

RECEIVED

Date: \_\_\_\_\_

APR 11 2023

Case No.: 2BA 23-3

Fee: \_\_\_\_\_

Zoning Board of Appeals  
Village/Town of Mount Kisco

Date Filed: \_\_\_\_\_

Village/Town of Mount Kisco  
Municipal Building  
104 Main Street, Mt. Kisco, NY 10549

**Zoning Board of Appeals  
Application**

Appellant: FORTUNATO CAMBARERI

Address: 16 LAWRENCE STR. MT. KISCO NY 10549

Address of subject property (if different): 175 E. MAIN STR., MT. KISCO

Appellant's relationship to subject property: X <sup>\*) MEMBER OF LLC</sup> Owner \_\_\_\_\_ Lessee \_\_\_\_\_ Other \_\_\_\_\_

Property owner (if different): 175 MAIN STR. OF MOUNT KISCO LLC

Address: 16 LAWRENCE STR., MT. KISCO NY 10549

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken  
from the decision of the Building Inspector, \_\_\_\_\_  
dated \_\_\_\_\_. Application is hereby made for the following:

\_\_\_\_\_ Variation or X Interpretation of Section 110.2B B(i)  
of the Code of the Village/Town of Mount Kisco,

to permit the: \_\_\_\_\_ Erection; \_\_\_\_\_ Alteration; \_\_\_\_\_ Conversion; X Maintenance  
of PARKING AREAS ON LOT 26.2 TO SERVE AS OFF-STREET  
PARKING FOR LOT #26

\_\_\_\_\_ in accordance with plans filed on (date) \_\_\_\_\_  
for Property ID # 80.25-3-26 + 26.2 located in the CB-2 Zoning District.

The subject premises is situated on the EAST side of (street) MAIN STREET  
in the Village/Town of Mount Kisco, County of Westchester, NY.

Does property face on two different public streets? Yes/No \_\_\_\_\_

(If on two streets, give both street names) MAIN STREET, AND UNNAMED  
STREET OWNED BY VILLAGE OF MT. KISCO

Type of Variance sought: \_\_\_\_\_ Use X Area \_\_\_\_\_

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? YES

Is there an approved site plan for this property? YES in connection with a  
\_\_\_\_ Proposed or X Existing building; erected (yr.) 1985

Size of Lot: 112'± feet wide 180'± feet deep Area 0.595 AC  
± 194'± ± 80'± ± 0.32 AC

Size of Building: at street level 63' feet wide 100' feet deep

Height of building: 39' Present use of building: COMMERCIAL

Does this building contain a nonconforming use? NO Please identify and explain: \_\_\_\_\_

Is this building classified as a non-complying use? NO Please identify and explain: \_\_\_\_\_

Has any previous application or appeal been filed with this Board for these premises?  
Yes/No? NO

Was a variance ever granted for this property? NO If so, please identify and explain: \_\_\_\_\_

Are there any violations pending against this property? NO If so, please identify and explain: \_\_\_\_\_

Has a Work Stop Order or Appearance Ticket been served relative to this matter?  
\_\_\_\_ Yes or X No Date of Issue: \_\_\_\_\_

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? NO

**I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:**

The following items **MUST** be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on \_\_\_\_\_ upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

**NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.**

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- \*j) At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- \*k) A floor plan of the subject building with all the necessary measurements.
- \*l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

**\* Optional - As Needed**

**CARLINE GIORGIANNI**  
Notary Public, State of New York  
Qualified in Orange County  
Reg. No. 01G16204867  
My Commission Expires 4/27/2025

I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.

(Appellant to sign here)

Sworn to before me this day of: April 11, 2023

Notary Public, Westchester /, County, NY

**CARLINE GIORGIANNI**  
Notary Public, State of New York  
Qualified in Orange County  
Reg. No. 01G16204867

[TO BE COMPLETED BY LESSEE/SELLER] [SELLER IS NOT THE PROPERTY OWNER IN FEE]

State of New York                 }  
County of Westchester          } ss

Being duly sworn, deposes and say that he resides at \_\_\_\_\_ in the County of Westchester, in the State of New York, that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Mount Kisco, County of Westchester aforesaid and known and designated as number \_\_\_\_\_ and that he hereby authorized \_\_\_\_\_ to make the annexed application in his behalf and that the statements contained in said application are true.

(sign here)

January 11, 2022

To: Whom it may concern

Re: 175 East Main St.  
Mt.Kisco NY 10549

RECEIVED

APR 11 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

Dear Sir or Madam:

This letter is to authorize Viktor K. Solarik, AIA of VKS Architects to file documents and drawings, appeal on our behalf at the Building Department and/or other Town and State agencies relative to the proposed construction project at the above captioned property.

I hereby certify that I am the owner of record of the property in question.

Respectfully,

FORTUNATO CANDAREMI

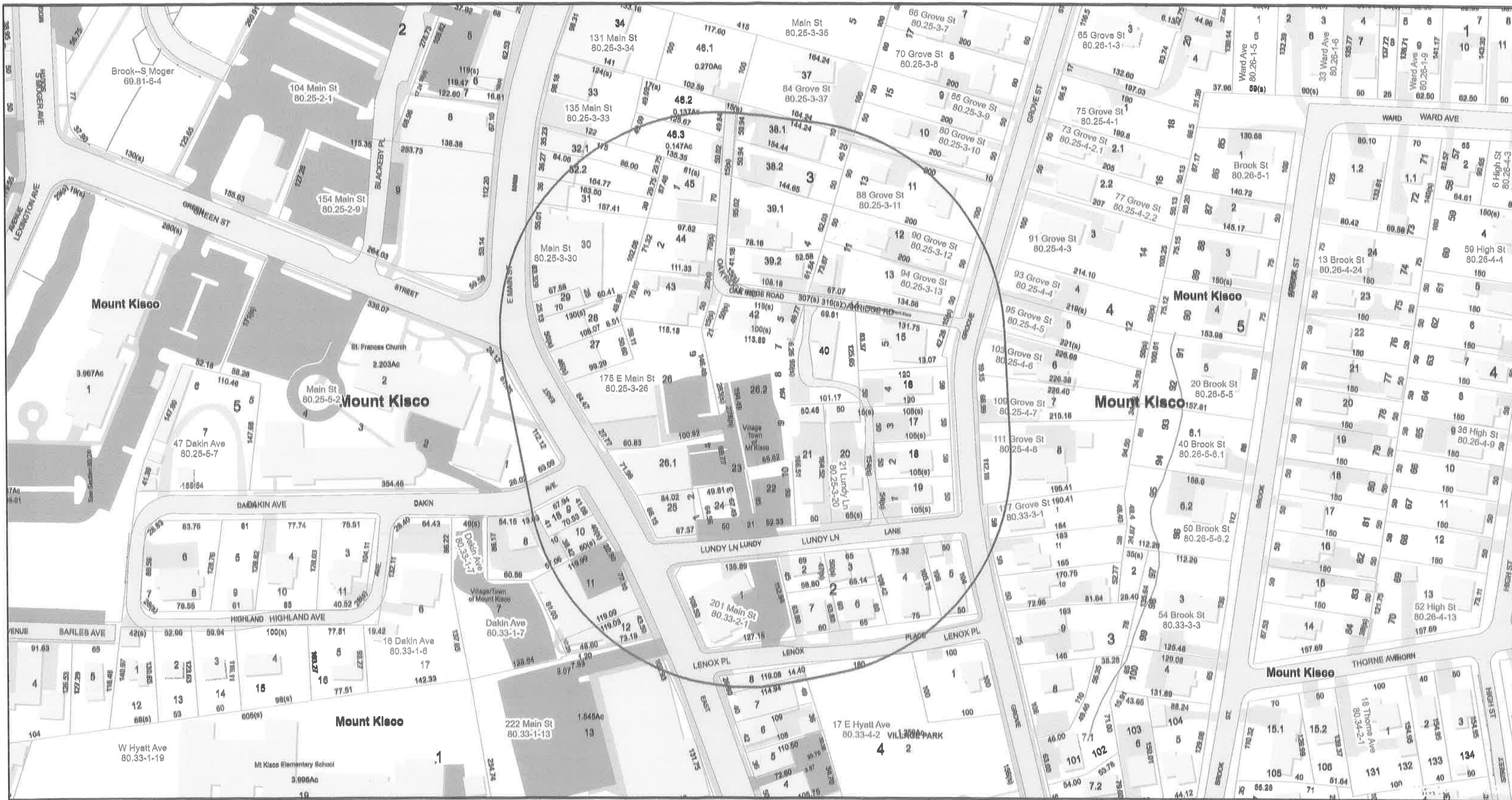
FC  
Name of owner

10 LAWRENCE ST. M.K. 10549

address

FC  
Signature

# 175 E Main St. ID: 80.25-3-26.2 (Mount Kisco )



April 4, 2023

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:1,500



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ft

Westchester County GIS

GIS  
<http://glawww.westchestergov.com>  
Michaelian Office Building  
148 Martine Avenue Rm 214  
White Plains, New York 10601

April 5<sup>th</sup>, 2023

To: **Village/Town of Mount Kisco**  
**Building Department**  
Attn. Peter J. Miley – Building Inspector  
104 Main St.  
Mount Kisco, NY 10549  
914-864-0022

Re: Zoning board of appeals  
Site Modifications for Addition at 175 E. Main St.  
175 East Main St. Mount Kisco, NY 10549

**VKS**  
**ARCHITECTS**

P O Box 696  
Katonah, NY 10536  
(914) 232-9828

**RECEIVED**  
**APR 11 2023**  
Zoning Board of Appeals  
Village/Town of Mount Kisco

Dear Mr.Miley,

This letter is to formally notify the Village/Town of Mount Kisco of our intent to seek a variance for the proposed conditions listed below.

1. Location of off-street parking facilities

- a. Town code 110-28(B).1 – Off-street parking facilities shall be provided on the same lot or premises with the structure or land use they serve, except that off-street parking spaces required for structures or land uses on two adjoining lots may be provided in a single common facility on one or both of said lots.
  - i. Variance application to permit Parcel #80.25-3-26.2 to continue to serve as a parking lot for 175 E. Main St. (Parcel #80.25-3-26). An Area Variance is requested due to the paper street that divides the two properties.

Please see the attached zoning board of appeals application and support documentation as required.

Respectfully submitted,

*Viktor Solarik*

Viktor K. Solarik AIA LEED AP  
VKS Architects

c.c.  
Owner  
File

175 East. Main St.

cc. Fortunato Cambareri, file (Job # 2021-450)



April 5th, 2023

To: **Village/Town of Mount Kisco**  
**Zoning Board of Appeals**  
Village Hall (1<sup>st</sup> floor)  
104 Main St.  
Mount Kisco, NY 10549  
914-864-0022

**VKS**  
**ARCHITECTS**  
P O Box 696  
Katonah, NY 10536  
(914) 232-9828

Re: 175 East Main St.  
Mount Kisco, NY 10549  
Tax ID 80.25-3-26 + 26.2

**RECEIVED**  
**APR 11 2023**  
Zoning Board of Appeals  
Village/Town of Mount Kisco

Dear Sir or Madam,

We are pleased to submit the application for variances for the proposed improvements at 175 East Main Street, Mt. Kisco NY.

The variance requested is to permit the alteration and maintenance of the existing parking lot on Parcel #80.25-3-26 & Parcel #80.25-3-26.2 which is divided by a paper street. We are requesting the permittance of parcel #80.25-3-26.2 to serve as off-street parking for the primary Parcel #80.25-3-26 despite that the property is not directly adjoining and divided by a paper street parcel that is under ownership of the Village/Town of Mount Kisco.

The primary Multi-Use structure alterations for the addition meet all the zoning requirements. The existing Parcel #80.25-3-26.2 serves effectively as the off-street parking for 175 East Main St. It is proposed to be improved and maintained to continue serving as off-street parking for 175 E. Main (80.25-3-26). Currently the two properties are divided by Parcel #80.25-3-23 which serves as a service entrance to 179 East Main St(80.25-3-26.1) and 175 East Main St(80.25-3-26). Due to the existing use of the dividing parcel, we believe it is within the character of the neighborhood and will not adversely affect or impact the neighborhood or adjacent parcels. The enclosed Architectural plans provide design calculation tables, a location map, and a site development plan with a description of work provided for your review.

We feel that the proposed improvements:

1. Will not produce an undesirable change in the character of the neighborhood nor will they create a detriment to nearby properties,
2. Cannot be achieved by some other feasible method other than a variance,
3. And the requested variances are not substantial,
4. And the proposed variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood, and
5. While being self-created, cannot be accomplished in any other method; to create enough room for parking or to reduce the development coverage would involve relocating the existing primary structure.

We look forward to presenting this application to the Zoning Board of Appeals and to answering any questions that will come up.

Re  
Respectfully submitted,

*Viktor Solarik*

Viktor K. Solarik AIA LEED AP  
VKS Architects

175 East. Main St.

cc. Fortunato Cambareri, file (Job # 2021-450)



115 Main

State of New York )  
 ) ss:  
County of Westchester)

AFFIDAVIT OF POSTING

RECEIVED  
JUN 15 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

**Gilmar Palacios Chin**, being duly sworn, says that on the 15<sup>th</sup> day of June 2023, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –  
104 Main Street

\_\_\_\_\_X\_\_\_\_\_

Public Library  
100 Main Street

\_\_\_\_\_X\_\_\_\_\_

Fox Center

\_\_\_\_\_X\_\_\_\_\_

Justice Court – Green Street  
40 Green Street

\_\_\_\_\_X\_\_\_\_\_

Mt. Kisco Ambulance Corp  
310 Lexington Ave

\_\_\_\_\_X\_\_\_\_\_

Carpenter Avenue Community House  
200 Carpenter Avenue

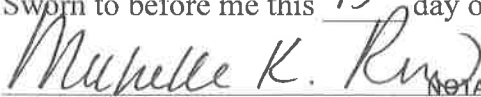
\_\_\_\_\_X\_\_\_\_\_

Leonard Park Multi Purpose Bldg

\_\_\_\_\_X\_\_\_\_\_

  
Gilmar Palacios Chin

Sworn to before me this 15<sup>th</sup> day of June 2023

  
Notary Public

MICHELLE K. RUSSO  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01RU6313298  
Qualified in Putnam County  
My Commission Expires 10-20-2026

**175 E Main Street (Parcel 2) Mailing List for Public Hearing**

OWNERNAME	PROPADDRESS	PROPCITY	PROPPZIP	PROPPRINTKEY	c/o	Mailing Address	City	State	Zip
159 East Main St. Assoc. LLC	159 Main St	MOUNT KISCO	10549	80.25-3-29		509 Central Park Ave	Scarsdale	NY	10583
Larchmont Development LLC	200 Main St	MOUNT KISCO	10549	80.33-1-11		48 Grand Street	New Rochelle	NY	10801
Finch Gary	28 Oakridge Rd	MOUNT KISCO	10549	80.25-3-43		28 Oakridge Rd	Mt Kisco	NY	10549
209 East Main Street, LLC	209 Main St	MOUNT KISCO	10549	80.33-4-8	c/o Phyliss	13A Fisher Avenue	Katonah	NY	10536
Ford Family Trust	16 Lundy Ln	MOUNT KISCO	10549	80.33-2-2		26 Pines Bridge Rd	Mt Kisco	NY	10549
23 Lenox Place LLC	23 Lenox Pl	MOUNT KISCO	10549	80.33-2-4	Robert Gaspari	502 Stonewall Lane	Brewster	NY	10509
Hudson Valley Propert Developm	104 Grove St	MOUNT KISCO	10549	80.25-3-16	Anthony Fucci	157 Tibbetts Rd	Yonkers	NY	10705
Apropos Housing Opp.	114 Grove St	MOUNT KISCO	10549	80.25-3-18		86 Smith Avenue	Mt Kisco	NY	10549
Oliveri, Antonio	121 Grove St	MOUNT KISCO	10549	80.33-3-11		54 Brook St	Mt Kisco	NY	10549
Albanese Carmelo	109 Grove St	MOUNT KISCO	10549	80.25-4-7		122 McLain St	Bedford Corners	NY	10549
Pinnetti, Stuart	38 Oakridge Rd	MOUNT KISCO	10549	80.25-3-46.2		27 Manchester Dr	Mt Kisco	NY	10549
Merlini Family Irrev Trust	24 Oakridge Rd	MOUNT KISCO	10549	80.25-3-42	Ann & Donald Merlini	24 Oakridge Rd	Mt Kisco	NY	10549
Pinnetti, Nicola	31 Oakridge Rd	MOUNT KISCO	10549	80.25-3-39.1		27 Manchester Dr	Mt Kisco	NY	10549
Byrne, Patrick	16 Oakridge Rd	MOUNT KISCO	10549	80.25-3-40		6206 Villa at the Woods	Peekskill	NY	10566
Village Of Mount Kisco	Oakridge Road	MOUNT KISCO	10549	80.25-3-14		104 Main St	Mt Kisco	NY	10549
Fontecchio Cullen, Mary	94 Grove St	MOUNT KISCO	10549	80.25-3-13		94 Grove St	Mt Kisco	NY	10549
La Belleza Pizza Inc	141 Main St	MOUNT KISCO	10549	80.25-3-32.2		180 Stonehill Rd	Bedford	NY	10560
Cambareri, Pat	183 Main St	MOUNT KISCO	10549	80.25-3-25		5 Chestnut Ridge Rd	Mt Kisco	NY	10549
Hudson Riley, LLC	179 Main St	MOUNT KISCO	10549	80.25-3-26.1		700 Old Post Rd	Bedford	NY	10506
193 East Main LLC	201 Main St	MOUNT KISCO	10549	80.33-2-1	Ernest Schemitsch	176 Union Street	Brooklyn	NY	11231
Pinnetti Nicholas	40 Oakridge Rd	MOUNT KISCO	10549	80.25-3-46.3		27 Manchester Dr	Mt Kisco	NY	10549
175 Main St of Mount Kisco LLC	175 E Main St	MOUNT KISCO	10549	80.25-3-26.2	NA	16 Lawrence St.	Mt Kisco	NY	10549
Ramirez, Martin R	17 Lenox Pl	MOUNT KISCO	10549	80.33-2-6		17 Lenox Pl	Mt Kisco	NY	10549
Luppino, Antonio	88 Grove St	MOUNT KISCO	10549	80.25-3-11		3 Grove Street	Mt Kisco	NY	10549
Berliner Richard	80 Grove St	MOUNT KISCO	10549	80.25-3-10		80 Grove St	Mt Kisco	NY	10549
222 Kisco Plaza East Corp.	222 Main St	MOUNT KISCO	10549	80.33-1-13	MRE Mgt Corp	22 Radio Circl Dr	Mt Kisco	NY	10549
175 Main St of Mount Kisco LLC	175 E Main St	MOUNT KISCO	10549	80.25-3-26	NA	16 Lawrence St.	Mt Kisco	NY	10549
Cambareri, Pat	9 Lundy Ln	MOUNT KISCO	10549	80.25-3-24		5 Chestnut Ridge Rd	Mt Kisco	NY	10549
17 Lundy LLC	17 Lundy Ln	MOUNT KISCO	10549	80.25-3-21	Edward Coku	9 Fisher Lane	Ridgefield	CT	06877
Martabano, Kenneth D	13 Lenox Pl	MOUNT KISCO	10549	80.33-2-7		145 Martin Road	Hopewell Junction	NY	12533
Village Of Mount Kisco	17 E Hyatt Ave	MOUNT KISCO	10549	80.33-4-2		104 Main Street	Mt Kisco	NY	10549
Caico, Andrea	84 Grove St	MOUNT KISCO	10549	80.25-3-37		187 Parkview Place	Mt Kisco	NY	10549
Liban Cedar LLC	10 Dakin Ave	MOUNT KISCO	10549	80.33-1-8		10 Dakin Ave	Mt Kisco	NY	10549
Village Of Mount Kisco	Lundy Ln	MOUNT KISCO	10549	80.25-3-23		104 Main St	Mt Kisco	NY	10549
Yang Nan Chun	29 Oakridge Rd	MOUNT KISCO	10549	80.25-3-39.2		29 Oakridge Rd	Mt Kisco	NY	10549
Gomez, Guillermo	108 Grove St	MOUNT KISCO	10549	80.25-3-17		108 Grove St	Mt Kisco	NY	10549
Erkan, Mary Jean	116 Grove St	MOUNT KISCO	10549	80.25-3-19	Mary Farrell	30 Emery St	Mt Kisco	NY	10549
Charpentier, Erica H	103 Grove St	MOUNT KISCO	10549	80.25-4-6		103 Grove St	Mt Kisco	NY	10549
Grimes, Eugene P	95 Grove St	MOUNT KISCO	10549	80.25-4-5		95 Grove St	Mt Kisco	NY	10549
Kisco Best, LLC	188 Main St	MOUNT KISCO	10549	80.33-1-9		710 Bedford Road	Bedford Hills	NY	10507
153 Main Street MK Holdings LL	Main St	MOUNT KISCO	10549	80.25-3-30	Gary Bakshy	57 Orland St	Milford	CT	06460
145-147 Main Street LLC	147 Main St	MOUNT KISCO	10549	80.25-3-31	Joe Fedele	5 Edgewood Dr	Katonah	NY	10536
Boyko Yaroslav	34 Oakridge Rd	MOUNT KISCO	10549	80.25-3-45		34 Oakridge Rd	Mt Kisco	NY	10549
Morgano Matthew	100 Grove St	MOUNT KISCO	10549	80.25-3-15		100 Grove St	Mt Kisco	NY	10549
Arias Sergio L	90 Grove St	MOUNT KISCO	10549	80.25-3-12		90 Grove St	Mt Kisco	NY	10549
Demaio Antonia	124 Grove St	MOUNT KISCO	10549	80.33-2-5		124 Grove St	Mt Kisco	NY	10549
Ciliberto, Francis	111 Grove St	MOUNT KISCO	10549	80.25-4-8		6 Little Pines Road	Mt Kisco	NY	10549
Tiber Enterprises Corp Inc	35 Oakridge Rd	MOUNT KISCO	10549	80.25-3-38.1		50 St Marks Place	Mt Kisco	NY	10549
Main Street Prime Properties	Main St	MOUNT KISCO	10549	80.25-3-28	Laurie Mulholland	10 Overlook Road	Ardley	NY	10502
165 Yellow Jersey LLC	167 Main St	MOUNT KISCO	10549	80.25-3-27	Sterling Properties	77 Tarrytown Road,STE 1E	White Plains	NY	10160
Larchmont Development LLC	206 Main St	MOUNT KISCO	10549	80.33-1-12		48 Grand Street	New Rochelle	NY	10801
ALB Main St LLC	135 Main St	MOUNT KISCO	10549	80.25-3-33	Antonio Bueti	40 New Castle Drive	Mt Kisco	NY	10549
Twelve-Five Inc	13 Lundy Ln	MOUNT KISCO	10549	80.25-3-22		176 Union Street	Brooklyn	NY	11231
Batha, Eleftheria	33 Oakridge Rd	MOUNT KISCO	10549	80.25-3-38.2		5 Jean Lane	Hartsdale	NY	10530
Ford Family Trust	20 Lundy Ln	MOUNT KISCO	10549	80.33-2-3		26 Pines Bridge Road	Mt Kisco	NY	10549
Gasparri, Robert J	21 Lundy Ln	MOUNT KISCO	10549	80.25-3-20		502 Stonewall Lane	Brewster	NY	10509
Kuusisto Patricia	93 Grove St	MOUNT KISCO	10549	80.25-4-4		93 Grove St	Mt Kisco	NY	10549
St Francis Church	Main St	MOUNT KISCO	10549	80.25-5-2		Main St	Mt Kisco	NY	10549
Kalamata Best, LLC	192 Main St	MOUNT KISCO	10549	80.33-1-10		710 Bedford Road	Bedford Hills	NY	10507
Cabrera Rilma	32 Oakridge Rd	MOUNT KISCO	10549	80.25-3-44		32 Oakridge Rd	Mt Kisco	NY	10549
La Belleza Pizza Inc	139 Main St	MOUNT KISCO	10549	80.25-3-32.1	Mirash Dedvukas	180 Stone Hill Road	Bedford	NY	10506
NBR Properties LLC	213 E Main St	MOUNT KISCO	10549	80.33-4-7		PO Box 280	Mt Kisco	NY	10549
Oliveri, Antonio	117 Grove St	MOUNT KISCO	10549	80.33-3-1		54 Brook St	Mt Kisco	NY	10549
SL Mount Kisco LLC	154 Main St	MOUNT KISCO	10549	80.25-2-9		154 Main St	Mt Kisco	NY	10549
Village of Mount Kisco	Dakin Ave	MOUNT KISCO	10549	80.33-1-7		104 Main St	Mt Kisco	NY	10549
Martabano Realty Corp	150 Main St	MOUNT KISCO	10549	80.25-2-8	MRE Mgmt Group	27 Radio Crile Dr Ste 200	Mt Kisco	NY	10549
16 Dakin Partners LLC	16 Dakin Ave	MOUNT KISCO	10549	80.33-1-6		333 N Bedford Rd	Mt Kisco	NY	10549

RECEIVED

JUN 15 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

175 E Main Street (Parcel 1) Mailing List for Public Hearing									
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159 East Main St. Assoc. LLC	159 Main St	MOUNT KISCO	10549	80.25-3-29		509 Central Park Ave	Scarsdale	NY	10583
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Finch Gary	28 Oakridge Rd	MOUNT KISCO	10549	80.25-3-43					
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Hudson Valley Propert Developm	104 Grove St	MOUNT KISCO	10549	80.25-3-16	C/o Anthony Fucci	157 Tibbetts Rd	Yonkers	NY	10705
Apropos Housing Opp.	114 Grove St	MOUNT KISCO	10549	80.25-3-18		86 Smith Ave	Mt Kisco	NY	10549
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Village Of Mount Kisco	Oakridge Road	MOUNT KISCO	10549	80.25-3-14		104 Main ST	Mt Kisco	NY	10549
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Hudson Riley, LLC	179 Main St	MOUNT KISCO	10549	80.25-3-26.1		700 Old Post Road	Bedford	NY	10560
193 East Main LLC	201 Main St	MOUNT KISCO	10549	80.33-2-1	c/o Ernest Schemitsch	176 Union St	Brooklyn	NY	11231
Pinnetti Nicholas	40 Oakridge Rd	MOUNT KISCO	10549	80.25-3-46.3		27 Manchester Ave	Mt Kisco	NY	10549
175 Main St of Mount Kisco LLC	175 E Main St	MOUNT KISCO	10549	80.25-3-26.2	NA				
Ramirez, Martin R	17 Lenox Pl	MOUNT KISCO	10549	80.33-2-6					
Luppino, Antonio	88 Grove St	MOUNT KISCO	10549	80.25-3-11		3 Grove Street	Mt Kisco	NY	10549
SL Mount Kisco LLC	154 Main St	MOUNT KISCO	10549	80.25-2-9					
222 Kisco Plaza East Corp.	222 Main St	MOUNT KISCO	10549	80.33-1-13					
175 Main St of Mount Kisco LLC	175 E Main St	MOUNT KISCO	10549	80.25-3-26	NA				
Cambareri, Pat	9 Lundy Ln	MOUNT KISCO	10549	80.25-3-24		5 Chestnut Ridge Rd	Mt Kisco	NY	10549
17 Lundy LLC	17 Lundy Ln	MOUNT KISCO	10549	80.25-3-21	Edward Coku	9 Fisher Lane	Ridgefield	CT	06877
Martabano, Kenneth D	13 Lenox Pl	MOUNT KISCO	10549	80.33-2-7		145 Martin Rd	Hopewell Junction	NY	12533
Liban Cedar LLC	10 Dakin Ave	MOUNT KISCO	10549	80.33-1-8					
Village Of Mount Kisco	Lundy Ln	MOUNT KISCO	10549	80.25-3-23		104 Main St	Mt Kisco	NY	10549
Yang Nan Chun	29 Oakridge Rd	MOUNT KISCO	10549	80.25-3-39.2					
Gomez, Guillermo	108 Grove St	MOUNT KISCO	10549	80.25-3-17	Mary Farrell	30 Emery St	Mt Kisco	NY	10549
Erkan, Mary Jean	116 Grove St	MOUNT KISCO	10549	80.25-3-19					
Kisco Best, LLC	188 Main St	MOUNT KISCO	10549	80.33-1-9		710 Bedford Rd	Bedord Hills	NY	10507
153 Main Street MK Holdings LL	Main St	MOUNT KISCO	10549	80.25-3-30	Gary Bakshy	57 Orland St	Milford	CT	06460
145-147 Main Street LLC	147 Main St	MOUNT KISCO	10549	80.25-3-31	Joe Fedele	5 Edgewood Drive	Katonah	NY	10536
Boyko Yaroslav	34 Oakridge Rd	MOUNT KISCO	10549	80.25-3-45					
Morgano Matthew	100 Grove St	MOUNT KISCO	10549	80.25-3-15					
Arias Sergio L	90 Grove St	MOUNT KISCO	10549	80.25-3-12					
Tiber Enterprises Corp Inc	35 Oakridge Rd	MOUNT KISCO	10549	80.25-3-38.1		27 Manchester Ave	Mt Kisco	NY	10549
Main Street Prime Properties	Main St	MOUNT KISCO	10549	80.25-3-28	Laurie Mulholland	10 Overlook Rd	Ardsley	NY	10502
165 Yellow Jersey LLC	167 Main St	MOUNT KISCO	10549	80.25-3-27	Sterling Properties	77 Tarrytown Rd, Ste 1E	White Plains	NY	10160
Larchmont Development LLC	206 Main St	MOUNT KISCO	10549	80.33-1-12		48 Grand St	New Rochelle	NY	10801
ALB Main St LLC	135 Main St	MOUNT KISCO	10549	80.25-3-33	Antonio Bueti	40 New Castle Dr	Mt. Kisco	NY	10549
Twelve-Five Inc	13 Lundy Ln	MOUNT KISCO	10549	80.25-3-22		176 Union St	Brooklyn	NY	11231
Batha, Eleftheria	33 Oakridge Rd	MOUNT KISCO	10549	80.25-3-38.2		5 Jean Lane	Hartsdale	NY	10530
Ford Family Trust	20 Lundy Ln	MOUNT KISCO	10549	80.33-2-3		26 Pines Bridge Rd	Mt. Kisco	NY	10549
Gasparri, Robert J	21 Lundy Ln	MOUNT KISCO	10549	80.25-3-20		502 Stonewall Rd	Brewster	NY	10509
St Francis Church	Main St	MOUNT KISCO	10549	80.25-5-2					
Kalamata Best, LLC	192 Main St	MOUNT KISCO	10549	80.33-1-10		710 Bedford Rd	Bedford Hills	NY	10507
Cabrera Rilma	32 Oakridge Rd	MOUNT KISCO	10549	80.25-3-44					
La Belleza Pizza Inc	139 Main St	MOUNT KISCO	10549	80.25-3-32.1	Mirash Dedvukas	180 Stonehill Rd	Bedford	NY	10506

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JUN 15 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco



## AFFIDAVIT OF PUBLICATION FROM

RECEIVED

JUN 15 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

State of Wisconsin

County of Brown, ss.:

On the 15 day of June in the year 2023, before me, the undersigned, a Notary Public in and for said State, personally appeared Shelly Hora, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed, the instrument.

Shelly Hora being duly sworn says that he/she is the principal clerk of **THE JOURNAL NEWS**, a newspaper published in the County of Westchester and the State of New York, and the notice of which the annexed is a printed copy, was published in the newspaper area(s) on the editions dated below:

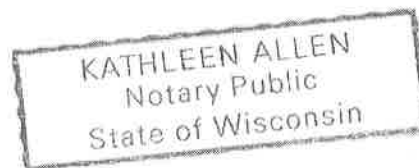
Zone:  
Westchester

Edition Dates:  
06/05/2023

Signature

Sworn to before me, this 15 day of June, 2023

Notary Public. State of Wisconsin. County of Brown



My commission expires

Legend:

### WESTCHESTER:

Amawalk, Ardsley, Ardsley on Hudson, Armonk, Baldwin Place, Bedford, Bedford Hills, Brewster, Briarcliff Manor, Bronxville, Buchanan, Carmel, Chappaqua, Cold Spring, Crompond, Cross River, Croton Falls, Croton on Hudson, Dobbs Ferry, Eastchester, Elmsford, Garrison, Goldens Bridge, Granite Springs, Greenburg, Harrison, Hartsdale, Hastings, Hastings on Hudson, Hawthorne, Irvington, Jefferson Valley, Katonah, Lake Peekskill, Larchmont, Lincolnville, Mahopac, Mahopac Falls, Mamaroneck, Millwood, Mohegan Lake, Montrose, Mount Kisco, Mount Vernon, New Rochelle, North Salem, Ossining, Patterson, Peekskill, Pelham, Pleasantville, Port Chester, Pound Ridge, Purchase, Purdys, Putnam Valley, Rye, Scarsdale, Shenorock, Shrub Oak, Somers, South Salem, Tarrytown, Thornwood, Tuckahoe, Valhalla, Verplank, Waccabuc, White Plains, Yorktown Heights, Yonkers

### ROCKLAND:

Blauvelt, Congers, Garnerville, Haverstraw, Hillburn, Monsey, Nanuet, New City, Nyack, Orangeburg, Palisades, Pearl River, Piermont, Pomona, Sloatsburg, Sparkill, Spring Valley, Stony Point, Suffern, Tallman, Tappan, Thiells, Tomkins Cove, Valley Cottage, West Haverstraw, West Nyack

Ad Number: 0005723139

**PUBLIC NOTICE**

Please Take Notice that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 20th day of June 2023 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 pm, pursuant to the Zoning Ordinance, on the appeal of Viktor Solarik - VKS Architects, of P.O. Box 696, Katonah, NY, 10536 against the decision of Peter J. Miley, Building Inspector, dated January 20th, 2023 denying the application to permit the existing off-street parking for parcel 80.25-3-26 to be located on parcel 80.25-3-26.2 separated by parcel 80.25-3-23 where adjacency is required by the town code.

The property involved is known as 175 East Main Street, Mount Kisco, NY, 10549 and is described on the Village Tax Map as Section 80.25 Block 3 Lot 26 + 26.2 and is located on the North side of East Main Street in a CB-2 Zoning District.

Said Appeal is being made to obtain a variance from Section 5110-28.B(1) of the Code of the Village/Town of Mount Kisco, which requires: "Off-street parking facilities to be provided on the same lot or premises with the structure or land use they serve, except that off-street parking spaces required for structures or land uses on two adjoining lots may be provided in a single common facility on one or both of said lots." All interested parties are invited to attend and to be heard.

By order of: Harold Boxer, Chair  
Zoning Board of Appeals  
Village/Town of Mount Kisco

0005723139

THIS INDENTURE, made as of March 10, 2017

BETWEEN

SEASHELL REALTY, LLC  
28 DEER TRACK LANE  
GOLDENS BRIDGE, NEW YORK 10526

party of the first part, and

175 MAIN STREET OF MT. KISCO, LLC  
16 LAWRENCE STREET  
MOUNT KISCO, NEW YORK 10549

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

SEE ATTACHED SCHEDULE "A"

BEING and intended to be the same premises conveyed to the party of the first part by deed dated 3/12/2009 recorded in the Office of the Clerk of Westchester County on 4/2/2009 in Control No. 490890133.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.  
IN PRESENCE OF:

SEASHELL REALTY, LLC

BY: B. C. Davidson, member  
ROGER DAVIDSON, MEMBER

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APR 11 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

**ACKNOWLEDGMENT BY SUBSCRIBING WITNESS**

STATE OF

COUNTY OF

On  
personally appeared

before me, the undersigned,

[Signature]  
(signature and office of individual taking acknowledgment)

that he/she/they know(s)

to be the individual(s) described in and who executed the foregoing instrument; that said subscribing witness(es) was (were) present and saw said

execute the same; and that said witness(es) at the same time subscribed his/her/their name(s) as a witness(es) thereto.

( ) if taken outside New York State insert city or political subdivision and state or country or other place acknowledgment is taken And that said subscribing witness(es) made such appearance before the undersigned in

(signature and office of individual taking acknowledgment)

(signature and office of individual taking acknowledgment)

## SECTION 80.25

BLOCK 3

**LOT 26 & 26.2**

COUNTY OR TOWN Westchester/Mount Kisco

ADDRESS: 175 Main Street, Mt. Kisco, NY 10549

**Mark Farrell, Esq.**  
84 Smith Avenue  
Mount Kisco, NY 10549

Reserve this space for use of Recording Office.



OWNER'S POLICY  
Schedule A Continued (page 2)  
Title No. AT17-12908W, Policy No. 7230632-210876028

**(DESCRIPTION)**

**PARCEL I/SECTION 80.25, BLOCK 3, LOT 26:**

**ALL** that certain plot, piece or parcel of land situate, lying and being in the Town of Mount Kisco, County of Westchester, and State of New York, bounded and described as follows:

**BEGINNING** at a point on the easterly line of East Main Street, where the same is intersected by the southerly line of lands now or formerly belonging to Curtice H. Pearsall;

**THENCE RUNNING** along said lands of Pearsall, North  $80^{\circ} 06'$  East 99.29 feet to a point;

**THENCE** turning and running along the easterly line of Pearsall and also along lands now or formerly belonging to Inez Mulholland,

North  $9^{\circ} 47'$  West 59.11 feet to lands now or formerly belonging to Clark G. and Dina M. Showers;

**THENCE** turning and running along said lands of Showers, South  $74^{\circ} 38' 20''$  East 115.18 feet to a point;

**THENCE** turning and running along the westerly line of a private road, 20 feet in width,

South  $2^{\circ} 12'$  East 146.61 feet to a point;

**THENCE** turning and running through lands of the party of the first part,

South  $87^{\circ} 48'$  west 100.82 feet, and  
North  $88^{\circ} 15' 30''$  West 60.03 feet to the easterly line of East Main Street;

**THENCE** turning and running along said easterly line of East Main Street,

North  $22^{\circ} 40'$  West 27.77 feet and  
North  $22^{\circ} 24' 40''$  West 84.47 feet to the point or place of **BEGINNING**.

OWNER'S POLICY  
Schedule A Continued (page 3)  
Title No. AT17-12908W, Policy No. 7230632-210876028

**PARCEL II/SECTION 80.25, BLOCK 3, LOT 26.2:**

**ALL** that certain plot, piece or parcel of land situate, lying and being in the Town of Mount Kisco, County of Westchester, and State of New York, bounded and described as follows:

**BEGINNING** at a point on the division line between lands now or formerly belonging to Israel Shulman on the East and lands now or formerly belonging to Bano Buick, Inc., as on the West, said point being distant:

North 5° 36' East 91.85 feet as measured along said division line from the northerly line of Lundy Lane

**THENCE RUNNING** along the northerly line of lands of said Bano Buick, Inc.,

South 87° 06' 30" West 65.62 feet to a point on the easterly line of a private road;

**THENCE RUNNING** along the easterly line of said private road,

North 2° 53' 30" West 17.12 feet; and  
North 2° 12' West 177.37 feet to lands now or formerly belonging to Donald E. and Anne M. Merlini;

**THENCE TURNING AND RUNNING** and running along said lands of Merlini

South 74° 30' 10" East 92.89 feet to lands now or formerly belonging to Frank D. and C. E. Carpentieri;

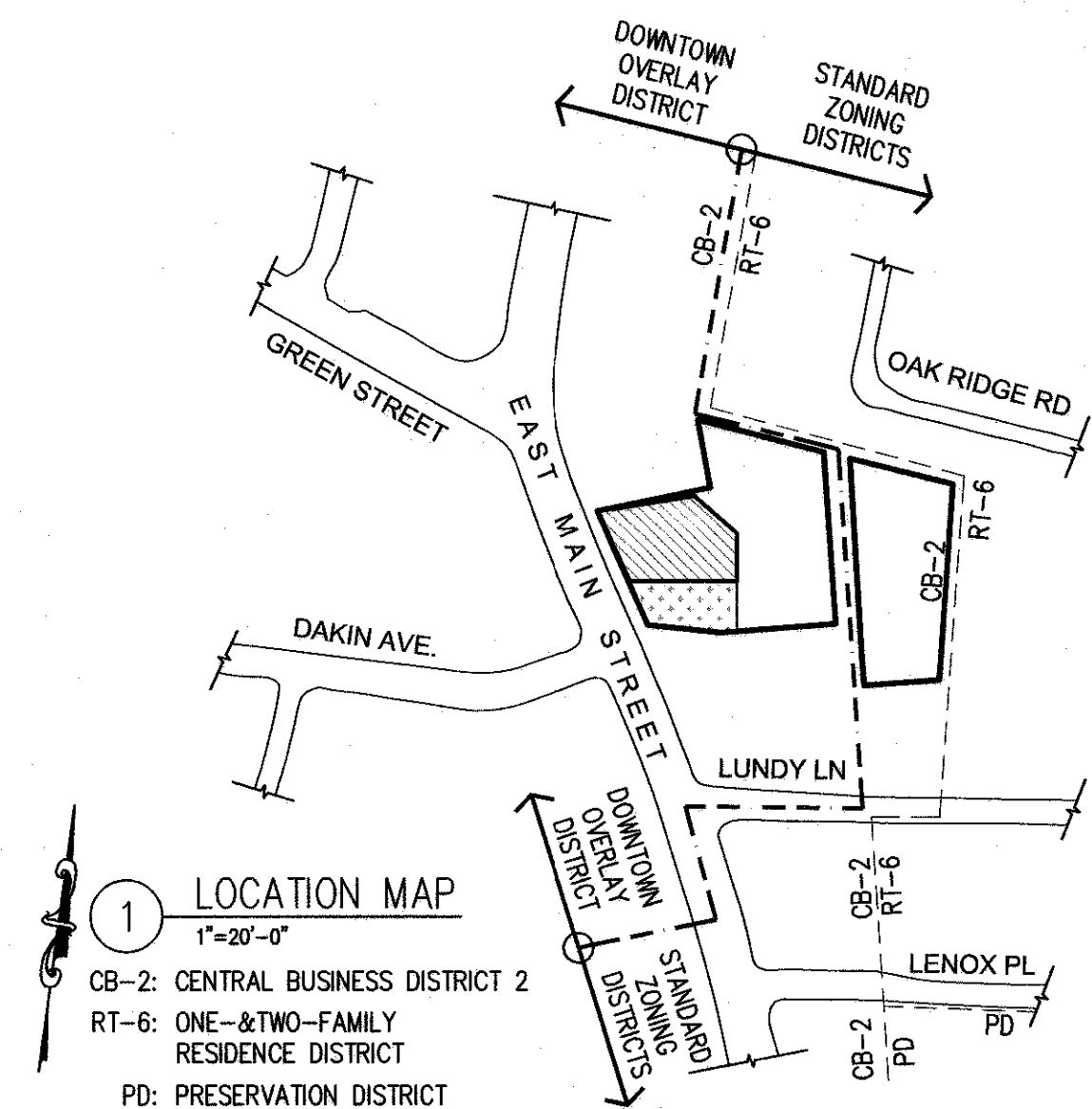
**THENCE** turning along said lands of Carpentieri and also along lands now or formerly belonging to Israel Shulman;

South 5° 36' West 167.00 feet to the point or place of **BEGINNING**.

# 175 EAST MAIN STREET MT.KISCO

## ADDITION TO EXISTING COMMERCIAL BUILDING

### FOR 175 MAIN ST OF MOUNT KISCO LLC



ZONING DISTRICT REGULATION TABLE: (SS.110-27.4)				
ZONING DISTRICT: DOWNTOWN OVERLAY DISTRICT: MAIN STREET AREA:				
DEVELOPMENT REGULATIONS		REQUIRED	EXISTING	PROPOSED
	MAX. BUILDING COVERAGE	75%	17.9%	18.2%
	MAX. DEVELOPMENT COVERAGE	90%	62.4%	58.1%
	FRONT YARD	IN BUILD-TO-ZONE: 12'-0"-20'-0" FROM CURB	9'-8"	SAME
BUILDING REGULATIONS	REAR YARD	20'-0" MIN.	78'-5"	SAME
	SIDE YARD	NONE REQUIRED	N/A	SAME
	MIN. SITE AREA (SQUARE FEET)	5,000 S.F.	39,954 S.F.	SAME
	MIN. SITE FRONTAGE AT BUILD-TO-LINE	50'-0"	63'-10"	SAME
BUILDING REGULATIONS	CIVIC SPACE	7.5% (2,995S.F.)	0%	7.9% (3,180S.F.)
	MIN. BUILDING HEIGHT	1 STORY	2 STORIES	3 STORIES
	MAX. BUILDING HEIGHT	3.5 STORIES OR 45'-0"	2 STORIES/29'-4"	3 STORIES/41'-4"
	MAX. BUILDING HEIGHT AT BUILD-TO-ZONE	37'-0"	N/A	31'-4"
BUILDING REGULATIONS	STEPBACK REQUIREMENT	10'-0" STEPBAC ABOVE 37'-0"	N/A	10'-0" STEPBAC @ 31'-4"

#### NOTE:

1 - S.S.110-27.4.C.7(b): FOR ADAPTIVE REUSE ALL PORTIONS OF EXISTING BUILDING TO COMPLY WITH UNDERLYING ZONING, ANY NEW CONSTRUCTION OR SUBSTANTIAL RENOVATION, MUST COMPLY WITH THE DOWNTOWN OVERLAY DISTRICT.

2 - S.S.110.27.4.E(1)(c) & S.S.110.27.4.E(2)(a)(1): BUILD-TO-LINES AND BUILD-TO-ZONES ARE TO ESTABLISH A CONTINUOUS STREET WALL & BUILDING PLACEMENT STANDARD ARE BASED ON A-STREET FRONTAGES

TOWN/VILLAGE OF MT.KISCO: PARKING CALCULATION					REQUIRED	EXISTING	PROPOSED
2ND & 3RD FLOOR RESIDENTIAL TENANT	USE CLASSIFICATION	REQUIRED	CALCULATION				
	APARTMENTS ONE-BEDROOM DWELLING	1.25 SPACES PER DWELLING	4 APARTMENTS x 1.25 = 5 SPACES	5			
	APARTMENTS TWO-BEDROOM DWELLING	1.5 SPACES PER DWELLING	4 APARTMENTS x 1.5 = 6 SPACES	6			
	APARTMENTS THREE-BEDROOM DWELLING	1.75 SPACES PER DWELLING	2 APARTMENTS x 1.75 = 4 SPACES	4			
2ND & 3RD FLOOR RESIDENTIAL TENANT	GUEST SPOTS NONASSIGNED RESIDENTIAL GUESTS	0.10 SPACES PER DWELLING	10 DWELLINGS x 0.10 = 1 SPACE	1			
	TOTAL - see note 1 below			15	43	36	
HANDICAP					1	2	2

TOWN/VILLAGE OF MT.KISCO: BICYCLE PARKING CALCULATION					REQUIRED	EXISTING	PROPOSED
1ST FLOOR (COMMERCIAL)	USE CLASSIFICATION	REQUIRED COVERED BICYCLE STORAGE SPACES	CALCULATION				
	OFFICE	10% OF PLANNED OCCUPANCY	3 STAFF MEMBERS x .1 = .3				
	PHYSICAL TRAINING (DANCE STUDIO)		+ 4 PARTICIPANTS + 2 STAFF MEMBERS x .1 = .6				
	BULK HOUSEHOLD (BILOTTA KITCHEN)		+ 6 STAFF MEMBERS x .1 = .6				
1ST FLOOR (COMMERCIAL)	SERVICE ESTABLISHMENT (A/V SHOP)		+ 3 STAFF MEMBERS x .1 = .3				
	TOTAL PLANNED OCCUPANCY = 18		18 OCCUPANTS x .1 = 1.8				
2ND & 3RD FLOOR	COMMERCIAL VISITORS	+ 1 VISITOR* SPACE FOR EVERY NON-RETAIL COMMERCIAL SPACE	4 COMMERCIAL TENANTS = 4 SPACES	4			
	ONE, TWO, & THREE BEDROOM DWELLING	.5 SPACE PER UNIT + 1 VISITOR* SPACE PER 10 UNITS	10 APARTMENTS x .5 = 5 SPACES 10 / 10 = 1 VISITOR SPACE	6			
TOTAL					12	0	12

#### NOTE:

\*1 - S.S.110-27.4.H.3(b)(3)(b): Provide visitor bicycle racks on site with at least one bicycle space per 10,000 square feet of commercial non-retail space, but not fewer than four bicycle spaces per building  
\*2 - S.S.110-27.4.H.3(b)(1)(b): Provide secure visitor bicycle racks on-site, with at least one bicycle space per 10 dwelling units but no fewer than four spaces per project site

TOWN/VILLAGE OF MT.KISCO: MINIMUM FRONTAGE OCCUPANCY REQUIRED				
FRONTAGE TYPE	STOREFRONT (FR-1)	URBAN (FR-2)	PARK (FR-3)	FORECOURT* (FR-6)
REQ. A STREET OCCUPANCY	60%	60%	60%	60%
PROPOSED OCCUPANCY	56.9%	-	-	43.1%

#### NOTE:

\*1 - CIVIC SPACE: AN AREA OF OPEN SPACE ACCESSIBLE BY THE PUBLIC, IMMEDIATELY ADJACENT AND CONTIGUOUS TO A PUBLIC FRONTAGE IN THE FORM OF A SQUARE, GREEN OR COURTYARD

TOWN/VILLAGE OF MT.KISCO: EDGING ELEMENTS	
FRONTAGE TYPE	PERMITTED EDGING ELEMENTS
STOREFRONT + URBAN (FR-1+2)	LOW WALL (EE-1), RAISED EDGE (EE-2), STAIRS(EE-3), PLANTERS (EE-6), LANDSCAPED EDGE (EE-7)
PARK (FR-3)	LOW WALL (EE-1), RAISED EDGE (EE-2), STAIRS (EE-3), ORNAMENTAL FENCE (EE-4), PRIVACY FENCE (EE-5), PLANTERS (EE-6), LANDSCAPED EDGE (EE-7)
FORECOURT (FR-6)	LOW WALL (EE-1), RAISED EDGE (EE-2), STAIRS(EE-3), PLANTERS (EE-6), LANDSCAPED EDGE (EE-7)

#### NOTE:

1 - PRIVACY FENCES SHALL BE USED FOR SCREENING OF UTILITY AND SERVICE AREAS AND SHALL BE NO TALLER THAN SIX FEET ZERO INCHES

ABBREVIATIONS	
A.B.	= ANCHOR BOLT
ABV	= ABOVE
ACC	= ACCESSIBLE
ACT	= ACOUSTIC CEILING TILE
AF	= ABOVE FINISH FLOOR
AHU	= AIR HANDLING UNIT
AL	= ALUMINUM
BLDG	= BUILDING
B.O.	= BOTTOM OF
BSMT	= BASEMENT
CBT	= CARPET
CMU	= CONCRETE MASONRY UNIT
CS	= CATCH BASIN
CONC.	= CONCRETE
CONT.	= CONTINUOUS
CONN.	= CONNECTION
CORR.	= CORROSION
CR	= CERAMIC TILE
DI	= DRAIN INLET
DMG.	= DAMAGED
DN	= DOWN
DHW	= DOUBLE HUNG WINDOW
EBR	= ELECTRIC BASEBOARD RADIATOR
EL	= ELEVATION
ELEC.	= ELECTRICAL
EQ.	= EQUAL
EW	= ELECTRIC WATER COOLER
EX	= EXISTING
[E] EXIST.	= FIRE ALARM PANEL
F.A.P.	= FIRE ALARM PANEL
F.C.	= FOOT CANDLE
F.D.	= FLOOR DRAIN
F.E.C.	= FIRE EXTINGUISHER CABINET
F.F.	= FINISH FLOOR
F.G.	= FIBER GLASS
FNTR	= FIN TUBE RADIATOR
FL	= FLOOR
GA.	= GAUGE
GL	= GLASS
GWB	= GYPSUM WALL BOARD
HDR	= HEADER
HGT.	= HEIGHT
HM	= HOLLOW METAL
INSUL.	= INSULATION
L	= LONG
LMF	= LIGHT METAL FRAMING
MAX.	= MAXIMUM
MEP.	= MECH./ELEC./PLUMB
MIN.	= MINIMUM
M.O.	= MASONRY OPENING
M.R.	= MOISTURE RESISTANT
NT(N)	= NEW
O.C.	= ON CENTER
O.H.	= OVERHEAD
PL	= PLATE
CLS	= CEILING
P.T.	= PRESSURE TREATED
P	= PAINT
RAD.	= RADIUS
RD	= ROOF DRAIN
REQ.	= REQUIRED
R.R.	= REMOVE AND REPLACE
S&S	= STAINED & SEALED
SIM.	= SIMILAR
SS	= STAINLESS STEEL
STL	= STEEL
STOR.	= STORAGE
T.O.	= TOP OF
TYP.	= TYPICAL
UNO.	= UNLESS NOTICED OTHERWISE
VF	= VERIFY IN FIELD
VCB	= VINYL COVE. BASE
VCT	= VINYL COMPOSITION TILE
W	= WIDE
WC	= WASH CLOSET
W	= WITH
WO	= WOOD
WDO	= WINDOW
WH	= WATER HEATER

#### NOTE:

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF VKS ARCHITECTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ONLY IN AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF VKS ARCHITECTS.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON JOB. THIS OFFICE SHALL BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

#### GENERAL NOTES

##### CONCRETE

- General:** Work includes concrete footings, foundation walls, grade beams and piers, slabs on grade and all concrete work indicated on drawings or as hereinafter specified.
- Concrete:**
  - "Ready-Mix" product, proportioned to produce 3,000 psi ultimate strength at 28 days concrete for foundation walls and footings, grade beams and piers, floor slabs, batched at a central plant and transported dry to the site. Water for four inch (4") slump shall be added at the job site and mixing carried out for fifteen (15) minutes.
  - Concrete work shall conform to ACI-318-71.
  - All footings shall rest on undisturbed soil or rock having a minimum bearing capacity of (2) tons per square foot.
  - Footings shall not be placed on rock whose surface slopes more than 10 percent.
  - Bottom of exterior footings to be carried a minimum of 3'-6" below finish grade.
  - Where footings are stepped, bottom to be stepped not more than 2 feet vertical to four feet horizontal.

- Steel concrete reinforcing bars:** billet steel deformed bars, ASTM-A615 sizes noted on drawings. Welded wire mesh (WWM): Grade 40, ASTM 1-185 sizes on drawings.
- Provide bearing plates leveled up with no shrink grout for all beams bearing on concrete masonry. All steel leveling plates to be 1/4" thick size to match base plates.
- Slabs on Grade: All floor slabs on grade shall be four inches (4") thick with 6x6, 1.4x1.4 wire mesh reinforcing, placed in middle steel trowel finish.
- Sub-grades shall be maintained eight inches (8") below finish floor. Over entire area of sub-grade, fill with minimum four inches (4") compacted bank run gravel and sand topping to eliminate protrusions. Provide a 6 mil polyethylene film vapor barrier over the sand topping with 6" lap at joints.

##### MASONRY

**General:** Brick and concrete masonry walls shall conform to the "recommended practice for engineered brick masonry", latest edition by Structural Clay Products Institute, and "specifications for the design and construction of load bearing concrete masonry" by National Concrete Masonry Association.

**Material:** All mortar shall be ASTM - C270 type S. Bricks shall have a minimum strength of 6000 psi. Provide solid blocking at perimeter walls (2 courses in).

- Concrete block shall be of the following types: ASTM C-90, Grade N-1
- Do not backfill against foundation walls until concrete has attained maximum strength. Where backfill is placed against foundation walls before flooring construction is in place, provide temporary bracing.

##### METALS

**General:** Steel construction shall conform to AISC manual of steel construction, latest edition. Contractor to verify all dimensions and heights of steel in field.

**Material:** All structural steel shall be new, clean, straight and shall conform to ASTM A-36. Columns unless otherwise noted shall be 3" I.D. tube columns with sizes and locations indicated. Furnish Mill Certificates.

- Threaded anchor bolts shall be 1/2" x 12" long at 4'-0" O.C. maximum of A36 or A307 steel, placed in all foundation walls, and 12" from all corners set up high enough to attach the sill plates as indicated on sections and details. See sections for locations of bolts for proper alignment with wood plates.

- All structural steel shall be shop painted with grey zinc chromatic primer 2.0 mils thick.

- Shop connections shall be welded or bolted unless otherwise noted on the drawings, field connections may be made with machine bolts, minimum bolt size 1/2" or as noted on the drawings.

##### WOOD

**General:** All framing lumber is to be "#2 or Better" Grade Douglas fir-larch. Provide built-up headers at all openings, regardless whether or not shown on drawings. Minimum size of built-up headers shall be 3-2x8 in 2x6 wall construction and 2-2x10 in 2x4 wall construction.

Consult the Architect if you encounter difficulty installing specified headers. All load-bearing walls are to have two top plates and be blocked at mid height. All openings in floors, and ceilings are to have double joists/rifters on all sides of opening. Block all floor joists at mid span, or 8'-0" o.c. min, whichever is less.

- All framing for deck and exterior stairs, all base plates and all other members in contact with concrete, masonry or exposed to weather shall be pressure treated Pine, Construction Grade. All Sub-flooring is to be 3/4" thick Tongue & Groove Douglas Fir plywood glued and screwed to joists 8" o.c.

- Provide additional layers of 5/8" plywood underlayment in areas to receive VCT flooring and 1/2" plywood underlayment in areas to receive ceramic or stone tile in "thin set". All exterior wall sheathing is to be 1/2" CDX plywood for walls and roofs. USE OF "OSB" SHEATHING SHALL NOT BE PERMITTED ON THIS PROJECT.

##### ENGINEERED LUMBER:

**General:** Strictly follow all manufacturer's storage, handling and installation instructions for all engineered wood products.

- All engineered lumber (TJI joists, Microlam LVL, Timberstrand LSL, Parallel PSL) shall be as manufactured by Trus-Joist. Alternative material will be considered upon the submission of all necessary product information, including certified engineering calculations for all members to be substituted.

- All material shall comply with NES Report No. NER-481. Wood veneers shall be ultrasonically graded, or graded by other advanced grading system. Adhesives shall be of waterproof type conforming to the requirements of ASTM D-2559.

- Engineered lumber for exterior use shall be "wolumanized" treated per manufacturer's specifications.

- Engineered lumber shall be manufactured in a plant listed in the reports referred to above and under the supervision of an approved third party inspection agency. It shall be manufactured in a continuous process with all grain parallel with the length of the members. All members shall be free of finger or scarf joints or mechanical connections in full length members.

- All members shall be identified by a stamp indicating the product type and grade, NER, or CMC report number, manufacturer's name, plant number and the inspection agency logo.

- All hardware used in connection with the engineered lumber shall be suitable and approved by the lumber manufacturer. submit manufacturer's product sheets for items in question.

- Products shall be proven by testing and evaluation in accordance with the provisions of ASTM D-5456.

- All lumber shall be stored in an approved manner, and protected from weather. It shall be erected and installed in accordance with the plans and with the manufacturer's installation instructions.

- Temporary loads exceeding design limits are not permitted. All holes, cuts and other modifications shall be installed in strict accordance with manufacturer's instructions. Holes, cuts, or notches not approved by the manufacturer's engineering department shall not be permitted. The erection of all engineered lumber shall be under the direction of a qualified construction supervisor.

- Lateral nail holding and withdrawal are as provided in the code of Douglas Fir sawn lumber (SG=0.50). Nails installed parallel to the glue lines on the narrow face shall not be spaced closer than 4" for 10d (3") common nails and 3" for 8d (2.5") common nails. Nails installed perpendicular to the glue lines on the wide face shall be installed in accordance with the code. These nailing specifications are based on min. 3/4" thick and 3/8" wide member.

- The contractor shall give notification to manufacturer's representative prior to closing of engineered lumber to provide opportunity for review of the installation.

- Fire rating: All engineered lumber is permitted to be used in fire-resistive assemblies as a substitute for conventional wood framing. It shall be sized for the same load-bearing capacity as the solid-sawn lumber specified in such assembly, and its dimensions shall be equal or greater to those of solid-sawn lumber.

- Due to the customized detailing and engineering characteristics of the framing assemblies, the contractor shall strictly adhere to the prescribed installation methods for engineered lumber, including nailing patterns, attachments, hanger and support installation, blocking, notching, drilling, doubling, bolting, etc. Any deviation from the approved installation methods shall be verified by the manufacturer's representative and any corrections shall be the sole responsibility of the installer.

##### STEEL

- Welding procedures, welders, welding operations and tackers shall be qualified in accordance with the AWS "Structural Welding Code". In addition, all welders must have been certified in accordance with the AWS for the welding position required within the 12 month period prior to the performance of each welding operation.

- Inspection and testing of structural steel fabrication, erection and all steel bolt connections will be performed by an independent Testing Agency or certified inspector. Materials and workmanship shall be subject to inspection and testing in mill, shop and/or field by Architect and/or Testing Agency.

- The Contractor shall submit the name and location of fabricator, give notice of commencement of fabrication, allow full facilities for inspection, and shall provide such assistance to inspector as may be required for proper inspection. Ten days' written notice shall be given to Architect prior to delivery of steel to job and start of erection.

- Make reports of each inspection and promptly delivers to the Architect. Inspection is for the protection of the Owner and does not relieve the Contractor of responsibility relative to producing the specified results. Furnish to the Architect, manufacturer's certification or letter of compliance of bolt, nut, washer and field material for welding.

- Provide the inspection service with the following:
  - Information as to time and place of starting fabrication on shop.
  - A complete set of approved shop and erection drawings.
  - Cutting lists, order sheets, material bills and shipping bills.
  - Representative sample pieces requested by the inspection agency, for testing, if necessary.
  - Full and ample means of assistance for testing inspection of material.
  - Proper facilities, including scaffolding, temporary work platforms, etc., for inspection of the work in shop and field.

- Impact wrenches shall be calibrated each day at beginning of work, each time the bolt size or length or pressure hose is changed, and at such other times as the inspection service may direct. The Owner's Inspection Service will make periodic checks of high strength steel bolted connections in the field. Maintain at all times during fabrication and erection a manual torque wrench and a suitable gauge for a calibrating the torque wrench. Provide scaffolding and personnel as required for the testing of connections by the Owner's Inspection Service inspectors.

##### Work in Cold Weather:

- No work with materials containing water shall be carried on during unreasonably cold weather.
- Such work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken:
  - Water shall be heated and kept warm.
  - Sand shall be heated and kept warm.
  - An anti-freeze such as "Euco" made by Euclid Chemical Co. "Tri-Mix" by Sonneborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer.
  - Material shall be placed as soon as possible and shall not be permitted to get cold.
  - No material containing ice or frozen parts shall be used.
- All work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamander" heaters or other approved methods. Work damaged by cold weather or frost will not be accepted and shall be replaced at no additional cost to the Owner.
- It shall be the Contractor's responsibility to correct all work damaged by cold weather or frost.

- Permits:** The Contractor is responsible for obtaining any and all permits, pay all fees, prepare and file all necessary forms, for all required approvals and inspections by all agencies having jurisdiction, including the general permit from the local building department. Construction trade shall be responsible for obtaining permits relevant to their respective trades (i.e.:UL - electrical permits and inspection; plumbing permits and inspections if applicable). The contractor shall provide the owner with a Certificate of Occupancy upon completion of the job.

##### SITEWORK: EXCAVATION AND BACKFILL

**General:** The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work including building (foundation) excavation, retaining walls, backfill and rough grading.

**Ordinances:** All work shall be in conformance with all applicable codes and ordinances and shall be executed in a workmanlike manner.

- At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or first floor beams and joists are installed.
- Footing Trenches: Excavate for all footings and proper sub-grades. Bottom of all footings shall be level and kept free of standing water at all times.

- Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.

- Where rock is encountered, the contractor shall notify the Architect immediately.

- The Contractor shall expose all areas clearly for inspection. The Architect and his structural consultant will advise the Contractor of the measures for construction.

- Backfill is to be comprised of clean earth, free form any wood or debris.

- Backfill and sub-grades below slabs shall be placed in 6" lifts and to be compacted at every lift. Areas under concrete slabs to be backfilled shall be fully compacted to 95% of proctor density with power tamper.

- Do not backfill against foundation walls until the concrete has achieved design strength and/or until first floor framing is secured.

- Termite and pest control: Upon the discovery of termites, borers, rodent and other pests, the contractor shall notify the Architect and the Owner immediately.

NOTE:  
THESE PLANS WERE PREPARED IN COMPLIANCE WITH  
THE 2020 BUILDING CODE OF NEW YORK STATE

RECEIVED

APR 11 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

ZBA 04/10/2023

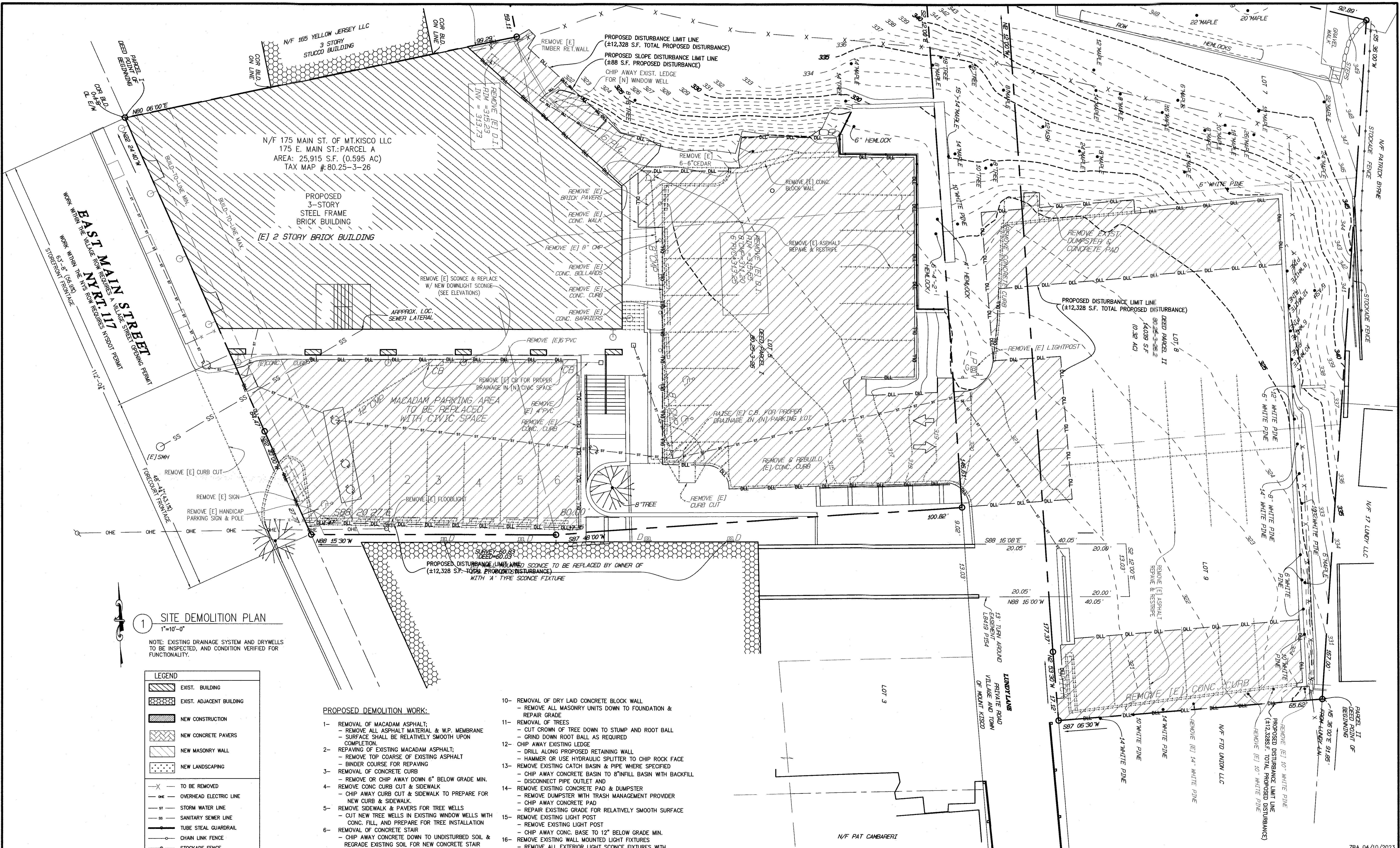
ADDITION TO EXISTING COMMERCIAL BUILDING  
FOR 175 MAIN ST OF MOUNT KISCO LLC  
175 EAST MAIN STREET MT.KISCO, NY, 10549  
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2  
LOCATION MAP, ZONING TABLES,  
PARKING CALCULATION TABLE, ABBREVIATION KEY,  
GENERAL NOTES & CLIMATE DESIGN CRITERIA TABLE

JOB NO.	2021-450	DWG. NO.	
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN /CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN		

C1

1 OF 3





1 SITE DEMOLITION PLAN  
1"=10'-0"

NOTE: EXISTING DRAINAGE SYSTEM AND DRYWELLS TO BE INSPECTED, AND CONDITION VERIFIED FOR FUNCTIONALITY.

LEGEND	
	EXIST. BUILDING
	EXIST. ADJACENT BUILDING
	NEW CONSTRUCTION
	NEW CONCRETE PAVERS
	NEW MASONRY WALL
	NEW LANDSCAPING
	TO BE REMOVED
	OVERHEAD ELECTRIC LINE
	STORM WATER LINE
	SANITARY SEWER LINE
	TUBE STEEL GUARDRAIL
	CHAIN LINK FENCE
	STOCKADE FENCE
	SILT FENCE FOR CONSTRUCTION
	DISTURBANCE LIMIT LINE

PROPOSED DEMOLITION WORK:

- 1- REMOVAL OF MACADAM ASPHALT;  
- REMOVE ALL ASPHALT MATERIAL & W.P. MEMBRANE  
- SURFACE SHALL BE RELATIVELY SMOOTH UPON COMPLETION.
- 2- REPAVING OF EXISTING MACADAM ASPHALT;  
- REMOVE TOP COARSE OF EXISTING ASPHALT  
- BINDER COURSE FOR REPAVING
- 3- REMOVAL OF CONCRETE CURB  
- REMOVE OR CHIP AWAY DOWN 6" BELOW GRADE MIN.  
REMOVE CONC CURB CUT & SIDEWALK  
- CHIP AWAY CURB CUT & SIDEWALK TO PREPARE FOR NEW CURB & SIDEWALK.
- 4- REMOVAL OF CONCRETE BOLLARD  
- CHIP AWAY CONCRETE DOWN 12" MIN. BELOW EXISTING GRADE
- 5- REMOVAL OF CONCRETE BARRIERS  
- ALL CONCRETE BARRIERS SHALL BE REMOVED FROM PARKING AREAS

- 10- REMOVAL OF DRY LAID CONCRETE BLOCK WALL  
- REMOVE ALL MASONRY UNITS DOWN TO FOUNDATION & REPAIR GRADE
- 11- REMOVAL OF TREES  
- CUT CROWN OF TREE DOWN TO STUMP AND ROOT BALL  
- GRIND DOWN ROOT BALL AS REQUIRED
- 12- CHIP AWAY EXISTING LEDGE  
- DRILL ALONG PROPOSED RETAINING WALL  
- HAMMER OR USE HYDRAULIC SPLITTER TO CHIP ROCK FACE
- 13- REMOVE EXISTING CATCH BASIN & PIPE WHERE SPECIFIED  
- CHIP AWAY CONCRETE BASIN TO 8" FILL BASIN WITH BACKFILL  
- DISCONNECT PIPE OUTLET AND
- 14- REMOVE EXISTING CONCRETE PAD & DUMPSTER  
- REMOVE DUMPSTER WITH TRASH MANAGEMENT PROVIDER  
- CHIP AWAY CONCRETE PAD  
- REPAIR EXISTING GRADE FOR RELATIVELY SMOOTH SURFACE
- 15- REMOVE EXISTING LIGHT POST  
- REMOVE EXISTING LIGHT POST  
- CHIP AWAY CONC. BASE TO 12" BELOW GRADE MIN.
- 16- REMOVE EXISTING WALL MOUNTED LIGHT FIXTURES  
- REMOVE ALL EXTERIOR LIGHT SCONCE FIXTURES WITH LIGHT BOX TO REMAIN FOR NEW L.E.D. FIXTURES

NOTE:  
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF VKS ARCHITECTS, AND WERE CREATED, DEVISED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE REPRODUCED, COPIED, OR DISCLOSED TO ANY PERSON WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF VKS ARCHITECTS.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

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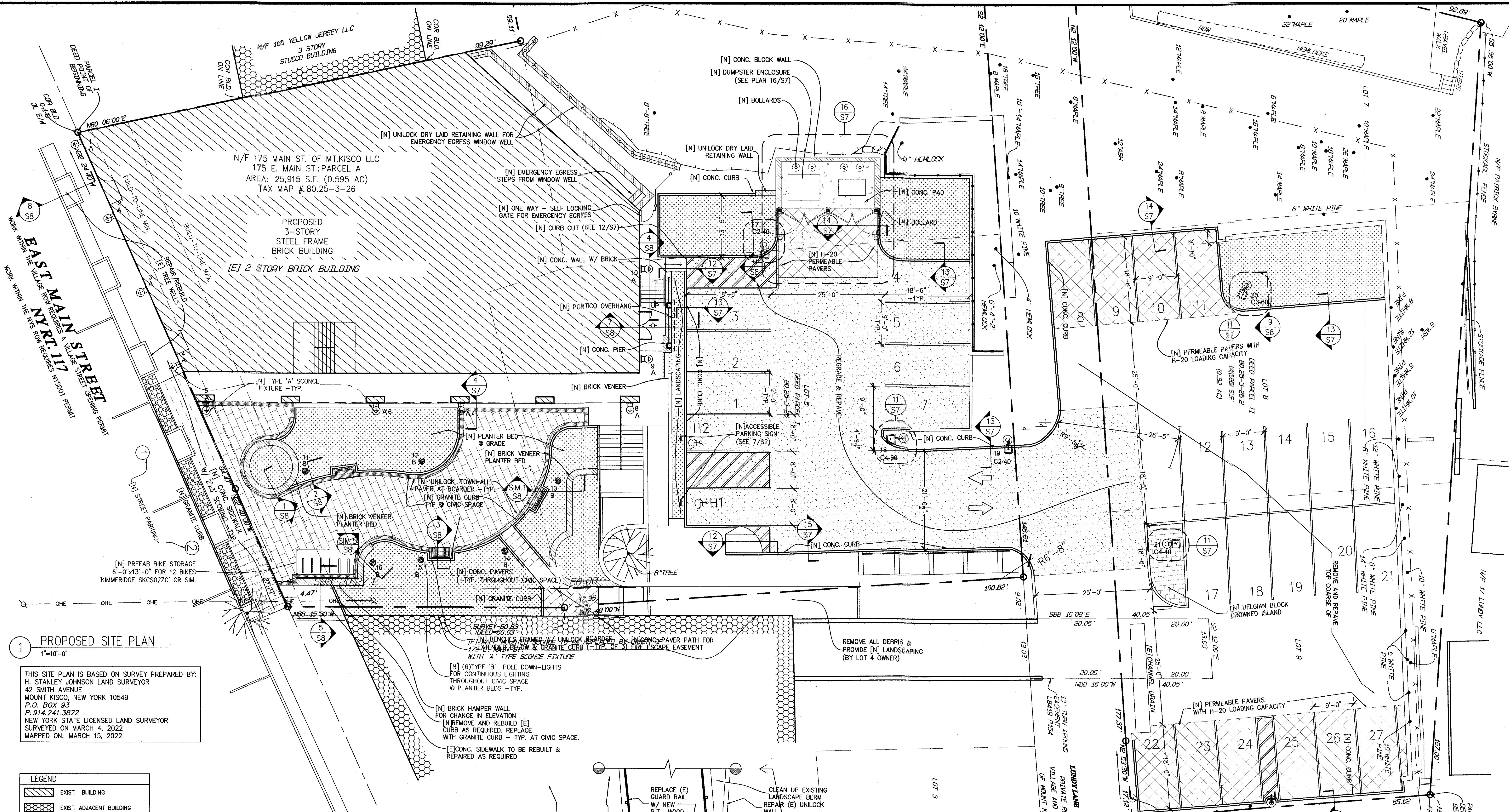


**vks**  
Architects  
Post Office Box 696  
Katonah, NY 10536  
914-232-9828  
Fax: 914-232-9839  
vks@vksa.com

TITLE		ADDITION TO EXISTING COMMERCIAL BUILDING FOR 175 MAIN ST OF MOUNT KISCO LLC 175 EAST MAIN STREET MT.KISCO, NY, 10549 TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2	
DATE		01/11/2022	
SCALE		AS NOTED	
DRAWN / CHECKED BY		VKS	
JOB NAME		175 EAST MAIN	

JOB NO.	2021-450	DWG. NO.	S1
DATE	01/11/2022	SCALE	AS NOTED
DRAWN / CHECKED BY	VKS	JOB NAME	175 EAST MAIN
2 OF 3		Copyright 1988 - 2021 VKS Architects. All rights reserved.	



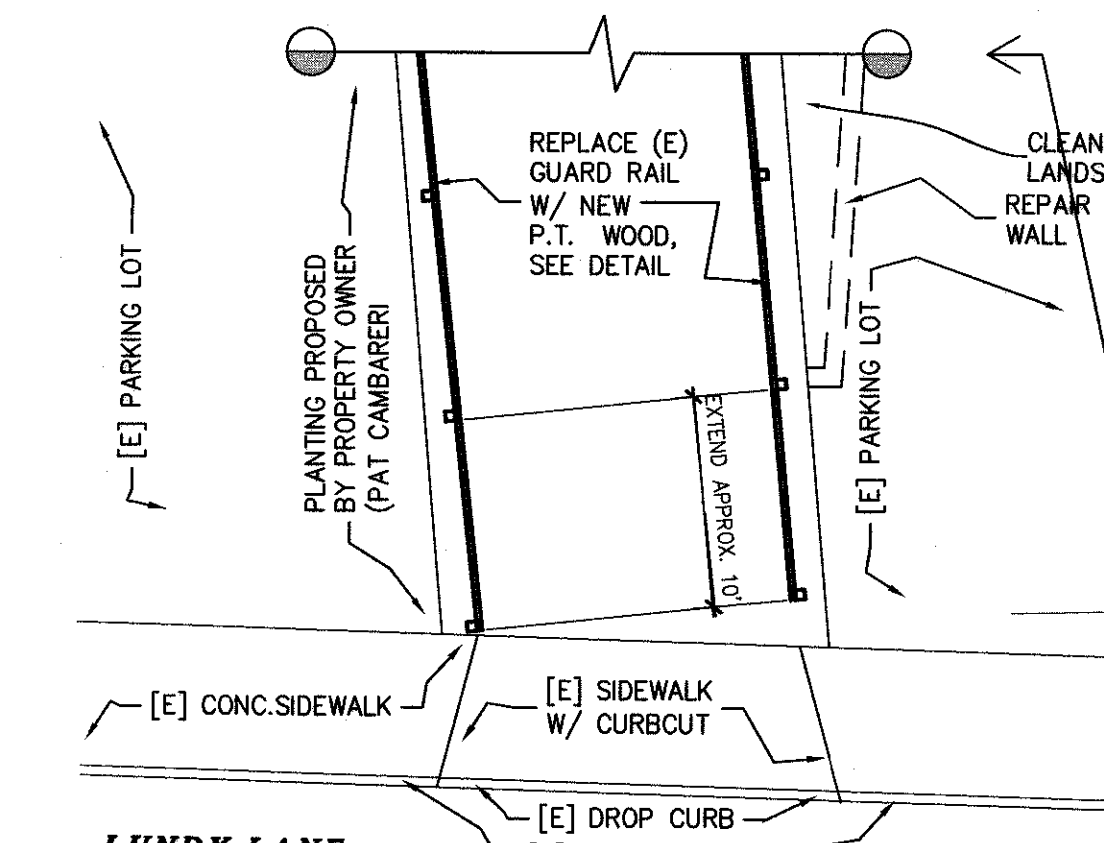


**1 PROPOSED SITE PLAN**  
1"=10'-0"

THIS SITE PLAN IS BASED ON SURVEY PREPARED BY:  
H. STANLEY JOHNSON LAND SURVEYOR  
42 SMITH AVENUE  
MOUNT KISCO, NEW YORK 10549  
P.O. BOX 93  
P: 914.241.3872  
NEW YORK STATE LICENSED LAND SURVEYOR  
SURVEYED ON MARCH 4, 2022  
MAPPED ON: MARCH 15, 2022

LEGEND	
	EXIST. BUILDING
	EXIST. ADJACENT BUILDING
	NEW CONSTRUCTION
	NEW CONCRETE PAVERS
	NEW MASONRY WALL
	NEW LANDSCAPING
	TO BE REMOVED
	OVERHEAD ELECTRIC LINE
	STORM WATER LINE
	SANITARY SEWER LINE
	TUBE STEEL GUARDRAIL
	CHAIN LINK FENCE
	STOCKADE FENCE
	SILT FENCE FOR CONSTRUCTION
	DISTURBANCE LIMIT LINE

- PROPOSED SITE WORK:**
- A- SITE WORK FOR PRIMARY BUILDING MODIFICATION:**
- 1- PROVIDE NEW PORTICO AT NEW SECOND FLOOR ENTRANCE
  - 2- PROVIDE NEW CONCRETE STAIR
  - 3- PROVIDE NEW DRY LAID CONC MASONRY UNIT STEP
  - 4- REPAIR EXISTING BRICK VENEER WHERE REQUIRED
- B- LIGHTING & ELECTRICAL WORK:**
- 5- PROVIDE NEW EXTERIOR LED DOWN LIGHT SCONCES
  - 6- PROVIDE NEW LED DOWN LIGHT POSTS ON CONC. POSTS FOR LIGHTING THROUGHOUT REAR PARKING LOT
  - 7- PROVIDE NEW PEDESTRIAN DOWNLIGHT BOLLARDS THROUGHOUT CIVIC SPACE
- C- PEDESTRIAN ACCESS & CIVIC SPACE:**
- 8- OPEN EXISTING SIDEWALK FOR NEW TREE WELL
  - 9- REPAIR & INFILL SIDEWALK AT EXISTING CURB CUT
  - 10- PROVIDE NEW CONC. PAVERS FOR CIVIC SPACE
  - 11- PROVIDE NEW BENCHES THROUGHOUT CIVIC SPACE
  - 12- PROVIDE NEW BIKE RACK IN CIVIC SPACE
  - 13- PROVIDE NEW PLANT BEDS FOR LANDSCAPING WITH GRANITE CURBS IN CIVIC SPACE
  - 14- PROVIDE NEW MASONRY WALLS WITH BRICK VENEER FOR RAISED PLANT BEDS
- D- REAR PARKING LOT & VEHICLE ACCESS:**
- 15- PROVIDE NEW CONC. CURB FOR LANDSCAPING BEDS IN REAR PARKING LOT
  - 16- REGRADE AND REPAVE EXISTING PARKING LOT TO PROVIDE ACCESSIBLE PARKING AND PROPER DRIVEWAY ACCESS
  - 17- NEW DUMPSTER ENCLOSURE FOR NEW 6 YARD GARBAGE CONTAINER AND 2 YARD RECYCLING CONTAINER CMU BLOCK WALL WITH BRICK VENEER



**1A PROPOSED SITE PLAN CONTINUATION**  
1"=10'-0"

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**vks Architects**  
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Katonah, NY 10536  
914-232-9828  
Fax: 914-232-9839  
vks@vksa.com

**ADDITION TO EXISTING COMMERCIAL BUILDING  
FOR 175 MAIN ST OF MOUNT KISCO LLC  
175 EAST MAIN STREET MT. KISCO, NY, 10549**  
TAX MAP I.D.: 80.25-3-26 + 80.25-3-26.2  
**PROPOSED SITE PLAN,  
DESCRIPTION OF WORK, & LEGEND**

JOB NO.	2021-450	DWG. NO.	S2
DATE	01/11/2022		
SCALE	AS NOTED		
DRAWN / CHECKED BY	VKSA		
JOB NAME	175 EAST MAIN		

3 OF 3

Date: \_\_\_\_\_

Case No.: \_\_\_\_\_

Fee: \_\_\_\_\_

Date Filed: \_\_\_\_\_

Village/Town of Mount Kisco  
Municipal Building  
104 Main Street, Mt. Kisco, NY 10549

**Zoning Board of Appeals**  
**Application**

Appellant: VIKTOR SOLARIK - VKS ARCHITECTS

Address: P.O. BOX 696, KATONAH, NY, 10536

Address of subject property (if different): 208 WEST ST, MT. KISCO, NY, 10549

Appellant's relationship to subject property: \_\_\_\_\_ Owner \_\_\_\_\_ Lessee X Other \_\_\_\_\_

Property owner (if different): VERONICA LOPEZ

Address: 208 WEST ST, MT. KISCO, NY, 10549

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken  
from the decision of the Building Inspector, \_\_\_\_\_  
dated \_\_\_\_\_. Application is hereby made for the following:

X Variation or \_\_\_\_\_ Interpretation of Section 110-11C.1.c + 110-28.K.1/28H.4.B  
of the Code of the Village/Town of Mount Kisco,

to permit the: \_\_\_\_\_ Erection; \_\_\_\_\_ Alteration; \_\_\_\_\_ Conversion; X Maintenance  
of EXISTING DEVELOPMENT COVERAGE OF 60.5% WHERE 40% IS PERMITTED BY CODE.

IN ADDITION TO PERMITTING THE (2) EXISTING PARKING SPOTS WHICH EXTENDS 4'-5" INTO  
REAR PARKING BUFFER\* in accordance with plans filed on (date) \_\_\_\_\_

for Property ID # 80.48-4-3.2 located in the RT-6 Zoning District.

The subject premises is situated on the WEST side of (street) WEST STREET  
in the Village/Town of Mount Kisco, County of Westchester, NY.

Does property face on two different public streets? Yes/No  
(If on two streets, give both street names) \_\_\_\_\_

Type of Variance sought: \_\_\_\_\_ Use X Area \_\_\_\_\_

\* REAR PARKING BUFFER REQUIRED AS PER SUB-SECTION 110-28.H.4 IS 10'-0"  
THE PROPOSED REAR PARKING BUFFER PERMITTED BY VARIANCE IS 5'-7"



Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? NO

Is there an approved site plan for this property? YES in connection with a ~~Proposed or~~ X Existing building; erected (yr.) 2004

Size of Lot: 58.83 feet wide 110.5 feet deep Area 6,701 SF

Size of Building: at street level 42.5 feet wide 30 feet deep

Height of building: 2 STORIES Present use of building: TWO-FAMILY RESIDENCE

Does this building contain a nonconforming use? NO Please identify and explain: \_\_\_\_\_

Is this building classified as a non-complying use? NO Please identify and explain: \_\_\_\_\_

Has any previous application or appeal been filed with this Board for these premises? Yes/No? NO

Was a variance ever granted for this property? NO If so, please identify and explain: \_\_\_\_\_

Are there any violations pending against this property? YES If so, please identify and explain: TICKET NO. BD15-1202, BD16-1540, & BD16-1606; NON-CONFORMITY, NO C.O., NO RENTAL REGISTRATION FEE

Has a Work Stop Order or Appearance Ticket been served relative to this matter? X Yes or     No Date of Issue: NOVEMBER 10<sup>TH</sup>, 2022

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? YES



I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:

The following items MUST be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on \_\_\_\_\_ upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

**NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.**

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- \*j) At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- \*k) A floor plan of the subject building with all the necessary measurements.
- \*l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

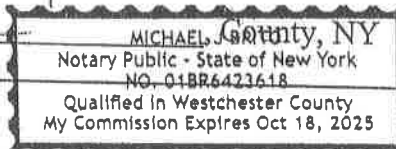
\* Optional - As Needed

I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.

[Signature]  
(Appellant to sign here)

Sworn to before me this day of: February 22, 2023

Notary Public, [Signature]



[TO BE COMPLETED IF APPELLANT IS NOT THE PROPERTY OWNER IN FEE]

State of New York }  
County of Westchester } ss

Being duly sworn, deposes and say that he resides at 208 W. St. Apt 1, Mt Kisco, NY in the County of Westchester, in the State of New York, that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Mount Kisco, County of Westchester aforesaid and known and designated as number 808 (80.48-4-3.2) and that he hereby authorized Veronica B. Lopez to make the annexed application in his behalf and that the statements contained in said application are true.

[Signature]  
(sign here)

FILOMENA MANGANIELLO  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01MA4897162  
Qualified in Westchester County  
My Commission Expires June 01, 2023

February 16, 2023

To: Village/Town of Mount Kisco  
Attn: Building Department/Zoning Board of Appeals  
104 Main St.  
Mount Kisco, NY 10549

Re: Veronica Lopez  
208 West St, Mt.Kisco,NY  
Mount Kisco NY 10549

To whom it may concern:

This letter is to authorize Viktor K. Solarik, AIA of VKS Architects to file documents and drawings, appeal on my behalf in front of the Building Department, Zoning Board of Appeals, Planning Board of other authority having jurisdiction relative to the proposed construction project at the above captioned property.

I hereby certify that I am the owner of record of the property in question.

Respectfully,

Print Name

Veronica Lopez

Signature

Veronica Lopez

cc. file

February 17, 2023

**VKS Architects**  
P.O. Box 696 Katonah, NY 10536  
914-232-9828  
Fax 232-9839  
vks@vksa.com

To: Village/Town of Mount Kisco  
Building Department  
Attn. Peter J. Miley – Building Inspector  
104 Main St. Mount Kisco, NY 10549  
(Tel. 914-864-0022)

Re: Zoning board of appeals  
Legalization at “208 West Street”  
208 West St. Mount Kisco, NY 10549

Dear Mr. Miley,

This letter is to formally notify the Village/Town of Mount Kisco of our intent to seek a variance for the proposed conditions listed below.

1. Existing Development Coverage
  - a. Town code 110-11(C).1.c. - Maximum development coverage: 40%
    - i. Variance application for 60.5% is requested to permit existing development coverage.
2. Additional Parking Regulations for Residential Lots
  - a. Town code 110-28(H).4.b – No Parking within 10 feet of the rear property line
    - i. Variance application of 5’-7” to proposed parking stripes is requested.
3. Minimum Off-Street Parking
  - a. Town code 110-28(K).1 & 110 attachment 2 - Requires 4 off-street parking spots minimum
    - i. Variance application for 2 spots is requested for a proposed 2 parking spot layout

Please see the attached zoning board of appeals application and support documentation as required.

Respectfully submitted,

*Viktor Solarik*

Viktor K. Solarik AIA LEED AP

VKS Architects

c.c.

Owner

File

February 20, 2023

To: **Village/Town of Mount Kisco**  
**Zoning Board of Appeals**  
Village Hall (1<sup>st</sup> floor)  
104 Main St.  
Mount Kisco, NY 10549

**VKS**  
**ARCHITECTS**  
P O Box 696  
Katonah, NY 10536  
(914) 232-9828

Via Hand Delivered

Re: 208 West Street.  
Mount Kisco, NY 10549  
Tax ID 80.48-4-3.2

Dear Sir or Madam,

We are pleased to submit the application for variances for the proposed improvements at 208 West Street, Mt. Kisco NY.

The improvements consist of three major components:

1. Permit the existing Development Coverage of 60.5% where 40% is permitted.
2. Permit the new striping for (2) existing parking spots where a minimum off-street parking of (4) is required.
3. Permit the proposed parking stripes to have a rear parking buffer of 5'-7" where 10'-0" is required.

The house alterations for legalization meet all the zoning requirements.

The maximum development coverage is required to be 40%. Because of the sites' nature in addition to the long driveway from the street to the rear parking area, including the turnaround area require additional coverage. Therefore, we are requesting an 20.5% variance from the lot coverage. We have removed the existing freestanding deck to minimize the development coverage.

The New (relocated) parking stripes are required to be located no closer to the rear lot than 10'-0" [Par 110-28.H(4)] with the proposed parking stripes are to be 5'-7" from the western rear lot. Due to nature and the width of the property we are requesting a 4'-5" variance for the new detached garage. We have proposed to used the existing development coverage, providing new striping the parking area locating the new parking as close to the existing residence as possible to minimize the projection distance of the parking into the rear yard parking buffer.

The enclosed site development plan and the proposed floor plans for the house provide detailed information for your review, including a proposed site plan with existing conditions identified, floor plans, zoning tabulation, location map, etc.

Veronica Lopez: 208 West Street

February 20, 2023

We feel that the proposed improvements:

1. Will not produce an undesirable change in the character of the neighborhood nor will they create a detriment to nearby properties,
2. Cannot be achieved by some other feasible method other than a variance,
3. And the requested variances are not substantial,
4. And the proposed variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood, and
5. While being self-created, cannot be accomplished in any other method; to create enough room for parking or to reduce the development coverage would involve relocating the existing primary structure.

We look forward to presenting this application to the Zoning Board of Appeals and to answering any questions that will come up.

Respectfully submitted,

Viktor Solarik

Viktor K. Solarik AIA LEED AP  
VKS Architects



Enc. 2 sets: Drawings A1 2/14/2023

cc. Veronica Lopez,  
file (Job # 2023-010)

Veronica Lopez: 208 West Street

## VILLAGE OF MOUNT KISCO

104 Main Street  
Mount Kisco, New York 10549  
www.mountkisco.org

### COVERAGE CALCULATION WORKSHEET

Project Name: 208 West Street - Legalization

Tax Parcel ID Number(s): 80.48-4-3.2

Relevant definitions from the Village's Zoning Code are provided on the following page

#### **Building Coverage** – Enter "0" below if category is not applicable

- |   |                        |
|---|------------------------|
| 1. Total lot area (s.f.) =  | 1. <u>6,701</u> s.f.   |
| 2. Maximum permitted Building Coverage (s.f.) =   | 2. <u>1,651.2</u> s.f. |
| 3. Portion of lot covered by the principal building:<br><u>1,274</u> s.f. (existing) + <u>0</u> s.f. (proposed) = | 3. <u>1,274</u> s.f.   |
| 4. Portion of lot covered by accessory building(s):<br><u>0</u> s.f. (existing) + <u>0</u> s.f. (proposed) =      | 4. <u>0</u> s.f.       |
| 5. Portion of lot covered by other structures:<br><u>318</u> s.f. (existing) + <u>0</u> s.f. (proposed) =         | 5. <u>318</u> s.f.     |
| 6. Total Building Coverage (add Lines #3 through #5) =  | 6. <u>1,592</u> s.f.   |

#### **Development Coverage** – Enter "0" below if category is not applicable

- |   |                      |
|---|----------------------|
| 1. Total lot area =   | 1. <u>6,701</u> s.f. |
| 2. Maximum permitted Development Coverage =   | 2. <u>2,680</u> s.f. |
| 3. Total Building Coverage from Line #6 Above =   | 3. <u>1,592</u> s.f. |
| 4. Portion of lot covered by asphalt, concrete, gravel, or similar materials<br><u>2,344</u> s.f. (existing) + <u>0</u> s.f. (proposed) = | 4. <u>2,344</u> s.f. |
| 5. Portion of lot covered by other improved surfaces =<br><u>132</u> s.f. (existing) + <u>0</u> s.f. (proposed) =                         | 5. <u>132</u> s.f.   |
| 6. Total Development Coverage (add Lines #3 through #5) =   | 6. <u>4,068</u> s.f. |

If Line #6 is less than or equal to Line #2, the proposed action is zoning compliant; if Line #6 is greater than Line #2, the proposed action is noncompliant



ANTHONY IN OSSLING  
GIORDANO  
**Mount Kisco Justice Court**  
**40 Green Street**  
**Mount Kisco, NY 10549**

Mark F. Farrell  
Town Justice

Phone: (914) 241-7033  
Fax: (914) 241-3016

November 10, 2022

(914)-471-7594  
Veronica Lopez - VERUCHINA123@HOTMAIL.COM  
208 West Street  
Mount Kisco, NY 10549

DECISION AND ORDER  
ATTACHED

People of the State of New York versus:

Veronica Lopez  
208 West Street  
Mount Kisco, NY 10549

Case No: 15060076  
DOB: / /

TicketNo.	Officer	Statute/Section	Charge Text
BD15-1202	Landi, John	VO 110-37	no building permit
BD15-12	Landi, John	VO 110-39A(1)	occup w/o cert of oc
BD15-12	Landi, John	VO 110-45A(3)	no approv site plain
BD15-12	Landi, John	VO 110.5A 1	non conformity
BD15-12	Landi, John	VO 51-7A	no building permit
BD15-12	Landi, John	VO 110-45A(1)	no site plan approva
BD15-12	Landi, John	VO 110-11A	purpose and intent
BD15-12	Landi, John	VO 51-14a	No Cert Of Occupancy

**Next Date: 01/03/2023 Time: 05:00PM**

\*\* DUE TO CHANGE IN COVID-19 RESTRICTIONS, YOUR NEXT APPEARANCE WILL BE IN-PERSON (NOT VIRTUAL).

Please be advised your next scheduled appearance date and time is shown above. You may be screened/ temperature check and a mask is required inside the court building.

Thank you,

MOUNT KISCO JUSTICE COURT

3/7/2023 - To LEGALIZE

2015 - SINCE START OF VIOLATIONS

**Mount Kisco Justice Court  
40 Green Street  
Mount Kisco, NY 10549**

Mark F. Farrell  
Town Justice

Phone: (914) 241-7033  
Fax: (914) 241-3016

November 10, 2022

Veronica Lopez  
208 West Street  
Mount Kisco, NY 10549

*People of the State of New York versus:*

Veronica Lopez  
208 West Street  
Mount Kisco, NY 10549

Case No: 16020094  
DOB:     /     /

<u>TicketNo.</u>	<u>Officer</u>	<u>Statute/Section</u>	<u>Charge Text</u>
BD16-1540	Melillo, Robert	NYR 1220 RES. CODE	E3501.2: numbr servc

**Next Date: 01/03/2023     Time: 05:00PM**

\*\* DUE TO CHANGE IN COVID-19 RESTRICTIONS, YOUR NEXT APPEARANCE  
WILL BE IN-PERSON (NOT VIRTUAL).

Please be advised your next scheduled appearance date and time  
is shown above. You may be screened/ temperature check and a  
mask is required inside the court building.

Thank you,

MOUNT KISCO JUSTICE COURT

**Mount Kisco Justice Court**  
**40 Green Street**  
**Mount Kisco, NY 10549**

Mark F. Farrell  
Town Justice

Phone: (914) 241-7033  
Fax: (914) 241-3016

November 10, 2022

Veronica Lopez  
208 West Street  
Mount Kisco, NY 10549

*People of the State of New York versus:*

Veronica Lopez  
208 West Street  
Mount Kisco, NY 10549

Case No: 16030149

DOB: / /

<u>TicketNo.</u>	<u>Officer</u>	<u>Statute/Section</u>	<u>Charge Text</u>
BD16-1606	Miley, Peter	VO 75-3B	Registry fee(rental)

**Next Date: 01/03/2023      Time: 05:00PM**

**\*\* DUE TO CHANGE IN COVID-19 RESTRICTIONS, YOUR NEXT APPEARANCE  
WILL BE IN-PERSON (NOT VIRTUAL).**

Please be advised your next scheduled appearance date and time  
is shown above. You may be screened/ temperature check and a  
mask is required inside the court building.

Thank you,

MOUNT KISCO JUSTICE COURT



**Combined Real Estate  
Transfer Tax Return,  
Credit Line Mortgage Certificate, and  
Certification of Exemption from the  
Payment of Estimated Personal Income Tax**

Recording office time stamp

PREP

See Form TP-584-I, Instructions for Form TP-584, before completing this form. Please print or type.

**Schedule A — Information relating to conveyance**

<b>Grantor/Transferor</b>		Name (if individual: last, first, middle initial)		Social security number	
<input type="checkbox"/> Individual		206 WEST ST MT KISCO CORP			
<input checked="" type="checkbox"/> Corporation		Mailing address		Social security number	
<input type="checkbox"/> Partnership		C/O SINGLETON DAVIS & SINGLETON PLLC 120 EAST MAIN STREET			
<input type="checkbox"/> Estate/Trust		City	State	ZIP code	Federal employer Ident. number
<input type="checkbox"/> Other		MOUNT KISCO	NY	10549	42-1568289
<b>Grantee/Transferee</b>		Name (if individual: last, first, middle initial)		Social security number	
<input checked="" type="checkbox"/> Individual		LOPEZ, VERONICA		[REDACTED]	
<input type="checkbox"/> Corporation		Mailing address		Social security number	
<input type="checkbox"/> Partnership		206 WEST STREET			
<input type="checkbox"/> Estate/Trust		City	State	ZIP code	Federal employer Ident. number
<input type="checkbox"/> Other		MOUNT KISCO	NY	10549	

## Location and description of property conveyed

Tax map designation			Address	City/village	Town	County
Section	Block	Lot				
80.48	4	3	206 WEST ST		BEDFORD	Westchester

## Type of property conveyed (check applicable box)

1 <input checked="" type="checkbox"/> One- to three-family house	5 <input type="checkbox"/> Commercial/Industrial	Date of conveyance	Percentage of real property conveyed which is residential real property <u>100.00</u> % (see instructions)
2 <input type="checkbox"/> Residential cooperative	6 <input type="checkbox"/> Apartment building	12      26      2012	
3 <input type="checkbox"/> Residential condominium	7 <input type="checkbox"/> Office building	month      day      year	
4 <input type="checkbox"/> Vacant land	8 <input type="checkbox"/> Other _____		

## Condition of conveyance (check all that apply)

- |   |  |  |
|---|--|--|
| a. <input checked="" type="checkbox"/> Conveyance of fee interest   | f. <input type="checkbox"/> Conveyance which consists of a mere change of identity or form of ownership or organization (attach Form TP-584.1, Schedule F) | i. <input type="checkbox"/> Option assignment or surrender   |
| b. <input type="checkbox"/> Acquisition of a controlling interest (state percentage acquired _____ %)   | g. <input type="checkbox"/> Conveyance for which credit for tax previously paid will be claimed (attach Form TP-584.1, Schedule G)                         | m. <input type="checkbox"/> Leasehold assignment or surrender  |
| c. <input type="checkbox"/> Transfer of a controlling interest (state percentage transferred _____ %)   | h. <input type="checkbox"/> Conveyance of cooperative apartment(s)   | n. <input type="checkbox"/> Leasehold grant  |
| d. <input type="checkbox"/> Conveyance to cooperative housing corporation   | i. <input type="checkbox"/> Syndication  | o. <input type="checkbox"/> Conveyance of an easement  |
| e. <input type="checkbox"/> Conveyance pursuant to or in lieu of foreclosure or enforcement of security interest (attach Form TP-584.1, Schedule E) | j. <input type="checkbox"/> Conveyance of air rights or development rights   | p. <input type="checkbox"/> Conveyance for which exemption from transfer tax claimed (complete Schedule B, Part III) |
|   | k. <input type="checkbox"/> Contract assignment  | q. <input type="checkbox"/> Conveyance of property partly within and partly outside the state                        |
|   |  | r. <input type="checkbox"/> Other (describe)   |

For recording officer's use	Amount received	Date received	Transaction number
	Schedule B., Part I \$ _____		
	Schedule B., Part II \$ _____		

523613073-003

PREP

**Schedule B — Real estate transfer tax return (Tax Law, Article 3)****Part I** ☐ **Computation of tax due**

1	Enter amount of consideration for the conveyance (If you are claiming a total exemption from tax, check the exemption claimed box, enter consideration and proceed to Part III) <input type="checkbox"/> <b>Exemption claimed</b>	1.	480,000.00
2	Continuing lien deduction (see instructions if property is taken subject to mortgage or lien)	2.	0.00
3	Taxable consideration (subtract line 2 from line 1)	3.	480,000.00
4	Tax: \$□ for each \$500, or fractional part thereof, of consideration on line 3	4.	1,920.00
5	Amount of credit claimed (see instructions and attach Form TP-584.1, Schedule G)	5.	0.00
6	Total tax due (subtract line 5 from line 4)	6.	1,920.00

**Part II** ☐ **Computation of additional tax due on the conveyance of residential real property for \$□ million or more**

1	Enter amount of consideration for conveyance (from Part I, line 1)	1.	
2	Taxable consideration (multiply line 1 by the percentage of the premises which is residential real property, as shown in Schedule A)	2.	
3	Total additional transfer tax due (multiply line 2 by 1% (.01))	3.	

**Part III** ☐ **Explanation of exemption claimed on Part I, line □ (check any boxes that apply)**

The conveyance of real property is exempt from the real estate transfer tax for the following reason:

- a. Conveyance is to the United Nations, the United States of America, the state of New York, or any of their instrumentalities, agencies, or political subdivisions (or any public corporation, including a public corporation created pursuant to agreement or compact with another state or Canada)..... a ☐
- b. Conveyance is to secure a debt or other obligation..... b ☐
- c. Conveyance is without additional consideration to confirm, correct, modify, or supplement a prior conveyance..... c ☐
- d. Conveyance of real property is without consideration and not in connection with a sale, including conveyances conveying realty as bona fide gifts..... d ☐
- e. Conveyance is given in connection with a tax sale..... e ☐
- f. Conveyance is a mere change of identity or form of ownership or organization where there is no change in beneficial ownership. (This exemption cannot be claimed for a conveyance to a cooperative housing corporation of real property comprising the cooperative dwelling or dwellings.) Attach Form TP-584.□, Schedule F..... f ☐
- g. Conveyance consists of deed of partition..... g ☐
- h. Conveyance is given pursuant to the federal Bankruptcy Act..... h ☐
- i. Conveyance consists of the execution of a contract to sell real property, without the use or occupancy of such property, or the granting of an option to purchase real property, without the use or occupancy of such property..... i ☐
- j. Conveyance of an option or contract to purchase real property with the use or occupancy of such property where the consideration is less than \$□00,000 and such property was used solely by the grantor as the grantor's personal residence and consists of a one-, two-, or three-family house, an individual residential condominium unit, or the sale of stock in a cooperative housing corporation in connection with the grant or transfer of a proprietary leasehold covering an individual residential cooperative apartment..... j ☐
- k. Conveyance is not a conveyance within the meaning of Tax Law, Article 3□, section □40□(e) (attach documents supporting such claim)..... k ☐
- l. Other (write explanation below)..... l ☐

□ Please make check(s) payable to the county clerk where the recording is to take place. If the recording is to take place in New York City, make check(s) payable to the **NYC Department of Finance**. If a recording is not required, send this return and your check(s) made payable to the **NYS Department of Taxation and Finance**, directly to the NYS Tax Department, RETT Return Processing, PO Box 5045, Albany NY 12205-5045.

523613073-003

**Schedule C — Credit Line Mortgage Certificate (Tax Law, Article 11)**

Complete the following only if the interest being transferred is a fee simple interest.  
 I (we) certify that (check the appropriate box)


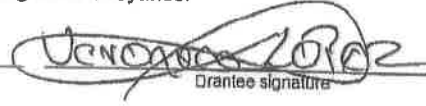
1. ☒ The real property being sold or transferred is not subject to an outstanding credit line mortgage.
  2. ☐ The real property being sold or transferred is subject to an outstanding credit line mortgage. ☐ or, an exemption from the tax is claimed for the following reason:
    - ☐ The transfer of real property is a transfer of a fee simple interest to a person or persons who held a fee simple interest in the real property (whether as a joint tenant, a tenant in common or otherwise) immediately before the transfer.
    - ☐ The transfer of real property is (A) to a person or persons related by blood, marriage or adoption to the original obligor or to one or more of the original obligors or (B) to a person or entity where 50% or more of the beneficial interest in such real property after the transfer is held by the transferor or such related person or persons (as in the case of a transfer to a trustee for the benefit of a minor or the transfer to a trust for the benefit of the transferor).
    - ☐ The transfer of real property is a transfer to a trustee in bankruptcy, a receiver, assignee, or other officer of a court.
    - ☐ The maximum principal amount secured by the credit line mortgage is \$100,000 or more, and the real property being sold or transferred is not principally improved nor will it be improved by a one- to six-family owner-occupied residence or dwelling.

Please note: for purposes of determining whether the maximum principal amount secured is \$100,000 or more as described above, the amounts secured by two or more credit line mortgages may be aggregated under certain circumstances. See TSB-C-11(1)-R for more information regarding these aggregation requirements.

  - ☐ Other (write explanation in the space provided).
3. ☐ The real property being transferred is presently subject to an outstanding credit line mortgage. ☐ or, no tax is due for the following reason:
    - ☐ A certificate of discharge of the credit line mortgage is being offered at the time of recording the deed.
    - ☐ A check has been drawn payable for transmission to the credit line mortgagee or his agent for the balance due, and a satisfaction of such mortgage will be recorded as soon as it is available.
  4. ☐ The real property being transferred is subject to an outstanding credit line mortgage recorded in \_\_\_\_\_ (insert liber and page or reel or other identification of the mortgage). The maximum principal amount of debt or obligation secured by the mortgage is \_\_\_\_\_. No exemption from tax is claimed and the tax of \_\_\_\_\_ is being paid herewith. (Make check payable to county clerk where deed will be recorded or, if the recording is to take place in New York City, make check payable to the NYC Department of Finance.)

**Signature (both the grantor(s) and grantee(s) must sign)**

The undersigned certify that the above information contained in schedules A, B, and C, including any return, certification, schedule, or attachment, is to the best of his/her knowledge, true and complete, and authorize the person(s) submitting such form on their behalf to receive a copy for purposes of recording the deed or other instrument affecting the conveyance.

 _____ Grantor signature	_____ Title	 _____ Grantee signature	_____ Title
_____ Grantor signature	_____ Title	_____ Grantee signature	_____ Title

Reminder: Did you complete all of the required information in Schedules A, B, and C? Are you required to complete Schedule D? If you checked e, f, or g in Schedule A, did you complete Form TP-504.1? Have you attached your check(s) made payable to the county clerk where recording will take place or, if the recording is in New York City, to the NYC Department of Finance? If no recording is required, send your check(s), made payable to the Department of Taxation and Finance, directly to the NYS Tax Department, RETT Return Processing, PO Box 5045, Albany NY 12205-5045.

523613073-003

PREP

**Schedule D - Certification of exemption from the payment of estimated personal income tax (Tax Law, Article 22, section 100)**

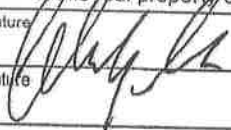
Complete the following only if a fee simple interest or a cooperative unit is being transferred by an individual or estate or trust.

**Part I - New York State residents**

If you are a New York State resident transferor(s)/seller(s) listed in Schedule A of Form TP-584 (or an attachment to Form TP-584), you must sign the certification below. If one or more transferor(s)/seller(s) of the real property or cooperative unit is a resident of New York State, each resident transferor/seller must sign in the space provided. If more space is needed, please photocopy this Schedule D and submit as many schedules as necessary to accommodate all resident transferor(s)/seller(s).

**Certification of resident transferor(s)/seller(s)**

This is to certify that at the time of the sale or transfer of the real property or cooperative unit, the transferor(s)/seller(s) as signed below was a resident of New York State, and therefore is not required to pay estimated personal income tax under Tax Law, section 100(a) upon the sale or transfer of this real property or cooperative unit.

Signature 	Print full name 206 WEST ST. MT. KISCO CORP.	Date 12/26/2012
Signature	Print full name	Date
Signature	Print full name	Date
Signature	Print full name	Date

Note: A resident of New York State may still be required to pay estimated tax under Tax Law, section 105(c), but not as a condition of recording a deed.

**Part II - Nonresidents of New York State**

If you are a nonresident of New York State listed as a transferor/seller in Schedule A of Form TP-584 (or an attachment to Form TP-584) but are not required to pay estimated personal income tax because one of the exemptions below applies under Tax Law, section 100(c), check the box of the appropriate exemption below. If any one of the exemptions below applies to the transferor(s)/seller(s), that transferor(s)/seller(s) is not required to pay estimated personal income tax to New York State under Tax Law, section 100. Each nonresident transferor/seller who qualifies under one of the exemptions below must sign in the space provided. If more space is needed, please photocopy this Schedule D and submit as many schedules as necessary to accommodate all nonresident transferor(s)/seller(s).

If none of these exemption statements apply, you must complete Form IT-203, Nonresident Real Property Estimated Income Tax Payment Form, or Form IT-204, Nonresident Cooperative Unit Estimated Income Tax Payment Form. For more information, see Payment of estimated personal income tax, on page 1 of Form TP-584-I.

**Exemption for nonresident transferor(s)/seller(s)**

This is to certify that at the time of the sale or transfer of the real property or cooperative unit, the transferor(s)/seller(s) (grantor) of this real property or cooperative unit was a nonresident of New York State, but is not required to pay estimated personal income tax under Tax Law, section 100 due to one of the following exemptions:

- ☐ The real property or cooperative unit being sold or transferred qualifies in total as the transferor(s)/seller(s) principal residence (within the meaning of Internal Revenue Code, section 121) from \_\_\_\_\_ to \_\_\_\_\_ (see instructions).  
Date Date
- ☐ The transferor/seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure, or in lieu of foreclosure with no additional consideration.
- ☐ The transferor or transferee is an agency or authority of the United States of America, an agency or authority of the state of New York, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.

Signature	Print full name	Date
Signature	Print full name	Date
Signature	Print full name	Date
Signature	Print full name	Date

523613073-003





Office of the Westchester County Clerk



\*523613093RPD001W\*

### Supporting Document Cover Page

#### Submitter Information

Name:	Insignia National Title Agency, LLC - AIS PICK UP	Phone:	212-465-0777
Address 1:	207 West 25th Street	Fax:	212-465-0771
Address 2:	Suite 505	Email:	Info@insigniatitleagency.com
City/State/Zip	New York NY 10001	Reference for Submitter:	206 West Street to Lopez

#### Parent Document Details

Control Number:	523613073	Document Type:	Deed (DED)
Package ID:	2012121200148001001		

#### Supporting Document Information

Supporting Document Type: RP-5217

FOR COUNTY USE ONLY

INSTRUCTIONS: <http://www.orps.state.ny.us> or PHONE (518) 473-9791

## REAL PROPERTY TRANSFER REPORT

STATE OF NEW YORK  
STATE BOARD OF REAL PROPERTY SERVICES

RP - 5217

RP-5217 Rev 1/20/09



C1. SWIS Code

C2. Date Deed Recorded

C3. Book

C4. Page

## PROPERTY INFORMATION

1. Property Location

208

STREET NUMBER

WEST ST

STREET NAME

BEDFORD

CITY OR TOWN

VILLAGE

10549

ZIP CODE

2. Buyer Name

LOPEZ

LAST NAME/COMPANY

VERONICA

FIRST NAME

LAST NAME/COMPANY

FIRST NAME

3. Tax Billing Address

Indicate where future Tax Bills are to be sent  
If other than buyer address (at bottom of form)

LAST NAME/COMPANY

FIRST NAME

STREET NUMBER AND NAME

CITY OR TOWN

STATE

ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed

1

# of Parcels

OR

☐ Part of a Parcel

(Only if Part of a Parcel) Check as they apply:

5. Deed Property Size

58.00

FRONT FEET

X

110.00

DEPTH

OR

ACRES

4A. Planning Board with Subdivision Authority Exists ☐4B. Subdivision Approval was Required for Transfer ☐4C. Parcel Approved for Subdivision with Map Provided ☐

6. Seller Name

208 WEST ST MT KISCO CORP

LAST NAME/COMPANY

FIRST NAME

LAST NAME/COMPANY

FIRST NAME

7. Check the box which most accurately describes the use of the property at the time of sale:

Check the boxes below as they apply:

B. 2 or 3 Family Residential ☐8. Ownership Type is Condominium ☐9. New Construction on a Vacant Land ☐10A. Property Located within an Agricultural District ☐10B. Buyer received a disclosure notice indicating that the property is in an Agricultural District ☐

## SALE INFORMATION

11. Sale Contract Date

12/10/12

12. Date of Sale/Transfer

12/26/2012

13. Full Sale Price

480,000.00

(Full Sale Price is the total amount paid for the property including personal property. This payment may be in the form of cash, other property or goods, or the assumption of mortgages or other obligations.) Please round to the nearest whole dollar amount.

15. Check one or more of these conditions as applicable to transfer:

- ☐ A. Sale Between Relatives or Former Relatives  
☐ B. Sale Between Related Companies or Partners in Business.  
☐ C. One of the Buyers is also a Seller  
☐ D. Buyer or Seller is Government Agency or Lending Institution  
☐ E. Deed Type not Warranty or Bargain and Sale (Specify Below)  
☐ F. Sale of Fractional or Less than Fee Interest (Specify Below)  
☐ G. Significant Change in Property Between Taxable Status and Sale Dates  
☐ H. Sale of Business is Included in Sale Price  
☒ I. Other Unusual Factors Affecting Sale Price (Specify Below)  
☐ J. None

Comment(s) on condition

14. Indicate the value of personal property included in the sale

0

## ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

16. Year of Assessment Roll from which information taken (YY)

12

17. Total Assessed Value

0

18. Property Class

220

19. School District Name

Bedford

20. Tax Map Identifier(s)/Roll Identifier(s) (If more than four, attach sheet with additional identifier(s))

80.48-4-3

## CERTIFICATION

I certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and I understand that the making of any willful false statement of material fact herein subject me to the provisions of the penal law relative to the making and filing of false instruments.

BUYER

BUYER'S ATTORNEY

*[Signature]* 12/26/12  
 DATE  
 208 WEST STREET  
 STREET NUMBER STREET NAME  
 MOUNT KISCO NY  
 CITY OR TOWN STATE  
 ZIP CODE  
 SELLER  
*[Signature]* 12/26/12  
 SELLER SIGNATURE DATE

*[Signature]* 941-4344  
 LAST NAME FIRST NAME  
 AREA CODE TELEPHONE NUMBER (Ext. 2000000)

523613073-002



Office of the Westchester County Clerk



\*523613096TPD001Z\*

### Supporting Document Cover Page

#### Submitter Information

Name: Insignia National Title Agency, LLC - AIS PICK UP

Phone: 212-465-0777

Address 1: 207 West 25th Street

Fax: 212-465-0771

Address 2: Suite 505

Email: Info@InsigniaTitleAgency.com

City/State/Zip: New York NY 10001

Reference for Submitter: 206 West Street to Lopez

#### Parent Document Details

Control Number: 523613073

Document Type: Deed (DED)

Package ID: 2012121200148001001

#### Supporting Document Information

Supporting Document Type: TP-584

208 WEST MT KISCO CORP  
208 WEST STREET  
MOUNT KISCO, NY 10549

File Number: 208WEST

In accordance with your request, I have appraised the real property at:

208 WEST STREET  
MOUNT KISCO, NY 10549-3220

The purpose of this appraisal is to develop an opinion of the defined value of the subject property, as improved.  
The property rights appraised are the fee simple interest in the site and improvements.

In my opinion, the defined value of the property as of March 20, 2012 is:

\$480,000  
Four Hundred Eighty Thousand Dollars

The attached report contains the description, analysis and supportive data for the conclusions,  
final opinion of value, descriptive photographs, assignment conditions and appropriate certifications.



Michael P. Brescia

# SUBJECT PROPERTY PHOTO ADDENDUM

Client: 206 WEST MT KISCO CORP	File No.: 208WEST
Property Address: 208 WEST STREET	Case No.:
City: MOUNT KISCO	State: NY Zip: 10549-3220



**FRONT VIEW OF  
SUBJECT PROPERTY**

Appraised Date: March 20, 2012  
Appraised Value: \$ 480,000



**REAR VIEW OF  
SUBJECT PROPERTY**



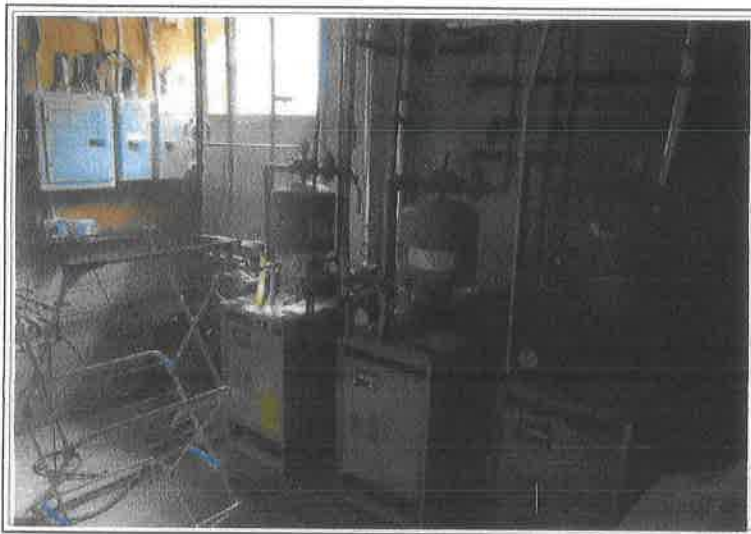
**STREET SCENE**

THE WILLIAM PAUL APPRAISAL GROUP

Client: 206 WEST MT KISCO CORP	File No.: 208WEST
Property Address: 208 WEST STREET	Case No.:
City: MOUNT KISCO	State: NY Zip: 10549-3220



BASEMENT KITCHEN



UTILITY ROOM



DECK



208 West St. ID: 80.48-4-3.2 (Mount Kisco)



February 17, 2023 1:1,500

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.



**Westchester County GIS**  
GIS  
<http://giswww.westchestergov.com>  
Michaelian Office Building  
148 Martine Avenue Rm 214  
White Plains, New York 10601

May 25<sup>th</sup>, 2023

**VKS**

**ARCHITECTS**

P O Box 696  
Katonah, NY 10536  
(914) 232-9828

To: **Village/Town of Mount Kisco**  
**Zoning Board of Appeals**  
Village Hall (1<sup>st</sup> floor)  
104 Main St.  
Mount Kisco, NY 10549

Via Hand Delivered

Re: 208 West Street.  
Mount Kisco, NY 10549  
Tax ID 80.48-4-3.2

Dear Sir or Madam,

We are pleased to submit the application for variances for the proposed improvements at 208 West Street, Mt. Kisco NY.

The improvements consist of three major components:

1. Permit the existing Development Coverage of 60.6% where 40% is permitted.
2. Permit the new striping for (3) existing parking spots where a minimum off-street parking of (4) is required.
3. Permit the proposed parking stripes to have a rear parking buffer of 1'-4" where 10'-0" is required.

The house alterations for legalization meet all the zoning requirements.

The maximum development coverage is required to be 40%. Because of the sites' nature in addition to the long driveway from the street to the rear parking area, including the turnaround area require additional coverage. Therefore, we are requesting a 20.6% variance from the lot coverage. We have removed the existing freestanding deck and proposed to remove asphalt for new landscaping in the north west corner of the house to minimize the development coverage.

The New (relocated) parking spots are required to be located no closer to the rear lot line than 10'-0" [Par 110-28.H(4)], with the edge of the proposed parking to be 1'-4" from the western rear lot line. Due to nature and the width of the property we are requesting a 8'-8" variance for the new parking area. The required number of parking spots is 4 as per [Attachment 110-2 Min. Off-Street Parking Regulations]. Due to the conditions previously described we have proposed 3 parking spots and are requesting a variance for (1) parking spot. We have proposed to use the existing asphalt footprint, providing new striping for the parking area locating the new parking as close to the existing residence as possible to minimize the projection distance of the parking into the rear yard parking buffer and to maximize the number of parking spots we are able to provide.

Veronica Lopez: 208 West Street



May 25<sup>th</sup>, 2023

The enclosed site development plan and the proposed floor plans for the house provide detailed information for your review, including a proposed site plan with existing conditions identified, floor plans, zoning tabulation, location map, etc.

We feel that the proposed improvements:

1. Will not produce an undesirable change in the character of the neighborhood nor will they create a detriment to nearby properties,
2. Cannot be achieved by some other feasible method other than a variance,
3. And the requested variances are not substantial,
4. And the proposed variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood, and
5. While being self-created, cannot be accomplished in any other method; to create enough room for parking or to reduce the development coverage would involve relocating the existing primary structure.

We look forward to presenting this application to the Zoning Board of Appeals and to answering any questions that will come up.

Respectfully submitted,

*Viktor Solarik*

Viktor K. Solarik AIA LEED AP  
VKS Architects

Enc. 6 sets: Drawings A1 2/14/2023

cc. Veronica Lopez,  
file (Job # 2023-010)

Veronica Lopez: 208 West Street

# VILLAGE OF MOUNT KISCO

104 Main Street  
Mount Kisco, New York 10549  
www.mountkisco.org

## COVERAGE CALCULATION WORKSHEET

Project Name: Legalization of 208 West St. Mt.Kisco, NY,10549

Tax Parcel ID Number(s): 80.48-4-3.2

Relevant definitions from the Village's Zoning Code are provided on the following page

RECEIVED

MAY 26 2023

Zoning Board of Appeals  
Village of Mount Kisco

**Building Coverage** – Enter “0” below if category is not applicable

- |   |                      |
|---|----------------------|
| 1. Total lot area (s.f.) =  | 1. <u>6,701</u> s.f. |
| 2. Maximum permitted Building Coverage (s.f.) =   | 2. <u>1,651</u> s.f. |
| 3. Portion of lot covered by the principal building:<br><u>1,274</u> s.f. (existing) + <u>0</u> s.f. (proposed) = | 3. <u>1,274</u> s.f. |
| 4. Portion of lot covered by accessory building(s):<br><u>0</u> s.f. (existing) + <u>0</u> s.f. (proposed) =      | 4. <u>0</u> s.f.     |
| 5. Portion of lot covered by other structures:<br><u>315</u> s.f. (existing) + <u>0</u> s.f. (proposed) =         | 5. <u>315</u> s.f.   |
| 6. Total Building Coverage (add Lines #3 through #5) =  | 6. <u>1,589</u> s.f. |

**Development Coverage** – Enter “0” below if category is not applicable

- |  |                      |
|--|----------------------|
| 1. Total lot area =  | 1. <u>6,701</u> s.f. |
| 2. Maximum permitted Development Coverage =  | 2. <u>2,680</u> s.f. |
| 3. Total Building Coverage from Line #6 Above =  | 3. <u>1,589</u> s.f. |
| 4. Portion of lot covered by asphalt, concrete, gravel, or similar materials<br><u>2309</u> s.f. (existing) + <u>-49</u> s.f. (proposed) = | 4. <u>2260</u> s.f.  |
| 5. Portion of lot covered by other improved surfaces =<br><u>700</u> s.f. (existing) + <u>-486</u> s.f. (proposed) =                       | 5. <u>214</u> s.f.   |
| 6. Total Development Coverage (add Lines #3 through #5) =  | 6. <u>4,063</u> s.f. |

If Line #6 is less than or equal to Line #2, the proposed action is zoning compliant; if Line #6 is greater than Line #2, the proposed action is noncompliant

## PUBLIC NOTICE

**Please Take Notice** that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the **20<sup>th</sup>** day of **June 2023** at the Municipal Building, Mount Kisco, New York, beginning at 7:00 pm pursuant to the Zoning Ordinance, on the appeal of **Viktor Solarik – VKS Architects, P.O. Box 696, Katonah, NY, 10536**, against the decision of Peter J. Miley, Building Inspector dated **April 10<sup>th</sup>, 2023**, to deny the application to permit:

- A) The Legalization of existing development coverage of 60.6% where 40% maximum is permitted by the code,**
- B) permit the parking to extend 8'-8" into the rear buffer thereby requiring an 8'-8" variance for a parking buffer of 1'-4" where 10' is required by the code,**
- C) and to permit 3 off-street parking spaces where 4 are required.**

The property involved is known as **208 West Street, Mount Kisco, NY, 10549** and is described on the Village Tax Map as **Section 80.48 Block 4 Lot 3.2** and is located on the **West** side of **West Street** in a RT-6 Zoning District.

Said Appeal is being made to obtain a variance from **Section §110-11.C(1)(c), §110-28.H(4), & §110-28.K(1)** of the Code of the Village/Town of Mount Kisco, which requires:

- A) "Maximum development coverage of 40%." [§110-11.C(1)(c)]**
- B) "No parking of any vehicle shall be permitted in the area: within 10 feet of the rear property line." [§110-28.H(4)]**
- C) "Minimum off-street parking requirement of 4 spots as set forth in the table 110 attachment 2." [§110-28.K(1)]**

All interested parties are invited to attend and to be heard.

By order of:  
Harold Boxer, Chair  
Zoning Board of Appeals  
Village/Town of Mount Kisco

208 West Street Mailing List for Public Hearing									
OWNERNAME	PROPADDRESS	PROPCITY	PROPZIP	PROPPRINTKEY	c/o	Mailing address	City	State	Zip
351 Lexington Av Corp	351 Lexington Ave	MOUNT KISCO	10549	80.48-4-19	Henry's Deli	351 Lexington Ave	Mt. Kisco	NY	10549
Conte Carmine	West St Ext	MOUNT KISCO	10549	80.48-4-20		16 Wood Road	Mt. Kisco	NY	10549
335 Lexington Ave. Mt Kisco	335 Lexington Ave	MOUNT KISCO	10549	80.48-4-24		305 Spring St	Mt. Kisco	NY	10549
Mair Lovett	10 Locust St	MOUNT KISCO	10549	80.48-4-2		10 Locust St	Mt. Kisco	NY	10549
48 Spring Street Corp.	48 Spring St	MOUNT KISCO	10549	80.48-3-8	Pietro Di Sisto	21 Deer Creek Lane	Mt. Kisco	NY	10549
Rossi, Derek	46 Spring St	MOUNT KISCO	10549	80.48-3-7	Derek Rossi	16 Lee Road	Somers	NY	10589
James, Delroy	20 West St Ext	MOUNT KISCO	10549	80.48-4-8		20 West St Ext	Mt. Kisco	NY	10549
Spencormg LLC	333 Lexington Ave	MOUNT KISCO	10549	80.48-4-1		333 Lexington Ave	Mt. Kisco	NY	10549
Claytor Enos	239 West St	MOUNT KISCO	10549	80.48-3-23		239 West St	Mt. Kisco	NY	10549
Petersville Land Co, LLC	66 Spring St	MOUNT KISCO	10549	80.48-3-17		31 Peterville Road	Mt. Kisco	NY	10549
Bueti, Giuseppe	50 Spring St	MOUNT KISCO	10549	80.48-3-9		1 Stephen Road	North Salem	NY	10560
Velardo, Giuseppe	305 Lexington Ave	MOUNT KISCO	10549	80.48-2-11		40 West St	Mt. Kisco	NY	10549
Mareschi, Enrico	112 West St	MOUNT KISCO	10549	80.48-2-7.1		61 East Way	Mt. Kisco	NY	10549
Salomon, Stefan	201 West St	MOUNT KISCO	10549	80.48-3-28		22 Jo Drive	CortLandt Manor	NY	10567
Di Matteo, Vito	52 Spring St	MOUNT KISCO	10549	80.48-3-10		367 Birdsall Drive	Yorktown Heights	NY	10598
Lali Jeffery	101 West St	MOUNT KISCO	10549	80.48-3-32		101 West St	Mt. Kisco	NY	10549
Mt Kisco Supply Co Inc	369 Lexington Ave	MOUNT KISCO	10549	80.48-4-17	Robert Pasquale	369 Lexington Ave	Mt. Kisco	NY	10549
PAL325 Lexington Ave MtKisco	325 Lexington Ave	MOUNT KISCO	10549	80.48-2-9		PO Box 367	Mt. Kisco	NY	10549
ABVS Realty Inc	307 Lexington Ave	MOUNT KISCO	10549	80.48-2-10		307 Lexington Ave	Mt. Kisco	NY	10549
Lopez, Jeffrey	12 West St Ext	MOUNT KISCO	10549	80.48-4-10		3 Faraway Road	Armonk	NY	10504
Conte Bella Casa, LLC	11 West St Ext	MOUNT KISCO	10549	80.48-4-5		85 Manchester Dr	Mt. Kisco	NY	10549
Randazzo, Serafino	228 West St	MOUNT KISCO	10549	80.48-4-12		110 Blackburn Ave	York	NE	68467
Cambareri Stacy	90 Spring St	MOUNT KISCO	10549	80.48-3-18.2		1418 Rommel St	Port Charlotte	FL	33952
Karpel Mary-Ann	58 Spring St	MOUNT KISCO	10549	80.48-3-13		58 Spring St	Mt. Kisco	NY	10549
Cericola, Paolo	42 West St	MOUNT KISCO	10549	80.48-2-6		260 Mountain Rd	Pleasantville	NY	10570
C & S Lexington Avenue Corp.	347 Lexington Ave	MOUNT KISCO	10549	80.48-4-21		347 Lexington Ave	Mt. Kisco	NY	10549
Turns, Louise	16 West St Ext	MOUNT KISCO	10549	80.48-4-9	c/o Eugenia Turns	16 West St Ext	Mt. Kisco	NY	10549
Village Of Mount Kisco	West St Ext	MOUNT KISCO	10549	80.48-4-7		104 Main St	Mt. Kisco	NY	10549
Lopez Veronica	208 West St	MOUNT KISCO	10549	80.48-4-3.2		208 West St	Mt. Kisco	NY	10549
Espinoza, Anderson	206 West St	MOUNT KISCO	10549	80.48-4-3.1	Anderson Espinoza	31 Wood St	Katonah	NY	10536
Rodgers Andrew	225 West St	MOUNT KISCO	10549	80.48-3-24.1		225 West St	Mt. Kisco	NY	10549
Dennett Christine	115 West St	MOUNT KISCO	10549	80.48-3-30		115 West St	Mt. Kisco	NY	10549
Hall Augustus T	62 Spring St	MOUNT KISCO	10549	80.48-3-15		62 Spring St	Mt. Kisco	NY	10549
Reed Joyce E	60 Spring St	MOUNT KISCO	10549	80.48-3-14		60 Spring St	Mt. Kisco	NY	10549
Maria G Valvano Irrev Trust	56 Spring St	MOUNT KISCO	10549	80.48-3-12		25 Birch Drive	Mt. Kisco	NY	10549
359-363 Lexington Realty LLC	359 Lexington Ave	MOUNT KISCO	10549	80.48-4-18		345 Lexington Ave	Mt. Kisco	NY	10549
339 Lexington Avenue Mt Kisco	339 Lexington Ave	MOUNT KISCO	10549	80.48-4-23		305 Spring St	Mt. Kisco	NY	10549
Conte, Carmine	19 West St Ext	MOUNT KISCO	10549	80.48-4-6		16 Wood Rd	Mt. Kisco	NY	10549
Cambareri, Rocco	301 Lexington Ave	MOUNT KISCO	10549	80.48-2-12		RD#2 80 McIn St	Mt. Kisco	NY	10549
Velardo, Giuseppe	220 West St	MOUNT KISCO	10549	80.48-4-11		40 West Street	Mt. Kisco	NY	10549
Bueti, Michael R	207 West St	MOUNT KISCO	10549	80.48-3-27		207 West St	Mt. Kisco	NY	10549
Oliveri, Antonio	119 West St	MOUNT KISCO	10549	80.48-3-29		119 West St	Mt. Kisco	NY	10549
Abreu-Camilo Raul	64 Spring St	MOUNT KISCO	10549	80.48-3-16		49 Kisco Park Dr	Mt. Kisco	NY	10549
Delgado, Luis	341 Lexington Ave	MOUNT KISCO	10549	80.48-4-22		9 W Hyatt Ave	Mt. Kisco	NY	10549
D.I.M., 227, Inc.	227 West St	MOUNT KISCO	10549	80.48-3-24.2	Ability & Beyond	4 Berkshire Blvd	Bethel	CT	06801
Abreu-Camilo, Raul	211 West St	MOUNT KISCO	10549	80.48-3-26		211 West St	Mt. Kisco	NY	10549
Velardo, Giuseppe	40 West St	MOUNT KISCO	10549	80.48-2-5		40 West St	Mt. Kisco	NY	10549
LA Props in Westchester LLC	West St	MOUNT KISCO	10549	80.48-4-13		PO BOX 189	Bedford Hills	NY	10507
Conte Bella Casa, LLC	214 West St	MOUNT KISCO	10549	80.48-4-4		110 Blackburn Ave	York	NE	68467
Velardo, Giuseppe	213 West St	MOUNT KISCO	10549	80.48-3-25		40 West St	Mt. Kisco	NY	10549
Lopez Alejandro Andres	54 Spring St	MOUNT KISCO	10549	80.48-3-11		12 Spencer ST	Mt. Kisco	NY	10549
15 Locust St Mt Kisco Corp	15 Locust St	MOUNT KISCO	10549	80.48-2-8	c/o Lexington Properties	PO Box 367	Mt. Kisco	NY	10549
PAL 15 Locust St MtKisco LLC	15 Locust St	MOUNT KISCO	10549	80.48-2-7.2		15 Locust St	Mt. Kisco	NY	10549
Munoz Elizabeth	105 West St	MOUNT KISCO	10549	80.48-3-31		105 West St	Mt. Kisco	NY	10549

RECEIVED

JUN 15 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco



AFFIDAVIT OF PUBLICATION  
FROM

RECEIVED

JUN 15 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

State of Wisconsin  
County of Brown, ss.:

On the 15 day of June in the year 2023, before me, the undersigned, a Notary Public in and for said State, personally appeared Shelly Hora, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed, the instrument.

Shelly Hora being duly sworn says that he/she is the principal clerk of **THE JOURNAL NEWS**, a newspaper published in the County of Westchester and the State of New York, and the notice of which the annexed is a printed copy, was published in the newspaper area(s) on the editions dated below:

Zone:  
Westchester

Edition Dates:  
06/05/2023

Signature

Sworn to before me, this 15 day of June, 2023

Notary Public, State of Wisconsin, County of Brown

KATHLEEN ALLEN  
Notary Public  
State of Wisconsin

My commission expires

Legend:

WESTCHESTER:

Amawalk, Ardsley, Ardsley on Hudson, Armonk, Baldwin Place, Bedford, Bedford Hills, Brewster, Briarcliff Manor, Bronxville, Buchanan, Carmel, Chappaqua, Cold Spring, Cronipond, Cross River, Croton Falls, Croton on Hudson, Dobbs Ferry, Eastchester, Elmsford, Garrison, Goldens Bridge, Granite Springs, Greenburg, Harrison, Hartsdale, Hastings, Hastings on Hudson, Hawthorne, Irvington, Jefferson Valley, Katonah, Lake Peekskill, Larchmont, Lincolnville, Mahopac, Mahopac Falls, Mamaroneck, Millwood, Mohegan Lake, Montrose, Mount Kisco, Mount Vernon, New Rochelle, North Salem, Ossining, Patterson, Peekskill, Pelham, Pleasantville, Port Chester, Pound Ridge, Purchase, Purdys, Pulnam Valley, Rye, Scarsdale, Shenorock, Shrub Oak, Somers, South Salem, Tarrytown, Thornwood, Tuckahoe, Valhalla, Verplanck, Waccabuc, White Plains, Yorktown Heights, Yonkers

ROCKLAND:

Blauvelt, Congers, Garnerville, Haverstraw, Hillburn, Monsey, Nanuet, New City, Nyack, Orangeburg, Palisades, Pearl River, Piermont, Pomona, Sloalsburg, Sparkill, Spring Valley, Stony Point, Suffern, Tallman, Tappan, Thiells, Tomkins Cove, Valley Cottage, West Haverstraw, West Nyack

Ad Number: 0005723170

PUBLIC NOTICE

Please Take Notice that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 20th day of June 2023 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 pm pursuant to the Zoning Ordinance, on the appeal of Viktor Solarik – VKS Architects, P.O. Box 696, Katonah, NY, 10536, against the decision of Peter J. Miley, Building Inspector dated April 10th, 2023. To deny the application to permit:

- A) The Legalization of existing development coverage of 60.6% where 40% maximum is permitted by the code,
- B) permit the parking to extend 8'-8" into the rear buffer thereby requiring an 8'-8" variance for a parking buffer of 1'-4" where 10' is required by the code,
- C) and to permit 3 off-street parking spaces where 4 are required.

The property involved is known as 208 West Street, Mount Kisco, NY, 10549 and is described on the Village Tax Map as Section 80.48 Block 4 Lot 3.2 and is located on the West side of West Street in a RT-6 Zoning District.

Said Appeal is being made to obtain a variance from Section §110-11.C(1)(c), §110-28.H(4), & §110-28.K(1) of the Code of the Village/Town of Mount Kisco, which requires:

- A) "Maximum development coverage of 40%." [§110-11.C(1)(c)]
- B) "No parking of any vehicle shall be permitted in the area within 10 feet of the rear property line." [§110-28.H(4)]
- C) "Minimum off-street parking requirement of 4 spots as set forth in the table 110 attachment 2." [§110-28.K(1)]

All interested parties are invited to attend and to be heard.

By order of: Harold Boxer, Chair  
Zoning Board of Appeals  
Village/Town of Mount Kisco

0005723170

RECEIVED

JUN 15 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

State of New York )  
 ) ss:  
County of Westchester)

AFFIDAVIT OF POSTING

**Gilmar Palacios Chin**, being duly sworn, says that on the 15<sup>th</sup> day of June 2023, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –  
104 Main Street

X

Public Library  
100 Main Street

X

Fox Center

X

Justice Court – Green Street  
40 Green Street

X

Mt. Kisco Ambulance Corp  
310 Lexington Ave

X


Carpenter Avenue Community House  
200 Carpenter Avenue

X

Leonard Park Multi Purpose Bldg

X

  
Gilmar Palacios Chin

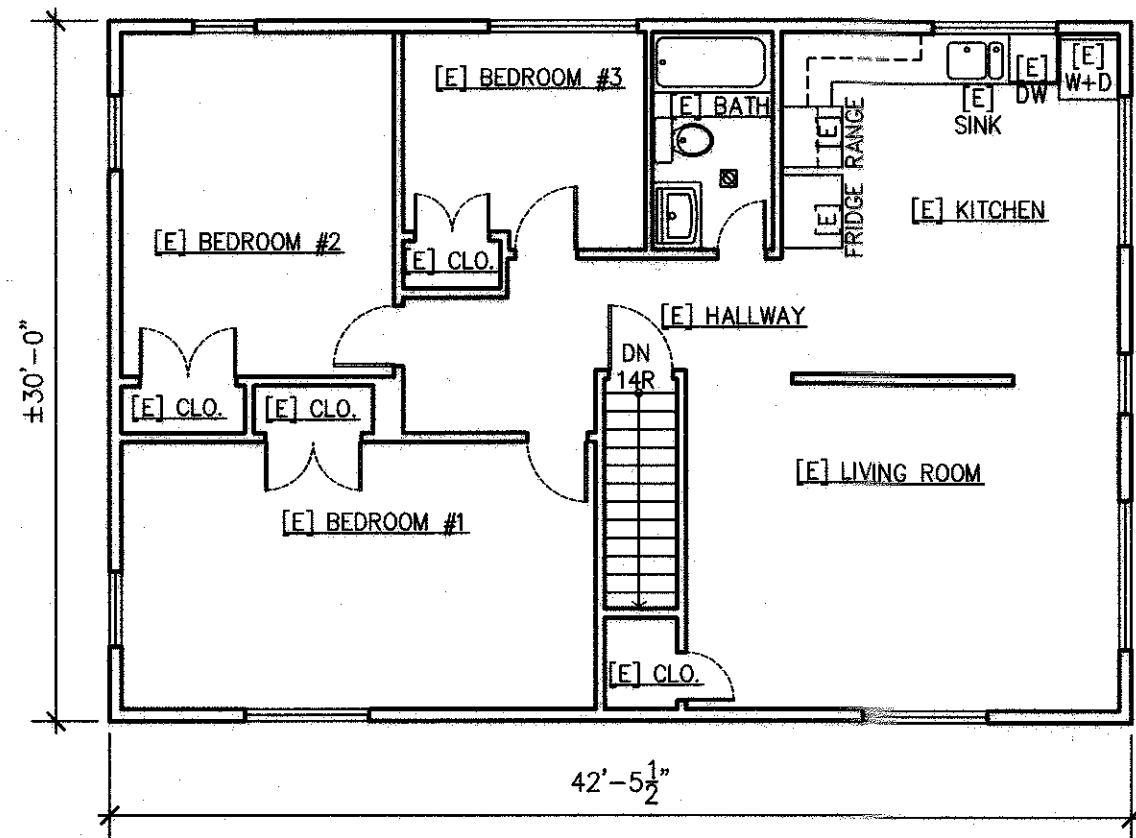
Sworn to before me this 15<sup>th</sup> day of June 2023  


Notary Public

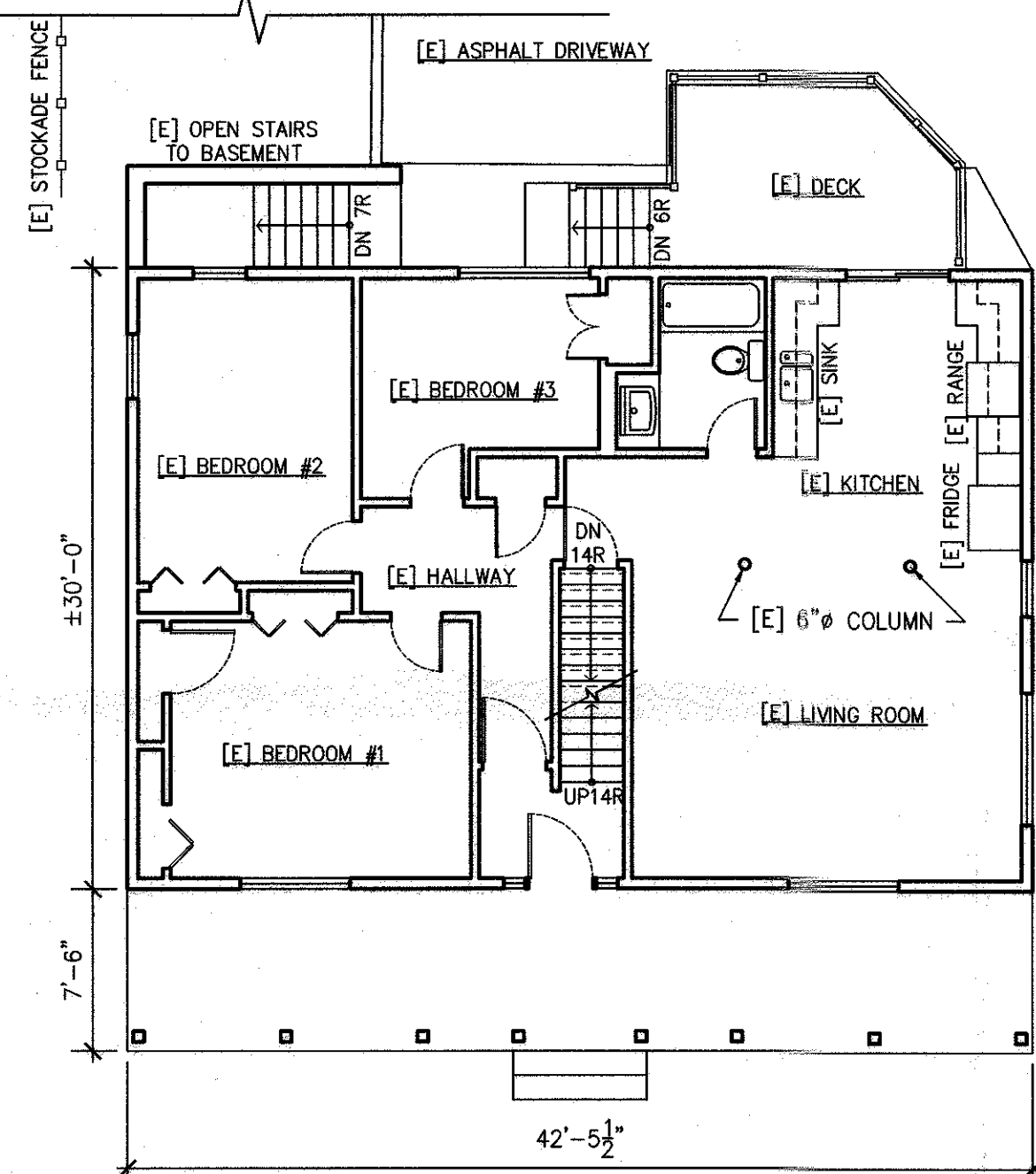
MICHELLE K. RUSSO  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01RU6313298  
Qualified in Putnam County  
My Commission Expires 10-20-2026



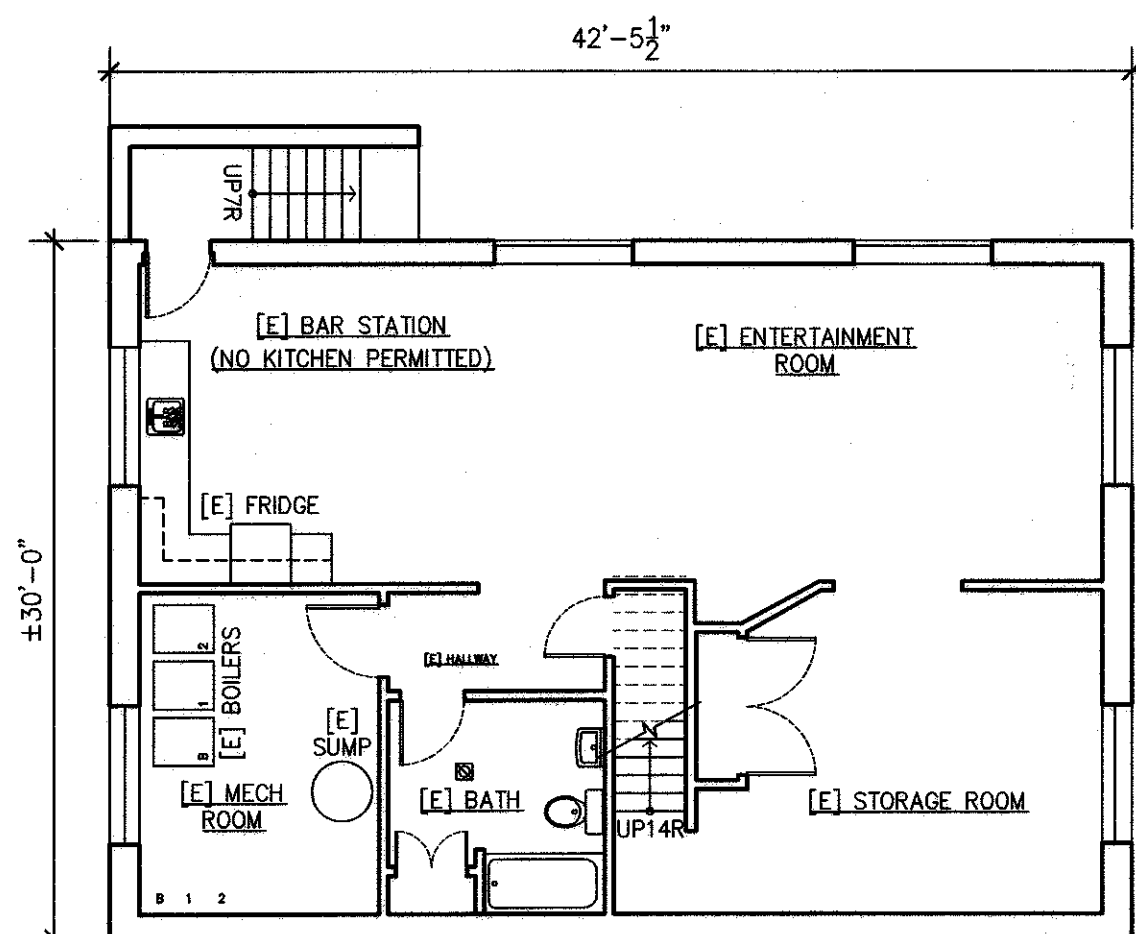




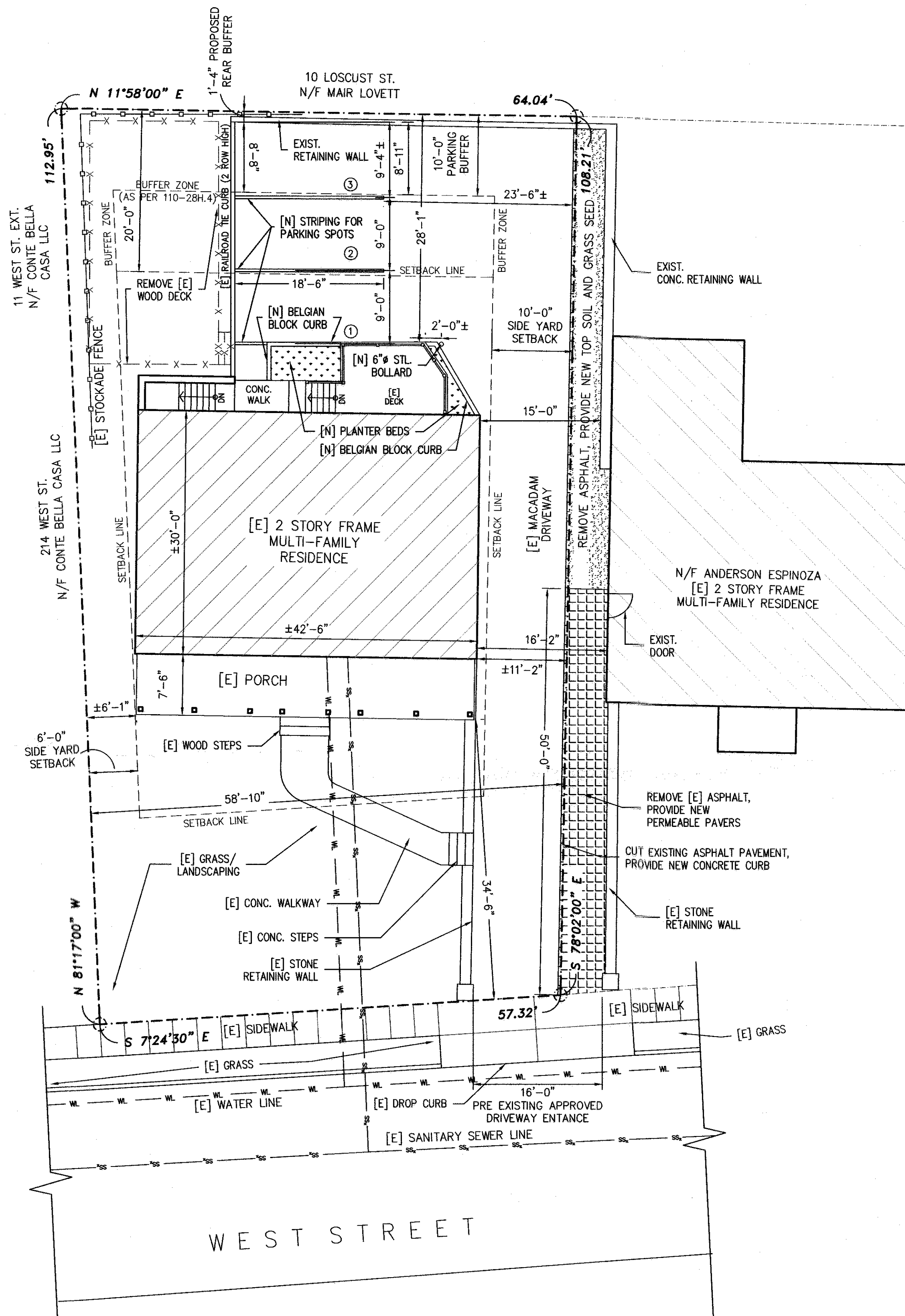
4 EXISTING SECOND FLOOR PLAN  
1/8" = 1'-0"



3 EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"



2 EXISTING BASEMENT FLOOR PLAN  
1/8" = 1'-0"



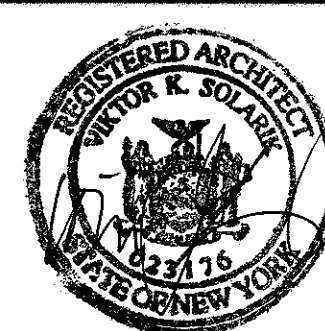
1 PROPOSED SITE PLAN  
1" = 10'-0"

THIS SITE PLAN IS BASED ON SURVEY PREPARED BY  
ROBERT S. JOHNSON, P.C. ENGINEER & LICENSED LAND SURVEYOR  
42 SMITH AVENUE, MOUNT KISCO, NY, 10549 (914)-241-3872  
SURVEY DRAWN ON FEBRUARY 13, 2003 FOR  
206 WEST STREET MT.KISCO CORP.

NOTE:  
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED  
BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF VKS ARCHITECTS,  
AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN  
CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS,  
ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE  
WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF VKS ARCHITECTS.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED  
DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL  
DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF  
ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.  
SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE  
PROCEEDING WITH FABRICATION.

LEGAL NOTICE:  
ALTERATIONS BY ANY PERSON, IN  
ANY WAY, OF ANY ITEM CONTAINED  
ON THIS DOCUMENT, UNLESS ACTING  
UNDER THE DIRECTION OF THE  
LICENSED ARCHITECT WHOSE  
PROFESSIONAL SEAL IS AFFIXED  
HEREIN, IS A VIOLATION OF  
TITLE VII, SECTION 69.5 (b) OF  
NEW YORK STATE LAW.



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TITLE

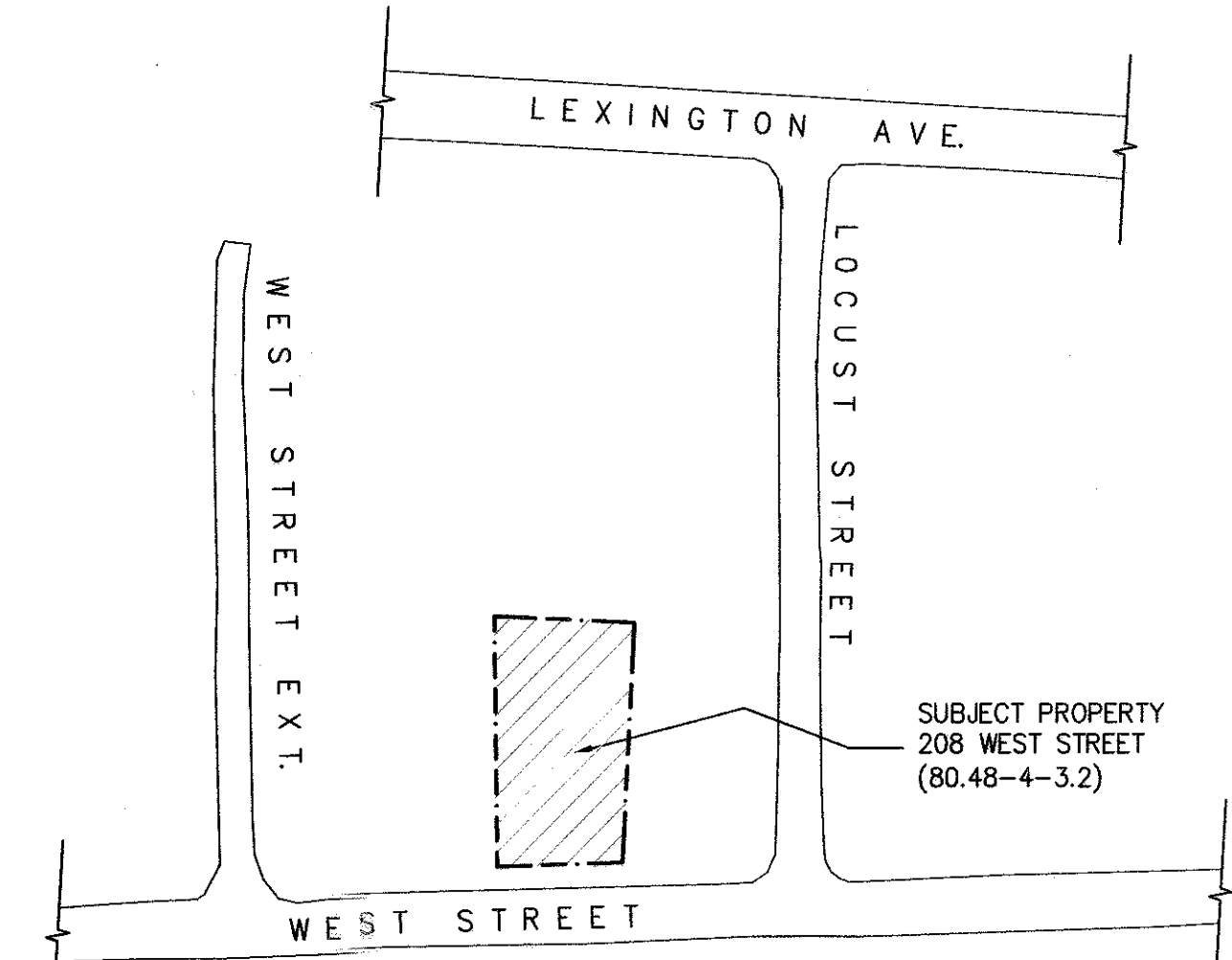
LEGALIZATION OF EXISTING RESIDENCE  
208 WEST STREET  
TOWN/VILLAGE OF MT.KISCO  
TAX MAP #: 80.48 - 4 - 3.2  
EXISTING FLOOR PLANS, PROPOSED SITE PLAN,  
LOCATION MAP, ZONING TABLE & PARKING CALCULATIONS

JOB NO.  
2023-010  
DATE  
02/14/2023  
SCALE  
AS NOTED  
DRAWN / CHECKED BY  
JOS NAME  
206 WEST ST.

SHEET NO.

A1

1 OF 1



5 LOCATION MAP  
N.T.S.

NOTE: THIS MAP IS BASED ON THE WESTCHESTER COUNTY  
GEOSPATIAL MUNICIPAL ASSESSOR TAX PARCEL DATABASE

#### ZONING TABLE

ZONING DISTRICT: RT-6 ONE AND TWO FAMILY RESIDENCE DISTRICT			
	REQUIRED	EXISTING	PROPOSED
MIN. NET LOT AREA	6,250 SF	6,701 SF	SAME
MAX. BUILDING COVERAGE	1,651.2 SF*	1,589 SF	SAME
MAX DEVELOPMENT COVERAGE	40%	68.6%	60.6%
MINIMUM LOT WIDTH	50'	58.83'	-
MINIMUM LOT DEPTH	100'	108.21'	-
MIN. FRONT YARD	25'	34'-6"	-
MIN. REAR YARD	20'	28'-1"	-
MIN. SIDE YARDS	6'-16" TOTAL	6'-1"/17'-3"	-
MAX. BUILDING HEIGHT	40' / 3 STORIES	2 STORIES	-

NOTE: \*MAXIMUM BUILDING COVERAGE = 1,490 S.F. + (161.2 = 23% NET LOT AREA IN EXCESS OF 6,000 SF)

#### TOWN/VILLAGE OF MT.KISCO: PARKING CALCULATION

	USE CLASSIFICATION	REQUIRED	CALCULATION	REQUIRED	EXISTING	PROPOSED
ONE-FAMILY OR TWO-FAMILY RESIDENTIAL	TWO-FAMILY DWELLING	2 SPACES PER DWELLING	TWO-FAMILY DWELLING = 4 SPACES	4	4	3

NOTE: PARKING CALCULATIONS BASED ON 110.28 & 110 ATTACHMENT 1 & 2

RECEIVED

MAY 26 2023

Zoning Board of Appeals  
Village/Town of Mount Kisco

REV 2 05/25/2023

REV 1 05/02/2023

**Michelle Russo**

---

**From:** James Scoli <Gen3jscoli@yahoo.com>  
**Sent:** Thursday, June 15, 2023 1:18 PM  
**To:** Planning  
**Subject:** Adjournment for ZBA meeting Hickory Lane project

Village/Town of Mount Kisco  
Planning Board

JUN 15 2023

RECEIVED

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Michelle,

As per our discussion at the meeting this week, can you please adjourn my meeting for the ZBA until the next meeting. Let me know if there's any issues. Thank you.

Sincerely,

James Scoli  
Westwood  
CJ Developers  
914-490-1694  
gen3jscoli@yahoo.com