

Date: _____

Case No.: 2BA21-11
RECEIVED

Fee: \$130.00

Date Filed: _____

MAY 25 2021

Village/Town of Mount Kisco
Municipal Building
104 Main Street, Mt. Kisco, NY 10549

Zoning Board of Appeals
Village/Town of Mount Kisco

**Zoning Board of Appeals
Application**

Appellant: _____TIMBER RIDGE CONDOMINIUM_____
Address: __c/o Stefanita Vasilescu, 43 Timber Ridge Mount Kisco NY 10549_____
Address of subject property (if different): _____

Appellant's relationship to subject property: __X__ Owner _____ Lessee _____ Other

Property owner (if different): _____
Address: _____

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken
from the decision of the Building Inspector, _____N/A_____
dated _____N/A_____. Application is hereby made for the following:

__N/A__ Variation or __N/A__ Interpretation of Section __N/A__
of the Code of the Village/Town of Mount Kisco,

to permit the: __X__ Erection; __X__ Alteration; _____ Conversion; __X__ Maintenance
of __Certain portions of the common area_____

_____ in accordance with plans filed on (date) __12/22/2020_____
for Property ID # __Section 80.73 block 1 lot 8.2_ located in the __RM-12_ Zoning District
The subject premises is situated on the __East_ side of (street) __Rt 117 and Rt 128_____
_____ in the Village/Town of Mount Kisco, County of Westchester, NY.
Does property face on two different public streets? Yes/No _____YES_____
(If on two streets, give both street names) __As above_____

Type of Variance sought: __N/A_ Use __N/A_ Area

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? YES

Is there an approved site plan for this property? YES in connection with a
Proposed or Existing building; erected (yr.)

Size of Lot: 560 feet wide 440 feet deep Area 6268

Size of Building: at street level N/A feet wide N/A feet deep

Height of building: N/A Present use of building: Residential

Does this building contain a nonconforming use? NO Please identify and explain:

Is this building classified as a non-complying use? NO Please identify and explain:

Has any previous application or appeal been filed with this Board for these premises?
Yes/No? YES

Was a variance ever granted for this property? YES If so, please identify and explain:
Deck variance case 13-4 resolutopn dated 3/24/2015

Are there any violations pending against this property? NO If so, please identify and explain:

Has a Work Stop Order or Appearance Ticket been served relative to this matter?
Yes or X No Date of Issue:

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? YES

I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:

The following items **MUST** be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on _____ N/A _____ upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- *j) At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- *k) A floor plan of the subject building with all the necessary measurements.
- *l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

*** Optional - As Needed**

(Appellant to sign here)

Sworn to before me this day of: May 24, 20 21 NOTARY PUBLIC-STATE OF NEW YORK
Notary Public, Michelle K. Russo Westchester County, NY No. 01RU6313298
Qualified In Putnam County
My Commission Expires 10-20-2022

State of New York }
County of Westchester } ss

(sign here)

CHARLES V. MARTABANO
Attorney at Law

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MAY 25 2021

Zoning Board of Appeals
Village/Town of Mount Kisco

9 Mekeel Street
Katonah, New York 10536
cmartabano@gmail.com
(914) 242-6200 Telephone
(914) 242-3291 Facsimile
(914) 760-9241 Cell

May 24, 2021

VIA HAND DELIVERY
Chairman Harold Boxer and
Members of the Zoning Board of Appeals
Village of Mt. Kisco
104 Main Street
Mt. Kisco, New York 10549

Re: Application of Timber Ridge Condominiums

Dear Chairman Boxer and Members of the Zoning Board of Appeals:

The undersigned represents Timber Ridge Condominiums (hereinafter “Timber Ridge” or “Applicant”). As the records of this Board will confirm, on March 24, 2015 your Board issued a Resolution in connection with ZBA Case 13-4, which such Resolution granted a number of requested side yard setback and rear yard setback variances so as to facilitate the installation of enlarged decks for the individually specified units which were the subject matter of the variance requests. A copy of such Resolution is attached hereto and made part hereof for your review. As referenced therein, the site plan which was the subject matter of the application was prepared by Goewey & DeMasi AIA and last revised December 30, 2014.

Since the approval of the variances, Timber Ridge sought and obtained site plan approval for some minor alterations of the previously approved site plan. The most recently approved site plan was prepared by Alfonzetti Engineering and was dated June 11, 2019. A copy of such site plan is submitted for the Board’s review¹.

Recently, Timber Ridge submitted to the Planning Board an application for approval of an Amended Overall Site Plan and issuance of a steep slopes permit. As will be shown below, it is these proposed amendments to the previously approved site plan which necessitate this application. A copy of the Amended Overall Site Plan as prepared by Alfonzetti Engineering dated August 10, 2020 and last revised December 22, 2020 is also being submitted herewith for

¹ For reasons as to which I am unaware as of this writing, at the time of the approval of the June 11, 2019 site plan, the issue of the necessity for referral of such amended site plan to your Board apparently did not arise. However, I thought it appropriate for your Board to have full recognition of all prior site alterations as part of this application.

your review. As shown in the specific work areas delineated on such Overall Amended Site Plan, such plan seeks to address significant erosion issues as well as issues relating to decaying pre-existing railroad tie walls through implementation of multiple items of work which include the following:

- replacement of existing decayed railroad tie walls behind units 25-28 with new stonewalls
- replacement of existing decayed (some to the point of collapse) railroad tie walls behind units 1-5 with modular stonewalls with the restoration of original grading
- installation/extension of a pre-existing modular stone wall behind units 13-17 as an erosion mitigation measure together with installation of steps to facilitate safe travel in the rear of the units
- installation of gravel behind units 9-12 to address existing conditions (soft soil/mud) and prevent erosion

Implementation of these site improvement will, of necessity, require revised grading including grading within the area of steep slopes and may require removal of a very limited number of trees. At the public hearing to be held in connection with this application, a representative of Timber Ridge and/or Alfonzetti Engineering will be present to review the de minimis modifications of the previously approved site plan.

This application is engendered by reason of one of the conditions of approval set forth in your Board's Resolution of March 24, 2015. Specifically, subsection (2) of Condition 11 states in pertinent part as follows:

"The variances are solely for the plans presented, reviewed and considered by the Zoning Board and shall not be deemed to authorize any disturbance to steep slopes, alteration of drainage, removal of trees, or other site modifications."

It is clear that neither site plan approval nor the disturbance to steep slopes are subject matters for the ZBA but are instead determined by the Planning Board both under its site plan approval authority and through issuance of a steep slopes permit. The site plan has been under review by the Planning Board since its submission and a public hearing on the Applicant's request for issuance of a steep slopes permit was held by the Planning Board on February 23, 2021. It is anticipated that the Planning Board will act upon the Applicant's request for an amended site plan approval and issuance of the steep slopes permit shortly.

This being said, in discussions with the Building Inspector, the Building Inspector has opined that, by reason of the language set forth in subsection (2) of Condition 11 of your March 24, 2015 Resolution, it would be necessary for the Applicant to obtain your Board's consent to, in essence, "substitute" the new plan for the plan which was the subject matter of your March 24, 2015 Resolution. Specifically, it is important to recognize that the Building Inspector has determined that approval of the proposed amended site plan does not require the issuance of variances. The necessary side yard and rear yard setback variances for structures (expanded decks) were previously granted by your Board through its Resolution of March 24, 2015 and such variances run with the land. No new variances are required for the items of construction in issue. However, as your Board was quite specific with respect to the variances being limited to the plans as presented and not authorizing any disturbance to steep slopes, alteration of drainage, removal of trees, or other site modifications not reflected by the plan under consideration by your Board at that time (Goewey & DeMasi AIA plan last revised December 30, 2014 as referenced above), your Board is respectfully requested to view the presently proposed Overall Amended Site Plan and to advise the Planning Board that your Board has no objection to the plans and that said plans will be regarded as the plans as to which the prior grant of variances would now pertain.

Even if one were to take the position that your Board would be required to view this application as somehow necessitating determinations equivalent to those required in connection with the issuance of an area variance, it is axiomatic that your Board would reach the same conclusions as they reached in connection with your Resolution of March 24, 2015 wherein it is stated as follows:

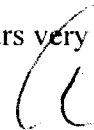
"Under the statutorily enumerated criteria and based upon a review of the entire record, including testimony, submissions, maps, records and all other documentary proof, the ZBA has determined that the benefit to the Applicant outweighed any detriments to the community or neighborhood. Specifically, the Board determined (1) that no undesirable change would occur to the character of the neighborhood, as the only alteration will be the deck size without any other alteration to the building(s); (2) that the benefits sought by the Applicants could not be achieved by a feasible method other than the variance based upon the existing configuration of the units and property. There is simply no other location to expand the decks without encroaching into the required yard; (3) While the variance is very substantial when measured as a percentage of the required setbacks, the importance of such factor is mitigated when measured from the basis of existing conditions; (4) that there will not be an adverse impact on the environment, as no new impervious surface is being authorized, nor is any disturbance to slopes, trees or other environmentally sensitive areas being sought or authorized; and (5) that while the alleged difficulty was self-created, it is not fatal to the application as it does not outweigh the other factors favoring the variances as set forth above."

It is respectfully submitted that nothing that has transpired since the date of the issuance of your Board's resolution of March 24, 2015 and nothing contained in the instant application would in any way detract from the Board's decision as referenced above.

By reason of the foregoing, the Applicant would respectfully request that your Board adopt a resolution approving the plan being submitted herewith as an updated site plan to which your Resolution of March 24, 2015 pertains. Also, to prevent your Board from having to be burdened by further applications in the future for de minimus changes to the approved site plan, I would like to suggest that your Board determine that future site plan applications which do not involve, in and of themselves, the granting of variances or otherwise violate any of other conditions of your March 24, 2015 Resolution be determined by the officials, boards or agencies having jurisdiction over the underlying action without necessity of referral of the plan to your Board.

We look forward to appearing before your Board at the public hearing of June 15, 2021. In the interim, should you have any questions regarding the foregoing or any aspect of the submission, please do not hesitate to contact me.

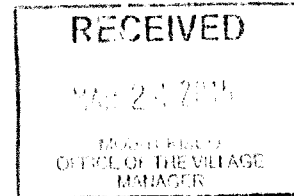
Yours very truly,



Charles V. Martabano

cc: Timber Ridge
Building Inspector Peter Miley
Alfonzetti Engineering

**Zoning Board of Appeals
of the Village/Town of Mount Kisco**
-----X



In the Matter of the Application of
Timber Ridge Condominiums
-----X

Case No.: ZBA 13-4

1. **Location of Property:**
Armonk Road

Property ID: 80.73-1-8.2 *et seq.*

2. **Description of Request:**

The application proposes to demolish and construct enlarged decks at units 2B, 3B, 4B, 5B, 6A, 7B, 8B, 9A, 10B, 11A, 12A, 14A, 15A, 16A, 17A, 20B, 19B, 18B, 43A, 44B, 45B, 46B, 47B, 48B, and 49A. The applicant's property is located in the RM-12 Medium Density Multifamily District. Section 110-13(C)(3)(f)(2)(c) of the Code of the Village/Town of Mount Kisco requires Townhouses, garden apartments and other multifamily dwellings abutting a one-family lot requires an 80 foot side yard setback. The proposed additions would be placed, to varying extents, within said setback. As such, variances from Section 110-13(C)(3)(f)(2)(c) of the Code of the Village/Town of Mount Kisco are required for said encroaching decks. Section 110-13(C)(3)(f)(2)(b) of the Code of the Village/Town of Mount Kisco requires Townhouses, garden apartments and other multifamily dwellings abutting a one-family lot requires an 80 foot rear yard setback. The proposed additions would be placed, to varying extents, within said setback. As such, variances from Section 110-13(C)(3)(f)(2)(b) of the Code of the Village/Town of Mount Kisco are required for said encroaching decks.

3. **Zoning of Property:**

RM-12 Medium Density Multifamily District

4. **Variance(s) Requested:**

1. Variances from the required eighty (80) foot minimum side yard setback for lots abutting one-family lots as set forth in Village Code 110-13(C)(3)(f)(2)(c).

	<u>Required</u>	<u>Provided for Addition</u>	<u>Variance Needed</u>
Minimum Side Yard Setback	80 Feet	Varies	Varies*

2. Variances from the required eighty (80) foot minimum rear yard setback for lots abutting one-family lots as set forth in Village Code 110-13(C)(3)(f)(2)(b).

	<u>Required</u>	<u>Provided for Addition</u>	<u>Variance Needed</u>
Minimum Side Yard Setback	80 Feet	Varies	Varies*

- * Variance requests vary depending upon individual unit location and proposed deck size. The scope of variance for each respective unit shall be determined by reference to the Site Plan prepared by Goewey & Demasi AIA, last revised 12/30/14 and Deck Expansion Variance Schedule prepared by Goewey & Demasi AIA, last revised 11/16/15.

5. Dates of Public Hearings: February 25, 2015; March 18, 2014; and July 15, 2014
Date of Action: February 25, 2015

6. Comments Received at the Public Hearing.

None

7. Documents Submitted with the Application:

- Building Permit Application, dated 3/10/13
- Revised Deck Expansions, dated 9/17/13
- Survey of Property, dated 3/13/1978
- Cover Letter from Charlie Martabano to Secretary of ZBA, dated 5/6/13 and February 12, 2015
- Notice of Zoning Denial from Ralph Tarchine, Jr, dated 4/4/13
- Notice of Intent to Appeal, dated 4/23/13
- Statement of Principal Points, dated 5/3/13
- Zoning Board of Appeals Application, dated 5/8/13
- Copy of Map of properties within 300 Feet
- Full list of names for mailing
- Affidavit of Publication from The Journal News, dated 5/7/13
- Copy of Public Notice
- Affidavit of Mailing, dated 5/8/13
- Affidavit of Posting, dated 5/15/13

Case No. ZBA 13-4 – Timber Ridge Condominiums

Page 3 of 4

- Letter from Charlie Martabano to ZBA, dated 9/30/13
- Site Plan prepared by Goewey & Demasi AIA, last revised 12/30/14
- Deck Expansion Variance Schedule prepared by Goewey & Demasi AIA, last revised 11/16/15.
- Copy of Declaration of Condominium Ownership, dated 3/10/1978
- Photographs
- Various Letters in Support
- Various Letters in Opposition
- Fees Paid

8. SEQRA Determination:

The subject application constitutes a Type II action pursuant to NYCRR 617.5(c) (12) (“granting of an individual setback for a lot line variance(s)”) and is not subject to review under Environmental Conservation Law, Article VIII.

9. Decision: Conditionally Approved

10. Basis for Decision of ZBA:

Under the statutorily enumerated criteria and based upon a review of the entire record, including testimony, submissions, maps, records and all other documentary proof, the ZBA has determined that the benefit to the applicant outweighed any detriments to the community or neighborhood. Specifically, the Board determined (1) that no undesirable change would occur to the character of the neighborhood, as the only alteration will be the deck size without any other alteration to the building(s); (2) that the benefits sought by the applicants could not be achieved by a feasible method other than the variance based upon the existing configuration of the units and property. There is simply no other location to expand the decks without encroaching into the required yard; (3) While the variance is very substantial when measured as a percentage of the required setbacks, the importance of such factor is mitigated when measured from the basis of existing conditions; (4) that there will not be an adverse impact on the environment, as no new impervious surface is being authorized, nor is any disturbance to slopes, trees or other environmentally sensitive areas being sought or authorized; and (5) that while the alleged difficulty was self-created, it is not fatal to the application as it does not outweigh the other factors favoring the variances as set forth above.

11. Conditions of Approvals.

- 1) The color of the decks shall match the exterior paint color of the units.
- 2) The variances are solely for the plans presented, reviewed and considered by the Zoning Board and shall not be deemed to authorize any disturbance to steep slopes, alteration of drainage, removal of trees, or other site modifications.
- 3) The construction shall be phased such that only one building at a time shall be issued building permits for construction, with permits for subsequent buildings being held in abeyance until certificates of occupancy or compliance for each and every deck in the existing building shall have been secured consistent with the plans authorized herein. For aesthetic and architectural consistency, this approval expressly requires that all decks presented within this application be built.
- 4) Nothing herein shall be deemed to waive, modify, or relieve applicant of securing all necessary approvals from other permitting boards or officials.
- 5) Applicant shall install and maintain such landscaping, fencing, drainage or other improvements or site alterations that the Planning Board deems appropriate to appropriately screen the property, stabilize the slopes, provide emergency access and otherwise secure the health, safety and public welfare of the residents and the adjoining property owners.
- 6) Unless construction is commenced and diligently pursued within one year of the date of the granting of a variance, such variance shall become null and void.
- 7) No privacy fences shall be permitted.

12. Vote: BY ORDER OF THE BOARD OF APPEALS

Motion to approve by: Ms. Lapple

Seconded by: Ms. Simon

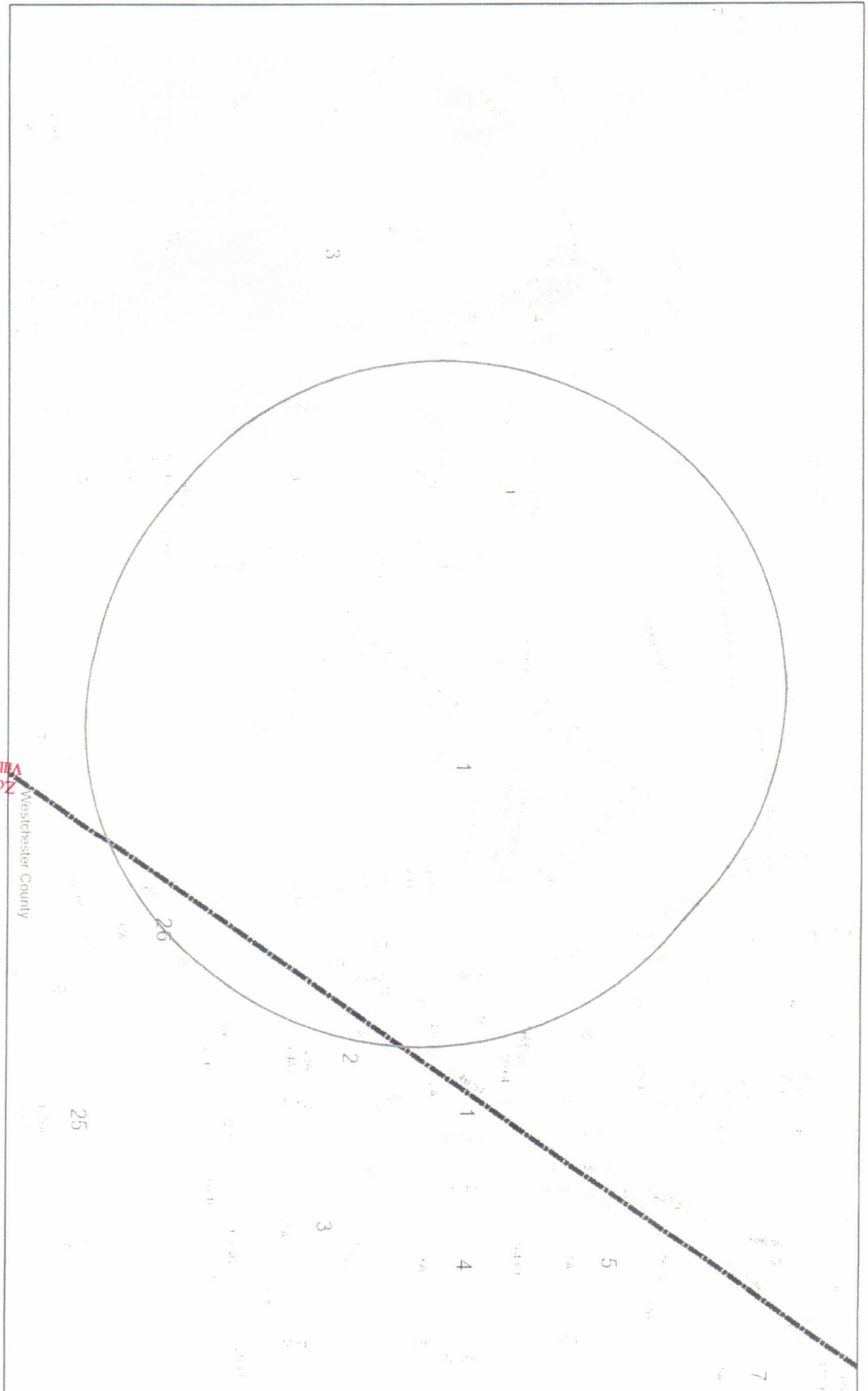
Vote: Mr. Boxer	ABSENT
Ms. Richards	ABSTAIN
Ms. Lapple	AYE
Ms. Simon	AYE
Chairman Rose	AYE

RESOLUTION EXECUTED: March 24, 2015
Mount Kisco, New York

ZONING BOARD OF APPEALS
Village/Town of Mount Kisco

By: 
DONALD W. ROSE, CHAIRMAN

Westchester County Municipal Tax Parcel Map (Mount Kisco)



May 25, 2021

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions were obtained from surveys or deeds. For more information please contact local municipality assessor's office.

Westchester County
Village/Town of Mount Kisco
Zoning Board of Appeals
MAY 25 2021
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1:1,500



Westchester County GIS
http://giswww.westchestergov.com
Michaelian Office Building
146 Martine Avenue Rm 214
White Plains, New York 10601

OWNER/NAME	PROPADDRESS	PROPCITY	PROPZIP	PROPRINTKEY	c/o	Mailing Address	City	State	Zip
Singer Sarah H	2 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.2		93 Brundage Rd	Bedford	NY	10506
Fishman, Joel	29 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.29		29 Turner Ln	Mt. Kisco	NY	10549
Ryan Robert M	12 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.12					
Pasqualini, Joseph C - Alyson L Kuritzky	22 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.22					
Abraham, Paul A - Diana Lampone	21 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.21					
Pastore, Joseph - Barbara Illari Irevocchi	17 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.17		12 Windmill Rd	Armonk	NY	10504
41 Armonk Road, LLC	41 Armonk Rd	MOUNT KISCO	10549	80.73-1-3					
Torp, Robert D - Martha I Torp	33 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.33		33 Turner Rd	Mt. Kisco	NY	10549
O'Brien, Luann	31 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.31					
Ruiz Abderrashman, Soraya - Gabriel M F 8 Timber Rdg	8 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.8					
Civittello, Dean - Elizabeth Vetare-Civittell	20 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.20					
Geoffrey Minte LLC	13 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.13					
Crossroads Plaza Inc	657 Main St	MOUNT KISCO	10549	80.72-3-2		657 Main St	Mt. Kisco	NY	10549
DiSisto John - Liza K Chau	32 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.32	Buckingham Properties				
BBFF LLC	25 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.25					
Tower, William - Laura Tower	15 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.15					
Crossroads Plaza Inc	Main St	MOUNT KISCO	10549	80.72-3-4					
Citron Robert - Linda Danielle	639 Main St	MOUNT KISCO	10549	80.72-3-1					
Dooley, Edward M - Irene A Dooley	1 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.1					
Village of Mount Kisco - Tina Fisher	36 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.36		104 Main St	Mt. Kisco	NY	10549
Tenaglia, Thomas J - Veronica L Cedillo	634 Main St	MOUNT KISCO	10549	80.64-2-6					
Van Patten, Erica - Thomas G Luzio	30 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.30					
Lagstrom, Marilde - Adam Dimaio	27 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.27					
Low, Hui Ji - Kheng Chee Wong	26 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.26					
Babakian Glenn - Susan Markel	14 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.14					
Guardino, Joanna M	16 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.16					
Village of Mount Kisco	35 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.35					
Greco, Amy	583 Main St	MOUNT KISCO	10549	80.65-2-1		104 Main St	Mt. Kisco	NY	10549
15-21 Armonk Rd Mt Kisco, LL	19 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.19					
Picano Gino - Melissa Rifkin	15-21 Armonk Rd	MOUNT KISCO	10549	80.73-1-1		127 Tripp St	Mt. Kisco	NY	10549
Zelenko, Norman - Florence Zelenko	37 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.37					
Cohen, Pearl R	7 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.7					
Camacho, Victor A - Amelia Camacho	3 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.3		1 Annes Wood Ln	Mt. Kisco	NY	10549
Mintzer Richard - Carol Mintzer	4 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.4					
Richer Joyce	5 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.5					
Fusaro Martha M	10 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.10					
Lynch, Sean J	24 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.24					
Adaken Dhowgar	23 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.23					
Brill, Patricia M	25 Armonk Rd	MOUNT KISCO	10549	80.73-1-2					
Richard & Loreta Wortmann, Joint Irre	6 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.6					
Hoolan Andrea	34 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.34		4301 N Ocean Blvd	Boca Raton	FL	33431
Schleimer, Karen Beth	28 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.28					
Zamechek Hershel - May Zamechek	9 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.9					
Sullivan, Dennis	11 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.11					
Leoce, Deborah	49 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.49					
	48 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.48					

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Sherman, Howard	47 timber Rdg	MOUNT KISCO	10549	80.73-1-8.47
Mac Donald Trust	46 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.46
Ross, Jake	45 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.45
Cahr, Sharon	44 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.44
Vasilercia, Stefonita	43 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.43
Nichols, Judy	42 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.42
Candelaria, Victor	41 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.41
Marsha T. Jayko Living Trust	40 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.40
Gilman, Joseph	39 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.39
Wood, Peter	38 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.38
EDWARD m. Doohy Rev Trust	36 Timber Rdg	MOUNT KISCO	10549	80.73-1-8.36

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MAY 25 2021

Zoning Board of Appeals
Village/Town of Mount Kisco

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 15th day of June, 2021 at the Municipal Building, Mount Kisco, New York beginning at 7:00 PM pursuant to the Zoning Ordinance on the Application of

Timber Ridge Condominiums
c/o Stefanita Vasilescu
43 Timber Ridge
Mt. Kisco, New York 10549

to modify plans previously approved by the Zoning Board of Appeals pursuant to its resolution issued in connection with case number ZBA 13-4 executed on March 24, 2015. The property involved is known as Timber Ridge Condominium, Armonk Road, Mt. Kisco, New York and described on the Village Tax Map as Section 80.73 Block 1 Lot 8.2 and is located on the east side of Route 117 and Route 128 in a RM-12 Zoning District.

Harold Boxer, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco

RECEIVED

MAY 27 2021

Zoning Board of Appeals
Village/Town of Mount Kisco

AFFIDAVIT OF MAILING

STATE OF NEW YORK

COUNTY OF WESTCHESTER

}
} SS.:
}

Laura Moreno being duly sworn, deposes and says:

I reside at Heritage Management Services, Managing Agent for
On May 26 2021 I served a notice of hearing, a copy of which is Timber Ridge Condominium located in Mt. Kisco, N.Y.

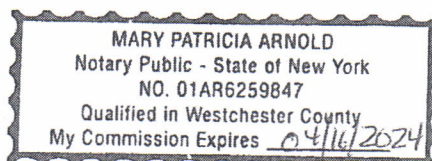
attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B. I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.

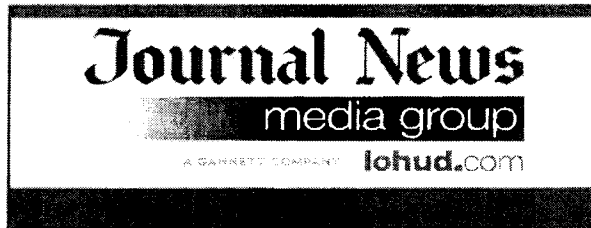
Laura J. Moreno

Sworn to before me on this

26th day of May 2021

Mary Patricia Arnold
(Notary Public)





AFFIDAVIT OF PUBLICATION FROM

State of Wisconsin

County of Brown, ss.:

On the 9 day of June, in the year 2021, before me, the undersigned, a Notary Public in and for said State, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed, the instrument.

_____ being duly sworn says that he/she is the principal clerk of **THE JOURNAL NEWS**, a newspaper published in the County of Westchester and the State of New York, and the notice of which the annexed is a printed copy, was published in the newspaper area(s) on the date (s) below:

Zone:
Westchester

Run Dates:
05/26/2021

Signature

Sworn to before me, this 9 day of June, 2021

Notary Public, State of Wisconsin, County of Brown

My commission expires

Legend:

WESTCHESTER:

Amawalk, Ardsley, Ardsley on Hudson, Armonk, Baldwin Place, Bedford, Bedford Hills, Brewster, Bnardiff Manor, Bronxville, Buchanan, Carmel, Chappaqua, Cold Spring, Crompond, Cross River, Croton Falls, Croton on Hudson, Dobbs Ferry, Eastchester, Elmsford, Garrison, Goldens Bridge, Granite Springs, Greenburg, Harrison, Hartsdale, Hastings, Hastings on Hudson, Hawthorne, Irvington, Jefferson Valley, Katonah, Lake Peekskill, Larchmont, Lincolnville, Mahopac, Mahopac Falls, Mamaroneck, Millwood, Mohegan Lake, Montrose, Mount Kisco, Mount Vernon, New Rochelle, North Salem, Ossining, Patterson, Peekskill, Pelham, Pleasantville, Port Chester, Pound Ridge, Purchase, Purdys, Putnam Valley, Rye, Scarsdale, Shenorock, Shrub Oak, Somers, South Salem, Tarrytown, Thornwood, Tuckahoe, Valhalla, Verplanck, Waccabuc, White Plains, Yorktown Heights, Yonkers

ROCKLAND:

Blairstown, Congers, Garnerville, Haverstraw, Hillburn, Monsey, Nanuet, New City, Nyack, Orangeburg, Palisades, Pearl River, Piermont, Pomona, Sloatsburg, Sparkill, Spring Valley, Stony Point, Suffern, Tallman, Tappan, Thiells, Tomkins Cove, Valley Cottage, West Haverstraw, West Nyack

Ad Number: 0004751476

PANG PAPPATHOPOULOS
Notary Public
State of Wisconsin

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 15th day of June, 2021 at the Municipal Building, Mount Kisco, New York beginning at 7:00 PM pursuant to the Zoning Ordinance on the Application of

Timber Ridge Condominiums c/o
Stefanita Vasilescu
43 Timber Ridge
Mt. Kisco, New York 10549

to modify plans previously approved by the Zoning Board of Appeals pursuant to its resolution issued in connection with case number ZBA 13-4 executed on March 24, 2015. The property involved is known as Timber Ridge Condominium, Armonk Road, Mt. Kisco, New York and described on the Village Tax Map as Section 80.73 Block 1 Lot 8.2 and is located on the east side of Route 117 and Route 128 in a RM-12 Zoning District.

Harold Boxer, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco
4751476

Timbu Ridge

State of New York)
) ss:
County of Westchester)

AFFIDAVIT OF POSTING

RECEIVED

JUN 04 2021

Zoning Board of Appeals
Village/Town of Mount Kisco

Gjon Rrotaj, being duly sworn, says that on the 4th day of June 2021, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –
104 Main Street

X

Public Library
100 Main Street

X

Fox Center

X

Justice Court – Green Street
40 Green Street

X

Mt. Kisco Ambulance Corp
310 Lexington Ave

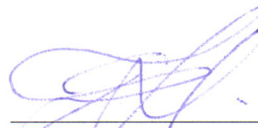
X

Carpenter Avenue Community House
200 Carpenter Avenue

X

Leonard Park Multi Purpose Bldg

X



Gjon Rrotaj

Sworn to before me this 4th day of June 2021

Michelle K. Russo
Notary Public

MICHELLE K. RUSSO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01RU6313298
Qualified In Putnam County
My Commission Expires 10-20-2022

RECEIVED

JUN 07 2021

Zoning Board of Appeals
Village/Town of Mount Kisco

To: The Village of Mount Kisco Planning Board

Re: TIMBER RIDGE/ HERITAGE MANAGEMENT PROPOSAL 6-15 ZBA PUBLIC HEARING

Fr: Bill Tower

My family and I have been longtime residents of Timber Ridge for 33 years. We are concerned about the proposal before the Zoning Board concerning landscape engineering at Timber Ridge. We are **only addressing concerns specifically behind units 13-17, proposed "WORK AREA IV"** on the drawings, as we cannot speak for other unit owners or areas. Firstly Timber Ridge had not communicated in any way to the 49 residents its intentions to go before the Planning Board and now Zoning Board with this proposal. Most if not all residents were totally unaware of this project proposal and only in recent weeks offered the opportunity to comment on it.

We have always held firmly to the belief that if it isn't broke don't fix it. There is no reason we see that necessitates cutting up the backyard land behind units 13-17 "WORK AREA IV". In 33 years there have been NO FLOODS or runoff due to erosion and the existing stone walls, which replaced former wood railroad ties several years ago have worked well to control erosion. If in fact there WAS serious erosion due to flooding we would not be able to grow grass. Growing grass and maintaining green HAS been a challenge over the years but this has been due to dense tree overgrowth above. The trees were trimmed down a few years ago allowing more light to enter and sod growth has largely improved. **Included in this letter are pictures showing how green the common area behind units 13-17 are today. It took many years to get to this point and new cutting to install walls and create steps/ path will only set us back many years again.**

We don't know what the height of the newly proposed retaining walls will be. Nevertheless no matter what height we feel this proposal will negatively impact the environment for the following reasons:

- 1) Carving and cutting out the common backyard space will destroy the existing natural open land setting, beauty and ambience
- 2) Installing stairs will present a safety hazard to children playing in the back area. The existing incline is much safer.
- 3) Installing stairs will present an obstacle to lawn mowing and leaf blowing equipment and contractors.
- 4) Installing stairs will present an unnecessary obstacle to residents or contractors moving furniture, appliances or heavy objects up or down the hill. **ROLLING OR MOVING EQUIPMENT ON AN INCLINE IS SAFER AND EASIER THAN ON STAIRS!**

- 5) Installing stairs creates a safety hazard at night compared to the existing smooth incline.
- 6) Extending the retaining walls beyond the point where they now exist- all the way to the fence will cage unit owners in like animals.
- 7) The common area behind units 13-17 have suffered enough carving, cutting and digging up over the years for Optimum Cable and Verizon FIOS work. We finally have some green grass last few years and don't need more surgery.
- 8) Isolating units in the manner being proposed will only lessen the desirability of the property for current residents and future buyers- and will likely lower property resale value.

In short, the proposed work seems largely superfluous and an attempt to improve or solve a problem that hasn't existed in 33 years. It's simply over engineering the landscaping to satisfy someone's personal vision while destroying the natural environment in the process.

Sincerely,

Bill Tower

Timber Ridge Unit #15

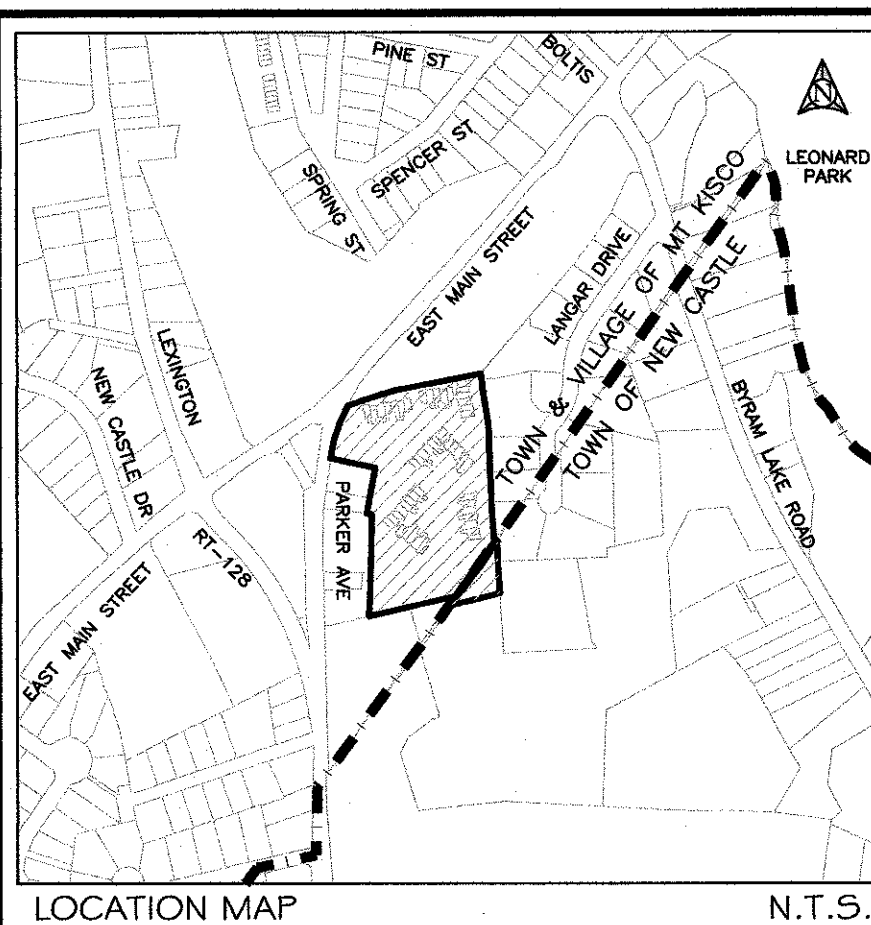






BUFFER CONFORMANCE CHART			
	REQUIRED OR ALLOWED	EXISTING	PROPOSED
SETBACK FROM RESIDENTIAL	75'	20.2'	1.8'
SETBACK FROM NON-RESIDENTIAL	25'	5.4'	5.4'

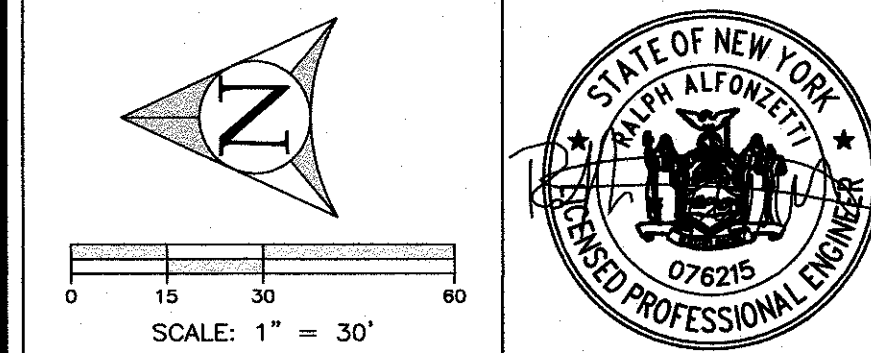
ZONING CONFORMANCE TABLE			
ZONING DISTRICT	RM-12 MULTI-RESIDENTIAL		
	REQUIRED OR ALLOWED	EXISTING	PROPOSED
MINIMUM NET LOT AREA	7,000 S.F.	273,055 S.F. (6.268 ACRES)	273,055 S.F. (6.268 ACRES)
FRONT YARD SETBACK	30 FT.	30.88 FT.	30.88 FT.
SIDE YARD SETBACK	30 FT.	12.61 FT.*	12.61 FT.*
REAR YARD SETBACK	30 FT.	36.51 FT.	36.51 FT.
MAXIMUM BUILDING COVERAGE	30% (81,914 S.F.)	16.79% (45,859 S.F.)	16.79% (45,859 S.F.)
MAXIMUM DEVELOPMENT AREA	60% (163,827 S.F.)	42.6% (116,318 S.F.)	42.7% (116,706 S.F.)
* VARIANCE OBTAINED			
ZONING INFORMATION OBTAINED FROM AS BUILT SITE PLAN FOR TIMBER RIDGE CONDOMINIUMS BY DEMASI ARCHITECTS P.C. DATED JANUARY 5, 2018.			



LOCATION MAP N.T.S.

- CONSTRUCTION NOTES:
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1H:3V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



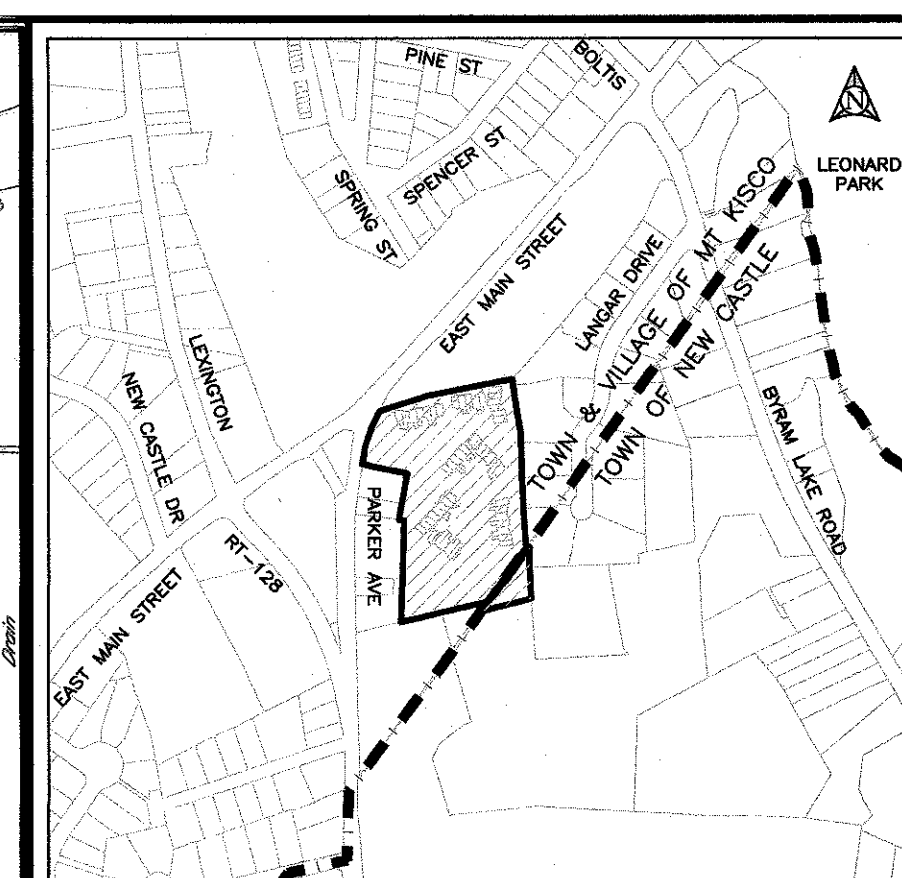
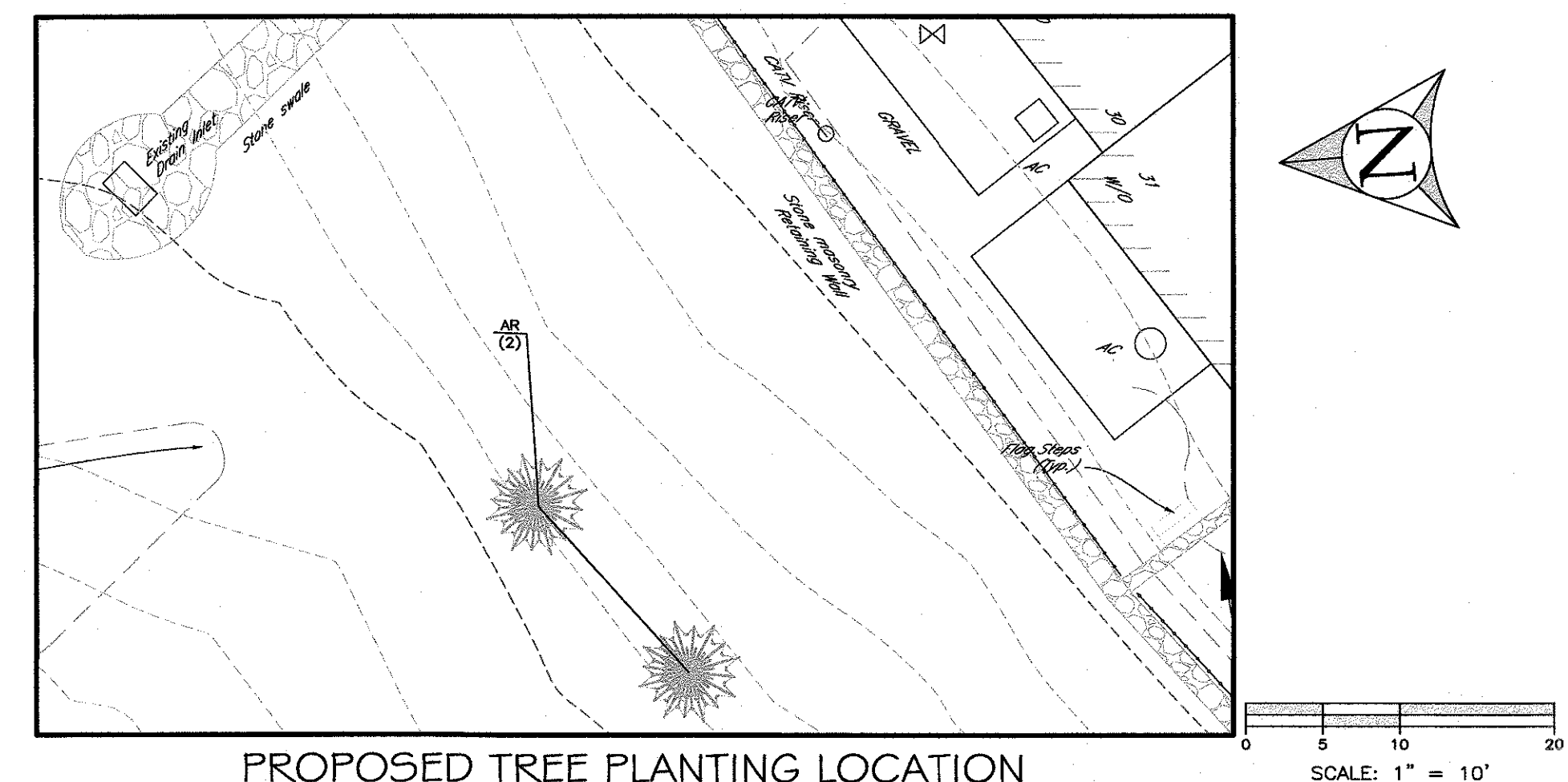
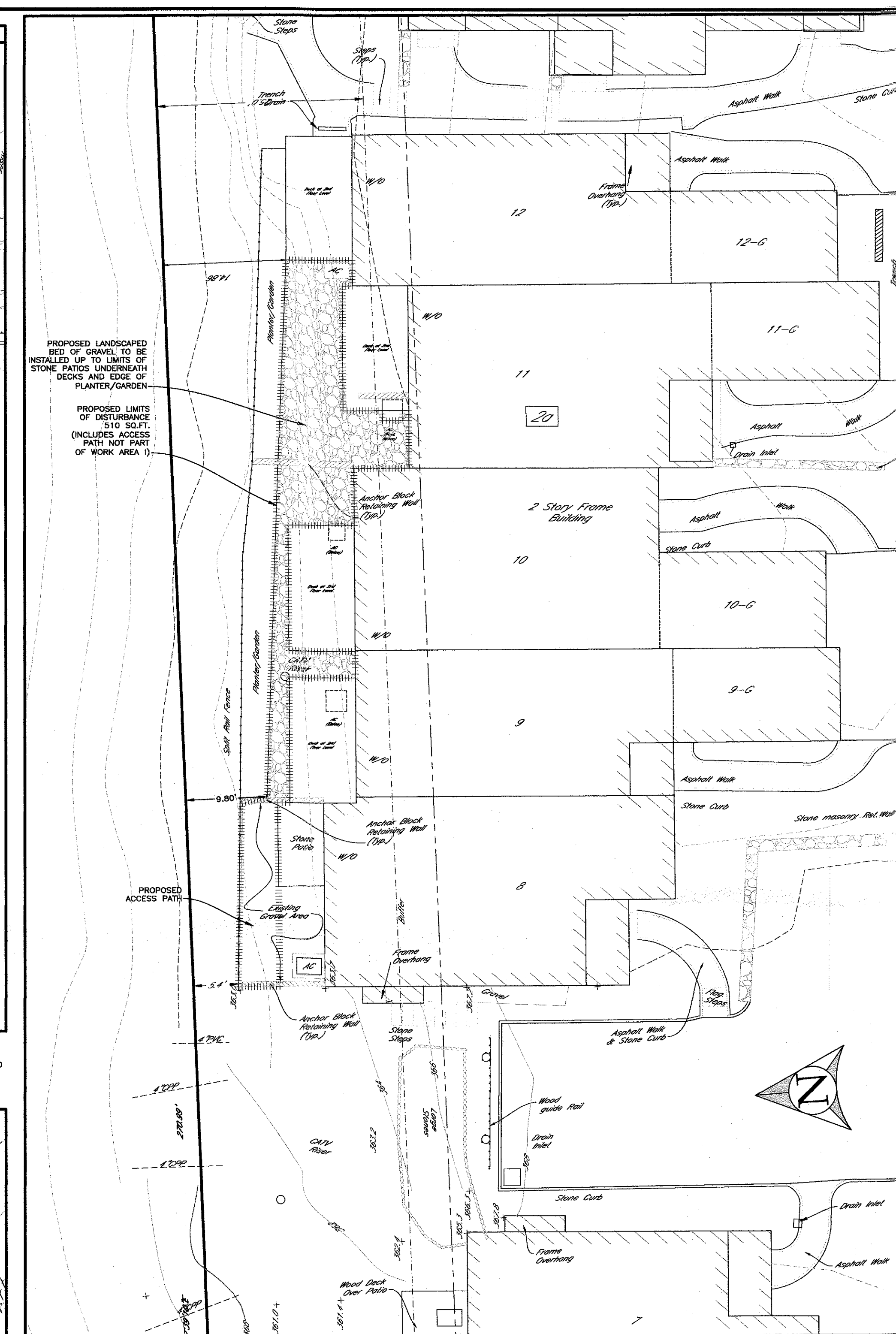
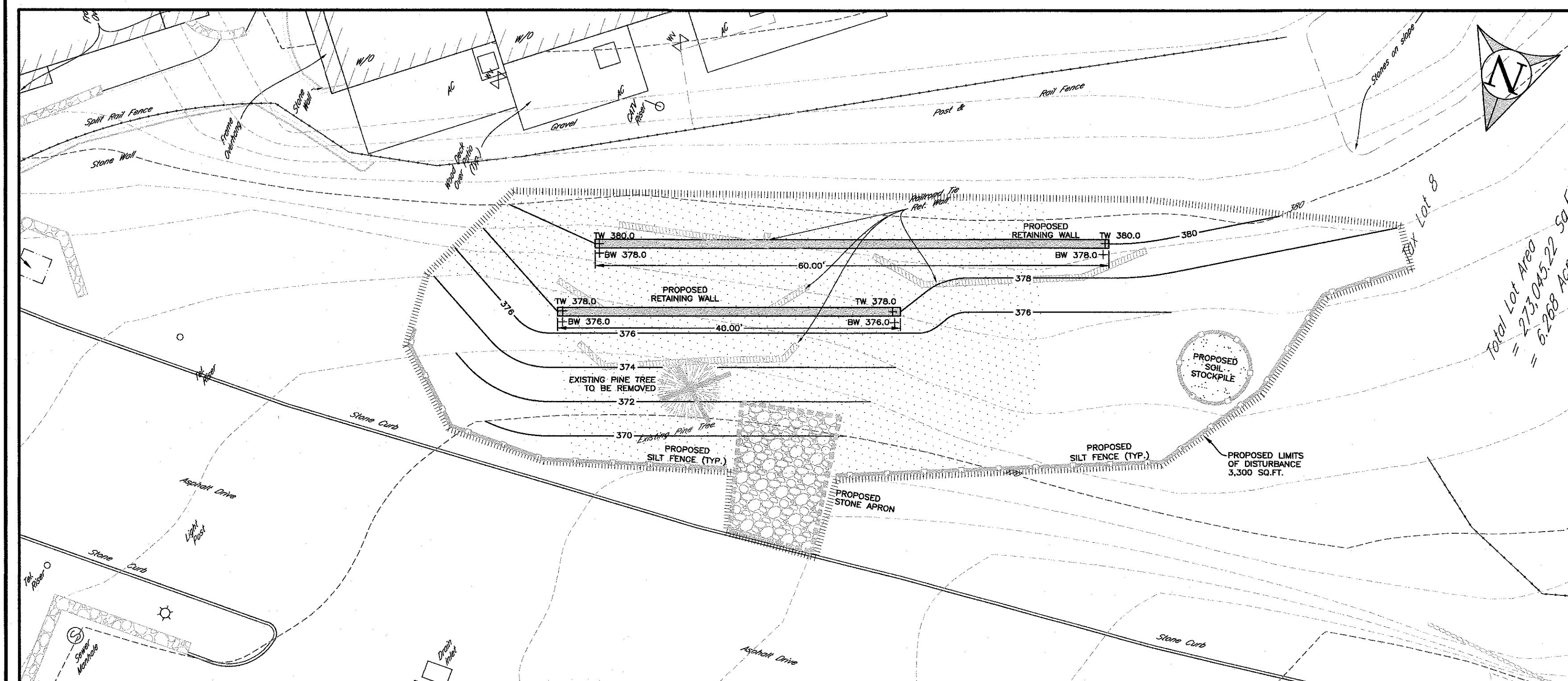
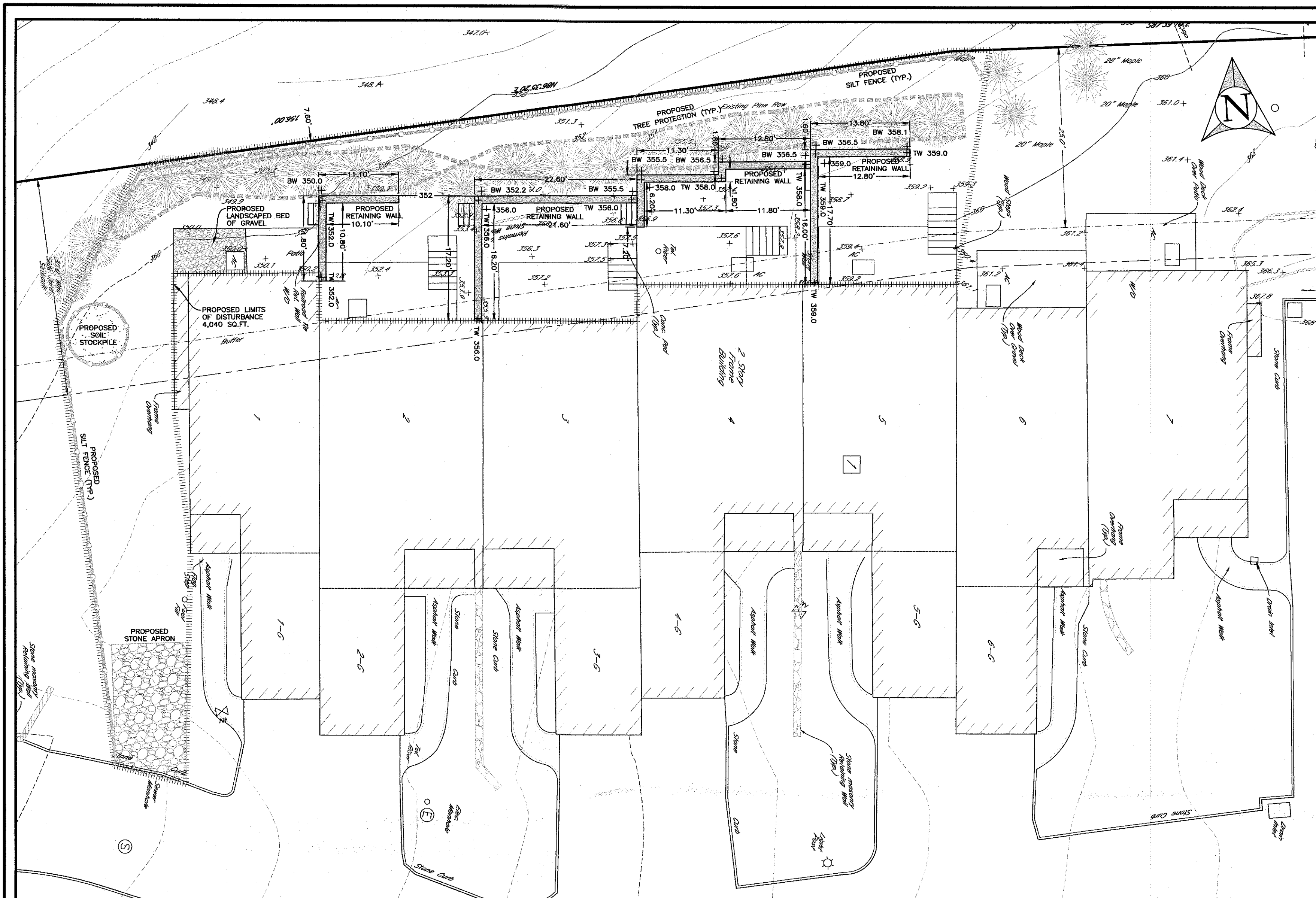
ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT: C/O HERITAGE MANAGEMENT PO BOX 285 SOMERS, NY 10589	
SITE ADDRESS: ARMONK ROAD MT KISCO NEW YORK	
TAX MAP #: 80.73-1-8	
LOT AREA: 6.268 ACRES	
ZONING: RM-12	REVISED: DECEMBER 22, 2020 REVISED: OCTOBER 1, 2020
DRAWING: AMENDED OVERALL SITE PLAN AUGUST 10, 2020	
PROJECT: TIMBER RIDGE CONDOMINIUMS TOWN & VILLAGE OF MOUNT KISCO, WESTCHESTER COUNTY, NEW YORK	

RECEIVED

MAY 25 2021

Zoning Board of Appeals
Village of Town of Mount Kisco



TREE PRESERVATION CHART			
EXISTING TREE LOCATION	RATIO OF HEALTHY TREE REPLACEMENT	NUMBER OF TREES TO BE REMOVED	NUMBER OF PROPOSED REPLACEMENT TREES
25%+ SLOPE	2:1	1	2
TOTAL NUMBER OF TREES		1	2

SLOPE LEGEND

TOTAL DISTURBED AREA
WORK AREA II = 3,300 SF

SLOPE GREATER THAN 25%
DISTURBED AREA WORK AREA II
= 1,917 SF

- TREE NOTES:**
- PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY ON ANY PART OF A SITE, THE BUILDING INSPECTOR SHALL MEET WITH THE DEVELOPER AND HIS/HER CONSTRUCTION MANAGER TO ENSURE THAT:
- THOSE TREES DESIGNATED TO BE PRESERVED ARE PHYSICALLY IDENTIFIED ON THE SITE SO AS TO BE EASILY RECOGNIZABLE AS TREES TO BE PROTECTED.
 - THE IDENTIFIED MEASURES TO PROTECT TREES BEFORE, DURING AND FOR A PERIOD OF TWO YEARS AFTER CONSTRUCTION ARE IMPLEMENTED.

TREE REPLACEMENT SCHEDULE				
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
2	AR	ACER RUBRUM	OCTOBER GLORY "RED MAPLE"	> 4" DBH

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED BY THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA

OWNER/APPLICANT:
C/O HERITAGE MANAGEMENT PO BOX 285 SOMERS, NY 10589

SITE ADDRESS:
ARONK ROAD MT KISCO NEW YORK

TAX MAP #: 80.73-1-8

LOT AREA: 6.288 ACRES

ZONING: RM-12

REVISOR: DECEMBER 22, 2020

REVISION: OCTOBER 1, 2020

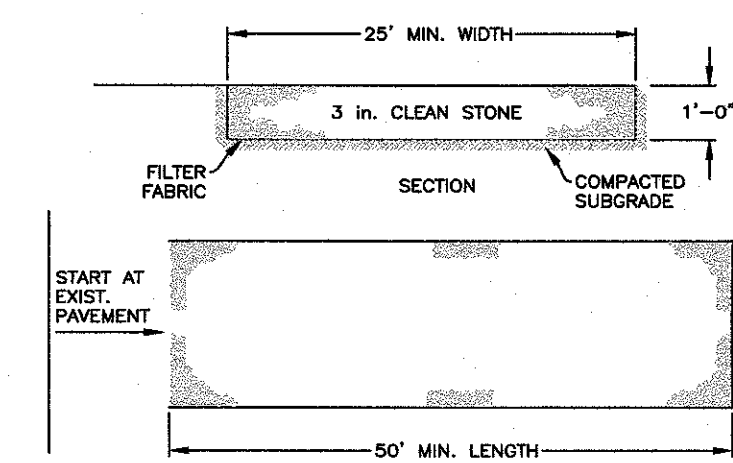
PROPOSED SITE IMPROVEMENTS SITE PLAN I
AUGUST 10, 2020

PROJECT:
TIMBER RIDGE CONDOMINIUMS
TOWN & VILLAGE OF MOUNT KISCO,
WESTCHESTER COUNTY, NEW YORK

SHEET: 02 OF 03

EROSION CONTROL NOTES:

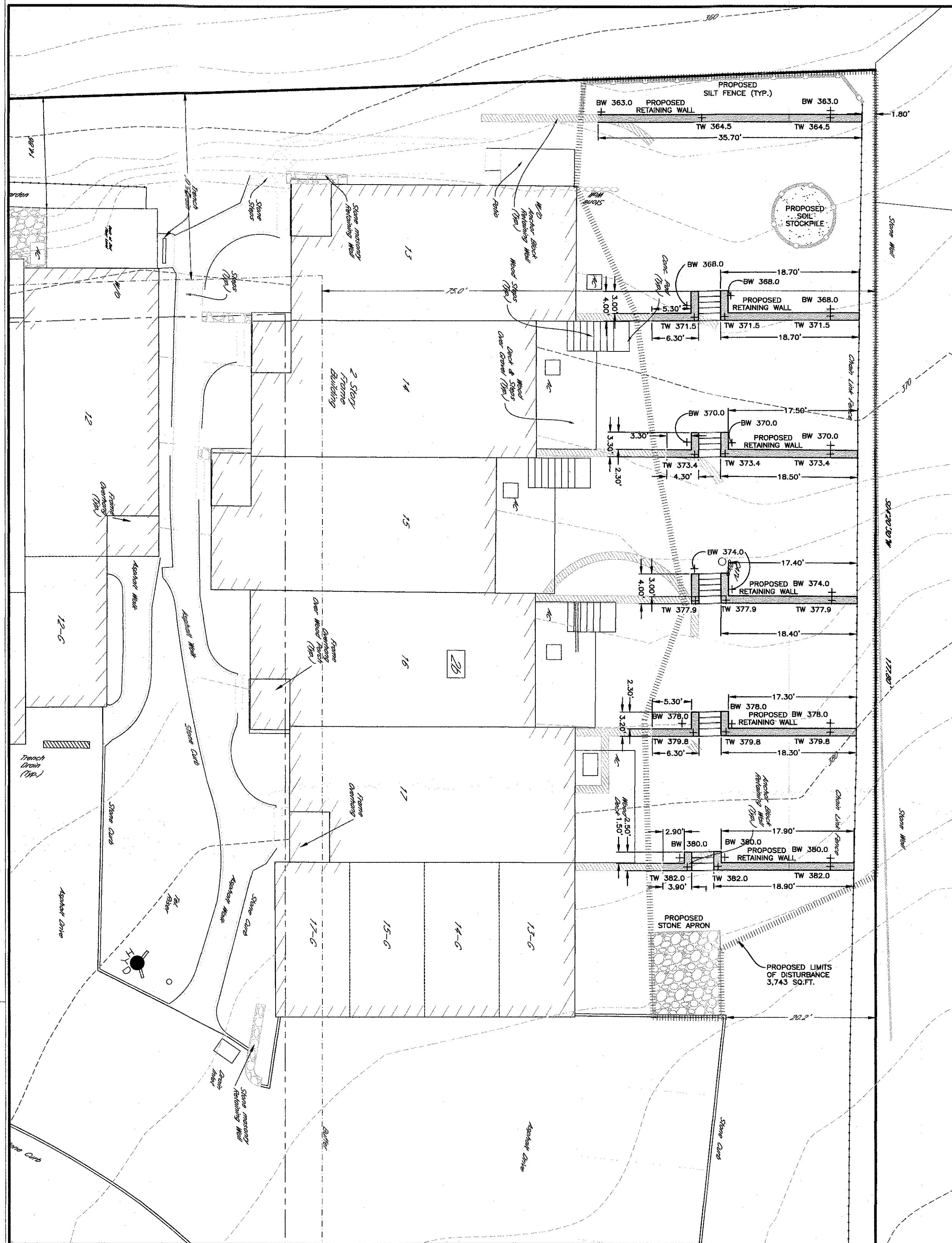
1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).



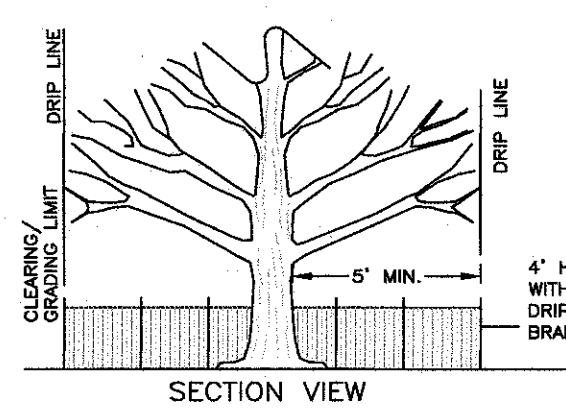
INSTALLATION NOTES

1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE SURFACE OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PAID ACROSS THE ENTRANCE. IF PAVING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO TRAVEL ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

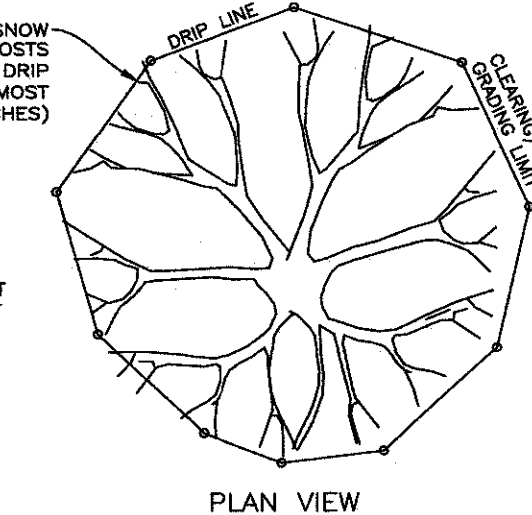
STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.



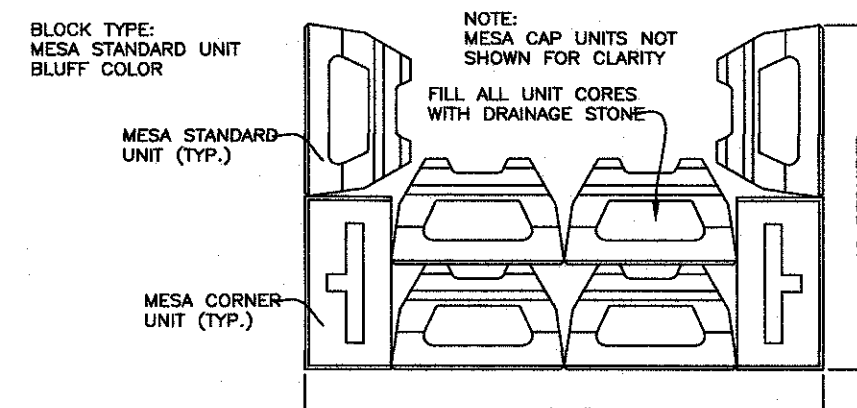
PROPOSED WORK AREA IV



NOTES: CONSTRUCTION EQUIPMENT, OR VEHICLES SHALL NOT BE PARKED OR OPERATED UNDER THE CANOPY OF A PROTECTED TREE.
EXCAVATION OR STOCKPILING UNDER PROTECTED TREES IS NOT ACCEPTABLE.
BOARDS OR FENCES SHALL NOT BE NAILED TO PROTECTED TREES.



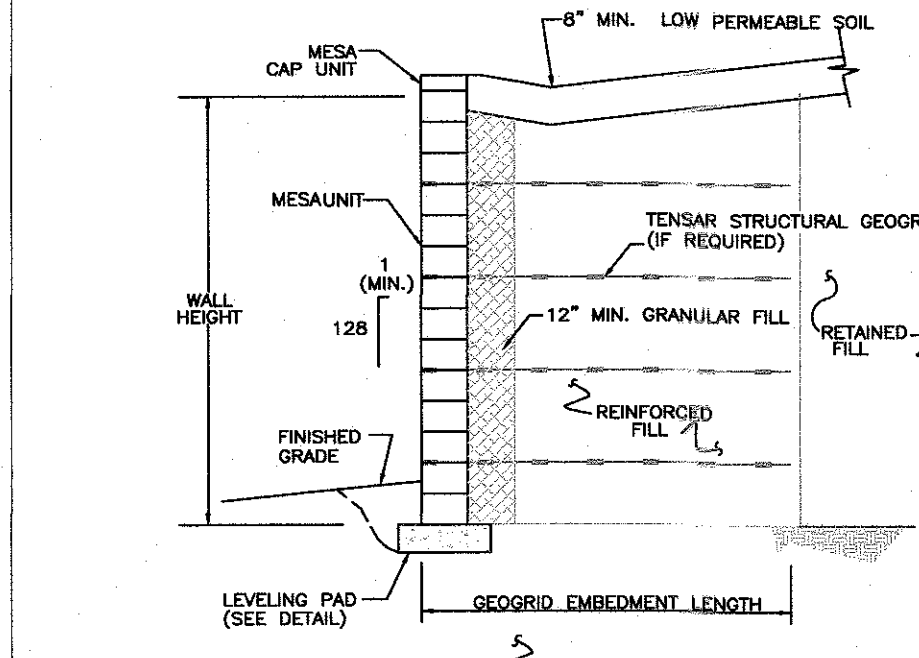
TREE PROTECTION DETAIL N.T.S.



ALL BLOCK, CAPSTONE, AND MASONRY UNITS SUPPLIED BY PALUMBO BLOCK CO., INC. CONTACT: MIKE BURNS (845) 832-6100.

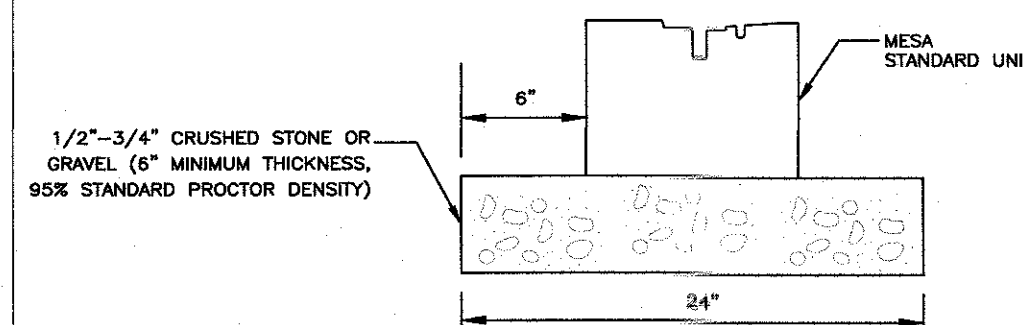
STAIR RISER PLAN N.T.S.

TO BE UTILIZED IN PROPOSED WORK AREA I & IV



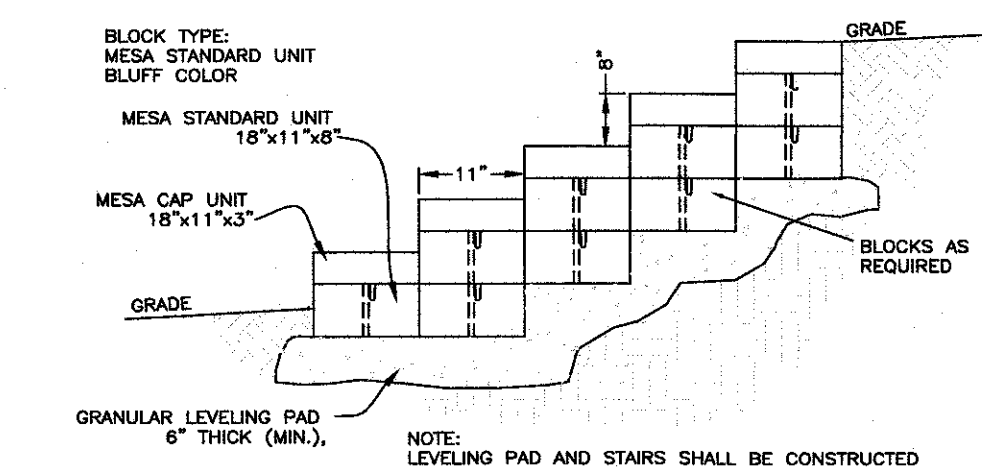
TYPICAL CROSS-SECTION MESA RETAINING WALL DETAIL N.T.S.

TO BE UTILIZED IN PROPOSED WORK AREA I & IV



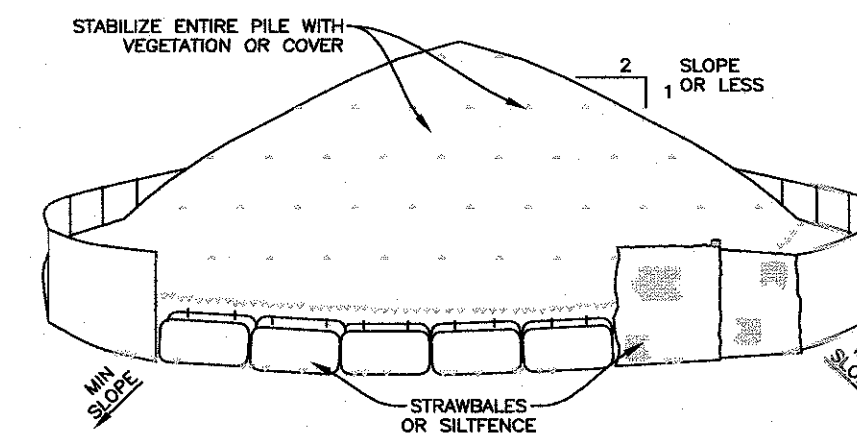
GRAVEL LEVELING PAD DETAIL NOT TO SCALE

TO BE UTILIZED IN PROPOSED WORK AREA I & IV



STAIR RISER SECTION N.T.S.

TO BE UTILIZED IN PROPOSED WORK AREA I & IV



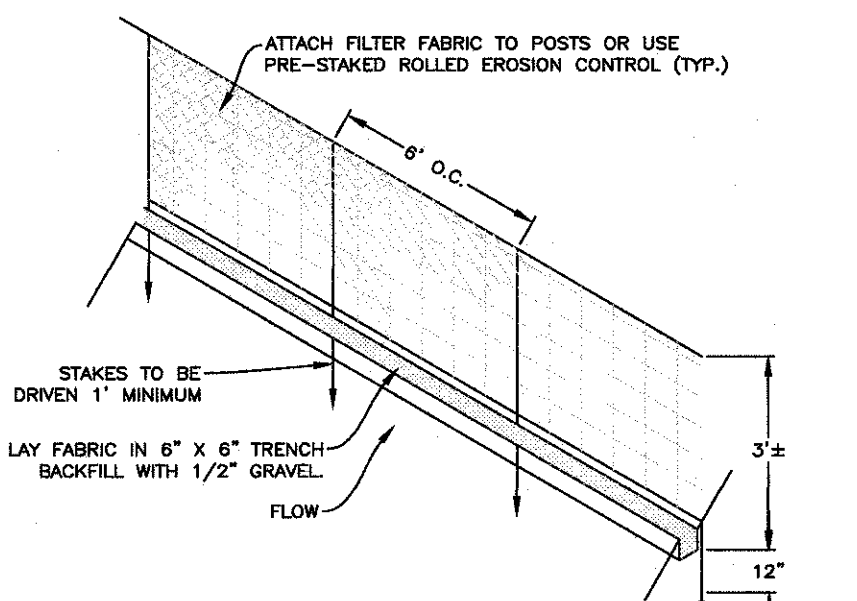
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOLS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

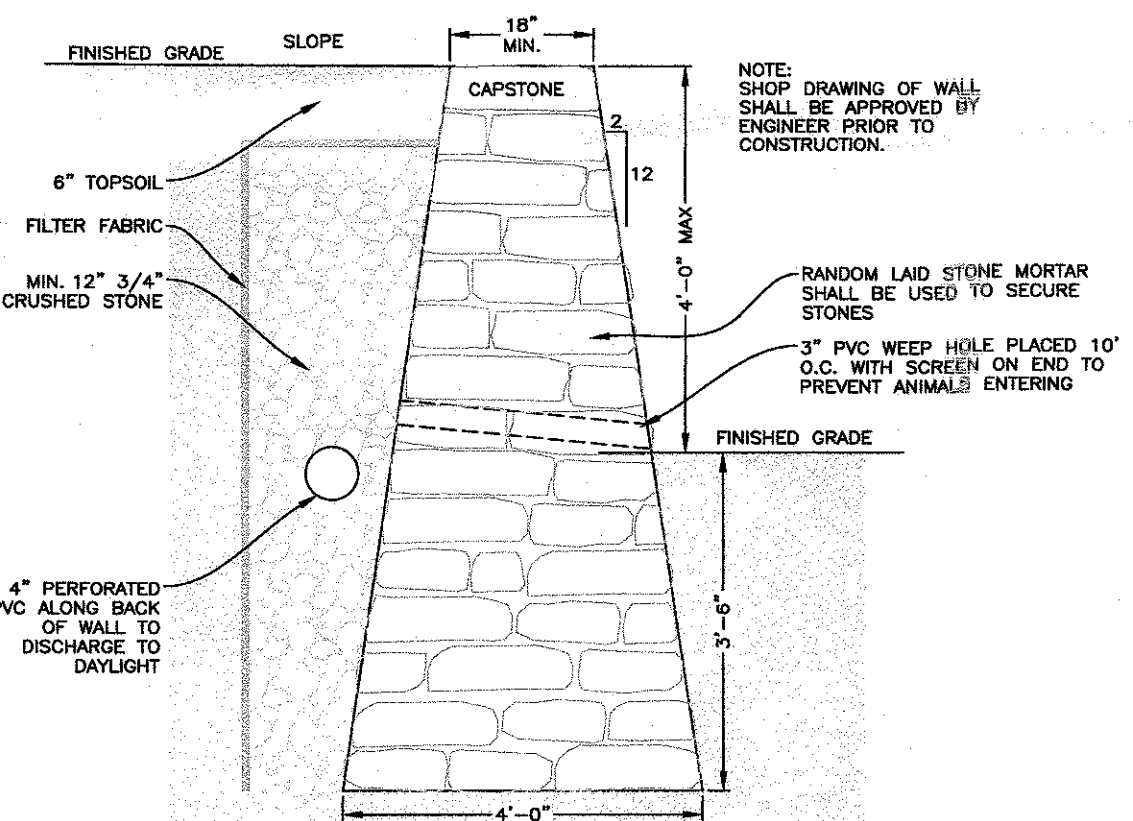
INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVER.

TEMPORARY MATERIAL STOCKPILE N.T.S.

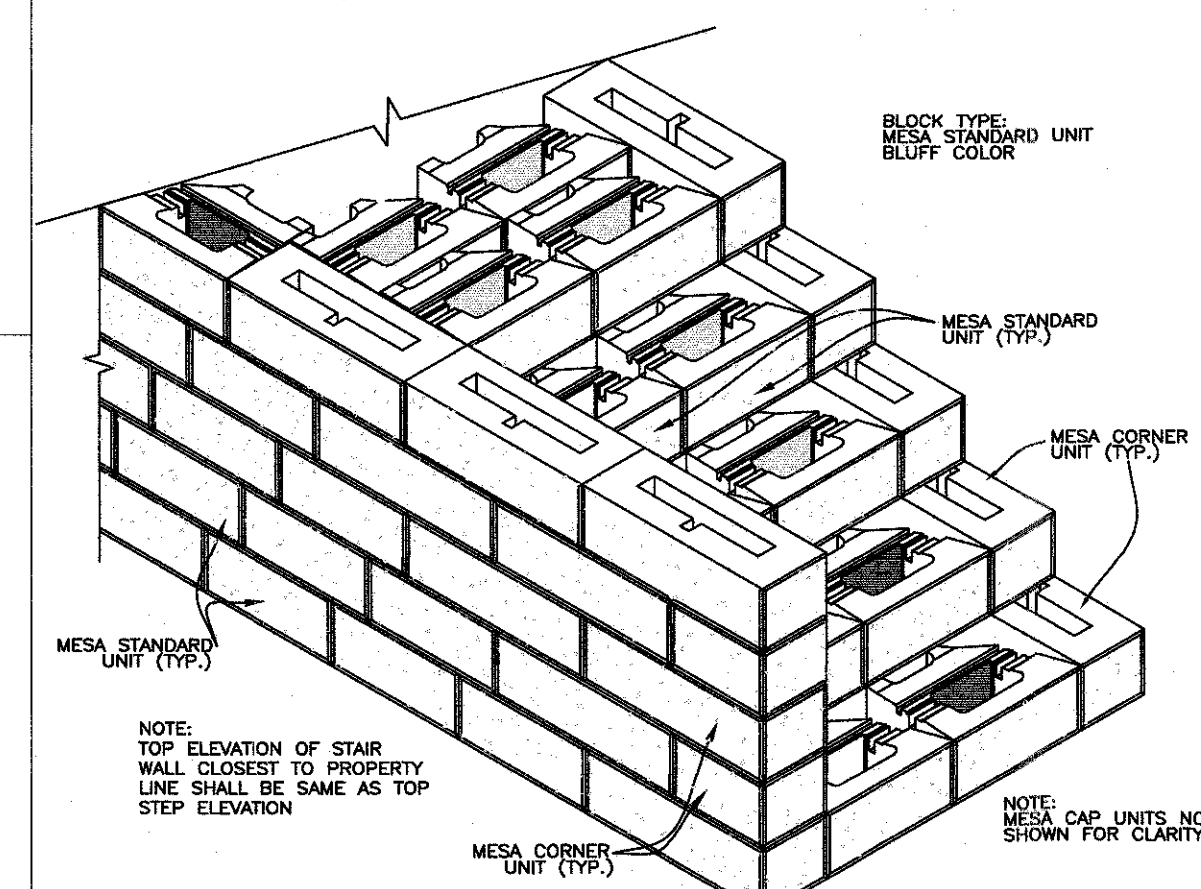


SILT FENCE N.T.S.



TYPICAL RETAINING WALL N.T.S.

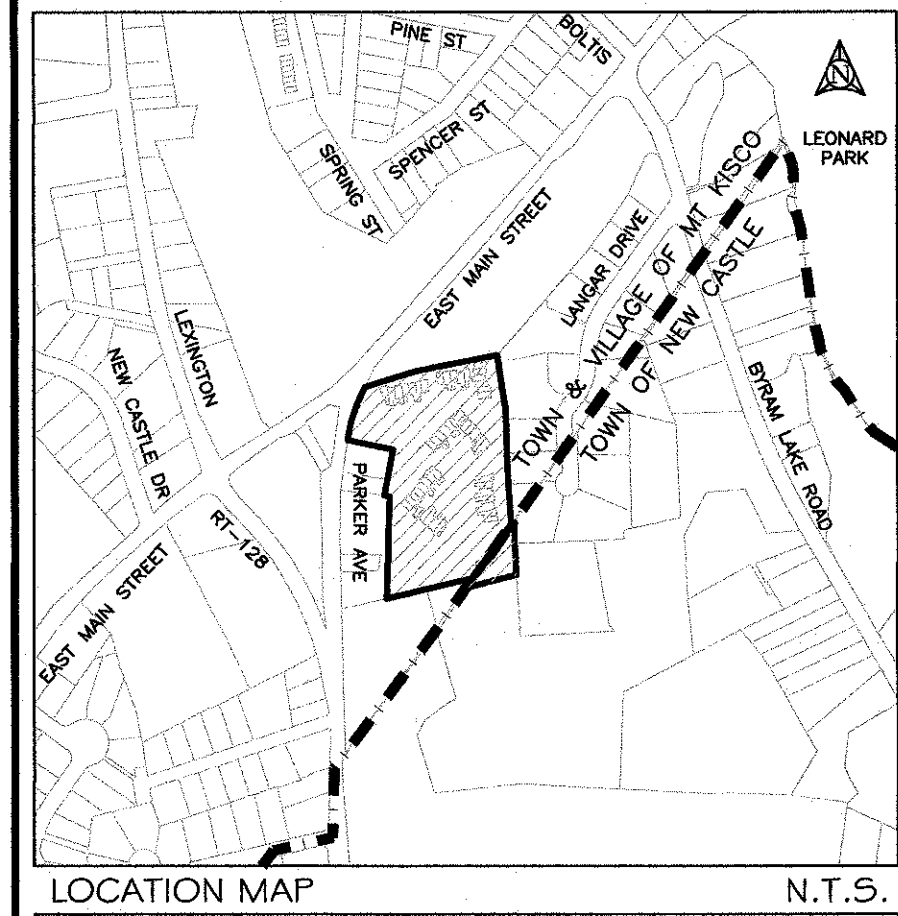
TO BE UTILIZED IN PROPOSED WORK AREA II



EXPOSED RISER DETAIL N.T.S.

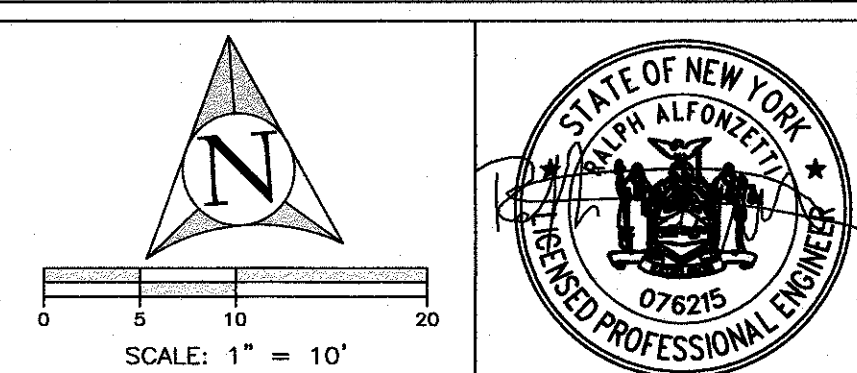
NOTE: LEVELING PAD AND STAIRS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. ALL BLOCK, CAPSTONE, AND MASONRY UNITS SUPPLIED BY PALUMBO BLOCK CO., INC. CONTACT: MIKE BURNS (845) 832-6100.

TO BE UTILIZED IN PROPOSED WORK AREA I & IV



LOCATION MAP N.T.S.

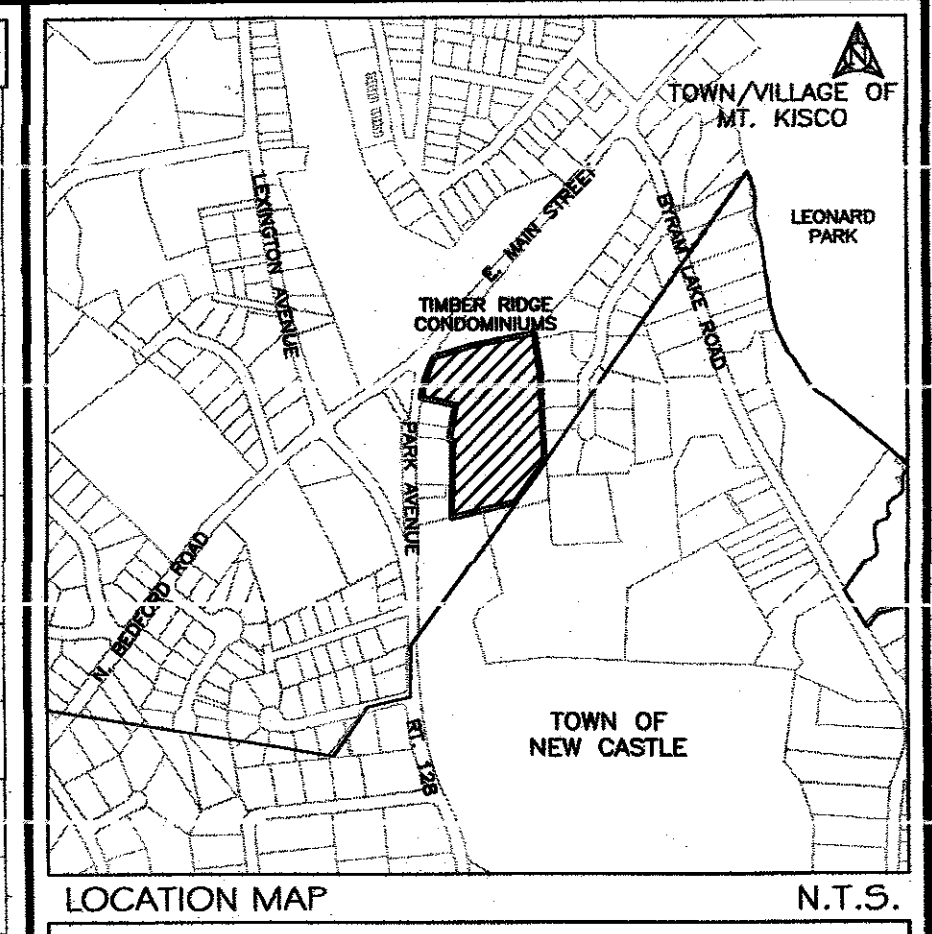
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2009(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT: C/O HERITAGE MANAGEMENT PO BOX 265 SOMERS, NY 10589	
SITE ADDRESS: ARMONK ROAD MT KISCO NEW YORK	
TAX MAP #: 80.73-1-8	
LOT AREA: 6.268 ACRES	
ZONING: RM-12	
REVISION: DECEMBER 22, 2020	
REVISION: OCTOBER 1, 2020	
PROPOSED SITE IMPROVEMENTS SITE PLAN II & DETAILS PLAN AUGUST 10, 2020	
PROJECT: TIMBER RIDGE CONDOMINIUMS TOWN & VILLAGE OF MOUNT KISCO, WESTCHESTER COUNTY, NEW YORK	

ZONING CONFORMANCE TABLE			
ZONING DISTRICT	RM-12 MULTI-RESIDENTIAL		
	REQUIRED OR ALLOWED	EXISTING	PROPOSED
MINIMUM NET LOT AREA	7,000 S.F.	273,055 S.F. (6.268 ACRES)	273,055 S.F. (6.268 ACRES)
FRONT YARD SETBACK	30 FT.	30.88 FT.	30.88 FT.
SIDE YARD SETBACK	30 FT.	12.61 FT.*	12.61 FT.*
REAR YARD SETBACK	80 FT.	36.51 FT.	36.51 FT.
MAXIMUM BUILDING COVERAGE	30% (81,914 S.F.)	16.79% (45,859 S.F.)	16.79% (45,859 S.F.)
MAXIMUM GROSS LAND COVERAGE	60% (163,821 S.F.)	42.47% (115,952 S.F.)	42.60% (116,318 S.F.)
* VARIANCE OBTAINED			
ZONING INFORMATION OBTAINED FROM AS BUILT SITE PLAN FOR TIMBER RIDGE CONDOMINIUMS BY DEMASI ARCHITECTS P.C. DATED JANUARY 5, 2018.			



- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTORS SHALL CALL 800-455-1111 (TYPED) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 1:1 OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN USE OF BLASTING, ROCK REMOVAL WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. LANDHOLDERS ARE RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.

MOUNT KISCO PLANNING BOARD
CASE NO. PB 2019-02147
DATE 6-5-19
VILLAGE ENGINEER 6-5-19
DATE 6-5-19
BLOG INSPECTOR 6-5-19
DATE 6-5-19
VILLAGE MANAGER 6-5-19
DATE 6-5-19
PB CHAIRMAN 6-5-19

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845-228-9800

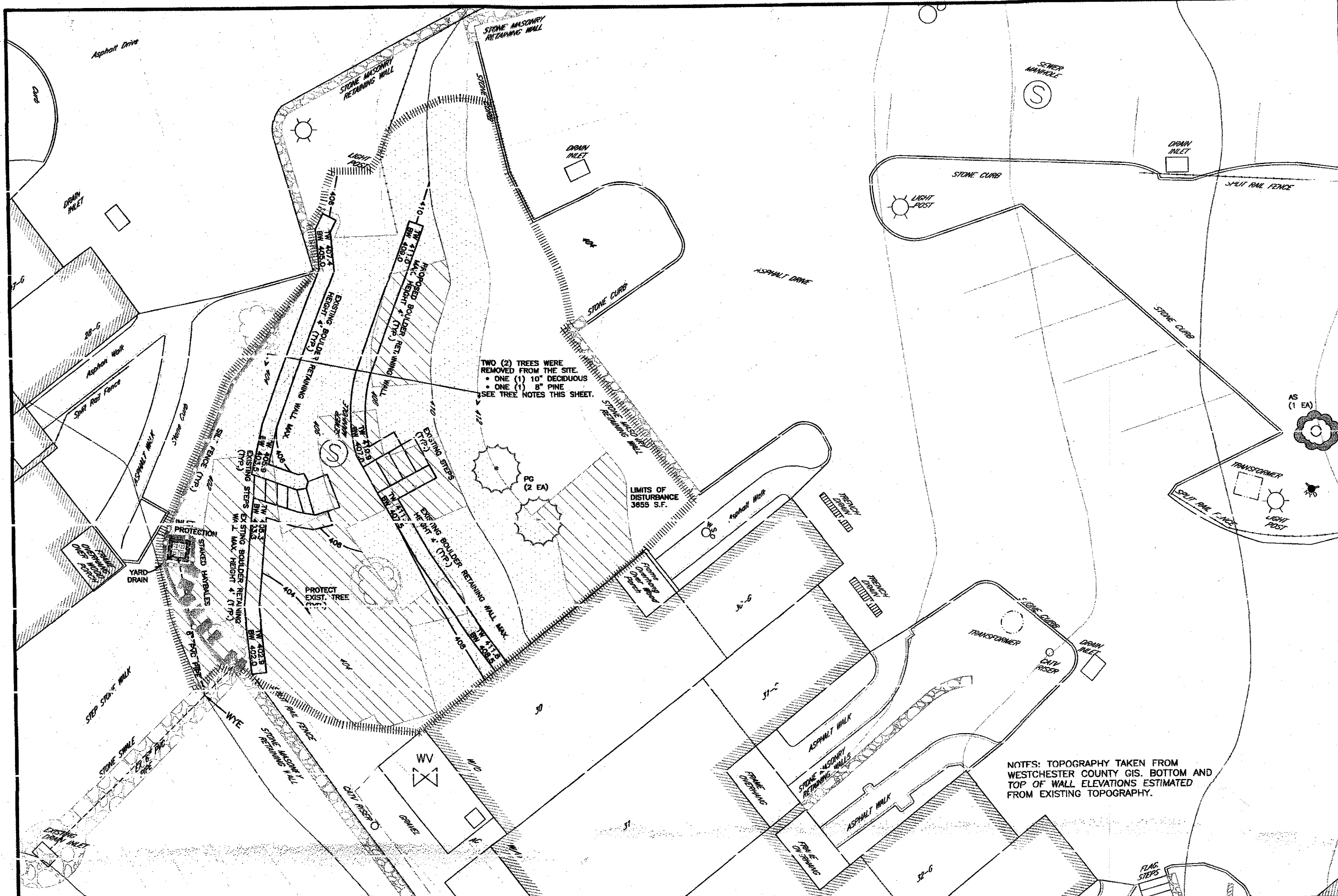
SITE DATA
OWNER/APPLICANT: C/O HERITAGE MANAGEMENT, PO BOX 225, SOMERS, NY 10589
Village of Town of Mount Kisco Planning Board
MAY 30 2019
RECEIVED

AMENDED OVERALL SITE PLAN
MAY 6, 2019

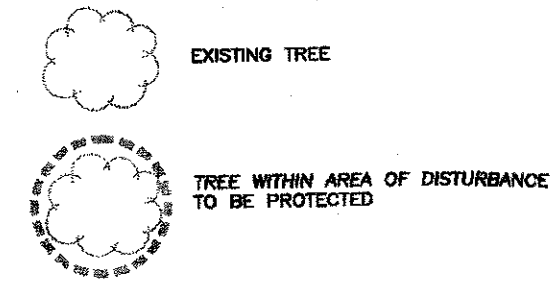
PROJECT: TIMBER RIDGE CONDOMINIUMS
TOWN AND VILLAGE OF MT. KISCO,
WESTCHESTER COUNTY, NY



RECEIVED
MAY 26 2021
Zoning Board of Appeals
Village/Town of Mount Kisco

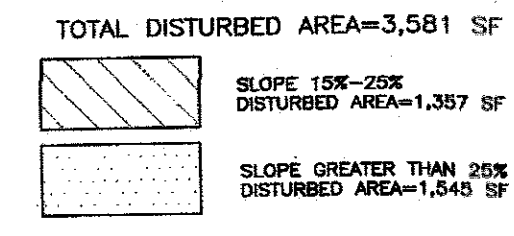


TREE LEGEND



TREE REPLACEMENT SCHEDULE				
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
1	AS	ACER SACCHARUM	SUGAR MAPLE	> 4" DBH
2	PG	PICEA GLAUCA	WHITE SPRUCE	12" MIN. HEIGHT

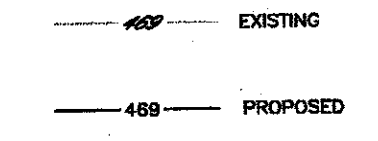
SLOPE LEGEND



TREE PRESERVATION CHART

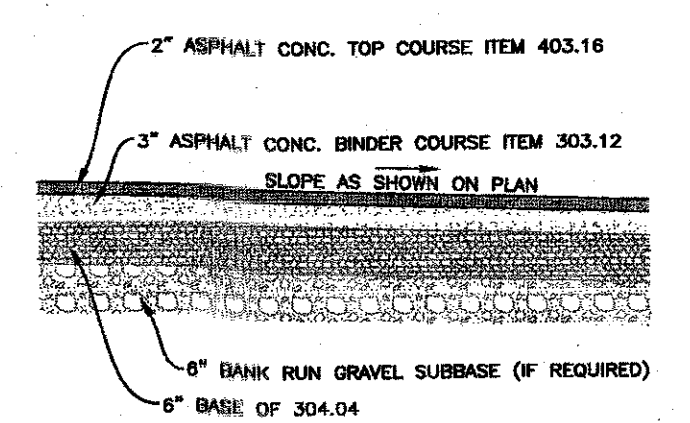
EXISTING TREE LOCATION	RATIO OF HEALTHY TREE REPLACEMENT	NUMBER OF TREES TO BE REMOVED	NUMBER OF PROPOSED REPLACEMENT TREES
LESS THAN 25% SLOPE	0:1	1	1
25%+ SLOPE	2:1	1	2
TOTAL NUMBER OF TREES		2	3

CONTOUR LEGEND

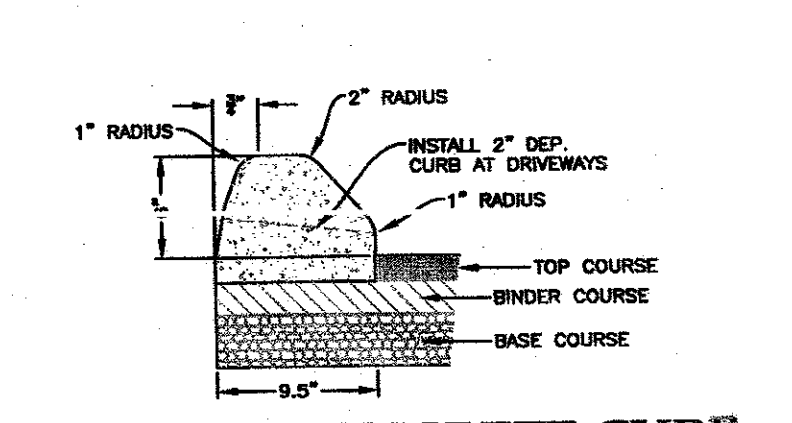


TREE NOTES:

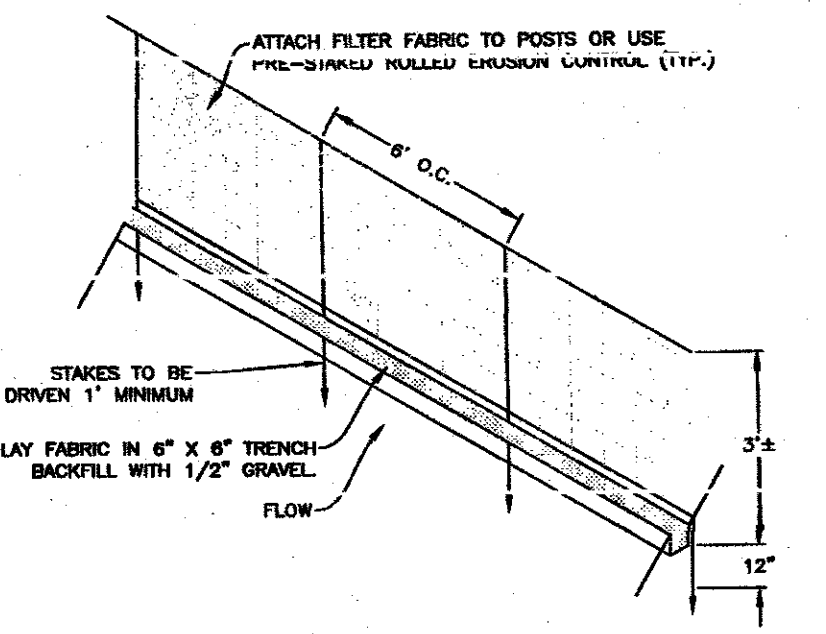
- PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY ON ANY PART OF A SITE, THE BUILDING INSPECTOR SHALL MEET WITH THE DEVELOPER AND HIS/HER CONSTRUCTION MANAGER TO ENSURE THAT:
- THOSE TREES DESIGNATED TO BE PRESERVED ARE PHYSICALLY IDENTIFIED ON THE SITE SO AS TO BE EASILY RECOGNIZABLE AS TREES TO BE PROTECTED.
 - THE IDENTIFIED MEASURES TO PROTECT TREES BEFORE, DURING AND FOR A PERIOD OF TWO YEARS AFTER CONSTRUCTION ARE IMPLEMENTED.



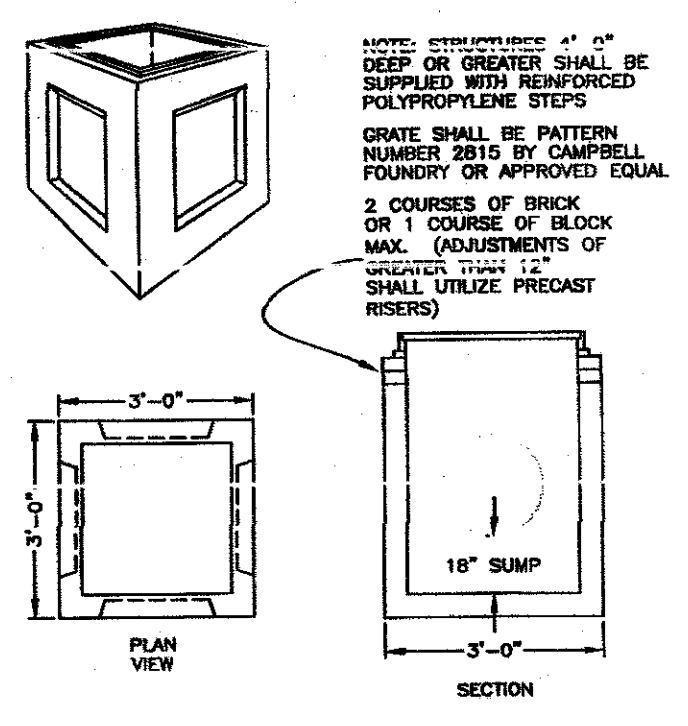
TYPICAL PAVEMENT SECTION
N.T.S.



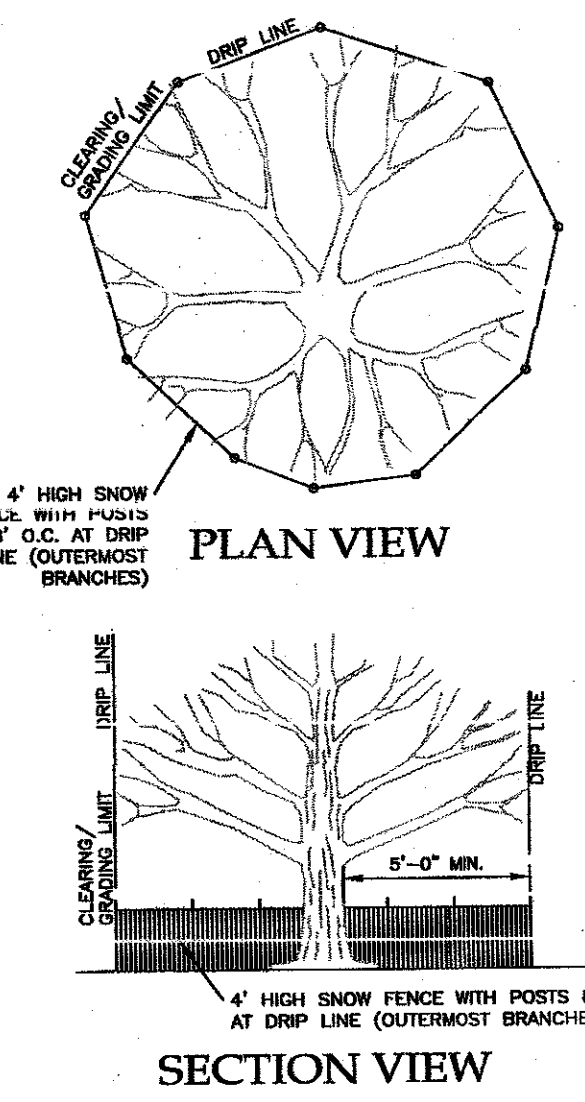
ASPHALT CONCRETE CURB
N.T.S.



SILT FENCE
N.T.S.



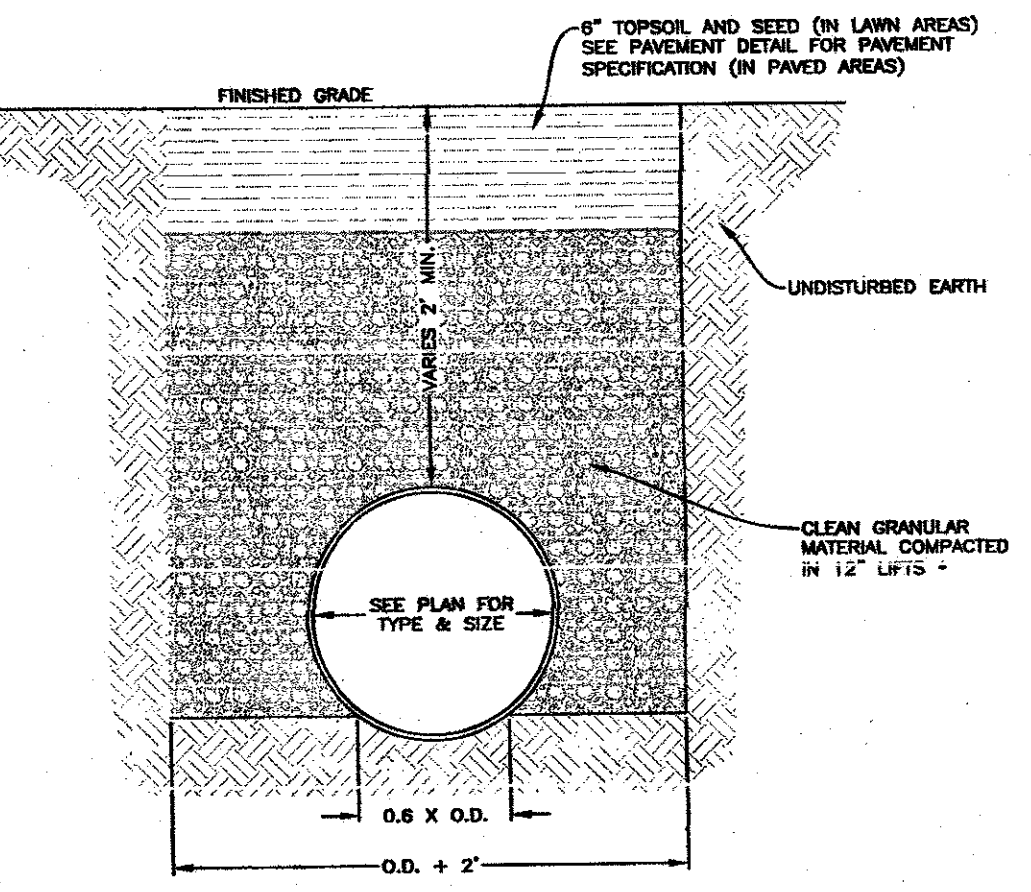
YARD DRAIN
N.T.S.



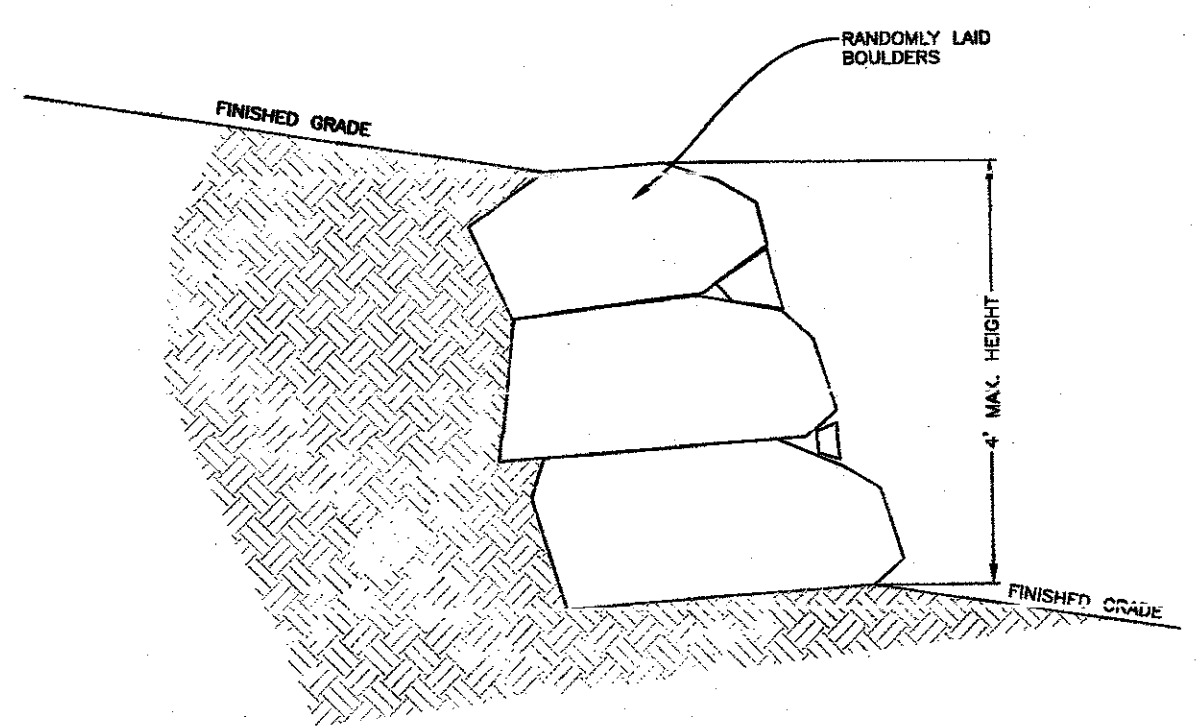
SECTION VIEW
N.T.S.

- NOTES:
- CONSTRUCTION EQUIPMENT, OR VEHICLES SHALL NOT BE PARKED OR OPERATED UNDER THE CANOPY OF A PROTECTED TREE.
 - EXCAVATION OR STOCKPILING UNDER PROTECTED TREES IS NOT ACCEPTABLE.
 - BOARDS OR FENCES SHALL NOT BE NAILED TO PROTECTED TREES.

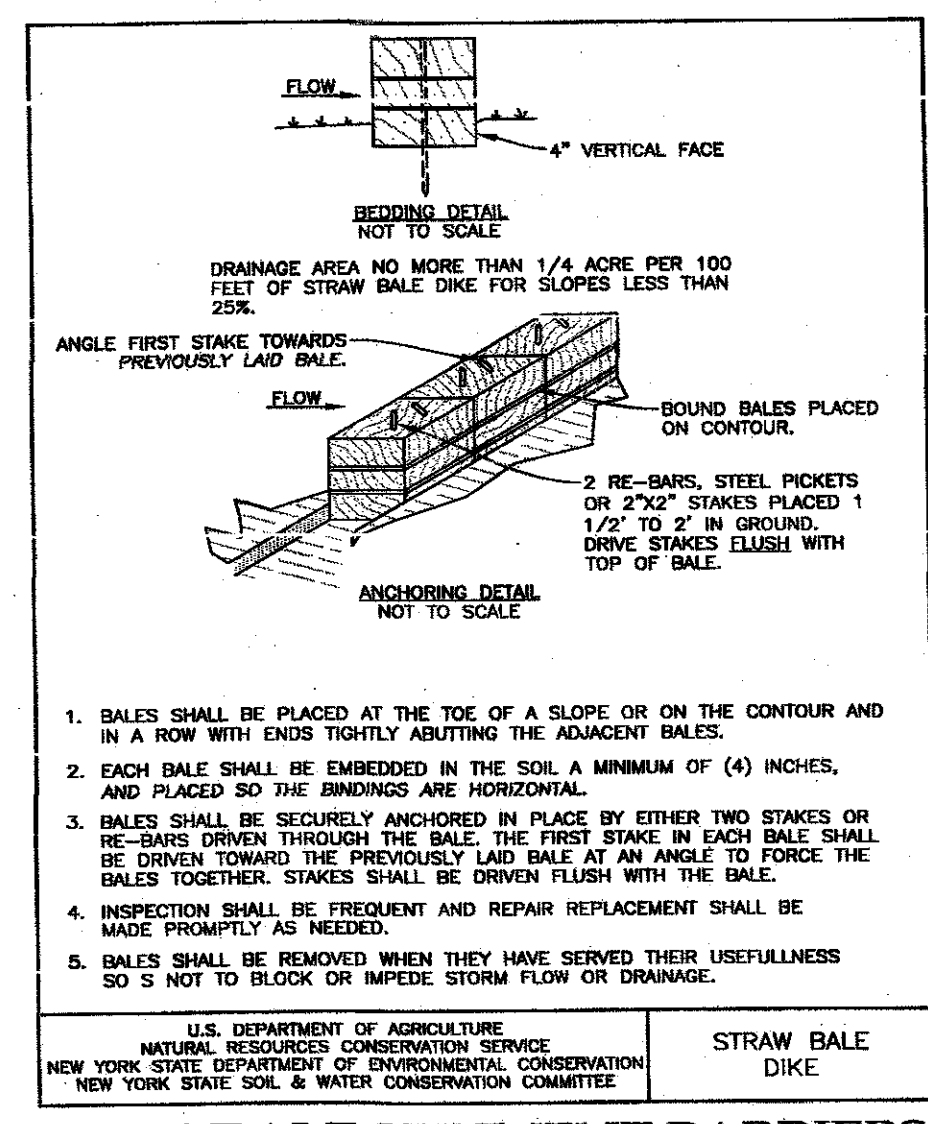
TREE PROTECTION
N.T.S.



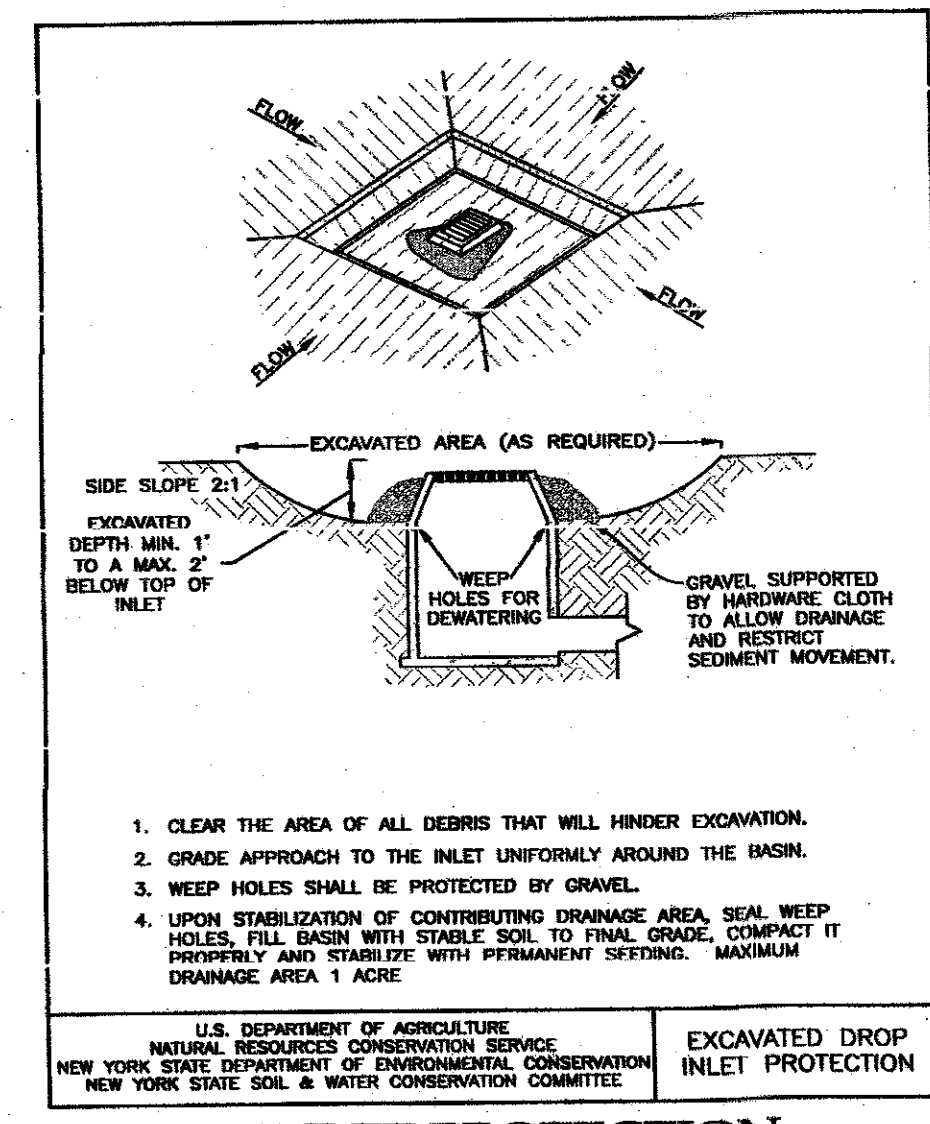
DRAIN PIPE TRENCH DETAIL
N.T.S.



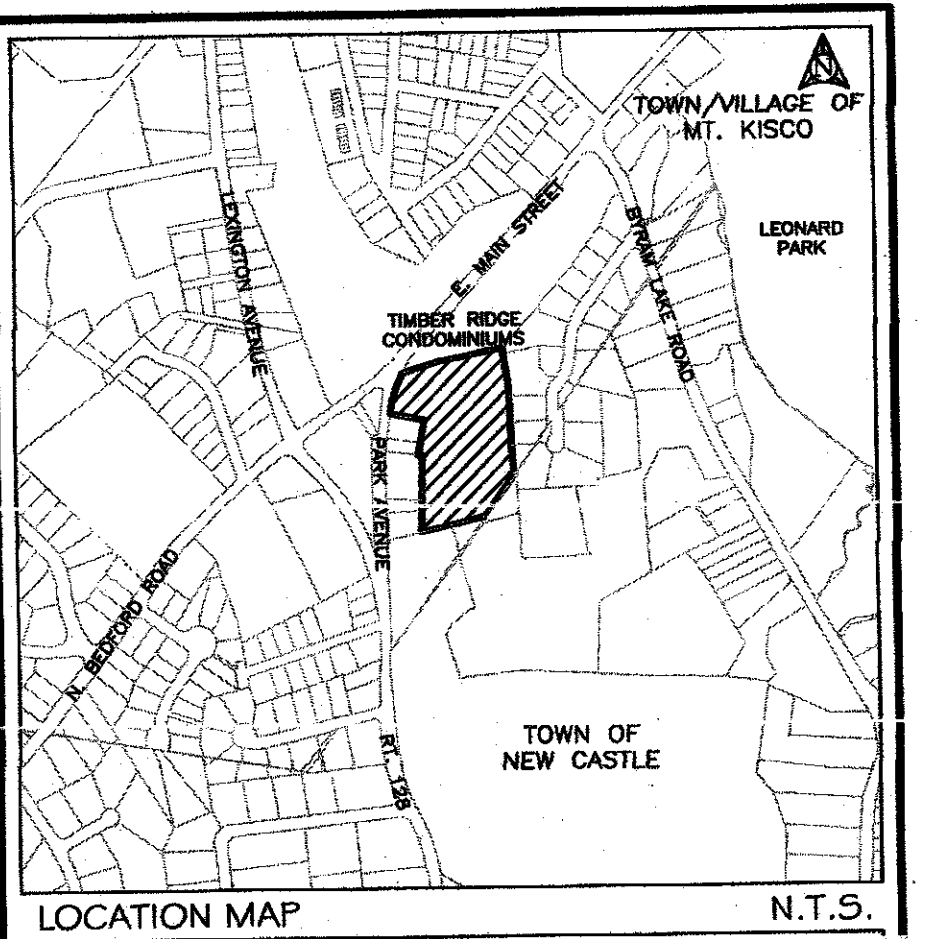
BOULDER RETAINING WALL
N.T.S.



HAYBALE SEDIMENT BARRIERS
N.T.S.

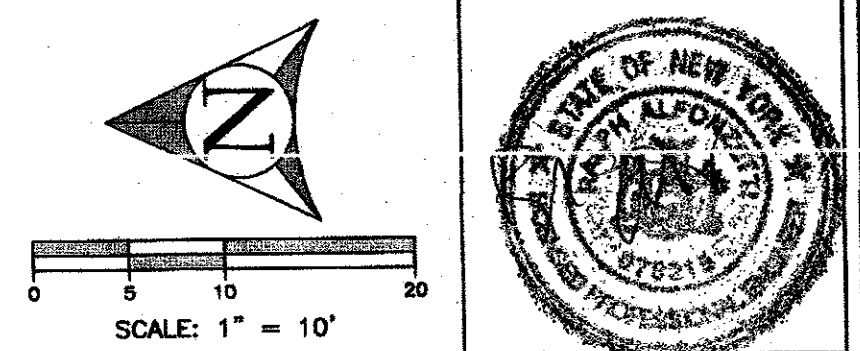


INLET PROTECTION
N.T.S.



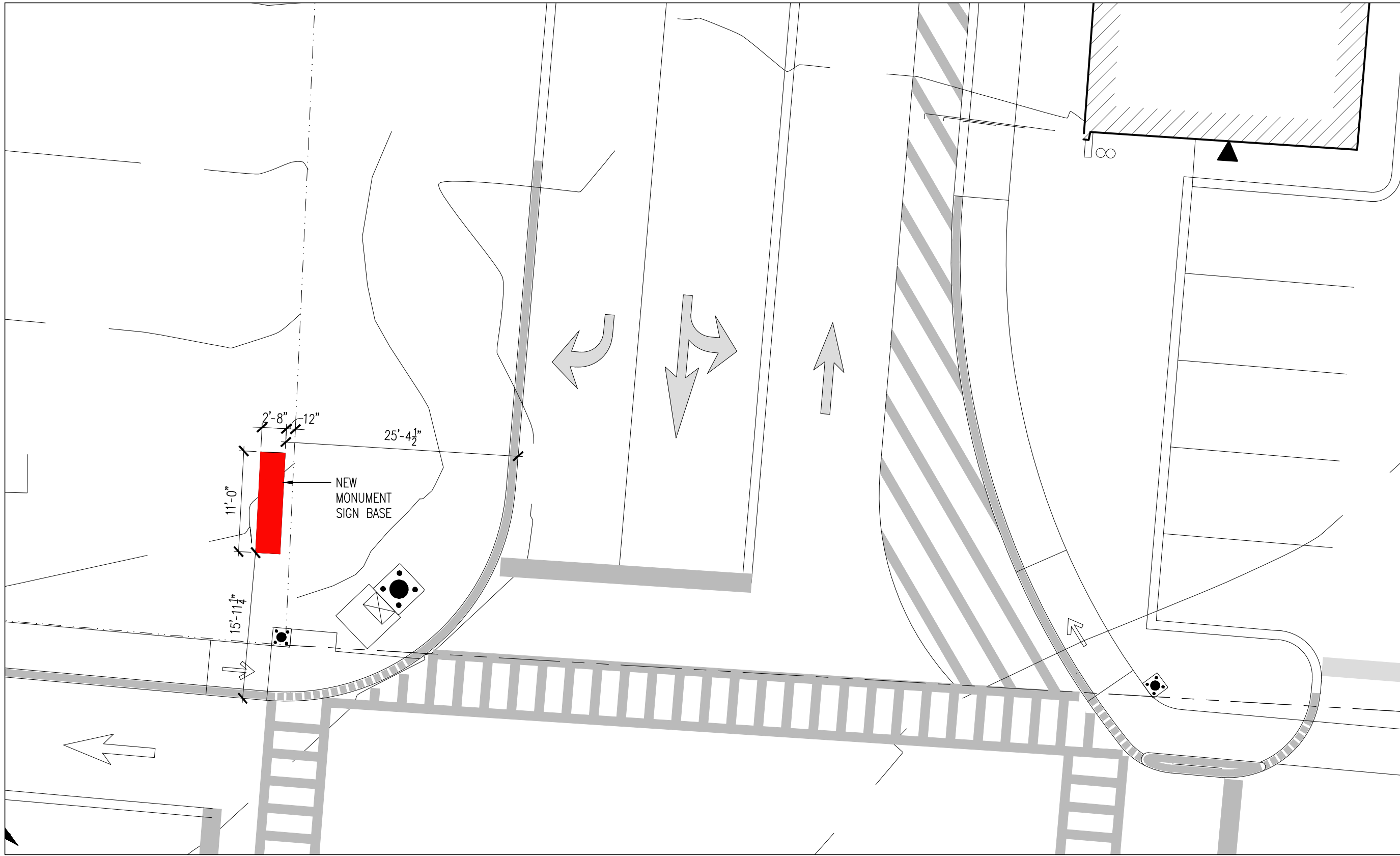
LOCATION MAP
N.T.S.

- EROSION CONTROL NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 - PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. THE FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 - INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2\"/>
 - MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM CAPACITY IS REACHED. DEVICES SHALL BE MAINTAINED IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 - ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LINED, FERTILIZED, TEMPORARILY SEEDING AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES. IN DRAINAGE SWALES FOR AS WITH ANY AREAS. RESEEDING AT 1\"/>
 - ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDING, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
 - ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LINED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
 - ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WEETED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
 - THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 - ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
 - UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RAINFALL IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDING AND MULCHED.
 - SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
 - ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" (BLUE BOOK).
 - ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" (BLUE BOOK).

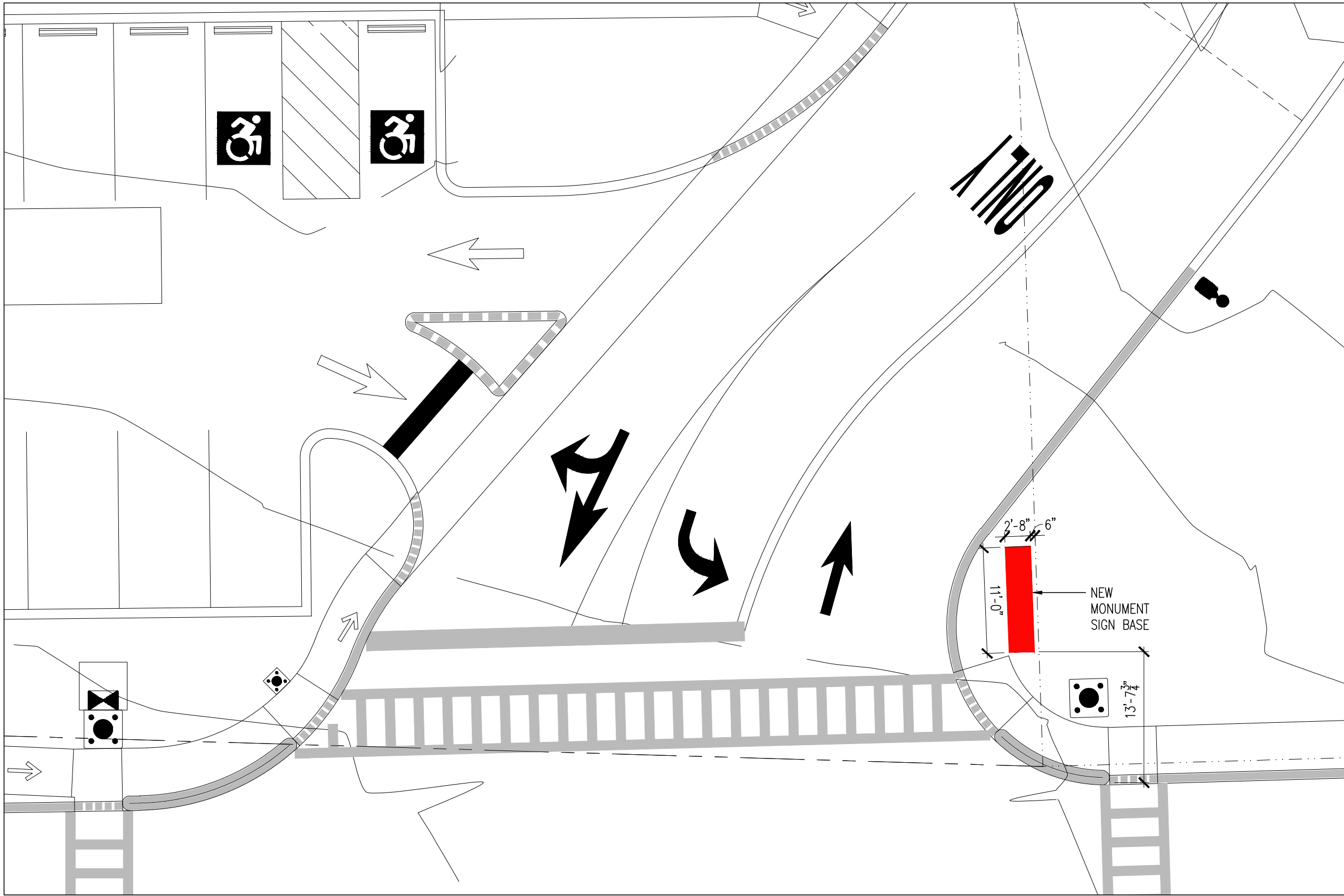


ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845-228-9800

SITE DATA
OWNER/APPLICANT:
C/O HERITAGE
MANAGEMENT
PO BOX 280
SOMERS, NY 10589
SITE ADDRESS:
ARROW ROAD
MT KISCO, NY
TAX MAP #: 80.73-1-B
LOT AREA: 6.288 ACRES
ZONING: RM-12
REVISION: MAY 5, 2019
DRAWING: GRADING, EROSION CONTROL
AND TREE REPLACEMENT PLAN
JANUARY 30, 2019
PROJECT: TIMBER RIDGE CONDOMINIUMS
TOWN AND VILLAGE OF MT. KISCO,
WESTCHESTER COUNTY, NY



5 South Entrance Site Plan
SCALE 3/32" = 1'-0"



4 North Entrance Site Plan
SCALE 3/32" = 1'-0"

Owner
DP21, LLC (Diamond Properties)
333 N. Bedford Road
Mt. Kisco, New York 10549

Project Architect
Gallin Beeler Design Studio, PLLC
23 Washington Ave
Pleasantville, NY 10570

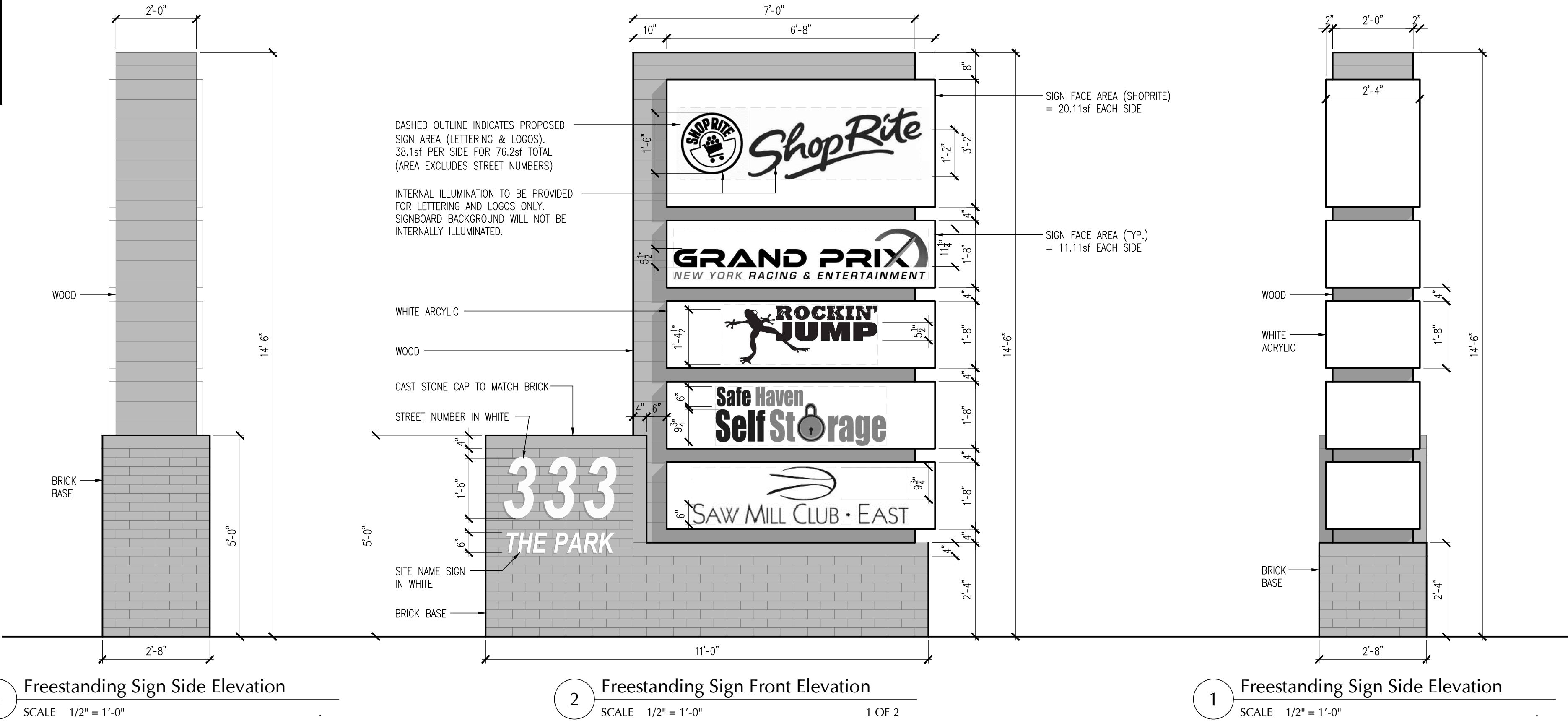
Civil Engineer
JMC Site Development Consultants
120 Bedford Road
Armonk, NY 10504

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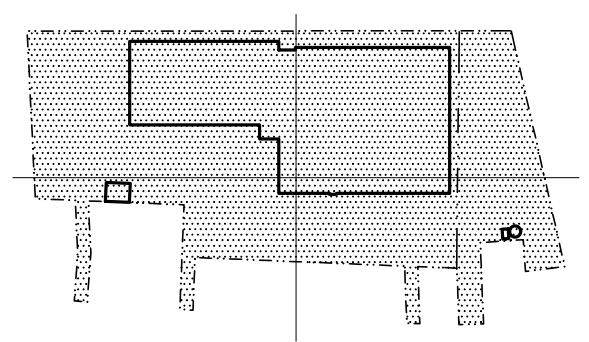
Freestanding / Monument Sign Information

Zoning District CL (on Route 117)

Permitted Sign Specifications	Required	Proposed	Compliant
Maximum Structure Height above Grade	8'	14.5'	No: 6.5' Variance Required
Maximum Letter Height	6"	14" ("Shoprite") 18" ("333")	No: 8" Variance Required No: 12" Variance Required
Maximum Face Area	20 sf	21.1 sf	No: 1.1sf Variance Required
Accompanying Art Work Height	n/a	18" max.	To be determined by ARB

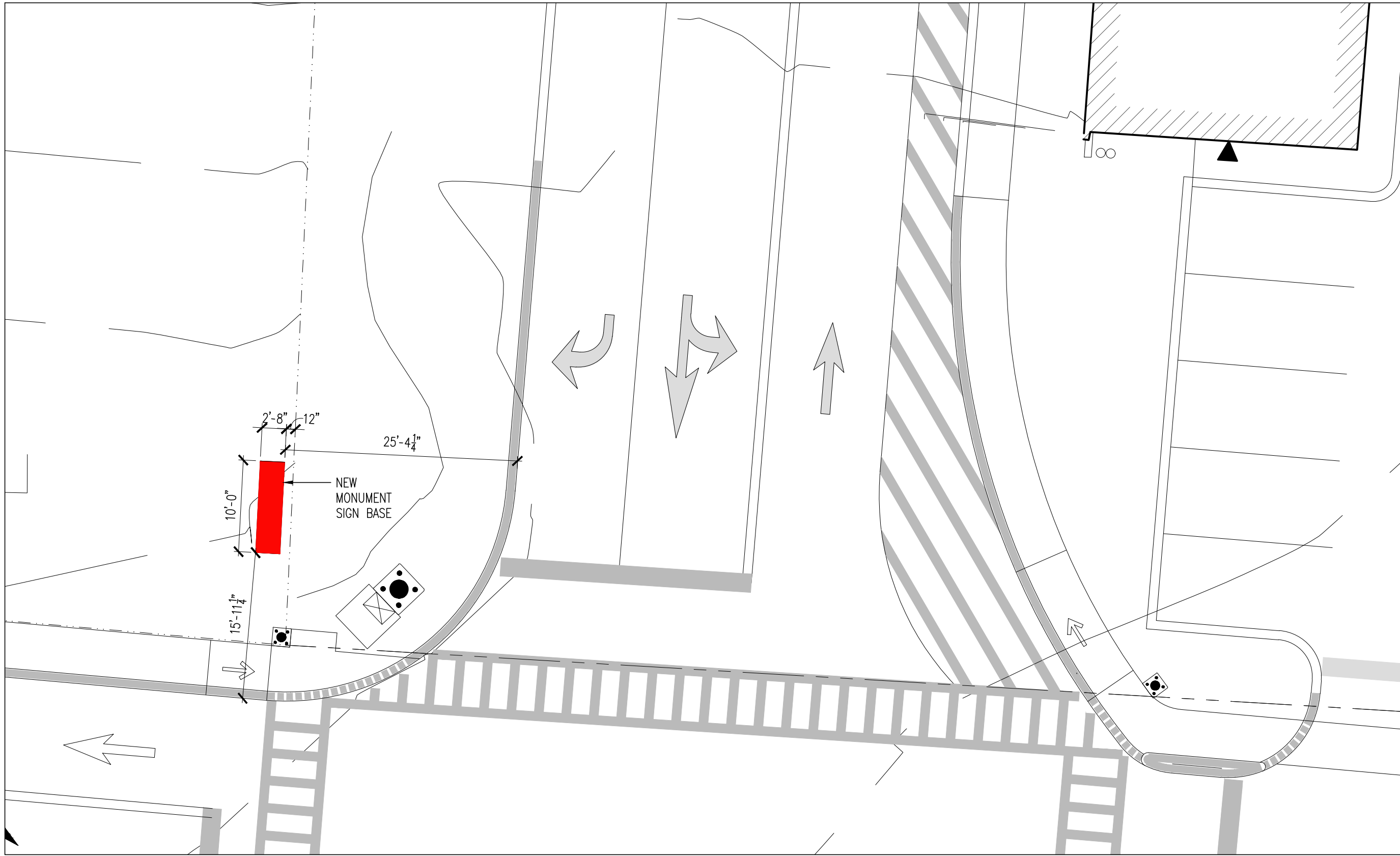


Key Plan:

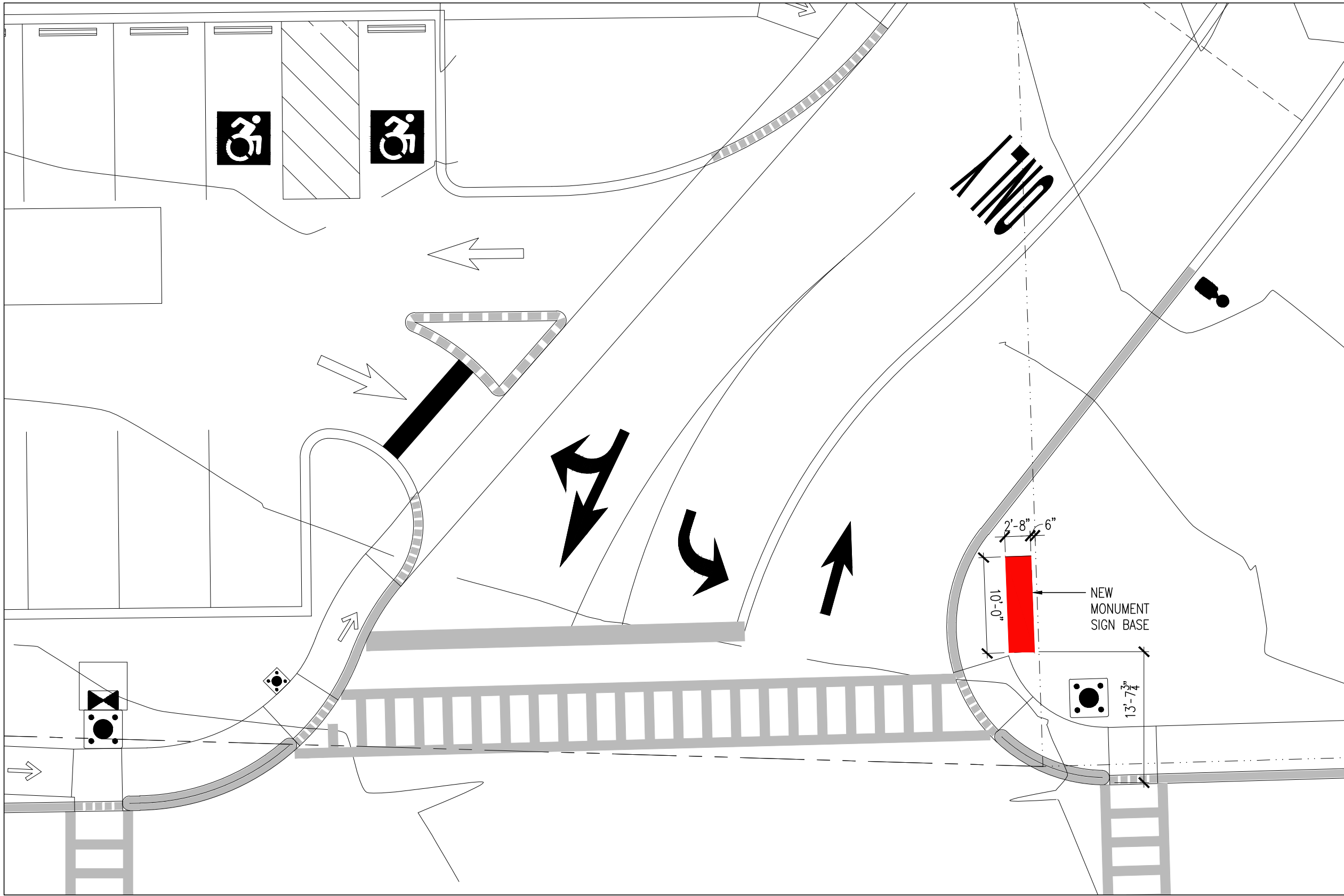


Rev.	Date	Description
-	06-07-21	ZBA Re-Submission
-	04-26-21	ZBA Submission
-	02-24-21	ARB Submission

Sheet Title:
Alternate Freestanding Entrance Sign (14'-6")



5 South Entrance Site Plan
SCALE 3/32" = 1'-0"



4 North Entrance Site Plan
SCALE 3/32" = 1'-0"

Owner
DP21, LLC (Diamond Properties)
333 N. Bedford Road
Mt. Kisco, New York 10549

Project Architect
Gallin Beeler Design Studio, PLLC
23 Washington Ave
Pleasantville, NY 10570

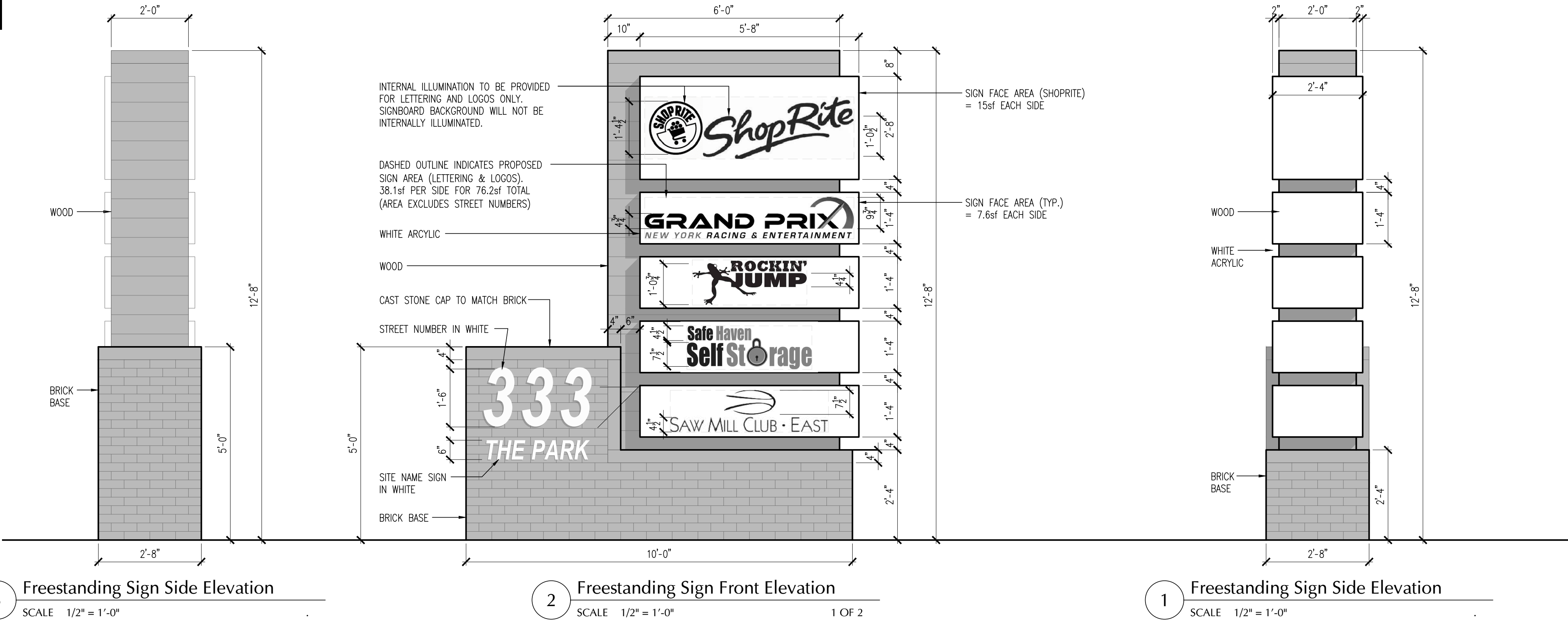
Civil Engineer
JMC Site Development Consultants
120 Bedford Road
Armonk, NY 10504

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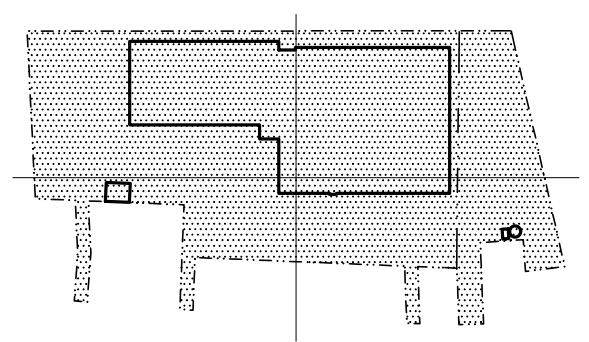
Freestanding / Monument Sign Information

Zoning District CL (on Route 117)

Permitted Sign Specifications	Required	Proposed	Compliant
Maximum Structure Height above Grade	8'	12.67'	No: 4.67' Variance Required
Maximum Letter Height	6"	12.5" ("Shoprite") 18" ("333")	No: 6.5" Variance Required No: 12" Variance Required
Maximum Face Area	20 sf	15 sf	Yes
Accompanying Art Work Height	n/a	16.5" max.	To be determined by ARB



Key Plan:



Rev.	Date	Description
-	06-07-21	ZBA Re-Submission
-	04-26-21	ZBA Submission
-	02-24-21	ARB Submission

Sheet Title:
Alternate Freestanding Entrance Sign (12'-8")

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PROPOSED MONUMENT SIGN - 16'-0" TALL (ORIGINAL)



PROPOSED MONUMENT SIGN - 14'-6" TALL (ALTERNATE PROPOSAL)



PROPOSED MONUMENT SIGN - 12'-8" TALL (ALTERNATE PROPOSAL)



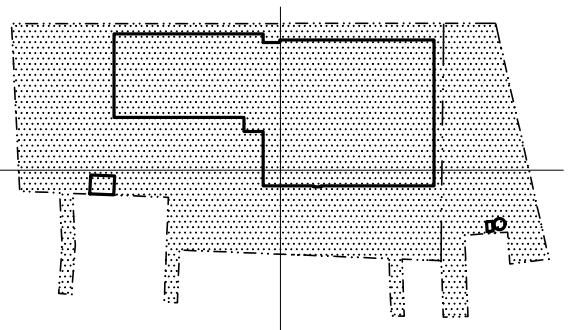
PROPOSED MONUMENT SIGN - 16'-0" TALL



PROPOSED MONUMENT SIGN - 14'-6" TALL



PROPOSED MONUMENT SIGN - 12'-8" TALL



-	06-07-21	ZBA Re-Submission
-	04-26-21	ZBA Submission
-	02-24-21	ARB Submission
Rev.	Date	Description

Sheet Title:

Entrance Sign Renderings

Project #: 1641
Drawn: TMM
Checked: MLG
Print Date: 06-02-21

Sheet No.:
A-012

Owner
DP21, LLC (Diamond Properties)
333 N. Bedford Road
Mt. Kisco, New York 10549

Project Architect
Gallin Beeler Design Studio, PLLC
23 Washington Ave
Pleasantville, NY 10570

Civil Engineer
JMC Site Development Consultants
120 Bedford Road
Armonk, NY 10504

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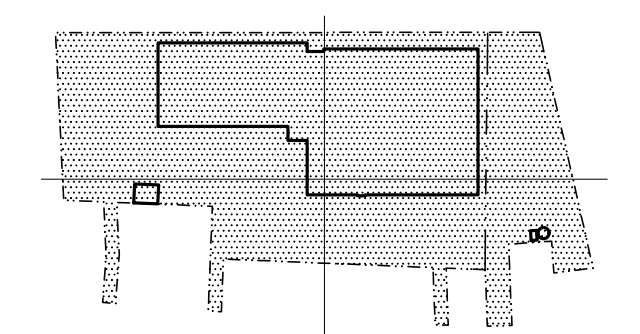
NORTH ENTRANCE PROPOSED MONUMENT SIGN – 16’–0” TALL (ORIGINAL)



NORTH ENTRANCE PROPOSED MONUMENT SIGN – 14’–6” TALL (ALTERNATE PROPOSAL)



NORTH ENTRANCE PROPOSED MONUMENT SIGN – 12’–8” TALL (ALTERNATE PROPOSAL)

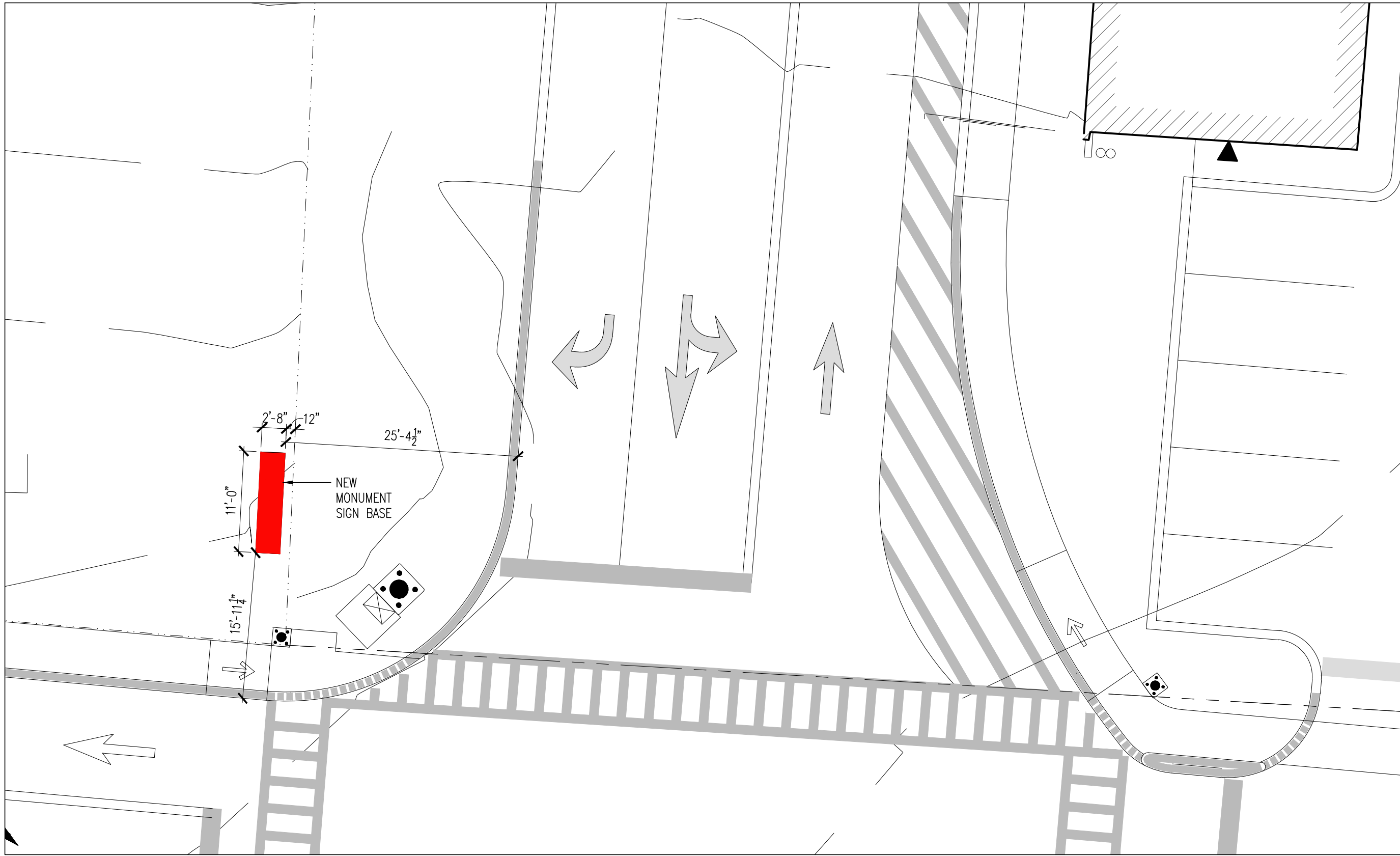


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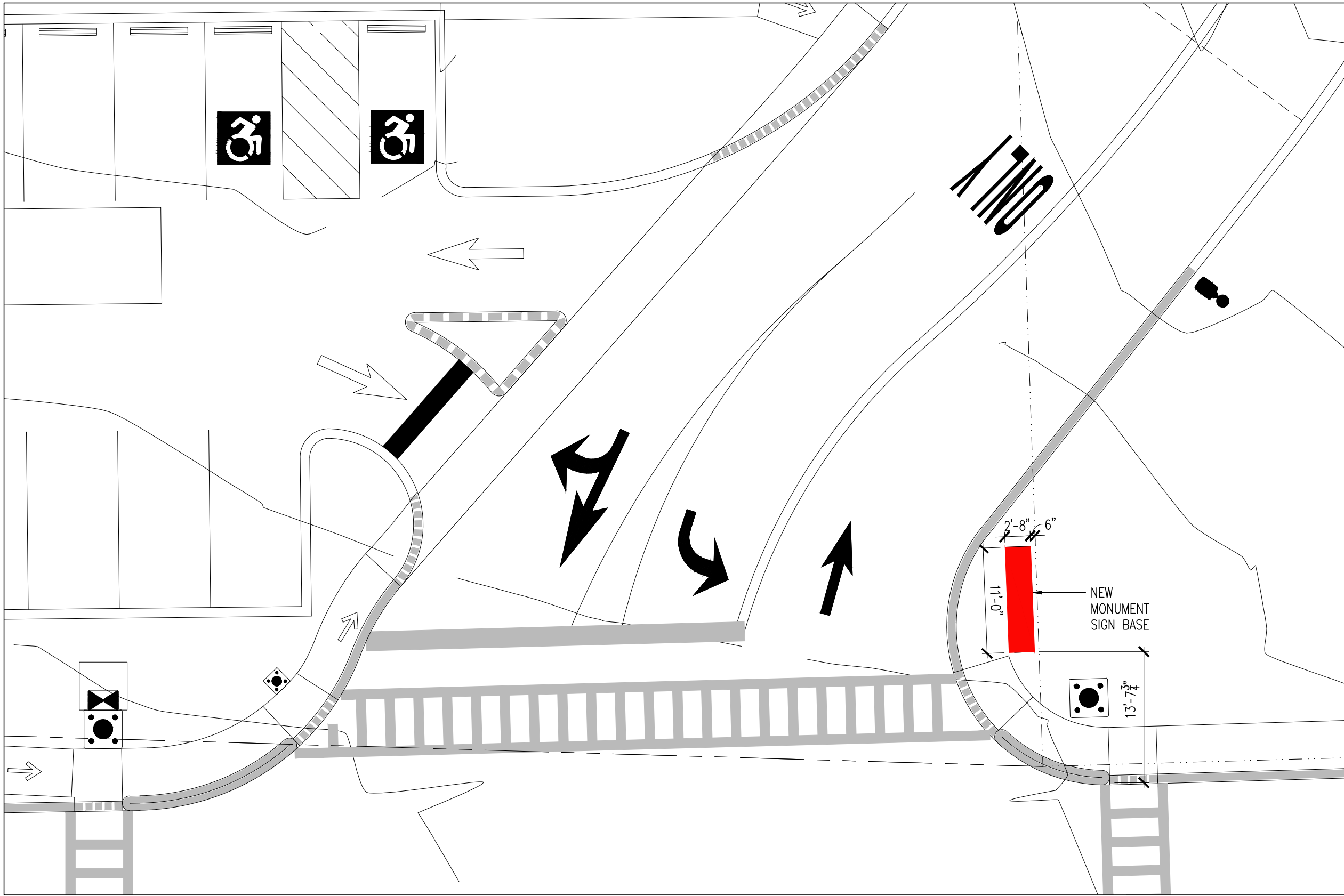
Sheet Title:
**Entrance Sign
Renderings - North**

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5 South Entrance Site Plan
SCALE 3/32" = 1'-0"



4 North Entrance Site Plan
SCALE 3/32" = 1'-0"

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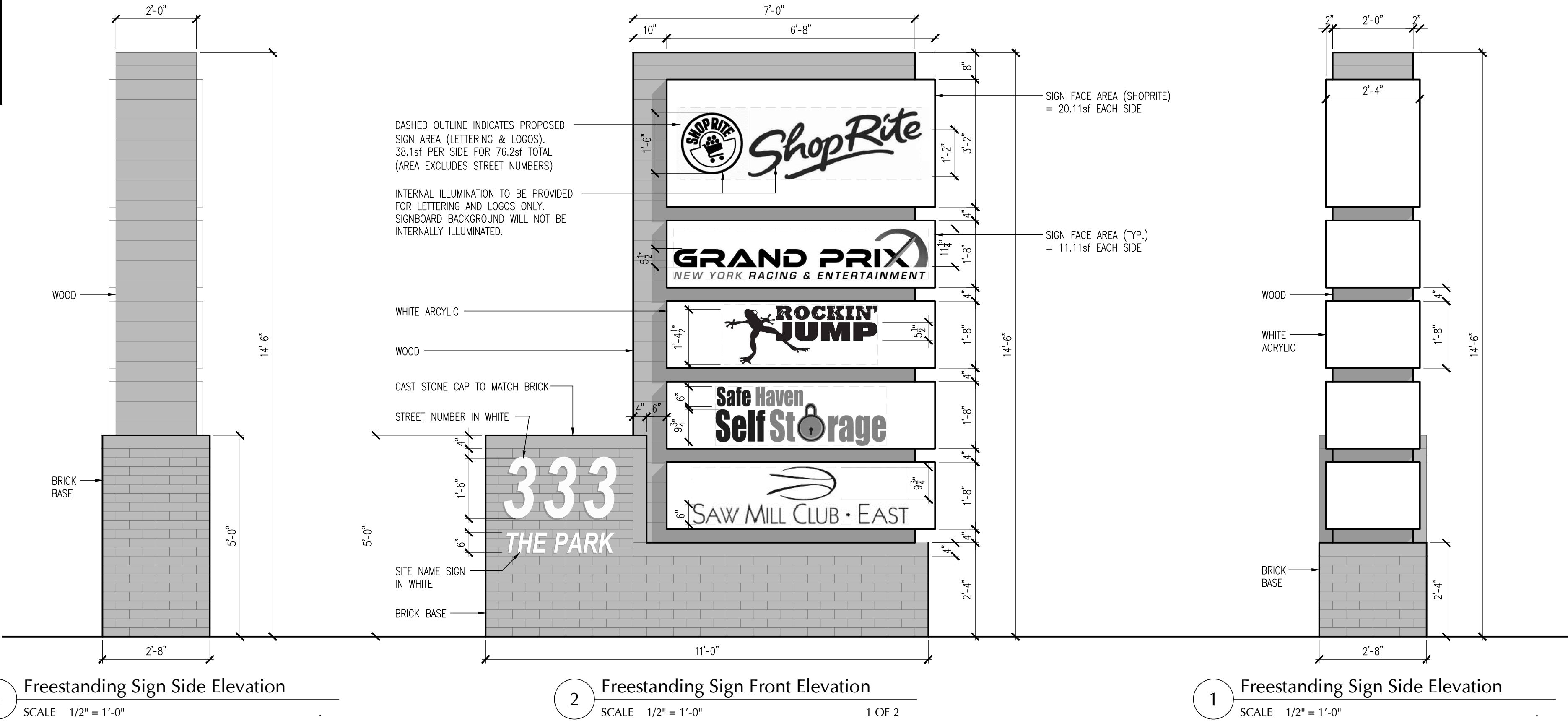
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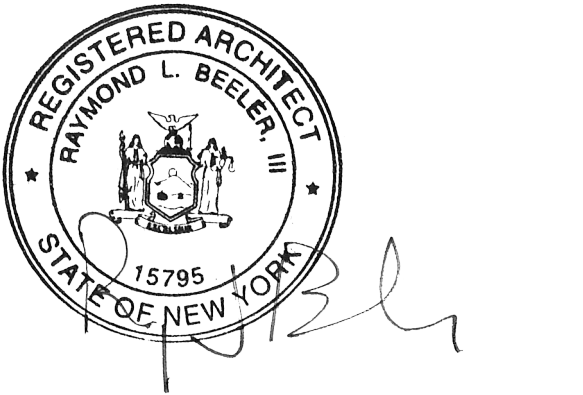
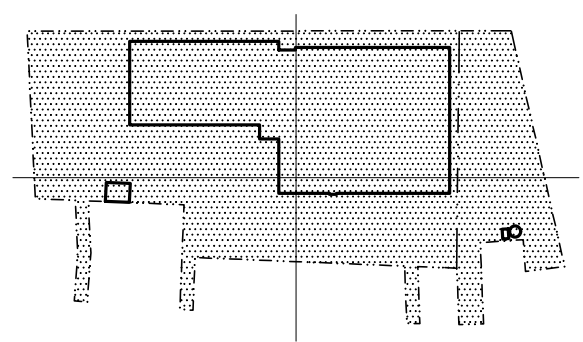
Freestanding / Monument Sign Information

Zoning District CL (on Route 117)

Permitted Sign Specifications	Required	Proposed	Compliant
Maximum Structure Height above Grade	8'	14.5'	No: 6.5' Variance Required
Maximum Letter Height	6"	14" ("Shoprite") 18" ("333")	No: 8" Variance Required No: 12" Variance Required
Maximum Face Area	20 sf	21.1 sf	No: 1.1sf Variance Required
Accompanying Art Work Height	n/a	18" max.	To be determined by ARB



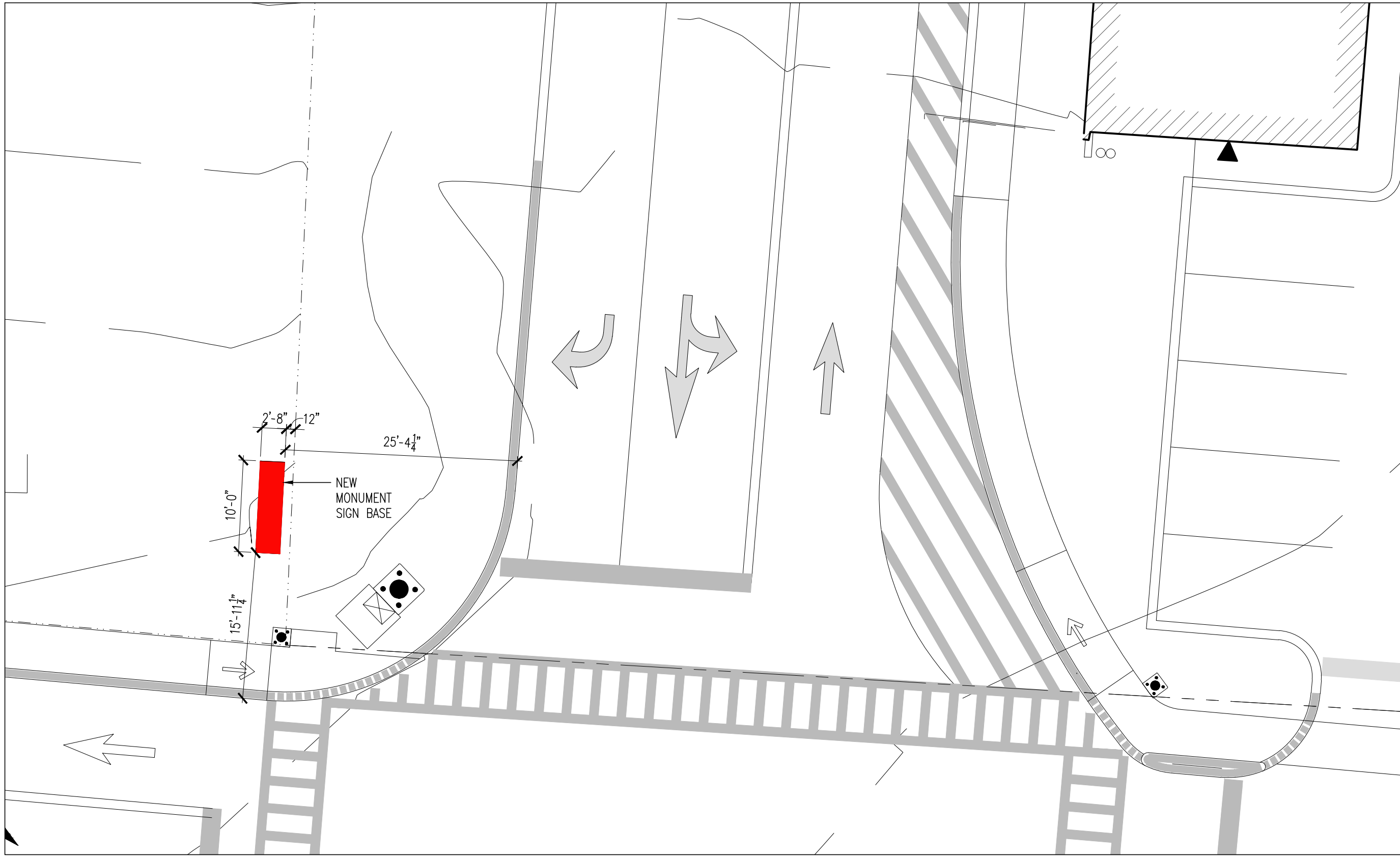
Key Plan:



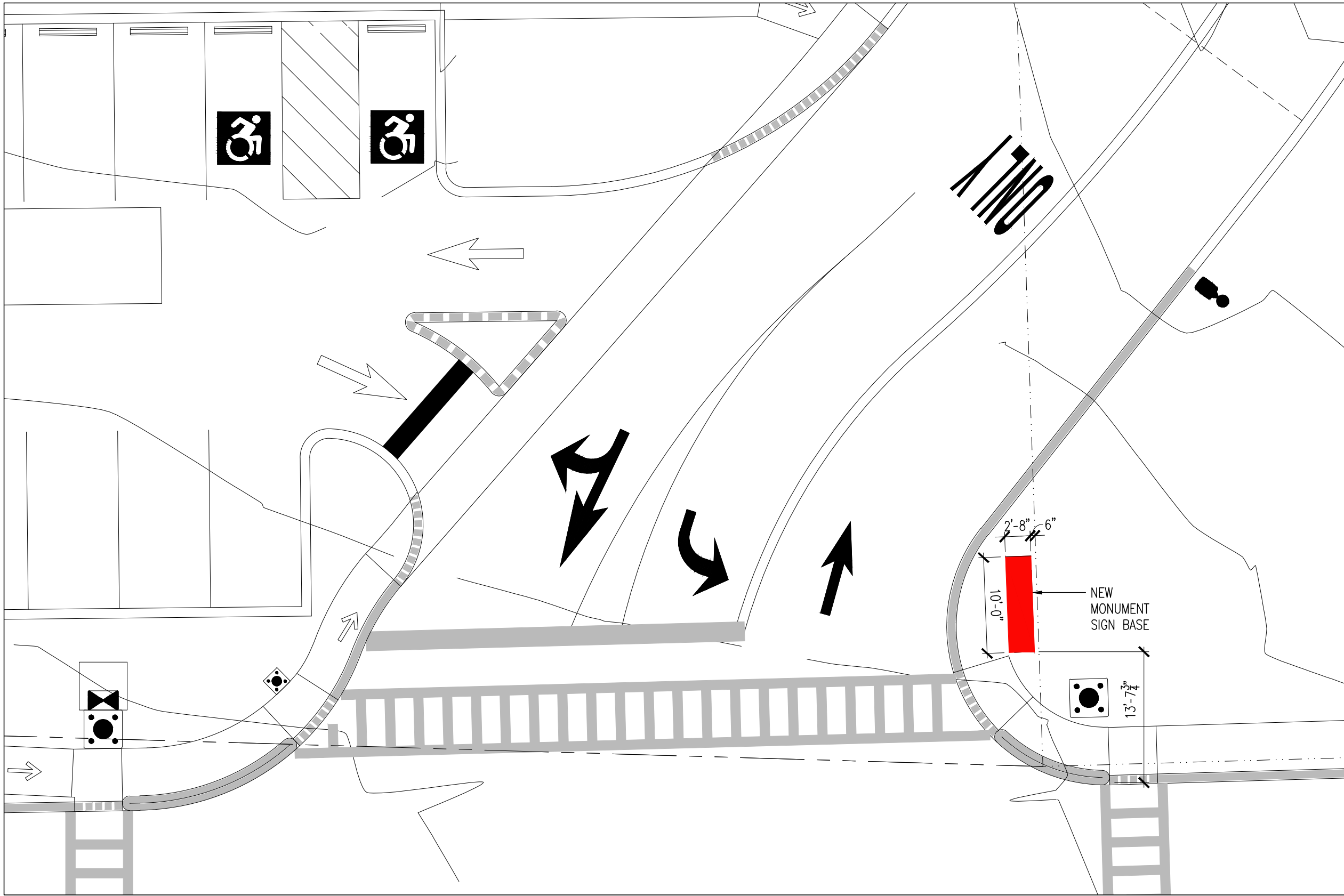
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Sheet Title:

Alternate Freestanding Entrance Sign (14'-6")



5 South Entrance Site Plan
SCALE 3/32" = 1'-0"

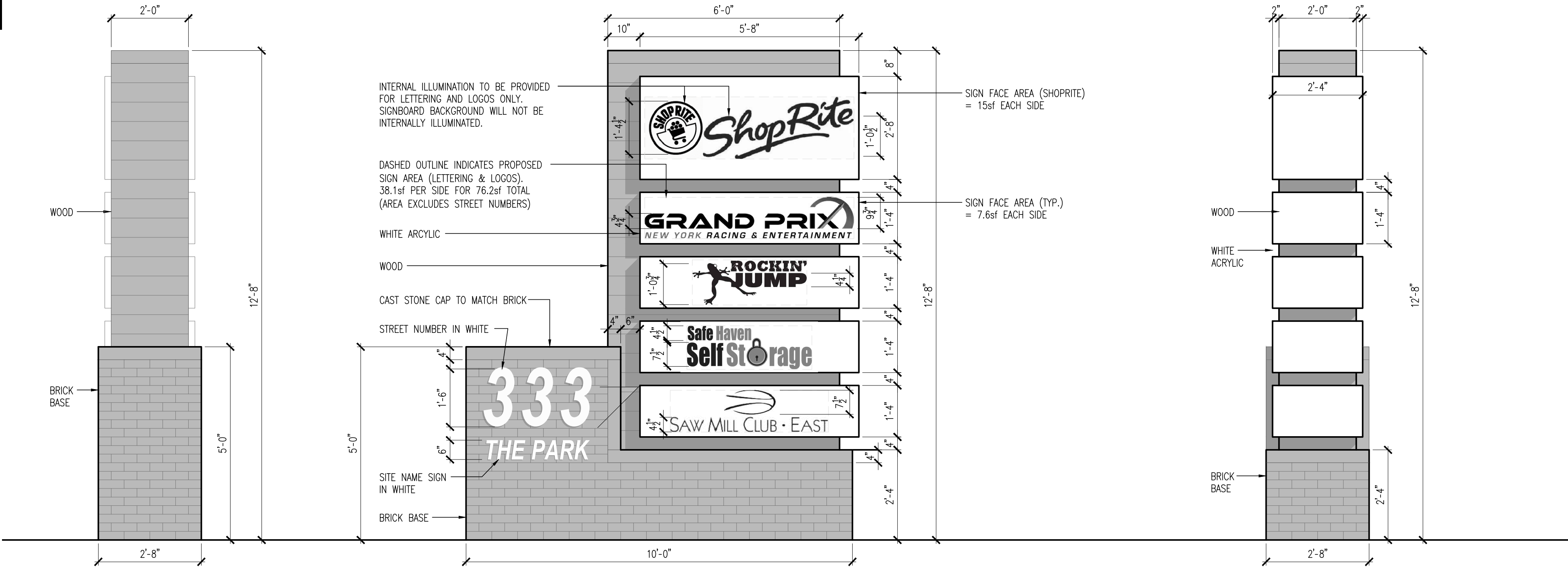


4 North Entrance Site Plan
SCALE 3/32" = 1'-0"

Freestanding / Monument Sign Information

Zoning District CL (on Route 117)

Permitted Sign Specifications	Required	Proposed	Compliant
Maximum Structure Height above Grade	8'	12.67'	No: 4.67' Variance Required
Maximum Letter Height	6"	12.5" ("Shoprite") 18" ("333")	No: 6.5" Variance Required No: 12" Variance Required
Maximum Face Area	20 sf	15 sf	Yes
Accompanying Art Work Height	n/a	16.5" max.	To be determined by ARB



3 Freestanding Sign Side Elevation
SCALE 1/2" = 1'-0"

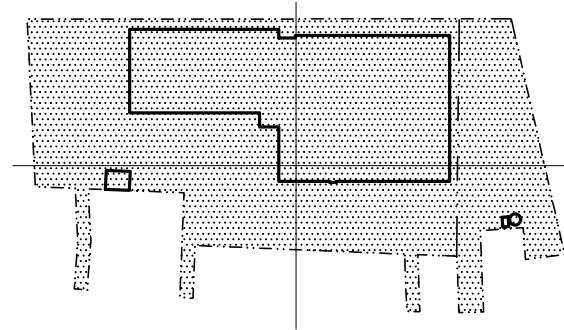
2 Freestanding Sign Front Elevation
SCALE 1/2" = 1'-0"

1 Freestanding Sign Side Elevation
SCALE 1/2" = 1'-0"

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Key Plan:



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Alternate Freestanding Entrance Sign (12'-8")

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PROPOSED MONUMENT SIGN - 16'-0" TALL (ORIGINAL)



PROPOSED MONUMENT SIGN - 14'-6" TALL (ALTERNATE PROPOSAL)



PROPOSED MONUMENT SIGN - 12'-8" TALL (ALTERNATE PROPOSAL)



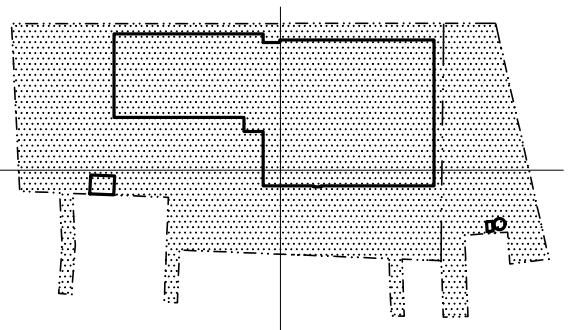
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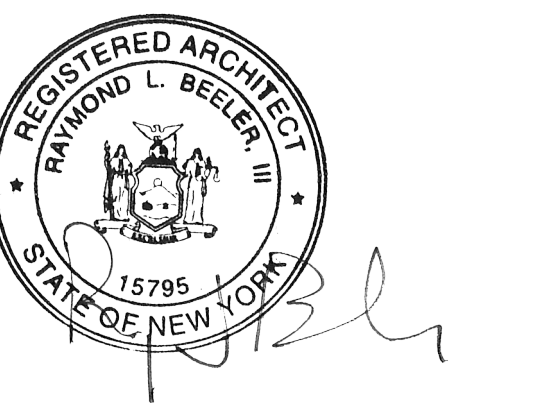


NORTH ENTRANCE PROPOSED MONUMENT SIGN - 14'-6" TALL (ALTERNATE PROPOSAL)

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NORTH ENTRANCE PROPOSED MONUMENT SIGN - 12'-8" TALL (ALTERNATE PROPOSAL)



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