



Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
Ph. (914) 864-0019-fax (914) 864-1085

June 23, 2023

Jan Johannessen
70 Willetts Road
Mount Kisco, New York 10549
Tax No. Sec. 69.64, Block 1, Lot 6

Re: Building permit application to construct an addition
that encroaches into the side-yard setback.

Dear Mr. Johannessen:

The building permit application to construct an addition to your home located at 70 Willetts Road, Mount Kisco, New York 10549, Tax No. Sec. 69.64, Block 1, Lot 6 located in the § 110-8 RS-12 Low-Density One-Family Residence District ***“is hereby denied.”***

Pursuant to Chapter § 110-8 RS-12 Low-Density One-Family Zoning District C. Development Regulations (1) (f) [3] the minimum building side-yard setback is 15ft. Proposed is a side-yard setback of ten (10) feet and therefore; a side-yard variance of five (5) feet is required.

Should you have any questions, please feel free to contact me.

Sincerely yours,

A handwritten signature in blue ink, appearing to read "Peter J. Miley".

Peter J. Miley
Building Inspector

JAN AND MELISSA JOHANNESSEN
70 WILLETS ROAD, MOUNT KISCO, NY 10549

June 23, 2023

Chairman Wayne Spector and
Members of the Village of Mount Kisco Zoning Board of Appeals
104 Main Street
Mount Kisco, NY 10549

RECEIVED

JUN 23 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

Re: 70 Willetts Road

Dear Chairman Spector and Members of the Zoning Board of Appeals,

My wife Melissa and I reside at 70 Willets Road, just north of the intersection of Willetts Road and Emery Street. We have two (2) young children, ages twelve (12) and eight (8), and we are quickly outgrowing the existing space. By way of background, we purchased our home in 2018 after first renting an apartment on Grove Street and then purchasing our first home on West Street, both in Mount Kisco. I am a lifelong resident of the Village and active member of the community, including as a member of the Mount Kisco Fire Department since 1996. I should also disclose that my firm, Kellard Sessions Consulting, has been the Consulting Village Planner since 2013; however, the firm would not be involved with the review of this application as we only review applications that appear before the Planning Board.

Our cape cod style home is 1.5 stories comprised of approximately 1,800 s.f. The property is flat and is 17,773 s.f. in area within the RS-12 Zoning District. Our master bedroom is on the first floor along with our master bathroom, sitting room, living room, kitchen, and playroom. Two bedrooms are located on the second floor along with a bathroom. Presently, we have no office or dining room, and our laundry is located within the master bathroom. The master bedroom is smaller than desired and contains limited closet space. As the home is a cape cod, there is no attic space; therefore, storage space is very limited. The existing partial basement is unfinished.

Our proposal includes a ± 740 s.f. addition to the south and a portion of the west side of the residence. Due to the existing condition floor plan, interior layout, and roof construction, the addition must be located as proposed which results in a minor encroachment into the side yard setback (south side). Living space will occur on the first floor only; the basement will be unfinished

storage space and a portion of the half-story will be unfinished attic/storage space. A front porch is also proposed, although the porch is located inside of the building envelope.

The added living space on the first floor will allow for a larger master bedroom with closet space, dedicated laundry room, living room, and office; our present-day living room, located off the existing kitchen, will be repurposed as a dining room.

The added living space is modest, practical, and is necessary for our family to live comfortably in our home. Below are our responses to the five (5) factors the Board utilizes to evaluate the application.

1. Whether an undesirable change will be produced in the character of the neighborhood or whether a detriment to nearby properties will be created by the granting of the variance.

The proposed addition and requested variance will not result in an undesirable change to the character of the neighborhood and will not create a detriment to nearby properties. The character and architectural style of the addition is consistent with the architecture of the existing residence and will only complement and add value to the neighborhood. The proposed addition and roof lines will provide symmetry and all building materials and colors will match the existing condition.

The adjacent residence to the south (81 Emery), which is a 2.5-story colonial with a ground floor footprint of $\pm 2,600$ s.f., will be approximately 46.4 feet from the south side of the proposed addition. The space between the two (2) homes is currently well landscaped and buffered, including mature shrubs and evergreen trees. There will be limited outdoor activity on the south side of the house as our outdoor living space will remain on the north side of the home and is blocked by the house itself. Limited windows are proposed on the south side of the home (three), all of which occur on the ground floor and one of which is a transom window. Additional landscaping will be proposed on the south side of the home, including shrubs, perennials, and small trees. The air conditioning condenser, which is currently located on the south side of the residence, will be relocated to the west side of the home along with an additional condenser and the existing generator; therefore, there will be no further encroachment into the setback from ancillary equipment and our neighbor will be buffered from any noise associated with these units.

2. Whether the benefit sought by the applicant can be achieved by some feasible method other than a variance.

The proposed location and size of the addition cannot be reduced or relocated in a manner that would reduce or eliminate the need for a variance. The size of the added living space is modest and is the minimum required by our family to live comfortably

within our home. The location of the addition is a direct result of the existing condition, existing floor plan layout, and configuration of the structure and rooflines. The addition is proposed to provide critical elements such as a larger master bedroom, laundry, dining room and office. Logically, these spaces should occur on the first floor and should be proximate or adjacent to existing compatible uses. Constructing the addition entirely outside of the setback would require relocating the master bedroom and rearranging interior first floor uses, which would be contrary to our objectives and would result in unattainable construction costs. Our master bathroom is proposed to remain as is; therefore, relocating the master bedroom is not practical. The existing building footprint and rooflines prevent the addition from being located entirely on the west side of the house (rear yard). Further, the present-day living room (future dining room) is located within an existing "great room" which has a cathedral ceiling; architecturally, this feature should be preserved and should remain a focal point within the home. Construction on the west side of the home would require the complete removal and reconstruction of the second-floor roof and likely the removal of the cathedral ceiling which would result in unattainable construction costs and an undesirable and fragmented interior layout.

3. Whether the requested variance is substantial.

The variance is not substantial. The side yard setback requirement is 15 feet, where 10 feet is proposed (5-foot variance proposed).

Approximately 201 s.f. or 27% of the proposed addition will be located within the side yard setback. The remainder of the property and residence is and will remain compliant with zoning.

The code allows for a side yard setback of 15 feet, which means that two (2) adjacent homes could be as close as 30 feet from each other and remain compliant. The proposed addition will leave a 46.4-foot buffer between the south side of our home and the residence located at 81 Emery Street. The buffer between the two (2) structures is well landscaped and will be further landscaped following construction.

Our home is approximately 1,800 s.f. in size, which is small in comparison to the homes within our neighborhood. Even after the addition is constructed, the size of the house will be average. This is confirmed when evaluating our building and development coverage. Given the size of the parcel, the District allows a maximum building coverage of 3,404.6 s.f., where 1,478 s.f. exists and 2,223 s.f. is proposed. Similarly, the maximum allowable development coverage is 40%, where 14% exists and 26.5% is proposed.

Impacts to the neighboring property to the south are negligible because of the height of the home and existing landscaping. While the District allows a maximum building height

of 2.5 stories and 35 feet, the existing residence and proposed addition is 1.5 stories and 15.1 feet. The height of the building and rooflines associated with a cape cod style home does not result in opposing exterior walls that could limit light or make the neighboring property feel enclosed. The height of the addition, varying rooflines, and incorporation of dormers are appropriate and have been designed to minimize impacts to our neighbor.

4. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

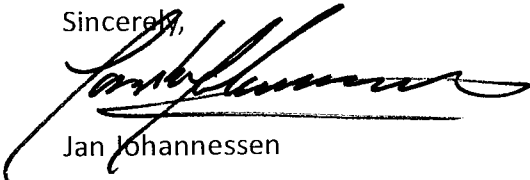
The proposed addition will provide no adverse environmental or physical impact. The proposed variance is a Type II Action under the State Environmental Quality Review Act (SEQRA), and no construction or disturbance is proposed within a wetland, wetland buffer, steep slope or other environmentally sensitive area. Stormwater runoff from new impervious cover (roof) will be directed to a proposed underground stormwater infiltration system. The addition is proposed within present day lawn or mulched beds and disturbance will be limited to approximately 1,500 s.f. All disturbed areas will be restored to lawn or landscaping. No trees will be removed as a result of the project and an existing tree on our neighbor's property will be protected during construction with fencing.

5. Whether the alleged difficulty was self-created (this will not necessarily preclude the granting of the area variance).

While the variance request is self-created since we, as the homeowners, are proposing the addition necessitating the variance, the variance is minimal and is required because of our family's needs. Further, the existing condition floor plan and building construction provided a practical difficulty preventing us from constructing the addition entirely within the building envelope while also achieving our goals and objectives.

We thank you for your time and consideration and look forward to appearing before the Board at your July 18th meeting. In the meantime, please contact me directly with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Jan Johannessen", written over a horizontal line.

Jan Johannessen

RECEIVED

Date: _____

JUN 23 2023

Case No.: _____

Fee: _____

Zoning Board of Appeals
Village/Town of Mount Kisco

Date Filed: _____

Village/Town of Mount Kisco
Municipal Building
104 Main Street, Mt. Kisco, NY 10549

**Zoning Board of Appeals
Application**

Appellant: Jan and Melissa Johannessen

Address: 70 Willetts Road, Mount Kisco

Address of subject property (if different): _____

Appellant's relationship to subject property: ☒ Owner _____ Lessee _____ Other _____

Property owner (if different): _____

Address: _____

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken from the decision of the Building Inspector, Peter Miley dated June 23, 2023. Application is hereby made for the following:

☒ Variation **or** _____ Interpretation of Section 110-8.C.1.f.3 of the Code of the Village/Town of Mount Kisco,

to permit the: ☒ Erection; _____ Alteration; _____ Conversion; _____ Maintenance of 1.5 story addition to a single-family residence a portion of which is proposed within the side yard setback

_____ in accordance with plans filed on (date) _____ for Property ID # 69.64-1-6 located in the RS-12 Zoning District.

The subject premises is situated on the West side of (street) Willetts Road _____ in the Village/Town of Mount Kisco, County of Westchester, NY.

Does property face on two different public streets? Yes ☒ No
(If on two streets, give both street names) _____

Type of Variance sought: _____ Use ☒ Area

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? No

Is there an approved site plan for this property? No in connection with a _____ Proposed or _____ Existing building; erected (yr.) _____

Size of Lot: 100 feet wide 184 feet deep Area 17,773 s.f

Size of Building: at street level 56 feet wide 25 feet deep

Height of building: 15'-1" Present use of building: Single-Family

Does this building contain a nonconforming use? No Please identify and explain: _____

Is this building classified as a non-complying use? No Please identify and explain: _____

Has any previous application or appeal been filed with this Board for these premises?
Yes/No? No

Was a variance ever granted for this property? No If so, please identify and explain: _____

Are there any violations pending against this property? No If so, please identify and explain: _____

Has a Work Stop Order or Appearance Ticket been served relative to this matter?
____ Yes or X No Date of Issue: _____

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? No

I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:

The following items **MUST** be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on June 23, 2023 upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- *j) At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- *k) A floor plan of the subject building with all the necessary measurements.
- *l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

*** Optional - As Needed**

I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.

[Signature]
(Appellant to sign here)

Sworn to before me this day of: June 22, 20 23

Notary Public, Vincenty Federici, Westchester
County, NY

VINCENZO FEDERICI
Notary Public, State of New York
No. 01FE6392056
Qualified in Dutchess County
Commission Expires May 20, 20 27

[TO BE COMPLETED IF APPELLANT IS NOT THE PROPERTY OWNER IN FEE]

State of New York }
County of Westchester } ss

Being duly sworn, deposes and say that he resides at _____ in the County of Westchester, in the State of New York, that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Mount Kisco, County of Westchester aforesaid and known and designated as number _____ and that he hereby authorized _____ to make the annexed application in his behalf and that the statements contained in said application are true.

[Signature]
(sign here)

AFFIDAVIT OF MAILING

STATE OF NEW YORK

}

}SS.:

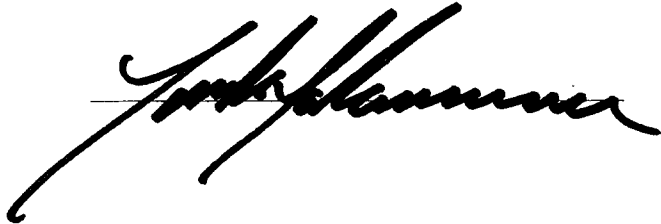
COUNTY OF WESTCHESTER

}

Jan Johannessen being duly sworn, deposes and says:

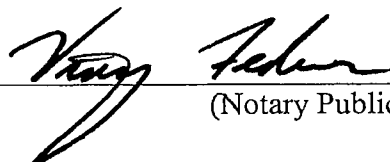
I reside at 70 Willetts Road, Mount Kisco, NY 10549

On June 23 20 23 I served a notice of hearing, a copy of which is attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B. I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.



Sworn to before me on this

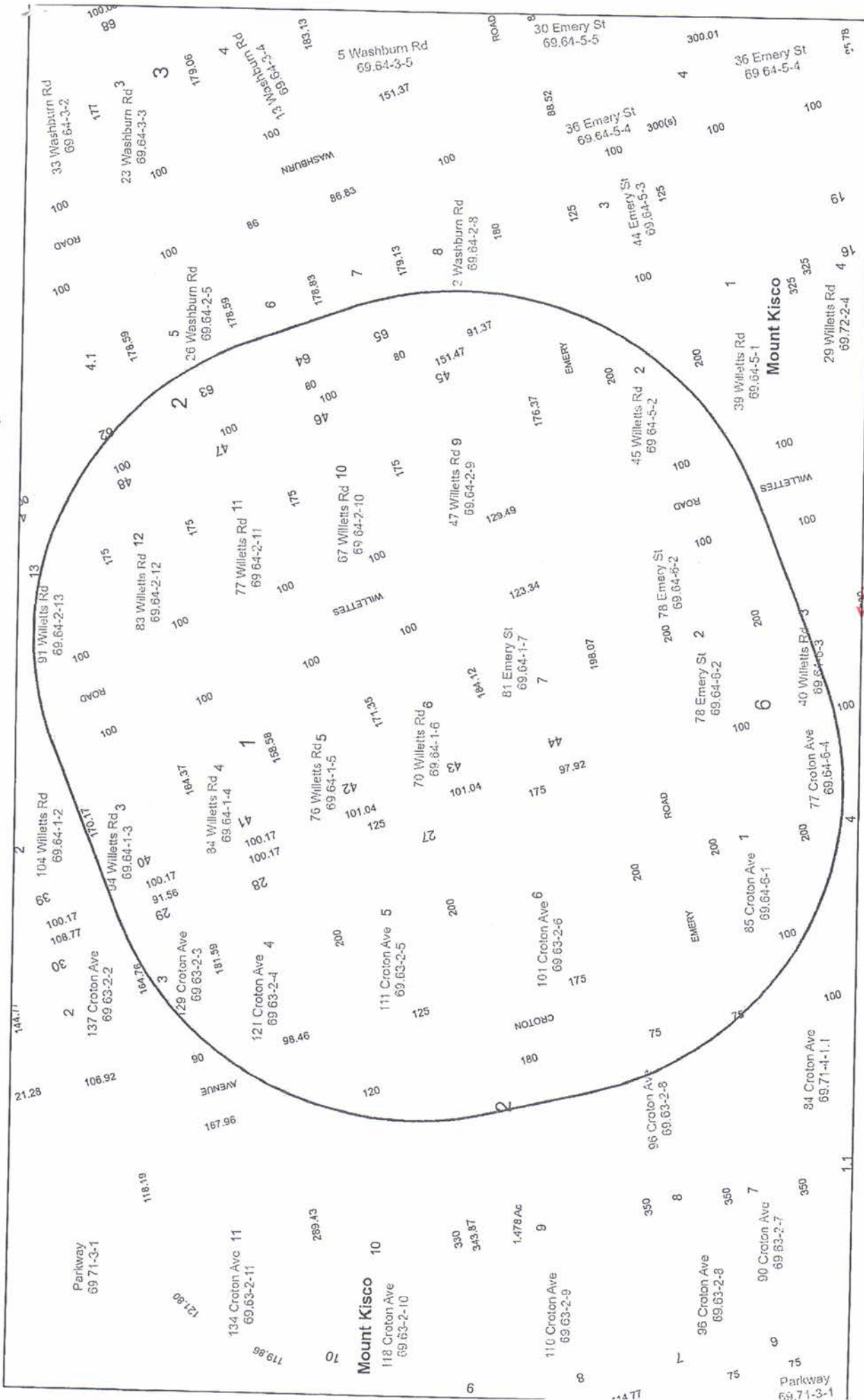
23 day of June 20 23


(Notary Public)

VINCENZO FEDERICI
Notary Public, State of New York
No. 01FE6392056
Qualified in Dutchess County
Commission Expires May 20, 2027

| OWNERNAME | PROPADDRESS | PROPCITY | PROPZIP | PROPPRINTKEY |
|--------------------------------|----------------|-------------|---------|--------------|
| Gallagher, Michelle L | 90 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-7 |
| Johannessen Jan K | 70 Willetts Rd | MOUNT KISCO | 10549 | 69.64-1-6 |
| Johnston, Christine A | 81 Emery St | MOUNT KISCO | 10549 | 69.64-1-7 |
| Castellitto, Richard | 84 Willetts Rd | MOUNT KISCO | 10549 | 69.64-1-4 |
| Ley David | 83 Willetts Rd | MOUNT KISCO | 10549 | 69.64-2-12 |
| Kiernan, John E | 110 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-9 |
| Greenberg David P | 76 Willetts Rd | MOUNT KISCO | 10549 | 69.64-1-5 |
| Edelman Judith West | 45 Willetts Rd | MOUNT KISCO | 10549 | 69.64-5-2 |
| May, Scott M | 77 Willetts Rd | MOUNT KISCO | 10549 | 69.64-2-11 |
| Justiniano, Jason | 14 Washburn Rd | MOUNT KISCO | 10549 | 69.64-2-7 |
| Kelley Peter T | 118 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-10 |
| Kerwar, Jason | 101 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-6 |
| Cutri Anthony J | 137 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-2 |
| Botti Walter | 94 Willetts Rd | MOUNT KISCO | 10549 | 69.64-1-3 |
| Brunelli Richard | 78 Emery St | MOUNT KISCO | 10549 | 69.64-6-2 |
| Cohen, Stephen | 39 Willetts Rd | MOUNT KISCO | 10549 | 69.64-5-1 |
| O'Reilly William | 67 Willetts Rd | MOUNT KISCO | 10549 | 69.64-2-10 |
| Kornreich Douglas L | 36 Washburn Rd | MOUNT KISCO | 10549 | 69.64-2-4.1 |
| Josette Delvecchio Irrev Trust | 96 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-8 |
| Boyle Kieran J | 111 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-5 |
| Starobin, Michael | 134 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-11 |
| Frawley, Michael C | 121 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-4 |
| Pasquale, Victor J | 40 Willetts Rd | MOUNT KISCO | 10549 | 69.64-6-3 |
| Baker Robert C | 2 Washburn Rd | MOUNT KISCO | 10549 | 69.64-2-8 |
| Weir Andrew | 85 Croton Ave | MOUNT KISCO | 10549 | 69.64-6-1 |
| Marlow Robert | 77 Croton Ave | MOUNT KISCO | 10549 | 69.64-6-4 |
| Sabia John A | 129 Croton Ave | MOUNT KISCO | 10549 | 69.63-2-3 |
| Sargisson William W | 47 Willetts Rd | MOUNT KISCO | 10549 | 69.64-2-9 |
| Du Terroil Jason M | 91 Willetts Rd | MOUNT KISCO | 10549 | 69.64-2-13 |
| Devoto, John | 26 Washburn Rd | MOUNT KISCO | 10549 | 69.64-2-5 |
| Saucci Janet M | 20 Washburn Rd | MOUNT KISCO | 10549 | 69.64-2-6 |

70 Willetts Rd. ID: 69.64-1-6 (Mount Kisco)



RECEIVED
JUN 23 2023
 Zoning Board
 Village/Town of Mount Kisco

June 14, 2023

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

Westchester County GIS
 GIS
<http://giswww.westchestergov.com>
 Michaelian Office Building
 148 Marline Avenue Rm 214
 White Plains, New York 10601

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of
Mount Kisco, New York will hold a Public Hearing on the 18th day of
July 20 23 at the Municipal Building, Mount Kisco, New York,
beginning at 7:00 PM pursuant to the Zoning Ordinance on the Appeal of
Jan and Melissa Johannessen

(Name of Applicant)
70 Willetts Road, Mount Kisco, NY 10549

(Address of Applicant)

from the decision of Peter J. Miley, Building Inspector, dated June 23, 2023
(Date of Denial Letter)
denying the application dated to permit the Construction of an addition to a single-family home
(Proposed Work)

The property involved is known as 70 Willetts Road, Mount Kisco
(Address of Property)

and described on the Village Tax Map as Section 69.64 Block 1 Lot 6
and is located on the west side of Willetts Road in a
east/west/n/s (Street Name)

RS-12 Zoning District. Said Appeal is being made to obtain a
variance from Section(s) 110-8.C.1.f.3 of the
(Identify specific zoning code section number(s))

Code of the Village/Town of Mount Kisco, which requires _____
a side yard setback of 15 feet where 10 feet is proposed on the south side of the
residence; a 5-foot side yard setback is required

Wayne Spector, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco



RECEIVED

JUL 05 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

AFFIDAVIT OF PUBLICATION FROM

State of Wisconsin
County of Brown, ss.:

On the 3 day of July, in the year 2023, before me, the undersigned, a Notary Public in and for said State, personally appeared Linda Tutt, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed, the instrument.

Linda Tutt being duly sworn says that he/she is the principal clerk of THE JOURNAL NEWS, a newspaper published in the County of Westchester and the State of New York, and the notice of which the annexed is a printed copy, on the editions dated :

Zone:
Westchester

Run Dates:
07/03/2023

Linda Tutt
Signature

Sworn to before me this 3 day of July, 2023

Vicky Felty
Notary Public, State of Wisconsin, County of Brown

979.25

VICKY FELTY
Notary Public
State of Wisconsin

My commission expires

Legend:

WESTCHESTER:

Amawalk, Ardsley, Ardsley on Hudson, Armonk, Baldwin Place, Bedford, Bedford Hills, Brewster, Briarcliff Manor, Bronxville, Buchanan, Carmel, Chappaqua, Cold Spring, Crompond, Cross River, Croton Falls, Croton on Hudson, Dobbs Ferry, Eastchester, Elmsford, Garrison, Goldens Bridge, Granite Springs, Greenburg, Hamison, Hartsdale, Hastings, Hastings on Hudson, Hawthorne, Irvington, Jefferson Valley, Katonah, Lake Peekskill, Larchmont, Lincolnville, Mahopac, Mahopac Falls, Mamaroneck, Millwood, Mohegan Lake, Montrose, Mount Kisco, Mount Vernon, New Rochelle, North Salem, Ossining, Patterson, Peekskill, Pelham, Pleasantville, Port Chester, Pound Ridge, Purchase, Purdys, Pulnam Valley, Rye, Scarsdale, Shenorock, Shrub Oak, Somers, South Salem, Tarrytown, Thornwood, Tuckahoe, Valhalla, Verplanck, Weccabuc, White Plains, Yorktown Heights, Yonkers

ROCKLAND:

Blauvelt, Congers, Garnerville, Haverstraw, Hillburn, Monsey, Nanuet, New City, Nyack, Orangeburg, Palisades, Pearl River, Piermont, Pomona, Sloatsburg, Sparkill, Spring Valley, Stony Point, Suffern, Tallman, Tappan, Thiells, Tomkins Cove, Valley Cottage, West Haverstraw, West Nyack

Ad Number: 0005748005

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 18th day of July 2023 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM pursuant to the Zoning Ordinance on the Appeal of Jan and Melissa Johannessen 70 Willetts Road, Mount Kisco, NY 10549 the decision of Peter J. Miley, Building Inspector, dated June 23, 2023 denying the application dated to permit the Construction of an addition to a single-family home The property involved is known as 70 Willetts Road, Mount Kisco and described on the Village Tax Map as Section 69.64 Block 1 Lot G and is located on the west side of Willetts Road in a RS-12 Zoning District. Said Appeal is being made to obtain a variance from Section(s) 110-8-C.1 .f.3 of the Code of the Village/Town of Mount Kisco, which requires a side yard setback of 15 feet where 10 feet is proposed on the south side of the residence; a 5-foot side yard setback is required.

Wayne Spector, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco

5748005

State of New York)
) ss:
 County of Westchester)

AFFIDAVIT OF POSTING

Gilmar Palacios Chin, being duly sworn, says that on the 10th day of July 2023, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building – _____X_____
 104 Main Street

Public Library _____X_____
 100 Main Street

Fox Center _____X_____

Justice Court – Green Street _____X_____
 40 Green Street

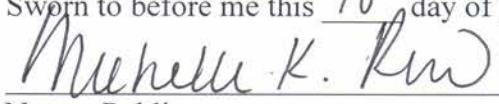
Mt. Kisco Ambulance Corp _____X_____
 310 Lexington Ave

Carpenter Avenue Community House _____X_____
 200 Carpenter Avenue

Leonard Park Multi Purpose Bldg _____X_____



 Gilmar Palacios Chin

Sworn to before me this 10th day of July 2023


 Notary Public

MICHELLE K. RUSSO
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 01RU6313298
 Qualified in Putnam County
 My Commission Expires 10-20-2026

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



581633689SDE001D

Westchester County Recording & Endorsement Page

Submitter Information

Name: Benchmark Title Agency, LLC
Address 1: 222 Bloomingdale Road, Suite 102
Address 2:
City/State/Zip: White Plains NY 10605

Phone: 914-250-2400
Fax:
Email: dmerola@benchmarkta.com
Reference for Submitter: BTA76465A

Document Details

Control Number: **581633689**
Package ID: 2018061200294001001

Document Type: **Deed, Correction (SDE)**
Document Page Count: **3** Total Page Count: **4**

Parties

☐ Additional Parties on Continuation page

1st PARTY

1: PSIMER CHRISTINE
2: COOPER CLARE M

- Individual
- Individual

2nd PARTY

1: JOHANNESSEN JAN K
2: JOHANNESSEN MELISSA A

- Individual
- Individual

Property

☐ Additional Properties on Continuation page

Street Address: 70 WILLETTS ROAD
City/Town: MOUNT KISCO

Tax Designation: 69.64-1-6
Village:

Cross-References

☐ Additional Cross-Refs on Continuation page

1: 581173162

2:

3:

4:

Supporting Documents

1: RP-5217

2: TP-584

Recording Fees

| | |
|--------------------------------|-----------------|
| Statutory Recording Fee: | \$40.00 |
| Page Fee: | \$20.00 |
| Cross-Reference Fee: | \$0.50 |
| Mortgage Affidavit Filing Fee: | \$0.00 |
| RP-5217 Filing Fee: | \$125.00 |
| TP-584 Filing Fee: | \$5.00 |
| Total Recording Fees Paid: | \$190.50 |

Transfer Taxes

| | |
|----------------------|-------------|
| Consideration: | \$25,000.00 |
| Transfer Tax: | \$100.00 |
| Mansion Tax: | \$0.00 |
| Transfer Tax Number: | 14223 |

Mortgage Taxes

Document Date:
Mortgage Amount:

JUN 23 2023

| | |
|---------------------|---------------|
| Basic: | \$0.00 |
| Westchester: | \$0.00 |
| Additional: | \$0.00 |
| MTA: | \$0.00 |
| Special: | \$0.00 |
| Yonkers: | \$0.00 |
| Total Mortgage Tax: | \$0.00 |

**Zoning Board of Appeals
Village/Town of Mount Kisco**

Dwelling Type:
Serial #:

Exempt: ☐

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/13/2018 at 10:52 AM
Control Number: **581633689**
Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

☐ Pick-up at County Clerk's office

Benchmark Title Agency, LLC
222 Bloomingdale Road, Suite 102

White Plains, NY 10605
Attn: Debbie Merola

BTA 76465

Correction Deed

THIS INDENTURE made the ^{As of} 5 day of June, 2018

BETWEEN

CHRISTINE P'SIMER AND CLARE M. COOPER
residing at 70 Willetts Road, Mount Kisco, New York 10549

party of the first part, and

JAN K. JOHANNESSEN AND MELISSA A. JOHANNESSEN, ^{husband and wife}
residing at 36 West Street, Mount Kisco, New York 10549

party of the second part,

WITNESSETH, that the party of the first part, in consideration of TEN dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Village/Town of Mount Kisco, County of Westchester, State of New York, commonly known as 70 Willetts Road, Mount Kisco, New York, designated on the tax map of the Village/Town of Mount Kisco as Section 69.64 Block 1 Lot 6, and being more particularly described on SCHEDULE A annexed hereto.

Being and intended to be the same premises conveyed to party of the first part by Deed dated 10/5/2016 and recorded 10/14/2016 in the office of the Westchester County Clerk, Division of Land Records in Control # 562323338.

*This deed is being rerecorded to correct deed recorded in Control # 581173162 because the consideration was stated incorrectly.

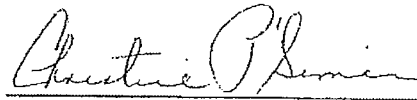
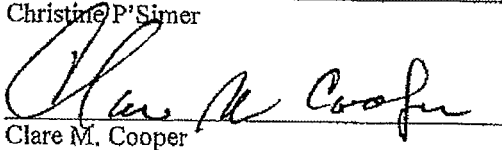
TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:


Christine P'Simer

Clare M. Cooper

Benchmark Title Agency, LLC

Title No. BTA76465

SCHEDULE A

ALL that certain plot, piece or parcel of land, situate, lying and being in the Village and Town of Mount Kisco, County of Westchester, State of New York shown and designated as Lot No. 43 upon a certain map entitled "Map No. 3 and a portion of Map No. 1 of property belonging to Mt. Kisco Heights Company, Towns of Bedford and New Castle, Westchester County, N.Y.", completed October 1917 by Frank G. Fowler, C.E. & S., Mount Kisco, New York, which said map was filed in the Office of the Register of the County of Westchester, now County Clerk's Office, Division of Land Records, on November 13, 1917 in Volume 47 of Maps at Page 75. Said lot being more particularly bounded and described as follows:

BEGINNING at a point on the westerly side of Willetts Road (a/k/a Willets Road), where the same is intersected by the dividing line of Lot Nos. 43 and 44 as shown on the above referenced map, which point is also distant 122.30 feet northerly from the corner formed by the intersection of the westerly side of Willetts Road and the northerly side of Emery Road;

RUNNING THENCE along the dividing line of Lot Nos. 43 and 44 on a course of South 80 degrees 25 minutes 20 seconds West for a distance of 184.12 feet to land now or formerly of Marcus;

THENCE along said lands, and continuing along lands now or formerly of Busman, on a course of North 2 degrees 18 minutes 00 seconds West for a distance of 100.81 feet to the dividing line of Lot Nos. 42 and 43;

THENCE along said dividing line, on a course of North 80 degrees 25 minutes 20 seconds East for a distance of 171.35 feet to the westerly side of Willetts Road;

THENCE along the same on a course of South 9 degrees 34 minutes 40 seconds East for a distance of 100.00 feet to the point and place of BEGINNING.

FOR
CONVEYANCING
ONLY The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property.

TO BE USED ONLY WHEN THE ACKNOWLEDGMENT IS MADE IN NEW YORK STATE

State of New York, County of Westchester

ss:

State of New York, County of

ss:

On the 4 day of June in the year 2018
before me, the undersigned, personally appeared

CHRISTINE P'SIMER AND CLARE M. COOPER

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

On the day of in the year 2018
before me, the undersigned, personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

(signature and office of individual taking acknowledgment)

Mark F. Farrell

Notary Public, State of New York

No. 02FA4760330

Qualified in Westchester County

Commission Expires 02/30/2018

(signature and office of individual taking acknowledgment)

TO BE USED ONLY WHEN THE ACKNOWLEDGMENT IS MADE OUTSIDE NEW YORK STATE

Commission Expires 9-30-2018

STATE OF

ss:

COUNTY OF

On the day of September in the year 2018 before me, the undersigned, personally appeared **MARY ANN RODRIGUES** personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the

in
(insert the City or other political subdivision) (and insert the State or Country or other place the acknowledgment was taken)

(signature and office of individual taking acknowledgment)

**BARGAIN & SALE DEED
WITH COVENANTS AGAINST GRANTORS' ACTS**

Title No. _____

CHRISTINE P'SIMER AND CLARE M. COOPER

TO

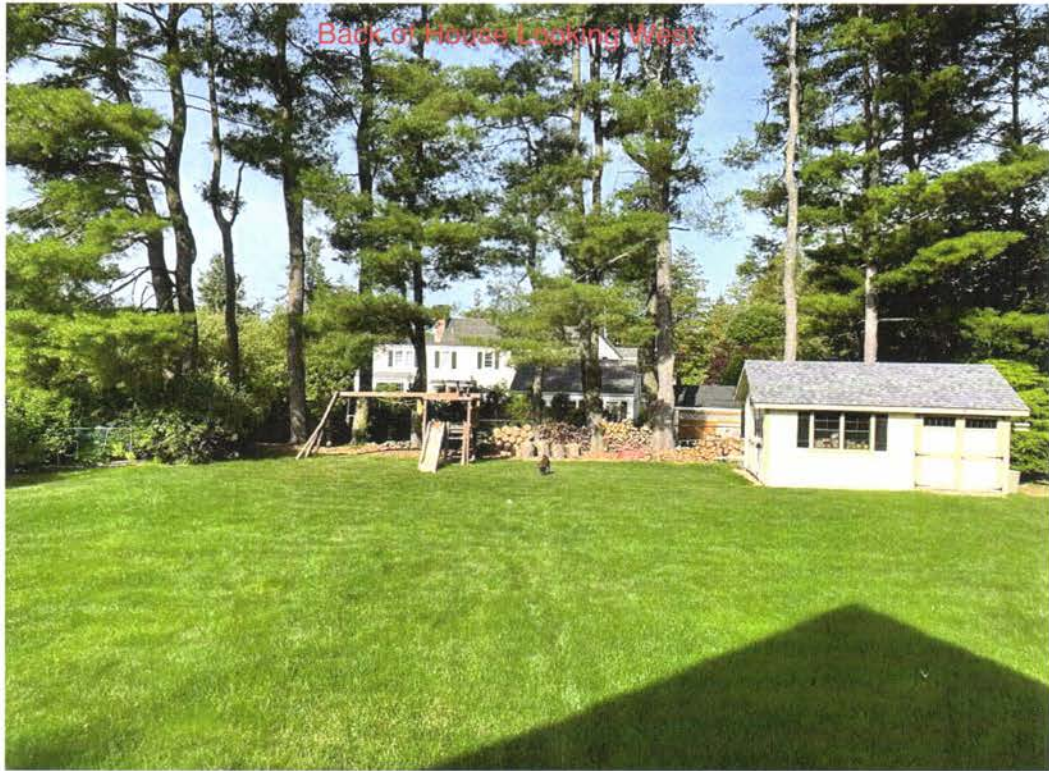
**JAN K. JOHANNESSEN AND
MELISSA A. JOHANNESSEN**

SECTION: 69.64
BLOCK: 1
LOT: 6
COUNTY OR TOWN: Westchester/Mount Kisco
STREET ADDRESS: 70 Willetts Road

RECORD AND RETURN BY MAIL TO:

STANDARD FORM OF NEW YORK BOARD OF TITLE UNDERWRITERS

**Benchmark Title Agency LLC
222 Bloomingdale Road
White Plains, NY 10605**





Front of House Looking Southwest



Front of House Looking Northwest



Opposite Side of Street Looking East



Opposite Side of Street Looking Northeast



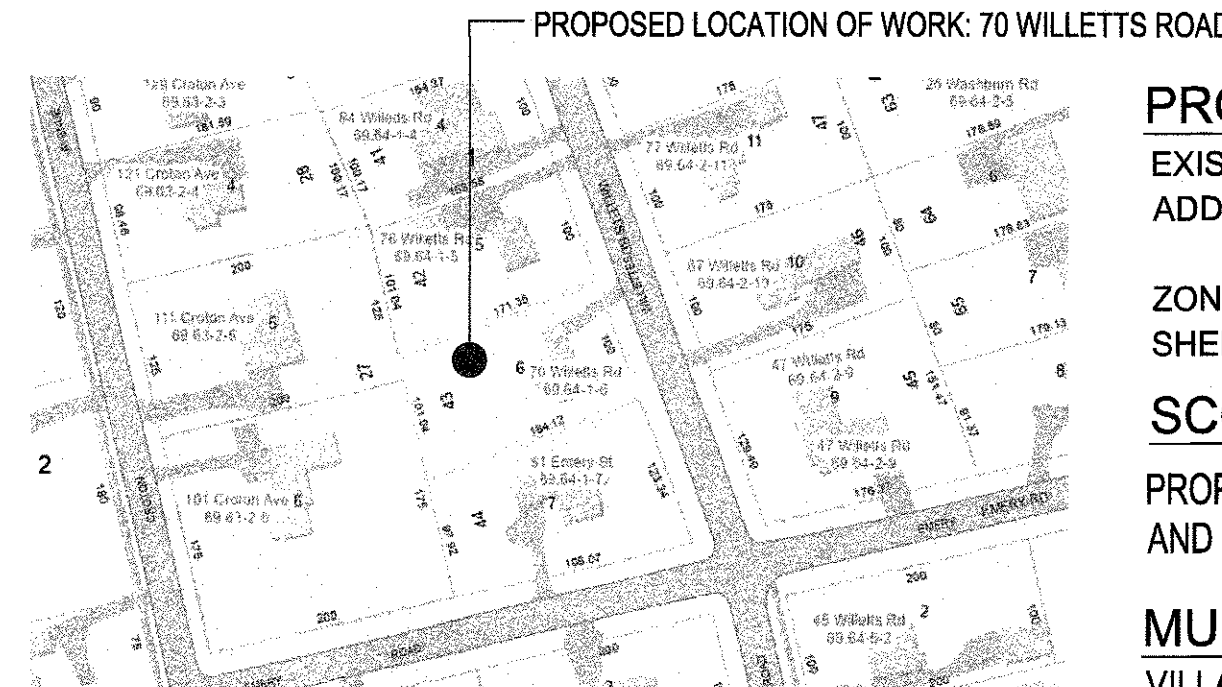


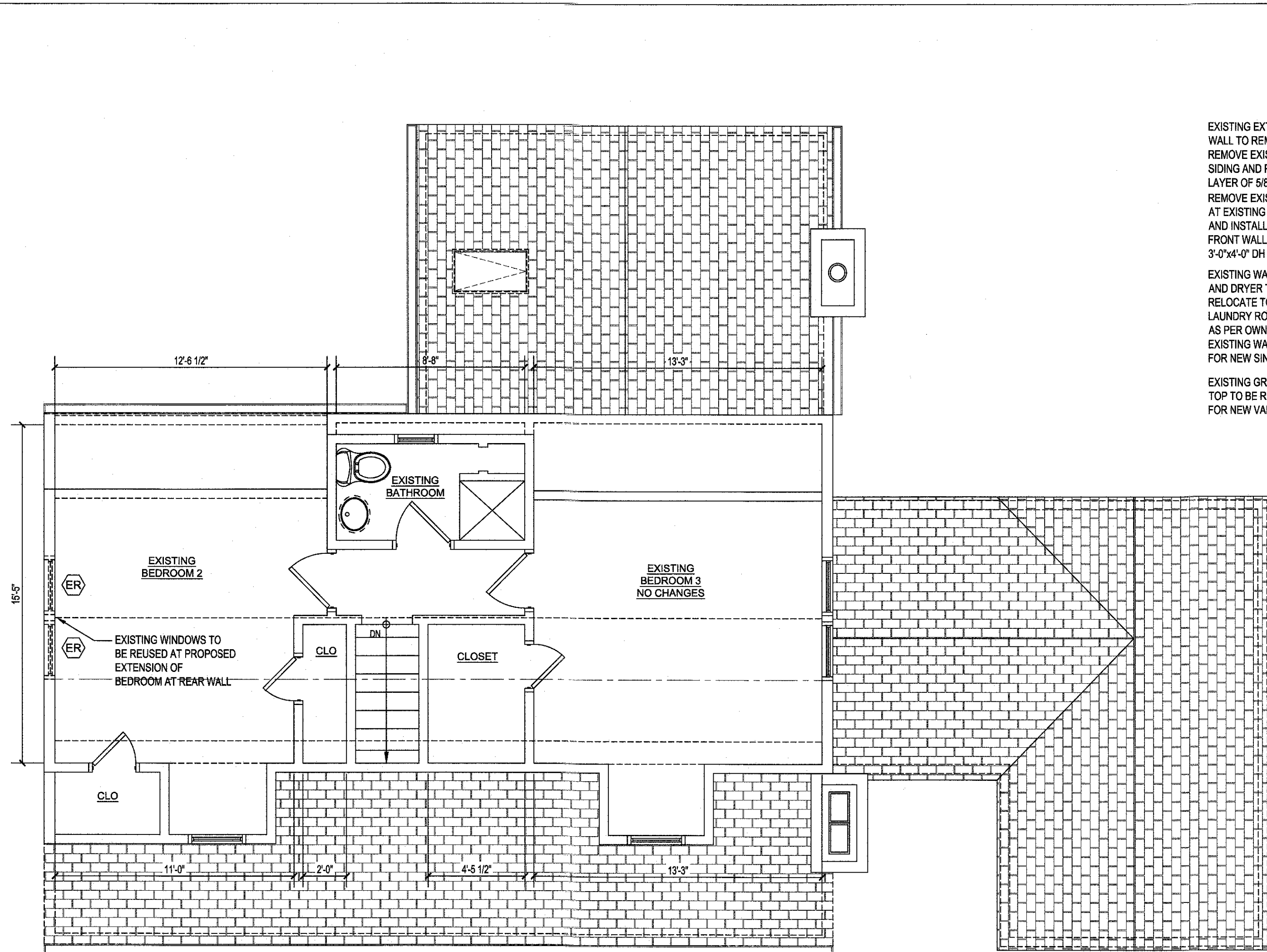
GENERAL NOTES

- CONDITIONS:
- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE **VILLAGE OF MOUNT KISCO** BUILDING CODE, THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, THE 2020 NYS ECCC AND ALL OTHER APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS REQUIRED. REQUIRED ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURERS RECOMMENDATIONS.
 - CONTRACTOR SHALL INCLUDE ALL MATERIALS, LABOR, INCIDENTALS AND SERVICES FOR SATISFACTORY COMPLETION OF THE WORK.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
 - CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT, WHETHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS FOR A COMPLETE AND PROPER FUNCTIONING OF THE ENTIRE PROJECT.
- INSURANCE:
- CONTRACTOR, AND HIS SUBCONTRACTORS, SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE JOB.
 - OWNER SHALL PROVIDE ADEQUATE PROPERTY INSURANCE ON VALUE OF THE CONSTRUCTION, INCLUDING FIRE & VANDALISM.
- PERMITS & SURVEYS
- CONTRACTOR SHALL FURNISH ALL PERMITS, LICENSES AND APPROVALS NECESSARY TO COMPLETE THE WORK.
 - BUILDING SHALL BE STAKED OUT BY A LICENSED SURVEYOR WHO SHALL FILE A FINAL SURVEY AT THE COMPLETION OF WORK.
 - CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK.
- SITE MAINTENANCE:
- JOB SITE TO BE KEPT CLEAN AT ALL TIMES. TRASH TO BE REMOVED FROM THE SITE WEEKLY OR STORED IN APPROVED DUMPSTER UNTIL FULL THAN THAN CARTED AWAY FROM THE SITE.
 - CARE SHALL BE TAKEN TO PROTECT THE TREES ON THE PROPERTY FROM THE METHODS AND MANNERS OF CONSTRUCTION. TRAFFICKING AND STORAGE OF MATERIALS. RETURN THOSE AREAS DAMAGED BY SUCH TO THEIR ORIGINAL CONDITION.
- EXCAVATION:
- FOUNDATION DESIGN BASED ON A MINIMUM 2 TON SOIL.
 - EXCAVATE TO FROST LINE (3'-6" MIN.) FOR ALL FOOTINGS PADS AND PIERS. NOTIFY THE ENGINEER OF ANY UNSUITABLE SUB-SOIL CONDITIONS IF ENCOUNTERED DURING EXCAVATION.
 - STOCKPILE ALL EXCAVATED SOIL FOR FUTURE REUSE AS FILL MATERIAL OR REMOVE AND DISPOSE OF AS REQUIRED.
- CONCRETE:
- ALL CONCRETE FOR FOOTINGS SHALL BE 4,000 PSI CONCRETE.
 - PROVIDE CONCRETE FOOTINGS AND PIERS OF SIZES AS SHOWN ON THE DRAWINGS.
 - ALL WORK SHALL BE IN ACCORDANCE WITH THE A.C.I. CODE 318 (LATEST EDITION).
 - ALL REINFORCEMENT SHALL BE PLACED FREE FROM RUST OR OTHER COATINGS THAT SHALL DESTROY THE BOND.
 - WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185 (LATEST EDITION).
- MASONRY:
- CONCRETE BLOCK TO BE HOLLOW LOAD BEARING BLOCK ASTM C-90-1985, TYPE N-I.
 - MORTAR SHALL COMPLY WITH ASTM C270-1986, TYPE N.
 - LIME SHALL BE TYPE S OR N A PER ASTM C207-1979.
 - SAND SHALL CONFORM TO ASTM C144-1984.
 - WATER SHALL BE CLEAN AND POTABLE.
 - ALL MASONRY TO BE LAID UP IN PORTLAND CEMENT MORTAR 1:3 MIX WITH 15% LIME MAXIMUM.
 - ANCHOR BOLTS TO BE 1/2" DIAMETER X 18" LONG AT 8'-0" O.C.
- STEEL:
- ALL STEEL SHALL CONFORM TO ASTM A-36 AND CONNECTIONS CONFORM TO A.I.S.C. LATEST EDITION.
 - ALL WELDING SHALL BE IN CONFORMANCE WITH THE AMERICAN WELDING SOCIETY STANDARDS.
 - ALL LINTELS SHALL BE 4" X 3-1/2" X 1/2" FOR MASONRY AND BRICK UNLESS OTHERWISE NOTED.
- FRAMING:
- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR No. 1 AND No. 2 COMMON HAVING A MIN. ALLOWABLE BENDING STRESS OF 900 PSI.
 - FLOOR LIVE LOAD 40 LBS/ SF.
 - ALL 2 X 4 WOOD SILLS SET ON CONCRETE TO BE PRESSURE TREATED. APPLY SILL SEAL.
 - DOUBLE ALL JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING. ALL GIRDERS TO BE BOLTED 2'-0" HIGH AND LOW WITH GALV. BOLTS 1/2" X LENGTH REQUIRED.
 - BRIDGING SHALL BE METAL SPACED 7'-0" O.C. MAXIMUM OR AS REQUIRED BY JOIST MANUFACTURER.
 - BLOCKING, BRIDGING, NAILERS, AND FURRING TO BE NO. 1 COMMON DOUGLAS FIR OR SOUTHERN PINE. LEDGER BOARDS WHERE REQUIRED SHALL BE SECURELY SET WITH JOISTS NOTCHED SLIGHTLY.
 - PROVIDE SOLID BLOCKING FOR BEARING OF ALL BEAMS AND POSTS.
 - SUBFLOORING: 1 LAYER OF 3/4" T & G APA RATED SHEATHING EXP-1 UNDERLAYMENT, FOR ALL FLOORS.
 - ALL EXTERIOR AND PLUMBING WALL STUDS TO BE 2 X 4 @ 16" O.C. INTERIOR WALLS TO BE 2 X 4 @ 16" O.C.
 - (2) 2 X 10 HEADER OVER ALL OPENINGS UNLESS OTHERWISE NOTED.
 - PLYWOOD SHEATHING TO BE 1/2" APA RATED SHEATHING EXT.
 - EXTERIOR TRIM, SOFFITS & FASCIA TO BE NO. 2 COMMON PINE.
- MOISTURE PROTECTION:
- ALL EXTERIOR OPENINGS TO RECEIVE ALUMINUM DRIP CAPS.
- DOORS:
- ALL ROOF INTERSECTIONS TO HAVE ALUM. OR COPPER FLASHING.
- WINDOWS:
- DOORS: ALL DOORS TO BE SELECTED BY OWNER
 - WINDOWS SHALL BE MANUFACTURED BY MARVIN (OR APPROVED EQUAL) IN SIZES AND MODELS AS CALLED FOR IN THE WOOD ULTIMATE COLLECTION. PROVIDE ALL INTEGRAL SCREENS. COLOR TO BE SELECTED BY OWNER. SEE WINDOW SCHEDULE.
- FINISHES:
- INTERIOR FINISHES: 5/8" GYPSUM DRYWALL TAPED, SPACKLED, AND SANDED. THREE COATS WITH METAL CORNER BEADS, WATERPROOF SHEETROCK OR "WONDERBOARD" AT ALL SHOWER AND TUB SURROUNDS WALLS AND CEILING OF GARAGE AND BOILER ROOM SHALL BE FINISHED WITH 5/8" FIRE CODE WALL BOARD.
 - INTERIOR TRIM: TO MATCH EXISTING.
 - CERAMIC TILE: THIN SET ORGANIC ADHESIVE, ON 1-1/2" CONCRETE BASE, COLORS AND PATTERNS AS SELECTED. MARBLE SADDLES AT BATHROOM DOOR. OWNER TO DETERMINE EXTENT OF TILE WORK.
- MILLWORK:
- KITCHEN CABINETS AND TOPS AND BATHROOM VANITIES AND TOPS TO BE FURNISHED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
 - PROVIDE AND INSTALL NYLON COATED METAL SHELVING, AS REQUIRED FOR CLOSETS. DETAILS TO BE WORKED OUT IN THE FIELD BY OWNER.
- PLUMBING:
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL TO SUPPLY A COMPLETE PLUMBING SYSTEM FOR THE ENTIRE ADDITION AND SHALL INCLUDE:
 - ALL WASTE AND VENT PIPING (COPPER - CASTIRON) INCLUDING:
 - WASTE AND VENT PIPING TO ALL FIXTURES.
 - TRAPS, HANGERS, ETC., AS REQUIRED.
 - HOUSE TRAP.
 - ALL HOT AND COLD WATER PIPING INCLUDING:
 - COPPER PIPING FOR HOT AND COLD WATER (1/2" MIN.) TO ALL FIXTURES AT BATHROOMS, KITCHEN AND WASHING MACHINE.
 - VALVES AT ALL FIXTURES.
 - INSULATION FOR ALL HOT AND COLD WATER PIPING.
 - ALL GAS PIPING INCLUDING: (IF APPLICABLE)
 - PIPING TO RANGE.
 - ALL CONTROLS, VALVES AND MISCELLANEOUS EQUIPMENT REQUIRED.
 - PROVIDE ALL PERMITS, PAY ALL FEES AND OBTAIN ALL CERTIFICATES OF COMPLETION AS REQUIRED BY THE LOCAL CODES. ALL WORK TO BE DONE BY PLUMBER'S PROPERLY LICENSED.
 - ADHERE TO ALL APPLICABLE STATE, NATIONAL AND LOCAL CODES. ALL PIPING IN UNHEATED AREAS SHALL BE INSULATED.
 - GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE (1) YEAR.
- ELECTRICAL:
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL TO SUPPLY A COMPLETE ELECTRICAL SYSTEM FOR THE ENTIRE ADDITION AND SHALL INCLUDE:
 - WIRING FOR ALL CEILING LIGHTS AND OUTLETS AS REQUIRED BY CODE AND AS DIRECTED BY OWNER.
 - ALL WORK SHALL CONFORM TO THE NEC, AND ANY AND ALL OTHER CODES OR AGENCIES HAVING JURISDICTION.
 - INSTALL ALL LIGHT FIXTURES, OUTLETS AND SWITCHES AS CALLED FOR ON THE DRAWINGS. INSTALL GROUND FAULT CIRCUIT IN KITCHEN, OUTSIDE AND OTHER LOCATIONS AS REQUIRED BY CODE. PROVIDE ALL RECEPTACLES, SWITCHES, COVER PLATES AND DEVICES, WIRING TO EQUIPMENT, EXHAUST FANS, TV ANTENNA OR CABLE, ETC...
 - COORDINATE THE INSTALLATION OF THE TELEPHONE BEFORE CLOSING UP THE WALLS.
 - PROVIDE AND INSTALL ALL ELECTRICAL WORK AS REQUIRED BY OWNER. INDICATED HEREIN. ALL WORK SHALL CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF ALL INSPECTION CERTIFICATES, CONNECTING ALL APPLIANCES, FIXTURES AND ELECTRICAL EQUIPMENT SUPPLIED BY OWNER.

PROPOSED SIDE AND REAR ONE STORY ADDITION AND RENOVATION TO EXISTING SINGLE FAMILY DWELLING LOCATED AT : 70 WILLETTS ROAD, MT KISCO NY 10549

OWNER: JAN AND MELISSA JOHANNESSEN





EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: ALL DIMENSION TO BE FIELD VERIFIED BY ALL TRADES AND VENDORS

| DEMOLITION LEGEND | |
|-------------------|---|
| SYMBOL | DESCRIPTION |
| | EXISTING EXTERIOR WALLS TO REMAIN. |
| | EXISTING INTERIOR WALLS TO REMAIN. |
| | EXISTING WALLS AND ITEMS TO BE REMOVED. REFER TO DEMOLITION NOTES AND PLANS FOR SCOPE OF SPECIFICATIONS |
| | EXISTING WINDOW AND DOORS TO REMAIN |
| | EXISTING WINDOWS AND DOORS TO BE REMOVED. REMOVE HEADERS AS REQUIRED. PROVIDE SHORING AS REQUIRED |
| | EXISTING WINDOWS AND DOORS TO BE REUSED. |

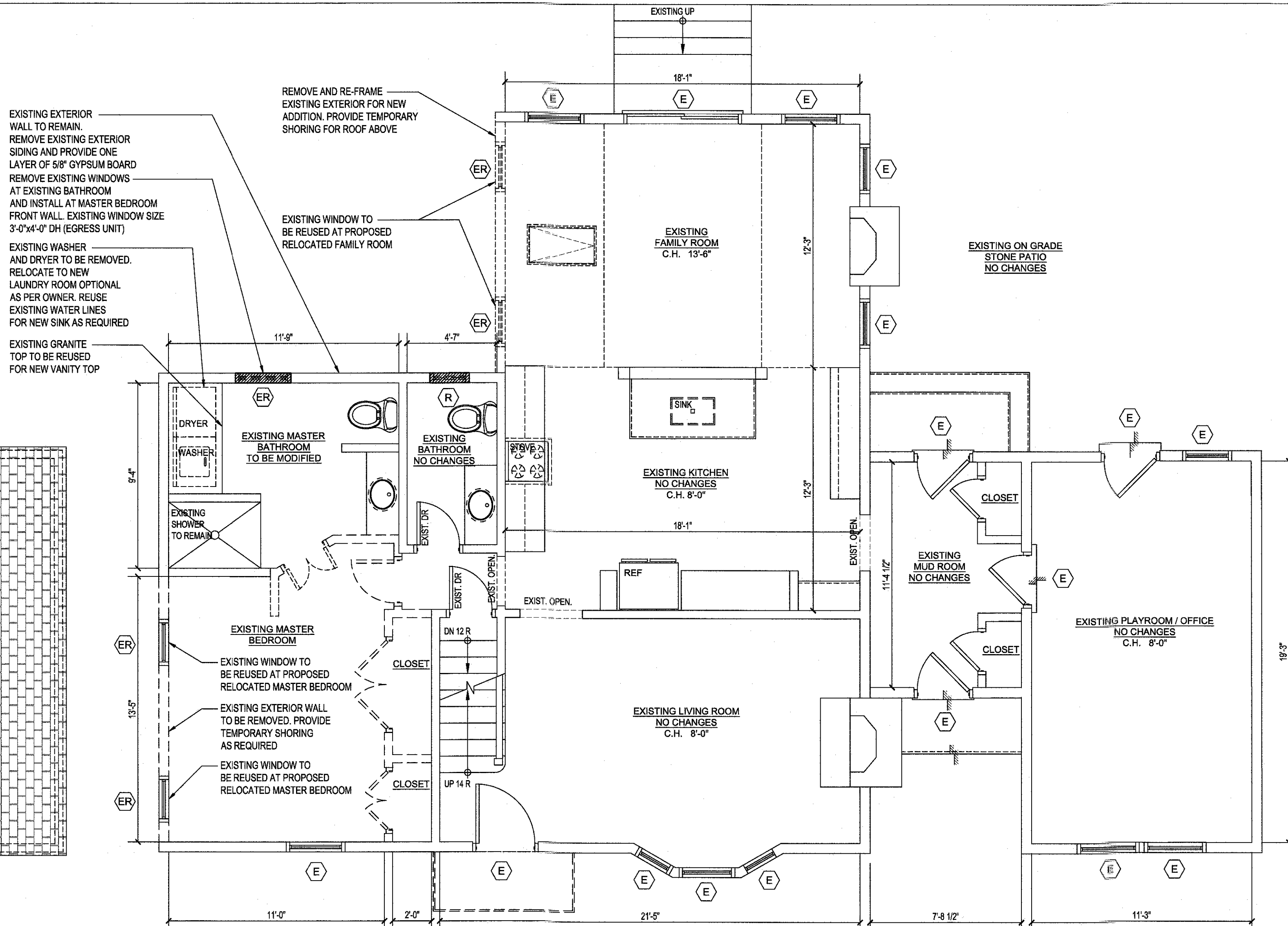
NOTE:
CONTRACTOR SHALL OBTAIN A PERMIT WITH THE VILLAGE OF MOUNT KISCO FOR AN ON-STREET CONTAINER FOR DEMOLITION DEBRIS AS REQUIRED.

SHORING NOTES:

- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AS REQUIRED BY CODE PRIOR TO REMOVAL OR DEMOLITION OF ANY EXISTING LINTELS, BEAMS, BEARING WALLS, ETC.
- CONTRACTOR SHALL PROPERLY SHORE, BRACE, SUPPORT AND MAKE SAFE ALL FLOORS, ROOF, WALLS AND FOUNDATIONS DURING CONSTRUCTION AS JOB CONDITION REQUIRE.
- CONTRACTOR SHALL PROVIDE SHORING SYSTEMS AND SEQUENCE OF CONSTRUCTION TO THE ENGINEER FOR APPROVAL.
- CONTRACTOR SHALL SUBMIT DESIGN CALCULATIONS AND DRAWINGS AS PREPARED BY LICENSED PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL BY ARCHITECT OF RECORD.
- CONTRACTOR SHALL PROCEED WITH FABRICATION AND ERECTION OF SHORING ONLY AFTER ARCHITECT'S REVIEW IS FINALIZED.
- SHORING DESIGN SHALL ADDRESS CONSTRUCTION SEQUENCE AND SHALL BE DESIGNED TO SUPPORT THE ENTIRE WEIGHT OF THE FLOORS PRIOR TO LOAD TRANSFER WITH APPROPRIATE FACTORS OF SAFETY.
- CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS IN ADVANCE OF ALL OPERATIONS WHICH REQUIRE CONTROLLED INSPECTIONS.
- HEAVY DUTY SHORING POSTS, MIN. 25 K CAPACITY SHALL BE USED AS ACTIVE SHORING SYSTEM TO SUSTAIN GRAVITY LOAD DURING CONSTRUCTION.
- SHORING REMOVAL SEQUENCE SHALL BE CLEARLY INDICATED ON SHORING DRAWINGS.

DEMOLITION NOTES:

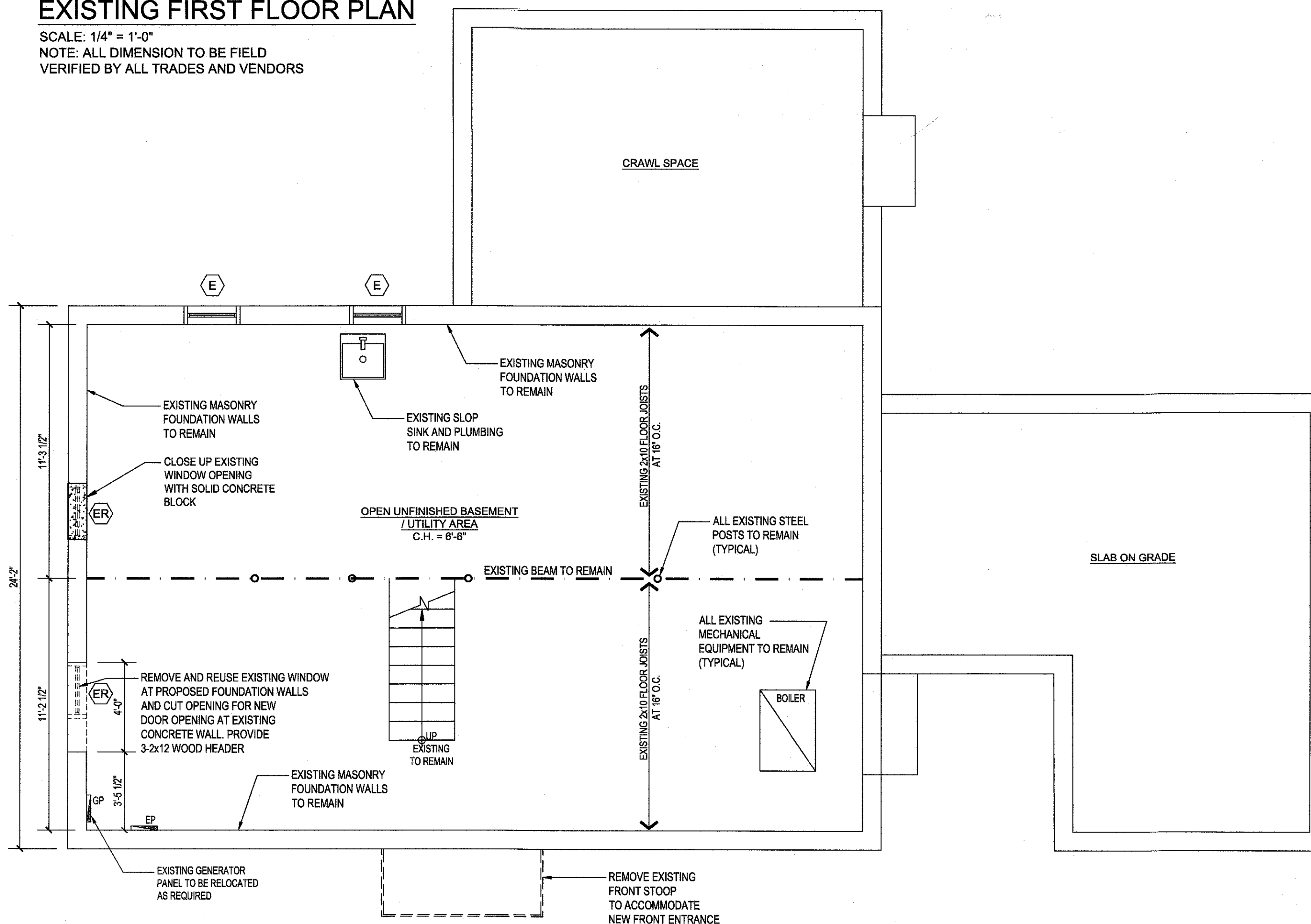
- GENERAL**
 - THE CONTRACTOR SHALL THOROUGHLY INSPECT THE PREMISES TO VERIFY EXISTING CONDITIONS AND THE FULL SCOPE OF THE WORK.
 - THE SCOPE OF DEMOLITION, REMOVAL, AND PATCHING WORK TO BE PERFORMED SHALL NOT BE LIMITED TO THAT WHICH IS INDICATED ON THE DRAWINGS OR NOTED IN THE SPECIFICATIONS, TO FACILITATE THE NEW CONSTRUCTION WORK SHOWN ON THE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS.
- DEMOLITION AND REMOVALS**
 - PROCEDURES: THE PROCEDURES INVOLVING ALL TRADES, PROPOSED FOR THE ACCOMPLISHMENT OF THE REMOVAL AND REPLACEMENT WORK SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, CAREFUL REMOVAL AND DISPOSAL OF MATERIALS SPECIFIED TO BE DISPERSED OF OR SALVAGED, PROTECTION OF PROPERTY WHICH IS TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS AND TIMELY DISCONNECTION OF UTILITY SERVICES. ANY UTILITY SERVICE, ELECTRIC OR MECHANICAL WORK DISCONNECTED SHALL BE RECONNECTED OR RE-INSTALLED WITH ALL NECESSARY MODIFICATIONS TO SUIT NEW WORK. SPECIAL CARE AND PROTECTION SHALL BE EXERCISED AT OCCUPIED SECTIONS OF THE BUILDING AND ESPECIALLY IN MAINTAINING PROPER OCCUPANT SAFETY AND ACCESSIBILITY.
 - PORTIONS OF THE EXISTING STRUCTURE WHERE EXISTING WORK IS TO BE DEMOLISHED OR REMOVED, AND WHERE NEW WORK IS TO BE DONE, CONNECTIONS MADE, MATERIALS HANDLED, OR EQUIPMENT MOVED AND RELOCATED, SHALL BE TEMPORARILY PROTECTED. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURES AND THE INTERIORS INCLUDING MECHANICAL-ELECTRICAL WORK OR CONTENTS BY REASON OF INSUFFICIENCY OF SUCH PROTECTION.
 - PROVIDE AND MAINTAIN ADEQUATE LIGHTS, GUARDS, BARRICADES AND OTHER TEMPORARY PROTECTION TO PREVENT INJURY TO PERSONS AS REQUIRED BY FEDERAL AND/OR LOCAL LAWS.
 - WHERE ALTERATIONS AND/OR REMOVALS OCCUR, OR NEW AND OLD WORK JOIN, THE LOCAL AREAS OF SURFACES AND IMMEDIATE ADJACENT SURFACES OR SO MUCH THEREOF AS IS REQUIRED BY THE INVOLVED CONDITIONS, SHALL BE CUT, REMOVED PATCHED TO MATCH ADJACENT SURFACES, REPAIRED, OR REFINISHED. THE MATERIALS AND WORKMANSHIP EMPLOYED IN THE WORK INVOLVING NEW CONSTRUCTION UNLESS OTHERWISE SHOWN OF SPECIFIED, SHALL CONFORM TO THAT OF ORIGINAL WORK.
 - EXISTING UTILITIES: REMOVE ALL EXISTING UTILITIES AS INDICATED OR AS NECESSARY IN ORDER TO PROPERLY PROCESS THE WORK. WHEN UTILITY LINES ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE DRAWINGS, THEY SHALL BE RELOCATED WHEN NECESSARY TO PREVENT INTERFERENCE WITH THE NEW CONSTRUCTION. CONTRACTOR SHALL CONSULT ARCHITECT PRIOR TO REPLACEMENTS SUBSEQUENT TO COMPLETION OF THE WORK.
 - DISPOSITION OF TREES IF REQUIRED SHALL BE COORDINATED WITH OWNER.
 - ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AGAINST ANY DAMAGE DURING DEMOLITION AND CONSTRUCTION.



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: ALL DIMENSION TO BE FIELD VERIFIED BY ALL TRADES AND VENDORS



EXISTING BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: ALL DIMENSION TO BE FIELD VERIFIED BY ALL TRADES AND VENDORS

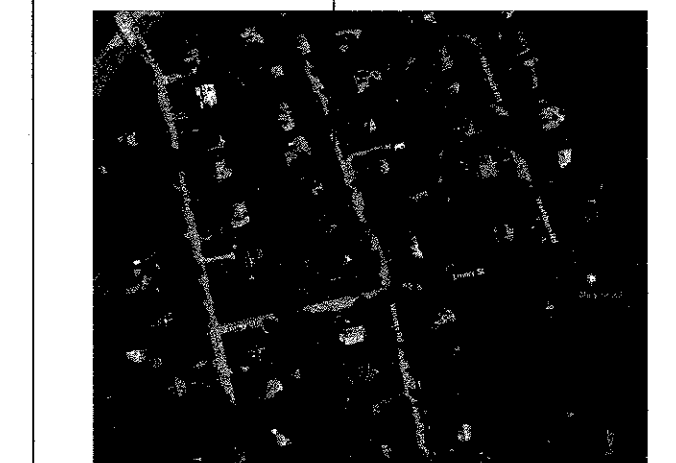
GENERAL NOTE

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THIS DRAWING AND/OR RELATED SPECIFICATION. ALL ALTERATIONS MUST BE MADE IN COMPLIANCE WITH THE NEW YORK STATE EDUCATION LAW. THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS HEREON ASSUMES NO RESPONSIBILITY FOR ANY SUCH ALTERATION OR RE-USE WITHOUT HIS CONSENT.

KEY PLAN:

LOCATION OF WORK:

70 WILLETT'S ROAD



| REVISION # | REVISION | DATE |
|------------|--------------------------|------------|
| 1 | CLIENT REVIEW | 01/19/2023 |
| 2 | CLIENT REVIEW | 02/15/2023 |
| 3 | BID SET | 03/28/2023 |
| 4 | BUILDING DEPT FILING SET | 06/14/2023 |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

| LIST OF DRAWINGS | |
|------------------|--|
| NO. | NAME |
| T-1.0 | TITLE SHEET, GENERAL NOTES, MAPS, SITE PLAN, ZONING ANALYSIS AND PROPERTY INFO |
| S-1.0 | DRAINAGE SITE PLAN, STORM WATER ANALYSIS AND DETAILS |
| D-1.0 | EXISTING / REMOVAL FLOOR PLANS |
| A-1.0 | PROPOSED BASEMENT FLOOR PLAN, LEGEND AND SCHEDULES |
| A-2.0 | PROPOSED FIRST FLOOR PLAN, WALL DETAIL, WINDOW SCHEDULE, LEGENDS AND NOTES |
| A-3.0 | PROPOSED SECOND FLOOR PLAN, ROOF PLAN AND DETAILS |
| A-4.0 | PROPOSED ELEVATIONS |
| A-5.0 | CROSS SECTION, WALL DETAIL AND FRAMING DETAILS |
| A-6.0 | LIGHTING, POWER PLANS AND DETAILS |

OWNER:
JAN AND MELISSA JOHANNESSEN
70 WILLETT'S ROAD,
MOUNT KISCO NY 10549

SCOPE OF WORK:
PROPOSED SIDE AND REAR ONE STORY
ADDITION AND RENOVATIONS TO EXISTING
SINGLE FAMILY DWELLING LOCATED AT:
70 WILLETT'S ROAD, MOUNT KISCO NY 10549
SBL: 69.64-1-6

TITLE OF DRAWING:

**EXISTING / REMOVAL
FLOOR PLANS**

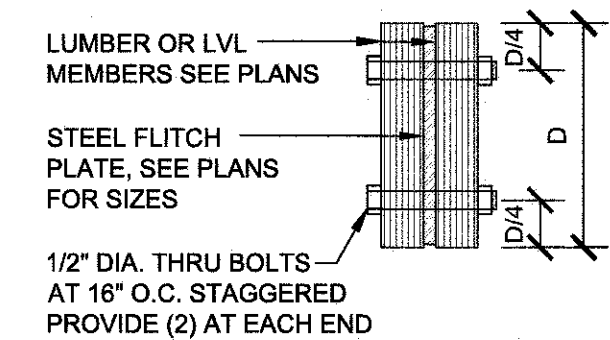
| | |
|-------------------|--|
| SEAL / SIGNATURE: | PROJECT NO: |
| | 22-097 |
| | DATE: |
| | 12/30/2022 |
| | DWG SCALE: |
| | AS INDICATED ON PLANS DO NOT SCALE DRAWINGS |
| | DRAWN BY/CHECKED BY: |
| | LL / MW |

DRAWING NO:
D-1.0

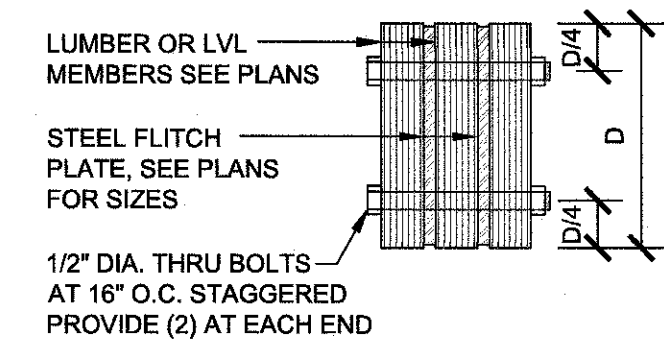
| WOOD HEADER SCHEDULE - U.O.N. - SEE PLANS FOR ADDITIONAL INFORMATION | |
|--|---------|
| OPENING WIDTH | SIZE |
| 2'-0" TO 3'-11" | (2)2X10 |
| 4'-0" TO 6'-0" | (2)2X12 |

| BEAM SCHEDULE - U.O.N. - SEE PLANS FOR ADDITIONAL INFORMATION | |
|---|---|
| BEAM DEFINITION | SIZE |
| #BM1 | (2) 1-3/4"x8-1/4" 2.0E FLUSH LVL W/ 1/2"x2" STL FLITCH PLATE BW |
| #BM2 | (2) 1-3/4"x8-1/4" 2.0E FLUSH LVL |
| #BM3 | 3-2x10 FLUSH BM |
| #BM4 | 2-2x10 FLUSH STAIR HEADER |
| #BM5 | (2) 1-3/4"x7-1/4" 2.0E FLUSH LVL W/ 1/2"x2" STL FLITCH PLATE BW |

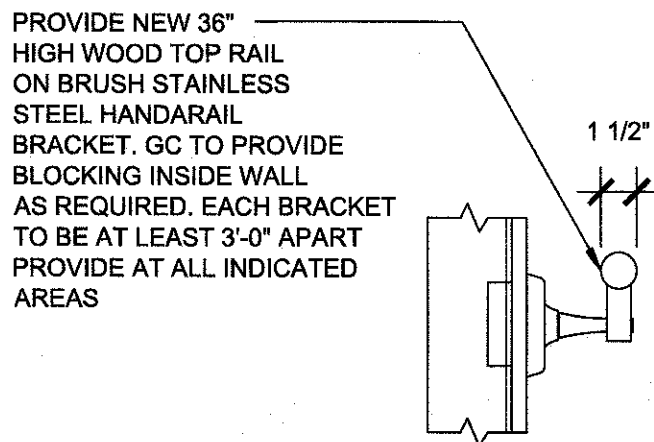
| FRAMING LEGEND: | |
|--|--|
| | DENOTES SOLID STUDS FROM ABOVE PROVIDE SOLID BLOCKING UNDER |
| | DENOTES SOLID STUDS AT FLOOR LEVEL. GC TO PROVIDE & / OR VERIFY SOLID BLOCKING UNDER STUDS TO TRANSFER LOADS TO FOOTINGS |
| U.O.N. UNLESS OTHERWISE NOTED ON PLANS | |



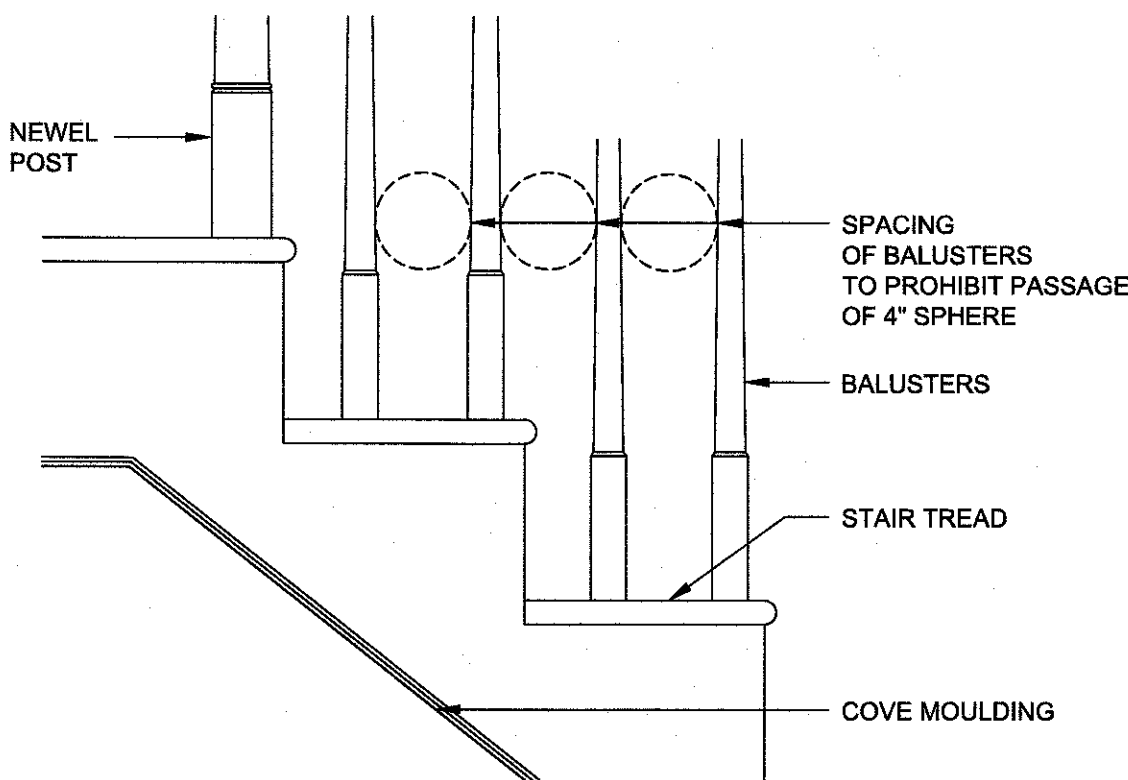
STEEL FLITCH BEAM DETAIL - 2 PLIES / 1 PLATE



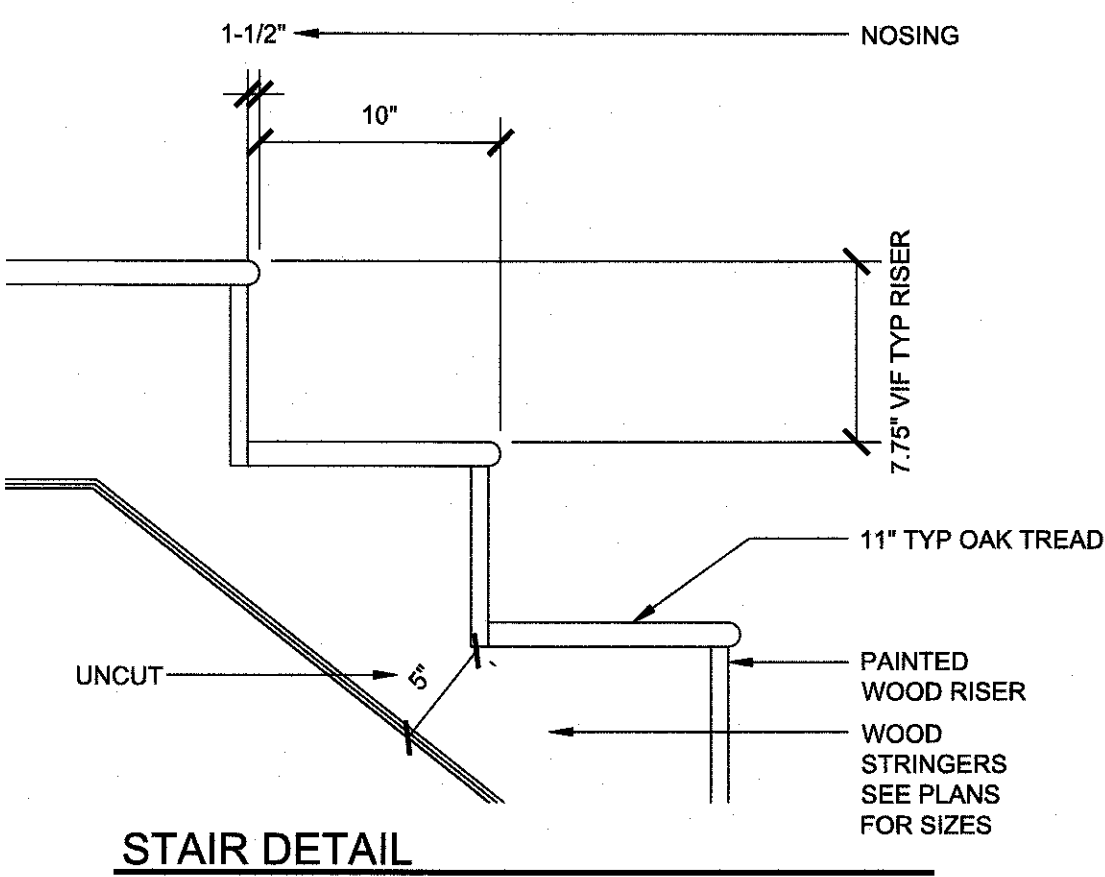
STEEL FLITCH BEAM DETAIL - 3 PLIES / 2 PLATES



TYPICAL WALL MOUNT RAIL DETAIL



TYPICAL RAIL BALUSTER DETAIL



STAIR DETAIL

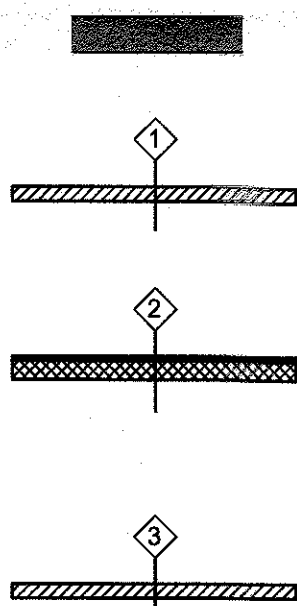
| FRAMING PLAN LEGEND: | |
|----------------------|--|
| | INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING |
| | INDICATES STEEL BEAM OR LVL BEAM (AS NOTED ON PLANS) |
| PA | CONTINUOUS POST FROM ABOVE - SEE NOTES ON PLANS FOR SIZE |
| P1 | BUILT-UP SOLID WOOD POST - SEE NOTES ON PLANS FOR SIZE |
| PU | POST-UP SOLID WOOD POST FROM ABOVE - SEE NOTES ON PLANS FOR SIZE |
| | STEEL COLUMN - DIAMETER AS INDICATED ON PLANS AND DETAILS |
| | BEARING PLATE LOCATION & BEAM POCKET LOCATION - SEE NOTES AND DETAILS FOR SIZE AND BOLTING INFO. |
| | WOOD PARTITIONS |
| | BEARING WALL |

| POST SCHEDULE (U.O.N.): | | |
|-------------------------|---|-----------------------------------|
| MARK | SIZE | TOP CONNECTION |
| P1 | 4X4 or 2 - 2X6 or 2-2X4 | 2 - SIMPSON "A35" FRAMING ANCHORS |
| P2 | 4X6 or 2 - 2X6 or 3-2X4 | 2 - SIMPSON "A35" FRAMING ANCHORS |
| P3 | 6X6 or 3 2x6 or 5- 2x4 | 4 - SIMPSON "A35" FRAMING ANCHORS |
| P4 | 5 1/4 x 5 1/4 PSL | 4 - DIAGONAL LEDGER LOCK SCREWS |
| PU | POST UP (SEE SIZE FRAMING ON PLANS & ABOVE) | |

JACK & STUDS ARE CONSIDERED PART OF HEADERS POSTS. PSL = PARALLAN BY TRUSJOIST OR APPROVED EQ. POSTS SHALL REST ON GIRDERS, FOUNDATION OR APPROVED SOLID BLOCKING. ALL OTHER POSTS NOT SHOWN ON PLAN SHALL BE A MINIMUM 2 - 2X4 STUDS.

| LVL NOTE : | |
|--|--|
| ALL DESIGNATED LVL'S SHALL BE 1.9E "MICROLAM" BY "TRUS JOIST" WITH A FIBER STRESS OF Fb = 2,600 P.S.I. | |

LEGEND AND SYMBOLS:



FOUNDATION WALLS:
10" CONCRETE BLOCK FOUNDATION TO BEAR ON 24" WIDE POURED CONCRETE FOOTING WITH (3) #4 RE-BARS MIN. 42" BELOW GRADE

NON RATED INTERIOR WALLS:
2x4 WOOD STUDS AT 16" O.C. W/ ONE LAYER OF 1/2" GYPSUM WALL BOARD INTERIOR FINISH. "TYVEK" BUILDING WRAP OVER OSB PLYWOOD SHEATHING AND NEW CEDAR SIDING TO MATCH EXISTING.

INTERIOR PLUMBING WALLS:
2x6 WOOD STUDS AT 16" O.C. W/ ONE LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD ON EACH SIDE. **NON RATED**

FLOOR DRAIN

DOOR TAG

WINDOW TAG

SMOKE DETECTOR (110v) HARD-WIRED INTERCONNECTED W/ ALL OTHER SMOKE DETECTORS WITH BATTERY BACK-UP

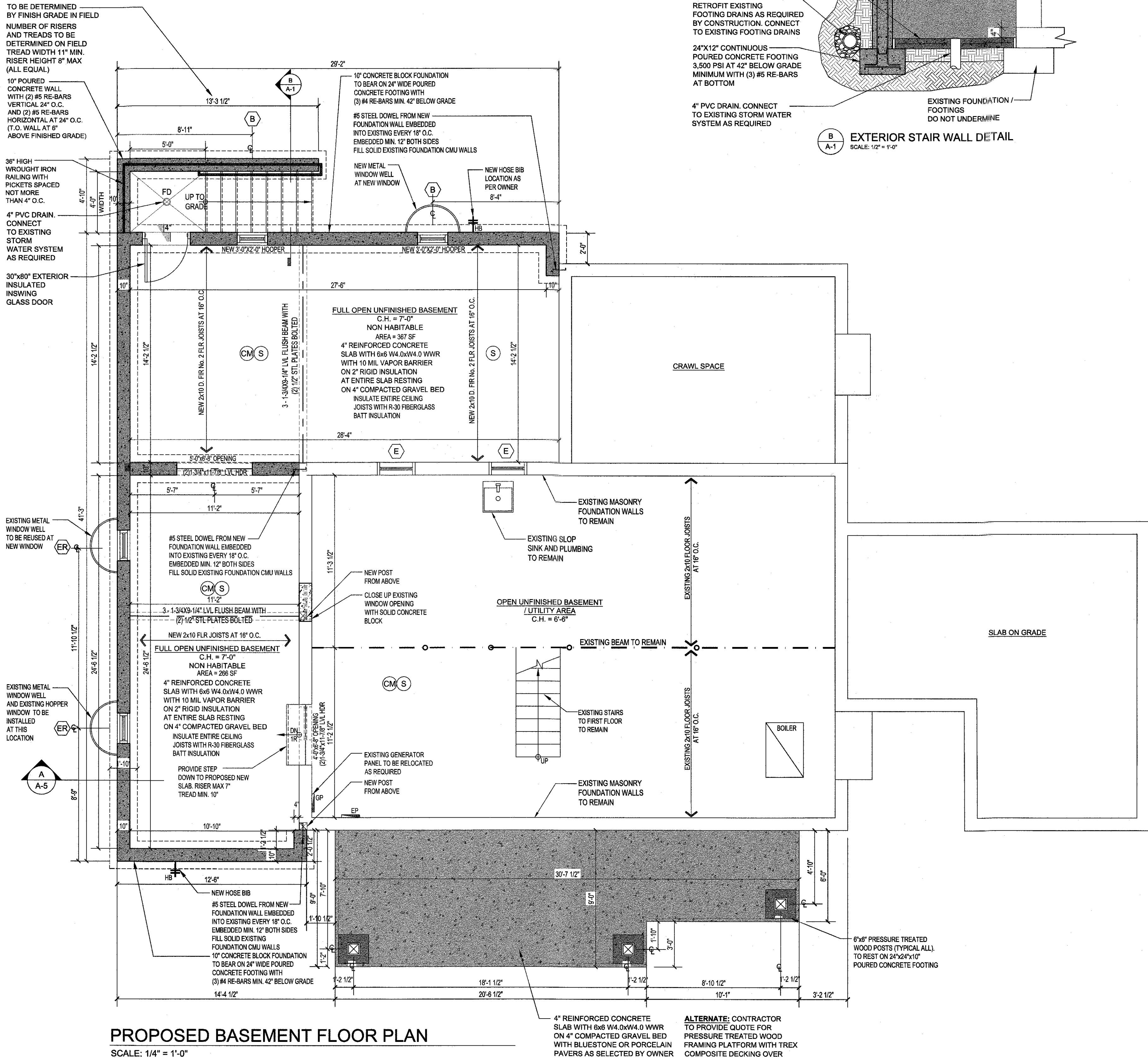
CARBON MONOXIDE DETECTOR W/ DIGITAL DISPLAY AND BATTERY BACK-UP

HEAT DETECTOR (110v) HARD WIRED W/ BATTERY BACK UP

50 CFM BATHROOM EXHAUST FAN DUCTED TO EXTERIOR

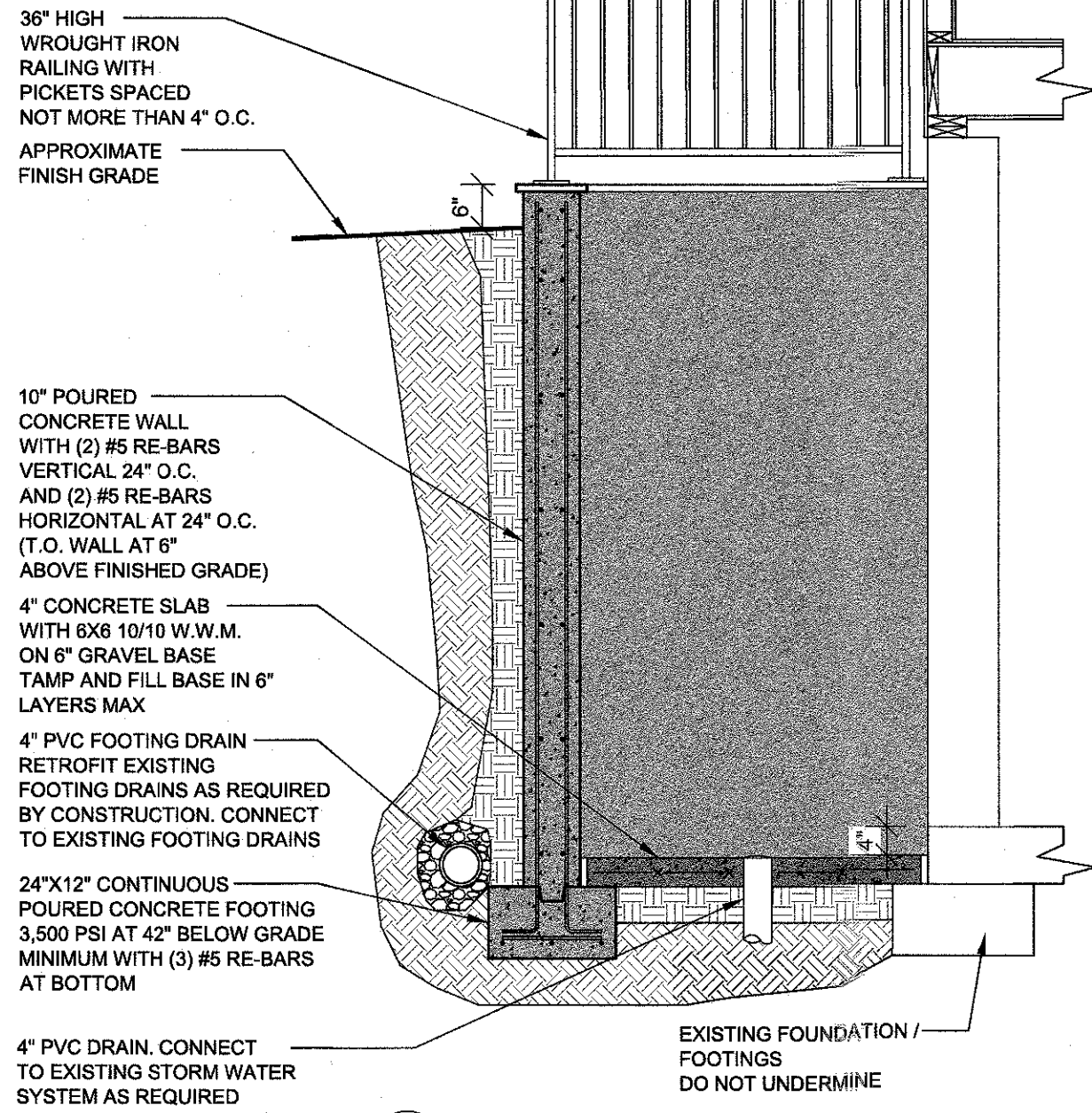
EXISTING WINDOW AND DOORS TO REMAIN

EXISTING WINDOWS AND DOORS TO BE REMOVED. REMOVE HEADERS AS REQUIRED. PROVIDE SHORING AS REQUIRED



PROPOSED BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXTERIOR STAIR WALL DETAIL

SCALE: 1/2" = 1'-0"

GENERAL NOTE
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KEY PLAN:
LOCATION OF WORK:
70 WILLETS ROAD



| REVISION # | REVISION | DATE |
|------------|--------------------------|------------|
| 1 | CLIENT REVIEW | 01/19/2023 |
| 2 | CLIENT REVIEW | 02/15/2023 |
| 3 | BID SET | 03/28/2023 |
| 4 | BUILDING DEPT FILING SET | 06/14/2023 |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

| LIST OF DRAWINGS | |
|------------------|--|
| NO. | NAME |
| T-1.0 | TITLE SHEET, GENERAL NOTES, MAPS, SITE PLAN, ZONING ANALYSIS AND PROPERTY INFO |
| S-1.0 | DRAINAGE SITE PLAN, STORM WATER ANALYSIS AND DETAILS |
| D-1.0 | EXISTING / REMOVAL FLOOR PLANS |
| A-1.0 | PROPOSED BASEMENT FLOOR PLAN, LEGEND AND SCHEDULES |
| A-2.0 | PROPOSED FIRST FLOOR PLAN, WALL DETAIL, WINDOW SCHEDULE, LEGENDS AND NOTES |
| A-3.0 | PROPOSED SECOND FLOOR PLAN, ROOF PLAN AND DETAILS |
| A-4.0 | PROPOSED ELEVATIONS |
| A-5.0 | CROSS SECTION, WALL DETAIL AND FRAMING DETAILS |
| A-6.0 | LIGHTING, POWER PLANS AND DETAILS |

OWNER:
JAN AND MELISSA JOHANNESSON
70 WILLETS ROAD,
MOUNT KISCO NY 10549

SCOPE OF WORK:
PROPOSED SIDE AND REAR ONE STORY ADDITION AND RENOVATIONS TO EXISTING SINGLE FAMILY DWELLING LOCATED AT:
70 WILLETS ROAD, MOUNT KISCO NY 10549
SBL: 69.64-1-6

TITLE OF DRAWING:
PROPOSED BASEMENT FLOOR PLAN, LEGEND AND SCHEDULES

WINDOW SCHEDULE

ANDERSON WINDOWS & PATIO DOORS 400 SERIES OR AS SELECTED BY OWNER
HIGH-PERFORMANCE GLAZING VINYL-CLAD & WOOD FRAME
FULL INSECT SCREEN INTERIOR GRILLES
COLOR: WHITE TILT-WASH 400 SERIES
ROUGH OPENING AND MODEL NUMBER AS SHOWN
FOR ALL REPLACEMENT WINDOWS OPENINGS SHALL BE VERIFIED IN FIELD

DOOR AND WINDOW HEADER AS INDICATED ON PLANS
ALL WINDOWS TO BE LOW-E OR APPROVED EQUAL AND MAINTAIN
THE FOLLOWING PERFORMANCE REQUIREMENTS:

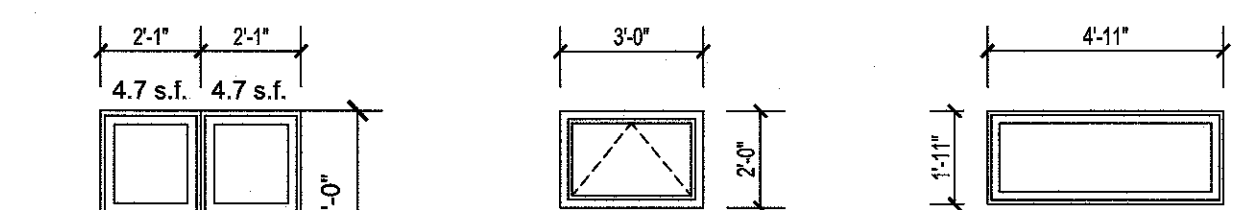
DOUBLE HUNG WINDOWS: U-FACTOR: 0.30 ; SHGC: 0.32
GLIDING WINDOWS: U-FACTOR: 0.31 ; SHGC: 0.32

EGRESS WINDOW NOTES:

- EGRESS WINDOW OPENING SHALL HAVE:
- MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET
 - MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES
 - MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES
 - OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
 - SILL HEIGHT SHALL BE NO MORE THAN 44" A.F.F.

R303.1 HABITABLE ROOMS. ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

AS PER SECTION R303.1 OF THE NYS RESIDENTIAL CODE. EXCEPTION 2: ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES (65 lux) OVER THE AREA OF THE ROOM AT THE HEIGHT OF 30 INCHES (762 mm) ABOVE THE FLOOR LEVEL.



TW20310
2 UNITS

A31
BASEMENT
UNITS

5020
PICTURE / SINGLE
TRANSOM WINDOW
100 SERIES ANDERSEN

LIGHT AREA = 9.4 SF (TOTAL)
VENT AREA = 4.4 SF (TOTAL)

AWNING WINDOWS
LIGHT AREA = 3.75 SF
VENT AREA = 3.75 SF

EXISTING WINDOWS AND DOORS
TO BE REUSED.

ROOF NOTES:

- PROVIDE MIN. 18" "WEATHER-WATCH" SELF-ADHERING ICE-SHIELD BY GAF CORP. OR APPROVED EQUAL AT VALLEYS (MIN. 18" RETURN) RETURN ICE-SHIELD MIN 12" ON ALL VERTICAL WALLS (TYP).
- ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT FOUNDATION DESIGNED TO CARRY LOADS. ALL CEILING JOISTS AND RAFTERS BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOADS.
- PROVIDE COLLAR TIES AT LOWER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BEAM AND CEILING JOISTS
- HIP, VALLEY RAFTERS AND RIDGE BEAMS SHALL BE ONE "2X" SIZE LARGER THAN RAFTERS OR AS OTHERWISE NOTED ON PLANS.
- WALL AND ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD U.O.N. FOR A MAXIMUM SPAN OF 24". GAPS BETWEEN PLYWOOD PANELS SHALL BE MAX 1/8".
- SOLID SAWN ROOF FRAMING SIZE SPACING AS PER PLANS. ALL WOOD SHALL BE DOUGLAS FIR, COMMON GRADE MIX. RIDGE/ LEDGER BOARD SHALL BE 2" THICK AND DEPTH SHALL BE NOT LESS THAN CUT END OF RAFTER. SLID BLOCKING SHALL BE PROVIDED AT MID SPAN BUT SHALL NOT DISRUPT AIR FLOW.
- PROVIDE METAL CONTINUOUS FLASHING AT ALL ROOF/WALL INTERSECTIONS (TYPICAL)
- INSTALL NEW ALUMINUM GUTTERS AND LEADER AT ALL ROOF EDGES. GUTTER PROFILE TO BE SELECTED BY OWNER. SOLDER ALL GUTTER SEAMS AND JOINTS ON SITE.
- PROVIDE DOUBLE 2X8 STRONGBACK AT MID SPAN FOR CEILING JOISTS/COLLAR TIES SPAN GREATER THAN 10'-0"

TYPICAL BATH NOTE:

- SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- GC TO PROVIDE CEMENT BOARD AT ALL SHOWER WALLS & GREENBOARD (M.R.) AT ALL OTHER BATH WALLS.

ROOF VENTILATION CALCULATIONS: (SECTION R806)

VENTILATION AREA SHALL BE NOT LESS THAN 1:150 RATIO (0.006667)

ROOF AREA = 1,824 S.F. VENT AREA REQUIRED = 12 S.F.
VENT AREA PROVIDED = (APPROX.) 17.5 S.F. RIDGE VENT= 35' L.F X 0.5' WIDE

SECTION R806 ROOF VENTILATION

R806.1 Ventilation required. Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a dimension greater than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, or similar material with openings having a minimum dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.7.

R806.2 Minimum area. The total net free ventilating area shall not be less than 1/150 of the area of the space ventilated except that reduction of the total area to 1/300 is permitted provided that at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet (914 mm) above the eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1/300 when a Class I or II vapor barrier is installed on the warm-in-winter side of the ceiling.

** WINDOWS INSTALLED IN HAZARDOUS LOCATIONS REQUIRE TEMPERED GLASS:

TEMPERED GLASS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

- WITHIN 24" OF A DOOR IN A CLOSED POSITION
- IN ANY ROOM CONTAINING A BATHTUB OR SHOWER
- WITHIN 60" OF A STAIRCASE
- WITHIN 36" OF AN EXTERIOR WALKING SURFACE

WINDOW, DOOR AND HARDWARE NOTES:

- GC TO VIF ALL WINDOWS SIZES PRIOR TO ORDERING AND INFORM DESIGNER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES.
- ALL HARDWARE & SCREENS TO BE PRICED SEPARATELY & PRESENTED TO OWNER FOR APPROVAL.
- ALL NEW DOORS SHALL BE FINISHED AS PER OWNERS REQUIREMENTS
- ALL HARDWARE & RELATED METAL FINISH ACCESSORIES SHALL BE SELECTED & CONFIRMED BY OWNER PRIOR TO ORDERING.
- GC SHALL PAY FOR ALL LOCK CYLINDERS AND KEYING, ACCORDING TO OWNER REQUIREMENTS. COORDINATE WITH OWNER.
- ALL DOORS SHALL BE UNDERCUT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE THICKNESS OF THE FLOORING MATERIAL AND COORDINATE WITH THE EXISTING SLAB / FLOOR CONDITIONS TO DETERMINE THE TOTAL UNDERCUT REQUIRED TO ACHIEVE AN UNDERCUT OF 5/8" A.F.F.
- PROVIDE STRIKE PLATES AT EVERY JAMB AND ARMOR FRONTS AT EVERY DOOR EDGE ALL ACCESSORIES TO MATCH.

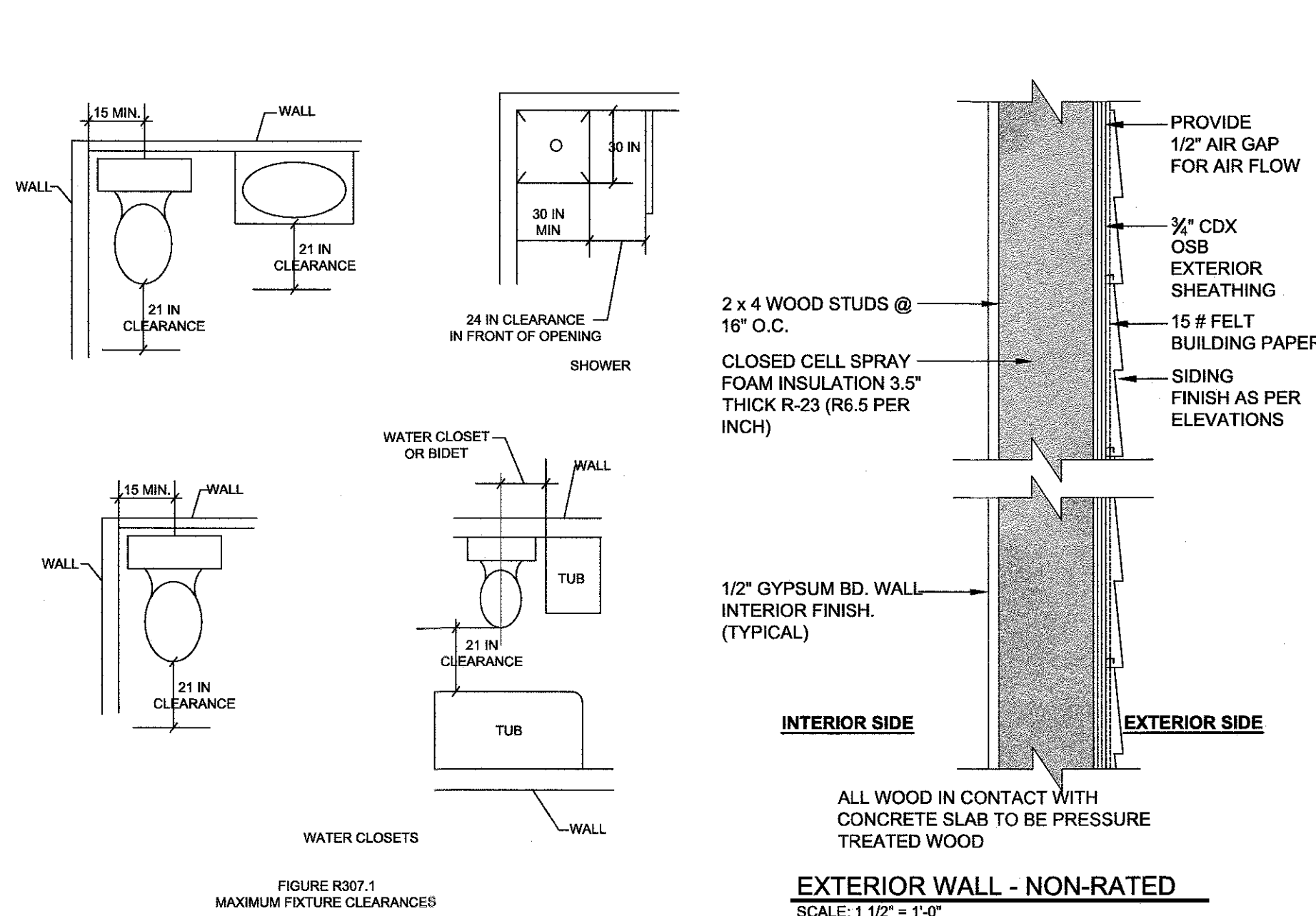


FIGURE R307.1
MAXIMUM FIXTURE CLEARANCES

EXTERIOR WALL - NON-RATED

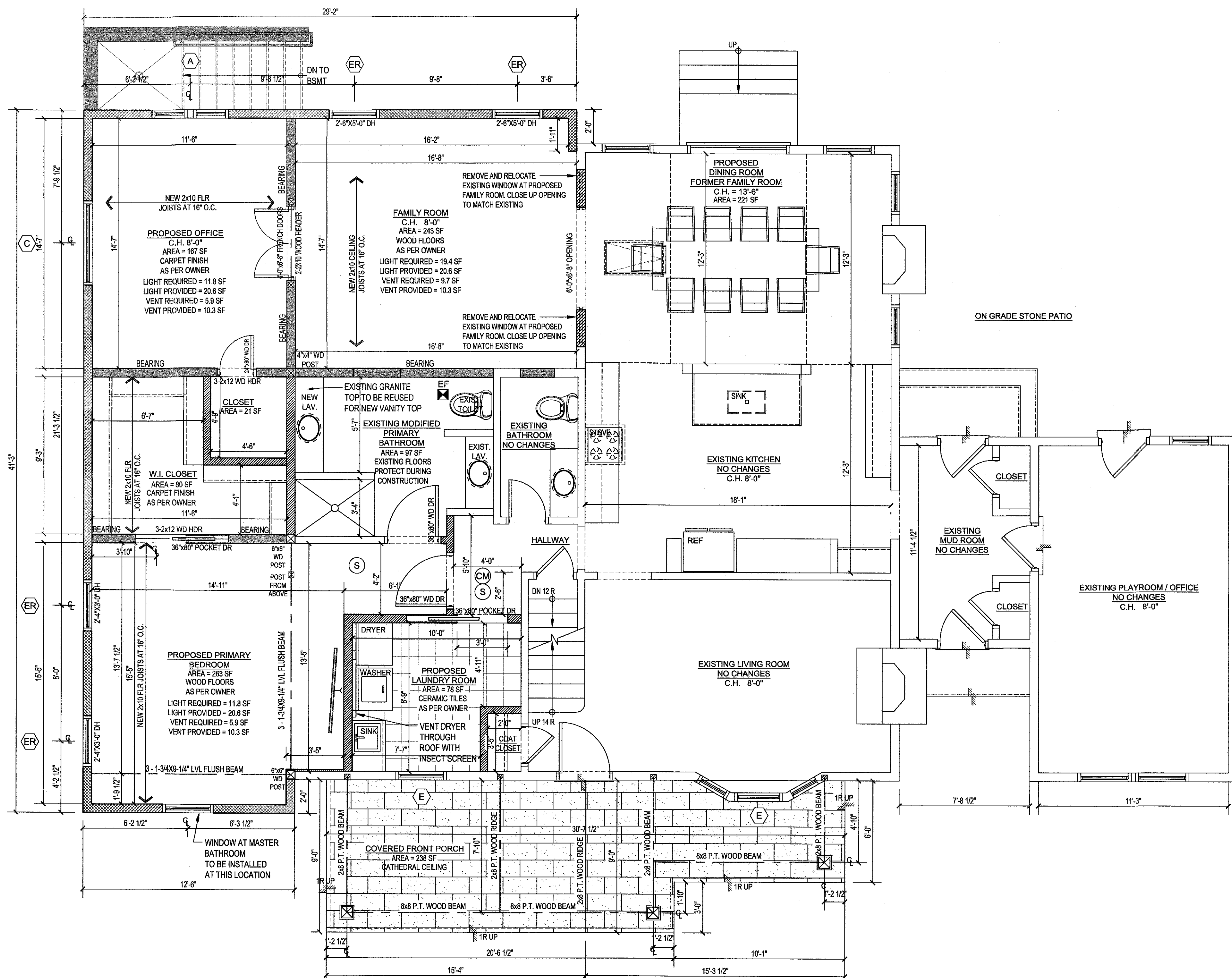
SCALE: 1 1/2" = 1'-0"

INTERIOR PARTITION - NON-RATED

SCALE: 1 1/2" = 1'-0"

BATHROOM/WET LOCATIONS PARTITION

SCALE: 1 1/2" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

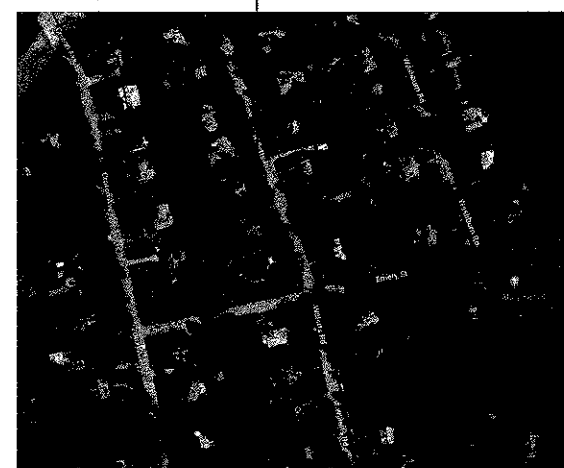


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KEY PLAN:

LOCATION OF WORK:
70 WILLETS ROAD



REVISION

| REVISION # | REVISION | DATE |
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| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

LIST OF DRAWINGS

| NO. | NAME |
|------|---|
| T-10 | TITLE SHEET, GENERAL NOTES MAPS, SITE PLAN, ZONING ANALYSIS AND PROPERTY INFO |
| S-10 | DRAINAGE SITE PLAN, STORM WATER ANALYSIS AND DETAILS |
| D-10 | EXISTING / REMOVAL FLOOR PLANS |
| A-10 | PROPOSED BASEMENT FLOOR PLAN, LEGEND AND SCHEDULES |
| A-20 | PROPOSED FIRST FLOOR PLAN, WALL DETAIL, WINDOW SCHEDULE, LEGENDS AND NOTES |
| A-30 | PROPOSED SECOND FLOOR PLAN, ROOF PLAN AND DETAILS |
| A-40 | PROPOSED ELEVATIONS |
| A-50 | CROSS SECTION, WALL DETAIL AND FRAMING DETAILS |
| A-60 | LIGHTING, POWER PLANS AND DETAILS |

OWNER:
JAN AND MELISSA JOHANNESSEN
70 WILLETS ROAD,
MOUNT KISCO NY 10549

SCOPE OF WORK:
PROPOSED SIDE AND REAR ONE STORY
ADDITION AND RENOVATIONS TO EXISTING
SINGLE FAMILY DWELLING LOCATED AT:
70 WILLETS ROAD, MOUNT KISCO NY 10549
SBL: 69.64-1-6

TITLE OF DRAWING:

PROPOSED FIRST FLOOR PLAN,
WALL DETAIL, WINDOW SCHEDULE,
LEGENDS AND NOTES

SEAL /
SIGNATURE:



PROJECT NO:
22-097

DATE:
12/30/2022

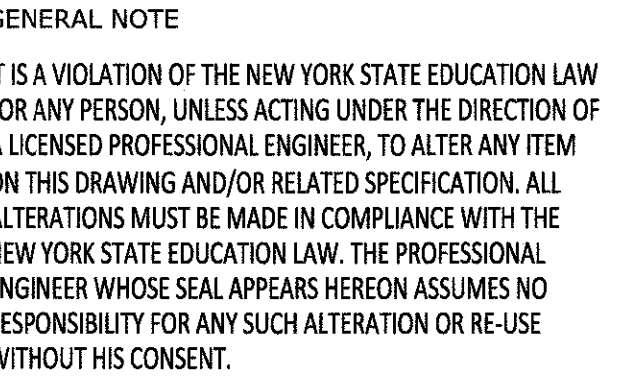
DWG SCALE:
AS INDICATED ON PLANS
DO NOT SCALE DRAWINGS

DRAWN BY/CHECKED BY:
LL / MW

DRAWING NO:


A-2.0

PAGE NUMBER: 5 OF 9



| LIST OF DRAWINGS | |
|------------------|---|
| NO. | NAME |
| T-1.0 | TITLE SHEET, GENERAL NOTES MAPS, SITE PLAN, ZONING ANALYSIS AND PROPERTY INFO |
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| A-4.0 | PROPOSED ELEVATIONS |
| A-5.0 | CROSS SECTION, WALL DETAIL AND FRAMING DETAILS |
| A-6.0 | LIGHTING, POWER PLANS AND DETAILS |

SCOPE OF WORK:
PROPOSED SIDE AND REAR ONE STORY
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SINGLE FAMILY DWELLING LOCATED AT:
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|  | DATE: 12/30/2022 |
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| | DRAWN BY/CHECKED BY: LL / MW |

DRAWING NO:
A-4.0

GE NUMBER: 7 OF 9



RECEIVED

JUL 13 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

Amy and Jason Justiniano

14 Washburn Road

Mount Kisco, NY 10549

July 10, 2023

Re: Johannessen variance- 7/23/23

To the Mount Kisco Zoning Board of Appeals:

We are writing in support of the variance request of Jan and Melissa Johannessen at 70 Willets Road, Mount Kisco, NY. We are aware that they are seeking a side yard setback of 15 feet. We are confident that the approval of this variance will not be detrimental to the neighborhood. In fact, the approval of this variance, thereby allowing them to move forward with the construction that they have planned, will benefit the neighborhood as it will increase the property value of their home. The Johannessen's are wonderful neighbors who are always willing to lend a hand, and we are excited to see that they are planting even stronger roots in the neighborhood.

If you have any questions, please do not hesitate to contact us.

Thank you,



Amy and Jason Justiniano

646-232-1142

JASON AND SARA DU TERROIL

91 Willetts Road, Mount Kisco, NY 10549

RECEIVED

JUL 13 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

June 25th, 2023

Zoning Board of Appeals
Village/Town of Mount Kisco
104 Main Street
Mount Kisco, NY 10549

Dear Zoning Board of Appeals:

Application and proposed variance in respect of work proposed at 70 Willetts Road

Public hearing July 18th, 2023

We have received notice from Jan and Melissa Johannessen of the above appeal against decision of building inspector dated June 23rd, 2023. We understand that in order to proceed, this proposed development requires a variance to Code and that you will be considering this appeal on July 18th, 2023.

We write in support of the variance. We are confident that the size of the lot means there will be no detriment at all to the standards and character of the neighborhood, and of the village as a whole.

Thank you for taking our views into consideration.

Sincerely,

Jason and Sara Du Terroil

~~CONFIDENTIAL~~



RECEIVED

JUN 22 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

To whom it may concern,

We have received the denial of our sign application from the building department and would like to appeal the notice of denial and request a public hearing in the matter of Dunkin 195 (185) N. Bedford Road.

Thank You
James Polinsky



VILLAGE/TOWN OF MOUNT KISCO

WESTCHESTER COUNTY, NEW YORK

100 Main Street

Mount Kisco, New York 10549-0150

Telephone
(914) 261-0500

May 17, 2023

Mr. James Polinsky
Signs Ink
3255 Crompond Road
Yorktown, NY 10598

RECEIVED

JUN 22 2023

**Zoning Board of Appeals
Village/Town of Mount Kisco**

Re: Notice of Denial – Sign Permit Application for Dunkin
195 (185) No. Bedford Road, Property ID#: 69.58-2-1.2

Dear Mr. Polinsky:

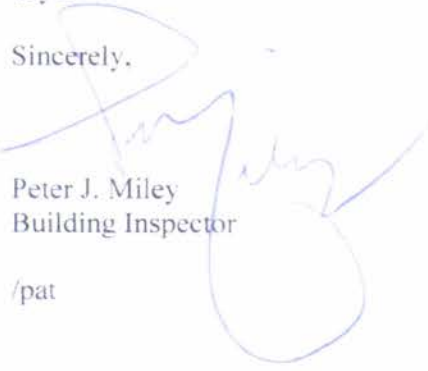
Please be notified that your sign permit application on behalf of your client, Dunkin, to install new and various signage at the above captioned property is hereby denied. This denial is based on the following facts:

- Section 89-11A(4) of the Code of the Village/Town of Mount Kisco states that “The types of signs permitted and the regulation of the number, placement, and use of signs is hereby established. No sign shall be erected unless it conforms to the specifications for signs in that sign district, nor shall any sign be used for any purpose or in any manner except as permitted by the regulations for the district in which such sign is to be located or maintained.”
- The subject property is located in the CL Zoning District, and is therefore subject to the regulations of the Commercial Signage District #2c for building locations less than 75 feet from the public right of way.
- Section 89-11 General Provisions A states: “Each business establishment shall be limited to one (1) principal sign of any type permitted within such district at the primary public entrance. In the event that a business has a secondary public entrance on a separate street frontage or parking lot, an additional sign may be permitted at the secondary public entrance... In no event will there be more than two (2) signs on any building for any establishment.”
- You propose to erect two signs on the building: one on the eastern façade, and one on the western façade of the building. The sign on the western façade is the primary public entrance. The proposed sign on the eastern façade has no public entrance and will need a variance for location.

- You propose to install non-illuminated wall signs for "Dunkin". Section 89-11 Table 1 page 5 of the Code of the Village/Town of Mt. Kisco states: maximum sign height for a wall sign is 24" inches. The wall sign proposed for the western façade is 31.5" high. A 7.5" variance is required for the sign height of this sign. The sign proposed for the eastern facade is dimensionally compliant with respect to sign height.
- You propose to install non-illuminated wall signs for "Dunkin". Section 89-11 Table 1 Page 5 of the Code of The Village/Town of Mt. Kisco states: maximum letter height for a wall sign is 12" inches. The wall sign letter height proposed for the western façade is 14.5". A 2.5" variance is required for the letter height of this sign. The sign proposed for the eastern facades is dimensionally compliant with respect to letter height.
- Both signs include a logo with the business name. The logos accompanying each of these signs will not require a variance as they are allowed to be larger than maximum letter height; however, all signage will need Architectural Review Board approval.

A sign permit cannot be issued for any sign application that does not comply with the Village Sign Code. You have a right to appeal this decision to the Zoning Board of Appeals within 60 days.

Sincerely,


Peter J. Miley
Building Inspector

/pat

Date: _____

RECEIVED

Case No.: _____

Fee: \$130
CK# 4086 LC# 30892

JUN 22 2023

Date Filed: 6.22.23

Zoning Board of Appeals
Village/Town of Mount Kisco
Municipal Building
104 Main Street, Mt. Kisco, NY 10549

**Zoning Board of Appeals
Application**

Appellant: Signs Ink - James Polinsky
Address: 3255 Crompond Road Yorktown NY 10598
Address of subject property (if different): 195 (185) North Bedford Road

Appellant's relationship to subject property: _____ Owner _____ Lessee ☒ Other

Property owner (if different): UE AP 195 N. Bedford Road LLC C/O Anthony Salgado
Address: 210 Route 4 East Paramus NJ 07652

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken
from the decision of the Building Inspector, Denial
dated May 17, 2023. Application is hereby made for the following:

☒ Variation or _____ Interpretation of Section 89-11A and 89-11
of the Code of the Village/Town of Mount Kisco,

to permit the: ☒ Erection; _____ Alteration; _____ Conversion; _____ Maintenance
of a new Dunkin sign to match the neighboring Chipotle Signs east and west of building.
The west of building is the main entrance.

_____ in accordance with plans filed on (date) May 4, 2023
for Property ID # 69.58 - 2 - 1.2 located in the _____ CL _____ Zoning District.
The subject premises is situated on the _____ East _____ side of (street) 195 Bedford Road
_____ in the Village/Town of Mount Kisco, County of Westchester, NY.
Does property face on two different public streets? Yes/No NO
(If on two streets, give both street names) _____

Type of Variance sought: _____ Use ☒ Area

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? YES

Is there an approved site plan for this property? YES in connection with a
 Proposed or Existing building; erected (yr.)

Size of Lot: 1091' feet wide 811' feet deep Area 884,801'

Size of Building: at street level 115' feet wide 53' feet deep

Height of building: 19-6" Present use of building: Commercial / Food

Does this building contain a nonconforming use? No Please identify and explain:

Is this building classified as a non-complying use? No Please identify and explain:

Has any previous application or appeal been filed with this Board for these premises?
Yes/No? Yes

Was a variance ever granted for this property? YES If so, please identify and explain:
A variance was given to Chipotle for their signs

Are there any violations pending against this property? No If so, please identify and explain:

Has a Work Stop Order or Appearance Ticket been served relative to this matter?
 Yes or ✓ No Date of Issue:

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? No

I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:

The following items **MUST** be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on May 17, 2023 upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- *j) At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- *k) A floor plan of the subject building with all the necessary measurements.
- *l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

*** Optional - As Needed**

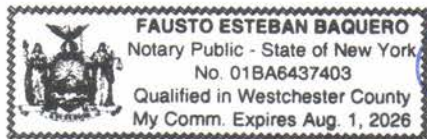
I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.

James Polinsky

(Appellant to sign here)

Sworn to before me this day of: June 26th, 2023

Notary Public, Westchester, County, NY



Fausto Baquero

[TO BE COMPLETED IF APPELLANT IS NOT THE PROPERTY OWNER IN FEE]

State of New York }
County of Westchester } ss

Being duly sworn, deposes and say that he resides at 3255 Crompond RD in the County of Westchester, in the State of New York, that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Mount Kisco, County of Westchester aforesaid and known and designated as number 69-58-2-1.2 and that he hereby authorized James Polinsky to make the annexed application in his behalf and that the statements contained in said application are true.

James Polinsky
(sign here)



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JUN 22 2023

**Zoning Board of Appeals
Village/Town of Mount Kisco**

To whom it may concern,

In our case we would like to describe our principal points on why our application should be approved as originally proposed to the building department.

Dunkin would like to match the signs to the neighboring tenant Chipotle in the manner of size and fabrication as per the franchisee and property owner's request. The only alteration would be in the corporate approved colors.

We see no adverse effects to the community or neighborhood and have no choice but to file for a variance as per the building code. This is not a substantial request as it was approved for Chipotle to do so. This difficulty was not self-created by Dunkin, but it is his obligation to follow plaza rules and sign plan devised by the property owner.

**Thank You
James Polinsky**

AFFIDAVIT OF MAILING

STATE OF NEW YORK }
 }SS.:
COUNTY OF WESTCHESTER }

James Polinsky being duly sworn, deposes and says:

I reside at 3255 Crompond Road Yorktown NY 10598

On June 21st 2023 I served a notice of hearing, a copy of which is attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B.

I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.

James Polinsky

Sworn to before me on this

21ST day of June 20 23



[Signature]

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JUN 22 2023

**Zoning Board of Appeals
Village/Town of Mount Kisco**

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 18th day of July 20 23 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM pursuant to the Zoning Ordinance on the Appeal of Dunkin ---- James Polinsky
(Name of Applicant)
3255 Crompond Road Yorktown NY 10598
(Address of Applicant)

from the decision of Peter J. Miley, Building Inspector, dated May 17, 2023
(Date of Denial Letter)
denying the application dated to permit the New Signage
(Proposed Work)

The property involved is known as 195 (185) North Bedford Road
(Address of Property)

and described on the Village Tax Map as Section 69.58 Block 2 Lot 1.2
and is located on the East side of North Bedford Road in a
east/west/n/s (Street Name)

CL Zoning District. Said Appeal is being made to obtain a
variance from Section(s) 89-11A (4) and 89-11 of the
(Identify specific zoning code section number(s))

Code of the Village/Town of Mount Kisco, which requires Only 1 sign per business over the primary entrance and not more than 24" in height with a maximum 12" letter height

Wayne Spector, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco

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JUN 22 2023

**Zoning Board of Appeals
Village/Town of Mount Kisco**

| OWNERNAME | PROPADDRESS | PROPCITY | PROPZIP | PROPPRINTKEY | C/ O |
|--------------------------------|-----------------------|-------------|---------|--------------|------------------------|
| 11 Knowlton LLC | 234 N Bedford Rd | MOUNT KISCO | 10549 | 69.59-1-14 | Pamela Healy |
| 283 N Bedford Rd Corp | N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-5 | MRE Mgmt Corp |
| 283 N Bedford Rd Corp | 283 N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-6 | MRE Mgmt Corp |
| Burger King Corp #825 | 230 N Bedford Rd | MOUNT KISCO | 10549 | 69.58-4-1 | Michelle Keusch |
| 271 N Bedford Rd Mt Kisco Corp | 271 N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-9 | |
| DP 21 LLC | 333 N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-1 | c/o Diamond Properties |
| 2701 Marion LLC | 272 N Bedford Rd | MOUNT KISCO | 10549 | 69.51-3-1.1 | Esat Gashi |
| Chappaqua Road Co LLC | 280 N Bedford Rd | MOUNT KISCO | 10549 | 69.51-3-1.2 | Anthony P. Beldotti |
| Martabano, John R | N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-4 | |
| DP 44, LLC | N Bedford, Back of | MOUNT KISCO | 10549 | 69.50-2-12 | c/o Diamond Properties |
| Mac Marty Inc | 255 N Bedford Rd | MOUNT KISCO | 10549 | 69.58-3-1 | Patricia Macaulay |
| DP 47, LLC | 283 N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-3 | c/o Diamond Properties |
| 269 N Bedford Rd Mt Kisco Corp | 269 N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-11 | MRE Mgmt Corp |
| 283 N Bedford Rd Corp | 289 N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-7 | MRE Mgmt Corp |
| DP 46, LLC | 295 N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-2 | c/o Diamond Properties |
| 271 No Bedford Rd. Mt Kisco | 281 N Bedford Rd | MOUNT KISCO | 10549 | 69.50-2-8 | MRE Mgmt Corp |
| Martabano, John R | N Bedford Rd, Back of | MOUNT KISCO | 10549 | 69.50-2-10 | MRE Mgmt Corp |
| UE 195 N Bedford Road LLC | 195 N Bedford Rd | MOUNT KISCO | 10549 | 69.68-2-1.1 | Urban Edge properties |
| UE 195 N Bedford Road LLC | 195 N Bedford Rd | MOUNT KISCO | 10549 | 69.58-2-1.2 | Urban Edge properties |
| AAK Realty | 182 N Bedford Rd | MOUNT KISCO | 10549 | 69.66-3-22 | |
| AAK Realty | 190 N Bedford Rd | MOUNT KISCO | 10549 | 69.66-3-23 | |
| Gas21 Realty Inc. | 192 N Bedford Rd | MOUNT KISCO | 10549 | 69.58-4-2 | |
| Village of Mt Kisco | N Bedford Rd | MOUNT KISCO | 10549 | 69.68-2-2 | |
| Village of Mt Kisco | N Bedford Rd | MOUNT KISCO | 10549 | 69.68-2-3 | |
| Mt. Kisco Assoc XLLC | 176 N Bedford Rd | MOUNT KISCO | 10549 | 69.66-3-21 | |
| Argonaut Holdings | 175 N Bedford Rd | MOUNT KISCO | 10549 | 69.66-2-3 | Cushman Wakefield Inc |
| 25 Hubbells Dr | 25 Hubbells Dr | MOUNT KISCO | 10549 | 69.57-1-3.2 | |
| Halstead - Quinn | 33 Hubbells Dr | MOUNT KISCO | 10549 | 69.57-1-2 | |
| 15 Kensico Dr LLC | 15 Kensico Dr | MOUNT KISCO | 10549 | 69.50-1-6 | |
| 19 Kensico Dr LLC | 19 Kensico Dr | MOUNT KISCO | 10549 | 69.50-1-5 | Garth E. Beall Esq |
| Suburban Propane | Hubbell Rd | MOUNT KISCO | 10549 | 69.50-1-3 | Tax Dept. |

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JUN 22 2023

**Zoning Board of Appeals
Village/Town of Mount Kisco**

| Mailing Address | City | State | Zip |
|-----------------------------------|------------------|-------|-------|
| 40 Foxwood Circle | Mount Kisco | NY | 10549 |
| 27 Radio Circle Drive | Mount Kisco | NY | 10549 |
| 27 Radio Circle Drive | Mount Kisco | NY | 10549 |
| 4707 Blue Lagoons Dr | Miami | FL | 33126 |
| 27 Radio Circle Drive | Mount Kisco | NY | 10549 |
| PO Box 1493 | Hicksville | NY | 11802 |
| 345 Kear St | Yorktown Heights | NY | 10598 |
| 500 Executive Blvd, Ste 203 | Ossining | NY | 10562 |
| 27 Radio Circle Drive | Mount Kisco | NY | 10549 |
| PO Box 1493 | Hicksville | NY | 11802 |
| 20 Shore Drive | Kingston | MA | 02364 |
| PO Box 1493 | Hicksville | NY | 11802 |
| 27 Radio Circle Drive | Mount Kisco | NY | 10549 |
| 27 Radio Circle Drive | Mount Kisco | NY | 10549 |
| PO Box 1493 | Hicksville | NY | 11802 |
| 27 Radio Circle Drive | Mount Kisco | NY | 10549 |
| 27 Radio Circle Drive | Mount Kisco | NY | 10549 |
| 210 Route 4 East | Paramus | NJ | 07652 |
| 210 Route 4 East | Paramus | NJ | 07652 |
| 358 SawMill River Rd | Millwood | NY | 10546 |
| 358 SawMill River Rd | Millwood | NY | 10546 |
| 536 Main St | New Paltz | NY | 12561 |
| 104 Main Street | Mt Kisco | NY | 10549 |
| 104 Main Street | Mt Kisco | NY | 10549 |
| 19 Benedicts Pl | Greenwich | CT | 06830 |
| 575 Maryville Centre Dr , Ste 600 | St. Louis | MO | 63141 |
| 27 Radio Circle Drive | Mt Kisco | NY | 10549 |
| 6411 Ivy Lane Ste 200 | Greenbelt | MD | 20770 |
| PO Box 206 | Whippany | NJ | 07981 |



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JUL 05 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

AFFIDAVIT OF PUBLICATION FROM

State of Wisconsin

County of Brown, ss.:

On the 26 day of June in the year 2023, before me, the undersigned, a Notary Public in and for said State, personally appeared Linda Tuttle, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed, the instrument.

Linda Tuttle being duly sworn says that he/she is the principal clerk of THE JOURNAL NEWS, a newspaper published in the County of Westchester and the State of New York, and the notice of which the annexed is a printed copy, on the editions dated:

Zone:
Westchester

Run Dates:
06/25/2023

Linda Tuttle

Signature

Sworn to before me this 26 day of June, 2023

Kaitlyn Felty

Notary Public, State of Wisconsin, County of Brown

3/7/27

KAITLYN FELTY
Notary Public
State of Wisconsin

My commission expires

Legend:

WESTCHESTER:

Amawalk, Ardsley, Ardsley on Hudson, Armonk, Baldwin Place, Bedford, Bedford Hills, Brewster, Briarcliff Manor, Bronxville, Buchanan, Carmel, Chappaqua, Cold Spring, Crompond, Cross River, Croton Falls, Croton on Hudson, Dobbs Ferry, Eastchester, Elmsford, Garrison, Goldens Bridge, Granite Springs, Greenburg, Harrison, Hartsdale, Hastings, Hastings on Hudson, Hawthorne, Irvington, Jefferson Valley, Katonah, Lake Peekskill, Larchmont, Lincolnville, Mahopac, Mahopac Falls, Mamaroneck, Millwood, Mohagan Lake, Montrose, Mount Kisco, Mount Vernon, New Rochelle, North Salem, Ossining, Patterson, Peekskill, Pelham, Pleasantville, Port Chester, Pound Ridge, Purchase, Purdys, Putnam Valley, Rye, Scarsdale, Shenorock, Shrub Oak, Somers, South Salem, Tarrytown, Thornwood, Tuckahoe, Valhalla, Verplanck, Waccabuc, White Plains, Yorktown Heights, Yonkers

ROCKLAND:

Blauvelt, Congers, Garnerville, Haverstraw, Hillburn, Monsey, Nanuet, New City, Nyack, Orangeburg, Palisades, Pearl River, Piermont, Pomona, Sloatsburg, Sparkill, Spring Valley, Stony Point, Suffern, Tallman, Tappan, Thiells, Tomkins Cove, Valley Cottage, West Haverstraw, West Nyack

Ad Number: 0005746479

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 18th day of July 2023 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM pursuant to the Zoning Ordinance on the Appeal of

Dunkin---James Polinsky
(Name of Applicant)
3255 Crompond Road Yorktown NY 10598
(Address of Applicant)

from the decision of Peter J. Milley, Building Inspector, dated May 17, 2023 denying the application dated to permit the New Signage. The property involved is known as 195 (185) North Bedford Road and described on the Village Tax Map as Section 69.58 Block 2 Lot 1.2 and is located on the East side of North Bedford Road in a CL Zoning District. Said Appeal is being made to obtain a variance from Section(s) 89-11A (4) and 89-11 of the Code of the Village/Town of Mount Kisco, which requires Only 1 sign per business over the primary entrance and not more than 24" in height with a maximum 12" letter height.

Wayne Spector, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco

0005746479

State of New York)
) ss:
 County of Westchester)

AFFIDAVIT OF POSTING

Gilmar Palacios Chin, being duly sworn, says that on the 10th day of July 2023, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –
 104 Main Street

X

Public Library
 100 Main Street

X

Fox Center

X

Justice Court – Green Street
 40 Green Street

X

Mt. Kisco Ambulance Corp
 310 Lexington Ave

X

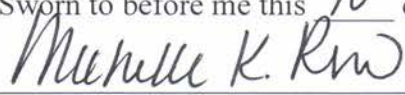
Carpenter Avenue Community House
 200 Carpenter Avenue

X

Leonard Park Multi Purpose Bldg

X


 Gilmar Palacios Chin

Sworn to before me this 10th day of July 2023

 Notary Public

MICHELLE K. RUSSO
 NOTARY PUBLIC-STATE OF NEW YORK
 No. 01RU6313298
 Qualified in Putnam County
 My Commission Expires 10-20-2026

LEASE

BETWEEN

**UE AP 195 N. BEDFORD ROAD LLC
LANDLORD**

AND

**HILLCREST MARSHALL INC.
TENANT
(d/b/a Dunkin)**

DATED AS OF: August 3, 2022

**LOCATION: Mount Kisco Commons
Mount Kisco, New York**


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JUN 22 2023

**Zoning Board of Appeals
Village/Town of Mount Kisco**

IN WITNESS WHEREOF, Landlord and Tenant have caused this Lease to be executed as of the day and year first above written.

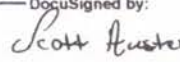
ATTEST:

DocuSigned by:

4592E8A50E084E1
MaryAlice Budakian
Vice President

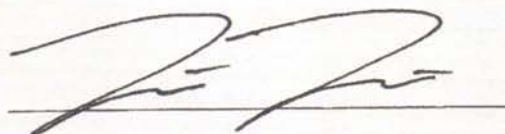
LANDLORD:

UE AP 195 N. BEDFORD ROAD LLC

By: UE Property Management LLC,
as its Manager and Authorized Signatory

DocuSigned by:

40E85A780F802523
By: Scott Auster
Name: Scott Auster
Title: SVP - head of leasing

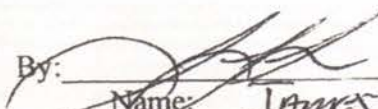
ATTEST:



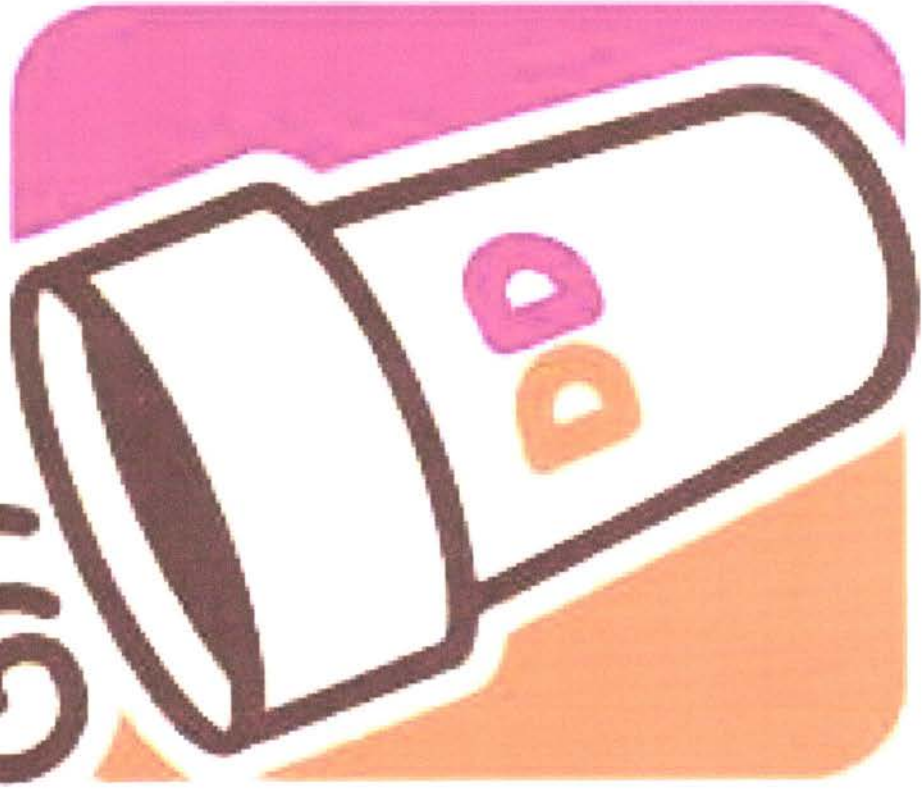
KEVIN BAJAÑA
Notary Public - State of New York
No. 01BA6356241
Qualified in Bronx County
My Commission Expires Sept. 22, 2025

TENANT:

HILLCREST MARSHALL INC.

By:  VP HMT
Name: JAMES J. LASH
Title: VP HMT

DUNKIN'®



195 N BEDFORD ROAD
MOUNT KISCO NY 10549

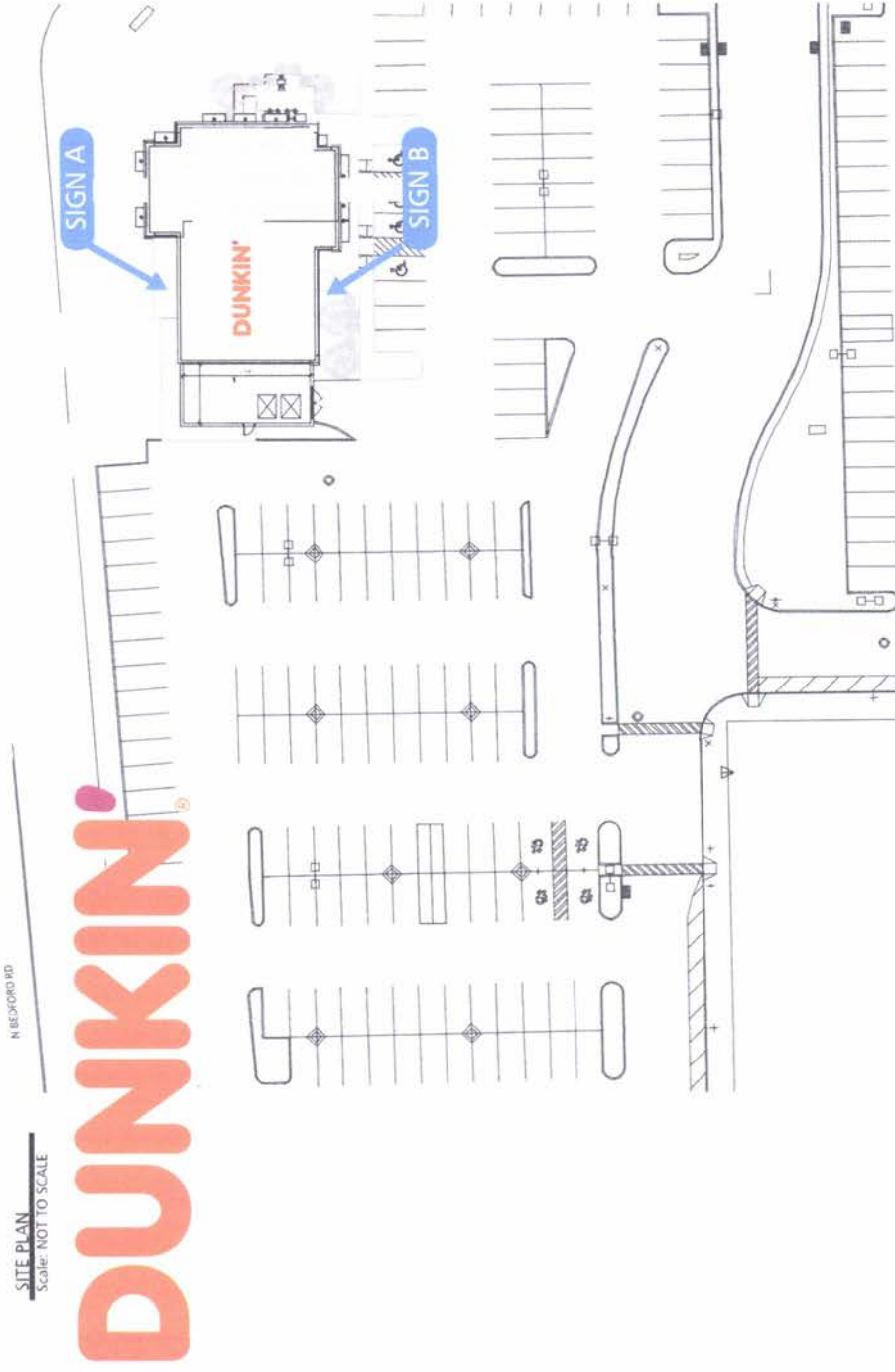
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JUN 22 2023

Zoning Board of Appeals
Village/Town of Mount Kisco



3255 CROMPOND RD YORKTOWN NY 10598
914-739-9059 WWW.SIGNSINK.COM



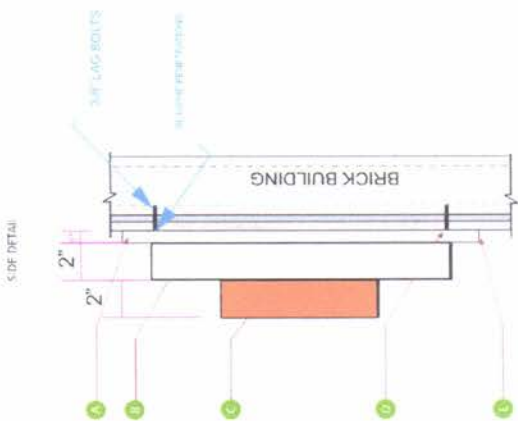
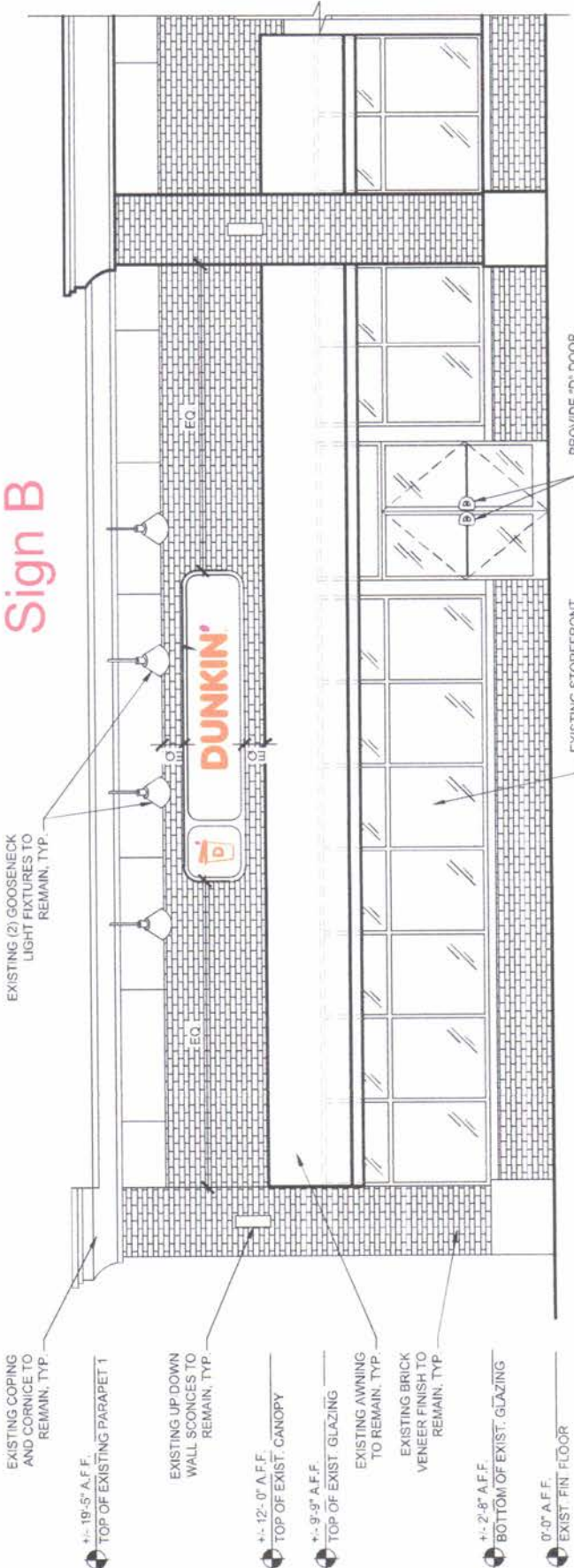
SITE PLAN
Scale: NOT TO SCALE

DUNKIN'



3255 CHAMPAGNE RD YORKTOWN NY 05598
904-738-9059 WWW.SIGNSINK.COM

Sign B



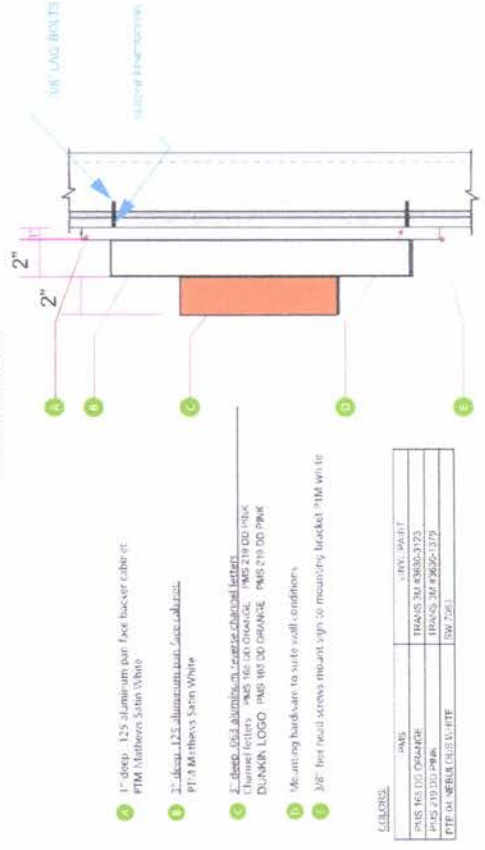
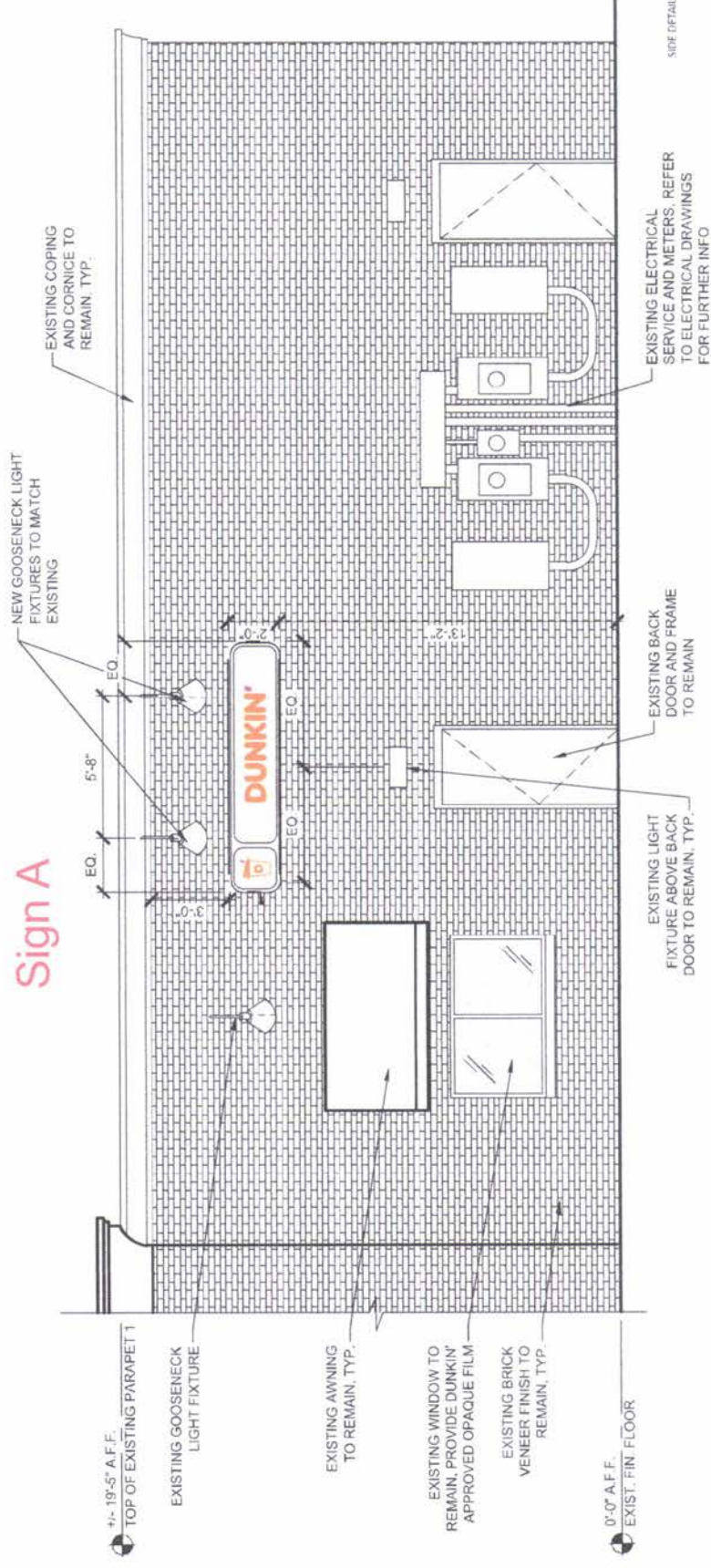
- 1" deep 125 aluminum post face under cabinet PTM Matthews Satin White
- 2" deep 125 aluminum post face cabinet PTM Matthews Satin White
- 3" deep 125 aluminum post face cabinet PTM Matthews Satin White
- 3" deep 125 aluminum post face cabinet PTM Matthews Satin White
- 3" deep 125 aluminum post face cabinet PTM Matthews Satin White
- 3" deep 125 aluminum post face cabinet PTM Matthews Satin White

| COLORS: | FMS: | VINYL PAINT: |
|----------|---------------------|--------------|
| PMS #105 | TRANS 3M #1050 3123 | |
| PMS #219 | TRANS 3M #2190 1379 | |
| PMS #105 | TRANS 3M #1050 3123 | |
| PMS #219 | TRANS 3M #2190 1379 | |

| COLOR KEY | PMS #105 | PMS #219 | Matthews Satin White |
|-----------|----------|----------|----------------------|
| | | | |



Sign A



| CLORURE | PM5 | PM5, PAET |
|------------------|--------------------|-----------|
| PM5 15110 00400E | PM5 301 00300-3170 | |
| PM5 15110 00400E | PM5 301 00300-3170 | |
| PM5 15110 00400E | PM5 301 00300-3170 | |
| PM5 15110 00400E | PM5 301 00300-3170 | |

| Color Key | |
|---|----------|
|  | PMS #165 |
|  | PMS #219 |





***First American
Title Insurance Company***

April 11, 2023

Mr. Viktor Solarik
VKS Architects & Katonah Building Corp.
P.O. Box 696
Katonah, NY 10536

Re: Title No. S7542
Premises: Bed of "Private Road" Map No. 2836
Mount Kisco, NY

Dear Mr. Solarik:

We have searched the records and indices of the Westchester County Clerk's Office as of 3/7/2023 for the purpose of determining the last record owner for the above referenced premises shown as "Private Road" on that certain map known as "Olim Subdivision" filed in the Westchester County Clerk's Office on 5/18/1925 as Map No. 2836.

It is well established in the Real Estate Law of the State of New York that when a street is created on a filed subdivision map subsequent sales of lots fronting on the street carry title to the center line of the street unless such title is specifically reserved by the developer for dedication to a municipality. Map No. 2836 created eight (8) lots that front on the private road and all of the initial lot sales carried title to the center line of said road. See copy of Map No. 2836 attached.

To establish the current owners of the bed of the private road it was necessary to run the chain of ownership for each lot and determine that the title to the road bed was never reserved, separately conveyed or otherwise encumbered in subsequent deeds.

The following are, collectively, the current record owners of the private road:

1. Pat Cambareri by deed recorded in Liber 7930 cp 721 owns the southerly part of Lot No. 3 on Map No. 2836 as part of Sec. 80.25 Bl. 3 Lot 24 on the tax map. See copy herewith.
2. Hudson Riley, LLC by deed recorded in Control No. 550613082 owns Lot No. 4 and the northerly part of Lot No. 3 on Map No. 2836 as part of Sec. 80.25 Bl. 3 Lot 26.1 on the tax map. See copy herewith.
3. 175 Main Street of Mt. Kisco, LLC by deed recorded in Control No. 570583196 owns Lots Nos. 5, 6, 7, 8 and 9 on Map No. 2836 as Sec. 80.25 Bl. 3 Lot 26 and Lot 26.2 on the tax map. See copy herewith.
4. TD Union LLC by deed recorded in Control No. 613143997 (Parcel II) owns Lot No. 10 on Map No. 2836 as Sec. 80.25 Bl. 3 Lot 22 on the tax map. See copy herewith.

Thank you for choosing First American Title for this search. This search is provided FOR INFORMATION ONLY. NO POLICY WILL BE ISSUED. Liability is limited to the fee paid for negligence only. If you have any questions, please do not hesitate to call our office.

Very truly yours,



KIOWA CRAWFORD

KKC:kmp

Enclosures

Map No. 2836

SURVEYED BY
J. ALBERT SCHAEFER
CIVIL ENGINEER, LICENSED
MT. KISCO, N. Y.

SURVEY OF PROPERTY
— KNOWN AS THE —
OLIM SUB-DIVISION
SITUATE IN THE VILLAGE OF MT. KISCO
TOWN OF BEDFORD
WESTCHESTER COUNTY
NEW YORK.



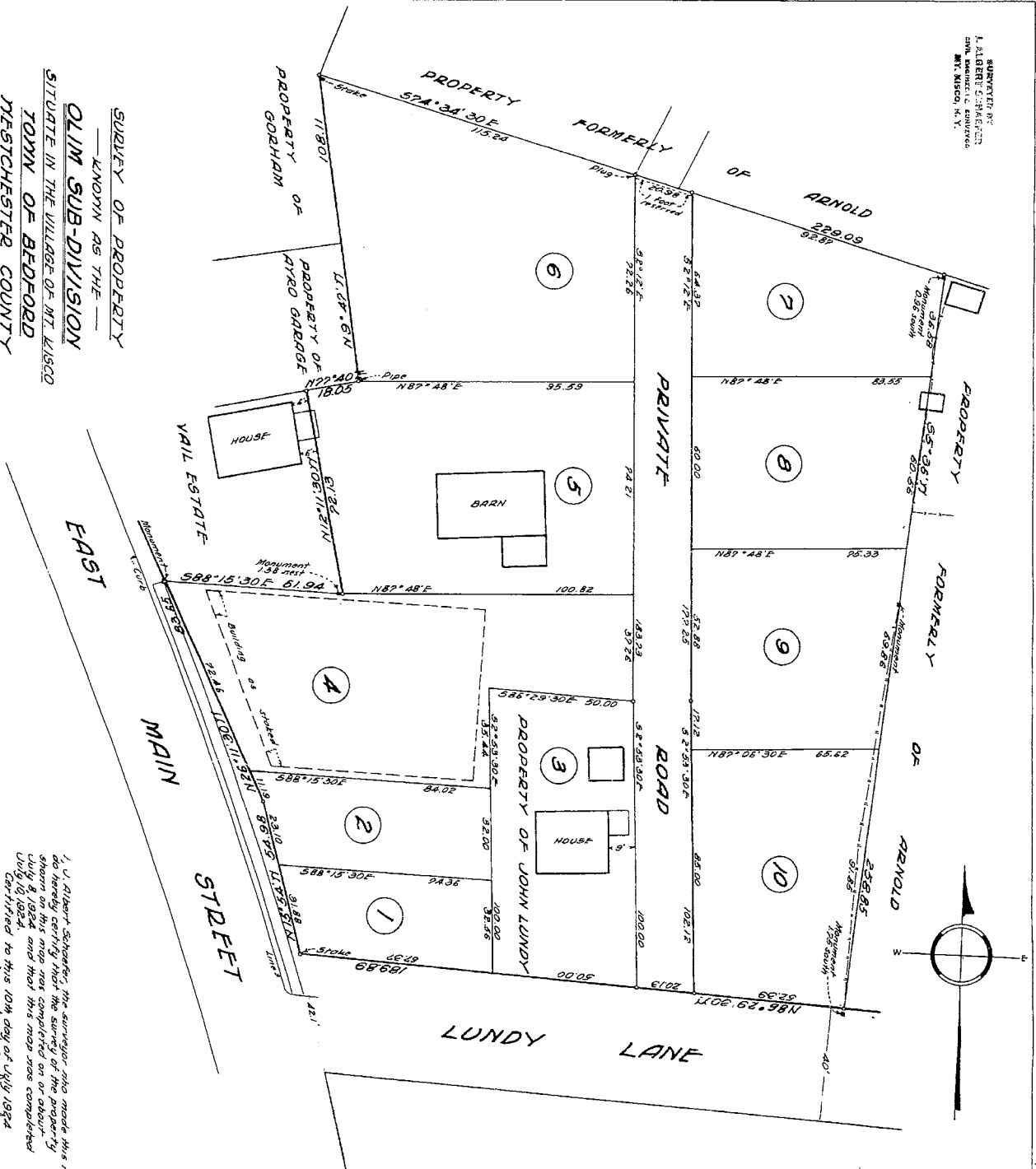
Filed in the Office of the Register of Deeds
May 18th 1924

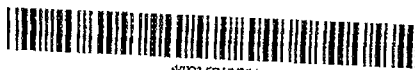
Register

Surveyed July 1924 by
J. Albert Schaefer
Civil Engineer & Surveyor
Mount Kisco, New York.

1. J. Albert Schaefer, the surveyor who made this map
do hereby certify that the survey of the property
shown on this map was completed on or about
July 8, 1924 and that this map was completed
July 10, 1924.
Certified to this 10th day of July 1924
J. Albert Schaefer
Surveyor by the State of New York.

1936





101684172

LIBER 7930 PAGE 721

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT

INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the ^{29th} ~~28th~~ day of May, nineteen hundred and eighty-four
BETWEEN

KOSTAS G. DOIKOS, residing at Roseholm Place, Mount Kisco, New York
10549

party of the first part, and

PAT CAMBARERI, residing at ¹⁴⁶ Lexington Avenue, Mount Kisco, New York
10549

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten-----

----- dollars,
lawful money of the United States, paid

by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or
successors and assigns of the party of the second part forever,

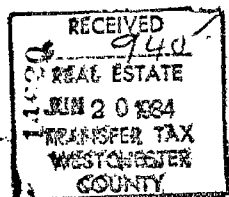
PARCEL I:
ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate,

lying and being in the Village and Town of Mount Kisco, County of Westchester, State
of New York, known and designated as Lots Nos. 1 and 2 on a certain map en-
titled "Survey of Property known as the Olim Subdivision situate in the
Village of Mt. Kisco, Town of Bedford, Westchester Co., N.Y." made by J.
Albert Schaefer and filed in the Office of the Register of Westchester
County, now County Clerk's Office of Westchester County, Division of Land
Records, on May 18, 1925 as Map No. 2836, which said lots are more particularly
bounded and described as follows:

BEGINNING at the corner formed by the intersection of the easterly side of
East Main Street and the northerly side of Lundy Lane; running thence easterly
along the northerly side of Lundy Lane, South 86° 29' 30" East 67.37 feet to
land now for late of John Lundy; thence North 2° 53' 30" West 64.56 feet to Lot
No. 4 on the said map; thence North 88° 15' 30" West along the southerly side of
Lot No. 4 84.02 feet to the easterly side of East Main Street; thence along the
easterly side of said East Main Street, South 26° 11' 30" East 11.19 feet, thence
still along East Main Street, South 15° 54' East 54.98 feet to the point or place
of BEGINNING.

PARCEL II:

All that certain plot, piece or parcel of land, situate, lying and being in the
Village and Town of Mount Kisco, County of Westchester and State of New York,
being the southerly portion of Lot No. 3 on a certain map entitled "Olim Sub-
division situated in the Village of Mount Kisco, Town of Bedford, Westchester



TAX STAMP
940 JUN 20 1984
ATTACHED

County, New York", prepared by J. Albert Schaefer, Licensed Surveyor, dated July 10, 1924 and filed in the office of the Register of Westchester County, now Westchester County Clerk's Office, Division of Land Records, on May 18, 1925 as Map No. 2836 and which southerly portion of said lot is more particularly bounded and described as follows:

BEGINNING at a point on the northerly side of Lundy Lane at the division line between Lots Nos. 1 and 3 as shown on the aforesaid map; thence running in a northerly direction along the easterly line of Lots Nos. 1 and 2 as shown on the aforesaid map, North 2° 53' 30" West 64.56 feet, thence running in an easterly direction through Lot No. 3 aforesaid, North 87° 59' 10" East 27.73 feet and South 87° 08' 10" East 22.08 feet to the easterly side of Lot No. 3 as shown on said map; thence running in a southerly direction and at all times along the easterly side of Lot No. 3 aforesaid, South 2° 53' 30" East 67.49 feet to the northerly side of Lundy Lane; thence running in a westerly direction along the northerly side of Lundy Lane, North 86° 29' 30" West 50 feet to the point or place of BEGINNING.

Said premises are designated on the tax map of the Town and Village of Mount Kisco as Lots 10A-1 and 10B in Section 6.

Being the same premises conveyed to the grantor by deed dated May 11, 1977 and recorded in Liber 7391 cp 423 on May 17, 1977 in the Westchester County Clerk's Office, Division of Land Records

Said premises are also described as follows:

ALL that certain plot, piece or parcel of land situate, lying and being in the Village/Town of Mount Kisco, County of Westchester and State of New York known and designated as Lots 1 and 2 and part of Lot 3 on a "Survey of Property known as the Olim Subdivision situate in the village of Mount Kisco, Town of Bedford, Westchester County, New York" made by J. Albert Schaefer and filed in the Office of the Clerk of the County of Westchester, Division of Land Records, on May 18, 1925 as Map No. 2836, bounded and described as follows:

BEGINNING at the northeast corner of East Main Street and Lundy Lane;

RUNNING thence along East Main Street, North 15 degrees 54' West 54.98 feet and North 26 degrees 11' 30" West 11.19 feet to Lot 4 on said map;

RUNNING thence along the same South 88 degrees 15' 30" East 84.02 feet;

RUNNING thence North 87 degrees 59' 10" East 27.73 feet and South 87 degrees 08' 10" East 22.08 feet to lands now or formerly of the Village of Mount Kisco;

RUNNING thence along the same, South 02 degrees 53' 30" East 67.49 feet to Lundy Lane;

RUNNING thence along the same, North 86 degrees 29" West 117.37 feet to the point of BEGINNING.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof.

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises.

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been incumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

ROSTAS G. DOIKOS

By: 
Kenneth B. Karpel

His Attorney-in-fact

724
STATE OF NEW YORK, COUNTY OF Westchester
On the 29th day of May 19 84, before me
personally came
Kenneth N. Karpel

730
to me known to be the individual described in and who
executed the foregoing instrument, and acknowledged that
he executed the same, as the true act and
deed of Kostas G. Doikos, the grantor, pur-
suant to Power of Attorney dated May 25,
1977 and intended to be recorded simultane-
ously with this deed.

Glenn J. Koblitz
GLORIA YAKOBLITZ
Notary Public, State of New York
No. 013A4693216
Qualified in Westchester County
Commission Expires Mar. 30, 1986

STATE OF NEW YORK, COUNTY OF
On the day of 19 , before me
personally came
to me known, who, being by me duly sworn, did depose and
say that he resides at No.

that he is the
of
the corporation described
in and which executed the foregoing instrument; that he
knows the seal of said corporation; that the seal affixed
to said instrument is such corporate seal; that it was so
affixed by order of the board of directors of said corpora-
tion, and that he signed his name thereto by like order.

STATE OF NEW YORK, COUNTY OF
On the day of 19 , before me
personally came

to me known to be the individual described in and who
executed the foregoing instrument, and acknowledged that
executed the same.

STATE OF NEW YORK, COUNTY OF
On the day of 19 , before me
personally came
to me known, who, being by me duly sworn, did depose and
say that he resides at No.

that he is the
of
the corporation described
in and which executed the foregoing instrument; that he
knows the seal of said corporation; that the seal affixed
to said instrument is such corporate seal; that it was so
affixed by order of the board of directors of said corpora-
tion, and that he signed his name thereto by like order.

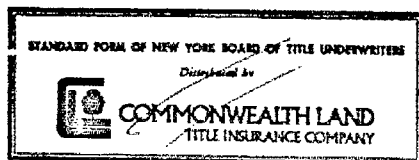
Bargain and Sale Deed
WITH COVENANT AGAINST GRANTOR'S ACTS

TITLE NO. RGW 712979

KOSTAS G. DOIKOS

TO

PAT CAMBARERI



SECTION 6

BLOCK

LOT 10A-1 and 10B

COUNTY OR TOWN

Mount Kisco Village/Town

Recorded at Request of COMMONWEALTH LAND
TITLE INSURANCE COMPANY

RETURN BY MAIL TO:

Vincent Cerbone, Esq.
84 Smith Avenue
Mount Kisco, New York 10549

Zip No.

08 '81

RESERVE THIS SPACE FOR USE OF RECORDING OFFICE
RECEIVED
WESTCHESTER COUNTY CLERK

JUN 20 9 19 AM '84

35828

| | |
|------------|--------|
| Subj. No. | 712979 |
| Rec'd. No. | 712979 |
| File No. | 712979 |
| Class Ref. | 712979 |
| Doc. Ref. | 712979 |
| Index | 712979 |

RECORDED IN THE DIVISION OF LAND RECORDS OF THE COUNTY CLERK
OFFICE OF WESTCHESTER COUNTY ON June 20, 1984
at 9:19 AM File No. 7930-721

The foregoing instrument was endorsed for record as follows:
The property affected by this instrument is situated in the
County of Westchester, N. Y. A True copy of the original
deed.

Recorded in the Division of Land Records of the County Clerk
Office of Westchester County on June 20, 1984
at 9:19 AM File No. 7930-721

Witness my hand and Official Seal

Andrew J. Spacco
Andrew J. Spacco
County Clerk

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



550613082DED001U

Westchester County Recording & Endorsement Page

Submitter Information

Name: Stewart Title Insurance Company (pick up by Ramon) Phone: 914-993-9393
Address 1: 707 Westchester Avenue, Ste 411 Fax: 914-997-1698
Address 2: Email: nymetrorecordings@stewart.com
City/State/Zip: White Plains NY 10604 Reference for Submitter: 1421647-Hudson Riley, LLC

Document Details

Control Number: **550613082** Document Type: **Deed (DED)**
Package ID: 2015030200060001002 Document Page Count: **3** Total Page Count: **4**

Parties

☐ Additional Parties on Continuation page
2nd PARTY

1st PARTY
1: FRANCAN JOHN - Individual 1: HUDSON RILEY LLC - Other
2: FRANCAN BARBARA - Individual 2:

Property

☐ Additional Properties on Continuation page

Street Address: 179 EAST MAIN STREET Tax Designation: 80.25-3-26.1
City/Town: MOUNT KISCO Village:

Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
Page Fee: \$20.00
Cross-Reference Fee: \$0.00
Mortgage Affidavit Filing Fee: \$0.00
RP-5217 Filing Fee: \$250.00
TP-584 Filing Fee: \$5.00
Total Recording Fees Paid: **\$315.00**

Transfer Taxes

Consideration: \$2,500,000.00
Transfer Tax: \$10,000.00
Mansion Tax: \$0.00
Transfer Tax Number: 9338

Mortgage Taxes

Document Date:
Mortgage Amount:
Basic: \$0.00
Westchester: \$0.00
Additional: \$0.00
MTA: \$0.00
Special: \$0.00
Yonkers: \$0.00
Total Mortgage Tax: **\$0.00**

Dwelling Type: Exempt: ☐
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK

Record and Return To

☐ Pick-up at County Clerk's office



Recorded: 03/23/2015 at 11:35 AM

Control Number: **550613082**

Witness my hand and official seal

Timothy C. Idoni

Timothy C. Idoni
Westchester County Clerk

Randie P. Paterno, Esq.
16 School Street
Suite D
Rye, NY 10580

Standard N.Y.B.T.U. Form 8002: Bargain and sale deed
with covenant against grantors acts

DEED

THIS INDENTURE, made the 3rd day of March, 2015 **BETWEEN**

JOHN FRANCAN AND BARBARA FRANCAN
11 East Ridge Road
Mount Kisco, New York 10549

Party of the first part, and

HUDSON RILEY, LLC, a New York Limited Liability Company
700 Old Post Road
Bedford, New York 10506

Party of the second part,

WITNESSETH that the party of the first part, in consideration of Ten (\$10.00) Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, and the heirs or successors and assigns of the party of the second part, forever:

ALL that certain plot, piece or parcel of land, with buildings and improvements thereon erected, situate, lying and being in the Town/Village of Mount Kisco, County of Westchester and State of New York, more particularly described in Schedule "A" attached hereto and made a part hereof.

BEING the same premises acquired by the Party of the First Part by deed dated November 5, 1976 and recorded in the Westchester County Clerk's Office, Division of Land Records on November 8, 1976 in Liber 7361 of Deeds at Page 163.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the premises have been encumbered in any way whatever, except as aforesaid. **AND** the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

John Francan
JOHN FRANCAN

Barbara Francan
BARBARA FRANCAN

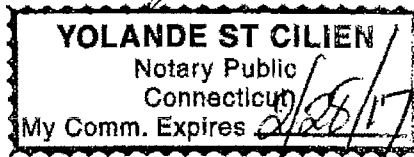
ACKNOWLEDGMENT

~~CONNECTICUT~~
STATE OF ~~NEW YORK~~
COUNTY OF ~~WESTCHESTER~~
~~PAINTFIELD~~

ss: Stamford

On the 3rd day of March, 2015, before me, the undersigned, personally appeared **JOHN FRANCAN and BARBARA FRANCAN** personally known to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacities, and that by their signatures on the instrument, the individuals acted and executed the same.

Yolande St Cilien
Notary Public



BARGAIN AND SALE DEED
With Covenant Against Grantors Acts
Title No.

SECTION/BLOCK/LOT
80.25-3-26.1

JOHN FRANCAN AND BARBARA FRANCAN

to

HUDSON RILEY, LLC

TOWN/VILLAGE: Mount Kisco

ADDRESS 179 East Main Street
Mount Kisco, NY 10549

RETURN BY MAIL TO:

Randie P. Paterno, Esq.
16 School Street, Suite D
Rye, New York 10580

SCHEDULE A DESCRIPTION

File No.: **ST14-21647**

Policy No.: **O-8911-687689**

ALL that certain plot, piece or parcel of land lying and being in the Village of Mount Kisco, Town of Mount Kisco, County of Westchester and State of New York, known as and by Lot 4 and part of Lot 3 as shown on a certain Map entitled, "Survey of Property known as the Olim Subdivision, situate in the Village of Mount Kisco, Town of Bedford, Westchester County, New York" surveyed July 1924 by J. Albert Schaefer, Civil Engineer and Surveyor and filed in the Office of the Register of Westchester County, now known as Westchester County Clerks Office, Division of land records on May 18, 1925 as Map No. 2836, and being bounded and described as follows:

BEGINNING at a point where the division line between Lots 2 and 4 as shown on the aforementioned map intersects with the easterly line of East Main Street; said point of beginning also being the following two (2) courses and distances distant from the northerly side of Lundy Lane;

1) North 15 degrees 54 minutes 00 seconds West, 54.98 feet;

2) North 26 degrees 11 minutes 30 seconds West, 11.19 feet and from said point of beginning;

RUNNING THENCE along the easterly side of Main Street, North 26 degrees 11 minutes 30 seconds West, 57.46 feet and North 22 degrees 19 minute 30 seconds West, 14.52 feet;

THENCE South 88 degrees 15 minutes 30 seconds East, 60.83 feet;

THENCE North 87 degrees 48 minutes 00 seconds East, 100.82 feet;

THENCE South 02 degrees 12 minutes 00 seconds East, 37.26 feet;

THENCE South 02 degrees 53 minutes 30 seconds East 32.50 feet;

THENCE North 87 degrees 08 minutes 10 seconds West, 22.08 feet;

THENCE South 87 degrees 59 minutes 10 seconds West 27.73 feet;

THENCE North 88 degrees 15 minutes 30 seconds West, 84.02 feet to the easterly side of East Main Street and the point or place of BEGINNING.

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



570583196DED0048

Westchester County Recording & Endorsement Page

Submitter Information

Name: Attorney's Title Insurance Agency, Inc. Phone: 914-244-3738
Address 1: 126 Barker Street Fax: 914-244-3814
Address 2: Email: patrick@attorneystitle.biz
City/State/Zip: Mount Kisco NY 10549 Reference for Submitter: AT17-12908W / 66-17W

Document Details

Control Number: **570583196** Document Type: **Deed (DED)**
Package ID: 2017022700103001001 Document Page Count: **4** Total Page Count: **6**

Parties

☐ Additional Parties on Continuation page

1st PARTY

2nd PARTY

1: SEASHELL REALTY LLC - Other 1: 175 MAIN STREET OF MT KISCO LLC - Other
2: 2:

Property

☒ Additional Properties on Continuation page

Street Address: 175 MAIN STREET Tax Designation: 80.25-3-26
City/Town: MOUNT KISCO Village:

Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
Page Fee: \$25.00
Cross-Reference Fee: \$0.00
Mortgage Affidavit Filing Fee: \$0.00
RP-5217 Filing Fee: \$250.00
TP-584 Filing Fee: \$5.00
Total Recording Fees Paid: **\$320.00**

Transfer Taxes

Consideration: \$1,900,000.00
Transfer Tax: \$7,600.00
Mansion Tax: \$0.00
Transfer Tax Number: 11131

Mortgage Taxes

Document Date:
Mortgage Amount:
Basic: \$0.00
Westchester: \$0.00
Additional: \$0.00
MTA: \$0.00
Special: \$0.00
Yonkers: \$0.00
Total Mortgage Tax: **\$0.00**

Dwelling Type: Exempt: ☐
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK

Record and Return To

☐ Pick-up at County Clerk's office



Recorded: 03/29/2017 at 03:09 PM
Control Number: **570583196**
Witness my hand and official seal

Timothy C. Idoni

Timothy C. Idoni
Westchester County Clerk

Attorney's Title Insurance Agency, Inc.
126 Barker Street

Mount Kisco, NY 10549

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.

570583196DED0048

Westchester County Recording & Endorsement Page

Document Details

Control Number: **570583196**

Document Type: **Deed (DED)**

Package ID: 2017022700103001001

Document Page Count: 4

Total Page Count: 6

Properties Addendum

175 MAIN STREET 10549

MOUNT KISCO

80.25 3 26.2

THIS INDENTURE, made as of March 10, 20¹⁷~~16~~

BETWEEN

SEASHELL REALTY, LLC
28 DEER TRACK LANE
GOLDENS BRIDGE, NEW YORK 10526

party of the first part, and

175 MAIN STREET OF MT. KISCO, LLC
16 LAWRENCE STREET
MOUNT KISCO, NEW YORK 10549

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

SEE ATTACHED SCHEDULE "A"

BEING and intended to be the same premises conveyed to the party of the first part by deed dated 3/12/2009 recorded in the Office of the Clerk of Westchester County on 4/2/2009 in Control No. 490890133.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.
IN PRESENCE OF:

SEASHELL REALTY, LLC

BY:

 member
ROGER DAVIDSON, MEMBER

44-38309

ACKNOWLEDGMENT IN NEW YORK STATE (RPL 309-a)

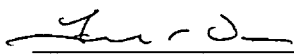
STATE OF NEW YORK, COUNTY OF WESTCHESTER SS.:

On MARCH 10, 2017 before me, the undersigned, personally appeared

ROGER DAVIDSON

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Frank J. Veith
Notary Public, State of New York
Qualified in Westchester County
Commission 5066081
Commission Expires 9/23/18


(signature and office of individual taking acknowledgment)

ACKNOWLEDGMENT OUTSIDE NEW YORK STATE (RPL 309-b)

On _____, 2017 before me, the undersigned, personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in

(insert city or political subdivision and state or county or other place acknowledgment taken)

(signature and office of individual taking acknowledgment)

ACKNOWLEDGMENT BY SUBSCRIBING WITNESS

STATE OF _____)
) SS.:
COUNTY OF _____)

On _____ before me, the undersigned, personally appeared

the subscribing witness(es) to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in (if the place of residence is in a city, include the street and street number, if any, thereof):

that he/she/they know(s)

to be the individual(s) described in and who executed the foregoing instrument; that said subscribing witness(es) was (were) present and saw said

execute the same; and that said witness(es) at the same time subscribed his/her/their name(s) as a witness(es) thereto.
(to if taken outside New York State insert city or political subdivision and state or county or other place acknowledgment is taken And that said subscribing witness(es) made such appearance before the undersigned in _____)

(signature and office of individual taking acknowledgment)

Bargain and Sale Deed
WITH COVENANT AGAINST GRANTOR'S ACTS

Title Number: AT17-12908W

SECTION 80.25
BLOCK 3
LOT 26 & 26.2
COUNTY OR TOWN Westchester/Mount Kisco
ADDRESS: 175 Main Street, Mt. Kisco, NY 10549

SEASHELL REALTY, LLC
TO
175 MAIN STREET OF MT. KISCO, LLC

Attorney's Title
176 Barker St.
Mount Kisco, NY 10549

Reserve this space for use of Recording Office.

OWNER'S POLICY
Schedule A Continued (page 2)
Title No. AT17-12908W, Policy No. 7230632-210876028

(DESCRIPTION)

PARCEL 1/SECTION 80.25, BLOCK 3, LOT 26:

ALL that certain plot, piece or parcel of land situate, lying and being in the Town of Mount Kisco, County of Westchester, and State of New York, bounded and described as follows:

BEGINNING at a point on the easterly line of East Main Street, where the same is intersected by the southerly line of lands now or formerly belonging to Curtice H. Pearsall;

THENCE RUNNING along said lands of Pearsall, North 80° 06' East 99.29 feet to a point;

THENCE turning and running along the easterly line of Pearsall and also along lands now or formerly belonging to Inez Mulholland,

North 9° 47' West 59.11 feet to lands now or formerly belonging to Clark G. and Dina M. Showers;

THENCE turning and running along said lands of Showers, South 74° 38' 20" East 115.18 feet to a point;

THENCE turning and running along the westerly line of a private road, 20 feet in width,

South 2° 12' East 146.61 feet to a point;

THENCE turning and running through lands of the party of the first part,

South 87° 48' west 100.82 feet, and

North 88° 15' 30" West 60.03 feet to the easterly line of East Main Street;

THENCE turning and running along said easterly line of East Main Street,

North 22° 40' West 27.77 feet and

North 22° 24' 40" West 84.47 feet to the point or place of **BEGINNING**.

OWNER'S POLICY
Schedule A Continued (page 3)
Title No. AT17-12908W, Policy No. 7230632-210876028

PARCEL II/SECTION 80.25, BLOCK 3, LOT 26.2:

ALL that certain plot, piece or parcel of land situate, lying and being in the Town of Mount Kisco, County of Westchester, and State of New York, bounded and described as follows:

BEGINNING at a point on the division line between lands now or formerly belonging to Israel Shulman on the East and lands now or formerly belonging to Bano Buick, Inc., as on the West, said point being distant:

North 5° 36' East 91.85 feet as measured along said division line from the northerly line of Lundy Lane

THENCE RUNNING along the northerly line of lands of said Bano Buick, Inc.,

South 87° 06' 30" West 65.62 feet to a point on the easterly line of a private road;

THENCE RUNNING along the easterly line of said private road,

North 2° 53' 30" West 17.12 feet; and

North 2° 12' West 177.37 feet to lands now or formerly belonging to Donald E. and Anne M. Merlini;

THENCE TURNING AND RUNNING and running along said lands of Merlini

South 74° 30' 10" East 92.89 feet to lands now or formerly belonging to Frank D. and C. E. Carpentieri;

THENCE turning along said lands of Carpentieri and also along lands now or formerly belonging to Israel Shulman;

South 5° 36' West 167.00 feet to the point or place of **BEGINNING**.

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



613143997DED0017

Westchester County Recording & Endorsement Page

Submitter Information

Name: Better Research, LLC Phone: 718-252-4200 ext.231
Address 1: 1 PARAGON DRIVE Fax: 718-252-4226
Address 2: SUITE 150B Email: rec@bettertitlereasearch.com
City/State/Zip: MONTVALE NJ 07645 Reference for Submitter: RANY-45111

Document Details

Control Number: **613143997** Document Type: **Deed (DED)**
Package ID: 2021111000463001001 Document Page Count: **3** Total Page Count: **5**

Parties

☐ Additional Parties on Continuation page
2nd PARTY

1st PARTY
1: 193 EAST MAIN LLC - Other 1: TD UNION LLC - Other
2: 2:

Property

☒ Additional Properties on Continuation page

Street Address: 201 MAIN ST Tax Designation: 80.33-2-1
City/Town: MOUNT KISCO Village:

Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
Page Fee: \$20.00
Cross-Reference Fee: \$0.00
Mortgage Affidavit Filing Fee: \$0.00
RP-5217 Filing Fee: \$250.00
TP-584 Filing Fee: \$5.00
RPL 291 Notice Fee: \$0.00
Total Recording Fees Paid: **\$315.00**

Transfer Taxes

Consideration: \$6,330,000.00
Transfer Tax: \$25,320.00
Mansion Tax: \$0.00
Transfer Tax Number: 6292

Mortgage Taxes

Document Date:
Mortgage Amount:

Basic: \$0.00
Westchester: \$0.00
Additional: \$0.00
MTA: \$0.00
Special: \$0.00
Yonkers: \$0.00
Total Mortgage Tax: **\$0.00**

Dwelling Type: Exempt: ☐
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 12/01/2021 at 09:46 AM
Control Number: **613143997**
Witness my hand and official seal

Timothy C. Ideni

Timothy C. Ideni
Westchester County Clerk

Record and Return To

☐ Pick-up at County Clerk's office

BETTER RECORDINGS, LLC
1 PARAGON DR, SUITE 150B

MONTVALE, NJ 07645

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.

613143997DED0017

Westchester County Recording & Endorsement Page

Document Details

Control Number: **613143997**

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Package ID: 2021111000463001001

Document Page Count: 3

Total Page Count: 5

Properties Addendum

13 LUNDY LN 10549

MOUNT KISCO

80.25 3 22

THIS INDENTURE, made as of this 22 day of November, 2021.
BETWEEN

193 EAST MAIN STREET LLC, WITH AN ADDRESS AT 2020 WOLVERTON A., BOCA RATON, FL 33434

party of the first part, and

TD Union LLC, 176 Union Street, Brooklyn, New York 11231

party of the second part.

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

SEE SCHEDULE A ANNEXED HERETO AND MADE A PART HEREOF.

Said Premises being known as Parcel I: 193-201 Main Street, Mt. Kisco, N.Y.

Block: 2, Lot: 1

Parcel II: 13 Lundy Lane, Mt. Kisco, N.Y.

Block: 3, Lot 22

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.


AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

193 East Main, LLC


Name: Gittel Bausk, Manager
Title:

FLORIDA
STATE OF NEW YORK)
COUNTY OF ALBANY)

SS:

On the 5 day of NOV in the year 2021, before me, the undersigned, a notary public in and for said state, personally appeared Gittel Bausk, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s) acted, executed the instrument.

Jeannette Gano
Notary Public:



**BARGAIN AND SALE DEED
WITH COVENANT AGAINST GRANTOR'S
ACTS**

TO

STATE OF NEW YORK)
COUNTY OF)

SS:

On the ___ day of _____ in the year _____, before me, the undersigned, a notary public in and for said state, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s) acted, executed the instrument.

Notary Public

SECTION 80.33, 80.25

BLOCK: 2, 3

LOTS: 1, 22

COUNTY: Westchester

PREMISES: 193-201 Main Street,
13 Lundy Lane
Mt. Kisco, New York

RETURN BY MAIL TO:

MARC MARINER 652
3114 QUENTIN ROAD
BROOKLYN NY 11234

RIVERSIDE ABSTRACT, LLC
As Agent for
AMTRUST TITLE INSURANCE COMPANY
LEGAL DESCRIPTION

Title No.: **RANY-45111**

Parcel I:

ALL that certain plot piece or parcel of land, situate, lying and being in the Town of Mount Kisco, County of Westchester, State of New York, bounded and described as follows:

BEGINNING at the corner formed by the intersection of the northerly side of Lenox Place with the easterly side of Main Street;

RUNNING THENCE along the easterly side of Main Street, north 14° 34' 10" west, 108.50 feet to a point;

THENCE north 39° 30' 35" east, 16.19 feet to the southerly side of Lundy Lane;

THENCE along the southerly side of Lundy Lane, south 86° 24' 40" east, 135.79 feet;

THENCE south 4° 23' 10" east, 112.84 feet to the northerly side of Lenox Place;

THENCE along the northerly side of Lenox Place, north 88° degrees 25' 10" west, 127.15 feet to the point or place of BEGINNING.

Note: Address, Block & Lot shown for informational purposes only

Designated as Section 80.33, Block 2, Lot 1, Westchester County and also known as Parcel I: 201 Main Street, Mount Kisco, NY 10549.

Parcel II:

ALL that certain plot piece or parcel of land, lying and being in the Town of Mount Kisco, County of Westchester, State of New York, bounded and described as follows:

BEGINNING at a point on the northerly side of Lundy Lane measured and distant 138.37 feet east from the corner formed by the intersection of the north side of Lundy Lane with the east side of East Main Street;

THENCE north 02° 47' 40" west, 83.16 feet;

THENCE north 87° 12' 20" east, 65.63 feet;

THENCE south 05° 41' 50" west, 90.00 feet to the north side of Lundy Lane;

THENCE along the north side of Lundy Lane north 86° 24' 40" West, 52.66 feet to the point or place of BEGINNING.

Note: Address, Block & Lot shown for informational purposes only

Designated as Section 80.25, Block 3, Lot 22, Westchester County and also known as Parcel II: 13 Lundy Lane, Mount Kisco, NY 10549.

Riverside Abstract, LLC
3839 Flatlands Avenue, Suite 208
Brooklyn, NY 11234
TEL: (718) 252-4200 FAX: (718) 252-4226

April 18, 2023

Re: Title No. S7542
Premises: Bed of "Private Road" Map No. 2836
Mount Kisco, NY

Dear -----:

We have searched the records and indices of the Westchester County Clerk's Office as of 3/7/2023 for the purpose of determining the last record owner for the above referenced premises shown as "Private Road" on that certain map known as "Olim Subdivision" filed in the Westchester County Clerk's Office on 5/18/1925 as Map No. 2836.

It is well established in the Real Estate Law of the State of New York that when a street is created on a filed subdivision map subsequent sales of lots fronting on the street carry title to the center line of the street unless such title is specifically reserved by the developer for dedication to a municipality. Map No. 2836 created eight (8) lots that front on the private road and all of the initial lot sales carried title to the center line of said road. See copy of Map No. 2836 attached.

To establish the current owners of the bed of the private road it was necessary to run the chain of ownership for each lot and determine that the title to the road bed was never reserved, separately conveyed or otherwise encumbered in subsequent deeds.

The following are, collectively, the current record owners of the private road:

1. Pat Cambareri by deed recorded in Liber 7930 cp 721 owns the southerly part of Lot No. 3 on Map No. 2836 as part of Sec. 80.25 Bl. 3 Lot 24 on the tax map. See copy herewith.
2. Hudson Riley, LLC by deed recorded in Control No. 550613082 owns Lot No. 4 and the northerly part of Lot No. 3 on Map No. 2836 as part of Sec. 80.25 Bl. 3 Lot 26.1 on the tax map. See copy herewith.
3. 175 Main Street of Mt. Kisco, LLC by deed recorded in Control No. 570583196 owns Lots Nos. 5, 6, 7, 8 and 9 on Map No. 2836 as Sec. 80.25 Bl. 3 Lot 26 and Lot 26.2 on the tax map. See copy herewith.
4. TD Union LLC by deed recorded in Control No. 613143997 (Parcel II) owns Lot No. 10 on Map No. 2836 as Sec. 80.25 Bl. 3 Lot 22 on the tax map. See copy herewith.

Thank you for choosing First American Title for this search. This search is provided FOR INFORMATION ONLY. NO POLICY WILL BE ISSUED. Liability is limited to the fee paid for negligence only. If you have any questions, please do not hesitate to call our office.