

Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
Ph. (914) 864-0019-fax (914) 864-1085

Village/Town of Mount Kisco
Zoning Board of Appeals

SEP 29 2020

RECEIVED

September 8, 2020

Ms. Pulletta Reis
31 West Street
Mount Kisco, NY 10549

Re: Notice of Denial
31 West Street
Mount Kisco, NY 10549
(SBL) 80.48-3-35

Dear Ms. Reis,

Your recent Building Permit application for the proposed front portico and step reconstruction has been denied for the following reason:

1. The property is located within the RT-6 (One- and Two-Family Residence) Zoning District where the minimum front yard setback is 30 ft. Proposed front yard setback is 24.5 ft. Therefore; a front yard setback variance of 5.5 ft. is required in accordance with §110-11 C (1) (f) [1] [a] of the Village/Town of Mount Kisco Code.

You have the right to appeal this decision within 60 days.

Sincerely,

Peter J. Miley,
Building Inspector

\mkr

September 27, 2020

Village/ Town of Mount Kisco
Zoning Board of Appeals

Pauletta E. Reis
31 West Street
Mount Kisco, NY 10549

SEP 29 2020

RECEIVED

Village/ Town of Mount Kisco
Zoning Board of Appeals
Attn: Harold Boxer, Chairman
104 Main Street
Mount Kisco, NY 10549

Re: Reis Residence
31 West Street

Dear Mr. Boxer,

I intend to appeal a notice of denial that has been issued by the Building Inspector on September 8, 2020, and I would like to request a public hearing, seeking a 5.5 foot variance to construct a new front portico and steps.

Sincerely,


Pauletta E. Reis

460
CK # 6214
REC # 25426

Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
(914) 864-0019 FAX (914) 864-1085

Village/Town of Mount Kisco
Building Department

JUL 30 2020

RECEIVED

Application #: _____

Permit #: _____

BUILDING PERMIT APPLICATION

Note: Three sets of construction documents must be submitted with application.

Project Address: 31 WEST STREET MT. KISCO, NY 10549

Zoning District: RT-6 Section/Block/Lot(s): _____

Applicant's Name: PAULETTA E. REIS

Address: WEST ST. MT. KISCO, NY 10549

Email address: _____ Phone #: _____

Name of Property Owner: SAME AS APPLICANT Phone #: _____
(If Different)

Present Address of Owner: _____

Email address: _____ Phone #: _____

Description of Improvement and Proposed Use in Detail: FRONT PORCH & STEP
RECONSTRUCTION, AND NEW DORMERS.

Total Estimated Cost of Improvement: \$ 30,000

AFFIDAVIT OF CONSTRUCTION COST: This affidavit must be completed by the Design Professional if the estimated cost is \$20,000.00 or more, or the project is a legalization.

I PETER C. KURTH do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (II) I have reviewed the plans, drawings and specifications of this application and am fully familiar with the proposed construction; (III) based on my experience, I estimate the total cost of construction, including all labor, all material, all professional fees and all other direct costs to be approximately \$ 35,000, and (IV) pursuant to Penal Law 210.4, I acknowledge that my false statement made knowingly is a Class A Misdemeanor.

Signature: _____

Date: 7/21/2020

Sign & Affix Seal



Property Use: (please answer all questions)

Existing use Residential:

☒ Single Family ☐ 2 Family ☐ Other (Please specify) _____

Intended use:

☒ Single Family ☐ 2 Family ☐ Other (Please specify) _____

Existing Use Commercial:

☐ Multi Family (How Many) ____ ☐ Retail ☐ Restaurant ☐ Other (Please specify) _____

Intended Use:

☐ Multi Family (How Many) ____ ☐ Retail ☐ Restaurant ☐ Other (Please specify) _____

Is there an approved site plan for this property? YES.

Is this a new residential house? ☐ Yes ☒ No ☒ Addition ☒ Alteration

Is this a new commercial building? ☐ Yes ☐ No ☐ Addition ☐ Alteration

Municipal sewer? ☒ Yes ☐ No Septic System? ☐ Yes ☒ No (if applicable, attach Health Dept. Approval)

Is this structure within the flood plain? ☐ Yes ☒ No (If yes, please file a Flood Development Permit)

Is this project within any wetlands, buffer or water course? ☐ Yes ☒ No (If ye, file a Wetlands application)

Topography: ☒ Flat ☐ Hilly ☐ Rocky ☐ Steep Incline ☐ Other (please specify) _____

Will the land disturbance affect any steep slopes? ☐ Yes ☒ No (if yes, please file Planning Board application)

How many square feet of land disturbance is there? 121

Contractor: SERGEANT CONTRACTING INC
Address: 63 NORTH CROSS ROAD LACONVILLE N.Y.
Phone #: 914-906-0251 Fax #: NONE 12540
Email address : NONE
Westchester County Home Improvement License #: WC 10567-H00

Architect or Engineer: PETER C. KURTH NYS Lic. #: _____
Address: 45 KENSICO DRIVE MT. KISCO NY 10549
Phone #: (914) 441-2706 Fax #: (914) 666-0664
Email address : KURTHARCHITECT@GMAIL.COM

Electrician: (TO FOLLOW) Phone #: _____ WC Lic. #. _____
Address: _____
Phone #: _____ Email address : _____

Plumber: N/A Phone #: _____ WC Lic. # _____
Address: _____
Phone #: _____ Email address : _____

The undersigned applicant hereby agrees with all applicable provisions of the Code of the Village/Town of Mount Kisco and all other laws, codes, rules and requirements applicable to the proposed construction and that statements contained herein are true to the best of his/her knowledge.

Michelle K. Russo

Applicant's Signature

MICHELLE K. RUSSO

NOTARY PUBLIC-STATE OF NEW YORK

No. 01RU6313298

Qualified in Putnam County

My Commission Expires 10-20-2022

Sworn to before me this

17th

day of

July 2020

Notary Public, Westchester County:

Michelle K. Russo

Affidavit of Owner Authorization:

If the applicant is not the owner in fee of the premises:

The applicant _____ has my consent from to make this application as submitted.

Owner's Name Printed

Owner's Signature

Sworn to before me this _____ day of _____

Notary Public, Westchester County: _____

Name of Project Contact Person: PETER C. KURTH

Daytime Phone #: (914) 441-2700 Fax #: (914) 666-0664

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Received by: _____

- ☐ Application/Permit Fee _____
- ☐ License:
- ☐ Insurance:
- ☐ 3 sets of drawings:
- ☐ Flood Plain Development Application (if required)

Board Approvals:

- ☐ Planning
- ☐ Zoning
- ☐ ARB
- ☐ Other

Reviewed By: _____

Date: _____

Building Inspector Approval: _____

Date approved: _____

Conditions:

Village/Town of Mount Kisco
Zoning Board of Appeals

Date: _____

SEP 29 2020

Case No.: 20-12

Fee: \$130

RECEIVED

Date Filed: _____

Village/Town of Mount Kisco
Municipal Building
104 Main Street, Mt. Kisco, NY 10549

**Zoning Board of Appeals
Application**

Appellant: PAULETTA E. REIS

Address: 31 WEST ST MT. KISCO, NY 10549

Address of subject property (if different): _____

Appellant's relationship to subject property: ☒ Owner _____ Lessee _____ Other _____

Property owner (if different): _____

Address: _____

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken
from the decision of the Building Inspector, PETER J. MILEY.
dated SEPT 8, 2020. Application is hereby made for the following:

☒ Variation or _____ Interpretation of Section 110-11C(1)(f)[1][a]
of the Code of the Village/Town of Mount Kisco,

to permit the: ☒ Erection; _____ Alteration; _____ Conversion; _____ Maintenance
of A NEW FRONT PORCH AND STEPS.

_____ in accordance with plans filed on (date) _____
for Property ID # 80.48-3-35 located in the RT-10 Zoning District.
The subject premises is situated on the EAST side of (street) WEST STREET
_____ in the Village/Town of Mount Kisco, County of Westchester, NY.

Does property face on two different public streets? Yes/No NO
(If on two streets, give both street names) _____

Type of Variance sought: _____ Use ☒ Area

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? YES

Is there an approved site plan for this property? _____ in connection with a
_____ Proposed or _____ Existing building; erected (yr.) _____

Size of Lot: 50' feet wide 150' feet deep Area 7500 SF.

(NEW PORTION) - Size of Building: at street level 11.16'± feet wide 6' feet deep

Height of building: 18.5'± Present use of building: SINGLE FAM. DWELLING

Does this building contain a nonconforming use? NO Please identify and explain: _____

Is this building classified as a non-complying use? NO Please identify and explain: _____

Has any previous application or appeal been filed with this Board for these premises?
Yes/No? NO

Was a variance ever granted for this property? NO If so, please identify and explain: _____

Are there any violations pending against this property? NO If so, please identify and explain: _____

Has a Work Stop Order or Appearance Ticket been served relative to this matter?
_____ Yes or ☒ No Date of Issue: _____

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? NO

I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:

The following items **MUST** be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on 9/7/2020 upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- ~~j)~~ At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- *k) A floor plan of the subject building with all the necessary measurements.
- *l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

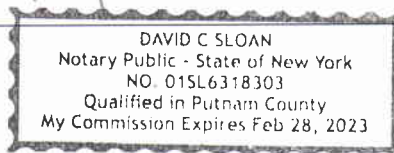
* Optional - As Needed

I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.

Paulotta & Reis
(Appellant to sign here)

Sworn to before me this day of: 28th of September, 2020

Notary Public, D. C. Sloan Westchester, County, NY



[TO BE COMPLETED IF APPELLANT IS NOT THE PROPERTY OWNER IN FEE]

State of New York }
County of Westchester } ss

Being duly sworn, deposes and say that he resides at ~~31 West St, Mt Kisco NY~~ in the County of Westchester, in the State of New York, that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Mount Kisco, County of Westchester aforesaid and known and designated as number _____ and that he hereby authorized _____ to make the annexed application in his behalf and that the statements contained in said application are true.

(sign here)



PCK ARCHITECTURE, AIA

45 Kensico Drive, 2nd Floor
Mount Kisco, New York 10549-1009

(914) 666-0580
Fax: (914) 238-1419

September 27, 2020

Village/ Town of Mount Kisco
Zoning Board of Appeals
104 Main Street
Mount Kisco, NY 10549

Village/ Town of Mount Kisco
Zoning Board of Appeals

SEP 29 2020

RECEIVED

Re: Reis Residence
31 West Street

Statement of Principal Points

1. The proposed front portico and steps, which replace the old ones, will enhance the curb appeal of the house. It will not create an undesirable change or be a detriment to the neighborhood and nearby properties. Instead, it will be an enhancement.
2. No feasible method other than a variance can be achieved, because the new portico replaces the existing non-conforming one.
3. The requested 5.5 foot setback variance and the proposed 24.5 ft front yard setback is not substantial.
4. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
5. The existing portico which is being replaced is already non-conforming in its present form.

Very truly yours,

Peter C. Kurth, RA, AIA
President



PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 20th day of October, 2020 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM pursuant to the Zoning Ordinance on the appeal of

Pauletta E. Reis

31 West Street, Mount Kisco, NY 10549

From the decision of Peter J. Miley, Building Inspector, Dated September 7, 2020 denying the application dated to permit the construction of a front portico and steps.

The property involved is known as 31 West Street, Mount Kisco, NY 10549 and described on the Billage Tax Map as Section 80.48 Block 3 Lot 35 and is located on the east side of West Street in the RT-6 Zoning District. Said appeal is being made to obtain a 5.5 ft variance from Section 110-11 C (1) (f) [1] [a] of the Code of the Village/Town of Mount Kisco, which requires a front yard setback of 30 feet, while 24.5 feet is requested..

Harold Boxer, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco

EXHIBIT A

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 17th day of November, 2020 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM pursuant to the Zoning Ordinance on the appeal of

Pauletta E. Reis

31 West Street, Mount Kisco, NY 10549

From the decision of Peter J. Miley, Building Inspector, Dated September 7, 2020 denying the application dated to permit the construction of a front portico and steps.

The property involved is known as 31 West Street, Mount Kisco, NY 10549 and described on the Billage Tax Map as Section 80.48 Block 3 Lot 35 and is located on the east side of West Street in the RT-6 Zoning District. Said appeal is being made to obtain a 5.5 ft variance from Section 110-11 C (1) (f) [1] [a] of the Code of the Village/Town of Mount Kisco, which requires a front yard setback of 30 feet, while 24.5 feet is requested..

Harold Boxer, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco

OWNERNAME	PROPADDRESS	PROPCITY	ZIP	PROPPRINTKEY	Mailing Address	Po Box	Town	State	Zip
Mareschi, Enrico - Alyson R Mareschi	1 West St	MOUNT KISCO	10549	80.48-2-7.1	37 Bernhard Rd		Walkill	NY	12589
Rene Meija	10 West St	MOUNT KISCO	10549	80.48-3-9	PO Box 866		Mt Kisco	NY	10549
Jeffery Lall	101 West St	MOUNT KISCO	10549	80.40-5-8	101 West St		MOUNT KISCO	NY	10549
Elizabeth Munoz	105 West St	MOUNT KISCO	10549	80.48-2-2	105 West St		MOUNT KISCO	NY	10549
Naranjo Arnoldo	112 Moore Ave	MOUNT KISCO	10549	80.40-5-2	112 Moore Ave		MOUNT KISCO	NY	10549
James Kennedy	112 West St	MOUNT KISCO	10549	80.40-4-8	61 East Way		Mt Kisco	NY	10549
Christine Bennett	115 West St	MOUNT KISCO	10549	80.40-4-5	115 West St		Mt. Kisco	NY	10549
Vito DiMatteo	12 Spring St	MOUNT KISCO	10549	80.49-1-31	12 Spring St		Mt. Kisco	NY	10549
Patricia Gomez	13 Spring St	MOUNT KISCO	10549	80.40-4-1	108 Grove St		Mt. Kisco	NY	10549
Francis McNevis	14 Spring St	MOUNT KISCO	10549	80.48-3-6	14 Spring St		Mt. Kisco	NY	10549
ABLT, LLC c/o Alexandr Vigliotti	40 Spring St	MOUNT KISCO	10549	80.48-3-5	11 Greene Rd	Po Box 64	Schenorock	NY	10587
Spring 18 LLC c/o James Staface	18 Spring St	MOUNT KISCO	10549	80.41-6-9	38 S Broadway		Tarrytown	NY	10591
Donald Rosafort	18 West St	MOUNT KISCO	10549	80.48-2-12	18 West St		Mt. Kisco	NY	10549
Bedford Mgmt Properties LLC	19 Spring St	MOUNT KISCO	10549	80.40-5-4	30 Dwight Ln		Bedford Hills	NY	10507
Angelo Patino	19 West St	MOUNT KISCO	10549	80.40-5-1.1	19 West St		Mt. Kisco	NY	10549
Rosario Valvano	2 West St	MOUNT KISCO	10549	80.40-4-9	4 West		Mt Kisco	NY	10549
Naranjo Lupe	21 West St	MOUNT KISCO	10549	80.40-4-7	21 West St		Mt. Kisco	NY	10549
Paula Jean Roze	23 Spring St	MOUNT KISCO	10549	80.49-1-27	23 Spring St		Mt. Kisco	NY	10549
Carmelo Carrozza	24 Spring St	MOUNT KISCO	10549	80.41-6-10	299 Jay St		Katonah	NY	10536
Frank Luppino	25 West St	MOUNT KISCO	10549	80.40-5-6	PO Box 475		Mt Kisco	NY	10549
John Caracciolo	26 Spring St	MOUNT KISCO	10549	80.48-2-3	26 Spring St		Mt. Kisco	NY	10549
Michael Monaco	27 Spring St	MOUNT KISCO	10549	80.48-3-35	58 Bryam Lake Rd		Mt.Kisco	NY	10549
Lucy Nardelli	28 Spring St	MOUNT KISCO	10549	80.40-4-10	28 Spring St		Mt. Kisco	NY	10549
Luke Ziminsky	28 West St	MOUNT KISCO	10549	80.48-3-7	28 West St		Mt. Kisco	NY	10549
Mt. Kisco Realty LLC	281 Lexington Ave	MOUNT KISCO	10549	80.48-3-2	777 Dowd Ave		Elizabeth	NJ	07201
Spencer Savings Bank c/o Marlene	293 Lexington Ave	MOUNT KISCO	10549	80.40-4-4	611 River Dr		Elmwood Park	NJ	07407
Max Ozkurar	3 West St	MOUNT KISCO	10549	80.49-1-28	3 West St		Mt. Kisco	NY	10549
Anthony Prigitano	30 Spring St	MOUNT KISCO	10549	80.48-2-11	30 Spring St		Mt. Kisco	NY	10549
Rocco Cambareri	301 Lexington Ave	MOUNT KISCO	10549	80.48-2-7.2	RD#2	80 McLain St	Mt. Kisco	NY	10549
Alex Benaissa	30-32 West St	MOUNT KISCO	10549	80.48-2-6	30-32 West St		Mt. Kisco	NY	10549
305 Lexington LLC (attn: MRE Mgmt Corp)	305 Lexington Ave	MOUNT KISCO	10549	80.48-2-5	27 Radio Cir		Mt. Kisco	NY	10549
ABVS Realty Inc	307 Lexington Ave	MOUNT KISCO	10549	80.40-5-3	3 Faraway Rd		Armonk	NY	10504
Albert Di Blasio	31 Spring St	MOUNT KISCO	10549	80.48-3-31	108 Babbitt Rd		Bedford Hills	NY	10507
Paulette Reis	31 West St	MOUNT KISCO	10549	80.48-3-4	31 West St		Mt. Kisco	NY	10549
Joseph Trembone	33 West St	MOUNT KISCO	10549	80.49-1-32	33 West St		Mt. Kisco	NY	10549
Billy Ching	36 West St	MOUNT KISCO	10549	80.48-3-30	36 West St		Mt. Kisco	NY	10549
George Sickles	37 Spring St	MOUNT KISCO	10549	80.48-2-4	PO Box 363		Mt Kisco	NY	10549
Jeffery Rubenstein	37 West St	MOUNT KISCO	10549	80.48-3-33	37 West St		Mt. Kisco	NY	10549
John Rice	39 Spring St	MOUNT KISCO	10549	80.40-4-13	39 Spring St		Mt. Kisco	NY	10549
John Lieto	45 Woodland St	MOUNT KISCO	10549	80.49-1-29	45 Woodland St		Mt. Kisco	NY	10549
Giuseppie Velando	40 West St	MOUNT KISCO	10549	80.41-6-7	40 West St		Mt. Kisco	NY	10549
Paolo Cericola	42 West St	MOUNT KISCO	10549	80.48-3-32	42 West St		Mt. Kisco	NY	10549
Thomas Witmar	43 Spring St	MOUNT KISCO	10549	80.48-3-1	43 Spring St		Mt. Kisco	NY	10549
ABLT LLC	44 Spring St	MOUNT KISCO	10549	80.40-4-11	Po Box 64		Schenorack	NY	10587
Zulay Lopez	45 Spring St	MOUNT KISCO	10549	80.40-4-12	45 Spring St		Mt. Kisco	NY	10549
Derek Rossi	46 Spring St	MOUNT KISCO	10549	80.40-4-2	16 Lee Rd		Somers	NY	10589
Vincent Valvano	47 Spring St	MOUNT KISCO	10549	80.48-3-8	25 Birch Dr		Mt. Kisco	NY	10549
48 Spring St Corp (attn: Pietro Disisto	48 Spring St	MOUNT KISCO	10549	80.40-4-6	21 Deer Creek Ln		Mt. Kisco	NY	10549
Arthur Covey Trust	5 West St	MOUNT KISCO	10549	80.49-1-1	5 West St		Mt. Kisco	NY	10549
Giuseppe Buetti	50 Spring St	MOUNT KISCO	10549	80.48-2-10	1 Stephen Rd		North Salem	NY	10560
Arnolo Naranjo	6 West St	MOUNT KISCO	10549	80.48-3-34	6 West St		Mt. Kisco	NY	10549
David Kimmel	7 Spring St	MOUNT KISCO	10549	80.48-3-3	7 Spring St		Mt. Kisco	NY	10549
JSN of NY Life	7 West St	MOUNT KISCO	10549	80.49-1-30	7 West St		Mt. Kisco	NY	10549
Christophier Woodward	8 Spring St	MOUNT KISCO	10549	80.41-6-8	6 Spring St		Mt. Kisco	NY	10549

Allez & Avery Co / Grubbs
UNIT 96-18 GARDEN AVE/ST 60
Mareschi, Enrico - Alyson R Mareschi
37 Bernhard Rd
Walkill, NY 10549

EXHIBIT 8
Rene Meija
PO Box 866
Mt Kisco, NY 10549

RI
Jeffery Lall
101 West St
MOUNT KISCO, NY 10549

Elizabeth Munoz
105 West St
MOUNT KISCO, NY 10549

Naranjo Arnoldo
112 Moore Ave
MOUNT KISCO, NY 10549

James Kennedy
61 East Way
Mt Kisco, NY 10549

Christine Bennett
115 West St
Mt. Kisco, NY 10549

Vito DiMatteo
12 Spring St
Mt. Kisco, NY 10549

Patricia Gomez
108 Grove St
Mt Kisco, NY 10549

Francis McNevins
14 Spring St
Mt. Kisco, NY 10549

ABLT, LLC c/o Alexandr Vigliotti
11 Greene Rd
Po Box 64
Schenorock, NY 10549

Spring 18 LLC c/o James Staface
38 S Broadway
Tarrytown, NY 10549

Donald Rosafort
18 West St
Mt. Kisco, NY 10549

Bedford Mgmt Properties LLC
30 Dwight Ln
Bedford Hills, NY 10549

Angelo Patino
19 West St
Mt. Kisco, NY 10549

Rosario Valvano
4 West
Mt Kisco, NY 10549

Naranjo Lupe
21 West St
Mt. Kisco, NY 10549

Paula Jean Roze
23 Spring St
Mt. Kisco, NY 10549

Carmelo Carrozza
299 Jay St
Katonah, NY 10549

Frank Luppino
PO Box 475
Mt Kisco, NY 10549

John Caracciolo
26 Spring St
Mt. Kisco, NY 10549

Michael Monaco
58 Bryam Lake Rd
Mt.Kisco, NY 10549

Lucy Nardelli
28 Spring St
Mt. Kisco, NY 10549

Luke Ziminsky
28 West St
Mt. Kisco, NY 10549

Mt. Kisco Realty LLC
777 Dowd Ave
Elizabeth, NJ 10549

Spencer Savings Bank c/o Marlene
611 River Dr
Elmwood Park, NJ 10549

Max Ozkurar
3 West St
Mt. Kisco, NY 10549

Anthony Prigitano
30 Spring St
Mt. Kisco, NY 10549

Rocco Cambareri
RD#2
80 McLain St
Mt. Kisco, NY 10549

Alex Benaissa
30-32 West St
Mt. Kisco, NY 10549

AVERY

5160

305 Lexington LLC (attn: MRE Mgmt
Corp)
27 Radio Cir
Mt. Kisco, NY 10549

Paulette Reis
31 West St
Mt. Kisco, NY 10549

George Sickles
PO Box 363
Mt Kisco, NY 10549

John Lieto
45 Woodland St
Mt. Kisco, NY 10549

Thomas Witmar
43 Spring St
Mt. Kisco, NY 10549

Derek Rossi
16 Lee Rd
Somers, NY 10549

Arthur Covey Trust
5 West St
Mt. Kisco, NY 10549

David Kimmel
7 Spring St
Mt. Kisco, NY 10549

ABVS Realty Inc
3 Faraway Rd
Armonk, NY 10549

Joseph Trembone
33 West St
Mt. Kisco, NY 10549

Jeffery Rubenstein
37 West St
Mt. Kisco, NY 10549

Giuseppie Velando
40 West St
Mt. Kisco, NY 10549

ABLT LLC
Po Box 64
Schenorack, NY 10549

Vincent Valvano
25 Birch Dr
Mt. Kisco, NY 10549

Giuseppe Bueti
1 Stephen Rd
North Salem, NY 10549

JSN of NY Life
7 West St
Mt. Kisco, NY 10549

Albert Di Blasio
108 Babbitt Rd
Bedford Hills, NY 10549

Billy Ching
36 West St
Mt. Kisco, NY 10549

John Rice
39 Spring St
Mt. Kisco, NY 10549

Paolo Cericola
42 West St
Mt. Kisco, NY 10549

Zulay Lopez
45 Spring St
Mt. Kisco, NY 10549

48 Spring St Corp (attn: Pietro Disisto
21 Deer Creek Ln
Mt. Kisco, NY 10549

Arnolo Naranjo
6 West St
Mt. Kisco, NY 10549

Christohpher Woodward
6 Spring St
Mt. Kisco, NY 10549

Tax Parcel Maps

Address: 31 West St

Print Key: 80.48-3-35

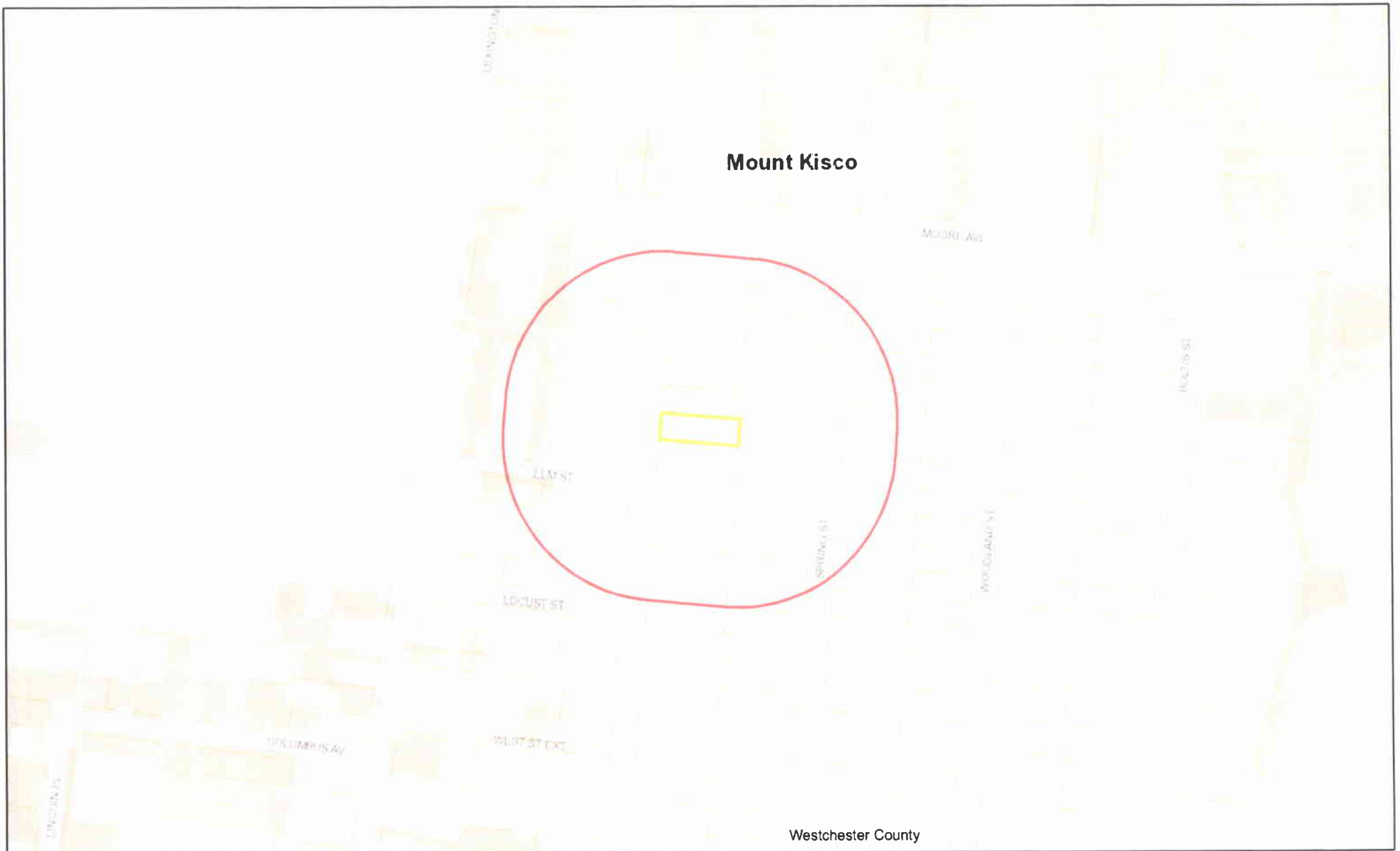
SBL: 08004800030350000000



Disclaimer:

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should **NOT** be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

31 West St. ID: 80.48-3-35 (Mount Kisco)



September 29, 2020

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:3,000



0 145 290 580
ft

Westchester County GIS

GIS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

NOV 02 2020

RECEIVED

AFFIDAVIT OF MAILING

STATE OF NEW YORK

}
}SS.:
}

COUNTY OF WESTCHESTER

Peter C Kurth

being duly sworn, deposes and

says:

I reside at 150 N Bedford Rd #62, CHAPPAQUA NY 10514

On Oct 29 2020 I served a notice of hearing, a copy of which is attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B.

I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.



Sworn to before me on this

30th day of October 2020

(Notary Public)

FRANCISCO ORTEGA
Notary Public - State of New York
No. 01OR6398296
Qualified in Westchester County
My Commission Expires Sep. 23, 2023



**AFFIDAVIT OF PUBLICATION
FROM**

State of Wisconsin
County of Brown, ss.:

On the 31 day of October in the year 2020, before me, the undersigned, a Notary Public in and for said State, personally appeared Kathleen Allen, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed, the instrument.

Kathleen Allen being duly sworn says that he/she is the principal clerk of **THE JOURNAL NEWS**, a newspaper published in the County of Westchester and the State of New York, and the notice of which the annexed is a printed copy, was published in the newspaper area(s) on the date (s) below:

Zone:
Westchester

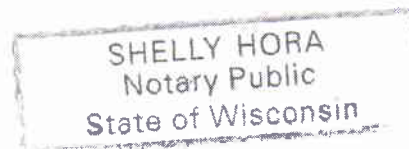
Run Dates:
10/31/2020

Kathleen Allen
Signature

Sworn to before me, this 31 day of October, 2020

Shelly Hora
Notary Public, State of Wisconsin, County of Brown

8-25-23
My commission expires



Legend:

WESTCHESTER:

Amawalk, Ardsley, Ardsley on Hudson, Armonk, Baldwin Place, Bedford, Bedford Hills, Brewster, Briardiff Manor, Bronxville, Buchanan, Carmel, Chappaqua, Cold Spring, Crompond, Cross River, Croton Falls, Croton on Hudson, Dobbs Ferry, Eastchester, Elmsford, Garrison, Goldens Bridge, Granite Springs, Greenburg, Harrison, Hartsdale, Hastings, Hastings on Hudson, Hawthorne, Irvington, Jefferson Valley, Katonah, Lake Peekskill, Larchmont, Lincolnale, Mahopac, Mahopac Falls, Mamaroneck, Millwood, Mohegan Lake, Montrose, Mount Kisco, Mount Vernon, New Rochelle, North Salem, Ossining, Patterson, Peekskill, Pelham, Pleasantville, Port Chester, Pound Ridge, Purchase, Purdys, Putnam Valley, Rye, Scarsdale, Shenorock, Shrub Oak, Somers, South Salem, Tarrytown, Thomwood, Tuckahoe, Valhalla, Verplanck, Waccabuc, White Plains, Yorktown Heights, Yonkers

ROCKLAND:

Blauvelt, Congers, Garnerville, Haverstraw, Hillburn, Monsey, Nanuet, New City, Nyack, Orangeburg, Palisades, Pearl River, Piermont, Pomona, Sloatsburg, Sparkill, Spring Valley, Stony Point, Suffern, Talmann, Tappan, Thiells, Tomkins Cove, Valley Cottage, West Haverstraw, West Nyack

Ad Number: 0004445681

Ad Number: 0004445681

Run Dates: 10/31/2020

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York will hold a Public Hearing on the 17th day of November, 2020 at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM pursuant to the Zoning Ordinance on the appeal of Paoletta E. Reis

31 West Street, Mount Kisco, NY 10549

From the decision of Peter J. Milley, Building Inspector, Dated September 7, 2020 denying the application dated to permit the construction of a front portico and steps.

The property involved is known as 31 West Street, Mount Kisco, NY 10549 and described on the Village Tax Map as Section 80.48 Block 3 Lot 35 and is located on the east side of West Street in the RT-6 Zoning District. Said appeal is being made to obtain a 5.5 ft variance from Section 110-11 C (1) (b) (1) (a) of the Code of the Village/Town of Mount Kisco, which requires a front yard setback of 30 feet, while 24.5 feet is requested.

Harold Boxer, Chair

Zoning Board of Appeals

Village/Town of Mount Kisco 4445681

NOV 10 2020

RECEIVED

State of New York)
) ss:
County of Westchester)

AFFIDAVIT OF POSTING

Gjon Rrotaj, being duly sworn, says that on the 10 day of November 2020, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –
104 Main Street

X

Public Library
100 Main Street

X

Fox Center

X

Justice Court – Green Street
40 Green Street

X

Mt. Kisco Ambulance Corp
310 Lexington Ave

X

Carpenter Avenue Community House
200 Carpenter Avenue

X

Leonard Park Multi Purpose Bldg

X

GJON RROTAJ

Sworn to before me this 10 day of November 2020

Patricia A TIPA
Notary Public

PATRICIA A TIPA
NOTARY PUBLIC-STATE OF NEW YORK
No. 01T16170206
Qualified in Westchester County
My Commission Expires 07-02-2023



493130232DED1

Control Number
493130232

Instrument Type
DED



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)
***** DO NOT REMOVE *****

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT: DED - DEED

FEE PAGES: 4 TOTAL PAGES: 4

RECORDING FEES

STATUTORY CHARGE	\$21.00
RECORDING CHARGE	\$20.00
RECORD MGT. FUND	\$19.00
RP 5217	\$125.00
TP-584	\$5.00
CROSS REFERENCE	\$0.00
MISCELLANEOUS	\$0.00
TOTAL FEES PAID	\$190.00

TRANSFER TAXES

CONSIDERATION	\$400,000.00
TAX PAID	\$1,600.00
TRANSFER TAX #	3430

RECORDING DATE: 11/24/2009
TIME: 14:54:00

MORTGAGE TAXES

MORTGAGE DATE	
MORTGAGE AMOUNT	\$0.00
EXEMPT	
COUNTY TAX	\$0.00
YONKERS TAX	\$0.00
BASIC	\$0.00
ADDITIONAL	\$0.00
MTA	\$0.00
SPECIAL	\$0.00
TOTAL PAID	\$0.00

SERIAL NUMBER:
DWELLING:

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
TOWN OF MT. KISCO

WITNESS MY HAND AND OFFICIAL SEAL

TIMOTHY C. IDONI
WESTCHESTER COUNTY CLERK

Record & Return to:
FRANK E DEESSO ESQ
41 JOSEPH COURT

CARMEL, NY 10512

THIS INDENTURE, made the 2nd day of October in the year 2009

Between

RUTH D. CARACCILO
residing at 31 West Street, Mount Kisco, New York 10549

party of the first part, and

PAULETTA E. REIS
residing at 12 Center Street, Brewster, New York 10509

party of the second part,

WITNESSETH, that the party of the first part, in consideration of TEN dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

All that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Village of Mount Kisco, Town of Mt. Kisco, County of Westchester and State of New York, known and designated as Lot No. 19 in Block or Section D on a certain map entitled, "Subdivision of Property of Josephine H. Moore, Village of Mount Kisco, Town of New Castle, Westchester County, New York" made by Frank G. Fowler, Civil Engineer and Surveyor, June 1907 and filed in the Office of the Clerk of Westchester County, Division of Land Records on January 20, 1908 as Map No. 1772, which said lot, is more particularly bounded and described according to said map as follows:

BEGINNING at a point on the Easterly side of West Street distant 350.95 feet southwesterly as measured along the same from the South Side of Moore Avenue; which said point or place of beginning is also where the dividing line between Lots 19 and 20, Block D, is shown on said Map, intersects the easterly side of West Street and at a pipe;

RUNNING THENCE along the last mentioned dividing line South 82 degrees 35 minutes 30 seconds East 150 feet to a pipe in the ground and Lot #20 on said map;

THENCE RUNNING South 7 degrees 24 minutes 30 seconds West along the Lot #20 on said Map 50 feet;

THENCE RUNNING North 82 degrees 35 minutes 30 seconds West along the dividing line between Lots 17 and 19 in Block D on said map, 150 feet to a pipe and the easterly side of West Street;

THENCE along the easterly side of West Street North 7 degrees 24 minutes 30 seconds East 50 feet to a pipe and the point and place of BEGINNING.

BEING and INTENDED TO BE THE SAME PREMISES DESCRIBED IN DEED TO THE GRANTOR dated 8/19/86 and recorded 8/27/86 in Liber 8536 cp.219.

Premises - 31 West Street Mount Kisco
Sec - 80.45 Bl. 3 Lot 35

The grantor herein is the same person as the grantee in the aforementioned deed.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid. AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.



Thomas Caracciolo, Attorney
in fact for
Ruth D. Caracciolo
RUTH D. CARACCILO
CC-9-8-09 #49236X71

WESTCHESTER COUNTY CLERK RECORDING SHEET

110 Dr. Martin Luther King, Jr. Boulevard White Plains, NY 10601

----- THIS FORM MUST BE COMPLETED AND SUBMITTED WITH EACH DOCUMENT -----

This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this document.
To the best of the submitter's knowledge the information contained on this Recording Sheet is consistent with the information contained in the attached document.

SUBMITTER INFORMATION:

Title Number: ISS3587

Company: ISLAND SETTLEMENT

Address: 647 FRANKLIN AVENUE

City GARDEN CITY State: NY Zip: 11530 Telephone: 516-213-2245

Attention: JENNIFER

Document type: DEED	# of pages - 3	Mortgage Amount On page ____ of document \$ _____ OR Consideration/Conveyance Amt: \$ <u>400,000.00</u>	Dwelling Type: For Mortgage Only On page ____ of document <input type="checkbox"/> 1 to 2 family <input type="checkbox"/> 1 to 6 family <input type="checkbox"/> Not 1 to 6 family
1st party name(s) (i.e. grantor/mortgagor) On page ____ of document <u>RUTH D. CARACCILO</u>	Business Entity <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Check if submitted: <input checked="" type="checkbox"/> RP-5217 - <input checked="" type="checkbox"/> \$75 <input type="checkbox"/> \$165 <input checked="" type="checkbox"/> TP-584 - Type of property conveyed [1 through 8] <u>1</u> <input type="checkbox"/> TP-584.1 <input type="checkbox"/> IT-2663	
2nd party name(s) (i.e. grantee/mortgagee) On page ____ of document <u>PAULETTA E. REIS</u>	Business Entity <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	TAXES PAID: Amount Mortgage Tax \$ _____ Transfer Tax \$ <u>1,600.00</u> Mansion Tax \$ _____ Reference # Or Check # _____ _____ _____	RECORDING FEES PAID: Amount \$ _____ Reference # or Check # _____ _____ _____
Tax designation (Section, Block & Lot) On page ____ of document <u>SEC 80.48 BLK 3 LOT 35</u>	MORTGAGE TAX AFFIDAVITS SUBMITTED: <input type="checkbox"/> 252 <input type="checkbox"/> 255 <input type="checkbox"/> 280 Other: _____ <input type="checkbox"/> 253 <input type="checkbox"/> 260 <input type="checkbox"/> 339-ec _____		
City(ies) or Town(s) for Property Description On page ____ of document <u>NEW CASTLE</u>	Cross Reference(s): On page ____ of document _____ _____ _____		
Property Description -- If required, check the one contained within the document. On page ____ of document <input checked="" type="checkbox"/> Metes & bounds <input type="checkbox"/> Lot number on map filed in the Office of the County Clerk <input type="checkbox"/> Refer to deed recorded in the Office of the County Clerk		Record and Return To: <u>ISLAND SETTLEMENT</u> <u>647 FRANKLIN AVENUE</u> <u>GARDEN CITY NY 11530</u>	

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of Westchester ss:

On the ~~2nd~~ ^{October} day of ~~January~~ in the year 2009, before me, the undersigned, Thomas Caracciolo as POA for Ruth Caracciolo personally appeared, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

LOUIS ROSTEN
NOTARY PUBLIC, State of NY
No. 4834354
Qualified in Westchester County
Commission Expires 5/31/11

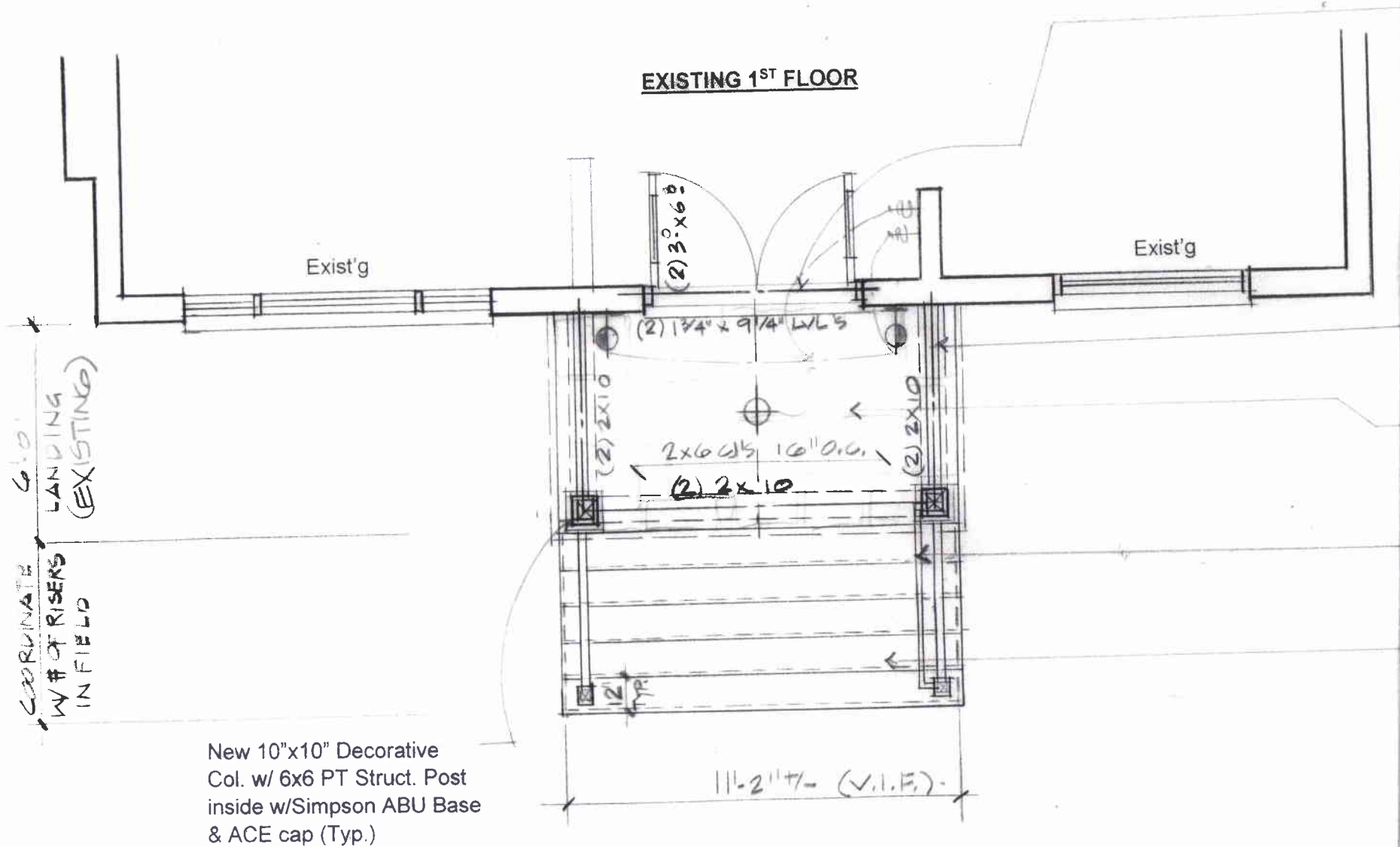
**BARGAIN AND SALE DEED WITH
COVENANT AGAINST GRANTOR'S
ACTS**

Title # ISS3567
Section 80.48
Block 3
Lot(s) 35

County or Town Mt. Kisco

RETURN BY MAIL TO:

Frank E. DeEsso, ESQ.
41 Joseph Court
Carmel, New York 10512



2

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

31 West Street
Existing Condition





1

FRONT ELEVATION - Option #5

Scale: 1/4" = 1'-0"

31 West Street
Proposed

GENERAL CONSTRUCTION SPECIFICATIONS

DIVISION I GENERAL CONDITIONS

1.1 Scope of work:

- a) The Item Contractor shall refer to each Contractor / Sub Contractor performing work on the project.
- b) Provide all labor, materials and equipment required to complete all work shown on drawings and work required for a fully complete job. All materials and workmanship shall be new and of the best quality. The specs below and plans included are set up as general limits and minimum standards for the scope of work in that the form and structural requirements are clearly established.
- c) No work which involves additional cost is to commence without having submitted a written estimate to the Owner and the Architect and having received a written approval to proceed.
- d) The Contractor shall guarantee all work and materials for a period of one year from the accepted completion of the project, against defective materials or workmanship.
- e) Contractor is to carry appropriate insurance, workmen's compensation and liability in the sum prescribed by authorities having jurisdiction over the project.
- f) If the location of the work is in an occupied area that must remain in operation during the progress of the work the Contractor is to provide a minimum of interference with the operation.

- g) The Contractor shall take special precautions, satisfactory to the building owner and the Architect to protect the workmen and the building occupants from hazardous conditions or accidents in connection with the work in progress.
- h) The Contractor shall visit the project site and become thoroughly acquainted with the extent of the existing work. The applicable drawings and specifications are intended to outline the work, but shall be the contractor's responsibility to determine the exact extent of the work by personal field observations. It shall be understood upon submitting a bid that the contractor has visited the site and is thoroughly acquainted with the work required, and his bid shall comply with the intent of the applicable drawings, codes and specifications.

- i) Subcontractor, by submitting his bid, represents that he has visited the project location and agrees with the plans and details as representing the full extent of construction. If the Sub Contractor has found that the plans and details are at variance with what is physically in the field, he shall notify the Architect and Owner before submitting his bid.

- j) A competent person shall be in direct charge and supervision of the work and workmen required to fulfill the work called for on the applicable drawings and specifications, from the beginning to completion and final acceptance of the project.
- k) A copy of the latest set of construction and engineering drawings shall be kept at the job site for review by the Architect. These drawings shall be mounted and updated with any changes made during construction by the contractor and returned to the Architect at the completion of the project.

- l) The Contractor shall not scale the drawings and shall advise the Architect, in writing, of any discrepancies or changes required to conform to site conditions.

- m) All items specified are intended to establish quality of work. Products of other manufacturers equal in design, color and quality may be substituted, if approved by the owner and the Architect in writing prior to purchase, as meeting established design and function criteria.

- n) The Contractor shall include all cutting, drilling, and patching required to permit the installation of his work.

- o) All work shall be performed in a workmanlike manner by skilled workmen in accordance with the best accepted trade, practices, standards, and in accordance with manufacturers' recommendations.

- p) The Contractor shall control cleaning and install temporary protection to prevent dirt or dust from leaving the job site and infiltrating areas not involved in the project.

- q) Any damages to existing partitions, floors, ceiling, finished work, furniture and furnishings, or any part of the building or equipment caused by the work of the contractor or his workmen shall be made good at no additional expense to the owner.

- r) The Contractor shall remove all rubbish and waste material from the job site and sweep it broom clean on a daily basis. Upon completion of the project the contractor shall remove all surplus materials, tools, etc., from the premises and the entire area left in a neat and clean condition throughout.

- 1.2 Code compliance: all work and materials shall conform and comply with all local codes, ordinances and following authorities:

- 1.3 Work in Cold Weather: No work with materials containing water shall be carried on during unreasonably cold weather. Such work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34- degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken.

- a) Water shall be heated and kept warm.
- b) Sand shall be heated and kept warm.
- c) An anti-freeze such as "Eucor" made by Euclid Chemical Co. "Tri-Max" by Sonchem, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer.
- d) Material shall be placed as soon as possible and shall not be permitted to get cold.
- e) No material containing ice or frozen parts shall be used.

- Furthermore, all work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamanders" or other approved methods. Work damaged by cold weather or frost will not be accepted. It shall be the Contractor's responsibility to correct all work damaged by cold weather or frost.

- 1.4 Permits: The contractor is responsible for obtaining any and all permits, pay all fees, prepare and file all necessary forms, for all required approvals and inspections by all agencies having jurisdiction, including the general permit from the local building department. Construction trade shall be responsible for obtaining permits relevant to their respectable trades (i.e., U.I. - electrical permits and inspection; plumbing permits and inspections if applicable). The contractor shall provide the owner with a Certificate of Occupancy upon completion of the job.

DIVISION 2 - SITEWORK, EXCAVATION, AND BACKFILL

- 2.1 General: The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work includes building (foundation) excavation, retaining walls, backfill and rough grading.

- 2.2 Ordinances: All work shall be in conformance with all applicable codes and ordinances and shall be executed in a workmanlike manner.

- 2.3 At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or first floor beams and joists are installed.

- 2.4 Footing Trenches: Excavate for all footings and proper sub-grades. Bottom of all footings shall be level and kept free of standing water at all times.

- 2.5 Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.

- 2.6 Where rock is encountered, the contractor shall notify the Architect immediately. The Contractor shall expose all areas cleanly for inspection. The Architect and his structural consultant will advise the Contractor of the measures for construction.

- 2.7 Backfill is to be comprised of clean earth, free from any wood or debris.

- 2.8 Backfill and sub grades below slabs shall be placed in 6" lifts and to be compacted at every lift. Areas under concrete slabs to be backfilled shall be fully compacted to 95% of proctor density with power tamper. All other backfill to be placed in 12" lifts and compacted at every lift.

- 2.9 Do not backfill against foundation walls until the concrete has achieved design strength and/or until first floor framing is secured.

- 2.10 Terminate and pest control: Upon the discovery of termites, borers, rodents and other pests, the contractor shall notify the Architect and Owner immediately.

DIVISION 3 - CONCRETE

- 3.1 General: Work includes concrete footings, foundation walls, grade beams and piers, slabs on grade and all concrete work indicated on drawings or as hereinafter specified.

3.2 Concrete:

- a) "Ready-Mix" product, proportioned to produce 3,000 psi ultimate strength at 28 days concrete for foundation walls and footings, grade beams and piers, floor slabs, backed at a central plant and transported dry to the site. Water for a four inch (4") slump shall be added at the job site and mixing carried out for fifteen (15) minutes. Concrete for weathered slabs such as garage floors and exterior patios shall be 3,500 psi.

- b) Concrete work shall conform to ACI-318 latest edition.

- c) All footings shall rest on undisturbed soil or rock having a minimum bearing capacity of (2) tons per square foot.

- d) Footings shall not be placed on rock whose surface slopes more than 10 percent.

- e) Bottom of exterior footings to be carried a minimum of 3'-6" below grade.

- f) Steel concrete reinforcing bars: miller steel deformed bars, ASTM A-615 sizes noted on drawings. Welded wire mesh (WWM): Grade 60, ASTM 1-185 sizes on drawings.

- g) Provide bearing plates leveled up with no shrink grout for all beams bearing on concrete masonry. All steel leveling plates to be 1/2" thick size to match base plates.

- 3.3 Slabs on Grade: All floor slabs on grade shall be four inches (4") thick with w6-W 2.0 x W 2.0 WWP reinforcing, 6 mil vapor barrier, 4" or 6" Gravel Base, steel trowel finish.

- Sub-grades shall be maintained eight inches (8") below finish floor. Over entire area of sub-grade, fill with minimum four inches (4") compacted back run gravel and sand topping to eliminate protrusions. Provide a 6 mil polyethylene film vapor barrier over the sand topping with 6" lap at joints.

DIVISION 4 - MASONRY

- 4.1 Brick and concrete masonry wall shall conform to the "recommended practice for engineered brick masonry", latest edition by structural clay products institute, and "specifications for the design and construction of load bearing concrete masonry" by national concrete masonry association.

- a) Concrete block shall be of the following types: ASTM C-90, Grade N-1 ASTM C-145, Grade N-1

- 4.2 Do not backfill against foundation walls until concrete has attained maximum strength. Where backfill is placed against foundation walls before flooring construction is in place, provide temporary bracing.

- 4.3 Material: All mortar shall be ASTM C-270 type S. Brick shall have a minimum strength of 6000 psi. Provide solid blocking at perimeter walls (2 courses in).

DIVISION 5 - METALS

- 5.1 General: Steel construction shall conform to AISC manual of steel construction, latest edition. Contractor to verify all dimensions and heights of steel in field.

- 5.2 Material: All structural steel shall be new, clean, straight and shall conform to ASTM A-36. Columns unless otherwise noted shall be 3" I.D. tube columns with sizes and locations indicated. Furnish Mill Certificates.

- 5.3 Threaded anchor bolts shall be 1/2" x 12" long at 32" o.c. maximum of A36 or A307 steel, placed in all foundation walls, set up high enough to attach the sillplates as indicated on sections and details. See sections for locations of bolts for proper alignment with wood plates.

- 5.4 All structural steel shall be shop painted with gray zinc chromatic primer 2.0 mils thick.

- 5.5 Shop connections shall be welded or bolted unless otherwise noted on the drawings. Field connections may be made with machine bolts, minimum bolt size 1/2" or as noted on the drawings.

- 5.6 Provide holes, coping, etc., required in structural steel members for other trades. They shall be shown on the structural steel shop drawings and they shall be made in the shop. Field burning of holes or cuts in structural steel shall not be permitted except with the specific approval of the Architect.

- 5.7 Note: all steel base plates not indicated on the drawings to be 10"x10" x 5/8". All holes drilled through steel plates shall be 5/8" diameter, unless otherwise noted. All steel column cap plates to be 1/2" thick "U" shape Simpson "two" column cap or approved equal. All steel seats for wood framing to be 3/8" weld.

DIVISION 6 - WOOD

6.1 General:

- a) All framing shall be done in accordance with the latest edition of "national design specifications for stress graded lumber and its fastenings" as published by national lumber manufacturers association.

- b) All workmanship including nailing, blocking, bridging, etc. shall conform to the state of New York Building Codes.

- c) Provide ledgers, blocking, nailers and rough framing hardware as required.

- d) All lumber materials used in the building shall be good, sound, dry material, free from rot, large and loose knots, shakes and other imperfections whereby the strength may be impaired, and the sizes indicated on the drawings.

6.2 Materials

- a) Framing Lumber: All first floor plates shall be construction grade, "S.Y.P." pressure treated. Framing lumber shall equal or exceed the following grades: 2x2 through 2x8 framing 2x10 through 2x12 Floor & Roof #1 Douglas Fir #1 Douglas Fir

- b) All framing shall be done in accordance with the latest edition of "National Design Specification for the Stress Graded Lumber and its Fastenings" as published by the National Lumber Manufacturers Association.

- e) All lumber materials used in the building shall be good, sound, dry material, free from rot, large and loose knots, shakes and other imperfections whereby the strength may be impaired and of sizes indicated on drawings.
- f) All workmanship including milling, blocking, bridging, etc. shall conform to the New York State Building Code.
- g) Provide ledger, blocking, nailers, and rough framing hardware as required.
- h) All new lumber shall be hem-fir or Douglas fir, No. 2 or better, with minimum allowable bending stress for repetitive members of Fb=1,250 PSI and E=1,400,000 PSI.
- i) All lumber shall bear visible grade stamping.
- j) All beams and joists and rafters to be set with natural crown up.
- k) Provide double rafters and headers around all roof skylights unless otherwise noted.

- l) Roof and floor framing shall be in sizes as shown on plans. All partitions to have single shoe and double cap plates. Double studding around all openings, at all corners and property trussed across all openings. Corners for all rooms to be framed solid for interior finish. Wood caps shall be placed between studs in all bearing partitions and those over 8' high nailed to floor joists.

- k) Roof sheathing shall be 5/8" CDX; w/ sheathing 1/2 CDX. Where sheathing is not plywood, diagonal bracing shall be let in at exterior corners.

- l) All sheathing shall have a panel span rating of 32/16. Panel grades shall be APA rated sheathing for walls and roof and APA rated "Sturd-Floor" for sub-floors.

- m) Face grain of plywood to be perpendicular to joists and studding, with suggested joints. Provide clips where necessary.

- n) Wall studs: Shall be 2x6 16" O.C. for exterior walls and 2x4 16 O.C. for interior partitions, or as noted otherwise.

- o) Rafters and floor joists shall be sizes, spans and locations as indicated on framing plans.

- p) All Micro-Lam beams indicated on framing plans shall be manufactured by "Trus Joist MacMillan"; sizes, spans and locations shall be as indicated on framing plans. Installation, nailing and the use of framing connectors shall be in accordance with the manufacturer's recommendations.

- q) All bolts not indicated shall be 1/2" diameter complete with washers and nuts.

- r) Frame with double headers and trimmers around openings larger than spacing of joists or studs.

- s) Provide 4x4 or 6x6 post or (3) 2x4 or 2x6 spiked at bearing points of all double framing members unless otherwise noted (typical).

- t) Provide (3) 2x3 or 2x6 spiked at bearing points of all triple framing members unless otherwise noted.

- u) Provide double joists under all partitions parallel to joists.

- v) Provide 3/4"x3" wood cross-bridging 7'-0" O.C. Maximum for all joists. Bottom ends of bridging shall not be nailed until after subfloors are laid.

- w) Siding shall be as shown on drawings.

- TRJ/LVL Notes:
- x) TJL joists and LVL beams shall be manufactured by Trus Joist Corporation as there is no approved equal. Substitutions may be requested in the form of shop drawings but must be approved by the engineer

- y) All installation procedures must be supplied by the manufacturer or distributor and shall be followed explicitly.
- z) TJL joists and LVL beams shall not be allowed to get wet at any time.
- aa) All handling procedures and installation schedules must be understood prior to ordering joists and beams.
- DIVISION 7 - THERMAL AND MOISTURE PROTECTION
- 7.1 Fiberglass Batt Insulation: Shall be Kraft faced fiberglass and in the following thicknesses:
- a) Exterior walls: R-20
- b) Roof: R-49
- c) Bathroom partitions and floors: fiberglass 2" sound attention batts
- d) Floor over unheated spaces: R-30
- 7.2 Rigid Insulation: Shall be extruded polystyrene board.

- 7.3 Roofing shall be as shown on drawings.

- 7.4 Flashing: All flashing i.e.: drip and rake edges, counter flashing, etc. shall be 16 oz. copper unless noted otherwise. All seams shall be shouldered and shall have a minimum overlap of 6". All flashing along drip and rake edges shall be secured to roof cross framing and shall extend a minimum of 18" under the roof shingles. All exposed drip and rakes shall have a maximum of 1/4" exposure along the fascia.

- 7.5 Sealants: Provide sealant around all doors, windows and other openings for a water-tight condition. Sealant shall be gun grade gum consistency. Color to be approved.

- 7.6 Ridge vents shall be "core vent" corrugated plastic installed in strict accordance with manufacturers directions ready to receive cap shingles to match selected roof.

- 7.7 Provide ice and weather shield at all roof eaves

DIVISION 8 - DOORS AND WINDOWS:

- 8.1 Interior Doors: To be selected by owner.

- 8.2 Hardware shall be approved by the Owner. Installation shall be part of this contract.

- 8.3 Exterior Doors: Shall be in size as indicated on plans.

- 8.4 Windows: Sizes and types as shown on the drawings. All glazing shall be insulated. Units shall be equipped with screens and hardware for locking and operation. Units shall be in sizes, models and manufacturers as indicated on plans. Finish shall be selected and approved by Owner. All windows within 18" of tub and shower or enclosure shall have tempered glass.

- 8.5 All operable windows and exterior doors to be weatherstripped and caulked.

- 8.6 All doors required to be fire-rated shall bear the proper U.L. and BSA labels affixed to the stile on the hinge side of the door.

DIVISION 9 - FINISHES

- 9.1 Gypsum Board: Gypsum board shall be 1/2" gypsum board, tapered edge. Provide waterproof gypsum board behind, any ceramic tile areas, in bathrooms. Use 5/8" type "x" gypsum board on garage ceiling and walls where noted. Provide a (3) coat compound and sand over all gypsum board areas in preparation for paint and/or other finish.

- 9.2 Painting and Staining: To be selected by Owner.

- 9.3 Ceramic Tile: To be selected by owner.

DIVISION 10 - SPECIALTIES - As Required and noted on drawings.

DIVISION 15 - MECHANICAL

- 15.1 All plumbing shall be done in accordance with the State of New York Uniform Fire Prevention and Building Code, local codes having jurisdiction and best practice.

- 15.2 The Contractor shall supply and install the equipment, fixtures and fittings as selected by the Owner and located on the drawings in full conformance with the applicable local plumbing codes. Contractors shall supply Certificates of Inspection and compliance to the Owner upon completion.

- 15.3 Valve all fixtures.

- PIPING GUIDE ONLY (Check all applicable local Codes): Hot and cold supply - Copper Type L or PEX (owner to approve, provide alternate bid)

- Vents - PVC
Waste - Vertical Cast Iron, Horizontal PVC
Soil - PVC
Water service - 1" I.D.
Kitchen and bath risers - 3/4" I.D.
All other risers 1/2" I.D.
Insulate hot and cold water supplies

- 15.4 The Contractor shall supply and install all equipment necessary to provide a complete system. All work shall conform to the applicable local codes.

- 15.5 Heating, domestic hot water and air conditioning equipment shall be sized and installed in accordance with the State of New York Uniform Fire Prevention and Building Code and Energy Conservation Code.

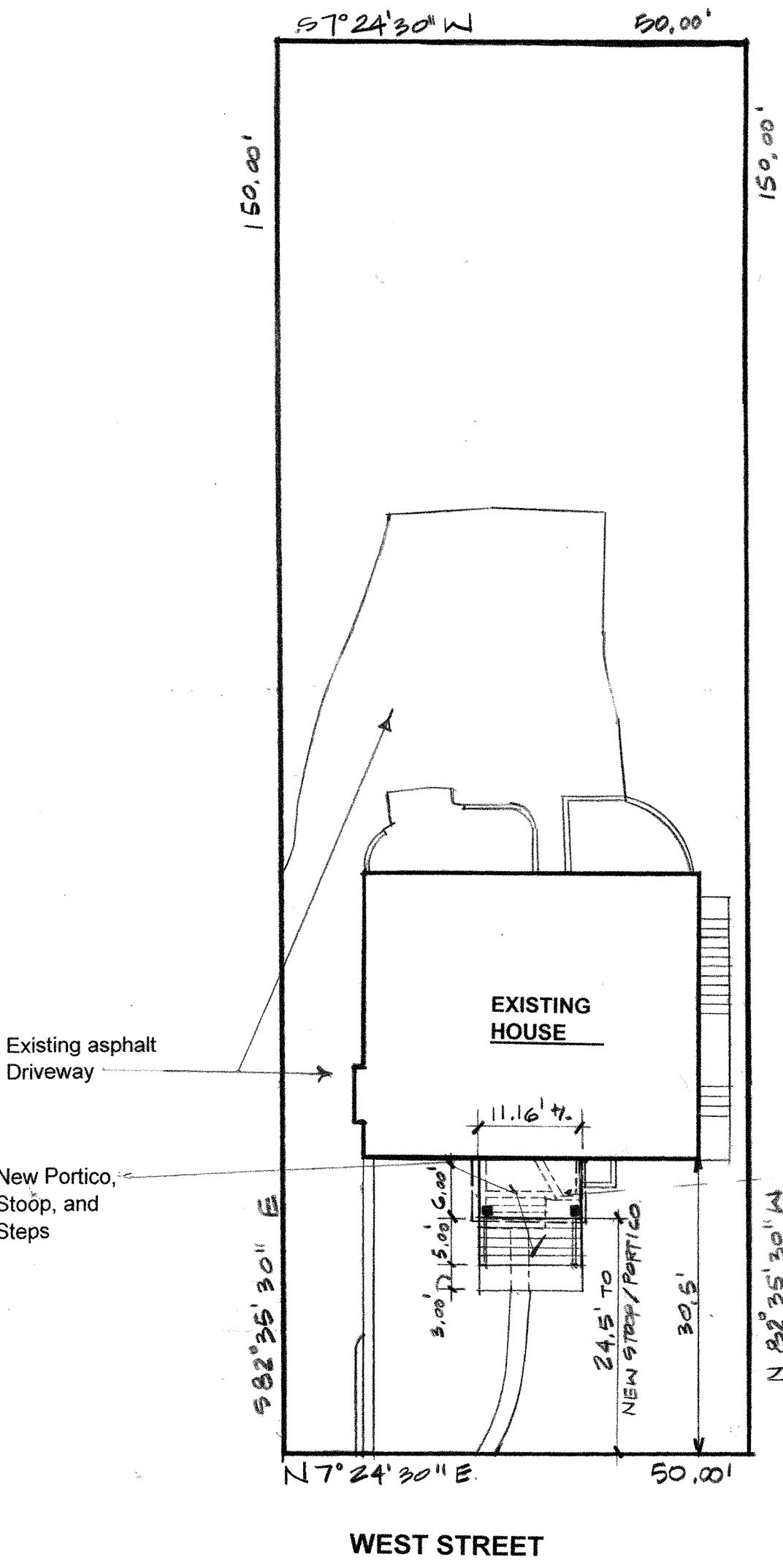
- 15.6 All heating and air conditioning equipment, accessories and appurtenance shall be U.I. Listed and installed in accordance with same. Nationally recognized testing laboratories other than U.I., or nationally recognized trade associations will be accepted in Lieu of U.I.

- 15.7 Metal flues shall be U.I. Listed, triple wall, insulated metal type, installed in accordance with U.I. and/or N.F.P.A. Specifications.

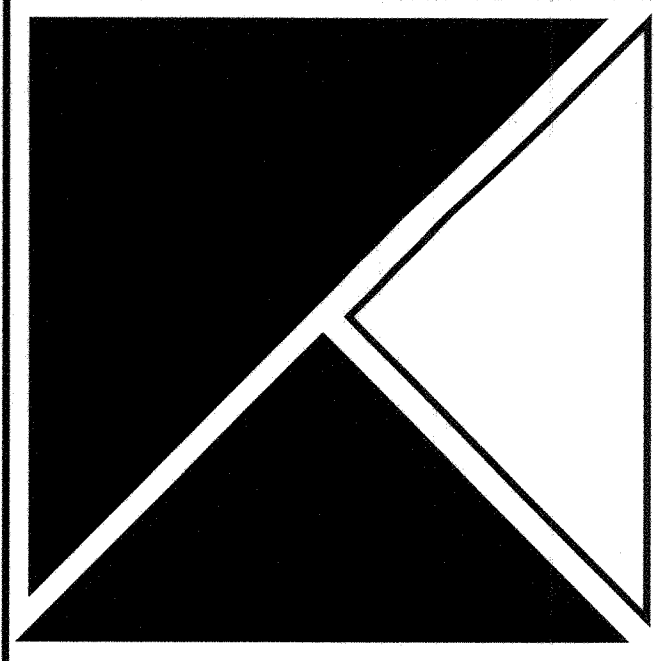
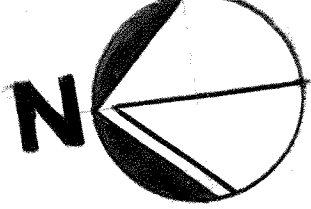
- 15.8 Bathrooms and kitchens shall be evaluated in accordance with the State of New York Uniform Fire Prevention and Building Code.

DIVISION 16 - ELECTRICAL

- 16.1 It is the intention of this specification to require the supply and installation of a complete electrical system as per the New York State Uniform Fire Prevention and Building Code, National Electric Code, and local ordinances. The system and each of its components shall conform to all applicable codes. All equipment and fixtures shall be selected by the Owner. Refer to the drawings for light fixtures being supplied by the Owner. The Contractor shall supply the Owner with Certificates of Inspection and compliance upon completion.



1 SITE PLAN
Note: This Site Plan was drawn from a survey prepared by Baxter Land Surveying, PC
Dated: 08/25/2009



PCK Architecture, PC

45 Kensico Drive, 2nd Floor
Mount Kisco, NY 10549

914-666-0580
Fax: 914-238-1419

REIS

RESIDENCE

31 West Street
MOUNT KISCO, NY

TITLE
SITE PLAN
GENERAL SPECS

© 2020 PCK Architecture PC

PREPARED BY:
P. C. Kurth, RA

REVISIONS
8/14/20 BUCK DEPT COMMENTS

DATE 06/25/2020

SCALE As Noted

JOB NO. 02-04

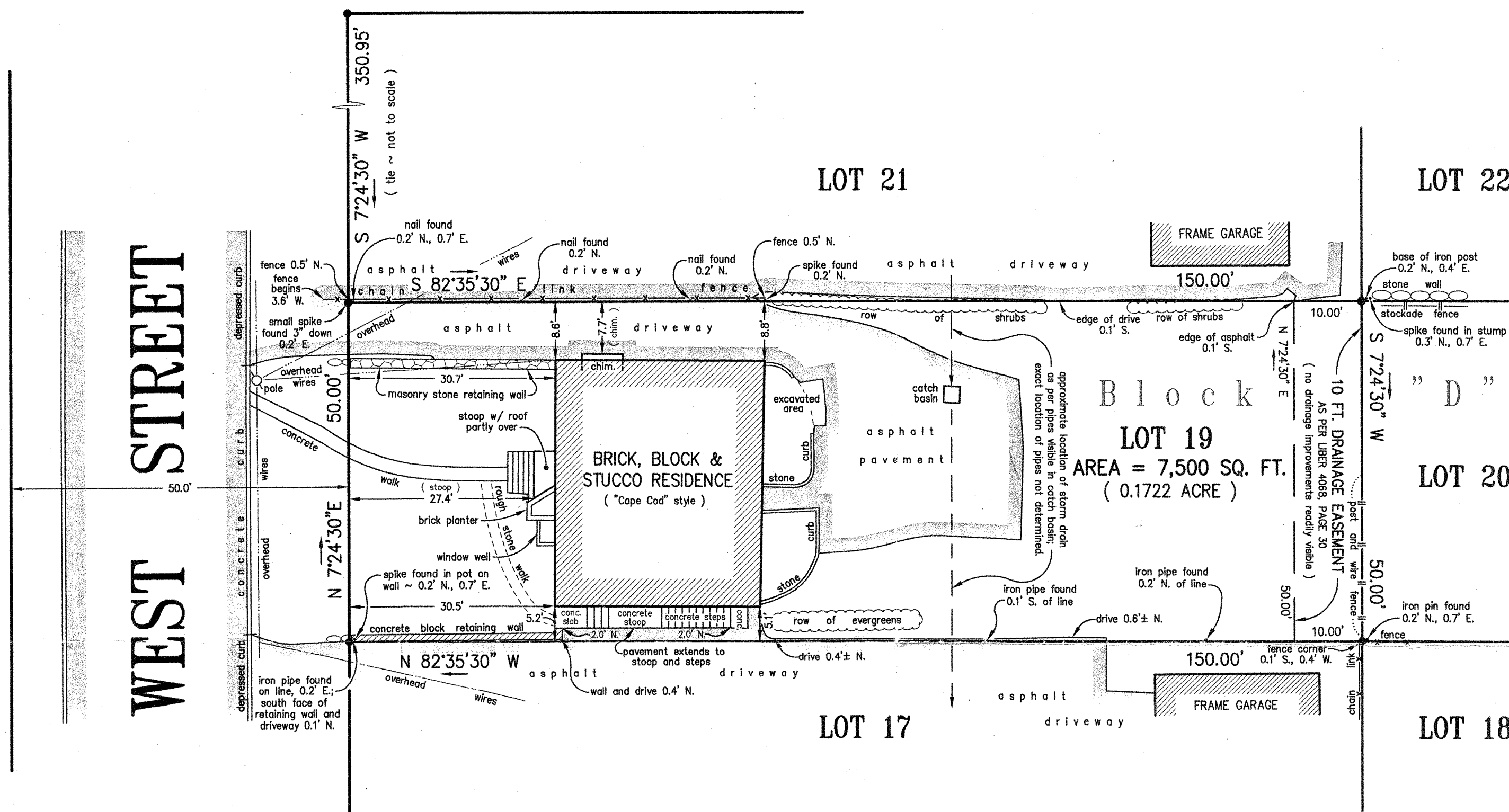
SHEET NO.

A-100

MOORE AVENUE

N.

refers to meridian of Filed Map No. 1772



Certified, as noted and limited below, only to:

- PAULETTA E. REIS
- ISLAND SETTLEMENT SERVICES, LLC
(Title No. ISS3567)
- FIDELITY NATIONAL TITLE INSURANCE COMPANY
- COLDWELL BANKER MORTGAGE, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR


The surveyor's seal, signature and any certification appearing hereon signify that, to the best of his knowledge and belief, this survey was prepared in accordance with the minimum standards for land surveys as set forth in the Code of Practice adopted by the New York State Association of Professional Land Surveyors, Inc.

Certifications shall run only to the person for whom this survey was prepared, and on his behalf, to the title company, lending institution and governmental agency listed hereon; said certifications are not intended to run to additional title companies, lending institutions, subsequent owners or future contract vendees.

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Prepared by:
Baxter Land Surveying, P.C.
P. O. Box 147
Mahopac, New York 10541

Phone: (845) 621-8562


ROBERT E. BAXTER, P.L.S.
N.Y.S. Lic. No. 49434

The premises shown hereon being lands described in Liber 8536, Page 219 of Deeds; identified therein as being lands designated as Lot 19 in Block D as shown on a map entitled "SUBDIVISION OF PROPERTY OF JOSEPHINE H. MOORE," filed in the Westchester County Clerk's Office on January 20, 1908 as Map No. 1772.

Only copies of the original of this survey map marked with both this surveyor's embossed seal and his signature in red ink shall be considered as valid true copies.

Underground improvements, structures, utilities or encroachments, and any easements related thereto, are not shown hereon unless otherwise noted.

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Sub-Division 2 of the New York State Education Law.

Alteration of this map by anyone other the surveyor whose signature and embossed seal appears hereon, including any erasures, notations, additions or changes for building department or "survey inspection/affidavit" purposes, is an unauthorized and unintended use of this surveyor's work. The use of any such altered map, particularly for purposes of obtaining building permits, variances, certificates of occupancy, or for any use related to purchasing property and obtaining title insurance, is at the user's own risk and is not covered under any certification appearing hereon.

SURVEY OF PROPERTY PREPARED FOR **PAULETTA E. REIS** PROPERTY SITUATE IN **VILLAGE OF MOUNT KISCO** **TOWN OF NEW CASTLE** **COUNTY OF WESTCHESTER** **STATE OF NEW YORK**

SCALE: 1" = 15'

DATE: AUGUST 25, 2009

Zoning Board of Appeals 2021 Schedule

*Meetings are held the 3rd Tuesday of Each Month, as Needed
7:00 pm*

Submission deadline is 21 days prior to Meeting Date
Schedule is subject to change without notice

Submission Deadline	Meeting Date
December 29, 2020	January 19, 2021
January 26, 2021	February 16, 2021
February 23, 2021	March 16, 2021
March 30, 2021	April 20, 2021
April 27, 2021	May 18, 2021
May 25, 2021	June 15, 2021
June 29, 2021	July 20, 2021
<i>August - No Meeting</i>	<i>August - No Meeting</i>
August 31, 2021	September 21, 2021
September 28, 2021	October 19, 2021
October 26, 2021	November 16, 2021
November 30, 2021	December 21, 2021
December 28, 2021	January 18, 2022