



VILLAGE/TOWN OF MOUNT KISCO
WESTCHESTER COUNTY, NEW YORK

104 Main Street
Mount Kisco, New York 10549-0150

Telephone
(914) 241-0500

October 18, 2023

Ms. Stephanie Rumer
116 Ellis Road
Havertown, PA 19083

Re: Notice of Denial – Sign Permit Application for Proposed Shoprite Building Signage
333 No. Bedford Road, Property ID#: 69.50-2-1

Dear Ms. Rumer:

Please be notified that your sign permit application for monument signage at the above captioned property is hereby denied. This denial is based on the following facts:

- Section 89-11A (4) of the Code of the Village/Town of Mount Kisco states that “The types of signs permitted and the regulation of the number, placement, and use of signs is hereby established. No sign shall be erected unless it conforms to the specifications for signs in that sign district, nor shall any sign be used for any purpose or in any manner except as permitted by the regulations for the district in which such sign is to be located or maintained.”
- Section 89-9A of the Code of the Village/Town of Mount Kisco states that “A Comprehensive Signage Program is required of two or more businesses that share a common zoning lot or parcel. This includes directional/directory and identification signage. The program is a sign system to create visual harmony among the signs within the program area and compatibility with surrounding establishments and structures. It shall include specifications for all signs within the sign program area, including but not limited to the following: sign type, lettering or graphic style, size, shape, scale, colors, lighting materials, installation and position on site plan.”
- The subject property is located in the ML Zoning District and has an approved Comprehensive Sign Package. The Comprehensive Sign Package defines wall signage to be externally lit, pin-mounted letters or back-lit (halo lit) channel letters, maximum 24” inches high by maximum 30’ feet wide. Logos may be larger than letters but require Architectural Review Board approval. The proposed signage is subject to these established guidelines.
 - Two Shoprite internally illuminated channel letter signs are proposed with a height of 6’ feet by width of 31’ 125”. As per Section 89-9A, these two signs will each need a variance for type of sign from the Approved Comprehensive Sign Program. Each of these two signs will also need a 4’ foot variance on maximum letter height and a 1.125’ foot variance on maximum sign length **(six (6) variances total)**
 - Two internally illuminated logo wall signs are proposed with a height of 10’ feet and a width of 13’ feet. As per Section 89-9A, these two signs will each need a variance for type of sign

from the Approved Comprehensive Sign Program **(two (2) variances total)**. Logos may be larger than approved letter heights but require Architectural Review Board approval.

- One “Order Pickup Delivery” wall sign is proposed with a height 6’10” and a width of 12’ feet. As per Section 89-9A, this sign will need a variance for type of sign from the Approved Comprehensive Sign Program. This sign will also need a variance for sign height of 4’10” **(two 2 variances total)**.
- Section 89-11 Sign Districts, A. General Provisions (2) states: “Each business establishment shall be limited to one principal sign of any type permitted within such district at the primary public entrance. In the event that a business has a secondary public entrance on a separate street frontage or parking lot, an additional sign may be permitted at the secondary public entrance... In no event will there be more than two signs on any building for any establishment.”
 - A total of eight wall signs are proposed in this application. Two of these signs are located at or near public entrances. As per Section 89-11A (2), six of these signs will each require a variance for the number of signs allowed per business **(six (6) variances total)**.
 - Two internally illuminated logo wall signs are proposed close to the corner of each façade. As per Section 89-11A (2), each of these sign will require a variance for not being located at a public entrance **(two (2) variances total)**. Each of these logo signs require a variance for number of signs allowed per business as stated above.
 - Two “Welcome” wall signs consisting of individual letters are proposed with a height of 12” inches and a width of 82” inches to be located beneath each ShopRite wall sign. As per Section 89-11A (2), each of these wall signs require a variance for number of signs allowed per business as stated above.
 - One “Order Pickup Delivery” wall sign is proposed with a height 6’10” and a width of 12’ feet. As per Section 89-11A, this sign will need a variance for number of signs allowed per business as stated above.
 - One “Bottle Return” wall sign consisting of individual letters is proposed with a height of 12” inch and a width of 126.4”. As per Section 89-11A (2), this sign will need a variance for not being located at a public entrance **(one (1) variance total)**. As per Section 89-11A (2), this sign will need a variance for number of signs allowed per business as stated above.

A sign permit cannot be issued for any sign application that does not comply with the Village Sign Code. You have a right to appeal this decision within 60 days.

Sincerely,

Peter J. Miley
Building Inspector

/pat

Village/Town of Mount Kisco
Building Department
104 Main Street
Mount Kisco, New York 10549
(914) 864-0019 FAX (914) 864-1085

APPLICATION FOR ARB REVIEW AND SIGN PERMIT

Application #: _____
Permit #: _____

Date Rec'd: _____
Date Issued: _____

Applicant's Name: Stephanie Rumer
Applicant's Address: 116 Ellis Road, Havertown, PA 19083
Applicant's Telephone #: 484-883-3640 Fax #: _____ E-mail: permits@permexpress.com

Owner's Name: (If different) Diamond Properties
Owner's Address: _____
Owner's Telephone #: 914-773-6249 Fax #: _____ E-mail: jim@dpmgt.com

Project Name: Shoprite Signs

Address/Location of Subject Property: 333 N Bedford Road, Mount Kisco, NY 10549

Section/Block/Lot(s): _____ Sign District: _____ Zoning District: _____

Sign Contractor: Lewis Sign Company LLC
Address: 26 Fluorescent Drive, Slate Hill, NY 10973
Phone #: 845-355-2651 Fax #: _____

Architect or Engineer: _____ NYS Lic. #: _____
Address: _____
Phone #: _____ Fax #: _____

Electrician: _____ Phone #: _____ WC Lic. #: _____

SIGNAGE

Temporary Sign _____ Permanent Sign (8) _____

Description of Proposed Signage in Detail:

(2) SHOPRITE channel letters on building @ 6'-11" x 30'-3 3/4" = 209.25 SF

(2) SHOPRITE logo box @ 10' x 13' = 130 SF

(1) logo box @ 12' x 6'-10" = 82.1 SF

(1) Bottle Return letters @ 12" x 126.4" = 10.5 SF ; (2) Welcome letters @ 12" x 82" = 6.8 SF

Wall Sign Type: _____ Material: _____
Sign Height: _____ Sign Length: _____
Letter Height: _____ Lighting Method: _____
Sign Colors: Red, white, yellow, black

Awning/Canopy: Type of material proposed?

Shape: _____ Height: _____ Length: _____
Principal color: _____ Type of Illumination: _____
Text or logo information: _____
Copy Area Height: _____ Copy Area Length: _____
Letter Height: _____ Lighting Method: _____
Text/logo Colors: _____

Freestanding/Monument Sign Type: _____ Material: _____
Sign Height: _____ Sign Length: _____
Letter Height: _____ Lighting Method: _____
Sign Colors: _____

Any additional signage or awning/canopy information? _____

Is there any other information that you wish to add to this application? _____

The undersigned applicant hereby agrees with all applicable provisions of the Code of the Village/Town of Mount Kisco and all other laws, codes, rules and requirements applicable to the proposed construction and that statements contained herein are true to the best of his/her knowledge.

Stephanie Rumer
Applicant's Signature

PROPERTY OWNER AUTHORIZATION:

The undersigned, property owner, being duly sworn, deposes and says:

1. that he/she (or the identified corporation) is the owner of the premises described in this application;
2. that the applicant identified in the application is duly authorized by the undersigned to submit and upon approval by the Village/Town of Mount Kisco, execute said application, including any design revisions deemed feasible and necessary by the applicant together with the Village/Town of Mount Kisco in order to obtain said approval;
3. that the applicant is hereby designated as the owner's additional representative with whom the Village/Town of Mount Kisco may deal in all respects to the subject work
4. that this owner's authorization shall continue without interruption until the completion and final approval by the Village/Town of Mount Kisco of all work approved as a result of this application;
5. that revocation of said authorization by the undersigned must be accompanied by a written notice of such revocation to the Village/Town of Mount Kisco
6. that the receipt of such notice of the owner's authorization revocation by the Village/Town of Mount Kisco shall cause any permit as a result of this application to be suspended until further notice.

Owner's Name: Diamond Properties

Owner's Signature: [Signature] (Please print clearly)

Date: 6/5/23

Owner's Current Address: 333 N. Bedford Rd Mount Kisco NY 10549

Owner's Telephone #: 914-773-6249 Fax #: _____ Email: jim@dpmgt.com

Subscribed and sworn to before me this 5th day of June, 20 23

Notary Public: [Signature]

CINDY GENTILE
Notary Public, State of New York
Registration No. 01GE6419898
Qualified in Putnam County
Commission Expires 7/26/25

OFFICE USE ONLY

Fee Amount Paid: _____
Check Number: _____

Received by: _____
Receipt Number: _____

Sign Application Review : Refer to ARB

Approved: _____
Date

Denied: _____
Date

Building Inspector Signature

ARB Case No. _____
Approved: _____
Date

Meeting Date: _____
Denied: _____
Date

ARB Chairperson Signature

ZBA Case No. _____
Approved: _____
Date

Meeting Date: _____
Denied: _____
Date

ZBA Chairperson Signature

Issue Sign Permit:
Approved: _____
Date

Denied: _____
Date

Building Inspector Signature

RECEIVED

Date: _____

Case No.: 24-1

Fee: \$130

DEC 26 2023

Date Filed: _____

Zoning Board of Appeals
Village/Town of Mount Kisco

Village/Town of Mount Kisco
Municipal Building
104 Main Street, Mt. Kisco, NY 10549

**Zoning Board of Appeals
Application**

Appellant: Signart Graphix

Address: 846 Broad St. suite #5 Emmaus, PA18049

Address of subject property (if different): 333 N. Bedford Road, Mount Kisco, NY 10549

Appellant's relationship to subject property: _____ Owner _____ Lessee X Other

Property owner (if different): Diamond Properties

Address: 333 N. Bedford Road, Mount Kisco, NY 10549

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken
from the decision of the Building Inspector, _____
dated 10/18/2023. Application is hereby made for the following:

X Variation or _____ Interpretation of Section 89-11A(4), 89-9A, 89-11(2)
of the Code of the Village/Town of Mount Kisco,

to permit the: X Erection; _____ Alteration; _____ Conversion; _____ Maintenance
of LED-Illuminated lightboxes, and non-illuminated channel letters

_____ in accordance with plans filed on (date) 12/21/2023
for Property ID # 69.50-2-1 located in the ML Zoning District.

The subject premises is situated on the west side of (street) _____
North Bedford in the Village/Town of Mount Kisco, County of Westchester, NY.

Does property face on two different public streets? Yes/No NO

(If on two streets, give both street names) _____

Type of Variance sought: _____ Use X Area

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? NO

Is there an approved site plan for this property? _____ in connection with a
_____ Proposed or X Existing building; erected (yr.) _____

Size of Lot: _____ feet wide _____ feet deep Area _____

Size of Building: at street level 165'+/- feet wide 225'+/- feet deep

Height of building: 35'+/- Present use of building: Construction

Does this building contain a nonconforming use? NO Please identify and explain: _____

Is this building classified as a non-complying use? NO Please identify and explain: _____

Has any previous application or appeal been filed with this Board for these premises?
Yes/No? YES

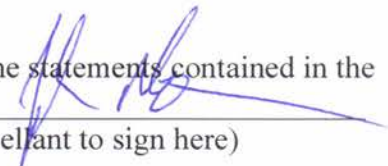
Was a variance ever granted for this property? YES If so, please identify and explain: _____

Are there any violations pending against this property? NO If so, please identify and explain: _____

Has a Work Stop Order or Appearance Ticket been served relative to this matter?
____ Yes or X No Date of Issue: _____

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? NO

I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.


(Appellant to sign here)

Sworn to before me this day of: December 26, 2023

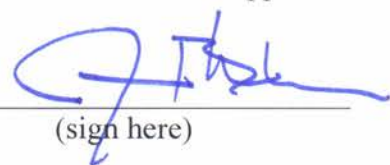
Notary Public, Michelle K. Russo, Westchester County, NY

MICHELLE K. RUSSO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01RU6313298
Qualified in Putnam County
My Commission Expires 10-20-2026

[TO BE COMPLETED IF APPELLANT IS NOT THE PROPERTY OWNER IN FEE]

State of New York }
County of Westchester } ss

Being duly sworn, deposes and say that he resides at 333 N. BEDFORD RD.
MT. KISCO, NY 10549 in the
County of Westchester, in the State of New York, that he is the owner in fee of all that
certain lot, piece or parcel of land situated, lying and being in the Village of Mount
Kisco, County of Westchester aforesaid and known and designated as number
71.12-2-34 and that he hereby authorized JOHN MALLONEY to make
the annexed application in his behalf and that the statements contained in said application
are true.


(sign here)

MIA VESCE
Notary Public, State of New York
No. 01VE6424986
Qualified in Westchester County
Commission Expires November 15, 2025

Mia Vesce 12/22/2023



December 18, 2023

Village/Town of Mount Kisco
104 Main St.
Mount Kisco, NY 10549

Letter of Intent: 333 N Bedford Road

To Whom It May Concern:

Diamond properties, located at 333 N Bedford Road, Mount Kisco, NY 10549 intends to appeal the Zoning decision dated October 18, 2023 by Peter J Miley, building inspector in the town of Mount Kisco NY. The Property ID# is 69.50-2-1, and we are appealing to gain a variance from Sections 89-11, 11A (4), and 89A-9A. John Mahoney with Signart Graphix will be handling the appeal as a representative of Diamond Properties.

Thank you,

John Mahoney
Signart Graphix
846 Broad St Suite #5
Emmaus, PA 18049

RECEIVED

DEC 26 2023

**Zoning Board of Appeals
Village/Town of Mount Kisco**



RECEIVED

DEC 26 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

December 18, 2023

To Whom It May Concern:

Based on the Zoning decision dated October 18, 2023 by Peter J Miley, building inspector in the town of Mount Kisco NY regarding Property ID# 69.50-2-1 at 333 N. Bedford Road, Diamond properties has applied for a variance from Sections 89-11, 11A (4), and 89A-9A of the town code. This variance is being requested for both the benefit to the applicant, Diamond properties, and for the general welfare of the community, which will be served by the new Shoprite location. Our opinion is that the stores signage will fit into the general character of the existing neighborhood, as is currently surrounded by similar style development and signage, including channel letters, and lightboxes. For this reason, we feel that there will be no substantial change in the community standards, and that the neighborhood will not suffer any significant impacts based on our request. Without this variance, the store would instead be left with large amounts of blank walls, and a decrease in the overall appearance of the location, as well as being limit in its effectiveness to advertise. For these reasons, we are hoping to be granted a variance to our sign package as described in the application.

The Applicant reserves the right to supplement the foregoing reasons with expert testimony at the Zoning Board of Adjustment hearing.

Thank you,

John Mahoney

846 Broad St. Suite #5

Emmaus, PA 18049

AFFIDAVIT OF MAILING

RECEIVED

JAN 11 2024

Zoning Board of Appeals
Village/Town of Mount Kisco

STATE OF NEW YORK }
COUNTY OF WESTCHESTER } SS.:

John Mahoney being duly sworn, deposes and says:

I reside at 846 Broad St. Suite #5 Emmaus PA 18049

On December 26 20 23 I served a notice of hearing, a copy of which is attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B.

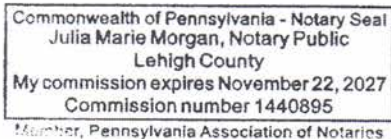
I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.



Sworn to before me on this

8 day of January 20 24


(Notary Public)



PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 16th day of January, 2023 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM pursuant to the Zoning Ordinance on the Appeal of Diamond Properties, 333 N. Bedford Road, Mount Kisco NY 10549 from the decision of Peter J. Miley, Building Inspector, dated October 18, 2023 denying the application dated to permit the addition of exterior signage. The property involved is known as 333 N. Bedford Road, Mount Kisco NY 10549, and described on the Village Tax Map as Section 069.050 Block 2 Lot 1, and is located on the west side of N. Bedford Road in a ML Zoning District. Said Appeal is being made to obtain a variance from Section(s) 89-11A (2) (4), and 89-9A of the Code of the Village/Town of Mount Kisco.

OWNERNAME	PROPADDRESS	PROPCITY	PROPIF	PROPRINTK C/O	Mailing Address	City	State	Zip
283 N Bedford Rd Corp	N Bedford Rd	MOUNT KISCO	10549	69.50-2-5	MRE Mgmt Corp			
283 N Bedford Rd Corp	283 N Bedford Rd	MOUNT KISCO	10549	69.50-2-6	27 Radio Circle Dr	Mt. Kisco	NY	10549
Martabano, William T	353 N Bedford Rd	MOUNT KISCO	10549	69.43-2-3				
Philar Realty Co	383 N Bedford Rd	MOUNT KISCO	10549	69.43-1-2	325 N Bedford Road	Mt. Kisco	NY	10549
19 Kensico Drive LLC	19 Kensico Dr	MOUNT KISCO	10549	69.50-1-5	116 Woodridge Rd	Mt. Kisco	NY	10549
NY Luxury Motors of Mt Kisco	41 Kensico Dr	MOUNT KISCO	10549	69.50-1-2	6411 Ivy Lane, Ste 200	Greenbelt	MD	20770
Mt Kisco Self Storage	65 Kensico Dr	MOUNT KISCO	10549	69.42-1-9	200 SW 1st Ave., FL 14	Fort Lauderdale	FL	33301
Burger King Corp #825	230 N Bedford Rd	MOUNT KISCO	10549	69.58-4-1	2727 LBJ Freeway, Ste 806	Dallas	TX	75234
271 N Bedford Rd Mt Kisco Cc	271 N Bedford Rd	MOUNT KISCO	10549	69.50-2-9	5787 Blue Lagoon Drive	Miami	FL	33126
DP 62, LLC	309 N Bedford Rd	MOUNT KISCO	10549	69.51-1-3	27 Radio Circle Dr	Mt. Kisco	NY	10549
325 N Bedford Rd LLC	325 N Bedford Rd	MOUNT KISCO	10549	69.51-1-2	PO Box 1493	Hicksville	NY	11802
Brooks Realty of Mt. Kisco LLC	15 Kensico Dr	MOUNT KISCO	10549	69.50-1-6	15 Kensico Drive	Mt. Kisco	NY	10549
Charisma Associates LLC	19 Kensico Dr	MOUNT KISCO	10549	69.50-1-4	6411 Ivy Lane, Ste 200	Greenbelt	MD	20770
DP 21 LLC	333 N Bedford Rd	MOUNT KISCO	10549	69.50-2-1				
Townsend St Assoc's LP	360 N Bedford Rd	MOUNT KISCO	10549	69.51-2-1.2	18 E 48th Street, 19th Floor	New York	NY	10017
59 Kensico LLC	59 Kensico Dr	MOUNT KISCO	10549	69.42-1-7	27 Radio Circle Dr	Mt. Kisco	NY	10549
Tennis Equities Inc	77 Kensico Dr	MOUNT KISCO	10549	69.42-1-4				
2701 Marlon LLC	272 N Bedford Rd	MOUNT KISCO	10549	69.51-3-1.1	345 Kean Street, Ste 200	Yorktown Heights	NY	10598
Chappaqua Road Co LLC	280 N Bedford Rd	MOUNT KISCO	10549	69.51-3-1.2	500 Executive Blvd, Ste 203	Ossining	NY	10562
383 No Bedford Rd Corp	379 N Bedford Rd	MOUNT KISCO	10549	69.43-1-1	27 Radio Circle Dr	Mt. Kisco	NY	10549
Martabano, John R	N Bedford Rd	MOUNT KISCO	10549	69.50-2-4	27 Radio Circle Dr	Mt. Kisco	NY	10549
DP 44, LLC	N Bedford, Back of	MOUNT KISCO	10549	69.50-2-12	PO Box 1493	Hicksville	NY	11802
Tennis Equities, Inc.	70 Kensico Dr	MOUNT KISCO	10549	69.42-1-3	77 Kensico Drive	Mt. Kisco	NY	10549
Mac Marty Inc	255 N Bedford Rd	MOUNT KISCO	10549	69.58-3-1	20 Shore Drive	Kingston	MA	02364
DP 47, LLC	283 N Bedford Rd	MOUNT KISCO	10549	69.50-2-3	PO Box 1493	Hicksville	NY	11802
269 N Bedford Rd Mt Kisco Cc	269 N Bedford Rd	MOUNT KISCO	10549	69.50-2-11	27 Radio Circle Dr	Mt. Kisco	NY	10549
283 N Bedford Rd Corp	289 N Bedford Rd	MOUNT KISCO	10549	69.50-2-7	27 Radio Circle Dr	Mt. Kisco	NY	10549
Philar Realty Co	383 N Bedford Rd	MOUNT KISCO	10549	69.43-1-3	116 Woodridge Rd	Mt. Kisco	NY	10549
Verizon New York Inc.	Kensico Dr	MOUNT KISCO	10549	69.42-1-8	PO Box 2749	Addison	TX	75001
DP 46, LLC	295 N Bedford Rd	MOUNT KISCO	10549	69.50-2-2	PO Box 1493	Hicksville	NY	11802
271 No Bedford Rd. Mt Kisco	281 N Bedford Rd	MOUNT KISCO	10549	69.50-2-8	27 Radio Circle Dr	Mt. Kisco	NY	10549
WDL Realty LLC	330 N Bedford Rd	MOUNT KISCO	10549	69.51-2-1.1	101 W 55th Street	New York	NY	10019
343 Bedford Realty, LLC	343 N Bedford Rd	MOUNT KISCO	10549	69.51-1-1	75 Commercial Street	Plainview	NY	11803
Suburban Propane L.P.	Hubbell Rd	MOUNT KISCO	10549	69.50-1-3	PO Box 206	Whippany	NJ	07981
Kensico Park Realty, LLC	45 Kensico Dr	MOUNT KISCO	10549	69.50-1-1	43 Kensico Drive	Mt. Kisco	NY	10549
Martabano, John R	N Bedford Rd, Back of	MOUNT KISCO	10549	69.50-2-10	27 Radio Circle Dr	Mt. Kisco	NY	10549
John A. Martabano Trust No.	363 N Bedford Rd	MOUNT KISCO	10549	69.43-2-2	5515 Lake Ridge Rd	Brighton	MI	48116

AFFIDAVIT OF PUBLICATION

State of Wisconsin
County of Brown

Linda Tuttle being duly sworn, deposes and says she is the Principal Clerk of The Journal News, Division of Gannett Newspaper Subsidiary, publishers of following newspaper published in Westchester and Rockland Counties, State of New York, of which annexed is a printed copy, out from said newspaper has been published in said newspaper editions dated:

12/31/2023

JAN 11 2024

Linda Tuttle Zoning Board of Appeals
Village/Town of Mount Kisco

Subscribed and sworn to before me this 31 day of December, 2023

Linda Tuttle

Notary Public
State of Wisconsin, County of Brown

VICKY FELTY
Notary Public
State of Wisconsin

919.25 ep

State of New York)
) ss:
 County of Westchester)

AFFIDAVIT OF POSTING

Gilmar Palacios Chin, being duly sworn, says that on the 9th day of January 2024, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –
 104 Main Street

X

Public Library
 100 Main Street

X

Fox Center

X

Justice Court – Green Street
 40 Green Street

X

Mt. Kisco Ambulance Corp
 310 Lexington Ave

X

Carpenter Avenue Community House
 200 Carpenter Avenue

X

Leonard Park Multi Purpose Bldg

X


 Gilmar Palacios Chin

Sworn to before me this 9th day of January 2024

Notary Public

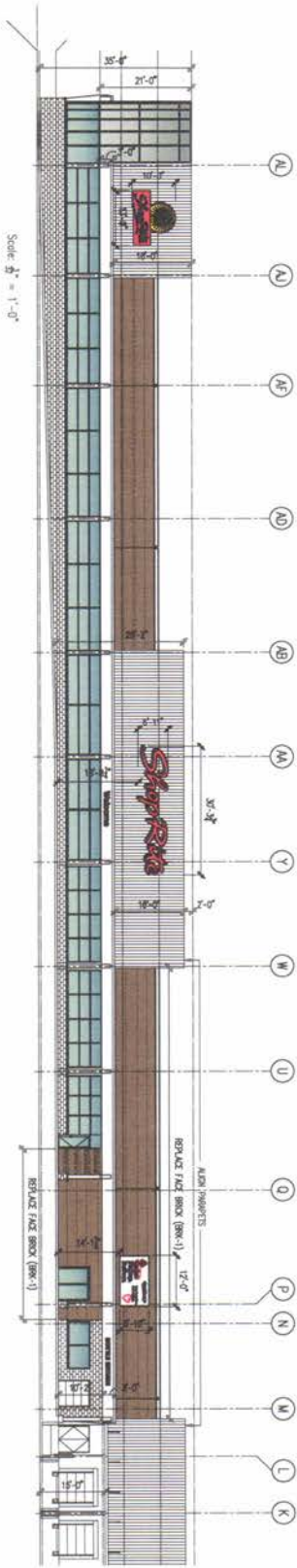
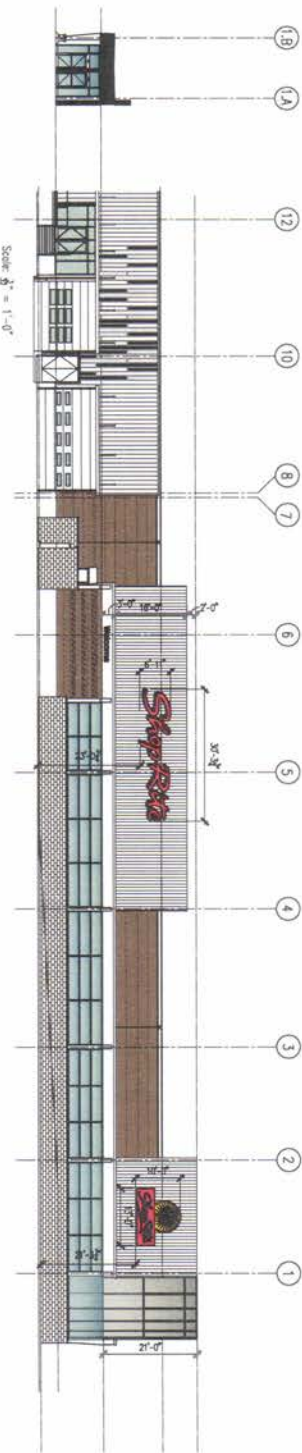
MICHELLE K. RUSSO
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 01RU6313298
 Qualified in Putnam County
 My Commission Expires 10-20-2026

RECEIVED

JAN 09 2024

Zoning Board of Appeals
 Village/Town of Mount Kisco

SHOPRITE OF MOUNT KISCO



333 N Bedford Road,
Mount Kisco, NY 10549

Client / Store:
Shoprite Mount Kisco

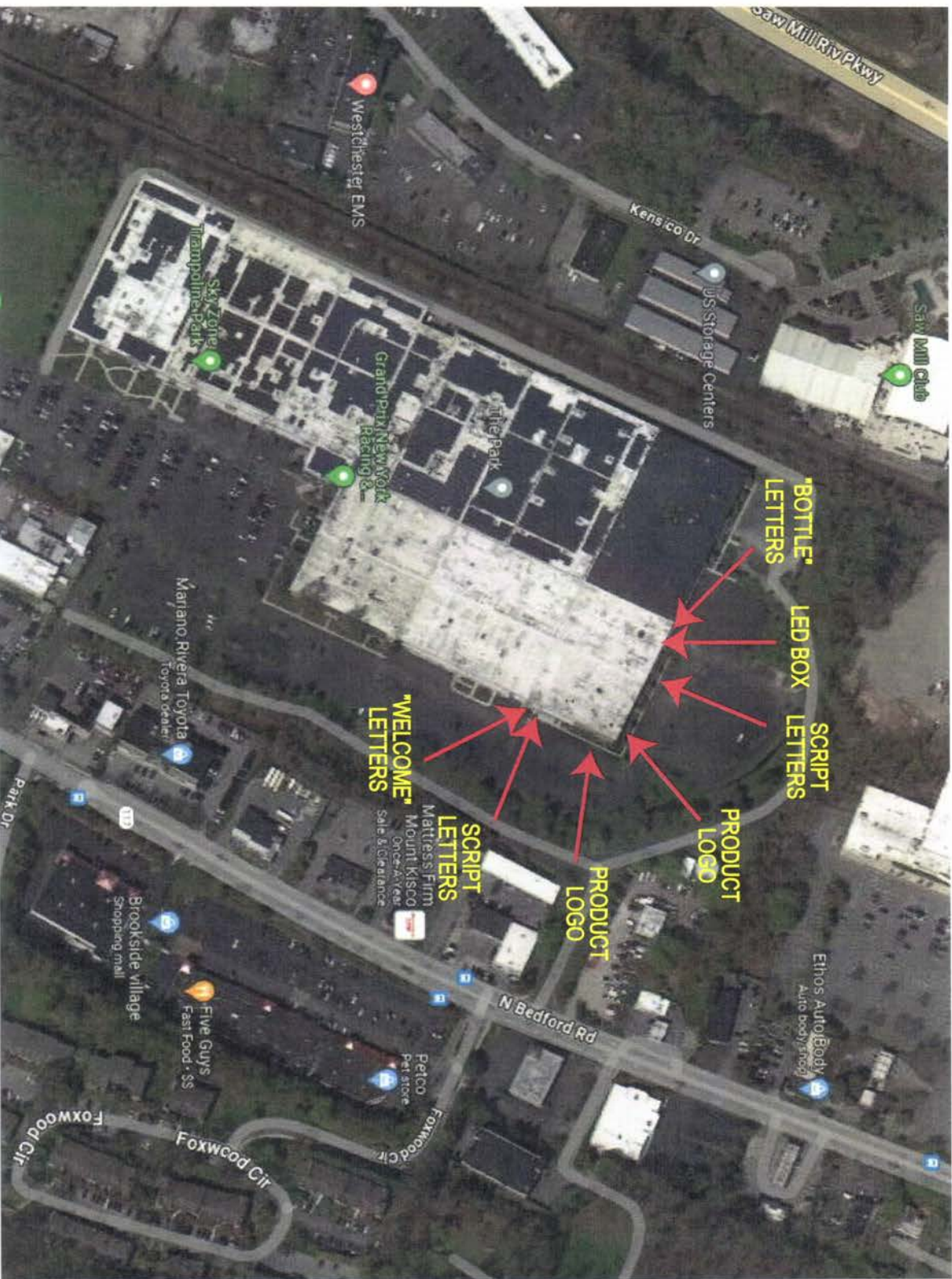
Drawing Name:

Date: Drawn By: Scale:

Revision Date / Revision : NTS

SHOPRITE OF MOUNT KISCO

333 N. Bedford Road, Mount Kisco NY 10549



SITE VIEW



333 N Bedford Road,
Mount Kisco, NY 10549

Client / Store:
Shoprite Mount Kisco

Drawing Name:

Date: Drawn By: Scale:

Revision Date / Revision : NTS

Quantity:	Job #	Drawing	Page:
			2 of 7



UNL LISTED

Back: 6mm ACM w/ 2"x 2" angle frame

Returns: .063 aluminum / 485 RED

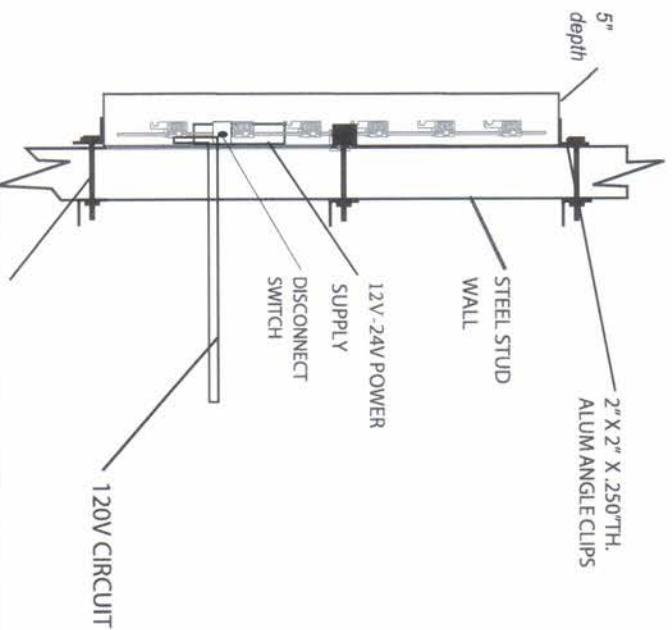
Face: Flexface w/vinyl

Colors: 85 Red, 123 Yellow, Black, White

Power supplies: Hanley 12V-120W/277w

LED's: Hanley PE-4 Phoenix series

FASTENERS: galvanized 1/2"dia. threaded rod, nuts & washers with 3/16" th. steel angle / unistrut to span studs. / .5" lag bolts



PRODUCT LOGO

130 sq.ft.



333 N Bedford Road,
Mount Kisco, NY 10549

Client / Store:
Shoprite Mount Kisco

Drawing Name:
PRODUCT LOGO

Date: Drawn By: Scale:

Revision Date / Revision : NTS

Quantity:	Job #	Drawing	Page:
2			3 of 7

83"

74"

373.5"

Shop Rite



SRDPD BOX
209.25 sq.ft.



333 N Bedford Road,
Mount Kisco, NY 10549

Client / Store:
Shoprite Mount Kisco

Drawing Name:
SCRIPT LETTERS

Date: Drawn By: Scale:

Revision Date / Revision : NTS

Quantity:	Job #	Drawing	Page:
2			4 OF 7

ALL LISTED

Back: 6mm ACM w/ 2"x 2" angle frame

Returns: .063 aluminum / BLACK

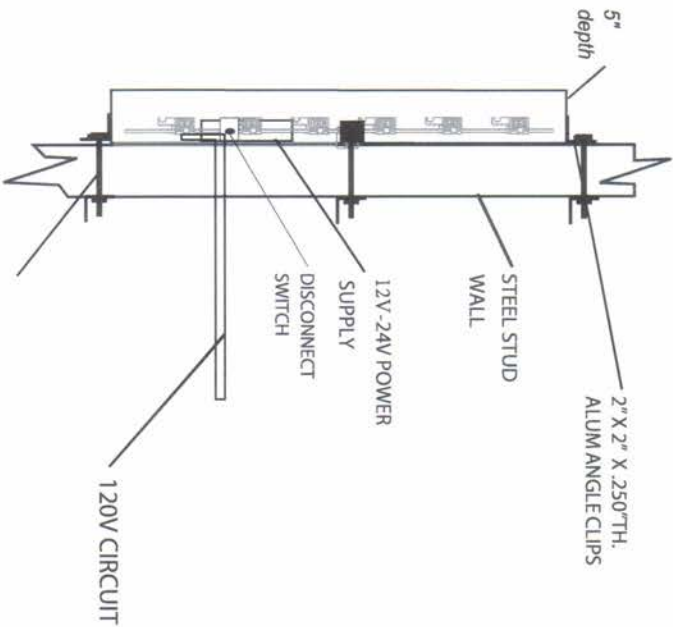
Face: Lexan w/vinyl

Colors: 85 Red, 123 Yellow, Black, White

Power supplies Hanley 12V-120W/277W

LEDs: Hanley PE-4 Phoenix series

FASTENERS: galvanized 1/2"dia. threaded
rod, nuts & washers with 3/16" th. steel angle/
instruct to span studs. / .5" lag bolts



144"

72"



Order Pickup. Deliver.

shoprite.com

Your favorites,
fresh & fast.



SRDPD BOX
82.1 sq.ft.



333 N Bedford Road,
Mount Kisco, NY 10549

Client / Store:
Shoprite Mount Kisco

Drawing Name:
LED BOX

Date: Drawn By: Scale:

Revision Date / Revision : NTS

Quantity:	Job #	Drawing	Page:
1			5 OF 7

ALL LISTED

Track: 6mm ACM w/ 2"x 2" angle frame

Returns: .063 aluminum / BLACK

Face: Lexan w/vinyl

Colors: 85 Red, 123 Yellow, Black, White

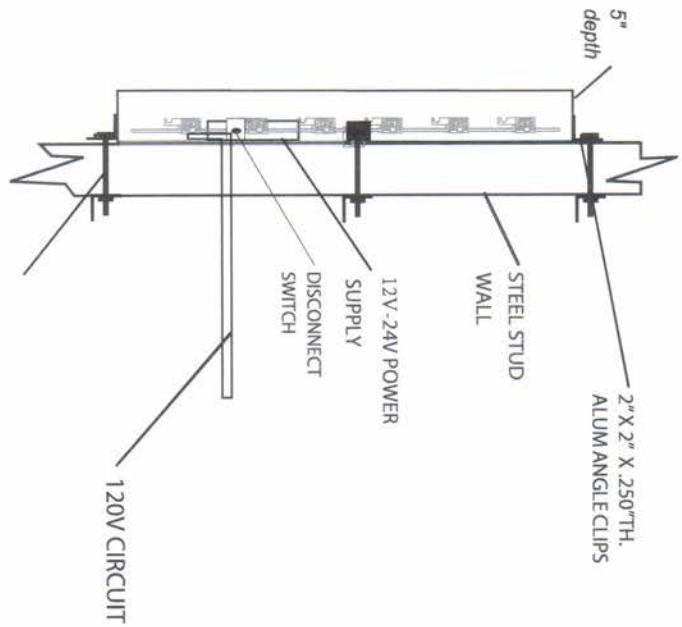
Power supplies: Hanley 12V-120W/277W

LEDs: Hanley PE-4 Phoenix series

FASTENERS: galvanized 1/2"dia. threaded

rod, nuts & washers with 3/16" th. steel angle/

instruct to span studs. / .5" lag bolts





SRDPD BOX

6.8 sq.ft.



333 N Bedford Road,
Mount Kisco, NY 10549

Client / Store:
Shoprite Mount Kisco

Drawing Name:
CHANNEL LETTERS

Date: Drawn By Scale:

Revision Date / Revision : NTS

Quantity:	Job #	Drawing	Page:
1			6 OF 7



NON - ILLUMINATED CHANNEL LETTERS

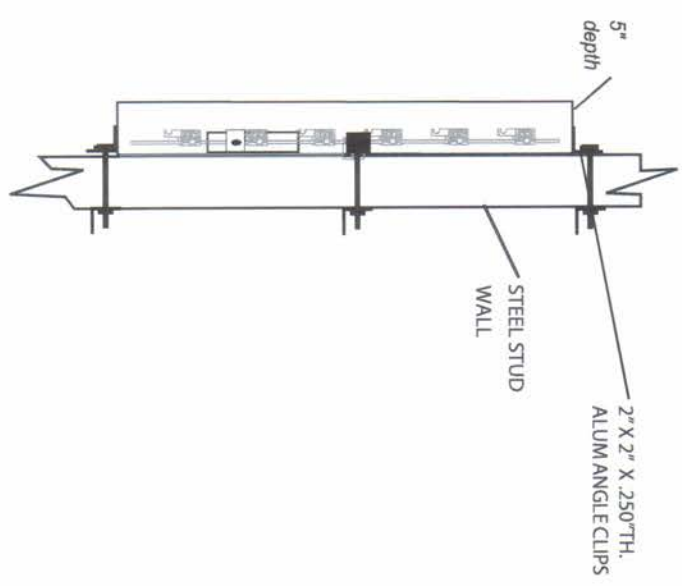
Back: 6mm ACM w/ 2"x 2" angle frame

Returns: .063 aluminum / BLACK

Face: Lexan w/vinyl

Colors: 85 Red, 123 Yellow, Black, White

FASTENERS: galvanized 1/2" dia. threaded rod, nuts & washers with 3/16" th. steel angle/unistrut to span studs. / .5" lag bolts





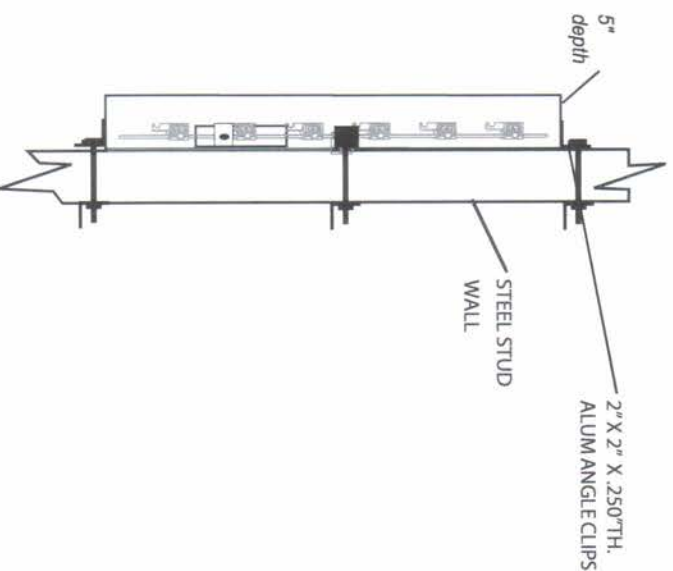
SRDPD BOX

10.5 sq.ft.

126.4" 12" **BOTTLE RETURN**

NON - ILLUMINATED CHANNEL LETTERS

- Back:** 6mm ACM w/ 2"x 2" angle frame
- Returns:** .063 aluminum / BLACK
- Face:** Lexan w/vinyl
- Colors:** 85 Red, 123 Yellow, Black, White
- FASTENERS:** galvanized 1/2" dia. threaded rod, nuts & washers with 3/16" th. steel angle/unistrut to span studs. / .5" lag bolts



333 N Bedford Road,
Mount Kisco, NY 10549

Client / Store:
Shoprite Mount Kisco

Drawing Name:
CHANNEL LETTERS

Date: Drawn By: Scale:

Revision Date / Revision : NTS

Quantity:	Job #	Drawing	Page:
1			7 OF 7



Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
Ph. (914) 864-0019-fax (914) 864-1085

November 28, 2023

Michael Piccirillo
345 Kear Street
Yorktown Heights, NY 10598

Re: Notice of Denial
103 Grove Street
Mount Kisco, NY 10549
(SBL) 80.25-4-6

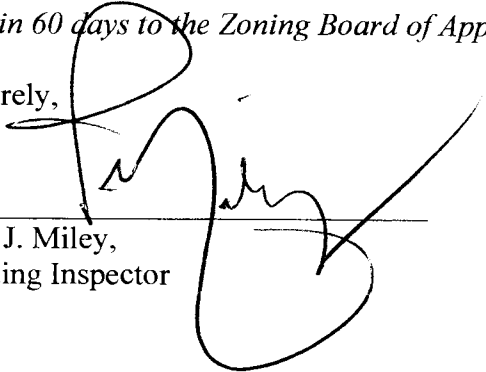
Dear Ms. Piccirillo:

Your recent submission of a building permit application for the proposed construction of a detached, two-car garage located in the RT-6 One and Two-Family Zoning District has been denied for the following reasons:

1. No accessory structure, shall be located or project nearer to any street line or side lot line than does the principal structure on the lot. The proposed detached garage is located 4.83' from the southerly side yard property line. The principal structure (house) is located 10.4' from the southerly side yard property line – a difference of 5.57'. The proposed accessory structure is 5.57' closer to the side lot line than the principal structure and therefore; variance is required in accordance with §110-31 G (1) of the Village/Town of Mount Kisco Code.
2. Chapter 110. Zoning Article III. District Regulations § 110-11. RT-6 One- and Two-Family Residence District. C. Development regulations. (1) Each site in the RT-6 District shall be subject to the following development regulations: [3] Side: [b] For lots with a width greater than 60 feet but less than 70 feet: eight feet for one side yard, with a total of 18 feet for both side yards. Proposed is a side yard setback of 4.83' where 8' is required and a combined side yard setback of 16.83' where 18' is required for a lot that is greater than 60' in width but less than 70' and therefore; a 3.17' side yard and a 1.17' combined (both) side yards setback variance is required.

You have the right to appeal this decision within 60 days to the Zoning Board of Appeals.

Sincerely,



Peter J. Miley,
Building Inspector

Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
(914) 864-0019 FAX (914) 864-1085

NOV 15 2023

RECEIVED

Application #: _____

Permit #: _____

BUILDING PERMIT APPLICATION

Note: Three sets of construction drawings and a digital copy must be submitted with application.

Project Address: 103 Grove Street, Mount Kisco, NY 10549

Zoning District: RT-6 Section/Block/Lot(s): 80.25-4-6

Applicant's Name: MICHAEL PILLIRI

Address: 345 KATE STREET SUITE 203

YORKTOWN HILLS, NY 10593

Email address: MICHAEL@MILLIRIARCHITECT.COM Phone #: 914-368-9838

Name of Property Owner: Erica Charpentier & Michael McGuirk Phone #: 718-788-1605

(If Different)

Present Address of Owner: 103 Grove Street, Mount Kisco, NY 10549

Email address: mikemcguirk@gmail.com Phone # 718-788-1605

Description of Improvement and Proposed Use in Detail:

EXISTING WOOD FRAME GARAGE TO BE REMOVED & REPLACED WITH AN
ENCLOSED 1 1/2 STORY GARAGE WITHIN SAME FOOTPRINT.

Total Estimated Cost of Improvement: _____

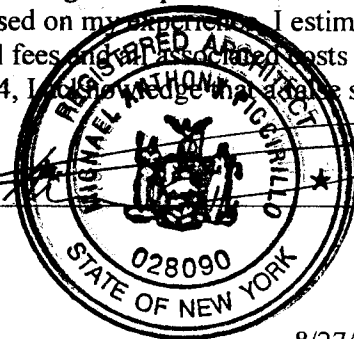
AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000.00 or more, or the project is a legalization.

I MICHAEL PILLIRI do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (II) I have reviewed the plans, drawings and specifications of this application and am fully familiar with the proposed construction; (III) based on my experience I estimate the total cost of construction, including all labor, all material, all professional fees and associated costs to be approximately \$ 22,000.-, and (IV) pursuant to Penal Law 210.4, I acknowledge that the false statement made knowingly is a Class A Misdemeanor.

Signature: [Signature]

Date: 11-7-23

Sign & Affix Seal



Property Use: (please answer all questions)

Existing use Residential:

☒ Single Family ☐ 2 Family ☐ Other (Please specify) _____

Intended use:

☒ Single Family ☐ 2 Family ☐ Other (Please specify) _____

Existing Use Commercial:

☐ Multi Family (How Many) ____ ☐ Retail ☐ Restaurant ☐ Other (Please specify) _____

Intended Use:

☐ Multi Family (How Many) ____ ☐ Retail ☐ Restaurant ☐ Other (Please specify) _____

Is there an approved site plan for this property?

Is this a new residential house? ☐ Yes ☒ No ☒ Addition ☐ Alteration

Is this a new commercial building? ☐ Yes ☒ No ☐ Addition ☐ Alteration

Municipal sewer? ☒ Yes ☐ No Septic System? ☐ Yes ☐ No (if applicable, attach Health Dept. Approval)

Is this structure within the flood plain? ☐ Yes ☒ No (If yes, please file a Flood Development Permit)

Is this project within any wetlands, buffer or water course? ☐ Yes ☒ No (If yes, file a Wetlands application)

Topography: ☐ Flat ☒ Hilly ☐ Rocky ☐ Steep Incline ☐ Other (please specify) _____

Will the land disturbance affect any steep slopes? ☐ Yes ☒ No (if yes, please file Planning Board application)

How many square feet of land disturbance is there? 400 SF. (ASPHALT)

Contractor: _____

Address: _____

Phone #: _____ Fax #: _____

Email address : _____

Westchester County Home Improvement License #: _____

Architect or Engineer: MICHAEL PICCIRILLO NYS Lic. #: 022090

Address: 345 KOON STREET SUITE 207

Phone #: 914-362-9338 Fax #: _____

Email address : MICHAEL@MPICCIRILLOARCHITECT.COM

Electrician: _____ Phone #: _____ WC Lic. #: _____

Address: _____

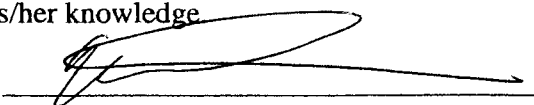
Phone #: _____ Email address : _____

Plumber: _____ Phone #: _____ WC Lic. #: _____

Address: _____

Phone #: _____ Email address : _____

The undersigned applicant hereby agrees with all applicable provisions of the Code of the Village/Town of Mount Kisco and all other laws, codes, rules and requirements applicable to the proposed construction and that statements contained herein are true to the best of his/her knowledge.


Applicant's Signature

Sworn to before me this 15th day of Nov 2023

Notary Public, Westchester County: 

KRIS H KRISTENSEN
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01KR6351693
Qualified in WESTCHESTER County
Commission Expires DECEMBER 12 2024 29

Affidavit of Owner Authorization:

If the applicant is not the owner in fee of the premises:

The applicant Michael Piccirillo, AIA has my consent from to make this application as submitted.

Michael McGuirk
Owner's Name Printed


Owner's Signature

Sworn to before me this 25th day of October, 2023.

Notary Public, Westchester County: 

PAVITA RANGLAL ONATE
Notary Public - State of New York
No. 01RA5087674
Qualified in Westchester County
My Commission Exp. 11/02/2025

Name of Project Contact Person: _____

Daytime Phone #: _____

Fax #: _____

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Received by: P. P. P.

- ☒ Application/Permit Fee 100.00 ch # 1452
rec 31512
☐ License:
☐ Insurance:
☐ 3 sets of drawings:
☐ Digital drawing:
☐ Flood Plain Development Application (if required)

Board Approvals:

- ☐ Planning
☐ Zoning
☐ ARB
☐ Other

Reviewed By: _____

Date: _____

Building Inspector Approval: _____

Date approved: _____

Conditions:



December 20, 2023

Village of Mount Kisco
Zoning Board of Appeals
104 Main Street
Mount Kisco, NY 10549

RECEIVED

DEC 26 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

Re: New Garage
McGuirk Residence
103 Grove Street
Mt Kisco, New York 10549

Chairman,

My Client, Michael McGuirk, at 103 Grove Street seek a Zoning variance for their proposed Detached 2 car Garage. The existing carport which is being replaced by the garage has an existing non-conforming side yard that requires variances.

The proposed structure is 5.57' closer to the side lot line than the principal structure.

The proposed structure has a side yard setback of 4.83' where 8' is required and a combined setback of 16.83' where 18' is required.

Sincerely,



Michael Piccirillo, AIA

RECEIVED

Date: _____

Case No.: ZBA24-2

Fee: _____

DEC 26 2023

Date Filed: _____

**Zoning Board of Appeals
Village/Town of Mount Kisco**

Village/Town of Mount Kisco
Municipal Building
104 Main Street, Mt. Kisco, NY 10549

**Zoning Board of Appeals
Application**

Appellant: MICHAEL PICCARILLO ARCHITECTURE PLLC
Address: 345 KOPAR STREET SUITE 203 YORKTOWN HEIGHTS, NY 10598
Address of subject property (if different): 103 GROVE STREET

Appellant's relationship to subject property: _____ Owner _____ Lessee ☒ Other

Property owner (if different): MICHAEL McGUIRK
Address: 103 GROVE STREET

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken
from the decision of the Building Inspector, PETER J. MILEY
dated Nov. 28 2023. Application is hereby made for the following:

☒ Variation **or** _____ Interpretation of Section _____
of the Code of the Village/Town of Mount Kisco,

to permit the: ☒ Erection; _____ Alteration; _____ Conversion; _____ Maintenance
of DETACHED TWO-CAR GARAGE

_____ in accordance with plans filed on (date) 11/3/23
for Property ID # 80.25-4-6 located in the RT-6 Zoning District.
The subject premises is situated on the EAST side of (street) GROVE ST.
_____ in the Village/Town of Mount Kisco, County of Westchester, NY.
Does property face on two different public streets? Yes/No No
(If on two streets, give both street names) _____

Type of Variance sought: _____ Use ☒ Area

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? No

Is there an approved site plan for this property? Yes in connection with a
____ Proposed or ☒ Existing building; erected (yr.) 1966 & 2004

Size of Lot: ~~35'~~^{35'} feet wide 226.38 feet deep Area 11,590

Size of Building: at street level 23'6" feet wide 22 feet deep

Height of building: 11'2" Present use of building: CARPORT w/
SINGLE FAMILY DWELLING

Does this building contain a nonconforming use? No Please identify and explain: _____

Is this building classified as a non-complying use? Y Please identify and explain: SIDEYARD SETBACK,

Has any previous application or appeal been filed with this Board for these premises?
Yes/No? No

Was a variance ever granted for this property? N/A If so, please identify and explain: _____

Are there any violations pending against this property? No If so, please identify and explain: _____

Has a Work Stop Order or Appearance Ticket been served relative to this matter?
____ Yes or ☒ No Date of Issue: _____

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? No

I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:

The following items **MUST** be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on Nov. 28, 2023 upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- *j) At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- *k) A floor plan of the subject building with all the necessary measurements.
- *l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

*** Optional - As Needed**

I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.

[Signature]
(Appellant to sign here)

Sworn to before me this day of: Dec 22nd, 20 23

Notary Public, [Signature], County, NY

CHRISTOPHER J VECE
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01VE6376657
Qualified in WESTCHESTER County
Commission Expires JUNE 18, 2024

[TO BE COMPLETED IF APPELLANT IS NOT THE PROPERTY OWNER IN FEE]

State of New York }
County of Westchester } ss

Being duly sworn, deposes and say that he resides at 103 GROVE STREET in the County of Westchester, in the State of New York, that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Mount Kisco, County of Westchester aforesaid and known and designated as number 80.25-4-6 and that he hereby authorized Miguel P. [Signature] to make the annexed application in his behalf and that the statements contained in said application are true.

[Signature]
(sign here)



December 20, 2023

Village of Mount Kisco
Zoning Board of Appeals
104 Main Street
Mount Kisco, NY 10549

Re: New Garage
McGuirk Residence
103 Grove Street
Mt Kisco, New York 10549

Chairman,

1. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.

The existing carport has been in place since 2004. The proposed garage will be more in keeping with the neighborhood.

2. Whether the benefit sought by the applicant can be achieved by some method feasible for the applicant to pursue, other than an area variance.

There is no other location for the Garage due to the narrow site

3. Whether the requested area variance is substantial.

The variances are not substantial in compared to the overall benefit

4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

The Garage is in the same footprint as the existing carport. So, no adverse effect of the environment

5. Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

The Garage is to be constructed on the same footprint as the existing carport with has a permit and CO.

Sincerely,


Michael Piccirillo, AIA

AFFIDAVIT OF MAILING

STATE OF NEW YORK

COUNTY OF WESTCHESTER

}
} **SS.:**
}

MICHAEL PICCIRILLO being duly sworn, deposes and says:

I reside at 125 JEFFERSON COURT, YORKTOWN HEIGHTS, NY 10598

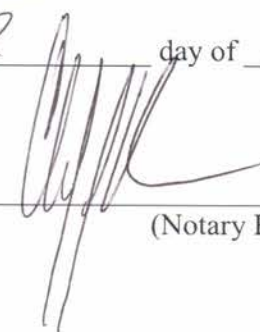
On DEC. 22 20 23 I served a notice of hearing, a copy of which is attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B.

I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.



Sworn to before me on this

22 day of Dec 20 23


(Notary Public)

CHRISTOPHER J VECE NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01VE6376657 Qualified in WESTCHESTER County Commission Expires JUNE 18, 20 <u>26</u>

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 16th day of January, 2024 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM pursuant to the Zoning Ordinance on the Appeal of Michael Piccirillo Architecture, PLLC, 345 Kear Street, Suite 203, Yorktown Heights, NY 10598 from the decision of Peter J. Miley, Building Inspector, dated November 28, 2023 denying the application dated to permit construction of a two car garage. The property involved is known as 103 Grove Street and described on the Village Tax Map as Section 80.25, Block 4, Lot 6 and is located on the East side of Grove Street in a RT-6 Zoning District. Said Appeal is being made to obtain a variance from Sections 110-31 G(1) and 110-11 C(1)(f)[3][b] of the Code of the Village/Town of Mount Kisco, which requires that no accessory structure shall be located or project nearer to any street line or side lot line than does the principal structure on the lot and for lots with a width greater than 60 feet but less than 70 feet: eight feet for one side yard, with a total of 18 feet for both side yards.

Wayne Spector, Chair

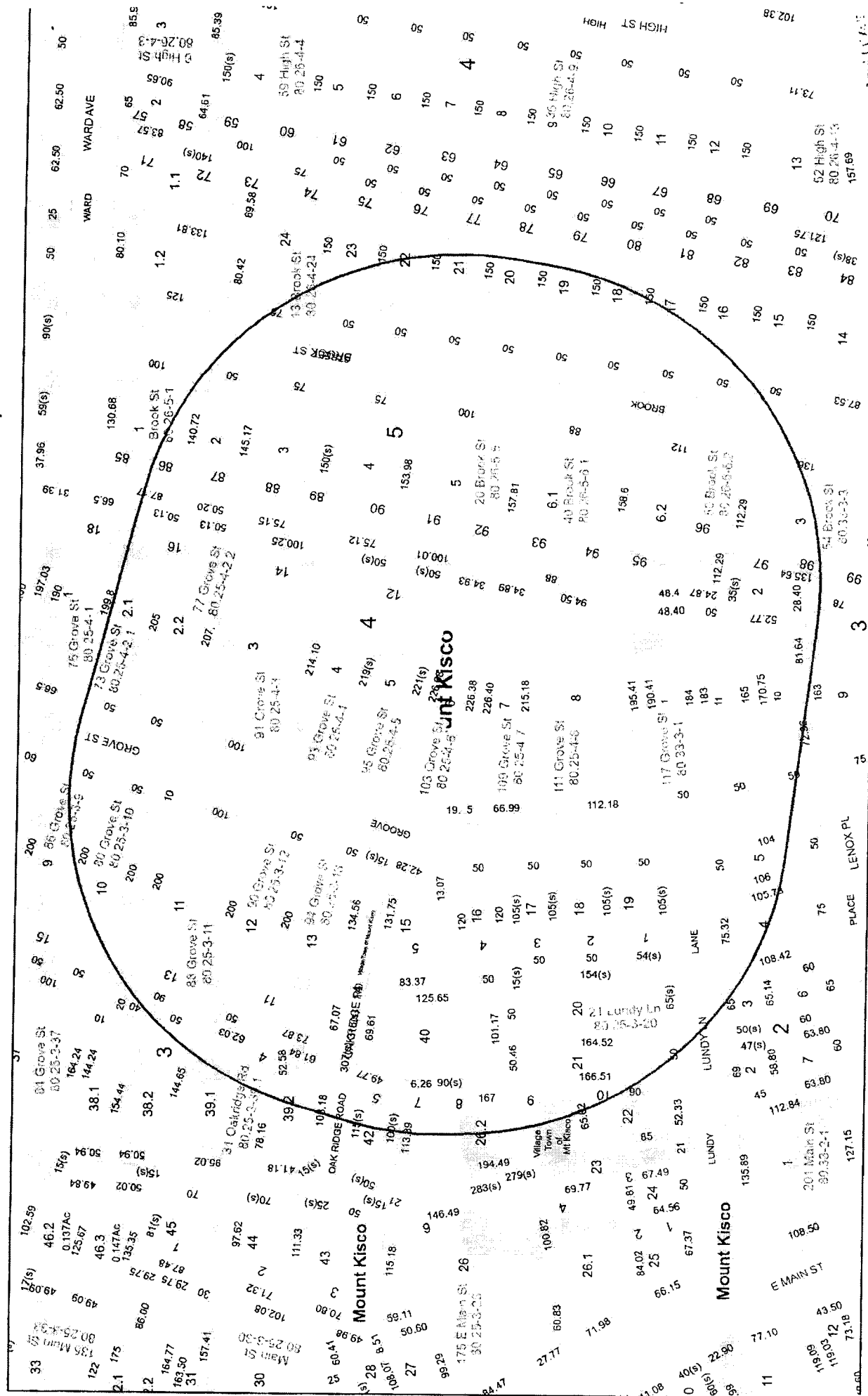
Zoning Board of Appeals

Village/Town of Mount Kisco

OWNERNAME	PROPADRESS	PROPCITY	PROPROP	PROPRINTKEY	C/o	Mailing Address	City	State	Zip
23 Lenox Place LLC	23 Lenox Pl	MOUNT KISCO	10549	80.33-2-4	Robert Gasparni	502 Stonewall Lane	Brewster	NY	10509
Hudson Valley Proppert Developm	104 Grove St	MOUNT KISCO	10549	80.25-3-16		20 Benedict Avenue	White Plains	NY	10603
Apropos Housing Opp.	114 Grove St	MOUNT KISCO	10549	80.25-3-18	Antonio Oliveri	86 Smith Avenue	Mt. Kisco	NY	10549
Oliveri, Antonio	121 Grove St	MOUNT KISCO	10549	80.33-3-11		54 Brook Street	Mt. Kisco	NY	10549
Stern, Angela	131 Grove St	MOUNT KISCO	10549	80.33-3-9		25-506 Barker Street	Mt. Kisco	NY	10549
Albanese Carmelo	109 Grove St	MOUNT KISCO	10549	80.25-4-7		122 McClain Street	Mt. Kisco	NY	10549
Oliveri, Antonio	54 Brook St	MOUNT KISCO	10549	80.33-3-3	Ann & Donald Merlini	10 Brook Street	Mt. Kisco	NY	10549
Mann, Matthew	12 Brook St	MOUNT KISCO	10549	80.26-5-2					
O'Reilly Moira A	21 Brook St	MOUNT KISCO	10549	80.26-4-21					
Glaimo, Daniel V	13 Brook St	MOUNT KISCO	10549	80.26-4-24					
Merlini Family Irrev Trust	24 Oakridge Rd	MOUNT KISCO	10549	80.25-3-42	Ann & Donald Merlini	24 Oakridge Rd	Mt. Kisco	NY	10549
Pinnetti, Nicola	31 Oakridge Rd	MOUNT KISCO	10549	80.25-3-39.1		27 Manchester Drive	Mt. Kisco	NY	10549
Byrne, Patrick	16 Oakridge Rd	MOUNT KISCO	10549	80.25-3-40		6206 Villa At the Woods	Peekskill	NY	10566
Village Of Mount Kisco	Oakridge Road	MOUNT KISCO	10549	80.25-3-14		104 Main Street	Mt. Kisco	NY	10549
Fontecchio Cullen, Mary	94 Grove St	MOUNT KISCO	10549	80.25-3-13	Edward Coku	16 Lawrence Street	Mt. Kisco	NY	10549
175 Main St of Mount Kisco LLC	175 E Main St	MOUNT KISCO	10549	80.25-3-26.2					
Lupino, Antonio	88 Grove St	MOUNT KISCO	10549	80.25-3-11					
Lasner Michael E	20 Brook St	MOUNT KISCO	10549	80.26-5-5					
Berliner Richard	80 Grove St	MOUNT KISCO	10549	80.25-3-10	Edward Coku	9 Fisher Lane	Ridgefield	CT	06877
Kerrigan, Harry J III	35 Brook St	MOUNT KISCO	10549	80.26-4-18					
17 Lundy LLC	17 Lundy Ln	MOUNT KISCO	10549	80.25-3-21					
Ferraro, Joseph	125 Grove St	MOUNT KISCO	10549	80.33-3-10					
Swanson, Benjamin	40 Brook St	MOUNT KISCO	10549	80.26-5-6.1	Mary Farrell	30 Emery Street	Mt. Kisco	NY	10549
Freedman Janet E	22 Brook St	MOUNT KISCO	10549	80.26-5-4					
Buco Matthew	75 Grove St	MOUNT KISCO	10549	80.25-4-1					
Fermann Lois G	45 Brook St	MOUNT KISCO	10549	80.26-4-15					
Yang Nan Chun	29 Oakridge Rd	MOUNT KISCO	10549	80.25-3-39.2	Mary Farrell	104 Main Street	Mt. Kisco	NY	10549
Gomez, Guillermo	108 Grove St	MOUNT KISCO	10549	80.25-3-17					
Ekkan, Mary Jean	116 Grove St	MOUNT KISCO	10549	80.25-3-19					
Charpentier, Erica H	103 Grove St	MOUNT KISCO	10549	80.25-4-6					
Village/Town of Mount Kisco	Grove, Back of St	MOUNT KISCO	10549	80.33-3-2	Mary Farrell	104 Main Street	Mt. Kisco	NY	10549
Grimes, Eugene P	95 Grove St	MOUNT KISCO	10549	80.25-4-5					
John A O'Reilly Irrev. Trust	25 Brook St	MOUNT KISCO	10549	80.26-4-20					
Morgano Matthew	100 Grove St	MOUNT KISCO	10549	80.25-3-15					
Arias Sergio L	90 Grove St	MOUNT KISCO	10549	80.25-3-12	6 Little Pine Road	50 St. Marks Place	Mt. Kisco	NY	10549
Demaio Antonia	124 Grove St	MOUNT KISCO	10549	80.33-2-5					
Ciliberto, Francis	111 Grove St	MOUNT KISCO	10549	80.25-4-8					
Loffa Pierina	77 Grove St	MOUNT KISCO	10549	80.25-4-2.2					
Tesone Iris	16 Brook St	MOUNT KISCO	10549	80.26-5-3	4 Brook Street	27 Manchester Drive	Mt. Kisco	NY	10549
Ford, Donald G	Brook St	MOUNT KISCO	10549	80.26-5-1					
Tiber Enterprises Corp Inc	35 Oakridge Rd	MOUNT KISCO	10549	80.25-3-38.1					
Sharpe Oliver C	73 Grove St	MOUNT KISCO	10549	80.25-4-2.1					

Markus Anthony C	29 Brook St	MOUNT KISCO	10549	80.26-4-19					
Beck Nancy J	15 Brook St	MOUNT KISCO	10549	80.26-4-23					
Twelve-Five Inc	13 Lundy Ln	MOUNT KISCO	10549	80.25-3-22	TD Union LLC	176 Union Street	Brooklyn	NY	11231
Batha, Eleftheria	33 Oakridge Rd	MOUNT KISCO	10549	80.25-3-38.2		5 Jean Lane	Hartsdale	NY	10530
Ford Family Trust	20 Lundy Ln	MOUNT KISCO	10549	80.33-2-3		26 Pines Bridge Road	Mt. Kisco	NY	10549
Gasparri, Robert J	21 Lundy Ln	MOUNT KISCO	10549	80.25-3-20		502 Stonewall Lane	Brewster	NY	10509
Kuusisto Patricia	93 Grove St	MOUNT KISCO	10549	80.25-4-4					
Patino, Angel R	91 Grove St	MOUNT KISCO	10549	80.25-4-3					
Sacchetti, Rocco	41 Brook St	MOUNT KISCO	10549	80.26-4-16		54 Brook Street	Mt. Kisco	NY	10549
Oliveri, Antonio	117 Grove St	MOUNT KISCO	10549	80.33-3-1					
Oliveri, Giuseppe	50 Brook St	MOUNT KISCO	10549	80.26-5-6.2					
Ramon Luis G	86 Grove St	MOUNT KISCO	10549	80.25-3-9					
Kearin Madeline B	37 Brook St	MOUNT KISCO	10549	80.26-4-17	Andrew Schafneran	3 Mt. Holly Road East	Katonah	NY	10536
Torchia, Daniela	19 Brook St	MOUNT KISCO	10549	80.26-4-22					

103 Grove St. ID: 80.25-4-6 (Mount Kisco)



December 20, 2023

1:1,500



Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

Westchester County GIS

GIS Geographic Information Systems
<http://giswww.westcheser.gov.com>
 Michaelan Office Building
 148 Martine Avenue Rm 214
 White Plains, New York 10601

AFFIDAVIT OF PUBLICATION

RECEIVED

JAN 10 2024

State of Wisconsin
County of Brown

K. Felty being duly sworn, deposes and says she is the Principal Clerk of The Journal News, Division of Gannett Newspaper Subsidiary, publishers of following newspaper published in Westchester and Rockland Counties, State of New York, of which annexed is a printed copy, out from said newspaper has been published in said newspaper editions dated: **Zoning Board of Appeals Village/Town of Mount Kisco**

12/28/2023

K. Felty

Subscribed and sworn to before me this 28 day of December, 2023

Mariah Verhagen

exp. 8.25.26

Notary Public
State of Wisconsin, County of Brown

MARIAH VERHAGEN
Notary Public
State of Wisconsin

State of New York)
) ss:
County of Westchester)

AFFIDAVIT OF POSTING

Gilmar Palacios Chin, being duly sworn, says that on the 9th day of January 2024, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –
104 Main Street

X

Public Library
100 Main Street

X

Fox Center

X

Justice Court – Green Street
40 Green Street

X

Mt. Kisco Ambulance Corp
310 Lexington Ave

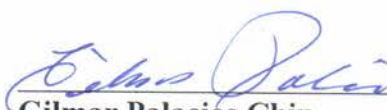
X

Carpenter Avenue Community House
200 Carpenter Avenue

X

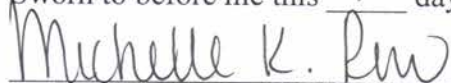
Leonard Park Multi Purpose Bldg

X



Gilmar Palacios Chin

Sworn to before me this 9th day of January 2024



Notary Public MICHELLE K. RUSSO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01RU6313298
Qualified in Putnam County
My Commission Expires 10-20-2026

RECEIVED

JAN 09 2024

Zoning Board of Appeals
Village/Town of Mount Kisco

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT — THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 20 day of December, 2004 and
BETWEEN

CHRISTINE BUETI, residing at 85 Buxton Lane, Boynton Beach,
FL 33426

party of the first part, and

H
ERICA ~~HOPE~~ CHARPENTIER and MICHAEL P. McGUIRK residing at
346 6th Street, Brooklyn, NY 11215

party of the second part,

WITNESSETH, that the party of the first part, in consideration of ten dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the
See Schedule "A" annexed hereto and made a part hereof

AND BEING AND INTENDED TO BE the same premises as conveyed to the party of the first part by deed dated 8/13/92 and recorded 9/15/92 in Liber 10408 cp 179.

TOGETHER with all right, title and interest, if any, of the party of the first part, in and to any streets and roads abutting the above-described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

Christine Bueti by Richard Cade
CHRISTINE BUETI

Attorney in fact

Acknowledgement taken in New York StateState of New York, County of **WESTCHESTER**, ss:On the 20th day of December, in the year 2004, before me, the undersigned, personally appeared

~~CHRISTINE BUETT~~ *Richard Scandee*
 personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

NOTARY PUBLIC
 State of New York
 Westchester County
 Commission Expires 12/31/2006

Acknowledgement by Subscribing Witness taken in New York State

State of New York, County of _____, ss:

On the _____ day of _____, in the year _____, before me, the undersigned, personally appeared _____

the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who being by me duly sworn, did depose and say, that he/she/they reside(s) in _____

that he/she/they know(s) _____
 to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said _____
 execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto.

Title No.: _____

**The Judicial Title Insurance Agency LLC**

New York City	Westchester
888 Seventh Ave., Ste 300 New York, NY 10108 800-281-TITLE (8465) Tel: (212) 432-3272 Fax: 800-FAX-9396	550 Mamaroneck Avenue Suite 204 Harrison, NY 10528 Tel: (914) 381-6700 Fax: (914) 381-3131
	152 South Highland Avenue Suite 202 Ossining, NY 10562 Tel: (914) 923-2300 Fax: 800-FAX-9396

www.judicialtitle.com

Acknowledgement taken in New York State

State of New York, County of _____, ss:

On the _____ day of _____, in the year _____, before me, the undersigned, personally appeared _____

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

Acknowledgement taken outside New York State

* State of _____, County of _____, ss:
 * (or insert District of Columbia, Territory, Possession or Foreign Country)

On the _____ day of _____, in the year _____, before me, the undersigned, personally appeared _____

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the _____

(add the city or political subdivision and the state or country or other place the acknowledgement was taken).

SECTION 80.25

BLOCK 4

LOT 6

COUNTY OR TOWN Town of *Monticello***RETURN BY MAIL TO:**

Phyllis Marcus, Esq.
 Marcus & Wolper, LLP
 22 Saw Mill River Road, 3rd Floor
 Hawthorne, NY 10532

Zip No.

THIS SPACE FOR USE OF RECORDING OFFICE

File No: CW04201061

SCHEDULE A - DESCRIPTION

ALL that certain plot, piece or parcel of land, with the building thereon erected, situate, lying and being in the Village/Town of Mount Kisco, County of Westchester and State of New York, bounded and described as follows:

BEGINNING at a point on the easterly side of Grove Street adjoining land of Frederick Christensen;

THENCE RUNNING along the southerly line of said land of Christensen, South 64 degrees 53 minutes East 226.68 feet to land now or formerly of the Estate of Moses W. Fish, deceased, and a stone wall standing on said boundary line;

THENCE along said land now or formerly of Fish, South 20 degrees 55 minutes 00 seconds West 8.75 feet and South 17 degrees 34 minutes West 26.18 feet to other land now or formerly of Celia Baskind;

THENCE along said land now or formerly of Celia Baskind, in a straight line on a course, North 72 degrees 48 minutes 30 seconds West 226.38 feet to the easterly side of Grove Street aforesaid;

THENCE along the easterly side of said Grove Street, North 5 degrees 49 minutes 19.15 feet and North 24 degrees 54 minutes East 47.84 feet to the point and place of **BEGINNING**.

VILLAGE OF MOUNT KISCO

WESTCHESTER COUNTY, N. Y.

SITE PLAN APPROVAL BY THE
PLANNING BOARD IS REQUIRED
IN ALL ZONES EXCEPT ONE AND
TWO FAMILY RESIDENCE ZONES.

Permit No. 2287

N. B.

ALT.

ADD. ☒

7 1 18 1966

TO THE BUILDING INSPECTOR:

TOWN OF BEDFORD

~~TOWN OF NEW CASTLE~~

Application is hereby made for permission to perform the work in accordance with the plans and specifications herewith submitted and in compliance with the information given below:

It is agreed that if such permission is granted said building will conform in all respects to said plans and specifications and shall comply with all provisions of the local Building, Plumbing, and Building Zone Ordinance, and all state or federal laws or regulations pertaining in any way thereto.

Attached hereto are triplicate copies of plot plan showing to scale position of building on the plot; also triplicate copies of the plans and specifications for said building.

Accompanying this application is the required fee of \$ ~~75~~ 22.00, being the sum of Ten dollars plus ~~1~~ 4 dollar for each one thousand dollars of estimated cost or part thereof.

Owner SAM BUETI Address 103 GROVE ST

Applicant SAM BUETI Address 103 GROVE ST

Architect _____ Address _____

Builder SAM BUETI Address 103 GROVE ST.

Building is to be located on plot known as No. 10 E 11
on the _____ side thereof, _____ FT. distant from the corner of _____
Section _____, Sheet 115, Block 9702, Lot 10, Lot 11 6-36A-1

Estimated Cost \$2500.00

Proposed use: CAR PORT

If a tenement house, how many families on each floor? _____ How many in the building? _____

Number of stories _____: height _____ feet.

Front yard _____ feet.

Rear yard _____ feet.

Side yards _____ feet (Total) Minimum side yard _____ feet.

Type of Construction—Fireproof—Semi-Fireproof—Frame. (Cross out all but one.)

(over)

I hereby certify that the statements and data on the reverse side of this sheet are correct and true to the best of my knowledge and belief.

(Signed) Sam Buetti Jr

Business Address 103 GROVE ST

Residence Address 103 GROVE ST

Date July 12 19 66

NOTES: Before the building for which a permit is issued can be used for any purpose the owner or lessee thereof must obtain a Certificate of Occupancy from the Building Inspector as provided in Section 18 (C) of the Building Zone Ordinance.

Separate application must be made for plumbing on forms obtainable from the Plumbing Inspector.

Satisfactory evidence must be submitted that Compensation Insurance has been provided in accordance with the Workmen's Compensation Law before a permit is issued by the Building Inspector.

ACTION BY BUILDING INSPECTOR

The foregoing application and accompanying plans and specifications have been examined and considered, and the following action taken by me:

SITE PLAN APPROVED BY
PLANNING BOARD _____

- ☐ Application Rejected.
☐ Application Granted.
☐ Referred to Board of Appeals.
☐ Referred to Board of Trustees.

Reasons or Remarks: _____

Date _____ 19 _____

BUILDING INSPECTOR for the Village of Mt. Kisco, N. Y.

VILLAGE OF MOUNT KISCO

APPLICATION FOR BUILDING PERMIT

Application No. _____

Date Revised _____ 19 _____ Date Approved _____ 19 _____

Date Denied _____ 19 _____ Date Referred _____ 19 _____

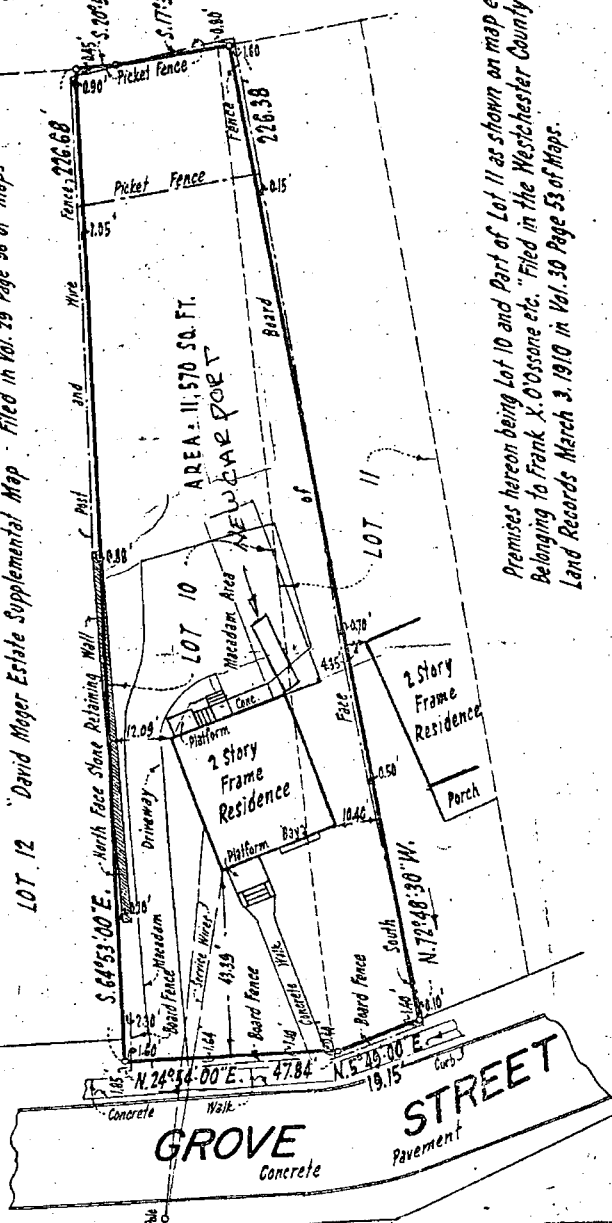
Applicant Notified _____ 19 _____

(over)

Moses Fish Subdivision

Filed Map No. 1762

LOT 12 "David Mager Estate Supplemental Map" Filed in Vol. 29 Page 36 of Maps



Premises hereon being Lot 10 and Part of Lot 11 as shown on map entitled, "Map of Property Belonging to Frank X. O'Donnore etc." Filed in the Westchester County Clerk's Office, Division of Land Records March 3, 1910 in Vol. 30 Page 53 of Maps.

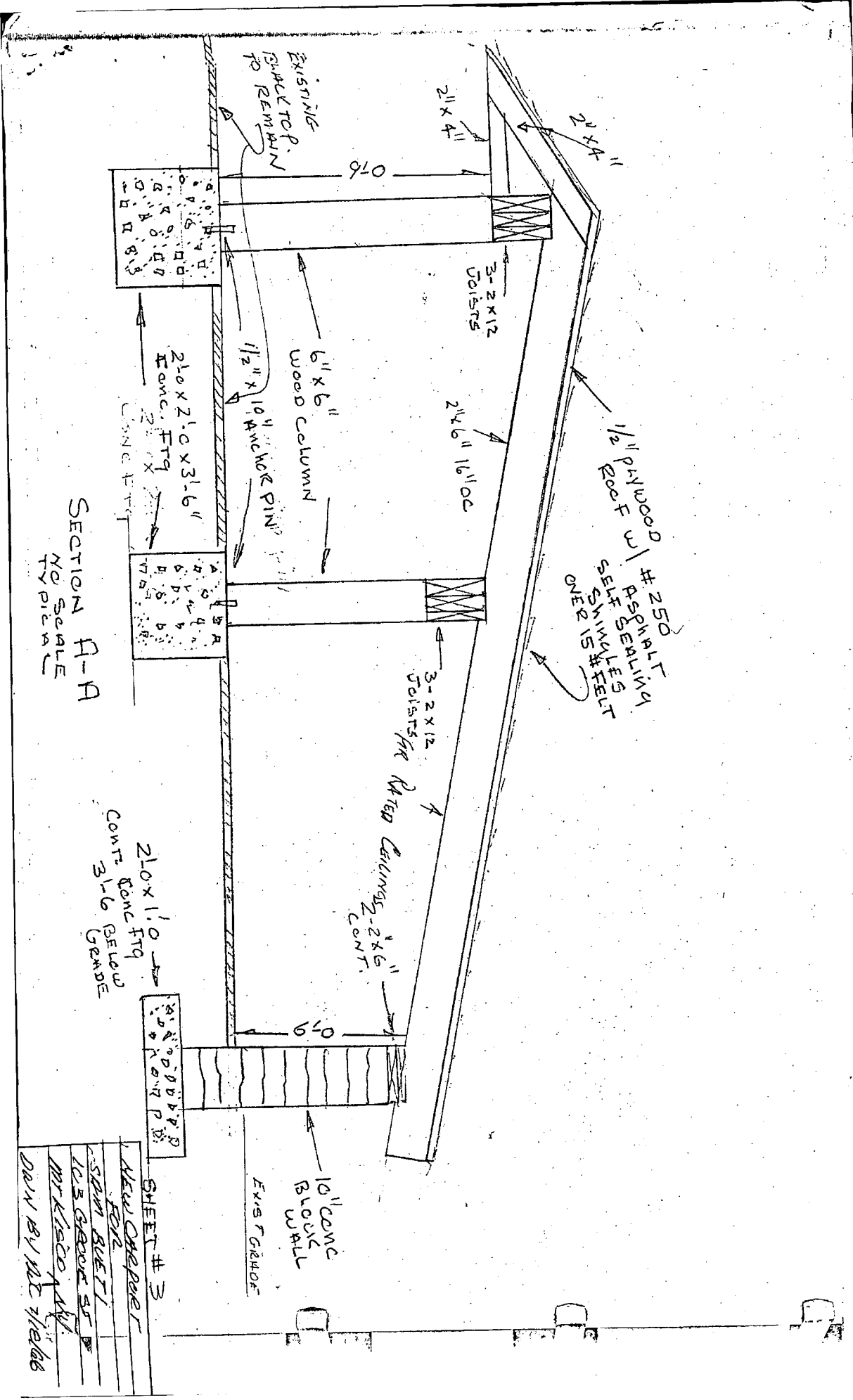
NEW CARPORT
FOR
SAND BUELL
103 GROVE ST.
MT KISSAEE, NY
OWN BY REC. 7/15/66

LOCATION PLAN SHEET #1

PREMISES HEREON BEING LOCATED ON SHEET NO. 175
BLOCK 9702 IN WESTCHESTER COUNTY BLOCK INDEX MAPS.

The Guarantee Company
of Ossining
PHAS. H. SELLS, INC.

Handwritten signature



SECTION A-A
NO SCALE
TYPICAL

2x10x1'0" CONC. FTG.
CONT. 3'6" BELOW GRADE

SHEET # 3
NEW ORLEANS
FOR
SHEET
103 ABOVE 55
MK 1030 1/11
DWN BY MLC 7/12/66

VILLAGE/TOWN of MOUNT KISCO
104 MAIN STREET
MOUNT KISCO, NY 10549

5143

CERTIFICATE of OCCUPANCY

Building Permit # 2287, 17622, 17623, 17624

Date 9/7/04

Permission is hereby granted to

(Applicant) Christine Bueti

(Address) 103 Grove Street

to occupy the premises identified as:

Section 80.25- Sheet _____ Block 4 Lot 6

and known as: 103 Grove Street

in its entirety or in the portion or space described as: Carport, Finished Basement w/Full Bath,
Kitchen in Basement for Family Use, Screened in Patio & Roofing, Rear Deck. *HC*
for the proposed use of a Single Family Residence

as permitted in the RT-6 One & Two Family Residence zoning district
and so specified in Chapter 110 of the Code of the Village/Town of Mt. Kisco.

This Certificate Is Issued Pursuant To Section 51-14 And 110-39 of The Code of The Village/Town of Mount Kisco And Is Subject to Any And All of The Conditions That May Be Listed Below.

Conditions: Inspected and approved as appearing compliant with the building and
zoning codes applicable at the time of issue of said permit(s)
listed above.

[Signature]
BUILDING INSPECTOR

VILLAGE OF MT. KISCO, NEW YORK
PERMIT FEE RECEIPT

No 713

(Date) 8/8/66

Received of: Sam Bute

Address: 94 Grace Street

Mount Kisco New York

Amount: \$22.00 (words) Twenty-Two and 00/100 Dollars

For: Bldg. Permit 2287

Remarks: (Addition - Corport)

(Stamp)

Received by B. Bute (Date) 8/8/66

INSTRUCTIONS: All fees and deposits must be paid in the village clerk's office before the permit issuing authority can issue the permit requested. After payment, please return the blue copy to the office to which you applied for a permit so that the permit can be issued.

PERMIT ISSUING AUTHORITY COPY

VILLAGE/TOWN of MOUNT KISCO
104 MAIN STREET
MOUNT KISCO, NY 10549

5143

CERTIFICATE of OCCUPANCY

Building Permit # 2287, 17622, 17623, 17624

Date 9/7/04

Permission is hereby granted to

(Applicant) Christine Bueti

(Address) 103 Grove Street

to occupy the premises identified as:

Section 80.25- Sheet _____ Block 4 Lot 6

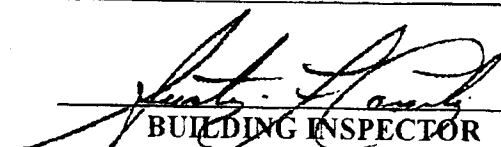
and known as: 103 Grove Street

in its entirety or in the portion or space described as: Carport, Finished Basement w/Full Bath, Kitchen in Basement for Family Use, Screened in Patio & Roofing, Rear Deck.
for the proposed use of a Single Family Residence *HC*

as permitted in the RT-6 One & Two Family Residence zoning district
and so specified in Chapter 110 of the Code of the Village/Town of Mt. Kisco.

This Certificate Is Issued Pursuant To Section 51-14 And 110-39 of The Code of The Village/Town of Mount Kisco And Is Subject to Any And All of The Conditions That May Be Listed Below.

Conditions: Inspected and approved as appearing compliant with the building and zoning codes applicable at the time of issue of said permit(s) listed above.


BUILDING INSPECTOR

TITLE NO. 04201061

This is to certify that I have surveyed

LOT NO. 10 AND PORTION OF LOT NO. 11 AS SHOWN ON "MAP OF PROPERLY BELONGING TO FRANK X. O'OSSONE ETC.", SITUATED IN THE VILLAGE OF MOUNT KISCO, TOWN OF BEDFORD, WESTCHESTER COUNTY, NEW YORK.

Filed in the Westchester County Clerk's Office, Division of Land Records ON MARCH 3, 1910 as Map No.VOL.30, PG. 53

I have located all existing buildings and lines of possession and have shown their positions hereon.

Survey completed: DEC. 15, 2004

Map Drafted: DEC. 14, 2004 on scale of one inch to 25 feet.

Addition located: Feb. 21, 2017

I hereby certify this survey to: COMMONWEALTH LAND TITLE INSURANCE COMPANY
NORTH AMERICAN SAVINGS BANK
ERICA HOPE CHARPENTIER AND MICHAEL P. MCGUIRK

ARISTOTLE BOURNAZOS, P.C.

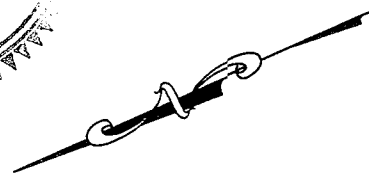
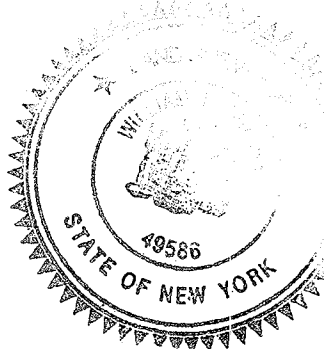
LAND SURVEYORS - PLANNERS

20 CEDAR STREET
NEW ROCHELLE
NEW YORK 10801
(914) 633-0100



LICENSED IN
NEW YORK
NEW JERSEY
CONNECTICUT

William J. Bournazos
N.Y.S. Lic. 49586



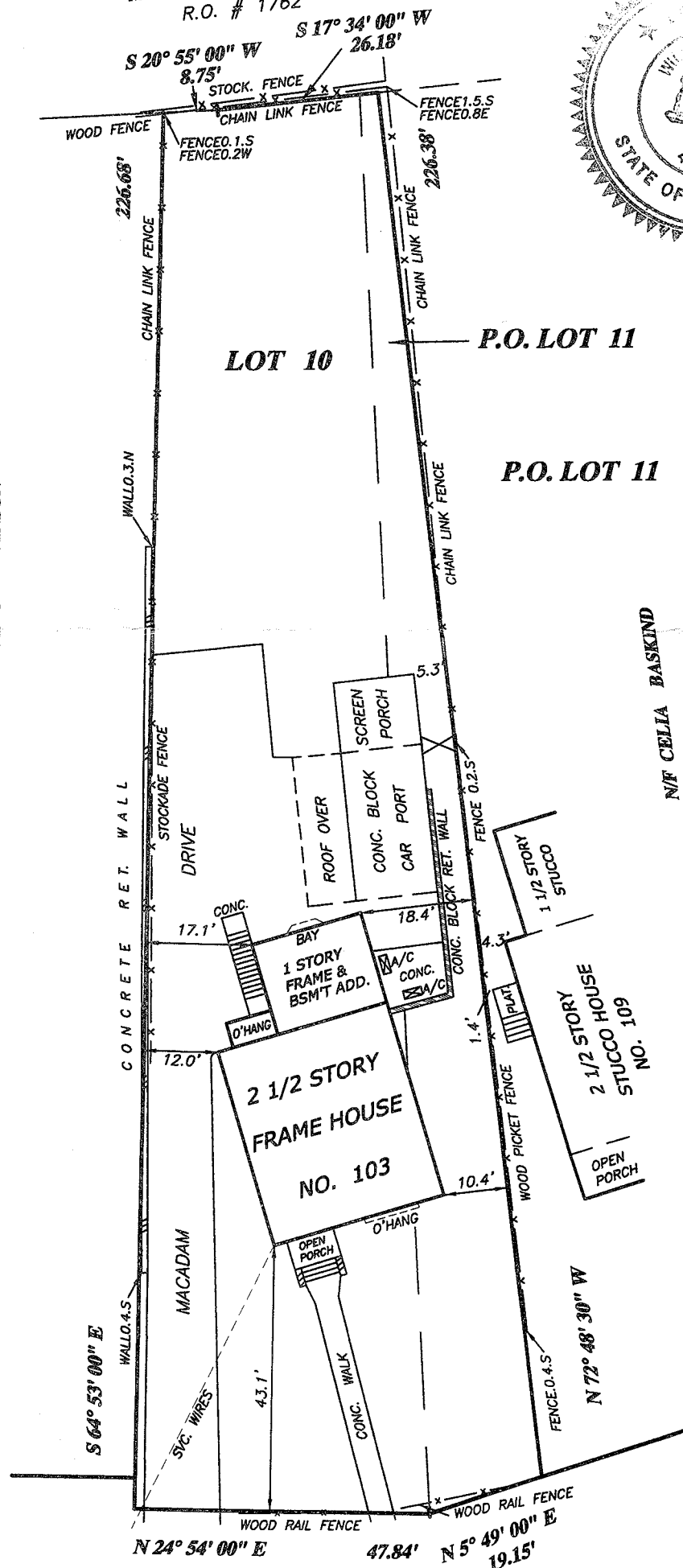
LOT 12

"DAVID MOGER ESTATE SUPPLEMENTAL MAP"

R.O. # VOL. 29, PG. 36

N/F FREDERICK CHRISTENSON

"MOSES FISH SUBDIVISION"
R.O. # 1762



GROVE STREET

Unauthorized alteration or additions to this survey map is a violation of section 7209 sub-section 2, of the New York State Education Law.

No guarantee is implied by this map as to the existence or non-existence of any easements of record that would affect subject property, unless surveyor has been furnished a complete copy of the title report.

Dimensions shown from structures to property lines are not intended to be used for construction of fences, structures or other improvements.



Michael Piccirillo Architecture

NOTE:
DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS
FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT
IF THERE ARE ANY DISCREPANCIES
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS
A VIOLATION OF CT STATE EDUCATION LAW.
© Copyright 2023 MICHAEL PICCIRILLO ARCHITECTURE PLLC

No.	DATE:	ISSUE:
1	12/22/23	ISSUED FOR ZBA

PROJECT NAME:
McGUIRK RESIDENCE
NEW GARAGE

PROJECT ADDRESS:
103 GROVE STREET
MOUNT KISCO, NY 10549



MICHAEL A PICCIRILLO, AIA
345 KEAR STREET SUITE #203
YORKTOWN HEIGHTS, NEW YORK 10598
TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

PHOTOS	
SCALE: AS NOTED	DATE: 12-22-23
DRAWN BY: MAP	T-101
CHKD BY: MAP	
1 OF 2	

DETACHED GARAGE
103 GROVE STREET
MT.KISCO, NY

APPLICABLE CODES:
2020 RCNYS

SCOPE OF WORK:
DETACHED GARAGE

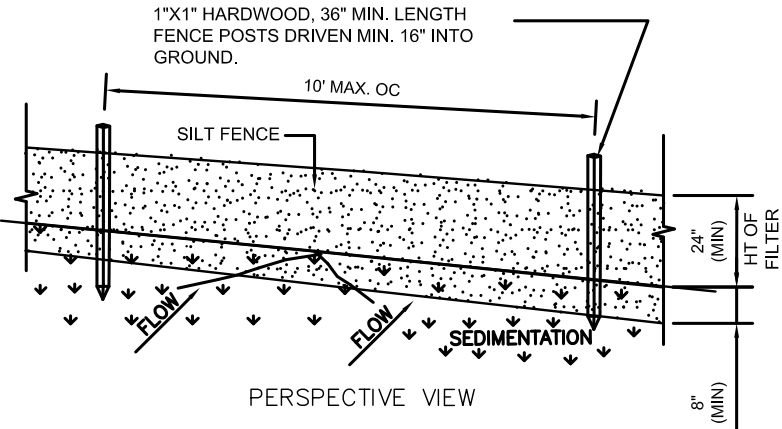
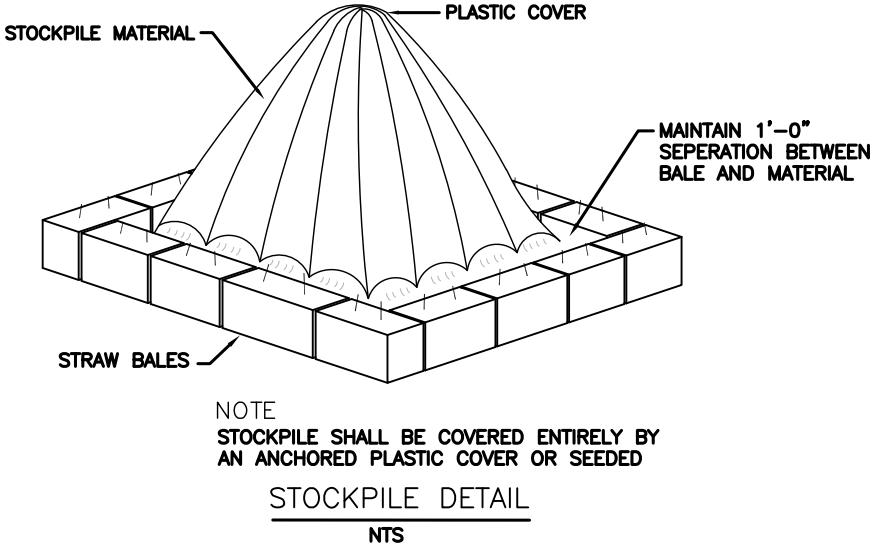
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA								
TABLE R301.2(1)								
GROUND SNOW LOAD	WIND	SEISMIC	SUBJECT TO DAMAGE FROM			WINTER	ICE SHIELD	FLOOD
	SPEED (MPH)	DESIGN CATEGORY	WEATHERING	FROST DEPTH LINE	TERMITE	DECAY	UNDERLAYMENT REQUIREMENT	HAZARDS
30 PSF	115 MPH	C	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	7" F	YES NO

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO 2020 RCNYS, AND LOCAL CODES; ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES.
2. MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
3. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
4. PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
5. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.
6. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE
7. CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK; THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.

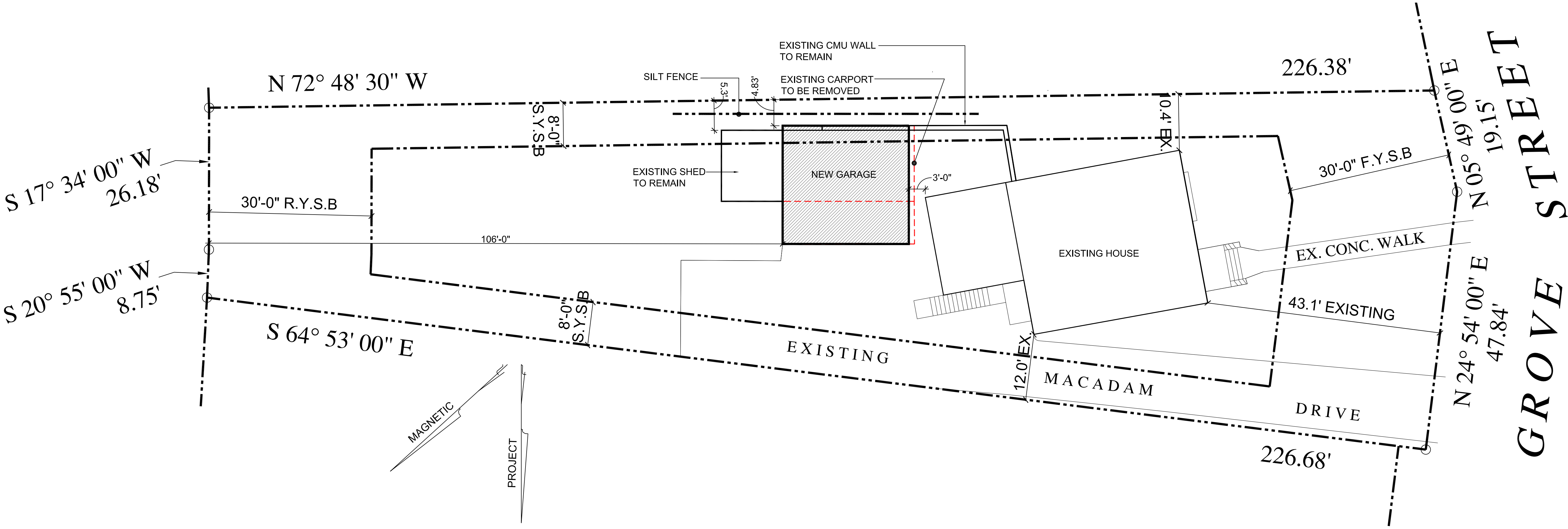
ZONING DATA					
TAX MAP #: 80.25-4-6					
ZONE: RT-6					
TABLE BUILDING REQUIREMENTS					
	REQUIRED	EXISTING	PROPOSED	OVERAGE	VARIANCE
MINIMUM LOT AREA	6,250 SF	11,590 S.F.	NO CHANGE	NONE	NO
MAX. HEIGHT /ACCESSORY	15'		11'-2"	NONE	NO
MAXIMUM BUILDING COVERAGE	2,668 SF	1,890 SF	1,866 SF	NONE	NO
MAXIMUM DEVELOPMENT COVERAGE	4,636 SF (40%)	4,651 SF (40.1%)	NO CHANGE	NONE	NO
ACCESSORY GARAGE COVERAGE	75% PRCP. BLDG. (906 SF)	533 SF (44%)	509 SF (42%)	NONE	NO
SETBACK REQUIREMENTS					
MIN. FRONT (WEST)	30 FT	NA	NA		
MIN. SIDE (SOUTH)	8 FT	4.83 FT	4.83 FT	3.17"	YES
MIN. SIDE COMBINED	18 FT (TOTAL)	16.83 FT	16.83 FT	1.17"	YES
MIN. REAR (EAST)	30 FT	106 FT	106 FT	NONE	NO

* PRINCIPAL BUILDING: 1209 SF



- CONSTRUCTION SPECIFICATIONS
- SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1"x1" HARDWOOD, OR APPROVED EQUAL.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED AROUND 2 STAKES, MIN 2X. FILTER CLOTH SHALL BE EITHER FILTER USCF M8F180, M8AF1 100X OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED. REINFORCE AREA LOW POINTS WITH ADDITIONAL STAKES OR OTHER MATERIALS AS RECOMMENDED BY ENGINEER. MATERIAL SHALL BE REMOVED WHEN SEDIMENT LOAD REACHES 50% HEIGHT OF FENCE.

SILT FENCE INSTALLATION DETAIL
NTS



A SITE PLAN
SCALE: 1" = 10'-0"



Michael Piccirillo Architecture

NOTE:
DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.

Copyright 2023 MICHAEL PICCIRILLO ARCHITECTURE

No.	DATE:	ISSUE:
1	10/25/23	ISSUED
2	11/1/23	ISSUED FOR BIDDING

PROJECT NAME:

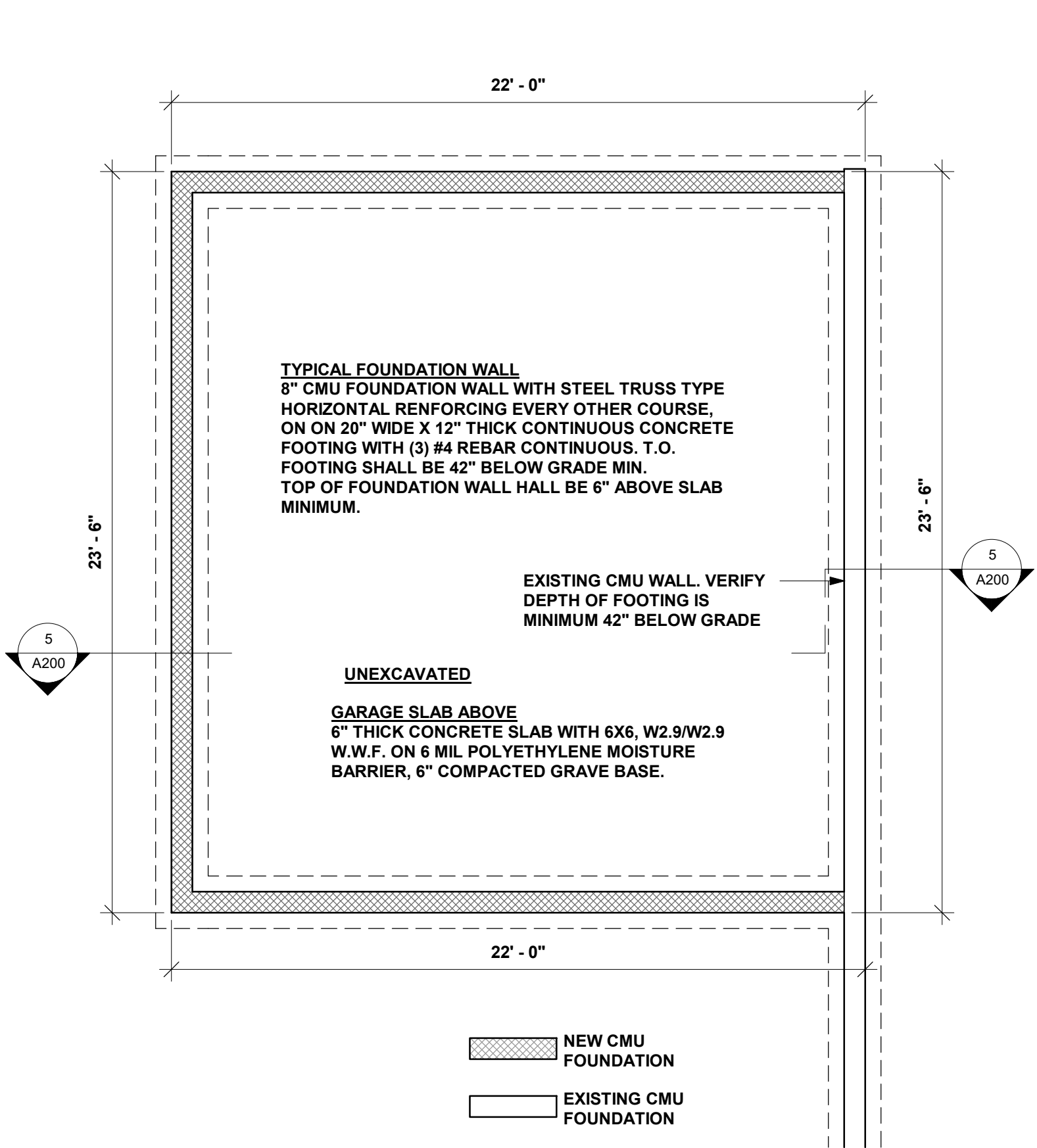
PROJECT ADDRESS:

103 GROVE STREET
MT.KISCO, NY



MICHAEL A. PICCIRILLO, AIA
345 KEAR STREET, SUITE 203
YORKTOWN HEIGHTS, NY 10598

TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com



1 FOUNDATION
1/4" = 1'-0"

FOUNDATIONS:

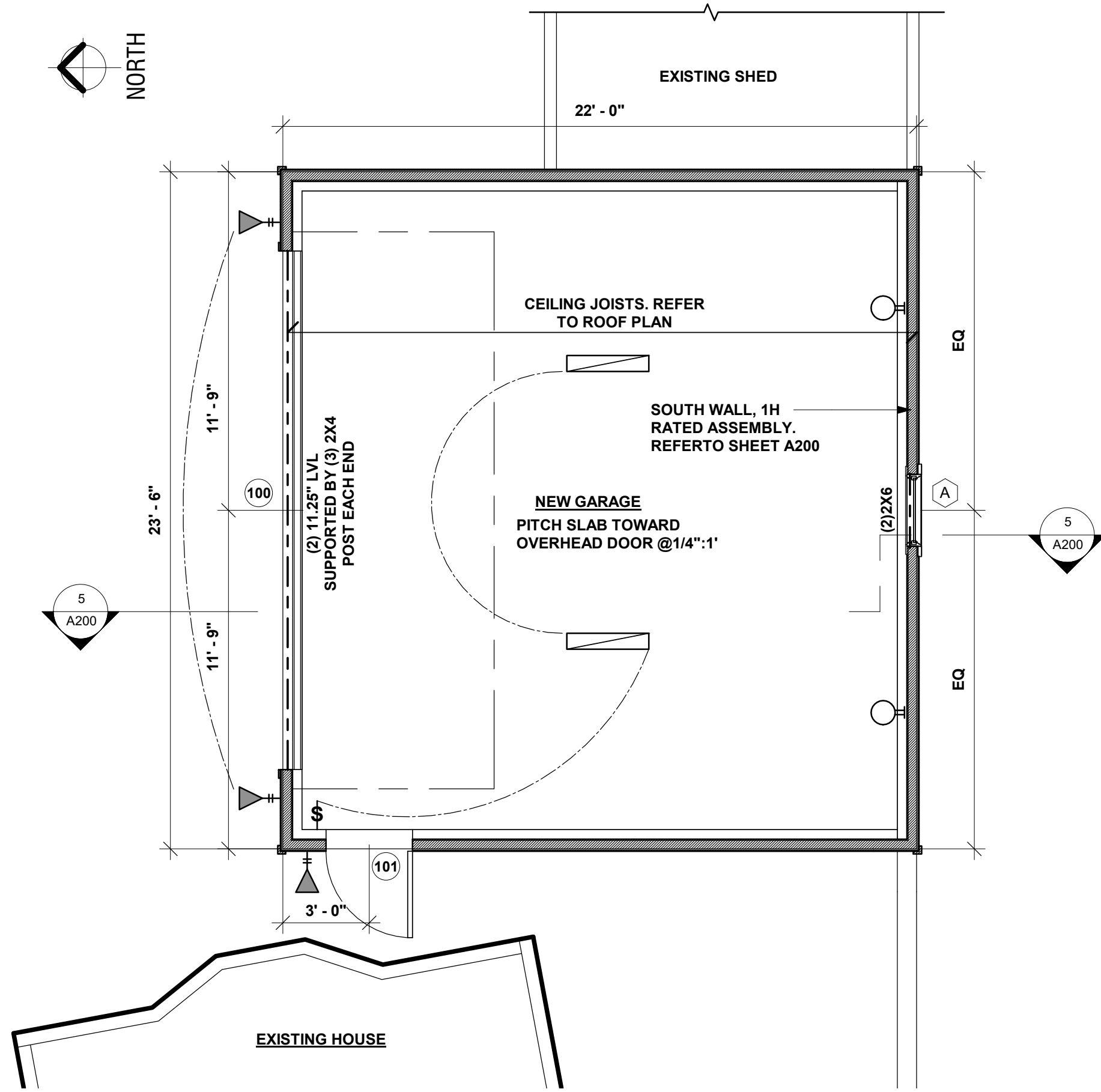
- FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED SOILS. ASSUMED SOIL BEARING PRESSURE: 1,600 POUNDS PER SQUARE FOOT. SHOULD IT BE NECESSARY TO LOWER FOOTINGS, ELEVATIONS OF ADJACENT FOOTINGS SHALL BE ADJUSTED TO LIMIT STEPPING TO 1 VERTICAL TO 2 HORIZONTAL. PLACE LOWEST FOOTING FIRST. SEE "STEPPED FOOTING DETAIL."
- KEEP FOOTING BOTTOMS WELL DRAINED UNTIL FOOTINGS ARE IN PLACE. PUMP AS REQUIRED.
- DO NOT BACKFILL AGAINST RETAINING WALLS UNLESS WALLS ARE SHORED OR UNTIL CONCRETE HAS ATTAINED SPECIFIED 28 DAY STRENGTH. SLABS ON GROUND SHALL BE PLACED IN ALTERNATIVE STRIP FASHION TO MINIMIZE SHRINKAGE.
- PROVIDE ALL NECESSARY SHORING, SHEETING AND BRACING FOR DEEP FOOTING EXCAVATIONS. ALL RETAINING WALLS SHALL HAVE 12" OF FREE-DRAINING GRANULAR BACKFILL BEHIND WALL FULL HEIGHT. PROVIDE CONTROL JOINTS IN RETAINING WALLS EVENLY SPACED NO MORE THAN 30 FEET O. C. SEE "CONCRETE" NOTES FOR ADDITIONAL REQUIREMENTS.

CONCRETE (AS APPLICABLE):

- ALL CONCRETE DESIGN AND PLACEMENT SHALL COMPLY WITH THE LATEST EDITION OF THE ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS". HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306. ALL OTHER APPLICABLE CODES SHALL ALSO BE FOLLOWED.
- CONCRETE SHALL BE NORMAL WEIGHT CONCRETE EXCEPT LIGHT WEIGHT CONCRETE SHALL BE USED FOR SLABS ON STEEL DECK UNLESS NOTED OTHERWISE. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS FOR FOUNDATIONS AND 4,000 PSI WITH A MINIMUM OF 4% AIR ENTRAINMENT FOR ALL OTHER CONCRETE. (INCLUDING SLABS ON GROUND).
- REINFORCEMENT SHALL BE DEFORMED INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. THE USE OF POLYPROPYLENE FIBERS MAY ONLY BE USED IN ADDITION TO MESH AND REINFORCEMENT CALLED OUT FOR SLABS.
- FOLLOW ACI RULES AS TO TIES, ANCHORAGE, SPLICES, CONCRETE COVERAGE AND REINFORCEMENT SUPPORTS. REINFORCEMENT MARKED "CONTINUOUS" (CONT.) SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES AND CORNERS, AND HOOKED AT NON-CONTINUOUS ENDS OR EXTENDED 36 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- CONSTRUCTION JOINTS SHALL BE LOCATED AT POINTS OF ZERO SHEAR. NO CONSTRUCTION JOINTS SHALL BE LOCATED IN MEMBERS CARRYING A CONCENTRATED LOAD. PROVIDE SHEAR BARS AS DIRECTED BY THE ENGINEER. LOCATIONS OF CONSTRUCTION JOINTS SHALL BE ACCEPTED BY THE ENGINEER.
- PROVIDE SLEEVES AND BOX OUT FOR OPENINGS FOR MECHANICAL TRADES. FOR SIZE AND LOCATION OF ALL OPENINGS, SEE ARCHITECTURAL AND MECHANICAL DRAWINGS IN ADDITION TO STRUCTURAL DRAWINGS. OPENINGS SHALL BE PLACED SO AS NOT TO AFFECT THE STRENGTH OF THE STRUCTURAL MEMBERS.
- CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS, PIPE SLEEVES, ANCHOR BOLTS, ETC., AS REQUIRED BY ALL TRADES, BEFORE CONCRETE IS PLACED.

CONCRETE MASONRY UNITS: SHALL CONFORM TO ATSM C90

- MORTAR SHALL BE TYPE M OR TYPE S MORTAR.
- MORTAR SHALL BE SUFFICIENTLY PLASTIC AND UNITS SHALL BE PLACED WITH SIFFICIENT PRESSURE TO EXTRUDE MORTAR FROM THE JOINT AND PRODUCE A TIGHT JOINT
- REINFORCEMENT BARS SHALL BE COMPLETELY EMBEDDED IN MORTAR.
- CELLS CONTAINING REINFORCEMENT SHALL BE FILLED SOLID WITH GROUT
- JOINT REINFORCEMENT SHALL BE ASTM A153, CLASS B-2
- GROUT SHALL BE A PLASTIC MIX SUITABLE FOR PUMPING WITHOUT SEGREGATION OF THE CONSTITUENTS.
- GROUT SHALL BE CONSOLIDATED BY PUDDLING OR MECHANICAL VIBRATING DURING PLACING AND RECONSOLIDATED AFTER EXCESS MOISTURE HAS BEEN ABSORBED BUT BEFORE PLASTICITY IS LOST



2 GARAGE FLOOR PLAN
1/4" = 1'-0"

WINDOW SCHEDULE				
TAG	WIDTH	HEIGHT	WINDOW TYPE	COMMENTS
A	2' - 6"	2' - 6"	FIXED	

NOTES:

- WINDOW MANUFACTURER: ANDERSEN 200 SERIES
- WINDOW SIZES INDICATED ON SCHEDULE ARE NOMINAL SIZES. G.C. SHALL PROVIDE SHOP DRAWINGS WITH ACTUAL MANUFACTURER WINDOW SIZES.
- WINDOWS SHALL BE INSTALLED ACCORDING TO: ASTM E-2112-07 STANDARDS FOR WINDOW AND DOOR INSTALLATION.

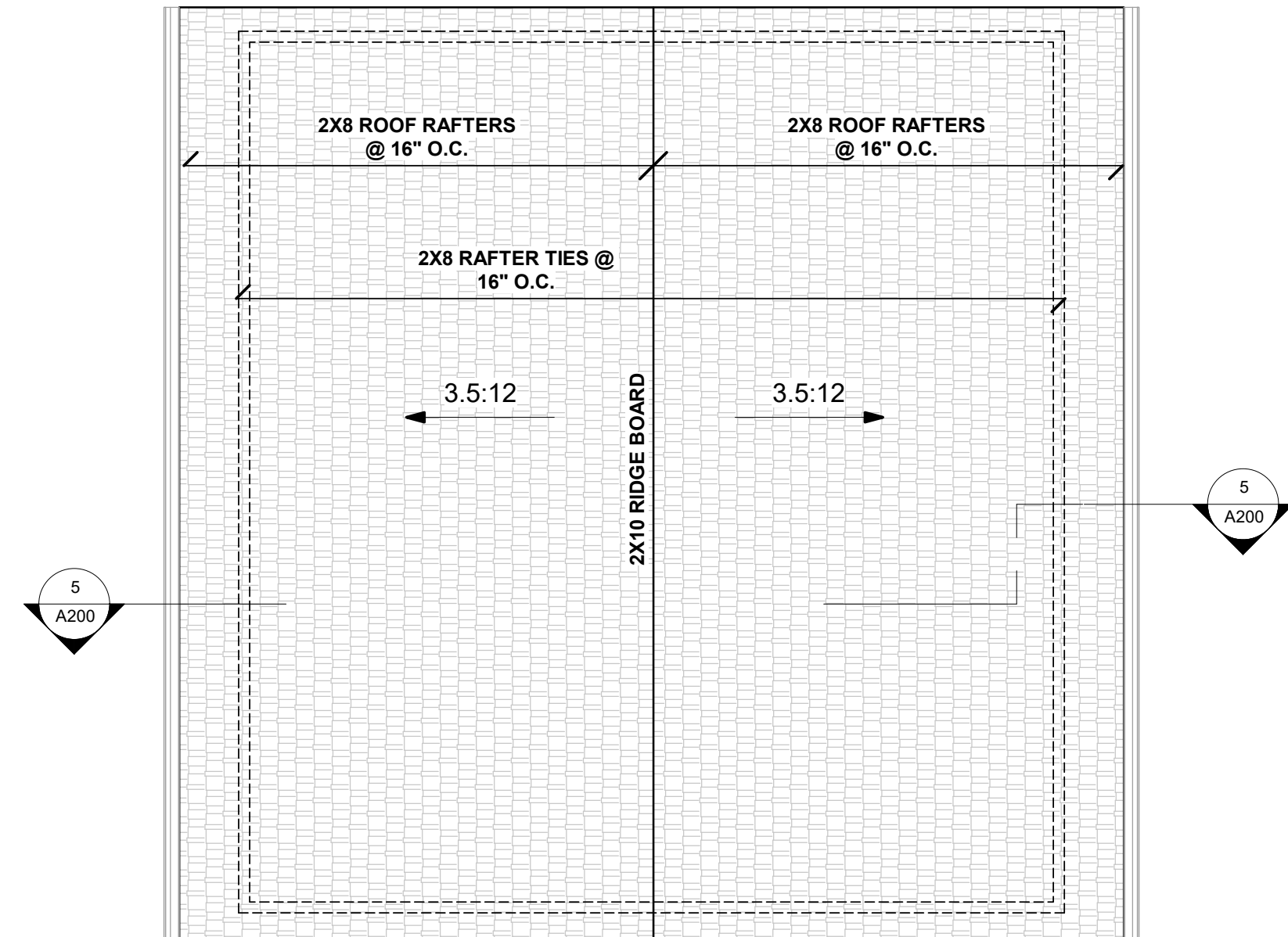
THE G.C. SHALL REVIEW ALL WINDOW AND DOOR ORDERS WITH THE MANUFACTURER'S REPRESENTATIVE TO COORDINATE SPECIFIED WINDOWS AND DOORS WITH INTENDED RESULTS SHOWN AND INDICATED ON DRAWINGS. G.C. SHALL PROVIDE SHOP DRAWINGS INDICATING STANDARD WINDOW MODEL SIZES FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO ORDERING WINDOWS. G.C. ASSUMES ALL RESPONSIBILITY FOR WINDOW ORDER IF SHOP DRAWING ARE NOT APPROVED BY ARCHITECT PRIOR TO ORDERING WINDOWS

DOOR SCHEDULE					
NO.	WIDTH	HEIGHT	DOOR TYPE	LOCK FUNCTION	COMMENTS
100	18' - 0"	7' - 0"	OVER HEAD		\$4000 ALLOWANCE
101	3' - 0"	6' - 8"	SWING	ENTRY	\$1500 ALLOWANCE

- PROVIDE CHAIN DRIVE 3/4 HP AUTOMATIC GARAGE DOOR OPENER, WITH KEYLESS ENTRY PAD, (2) CAR REMOTE CONTROLS, AND SAFETY SENSORS.
- VERIFY GARAGE DOOR WEIGHT WITH AUTOMATIC DOOR OPENER WEIGHT CAPACITY.

INTERIOR FINISH NOTES:

- INTERIOR WALL AND CEILING FRAMING SHALL BE UNFINISHED/ EXPOSED
- CONCRETE SLAB SHALL BE FINISHED WITH AN EPOXY FLOOR COATING. PROVIDE MANUFACTURER CUT SHEET FOR OWNER APPROVAL

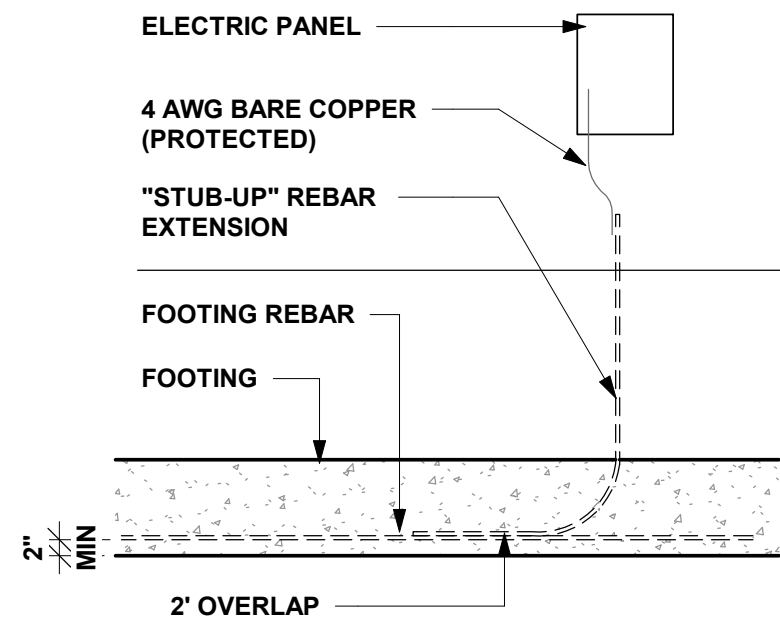
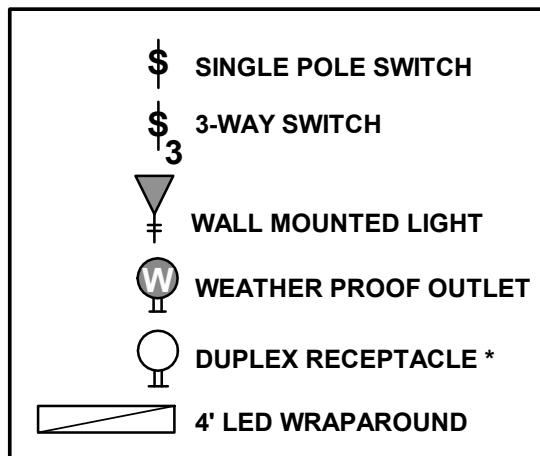


3 ROOF
1/4" = 1'-0"

ASPHALT ROOF:

- TIMBERLINE ULTRA HD MANUFACTURED BY GAF. COLOR TO BE DETERMINED (OR EQUAL)
- ROOFING SHALL BE INSTALLED WITH MANUFACTURERS SPECIFIED UNDERLAYMENT(S), FLASHING, ACCESSORIES, ETC. TO MAINTAIN WARRANTY
- GUTTERS SHALL BE K-STYLE ALUMINUM, WITH 4" LEADERS CONNECTED TO EXISTING STORMWATER MANAGEMENT SYSTEM.

ELECRICAL LEGEND



4 GROUNDING ELECTRODE
1/2" = 1'-0"

NOTE: PRIOR TO COMMENCING ANY ELECTRICAL WORK, A COMPLETE WALK-THRU WITH THE ELECTRICAL CONTRACTOR IS REQUIRED, TO REVIEW SWITCHING, LIGHTING ETC. ON A ROOM-BY-ROOM BASIS. THIS SHALL BE DONE WELL ENOUGH IN ADVANCE OF THE WORK TO ALLOW FOR CHANGES TO MATERIAL ORDERS.

A. SCOPE OF WORK:

- EXTEND ELECRICAL SERVICE FROM EXISTING HOUSE TO NEW GARAGE
- INTENT IS TO PROVIDE A COMPLETE AND PROPER SYSTEM OF ELECTRIC WIRING, CONFORMING TO THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE. AT COMPLETION, FURNISH CERTIFICATE OF INSPECTION OF NATIONAL BOARD OF FIRE UNDERWRITERS.
- PROVIDE ALL ELECTRICAL SERVICE EQUIPMENT REQUIRED BY THE POWER COMPANY.
- INSTALL ALL LIGHT FIXTURES SHOWN ON PLAN AND IN SPECIFICATIONS
- PROVIDE ANY AND ALL OUTLETS REQUIRED BY CODE AND NOT NOT SHOWN ON PLANS.
- PROVIDE MIN. 1 GFCI RECEPTACLE IN GARAGE.
- RELOCATE EXISTING CAR CHARGER

B. MATERIALS

- ALL LIGHTING AND ELECTRICAL CONTROLS INCLUDING SWITCHES, DIMMERS, OUTLETS AND WALLPLATES SHALL BE DECORA BY LEVITON.
 - SWITCHES: ROCKER W/ SLIDE DIMMER, WHITE
 - WALL PLATES: DECORA PLUS SCREWLESS, WHITE
 - OUTLETS: DECORA, WHITE
- WRAPAROUND LIGHT SHALL BE CONTRACTOR SELECT LED WRAP LINEAR FLUSH MOUNT BY LITHONIA LIGHTING (OR APPROVED EQUAL)
- EXTERIOR DECORATIVE LIGHT FIXTURES SHALL BE PROVIDED BY OWNER, INSTALLED BY CONTRCATOR



Michael Piccirillo Architecture
NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES
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No.	DATE:	ISSUE:
1	10/25/23	ISSUED
1	11/1/23	ISSUED FOR BIDDING

PROJECT NAME:

DETACHED GARAGE

PROJECT ADDRESS:

103 GROVE STREET
MT.KISCO, NY

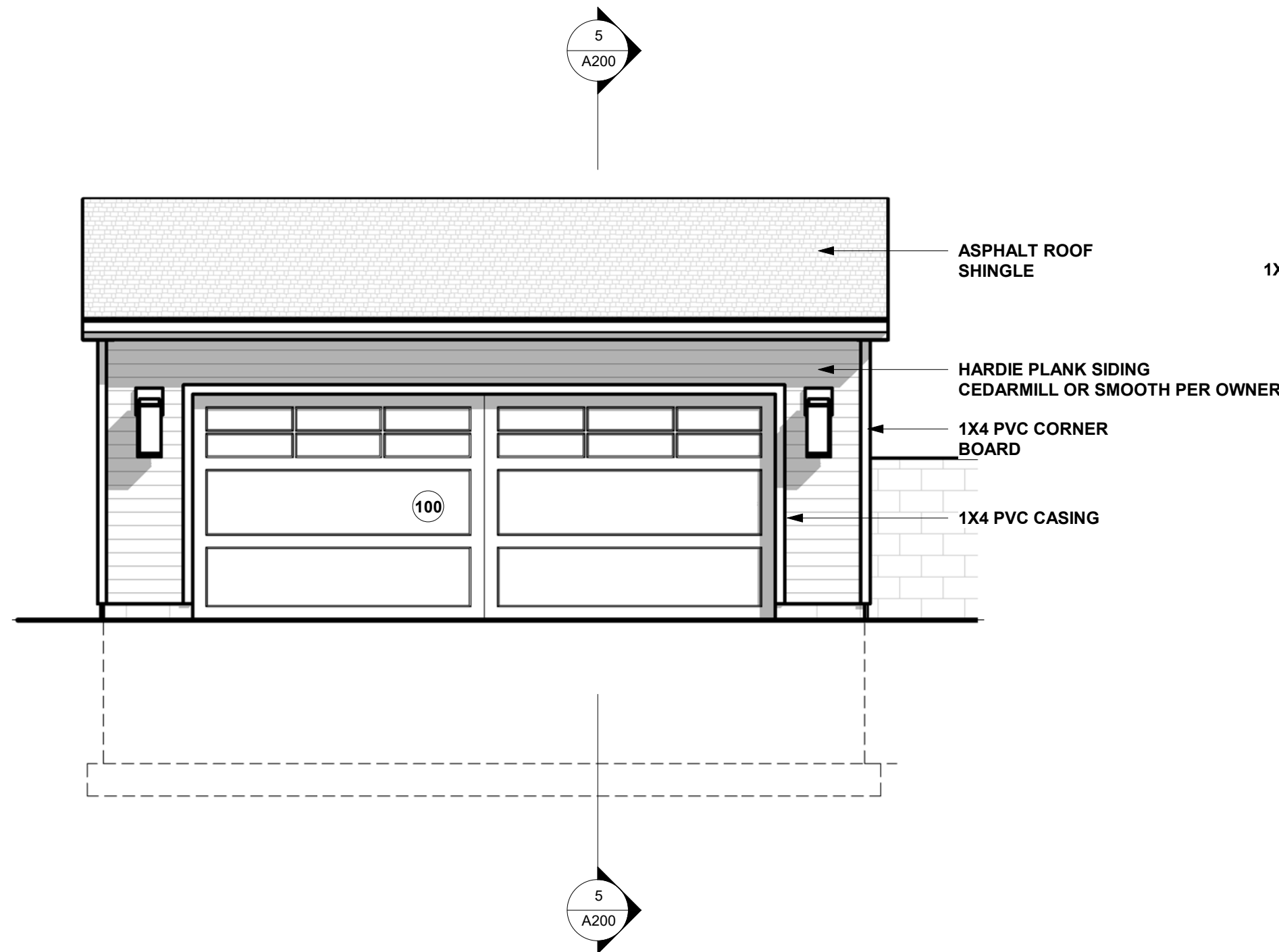


MICHAEL A. PICCIRILLO, AIA
345 KEAR STREET, SUITE 203
YORKTOWN HEIGHTS, NY 10598

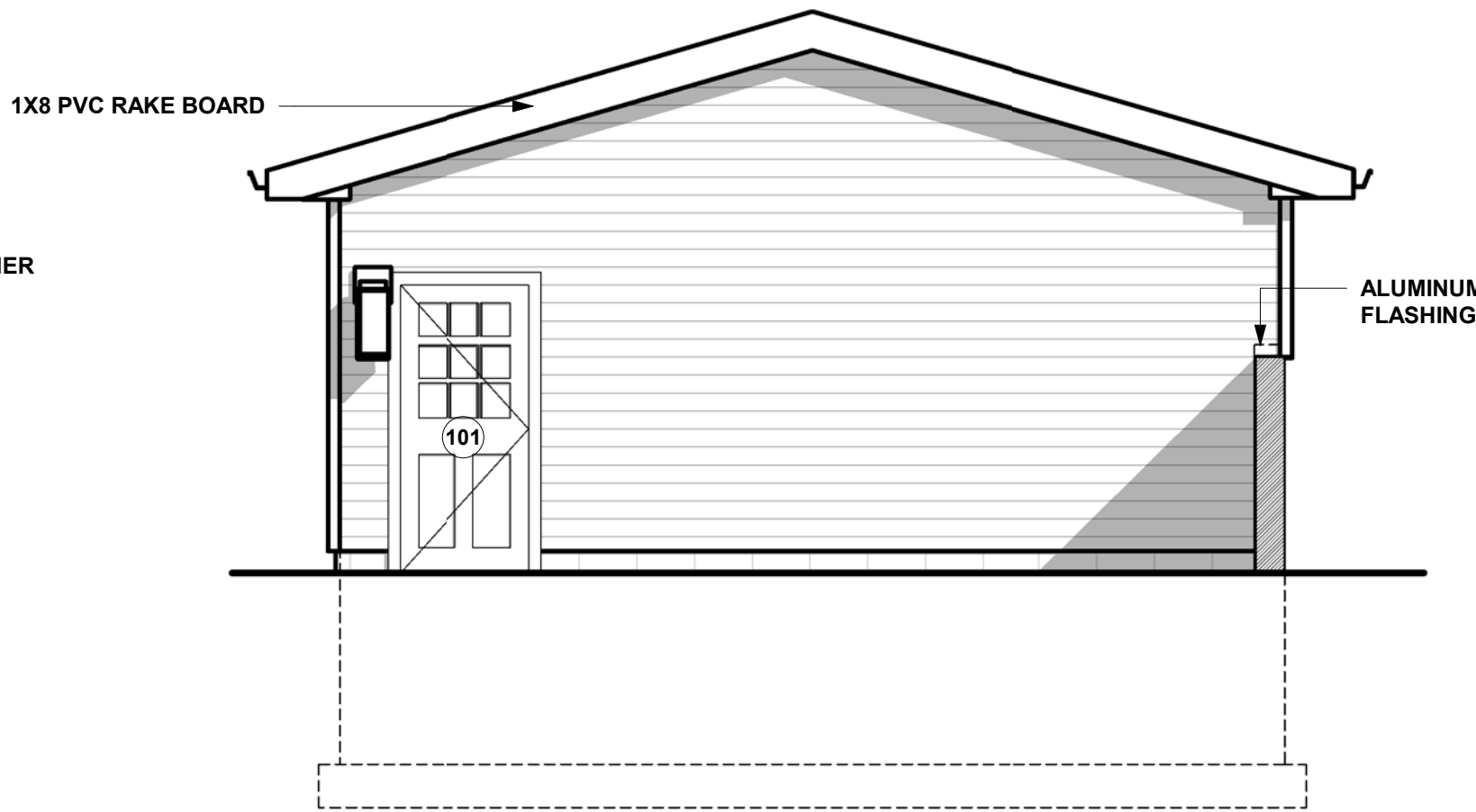
TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

PLAN

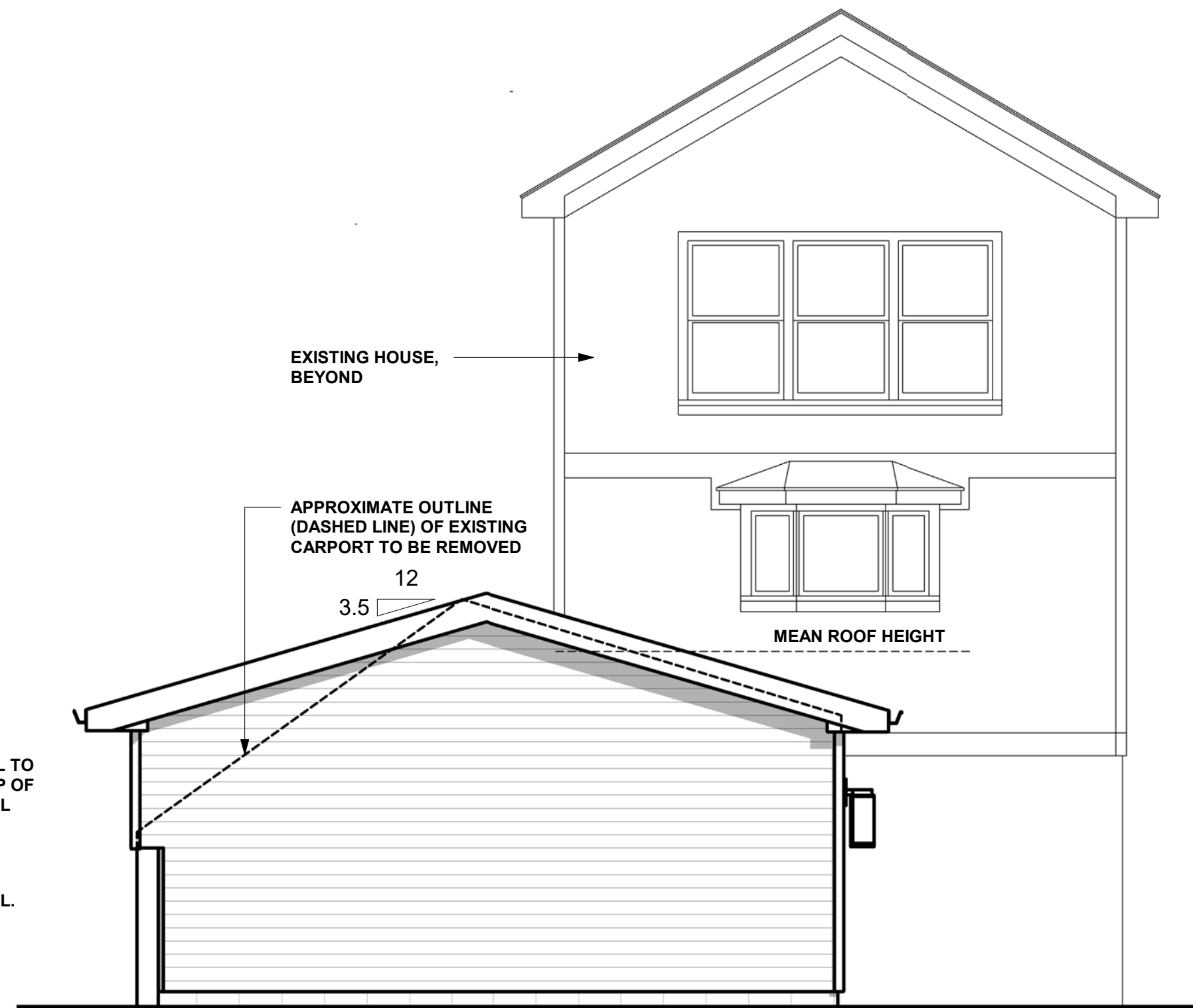
A100



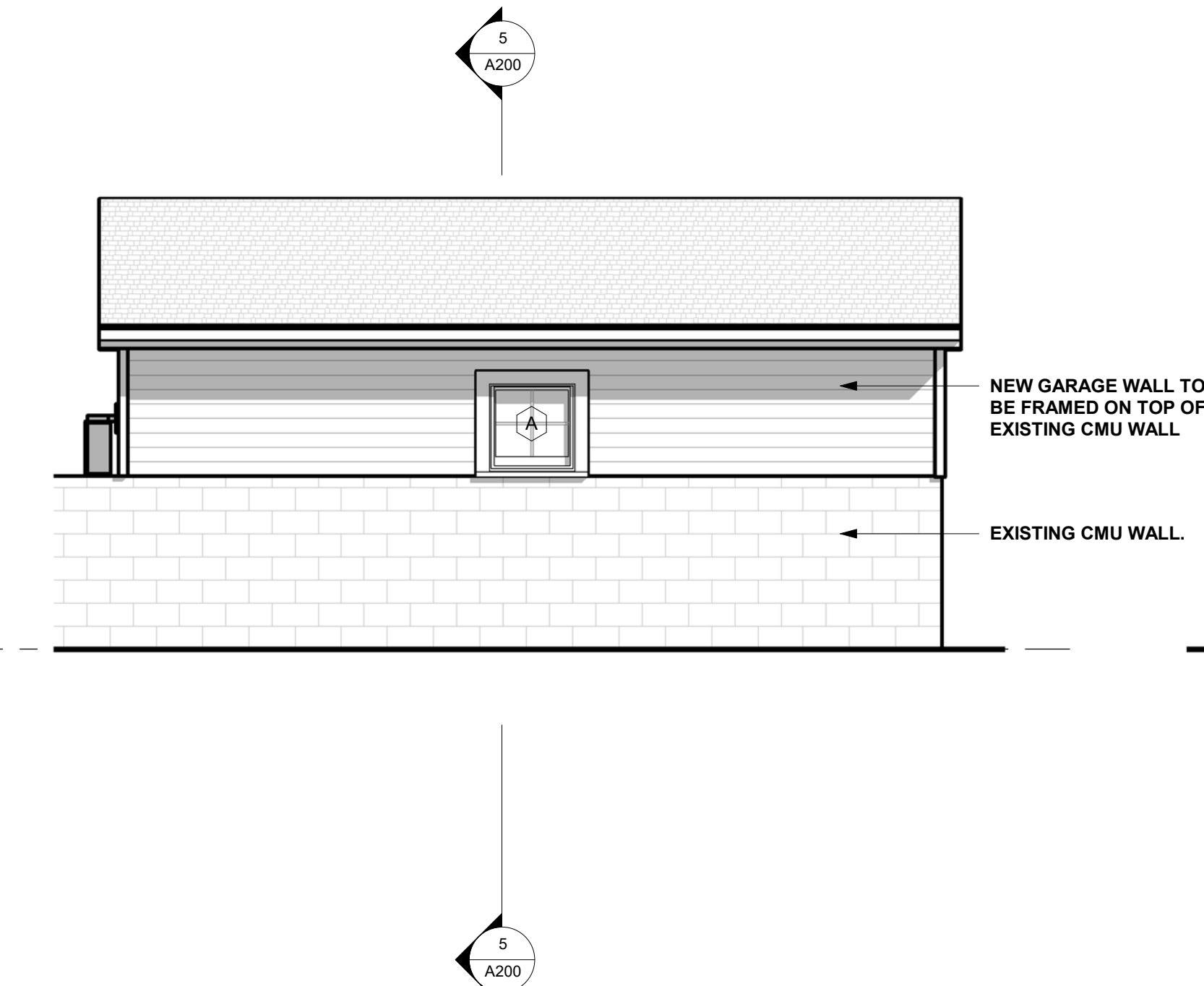
1 NORTH ELEVATION
1/4" = 1'-0"



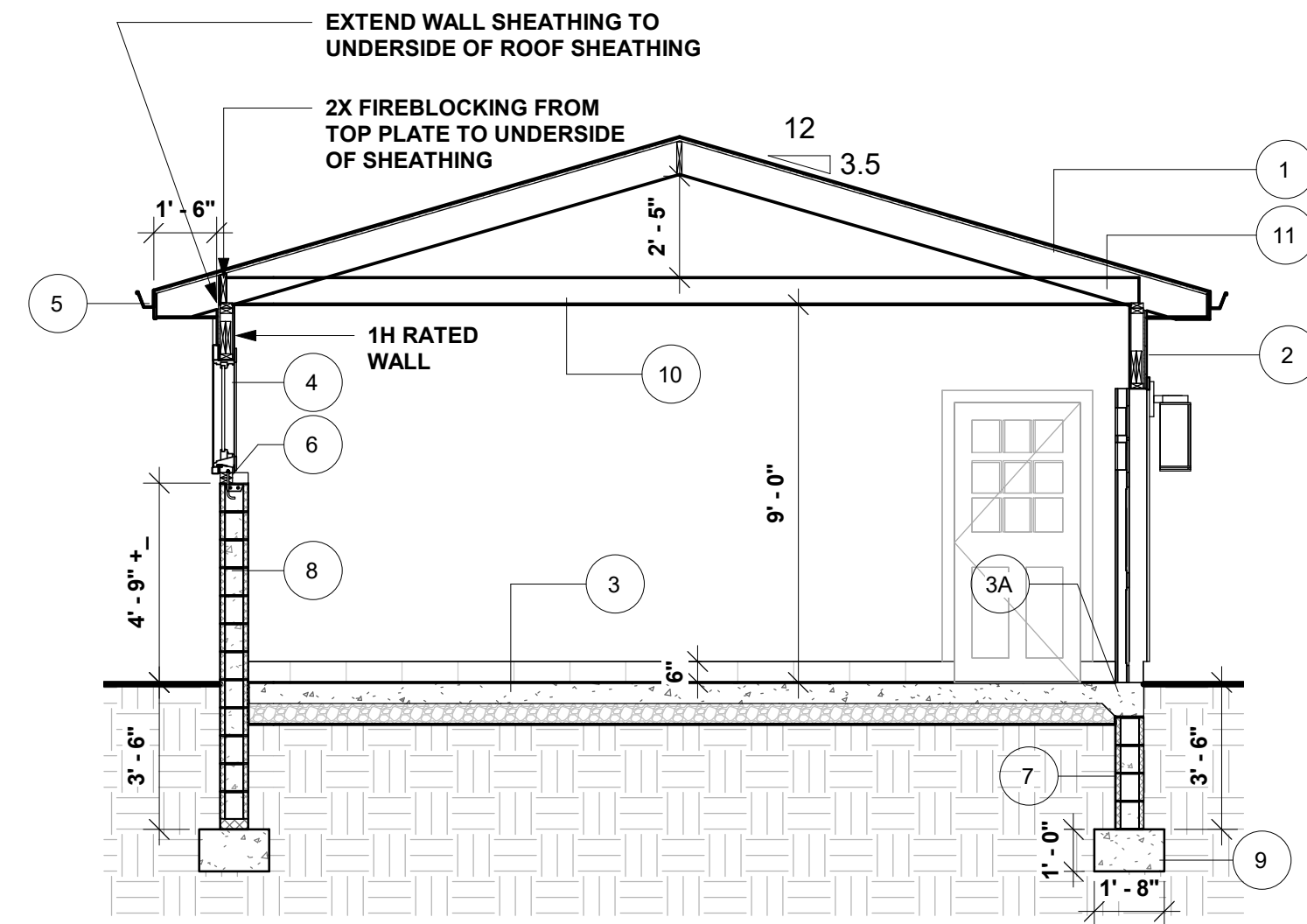
2 WEST ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"



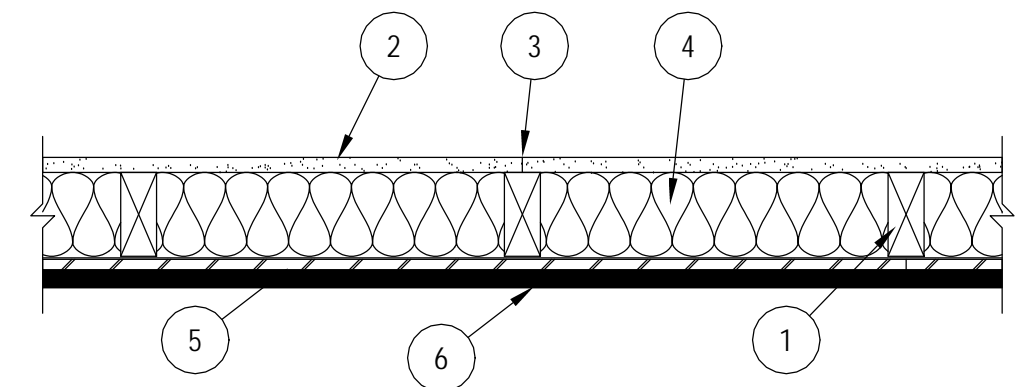
3 SOUTH ELEVATION
1/4" = 1'-0"



5 BUILDING SECTION
1/4" = 1'-0"

- GENERAL FRAMING NOTES:
- THE FRAMING PLANS ARE DIAGRAMATIC ONLY AND DO NOT REPRESENT EVERY PIECE OF LUMBER REQUIRED FOR A COMPLETE PROJECT. THE CONTRACTOR MUST DETERMINE THE CORRECT QUANTITIES OF MATERIALS REQUIRED FOR THE PROJECT INCLUDING BLOCKING, NAILERS, JOIST/BEAM HANGERS, ETC. CONTRACTOR SHALL BE EXPERIENCED AND SKILLED IN WOOD FRAME CONSTRUCTION AND BE FAMILIAR WITH TYPICAL METHODS OF PRESCRIPTIVE WOOD FRAME CONSTRUCTION AS DESCRIBED IN 2020 RCNYS. THE CONTRACTOR MUST ALSO COMPLY WITH BUILDING CODE REQUIREMENTS GOVERNING THE OVERALL PROJECT.
 - THE FRAMING LAYOUTS DEPICTED DO NOT ACCOUNT FOR SPECIFIC PROJECT REQUIREMENTS SUCH AS PLUMBING FIXTURE LOCATIONS, HVAC REGISTER LOCATIONS, LIGHTING LAYOUTS, ETC. CONTRACTOR MUST COORDINATE THE STARTING POINTS AND LAYOUT OF THE FRAMING IN ORDER TO MINIMIZE THE IMPACT OF THOSE ITEMS.
 - DIMENSIONS INDICATED ARE ONLY A GUIDE TO INDICATE THE DESIGN MAXIMUM DESIGN SPANS USED. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND OVERALL CONSTRUCTION DETAILS.
 - ALL WOOD FRAMING MATERIAL SHALL BE SURFACED DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT.
 - WALL STUDS SHALL BE DOUGLAS FIR STUD GRADE UNLESS CALLED OUT OTHERWISE.
 - ALL JOIST, RAFTER & MISC. FRAMING SHALL BE NO. 1 GRADE, DOUGLAS FIR-L. PROVIDE FULL-DEPTH (OR METAL) BRIDGING AT MIDSPAN AND AT A MAXIMUM SPACING OF 8'-0" O.C. IN BETWEEN.
 - ALL SHEATHING SHALL BE APA RATED PRODUCTS.
 - UNLESS OTHERWISE NOTED FASTEN MEMBERS PER THE BUILDING CODE FASTENER SCHEDULE.
 - ALIGN ROOF RAFTERS WITH BEARING WALL STUDS. IF A RAFTER IS MORE THAN 4" FROM THE FACE OF A STUD, INSTALL A WALL STUD UNDER THE JOIST.
 - ANY NEW WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR BE ISOLATED FROM THE CONCRETE.
 - ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, STAINLESS STEEL, OR BE COMPATIBLE WITH THE PRESERVATIVE USED.
 - PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWN ANCHORS AND OTHER ACCESSORIES SHALL BE A MANUFACTURED BY SIMPSON STRONG-TIE. INSTALL ALL ACCESSORIES PER THE MANUFACTURER'S REQUIREMENTS.
 - ALL FASTENERS FOR METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER LITERATURE.
 - ALL METAL CONNECTORS SHALL BE HOT DIPPED GALVANIZED TO THE MANUFACTURERS MAXIMUM TREATMENT.
 - ALL NAILING NOT OTHERWISE INDICATED SHALL BE IN ACCORDANCE WITH TABLE R602.3(1) OF THE IRC 2020

- TYPICAL ROOF CONSTRUCTION
ASPHALT ROOFING SHINGLE ON UNDERLAYMENT, 5/8" CDX PLYWOOD SHEATHING, 2X RAFTERS @ 16" O.C., 1/2 GYP. BRD. CEILING PROVIDE ICE & WATER SHIELD AND ALUMINUM DRIP EDGE AT EAVE.
- TYPICAL WALL
8" EXPOSURE HARDIE PLANK SIDING, TYVEK HOUSE WRAP, 1/2" CDX PLYWOOD SHEATHING, 2X4 STUDS @ 16" O.C. NO WALL FINISH, EXPOSED STUDS
- CONCRETE SLAB:
REFER TO FOUNDATION PLAN
- HAUNCH SLAB AT OVERHEAD DOOR
- WINDOW. REFER TO SCHEDULE FOR SIZE AND TYPE. INSTALL W/ PEAL AND STICK FLASHING 1 X 4 PVC CASING.
- TYPICAL EAVE/SOFFIT:
5/4 X 7 1/4" PVC FASCIA, WITH ALUMINUM GUTTER, AND 1/4" NON-VENTED SMOOTH PVC SOFFIT. EAVE DETAIL TO MATCH HOUSE
- (2) 2X4 PRESSURE TREATED PLATE ON SILL SEAL, ANCHORED TO FOUNDATION WITH 1/2" DIA. ANCHOR BOLTS @ 48" O.C., 12" MAX. FROM EACH CORNER. PROVIDE NON-ALUMINUM TERMITE SHIELD BY YORK OR APPROVED EQUAL.
- CMU FOUNDATION:
REFER TO FOUNDATION PLAN
- EXISTING CMU FOUNDATION. VERIFY DEPTH OF EXISTING FOOTING. FILL CELLS SOLID. INSTALL VERTICAL REBAR @ 48" O.C.
- CONCRETE FOOTING REFER TO FOUNDATION PLAN
- GARAGE CEILING:
2X RAFTER TIES @ 16" O.C., ATTACHED TO RAFTERS. NO CEILING FINISH
- HEEL JOINT: (4) 16D COMMON NAILS

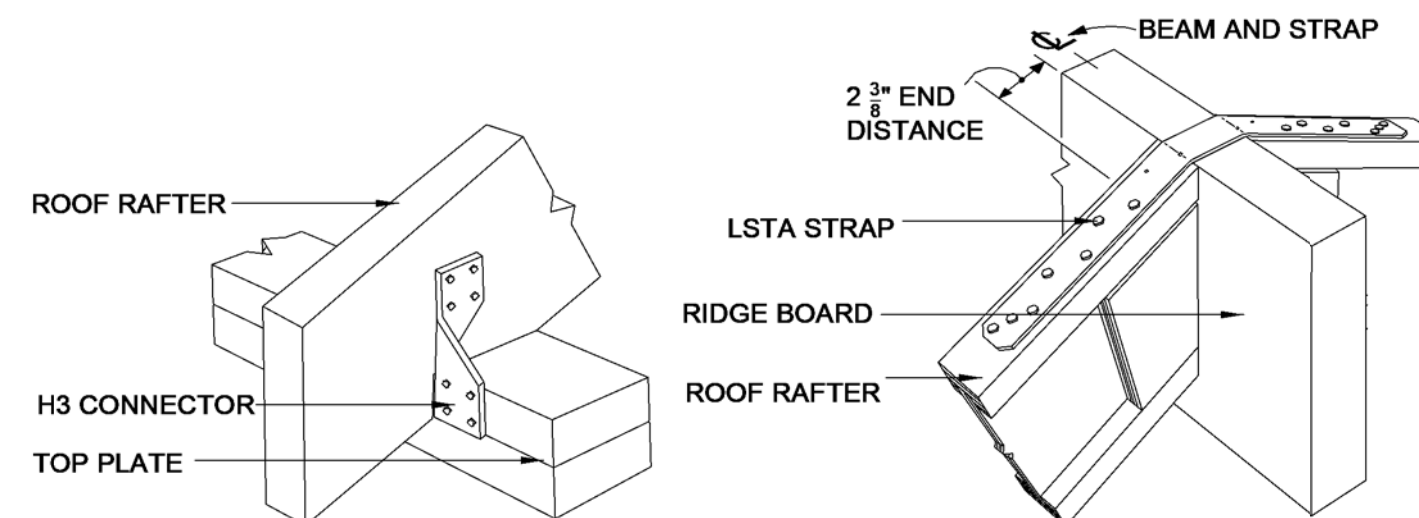


U348 WOOD STUD
1-HOUR FIRE FROM INTERIOR ONLY

- 2x4 STUDS AT 16"oc (MAX)
- 5/8" TYPE X GYPSUM
- TAPE AND MUD JOINTS
- FIBERGLASS OR MINERAL WOOL INSULATION
- LP FLAMEBLOCK 1-SIDED FIRE RATED OSB WITH COATED SIDE FACING STUDS
- ANY EXTERIOR FACING APPROVED BY THE AUTHORITY HAVING JURISDICTION, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.

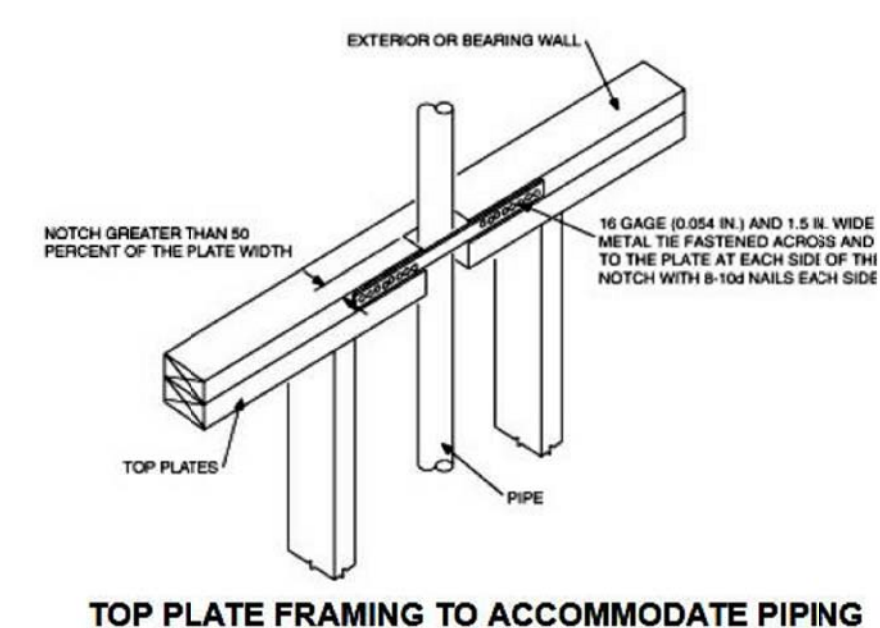
NOTE: REFER TO UL LISTING OF DESIGN NO. U348 FOR FULL ASSEMBLY DETAILS

6 1 HOUR WALL ASSEMBLY
1 1/2" = 1'-0"

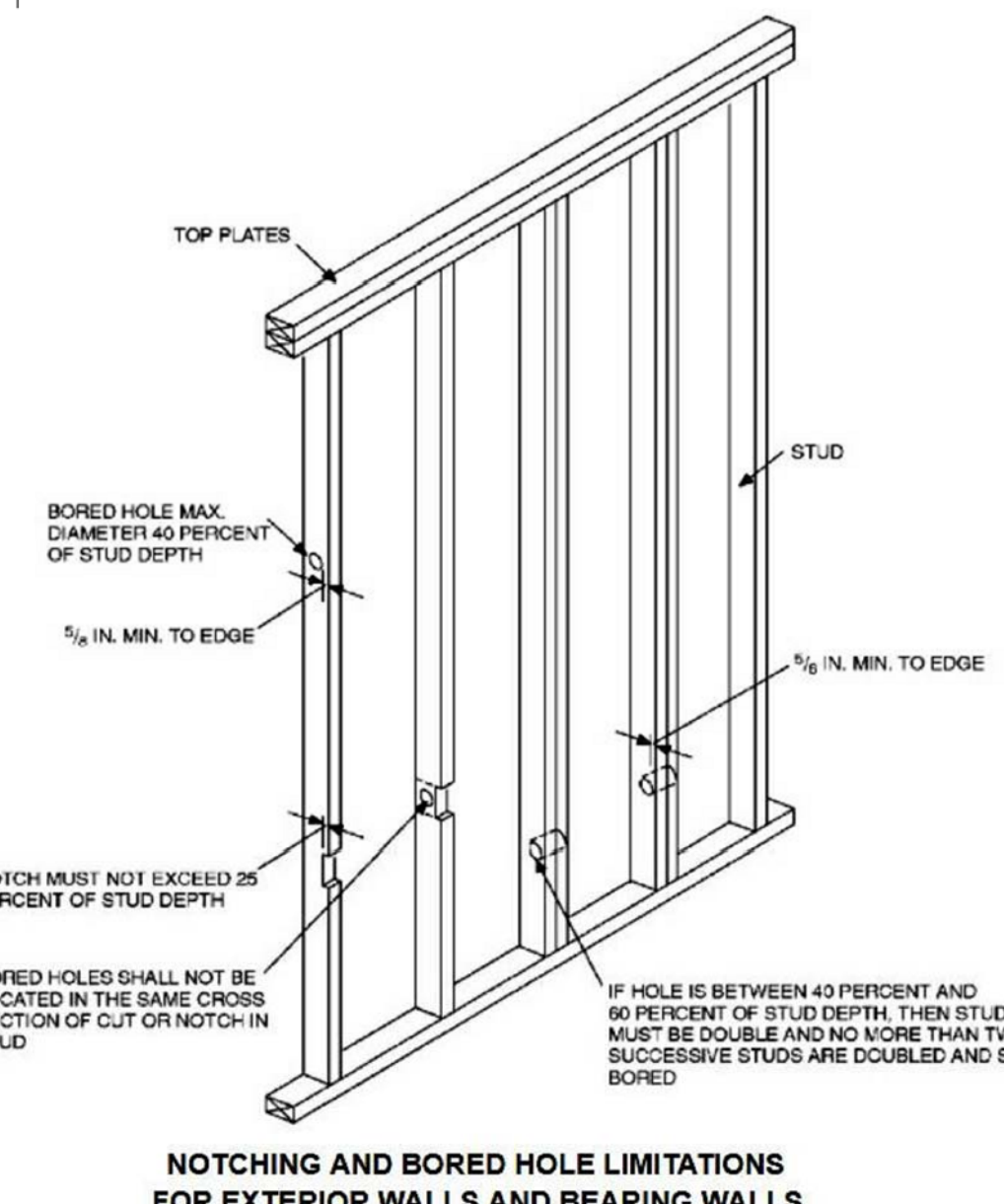


UPLIFT @ PLATE

UPLIFT @ RIDG



TOP PLATE FRAMING TO ACCOMMODATE PIPING



NOTCHING AND BORED HOLE LIMITATIONS
FOR EXTERIOR WALLS AND BEARING WALLS



NOTE:
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No.	DATE:	ISSUE:
1	10/25/23	ISSUED
1	11/1/23	ISSUED FOR BIDDING

PROJECT NAME:

DETACHED GARAGE

PROJECT ADDRESS:

103 GROVE STREET
MT.KISCO, NY



MICHAEL A. PICCIRILLO, AIA
345 KEAR STREET, SUITE 203
YORKTOWN HEIGHTS, NY 10598

TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

ELEVATIONS/
SECTION

A200



Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
Ph. (914) 864-0019-fax (914) 864-1085

December 19, 2023

Mr. Viktor Solarik
P.O. Box 696
Katonah, NY 10536

Re: Notice of Denial
346 Spring Street
Mount Kisco, NY 10549
(SBL) 80.64-2-4

Dear Mr. Solarik,

Your recent submission of a building permit application for the proposed construction of a detached, three-car garage located in the RS-6 Medium-Density One-Family Residence District has been denied for the following reasons:

1. No accessory structure shall be located or project nearer to any street line or side lot line than does the principal structure on the lot. The principal structure is located 55.0 feet from the north westerly side lot line and the proposed detached garage is located 12.0 feet from the north westerly side lot line. Therefore, a 43.0 foot variance is required in accordance with *§110-31 G (1) of the Village/Town of Mount Kisco Code*.
2. An accessory structure shall not exceed 15 feet in height. The overall height of the proposed detached garage is 18'-6". Therefore, a 3'-6" variance is required in accordance with *§110-31 G (4) of the Village/Town of Mount Kisco Code*.

You have the right to appeal this decision within 60 days.

Sincerely,

Peter J. Miley,
Building Inspector

PJM/mkr

Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
(914) 864-0019 FAX (914) 864-1085

AUG 08 2023

RECEIVED

Application #: _____

Permit #: _____

BUILDING PERMIT APPLICATION

Note: Three sets of construction drawings and a digital copy must be submitted with application.

Project Address: 346 SPRING STREET MT. KISCO NY 10549

Zoning District: RS-6 Section/Block/Lot(s): 80.64-2-4

Applicant's Name: VIKTOR SOLARIK

Address: P.O. BOX 696, KATONAH NY 10536

Email address: VB3@VKS4.COM Phone #: 914-232-9828

Name of Property Owner: JOSE & THERESA FLORA Phone #: 914-671-1023
(If Different)

Present Address of Owner: 346 SPRING STREET, MT KISCO NY 10549

Email address: JOSEFLORA@GMAIL.COM Phone #: 914-671-1023

Description of Improvement and Proposed Use in Detail: NEW DETACHED GARAGE

Total Estimated Cost of Improvement: \$ 200,000.00

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000.00 or more, or the project is a legalization.

I VIKTOR SOLARIK do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (II) I have reviewed the plans, drawings and specifications of this application and am fully familiar with the proposed construction; (III) based on my experience, I estimate the total cost of construction, including all labor, all material, all professional fees and all associated costs to be approximately \$ 200,000.00, and (IV) pursuant to Penal Law 210.4, I acknowledge that a false statement made knowingly is a Class A Misdemeanor.

Signature: [Signature]
Date: 8/7/2023

Sign & Affix Seal _____



Property Use: (please answer all questions)

Existing use Residential:

☒ Single Family ☐ 2 Family ☐ Other (Please specify) _____

Intended use:

☒ Single Family ☐ 2 Family ☐ Other (Please specify) DETACHED GARAGE

Existing Use Commercial:

☐ Multi Family (How Many) ____ ☐ Retail ☐ Restaurant ☐ Other (Please specify) _____

Intended Use:

☐ Multi Family (How Many) ____ ☐ Retail ☐ Restaurant ☐ Other (Please specify) _____

Is there an approved site plan for this property?

Is this a new residential house? ☐ Yes ☐ No ☒ Addition ☐ Alteration

Is this a new commercial building? ☐ Yes ☒ No ☐ Addition ☐ Alteration

Municipal sewer? ☒ Yes ☐ No Septic System? ☐ Yes ☐ No (if applicable, attach Health Dept. Approval)

Is this structure within the flood plain? ☐ Yes ☒ No (If yes, please file a Flood Development Permit)

Is this project within any wetlands, buffer or water course? ☐ Yes ☐ No (If yes, file a Wetlands application)

Topography: ☐ Flat ☐ Hilly ☐ Rocky ☐ Steep Incline ☐ Other (please specify) _____

Will the land disturbance affect any steep slopes? ☐ Yes ☒ No (if yes, please file Planning Board application)

How many square feet of land disturbance is there? 3,650 SF

Contractor: KATONAH BUILDING CORP.

Address: P.O. BOX 696 KATONAH NY 10536

Phone #: 914-232-9828

Fax #: _____

Email address: VKS@VKSA.COM

Westchester County Home Improvement License #: WC-20034-H08

Architect or Engineer: VKS ARCHITECTS NYS Lic. #: 23176

Address: P.O. BOX 696 KATONAH, NY 10536

Phone #: 914-232-9828

Fax #: _____

Email address: VKS@VKSA.COM

Electrician: JEFF THE ELECTRICIAN INC Phone #: 914-262-8676 WC Lic. #: _____

Address: 19 CAROL DR., MT. KISCO NY 10549

Phone #: 914-262-8676

Email address: JEFFELECINC@AOL.COM

Plumber: N/A Phone #: _____ WC Lic. # _____

Address: _____

Phone #: _____ Email address: _____

The undersigned applicant hereby agrees with all applicable provisions of the Code of the Village/Town of Mount Kisco and all other laws, codes, rules and requirements applicable to the proposed construction and that statements contained herein are true to the best of his/her knowledge.

[Signature]
Applicant's Signature

Sworn to before me this 4th day of August 2023

Notary Public, Westchester County: [Signature]

DAVID C SLOAN
Notary Public - State of New York
NO. 01SL6318303
Qualified in Putnam County
My Commission Expires Feb 28, 2027

Affidavit of Owner Authorization:

If the applicant is not the owner in fee of the premises:

The applicant VIKTOR SOLARIK has my consent from to make this application as submitted.

JOSE FLORA

Owner's Name Printed

[Signature]

Owner's Signature

Sworn to before me this 4th day of August 2023

Notary Public, Westchester County: [Signature]

DAVID C SLOAN
Notary Public - State of New York
NO. 01SL6318303
Qualified in Putnam County
My Commission Expires Feb 28, 2027

Name of Project Contact Person: _____

Daytime Phone #: _____ Fax #: _____

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Received by: _____

- ☐ Application/Permit Fee _____
- ☐ License:
- ☐ Insurance:
- ☐ 3 sets of drawings:
- ☐ Digital drawing:
- ☐ Flood Plain Development Application (if required)

Board Approvals:

- ☐ Planning
- ☐ Zoning
- ☐ ARB
- ☐ Other

Reviewed By: _____

Date: _____

Building Inspector Approval: _____

Date approved: _____

Conditions:

Date: _____

Case No.: _____

Fee: _____

Date Filed: _____

Village/Town of Mount Kisco
Municipal Building
104 Main Street, Mt. Kisco, NY 10549

Zoning Board of Appeals
Application

Appellant: VIKTOR K. SOLARIK, AIA / VKS ARCHITECTS
Address: P.O. BOX 696, KATONAH NY 10536
Address of subject property (if different): 346-348 SPRING STREET, MT. KISCO

Appellant's relationship to subject property: _____ Owner _____ Lessee ☒ Other

Property owner (if different): JOSE + THERESA FLORA
Address: 346-348 SPRING STR., MT. KISCO NY 10549

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken
from the decision of the Building Inspector, _____
dated _____. Application is hereby made for the following:

☒ Variation **or** ☐ Interpretation of Section § 110-31 G.(4)
of the Code of the Village/Town of Mount Kisco, § 110-31 G.(1)

to permit the: ☒ Erection; _____ Alteration; _____ Conversion; _____ Maintenance
of DETACHED GARAGE

_____ in accordance with plans filed on (date) 11/24/2023
for Property ID # 80.64-2-4 located in the RS-6 Zoning District.
The subject premises is situated on the WEST side of (street) SPRING STR.
_____ in the Village/Town of Mount Kisco, County of Westchester, NY.
Does property face on two different public streets? Yes/No NO
(If on two streets, give both street names) _____

Type of Variance sought: ☒ Use ☐ Area

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? NO

Is there an approved site plan for this property? _____ in connection with a
_____ Proposed or _____ Existing building; erected (yr.) ~ 1940's

Size of Lot: 100 feet wide 150 feet deep Area 14,938 SF

Size of Building: at street level 33'-9" feet wide 22'-8" feet deep

Height of building: 18'-6" Present use of building: PROPOSED NEW

Does this building contain a nonconforming use? NO Please identify and explain: _____

Is this building classified as a non-complying use? NO Please identify and explain: _____

Has any previous application or appeal been filed with this Board for these premises?
Yes/No? NO

Was a variance ever granted for this property? NO If so, please identify and explain: _____

Are there any violations pending against this property? NO If so, please identify and explain: _____

Has a Work Stop Order or Appearance Ticket been served relative to this matter?
____ Yes or ☒ No Date of Issue: N/A

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? NO

I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:

The following items **MUST** be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on _____ upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- *j) At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- *k) A floor plan of the subject building with all the necessary measurements.
- *l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

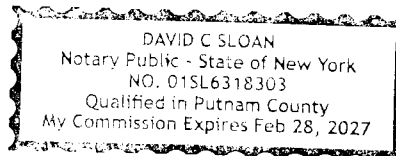
*** Optional - As Needed**

I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.

[Signature]
(Appellant to sign here)

Sworn to before me this day of: 12 - 06, 2023

Notary Public, [Signature] Westchester, County, NY



[TO BE COMPLETED IF APPELLANT IS NOT THE PROPERTY OWNER IN FEE]

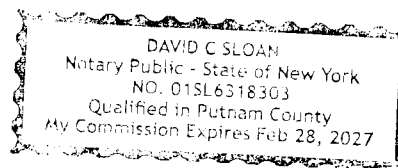
State of New York }
County of Westchester } ss

Being duly sworn, deposes and say that he resides at 348 SPRING ST MOUNTAIN ¹⁰⁵⁴⁹ in the County of Westchester, in the State of New York, that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Mount Kisco, County of Westchester aforesaid and known and designated as number BC 64-2-4 and that he hereby authorized VICTOR SOLARI to make the annexed application in his behalf and that the statements contained in said application are true.

[Signature]
(sign here)

Subscribed and sworn to me by Jose Flore
on the 6th of December 2023.

[Signature]



December 26, 2023

VKS Architects
P.O. Box 696
Katonah NY 10536
914-232-9828
vks@vksa.com

to: Town/Village of Mount Kisco
104 Main Street
Mt. Kisco NY 10549

Attn. **Zoning Board of Appeals**

Re: **346-348 Spring Street** – Application for area variances for proposed detached garage

Ladies and Gentlemen,

We submit the application for height variance for the proposed detached garage at 346 -348 Spring Street, Mt. Kisco NY, Tax ID 80.64-2-4. The proposed height is 18'-6" where 15'-0" is allowed to the top of the roof/ ridge. We also request a variance from Par. 110-31 G (1) to be allowed to locate the proposed garage closer to the side lot line than the principal structure.

The reasons for the height variance request are as follows:

1. The proposed garage is located towards the rear of the property, far away from any neighboring structures.
2. The property slopes down towards the rear, so when viewed from the street, the garage will appear much lower,
3. The proposed attic in the new garage will only be accessible with a pull-down attic access stair, and the headroom in the attic is only 5'-3", preventing it from being converted into a usable/habitable space.

The reasons for the variance request to locate the accessory structure closer to the side lot line than the principal structure are following:

1. The property is twice as wide as the minimum required, providing ample space and adequate side yard setback of 12'-0" where minimum 10' is required from the side / northern property line.
2. The proposed location provides adequate driveway access and turn around area in front of the garage as well as logical and safe access to and from the property.
3. The proposed layout meets the building and lot coverage requirements, creating a pleasant and un-clustered design, with ample space for landscaping, recreation, and other incidental uses of the property.

We feel that:

- a. The new garage will not produce an undesirable change in the character of the neighborhood,
- b. The benefit sought (sufficient storage in attic) cannot be achieved by some other feasible method,
- c. The height variance is not substantial, seeking 18'-6" height to the top of the roof where 15' is allowed, as per **Section 110-31 par. G. (4)**

- d. While the placement variance relative to the principal structure is numerically substantial, this fact is mitigated by the double width of the property, which does not put the new garage any closer to the side property line than a principal structure, if the lot was only 50' wide as is the case in many of the neighboring properties.
- e. The proposed variances will not have an adverse effect on the physical environmental conditions in the neighborhood
- f. While the alleged difficulty is self-created, it will not preclude the granting of the area variance.

We look forward to presenting the application to the Board and discussing the proposed project.

Respectfully submitted,


Viktor Solarik, AIA LEED AP
VKS Architects

AFFIDAVIT OF MAILING

STATE OF NEW YORK

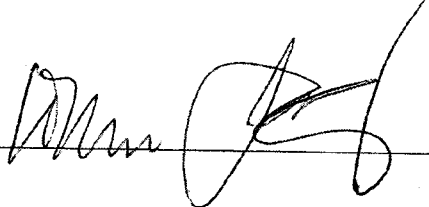
COUNTY OF WESTCHESTER

}
}SS.:
}

VIKTOR SOLARIK being duly sworn, deposes and says:

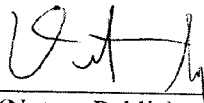
I reside at P.O. BOX 696, KATONAH NY 10536

On DECEMBER 27TH 2023 I served a notice of hearing, a copy of which is attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B. I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.

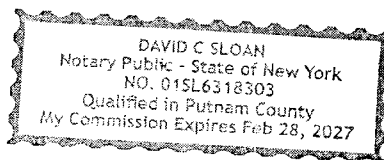


Sworn to before me on this

4th day of January 2024



(Notary Public)



PUBLIC NOTICE

Please Take Notice that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the **16th** day of **January 2024** at the Municipal Building, Mount Kisco, New York, beginning at 7:00 pm pursuant to the Zoning Ordinance, on the appeal of **Viktor Solarik – VKS Architects, P.O. Box 696, Katonah, NY 10536**, against the decision of Peter J. Miley, Building Inspector dated **December 19, 2023**, to deny the application to permit the **erection of a new garage to be located 12.0 feet from the north-westerly side lot line, where the principal structure is located 55.0 feet from the same lot line, requiring a 43.0 foot variance, and the proposed roof height is 18'-6" where 15'-0" maximum is permitted by the code.**

The property involved is known as **346 Spring Street, Mount Kisco, NY, 10549** and is described on the Village Tax Map as **Section 80.64 Block 20 Lot 4** and is located on the **West** side of **Spring Street** in a RS-6 Zoning District.

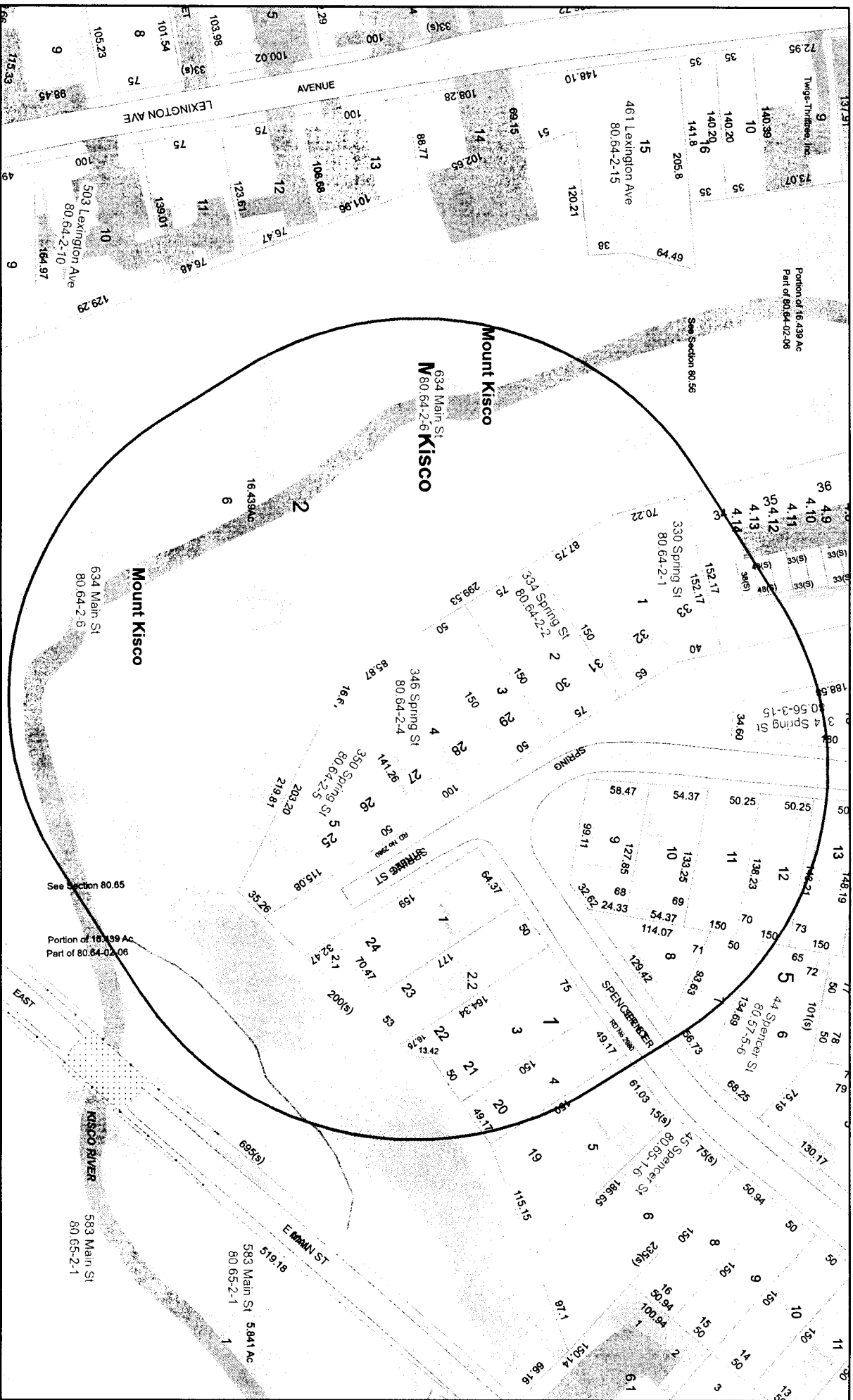
Said Appeal is being made to obtain a variance from **Sections §110-31.G(1) and §110-31.G(4)** of the Code of the Village/Town of Mount Kisco, which require that **“no accessory structure shall be located or project nearer to any street line or side lot line than does the principal structure on the lot” [§110-31.G(1)], and “an accessory structure shall not exceed 15 feet in height.” [§110-31.G(4)]**

All interested parties are invited to attend and to be heard.

By order of:
Harold Boxer, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco

346 Spring Street Mailing List for Public Hearing										
OWNERNAME	PROPADRESS	PROPCITY	PROPIZIP	PROPRINTKEY	c/o	Mailing Address	City	State	Zip	
Navaraja Jeyadoss	311 Spring St	MOUNT KISCO	10549	80.57-5-13		639 W. Tremolo LN	Oro Valley	AZ	85737	
Michael Levy	310 Spring St	MOUNT KISCO	10549	80.56-3-15.2		310 Spring St	Mount Kisco	NY	10549	
David & Frances H Urbanik	314 Spring St	MOUNT KISCO	10549	80.56-3-15.3		7 Spring St	Mount Kisco	NY	10549	
Sylvia C Cardillo	315 Spring St	MOUNT KISCO	10549	80.57-5-12		315 Spring St	Mount Kisco	NY	10549	
John H Sisk & Julie A Verville	321 Spring St	MOUNT KISCO	10549	80.57-5-11		321 Spring St	Mount Kisco	NY	10549	
Nicholas & Whitney Hale McDermott	323 Spring St	MOUNT KISCO	10549	80.57-5-10		323 Spring St	Mount Kisco	NY	10549	
Edward Smilkstein	330 Spring St	MOUNT KISCO	10549	80.64-2-1		330 Spring St	Mount Kisco	NY	10549	
Edward Smilkstein	334 Spring St	MOUNT KISCO	10549	80.64-2-2		330 Spring St	Mount Kisco	NY	10549	
Sharon Smilkstein	340 Spring St	MOUNT KISCO	10549	80.64-2-3		340 Spring St	Mount Kisco	NY	10549	
Theresa & Jose Flora	346 Spring St	MOUNT KISCO	10549	80.64-2-4		346 Spring St	Mount Kisco	NY	10549	
Marianne J Larzelere Rev. Trust	350 Spring St	MOUNT KISCO	10549	80.64-2-5	Larzelere Marianne	350 Spring St	Mount Kisco	NY	10549	
Bert J Brugger	44 Spencer St.	MOUNT KISCO	10549	80.57-5-6		44 Spencer St.	Mount Kisco	NY	10549	
Lindsay Munroe	48 Spencer St.	MOUNT KISCO	10549	80.57-5-7		143 Grove St.	Mount Kisco	NY	10549	
Salvatore Albanese	51 Spencer St.	MOUNT KISCO	10549	80.65-1-5		51 Spencer St.	Mount Kisco	NY	10549	
Krzysztof Gorzkowicz	55 Spencer St.	MOUNT KISCO	10549	80.65-1-4		55 Spencer St.	Mount Kisco	NY	10549	
The Carol M Bingham Rev. Trust	56 Spencer St.	MOUNT KISCO	10549	80.57-5-8	Carol Bingham	56 Spencer St.	Mount Kisco	NY	10549	
Thomas Barisic	61 Spencer St.	MOUNT KISCO	10549	80.65-1-3		61 Spencer St.	Mount Kisco	NY	10549	
Village of Mount Kisco.	634 Main St.	MOUNT KISCO	10549	80.64-2-6		104 Main St.	Mount Kisco	NY	10549	
Peter Moore	66 Spencer St.	MOUNT KISCO	10549	80.57-5-9		66 Spencer St.	Mount Kisco	NY	10549	
Mary Lynn Windsor	71 Spencer St.	MOUNT KISCO	10549	80.65-1-1		71 Spencer St.	Mount Kisco	NY	10549	
Mary Lynn Windsor	71 Spencer St.	MOUNT KISCO	10549	80.65-1-2.1		71 Spencer St.	Mount Kisco	NY	10549	
Mary Lynn Windsor	71 Spencer St.	MOUNT KISCO	10549	80.65-1-2.2		71 Spencer St.	Mount Kisco	NY	10549	
Allison A Fortenza	300-13 West St	MOUNT KISCO	10549	80.56-4-4.13		300-13 West St	Mount Kisco	NY	10549	
Dawn Gray	300-14 West St	MOUNT KISCO	10549	80.56-4-4.14		300-14 West St	Mount Kisco	NY	10549	

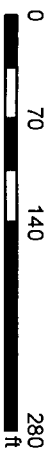
346 Spring St. ID: 80.64-2-4 (Mount Kisco)



December 5, 2023

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:1,500



Westchester County GIS

<http://giswww.westchester.gov.com>

Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

AFFIDAVIT OF PUBLICATION

State of Wisconsin
County of Brown

Linda Felt being duly sworn, deposes and says she is the Principal Clerk of **The Journal News**, Division of Gannett Newspaper Subsidiary, publishers of following newspaper published in Westchester and Rockland Counties, State of New York, of which annexed is a printed copy, out from said newspaper has been published in said newspaper editions dated:

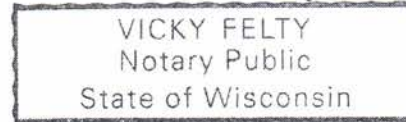
12/31/2023

Linda Felt

Subscribed and sworn to before me this 31 day of December, 2023

Notary Public
State of Wisconsin, County of Brown

Vicky Felty



9/19/25 ep

RECEIVED

JAN 09 2024

**Zoning Board of Appeals
Village/Town of Mount Kisco**

346-348 Spring

State of New York)
) ss:
County of Westchester)

AFFIDAVIT OF POSTING

Gilmar Palacios Chin, being duly sworn, says that on the 9th day of January 2024, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building – _____ X
104 Main Street

Public Library _____ X
100 Main Street

Fox Center _____ X

Justice Court – Green Street _____ X
40 Green Street

Mt. Kisco Ambulance Corp _____ X
310 Lexington Ave

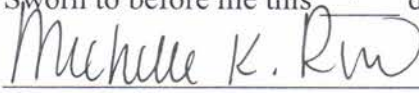
Carpenter Avenue Community House _____ X
200 Carpenter Avenue

Leonard Park Multi Purpose Bldg _____ X



Gilmar Palacios Chin

Sworn to before me this 9th day of January 2024



Notary Public

MICHELLE K. RUSSO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01RU6313298
Qualified in Putnam County
My Commission Expires 10-20-2026

RECEIVED

JAN 09 2024

Zoning Board of Appeals
Village/Town of Mount Kisco

EROSION CONTROL NOTES:

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED, OR AS ORDERED BY THE ARCHITECT/ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS BY THE CONTRACTOR, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.

THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT AND EROSION CONTROL MEASURES SHALL BE AS ORDERED BY THE ARCHITECT/ENGINEER, AND IN ACCORDANCE WITH THE STANDARDS SET FORTH.

ALL TOPSOIL, NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.

ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.

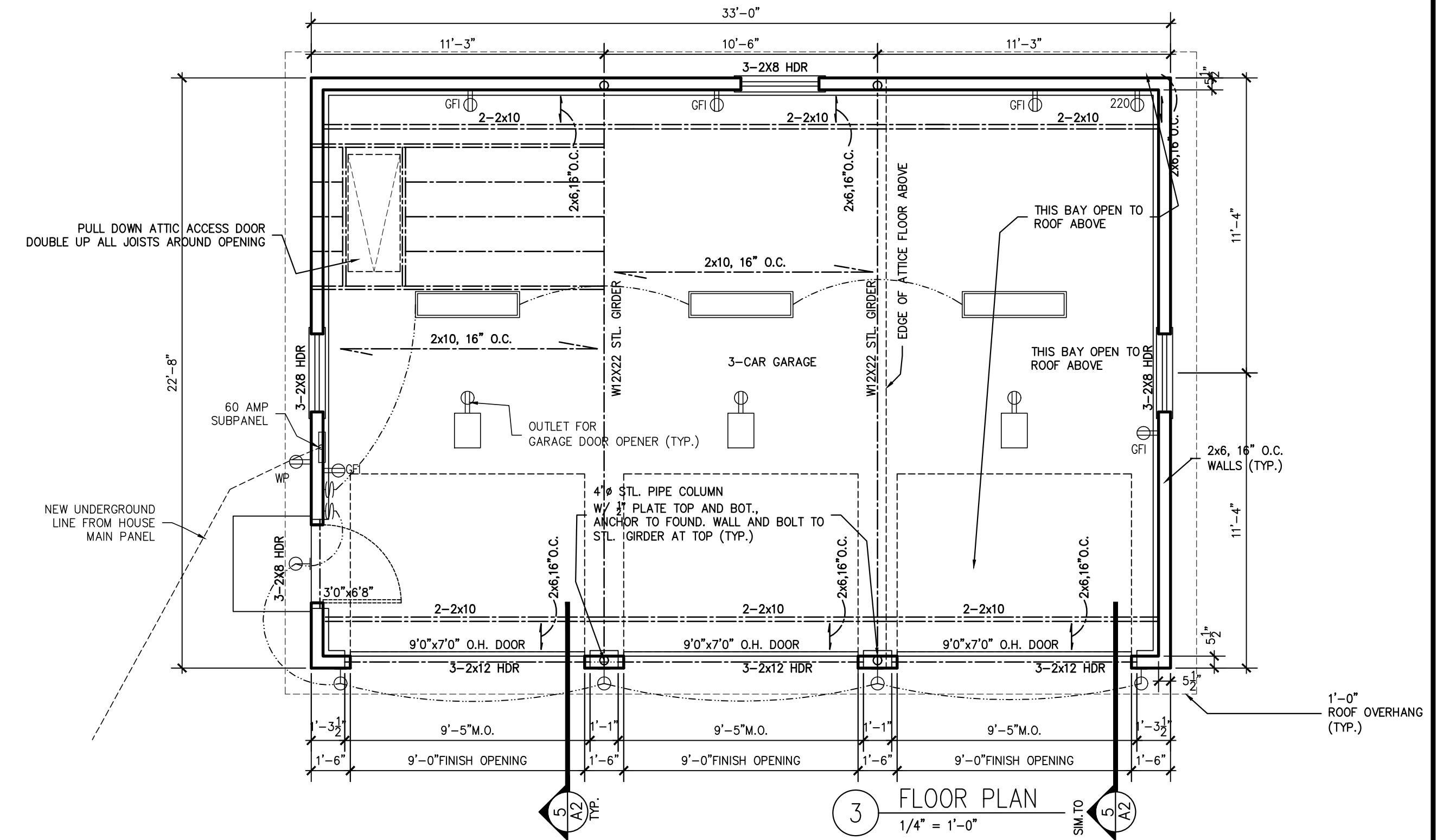
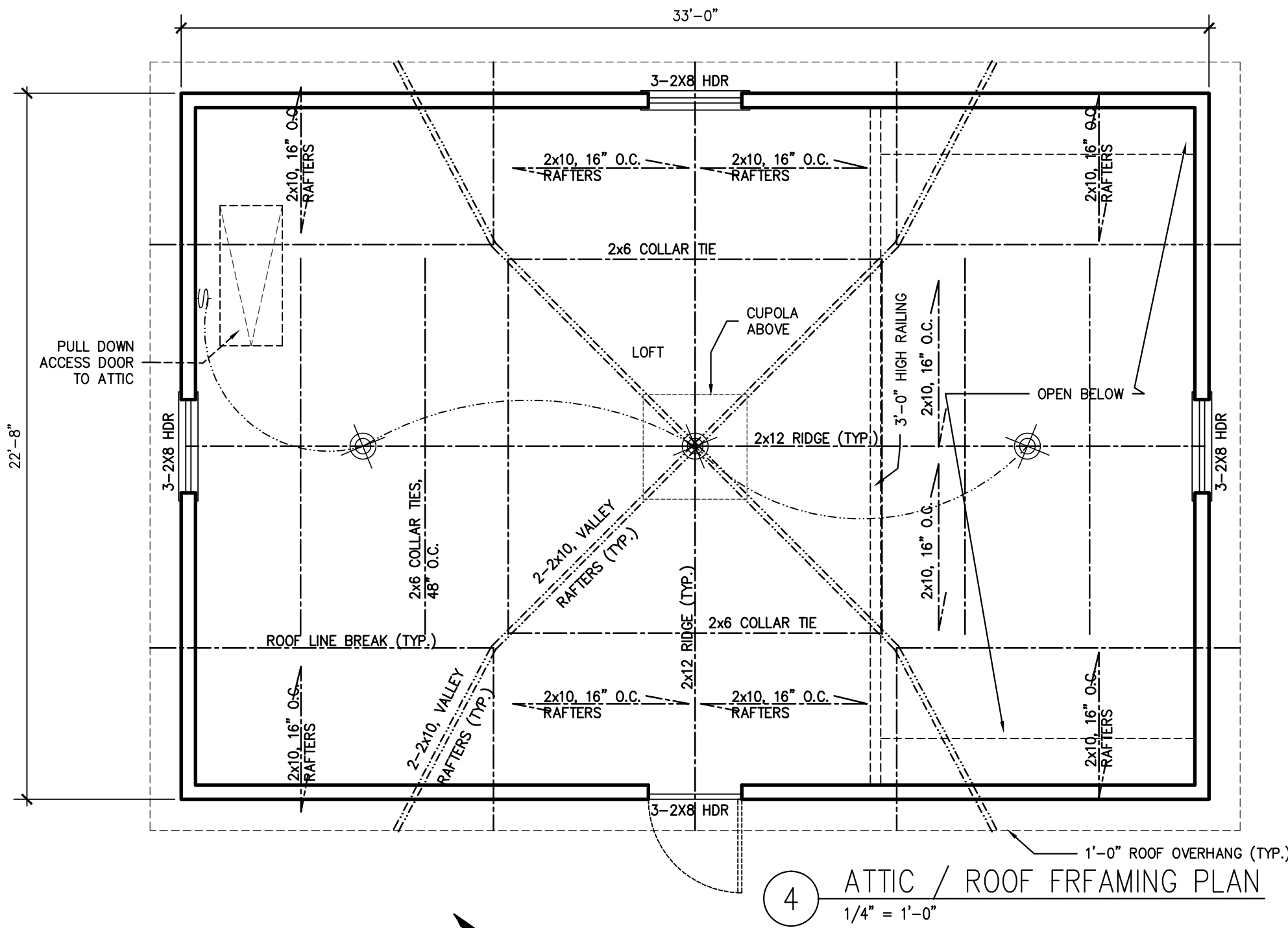
ALL DISTURBED AREAS ON THE PROPERTY SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.

THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.

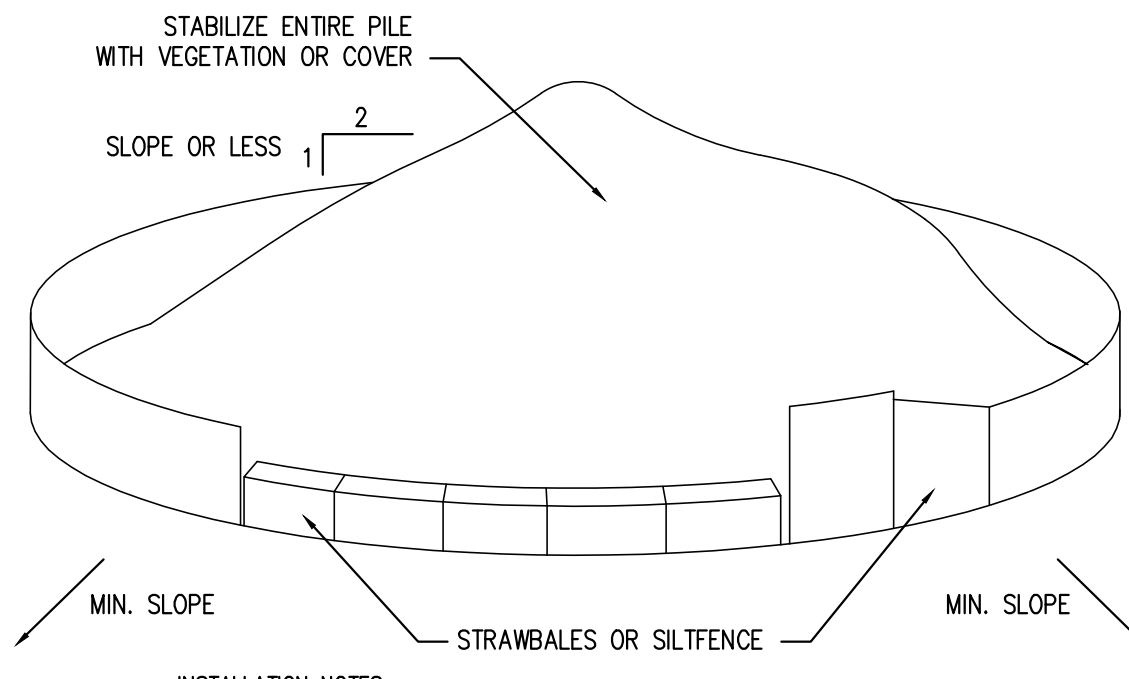
ALL EROSION AND SEDIMENT CONTROLS MUST BE PROPERLY INSTALLED AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED AND THE RISK OF EROSION ELIMINATED. FINAL STABILIZATION IS DEFINED AS: ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% COVER FOR THE AREA HAS BEEN ESTABLISHED OR EQUIVALENT STABILIZATION MEASURES (SUCH AS THE USE OF MULCHES OR GEOTEXTILES) HAVE BEEN EMPLOYED.

SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.

ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROLS".



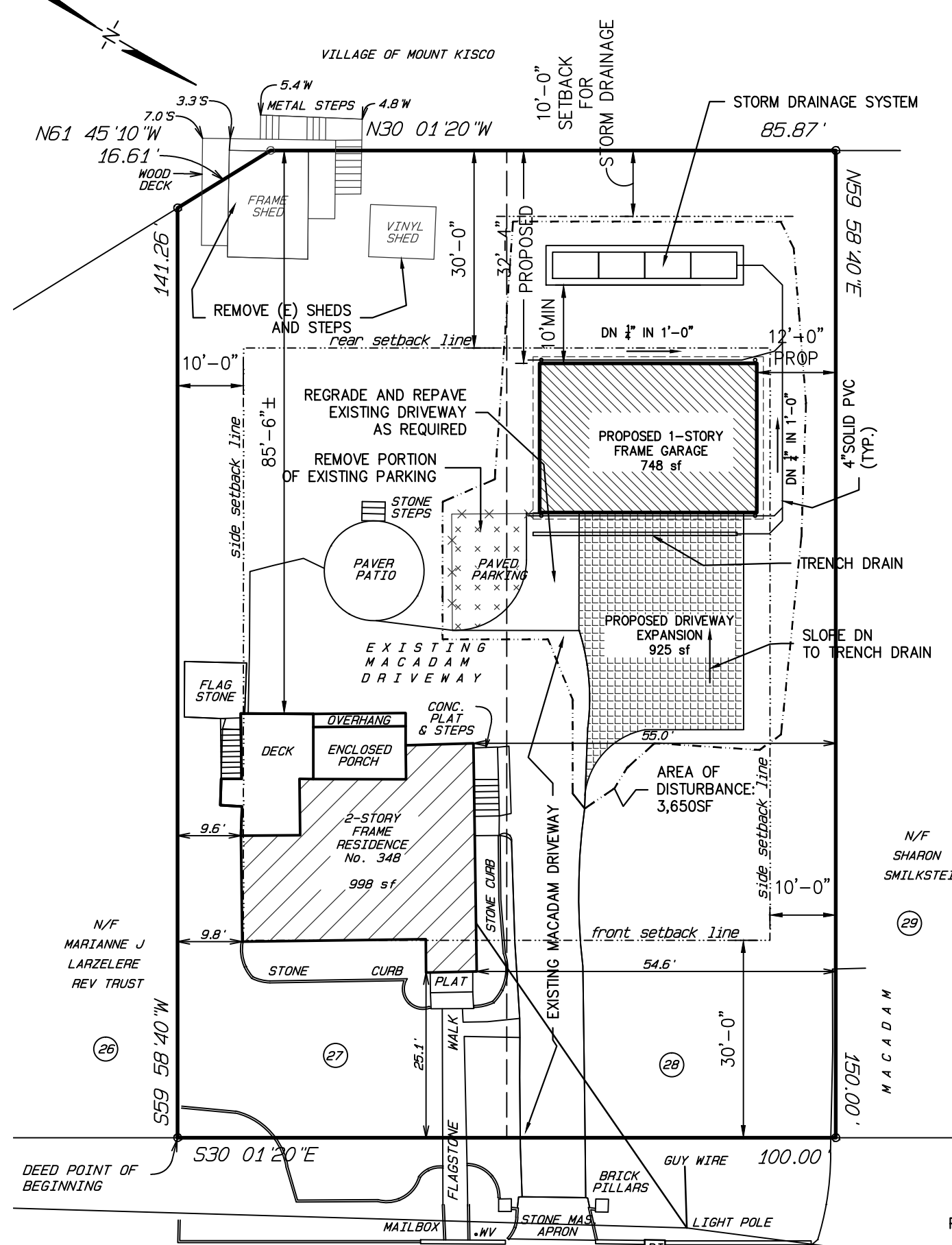
STORM DRAINAGE SYSTEM	
AREA OF PROPOSED GARAGE AND EXTENDED DRIVEWAY: 1,830 SF	
RAINFALL IN 24 HRS. - 25 YR. STORM: 6.48 INCHES (.54 FT)	
REQUIRED RETAINAGE VOLUME: 1,830 SF x .54FT = 988 CF	
INFILTRATION RATE CALCULATION:	
LOCAL SOILS: "Uhb" Urban land Chertion, and "Chd" Chertion loam (containing well drained Paxton soils, Chertfield and Hollis soils)	
Permeability: 0.6 to 6.0"/hr.	
Assumed average percolation rate: 1"/hr./sf of infiltration area	
Assumed surface area of infiltration: Provide one area with four R330XL infiltrators.	
Surface area of one infiltration pit:	
side walls: 3.5' deep x 28' long x 2	= 196 sf
bottom: 5' wide x 28' long	= 140 sf
head walls: 5' wide x 3.5' deep x 2	= 35 sf
Total	= 371 sf
Total infiltration capacity: 0.083' x 371 sf = 30.7 cf/hr	
30.7 x 24 = 739 cf / 24 hrs.	
TOTAL INFILTRATION REQUIRED (SEE ABOVE): 988 CF / 24 hrs.	
PROVIDE INFILTRATION SYSTEM WITH A CAPACITY OF INFILTRATION OF 739 CF IN 24 HR PERIOD.	
CULTEC RECHARGER 330 XL CAPACITY W/ STONE SURROUND: 79.26 CF	
PROVIDE 4 (FOUR) CULTEC RECHARGERS 330XL UNITS W/ STONE SURROUND AS SHOWN.	
FOUR CULTEC RECHARGERS PROVIDE STORM WATER RETAINAGE CAPACITY OF 317 CF.	
TOTAL COMBINED CAPACITY OF THE PROPOSED STORMWATER SYSTEM IS:	
INFILTRATION:	739 CF
RETAINAGE:	317 CF
TOTAL:	1,056 CF



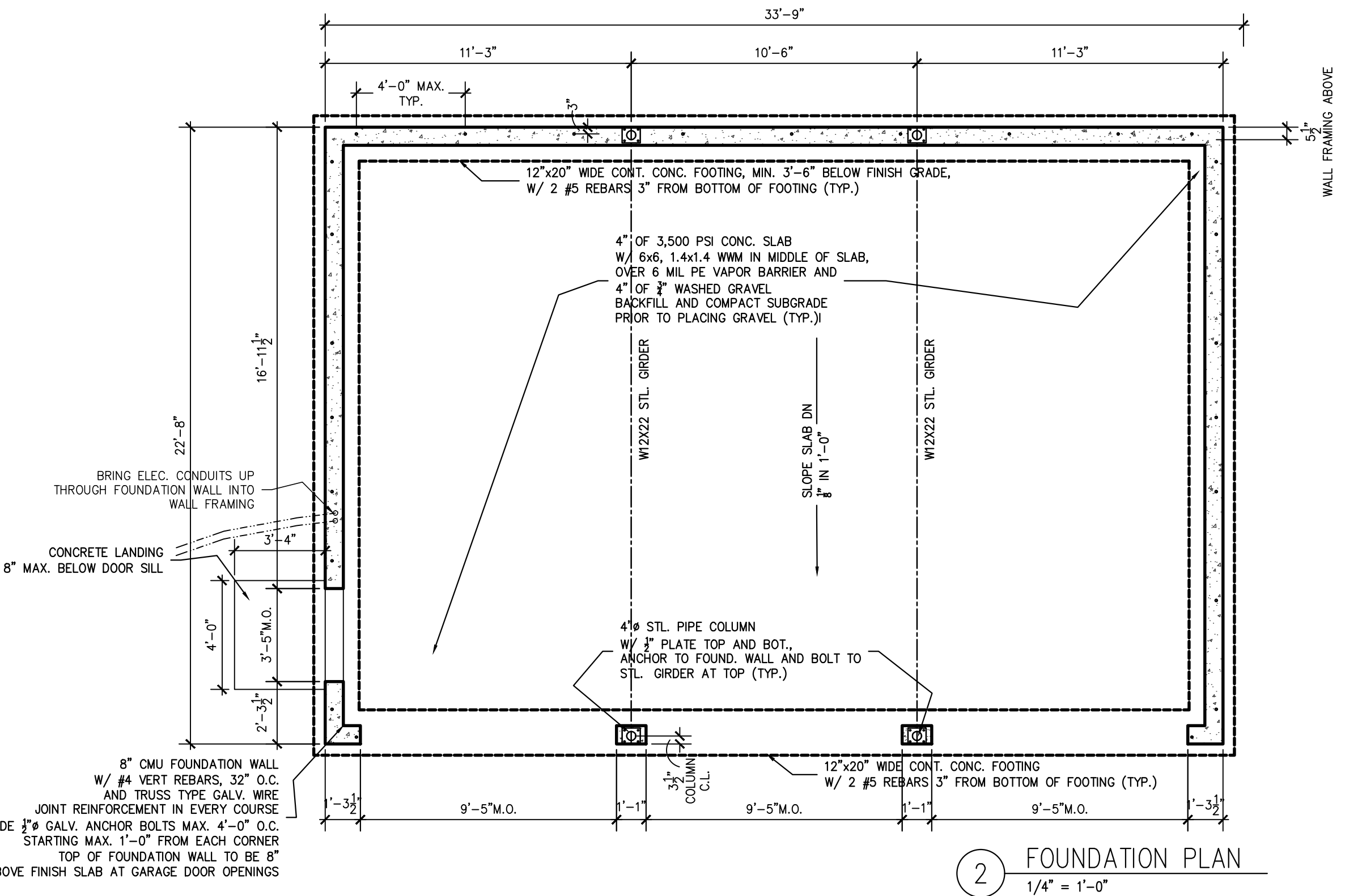
INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OF STRAMBALES, THEN STABILIZED WITH VEGETATION OR COVERED FOR THE DURATION OF THE PROJECT.
4. SEE SILT FENCE DETAIL FOR INSTALLATION.

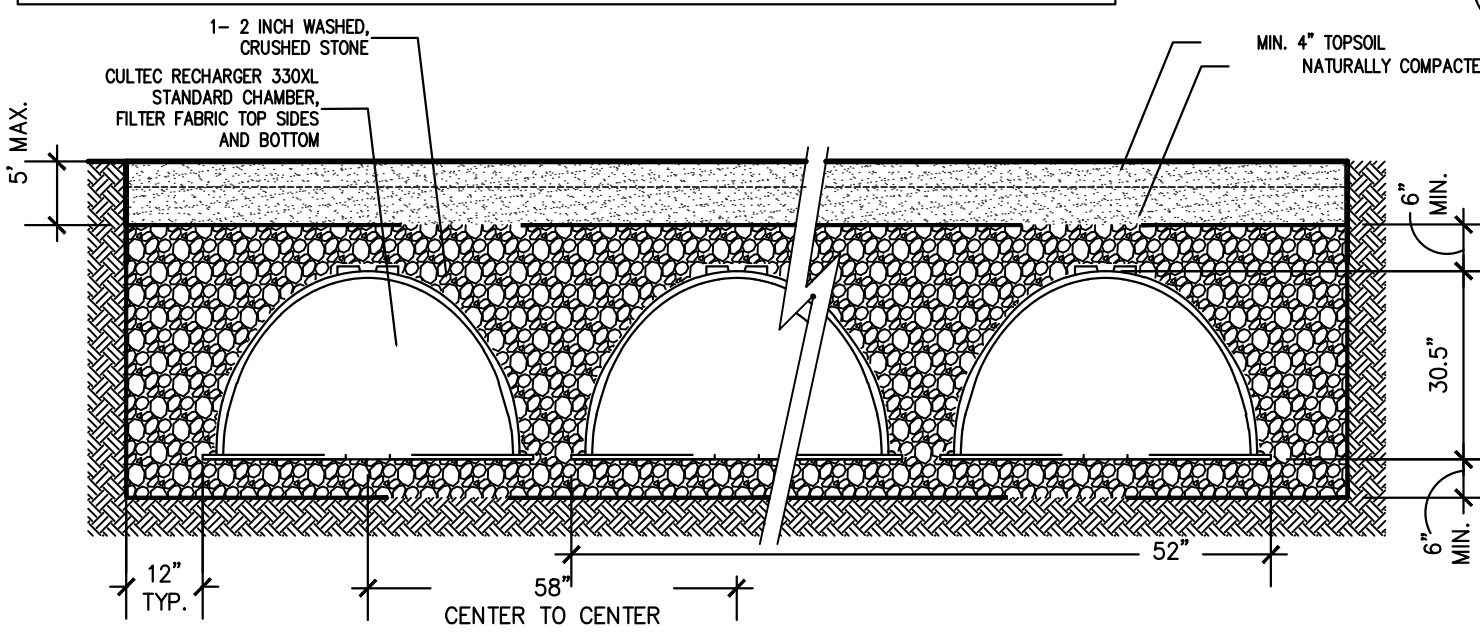
6 STOCK PILE DETAIL
N.T.S.



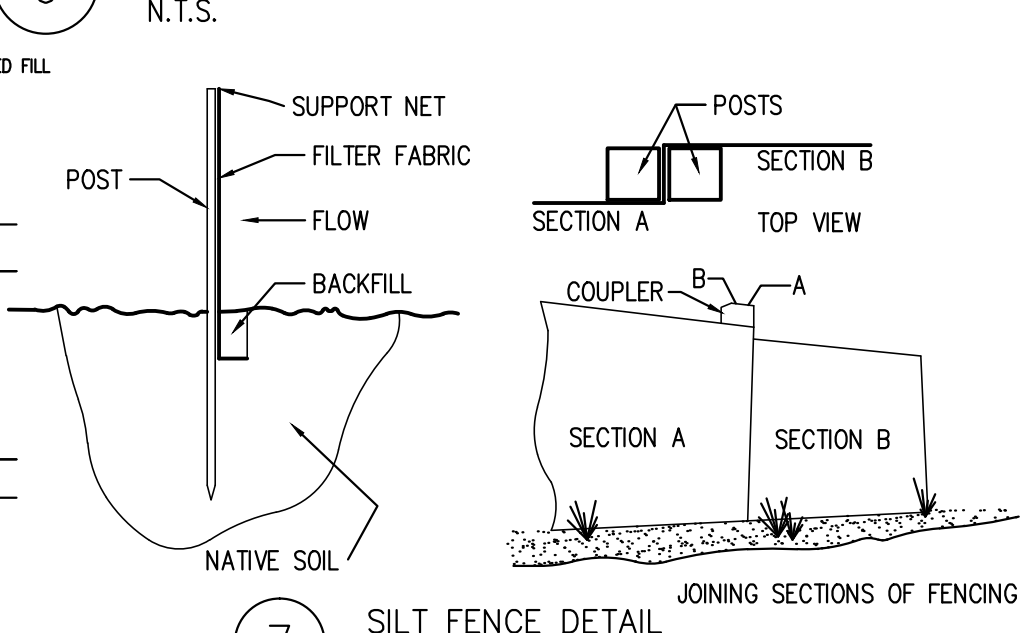
1 SITE PLAN
1" = 20'-0"



2 FOUNDATION PLAN
1/4" = 1'-0"



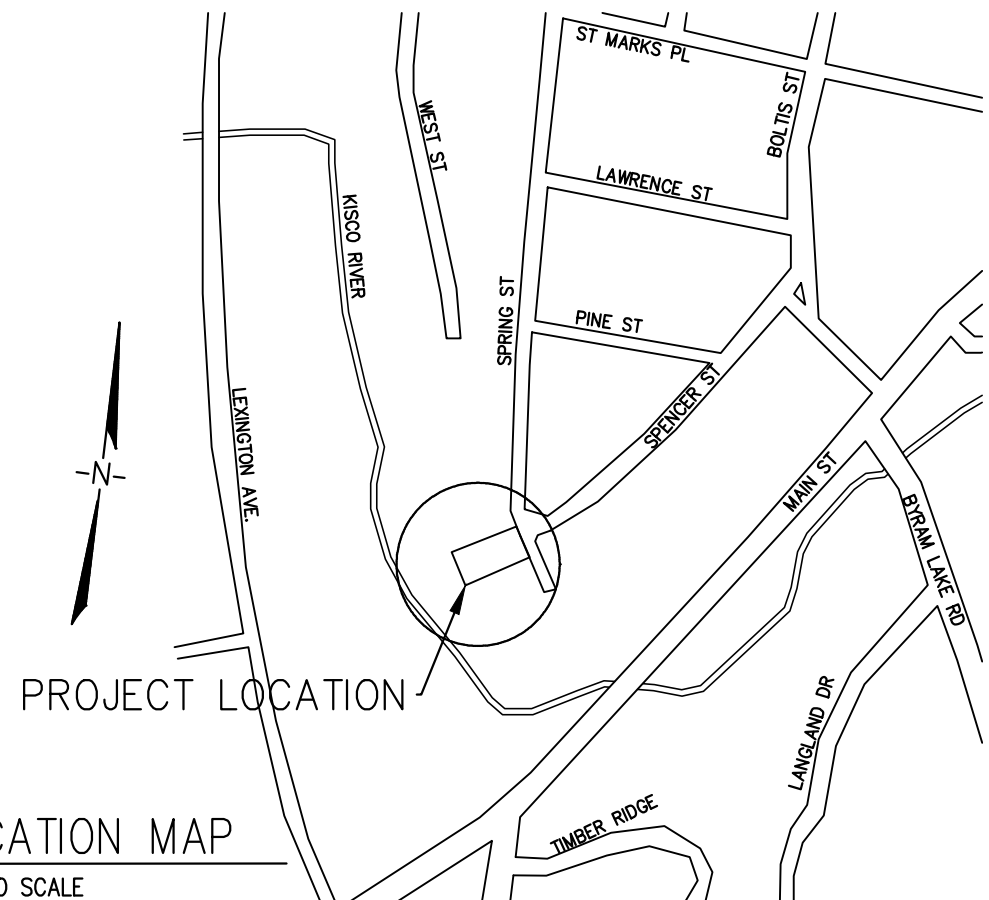
5 TYPICAL 330 INFILTRATOR INSTALLATION DETAIL
NOT TO SCALE



7 SILT FENCE DETAIL
N.T.S.

TOE - IN METHOD INSTALLATION NOTES:

1. EXCAVATE 4"x4" TRENCH ALONG THE LOWER PERIMETER OF SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW)
3. DRIVE THE POST INTO GROUND UNTIL THE NETTING IS APPROX. 2" FROM THE TRENCH BOTTOM
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL.
5. JOIN SECTIONS AS SHOWN ABOVE.



8 LOCATION MAP
NOT TO SCALE

ZONING TABLE - VILLAGE/TOWN OF MOUNT KISCO NY			
ZONING DISTRICT: RS-6			
LOT SIZE	REQUIRED	EXISTING	PROPOSED
6,250 SF MIN	14,938.65 SF	14,938.65 SF	SAME
MIN. LOT WIDTH AND DEPTH	50' / 100' MIN	100' / 150'	SAME
MIN. FRONT YARD SETBACK	30'	25.1'	71'0" (GARAGE)
MIN. SIDE YARD SETBACK	10' MIN	9.6' (HOUSE)	11' (GARAGE)
MIN. REAR YARD	30'	85'-6"± (HOUSE)	31' (GARAGE)
MAX. BLDG. HEIGHT	35'	25'± (HOUSE)	14'10"± (GARAGE)
MAX. BLDG. STORIES	2½	2	1-1/2 (GARAGE)
MAX. BLDG. COVERAGE	25% (3,734sf)	3.53% (1,274sf)	12.46% (1,862sf)
MAX. DEVELOP. COVERAGE	40% (5,975sf)	13.7% (2,941 sf)	36.5% (5,456sf)

NOTE:
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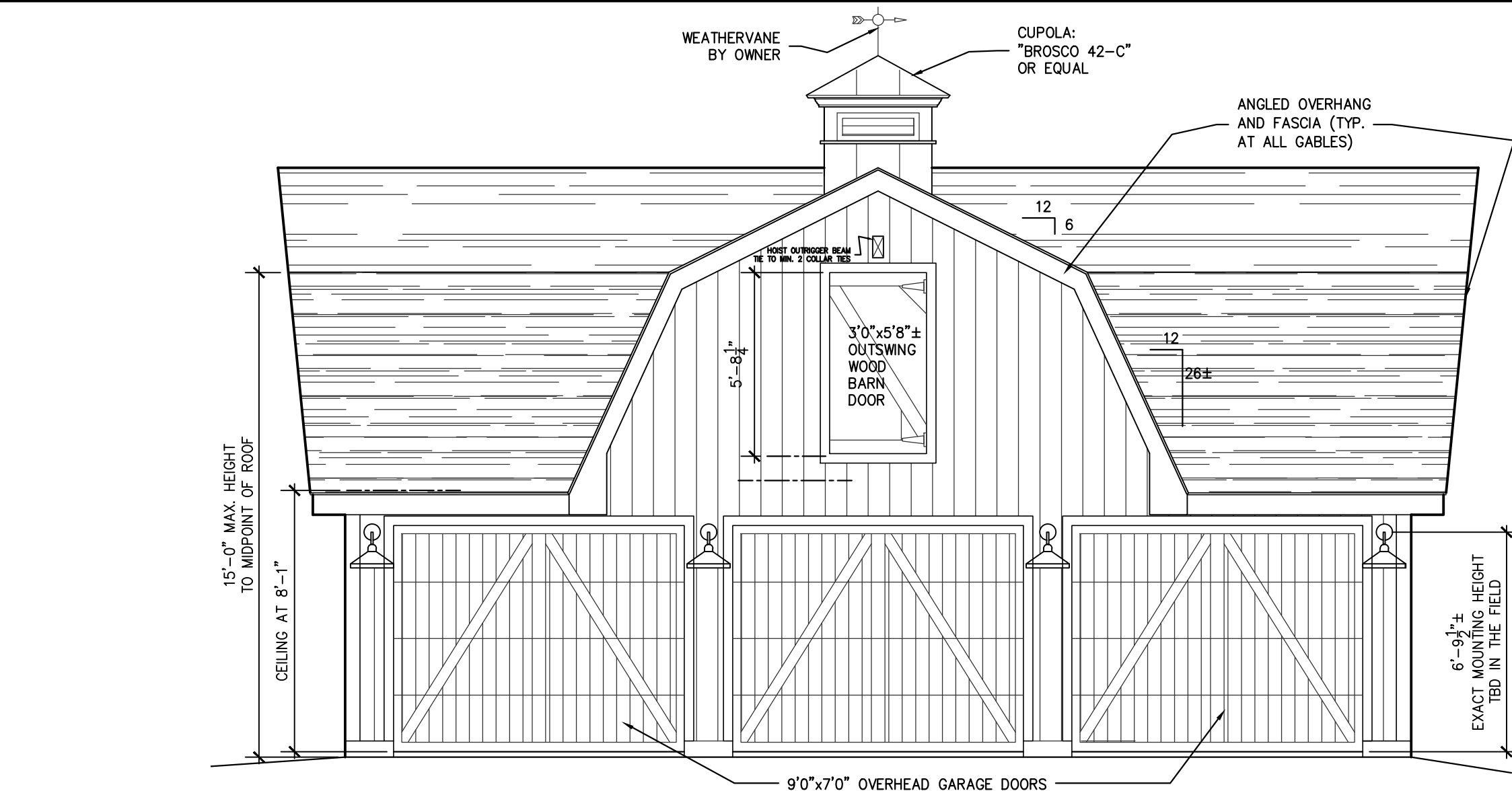
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**NEW GARAGE
FLORA RESIDENCE**
348 Spring Street, Mt. Kisco NY 10549

**FLOOR PLANS, SITE PLAN, LOCATION MAP,
ZONING TABLE, PROJECT INFORMATION**

JOB NO.	2023-130	DWG. NO.	
DATE	REV 11/24/2023		
SCALE	AS NOTED		
DRAWN / CHECKED BY	VKSA		
JOB NAME	Flora		

A1



1 FRONT ELEVATION
1/4" = 1'-0"

GENERAL NOTES

CONCRETE

- General:** Work includes concrete footings, foundation walls, grade beams and piers, slabs on grade and all concrete work indicated on drawings or as hereinafter specified.
- Concrete:**
 - "Ready-Mix" product, proportioned to produce 3,500 psi ultimate strength at 28 days concrete for foundation walls and footings, grade beams and piers, floor slabs, batched at a central plant and transported dry to the site. Water for four inch (4") slump shall be added at the job site and mixing carried out for fifteen (15) minutes.
 - Concrete work shall conform to ACI-318-71.
 - All footings shall rest on undisturbed soil or rock having a minimum bearing capacity of (2) tons per square foot.
 - Footings shall not be placed on rock whose surface slopes more than 10 percent.
 - Bottom of exterior footings to be carried a minimum of 3'-6" below finish grade.
 - Where footings are stepped, bottom to be stepped not more than 2 feet vertical to four feet horizontal.
 - Steel concrete reinforcing bars: billet steel deformed bars, ASTM-A615 sizes noted on drawings. Welded wire mesh (WWM): Grade 40, ASTM 1-185 sizes on drawings.
 - Provide bearing plates leveled up with no shrink grout for all beams bearing on concrete masonry. All steel leveling plates to be 1/4" thick size to match base plates.
- Slabs on Grade: All floor slabs on grade shall be four inches (4") thick with 6x6, 1.4x1.4 wire mesh reinforcing, placed in middle steel trowel finish.

Sub-grades shall be maintained eight inches (8") below finish floor. Over entire area of sub-grade, fill with minimum four inches (4") compacted bank run gravel and sand topping to eliminate protrusions. Provide a 6 mil polyethylene film vapor barrier over the sand topping with 6" lap at joints.

MASONRY

Brick and concrete masonry walls shall conform to the "recommended practice for engineered brick masonry", latest edition by Structural Clay Products Institute, and "specifications for the design and construction of load bearing concrete masonry" by National Concrete Masonry Association.

- Concrete block shall be of the following types: ASTM C-90, Grade N-1
ASTM C-145, Grade N-1
- Do not backfill against foundation walls until concrete has obtained maximum strength. Where backfill is placed against foundation walls before flooring construction is in place, provide temporary bracing.

Material: All mortar shall be ASTM - C270 type S. Bricks shall have a minimum strength of 6000 psi. Provide solid blocking at perimeter walls (2 courses in).

METALS

General: Steel construction shall conform to AISC manual of steel construction, latest edition. Contractor to verify all dimensions and heights of steel in field.

Material: All structural steel shall be new, clean, straight and shall conform to ASTM A-36. Columns unless otherwise noted shall be 3" I.D. tube columns with sizes and locations indicated. Furnish Mill Certificates.

Threaded anchor bolts shall be 1/2" x 12" long at 4'-0" O.C. maximum of A36 or A307 steel, placed in all foundation walls, and 12" from all corners set up high enough to attach the sill plates as indicated on sections and details. See sections for locations of bolts for proper alignment with wood plates.

All structural steel shall be shop painted with grey zinc chromatic primer 2.0 mils thick.

Shop connections shall be welded or bolted unless otherwise noted on the drawings. Field connections may be made with machine bolts, minimum bolt size 1/2" or as noted on the drawings.

WOOD

All framing lumber is to be "#2 or Better" Grade Douglas fir-larch. Provide built-up headers at all openings, regardless whether or not shown on drawings. Minimum size of built-up headers shall be 3-2x8 in 2x6 wall construction and 2-2x10 in 2x4 wall construction. Consult the Architect if you encounter difficulty installing specified headers. All load-bearing walls are to have two top plates and be blocked at mid height. All openings in floors, and ceilings are to have double joists/rafters on all sides of opening. Block all floor joists at mid span, or 8'-0" o.c. min, whichever is less.

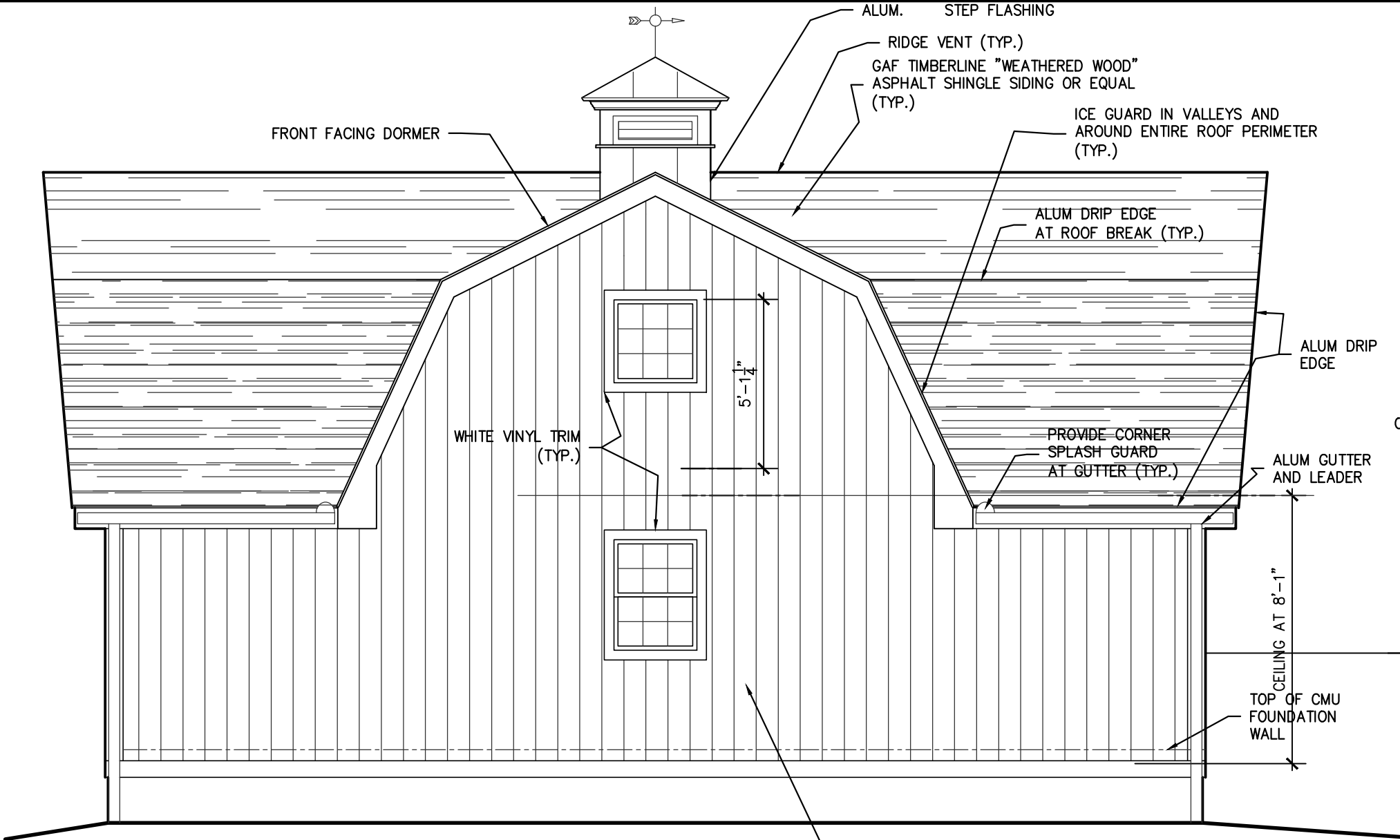
All framing for deck and exterior stairs, all base plates and all other members in contact with concrete, masonry or exposed to weather shall be pressure treated Pine, Construction Grade. All Sub-flooring is to be 3/4" thick Tongue & Groove Douglas Fir plywood glued and screwed to joists 8" o.c.

Provide additional layers of 5/8" plywood underlayment in areas to receive VCT flooring and 1/2" plywood underlayment in areas to receive ceramic or stone tile in "thin set". All exterior wall sheathing is to be ZIP sheathing and 5/8" CDX plywood for walls and roofs. USE OF "OSB" SHEATHING SHALL NOT BE PERMITTED ON THIS PROJECT.

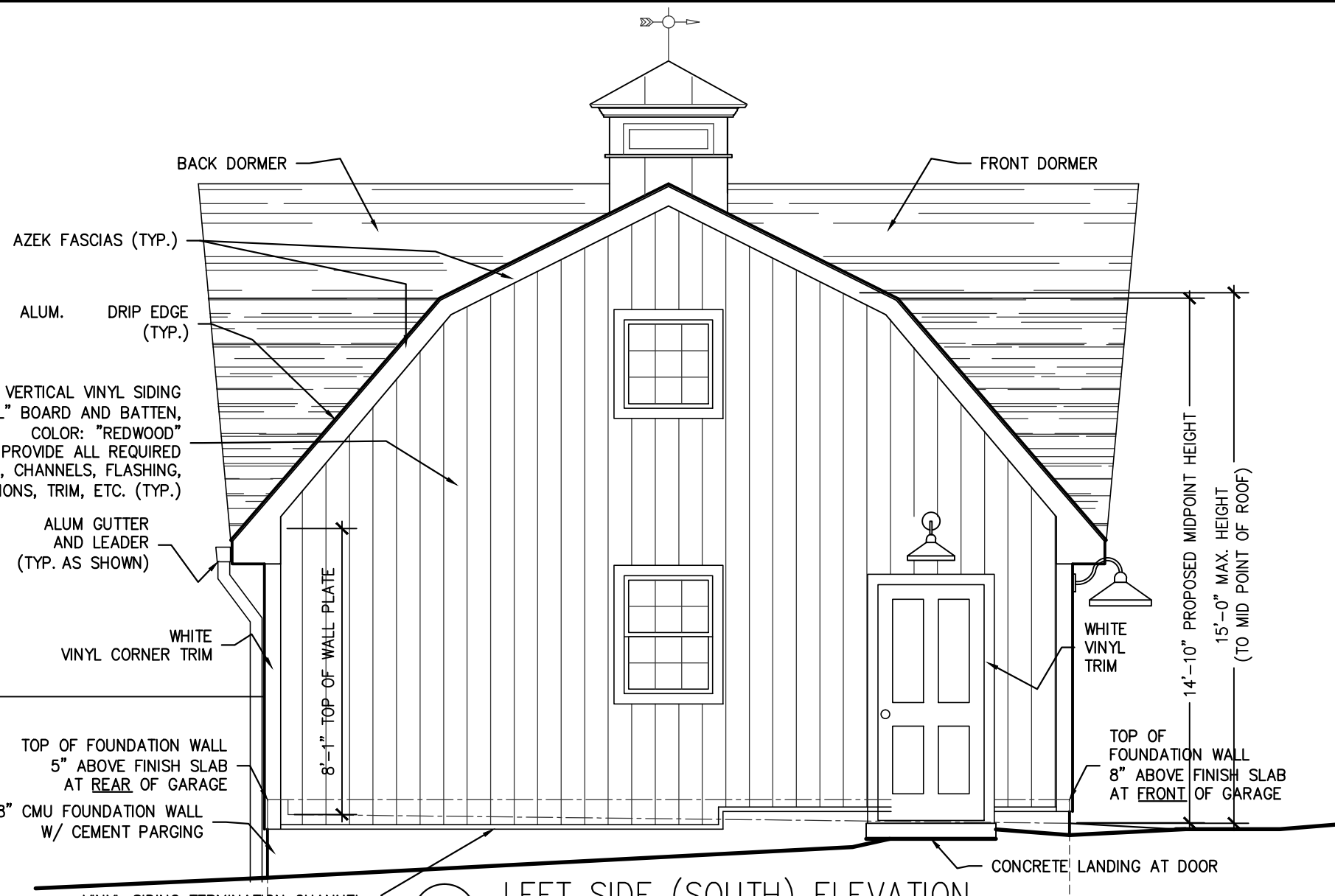
STEEL

Welding procedures, welders, welding operations and tackers shall be qualified in accordance with the AWS "Structural Welding Code". In addition, all welders must have been certified in accordance with the AWS for the welding position required within the 12 month period prior to the performance of each welding operation.

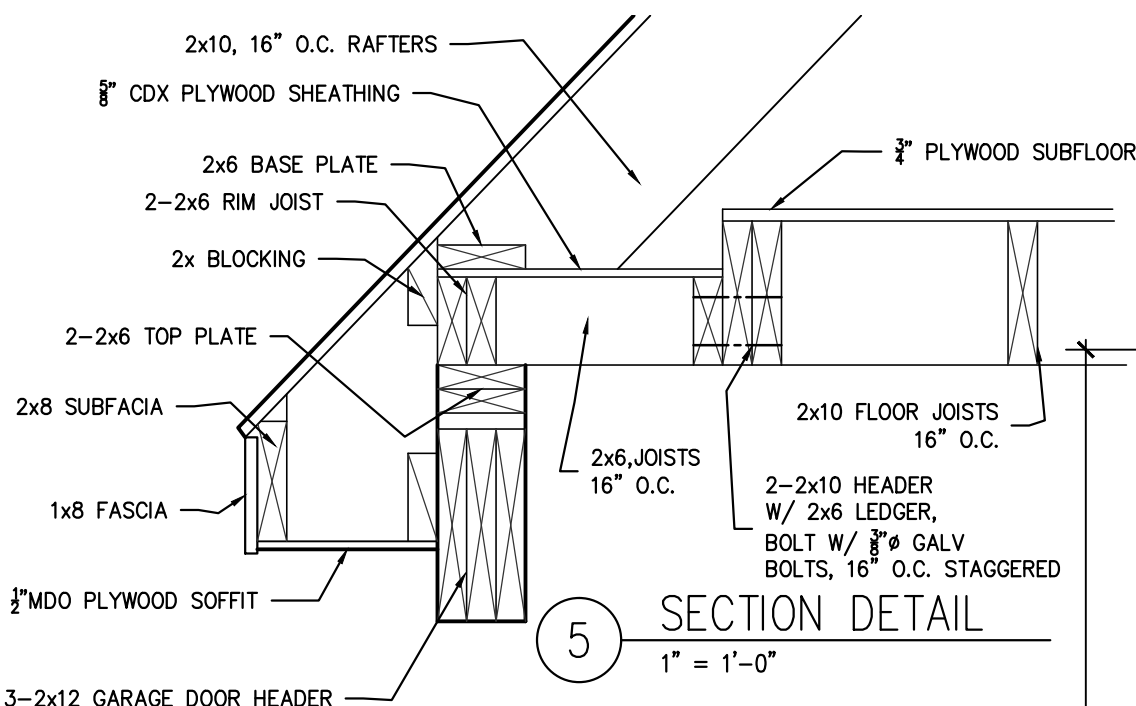
Inspection and testing of structural steel fabrication, erection and all steel bolt connections will be performed by an independent Testing Agency or certified inspector. Materials and workmanship shall be subject to inspection and testing in mill, shop and/or field by Architect and/or Testing Agency. The Contractor shall submit the name and location of fabricator, give notice of commencement of fabrication, allow full facilities for inspection, and shall provide such assistance to inspector as may be required for proper inspection. Ten days' written notice shall be given to Architect prior to delivery of steel to job and start of erection.



2 REAR ELEVATION
1/4" = 1'-0"



3 LEFT SIDE (SOUTH) ELEVATION
1/4" = 1'-0" (RIGHT SIDE SIMILAR, OPPOSITE HAND)



5 SECTION DETAIL
1" = 1'-0"

Work in Cold Weather: No work with materials containing water shall be carried on during unreasonably cold weather.

Such work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken:

- Water shall be heated and kept warm.
- Sand shall be heated and kept warm.
- An anti-freeze such as "Eucoc" made by Euclid Chemical Co. "Tri-Mix" by Sonneborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer.
- Material shall be placed as soon as possible and shall not be permitted to get cold.
- No material containing ice or frozen parts shall be used.

All work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamander" heaters or other approved methods. Work damaged by cold weather or frost will not be accepted and shall be replaced at no additional cost to the Owner.

It shall be the Contractor's responsibility to correct all work damaged by cold weather or frost.

Permits: The Contractor is responsible for obtaining any and all permits, pay all fees, prepare and file all necessary forms, for all required approvals and inspections by all agencies having jurisdiction, including the general permit from the local building department. Construction trade shall be responsible for obtaining permits relevant to their respectable trades (i.e. UL - electrical permits and inspection; plumbing permits and inspections if applicable). The contractor shall provide the owner with a Certificate of Occupancy upon completed of the job.

SITWORK- EXCAVATION AND BACKFILL

General: The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work included building (foundation) excavation, retaining walls, backfill and rough grading.

Ordinances: All work shall be in conformance with all applicable codes and ordinances and shall be executed in a workmanlike manner.

At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or first floor beams and joists are installed.

Footing Trenches: Excavate for all footings and proper sub-grades. Bottom of all footings shall be level and kept free of standing water at all times.

Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.

Where rock is encountered, the contractor shall notify the Architect immediately. The Contractor shall expose all areas clearly for inspection. The Architect and his structural consultant will advise the Contractor of the measures for construction.

Backfill is to be comprised of clean earth, free from any wood or debris.

Backfill and sub-grades below slabs shall be placed in 6" lifts and to be compacted at every lift. Areas under concrete slabs to be backfilled shall be fully compacted to 95% of proctor density with power tamper.

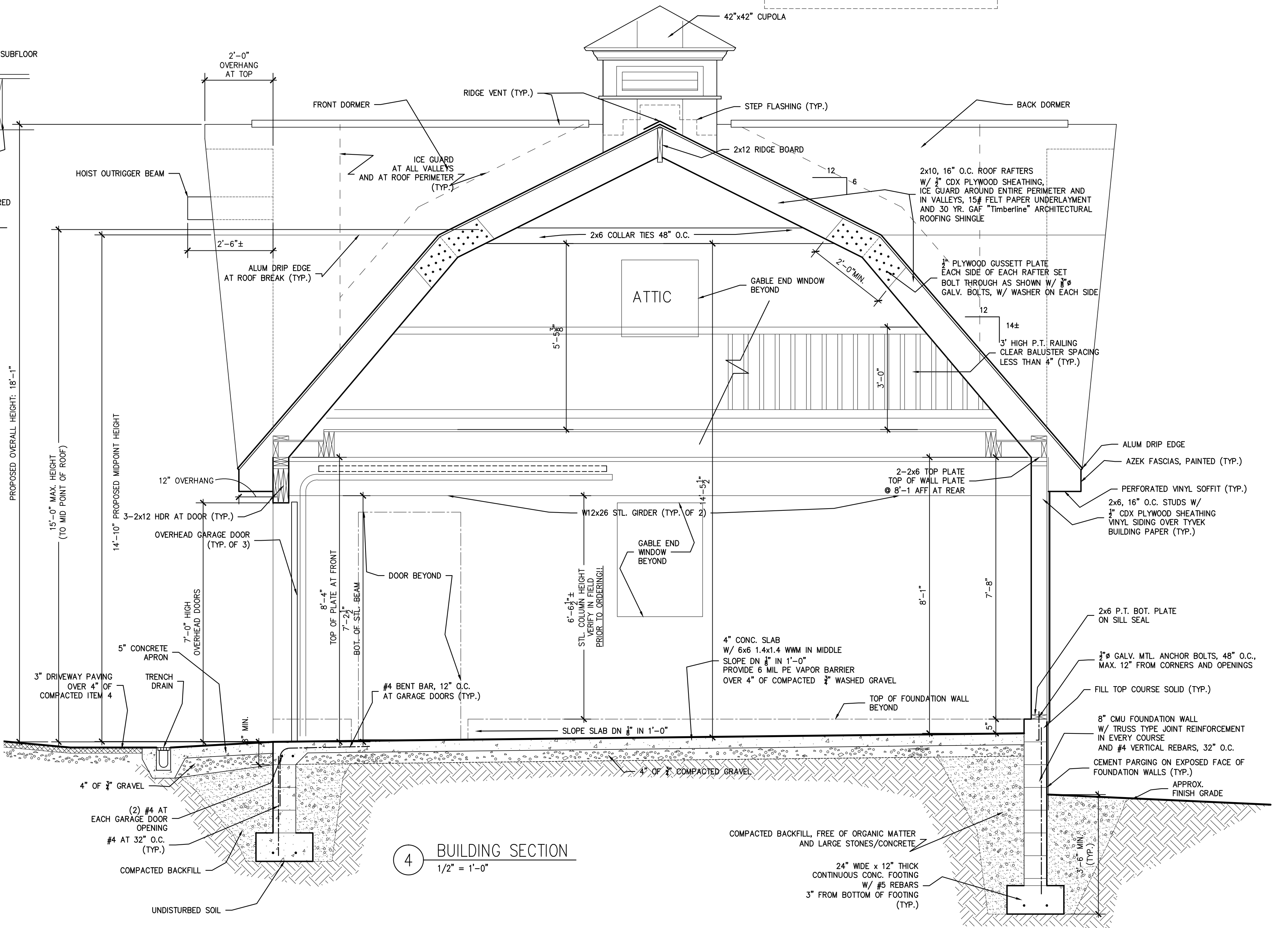
Do not backfill against foundation walls until the concrete has achieved design strength and/or until first floor framing is secured.

Termite and pest control: Upon the discovery of termites, borers, rodent and other pests, the contractor shall notify the Architect and the Owner immediately.

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WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

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4 BUILDING SECTION
1/2" = 1'-0"

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ELEVATIONS, SECTION, DETAILS

JOB NO.	2023-130	ENC. NO.
DATE	REV 11/24/2023	
SCALE	1/4"=1'-0"	
DRAWN / CHECKED BY	VKSA	
JOB NAME	Flora	OF

A2