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White Plains, NY 10601
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- **New York City Office**
99 Madison Avenue
New York, NY 10016
Phone 646.794.5747

October 31, 2023

VIA HAND DELIVERY

Chairman Wayne Spector, and the
Village of Mount Kisco Zoning Board of Appeals
104 Main Street
Mount Kisco, NY 10549



ERIC L. GORDON
Principal Member
Also Admitted in CA

Re: Mr. Fortunato Cambareri
Amended Application to Zoning Board of Appeals
52 West Main Street, Mount Kisco, NY

Dear Chairman Spector and Members of the Zoning Board of Appeals:

Keane & Beane, P.C. represents Mr. Fortunato Cambareri ("Mr. Cambareri"), the owner of property located at 52 Main Street, Mount Kisco, New York (the "Property"). On October 24, 2022, Mr. Cambareri filed an application with the Village of Mount Kisco Zoning Board of Appeals ("ZBA"), appealing a determination made by the Village Building Inspector dated July 6, 2022, as amended on September 8, 2022 (the "Determination"). This letter is written in support of an amended application to the ZBA revising the appeal of the Determination and requesting an interpretation that the existing habitable use of the third floor in the building on the Property has existed since at least 1953, and that the four-family residential use of the building located on the Property should be permitted to continue as a preexisting nonconforming use.

The Property was initially cited on December 15, 2017, for a variety of violations including occupancy of the third floor without a Certificate of Occupancy.¹ Mr. Cambareri has been working diligently to resolve all outstanding violations and currently has an application pending before the Village of Mount Kisco Planning Board seeking to address an alleged parking deficiency with respect to the Property.² The Building Inspector then issued the Determination on July 6, 2022, as amended on September 8, 2022, finding that the "expansion of habitable living space on the third floor is considered an alteration ('altered') and therefore, requires a variance issued by the Planning Board." A copy of the Determination is attached as Exhibit "A".

¹ The Property was never cited for having a four-family residential use in an RT-6 Zoning District.

² I have been advised that the Planning Board application has been approved preliminarily, but cannot receive final approval until the issues before the ZBA are resolved.

Chairman Wayne Spector, and the |
Village of Mount Kisco Zoning Board of Appeals
October 31, 2023
Page 2

On October 24, 2022, Mr. Cambarari filed the original application with the ZBA seeking a variance from Village Zoning Code Section 110-34, to legalize the habitable use of the third floor of the building on the Property. While the original application for a variance was pending, it was determined that the habitable use of the third floor had existed prior to the implementation of zoning restrictions with respect to multi-family residences in the RT-6 Zoning District.³

Mr. Cambarari took ownership of the Property from his parents several years ago and to his knowledge the third floor has been used as part of the two-family units located on the second and third floor since 1953, and prior thereto. The Building Department's file includes a Certificate of Occupancy issued on March 24, 1953, for the Property which at that time was located in a "Business 'A'" Zoning District. A copy of the Certificate of Occupancy issued on March 24, 1953, is attached as Exhibit "B". The Certificate of Occupancy states that it is for a "2 Family Apartment on the 1st Floor" and a "2 Family Apartment on the 2nd Floor". It also states "No occupancy permitted [sic] on 3rd Floor." *See* Exhibit "B".

After consulting with the Village Attorney, it was determined that the New York State Multiple Dwelling Law ("MDL") governing buildings with three (3) or more family residences went into effect on April 6, 1948. Pursuant to MDL § 10, all multiple dwelling buildings were supposed to comply with such law no later than five (5) years after the enactment of the MDL. The MDL requires all third floors in multiple dwelling building to have at least two means of egress, including either a fire escape or direct access to enclosed stair. Therefore, it was determined that the reason that occupancy of the third floor in the building on the Property was not permitted under the Certificate of Occupancy issued on March 24, 1953, was due to the adoption of the MDL which precluded use of the third floor without a fire escape.

Sometime after 1953, the then owner of the Property applied to install a fire escape and was granted Building Permit No. 1859, to install a fire escape.⁴ As a result, it is evident that the habitable use of third floor existed at the time the Certificate of Occupancy was issued on March 24, 1953, and merely required compliance with the MDL to address the limitations included in the Certificate of Occupancy issued on

³ There have been and currently are two residences located on the first floor of the building on the Property and two residences located on the second and third floor of the building, for a total of four residences on the Property.

⁴ To the extent any other improvements are required to comply with the MDL, Mr. Cambarari is prepared to make such improvements, including installation of a sprinkler system.

Chairman Wayne Spector, and the |
Village of Mount Kisco Zoning Board of Appeals
October 31, 2023
Page 3

March 24, 1953. Otherwise, there would not have been any reason for the Village of Mount Kisco to have approved a fire escape providing alternative egress from the third floor. As a result, the habitable use of the third floor in conjunction with the four-family use of the building on the Property is a preexisting nonconforming use that is permitted to continue pursuant to Village Zoning Code § 110-34.

To the extent any ambiguity exists regarding whether the third-floor habitable use and four-family use of the building on the Property should be considered a permitted preexisting nonconforming use that may be continued, such ambiguity must be interpreted in favor of Mr. Camberari as the owner of the Property. "It is well settled that zoning codes, being in derogation of the common law, must be strictly construed against the enacting municipality and in favor of the property owner" in accordance with their ordinary meaning... Ambiguities, if any, are to be resolved in favor of the property owner." *Mamaroneck Beach & Yacht Club, Inc. v. Zoning Bd. of Appeals of Vill. of Mamaroneck*, 862 N.Y.S.2d 81, 85 (2008). As a result, it is respectfully requested that the ZBA issue an interpretation that the Building Inspector's Determination regarding the need for a variance from Village Zoning Code § 110-34, to continue the habitable use of the third floor, should be overturned and a finding issued that the four-family use of the building on the Property, and the associated third floor habitable use, may continue as a preexisting nonconforming use.

I look forward to discussing this matter further at the ZBA meeting on November 21, 2023.

Respectfully submitted,



Eric L. Gordon

ELG/sb

Enclosure

cc: Mr. Nat Camberari
Mr. Roger Van Luden

EXHIBIT A



**Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
Ph. (914) 864-0019-fax (914) 864-1085**

MEMORANDUM

TO: Honorable Chairman Bonforte and Members of the Planning Board

FROM: Peter J. Miley, Building Inspector *PM*

SUBJECT: Fortunato (Nat) Cambareri
52 W Main Street, SBL 69.80-4-2

DATE: July 6, 2022
Amended September 8, 2022

PROPERTY

The property, 52 W. Main St., is a 16,337 sf lot located on the south side of W Main St., just east of Manchester Drive. The property is improved by a 2 ½ story, nonconforming/ noncompliant pre-existing, four-family home that is located in the RT-6 (one- and Two-Family Residence Zoning District). The original building was constructed on or around 1870, prior to adoption of the Village Code. Providing an area for vehicle parking was not required at the time of construction.

PROJECT

The project includes the installation/relocation of six (6) new parking spaces (existing spaces are dimensionally noncompliant) to be located in the rear of the property. Proposed will include the removal of parking in the front and side yard(s), modifying/extending the existing stone retaining wall, and adding an additional retaining wall to be located in the southeast corner of the property. Additionally, the parking area will require the installation/extension of new asphalt located behind the structure.

Proposed includes legalizing the third floor occupancy. **Note*** Certificate of occupancy prohibits occupancy on the 3rd floor.

ZONING

Pursuant to Village/Town of Mount Kisco Code §110-34 Nonconforming uses. A. *Except upon the granting of a variance by the Zoning Board of Appeals, no building containing a*

nonconforming use shall be enlarged, altered, extended, reconstructed or restored or placed on a different portion of the lot or parcel of land occupied by such use on the effective date of this chapter, nor shall any external evidence of such use be increased by any means whatsoever. In the case of any lot containing a nonconforming residential use in a nonresidential district or a nonconforming nonresidential use in a residential district, any proposed new use or increase in the size of said use on any portion of such lot, which new use or increase in the size of said use is not accompanied by the total elimination of the existing nonconforming use, shall be deemed to be an enlargement and extension of an existing nonconforming use.

The expansion of habitable living space on the third floor is considered an alteration ("altered") and therefore, requires a variance issued by the Planning Board.

COMMENTS

Application should provide a landscaping and lighting plan compliant with 110-32C of the Village Zoning Code.

The Building Department defers to the Village Planner for landscaping and lighting.
The Building Department defers to the Village Engineer for retaining walls, driveway, stormwater management, and steep slopes protection.

This review does not include a review for Building Code Compliance.

APPROVALS REQUIRED

1. Site Plan Approval
2. Zoning Board of Appeals
3. Steeps Slope Permit

EXHIBIT B

69,80-4-2

Certificate No. 1019
Issued July 1953

VILLAGE OF MOUNT KISCO
WESTCHESTER COUNTY, N. Y.

Certificate of Occupancy

This is to certify that Jacoby H. Bardi
of 325 East Main St. having filed on March 24, 1953
Application No. 1332 for a Certificate of Occupancy applying to premises located
at 52 West Main Street in a Business "A"
zone as shown on the building zone map, and the application having been approved, authority is hereby given to occupy or use said premises or building or part thereof for the following purposes:

2 Family Apartment on 1st Floor
2 Family Apartment on 2nd Floor

under the following limitations

No occupancy permitted on 3rd Floor

on and after this date until revoked, and subject to all the provisions of

THE BUILDING ZONE ORDINANCE

Mason B. Smith
Building Inspector

RECEIVED

Date: _____

OCT 31 2023

Case No.: 2BA22-14

Fee: _____

Zoning Board of Appeals
Village/Town of Mount Kisco

Date Filed: _____

Village/Town of Mount Kisco
Municipal Building
104 Main Street, Mt. Kisco, NY 10549

**Zoning Board of Appeals
Application**

Appellant: Fortunato Cambareri

Address: 135 Crow Hill Path, Mount Kisco, NY 10549

Address of subject property (if different): 52 West Main St., Mount Kisco, NY 10549

Appellant's relationship to subject property: X Owner _____ Lessee _____ Other _____

Property owner (if different): _____

Address: _____

TO THE CHAIRMAN, ZONING BOARD OF APPEALS: An appeal is hereby taken
from the decision of the Building Inspector, Peter J. Miley
dated July 6, 2022 amended Sept. 8, 2022. Application is hereby made for the following:

_____ Variation or X Interpretation of Section 110-34
of the Code of the Village/Town of Mount Kisco,

to permit the: _____ Erection; _____ Alteration; _____ Conversion; _____ Maintenance
to confirm the prior legal nonconforming use status of the third-floor habitable space in existing
four-family residential dwelling.

_____ in accordance with plans filed on (date) _____
for Property ID # 69.80-4-2 located in the RT-6 Zoning District.

The subject premises is situated on the North side of (street) West Main Street
_____ in the Village/Town of Mount Kisco, County of Westchester, NY.

Does property face on two different public streets? Yes/No NO
(If on two streets, give both street names) _____

Type of Variance sought: _____ Use _____ Area _____ Not Applicable. Seeking Interpretation.

Is the appellant before the Planning Board of the Village of Mount Kisco with regard to this property? YES

Is there an approved site plan for this property? YES in connection with a
 Proposed or X Existing building; erected (yr.) 1908

Size of Lot: 105.35 feet wide 193.33 feet deep Area 0.375 acre or 16,337 Sq. Ft.

Size of Building: at street level feet wide feet deep

Height of building: 30 Feet Present use of building: Residential Four Family

Dwelling

Does this building contain a nonconforming use? Yes Please identify and explain:

The third floor has been used as habitable space since prior to 1953 and entire building has been used as a four-family dwelling and is a preexisting nonconforming use.

Is this building classified as a non-complying use? NO Please identify and explain:

Has any previous application or appeal been filed with this Board for these premises?
Yes/No? YES – prior application to legalize third floor filed on October 24, 2022.

Was a variance ever granted for this property? NO If so, please identify and explain:

Are there any violations pending against this property? YES If so, please identify and explain: Concerning habitable use of third floor and related violations

Has a Work Stop Order or Appearance Ticket been served relative to this matter?
X Yes or No Date of Issue: 12/05/17 violation issued to prior owners Carmelo and Vincenza Camberari

Have you inquired of the Village Clerk whether there is a petition pending to change the subject zoning district or regulations? No

I submit the following attached documents, drawings, photographs and any other items listed as evidence and support and to be part of this application:

The following items **MUST** be submitted:

- a) Attached hereto is a copy of the order or decision (Notice of Denial) issued by the Building Inspector or duly authorized administrative official issued on July 6, 2022 amended Sept. 8, 2022 upon which this application is based.
- b) Copy of notice to the administrative official that I have appealed, setting forth the grounds of appeal and have requested the application to be scheduled for a public hearing.
- c) A typewritten statement of the principal points (facts and circumstances) on which I base my application with a description of the proposed work.
- d) Ten (10) sets of site plans, plat or as-built survey drawings professionally signed and sealed (as may be required).
- e) A block diagram with street names, block and lot numbers, and street frontage showing all property affected within 300' of the subject property, with a North point of the compass indicated.
- f) A full list of names and addresses of the owners of all property shown on the above noted block diagram that lie within or tangent to the 300' radius from the subject property.
- g) A copy of the Public Notice for the public hearing of this application.
- h) A sworn Affidavit of Mailing, duly notarized, that a true copy of said Public Notice has been sent by mail to all property owners within 300 feet of this premises at least 10 days prior to the public hearing.

NOTE: APPLICANT MUST CAUSE A TRUE COPY OF THE PUBLIC NOTICE TO BE PUBLISHED IN THE OFFICIAL NEWSPAPER OF THE VILLAGE AT LEAST 15 DAYS PRIOR TO THE PUBLIC HEARING.

- i) A true copy of the filed deed and/or signed lease or contract for the use of the subject property.
- *j) At least two sets of unmounted photographs, 4" by 6" in size, showing actual conditions on both sides of street, between intersecting streets. Print street names and mark premises in question.
- *k) A floor plan of the subject building with all the necessary measurements.
- *l) A longitudinal section of the subject building and heights marked thereon as well as front elevations.

*** Optional - As Needed**

I hereby depose & say that all the above statements and the statements contained in the papers submitted herewith are true.

[Signature]
(Appellant to sign here)

Sworn to before me ^{30th} this day of: October, 20 23

Notary Public, Westchester, County, NY

ERIC L. GORDON
Notary Public, State of New York
No. 02GO6032250
Qualified in Westchester County
Commission Expires 10/25/2028

[TO BE COMPLETED IF APPELLANT IS NOT THE PROPERTY OWNER IN FEE]

State of New York }
County of Westchester } ss

Being duly sworn, deposes and say that he resides at _____ in the County of Westchester, in the State of New York, that he is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the Village of Mount Kisco, County of Westchester aforesaid and known and designated as number _____ and that he hereby authorized _____ to make the annexed application in his behalf and that the statements contained in said application are true.

(sign here)



Village/Town of Mount Kisco Building Department
104 Main Street
Mount Kisco, New York 10549
Ph. (914) 864-0019-fax (914) 864-1085

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a)

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APPROVALS REQUIRED

1. Site Plan Approval
2. Zoning Board of Appeals
3. Steeps Slope Permit

PM/mkr



OWNERNAME	PROPADDRESS	PROPCITY	PROPCIP	PROPRINTKEY	C/O	Mailing Address	City	State	Zip
Nkoutche Jean Claude	W Main St	MOUNT KISCO	10549	69.72-4-16	Dorian Delgado Michael Tosto	25 Lake Street, Unit 4E	White Plains	NY	10603
Delgado, Dorian R	10 Maple Ave	MOUNT KISCO	10549	69.80-4-7		49 Cunningham Lane	Pawling	NY	12564
Armando Chousa LLC	W Main St	MOUNT KISCO	10549	69.72-4-14	Michael Tosto	POB 85	Yorktown Heights	NY	10598
Yustman Jeffrey	20 Manchester Dr	MOUNT KISCO	10549	69.80-3-3.2					
Warren, John A	11 Manchester Dr	MOUNT KISCO	10549	69.80-4-39					
PAL 46 Maple Ave MtKisco LLC	46 Maple Ave	MOUNT KISCO	10549	69.80-4-16		POB 367	Mt Kisco	NY	10549
Robustelli Robert	59 W Main St	MOUNT KISCO	10549	69.72-4-18		80 Chestnut Ridge Rd	Mt Kisco	NY	10549
Gorin, David	54 Hillside Ave	MOUNT KISCO	10549	69.72-4-3					
Cambareri Fortunato	52 W Main St	MOUNT KISCO	10549	69.80-4-2		135 Crow Hill Path	Mt Kisco	NY	10549
Mohammad, Basheer	W Main St	MOUNT KISCO	10549	69.72-4-15		43-49 W Main St	Mt Kisco	NY	10549
O'Connor Kathryn E	36 Hillside Ave	MOUNT KISCO	10549	69.72-4-6					
Green, Michael	70 W Main St	MOUNT KISCO	10549	69.80-3-3.1					
Pinnetti, Nicola	27 Manchester Dr	MOUNT KISCO	10549	69.80-4-38	Vacant LAND	POB 367	Mt Kisco	NY	10549
PAL 36 Maple Ave MtKisco LLC	36 Maple Ave	MOUNT KISCO	10549	69.80-4-13		106 Maple Avenue	Mt Kisco	NY	10549
Bethel Baptist Church	Maple Ave	MOUNT KISCO	10549	69.80-5-4		10 Pine View Rd	Mt Kisco	NY	10549
Chang, Chenkun	57 W Main St	MOUNT KISCO	10549	69.72-4-17		25 Desert Willow St	Mt Kisco	NY	92606
Daniel S. Henry Sr Livingtrust	40 W Main St	MOUNT KISCO	10549	69.80-4-4					
Henry, Michelle	22 Hillside Ave	MOUNT KISCO	10549	69.72-4-10					
Barry, Michael N	42 Manchester Dr	MOUNT KISCO	10549	69.80-3-6					
Cabrera, Roberto	26 Maple Ave	MOUNT KISCO	10549	69.80-4-11					
Suregreen Properties LLC	1 Manchester Dr	MOUNT KISCO	10549	69.80-4-1					
Malley Scott G	50 Hillside Ave	MOUNT KISCO	10549	69.72-4-4					
People of the State of NY	32 W Main St	MOUNT KISCO	10549	69.80-4-5	Michael Tosto				
Wein Jason	31 Manchester Dr	MOUNT KISCO	10549	69.80-4-36		311 Fernhill Ct	Jonesboro	GA	30236
Williams Aaron James	42 Maple Ave	MOUNT KISCO	10549	69.80-4-14		32 Maple Ave	Mt Kisco	NY	10549
Molina, Gilberto	Maple Ave	MOUNT KISCO	10549	69.80-4-12		POB 85	Yorktown Heights	NY	10598
Armando Chousa LLC	33 W Main St	MOUNT KISCO	10549	69.72-4-13		25 Manchester Dr	Mt Kisco	NY	10549
Pinnetti, Nicholas	Maple Ave	MOUNT KISCO	10549	69.80-5-3		218 St Marks Place	Mt Kisco	NY	10549
Adaken, Dhowgar	23 Maple Ave	MOUNT KISCO	10549	69.80-5-2		36 Hillside Ave	Mt Kisco	NY	10549
O'Connor Kathryn E	Hillside Ave	MOUNT KISCO	10549	69.72-4-7					
Davis-Lorton Bernadette E	90 W Main St	MOUNT KISCO	10549	69.80-3-2					
Armenta, Ellen L	28 Manchester Dr	MOUNT KISCO	10549	69.80-3-4					
Oliverio Michael	81 W Main St	MOUNT KISCO	10549	69.72-4-2	Attn: MRE Mgmt Corp				
PAL 44 Maple Ave MtKisco LLC	44 Maple Ave	MOUNT KISCO	10549	69.80-4-15		POB 367	Mt Kisco	NY	10549
Alvarez, Jose	18 Maple Ave	MOUNT KISCO	10549	69.80-4-9		88 Forest Dr	Mt Kisco	NY	10549
Federico Elaine M	48 W Main St	MOUNT KISCO	10549	69.80-4-3					
O'Connor Kathryn E	Hillside Ave	MOUNT KISCO	10549	69.72-4-5		36 Hillside Ave	Mt Kisco	NY	10549
Delgado, Dorian	14 Maple Ave	MOUNT KISCO	10549	69.80-4-8		49 Cunningham Lane	Pawling	NY	12564
30 West Main St Corp	30 W Main St	MOUNT KISCO	10549	69.80-4-6		27 Radio Circle Dr.	Mt Kisco	NY	10549
McCarthy, Brian J	34 Manchester Dr	MOUNT KISCO	10549	69.80-3-5					
Amdur, Guy D	29 Manchester Dr	MOUNT KISCO	10549	69.80-4-37					
Delgado, Dorian	22 Maple Ave	MOUNT KISCO	10549	69.80-4-10		49 Cunningham Lane	Pawling	NY	12564
People of the State of NY	Maple Ave	MOUNT KISCO	10549	69.80-5-1	Vacant LAND				

McCarthy, Brian J
34 Manchester Dr
MT KISCO, NY10549

PAL 46 Maple Ave MtKisco LLC
MT KISCO, NY10549

PAL 36 Maple Ave MtKisco LLC
MT KISCO, NY10549

Cabrera, Roberto
46 Byram Ridge Rd
ARMONK, NY10504

Cambarerl Fortunato
135 Crow Hill Path
MT KISCO, NY10549

O'Connor Kathryn E
36 Hillside Ave
MT KISCO, NY10549

Henry, Michelle
14 Hillside Ave
MT KISCO, NY10549

Yustman Jeffrey
20 Manchester Dr
MOUNT KISCO, NY10549

Pinnetti, Nicola
27 Manchester Ter
MT KISCO, NY10549

Bethel Baptist Church
37 Maple Ave
MT KISCO, NY

Pinnetti, Nicholas
27 Manchester Dr
MT KISCO, NY10549

Robustelli Robert
80 Chestnut Ridge Rd
MT KISCO, NY10549

Malley Scott G
50 Hillside Ave
MT KISCO, NY10549

Delgado, Dorian R
49 Cunningham Ln
PAWLING, NY12564

30 West Main St Corp
27 Radio Circle Dr
MOUNT KISCO, NY105492615

Armindo Chousa LLC
YORKTOWN, NY10598

Williams Aaron James
311 Fernhill Ct
JONESBORO, GA30236

Gorin, David
54 Hillside Ave
MT KISCO, NY10549

People of the State of NY
148 Martine Ave
WHITE PLAINS, NY10601

Warren, John A
11 Manchester Dr
MT KISCO, NY10549

Amdur, Guy D
29 Manchester Dr
MT KISCO, NY10549

People of the State of NY
148 Martine Ave
WHITE PLAINS, NY10604

Delgado, Dorian
49 Cunningham Ln
PAWLING, NY12564

Armindo Chousa LLC
YORKTOWN, NY10598

Barry, Michael N
42 Manchester
MT KISCO, NY10549

Oliverio Michael
81 W Main St
MT KISCO, NY10549

Alvarez, Jose
88 Forest Dr
MT KISCO, NY10549

Daniel S. Henry Sr Livingtrust
25 Dessert Willow St
IRVINE, CA92606

Wein Jason
31 Manchester
MT KISCO, NY10549

Adaken, Dhowgar
218 St Marks Pl
MT KISCO, NY10549

Chang, Chenkun
10 Pine View Rd
MT KISCO, NY10549

Federico Elaine M
48 W Main St
MT KISCO, NY10549

Mohammad, Basheer
W Main St
MT KISCO, NY10549

O'Connor Kathryn E
36 Hillside Ave
MT KISCO, NY10549

Molina, Gilberto
32 Maple Ave
MT KISCO, NY10549

Suregreen Properties LLC
60 W Main St
MT KISCO, NY10549

Nkoutche Jean Claude
25 Lake St
WHITE PLAINS, NY10603

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36 Hillside Ave
MT KISCO, NY10549

Davis-Lorton Bernadette E
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MT KISCO, NY10549

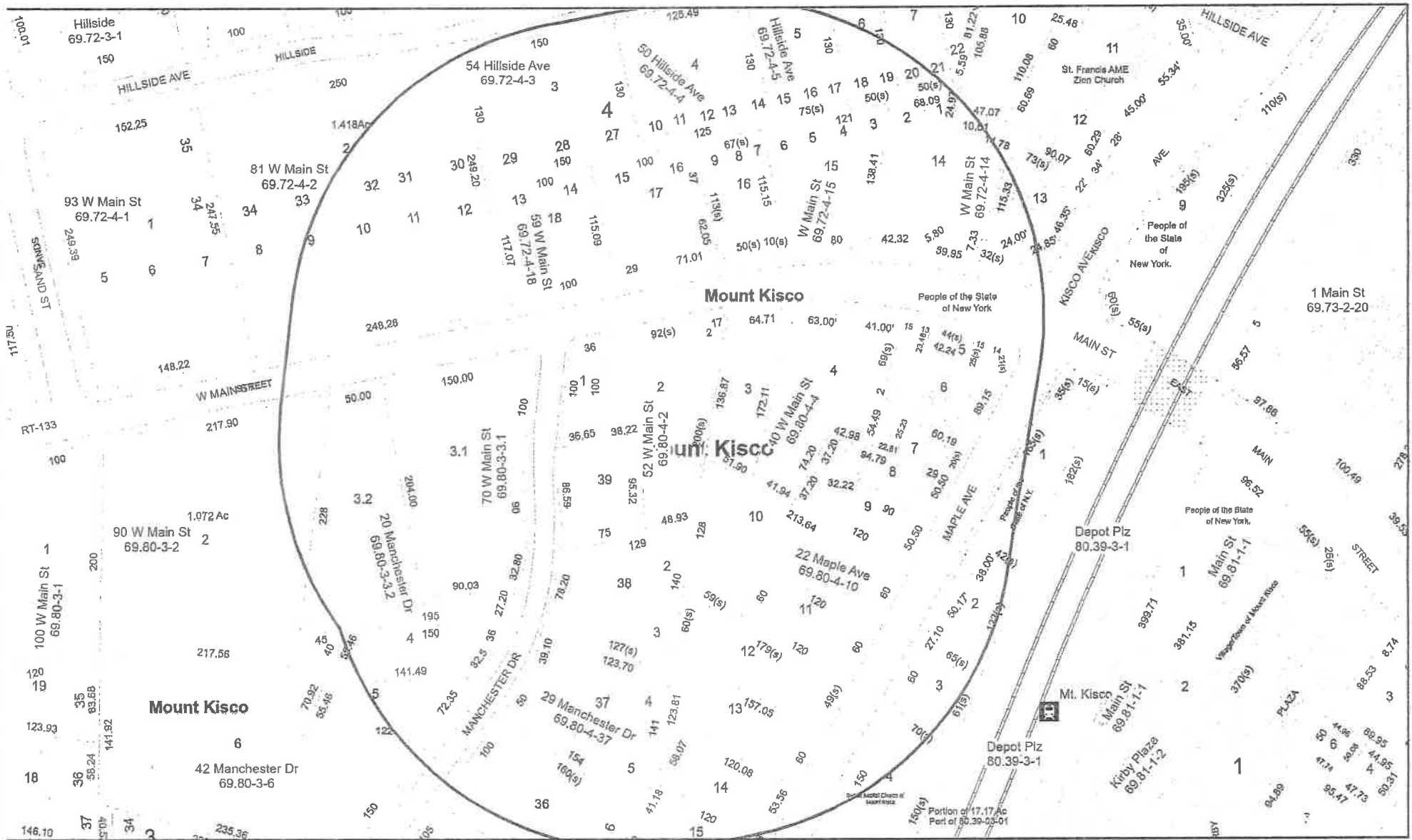
Armenta, Ellen L
28 Manchester Dr
MT KISCO, NY10549

Green, Michael
70 W Main St
MOUNT KISCO, NY10549

PAL 44 Maple Ave MtKisco LLC
MT KISCO, NY10549

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49 Cunningham Ln
PAWLING, NY12564

52 W Main St. ID: 69.80-4-2 (Mount Kisco)



October 30, 2023

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:1,500



0 70 140 280
ft

Westchester County GIS

GIS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

RECEIVED

NOV 13 2023

**Zoning Board of Appeals
Village/Town of Mount Kisco**

Stacie Baumgartner being duly sworn, deposes and says:

I reside at C/O Keane & Beane, P.C., 445 Hamilton Ave. 15th Floor, White Plains NY

On November 9 2023 I served a notice of hearing, a copy of which is attached hereto and labeled Exhibit A, upon persons whose names are listed in a schedule of property owners within 300 feet of the subject property identified in this notice. A copy of this schedule of property owners' names is attached hereto and labeled Exhibit B. I placed a true copy of such notice in a postage paid property addressed wrapper addressed to the addresses set forth in Exhibit B, in a post office or official depository under the exclusive care and custody of the United States Post Office, within the County of Westchester.

Stacie Baumgartner

Sworn to before me on this

9th day of November 2023



(Notary Public)

ERIC L. GORDON
Notary Public, State of New York
No. 02GO6032250
Qualified in Westchester County
Commission Expires 10/25/2025

EXHIBIT A

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York, will hold a Public Hearing on the 21st day of November 2023, at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM, pursuant to the Zoning Ordinance on the Appeal of Applicant, MR. Fortunato Cambareri, with an address at 35 Crow Hill Path, Mount Kisco NY 10549, from the decision of Peter J. Miley, Building Inspector, dated July 8, 2023 as amended Sept. 8, 2022 finding that there was an illegal third floor occupancy on the property known as 52 West Main Street, Mount Kisco, New York, as described on the Village Tax Map as Section 69.80, Block 4, Lot 2, which property is located on the North side of West Main Street in a RT-6 Zoning District.

Said Appeal is being made to obtain an interpretation from Section(s) 110-34 of the Zoning Code of the Village/Town of Mount Kisco, to request a determination that the habitable third floor and four-family use on the Property constitutes a preexisting nonconforming use.

Wayne Spector, Chair
Zoning Board of Appeals
Village/Town of Mount Kisco

EXHIBIT B

Jean Claude Nkoutche
25 Lake Street, Unit 4E
White Plains, NY 10603

Jeffrey Yustman
20 Manchester Drive
Mount Kisco, NY 10549

Robert Robustelli
80 Chestnut Ridge
Mount Kisco, NY 10549

Basheer Mohammad
43-49 W. Main Street
Mount Kisco, NY 10549

Nicolas Pinnetti
27 Manchester Drive
Mount Kisco, NY 10549

Chenkun Chang
10 Pine View Road
Mount Kisco, NY 10549

Michael N. Barry
42 Manchester Drive
Mount Kisco, NY 10549

Scott G. Malley
50 Hillside Avenue
Mount Kisco, NY 10549

Aaron James Williams
311 Fernhill Court
Jonesboro, GA 30236

Dorian R. Delgado
49 Cunningham Lane
Pawling, NY 12564

John A. Warren
11 Manchester Drive
Mount Kisco, NY 10549

David Gorin
54 Hillside Avenue
Mount Kisco, NY 10549

Kathryn E. O'Connor
36 Hillside Avenue
Mount Kisco, NY 10549

PAL 36 Maple Avenue Mt.
Kisco LLC
P.O. Box 367
Mount Kisco, NY 10549

Daniel S. Henry Sr. Living
Trust
25 Desert Willow Street
Mount Kisco, NY 10549

Roberto Cabrera
46 Byram Ridge Road
Armonk, NY 10504

People of the State of NY
c/o Dir. Real Estate, West Co.
53, 148 Martine Ave, 9th floor
White Plains, NY 10604

Gilberto Molina
32 Maple Avenue
Mount Kisco, NY 10549

Armindo Chousa LLC
P.O. Box 85
Yorktown Heights, NY 10598

PAL 46 Maple Avenue Mt.
Kisco LLC
P.O. Box 367
Mount Kisco, NY 10549

Fortunato Cambareri
135 Crow Hill Path
Mount Kisco, NY 10549

Michael Green
70 W. Main Street
Mount Kisco, NY 10549

Bethel Baptist Church
37 Maple Avenue
Mount Kisco, NY 10549

Michelle Henry
14 Hillside Avenue
Mount Kisco, NY 10549

Suregreen Properties LLC
60 W. Main Street
Mount Kisco, NY 10549

Jason Wein
31 Manchester Drive
Mount Kisco, NY 10549

Armindo Chousa LLC
P.O. Box 85
Yorktown Heights, NY 10598

Nicholas Pinnetti
27 Manchester Drive
Mount Kisco, NY 10549

Dhowgar Adaken
218 St. Marks Place
Mount Kisco, NY 10549

Kathryn E. O'Connor
36 Hillside Avenue
Mount Kisco, NY 10549

Bernadette E. Davis-Lorton
90 W. Main Street
Mount Kisco, NY 10549

Ellen L. Armenta
28 Manchester Drive
Mount Kisco, NY 10549

Michael Oliverio
81 W. Main Street
Mount Kisco, NY 10549

PAL 44 Maple Avenue Mt.
Kisco LLC
P.O. Box 367
Mount Kisco, NY 10549

Jose Alvarez
88 Forest Drive
Mount Kisco, NY 10549

Elaine M. Federico
48 W. Main Street
Mount Kisco, NY 10549

Kathryn E. O'Connor
36 Hillside Avenue
Mount Kisco, NY 10549

Dorian Delgado
P.O. Box 133
Brewster, NY 10509

30 West Main Street Corp.
27 Radio Circle Drive
Mount Kisco, NY 10549

Sean J. McCarthy
34 Manchester Drive
Mount Kisco, NY 10549

Guy D. Amdur
29 Manchester Drive
Mount Kisco, NY 10549

Dorian Delgado
P.O. Box 133
Brewster, NY 10509

People of the State of NY
c/o Dir. Real Estate, West Co.
53, 148 Martine Ave, 9th floor
White Plains, NY 10604

9484647, 1119324

AFFIDAVIT OF PUBLICATION

State of Wisconsin
County of Brown

Linda Tuttle being duly sworn, deposes and says she is the Principal Clerk of The Journal News
Division of Gannett Newspaper Subsidiary, publishers of following newspaper published in Westchester and Rockland
Counties, State of New York, of which annexed is a printed copy, out from said newspaper has been published in said
newspaper editions dated:

11/06/2023

Linda Tuttle

Subscribed and sworn to before me this 06 day of November, 2023

Kathleen Allen
EXP 1-7-25

Notary Public
State of Wisconsin, County of Brown

KATHLEEN ALLEN
Notary Public
State of Wisconsin

RECEIVED

NOV 14 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

PUBLIC NOTICE

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the Village/Town of Mount Kisco, New York, will hold a Public Hearing on the 21st day of November 2023, at the Municipal Building, Mount Kisco, New York, beginning at 7:00 PM, pursuant to the Zoning Ordinance on the Appeal of Applicant, Iv1R. Fortunato Cambarelli, with an address at 35 Crow Hill Path, Mount Kisco NY 10549, from the decision of Peter J. Miley, Building Inspector, dated July 8, 2023 as amended Sept. 8, 2022 finding that there was an illegal third floor occupancy on the property known as 52 West Main Street, Mount Kisco, New York, as described on the Village Tax Map as Section 69.80, Block 4, Lot 2, which property is located on the North side of West Main Street in a RT-6 Zoning District.

Said Appeal is being made to obtain an Interpretation from Section(s) 110-34 of the Zoning Code of the Village/Town of Mount Kisco, to request a determination that the habitable third floor and four-family use on the Property constitutes a preexisting nonconforming use.

Wayne Spector, Chair
Zoning Board of Appeals
9484647 Village/Town
of Mount Kisco

State of New York)
) ss:
County of Westchester)

AFFIDAVIT OF POSTING

RECEIVED

NOV 14 2023

Zoning Board of Appeals
Village/Town of Mount Kisco

Gilmar Palacios Chin, being duly sworn, says that on the 14th day of November 2023, he conspicuously fastened up and posted in seven public places, in the Village/Town of Mount Kisco, County of Westchester, a printed notice of which the annexed is a true copy, to Wit: ---

Municipal Building –
104 Main Street

X

Public Library
100 Main Street

X

Fox Center

X

Justice Court – Green Street
40 Green Street

X

Mt. Kisco Ambulance Corp
310 Lexington Ave

X

Carpenter Avenue Community House
200 Carpenter Avenue

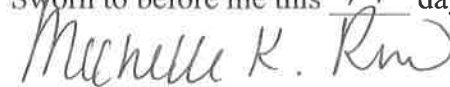
X

Leonard Park Multi Purpose Bldg

X


Gilmar Palacios Chin

Sworn to before me this 14th day of November 2023


Notary Public

MICHELLE K. RUSSO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01RU6313298
Qualified in Putnam County
My Commission Expires 10-20-2026

①

BARGAIN AND SALE DEED (with covenants against Grantor's acts)

THIS INDENTURE is made as of the 20th day of February, 2018, between **CARMELO CAMBARERI and VINCENZA CAMBARERI, HUSBAND AND WIFE**, residing at 80 McLain Street, Mount Kisco, New York (hereinafter collectively called the "Grantor") and **FORTUNATO CAMBARERI, an Individual** residing at 135 Crow Hill Path, Mount Kisco, New York (hereinafter called the "Grantee").

WITNESSETH: that the Grantor, in consideration of Ten Dollars (\$10.00) lawful money of the United States and other good and valuable consideration paid by the Grantee, the receipt and sufficiency of which is hereby acknowledged by the Grantor, does hereby remise and release unto the Grantee, and its successors and assigns forever,

ALL that certain plot, piece or parcel of land, together with the buildings and improvements thereon erected, situate, lying and being in the Town and Village of Mount Kisco, County of Westchester and State of New York, as more fully described on Schedule "A" annexed hereto and made a part hereof,

This conveyance is not subject to a credit line mortgage.

THE PREMISES conveyed herein is the same premises as was conveyed to the Grantor by deed in Liber 7091 page 33.

TOGETHER with all right, title and interest, if any, of Grantor in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of Grantor in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto Grantee, the heirs or successors and assigns of Grantee forever.

AND the Grantor covenants that the Grantor has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND Grantor, in compliance with Section 13 of the Lien Law, covenants that Grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement before using any part of the total of the same for any other purpose.

The words "Grantor" and "Grantee" shall be construed as if it read "Grantors" and "Grantees" whenever the sense of this indenture so requires.

129678

THE JUDICIAL TITLE INSURANCE AGENCY LLC
800 WESTCHESTER AVENUE SUITE S-340
RYE BROOK, NY 10573
914-381-6700

IN WITNESS WHEREOF, Grantor has duly executed this deed as of the date first above written.

Carmelo Cambareri
CARMELO CAMBARERI

Vincenza Cambareri
VINCENZA CAMBARERI

STATE OF NEW YORK)
) ss.
COUNTY OF WESTCHESTER)

On the 20 day of February in the year 2018 before me, the undersigned, personally appeared Carmelo Cambareri and Vincenza Cambareri personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Adam MacPherson
Notary Public - State of New York

Adam MacPherson
Notary Public, State of New York
No. 011MA072441
Qualified in Westchester County
Commission Expires May 27, 2018

Ref
THE JUDICIAL TITLE INSURANCE AGENCY LLC
800 WESTCHESTER AVENUE SUITE S-340
RYE BROOK, NY 10573
914-381-6700



800 Westchester Avenue • Suite 5340 • Rye Brook, NY 10573 • T (914) 331-6700 • F (914) 331-3131
275 Madison Avenue • Suite 026 • New York, NY 10016 • T (212) 432-3272 • F (800) 329-0396
30 West Main Street • Suite 307 • Riverhead, NY 11901 • T (631) 395-0530 • F (631) 405-3155

Title Number: 129678FA-W

SCHEDULE A

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town and Village of Mount Kisco, County of Westchester and State of New York, known and designated as a portion of Lot No. 1 on a certain map entitled, "Map of Manchester Terrace", made by Frank G. Fowler, dated April, 1901 and filed in the Westchester County Clerk's Office, Division of Land Records, on June 28, 1901, as Map No. 1207, said parcel being more particularly bounded and described as follows:

BEGINNING at a point on the southerly side of West Main Street, on the division line between the premises herein described and lands now or formerly of Vincent Federico;

RUNNING THENCE along said division line, the following courses and distances:

South 17 degrees 38 minutes 20 seconds west, 53.69 feet;

South 16 degrees 50 minutes 20 seconds west, 50.16 feet;

South 14 degrees 34 minutes 40 seconds west, 14.90 feet;

South 21 degrees 22 minutes 40 seconds west, 14.00 feet and south 21 degrees 37 minutes 50 seconds west, 68.83 feet to a point on the division line between the premises herein and Lot No. 2 on the aforementioned map;

RUNNING THENCE along said division line, south 88 degrees 41 minutes 00 seconds west, 48.93 feet; and

RUNNING THENCE through Lot No. 1, as shown on the aforementioned map, north 07 degrees 27 minutes 10 seconds east, 95.32 feet, south 89 degrees 44 minutes 00 seconds west, 38.22 feet and north 16 degrees 31 minutes 50 seconds east, 100.00 feet to a point on the southerly side of West Main Street;

RUNNING THENCE along said street, north 89 degrees 12 minutes 20 seconds east, 111.35 feet to the point and place of BEGINNING.

FOR CONVEYANCING ONLY

The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property, TOGETHER with all the right, title and interest of the party in the first part, or, in and to the land lying in the street in front of and adjoining said premises.



Office of the Westchester County Clerk



573423143RPD002W

Supporting Document Cover Page

Submitter Information

Name:	Judicial Title Insurance- PICK UP	Phone:	914-381-6700
Address 1:	600 Westchester Avenue	Fax:	914-381-6785
Address 2:		Email:	JTrecording@judicialtitle.com
City/State/Zip	Rye Brook NY 10573	Reference for Submitter:	129678 A RF EF

Parent Document Details

Control Number:	573423134	Document Type:	Deed (DED)
Package ID:	2017120800091001001		

Supporting Document Information

Supporting Document Type: RP-5217

Recording Information

Recording Date:	2/26/2018 11:13:00 AM	SWIS Code:	MTK 555600
Book:	57342		
Page:	03143		

FOR COUNTY USE ONLY

C1. SWIS Code 5 5 5 0 0

C2. Date Deed Recorded 02 / 28 / 2018

C3. Book 5 7 3 4 2 C4. Page 0 3 1 3 4

by us or PHONE (518) 473-9791



New York State Department of
Taxation and Finance
Office of Real Property Tax Services
RP-5217
Real Property Transfer Report (R/18)

PROPERTY INFORMATION

PREP

1. Property Location B2 WMAIN ST
STREET NUMBER STREET NAME
BEDFORD 10549
CITY OR TOWN ZIP CODE

2. Buyer Name CAMBARERI FORTUNATO
LAST NAME/COMPANY FIRST NAME
CAMBARERI FORTUNATO
LAST NAME/COMPANY FIRST NAME

3. Tax Billing Address Indicate where Future Tax Bills are to be sent
If other than buyer address (at bottom of form) LAST NAME/COMPANY FIRST NAME
STREET NUMBER AND NAME CITY OR TOWN STATE ZIP CODE

4. Indicate the number of Assessment Roll parcels transferred on the deed 1 # of Parcel OR 0 00 Part of a Parcel (Only if Part of a Parcel) Check as they apply:
 4A. Planning Board with Subdivision Authority Exists ☐
 4B. Subdivision Approval was Required for Transfer ☐
 4C. Parcel Approved for Subdivision with Map Provided ☐

5. Deed Property Class 111.00 X 100.00 OR 0 00
PARCEL POST DEED ACRES

6. Seller Name CAMBARERI CARMELO
LAST NAME/COMPANY FIRST NAME
CAMBARERI VINCENZA
LAST NAME/COMPANY FIRST NAME

7. Select the description which most accurately describes the use of the property at the time of sale:
 G. Apartment ☐
 Check the boxes below as they apply:
 8. Ownership Type is Condominium ☐
 9. New Construction on a Vacant Land ☐
 10A. Property Located within an Agricultural District ☐
 10B. Buyer received a disclosure notice indicating that the property is in an Agricultural District ☐

SALE INFORMATION

11. Sale Contract Date 12/22/2017
 12. Date of Sale/Transfer 2/20/2018
 13. Full Sale Price 550,000.00
(Full Sale Price is the total amount paid for the property including personal property. The payment may be in the form of cash, other property or goods, or the assumption of mortgage or other obligations.) Please round to the nearest whole dollar amount.

14. Check one or more of these conditions as applicable to transfer:
☒ A. Sale Between Related Parties or Former Partners
☐ B. Sale Between Related Companies or Partners in Business
☐ C. One of the Buyers is also a Seller
☐ D. Buyer or Seller is Government Agency or Lending Institution
☐ E. Deed Type not Warranty or Bargain and Sale (Specify Below)
☐ F. Sale of Fractional or Less than Fee Interest (Specify Below)
☐ G. Significant Change in Property Between Taxable Status and Sale Date
☐ H. Sale of Business is Included in Sale Price
☐ I. Other Unusual Factors Affecting Sale Price (Specify Below)
☐ J. None
 Comment(s) on Condition:

14. Indicate the value of personal property included in the sale 0.00

ASSESSMENT INFORMATION - Data should reflect the latest Final Assessment Roll and Tax Bill

16. Year of Assessment Roll from which information taken (YY) 17 17. Total Assessed Value 114,000.00

18. Property Class 411 19. School District Name Bedford

20. Tax Map Identifier(s) (If more than four, attach sheet with additional identifier(s))
89.80-4-2

CERTIFICATION

I Certify that all of the items of information entered on this form are true and correct (to the best of my knowledge and belief) and I understand it is the making of any untrue false statement of material fact hereby subject me to the provisions of the penal law relative to the making and filing of false instruments.

Carmelo Cambareri
 SELLER SIGNATURE

Vincenzo Cambareri 2-20-18
 SELLER SIGNATURE DATE

[Signature] 2-20-18
 BUYER SIGNATURE DATE

BUYER CONTACT INFORMATION

(3) If the buyer is a buyer, then the buyer is LLC, jointly owned, corporation, joint bank, company, estate or other entity that is not an individual agent of the buyer. If the name and contact information of a person responsible for the sale of the property is not provided, the buyer must be served. Type or print clearly.

LAST NAME WISCONSIN FIRST NAME 752 S.
 AREA CODE 914 TELEPHONE NUMBER (6 or 7 digits) 681-0240
 STREET NUMBER 914 STREET NAME 681-0240
 CITY OR TOWN 914 STATE 681-0240 ZIP CODE 681-0240

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document



573423134DED003W

Westchester County Recording & Endorsement Page

Submitter Information

Name: Judicial Title Insurance- PICK UP Phone: 914-381-6700
Address 1: 800 Westchester Avenue Fax: 914-381-6785
Address 2: Email: JTrecording@judicialtitle.com
City/State/Zip: Rye Brook NY 10573 Reference for Submitter: 129678 A RF EF

Document Details

Control Number: 573423134 Document Type: Deed (DED)
Package ID: 2017120800091001001 Document Page Count: 3 Total Page Count: 4

Parties

☐ Additional Parties on Continuation page

1st PARTY 2nd PARTY
1: CAMBARERI CARMELO - Individual 1: CAMBARERI FORTUNATO - Individual
2: CAMBARERI VINCENZA - Individual 2:

Property

☐ Additional Properties on Continuation page

Street Address: 52 W MAIN ST Tax Designation: 69.80-4-2
City/Town: MOUNT KISCO Village:

Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee: \$40.00
Page Fee: \$20.00
Cross-Reference Fee: \$0.00
Mortgage Affidavit Filing Fee: \$0.00
RP-5217 Filing Fee: \$250.00
TP-584 Filing Fee: \$5.00
Total Recording Fees Paid: \$315.00

Transfer Taxes

Consideration: \$550,000.00
Transfer Tax: \$2,200.00
Mansion Tax: \$0.00
Transfer Tax Number: 9788

Mortgage Taxes

Document Date:
Mortgage Amount:
Basic: \$0.00
Westchester: \$0.00
Additional: \$0.00
MTA: \$0.00
Special: \$0.00
Yonkers: \$0.00
Total Mortgage Tax: \$0.00
Dwelling Type: Exempt: ☐
Serial #:



RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK

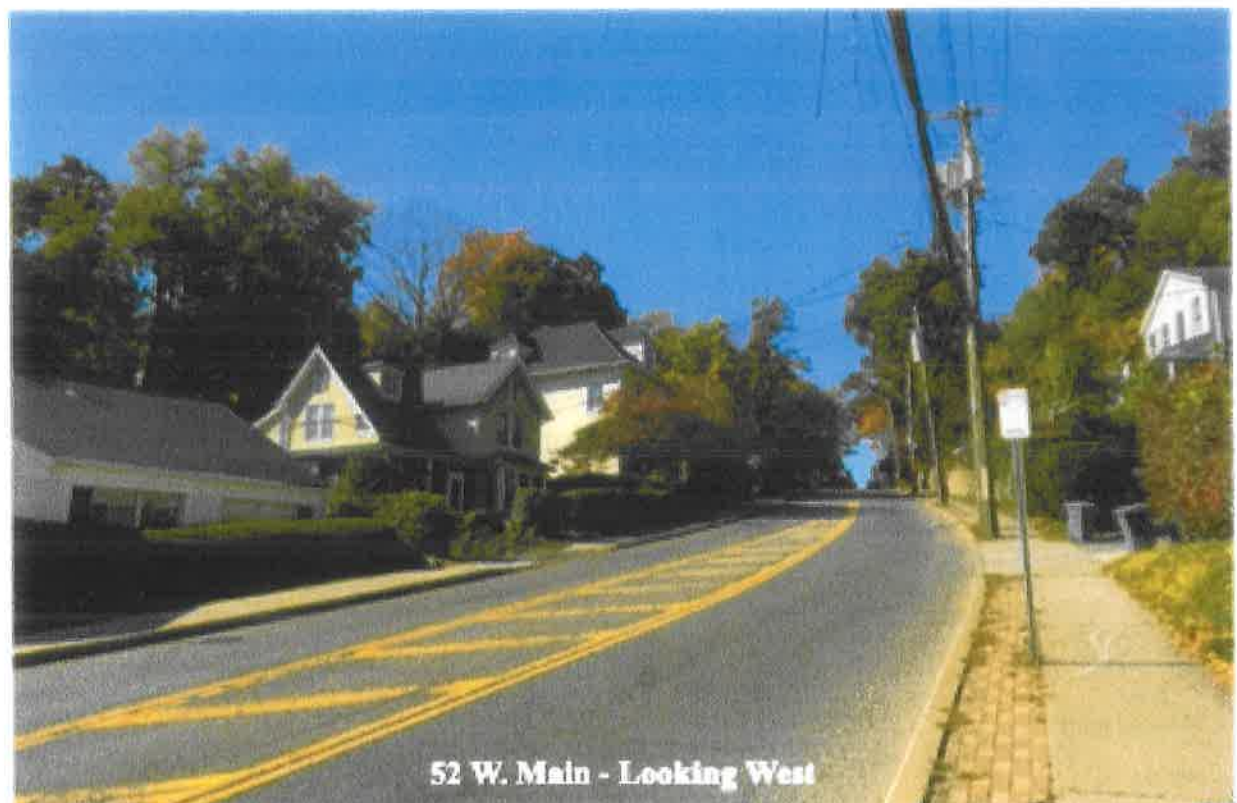
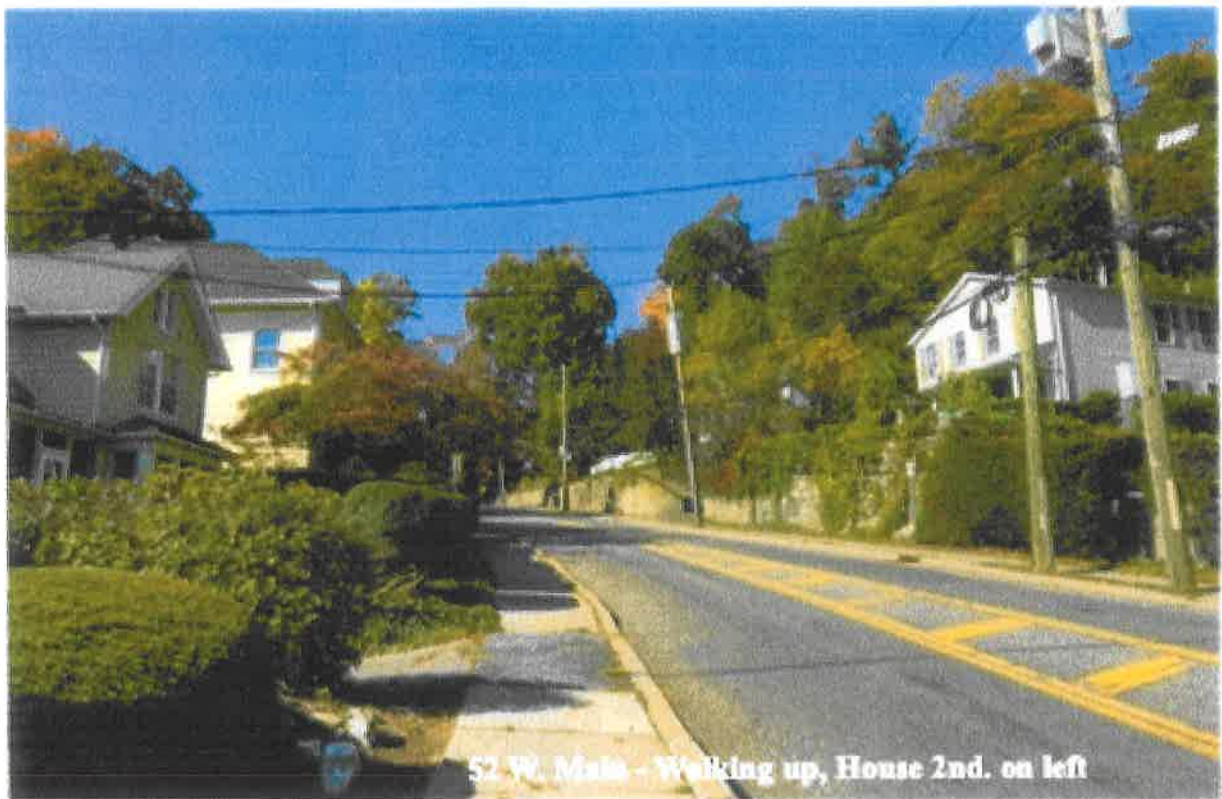
Recorded: 02/20/2018 at 11:13 AM
Control Number: 573423134
Witness my hand and official seal

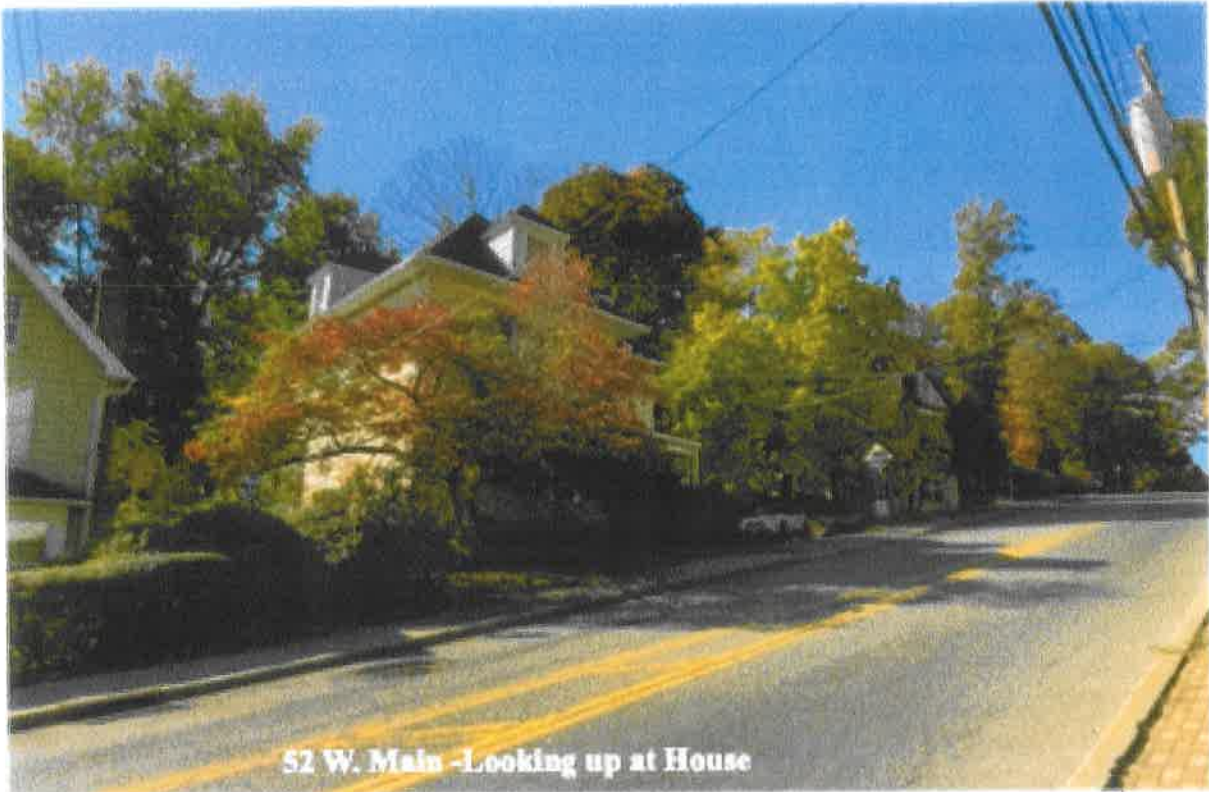
Timothy C Idoni
Westchester County Clerk

Record and Return To

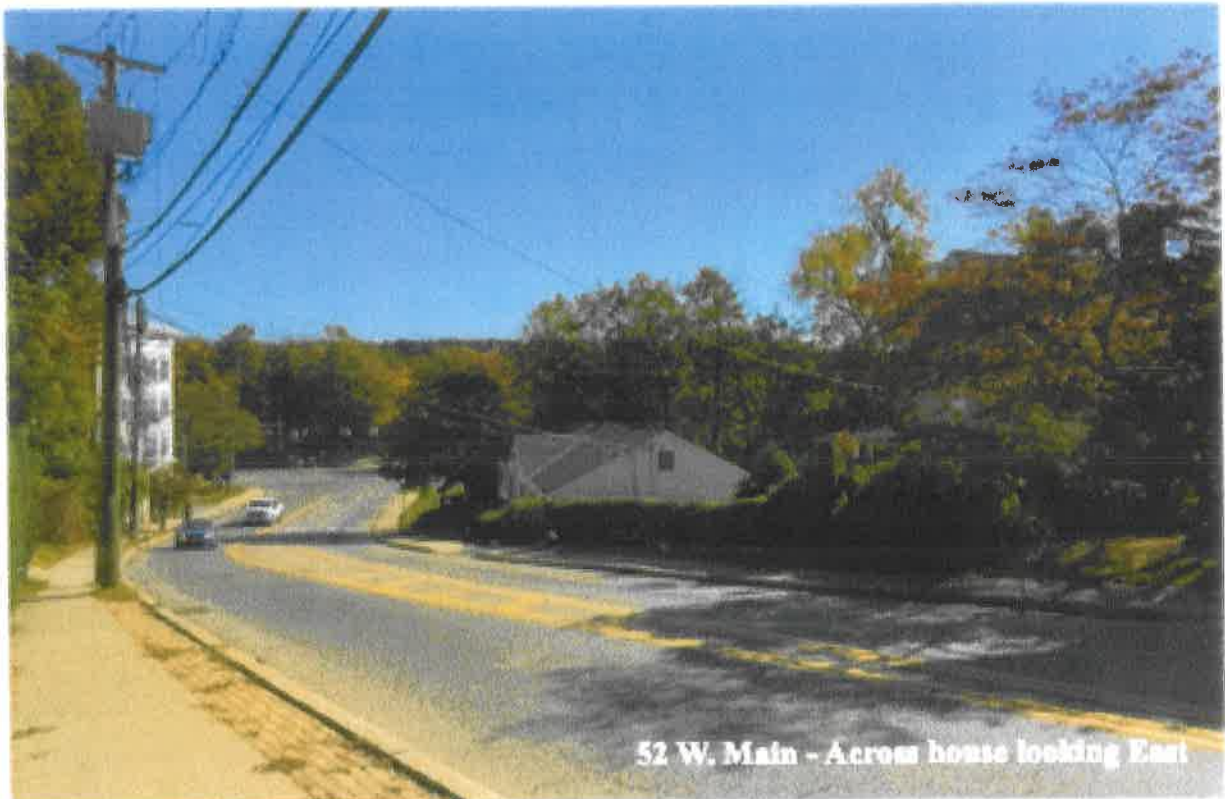
☐ Pick-up at County Clerk's office

Judicial Title Insurance
800 Westchester Avenue
Suite 340
Rye Brook, NY 10573

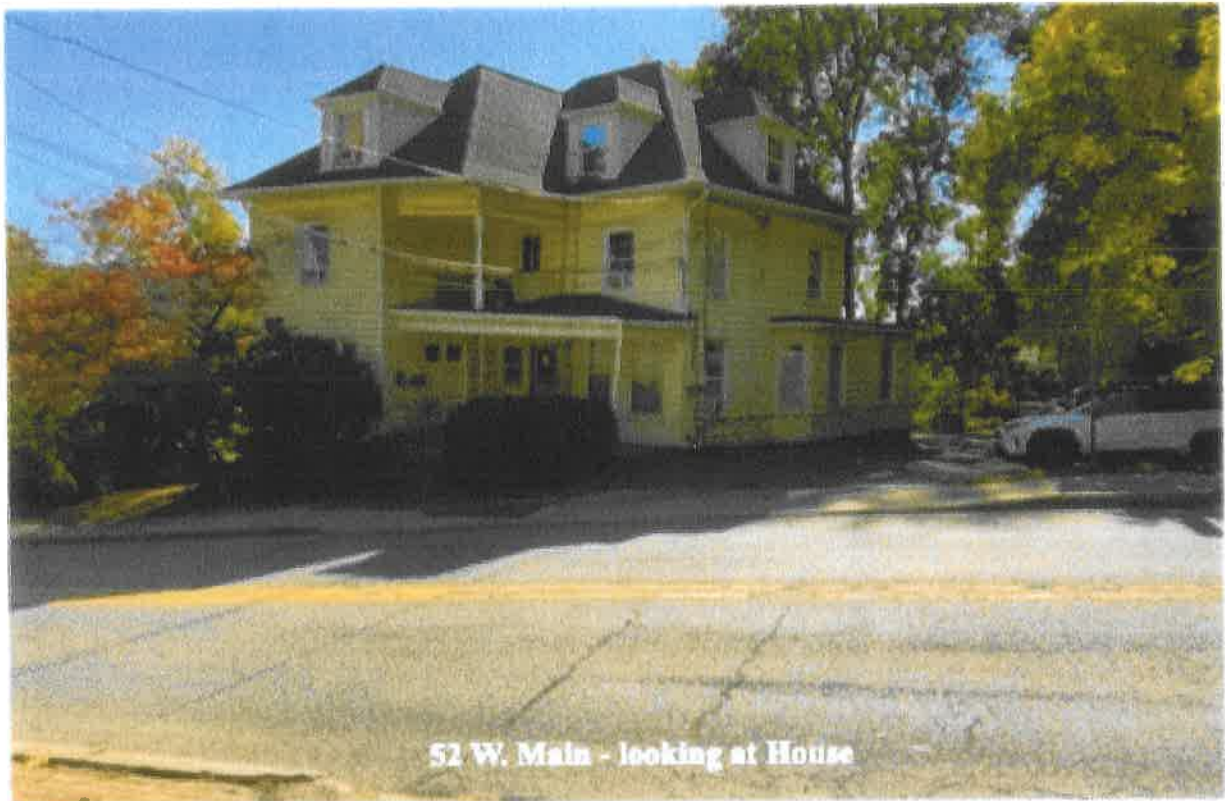




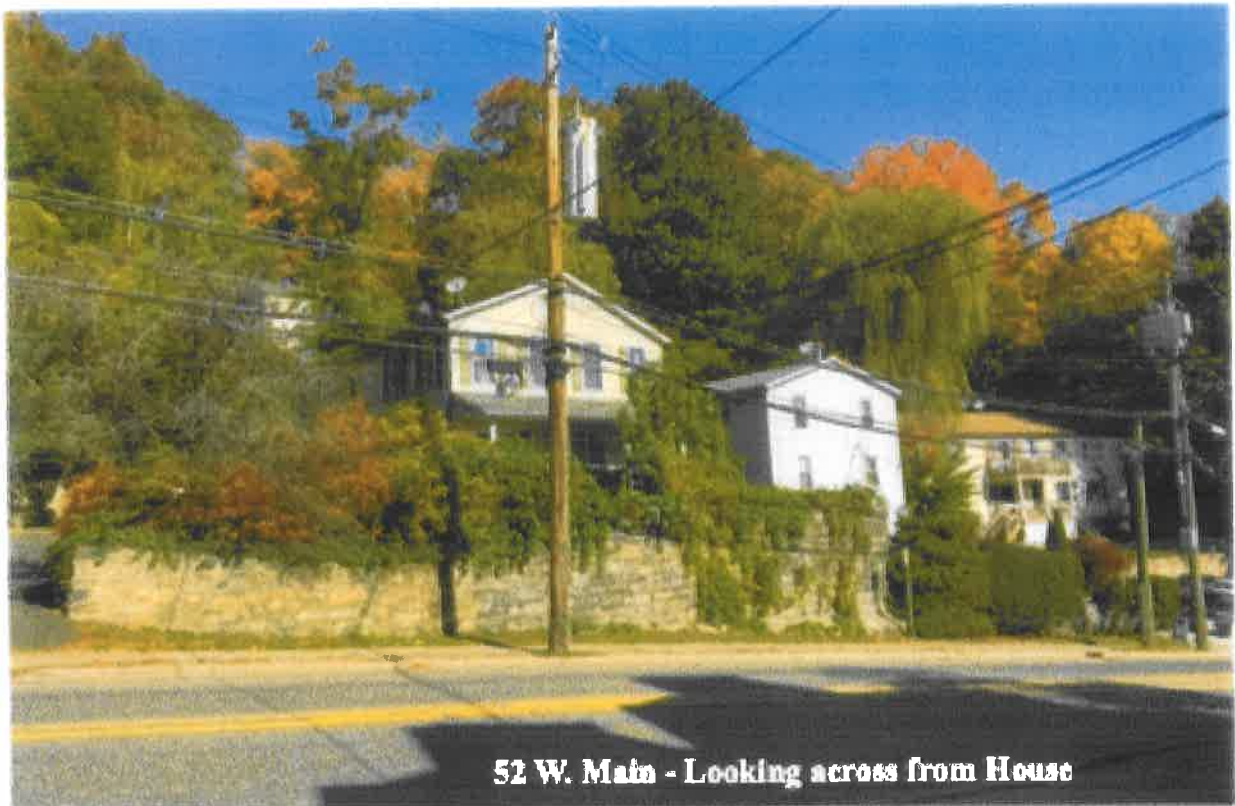
52 W. Main -Looking up at House



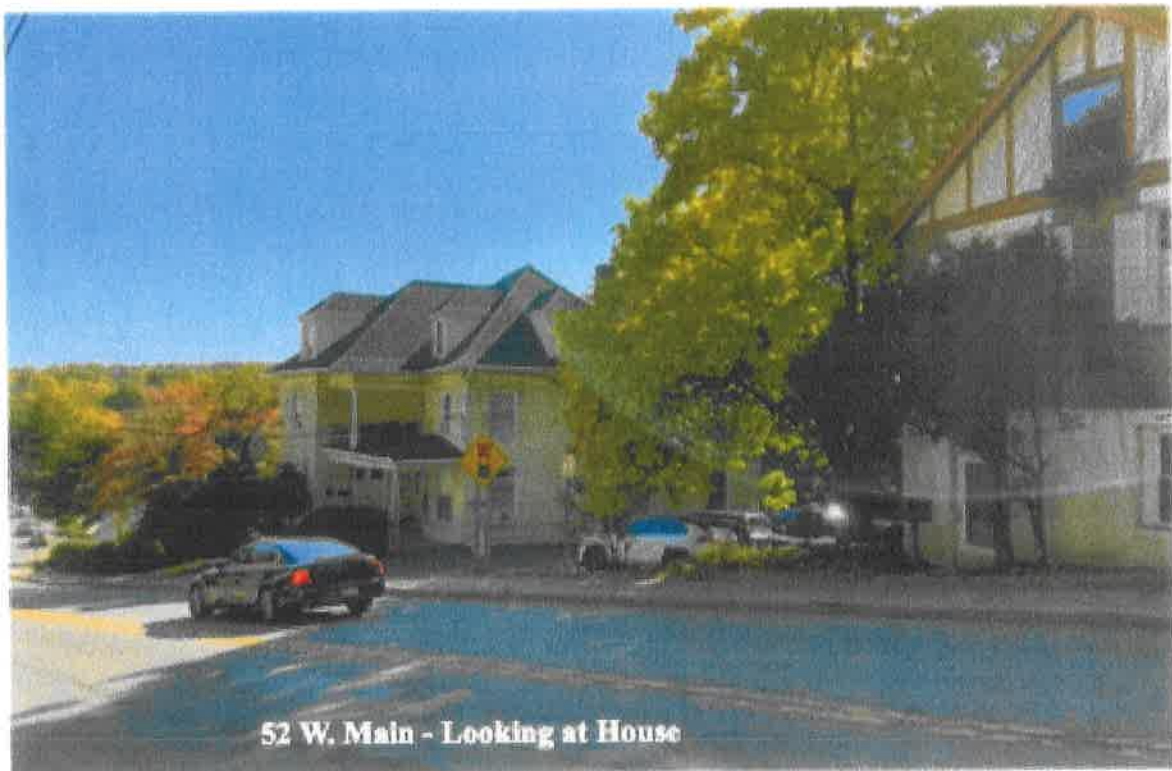
52 W. Main - Across house looking East



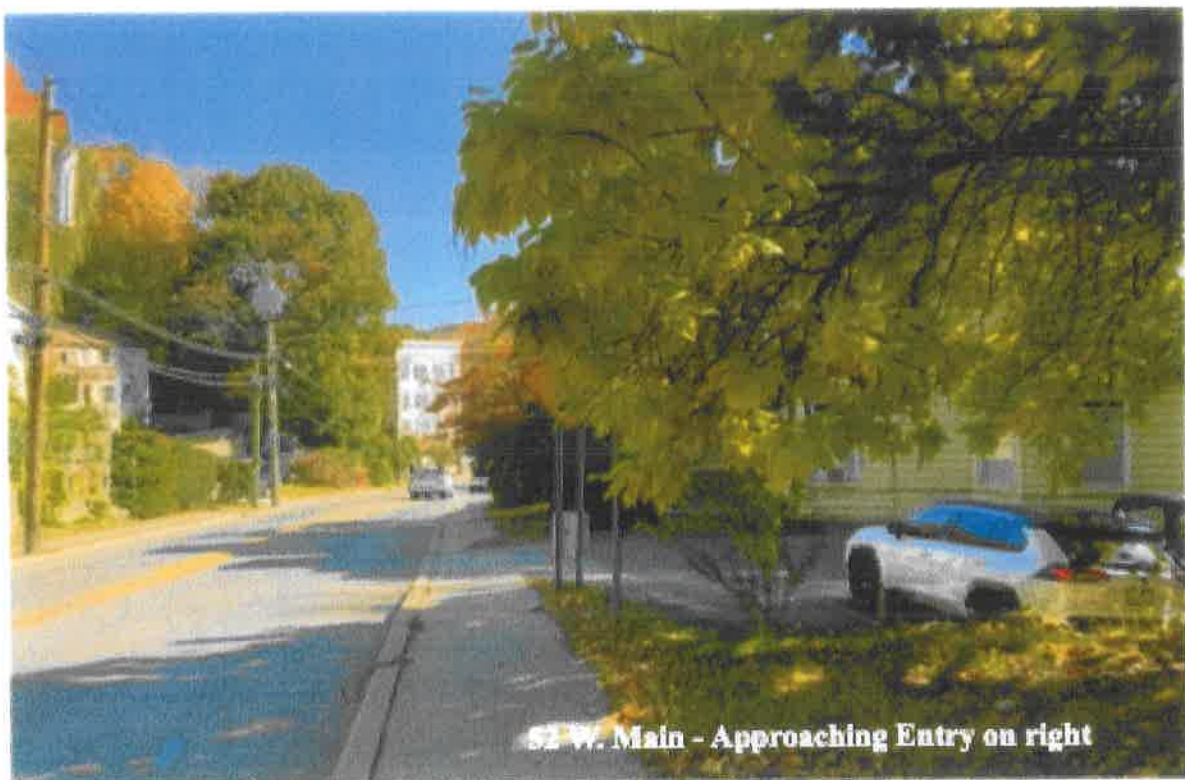
52 W. Main - looking at House



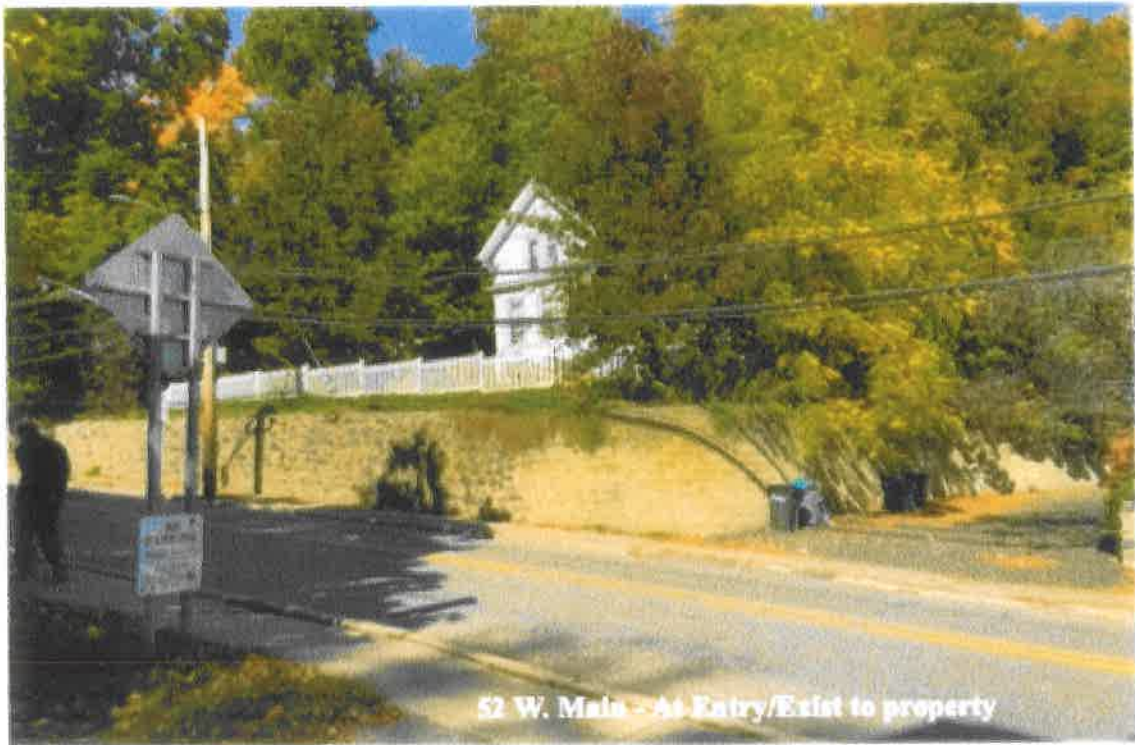
52 W. Main - Looking across from House



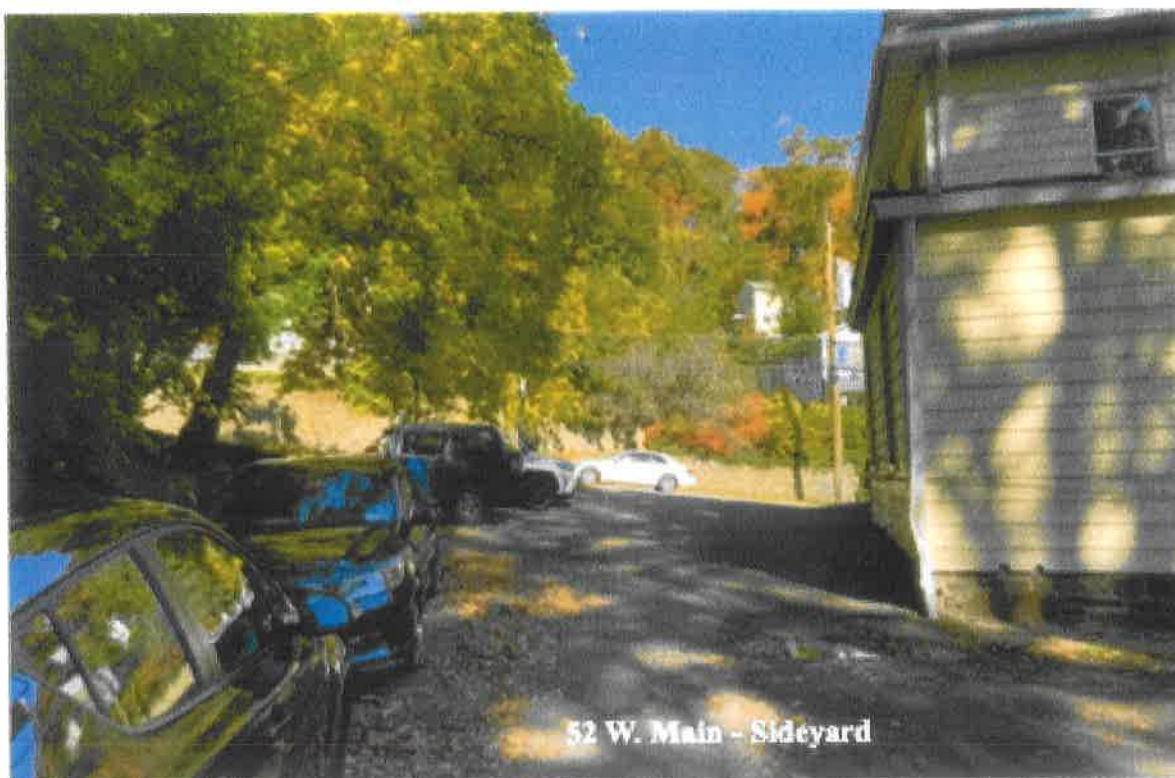
52 W. Main - Looking at House



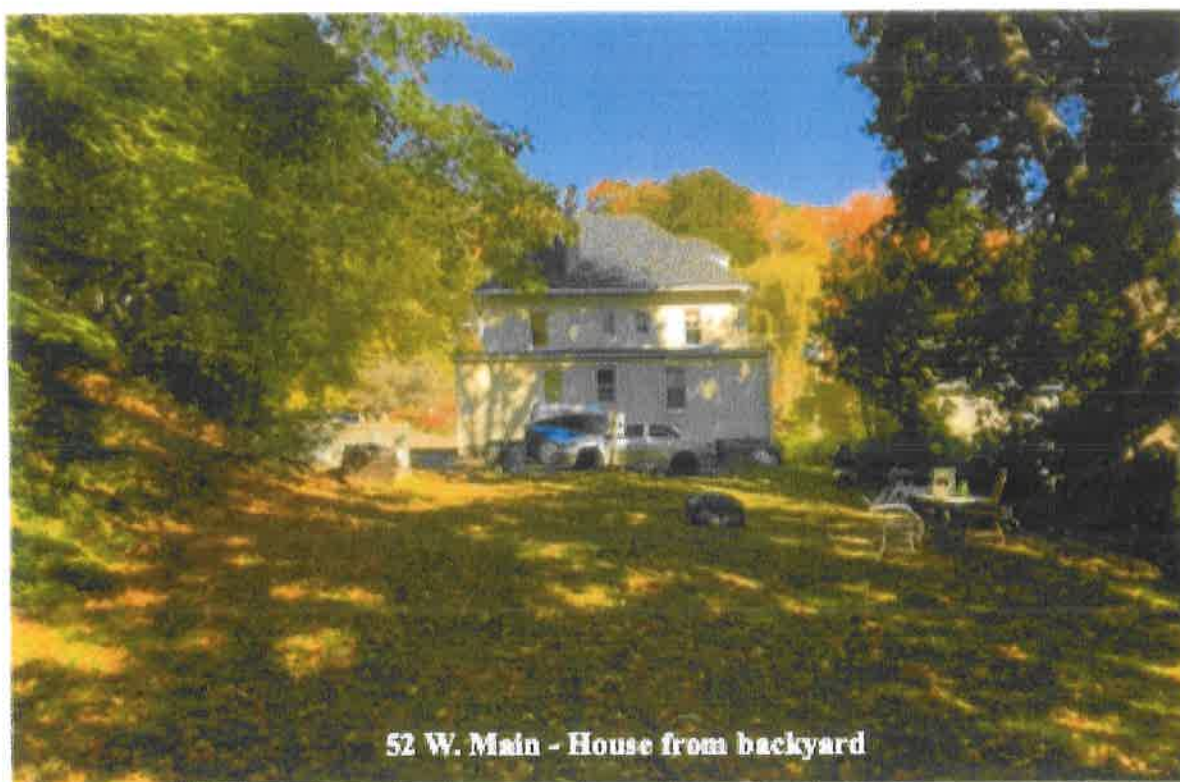
52 W. Main - Approaching Entry on right



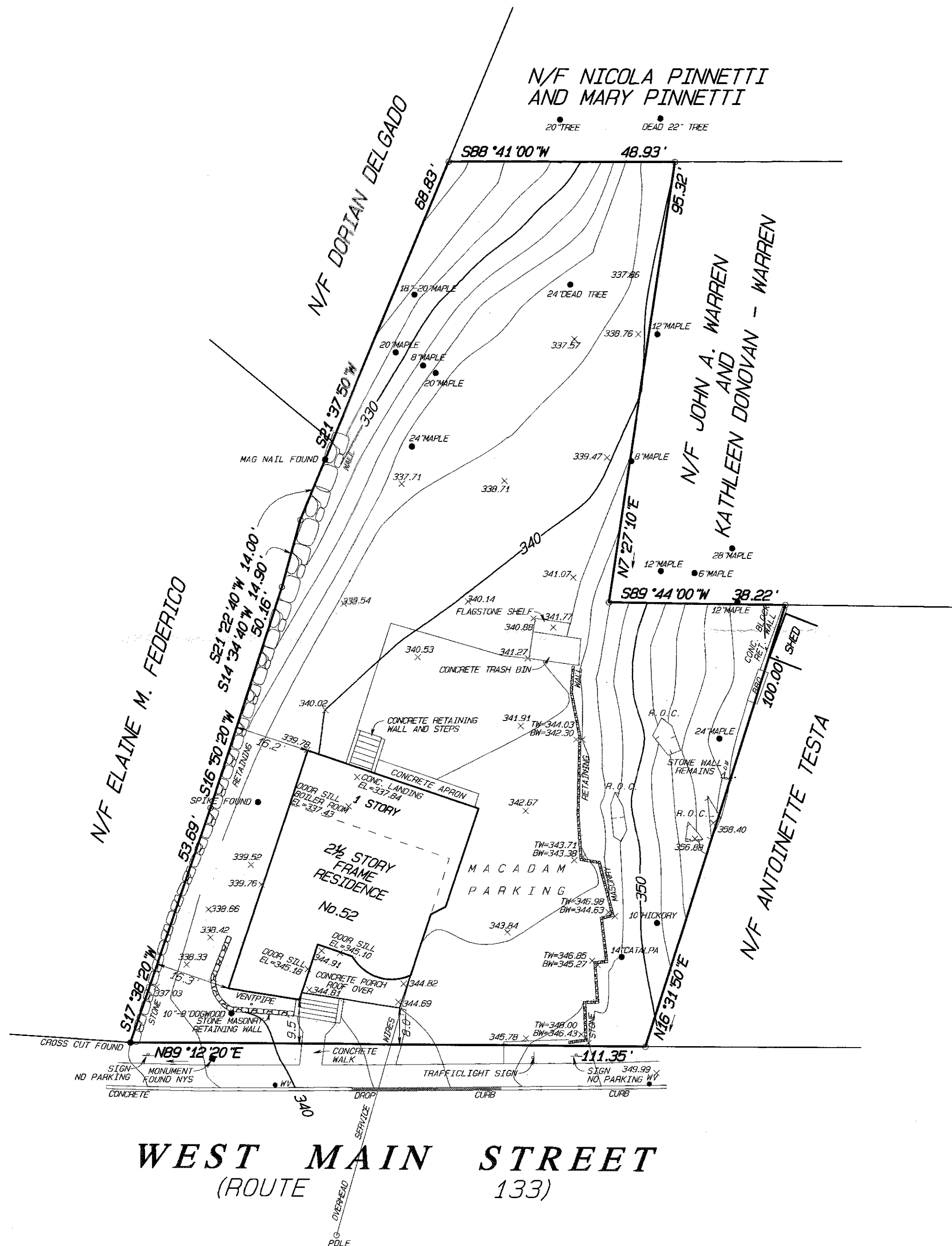
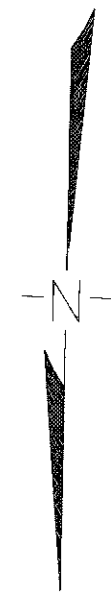
52 W. Main - At Entry/Exit to property



52 W. Main - Sideyard



52 W. Main - House from backyard



Area = 16,337 S.F. or 0.375 Acres.

Deed Reference: Control No. 573523226

Tax Identification: Sheet 69.80 Block 4 Lot 2.

In accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.

Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

All certifications are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

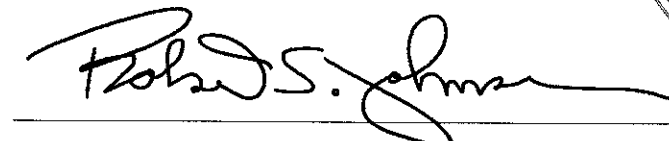
The location of underground improvements or encroachments hereon, if any exist, are not certified or shown.

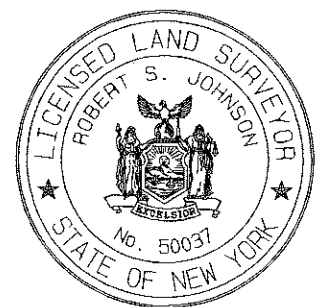
Elevations shown hereon are generally in accordance with Westchester County G.I.S.

Notes:

- 1) Elevations shown hereon are generally in accordance with Westchester Topographic Datum.
- 2) Additional underground easements, utilities or structures, etc. other than those shown hereon may be encountered.
- 3) The subsurface information shown hereon, if any, is not guaranteed as to accuracy or completeness and should be verified by the contractor before any excavation.

SURVEYED: APRIL 8, 2021
MAP PREPARED: MAY 21, 2021

BY: 
NEW YORK STATE LICENSED LAND SURVEYOR NO. 50037
ROBERT S. JOHNSON, P.L.S.



**TOPOGRAPHIC SURVEY
PREPARED FOR
FORTUNATO CAMBARERI**

Being Part of Lot 1 as shown on a certain map entitled "Map of Manchester Terrace" said map filed in the Westchester County Clerk's Office, Division of Land Records: June 28, 1901 as Map No. 1207

**SITUATE IN THE
VILLAGE AND TOWN OF MOUNT KISCO
WESTCHESTER COUNTY, NEW YORK**

SCALE: 1" = 20'

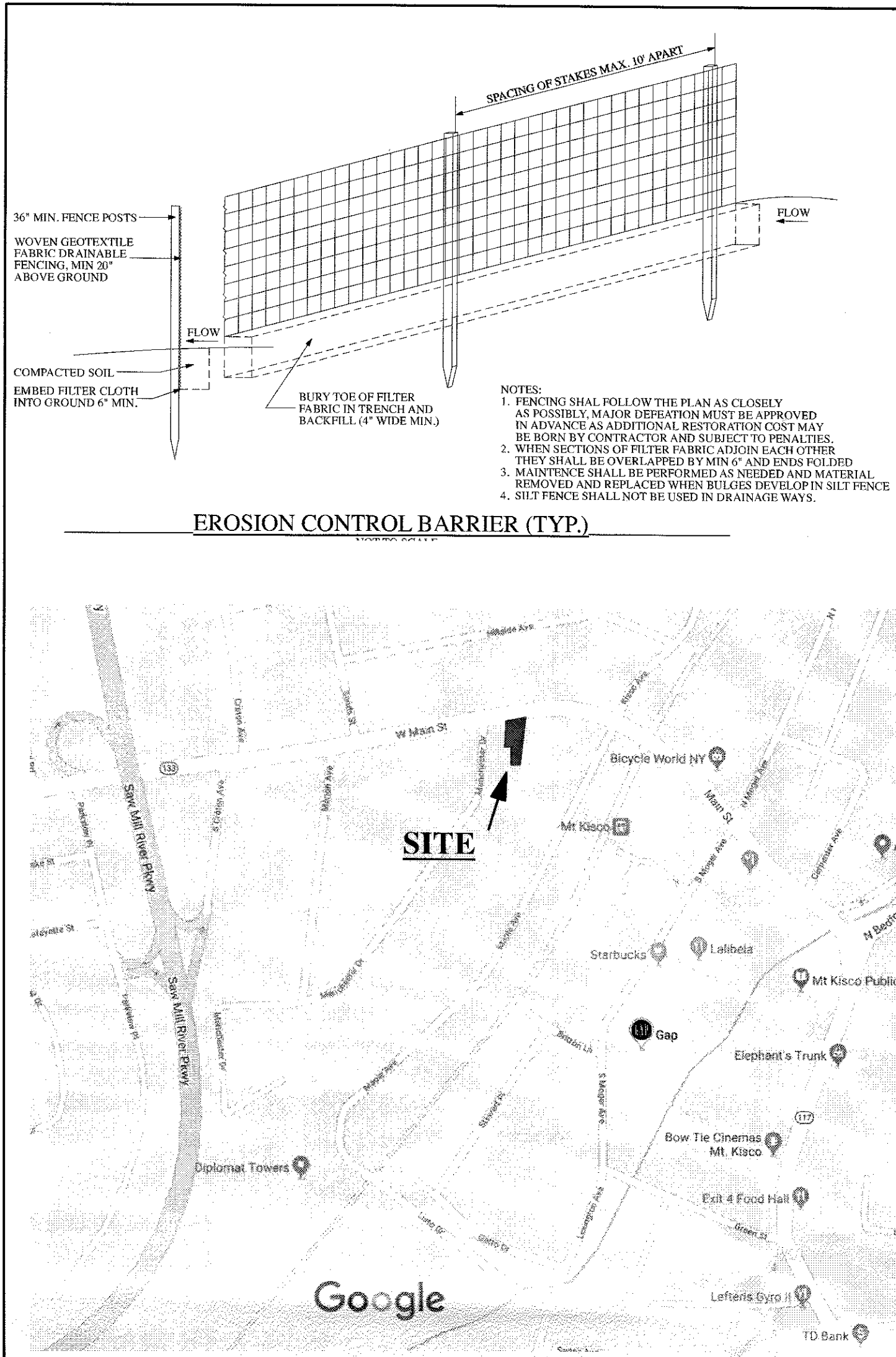
PREPARED FOR BUILDING DEPARTMENT PROPOSES ONLY

H. STANLEY JOHNSON AND COMPANY
LAND SURVEYORS, P.C.
42 SMITH AVENUE P.O. BOX 93
MT. KISCO, N.Y. 10549
TEL. 914-241-3872
FAX. 914-241-0438

PREPARED BY: JRJ, SMS CHECKED BY: RSJ

JOB No. F19-101.02

DATA: F04-131



DEMOLITION WORK NOTES & SEQUENCE:

1. Sideyard existing asphalt driveway:
 - Saw-cut each side to create a 20' wide asphalt driveway
 - Take removed asphalt offsite to approved dumping site
 - Collect any suitable gravel base for re-use onsite
 - Prepare area to receive top soil from area to be cleared for new parking spaces eliminating need for stockpiling
2. Remove existing Dumpster and concrete trash bin & pad, discard off site to approved dumping site
3. Install approved Silt Erosion Control barrier as shown on Plan Location to be exact as it also represents the agreed to limit of disturbance
4. Dismantle portion of Stone wall to be re-build according to proposed lay-out

SCHEDULE OF PERMANENT EROSION CONTROL MEASURES:

MEASURE	DATE FOR USE	TIMING, ACTIVITY, AND LOCATION
SOIL REFORMATION	ALL	PERFORM SOIL REFORMATION UPON COMPLETION OF FINAL SITE GRADING IN ACCORDANCE WITH CHAPTER 8 OF THE NYS DEC STATE WATER MANAGEMENT DESIGN MANUAL, JANUARY 2015.
PAVEMENT BASE COURSE/FINAL COURSE	WHEN OUTSIDE ADJACENT TRAIL IS ABOVE 40" P	INSTALL ONLY IN AREAS SHOWN ON THE PLAN, SHORTLY AFTER PAVEMENT BASE IS BROUGHT TO FINAL GRADE. INSTALL NEAR COMPLETION OF PROJECT.
PERMANENT SEEDING	APRIL 15 TO SEPT. 15	ON FINAL GRADE AREAS, WITHIN 10 DAYS OF FINAL GRADE PREPARATION, FERTILIZER TOPSOIL, FOLLOWED WITH SEEDING AND MULCH APPLICATION. PERMANENT VEGETATION MUST BE SEEDING OR SOEDDED ON ALL EXPOSED AREAS. MULCH MUST BE USED AS NEEDED FOR PROTECTION, UNTIL SEEDING IS ESTABLISHED.
GROUND COVER, TREES, SHRUBS	APRIL 15 TO NOV. 1	INSTALL WITH FINAL LANDSCAPING.
PERMANENT MULCH	ALL	INSTALL WITH FINAL LANDSCAPING.

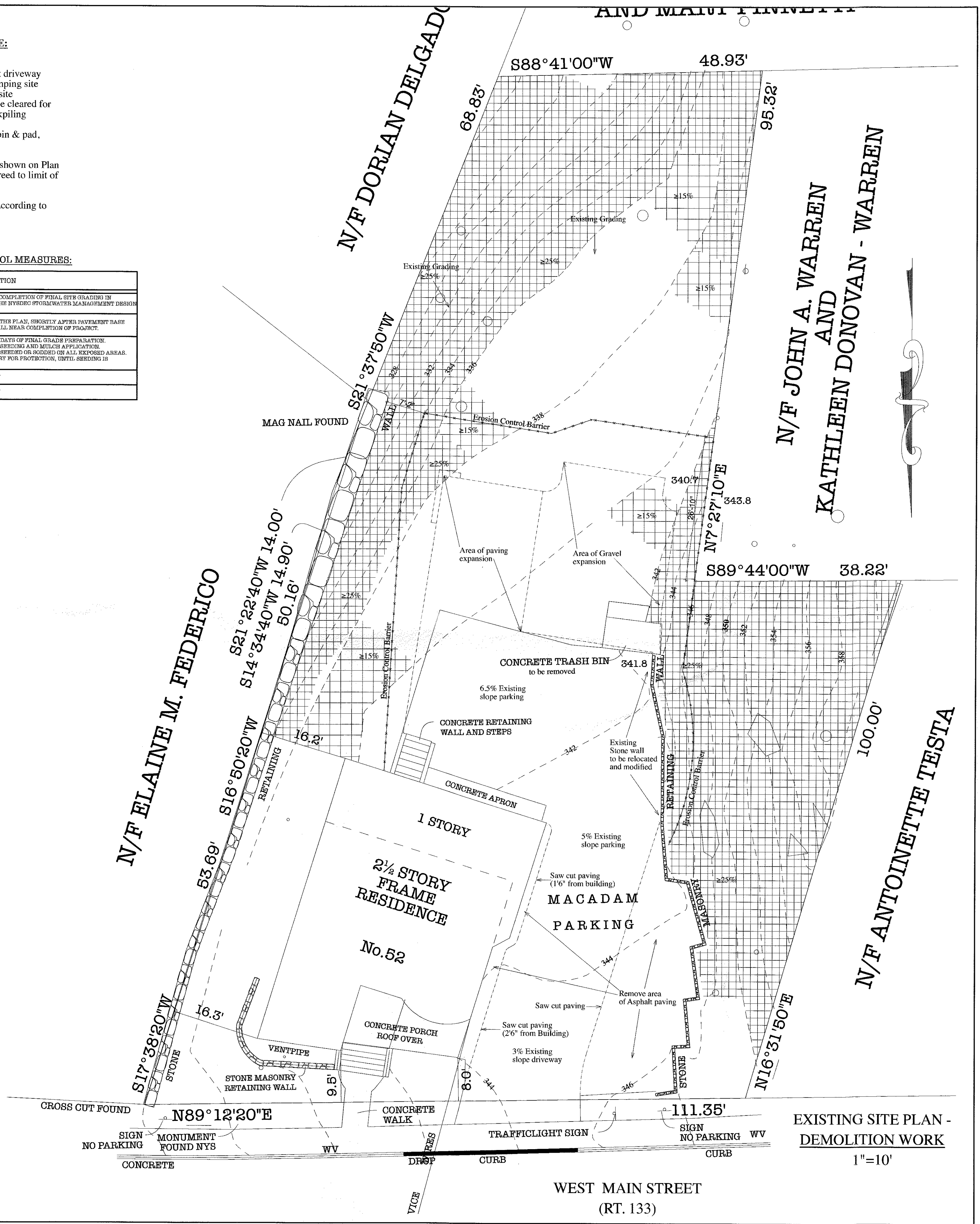
SURVEY NOTE:

- SURVEY & TOPOGRAPHIC DATA PROVIDED BY H.STANLEY JOHNSON AND CO. 42 SMITH AV., MT. KISCO NY
- MAP PREPARED 12/24/2019, LATEST REVISION 10/2/2020
- TOPOGRAPHICAL SURVEY 5/21/21

ZONING SCHEDULE

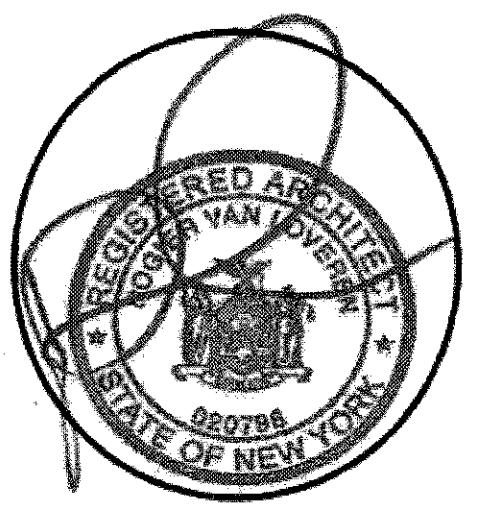
ZONING DISTRICT: RT-6 1 - 2 Family	MIN. LOT AREA	THIS LOT AREA	LOT SIZING		MAXIMUM COVERAGE	
	6,250 SF	16,337 SF	FRONTAGE -	WIDTH 50' MIN.	DEPTH 100' MIN.	BUILDING 2,150 - 9,000sf +20% over max. development area 40% IMPERVIOUS 6,334.80 SF
EXISTING STATUS AND LEGALIZATION REQUIREMENTS	PRE-EXISTING LEGAL FOUR FAMILY STATUS		EXISTING THIRD FLOOR WAS FINISHED CIRCA 1952 REQUIRES CERTIFICATE OF OCCUPANCY			
COVERAGE DATA	BUILDING COVERAGE			IMPERVIOUS		
	2,150 SF over 9,000 plus 20% on 7,337 SF			Max. development area 40% of 16,337 SF Lot		
	EXISTING BUILDING: 1. BUILDING: 1,717.75 2. PORCH: 170.00 3. FRONT STEPS: 52.25 4. REAR STAIR: 50.25	PROPOSED: 1. -	EXISTING COVERAGE: 1. PRINCIP. BUILDING: 1,990.25 2. FRONT WALK: 32.50 3. DRIVEWAY: 3,257.00			
	TOTAL: 1,990.25 SF		PROPOSED CHANGES: 1. SAME 0 2. REM. FRONT DRIVE: (600.00) 3. REM. ALONG BLDG: (59.75) 4. REM. EDGE SLAB: (1.75) 5. ADD PAVING STRIP: 53.00 6. ADD BACK DRIVE: 504.75			
	TOTAL EXISTING & PROPOSED		TOTAL: 5,279.75 SF (103.75 SF)			
			TOTAL EXISTING & PROPOSED 5,176.00 SF			
			NEW GRAVEL PARKING EXTENSION: 716.00 SF TOTAL DEVELOPMENT AREA 5,892.00 SF (36%)			
MINIMUM YARD REQUIREMENTS	MINIMUM SETBACKS					
	FRONT YARDS: 30' FOR DEPTH OVER 100'	SIDE YARD: 10' & 10' FOR WIDTH OVER 70'		REAR YARD: 30' FOR DEPTH OVER 100'		
	EXISTING					
	8'	16.2' MIN. SIDE - 49.96' OTHER			129.62'	
	PROPOSED					
	SAME		SAME		SAME	
	GRADE PLANE					
	BUILDING HEIGHT LIMIT: 2.5 STORIES - 35'					
	EXISTING: 3' BELOW 1ST. FL.		SAME		EXISTING: 2.5 STORY 30'	SAME
PARKING REQUIREMENTS	BASEMENT SLAB -77", BASEMENT NOT A STORY					
	For Legalizing 3rd. Floor: additional 2 spaces required. Current existing parking spaces: 6. 4 spaces located in side yard.				Total Spaces proposed in rear yard only: 6	

- CUT & FILL QUANTITIES:
 - FILL: 17 CU YD
 - CUT: 2 CU YD
- STEEP SLOPE DISTURBANCE:
 - 15% OR GREATER: 89.5 SF
 - 25% OR GREATER: 36.0 SF
- AREAS OF DISTURBANCE:
 - EXISTING ASPHALT AREAS IN FRONT/SIDE OF HOUSE: 659.75 SF
 - CONSTRUCTION - LIMIT WITHIN EROSION CONTROL BARRIER: 2,309.25
- TOTAL LIMIT OF DISTURBANCE NOTED ON SITE PLAN SP-2: 2,466 SF



Architecture

Roger van Loveren,
AIA, Architect
6 Spruce Pond Lane
Bedford, NY 10506
(914) 234-7823



Notes:

Alterations to
the Residence of:
F (Nat) Cambareri
52 W. Main Str.
(Route 133)
Mt. Kisco NY

Existing Site Plan & Notes

Drawing Title

Notes:

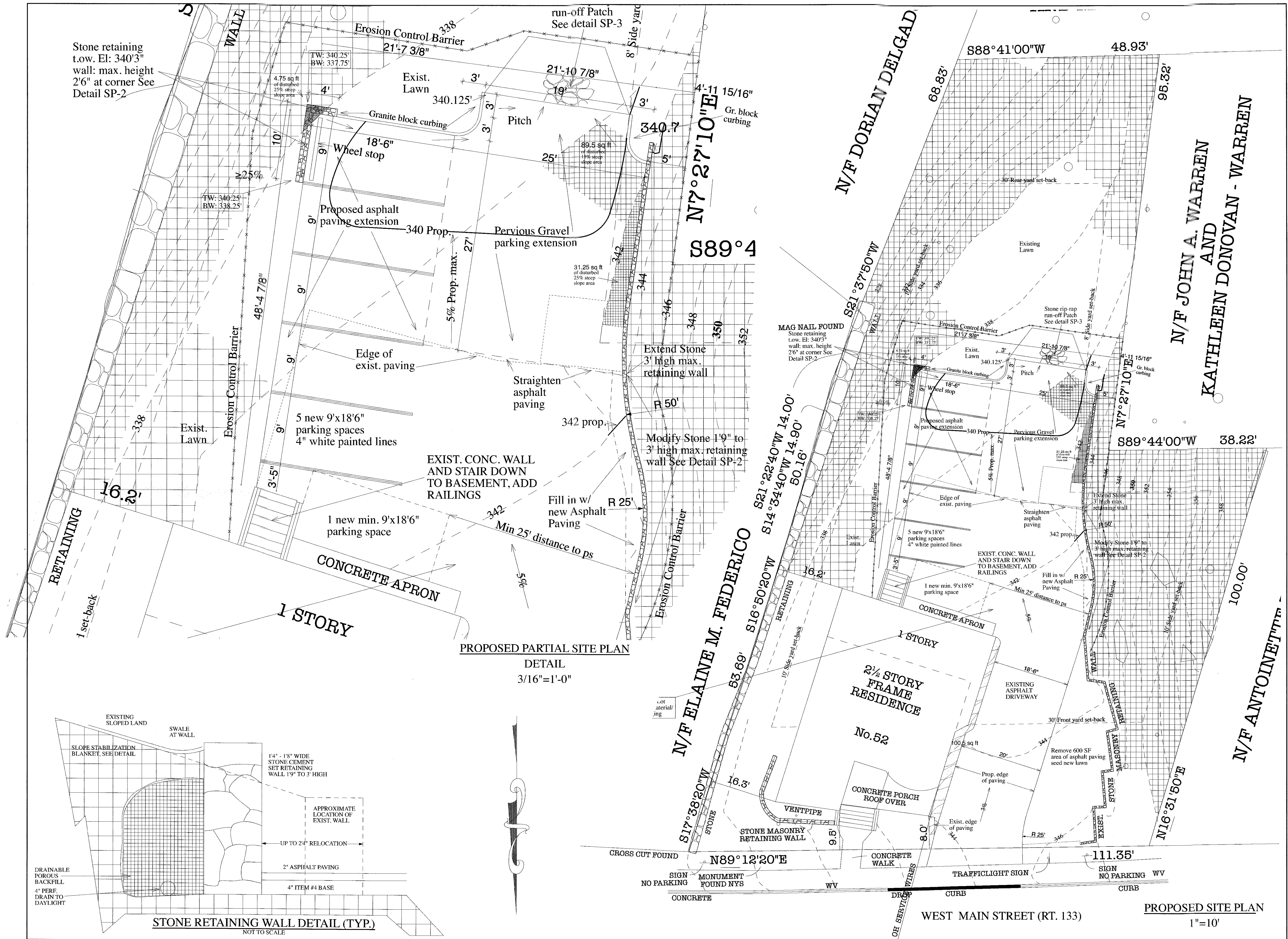
TAX ID: SHEET 69.80
BLOCK 4
LOT 2


OWNER:
Nat Cambareri
135 Crow Hill
Path
Mt.Kisco NY 10549

1	SITE PLAN	1/27/2020
2	Revised per pre-appl. meeting	10/19/20
3	Revised per PB meeting	12/22/20
4	Revised	6/21/22

Tag	Description	Date

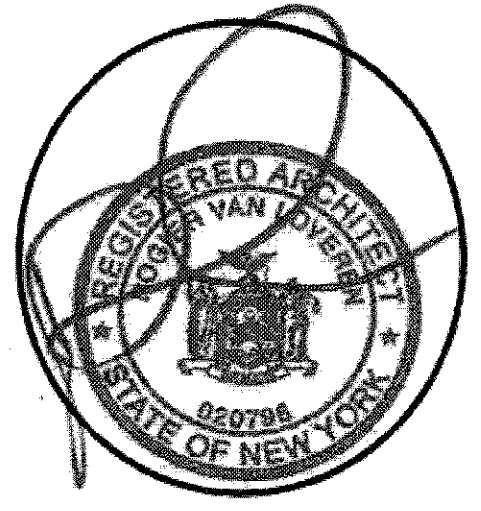
RvL	SP-1
Drawn by	
Scale	
517	Drawing Number
Project Number	





Architecture

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Notes:

Alterations to the Residence of:
F (Nat) Cambareri
52 W. Main Str. (Route 133)
Mt. Kisco NY

Existing Site Plan & Proposed Site Plan
Drawing Title

Notes:

TAX ID: SHEET 69.80
BLOCK 4
LOT 2

OWNER:
Nat Cambareri
135 Crow Hill Path
Mt. Kisco NY 10549

1	SITE PLAN	1/27/2020
2	Revised per pre-appl. meeting	10/19/20
3	Revised per PB meeting	12/22/20
4	Revised	6/21/22

Tag	Description	Date
RVL	Drawn by	
Scale	1"=10'-0"	
517	Project Number	
	Drawing Number	

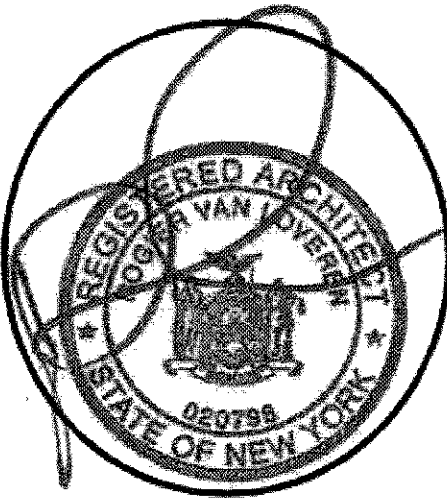
SP-2

SP-2.2



Architecture

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Notes:

Alterations to
the Residence of:
F (Nat) Cambareri
52 W. Main Str.
(Route 133)
Mt. Kisco NY

Landscape & Lighting Plan

Drawing Title

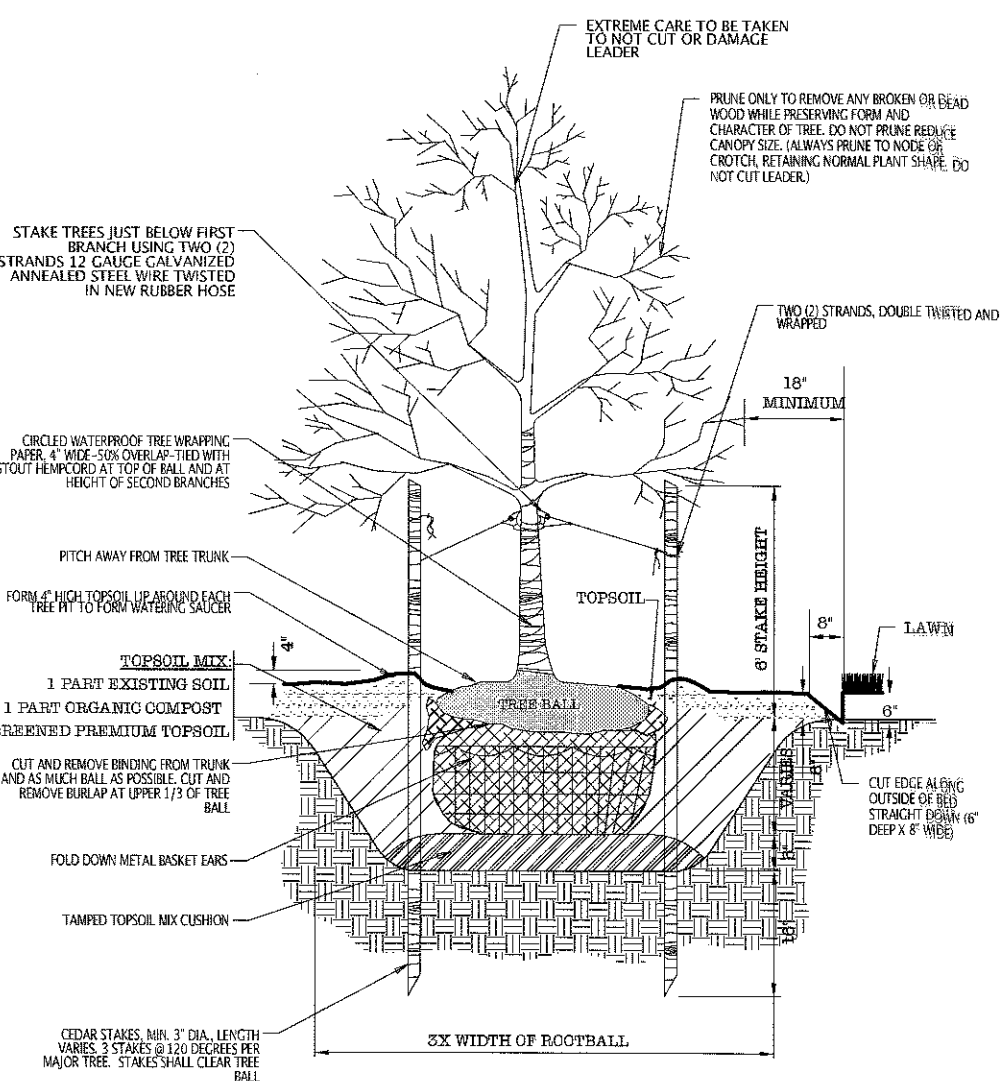
Notes:

TAX ID: SHEET 69.80
BLOCK 4
LOT 2

OWNER:
Nat Cambareri
135 Crow Hill
Path
Mt.Kisco NY 10549

1	SITE PLAN	1/27/2020
2	Revised per pre-appl. meeting	10/19/20
3	Revised per PB meeting	12/22/20
4	Updated + Topo	6/21/22
5	Planting Schedule revised	10/15/22

Tag	Description	Date
RVL	Drawn by	
1"=10'-0"	Scale	
517	Project Number	
SP-3	Drawing Number	

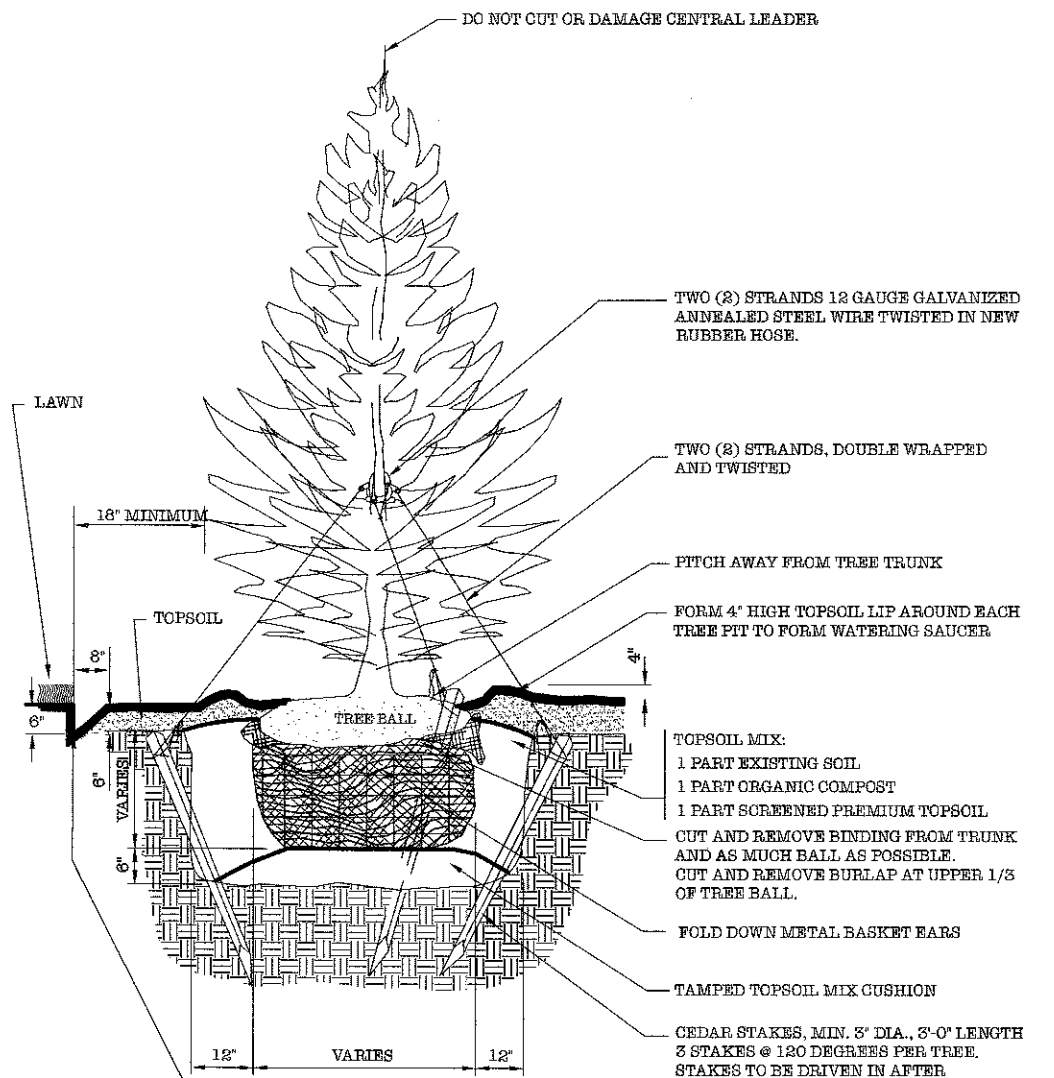


NOTES:

1. PLANT TO SCALE IN CONTAINERS MUST HAVE THE FIBROUS ROOTBALL ROOTS PULLED APART TO ALLOW THE ROOTS TO SPREAD.
2. AFTER THE SHRUB HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHOULD BE PLACED AROUND THE PLANT TO THE TOP OF THE HOLE. THE RELEASE SUBSTRATE SHOULD BE PLACED AROUND THE PLANT TO THE TOP OF THE HOLE. THE RELEASE SUBSTRATE SHOULD BE PLACED AROUND THE PLANT TO THE TOP OF THE HOLE.
3. PROVIDE 3" LAYER OF MULCH AS SPECIFIED OVER ENTIRE WATERING SAUCER AT ALL TREE PITS OR OVER ENTIRE TREE BED.
4. REMOVE EXISTING WEEDS, LAWN OR PLANT MATERIAL FROM PROPOSED BED AREA.
5. ALL TREES SHALL CONFORM TO THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
6. REQUIRED STREET TREE PLANTINGS SHALL BE INSTALLED TO THE SATISFACTION OF THE TOWN, THE COMMITTEE OR THE TOWN ENGINEER IN ACCORDANCE WITH TOWN CODE SECTION 220-9.

DECIDUOUS TREE INSTALLATION DETAIL

NOT TO SCALE

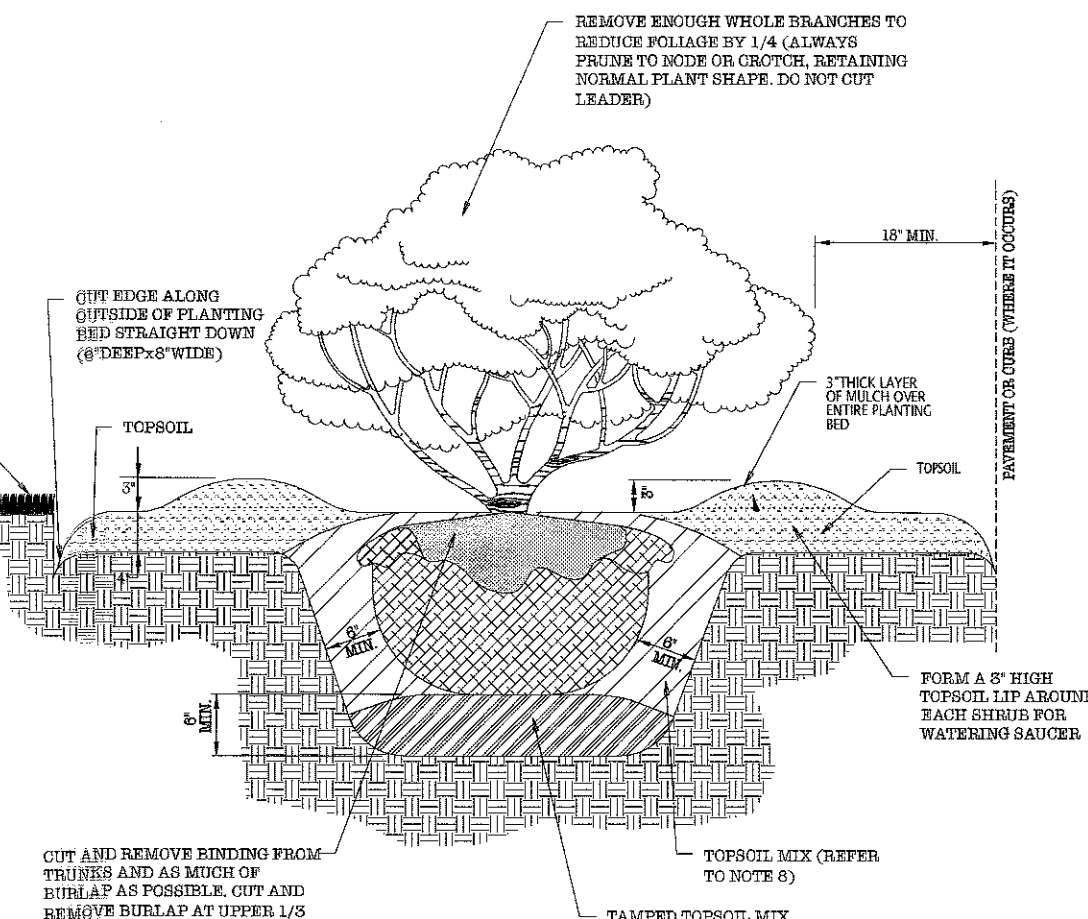


NOTES:

1. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTBALL ROOTS PULLED APART TO ALLOW THE ROOTS TO SPREAD.
2. AFTER THE SHRUB HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHOULD BE PLACED AROUND THE PLANT TO THE TOP OF THE HOLE. THE RELEASE SUBSTRATE SHOULD BE PLACED AROUND THE PLANT TO THE TOP OF THE HOLE.
3. PROVIDE 3" LAYER OF MULCH AS SPECIFIED OVER ENTIRE WATERING SAUCER AT ALL TREE PITS OR OVER ENTIRE TREE BED.
4. REMOVE EXISTING WEEDS, LAWN OR PLANT MATERIAL FROM PROPOSED BED AREA.

EVERGREEN TREE INSTALLATION DETAIL

NOT TO SCALE



NOTES:

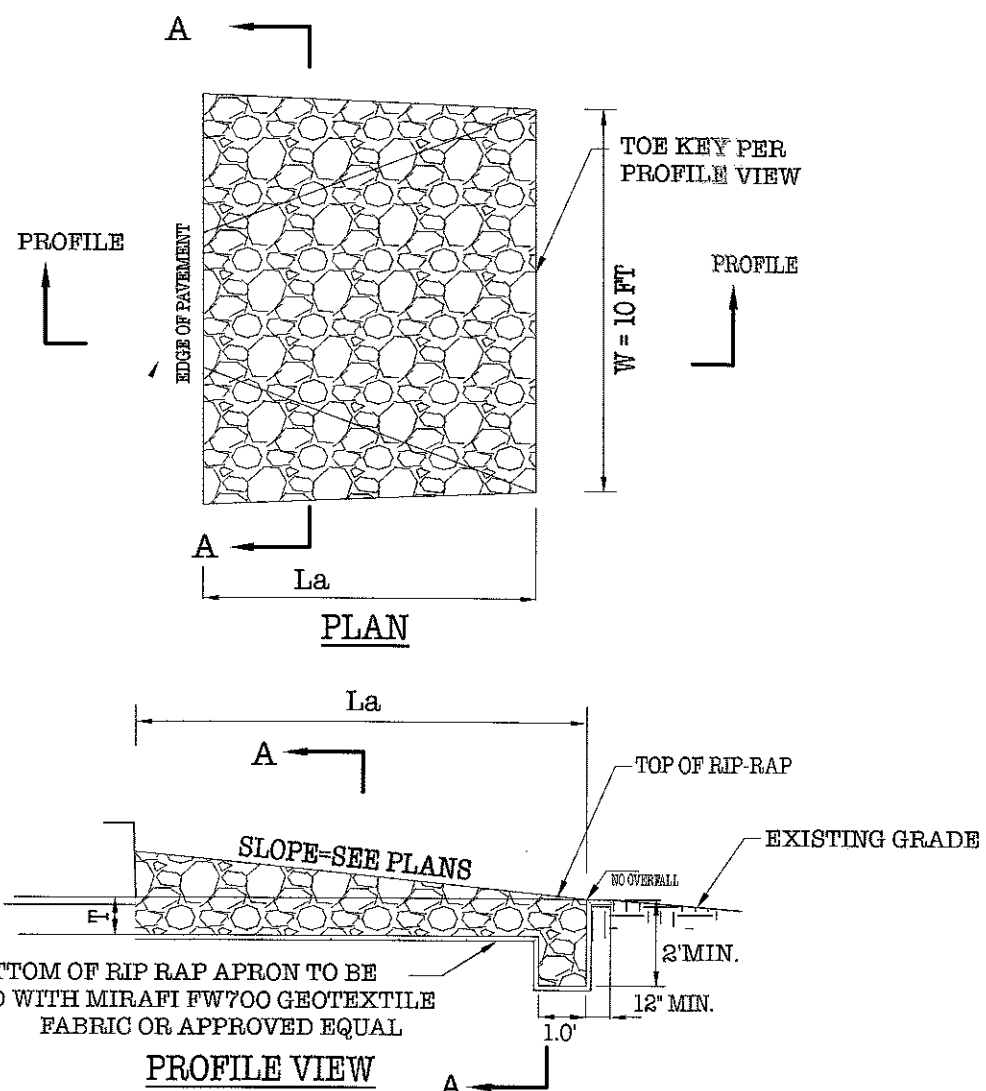
1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO INSTALLATION OF PLANT TO SCALE.
2. PLANTS TO SCALE IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
3. AFTER THE SHRUB HAS BEEN PLACED IN THE HOLE, THE TOPSOIL MIX SHALL BE PLACED AROUND THE PLANT TO THE TOP OF THE HOLE. THE RELEASE SUBSTRATE SHOULD BE PLACED AROUND THE PLANT TO THE TOP OF THE HOLE.
4. TOPSOIL SHALL CONSIST OF NATURAL LOAM TOPSOIL, FREE FROM SUBSOIL. TOPSOIL SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLods, STIFF CLAY, HARD PAN, ROCK, STONES OVER 1 1/2" DIAMETER AND NOXIOUS WEEDS.
5. PLANT MATERIAL SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
6. TOPSOIL MIX SHALL CONSIST OF: 1 PART SCREENED PERMIT TOPSOIL, 1 PART EXISTING SOIL, 1 PART ORGANIC COMPOST.

SHRUB/BUSH INSTALLATION DETAIL

NOT TO SCALE

LANDSCAPING NOTES:

1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK. PLANT MATERIAL, SIZE, GRADING AND LEFTIONS OF INSTALLATION SHALL COMPLY TO THE LATEST EDITION OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, REEFS TO PROJECT SPECIFICATIONS FOR ADDITIONAL LANDSCAPING INFORMATION.
2. ALL PLANTING BEDS SHALL BE MUTCHED WITH 5" OF SHOWN MULCH. MULCH SHALL BE CLEAR, NON-TOXIC, FODDER FREE, EROSION CONTROL MULCH.
3. AREAS NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS, OR GROUND COVER AND NOT OCCUPIED BY PAVEMENT, CONCRETE OR BUILDING SHALL BE LAWN.
4. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINERS GROWN STOCK, UNLESS OTHERWISE SPECIFIED.
5. CONTRACTORS SHALL USE AN EROSION TOOL TO ENSURE A PINE SEPARATION BETWEEN MULCH AND GRASS.



STRUCTURE		RIP-RAP APRON				
RIP-RAP APRON	LABEL	LENGTH	WIDTH	WIDTH BOTTOM	THICKNESS	STONE DIA.
#1	PARKING LOT	8	10	10	14	16

STONE RIP-RAP RUN-OFF PATCH DETAIL

nts

SCHEDULE OF PERMANENT EROSION CONTROL MEASURES:

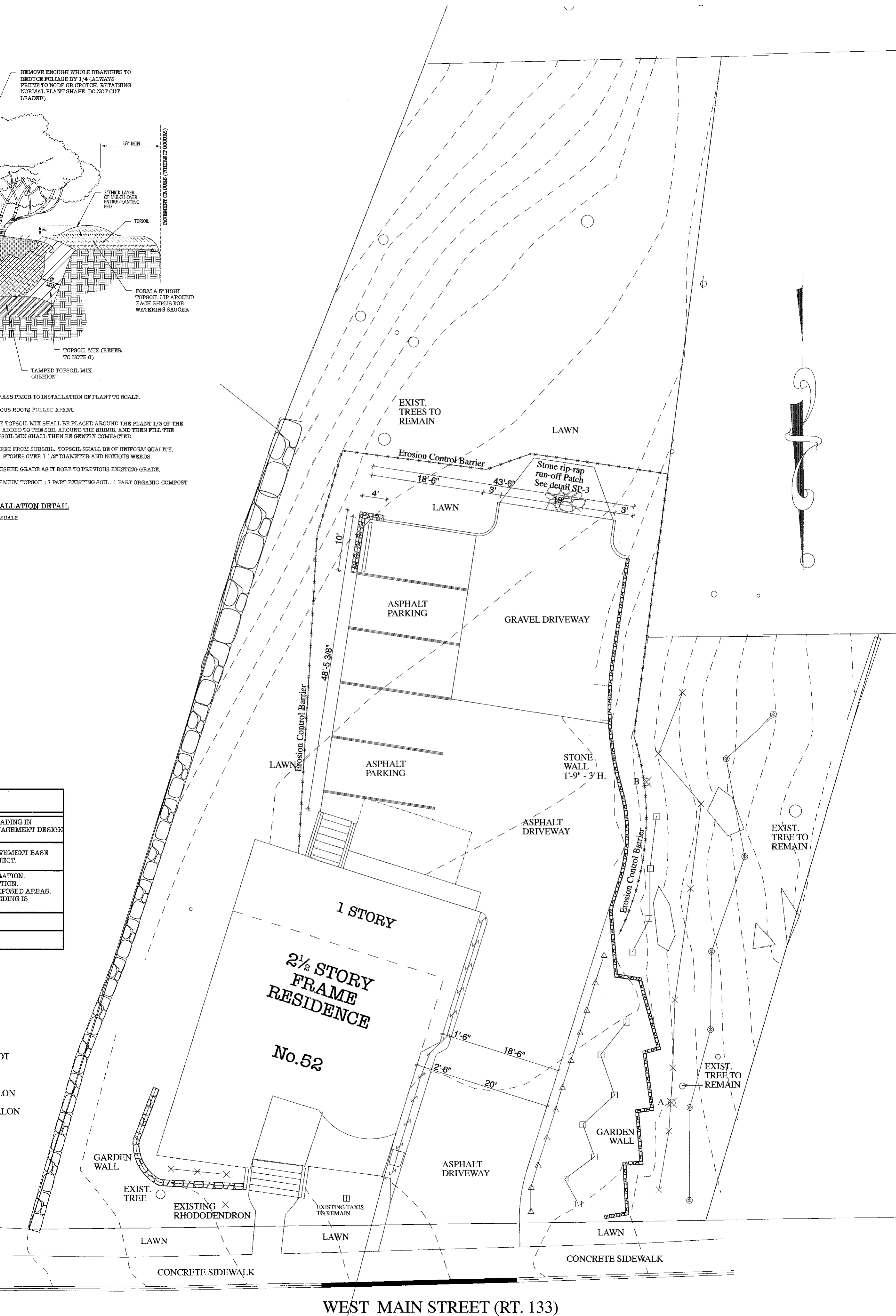
MEASURE	DATES FOR USE	TIMING, ACTIVITY, AND LOCATION
SOIL RESTORATION	ALL	PERFORM SOIL RESTORATION UPON COMPLETION OF FINAL SITE GRADING IN ACCORDANCE WITH CHAPTER 6 OF THE NYSDC STORMWATER MANAGEMENT DESIGN MANUAL, JANUARY 2015.
PAVEMENT - BASE COURSE/FINAL COURSE	WHEN OUTSIDE AMBIENT TEMPERATURE IS ABOVE 40°F	INSTALL ONLY IN AREAS SHOWN ON THE PLAN, SHORTLY AFTER PAVEMENT BASE IS BROUGHT TO FINAL GRADE. DETAIL NEAR COMPLETION OF PROJECT.
PERMANENT SEEDING	APRIL 15 TO SEPT. 15	ON FINAL GRADE AREAS, WITHIN 10 DAYS OF FINAL GRADE PREPARATION. PERMANENT VEGETATION MUST BE SEEDING OR SOEDING ON ALL EXPOSED AREAS. MULCH MUST BE USED AS NECESSARY FOR PROTECTION, UNTIL SEEDING IS ESTABLISHED.
GROUND COVER, TREES, SHRUBS	APRIL 15 TO NOV. 1	INSTALL WITH FINAL LANDSCAPING.
PERMANENT MULCH	ALL	INSTALL WITH FINAL LANDSCAPING.

LANDSCAPING SCHEDULE

KEY	QUANTITY	NAME	SIZE
⊙	7	GREEN GIANT ARBEVITEA	5-6 FOOT
△	11	NEPETA (CAT NIP)	14-18"
□	7 + 4	SPIREA (LITTLE PRINCESS)	3 GALLON
×	7 + 3	RHODODENDRON (ROSEUM)	10 GALLON
✓	12	FOUNTAIN GRASSES	24-32"
⊞	EXISTING MATURE TAXIS TO REMAIN		
A ⊗	EXISTING 6"D TREE TO BE REMOVED		
B ⊗	EXISTING CLUMP OF 2"D TREES TO BE REMOVED		

PROPOSED LANDSCAPE PLAN

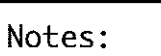
1"=10'



WEST MAIN STREET (RT. 133)



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Alterations to
the Residence of:
F (Nat) Cambareri
52 W. Main Str.
(Route 133)
Mt. Kisco NY

Parking Diagram & Lighting Plan

Drawing Title

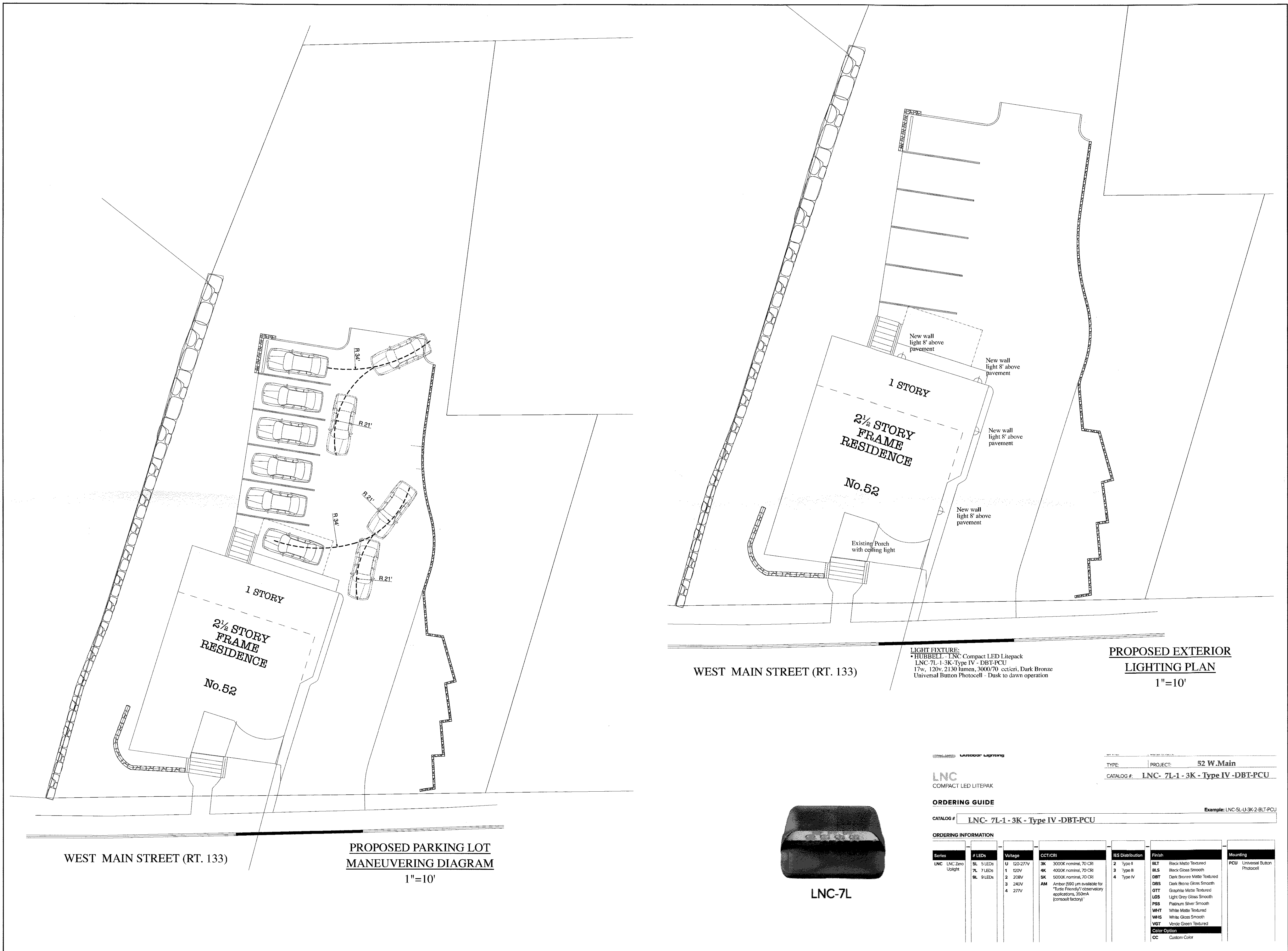
Notes:

TAX ID: SHEET 69.80
BLOCK 4
LOT 2

OWNER:
Nat Cambareri
135 Crow Hill
Path
Mt.Kisco NY 10549

Tag	Description	Date
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RvL	SP-4
Drawn by 3/32"=1'-0" Scale	
517 Project Number	
	Drawing Number





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ALTERATIONS TO
RESIDENCE OF:
F. (NAT) CAMBARERI
52 W. MAIN STR.
MT. KISCO (RT 133), NY
(914) 774 - 4003

BASEMENT FL. PLAN

Drawing Title

Notes:

	MAY 10, 1971	
	204-31-2020	
Tag	Description	Date

RVL

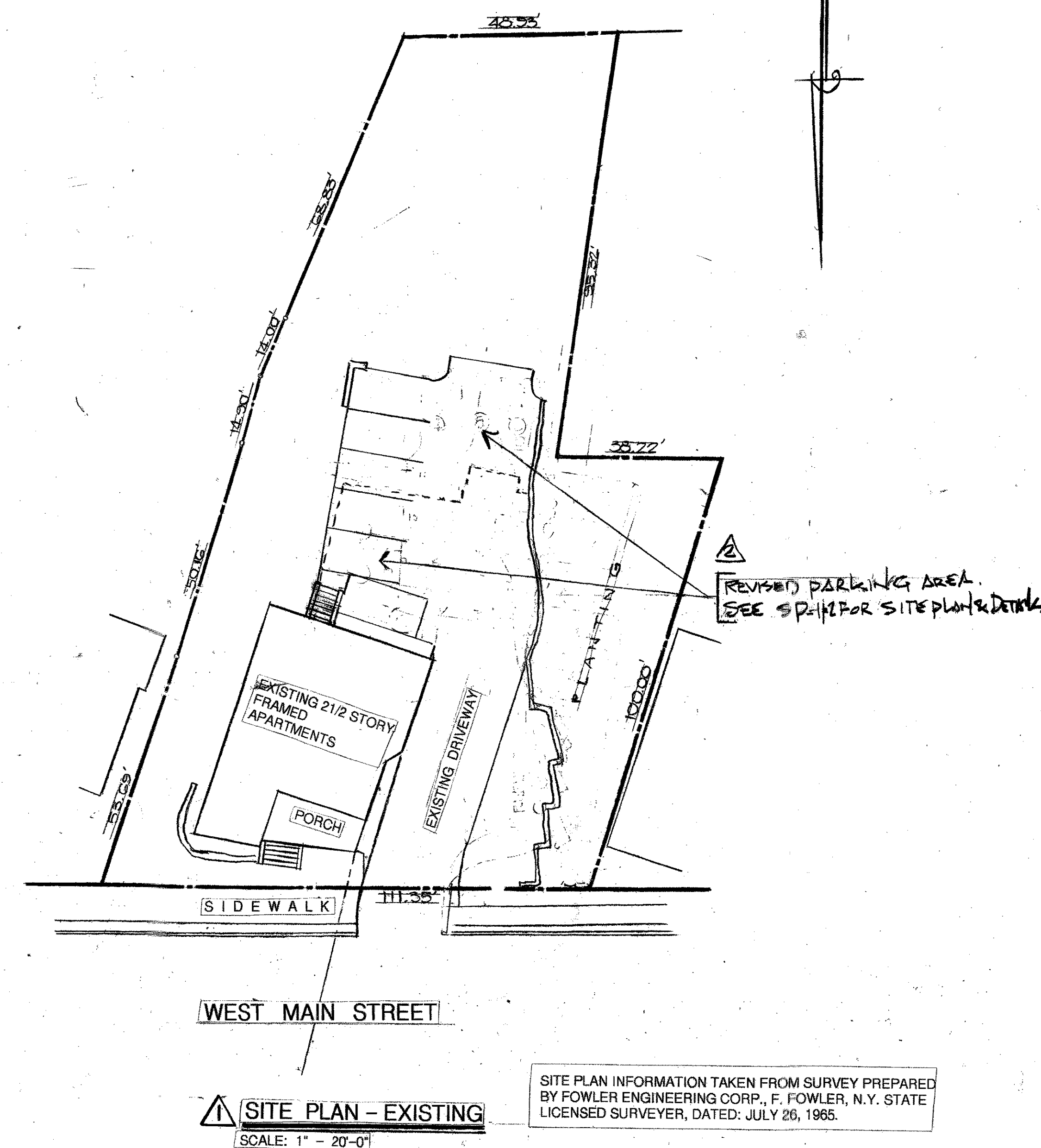
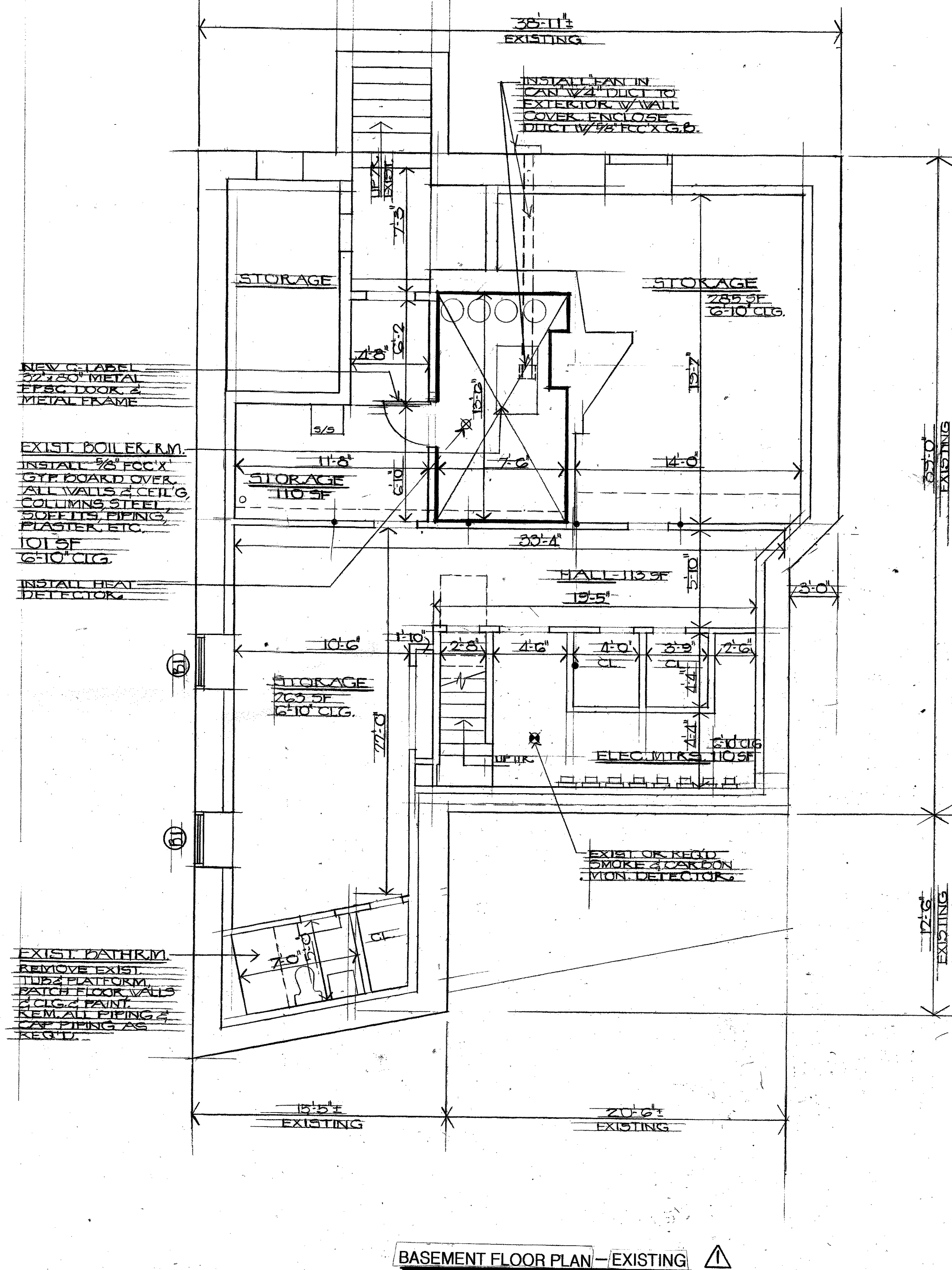
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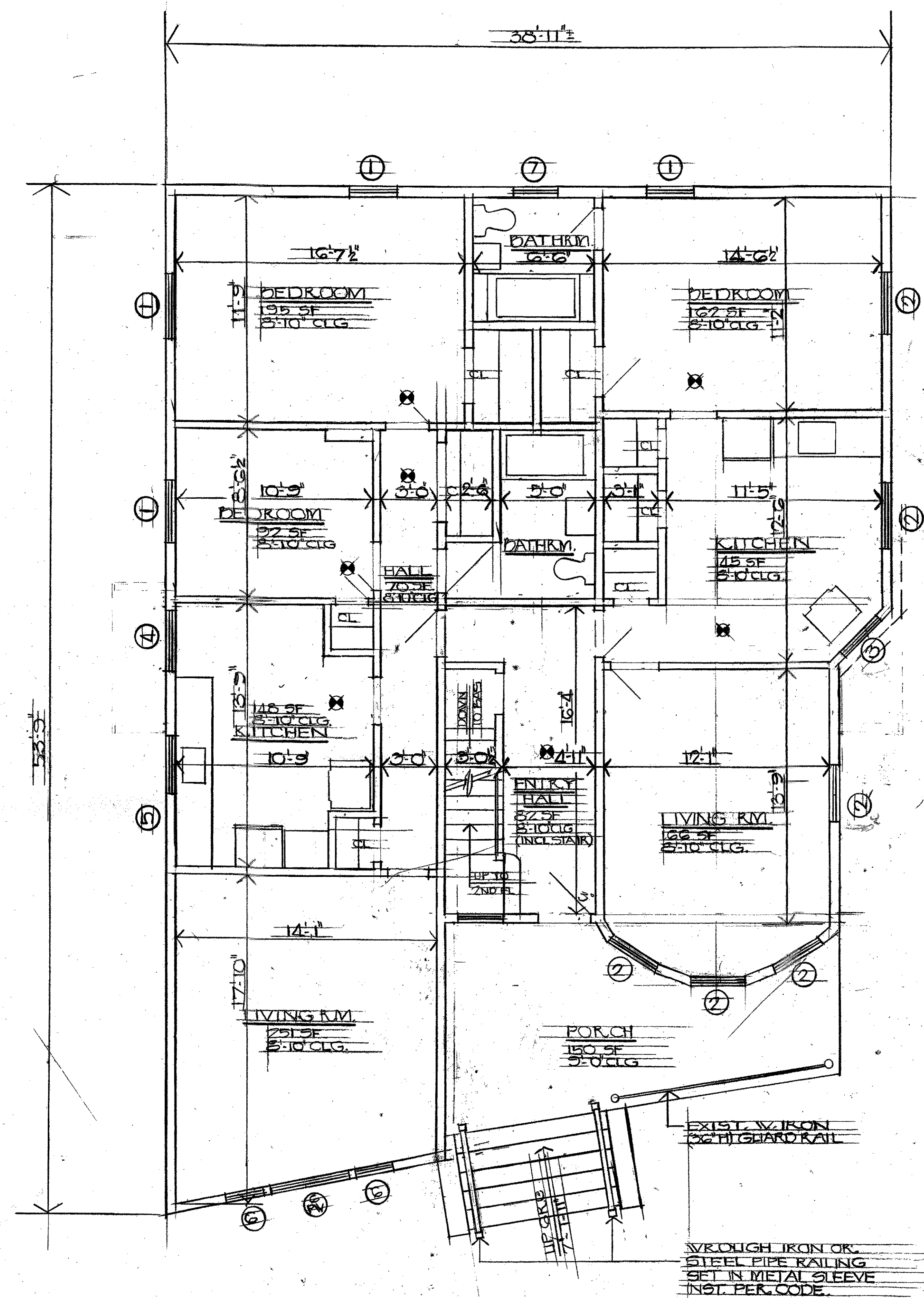
Project Number _____

A1

Drawing Number _____



-  Symbol indicates revisions to Plans A1—A6 for items of information requested by the City of Mt. Kisco, Department of Buildings:
1. Stair detail (code compliance)
 2. Guards / railings (code compliance)
 3. Egress window schedule
 4. Dimensions & square footage
 5. Ceiling heights
 6. Light & ventilation calculations
 7. Parking spaces
 8. Code Compliance Note



FIRST FLOOR PLAN - EXISTING

WINDOW SCHEDULE

WINNUMBER	EXISTING WIN. SIZE	TYPE	GLASS AREA SQ.FT.	VENTING/EGRESS SQ.FT.	LOCATION
B1	31w x 35h	AW	5.8	1.2	Basement Window
1	31w x 62h	DH	9.70	5.37	
2	37w x 72h	DH	13.75	7.46	
3	30w x 72h	DH	10.70	5.70	
4	30w x 68h	DH	12.89	6.99	
5	36w x 36h	DH	5.62	3.03	KITCHEN WINDOW
6	24w x 65h	DH	7.37	4.21	
PW6	60w x 65h	PW	21.64	-0-	PICTURE WINDOW
7	30w x 61h	DH	8.28	4.62	
8	38w x 60h	DH	11.17	6.05	
9	24w x 36h	DH	4.21	2.39	Bathroom
10	36w x 48h	CXW	8.1	7.7	3rd floor-new casement

WINDOW OPENING @ SILL OF FIRST, SECOND AND THIRD FLOOR BEDROOMS SHALL NOT EXCEED 42" IN HEIGHT FROM FINISH FLOOR. WINDOW SILL OPG. FROM FINISH FLOOR SHALL BE NOT LESS THAN 18".

CONTRACTOR SHALL EXAMINE ALL EXISTING WINDOWS (ALL FLOORS) FOR FUNCTION AND OPERATION, CORRECT, REPAIR AND/OR REPLACE PARTS AS REQUIRED AND NECESSARY FOR SMOOTH OPERATION.

SHOWN THUS: EXISTING AND OR NEW SMOKE AND CARBON MONOXIDE DETECTORS, VERIFY QUANTITY, LOCATION AND FUNCTION, REPLACE UNSUITABLES PER CODE.

OWNER & OWNER'S CONTRACTOR GENERAL NOTES & REQUIREMENTS:

A. BUILDING CODE :
CODE COMPLIANCE : EXISTING BUILDING CODE OF NEW YORK BUILDING CODE OF 2010...
STATE - 2010

B. INSPECTIONS & APPROVALS:
All inspections & approvals from all agencies shall be obtained.

C. PLAN DETAILS & SPECIFICATION NOTES:
Plan notes & outline specification notes are complementary.

D. CHANGES TO CONSTRUCTION DOCUMENTS:
No changes are permitted under law to plans for this project. Any field changes of whatever type of scope by the Owner & Contractor are at the sole risk & responsibility of the Owner & Contractor.

WOOD CONSTRUCTION:

- All wood framing shall comply with the requirements of the State and Local Building Codes and with the "National Design Specification for Wood Construction" including supplements of the National Forest Products Association.
- Lumber for joists, studs and built-up members shall be Douglas Fir South No. 1 or equal.
- All headers & trimmers shall be double members unless otherwise noted.
Provide at least double studs at each side of opening in stud wall.
Provide triple studs at wall intersections.

DEMOLITION REQUIREMENTS:

Remove existing walls, finish flooring, underlayment, cabinets, appliances, drywall, plaster, etc.

Coordinate all demolition and alteration required and necessary for removal of electric, HVAC, plumbing, gas, etc.

Verify all load bearing conditions prior to removal of walls and install necessary shoring and temporary walls.

Remove portions of existing sheetrock to expose and accommodate all load bearing partitions, posts and new framing (verify all load bearing conditions prior to demolition)

Provide plastic barriers between existing area and areas of new construction. Protect all adjacent areas to remain undisturbed.

In areas to be demolished, provide adequate structural support for adjacent areas to prevent settlement or shifting of existing walls, roof, etc.

Protect areas adjacent to demolition from damage and from natural elements.

REQUIREMENTS FOR ALL CONTRACTORS & SUB-CONTRACTORS:

- Certificate of Contractor's Liability Insurance shall be filed with Owner.
- Certificate of Subcontractor's Liability Insurance shall be filed with Owner.
- All Contractor's shall carry insurance as follows:
 - Workmen's Compensation as required by law
 - Public Liability including automotive in the amount of not less than \$1,000,000. for one occurrence
 - Property damage including automotive in the amount of not less than \$1,000,000.
 - Umbrella coverage of not less than \$1,000,000.
 - Disability

Any listing of items of operations to be performed shall not be construed to be complete in itself and shall not limit the general requirement to furnish and install all necessary work required to complete the Contract.

All work related to materials shall consist of complete systems, furnished and installed in strict accordance with the printed recommendation of the manufacturer. All materials in the systems shall be provided by a single manufacturer.

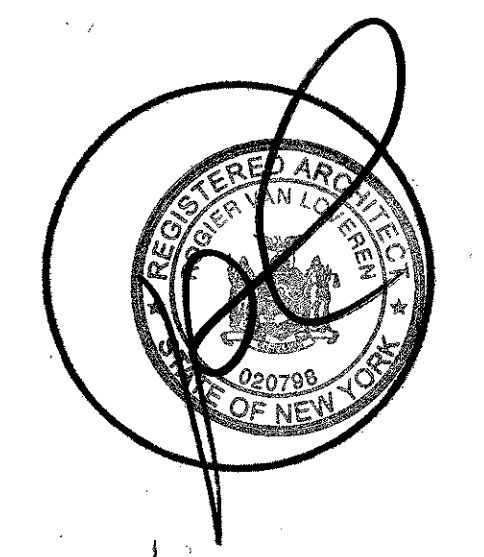
Contractor to provide portable toilet, maintain in clean and sanitary condition. Location to be reviewed on site with Owner.

Dumpster location to be reviewed on site with Owner and is to comply with local ordinances.



Architecture

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Notes:

ALTERATIONS TO
RESIDENCE OF:
F. (NAT) CAMBARERI
52 W. MAIN STR.
MT. KISCO (RT 133), NY
(914) 774 - 4003

FIRST FLOOR PLAN

Drawing Title

Notes:

MAY 10, 13
NOV 26, 13

Tag Description Date

RvL

SCALE: 1/4" = 1'-0"

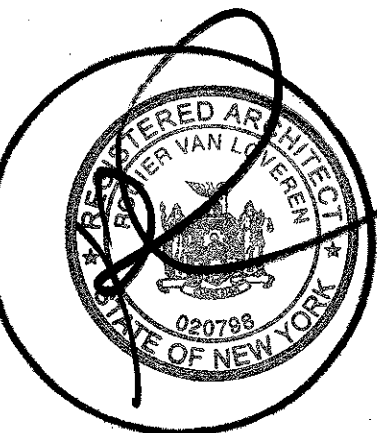
A2

Project Number Drawing Number



Architecture

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Bedford, NY 10506
(914) 234-7823



Notes:

ALTERATIONS TO
RESIDENCE OF:
F. (NAT) CAMBARERI
52 W. MAIN STR.
MT. KISCO (RT 133), NY
(914) 774 - 4003

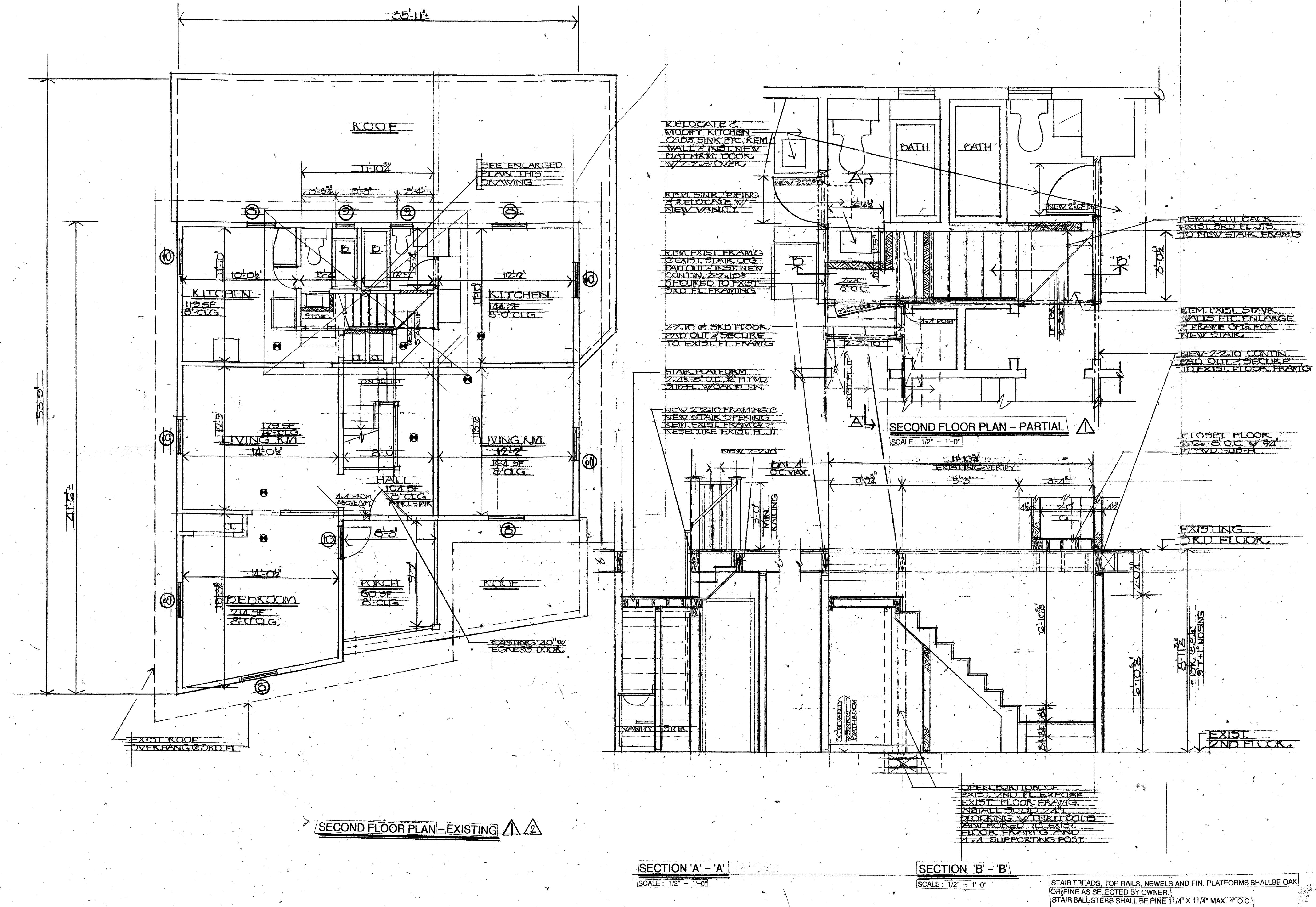
SECOND FLOOR PLAN

Drawing Title

Notes:

△	MAY 10, 19	
△	NOV 26, 19	
Tag	Description	Date
RVL		
Drawn by		
SCALE: 1/4" = 1'-0"		
Project Number		
Drawing Number		

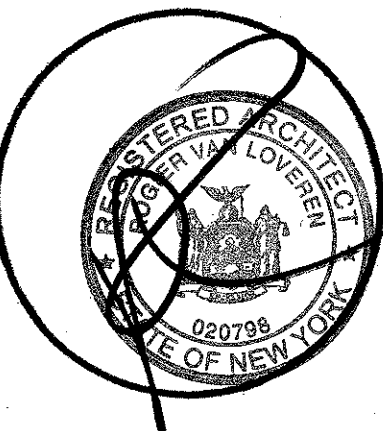
A3





Architecture

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Bedford, NY 10506
(914) 234-7823



Notes:

ALTERATIONS TO
RESIDENCE OF:

F. (NAT) CAMBARERI

52 W. MAIN STR.
MT. KISCO (RT 133), NY

(914) 774 - 4003

THIRD FLOOR PLAN

Drawing Title

Notes:

△	MAY 10, 19	
△	NOV 26, 19	

Tag	Description	Date
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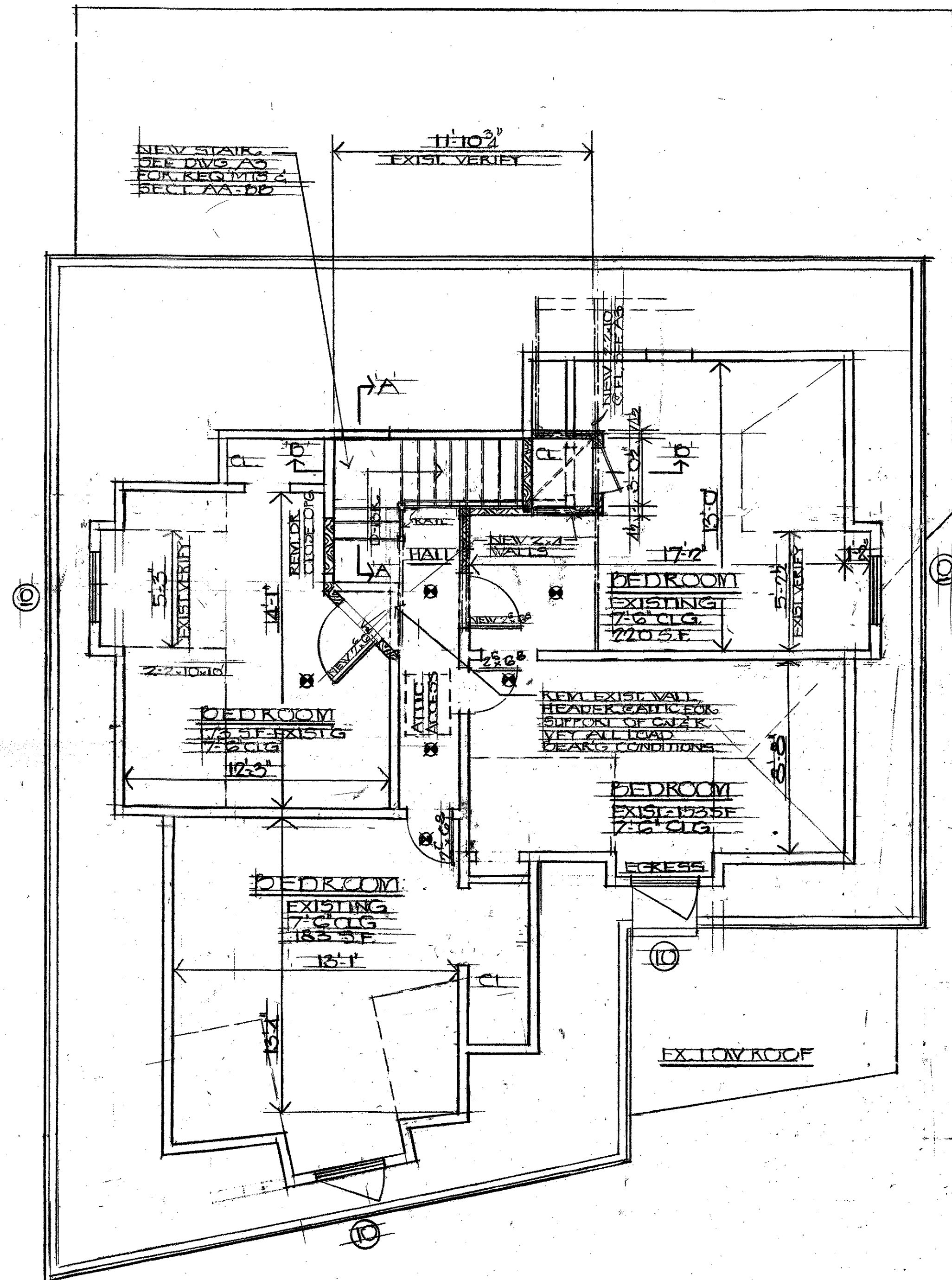
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Drawn by

SCALE: 1/4" = 1'-0"

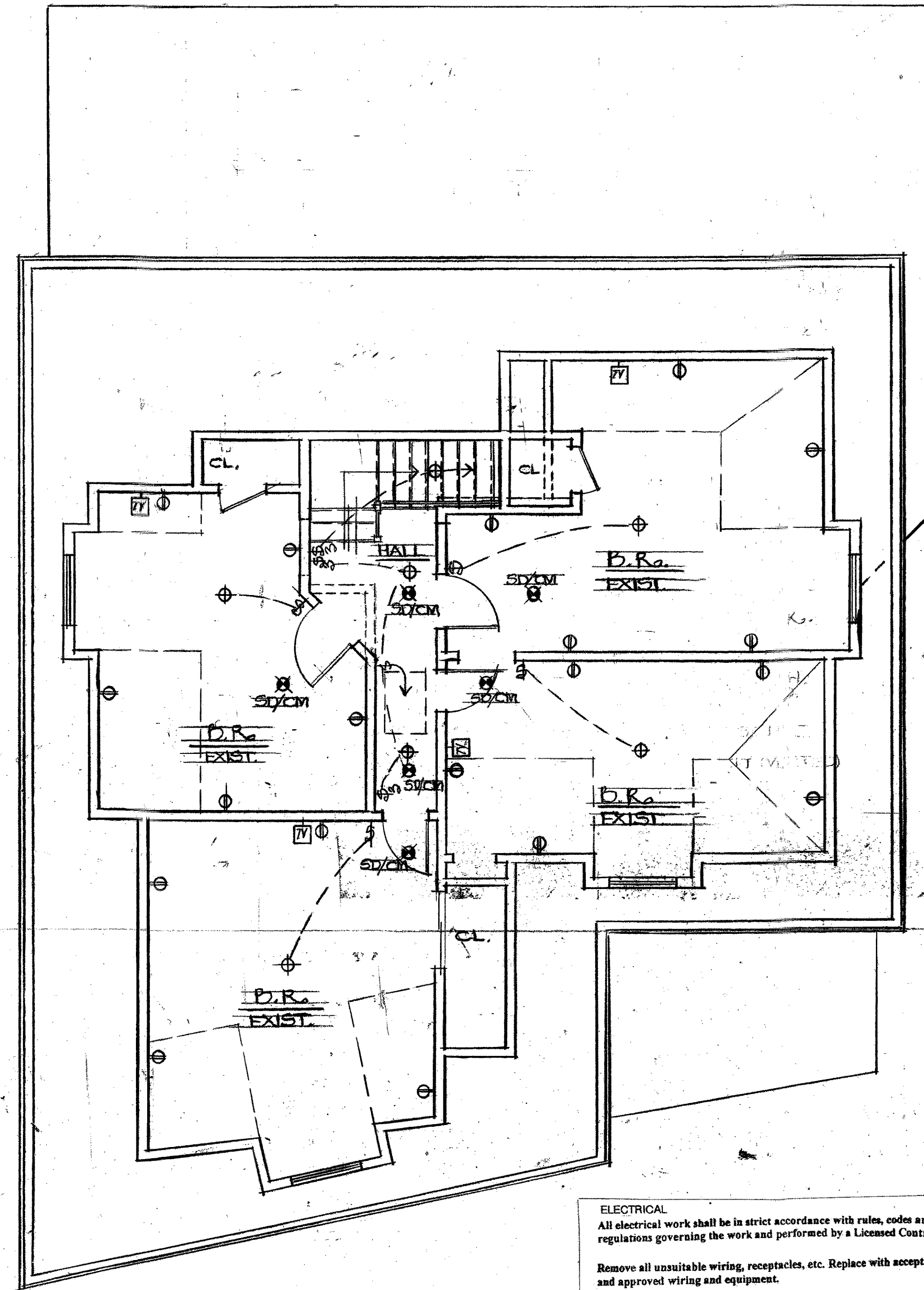
Project Number

A4

Drawing Number



EXISTING THIRD
FLOOR PLAN
ALTERATIONS FOR
NEW STAIR ONLY



ELECTRICAL
All electrical work shall be in strict accordance with rules, codes and regulations governing the work and performed by a Licensed Contractor.

Remove all unsuitable wiring, receptacles, etc. Replace with acceptable and approved wiring and equipment.

All work and materials shall comply with all rules, codes, regulations and standards for Plumbing, Heating, Air-Conditioning, Gas and performed by Licensed Contractors.

Relocate as necessary all existing plumbing piping, etc., sub. wiring, electrical wiring, switches, receptacles, etc. disturbed by the alterations and required to remain.

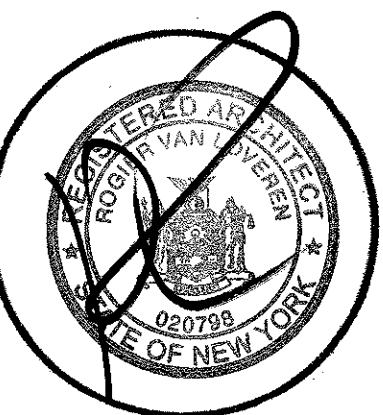
When installing electrical boxes, equipment, electrical finish plates, etc. be sure to clear all finish wood trim, casing, etc.

PROPOSED THIRD
FLOOR ELECTRIC PLAN



Architecture

Roger van Loveren,
ATA, Architect
6 Spruce Pond Lane
Bedford, NY 10506
(914) 234-7823



Notes:

ALTERATIONS TO
RESIDENCE OF:

F. (NAT) CAMBARERI
52 W. MAIN STR.
MT. KISCO (RT 133), NY
(914) 774 - 4003

NORTH ELEVATION
& WEST ELEVATION

Drawing Title

Notes:

△	MAY 10, 19	
△	NOV. 26, 19	

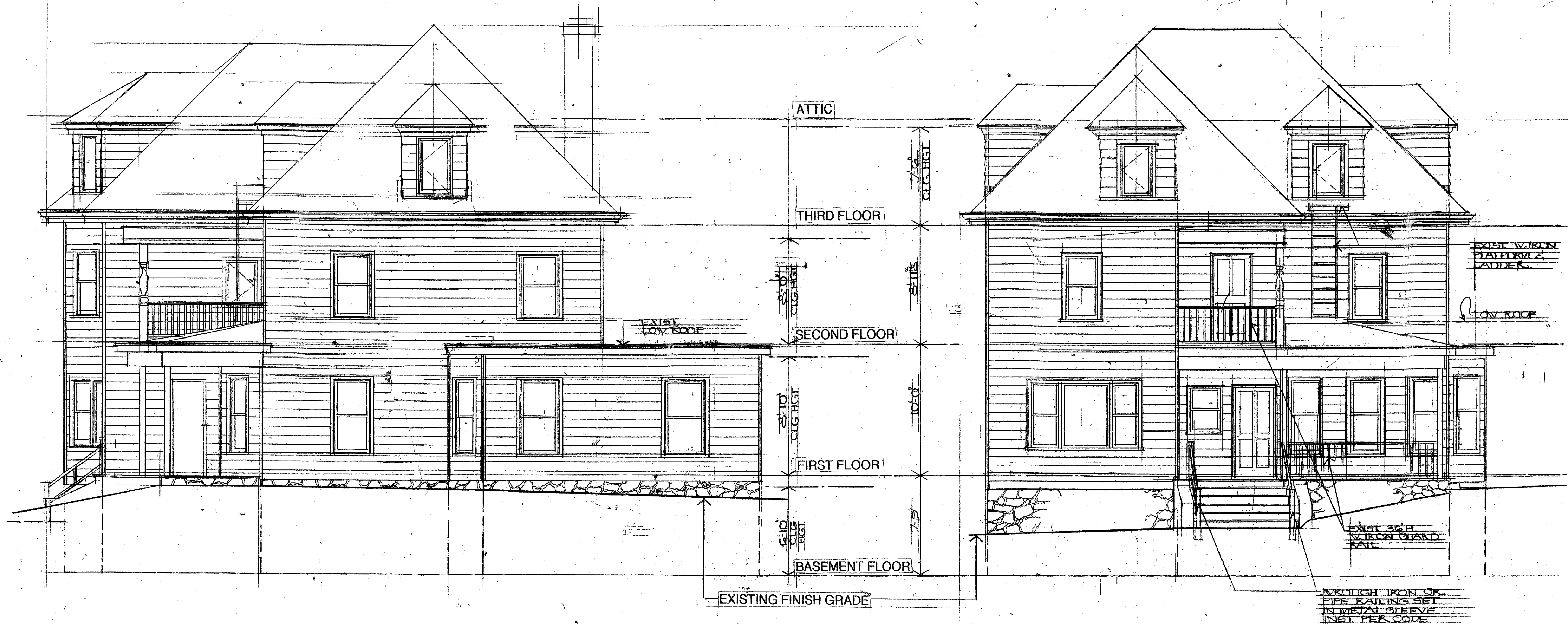
Tag	Description	Date
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RVL		
Drawn by		

SCALE: 1/4" = 1'-0"	
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Project Number	Drawing Number
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A5



WEST ELEVATION

NORTH ELEVATION

Project Number	Drawing Number
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Zoning Board of Appeals 2024 Schedule

Meetings are held the 3rd Tuesday of Each Month, as Needed
7:00 pm

Submission deadline is 21 days prior to Meeting Date
Schedule is subject to change without notice

Submission Deadline	Meeting Date
December 26, 2023	January 16, 2024
January 30, 2024	February 20, 2024
February 27, 2024	March 19, 2024
March 26, 2024	April 16, 2024
April 30, 2024	May 21, 2024
May 28, 2024	June 18, 2024
June 25, 2024	July 16, 2024
<i>August - No Meeting</i>	<i>August - No Meeting</i>
August 27, 2024	September 17, 2024
September 24, 2024	October 15, 2024
October 29, 2024	November 19, 2024
November 26, 2024	December 17, 2024
December 30, 2024	January 21, 2025

*December 30, 2024 Deadline is a Monday due to New Year's Eve