

NOTICE OF KING CITY PLANNING COMMISSION MEETING

The Planning Commission of the City of King City will hold a Public Hearing at 9:30 a.m.,
Wednesday-April 11, 2018 at the King City Hall Council Chamber, 15300 SW 116th Ave,
King City, Oregon 97224

AGENDA

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Minutes:**
 - a) March 7, 2018
 - b) March 28, 2018
- 4. PUBLIC HEARING**
 - a) Case No. LU 2018-01 Floodplain and Drainage Hazard Area Review
 - b) Case No. LU 2018-02 Proposed New NMU – Neighborhood Mixed-Use Zone in the King City Community Development Code (CDC).
 - c) Case No. 2018-01-SA: Consider Sign Permit Application for 11777 SW Queen Elizabeth Street (King City Senior Village.)
- 5. Commissioner Reports**
- 6. Staff Reports**
- 7. Adjourn.**

NEXT MEETING SCHEDULED FOR APRIL 25, 2018 @ 9:30 AM

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired, or for other accommodations for persons with disabilities, should be made at least 48 hours in advance of the meeting to Ronnie Smith, City Recorder, 503-639-4082 or rsmith@ci.king-city.or.us.

**CITY OF KING CITY
PLANNING COMMISSION MEETING MINUTES**

Call to Order: A regular meeting of the King City Planning Commission was held at the King City Hall beginning at 9:30 a.m. on Wednesday, March 7, 2018. Commissioners elected Carolyn Griffith the Chair. Commissioner Griffith called the regular Planning Commission to Order at 9:30 a.m.

Roll Call: **The following City Council members were present:**

Chair Commissioner Carolyn Griffith
Commissioner Laurie Petrie
Commissioner Will Craig
Commissioner Katherine Griffith
Commissioner Jessica Poehler
Commissioner Quintien Harold
Commissioner John Walter

Absent:

Staff present included:

City Manager (CM) Mike Weston
City Recorder, Ronnie Smith

Approval of Minutes

August 24, 2016

MOTION MADE BY COMMISSIONER POEHLER TO APPROVE THE MINUTES FROM REGULAR SESSION ON AUGUST 24, 2016, SECONDED BY COMMISSIONER HAROLD.

**VOICE VOTE: 7-AYES – 0-NEYS – 0 ABSTENTIONS– 0- RECUSED
THE MOTION CARRIED 7-0.**

September 7, 2016

MOTION MADE BY COMMISSIONER GRIFFITH TO APPROVE THE MINUTES FROM REGULAR SESSION ON SEPTEMBER 7, 2016, SECONDED BY COMMISSIONER POEHLER.

**VOICE VOTE: 7-AYES – 0-NEYS – 0 ABSTENTIONS– 0- RECUSED
THE MOTION CARRIED 7-0.**

October 24, 2016

MOTION MADE BY COMMISSIONER POEHLER TO APPROVE THE MINUTES FROM REGULAR SESSION ON OCTOBER 24, SECONDED BY COMMISSIONER CRAIG.

**VOICE VOTE: 7-AYES – 0-NEYS – 0 ABSTENTIONS– 0- RECUSED
THE MOTION CARRIED 7-0.**

Agenda Item 3: Public Hearing:

To consider Ordinance 2018-02 King City's Housing Needs Analysis presented by Beth Goodman with EcoNW. Site Plan Review for 20-unit Multi-family complex

Chair Commissioner Griffith opened the Public Hearing at 9:49 am and explained the hearing process and appeal procedures and order of presentation and comment.

Beth Goodman with EcoNW presented the King City's Housing Needs Analysis to the Commissioners.

In Support:
None

Opposition:
None

Neutral:
None

Staff recommendation is to recommend to City Council to approve Ordinance 2018-02 King City's Housing Needs Analysis.

Chair Commissioner Griffith asked for a motion to close the public hearing.

MOTION MADE BY COMMISSIONER GRIFFITH TO CLOSE THE PUBLIC HEARING, SECONDED BY COMMISSIONER HAROLD.

**VOICE VOTE: 7-AYES – 0-NEYS – 0 ABSTENTIONS– 0- RECUSED
THE MOTION CARRIED 7-0.**

MOTION MADE BY COMMISSIONER POEHLER TO RECOMMEND FORWARDING TO THE CITY COUNCIL FOR LEGISLATIVE APPROVAL OF ORDINANCE 2018-02 ADDING THE HOUSING NEEDS ANALYSIS PRODUCED BY ECONW AS AN APPENDIX TO THE COMPREHENSIVE PLAN, SECONDED BY COMMISSIONER GRIFFITH.

**VOICE VOTE: 7-AYES – 0-NEYS – 0 ABSTENTIONS– 0- RECUSED
THE MOTION CARRIED 7-0.**

Agenda Item 4: Commissioner Reports:

None

Agenda Item 5: Staff Reports:

CM Weston Reported that two Planning commissioners would be giving up there sets for the two applicants that we currently have for the Planning Commission.

Marc Manlis will replace Commissioner Will Craig

Ann Marie Paulsen will replace Commissioner Katherine Griffith

Commissioner Katherine Griffith will replace Ann Marie Paulsen on the Budget Committee.

We heard the URA 6D Open House last night March 6, 2018.

March 28 will be the Concept Plan Public Hearing.

Agenda Item 6: Adjournment

COMMISSIONER HAROLD MOVED TO ADJOURN THE MEETING, COMMISSIONER CRAIG SECONDED, THE MEETING ADJOURNED AT 11:14 A.M

Respectfully Submitted by:

Attested by:

Ronnie Smith
City Recorder

Mike Weston
City Manager

**CITY OF KING CITY
PLANNING COMMISSION MEETING MINUTES**

Call to Order: A regular meeting of the King City Planning Commission was held at the King City Hall beginning at 9:30 a.m. on Wednesday, March 28, 2018. Chair Commissioner Griffith called the regular Planning Commission to Order at 9:30 a.m.

Roll Call: **The following City Council members were present:**

Chair Commissioner Carolyn Griffith
Commissioner Laurie Petrie
Commissioner Marc Manelis
Commissioner Ann Marie Paulsen
Commissioner Jessica Poehler
Commissioner Quintien Harold

Absent:

Commissioner John Walter - Excused

Staff present included:

City Manager (CM) Mike Weston
City Recorder, Ronnie Smith

Approval of Minutes None

Agenda Item 3: Public Hearing:

To consider and make a recommendation to the City Council on the Urban Reserve Area 6D (URA 6D) Concept Plan presented by Keith Liden, City Planner.

Chair Commissioner Griffith opened the Public Hearing at 9:39 am and explained the hearing process and appeal procedures and order of presentation and comment.

Keith Liden, City Planner, presented the concept plan to the Commissioners and audience. The Main points are as followed:

Vision and Goals (pp. 9 – 11). The vision and goals emphasize the importance of:

- Sensitivity to the Tualatin River and surrounding natural areas
- Creating a community of great neighborhoods
- Providing universal access and fluidity of transportation

• **Evaluation of Base Conditions** (pp. 13 – 26). Existing conditions for natural resources and sensitive lands, land use, transportation, and public utilities were inventoried and evaluated in a series of reports.

• **Concept Planning Frameworks** (pp. 27 - 80). In response to the existing conditions evaluation, appropriate planning approaches were developed for natural systems, future land use, mobility, and public utilities and services.

- **Infrastructure Funding** (pp. 81 – 85). Based upon the identified transportation and utility facility needs, the associated costs were estimated along with a method for new development to finance the necessary transportation and utility infrastructure.

- **Development Phasing** (pp. 87 -89). A two-phase development approach is described in the document beginning with urban development initially occurring in the western and northern portions of the area followed by a second phase of development and some redevelopment in the central and southeastern portions of URA 6D. The level of property owner interest annexing into the city and development will largely determine the pace of development, which is envisioned to take 20 years or more.

In Support:

Zach Pelz of AKS Engineering and Forestry: Support the resolution to approve the Concept plan because it allows the City to determine how this area is developed and it is consistent with the City's Statutory obligations to plan.

Jeff Roberts 1800 NW 167th Pl. Suite 150: is in support of the Concept Plan and thinks it well thought out.

Written testimony from Adam Kovarik from King City: I am for expansion, if and only if, the developer(s) bear the brunt of the costs:

- a. Road expansions
- b. Parks
- c. Development
- d. Paths
- e. Etc.

2. I am for expansion if my current taxes do not go up more than the average yearly increase.

3. I am for expansion if roads are responsibly expanded to handle the increased traffic

4. I am for expansion if the neighborhoods are connected with pedestrian / bike paths

5. I am for the expansion if pocket parks / green space (minimum 20%) are included in the design

6. I am for the expansion if there is a resident only pool, community center, included

7. I am for the expansion if there is a mixed development & commercial involved

- a. Increase diversity (mixed development)

- b. Decrease the need to leave the community (commercial)

8. I am for the expansion if the new residents share the burden of increased utility and service
(police, fire, etc.) costs

Opposition:

Patrick Parks 16605 SW Royalty Parkway: Is concerned with increased traffic on royalty Parkway. He is also concerned with King City property taxes increasing.

CM Weston spoke about the property taxes and said due to measure five property taxes do not increase on the city side. However, he mentioned that the county does a 3 percent increase on the assessed value yearly.

Neutral:
None

Chair Commissioner Griffith asked for a motion to close the public hearing.

MOTION MADE BY COMMISSIONER PAULSEN TO CLOSE THE PUBLIC HEARING, SECONDED BY COMMISSIONER POEHLER.

**VOICE VOTE: 6-AYES – 0-NEYS – 0 ABSTENTIONS– 0- RECUSED
THE MOTION CARRIED 6-0.**

MOTION MADE BY COMMISSIONER PAULSEN TO RECOMMEND FORWARDING TO THE CITY COUNCIL FOR CONSIDERATION ON URBAN RESERVE AREA 6D CONCEPT PLAN, SECONDED BY COMMISSIONER POEHLER.

**VOICE VOTE: 7-AYES – 0-NEYS – 0 ABSTENTIONS– 0- RECUSED
THE MOTION CARRIED 7-0.**

Agenda Item 4: Commissioner Reports:

None

Agenda Item 5: Staff Reports:

None

Agenda Item 6: Adjournment

COMMISSIONOR PETRIE MOVED TO ADJOURN THE MEETING, COMMISSIONER PAULSEN SECONDED, THE MEETING ADJOURNED AT 10:25 A.M

Respectfully Submitted by:

Attested by:

Ronnie Smith
City Recorder

Mike Weston
City Manager

MEMORANDUM

TO: King City Planning Commission
FROM: Keith Liden, Planning Consultant
SUBJECT: CWS Siphon Staff Report - File No. 2018-03
DATE: June 18, 2014

GENERAL INFORMATION

File Title

Case No. 2018-03
Floodplain and Drainage Hazard Area Review

Applicant

Natalie Warner
David Evans and Assoc.
2100 SW River Parkway, Suite 100
Portland, OR 97201

Wade Denny
Clean Water Services
Engineering Division
2550 SW Hillsboro Hwy.
Hillsboro, OR 97123

Zoning

R-24 (Multi-family Residential) Zone

Request

Floodplain review approval to replace portions of the existing Tualatin sanitary sewer interceptor and siphon. The proposed improvements include: sanitary sewer pipeline, associated siphon structures, manholes, mainline connections, service lateral connections, and surface restoration along the approximate alignment of the existing Upper Tualatin sewer interceptor pipeline.

Location

17219 SW Pacific Highway (off the southern terminus of SW 122nd Avenue). Assessors Map No. 2S1 15CB, Tax Lots 300 and 12600). See parcel map.

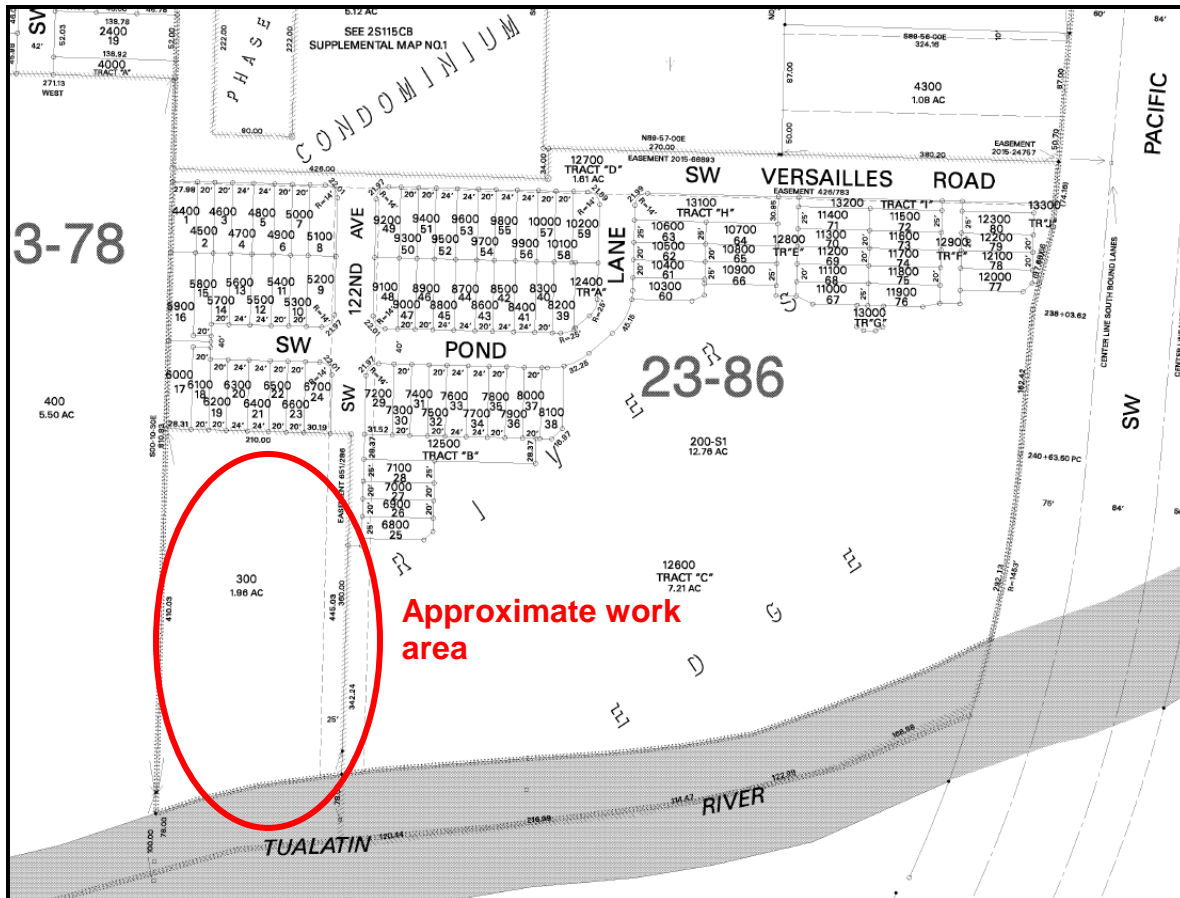
Comprehensive Plan Designation

Medium High Density Residential.

Zoning Designation

King City Multiple Family Residential (R-24).

Parcel Map



BACKGROUND INFORMATION

Site Conditions

The work site is located on the north bank of the Tualatin River. SW Pacific Highway is located approximately 700 feet to the east. The western portion (TL 300) is developed with a single family residence and two accessory buildings. Floodplain and wetland occupy the southern ½ of the property and the proposed project location is completely within the 100-year floodplain. The upland (northern) portion of the property contains the residence and accessory buildings with a gently slope toward the river. Trees are located near the house and along the river bank. The eastern portion of the work site (TL 12600) is "Tract C", which is the primary open space area for River's Edge. This tract was designated as open space primarily because it is within the Tualatin River 100-year floodplain.

Vicinity Description

The plan and zoning designations and current land use of the surrounding area are summarized in the table below:

Land Use Summary

<i>Parcels</i>	<i>Plan/Zone Designation</i>	<i>Land Use</i>
Subject Property North	King City R-24	Developed – one residence
	King City R-24	River's Edge - townhomes
East	Washington Co. Institutional (in King City)	
West	City of Tigard & Washington County	Residential
South	Washington County	Residential – King Village
	City of Tualatin	Tualatin River & RV park

SW Fischer Road is a public street, which provides access to SW Pacific Highway to the east, and SW 131st Avenue to the west. The property access is provided to SW Fischer Road through River's Edge and River Lake Village Condominiums.

Project Description

Clean Water Services (CWS) proposes to replace an existing sanitary sewer facility with a new line and siphon under the Tualatin River. The line and related improvements will primarily be placed underground with one manhole proposed to be slightly above the existing ground surface. There will be no net cut or fill, and no fill is proposed within the 100-year floodplain. Disturbed areas will be restored to their original grade and re-planted with appropriate native plant species. As explained in the application, this is a critical link for the CWS southwest service area. Projected growth in this area, coupled with the 40-year age of the existing facility, is prompting this project to replace and enhance the capacity of this line. A more detailed description of the project is provided on pages 1 and 2 of the application narrative.

The official FEMA (Federal Emergency Management Agency) 100-year Tualatin River floodplain elevation of the project area is approximately 132.9 feet (Attachment C of the application). The majority of the work area will be within the 100-year floodplain.

Agency Comments

No agency comments have been received. However, a Joint Permit Application for the project has been filed with the US Army Corps of Engineers and the Oregon Department of State Lands (Exhibit A).

FINDINGS AND CONCLUSIONS

The King City Community Development Code (CDC) contains the applicable review standards. The relevant evaluation criteria related to the five applications are found in CDC Chapters:

- 16.100 Multiple Family Residential (R-24) Zone;
- 16.124 Landscaping and Beautification;
- 16.128 Tree Removal;
- 16.140 Floodplain and Drainage Hazard Areas; and
- 16.212 Neighborhood Circulation.

Multi-Family Residential Zone (16.100)

This zone currently applies to the property, and it lists utilities as a conditional use. However, the CDC definition of “utilities” does not refer to underground facilities. As a result, a conditional use or site plan review application will not be required. This interpretation is consistent with the way the city has handled previous underground utility line installations. In addition, the dimensional standards for this zoning district do not apply because there will be no above ground structures.

Landscaping and Beautification (16.124)

Section 16.124.150 Revegetation

The only applicable requirements for this proposal are found in Section 16.124.150 Revegetation. As indicated in the application narrative, an existing buried pipeline will be replaced by a larger buried pipeline. For the ground area disturbed by construction, this section requires that “acceptable method” be used to revegetate disturbed areas. CWS indicates that the ground surface will be restored to pre-construction contours and reseeded.

Tree Removal (16.128)

The proposed siphon will not require the removal of any trees, and therefore, this chapter of the CDC is not applicable.

Floodplain and Drainage Hazard Areas (16.140)

Section 16.140.020 lists the types of activities that may be permitted with and without city review.

The proposed siphon is subject to Planning Commission review and approval as “construction or major improvement or alteration of underground pipes and conduits, including sewer, water and gas lines...”

Section 16.140.040 requires use of FEMA (Federal Emergency Management Agency) flood information.

As indicated in the application, the appropriate FEMA floodplain information is being used.

Section 16.140.050 lists the submittal requirements for development applications within the floodplain.

The applicant provided all of the required information, and the application was deemed complete.

Section 16.140.060 includes the relevant development standards.

A. Subdivisions.

A subdivision is not proposed, and therefore this section is not relevant.

B. Development proposed to encroach into the floodway shall demonstrate that the cumulative effect of the proposal will not increase the floodplain elevation.

There will be no net increase in fill and the ground contours will be restored to the pre-construction condition. The proposal shall not increase flood levels.

C. Development proposed within the floodplain, but not within the floodway may increase flood levels up to one foot with FEMA approval.

As noted above, this criterion will be satisfied because there will be no flood level increase.

D. Development proposed in a drainage hazard area....

This is not relevant because this proposal is within the floodplain, not a drainage hazard area.

E. Encroachments into the floodway....

As addressed above and demonstrated in the application materials, the pipeline will be underground, there will not be any net increase in fill, and no increase in flood levels will result.

F. The proposal will not increase the velocity of flood flows without appropriate mitigation.

As addressed above and demonstrated in the application materials, the pipeline will be underground, and no increase in flood velocities will result.

G. All cut and fill shall be structurally sound and designed to minimize erosion.

As noted above the ground contours will be restored to their original condition and reseeded.

H. Adequate drainage must be provided behind any dikes.

This criterion is not relevant because a dike is not proposed.

- I. *Environmental impacts shall be minimized to the extent practical as determined by CWS.*

As noted, CWS there will be minimal ground disturbance, and all disturbed areas will be reclaimed and revegetated according to CWS requirements.

- J. *Drainage systems shall be designed and constructed according to the standards of CWS.*

Drainage facilities are not proposed or necessary for this pipeline project.

- K. *Proposed partitions and subdivisions shall minimize flooding by complying with the applicable standards of the CWS Construction Standards.*

A subdivision is not proposed.

- L. *Public utilities and facilities in proposed partitions and subdivisions shall be located and constructed in a manner that will minimize flood damage.*

A subdivision is not proposed, but the facilities are designed to have no impact on flooding.

Sections 16.140.070 through 16.140.100 contain supplemental criteria for dwellings, recreational vehicles, other structures, and above ground utilities.

Because no above ground structures are proposed, these CDC sections are not applicable.

Section 16.140.110 Supplemental Criteria for Piping, Culverts, and Man-Made Creek Beds requires CWS approval of these facilities.

No piping, culverts, or man-made creek beds are proposed to drain or alter water flow. CWS is the applicant.

Section 16.140.120 Criteria for multi-family, institutional and commercial development parking.

No parking is proposed, and therefore this is not applicable.

Section 16.140.130 General requirements and prohibitions.

- A. *Property owners shall maintain the flood area...*

CWS is not the property owner, but the proposed improvements and restoration will comply with this requirement.

- B. *Storage of petroleum products, explosives, herbicides, pesticides, insecticides, poisons, defoliants, fungicides, desiccants, nematocides and rodenticide is prohibited.*

The proposal does not include the use or storage of any of these materials.

- C. *Dumping of solid waste in the flood area is prohibited.*

The proposal does not include any dumping of solid waste.

- D. *The provisions of the chapter are in addition to any and all federal, state or special district laws and regulations in force at the time of approval of the development permit. Any permits required from a local, state or federal agency shall be obtained prior to any development within the flood area.*

The proposed project will obtain a Clean Water Act Section 404/Rivers and Harbors Act Section 10 permit from the U.S. Army Corps of Engineers (USACE), and a removal-fill permit from the Oregon Department of State Lands (DSL) for temporary impacts to jurisdictional wetlands and waterways within the project area. CWS will be submitting a Joint Permit Application to the USACE and DSL on February 19, 2018. The project will also obtain a Service Provider Letter from Clean Water Services for temporary impacts to vegetated corridors within the project area. A Standard Site Assessment was submitted to Clean Water Services on February 6, 2018.

- E. *The standards and criteria of this chapter are cumulative and in addition to any other requirements of this title. The approval authority may condition any development permit to the extent necessary to avoid any specifically identified deleterious impacts on the natural integrity of the flood area or to wildlife and vegetation within the flood area.*

The approval authority is the city, and this application review along with the responsibility of CWS to maintain the flood capacity and environmental integrity of the floodplain satisfies this requirement.

- G. *In the case of the partitioning or subdivision of land for the location of structures for human occupancy, such site shall provide a building site, which includes the ground under the structure plus a ten-foot setback around all sides of the structure, with a ground elevation at least one foot above the flood surface elevation. No partition or subdivision shall create a lot whose dimensions do not meet this standard.*

Not applicable because a land division is not proposed.

- H. *There shall be no dumping of fill in a flood area without a floodplain or drainage hazard area alteration permit.*

The project will replace an existing buried pipeline with a larger buried pipeline. The project will result in a net increase of fill in the floodplain. Following construction, the ground surface will be restored to pre-construction contours. One existing appurtenance (the King City siphon outlet structure) is currently located three feet above grade and will be modified to lower the top of the appurtenance to at-grade elevation.

Neighborhood Circulation (16.212)

This chapter of the CDC does not technically apply to this application. However, the city aspires to provide a trail along the north side of the Tualatin River. Consistent with this approach, the recent River's Edge development provided trail access to the Tualatin River floodplain. King City would like to work with CWS to determine when and how it may be appropriate to include public non-motorized access utilizing the utility construction and access easements. The city recommends consideration of the accessway and greenway standards in CDC 16.212.070 in the final design of the access drive for this facility.

RECOMMENDATION

Based upon the above facts, findings, and conclusions, the planning consultant recommends that the Planning Commission APPROVE the proposed floodplain and drainage hazard application subject to the following conditions:

1. Submitting proof of obtaining a joint permit approval from the US Army Corps of Engineers and Oregon Department of State Lands.
2. Final grading and construction plans shall be submitted to the City Engineer for approval.
3. Prior to construction or grading, the CWS shall demonstrate to the City Manager that all necessary permits have been obtained for the work in the 100-year floodplain.

EXHIBIT A
Joint Permit Application

Joint Permit Application

This is a joint application, and must be sent to both agencies, who administer separate permit programs.
Alternative forms of permit applications may be acceptable; contact the Corps and DSL for more information.

Date Stamp



**U.S. Army Corps of Engineers
Portland District**



**Oregon Department of State
Lands**

Corps Action ID Number

DSL Number

(1) TYPE OF PERMIT(S) IF KNOWN (check all that apply)

Corps: ☐ Individual ☒ Nationwide No.: 12 & 13 ☐ Regional General ☐ Other

DSL: ☒ Individual ☐ General Permit ☐ No State Permit Required ☐ Waiver

(2) APPLICANT AND LANDOWNER CONTACT INFORMATION

	Applicant	Property Owner (if different)	Authorized Agent (if applicable) <input type="checkbox"/> Consultant <input type="checkbox"/> Contractor
Name (Required)	Brian Cook		Ethan Rosenthal
Business Name	Clean Water Services		David Evans and Associates, Inc.
Mailing Address 1	2550 SW Hillsboro Hwy		2100 SW River Parkway
Mailing Address 2			
City, State, Zip	Hillsboro, OR 97123		Portland, OR 97201
Business Phone	503-681-3600		503-499-0572
Cell Phone			
Fax			
Email	cookb@CleanWaterServices.org		ejro@deainc.com

(3) PROJECT INFORMATION

A. Provide the project location.

Project Name: Tualatin Interceptor and Siphon Improvements

[Latitude & Longitude*](#)

Project: Phase 1 - King City Siphon and Bull Mountain Trunk

See Attachment A

Project Address / Location

City (nearest)

County

See Attachment A

King City and Tualatin

Washington

Township

Range

Section

Quarter /
Quarter

Tax Lot

See Attachment A

See Attachment A

Brief Directions to the Site:

See Attachment A

B. What types of waterbodies or wetlands are present in your project area? (Check all that apply.)

☒ River / Stream

☒ Non-Tidal Wetland

☐ Lake / Reservoir / Pond

☐ Estuary or Tidal Wetland

☐ Other

☐ Pacific Ocean

(3) PROJECT INFORMATION			
Waterbody or Wetland Name**	River Mile	6 th Field HUC Name	6 th Field HUC (12 digits)
Tualatin River	11.5	Saum Creek-Tualatin River	170900100504
C. Indicate the project category. (Check all that apply.)			

<input type="checkbox"/> Commercial Development	<input type="checkbox"/> Industrial Development	<input type="checkbox"/> Residential Development
<input type="checkbox"/> Institutional Development	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Recreational
<input type="checkbox"/> Transportation	<input type="checkbox"/> Restoration	<input type="checkbox"/> Bridge
<input type="checkbox"/> Dredging	<input checked="" type="checkbox"/> Utility lines	<input type="checkbox"/> Survey or Sampling
<input type="checkbox"/> In- or Over-Water Structure	<input type="checkbox"/> Maintenance	<input type="checkbox"/> Other:

(4) PROJECT DESCRIPTION
<p>A. Summarize the overall project including work in areas both in and outside of waters or wetlands.</p> <p>The Tualatin Interceptor Phase 1 project consists of three connected sewer infrastructure components, owned, operated and maintained by Clean Water Services (CWS) –the Bull Mountain Trunk (BMT), the King City Siphon (KCS), and the Upper Tualatin Interceptor (UT Interceptor). Each component is described below. Figures are provided in Attachment B.</p> <p>Bull Mt. Trunk Component</p> <p>Construction on the BMT entails replacing and upgrading approximately 9,900 feet of existing 8- to 27-inch sewer line with a new 21- to 42-inch line (see Attachment B, BMT figure set Sheet C003 for the proposed BMT component alignment). This component starts near the intersection of SW Myrtle Avenue and Beef Bend Road in King City, heading east approximately 2,300 feet along SW Beef Bend Road improved right-of-way (ROW). It then jogs southeast roughly 700 feet through Deer Creek Elementary School play fields to SW 131st Ave. The alignment then heads south approximately 4,100 feet along SW 131st Avenue improved right-of-way before turning east. The alignment then heads approximately 2,800 feet east through private property consisting of pasture and then riparian areas located above the top of bank of the Tualatin River and ends on tax lot 300, where the KCS component of the project begins (see Attachment B, KCS figure set Figure EX6 for BMT/KCS connection location and profile).</p> <p>The upgraded pipe for this component will be installed within an open cut trench along most of its length, with typical trench dimensions of 5 ft wide and 10 ft deep. Local conditions may dictate deviations from this typical width (e.g. topography, crossing of existing utilities, trench construction safety requirements). The pipe will be placed aboveground at one location where it crosses a small drainage feature (BMT, Wetland A and Tributary 1) that flows into the Tualatin River. At this location the pipe will be suspended on supports above ordinary high water line (OHWL) for Tributary 1. The pipe and supports will be located outside of the wetland, thus resulting in no permanent impacts to the wetland or waterway. Jurisdictional resources only occur within the portion of the BMT alignment that runs near the Tualatin River as displayed on BMT design sheets C301 to C304 (Attachment B, BMT segment figure set). These resources are described in Section 4(B) below. A portion of the pipe will be relocated north of the existing BMT alignment to avoid impacts to Wetland B as shown on BMT design sheets C303 and C304. Where relocated, the existing pipe will be abandoned in place to avoid impacts associated with digging it up and removing it. Abandoned pipe sections will be plugged on either end to prevent the conveyance of ground water. All other pipe within or adjacent to resource areas will be replaced, meaning the existing pipe will be removed and a new, larger pipe will be installed in its place. For all installed pipe the trench will be filled with crushed rock around the pipe for structural support, with trench plugs installed to prevent ground water flow from being diverted down the length of the pipe bedding/fill material. Native top soil will be placed at the top of the trench to restore pre-construction contours and the entire disturbance limits will be de-compacted and revegetated to restore pre-construction vegetation communities.</p> <p>King City Siphon Component</p> <p>The existing KCS (an inverted siphon, also known as a depressed sewer) currently conveys sewer flows from the north side of the Tualatin River to the south side of the river connecting to the existing UT Interceptor. The existing KCS does not have capacity to carry flows from the upsized Bull Mt. Trunk and therefore a new siphon will be constructed in the same general vicinity as the existing KCS under the Tualatin River. The new syphon will continue</p>

to convey sewer flows from the north side of the river to the UT Interceptor on the south side of the river (see Attachment B, KCS/UT Interceptor figure set).

The river will be crossed using trenchless microtunneling technology. This will entail excavating vertical shafts on each side of the river. The shafts will be approximately 35 feet deep and 30 feet in diameter on the north side of the river, and 25 feet deep and 18 feet in diameter on the south side of the river. The shafts have been designed to be placed outside of wetlands and at the highest topographic location away from the banks and OHWL of the Tualatin River as possible given surrounding site constraints (approximately 145 and 110 feet from the top of bank on the north and south sides, respectively). The bottom of the river occurs at approximately 85 feet (NGVD29 datum) and the top of the pipe tunnel will be roughly 15 feet below this depth. Microtunneling uses low pressure drilling fluid, which reduces the risk of frac-out compared to other trenchless methods. Nevertheless, monitoring will occur during the tunneling operation and work stopped if frac-out is observed. In addition, a frac-out management and response plan will be developed for this project, prior to the start of construction, that will identify best management practices (BMPs) for preventing frac-out and response measures in the event that frac-out occurs.

Upper Tualatin Interceptor Component

The UT Interceptor pipe runs eastward from the KCS on the south side of the river, through Roamer's Rest RV Park, under the Hwy 99W bridge through ODOT ROW, and then through pasture and wooded areas on public (City of Tualatin) and private parcels (see Attachment B, UTI Figures EX1 through EX6). Construction on the UT Interceptor consists of replacing and upgrading the existing 36-inch sewer line with a new 60-inch line (see Attachment B, KCS/UT Interceptor figure set). The new pipe will be installed using open trench methods similar to the BMT portion of the project. Typical trench dimensions for the 60 inch pipe will be 8 ft wide and 15 feet deep, with local deviations due to site specific conditions. The alignment generally follows the same alignment as the existing pipe, except where it has been adjusted to reduce impacts to wetlands and adjacent forested buffers, or where other site constraints require minor adjustments (See Section 4B for further details). Existing manhole 11680, located in KCS/UT Interceptor Wetland B (Figure EX3, Attachment B), will be removed to restore wetland conditions at this location.

For all project work, manholes to be abandoned shall be lowered to a minimum depth of 3' below the existing grade and the remaining below grade manhole section shall be backfilled with crushed rock or controlled low strength material (CLSM). The surface above manhole shall be restored to match surrounding conditions. Pipes that will not be removed as part of the project will be left in-place to avoid any associated surface impacts.

B. Describe work within waters and wetlands.

Work within waters and wetlands will occur at five locations as follows. Except for the wetland restoration occurring associated with the removal of Existing manhole 11680, all impacts will be temporary and will result from excavation and subsequent filling of the pipe trench and temporary placement of crushed rock over geotextile fabric (or similar means) to allow for construction equipment movement. Wetlands will be de-compacted and restored to pre-construction conditions (topography and vegetation) at the end of construction (see Attachment B, Typical Site Restoration Plan). The top 12 inches of top soil will be stockpiled separately so that it may be applied to the top of trench backfills, providing a suitable planting medium. A description of work at each wetland and water crossing is provided below. The project component initials have been added before each feature ID since there is some overlap in naming conventions from the wetland delineations prepared for the project.

BMT, Wetland A and Tributary 1 (see Attachment B, BMT figure set Sheet 302): A portion of the existing sanitary sewer trunk crosses over Wetland A and Tributary 1 via an aerial crossing. Temporary impacts within these resources are necessary to replace the existing aerial pipe with a new aerial pipe. Temporary impacts will consist of placement of crushed rock over geotextile fabric, mats, or similar methods to allow for effective movement of construction vehicles. A temporary culvert will be placed in the bottom of Tributary 1 to allow for proper drainage during construction.

BMT, Drainage Ditch 3 (see Attachment B, BMT figure set Sheet 304): The new pipe will cross perpendicular to this manmade stormwater conveyance channel and will be installed using open trench methods. Vegetated soil lifts and rock will be installed in the stormwater conveyance channel to reduce the risk of scour exposing the pipe. Temporary impacts will consist of placement of crushed rock over geotextile fabric, mats, or similar methods to allow for effective movement of construction vehicles. A temporary culvert will be placed in the bottom of the ditch to allow for proper drainage during construction.

KCS/UT Interceptor, Wetland A (see Attachment B, KCS/UTI figure set Sheet EX5): Temporary impacts will occur to this degraded pasture wetland to allow for site staging and construction machinery movement on this property located on the north side of the river. The undeveloped portion of this property is relatively small, which creates for a very tight construction footprint that cannot avoid Wetland A. The BMT line will enter this property from the west, connecting with the KCS. The BMT line has been sited to avoid Wetland A and the KCS northern bore shaft has also been sited to avoid this wetland. However, temporary fill (crushed rock over geotextile fabric, matting, or similar method) of Wetland A is proposed to allow for efficient movement of equipment through the site. No work will occur along the forested bank of the Tualatin River or the small drainage feature connecting Wetland A to the river.

KCS/UT Interceptor, Wetland B (see Attachment B, KCS/UTI figure set Sheet EX2 and 3): A portion of the replacement pipe will be installed along the northern portion of this wetland, resulting in temporary impacts primarily to palustrine emergent wetland. This reflects a shifting of the current pipe easement further to the north to help minimize impacts to this wetland. Shifting the alignment further north, outside of the wetland, is not feasible as it would place the trench too close to the bank of the Tualatin River, posing a risk of exposing the pipe due to bank erosion or failure. Temporary impacts will occur along the north half of the wetland, which consists of palustrine emergent wetland (PEM). Palustrine forested (PFO) wetland occurs along the south side of the wetland and will mostly be avoided except for a very small unavoidable portion (0.004 acres) at the east end of the wetland. The impact to PFO will result in the removal of three trees. Temporarily disturbed portions of the wetland, including removed trees, will be replaced with native wetland shrubs and herbaceous species within the permanent utility easement, and with additional trees planted in the temporary construction easement. The existing pipe will remain in place below ground (i.e. abandoned). However, manhole 11680 will be removed so no surface components of the existing line remain in place within the wetland. The location of the removed manhole will be replaced with top soil and native wetland vegetation.

KCS/UT Interceptor, Tualatin River (see Attachment B, KCS/UTI figure set Sheet EX3): A very small portion of the permanent and temporary project easements cross below the OHWL, delineated at 111 ft NGVD29) of the Tualatin River in the vicinity of UTI Wetland D (i.e. just west of the Hwy 99W overpass). No impacts will occur to Wetland D and construction fencing will be used to limit encroachment below the OHWL. However, due to the very tight confines of the project corridor at this location (steep slopes and highway embankment on the south and the Tualatin River on the north), some very minor encroachment below the OHWL elevation is anticipated. Encroachment will consist of temporary placement of crushed rock over geotextile fabric to allow for safe and efficient movement of construction equipment; however, no trenching activity will occur below the OHWL elevation. This area consists of maintained non-native grass and will be restored by seeding with a native erosion control seed mix post pipe installation. All work will occur during the dry season when river levels are low, resulting in no in-water work.

The following features are proximate to construction activities; however, impacts will be avoided:

BMT, Drainage Ditch 2 and Wetland B (see Attachment B, BMT figure set Sheet 303): These features occur along the southern edge of the BMT alignment; however, we are proposing to relocate the sewer north to avoid impacts to these features. Hi-vis construction fencing and erosion control BMPs will be installed to protect these features from inadvertent construction access and potential upslope sources of erosion.

KCS/UT Interceptor, Drainage Feature (see Attachment B, KCS/UTI figure set Sheet EX5): This is a small channel along the north bank of the river that connects KCS/UTI Wetland A to the Tualatin River. Construction fencing and erosion control BMP's will be used to avoid impacts to this feature.

KCS/UT Interceptor, Tualatin River (see Attachment B, KCS/UTI figure set Sheet EX5): The KCS will be bored approximately 15 ft below the bed of the Tualatin River. Boring shafts will be located no closer than approximately 110 feet from the top of bank on either side of the river. Microtunneling technology will be used, which allows for low pressure drilling fluid, reducing the risk of frac-out. The drilling operation will be monitored from system controls that allow for early detection of potential frac-out and changes in operations, if needed.

KCS/UT Interceptor, Wetland C (see Attachment B, KCS/UTI figure set Sheet EX2): This wetland is located adjacent to the temporary construction easement. Construction fencing and erosion control BMPs will be used to avoid impacts to this wetland.

KCS/UT Interceptor, Wetland D (see Attachment B, KCS/UTI figure set Sheet EX2 and 3): This feature occurs adjacent to the north edge of the UTI alignment; however, construction fencing and erosion control BMPs will be installed to protect this feature from construction access and potential upslope sources of erosion.

C. Construction Methods. Describe how the removal and/or fill activities will be accomplished to minimize impacts to waters and wetlands.

Construction activities will include staging; establishing temporary access routes; clearing and grubbing; installation of erosion and sediment control BMPs; bypass pumping and dewatering, as necessary; excavation and backfill necessary for the new pipeline; and trenchless pipe installation for a new siphon.

Construction Sequencing

- Identify and isolate sensitive areas before construction begins. Install erosion and sediment control BMPs, establish staging, identify temporary construction routes
- Mowing, clearing, and grubbing, as necessary, to facilitate construction
- Mobilize all necessary equipment and materials, including heavy equipment, dewatering equipment, and bypass equipment necessary to install 42-inch to 66-inch pipe
- Excavate the pipeline trench to a depth below the bottom of the pipe and install bedding material. To accommodate trench box walls required for shoring, trench depths will range from 9 to 16 feet and trench widths will be a minimum of the pipe outside diameter plus 24 inches (approximately 6 to 8 feet depending on pipe outside diameter). The length of excavated trench is typically kept to a maximum of 2 to 3 times the length of one pipe, but may be longer depending on construction sequencing requirements. Excavation is generally through mechanical means with excavators and other large construction equipment
- Open trench construction of the new sewer line. Install temporary bypass pumps and temporary dewatering wells and run dewatering pumps, as necessary, to bypass existing flows during construction and to minimize the volume of water that collects in the open trenches. Install new manholes concurrently with the pipeline
- Install bedding material, crushed rock, and new sewer line and supporting materials per profile specified on plans. Backfill with native material to match preexisting contours and restore to preexisting conditions
- Remove and or retire existing manholes and abandon existing line in-place
- Microtunnel under the Tualatin River at King City to install siphon. Construction of microtunnel entry and exit shafts and install shoring consistent with Project and OSHA excavation protection requirements. The entry shaft is anticipated to be 30 feet by 30 feet, and exit shaft is anticipated to be 20 feet by 20 feet. Once the shaft has reached the desired depth, a concrete slab will be placed at the bottom as a seal. Ongoing dewatering will be conducted, as necessary, within the work area and/or the shafts. Jet grouting at the entrance and exit points may be used to help control groundwater
- Groundwater will be collected from wells or well points and sump pump systems and pumped into a temporary retention pond or tank for treatment before being discharged to upland areas or routed to appropriate storm drains, upon meeting discharge requirements. After treatment, if required, water may be discharged to a stream, river, wetland, open area, or storm drain system, in accordance with erosion and sediment control permits for the Project

- Demobilize and restore the Project area to pre-existing conditions. Ensure that the temporary construction and permanent easements are returned to pre-project contours, and perform site restoration, including soil scarification and seeding with a native seed mix approved by CWS.

Standard construction equipment will include trackhoes, dump truck, loaders, concrete saw, cement truck, construction forklift, and delivery trucks for other materials. Other equipment may include an air compressor, crane, and jack hammer. Construction crews and equipment will access the Project site from predetermined access points and staging areas.

Microtunneling

Microtunneling is the preferred trenchless pipe installation method for the KCS crossing of the Tualatin River, and utilizes a closed face, slurry-type microtunnel boring machine (MTBM). The MTBM utilizes a slurry to apply a positive, stabilizing pressure at the tunnel face, in order to balance the surrounding soil and groundwater pressures. A slurry is also typically pumped (under low pressure) into the annular space outside of the casing to reduce friction loads and help keep required jacking forces down. Excavated materials are removed from behind the MTBM and transported back to the entry shaft in a slurry suspension through a closed network of pipes.

The possibility of inadvertent returns (drilling fluid released at the ground surface) occurring is in part related to the contractor's operating pressure at the MTBM while excavating. For microtunneling, the contractor will submit its anticipated slurry operating pressures for review, according to technical specifications, before construction begins. The risk of inadvertent returns is lower for microtunneling, because the required slurry pressure is much less than that required for HDD.

During trenchless construction using shafts, high groundwater will be managed so that safe construction conditions and quality pipeline installation can be provided. Pre-drainage methods may involve using dewatering wells to lower local groundwater elevations before excavating shafts for trenchless construction. Dewatering wells will be designed to meet construction requirements and to protect adjacent natural resources. Alternatively, shafts may be designed to be watertight and not require substantial dewatering. A common method to control groundwater intrusion into the shaft itself is to use pumps at the bottom of the shaft (in a sump) to remove groundwater that may leak into the shaft.

Conservation Measures/BMPs

The proposed project has been designed and will be constructed in compliance with the Revised Standard Local Operating Procedures for Endangered Species to Administer Maintenance or Improvement of Stormwater, Transportation, and Utility Actions Authorized or Carried Out by the U.S. Army Corps of Engineers in Oregon (SLOPES V STU), issued by the National Marine Fisheries Service on March 14, 2014.

As outlined in SLOPES V STU, methods to minimize impacts to waters and wetlands will include, but are not limited to, the following:

- Before any significant ground disturbance or entry of mechanized equipment or vehicles into the construction area, clearly mark with flagging or survey marking paint the following areas: sensitive areas (e.g., wetlands, water bodies, OHW), equipment entry and exit points, and staging, storage, and stockpile areas.
- Before significant earthwork begins, appropriate temporary erosion controls will be installed downslope to prevent sediment deposition in the riparian area, wetlands, or water body.
- Staging areas will be clearly designated and use to store hazardous materials, or to store fuel, service heavy equipment, vehicles and other power equipment with tanks larger than 5 gallons. Storage of these materials will occur at least 150 feet from any natural water body or wetland, or on an established paved area, such that sediment and other contaminants from the staging area will not be discharged into adjacent waterbodies.
- To minimize soil compaction, wetland mats will be utilized when crossing wetlands during wet season.
- Microtunnelling technology will be used to cross the Tualatin River. This method allows for lower pressure hydraulic fluid that can be accurately monitored by system controls, thus greatly reducing the risk of frac-out.

- A 1200-C permit will be obtained for the project, which will require the preparation and implementation of a detailed erosion and sediment control plan prior to construction.
- Discharge of groundwater will be coordinated with state and local agencies through erosion and sediment control permitting. Settlement and/or filtration of groundwater through settling tanks and systems may be necessary before groundwater can be discharged, in order to meet DEQ Water Quality Standards (the relevant state regulation is the Beneficial Uses, Policies, and Criteria for Oregon (OAR 340-041-0036) and the conditions of the Project's 1200-C permit
- Construction discharge water will be treated using BMPs to remove debris, sediment, petroleum products, and any other pollutants likely to be present (e.g., green concrete, contaminated water, silt, welding slag, sandblasting abrasive, grout cured less than 24 hours, drilling fluids) to avoid the discharge of pollutants to any perennial or intermittent water body
- Groundwater dewatering will be implemented proactively to minimize turbidity of water. Clean, clear water will be filtered through geotextile filter bags and discharged to nearby upland vegetation areas for natural infiltration. If turbid water is encountered, it will be filtered through a detention tank with geotextile weirs for filtration prior to land applied discharge through geotextile filter bag
- To address potential high groundwater conditions during the wet season, tests will be performed within each section of pipe to be installed to determine ground water elevations. A vacuum dewatering system will be designed with wellpoint spacing and pumping to address groundwater conditions
- If water levels within the construction footprint exceed the height of microtunnel construction shafts, the shaft will either be fitted with a screen to prevent fish entrapment, or work will be stopped and the shaft will be sealed until water levels recede
- Any material removed during construction and not used in restoration or native to the floodplain shall be deposited outside of the functional floodplain
- Temporarily disturbed natural areas will be de-compacted and restored to preexisting conditions (grades and vegetation communities)

D. Describe source of fill material and disposal locations if known

Fill material will consist of native soil excavated from the pipeline trench and imported crushed rock to be placed around the pipe. Crushed rock will be supplied by a regional quarry. Disposal will occur at an approved landfill.

E. Construction timeline.

What is the estimated project start date? June 1, 2018

What is the estimated project completion date? September 30, 2019

Is any of the work underway or already complete? ☐ Yes ☒ No

If yes, please describe.

F. Removal Volumes and Dimensions (if more than 7 impact sites, include a summary table as an attachment)

Wetland / Waterbody Name *	Removal Dimensions					Duration of Impact**	Material***
	Length (ft.)	Width (ft.)	Depth (ft.)	Area (sq.ft. or ac.)	Volume (c.y.)		
See Attachment C							

G. Total Removal Volumes and Dimensions

Total Removal to Wetlands and Other Waters		Length (ft.)	Area (sq. ft or ac.)	Volume (c.y.)			
Total Removal to Wetlands							
Total Removal Below Ordinary High Water							
Total Removal Below Highest Measured Tide							
Total Removal Below High Tide Line							
Total Removal Below Mean High Water Tidal Elevation							
H. Fill Volumes and Dimensions (if more than 7 impact sites, include a summary table as an attachment)							
Wetland / Waterbody Name*	Fill Dimensions					Duration of Impact**	Material***
	Length (ft.)	Width (ft.)	Depth (ft.)	Area (sq. ft. or ac.)	Volume (c.y.)		
See Attachment C							
I. Total Fill Volumes and Dimensions							
Total Fill to Wetlands and Other Waters		Length (ft.)	Area (sq. ft or ac.)	Volume (c.y.)			
Total Fill to Wetlands							
Total Fill Below Ordinary High Water							
Total Fill Below Highest Measured Tide							
Total Fill Below High Tide Line							
Total Fill Below Mean High Water Tidal Elevation							
<p>*If there is no official name for the wetland or waterbody, create a unique name (such as "Wetland 1" or "Tributary A").</p> <p>**Indicate the days, months or years the fill or removal will remain. Enter "permanent" if applicable. For DSL, permanent removal or fill is defined as being in place for 24 months or longer.</p> <p>*** Example: soil, gravel, wood, concrete, pilings, rock etc.</p>							

(5) PROJECT PURPOSE AND NEED

Provide a statement of the purpose and need for the overall project.

As the water resources management utility for urban Washington County and portions of other jurisdictions, the District has an obligation to maintain its sewer infrastructure and provide capacity for the residents and businesses within its service area. The capacity of the existing sewer infrastructure within the Durham Basin can no longer reliably serve its customers and needs to be upgraded to increase capacity and improve reliability.

Existing sewer pipelines within the Durham basin include Summer Creek/Scholl's Trunk, Sherwood Trunk, Onion Flats Trunk, Cipole Trunk, Bull Mountain Trunk, and the Fanno Creek and Upper Tualatin Interceptors. The existing sewer lines were all constructed in the 1970s and 1980s, with extensions to some lines in the 2000s. A number of pump stations are also located within the Durham Basin that collect and convey wastewater. The existing infrastructure within the Durham Basin is currently experiencing capacity issues. CWS reviewed existing and planned development, and modeled projected sanitary sewer flows to identify sanitary sewer system deficiencies within the Durham Basin. As a result of the sewer system deficiencies identified and in order to respond to planned growth within urban reserve areas adjacent to the cities of Beaverton, Tigard, King City, Sherwood, and Tualatin, the District needs to upgrade existing infrastructure within the Durham Basin service area to meet growth projections over the next ten-plus years.

The purpose of the District's Upper Tualatin Interceptor Project is to provide cost-effective and reliable service for existing rate payers which ensures the District's infrastructure accommodates active development, allows flexibility for phased growth within existing growth boundaries, and minimizes impacts to the environment, community and property owners.

(6) DESCRIPTION OF RESOURCES IN PROJECT AREA

A. Describe the existing physical and biological characteristics of each wetland or waterbody. Reference the wetland and waters delineation report if one is available. Include the list of items provided in the instructions.

(6) DESCRIPTION OF RESOURCES IN PROJECT AREA

Wetland and waterway features listed below have been delineated within the project construction limits. These are documented in the following project wetland delineation reports:

- Bull Mountain Trunk Improvements, CWS Project No. 6884, King City, Oregon, Wetland and Waters Delineation Report, prepared by AKS Engineering & Forestry (WD2017-0478) (2017)
- Wetland Delineation Report, Tualatin Interceptor and Siphon Improvements Project, Phase - 1 King City Siphon, CWS Project No. 6493, prepared by David Evans and Associates, Inc. (WD2018-0063) (2018)

BMT, Wetland A is a palustrine scrub-shrub slope wetland located on the hillside in the southern BMT study area boundary on Tax Lot 901. Wetland conditions extend off-site to the north. Flows within Wetland A continue south from the wetland boundary forming Tributary 1. The main hydrology source for Wetland A is hillside seeps, along with a seasonally high ground water table. Wetland functions for this wetland were assessed by AKS Engineering and Forestry using the Hydrogeomorphic (HGM) Referenced-based Assessment of Oregon Wetlands and Riparian Sites in the Willamette Valley Ecoregion and are provided in Table 1.

Table 1. BMT Wetlands Functional Assessment Using HGM-Referenced-based Method

<u>Function</u>	<u>Wetland A Functional Capacity Score</u> <u>1= highest; 0 = lowest</u>
<u>Water storage and delay</u>	<u>0.40</u>
<u>Sediment stabilization and phosphorous retention</u>	<u>0.61</u>
<u>Nitrogen removal</u>	<u>0.91</u>
<u>Primary production</u>	<u>0.47</u>
<u>Invertebrate habitat support</u>	<u>0.37</u>
<u>Amphibian and turtle habitat support</u>	<u>0.54</u>
<u>Breeding waterbird support</u>	<u>0.00</u>
<u>Wintering and migrating waterbird support</u>	<u>0.35</u>
<u>Songbird habitat support</u>	<u>0.44</u>
<u>Support of characteristic vegetation</u>	<u>0.70</u>

BMT, Tributary 1 flows southerly on the hillside in the southern BMT study area on Tax Lot 901. The tributary enters the study area through a 12-inch diameter metal culvert under Wetland A. The tributary flows off-site in a southeasterly direction towards the Tualatin River. Upslope and northwest of the study area, the headwaters of the tributary appear to originate from a hillside seep. Within the study area, the channel bed averages approximately 6 feet in width with an average of 1-foot tall banks.

BMT, Drainage Ditch 3 flows southerly in the western portion of the southern BMT study area on Tax Lot 200. The drainage flows off-site toward the Tualatin River. Within the study area, the channel bed averages approximately 4 feet wide with an average of 3-foot tall banks. Beaver activity along the channel results in pools in several locations. The channel bed contained a silt loam substrate with scattered cobbles throughout. The riparian area is dominated by Himalayan blackberry, Scouler's willow, English hawthorn and pineland sword fern.

KCS/UT Interceptor, Wetland A, within the project limits, is a depressional palustrine emergent pasture wetland dominated by non-native grasses. The eastern edge of the wetland within the project limits has recently been planted to a forested/scrub-shrub wetland community and may be part of a wetland mitigation site associated with tax lot 2S115CB12600 (DSL App#0056294); however, no impacts to the potential mitigation site are proposed by the project. Wetland A is connected to the Tualatin River by a deep headcut seasonal drainage that

(6) DESCRIPTION OF RESOURCES IN PROJECT AREA

flows down the high and steep north bank of the river. A functional assessment for temporarily impacted wetlands associated with the KCS/UT Interceptor components of the project was conducted using best professional judgment since impacts will be small and are temporary. Results are provided in Table 2 below.

KCS/UT Interceptor, Wetland B is a depressional wetland located on a low terrace adjacent to the south bank of the Tualatin River. A permanent utility easement associated with the existing UT Interceptor pipe runs through this wetland. The wetlands consist of palustrine emergent and forested communities. The forested community occurs along the south half of the wetland. The wetland is a manmade feature that was constructed as part of the Roamer's Rest RV Park development, which applied for a permit application from the state in 1992 (DSL ID# WN92-0437) and received a permit number from the state (7079); however, no records of permit were provided during a DSL records review conducted February 16, 2018. A records request to the Corps revealed no information regarding this wetland.

Table 2. KCS/UT Interceptor Wetlands Functional Assessment Using Best Professional Judgement

	Water Quality	Water Quantity	Fish and Wildlife Habitat	Native Plant Diversity Support	Recreation and Education
Wetland A	Moderately High	Moderately Low	Moderate	Low	Moderately Low
Wetland B	Moderate	Moderate	Moderately Low	Moderate	Low

The Tualatin River (BMT/KCS/UTI) is a relatively large river that flows to the Willamette River. In the project limits the north bank is relatively steep and high above the river. The south bank contains a low terrace occupied by the Roamer's Rest RV Park. OHWL was delineated based on field indicators at elevation 111 ft (NGVD29). This elevation is well below the northern top of bank and just below the southern top of bank.

Listed Species: Upper Willamette River Steelhead (ESA status: threatened) use the project reach of the Tualatin River as migratory habitat (source: Streamnet). No other listed species are known to occur within the project corridor.

100-Year Floodplain: The entire KCS portion of the project and the southernmost end of the BMT are located within the 100-year floodplain of the Tualatin River, which occurs at elevation 129 feet (NGVD29).

B. Describe the existing navigation, fishing and recreational use of the waterbody or wetland.

The Tualatin River, in the vicinity of the proposed project, is used for fishing, small watercraft navigation, and general recreation. A paved trail with a put-in for canoes and similar hand transportable watercraft is present in the project corridor within the Highway 99W right of way near Hazelbrook Road. This access point will be unavailable to the public during periods of construction near this location. Signage will be made available directing users to the nearby put-ins at Jergens Park and Cook Park. Use of the project stretch of the river will be allowed during construction. Other wetlands and waters within the project limits have no navigational, fishing, or recreational uses.

(7) PROJECT SPECIFIC CRITERIA AND ALTERNATIVES ANALYSIS

Describe project-specific criteria necessary to achieve the project purpose. Describe alternative sites and project designs that were considered to avoid or minimize impacts to the waterbody or wetland.*

An alternatives analysis memo detailing the project-specific criteria necessary to achieve the project purpose is provided in Attachment D. The memo describes alternate piping routes that were evaluated.

* Not required by the Corps for a complete application, but is necessary for individual permits before a permit decision can be rendered.

(7) PROJECT SPECIFIC CRITERIA AND ALTERNATIVES ANALYSIS

In addition to the alternatives analysis, the following design measures will be implemented to avoid and minimize impacts to regulated resources:

- To the extent practicable, the upgraded line will be located in the same location as the current line, replacing the existing pipe, thereby reducing overall impacts and the need for new permanent easements. Deviations from the existing alignment will be made where necessary for constructability reasons and to avoid higher quality resources to the extent possible.
- Impacts to riparian forest areas on slopes on the north and south banks of the Tualatin River will be avoided. Although figures show permanent and temporary easements along the bank slopes, erosion control and construction fencing will prevent disturbance to these areas. The only work in such areas will be the underground trenchless crossing (microtunneling) of the Tualatin River that will pass under these areas at sufficient depth to result in no impacts to riparian resources along the river bank slopes.
- Impacts to riparian buffers around KCS/UT Interceptor Wetland A will mostly be limited to degraded pasture area, except for a small area of permanent utility easement above the top of bank, where the BMT line enters tax lot 300. Once the pipe enters tax lot 300 it angles northward away from the forested bank of the river and into degraded pasture.
- The pipeline alignment at KCS/UT Interceptor Wetland B has been shifted north to mostly avoid the PFO portion of the wetland and reduce overall disturbance in the wetland. The alignment cannot be pushed further north outside of the wetland, because it would place the pipe too close to the bank of the river, posing an unacceptable risk of pipe exposure due to potential bank erosion or bank failure. Temporary easements are shown further to the south; however, erosion control and construction fencing will be installed to prevent encroachment south of the permanent utility easement through this area, resulting in minimal impacts to forested buffer in this area.
- ESA species will not be adversely impacted by the project. Temporary in-water work will only occur within BMT Tributary 1. The project will conform to SLOPES V STU guidelines.
- The project will result in no net fill within the 100-year floodplain. The project area will be restored to pre-construction contours and revegetated once construction is complete.

(8) ADDITIONAL INFORMATION

Are there state or federally listed species on the project site?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unknown
Is the project site within designated or proposed critical habitat?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unknown
Is the project site within a national Wild and Scenic River ?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
Is the project site within a State Scenic Waterway ?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
Is the project site within the 100-year floodplain ?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unknown
If yes to any of the above, explain in Block 6 and describe measures to minimize adverse effects to these resources in Block 7.			
Is the project site within the Territorial Sea Plan (TSP) Area ?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
If yes, attach TSP review as a separate document for DSL.			
Is the project site within a designated Marine Reserve ?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Unknown
If yes, certain additional DSL restrictions will apply.			
Will the overall project involve ground disturbance of one acre or more?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unknown
If yes, you may need a 1200-C permit from the Oregon Department of Environmental Quality (DEQ).			
Is the fill or dredged material a carrier of contaminants from on-site or off- site spills?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Unknown
Has the fill or dredged material been physically and/or chemically tested?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Unknown
If yes, explain in Block 6 and provide references to any physical/chemical testing report(s).			
Has a cultural resource (archaeological) survey been performed on the project area?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Unknown

If yes, provide a copy of the survey with this application to the Corps only. Do not describe any resources in this document.

Will the project result in new impervious surfaces or the redevelopment of existing surfaces? Yes ☐ No ☒

If yes, the Applicant must submit a post-construction stormwater management plan to DEQ's 401 WQC program for review and approval, see <http://www.deq.state.or.us/wq/sec401cert/docs/stormwaterGuidelines.pdf>

Identify any other federal agency that is funding, authorizing or implementing the project.

Agency Name	Contact Name	Phone Number	Most Recent Date of Contact
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List other certificates or approvals/denials required or received from other federal, state or local agencies for work described in this application. For example, certain activities that require a Corps permit also require [401 Water Quality Certification](#) (WQC) from Oregon Department of Environmental Quality (DEQ). For DEQ, please note that all projects that qualify for a Nationwide 401 WQC will be invoiced a fee. Projects that do not qualify for the Nationwide certification will be invoiced based on project complexity. See <http://www.oregon.gov/deq/wq/wqpermits/Pages/Section-401-Fees.aspx>

Agency	Certificate/ approval / denial description	Date Applied
DEQ	401 Certification	Concurrent to JPA

Other DSL and/or Corps Actions Associated with this Site (Check all that apply.)

☐ Work proposed on or over lands owned by or leased from the Corps (may require authorization pursuant to 33 USC 408).

☐ State owned waterway DSL Waterway Lease # _____

☐ Other Corps or DSL Permits Corps # DSL #

☐ Violation for Unauthorized Activity Corps # DSL #

☒ Wetland and Waters Delineation Corps # DSL # WD#2017-0478, WD#2018-0063

Submit the entire delineation report to the Corps; submit only the concurrence letter (if complete) and approved maps to DSL. If not previously submitted to DSL, send under a separate cover letter

(9) IMPACTS, RESTORATION/REHABILITATION, AND COMPENSATORY MITIGATION

A. Describe unavoidable environmental impacts that are likely to result from the proposed project. Include permanent, temporary, direct, and indirect impacts.

The project will result in temporary impacts to jurisdictional resources as shown in the design figure sets provided in Attachment B and the impact table provided in Attachment C. No permanent impacts are proposed. A detailed description of temporary impacts in wetlands and waters is provided in Section 4B of this application. The project will ensure any BMP's necessary to prevent erosion and sediment transport from disturbed soil. As such, no permanent or indirect effects to wetlands and waters are anticipated from the project.

B. For temporary removal or fill or disturbance of vegetation in waterbodies, wetlands or riparian (i.e., streamside) areas, discuss how the site will be restored after construction to include the timeline for restoration.

(9) IMPACTS, RESTORATION/REHABILITATION, AND COMPENSATORY MITIGATION

Temporarily disturbed areas will have grades restored immediately after pipe installation. All disturbed areas will be de-compacted and restored to pre-construction contours, seepage collars will be installed at regular intervals along the pipe trench to prevent drainage, and all disturbed areas within wetlands and in close proximity to the Tualatin River will be restored with native woody vegetation to minimize temporal losses by the project. Therefore, all impacts are temporary and will result in no more than minimal spatial or temporal effects to wetlands or waterways. Plant installation will occur during the first fall after pipe installation to allow for appropriate climate conditions for planting of native species. A typical planting scheme is provided in Attachment B, Typical Site Restoration Plan. Temporary erosion control measures will be put in place (e.g. erosion control see mix, mulching, etc.) prior to fall plantings in accordance with the 1200-C permit that will be obtained for the project.

Compensatory Mitigation**C. Proposed mitigation approach. Check all that apply:**

☐ Permittee-responsible Onsite Mitigation ☐ Permittee-responsible Offsite mitigation ☐ Mitigation Bank or in-lieu fee program ☐ Payment to Provide (not approved for use with Corps permits)

D. Provide a brief description of mitigation approach and the rationale for choosing that approach. If you believe mitigation should not be required, explain why.

Mitigation not required. All impacts are temporary and site restoration will ensure no more than minimal effects to regulated resources.

Mitigation Bank / In-Lieu Fee Information:

Name of mitigation bank or in-lieu fee project:

Type of credits to be purchased:

If you are proposing permittee-responsible mitigation, have you prepared a compensatory mitigation plan?

☐ Yes. Submit the plan with this application and complete the remainder of this section.

☐ No. A mitigation plan will need to be submitted (for DSL, this plan is required for a complete application).

Mitigation Location Information (Fill out only if permittee-responsible mitigation is proposed)

Mitigation Site Name/Legal Description N/A	Mitigation Site Address	Tax Lot #	
County	City	Latitude & Longitude (in DD.DDDD format)	
Township	Range	Section	Quarter/Quarter

(10) ADJACENT PROPERTY OWNERS FOR PROJECT AND MITIGATION SITE

Pre-printed mailing labels
☒ of adjacent property owners attached

Project Site Adjacent Property Owners

Mitigation Site Adjacent Property Owners

Property owner list provided as Attachment E

(11) CITY/COUNTY PLANNING DEPARTMENT LAND USE AFFIDAVIT (TO BE COMPLETED BY LOCAL PLANNING OFFICIAL)

I have reviewed the project described in this application and have determined that:

- ☐ This project is not regulated by the comprehensive plan and land use regulations
- ☐ This project is consistent with the comprehensive plan and land use regulations
- ☐ This project is consistent with the comprehensive plan and land use regulations with the following:
- ☐ Conditional Use Approval
 - ☐ Development Permit
 - ☐ Other Permit (explain in comment section below)
- ☐ This project is not currently consistent with the comprehensive plan and land use regulations. To be consistent requires:
- ☐ Plan Amendment
 - ☐ Zone Change
 - ☐ Other Approval or Review (explain in comment section below)

An application or variance request has ☐ has not ☐ been filed for approvals required above

Local planning official name (print)	Title	City / County
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Signature	Date
-----------	------

Comments:

(12) COASTAL ZONE CERTIFICATION

If the proposed activity described in your permit application is within the [Oregon coastal zone](#), the following certification is required before your application can be processed. The signed statement will be forwarded to the Oregon Department of Land Conservation and Development (DLCD) for its concurrence or objection. For additional information on the Oregon Coastal Zone Management Program and consistency reviews of federally permitted projects, contact DLCD at 635 Capitol Street NE, Suite 150, Salem, Oregon 97301 or call 503-373-0050 or click [here](#).

CERTIFICATION STATEMENT

I certify that, to the best of my knowledge and belief, the proposed activity described in this application complies with the approved Oregon Coastal Zone Management Program and will be completed in a manner consistent with the program.

Print /Type Applicant Name	Title
Applicant Signature	Date

(13) SIGNATURES

Application is hereby made for the activities described herein. I certify that I am familiar with the information contained in the application, and, to the best of my knowledge and belief, this information is true, complete and accurate. I further certify that I possess the authority to undertake the proposed activities. By signing this application I consent to allow Corps or DSL staff to enter into the above-described property to inspect the project location and to determine compliance with an authorization, if granted. I hereby authorize the person identified in the authorized agent block below to act in my behalf as my agent in the processing of this application and to furnish supplemental information in support of this permit application. I understand that the granting of other permits by local, county, state or federal agencies does not release me from the requirement of obtaining the permits requested before commencing the project. I understand that payment of the required state processing [fee](#) does not guarantee permit issuance.

To be considered complete, the fee must accompany the application to DSL. The fee is not required for submittal of an application to the Corps.

Fee Amount Enclosed	\$ 1,242
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Applicant Signature (required) must match the name in Block 2

Print Name Brian Cook	Title
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Signature	Date
-----------	------

Authorized Agent Signature

Print Name Ethan Rosenthal	Title
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Signature	Date
-----------	------

Landowner Signature(s)*

Landowner of the Project Site (if different from applicant)

Print Name	Title
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Signature	Date
-----------	------

Landowner of the Mitigation Site (if different from applicant)

Print Name	Title
------------	-------

Signature	Date
-----------	------

Department of State Lands, Property Manager (to be completed by DSL)

If the project is located on [state-owned submerged and submersible lands](#), DSL staff will obtain a signature from the Land Management Division of DSL. A signature by DSL for activities proposed on state-owned submerged/submersible lands only grants the applicant consent to apply for a removal-fill permit. A signature for activities on state-owned submerged and submersible lands grants no other authority, express or implied and a separate proprietary authorization may be required.

Print Name	Title
------------	-------

Signature	Date
-----------	------

* Not required by the Corps.

(14) ATTACHMENTS

- ☒ Drawings
 - ☒ Location map with roads identified
 - ☒ U.S.G.S topographic map
 - ☒ Tax lot map
 - ☒ Site plan(s)
 - ☒ Cross section drawing(s)
 - ☒ Recent aerial photo
 - ☐ Project photos
 - ☒ Erosion and Pollution Control Plan(s), if applicable
 - ☐ DSL/Corps Wetland Concurrence letter and map, if approved and applicable
- ☒ Pre-printed labels for adjacent property owners (Required if more than 5)
- ☐ [Incumbency Certificate](#) if applicant is a partnership or corporation
- ☒ Restoration plan or rehabilitation plan for temporary impacts
- ☐ Mitigation plan
- ☐ Wetland functional assessment and/or stream functional assessment
- ☒ Alternatives analysis
- ☐ Biological assessment (if requested by Corps project manager during pre-application coordination.)
- ☐ Stormwater management plan (may be required by the Corps or DEQ)
- ☒ Other:

<input checked="" type="checkbox"/>	Archeaological Resource Reports (Corps only under seperate cover)
<input type="checkbox"/>	

Send Completed form to:

U.S. Army Corps of Engineers

ATTN: CENWP-OD-GP
 PO Box 2946
 Portland, OR 97208-2946
 Phone: 503-808-4373
portlandpermits@usace.army.mil

OR

U.S. Army Corps of Engineers

ATTN: CENWP-OD-GE
 211 E. 7th AVE, Suite 105
 Eugene, OR 97401-2722
 Phone: 541-465-6868
portlandpermits@usace.army.mil

Counties:

Baker, Clackamas,
 Clatsop, Columbia,
 Gilliam, Grant, Hood
 River, Lincoln, Malheur,
 Morrow, Multnomah, Polk,
 Sherman, Tillamook,
 Umatilla, Union, Wallowa,
 Wasco, Washington,
 Wheeler, Yamhill

Counties:

Benton, Coos, Crook,
 Curry, Deschutes,
 Douglas, Jackson,
 Jefferson, Josephine,
 Harney, Klamath, Lake,
 Lane, Linn, Marion

Send Completed form to:

DSL - West of the Cascades:

Department of State Lands

775 Summer Street NE, Suite 100
 Salem, OR 97301-1279
 Phone: 503-986-5200

OR

DSL - East of the Cascades:

Department of State Lands

1645 NE Forbes Road, Suite 112
 Bend, Oregon 97701
 Phone: 541-388-6112

Send all Fees to:

Department of State Lands
 775 Summer Street NE, Suite 100
 Salem, OR 97301-1279

Pay by Credit Card Online:

<https://apps.oregon.gov/dsl/EPS/>



THE CITY OF KING CITY
15300 SW 116th Avenue
King City, OR 97224
Ph: 503-639-4082 · Fax: 503-639-3771

APPLICATION FOR LAND USE ACTION

TYPE OF LAND USE ACTION REQUESTED

- | | |
|---------------------------------------------------|----------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Conditional Use |
| <input type="checkbox"/> Plan Amendment | <input type="checkbox"/> Minor Partition |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Site Plan |
| <input type="checkbox"/> Sign Permit | <input checked="" type="checkbox"/> Other: <u>Floodplain and drainage hazard area review</u> |
| | <input type="checkbox"/> Temporary |

OWNER/APPLICANT INFORMATION:

Applicant: Natalie Warner, David Evans and Associates, Inc. Phone: 503-499-0293

Address: 2100 SW River Parkway, Suite 100, Portland, Oregon 97201

Owner: Wade Denny, Senior Engineer, Clean Water Services

Address: 2550 SW Hillsboro Highway, Hillsboro, Oregon 97123 Phone: 503-547-8117

Contact for Additional Information: _____

PROPERTY INFORMATION:

Street Location: 17219 SW Pacific Highway; TL 12600 has no site address

Tax Lot and Map No: 2S115CB12600 and 2S115CB00300

Existing Structure/Use: Residential

Existing Plan/Zone Designation: R-24; Floodplain and Drainage Hazard Areas

PROPOSED ACTION:

Proposed Use: Tualatin Interceptor and Siphon Improvement Project

Proposed Plan/Zone Designation: No change proposed

Proposed No. of Phases (one year each): One phase

Standard to be Varied & How Varied (Variance Only): N/A

AUTHORIZING SIGNATURES:

I am the owner/authorized agent of the owner empowered to submit this application and affirm that the information submitted with this application is correct to the best of my knowledge.

I further acknowledge that I have read the applicable standards for review of the land use action I am requesting and understand that I must demonstrate to the City review authorities compliance with these standards prior to approval of my request.

Applicants Signature

Date

Owners Signature

Date

TO BE SUBMITTED WITH THE APPLICATION:

To complete the application, submit fifteen (15) copies of the following:

1. A brief statement describing how the proposed action satisfies the requested findings criteria contained in the Comprehensive Plan for the action requested.
2. Applicable existing conditions and proposed development plan information and materials listed in part___Chapter___Section___of the Comprehensive Plan. The information in Section 4.100 which is applicable to a given application shall be determined during a pre-application conference with the Planning Department.

Proposal:	Tualatin InterceptorAnd Siphon Improvement
Site Location:	17219 SW Pacific Highway
Subject Parcels:	2S115CB12600 (no site address—7.21 acres 2S115CB00300 (1.96 acres)
Permit Approval Process:	Type II
Application Type:	Floodplain and Drainage Hazard Areas Permit
Zoning:	R-24 King City Floodplain and Drainage Hazard Areas
Applicant:	Wade Denny, Senior Engineer Clean Water Services 2550 SW Hillsboro Highway Hillsboro, Oregon 97123 503-547-8117
Applicant's Representative:	Natalie Warner David Evans and Associates, Inc. 2100 SW River Parkway, Suite 100 Portland, Oregon 97201 503-499-0293
Attachments:	Attachment A: Pre-application meeting summary letter (Bainbridge, February 2, 2018) Attachment B: Typical Pipeline Restoration Attachment C: FEMA maps Attachment D: Existing Conditions Plan and Site Plans: Existing Conditions plan Drawing C1 (Sheet 6) Key Map, Geotech and Survey Control Drawing G3 (Sheet 3) Legend, Symbols and Referencing Drawing G4 (Sheet 4) Abbreviations and General Notes Drawing C14 (Sheet 19) King City Siphon Plan & Profile Drawing ESC9 Erosion and Sediment Control Plans King City & Bull Mt Trunk Attachment E: Property owners of record within 250 feet Attachment F: No Net Rise Documentation (Kennedy/Jenks Consultants, February 7, 2018) Attachment G: Washington County Tax Assessor Maps Attachment H: Easement agreements

Project description: Clean Water Services (CWS) seeks to design, permit, and construct the Tualatin Interceptor and Siphon Improvements Project, which is expected to include the construction of sanitary sewer pipeline, along with associated siphon structures, manholes, mainline connections, service lateral connections, and surface restoration, along the approximate alignment of the existing Upper Tualatin (UT) sewer interceptor pipeline. The UT Interceptor is a critical link for the CWS southern service area. Projected growth within this portion of the CWS service area requires the expansion and replacement of 40-plus-year-old infrastructure to maintain service to areas within the existing urban growth boundaries (UGBs) of Beaverton, Tigard, King City, Sherwood, and Tualatin, while enabling future expansion of service to areas where growth is anticipated within the Urban Reserve Areas bordering these communities.

The UT Interceptor Project Master Plan Update presents a basin-wide approach for conveying wastewater from the Bull Mountain and North Tualatin/Sherwood areas, as well as planned UGB expansion areas to the west. The Plan Update identified deficiencies in the existing UT Interceptor to meet projected peak flow rates. Thus, the Project is needed to increase capacity in the UT Interceptor pipeline to accommodate the rerouting of flows from Summer Creek Trunk and Fanno Creek Interceptor, and meet projected future demand. The Plan Update identified the King City Siphon crossing of the Tualatin River, in particular, as an area of concern, where projected peak flows from currently planned development exceed existing capacity. The schedule of the proposed Project was therefore developed to place a priority on completing construction of the King City Siphon by December 2018 in order to accommodate the conversion of the overall collection system to the new basin configuration.

The Upper Tualatin Interceptor is divided into three segments – east, central and west – with the King City Siphon part of the west segment. Based on the proposed construction schedule and the level of priority placed on the improvements to the King City Siphon, the proposed Project will consist of two phases to be permitted and constructed separately: King City Siphon and remaining Tualatin Interceptor west segment will be permitted and constructed as one phase, referred to herein as the King City Siphon phase (Phase 1). The Tualatin Interceptor central and east segments, which extend to the Durham Advanced Wastewater Treatment Facility (AWWTF), will be permitted and constructed as a second phase, referred to herein as the Cook Park Siphon phase (Phase 2). Phase 1 of the Project is located within King City, south of Bull Mountain and west of Highway 99W. The siphon will cross the Tualatin River to the west of the Highway 99W Bridge, and continue east, where it will tie in to the Tualatin Interceptor central segment, just east of the Highway 99W Bridge in the city of Tualatin. The Tualatin Interceptor central segment roughly parallels the southern bank of the Tualatin River to a crossing of Jurgens City Park in Tualatin. After crossing Jurgens City Park, the pipeline alignment continues eastward to a second crossing of the Tualatin River at Cook Park in the city of Tigard. The east segment of the Tualatin Interceptor pipeline begins at the Cook Park siphon and crosses Cook Park, where the pipeline will connect via an existing pipeline to the Durham AWWTF.

Title 16 - COMMUNITY DEVELOPMENT AND ZONING CODE

CHAPTER 16.100 - MULTI-FAMILY RESIDENTIAL ZONE (R-24)

16.100.010 Purpose.

Response: No response required.

16.100.020 Permitted uses.

16.100.030 Conditional uses.

Response: Upon the reviewing the King City Community Development Code (CDC) for the pre-application meeting, the contract planner concluded that the proposed sewer trunk line work is not a “utility” as defined in the CDC (please see Attachment A). This is because the resulting facility will be almost entirely underground. The CDC utility definition refers to above ground facilities. Therefore, neither a condition use permit nor a site plan review are required.

16.100.040 Dimensional and density requirements.

Response: The proposed linear pipeline project would be installed underground in easements, and therefore, the dimensional requirements are not applicable.

Chapter 16.124 - LANDSCAPING AND BEAUTIFICATION

16.124.010 Purpose.

Response: No response required.

16.124.020 Administration.

Response: No response required.

16.124.030 Submittal requirements.

Response: No response required.

16.124.040 General provisions for land development.**16.124.050 Yard trees.****16.124.060 Location of yard trees.****16.124.070 Cut and fill around existing trees.****16.124.080 Replacement of yard trees.****16.124.090 Exemptions.****16.124.100 Buffering and screening—General provisions.****16.124.110 Buffering/screening requirements.****16.124.120 Setbacks for fences or walls.****16.124.130 Height restrictions.****16.124.140 Parking and loading areas.**

Response: The proposal does not include a residential or commercial development, fences, walls, berms, parking and loading. No yard trees or buffering or screening are required.

16.124.150 Revegetation.

A. Where natural vegetation has been removed through grading in areas not affected by the landscaping requirements and that are not to be occupied by structures, such areas are to be replanted as set forth in this section to prevent erosion after construction activities are completed.

B. Topsoil removed from the surface in preparation for grading and construction is to be stored on or near the site and protected from erosion while grading operations are underway.

1. Such storage may not be located where it would cause suffocation of root systems of trees intended to be preserved; and

2. After completion of such grading, the topsoil is to be restored to exposed cut and fill embankments or building pads to provide a suitable base for seeding and planting.

C. Methods of Revegetation.

1. Acceptable methods of revegetation include hydromulching or the planting of rye grass, barley or other seed with equivalent germination rates, and: a. *Where lawn or turf grass is to be established, lawn grass seed or other appropriate landscape cover is to be sown at not less than four pounds to each one thousand square feet of land area;*

b. Other revegetation methods offering equivalent protection may be approved by the approval authority;

c. Plant materials are to be watered at intervals sufficient to ensure survival and growth; and d.

The use of native plant materials is encouraged to reduce irrigation and maintenance demands.

Response: The project will replace an existing buried pipeline with a larger buried pipeline. The project will result in no net cut and fill, the ground surface will be restored to pre-construction contours, and seeded with native seeds (please see Attachment B: Typical Pipeline Restoration). The trenchless crossing will require an insertion and retrieval pit that will be excavated and shoring will be installed consistent with project and OSHA excavation protection requirements. Following construction, CWS will demobilize and restore the site. The temporary construction and permanent easement will be returned to pre-project contours, and site restoration will be performed, including soil scarification and seeding with a seed mix approved by Clean Water Services.

Chapter 16.140 - FLOODPLAIN AND DRAINAGE HAZARD AREAS**16.100.010 Purpose.**

Response: No response required.

16.140.020 Applicability of provisions.

Floodplain and drainage hazard area review shall be applicable to all new development and modifications of existing development as provided in this chapter.

C. Uses and Activities Allowed Through a Planning Commission Review.

Unless specifically prohibited by this title, or the Clean Water Services "Design and Construction Standards for Sanitary Sewer and Surface Water Management" or its successor, a development permit may be approved in a flood or drainage hazard area through a planning commission review procedure for the following:

1. Uses and Activities Allowed in All Floodplain and Drainageway Locations.

- c. Construction or major improvement or alteration of underground pipes and conduits, including sewer, water and gas lines, transmission and distribution lines for gas and oil, underground electrical, telephone and television transmission and distribution lines, including necessary accessory structures and drainage systems*

Response: The entire project area is within the 100-year floodplain. Please see FEMA maps in Attachment B. Therefore, the proposal is allowed through a Planning Commission review.

16.140.030 Administration.

Response: No response required.

16.140.040 Basis for identifying lands subject to floodplain and drainage hazard area standards.

Response: Per the FEMA Flood Insurance Rate Map Panel Number 543 of 650, Map Number 41067C0543E, for Washington County, Oregon and Incorporated Areas (Effective date November 4, 2016), and a FIRMet generated on February 6, 2018, the proposed project is within the floodway in Zone AE and Special Flood Hazard Areas subject to inundation by the 1% annual chance flood (100-year flood). The maps are in Attachment C. The Existing Conditions plan in Attachment D also shows the floodway boundary.

16.140.050 Submittal requirements.

A. In addition to the form and information required in Section 16.44.030 of this title, an applicant shall submit the following:

- 1. Copies of the site plan, number to be determined at the preapplication conference, and necessary data or narrative, which explains how the development conforms to the applicable criteria, and:**
 - a. The site plans and required drawings, prepared by a registered civil engineer, shall be drawn on sheets preferably not exceeding twenty-four inches by thirty-six inches,*
 - b. The scale for the site plan shall be an engineering scale of not less than one inch equals fifty feet,*
 - c. All drawings of structures elevations, prepared by a registered civil engineer or architect, shall be a standard architectural scale, being one-fourth inch or one-eighth inch equals one foot, and*
 - d. Existing and proposed topography within the boundaries of the flood area using the following contour intervals:*
 - i. For slopes of five percent or less, contour intervals not more than one foot,*
 - ii. For slopes greater than five percent and up to and including ten percent, contour intervals not more than two feet, and*
 - iii. For slopes greater than ten percent, contour intervals not more than five feet;*
- 2. This information may be submitted with or be made part of a site plan or grading plan for the proposed development;**

Response: The Existing Conditions plan and Site Plans are in Attachment D. Drawing C1 (Sheet 6) shows the entire project corridor through Tigard, Washington County, and Tualatin, as well as King

City. Drawing G3 (Sheet 3) and Drawing G4 (Sheet 4), are the legend, symbols, and abbreviations. Drawing ESC9 is the erosion and sediment control and plan. Drawing C14 (Sheet 19) is the site plan. It was prepared by an engineer registered in Oregon and includes one-foot contour intervals. Section 16.44.030 requires the signed application form, current Washington County tax maps, public facilities, and fees. The signed application form and required fee accompany this application.

3. A list of names and addresses of all persons who are property owners of record within two hundred fifty feet of the subject property;

Response: The names and addresses of property owners are provided in Attachment E.

4. The required fee; and

Response: The required fee accompanies this application.

5. The site plan, data and narrative shall be submitted for any related development applications as provided in this title.

Response: CWS does not propose any related development in King City.

16.140.060 Development standards for floodplain and drainage hazard area applications.

The applicant for a proposed floodplain or drainage hazard area development shall demonstrate compliance with the following applicable standards of this chapter.

A. Subdivision Proposals

Response: No subdivision is proposed; therefore, these criteria are not applicable.

B. Development proposed to encroach into a regulatory floodway....

Response: The project will replace an existing buried pipeline with a larger buried pipeline. The project will result in no net cut and fill, and will not generate any fill in the floodplain. Following construction, the ground surface will be restored to pre-construction contours. One existing appurtenance (the King City siphon outlet) is currently located three feet above grade and will be modified to lower the top to at-grade elevation. Please see Attachment F: No Net Rise Documentation and Attachment D: Drawing C15 (Sheet 20) King City Trunk Plan & Profile.

Within King City, the proposed project would include 795 cubic yards of cut, 427.44 cubic yards of which would be reused, and 305.46 cubic yards would be hauled off-site. In addition to the 427.44 cubic yards of reused cut material, and 165.98 cubic yards of new pipe, 201.58 cubic yards of material would be imported.

C. Development proposed on a floodplain site where the development does not encroach into an adopted FEMA regulatory floodway....

Response: The proposal is within the floodway; therefore, the criteria in B are applicable.

D. Development proposed on a drainage hazard area....

Response: The proposal is within the floodway; therefore, the criteria in B are applicable.

E. Encroachments into a floodway shall be designed so as to minimize the risk that the encroachment will catch substantial debris or otherwise significantly impede floodwater flows. Designs may include, but are not limited to, adequate sizing of openings, secured breakaway bridges, diverters or spacing of supports.

Response: The proposal is a pipeline; therefore, this criterion does not apply.

F. The proposal will not increase the existing velocity of flood flows so as to exceed the erosive velocity limits of soils in the flood area. Energy dissipation devices or other measures to control the mean velocity so as not to cause erosion of the flood area may be used to meet this standard. "Open Channel Hydraulics" by V.T. Chow, McGraw-Hill Book Company, Inc., 1988, is presumed to be the best available reference for maximum permissible velocity. "Hydraulic Engineering Circular No. 14," Hydraulic Design of

Energy Dissipaters for Culverts and Channels, published by the Federal Highway Administration, September 1983, is presumed to be the best available reference for the design of energy dissipators.

Response: Please see response to B.

G. All cut and fill shall be structurally sound and designed to minimize erosion. All fill below the flood surface elevation shall be accompanied by an equal amount of cut or storage within the boundary of the development site unless....

Response: Please see response to B.

H. There is adequate storm drainage behind a dike such as a lift pump or flap gate to drain the floodplain or drainage hazard area behind the dike.

Response: The proposal does not include a dike.

I. That the environmental impact of the disturbance or alteration of riparian wildlife and vegetation has been minimized to the extent practicable as required by clean water services. Enhancement of riparian habitats through planting or other such improvements may be required to mitigate adverse effects. Significant features such as natural ponds, large trees, and endangered vegetation within the flood or drainage hazard area shall be protected when practicable.

Response: The pipeline will be underground to minimize disturbance. Disturbed areas will be restored to pre-construction conditions and, where applicable, seeded with a native erosion control seed mix post-construction. There are no significant features in the project area (please see the Existing Conditions plan in Attachment D).

J. Drainage systems shall be designed and constructed according to the standards of clean water services (CWS).

Response: No drainage system is proposed. CWS is the applicant.

K. Proposed partitions and subdivisions shall minimize flooding by complying with the applicable standards of the clean water services construction standards.16.140.060

Response: No subdivision or partition is proposed; therefore, these criteria are not applicable.

L. Public utilities and facilities in proposed partitions and subdivisions shall be located and constructed in a manner that will minimize flood damage.

Response: No subdivision or partition is proposed; therefore, these criteria are not applicable.

16.140.070 Supplemental criteria for dwellings.

Response: No dwellings are proposed; therefore, these criteria are not applicable.

16.140.080 Supplemental criteria for manufactured dwellings, manufactured dwelling parks and subdivisions.

Response: No manufactured dwellings, manufactured dwelling parks and subdivisions are proposed; therefore, these criteria are not applicable.

16.140.085 Supplemental criteria for recreational vehicles.

Response: No recreational vehicles are proposed; therefore, these criteria are not applicable.

16.140.090 Supplemental criteria for nondwelling structures

Response: No structures as defined in 16.140.150 are proposed; therefore, these criteria are not applicable.

16.140.100 Supplemental criteria for utilities.

Response: The proposal does not include water supply systems; electrical, communication and signal transmissions or distribution lines; electrical, heating, ventilation, plumbing and air-conditioning equipment. The proposed project is not a "utility" as defined in the CDC (please see Attachment A). This

is because the resulting facility will be almost entirely underground. The CDC utility definition refers to above ground facilities. Therefore, these criteria are not applicable.

16.140.110 Supplemental criteria for piping, culverts and man-made creek beds.

Response: No piping or the use of culverts or man-made creek beds would be used to drain or alter the water flow. CWS is the applicant.

16.140.120 Criteria for multi-family, institutional and commercial development parking.

Response: No parking is proposed; therefore, these criteria are not applicable.

16.140.130 General requirements and prohibitions.

A. Property owners shall maintain the flood area....

Response: No response required.

B. Storage of petroleum products, explosives, herbicides, pesticides, insecticides, poisons, defoliants, fungicides, desiccants, nematocides and rodenticide is prohibited.

Response: The proposal does not include storage of any of these materials.

C. Dumping of solid waste in the flood area is prohibited.

Response: The proposal does not include any dumping of solid waste.

D. The provisions of the chapter are in addition to any and all federal, state or special district laws and regulations in force at the time of approval of the development permit. Any permits required from a local, state or federal agency shall be obtained prior to any development within the flood area.

Response: The proposed project will obtain a Clean Water Act Section 404/Rivers and Harbors Act Section 10 permit from the U.S. Army Corps of Engineers (USACE), and a removal-fill permit from the Oregon Department of State Lands (DSL) for temporary impacts to jurisdictional wetlands and waterways within the project area. CWS will be submitting a Joint Permit Application to the USACE and DSL on February 19, 2018. The project will also obtain a Service Provider Letter from Clean Water Services for temporary impacts to vegetated corridors within the project area. A Standard Site Assessment was submitted to Clean Water Services on February 6, 2018.

E. The standards and criteria of this chapter are cumulative and in addition to any other requirements of this title.

Response: No response required.

F. The approval authority may condition any development permit to the extent necessary to avoid any specifically identified deleterious impacts on the natural integrity of the flood area or to wildlife and vegetation within the flood area.

Response: No response required.

G. In the case of the partitioning or subdivision of land for the location of structures for human occupancy, such site shall provide a building site, which includes the ground under the structure plus a ten-foot setback around all sides of the structure, with a ground elevation at least one foot above the flood surface elevation. No partition or subdivision shall create a lot whose dimensions do not meet this standard.

Response: The proposal does not include any partition or subdivision.

H. There shall be no dumping of fill in a flood area without a floodplain or drainage hazard area alteration permit.

Response: The project will replace an existing buried pipeline with a larger buried pipeline. The project will result in no net cut and fill, and will not generate any fill in the floodplain. Following construction, the ground surface will be restored to pre-construction contours. One existing appurtenance (the King

City siphon outlet structure) is currently located three feet above grade and will be modified to lower the top of the appurtenance to at-grade elevation.

16.140.140 Duties of the city.

Response: No response required.

16.140.150 Floodplain definitions.

“Structure” means a walled and roofed building including a gas or liquid storage tank that is principally above ground.

Response: The proposal does not include any walled and roofed buildings.

Attachment A: Pre-application meeting summary letter (Bainbridge, February 2, 2018)

February 2, 2018

Sarah Betz
David Evans and Assoc.
2100 River Parkway
Portland, OR 97201

RE: Preapplication Meeting
CWS Sanitary Sewer Siphon

Dear Ms. Betz,

I met with you, Natalie Warner (DEA), and Jeremy Lorence (CWS) on today to discuss a sanitary sewer siphon facility to cross under the Tualatin River on the southern end of SW 122nd near Pacific Highway (2S1 15CB, TL 300). The property is currently zoned R-24 Multi-Family Residential and developed with a single-family residence located in the northern portion of the 2± acre property. On behalf of the city of King City, I am providing this summary of the application approval standards and process we discussed.

The siphon facility would primarily be constructed underground with a minor amount visible from the surface. It will provide a connection between an existing trunk line on the north side of the river with a continuation of this line to the Durham Treatment Plant on the south side of the river. A utility access and roadway will be constructed to reach the facility from SW 122nd.

Applicable Community Development Code Requirements

Portions of the King City Community Development Code (CDC) that will apply are summarized on the following below:

- Chapter 16.100, R-24 – Multi-Family Residential zone. This zone currently applies to the property, and it lists utilities as a conditional use. Upon closer review of the CDC definition of “utilities”, it does not refer to facilities that will essentially be entirely underground. As a result, a conditional use or site plan review application will not be required. This interpretation is consistent with the way the city has handled previous underground utility line installations. I have consulted with the City Manager, Michael Weston, on this matter, and he is in agreement.
- Chapter 16.124, Landscaping and Beautification. This chapter includes landscaping requirements for new development. Obviously, only a few provisions may apply. Please address sections pertaining to re-landscaping disturbed areas. On a related note, please address compliance with CWS requirements for re-vegetation in the floodplain.

- Chapter 16.128, Tree Removal. This portion of the CDC generally prohibits tree removal ($\geq 6"$ caliper) without a permit. If a permit is necessary, it can be considered as part of the application package. Note that tree removal within the floodplain will also be subject to CWS requirements.
- Chapter 16.140 Floodplain and Drainage Hazard Areas. As we discussed, this chapter would apply. Based upon your description, it would appear to fall under 16.140.020 C. 1. c. because the entire project area is within the 100-year floodplain. Please refer to the attachment with the amended floodplain regulations.
- Chapter 16.212, Neighborhood Circulation. This chapter contains requirements that are intended to establish good access for all modes of travel within and between neighborhoods. This section does not need to be addressed as part of the application. However, as we discussed, the city aspires to provide a pathway connection along the north side of the river. The city would like to work with CWS to determine when and how it may be appropriate to include public non-motorized access utilizing the utility construction and access easements. I recommend considering the standards in 16.212.070 P. and 16.212.060 in the final design of the access drive for this facility.

Review and Approval Process

The review and approval process will be related to the floodplain review standards in CDC 16.150. This will require a hearing with the Planning Commission, which can typically occur within about 4-6 weeks after a complete application has been received. The City Manager and I will work with DEA and CWS to minimize the total review as much as possible.

Please contact the city (503-639-4082) for an application form and related information. The CDC is available on the city's website at http://www.ci.king-city.or.us/municipal_code/ , and I have attached sections that have been recently amended.

Please contact Michael Weston or me (503-757-5501) if you need further assistance.

Sincerely,



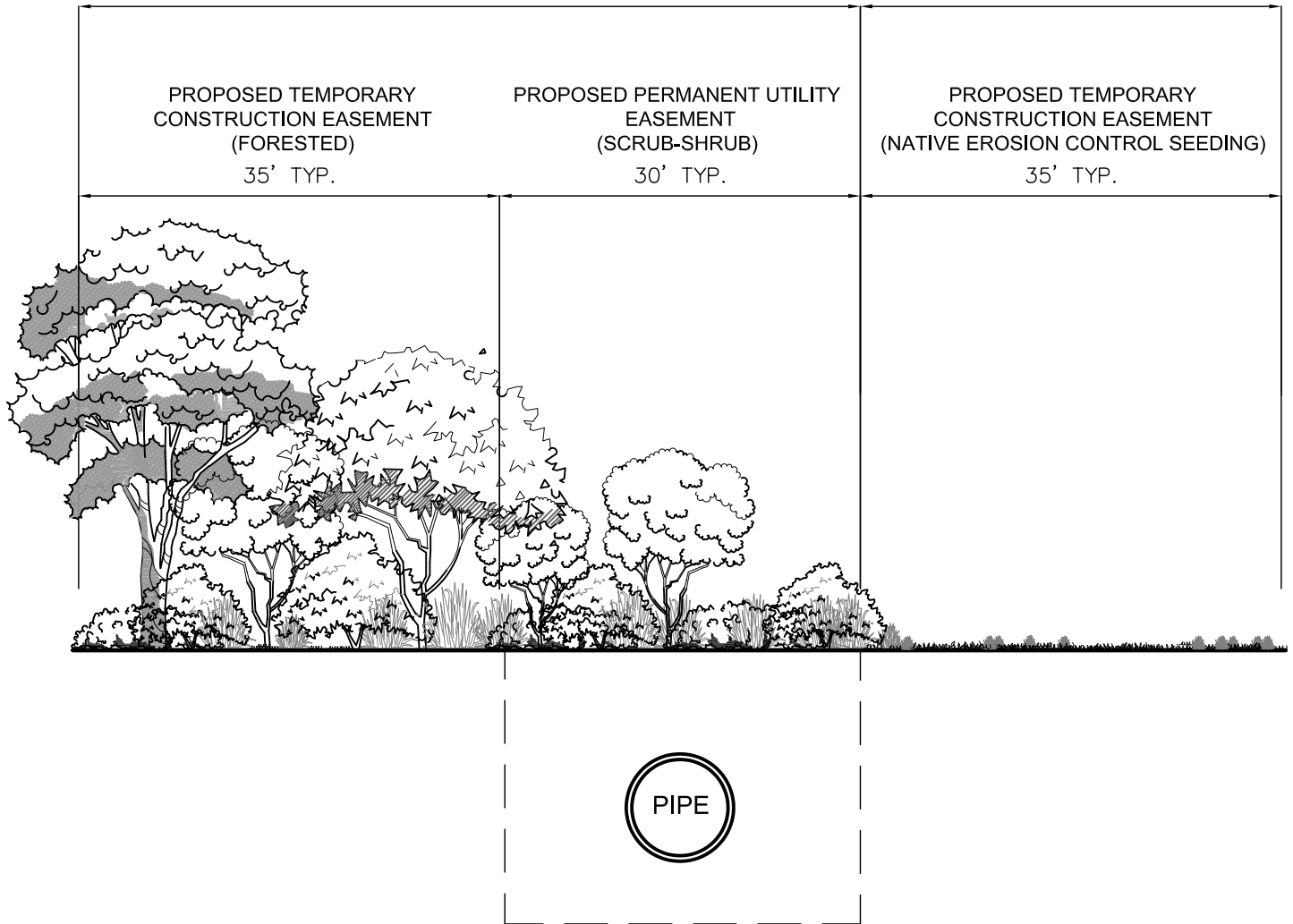
Keith S. Liden, AICP
City Planning Consultant

cc: Michael Weston, City Manager
Fulgence Bugingo, Murray Smith Associates
Natalie Warner, DEA
Jeremy Lorence, CWS

Attachment B: Typical Pipeline Restoration

EXISTING NATIVE WETLAND AND
RIPARIAN AREAS

EXISTING PASTURE/LAWN WETLAND
AND RIPARIAN AREAS



Notes:

1. See plant communities for Wetland areas and Riparian areas on sheets 2 and 3.
2. Segments of the proposed pipeline that disturb existing pasture will be restored with Native Erosion Control Seed Mix.



**DAVID EVANS
AND ASSOCIATES INC.**

2100 SW River Parkway
Portland Oregon 97201
Phone: 503.223.6663

DESIGN STUDIO
Inspired Livable Places

PROJECT

**TUALATIN INTERCEPTOR AND
SIPHON IMPROVEMENT PROJECT**

PHASE 1 - KING CITY SIPHON

**TYPICAL PIPELINE
RESTORATION**

DATE: 2-7-2018

DESIGN: BAR

DRAWN: BAR

SHEET NO.

1

PROJECT NO. KNJK0000-0009

WETLAND PLANT COMMUNITIES, TYPICAL *

SCRUB SHRUB COMMUNITY (WITHIN PERMANENT EASEMENT)			
	Common Name	Botanical Name	Plant Category
	Swamp Rose	Rosa pisocarpa	Shrub
	Douglas Spirea	Spirea douglasii	Herb
	Redtwig Dogwood	Cornus sericea	Herb
	Pacific Ninebark	Physocarpus capitatus	Herb
	Small Fruited Bulrush	Scirpus microcarpus	Herb
	Slough Sedge	Carex obnupta	Herb
	Tufted Hairgrass	Deschampsia cespitosa	Grass
	Meadow Barley	Hordeum brachyantherum	Grass
	Rice Cutgrass	Leersia oryzoides	Grass
	Spike Bentgrass	Agrostis exarata	Grass
FORESTED WETLAND COMMUNITY (WITHIN TEMPORARY EASEMENTS)			
	Common Name	Botanical Name	Plant Category
	Red Alder	Alnus rubra	Tree
	Douglas Hawthorn	Crataegus douglasii	Tree
	Oregon Ash	Fraxinus latifolia	Tree
	Pacific Willow	Salix lasiandra	Shrub
	Pacific Ninebark	Physocarpus capitatus	Shrub
	Red-osier Dogwood	Cornus sericea	Shrub
	Snowberry	Symphoricarpos albus	Shrub
	Slough Sedge	Carex obnupta	Herb
	Dewey's Sedge	Carex deweyana	Herb
	Small Fruited Bulrush	Scirpus microcarpus	Herb
	Tall Managrass	Glyceria elata	Grass

* Typical plant communities. Species substitutions may occur during final design so long as substitute species are listed as native by Clean Water Services, Metro, or City of Portland plant lists and are consistent with the proposed habitat type.



**DAVID EVANS
AND ASSOCIATES INC.**

2100 SW River Parkway
Portland Oregon 97201
Phone: 503.223.6663

DESIGN STUDIO
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PROJECT

TUALATIN INTERCEPTOR AND SIPHON IMPROVEMENT PROJECT

PHASE 1 - KING CITY SIPHON

TYPICAL PIPELINE RESTORATION

DATE: 2-7-2018

DESIGN: BAR

DRAWN: BAR

SHEET NO.

2

PROJECT NO. KNJK0000-0009

RIPARIAN PLANT COMMUNITIES, TYPICAL *

SCRUB-SHRUB COMMUNITY (PERMANENT EASEMENT)			
	Common Name	Botanical Name	Plant Category
	Vine maple	Acer circinatum	Shrub
	Red elderberry	Sambucus racemosa	Shrub
	Snowberry	Symphoricarpos albus	Shrub
	Salmonberry	Rubus spectabilis	Shrub
	Swamp Rose	Rosa pisocarpa	Shrub
	Dewey's Sedge	Carex deweyana	Herb
	Bigleaf lupine	Lupinus polyphillus	Herb
	Spike Bentgrass	Agrostis exarata	Grass
	Blue Wildrye	Elymus glaucus	Grass
	Native California Brome	Bromus carinatus	Grass
FORESTED RIPARIAN COMMUNITY (TEMPORARY EASEMENTS)			
	Common Name	Botanical Name	Plant Category
	Red Alder	Alnus rubra	Tree
	Douglas Hawthorn	Crataegus douglasii	Tree
	Douglas Fir	Pseudotsuga menziesii	Tree
	Western Red Cedar	Thuja plicata	Tree
	Red Elderberry	Sambucus racemosa	Shrub
	Indian Plum	Oemleris cerasiformis	Shrub
	Snowberry	Symphoricarpos albus	Shrub
	Salmonberry	Rubus spectabilis	Shrub
	Spike Bentgrass	Agrostis exarata	Grass
	Native California Brome	Bromus carinatus	Grass
NATIVE EROSION CONTROL SEED MIX			
	Common Name	Botanical Name	Plant Category
	Spike Bentgrass	Agrostis exarata	Grass
	Blue Wildrye	Elymus glaucus	Grass
	Native California Brome	Bromus carinatus	Grass

* Typical plant communities. Species substitutions may occur during final design so long as substitute species are listed as native by Clean Water Services, Metro, or City of Portland plant lists and are consistent with the proposed habitat type.



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AND ASSOCIATES INC.**

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Phone: 503.223.6663

DESIGN STUDIO
Inspired Livable Places

PROJECT

TUALATIN INTERCEPTOR AND SIPHON IMPROVEMENT PROJECT

PHASE 1 - KING CITY SIPHON

TYPICAL PIPELINE RESTORATION

DATE: 2-7-2018

DESIGN: BAR

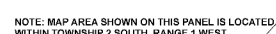
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SHEET NO.

3

PROJECT NO. KNJK0000-0009

Attachment C: FEMA maps



National Flood Hazard Layer FIRMette



FEMA

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth
- Regulatory Floodway Zone AE, AO, AH, VE, AR

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The base map shown complies with FEMA's base map accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/6/2018 at 6:26:05 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

45°23'55.80"N



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

0 250 500 1,000 1,500 2,000 Feet 1:6,000

45°23'30.53"N

122°47'38.19"W

Attachment D: Existing Conditions Plan and Site Plans:

Existing Conditions plan

Drawing C1 (Sheet 6) Key Map, Geotech and Survey Control

Drawing G3 (Sheet 3) Legend, Symbols and Referencing

Drawing G4 (Sheet 4) Abbreviations and General Notes

Drawing C14 (Sheet 19) King City Siphon Plan & Profile

Drawing ESC9 Erosion and Sediment Control Plans King City & Bull Mt Trunk

TUALATIN INTERCEPTOR AND SIPHON
IMPROVEMENT
EXISTING CONDITIONS
FEBRUARY 8, 2018



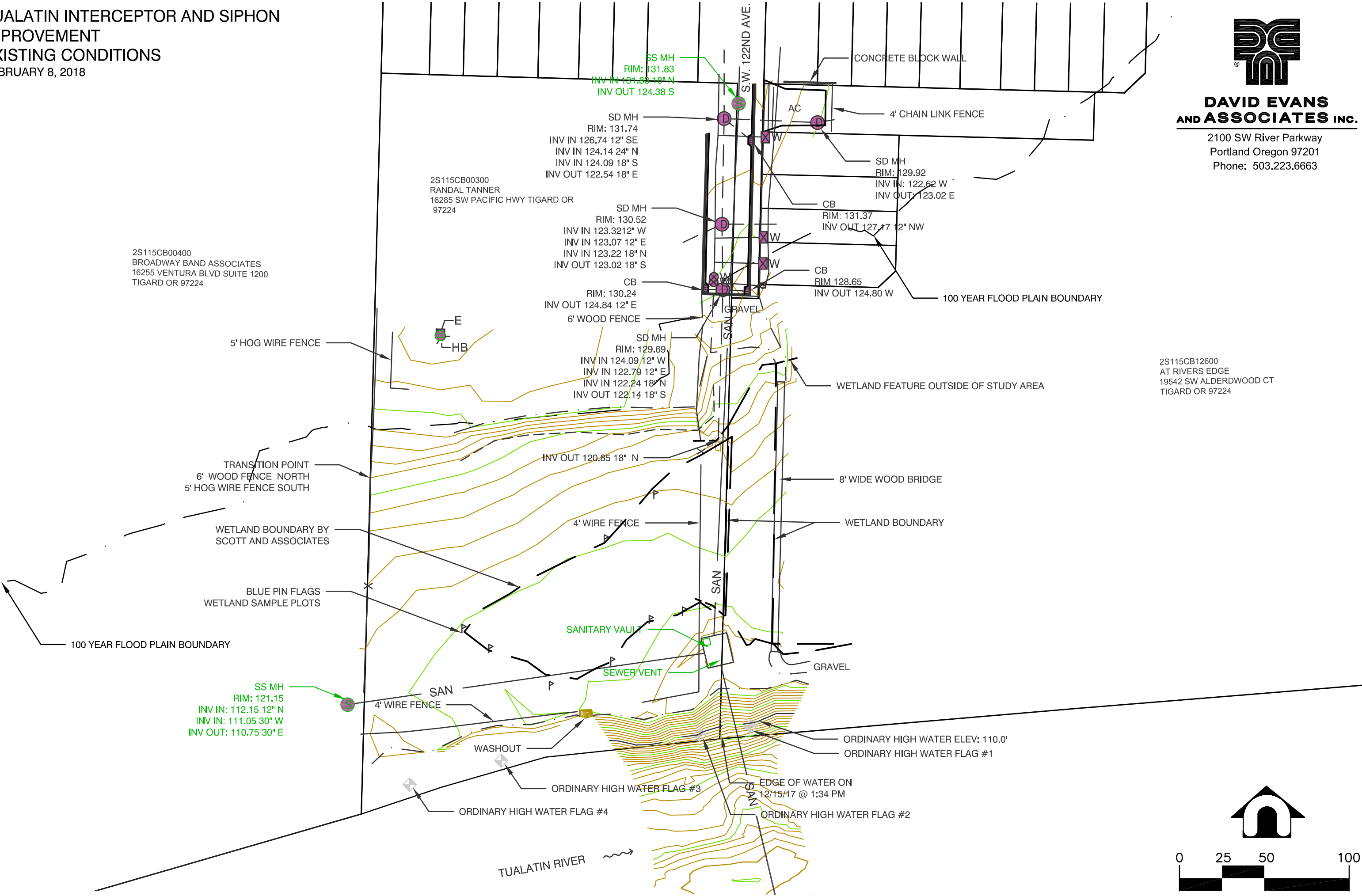
DAVID EVANS
AND ASSOCIATES INC.

2100 SW River Parkway
Portland Oregon 97201
Phone: 503.223.6663

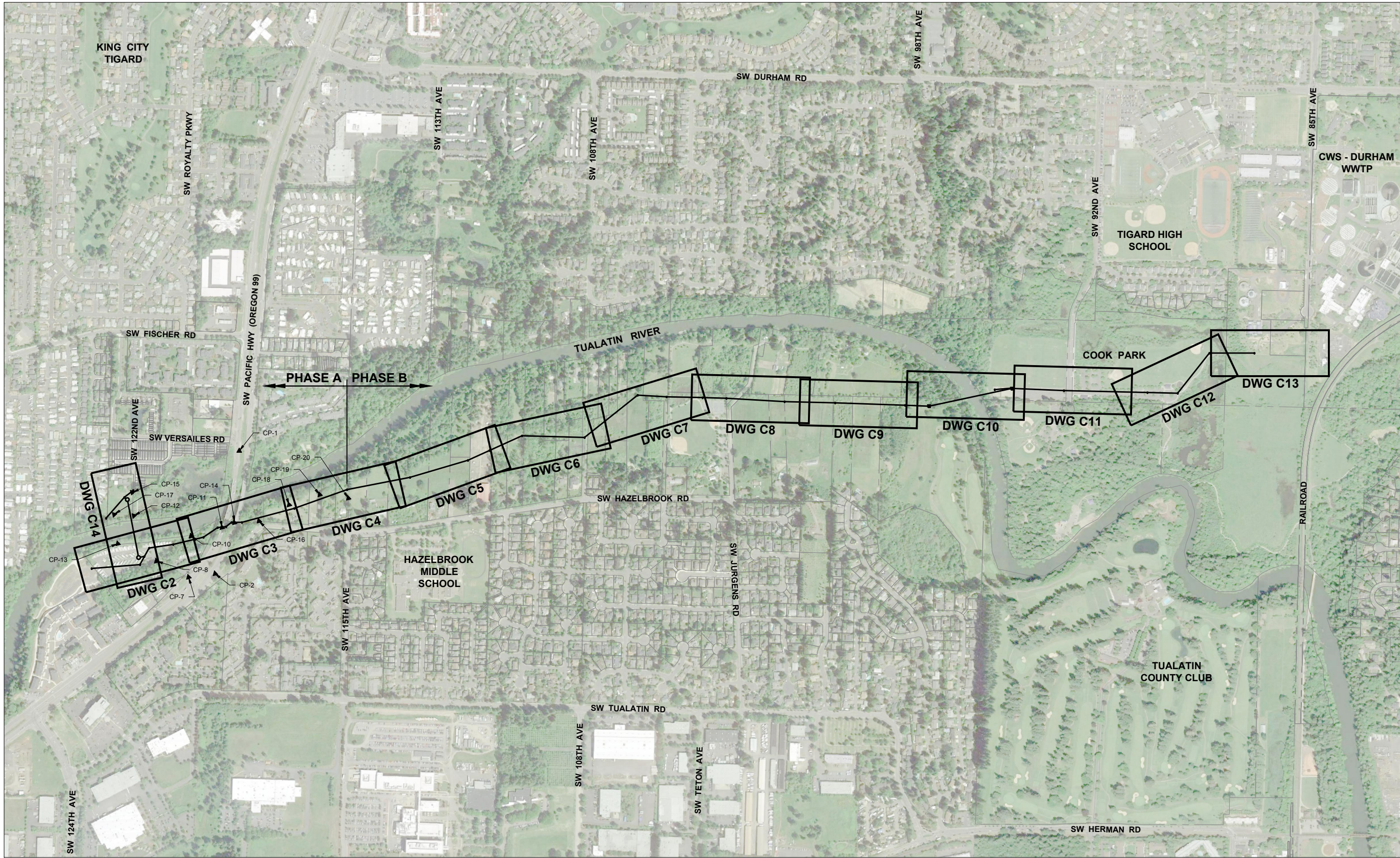
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BROADWAY BAND ASSOCIATES
16255 VENTURA BLVD SUITE 1200
TIGARD OR 97224

2S115CB00300
RANDAL TANNER
16285 SW PACIFIC HWY TIGARD OR
97224

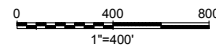
2S115CB12600
AT RIVERS EDGE
19542 SW ALDERWOOD CT
TIGARD OR 97224



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KEY MAP



DRAFT SUBMITTAL
Kennedy/Jenks Consultants
421 S.W. 6TH AVENUE, SUITE 1000
PORTLAND, OREGON 97204
503-295-4000
KJ PROJ NO: 1776025*00

1/4 SECTION	DRAFTER:	SEL	DESIGNER:	RGS	CHECKED:	JEB	APPROVED:	RSP
NW 1/4 17, TIN, RIW								
NE 1/4 18, TIN RIW								

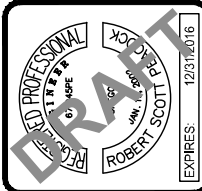
PROJECT	DRAWING	SHEET
6493	C1	6 OF 51

KEY MAP,
GEOTECH AND
SURVEY
CONTROL

TUALATIN
INTERCEPTOR
AND SIPHON
IMPROVEMENTS

CleanWater Services
Our commitment is clear.
2550 SW Hillsboro Hwy
Hillsboro, OR 97123
(503) 684-3600
www.cleanwaterservices.org

NO.	REVISION	BY	DATE



1/18/2018 3:21 PM C:\bms\pwe-use\east-005\sta\asse\adms38208\177602500-503.dwg

CIVIL LEGEND

PROPOSED OUTLINE (HEAVY)	
EXISTING (LIGHT)	
PROPOSED HIDDEN OR UG (HEAVY)	
FUTURE (MEDIUM)	
EXISTING HIDDEN OR UG (LIGHT)	
CUTTING PLANE (SECTION)	
BREAK LINE (SHORT)	
BREAK LINE (LONG)	
FIRE PROTECTION WATER (EXISTING)	
SEWER (EXISTING)	
STORM DRAIN (EXISTING)	
WATER LINE (EXISTING)	
RECLAIMED WATER (EXISTING)	
GAS LINE (EXISTING)	
TELEPHONE LINE (EXISTING)	
ELECTRICAL LINE (EXISTING)	
OVERHEAD ELEC LINE (EXISTING)	
CABLE TV (EXISTING)	
CROSSING UTILITIES (EXISTING)	
FENCE (NEW)	
FENCE (EXISTING)	
PROPERTY LINE/RIGHT-OF-WAY	
CONTRACTORS WORK AREA LIMITS	
CENTERLINE	
CULVERT WITH END SECTIONS	
HANDRAIL OR GUARDRAIL	
WATER SURFACE	
GRADE CHANGE LINE	
FLOW LINE	
GRADED SLOPE	
CONTOUR MAJOR (NEW)	
CONTOUR MINOR (NEW)	
CONTOUR MAJOR (EXIST)	
CONTOUR MINOR (EXIST)	
WETLAND RIVERLINE	
VEGETATED CORRIDOR	

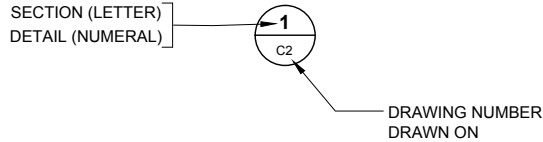
SYMBOLS

PROPOSED MANHOLE (NEW)	
MANHOLE (EXISTING)	
BENCH MARK	
SOIL BORING, IDENTIFICATION NUMBER	
SOIL TEST PIT, IDENTIFICATION NUMBER	
MONITORING WELL	
SPOT ELEVATION	
ELECTROLYSIS TEST STATION	
WATER METER	
FIRE DEPT. CONNECTION	
FIRE HYDRANT	
UTILITY BOX (AS LABELED)	
POWER POLE	
STREET LIGHT	
STREET LIGHT AND TRAFFIC SIGNAL	
YARD LIGHT	
TRAFFIC SIGNAL	
TELEPHONE RISER	
GUY ANCHOR	
CATCH BASIN	
DROP INLET	
CLEAN OUT	
UTILITY STATION	
SURVEY PANEL	
SURVEY CONTROL POINT	
SECTION CORNER	
ELEVATION MARK (REFERENCE)	
ELEVATION MARK (DESIGN)	

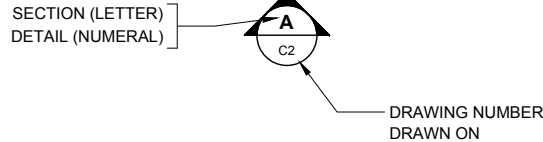
HATCH PATTERNS

DEMOLITION	
TREATMENT MEDIA IN PLAN	
TREATMENT MEDIA IN SECTION	
GROUT IN SECTION	
STORMBOX	
CONCRETE IN SECTION	
STEEL IN SECTION	
WOOD IN SECTION	
GRATING IN PLAN	
CHECKERED PLATE IN PLAN	
GRAVELED AREA IN PLAN OR SECTION	
RIP RAP (RIVER ROCK)	
SAND	
BRICK OR CONCRETE BLOCK IN SECTION	
GRADE (UNDISTURBED EARTH)	
STRUCTURAL BACKFILL	
ASPHALT CONCRETE (IN PLAN)	
ASPHALT CONCRETE (IN SECTION)	

DETAIL REFERENCE



SECTION REFERENCE

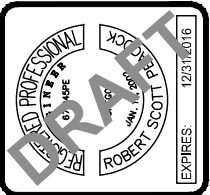


- NOTES:
- THIS IS A GENERALIZED LEGEND SHEET. THIS CONTRACT MAY NOT USE ALL INFORMATION SHOWN.
 - INFORMATION SHOWN MAY NOT BE ALL INCLUSIVE. SEE ALSO ABBREVIATIONS, G3.

100% SUBMITTAL

Kennedy/Jenks Consultants

421 S.W. 6TH AVENUE, SUITE 1000
PORTLAND, OREGON 97204
503-295-4000
KJ PROJ NO: 1776025*00



NO.	REVISION	BY	DATE

Clean Water Services

Our commitment is clear.

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Hillsboro, OR 97123
(503) 681-3600
www.cleanwaterservices.org

**LEGEND,
SYMBOLS AND
REFERENCING**

**TUALATIN
INTERCEPTOR
AND SIPHON
IMPROVEMENTS**

1/4 SECTION NW 1/4 17, T1N, R1W NE 1/4 18, T1N, R1W	DRAFTER: SEL	DESIGNER: RGS	CHECKED: JEB	APPROVED: RSP
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PROJECT 6493	DRAWING G3	SHEET 3 OF 51
------------------------	----------------------	------------------

∠	ANGLE
±	APPROXIMATELY
□	AT
⊕	CENTERLINE
Δ	DEFLECTION
°	DEGREE
=	EQUALS
'	FOOT
□	GREATER THAN
"	INCH
∅	DIAMETER
□	LESS THAN
□	NUMBER
%	PERCENT
A	AREA
AB	ANCHOR BOLT(-S)
ABAN	ABANDON (-ED)
ABS	ABSOLUTE
AC	ACRE, ASPHALTIC CONCRETE
AGG	AGGREGATE
AL, ALUM	ALUMINUM
ALT	ALTERNAT(-E,-IVE)
ANC, ANCH	ANCHOR
ANSI	AMERICAN NATIONAL STANDARD INSTITUTE
APPROX	APPROXIMAT(-E,-LY)
APWA	AMERICAN PUBLIC WORKS ASSOCIATION
ARCH	ARCHITECT (-URAL)
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATING & AIR CONDITIONING ENGINEERS
ASPH	ASPHALT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
AUX	AUXILIARY
AVG	AVERAGE
BCV	BALL CHECK VALVE
BF	BLIND FLANGE
BFP	BACKFLOW PREVENTER
BFV	BUTTERFLY VALVE
BITUM	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK(-S)
BM	BENCHMARK
BO	BLOWOFF
BOT	BOTTOM
BPA	BONNEVILLE POWER AUTHORITY
BRG	BEARING
BS	BRASS SCREW
BSD	BEAVERTON SCHOOL DISTRICT
BTU	BRITISH THERMAL UNIT
BTWN	BETWEEN
BV	BALL VALVE
BVC	BEGINNING OF VERTICAL CURVE
°C	DEGREES CELSIUS (CENTIGRADE)
C	CONDUIT
CAV	COMBINED AIR RELIEF VALVE
CC	CENTER TO CENTER
CCP	CONCRETE CYLINDER PIPE
CEM	CEMENT
CEN	CENTRAL
CF	CUBIC FEET
CFM	CUBIC FEET PER MINUTE
CFS	CUBIC FEET PER SECOND
CGD	COMBUSTABLE GAS DETECTOR
CH	CHAMBER
CHAN	CHANNEL
CHEM	CHEMI (-CAL,-STRY)
CHK'D	CHECKED
CHKR	CHECKERED
CI	CAST IRON
CIP	CAST IRON PIPE
CIRC	CIRCULA(-R,-TION)
CIRCUM	CIRCUMFERENCE
CL	PIPE CLASS / CENTERLINE
CLASS	CLASSIFICATION
CLR	CLEAR (-ANCE)
CLSM	CONTROLLED LOW STRENGTH MATERIAL
CML	CEMENT MORTAR LINED
CML□C	CEMENT MORTAR LINED □ COATED
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT(-S)

CO	CLEANOUT
COL	COLUMN
COMM	COMMUNICATION
COMP	COMPRESSOR
CONC	CONCRETE
CONN	CONNECT (-S,-ION)
CONST	CONSTRUCT (-ION)
CONST JT,CJ	CONSTRUCTION JOINT
CONT	CONTINU (-ED,-OUS,-ATION)
CONTR	CONTRACTOR
COORD	COORDINATE
COR	CORNER
CORR	CORRUGATED
COUP,CPLG	COUPLING
CP	CONTROL PANEL
CPP	CORRUGATED PLASTIC PIPE
CPVC	CHLORINATED POLYVINYL CHLORIDE
CSBC	CRUSHED SURFACING BASE COURSE
CSTC	CRUSHED SURFACING TOP COURSE
CT	COURT
CTR	CENTER
CTS	CATHODIC TEST STATION
CU	COPPER
CV	CHECK VALVE
CY	COLD WATER, CITY WATER
CW	CUBIC YARD
CWS	CLEAN WATER SERVICES
D, DR	DRAIN
DBL	DOUBLE
DEG	DEGREE(-S)
DEMO, (D)	DEMOLISH
DET, DTL	DETAIL(-S)
DGRM	DIAGRAM
DI	DUCTILE IRON
DIA	DIAMETER
DIAG	DIAGONAL(-S)
DIM.	DIMENSION(-S)
DIP	DUCTILE IRON PIPE
DIR	DIRECTION
DISCH	DISCHARGE
DIST	DISTRIBUTION
DN	DOWN
DR	DOOR
DS	DOWN SPOUT
DUP	DUPLEX
DWG(S)	DRAWING(-S)
E	EAST
EA	EACH
EC	END OF HORIZONTAL CURVE
ECC	ECCENTRIC
ECD	EPOXY COATED
EF	EACH FACE
EGL	ENERGY GRADE LINE
E.L.	EPOXY LINED
EL, ELEV.	ELEVATION
EL□C	EPOXY LINED □ COATED
ELEC	ELECTRIC (-AL)
ENCL	ENCLOSURE
ENTR	ENTRANCE
EP, EOP	EDGE OF PAVEMENT
EPA	ENVIRONMENTAL PROTECTION AGENCY
E□UIP	E□UIPMENT
ESC	EROSION/SEDIMENT CONTROL
EST	ESTIMATE (-D)
EXC	EXCAVATE
EXIST, (E)	EXISTING
EXP	EXPANSION
EXP JT	EXPANSION JOINT
EXT	EXTERIOR, EXTENSION
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EW/EF	EACH WAY EACH FACE
°F	DEGREE FAHRENHEIT
FT	FEET, FOOT
FAB	FABRICATE(-D)
FAC	FACTORY
FACIL	FACILITY (-IES)
FC	FLEXIBLE COUPLING
FCA	FLANGED COUPLING ADAPTER
FDN	FOUNDATION
FG	FLAP GATE
FH	FIRE HYDRANT
FIG	FIGURE
FL	FLOW LINE
FLEX	FLEXIBLE

LEX	FLEXIBLE
FLG, FL	FLANGE(-D)
FM	FLOW METER, FORCE MAIN
FRC	FLEXIBLE RUBBER COUPLING
FT	FEET
FT 3	CUBIC FEET
FT 2	SQUARE FEET
FTG	FOOTING
FUT, (F)	FUTURE
FWD	FORWARD
G	GAS
GA	GAUGE
GAL	GALLON (-S)
GALV	GALVANIZE(-D)
GC	GROOVED COUPLING
GDL	GROUND LEVEL
GEN	GENERATOR
GENL	GENERAL
GL	GLASS
GLV	GLOBE VALVE
GND	GROUND
GPD	GALLONS PER DAY
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GR	GRADE, GROUND
GRL	GUARDRAIL
GS	GALVANIZED STEEL
GV	GATE VALVE
H	HIGH
HB	HOSE BIB
HDPE	HIGH DENSITY POLYETHYLENE
HGL	HYDRAULIC GRADE LINE
HGR	HANGER
HGT, HT	HEIGHT
HORIZ	HORIZONTAL
HPT, H.P.	HIGH POINT
HR	HOURL
HT	HEIGHT
HWL	HIGH WATER LEVEL
HWY	HIGHWAY
I & C	INSTRUMENTATION AND CONTROLS
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN 3	CUBIC INCHES
IN 2	SQUARE INCHES
IN	INCH (-ES)
INT	INTERIOR
INV	INVERT
IPS	INTERNATIONAL PIPE STANDARD
JB, J-BOX	JUNCTION BOX
JT	JOINT
L	LENGTH
LAT	LATERAL
LB	POUND(-S)
LF	LINEAR FEET
LG	LONG
LOC	LOCATION
LP	LOW POINT
LT	LEFT
LW	LOW WATER
LWL	LOW WATER LEVEL
MATL, MAT'L	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MGD	MILLION GALLONS PER DAY
MH	MANHOLE
MIN	MINIMUM: MINUTE
MISC	MISCELLANEOUS
MJ	MECHANICAL JOINT
MODIF	MODIFICATION(-S)
MON	MONUMENT
MPH	MILES PER HOUR
MT	MOUNT
MTD	MOUNTED
MTG	MOUNTING

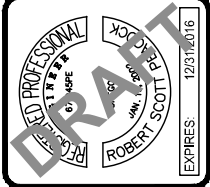
NORTH	
(N)	NEW
N/A	NOT APPLICABLE
N.C., NC	NORMALLY CLOSED
NE	NORTHEAST
NEUT	NEUTRAL
NG	NATURAL GAS
NGVD	NATIONAL GEODETIC VERTICAL DATUM
NIC, N.I.C.	NOT IN CONTRACT
N.O., NO	NORMALLY OPEN
NO.	NUMBER
NPW	NON-POTABLE WATER
NTS	NOT TO SCALE
NW	NORTHWEST
NWL	NORMAL WATER LEVEL
OA	OVERALL
OC	ON CENTER
O/C	OPEN/CLOSE SERVICE
OD	OUTSIDE DIAMETER
ODOT	OREGON STATE DEPARTMENT OF TRANSPORTATION
OF	OVERFLOW
OH	OVERHEAD
OPNG	OPENING
OPER	OPERATOR
OPP	OPPOSITE
ORIG	ORIGINAL
OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION
P	PIPE
PE	PLAIN END, PROFESSIONAL ENGINEER
PERIM	PERIMETER
PEN	PENETRATION
PERF	PERFORAT(-E, -ED, -ES, -ATION)
PF	PROFILE
PH	PIPE HANGER
PIP	PLASTIC IRRIGATION PIPE
PL, P/L	PROPERTY LINE
POC	POINT OF CONNECTION, POINT OF CONTACT
POT	POINT OF TANGENCY
PP	POWER POLE
PRI	PRIMARY
PROP	PROPERTY
PRV	PRESSURE REDUCING VALVE
PS	PUMP STATION
PT	POINT
PUE	PERMANENT UTILITY EASEMENT
PV	PLUG VALVE
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
PVI	POINT OF VERTICAL INFLECTION
PWR	POWER
RCP	REINFORCED CONCRETE PIPE
RED.	REDUCE(-R)
REINF	REINFORC(-E, -ED, -ING, -MENT)
REI D	REI DURED
REI D T	REI DUREMENT
REV	REVISION
R/W, ROW	RIGHT-OF-WAY
RT	RIGHT
RR	RAILROAD
S	SEWER, SOUTH, SLOPE
SAN	SANITARY
SARV	SEWAGE AIR RELIEF VALVE
SAVV	SEWAGE AIR/VACUUM RELIEF VALVE
SCAV	SEWAGE COMBINATION AIR VALVE
SCHED, SCH	SCHEDULE
SD	STORM DRAIN
SE	SOUTHEAST
SECT	SECTION(-S)
SED	SEDIMENTATION
SHT, SH	SHEET
SIG	SIGNAL
SIM	SIMILAR
SMH	SANITARY SEWER MANHOLE
SMP	SAMPLER
SPEC	SPECIFICATIONS
S □	S □UARE
S □ FT, SF	S □UARE FEET
S □ IN	S □UARE INCHES
SS	SANITARY SEWER
SSE	SANITARY SEWER EASEMENT
SS 304	STAINLESS STEEL TYPE 304
SS 316	STAINLESS STEEL TYPE 316
ST	STREET

STA	STATION
STD	STANDARD
STORM, SD	STORM DRAIN
STOR	STORAGE
STRUCT	STRUCTUR(-E, -AL)
SUPP	SUPPORT(-S)
SURF	SURFACE
SUSP	SUSPEND(-ED)
SW	SOUTHWEST, STORM WATER
S/W	SIDEWALK
SYM	SYMMETRICAL
TAN	TANGENT
TB	THRUST BLOCK
TBM	TEMPORARY BENCH MARK
TC	TOP OF CURB
TCE	TEMPORARY CONSTRUCTION EASEMENT
TBM	TEMPORARY BENCH MARK
TEL, T	TELEPHONE
TOPO	TOPOGRAPHY
TOW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
VAC	VACUUM
VCP	VITRIFIED CLAY PIPE
VERT	VERTICAL
VOL	VOLUME
VPI	VERTICAL POINT OF INTERSECTION
W	WIDTH \ WIDE \ WEST
W/	WITH
WA	WORK AREA
WM	WATER METER
W/O	WITHOUT
WTR	WATER
YD	YARD
YR	YEAR
XFMR	TRANSFORMER

NOTE:
1. THIS IS A GENERALIZED ABBREVIATION SHEET. THE CONTRACT MAY NOT USE ALL INFORMATION SHOWN

NOTE:
1. THIS IS A GENERALIZED ABBREVIATION SHEET. THIS CONTRACT MAY NOT USE ALL INFORMATION SHOWN.

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING HORIZONTAL AND VERTICAL CONTROL POINTS AS NEEDED TO CONSTRUCT THE IMPROVEMENTS. SEE CONTROL POINTS ON SHEET G-.
2. FOR WORK WITHIN CITY OR COUNTY RIGHT OF WAY, CONTRACTOR SHALL CONFORM TO AGENCY ENCROACHMENT PERMIT AND NOTIFICATION REQUIREMENTS.
3. PRIOR TO ANY EXCAVATION (48 HOURS), THE CONTRACTOR SHALL NOTIFY THE OREGON UTILITIES COORDINATING COUNCIL (OUCC) 1-800-332-2344, WWW.OUCC.NET AND OR CALL 811. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE REQUIREMENTS FOR UNDERGROUND NOTIFICATION.
4. THE KNOWN EXISTING BURIED UTILITIES AND PIPELINES ARE SHOWN ON THE DRAWINGS IN THEIR APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL EXISTING PIPELINES AND OBSTRUCTIONS ARE SHOWN OR THAT LOCATIONS INDICATED ARE ACCURATE. THE CONTRACTOR SHALL "POTHOLE" TO DETERMINE THE ACTUAL LOCATION AND ELEVATION OF ALL EXISTING UTILITIES CROSSING NEW PIPELINES.
5. SIZE OF FITTINGS SHALL CORRESPOND TO ADJACENT STRAIGHT RUN OF PIPE UNLESS OTHERWISE INDICATED.
6. ALL WORK NOT ADDRESSED BY THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED PER CWS OR ODOT STANDARDS AS APPLICABLE.
7. UNLESS OTHERWISE NOTED, ALL PIPE SHALL HAVE A MINIMUM COVER OF 3'-0". VERTICAL SEPARATION BETWEEN THE NEW PIPELINE AND THE EXISTING UTILITIES SHALL BE A MINIMUM OF 12-INCHES.
8. NOTIFY ENGINEER AND THE OWNER PRIOR TO MAKING CONNECTION TO THE EXISTING PIPING. ALLOW MINIMUM FIVE (5) WORKING DAYS NOTICE OF PLANNED SHUTDOWN FOR CONNECTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL ITEMS DISTURBED DURING CONSTRUCTION BACK TO THEIR ORIGINAL OR BETTER CONDITION.
10. CONTRACTOR TO PROVIDE REDLINE RECORD DRAWINGS OF CONSTRUCTION LOCATIONS FOR ENGINEER TO GENERATE ELECTRONIC RECORD DRAWINGS OF PIPELINE PLAN AND PROFILE. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
11. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING.

[illegible]

ABBREVIATIONS AND GENERAL NOTES

TUALATIN INTERCEPTOR AND SIPHON IMPROVEMENTS

1/4 SECTION
NW 1/4 17, T1N, R1W
NE 1/4 18, T1N R1W
DRAFTER: SEL
DESIGNER: RGS
CHECKED: JEB
APPROVED: RSP

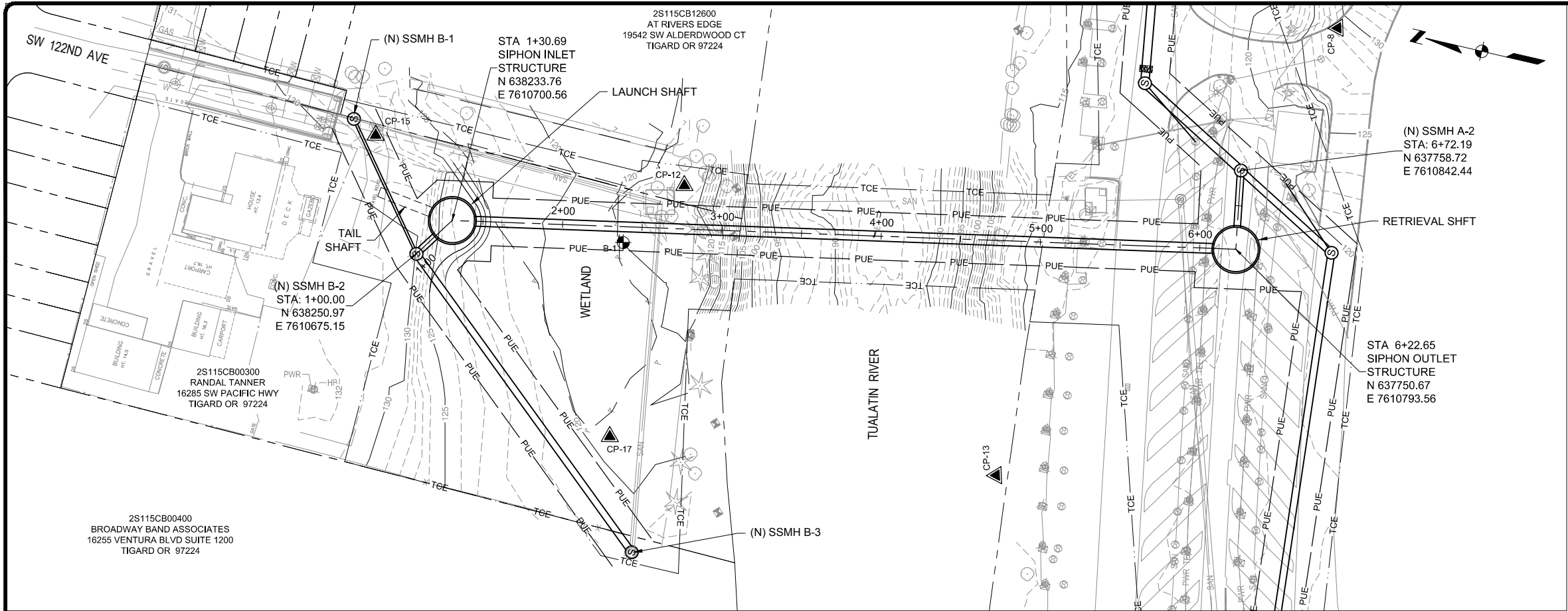
PROJECT
6493

DRAWING
G4

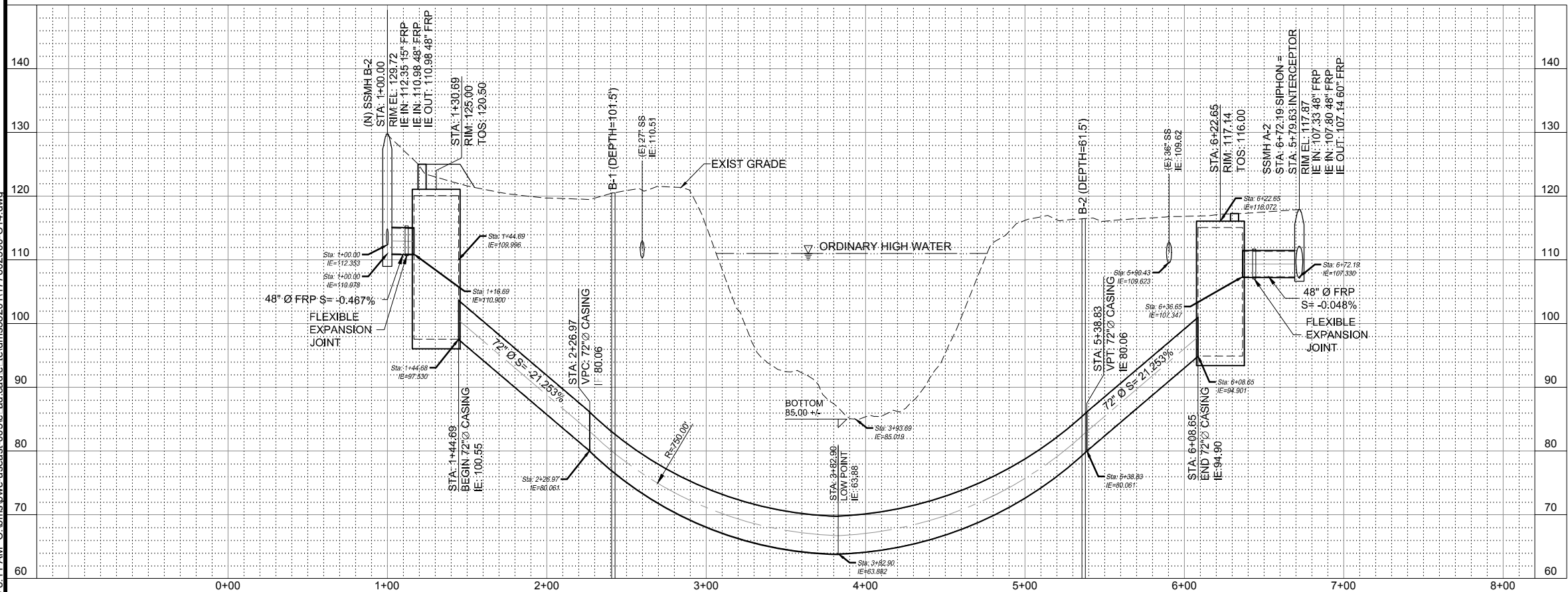
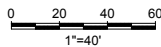
SHEET
4 OF 51

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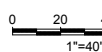
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PLAN



PROFILE



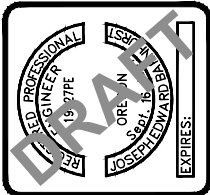
NOTES:

- EXISTING PROPERTY LINES AND RIGHT-OF-WAYS ARE SHOWN FOR REFERENCE ONLY AND ARE NOT LEGAL BOUNDARIES.
- FOR EXCAVATION AND FILL SETBACK LIMITATIONS, SEE DETAIL
- FOR TYPICAL PIPE TRENCH, SEE DETAIL
- FOR STANDARD MANHOLE, SEE DETAIL
- FOR CUSTOM MANHOLE SEE SHEET C26, C27 AND C28.

4
C20

1
C19

1
C20



NO.	REVISION	BY	DATE

Clean Water Services
Our commitment is clear.

2550 SW Hillsboro Hwy
Hillsboro, OR 97123
(503) 681-3600
www.cleanwaterservices.org

KING CITY
SIPHON
PLAN & PROFILE

TUALATIN
INTERCEPTOR
AND SIPHON
IMPROVEMENTS

1/4 SECTION NW 1/4 17, TIN, RIW NE 1/4 18, TIN RIW	DRAFTER: SEL	DESIGNER: RGS	CHECKED: JEB	APPROVED: RSP
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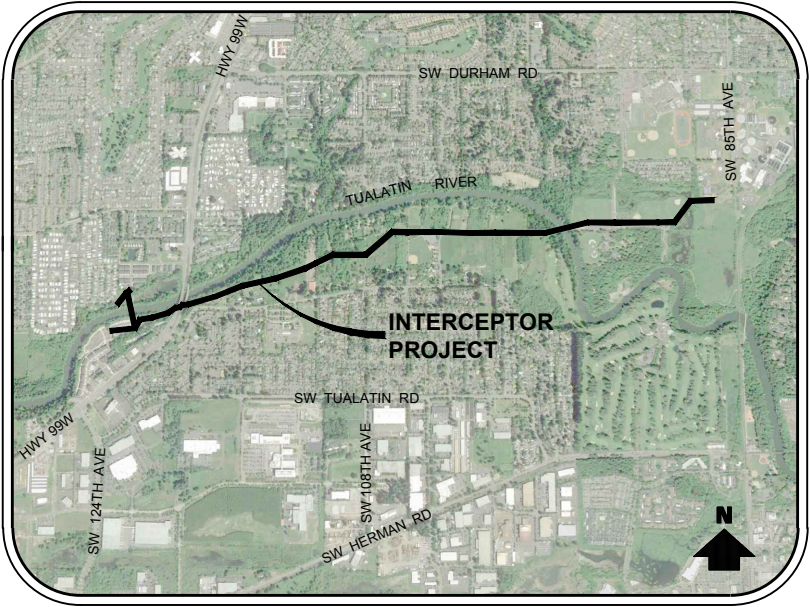
PROJECT 6493	DRAWING C14	SHEET 19 OF 51
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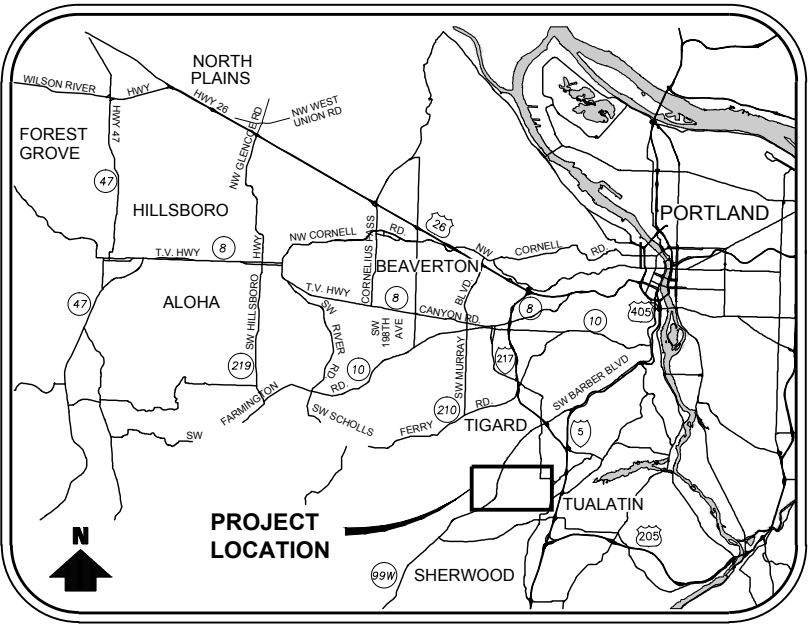
Kennedy/Jenks Consultants

421 S.W. 6TH AVENUE, SUITE 1000
PORTLAND, OREGON 97204
503-295-4000
KJ PROJ NO: 1776025*00

ESC PLAN FOR SITES 1 TO 5 ACRES



SITE MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

PROJECT LOCATION:

NEAR 7805 NW KAISER ROAD,
WASHINGTON COUNTY, OREGON
LATITUDE = 45°34'33" N
LONGITUDE = 122°50'34" W

PROPERTY DESCRIPTION:

TAX LOTS 902 AND 950 (WASHINGTON COUNTY TAX MAP 1N 1W 17B)
LOCATED IN THE WW 1/4 OF SECTION 17, TOWNSHIP 1 SOUTH,
RANGE 1 WEST, WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON

TAX LOTS 100, 101 AND 102 (WASHINGTON COUNTY TAX MAP 1N 1W 18A)
LOCATED IN THE WW 1/4 OF SECTION 17, TOWNSHIP 1 SOUTH,
RANGE 1 WEST, WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON

ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.

DEVELOPER

DEVELOPER/COMPANY: CLEAN WATER SERVICES
CONTACT: BRAD CREMENT
ADDRESS: 2550 SW HILLSBORO HIGHWAY
HILLSBORO, OR, 97123
PHONE: 503-681-4426
FAX: 503-547-8196

**PLANNING / ENGINEERING /
SURVEYING FIRM**

KENNEDY/JENKS CONSULTANTS
CONTACT: ROBERT PEACOCK
ADDRESS: 421 SW 6TH AVENUE, SUITE 1000
PORTLAND OR, 97204
PHONE: 503-423-4000
FAX: 503-295-4901

NARRATIVE DESCRIPTIONS

EXISTING SITE CONDITIONS

* FORESTED AREAS, AGRICULTURAL AREAS, AND PAVED ROAD

DEVELOPED CONDITIONS

* FUTURE RESIDENTIAL SUBDIVISION WITH PUBLIC STREETS AND UTILITIES.

NATURE OF CONSTRUCTION ACTIVITY AND ESTIMATED TIME TABLE

* CLEARING (DATES, FROM & TO: 8/29/16 TO 3/13/17)
* MASS GRADING (DATES, FROM & TO: N/A)
* UTILITY INSTALLATION (DATES, FROM & TO: 8/29/16 - 3/13/17)
* STREET CONSTRUCTION (DATES, FROM & TO: 8/29/16 - 3/13/17)
* FINAL STABILIZATION (DATES, FROM & TO: 8/29/16 - 3/13/17)

TOTAL SITE AREA = 112,234.63 SF = 2.58 ACRES

TOTAL DISTURBED AREA = 72229.54 SF = 1.66 ACRES

SITE SOIL CLASSIFICATION:

7D CASCADE SILT LOAM, 12 TO 20 PERCENT SLOPES
7E CASCADE SILT LOAM, 20 TO 30 PERCENT SLOPES
7F CASCADE SILT LOAM, 30 TO 60 PERCENT SLOPES
11B CORNELIUS AND KINTON SILT LOAMS, 2 TO 7 PERCENT SLOPES
11C CORNELIUS AND KINTON SILT LOAMS, 7 TO 12 PERCENT SLOPES
11E CORNELIUS AND KINTON SILT LOAMS, 20 TO 30 PERCENT SLOPES
19D HELVETIA SILT LOAM, 12 TO 20 PERCENT SLOPES
43 WAPATO SILTY CLAY LOAM

ON-SITE SOILS HAVE A MODERATE TO HIGH EROSION POTENTIAL. ALL FILL MATERIAL SHALL BE GENERATED ON-SITE FROM GRADING EXCAVATION AND UTILITY TRENCH SPOILS.

RECEIVING WATER BODIES:

NEAREST WATER BODY: ABBEY CREEK.

ESC INSPECTION REQUIREMENTS

	SITE CONDITION	MINIMUM FREQUENCY
1.	ACTIVE PERIOD	WEEKLY WHEN STORMWATER RUNOFF, INCLUDING RUNOFF FROM SNOW MELT, IS OCCURRING.
2.	PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.	AT LEAST ONCE EVERY MONTH, REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.
3.	INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.	ONCE EVERY MONTH.
4.	PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF PRACTICAL, INSPECTIONS MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION.

* HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS.
* ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-CN PERMIT REQUIREMENTS.
* INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-CN PERMIT REQUIREMENTS.
* RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, RETAIN THE ESCP AT THE CONSTRUCTION SITE OR AT ANOTHER LOCATION.

**STANDARD EROSION AND SEDIMENT
CONTROL PLAN DRAWING NOTES:**

- ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT.
- THE ESCP MEASURES SHOWN ON THIS PLAN ARE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, UPGRADE THESE MEASURES AS NEEDED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL EROSION AND SEDIMENT CONTROL REGULATIONS.
- SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT.
- PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION.
- IDENTIFY, MARK, AND PROTECT (BY FENCING OFF OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS.
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICABLE BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED.
- EROSION AND SEDIMENT CONTROL MEASURES INCLUDING PERIMETER SEDIMENT CONTROL MUST BE IN PLACE BEFORE VEGETATION IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING PROTECTION FOR ACTIVE STORM DRAIN INLETS AND CATCH BASINS AND APPROPRIATE NON-STORMWATER POLLUTION CONTROLS.
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. DIRECT ALL WASH WATER INTO A PIT OR LEAK-PROOF CONTAINER. HANDLE WASH WATER AS WASTE, CONCRETE DISCHARGE TO WATERS OF THE STATE IS PROHIBITED.
- APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES AND FOR ALL ROADWAYS INCLUDING GRAVEL ROADWAYS.
- ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS.
- PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPS SUCH AS: GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPS MUST BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES.
- WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE.
- USE BMPS TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS; VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, LEFTOVER PAINTS, SOLVENTS, AND GLUES FROM CONSTRUCTION OPERATIONS.
- IMPLEMENT THE FOLLOWING BMPS WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES.
- USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL.
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE.
- IF A STORMWATER TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMPS MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS.
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND DURING WET WEATHER OCTOBER 01 - MAY 31.
- SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL.
- OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT, AND BEFORE BMP REMOVAL.
- CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT.
- WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME.
- THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS.
- PROVIDE PERMANENT EROSION CONTROL MEASURES ON ALL EXPOSED AREAS. DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. HOWEVER, DO REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AS EXPOSED AREAS BECOME STABILIZED, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. PROPERLY DISPOSE OF CONSTRUCTION MATERIALS AND WASTE, INCLUDING SEDIMENT RETAINED BY TEMPORARY BMPS.
- IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1; THE TYPE AND PERCENTAGES OF SEED IN THE MIX MUST BE IDENTIFIED ON THE PLANS.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP I.E. (FILTER BAG).
- ALL EXPOSED SOILS MUST BE COVERED DURING THE WET WEATHER PERIOD, OCTOBER 01 - MAY 31.
- IF WATER OF THE STATE IS WITHIN THE PROJECT SITE OR WITHIN 50 FEET OF THE PROJECT BOUNDARY, MAINTAIN THE EXISTING NATURAL BUFFER WITHIN THE 50-FOOT ZONE FOR THE DURATION OF THE PERMIT COVERAGE, OR MAINTAIN LESS THAN THE ENTIRE EXISTING NATURAL BUFFER AND PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL BMPS.

THE PERMITTEE IS REQUIRED TO MEET ALL THE CONDITIONS OF THE 1200C PERMIT. THIS ESCP AND GENERAL CONDITIONS HAVE BEEN DEVELOPED TO FACILITATE COMPLIANCE WITH THE 1200C PERMIT REQUIREMENTS. IN CASES OF DISCREPANCIES OR OMISSIONS, THE 1200C PERMIT REQUIREMENTS SUPERCEDE REQUIREMENTS OF THIS PLAN.

BMP MATRIX FOR CONSTRUCTION PHASES

REFER TO DEQ GUIDANCE MANUAL FOR A COMPREHENSIVE LIST OF AVAILABLE BMP'S.

	CLEARING	MASS GRADING	UTILITY INSTALLATION	STREET CONSTRUCTION	FINAL STABILIZATION	WET WEATHER (OCT. 1 - MAY 31ST)
EROSION PREVENTION						
PRESERVE NATURAL VEGETATION			X		X	X
GROUND COVER					X	X
HYDRAULIC APPLICATIONS						
PLASTIC SHEETING						X
MATTING					X	X
DUST CONTROL			X		X	X
TEMPORARY/PERMANENT SEEDING			X		X	X
BUFFER ZONE						
OTHER:						
SEDIMENT CONTROL						
SEDIMENT FENCE (PERIMETER)			X		X	X
SEDIMENT FENCE (INTERIOR)			X		X	X
STRAW WATTLES			X			X
FILTER BERM						
INLET PROTECTION						
DEWATERING			X			
SEDIMENT TRAP						
NATURAL BUFFER ENCROACHMENT			*X		*X	*X
OTHER:						
RUN OFF CONTROL						
CONSTRUCTION ENTRANCE			X			
PIPE SLOPE DRAIN						
OUTLET PROTECTION						
SURFACE ROUGHENING						
CHECK DAMS			X			
OTHER:						
POLLUTION PREVENTION						
PROPER SIGNAGE			X			X
HAZ WASTE MGMT						
SPILL KIT ON-SITE			X			X
CONCRETE WASHOUT AREA			X			X
OTHER:						

* SIGNIFIES ADDITIONAL BMP'S REQUIRED FOR WORK WITHIN 50' OF WATER OF THE STATE.
** SIGNIFIES BMP THAT WILL BE INSTALLED PRIOR TO ANY GROUND DISTURBING ACTIVITY.

RATIONALE STATEMENT

A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S GUIDANCE MANUAL HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMP'S WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS, AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESC PLAN, AN ACTION PLAN WILL BE SUBMITTED.

INITIAL _____

PERMITTEE'S SITE INSPECTOR: _____ JEREMY LORENCE

COMPANY/AGENCY: CLEAN WATER SERVICES _____

PHONE: (503) 681-5116, CELL PHONE: (503) 849-9252 _____

FAX: (503) 681-4438 _____

E-MAIL: LORENCEJ@CLEANWATERSERVICES.ORG _____

DESCRIPTION OF EXPERIENCE: CERTIFIED EROSION CONTROL INSPECTOR - CESCL #4619 _____

DRAWING INDEX
EROSION AND SEDIMENT CONTROL PLANS

ESC1	EROSION AND SEDIMENT CONTROL COVER SHEET
ESC2	GRADING AND UTILITY EROSION AND SEDIMENT CONTROL PLAN
ESC3	EROSION AND SEDIMENT CONTROL PLANS STA: 1+00 TO STA: 19+00
ESC4	EROSION AND SEDIMENT CONTROL PLANS STA: 19+00 TO STA: 37+00
ESC5	EROSION AND SEDIMENT CONTROL PLANS STA: 37+00 TO STA: 55+00
ESC6	EROSION AND SEDIMENT CONTROL PLANS STA: 55+00 TO STA: 73+00
ESC7	EROSION AND SEDIMENT CONTROL PLANS STA: 73+00 TO STA: 91+00
ESC8	EROSION AND SEDIMENT CONTROL PLANS STA: 91+00 TO STA: 105+00
ESC9	EROSION AND SEDIMENT CONTROL PLAN KING CITY & BULL MT TRUNK
ESC10	EROSION AND SEDIMENT CONTROL DETAILS 1
ESC11	EROSION AND SEDIMENT CONTROL DETAILS 2

REVISIONS:

**EROSION AND SEDIMENT
CONTROL
COVER SHEET**

Kennedy/Jenks Consultants

421 S.W. 6TH AVENUE, SUITE 1000
PORTLAND, OREGON 97204
503-295-4000
KJ PROJ NO: 1776025"00

DESIGNED BY: RGS	SHEET NO.: 35 OF 51
DRAWN BY: SEL	SCALE: AS NOTED
CHECKED BY: JEB	
PREPARED FOR:	
CLEAN WATER SERVICES 2550 SW HILLSBORO HIGHWAY HILLSBORO, OR 97123 PHONE: 503-681-3600 FAX: 503-681-3603	

**TUALATIN INTERCEPTOR
AND SIPHON IMPROVEMENTS**
WASHINGTON COUNTY
TAX LOTS _____

OREGON

WASHINGTON COUNTY TAX MAP _____

DATE: _____



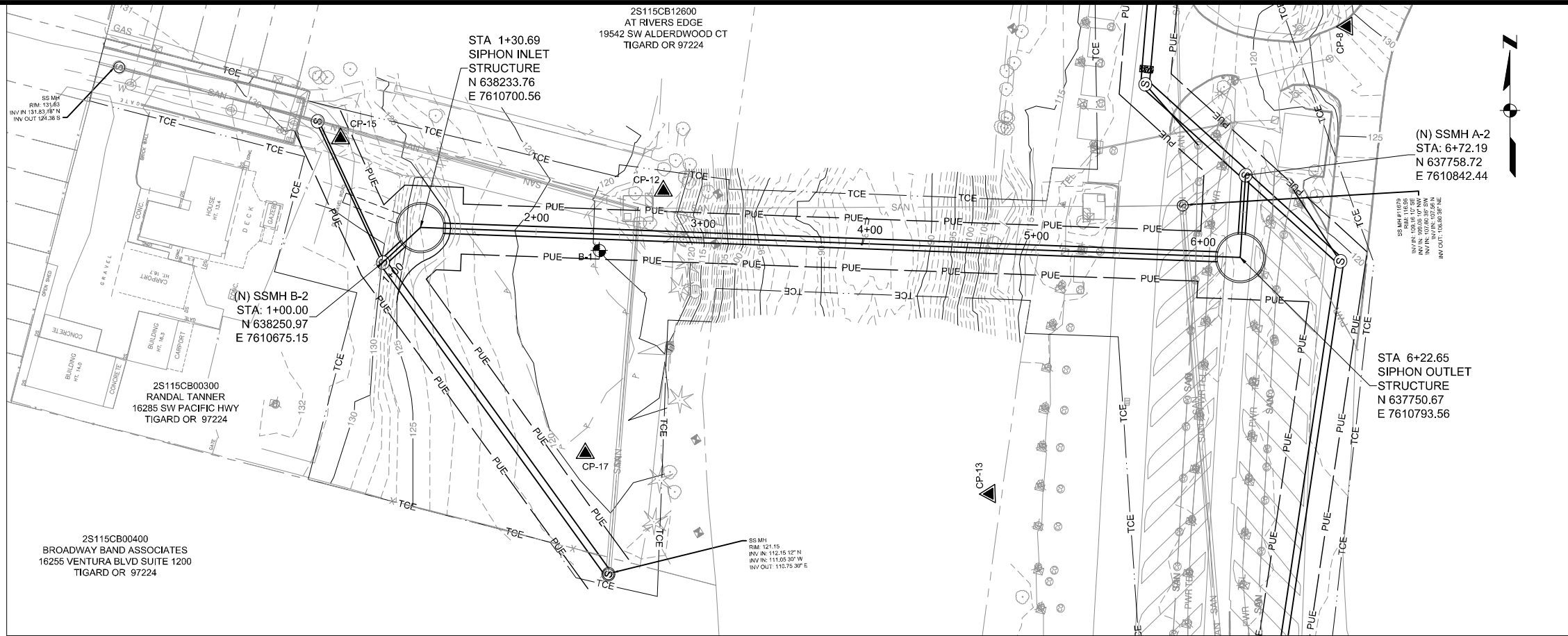
JOB NUMBER

6493

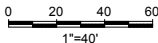
DWG #

ESC1

PROJECT SUBMITTAL



PLAN



SEE DWG ESC3 FOR CONTINUATION

GENERAL NOTES:

1. SEDIMENT BARRIER TO BE DETERMINED ACCORDING TO BMP MATRIX, SEE DWG ESC1.
2. CONSTRUCTION FENCE AND PERIMETER SEDIMENT BARRIER SHALL BE PLACED WITHIN TEMPORARY CONSTRUCTION EASEMENT BOUNDARIES.
3. TOPSOIL AND EXCAVATED SOILS SHALL BE STOCKPILED ON SIDE OF HIGHER ELEVATION.
4. SEE DWG ESC5 FOR DEWATERING NOTES.

KEY NOTES:

1. INSTALL SEDIMENT BARRIER PER STANDARD DETAILS, SEE DWG ESC5.
2. INSTALL TEMPORARY CONSTRUCTION FENCE, SEE DWG ESC5.
3. INSTALL CONSTRUCTION ENTRANCE PER STANDARD DETAIL 4-5, SEE DWG ESC5.
4. APPLY SEEDING AFTER FILL COMPACTION.
5. INSTALL SECONDARY SEDIMENT BARRIER FOR PROTECTION OF VEGETATED CORRIDOR.
6. INSTALL WATTLES PER STANDARD DETAIL 4-19, SEE DWG ESC5.
7. INSTALL CHECK DAM ROCK PER STANDARD DETAIL 4-13, SEE DWG ESC6.
8. INSTALL CONCRETE WASHOUT, SEE DWG ESC6.
9. INSTALL MATTING PER DETAIL 4-1, SEE DWG ESC5.

REVISIONS:

EROSION AND SEDIMENT
CONTROL PLANS
KING CITY & BULL MT TRUNK

Kennedy/Jenks Consultants
421 S.W. 6TH AVENUE, SUITE 1000
PORTLAND, OREGON 97204
503-295-4000
KJ PROJ NO: 1776025*00

DESIGNED BY: RGS
DRAWN BY: SEL
CHECKED BY: JEB
SHEET NO.: 43 OF 51
SCALE: AS NOTED
PREPARED FOR:
CLEAN WATER SERVICES
2550 SW HILLSBORO HIGHWAY
HILLSBORO, OR 97123
PHONE: 503-681-3600
FAX: 503-681-3603

TUALATIN INTERCEPTOR
ANDSIPHON IMPROVEMENTS
WASHINGTON COUNTY
OREGON
WASHINGTON COUNTY TAX MAP

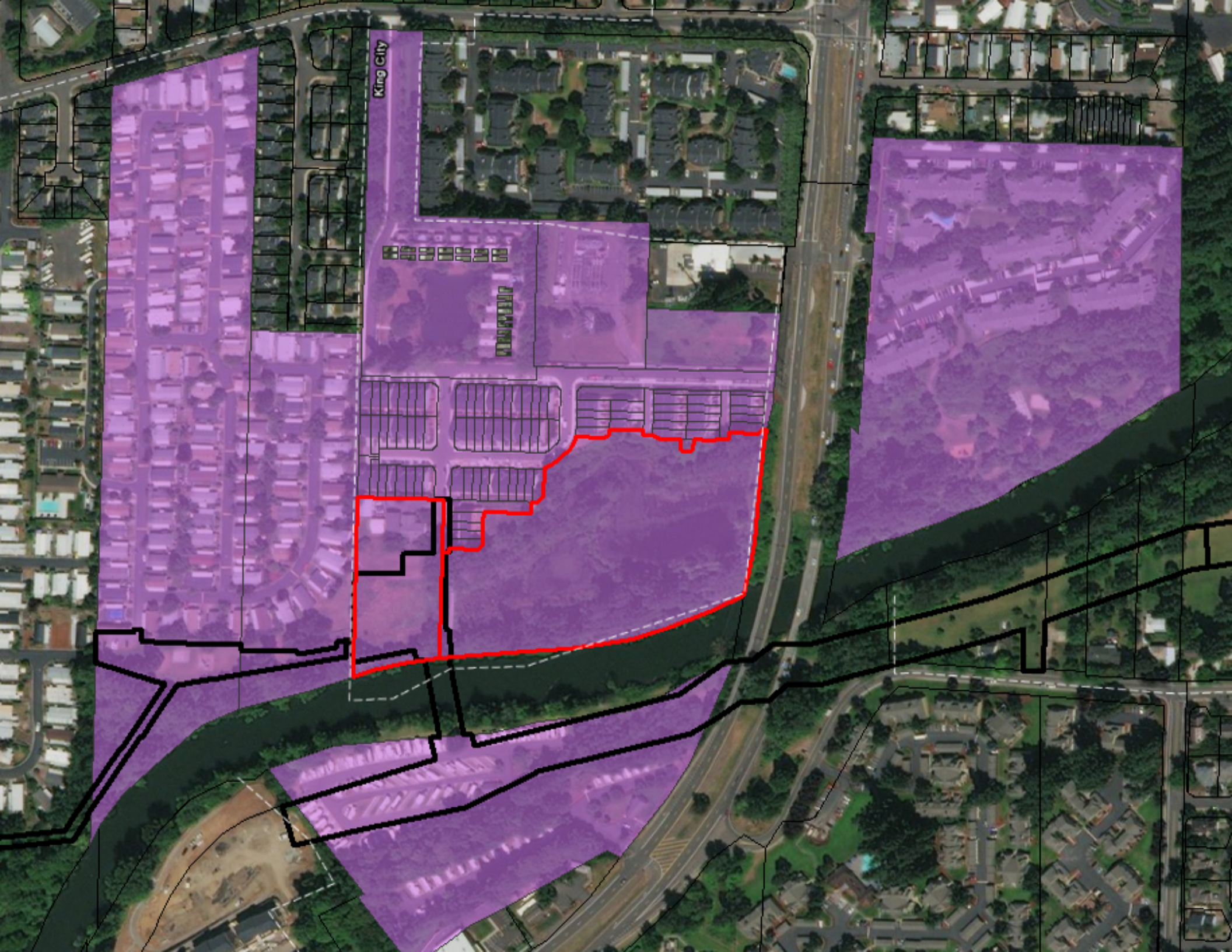


JOB NUMBER
6493
DWG #
ESC9

DATE:

EXPIRES: 12/31/2018

Attachment E: Property owners of record within 250 feet



King City

Lakeside Drive

Tualatin Interceptor and Siphon Improvement - King City Floodplain and Drainage Hazard Areas Permit Application

TLID	RNO	OWNER1	OWNER2	OWNERADDR
2S115CB09100	R2193068	ADAMS BENJAMIN		12191 SW POND LN
2S115CB08900	R2193066	ARENA JAMES L		12175 SW POND LN
2S115CB12400	R2193101	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB12500	R2193102	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB12600	R2193103	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB12700	R2193104	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB12800	R2193105	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB12900	R2193106	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB13000	R2193107	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB13100	R2193108	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB13200	R2193109	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB13300	R2193110	ASSOCIATION OF UNIT OWNERS	AT RIVERS EDGE	
2S115CB04500	R2193022	BICKEL GENE		12250 SW VERSAILLES RD
2S115CB05700	R2193034	BLACKWELL JAY M &	BLACKWELL TRACI N	15950 SW 76TH AVE
2S115CB07400	R2193051	BOYLE ELIZABETH		12178 SW POND LN
2S115CB00400	R523295	BRAND-BROADWAY ASSOCIATES	ATTN: KENNETH L FRIEDMAN	16255 VENTURA BLVD
2S115CB08400	R2193061	BROWN JANET		1409 185TH AVE
2S115CB12000	R2193097	BUSKIRK WILLIAM KEITH &	BUSKIRK LYNETTE DIANE	17226 SW 119TH PL
2S115CB06600	R2193043	CANNADY CHARLES &	CANNADY EILEEN	2685 W LAKERIDGE SHORES
2S115CB08800	R2193065	CAOILI GREGG &	CAOILI GREGORIO Q	12167 SW POND LN
2S115CB08700	R2193064	CARRINGTON LOGAN		12159 SW POND LN
2S115CB05500	R2193032	CASTILLO LACIE B &	CASTILLO ASTEN MYKEL A	12223 SW POND LN
2S115CB11500	R2193092	CASTRO CESAR J GERONIMO &	DEGERONIMO JOHANNY L ASTA	17201 SW 119TH PL
2S115CB07900	R2193056	CEDILLO ANGELA		12136 SW POND LN
2S115C001300	R523348	COMMONS AT AVALON LLC		1200 SW 66TH AVE #300
2S115CB08000	R2193057	CRAWFORD SARA E		12130 SW POND LN
2S115CB05400	R2193031	DEEP ART LLC	BY APARNA R EASWAR	14218 NW SPRUCERIDGE LN
2S115CB11300	R2193090	DORSEY STEVEN		17206 SW 120TH PL
2S115CB06800	R2193045	DR HORTON INC-PORTLAND		4380 SW MACADAM AVE #100
2S115CB07000	R2193047	DR HORTON INC-PORTLAND		4380 SW MACADAM AVE #100
2S115CB07100	R2193048	DR HORTON INC-PORTLAND		4380 SW MACADAM AVE #100
2S115CB07200	R2193049	DR HORTON INC-PORTLAND		4380 SW MACADAM AVE #100
2S115CB10100	R2193078	DURON JASON &	DURON LYNNA	12124 SW VERSAILLES RD

Tualatin Interceptor and Siphon Improvement - King City Floodplain and Drainage Hazard Areas Permit Application

2S115CB11200	R2193089	ESTRELLA JEREMY J		17214 SW 120TH PL
2S115CB07500	R2193052	FINGER ANDREW &	FINGER KATIE	12170 SW POND LN
2S115CB10300	R2193080	FITCH ALEX &	FITCH ERICA	12036 SW POND LN
2S115CB08200	R2193059	FREDRICKSON KATIE		12123 SW POND LN
2S115CB04600	R2193023	GILLIS KRISTINE E		12242 SW VERSAILLES RD
2S115CB06700	R2193044	GOFORTH ALISHIA A &	LEMASTERS JOSEPH C	12210 SW POND LN
2S115CB06900	R2193046	GRAFTON TIMOTHY &	GRAFTON ELIZABETH	17317 SW 122ND AVE
2S115CB06400	R2193041	HALL NATHAN T &	HALL STACY N	12228 SW POND LN
2S115CB06000	R2193037	HOLMAN SCOTT H &	HOLMAN KATHRYN K	12252 SW POND LN
2S115CB04400	R2193021	HUGHES ANTHONY &	HUGHES JILLIAN	12258 SW VERSAILLES RD
2S115CB10500	R2193082	JACKSON DARLISA E		12024 SW POND LN
2S115CB09000	R2193067	JASTILLANA JESSY CHERISH &	GALUTERA MAGDALENA	12183 SW POND LN
2S115CB09400	R2193071	JONES GREGORY &	JONES ALICE	12180 SW VERSAILLES RD
2S115CB07300	R2193050	KONATHALA JAGDISH		12186 SW POND LN
2S115CB09300	R2193070	LAM CHRISTINE &	LAM JAMES	12188 SW VERSAILLES RD
2S115CB05800	R2193035	LEVASSEUR MATTHEW J		12241 SW POND LN
2S115CB11900	R2193096	LEWIS JOSHUA T &	LEWIS DANIELLE L	17231 SW 119TH PL
2S115CB10400	R2193081	LOTT ALEXANDRIA A		12028 SW POND LN
2S115CB07800	R2193055	MARKEY JEFFREY &	MARKEY CARRIE	12144 SW POND LN
2S115CB12100	R2193098	MASTERS STEVEN R		17218 SW 119TH PL
2S115CB10700	R2193084	MAUK BRANDON &	SCHUBERT-MAUK STEPHANIE	17205 SW 120TH PL
2S115CB09500	R2193072	MUNIZ VICTOR A		12172 SW VERSAILLES RD
2S115CB09800	R2193075	NAKAMASU REYN &	PANG MARISA	12148 SW VERSAILLES RD
2S115CB04800	R2193025	NATALINI STEFANO &	EBNER KELSEY N	12226 SW VERSAILLES RD
2S115CB04900	R2193026	NEU BLAINE &	BURKHARDT JACOB	12218 SW VERSAILLES RD
2S115CB10000	R2193077	NUNN WILLIAM C JR &	WITTREN SHANNON	12132 SW VERSAILLES RD
2S115CB11700	R2193094	O'BRYANT TYLER L &	O'BRYANT HEATHER L	17215 SW 119TH PL
2S115CB11400	R2193091	OSWALT CHRISTOPHER M &	OSWALT JENNIFER L	17200 SW 120TH PL
2S115CB08100	R2193058	PANG RAYMOND J &	PANG SUZANNE S	1515 KALAEOHAKU ST
2S115CB11800	R2193095	PAUGH CHELSEY M		17223 SW 119TH PL
2S115CB05900	R2193036	PAUL WINIFRED LYNN		12249 SW POND LN
2S115CB05100	R2193028	PETERSON GRANT I &	PETERSON BROOKE A	12202 SW VERSAILLES RD
2S115CB00100	R2143975	PORTLAND GENERAL ELECTRIC COMPAN		121 SW SALMON ST
2S115CB11000	R2193087	POUNDS KEVIN		17230 SW 120TH PL

Tualatin Interceptor and Siphon Improvement - King City Floodplain and Drainage Hazard Areas Permit Application

2S115CB06200	R2193039	RASMUSSEN JEREMY		12240 SW POND LN
2S115CB10200	R2193079	RHEE HYE		12118 SW VERSAILLES RD
2S115CB09700	R2193074	RICKERT LARRY &	RICKERT BARBARA	12156 SW VERSAILLES RD
2S115CB90000	R1306189	RIVER LAKE VILLAGE CONDOMINIUM	OWNERS OF ALL UNITS	
2S115CB09200	R2193069	RIVERA PRESCILA B &	NIVERA ISAGANI &	12196 SW VERSAILLES RD
2S115C001800	R523419	ROAMER'S REST R V PARK LLC		19542 SW ALDERWOOD CT
2S115CB08300	R2193060	ROSE EMILY NICOLE		12129 SW POND LN
2S115CB09900	R2193076	SALAS MIGUEL NAJERA &	SALAS CELIA E GONZALEZ	12140 SW VERSAILLES RD
2S115CB07700	R2193054	SCHMITZ CHRIS		12152 SW POND LN
2S115CB08500	R2193062	SUAZO JAMELL &	RICHEN KELLEY	12145 SW POND LN
2S115CB00300	R523259	TANNER RANDALL		16285 SW PACIFIC HWY
2S115CB04700	R2193024	TOBING 1 LLC		77 GREENRIDGE CT
2S115CB10900	R2193086	TYE MAYNARD		13411 SW 129TH AVE
2S115CB11600	R2193093	TYE MAYNARD		13411 SW 129TH AVE
2S115CB06100	R2193038	UNDERWOOD CHARLES L &	UNDERWOOD NANTHAPOHN B	12246 SW POND LN
2S115CB06500	R2193042	VILLANUEVA SARAH		12220 SW POND LN
2S115CB05600	R2193033	WACZAK CHRISTINE		12231 SW POND LN
2S115CB11100	R2193088	WAGER AMY		17222 SW 120TH PL
2S115CB10600	R2193083	WAGNER MARK J &	WAGNER PAMELA D	12018 SW POND LN
2S115CB09600	R2193073	WALKER KYLE J		12164 SW VERSAILLES RD
2S115CB05200	R2193029	WANG XIAOHUI		12207 SW POND LN
2S115CB06300	R2193040	WHITE TERENCE E		14291 SW KOVEN CT
2S115CB07600	R2193053	WHITFIELD WILLIAM &	WHITFIELD DARLA	12162 SW POND LN
2S115CB04300	R523339	WILLAMETTE WEST HABITAT FOR HUMA		5293 NE ELAM YOUNG PKWY #140
2S115CB05000	R2193027	WILLIAMS CHRISTINA A &	STEWART BRANDON A	12208 SW VERSAILLES RD
2S115CB10800	R2193085	WILSON SONEECA K &	WILSON KAREEM R	17211 SW 120TH PL
2S115CB08600	R2193063	WOODRUFF ROBERT L		12153 SW POND LN
2S115CB05300	R2193030	YU TIANJIAO &	ZHANG XIUHONG	12215 SW POND LN
2S115CB12200	R2193099	ZHANG QUN		17208 SW 119TH PL
2S115CB12300	R2193100	ZHANG QUN		17208 SW 119TH PL
2S1W15C -RIV				
2S1W15C -STR				

Tualatin Interceptor and Siphon Improvement - King City Floodplain and Drainage Hazard Areas Permit Application

OWNERCITY	JERS	OWNERZIP	SITEADDR	SITECITY	SITEZIP	JURIS_CITY	ORTAXLOT
PORTLAND	OR	97224-2484	12191 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000009100
PORTLAND	OR	97224-2484	12175 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008900
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000012400
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000012500
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000012600
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000012700
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000012800
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000012900
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000013000
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000013100
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000013200
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000013300
PORTLAND	OR	97224-2477	12250 SW VERSAILLES RD	TIGARD	97224-2477	KING CITY	3402.00S01W15CB--000004500
TIGARD	OR	97224-7116	12237 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000005700
PORTLAND	OR	97224-2484	12178 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000007400
ENCINO	CA	91436-2302	12450 SW FISCHER RD	TIGARD	97224-2337	UNINCORPORATE	3402.00S01W15CB--000000400
SNOHOMISH	WA	98290-4426	12137 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008400
KING CITY	OR	97224-2488	17226 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000012000
RENO	NV	89519-5779	12216 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000006600
PORTLAND	OR	97224-2484	12167 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008800
PORTLAND	OR	97224-2484	12159 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008700
KING CITY	OR	97224-2483	12223 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000005500
KING CITY	OR	97224-2488	17201 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000011500
PORTLAND	OR	97224-2484	12136 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000007900
PORTLAND	OR	97225-6004	17066 SW PACIFIC HWY	TIGARD	97224-3481	UNINCORPORATE	3402.00S01W15C0--000001300
PORTLAND	OR	97224-2484	12130 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008000
PORTLAND	OR	97229-2377	12219 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000005400
KING CITY	OR	97224-2487	17206 SW 120TH PL	TIGARD	97224-2487	KING CITY	3402.00S01W15CB--000011300
PORTLAND	OR	97239-6411	17321 SW 122ND AVE	TIGARD	97224-2486	KING CITY	3402.00S01W15CB--000006800
PORTLAND	OR	97239-6411	17313 SW 122ND AVE	TIGARD	97224-2486	KING CITY	3402.00S01W15CB--000007000
PORTLAND	OR	97239-6411	17309 SW 122ND AVE	TIGARD	97224-2486	KING CITY	3402.00S01W15CB--000007100
PORTLAND	OR	97239-6411	12194 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000007200
PORTLAND	OR	97224-2482	12124 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000010100

Tualatin Interceptor and Siphon Improvement - King City Floodplain and Drainage Hazard Areas Permit Application

KING CITY	OR	97224-2487	17214 SW 120TH PL	TIGARD	97224-2487	KING CITY	3402.00S01W15CB--000011200
PORTLAND	OR	97224-2484	12170 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000007500
PORTLAND	OR	97224-2485	12036 SW POND LN	TIGARD	97224-2485	KING CITY	3402.00S01W15CB--000010300
PORTLAND	OR	97224-2484	12123 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008200
PORTLAND	OR	97224-2477	12242 SW VERSAILLES RD	TIGARD	97224-2477	KING CITY	3402.00S01W15CB--000004600
PORTLAND	OR	97224-2483	12210 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000006700
PORTLAND	OR	97224-2486	17317 SW 122ND AVE	TIGARD	97224-2486	KING CITY	3402.00S01W15CB--000006900
PORTLAND	OR	97224-2483	12228 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000006400
PORTLAND	OR	97224-2483	12252 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000006000
PORTLAND	OR	97224-2477	12258 SW VERSAILLES RD	TIGARD	97224-2477	KING CITY	3402.00S01W15CB--000004400
PORTLAND	OR	97224-2485	12024 SW POND LN	TIGARD	97224-2485	KING CITY	3402.00S01W15CB--000010500
PORTLAND	OR	97224-2484	12183 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000009000
PORTLAND	OR	97224-2482	12180 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000009400
PORTLAND	OR	97224-2484	12186 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000007300
PORTLAND	OR	97224-2482	12188 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000009300
PORTLAND	OR	97224-2483	12241 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000005800
KING CITY	OR	97224-2488	17231 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000011900
KING CITY	OR	97224-2485	12028 SW POND LN	TIGARD	97224-2485	KING CITY	3402.00S01W15CB--000010400
KING CITY	OR	97224-2484	12144 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000007800
KING CITY	OR	97224-2488	17218 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000012100
PORTLAND	OR	97224-2487	17205 SW 120TH PL	TIGARD	97224-2487	KING CITY	3402.00S01W15CB--000010700
PORTLAND	OR	97224-2482	12172 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000009500
PORTLAND	OR	97224-2482	12148 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000009800
KING CITY	OR	97224-2477	12226 SW VERSAILLES RD	TIGARD	97224-2477	KING CITY	3402.00S01W15CB--000004800
PORTLAND	OR	97224-2477	12218 SW VERSAILLES RD	TIGARD	97224-2477	KING CITY	3402.00S01W15CB--000004900
PORTLAND	OR	97224-2482	12132 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000010000
KING CITY	OR	97224-2488	17215 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000011700
PORTLAND	OR	97224-2487	17200 SW 120TH PL	TIGARD	97224-2487	KING CITY	3402.00S01W15CB--000011400
HONOLULU	HI	96816-1806	12122 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008100
KING CITY	OR	97224-2488	17223 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000011800
KING CITY	OR	97224-2483	12249 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000005900
KING CITY	OR	97224-2477	12202 SW VERSAILLES RD	TIGARD	97224-2477	KING CITY	3402.00S01W15CB--000005100
PORTLAND	OR	97204-2908	12051 SW VERSAILLES RD	TIGARD	97224	KING CITY	3402.00S01W15CB--000000100
KING CITY	OR	97224-2487	17230 SW 120TH PL	TIGARD	97224-2487	KING CITY	3402.00S01W15CB--000011000

Tualatin Interceptor and Siphon Improvement - King City Floodplain and Drainage Hazard Areas Permit Application

KING CITY	OR	97224-2483	12240 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000006200
PORTLAND	OR	97224-2482	12118 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000010200
KING CITY	OR	97224-2482	12156 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000009700
		00000		TIGARD	97224	KING CITY	3402.00S01W15CB--000009000
PORTLAND	OR	97224-2482	12196 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000009200
ALOHA	OR	97003	17585 SW PACIFIC HWY	TUALATIN	97062-6956	TUALATIN	3402.00S01W15C0--000001800
PORTLAND	OR	97224-2484	12129 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008300
KING CITY	OR	97224-2482	12140 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000009900
PORTLAND	OR	97224-2484	12152 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000007700
KING CITY	OR	97224-2484	12145 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008500
TIGARD	OR	97224	17219 SW PACIFIC HWY	TIGARD	97224-3457	KING CITY	3402.00S01W15CB--000000300
LAKE OSWEGO	OR	97035-1428	12234 SW VERSAILLES RD	TIGARD	97224-2477	KING CITY	3402.00S01W15CB--000004700
TIGARD	OR	97223-2865	17219 SW 120TH PL	TIGARD	97224-2487	KING CITY	3402.00S01W15CB--000010900
TIGARD	OR	97223-2865	17207 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000011600
PORTLAND	OR	97224-2483	12246 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000006100
KING CITY	OR	97224-2483	12220 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000006500
PORTLAND	OR	97224-2483	12231 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000005600
KING CITY	OR	97224-2487	17222 SW 120TH PL	TIGARD	97224-2487	KING CITY	3402.00S01W15CB--000011100
KING CITY	OR	97224-2485	12018 SW POND LN	TIGARD	97224-2485	KING CITY	3402.00S01W15CB--000010600
KING CITY	OR	97224-2482	12164 SW VERSAILLES RD	TIGARD	97224-2482	KING CITY	3402.00S01W15CB--000009600
PORTLAND	OR	97224-2483	12207 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000005200
TIGARD	OR	97224-1081	12234 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000006300
KING CITY	OR	97224-2484	12162 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000007600
HILLSBORO	OR	97124-7558	17165 SW PACIFIC HWY	TIGARD	97224	KING CITY	3402.00S01W15CB--000004300
PORTLAND	OR	97224-2477	12208 SW VERSAILLES RD	TIGARD	97224-2477	KING CITY	3402.00S01W15CB--000005000
PORTLAND	OR	97224-2487	17211 SW 120TH PL	TIGARD	97224-2487	KING CITY	3402.00S01W15CB--000010800
PORTLAND	OR	97224-2484	12153 SW POND LN	TIGARD	97224-2484	KING CITY	3402.00S01W15CB--000008600
KING CITY	OR	97224-2483	12215 SW POND LN	TIGARD	97224-2483	KING CITY	3402.00S01W15CB--000005300
KING CITY	OR	97224-2488	17208 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000012200
PORTLAND	OR	97224-2488	17204 SW 119TH PL	TIGARD	97224-2488	KING CITY	3402.00S01W15CB--000012300
				TIGARD	97224	UNINCORPORATED	
				TUALATIN	97062	TUALATIN	

Attachment F: No Net Rise Documentation (Kennedy/Jenks Consultants, February 7, 2018)

7 February 2018

Memorandum

To: Sarah Betz - DEA

From: Heather Stephens – Kennedy/Jenks
Consultants

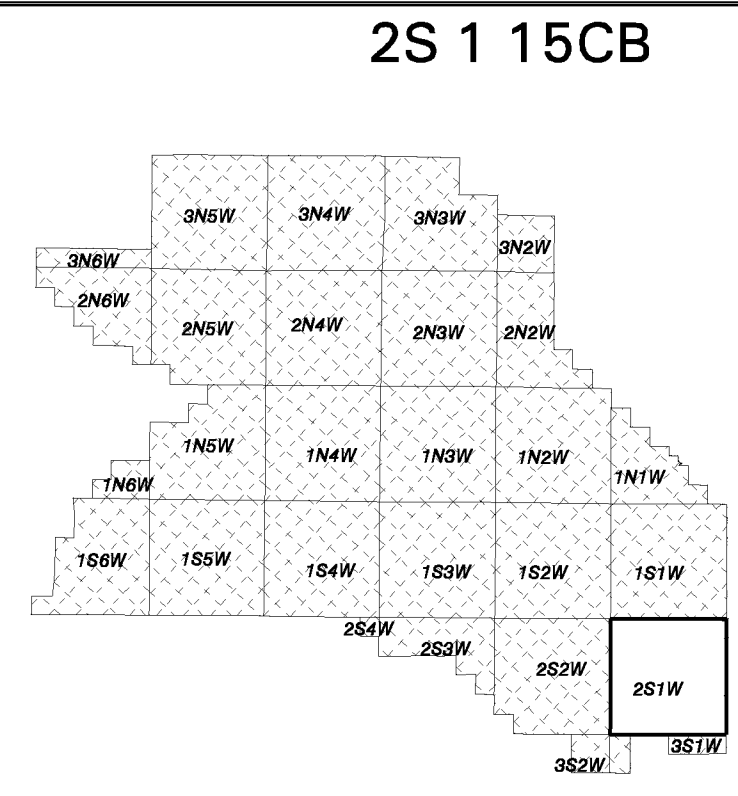
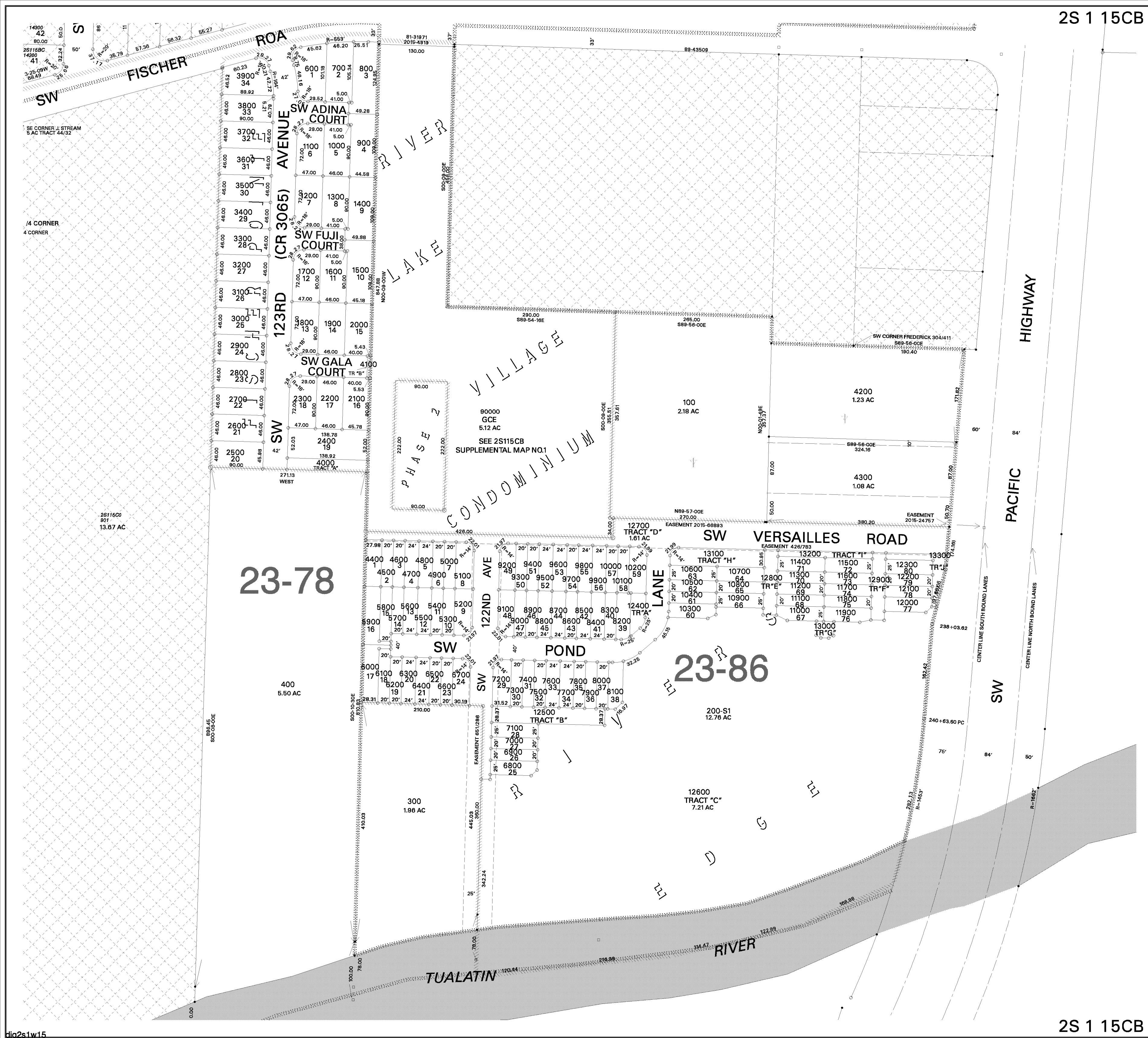
Subject: No Rise Documentation for Upper Tualatin
Interceptor
K/J 1776025.00



The Upper Tualatin Interceptor serves King City, Sherwood, Tigard, and Tualatin, conveying flow from the Durham Basin to the Durham Wastewater Treatment Plant. The existing interceptor is being upgraded to address existing capacity deficiencies in the Durham Basin and to accommodate planned growth within existing growth boundaries.

The project will replace an existing buried pipeline with a larger buried pipeline. The project will not change the existing ground elevations, resulting in no net cut or fill and no fill in the floodplain. Following construction, the final ground surface will be restored to pre-construction elevations. One existing appurtenance (the King City siphon outlet structure) is currently located three feet above grade and will be modified to lower the top of the structure to at-grade elevation.

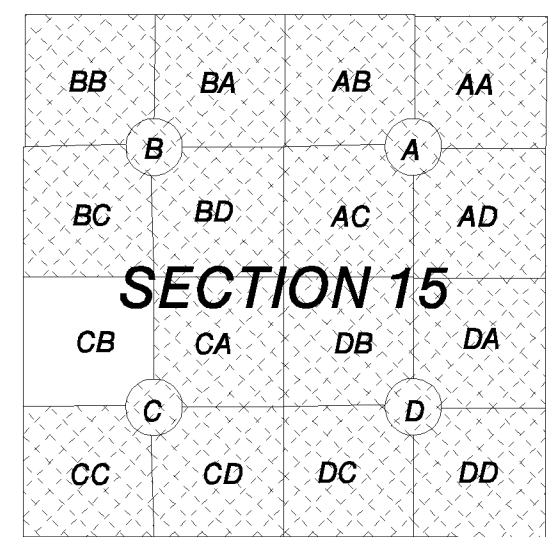
Attachment G: Washington County Tax Assessor Maps



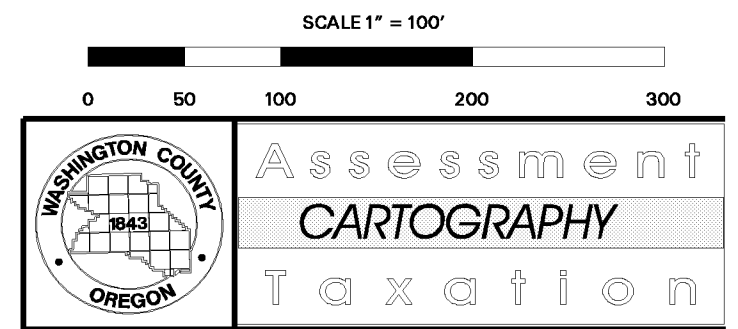
WASHINGTON COUNTY OREGON
NW1/4 SW1/4 SECTION 15 T2S R1W W.M.
SCALE 1" = 100'

36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6
12	7	8	9	10	11	12	7
13	18	17	16	15	14	13	18
24	19	20	21	22	23	24	19
25	30	29	28	27	26	25	30
36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT
www.co.washington.or.us



Cancelled Taxlots For: 2S115CB
500,100-C1,4200-C1,200,

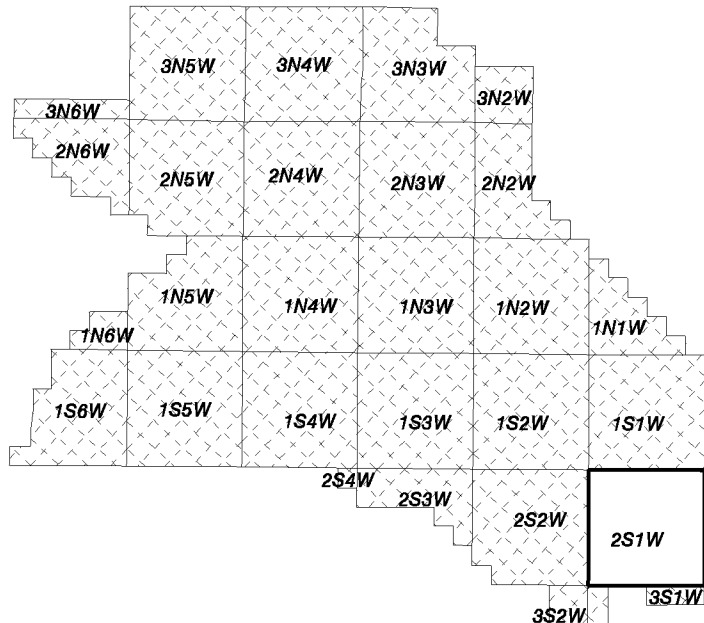
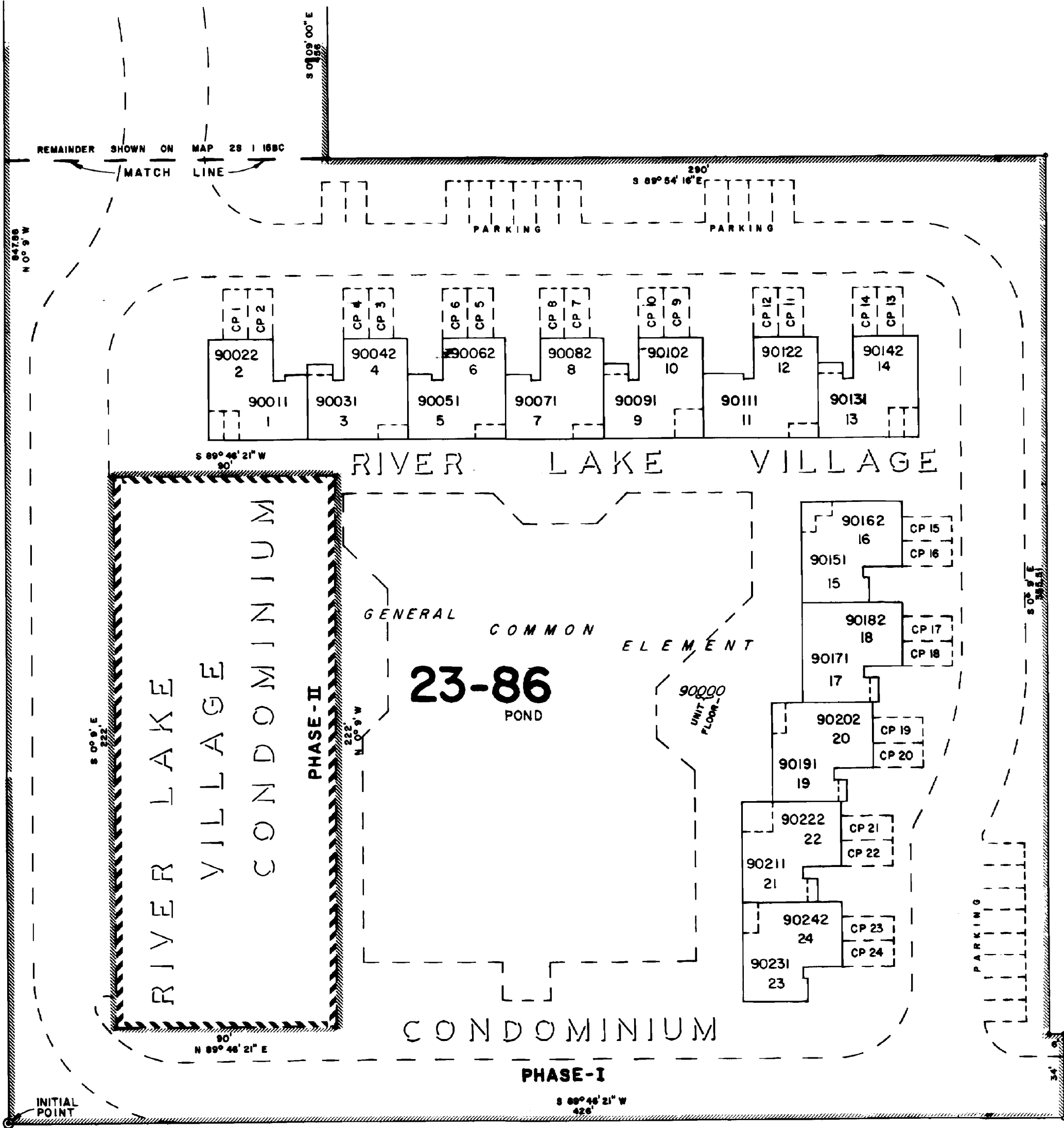


PLOT DATE: August 02, 2016
FOR ASSESSMENT PURPOSES ONLY - DO NOT RELY ON FOR OTHER USE

Map areas delineated by either gray shading or a cross-hatched pattern are for reference only and may not indicate the most current property boundaries. Please consult the appropriate map for the most current information.

KING CITY
2S 1 15CB

RIVER LAKE VILLAGE CONDOMINIUM




SUPPLEMENTAL MAP NO. 1
IN
NW1/4 SW1/4 SECTION 15 T2S R1W W.M.
WASHINGTON COUNTY OREGON
SCALE 1" = 40'

36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6
12	7	8	9	10	11	12	7
13	18	17	16	15	14	13	18
24	19	20	21	22	23	24	19
25	30	29	28	27	26	25	30
36	31	32	33	34	35	36	31
1	6	5	4	3	2	1	6

BB	BA	AB	AA
B			A
BC	BD	AC	AD
CB	CA	DB	DA
C			D
CC	CD	DC	DD

SECTION 15



Assessment
CARTOGRAPHY
Taxation

PLOT DATE
August 09, 1999
FOR ASSESSMENT PURPOSES
ONLY - DO NOT RELY ON
FOR OTHER USE

Attachment H: Easement agreements

SEWER EASEMENT

Parcel No.

P.R. Pewonka and Dorris J. Pewonka

78050594

78050594

17219 S.W. Pacific Highway, Tigard, Oregon 97223

does hereby grant unto the Unified Sewerage Agency of Washington County, its successors and assigns, the right to lay down, construct and perpetually maintain a sewer or sewers through, under and along

SEE ATTACHMENT

Said temporary easement is automatically extinguished following Agency acceptance of completed sewer in adjacent permanent easements.

No structure shall be erected upon said easement without the written consent of the Grantee.

The consideration for this grant is Five Hundred and Fifty Dollars


IN WITNESS WHEREOF, the grantor above named, has hereunto set his hand and seal this

7 day of November A.D., 1978

APPROVED

GENERAL MANAGER, Unified Sewerage
Agency of Washington County

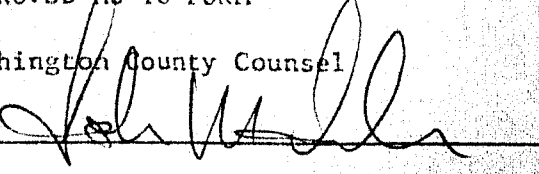
By



APPROVED AS TO FORM

Washington County Counsel


By

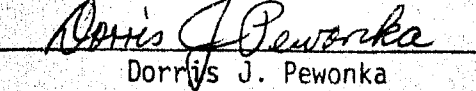


STATE OF OREGON)

) ss

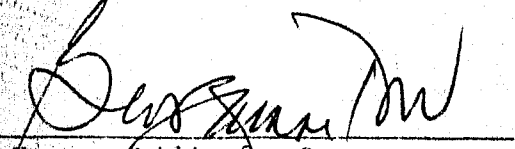
County of Washington)

x  (SEAL)
P.R. Pewonka

x  (SEAL)
Dorris J. Pewonka

Personally appeared the above-named P.R. and Dorris J. Pewonka
and acknowledged the foregoing instrument to be their voluntary act and deed.

72-35 R3/75


Notary Public for Oregon
My commission expires 10/31/81

A PERMANENT EASEMENT

A portion of that tract of land in Section 15, Township 2 South, Range 1 West, of the Willamette Meridian, Washington County, Oregon, conveyed to Sally L. Lockwood, as described and recorded in Volume 654, Page 277, deed records of said Washington County, more particularly described as follows:

A strip of land 20 feet wide, 10 feet either side of the following centerline.

Beginning at a point on the Easterly line of said tract, being 330.00 feet from the Northeasterly corner of said tract; thence, Southwesterly to a point on the Westerly line of said tract, being 371.43 feet from the Northwesterly corner of said tract, together with the Easterly 25 feet of said tract.

A TEMPORARY EASEMENT

A strip of land 50 feet wide, 25 feet either side of the following described centerline.

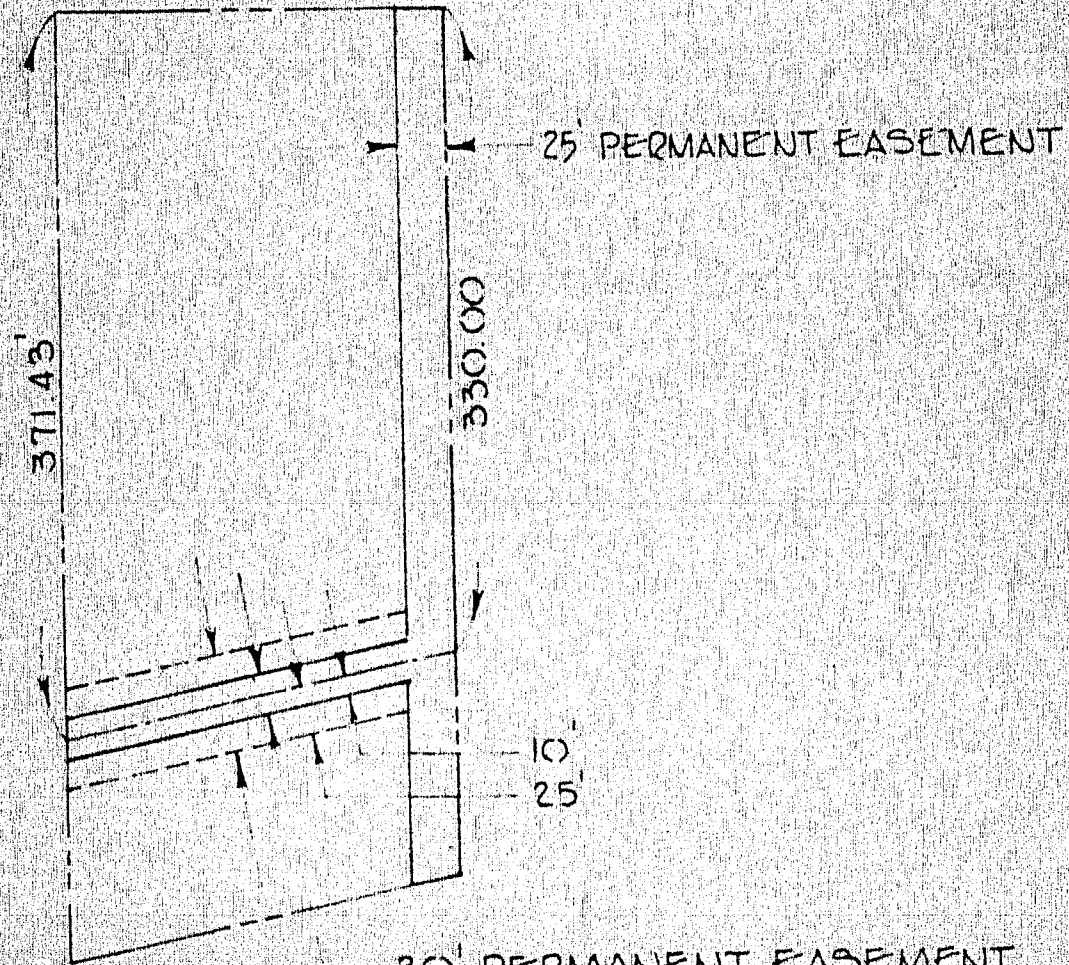
Beginning at a point on the Easterly line of said tract, being 330.00 feet from the Northeasterly corner of said tract; thence, Southwesterly to a point on the Westerly line of said tract, being 371.43 feet from the Northwesterly corner of said tract.

EASEMENT KING-1

SALLY LOCKWOOD

23 1 15C 706 654/277

634 LINEAL FEET



20' PERMANENT EASEMENT
50' TEMPORARY EASEMENT

PT-0780



Stevens, Thompson & Ronyan, Inc.
Engineers & Planners

EASEMENT CONDITIONS

The Unified Sewerage Agency is responsible for the implimentation, inspection and completion of the following Easement Conditions. These conditions apply to any re-entry as well as initial construction.

1. The Agency contractor shall confine his operation to the designated areas and observe all restrictions.
2. The Agency contractor will make any necessary preliminary explorations to determine the location of any obstructions which may interfere with the construction of the sewer line.
3. Under the direction and supervision of the Agency, the contractor shall do all clearing and grubbing necessary in the construction of sewer and the cost thereof shall be absorbed by him.
4. In any portion of the line crossing private landscaped property areas, the contractor shall excavate and pile the top soil separately from the subsoil, and conduct the work in a manner that will replace original conditions as near as practicable. The contractor shall remove and replace any small trees, shrubs, plants, or sod that cannot be preserved. All shrubs or plants shall be carefully handled, kept watered, and replaced in their original position without damage. Sod shall be handled in a similar manner. Wherever it cannot be saved and restored, the ground must be reseeded at the expense of the contractor. Plants or shrubs killed or destroyed must be paid for, or replaced by the contractor. It is the intent of this paragraph that the contractor shall leave the surface and planting in substantially the same condition as before the work is undertaken. Major trees in the permanent easement are not replaceable, and are included in the value of the easement, and are the property of the Agency.
5. When sewer construction is across land on which livestock may be grazing, the contractor shall erect temporary fencing along any open trenches to prevent livestock from getting into the trench. Whenever it becomes necessary to cross an existing fence line, the contractor shall conduct his operation and erection of fences and barricades so that livestock are not prevented access to the water courses they normally use for drinking, nor allowed to escape. Temporary horse fencing (not normal barbed wire) will be used where horses are kept.
6. During the time that the work is in progress, the contractor shall make every effort to maintain the site in a neat and orderly condition. All refuse, broken pipe, excess fill material, cribbing, etc., shall be removed as soon as practicable. Should the work not be maintained in a satisfactory condition, the Agency may cause the work to stop until the cleanup portion of the work has been done to the satisfaction of the owner and/or the Agency. Unusual conditions and special situations may cause final cleanup and restoration to be delayed until the final stages of construction.

EASEMENT CONDITIONS (CONTINUED)

7. Irrigation and drainage systems will be maintained operable during construction and replaced in substantially the same condition as at commencement of construction.
8. Grantor does not relinquish any right to further compensation if construction interferes with wells in quantity or quality, or for any other uncorrected damage suffered.
9. Temporary construction easements will be automatically extinguished upon acceptance by the Agency of the completed sewer or two years from the Agency notice to commence construction whichever occurs first.
10. Grantee agrees to indemnify and hold harmless grantor, his successors and assigns, from all claims, liabilities, cost and expense, for loss of or damage to property and for injuries to or death of persons arising out of construction, reconstruction, maintenance of sewer or related use of easements.
11. Vehicular access to property will not be obstructed during the hours of 5 p.m. and 9 a.m. without the written consent of the grantor. Grantor will be notified 24 hours prior to construction on property and to closing of property access for ditching and pipe installation.
12. The Upper Tualatin Interceptor sewer is sized to provide capacity for present and future development of the subject property. Connection points or tees if desired by grantor, will be provided and placement co-ordinated with grantor during construction. Sewer connection will be subject to the rates and ordinances of the Unified Sewerage Agency of Washington County.

STATE OF OREGON
County of Washington

SS

I, Roger Thomssen, Director of Records and Elections and Ex-Officio Recorder of Conveyances for said county, do hereby certify that the within instrument of writing was received and recorded in book of records

No. _____
of said County

Witness my hand and seal affixed.

ROGER THOMSEN, Director of
Records & Elections

INDEXED

Nov 16 8 42 AM '78

Deputy

1500
USA

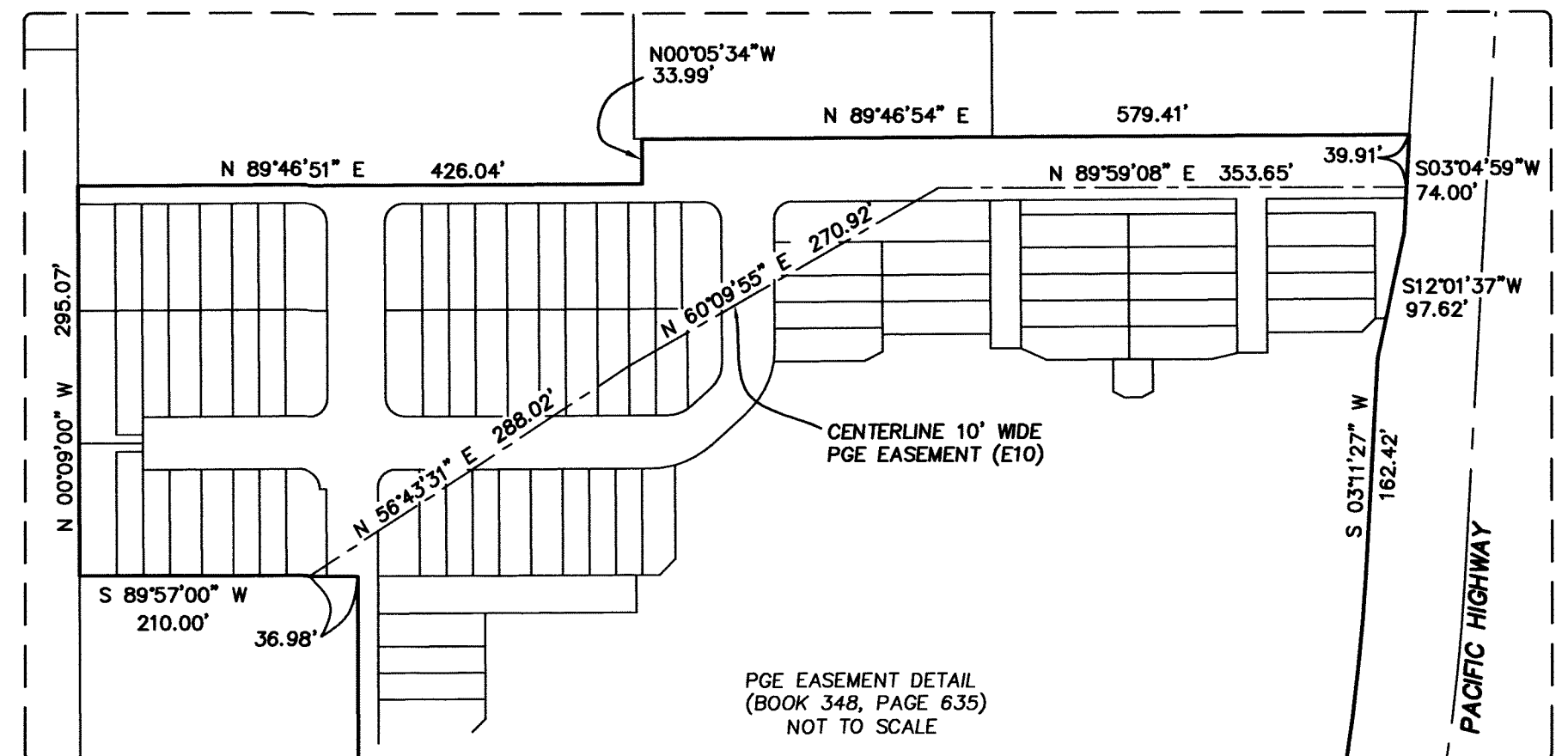
5

RIVER'S EDGE

LOCATED IN THE
S.W. 1/4 OF SEC. 15, T.2S., R.1W., W.M.
CITY OF KING CITY, WASHINGTON COUNTY OREGON

MAY 22, 2015

SCALE: 1" = 100'



LEGEND

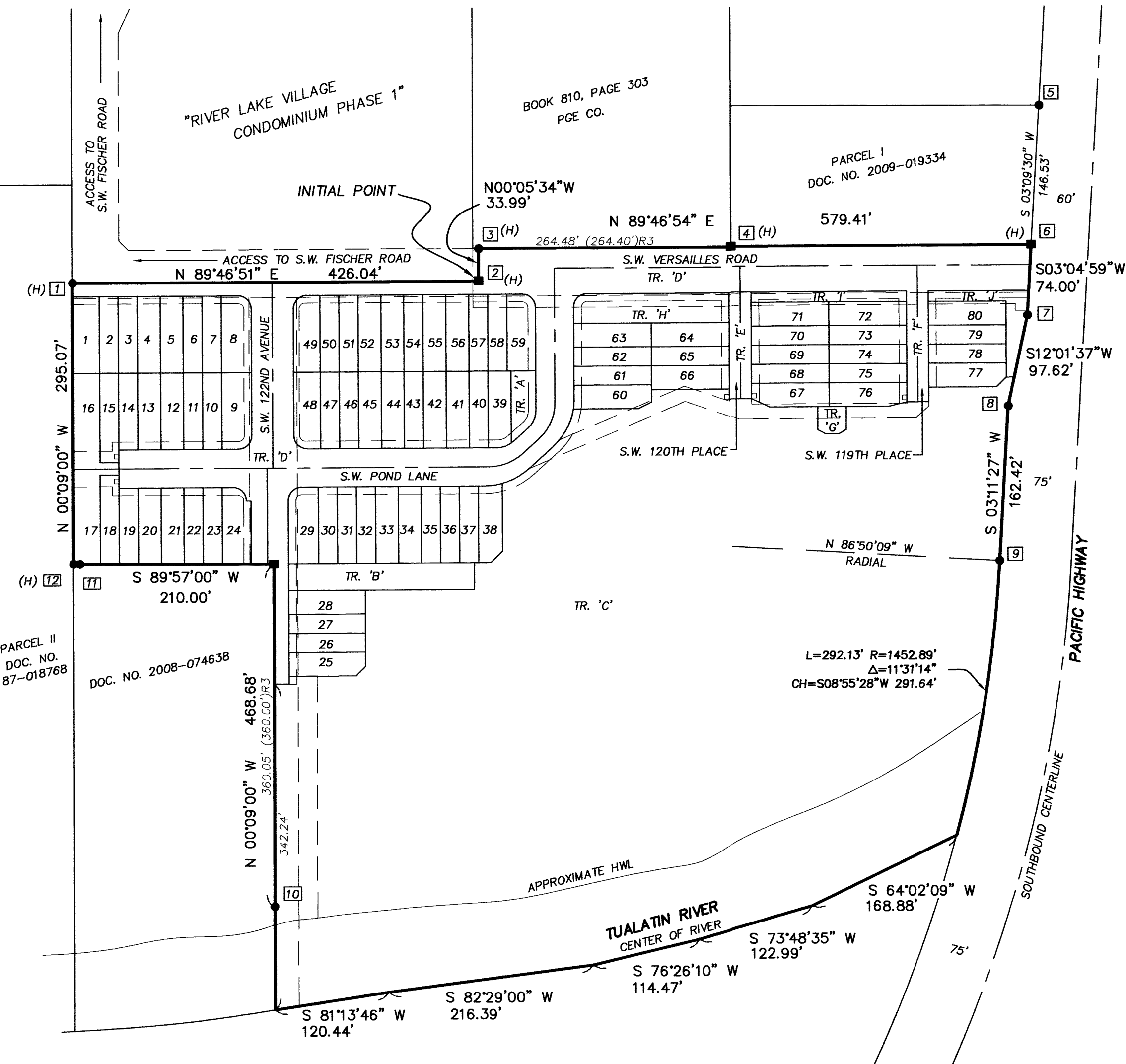
- DENOTES SET 5/8" X 30" IRON ROD WITH YPC MARKED "EMERIO DESIGN"
- DENOTES 5/8" X 30" IRON ROD WITH YPC MARKED "EMERIO DESIGN" TO BE POST-MONUMENTED. SET ON 10-14-15.
- FOUND MONUMENT AS NOTED IN MONUMENT REFERENCE TABLE
- R2 REFERENCE NUMBER
- (R2) RECORD OR CALCULATED DATA PER REFERENCE INDICATED
- (H) HELD MONUMENT POSITION
- IR IRON ROD
- IP IRON PIPE
- OPC ORANGE PLASTIC CAP
- YPC YELLOW PLASTIC CAP
- AC ALUMINUM CAP
- SN SURVEY NUMBER, WASHINGTON CO. SURVEY RECORDS
- [3] MONUMENT REFERENCE NUMBER
- HWL HIGH WATER LINE
- TR. TRACT
- DOC. NO. DOCUMENT NUMBER, WASHINGTON COUNTY DEED RECORDS
- E6 EXISTING EASEMENT NUMBER (SEE SHEET 5)

NOTE

1. THE BASIS OF BEARINGS AND BOUNDARY DETERMINATION ARE PER SN 30,147, WASHINGTON CO. SURVEY RECORDS.
2. MONUMENT FALLINGS AND DESCRIPTIONS ARE LISTED IN THE MONUMENT REFERENCE TABLE. MONUMENT FALLINGS ARE CARDINAL.

REFERENCES

- R1 SN 7308
- R2 SN 19,117
- R3 SN 30,147
- R4 SN 23,085
- R5 PLAT OF "RIVER LAKE VILLAGE CONDOMINIUM PHASE 1"



MONUMENT REFERENCE TABLE

- | | |
|------|---------------------------------------------------------------------------------------------------------------------------|
| [1] | FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", HELD, DOWN 0.5', SET IN R3 |
| [2] | FD. 5/8" IR WITH YPC MARKED "REPPETO LS 657", SET IN R2, DESTROYED IN CONSTRUCTION, RESET IN ORIGINAL POSITION AS SHOWN. |
| [3] | FD. 5/8" IR WITH YPC MARKED "REPPETO LS 657", HELD, DOWN 0.2', SET IN R2 |
| [4] | FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", SET IN R3, DESTROYED IN CONSTRUCTION, RESET IN ORIGINAL POSITION AS SHOWN. |
| [5] | FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", HELD, UP 0.2', SET IN R3 |
| [6] | FD. 5/8" IR, NO CAP, UP 0.5', SET IN R4, DESTROYED IN CONSTRUCTION RESET IN ORIGINAL POSITION AS SHOWN. |
| [7] | FD. 5/8" IR WITH YPC, ILLEGIBLE, 0.12'S, FLUSH, SET IN R2 |
| [8] | FD. 5/8" IR WITH YPC MARKED "REPPETO LS 657", 0.08'S, FLUSH, SET IN R2 |
| [9] | FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", 0.06'S, UP 0.2', SET IN R3 |
| [10] | FD. 5/8" IR WITH SMASHED YPC, ILLEGIBLE, 0.18'W OF LINE, FLUSH, SET IN R2 |
| [11] | FD. 3/4" IP, BENT, 0.04'N/0.28'E, UP 0.2', SET IN R7 |
| [12] | FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", HELD, UP 0.1', SET IN R3 |

SHEET INDEX

- SHEET 1 OVERALL BOUNDARY, LOT LAYOUT, FOUND MONUMENTS, STREET NAMES
- SHEET 2 WESTERLY PORTION, SET MONUMENTS, EASEMENTS, DETAIL
- SHEET 3 EASTERLY PORTION, SET MONUMENTS, EASEMENTS, DETAILS, CURVE DATA
- SHEET 4 DETAIL DRAWINGS, ACCESS EASEMENT TO S.W. FISCHER ROAD
- SHEET 5 SURVEYOR'S CERTIFICATE, DECLARATION, ACKNOWLEDGEMENT, PLAT NOTES, APPROVALS, EASEMENT LEGEND



8285 SW NIMBUS AVE, SUITE 180
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 639-9592
www.emeriodesign.com
JOB NO. 317-001

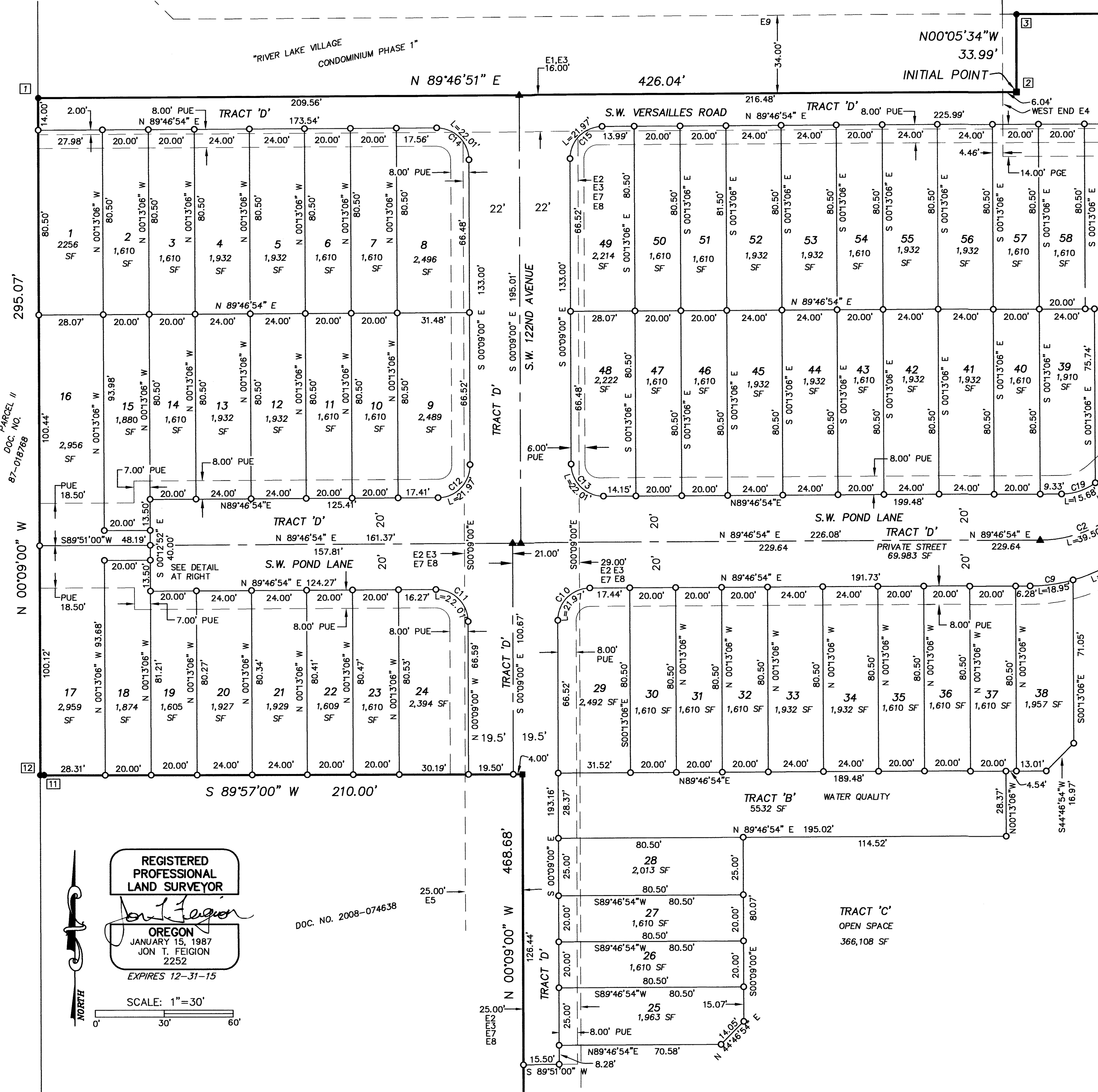
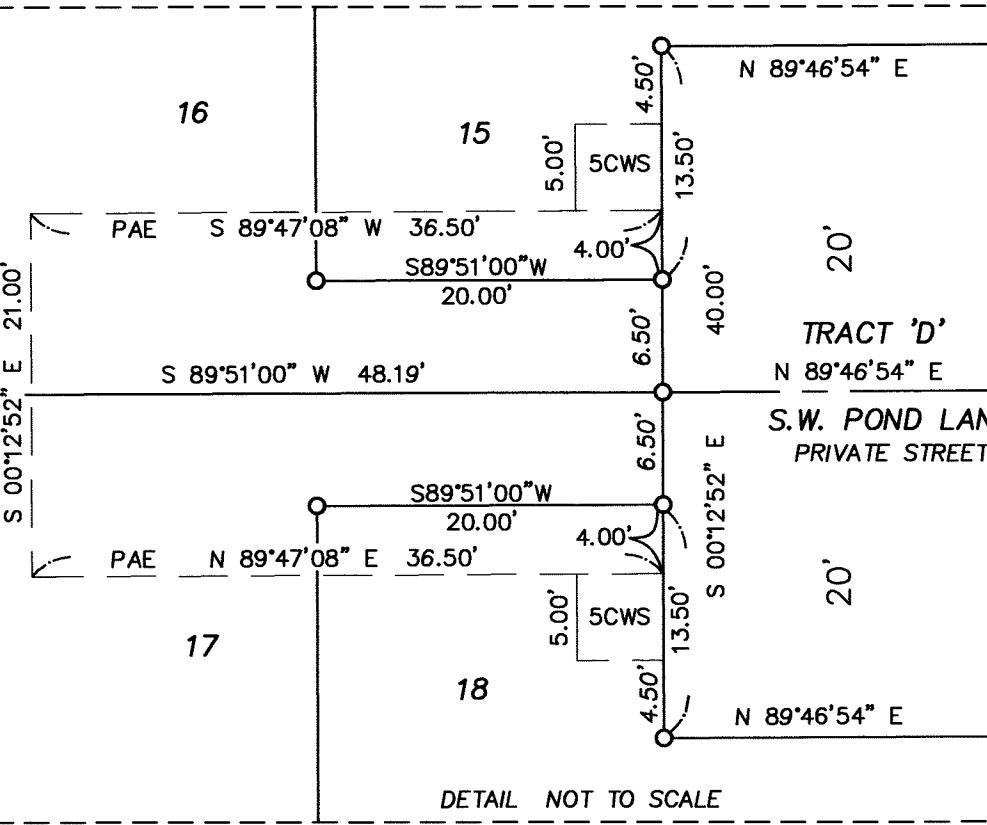
RIVER'S EDGE
LOCATED IN THE
S.W. 1/4 OF SEC. 15, T.2S., R.1W., W.M.
CITY OF KING CITY, WASHINGTON COUNTY
OREGON
MAY 22, 2015

LEGEND

- DENOTES SET 5/8" X 30" IRON ROD WITH YPC MARKED "EMERIO DESIGN"
- DENOTES 5/8" X 30" IRON ROD WITH YPC MARKED "EMERIO DESIGN" TO BE POST-MONUMENTED. SET ON 10-14-15
- ▲ DENOTES 5/8" X 30" IRON ROD WITH AC MARKED "EMERIO DESIGN" TO BE POST-MONUMENTED. SET ON 10-14-15
- FOUND MONUMENT AS NOTED IN MONUMENT REFERENCE TABLE
- AC ALUMINUM CAP
- YPC YELLOW PLASTIC CAP
- SF SQUARE FEET
- CWS CLEAN WATER SERVICES
- 5CWS 5.00' X 5.00' STORM SEWER EASEMENT TO CWS (90° ANGLES)
- PAE PRIVATE ACCESS EASEMENT TO BENEFIT LOTS 15, 16, 17, AND 18
- PUE PUBLIC UTILITY EASEMENT
- E6 EXISTING EASEMENT NUMBER (SEE SHEET 5)
- (H) HELD MONUMENT POSITION
- PGE ELECTRICAL EASEMENT TO PORTLAND GENERAL ELECTRIC COMPANY
- [3] MONUMENT REFERENCE NUMBER
- OPC ORANGE PLASTIC CAP
- IR IRON ROD
- IP IRON PIPE

MONUMENT REFERENCE TABLE

- [1] FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", HELD, DOWN 0.5', SET IN R3
- [2] FD. 5/8" IR WITH YPC MARKED "REPPETO LS 657", SET IN R2, DESTROYED IN CONSTRUCTION, RESET IN ORIGINAL POSITION AS SHOWN.
- [3] FD. 5/8" IR WITH YPC MARKED "REPPETO LS 657", HELD, DOWN 0.2', SET IN R2
- [17] FD. 3/4" IP, BENT, 0.04"N/0.28"E, UP 0.2', SET IN R7
- [12] FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", HELD, UP 0.1', SET IN R3



REGISTERED
PROFESSIONAL
LAND SURVEYOR
Jon T. Feigon
OREGON
JANUARY 15, 1987
JON T. FEIGON
2252
EXPIRES 12-31-15

SCALE: 1"=30'
0' 30' 60'

DOC. NO. 2008-074638

EMERIO
Design

8285 SW NIMBUS AVE, SUITE 180
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 639-9592
www.emeriodesign.com

LEGEND

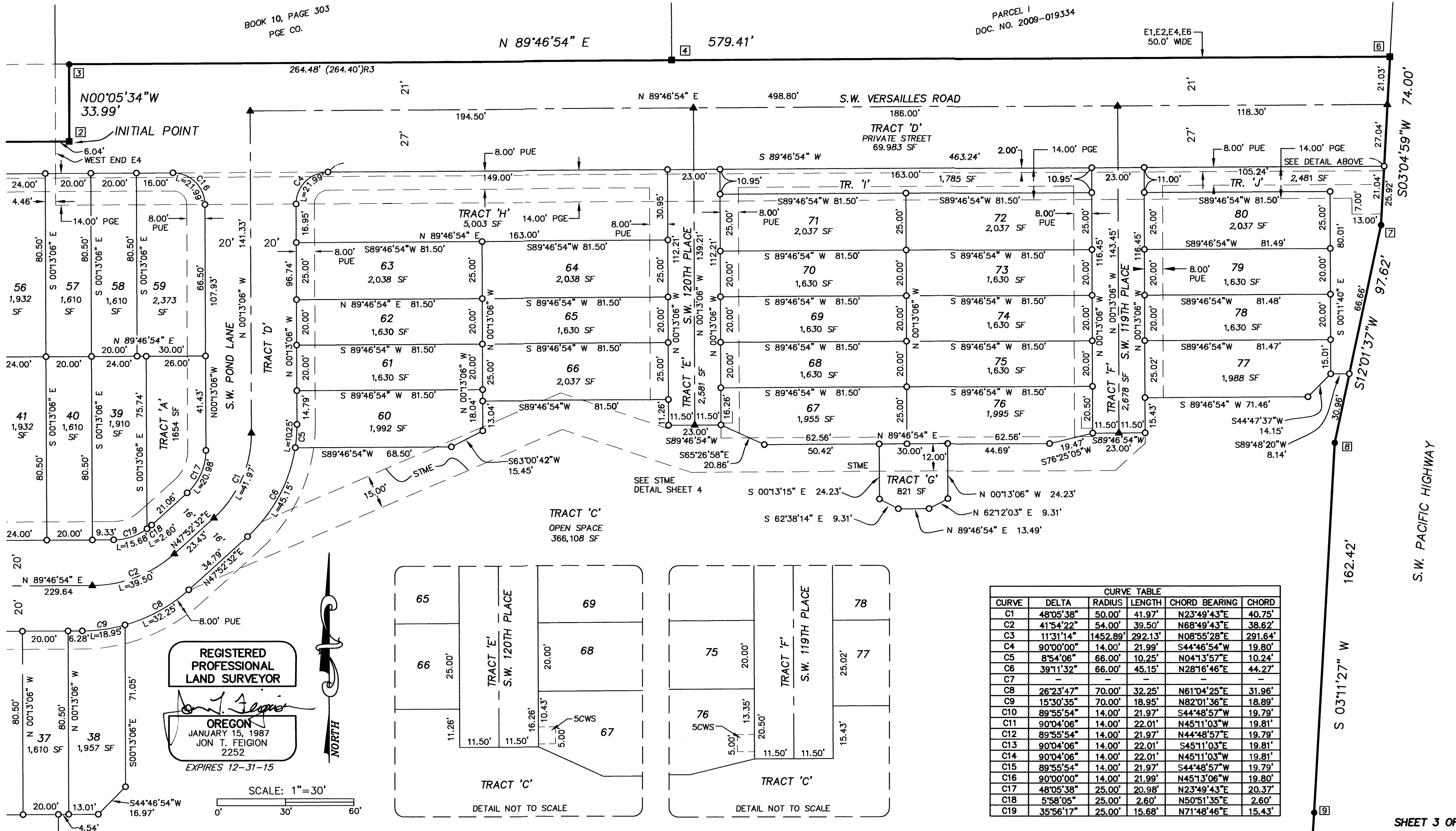
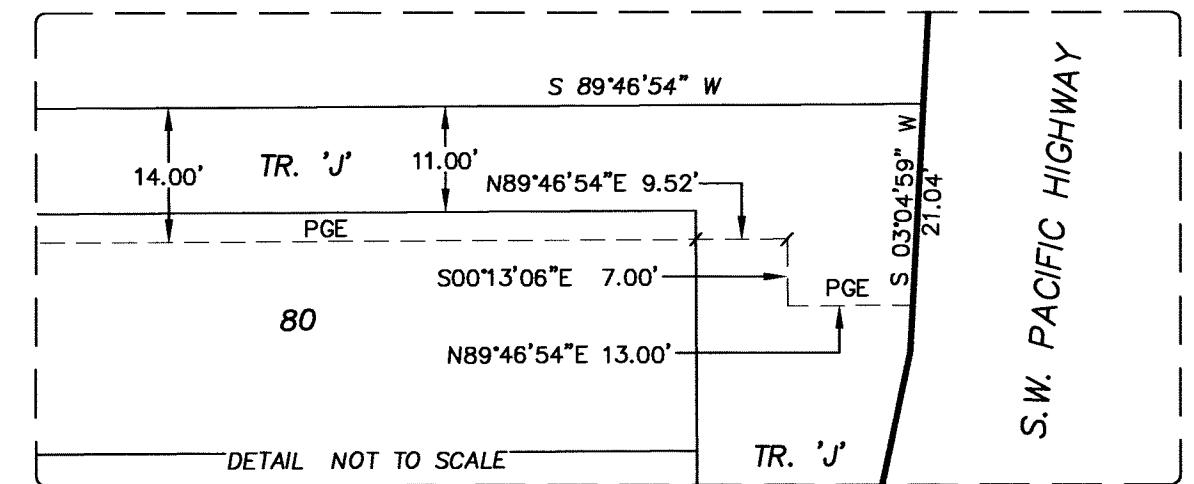
- DENOTES SET 5/8" X 30" IRON ROD WITH YPC MARKED "EMERIO DESIGN"
- DENOTES 5/8" X 30" IRON ROD WITH YPC MARKED "EMERIO DESIGN" TO BE POST-MONUMENTED. SET ON 10-14-15
- ▲ DENOTES 5/8" X 30" IRON ROD WITH AC MARKED "EMERIO DESIGN" TO BE POST-MONUMENTED. SET ON 10-14-15
- FOUND MONUMENT AS NOTED IN MONUMENT REFERENCE TABLE
- AC ALUMINUM CAP
- YPC YELLOW PLASTIC CAP
- SF SQUARE FEET
- CWS CLEAN WATER SERVICES
- SCWS 5.00' X 5.00' STORM SEWER EASEMENT TO CWS (90° ANGLES)
- STME STORM SEWER EASEMENT TO CWS
- PAE PRIVATE ACCESS EASEMENT TO BENEFIT LOTS 15, 16, 17, AND 18
- PUE PUBLIC UTILITY EASEMENT
- E6 EXISTING EASEMENT NUMBER (SEE SHEET 5)
- (H) HELD MONUMENT POSITION
- PGE ELECTRICAL EASEMENT TO PORTLAND GENERAL ELECTRIC COMPANY
- [3] MONUMENT REFERENCE NUMBER
- OPC ORANGE PLASTIC CAP
- IR IRON ROD
- IP IRON PIPE

RIVER'S EDGE LOCATED IN THE S.W. 1/4 OF SEC. 15, T.2S., R.1W., W.M. CITY OF KING CITY, WASHINGTON COUNTY OREGON MAY 22, 2015

RECORDED AS DOCUMENT NO. 2015-060783

MONUMENT REFERENCE TABLE

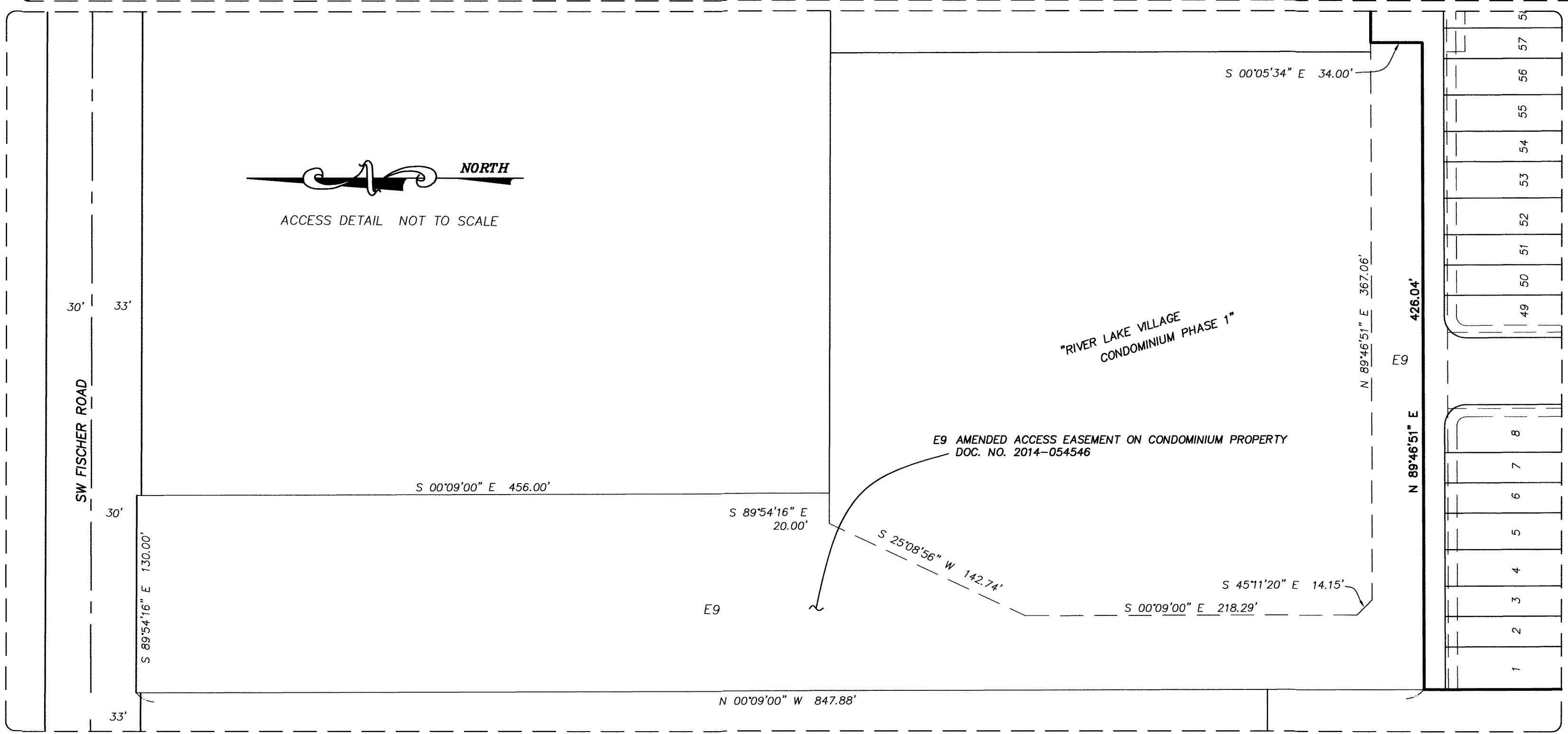
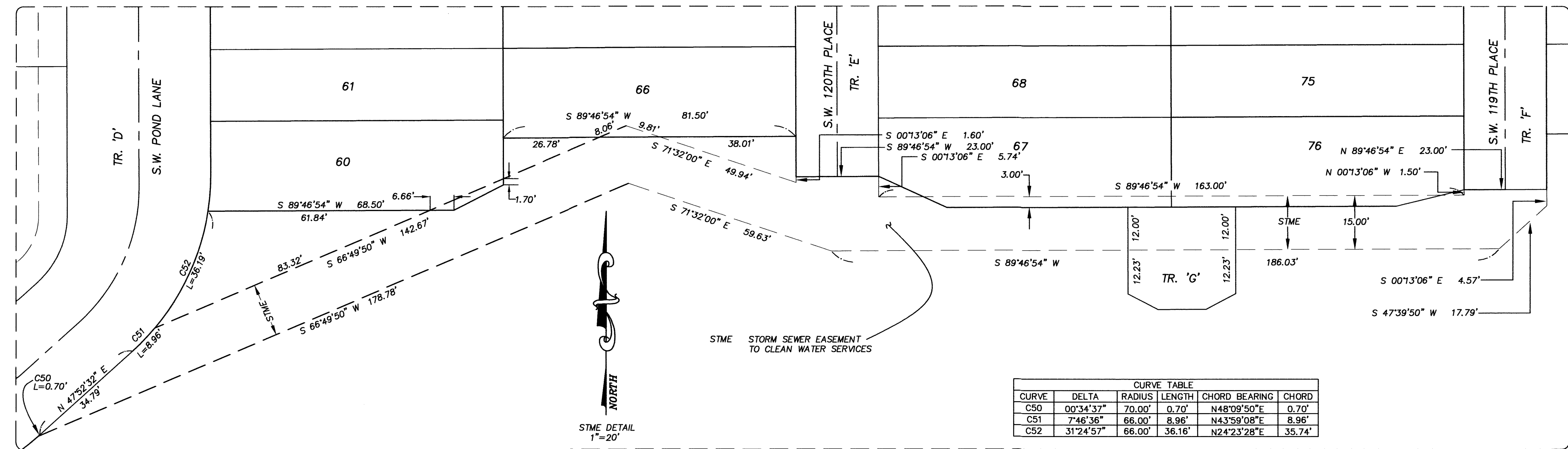
- [2] FD. 5/8" IR WITH YPC MARKED "REPPETO LS 657", SET IN R2, DESTROYED IN CONSTRUCTION, RESET IN ORIGINAL POSITION AS SHOWN.
- [3] FD. 5/8" IR WITH YPC MARKED "REPPETO LS 657", HELD, DOWN 0.2', SET IN R2
- [4] FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", SET IN R3, DESTROYED IN CONSTRUCTION, RESET IN ORIGINAL POSITION AS SHOWN.
- [6] FD. 5/8" IR, NO CAP, UP 0.5', SET IN R4, DESTROYED IN CONSTRUCTION RESET IN ORIGINAL POSITION AS SHOWN.
- [7] FD. 5/8" IR WITH YPC, ILLEGIBLE, 0.12'S, FLUSH, SET IN R2
- [8] FD. 5/8" IR WITH YPC MARKED "REPPETO LS 657", 0.08'S, FLUSH, SET IN R2
- [9] FD. 5/8" IR WITH OPC MARKED "ALPHA COM. DEV.", 0.06'S, UP 0.2', SET IN R3



CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	48°05'38"	50.00'	41.97'	N23°49'43"E	40.75'
C2	41°54'22"	54.00'	39.50'	N68°49'43"E	38.62'
C3	11°31'14"	1452.89'	292.13'	N08°55'28"E	291.64'
C4	90°00'00"	14.00'	21.99'	S44°46'54"W	19.80'
C5	8°54'06"	66.00'	10.25'	N04°13'57"E	10.24'
C6	39°11'32"	66.00'	45.15'	N28°16'46"E	44.27'
C7	-	-	-	-	-
C8	26°23'47"	70.00'	32.25'	N61°04'25"E	31.96'
C9	15°30'35"	70.00'	18.95'	N82°01'36"E	18.89'
C10	89°55'54"	14.00'	21.97'	S44°48'57"W	19.79'
C11	90°04'06"	14.00'	22.01'	N45°11'03"W	19.81'
C12	89°55'54"	14.00'	21.97'	N44°48'57"E	19.79'
C13	90°04'06"	14.00'	22.01'	S45°11'03"E	19.81'
C14	90°04'06"	14.00'	22.01'	N45°11'03"W	19.81'
C15	89°55'54"	14.00'	21.97'	S44°48'57"W	19.79'
C16	90°00'00"	14.00'	21.99'	N45°13'06"W	19.80'
C17	48°05'38"	25.00'	20.98'	N23°49'43"E	20.37'
C18	5°58'05"	25.00'	2.60'	N50°51'35"E	2.60'
C19	35°56'17"	25.00'	15.68'	N71°48'46"E	15.43'

RIVER'S EDGE
 LOCATED IN THE
 S.W. 1/4 OF SEC. 15, T.2S., R.1W., W.M.
 CITY OF KING CITY, WASHINGTON COUNTY OREGON
 MAY 22, 2015

RECORDED AS DOCUMENT NO. 2015-060783



EMERIO
Design

8285 SW NIMBUS AVE, SUITE 180
 BEAVERTON, OREGON 97008
 TEL: (503) 746-8812
 FAX: (503) 639-9592
 www.emeriodesign.com

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

Jon T. Feigion

OREGON
 JANUARY 15, 1987
 JON T. FEIGION
 2252
 EXPIRES 12-31-15

RIVER'S EDGE

LOCATED IN THE

S.W. 1/4 OF SEC. 15, T.2S., R.1W., W.M.
CITY OF KING CITY, WASHINGTON COUNTY OREGON

MAY 22, 2015

SURVEYOR'S CERTIFICATE

I, JON T. FEIGION, CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS THE LANDS REPRESENTED ON THE PLAT OF "RIVER'S EDGE", BEING LOCATED IN THE SW 1/4 OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF KING CITY, WASHINGTON COUNTY, OREGON, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INITIAL POINT WHERE I SET A 5/8" IRON ROD WITH YELLOW PLASTIC CAP MARKED "EMERIO DESIGN" AT THE SOUTHEAST CORNER OF THE PLAT OF "RIVER LAKE VILLAGE CONDOMINIUM PHASE 1"; THENCE ALONG THE EAST LINE OF SAID PLAT, NORTH 00°05'34" WEST, 33.99 FEET TO THE SOUTH LINE OF THAT TRACT OF LAND CONVEYED TO PORTLAND GENERAL ELECTRIC COMPANY BY DEED RECORDED AS BOOK 810, PAGE 303, WASHINGTON COUNTY DEED RECORDS; THENCE ALONG SAID SOUTH LINE AND THE SOUTH LINE OF PARCEL I AS DESCRIBED IN SAID DOCUMENT NO. 2009-019334, NORTH 89°46'54" EAST, 579.41 FEET TO THE WEST RIGHT OF WAY LINE OF SW PACIFIC HIGHWAY (STATE HIGHWAY 99-W); THENCE ALONG SAID WEST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES:

SOUTH 03°04'59" WEST, 74.00 FEET; SOUTH 12°01'37" WEST, 97.62 FEET; SOUTH 03°11'27" WEST, 162.42 FEET TO A POINT OF CURVATURE; AND 292.13 FEET ALONG THE ARC OF A NONTANGENT 1452.89 FOOT RADIUS CURVE TO THE RIGHT (THE RADIUS POINT OF WHICH BEARS NORTH 86°50'09" WEST) THROUGH A CENTRAL ANGLE OF 11°31'14" (THE CHORD BEARS SOUTH 08°55'28" WEST, 291.64 FEET) TO THE CENTER OF THE TUALATIN RIVER; THENCE ALONG THE CENTER OF THE TUALATIN RIVER THE FOLLOWING FIVE COURSES;

SOUTH 64°02'09" WEST, 168.88 FEET; SOUTH 73°48'35" WEST, 122.99 FEET; SOUTH 76°26'10" WEST, 114.47 FEET; SOUTH 82°29'00" WEST, 216.39 FEET; AND SOUTH 81°13'46" WEST, 120.44 FEET TO THE EAST LINE OF THAT TRACT OF LAND CONVEYED BY DEED TO THE TANNER FAMILY, LLC BY DEED RECORDED AS DOCUMENT NO. 2008-074638;

THENCE ALONG SAID EAST LINE, NORTH 00°09'00" WEST, 468.68 FEET TO THE NORTHEAST ORNER OF SAID TANNER FAMILY TRACT; THENCE ALONG THE NORTH LINE OF SAID TANNER FAMILY TRACT, SOUTH 89°57'00" WEST, 210.00 FEET TO THE EAST LINE OF PARCEL II OF THAT TRACT OF LAND CONVEYED BY DEED TO BRAND-BROADWAY ASSOCIATES BY DEED RECORDED AS DOCUMENT NO. 87-018768; THENCE ALONG SAID EAST LINE NORTH 00°09'00" WEST, 295.07 FEET TO THE SOUTH LINE OF "RIVER LAKE VILLAGE CONDOMINIUM PHASE I"; THENCE ALONG SAID SOUTH LINE, NORTH 89°46'51" EAST, 426.04 FEET TO THE INITIAL POINT.

CONTAINING 13.95 ACRES, MORE OR LESS.

AS PER O.R.S. 92.07 (PAR 2), I ALSO CERTIFY THAT THE POST MONUMENTATION OF THE REMAINING CORNERS IN THIS SUBDIVISION WILL BE ACCOMPLISHED WITHIN 90 CALENDAR DAYS FOLLOWING THE COMPLETION OF PAVING IMPROVEMENTS OR ONE YEAR FOLLOWING THE ORIGINAL PLAT RECORDATION, WHICHEVER COMES FIRST, IN ACCORDANCE WITH O.R.S. 92.060.

DECLARATION

KNOW ALL PEOPLE BY THESE PRESENTS THAT D.R. HORTON, INC.-PORTLAND, A DELAWARE CORPORATION, IS THE OWNER OF THE LAND DESCRIBED IN THE ACCOMPANYING SURVEYOR'S CERTIFICATE AND AS SHOWN ON THE ANNEXED MAP, AND HAS CAUSED THE SUBDIVISION TO BE PREPARED IN ACCORDANCE WITH O.R.S. CHAPTER 92, AND DOES HEREBY GRANT ALL EASEMENTS AS SHOWN OR NOTED. TRACTS A, B, C, D, E, F, G, H, I, AND J ARE HEREBY CONVEYED TO THE "ASSOCIATION OF OWNERS AT RIVERS EDGE".

D.R. HORTON, INC.-PORTLAND, A DELAWARE CORPORATION

BY: Scott Clark
SCOTT CLARK, DIVISION PRESIDENT

ACKNOWLEDGEMENT

STATE OF OREGON)
)SS
COUNTY OF WASHINGTON)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON MAY 29, 2015 BY
SCOTT CLARK, AS DIVISION PRESIDENT OF D.R. HORTON, INC.-PORTLAND, A DELAWARE CORPORATION.

Kristi L. Hosea
NOTARY SIGNATURE

KRISTI L. HOSEA
NOTARY PUBLIC-OREGON

COMMISSION NO. 928071

MY COMMISSION EXPIRES: APRIL 30, 2018

PLAT NOTES

1. THE BASIS OF BEARINGS AND BOUNDARY DETERMINATION ARE PER SN 30,147 WASHINGTON COUNTY SURVEY RECORDS.

2. THIS PLAT IS SUBJECT TO THE CONDITIONS OF APPROVAL IMPOSED BY THE CITY OF KING CITY IN PLANNING FILE NO. 14-02.

3. TRACT 'D' IS A PRIVATE STREET AND IS SUBJECT TO A PUBLIC UTILITY EASEMENT OVER ITS ENTIRETY AND AN ACCESS EASEMENT TO CWS OVER ITS ENTIRETY. TRACT 'D' IS SUBJECT TO AN ACCESS EASEMENT OVER ITS ENTIRETY FOR THE BENEFIT OF TRACTS A THROUGH C, TRACTS E THROUGH J, LOTS 1 THROUGH 80, AND THE OWNERS, SUCCESSORS, AND ASSIGNS OF THAT TRACT OF LAND DESCRIBED IN DOCUMENT NO. 2008-074638.

4. TRACTS A THROUGH J SHALL BE OWNED AND MAINTAINED BY THE "ASSOCIATION OF OWNERS AT RIVERS EDGE".

5. TRACTS A, G, H, I, AND J ARE OPEN SPACE TRACTS.

6. TRACT G IS SUBJECT TO A 12.00 FOOT WIDE STORM SEWER EASEMENT AS SHOWN ON SHEET 3 FOR THE BENEFIT OF CLEAN WATER SERVICES.

7. TRACTS B AND C ARE SUBJECT TO STORM SEWER, SURFACE WATER, DRAINAGE AND DETENTION EASEMENTS OVER THEIR ENTIRETIES FOR THE BENEFIT OF CLEAN WATER SERVICES.

8. TRACTS D, E, AND F ARE SUBJECT TO SANITARY SEWER AND STORM SEWER EASEMENTS OVER THEIR ENTIRETIES FOR THE BENEFIT OF CLEAN WATER SERVICES.

9. TRACTS E AND F ARE SUBJECT TO PUBLIC UTILITY EASEMENTS OVER THEIR ENTIRETIES.

10. TRACT E IS SUBJECT TO AN ACCESS EASEMENT OVER ITS ENTIRETY FOR THE BENEFIT OF LOTS 64-71.

11. TRACT F IS SUBJECT TO AN ACCESS EASEMENT OVER ITS ENTIRETY FOR THE BENEFIT OF LOTS 72-80.

12. THIS PLAT IS SUBJECT TO CONDITIONS, COVENANTS AND RESTRICTIONS RECORDED AS DOCUMENT NO. 2015-060784, WASHINGTON COUNTY DEED RECORDS.

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JANUARY 15, 1987
JON T. FEIGION
2252

EXPIRES 12-31-15

EASEMENT LEGEND

- E1 PRIVATE RIGHT OF WAY AND UTILITY EASEMENT
BOOK 426, PAGE 783
(50' WIDE FROM WEST BOUNDARY TO HIGHWAY)
- E2 PRIVATE RIGHT OF WAY AND UTILITY EASEMENT
BOOK 651, PAGE 286, 287 (2 X 25' WIDE)
- E3 PRIVATE RIGHT OF WAY AND UTILITY EASEMENT
BOOK 654, PAGE 277 (2 X 25' WIDE)
ALSO INCLUDES 50' WIDE EAST TO HIGHWAY
- E4 PGE EASEMENT FOR TRANSMISSION LINES
BOOK 810, PAGE 304 (50' WIDE)
- E5 SEWER EASEMENT TO USA (25' WIDE)
DOC. NO. 78-043412 BENEFITS
- E6 SEWER EASEMENT TO USA (50' WIDE)
DOC. NO. 78-043413
- E7 SEWER EASEMENT TO USA (25' WIDE)
DOC. NO. 78-043414
- E8 STORM AND SURFACE WATER DRAINAGE EASEMENT TO USA (25' WIDE)
DOC. NO. 98-128213
- E9 AMENDED ACCESS EASEMENT ON CONDOMINIUM PROPERTY
DOC. NO. 2014-054546
- E10 ELECTRIC TRANSMISSION LINE EASEMENT TO PGE
BOOK 348, PAGE 635

USA = UNIFIED SEWERAGE AGENCY

REMAINING CORNER MONUMENTATION

IN ACCORDANCE WITH O.R.S. 92.070, THE REMAINING CORNERS OF THIS SUBDIVISION HAVE BEEN CORRECTLY SET WITH PROPER MONUMENTS. AN AFFIDAVIT HAS BEEN PREPARED REGARDING THE SETTING OF SAID MONUMENTS, AND IS RECORDED IN DOCUMENT NO. 2015-103147, WASHINGTON COUNTY DEED RECORDS.

APPROVED THIS 18th DAY OF Dec, 2015

Jon T. Feigion
WASHINGTON COUNTY SURVEYOR

CITY OF KING CITY APPROVAL

APPROVED THIS 16 DAY OF July, 2015.
PLANNING DEPARTMENT, CITY OF KING CITY

BY: Janet Weller
CITY MANAGER

APPROVED THIS 2nd DAY OF JUNE, 2015.
ENGINEERING DEPARTMENT, CITY OF KING CITY

BY: Jon T. Feigion
CITY ENGINEER

WASHINGTON COUNTY APPROVALS

APPROVED THIS 21st DAY OF July, 2015
WASHINGTON COUNTY SURVEYOR

BY: Jon T. Feigion

ALL TAXES, FEES, ASSESSMENTS OR OTHER CHARGES AS PROVIDED BY O.R.S. 92.095
HAVE BEEN PAID AS OF THIS 21st DAY OF JULY, 2015.

DIRECTOR OF ASSESSMENT AND TAXATION
(WASHINGTON COUNTY ASSESSOR)

BY: Carla
DEPUTY

APPROVED THIS 21st DAY OF July, 2015
WASHINGTON COUNTY BOARD OF COMMISSIONERS

BY: Jon T. Feigion County Surveyor

ATTEST THIS 21 DAY OF July, 2015
DIRECTOR OF ASSESSMENT AND TAXATION
EX-OFFICIO COUNTY CLERK

BY: Jon T. Feigion
DEPUTY

STATE OF OREGON)
)SS
COUNTY OF WASHINGTON)

I DO HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS RECEIVED

FOR RECORD ON THIS 21 DAY OF July, 2015

AT 2:40 O'CLOCK P M, AND RECORDED IN THE COUNTY
CLERK RECORDS.

Jon T. Feigion
DEPUTY COUNTY CLERK

EMERIO
Design

8285 SW NIMBUS AVE, SUITE 180
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 639-9592
www.emeriodesign.com
JOB NO. 317-001

After recording:

Jon T. Feigion
Emerio Design, Inc.
8285 SW Nimbus Avenue, Suite 180
Beaverton, OR 97008



02115923201501031470030030

I, Richard Hobernicht, Director of Assessment and Taxation and Ex-Officio County Clerk for Washington County, Oregon, do hereby certify that the within instrument of writing was received and recorded in the book of records of said county.

Richard Hobernicht, Director of Assessment and Taxation, Ex-Officio County Clerk



REMAINING MONUMENTATION AFFIDAVIT

I, Jon T. Feigion, P.L.S. No. 2252, being duly sworn, did say that I am the surveyor who completed the remaining monumentation for the plat of "River's Edge", recorded as Document No. 2015-060783, Washington County Records. In accordance with O.R.S. 92.070, the subdivision plat has been correctly surveyed and marked with proper monuments at the remaining corners of the subdivision as noted on the original subdivision plat. The monuments were set on October 14, 2015.

The following changes were necessary and are as follows:

(SEE ATTACHED EXHIBIT "A")



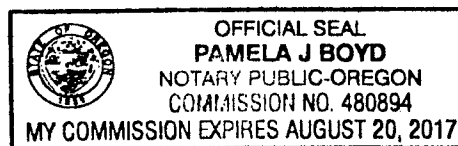
Jon T. Feigion, PLS 2252
Emerio Design
8285 SW Nimbus Avenue, Suite 180
Beaverton, OR 97008

NOTARY CERTIFICATE

STATE OF OREGON)
)SS
COUNTY OF WASHINGTON)

Signed and sworn to before me on this 11th day of December, 2015, by Jon T. Feigion.

Pamela Boyd
Notary Public for the State of Oregon



COUNTY SURVEYOR APPROVAL

Approved this 17th day of December, 2015, in accordance with ORS 92.070

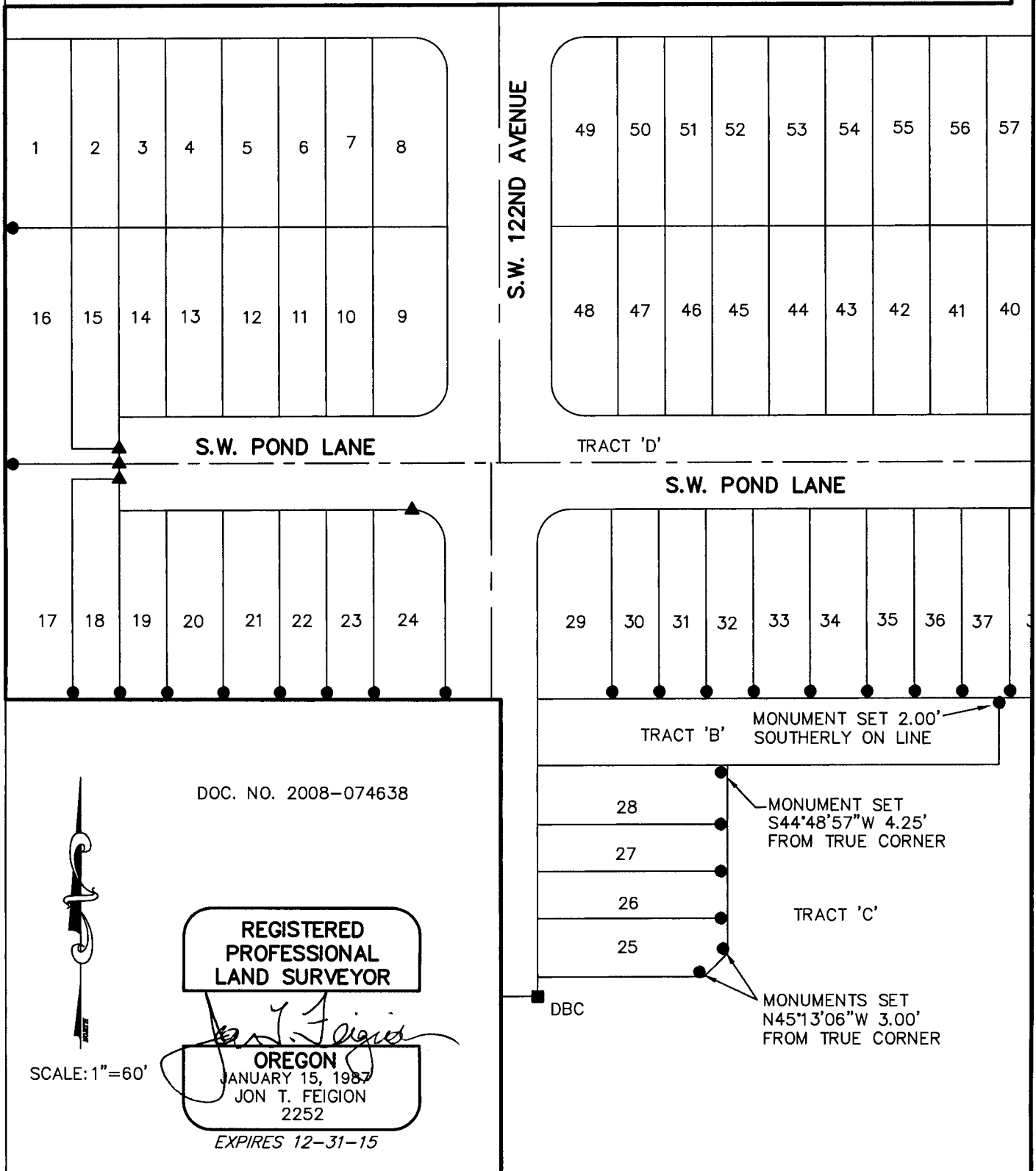
James H. Elam
James H. Elam, PLS
Washington County Surveyor

RIVER'S EDGE

LOCATED IN THE

S.W. 1/4 OF SEC. 15, T.2S., R.1W., W.M.
CITY OF KING CITY, WASHINGTON COUNTY OREGON

"RIVER LAKE VILLAGE CONDOMINIUM PHASE 1"



LEGEND

DBC DESTROYED BY CONSTRUCTION RESET AS SHOWN

- DENOTES 5/8" X 30" IRON ROD WITH ALUMINUM CAP MARKED "EMERIO DESIGN"
- DENOTES 5/8" X 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "EMERIO DESIGN"
SET ON LINE 3.00 FEET FROM TRUE CORNER UNLESS OTHERWISE NOTED
- ▲ DENOTES 1-1/8" COPPER DISK MARKED "EMERIO DESIGN"

DRAWN BY: JTF

JOB NO.: 317-001

SCALE: 1" = 60'

DATE: 12-10-15

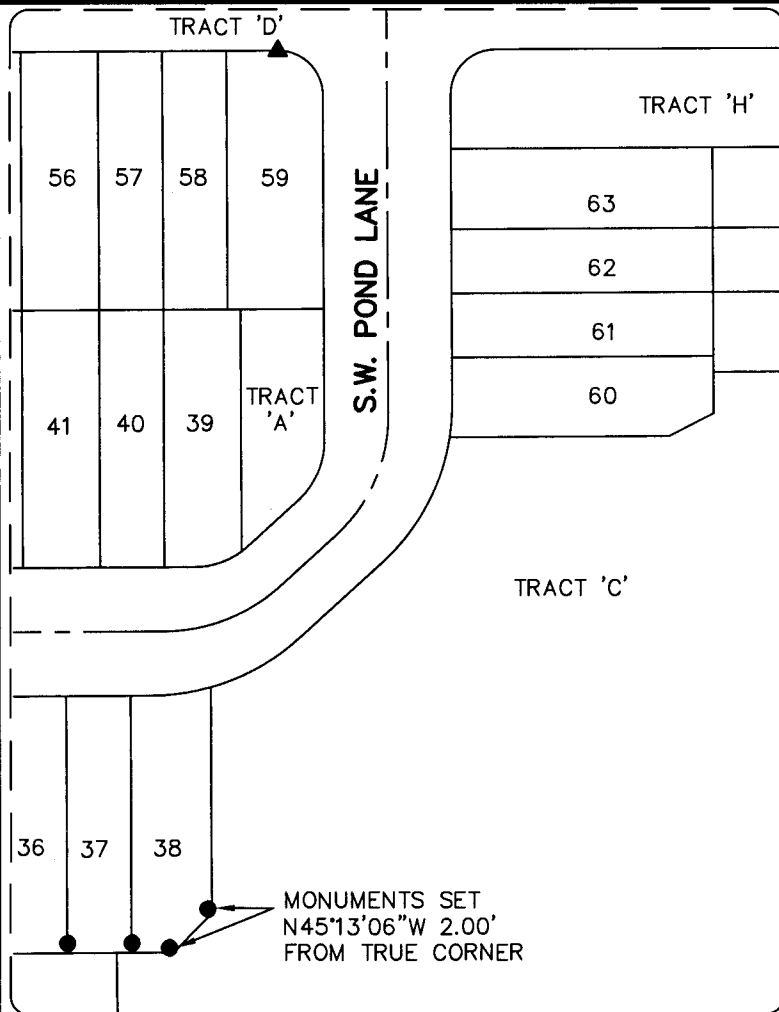
RIVER'S EDGE PLAT

AFFIDAVIT

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Design8285 SW NIMBUS AVE, SUITE 180
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RIVER'S EDGE

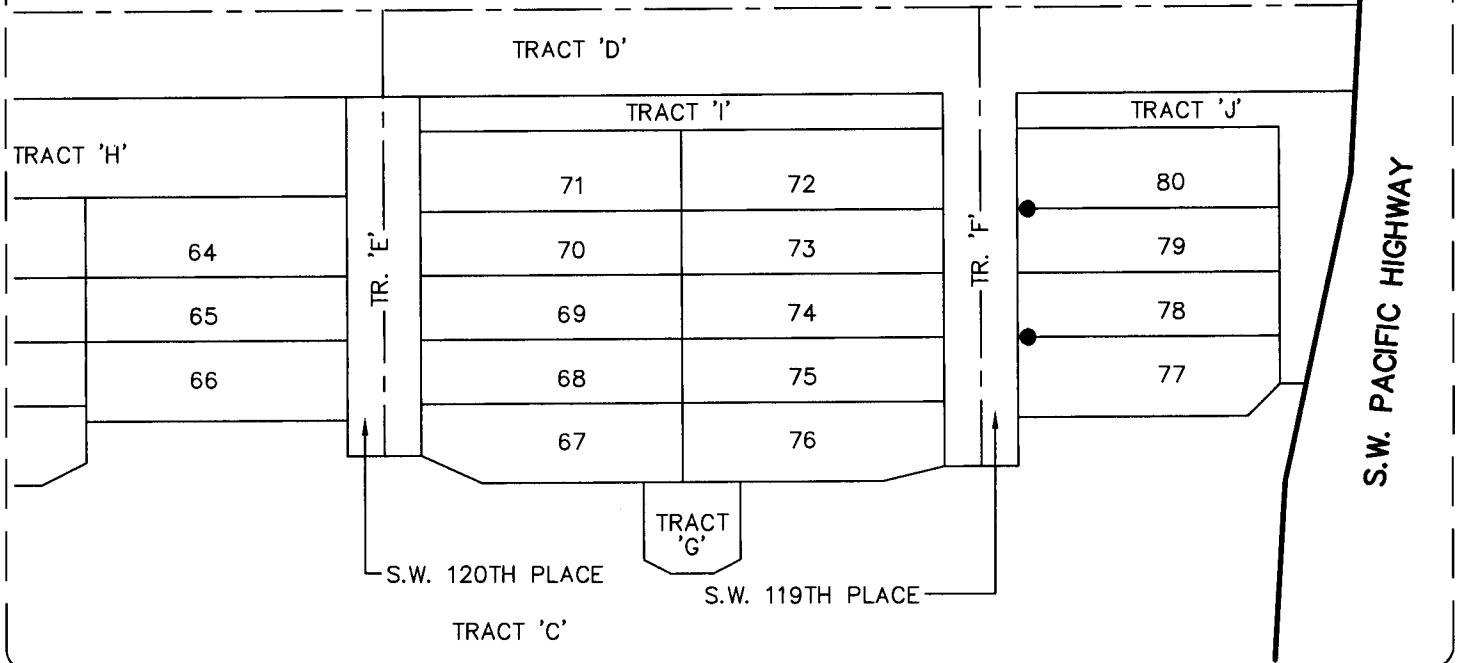
LOCATED IN THE

S.W. 1/4 OF SEC. 15, T.2S., R.1W., W.M.
CITY OF KING CITY, WASHINGTON COUNTY OREGONREGISTERED
PROFESSIONAL
LAND SURVEYOROREGON
JANUARY 15, 1987
JON T. FEIGION
2252

EXPIRES 12-31-15

SCALE: 1"=60'

S.W. VERSAILLES ROAD



LEGEND

DBC DESTROYED BY CONSTRUCTION, RESET IN ORIGINAL POSITION AS SHOWN

- DENOTES 5/8" X 30" IRON ROD WITH ALUMINUM CAP MARKED "EMERIO DESIGN"
- DENOTES 5/8" X 30" IRON ROD WITH YELLOW PLASTIC CAP MARKED "EMERIO DESIGN"
SET ON LINE 3.00 FEET FROM TRUE CORNER UNLESS OTHERWISE NOTED
- ▲ DENOTES 1-1/8" COPPER DISK MARKED "EMERIO DESIGN"

DRAWN BY: JTF

JOB NO.: 317-001

SCALE: 1" = 60'

DATE: 12-10-15

RIVER'S EDGE PLAT

AFFIDAVIT

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REQUEST FOR COMMENTS

The King City Planning Commission, at its meeting on April 11, 2018 at 9:30 a.m., shall conduct a public hearing to consider the following land use application

FILE TITLE

Case No. 18-01
Floodplain and Drainage Hazard Area Review

APPLICANT

Natalie Warner
David Evans and Assoc.
2100 SW River Parkway, Suite 100
Portland, OR 97201

Wade Denny
Clean Water Services
Engineering division
2550 SW Hillsboro Hwy.
Hillsboro, OR 97123

ZONING

R-24 (Multi-family Residential) Zone

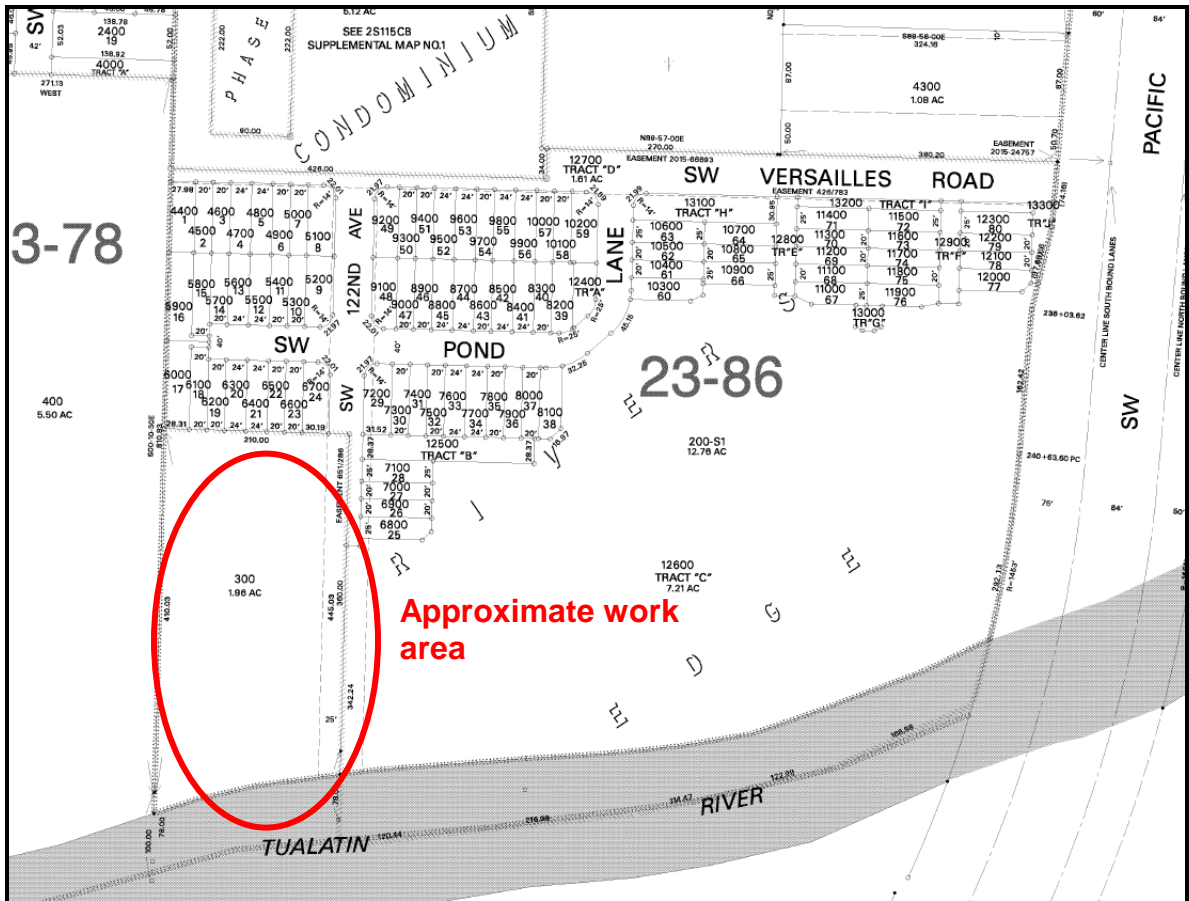
REQUEST

Floodplain review approval to replace portions of the existing Tualatin sanitary sewer interceptor and siphon. The improvements are to include: sanitary sewer pipeline, associated siphon structures, manholes, mainline connections, service lateral connections, and surface restoration along the approximate alignment of the existing Upper Tualatin sewer interceptor pipeline.

LOCATION

17219 SW Pacific Highway (off the southern terminus of SW 12nd Avenue). Assessors Map No. 2S1 16CB, Tax Lots 300 and 12600). See map.

Parcel Map



Please submit comments by March 29, 2018 to:

Michael Weston, City Manager
City of King City
15300 SW 116th Avenue
King City, OR 97224
503.639.4082
mweston@ci.king-city.or.us

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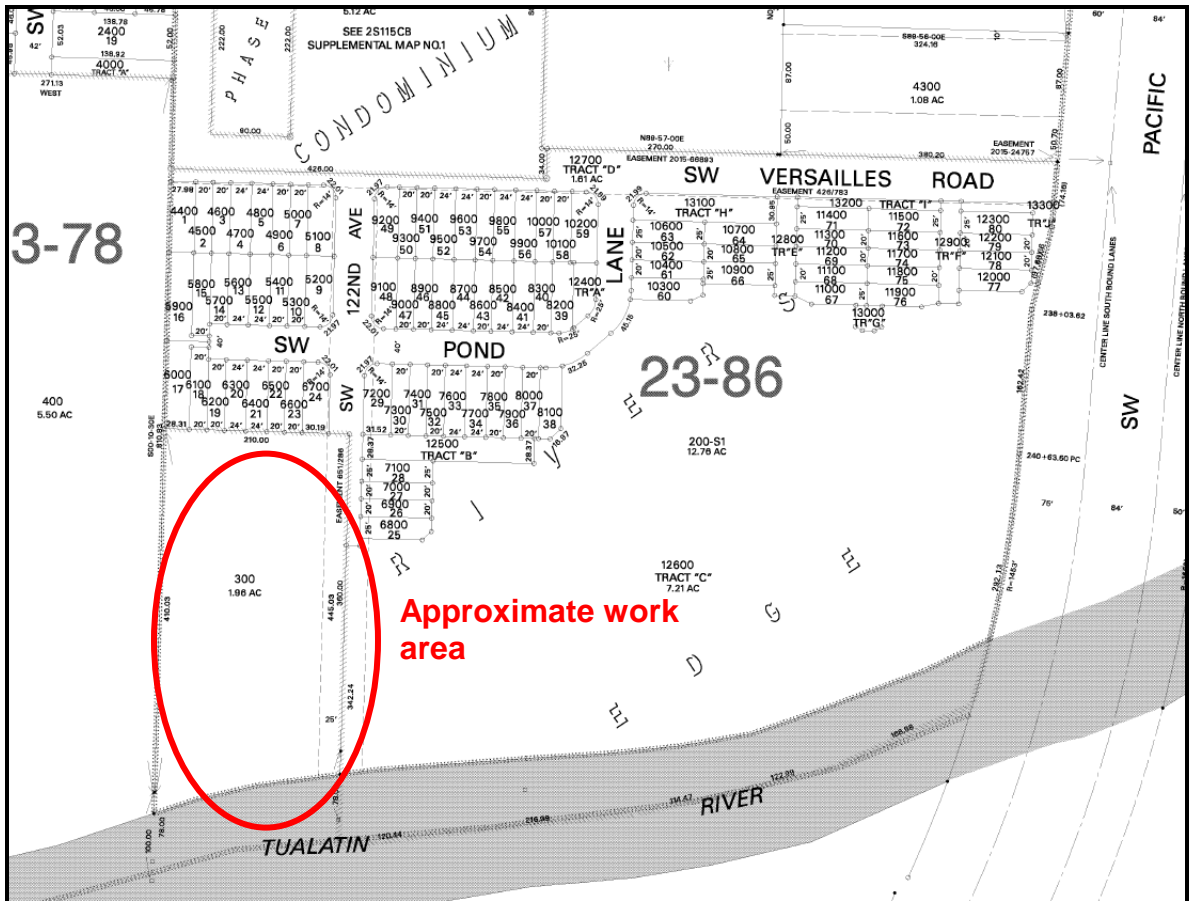
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Parcel Map



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Michael Weston, City Manager
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15300 SW 116th Avenue
King City, OR 97224
503.639.4082
mweston@ci.king-city.or.us

TVF&R
C/O Station 35
11945 SW 70th Ave.
Tigard, OR 97223-8566

Washington County
1400 SW Walnut Street,
Hillsboro, OR 97123-5625

Jeff Fuchs, PE
Public Works Director/City Engineer
18880 SW Martinazzi Ave,
Tualatin OR 97062

**Administration Building Complex
(ABC)**
2550 SW Hillsboro Hwy.
Hillsboro, Oregon 97123

NOTICE OF PUBLIC HEARING

The King City Planning Commission, at its meeting on April 11, 2018 at 9:30 a.m., shall conduct a public hearing to consider the following land use application

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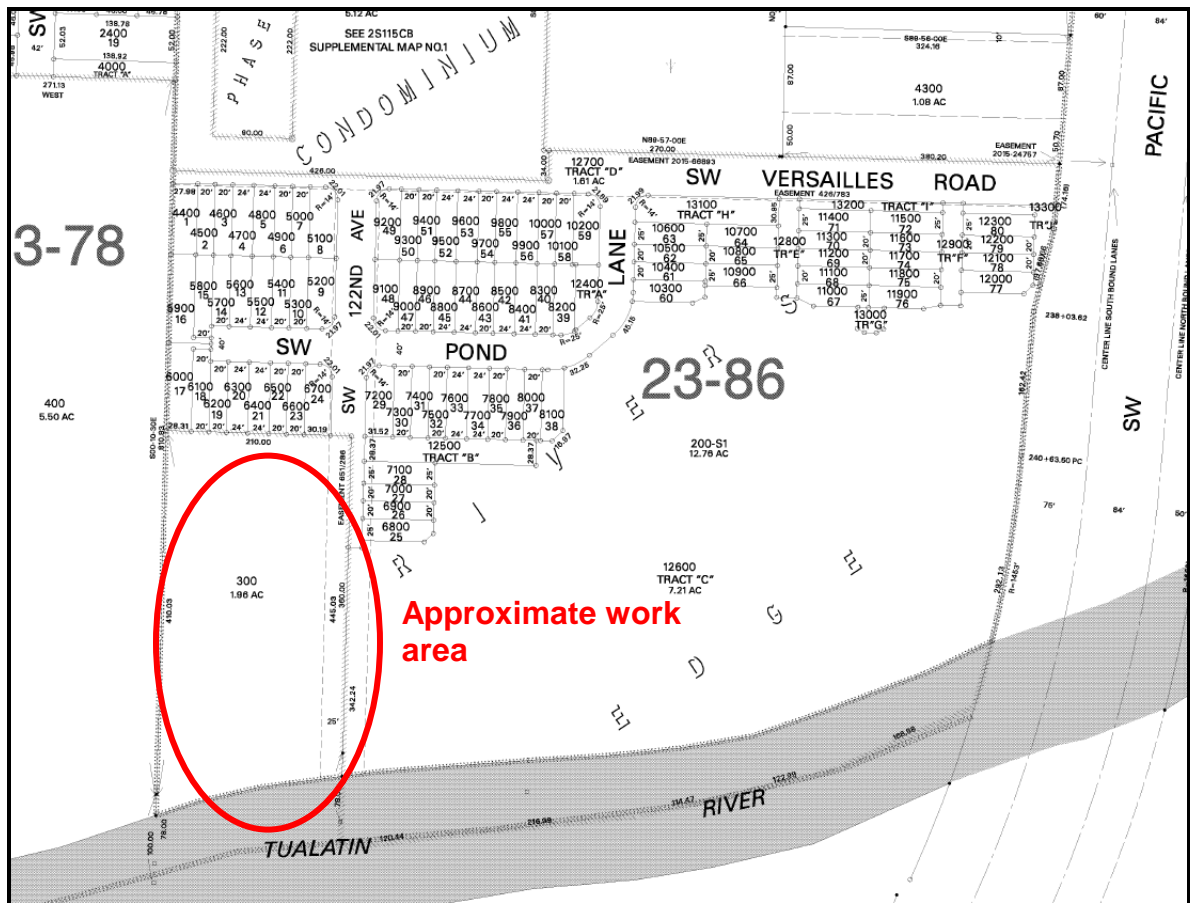
LOCATION

17219 SW Pacific Highway (off the southern terminus of SW 12nd Avenue). Assessors Map No. 2S1 16CB, Tax Lots 300 and 12600). See map.

APPLICABLE REVIEW CRITERIA

King City Community Development Code Chapter 16.100 Multi-family Residential (R-24); Chapter 16.124 Landscaping and Beautification; Chapter 16.128 Tree Removal; Chapter 16.140 Floodplain and Drainage Hazard Areas; and Chapter 16.212 Neighborhood Circulation.

Parcel Map



PUBLIC HEARING PROCESS

The Planning Commission shall review the application to make a decision regarding the application. The hearing shall be held in the City Council Chambers of the City Hall, 15300 SW 116th Avenue, King City, Oregon 97224.

The public hearing on this matter will be conducted in accordance with the rules contained in the King City Community Development Code, which is available at City Hall.

The application and all relevant documents are available at City Hall. At least seven days prior to the hearing, a copy of the staff report will also be available. All documents may be examined at no cost or copies can be obtained for 25 cents per page.

Interested persons are invited to testify before the Planning Commission or to submit written testimony prior to the close of their respective hearings. Approval or disapproval of the requests by the commission or council will be based only upon the criteria included in this notice. At the hearing it is important that comments relating to the request pertain specifically to the applicable criteria listed.

Failure to raise an issue in person or by letter precludes an appeal, and failure to specify the criterion from the relevant city ordinances or comprehensive plan at which a comment is directed precludes an appeal based on that criterion.

NOTICE TO MORGAGEE, LIENHOLDER, VENDOR OR SELLER: ORS CHAPTER 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE, IT MUST PROMPTLY BE FORWARDED TO THE PURCHASER.

For further information please contact King City Hall, at 503-639-4082, 15300 SW 116th Avenue, King City, Oregon 97224.

CERTIFICATE OF NOTICE POSTED TO NEWS MEDIA

STATE OF OREGON
WASHINGTON COUNTY
CITY OF KING CITY

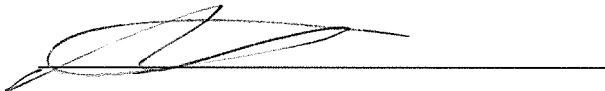
RE: PUBLIC HEARING NOTICE FOR
CASE NO. 18-01 FLOODPLAIN AND
DRAINAGE HAZARD AREA REVIEW

RECITALS

I, Ronnie L. Smith certify that I email the attached Public Notice to the Oregonian on March 28, 2018 for a full run on March 30, 2018

So Affirmed this 4 Day of April 2018

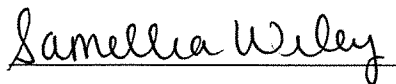
By:



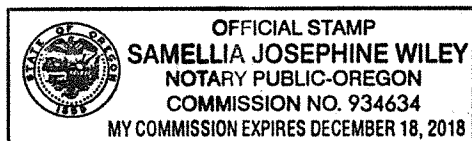
Ronnie L. Smith, City Recorder

STATE OF OREGON
COUNTY OF WASHINGTON COUNTY

Signed and affirmed before me on 4-4-18 2018, by Ronnie L. Smith.



Notary Public – State of Oregon



Notary Stamp



Order Confirmation

Ad Order Number 0008582474

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PO Number CWS Siphon Notice 30

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Order Taker Kimberlee O'Neill

Order Source Rep

Special Pricing

Tear Sheets	0	TearsheetsCost	\$0.00	Net Amount	\$429.15
Proofs	0			Tax Amount	\$0.00
Affidavits	1	AffidavitsCost	\$0.00	Total Amount	\$429.15
Blind Box				Payment Method	Invoice
Promo Type	OR Legal Ad 1x			Payment Amount	\$0.00
Materials				Amount Due	\$429.15
Invoice Text	CWS Siphon Notice 30118				

Ad Schedule

Product	The Oregonian::Full Run OR	Placement/Class	Announcements
# Inserts	1	POS/Sub-Class	PublicNotices
Cost	\$414.15	AdNumber	0008582474-01
Ad Type	OR CLS Legal	Ad Size	1 X 65 li
Pick Up #		Ad Attributes	
External Ad #		Color	<NONE>
Production Method	OR AdBooker	Production Notes	
Run Dates	Sort Text	NOTICEOFPUBLICHEARINGTHEKINGCITYPLANNINGCOMMISSIONATITSMEEETINGONAPRIL112018AT930AMSHALL	
03/30/2018			

Product	OregonLive.com	Placement/Class	Announcements
# Inserts	7	POS/Sub-Class	PublicNotices
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Pick Up #		Ad Attributes	
External Ad #		Color	<NONE>
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Run Dates	Sort Text	NOTICEOFPUBLICHEARINGTHEKINGCITYPLANNINGCOMMISSIONATITSMEEETINGONAPRIL112018AT930AMSHALL	
03/30/2018, 03/31/2018, 04/01/2018, 04/02/2018, 04/03/2018, 04/04/2018, 04/05/2018			

0008582474-01

Ad Content Proof

NOTICE OF PUBLIC HEARING

The King City Planning Commission, at its meeting on April 11, 2018 at 9:30 a.m., shall conduct a public hearing to consider the following land use application

FILE TITLE

Case No. 18-01 • Floodplain and Drainage Hazard Area Review

APPLICANT

Natalie Warner
David Evans and Assoc.
2100 SW River Parkway, Suite 100
Portland, OR 97201

Wade Denny
Clean Water Services
Engineering division
2550 SW Hillsboro Hwy.
Hillsboro, OR 97123

ZONING

R-24 (Multi-family Residential) Zone

REQUEST: Floodplain review approval to replace portions of the existing Tualatin sanitary sewer interceptor and siphon. The improvements are to include: sanitary sewer pipeline, associated siphon structures, manholes, mainline connections, service lateral connections, and surface restoration along the approximate alignment of the existing Upper Tualatin sewer Interceptor pipeline.

LOCATION: 17219 SW Pacific Highway (off the southern terminus of SW 12nd Avenue). Assessors Map No. 2S1 16CB, Tax Lots 300 and 12600). See map.


APPLICABLE REVIEW CRITERIA: King City Community Development Code Chapter 16.100 Multi-family Residential (R-24); Chapter 16.124 Landscaping and Beautification; Chapter 16.128 Tree Removal; Chapter 16.140 Floodplain and Drainage Hazard Areas; and Chapter 16.212 Neighborhood Circulation.

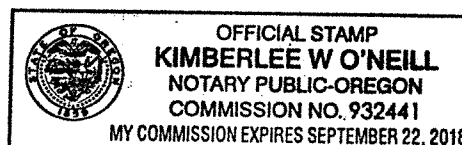
State of Oregon,) ss

County of Multnomah)

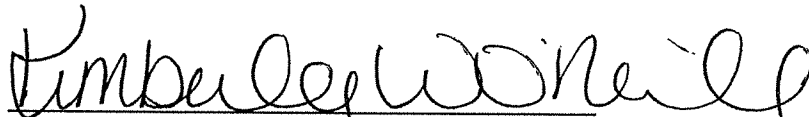
Justin Eubanks being duly sworn, deposes that he/she is principal clerk of Oregonian Media Group; that The Oregonian is a public newspaper published in the city of Portland, with general circulation in Oregon, and this notice is an accurate and true copy of this notice as printed in said newspaper, was printed and published in the regular edition and issue of said newspaper on the following date(s):

The Oregonian 03/30/2018


Principal Clerk of the Publisher



Sworn to and subscribed before me this 2nd day of April 2018


Notary Public

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at its meeting on April 11, 2018 at
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David Evans and Assoc.
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Portland, OR 97201

Wade Denny
Clean Water Services
Engineering Division
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(off the southern terminus of SW
12nd Avenue). Assessors Map No.
2S1 16CB, Tax Lots 300 and 12600).
See map.

APPLICABLE REVIEW CRITERIA: King
City Community Development Code
Chapter 16.100 Multi-family Residen-
tial (R-24); Chapter 16.124 Landscap-
ing and Beautification; Chapter
16.128 Tree Removal; Chapter 16.140
Floodplain and Drainage Hazard
Areas; and Chapter 16.212 Neighbor-
hood Circulation.

CITY OF KING CITY

ORDINANCE NO. O-2016-03

AN ORDINANCE ADOPTING AMENDMENTS TO THE KING CITY COMMUNITY
DEVELOPMENT CODE

WHEREAS, the Federal Emergency Management Agency (FEMA) developed revised floodplain regulations and Flood Insurance Rate Maps (FIRM), which apply within the city of King City; and

WHEREAS, adopting the updated FEMA requirements and flood information into the King City Community Development Code is necessary for continued participation in the National Flood Insurance Program; and

WHEREAS, the City is proposing new text, figures, and amendments to be adopted as part of the King City Community Development Code (CDC), Chapters 16.140 and 16.24; and

WHEREAS, the City provided notice of a hearing before the Planning Commission and City Council of the post-acknowledgement amendments as required by state law, including notice to the Department of Land Conservation and Development 35 days prior to the initial evidentiary hearing consistent with ORS 197.610, individual notice to property owners, and publication in a newspaper of general circulation within the City; and

WHEREAS, on September 7, 2016, the King City Planning Commission held a public hearing and recommended approval of the CDC amendments; and

WHEREAS, on September 19, 2016, the City Council of King City held a public hearing, to consider the Planning Commission's recommendation, hear public testimony, apply applicable decision-making criteria, and to consider appropriate findings and conclusions in support of adoption.

NOW, THEREFORE, THE CITY OF KING CITY ORDAINS AS FOLLOWS:

SECTION 1. The amendments to the King City CDC set forth in Exhibit 'A' are hereby adopted.

SECTION 2: The FEMA Flood Insurance Study, Washington County, Oregon, Volumes 1 through 3 and the FEMA Flood Insurance Rate Maps (FIRM) for King City in Exhibit 'B' are hereby adopted.

SECTION 3: The staff report findings and conclusions contained in Exhibit 'C' are hereby adopted as the basis in support of this Ordinance.

SECTION 4: This Ordinance shall be effective 30 days after passage by the Council, signature by the Mayor, and posting by the City Recorder.


PASSED AND APPROVED this 21st day of September 2016.

Ayes: 7

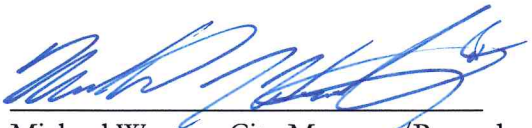
Nayes: 0

Abstentions: 0


KING CITY:


Mayor Ken Gibson

ATTEST:


Michael Weston, City Manager/Recorder

Approved as to form:


City Attorney



Chapter 16.140

FLOODPLAIN AND DRAINAGE HAZARD AREAS*

Sections:

- 16.140.010 Purpose.**
- 16.140.020 Applicability of provisions.**
- 16.140.030 Administration.**
- 16.140.040 Basis for identifying lands subject to floodplain and drainage hazard area standards.**
- 16.140.050 Submittal requirements.**
- 16.140.060 Development standards for floodplain and drainage hazard area applications.**
- 16.140.070 Supplemental criteria for dwellings.**
- 16.140.080 Supplemental criteria for manufactured dwellings, manufactured dwelling parks and subdivisions.**
- 16.140.085 Supplemental criteria for recreational vehicles.**
- 16.140.090 Supplemental criteria for non-dwelling structures.**
- 16.140.100 Supplemental criteria for utilities and tanks.**
- 16.140.110 Supplemental criteria for piping, culverts and man-made creek beds.**
- 16.140.120 Criteria for multi-family, institutional and commercial development parking.**
- 16.140.130 Small accessory structures**
- 16.140.140 Below-grade crawlspaces**
- 16.140.150 Critical facilities**
- 16.140.160 General requirements and prohibitions.**
- 16.140.170 Duties of the city.**
- 16.140.180 Abrogation**
- 16.140.190 Variances**
- 16.140.200 Floodplain definitions.**

16.140.010 Purpose.

The regulations of this chapter are intended to achieve the following:

- A. Implement the comprehensive plan;
- B. Implement the Federal Emergency Management Agency's (FEMA) flood insurance program and to minimize flood damage to property;
- C. Implement the Metro Urban Growth Management Functional Plan Title 3 Water Quality and Flood Management;
- D. Implement Statewide Planning Goal 7 Areas Subject to Natural Hazards;
- E. Protect public health, safety and welfare through the regulation of special flood hazard areas.

16.140.020 Applicability of provisions.

Floodplain and drainage hazard area review shall be applicable to all new development and modifications of existing development as provided in this chapter.

A. Unless specifically prohibited by this title, or the Clean Water Services (CWS) "Design and Construction Standards for Sanitary Sewer and Surface Water Management" or its successor, the following are not required to obtain a development permit for a floodplain or drainage hazard area alteration:

- 1. Uses and Activities Allowed in All Floodplain and Drainageway Locations.
 - a. Farming or raising of livestock not utilizing a structure;
 - b. Propagation or harvesting of timber for personal consumption, provided that the use of a caterpillar tractor, yarder, backhoe, grader or similar heavy mechanized equipment is prohibited;
 - c. A wire boundary fence designed to impede as little as practicable the movement of water or water borne materials;
 - d. Accessory residential or institutional uses such as lawns, gardens and play areas, provided that no structure is permitted;
 - e. Recreational and accessory recreational uses such as parks or game fields, provided that no grading or structures are permitted;

* Prior ordinance history: Ords. 96-4 and O-02-4.

Please click on the link below for the complete Ordinance O-2016-03

[Ordinance O-2016-03](#)

MEMORANDUM

TO: King City Planning Commission
FROM: Keith Liden, Planning Consultant
SUBJECT: LU 2018-02, Neighborhood Mixed-Use Zone
King City Comprehensive Plan and Code Amendment
Staff Report
DATE: April 4, 2018

GENERAL INFORMATION

Application

A legislative Comprehensive Plan Amendment (CPA) and Community Development Code (CDC) amendment to adopt a new Neighborhood Mixed-Use Zone.

Location

At this time, this proposal will only amend the Comprehensive Plan and CDC, and it does not include application of this new designation to any property. Application of this new zone to a specific property would require a plan and zoning map amendment application to be evaluated according to the applicable provisions in the Comprehensive Plan.

PROPOSAL DESCRIPTION

Planning Process

The new NMU zone and related plan amendments is a city-sponsored planning project to consider how the city's residential neighborhoods might accommodate a greater range of uses and activities and be more pedestrian-friendly by enhancing access to commercial services.

Proposal Elements

The creation of a new Neighborhood Mixed-Use Zone includes two elements:

- Comprehensive Plan Amendments
- Community Development Code Amendments

Comprehensive Plan Amendments

Minor amendments to the King City Comprehensive Plan are necessary to identify the new neighborhood mixed-use land use category. In addition, location criteria have been added to provide guidance for evaluating zone change applications to apply this designation to a specific property. The plan amendments are found in Exhibit A.

Community Development Code Amendments

The NMU – Neighborhood Mixed-Use Zone is proposed as a new Chapter 16.102 in the King City CDC. The city currently only has the LC - Limited Commercial district that allows commercial development of any kind. This district is intended primarily for larger-scale commercial and mixed-use development. The LC zone is found along Highway 99W.

The NMU zone is intended to provide for neighborhood-scale commercial development, which would have a primary purpose of serving surrounding residential neighborhoods. The proposed NMU zone would allow residential development at densities comparable to the R-12 – Attached Residential zone. This zone allows single family and multi-family residential development with densities ranging between a minimum 9.6 to a maximum of 12 units per acre. The development and design standards for residential uses in the NMU zone are based primarily upon the current R-12 standards.

In addition to residential, commercial uses would also be permitted. The applicable requirements are based in part on the LC zone, but with additional restrictions and requirements to help ensure compatibility with surrounding residential uses, including:

- Prohibition of drive-through uses,
- Maximum building height of up to 45 feet with prescribed supplemental setbacks,
- Building entrance orientation to the street,
- Parking locations to the rear or side of buildings,
- Outdoor display limitations,
- Compatibility criteria for outdoor activities, such as outdoor dining,
- Compatibility criteria for loading areas and mechanical equipment,
- Exterior lighting,
- Potential exterior finish materials standards, and
- Limitations for hours of operation.

Agency Comments

No agency comments have been received.

RECOMMENDED FINDINGS AND CONCLUSIONS

The relevant criteria for the King City Comprehensive Plan amendment are found in:

- The King City Comprehensive Plan
- The Oregon Statewide Planning Goals

Because the policy direction in the King City Comprehensive Plan is based directly upon the Oregon Statewide Planning Goals, addressing the Comprehensive Plan will simultaneously consider the state goals. The recommended findings are followed by background and supporting information in this report. The Planning Commission should consider the findings regarding the proposed Comprehensive Plan and Community Development Code amendments.

The King City Comprehensive Plan goals are satisfied as indicated below:

Citizen Involvement - Goal 1: To develop a citizen involvement program that insures the opportunity for citizens to be involved in all phases of the planning process.

The plan amendment was created with citizen input. A neighborhood meeting was held in January. In addition, this proposal will be reviewed in public hearings with the Planning Commission and City Council. This goal is satisfied.

Land Use Planning - Goal 2: To establish a land use planning process and policy framework as a basis for all decisions and actions related to use of land and to assure an adequate factual base for such decisions and actions.

The city has adopted the King City Comprehensive Plan and Community Development Code in accordance this goal, and as noted above, citizens have had, and will be given, an opportunity to participate and comment on the proposed plan and code amendment to provide a new NMU zone. This goal is satisfied.

Agricultural Lands – Goal 3 and Forest Lands – Goal 4

These goals are not relevant because the proposed NMU zone would not be applied outside of the King City limit on agricultural or forest lands.

Open spaces, scenic and historic areas, and natural resources – Goal 5: To conserve open space and protect natural and scenic resources.

Until this new zoning district is proposed for a specific property, its impact upon these types of resources cannot be evaluated. However, any property considered for the NMU zone would continue to be subject to environmental requirements in the CDC and from other agencies. Similar to other zoning districts, it is proposed to have minimum open space requirements to enhance livability. This goal is satisfied.

Air, water and land resource quality – Goal 6: To maintain and improve the quality of the air, water, and land resources of the state.

As noted under Goal 5 above, existing open space and natural resource areas will continue to be regulated and protected as they are today. An important reason for encouraging a mix of residential and commercial uses is to improve the pedestrian environment and substitute walking for some car trips. This in turn would have a modest beneficial effect on air quality. This goal is satisfied.

Natural Disasters and Hazards – Goal 7

Similar to Goals 5 and 6 above, any development within the NMU zone would continue to be subject to CDC requirements pertaining to natural hazards. This goal is satisfied.

Recreational Needs – Goal 8: To satisfy the recreation needs of the citizens of the state and visitors and, where appropriate, to provide for the siting of necessary recreational facilities including destination resorts.

King City currently does not contain any destination recreational areas. The city has implemented programs outside of the CDC to provide recreational opportunities, such as the community park in the West King City Planning area. The NMU zone does advocate for improving the pedestrian environment, and this could include small plazas and similar open space areas. This goal is satisfied.

Economy – Goal 9: To provide adequate opportunities throughout the state for a variety of economic activities vital to the health, welfare, and prosperity of Oregon's citizens.

The purpose of the NMU zone is to supplement, rather than compete with, the King City town center area. The NMU zone is intended to enhance neighborhood vitality by improving walkability and access to neighborhood-scale services. Urban design requirements of the NMU zone are intended to promote an attractive appearance and character for any residential and commercial development occurring within this zoning district. This goal is satisfied.

Housing – Goal 10: To provide for the housing needs of citizens of the state.

This new zoning district promotes a greater degree of mixed-use than is currently allowed. Because the NMU zone is designed to allow for residential, commercial, or a mix of both, housing choices will not be limited by the zoning district. This goal is satisfied.

Public Facilities and Services – Goal 11: To plan and develop a timely, orderly and efficient arrangement of public facilities and services to serve as a framework for urban and rural development.

The NMU zone will be no different from other zoning districts because the proper provision of urban facilities and services will continue to be a requirement of new development or redevelopment. This goal is satisfied.

Transportation – Goal 12: To provide and encourage a safe, convenient and economic transportation system.

The creation of a neighborhood mixed-use residential/commercial zone is intended to encourage active transportation by improving the convenience of walking and bicycling between homes and commercial services. In addition to proximity, walking will be encouraged with streetscape standards to improve the pedestrian environment through proper site design, building orientation, and façade treatments. This goal is satisfied.

Energy Conservation – Goal 13: To conserve energy.

The promotion of active transportation and allowing a greater degree of mixed-use development in city neighborhoods is expected to help replace short vehicular trips with walking and bicycling. This will help reduce energy use. This goal is satisfied.

Urbanization – Goal 14: To provide for an orderly and efficient transition from rural to urban land use.

While this goal is not directly relevant, the allowance for a mixed-use and somewhat more compact development form could modestly reduce the demand for more urbanizable land outside of the current UGB. This goal is satisfied.

RECOMMENDATION

The Planning Commission should conduct a public hearing, and consider the staff report, and public comments. The draft NMU zone has several subsections that are labeled as “discussion items.” The staff expects there will be discussion about these items, along with others, about the appropriate course to follow. This may require continuation of the hearing for the staff to address issues and come back with additional information for the Planning Commission before it forwards a recommendation to the City Council. The planning consultant recommends forwarding a recommendation for adoption of the Comprehensive Plan Amendment and Community Development Code Amendment to the City Council.

EXHIBIT A
Comprehensive Plan and CDC Amendments

Chapter 16.102
Review Draft – 2.21.18
NEIGHBORHOOD MIXED-USE ZONE (NMU)
NEW

Sections:

- 16.102.010 Purpose.**
- 16.102.020 Permitted uses.**
- 16.102.030 Conditional uses.**
- 16.102.040 Dimensional and density requirements.**
- 16.102.050 Design requirements.**
- 16.102.060 Additional requirements.**

16.102.010 Purpose.

The purpose of the NMU zone is to provide a mix of residential, retail, service, and business needs of surrounding residential neighborhoods while maintaining a compatible scale and character with those neighborhoods. It is intended for relatively small sites within or adjacent to residential neighborhoods.

16.102.020 Permitted uses.

A permitted use is a use which is allowed outright, but is subject to all applicable provisions of this title. If a use is not listed as a permitted use, it may be held to be a similar unlisted use under the provisions of Chapter 16.82. Permitted uses in the NMU district are as follows:

- A. Dwelling, single-family attached and detached 0-foot side yard;
- B. Dwelling, multi-family;
- C. Duplex;
- D. Live-work unit;
- E. Office;
- F. Retail sales and service;
 - 1. Sales-oriented,
 - 2. Personal service-oriented, and
 - 3. Entertainment-oriented;
- G. Community services;
- H. Religious assembly;
- I. Family care;
- J. Residential facility; and
- K. Adult day care (family care).

16.102.030 Conditional uses.

A conditional use is a use which is subject to a discretionary decision by the planning commission. The approval criteria are set forth in Chapter 16.156. If a use is not listed as a conditional use, it may be held to be a similar unlisted use under the provisions of Chapter 16.82. Conditional uses in the NMU district are as follows:

- A. Utilities;
- B. Public safety facilities;
- C. Parks and open space.

16.102.040 Dimensional and density requirements.

A. The dimensional requirements in the NMU district are:

Dimensional Requirements Table	
Minimum and average lot size/land area per unit	
Duplex	3,600 min./4,000 avg. square feet
Single-family attached and 0-foot setback units	1,600 min./2,000 avg. square feet
Multi-family units	1,600 min./2,000 avg. square feet
Live-work units	1,600 min.
Non-residential and mixed-use (non-residential and multi-family) buildings	None
Minimum average lot width (per lot)	
Duplex	48 feet
Single-family attached and 0-foot setback detached units	24 feet
Multi-family units	48 feet
Live-work units	24 feet
Non-residential and mixed-use (non-residential and multi-family) buildings	None
Minimum average lot depth (per lot)	
Duplex	60 feet
Single-family attached and 0-foot setback detached units	60 feet
Multi-family units	60 feet
Live-work units	60 feet
Non-residential and mixed-use (non-residential and multi-family) buildings	None
Setbacks (measured from property lines, except as noted for garage entrances)	
<u>Front yard</u>	
Residential and live-work	10 feet minimum and 26 feet maximum to front building wall. 6 feet minimum and 15 feet maximum to front porch. 18 feet from the nearest edge of the public sidewalk to front of garage entrance. The front lot line shall be used if a sidewalk will not be present prior to occupancy permit.
Non-residential and mixed-use (non-residential and multi-family) buildings	0 feet minimum and 15 feet maximum to front building wall. 0-6 feet or \geq 18 feet to a garage entrance if driveway parking is allowed. The front lot line shall be used if a sidewalk will not be present prior to occupancy permit.

<p><u>Front yard – corner</u> For corner lots, at least one street frontage shall meet the front yard requirements above. For the second front yard, the property owner/applicant may apply the following standards: Residential and live-work</p> <p>Non-residential and mixed-use (non-residential and multi-family) buildings</p>	<p>8 feet minimum for a side yard facing a street. 18 feet from the nearest edge of the public sidewalk to front of garage entrance. The front lot line shall be used if a sidewalk will not be present prior to occupancy permit.</p> <p>0 feet minimum and 15 feet maximum to front building wall. A minimum of 50% of the length of the ground level façade of a building or buildings facing a collector or arterial street must be within 0 to 15 feet of the street lot line. (This needs a plan view illustration) 0-6 feet or ≥ 18 feet to a garage entrance if driveway parking is allowed. The front lot line shall be used if a sidewalk will not be present prior to occupancy permit.</p>
<p><u>Side yard – interior</u> Residential and live-work</p> <p>Non-residential and mixed-use (non-residential and multi-family) buildings</p>	<p>0 feet minimum, except as required by the Uniform Building Code (UBC), or a minimum of 3 feet. In all cases, 0-foot setback buildings shall either (1) be attached at the property line or (2) have a minimum separation of 6 feet.</p> <p>0 feet minimum, for side yard lot lines adjacent to other property zoned NMU or LC, except as required by the Uniform Building Code (UBC), or a minimum of 3 feet. In all cases, 0-foot setback buildings shall either (1) be attached at the property line or (2) have a minimum separation of 6 feet. 10 feet minimum, for side yard lot lines adjacent to property that is not zoned NMU or LC.</p>

<u>Rear yard</u> Residential and Live-Work	10 feet minimum for residential building. 0 feet for a detached accessory building less than 18 feet in height. 0-6 feet or ≥ 18 feet to a garage entrance to an alley.
Non-residential and mixed-use (non-residential and multi-family) buildings	10 feet minimum adjacent to property zoned NMU or LC. 20 feet minimum, for side yard lot lines adjacent to property that is not zoned NMU or LC. 5 feet for a detached accessory building less than 18 feet in height. 0-6 feet or ≥ 18 feet to a garage entrance to an alley.
Minimum landscaped area	
Single-family attached, single-family detached 0-foot side yard, duplex, and multi-family dwellings	20% of the total lot area ¹
Live-work units	20% of the total lot area ¹
Non-residential and mixed-use (non-residential and multi-family) buildings	15% of the total lot area ¹
Building height	
Single-family attached, single-family detached 0-foot side yard, duplex, and multi-family dwellings	35 feet
Live-work units	35 feet
Non-residential and mixed-use (non-residential and multi-family) buildings	35 feet ²
Accessory structures	18 feet
Residential density standards	
Maximum	12 units per gross acre (Chapter 16.146)
Minimum	80% of the allowed maximum
Commercial, mixed-use (non-residential & multi-family) and live-work floor area standards	
Commercial including: Office, Retail sales and service (sales-, personal service-, and entertainment-oriented)	Maximum 1.5 to 1 FAR ³
Live-work units	Commercial floor area shall not exceed 50% of the total floor area of the live-work unit

- 1 The landscaped area per lot may be reduced when common open space is provided. In this case, the total landscaped area on lots and common areas must total a minimum of 20%.
- 2 Building height may be increased to a maximum of 45 feet as provided in Figure 1.
- 3 Floor area ratios (FARs) apply to the total floor area in a mixed-use project regardless of the use.

- B. The maximum building height of thirty feet in subsection (a) of this section shall increase one foot for each additional foot of building setback over twenty-five feet from a residential zoning district,

up to a maximum building height of forty-five feet as illustrated in Figure __. In the case of a public street right-of-way lying between the NMU Zone and a residential zone, the setback shall be calculated using the right-of-way centerline in lieu of the property line.

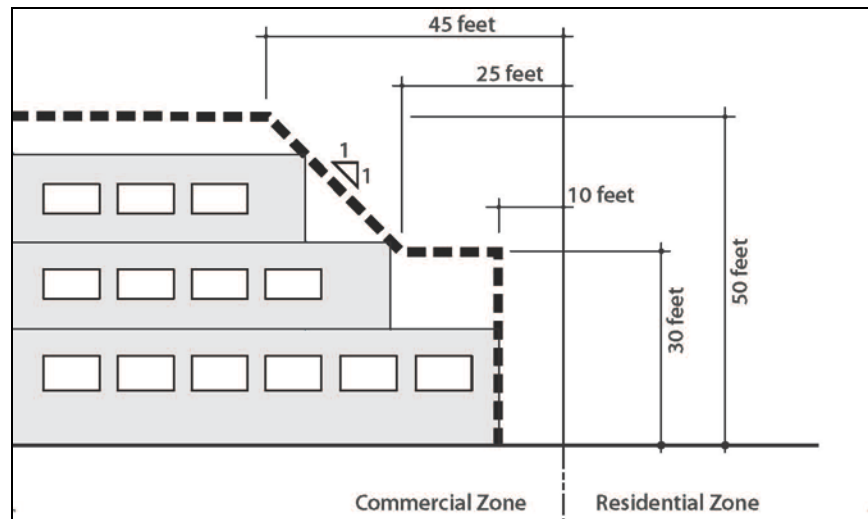


Figure 1 Building Height need to amend showing min. of 35' and max. of 45'

16.102.050 Design requirements.

In addition to the dimensional requirements in Section 16.102.040, the following design requirements of this section shall apply.

- A. Residential development shall comply with the following standards:

Design Requirements Table – Residential Development	
Main entrance	
Location	Within 8 feet of the longest front building wall. The applicant/owner may select which street frontage to use for a corner lot.
Orientation	Face the street at an angle that does not exceed 45 degrees; or Open onto a porch, which has: <ul style="list-style-type: none"> • A minimum of 25 square feet with a minimum dimension of 4 feet; • At least one entrance facing the street; and • A roof that covers at least 30 percent of the porch area (see Figure 2).
Front windows - First floor of all dwellings.	
Minimum glazing area	20 sq. ft. for each building wall facing a street. Windows in entry or garage doors shall not be included to meet this standard.
Maximum window sill height	4 ft. above finished first floor elevation for the window(s) necessary to meet the 20 sq. ft. minimum glazing area standard. No sill height standard for all other windows.

Design Requirements Table – Residential Development	
Garage door frontage - Maximum percentage of the building width allowed for the garage door.	
Single-family detached units	50% when the garage setback is the same or less than the front building wall. The garage door setback shall be no more than 6 feet less than the front building wall setback.
	60% when the garage setback is at least 2 feet behind the front building wall or front porch.
	70% when the garage setback is at least 4 feet behind the front building wall or front porch.
Single-family attached, duplex, multi-family units, and live-work units	30% when the garage setback is less than the front building wall or front porch. 60% when the garage setback is equal to or greater than the front building wall. 70% when the garage setback is at least 4 feet behind the front building wall or front porch.
Minimum garage door width	Notwithstanding the above requirements for garage door widths, a residence shall be permitted to have one garage door that is up to 10 feet wide.
Attached units	
Maximum number of attached single family, multi-family units, or live-work units	12 units.
Required outdoor area	
Duplex, single-family attached, detached single-family units with one 0-foot setback, and live-work units	Minimum contiguous rear or side yard outdoor area of 200 square feet shall be provided on each lot, of which no dimension shall be less than 10 feet. This standard is not required when the garage for the residence is located in the rear yard.
Multi-family units	Minimum contiguous rear or side yard outdoor area of 200 square feet shall be provided for each unit on the lot, of which no dimension shall be less than 15 feet.
Common outdoor area alternative	In lieu of meeting the outdoor area requirements for each lot, a common outdoor area may be provided for the development. This common outdoor area shall have a minimum contiguous area of 400 square feet per unit in the development with a minimum size of 4,000 square feet, of which no dimension shall be less than 40 feet.

B. Non-residential and mixed-use development shall comply with the following standards:

Design Requirements Table: Non-Residential and Mixed-Use Development	
Main building entrance	
Location and Orientation	<p>Primary customer and/or resident entrances for buildings with frontage on a collector or arterial street shall meet one of the following:</p> <ul style="list-style-type: none"> • Be within 20 feet of, and facing the street upon which the building has frontage; or • Be located on the side of the building within 50 feet direct walking distance from the public sidewalk along the collector or arterial street. <p>For buildings that have more than one main entrance, only one entrance must meet this requirement.</p>
Front windows – Ground floor of all building facades facing a street.	
Minimum glazing area	40% for any ground floor building wall facing a street (Figure 2).
Operable front windows	Windows that are designed to open join interior and exterior spaces during temperate weather may be used to satisfy the minimum glazing area standard. This may include the glazed area on operable doors that are supplemental to the main entry door.
Maximum window sill height	4 feet above finished first floor elevation for the window(s) necessary to meet the minimum glazing area standard. No sill height standard for all other windows.
Distinct ground floor – commercial uses	
Office and retail sales and service (sales-, personal service- and entertainment-oriented)	<p>This standard applies to buildings that have any floor area in non-residential uses. The ground level of the primary structure must be visually distinct from upper stories. This separation may be provided by:</p> <ol style="list-style-type: none"> 1. A cornice above the ground level; 2. An arcade; 3. Changes in material or texture; or 4. A row of clerestory windows on the building's street facing elevation.
Garage door frontage - Maximum percentage of the building width allowed for the garage door.	
Minimum garage door width	Notwithstanding the above requirements for garage door widths, a residence shall be permitted to have one garage door that is up to 10 feet wide.
Required outdoor area	
Office and retail sales and service (sales-, personal service- and entertainment-oriented)	<i>Discussion item</i>

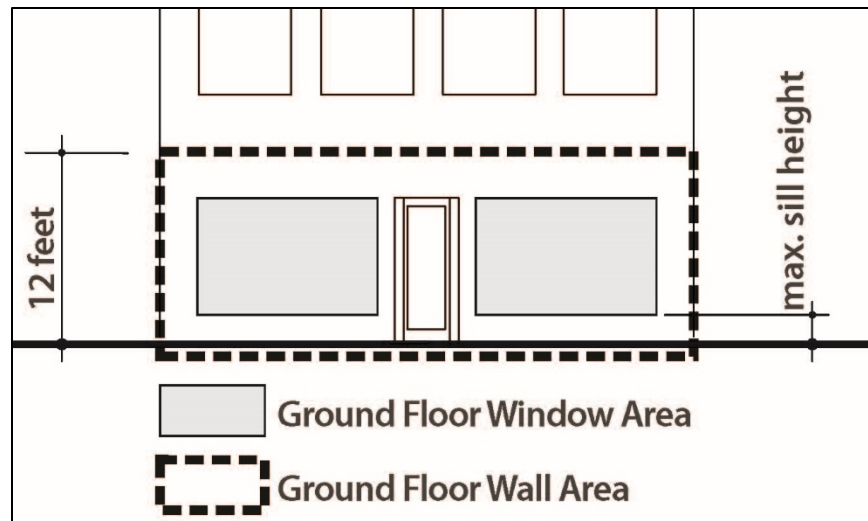


Figure 2 Minimum Glazing Area

16.102.060 Additional requirements.

A. Outdoor Display.

1. Except as provided in subsection B of this section, all business and display of merchandise shall be conducted wholly within an enclosed building.
2. Subject to an administrative review and approval by the city manager, outdoor storage and display may be permitted when all of the following conditions are satisfied:
 - a. The amount of outdoor storage and display of merchandise does not exceed five percent of the gross floor area of the business;
 - b. Pedestrian, bicycle, wheel chair and motor vehicle access to and within the property is not impeded in any way;
 - c. The outdoor storage and display is in conformity with any conditions of development permit or building permit approval; and
 - d. The outdoor storage and display satisfies all relevant provisions of this title and other applicable requirements of this code.

B. Outdoor Activities.

1. Exterior work activities are prohibited in the NMU Zone.
2. Outdoor eating areas, entertainment, outdoor markets, and similar activities are allowed in the NMU Zone. Outdoor work activities, including product storage or assembly are prohibited.
3. Permitted outdoor activities shall be located a minimum of 20 feet from any adjacent residential zoning district. This setback area shall be landscaped and include a solid wall or fence with a minimum height of 6 feet to enhance privacy and attenuate potential noise impacts.
4. Outdoor speakers – *discussion item*

C. Surface Parking Location.

- a. Surface parking shall be prohibited between the front of buildings and the front lot line;
- b. Surface parking shall be located a minimum of 10 feet from any adjacent residential zoning district. This setback area shall be landscaped and include a wall or fence with

a minimum height of 6 feet or evergreen vegetation that would provide screening equivalent to a fence.

- c. Surface parking located along a street frontage shall have a landscape buffer with a minimum width of 5 feet that is designed to provide screening of vehicles.

D. Loading and Service Areas and Mechanical Equipment.

1. All loading areas, exterior garbage cans, garbage collection and recycling areas shall be screened from the street and adjacent properties. Fencing and/or landscaping of sufficient density and height shall be provided to screen such areas from view.
2. Mechanical equipment located on the ground, such heat pumps, cooling equipment, and generators shall be screened from the street and any adjacent residentially zoned properties.
3. Mechanical equipment placed on roofs must be screened with a parapet or other screen around the equipment that is as tall as the highest point of the equipment.
4. In addition to the above requirements for mechanical equipment, exhaust fans for kitchens shall be located a minimum of 50 feet from a residential zone.

E. Exterior Lighting.

1. On-site pedestrian walkways must be lighted to a level where the circulation system can be used at night by employees, residents, and customers.
2. Exterior lighting shall be located and designed to not shed light or glare on nearby properties.

F. Exterior finish materials – *discussion item*

G. Hours of Operation.

To maintain a compatible relationship with surrounding residential uses, business hours shall be between the hours of eight a.m. to midnight (11:59 p.m.). No business shall be conducted outside of these time limits unless approved as a conditional use as provided in this title.

ADDITIONAL CDC AMENDMENTS

16.24.020 Definition of Specific Terms.

“Live-work unit” means a dwelling unit where residential and nonresidential spaces are combined and where the dwelling unit is the principal residence of the business operator/proprietor. Nonresidential spaces are typically located on the ground floor and residential spaces are located on upper floors or the rear of the building.

“Floor area ratio (FAR)” means the amount of building floor area in relation to the amount of site area, expressed in square feet. For example, a floor area ratio of 2 to 1 means there is 2 square feet of floor area for every 1 square foot of site area. Public utility easements may be excluded from the site area when calculating the FAR.

RELATED COMPREHENSIVE PLAN AMENDMENTS WEST KING CITY PLANNING AREA

PLAN IMPLEMENTATION

Commercial and Retail Opportunities

As noted above, residential development is the primary use intended for the West King City Planning Area. ~~Sufficient~~ Commercial and retail opportunities presently exist along SW Pacific Highway, located approximately 1/3 mile to the east. As shown in Figure 2, there are several improved pedestrian and bi-cycle connections between the West King City Planning Area and these commercial services.

To provide additional opportunities for neighborhood-serving commercial uses, a Neighborhood Mixed-Use designation is included as a land use type, which could be applied in the West King City Planning Area. This would require a Comprehensive Plan Amendment and Zone Change, which is consistent with King City Comprehensive Plan.

Land Use Designations and Location Criteria

The local criteria are intended to provide guidance for the Planning Commission and City Council when land use designations for specific area within the City are proposed to be amended. These criteria describe the basic characteristics a property or properties should have to be eligible for a particular land use designation. The primary characteristics of the City land use designations are first described followed by location criteria. It is intended that these location criteria, associated with each land use designation, be construed in a flexible manner, in the interest of accommodating proposals which may not comply with all the applicable criteria but are found to be in the public interest and capable of harmonious integration into the community. The burden to prove a proposal's conformity with the Comprehensive Plan should vary according to the degree of change and impact on the community. The more significant the change or potential impact, the more strictly the criteria should be interpreted.

Low Density Residential

SF - Single Family Residential:

This land use designation is intended to apply to established single family residential properties within the City prior to June 5, 1991.

R-9 - Small Lot and Attached Residential:

This land use designation is intended to apply to annexed properties that were zoned R-9 in Washington County or that are within the West King Planning Area. (Ord. O-02-4 § 1 (part), 2002)

Purpose of the SF and R-9 Designations:

These two designations are intended for detached single family residential use on lots larger than two thousand eight hundred square feet in size. In addition, the R-9 zone permits attached single family dwellings, and residential care facilities. (Ord. O-02-4 § 1 (part), 2002)

Location Criteria:

Properties designated SF or R-9 should have the following location characteristics:

1. Direct Access to collector and local streets. Generally, these designations should apply to land which does not have direct access to major collector and arterial routes.
2. Land that is not suitable for more intensive development because of natural constraints such as unstable soils, poor drainage, and flooding.
3. Land that is not suitable for more intensive development because of limited facility and service capacity. The important facilities and services to be considered include, but are not limited to, sewer, water, storm drainage, police and fire protection, health services, public transit, and street capacity.
4. No commitment of the immediate area to medium high density residential or commercial development.

Medium Density Residential**A/T - Apartment/Townhouses:**

This land use designation is intended to apply to established residential properties within the City prior to June 5, 1991.

R-12 Attached Residential:

This land use designation is primarily intended to apply to properties within the West King City Planning Area. (Ord. O-02-4 § 1 (part), 2002)

R-15 - Multi-family Residential:

This land use designation is intended to apply to annexed properties that were zoned R-15 in Washington County.

Purpose of the A/T R-12, and R-15 Designations:

These three designations allow for multi-family residential development in addition to the single family residences and residential care facilities of the SF and R-9 designations. The A/T designation requires a maximum of one unit per two thousand five hundred square feet of land area (approximately sixteen units per acre) and the R-12 and R-15 designations allow maximum densities of twelve and fifteen units per acre, respectively. (Ord. O-02-4 § 1 (part), 2002)

Location Criteria:

Properties designated A/T or R-15 should have the following location characteristics:

1. Direct access to collector or arterial streets.
2. No natural development limitations such as unstable soils or flooding that affect significant portions of the property.
3. Facility and service capacity that is adequate to accommodate development of this density. The important facilities and services to be considered include but are not limited to sewer, water, storm drainage, police and fire protection, health services, public transit, and street capacity.
4. The availability of public transit within one-half mile of the site.

Medium High Density Residential

R-24 - Multi-family Residential:

This land use designation is intended to apply to annexed properties that were zoned R-24 in Washington County or to properties that are found to be consistent with these criteria and Comprehensive Plan policies.

Purpose of the R-24 Designation:

This designation allows for the same array of uses as the A/T and R-15 designations but with an allowed maximum density of 24 units per acre.

Location Criteria:

Properties designated R-24 should have the following location characteristics:

1. Direct access to collector or arterial streets.
2. No natural development limitation such as unstable soils or flooding that affect significant portions of the property.
3. Sufficient facility and service capacity to accommodate this type of commercial development. The important facilities and services to be considered include but are not limited to sewer, water, storm drainage, police and fire protection, parks, health services, public transit, and street capacity.
4. Opportunities will be available to achieve a compatible relationship with surrounding land uses including but not limited to:
 - The site configuration and characteristics that allow for the privacy of adjacent residential uses.
 - Activities on the site that will not interfere with nearby residential uses.
 - The availability of public transit within one-quarter mile of the site.
 - Commercial services within one-half mile of the site.
5. No commitment of the immediate area to low or medium density residential development.

Mixed Use

NMU – Neighborhood Mixed-Use:

This land use designation is intended to apply to properties, which are within or adjacent to existing or future residential neighborhoods.

Purpose of the NMU Designation:

This designation allows for a mix of neighborhood-scale commercial and medium density residential uses. It allows for medium density residential development consistent with the R-12 designation, neighborhood serving businesses, or a combination of commercial and residential uses in one development.

Location Criteria:

Properties designated NMU should have the following location characteristics.:

1. The site shall have direct access to a collector or arterial street.

2. Sufficient facility and service capacity to accommodate this type of development. The important facilities and services to be considered include but are not limited to sewer, water, storm drainage, police and fire protection, health services, public transit, and street capacity.
3. Traffic congestion, parking, or safety problems shall not be created or exacerbated by commercial development on the site. This determination shall be based upon such considerations as street capacity, existing and projected traffic volumes, speed limits, number and type of turning movements, and the traffic generating characteristics of the potential commercial and residential activities on the site.
4. No natural development limitations such as unstable soils or flooding that affect significant portions of the property.
5. Opportunities will be available to achieve a compatible relationship with surrounding land uses including but not limited to:
 - The site configuration and characteristics that allow for the privacy of adjacent residential uses.
 - Commercial activities on the site that will not interfere with nearby residential uses.
- 1-6. Significant unique natural features on the site which can be maintained.

Commercial

LC - Limited Commercial:

This land use designation applies to all commercial properties in the City.

Purpose of the LC Designation:

The City commercial center provides a mix of retail, service and business needs for the community. This commercial area, identified in the King City Comprehensive Plan and the Bull Mountain Community Plan, is located along Pacific Highway.

Location Criteria:

Properties designated LC should have the following location characteristics.:

- ~~2-1.~~ The site shall have direct access to a major collector or arterial street.
- ~~3-2.~~ Sufficient facility and service capacity to accommodate this type of commercial development.
The important facilities and services to be considered include but are not limited to sewer, water, storm drainage, police and fire protection, health services, public transit, and street capacity.
- ~~4-3.~~ Traffic congestion or safety problems shall not be created or exacerbated by commercial development on the site. This determination shall be based upon such considerations as street capacity, existing and projected traffic volumes, speed limits, number and type of turning movements, and the traffic generating characteristics of the potential commercial activities on the site.
- ~~5-4.~~ No natural development limitations such as unstable soils or flooding that affect significant portions of the property.
- ~~6-5.~~ Opportunities will be available to achieve a compatible relationship with surrounding land uses including but not limited to:
 - The site configuration and characteristics that allow for the privacy of adjacent residential uses.

- Commercial activities on the site that will not interfere with nearby residential uses.
 - Significant unique natural features on the site which can be maintained.
6. Public transit is available to the site or the immediate area.
 7. Contiguity with existing commercial proper-ties.

Chapter 16.102
Review Draft – 2.21.18
NEIGHBORHOOD MIXED-USE ZONE (NMU)
NEW

Sections:

- 16.102.010 Purpose.**
- 16.102.020 Permitted uses.**
- 16.102.030 Conditional uses.**
- 16.102.040 Dimensional and density requirements.**
- 16.102.050 Design requirements.**
- 16.102.060 Additional requirements.**

16.102.010 Purpose.

The purpose of the NMU zone is to provide a mix of residential, retail, service, and business needs of surrounding residential neighborhoods while maintaining a compatible scale and character with those neighborhoods. It is intended for relatively small sites within or adjacent to residential neighborhoods.

16.102.020 Permitted uses.

A permitted use is a use which is allowed outright, but is subject to all applicable provisions of this title. If a use is not listed as a permitted use, it may be held to be a similar unlisted use under the provisions of Chapter 16.82. Permitted uses in the NMU district are as follows:

- A. Dwelling, single-family attached and detached 0-foot side yard;
- B. Dwelling, multi-family;
- C. Duplex;
- D. Live-work unit;
- E. Office;
- F. Retail sales and service;
 - 1. Sales-oriented,
 - 2. Personal service-oriented, and
 - 3. Entertainment-oriented;
- G. Community services;
- H. Religious assembly;
- I. Family care;
- J. Residential facility; and
- K. Adult day care (family care).

16.102.030 Conditional uses.

A conditional use is a use which is subject to a discretionary decision by the planning commission. The approval criteria are set forth in Chapter 16.156. If a use is not listed as a conditional use, it may be held to be a similar unlisted use under the provisions of Chapter 16.82. Conditional uses in the NMU district are as follows:

- A. Utilities;
- B. Public safety facilities;
- C. Parks and open space.

16.102.040 Dimensional and density requirements.

A. The dimensional requirements in the NMU district are:

Dimensional Requirements Table	
Minimum and average lot size/land area per unit	
Duplex	3,600 min./4,000 avg. square feet
Single-family attached and 0-foot setback units	1,600 min./2,000 avg. square feet
Multi-family units	1,600 min./2,000 avg. square feet
Live-work units	1,600 min.
Non-residential and mixed-use (non-residential and multi-family) buildings	None
Minimum average lot width (per lot)	
Duplex	48 feet
Single-family attached and 0-foot setback detached units	24 feet
Multi-family units	48 feet
Live-work units	24 feet
Non-residential and mixed-use (non-residential and multi-family) buildings	None
Minimum average lot depth (per lot)	
Duplex	60 feet
Single-family attached and 0-foot setback detached units	60 feet
Multi-family units	60 feet
Live-work units	60 feet
Non-residential and mixed-use (non-residential and multi-family) buildings	None
Setbacks (measured from property lines, except as noted for garage entrances)	
<u>Front yard</u>	
Residential and live-work	10 feet minimum and 26 feet maximum to front building wall. 6 feet minimum and 15 feet maximum to front porch. 18 feet from the nearest edge of the public sidewalk to front of garage entrance. The front lot line shall be used if a sidewalk will not be present prior to occupancy permit.
Non-residential and mixed-use (non-residential and multi-family) buildings	0 feet minimum and 15 feet maximum to front building wall. 0-6 feet or \geq 18 feet to a garage entrance if driveway parking is allowed. The front lot line shall be used if a sidewalk will not be present prior to occupancy permit.

<p><u>Front yard – corner</u> For corner lots, at least one street frontage shall meet the front yard requirements above. For the second front yard, the property owner/applicant may apply the following standards: Residential and live-work</p> <p>Non-residential and mixed-use (non-residential and multi-family) buildings</p>	<p>8 feet minimum for a side yard facing a street. 18 feet from the nearest edge of the public sidewalk to front of garage entrance. The front lot line shall be used if a sidewalk will not be present prior to occupancy permit.</p> <p>0 feet minimum and 15 feet maximum to front building wall. A minimum of 50% of the length of the ground level façade of a building or buildings facing a collector or arterial street must be within 0 to 15 feet of the street lot line. (This needs a plan view illustration) 0-6 feet or ≥ 18 feet to a garage entrance if driveway parking is allowed. The front lot line shall be used if a sidewalk will not be present prior to occupancy permit.</p>
<p><u>Side yard – interior</u> Residential and live-work</p> <p>Non-residential and mixed-use (non-residential and multi-family) buildings</p>	<p>0 feet minimum, except as required by the Uniform Building Code (UBC), or a minimum of 3 feet. In all cases, 0-foot setback buildings shall either (1) be attached at the property line or (2) have a minimum separation of 6 feet.</p> <p>0 feet minimum, for side yard lot lines adjacent to other property zoned NMU or LC, except as required by the Uniform Building Code (UBC), or a minimum of 3 feet. In all cases, 0-foot setback buildings shall either (1) be attached at the property line or (2) have a minimum separation of 6 feet. 10 feet minimum, for side yard lot lines adjacent to property that is not zoned NMU or LC.</p>

<u>Rear yard</u> Residential and Live-Work	10 feet minimum for residential building. 0 feet for a detached accessory building less than 18 feet in height. 0-6 feet or ≥ 18 feet to a garage entrance to an alley.
Non-residential and mixed-use (non-residential and multi-family) buildings	10 feet minimum adjacent to property zoned NMU or LC. 20 feet minimum, for side yard lot lines adjacent to property that is not zoned NMU or LC. 5 feet for a detached accessory building less than 18 feet in height. 0-6 feet or ≥ 18 feet to a garage entrance to an alley.
Minimum landscaped area	
Single-family attached, single-family detached 0-foot side yard, duplex, and multi-family dwellings	20% of the total lot area ¹
Live-work units	20% of the total lot area ¹
Non-residential and mixed-use (non-residential and multi-family) buildings	15% of the total lot area ¹
Building height	
Single-family attached, single-family detached 0-foot side yard, duplex, and multi-family dwellings	35 feet
Live-work units	35 feet
Non-residential and mixed-use (non-residential and multi-family) buildings	35 feet ²
Accessory structures	18 feet
Residential density standards	
Maximum	12 units per gross acre (Chapter 16.146)
Minimum	80% of the allowed maximum
Commercial, mixed-use (non-residential & multi-family) and live-work floor area standards	
Commercial including: Office, Retail sales and service (sales-, personal service-, and entertainment-oriented)	Maximum 1.5 to 1 FAR ³
Live-work units	Commercial floor area shall not exceed 50% of the total floor area of the live-work unit

- 1 The landscaped area per lot may be reduced when common open space is provided. In this case, the total landscaped area on lots and common areas must total a minimum of 20%.
- 2 Building height may be increased to a maximum of 45 feet as provided in Figure 1.
- 3 Floor area ratios (FARs) apply to the total floor area in a mixed-use project regardless of the use.

- B. The maximum building height of thirty feet in subsection (a) of this section shall increase one foot for each additional foot of building setback over twenty-five feet from a residential zoning district,

up to a maximum building height of forty-five feet as illustrated in Figure __. In the case of a public street right-of-way lying between the NMU Zone and a residential zone, the setback shall be calculated using the right-of-way centerline in lieu of the property line.

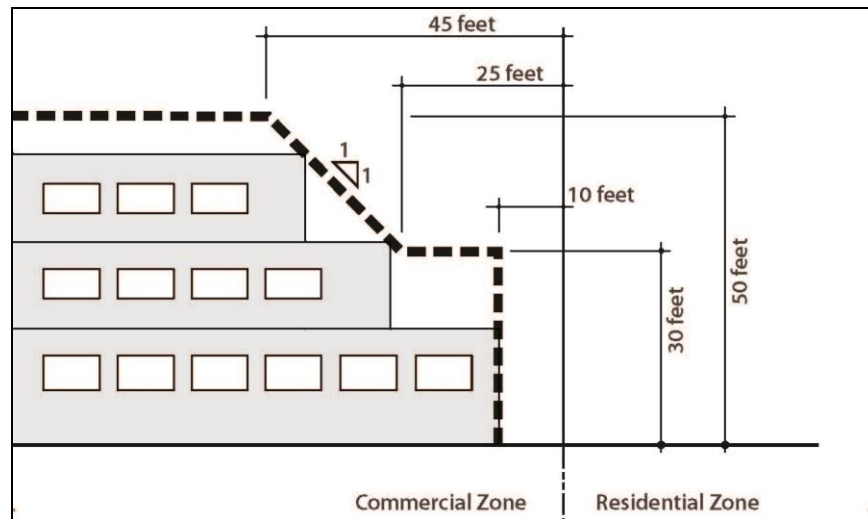


Figure 1 Building Height need to amend showing min. of 35' and max. of 45'

16.102.050 Design requirements.

In addition to the dimensional requirements in Section 16.102.040, the following design requirements of this section shall apply.

- A. Residential development shall comply with the following standards:

Design Requirements Table – Residential Development	
Main entrance	
Location	Within 8 feet of the longest front building wall. The applicant/owner may select which street frontage to use for a corner lot.
Orientation	Face the street at an angle that does not exceed 45 degrees; or Open onto a porch, which has: <ul style="list-style-type: none"> • A minimum of 25 square feet with a minimum dimension of 4 feet; • At least one entrance facing the street; and • A roof that covers at least 30 percent of the porch area (see Figure 2).
Front windows - First floor of all dwellings.	
Minimum glazing area	20 sq. ft. for each building wall facing a street. Windows in entry or garage doors shall not be included to meet this standard.
Maximum window sill height	4 ft. above finished first floor elevation for the window(s) necessary to meet the 20 sq. ft. minimum glazing area standard. No sill height standard for all other windows.

Design Requirements Table – Residential Development	
Garage door frontage - Maximum percentage of the building width allowed for the garage door.	
Single-family detached units	50% when the garage setback is the same or less than the front building wall. The garage door setback shall be no more than 6 feet less than the front building wall setback.
	60% when the garage setback is at least 2 feet behind the front building wall or front porch.
	70% when the garage setback is at least 4 feet behind the front building wall or front porch.
Single-family attached, duplex, multi-family units, and live-work units	30% when the garage setback is less than the front building wall or front porch. 60% when the garage setback is equal to or greater than the front building wall. 70% when the garage setback is at least 4 feet behind the front building wall or front porch.
Minimum garage door width	Notwithstanding the above requirements for garage door widths, a residence shall be permitted to have one garage door that is up to 10 feet wide.
Attached units	
Maximum number of attached single family, multi-family units, or live-work units	12 units.
Required outdoor area	
Duplex, single-family attached, detached single-family units with one 0-foot setback, and live-work units	Minimum contiguous rear or side yard outdoor area of 200 square feet shall be provided on each lot, of which no dimension shall be less than 10 feet. This standard is not required when the garage for the residence is located in the rear yard.
Multi-family units	Minimum contiguous rear or side yard outdoor area of 200 square feet shall be provided for each unit on the lot, of which no dimension shall be less than 15 feet.
Common outdoor area alternative	In lieu of meeting the outdoor area requirements for each lot, a common outdoor area may be provided for the development. This common outdoor area shall have a minimum contiguous area of 400 square feet per unit in the development with a minimum size of 4,000 square feet, of which no dimension shall be less than 40 feet.

B. Non-residential and mixed-use development shall comply with the following standards:

Design Requirements Table: Non-Residential and Mixed-Use Development	
Main building entrance	
Location and Orientation	<p>Primary customer and/or resident entrances for buildings with frontage on a collector or arterial street shall meet one of the following:</p> <ul style="list-style-type: none"> • Be within 20 feet of, and facing the street upon which the building has frontage; or • Be located on the side of the building within 50 feet direct walking distance from the public sidewalk along the collector or arterial street. <p>For buildings that have more than one main entrance, only one entrance must meet this requirement.</p>
Front windows – Ground floor of all building facades facing a street.	
Minimum glazing area	40% for any ground floor building wall facing a street (Figure 2).
Operable front windows	Windows that are designed to open join interior and exterior spaces during temperate weather may be used to satisfy the minimum glazing area standard. This may include the glazed area on operable doors that are supplemental to the main entry door.
Maximum window sill height	4 feet above finished first floor elevation for the window(s) necessary to meet the minimum glazing area standard. No sill height standard for all other windows.
Distinct ground floor – commercial uses	
Office and retail sales and service (sales-, personal service- and entertainment-oriented)	<p>This standard applies to buildings that have any floor area in non-residential uses. The ground level of the primary structure must be visually distinct from upper stories. This separation may be provided by:</p> <ol style="list-style-type: none"> 1. A cornice above the ground level; 2. An arcade; 3. Changes in material or texture; or 4. A row of clerestory windows on the building's street facing elevation.
Garage door frontage - Maximum percentage of the building width allowed for the garage door.	
Minimum garage door width	Notwithstanding the above requirements for garage door widths, a residence shall be permitted to have one garage door that is up to 10 feet wide.
Required outdoor area	
Office and retail sales and service (sales-, personal service- and entertainment-oriented)	<i>Discussion item</i>

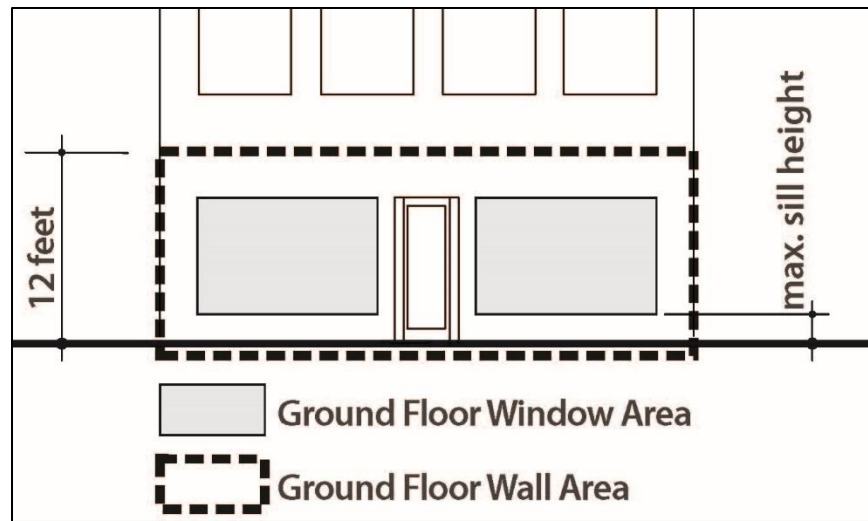


Figure 2 Minimum Glazing Area

16.102.060 Additional requirements.

A. Outdoor Display.

1. Except as provided in subsection B of this section, all business and display of merchandise shall be conducted wholly within an enclosed building.
2. Subject to an administrative review and approval by the city manager, outdoor storage and display may be permitted when all of the following conditions are satisfied:
 - a. The amount of outdoor storage and display of merchandise does not exceed five percent of the gross floor area of the business;
 - b. Pedestrian, bicycle, wheel chair and motor vehicle access to and within the property is not impeded in any way;
 - c. The outdoor storage and display is in conformity with any conditions of development permit or building permit approval; and
 - d. The outdoor storage and display satisfies all relevant provisions of this title and other applicable requirements of this code.

B. Outdoor Activities.

1. Exterior work activities are prohibited in the NMU Zone.
2. Outdoor eating areas, entertainment, outdoor markets, and similar activities are allowed in the NMU Zone. Outdoor work activities, including product storage or assembly are prohibited.
3. Permitted outdoor activities shall be located a minimum of 20 feet from any adjacent residential zoning district. This setback area shall be landscaped and include a solid wall or fence with a minimum height of 6 feet to enhance privacy and attenuate potential noise impacts.
4. Outdoor speakers – *discussion item*

C. Surface Parking Location.

- a. Surface parking shall be prohibited between the front of buildings and the front lot line;
- b. Surface parking shall be located a minimum of 10 feet from any adjacent residential zoning district. This setback area shall be landscaped and include a wall or fence with

a minimum height of 6 feet or evergreen vegetation that would provide screening equivalent to a fence.

- c. Surface parking located along a street frontage shall have a landscape buffer with a minimum width of 5 feet that is designed to provide screening of vehicles.

D. Loading and Service Areas and Mechanical Equipment.

- 1. All loading areas, exterior garbage cans, garbage collection and recycling areas shall be screened from the street and adjacent properties. Fencing and/or landscaping of sufficient density and height shall be provided to screen such areas from view.
- 2. Mechanical equipment located on the ground, such as heat pumps, cooling equipment, and generators shall be screened from the street and any adjacent residentially zoned properties.
- 3. Mechanical equipment placed on roofs must be screened with a parapet or other screen around the equipment that is as tall as the highest point of the equipment.
- 4. In addition to the above requirements for mechanical equipment, exhaust fans for kitchens shall be located a minimum of 50 feet from a residential zone.

E. Exterior Lighting.

- 1. On-site pedestrian walkways must be lighted to a level where the circulation system can be used at night by employees, residents, and customers.
- 2. Exterior lighting shall be located and designed to not shed light or glare on nearby properties.

F. Exterior finish materials – *discussion item*

G. Hours of Operation.

To maintain a compatible relationship with surrounding residential uses, business hours shall be between the hours of eight a.m. to midnight (11:59 p.m.). No business shall be conducted outside of these time limits unless approved as a conditional use as provided in this title.

ADDITIONAL CDC AMENDMENTS

16.24.020 Definition of Specific Terms.

“Live-work unit” means a dwelling unit where residential and nonresidential spaces are combined and where the dwelling unit is the principal residence of the business operator/proprietor. Nonresidential spaces are typically located on the ground floor and residential spaces are located on upper floors or the rear of the building.

“Floor area ratio (FAR)” means the amount of building floor area in relation to the amount of site area, expressed in square feet. For example, a floor area ratio of 2 to 1 means there is 2 square feet of floor area for every 1 square foot of site area. Public utility easements may be excluded from the site area when calculating the FAR.

RELATED COMPREHENSIVE PLAN AMENDMENTS WEST KING CITY PLANNING AREA

PLAN IMPLEMENTATION

Commercial and Retail Opportunities

As noted above, residential development is the primary use intended for the West King City Planning Area. Commercial and retail opportunities presently exist along SW Pacific Highway, located approximately 1/3 mile to the east. As shown in Figure 2, there are several improved pedestrian and bi-cycle connections between the West King City Planning Area and these commercial services.

To provide additional opportunities for neighborhood-serving commercial uses, a Neighborhood Mixed-Use designation is included as a land use type, which could be applied in the West King City Planning Area. This would require a Comprehensive Plan Amendment and Zone Change, which is consistent with King City Comprehensive Plan.

Land Use Designations and Location Criteria

The local criteria are intended to provide guidance for the Planning Commission and City Council when land use designations for specific area within the City are proposed to be amended. These criteria describe the basic characteristics a property or properties should have to be eligible for a particular land use designation. The primary characteristics of the City land use designations are first described followed by location criteria. It is intended that these location criteria, associated with each land use designation, be construed in a flexible manner, in the interest of accommodating proposals which may not comply with all the applicable criteria but are found to be in the public interest and capable of harmonious integration into the community. The burden to prove a proposal's conformity with the Comprehensive Plan should vary according to the degree of change and impact on the community. The more significant the change or potential impact, the more strictly the criteria should be interpreted.

Low Density Residential

SF - Single Family Residential:

This land use designation is intended to apply to established single family residential properties within the City prior to June 5, 1991.

R-9 - Small Lot and Attached Residential:

This land use designation is intended to apply to annexed properties that were zoned R-9 in Washington County or that are within the West King Planning Area. (Ord. O-02-4 § 1 (part), 2002)

Purpose of the SF and R-9 Designations:

These two designations are intended for detached single family residential use on lots larger than two thousand eight hundred square feet in size. In addition, the R-9 zone permits attached single family dwellings, and residential care facilities. (Ord. O-02-4 § 1 (part), 2002)

Location Criteria:

Properties designated SF or R-9 should have the following location characteristics:

1. Direct Access to collector and local streets. Generally, these designations should apply to land which does not have direct access to major collector and arterial routes.
2. Land that is not suitable for more intensive development because of natural constraints such as unstable soils, poor drainage, and flooding.
3. Land that is not suitable for more intensive development because of limited facility and service capacity. The important facilities and services to be considered include, but are not limited to, sewer, water, storm drainage, police and fire protection, health services, public transit, and street capacity.
4. No commitment of the immediate area to medium high density residential or commercial development.

Medium Density Residential**A/T - Apartment/Townhouses:**

This land use designation is intended to apply to established residential properties within the City prior to June 5, 1991.

R-12 Attached Residential:

This land use designation is primarily intended to apply to properties within the West King City Planning Area. (Ord. O-02-4 § 1 (part), 2002)

R-15 - Multi-family Residential:

This land use designation is intended to apply to annexed properties that were zoned R-15 in Washington County.

Purpose of the A/T R-12, and R-15 Designations:

These three designations allow for multi-family residential development in addition to the single family residences and residential care facilities of the SF and R-9 designations. The A/T designation requires a maximum of one unit per two thousand five hundred square feet of land area (approximately sixteen units per acre) and the R-12 and R-15 designations allow maximum densities of twelve and fifteen units per acre, respectively. (Ord. O-02-4 § 1 (part), 2002)

Location Criteria:

Properties designated A/T or R-15 should have the following location characteristics:

1. Direct access to collector or arterial streets.
2. No natural development limitations such as unstable soils or flooding that affect significant portions of the property.
3. Facility and service capacity that is adequate to accommodate development of this density. The important facilities and services to be considered include but are not limited to sewer, water, storm drainage, police and fire protection, health services, public transit, and street capacity.
4. The availability of public transit within one-half mile of the site.

Medium High Density Residential

R-24 - Multi-family Residential:

This land use designation is intended to apply to annexed properties that were zoned R-24 in Washington County or to properties that are found to be consistent with these criteria and Comprehensive Plan policies.

Purpose of the R-24 Designation:

This designation allows for the same array of uses as the A/T and R-15 designations but with an allowed maximum density of 24 units per acre.

Location Criteria:

Properties designated R-24 should have the following location characteristics:

1. Direct access to collector or arterial streets.
2. No natural development limitation such as unstable soils or flooding that affect significant portions of the property.
3. Sufficient facility and service capacity to accommodate this type of commercial development. The important facilities and services to be considered include but are not limited to sewer, water, storm drainage, police and fire protection, parks, health services, public transit, and street capacity.
4. Opportunities will be available to achieve a compatible relationship with surrounding land uses including but not limited to:
 - The site configuration and characteristics that allow for the privacy of adjacent residential uses.
 - Activities on the site that will not interfere with nearby residential uses.
 - The availability of public transit within one-quarter mile of the site.
 - Commercial services within one-half mile of the site.
5. No commitment of the immediate area to low or medium density residential development.

Mixed Use

NMU – Neighborhood Mixed-Use:

This land use designation is intended to apply to properties, which are within or adjacent to existing or future residential neighborhoods.

Purpose of the NMU Designation:

This designation allows for a mix of neighborhood-scale commercial and medium density residential uses. It allows for medium density residential development consistent with the R-12 designation, neighborhood serving businesses, or a combination of commercial and residential uses in one development.

Location Criteria:

Properties designated NMU should have the following location characteristics.:

1. The site shall have direct access to a collector or arterial street.

2. Sufficient facility and service capacity to accommodate this type of development. The important facilities and services to be considered include but are not limited to sewer, water, storm drainage, police and fire protection, health services, public transit, and street capacity.
3. Traffic congestion, parking, or safety problems shall not be created or exacerbated by commercial development on the site. This determination shall be based upon such considerations as street capacity, existing and projected traffic volumes, speed limits, number and type of turning movements, and the traffic generating characteristics of the potential commercial and residential activities on the site.
4. No natural development limitations such as unstable soils or flooding that affect significant portions of the property.
5. Opportunities will be available to achieve a compatible relationship with surrounding land uses including but not limited to:
 - The site configuration and characteristics that allow for the privacy of adjacent residential uses.
 - Commercial activities on the site that will not interfere with nearby residential uses.
6. Significant unique natural features on the site which can be maintained.

Commercial

LC - Limited Commercial:

This land use designation applies to all commercial properties in the City.

Purpose of the LC Designation:

The City commercial center provides a mix of retail, service and business needs for the community. This commercial area, identified in the King City Comprehensive Plan and the Bull Mountain Community Plan, is located along Pacific Highway.

Location Criteria:

Properties designated LC should have the following location characteristics.:

1. The site shall have direct access to a major collector or arterial street.
2. Sufficient facility and service capacity to accommodate this type of commercial development. The important facilities and services to be considered include but are not limited to sewer, water, storm drainage, police and fire protection, health services, public transit, and street capacity.
3. Traffic congestion or safety problems shall not be created or exacerbated by commercial development on the site. This determination shall be based upon such considerations as street capacity, existing and projected traffic volumes, speed limits, number and type of turning movements, and the traffic generating characteristics of the potential commercial activities on the site.
4. No natural development limitations such as unstable soils or flooding that affect significant portions of the property.
5. Opportunities will be available to achieve a compatible relationship with surrounding land uses including but not limited to:
 - The site configuration and characteristics that allow for the privacy of adjacent residential uses.

- Commercial activities on the site that will not interfere with nearby residential uses.
 - Significant unique natural features on the site which can be maintained.
6. Public transit is available to the site or the immediate area.
 7. Contiguity with existing commercial proper-ties.

PUBLIC NOTICE

A public hearing will be held before the King City Planning Commission regarding a proposed new NMU – Neighborhood Mixed-Use Zone in the King City Community Development Code (CDC). This new zoning district is intended to allow a mix of medium density residential and neighborhood-scale commercial uses. This proposed CDC amendment also requires minor amendments to the King City Comprehensive Plan to recognize this new zoning designation. If adopted, this new zoning district could be applied to land within the city. The approval criteria for evaluating the proposed CDC and plan amendments include:

- King City Comprehensive Plan;
- Statewide planning goals.

The Planning Commission will consider public testimony regarding a draft NMU – Neighborhood Mixed-Use Zone. The purpose of the hearing will be for the Planning Commission to make a formal recommendation about the draft amendments for consideration by the King City Council hearing, which will be advertised.

Failure of an issue to be raised in the hearing, in person or by letter, or failure to provide sufficient specificity to afford the approval authority an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals based on that issue.

The public hearing before the Planning Commission is scheduled for Wednesday, April 11, 2018 at 9:30 a.m., at King City Hall, located at 15300 SW 116th Avenue, King City, OR 97224.

Copies of the draft NMU – Neighborhood Mixed-Use Zone are available at King City Hall, 15300 SW 116th Avenue. In addition, the plan draft and all of the materials related to the development of the plan may be found on the city's website at http://www.ci.king-city.or.us/government/public_notices/wed_april_11_2018_planning_commission_hearing.php

Questions and requests for additional information should be directed to:

Michael Weston, City Manager
mweston@ci.king-city.or.us
503.639.4082

Keith Liden, Contract City Planner
Keith.liden@gmail.com
503.757.5501

CERTIFICATE OF NOTICE POSTED TO NEWS MEDIA

STATE OF OREGON
WASHINGTON COUNTY
CITY OF KING CITY

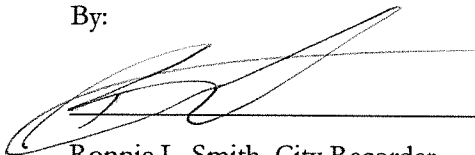
RE: PROPOSED NMU – NEIGHBORHOOD
MIXED-USE ZONE PUBLIC NOTICE

RECITALS

I, Ronnie L. Smith certify that I email the attached Public Notice to the Oregonian on March 28, 2018 for a full run on March 30, 2018

So Affirmed this 4 Day of April 2018

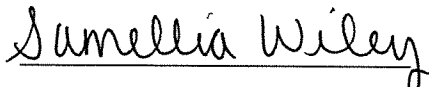
By:



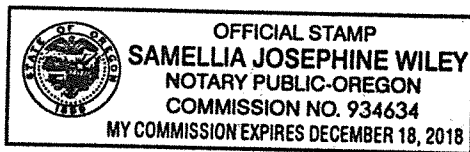
Ronnie L. Smith, City Recorder

STATE OF OREGON
COUNTY OF WASHINGTON COUNTY

Signed and affirmed before me on 4-4-18 2018, by Ronnie L. Smith.



Notary Public – State of Oregon



Notary Stamp



Order Confirmation

Ad Order Number 0008582461

Customer

CITY OF KING CITY
 Account: 1000816725
 CITY OF KING CITY
 15300 SW 116TH AVE
 KING CITY OR 97224 USA
 (503)639-4082

FAX:
 msanjuan@ci.king-city.or.us

Payer Customer

CITY OF KING CITY
 Account: 1000816725
 CITY OF KING CITY
 15300 SW 116TH AVE
 KING CITY OR 97224 USA
 (503)639-4082

PO Number NMU Notice

Sales Rep. Kimberlee O'Neill

Order Taker Kimberlee O'Neill

Order Source Rep

Special Pricing

Tear Sheets	0	TearsheetsCost	\$0.00	Net Amount	\$511.15
Proofs	0			Tax Amount	\$0.00
Affidavits	1	AffidavitsCost	\$0.00	Total Amount	\$511.15
Blind Box				Payment Method	Invoice
Promo Type	OR Legal Ad 1x			Payment Amount	\$0.00
Materials				Amount Due	\$511.15
Invoice Text	NMU Notice				

Ad Schedule

Product	The Oregonian::Full Run OR	Placement/Class	Announcements
# Inserts	1	POS/Sub-Class	PublicNotices
Cost	\$496.15	AdNumber	0008582461-01
Ad Type	OR CLS Legal	Ad Size	2 X 40 li
Pick Up #		Ad Attributes	
External Ad #		Color	<NONE>
Production Method	OR AdBooker	Production Notes	
Run Dates	Sort Text	PUBLICNOTICEAPUBLICHEARINGWILLBEHELDBEFORETHEKINGCITYPLANNINGCOMMISSIONREGARDINGAPROPO	
03/30/2018			

Product	OregonLive.com	Placement/Class	Announcements
# Inserts	7	POS/Sub-Class	PublicNotices
Cost	\$15.00	AdNumber	0008582461-01
Ad Type	OR CLS Legal	Ad Size	2 X 40 li
Pick Up #		Ad Attributes	
External Ad #		Color	<NONE>
Production Method	OR AdBooker	Production Notes	
Run Dates	Sort Text	PUBLICNOTICEAPUBLICHEARINGWILLBEHELDBEFORETHEKINGCITYPLANNINGCOMMISSIONREGARDINGAPROPO	
03/30/2018, 03/31/2018, 04/01/2018, 04/02/2018, 04/03/2018, 04/04/2018, 04/05/2018			

Ad Content Proof

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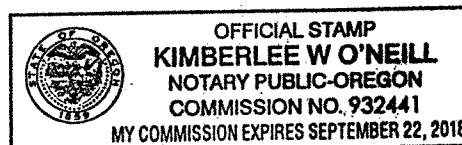
Michael Weston, City Manager	Keith Liden, Contract City Planner
mweston@ci.king-city.or.us	Keith.liden@gmail.com
503-639-4082	503-757-5501

State of Oregon,) ss
County of Multnomah)

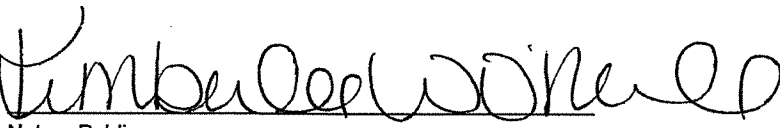
Justin Eubanks being duly sworn, deposes that he/she is principal clerk of Oregonian Media Group; that The Oregonian is a public newspaper published in the city of Portland, with general circulation in Oregon, and this notice is an accurate and true copy of this notice as printed in said newspaper, was printed and published in the regular edition and issue of said newspaper on the following date(s):

The Oregonian 03/30/2018


Principal Clerk of the Publisher



Sworn to and subscribed before me this 2nd day of April 2018


Notary Public

PUBLIC NOTICE

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- King City Comprehensive Plan;
- Statewide planning goals.

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Questions and requests for additional information should be directed to:

Michael Weston, City Manager	Kelth Ilden, Contract City Planner
mweston@ci.king-city.or.us	Kelth.Ilden@gmail.com
503-639-4082	503-757-5501



NOTICE OF A PROPOSED CHANGE TO A COMPREHENSIVE PLAN OR LAND USE REGULATION

FOR DLCD USE

File No.:

Received:

Local governments are required to send notice of a proposed change to a comprehensive plan or land use regulation **at least 35 days before the first evidentiary hearing**. (See [OAR 660-018-0020](#) for a post-acknowledgment plan amendment and [OAR 660-025-0080](#) for a periodic review task). The rules require that the notice include a completed copy of this form.

Jurisdiction: **City of King City**Local file no.: **2018-02**

Please check the type of change that best describes the proposal:

- ☐ **Urban growth boundary (UGB) amendment** including more than 50 acres, by a city with a population greater than 2,500 within the UGB
- ☐ **UGB amendment** over 100 acres by a metropolitan service district
- ☐ **Urban reserve designation**, or amendment including over 50 acres, by a city with a population greater than 2,500 within the UGB
- ☐ **Periodic review task** – Task no.:
- ☒ **Any other change** to a comp plan or land use regulation (*e.g.*, a post-acknowledgement plan amendment)

Local contact person (name and title): Keith Liden, Contract City Planner

Phone: 503.757.5501 E-mail: keith.liden@gmail.com

Street address: 15300 SW 116th Ave. City: King City Zip: 97224-

Briefly summarize the proposal in plain language. Please identify all chapters of the plan or code proposed for amendment (maximum 500 characters):

Create a new neighborhood mixed-use zone that allows a mix of medium residential and neighborhood-scale commercial uses. Includes a new chapter and definitions in the Community Development Code as well as supporting amendments in the King City Comprehensive Plan.

Date of first evidentiary hearing: 04/11/2018

Date of final hearing: 05/16/2018

- ☐ This is a revision to a previously submitted notice. Date of previous submittal:

Check all that apply:

- ☒ Comprehensive Plan text amendment(s)
- ☐ Comprehensive Plan map amendment(s) – Change from _____ to _____
Change from _____ to _____
- ☒ New or amended land use regulation
- ☐ Zoning map amendment(s) – Change from _____ to _____
Change from _____ to _____
- ☐ An exception to a statewide planning goal is proposed – goal(s) subject to exception:
- ☐ Acres affected by map amendment:

Location of property, if applicable (site address and T, R, Sec., TL):

List affected state or federal agencies, local governments and special districts:

NOTICE OF A PROPOSED CHANGE – SUBMITTAL INSTRUCTIONS

1. Except under certain circumstances,¹ proposed amendments must be submitted to DLCD's Salem office at least 35 days before the first evidentiary hearing on the proposal. The 35 days begins the day of the postmark if mailed, or, if submitted by means other than US Postal Service, on the day DLCD receives the proposal in its Salem office. **DLCD will not confirm receipt of a Notice of a Proposed Change unless requested.**

2. A Notice of a Proposed Change must be submitted by a local government (city, county, or metropolitan service district). DLCD will not accept a Notice of a Proposed Change submitted by an individual or private firm or organization.

3. **Hard-copy submittal:** When submitting a Notice of a Proposed Change on paper, via the US Postal Service or hand-delivery, print a completed copy of this Form 1 on light green paper if available. Submit **one copy** of the proposed change, including this form and other required materials to:

Attention: Plan Amendment Specialist
Dept. of Land Conservation and Development
635 Capitol Street NE, Suite 150
Salem, OR 97301-2540

This form is available here:

<http://www.oregon.gov/LCD/forms.shtml>

4. **Electronic submittals** of up to 20MB may be sent via e-mail. Address e-mails to plan.amendments@state.or.us with the subject line "Notice of Proposed Amendment."

Submittals may also be uploaded to DLCD's FTP site at http://www.oregon.gov/LCD/Pages/papa_submittal.aspx.

E-mails with attachments that exceed 20MB will not be received, and therefore FTP must be used for these electronic submittals. **The FTP site must be used for all .zip files** regardless of size. The maximum file size for uploading via FTP is 150MB.

Include this Form 1 as the first pages of a combined file or as a separate file.

5. **File format:** When submitting a Notice of a Proposed Change via e-mail or FTP, or on a digital disc, attach all materials in one of the following formats: Adobe .pdf (preferred); Microsoft Office (for example, Word .doc or docx or Excel .xls or.xlsx); or ESRI .mxd, .gdb, or .mpk. For other file formats, please contact the plan amendment specialist at 503-934-0017 or plan.amendments@state.or.us.

6. **Text:** Submittal of a Notice of a Proposed Change for a comprehensive plan or land use regulation text amendment must include the text of the amendment and any other information necessary to advise DLCD of the effect of the proposal. "Text" means the specific language proposed to be amended, added to, or deleted from the currently acknowledged plan or land use regulation. A general description of the proposal is not adequate. The notice may be deemed incomplete without this documentation.

7. **Staff report:** Attach any staff report on the proposed change or information that describes when the staff report will be available and how a copy may be obtained.

8. **Local hearing notice:** Attach the notice or a draft of the notice required under ORS 197.763 regarding a quasi-judicial land use hearing, if applicable.

9. **Maps:** Submittal of a proposed map amendment must include a map of the affected area showing existing and proposed plan and zone designations. A paper map must be legible if printed on 8½" x 11" paper. Include text regarding background, justification for the change, and the application if there was one accepted by the local government. A map by itself is not a complete notice.

10. **Goal exceptions:** Submittal of proposed amendments that involve a goal exception must include the proposed language of the exception.

¹ 660-018-0022 provides:

(1) When a local government determines that no goals, commission rules, or land use statutes apply to a particular proposed change, the notice of a proposed change is not required [a notice of adoption is still required, however]; and

(2) If a local government determines that emergency circumstances beyond the control of the local government require expedited review such that the local government cannot submit the proposed change consistent with the 35-day deadline, the local government may submit the proposed change to the department as soon as practicable. The submittal must include a description of the emergency circumstances.

<http://www.oregon.gov/LCD/Pages/forms.aspx>

If you have any questions or would like assistance, please contact your DLCD regional representative or the DLCD Salem office at 503-934-0017 or e-mail plan.amendments@state.or.us.

Notice checklist. Include all that apply:

- ☒ Completed Form 1
- ☒ The text of the amendment (e.g., plan or code text changes, exception findings, justification for change)
- ☐ Any staff report on the proposed change or information that describes when the staff report will be available and how a copy may be obtained
- ☐ A map of the affected area showing existing and proposed plan and zone designations
- ☐ A copy of the notice or a draft of the notice regarding a quasi-judicial land use hearing, if applicable
- ☐ Any other information necessary to advise DLCD of the effect of the proposal

MEMORANDUM

To: King City Planning Commission
From: Ronnie Smith and Mike Weston
Subject: Fastsigns Beaverton/King City Senior Village
Date: April 5, 2018

GENERAL INFORMATION

The report presented by staff is per the City Municipal Code Chapter 16.148 (Signs.)

FastSigns Beaverton submitted a sign application for their client King City Senior Village. The non-illuminated sign will be placed at the building entrance with stone posts and steel brackets.

CRITERIA

City Municipal Code Chapter 16.148 (Signs.)

AGENCY COMMENTS

None.

FINDINGS AND CONCLUSIONS

The overall dimensions of the proposed sign are 5' H X 10' W. This sign complies with City Municipal Code Chapter 16.148.110 Prohibited signs and advertising devices.

The relevant criteria are contained and addressed throughout the City Municipal Code Chapter 16.148 (Signs.)

RECOMMENDATION

Based on the facts, findings and conclusions contained in the application and City Municipal Code Chapter 16.148 (Signs,) City Staff requests that the Planning Commission recommend approval of 2018-01-SA Fastsigns Sign Application.

ATTACHMENTS

City Municipal Code Chapter 16.148 (Signs.)

Chapter 16.148

SIGNS

Sections:

- 16.148.010 Title and purpose.
- 16.148.020 General provisions.
- 16.148.030 Commercial, office and business signs.
- 16.148.040 Public and semi-public signs.
- 16.148.050 Residential use signs.
- 16.148.060 Signs not requiring permits.
- 16.148.070 Temporary signs.
- 16.148.080 Exempt signs.
- 16.148.090 Nonconforming signs and uses.
- 16.148.100 Nuisance signs.
- 16.148.110 Prohibited signs and advertising devices.
- 16.148.120 Sign maintenance.
- 16.148.130 Criteria for sign permits—All signs.
- 16.148.140 Planning commission review.
- 16.148.150 Permits—Approval and fees.
- 16.148.160 Variances.
- 16.148.170 Inspection.
- 16.148.180 Appeals process.
- 16.148.190 Enforcement.
- 16.148.200 Responsibility for violations.
- 16.148.210 Penalties.
- 16.148.220 Cumulative remedies.

16.148.010 Title and purpose.

This chapter shall be referred to as the sign ordinance of the city and may be referred to in this chapter as this chapter. The purpose of this chapter is to protect the health, safety, property and welfare of the public through the establishment of standards to regulate the erection, location, maintenance and use of signs. The goals of this chapter are:

A. To maintain an uncluttered and attractive appearance in the community and to improve the effectiveness of signs in identifying and advertising businesses;

B. To provide equity and effectiveness in displaying identification signs by establishing regulations on size and location of such signs;

C. To promote public safety by ensuring that traffic regulating devices be easily visible and free from nearby visual obstructions, from signs resembling official signs and from excessive numbers of signs;

D. To ensure that signs are compatible with their surroundings;

E. To guide and regulate the design, materials, construction, location, illumination and maintenance of all signs and sign structures to be located within the city, and adjacent boundaries. (Ord. 96-4 § 1 (part), 1996)

16.148.020 General provisions.

No person shall erect, construct, alter, relocate, maintain or use any sign unless a sign permit has been issued or the sign has been exempted by provisions of this chapter. (Ord. 96-4 § 1 (part), 1996)

16.148.030 Commercial, office and business signs.

Commercial, office and business district signs shall comply with all provisions and regulations of this chapter:

A. Freestanding Signs. Freestanding signs for commercial, office and other business uses are permitted subject to the following requirements:

1. Number. One double faced freestanding sign, identifying only the name of the development and no more than two of the principal uses of the premises, shall be permitted for a development.

2. Height and Area. The sign height shall not exceed twenty-five feet. The maximum sign area shall not exceed one hundred square feet per sign face.

3. Location. No freestanding sign or any part thereof shall be located on or over any portion of a public right-of-way or property line.

B. Freestanding Directory Signs. In addition to freestanding signs, freestanding directory signs are permitted only for office but not for commercial uses, and are subject to the following restrictions. Such

signs shall be limited to identifying the buildings and the names of tenants or occupants.

1. Number. One double-faced freestanding directory sign shall be permitted for each development containing one multiple tenant building or group of architecturally related buildings. For developments with vehicle entrances on more than one street frontage, an additional directory sign may be permitted at such additional entrance.

2. Height and Area. The sign height shall not exceed seven feet with the face area not exceeding forty-two square feet.

3. Location. No sign or any part thereof shall be located on or over any portion of a public right-of-way or property line. The sign shall be located for viewing from the development by potential users of the development who have already entered onto the site. A freestanding directory sign shall not be attached to any other freestanding sign.

C. Wall Signs. In addition to any other permitted sign, wall signs are permitted for commercial use, subject to the following requirements:

1. Number.

a. Walls Used. No more than two exterior walls shall be used for wall signs. Single tenant buildings shall use only two walls. Multiple tenant buildings shall use only the exterior walls which correspond with the portion of the building the tenant occupies.

b. Signs. The permitted sign area per wall which has been designated to be used for wall signs may be divided among a maximum of three signs.

2. Area.

a. Single Tenant Building. Except as otherwise provided, the sign area of a wall sign, or combination of wall signs, shall not exceed ten percent (up to a maximum of two hundred fifty square feet) of the area of the wall to which it is attached. For the purpose of this regulation, the area of the wall is determined by multiplying the height of the wall from the ground level to eaves or top of the fascia by length of the wall. If the building contains two stories or more, the height of the wall is measured from the ground level to the top of the second story.

b. Multiple Tenant Building. Except as otherwise provided, the sign area of a wall sign or a com-

bination of wall signs, shall not exceed ten percent (up to a maximum of two hundred fifty square feet) of the area of the wall to which it is attached. For the purpose of this regulation, the area level to eaves or top of fascia by the length of the wall corresponding with the portion of the building the tenant occupies. If a tenant occupies two or more floors of a multiple story building, the height of the wall is measured from ground level to the top of the second story.

c. Location. No sign shall extend above the line of the buildings eaves, the bottom of the fascia or above the second story of a multiple story building.

D. Window Signs. In addition to other permitted signage, window signs are permitted for commercial, office or business uses subject to the following requirements:

1. Number. No more than one window sign shall be permitted per building of a single tenant building, or for each tenant in a multiple tenant building.

2. Area. The sign area shall not exceed twenty percent of the total area of the window or group of windows in which it is placed. Window signs may be substituted for permitted wall signage, as long as there is corresponding reduction of permitted wall sign area.

E. Shingle Signs. In addition to other permitted signage, shingle signs are permitted for commercial or office uses, subject to the following requirements:

1. Number. No more than one shingle sign shall be permitted for each tenant in any building.

2. Area. The sign area shall not exceed six square feet per sign (two feet by three feet) with its depth not exceeding four inches. Shingle signs may be substituted for permitted wall signage, as long as there is a corresponding reduction of permitted wall sign area.

3. Height. All shingle signs shall have a clearance of not less than eight and one-half feet between the lowest portion of the sign and ground level. No shingle sign, or part thereof, shall be located above the second story of a building, or above the line of the eaves or the top of the fascia wall.

4. Location. A shingle sign may project out from a building, but shall be perpendicular to the

building and horizontal to the ground level. No shingle sign shall project out diagonally from the corner of the building. No more than six inches shall separate the sign from the wall to which it is attached. The sign shall not extend over a public right-of-way, except a sidewalk.

5. Illumination. A shingle sign shall not be internally illuminated.

F. Entrance or Exit Signs. In addition to any other permitted signage, no more than one sign designating an entrance or exit shall be permitted at each driveway serving a development. Such signs shall be limited to "in," "out," "entrance" or "exit." Such signs shall not exceed eight square feet in sign area and four feet in height.

G. Readerboard Signs. Readerboard signs are prohibited except for theater marquees advertising only current presentations, and automobile service stations advertising only fuel prices. No more than one readerboard sign shall be permitted for each theater and automobile service station. Only permanently attached readerboard signs are allowed after permit is obtained.

H. Automobile Service Station Signs. In addition to other sections of this chapter, automobile service stations shall comply with the following requirements:

1. All price signs shall be permanently affixed to the building or a freestanding sign;
2. Price signs may be double-faced, but shall not exceed six square feet in area per face or as required by state or federal law;
3. The maximum permitted freestanding and wall sign area shall be reduced by the sign area devoted to price signs;
4. Signs not to exceed five square feet in area shall be permitted on each pump face.

I. Bulletin Boards. Retail business, banks and organizations shall be allowed a bulletin board in addition to other permitted signs. The bulletin board shall not exceed twelve square feet in sign area and six feet in height. A permit is required.

J. Roof Signs. Signs erected and maintained upon or against a sloped roof of a building, including

a sign attached to any structure containing mechanical equipment.

1. Roof signs will not be permitted except for tenants who have a total square footage of five thousand square feet.

2. Permit applications for a roof sign will be given based on the total square footage of a single tenant in a multi-tenant building whose square footage is five thousand square feet or greater. The sign location on a lower slope not to exceed existing signs areas on present building and using the same design, color and material as other signs.

K. Fascia Signs. In addition to other permitted signs, fascia signs are permitted for commercial/office and business uses as follows:

1. Length. A space of no less than twelve inches on each end from the neighboring tenant;
2. Height. The total height shall conform to the overall height of the fascia. It shall not extend above or below the edge of the fascia;
3. Depth, not to exceed twenty inches;
4. Area. Window or wall signs may be substituted for permitted fascia signs as long as there is a corresponding reduction of total permitted signage;
5. Lettering may be internally illuminated by fluorescent lighting or other approved methods. (Ord. 96-4 § 1 (part), 1996)

16.148.040 Public and semi-public signs.

Public and semi-public uses include, but are not limited to, government and special district facilities, community centers, golf courses, libraries, museums and shall be subject to the following requirements:

A. Freestanding Signs. Only one freestanding monument sign shall be permitted not to exceed eighteen square feet in sign area and five feet in height;

B. Entrance or Exit Signs. No more than one sign designating an entrance or exit shall be permitted at each driveway serving the development. Such signs shall be limited to "in," "out," "enter," "entrance," "exit," or similar wording, and the name of the development. Such signs shall not exceed eight feet in sign area and four feet in height.

C. **Wall Signs.** In addition to other permitted signs, wall signs are permitted subject to the following requirements:

1. **Number.**
 - a. Not more than two exterior walls for each building shall be used for wall signs;
 - b. The total permitted sign area for each wall used for wall signs may be divided among a maximum of three signs;
 - c. **Area.** The sign area of a wall sign, or combination of signs, shall not exceed ten percent (up to a maximum of one hundred fifty square feet) of the area of the wall to which the sign is attached. For the purposes of this regulation, the area of the wall is determined by multiplying the height of the wall from the ground level to eaves or top of a fascia by the length of the wall. If the building contains two or more stories, the height of the wall is measured from ground level to the top of the second story.
 - d. **Location.**
 - i. A wall sign shall be attached to the wall from which the permitted sign area is calculated.
 - ii. No sign shall extend above the line of the building's eaves, or the top of the fascia or above the second story of a multiple story building.
- D. **Bulletin Board.** Retail businesses, banks and organizations shall be allowed a bulletin board in addition to other permitted signs. The bulletin board shall not exceed twelve square feet in sign area and six feet in height. A permit is required.
- E. **Government Facilities.** All on-premises signs associated with government facilities shall meet all provisions of this chapter. (Ord. 96-4 § 1 (part), 1996)

16.148.050 Residential use signs.

Residential uses shall be permitted the following signs: identification sign. Subdivision, condominium developments, multi-family developments shall be allowed one, indirectly illuminated, free-standing monument sign or wall sign. The sign shall not exceed eighteen square feet in area and five feet in height. For developments with more than one vehicle entrance, an additional sign may be permitted at such additional entrance. Phased

subdivisions shall be considered a single subdivision for determining permitted signs under this section. (Ord. O-03-2 § 1 (part), 2003; Ord. 96-4 § 1 (part), 1996)

16.148.060 Signs not requiring permits.

The following signs do not require a permit but are subject to the provisions of this chapter:

A. **Incidental signs** shall not exceed two square feet in area per business.

B. **Name plates and postal address signs** shall not exceed two square feet in area and shall be part of the building or attached as a wall sign.

C. **No trespassing, keep out, danger and warning signs** shall not exceed two square feet in area.

D. **Real Estate Signs—Residential Real Estate Signs—Single-Family, Duplex, and Multi-family Units.** The owner or authorized representative of a single-family, duplex or multi-family unit may erect the following real estate signs:

1. **On-premises.** One double-faced, freestanding sign on the property front is permitted. It shall not exceed four square feet in area. The sign shall be removed from the property within thirty days of sale or immediately after transfer of possession, whichever occurs first.

2. **Reserved.**

3. **Residential Subdivisions and Undeveloped Land.** Signs advertising more than three contiguous lots or undeveloped land in a residential planning district shall be limited to one double-faced sign not to exceed sixteen square feet per face or two sixteen square foot single-faced signs. Such signs shall be located on the premises being marketed, not less than five hundred feet apart and shall not exceed eight feet in height. Signs shall be removed within thirty days of sale of undeveloped land, or upon transfer of possession, whichever occurs first.

4. **Commercial and Undeveloped Lands.** Signs advertising in a commercial district and undeveloped land shall be limited to one single-faced or double-faced sign for each street for two years or when ninety percent of the number of lots are sold, whichever occurs first.

E. Temporary Window Signs. Such signs shall not obscure more than forty percent of the total transparent area of a window or group of windows.

F. Auction Signs. One freestanding or wall sign may be permitted, subject to the following requirements. It shall be displayed no sooner than one week prior to the date of the auction. The sign shall not exceed twenty-one square feet in area per face and eight feet in height. Such signs shall be removed no later than the day following the auction. (Ord. O-08-02 § 1 (part), 2008; Ord. O-03-2 § 1 (part), 2003; Ord. 96-4 § 1 (part), 1996)

16.148.070 Temporary signs.

A. Temporary Sign Permit Application. An application shall be submitted on forms prescribed by the city manager. The application shall include the size of the sign, a description of the proposed location of the sign, and the length of time the sign will be displayed. The application shall also contain the name and address of the applicant and the applicant's signature.

B. Fees and Approval. Only the temporary signs cited in subsection C of this section shall be subject to the fees set forth in this chapter, except as otherwise provided. Each temporary sign permit application shall be accompanied by a fee as required by the city's schedule of fees and penalties as approved through resolution of the city council. Application and fees shall be submitted at least five working days prior to the planning commission's monthly meeting. Approval may be given by the city manager, planning commission chairman or planning commission.

C. Grand Opening, Special Event, Special Sale Signs or Banners. The city manager shall have the authority to approve requests for advertising devices, signs or banners for a grand opening, special event or special sale. A permit can be granted for use up to fifteen days. At least sixty days must separate each approved time period. (Ord. 96-4 § 1 (part), 1996)

16.148.080 Exempt signs.

The following signs are exempt from the provisions of this chapter:

A. Signs which are authorized and installed by public utility, telephone or cable television compa-

nies which serve as an aid to public safety, or which show the location of underground facilities;

B. Public signs;

C. Signs not visible or not intended to be read from the public right-of-way or from common areas open to the public;

D. Garage sale signs.
(Ord. 96-4 § 1 (part), 1996)

16.148.090 Nonconforming signs and uses.

Nonconforming signs shall not be altered in any way. Any alteration, relocation or replacement of a nonconforming sign or any part thereof shall require immediate compliance with all provisions of this chapter. If a nonconforming sign is altered, then, the amortization provisions of subsection B of this section shall not apply.

A. All nonconforming signs shall be removed or brought into conformance with the requirements of this chapter no later than two years from the effective date of the ordinance codified in this chapter, unless the original cost or most recent renovation of the signs preceding adoption of the ordinance codified in this chapter exceeds one hundred dollars, in which case, the following schedule applies.

1. If either the original cost of the nonconforming sign or the most recent renovation to the sign preceding adoption of the ordinance codified in this chapter exceeds one hundred dollars, then the sign may be maintained and used only for a limited period of time based on the following schedule:

Sign Cost or Renovation Cost	Maximum Permitted Years from Effective Date of the Ordinance Codified in this Chapter
\$ 101 to \$ 1,000	3 years
1,001 to 3,000	4 years
3,001 to 6,000	5 years
6,001 to 10,000	6 years
over 10,000	7 years

2. The original cost of a nonconforming sign shall be determined by sign value information submitted at the time a sign permit was issued. If such information was not submitted, the property owner shall submit documentation verifying the original cost of the sign. The property owner shall also be responsible for submitting documentation verifying the cost of the most recent renovation to the sign. If such information is not available, the original cost of the sign shall be used in establishing the date of removal or bringing the sign into conformance.

3. After the applicable permitted number of years has elapsed, the status of the sign reverts from nonconforming to illegal and becomes subject to enforcement proceedings.

B. The city manager shall notify owners of property on which nonconforming signs are located of the amortization process and schedule for bringing the signs into conformance or removal, however, failure of the city manager to so notify shall not act to extend the applicable time frame for compliance with the provisions of this chapter. A nonconforming sign which, after the expiration of the applicable maximum permitted years, if not removed, shall be illegal.

1. All signs which comply with the provisions of this chapter and are associated with nonconforming land uses will be allowed to be continued, as long as the nonconforming use retains its status.

2. Signs for which variances were granted prior to the effective date of the ordinance codified in this chapter shall be subject to all portions of this section with the exception of subsection A of this section.

3. A sign legally erected and maintained on property prior to annexation into the city and which fail to conform to the provisions of this chapter, shall be brought into conformance within two years of the effective date of the ordinance codified in this chapter. The amortization schedule in subsection (A)(1) of this section shall not apply to such signs. (Ord. 96-4 § 1 (part), 1996)

16.148.100 Nuisance signs.

A. A sign constitutes a public nuisance under this chapter if:

1. It is in violation of this chapter;

2. It is deposited, left, displayed or located in the public right-of-way without authorization from the city, except a public sign; or

3. It is a sign which, due to location or conditions, poses a threat to the public health, safety or welfare.

B. The city manager is authorized to cause the removal and disposal of any signs which constitute a public nuisance in the following manner:

1. Five days after written notice of the violation is mailed or twenty-four hours after notice is delivered in person to the person owning or controlling the nuisance sign the city manager/planning commission may have the sign removed and stored. The sign shall be stored for thirty days, and if unclaimed within thirty days of removal, it shall be presumed to be abandoned, and may be immediately sold, destroyed or otherwise disposed of.

2. If the nuisance sign is determined by the planning commission to create a hazard to the public, for example, signs on the paved portion of the street or signs placed upon official traffic control signs, the five days advance notice need not be given and the sign may be immediately removed. Notice shall be given within one working day after removal.

3. If the person responsible for the sign is not readily identifiable by the sign itself or by contacting adjacent property owners, the sign may be removed immediately without notice. If within the thirty days storage period, the person responsible for the sign becomes identified, then, notice should be made.

4. If a previous notice has been given that a nuisance sign or substantially similar nuisance sign is again erected or placed (a change of copy or location does not constitute a different sign), any sign may be removed without further notice and stored for thirty days before further disposal. In such event, notice shall be given subsequent to removal and the owner shall be given an opportunity for a hearing before the planning commission to contest the violation and removal. The request for a hearing shall be made within three work days after removal and the hearing shall be held within ten work days after removal. The scope of the hearing shall be limited to whether there was a subsequent violation and whether the sign was

a nuisance. Upon request, a written decision shall be made concerning the violation and removal procedure. The decision of the planning commission may be appealed to the city council as provided by ordinance.

5. A responsible party desiring to claim a sign which has been removed and stored may do so, provided the claim is presented within thirty days of removal and that the cost of removal and storage is an amount not less than ten dollars for each sign and is paid to the city in advance. (Ord. 96-4 § 1 (part), 1996)

16.148.110 Prohibited signs and advertising devices.

The following signs or advertising devices are illegal and expressly prohibited by this chapter. No such sign or device shall be placed anywhere within the city limits.

1. Abandoned signs;
2. Advertising bench-type signs;
3. Pennants, streamers, festoon lighting, banners, inflatable signs including blimps and/or hot or cold air balloons except as provided by this chapter. Nothing contained in this section shall be construed to prohibit the display of the flag of the United States, the state of Oregon or other political subdivision;
4. Flashing sign;
5. Illuminated signs which direct light into a residence;
6. Obscene sign;
7. Obstruction sign;
8. Reserved;
9. Portable sign, except for real estate signs;
10. Rotating or moving signs;
11. Search lights or beacons;
12. Signs attached to trees or public utility poles, except public signs;
13. Signs mounted on public property or within the public right-of-way, except public signs;
14. Signs on Vehicles. Signs attached to or located on a stationary vehicle or trailer which is visible from a public right-of-way, and infre-

quently moved or moved primarily for display of the sign;

15. Signs resembling official traffic signs or signals. Signs stating "stop," "go slow," "caution," "danger," and "warning," except as officially authorized or installed by the city, state Department of Transportation or the county;

16. Signs using bare-bulb illumination or signs with a visible immediate source of illumination, except when permitted by this chapter;

17. Strobe lights;

18. Structurally unsafe sign;

19. Any sign which is erected, placed, maintained or used which fails to comply with a specific provision of this chapter;

20. Except for permitted, nonconforming signs, any sign for which a permit is required, but for which no permit has been issued;

21. Signs which have lost their status as nonconforming signs either due to alteration, relocation, replacement, or due to the expiration of the applicable amortization period will receive thirty days notice to comply with this chapter after which a fine will be levied;

22. Signs associated with illegal uses according to provisions of the planning commission review;

23. Signs which constitute a public nuisance;

24. Readerboard signs, and computer electronically controlled signs except for temperature and time; exception, automobile service stations as expressly provided. (Ord. O-08-02 § 1 (part), 2008; Ord. 96-4 § 1 (part), 1996)

16.148.120 Sign maintenance.

All signs shall be maintained in good order and repair at all times. Signs which have become faded, worn or which pose a danger to members of the public shall be repaired or removed. (Ord. 96-4 § 1 (part), 1996)

16.148.130 Criteria for sign permits—All signs.

All sign changes, alterations, relocations, construction and new developments shall follow the same

processes and guidelines. The process for review will require the following items:

- A. Permit application obtained from city hall and accompanied by an appropriate fee;
- B. Details of proposed signs accompanied with a diagram or sketches of proposed signs;
- C. Location of building and location of placement/renovation, change, alteration, construction of development where signs will be placed;
- D. Total size/area of sign height, color and type of sign;
- E. Method of illumination;
- F. Method of support;
- G. Approximate sign area for all existing signs pertaining to business or development and distance between signs;
- H. In new development or construction, additional plans and pertinent information, when deemed necessary and appropriate, shall be required to ensure compliance with this chapter and other applicable ordinances. (Ord. 96-4 § 1 (part), 1996)

16.148.140 Planning commission review.

In addition to provisions of this chapter, all signs, except temporary signs and those which are exempt from provisions of this chapter, shall be subject to an objective review of all information submitted. This information should be submitted five working days prior to the planning commissions monthly meeting. The decision reached on all signs, shall be based on the requirements contained in Section 16.148.110 of this chapter. In addition, construction shall be compatible with surrounding architectural design to promote and give consideration to location of signs, design or building, landscaping, visibility, construction, quantity of existing signs, pedestrian activities and traffic patterns. (Ord. 96-4 § 1 (part), 1996)

16.148.150 Permits—Approval and fees.

A. Sign Permit Application. Application for a sign permit shall be submitted on forms prescribed by the city manager. The application shall address all criterion listed in Section 16.148.110. In addition, the application shall contain the names and addresses of the sign contractors, if any, the applicant, the owner

of the property on which the sign will be erected and the property owner's consent. A separate application shall be submitted for each sign.

B. Sign Permit. The city manager shall issue a sign permit when all applicable provisions of this chapter have been met. Except as otherwise provided, a separate sign permit shall be obtained for each sign.

C. Sign Permit Fee. Each sign permit application shall be accompanied by a sign permit fee as required by the city's schedule of fees and penalties as approved through resolution of the city council.

D. Double Fees. When a sign is erected or placed prior to approval of a required sign permit, the sign permit application fee specified in the city's schedule of fees and penalties as approved through resolution of the city council shall be doubled. Payment of the double fee shall not relieve an applicant from fully complying with the requirements of this chapter or from penalties prescribed in this chapter. (Ord. 96-4 § 1 (part), 1996)

16.148.160 Variances.

A. Authorization to Grant or Deny Variances. The planning commission may authorize a variance from the requirements of this chapter when it is shown that, owing to special and unusual circumstances related to a specific piece of property, the literal interpretation of this chapter would cause an undue hardship. In granting a variance, the planning commission may attach conditions that it finds necessary to protect the best interests of the surrounding property, and to meet the purposes of this chapter.

B. Conditions for Granting a Variance. No variance shall be granted by the planning commission

unless the commission finds that all of the following criteria exists. The burden is upon the applicant to demonstrate that each of the following criteria exist.

1. Exceptional or extraordinary conditions apply to the property or building that do not apply generally to other properties or buildings in the same planning district or vicinity, which conditions are a result of lot or building size or shape, topography or other physical circumstances applying to the property over which the applicant has no control.

2. The hardship does not result from actions of the applicant, the tenant or previous tenant, or from personal circumstances such as age or financial situation of the applicant, or from regional economic conditions.

3. The variance is necessary for the preservation of the property right of the applicant.

4. The authorization of the variance shall neither be materially detrimental to the purposes and goals contained in this chapter, nor be injurious to property in the planning district or vicinity in which the property is located.

5. The variance requested is the minimum variance from the provisions and standards of this chapter that will alleviate the hardship.

6. The variance shall not be for the convenience of the applicant or for the convenience of a regional or national business which may prefer to use a standard sign or sign feature. (Ord. O-03-2 § 1 (part), 2003; Ord. 96-4 § 1 (part), 1996)

16.148.170 Inspection.

All signs for which a sign permit is required shall be subject to inspection by a member of the planning commission, or the city manager. Inspection may include, but shall not be limited to the following:

A. Site inspection to assure compliance with the decisions of the planning commission, the sign permit criteria, if any, and provisions of this chapter;

B. Structural inspection;

C. Inspection of braces, anchors, supports and wall connections. (Ord. 96-4 § 1 (part), 1996)

16.148.180 Appeals process.

A decision of the planning commission's review on a sign application may be appealed to the city council. (Ord. 96-4 § 1 (part), 1996)

16.148.190 Enforcement.

The city manager is authorized to enforce the provisions of this chapter and to direct the removal of any illegal signs. When the planning commission/city manager has determined that a violation of this chapter exists, a written notice shall be served to the owner of the sign or the owner of the premises on which the sign is located. Additional notice is not required if a written notice was previously served to the responsible person regarding a substantially similar sign on the same premises. Notice shall be delivered to the person allegedly responsible for the sign by certified mail with return receipt requested. Multiple sign violations may be incorporated into a single notice. The notice shall contain at least the following information.

A. A description of the sign condition to identify the violation;

B. A statement describing how the recipient of the notice is responsible for the condition;

C. A statement that the condition or the sign has been found to violate this chapter with a brief and concise description of the nature of the violation;

D. A statement of the action required to remedy the violation and a date by which the remedy must be completed. Unless otherwise provided, permanent signs shall be remedied in not more than fourteen days and temporary signs shall be remedied in not more than forty-eight hours;

E. If the sign is determined to be a nuisance, then a statement to that effect shall be included. (Ord. 96-4 § 1 (part), 1996)

16.148.200 Responsibility for violations.

It is intended that sign violations result in a penalty even though the responsible party does not knowingly or intentionally violate the provisions of this chapter. The mere fact that a violation exists and that a person is responsible or owns or controls the property on which the sign violation occurs, is suffi-

cient to initiate enforcement proceedings and impose penalties. A person may be found liable, responsible or guilty of an alleged sign violation by reason of ownership, control or possession of the sign or the property on which the sign exists or has existed by reason of such person being the proximate cause of such sign's condition. (Ord. 96-4 § 1 (part), 1996)

16.148.210 Penalties.

It is a violation not to comply with any of the provisions of this chapter. It is also a violation to erect, maintain or use a sign contrary to this chapter. Conviction of a violation of any provision of this chapter will result in a penalty. Each day that a violation exists shall constitute a separate offense with a fine as required by the city's schedule of fees and penalties as approved through resolution of the city council. (Ord. 96-4 § 1 (part), 1996)

16.148.220 Cumulative remedies.

The rights, remedies and penalties provided in this chapter are cumulative and not mutually exclusive, and are in addition to any other rights, remedies and penalties available to the city under any other provisions of law. All officials, departments and employees of the city vested with authority to issue permits or grant approvals shall adhere to and require conformance with this chapter, and shall issue no permit or grant approval for any sign which violates or fails to comply with the conditions or standards imposed by this chapter. Any permit or approval issued or granted in conflict with the provisions of this chapter, whether intentional or otherwise, shall be void. (Ord. 96-4 § 1 (part), 1996)

SIGN PERMIT APPLICATION

APPLICANT: Fast Signs Beaverton DATE 3/15/18
ADDRESS 12700 SW Canyon R PHONE (503) 526-0216
CONTRACTOR Nathan Martin Beaverton, OR
ADDRESS 11777 SW Queen Elizabeth St. King City, OR PHONE _____
TYPE OF SIGN: (ie Monument, Freestanding, Sandwich, Etc.) Monument
5' H X 10' W (Please submit 2 copies of sketch or photo stating dimensions)

CHECK ONE: _____ Temporary _____ Permanent ☒

SIGN AREA (in square feet) AND COLOR 50 sq. feet

TOTAL SQUARE FOOTAGE OF BUILDING N/A

LOCATION WHERE SIGN WILL BE PLACED: Building entrance

METHOD OF ILLUMINATION N/A (Non-illuminated)

METHOD OF SUPPORT Stone posts / steel Brackets

APPROXIMATE AREA COVERED BY ALL EXISTING SIGNS AND DISTANCE BETWEEN SIGNS N/A

SIGNATURE OF APPLICANT

REQUEST FOR VARIANCE: N/A

FOR OFFICE USE ONLY

APPLICATION RECEIVED BY _____ DATE: _____ APPLICATION FEE: _____

CONDITIONS/COMMENTS _____

APPROVED BY: _____ DATE: _____

Front



Back



DESCRIPTION: 48" x 84" Polymetal sign

ADDITIONAL NOTES: **

* First two proofs included with order. ADDITIONAL PROOF CHARGE: \$10

* Please review proof carefully. You are responsible for approved art. Your order will be scheduled for production once approved.

FAST SIGNS®

More than fast. More than signs.™

(81" w) 7' w

Front



King City
Senior Village
Independent Living

4'4"
(48" h)

Back

☆ overall sign face
Dimensions
48" h x 81" w

Proof #6

Date: 03/14/18

Consultant(s):

Nathan

Customer:

Elements Hospitality

Order/Estimate #

68269

12700 SW Canyon Road
Beaverton, OR 97005
PHONE 503.526.0216
FAX 503.643.0471
46@fastsigns.com

(20" h) 10' w



5'4"
(60" h)

☆ Overall Dimensions
5' H x 10' W

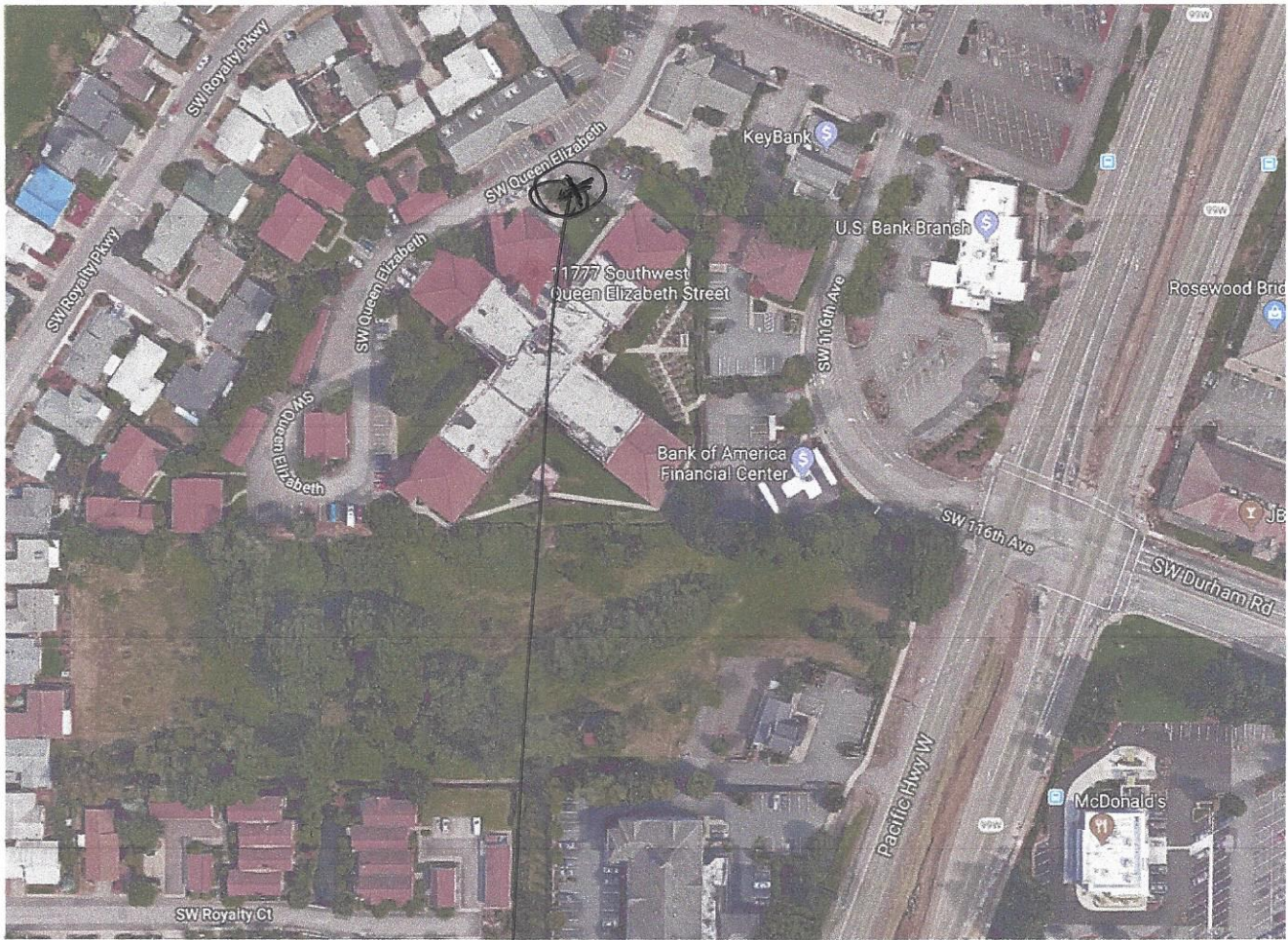
DESCRIPTION: ~~8' x 10' Polymetal sign~~

ADDITIONAL NOTES: **

UD

* First two proofs included with order. ADDITIONAL PROOF CHARGE: \$10

* Please review proof carefully. You are responsible for approved art. Your order will be scheduled for production once approved.



sign location