



AGENDA
CITY OF KENTWOOD PLANNING COMMISSION
TUESDAY, NOVEMBER 26, 2024
KENTWOOD COMMISSION CHAMBERS
4900 BRETON AVENUE, SE
7:00 P.M.

- A. Call to Order
- B. Pledge of Allegiance (VanderMeer)
- C. Roll Call
- D. Declaration of Conflict of Interest
- E. Approval of the Minutes of November 12, 2024 and Findings of Fact for: **Case#26-24** – K9 Resorts – Special Land Use and Site Plan Review for a Kennel Located at 3345 -28th Street SE; **Case#28-24** – Fox Kia – Major Change to an Approved Site Plan located at 3060 Broadmoor Ave SE; **Case#29-24** – Weiss Technik - Final Site Plan Review for a PUD Located at 4401 – 36th Street SE
- F. Approval of the Agenda for November 26, 2024
- G. Acknowledge visitors and those wishing to speak to non- agenda items.
- H. Old Business

There is no Old Business
- I. Public Hearing

Case#30-24 – Raising Cane – Special Land Use and Site Plan Review for a Drive-Thru Establishment located at 3650 28th Street SE
- J. Work Session

There are no Work Sessions
- K. New Business

There is no New Business
- L. Other Business
 - 1. Commissioners' Comments

2. Staff's Comments

Dec 10, 2024 7pm – Planning Commission City Attorney Training

M. Adjournment

*Public Hearing Format:

1. Staff Presentation – Introduction of project, Staff Report and Recommendation
Introduction of project representative
2. Project Presentation – By project representative
3. Open Public Hearing (please state name, address and speak at podium. Comments are limited to five minutes per speaker; exceptions may be granted by the chair for representative speakers and applicants.)
4. Close Public Hearing
5. Commission Discussion – Requests for clarification to project representative, public or staff
6. Commission decision – Options
 - a. postpone decision – table to date certain
 - b. reject proposal
 - c. accept proposal
 - d. accept proposal with conditions.

PROPOSED MINUTES OF THE REGULAR MEETING
OF THE KENTWOOD PLANNING COMMISSION
NOVEMBER 12, 2024, 7:00 P.M.
COMMISSION CHAMBERS

- A. Chair Jones called the meeting to order at 7:00 p.m.
- B. The Pledge of Allegiance was led by Commissioner Poyner.
- C. Roll Call:
Members Present: Jessica Harris, Dan Holtrop, Sandra Jones, Ed Kape, Alex Porter, Ray Poyner, Darius Quinn, Doug VanderMeer, Sarah Weir
Members Absent: None
Others Present: Community Development Director Terry Schweitzer, Economic Development Planner Lisa Golder, Senior Planner Joe Pung, Planning Assistant Monique Collier, the applicants and about 4 citizens.
- D. Declaration of Conflict of Interest

There was no conflict of interest statement expressed.

- E. Approval of the Minutes and Findings of Fact

Motion by Commissioner Holtrop, supported by Commissioner Quinn, to approve the Minutes of October 22, 2024 and the Findings of Fact for: Case#25-24 – Brockway Investments – Special Land Use and Site Plan Review for an Animal Hospital Veterinary Clinic Located at 3224 – 28th Street SE

- Motion Carried (9-0) –

- F. Approval of the Agenda

Motion by Commissioner Quinn, supported by Commissioner Poyner, to approve the agenda for the November 12, 2024 meeting.

- Motion Carried (9-0) –

- G. Acknowledge visitors wishing to speak to non-agenda items.

There was no public comment

- H. Old Business

Public Hearing

Case#26-24 – K9 Resorts – Special Land Use and Site Plan Review for a Kennel Located at 3345 -28th Street SE (Tabled from the October 22, 2024)

Pung stated the request is a special land use and site plan review a kennel. He stated the applicant is looking at an existing 9,300 square foot vacant building for use as a kennel with a 3,000 square foot outdoor exercise area that will be constructed in the back and fenced in. He stated the property is currently zoned C3 Regional Commercial which does not allow for kennels. The recommendation of approval from the Planning Commission goes before the City Commission to rezone the property from C3 to C2 on November 11. The building was constructed in 1983 for TGI Fridays and has been vacant since March of 2020. He stated other than the addition of the outdoor exercise area and some changes to the façade of the building there are no major site changes proposed.

Pung stated the use meets the special land use and the site design standards. He stated within their statement, they indicated the hours of operation would be 7am-7pm with daycare drop offs between 7am-9am and pickups between 5pm-7pm. The overnight boarding pickup and drop off will be between 9am-5:30pm. There will not be any overnight staffing. They will have 24/7 cameras. Staff has had no issues with noise, odor, or elopements at other kennels in the City.

Pung stated he is recommending conditional approval of the special land use and site plan as described in his memos.

Jones opened the public hearing.

There was no public comment.

Motion by, Kape, supported by Weir, to close the public hearing.

- Motion Carried (9-0) -

Mark Ivaska, 4657 Kenerick Ct NE Ada MI was present.

Harris questioned what emergency services does the system prompt. Ivaska stated if a smoke alarm were to go off, the Fire Department would be alerted. He stated if a large enough motion alarm went off that would alert as well.

Holtrop questioned what was the final conclusion on the fencing. Ivaska stated they will have a 2-foot wall with a 6 foot fence on top of it.

Motion by Holtrop, supported by Harris to grant conditional approval of the Special Land Use Kennel as described in Case 26-24 K9 Resorts. Approval is conditioned on conditions 1 –2 and basis points 1 –4 as described in Pung’s memo dated November 6, 2024.

- Motion Carried (9-0) –

Motion by Holtrop, supported by Porter to grant conditional approval of the site plan dated July 19, 2013, and proposed floor plan dated September 24, 2024, as described in

Case 26-24 K9 Resorts. Approval is conditioned on conditions 1 –8 and basis point 1 –5 as described in Pungs’ memo dated November 6, 2024.

- Motion Carried (9-0) -

Case#28-24 – Fox Kia – Major Change to an Approved Site Plan located at 3060 Broadmoor Ave SE

Pung stated the request is for a major change to an approved site plan for an automotive dealership. He stated the current site has two existing buildings on it. One near the center of the site and one to the rear. He stated the intent is to demolish those two buildings to construct the new facility. Pung stated there would be no change to use. It will still be an automotive dealership. They would be demolishing both buildings and then constructing the new 23,600 square foot building which would be used for their showroom and their office and with minor vehicle repair.

He stated the original building was constructed in 1972 for McGovern motorcycles. In 1985 the Planning Commission approved the remodel to convert the building into an automotive dealership. He stated in 2002 the Planning Commission approved a major change to construct the 13,200 square foot building to the rear and that was used for vehicle storage, wash bays, service and detailing and office. He stated in 2009 the front half of the front building was demolished with the balance of it remodeled.

Pung stated the applicant provided a break down on how vehicles would be distributed throughout the site. Repair would be restricted to minor vehicle repair only. As a condition of approval; no outdoor storage of inoperable vehicles will be allowed, and they are maintaining the cross access to adjacent properties.

Pung stated he is recommending conditional approval of the site plan dated November 4, 2024, as described in his memo.

Colin Schfler, Fox Motors, 200 Ottawa Ave. Suite 800 Grand Rapids was present. He stated Hyundai and Kia share a building on 28th Street now and Kia wants to have their own. He stated the plan is for the preowned building the service department is going to roll into the neighboring Honda dealership and some open space they have there then one of the technicians is going to move over to Ford and do some different work over there. For the sales department up front, they are moving those into the existing showroom at Honda. There was one open office and a few open work stations in the show room and they were able to bring over a couple work stations just to house everybody there. The operations in the back building are moving over as they are under construction for the new Ford commercial truck project now finishing that around the first part of 2025. That frees up some space to reshuffle those operations.

Jones opened the public hearing.
There was no public comment.

Motion by Kape, supported by Weir to close the public hearing.

- Motion Carried (9-0) –

Kape questioned how much of the building is for storage of inoperable vehicles. Schfler stated it would be the service department and there are 12 service stalls with hoists and alignment rack. There is no heavy bodywork, no finishing or anything that removes body panels or has cars looking like they are in disarray. Nobody would be able to distinguish a vehicle that is in for service or a pre-owned vehicle that is sitting on the lot.

Poyner questioned if there will be any waste storage and removal. Schfler stated very standard weekly as needed, all handled by a third party contractor. Only other thing is the EV batteries which are all contained in their own systems, and it is rare that they will be taking those batteries out of a vehicle and if they were, they are not stored on site; they are picked up and hauled away.

Motion by Poyner, supported by Porter, to grant conditional approval of the site plan dated November 4, 2024, as described in Case 28-24. Approval is conditioned on conditions 1 – 7 and basis points 1 – 2 as described in Pung’s memo dated November 7, 2024.

- Motion Carried (9-0) –

Case#29-24 – Weiss Technik - Final Site Plan Review for a PUD Located at 4401 – 36th Street SE

Golder stated this was a 16.3 acre overall property. The applicant is developing 9.82 acres of it. She stated the Planning Commissioners approved a rezoning and preliminary site plan for a PUD for Weiss Technik and it was approved by the City Commission.

Golder stated they made a statement that parking lot lighting would be turned off at night and only have the safety lighting at night. They have shown a berm going across the property going to the property edge. She stated we do have three areas that are not consistent with the original recommendation.

She stated one of the inconsistencies is the firelane. The Fire Department wants that to be within 35 feet. However, they did seek a waiver from the Fire Department and as a result they had to do something different with the loading area so that the firetruck could get across front of the building. They have worked through that. We got a waiver saying that was approved; however as a condition of approval, it still has to go back to the City Commission for their approval because it is different from what was approved in the preliminary.

She stated the that another inconsistency was the condition to move the loading area, that includes the garbage dumpster, further to the north. That has not been done. The applicant looked at it and decided that is not efficient. That was a condition of preliminary approval, and therefore has to go back to the City Commission.

She stated the location of the driveway was a staff approval. We wanted those driveways to align because of the left turn movement into the site and it is offset slightly. There was going to be one driveway now there is two, but that second eastern most driveway is a right in, right out, driveway. If the driveways aren't going to align, at least some of that traffic that might be going in and out will go in the right in, right out driveway. She stated the applicant did a traffic analysis and found that there is not a lot of traffic that goes in there the driveway on the south side of 36th Street. They counted 7 trips within the peak hour that turn into that driveway. They found that it is not going to be a big deal to have that driveway misaligned.

Golder stated she is recommending approval as described in her memo dated November 11, 2024.

Mike Houseman, Wolverine Building Group, 4035 Barden was present. He stated they tagged all of the good trees on the site, they will replace anything that is bad. The new landscape plan addresses the extra berm and landscaping and retention pond. He stated they understand they have to go back to the City Commission to explain the truck dock not moving. With the flow their internal manufacturing of the chambers, it just was really impractical. They felt that it was also a danger if they were it move it north it would start bringing the trucks in through the parking lot. They felt that they would be splitting the parking. They would have employees parking on either side of the moving truck traffic between the two. They thought it was best to leave it where it was. As far as the drive, they made many attempts to work with the property owner across the street to actually move their drive and they were intolerant of that. It wouldn't have cost them anything and they would not do it. So, then he ordered the traffic study and the traffic study came back and said that it really wasn't required because of the amount of traffic.

Jones opened the public hearing.

There was no public comment.

Motion by Kape, supported by Quinn, to close the public hearing.

- Motion Carried (9-0) -

Quinn questioned if there is anything that can be viewed as having a negative impact on the residents. Houseman stated he doesn't see any. He did some measurements and the loading area is about 370 feet to the residents and everything else is shielded very well. He sees no negative impact. There are chambers at most 6 that go out a month maybe one would have to be loaded outside once a month. Golder stated we did talk about beefing up the landscaping on that corner to help with any noise. Houseman stated they are increasing the berm by 4 feet and there is a significant row that is on their property.

Porter questioned the dumpster decibel level. Houseman stated that was a compactor that the engineer showed on the plan. The compactor is actually on the inside it is not on the outside.

Motion by Holtrop, supported by Poyner, to grant conditional approval of the final PUD site plan dated September 30, 2024 for the Weiss Technik Industrial Planned Unit Development as described in Case No. 29-24. Approval is conditioned on conditions 1 –11 and basis points 1 – 11 as described in Golder’s memo dated November 8, 2024.

- Motion Carried (9 -0) -

I. Work Session

Case#30-24 – Raising Cane – Special Land Use and Site Plan Review for a Drive-Thru Establishment located at 3650 28th Street SE

Pung stated the request is a special land use and site plan review for a drive-thru restaurant. He stated they will demolish the existing 6,700 square foot building the former Outback Steakhouse. That building was built in 1974 and it was a Bonanza restaurant. There has been some turn over with other restaurant over the years.

The new restaurant would be a smaller building, 3,400 square feet. It would have the dual drive thru lanes. He stated each lane would have enough stacking for approximately 12 vehicles.

He stated the landscaping on the site is going to increase. He stated staff did ask them to verify that the lot coverage doesn’t exceed 75% which is all areas is not landscaped. The landscape has to be at least 25% of the site. They exceed that; we just need verification. He stated some of the landscape will change on the east side of the site. They are going to have 20 foot landscape buffer. Along the rear lot line there is 105 foot wide free for all for traffic going to the sites. They are going to create a landscape area channeling the traffic down to a standard 24-foot-wide drive aisle. It will make the site more aesthetically pleasing but also increase the safety.

Spence McKnickles, ADA Architects, 17710 Detroit Avenue, Lakewood, OH was present. He stated Raising Cane works well with the community. He stated they take pride in their landscaping they are going to add a lot of landscaping.

Juliet Strieser, Kimler Horn Civil Engineer, 3000 Town Center Suite 2600 Southfield MI was also present.

Kape stated he thinks this is a wonderful addition to our community and a great idea for this location.

VanderMeer stated he is excited about this coming. He questioned the traffic and the volume of traffic on 28th Street. Strieser stated they had Agonquin and Joliet as their sites of study because those are very popular restaurants that have a very high influx of traffic so they felt like those were good representations for a lot of these different sites that they are working on throughout the Midwest area. The main take away from the study is that the trip generation was actually less than what the ITE rates were for this type of use so this goes to show that a lot of site; based off these ITE rates are conservatively designed.

VanderMeer questioned hours of operation. Pung stated there is no residential in the area there is no restriction to the hours of operation. VanderMeer questioned the signage. Pung stated the will meet the signage requirements.

Holtrop questioned if more stacking occurs before or after the order point. Do the orders get out the window faster than people can order. Striseer stated they pride themselves in a pretty quick turn around time. The average time from getting to the menu boards to picking up your food is about two minutes and thirty seconds. They have about 24-25 cars that can fit between the entrance of the drive-thru lanes to the order boards, but they will have some stacking spacing spaces that can occur afterwards. Approximately 8 cars can fit in the stacking spaces in case the drive-thru lines are filling up. During the peak time there is an avenue for people to pull forward.

Holtrop questioned where are the employees going to park if the lot is full with 29 customers. Striesser stated they typically have employees have park kas far away as possible. Pung stated there is also cross access and parking easements with the adjacent properties.

Porter questioned how much in house seating. McKnickles stated inside it should be 45 seats and outside 16 seats.

Harris said there is an entrance from 28th Street and an entrance from 29th Street are they anticipating the dual entrance. Striesser stated most people will be coming off of 28th Street they don't anticipate much stacking coming off 29th Street.

Jones questioned if there is a bail out. Striesser stated in most conditions the outer lane will act as the will act as the bail out lane with it being the dual drive-thru.

J. New Business

There was no New Business

K. Other Business

1. Commissioners' Comments

Porter stated he was at the In the Image Silent Auction last week. It was full. If anyone is interested they can donate to In the Image.

Harris stated Kent County is doing an Adoption Day Toy Drive donations need to be in by December 4.

Holtrop stated there was a LUZ meeting regarding 44th Street and Shaffer part of the 300 acre PUD with a commercial zoning. The applicant wanted something that was not permitted a gas station. We told them they can't do it.

Holtrop stated over 20 years ago he joined the Planning Commission and tonight is his last night. His home has sold they are moving away and he looks forward to watching what happens in Kentwood. He stated they are building on Barlow Lake in Middleville and make it their permanent residence.

Weir stated the City of Kentwood employees work directly with her for the homeless students in Kentwood. They are going to be making bags for 250 kids again and you can donate there as well.

2. Staff's Comments

L. Adjournment

Motion by Commissioner Weir, supported by Commissioner Poyner, to adjourn the meeting.

- Motion Carried (9-0) –

Meeting adjourned at 8:25pm

Respectfully submitted,

Ed Kape, Secretary



**CITY OF KENTWOOD
PLANNING COMMISSION
PROPOSED
FINDINGS OF FACT
NOVEMBER 26, 2024**

PROJECT: K9 Resorts

APPLICATION: 26-24

LOCATION: 3345 – 28th Street

HEARING DATE: November 12, 2024

REVIEW TYPE: Special Land Use Kennel

MOTION: **Motion by Holtrop, supported by Harris to grant conditional approval of the Special Land Use Kennel as described in Case 26-24 K9 Resorts. Approval is conditioned on conditions 1 –2 and basis points 1 –4 as described in Pung’s memo dated November 6, 2024.**

- Motion Carried (9-0) –

CONDITION: 1. City Commission approval of the request to conditionally rezone the property from C3 Regional Commercial to C2 Community Commercial.

2. Use to be operated consistent with the description submitted by Rhoades McKee PC dated September 16, 2024, the K9 Resorts informational packet/brochures, the “Additional Clarifications” document, and discussion at the work session and public hearing.

BASIS: 1. The property is currently zoned C3 Regional Commercial which does not allow for kennels.

2. The use otherwise meets the special land use standards of Sections 15.02 and 15.04.R of the Kentwood Zoning Ordinance.

3. Applicant’s representation at the work session and public hearing.

4. Discussion at the work session and public hearing.



**CITY OF KENTWOOD
PLANNING COMMISSION
PROPOSED
FINDINGS OF FACT
NOVEMBER 26, 2024**

PROJECT: K9 Resorts

APPLICATION: 26-24

LOCATION: 3345 – 28th Street

HEARING DATE: November 12, 2024

REVIEW TYPE: Site Plan Review for a Special Land Use Kennel

MOTION: **Motion by Holtrop, supported by Porter to grant conditional approval of the site plan dated July 19, 2013, and Proposed Floor Plan dated September 24, 2024, as described in Case 26-24 K9 Resorts. Approval is conditioned on conditions 1 –8 and basis point 1 –5 as described in Pungs’ memo dated November 6, 2024.**

- Motion Carried (9-0) -

- CONDITION:
1. Planning Commission approval of the special land use Kennel.
 2. City Commission approval of the request to conditionally rezone the property from C3 Regional Commercial to C2 Community Commercial.
 3. Planning staff approval of exterior building elevations.
 4. Fencing for the proposed outdoor play area shall comply with the fencing requirements of the Kentwood Zoning Ordinance.
 5. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
 6. Compliance with all applicable standards and requirements of the Kentwood Fire Department.
 7. Applicant’s representation at the work session and public hearing.
 8. Discussion at the work session and public hearing.

BASIS:

1. The property is currently zoned C3 Regional Commercial which does not allow for kennels.
2. The height of fencing in commercial districts is limited to a maximum of six (6) feet.
3. The use otherwise meets the requirements of the Kentwood Zoning Ordinance.
4. Applicant's representation at the work session and public hearing.
5. Discussion at the work session and public hearing.



**CITY OF KENTWOOD
PLANNING COMMISSION
PROPOSED
FINDINGS OF FACT
NOVEMBER 26, 2024**

PROJECT: Fox Kia Major Change

APPLICATION: 28-24

LOCATION: 3060 Broadmoor Avenue, SE

HEARING DATE: November 12, 2024

REVIEW TYPE: Review of a major change to a site plan

MOTION: **Motion by Poyner, supported by Porter, to grant conditional approval of the site plan dated November 4, 2024, as described in Case 28-24. Approval is conditioned on conditions 1 – 7 and basis points 1 – 2 as described in Pung’s memo dated November 7, 2024.**

- Motion Carried (9-0) –

CONDITION:

1. All repair work shall be done within the building.
2. No outdoor storage of inoperable vehicles is permitted.
3. Cross-access easements shall be revised and recorded to maintain existing cross-access to adjacent properties.
4. Staff review and approval of a landscape plan.
5. Staff review and approval of an exterior photometric plan.
6. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
7. Compliance with all applicable standards and requirements of the Kentwood Fire Department.

BASIS:

1. The site plan otherwise meets the requirements of the Kentwood Zoning Ordinance.
2. Revised easements are needed to ensure that existing cross-access between properties is maintained.

3. Representations by the applicant at the work session and public hearing.
4. Discussion at the work session and public hearing.



**CITY OF KENTWOOD
PLANNING COMMISSION
PROPOSED
FINDINGS OF FACT
NOVEMBER 26, 2024**

PROJECT: Weiss Technik IPUD

APPLICATION: 29-24

REQUEST: Final PUD Site Plan Approval of an Industrial Planned Unit Development

LOCATION: 4401 and 4375 - 36th Street SE

HEARING DATE: November 12, 2024

MOTION: **Motion by Holtrop, supported by Poyner, to grant conditional approval of the final PUD site plan dated September 30, 2024 for the Weiss Technik Industrial Planned Unit Development as described in Case No. 29-24. Approval is conditioned on conditions 1 –11 and basis points 1 – 11 as described in Golder’s memo dated November 8, 2024.**

- Motion Carried (9 -0) -

CONDITIONS:

1. Compliance with the PUD Statement dated 6/6/24 with the following amendments, to be approved by staff:
 - Applicant shall describe how the development meets the Performance Standards of Section 10.3F.
2. Review and approval by staff and the Kentwood City Attorney of the PUD Statement and the PUD Development Agreement for the project for compliance with legal and related requirements.
3. Planning and City Commission review and approval of the location of the loading/dumpster.
4. Planning and City Commission approval of the location of the fire lane on the west side of the site.
5. Staff approval of the location of the design and location of the proposed 36th Street curb cuts.

6. Approval of the site plan by the Kentwood City Engineer.
7. Approval of the site plan by the Kentwood Fire Marshal.
8. Approval by the Zoning Board of Appeals for rear yard setback of the building from a residential district.
9. Staff approval of a final landscaping plan. Landscaping plan shall include extension of the berm to the west property line. Applicant shall document the significant trees on the site that will be retained on the east side of the site and shall indicate how the wooded buffer area will be retained. If trees along the east side of the property are removed, they must be replaced on a caliper-by-caliper basis. Applicant shall indicate how the development meets and exceeds the requirements of Section 19.02.
10. Staff approval of a lighting plan that meets the requirements of Chapter 20 of the Kentwood Zoning Ordinance. Applicant shall indicate on the lighting plan that the parking lot lights will be put on a timer to turn off at night, with the exception of safety lighting.
11. Applicant shall provide an access easement to the property located to the west of the proposed Weiss Technik parcel.

BASIS:

1. Weiss Technik has received approval for rezoning to an Industrial Planned Unit Development, and Preliminary PUD approval. The PUD Development Agreement will ensure that the business (and any future business within the PUD) adheres to the standards and stipulations of the approval and meets the Performance Standards of Section 10.3F of the Zoning Ordinance.
2. The Preliminary Site Plan Approval for Weiss Technik includes a condition requiring staff approval for the location of the Weiss driveway onto 36th Street. At the time of the Planning and City Commission approval of the preliminary site plan, the applicant indicated that there would be only one driveway and it may be able to be aligned with the a relocated driveway on the south side of 36th Street. Now, the applicant has indicated that the driveways cannot be aligned and two curb cuts will be required for the Weiss Technik site. Staff approval is required for the driveway locations.
3. The Preliminary PUD Site Plan for Weiss Technik was approved conditioned on the relocation of the loading/dumpster further to the north of its original proposed location. The applicant at the time indicated that

this could be accommodated within the existing building/site layout. However, the loading has not been relocated further to the north. Since this was a condition of the original approval, the applicant must receive City Commission approval of the revised Preliminary Plan, after recommendation from the Planning Commission.

4. The Preliminary PUD Site Plan for Weiss Technik was approved conditioned on the relocation of the fire lane within 35' of the building along the west side of the site. Since the original approval, however, the applicant has received a waiver from the Fire Department to keep the fire lane 50' from the building, with additional adjustments to the fire lane/loading area layout. However, since the condition was part of the Preliminary PUD Approval of the Planning and City Commissions, the applicant must receive approval by the City Commission of the revised Plan, after recommendation by the Planning Commission.
5. The landscaping guidelines of Chapter 19 require a 100-foot setback between industrial buildings and a residential district boundary. The Weiss building is proposed 50' from the property to the north (Consumers Energy right of way). A variance from the Zoning Board of Appeals is required.
8. The Guiding Development Concepts for the north side of 36th Street in Section 13 state that industrial uses may be permitted within an Industrial PUD (IPUD). Further, the Master Plan states that additional setbacks and landscaping may be required that exceed the IPUD ordinance requirements. The site plan portrays a berm on one side, but no berm or fence on the other; additional information will need to be provided to ensure that adequate screening is provided and will be maintained.
9. The applicant must provide a note on the lighting plan to confirm their commitment within their PUD Statement to turn off parking lot lights at night with the exception of safety lighting. In addition, the lighting plan as proposed does not meet the requirements of Chapter 20 of the Zoning Ordinance.
10. The 9.82 acre property to be rezoned and proposed for industrial use is part of an overall 16.4 acre property. The remaining 6.58 acres of land may be landlocked if an access easement is not provided.
11. Discussion during the work session and public hearing.



PLANNING STAFF RECOMMENDATION

Pung 11/19/2024

PROJECT: Raising Cane's

APPLICATION: 30-24

LOCATION: 3650 – 28th Street

HEARING DATE: November 26, 2024

REVIEW TYPE: Special Land Use Drive-Through Restaurant

RECOMMENDATION: Recommend conditional approval of the Special Land Use Drive-Through Restaurant as described in Case 30-24 Raising Cane's. Approval is conditioned on the following:

CONDITION:

1. Use to be operated consistent with the Project Narrative submitted with the Planning Commission review application.
2. Planning Commission approval of the site plan dated November 18, 2024.

BASIS:

1. The use otherwise meets the special land use standards of Sections 15.02 and 15.04.BB of the Kentwood Zoning Ordinance.
2. Applicant's representation at the work session and public hearing.
3. Discussion at the work session and public hearing.



Raising Cane's Kentwood
3650 28th Street SE, Kentwood, MI 49512

Project Narrative

The proposed development at 3650 28th Street SE is for a Raising Cane's quick-serve restaurant with dual drive-thru lanes, on-site parking, and a patio on the north side of the building for outdoor dining. The structure is approximately 3,428 square feet and includes a non-conditioned corral with brick finish at the rear of the building for operations. The roof line around the exterior is at 20'-6" and the entryway/drive-thru towers and parapets top out at 23'-6". In the interior of the building there will be a dining area, service counter, kitchen, storage areas, wash area, a manager's office, restrooms and a walk-in cooler/ freezer. There is also a designated mechanical room that provides access to the roof.

There are two proposed driveways, one located at the northwest corner of the site along 28th Street SE and one at the southwest corner of the site along an existing internal access road. The main thoroughfare through the site is a two-way drive aisle connecting the two driveways, providing access to customer parking, mobile-order pickup spots, the drive-thru entrance and exit, and the trash enclosure. The proposed dual lane drive-thru is designed to maximize stacking onsite and minimize site congestion. Pedestrian access is provided with a public sidewalk connection to the existing public sidewalk running along 28th Street SE to the proposed restaurant building.

Raising Cane's is a quick serve restaurant that was founded in 1996 in Baton Rouge, LA by its founder, Todd Graves. The restaurant has ONE LOVE, which is chicken, as evident by the focused menu that includes: chicken fingers, fries, coleslaw, and Texas toast. The food is always cooked to order to ensure the best quality and flavor possible.

Raising Cane's is not a chain restaurant but is part of the community. The restaurant not only employs people from the area but gives back to the community in several ways by promoting education, feeding the hungry, pet welfare, local community involvement and more.

The building itself promotes visual aesthetics with the variations not only in the architecture, but the building materials themselves. All of this with the variations in the heights of the building, along with the ample landscaping around the building provides an aesthetically pleasing structure that accents the development unlike the fast food 'box' style of many businesses.

Raising Cane's will have approximately 55 employees at this location, with an average of 8 employees per shift. The restaurant will be open Sun - Thu: 9:30am - 2:00am; Fri - Sat: 9:30am – 3:30am. The drive thru will have the same hours of operation.

There is an anticipated construction start date of March 2025. The project will have an approximate 225-day construction schedule with an anticipated opening date of December 2025.



PLANNING STAFF RECOMMENDATION

Pung 11/19/2024

PROJECT: Raising Cane's

APPLICATION: 30-24

LOCATION: 3650 – 28th Street

HEARING DATE: November 26, 2024

REVIEW TYPE: Site Plan Review for a Special Land Use Drive-Through Restaurant

RECOMMENDATION: Recommend conditional approval of the site plan dated November 18, 2024, as described in Case 30-24 Raising Cane's. Approval is conditioned on the following:

CONDITION:

1. Planning Commission approval of the special land use drive-through restaurant.
2. Planning staff approval of exterior building elevations.
3. Planning staff approval of an exterior photometric plan.
4. Planning staff approval of a landscape plan.
5. Compliance with all applicable standards and requirements of the Kentwood Engineering Department.
6. Compliance with all applicable standards and requirements of the Kentwood Fire Department.
7. Applicant's representation at the work session and public hearing.
8. Discussion at the work session and public hearing.

BASIS:

1. The use otherwise meets the requirements of the Kentwood Zoning Ordinance.

2. Applicant's representation at the work session and public hearing.
3. Discussion at the work session and public hearing.



November 18, 2024

City of Kentwood
4900 Breton Avenue SE
Kentwood, MI 49508

RE: ***Raising Cane's
Site Plan and Special Land Use Review
3650 – 28th Street
Kentwood, MI***

Mr. Pung,

The responses below address the comments from the Staff Report dated October 31, 2024, from the City of Kentwood for the Raising Cane's Special Land Use and Site Plan Review. Below is a summary of the actions taken in response to these comments.

Staff Comments:

1. The applicant intends to demolish the existing 6,718 square foot building and construct a new 3,428 square foot drive-through restaurant. The restaurant will have two (2) drive-through lanes on the east side of the building.

Response: Correct.

2. It appears that the landscaped area onsite will increase with the proposed redevelopment of the site. The Zoning Ordinance restricts lot coverage (all areas not landscaped) to no more than seventy-five (75) percent, the lot coverage calculation will need to be provided.

Response: The net and gross impervious and pervious areas were added to the site analysis table on C5.0. From these values, the net lot coverage was determined and is also shown at the bottom of the site analysis table. Both the net and gross lot coverage is less than 75% with the max being the gross lot coverage at 64.2% when including the 46' right-of-way easement.

3. Prior to approving a special land use, the following standards from Section 15.02 of the Kentwood Zoning Ordinance need to be satisfied:
 - A. Be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that a use will not change the essential character of the area in which it is proposed.

Response: The surrounding area is commercially developed. The proposed use is appropriate with the character of the area and should not change the essential character of the area.

- B. Be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities or schools.

Response: The site is adequately served by public facilities.

- C. Not create excessive additional requirements at public cost for public facilities and services.

Response: The proposed use will not create excessive additional requirements at public cost for public facilities and services.

- D. Not involve uses, activities, processes, materials and equipment or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, electrical or electromagnetic interference or odors.

Response: The proposed use is a special land use in the C2 Community Commercial district and considered compatible with commercial development and therefore should not be detrimental to adjacent uses.

- E. Be compatible and in accordance with the goals, objectives and policies of the Master Plan and promote the Intent and Purpose of the zoning ordinance district in which it is proposed to locate.

Response: The area is master planned and zoned for commercial development. The proposed use is consistent with both the Master Plan and the Zoning Ordinance.

- F. Be subject to stipulations by the Planning Commission of additional conditions and safeguards deemed necessary for the general welfare, for the protection of individual property rights and for insuring that the intent and objectives of the Zoning Ordinance will be observed. The breach of any condition, safeguard or requirement shall automatically invalidate the granting of the Special Land Use.

Response: Noted. Working with comments from the Planning Commission to meet their conditions and safeguards.

- G. Comply with all applicable licensing ordinances.

Response: Noted.

- 4. Section 15.04.BB outlines the site design criteria for drive-through restaurants. The design criteria are as follows:

- 1. Point of drive-through transaction shall be setback fifty (50) feet from any adjacent public right-of-way line or property line.

Response: The building is setback fifty (50) feet from the east property line and seventy-six (76) feet from the 28th Street right-of-way.

2. Establishments constructed adjacent to other office or commercial developments shall have a direct vehicular access connection where possible.

Response: The site has access to an internal drive to the south which provides access to several surrounding properties (see Exhibit 2).

Please contact me at (331) 481-7330 or tom.szafranski@kimley-horn.com would you have any questions.

Sincerely,
Kimley-Horn and Associates, Inc.



Tom Szafranski, P.E.
Project Manager



November 18, 2024

City of Kentwood
4900 Breton Avenue SE
Kentwood, MI 49508
Attn: Brad Boomstra, P.E.

RE: **Raising Cane's**
3650 28th Street SE
41-18-14-201-058
Kentwood, MI

Mr. Boomstra,

The responses below address the comments received on November 7, 2024 from the City of Kentwood's Engineering Department following the planning level review for the Raising Cane's Special Land Use and Site Plan Review. Below is a summary of the actions taken in response to these comments.

Overall Plan Comments:

1. Please show the parcel number on the plans.
Response: The parcel numbers of the proposed site and adjacent lots are now shown on all plan sheets.

Street / Sidewalk / Parking Lot:

1. A pavement section detail must be shown on the plan for all paving types.
Response: Paving details have been added to the site plan on sheet C5.0.
2. The Michigan Department of Transportation has jurisdiction over 28th Street (M-11) for the proposed drive entrance. The Kent County Road Commission serves as the plan review agent for MDOT. Please contact the KCRC for specific requirements and details regarding the proposed drive approach, curb type and other issues within their right-of-way.
Response: We have contacted KCRC and they said they no longer complete reviews on behalf of MDOT. We will continue to chase down the appropriate driveway requirements and ensure the plans are reviewed and ultimately approved before the start of construction.

Grading:

1. Indicate the proposed limits of grading on the site plan. A thick, shaded line works well for this.
Response: The proposed limits of disturbance has been added to the grading plan and is denoted in the plans and on grading legend as a thick dashed line. See sheet C6.0.

2. A temporary grading easement or a letter will be required from the adjacent property owner for any earthwork performed outside the property boundary. The City cannot approve a plan to place fill on another parcel without the proper permission in place.
Response: Noted. We will provide a letter or approval and/or proof of grading easement during permit reviews.
3. In the area of the former building, there may be disturbed/loose soil remaining from the previous construction. Be sure the specifications require that an independent testing laboratory be on site to perform compaction testing during site grading. We want to be sure that all backfill soils are properly placed and compacted prior to new foundation construction.

Response: Noted. A geotechnical report on the site has been prepared including soil borings. The for-permit drawings will include General Notes which will provide additional specifications regarding testing requirements for soil compaction.

Storm Sewer / Drainage:

1. Provide a tributary area map and calculations to verify the capacity of the proposed and existing storm pipes to carry a 10-year storm (or a 100-year event if no overland floodway is provided). Use the Kentwood Storm Sewer Design Standards available on the City's website; they contain a Kentwood-specific IDF curve and time of concentration (T_c) nomograph. Use a minimum initial T_c of 10 minutes. Maintain a minimum cleansing velocity of 2.5 ft/sec in the pipes. Calculations must be sealed by a registered engineer.

Response: A tributary area map and calculations are included in this submission on Sheet C9.0- STORMWATER CALCULATIONS. Pipes are sized to adequately carry a 10-year storm. Overland floodway is provided, see Sheet C6.0 – GRADING PLAN. Kentwood Storm Sewer Design Standards are used for the stormwater calculations.

Detention Basin:

1. Stormwater detention is already provided offsite. Therefore, no on-site detention is required.

Response: Noted.

Soil Erosion and Sediment Control:

1. We will need to see some additional soil erosion control measures as part of the plan review. Section 78-62 of the City of Kentwood Ordinance (posted on the City's website) contains minimum requirements for information that shall be included on the plan. Go to: <http://www.ci.kentwood.mi.us> (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORMWATER" link near the top of the page). Please review this ordinance carefully.

Response: Noted.

2. Per the requirements of Part 91 of Public Act 451, all proposed grading and soil erosion controls must be shown on a sheet(s) titled, at least in part, "SOIL EROSION AND SEDIMENTATION CONTROL PLAN". This plan should show surface features related to grading and soil erosion and sediment control. The SESC Plan may be combined with other plans and improvements as long as clarity is retained. Two (2) copies of this sheet, once approved, will need to accompany the application for an earth change.
Response: Erosion control plan sheet has been added under the name "SOIL EROSION AND SEDIMENTATION CONTROL PLAN" on C3.0. The existing surface contours as well as proposed surface contours are shown on this plan sheet.

3. Include a written description of the soil types of the exposed land area contemplated for an earth change.
Response: A site soil analysis description has been added to the erosion control plan per geotechnical report narratives. See Sheet C3.0.

4. Place a note on the soil erosion control plan to indicate that existing and new catch basins shall be protected with an inlet filter drop (silt sack). Straw bales or fabric placed under the grate are NOT acceptable, and sediment traps alone are not sufficient to provide adequate sediment filtration. Such a note might read, "EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FABRIC DROP (SILT SACK)." Include a simple detail of the proposed silt sack on the Soil Erosion and Sediment Control plan. We can provide you with an acceptable CAD detail upon request.
Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes. Inlet protection detail was added to the Erosion Control Details plan sheet on C3.1.

5. Place the following notes on the soil erosion control plan:
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC ACT 451.
Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes.

 - ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.
Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes.

 - ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes.

 - EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING

DISTURBED. (This area of disturbance, or grading limits, must be clearly shown on the site plan.)

Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes.

- SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE. (Remember that silt fences are intended to intercept *sheet flow* only and must always be installed *parallel* with the ground contours. Silt fences must not cross ravines, overland floodways, ditches, swales, etc. where concentrated flows occur.)

Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes.

- ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 AND THE DETENTION BASIN BANKS AND BOTTOM MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF. (Indicate such areas with shading or hatching on the plan.)

Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes.

- ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE- ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.

Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes.

- NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET AND IF IT DOES OCCUR, IT SHALL BE CLEANED DAILY.

Response: Note added to Sheet C3.0 under City of Kentwood Erosion Control Notes.

6. Per the requirements of Part 91 of P.A. 451, place on the soil erosion control plan a bar graph or chart showing the proposed timing and sequence of each proposed earth change. It must include the installation of both permanent and temporary soil erosion and sedimentation controls, as well as the removal of temporary controls. It must also show the sequence of any construction phases.

Response: A Sequence of Construction Operations table has been added to the erosion control plan on C3.0 that details the construction phases and timing of each phase.

7. A stone construction exit must also be included as part of the soil erosion control plan. Indicate the location of this exit on the plan, along with a detail. The length of the rock construction exit shall be at least 50 feet and shall consist of a 6-inch minimum layer crushed rock or stone on top of non-woven geosynthetic fabric (MDOT "Heavy Geotextile Liner"). The size of the stone shall be selected so that it cannot get caught between dual truck tires.

Response: A construction entrance/exit has been added to the northern entrance of the site on the erosion control plan on C3.0. The construction detail for the construction entrance/exit can be found on the erosion control detail sheet on C3.1.

Utilities (Sanitary & Water):

1. The City of Grand Rapids owns, operates and maintains the sanitary sewer collection and water distribution systems in this portion of Kentwood. Any alterations, extensions or new connections to either of these systems will require approval from Grand Rapids. Construction plans (drafting standards) and specifications for the proposed watermain and sanitary sewer must conform to Grand Rapids requirements.

Response: Note added to the City of Kentwood Utility Notes section on the utility plan on C7.0.

2. A representative of the City of Kentwood Inspections Department must be present when the tap is made into the existing sanitary sewer.

Response: Note added to the City of Kentwood Utility Notes section on the utility plan on C7.0.

3. The Grand Rapids Water Department must be present to make the tap into the existing watermain. Notify the Grand Rapids Water Department before making the connection to the existing service lateral.

Response: Note added to the City of Kentwood Utility Notes section on the utility plan on C7.0.

Required Permits, Bonds, Fees [and Escrow]:

1. Because this parcel is adjacent to a public street, over one (1) acre is being disturbed, or is within 500 feet of a lake or stream, a Permit for an Earth Change (fee \$800) and a \$5,000 soil erosion control performance bond or an irrevocable letter of credit using the City of Kentwood format will be required through Kentwood Engineering. The Owner/Developer must sign the Permit for an Earth Change. Both the Owner/Developer and the Contractor must be named on the bond. Please contact us if you need a permit and/or a bond template form, or one can be accessed on the City's website at <http://www.ci.kentwood.mi.us> (hover over "CITY SERVICES" and "DEPARTMENTS" then click "ENGINEERING", then click the "SOIL EROSION AND STORM WATER" link near the top of the page). There is a 365-day limit to complete the work under this permit.

Response: Noted.

2. A \$30,000 Site Grading and Stormwater Management Bond or an irrevocable letter of credit using the City of Kentwood format and an administrative fee of \$750 will be required through Kentwood Engineering. This bond is posted to assure that the plan, once approved, is constructed in the field according to that plan. Both the Owner/Developer and the Contractor must be named on the bond. Let us know if you need our bond template, or it can be accessed on the City's website.

Response: Noted.

3. Please note that all required bonds and permit applications and fees must be submitted to, and accepted by, Kentwood Engineering *before any permits can be issued!* There will be no "partial" or "conditional" permits issued.

Response: Noted.

Miscellaneous / Reminders:

1. Please be advised that at the completion of construction, a civil engineer or surveyor will need to provide an as-built plan to the City of Kentwood with a certification by a registered engineer stating that the site grading and the stormwater system were constructed in accordance with the approved plans. A copy of the certification form is available upon request or on the City's website.

Response: Noted.

2. Remember that, for a Building Permit to be issued, other City departments (fire, assessor, treasurer, water, planning) may have comments regarding this plan. Contact Kentwood Inspections (Renee Hargrave, 554-0781) regarding building permit application procedures, fees, plan requirements and approval status.

Response: Noted.

3. Once final approval by all departments has been granted, make sure the contractor has the latest approved set of plans before beginning construction!

Response: Noted.

Please contact me at (331) 481-7330 or tom.szafranski@kimley-horn.com should you have any questions.

Sincerely,

Kimley-Horn and Associates, Inc.



Tom Szafranski, P.E.
Project Manager

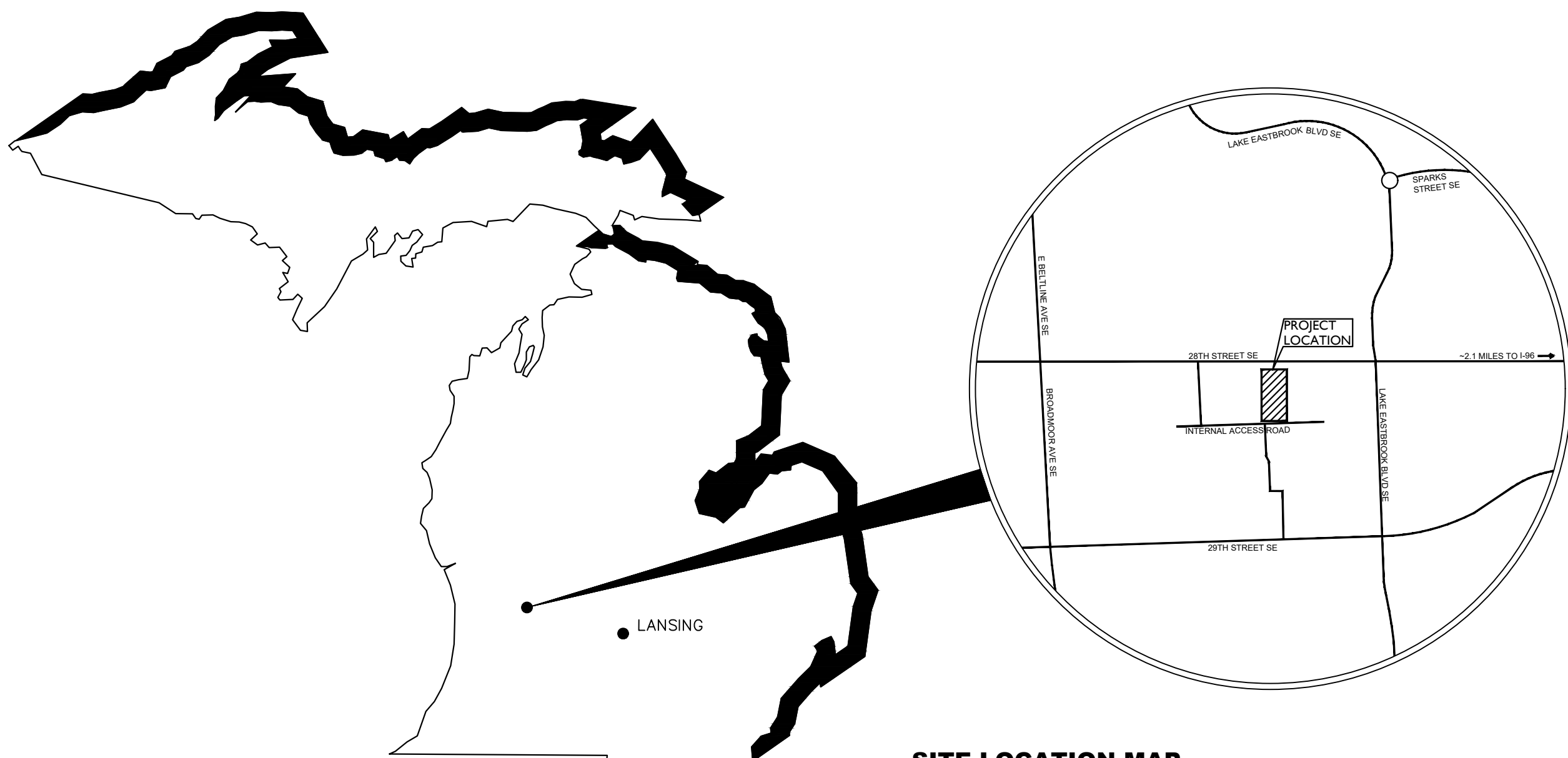
PRELIMINARY CIVIL CONSTRUCTION PLANS FOR



RAISING CANE'S C1283
3650 28TH SE
CITY OF KENTWOOD
KENT COUNTY, MI 49512

GOVERNMENT/UTILITY CONTACTS

PLANNING & ZONING DEPARTMENT	PLANNING DEPARTMENT CITY OF KENTWOOD 4900 BRETON AVENUE SE KENTWOOD, MI 49508
CONTACT:	JOE PUNG 616-554-0810
STORM SEWER	INSPECTIONS/ENGINEERING DEPARTMENT CITY OF KENTWOOD 4900 BRETON AVENUE SE KENTWOOD, MI 49508
CONTACT:	RENEE HARGRAVE 616-554-0781
SANITARY SEWER	UTILITY ENGINEERING DEPARTMENT CITY OF GRAND RAPIDS 1120 MONROE AVENUE NW GRAND RAPIDS, MI 49503
CONTACT:	LAWRENCE OLSON 616-456-4075
WATER PROVIDER	UTILITY ENGINEERIGN DEPARTMENT CITY OF GRAND RAPIDS 1120 MONROE AVENUE NW GRAND RAPIDS, MI 49503
CONTACT:	LAWRENCE OLSON 616-456-4075
POWER COMPANY	CONSUMERS ENERGY PO BOX 740309 CINCINNATI, OH 45274
CONTACT:	DAIJA GREEN 800-805-0490
NATURAL GAS COMPANY	DTE ENERGY 2689 WALKENT DRIVE NW GRAND RAPIDS, MI 49544
CONTACT:	RUBEN FLORES 800-533-6220
TELEPHONE COMPANY	AT&T
CONTACT:	844-387-6984



SITE LOCATION MAP
(NOT TO SCALE)

NOTES:

- IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24" X 36" SHEET.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
V0.0	ALTA SURVEY
C3.0	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C5.0	SITE KEYNOTE PLAN
C6.0	GRADING PLAN
C7.0	UTILITY PLAN
C9.0	STORMWATER CALCULATIONS

ENGINEER
Kimley»Horn
of Michigan, Inc.

1000 TOWN CENTER
SUITE 1900
SOUTHFIELD, MI 48075
PH. (331) 481-7330
CONTACT: TOM SZAFRANSKI, P.E.

OWNER/DEVELOPER



RAISING CANE'S RESTAURANTS, L.L.C.
6800 BISHOP ROAD
PLANO, TX 75024
(P) (972) 769-3100
CONTACT: LUARON FOSTER

ARCHITECT



ADA ARCHITECTS, INC.
17710 DETROIT AVENUE
LAKEWOOD, OH 44107
(P) (216) 521-5134
CONTACT: DUSTIN JOHNSTON

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT AT 3650 28TH STREET SE IS A RAISING CANE'S QUICK-SERVE RESTAURANT WITH DUAL DRIVE-THRU LANES, ON-SITE PARKING, AND A PATIO ON THE NORTH SIDE OF THE BUILDING FOR OUTDOOR DINING. THE STRUCTURE IS APPROXIMATELY 3,428 SQUARE FEET AND INCLUDES A NON-CONDITIONED CORRAL WITH BRICK FINISH AT THE REAR OF THE BUILDING FOR OPERATIONS. THE ROOF LINE AROUND THE EXTERIOR IS AT 20'-6" AND THE ENTRYWAY/DRIVE-THRU TOWERS AND PARAPETS TOP OUT AT 23'-6". IN THE INTERIOR OF THE BUILDING THERE WILL BE A DINING AREA, SERVICE COUNTER, KITCHEN, STORAGE AREAS, WASH AREA, A MANAGER'S OFFICE, RESTROOMS AND A WALK-IN COOLER/FREEZER. THERE IS ALSO A DESIGNATED MECHANICAL ROOM THAT PROVIDES ACCESS TO THE ROOF.

THERE ARE TWO PROPOSED DRIVEWAYS, ONE LOCATED AT THE NORTHWEST CORNER OF THE SITE ALONG 28TH STREET SE AND ONE AT THE SOUTHWEST CORNER OF THE SITE ALONG AN EXISTING INTERNAL ACCESS ROAD. THE MAIN THOROUGHFARE THROUGH THE SITE IS A TWO-WAY DRIVE AISLE CONNECTING THE TWO DRIVEWAYS, PROVIDING ACCESS TO CUSTOMER PARKING, MOBILE-ORDER PICKUP SPOTS, THE DRIVE-THRU ENTRANCE AND EXIT, AND THE TRASH ENCLOSURE. THE PROPOSED DUAL LANE DRIVE-THRU IS DESIGNED TO MAXIMIZE STACKING ONSITE AND MINIMIZE SITE CONGESTION. PEDESTRIAN ACCESS IS PROVIDED WITH A PUBLIC SIDEWALK CONNECTION TO THE EXISTING PUBLIC SIDEWALK RUNNING ALONG 28TH STREET SE TO THE PROPOSED RESTAURANT BUILDING.

LEGAL DESCRIPTION

LAND SITUATED IN THE CITY OF KENTWOOD, COUNTY OF KENT AND STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 14, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID SECTION 14 A DISTANCE OF 165.00 FEET SOUTH 87 DEGREES 04 MINUTES 10 SECONDS EAST OF THE NORTH 1/4 CORNER OF SAID SECTION 14; THENCE CONTINUING SOUTH 87 DEGREES 04 MINUTES 10 SECONDS EAST ON SAID NORTH SECTION LINE 165.00 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PARALLEL WITH THE NORTH - SOUTH 1/4 LINE OF SAID SECTION 14 A DISTANCE OF 660.00 FEET; THENCE NORTH 87 DEGREES 04 MINUTES 10 SECONDS WEST PARALLEL WITH THE NORTH LINE OF SAID SECTION 14 A DISTANCE OF 165.00 FEET; THENCE NORTH 00 DEGREES 17 MINUTES 50 SECONDS EAST PARALLEL WITH SAID 1/4 LINE 660.00 FEET TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THE FOLLOWING DESCRIBED PROPERTY (AS CONVEYED BY DEED RECORDED IN LIBER 3541, PAGE 17) PART OF THE NORTHEAST 1/4 OF SECTION 14, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 14; THENCE SOUTH 87 DEGREES 04 MINUTES 10 SECONDS EAST ON THE NORTH LINE OF SAID SECTION 14 A DISTANCE OF 330.00 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PARALLEL WITH THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 14 A DISTANCE OF 392.97 FEET TO THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; THENCE CONTINUING SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PARALLEL WITH SAID 1/4 LINE 267.03 FEET TO A POINT THAT IS 660.00 FEET SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST OF THE NORTH LINE OF SAID SECTION 14; THENCE NORTH 87 DEGREES 04 MINUTES 10 SECONDS WEST PARALLEL WITH SAID NORTH SECTION LINE 165.00 FEET TO A POINT THAT IS 165.00 FEET SOUTH 87 DEGREES 04 MINUTES 10 SECONDS EAST OF THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 14; THENCE NORTH 00 DEGREES 17 MINUTES 50 SECONDS EAST PARALLEL WITH SAID 1/4 LINE 266.73 FEET TO A POINT THAT IS 393.27 FEET SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST OF SAID NORTH SECTION LINE; THENCE SOUTH 87 DEGREES 10 MINUTES 10 SECONDS EAST (DEEDED SOUTH 87 DEGREES 10 MINUTES 25 SECONDS EAST) 164.98 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THE NON-EXCLUSIVE RIGHTS, AND SUBJECT TO THE TERMS, CONDITIONS AND LIMITATIONS CONTAINED IN THE RECIPROCAL PARKING EASEMENT AGREEMENT DATED SEPTEMBER 9, 1994 RECORDED IN LIBER 3541, PAGE 26.

BENCHMARKS

SITE BENCHMARK #1
CHISEL MARK ON WEST SIDE OF LIGHT POLE BASE, 45± SOUTH OF SOUTHEAST CORNER OF BUILDING #3650, EAST SIDE OF SITE.
ELEVATION = 733.13' (NAVD 88)

SITE BENCHMARK #2
CHISEL MARK ON EAST SIDE OF LIGHT POLE BASE, 100± SOUTHWEST OF NORTHWEST CORNER OF BUILDING #3650, WEST SIDE OF SITE.
ELEVATION = 734.76' (NAVD 88)

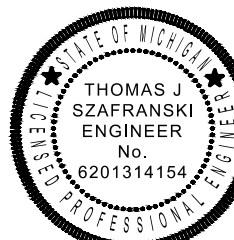
NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER'S CERTIFICATION

I, THOMAS J. SZAFRANSKI, A LICENSED PROFESSIONAL ENGINEER OF KIMLEY-HORN OF MICHIGAN, INC., HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF RAISING CANE'S RESTAURANTS, L.L.C. BY KIMLEY-HORN OF MICHIGAN, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 18TH DAY OF NOVEMBER, A.D., 2024.

MI LICENSED PROFESSIONAL ENGINEER 6201314154
MY LICENSE EXPIRES ON AUGUST 06, 2026.



EXP. 08.06.2026

C1.0



HANDICAP PARKING = 6 STALLS
STANDARD PARKING = 88 STALLS

64,797± SQUARE FEET = 1.48± ACRES

SOUTH 87°04'10" EAST, BEING THE NORTH LINE OF SECTION 14, AS DESCRIBED.

SITE BENCHMARK #1
CHISEL MARK ON WEST SIDE OF LIGHT POLE BASE, 45±
SOUTH OF SOUTHEAST CORNER OF BUILDING #3650, EAST
SIDE OF SITE.
ELEVATION = 733.13' (NAVD 88)

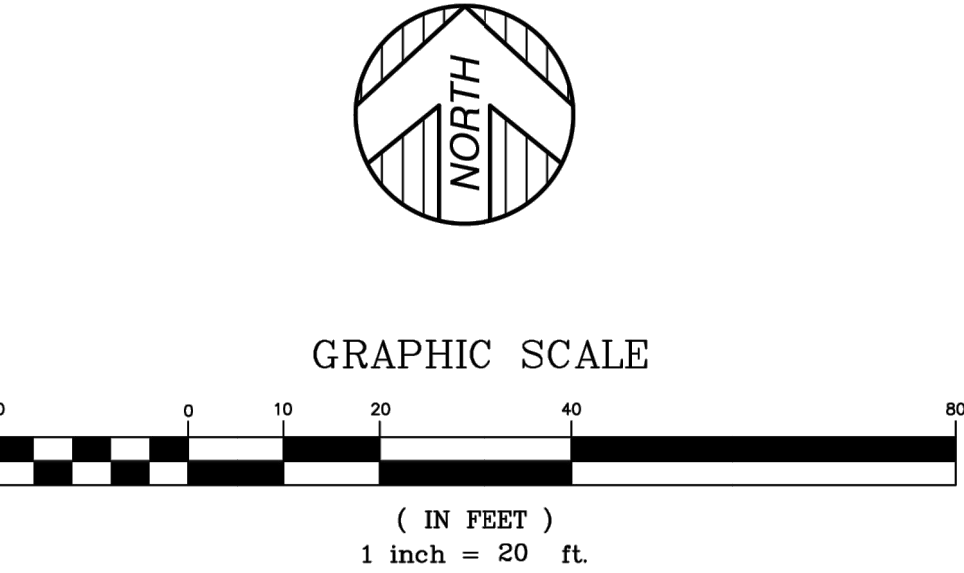
CHISEL MARK IN EAST SIDE OF LIGHT POLE BASE, 100 ±
SOUTHWEST OF NORTHWEST CORNER OF BUILDING #3650,
WEST SIDE OF SITE.
ELEVATION = 734.76' (NAVD 88)

SUBJECT PARCEL LIES WITHIN:

OTHER AREA (ZONE X): AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26081C0437D
DATED 2/23/2023, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMEN
AGENCY.

	FOUND MONUMENT (AS NOTED)
	FOUND SECTION CORNER (AS NOTED)
	RECORD AND MEASURED DIMENSION
	RECORD DIMENSION
	MEASURED DIMENSION
	GROUND ELEVATION
	ELECTRIC METER
	ELECTRIC PANEL
	TRANSFORMER
	GENERATOR
	PUBLIC LIGHTING MANHOLE
	TELEPHONE RISER
	CABLE TV BOX
	CABLE TV RISER
	CLEANOUT
	SANITARY MANHOLE
	ROUND CATCH BASIN
	SQUARE CATCH BASIN
	DRAIN
	WATER GATE MANHOLE
	WATER VALVE
	GREASE TRAP
	LIGHTPOST/LAMP POST
	MAIL BOX
	SINGLE POST SIGN
	DECIDUOUS TREE (AS NOTED)
	HANDICAP PARKING
	PARCEL BOUNDARY LINE
	PLATTED LOT LINE
	EASEMENT (AS NOTED)
	RIGHT-OF-WAY
	BUILDING
	BUILDING OVERHANG
	CONCRETE CURB
	RAISED CONCRETE
	PARKING
	EDGE OF CONCRETE (CONC.)
	EDGE OF ASPHALT (ASPH.)
	EDGE OF GRAVEL
	FENCE (AS NOTED)
	OVERHEAD UTILITY LINE
	FIBER OPTIC LINE
	ELECTRIC LINE
	UNDERGROUND CABLE
	COMMUNICATION LINE
	GAS LINE
	SANITARY LINE
	STORM LINE
	WATER LINE
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	BUILDING AREA
	ASPHALT
	CONCRETE



LAND SITUATED IN THE CITY OF KENTWOOD, COUNTY OF KENT AND STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 14, TOWN 6 NORTH, RANGE 11 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID SECTION 14 A DISTANCE OF 165.00 FEET; THENCE SOUTH 87 DEGREES 40 MINUTES 10 SECONDS EAST THE NORTH 1/4 CORNER OF SAID SECTION 14; THENCE CONTINUING SOUTH 87 DEGREES 40 MINUTES 10 SECONDS EAST ON SAID NORTH SECTION 14 165.00 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PARALLEL WITH THE NORTH - SOUTH 1/4 LINE OF SAID SECTION 14 A DISTANCE OF 660.00 FEET; THENCE NORTH 87 DEGREES 40 MINUTES 10 SECONDS WEST PARALLEL WITH THE NORTH - SOUTH 1/4 LINE OF SAID SECTION 14 165.00 FEET; THENCE NORTH 00 DEGREES 17 MINUTES 50 SECONDS EAST PARALLEL WITH SAID 1/4 LINE 660.00 FEET TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THE FOLLOWING DESCRIBED PROPERTY (AS CONVEYED BY DEED RECORDED IN LIBER 3541, PAGE 17) PART OF THE NORTHEAST 1/4 OF SECTION 14, TOWN 6 NORTH, RANGE 1 WEST, CITY OF KENTWOOD, KENT COUNTY, MICHIGAN, BEGINS AT A POINT 100 FEET SOUTH AND 100 FEET EAST OF SAID SECTION 14; THENCE SOUTH 87 DEGREES 40 MINUTES TO SECONDS EAST ON THE NORTH LINE OF SAID SECTION 14 A DISTANCE OF 33.00 FEET; THENCE SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PARALLEL WITH SAID NORTH LINE OF SAID SECTION 14 A DISTANCE OF 165.00 FEET TO THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; THENCE CONTINUING SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PARALLEL WITH SAID 1/4 LINE 267.03 FEET TO A POINT THAT IS 866.00 FEET SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST PARALLEL WITH SAID NORTH LINE OF SECTION 14; THENCE NORTH 87 DEGREES 40 MINUTES TO SECONDS WEST PARALLEL WITH SAID NORTH SECTION LINE 165.00 FEET TO A POINT THAT IS 165.00 FEET SOUTH 87 DEGREES 40 MINUTES TO SECONDS EAST OF THE NORTH CORNER OF SAID SECTION 14; THENCE SOUTH 87 DEGREES 40 MINUTES TO SECONDS WEST PARALLEL WITH SAID NORTH SECTION LINE 165.00 FEET TO A POINT THAT IS 39.27 FEET SOUTH 00 DEGREES 17 MINUTES 50 SECONDS WEST OF SAID NORTH SECTION LINE; THENCE SOUTH 87 DEGREES 40 MINUTES TO SECONDS WEST PARALLEL WITH SAID NORTH SECTION LINE 165.00 FEET TO A POINT THAT IS 165.00 FEET SOUTH 87 DEGREES 40 MINUTES TO SECONDS EAST OF THE NORTH CORNER OF SAID SECTION 14; THENCE SOUTH 87 DEGREES 40 MINUTES TO SECONDS WEST PARALLEL WITH SAID NORTH SECTION LINE 165.00 FEET TO A POINT THAT IS 165.00 FEET SOUTH 87 DEGREES 40 MINUTES TO SECONDS EAST OF THE NORTH CORNER OF SAID SECTION 14; THENCE SOUTH 87 DEGREES 40 MINUTES TO SECONDS WEST PARALLEL WITH SAID NORTH SECTION LINE 165.00 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THE NON-EXCLUSIVE RIGHTS, AND SUBJECT TO THE TERMS,
CONDITIONS AND LIMITATIONS CONTAINED IN THE RECIPROCAL PARKING
EASEMENT AGREEMENT DATED SEPTEMBER 9, 1994 RECORDED IN LIBER 3541,
PAGE 26.

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE GIT MICHIGAN TITLE SERVICES
FILE NO. M000850/TX20244352, DATED MARCH 12, 2024, AND RELISTED
BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH
WAS PERFORMED BY THE CERTIFYING SURVEYOR.

22. RELEASE OF RIGHT OF WAY TO THE STATE OF MICHIGAN RECORDED
JANUARY 20, 1930 IN LIBER 767 PAGE 523. (AS SHOWN)

23. GRANT OF EASEMENT AND RIGHT OF WAY GRANT IN FAVOR OF THE CITY OF KENTWOOD, A MUNICIPAL CORPORATION RECORDED MARCH 28, 1969 AS LIBER 2068 PAGE 258. (AS SHOWN)

24. EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY RECORDED AUGUST 9, 1973 AS LIBER 2156 PAGE 1348. (AS SHOWN)

25. EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY RECORDED AUGUST 8, 1974 AS LIBER 2178 PAGE 95. (AS SHOWN)

26. GENERAL EASEMENT AND RIGHT OF WAY IN FAVOR OF KENT COUNTY DRAIN
COMMISSIONER RECORDED AUGUST 10, 1977 AS BOOK 2248 PAGE 673.
(AS SHOWN)

27. RECIPROCAL PARKING EASEMENT AGREEMENT DATED SEPTEMBER 7, 1994
AND RECORDED SEPTEMBER 9, 1994 AS LIBER 3541 PAGE 26 BETWEEN
OUTBACK STEAKHOUSE, INC. AND JASE PIGS LIMITED LIABILITY COMPANY.
(BLANKET IN NATURE)

28. EASEMENT AGREEMENT IN FAVOR OF UACC MIDWEST, INC D/B/A TCI
CABLEVISION OF WEST MICHIGAN, INC, RECORDED OCTOBER 27, 1995 AS LIBER
3731 PAGE 057.
(BLANKET IN NATURE)

29. AFFIDAVIT OF THE 28TH STREET SIDEWALK SPECIAL ASSESSMENT
RESOLUTION RECORDED APRIL 15, 2015 AS DOCUMENT NO. 20150415-0031671
(BLANKET IN NATURE)

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE EXACTLY LOCATED IN ACCORDANCE WITH THE RECORD DRAWINGS. THE SURVEYOR HAS EXERCISED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

2. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

TO KIMLEY-HORN OF MICHIGAN, INC.; RAISING CANE'S
RESTAURANTS, L.L.C., WILLIAM J MANDEL AND GIT MICHIGAN TITLE SERVICE:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7A, 7B1, 8, 9, 11A, 11B, 13 AND 16 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 07/09/24.

DATE OF PLAT OR MAP: 07/19/24

DRAFT

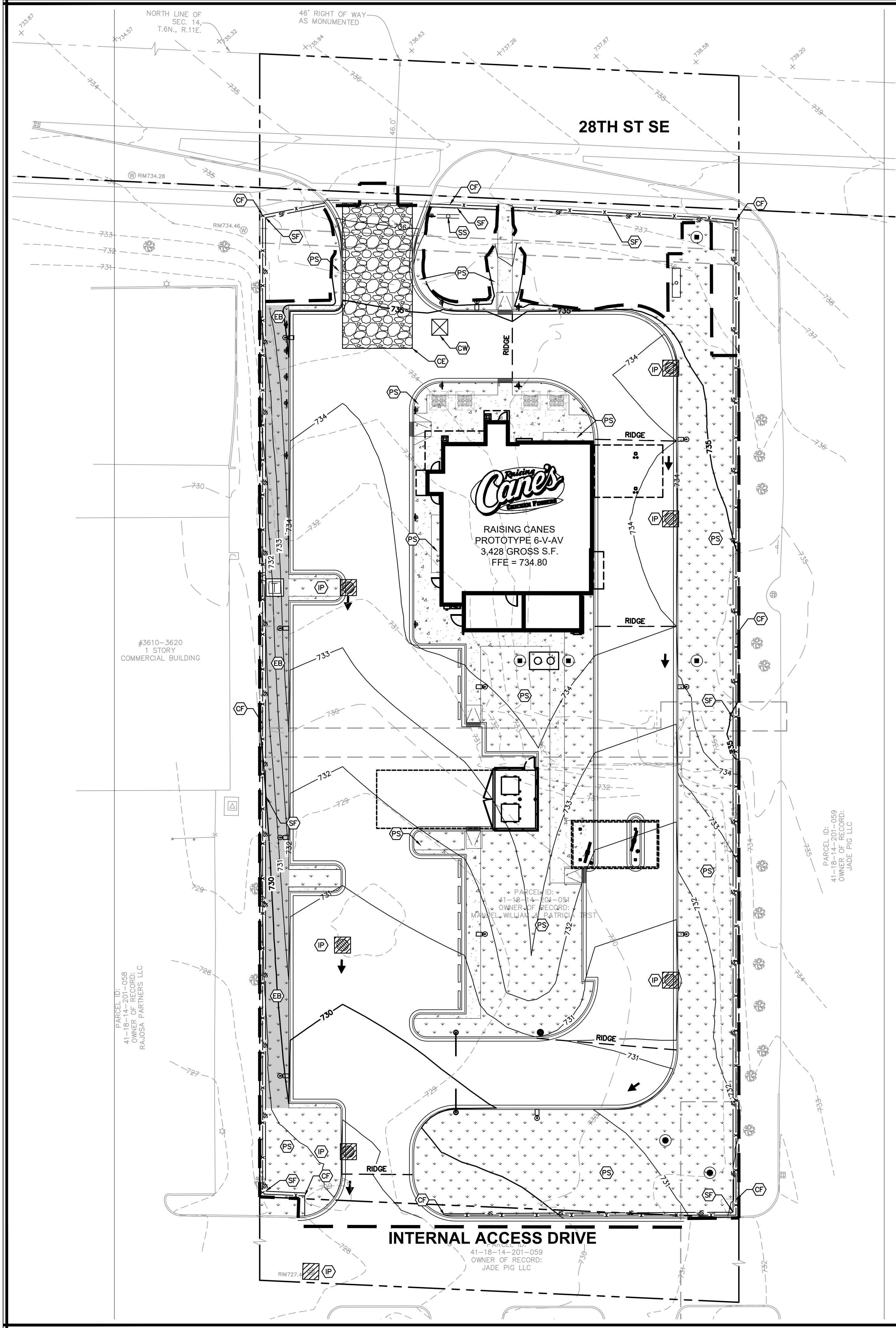
ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemtec-survey.com

ALTA / NSPS LAND TITLE SURVEY

PREPARED FOR: KIMLEY-HORN
3650 28TH STREET, KENTWOOD, MICHIGAN,
PART OF SECTION 14,
TOWN 6 NORTH, RANGE 11 WEST

DRAWN BY:	GST	07/18/24
CHECKED BY:	ATS	07/23/24
DATE:	JULY 23, 2024	
PROJECT NO.	24-01295	SCALE: 1" = 20'
REVISION	1	07-29-24 BY: JDO
DESCRIPTION	UPDATED PER FIELD CHECK	

V0.0



EROSION CONTROL NOTES

- GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
- GENERAL CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
- DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. SEE PHASING SCHEDULE THIS SHEET.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- GENERAL CONTRACTOR TO PROVIDE INLET PROTECTION IN PUBLIC ROW ONLY DURING EARTH MOVING ACTIVITIES. GENERAL CONTRACTOR TO ENSURE PONDING DOES NOT OCCUR IN PUBLIC ROW OR ON ADJACENT PROPERTIES AT ANY TIME DURING CONSTRUCTION.
- THERE ARE NO ON-SITE OR ADJACENT WETLANDS OR WATERS OF THE U.S. PRESENT ON THIS PROJECT.
- CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, THE CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PARKING LOT CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ANY AFFECTED INLETS DOWNSTREAM OF THE PROPOSED IMPROVEMENTS, IF NEEDED.
- THE NATURE OF THIS SITE'S CONSTRUCTION CONSISTS OF CLEARING & SITE PREPARATION, EARTHWORK, GRADING, UTILITIES, PAVING, AND LANDSCAPING.
- SEDIMENTATION BASIN: NEITHER A TEMPORARY NOR PERMANENT SEDIMENTATION BASIN HAS BEEN PROVIDED ON THIS SITE BECAUSE THE SITE IS LESS THAN 10 ACRES IN AREA.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING AND LANDSCAPING.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW OR EQUIPMENT STORAGE AREAS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF NOI, NOT, POSTING OF SITE NOTICES, AND ANY ADDITIONAL INFORMATION OR SUBMITTALS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

CITY OF KENTWOOD EROSION CONTROL NOTES

- EXISTING AND NEW CATCH BASINS SHALL BE PROTECTED WITH AN INLET FABRIC DROP (SILT SACK), STRAW BALES OR FABRIC PLACED UNDER THE GRATE ARE NOT ACCEPTABLE, AND SEDIMENT TRAPS ALONE ARE NOT SUFFICIENT TO PROVIDE ADEQUATE SEDIMENT FILTRATION.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH ARTICLE 2 OF CITY OF KENTWOOD ORDINANCE 78 AND PART 91 OF PUBLIC ACT 451.
- ALL SOIL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING EVERY SIGNIFICANT RAINFALL EVENT.
- ALL EXCESS SPOILS ARE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
- EXCESS DIRT IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BEING DISTURBED.
- SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE GRADING LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED. THE SILT FENCE MUST BE TOED IN A MINIMUM OF 6 INCHES ALONG ITS BASE.
- ALL DISTURBED BANKS EQUAL TO OR GREATER THAN 4:1 MUST BE COVERED WITH TOPSOIL, SEED AND NORTH AMERICAN GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET. THIS BLANKET, ALONG WITH THE NECESSARY STAPLES OR WOOD PEGS, SHALL BE PLACED PER MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS AND SHALL BE MAINTAINED UNTIL VEGETATION IS UNIFORMLY RE-ESTABLISHED AND THE SITE IS PERMANENTLY STABILIZED.
- NO SEDIMENT SHALL BE TRACKED ONTO THE ADJACENT PUBLIC STREET OR ADJACENT PROPERTIES, AND IF IT DOES OCCUR, IT SHALL BE CLEANED DAILY.
- INSTALL SUPPLEMENTARY 6 INCH ARABIC NUMERALS ON A POST OR MAILBOX ON THE SAME SIDE OF THE PUBLIC ROAD AS, AND DIRECTLY IN FRONT OF, THE BUILDING IN SUCH A MANNER AS TO BE READILY VISIBLE TO VEHICLES ON THE PUBLIC ROAD.

SEQUENCE OF CONSTRUCTION OPERATIONS

PHASE 1 - DEMOLITION

- | | | |
|---------|----|--|
| 2 WEEKS | 1. | INSTALL PERIMETER BMP'S INCLUDING CONSTRUCTION ENTRANCE/EXIT, SILT AND PROTECTIVE FENCING, CONCRETE WASHOUT AREA PRIOR TO ROUGH GRADING, BEGIN CLEARING, GRUBBING, AND DEMOLITION OF SITE. |
| 3 WEEKS | 2. | STRIP AND STOCKPILE TOPSOIL, REMOVE EXISTING PAVEMENT CALLED FOR DEMOLITION. |

PHASE 2 - GRADING

- | | | |
|---------|----|--|
| 3 WEEKS | 3. | GRADE AND BALANCE AS REQUIRED, TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT EARTH CHANGE ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 14 DAYS OR MORE. |
|---------|----|--|

PHASE 3 - UTILITIES

- | | | |
|---------|----|---|
| 4 WEEKS | 4. | INSTALL UNDERGROUND UTILITIES, INSTALL APPROPRIATE INLET PROTECTION DEVICES AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED. |
| 4 WEEKS | 5. | INSTALL ALL FRANCHISE UTILITIES (ELEG, TELE, AND GAS), (CONCURRENT WITH #4). |

PHASE 4 - PAVING

- | | | |
|---------|----|--------------------------|
| 3 WEEKS | 6. | PREPARE SITE FOR PAVING. |
| 3 WEEKS | 7. | INSTALL PAVEMENT. |

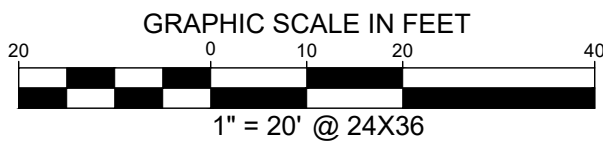
PHASE 5 - LANDSCAPING AND DEVELOPMENT

- | | | |
|---------|----|--|
| 2 WEEKS | 8. | COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS. |
| 2 DAYS | 9. | UPON PERMANENT STABILIZATION REMOVE ALL REMAINING BMP'S, REMOVE SILT FENCE FOLLOWING INSPECTOR APPROVAL. |

APPROXIMATE TOTAL DURATION IS 6 MONTHS

NOTES:

- SCHEDULE IS TENTATIVE AND SUBJECT TO CHANGE BASED ON PERMITTING AND WEATHER DELAYS.
- AT A MINIMUM, AT LEAST ONE STREET SWEEPING PER WEEK AND A STREET SCRAPING AT THE END OF EACH WORK DAY IS REQUIRED.
- STRUCTURAL SEDIMENT CONTROLS MUST BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS, RECORD MAINTENANCE IN A LOGBOOK WEEKLY AND WITHIN 24 HOURS AFTER A STORM EVENT.



LEGEND

- | | |
|-----|--|
| --- | PROPERTY/LEASE/LINE |
| --- | EXISTING CONTOUR |
| --- | PROPOSED CONTOUR |
| --- | PROPOSED LIMITS OF DISTURBANCE |
| --- | PROPOSED DIRECTION OF OVERLAND FLOW W/GRADE |
| --- | PROPOSED CLOSED LID STORM STRUCTURE |
| --- | PROPOSED OPEN LID STORM STRUCTURE |
| --- | EXISTING STORM STRUCTURE |
| --- | SILT FENCE. SEE EROSION CONTROL DETAILS. |
| --- | 6' TALL CHAIN LINK CONSTRUCTION FENCE. |
| --- | CONSTRUCTION EXIT. SEE EROSION CONTROL DETAILS. |
| --- | PERMANENT STABILIZATION. REFER TO L2.0-LANDSCAPE PLAN |
| --- | PROPOSED GRATE INLET PROTECTION. SEE EROSION CONTROL DETAILS. |
| --- | CONCRETE WASHOUT (LOCATION DETERMINED BY CONTRACTOR). SEE EROSION CONTROL DETAILS. |
| --- | SWPPP INFORMATION SIGN |
| --- | EROSION CONTROL BLANKET. SEE EROSION CONTROL DETAILS. |

EXCAVATION SUMMARY

CUT VOLUME:	145± CU. YD (EXCLUDING SPOILS)
FILL VOLUME:	2,215± CU. YD
NET:	2,070± CU. YD (FILL)

SITE SOIL ANALYSIS

THE SUBSURFACE MATERIALS GNERALLY CONSISTED OF GRANULAR EXISTING FILL MATERIALS UNDERLAIN BY NATIVE MEDIUM STIFF TO HARD LEAN CLAY EXTENDING TO THE MAXIMUM DEPTH OF THE BORING. THE ON-SITE MATERIALS ARE GENERALLY CONSIDERED SUITABLE FOR REUSE AS STRUCTURAL FILL AT THIS SITE. EXCAVATED ON-SITE MATERIALS MAY BE SELECTIVELY REUSED AS FILL ABOVE FOUNDATIONS, BELOW FLOOR SLABS AND BELOW PAVEMENTS.

IMPORTED FILL MATERIALS SHOULD MEET THE FOLLOWING USGS CLASSIFICATIONS: CL, CL-MI, ML FOR LOW PLASTICITY COHESIVE SOIL TYPES OR GW, GP, GM, GC, SW, SP, SM, SC FOR GRANULAR SOIL TYPES.

A SAMPLE OF EACH MATERIAL TYPE SHOULD BE SUBMITTED TO THE GEOTECHNICAL ENGINEER FOR EVALUATION PRIOR TO USE ON THIS SITE. FOR MORE INFORMATION REGARDING SOIL TYPE, FILL PLACEMENT OR COMPACTION, SEE GEOTECHNICAL REPORT NO. CK5139 CREATED BY TERRECON DATED OCTOBER 24, 2024.



CALL MISS-DIG 72 HOURS IN ADVANCE OF ANY CONSTRUCTION.

CAUTION!!

CONTRACTOR IS TO VERIFY PRESENCE, AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE: 11/20/2018

STORE:

RAISING CANE'S RESTAURANT

3650 28TH ST SE,
KENTWOOD, MI 49512
PROTOTYPE P6-V-AV
SCHEME: STANDARD - B
STORE #RC1283



Lakewood, Ohio 44107
17710 Detroit Avenue
Phone (216) 521-5134
Fax (216) 521-4824
www.adaarchitects.com

FOR REVIEW ONLY

ENGINEER INFORMATION:



2024 KIMLEY-HORN AND ASSOCIATES, INC.
3000 TOWN CENTER, SUITE 2000, MI 48075
PHONE: (313) 572-1560
WWW.KIMLEY-HORN.COM

KH JOB NO. 168418058



SHEET REVISIONS

#	DATE	TYPE
1	11/18/24	REVISED PER CITY COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

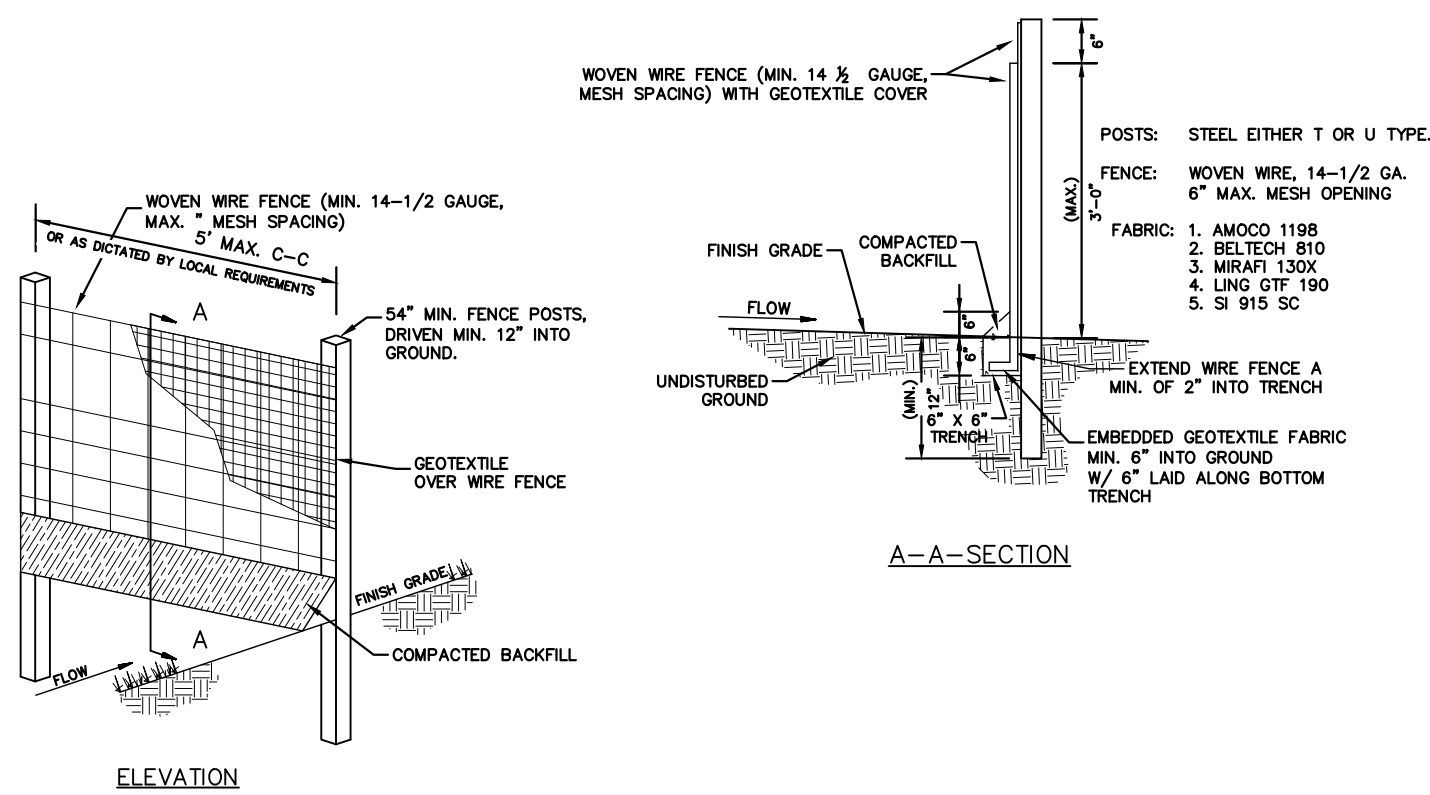
SOIL EROSION AND SEDIMENTATION CONTROL PLAN

DATE 10/11/2024

JOB NO. XXXXX

C3.0

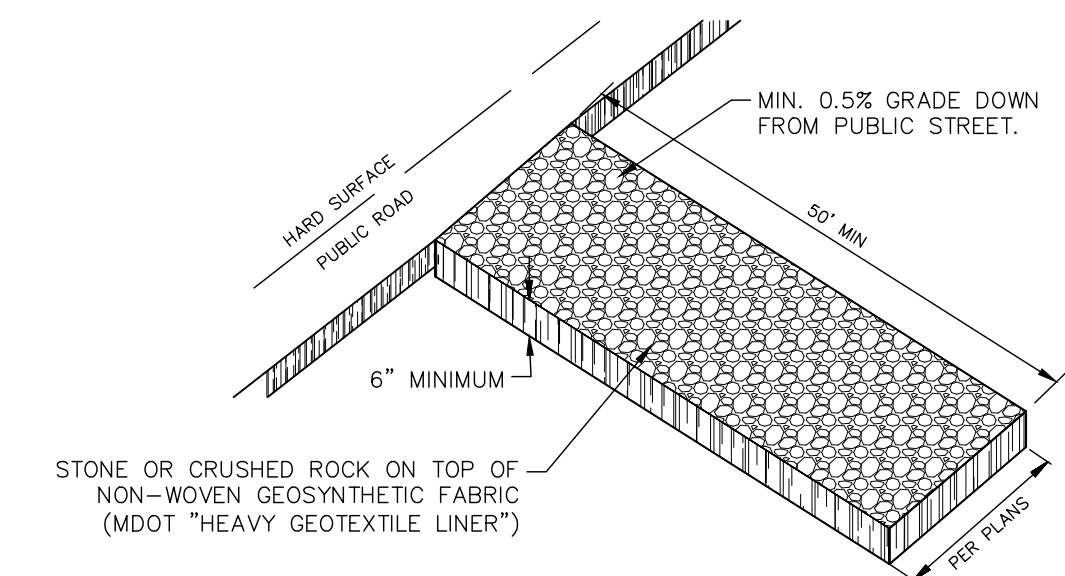
SHEET NO.



1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE.

SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT

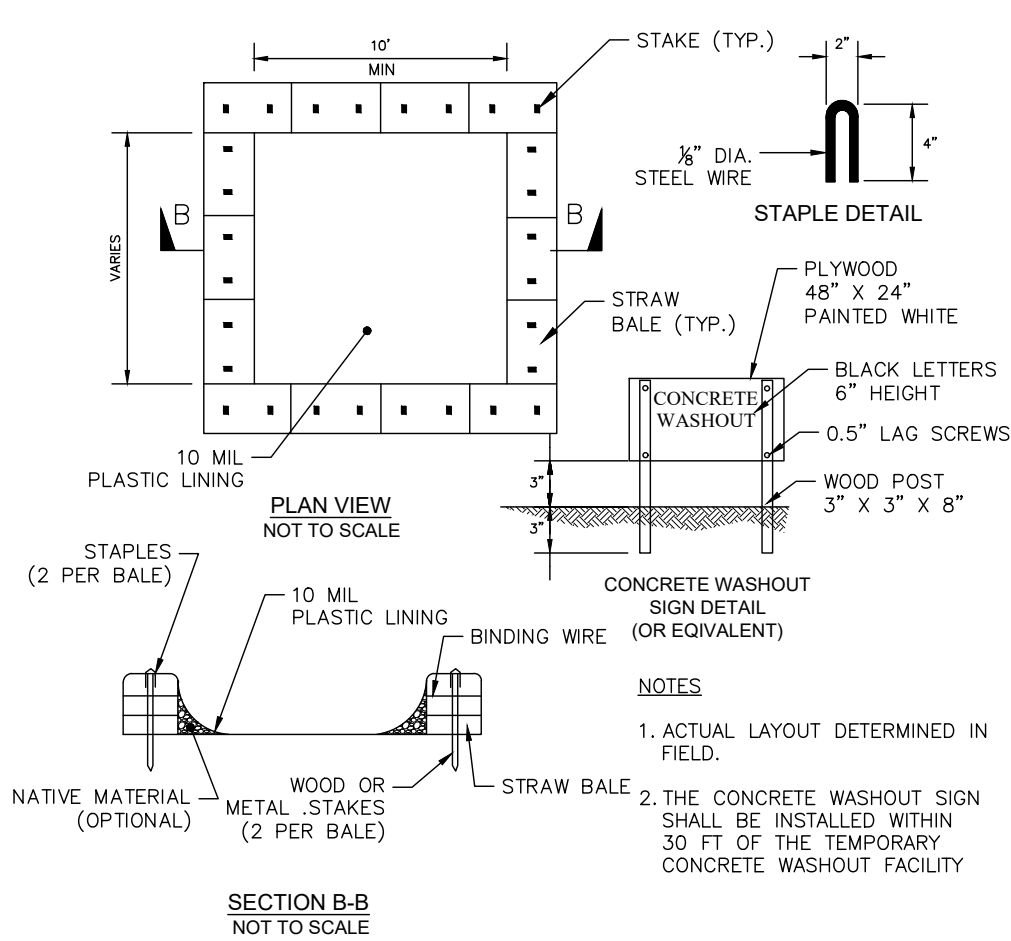
N.T.S.



NOTE: THE SIZE OF THE STONE SHALL BE SELECTED SO THAT IT CANNOT GET CAUGHT BETWEEN DUAL TRUCK TIRES.

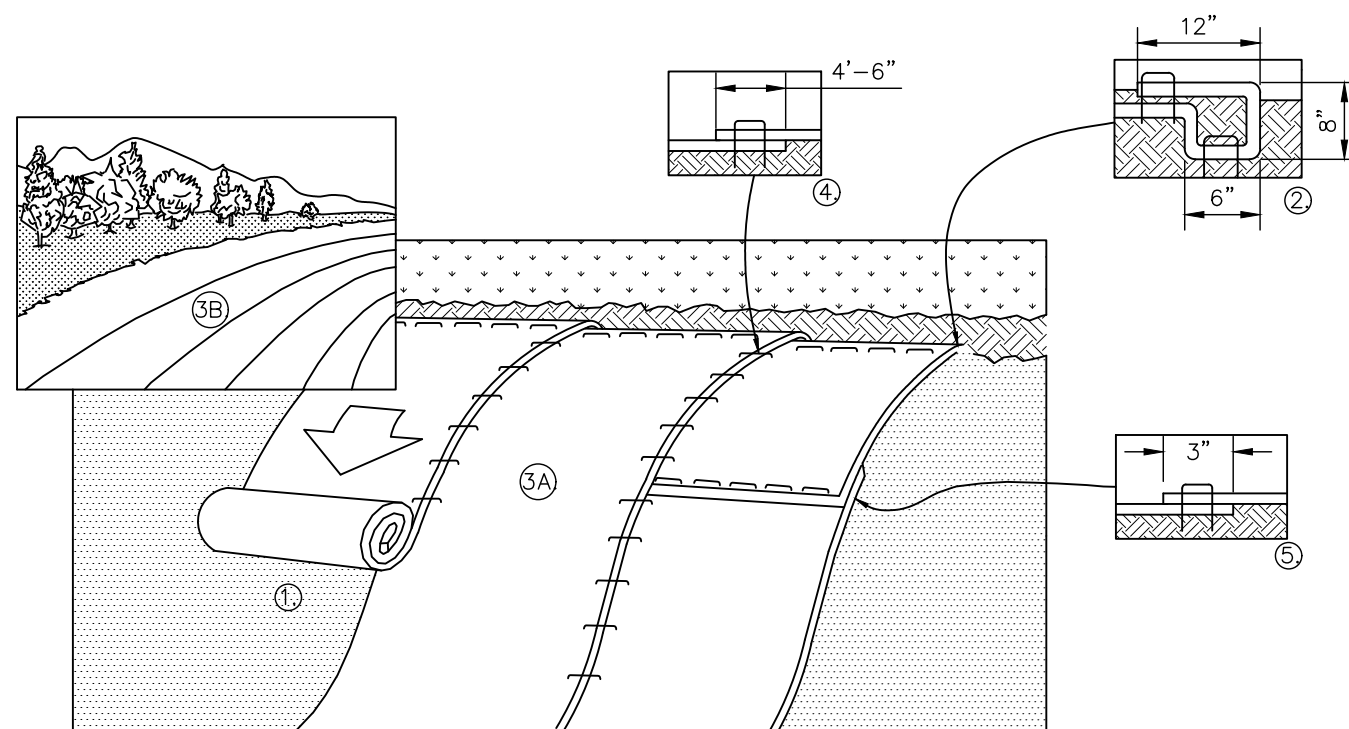
CONSTRUCTION ENTRANCE

N.T.S.



CONCRETE WASHOUT

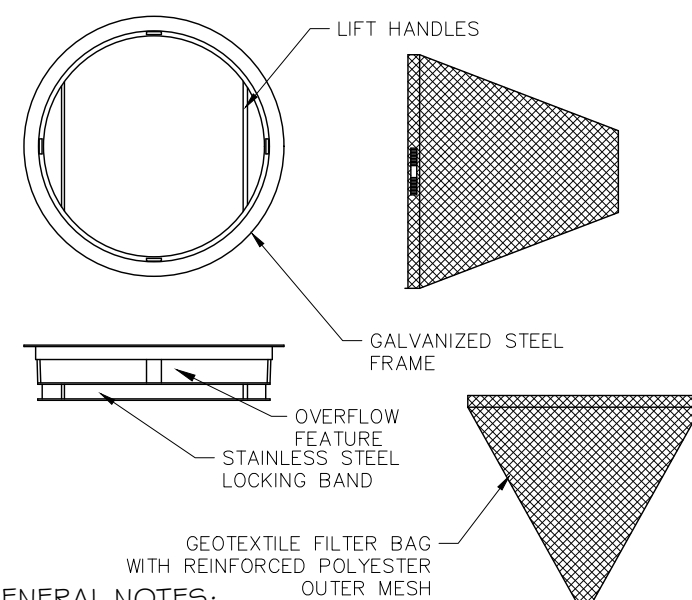
N.T.S.



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURES RECOMMENDATION.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 5. CONSECUTIVE BLANKETS SPUN DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
- NOTES:
1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.
 3. PERVIOUS LAND WITH SLOPES RUNNING GREATER THAN OR EQUAL TO 4:1 SHALL CONTAIN SLOPE STABILIZATION BLANKET

EROSION CONTROL BLANKET (SLOPE INSTALLATION)

N.T.S.



INLET PROTECTION

N.T.S.



STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B									B		
TEMPORARY SEEDING			C			D						
SODDING			E									
MULCHING	F		**									

- A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE
- C SPRING OATS 100 LBS/ACRE
- D WHEAT OR CEREAL RYE 150 LBS/ACRE
- E SOD
- F STRAW MULCH 2 TONS/ACRE
- * WATERING NEEDED DURING JUNE AND JULY
- ** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

SEEDING CHART



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PROTOTYPE P6-V-AV
SCHEME: STANDARD - B
STORE #RC1283



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FOR REVIEW ONLY

ENGINEER INFORMATION:

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of Michigan, Inc.

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3000 TOWN CENTER, SUITE 2000, MI 48075
PHONE: (313) 572-1560
WWW.KIMLEY-HORN.COM

KH JOB NO. 168418058



SHEET REVISIONS

#	DATE	TYPE
1	11/18/24	REVISED PER CITY COMMENTS
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EROSION CONTROL DETAILS

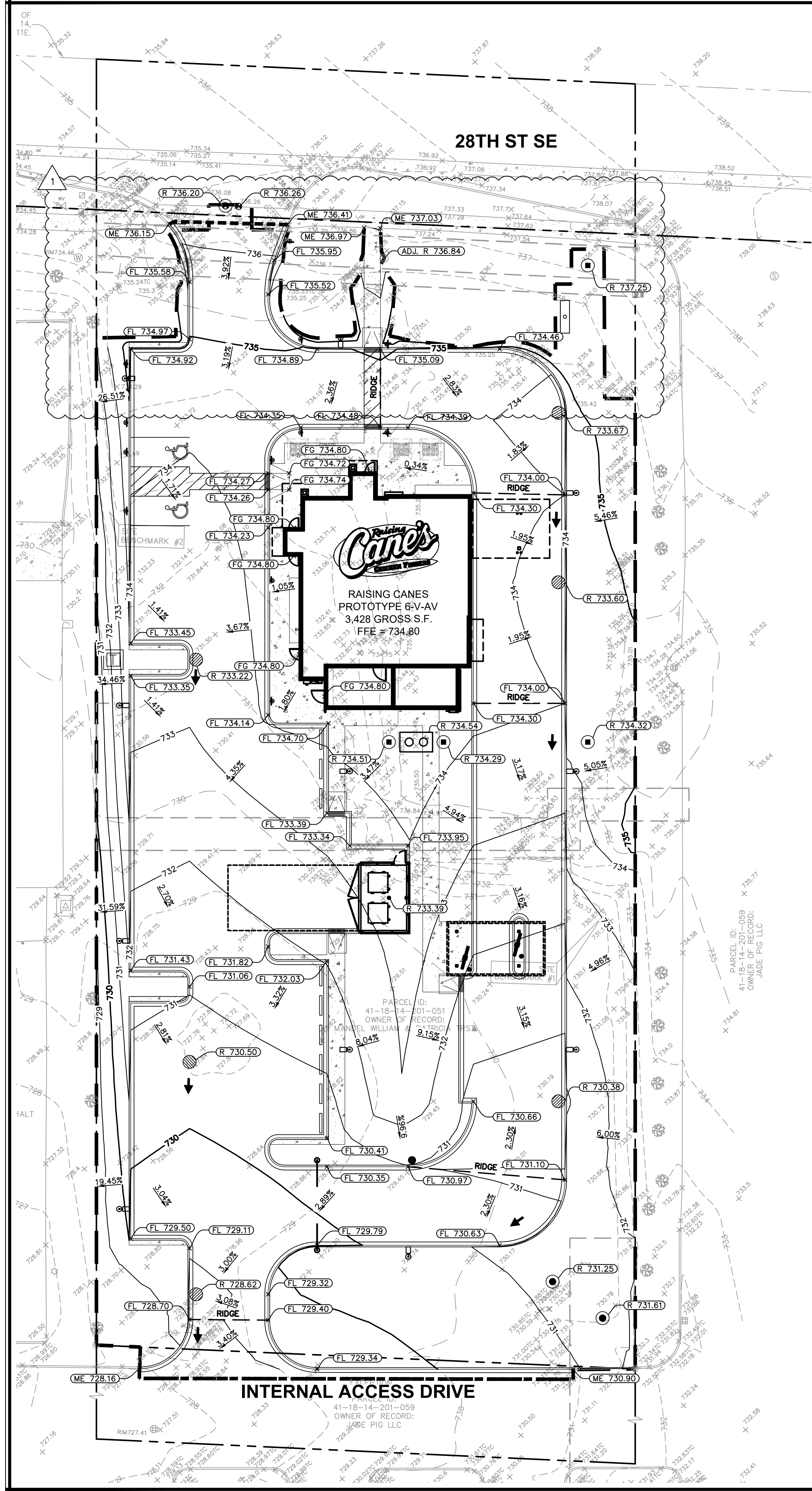
DATE 10/11/2024

JOB NO. XXXXX

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C3.1

SHEET NO.





GRADING NOTES

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF KENTWOOD STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- FOR CURRENT TOPOGRAPHIC INFORMATION REFER TO SHEET V0.0 ALTA SURVEY. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 4H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUBGRADE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE. CONTRACTOR SHALL CONFIRM ALL EXISTING MANHOLES WITHIN PROJECT AREA ARE IN COMPLIANCE WITH CURRENT CITY OF KENTWOOD AND KENT COUNTY REQUIREMENTS. CONTRACTOR SHALL IMPROVE STRUCTURES AS NECESSARY TO MEET CURRENT REQUIREMENTS.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- ALL VEGETATION SHALL BE CLEARED AND GRUBBED FOR ALL AREAS TO BE DISTURBED.
- ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

GRADING LEGEND

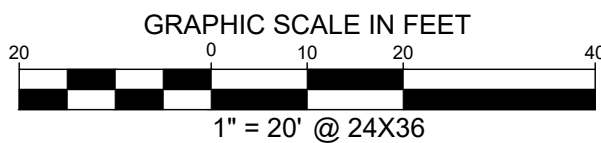
---	PROPERTY/LEASE/LOT LINE
---	ADJACENT PROPERTY LINE
---	PROPOSED LIMITS OF DISTURBANCE
---	EXISTING EASEMENT
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED FLOW ARROW WITH SLOPE
FL	FLOW LINE
TC	TOP OF CURB
TS	TOP OF SLAB (DUMPSTER PAD)
ME	MATCH EXISTING ELEVATION
FG	FINISHED GRADE
EG	EXISTING GRADE
ADJ. R	ADJUST EX. RIM ELEVATION
R	RIM ELEVATION
---	PROPOSED RIDGE
---	SAWCUT LINE
←	100 YEAR OVERLAND FLOW ROUTE

UTILITY LEGEND

⊕	EX. SANITARY SEWER MANHOLE
⊕	EX. STORM STRUCTURE
⊕	PROPOSED STORM STRUCTURE
⊕	PROPOSED SANITARY MANHOLE
⊕	PROPOSED STORM/SANITARY CLEANOUT
⊕	PROPOSED WATER STRUCTURE
⊕	PROPOSED WATER VAULT
⊕	PROPOSED TRANSFORMER
⊕	LIGHT POLE



CALL MISS-DIG 72 HOURS IN ADVANCE OF ANY CONSTRUCTION.



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE: 11/20/2018

STORE:

RAISING CANE'S
RESTAURANT
3650 28TH ST SE,
KENTWOOD, MI 49512
PROTOTYPE P6-V-AV
SCHEME: STANDARD - B
STORE #RC1283



Lakewood, Ohio 44107
Fax 216-521-4824
www.adaarchitects.com

FOR REVIEW ONLY

ENGINEER INFORMATION:

Kimley»Horn
of Michigan, Inc.
2024 KIMLEY-HORN AND ASSOCIATES, INC.
3000 TOWN CENTER, SUITE 2000, MI 48075
PHONE: (313) 572-1560
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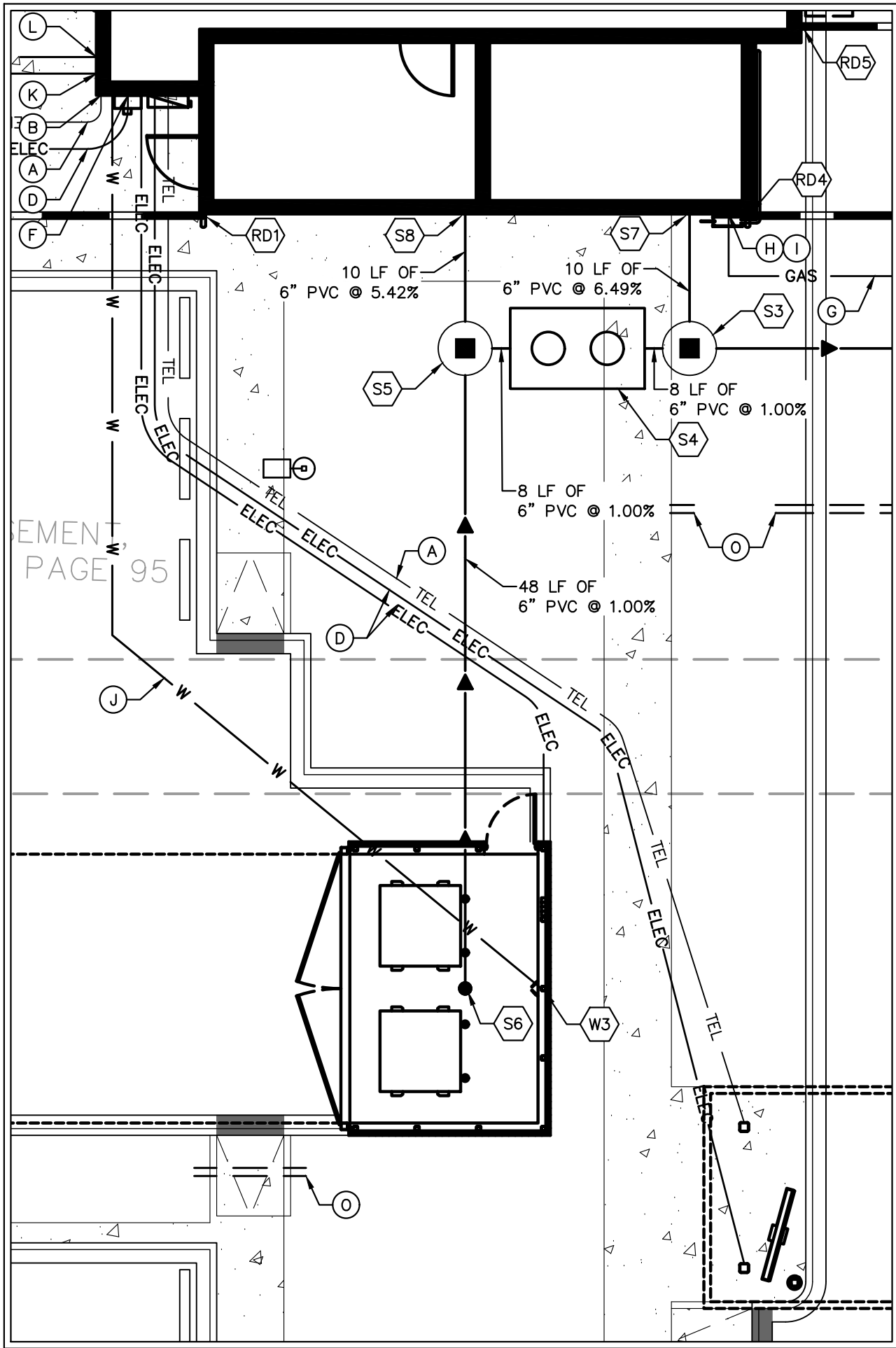
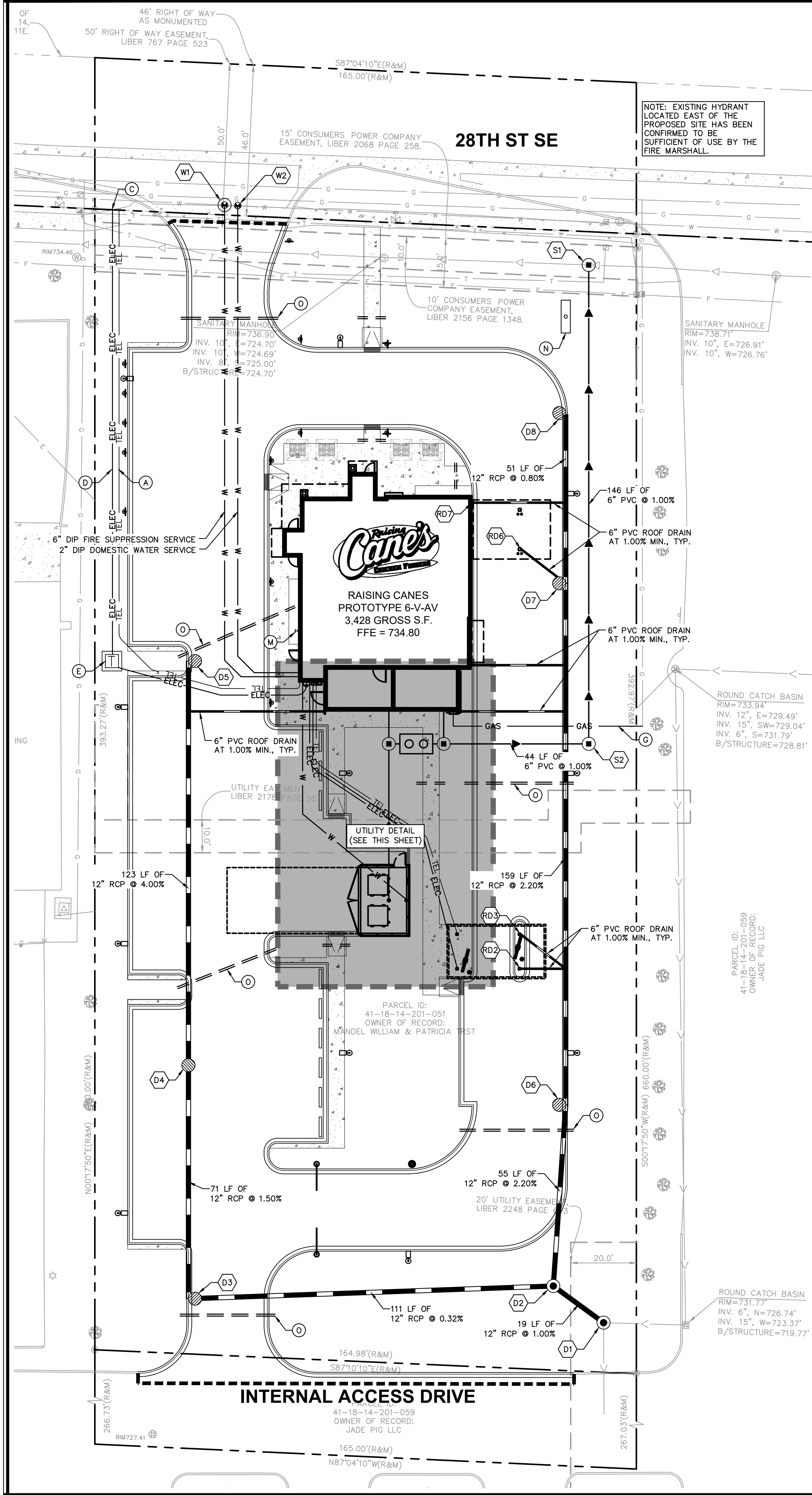
GRADING PLAN

DATE 10/11/2024

JOB NO. XXXXX

C6.0

SHEET NO.



SANITARY SEWER DETAIL
SCALE: 1" = 10'
NOTE: REFERENCE MEP PLANS FOR EXACT LOCATION OF ALL UTILITY BUILDING ENTRIES.

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S1	4' DIA. MANHOLE CONNECTION TO EX. SEWER. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH & SIZE OF EX. SEWER PRIOR TO ORDERING MATERIALS. RIM: 737.25 INV IN: 725.85 (W, 10") INV IN: 726.05 (S, 6") INV OUT: 725.85 (E, 10")
S2	4' DIA. SANITARY MH RIM: 734.32 INV IN: 727.61 (W, 6") INV OUT: 727.51 (N, 6")
S3	4' DIA. SANITARY MH RIM: 734.29 INV IN: 729.55 (N, 6") INV IN: 728.15 (W, 6") INV OUT: 728.05 (E, 6")
S4	1,500 GAL GREASE TRAP INTERCEPTOR (REFER TO PLUMBING PLANS BY OTHERS) RIM: 734.54 INV IN: 728.48 (W, 6") INV OUT: 728.23 (E, 6")
S5	4' DIA. SANITARY MH RIM: 734.51 INV IN: 729.66 (N, 6") INV IN: 728.67 (S, 6") INV OUT: 728.57 (E, 6")
S6	4" PVC DRAIN WITH ZURN-Z315 ACCESS COVER AND DRAIN (REFER TO ARCH PLANS FOR DETAILS) RIM: 733.38 INV OUT: 729.14 (N, 6")

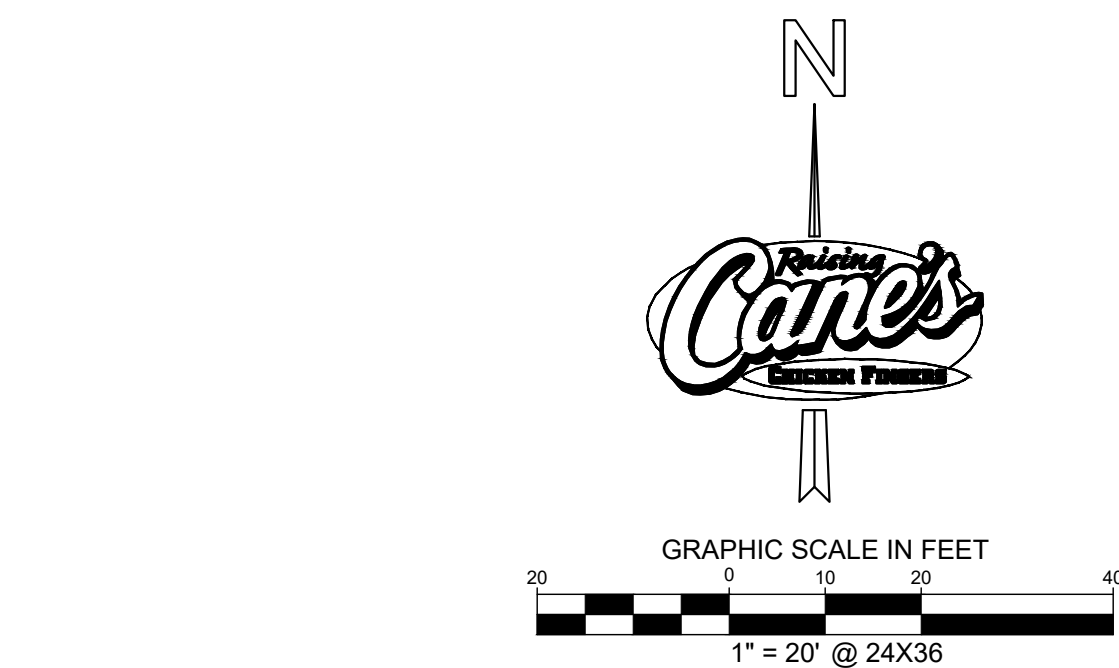
MISCELLANEOUS SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S7	SANITARY BUILDING CONNECTION FOR WASTE INV OUT: 730.20 (S)
S8	SANITARY BUILDING CONNECTION FOR GREASE INV OUT: 730.20 (S)

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	RECONSTRUCT CLOSED LID MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION, DEPTH & SIZE OF EX. SEWER PRIOR TO ORDERING MATERIALS. RIM: 731.61 INV IN: 723.55 (NW, 12") INV IN: 722.98 (E, 15") INV OUT: 722.32 (S, 24")
D2	CLOSED LID MANHOLE RIM: 731.25 INV IN: 725.28 (N, 12") INV IN: 723.74 (W, 12") INV OUT: 723.74 (SE, 12")
D3	OPEN LID MANHOLE RIM: 728.62 INV IN: 724.09 (N, 12") INV OUT: 724.09 (E, 12")
D4	OPEN LID MANHOLE RIM: 730.50 INV IN: 725.16 (N, 12") INV OUT: 725.16 (S, 12")
D5	OPEN LID INLET RIM: 733.22 INV OUT: 730.08 (S, 12")
D6	OPEN LID MANHOLE RIM: 730.38 INV IN: 726.50 (N, 12") INV OUT: 726.50 (S, 12")
D7	OPEN LID MANHOLE RIM: 733.60 INV IN: 729.99 (N, 12") INV IN: 729.99 (NW, 6") INV OUT: 729.99 (S, 12")
D8	OPEN LID INLET RIM: 733.67 INV OUT: 730.40 (S, 12")

UTILITY KEYNOTE LEGEND	
(A)	INSTALL TWO 4" SCHEDULE 40 PVC CONDUIT WITH PULL WIRE FOR TELEPHONE AND INTERNET.
(B)	PROPOSED TELEPHONE AND INTERNET ENTRY. REFERENCE ARCHITECTURAL PLANS FOR CONNECTION.
(C)	BEGIN UNDERGROUND ELECTRIC CONDUIT.
(D)	INSTALL TWO 4" SCHEDULE 40 PVC WITH PULL WIRE FOR ELECTRIC
(E)	PROPOSED VAULT MOUNTED TRANSFORMER. CONCRETE PAD BY DEVELOPER. CONTRACTOR TO INSTALL BOLLARD PER COMED REQUIREMENTS.
(F)	PROPOSED ELECTRIC SERVICE ENTRY. REFERENCE ARCHITECTURAL PLANS.
(G)	INSTALL ONE 2" PVC CONDUIT FOR GAS SERVICE LINE
(H)	GAS METER LOCATION.
(I)	GAS ENTRY. REFERENCE ARCHITECTURAL PLANS FOR CONTINUATION (PLUMBING).
(J)	PROPOSED TWO 1" WATER TO DUMPSTERS WITH RPZ VALVES. REFERENCE MEP PLANS.
(K)	PROPOSED 6" WATER LINE ENTRY. WATER METER AND BACKFLOW PREVENTERS TO BE LOCATED INSIDE BUILDING. REFERENCE MEP PLANS FOR CONTINUATION.
(L)	PROPOSED 2" DOMESTIC TAP ENTRY. WATER METER AND BACKFLOW PREVENTERS TO BE LOCATED INSIDE BUILDING. REFERENCE MEP PLANS FOR CONTINUATION.
(M)	PROPOSED FIRE DEPARTMENT CONNECTION. REFER TO ARCH/MEP PLANS FOR DETAILS.
(N)	PROPOSED POLE/PYLON SIGN TO BE INTERNALLY ILLUMINATED W/ ELECTRONIC MESSAGING BOARD. SEE NOTE 16.
(O)	1" IRRIGATION LINE. CONNECT TO IRRIGATION BOX. (BACKFLOW PREVENTER TO BE LOCATED INSIDE BUILDING). THIS IS SHOWN FOR REFERENCE AND REDUNDANCY ONLY. REFER TO IRRIGATION PLANS (BY OTHERS) FOR FINAL IRRIGATION SLEEVE LOCATIONS.

CITY OF KENTWOOD UTILITY NOTES

- THE CITY OF GRAND RAPIDS OWNS, OPERATES AND MAINTAINS THE SANITARY SEWER COLLECTION AND WATER DISTRIBUTION SYSTEMS IN THIS PORTION OF KENTWOOD. ANY ALTERATIONS, EXTENSIONS OR NEW CONNECTIONS TO EITHER OF THESE SYSTEMS WILL REQUIRE APPROVAL FROM GRAND RAPIDS. SPECIFICATIONS FOR THE PROPOSED WATERMAIN AND SANITARY SEWER MUST CONFORM TO GRAND RAPIDS REQUIREMENTS.
- A REPRESENTATIVE OF THE CITY OF KENTWOOD INSPECTIONS DEPARTMENT MUST BE PRESENT WHEN THE TAP IS MADE INTO THE EXISTING SANITARY SEWER.
- THE GRAND RAPIDS WATER DEPARTMENT MUST BE PRESENT TO MAKE THE TAP INTO THE EXISTING WATERMAIN. NOTIFY THE GRAND RAPIDS WATER DEPARTMENT BEFORE MAKING THE CONNECTION TO THE EXISTING SERVICE LATERAL.



UTILITY LEGEND	
W	EX. WATER LINE
W	EX. WATER VALVE
S	EX. SANITARY SEWER LINE
S	EX. SANITARY SEWER MANHOLE
E	EX. STORM DRAIN LINE
E	EX. STORM STRUCTURES
E	EX. GAS LINE
E	EX. UNDERGROUND ELECTRIC LINE
T	EX. UNDERGROUND TELEPHONE LINE
ELEC	PROPOSED UNDERGROUND ELECTRIC LINE
GAS	PROPOSED GAS LINE
TEL	PROPOSED PHONE LINE
TEL	PROPOSED STORM SEWER LINE
W	PROPOSED OPEN LID STORM STRUCTURE
W	PROPOSED SANITARY SEWER LINE
W	PROPOSED SANITARY MANHOLE
W	PROPOSED WATER LINE
W	3 - 4" CONDUITS FOR IRRIGATION / ELECTRICAL (REFER TO IRRIGATION PLANS)
W	PROPOSED VALVE VAULT
W	PROPOSED VALVE BOX
W	PROPOSED TRANSFORMER PAD. CONTRACTOR SHALL INSTALL PAD AND BOLLARDS AS REQUIRED BY THE CITY OF KENTWOOD.
W	PROPOSED LIGHT POLE

UTILITY NOTES

- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
- REFER TO CITY OF KENTWOOD STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
- REFER TO ARCHITECTURE PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER.
- WATER LINES SHALL BE AS FOLLOWS:
PRIVATE (LARGER THAN 3 INCHES): DUCTILE IRON PIPE, CLASS 52 OR POLYVINYL CHLORIDE PLASTIC PIPE (ASTM D-3212 AND AWWA C900)
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF KENTWOOD WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER LINE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY OF KENTWOOD CODES AND/OR UTILITY SERVICE COMPANIES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY OF KENTWOOD STANDARDS.
- WATER TIGHT CONNECTION SHALL BE MADE USING A RESILIENT CONNECTOR "SEAL BOOT" PER ASTM C-923.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5.5 FEET COVER ON ALL WATER LINES.
- CONTRACTOR TO PROVIDE POWER TO POLE/PYLON SIGN. REFER TO ELECTRICAL SITE PLAN FOR SIZE AND TYPE.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.

CALL MISS-DIG 72 HOURS IN ADVANCE OF ANY CONSTRUCTION.

CAUTION!!

CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



PROTOTYPE ISSUE DATE: 11/20/2018
STORE:
RAISING CANES RESTAURANT
3650 28TH ST SE,
KENTWOOD, MI 49512
PROTOTYPE P6-V-AV
SCHEME: STANDARD - B
STORE #RC1283



FOR REVIEW ONLY

ENGINEER INFORMATION:
Kimley»Horn
of Michigan, Inc.
2024 KIMLEY-HORN AND ASSOCIATES, INC.
3000 TOWN CENTER, SUITE 2000, MI 48075
PHONE: (313) 572-1560
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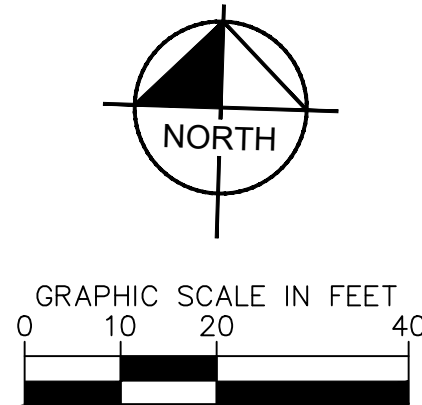
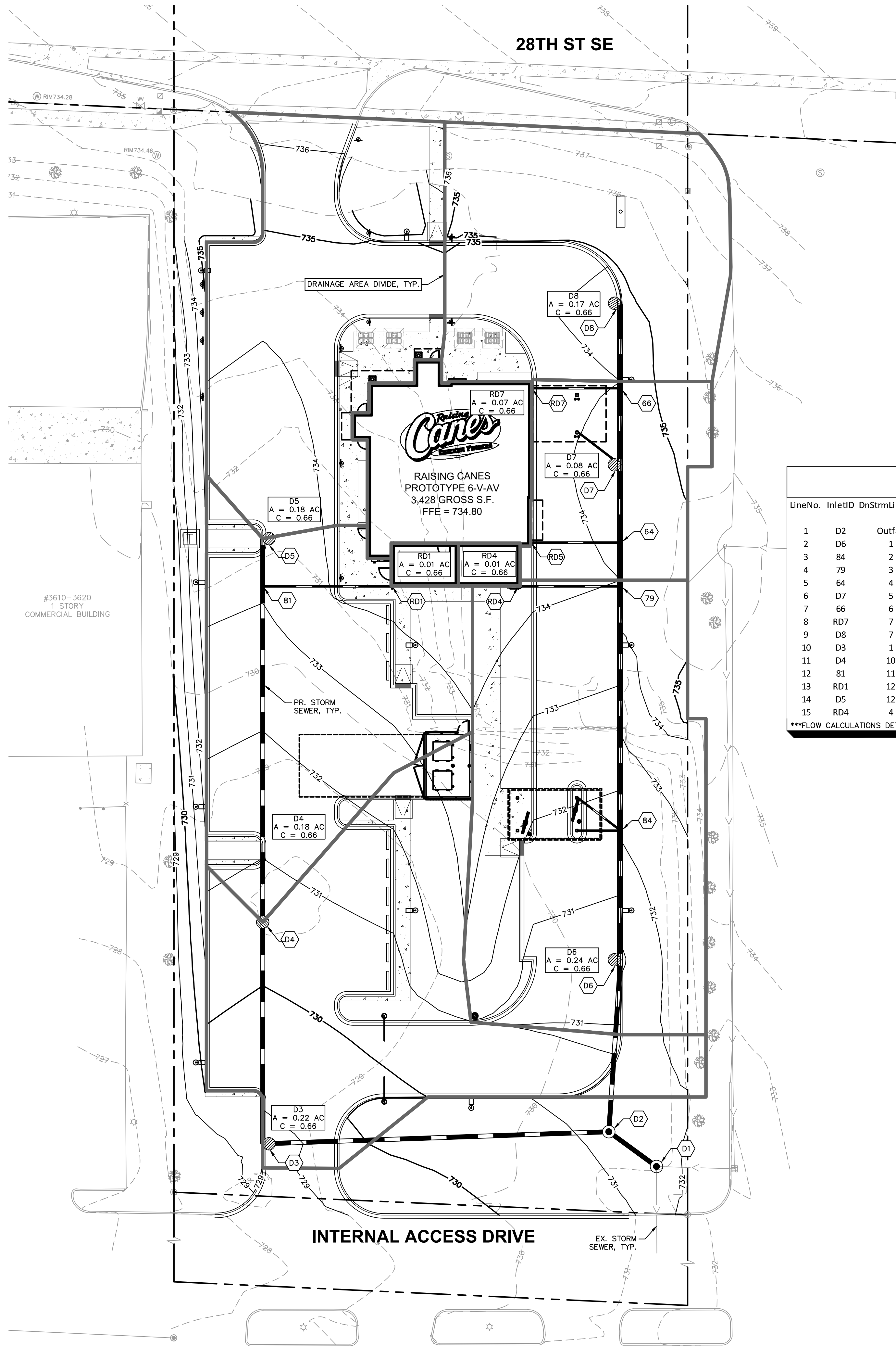
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UTILITY PLAN

DATE 10/11/2024

JOB NO. XXXXX

C7.0
SHEET NO.



STORM SEWER NOTES

THIS SHEET IS FOR REFERENCE ONLY. REFER TO C7.0 FOR ALL STORM SEWER RIM AND INVERT INFORMATION

ON-SITE COEFFICIENT CALCS

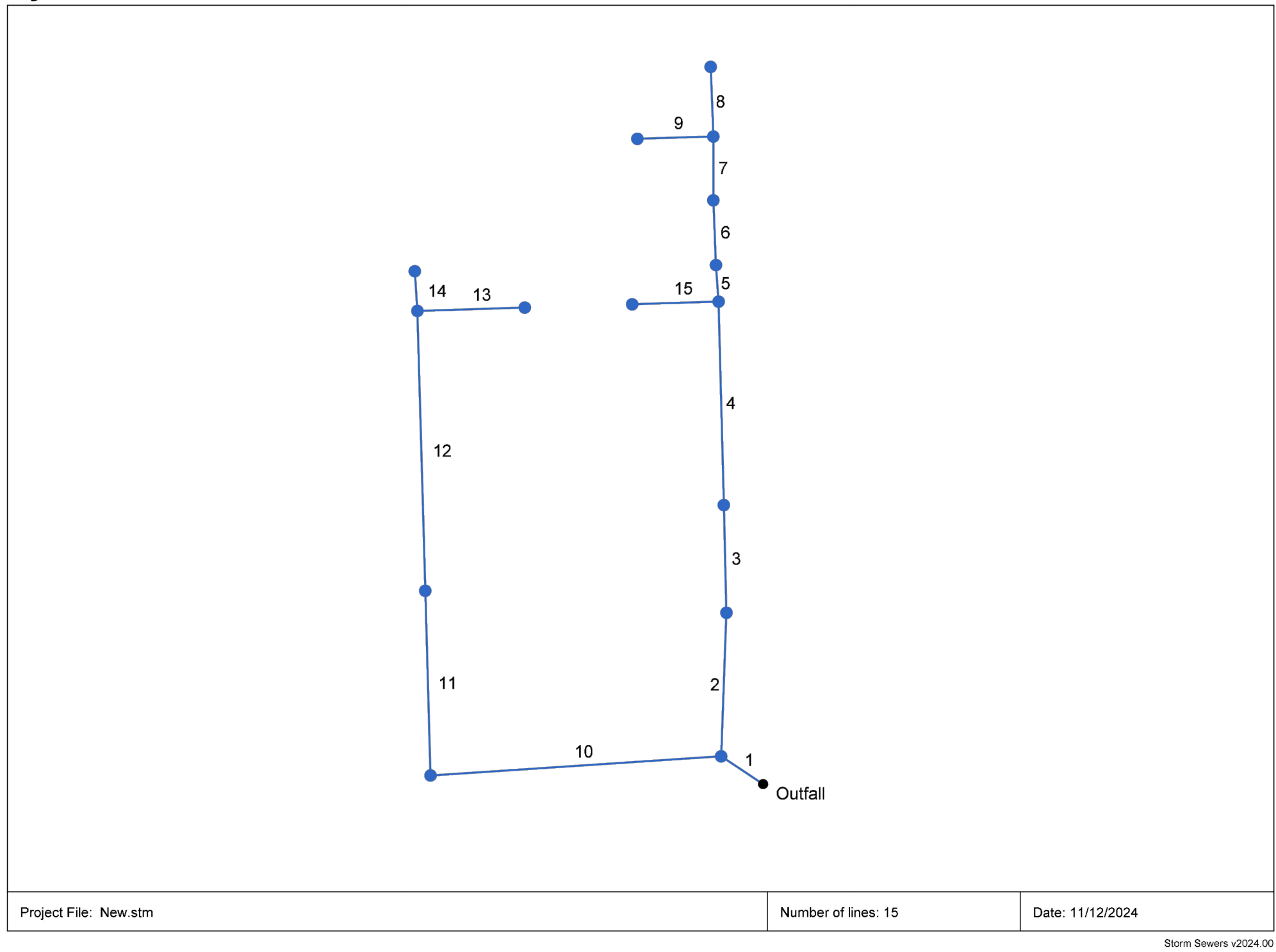
TIME OF CONCENTRATION: 10 MIN
IMPERVIOUS AREA: 0.79 AC (C = 0.90)
PERVIOUS AREA: 0.52 AC (C = 0.30)
COMPOSITE RUNOFF COEFFICIENT:
 $((0.79 \text{ AC} \cdot 0.90) + (0.52 \text{ AC} \cdot 0.30)) / 1.31 \text{ AC} = 0.66$

10-YEAR STORM SEWER CALCULATIONS

LineNo.	InletID	DnStrmLine No.	LineLength (ft)	DrainageArea (ac)	TotalArea (ac)	RunoffCoeff (C)	IncrCxA	TotalCxA	InletTime (min)	Tc (min)	iSys (in/hr)	TotalRunoff (cfs)	KnownQ (cfs)	FlowRate (cfs)	CapacityFull (cfs)	VelAve (ft/s)	LineSize (in)	LineSlope (%)	InvertDn (ft)	InvertUp (ft)	HGLDn (ft)	HGLUp (ft)	Grnd/RimElev Dn (ft)	Grnd/RimElev Up (ft)
1	D2	Outfall	19	0	1.16	0.66	0	0.77	10	18.7	3.3	2.52	0	2.52	3.57	4.68	12	1	723.55	723.74	724.17	724.42	731.61	731.25
2	D6	1	55	0.24	0.57	0.66	0.16	0.38	10	15.1	3.71	1.4	0	1.4	5.29	4.62	12	2.21	725.28	726.5	725.63	727	731.25	730.38
3	84	2	41	0	0.33	0.66	0	0.22	10	14.6	3.79	0.83	0	0.83	5.28	2.56	12	2.2	726.5	727.41	727	727.79j	730.38	731.61
4	79	3	78	0	0.33	0.66	0	0.22	10	13.5	3.95	0.86	0	0.86	5.28	3.1	12	2.2	727.41	729.13	727.79	729.52	731.61	733.94
5	64	4	14	0	0.32	0.66	0	0.21	10	11.5	4.31	0.91	0	0.91	5.29	3.17	12	2.2	729.13	729.44	729.52	729.84	733.94	733.87
6	D7	5	25	0.08	0.32	0.66	0.05	0.21	10	11.1	4.37	0.92	0	0.92	5.29	3.14	12	2.21	729.44	729.99	729.84	730.39	733.87	733.6
7	66	6	25	0	0.24	0.66	0	0.16	0	10.7	4.46	0.71	0	0.71	3.13	2.63	12	0.77	729.99	730.18	730.39	730.53j	733.6	733.97
8	RD7	7	29	0.07	0.07	0.66	0.05	0.05	10	10	4.61	0.21	0	0.21	1.54	3.95	6	4.46	730.53	731.8	730.66	732.03	733.97	734.8
9	D8	7	27	0.17	0.17	0.66	0.11	0.11	10	10	4.61	0.52	0	0.52	3.23	2.37	12	0.82	730.18	730.4	730.53	730.70j	733.97	733.67
10	D3	1	111	0.22	0.59	0.66	0.15	0.39	10	17.8	3.39	1.32	0	1.32	2	2.52	12	0.32	723.74	724.09	724.42	724.68	731.25	728.62
11	D4	10	71	0.18	0.37	0.66	0.12	0.24	10	16.9	3.49	0.85	0	0.85	4.37	2.24	12	1.51	724.09	725.16	724.8	725.55j	728.62	730.5
12	81	11	108	0	0.19	0.66	0	0.13	0	14.5	3.81	0.48	0	0.48	7.12	2.14	12	4	725.16	729.47	725.55	729.76j	730.5	733.06
13	RD1	12	42	0.01	0.01	0.66	0.01	0.01	10	10	4.61	0.03	0	0.03	1.78	2.4	6	5.97	729.72	732.2	729.77	732.28	733.06	734.79
14	D5	12	15	0.18	0.18	0.66	0.12	0.12	10	10	4.61	0.55	0	0.55	7.11	2.81	12	3.99	729.47	730.08	729.76	730.39	733.06	733.22
15	RD4	4	33	0.01	0.01	0.66	0.01	0.01	10	10	4.61	0.03	0	0.03	1.9	2.48	6	6.82	729.56	731.8	729.6	731.88	733.94	734.79

***FLOW CALCULATIONS DETERMINED BY USING INTENSITY CURVE, "RAINFALL CURVES FOR STORMS IN THE VICINITY OF GRAND RAPIDS" FROM PAGE 4 OF THE CITY OF KENTWOOD'S STORM DESIGN REQUIREMENTS.

Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101

PROTOTYPE ISSUE DATE: 11/20/2018

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3650 28TH ST SE,
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PROTOTYPE P6-V-AV
SCHEME: STANDARD - B
STORE #RC1283



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KH JOB NO. 168418058



EXP. 08.06.2026

SHEET REVISIONS

#	DATE	TYPE
1	11/18/24	REVISED PER CITY COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

STORMWATER CALCULATIONS

DATE 10/11/2024

JOB NO. XXXXX

C9.0

SHEET NO.