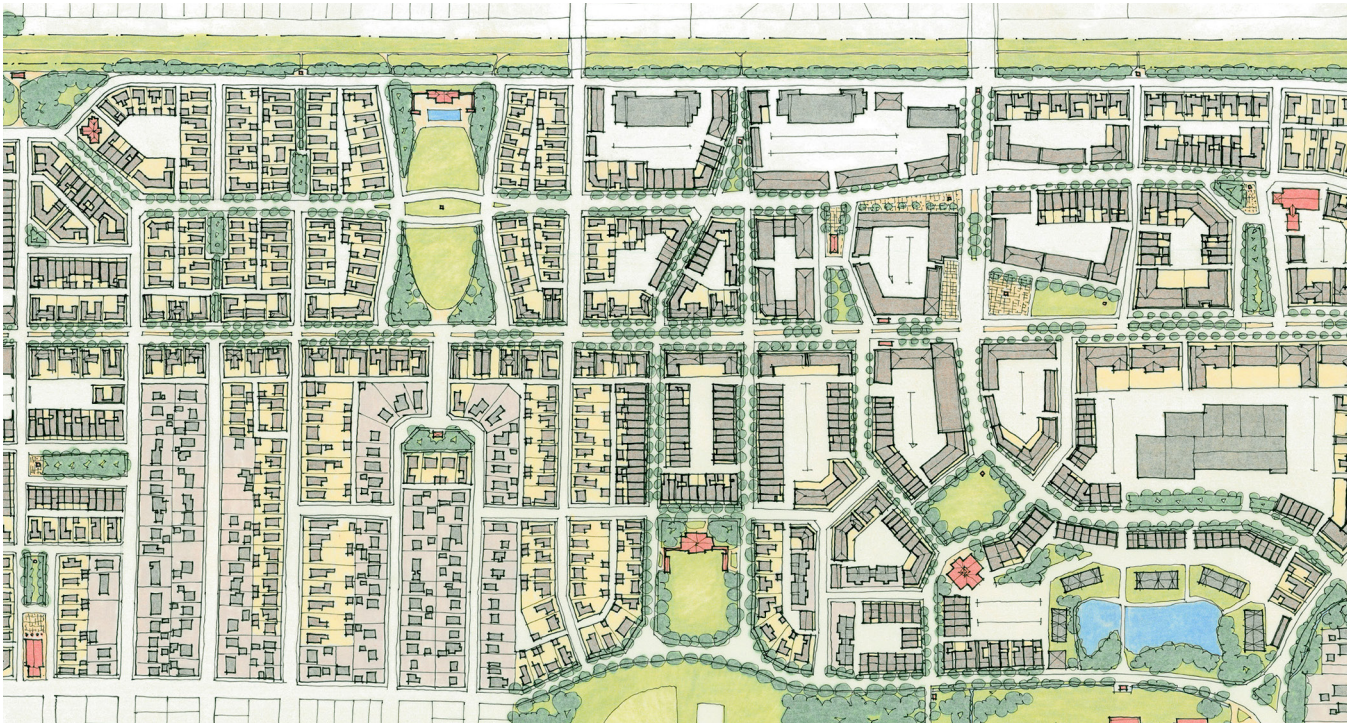


# CITY OF KENTWOOD

## DIVISION AVENUE FORM-BASED CODE

Adoption Date: **July 10, 2017**  
Effective Date: **July 26, 2017**



## City of Kentwood

### DIVISION AVENUE FORM-BASED CODE

Adopted Date: July 10, 2017

Effective Date: July 26, 2017

Amended: March 20, 2018

The City of Kentwood Division Avenue Form Based Code regulates properties in the Form Based Code Areas along Division Avenue.

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WHAT IS A FORM-BASED CODE?

Form-Based Codes (FBC) represent a paradigm shift in the way that we regulate the built environment. This shift was necessary because the conventional, use-based approach to zoning has been shown to be ineffective for regulating diverse, urban, mixed-use environments.

The City of Kentwood is using Form-Based Coding to achieve the vision, goals, and outcomes of the “Fisher Station Sub Area” and the Division Avenue Sub Area plan that are within the 2012 Kentwood Master Plan. The FBC is intended to encourage a compact, transit-oriented development pattern that promotes a diverse mix of uses and building types, transit-supportive density and uses, and walkability.

The formal short definition of a Form-Based Code is as follows:

*“Form Based Codes foster predictable built results and a high-quality public realm by using physical form (rather than separation of uses) as the organizing principle for the code. These codes are adopted into city or county law as regulations, not mere guidelines. Form-Based Codes are an alternative to conventional zoning.”*

- Form Based Codes Institute

Unlike conventional codes, FBCs use the intended form and character of a place (or context) as the organizing principle or framework of the code (rather than use) and regulate a series of important elements not just to create a good individual building, but rather a high-quality urban place.

The naming conventions in FBCs reflect the intended physical form and hierarchy of different places, so instead of a zone being labeled “single-family residential,” it might be called “Corridor Edge,” and instead of a zone being called “commercial” or “mixed use,” it might be called “Corridor General.”

It is also important to note that while FBCs primarily regulate an intended physical form, they also regulate use secondarily. FBCs often allow a range of uses that are carefully chosen to maximize compatibility between uses and the intended physical form of the development pattern. The use tables are simplified and categorized by use type, and clearly defined, to allow a greater degree of administrative decision-making related to particular uses.



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## FORM-BASED CODES AND THE PUBLIC REALM

The City of Kentwood Division Avenue Form-Based Code (FBC) is a development regulation (a type of zoning code) that emphasizes the physical character of development (its form) and de-emphasizes the regulation of land use.

The City of Kentwood Division Avenue FBC emphasizes the design of the public realm by regulating building form, mass, composition, and placement; as well as facade transparency, parking location, use, signs, and landscaping.

The public realm is the streetspace or other public right-of-way that is defined by building walls and facades.

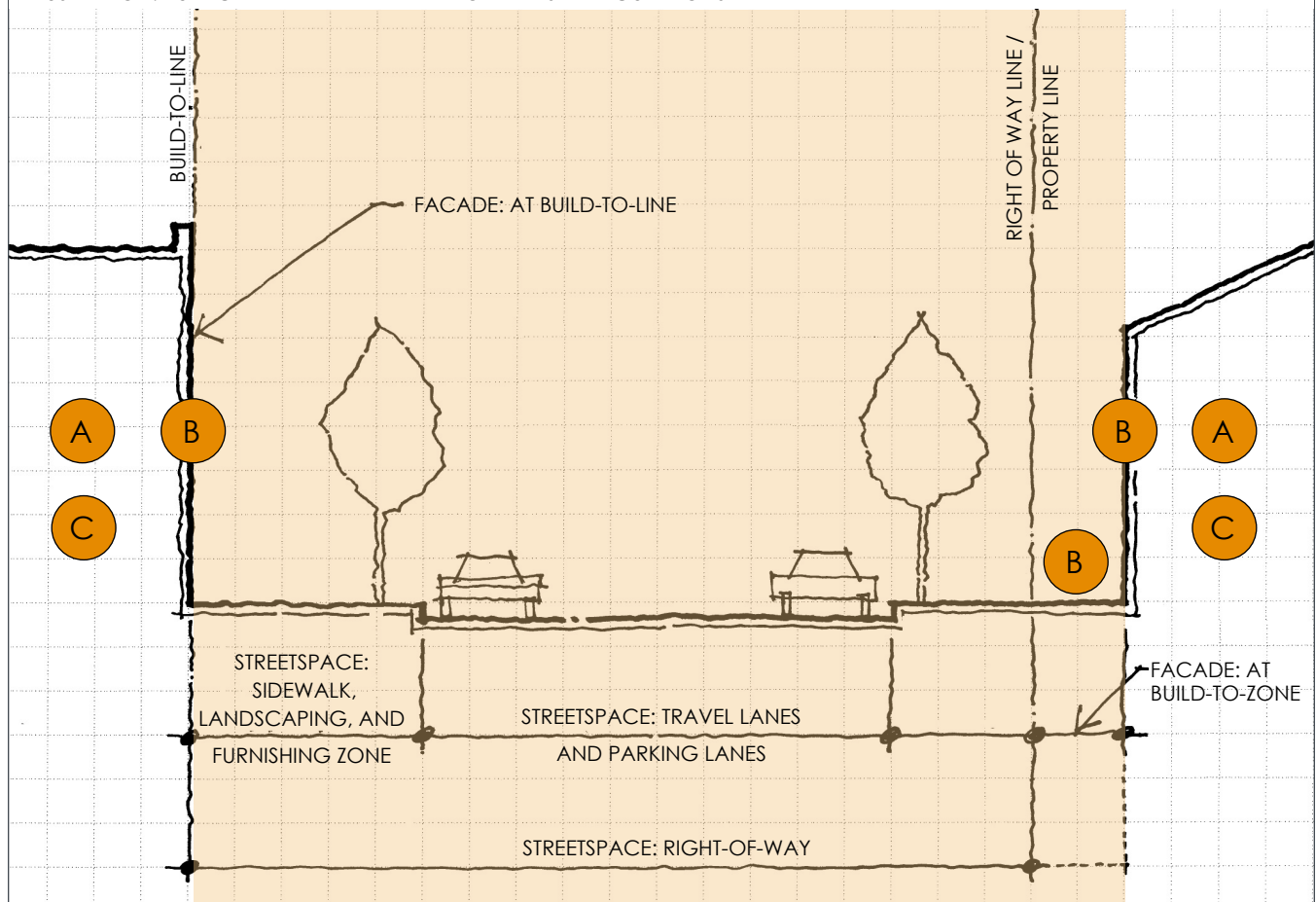
The City of Kentwood Division Avenue FBC is organized by Context Areas (similar to conventional zoning districts) and Building Types (with facade options). These form generating elements provide standards for the creation of a public realm that is consistent with that envisioned by the 2012 Kentwood Master Plan.

The Context Areas in the City of Kentwood Division Avenue FBC are within a Form Based Code Area, which is the area on the City of Kentwood Zoning Map that is zoned as a Form Based Code District.

The **Public Realm** illustration on this page indicates the components of the public realm and also references where each component is regulated within the City of Kentwood Division Avenue Form-Based Code.

- A BUILDING TYPE:** Section 23.05 contains standards for Building Types that describe the various forms of buildings that are permitted as part of this Form-Based Code. Each Building Type has its own specific size, massing, pedestrian access, height, and facade composition.
- B FACADE:** Building Types offer a variety of facade options that can be selected as part of the development. Facades define the site placement and location, architectural composition, and design components for the building's entrance and street-facing building walls.
- C CONTEXT AREA AND USE:** Section 23.04 contains requirements for Context Areas and use. Context Areas are similar to conventional land use zoning districts. Each Context Area includes permitted building site placement, parking site placement, building height, permitted Building Types and facades, and permitted and special uses.

ILLUSTRATION: PUBLIC REALM AND RELATED FORM BASED REGULATIONS



HOW TO USE THE CITY OF KENTWOOD DIVISION AVENUE FBC: WAYFINDING

The following graphic is a guide to finding your way around the City of Kentwood Division Avenue Form-Based Code by providing a quick reference to where to find the answers to common questions that a user of this code may have.

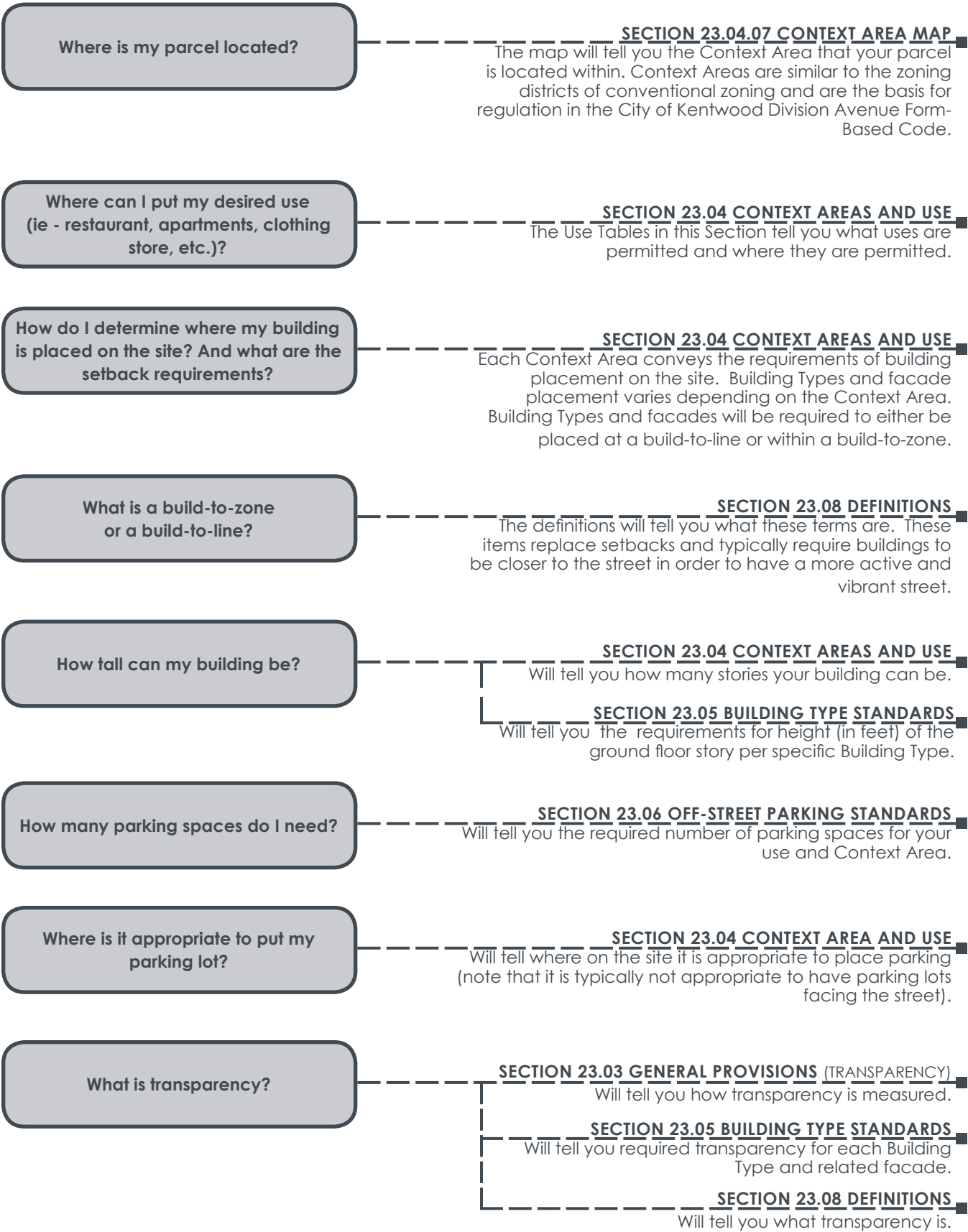


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## HOW TO USE THE CITY OF KENTWOOD DIVISION AVENUE FBC: SECTION 23.05 BUILDING TYPES

The City of Kentwood Division Avenue Form-Based Code utilizes Building Types and related facades to establish form generating regulations. These Building Types and their facades are located in Section 23.05.

Refer to sample pages on this sheet for reference of how to use Building Type Standards. These pages are representative of the layout for each Building Type contained in Section 23.05. Example pages are for the Mixed-Use Building Type, which is one of 9 different Building Types that are available.

- A. Building Type Description:** This subsection serves as an introduction to the Building Type, including pictorial references of emblematic examples and a general Building Type description. These images are illustrative, not regulatory.
- B. Example of Building Type:** This subsection provides precedent examples of the building type in context. Example Building Types are included as reference and inspiration to give a better understanding of the intent of the Building Type. These images are illustrative, not regulatory.

### SECTION 23.05 BUILDING TYPE STANDARDS

#### 23.05.10 MIXED USE BUILDING TYPE

The following standards apply to the Mixed Use Building Type:

##### BUILDING TYPE DESCRIPTION

The Mixed Use Building Type is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.

##### EXAMPLES OF MIXED-USE BUILDING TYPE

The following images represent precedent examples of the Mixed Use Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Mixed Use Building within the Kentwood Division Avenue Form-Based Code Area.

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HOW TO USE THE CITY OF KENTWOOD DIVISION AVENUE FBC: SECTION 23.05 BUILDING TYPES (continued)

SECTION 23.05 BUILDING TYPE STANDARDS

23.05.10 MIXED USE BUILDING TYPE (continued)

The following standards apply to the Mixed Use Building Type:

BUILDING SIZE AND MASSING

Building type size and massing shall meet the following requirements and Diagram 5.02:

A. Percentage of primary building wall at front property line:

- When lot width is 50 feet or less, primary building wall shall be built to a minimum of 90% of the overall width of the primary street property line (when doing calculation do not include required setbacks).

Exception: When parking is available on an alley, rear street, or side street, the required percentage may be reduced to allow access that meets the requirements indicated for the Context Area (Section 23.04).

- When lot width is more than 50 feet, primary building wall shall be built to a minimum of 50% of the overall width of the primary street property line (when doing calculation do not include required side setbacks).

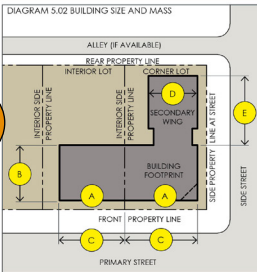
B. Main body building depth: 20 feet min.

C. Main body building width: 150 feet max.

D. Secondary wing building depth: 65 feet max.

E. Secondary wing building width: 100 feet max.

F. Maximum site coverage: 100%



GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.03:

A. Entrances to ground floor unit(s) are required at the primary street and shall be directly accessed from and face the primary street.

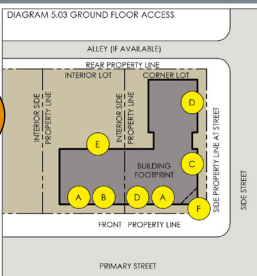
B. Entrances to ground floor unit(s) shall occur at intervals of not greater than 50 feet along the primary street.

C. Entrances to ground floor unit(s) at side street are not required. If side street is provided, they shall be directly accessed and face the side street.

D. Upper floor units shall be accessed by a common entry along the primary or side street.

E. Upper floor units may also be accessed by a secondary common entry at the rear of the building.

F. Optional angled building corner with required entry door. Maximum length of angled wall shall be 8 feet.



5.10

CITY OF KENTWOOD Division Avenue Form-Based Code

Refer to sample pages on this sheet for reference of how to use Building Type Standards. These pages are representative of the layout for each Building Type contained in Section 23.05. Example pages are for the Mixed-Use Building Type, which is one of 9 different Building Types that are available.

**C. Building Size and Massing:** This subsection provides the following requirements:

- Percentage of primary building wall at front property line.
- Size of building (width and depth).
- Maximum site coverage for Building Type.

These requirements are conveyed in diagram and text for convenience. The intent of this subsection is to maintain character and enclosure along the public realm while ensuring that the building's size and mass is appropriate to the context.

**D. Ground Floor Pedestrian Access and Activation:** This subsection provides the location requirements and minimum intervals (spacing) for entrances to building. These requirements are conveyed in diagram and text for convenience. The intent of this subsection is to ensure that the building and its entrances create an active and visible presence on the street and sidewalk by providing front and side doors for access.

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## HOW TO USE THE CITY OF KENTWOOD DIVISION AVENUE FBC: SECTION 23.05 BUILDING TYPES (continued)

Refer to sample pages on this sheet for reference of how to use Building Type Standards. These pages are representative of the layout for each Building Type contained in Section 23.05. Example pages are for the Mixed-Use Building Type, which is one of 9 different Building Types that are available.

**E. Building Type Floor Height:** This subsection indicates the required minimum dimensions for the ground floor of the specific Building Type, measured from floor to ceiling. The number of stories and heights permitted for buildings is regulated by Context Area in Section 23.04.

**F. Building Type Facade Options:** Each Building Type has specific facade options that are applied to the primary and secondary building walls.

Each Building Type provides options for facade selection. One facade is required to be used for each building that is constructed. In instances of the Flex, Live/Work, Large Multi-plex, and Rowhouse Building Types, multiple facades may be chosen and combined for one building. Refer to Section 23.05.05 for requirements when facades are combined on a Building Type.

Facades provide standards for transparency and composition that enable the building to engage and define the public realm. The table in this section illustrates what facades are appropriate for each Building Type within each Context Area.

This subsection will also provide images of each facade permitted for the specific Building Type. These images are illustrative, not regulatory.

**G. Number of Units:** This subsection provides the minimum and/or maximum number of units that the Building Type may accommodate.

**H. Use:** Uses are regulated by Context Area in Section 23.04. This subsection is a reminder that use requirements are referenced in that Section.

SECTION 23.05 BUILDING TYPE STANDARDS

23.05.10 MIXED USE BUILDING TYPE (continued)

The following standards apply to the Mixed Use Building Type:

**BUILDING TYPE FLOOR HEIGHT REQUIREMENTS**

DIAGRAM 5.04 BUILDING TYPE STORY HEIGHT

**BUILDING TYPE FACADE OPTIONS**

The Mixed-Use Building Type is required to have 1 of the following facades at primary and secondary building walls. Facade options for the Mixed-Use Building Type are provided in the table below and described on the following pages of this Section.

MIXED USE BUILDING TYPE	BUILDING TYPE FACADE OPTION		CONTEXT AREAS	
	with STOREFRONT (23.05.10.A)	with BALCONY (23.05.10.B)	GENERAL	CE CORRIDOR EDGE

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.

**NUMBER OF UNITS PER BUILDING**

Number of units per building:

A. Requires minimum of 1 ground floor unit per building. Minimum 1 upper floor unit per building.

**BUILDING TYPE USE**

Building Type use:

A. Uses are regulated by Context Area. Refer to Section 23.04 for uses in each Context Area.

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HOW TO USE THE CITY OF KENTWOOD DIVISION AVENUE FBC: SECTION 23.05 BUILDING TYPES (continued)

SECTION 23.05 BUILDING TYPE STANDARDS

23.05.10.A MIXED USE BUILDING TYPE FACADE OPTION 1: STOREFRONT

The following standards apply to the storefront facade when applied to the Mixed Use Building Type:

STOREFRONT: MIXED USE BUILDING

FACADE DESCRIPTION

The storefront facade is applied to the Mixed Use Building Type along the primary and secondary building walls. The ground level storefront shall be designed in a way that promotes an attractive and comfortable shopping experience and a transparent view into the sidewalk. Storefront entries are at grade on the sidewalk and are sometimes shaded by awnings.

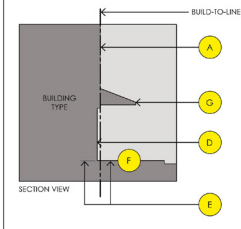
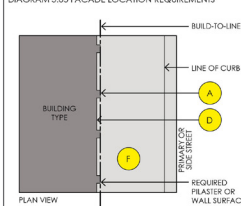
FACADE LOCATION REQUIREMENTS

Storefront facade shall be located per the following requirements and Diagram 5.05:

- A. The storefront facade shall be placed at a Build-to-Line (BTL) as required by the building site placement requirements for the Context Area [refer to Section 23.04].
- B. Primary storefront facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary storefront facade shall extend across 100% of the overall secondary building wall at the side street property line.
  - 1. Storefront window elements and ground floor transparency required in the storefront facade composition shall extend across minimum 30% of the secondary building wall. In instances when storefront window elements and ground floor transparency are not applied across secondary building wall, the portion of the ground floor shall upper floor transparency required the facade composition.
- D. Storefront windows are required to be recessed from pilaster or building wall. Recess shall be no more than 18 inches.
- E. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- F. Ground area between the storefront facade and public sidewalk shall be paved to match sidewalk.
- G. Encroachments: Architectural features are not permitted to extend past property line, but may extend past BTL. Refer to Section 23.05.07.
- H. Wells for basement windows are not permitted on primary or secondary building walls.



DIAGRAM 5.05 FACADE LOCATION REQUIREMENTS



5.12

CITY OF KENTWOOD Division Avenue Form-Based Code

Refer to sample page on this sheet for reference of how to use facade standards for Building Types. This page is representative of the layout for each facade contained in Section 23.05. Example page is from the storefront facade for the Mixed-Use Building Type, which is one of 8 different facades that are available.

These facades include:

- Storefront
- Balcony
- Forecourt
- Lightwell
- Dooryard
- Stoop
- Projecting porch
- Engaged porch

Not all facades may be used with all Building Types. Refer to Context Areas in Section 23.04 and Building Type Overview in Section 23.05.09 for specific facade options for each Building Type.

These pages will immediately follow each of the Building Type pages and provide the applicable facade choices for that Building Type.

**I. Facade Description:** This paragraph describes the intent of the facade and provides an image of a precedent example of the facade, applied to the Building Type that it is associated with. This image will change throughout the Building Type Standards (Section 23.05), depending on the Building Type subsection that the facade is described in. These images are illustrative, not regulatory.

**J. Facade Location Requirements:** This subsection provides requirements for facade placement at primary and secondary building walls. These requirements will typically be in the form of a Build-to-Line (BTL) or Build-to-Zone (BTZ). BTZ and BTL are regulated in the site placement requirements for Context Areas in Section 23.04.

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# HOW TO USE THE CITY OF KENTWOOD DIVISION AVENUE FBC: SECTION 23.05 BUILDING TYPES (continued)

Refer to sample page on this sheet for reference of how to use facade standards for Building Types. This page is representative of the layout for each facade contained in Section 23.05. Example page is from the storefront facade for the Mixed-Use Building Type, which is one of 8 different facades that are available.

**K. Facade Composition Requirements:** This subsection provides the requirements for the composition of the facade. These standards will typically include:

1. Roof type and cornice expression line requirements.
2. Ground floor and upper floor transparency.
3. Vertical and horizontal composition of facade.
4. Proportion and scale of the facade.
5. Details regarding the ground level interface with the street, including storefront composition requirements. These details will include dimensional ranges that are required for each facade.

The facade composition requirements will define the Building Type's exterior walls that face public rights-of-way at streets, public paths, and civic space. These requirements provide streetspace and public realm definition.

**L. Building Materials and Construction Requirements:** Section 23.05.08 provides standards for materials and construction that apply to all Building Types in the Form-Based Code. This section includes standards for facades, exterior walls, roofs, cornices, windows, storefronts, doors, and awnings.

**SECTION 23.05 BUILDING TYPE STANDARDS**

**23.05.10.A MIXED USE BUILDING TYPE FACADE OPTION 1: STOREFRONT** (continued)  
The following standards apply to the storefront facade when applied to the Mixed Use Building Type:

**STOREFRONT: MIXED USE BUILDING**

**DIAGRAM 5.06 FACADE COMPOSITION REQUIREMENTS**

**FACADE COMPOSITION REQUIREMENTS**  
Storefront facade composition shall meet the following requirements and Diagram 5.06.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at rooftop.
- C. Transparency Ground Floor: Storefront facade shall have 70% minimum clear glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Transparency of entry door and transom (if used) may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Storefront facade shall have 15% minimum clear glass between the first floor line of the second floor and bottom of cornice expression line.
- E. Optional transom window above storefront may extend over entry recess (as depicted) or follow entry recess.
- F. Entry door(s) shall have 70% minimum clear glass.
- G. Entry door is required to be recessed 3 feet to 5 feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the transparency of the main storefront window.
- H. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item K, on this page.
- I. Storefront window glass (not including optional transom) shall be eight (8) feet high minimum, measured from the adjacent grade.
- J. Required 18" to 24" high storefront base.
- K. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner (except at buildings with angled wall at corner). Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".
- L. The storefront facade may have an angled corner entry. The angled corner entry shall meet the transparency requirements of the storefront facade and have an entry door that is not recessed.
- M. Storefront windows may be replaced with overhead doors or accordion-style doors. Overhead doors or accordion-style doors that replace storefront windows are required to meet the transparency requirements in item C. Refer to Image 5.01.

**IMAGE 5.01: STOREFRONT WITH TRANSPARENT OVERHEAD DOORS**

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**23.09 FBC DEFINITIONS**

### 23.01.01 TITLE

The following document shall be known as the City of Kentwood Division Avenue Form-Based Code (FBC).

### 23.01.02 PURPOSE

The purpose of the City of Kentwood Division Avenue Form-Based Code is intended to support and encourage the development and redevelopment of the Division Avenue corridor in the City of Kentwood from the city boundaries north of Maplelawn Street to 60th Street.

The development and redevelopment will occur through the creation of form generating standards that support the area's Bus Rapid Transit (BRT) system and encourage walkability within the corridor. The FBC will promote compact, transit-oriented development that allows mixed uses, as well as variety of residential and commercial uses. The uses permitted will support and enhance the Bus Rapid Transit system. The corridor is uniquely suited to the uses permitted under the FBC and the BRT allows for residents to reduce their dependence on motorized vehicles for transportation. The uses and density allowed within the corridor will in turn support and enhance use of the Bus Rapid Transit system.

The development that is promoted by the City of Kentwood Division Avenue FBC reflects the vision established by the community during the Fisher Station Charrette and the goals that are within the Fisher Station Sub Area Plan, the Division Avenue Sub Area Plan, and the 2012 Kentwood Master Plan.

It is understood that the Fisher Station Sub Area plan is representative of a potential conceptual design alternative for the area. The FBC provides the zoning mechanism to allow for the design alternatives featured in the Fisher Station Sub Area plan.

The FBC is legal document regulating Building Types, facade types, and uses where the Context Areas are applied. The FBC shall regulate uses in conjunction with the Kentwood Zoning Ordinance by regulating land development to ensure a compact urban form.

### 23.01.03 SCOPE

The City of Kentwood Division Avenue Form-Based Code is a mandatory code that applies to all development and redevelopment within the boundaries identified on the FBC Map. The application of the code shall be defined in Section 23.02 Applicability and Procedures.

For development standards not covered by the City of Kentwood Division Avenue Form-Based Code, other applicable sections of the Kentwood Zoning Ordinance shall apply. All development shall also comply with all other applicable local, state, or federal regulations and ordinances.

Throughout this Form-Based Code, photographs and images are used for illustrative purposes only. These images are illustrative, not regulatory.

### 23.01.04 ADOPTION AND EFFECTIVE DATE

- A. Adoption Date. The City of Kentwood Division Avenue Form-Based Code was adopted at a regular meeting of the Kentwood City Commission on July 10, 2017.
- B. Effective Date. The City of Kentwood Division Avenue Form-Based Code shall take effect and be in force on and after July 26, 2017.

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**23.02.01 APPLICABILITY**

The City of Kentwood Division Avenue Form-Based Code shall apply to development within the boundaries of the Form-Based Code District depicted on the City of Kentwood official Zoning Map and the Context Area Map depicted in Section 23.04.07.

In order to determine the applicability to the FBC to a specific development or redevelopment, Table 2.01 shall be used. Appeals to the provisions of the table shall be made to the Planning Commission.

In instances where FBC regulations are not applicable, the zoning requirements that were in effect for the property prior to the effective date of the City of Kentwood Division Avenue Form-Based Code shall apply to the property.

**TABLE 2.01 APPLICABILITY TO THE FORM-BASED CODE**

FORM-BASED CODE REGULATIONS	NEW CONSTRUCTION	EXISTING BUILDINGS					
		CHANGE IN USE 1	EXTERIOR REMODEL*		BUILDING FOOTPRINT EXPANSION OR REDUCTION		
			UNDER 75%	75% AND ABOVE	0% TO 50%	50% TO 99%	> 100%
BUILDING PLACEMENT (SECTION 23.04)	X						X
BUILDING TYPE AND FACADE (SECTION 23.05)	X			4	2	2	X
USE (SECTION 23.04)	X	X			X	X	X
SIGNAGE (SECTION 23.07)	X				3	3	3
GENERAL LANDSCAPING (SECTION 23.03.07)	X	X	X	X	X	X	X
FACADE LANDSCAPE ELEMENTS (SECTION 23.03.08)	X			X		X	X
PARKING LANDSCAPE (SECTIONS 23.06.10 AND 23.06.11)	X			X		X	X
LIGHTING (SECTION 23.03.09)	X			4		X	X
BUILDING HEIGHT (SECTIONS 23.04 & 23.05)	X						X
AMOUNT OF PARKING (SECTION 23.06)	X	X			X	X	X
LOCATION OF PARKING (SECTION 23.04)	X						X

X Item is required to comply with the City of Kentwood Division Avenue Form-Based Code regulations.

1 A change in use that is a Special Land Use, may require greater compliance with the City of Kentwood Division Avenue Form-Based Code standards.

2 Must comply with facade requirements if expansion occurs on primary or secondary street frontage

3 Legal non-conforming signs may remain.

4 Building and/or site must be made more conforming.

\* Windows added as part of an exterior remodel shall meet the clear glass requirements of the City of Kentwood Division Avenue FBC.

**23.02.02 PROCEDURES**

A. Site Plan Review: Development within the area zoned for Form-Based Code will require one of the following:

1. Staff administrative review: Staff Review Team review will be required for all permitted uses as per Section 14.02 and 13.05 B of the Kentwood Zoning Ordinance. The site plan may be reviewed as part of the submission for building permit.
2. Planning Commission review: Planning Commission review is required for Special Land Uses outlined in Use Tables in Section 23.04 of the Form-Based Code and for the following:
  - a. Preliminary Plats,
  - b. Site Condominium Developments, and
  - c. Projects with more than ten (10) multifamily dwelling units.
3. City Commission review: City Commission review is required (with a recommendation from the Planning Commission) for rezoning (which include departures from the boundaries of the FBC) for the following:
  - a. Preliminary Plats,
  - b. Site Condominium Developments, and
  - c. Changes to the FBC text.
4. Site Plan Review Procedures. Site plan review, appeal of site plan review decisions, changes in an approved site plan, and period of validity of approved site plan shall follow the processes set forth in Section 13.05 of the City of Kentwood Zoning Ordinance.

B. Special Land Uses

1. Certain uses with the Corridor General and Corridor Edge Context Areas will require Special Land Use and Site Plan Review and approval by the Planning Commission. The Special Land Use review and procedure shall be consistent with Section 13.04 of the Kentwood Zoning Ordinance.

C. Rezoning

1. Rezoning of property to the FBC designation or to change the designated context area will be reviewed by the City Commission, consistent with Section 13.03 of the Kentwood Zoning Ordinance.

D. Site Plan Application and Submittal. Site Plan applications and submittals shall follow the procedure and requirements listed in Chapter 14 in the City of Kentwood Zoning Ordinance.

In addition to the site plan submittal requirements required in Chapter 14 of the Kentwood Zoning Ordinance, applications in the FBC District shall include the following:

1. Detailed building elevations of all building walls that depict facade options used, building height, number of stories, percent of transparency, exterior materials, and other items required by the Zoning Administrator.
2. Detailed site plan that depicts conformance with required build-to-lines or build-to-zones, architectural feature encroachments, and parking location and access.
3. Detailed elevation and/or plan drawings that depict the required treatment and landscape elements (refer to Section 23.03.08) located between the facade and property line.
4. Material samples of glass that represent the type of glass to be used where transparency is required by the facade type. Glass samples shall clearly indicate the Visible Light Reflectance (VLR) and the Visible Light Transmittance (VLT) percentages required. (Refer to 23.03.14 and definitions for clear glass in Section 23.08).

**23.02.03 FORM-BASED CODE ADMINISTRATIVE DEPARTURES: PURPOSE AND PROCEDURES**

A. Purpose. Administrative Departures are provided to permit development of individual lots or properties that generally fall within the requirements of the Context Area and a practical difficulty does not exist. However, due to site characteristics or other related conditions, a limited degree of flexibility to meet the spirit and purpose of the City of Kentwood Division Avenue Form-Based Code is appropriate. It is not a general waiver or weakening of regulations. Rather, the procedure permits a site-specific plan that is equal to or better than the strict application of a design standard. It is not intended as a substitute for a Variance or as a means for relief from standards in the City of Kentwood Division Avenue FBC.

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B. Applicability. Only those Administrative Departures that are specifically noted in this Section may be requested and approved.

C. Application Procedure. Requests for Administrative Departures shall be submitted with the applicable application and shall include the following:

1. Information and materials, as listed in the application form, in sufficient detail to indicate the nature and necessity of the request, and may include a scaled drawing. Requested Administrative Departures shall be separately listed and clearly noted on the proposed plan.
2. The applicable fee established by resolution of the City Commission.
3. If it is necessary to transfer the application to the Zoning Board of Appeals for a variance, the fee shall be applied to the variance application.

D. Review Standards. The Zoning Administrator shall consider whether the proposed alternative meets the following:

1. Does not materially change the circulation and building location and placement on the site;
2. Does not alter the relationship between the buildings and the street;
3. Does not allow a use not otherwise permitted in this Form-Based Code; and
4. The departure is the minimum required necessary to meet the intent of the Form-Based Code.

E. Decision. The Zoning Administrator may approve, approve with conditions, deny or refer an application to the Planning Commission.

F. Prior to Other Approval. Administrative Departures shall be reviewed, and approved or denied in writing by the Zoning Administrator along with the reasons for the decision prior to approval of a building permit, Site Plan Review, Special Land Use, or other approval required by this Section.

G. Appeal. A decision of the Zoning Administrator regarding an Administrative Departure may be appealed to the Zoning Board of Appeals. Conditions imposed as part of an Administrative Departure approval cannot be appealed unless submitted as a full request for a variance.

#### 23.02.04 SPECIFIC FORM-BASED CODE ADMINISTRATIVE DEPARTURES

A. Lot Width/Depth. An Administrative Departure may be granted of not more than twenty percent (20%) of the required lot width to depth ratio of 1 to 4 where unusual lot configurations, topography or natural features exist, or where the departure would be in keeping with the character of the neighborhood.

B. Setback and Spacing.

1. An Administrative Departure may be approved to allow the minimum distance from the wall(s) of a detached accessory building to the side or rear lot line to one (1) foot, provided a property survey and scaled site plan is submitted, where topography, natural features, or other site constraints exist, where there are no detrimental effects on adjacent properties, and where applicable fire safety provisions of the City's building codes are met.
2. An Administrative Departure may be approved to allow a new building or structure to be located within a clear vision area, provided the following conditions are met:
  - a. The applicant provides an independent engineering study that demonstrates that the new building or structure shall allow proper stopping sight distance as defined in A Policy on Geometric Design of Highways and Streets, as amended, by the American Association of State Highway and Transportation Officials (AASHTO); and
  - b. The City's Engineering Department concurs with the findings of the independent engineering study.

3. An Administrative Departure may be approved to allow relief from the requirements of all driveways, including the entry radius of the drive approach that serve a single main building or principal use, shall be located at least one (1) foot from an abutting lot line may be approved for shared driveways of abutting properties provided both property owners grant written permission for joint use and access.
4. An Administrative Departure up to five (5) feet from the required front yard build-to-line may be permitted to accommodate individual site conditions, such as mature trees, topography, or other similar physical conditions or where the setbacks of existing buildings on the subject block are inconsistent with the Form-Based Code. The required front yard build-to-line may be determined by referencing the front setbacks of the adjacent properties.
5. An Administrative Departure up to two (2) feet in a side yard setback may be permitted to accommodate individual site conditions, such as mature trees, topography, or other similar physical conditions.
6. An Administrative Departure up to five (5) feet in a rear yard setback may be permitted to accommodate individual site conditions, such as mature trees, topography, or other similar physical conditions.
7. An Administrative Departure of up to four (4) feet into the easements indicated on the Required Easement Map in Section 23.04.08 may be permitted to accommodate architectural features. In granting waiver from the encroachment restriction, the Zoning Administrator shall take into account the extent to which the architectural feature exceeds the minimum ground clearance for the specific architectural feature as required in Section 23.05.07.

C. Height and Architectural Requirements.

1. An Administrative Departure may be

granted for accessory building height in order to achieve architectural compatibility with the main building.

2. An Administrative Departure from fence height, opacity and retaining wall requirements may be granted where an adequate clear vision area is present, no detriment to neighboring properties would be created and it is clearly demonstrated that due to topography, natural features, lot configuration or other site-related issues that the requirements of the FBC cannot be satisfied.
3. An Administrative Departure for dumpster enclosure materials and the placement of a dumpster enclosure may be granted. In granting a waiver from the placement requirements from a residential use, the Zoning Administrator shall take into consideration the proximity of adjacent residential structures, topography, natural features, existing screening or other barriers, and operational requirements for trash removal that would mitigate potentially adverse effects
4. The Zoning Administrator may approve materials of equivalent or better quality as determined appropriate for the building, site, and area.
5. Alternative orientations may be considered in cases where such alternative orientations are consistent with existing adjacent development or for other methods, such as unique color treatments, provided the same effect is achieved.
- D. Outdoor Lighting. An Administrative Departure may be granted from the outdoor lighting requirements if it is determined that in so doing, it shall not contradict the purposes of this Section or negatively affect the health, safety and welfare of the public.
- E. Open Space and Landscaping. An Administrative Departure may be approved to permit permanent planters and vegetated walls that are readily accessible and safe for residential occupants to be included in front yard landscaping for apartment, townhouse or two family buildings.
- F. Use. If an application is submitted for a use not listed, the Zoning Administrator shall



make a determination as to the proper Context Area and use classification for the new or unlisted use.

G. Transparency. An Administrative Departure may be approved for facade transparency requirements as follows:

1. Security Shutters. An administrative departure may be granted for the use of security shutters installed on the interior side of the window, when applicant demonstrates a security risk through police department crime reports.
2. Percent of Required Facade Transparency. An administrative departure may be granted of up to ten (10) percent of the required ground floor transparency when constraints related to topography or lot dimensions are demonstrated to impact achieving the required facade transparency. Mitigation measures such as the addition of architectural elements, a green wall or landscaping may be required.

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**23.03.01 PURPOSE**

Section 23.03 identifies provisions that are general to all Form-Based Code Context Areas.

Each Context Area established in this code shall meet the requirements of this Section. If there is a conflict between this Section and the individual requirements of the Context Area or Building Type Standards, the requirements of the Context Areas or Building Type Standards shall govern.

**23.03.02 ACCESSORY BUILDINGS**

Accessory buildings are permitted in the Form-Based Code districts as follows:

- A. Accessory buildings are permitted in accordance with Section 3.15 of the Kentwood Zoning Ordinance.
- B. Accessory uses are permitted in accordance with Section 3.16 of the Kentwood Zoning Ordinance.
- C. Accessory buildings shall be placed within the off-street parking area designated for the Context Areas. Refer to Section 23.04.

**23.03.03 BARRIER FREE ACCESS FOR BUILDING TYPES**

Each Building Type requires the use of facades at primary and secondary streets. Many of these facades require stoops, terraces, and porches that elevate the ground floor of the building from the adjacent grade. Elevating the finish floor of buildings, specifically residential buildings, is critical to maintaining privacy for the residential occupants when the building is close to the public sidewalk.

In instances where a Building Type and facade require an elevated ground floor, the building is still required to maintain barrier free access per the locally adopted building code. This access may be accommodated as follows:

- A. When ground floor is elevated less than twelve (12) inches above adjacent grade a front or side yard ramp may be used. Ramp shall be integrated into the stoop or terrace.
- B. When ground floor is elevated twelve(12) or more inches above adjacent grade or in instances when a front or sideyard ramp can not be accommodated, a rear yard ramp shall be used.

**23.03.04 BUILDING SETBACK FROM RESIDENTIAL**

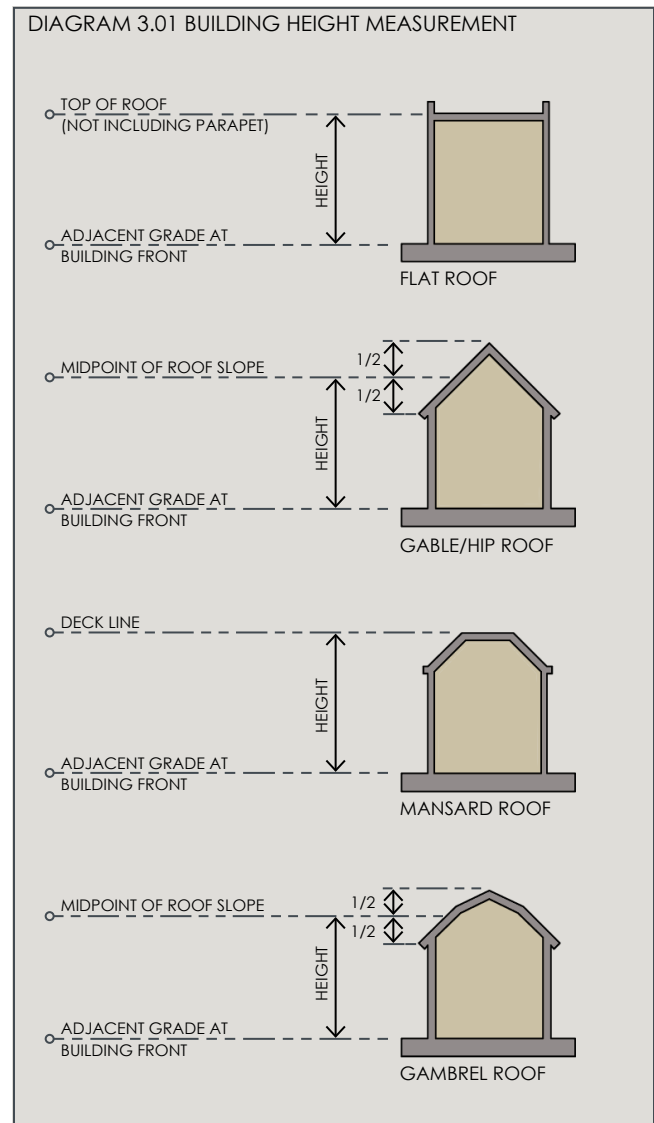
There shall be a minimum of 25 feet building setback from existing single-family detached residential zone districts or uses, as measured from the lot line to any proposed exterior wall within the CG or CE Context Areas.

**23.03.05 CLEAR VISION AREAS**

Clear vision areas required by the City of Kentwood Zoning Ordinance (Section 3.06) are required in the City of Kentwood Form-Based Code Context Areas. Administrative Departures may be applied, refer to Section 23.02.

**23.03.06 HEIGHT MEASUREMENT OF BUILDINGS**

- A. Building heights shall be measured in number of stories and shall not exceed overall building height (in number of stories and in total feet) indicated for each Context Area in Section 23.04.



- B. Ground floor story height shall be measured from floor to ceiling and is regulated by specific Building Type (Section 23.05).
- C. Upper floor story heights shall be measured from floor to ceiling for each upper floor of a building and are regulated by Context Area (Section 23.04).
- D. Attics and basements are not counted as stories.
- E. Overall building height shall be measured as the vertical distance from the established adjacent grade to the highest point of the roof deck for flat roofs, to the deck line of mansard roofs, and to the average height between eaves and the ridge of gable, hip, and gambrel roofs. Refer to Diagram 3.01.

### 23.03.07 LANDSCAPING, GENERAL

- A. General: All areas not covered by buildings, paved areas or other improvements (as approved by staff) shall be finished-graded and landscaped with turf grass or other ground cover plants as approved by the City.
- B. Parkway: Parkway areas along Division Avenue shall be constructed in one of the following ways, as determined by Zoning Administrator based on surrounding context:
  1. Finished graded and landscaped with turf grass or other ground cover plants as approved by the City.
  2. Paved with concrete to match adjacent sidewalk.
- C. Canopy Street Trees in the Public Right-of-Way: Canopy street trees shall be provided as follows:
  1. A minimum of one canopy street tree shall be required for each lineal fifty (50) feet, or fraction thereof, of frontage along a public or private street.
  2. The location and species of the trees shall be approved by the City. The minimum size of the tree at the time of planting shall be 2 ½ caliper.
  3. Street trees shall be planted within the public right-of-way whenever possible.



IMAGE 3.01 GARDEN WALL WITH PIER AND BRICK CAP



IMAGE 3.02 GARDEN WALL

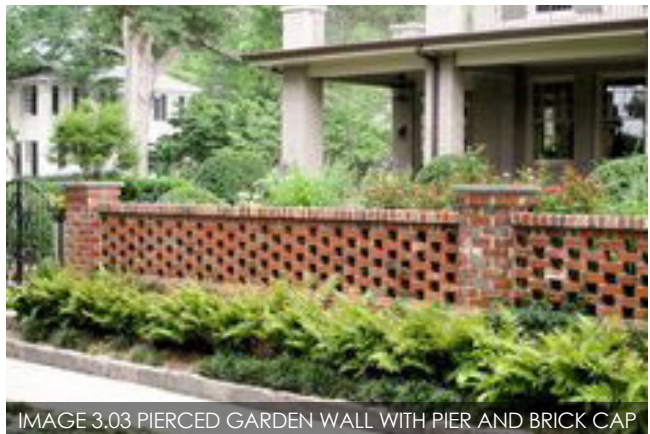


IMAGE 3.03 PIERCED GARDEN WALL WITH PIER AND BRICK CAP



IMAGE 3.04 GARDEN WALL WITH PIER AND METAL FENCE





IMAGE 3.05 DECORATIVE METAL FENCE



IMAGE 3.06 DECORATIVE METAL FENCE WITH BRICK PIERS



IMAGE 3.07 LANDSCAPE HEDGE

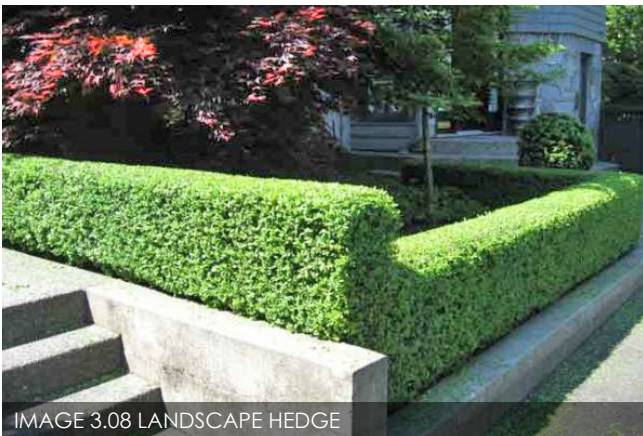


IMAGE 3.08 LANDSCAPE HEDGE

**23.03.08 LANDSCAPE ELEMENTS RELATED TO FACADES**

Landscape Elements Required by Facade: Fa-cade types may require one or more of the follow-ing landscape elements at or near the property line in order to define the primary and secondary facade and associated yards (refer to Section 23.05).

A. Garden Wall (refer to Images 3.01 & 3.02):

1. Constructed of brick or other masonry as approved by the Zoning Adminis-trator or Planning Commission.
2. 24" to 36" high, measured from the adjacent grade.
3. Wall may be solid or pierced to cre-ate a pattern of solids and voids (refer to Image 3.03).
4. Wall shall be capped with a brick, stone or concrete cap.
5. Wall may have piers that are no more than 42" above adjacent grade.
6. Wall may include a decorative met-al fence on top of masonry. Walls capped with fence shall be no more than 42" high (refer to Image 3.04).
7. Walls may have landscape adjacent to them on the street side. If provid-ed, landscape shall have a minimum two (2) foot wide and maximum four (4) foot wide landscape edge placed on the street side of the wall. Ground-cover, ornamental grasses, annual or perennial flowers, or a combination thereof may be used to soften the ap-pearance of the wall.

B. Decorative Metal Fence (refer to Image 3.05):

1. Constructed of aluminum, steel, wrought iron, or other approved ma-terial by Zoning Administrator or Plan-ning Commission.
2. Maximum 42" high, measured from adjacent grade.
3. Fence may have brick piers that are no more than 42" above adjacent grade and spaced at a minimum of 10 feet on center (refer to Image 3.06).
4. Wire or chain link fences and painted or stained wood fences are not per-mitted.

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5. Fences may have landscape adjacent to them on the street side. If provided, landscape shall have a minimum two (2) foot wide and maximum four (4) foot wide landscape edge placed on the street side of the fence. Groundcover, ornamental grasses, annual or perennial flowers, or a combination thereof may be used to soften the appearance of the fence.

C. Continuous Landscape Hedge (refer to Images 3.07 and 3.08):

1. Hedge shall be maintained at a 42" maximum height, measured from adjacent grade.
2. Hedge shall be composed of suitable landscape material so that it is continuous along the property line within two years of planting.
3. If landscape material dies, it shall be replaced with similar material to ensure height and continuity requirements.

D. Landscape elements may be combined to create an edge at the property line. When combined, elements shall maintain the height requirements associated with each element.

#### 23.03.09 LIGHTING

Exterior site lighting shall be confined to the development and shall conform to the requirements of Chapter 20 of the City of Kentwood Zoning Ordinance.

#### 23.03.10 NON-CONFORMITIES

Intent: It is recognized that there exists within the City of Kentwood Division Avenue FBC Context Areas certain buildings and structures, uses and lots which were lawful before these regulations were adopted, and which would be prohibited, regulated, or restricted under the terms of the Form-Based Code regulations, as follows:

A. Non-Conforming Lots, Buildings and Structures: It is the intent of this Ordinance to permit non-conforming lots, buildings, structures and uses to continue until they are removed, but not to encourage their survival, consistent with Section 3.24 A, B, D and E of the Kentwood Zoning Ordinance.

B. Non-Conforming Due to Building Type or Frontage Standards: For buildings and structures that do not conform with the Building Type standards and/or frontage requirements of the City of Kentwood Division Avenue Form-Based Code but are otherwise conforming with respect to use, certain relief may be provided and such buildings and structures shall be deemed conforming. Alterations and repairs shall meet the Applicability Requirements contained in Section 23.02.01.

C. Non-Conforming Uses: Uses that were lawful at the time that the Form-Based Code was adopted, but no longer conform with the use provisions of the City of Kentwood Division Avenue Form-Based Code in Section 23.04, are subject to the non-conforming use provisions of Section 3.24 C of the Kentwood Zoning Ordinance. It is the intent of the Form-Based Code that these nonconformities shall not be enlarged, expanded or extended.

#### 23.03.11 OUTDOOR SEATING

Outdoor seating refers to a balcony, patio, terrace, walkway, parking area, lawn, garden or any other place which is not enclosed where seating or other activities shall be permitted in association with a commercial use, subject to the following requirements:

- A. Outdoor seating may be permitted as an ancillary use in association with the following Building Types when a restaurant, cafe, or similar use is approved as a primary use:
  1. Mixed Use (all facade options)
  2. Retail (all facade options)
  3. Flex (all facade options)
  4. Live/Work (all facade options)
- B. Outdoor seating shall require approval by the Zoning Administrator.
- C. When outdoor seating is provided, a minimum pedestrian clear space of five (5) feet along all public walkways shall be provided at all times.



D. When outdoor seating is provided at ground level, an enclosure to define or enclose the outdoor seating space may be required. Enclosures shall meet one of the following requirements:

1. Enclosure may be a decorative metal fence that is no more than forty-eight (48) inches high, measured from adjacent grade;
2. Enclosure may be a solid wall made of wood, masonry, or similar material that is no more than thirty-six (36) inches high, measured from adjacent grade; or
3. Enclosure may be planter boxes with landscaping that are no more than thirty-six (36) inches high, measured from adjacent grade.

E. Trash receptacles related to the outdoor seating area shall be maintained and shall be removed from the public right-of-way during non-business hours.

F. Outdoor dining areas shall be designed to be architecturally compatible with the existing structures on the site.

### 23.03.12 MECHANICAL EQUIPMENT

Mechanical equipment, communication equipment, and similar devices within the Context Areas of the City of Kentwood Division Avenue FBC shall be located in the rear yard of the parcel or on the rooftop of the building.

- A. Roof Top Equipment. All rooftop mechanical, communication, and similar devices shall be setback five (5) feet from the building wall or facade and screened from view of adjacent properties and streets. Screening shall be designed to be an integral part of the building.
- B. Ground Equipment: All mechanical equipment located on the ground shall be in the rear yard of the parcel and placed a minimum of five (5) feet from the adjoining property line.

### 23.03.13 SUBDIVISION AND ACCESS STANDARDS

The subdivision of land within the Form-Based Code Area shall comply with the Kentwood Subdivision Control Ordinance, Ordinance No. 2-92 as amended, or Section 3.25 Site Condominiums except as provided herein.

A. Lot Requirements: Blocks and lots shall abut a public or private street or alley. Any lot of record created after the effective date of this ordinance shall front a public or private street right-of-way or easement.

B. Lot width per Building Type shall be as follows:

1. Mixed Use, Retail, and Flex Buildings lot width shall be a minimum of twenty (20) feet.
2. Live/Work and Rowhouse lot width shall be a minimum of eighteen (18) feet.
3. Large and Small Multi-plex lot width shall be a minimum of fifty (50) feet.
4. Duplex lot width shall be a minimum of forty (40) feet.
5. Applicant is encouraged to verify site dimensional requirements for desired building type before platting or subdividing property.

C. Block Requirements:

1. Length: Blocks shall be not less than 500 feet nor more than 1,250 feet.
2. Block frontage: Blocks may front a private or public street or alley.
3. Connectivity: New streets shall connect to existing streets wherever possible.

D. Residential Access: Alley access is encouraged whenever possible.

E. Commercial Access:

1. Site Plans shall include a continuous cross access to an alley if feasible.
2. Cross access easements shall be legally binding and allow interconnected vehicular and pedestrian access in perpetuity
3. Rear alleys shall be contiguous along adjacent property lines and form a travel way parallel to the primary street.
4. Shared driveways shall be encouraged. A shared driveway access agreement shall be reviewed and approved by the City Attorney as a condition of site plan approval.

- F. Driveway Requirements: See Chapter 17.10 of the Kentwood Zoning Ordinance.
- G. Vehicular and Pedestrian Circulation: Safe, convenient and well-defined vehicular and pedestrian circulation within individual sites and throughout the Form Based Code Area shall be provided to maximize walkability.

#### 23.03.14 TRANSPARENCY

Facade transparency requirements are indicated as a percentage of clear glass to solid wall. Transparency shall be subject to the following requirements (refer to transparency definition in Section 23.08):

- A. Clear Glass At Ground Floors: Glass having a Visible Light Transmittance (VLT) of 70% minimum and a Visible Light Reflectance (VLR) of 12% maximum on both exterior and interior. Heavily tinted or reflective glass shall not be considered clear.
- B. Clear Glass At Upper Floors: Glass having a Visible Light Transmittance (VLT) of 60% minimum and a Visual Light Reflectance (VLR) of 15% maximum. Heavily tinted or reflective glass shall not be considered clear.
- C. Calculation: The calculation of the percentage of transparency shall include the glass within the windows, transoms, doors, and storefront windows as indicated for specific facade type.
- D. Reflective Surfaces: The use of highly reflective surfaces, including reflective glass and mirrors is prohibited.
- E. Security Shutters: Exterior steel bars, hurricane curtains, and other security devices are not permitted on the following:
  1. Windows, transoms, doors, and/or storefront windows that are used to meet the transparency requirements.
  2. Any ground floor window or storefront window on any building wall (even in instances where window is not used as part of transparency calculation).
  3. An administrative departure may be granted for the use of security shutters. Refer to Section 23.02.04.

- F. Interior Display: Interior display shelves and merchandise are not permitted to block or to obscure doors, windows, or storefront windows that are included as part of the required transparency. Interior display shelves and merchandise shall be setback a minimum of five (5) feet from windows, storefronts, and doors.



23.04.01 PURPOSE

Section 23.04 identifies the Context Areas and Uses established for the City of Kentwood Division Avenue Form-Based Code and provides the attributes that are allowed in each Context Area. These attributes include use, building types, and building height. These Context Areas ensure that proposed development is consistent with the desires and outcomes of the 2012 Kentwood Master Plan (specifically the Division Avenue Corridor Sub Area).

Each of the Context Areas described in this Section represent a spectrum of development intensity and appropriate form and character, ranging from more urban intense (Corridor General) to less urban intense (Corridor Edge). Each Context Area establishes character through its use of Building Types and associated facades (Section 23.05).

23.04.02 APPLICABILITY

Each Context Area established in the Context Area Map (23.04.07) shall meet the standards of this Section. Each Context Area includes permitted and special land uses, permitted Building Types, site placement requirements, off-street parking location and access requirements, permitted building height, and drive-through requirements (as applicable).

23.04.03 CONTENTS OF THIS SECTION

The properties subject to the City of Kentwood Division Avenue Form-Based Code are regulated in one of the following Context Zones.

- A. Corridor General (CG). Refer to Section 23.04.09 for the intent and purpose, physical form requirements, range of land uses, and requirements for off-street parking placement.
- B. Corridor Edge (CE). Refer to Section 23.04.10 for the intent and purpose, physical form requirements, range of land uses, and requirements for off-street parking placement.

23.04.04 REQUIRED CRITERIA

In order for applications to be approved, each application shall meet the following criteria, as applicable.

- A. Maintains the unique Context Area identified on the Context Area Map (23.04.07) and within this Section to effectively implement the physical character envisioned in the 2012 Kentwood Master Plan (specifically the Division Avenue Corridor Sub Area).
- B. Generates or maintains the intended physical character of the Context Area based on the policies and direction of the 2012 Kentwood Master Plan (specifically the Division Avenue Corridor Sub Area).

23.04.05 LARGE PARCELS

Building Types will require a minimum percentage of the primary facade be located at the front property line at a Build-to-Line (BTL), or within a Build-to-Zone (BTZ). Typically a high percentage of facade will be required at the front property line for parcels with a width that is 50 feet or less. The intent of this requirement is to create a continuous street wall to promote walkability and enclosure of the public realm.

For parcels that have a width of more than 50 feet, a smaller percentage of facade will be required at the front property line. This is to ensure that incremental development may occur along the corridor, without requiring that excessively wide parcels be fully developed all at once.

In cases where the smaller percentage of facade at front property line is permitted, the remaining space shall be landscaped and maintained. Location of parking in this remaining space shall meet the requirements of the Context Area and shall not encroach past required parking setbacks.

All lots shall meet the requirements of Section 3.07 of the Kentwood Zoning Ordinance.

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### 23.04.06 EASEMENT

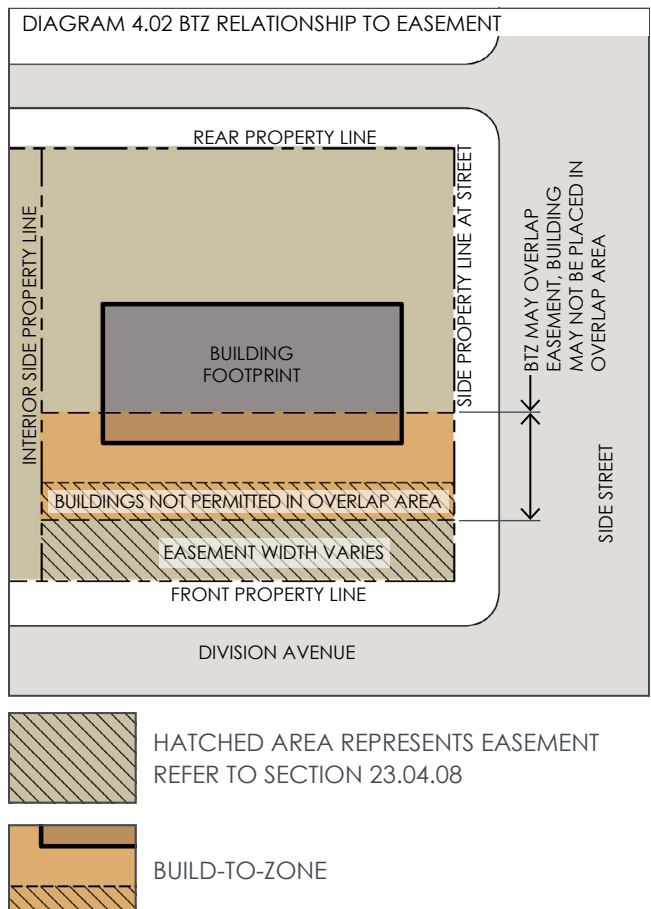
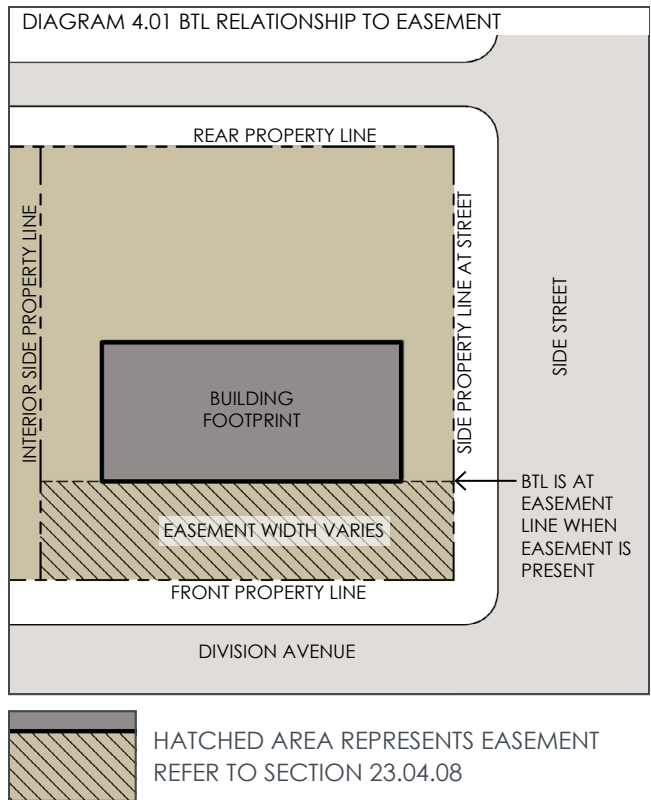
Parcels along the Division Avenue corridor have easements that range from 5 feet to 20 feet from the right-of-way / front property line. These easements will impact the Build-to-Lines and Build-to-Zones that are required for each Context Area.

No building or part of a building may be constructed within or over the easement area.

Refer to Easement Map (23.04.08) for easement locations.

For parcels that have the easement condition, the required Build-to-Line and Build-to-Zone is still measured from the property line as indicated in the Context Areas in 23.04 as follows:

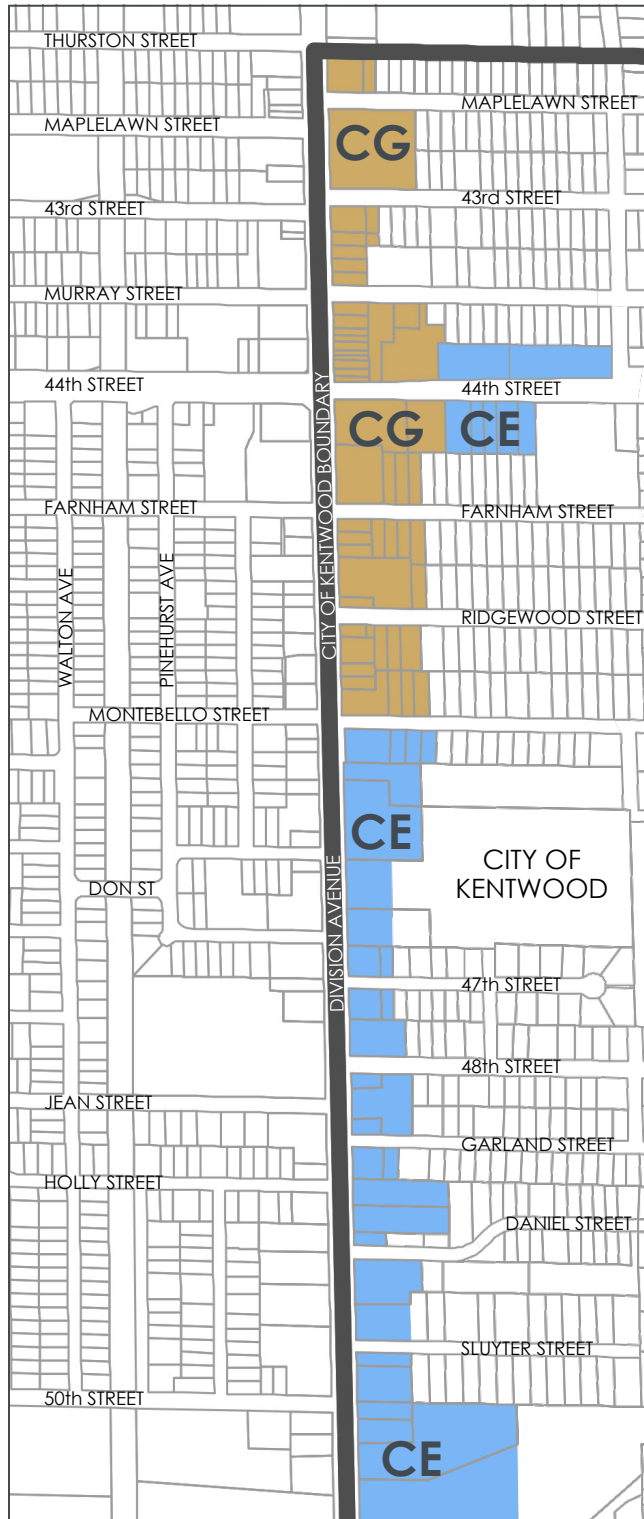
- A. For Build-to-Line: The required BTL will be at the easement line as depicted in Diagram 4.01.
- B. For Build-to-Zone: In many cases the BTZ may overlap the easement and result in a smaller BTZ width. In these situations buildings are not permitted in the overlap, as depicted in Diagram 4.02.







23.04.07 CONTEXT AREA MAP

MAPLELAWN STREET TO 50TH STREET



MAP LEGEND

-  CORRIDOR GENERAL (REFER TO SECTION 23.04.09)
-  CORRIDOR EDGE (REFER TO SECTION 23.04.10)

50th STREET TO 60th STREET

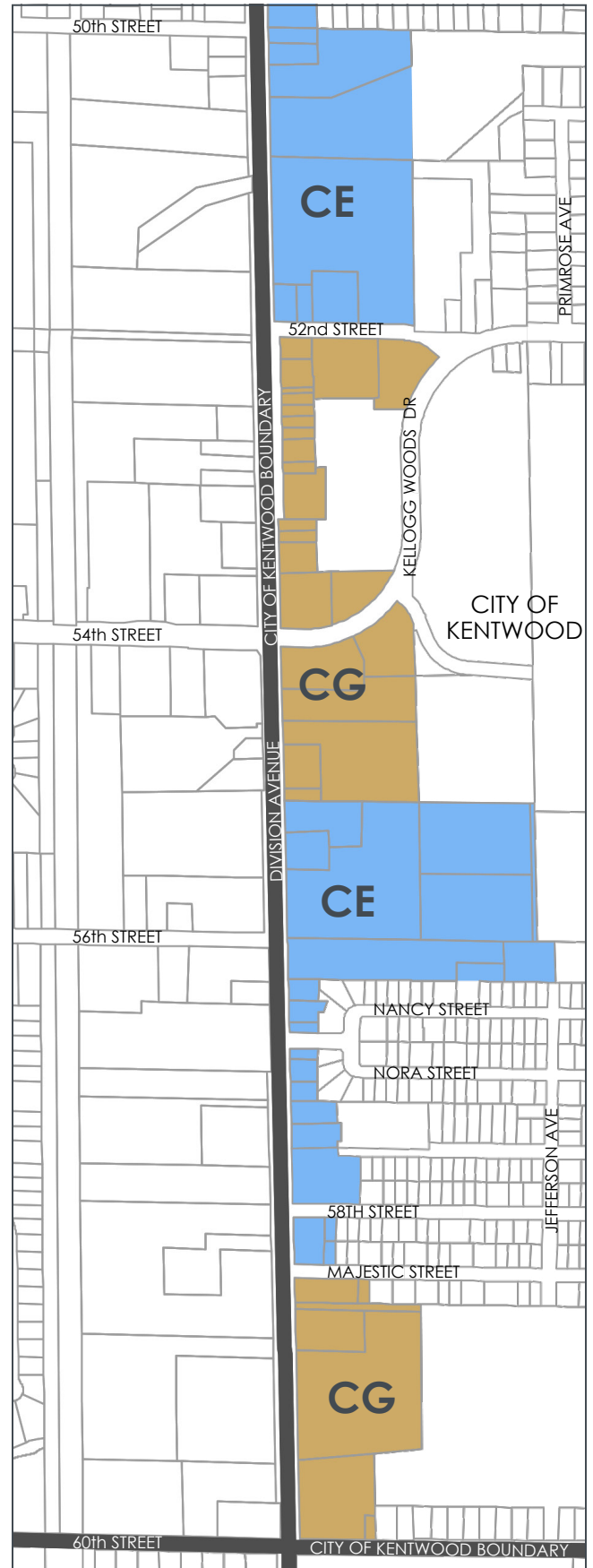


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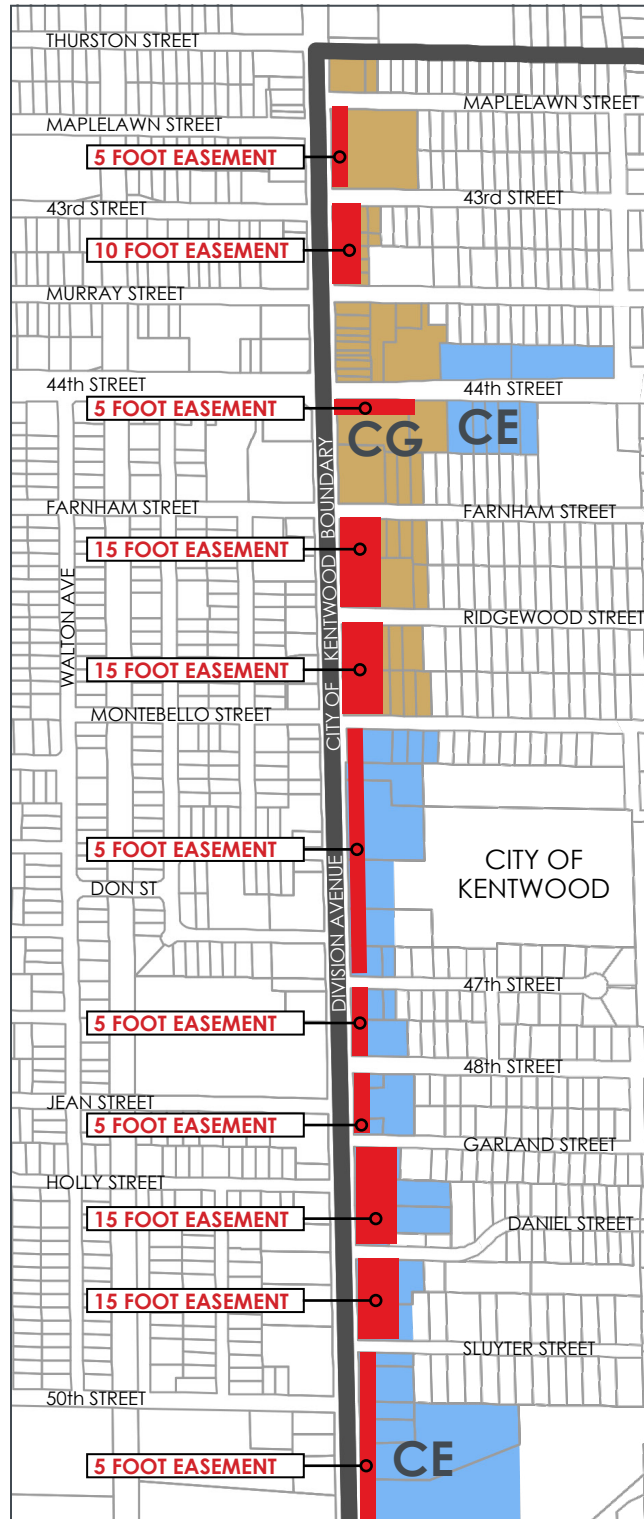
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## 23.04.08 REQUIRED EASEMENT MAP

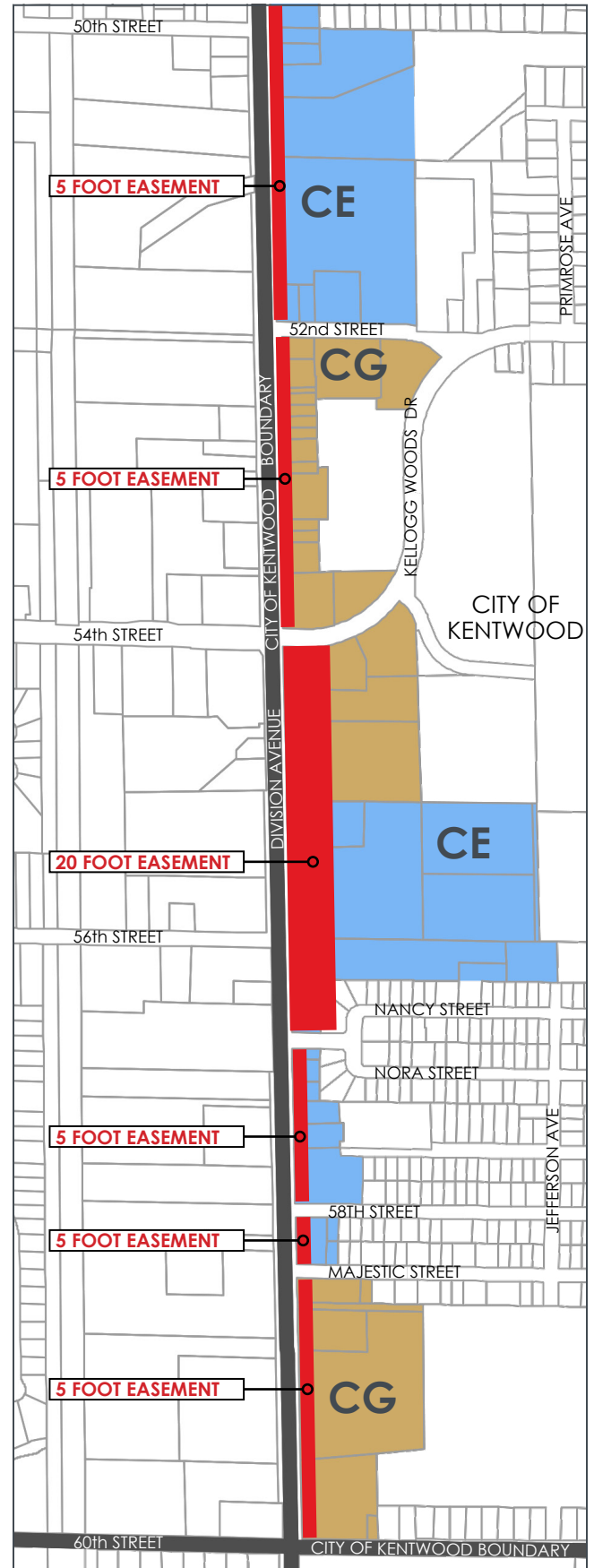
### MAPLELAWN STREET TO 50TH STREET



#### MAP LEGEND

- CORRIDOR GENERAL (REFER TO SECTION 23.04.09)
- CORRIDOR EDGE (REFER TO SECTION 23.04.10)
- EASEMENT (MEASURED FROM DIVISION AVENUE RIGHT-OF-WAY)  
(EASEMENT WIDTH THAT IS ILLUSTRATED IS NOT TO SCALE)

### 50TH STREET TO 60TH STREET



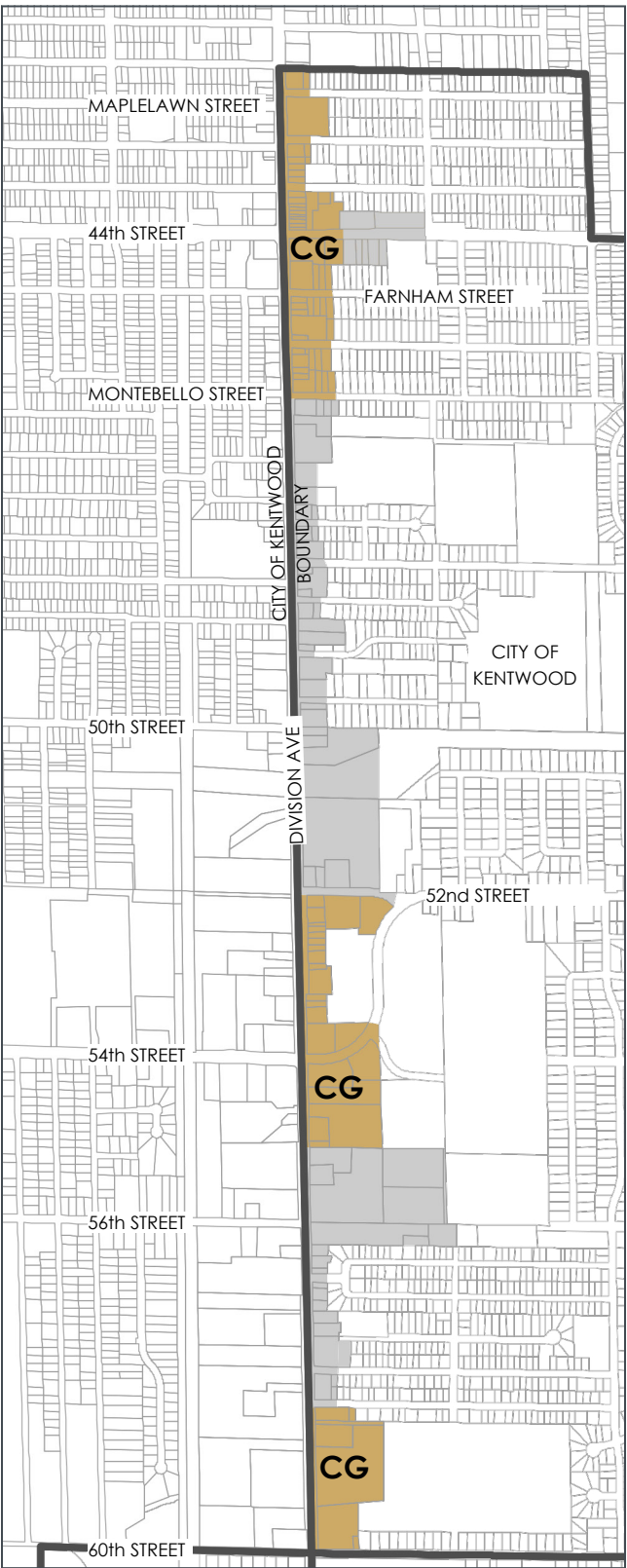


23.04.09 CORRIDOR GENERAL CONTEXT AREA

CONTEXT AREA INTENT

The Corridor General Context Area is intended to reinforce and enhance the urban environment along the Bus Rapid Transit (BRT) corridor of Division Avenue by providing a diverse mix of uses and a compact, walkable form.

CONTEXT AREA KEY MAP



For more detailed Context Area Map, refer to Section 23.04.07  
For required easements refer to map in Section 23.04.08



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## 23.04.09 CORRIDOR GENERAL CONTEXT AREA

TABLE 4.01 PERMITTED USES

Specific Use	MIXED-USE BUILDING TYPE*	RETAIL BUILDING TYPE	FLEX BUILDING TYPE*	LIVE / WORK BUILDING TYPE	LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	CIVIC BUILDING TYPE
Retail	P	P	P	P	P <sup>1</sup>				
Commercial Schools	P	P	P						
Personal Service	P	P	P	P	P <sup>1</sup>				
Financial Institutions	P	P	P	P <sup>1</sup>	P <sup>1</sup>				
Repair Services	P	P	P	P	P <sup>1</sup>				
Radio and TV Stations	P	P	P						
Vehicle Repair Services - minor	SLU	SLU	SLU						
Pawn Shops									
Colleges and Universities	SLU	SLU	SLU						P
Schools, Secondary and Elementary	SLU	SLU	SLU						P
Emergency Medical Clinic	P	P	P						
Training Facility	P	P	P	P	P <sup>1</sup>				
Municipal/Public Service	P	P	P						P
Clubs and Lodges	P	P	P						
Indoor Recreation	P	P	P	P	P				
Theaters	P	P	P						
Office	P	P	P	P	P <sup>1</sup>				
Clinic	P	P	P	P	P <sup>1</sup>				
Accessory Uses	P	P	P	P	P				
Assembly/Meeting	P	P	P		P <sup>1</sup>				P
Places of Religious Worship	P <sup>1</sup>	P	P						P
Restaurants	P	P	P		P <sup>1</sup>				P
Hotel	SLU		SLU						
Veterinarian Clinic, no boarding	P <sup>1</sup>	P	P						
Open Air Business (refer to Section 15.04.T)		SLU	SLU						
Residential	P		P	P	P <sup>3</sup>				

P = Permitted Use

P<sup>1</sup> = Permitted Use on first floor onlyP<sup>2+</sup> = Permitted Use on floors two and aboveP<sup>3</sup> = Special Land Use for 4 or 5 story large multi-plex

SLU = Special Land Use (Refer to Section 23.02.02)

Blank cell = Use not permitted in this Context Area within listed Building Type.

Shaded areas represent Building Types that are not permitted in this Context Area.

Special Land Uses, Preliminary Plats, Site Condominium Developments, and projects with more than ten (10) dwelling units require Planning Commission review. Refer to Section 23.02.02.

Unless otherwise noted, Special Land Uses in the Division Avenue FBC shall use for review the general standards of Section 15.02 of the Kentwood Zoning Ordinance.

## 23.04.09 CORRIDOR GENERAL CONTEXT AREA

TABLE 4.01 PERMITTED USES (continued)

Specific Use	MIXED-USE BUILDING TYPE*	RETAIL BUILDING TYPE	FLEX BUILDING TYPE*	LIVE / WORK BUILDING TYPE	LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	CIVIC BUILDING TYPE
Adult Day Care Facility	SLU		SLU		P <sup>1</sup>				
Child Care Center	SLU		SLU		P <sup>1</sup>				
Child Caring Institution (refer to Section 15.04.M)	SLU		SLU						
Recycling Center			SLU						
Service of Alcohol for On-site Consumption	SLU	SLU	SLU						
Assisted Living Group Facility	SLU		SLU						
Assisted Living Family Facility	P <sup>2+</sup>		P	P	P				
Adult Foster Care Family Home	P <sup>2+</sup>		P	P	P				
Adult Foster Care Small Group Home	SLU		SLU						
Adult Foster Care Medium Group Home	SLU		SLU						
Foster Care Family Home	P <sup>2+</sup>		P	P	P				
Foster Care Family Group Home	SLU		SLU						
Family Day Care Home	P <sup>2+</sup>		P	P	P				
Group Child Day Care Home (refer to Section 3.20.A)	SLU		SLU						
Drive-Through	SLU	SLU	SLU						

**USES PERMITTED IN CONTEXT AREA AND NOT ASSOCIATED WITH A BUILDING TYPE**

Existing single-family detached dwellings  
 Wireless antenna attached to an existing structure  
 Parks and Outdoor Recreation

**USES PERMITTED WITH SPECIAL LAND USE IN CONTEXT AREA AND NOT ASSOCIATED WITH A BUILDING TYPE**

Wireless tower within the height limit of the Context Area (for wireless communication tower refer to Section 15.04.U)  
 Principal use freestanding parking lot that meets the off-street parking site placement requirements of the Context Area

P = Permitted Use

P<sup>1</sup> = Permitted Use on first floor only

P<sup>2+</sup> = Permitted Use on floors two and above

P<sup>3</sup> = Special Land Use for 4 or 5 story large multi-plex

SLU = Special Land Use (Refer to Section 23.02.02)

Blank cell = Use not permitted in this Context Area within listed Building Type.

Shaded areas represent Building Types that are not permitted in this Context Area.

Special Land Uses, Preliminary Plats, Site Condominium Developments, and projects with more than ten (10) dwelling units require Planning Commission review. Refer to Section 23.02.02.

Unless otherwise noted, Special Land Uses in the Division Avenue FBC shall use for review the general standards of Section 15.02 of the Kentwood Zoning Ordinance.

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## 23.04.09 CORRIDOR GENERAL CONTEXT AREA

TABLE 4.02 CONTEXT AREA SUMMARY

BUILDING TYPE WITH FACADE OPTIONS		BUILDING TYPE SITE PLACEMENT	BUILDING TYPE HEIGHT	BUILDING TYPE LOT SIZE	
MIXED-USE		with STOREFRONT (depicted in photo)	Primary/Secondary Walls: 5' BTL Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
		with BALCONY	Primary/Secondary Walls: 5' BTL Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
RETAIL		with STOREFRONT (depicted in photo)	Primary/Secondary Walls: 5' BTL Interior side(s): 0' SETBACK Rear: 5' SETBACK	1 Story Building Required	Lot Width: 20' MIN Lot Depth: 80' MIN
FLEX		with STOREFRONT	Primary/Secondary Walls: 5' BTL Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
		with FORECOURT	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
		with DOORYARD	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
		with STOOP (depicted in photo)	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
LIVE/WORK		with STOREFRONT (depicted in photo)	Primary/Secondary Walls: 5' BTL Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 72' MIN
		with LIGHTWELL	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 72' MIN
		with DOORYARD (depicted in photo)	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 72' MIN
		with STOOP	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 72' MIN

Shaded areas represent Building Types and facades that are not permitted in this Context Area.



## 23.04.09 CORRIDOR GENERAL CONTEXT AREA

TABLE 4.02 CONTEXT AREA SUMMARY (continued)

BUILDING TYPE LOT SIZE	BUILDING TYPE HEIGHT	BUILDING TYPE SITE PLACEMENT	BUILDING TYPE WITH FACADE OPTIONS	
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with FORECOURT	LARGE MULTI-PLEX
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with DOORYARD	
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX (5 Story MAX with SLU) 2 Story MIN	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with STOOP (depicted in photo)	
			with PROJECTING PORCH	
			with FORECOURT	SMALL MULTI-PLEX
			with STOOP (depicted in photo)	
			with PROJECTING PORCH	
			with ENGAGED PORCH	
			with LIGHTWELL	ROWHOUSE
			with STOOP (depicted in photo)	
			with PROJECTING PORCH	
			with STOOP (depicted in photo)	DUPLEX
			with PROJECTING PORCH	
			with ENGAGED PORCH	
Lot Width: 25' MIN Lot Depth: 80' MIN	3 Story MAX (5 Story MAX with SLU)	Primary/Secondary Walls: 5' - 20' BTZ Interior side(s): 10' SETBACK Rear: 10' SETBACK	Facades are not applicable to this Building Type	CIVIC

Shaded areas represent Building Types and facades that are not permitted in this Context Area.

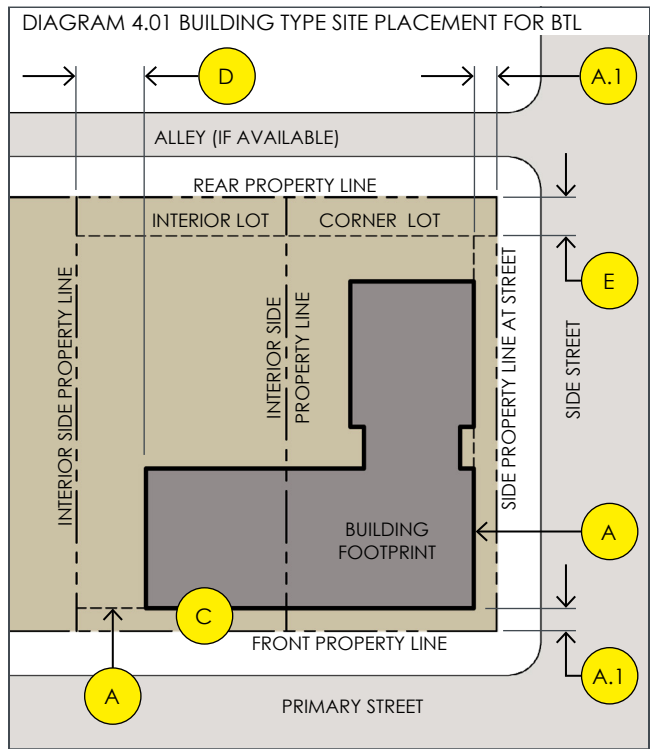
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23.04.09 CORRIDOR GENERAL CONTEXT AREA

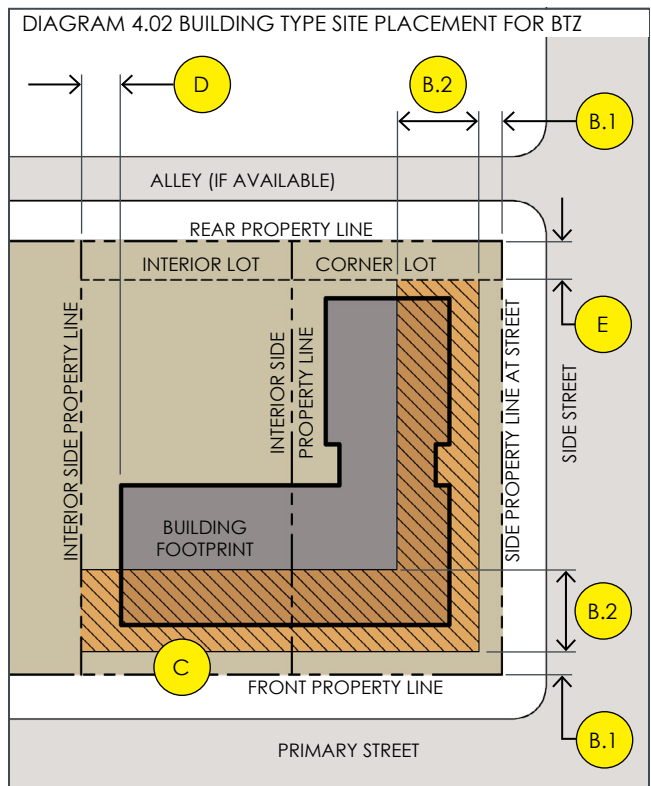
BUILDING SITE PLACEMENT

Buildings shall be located within the site per the following requirements and Diagrams 4.01 and 4.02.

- A. Required Build-to-Line (BTL) (Diagram 4.01):
  1. Required BTL is at 5 feet from the primary and side street property line.
  2. Refer to Table 4.02 for Building Types that require primary and secondary building walls and facades at a Build-to-Line.
- B. Required Build-to-Zone (BTZ) (Diagram 4.02):
  1. Required BTZ starts at 5 feet from primary and side street property line.
  2. Required BTZ: 15 feet wide (zone is 5 feet to 20 feet from primary and side street property line).
  3. Refer to Table 4.02 for Building Types that require primary and secondary building walls and facades at a Build-to-Zone.
- C. For most parcels fronting on Division Avenue, there is a required easement at the front property line. Refer to map in Section 23.04.08 for easement width and location. Refer to Section 23.04.06 for easement requirements and the relationship between the easement and the BTL/BTZ.
- D. Required Interior Side setback (at non-street locations): Refer to Table 4.02 for interior side yard setbacks per Building Type in this Context Area.
- E. Required Rear setback: Refer to Table 4.02 for rear yard setbacks per Building Type in this Context Area.



BUILD-TO-LINE (BTL)



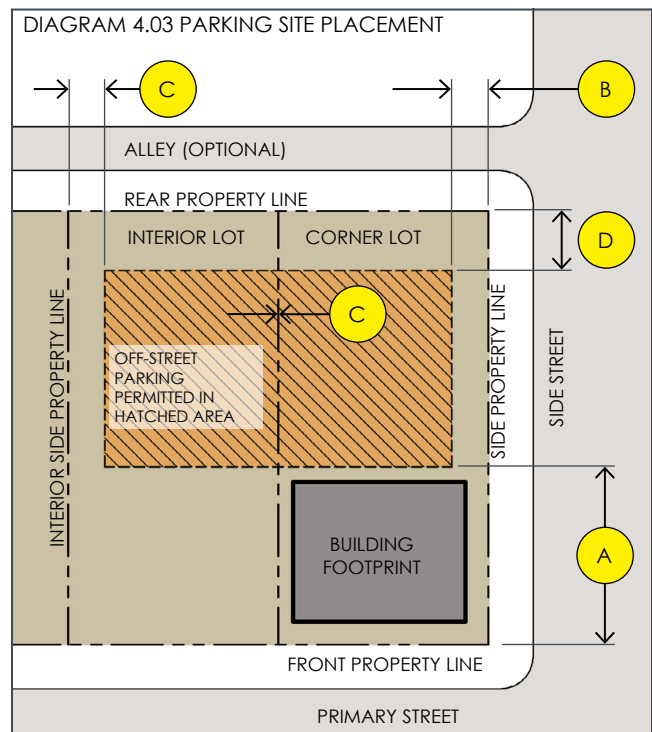
BUILD-TO-ZONE (BTZ)

## 23.04.09 CORRIDOR GENERAL CONTEXT AREA

## OFF-STREET PARKING SITE PLACEMENT

Parking shall be located within the site per the following requirements and Diagram 4.03.

- A. Required front setback: 20 feet from front property line.
- B. Required side setback, facing street: 10 feet from side property line
- C. Required interior side yard setback, non-street facing:
  1. 10 feet from side property line adjacent to residentially zoned parcels.
  2. 0 feet from side property line adjacent to non-residentially zoned parcels.
- D. Required rear setback: 5 feet from rear property line.
- E. Off-street parking shall be screened from streets with a building, wall, and/or landscaping. Refer to Section 23.06.
- F. Off-street parking shall be setback a minimum of 20 feet and screened from adjacent single-family detached residential zone districts or uses. Refer to Section 23.06.



## OFF-STREET PARKING ACCESS

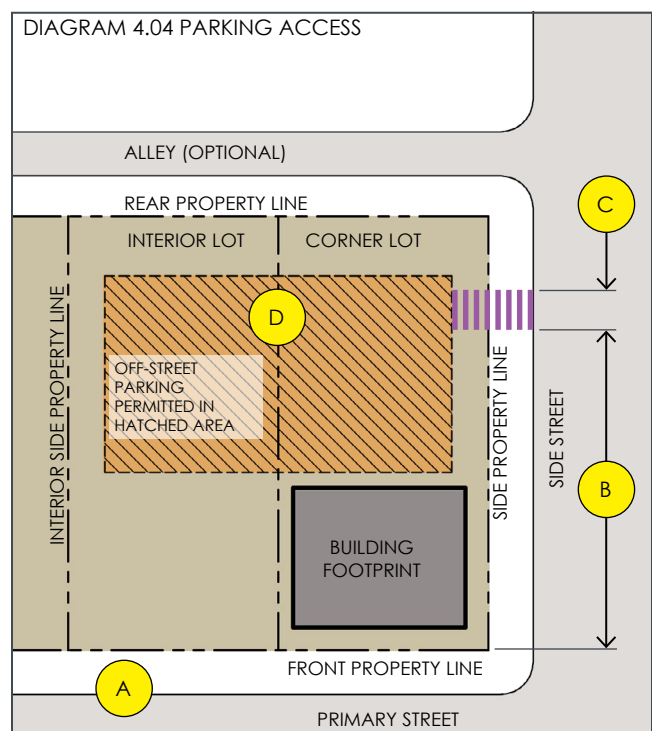
Parking access shall be located within the site per the following requirements and Diagram 4.04.

- A. Parking/service areas shall not be accessed from primary street.

*Exception: Parking/service areas may be accessed from a primary street if there is no available access from an alley, rear street, or side street; and no cross access is available.*

*If parking/service areas are accessed from a primary street, only one entry is permitted per lot.*

- B. Parking/service entry location for corner lot: 40 feet minimum from corner property line at side streets.
- C. Parking entry width shall be 24 feet maximum, measured from pavement edge to pavement edge.
- D. Cross access between adjacent lots for parking/service areas is strongly encouraged.



||||| Indicates parking entry and access

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## 23.04.09 CORRIDOR GENERAL CONTEXT AREA

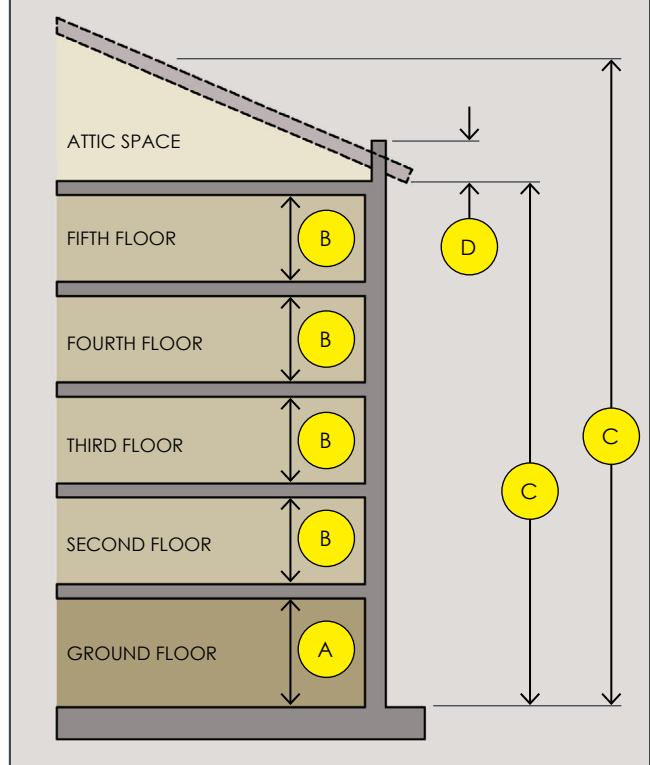
## BUILDING HEIGHT REQUIREMENTS

Building height in this Context Area shall comply with the following requirements and Diagram 4.05.

- A. Ground floor height: Per the requirements of specific Building Type (refer to Section 23.05).
- B. Upper floor height (floor to ceiling):
  1. Maximum: No maximum.
  2. Minimum: 8 feet, measured from finished floor to finish ceiling (or bottom of exposed structure).
- C. Overall building height, measured from adjacent grade to roof deck for flat roof buildings and measured from adjacent grade to midpoint of roof for sloped roof buildings:
  1. Maximum, by right: 3 stories / 45 feet.
  2. Maximum, by Special Land Use: 5 stories / 65 feet.

*Exception: Retail Building Type is required to be a 1 story building.*
- D. Parapet height:
  1. Maximum: 4 feet, measured from roof deck.
  2. Minimum: 1 foot, measured from roof deck.
- E. Attic space and basements are not considered stories, when determining building heights.

DIAGRAM 4.05 BUILDING HEIGHT

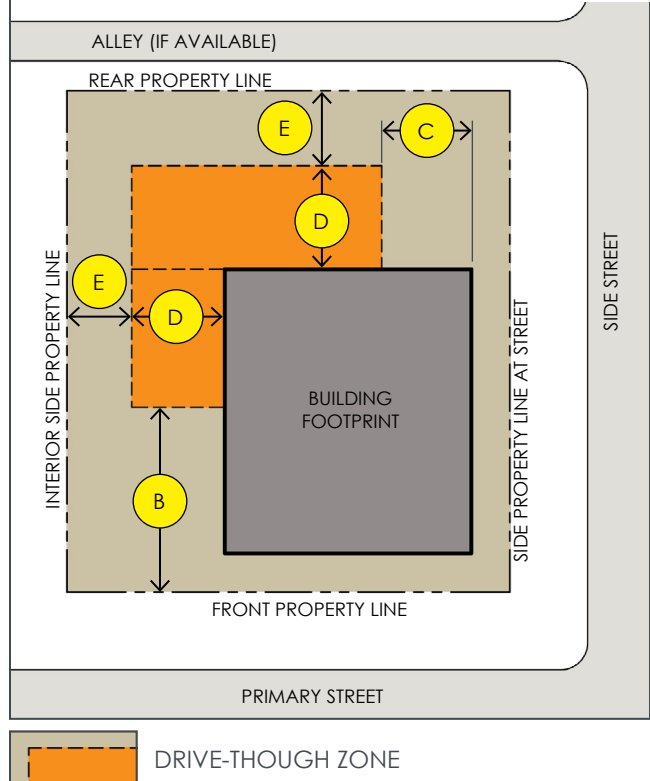


## DRIVE-THROUGH REQUIREMENTS (WHEN PERMITTED BY SPECIAL USE)

Buildings may have a drive-through in this Context Area when permitted by Special Land Use. Drive-through shall meet the following requirements and Diagram 4.06.

- A. Drive-through may be used on the following Building Types and facade combinations:
  1. Mixed-Use (all facade options).
  2. Retail (all facade options).
  3. Flex (with Storefront).
- B. Front setback: 40 feet minimum from front property line.
- C. Side setback (at side street): 20 feet minimum from secondary building wall.
- D. Depth of drive-through: 30 feet maximum, measured from building walls.
- E. Drive-through locations shall comply with rear and interior side setbacks.
- F. Drive-through access shall meet the standards of the off-street parking access requirements for this Context Area.

DIAGRAM 4.06 DRIVE-THROUGH LOCATION REQUIREMENTS



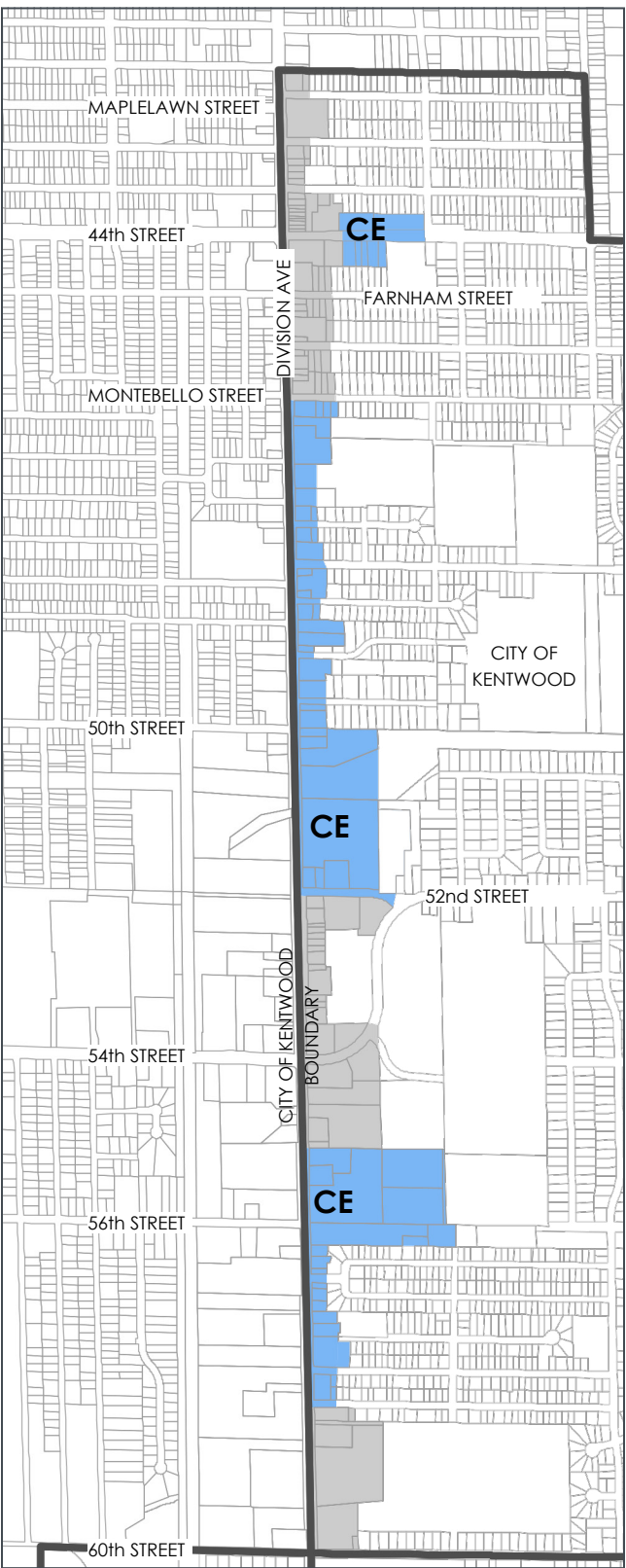


23.04.10 CORRIDOR EDGE CONTEXT AREA

CONTEXT AREA INTENT

The Corridor Edge Context Area is intended to reinforce and enhance the urban environment along the Bus Rapid Transit (BRT) corridor of Division Avenue by providing a diverse mix of uses and a compact, walkable form. The Context Area also is intended to transition between the more urban Corridor General Context Area and the existing development pattern of the corridor.

CONTEXT AREA KEY MAP



For more detailed Context Area Map, refer to Section 23.04.07  
For required easements refer to map in Section 23.04.08



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## 23.04.10 CORRIDOR EDGE CONTEXT AREA

TABLE 4.03 PERMITTED USES

Specific Use	MIXED-USE BUILDING TYPE	RETAIL BUILDING TYPE	FLEX BUILDING TYPE	LIVE / WORK BUILDING TYPE	LARGE MULTI-PLEX BUILDING TYPE	SMALL MULTI-PLEX BUILDING TYPE	ROWHOUSE BUILDING TYPE	DUPLEX BUILDING TYPE	CIVIC BUILDING TYPE
Retail		P	P	P	P <sup>1</sup>				
Commercial Schools		P	P						
Personal Service		P	P	P	P <sup>1</sup>				
Financial Institutions		P	P						
Repair Services		P	P	P					
Radio and TV Stations		P	P						
Vehicle Repair Services - minor		SLU	SLU						
Pawn Shops		SLU	SLU						
Colleges and Universities		SLU	SLU						P
Schools, Secondary and Elementary		SLU	SLU						P
Emergency Medical Clinic		P	P						
Training Facility		P	P	P					
Municipal/Public Service		P	P						P
Clubs and Lodges		P	P						
Indoor Recreation		P	P		P				
Theaters		P	P						
Office		P	P	P	P <sup>1</sup>				
Clinic		P	P	P	P <sup>1</sup>				
Accessory Uses		P	P	P	P		P	P	P
Assembly/Meeting		P	P						P
Places of Religious Worship		P	P						P
Restaurants		P	P		P <sup>1</sup>				
Hotel			SLU						
Veterinarian Clinic, no boarding		P	P						
Open Air Business (refer to Section 15.04.T)		SLU	SLU						
Residential			P	P	P	P	P	P	

P = Permitted Use

P<sup>1</sup> = Permitted Use on first floor onlyP<sup>2+</sup> = Permitted Use on floors two and above

SLU = Special Land Use (Refer to Section 23.02.02)

Blank cell = Use not permitted in this Context Area within listed Building Type.

Shaded areas represent Building Types that are not permitted in this Context Area.

Special Land Uses, Preliminary Plats, Site Condominium Developments, and projects with more than ten (10) dwelling units require Planning Commission review. Refer to Section 23.02.02.

Unless otherwise noted, Special Land Uses in the Division Avenue FBC shall use for review the general standards of Section 15.02 of the Kentwood Zoning Ordinance.

## 23.04.10 CORRIDOR EDGE CONTEXT AREA

TABLE 4.03 PERMITTED USES (continued)

[illegible]

### USES PERMITTED IN CONTEXT AREA AND NOT ASSOCIATED WITH A BUILDING TYPE

Existing single-family detached dwellings  
Wireless antenna attached to an existing structure  
Parks and Outdoor Recreation

USES PERMITTED WITH SPECIAL LAND USE IN CONTEXT AREA AND NOT ASSOCIATED WITH A BUILDING TYPE

Principal use freestanding parking lot that meets the off-street parking site placement requirements of the Context Area

 = Permitted Use

<sup>1</sup> = Permitted Use on first floor only

<sup>2+</sup> = Permitted Use on floors two and above

LU = Special Land Use (Refer to Section 23.02.02)

Blank cell = Use not permitted in this Context Area within listed Building Type.

shaded areas represent Building Types that are not permitted in this Context Area.

Special Land Uses, Preliminary Plats, Site Condominium Developments, and projects with more than ten (10) dwelling units require Planning Commission review. Refer to Section 23.02.02.

Unless otherwise noted, Special Land Uses in the Division Avenue FBC shall use for review the general standards of Section 15.02 of the Kentwood Zoning Ordinance.

23.04.10 CORRIDOR EDGE CONTEXT AREA

TABLE 4.04 CONTEXT AREA SUMMARY

BUILDING TYPE WITH FACADE OPTIONS		BUILDING TYPE SITE PLACEMENT	BUILDING TYPE HEIGHT	BUILDING TYPE LOT SIZE
MIXED-USE	 <p>with STOREFRONT (depicted in photo)</p>			
	with BALCONY			
RETAIL	 <p>with STOREFRONT (depicted in photo)</p>	<p>Primary/Secondary Walls: 5' BTL or 50' BTL (at primary street only, when front off-street parking is planned at primary street) Refer to Building Type and parking placement in this Context Area</p> <p>Interior side(s): 0' SETBACK Rear: 5' SETBACK</p>	1 Story Building Required	Lot Width: 20' MIN Lot Depth: 80' MIN
FLEX	with STOREFRONT	Primary/Secondary Walls: 5' BTL Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
	with FORECOURT	Primary/Secondary Walls: 5' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
	with DOORYARD	Primary/Secondary Walls: 5' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
	with STOOP (depicted in photo)	Primary/Secondary Walls: 5' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 20' MIN Lot Depth: 80' MIN
LIVE/WORK	with STOREFRONT (depicted in photo)	Primary/Secondary Walls: 5' BTL Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 72' MIN
	with LIGHTWELL	Primary/Secondary Walls: 5' - 25' BTZ Interior side(s): 0' SETBACK Rear: 5' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 72' MIN
	with DOORYARD (depicted in photo)	Primary/Secondary Walls: 5' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 72' MIN
	with STOOP	Primary/Secondary Walls: 5' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	3 Story MAX 2 Story MIN	Lot Width: 18' MIN Lot Depth: 72' MIN

Shaded areas represent Building Types and facades that are not permitted in this Context Area.



## 23.04.10 CORRIDOR EDGE CONTEXT AREA

TABLE 4.04 CONTEXT AREA SUMMARY (continued)

BUILDING TYPE LOT SIZE	BUILDING TYPE HEIGHT	BUILDING TYPE SITE PLACEMENT	BUILDING TYPE WITH FACADE OPTIONS	
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX 2 Story MIN	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with FORECOURT	LARGE MULTI-PLEX
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX 2 Story MIN	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with DOORYARD	
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX 2 Story MIN	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with STOOP (depicted in photo)	
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX 2 Story MIN	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with PROJECTING PORCH	
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX 2 Story MIN	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with FORECOURT	SMALL MULTI-PLEX
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX 2 Story MIN	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with STOOP (depicted in photo)	
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX 2 Story MIN	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with PROJECTING PORCH	
Lot Width: 50' MIN Lot Depth: 80' MIN	3 Story MAX 2 Story MIN	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with ENGAGED PORCH	
Lot Width: 18' MIN Lot Depth: 72' MIN	2 Story Building Required	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 0' SETBACK Rear: 10' SETBACK	with LIGHTWELL	ROWHOUSE
Lot Width: 18' MIN Lot Depth: 72' MIN	2 Story Building Required	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 0' SETBACK Rear: 10' SETBACK	with STOOP (depicted in photo)	
Lot Width: 18' MIN Lot Depth: 72' MIN	2 Story Building Required	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 0' SETBACK Rear: 10' SETBACK	with PROJECTING PORCH	
Lot Width: 40' MIN Lot Depth: 80' MIN	2 Story MAX	Primary/Secondary Walls: 15' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with STOOP (depicted in photo)	DUPLEX
Lot Width: 40' MIN Lot Depth: 80' MIN	2 Story MAX	Primary/Secondary Walls: 15' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with PROJECTING PORCH	
Lot Width: 40' MIN Lot Depth: 80' MIN	2 Story MAX	Primary/Secondary Walls: 15' - 25' BTZ Interior side(s): 5' SETBACK Rear: 10' SETBACK	with ENGAGED PORCH	
Lot Width: 25' MIN Lot Depth: 80' MIN	3 Story MAX	Primary/Secondary Walls: 10' - 25' BTZ Interior side(s): 10' SETBACK Rear: 10' SETBACK	Facades are not applicable to this Building Type	CIVIC

Shaded areas represent Building Types and facades that are not permitted in this Context Area.

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23.04.10 CORRIDOR EDGE CONTEXT AREA

BUILDING SITE PLACEMENT

Buildings shall be located within the site per the following requirements and Diagrams 4.07 and 4.08.

- A. Required Build-to-Line (BTL) (Diagram 4.07):
1. Required BTL is at 5 feet from the primary and side street property line.
  2. Refer to Table 4.04 for Building Types that require primary and secondary building walls and facades at a Build-to-Line.

*Exception: Retail Building Type may have a required BTL at 50 feet from primary street property line when off-street parking is planned at primary street. Refer to parking placement for this Context Area.*

- B. Required Build-to-Zone (BTZ) (Diagram 4.08):
1. Required BTZ starts at 5 feet from primary and side street property line.
  2. Required BTZ: 20 feet wide (zone is 5 feet to 25 feet from primary and side street property line).
  3. Refer to Table 4.04 for Building Types that require primary and secondary building walls and facades at this Build-to-Zone.

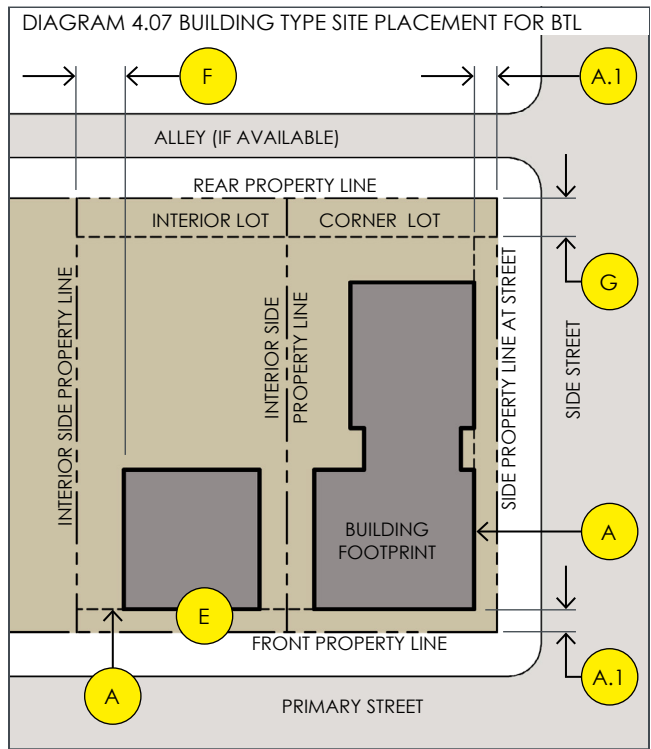
- C. Required Build-to-Zone (BTZ) (Diagram 4.08):
1. Required BTZ starts at 10 feet from primary and side street property line.
  2. Required BTZ: 15 feet wide (zone is 10 feet to 25 feet from primary and side street property line).
  3. Refer to Table 4.04 for Building Types that require primary and secondary building walls and facades at this Build-to-Zone.

- D. Required Build-to-Zone (BTZ) (Diagram 4.08):
1. Required BTZ starts at 15 feet from primary and side street property line.
  2. Required BTZ: 10 feet wide (zone is 15 feet to 25 feet from primary and side street property line).
  3. Refer to Table 4.04 for Building Types that require primary and secondary building walls and facades at this Build-to-Zone.

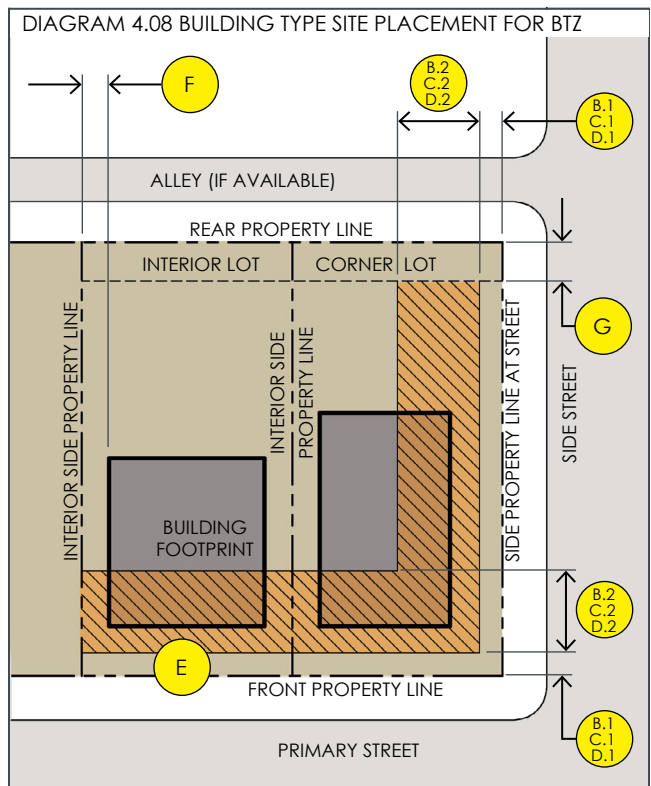
- E. For most parcels fronting on Division Avenue, there is a required easement at the front property line. Refer to map in Section 23.04.08 for easement width and location. Refer to Section 23.04.06 for easement requirements and the relationship between the easement and the BTL/BTZ.

- F. Required Interior Side setback (at non-street locations): Refer to Table 4.04 for interior side yard setbacks per Building Type in this Context Area.

- G. Required Rear setback: Refer to Table 4.04 for rear yard setbacks per Building Type in this Context Area.



BUILD-TO-LINE (BTL)



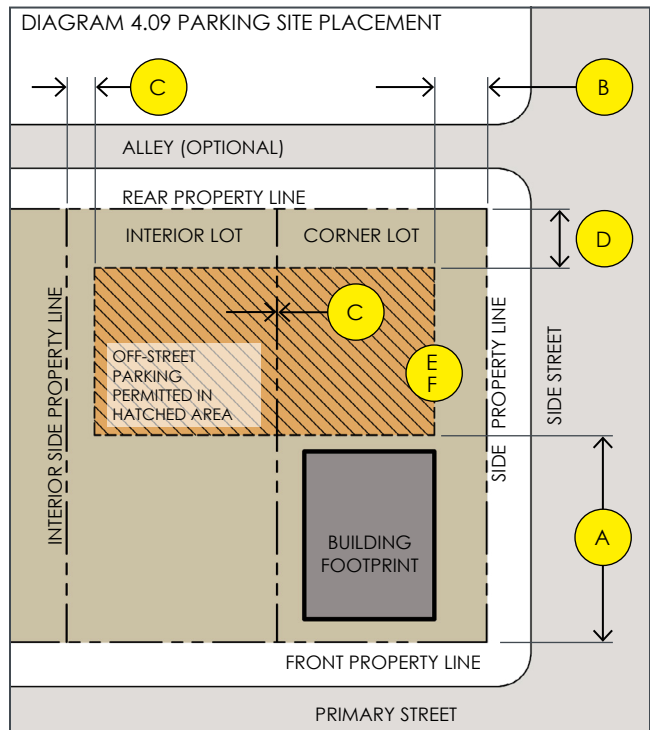
BUILD-TO-ZONE (BTZ)

## 23.04.10 CORRIDOR EDGE CONTEXT AREA

## OFF-STREET PARKING SITE PLACEMENT

Parking shall be located within the site per the following requirements and Diagram 4.09.

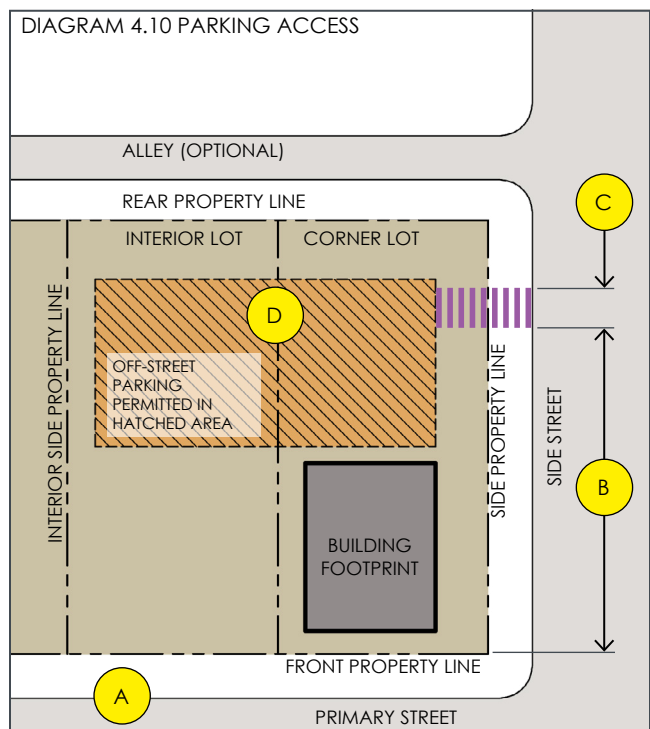
- A. Required front setback: 20 feet from front property line.
- Exception: Retail Building Type may have parking in front of building when the primary building wall is placed at a BTL of 50 feet from the front property line. Refer to Section 23.06 for required off-street parking lot screening.*
- B. Required side setback, facing street: 10 feet from side property line
- C. Required interior side yard setback, non-street facing:
  1. 10 feet from side property line adjacent to residentially zoned parcels.
  2. 0 feet from side property line adjacent to non-residentially zoned parcels.
- D. Required rear setback: 5 feet from rear property line.
- E. Off-street parking shall be screened from streets with a building, wall, and/or landscaping. Refer to Section 23.06.
- F. Off-street parking shall be setback a minimum of 20 feet and screened from adjacent single-family detached residential zone districts or uses. Refer to Section 23.06.



## OFF-STREET PARKING ACCESS

Parking access shall be located within the site per the following requirements and Diagram 4.10.

- A. Parking/service areas shall not be accessed from primary street.
- Exception: Parking/service areas may be accessed from a primary street if there is no available access from an alley, rear street, or side street; and no cross access is available.*
- If parking/service areas are accessed from a primary street, only one entry is permitted per lot.*
- B. Parking/service entry location for corner lot: 40 feet minimum from corner property line at side streets.
- C. Parking entry width shall be 24 feet maximum, measured from pavement edge to pavement edge.
- D. Cross access between adjacent lots for parking/service areas is strongly encouraged.



||||| Indicates parking entry and access

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23.06 OFF-STREET PARKING

23.07 SIGN STANDARDS

23.08 FBC DEFINITIONS



# 23.04.10 CORRIDOR EDGE CONTEXT AREA

## BUILDING HEIGHT REQUIREMENTS

Building height in this Context Area shall comply with the following requirements and Diagram 4.11.

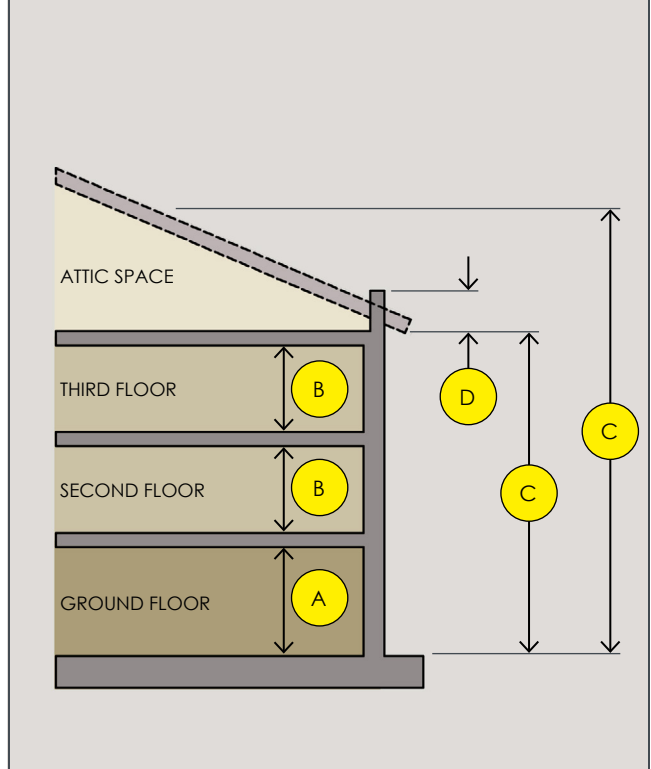
- A. Ground floor height: Per the requirements of specific Building Type (refer to Section 23.05).
- B. Upper floor height (floor to ceiling):
  1. Maximum: No maximum.
  2. Minimum: 8 feet, measured from finished floor to finish ceiling (or bottom of exposed structure).
- C. Overall building height:
  1. Maximum: 3 stories / 45 feet, measured from adjacent grade to roof deck for flat roof buildings and measured from adjacent grade to midpoint of roof for sloped roof buildings

*Exception: Retail Building Type is required to be a 1 story building.*

*Exception: Rowhouse Building Type is required to be a 2 story building.*

*Exception: Duplex Building Type is required to be a 2 story building.*
- D. Parapet height:
  1. Maximum: 4 feet, measured from roof deck.
  2. Minimum: 1 foot, measured from roof deck.
- E. Attic space and basements are not considered stories, when determining building heights.

DIAGRAM 4.11 BUILDING HEIGHT

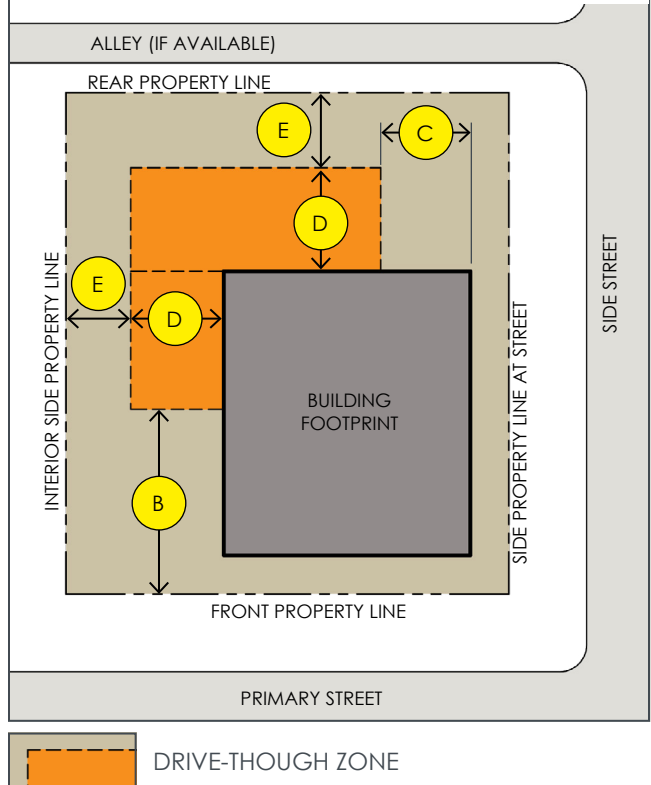


## DRIVE-THROUGH REQUIREMENTS (WHEN PERMITTED BY SPECIAL USE)

Buildings may have a drive-through in this Context Area when permitted by Special Land Use. Drive-through shall meet the following requirements and Diagram 4.12.

- A. Drive-through may be used on the following Building Types and facade combinations:
  1. Mixed-Use (all facade options).
  2. Retail (all facade options).
  3. Flex (with Storefront).
- B. Front setback: 40 feet minimum from front property line.
- C. Side setback (at side street): 20 feet minimum from secondary building wall.
- D. Depth of drive-through: 30 feet maximum, measured from building walls.
- E. Drive-through locations shall comply with rear and interior side setbacks.
- F. Drive-through access shall meet the standards of the off-street parking access requirements for this Context Area.

DIAGRAM 4.12 DRIVE-THROUGH LOCATION REQUIREMENTS





23.05.01 PURPOSE

Section 23.05 identifies specific Building Types that are permitted within various Context Areas and provides form standards and facade options for each Building Type. These Building Types and related facades ensure that proposed development is consistent with the desires and outcomes of the 2012 Kentwood Master Plan (specifically the Division Avenue Corridor Sub Area).

23.05.02 APPLICABILITY

Each proposed building in the following Context Areas shall be designed in compliance with the standards of this Section.

- A. Corridor General Context Area (refer to 23.04.09).
- B. Corridor Edge Context Area (refer to 23.04.10).

23.05.03 BUILDING TYPES BY CONTEXT AREA

Property shall be developed with the Building Types permitted by this Section in the Context Area applicable to each lot.

- A. Refer to Building Type Overview in Section 23.05.09 to determine the specific Building Types and applicable facades that are permitted in each of the Context Areas.
- B. Refer to Context Area Summaries (Table 4.02 and Table 4.04) in Section 23.04 to determine specific Building Types and applicable facades that are permitted in each Context Area.

23.05.04 CONTENTS OF THIS SECTION

This Chapter specifies the following Building Types:

- A. Mixed-Use Building Type (23.05.10)
- B. Retail Building Type (23.05.11)
- C. Flex Building Type (23.05.12)
- D. Live / Work Building Type (23.05.13)
- E. Large Multi-plex Building Type (23.05.14)
- F. Small Multi-plex Building Type (23.05.15)
- G. Rowhouse Building Type (23.05.16)
- H. Duplex Building Type (23.05.17)
- I. Civic Building Type (23.05.18)

23.05.05 FACADES

Facades define composition and placement locations for the primary and secondary building walls that face the public right-of-way along streets, public paths, or civic spaces.

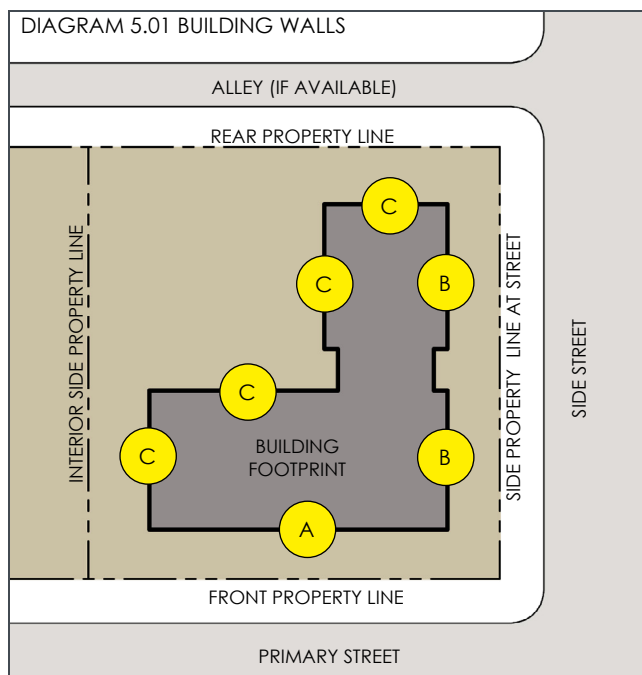
- A. Each Building Type identifies appropriate facade choices. The use of one of the following facades is required for each Building Type. (Note that not all facades are appropriate for all Building Types, refer to Building Type Overview in Section 23.05.09 for appropriate Building Type and facade combinations).
  - 1. Storefront facade
  - 2. Balcony facade
  - 3. Forecourt facade
  - 4. Lightwell facade
  - 5. Dooryard facade
  - 6. Stoop facade
  - 7. Projecting porch facade
  - 8. Engaged porch facade
- B. Facade options may be combined on the primary and secondary building walls for Flex, Live/Work, Large Multi-plex, and Rowhouse Building Types per the following requirements:
  - 1. Facade Site Placement Location: When more than one facade option is used on a single building, the required site placement location requirements (Article III) shall be as follows:
    - a. Facade site placement is not required to be met for each individual facade.
    - b. All combined facades on a single building shall meet the site placement requirements for only one of the facades used.
    - c. In instances where a storefront facade is combined with other facade types, the storefront is not required to be located at a build-to-line.

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### 23.05.06 STANDARDS FOR ALL BUILDING TYPES

The following standards apply to all Building Types:

- A. Primary Building Wall (refer to Diagram 5.01): Primary building walls represent the building front and are located at, or near, the property line/public right-of-way along the street, public path, or civic space of address for the building. Each Building Type shall use one of the permitted facades as required by the facade location requirements for specific Building Types along the primary building wall.
- B. Secondary Building Wall (refer to Diagram 5.01): Secondary building walls represent the building walls that are located at, or near, the property line/public right-of-way along streets, public paths, or civic spaces that are not the address for the building. Each Building Type shall use one of the permitted facades as required by the facade location requirements for specific Building Types along the secondary building wall.
- C. Building Walls Other Than Primary or Secondary Building Walls (refer to Diagram 5.01): Building walls that do not face the property line/public right-of-way along streets, public paths or civic spaces are not subject to the Building Type or facade requirements listed in this Section.
- D. Building Type Material and Construction: All building walls are subject to the Building Type material and technique requirements listed in Section 23.05.08.



### 23.05.07 ENCROACHMENTS

Encroachments of architectural features in Context Areas are regulated based on facades for individual Building Types.

Architectural features are not permitted to extend into public rights-of-way or into the easements indicated on the map in Section 23.04.08.

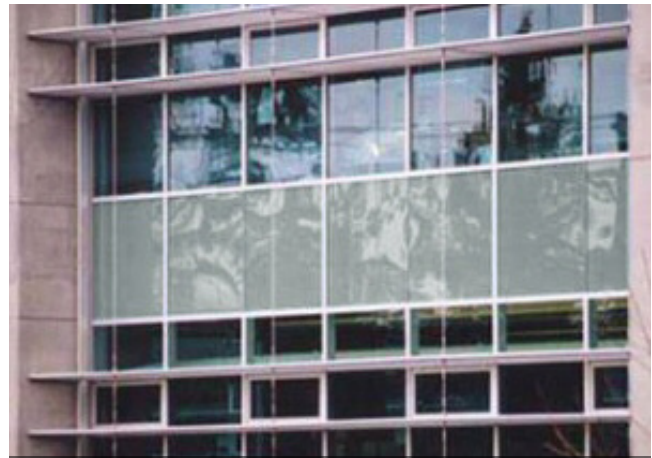
When permitted to encroach into required setbacks or beyond Build-to-Lines, architectural features shall meet the following requirements:

- A. Awnings: Awnings shall have a minimum ground clearance of eight (8) feet above the adjacent grade and shall extend no more than five (5) feet from the building wall.
- B. Balconies: Projecting balconies shall have a minimum ground clearance of twelve (12) feet above the adjacent grade and shall extend no more than six (6) feet from the building wall.
- C. Bay Windows: Bay windows shall have a minimum ground clearance of twelve (12) feet above the adjacent grade and shall extend no more than three (3) feet from the building wall.
- D. Canopies: Canopies shall have a minimum ground clearance of eight (8) feet above the adjacent grade and shall extend no more than three (3) feet from the building wall.
- E. Cornices: Cornices shall have a minimum ground clearance of twelve (12) feet above the adjacent grade and shall extend no more than two (2) feet from the building wall.
- F. Eaves: Building eaves shall have a ground clearance of twelve (12) feet above the adjacent grade and shall extend no more than thirty (30) inches from the building wall.
- G. Projecting Signs: Projecting signs have a minimum ground clearance of eight (8) feet above the adjacent grade and shall extend no more than four (4) feet from the building wall.

**23.05.08 BUILDING MATERIALS AND CONSTRUCTION REQUIREMENTS**

The following material and technique standards apply to all Building Types.

- A. Materials shall reflect and complement the materials and construction techniques of West Michigan's regional architecture.
- B. Materials shall express the construction techniques and structural constraints of traditional and long-lasting building materials.
- C. All exterior wall materials shall express their specific properties. For example, heavier more permanent materials (masonry) shall support lighter materials (wood).
- D. Exterior Facade and Wall Materials. The following materials are permitted on all exterior facades and building walls.
  1. Brick and masonry.
  2. Stone (or synthetic equivalent).
  3. Pre-cast masonry (for trim, accent, and cornice elements only).
  4. Polyurethane and Cellular PVC shapes (for cornice elements only).
  5. Metal (for beams, lintels, trim elements and ornamentation only).
  6. Metal panels (no exposed fasteners and no corrugated metal panels).
  7. Ground-face concrete block.
  8. Split-faced or scored concrete block (for foundation walls only).
  9. Wood lap siding.
  10. Cement board siding.
  11. Other materials as approved by Zoning Administrator or Planning Commission.
- E. Exterior Facade and Wall Construction. The following configurations and construction techniques shall be utilized when assembling facades and building walls.
  1. Wall openings and windows shall not span vertically more than one story. In cases of curtain wall applications, spandrel glass may be used to break up the vertical span and give the appearance of floor levels.
  2. Wall openings and windows shall correspond to interior space and not span horizontally across the building. In cases of curtain wall applications, spandrel glass may be used to break up the horizontal span.



23.05.08.E.1 SPANDREL GLASS BREAKING UP VERTICAL SPAN



23.05.08.E.2 SPANDREL GLASS BREAKING UP HORIZONTAL SPAN (AND ALSO VERTICAL SPAN)

3. Cement board siding shall have a smooth finish (no faux wood grain).
  4. All trim on wood and cement board sided walls (including window trim, door trim, horizontal expression lines and corner trim) shall be similar to the material of the siding.
- F. Pitched or Sloped Roof Materials. The following materials may be used on pitched and sloped roofs.
    1. Slate (or equivalent synthetic).
    2. Metal (standing seam or similar).
    3. Dimensional asphalt shingles.
    4. Other materials as approved by Zoning Administrator or Planning Commission.



G. Pitched Roof Construction. The following configurations and construction techniques shall be utilized when assembling pitched or sloped roofs.

1. Pitched roofs shall be symmetrically pitched between 4:12 and 12:12.
2. Pitched roofs shall have simple forms and composition. Multiple roof pitches and multiple gables on individual buildings should be avoided.
3. Shed roofs attached to the main structure shall be pitched between 4:12 and 7:12.
4. Eaves shall overhang a minimum of twelve (12) inches.
5. Rakes (gable end) shall overhang a minimum of eight (8) inches.
6. Open eaves and simple traditional soffits and fascia are encouraged.



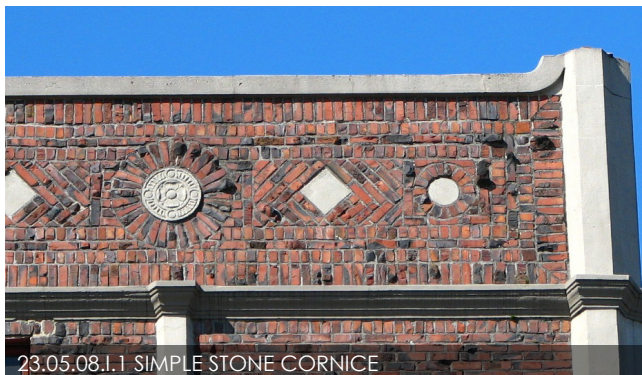
23.05.08.G.2 & G.6 SIMPLE PITCHED ROOF WITH OPEN EAVES

H. Flat Roof Materials. The following materials may be used on flat roofs.

1. Any material that is permitted by the Building Code.

I. Cornice Materials. The following materials may be used for cornice expression lines.

1. Any material that is permitted in the exterior facade and wall materials (23.05.08.D).



23.05.08.I.1 SIMPLE STONE CORNICE

J. Window Materials. The following materials may be used for windows.

1. Window frames shall be anodized aluminum, wood, clad wood, vinyl, or steel.
2. Glass in windows shall be clear. Refer to definitions in Section 23.08 for requirements of clear glass.

K. Window Construction. The following configurations and construction techniques shall be utilized when assembling windows.

1. Windows may be grouped horizontally (maximum 5 per group) if each grouping is separated by a mullion, column, pier or wall section.
2. Windows shall be square or vertically proportioned.
3. Exterior shutters, if applied, shall be sized and mounted appropriately for the window (i.e. each shutter shall be one-half the window width).
4. Screen frames shall match window frame material or be dark anodized.



23.05.08.K.1 WINDOW GROUPING WITH WALL SEPARATION



23.05.08.K.3 APPROPRIATELY SIZED SHUTTERS



- L. Storefront Materials. The following materials may be used for storefronts.
- 1. Storefront frames shall be anodized aluminum, wood, steel, or clad in metal.
  - 2. Residential windows shall not be used for storefronts.
  - 3. Glass in windows shall be clear. Refer to definitions in Section 23.08 for requirements of clear glass.
  - 4. Material for storefront base shall be any material that is permitted in the exterior facade and wall materials (23.05.08.D). Differentiation between wall materials and storefront base materials is encouraged.



- M. Door Materials. The following materials may be used for doors.
- 1. Door frames shall be anodized aluminum, wood, steel, or clad in metal.
  - 2. Doors shall be made of wood, clad wood, fiberglass, steel, or other materials as approved by Zoning Administrator or Planning Commission.
  - 3. Any glass that is provided in doors as part of minimum transparency requirements shall be clear glass. Refer to definitions in Section 23.08 for requirements of clear glass.
- N. Door Construction. The following configurations and construction techniques shall be utilized when assembling doors.
- 1. Double height entries (those that span more than one story) are not permitted.
  - 2. Roll down security gates and doors are prohibited.

- O. Awning and Canopy Materials. The following materials may be used for awnings and canopies.
- 1. Awnings shall be cloth, canvas or similar material. Shiny or reflective surfaces are not permitted.
  - 2. Canopies shall be metal.
  - 3. Internal illumination is not permitted on awnings or canopies.
  - 4. Open-ended awnings are encouraged. Rounded and hooped awnings are prohibited.



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## 23.05.09 BUILDING TYPE OVERVIEW

Context Areas crossed out in red indicate that the Building Type is not permitted in that Context Area.



**MIXED-USE BUILDING TYPE (23.05.10)**  
This Building Type is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.

FACADE OPTIONS (refer to Section 23.05.10)
STOREFRONT BALCONY

CONTEXT AREAS (refer to Section 23.04)	
<b>CG</b> CORRIDOR GENERAL	<del><b>CE</b> CORRIDOR EDGE</del>



**RETAIL BUILDING TYPE (23.05.11)**  
This building type is a medium- to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.

FACADE OPTIONS (refer to Section 23.05.11)
STOREFRONT

CONTEXT AREAS (refer to Section 23.04)	
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE



**FLEX BUILDING TYPE (23.05.12)**  
This building type is a medium- to large-sized attached or detached structure. It can be used to provide a vertical mix of uses with ground floor service, retail, and/or residential uses; or it may be a single-use building.

FACADE OPTIONS (refer to Section 23.05.12)
STOREFRONT FORECOURT DOORYARD STOOP

CONTEXT AREAS (refer to Section 23.04)	
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE



**LIVE /WORK BUILDING TYPE (23.05.13)**  
This building type is a small- to medium-sized attached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are occupied by one entity. This Type is appropriate for incubating retail and service uses and allows neighborhood retail to expand as the market demands.

FACADE OPTIONS (refer to Section 23.05.13)
STOREFRONT LIGHTWELL DOORYARD STOOP

CONTEXT AREAS (refer to Section 23.04)	
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE

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**23.05.09 BUILDING TYPE OVERVIEW** (continued)

Context Areas crossed out in red indicate that the Building Type is not permitted in that Context Area.

<b>CONTEXT AREAS</b> (refer to Section 23.04)	<b>FACADE OPTIONS</b> (refer to Section 23.05.14)	<b>LARGE MULTI-PLEX BUILDING TYPE</b> (23.05.14) This building type is a medium- to large-sized structure that consists of 7 or more stacked and/or side-by-side dwelling units, typically with one shared entry. This Type is scaled to fit in medium-density neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.	
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE	FORECOURT DOORYARD STOOP PROJECTING PORCH	
<b>CONTEXT AREAS</b> (refer to Section 23.04)	<b>FACADE OPTIONS</b> (refer to Section 23.05.15)	<b>SMALL MULTI-PLEX BUILDING TYPE</b> (23.05.15) This building type is a medium-sized structure that consists of 3 to 12 stacked and/or side-by-side dwelling units, typically with one shared entry or individual entries along the front. This Type oftentimes has the appearance of a large single-family house and is scaled to fit in single family neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.	
<del><b>CG</b></del> <del>CORRIDOR</del> <del>GENERAL</del>	<b>CE</b> CORRIDOR EDGE	FORECOURT STOOP PROJECTING PORCH ENGAGED PORCH	
<b>CONTEXT AREAS</b> (refer to Section 23.04)	<b>FACADE OPTIONS</b> (refer to Section 23.05.16)	<b>ROWHOUSE BUILDING TYPE</b> (23.05.16) This building type is a small- to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing missing middle housing types within a walkable context.	
<del><b>CG</b></del> <del>CORRIDOR</del> <del>GENERAL</del>	<b>CE</b> CORRIDOR EDGE	LIGHTWELL STOOP PROJECTING PORCH	
<b>CONTEXT AREAS</b> (refer to Section 23.04)	<b>FACADE OPTIONS</b> (refer to Section 23.05.17)	<b>DUPLEX BUILDING TYPE</b> (23.05.17) This building type is a small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a single-family house and is appropriately scaled to fit in single family neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.	
<del><b>CG</b></del> <del>CORRIDOR</del> <del>GENERAL</del>	<b>CE</b> CORRIDOR EDGE	STOOP PROJECTING PORCH ENGAGED PORCH	
<b>CONTEXT AREAS</b> (refer to Section 23.04)	<b>FACADE OPTIONS</b> (refer to Section 23.05.18)	<b>CIVIC BUILDING TYPE</b> (23.05.18) This building type is a detached structure that incorporates uses of public importance including, but not limited to, municipal buildings, places of worship, libraries and schools. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form.	
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE	Not applicable to this Building Type.	

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23.05.10 MIXED USE BUILDING TYPE

The following standards apply to the Mixed Use Building Type:

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BUILDING TYPE DESCRIPTION

The Mixed Use Building Type is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.



EXAMPLES OF MIXED-USE BUILDING TYPE

The following images represent precedent examples of the Mixed Use Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Mixed Use Building within the City of Kentwood Division Avenue Form-Based Code Area.



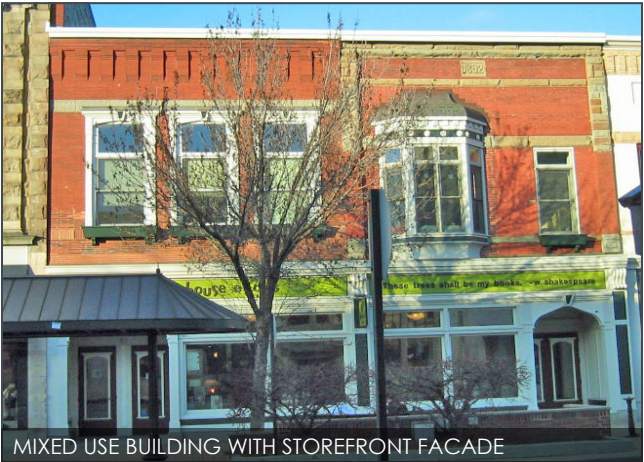
MIXED USE BUILDING WITH BALCONY FACADE



MIXED USE BUILDING WITH STOREFRONT FACADE



MIXED USE BUILDING WITH STOREFRONT FACADE



MIXED USE BUILDING WITH STOREFRONT FACADE

## SECTION 23.05 BUILDING TYPE STANDARDS

### 23.05.10 MIXED USE BUILDING TYPE (continued)

The following standards apply to the Mixed Use Building Type:

#### BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 5.02.

A. Percentage of primary building wall at front property line:

1. When lot width is 50 feet or less, primary building wall shall be built to a minimum of 90% of the overall width of the primary street property line (when doing calculation do not include required side setbacks).

*Exception: When parking access is not available on an alley, rear street, or side street and is only available at primary street, the required percentage indicated above may be reduced to allow access that meets the requirements indicated for the Context Area (Section 23.04).*

2. When lot width is more than 50 feet, primary building wall shall be built to a minimum of 50% of the overall width of the primary street property line (when doing calculation do not include required side setbacks).

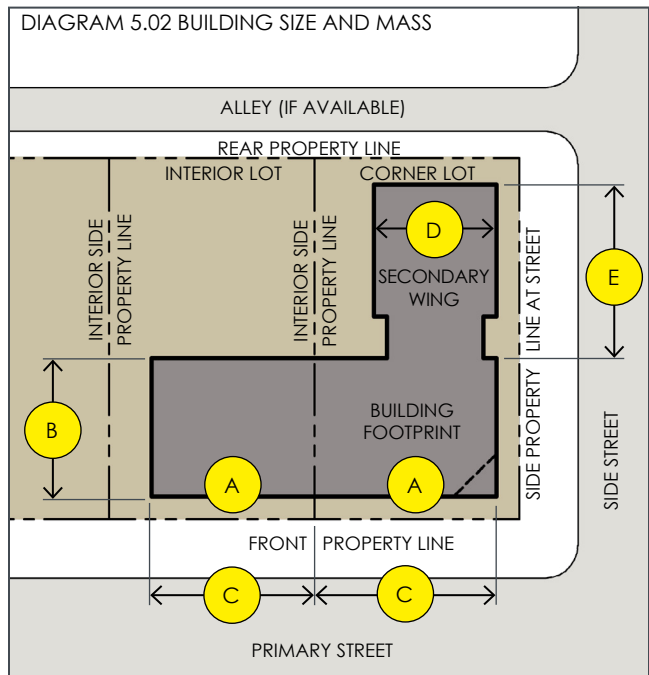
B. Main body building depth: 20 feet min.

C. Main body building width: 150 feet max.

D. Secondary wing building depth: 65 feet max.

E. Secondary wing building width: 100 feet max.

F. Maximum site coverage: 100%



#### GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.03.

A. Entrances to ground floor unit(s) are required at the primary street and shall be directly accessed from and face the primary street.

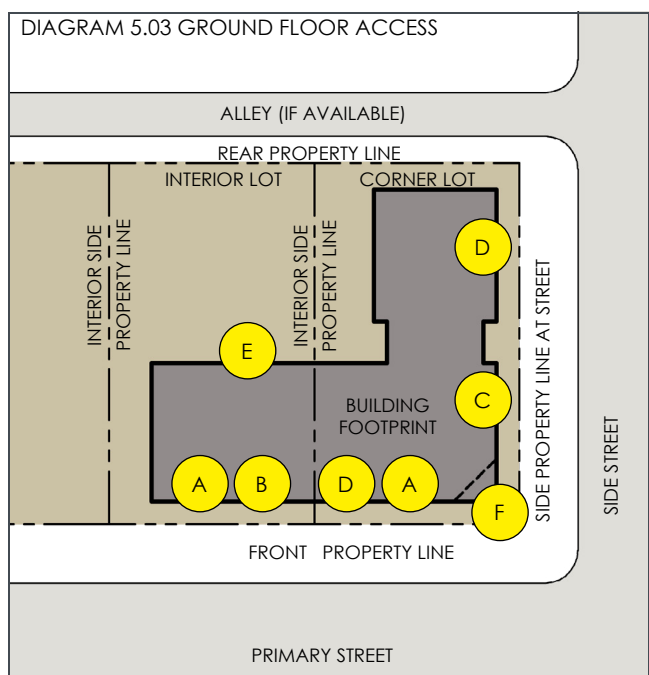
B. Entrances to ground floor unit(s) shall occur at intervals of not greater than 50 feet along the primary street.

C. Entrances to ground floor unit(s) at the side street are not required. If side street entries are provided, they shall be directly accessed from and face the side street.

D. Upper floor units shall be accessed by a common entry along the primary or side street.

E. Upper floor units may also be accessed by a secondary common entry at the rear of the building.

F. Optional angled building corner with required entry door. Maximum length of angled wall shall be 8 feet.



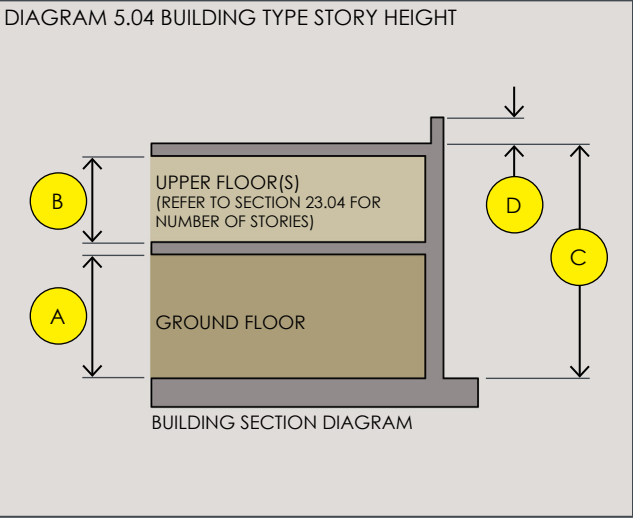


23.05.10 MIXED USE BUILDING TYPE (continued)

The following standards apply to the Mixed Use Building Type:

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BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 5.04.

- A. Ground floor: Floor to ceiling height shall be 14 feet minimum, measured from the finished floor to the finished ceiling or bottom of exposed structural elements.
- B. Upper floors: Floor to ceiling height shall as required by Context Area, refer to Section 23.04.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 23.04.
- D. Parapet height is regulated by Context Area, refer to Section 23.04.

BUILDING TYPE FACADE OPTIONS

The Mixed-Use Building Type is required to have 1 of the following facades at primary and secondary building walls.

Facade options for the Mixed-Use Building Type are provided in the table below and described on the following pages of this Section.

MIXED USE BUILDING TYPE	BUILDING TYPE FACADE OPTION	CONTEXT AREAS	
		CG CORRIDOR GENERAL	CE CORRIDOR EDGE
	with STOREFRONT (23.05.10.A)	By Right	
	with BALCONY (23.05.10.B)	By Right	

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.



NUMBER OF UNITS PER BUILDING

Number of units per Building:

- A. Required total of 2 units minimum. Minimum 1 ground floor unit and 1 upper floor unit per building.

BUILDING TYPE USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.

**23.05.10.A MIXED USE BUILDING TYPE FACADE OPTION 1: STOREFRONT**

The following standards apply to the storefront facade when applied to the Mixed Use Building Type:

**STOREFRONT: MIXED USE BUILDING****FACADE DESCRIPTION**

The storefront facade is applied to the Mixed Use Building Type along the primary and secondary building walls. The ground level storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.

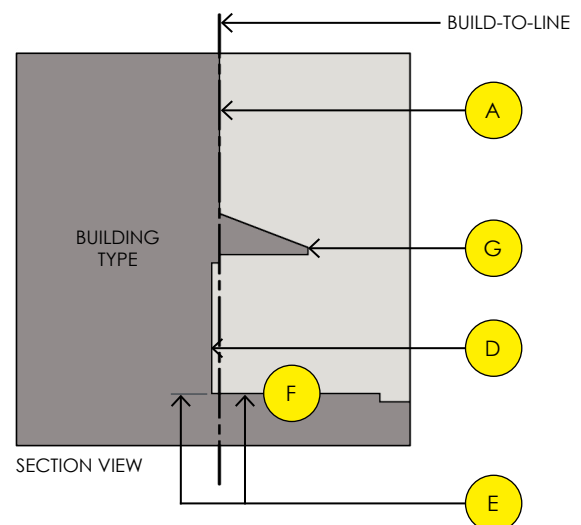
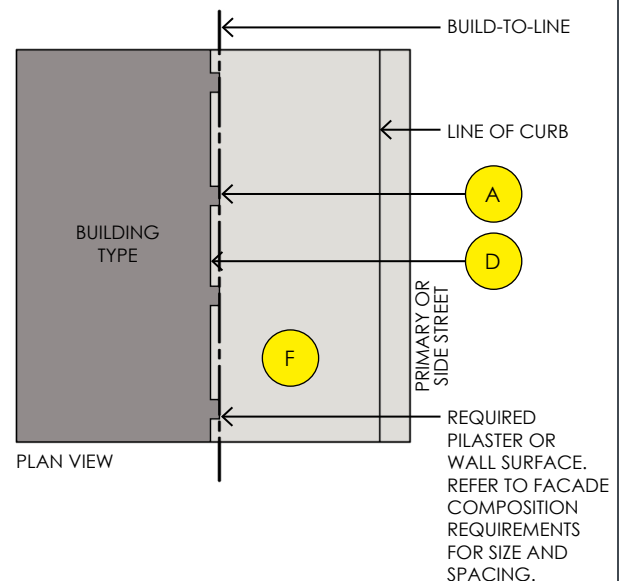
**FACADE LOCATION REQUIREMENTS**

Storefront facade shall be located per the following requirements and Diagram 5.05.

- A. The storefront facade shall be placed at a Build-to-Line (BTL) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary storefront facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary storefront facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Storefront window elements and ground floor transparency required in the storefront facade composition shall extend across minimum 30% of the secondary building wall. In instances when storefront window elements and ground floor transparency are not applied across entire secondary building wall, the remaining portion of the ground floor shall meet the upper floor transparency requirements of the facade composition.
- D. Storefront windows are required to be recessed from pilaster or building wall. Recess shall be no more than 18 inches.
- E. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- F. Ground area between the storefront facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between façade and property line is ten (10) feet or less: Ground area shall be paved to match public sidewalk.
  2. Distance between façade and property line is greater than ten (10) feet: Ground area shall be landscaped with a 5' sidewalk adjacent to the entire width of the facade and a 5 foot sidewalk that connects to the public sidewalk.
  3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is approved by Zoning Administrator.
- G. Encroachments: Architectural features are not permitted to extend past property line, but may extend past BTL. Refer to Section 23.05.07.
- H. Wells for basement windows are not permitted on primary or secondary building walls.



DIAGRAM 5.05 FACADE LOCATION REQUIREMENTS

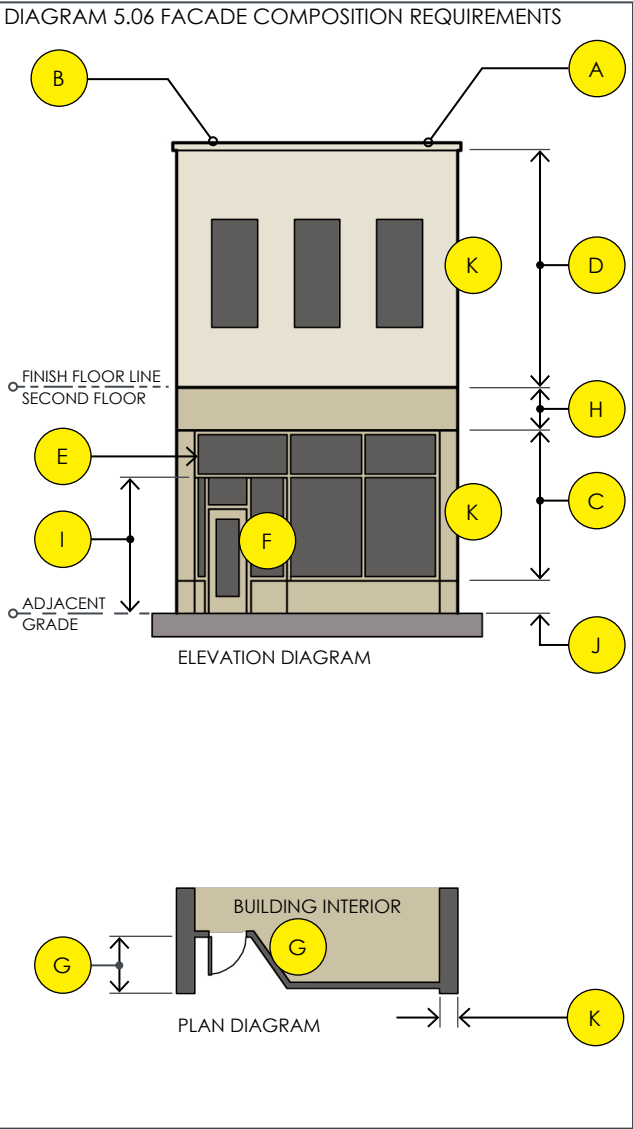




23.05.10.A MIXED USE BUILDING TYPE FACADE OPTION 1: **STOREFRONT** (continued)

The following standards apply to the storefront facade when applied to the Mixed Use Building Type:

STOREFRONT: MIXED USE BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Storefront facade composition shall meet the following requirements and Diagram 5.06.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Storefront facade shall have 70% minimum clear glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Transparency of entry door and transom (if used) may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Storefront facade shall have 15% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line.
- E. Optional transom window above storefront may extend over entry recess (as depicted) or follow entry recess.
- F. Entry door(s) shall have 70% minimum clear glass.
- G. Entry door is required to be recessed 3 feet to 5 feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the transparency of the main storefront window.
- H. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item K. on this page.
- I. Storefront window glass (not including optional transom) shall be eight (8) feet high minimum, measured from the adjacent grade.
- J. Required 18" to 24" high storefront base.
- K. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner (except at buildings with angled wall at corner). Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".
- L. The storefront facade may have an angled corner entry. The angled corner entry shall meet the transparency requirements of the storefront facade and have an entry door that is not recessed.
- M. Storefront windows may be replaced with overhead doors or accordion-style doors. Overhead doors or accordion-style doors that replace storefront windows are required to meet the transparency requirements in item C. Refer to Image 5.01.



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### 23.05.10.B MIXED USE BUILDING TYPE FACADE OPTION 2: **BALCONY**

The following standards apply to the balcony facade when applied to the Mixed Use Building Type:

#### BALCONY: MIXED USE BUILDING

##### FACADE DESCRIPTION

The balcony facade contains a recessed balcony that is applied to the upper level floor of a Mixed Use Building Type along the primary street and occasionally, along the secondary street. The facade also has a storefront that is applied to the ground level floor along the primary and side streets. The balcony facade shall be designed to include an open-air space that is recessed into the building mass on the upper level(s) and a storefront that is designed to promote an attractive, convenient shopping experience and transparent wall along the sidewalk.

##### FACADE LOCATION REQUIREMENTS

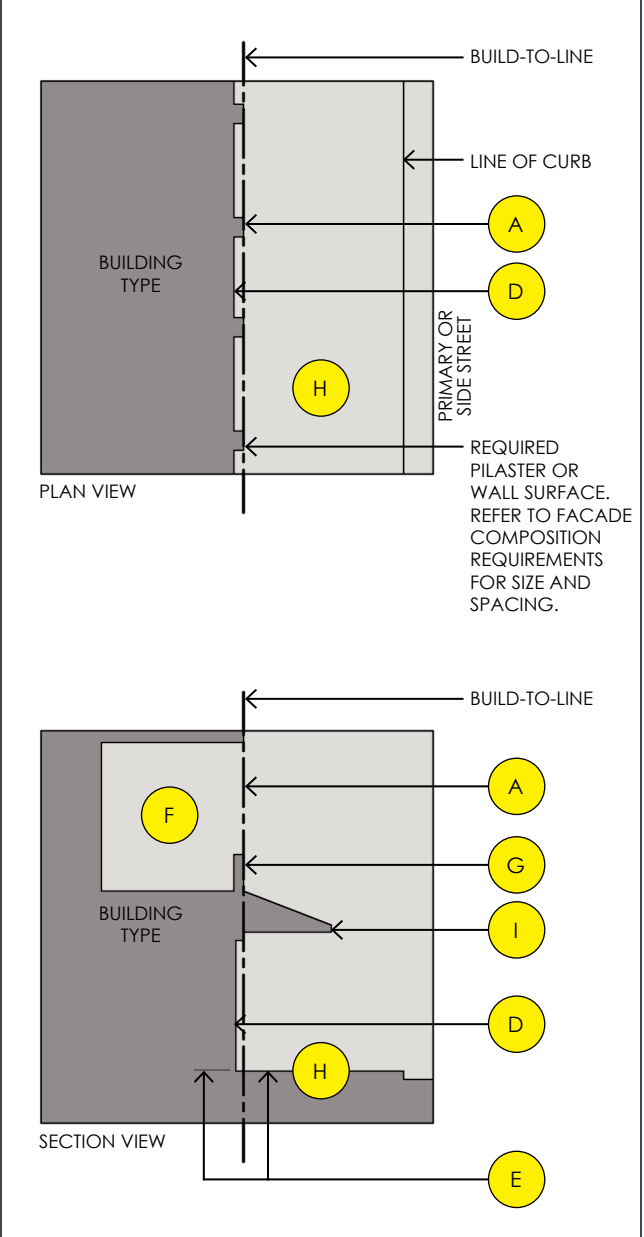
Balcony facade shall be located per the following requirements and Diagram 5.07.

- A. The balcony facade shall be placed at a Build-to-Line (BTL) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary balcony facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary balcony facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Upper balcony elements and ground floor transparency required in the balcony facade composition may extend across all or part of the secondary building wall. In instances when balcony elements and ground floor transparency are not applied across entire secondary building wall, the remaining portion of the ground floor shall meet the upper floor transparency requirements of the facade composition.
- D. Storefront windows are required to be recessed from pilaster or building wall. Recess shall be no more than 18 inches.
- E. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- F. Required upper floor open-air balcony shall be located within the mass of the building.
- G. Face of balcony, supports, and/or railings and partial walls shall align with the building wall.
- H. Ground area between the storefront facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between façade and property line is ten (10) feet or less: Ground area shall be paved to match public sidewalk.
  2. Distance between façade and property line is greater than ten (10) feet: Ground area shall be landscaped with a 5' sidewalk adjacent to the entire width of the facade and a 5 foot sidewalk that connects to the public sidewalk.
  3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is approved by Zoning Administrator.
- I. Encroachments: Architectural features are not permitted to extend past property line, but may extend past BTL. Refer to Section 23.05.07.
- J. Wells for basement windows are not permitted on primary or secondary building walls.



MIXED-USE BUILDING WITH BALCONY FACADE

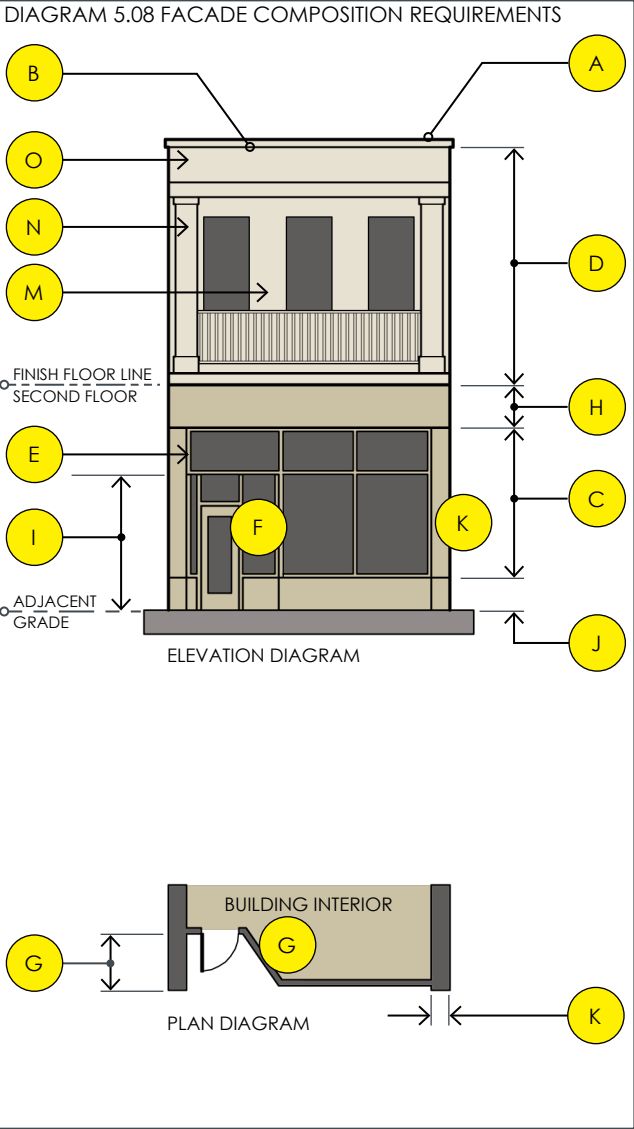
DIAGRAM 5.07 FACADE LOCATION REQUIREMENTS



23.05.10.B MIXED USE BUILDING TYPE FACADE OPTION 2: **BALCONY** (continued)

The following standards apply to the balcony facade when applied to the Mixed Use Building Type:

BALCONY: MIXED USE BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Balcony facade composition shall meet the following requirements and Diagram 5.08.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Storefront facade shall have 70% minimum clear glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Transparency of entry door and transom (if used) may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Storefront facade shall have 15% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line.
- E. Optional transom window above storefront may extend over entry recess (as depicted) or follow entry recess.
- F. Entry door(s) shall have 70% minimum clear glass.
- G. Entry door is required to be recessed 3 feet to 5 feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the transparency of the main storefront window.
- H. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item K. on this page.
- I. Storefront window glass (not including optional transom) shall be eight (8) feet high minimum, measured from the adjacent grade.
- J. Required 18" to 24" high storefront base.
- K. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".
- L. Facade is not permitted to have an angled building corner.
- M. Required recessed open-air balcony located within the mass of the building.
- N. Required balcony columns spaced to match spacing of pilasters (item K. above).
- O. Building roof and/or parapet wall at balcony shall extend over balcony and align with building wall.
- P. Storefront windows may be replaced with overhead doors or accordion-style doors. Overhead doors or accordion-style doors that replace storefront windows are required to meet the transparency requirements in item C. Refer to Image 5.02.



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23.05.11 RETAIL BUILDING TYPE

The following standards apply to the Retail Building Type:

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BUILDING TYPE DESCRIPTION

The Retail Building Type is a medium- to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.



EXAMPLES OF RETAIL BUILDING TYPE

The following images represent precedent examples of the Retail Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Retail Building within the City of Kentwood Division Avenue Form-Based Code Area.



RETAIL BUILDING WITH STOREFRONT FACADE



RETAIL BUILDING WITH STOREFRONT FACADE



RETAIL BUILDING WITH STOREFRONT FACADE AND PARKING IN FRONT (NOTE: UPPER WINDOW IS COSMETIC)



RETAIL BUILDING WITH STOREFRONT FACADE

## 23.05.11 RETAIL BUILDING TYPE (continued)

The following standards apply to the Retail Building Type:

### BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 5.09.

A. Percentage of primary building wall at front property line:

1. When lot width is 50 feet or less, primary building wall shall be built to a minimum of 90% of the overall width of the primary street property line (when doing calculation do not include required side setbacks).

*Exception: When parking access is not available on an alley, rear street, or side street and is only available at primary street, the required percentage indicated above may be reduced to allow access that meets the requirements indicated for the Context Area (Section 23.04).*

2. When lot width is more than 50 feet, primary building wall shall be built to a minimum of 50% of the overall width of the primary street property line (when doing calculation do not include required side setbacks).

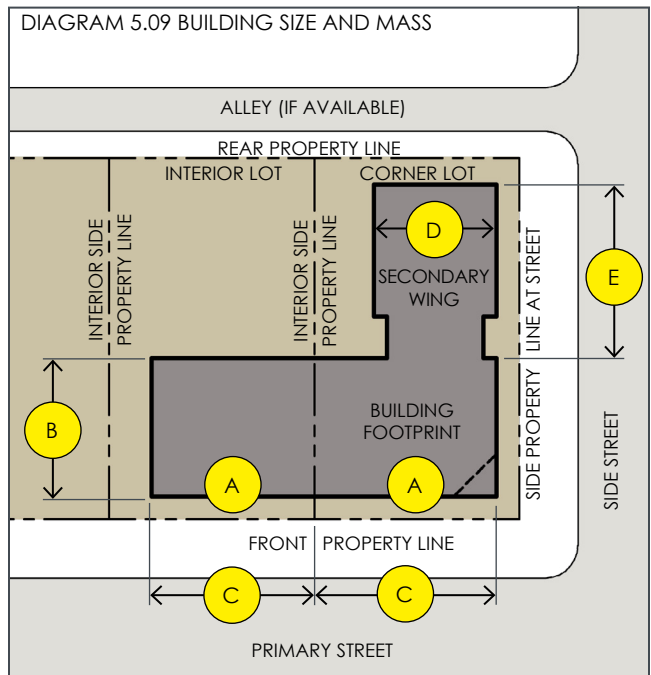
B. Main body building depth: 20 feet min.

C. Main body building width: 150 feet max.

D. Secondary wing building depth: 65 feet max.

E. Secondary wing building width: 100 feet max.

F. Maximum site coverage: 100%



### GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

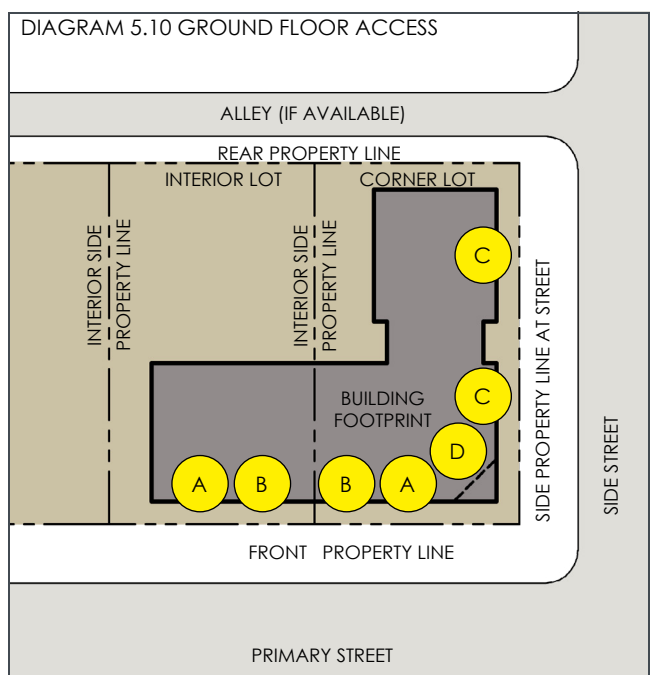
Building Type ground floor entrances shall meet the following requirements and Diagram 5.10.

A. Entrances to unit(s) are required at the primary street and shall be directly accessed from and face the primary street.

B. Entrances to unit(s) shall occur at intervals of not greater than 50 feet along the primary street.

C. Entrances to unit(s) at the side street are not required. If side street entries are provided, they shall be directly accessed from and face the side street.

D. Optional angled building corner with required entry door. Maximum length of angled wall shall be 8 feet.





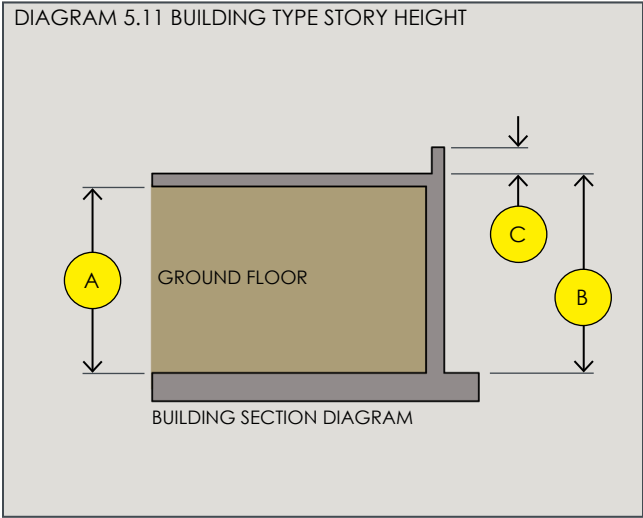
23.05.11 RETAIL BUILDING TYPE (continued)

The following standards apply to the Retail Building Type:

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23.06 OFF-STREET PARKING
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BUILDING TYPE FLOOR HEIGHT REQUIREMENTS

DIAGRAM 5.11 BUILDING TYPE STORY HEIGHT



Building Type floor heights shall meet the following requirements and Diagram 5.11.

- A. Ground floor: Floor to ceiling height shall be 14 feet minimum, measured from the finished floor to the finished ceiling or bottom of exposed structural elements.
- B. Overall height of Building Type is regulated by Context Area, refer to Section 23.04.
- C. Parapet height is regulated by Context Area, refer to Section 23.04.

BUILDING TYPE FACADE OPTIONS

The Retail Building Type is required to have 1 of the following facades at primary and secondary building walls.

Facade options for the Retail Building Type are provided in the table below and described on the following pages of this Section.

RETAIL BUILDING TYPE	BUILDING TYPE FACADE OPTION	CONTEXT AREAS	
		CG CORRIDOR GENERAL	CE CORRIDOR EDGE
	with STOREFRONT (23.05.11.A)	By Right	By Right

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.



NUMBER OF UNITS PER BUILDING

Number of units per Building:

- A. Required total of 1 unit minimum.

BUILDING TYPE USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.

### 23.05.11.A RETAIL BUILDING TYPE FACADE OPTION 1: STOREFRONT

The following standards apply to the storefront facade when applied to the Retail Building Type:

#### STOREFRONT: RETAIL BUILDING

##### FACADE DESCRIPTION

The storefront facade is applied to the Retail Building Type along the primary and secondary building walls. The ground level storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.

##### FACADE LOCATION REQUIREMENTS

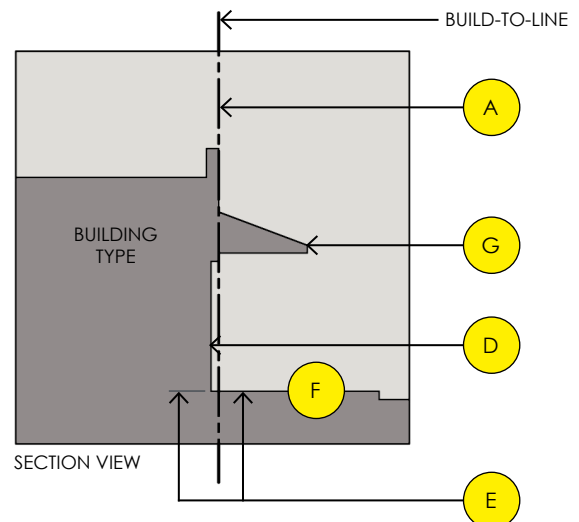
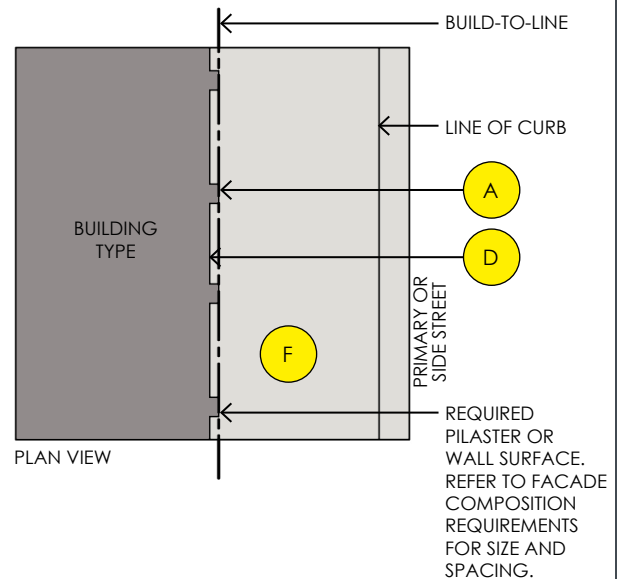
Storefront facade shall be located per the following requirements and Diagram 5.12.

- A. The storefront facade shall be placed at a Build-to-Line (BTL) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary storefront facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary storefront facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Storefront window elements and ground floor transparency required in the storefront facade composition shall extend across minimum 30% of the secondary building wall. In instances when storefront window elements and ground floor transparency are not applied across entire secondary building wall, the remaining portion of the ground floor shall meet the upper floor transparency requirements of the facade composition.
- D. Storefront windows are required to be recessed from pilaster or building wall. Recess shall be no more than 18 inches.
- E. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- F. Ground area between the storefront facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between façade and property line is ten (10) feet or less: Ground area shall be paved to match public sidewalk.
  2. Distance between façade and property line is greater than ten (10) feet: Ground area shall be landscaped with a 5' sidewalk adjacent to the entire width of the facade and a 5 foot sidewalk that connects to the public sidewalk.
  3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is approved by Zoning Administrator.
- G. Encroachments: Architectural features are not permitted to extend past property line, but may extend past BTL. Refer to Section 23.05.07.
- H. Wells for basement windows are not permitted on primary or secondary building walls.



RETAIL BUILDING WITH STOREFRONT FACADE

DIAGRAM 5.12 FACADE LOCATION REQUIREMENTS



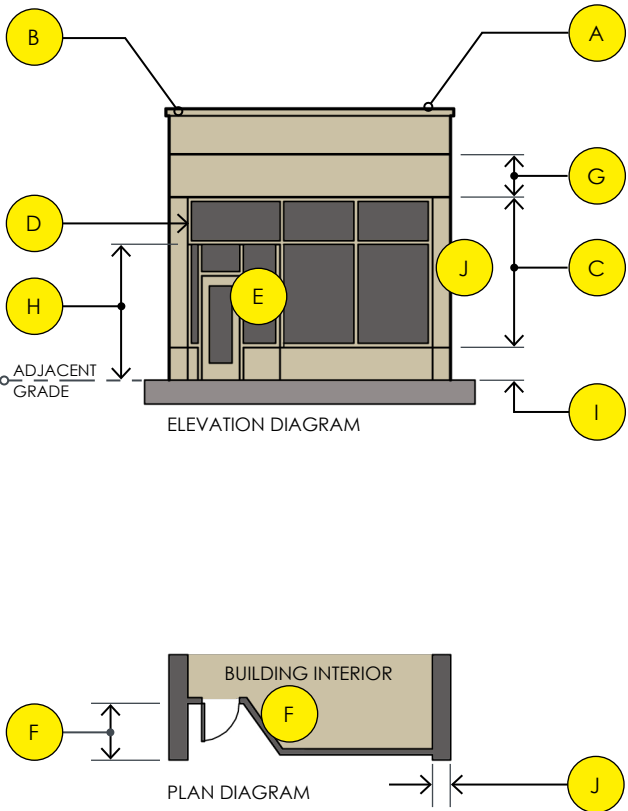


23.05.11.A RETAIL BUILDING TYPE FACADE OPTION 1: **STOREFRONT** (continued)

The following standards apply to the storefront facade when applied to the Retail Building Type:

STOREFRONT: RETAIL BUILDING

DIAGRAM 5.13 FACADE COMPOSITION REQUIREMENTS



**FACADE COMPOSITION REQUIREMENTS**

Storefront facade composition shall meet the following requirements and Diagram 5.13.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Storefront facade shall have 70% minimum clear glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Transparency of entry door and transom (if used) may be included as part of the required transparency calculation.
- D. Optional transom window above storefront may extend over entry recess (as depicted) or follow entry recess.
- E. Entry door(s) shall have 70% minimum clear glass.
- F. Entry door is required to be recessed 3 feet to 5 feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the transparency of the main storefront window.
- G. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.
- H. Storefront window glass (not including optional transom) shall be eight (8) feet high minimum, measured from the adjacent grade.
- I. Required 18" to 24" high storefront base.
- J. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner (except at buildings with angled wall at corner). Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".
- K. The storefront facade may have an angled corner entry. The angled corner entry shall meet the transparency requirements of the storefront facade and have an entry door that is not recessed.
- L. Storefront windows may be replaced with overhead doors or accordion-style doors. Overhead doors or accordion-style doors that replace storefront windows are required to meet the transparency requirements in item C. Refer to Image 5.03.



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23.05.12 FLEX BUILDING TYPE

The following standards apply to the Flex Building Type:

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23.06 OFF-STREET PARKING
23.07 SIGN STANDARDS
23.08 FBC DEFINITIONS

BUILDING TYPE DESCRIPTION

The Flex Building Type is a medium- to large-sized attached or detached structure. It can be used to provide a vertical mix of uses with ground floor service, retail, and/or residential uses; or it may be a single-use building.



EXAMPLES OF FLEX BUILDING TYPE

The following images represent precedent examples of the Flex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Flex Building within the City of Kentwood Division Avenue Form-Based Code Area.



FLEX BUILDING WITH DOORYARD FACADE



FLEX BUILDING WITH STOREFRONT FACADE



FLEX BUILDING WITH STOOP FACADE



FLEX BUILDING WITH STOOP FACADE

23.05.12 FLEX BUILDING TYPE (continued)

The following standards apply to the Flex Building Type:

BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 5.14.

A. Percentage of primary building wall at front property line:

1. When lot width is 50 feet or less, primary building wall shall be built to a minimum of 90% of the overall width of the primary street property line (when doing calculation do not include required side setbacks).

*Exception: When parking access is not available on an alley, rear street, or side street and is only available at primary street, the required percentage indicated above may be reduced to allow access that meets the requirements indicated for the Context Area (Section 23.04).*

2. When lot width is more than 50 feet, primary building wall shall be built to a minimum of 50% of the overall width of the primary street property line (when doing calculation do not include required side setbacks).

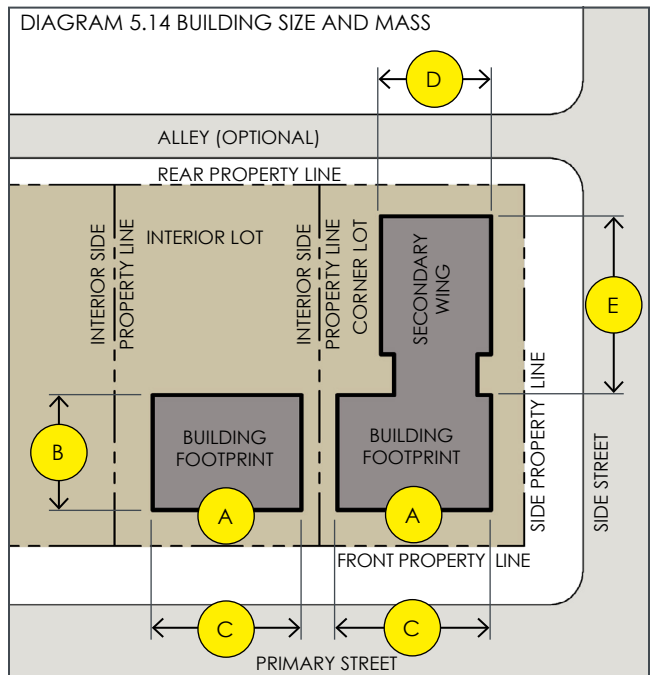
B. Main body building depth: 20 feet min.

C. Main body building width: 150 feet max.

D. Secondary wing building depth: 65 feet max.

E. Secondary wing building width: 100 feet max.

F. Maximum site coverage: 100%



GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.15.

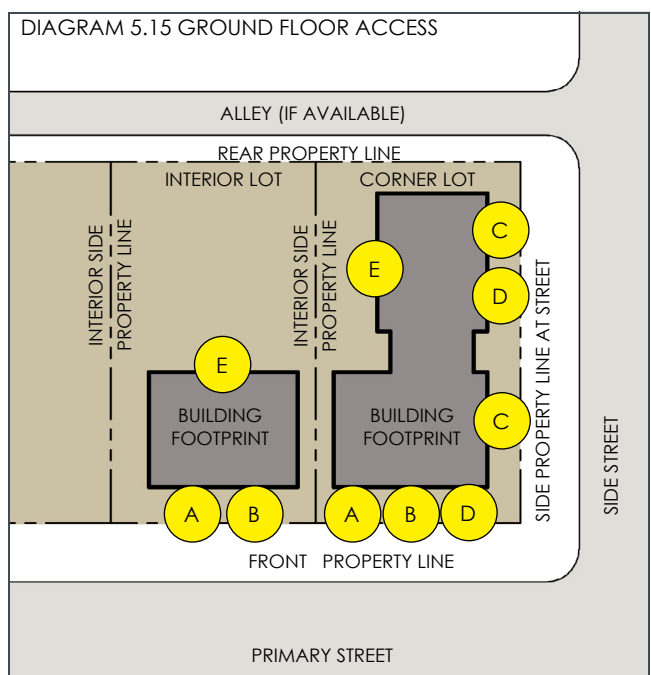
A. Entrances to ground floor unit(s) are required at the primary street and shall be directly accessed from and face the primary street.

B. Entrances to ground floor unit(s) shall occur at intervals of not greater than 75 feet along the primary street.

C. Entrances to ground floor unit(s) at the side street are not required. If side street entries are provided, they shall be directly accessed from and face the side street.

D. Upper floor units shall be accessed by a common entry along the primary or side street.

E. Upper floor units may also be accessed by a secondary common entry at the rear of the building.

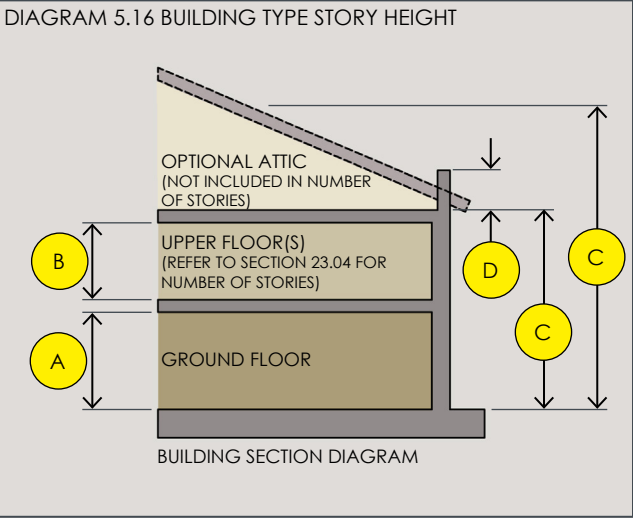




23.05.12 FLEX BUILDING TYPE (continued)  
The following standards apply to the Flex Building Type:

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BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



- Building Type floor heights shall meet the following requirements and Diagram 5.16.
- A. Ground floor: Floor to ceiling height shall be 14 feet minimum, measured from the finished floor to the finished ceiling or bottom of exposed structural elements.
  - B. Upper floors: Floor to ceiling height shall as required by Context Area, refer to Section 23.04.
  - C. Overall height of Building Type is regulated by Context Area, refer to Section 23.04.
  - D. Parapet height is regulated by Context Area, refer to Section 23.04.

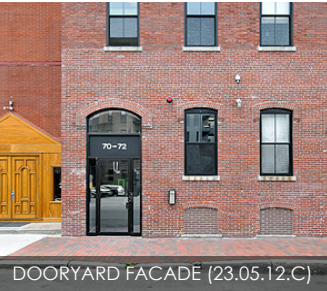
BUILDING TYPE FACADE OPTIONS

The Flex Building Type is required to have a minimum of 1 of the following facades at primary and secondary building walls. The Building Type may have a combination of multiple facades on primary and secondary building walls.

Facade options for the Flex Building Type are provided in the table below and described on the following pages of this Section.

FLEX BUILDING TYPE	BUILDING TYPE FACADE OPTION	CONTEXT AREAS	
		CG CORRIDOR GENERAL	CE CORRIDOR EDGE
	with STOREFRONT (23.05.12.A)	By Right	By Right
	with FORECOURT (23.05.12.B)	By Right	By Right
	with DOORYARD (23.05.12.C)	By Right	By Right
	with STOOP (23.05.12.D)	By Right	By Right

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.



NUMBER OF UNITS PER BUILDING

- Number of units per Building:
- A. Required total of 1 unit minimum.

BUILDING TYPE USE

- Building Type use:
- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.

**23.05.12.A FLEX BUILDING TYPE FACADE OPTION 1: STOREFRONT**

The following standards apply to the storefront facade when applied to the Flex Building Type:

**STOREFRONT: FLEX BUILDING****FACADE DESCRIPTION**

The storefront facade is applied to the Flex Building Type along the primary and secondary building walls. The ground level storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.

**FACADE LOCATION REQUIREMENTS**

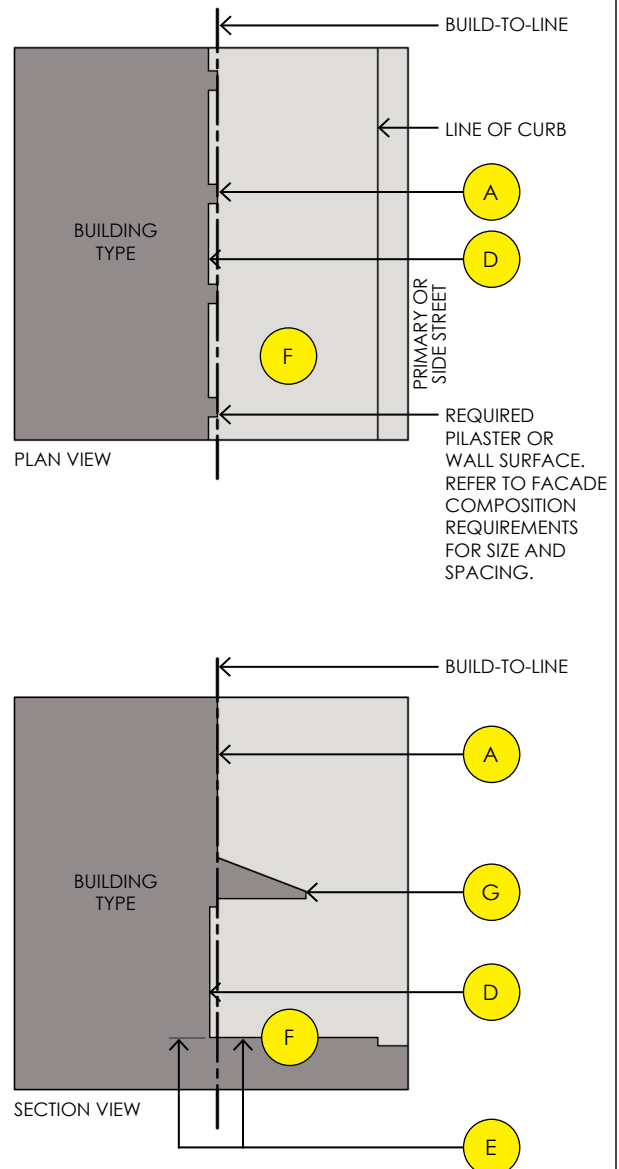
Storefront facade shall be located per the following requirements and Diagram 5.17.

- A. The storefront facade shall be placed at a Build-to-Line (BTL) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary storefront facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary storefront facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Storefront window elements and ground floor transparency required in the storefront facade composition shall extend across minimum 30% of the secondary building wall. In instances when storefront window elements and ground floor transparency are not applied across entire secondary building wall, the remaining portion of the ground floor shall meet the upper floor transparency requirements of the facade composition.
- D. Storefront windows are required to be recessed from pilaster or building wall. Recess shall be no more than 18 inches.
- E. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- F. Ground area between the storefront facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between façade and property line is ten (10) feet or less: Ground area shall be paved to match public sidewalk.
  2. Distance between façade and property line is greater than ten (10) feet: Ground area shall be landscaped with a 5' sidewalk adjacent to the entire width of the facade and a 5 foot sidewalk that connects to the public sidewalk.
  3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is approved by Zoning Administrator.
- G. Encroachments: Architectural features are not permitted to extend past property line, but may extend past BTL. Refer to Section 23.05.07.
- H. Wells for basement windows are not permitted on primary or secondary building walls.



FLEX BUILDING WITH STOREFRONT FACADE

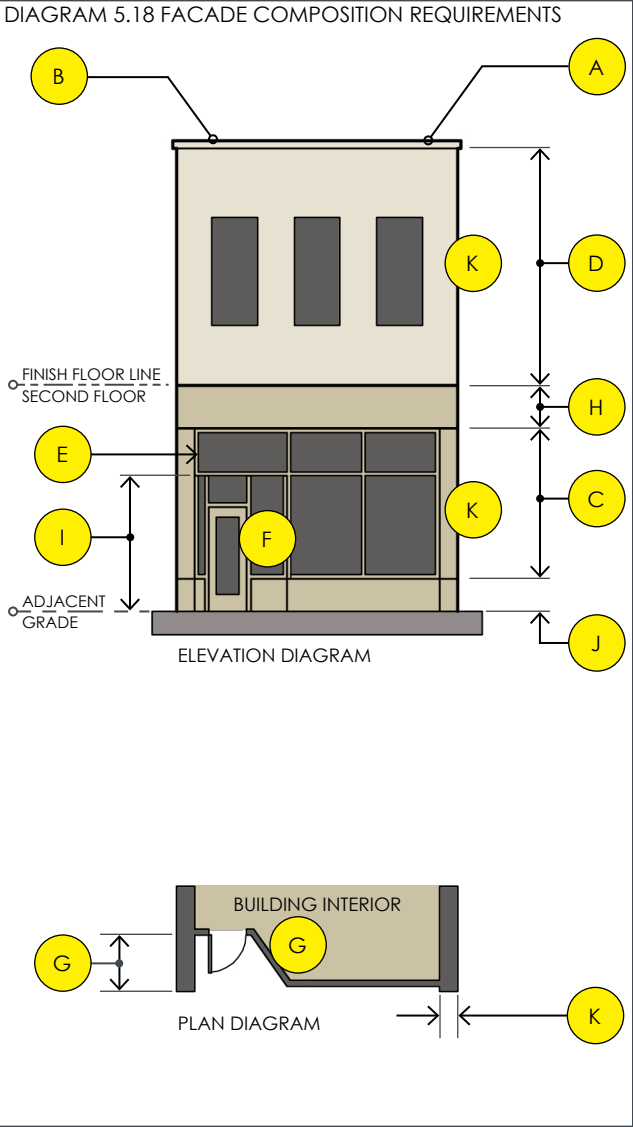
DIAGRAM 5.17 FACADE LOCATION REQUIREMENTS



23.05.12.A FLEX BUILDING TYPE FACADE OPTION 1: **STOREFRONT** (continued)

The following standards apply to the storefront facade when applied to the Flex Building Type:

STOREFRONT: FLEX BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Storefront facade composition shall meet the following requirements and Diagram 5.18.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Storefront facade shall have 70% minimum clear glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Transparency of entry door and transom (if used) may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Storefront facade shall have 15% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Optional transom window above storefront may extend over entry recess (as depicted) or follow entry recess.
- F. Entry door(s) shall have 70% minimum clear glass.
- G. Entry door is required to be recessed 3 feet to 5 feet from the building wall. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the transparency of the main storefront window.
- H. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item K. on this page.
- I. Storefront window glass (not including optional transom) shall be eight (8) feet high minimum, measured from the adjacent grade.
- J. Required 18" to 24" high storefront base.
- K. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 50 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line or bottom of roof eave, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".
- L. Storefront windows may be replaced with overhead doors or accordion-style doors. Overhead doors or accordion-style doors that replace storefront windows are required to meet the transparency requirements in item C. Refer to Image 5.04.



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### 23.05.12.B FLEX BUILDING TYPE FACADE OPTION 2: FORECOURT

The following standards apply to the forecourt facade when applied to the Flex Building Type:

#### FORECOURT: FLEX BUILDING

##### FACADE DESCRIPTION

The forecourt facade is applied to the Flex Building Type along the primary and secondary building walls, and along building walls facing the courtyard. In the forecourt facade, a majority of the building walls are at or near the property line and the remaining building wall is setback, creating a small courtyard space. The courtyard space may be used as an entry court or shared garden space, or as an additional area for shopping or restaurant seating. The courtyard area is not covered and extends the entire height of the building.

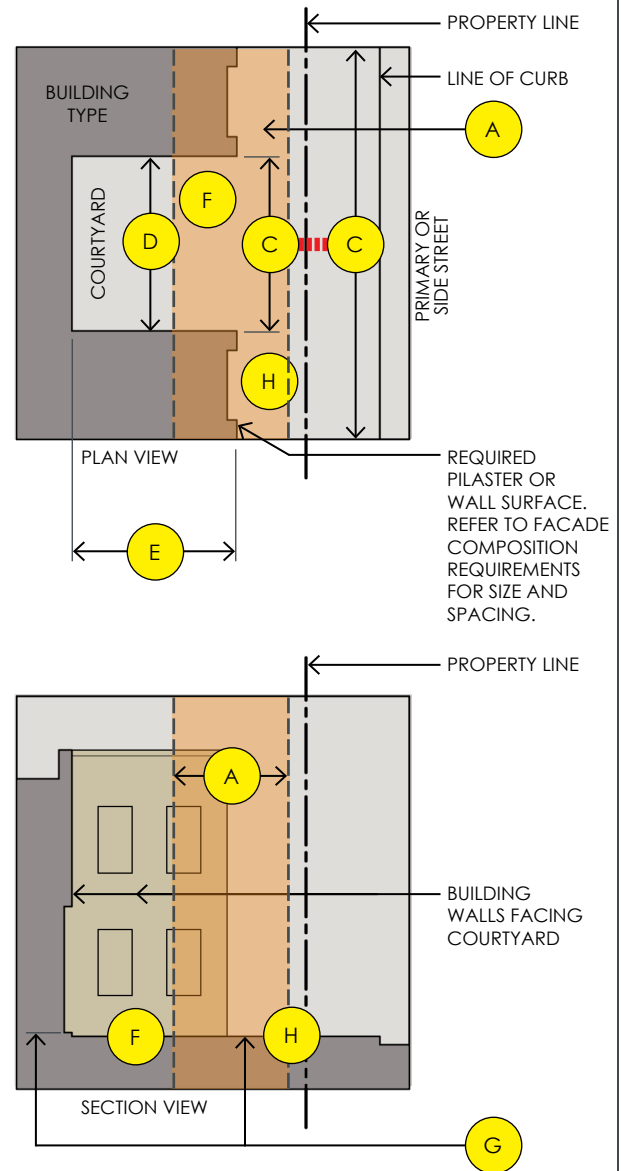
##### FACADE LOCATION REQUIREMENTS

Forecourt facade shall be located per the following requirements and Diagram 5.19.

- A. The forecourt facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Forecourt facade shall extend across 100% of the overall primary and secondary building walls.
  1. Courtyard is not permitted to be placed at both primary and secondary building walls for any single building. On primary or secondary building walls where courtyard is not placed, the ground floor and upper floor building walls shall still meet the forecourt facade composition requirements.
- C. Required courtyard width shall be no more than 50% of the overall building wall width where it is placed.
- D. Required courtyard shall have a width of twelve (12) feet minimum.
- E. Required courtyard shall have a depth of twelve (12) feet minimum.
- F. Courtyard ground area shall be paved. Landscape islands may be used within the courtyard, but may not cover more than 40% of the courtyard ground area.
- G. Refer to facade composition requirements for entry door threshold elevation.
- H. Ground area between the forecourt facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between facade and property line is five (5) feet or less: Ground area may be paved to match public sidewalk.
  2. Distance between facade and property line is greater than five (5) feet: Ground area shall be landscaped and have sidewalk(s) connecting the courtyard and/or entry doors to the public sidewalk.
- I. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.
- J. Wells for basement windows are not permitted on primary or secondary building walls.



DIAGRAM 5.19 FACADE LOCATION REQUIREMENTS

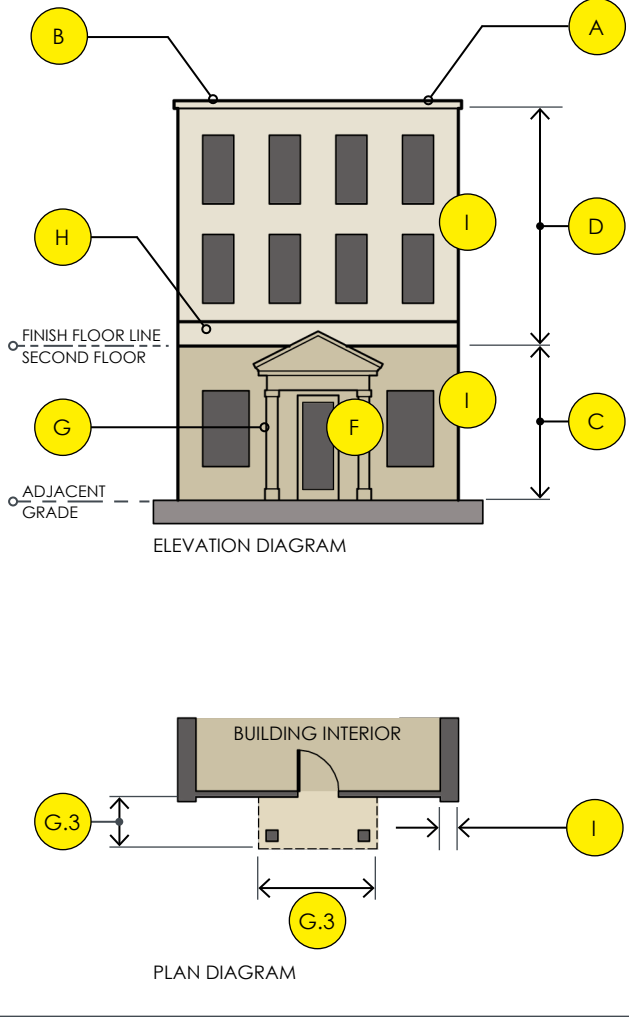


23.05.12.B FLEX BUILDING TYPE FACADE OPTION 2: FORECOURT (continued)

The following standards apply to the forecourt facade when applied to the Flex Building Type:

FORECOURT: FLEX BUILDING

DIAGRAM 5.20 FACADE COMPOSITION REQUIREMENTS



FACADE COMPOSITION REQUIREMENTS

Forecourt facade composition shall meet the following requirements and Diagram 5.20.

Facade composition requirements apply to primary and secondary building walls, and all walls that face the courtyard.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Forecourt facade shall have 20% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Forecourt facade shall have 15% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. In instances where a storefront is desired, or ground floor transparency exceeds 70%, the ground floor shall have a storefront that meets the requirements of 23.05.12.A rather than the requirements listed in these facade composition requirements.
- F. Entry door(s) shall have 50% minimum clear glass.
- G. Entry door(s) that face primary and secondary streets, and the courtyard may be at-grade or elevated above adjacent grade.
  - 1. At-grade entry doors (zero-step) shall have one of the following treatments:
    - a. Covered with a roof (as depicted in the graphic). Roof shall be supported with columns.
    - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
    - c. Uncovered (with no canopy or roof).
    - d. Recessed in building wall.
  - 2. Elevated entry doors shall have one of the following treatments:
    - a. Covered with a roof. Roof shall be supported with columns.
    - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide. Stoop shall be elevated a minimum of 6 inches above adjacent grade.
- H. Required 24" to 42" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item I. on this page. Horizontal expression line may contain signage. Refer to Section 23.07.
- I. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 50 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line or bottom of roof eave, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".

### 23.05.12.C FLEX BUILDING TYPE FACADE OPTION 3: DOORYARD

The following standards apply to the dooryard facade when applied to the Flex Building Type:

#### DOORYARD: FLEX BUILDING

##### FACADE DESCRIPTION

The dooryard facade is applied to the Flex Building Type along the primary and secondary building walls. In the dooryard facade, the building walls are at or near the property line, within a Build-to-Zone. The front property line is occasionally defined by a low wall, fence, or hedge, creating a small yard. The yard is not intended to provide public circulation along the rights-of-way, but rather has a sidewalk connecting the building entrance(s) to the public sidewalk. The entry door is at-grade and intended to access ground floor and upper floor uses.

##### FACADE LOCATION REQUIREMENTS

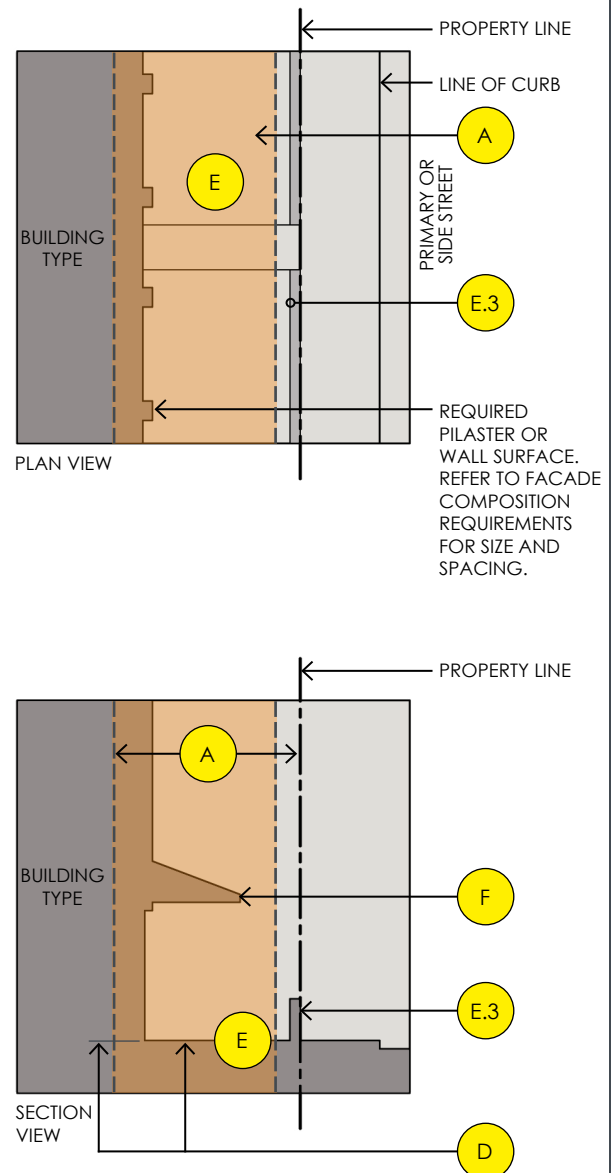
Dooryard facade shall be located per the following requirements and Diagram 5.21.

- A. The dooryard facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary dooryard facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary dooryard facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Doors and related elements are not required on the secondary building wall. In instances when door and door elements are not applied, the secondary building wall shall meet the remaining dooryard facade composition requirements.
- D. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- E. Ground area between the dooryard facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between facade and property line is five (5) feet or less: Ground area shall be paved to match public sidewalk.
  2. Distance between facade and property line is greater than five (5) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
  3. At distances greater than fifteen (15) feet, the dooryard facade shall have one of the following landscape elements placed at the property line, refer to Section 23.03.08:
    - a. A 24" to 36" high garden wall.
    - b. A decorative metal fence that is 42" high maximum.
    - c. A continuous hedge that is maintained at a 42" maximum height.
  4. Ground area may be paved at distances greater than five (5) feet when outdoor seating is proposed per approval of Zoning Administrator. If ground area is paved, landscape elements in E.3 are not required.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



FLEX BUILDING WITH DOORYARD FACADE

DIAGRAM 5.21 FACADE LOCATION REQUIREMENTS





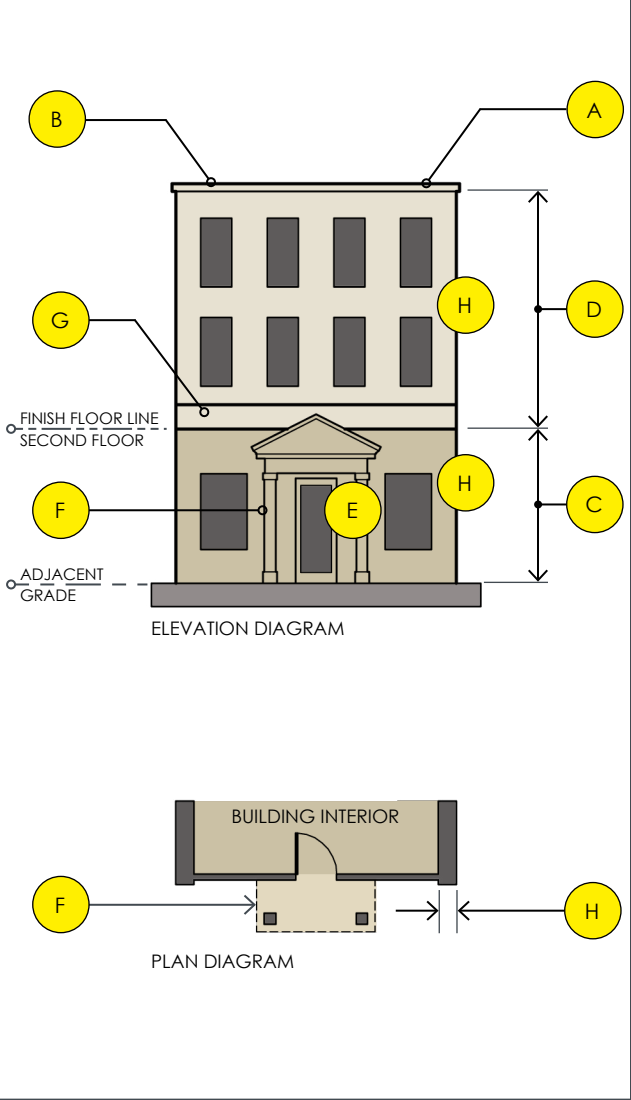
23.05.12.C FLEX BUILDING TYPE FACADE OPTION 3: **DOORYARD** (continued)

The following standards apply to the dooryard facade when applied to the Flex Building Type:

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DOORYARD: FLEX BUILDING

DIAGRAM 5.22 FACADE COMPOSITION REQUIREMENTS



**FACADE COMPOSITION REQUIREMENTS**

Dooryard facade composition shall meet the following requirements and Diagram 5.22.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Dooryard facade shall have 20% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Dooryard facade shall have 15% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) shall have 50% minimum clear glass.
- F. Entry door(s) that face primary and secondary streets shall be at-grade (zero-step) and have one of the following treatments:
  - 1. Covered with a roof (as depicted in the graphic). Roof shall be supported with columns.
  - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Uncovered (with no canopy or roof).
  - 4. Recessed in building wall.
- G. Required 24" to 42" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item H. on this page. Horizontal expression line may contain signage. Refer to Section 23.07.
- H. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 50 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line or bottom of roof eave, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".

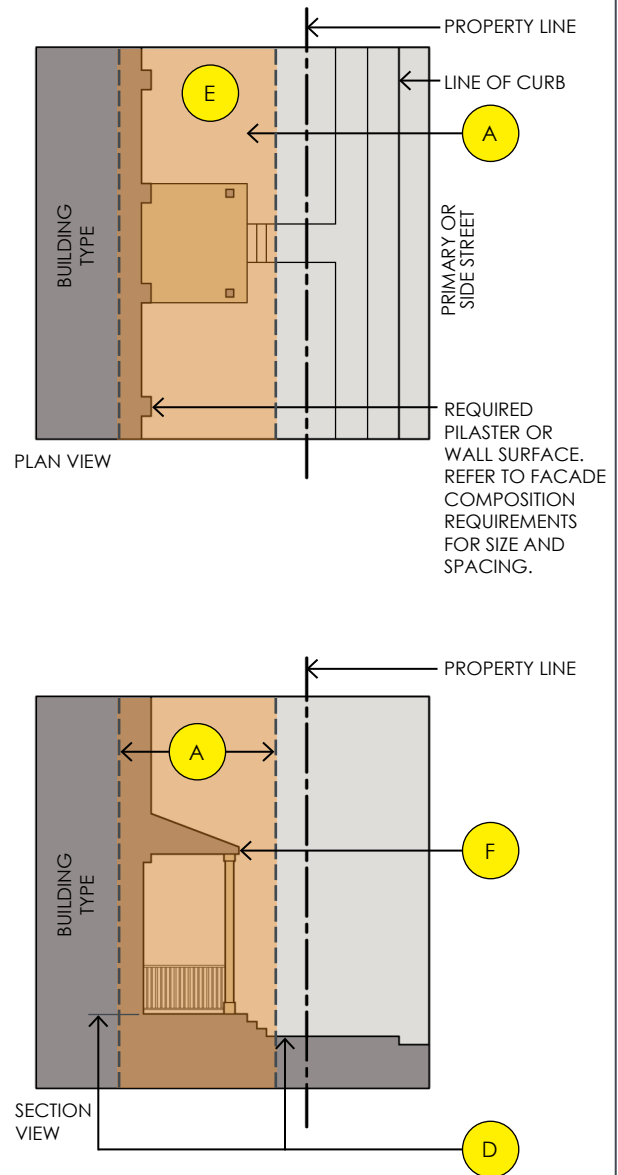
The following standards apply to the stoop facade when applied to the Flex Building Type:

## FACADE DESCRIPTION

A photograph of the exterior of the Flex Building. The building is a single-story structure with a light-colored facade. It features a prominent stoop facade with a set of concrete stairs leading up to a covered entrance. The entrance is framed by a small portico with columns. To the left of the entrance, there is a large window with a wooden frame. To the right, there is a large green bush and a black metal railing. The building is identified by a sign that reads "FLEX BUILDING" and a "JAIL" sign above the entrance. The "Patagonia" logo is visible on the right side of the building.

Stoop facade shall be located per the following requirements and Diagram 5.23.

- ### DIAGRAM 5.23 FACADE LOCATION REQUIREMENTS

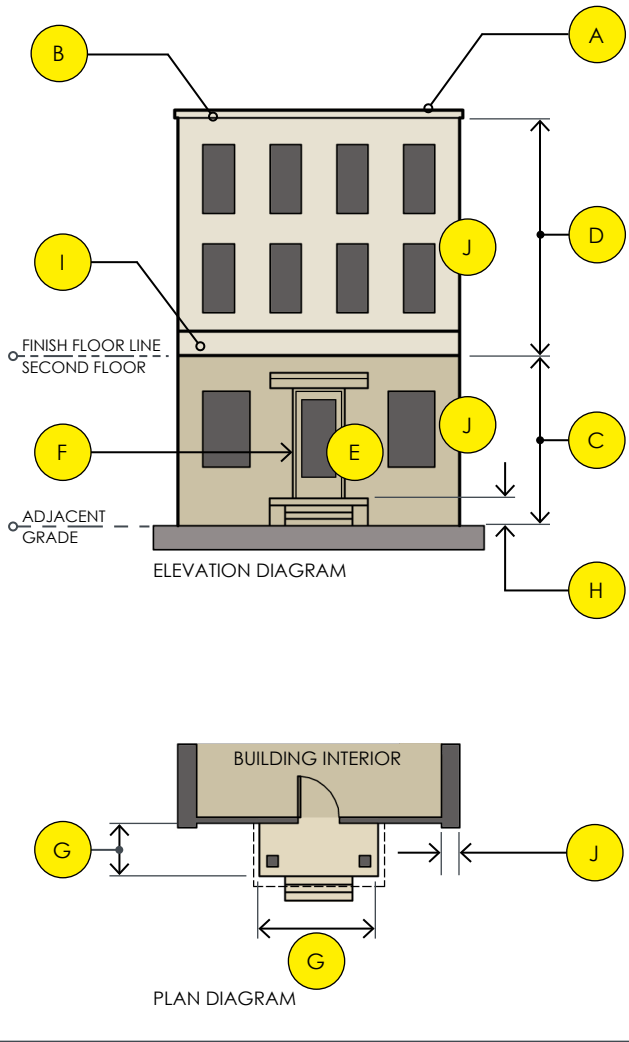


23.05.12.D FLEX BUILDING TYPE FACADE OPTION 4: **STOOP** (continued)

The following standards apply to the stoop facade when applied to the Flex Building Type:

STOOP: FLEX BUILDING

DIAGRAM 5.24 FACADE COMPOSITION REQUIREMENTS



**FACADE COMPOSITION REQUIREMENTS**

Stoop facade composition shall meet the following requirements and Diagram 5.24.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Stoop facade shall have 20% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Stoop facade shall have 15% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) shall have 50% minimum clear glass.
- F. Entry door(s) that face primary and secondary streets shall be elevated above adjacent grade and have one of the following treatments:
  - 1. Covered with a roof. Roof shall be supported with columns.
  - 2. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Uncovered (with no canopy or roof).
- G. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide.
- H. Stoop shall be elevated a minimum of 6 inches above the adjacent grade.
- I. Required 24" to 42" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item J. on this page. Horizontal expression line may contain signage. Refer to Section 23.07.
- J. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 50 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line or bottom of roof eave, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".



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23.05.13 LIVE/WORK BUILDING TYPE

The following standards apply to the Live/Work Building Type:

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BUILDING TYPE DESCRIPTION

The Live/Work Building Type is a small- to medium-sized attached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are occupied by one entity. This Type is appropriate for incubating retail and service uses and allows neighborhood retail to expand as the market demands.



EXAMPLES OF LIVE/WORK BUILDING TYPE

The following images represent precedent examples of the Live/Work Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Live/Work Building within the City of Kentwood Division Avenue Form-Based Code Area.



LIVE/WORK BUILDINGS WITH STOREFRONT AND DOORYARD FACADES



LIVE/WORK BUILDINGS WITH STOREFRONT FACADES



LIVE/WORK BUILDINGS WITH STOREFRONT AND DOORYARD FACADES



LIVE/WORK BUILDINGS WITH DOORYARD FACADES

## 23.05.13 LIVE/WORK BUILDING TYPE (continued)

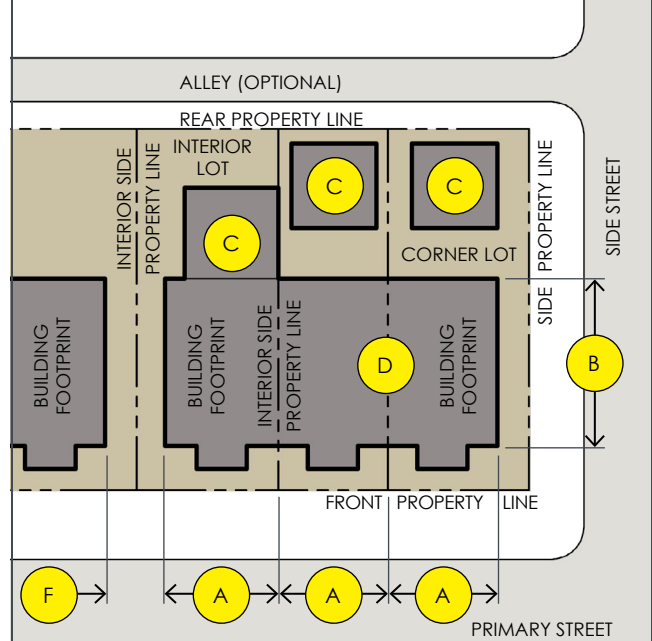
The following standards apply to the Live/Work Building Type:

### BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 5.25.

- A. Width of primary building wall at front property line: 18 feet minimum, 30 feet maximum.
- B. Building depth: 20 feet minimum.
- C. Building may have an attached or detached garage located in the rear of the building and accessed per the parking access requirements in Section 23.04 for the Context Area.
- D. Live/Work buildings shall be attached to adjacent Live/Work buildings to form a continuous row of buildings at primary and/or secondary street. Separation may be with an individual lot property line or via an attached condominium.
- E. Attached units of Live/Work buildings that create a continuous row of buildings shall be a minimum of 2 units and a maximum of 8 units.
- F. A minimum 10 foot separation is required between attached rows of buildings.
- G. Maximum site coverage: 80%, including garage.

DIAGRAM 5.25 BUILDING SIZE AND MASS

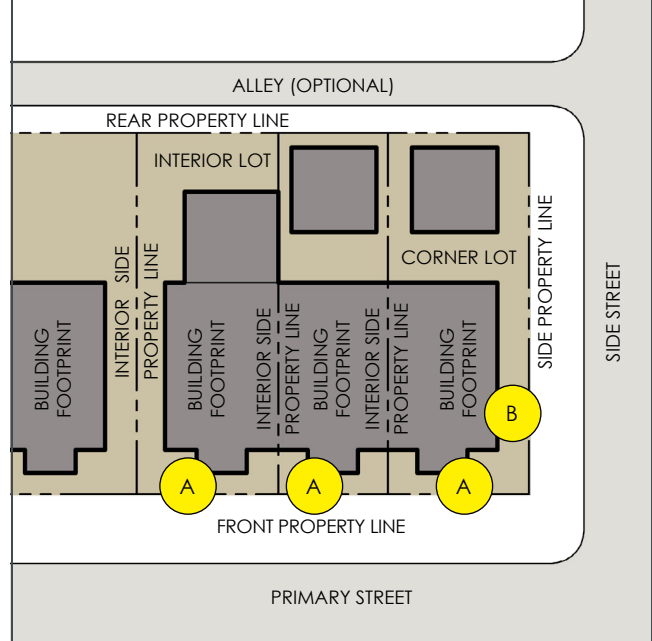


### GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.26.

- A. Entrances to ground floor unit(s) are required at the primary street and shall be directly accessed from and face the primary street.
- B. Entrances to ground floor unit(s) at the side street are not required. If side street entries are provided, they shall be directly accessed from and face the side street.
- C. Ground floor units and upper floor units are required to share a common entrance because Live/Work Building Types are occupied by a single entity.

DIAGRAM 5.26 GROUND FLOOR ACCESS



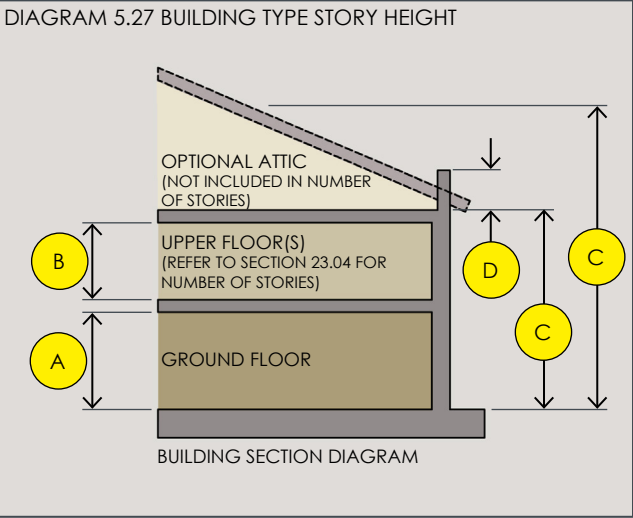


23.05.13 LIVE/WORK BUILDING TYPE (continued)

The following standards apply to the Live/Work Building Type:

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BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 5.27.

- A. Ground floor: Floor to ceiling height shall be 12 feet minimum, measured from the finished floor to the finished ceiling or bottom of exposed structural elements.
- B. Upper floors: Floor to ceiling height shall as required by Context Area, refer to Section 23.04.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 23.04.
- D. Parapet height is regulated by Context Area, refer to Section 23.04.

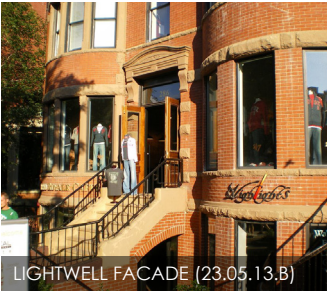
BUILDING TYPE FACADE OPTIONS

The Live/Work Building Type is required to have a minimum of 1 of the following facades at primary and secondary building walls. The Building Type may have a combination of multiple facades on primary and secondary building walls.

Facade options for the Live/Work Building Type are provided in the table below and described on the following pages of this Section.

LIVE/WORK BUILDING TYPE	BUILDING TYPE FACADE OPTION	CONTEXT AREAS	
		CG CORRIDOR GENERAL	CE CORRIDOR EDGE
	with STOREFRONT (23.05.13.A)	By Right	By Right
	with LIGHTWELL (23.05.13.B)	By Right	By Right
	with DOORYARD (23.05.13.C)	By Right	By Right
	with STOOP (23.05.13.D)	By Right	By Right

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.



NUMBER OF UNITS PER BUILDING

- Number of units per Building:
- A. Maximum of 2 units per building. Both units shall be used by same entity.

BUILDING TYPE USE

- Building Type use:
- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.

**23.05.13.A LIVE/WORK BUILDING TYPE FACADE OPTION 1: STOREFRONT**

The following standards apply to the storefront facade when applied to the Live/Work Building Type:

**STOREFRONT: LIVE/WORK BUILDING****FACADE DESCRIPTION**

The storefront facade is applied to the Live/Work Building Type along the primary and secondary building walls. The ground level storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefront entries are at grade with the sidewalk and are sometimes shaded by awnings.

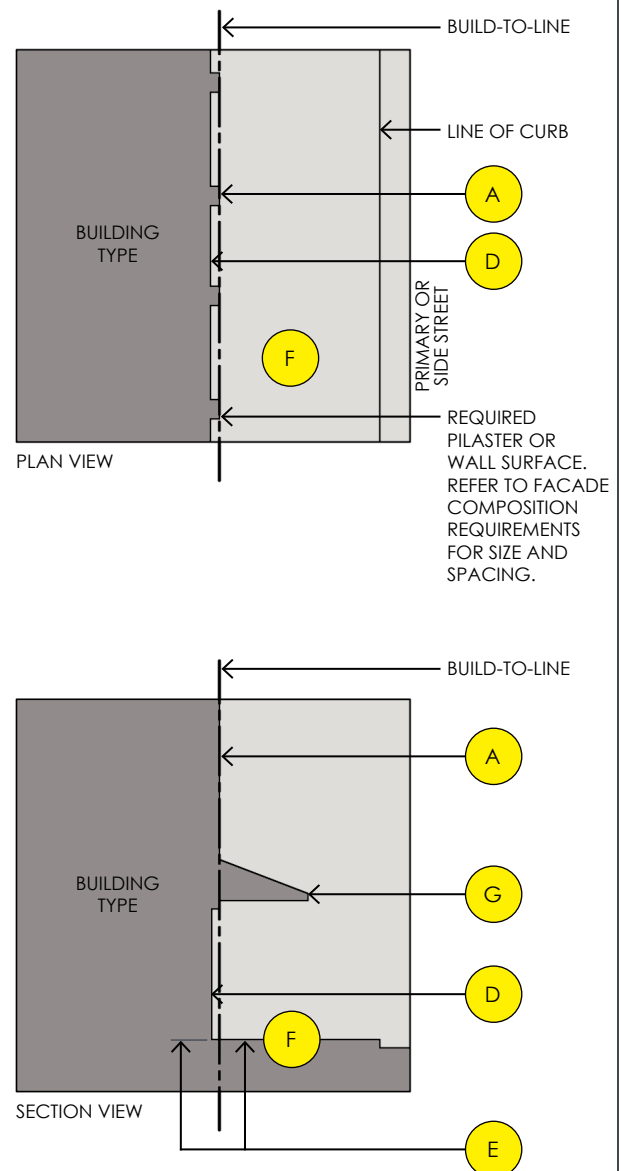
**FACADE LOCATION REQUIREMENTS**

Storefront facade shall be located per the following requirements and Diagram 5.28.

- A. The storefront facade shall be placed at a Build-to-Line (BTL) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary storefront facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary storefront facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Storefront window elements and ground floor transparency required in the storefront facade composition shall extend across minimum 30% of the secondary building wall. In instances when storefront window elements and ground floor transparency are not applied across entire secondary building wall, the remaining portion of the ground floor shall meet the upper floor transparency requirements of the facade composition.
- D. Storefront windows are required to be recessed from pilaster or building wall. Recess shall be no more than 18 inches.
- E. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- F. Ground area between the storefront facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between façade and property line is ten (10) feet or less: Ground area shall be paved to match public sidewalk.
  2. Distance between façade and property line is greater than ten (10) feet: Ground area shall be landscaped with a 5' sidewalk adjacent to the entire width of the facade and a 5 foot sidewalk that connects to the public sidewalk.
  3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is approved by Zoning Administrator.
- G. Encroachments: Architectural features are not permitted to extend past property line, but may extend past BTL. Refer to Section 23.05.07.
- H. Wells for basement windows are not permitted on primary or secondary building walls.



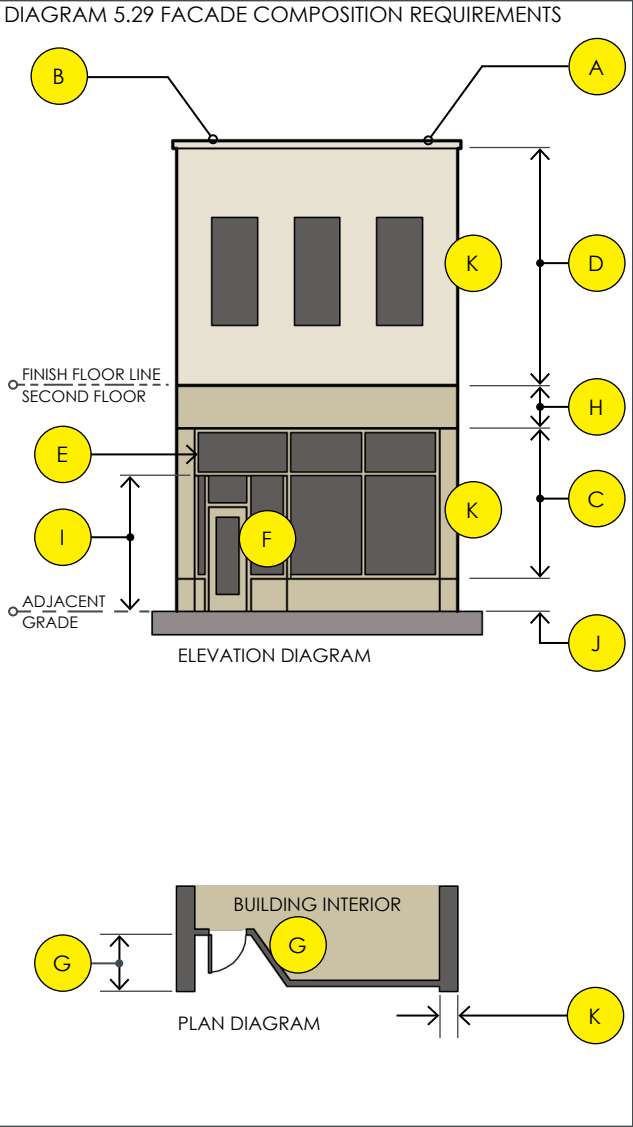
DIAGRAM 5.28 FACADE LOCATION REQUIREMENTS



23.05.13.A LIVE/WORK BUILDING TYPE FACADE OPTION 1: **STOREFRONT** (continued)

The following standards apply to the storefront facade when applied to the Live/Work Building Type:

STOREFRONT: LIVE/WORK BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Storefront facade composition shall meet the following requirements and Diagram 5.29.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Storefront facade shall have 70% minimum clear glass between the top of the storefront base and bottom of sign band (or horizontal expression line). Transparency of entry door and transom (if used) may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Storefront facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Optional transom window above storefront may extend over entry recess (as depicted) or follow entry recess.
- F. Entry door(s) shall have 70% minimum clear glass.
- G. Entry door may flush with storefront window or be recessed 3 feet to 5 feet from the building wall. If recessed, the angled wall (the wall that connects the storefront to the door) in the recess area shall match the transparency of the main storefront window.
- H. Required 24" to 36" sign band or horizontal expression line above storefront window or transom. Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item K. on this page.
- I. Storefront window glass (not including optional transom) shall be eight (8) feet high minimum, measured from the adjacent grade.
- J. Required 18" to 24" high storefront base.
- K. Facade shall have a 16" to 30" pilaster or wall surface every 18 to 30 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line or bottom of roof eave, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.
- L. Storefront windows may be replaced with overhead doors or accordion-style doors. Overhead doors or accordion-style doors that replace storefront windows are required to meet the transparency requirements in item C. Refer to Image 5.05.



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### 23.05.13.B LIVE/WORK BUILDING TYPE FACADE OPTION 2: LIGHTWELL

The following standards apply to the lightwell facade when applied to the Live/Work Building Type:

#### LIGHTWELL: LIVE/WORK BUILDING

##### FACADE DESCRIPTION

The lightwell facade is applied to the Live/Work Building Type along the primary and secondary building walls. In the lightwell facade, the building walls are at or near the property line, within a Build-to-Zone. The facade has a combined elevated terrace and a sunken lightwell to access the lightwell (basement) floor. The lightwell facade buffers residential, retail, and service uses from the public sidewalk and provides access to multiple uses along the sidewalk.

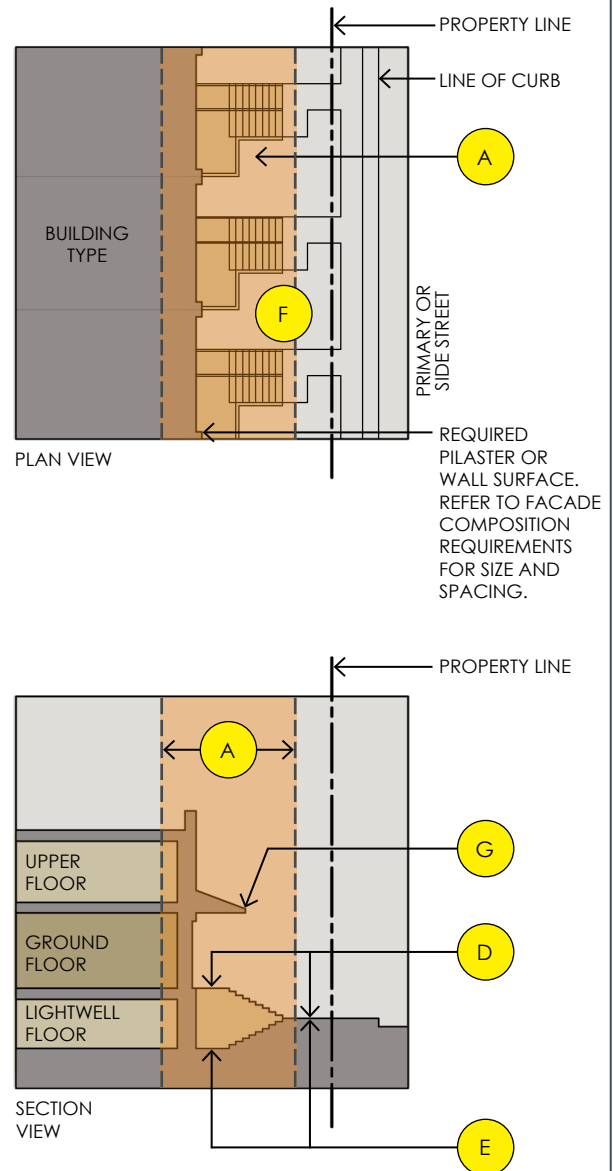
##### FACADE LOCATION REQUIREMENTS

Lightwell facade shall be located per the following requirements and Diagram 5.30.

- A. The lightwell facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the lightwell facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the lightwell assembly is within the BTZ.
- B. Primary lightwell facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary lightwell facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Lightwell is not required on the secondary building wall. In instances when lightwell is not applied, the secondary building wall shall meet the remaining lightwell facade composition requirements.
- D. Ground floor entry door threshold shall be elevated from the adjacent grade.
- E. Lightwell (basement) entry door threshold shall be below adjacent grade.
- F. Ground area between the lightwell facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between facade and property line is twelve (12) feet or less: Ground area may be paved to match public sidewalk.
  2. Distance between facade and property line is greater than twelve (12) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
  3. Ground area may be paved at distances greater than five (5) feet when outdoor seating is proposed per approval of Zoning Administrator. If ground area is paved, landscape elements in E.3 are not required.
- G. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



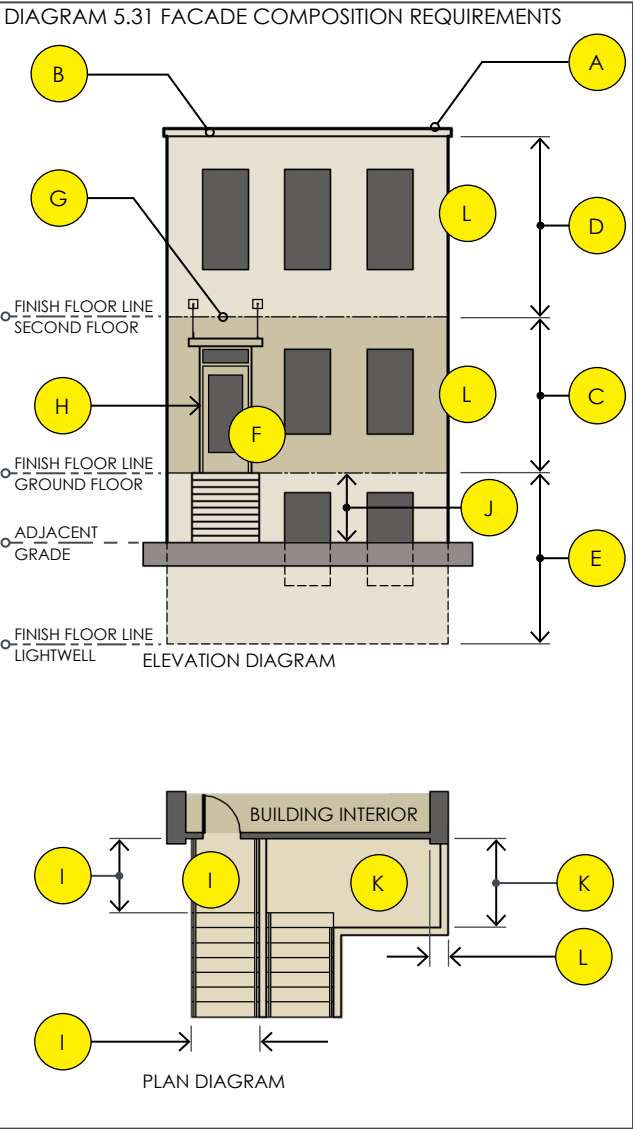
DIAGRAM 5.30 FACADE LOCATION REQUIREMENTS



23.05.13.B LIVE/WORK BUILDING TYPE FACADE OPTION 2: **LIGHTWELL** (continued)

The following standards apply to the lightwell facade when applied to the Live/Work Building Type:

LIGHTWELL: LIVE/WORK BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Lightwell facade composition shall meet the following requirements and Diagram 5.31.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Lightwell facade shall have 20% minimum clear glass between the finish floor line of the first floor and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Lightwell facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Transparency Lightwell (Basement) Floor: Lightwell facade shall have 12% minimum clear glass between the finish floor line of the lightwell and the finish floor line of the first floor.
- F. First floor entry door(s) shall have 50% minimum clear glass.
- G. Optional 24" to 36" horizontal expression line at or near the second floor finish floor line (not depicted in graphic). If used, the horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item L. on this page. Horizontal expression line may contain signage. Refer to Section 23.07.
- H. First floor entry door(s) that face primary and secondary streets shall be elevated above adjacent grade and have one of the following treatments:
  - 1. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
  - 2. Uncovered (with no canopy or supported roof).
- I. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide.
- J. Stoop shall be elevated a minimum of 3 feet above adjacent grade.
- K. Clear width of required lightwell shall be 6 feet minimum and 10 feet maximum, measured from building wall.
- L. Facade shall have a 16" to 30" pilaster or wall surface every 18 to 30 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from finish floor of lightwell to bottom of cornice expression line or bottom of roof eave, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.

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### 23.05.13.C LIVE/WORK BUILDING TYPE FACADE OPTION 3: DOORYARD

The following standards apply to the dooryard facade when applied to the Live/Work Building Type:

#### DOORYARD: LIVE/WORK BUILDING

##### FACADE DESCRIPTION

The dooryard facade is applied to the Live/Work Building Type along the primary and secondary building walls. In the dooryard facade, the building walls are at or near the property line, within a Build-to-Zone. The front property line is occasionally defined by a low wall, fence, or hedge, creating a small yard. The yard is not intended to provide public circulation along the rights-of-way, but rather has a sidewalk connecting the building entrance(s) to the public sidewalk. The entry door is at-grade.

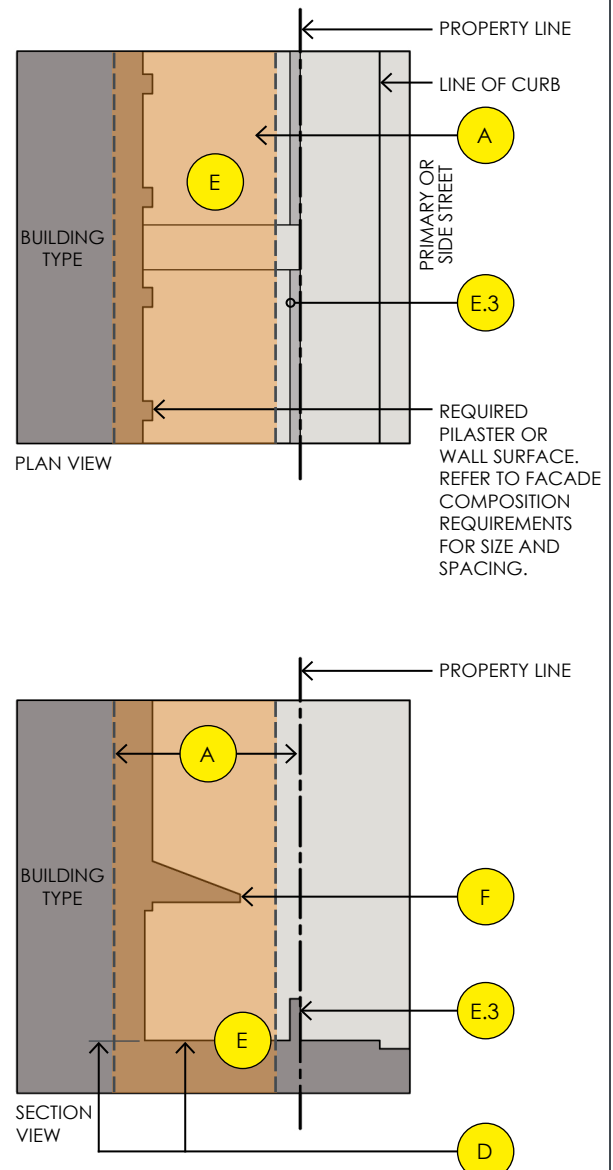
##### FACADE LOCATION REQUIREMENTS

Dooryard facade shall be located per the following requirements and Diagram 5.32.

- A. The dooryard facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary dooryard facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary dooryard facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Doors and related elements are not required on the secondary building wall. In instances when door and door elements are not applied, the secondary building wall shall meet the remaining dooryard facade composition requirements.
- D. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- E. Ground area between the dooryard facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between facade and property line is five (5) feet or less: Ground area shall be paved to match public sidewalk.
  2. Distance between facade and property line is greater than five (5) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
  3. At distances greater than fifteen (15) feet, the dooryard facade shall have one of the following landscape elements placed at the property line, refer to Section 23.03.08:
    - a. A 24" to 36" high garden wall.
    - b. A decorative metal fence that is 42" high maximum.
    - c. A continuous hedge that is maintained at a 42" maximum height.
  4. Ground area may be paved at distances greater than five (5) feet when outdoor seating is proposed per approval of Zoning Administrator. If ground area is paved, landscape elements in E.3 are not required.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



DIAGRAM 5.32 FACADE LOCATION REQUIREMENTS





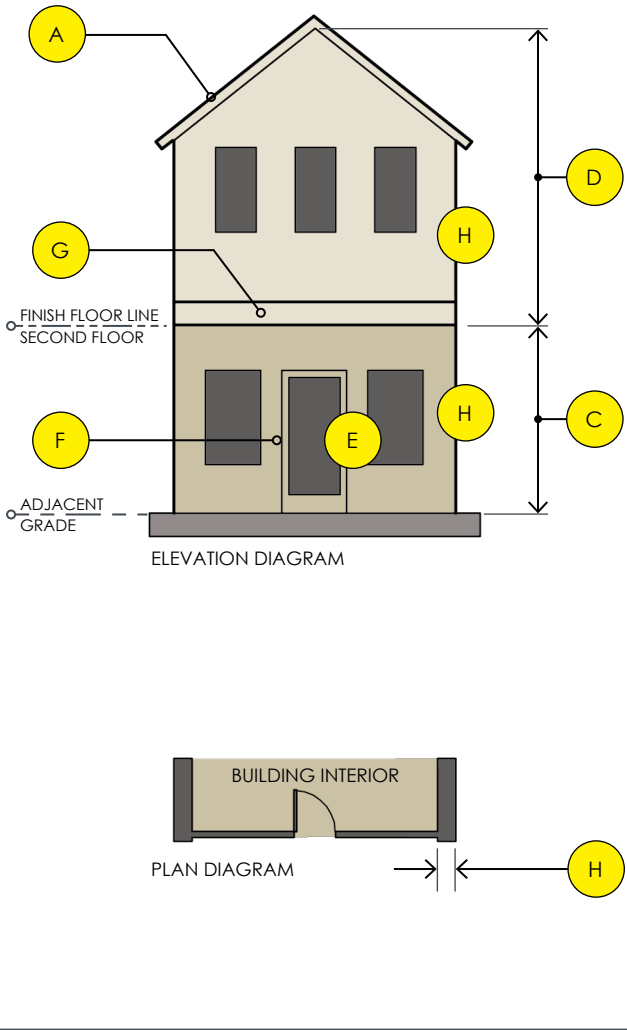
23.05.13.C LIVE/WORK BUILDING TYPE FACADE OPTION 3: DOORYARD (continued)

The following standards apply to the dooryard facade when applied to the Live/Work Building Type:

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DOORYARD: LIVE/WORK BUILDING

DIAGRAM 5.33 FACADE COMPOSITION REQUIREMENTS



FACADE COMPOSITION REQUIREMENTS

Dooryard facade composition shall meet the following requirements and Diagram 5.33.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Dooryard facade shall have 15% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Dooryard facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) shall have 50% minimum clear glass.
- F. Entry door(s) that face primary and secondary streets shall be at-grade (zero-step) and have one of the following treatments:
  - 1. Covered with a roof. Roof shall be supported with columns.
  - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Uncovered with no canopy or roof (as depicted in the graphic).
- G. Optional 24" to 36" horizontal expression line at or near the second floor finish floor line. If used, the horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item H. on this page. Horizontal expression line may contain signage. Refer to Section 23.07.
- H. Facade shall have a 16" to 30" pilaster or wall surface every 18 to 30 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line or bottom of roof eave, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.

**23.05.13.D LIVE/WORK BUILDING TYPE FACADE OPTION 4: STOOP**

The following standards apply to the stoop facade when applied to the Live/Work Building Type:

**STOOP: LIVE/WORK BUILDING****FACADE DESCRIPTION**

The stoop facade is applied to the Live/Work Building Type along the primary and secondary building walls. In the stoop facade, the building walls are at or near the property line, within a Build-to-Zone. The front property line is occasionally defined by a low wall, fence, or hedge, creating a small yard. The yard is not intended to provide public circulation along the rights-of-way, but rather has a sidewalk connecting the building entrance(s) to the public sidewalk. The entry door is raised from the adjacent grade.

**FACADE LOCATION REQUIREMENTS**

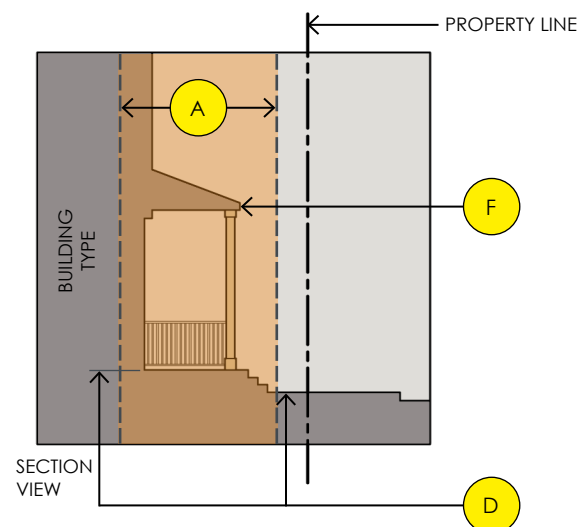
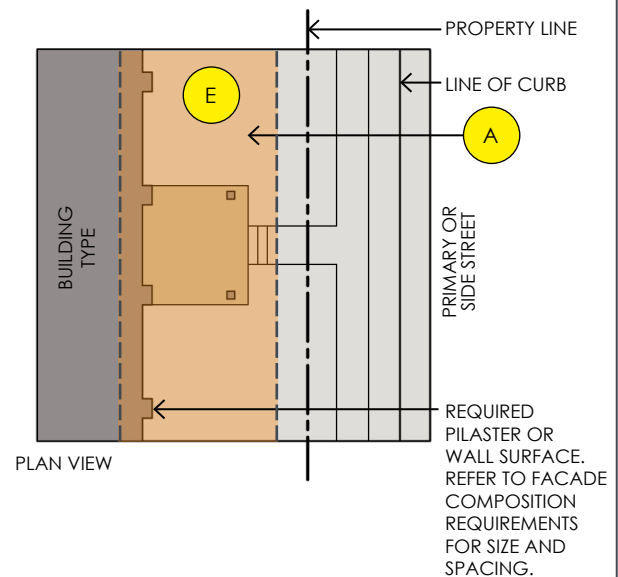
Stoop facade shall be located per the following requirements and Diagram 5.34.

- A. The stoop facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the stoop facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the stoop is within the BTZ.
- B. Primary stoop facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary stoop facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Stoops are not required on the secondary building wall. In instances when stoops are not applied, the secondary building wall shall meet the remaining stoop facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade and accessed by steps and/or ramp.
- E. Ground area between the stoop facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between facade and property line is five (5) feet or less: Ground area may be paved to match public sidewalk.
  2. Distance between facade and property line is greater than five (5) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
  3. At distances greater than twenty (20) feet, the stoop facade shall have one of the following landscape elements placed at the property line, refer to Section 23.03.08:
    - a. A 24" to 36" high garden wall.
    - b. A decorative metal fence that is 42" high maximum.
    - c. A continuous hedge that is maintained at a 42" maximum height.
  4. Ground area may be paved at distances greater than five (5) feet when outdoor seating is proposed per approval of Zoning Administrator. If ground area is paved, landscape elements in E.3 are not required.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



LIVE/WORK BUILDING WITH STOOP FACADE

DIAGRAM 5.34 FACADE LOCATION REQUIREMENTS

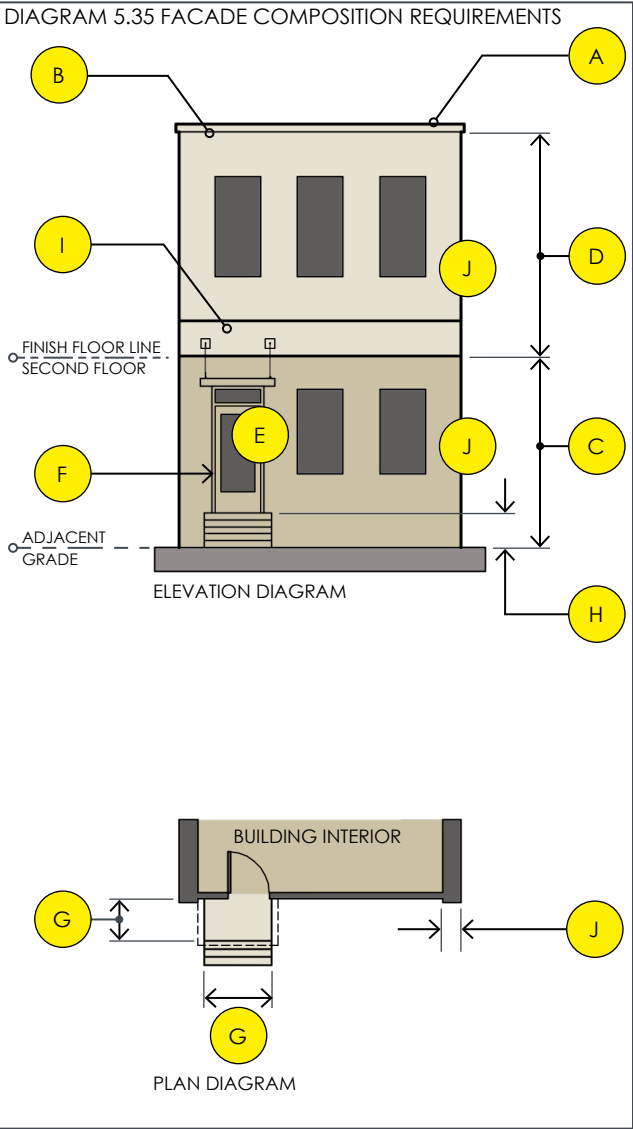


23.05.13.D LIVE/WORK BUILDING TYPE FACADE OPTION 4: **STOOP** (continued)

The following standards apply to the stoop facade when applied to the Live/Work Building Type:

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CONTEXT AREAS AND USE	23.04
BUILDING TYPE STANDARDS	23.05
OFF-STREET PARKING	23.06
SIGN STANDARDS	23.07
FBC DEFINITIONS	23.08

STOOP: LIVE/WORK BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Stoop facade composition shall meet the following requirements and Diagram 5.35.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Stoop facade shall have 15% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Stoop facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) shall have 50% minimum clear glass.
- F. Entry door(s) that face primary and secondary streets shall be elevated above adjacent grade and have one of the following treatments:
  - 1. Covered with a roof. Roof shall be supported with columns.
  - 2. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Uncovered (with no canopy or roof).
- G. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide.
- H. Stoop shall be elevated from adjacent grade a minimum of 6 inches.
- I. Optional 24" to 36" horizontal expression line at or near the second floor finish floor line. If used, the horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item J. on this page. Horizontal expression line may contain signage. Refer to Section 23.07.
- J. Facade shall have a 16" to 30" pilaster or wall surface every 18 to 30 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line or bottom of roof eave, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.



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23.02 APPLICABILITY & PROCEDURES
23.03 GENERAL PROVISIONS
23.04 CONTEXT AREAS AND USE
23.05 BUILDING TYPE STANDARDS
23.06 OFF-STREET PARKING
23.07 SIGN STANDARDS
23.08 FBC DEFINITIONS

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23.05.14 LARGE MULTI-PLEX BUILDING TYPE

The following standards apply to the Large Multi-plex Building Type:

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FBC INTRODUCTION & OVERVIEW
23.01 TITLE, PURPOSE, AND SCOPE
23.02 APPLICABILITY & PROCEDURES
23.03 GENERAL PROVISIONS
23.04 CONTEXT AREAS AND USE
23.05 BUILDING TYPE STANDARDS
23.06 OFF-STREET PARKING
23.07 SIGN STANDARDS
23.08 FBC DEFINITIONS

BUILDING TYPE DESCRIPTION

The Large Multi-plex Building Type is a medium- to large-sized structure that consists of 7 or more stacked and/or side-by-side dwelling units, typically with one shared entry. This Type is scaled to fit in medium-density neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.



EXAMPLES OF LARGE MULTI-PLEX BUILDING TYPE

The following images represent precedent examples of the Large Multi-plex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Large Multi-plex Building within the City of Kentwood Division Avenue Form-Based Code Area.



LARGE MULTI-PLEX BUILDING WITH DOORYARD FACADE



LARGE MULTI-PLEX BUILDING WITH FORECOURT FACADE



LARGE MULTI-PLEX BUILDING WITH STOOP FACADE



LARGE MULTI-PLEX WITH PROJECTING PORCH FACADE

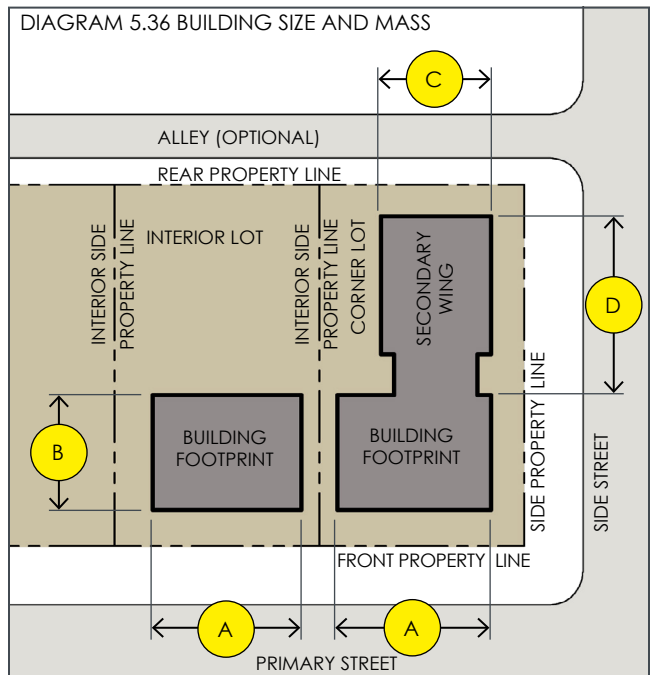
## 23.05.14 LARGE MULTI-PLEX BUILDING TYPE (continued)

The following standards apply to the Large Multi-plex Building Type:

### BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 5.36.

- A. Width of primary building wall at front property line: 80 feet maximum.
- B. Main body building depth: 20 feet min.
- C. Secondary wing building depth: 65 feet max.
- D. Secondary wing building width: 60 feet max.
- E. Maximum site coverage: 70%



### GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.37.

- A. Entrances to ground floor and upper floor units are required at the primary street and shall be directly accessed from and face the primary street.
- B. Entrances to ground floor units and upper floor units at the side street are not required. If side street entries are provided, they shall be directly accessed from and face the side street.
- C. Ground floor and upper floor units are encouraged to be accessed by a common entry and lobby.
- D. Ground floor and upper floor units may also be accessed by a secondary common entry at the rear of the building.

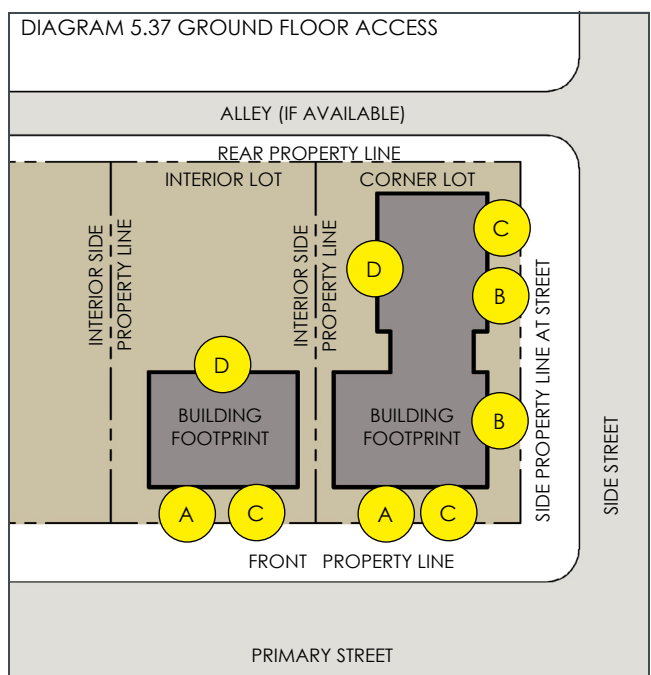


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23.06 OFF-STREET PARKING
23.07 SIGN STANDARDS
23.08 FBC DEFINITIONS

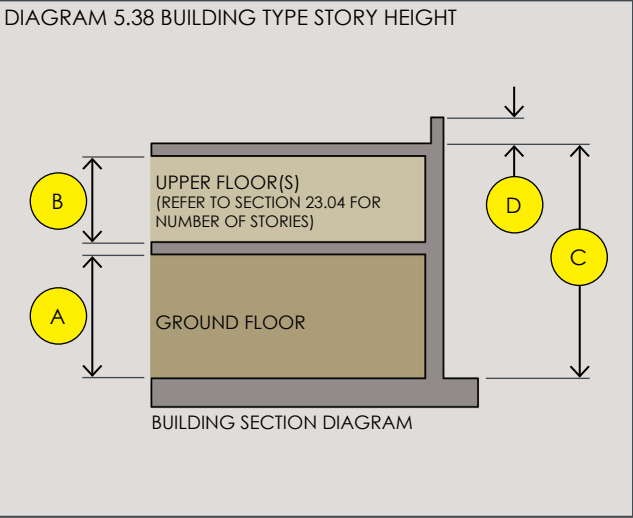


23.05.14 LARGE MULTI-PLEX BUILDING TYPE (continued)

The following standards apply to the Large Multi-plex Building Type:

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BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 5.38.

- A. Ground floor: Floor to ceiling height shall be 10 feet minimum, measured from the finished floor to the finished ceiling or bottom of exposed structural elements.
- B. Upper floors: Floor to ceiling height shall as required by Context Area, refer to Section 23.04.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 23.04.
- D. Parapet height is regulated by Context Area, refer to Section 23.04.

BUILDING TYPE FACADE OPTIONS

The Large Multi-plex Building Type is required to have a minimum of 1 of the following facades at primary and secondary building walls. The Building Type may have a combination of multiple facades on primary and secondary building walls.

Facade options for the Large Multi-plex Building Type are provided in the table below and described on the following pages of this Section.

LARGE MULTI-PLEX BUILDING TYPE	BUILDING TYPE FACADE OPTION	CONTEXT AREAS	
		CG CORRIDOR GENERAL	CE CORRIDOR EDGE
	with FORECOURT (23.05.14.A)	By Right	By Right
	with DOORYARD (23.05.14.B)	By Right	By Right
	with STOOP (23.05.14.C)	By Right	By Right
	with PROJECTING PORCH (23.05.14.D)	By Right	By Right

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.



NUMBER OF UNITS PER BUILDING

- Number of units per Building:
- A. Required total of 7 units minimum.

BUILDING TYPE USE

- Building Type use:
- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.

### 23.05.14.A LARGE MULTI-PLEX BUILDING TYPE FACADE OPTION 1: FORECOURT

The following standards apply to the forecourt facade when applied to the Large Multi-plex Building Type:

#### FORECOURT: LARGE MULTI-PLEX BUILDING

##### FACADE DESCRIPTION

The forecourt facade is applied to the Large Multi-plex Building Type along the primary and secondary building walls, and along building walls facing the courtyard. In the forecourt facade, a majority of the building walls are at or near the property line and the remaining building wall is setback, creating a small courtyard space. The courtyard space may be used as an entry court or shared garden space. The courtyard area is not covered and extends the entire height of the building.

##### FACADE LOCATION REQUIREMENTS

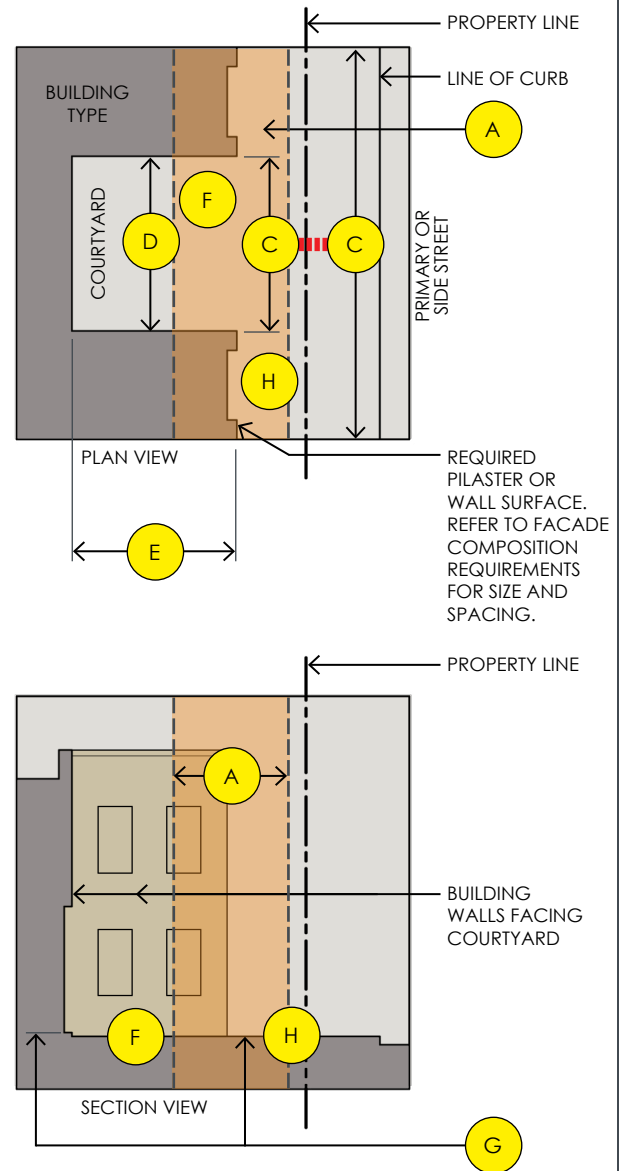
Forecourt facade shall be located per the following requirements and Diagram 5.39.

- A. The forecourt facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Forecourt facade shall extend across 100% of the overall primary and secondary building walls.
  1. Courtyard is not permitted to be placed at both primary and secondary building walls for any single building. On primary or secondary building walls where courtyard is not placed, the ground floor and upper floor building walls shall still meet the forecourt facade composition requirements.
- C. Required courtyard width shall be no more than 50% of the overall primary or secondary building wall width where it is placed.
- D. Required courtyard shall have a width of twelve (12) feet minimum.
- E. Required courtyard shall have a depth of twelve (12) feet minimum.
- F. Courtyard ground area shall be landscaped with sidewalks connecting entrances to public sidewalk. Landscaping shall cover 70% minimum of the courtyard's ground area.
- G. Refer to facade composition requirements for entry door threshold elevation.
- H. Ground area between the forecourt facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between façade and property line is five (5) feet or less: Ground area may be paved to match public sidewalk.
  2. Distance between façade and property line is greater than five (5) feet: Ground area shall be landscaped and have sidewalk(s) connecting the courtyard and/or entry doors to the public sidewalk.
- I. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.
- J. Wells for basement windows are not permitted on primary or secondary building walls.



LARGE MULTI-PLEX BUILDING WITH FORECOURT FACADE

DIAGRAM 5.39 FACADE LOCATION REQUIREMENTS

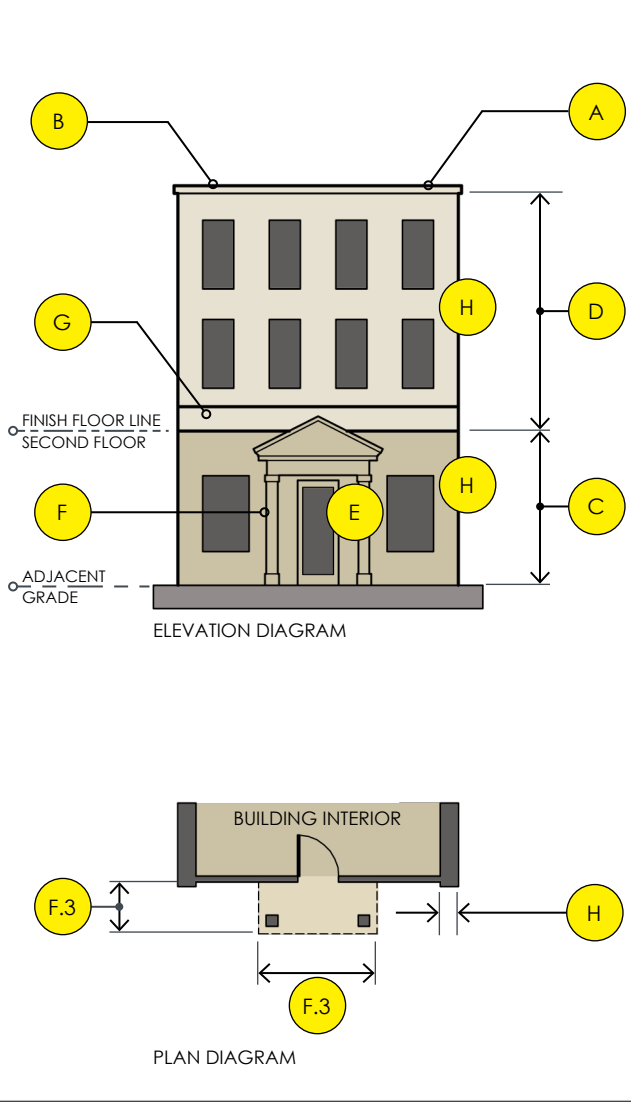


23.05.14.A LARGE MULTI-PLEX BUILDING TYPE FACADE OPTION 1: FORECOURT (continued)

The following standards apply to the forecourt facade when applied to the Large Multi-plex Building Type:

FORECOURT: LARGE MULTI-PLEX BUILDING

DIAGRAM 5.40 FACADE COMPOSITION REQUIREMENTS



**FACADE COMPOSITION REQUIREMENTS**

Forecourt facade composition shall meet the following requirements and Diagram 5.40.

Facade composition requirements apply to primary and secondary building walls, and all walls that face the courtyard.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Forecourt facade shall have 15% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Forecourt facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line.
- E. Entry door(s) shall have 50% minimum clear glass.
- F. Entry door(s) that face primary and secondary streets, and the courtyard may be at-grade or elevated above adjacent grade.
  - 1. At-grade entry doors (zero-step) shall have one of the following treatments:
    - a. Covered with a roof (as depicted in the graphic). Roof shall be supported with columns.
    - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
    - c. Uncovered (with no canopy or roof).
    - d. Recessed in building wall.
  - 2. Elevated entry doors shall have one of the following treatments:
    - a. Covered with a roof. Roof shall be supported with columns.
    - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide. Stoop shall be elevated a minimum of 6 inches above adjacent grade.
- G. Optional 24" to 42" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item H. on this page.
- H. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".



# 23.05.14.B LARGE MULTI-PLEX BUILDING TYPE FACADE OPTION 2: DOORYARD

The following standards apply to the dooryard facade when applied to the Large Multi-plex Building Type:

## DOORYARD: LARGE MULTI-PLEX BUILDING

### FACADE DESCRIPTION

The dooryard facade is applied to the Large Multi-plex Building Type along the primary and secondary building walls. In the dooryard facade, the building walls are at or near the property line, within a Build-to-Zone. The front property line is occasionally defined by a low wall, fence, or hedge, creating a small yard. The yard is not intended to provide public circulation along the rights-of-way, but rather has a sidewalk connecting the building entrances to the public sidewalk. The entry door is at-grade.

### FACADE LOCATION REQUIREMENTS

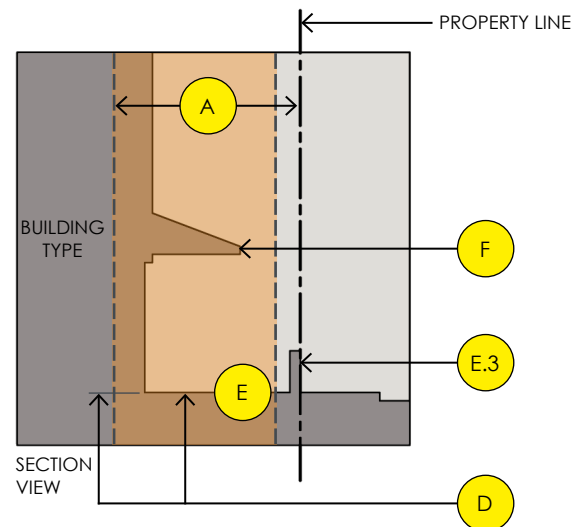
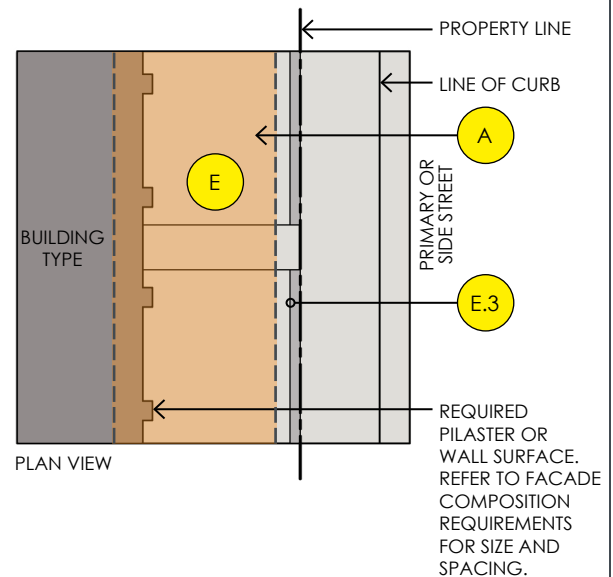
Dooryard facade shall be located per the following requirements and Diagram 5.41.

- A. The dooryard facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary dooryard facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary dooryard facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Doors and related elements are not required on the secondary building wall. In instances when door and door elements are not applied, the secondary building wall shall meet the remaining dooryard facade composition requirements.
- D. Entry door threshold shall be at the same elevation as adjacent sidewalk grade (zero step entry).
- E. Ground area between the dooryard facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between façade and property line is five (5) feet or less: Ground area may be paved to match public sidewalk.
  2. Distance between façade and property line is greater than five (5) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
  3. At distances greater than fifteen (15) feet, the dooryard facade shall have one of the following landscape elements placed at the property line, refer to Section 23.03.08:
    - a. A 24" to 36" high garden wall.
    - b. A decorative metal fence that is 42" high maximum.
    - c. A continuous hedge that is maintained at a 42" maximum height.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



LARGE MULTI-PLEX BUILDING WITH DOORYARD FACADE

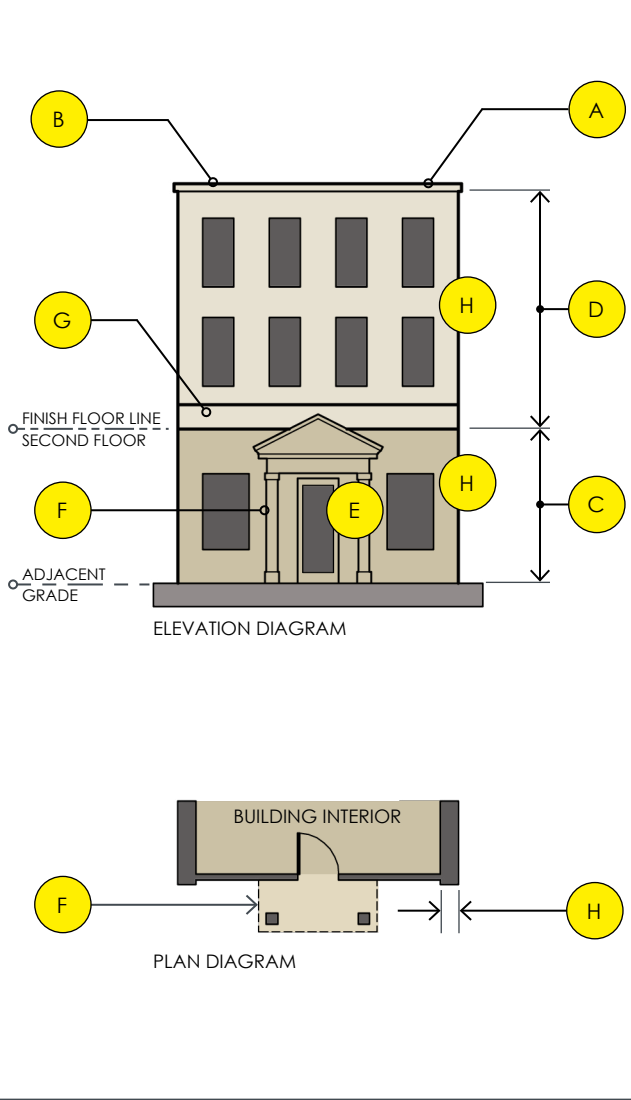
DIAGRAM 5.41 FACADE LOCATION REQUIREMENTS



**23.05.14.B LARGE MULTI-PLEX BUILDING TYPE FACADE OPTION 2: DOORYARD** (continued)  
The following standards apply to the dooryard facade when applied to the Large Multi-plex Building Type:

DOORYARD: LARGE MULTI-PLEX BUILDING

DIAGRAM 5.42 FACADE COMPOSITION REQUIREMENTS



**FACADE COMPOSITION REQUIREMENTS**

Dooryard facade composition shall meet the following requirements and Diagram 5.42.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Dooryard facade shall have 15% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Dooryard facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line.
- E. Entry door(s) shall have 50% minimum clear glass.
- F. Entry door(s) that face primary and secondary streets shall be at-grade (zero-step) and have one of the following treatments:
  - 1. Covered with a roof (as depicted in the graphic). Roof shall be supported with columns.
  - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Uncovered (with no canopy or roof).
  - 4. Recessed in building wall.
- G. Optional 24" to 42" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item H. on this page.
- H. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".

### 23.05.14.C LARGE MULTI-PLEX BUILDING TYPE FACADE OPTION 3: STOOP

The following standards apply to the stoop facade when applied to the Large Multi-plex Building Type:

#### STOOP: LARGE MULTI-PLEX BUILDING

##### FACADE DESCRIPTION

The stoop facade is applied to the Large Multi-plex Building Type along the primary and secondary building walls. In the stoop facade, the building walls are at or near the property line, within a Build-to-Zone. The front property line is occasionally defined by a low wall, fence, or hedge, creating a small yard. The yard is not intended to provide public circulation along the rights-of-way, but rather has a sidewalk connecting the building entrance(s) to the public sidewalk. The entry door is raised from the adjacent grade.

##### FACADE LOCATION REQUIREMENTS

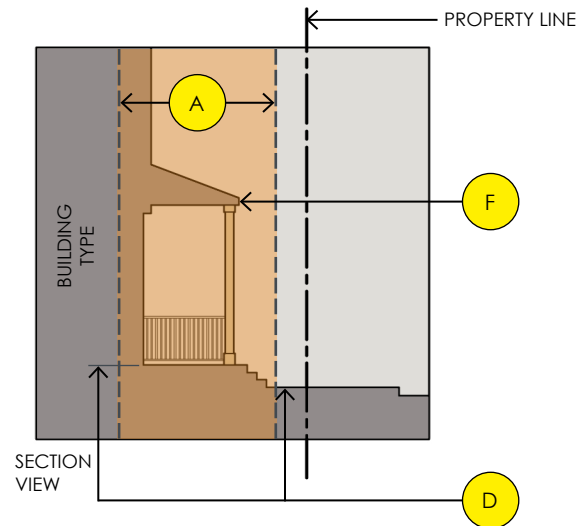
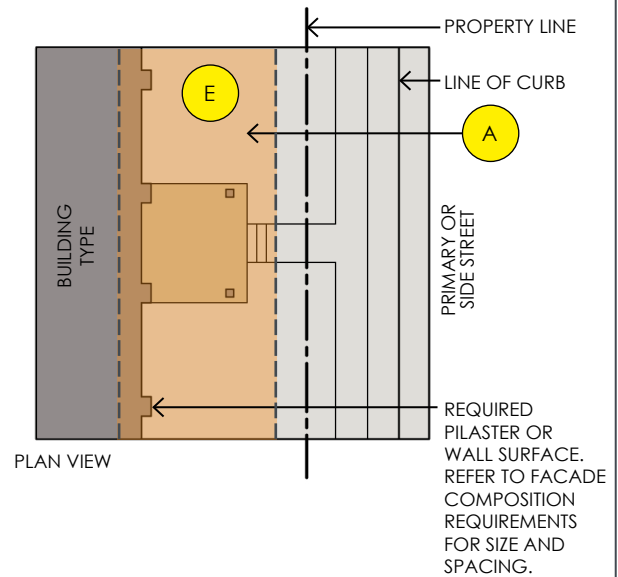
Stoop facade shall be located per the following requirements and Diagram 5.43.

- A. The stoop facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the stoop facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the stoop is within the BTZ.
- B. Primary stoop facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary stoop facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Stoops are not required on the secondary building wall. In instances when stoops are not applied, the secondary building wall shall meet the remaining stoop facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade.
- E. Ground area between the stoop facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between facade and property line is five (5) feet or less: Ground area may be paved to match public sidewalk.
  2. Distance between facade and property line is greater than five (5) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
  3. At distances greater than fifteen (15) feet, the stoop facade shall have one of the following landscape elements placed at the property line, refer to Section 23.03.08:
    - a. A 24" to 36" high garden wall.
    - b. A decorative metal fence that is 42" high maximum.
    - c. A continuous hedge that is maintained at a 42" maximum height.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



LARGE MULTI-PLEX BUILDING WITH STOOP FACADE

DIAGRAM 5.43 FACADE LOCATION REQUIREMENTS

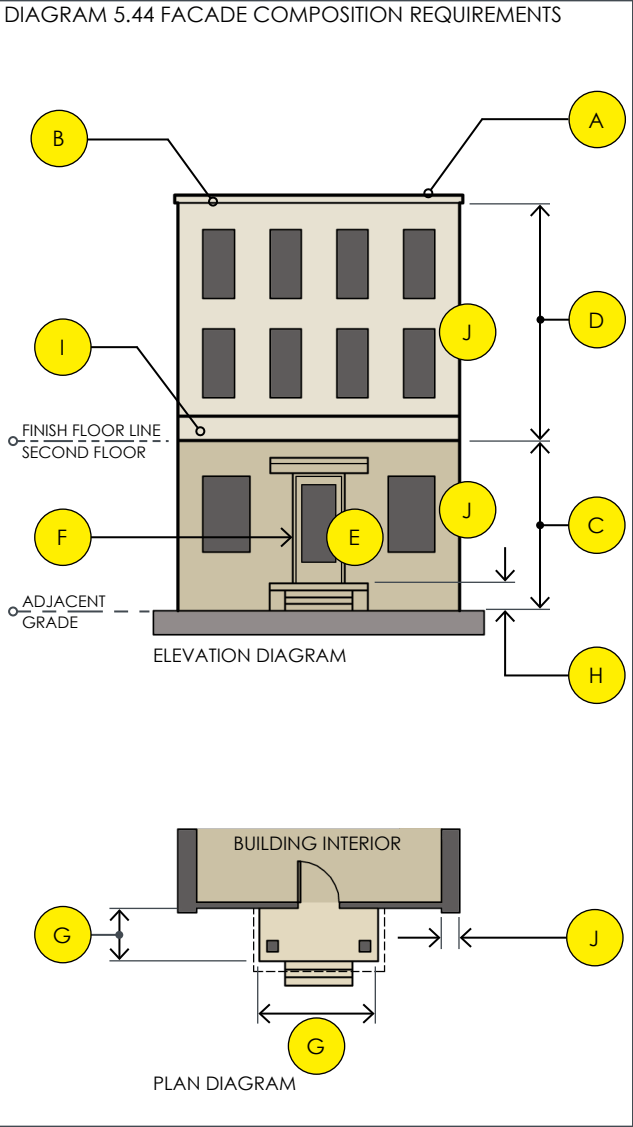




23.05.14.C LARGE MULTI-PLEX BUILDING TYPE FACADE OPTION 3: **STOOP** (continued)

The following standards apply to the stoop facade when applied to the Large Multi-plex Building Type:

STOOP: LARGE MULTI-PLEX BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Stoop facade composition shall meet the following requirements and Diagram 5.44.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Stoop facade shall have 15% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Stoop facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line.
- E. Entry door(s) shall have 50% minimum clear glass.
- F. Entry door(s) that face primary and secondary streets shall be elevated above adjacent grade and have one of the following treatments:
  - 1. Covered with a roof. Roof shall be supported with columns.
  - 2. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Uncovered (with no canopy or roof).
- G. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide.
- H. Stoop shall be elevated a minimum of 12 inches above adjacent grade.
- I. Optional 24" to 42" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item J. on this page.
- J. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".

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The following standards apply to the projecting porch facade when applied to the Large Multi-plex Building Type:

## FACADE DESCRIPTION

A large, multi-story brick building with a projecting porch facade, identified as a large multi-plex. The building features multiple windows and a prominent entrance area. A car is parked in front of the building, and a traffic light is visible on the right side of the image. The text "LARGE MULTI-PLEX WITH PROJECTING PORCH FACADE" is overlaid at the bottom of the image.

Projecting Porch facade shall be located per the following requirements and Diagram 5.46.

- #### DIAGRAM 5.46 FACADE LOCATION REQUIREMENTS

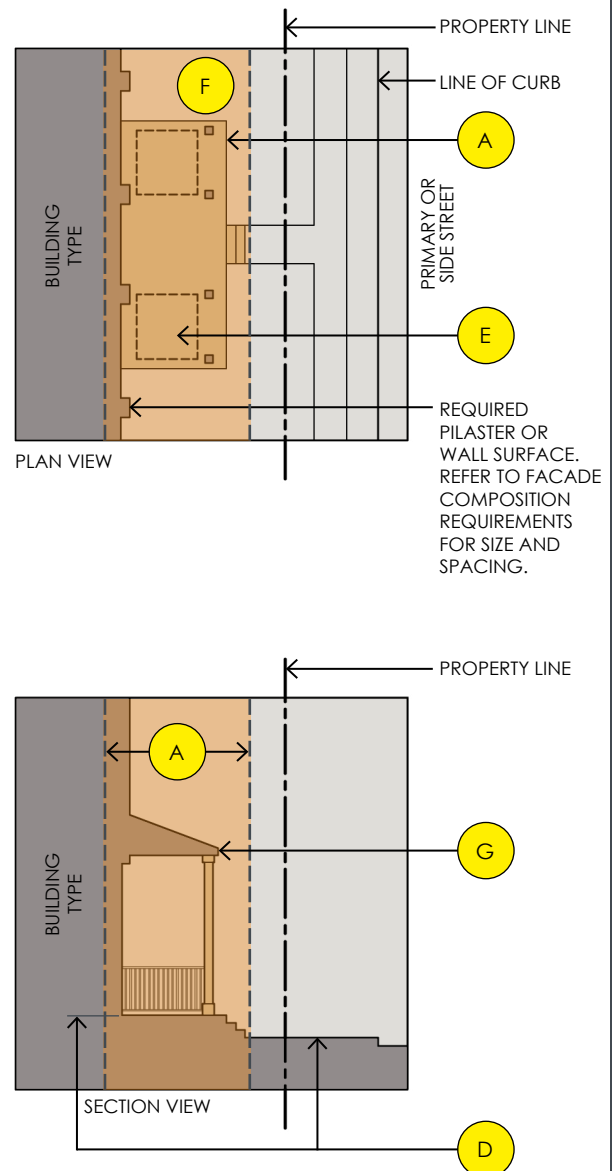
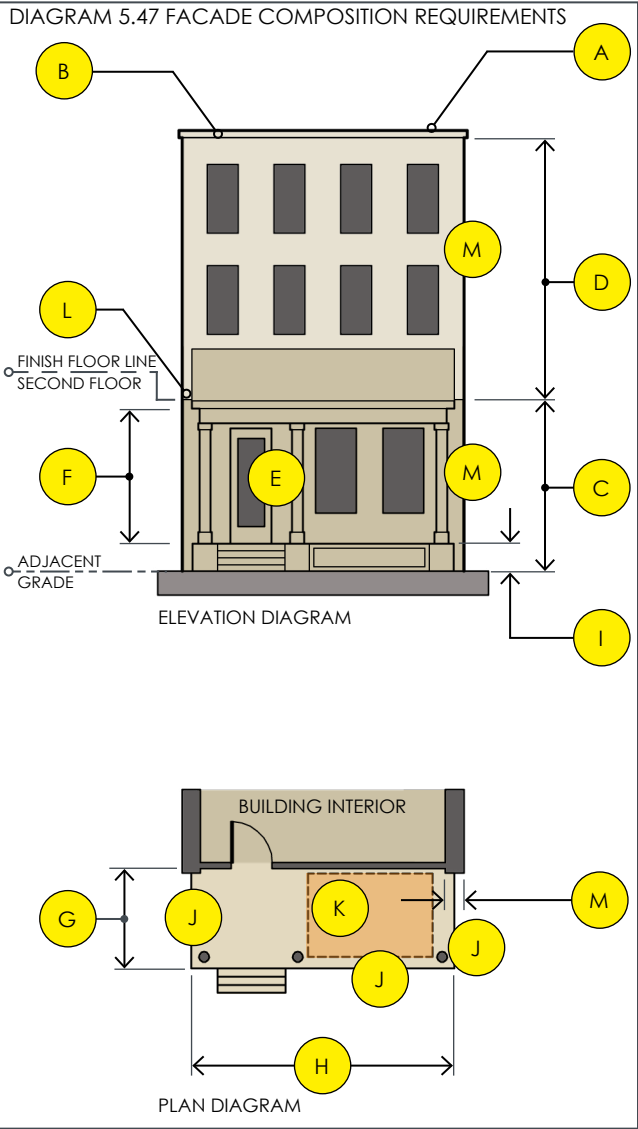


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23.05.14.D LARGE MULTI-PLEX BUILDING TYPE FACADE OPTION 4: PROJECTING PORCH (continued)

The following standards apply to the projecting porch facade when applied to the Large Multi-plex Building Type:

PROJECTING PORCH: LARGE MULTI-PLEX BUILDING



FACADE COMPOSITION REQUIREMENTS

Projecting porch facade composition shall meet the following requirements and Diagram 5.47.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Projecting porch facade shall have 15% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Projecting porch facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line.
- E. Entry door(s) shall have 50% minimum clear glass.
- F. Height of porch ceiling, measured from porch floor to porch ceiling shall be 8 feet minimum.
- G. Width of projecting porch shall be 8 feet minimum.
- H. Length of projecting porch shall be 10 feet minimum.
- I. Projecting porch shall be elevated a minimum of 24 inches above the adjacent grade.
- J. Projecting porch shall be open on three sides (no walls on three sides).
- K. Projecting porch shall have a clear area for seating or furniture that is 4 feet x 6 feet minimum.
- L. Optional 24" to 42" horizontal expression line at or near the finish floor line of the second floor (not depicted on graphic). Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item M. on this page.
- M. Facade shall have a 16" to 32" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to cornice expression line, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18".



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23.05.15 SMALL MULTI-PLEX BUILDING TYPE

The following standards apply to the Small Multi-plex Building Type:

BUILDING TYPE DESCRIPTION

The Small Multi-plex Building Type is a medium-sized structure that consists of 3 to 12 stacked and/or side-by-side dwelling units, typically with one shared entry or individual entries along the front. This Type oftentimes has the appearance of a large single-family house and is scaled to fit in single family neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.



EXAMPLES OF SMALL MULTI-PLEX BUILDING TYPE

The following images represent precedent examples of the Small Multi-plex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Small Multi-plex Building within the City of Kentwood Division Avenue Form-Based Code Area.



SMALL MULTI-PLEX WITH PROJECTING PORCH FACADE



SMALL MULTI-PLEX BUILDING WITH FORECOURT FACADE



SMALL MULTI-PLEX BUILDING WITH STOOP FACADE



SMALL MULTI-PLEX WITH ENGAGED PORCH FACADE



## SECTION 23.05 BUILDING TYPE STANDARDS

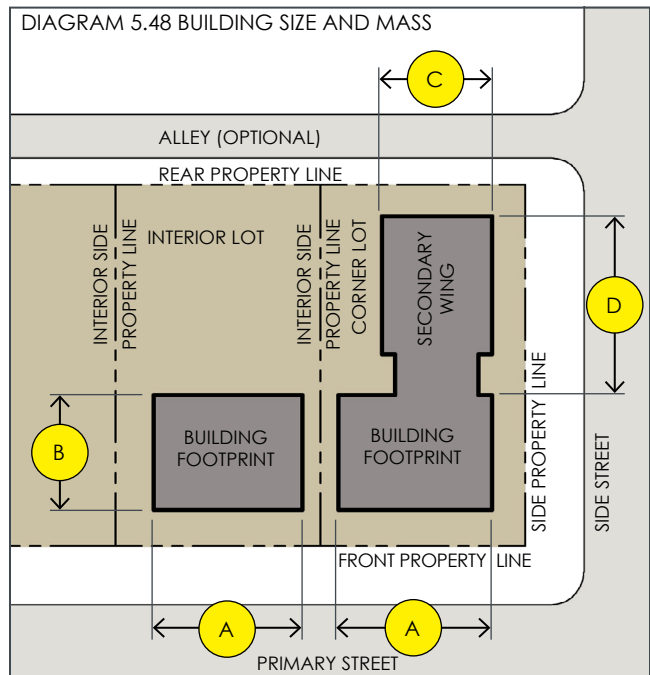
### 23.05.15 SMALL MULTI-PLEX BUILDING TYPE (continued)

The following standards apply to the Small Multi-plex Building Type:

#### BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 5.48.

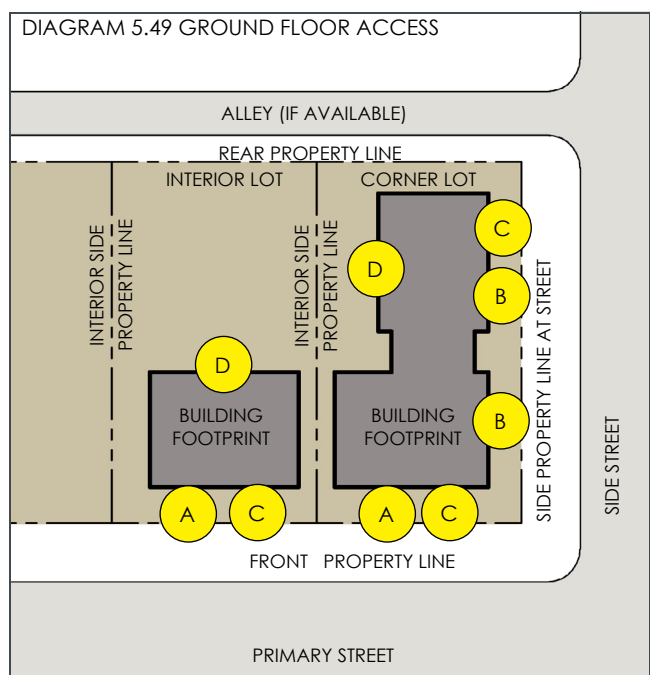
- A. Width of primary building wall at front property line: 60 feet maximum.
- B. Main body building depth: 20 feet min.
- C. Secondary wing building depth: 30 feet max.
- D. Secondary wing building width: 40 feet max.
- E. Maximum site coverage: 70%



#### GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.49.

- A. Entrances to ground floor and upper floor units are required at the primary street and shall be directly accessed from and face the primary street.
- B. Entrances to ground floor unit and upper floor units at the side street are not required. If side street entries are provided, they shall be directly accessed from and face the side street.
- C. Ground floor and upper floor units are encouraged to be accessed by a common entry and lobby.
- D. Ground floor and upper floor units may also be accessed by a secondary common entry at the rear of the building.



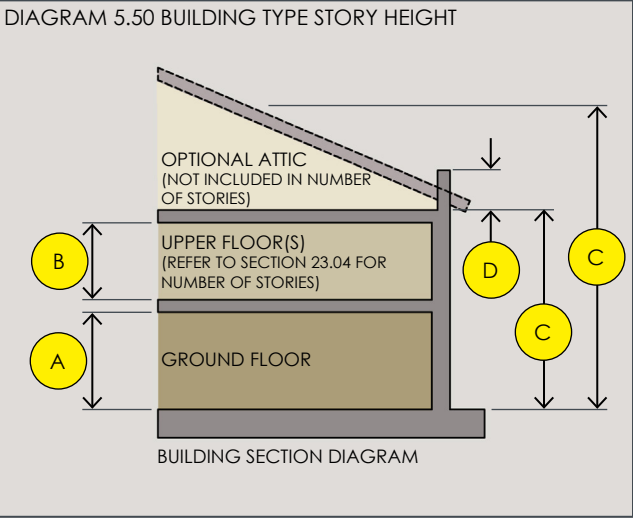


23.05.15 SMALL MULTI-PLEX BUILDING TYPE (continued)

The following standards apply to the Small Multi-plex Building Type:

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BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 5.50.

- A. Ground floor: Floor to ceiling height shall be 10 feet minimum, measured from the finished floor to the finished ceiling or bottom of exposed structural elements.
- B. Upper floors: Floor to ceiling height shall as required by Context Area, refer to Section 23.04.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 23.04.
- D. Parapet height is regulated by Context Area, refer to Section 23.04.

BUILDING TYPE FACADE OPTIONS

The Small Multi-plex Building Type is required to have 1 of the following facades at primary and secondary building walls.

Facade options for the Small Multi-plex Building Type are provided in the table below and described on the following pages of this Section.

SMALL MULTI-PLEX BUILDING TYPE	BUILDING TYPE FACADE OPTION	CONTEXT AREAS	
		CG CORRIDOR GENERAL	CE CORRIDOR EDGE
	with FORECOURT (23.05.15.A)		By Right
	with STOOP (23.05.15.B)		By Right
	with PROJECTING PORCH (23.05.15.C)		By Right
	with ENGAGED PORCH (23.05.15.D)		By Right

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.



NUMBER OF UNITS PER BUILDING

Number of units per Building:

- A. Required total of 3 units minimum, 12 units maximum.

BUILDING TYPE USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.

### 23.05.15.A SMALL MULTI-PLEX BUILDING TYPE FACADE OPTION 1: FORECOURT

The following standards apply to the forecourt facade when applied to the Small Multi-plex Building Type:

#### FORECOURT: SMALL MULTIPLEX BUILDING

##### FACADE DESCRIPTION

The forecourt facade is applied to the Small Multi-plex Building Type along the primary and secondary building walls, and along building walls facing the courtyard. In the forecourt facade, a majority of the building walls are at or near the property line and the remaining building wall is setback, creating a small courtyard space. The courtyard space may be used as an entry court or shared garden space. The courtyard area is not covered and extends the entire height of the building.

##### FACADE LOCATION REQUIREMENTS

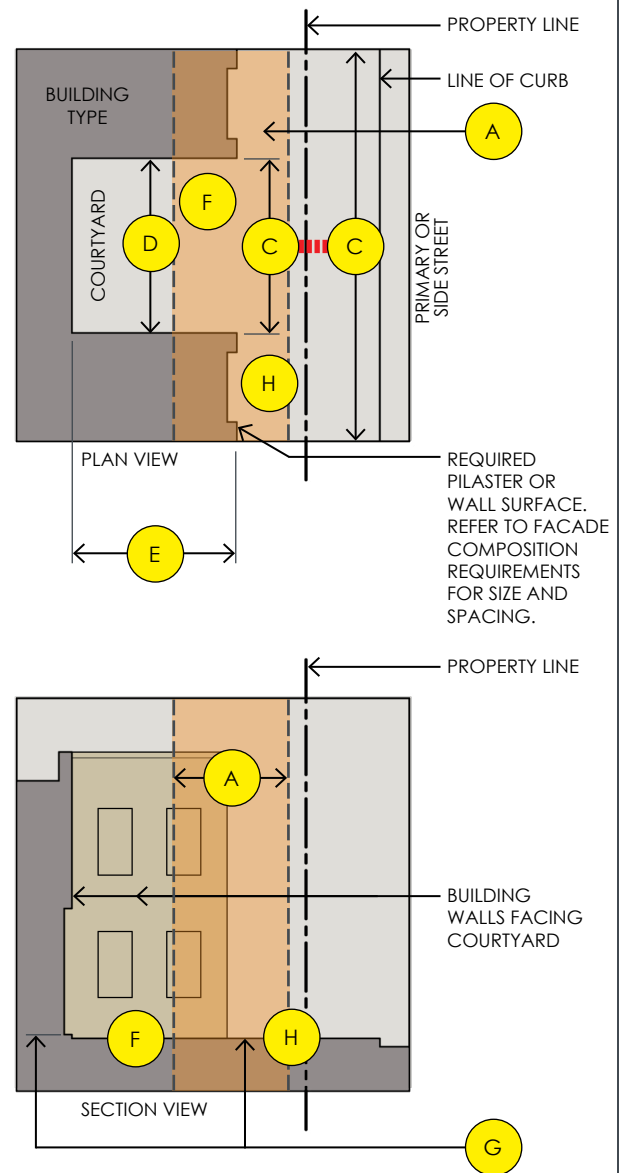
Forecourt facade shall be located per the following requirements and Diagram 5.51.

- A. The forecourt facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Forecourt facade shall extend across 100% of the overall primary and secondary building walls.
  1. Courtyard is not permitted to be placed at both primary and secondary building walls for any single building. On primary or secondary building walls where courtyard is not placed, the ground floor and upper floor building walls shall still meet the forecourt facade composition requirements
- C. Required courtyard width shall be no more than 50% of the overall primary or secondary building wall width where it is placed.
- D. Required courtyard shall have a width of ten (10) feet minimum.
- E. Required courtyard shall have a depth of ten (10) feet minimum.
- F. Courtyard ground area shall be landscaped with sidewalks connecting entrances to public sidewalk. Landscaping shall cover 70% minimum of the courtyard's ground area.
- G. Refer to facade composition requirements for entry door threshold elevation.
- H. Ground area between the forecourt facade and public sidewalk shall be landscaped and have sidewalk(s) connecting the courtyard and/or entry doors to the public sidewalk.
- I. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.
- J. Wells for basement windows are not permitted on primary building walls.



SMALL MULTI-PLEX BUILDING WITH FORECOURT FACADE

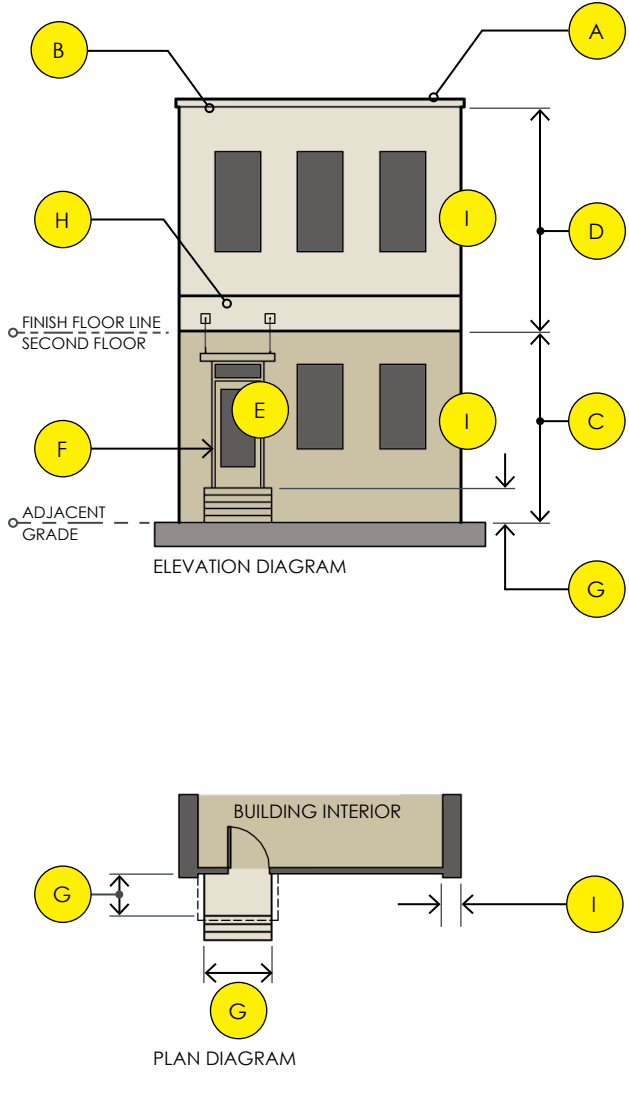
DIAGRAM 5.51 FACADE LOCATION REQUIREMENTS



**23.05.15.A SMALL MULTI-PLEX BUILDING TYPE FACADE OPTION 1: FORECOURT** (continued)  
The following standards apply to the forecourt facade when applied to the Small Multi-plex Building Type:

FORECOURT: SMALL MULTIPLEX BUILDING

DIAGRAM 5.52 FACADE COMPOSITION REQUIREMENTS



**FACADE COMPOSITION REQUIREMENTS**

Forecourt facade composition shall meet the following requirements and Diagram 5.52.

Facade composition requirements apply to primary and secondary building walls, and all walls that face the courtyard.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Forecourt facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Forecourt facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) are not required to have transparency.
- F. Entry door(s) that face primary and secondary streets, and the courtyard may be at-grade or elevated above adjacent grade.
  - 1. At-grade entry doors (zero-step) shall have one of the following treatments:
    - a. Covered with a roof. Roof shall be supported with columns.
    - b. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
    - c. Uncovered (with no canopy or roof).
    - d. Recessed in building wall.
  - 2. Elevated entry doors shall have one of the following treatments:
    - a. Covered with a roof. Roof shall be supported with columns.
    - b. Covered with a canopy (as depicted in graphic). Canopy shall be cantilevered or supported by brackets or cables.
- G. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide. Stoop shall be elevated a minimum of 12 inches above adjacent grade.
- H. Optional 24" to 36" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item I. on this page.
- I. Facade shall have a 16" to 30" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to bottom of cornice expression line or bottom of roof eave, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.



**23.05.15.B SMALL MULTI-PLEX BUILDING TYPE FACADE OPTION 2: STOOP**

The following standards apply to the stoop facade when applied to the Small Multi-plex Building Type:

**STOOP: SMALL MULTI-PLEX BUILDING****FACADE DESCRIPTION**

The stoop facade is applied to the Small Multi-plex Building Type along the primary and secondary building walls. In the stoop facade, the building walls are at or near the property line, within a Build-to-Zone. The yard is not intended to provide public circulation along the rights-of-way, but rather has a sidewalk connecting the building entrance(s) to the public sidewalk. The entry door is raised from the adjacent grade.

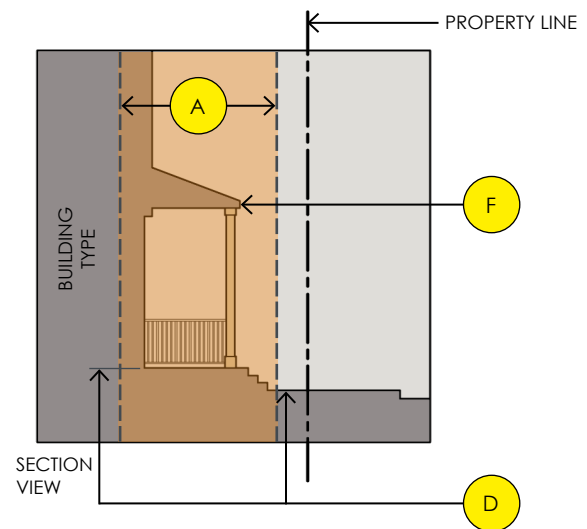
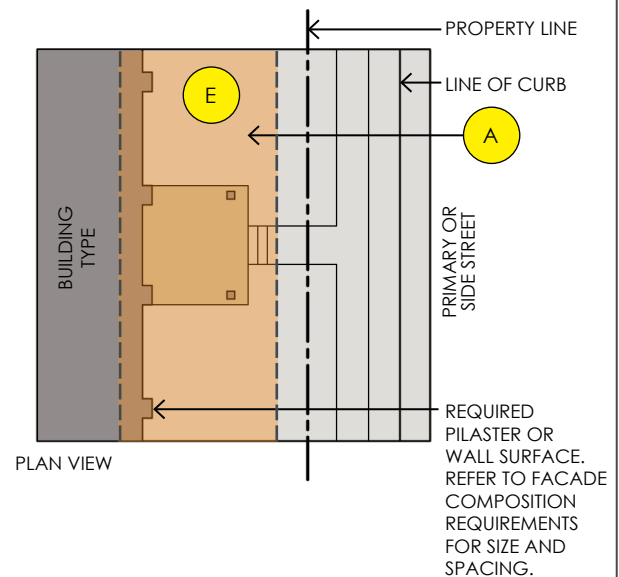
**FACADE LOCATION REQUIREMENTS**

Stoop facade shall be located per the following requirements and Diagram 5.53.

- A. The stoop facade is required to be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the stoop facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the stoop is within the BTZ.
- B. Primary stoop facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary stoop facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Stoops are not required on the secondary building wall. In instances when stoops are not applied, the secondary building wall shall meet the remaining stoop facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade.
- E. Ground area between the stoop facade and public sidewalk shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



DIAGRAM 5.53 FACADE LOCATION REQUIREMENTS

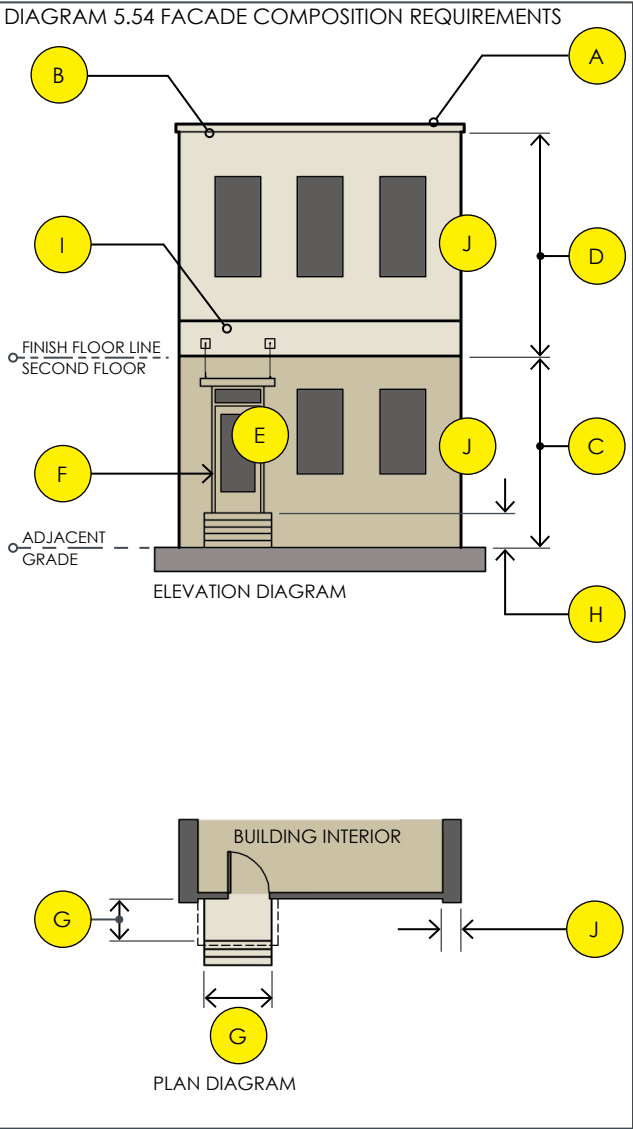


23.05.15.B SMALL MULTI-PLEX BUILDING TYPE FACADE OPTION 2: **STOOP** (continued)

The following standards apply to the stoop facade when applied to the Small Multi-plex Building Type:

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STOOP: SMALL MULTI-PLEX BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Stoop facade composition shall meet the following requirements and Diagram 5.54.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Stoop facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Stoop facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) are not required to have transparency.
- F. Entry door(s) that face primary and secondary streets shall be elevated above adjacent grade and have one of the following treatments:
  - 1. Covered with a roof. Roof shall be supported with columns.
  - 2. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Uncovered (with no canopy or roof).
- G. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide.
- H. Stoop shall be elevated a minimum of 12 inches above adjacent grade.
- I. Optional 24" to 36" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item J. on this page.
- J. Facade shall have a 16" to 30" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to bottom of cornice expression line or bottom of roof eave, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.

The following standards apply to the projecting porch facade when applied to the Small Multi-plex Building Type:

## FACADE DESCRIPTION

SMALL MULTI-PLEX WITH PROJECTING PORCH FACADE

### DIAGRAM 5.55 FACADE LOCATION REQUIREMENTS

Diagram illustrating the facade composition requirements for a building facade, showing the relationship between the building type, property line, line of curb, primary or side street, and required pilaster or wall surface.

The diagram is a plan view showing a building facade (shaded gray) adjacent to a street (shaded light gray). The building facade is divided into sections by vertical lines, with dashed lines indicating required pilaster or wall surface locations. The street is labeled "PRIMARY OR SIDE STREET".

Key elements and labels:

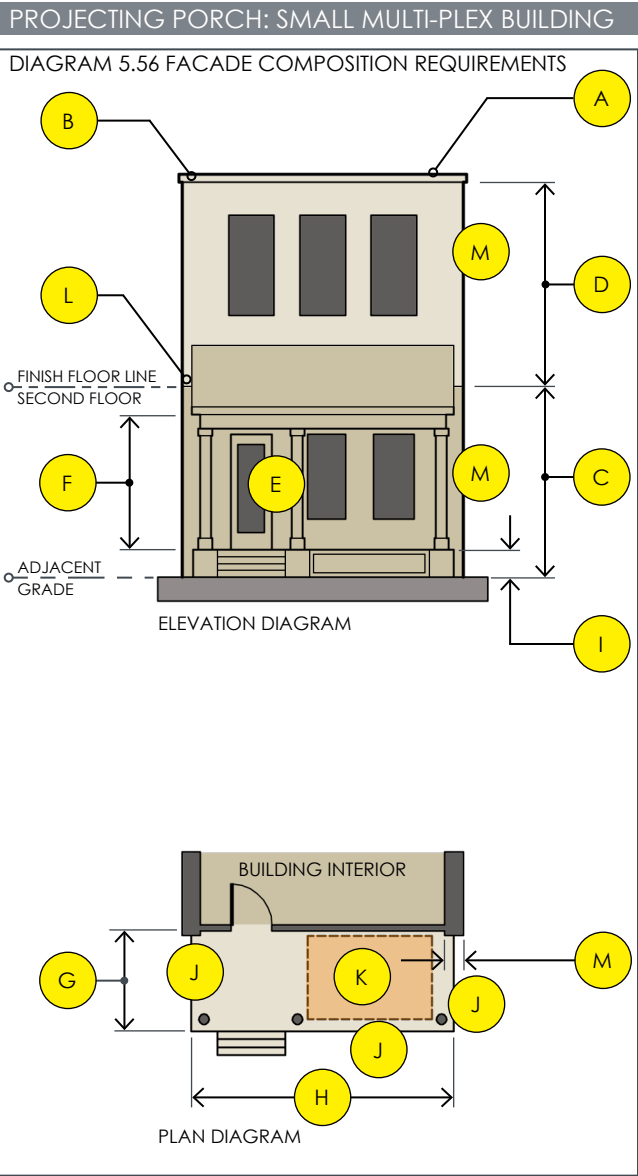
- PROPERTY LINE:** Indicated by a dashed line.
- LINE OF CURB:** Indicated by a solid line.
- REQUIRED PILASTER OR WALL SURFACE:** Indicated by dashed lines within the building facade.
- PLAN VIEW:** The overall view of the facade composition.
- Labels A, E, F:** Yellow circles with black letters, likely identifying specific facade elements or sections.

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**23.05.15.C SMALL MULTI-PLEX BUILDING TYPE FACADE OPTION 3: PROJECTING PORCH** (continued)  
The following standards apply to the projecting porch facade when applied to the Small Multi-plex Building Type:



**FACADE COMPOSITION REQUIREMENTS**

Projecting porch facade composition shall meet the following requirements and Diagram 5.56.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Projecting porch facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Projecting porch facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) are not required to have transparency.
- F. Height of porch ceiling, measured from porch floor to porch ceiling shall be 8 feet minimum.
- G. Width of projecting porch shall be 8 feet minimum.
- H. Length of projecting porch shall be 10 feet minimum.
- I. Projecting porch shall be elevated a minimum of 24 inches above adjacent grade.
- J. Projecting porch shall be open on three sides (no walls on three sides).
- K. Projecting porch shall have a clear area for seating or furniture that is 4 feet x 6 feet minimum.
- L. Optional 24" to 36" horizontal expression line at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item M. on this page.
- M. Facade shall have a 16" to 30" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to bottom of cornice expression line or bottom of roof eave, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.

### 23.05.15.D SMALL MULTI-PLEX BUILDING TYPE FACADE OPTION 4: ENGAGED PORCH

The following standards apply to the engaged porch facade when applied to the Small Multi-plex Building Type:

#### ENGAGED PORCH: SMALL MULTI-PLEX BUILDING

##### FACADE DESCRIPTION

The engaged porch facade is applied to the Small Multi-plex Building Type along the primary and secondary building walls. In the engaged porch facade, the building walls are at or near the property line, within a Build-to-Zone. The entry door is raised from the adjacent grade and accessed by a front porch that is open on two sides and enclosed by two adjacent building walls. The engaged porch is built into the overall mass of the building, rather than projecting from the building.

##### FACADE LOCATION REQUIREMENTS

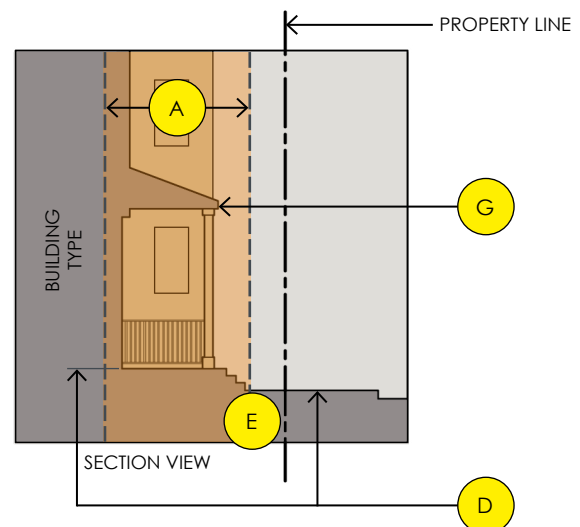
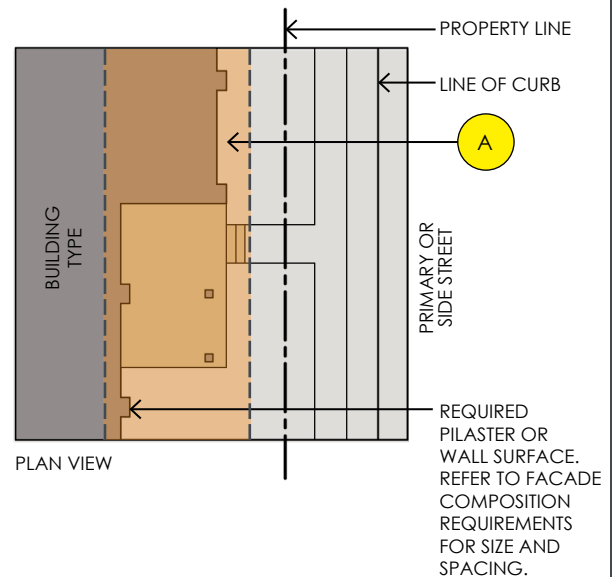
Engaged Porch facade shall be located per the following requirements and Diagram 5.57.

- A. The engaged porch facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary engaged porch facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary engaged porch facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Porches are not required on the secondary building wall. In instances when porches are not applied, the secondary building wall shall meet the remaining engaged porch facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade.
- E. Ground area between the projecting porch facade and public sidewalk shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



SMALL MULTI-PLEX WITH ENGAGED PORCH FACADE

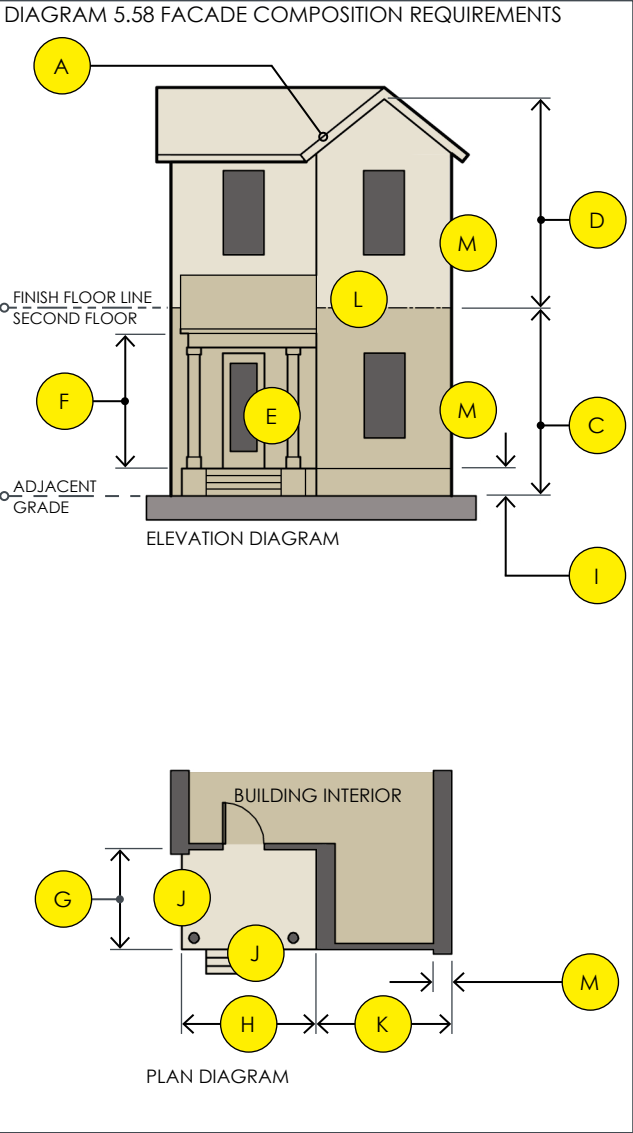
DIAGRAM 5.57 FACADE LOCATION REQUIREMENTS



23.05.15.D SMALL MULTI-PLEX BUILDING TYPE FACADE OPTION 4: **ENGAGED PORCH** (continued)

The following standards apply to the engaged porch facade when applied to the Small Multi-plex Building Type:

ENGAGED PORCH: SMALL MULTI-PLEX BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Engaged porch facade composition shall meet the following requirements and Diagram 5.58.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Projecting porch facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Projecting porch facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) are not required to have transparency.
- F. Height of porch ceiling, measured from porch floor to porch ceiling shall be 8 feet minimum.
- G. Width of projecting porch shall be 6 feet minimum.
- H. Length of projecting porch shall be 6 feet minimum.
- I. Projecting porch shall be elevated a minimum of 24 inches above adjacent grade.
- J. Projecting porch shall be open on two sides (no walls on two sides).
- K. When engaged porch is used at primary or secondary building wall, a minimum of 50% of the primary and/or secondary building wall shall project either beyond the line of porch columns or be flush with the porch columns.
- L. Optional 24" to 36" horizontal expression line (not depicted on graphic) at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item M. on this page.
- M. Facade shall have a 16" to 30" pilaster or wall surface every 20 to 40 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to bottom of cornice expression line or bottom of roof eave, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.

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23.03 GENERAL PROVISIONS
23.04 CONTEXT AREAS AND USE
23.05 BUILDING TYPE STANDARDS
23.06 OFF-STREET PARKING
23.07 SIGN STANDARDS
23.08 FBC DEFINITIONS

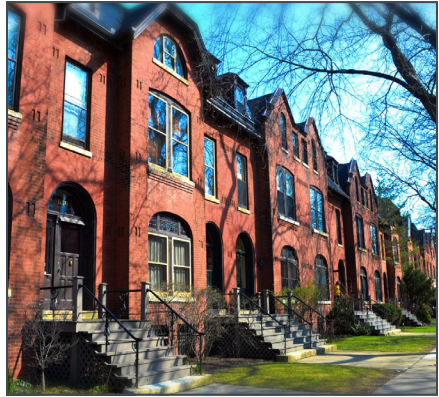
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23.05.16 ROWHOUSE BUILDING TYPE

The following standards apply to the Rowhouse Building Type:

BUILDING TYPE DESCRIPTION

The Rowhouse Building Type is a small- to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing missing middle housing types within a walkable context.



EXAMPLES OF ROWHOUSE BUILDING TYPE

The following images represent precedent examples of the Rowhouse Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Rowhouse Building within the City of Kentwood Division Avenue Form-Based Code Area.



ROWHOUSE BUILDINGS WITH LIGHTWELL FACADES



ROWHOUSE BUILDINGS WITH PROJECTING PORCH FACADES



ROWHOUSE BUILDINGS WITH STOOP FACADES



ROWHOUSE BUILDINGS WITH STOOP FACADES

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23.06 OFF-STREET PARKING

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23.08 FBC DEFINITIONS



## 23.05.16 ROWHOUSE BUILDING TYPE (continued)

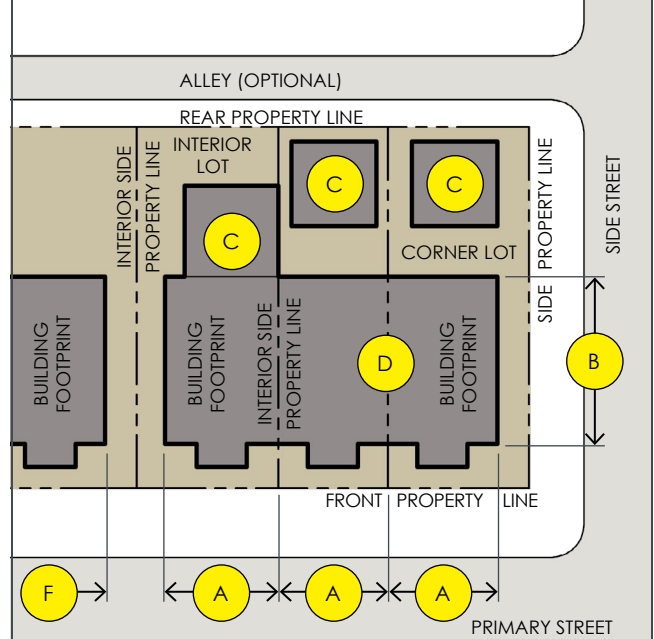
The following standards apply to the Rowhouse Building Type:

### BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 5.59.

- A. Width of primary building wall at front property line: 18 feet minimum, 30 feet maximum.
- B. Building depth: 20 feet minimum.
- C. Building may have an attached or detached garage located in the rear of the building and accessed per the parking access requirements in Section 23.04 for the Context Area.
- D. Rowhouse buildings shall be attached to adjacent Rowhouse buildings to form a continuous row of buildings at primary and/or secondary street. Separation may be with an individual lot property line or via an attached condominium.
- E. Attached units of Rowhouse buildings that create a continuous row of buildings shall be a minimum of 2 units and a maximum of 8 units.
- F. A minimum 10 foot separation is required between attached rows of buildings.
- G. Maximum site coverage: 80%, including garage.

DIAGRAM 5.59 BUILDING SIZE AND MASS

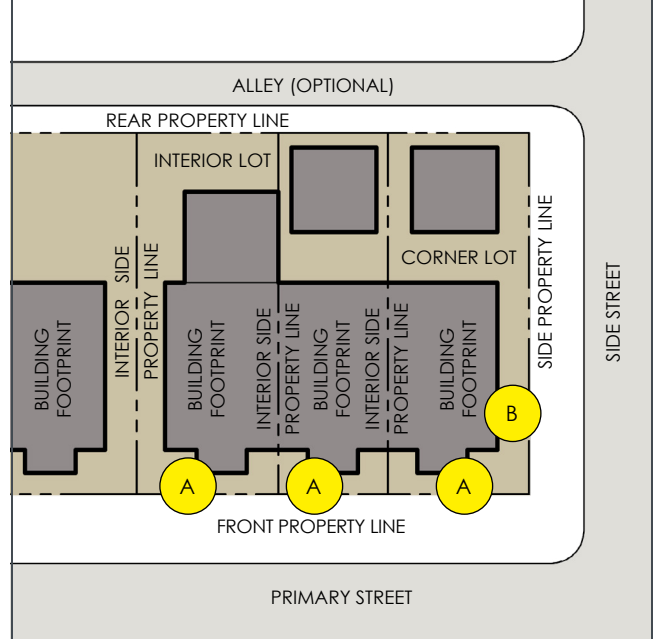


### GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.60.

- A. Entrances to rowhouse units are required at the primary street and shall be directly accessed from and face the primary street.
- B. Entrances to rowhouse units at the side street are not required. If side street entries are provided, they shall be directly accessed from and face the side street.

DIAGRAM 5.60 GROUND FLOOR ACCESS



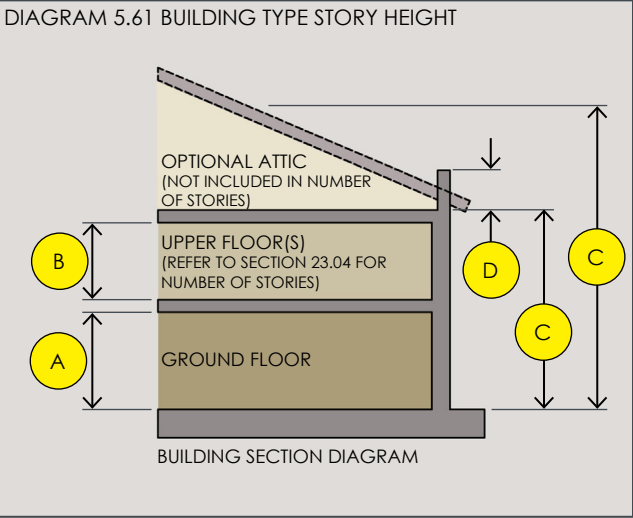


23.05.16 ROWHOUSE BUILDING TYPE (continued)

The following standards apply to the Rowhouse Building Type:

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BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 5.61.

- A. Ground floor: Floor to ceiling height shall be 10 feet minimum, measured from the finished floor to the finished ceiling or bottom of exposed structural elements.
- B. Upper floors: Floor to ceiling height shall as required by Context Area, refer to Section 23.04.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 23.04.
- D. Parapet height is regulated by Context Area, refer to Section 23.04.

BUILDING TYPE FACADE OPTIONS

The Rowhouse Building Type is required to have a minimum of 1 of the following facades at primary and secondary building walls. The Building Type may have a combination of multiple facades on primary and secondary building walls.

Facade options for the Rowhouse Building Type are provided in the table below and described on the following pages of this Section.

ROWHOUSE BUILDING TYPE	BUILDING TYPE FACADE OPTION	CONTEXT AREAS	
		CG CORRIDOR GENERAL	CE CORRIDOR EDGE
	with LIGHTWELL (23.05.16.A)		By Right
	with STOOP (23.05.16.B)		By Right
	with PROJECTING PORCH (23.05.16.C)		By Right

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.



NUMBER OF UNITS PER BUILDING

- Number of units per Building:
- A. Maximum of 1 unit per individual rowhouse building.

BUILDING TYPE USE

- Building Type use:
- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.

### 23.05.16.A ROWHOUSE BUILDING TYPE FACADE OPTION 1: LIGHTWELL

The following standards apply to the lightwell facade when applied to the Rowhouse Building Type:

#### LIGHTWELL: ROWHOUSE BUILDING

##### FACADE DESCRIPTION

The lightwell facade is applied to the Rowhouse Building Type along the primary and secondary building walls. In the lightwell facade, the building walls are at or near the property line, within a Build-to-Zone. The facade has a combined elevated terrace and a sunken lightwell to access the lightwell (basement) floor. The lightwell facade buffers residential uses from the public sidewalk.

##### FACADE LOCATION REQUIREMENTS

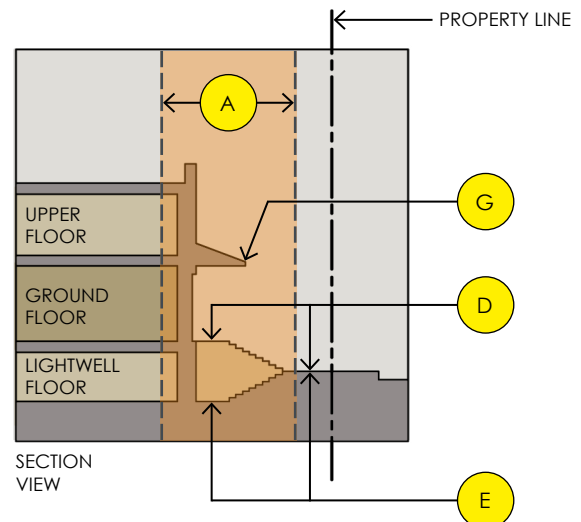
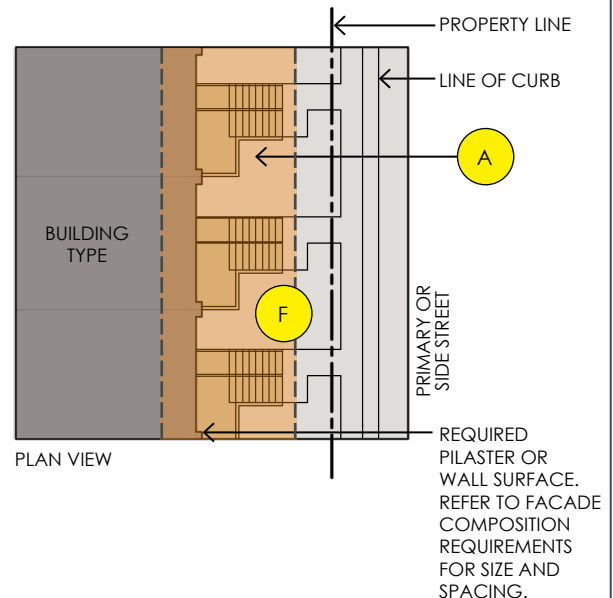
Lightwell facade shall be located per the following requirements and Diagram 5.62.

- A. The lightwell facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the lightwell facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the lightwell assembly is within the BTZ.
- B. Primary lightwell facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary lightwell facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Lightwell is not required on the secondary building wall. In instances when lightwell is not applied, the secondary building wall shall meet the remaining lightwell facade composition requirements.
- D. Ground floor entry door threshold shall be elevated from the adjacent grade.
- E. Lightwell (basement) entry door threshold shall be below adjacent grade.
- F. Ground area between the lightwell facade and public sidewalk shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
- G. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



ROWHOUSE BUILDING WITH LIGHTWELL FACADE

DIAGRAM 5.62 FACADE LOCATION REQUIREMENTS

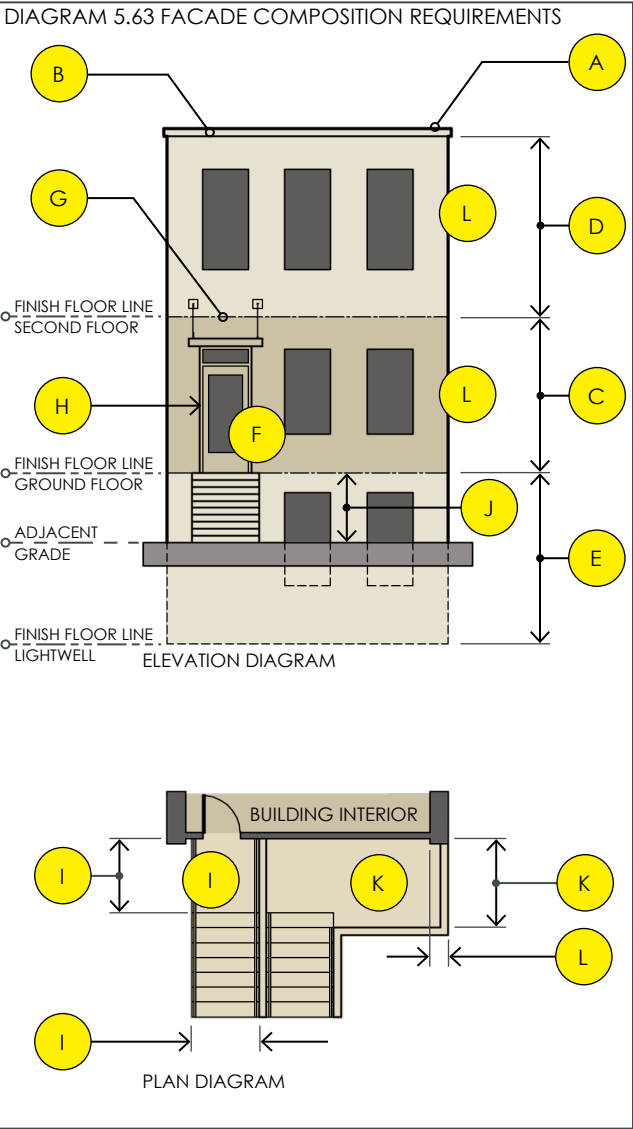


23.05.16.A ROWHOUSE BUILDING TYPE FACADE OPTION 1: **LIGHTWELL** (continued)

The following standards apply to the lightwell facade when applied to the Rowhouse Building Type:

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LIGHTWELL: ROWHOUSE BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Lightwell facade composition shall meet the following requirements and Diagram 5.63.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Lightwell facade shall have 12% minimum clear glass between the finish floor line of the first floor and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Lightwell facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Transparency Lightwell (Basement) Floor: Lightwell facade shall have 12% minimum clear glass between the finish floor line of the lightwell and the finish floor line of the first floor.
- F. Entry door(s) are not required to have transparency.
- G. Optional 24" to 36" horizontal expression line at or near the second floor finish floor line (not depicted in graphic). If used, the horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item L. on this page.
- H. First floor entry door(s) that face primary and secondary streets shall be elevated above adjacent grade and have one of the following treatments:
  - 1. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
  - 2. Uncovered (with no canopy or roof).
- I. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide.
- J. Stoop shall be elevated a minimum of 3 feet above adjacent grade.
- K. Clear width of required lightwell shall be 6 feet minimum and 10 feet maximum, measured from building wall.
- L. Facade shall have a 16" to 30" pilaster or wall surface every 18 to 30 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from finish floor of lightwell to bottom of cornice expression line or bottom of roof eave, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.



**23.05.16.B ROWHOUSE BUILDING TYPE FACADE OPTION 2: STOOP**

The following standards apply to the stoop facade when applied to the Rowhouse Building Type:

**STOOP: ROWHOUSE BUILDING****FACADE DESCRIPTION**

The stoop facade is applied to the Rowhouse Building Type along the primary and secondary building walls. In the stoop facade, the building walls are at or near the property line, within a Build-to-Zone. The front property line is occasionally defined by a low wall, fence, or hedge, creating a small yard. The yard is not intended to provide public circulation along the rights-of-way, but rather has a sidewalk connecting the building entrance(s) to the public sidewalk. The entry door is raised from the adjacent grade.

**FACADE LOCATION REQUIREMENTS**

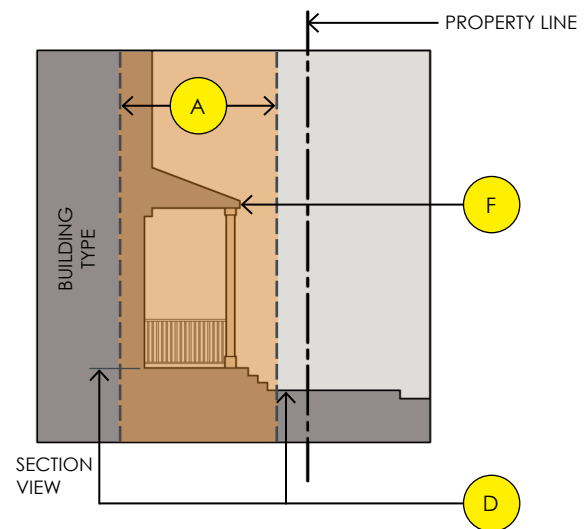
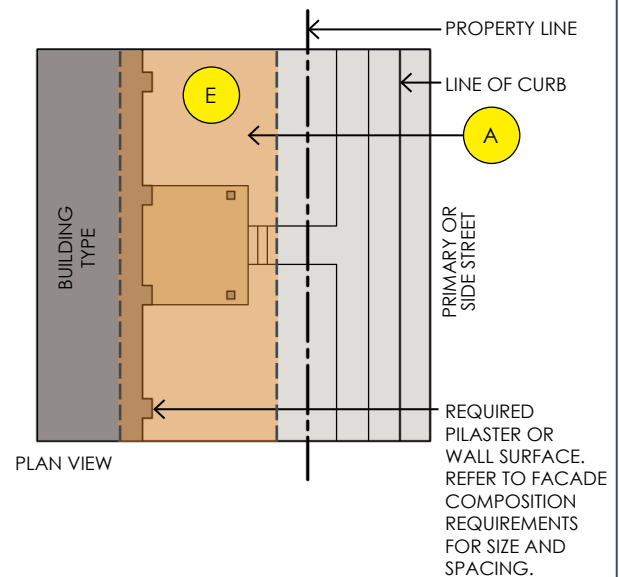
Stoop facade shall be located per the following requirements and Diagram 5.64.

- A. The stoop facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the stoop facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the stoop is within the BTZ.
- B. Primary stoop facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary stoop facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Stoops are not required on the secondary building wall. In instances when stoops are not applied, the secondary building wall shall meet the remaining stoop facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade.
- E. Ground area between the stoop facade and public sidewalk shall have one of the following treatments depending on distance from property line.
  1. Distance between facade and property line is greater than five (5) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
  2. At distances greater than fifteen (15) feet, the stoop facade shall have one of the following landscape elements placed at the property line, refer to Section 23.03.08:
    - a. A 24" to 36" high garden wall.
    - b. A decorative metal fence that is 42" high maximum.
    - c. A continuous hedge that is maintained at a 42" maximum height.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



ROWHOUSE BUILDING WITH STOOP FACADE

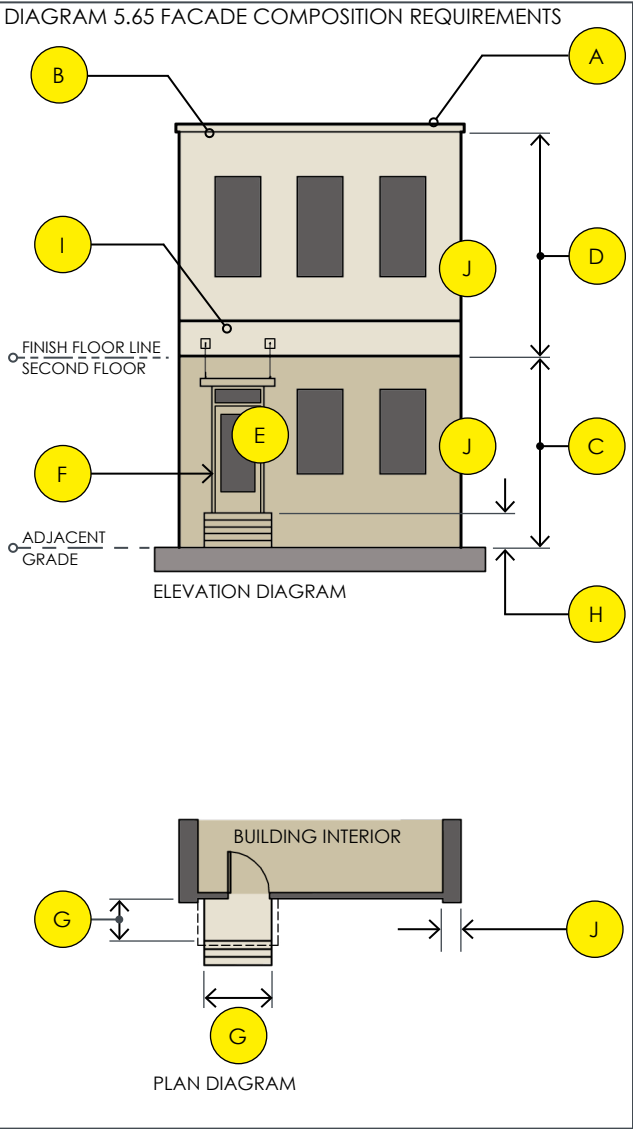
DIAGRAM 5.64 FACADE LOCATION REQUIREMENTS



**23.05.16.B ROWHOUSE BUILDING TYPE FACADE OPTION 2: STOOP** (continued)  
The following standards apply to the stoop facade when applied to the Rowhouse Building Type:

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STOOP: ROWHOUSE BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Stoop facade composition shall meet the following requirements and Diagram 5.65.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Stoop facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Stoop facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) are not required to have transparency.
- F. Entry door(s) that face primary and secondary streets shall be elevated above adjacent grade and have one of the following treatments:
  - 1. Covered with a roof. Roof shall be supported with columns.
  - 2. Covered with a canopy (as depicted in the graphic). Canopy shall be cantilevered or supported by brackets or cables.
  - 3. Uncovered (with no canopy or roof).
- G. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide.
- H. Stoop shall be elevated a minimum of 18 inches above adjacent grade.
- I. Optional 24" to 36" horizontal expression line at or near the second floor finish floor line (not depicted in graphic). If used, the horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item J. on this page.
- J. Facade shall have a 16" to 30" pilaster or wall surface every 18 to 30 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to bottom of cornice expression line or bottom of roof eave, but may be interrupted by the sign band or horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.

**23.05.16.C ROWHOUSE BUILDING TYPE FACADE OPTION 3: PROJECTING PORCH**

The following standards apply to the projecting porch facade when applied to the Rowhouse Building Type:

**PROJECTING PORCH: ROWHOUSE BUILDING****FACADE DESCRIPTION**

The projecting porch facade is applied to the Rowhouse Building Type along the primary and secondary building walls. In the projecting porch facade, the building walls are at or near the property line, within a Build-to-Zone. The entry door is raised from the adjacent grade and accessed by a front porch that is open on three sides and projecting from the main building mass with all habitable space of the building located behind the rear edge of the porch.

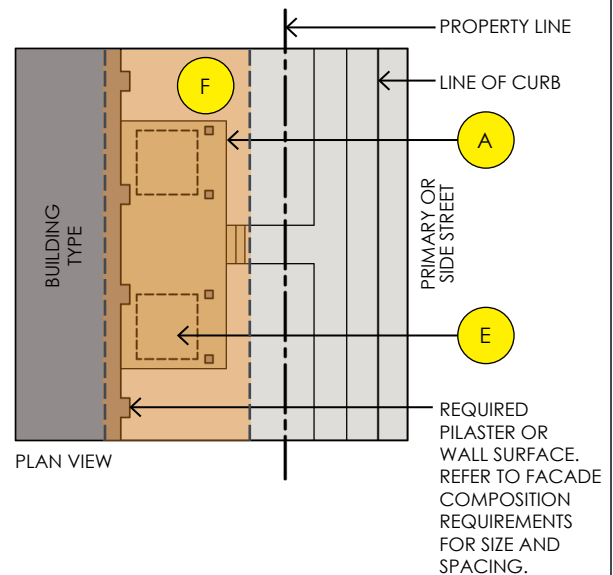
**FACADE LOCATION REQUIREMENTS**

Projecting Porch facade shall be located per the following requirements and Diagram 5.66.

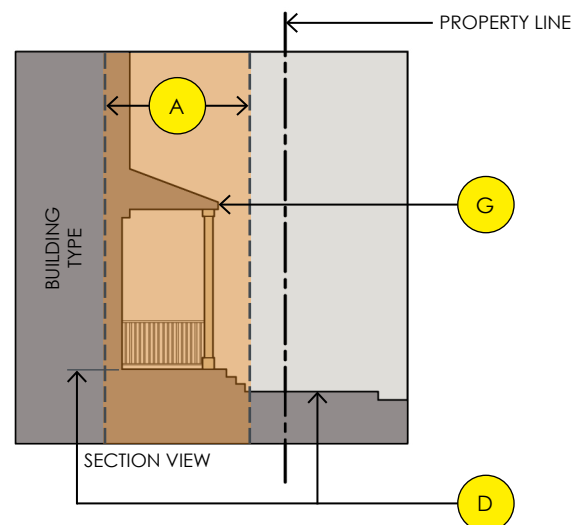
- A. The projecting porch facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the projecting porch facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the projecting porch is within the BTZ.
- B. Primary projecting porch facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary projecting porch facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Porches are not required on the secondary building wall. In instances when porches are not applied, the secondary building wall shall meet the remaining projecting porch facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade.
- E. Projecting porch shall have a clear area for seating or furniture, refer to facade composition requirements.
- F. Ground area between the projecting porch facade and public sidewalk shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
- G. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



ROWHOUSE WITH PROJECTING PORCH FACADE

**DIAGRAM 5.66 FACADE LOCATION REQUIREMENTS**

PLAN VIEW



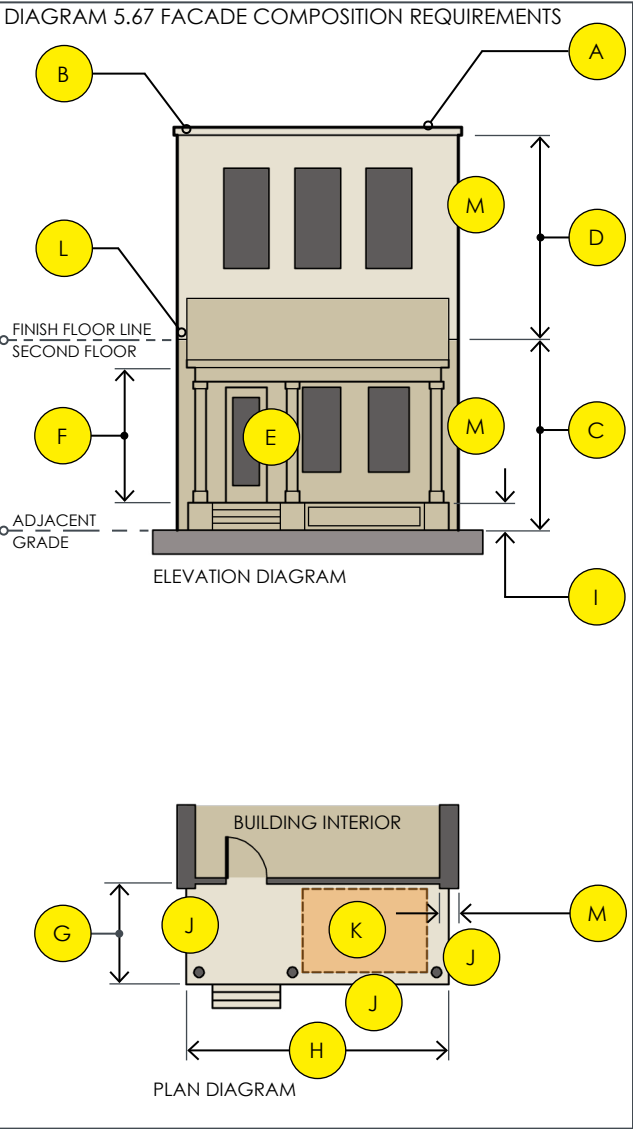
SECTION VIEW



23.05.16.C ROWHOUSE BUILDING TYPE FACADE OPTION 3: **PROJECTING PORCH** (continued)

The following standards apply to the projecting porch facade when applied to the Rowhouse Building Type:

PROJECTING PORCH: ROWHOUSE BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Projecting porch facade composition shall meet the following requirements and Diagram 5.67.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. Transparency Ground Floor: Projecting porch facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- D. Transparency Upper Floors: Projecting porch facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of cornice expression line or bottom of roof eave.
- E. Entry door(s) are not required to have transparency.
- F. Height of porch ceiling, measured from porch floor to porch ceiling shall be 8 feet minimum.
- G. Width of projecting porch shall be 8 feet minimum.
- H. Length of projecting porch shall be 10 feet minimum.
- I. Projecting porch shall be elevated a minimum of 24 inches above adjacent grade.
- J. Projecting porch shall be open on three sides (no walls on three sides).
- K. Projecting porch shall have a clear area for seating or furniture that is 4 feet x 6 feet minimum.
- L. Optional 24" to 36" horizontal expression line (not depicted on graphic) at or near the finish floor line of the second floor. Horizontal expression line shall extend the entire width of the facade but may be interrupted by the required pilasters referenced in item M. on this page.
- M. Facade shall have a 16" to 30" pilaster or wall surface every 18 to 30 feet along primary and secondary building walls. Pilasters or wall surface shall begin at building corner. Pilasters or wall surface shall extend vertically from adjacent grade to bottom of cornice expression line or bottom of roof eave, but may be interrupted by the horizontal expression line. Pilasters may extend above cornice expression line by no more than 18" on flat roof buildings.

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23.05.17 DUPLEX BUILDING TYPE

The following standards apply to the Duplex Building Type:

BUILDING TYPE DESCRIPTION

The Duplex Building Type is a small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a single-family house and is appropriately scaled to fit in single family neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.



EXAMPLES OF DUPLEX BUILDING TYPE

The following images represent precedent examples of the Duplex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Duplex Building within the City of Kentwood Division Avenue Form-Based Code Area.



SIDE-BY-SIDE UNIT DUPLEX WITH STOOP FACADE



STACKED UNIT DUPLEX WITH ENGAGED PORCH FACADE



SIDE-BY-SIDE DUPLEX WITH STOOP FACADE



SIDE-BY-SIDE DUPLEX WITH PROJECTING PORCH FACADE



## 23.05.17 DUPLEX BUILDING TYPE (continued)

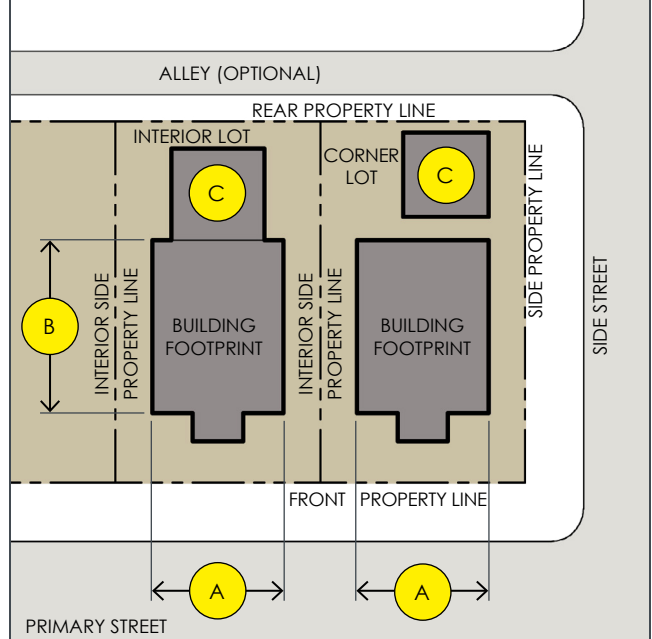
The following standards apply to the Duplex Building Type:

### BUILDING SIZE AND MASSING

Building Type size and massing shall meet the following requirements and Diagram 5.68.

- A. Width of primary building wall at front property line: 48 feet maximum.
- B. Building depth: 20 feet minimum.
- C. Building may have an attached or detached garage located in the rear of the building and accessed per the parking access requirements in Section 23.04 for the Context Area.
- D. Maximum site coverage: 60%, including garage.

DIAGRAM 5.68 BUILDING SIZE AND MASS

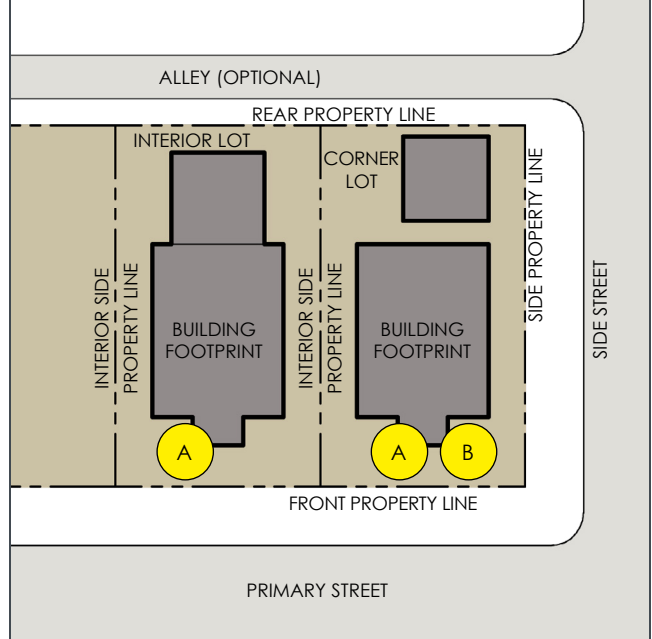


### GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.69.

- A. Entrances to duplex units are required at the primary street and shall be directly accessed from and face the primary street.
- B. Duplex units may share a common entry or may have individual entries.

DIAGRAM 5.69 GROUND FLOOR ACCESS

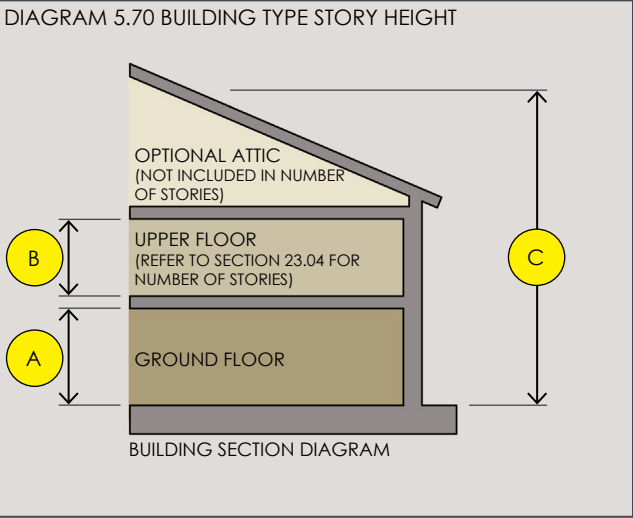


23.05.17 DUPLEX BUILDING TYPE (continued)

The following standards apply to the Duplex Building Type:

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BUILDING TYPE FLOOR HEIGHT REQUIREMENTS



Building Type floor heights shall meet the following requirements and Diagram 5.70.

- A. Ground floor: Floor to ceiling height shall be 9 feet minimum, measured from the finished floor to the finished ceiling or bottom of exposed structural elements.
- B. Upper floors: Floor to ceiling height shall as required by Context Area, refer to Section 23.04.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 23.04.
- D. Parapet height is regulated by Context Area, refer to Section 23.04.

BUILDING TYPE FACADE OPTIONS

The Duplex Building Type is required to have 1 of the following facades at primary and secondary building walls.

Facade options for the Duplex Building Type are provided in the table below and described on the following pages of this Section.

DUPLEX BUILDING TYPE	BUILDING TYPE FACADE OPTION	CONTEXT AREAS	
		CG CORRIDOR GENERAL	CE CORRIDOR EDGE
	with STOOP (23.05.17.A)		By Right
	with PROJECTING PORCH (23.05.17.B)		By Right
	with ENGAGED PORCH (23.05.17.C)		By Right

Shaded areas represent Building Type and/or facade options that are not permitted in Context Area.



NUMBER OF UNITS PER BUILDING

- Number of units per Building:
- A. Required 2 units per building.

BUILDING TYPE USE

- Building Type use:
- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.

### 23.05.17.A DUPLEX BUILDING TYPE FACADE OPTION 1: STOOP

The following standards apply to the stoop facade when applied to the Duplex Building Type:

#### STOOP: DUPLEX BUILDING

##### FACADE DESCRIPTION

The stoop facade is applied to the Duplex Building Type along the primary and secondary building walls. In the stoop facade, the building walls are at or near the property line, within a Build-to-Zone. The yard is not intended to provide public circulation along the rights-of-way, but rather has a sidewalk connecting the building entrance to the public sidewalk. The entry door is raised from the adjacent grade.

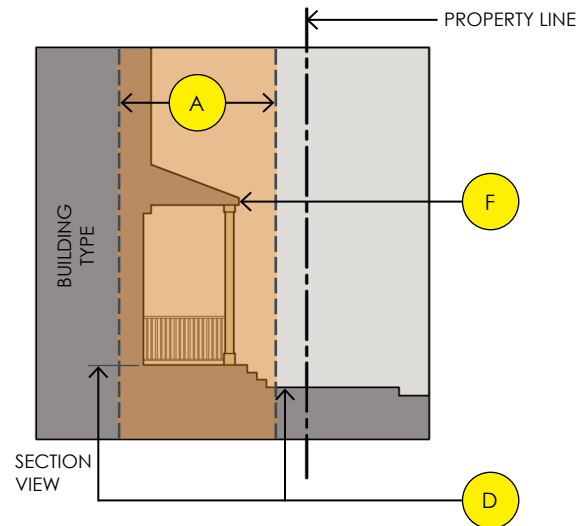
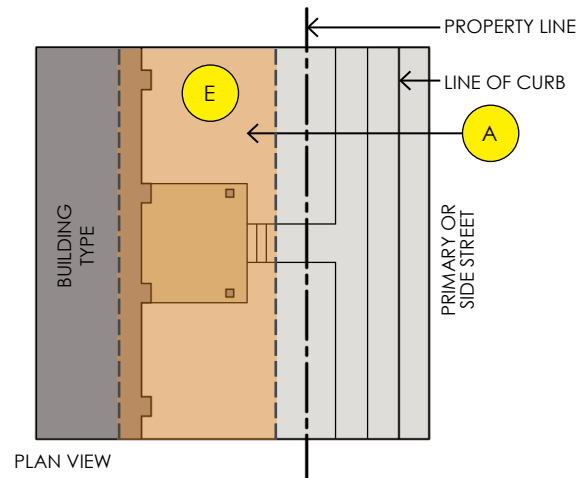
##### FACADE LOCATION REQUIREMENTS

Stoop facade shall be located per the following requirements and Diagram 5.71.

- A. The stoop facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the stoop facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the stoop is within the BTZ.
- B. Primary stoop facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary stoop facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Stoops are not required on the secondary building wall. In instances when stoops are not applied, the secondary building wall shall meet the remaining stoop facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade.
- E. Ground area between the stoop facade and public sidewalk shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.



DIAGRAM 5.71 FACADE LOCATION REQUIREMENTS



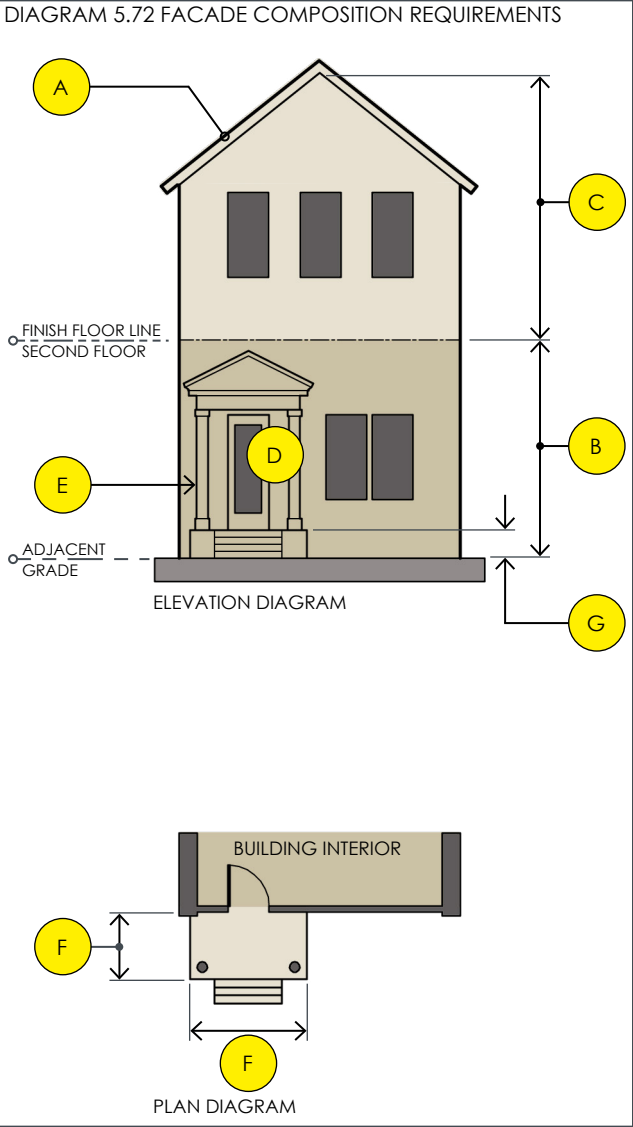


23.05.17.A DUPLEX BUILDING TYPE FACADE OPTION 1: **STOOP** (continued)

The following standards apply to the stoop facade when applied to the Duplex Building Type:

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STOOP: DUPLEX BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Stoop facade composition shall meet the following requirements and Diagram 5.72.

- A. Building shall have a pitched (sloped) roof.
- B. Transparency Ground Floor: Stoop facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- C. Transparency Upper Floors: Stoop facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of roof eave.
- D. Entry door(s) are not required to have transparency.
- E. Entry door(s) that face primary and secondary streets shall be elevated above adjacent grade and have one of the following treatments:
  - 1. Covered with a roof (as depicted in the graphic). Roof shall be supported with columns.
  - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
- F. Elevated entry doors shall have a stoop (landing at door) that is connected with a sidewalk to the public sidewalk and is a minimum 4 feet deep and minimum 4 feet wide.
- G. Stoop shall be elevated a minimum of 18 inches above adjacent grade.

### 23.05.17.B DUPLEX BUILDING TYPE FACADE OPTION 2: PROJECTING PORCH

The following standards apply to the projecting porch facade when applied to the Duplex Building Type:

#### PROJECTING PORCH: DUPLEX BUILDING

##### FACADE DESCRIPTION

The projecting porch facade is applied to the Duplex Building Type along the primary and secondary building walls. In the projecting porch facade, the building walls are at or near the property line, within a Build-to-Zone. The entry door is raised from the adjacent grade and accessed by a front porch that is open on three sides and projecting from the main building mass with all habitable space of the building located behind the rear edge of the porch.

##### FACADE LOCATION REQUIREMENTS

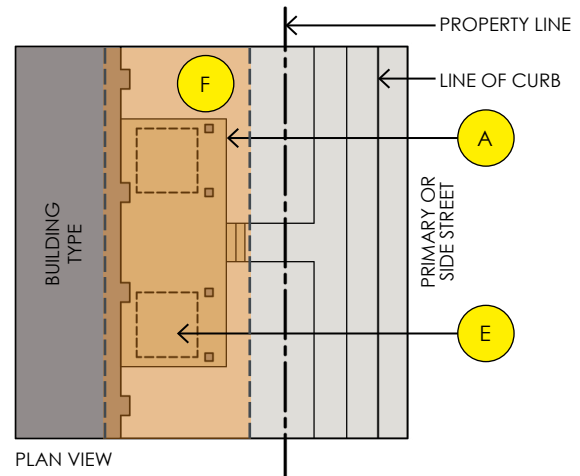
Projecting Porch facade shall be located per the following requirements and Diagram 5.73.

- A. The projecting porch facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04). In the projecting porch facade, the primary and secondary building walls may be placed outside of the BTZ, provided that the projecting porch is within the BTZ.
- B. Primary projecting porch facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary projecting porch facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Porches are not required on the secondary building wall. In instances when porches are not applied, the secondary building wall shall meet the remaining projecting porch facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade.
- E. Projecting porch shall have a clear area for seating or furniture, refer to facade composition requirements.
- F. Ground area between the projecting porch facade and public sidewalk shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
- G. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.

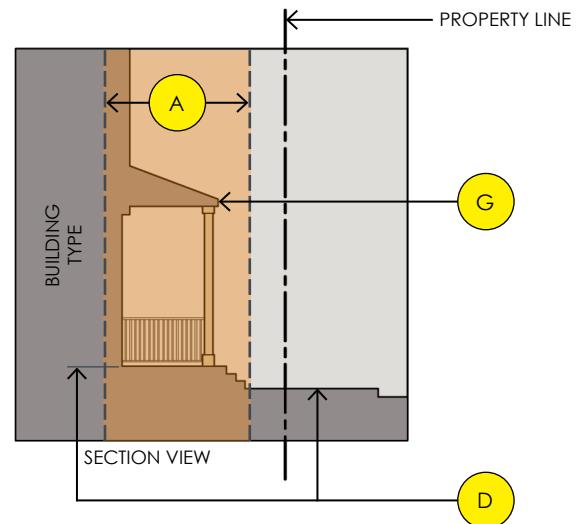


DUPLEX WITH PROJECTING PORCH FACADE

DIAGRAM 5.73 FACADE LOCATION REQUIREMENTS



PLAN VIEW

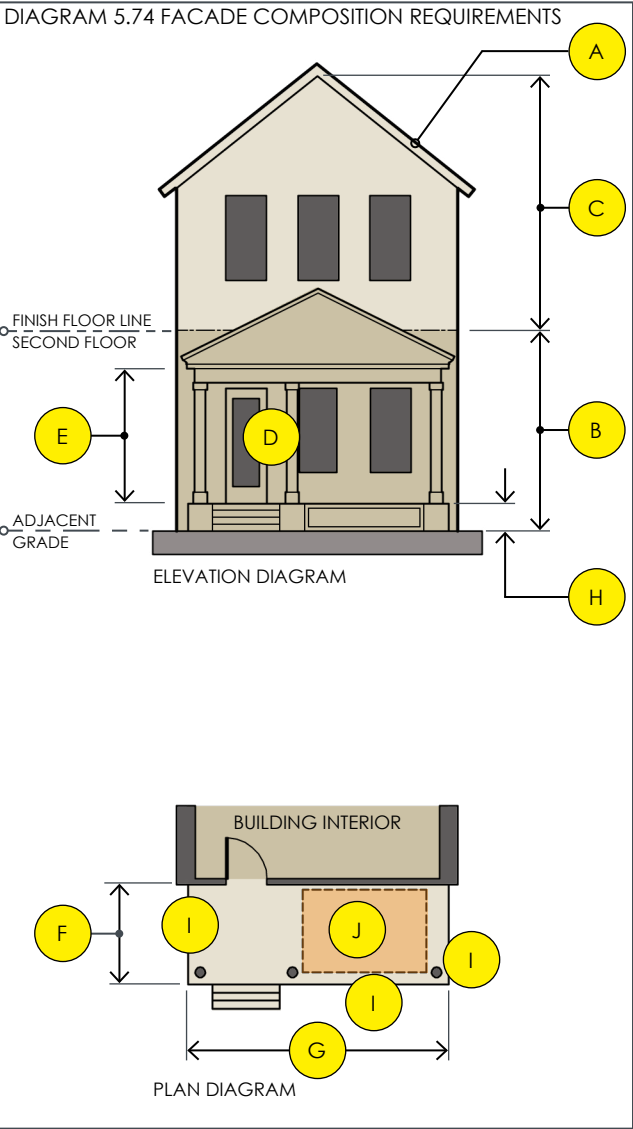


SECTION VIEW

23.05.17.B DUPLEX BUILDING TYPE FACADE OPTION 2: **PROJECTING PORCH** (continued)  
The following standards apply to the projecting porch facade when applied to the Duplex Building Type:

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PROJECTING PORCH: DUPLEX BUILDING



**FACADE COMPOSITION REQUIREMENTS**

Projecting porch facade composition shall meet the following requirements and Diagram 5.74.

- A. Building shall have a pitched (sloped) roof.
- B. Transparency Ground Floor: Projecting porch facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- C. Transparency Upper Floors: Projecting porch facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of roof eave.
- D. Entry door(s) are not required to have transparency.
- E. Height of porch ceiling, measured from porch floor to porch ceiling shall be 8 feet minimum.
- F. Width of projecting porch shall be 8 feet minimum.
- G. Length of projecting porch shall be 10 feet minimum.
- H. Projecting porch shall be elevated a minimum of 24 inches above adjacent grade.
- I. Projecting porch shall be open on three sides (no walls on three sides).
- J. Projecting porch shall have a clear area for seating or furniture that is 4 feet x 6 feet minimum.



**23.05.17.C DUPLEX BUILDING TYPE FACADE OPTION 3: ENGAGED PORCH**

The following standards apply to the engaged porch facade when applied to the Duplex Building Type:

**ENGAGED PORCH: DUPLEX BUILDING****FACADE DESCRIPTION**

The engaged porch facade is applied to the Duplex Building Type along the primary and secondary building walls. In the engaged porch facade, the building walls are at or near the property line, within a Build-to-Zone. The entry door is raised from the adjacent grade and accessed by a front porch that is open on two sides and enclosed by two adjacent building walls. The engaged porch is built into the overall mass of the building, rather than projecting from the building.

**FACADE LOCATION REQUIREMENTS**

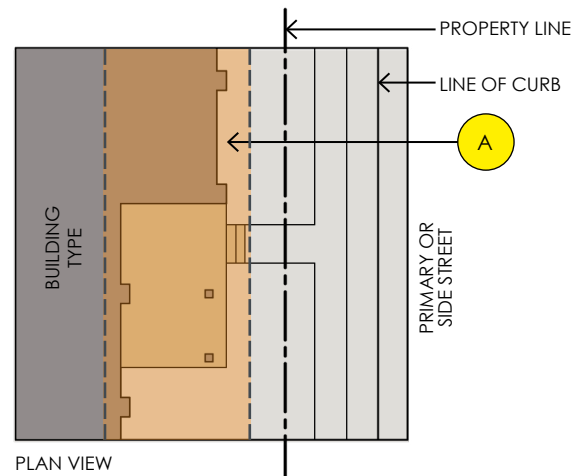
Engaged Porch facade shall be located per the following requirements and Diagram 5.75

- A. The engaged porch facade shall be placed within a Build-to-Zone (BTZ) as required by the building site placement requirements for the Context Area (refer to Section 23.04).
- B. Primary engaged porch facade shall extend across 100% of the overall primary building wall at the primary street property line.
- C. Secondary engaged porch facade shall extend across 100% of the overall secondary building wall at the side street property line.
  1. Porches are not required on the secondary building wall. In instances when porches are not applied, the secondary building wall shall meet the remaining engaged porch facade composition requirements.
- D. Entry door threshold shall be elevated from the adjacent grade.
- E. Ground area between the projecting porch facade and public sidewalk shall be landscaped with a sidewalk connecting the entry door to the public sidewalk.
- F. Encroachments: Architectural features may extend into setbacks, but are not permitted to extend beyond BTZ. Refer to Section 23.05.07.

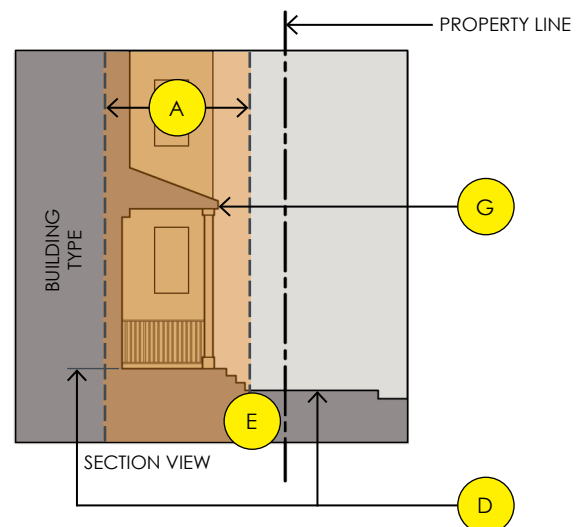


DUPLEX WITH ENGAGED PORCH FACADE

DIAGRAM 5.75 FACADE LOCATION REQUIREMENTS



PLAN VIEW

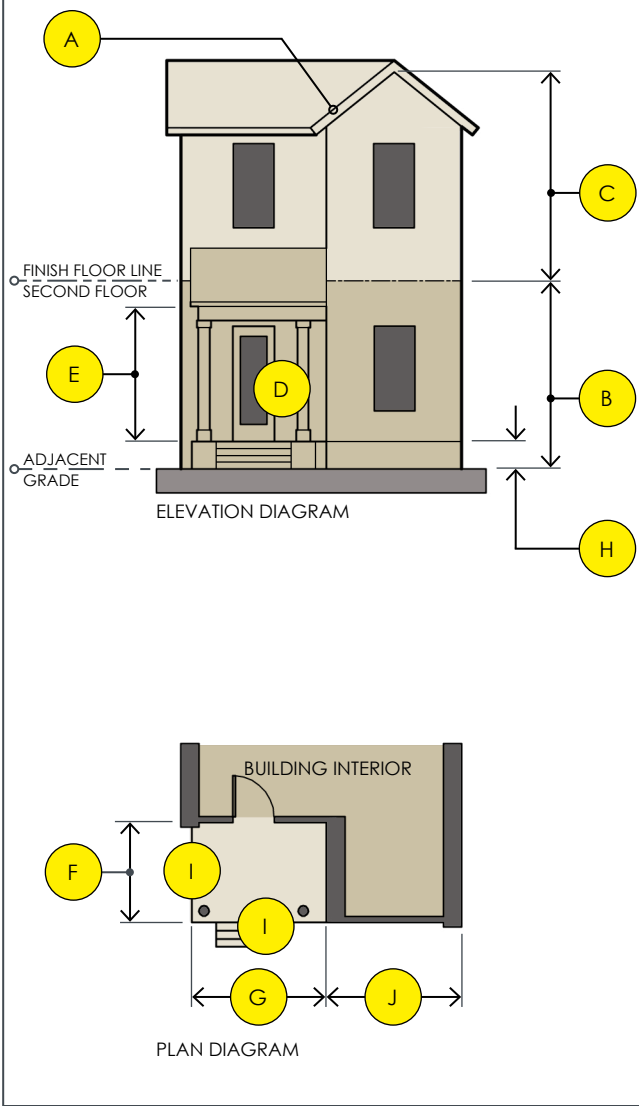


SECTION VIEW

**23.05.17.C DUPLEX BUILDING TYPE FACADE OPTION 3: ENGAGED PORCH** (continued)  
The following standards apply to the engaged porch facade when applied to the Duplex Building Type:

ENGAGED PORCH: DUPLEX BUILDING

DIAGRAM 5.76 FACADE COMPOSITION REQUIREMENTS



**FACADE COMPOSITION REQUIREMENTS**

Engaged porch facade composition shall meet the following requirements and Diagram 5.76.

- A. Building shall have a pitched (sloped) roof.
- B. Transparency Ground Floor: Projecting porch facade shall have 12% minimum clear glass between the adjacent grade and the finish floor line of the second floor. Transparency of entry door may be included as part of the required transparency calculation.
- C. Transparency Upper Floors: Projecting porch facade shall have 12% minimum clear glass between the finish floor line of the second floor and bottom of roof eave.
- D. Entry door(s) are not required to have transparency.
- E. Height of porch ceiling, measured from porch floor to porch ceiling shall be 8 feet minimum.
- F. Width of projecting porch shall be 6 feet minimum.
- G. Length of projecting porch shall be 6 feet minimum.
- H. Projecting porch shall be elevated a minimum of 24 inches above adjacent grade.
- I. Projecting porch shall be open on two sides (no walls on two sides).
- J. When engaged porch is used at primary or secondary building wall, a minimum of 50% of the primary and/or secondary building wall shall project either beyond the line of porch columns or be flush with the porch columns.

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23.05.18 CIVIC BUILDING TYPE

The following standards apply to the Civic Building Type:

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BUILDING TYPE DESCRIPTION

The Civic Building Type is a detached structure that incorporates uses of public importance including, but not limited to, municipal buildings, places of worship, libraries and schools. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form.



EXAMPLES OF CIVIC BUILDING TYPE

The following images represent precedent examples of the Civic Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects requiring a Civic Building within the City of Kentwood Division Avenue Form-Based Code Area.



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23.05.18 CIVIC BUILDING TYPE (continued)

The following standards apply to the Civic Building Type:

BUILDING SIZE AND MASSING

Civic Building Type size and massing is not regulated by the form generating elements of this Ordinance. Generally civic buildings shall have a significant presence in the community and this presence is articulated through the size and mass of the building form.

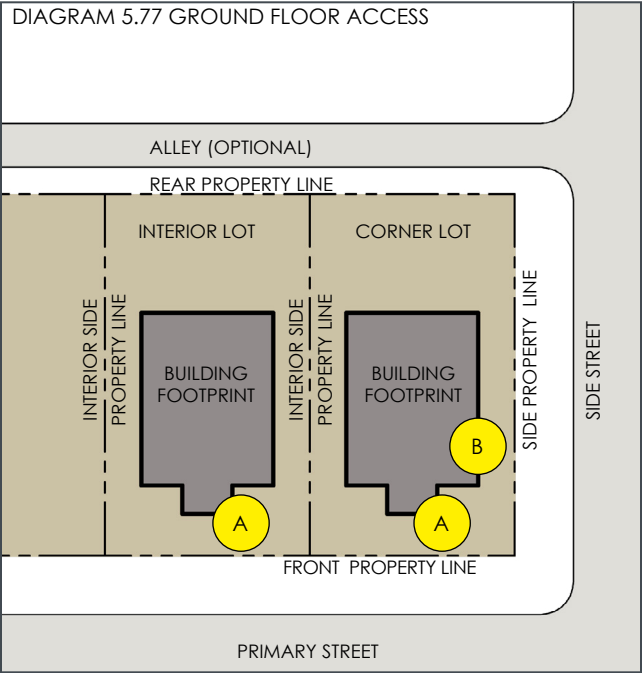
Civic buildings should generally respond to their surrounding context in their massing and size.

GROUND FLOOR PEDESTRIAN ACCESS AND ACTIVATION

Building Type ground floor entrances shall meet the following requirements and Diagram 5.77.

- A. Main entrance to buildings are required at the primary street and shall be directly accessed from and face the primary street.
- B. Building entrances at the side street are not required. If side street entries are provided, they shall be directly accessed from and face the side street.

DIAGRAM 5.77 GROUND FLOOR ACCESS



BUILDING TYPE HEIGHT REQUIREMENTS

Overall height of Civic Building Type is regulated by Context Area in Section 23.04.

BUILDING TYPE FACADE COMPOSITION

Civic Building Type facade composition is not regulated by the form generating elements of this Ordinance. Generally civic buildings shall have design elements and materials that represent their significance in the community.

Facade composition should be compatible and respectful of the surrounding context.

NUMBER OF UNITS PER BUILDING

Number of units is not applicable to the Civic Building Type.

BUILDING TYPE USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 23.04 for permitted uses in each Context Area.
- B. Civic buildings will typically include school, place of worship, and government functions as uses.

### 23.06.01 PURPOSE

The purpose of this Section is to regulate and ensure the provision of parking spaces and access drives designed for motor vehicles and bicycles. The Section provides options for adjusting parking requirements and provides parking alternatives. These standards ensure that the parking needs of new land uses and development are met, while being designed and located in a manner consistent with the desired character and development patterns as outlined in the Master Plan.

### 23.06.02 APPLICABILITY

The regulations of this Section apply to off-street parking and parking landscape areas that are located in the Form-Based Code districts.

- A. Whenever the use of a building or lot is changed to another classification of use, off-street parking facilities shall be provided as required by this Section.
- B. If the intensity of the use of any building (other than a single or two family residence) or lot is increased, through the addition of floor area, addition of seating capacity, number of employees, or other means, additional off-street parking shall be provided for such increase in intensity.
- C. Refer to Chapter 17 of the Kentwood Zoning Ordinance for regulations of parking space dimension standards, units of measure, illumination, use, and parking lot restrictions.

### 23.06.03 REQUIRED OFF-STREET PARKING SPACES

The number of required off-street parking spaces shall be provided and maintained on the premises or as otherwise allowed by this Section, on the basis of the following, and based on the requirements for the specific land use as outlined in the Kentwood Zoning Ordinance.

- A. When units or measurements determining the number of required parking spaces result in a fraction over one-half, a full parking space shall be required.
- B. In the case of a use not specifically mentioned, the requirement for off-street parking facilities for a specified use which is most similar shall apply, as determined by the Zoning Administrator.

- C. Each twenty-four (24) inches of bench, pew or similar seating facilities shall be counted as one seat.
- D. Where parking requirements are based upon maximum seating or occupancy capacity, the capacity shall be as determined by the Building Code and the Fire Code.

### 23.06.04 MODIFICATION OF PARKING REQUIREMENTS

Parking space requirements may be reduced by no more than twenty five percent (25%) as part of the site plan review authority, based on one or more of the following conditions:

- A. Shared Parking With Staggered Peak Periods. Where there is a mix of land uses on two (2) or more adjacent lots create staggered peak periods of parking demand, the on-site parking requirements for the adjacent lots may be reduced subject to the following:
  1. Shared parking areas shall be located within three hundred (300) feet of the use.
  2. Pedestrian connections shall be maintained between the shared parking and the buildings or uses.
  3. Lots shall be adjacent and shall be interconnected for vehicular passage.
  4. A shared parking agreement shall be submitted and approved.
  5. For shared parking with places of worship, the other uses shall not normally operate between the hours of 6:00 AM and 6:00 PM on Sundays.
  6. Shared parking may only constitute 50% of the total parking requirement.
  7. Documentation of these requirements shall be submitted to the Zoning Administrator.
- B. Buildings With A Mix Of Uses In A Single Building. Where one (1) building on one (1) lot creates staggered periods of parking demand, the on-site parking requirements for the single lot may be reduced subject to the following:
  1. The building has a mixture of uses for which the parking demand is shown to vary throughout the day and night, creating a staggered demand for parking at any given time.



C. High Level of Pedestrian Traffic. High expectation of walk-in trade due to sidewalk connections to adjacent residential neighborhoods or employment centers. In allowing a parking space reduction, the site design shall incorporate pedestrian connections to the site and on-site pedestrian circulation providing safe and convenient access to the building.

D. Availability of Other Modes of Travel. To qualify the site plan must incorporate transit stops, pedestrian connections to nearby transit stops, or bicycle parking facilities as applicable.

1. Transit Reduction. In order to qualify for this reduction in parking, structures or uses must be within 300 feet of a transit stop.
2. Bicycle Reduction. Parking requirements may be reduced by one space for every 4 covered secure bicycle parking spaces that are provided on the site, up to the maximum of the 25% reduction as stated in this subsection.

E. Where the applicant has provided a parking study, conducted by a qualified professional, that demonstrates that another standard would be more appropriate based on the actual number of employees or expected level of customer traffic. Actual counts at a similar establishment provided by the applicant may also be acceptable.

F. A parking study may be required as part of site plan review to document that any one of criteria A. through D. above would be met.

#### 23.06.05 PARKING EASEMENTS AND AGREEMENTS

- A. Written easements that provide for continued use and maintenance of shared parking shall be submitted to the site plan review authority for review and approval. Any agreement shall include provisions to address changes in use.
- B. Should the agreement be voided or expire for any reason, the uses utilizing the shared parking facility shall provide all the required parking spaces in accordance with the requirements of this Section or shall be in violation thereof.

#### 23.06.06 DEFERRED PARKING

- A. Where a reduction in the number of parking spaces is not warranted but an applicant demonstrates that the parking requirements would be excessive, a parking lot plan would be required designating portions of the required parking spaces and paving that would be reserved for future use.
- B. The approval of deferred parking shall require that reserved parking spaces be covered with lawn and shall include the conditions under which the deferred parking is to be paved. Alterations to the deferred parking area to add parking spaces may be initiated by the owner or required by Zoning Administrator, based on parking needs. Alterations to the deferred parking shall require the submission and approval of an amended site plan, as required by Chapter 14 of the Kentwood Zoning Ordinance.
- C. The Zoning Administrator may require construction of additional parking within the deferred parking area if a change in use occurs for the building or property for which the deferred parking was approved.

#### 23.06.07 OFF-STREET PARKING LOCATION

- A. Off-Street Parking Location. Off-street parking lots shall meet the off-street parking site placement and access standards required in the Context Areas, refer to Section 23.04.
- B. Off-Street parking shall be separated at least five (5) feet from buildings in order to allow for sidewalk, landscaping and other plantings between the building and parking lot.
- C. Off-Street parking facilities required for all uses shall be located on the same lot or within 300 feet from the use they are intended to serve as measured from the nearest point of the parking facility to the nearest entrance of the building served.
- D. Principal use freestanding parking shall meet the off-street parking site placement and access standards required in the Context Areas, refer to Section 23.04.

**23.06.08 OFF-STREET PARKING FACILITIES FOR SINGLE AND TWO FAMILY**

Off-street parking facilities required for single and two family dwellings shall be located on the same lot or parcel as the building that they are intended to serve, and shall consist of garage or open parking. All residential driveways shall provide a minimum width of nine (9) feet. Driveways must be paved. All parking spaces must be paved and no more than one space may be located within the required front yard.

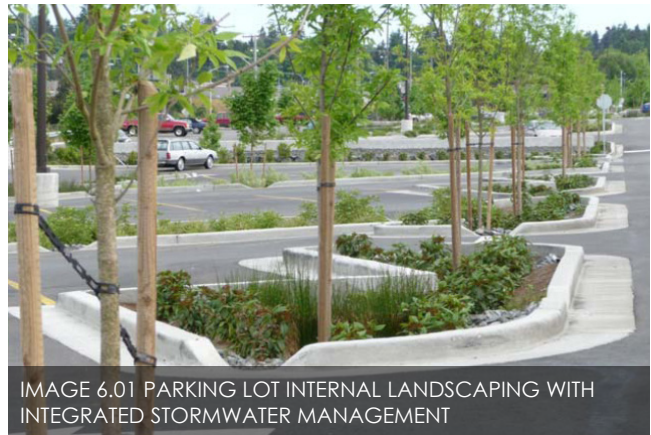
**23.06.09 OFF-STREET LOADING AND ACCESS**

Refer to access requirements for off-street parking in the Context Areas (Section 23.04) and Section 17.09 Kentwood Zoning Ordinance.

**23.06.10 PARKING LOT INTERNAL LANDSCAPING**

In order to provide a more aesthetic appearance, a measure of shading, increased oxygen generation, and reduced air pollution, wherever site plan approval is required in the City of Kentwood Division Avenue Form-Based Code, part of that approval shall include a parking lot landscaping plan unless waived by the Zoning Administrator. The general landscaping standards of Chapter 19 of the Kentwood Zoning Ordinance are applicable. The following standards shall also apply to parking lot areas in the Form-Based Code district:

- A. For every twenty five (25) parking spaces, or fraction thereof, there shall be provided a landscape area at least 10 feet in width and 18 feet in length. Said landscape shall include at least one canopy tree of at least 2.5 inches in caliper. Other landscape treatment shall be included in the landscape area, including, but not limited to, groundcover, ornamental grasses, annual or perennial flowers or shrubbery. Shrubby must be planted at least three (3) feet from all sidewalks, drives and parking spaces so as to not infringe upon access. Required interior landscape areas shall be dispersed evenly throughout the parking lot (refer to Images 6.01 and 6.02).
- B. Landscape area may be used as part of the on-site stormwater management system.





## 23.06.11 PARKING LOT LANDSCAPE SCREEN

In order to screen parking lots from the public realm, to provide spatial definition along sidewalks and public rights-of-way, and to provide a more aesthetic appearance, wherever site plan approval is required in the City of Kentwood Division Avenue Form-Based Code, part of that approval shall include a parking lot landscaping plan unless waived by the Zoning Administrator. The general landscaping standards of Chapter 19 of the Kentwood Zoning Ordinance are applicable. The following standards shall also apply to screening of parking lot areas in the Form-Based Code district (refer to parking placement in Context Areas, Section 23.04).

Parking lots located adjacent to primary and secondary streets shall have one (1) of the following landscape screens at the parking lot edge:

- A. Garden Wall (refer to Images 6.03, 6.04, 6.05, and 6.06):
  1. Constructed of brick or other masonry as approved by the Zoning Administrator or Planning Commission.
  2. 24" to 36" high, measured from the adjacent grade.
  3. Wall may be solid or pierced to create a pattern of solids and voids (refer to Image 6.05).
  4. Wall shall be capped with a brick, stone or concrete cap.
  5. Wall may have piers that are no more than 42" above adjacent grade.
  6. Wall may include a decorative metal fence on top of masonry. Walls capped with fence shall be no more than 42" high (refer to Image 6.06).
  7. A two (2) foot minimum buffer shall be provided between the wall and the parking/loading area to accommodate the overhang of cars and protect the wall whenever cars are likely to park adjacent to the wall. Concrete bumper blocks may be used to achieve this buffer.
  8. Walls may have landscape adjacent to them on the street side. If provided, landscape shall have a minimum two (2) foot wide and maximum four (4) foot wide landscape edge placed on the street side of the wall. Canopy trees, groundcover, ornamental grasses, annual or perennial flowers, or a combination thereof may be used to soften the appearance of the wall (refer to Image 6.04).



IMAGE 6.03 PARKING LOT GARDEN WALL SCREEN



IMAGE 6.04 PARKING LOT GARDEN WALL SCREEN WITH LANDSCAPE ON STREET SIDE

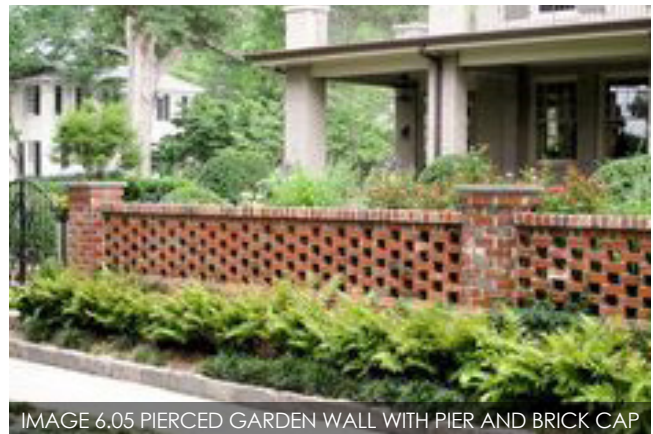


IMAGE 6.05 PIERCED GARDEN WALL WITH PIER AND BRICK CAP



IMAGE 6.06 GARDEN WALL WITH PIER AND METAL FENCE



B. Decorative Metal Fence (refer to Images 6.07 and 6.08):

1. Constructed of aluminum, steel, wrought iron, or other approved material by Zoning Administrator or Planning Commission.
2. Maximum 42" high, measured from adjacent grade.
3. Fence may have brick piers that are no more than 42" above adjacent grade and spaced at a minimum of 10 feet on center (refer to Image 6.08).
4. Wire or chain link fences and painted or stained wood fences are not permitted.
5. A two (2) foot minimum buffer shall be provided between the fence and the parking/loading area to accommodate the overhang of cars and protect the fence whenever cars are likely to park adjacent to the fence. Concrete bumper blocks may be used to achieve this buffer.
6. Fences may have landscape adjacent to them on the street side. If provided, landscape shall have a minimum two (2) foot wide and maximum four (4) foot wide landscape edge placed on the street side of the fence. Canopy trees, groundcover, ornamental grasses, annual or perennial flowers, or a combination thereof may be used to soften the appearance of the fence (refer to Image 6.08).



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C. Continuous Landscape Hedge (refer to Image 6.09):

1. Hedge shall be maintained at a 42" maximum height, measured from adjacent grade.
2. Hedge shall be composed of suitable landscape material so that it is continuous along the property line within two years of planting.
3. If landscape material dies, it shall be replaced with similar material to ensure height and continuity requirements.
4. A two (2) foot minimum buffer shall be provided between the fence and the parking/loading area to accommodate the overhang of cars and protect the fence whenever cars are likely to park adjacent to the fence. Concrete bumper blocks may be used to achieve this buffer.

D. Required parking lot screens adjacent to single-family detached residential zone districts or uses may include any of the above screens, or a minimum four (4) foot wide landscape buffer that includes the following:

1. Minimum of one (1) canopy tree of at least 2.5 inches caliper for every ten (10) linear feet of buffer.
2. Six (6) foot high solid fence along the common lot line up to within twenty-five (25) feet of the street. Fence shall be made of wood or other materials as approved by the Zoning Administrator.
3. Landscape buffer shall include other landscape treatment, including, but not limited to, groundcover, ornamental grasses, annual or perennial flowers or shrubbery. Shrubby must be planted at least three (3) feet from all drives and parking spaces so as to not infringe upon access.



IMAGE 6.09 PARKING LOT LANDSCAPE HEDGE SCREEN

23.07.01 PURPOSE

Section 23.07 identifies sign standards that are intended to regulate the use, placement, type, size, construction, illumination, quantity, and maintenance of signs permitted within a specific Context Area and Building Type.

The regulations and standards of this Section are intended to be content neutral and are considered the minimum necessary to achieve a substantial government interest for public safety, aesthetics, and protection of property values.

This chapter involves a determination by the City that the individual user's rights to convey a message must be balanced against the public's right to be free of signs which unreasonably compete, distract drivers and pedestrians, and produce confusion. In balancing the individual user's desire to attract attention with the public's right to be free of unreasonable distractions, it is recognized that sign regulations should afford businesses a reasonable opportunity to attract the public. It is also determined; however, oversized, projecting, or crowded signs can lead to pedestrian and driver confusion and distraction, and endanger the public health, safety and welfare. To lessen such adverse consequences, reasonable limitations are appropriate with respect to the placement, construction, size, and design of signs particularly in relation to the location of buildings and the availability of other means of communication.

In addition, new advanced sign display technologies may have adverse impacts that must be minimized by reasonable restrictions on size and permitted locations.

The City further determines that overall regulations for signs, especially number, size, and placement, are desirable in order to:

- A. Protect the public right to receive messages and information protected by the First Amendment of the U.S. Constitution;
- B. Prevent or limit traffic or pedestrian accidents, injuries, deaths, and property damages resulting from obstructed vision, distraction or confusion to the public or to emergency safety personnel;
- C. Minimize the risk of damage and injuries from signs that are dilapidated, wind blown, electric shock hazards, etc.;
- D. Achieve some uniformity and balance in the size, number and placement of signs;

- E. Promote and enhance aesthetic and environmental values of the community by providing for signs that do not impair the attractiveness of the City as a place to live, work and shop;
- F. Prevent blight;
- G. Encourage equality among business and property;
- H. Otherwise protect the public health, safety, peace and general welfare; and
- I. Accommodate special circumstances or events that may create a need for portable signs for a limited and reasonable period of time.

23.07.02 APPLICABILITY

- A. Chapter 16 of the City of Kentwood Zoning Ordinance and this Section (Section 23.07 of the City of Kentwood Division Avenue Form-Based Code) regulates signs within the FBC district.
- B. Definitions of signs shall be as defined in Chapter 16 of the Kentwood Zoning Ordinance, except as defined in 23.07.03 of this Section.
- C. No person, firm, or corporation shall erect, repair, alter, relocate, display or maintain any sign which does not comply with the standards set forth in this Section or Chapter 16 of the Kentwood Zoning Ordinance, and no permit shall be issued for any such sign.

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FBC DEFINITIONS 23.08



**23.07.03 FORM-BASED CODE SIGN DEFINITIONS**

The following sign definitions shall be used for the City of Kentwood Division Avenue Form-Based Code.

- A. Awning Sign: A sign that is painted, screen printed or applied to the awning.
- B. Canopy Sign: A sign that is attached to the face or above the face of a canopy.
- C. Ground Sign: A double- or single-faced free-standing permanent sign that is mounted directly on the ground or ground level foundation. Ground signs are often used to mark a place of significance or the entrance to a location.
- D. Illuminated Sign: A sign that is illuminated by an internal or external light source.
- E. Internally Illuminated Sign: A sign that is illuminated by an internal light source.
- F. Nonconforming sign:
  - 1. A sign that is prohibited under the terms of the City of Kentwood Division Avenue FBC, but was erected lawfully and was in use on the date of enactment of this FBC, or amendment thereto; or
  - 2. A sign that does not conform to the requirements of the City of Kentwood Division Avenue FBC, but for which a variance has been granted.
- G. Projecting Sign: A double-faced sign that projects from the building wall at a 90 degree angle. Sometimes referred to as a blade sign.
- H. Sign: Sign means any display or object which is primarily used to identify or display information about or direct or attract attention to a person, institution, organization, business, product, event, location or otherwise by any means.
- I. Sign Band Sign: A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on Building Types and facades as permitted in Section 23.05. This sign is typically associated with the storefront facade.

- J. Suspended Sign: A double- or single-faced sign that hangs from brackets attached to the building at a 90 degree angle or hangs parallel to the building wall above openings, typically within the recessed door of a storefront facade.
- K. Wall Sign: A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign parallel to the building wall.
- L. Window Sign: A sign that is placed on the interior of the window and which is intended to be seen by the public from the outside.

**23.07.04 PERMITTED SIGNS**

- A. Sign types, quantities, and sizes shall be as provided herein for the FBC district.
- B. Signs listed as prohibited in Chapter 16 of the Kentwood Zoning Ordinance shall also be prohibited in the FBC district.
- C. Within the FBC district, the following Sign Types are established and are limited to the following:
  - 1. Sign Band Sign.
  - 2. Wall Signs.
  - 3. Projecting Signs.
  - 4. Suspended Signs.
  - 5. Awning Signs.
  - 6. Canopy Signs.
  - 7. Window Signs.
  - 8. Ground Signs.
  - 9. Sidewalk Signs (refer to Chapter 16 of the Kentwood Zoning Ordinance).
  - 10. Portable Signs (refer to Chapter 16 and Section 8.03.D of the Kentwood Zoning Ordinance ).
  - 11. Exempt Signs (refer to Chapter 16 of the Kentwood Zoning Ordinance).
- D. Chapter 16 of the Kentwood Zoning Ordinance regulates sign measurement, general sign standards, and sign permitting, construction, and maintenance for signs within the form-based code area.

**23.07.05 SIGN ILLUMINATION REGULATIONS**

Sign illumination shall comply with Section 16.05.C of the Kentwood Zoning Ordinance and as follows:

- A. External and internal illumination of specific sign types shall be as indicated by the sign type standards of this Section.
  
- B. Neon tube illumination for canopy signs and window signs is permitted. Neon tube signs shall consist of custom neon tubes. Neon tubes shall be independent of structure, other than required fastening of neon tube.

**23.07.06 NON-CONFORMING SIGNS**

Non-conforming sign provisions shall be as prescribed in Section 16.03 of the Kentwood Zoning Ordinance.

**23.07.07 RESERVED**

This section reserved.

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## 23.07.08 SIGN TYPE OVERVIEW

Context Areas crossed out in red indicate that the Sign Type is not permitted in that Context Area.

	<b>SIGN BAND SIGN (23.07.09)</b> A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on Building Types and facades as permitted in Section 23.05. This sign is typically associated with the storefront facade.	<b>BUILDING TYPE WITH FACADE</b> (refer to Section 23.05)  MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) CIVIC	<b>CONTEXT AREAS</b> (refer to Section 23.04)  <b>CG</b> CORRIDOR GENERAL <b>CE</b> CORRIDOR EDGE
	<b>WALL SIGN (23.07.10)</b> A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign parallel to the building wall.	<b>BUILDING TYPE WITH FACADE</b> (refer to Section 23.05)  MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (foycourt & dooryard facade) CIVIC	<b>CONTEXT AREAS</b> (refer to Section 23.04)  <b>CG</b> CORRIDOR GENERAL <b>CE</b> CORRIDOR EDGE
	<b>PROJECTING SIGN (23.07.11)</b> A double-faced sign that projects from the building wall at a 90 degree angle. Sometimes referred to as a blade sign.	<b>BUILDING TYPE WITH FACADE</b> (refer to Section 23.05)  MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (foycourt, dooryard & stoop facade) CIVIC	<b>CONTEXT AREAS</b> (refer to Section 23.04)  <b>CG</b> CORRIDOR GENERAL <b>CE</b> CORRIDOR EDGE
	<b>SUSPENDED SIGN (23.07.12)</b> A double- or single-faced sign that hangs from brackets attached to the building at a 90 degree angle or hangs parallel to the building wall above openings, typically within the recessed door of a storefront facade.	<b>BUILDING TYPE WITH FACADE</b> (refer to Section 23.05)  MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (foycourt, dooryard & stoop facade) CIVIC	<b>CONTEXT AREAS</b> (refer to Section 23.04)  <b>CG</b> CORRIDOR GENERAL <b>CE</b> CORRIDOR EDGE



**23.07.08 SIGN TYPE OVERVIEW** (continued)

Context Areas crossed out in red indicate that the Sign Type is not permitted in that Context Area.

CONTEXT AREAS (refer to Section 23.04)		BUILDING TYPE WITH FACADE (refer to Section 23.05)	<b>AWNING SIGN</b> (23.07.13) A sign that is painted, screen printed or applied to the awning.	
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE	MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (forecourt, dooryard & stoop facade) CIVIC		
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE	MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (forecourt, dooryard & stoop facade) CIVIC	<b>CANOPY SIGN</b> (23.07.14) A sign that is attached to the face or above the face of a canopy.	
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE	MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (forecourt, dooryard & stoop facade) CIVIC	<b>WINDOW SIGN</b> (23.07.15) A sign that is placed on the interior of the window and which is intended to be seen by the public from the outside.	
<del><b>CG</b> CORRIDOR GENERAL</del>	<b>CE</b> CORRIDOR EDGE	RETAIL (with 50 foot BTL) FLEX (forecourt, dooryard & stoop facade) LARGE MULTI-PLEX (all facade options) CIVIC	<b>GROUND SIGN</b> (23.07.16) A double- or single-faced free-standing permanent sign that is mounted directly on the ground or ground level foundation. Ground signs are often used to mark a place of significance or the entrance to a location.	

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### 23.07.09 SIGN BAND SIGN

The following standards apply to the Sign Band:



A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on Building Types and facades as permitted in Section 23.05. This sign is typically associated with the storefront facade.

**BUILDING TYPE WITH FACADE**  
(refer to Section 23.05)

MIXED USE (all facade options)  
RETAIL (all facade options)  
FLEX (all facade options)  
LIVE/WORK (all facade options)  
CIVIC

**CONTEXT AREAS**  
(refer to Section 23.04)

**CG**  
CORRIDOR  
GENERAL

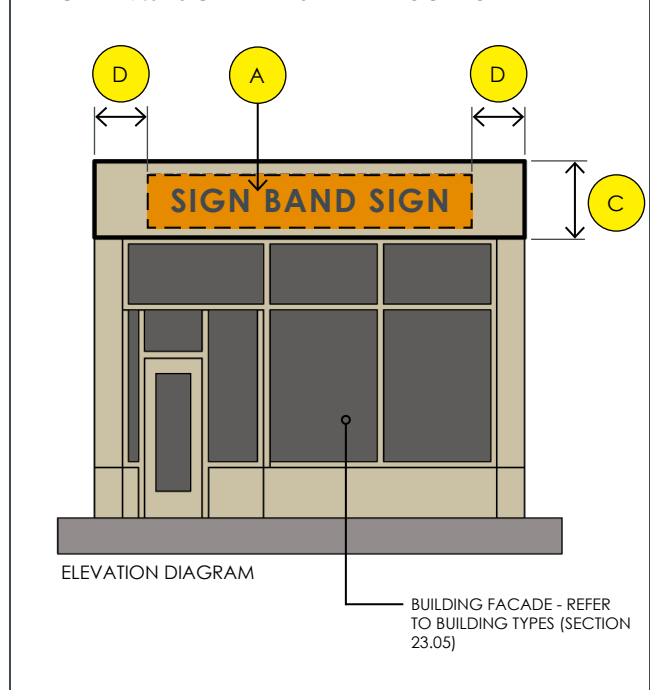
**CE**  
CORRIDOR  
EDGE

#### SIGN SIZE, PROPORTION AND LOCATION

Sign size, proportion, and location shall meet the following requirements and Diagram 7.01.

- A. Sign is required to be placed within the facade sign band or horizontal expression line.
- B. Sign band signs are permitted to be installed at facade along primary and secondary streets only.
- C. Vertical Placement: Sign within the sign band or horizontal expression line shall not exceed 80% of the overall height of the sign band or horizontal expression line.
- D. Horizontal Placement: Sign within the sign band or horizontal expression line shall not come closer than two (2) feet to the side edges of the sign band.
- E. Sign shall not extend more than three (3) inches from the face of the sign band or horizontal expression line.

DIAGRAM 7.01 SIGN BAND SIZE AND LOCATION



#### SIGN STANDARDS

- A. Sign may be engraved, painted, applied, or surface mounted on the building's sign band or horizontal expression line. Sign shall be made of materials visually compatible with the display surface of the sign band or horizontal expression line.

#### SIGN QUANTITY

- A. The number of sign band signs permitted per building shall not exceed the quantities indicated in Table 7.02, Section 23.07.18.
- B. Sign band signs may be used with other sign types on the same building.

#### SIGN ILLUMINATION

- A. Sign band signs may be externally illuminated per the requirements of Section 23.07.05.
- B. Sign band signs are not permitted to be internally illuminated. Sign band sign is not permitted to be illuminated with neon.

23.07.10 WALL SIGN

The following standards apply to the Wall Sign:



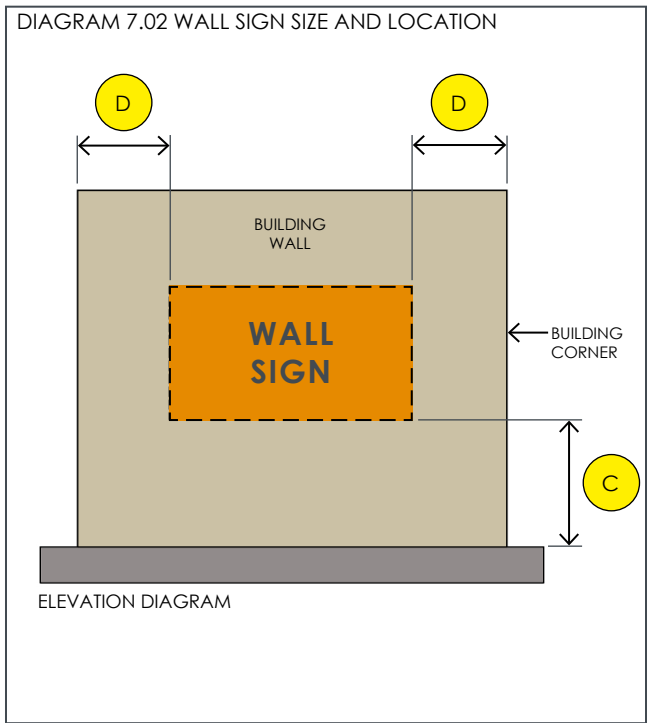
A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign parallel to the building wall.

BUILDING TYPE WITH FACADE (refer to Section 23.05)	CONTEXT AREAS (refer to Section 23.04)	
MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (forecourt & dooryard facade) CIVIC	<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE

SIGN SIZE, PROPORTION AND LOCATION

Sign size, proportion and location shall meet the following requirements and Diagram 7.02.

- A. Wall signs may be permitted on primary, secondary, and/or alley-facing building walls per Building Type and facade, as indicated in Table 7.02 in Section 23.07.18.
- B. Wall sign size shall be as permitted in Table 7.01 in Section 23.07.17.
- C. Wall Signs shall be a minimum of three (3) feet above the adjacent grade.
- D. Wall Signs shall not come closer than two (2) feet to the corner of the building.
- E. Sign shall not extend more than three (3) inches from the face of the building wall.



SIGN STANDARDS

- A. Sign may be painted, applied, or surface mounted on the building wall. Sign shall be made of materials visually compatible with the building's massing, scale, and character.

SIGN QUANTITY

- A. The number of wall signs permitted per building shall not exceed the quantities indicated in Table 7.02, Section 23.07.18.
- B. Wall signs may be used with other sign types on the same building.

SIGN ILLUMINATION

- A. Wall signs may be externally or internally illuminated per the requirements of Section 23.07.05.

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### 23.07.11 PROJECTING SIGN

The following standards apply to the Projecting Sign:



A double-faced sign that projects from the building wall at a 90 degree angle. Sometimes referred to as a blade sign.

#### BUILDING TYPE WITH FACADE (refer to Section 23.05)

MIXED USE (all facade options)  
RETAIL (all facade options)  
FLEX (all facade options)  
LIVE/WORK (all facade options)  
LARGE MULTI-PLEX  
(forecourt, dooryard & stoop facade)  
CIVIC

#### CONTEXT AREAS (refer to Section 23.04)

**CG**  
CORRIDOR  
GENERAL

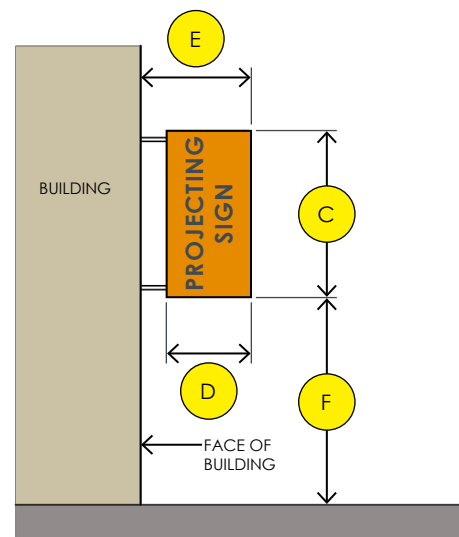
**CE**  
CORRIDOR  
EDGE

#### SIGN SIZE, PROPORTION AND LOCATION

Sign size, proportion and location shall meet the following requirements and Diagram 7.03.

- Projecting signs shall be permitted on primary and secondary building walls as indicated in Table 7.02 in Section 23.07.18.
- Projecting sign size shall be as permitted in Table 7.01 in Section 23.07.17.
- Maximum height of projecting signs shall be four (4) feet.
- Maximum width of projecting signs shall be three (3) feet.
- Projecting signs shall not extend more than four (4) feet from the face of the building wall.
- Projecting signs shall be a minimum of eight (8) feet above the adjacent grade.
- Projecting signs shall be perpendicular to the building face.

DIAGRAM 7.03 PROJECTING SIGN SIZE AND LOCATION



ELEVATION DIAGRAM  
PROJECTING SIGN

#### SIGN STANDARDS

- Sign may be painted, applied, or surface mounted on the projecting surface. Sign shall be made of materials visually compatible with the building's massing, scale, and character.
- Projecting sign frame shall be securely anchored, perpendicular to the building wall.
- Projecting signs made of fabric, cloth, or canvas (banners) shall be securely anchored to a sign frame.
- Projecting signs shall be double-faced.

#### SIGN QUANTITY

- The number of projecting signs permitted per building shall not exceed the quantities indicated in Table 7.02, Section 23.07.18.
- Projecting signs may be used with other sign types on the same building.

#### SIGN ILLUMINATION

- Projecting signs may be externally illuminated per the requirements of Section 23.07.05.
- Projecting signs are not permitted to be internally illuminated. Projecting sign is not permitted to be illuminated with neon.

23.07.12 SUSPENDED SIGN

The following standards apply to the Suspended Sign:



A double- or single-faced sign that hangs from brackets attached to the building at a 90 degree angle or hangs parallel to the building wall above openings, typically within the recessed door of a storefront facade.

BUILDING TYPE WITH FACADE (refer to Section 23.05)
MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (forecourt, dooryard & stoop facade) CIVIC

CONTEXT AREAS (refer to Section 23.04)	
<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE

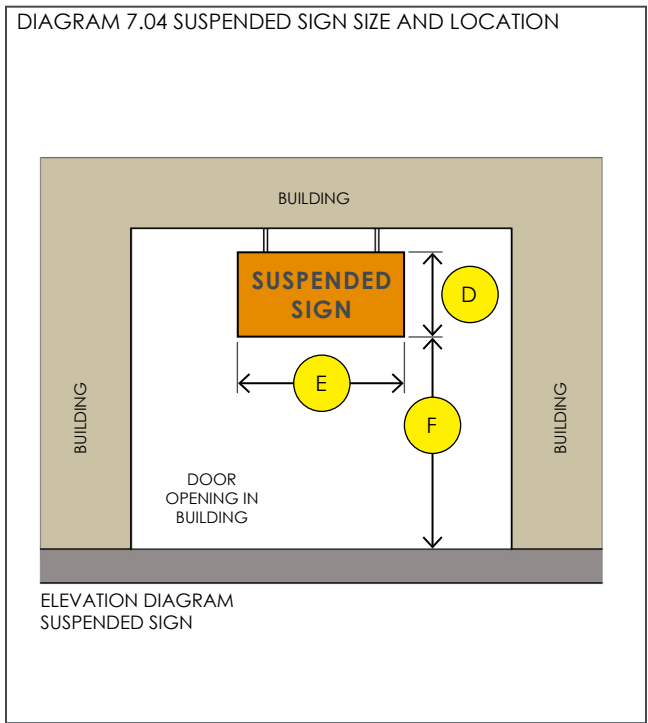
SIGN SIZE, PROPORTION AND LOCATION

Sign size, proportion and location shall meet the following requirements and Diagram 7.04.

- A. Suspended signs shall be permitted on primary and secondary building walls as indicated in Table 7.02 in Section 23.07.18.
- B. Suspended signs shall be hung in door openings (refer to image above) or similar opening within a primary or secondary building wall.
- C. Suspended sign size shall be as permitted in Table 7.01 in Section 23.07.17.
- D. Maximum height of suspended signs shall be two (2) feet.
- E. Maximum width of suspended signs shall be three (3) feet.
- F. Suspended signs shall be a minimum of eight (8) feet above the adjacent grade.
- G. Suspended signs shall not project beyond the edge of the building wall.

SIGN STANDARDS

- A. Sign may be painted, applied, or surface mounted on the suspended surface. Sign shall be made of materials visually compatible with the building's massing, scale, and character.
- B. Suspended sign frame shall be securely anchored to the arcade, marquee, soffit, eve, or similar horizontal surface of the building.
- C. Suspended signs may be double- or single-faced.



SIGN QUANTITY

- A. The number of suspended signs permitted per building shall not exceed the quantities indicated in Table 7.02, Section 23.07.18.
- B. Suspended signs may be used with other sign types on the same building.

SIGN ILLUMINATION

- A. Suspended signs may be externally illuminated per the requirements of Section 23.07.05.
- B. Suspended signs are not permitted to be internally illuminated. Suspended sign is not permitted to be illuminated with neon.

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### 23.07.13 AWNING SIGN

The following standards apply to the Awning Sign:



A sign that is painted, screen printed or applied to the awning.

**BUILDING TYPE WITH FACADE**  
(refer to Section 23.05)

MIXED USE (all facade options)  
RETAIL (all facade options)  
FLEX (all facade options)  
LIVE/WORK (all facade options)  
LARGE MULTI-PLEX  
(forecourt, dooryard & stoop facade)  
CIVIC

**CONTEXT AREAS**  
(refer to Section 23.04)

**CG**  
CORRIDOR  
GENERAL

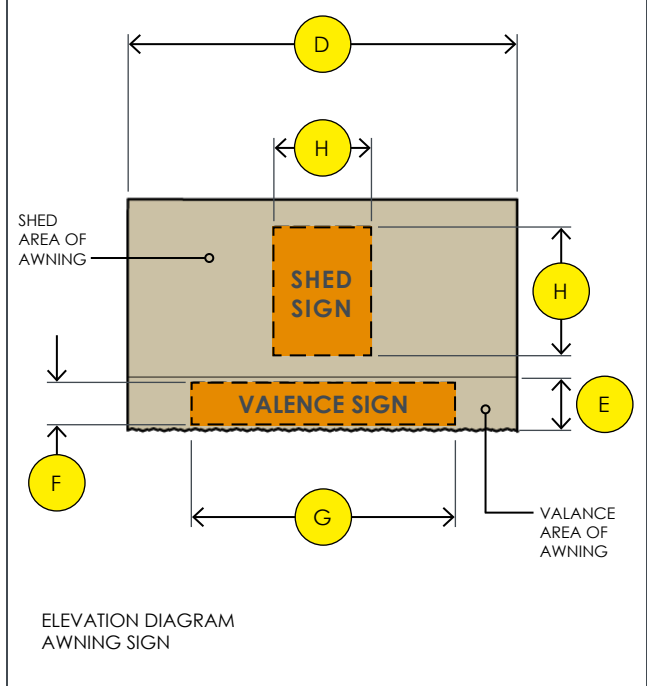
**CE**  
CORRIDOR  
EDGE

#### SIGN SIZE, PROPORTION AND LOCATION

Sign size, proportion and location shall meet the following requirements and Diagram 7.05.

- Awning signs shall be permitted on awnings at primary and secondary building walls as indicated in Table 7.02 in Section 23.07.18.
- Awnings shall only be permitted above doors and/or windows on primary and secondary building walls.
- Bottom of awning shall be a minimum of eight (8) feet above the adjacent grade.
- Width of awning shall be no more than 24 (twenty-four) inches wider than the width of the door or window that it is above. Awning shall be centered on door or window.
- Height of awning valance shall be between eight (8) and fourteen (14) inches.
- Height of sign on awning valance shall not exceed 80% of the valance height.
- Width of sign on awning valance shall not exceed 90% of the valance width.
- Area of sign located on the shed (sloped) area of the awning shall not exceed 30% of the overall shed area.

DIAGRAM 7.05 AWNING SIGN SIZE AND LOCATION



#### SIGN STANDARDS

- Sign may be painted, screen printed, or applied to the awning.
- Awnings shall meet the material and construction standards in Section 23.05.08.

#### SIGN QUANTITY

- The number of awning signs permitted per building shall not exceed the quantities indicated in Table 7.02, Section 23.07.18.
- Awning signs may be used with other sign types on the same building.

#### SIGN ILLUMINATION

- Awnings and awning signs are not permitted to be externally illuminated.
- Awnings and awning signs are not permitted to be internally illuminated.



23.07.14 CANOPY SIGN

The following standards apply to the Canopy Sign:



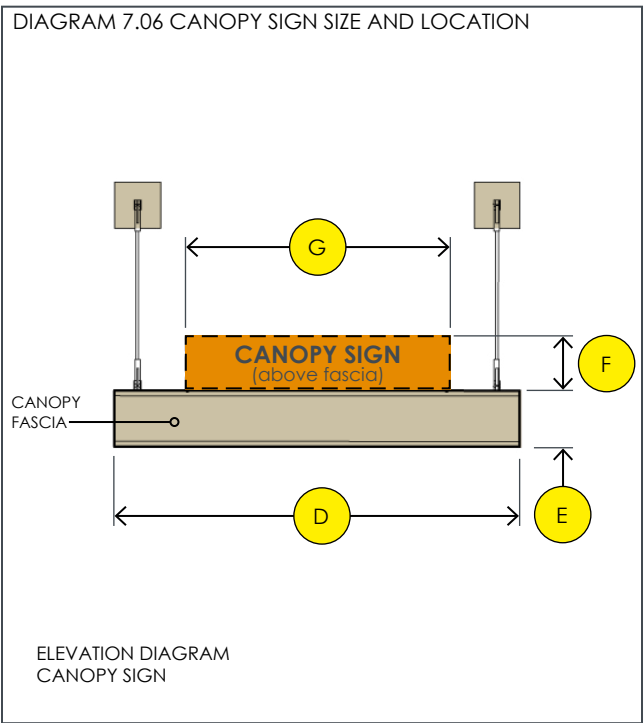
A sign that is attached to the face or above the face of a canopy.

BUILDING TYPE WITH FACADE (refer to Section 23.05)	CONTEXT AREAS (refer to Section 23.04)	
MIXED USE (all facade options) RETAIL (all facade options) FLEX (all facade options) LIVE/WORK (all facade options) LARGE MULTI-PLEX (forecourt, dooryard & stoop facade) CIVIC	<b>CG</b> CORRIDOR GENERAL	<b>CE</b> CORRIDOR EDGE

SIGN SIZE, PROPORTION AND LOCATION

Sign size, proportion and location shall meet the following requirements and Diagram 7.06.

- A. Canopy signs shall be permitted on canopies at primary and secondary building walls as indicated in Table 7.02 in Section 23.07.18.
- B. Canopies shall only be permitted above doors on primary and secondary building walls.
- C. Bottom of canopy shall be a minimum of eight (8) feet above the adjacent grade.
- D. Width of canopy shall be no more than 24 (twenty-four) inches wider than the width of the door that it is above. Canopy shall be centered on door.
- E. Height of canopy fascia shall not exceed 12 (twelve) inches.
- F. Height of sign placed above the face of canopy fascia or on canopy fascia shall not exceed 80% of the fascia height.
- G. Width of sign placed above the face of canopy fascia or on canopy fascia shall not exceed 90% of the fascia width.



SIGN STANDARDS

- A. Sign may be painted, surface-mounted, or applied to the canopy fascia; or may be mounted or applied to the top of the fascia canopy (as depicted in canopy sign image on this page).
- B. Sign shall not be applied to both canopy fascia and above canopy fascia on one canopy.
- C. Canopies shall meet the material and construction standards in Section 23.05.08.

SIGN QUANTITY

- A. The number of canopy signs permitted per building shall not exceed the quantities indicated in Table 7.02, Section 23.07.18.
- B. Canopy signs may be used with other sign types on the same building.

SIGN ILLUMINATION

- A. Canopies and canopy signs may be externally or internally illuminated per the requirements of Section 23.07.05.
- B. Canopy sign may be illuminated with neon per the requirements of Section 23.07.05.

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### 23.07.15 WINDOW SIGN

The following standards apply to the Window Sign:



A sign that is placed on the interior of the window and which is intended to be seen by the public from the outside.

**BUILDING TYPE WITH FACADE**  
(refer to Section 23.05)

MIXED USE (all facade options)  
RETAIL (all facade options)  
FLEX (all facade options)  
LIVE/WORK (all facade options)  
CIVIC

**CONTEXT AREAS**  
(refer to Section 23.04)

**CG**  
CORRIDOR  
GENERAL

**CE**  
CORRIDOR  
EDGE

#### SIGN SIZE, PROPORTION AND LOCATION

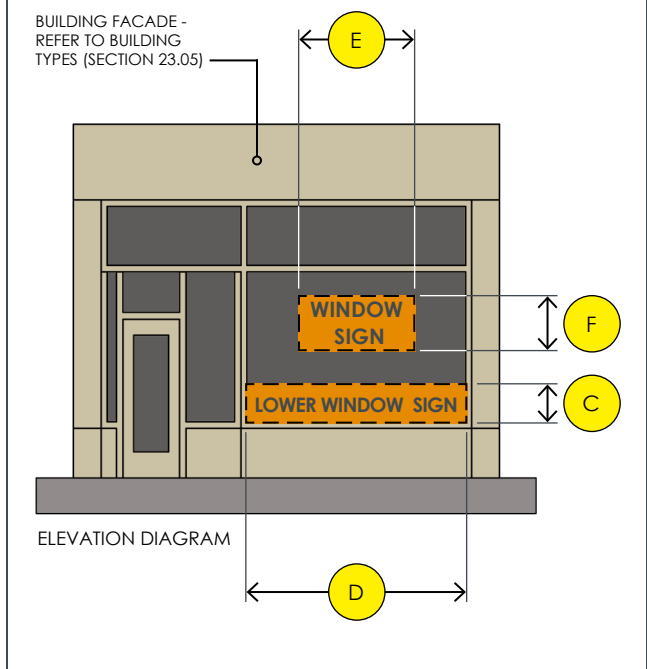
Sign size, proportion and location shall meet the following requirements and Diagram 7.07.

- A. Window signs shall be permitted on windows at primary and secondary building walls as indicated in Table 7.02 in Section 23.07.18.
- B. Size of window signs shall be as permitted by Table 7.01 in Section 23.07.17.
- C. Signs placed within 12 (twelve) inches from the bottom of window sill shall be considered lower window signs.
- D. Lower window signs shall be within 12 (twelve) inches of window sill and may span the entire width of the storefront.
- E. Width of window signs above twelve (12) inches from the sill shall not exceed three (3) feet in width.
- F. Height of window signs above twelve (12) inches from the bottom of the sill shall not exceed two (2) feet in height.
- G. Window signs may be placed on ground floor and upper floor windows.

#### SIGN STANDARDS

- A. Sign may be painted or applied to the inside face of the window.
- B. Neon tube signs may be used as window signs.

DIAGRAM 7.07 WINDOW SIGN SIZE AND LOCATION



#### SIGN QUANTITY

- A. The number of window signs permitted per building shall not exceed the quantities indicated in Table 7.02, Section 23.07.18.
- B. Window signs may be used with other sign types on the same building.

#### SIGN ILLUMINATION

- A. Window signs are not permitted to be externally or internally illuminated.

*Exception: Window signs may be neon tube per the requirements of Section 23.07.05.*

23.07.16 GROUND SIGN

The following standards apply to the Ground Sign:



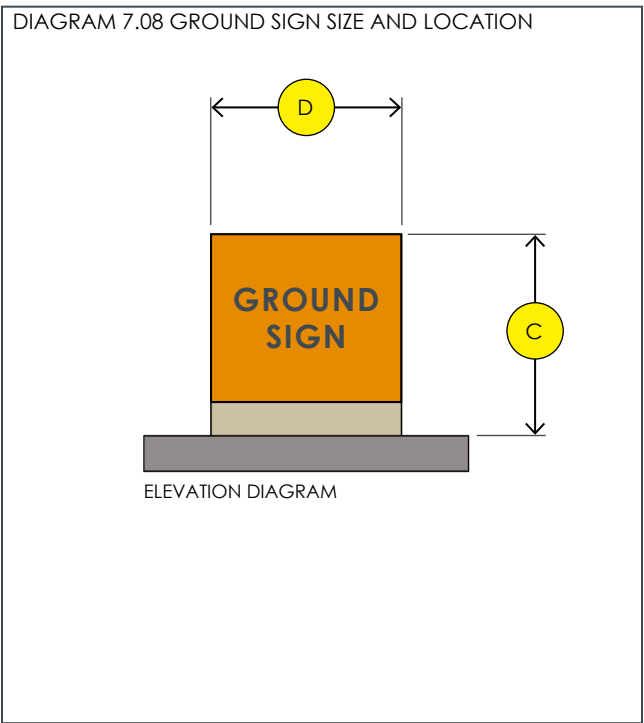
A double- or single-faced free-standing permanent sign that is mounted directly on the ground or ground level foundation. Ground signs are often used to mark a place of significance or the entrance to a location.

BUILDING TYPE WITH FACADE (refer to Section 23.05)	CONTEXT AREAS (refer to Section 23.04)	
RETAIL (with 50 foot BTL) FLEX (forecourt, dooryard & stoop facade) LARGE MULTI-PLEX (all facade options) CIVIC	<div><div>CC</div><div>CORRIDOR GENERAL</div></div>	<div><div>CE</div><div>CORRIDOR EDGE</div></div>

SIGN SIZE, PROPORTION AND LOCATION

Sign size, proportion and location shall meet the following requirements and Diagram 7.08.

- A. Ground signs shall be permitted as indicated in Table 7.02 in Section 23.07.18.
- B. Size of ground signs shall be as permitted by Table 7.01 in Section 23.07.17.
- C. Maximum height of ground signs shall be four (4) feet, measured from adjacent grade.  
*Exception: Height of multi-tenant ground signs may increase to five (5) feet, measured from adjacent grade.*
- D. Maximum width of ground signs shall be three (3) feet.  
*Exception: Width of multi-tenant ground signs may increase to five (5) feet, measured from adjacent grade.*
- E. Ground signs may be oriented perpendicular or parallel to the street. Ground signs shall be setback a minimum of five (5) feet from the property line.
- F. Ground signs shall not encroach into the easement areas. Refer to Map in Section 23.04.08.



SIGN STANDARDS

- A. Sign may be surface-mounted or applied to ground sign. Ground sign shall be designed to be compatible with the character of the surrounding buildings and materials in order to promote a unified design which complements the buildings' massing, scale, and material.
- B. Ground sign is not permitted to be changeable copy, except for gasoline price signs, directory signs listing more than one tenant, and signs advertising restaurant food specials, films, and live entertainment, which change on a regular basis.
- C. Ground signs may be double- or single-faced.

SIGN QUANTITY

- A. The number of ground signs permitted per building shall not exceed the quantities indicated in Table 7.02, Section 23.07.18.
- B. Ground signs may be used with other sign types on the same building.

SIGN ILLUMINATION

- A. Ground signs may be externally or internally illuminated per the requirements of Section 23.07.05.

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23.07.17 SIGN TYPE DIMENSIONAL REQUIREMENTS

Table 7.01 indicates sign size requirements per Building Type, facade, and Context Area.

TABLE 7.01 SIGN TYPE DIMENSIONAL REQUIREMENTS					
BUILDING TYPE WITH FACADE OPTION		SIGN PERMITTED IN CORRIDOR GENERAL CONTEXT AREA			
		SIGN PERMITTED IN CORRIDOR EDGE CONTEXT AREA			
		SIGN BAND SIGN	WALL SIGN	PROJECTING SIGN	SUSPENDED SIGN
MIXED USE	with STOREFRONT	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of secondary building wall area, NTE 32 SF. Sign not permitted on primary wall.	12 SF, maximum.	8 SF, maximum.
	with BALCONY	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of secondary building wall area, NTE 32 SF. Sign not permitted on primary wall.	12 SF, maximum.	8 SF, maximum.
RETAIL	with STOREFRONT	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of secondary building wall area, NTE 32 SF. Sign not permitted on primary wall.	12 SF, maximum.	8 SF, maximum.
FLEX	with STOREFRONT	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of secondary building wall area, NTE 32 SF. Sign not permitted on primary wall.	12 SF, maximum.	8 SF, maximum.
	with FORECOURT	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of either primary or secondary building wall area, NTE 32 SF. Permitted on one wall only.	12 SF, maximum.	8 SF, maximum.
	with DOORYARD	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of either primary or secondary building wall area, NTE 32 SF. Permitted on one wall only.	8 SF, maximum.	8 SF, maximum.
	with STOOP	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of either primary or secondary building wall area, NTE 32 SF. Permitted on one wall only.	8 SF, maximum.	8 SF, maximum.
LIVE/WORK	with STOREFRONT	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of secondary building wall area, NTE 32 SF. Sign not permitted on primary wall.	8 SF, maximum.	8 SF, maximum.
	with LIGHTWELL	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of either primary or secondary building wall area, NTE 24 SF. Permitted on one wall only.	8 SF, maximum.	8 SF, maximum.
	with DOORYARD	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of either primary or secondary building wall area, NTE 24 SF. Permitted on one wall only.	8 SF, maximum.	8 SF, maximum.
	with STOOP	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of either primary or secondary building wall area, NTE 24 SF. Permitted on one wall only.	8 SF, maximum.	8 SF, maximum.
LARGE MULTI-PLEX	with FORECOURT		15% of primary and/or secondary building wall area, NTE 24 SF per wall. Permitted on both walls.	8 SF, maximum.	8 SF, maximum.
	with DOORYARD		15% of primary and/or secondary building wall area, NTE 24 SF per wall. Permitted on both walls.	8 SF, maximum.	8 SF, maximum.
	with STOOP			8 SF, maximum.	8 SF, maximum.
	with PROJECTING PORCH				
CIVIC	Facades not applicable to this Building Type	Sign shall fit within sign band or horizontal expression line per 23.07.09.	15% of primary and/or secondary building wall area, NTE 32 SF per wall. Permitted on both walls.	12 SF, maximum.	8 SF, maximum.

Shaded areas represent Building Types and facades where sign type is not permitted.

**23.07.17 SIGN TYPE DIMENSIONAL REQUIREMENTS** (continued)

Table 7.01 indicates sign size requirements per Building Type, facade, and Context Area.

TABLE 7.01 SIGN TYPE DIMENSIONAL REQUIREMENTS (continued)					
SIGN PERMITTED IN CORRIDOR GENERAL CONTEXT AREA SIGN PERMITTED IN CORRIDOR EDGE CONTEXT AREA			CORRIDOR EDGE CONTEXT AREA ONLY	BUILDING TYPE WITH FACADE OPTION	
AWNING SIGN	CANOPY SIGN	WINDOW SIGN	GROUND SIGN		
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.	12 inches or more above sill: NTE 15% of window area on each window. Lower window signs (placed within 12 inches of sill) may span entire window width.		with STOREFRONT	MIXED USE
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.			with BALCONY	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.	Refer to Mixed Use Building Type requirements listed above, for window sign size requirements	24 SF, maximum (permitted on Retail Building with 50' BTL condition only).	with STOREFRONT	RETAIL
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.	12 inches or more above sill: NTE 15% of window area on each window. Lower window signs (placed within 12 inches of sill) may span entire window width.		with STOREFRONT	FLEX
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.		24 SF, maximum.	with FORECOURT	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.		24 SF, maximum.	with DOORYARD	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.		24 SF, maximum.	with STOOP	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.	12 inches or more above sill: NTE 10% of window area on each window. Lower window signs (placed within 12 inches of sill) may span entire window width.		with STOREFRONT	LIVE/WORK
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.			with LIGHTWELL	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.			with DOORYARD	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.			with STOOP	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.		24 SF, maximum.	with FORECOURT	LARGE MULTI-PLEX
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.		24 SF, maximum.	with DOORYARD	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.		24 SF, maximum.	with STOOP	
			24 SF, maximum.	with PROJECTING PORCH	
Sign shall fit within awning per 23.07.13.	Sign shall fit on canopy per 23.07.14.	Refer to Mixed Use Building Type requirements listed above, for window sign size requirements	24 SF, maximum.	Facades not applicable to this Building Type	CIVIC

Shaded areas represent Building Types and facades where sign type is not permitted.

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**23.07.18 SIGN TYPE PERMITTED QUANTITIES**

Table 7.02 indicates sign quantities per Building Type, facade, and Context Area. Signs may be combined on Building Types as indicated.

TABLE 7.02 SIGN TYPE QUANTITY REQUIREMENTS

BUILDING TYPE WITH FACADE OPTION		SIGN PERMITTED IN CORRIDOR GENERAL CONTEXT AREA			
		SIGN PERMITTED IN CORRIDOR EDGE CONTEXT AREA			
		SIGN BAND SIGN	WALL SIGN	PROJECTING SIGN	SUSPENDED SIGN
MIXED USE	with STOREFRONT	One (1) per sign band or horizontal expression line.	One (1) per secondary wall + one (1) per alley if present.	One (1) per entry.	One (1) per entry.
	with BALCONY	One (1) per sign band or horizontal expression line.	One (1) per secondary wall + one (1) per alley if present.	One (1) per entry.	One (1) per entry.
RETAIL	with STOREFRONT	One (1) per sign band or horizontal expression line.	One (1) per secondary wall + one (1) per alley if present.	One (1) per entry.	One (1) per entry.
FLEX	with STOREFRONT	One (1) per sign band or horizontal expression line.	One (1) per secondary wall + one (1) per alley if present.	One (1) per entry.	One (1) per entry.
	with FORECOURT	One (1) per sign band or horizontal expression line.	One (1) per primary OR secondary wall + one (1) per alley if present.	One (1) per entry.	One (1) per entry.
	with DOORYARD	One (1) per sign band or horizontal expression line.	One (1) per primary OR secondary wall + one (1) per alley if present.	One (1) per entry.	One (1) per entry.
	with STOOP	One (1) per sign band or horizontal expression line.	One (1) per primary OR secondary wall + one (1) per alley if present.	One (1) per entry.	One (1) per entry.
LIVE/WORK	with STOREFRONT	One (1) per sign band or horizontal expression line.	One (1) per secondary wall + one (1) per alley if present.	One (1) per building.	One (1) per building.
	with LIGHTWELL	One (1) per sign band or horizontal expression line.	One (1) per primary OR secondary wall + one (1) per alley if present.	One (1) per building.	One (1) per building.
	with DOORYARD	One (1) per sign band or horizontal expression line.	One (1) per primary OR secondary wall + one (1) per alley if present.	One (1) per building.	One (1) per building.
	with STOOP	One (1) per sign band or horizontal expression line.	One (1) per primary OR secondary wall + one (1) per alley if present.	One (1) per building.	One (1) per building.
LARGE MULTI-PLEX	with FORECOURT		One (1) per primary and/or secondary wall + one (1) per alley if present.	One (1) per building.	One (1) per building.
	with DOORYARD		One (1) per primary and/or secondary wall + one (1) per alley if present.	One (1) per building.	One (1) per building.
	with STOOP			One (1) per building.	One (1) per building.
	with PROJECTING PORCH				
CIVIC	Facades not applicable to this Building Type	One (1) per sign band or horizontal expression line.	One (1) per primary and/or secondary wall + one (1) per alley if present.	One (1) per building.	One (1) per building.

Shaded areas represent Building Types and facades where sign type is not permitted.



**23.07.18 SIGN TYPE PERMITTED QUANTITIES** (continued)

Table 7.02 indicates sign quantities per Building Type, facade, and Context Area. Signs may be combined on Building Types as indicated.

TABLE 7.02 SIGN TYPE QUANTITY REQUIREMENTS (continued)					
SIGN PERMITTED IN CORRIDOR GENERAL CONTEXT AREA			CORRIDOR EDGE CONTEXT AREA ONLY	BUILDING TYPE WITH FACADE OPTION	
AWNING SIGN	CANOPY SIGN	WINDOW SIGN	GROUND SIGN		
One (1) per awning.	One (1) per canopy, ground floor only.	One (1) per window + one (1) lower window sign.		with STOREFRONT	MIXED USE
One (1) per awning.	One (1) per canopy, ground floor only.	One (1) per window + one (1) lower window sign.		with BALCONY	
One (1) per awning.	One (1) per canopy, ground floor only.	One (1) per window + one (1) lower window sign.	One (1) per building (permitted on Retail Building with 50' BTL condition only).	with STOREFRONT	RETAIL
One (1) per awning.	One (1) per canopy, ground floor only.	One (1) per window + one (1) lower window sign.		with STOREFRONT	FLEX
One (1) per awning.	One (1) per canopy, ground floor only.	One (1) per window + one (1) lower window sign.	One (1) per building.	with FORECOURT	
One (1) per awning.	One (1) per canopy, ground floor only.	One (1) per window + one (1) lower window sign.	One (1) per building.	with DOORYARD	
One (1) per awning.	One (1) per canopy, ground floor only.	One (1) per window + one (1) lower window sign.	One (1) per building.	with STOOP	
One (1) per awning, ground floor only.	One (1) per building, ground floor only.	One (1) per window + one (1) lower window sign.		with STOREFRONT	LIVE/WORK
One (1) per awning, ground floor only.	One (1) per building, ground floor only.	One (1) per window + one (1) lower window sign.		with LIGHTWELL	
One (1) per awning, ground floor only.	One (1) per building, ground floor only.	One (1) per window + one (1) lower window sign.		with DOORYARD	
One (1) per awning, ground floor only.	One (1) per building, ground floor only.	One (1) per window + one (1) lower window sign.		with STOOP	
One (1) per building, ground floor only.	One (1) per building, ground floor only.		One (1) per building.	with FORECOURT	LARGE MULTI-PLEX
One (1) per building, ground floor only.	One (1) per building, ground floor only.		One (1) per building.	with DOORYARD	
One (1) per building, ground floor only.	One (1) per building, ground floor only.		One (1) per building.	with STOOP	
			One (1) per building.	with PROJECTING PORCH	
One (1) per building, ground floor only.	One (1) per building, ground floor only.	One (1) per window + one (1) lower window sign.	One (1) per building.	Facades not applicable to this Building Type	CIVIC

Shaded areas represent Building Types and facades where sign type is not permitted.

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### 23.08.01 APPLICABILITY

The following terms are defined for the purpose of the City of Kentwood Division Avenue Form-Based Code.

In instances where terms are not defined here, they may be defined elsewhere in the existing municipal zoning ordinance. In such cases, the definitions contained within the existing zoning ordinance shall be used for the administration of the City of Kentwood Division Avenue Form-Based Code.

In instances where terms are defined in both the existing ordinances and here, the definitions here shall prevail for the administration of the City of Kentwood Division Avenue Form-Based Code.

## A

### DEFINITIONS “A”

*Adjacent grade:* Refer to Grade, adjacent.

*Alley:* Refer to Rear Alley.

*Architectural features:* Elements of a Building Type that may project into setbacks or beyond the BTL as permitted by the facade option. Architectural features are not permitted to extend into public rights-of-way or into the easements referenced on the map in Section 23.04.08. Architectural features include awnings, balconies, bay windows, canopies, cornices, eaves, and projecting signs. Refer to Section 23.05.07.

*At-Grade entry:* An entry door that has a zero-step entrance that is accessed with a sidewalk that is connected to the public sidewalk.

*Attached dwelling unit:* Refer to Dwelling unit, attached.

*Attic:* An interior space of a building that has only a single floor of habitable space and that occurs within the pitched roof structure, whether conditioned or not. In the Division Avenue Form-Based Code, attic space is not among the number of stories regulated by Context Area or Building Type.

*Awning:* A retractable or fixed shelter projecting from and supported by the exterior wall of a building and constructed of non-rigid materials on a supporting framework.

## B

### DEFINITIONS “B”

*Balcony:* An open-air outdoor portion of an upper floor. Balconies typically project from the building wall, but may also be recessed within the building mass, specifically when associated with the balcony facade.

*Balcony facade:* A facade type that contains a recessed open-air balcony that is applied to the upper level floor of a Mixed Use Building Type along the primary street and occasionally, along the secondary street. The facade also has a storefront that is applied to the ground level floor along the primary and side streets. The balcony facade shall be designed to include an open-air space that is recessed into the building mass on the upper level(s) and a storefront that is designed to promote an attractive, convenient shopping experience and transparent wall along the sidewalk.

*Basement:* That portion of a building which is partly or wholly below finished grade, but so located that the vertical distance from the average grade to the floor is greater than the vertical distance from the average grade to the ceiling. A basement shall not be counted as a story.

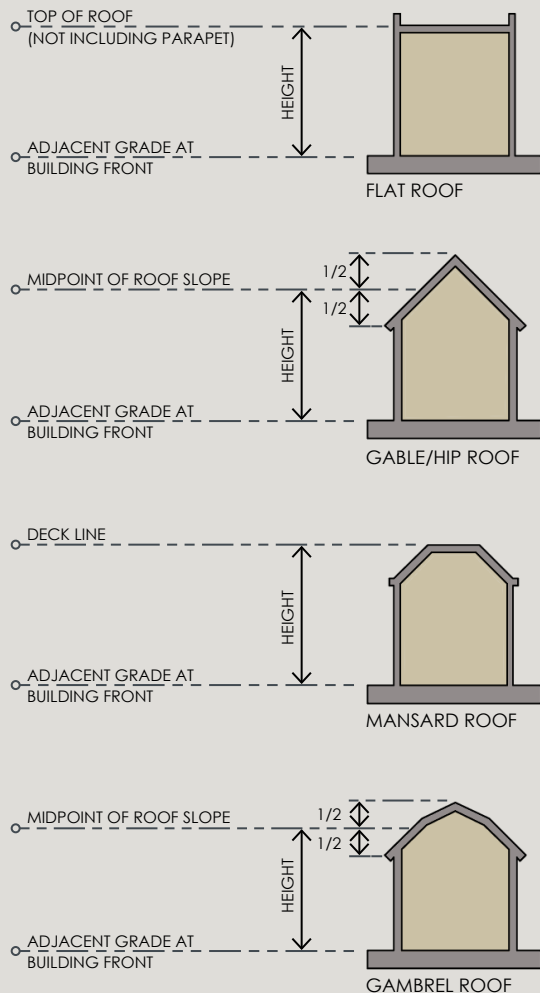
*Bay or bay window:* An interior portion of an upper floor extending beyond the building's exterior wall plane that is not supported from below by vertical columns or piers.

*Building Area or Footprint Expansion or Reduction:* For the purposes of determining applicability of form-based code standards in Section 23.02.01. Changes to the exterior of an existing building footprint by either expansion or reduction the size of the area of the footprint.

*Building Footprint:* The shape and placement of the ground floor of a structure on the lot or parcel.

*Building Footprint, Condominium Site:* The area of the condominium site within which the main building or structure may be constructed as described in the master deed for the site condominium.

DIAGRAM 8.01 BUILDING HEIGHT MEASUREMENT

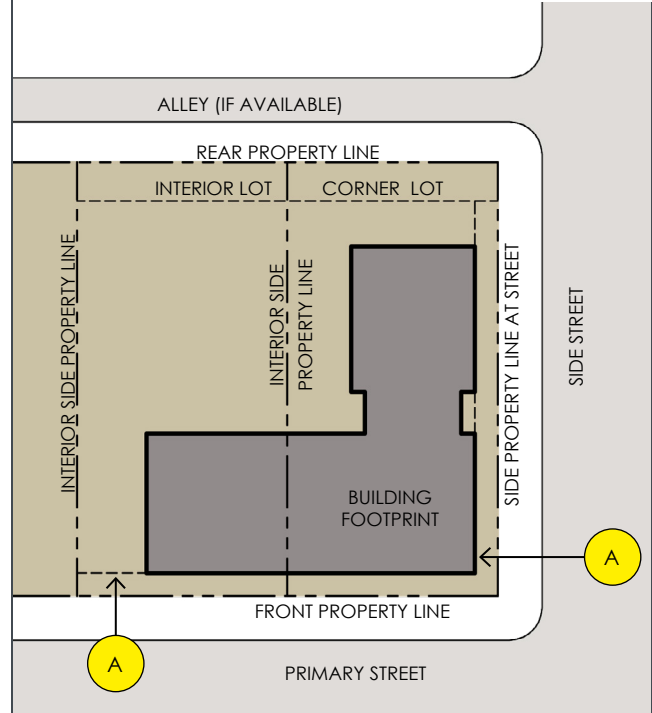


**Building Height, measured:** The vertical distance measured from adjacent grade the highest point: of the roof deck for flat roofs; to the deck line of mansard roofs; and to the average height between eaves; and the ridge of gable, hip, and gambrel roofs. Refer to Diagram 8.01.

**Building Height, number of stories:** The number of stories permitted by Context Area with the actual measurement of individual story height determined according to specific Building Types and within the Context Area. Measurement of story height is the distance between the finished floor and finished ceiling (or exposed structure) of that story.

**Building Type:** A structure defined by its combination of configuration, facade composition, site location, and function. Building Types are associated with Context Areas.

DIAGRAM 8.02 BUILD-TO-LINE



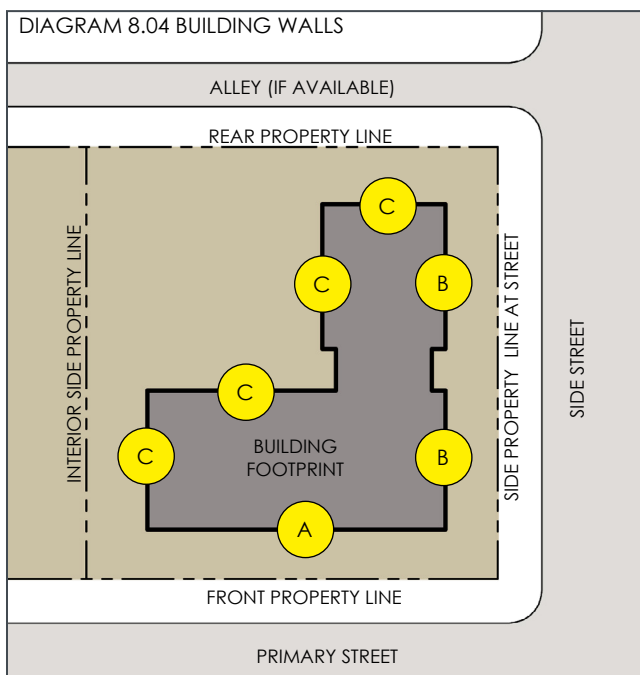
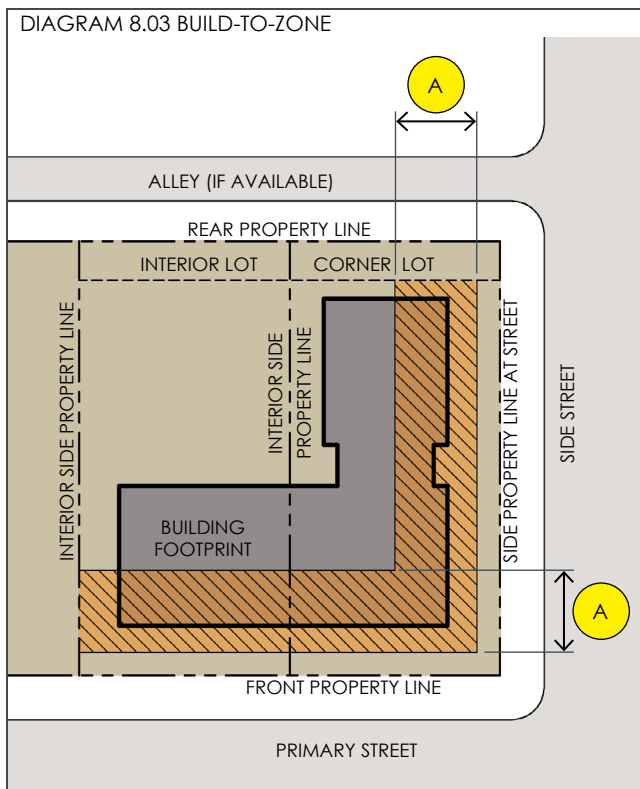
**Build-To-Line (BTL):** A measurement that defines the edge in which the primary and secondary building walls are required to be built to. When a Build-to-Line is indicated, it is a requirement and not a permissive minimum as is a Setback Line. Refer to Diagram 8.02, item A.

**Build-To-Zone (BTZ):** A measurement that defines the range (or zone) in which the primary and secondary building walls are required to be located within. When a Build-to-Zone is indicated, it is a requirement that the primary and secondary building walls and/or required facade are constructed within this range. Refer to Diagram 8.03, item A.

**Building Wall, Primary:** Building walls located at, or near, the property line/public right-of-way along the street, public path, or civic space of address for the building. Primary building walls require the use of a facade (refer to Section 23.04). Refer to Diagram 8.04, item A.

**Building Wall, Secondary:** Building walls located at, or near, the property line/public right-of-way along the street, public path, or civic space that are not the address of the building. Secondary building walls require the use of a facade (refer to Section 23.04). Refer to Diagram 8.04, item B.





**Building Wall:** Any building wall other than primary or secondary building walls that do not face the public right-of-way along streets, public paths or civic spaces. These walls are not subject to the Building Type or facade requirements listed in Section 23.04. Refer to Diagram 8.04, item C.

## C

### DEFINITIONS "C"

**Canopy:** A fixed shelter projecting from and supported by the exterior wall of the building with cables, brackets, or cantilever. Canopies are not supported with columns. Canopies are constructed of metal or other rigid materials.

**Civic Building Type:** A typically detached structure that incorporates uses of special public importance including, but not limited to, municipal buildings, places of worship, and libraries. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form. Civic buildings are typically sited in locations of prominence, such as corners of major intersections, terminating a street vista or overlooking or within a civic space.

**Civic Space:** An outdoor area dedicated to public use that is strategically placed to facilitate use by the surrounding community.

**Clear glass, Ground floor:** Glass having a Visible Light Transmittance (VLT) of 70% minimum and a Visible Light Reflectance (VLR) of 12% maximum on both exterior and interior. Heavily tinted or reflective glass shall not be considered clear.

**Clear glass, Upper floor:** Glass having a Visible Light Transmittance (VLT) of 60% minimum and a Visual Light Reflectance (VLR) of 15% maximum. Heavily tinted or reflective glass shall not be considered clear.

**Common Entry:** A shared entrance that typically has a lobby for access to upper floor units or multiple ground floor tenants.

**Context Area:** Administratively similar to Zoning Districts, except that the Context Areas integrate form-based elements, including Building Type, building site placement, facades, and off-street parking placement into the regulation.

*Cornice Expression Line:* An architectural feature on buildings that acts as an upper termination for the overall composition of the building. Located at the roofline, the cornice expression line may be straight across the building top, or staggered to vary the apparent building height.

*Courtyard:* A component of the forecourt facade that is an open space defined on three sides by building walls and open to the street or public right-of-way on the fourth side. The courtyard is not covered by a roof and extends the entire height of the building. Courtyards are accessed with a sidewalk that is connected to the public sidewalk.

In some instances the courtyard is paved and can act as an outdoor seating area with access to retail storefronts, while in other cases the courtyard acts as an entry space for residential units. Refer to Forecourt facade.

## D

### DEFINITIONS “D”

*Drive-through Zone:* The area (or zone) in which a drive-through is permitted to be placed on a site in Context Areas.

*Dooryard facade:* A facade type that has a small front yard that is occasionally defined by a low wall, fence, or hedge. The facade type has an at-grade entry that is connected to the public sidewalk.

*Duplex Building Type:* A small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a single-family house and is appropriately scaled to fit in single family neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.

*Dwelling unit, attached:* A dwelling unit attached to one or more dwelling units by common, major, structural elements. Typically associated with the Live/Work, Rowhouse, and Duplex Building Types in the City of Kentwood Division Avenue Form-Based Code.

## E

### DEFINITIONS “E”

*Easement:* A grant of one or more of the property rights by a property owner to and/or for use by the public or another person or entity.

*Eave:* The projecting overhang along the sloped edge of a pitched roof.

*Engaged Porch:* A slightly elevated unenclosed area attached to a building and corresponding to a door. An engaged porch is within the building mass, is open on two sides, and is covered with a roof. An engaged porch is occasionally large enough to provide private outdoor seating. Porch is accessed with a sidewalk that is connected to the public sidewalk.

*Engaged porch facade:* A facade type that has a small front yard and an engaged porch. The facade type has a raised entry door that is accessed with an engaged porch.

*Exterior Remodel:* For the purposes of determining applicability of form-based code standards in Section 23.02.01. Changes to the exterior of an existing building, including, but not limited to, addition or removal of windows and doors, a change in materials, a change in building height or roof structure, or an addition of architectural features (ie- canopies or awnings). Exterior remodel does not include the change in building area or footprint, which is a separate applicability requirement in Section 23.02.01.

*Exterior Remodel, 75% and above:* An exterior remodel of a building or structure that affects seventy-five (75) percent or more of the overall wall area of the building or tenant space. Refer to Section 23.02.01 Applicability.

*Exterior Remodel, under 75%:* An exterior remodel of a building or structure that affects less than seventy-five (75) percent of the overall wall area of the building or tenant space. Refer to Section 23.02.01 Applicability.

**F****DEFINITIONS “F”**

**Facade:** The composition and placement for exterior walls of a building that face either a primary or side street, public right-of-way, or easement. Each Building Type will require the use of one facade for primary and secondary building walls. Refer to Section 23.05. Facades include:

- A. Storefront facade
- B. Balcony facade
- C. Forecourt facade
- D. Lightwell facade
- E. Dooryard facade
- F. Stoop facade
- G. Projecting Porch facade
- H. Engaged Porch facade

**Facade composition:** The architectural characteristics required for primary and secondary building walls. Refer to Section 23.05.

**Fascia:** Horizontal board that terminates an eave edge of a sloped or pitched roof.

**Finish Ceiling:** The ceiling surface, usually installed over building structure or hung from the structure, which provides the completed ceiling surface.

**Finish Floor:** The floor, sometimes laid over a sub-floor, which provides the completed floor surface.

**Flex Building Type:** A medium- to large-sized attached or detached structure. It can be used to provide a vertical mix of uses with ground floor service, retail, and/or residential uses; or it may be a single-use building.

**Forecourt facade:** A facade type that has a courtyard space defined on three sides by building walls and open to the street or public right-of-way on the fourth side. The courtyard is not covered with a roof and extends the entire height of the building. Courtyard is accessed with a sidewalk that is connected to the public sidewalk.

**Form-Based Code District:** The area on the City of Kentwood official Zoning Map that is designated as a Form-Based Code District and the area depicted on the Context Area Map in Section 23.04.07. Lots or parcels located in the Form-Based Code district are regulated by the City of Kentwood Division Avenue Form-Based Code. Sometimes referred to Form-Based Code Area.

**G****DEFINITIONS “G”**

**Glass, Clear:** Refer to Clear glass ground floor and Clear glass upper floor.

**Grade, adjacent:** The exterior grade immediately adjacent to the building or structure from which measurements shall be taken. Used as a reference when measuring facade composition requirements and building heights.

**H****DEFINITIONS “H”**

**Height, building:** Refer to Building height, measured and Building height, number of stories.

**Horizontal Expression Line:** An architectural element on buildings that acts as an upper termination for the ground floor, separating the building base from the upper stories. Horizontal Expression Lines typically extend the entire width of the building facade and have a height that is regulated by the building facade. Refer also to Sign Band definition in Section 23.07.

**I****DEFINITIONS “I”**

No definitions for this section

**J****DEFINITIONS “J”**

No definitions for this section

**K****DEFINITIONS “K”**

No definitions for this section

**L****DEFINITIONS “L”**

**Landscaping:** Refer to Section 23.03 for landscaping associated with the City of Kentwood Division Avenue FBC.

**Large Multi-plex Building Type:** A medium- to large-sized structure that consists of 7 or more stacked and/or side-by-side dwelling units, typically with one shared entry. This Type is scaled to fit in medium-density neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.

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**Lightwell:** A below grade entry that provides access to a basement via a stair or ramp. The lightwell is accessed with a sidewalk that is connected to the public sidewalk.

**Lightwell facade:** A facade type that has a lightwell to access the below grade floor and a stoop (or elevated terrace) to access the main level of the building.

**Live/Work Building Type:** A small- to medium-sized attached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are occupied by one entity. This Type is appropriate for incubating retail and service uses and allows neighborhood retail to expand as the market demands.

**Lot coverage:** The percentage of a lot which is taken up by building space. Synonymous with Site Coverage.

## M

### DEFINITIONS “M”

**Mandatory:** Refer to Required.

**Massing:** The scale and proportions of a building or object.

**Mixed Use Building Type:** A medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.

## N

### DEFINITIONS “N”

**Nonconforming building or structure:** A building, structure, or portions thereof lawfully existing at the effective date of the City of Kentwood Division Avenue FBC or subsequent amendment which fails to meet the regulations for the Context Area in which it is located or Building Type standards.

**Nonconforming lot:** A lot of record which does not meet the dimensional requirements of the City of Kentwood Division Avenue FBC, or amendments thereto.

**Nonconforming sign:** Refer to Section 23.07 for sign definitions.

**Nonconforming use:** A use which lawfully existed prior to the effective date of the City of Kentwood Division Avenue FBC, or amendments thereto, that does not conform to the use regulations of the Context Area in which it is located.

## O

### DEFINITIONS “O”

**Optional:** A feature or architectural element in Form Generating Zoning Districts that is not required, but may be provided on the building or facade at the applicant's discretion.

## P

### DEFINITIONS “P”

**Parapet:** A part of the building wall that extends above the roof, typically located on flat roof buildings. Parapet heights are measured from the roof deck to the top of the parapet.

**Parking area:** Any on-premises parking lot, together with associated circulation aisles, and access drives.

**Parkway:** The area between the sidewalk and the street curb that is either landscaped or paved to match the sidewalk.

**Pilaster:** A decorative or structural column that is attached to the façade of a building. Pilasters may be round, in which case they are detailed exactly like a free-standing column. Square or rectangular pilasters may be detailed in a simpler manner and sometimes are a wall projection (common in masonry buildings).

**Porch, Engaged:** Refer to Engaged Porch.

**Porch, Projecting:** Refer to Projecting Porch.

**Primary Building Wall:** Refer to Building Wall, Primary.

**Primary Street:** The property lines of a parcel that are along the street of address for the parcel or building. Refer also to Side Street.

**Principal Building or Structure:** A building or structure in which is conducted the principal use of the lot upon which it is situated.



**Principal use:** The main use to which the premises are devoted and the main purpose for which the premises exist.

**Projecting Porch:** A slightly elevated unenclosed area attached to a building and corresponding to a door. A projecting porch projects from the building mass, is open on three sides, and is covered with a roof. A projecting porch is typically large enough to provide private outdoor seating. Porch is accessed with a sidewalk that is connected to the public sidewalk.

**Projecting porch facade:** A facade type that has a small front yard and a projecting porch. The facade type has a raised entry door that is accessed with a projecting porch.

**Public Realm:** The area between the façade of a building and the corresponding façade of the building across the street, typically defined by the rights-of-way lines of the roadway or street.

## Q

### DEFINITIONS “Q”

No definitions for this section

## R

### DEFINITIONS “R”

**Rake board:** The trim board along the sloping edge of a gable roof.

**Rear alley:** A dedicated right-of-way or easement providing access for service and parking at the rear of a parcel. Not intended for general traffic circulation.

**Rear lot line:** Refer to Lot line, rear.

**Retail Building Type:** A medium- to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.

**Required:** An element or feature that is required to be provided on the project. Synonymous with Mandatory.

**Right-of-way:** A street, alley or other thoroughfare or easement permanently established for passage of persons or vehicles and under the legal authority of the agency having jurisdiction over said passage.

**Roof Line:** The top of a flat roof adjacent to the required parapet. Used for measuring the height of the parapet and building height in Form Generating Zoning Districts.

**Rowhouse Building Type:** A small- to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing missing middle housing types within a walkable context.

## S

### DEFINITIONS “S”

**Scale:** Refers to the size of the building, street fixture, sign or other built or constructed element.

**Secondary Building Wall:** Refer to Building Wall, Secondary.

**Secondary Wing:** A portion of a Building Type that is subservient to the main building in site placement, size, mass, scale and sometimes height. The secondary wing is attached to the main building and in the rear of the site, typically along the secondary street.

**Setback:** The minimum horizontal distance that a building, structure, use, or parking must be from any lot or property line.

**Side Street:** The property lines of a parcel that are along any street other than the street of address for the parcel or building. Refer also to Primary Street.

**Sign Band:** An architectural element on buildings that acts as an upper termination for the ground floor, separating the building base from the upper stories. Sign bands typically extend the entire width of the building facade and contain signage within the band. Refer also to Horizontal Expression Line and Section 23.07.

**Signs:** Refer to Section 23.07 for definitions of signs regulated by the City of Kentwood Division Avenue Form-Based Code.

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**Site Placement:** The placement or location of a building footprint on a lot or parcel.

**Site coverage:** The percentage of a lot which is taken up by building space. Synonymous with Lot Coverage.

**Small Multi-plex Building Type:** A medium-sized structure that consists of 3 to 12 stacked and/or side-by-side dwelling units, typically with one shared entry or individual entries along the front. This Type oftentimes has the appearance of a large single-family house and is scaled to fit in single family neighborhoods. It is an essential Building Type for providing missing middle housing types within a walkable context.

**Stoop:** A slightly elevated unenclosed area attached to a building and corresponding to a door. Stoop is accessed with a sidewalk that is connected to the public sidewalk.

**Stoop facade:** A facade type that has a small front yard that is occasionally defined by a low wall, fence, or hedge. The facade type has a raised entry door that is accessed with a stoop.

**Storefront window:** A ground floor display window and entrance that typically includes windows, doors, transoms, and storefront base. The storefront has a high level of transparency and typically accommodates retail uses.

**Storefront base:** The partial height wall located at the sidewalk that the storefront display window sits on. Sometimes referred to as a bulkhead wall.

**Storefront facade:** A facade type that has a ground level storefront that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Entries for storefront facades are at grade with the sidewalk and are sometimes shaded by awnings.

**Story:** The distance between any two adjacent floors or floor lines, measured as the distance between the finished floor and finished ceiling (or bottom of exposed structure) in feet and inches. The introduction of mezzanines within any story is not permitted within the FBC.

**Street of Address:** The street that has the address of the building, lot, or parcel. Synonymous with Primary Street.

## T

### DEFINITIONS "T"

**Transom:** A small horizontal window located above the storefront and entry door to allow light or air into the retail building. Transoms do not have a minimum transparency requirement and can occasionally have decorative glass in lieu of transparent glass.

**Transparency:** The ability to see through with clarity. An opening in a building wall allowing light and views between interior and exterior through the use of clear glass. Only clear or lightly tinted glass in windows, doors and display windows is considered clear. Heavily tinted glass or reflective glass shall not be considered clear. Interior display shelves and merchandise are not allowed to obstruct views into or out of any windows, doors or display areas that are considered part of the transparency calculation. Windows, doors and display areas provide clear views into and out of the building. Transparency is integral to the relationship of buildings and the street because of the permeable edge and dialogue that it creates between the interior and exterior of buildings. Refer to Clear Glass definitions.

**Transparency calculation:** A requirement of all facade types in Section 23.05. The transparency is listed as a percentage of clear glass relative to the primary and secondary building wall. Amount of clear glass area shall be divided by the amount of overall building wall within the specified range to determine percentage.

## U

### DEFINITIONS "U"

No definitions for this section.

## V

### DEFINITIONS "V"

**Visible Light Reflectance (VLR):** The percent of total visible light that is reflected by a glazing system. The lower the number, the less visible light is reflected - making the glass more transparent. VLR is a measure of clear glass and transparency for Building Types in the City of Kentwood Division Avenue FBC. Low VLR means higher transparency in windows.

*Visible Light Transmittance (VLT):* The percent of total visible light that is transmitted through a glazing system. The lower the number, the less visible light is transmitted - making the glass less transparent. VLT is a measure of clear glass and transparency for Building Types in the City of Kentwood Division Avenue FBC. High VLT means higher transparency in windows.

## W

### DEFINITIONS “W”

No definitions for this section

## X

### DEFINITIONS “X”

No definitions for this section

## Y

### DEFINITIONS “Y”

No definitions for this section

## Z

### DEFINITIONS “Z”

No definitions for this section

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