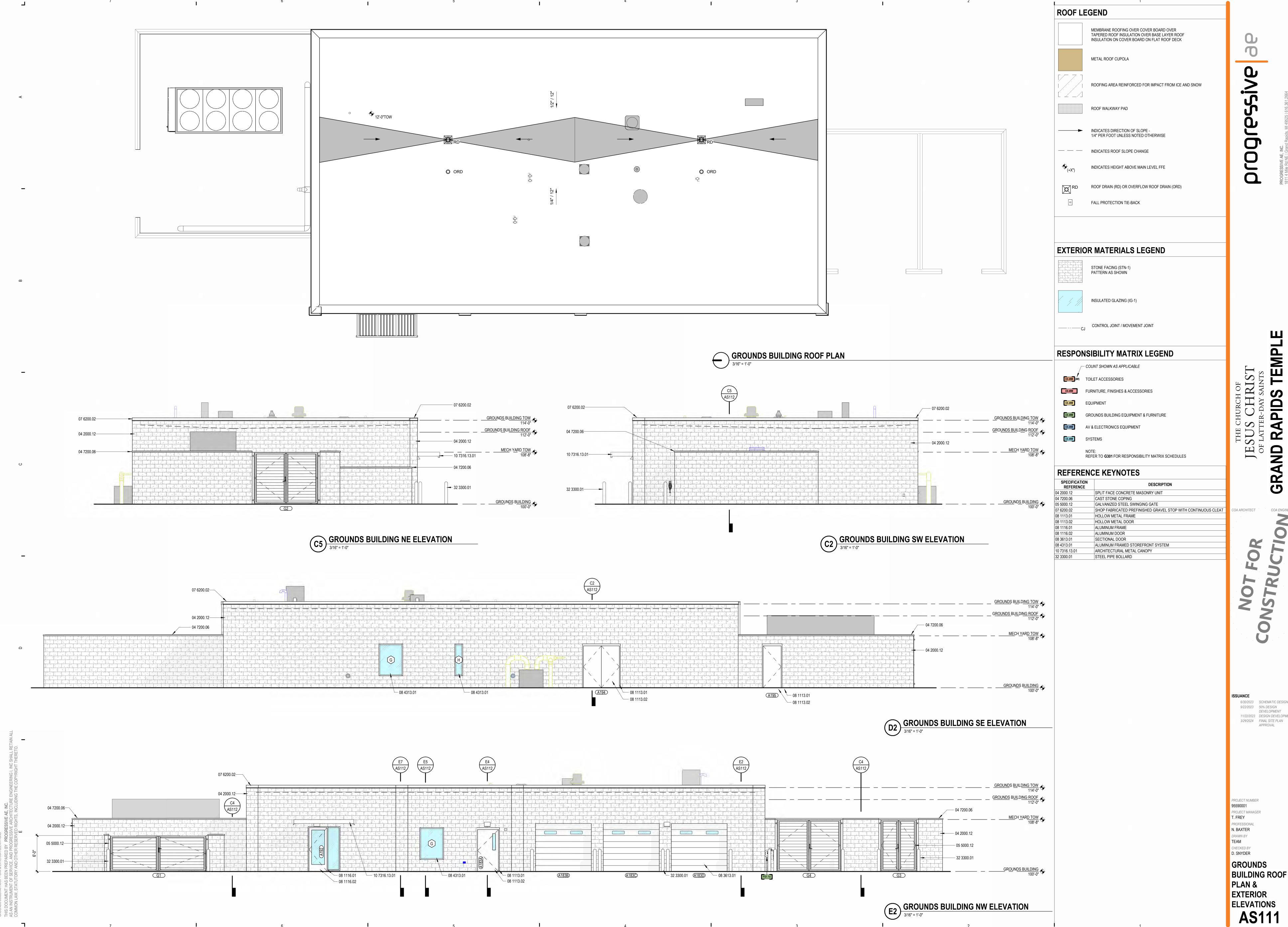
6" ABOVE CEILING (OR HARD CEILING WHERE IT OCCURS) 5/8" GYPSUM BOARD ON ROOM SIDE ONLY; EXTEND TO DECK (2) LAYERS 5/8" GYPSUM BOARD ON ROOM SIDE ONLY; EXTEND TO DECK

ISSUANCE 6/30/2023 SCHEMATIC DESIGN 9/22/2023 50% DESIGN DEVELOPMENT 11/22/2023 DESIGN DEVELOPMENT 3/29/2024 FINAL SITE PLAN

COA ENGINEER

COA ARCHITECT

GROUNDS BUILDING DIMENSION PLAN & REFLECTED CEILING PLAN **AS110**



RAPIDS

RAPIDS

COA ENGINEER

6/30/2023 SCHEMATIC DESIGN 9/22/2023 50% DESIGN DEVELOPMENT 11/22/2023 DESIGN DEVELOPMENT 3/29/2024 FINAL SITE PLAN

BUILDING ROOF

RESPONSIBILITY MATRIX LEGEND — COUNT SHOWN AS APPLICABLE XX.### (##) TOILET ACCESSORIES FURNITURE, FINISHES & ACCESSORIES XX-### EQUIPMENT GROUNDS BUILDING EQUIPMENT & FURNITURE AV & ELECTRONICS EQUIPMENT REFER TO G301 FOR RESPONSIBILITY MATRIX SCHEDULES REFERENCE KEYNOTES SPECIFICATION DESCRIPTION REFERENCE CONCRETE FOUNDATION WALL 03 3000.02 CONCRETE FOOTING 03 3000.03 CONCRETE SLAB 03 3000.12 ISOLATION JOINT 03 3000.15 REINFORCING BAR(S)-SEE STRUCTURAL SPLIT FACE CONCRETE MASONRY UNIT CMU BOND BEAM 04 2000.18 GROUT SOLID 04 7200.04 DRIP GROOVE 04 7200.06 CAST STONE COPING RAKE JOINTS BETWEEN CAPS, FILL WITH SEALANT STAINLESS STEEL ANCHOR TIES (2) MINIMUM PER PIECE OF CAP, MAXIMUM 4'-0" O.C., GROUT INTO CAP, SEALANT AT FLASHING PENETRATION 07 6200.02 SHOP FABRICATED PREFINISHED GRAVEL STOP WITH CONTINUOUS CLEAT STAINLESS STEEL FLASHING 07 6200.11 07 9200.04 CONTINUOUS SEALANT

HOLLOW METAL DOOR

ALUMINUM FRAMED STOREFRONT SYSTEM

THE CHURCH OF

JESUS CHRI
OF LATTER-DAY SAIN
OF LATTER-DAY SAIN
AND RAPIDS T

CONSTRUCTION

ISSUANCE

6/30/2023 SCHEMATIC DESIGN
9/22/2023 50% DESIGN
DEVELOPMENT
11/22/2023 DESIGN DEVELOPMENT
3/29/2024 FINAL SITE PLAN

PROJECT NUMBER
95590001
PROJECT MANAGER
T. FREY
PROFESSIONAL
N. BAXTER
DRAWN BY
TEAM

D. SNYDER

GROUNDS
BUILDING WALL
SECTIONS AND
DETAILS
AS112

CALCULATION POINTS NAME

TEMPLE WALKWAYS - NORTH/EAST/SOUT

ENTRANCE SIDEWALKS

NORTH PARKING LOT

SOUTH PARKING LOT

OVERALL SITE

0.0 0.0 0.0 0.0 0.0 0.0 0.0

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o.0 o.0 o.0 o.0

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TO DATA

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AVERAGE

1.08 fc

0.12 fc

1.01 fc

0.84 fc

Maximum

0.0 fc

0.1 fc

E. LEININGER

D. HERSCHER

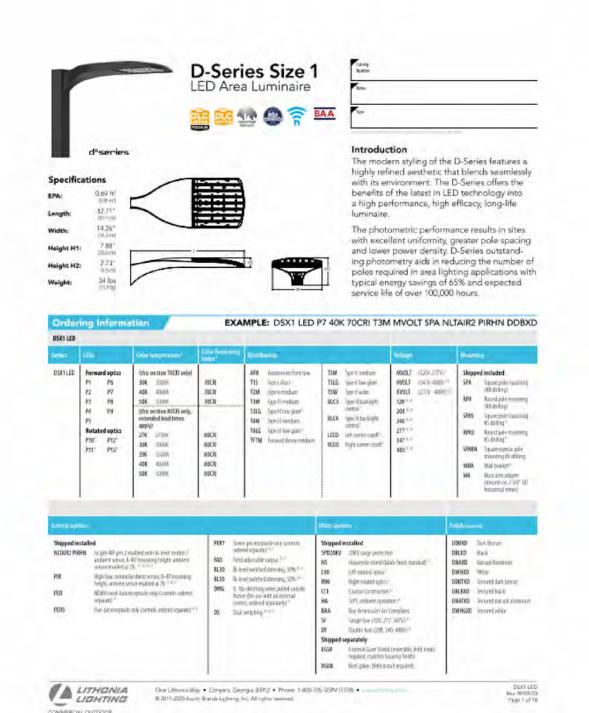
SITE LIGHTING PHOTOMETRIC PLAN

SITE LIGHTING PHOTOMETRIC

Ashbery Area Light Specification Sheet | AP100/200/300 Ashbery is a thoof lights that combines advanced LED technology and optics with an homage to traditional-style lights that have a special place in the American lexicon. The line includes single or dual configurations for smallscale area lights in 8', 10' and 12' pole heights as well as large-scale area lights in 12', 14' and 16' pole heights offered with different symmetric and asymmetric distributions and clear or diffused lenses to tailor directionality and ambience of illumination. Options for the Landscape Forms visual comfort and high output light engines adapt Ashbery's performance specifically for the pedestrian scale or beyond in use cases like parking lots, streetscapes, transit and other environments with a wide range of Housing & Materials Distributions Cast alumnum construction. LED light engine attached to alumnum cartridge housing using magni-coated steel screws. Housing features an acrylic frosted or clear lens and an LED center element. All hardware is magni-coated steel which features an anti-compsion coating. Electrical 120V through 277V 50/60 Hz electronic driver, 0-10V dimming, -40°C LED lighting products are warranted for six years. start temperature. LED cartridge with weatherproof quick disconnect provides ease of installation and serviceability. Cast aluminum driver housing assembly located at base of luminaire. Available with options UL Listed for Wet Location, CE. International Dark Sky Approved, ANSI C136.41 twist lock receptable and/or pole-mounted photo/ Buy America Compliant, RoHS Compliant motion sensor. Ashbery area light ships prewired with center element having a separate circuit from main light engine. (€ @ ASHS 00) IS Light Engine High powered LEDs mounted to a RoHS compliant circuit board with Designed by Robert A.M. Stern Architects PMMA optics affixed to each LED on the board. Available in 2700K. 3000K, and 4000K. >80 CRI across all available color temperatures. Click here for patent information related to this product. Center element available in 2000K color temperature. Featured in the 100 and 200 series luminaires, the visual comfort light engine brings to the forefront attributes of human-centric optical design in pedestrian centric spaces. It reduces high angle glare and

 Revised September 18, 2023 | Landscape Forma Inc. | 800.521.2546 | F 269.381.3456 | 7800 E. Michigan Ave., Kalamazoo, MI 49048 TYPE S1

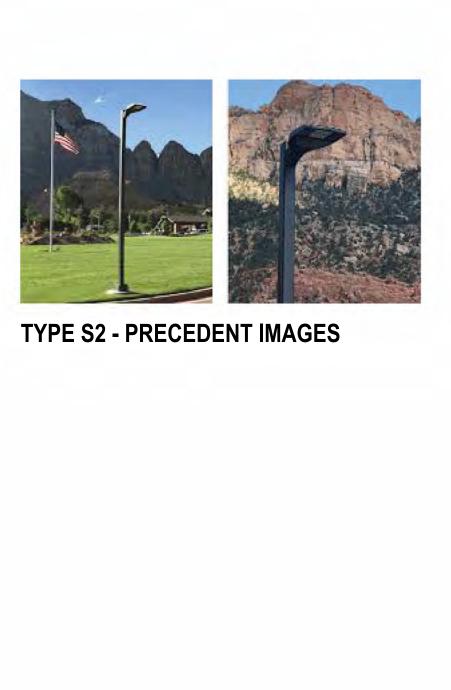
contrast ratio, eliminates 'lens image' of LEDs, and has distributions that aid to a first class visual experience for pedestnans. Featured in the 300 series luminaire, the performance light engine delivers high output with up to 8400 lumens through a wide selection of roadway distribution types. Capable of meeting footcandle minimum and uniformity requirements at taller pole heights and wider spacing, the 300 series addresses lighting needs in vehicular and other environments where design criteria includes non-pedestrian needs. meeting all lighting needs on a site, both pedestnan and vehicular.



TYPE S2 - OVERALL HEIGHT: 20'-0"



TYPE S10



EAST FACADE

SOUTH FACADE

NORTH FACADE

E. LEININGER E. LEININGER CHECKED BY
D. HERSCHER

FACADE LIGHTING PHOTOMETRIC STUDY E902

NHS4 6.3 6.4 6.4 6.4 6.4 2.7 6.2 6.8 6,46.2 6.3 6.3 6.4 6.4 6.3 2.€ 6 CH62 588.5 6.3 6.3 6.3 6.3 2.6 6.2 6.2 634 4 62 62 62 62 62 25 62 6.9 589.4 6.1 6.1 6.1 6.1 6.1 2.5 6.1 6.F \$6022 5.\$ 5.\$ 0.0 0.0 3.3 2.5 6.0 6.8 SEE 5.8 0.0 0.0 3.2 2.4 5.9 6.8 5.7 5.7 0.0 0.0 3.1 2.4 5.8 6.0 \$367.7 5.6 5.6 0.C 0.0 3.1 2.4 5.6 5.8 8566 5.5 5.5 0.0 0.0 3.0 2.4 5.5 6.2 5556 5.4 5.4 0.C 0.0 2.9 2.4 5.5 5.6 865.2 5.4 2.6 0.0 0.0 0.0 2.4 5.5 8.3 5.8 5.4 2.4 5.4 5.4 5.4 5.4 5.4 5.4 5.4 5.5 656 - 5.4 5.2 5.5 5.5 5.5 5.4 5.4 5.4 5.3 £ 36.0 0.0 0.0 0.1 0.2 0.2 0.1 0.1 0.1 0.0 0.0 0.0 3.6 3.1 5.2 5.2 5.2 5.0 5.1 5.0 5.2 5.2 5.2 5.2 5.2 5.2 6.1 15 27 27 28 28 2314 14 14 14 1 120 22 23 23 25 27 28 29 30 30 30 30 29 28 26 24 2 0.0 1.0 1.0 1.0 1.5 1.5 1.4 1.3 0.0 18 0.0 3 10 3.2 2.7 2.20 20 1 0 120 3.0 3 0 3.1 3.3 3.6 3.8 3.9 4.0 4.1 4.1 4.0 4.0 3.8 3.6 3.3 3.6 2.6 2.0 2.0 2.0 2.0 1.9 1.6 0.5 22 1000 0.9 1.9 2.0 2.0 2.1 2.0 90.0 3 3 1 3.4 3.6 3.8 3.9 4.0 4.0 4.0 3.9 3.7 3.5 3.3 3.0 3.0 3.0 220 1.0

3D ISOMETRIC - FACADE LIGHTING
NOT TO SCALE





1070 1.1 22 2.4 2.4 2.4 2.3 1000 4 3.6 00 02 02 4.4 4.5 4.5 2.9 0.5 4.3 4.1 3.7 0.5 0.5 0.5 3.0 0. 1120 13 28 30 30 29 27 330 4 43 44 3 1 5 1 5 2 5 2 3 3 0 0 4 4 9 4 7 4 2 0 0 0 0 3 2 1 0 8

PHOTOMETRICS - WEST FACADE RENDERING
NOT TO SCALE



PHOTOMETRICS - NORTHWEST PERSPECTIVE RENDERING
NOT TO SCALE

Collier, Monique

To:

Schweitzer, Terry

Subject:

RE: [EXTERNAL]LDS Site Plan Comments

⚠ Stop.Think.Read.This is an external email. Please use caution when clicking on any links or opening attachments.

Rob – Good to meet with you and Tom last week. At our Condominium Board meeting last week, the Board wants to make sure that you and the Church of the Latter Day Saints understand that they have no objections to the proposed Temple. We had discussions along the same lines which we spoke about. I believe that the following suggestions may work improve your plans:

- Landscaping Please make sure that the landscaping along your south property line will provide buffer to the first two building on Forest Bluff Dr SE. Those building's decks and large windows are at essentially at a "2nd story" level looking towards the Temple and parking lot. We are concerned about the lighting coming from vehicles parked in your south lot. You have some existing trees that do provide some buffer and we hope those will be maintained, along with the new plantings shown on your Landscaping plan. If possible adding a berm in some of the new planting areas without disturbing the larger existing growth could help this concern and would be appreciated.
- Lighting It appears that the Type S2 D-Series LED Area Luminaire will not shine directly towards our development from the depiction in the drawing. If that is the case, then that is fine. We do not want to have lighting like that at Clark's building which is very objectionable. I'm assuming that the Type S3 lamps will be along the walking trails and entrance areas and again will not be directly visible. However, it is not clear about how the bulbs in the Type S1 Ashbury Lights around the building will shine. Again please insure that they will not be directly visible to our buildings (avoiding the same issue we have with Clark).
- Lighting Timing With your operations generally continuing to 10pm, we ask that the parking lot lighting be turned off at 10:30pm or a half hour after the end of the ceremonial operations. This could be addressed at least on the south parking lot. If the Church has their staff and employees parking on the north side, then those could stay on longer.

We welcome the Church of the Latter Day Saints' Grand Rapids Temple, and thank you for your consideration of these items. Please forward this to Tom and whoever else is appropriate with the Church. Feel free to let me know if you or others have any comments. Thank you.

Terry / Lisa - Please forward this to the PC, thanks.

Marc

Marc Daneman

Daneman & Associates

2557 Forest Bluff Dr. SE

Grand Rapids, MI 49546

Pho 616-450-0110

marc@marcdaneman.com

www.marcdaneman.com

This communication may contain confidential information intended for the named recipient(s) only. If received by mistake, please destroy it and notify us. Any tax or legal advice included in this email is specifically limited to the stated facts and issues.

STAFF REPORT:

April 18, 2024

PREPARED FOR:

Kentwood Planning Commission

PREPARED BY:

Lisa Golder

CASE NO.:

11-24 Lakewood West Wing

GENERAL INFORMATION

APPLICANT:

Lakewood Homes LLC

rep. by:Nederveld Engineering

3347 Sandy Beach Wayland MI 49348 217 Grandville Ave SW Suite 302 Grand Rapids

STATUS OF

APPLICANT:

Owner/Developer; Developer's engineering representative

REQUESTED ACTION:

* Preliminary and Final PUD site plan review is requested for the

proposed 15 lot development.

EXISTING ZONING OF

SUBJECT PARCEL:

RPUD-2 Detached Residential Planned Unit Development

LOCATION:

2920 52nd Street, 2854 52nd Street (part), 5453 Wing Avenue, 5491

Wing Ave (part)

PARCEL SIZE:

6.8 acres

EXISTING LAND USE

ON THE PARCEL:

Vacant land

ADJACENT AREA

N: 52nd Street

LAND USES:

S: Single family residential

E: Single family residential

W:Vacant

ZONING ON ADJOINING

PARCELS:

N: R1-C Single Family Residential (north of 52nd Street)

S, E, W: R1-B Single family Residential

Compatibility with Master Plan

The proposed development is located on an overall 6.8 acre property located west of Wing Avenue and south of 52nd Street. The proposed 2020 Master Plan recommends low density

Staff Report

Case No. 11-24 Lakewood West Wing Preliminary and Final Site Plan

Page 2

residential use for this area or less than 4 units per acre. The proposed single family development is 2.2 units per acre, consistent with the Master Plan. The proposed net density has not been provided to date.

Relevant Zoning Ordinance Sections

Chapter 12.01 of the Zoning Ordinance describes the purpose and intent of Planned Unit developments (PUDs) and Section 12.04 describes the RPUD-2 zone specifically. Site plan review standards are found in Section 14.05.

Zoning History

The site was rezoned in 2021 to RPUD-2. However, the associated preliminary site plan has expired and must be re-approved.

SITE INFORMATION

Street and Traffic

The 6.86 acre site is located west of Wing Avenue, and south of 52^{nd} Street. 52^{nd} Street is a 5 lane arterial road within a 100 foot right of way. Wing Avenue is a two-lane road within a 66 foot right of way. The Four Corners Study, adopted as a compendium to the 2020 Master Plan, recommends the eventual construction of a non-motorized trail along 52^{nd} Street. The recommendation for the Breton Ravines development (located to the west) has been to require the construction of an additional 5' of sidewalk, creating a 10' wide sidewalk along the 52^{nd} Street frontage. The same is recommended for the 52^{nd} Street frontage on the north side of the Lakewood West Wing project.

Breton Avenue, (to the west) is planned to be extended south from its current terminus at 52nd Street. The extension of Breton Avenue is not part of the proposed Lakewood West development.

Trip Generation

According to the report <u>Trip Generation</u> by the Institute of Traffic Engineers, the proposed 15 homes are estimated to generate approximately 142 trips per day.

Site Information

The site is partially wooded and drops to the northeast. The northeast corner of the property contains wetlands. The development can generally be built without disruption of the wetland areas, with the exception of the small wetland areas within the proposed private road right of way.

Staff Review

Rezoning

1. The 6.8 acre development was rezoned from R1-B to RPUD-2 Detached Residential Planned Unit Development, with a total of 15 housing units planned.

Staff Report
Case No. 11-24 Lakewood West Wing Preliminary and Final Site Plan
Page 3
PUD Plan-General

- 2. The Applicant's PUD Statement details the reasoning behind the 2021 rezoning and the operational aspects of the development that relate to the PUD objectives of Chapter 12 of the Zoning Ordinance.
- 3. The proposed PUD involves the development of 15 detached site condominiums. Preliminary and final site plan review for the site condominium development will also be required.
- 4. The PUD-2 sets the following minimum requirements for lots within a development:

Lot area: 6,500 square feet

Front yard setback: 20 feet

Side yard setback: 5'; 12 between properties

Rear yard setback: 30 feet

Minimum living area: 950 square feet, minimum of 624 square feet on main floor

Open Space: 25%

5. The development is served by a private road cul-de-sac that extends from Wing Avenue. The city's new Private Road requirements dictate that the road should be 24' in width within a 50' easement and one side of sidewalk. This has been provided. In addition, the applicant his proposing a sidewalk connection along Wing Avenue from 52nd Street to the proposed private driveway. In the future, it is anticipated that a sidewalk would be extended along the west side of Wing Avenue to 60th Street along the watermain easement, in order to minimize the loss of significant trees.

Section 12.01 PUD Intent and Purpose

- 6. The proposed development is for 15 homes on 6.8 acres of land. The PUD regulations allow the city to review and approve proposed building elevations proposed within the PUD.
- 7. Section 12.01 C of the Zoning Ordinance also references a package of amenities that are available throughout the PUD including the preservation of natural resources, pathways, improvements to public roads, and high-quality architectural materials. The development will include open space or a conservation area adjacent to each unit. All of the conservation areas, private road and sidewalks must be maintained by the condominium association. In addition, if the conservation areas are open to all residents of the development, it should be clear how residents can access the areas.

Section 12.04 RPUD-2 Specific Regulations

8. Section 12.04 D 5 indicates that the city may require architectural diversity between adjacent single-family buildings. The applicant is proposing 5 different building elevations. The PUD Statement shall include language to indicate how the developer intends to ensure that the same house plan/building elevation is not used for adjacent structures. It is unclear as to whether the building elevations meet the city's proposed architectural guidelines. Additional information must be provided for staff review.

- 9. Section 12.04 D 8 indicates that accessory building size and locations may be varied from those found in Sections 3.15 and 3.16 of the Zoning Ordinance. The applicant shall clearly state their intent for the allowance of accessory structures within the development.
- 10. At the time of the original PUD approval in 2021, a PUD Agreement was drafted but it was never signed by the developer. This must be addressed prior to the final approval of the PUD plan.

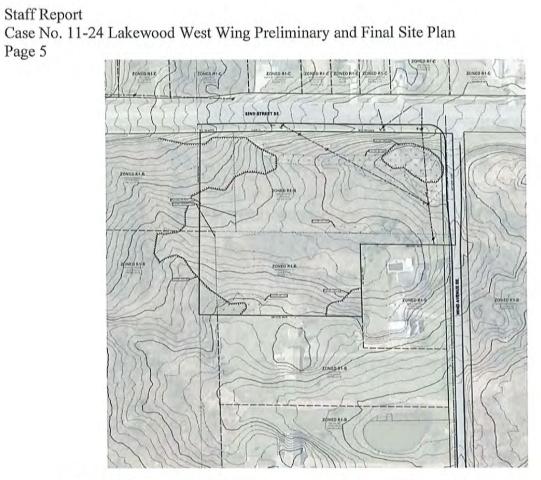
Attributes:

- Preserves over 37% open space
- Development's gross density is consistent with the Master Plan
- Sidewalk along Wing provided

Issues:

- Provide access to conservation areas, if they are open to all residents
- Non-motorized trail along 52nd Street required
- Make a determination regarding accessory buildings
- Address how diversity of architecture will be addressed for adjacent lots.
- Provide information on building types to determine whether the units meets the city's the proposed architectural standards

Section 34- Lakewood PUD





PROJECT PUD AGREEMENT STATEMENT AND NARRATIVE Lakewood May 17, 2021

NARRATIVE and PUD AGREEMENT STATEMENT for LAKEWOOD

1. Nature of the project

The proposed Lakewood Planned Unit Development (PUD) contains 6.8 total acres. Of the 6.8 acres, approximately 2.5 acres will be devoted to permanent open space (nearly 37% of the site will remain as permanent open space). The remainder of the site will be devoted to tree and vegetation preservation, screening and buffering for adjoining properties, and a residential community meeting the goals and objectives of the City's most recent Master Plan efforts. The residential community will be comprised exclusively of single-family lots on a proposed private road.

2. The proposed density, number, and types of dwellings units

The proposed Lakewood PUD is proposed to contain 15 new residences. According to the City's most recent Master Plan (2020 Draft), the City has proposed the area to be "Low Density Residential," which allows up to four (4) residential units per acre. Based on *gross* acreage, the City anticipated in the Master Planning process that the property could ultimately be the home for up to 27 households.

While the Master Plan anticipates up to 27 households, Lakewood proposes only 15 new residences, allowing for the preservation of substantially more open space than required by the City's PUD Ordinance.

The overall density for the proposed Lakewood PUD neighborhood is 2.2 units per acre (15 units / 6.8 acres).

3. Statement describing how the proposed project meets the objectives of the City of Kentwood Master Plan and Planned Unit Development District

The proposed plan meets the intents of the Planned Unit Development ordinance (Section 12.01) as follows:

- A. Encourage use of land in accordance with its character and adaptability through allowance of innovative and creative design solutions not permitted under conventional zoning.
 - ⇒ The property is in a long-anticipated residential development area for the City of Kentwood, and seeks to preserved wetlands, open spaces, and wooded areas as much as practical. Public utilities have been extended along the frontage of the site in anticipation of development, and the proposed single-family residential use and densities help the City of Kentwood reach the goals outlined their Master Plan.

- B. Allow design flexibility that benefits the community and the environment and results in a better overall project than would be permitted under conventional zoning.
 - ⇒ The primary significant features of the site are several small wooded areas and a small wetland that traverses across the northern portion of the site. With the nature of the development (single-family lots), the proposed project can meet the targeted residential density in the Master Plan, and preserve large amounts of open space and natural features. Using the compact design approach allowed in PUD zoning helps to accomplish a better overall project than what is allowed under conventional zoning (a Parallel "By-Right" Plan has been included to illustrate what the site may look like under conventional zoning).
- C. Create a package of amenities not typically achieved with conventional zoning, such as useable open space, preservation of key natural or historic resources, improvements to public roads or facilities, pathways, natural stormwater systems, more extensive landscaping, consistent and coordinated site design details among various projects (lighting, signs, building design, etc.), and high quality architectural design or materials
 - ⇒ The Planned Unit Development option allows for the robust provision of open space preservation. Additionally, the PUD provides for architectural standards to ensure high quality architectural design.
- D. Create a complementary mixture of housing types within a project that is consistent with the overall character of the area.
 - ⇒ The overall character of the area is predominantly single family detached residential. As a single family neighborhood, the proposed Lakewood PUD will complement the surrounding uses, consistent with the predominantly residential character of the area.
- E. Ensure compatibility of design and use between various uses within the PUD and with neighboring properties.
 - ⇒ The development is harmonious and consistent with the surrounding properties. Low Density Residential is planned for the site and the area immediately south of site. Generous "no-build" areas and open spaces are proposed on the south side of the site and the north side of the site along 52nd Street.

4. Statement describing how the proposed project will be served by public water, sanitary sewer, and storm drainage

Sanitary Sewer

The community will be served by sanitary sewer that will be extended from Wing Avenue. Sanitary sewer will be designed to meet the requirements of the City of Kentwood and City of Grand Rapids Engineering Departments. Sanitary sewer will be a minimum of eight inches in diameter, with possible upsizing where determined necessary by the City of Kentwood and City of Grand Rapids Engineering Departments.

Watermain

The community will be served by public watermain that will be extended from Wing Avenue. Watermain will be a minimum of eight inches in diameter, with possible upsizing where determined necessary by the City of Kentwood and City of Grand Rapids Engineering Departments.

Stormwater Management

Stormwater will be managed in accordance with City of Kentwood and Kent County Drain Commissioner standards and specifications. Required detention volume will be achieved in the property to the south of the proposed development (which is under the same ownership).

5. Requirements Per Section 12.09.D.

- 1. Set forth the conditions upon which the approval is sought, with reference to approved Plans and a specific description of all deviations from City regulations which have been requested and approved, and thus do not require approval of the Zoning Board of Appeals. Such deviations shall be clearly listed in tabular form and may include: building and parking lot setbacks, building height, reduction in minimum lot size, reduction in road width, modifications to road geometric design, reduction on required parking, mixture of uses (if applicable), larger or additional signs, or driveways that do not meet the standards of this Ordinance.
 - ⇒ Approval for the Lakewood PUD is requested based on meeting the provisions of the City of Kentwood PUD Ordinance and the City of Kentwood 2020 Master Plan.
 - ⇒ Deviations from the RPUD-1 Ordinance include the following:
 - No deviations from the RPUD-1 Ordinance are anticipated.
- 2. Convey in fee or commit otherwise common areas indicated in the PUD plan for use by the residents or the public at large. The use shall be irrevocably dedicated for the useful life of the residences, and retained as open space for park, recreation or other common uses. The transfer of responsibility from the developer to the association shall be clearly defined, to ensure all obligations will be met, or performance guarantees provided, to ensure common areas are left in a usable state.
 - ⇒ Common open space areas in the Lakewood PUD will be owned in common by a proposed Homeowners Association.
- 3. Set forth a program and financing for maintenance of common areas and features, such as pathways, roads, signs, lighting, landscaping, recreational facilities and stormwater detention facilities. Adequate provision shall be made to insure common areas and features and to indemnify the City.
 - ⇒ Common open space areas in the Lakewood PUD will be owned in common by a proposed Homeowners Association. A site condominium will be formed for the

project, and the Master Deed and By-Laws will provide the legal mechanism for financing common areas and site features.

- 4. Assure that trees and woodlands indicated on the plan will be preserved as shown, or replaced on a caliper for caliper basis if damaged or removed during construction.
 - ⇒ Trees and woodlands will be preserved as depicted as shown on the submittal. Further detail of protected areas will be provided as part of Final PUD review.
- 5. Assure the construction, improvement and maintenance of all streets and necessary utilities (including public water, wastewater collection and treatment and stormwater) to City of Kentwood Zoning Ordinance Chapter 12 12-19 Planned Unit Development Districts mitigate the impacts of the PUD project through construction by the developer, bonds or other satisfactory means, for any and all phases of the PUD. In the case of phased PUD's this requirement shall be reviewed at the time of any final site plan approval.
 - ⇒ The project will be financed through private funding, with only oversizing of utilities, roads, and improvements to be reimbursed by the City in accordance with the City Master Plan and City policy (where applicable). Financial surety can posted for portions of the work in the form of a bond, if requested.
- 6. Confirm that variances from the Zoning Board of Appeals cannot be sought for the PUD Plan and describe whether individual landowners are eligible to seek variances in the future, once the PUD project or phase is constructed.
 - ⇒ It is not anticipated that variances will be required. Minor deviations may be allowed by City Staff, in accordance with the provisions of the Final PUD (Final PUD language to be presented after Preliminary PUD approval).
- 7. Address any other stated concerns of the City regarding construction and maintenance including phasing development plans. Adequate development assurances shall be provided for all proposed phased development.
 - ⇒ These items will be furnished upon staff review of the submittal set.
- 8. Ensure that the obligations of the PUD are transferred to future buyers and note the process for approval of amendments to the PUD Agreement, including the manner in which affected parties within the PUD must approve the change in addition to the City.
 - ⇒ Deed restrictions and/or master deeds will ensure that the obligations of the PUD are appropriate transferred to future buyers within the PUD.
- 9. Narrative description of architectural treatment/features.
 - ⇒ Proposed sample architecture is shown in detail within the submittal materials. Because each home will be selected by the individual lot buyer, home styles and designs may vary somewhat from the sample architectural plans provided. Architectural materials will include wood, brick, stone, metal, and lap siding.
- 10. Narrative description of the walkability of the PUD (within and to the public walkways)
 - ⇒ Sidewalks will also be built along the private roads serving the site condominium where required by ordinance and also along Wing Avenue.

- 11. Narrative description of open space features.
 - ⇒ Open spaces will include preserved wetlands throughout the site. The open spaces are also intended to preserve stands of trees and to provide buffering/screening to adjoining properties.
- 12. Narrative description of the relationship between the PUD and the goals of the City Master Plan.

Finally, the PUD helps to achieve the City's Master Plan goals of providing housing types and housing densities consistent with the Master Plan while substantially preserving sensitive natural areas.



To:

Kentwood Planning Department

From:

Brad Boomstra, P.E.

City Engineer

Date:

June 16, 2021

Re:

Lakewood

2920 52nd Street, 2854 52nd Street, and 5491 Wing Avenue

41-18-34-200-053, 054 & 41-18-34-200-032

Review of Site Plan Received 6-7-21

We have completed our review of the proposed revised preliminary plat site plan dated 5-17-21 and received in our office on 6-7-21 for the above referenced project.

Kentwood Engineering has the following comments that will need to be addressed before this office can grant site plan / construction plan approval:

Overall Plan Comments:

- Please label the property lines with distances and bearings. 1.
- The cover sheet, watermain and sanitary sewer plan sheets must be prepared in 2. accordance with the City of Grand Rapids drafting standards. Any improvement sheet(s) listed in the sheet index on the cover sheet must include the words, "FOR REFERENCE ONLY".
- The multiple parcels at this site must be combined into a single parcel. This is required 3. whenever new development spans across adjacent parcels. Please contact the Kentwood Assessor, regarding this procedure.

Street / Sidewalk / Parking Lot:

- Dimension the proposed curb radii at the drive entrance. 1.
- A payement section detail must be shown on the plan for the private street. 2.
- What is the proposed name of the proposed street? Approval of the name will be 3. required from the City of Kentwood.
- For any curb cut which terminates less than five (5) feet from a construction joint, the 4. contractor shall remove and replace the existing curb to the next joint.
- Include the City of Kentwood General Notes on the plan(s). These notes are required 5. for the work being performed in the Wing Avenue right-of-way. Highway permit conditions, specifications and required general plan notes are posted on the City's website and can be accessed at http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "RIGHT-OF-WAY" link near the top of the page).

2920 52nd Street, 2854 52nd Street, and 5491 Wing Avenue Page 2 of 7

- 6. Sidewalks will be required on both sides of the street unless this requirement is waived by the Planning Department. These may be placed as part of the street construction or as each individual home is built. If sidewalks are deferred, the plans must carry a prominent note to this effect.
- 7. Additional comments regarding the street and/or sidewalk may be made upon receipt of construction plans.

Grading:

- 1. Please identify at least one (1) benchmark on the plan.
- 2. Indicate the proposed limits of grading on the site plan. A thick, shaded line works well for this.
- 3. Proposed grading (contours) will be needed to show proposed surface drainage patterns.
- 4. Show minimum window opening elevations for each of the structures. In accordance with Section 78-125(a)(2) of the City of Kentwood Ordinance, this elevation must allow 1 foot of freeboard above the high storm water level (in the basin), one foot above the 1% chance (100-year) floodplain, three feet above the top of any downstream culvert, four feet above the bottom of any drainageway, and five feet above the bottom of any drainageway that could be enclosed in pipe in the probable future.
- 5. Additional comments regarding grading will be made upon receipt of construction plans.

Storm Sewer / Drainage:

- 1. Provide a tributary area map and calculations to verify the capacity of the proposed and existing storm pipes to carry a 10-year storm (or a 100-year event if no overland floodway is provided). Use the Kentwood Storm Sewer Design Standards available on the City's website; they contain a Kentwood-specific IDF curve and time of concentration (T_c) nomograph. Use a minimum initial T_c of 10 minutes. Maintain a minimum cleansing velocity of 2.5 ft/sec in the pipes. Calculations must be sealed by a registered engineer.
- 2. The Kentwood Standard Specifications allow a 5-year frequency storm for the design of storm sewers in a residential development.
- 3. We need to see a profile of the proposed storm sewer.
- 4. Please indicate the type of material being used for the storm pipe in various areas (i.e., under the roadway, under lawn areas, etc).
- 5. For each of the storm pipes, indicate the size, slope, length and invert elevations.
- 6. All developments must carry a floodway through the development to preclude property damage. Overland floodways for a 1% chance (100-year) storm event will need to be designated.

2920 52nd Street, 2854 52nd Street, and 5491 Wing Avenue Page 3 of 7

- 7. According to Section 78-125(b)(6) of the Kentwood Stormwater Management Ordinance, a minimum rear yard of 25 feet prior to any drainage encumbrance is required. This will allow opportunity for rear yard use for sheds, play equipment etc., without concern about water damage or inconvenience. The proposed lots do not appear to be deep enough to allow adequate rear yards outside of the drainage easement.
- 8. Basement under-slab and basement footing drains will be needed in the case of impervious soils or if the footings will be within 2 feet of the water table. If needed, these drains must be <u>pumped</u>, with a hydraulic break occurring outside the structure in the event of a storm sewer backup to prevent flooding of the basement of the structure. The City of Kentwood will not allow a direct gravity connection to the storm sewer, even if a check valve is provided.
- 9. Additional comments regarding drainage will be made upon receipt of construction plans.

Detention Basin:

- 1. On-site stormwater detention will be required for this parcel. Section 78-123 of the City of Kentwood Ordinance requires that the new detention facility be sized for the entire parcel in a *fully developed condition*. We will need to see these calculations.
- 2. Stormwater detention for this development is shown offsite. Drainage easements will be needed for the basin and storm sewer.
- 3. The amount of detention volume required may be based on an estimate of the percentage of impervious surface area based on the Kent County Subdivision Drainage Rules (short method #1), based on 0.1 acre-ft per acre for the entire parcel (short method #2) or, alternately, a tabulation of actual reservoir routing (long method). Routing calculations usually result in the lowest required volume. The detention sizing must be based on a 25-year storm. We will need to see detention sizing and release calculations.
- 4. We need to see a more detailed drawing of the proposed detention basin outlet control structure.
- 5. More details of the proposed on-site storm detention basin, including contours and calculations, are needed.
- 6. Kentwood allows a maximum detention release rate of 0.33 cfs/acre, based on the total parcel size.
- 7. The minimum diameter restrictor pipe size is 4 inches.
- 8. A low flow channel will be needed across the bottom of the detention basin between the end section(s) and the outlet structure with a minimum grade of 0.6 percent. This may consist of 4" concrete, grouted riprap, or properly sized riprap, all on filter fabric (MDOT "Geotextile Liner"). Both the surface material and the fabric must be toed in at least 18 inches at all earth interfaces. The remainder of the basin bottom shall have a minimum 2 percent slope to the low flow channel.

2920 52nd Street, 2854 52nd Street, and 5491 Wing Avenue Page 4 of 7

- The emergency outlet pipe must be capable of carrying a 10-year, fully developed nondetained storm flow. Please provide calculations to show that the pipe can carry this flow.
- 10. An emergency spillway may also be used instead of an outlet pipe. Section V(E) of the City of Kentwood Standard Specifications for Design and Construction of Storm Detention Storage requires that the detention basin spillway "shall be constructed of hot-rolled plant mix asphalt or concrete and must extend from the top of the berm to the intersection with the outfall channel. All interfaces with native soil shall be toed in." Show a detail on the plans.
- 11. A 15-foot-wide flat maintenance shelf for vehicular access is required for the detention basin.

Soil Erosion and Sediment Control:

- 1. We will need to see some additional soil erosion control measures as part of the plan review. Section 78-62 of the City of Kentwood Ordinance (posted on the City's website) contains minimum requirements for information that shall be included on the plan. Go to: http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORMWATER" link near the top of the page). Please review this ordinance carefully.
- 2. Per the requirements of Part 91 of Public Act 451, all proposed grading and soil erosion controls must be shown on a sheet(s) titled, at least in part, "SOIL EROSION AND SEDIMENTATION CONTROL PLAN". This plan should show surface features related to grading and soil erosion and sediment control. The SESC Plan may be combined with other plans and improvements as long as clarity is retained. Two (2) copies of this sheet, once approved, will need to accompany the application for an earth change.
- 3. We need to see existing and proposed topography at a maximum of five (5) foot contour intervals. The existing topography shall include structures and natural features outside the site boundary line within 50 feet.
- Include a written description of the soil types of the exposed land area contemplated for an earth change.
- 5. Place a note on the soil erosion control plan to indicate that existing and new catch basins shall be protected with an inlet filter drop (silt sack). Straw bales or fabric placed under the grate are NOT acceptable, and sediment traps alone are not sufficient to provide adequate sediment filtration. Such a note might read, "EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FABRIC DROP (SILT SACK)." Include a simple detail of the proposed silt sack on the Soil Erosion and Sediment Control plan. We can provide you with an acceptable CAD detail upon request.
- Place the following notes on the soil erosion control plan:
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC ACT 451.
 - ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.

2920 52nd Street, 2854 52nd Street, and 5491 Wing Avenue Page 5 of 7

- ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
- EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED. (This area of disturbance, or grading limits, must be clearly shown on the site plan.)
- SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE. (Remember that silt fences are intended to intercept sheet flow only and must always be installed parallel with the ground contours. Silt fences must not cross ravines, overland floodways, ditches, swales, etc. where concentrated flows occur.)
- ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 AND THE DETENTION BASIN BANKS AND BOTTOM MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF. (Indicate such areas with shading or hatching on the plan.)
- ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
- NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT DOES
 OCCUR, IT SHALL BE CLEANED DAILY.
- THE STORMWATER DETENTION BASIN IS TO BE THE FIRST ITEM OF EARTH MOVING AND SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE INSTALLATION OF SOIL EROSION CONTROL MEASURES.
- 7. Per the requirements of Part 91 of P.A. 451, place on the soil erosion control plan a bar graph or chart showing the proposed timing and sequence of each proposed earth change. It must include the installation of both permanent and temporary soil erosion and sedimentation controls, as well as the removal of temporary controls. It must also show the sequence of any construction phases.
- 8. A stone construction exit must also be included as part of the soil erosion control plan. Indicate the location of this exit on the plan, along with a detail. The length of the rock construction exit shall be at least 50 feet and shall consist of a 6-inch minimum layer crushed rock or stone on top of non-woven geosynthetic fabric (MDOT "Heavy Geotextile Liner"). The size of the stone shall be selected so that it cannot get caught between dual truck tires.
- 9. Additional soil erosion and sediment control comments may be made by Kentwood staff upon further review.

Utilities (Sanitary & Water):

2920 52nd Street, 2854 52nd Street, and 5491 Wing Avenue Page 6 of 7

- 1. The City of Grand Rapids owns, operates and maintains the sanitary sewer collection and water distribution systems in this portion of Kentwood. Any alterations, extensions or new connections to either of these systems will require approval from Grand Rapids. Construction plans (drafting standards) and specifications for the proposed watermain and sanitary sewer must conform to Grand Rapids requirements.
- A construction agreement with the City of Grand Rapids will be required for the new watermain and sanitary sewer.
- 3. A representative of the City of Kentwood Inspections Department must be present when the tap is made into the existing sanitary sewer.
- 4. The Grand Rapids Water Department must be present to make the tap into the existing watermain. Notify the Grand Rapids Water Department before making the connection to the existing service lateral.
- Deferred frontage assessments and/or trunkage (hookup) fees for water and sanitary sewer may be due upon hookup or development. Contact the City of Grand Rapids (Larry Olson, 456-4074) for any assessments for utilities (water & sewer) that may be due.
- 6. Private streets and driveways require self-contained drainage. For an inverted crown pavement, standard locations for utilities are storm sewer on the centerline, watermain 10 or 19 feet north or west, and sanitary sewer 6 feet south or east.
- 7. Additional comments regarding utilities will be made upon receipt of construction plans.

Required Permits, Bonds, Fees [and Escrow]:

- 1. Because this parcel is adjacent to a public street, over one (1) acre is being disturbed, and is within 500 feet of a lake or steam, a Permit for an Earth Change (fee \$400) and a \$5,000 soil erosion control performance bond or an irrevocable letter of credit using the City of Kentwood format will be required through Kentwood Engineering. The Owner/Developer must sign the Permit for an Earth Change. Both the Owner/Developer and the Contractor must be named on the bond. Please contact us if you need a permit and/or a bond template form, or one can be accessed on the City's website at http://www.ci.kentwood.mi.us (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORM WATER" link near the top of the page). There is a 365-day limit to complete the work under this permit.
- 2. An NPDES Notice of Coverage will also be needed as the proposed area of disturbance exceeds 5 acres. At the time the Earth Change permit is issued by the Kentwood, your Notice of Coverage will immediately become effective as a "permit-by-rule" as soon as the NOC has been properly filed and the appropriate fee is paid.
- 3. Your contractor will need a Drive Permit from Kentwood Engineering for the proposed private drive into the Wing Avenue right-of-way. A \$10,000 annual ROW bond or an irrevocable letter of credit using the City of Kentwood format and a certificate of insurance (with the City of Kentwood named as additional insured) will also be

2920 52nd Street, 2854 52nd Street, and 5491 Wing Avenue Page 7 of 7

required. We will need to see a plan of the proposed commercial driveway at a plan scale no greater than 1" = 50'. Contact us if you need a permit and/or bond form, or they can be accessed on the City's website. Highway specifications, general conditions and required plan notes are also posted on the City's website.

- 4. A \$30,000 Site Grading and Stormwater Management Bond or an irrevocable letter of credit using the City of Kentwood format and an administrative fee of \$600 will be required through Kentwood Engineering. This bond is posted to assure that the plan, once approved, is constructed in the field according to that plan. Both the Owner/Developer and the Contractor must be named on the bond. Let us know if you need our bond template, or it can be accessed on the City's website.
- A permit will be needed from the MDEQ for the proposed work within the existing wetlands.
- 6. Please note that <u>all</u> required bonds and permit applications and fees must be submitted to, and accepted by, Kentwood Engineering *before any permits can be issued!* There will be no "partial" or "conditional" permits issued.

Miscellaneous / Reminders:

- Please be advised that at the completion of construction, a civil engineer or surveyor
 will need to provide an as-built plan to the City of Kentwood with a certification by a
 registered engineer stating that the site grading and the stormwater system were
 constructed in accordance with the approved plans. A copy of the certification form is
 available upon request or on the City's website.
- 2. The City of Grand Rapids will require a pre-construction meeting for this project. Please notify us of the time and location of this meeting, as we must have a representative in attendance! Otherwise, we will require a separate pre-construction meeting be held. We will address other construction-related topics at that time.
- 3. Remember that, for a Building Permit to be issued, other City departments (fire, assessor, treasurer, water, planning) may have comments regarding this plan. Contact Kentwood Inspections (Renee Hargrave, 554-0781) regarding building permit application procedures, fees, plan requirements and approval status.
- 4. Once final approval by all departments has been granted, make sure the contractor has the <u>latest approved</u> set of plans before beginning construction!

Should you have any questions regarding this department's review, please feel free to contact our office.

cc: Kentwood Engineering Permit Staff
Rick Pulaski, Nederveld, rpulaski@nederveld.com



LENTWOOD

JENTING PRO

SUCH

OF PRO

PRING LAT

PRING LAT

Form: PLAN REVIEW - IFC

2015

Occupancy: Lakewood Ravines

Occupancy ID:

Address: 2920 52nd ST SE

KENTWOOD MI 49508

Inspection Type: SITE PLAN ONLY

Inspection Date: 6/25/2021

By: QUICK, PATRICK A (0281)

Time In: 10:33

Time Out: 00:00

Authorized Date: Not Authorized By:

Inspection Topics:

INTRODUCTION

REVIEW REQUIREMENTS.

We have reviewed your plans for the above facility. The following items are noted for compliance with code requirements. Code references to the International Fire Code 2015, as amended, are noted IFC; references to the Michigan/International Building Code are noted MBC; references to the City of Kentwood Code of Ordinances are noted KC; references to National Fire Protection Association codes and standards are noted NFPA. Please review the appropriate code for further details. All construction and processes must meet applicable code provisions.

Status: PLAN REVIEW

Notes:

GENERAL; CONSTRUCTION AND DEMOLITION

SUPPLEMENTAL ADDRESS NUMBERS.

Install supplementary _____ inch Arabic address numerals on a post or mailbox on the same side of the public road as, and directly in front of, the building in such a manner as to be readily visible to occupants of fire department vehicles on the public road. (IFC 505.1.2.4, 505.1.3)

Status: PLAN REVIEW

Notes:

HYDRANTS REQUIRED.

Construction involving combustible building materials shall not occur until operable fire hydrants are in place within 500 road feet of the furthest point of any building being constructed. (IFC 3312.1)

Status: PLAN REVIEW

Notes:

SUPPLEMENTAL HYDRANTS.

Supplemental hydrants. Install supplemental fire hydrants per site plan on a minimum 6" public water main. (IFC 507.5.2) Hydrants must be East Jordan 5BR with two 2-1/2" and one 4" outlet in conformance with Kentwood specifications and be painted safety yellow.

Status: PLAN REVIEW

Notes:

Additional Time Spent on Inspection:

Category Start Date / Time End Date / Time

Notes: No Additional time recorded

Total Additional Time: 0 minutes

Inspection Time: 0 minutes

Total Time: 0 minutes

Summary:	
Overall Result: Plan Review	
Plan Review Completed.	
Inspector Notes:	
Inspector:	
Name: QUICK , PATRICK A Rank: FI Work Phone(s): (616) 915-4265 Email(s): quickp@kentwood.us	
Signature	Date

CITY OF KENTWOOD CITY COMMISSION APPROVED FINDINGS OF FACT JULY 20, 2021

June 14, 2021

PROJECT:

Lakewood PUD

APPLICATION:

17-21

REQUEST:

Motion by Groce, seconded by Artz, to adopt Ordinance 6–21 to conditionally rezone 6.8 acres of land from R1-B to RPUD-2 Single Family Residential PUD and approve the Preliminary Site Plan dated June 16, 2021 for Lakewood PUD, Case 17-21 subject to conditions 1-8 and basis points 1-4. Roll Call Vote: Yeas: All. Nays: None. Absent: None.

Ordinance Adopted

LOCATION:

2720 52nd Street, 2854 52nd Street (part), 5453 Wing Avenue

and 5491 Wing Avenue (part)

HEARING DATE:

July 20, 2021

RECOMMENDATION:

Motion by Holtrop, supported by Benoit, to recommend to the City Commission conditional approval of the rezoning of 6.8 acres of land from R1-B to RPUD-2 Single family Residential Planned Unit Development and approval of the Preliminary PUD Site Plan dated June 16, 2021 for the Lakewood PUD Project as described in Case No. 17-21. Application is

conditions on Conditions 1-8 and basis points 1-4 as described

in Golder memo dated June 14, 2021.

- Motion Carried (9-0)-

- Yeas: Benoit, Brainerd, Holtrop, Jones, Kape, Morgan, Poyner,

Pemberton, Quinn Nays: None

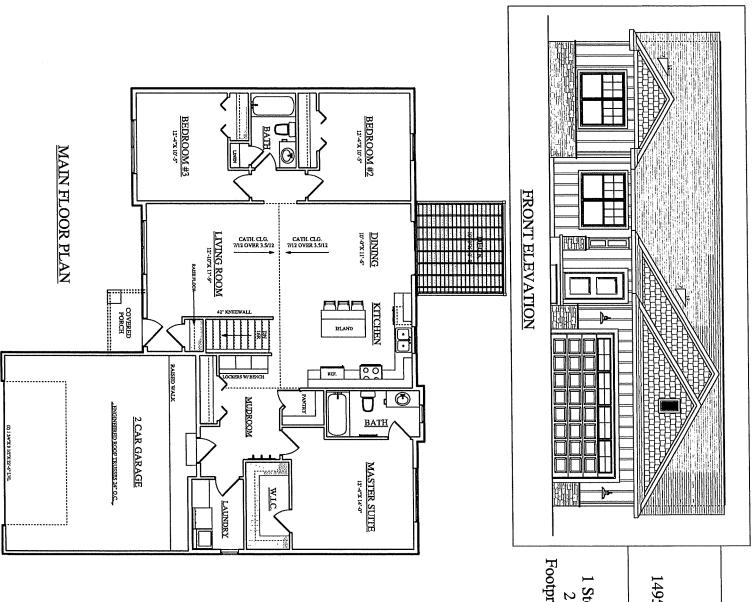
CONDITIONS:

- 1. Review and Approval of the PUD Statement dated May 17, 2021 for the Lakewood PUD, and review and approval of the Lakewood PUD Development Agreement by Kentwood staff and the City Attorney. The PUD Statement and Development Agreement shall include, but not be limited to, the following:
 - a. Restrictions prohibiting the rental of more than one unit by a single purchaser.
 - b. A statement regarding the improvements to be undertaken by the developers of the project.
 - c. Detail on sidewalk provided in the development, open space within the development, and the maintenance of these areas.
 - d. Detail regarding any public or private road improvement required for the development.
- 2. City Staff and City Attorney review and approval of all condominium documents, including but not limited to, the condominium bylaws, the master deed, and the complete condominium subdivision plan. An expandable condominium, as defined in the Michigan Condominium Act, MCL 559.106(4) shall not be permitted. Convertible area, as defined in the Michigan Condominium Act, MCL 559.105(3) shall not be permitted.
- 3. Compliance with the City Engineer's memo dated June 16, 2021.
- 4. Review and approval by the Kentwood Fire Marshal.
- 5. Applicant shall obtain permits from the Michigan Department of Environment, Great Lakes, and Energy for wetland mitigation prior to the issuance of construction permits on the site.
- 6. Staff review and approval of the preliminary landscaping and lighting plans for the site. The landscaping plan shall indicate how the developer intends to preserve significant stands of trees.
- 7. Review and approval by staff of building elevations proposed within the project.
- 8. City Commission approval of the rezoning of the site from R1-B to RPUD-2 Single Family Residential Planned Unit Development.

Findings of Fact Case No. 17-21 Lakewood Rezoning and Preliminary Site Plan Page 3

BASIS

- 1. The PUD Statement and Development Agreement will address issues such as deviations from the ordinance requirements, improvements to be provided by the developer, and other requirements or restrictions made by the city. The review and approval of these documents will hold the development to these standards and give additional direction to the applicant as the project develops.
- 2. Review of condominium documents will ensure that the site plan, the proposed improvements, the restrictions on convertible area and the rental of condominium units by the developer are addressed and recorded for the benefit of prospective owners.
- 3. The landscaping plan shall include information on required street trees along 52nd Street, Wing Avenue, and the private road, as well as other landscaped areas and areas in which the existing vegetation will be retained.
- 4. Discussion during the work session and public hearings.

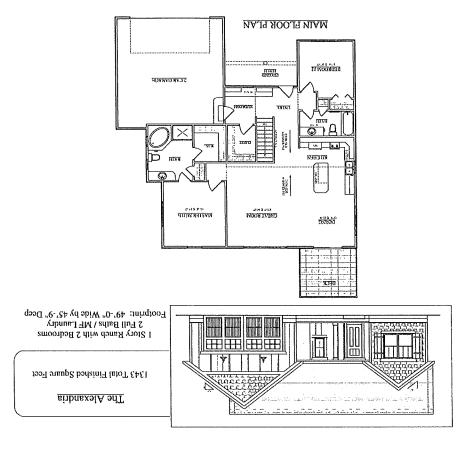


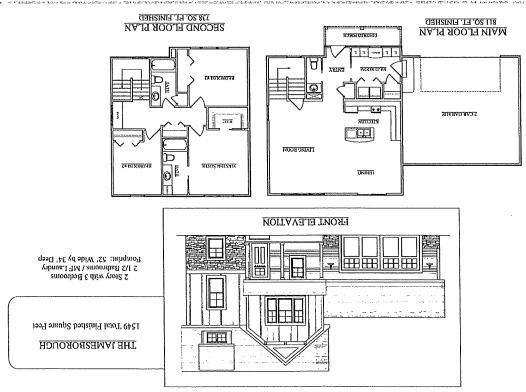
The Clearview

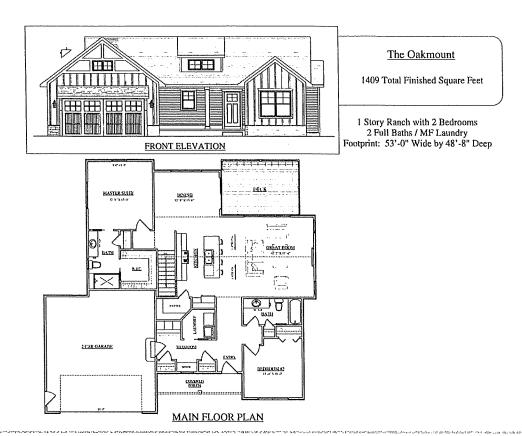
1495 Total Finished Square Feet

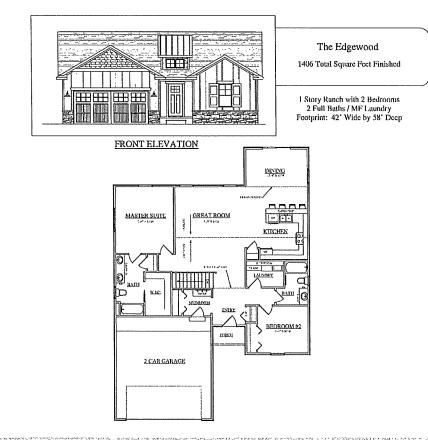
1 Story Ranch with 3 Bedrooms 2 Full Baths / MF Laundry Footprint: 52' Wide by 47-10" Deep

Lakewood Ravines Single Family Home Styles (All homes fit on 70 ft lots)









Lakewood Ravines
Single Family Home Styles
(All homes fit on 70 ft lots)

SITE LOCATION MAP

LEGEND

Experience . . . the Difference -

EXISTING BITUMINOUS



LEGAL DESCRIPTION

2920 52ND STREET SE [41-18-34-200-054]
411834020054 PART OF NE 144 COM3*19:06 FT S 880 38M 058 E ALONG IN SEC LINE & 54.07 FT S 00.49M 38S E FROMIN 144 CORT HELY 28/71 FT ALONG SLY LINE OF 52ND ST ON A 7882 24 FT RAD CURVE TO RT A ONIG CHORD BEARS 560 24M 505 E 4266 FT IT 15 80 98M 055 E ALONG SUY LINE 300 25T TO E LINE OF WIZE 144 THIS 500 46M 395 E ALONG SD E LINE 28/23 FT TO S LINE OF N 332 40 FT OF WIZE 144 THIN 800 36M 055 WALONG SD S LINE 00 10FT THIN 100 48M 39S W 278 34 FT TO BEQ * SEC 34 T8N R11W 3 9A A. SPUT ON 05/05/2005 FROM 41-18-34-200-043.

\$253 WING AVENUE SE [41-18-34-200-040]
PART OF NE 144 COM AT NE COR OF \$ 2012 FT OF W 1/2 NE 1/4 TH W ALLONG N LINE OF \$ 2012 FT OF W 1/2 NE 1/4 TO FAUND OF W 8005 FT OF NE 1/4 TH S ALLONG SD E LINE FROM N LINE OF \$ 1802 FT OF W 1/2/NE 1/4 TH E PARAWITH EBW 1/4 LINE 403 56 FT TO W LINE OF E 255 FT OF W 1/2 W 1/4 TH A NLONG SD OF UNE TO N LINE OF \$ 2002 FT OF W 1/2 W 1/4 TH A NLONG SD N LINE TO LINE OF \$ 2002 FT OF W 1/2 NE 1/4 TH A NLONG SD N LINE TO LINE OF W 1/2 W 1/4 NE 1/4 N ALLONG SD N LINE TO ELINE OF W 1/2 NE 1/4 TH N TO BEG* SEC 3/4 T8N R11W 2/2 4 A.

PORTION OF: 2854 52ND STREET SE [41-18-34-200-053]
411834200059 PART OF NE 144 COUNT OF FT S CO - 5812/36 E ALONG NBS 114 LINE FROM N 144 COR TH S 880
38M 055 E ALONG SLY LINE OF 5200 ST 220.05 FT THE LY 501 30 FT ALONG SD SLY LINE ON A 7778-86 FT
RAD CLINE TO IT ALONG CHOOLE DERAS S 580 - 4807 SE 201 36 FT TH NE 00 GTAL 2015 E ALONG SD SLY
LINE 137.56 FT TH ELY 49:31 FT ALONG SD SLY LINE ON A 7690 24 FT RAD CLIRVE TO RT ALONG CHOOLE
BEARS N 800 18M 25: 433 FT FT HS 30 -5441 395 E 270 83 FT TO S LINE OF N 322 46 FT OF W 122 NE 14 TH N
690 38M 055 W ALONG SD SLIEN 193 36 FT TO NAS 144 LINE TH N 30 G 440 25 W ALONG NOS LINE ST
FT TO BEG * SEC 34 TON R11W 4 49.3 A SPLIT ON 0505/2005 FROM 41-18-34-200-043;

PORTION OF: 5491 WING AVENUE SE [41-16-34-200-032]
S772F1 OF W 1/2 NE 1/4 EX S 20 A ALSO N 1540F1 OF S 2312 F1 OF W 680 F1 OF W 1/2 NE 1/4 * SEC 34 T6N R1 W 26 29 A

www.nederveld.com 800.222.1868 **GRAND RAPIDS**

ANN ARBOR

CHICAGO COLUMBUS HOLLAND INDIANAPOLIS

PREPARED FOR:

Lakewood Homes LLC Jack Workman

3347 Sandy Beach Wayland, MI 49348 Phone: 616.437.4367

REVISIONS:

Titler Preliminary RPUD Submittal
Drawn: DC Checked: RP Date: 2021.05.17
Title: Revised Preliminary RPUD Submittal Drawn DC Checked: RP Date: 2021.06.16
Title: Revised Preliminary RPUD Submittal

Drawn: DLC Checked: DC Date: 2021.07.15
Title: Revised Preliminary RPUD Submittal Drawn GAN Checked RJB Date: 2024 03:29

LAKEWOOD

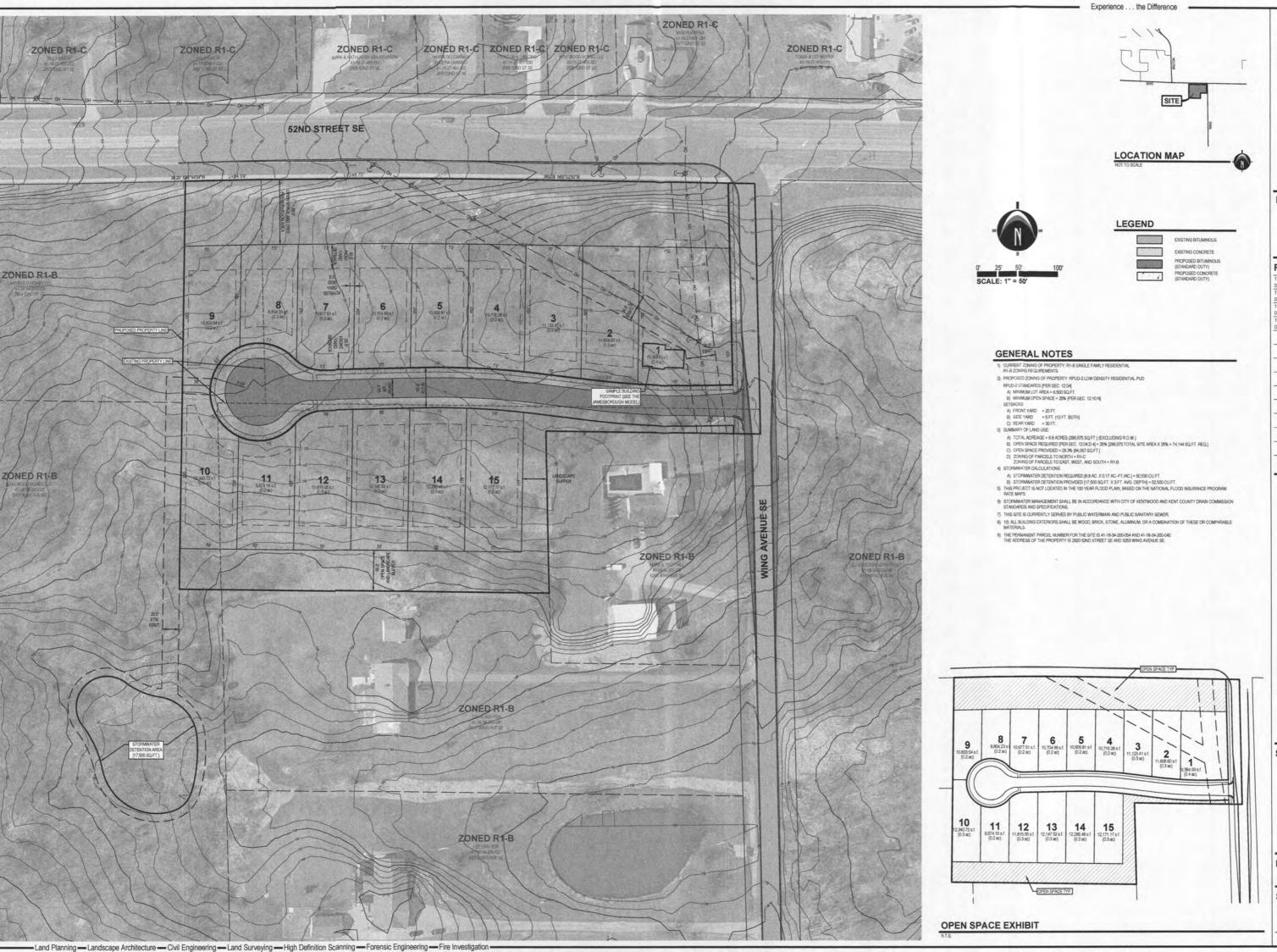
Existing Conditions

PART OF 2845 52ND, PART OF 5491 WING AVE. AND 52.
PART OF THE NW 14 OF SECTION 34, TBN. R11W,
CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

2920

STAMP: ROGER JACK BARR II

PROJECT NO:



GRAND RAPIDS

ANN ARBOR CHICAGO COLUMBUS HOLLAND INDIANAPOLIS

PREPARED FOR:

Lakewood Homes LLC Jack Workman

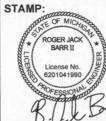
3347 Sandy Beach Wayland, MI 49348 Phone: 616.437.4367

REVISIONS:

Drawn: GAN Checked: RJB Date: 2024.03.29

Site Layout Plan
PART OF 2854 52ND, PART OF 5491 WING AVE, AN
PART OF THE NW 1/4 OF SECTION 34, TBN R11W
CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

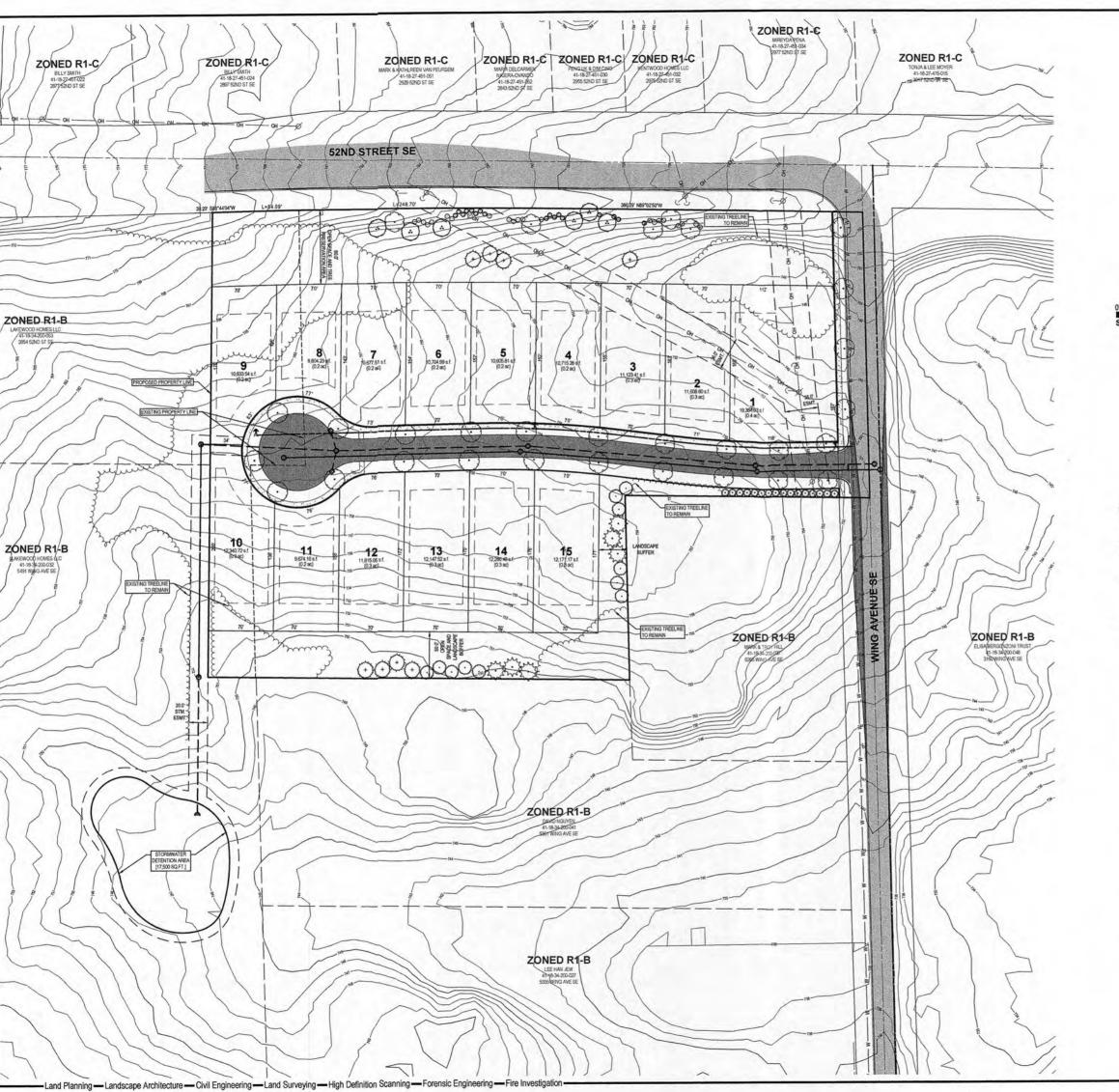
LAKEWOOD

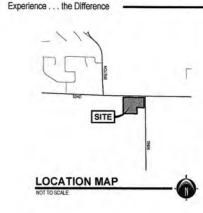


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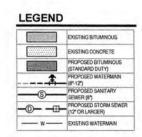
24400203

SHEET NO: C-205



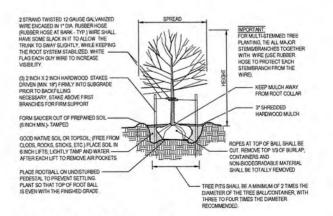






PLANT SCHEDULE

	_				
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
()	Вс	Betuta nigra 'Cully Improved' TM / Heritage Improved River Birch	2.5° cal. min.	6	
\odot	Ns	Nyssa sylvatica / Tupsio	2.5" cal. min.	15	
3.4	Pa	Pices ables / Norway Spruce	7 hgt. avg.	6	
0	Pd	Pices glauca 'Densata' / Black Hills Spruce	7 hgt avg.	11	
(:)	Pb	Pistanus x acerifolia 'Bloodgood' / Bloodgood London Plane Tree	2.5° cal. min.	4	
0	Тр	Thuja occidentalis 'Hetz Wintergreen' / Hetz Wintergreen Arborvitae	6 hgt avg.	16	
(·)	Tm	Titia americana 'McKSertry' TM / American Sertry Lindon	2.5° cal. min.	11	
0	To	Tsuga canadensis / Canadian Herrilock	7 hgt. avg.	8	
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
0	Cr	Comus seriosa / Red Twig Dogwood	5 gal.	21	
0	Va	Viburium dontalum / Viburium	5 gal.	17	



TYPICAL TREE PLANTING DETAIL

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GRAND RAPIDS

ANN ARBOR

CHICAGO COLUMBUS

HOLLAND INDIANAPOLIS

PREPARED FOR: Lakewood Homes LLC Jack Workman

3347 Sandy Beach Wayland, MI 49348 Phone: 616.437.4367

REVISIONS:

Title: Preliminary RPUD Submittel
Drawn: DC Checked: RP Date: 2021.05.17
Title: Revised Preliminary RPUD Submittel Drawn: DC Checked: RP Date: 2021.06.16
Title: Rovised Prefirmary RPUD Submittel Drawn DLC Checked DC Date 2021 07:15
Title: Revised Pretiminary RPUD Submittel

Drawn: GAN Checked RJB Date: 2024 03:29

Plan

Preliminary Utility and Landscape 2920 52ND ST, PART OF 2854 52ND, PART OF 5491 WING AVE, AND 5253 WING PART OF THE NW 14 OF SECTION 34, T6N, R11W, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

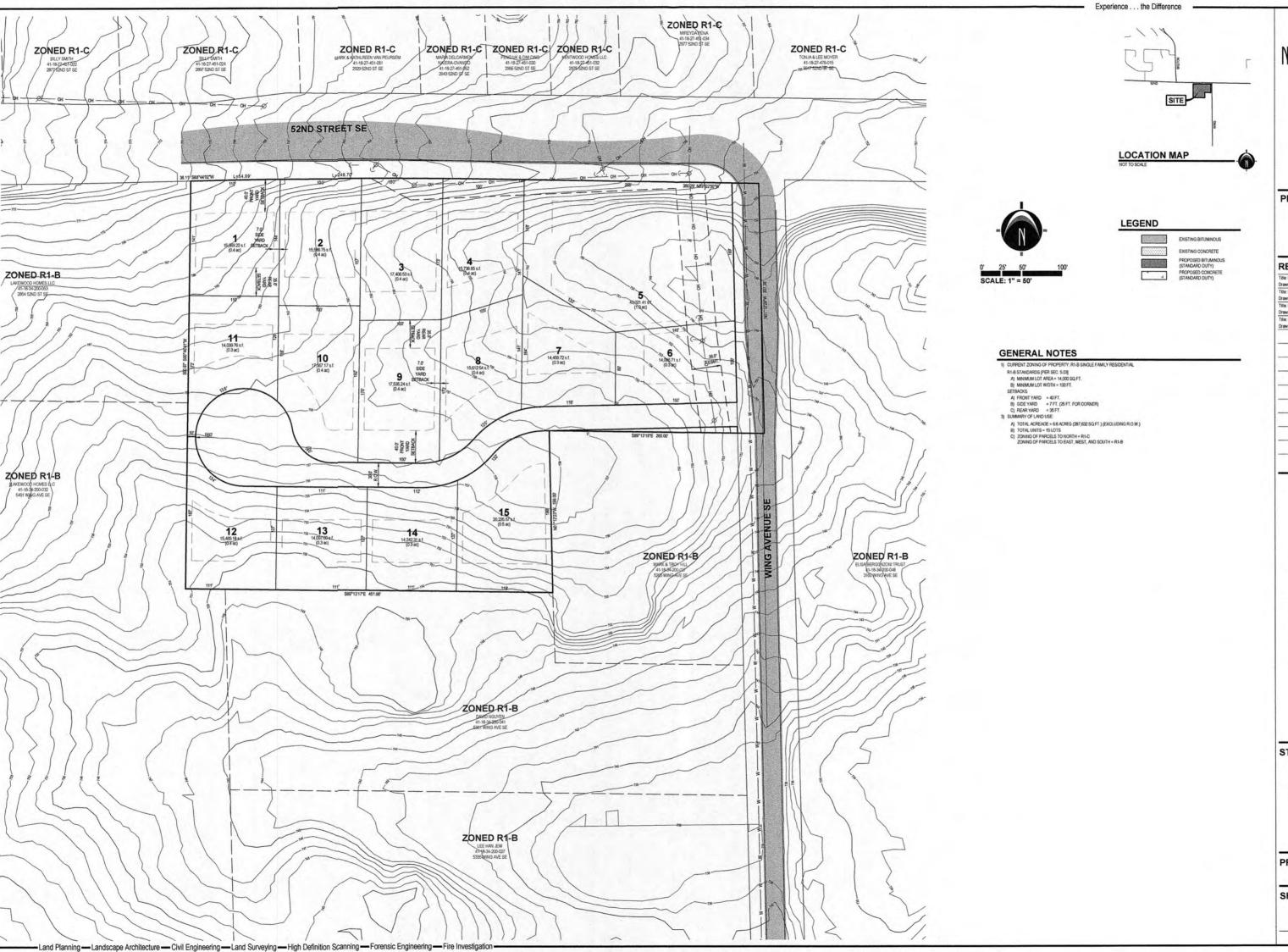
AKEWOOD

STAMP: ROGER JACK BARR II

PROJECT'NO: 24400203

SHEET NO:

C-300



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GRAND RAPIDS

ANN ARBOR CHICAGO COLUMBUS HOLLAND

PREPARED FOR:

Lakewood Homes LLC Jack Workman

INDIANAPOLIS

3347 Sandy Beach Wayland, MI 49348 Phone: 616.437.4367

REVISIONS:

Take Perisimany RPUD Submittal
Drawn DC Checked RP Date: 2021.05.17
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Title Revised Prefirmary RPUD Submittal
Drawn DLC Checked DC Date: 2021.07.15
Title Revised Prefirmary RPUD Submittal

Drawn: GAN Checked: RJB Date: 2024.03.29

LAKEWOOD

Parallel Plan
ST. PART OF 2854 52ND, PART OF 5491 WING AVE. AND 52
PART OF THE NW 1/4 OF SECTION 34, TBN, R11W,
CITY OF KENTWOOD, KENT COUNTY, MICHIGAN

STAMP:

PROJECT'NO:

24400203

SHEET NO: PP STAFF REPORT: May 7, 2024

PREPARED FOR: Kentwood Planning Commission

PREPARED BY: Joe Pung

CASE NO.: 12-24 Kentwood Community Center

GENERAL INFORMATION

APPLICANT: City of Kentwood

4900 Breton Avenue, SE Kentwood, MI 49508

STATUS OF

APPLICANT: Property Owner

REQUESTED ACTION: Site Plan Review for a Community Center

EXISTING ZONING OF

SUBJECT PARCEL: OS Open Space

GENERAL LOCATION: 4755 Walma Avenue

PARCEL SIZE: 13.8 acres

EXISTING LAND USE

ON THE PARCEL: Fire Station

ADJACENT AREA

LAND USES: N: Kentwood Middle School & Apartment Complex

S: Apartment Complex & Walma Avenue ROW

E: Walma Avenue ROW

W: Senior Apartment Complex & Breton Avenue ROW

ZONING ON ADJOINING

PARCELS: N: OS Open Space & RPUD-1 Attached Residential

S: R4 High Density Residential & OS Open Space

E: OS Open Space

W: R4 High Density Residential

Staff Report Case No.: 12-24

Page 2

Compatibility with Master Plan

The Master Plan recommendation is Park-Open Space and Institutional use for this site (the area of the fire station is master planned institutional while the area for the proposed community center is master planned park-open space). The proposed use is consistent with the Master Plan recommendation for open space use of the property along with the goal to create a city campus.

Relevant Zoning Ordinance Sections

The property is zoned OS Open Space, and the proposed community center is permitted use in the OS Open Space district. Although the community center is a permitted use, which are not generally reviewed by the Planning Commission, Article IV of the Michigan Planning Enabling Act does require Planning Commission review and approval. Section 13.09 of the Zoning Ordinance outlines the general review standards and Section 14.05 outlines the general site plan review standards.

Zoning History

The site was rezoned to OS Open Space in 2023, prior to the rezoning the property had been zoned C4 Office.

SITE INFORMATION

Site Characteristics

The development area is generally flat and heavily wooded. The elevation drops off as the property approached Breton Avenue. There are wetland areas on the property.

Traffic & Circulation

The site will be accessed from a single driveway off of Walma Avenue. The site has frontage along Breton Avenue; no access off of Breton Avenue is proposed.

Parking

Based on the proposed uses for the community center, staff has estimated that a minimum of 160 parking spaces would be required; 223 parking spaces are proposed.

For non-residential parking adjacent to a residential use or district, Section 17.06.C of the zoning ordinance requires a minimum 45-foot parking setback with the 20 feet nearest the property line developed as a buffer with a six (6) foot high vertical screen. The front yard parking meets the setback requirement from the north property line; additional detail is required to verify that the screening requirement is met. The rear yard/side yard parking exceeds the setback requirements from the south property line; existing vegetation that is retained may be sufficient to comply with the screening requirement, but additional information will be needed to verify.

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Page 3

Engineering

All applicable Engineering Department standards and requirements will have to be met.

Fire

All applicable Fire Department standards and requirements will have to be met.

Staff Comments

- 1) The applicant is proposing a 77,000+ square foot community center which will include fitness studios, fitness center, basketball courts, community room, indoor track, etc.
- The applicant has indicated that it is the intent allow outdoor events (which would take place on the west side of the building) to play amplified music, this area and would be within 120 feet of an adjacent residential property to the north. The city currently requires a Sound Permit for any outdoor event using amplified sound and complaints fall under the city's nuisance ordinance. The city is currently looking at the adoption of a noise ordinance which would identify maximum allowable noise levels, etc.
 - In 2017 the city approved the conditional rezoning of property at the southwest corner of 32nd Street and Shaffer Avenue for an event center (3Two Ranch) which was adjacent to a residential district. As a condition of the rezoning approval, outdoor amplification was prohibited.
- 3) Food trucks would be allowed to cater for events, but generators would not be allowed. A dedicated power source would be provided.
- 4) Exterior building elevations are not yet available.
- 5) With the exception of required shrubs, the minimum landscaping requirements of Section 19.03.C of the zoning ordinance appear to be are met.
- An exterior photometric plan will have to be reviewed and approved by city staff to verify compliance with the lighting standards of the zoning ordinance.

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Exhibit 1: Project Location



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Exhibit 2: April 2023 Pictometry Photo



Staff Report Case No.: 12-24 Page 6

Exhibit 3: April 2023 Pictometry Photo





KENTWOOD PARKS AND RECREATION DEPARTMENT

355 48th St. SE, Kentwood, MI 49548 616.656.5270 - kentwood.us/parks

The new Community Center is intended to be a gathering place for the Kentwood Community. It will be centrally located, adjacent to City Hall and across the street from the Justice Center. It will be nestled in 14 wooded acres bordered by Walma Street and 44th Street, and flanked by Crestwood Middle School, Whitney Young Village, and Pineview Apartments. Here in the heart of our city we will create a place where people will want to spend time hanging out, working out, meeting friends, or grabbing a beverage.

The Community Center will offer 77,000+ square feet over two levels. It will include multiple fitness studios, a designated fitness center, a large community room with outdoor event space, three full-sized basketball courts, an indoor track, teen room, child sitting, multi sport simulator, multipurpose room, and a bistro. We will expand long-time favorites and introduce new classes and programs we were unable to offer before.

We will be the only Parks and Recreation facility in West Michigan with a liquor license, allowing us to elevate the daily experience, make rentals more desirable, and further increase revenue for the city. This has been a successful addition to facilities on the east side of the state and we are incorporating their best practices and lessons learned.

Regular hours of operation will be 5:30 am - 10:00 pm Monday - Thursday. Friday and Saturday 5:30 am - 9:00 pm and Sunday times will be 10am to 5pm. Events in the community room are offered between 9 am - 12 pm. Events will be allowed to extend later with approval from the Mayor.

Outdoor events will take place on the west side of the building with access into the community rooms. Outdoor events will be allowed to play amplified music but will follow the City of Kentwood Noise Ordinance. Food trucks will be allowed as catering for events but generators will not be allowed. A dedicated power source will be available for use.

DRAFT CONCEPT
PLAN

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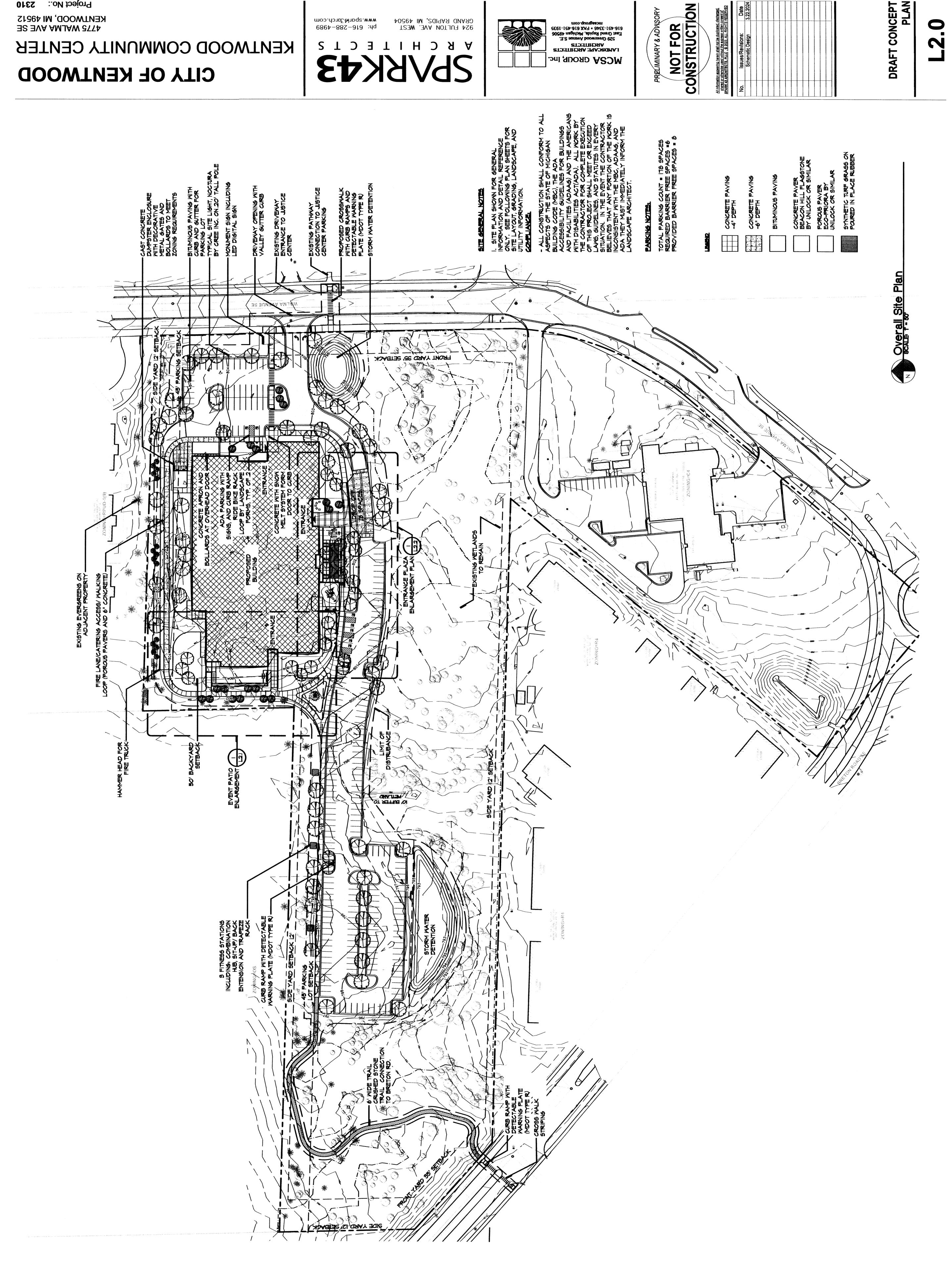
KENTWOOD COMMUITY CENTER CILL OF KENTWOOD

Project No.: 2310

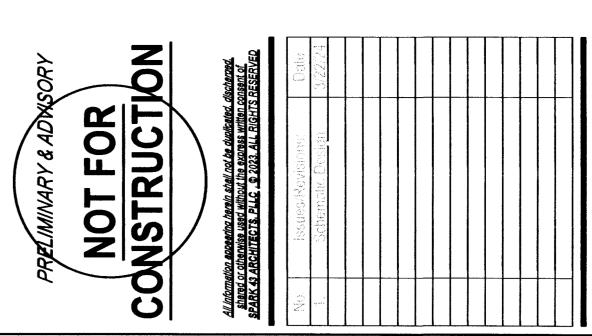
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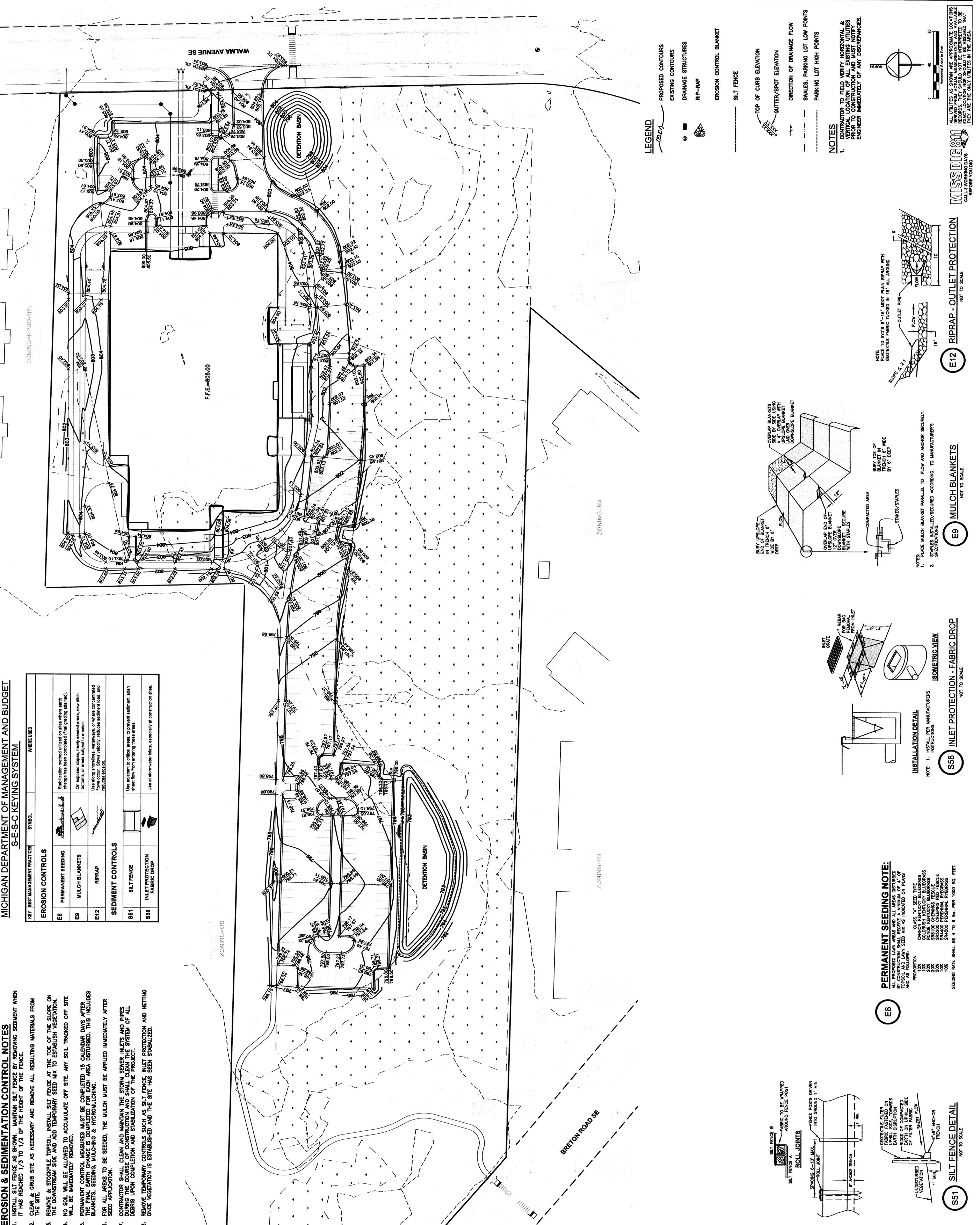


CILA OF KENTWOOD



GRADING & SESC PLAN

924 FULTON AVE. WEST GRAND RAPIDS, MI 49504	2121 3 Mile Rd. NW Walker, MI 49544 Ph. 616-301-7888
SPART	MCSA GROUP, Inc. I ANDSCAPE ARCHITECTS 529 Greenwood Avenue S.E. 536 Grand Rapids, Michigan 49506 516-451-3346 • FAX 616-451-1935 mesagroup.com



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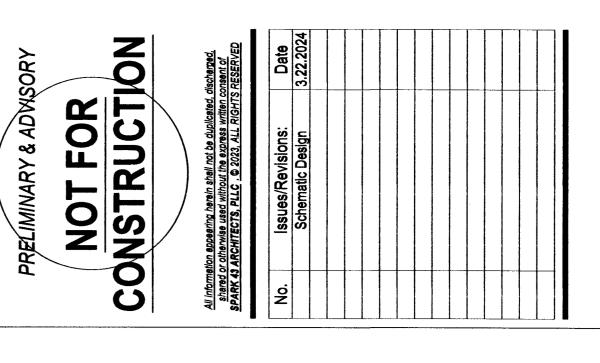
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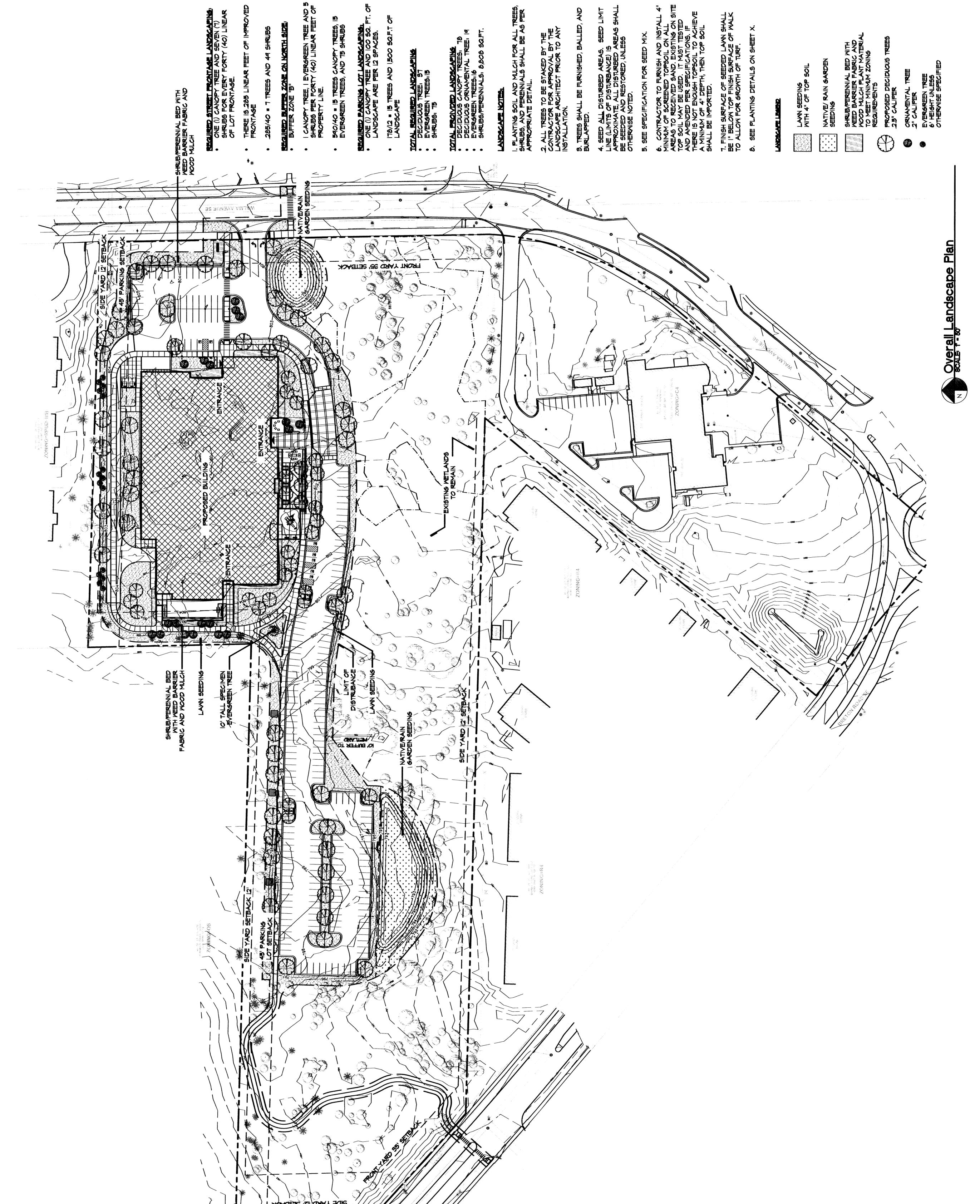
KENTWOOD COMMUNITY CENTER

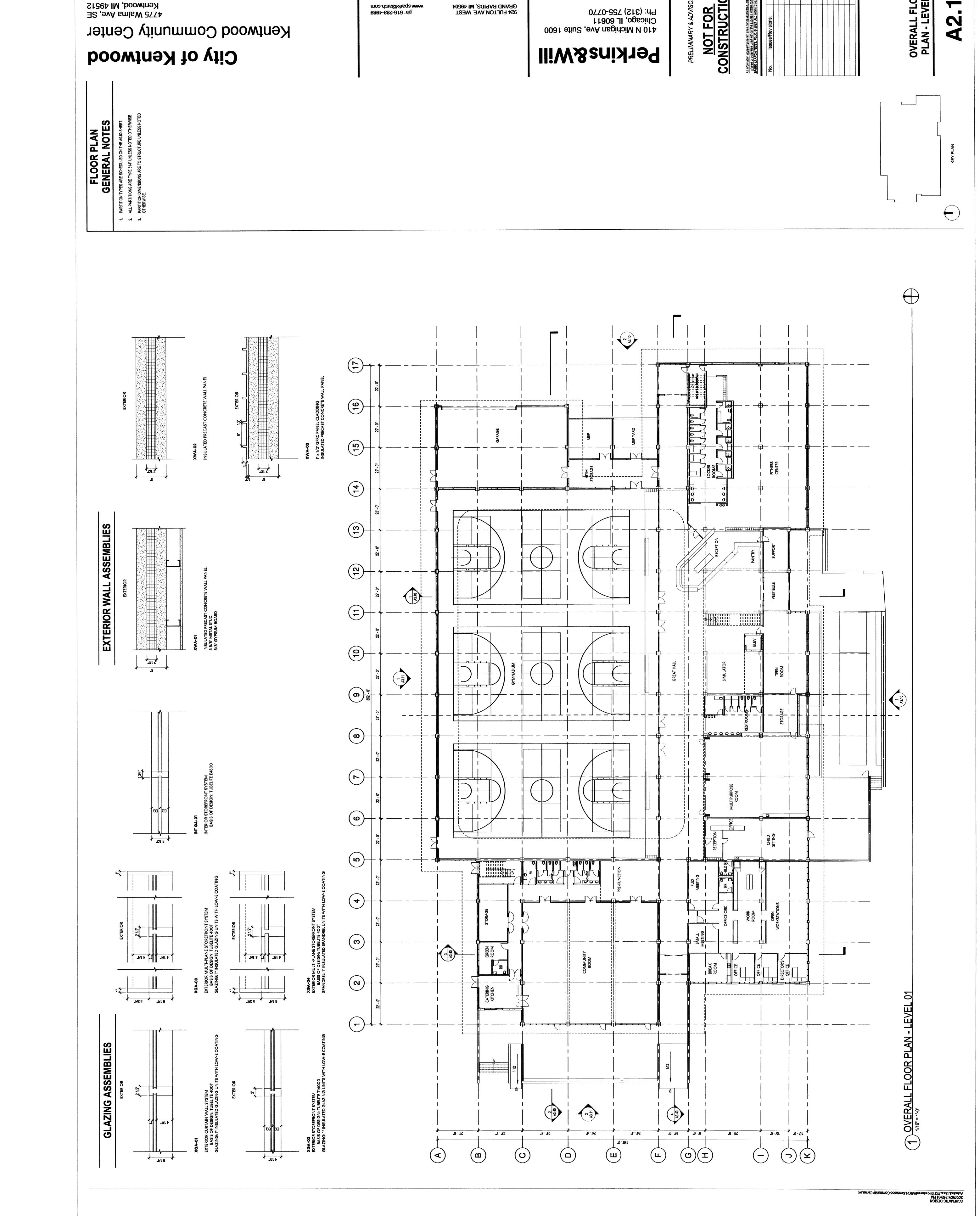
CILA OF KENTWOOD



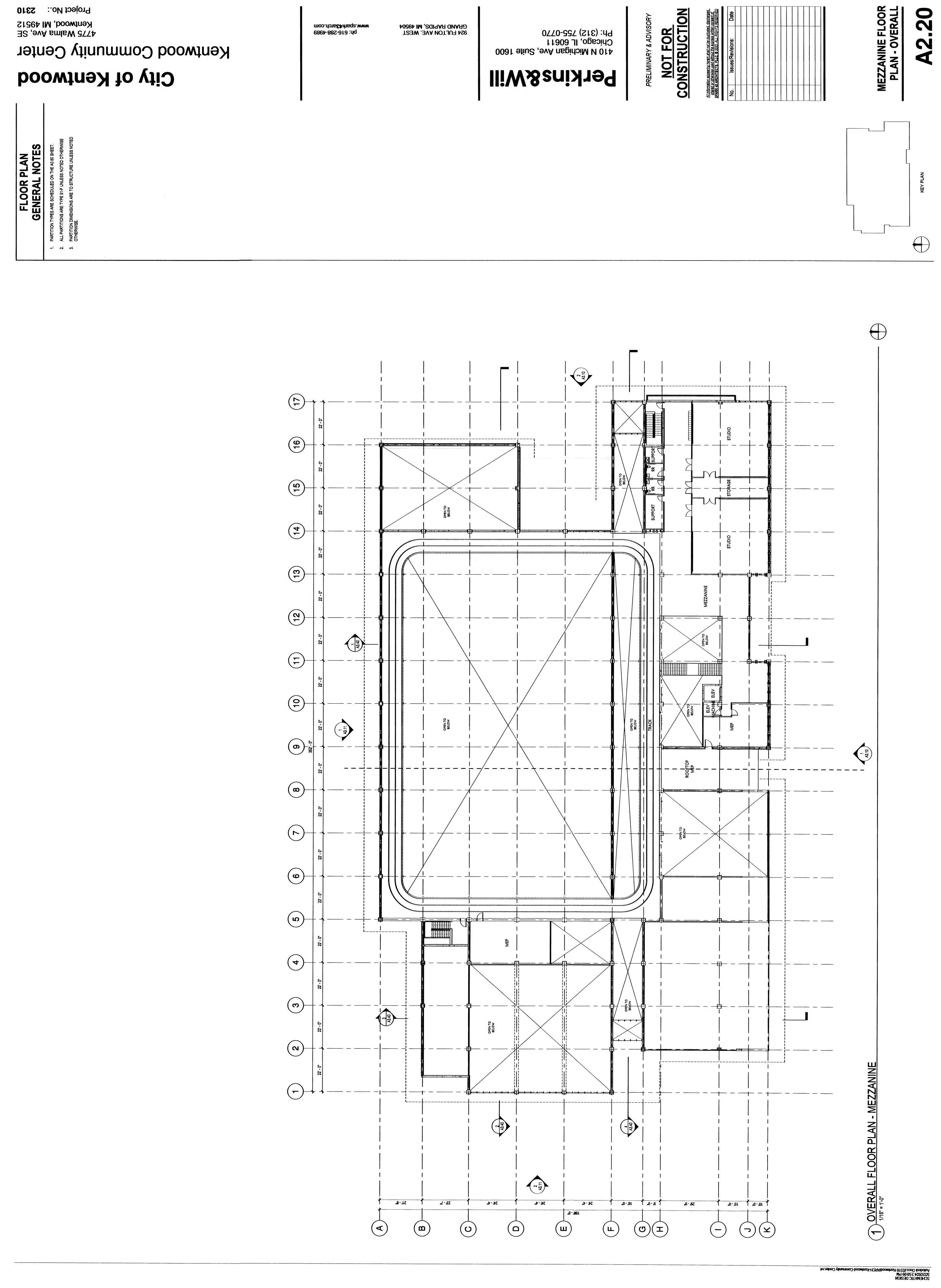








Project No.: 2310



ph: 616-288-4989 www.spark43arch.com

924 FULTON AVE. WEST GRAND RAPIDS, MI 49504

Project No.: 2310

4775 Walma Ave, SE Kentwood, MI 49512