

D:\DRP\DRP\LANDCORE\PROJECTS\2021\01015 - DRHAG - NEW HANOVER PLDRA\DWG\ SITE PLANS\01\_CL\_2101015.DWG  
MICHAEL W. GREGG © 2021-04-04 2:53 PM

PRELIMINARY MAJOR SUBDIVISION PLAN  
FOR  
D.R. HORTON  
PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

OWNER'S CERTIFICATION

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF MONTGOMERY

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY  
APPEARED \_\_\_\_\_, WHO ACKNOWLEDGED HIM/HERSELF TO THE \_\_\_\_\_ OF  
\_\_\_\_\_, A CORPORATION, AND THAT HE/SHE AS SUCH \_\_\_\_\_, BEING  
AUTHORIZED TO SO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY  
SIGNING THE NAME OF THE CORPORATION BY HIM/HERSELF AS \_\_\_\_\_

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

\_\_\_\_\_  
NOTARY PUBLIC COMMISSION EXPIRATION DATE \_\_\_\_\_

OWNERS ACKNOWLEDGEMENT

\_\_\_\_\_, UNDERSIGNED, DULY AUTHORIZED BY OWNER \_\_\_\_\_, HAS  
LAID OUT UPON OWNER'S LAND SITUATE IN NEW HANOVER TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA,  
CERTAIN LOTS AND STREETS ACCORDING TO THE ACCOMPANYING PLANS WHICH ARE INTENDED TO BE RECORDED.

\_\_\_\_\_  
OWNER DATE \_\_\_\_\_

NEW HANOVER TOWNSHIP ENGINEER'S REVIEW

REVIEWED BY THE NEW HANOVER TOWNSHIP ENGINEER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D.  
20\_\_\_\_.

\_\_\_\_\_  
TOWNSHIP ENGINEER'S SIGNATURE

TOWNSHIP BOARD OF SUPERVISOR'S CERTIFICATION

THIS PLAN HAS BEEN APPROVED BY THE NEW HANOVER TOWNSHIP BOARD OF SUPERVISORS THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
ATTESTED: SECRETARY

TOWNSHIP PLANNING COMMISSION CERTIFICATION

THIS PLAN HAS BEEN APPROVED BY THE NEW HANOVER TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
ATTESTED: SECRETARY

RECORDER OF DEEDS

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS FOR MONTGOMERY COUNTY AT NORRISTOWN,  
PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_, PLAN NUMBER \_\_\_\_\_ ON THIS \_\_\_\_\_ DAY OF  
\_\_\_\_\_, A.D. 20\_\_\_\_.

BY: \_\_\_\_\_  
RECORDER OF DEEDS

MCPC No. \_\_\_\_\_

PROCESSED AND REVIEWED: REPORT PREPARED BY  
MONTGOMERY COUNTY PLANNING COMMISSION  
IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.

CERTIFIED ON THIS DATE \_\_\_\_\_

\_\_\_\_\_  
MONTGOMERY COUNTY PLANNING COMMISSION

RECORDING NOTE

THIS SHEET, ALONG WITH SHEET 3 & 4 AND THE APPROPRIATE  
SHEETS FROM THE POST CONSTRUCTION STORMWATER  
MANAGEMENT PLANS, TO BE RECORDED TOGETHER WITH THE  
MONTGOMERY COUNTY RECORDER OF DEEDS; ALL REMAINING  
SHEETS SHALL BE ON FILE WITH SHIPPOCK TOWNSHIP AND SHALL BE  
CONSIDERED A PART OF THE APPROVED FINAL PLANS.

APPLICANT'S ENGINEER'S CERTIFICATION

I, ROLPH A. GRAF, A PENNSYLVANIA PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THE SUBDIVISION AND/OR  
LAND DEVELOPMENT SHOWN HEREON COMPLIES WITH ALL APPLICABLE REGULATIONS INCLUDING, BUT NOT  
LIMITED TO, THE TOWNSHIP ZONING AND SUBDIVISION & LAND DEVELOPMENT REGULATIONS

\_\_\_\_\_  
ROLPH A. GRAF P.E.

APPLICANT

D.R. HORTON

2040 BRIGGS ROAD, SUITE A  
MOUNT LAUREL, NEW JERSEY 08054

OWNER OF RECORD

RFB PHILADELPHIA PROPERTIES LLC

50 SOUTH 16TH STREET, SUITE 2400  
PHILADELPHIA, PENNSYLVANIA 19102

SHEET INDEX

COVER SHEET	CL	1	OF 31	ROAD A PROFILE	PR1	17	OF 31
OVERALL RECORD PLAN	RPO	2	OF 31	ROAD A PROFILE "CONTINUED"	PR2	18	OF 31
RECORD PLAN	RP1	3	OF 31	ROAD B & MILES ROAD EXTENSION PROFILES	PR3	19	OF 31
RECORD PLAN	RP2	4	OF 31	STORM PROFILES	PR4	20	OF 31
EXISTING CONDITIONS / DEMOLITION PLAN	ECD1	5	OF 31	STORM PROFILES	PR5	21	OF 31
EXISTING CONDITIONS / DEMOLITION PLAN	ECD2	6	OF 31	STORM DETAILS	DS1	22	OF 31
OVERALL SITE PLAN	SPO	7	OF 31	STORM DETAILS	DS2	23	OF 31
SITE PLAN	SP1	8	OF 31	STORM DETAILS	DS3	24	OF 31
SITE PLAN	SP2	9	OF 31	CONSTRUCTION DETAILS	DT1	25	OF 31
GRADING and DRAINAGE PLAN	GP1	10	OF 31	CONSTRUCTION DETAILS	DT2	26	OF 31
GRADING and DRAINAGE PLAN	GP2	11	OF 31	CONSTRUCTION DETAILS	DT3	27	OF 31
UTILITIES PLAN	UP1	12	OF 31	EROSION & SEDIMENT CONTROL PLAN	ES1	28	OF 31
UTILITIES PLAN	UP2	13	OF 31	EROSION & SEDIMENT CONTROL PLAN	ES2	29	OF 31
STORM SEWER CHART	SC	14	OF 31	EROSION & SEDIMENT CONTROL NOTES	NE	30	OF 31
LIGHTING & LANDSCAPING PLAN	LP1	15	OF 31	EROSION & SEDIMENT CONTROL DETAILS	DE	31	OF 31
LIGHTING & LANDSCAPING PLAN	LP2	16	OF 31				

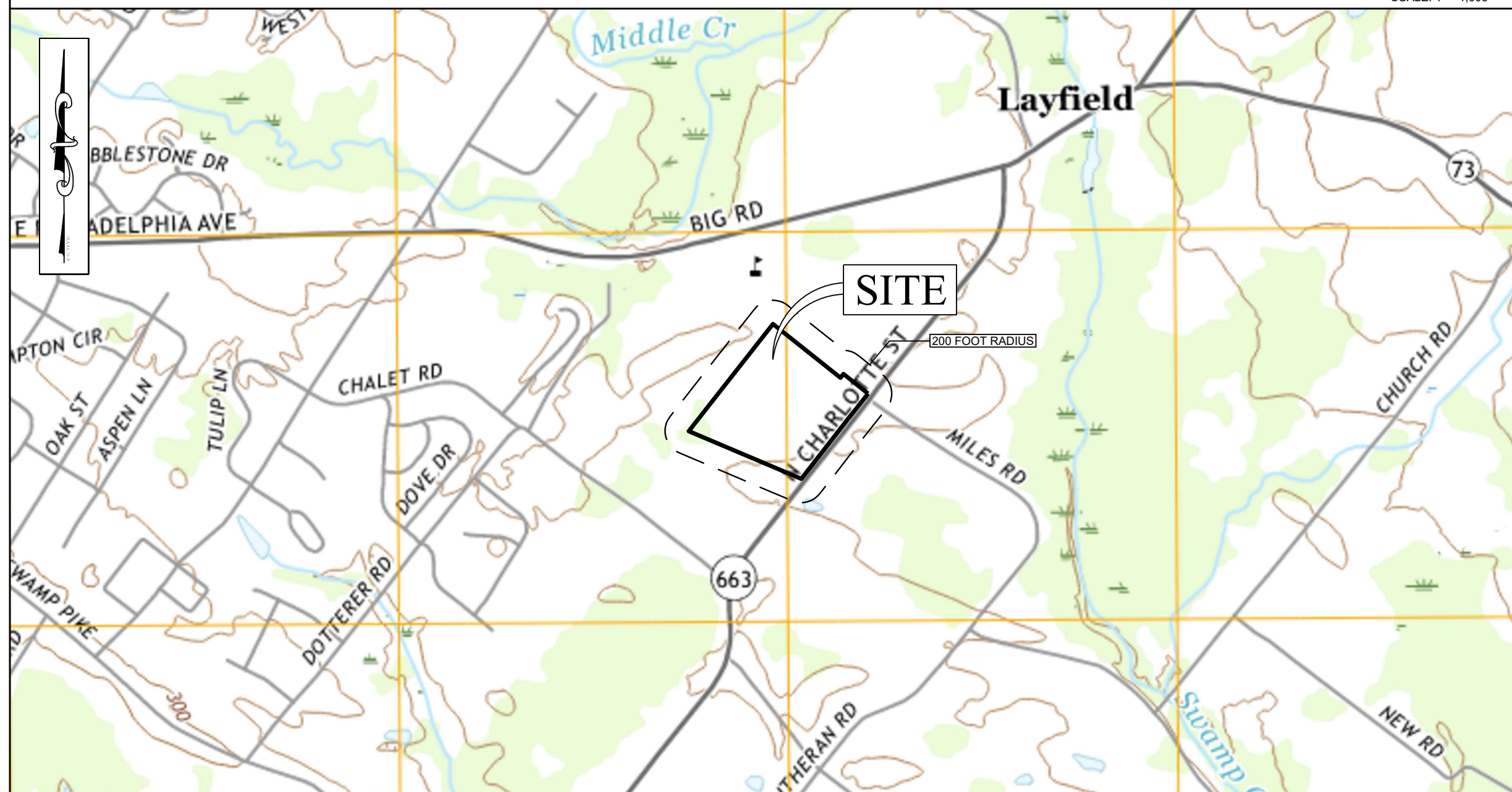
LOCATION MAP

SCALE: 1" = 600'



USGS MAP

SCALE: 1" = 1,000'



PROJECT:	2101015	DRAWN BY:	M. RIEZEL	CHECKED BY:	R. GRAF	CAD D.D.:	01_CL_210015
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT PARCEL 45-00-03816-01-16 NEW HANOVER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA APPLICANT: D.R. HORTON TITLE: COVER SHEET							
DATE: 2021-04-16 SHEET: 1 of 31 REV. No.: CL 0							

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE No. 41814-E  
PRELIMINARY PLAN  
NOT TO BE RECORDED

LANDCORE  
Engineering Consultants, P.C.  
PHONE 215-988-8800 | FAX 215-988-8840  
PO BOX 37558 #8387  
PHILADELPHIA, PENNSYLVANIA 19101-0835  
LANDCORECONSULTING.COM



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Call before you dig  
PENNSYLVANIA ONE CALL  
DIAL 811 or 800.242.1776  
PA1CALL.org

TICKET #: Ticket Num.

LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
1	4,080	0.094
2	4,080	0.094
3	4,080	0.094
4	4,080	0.094
5	4,080	0.094
6	4,080	0.094
7	4,080	0.094
8	4,080	0.094
9	4,669	0.107
10	4,678	0.107
11	4,675	0.107
12	4,675	0.107
13	4,675	0.107
14	4,675	0.107
15	4,675	0.107
16	4,675	0.107
17	4,675	0.107
18	4,675	0.107
19	4,774	0.110
20	4,080	0.094
21	4,080	0.094
22	4,080	0.094
23	4,425	0.102
24	4,662	0.107
25	4,662	0.107
26	4,662	0.107
27	4,662	0.107
28	4,662	0.107
29	4,662	0.107
30	4,662	0.107
31	4,662	0.107
32	4,662	0.107
33	4,080	0.094
34	4,080	0.094
35	4,080	0.094
36	4,080	0.094
37	4,080	0.094
38	4,080	0.094
39	4,080	0.094
40	6,454	0.148
41	6,214	0.143
42	2,640	0.061
43	2,640	0.061
44	2,640	0.061
45	4,440	0.102
46	4,440	0.102
47	2,640	0.061
48	2,640	0.061
49	2,640	0.061
50	4,440	0.102
51	4,440	0.102
52	2,640	0.061
53	2,640	0.061
54	2,636	0.061
55	4,253	0.098
56	4,440	0.102
57	2,640	0.061
58	4,440	0.102
59	4,440	0.102
60	2,640	0.061
61	4,508	0.103
62	4,493	0.103
63	2,640	0.061
64	2,640	0.061
65	2,640	0.061
66	4,440	0.102
67	4,440	0.102
68	2,640	0.061
69	2,640	0.061
70	2,640	0.061
71	4,440	0.102
72	4,440	0.102
73	2,640	0.061
74	2,640	0.061
75	2,640	0.061
76	6,355	0.146
77	4,448	0.102
78	2,640	0.061
79	4,440	0.102
80	5,136	0.118
81	4,079	0.094
82	4,080	0.094
83	4,080	0.094
84	4,080	0.094
85	4,079	0.094
86	4,080	0.094
87	4,079	0.094
88	4,080	0.094
89	4,080	0.094
90	4,080	0.094
91	4,080	0.094
92	4,080	0.094
93	6,434	0.148

(1) SITE CAPACITY CALCULATIONS		
LOT NUMBER	AREA (SF)	AREA (AC)
TOTAL SITE AREA (TO TITLE LINE)		23.265
SUBTRACT RESTRICTIONS		
AREA TO LEGAL ROW		0.000
AREA TO ULTIMATE ROW		0.000
EXISTING UTILITY ROW		0.000
LAND WHICH IS NOT CONTIGUOUS OR WHICH IS SEPARATED FROM THE PARCEL BY ROAD		0.000
LAND DESIGNATED WITH ANOTHER ZONING DISTRICT CLASSIFICATION		0.000
LAND SHOWN ON A PREVIOUS SUBDIVISION OR LAND DEVELOPMENT PLAN AS RESERVED FOR OPEN SPACE		0.000
BASE SITE AREA		23.265

OPEN SPACE DEDICATION STATEMENT  
OPEN SPACES ARE OFFERED FOR DEDICATION TO NEW HANOVER TOWNSHIP.

DEVELOPMENT STATISTICS		
	SF	Acres
TOTAL LOT AREAS:	377,312	8.662
AVERAGE LOT SIZE:	4,057	0.093
MINIMUM LOT SIZE:	2,636	0.061
PROPOSED LENGTH OF NEW STREETS:	2,805	LF

(2) LAND WITH RESOURCE RESTRICTION AND RESOURCE PROTECTION LAND (NORTH TRACT)						
RESOURCE	(A) TOTAL RESOURCE PROTECTION LAND (AC)	(B) AREA LOCATED IN A MORE RESTRICTIVE RESOURCE (AC)	(C) RESOURCE PROTECTION LAND EXCLUSIVE OF MORE RESTRICTIVE RESOURCE (A-B) (AC)	(D) OPEN SPACE RATIO	(E) RECOURSE PROTECTION LAND (C x D) (AC)	(F) PROPOSED PROTECTION AREA (AC)
FLOOD WAY (a)	0.000	0.000	0.000	1.0	0.000	0.000
FLOOD FRINGE (a)	0.000	0.000	0.000	0.8	0.000	0.000
APPROX. 100 YEAR FLOODPLAIN (a)	0.000	0.000	0.000	1.0	0.000	0.000
FLOODPLAIN SOILS (a)	0.000	0.000	0.000	1.0	0.000	0.000
WOODLANDS (c)	1.954	0.000	1.954	0.5	0.977	0.000
WATER COURSES (a)	0.000	0.000	0.000	1.0	0.000	0.000
WETLANDS (b)	0.060	0.000	0.060	1.0	0.060	0.000
WETLAND MARGINS (c)	0.126	0.000	0.126	0.8	0.101	0.000
LAND WITH RESOURCE RESTRICTIONS			2.140			
RESOURCE PROTECTION AND RECREATION LAND				1.138		
(b) NO NATURAL RESOURCES ARE PRESENT.						
(b) THIS IS THE MOST RESTRICTIVE RESOURCE.						
(c) THIS AREA IS NOT LOCATED IN ANY MORE RESTRICTIVE RESOURCE AREAS.						

(3) RECREATION LAND	
BASE SITE AREA	23.265
SUBTRACT LAND WITH RESOURCE RESTRICTIONS	1.138
REMAINDER	22.127
MULTIPLY BY 1/3 MINIMUM OPEN SPACE RATIO	x 1/3
RECREATION LAND	7.376
(4) COMBINE RESOURCE PROTECTION LAND AND RECREATION LAND	
RESOURCE PROTECTION LAND	1.138
ADD RECREATION LAND (3)	7.376
RESOURCE PROTECTION LAND AND RECREATION LAND	8.513
(5) STANDARD MINIMUM OPEN SPACE	
BASE SITE AREA	23.265
MULTIPLY BY MINIMUM OPEN SPACE (35%)	x 0.35
STANDARD MINIMUM OPEN SPACE	8.143

(6) DETERMINE REQUIRED OPEN SPACE	
THE REQUIRED OPEN SPACE IS THE RESOURCE PROTECTION AND RECREATION LAND OR STANDARD MINIMUM OPEN SPACE, WHICHEVER IS GREATER	
RESOURCE PROTECTION AND RECREATION LAND	8.513
STANDARD MINIMUM OPEN SPACE (5)	8.143
REQUIRED OPEN SPACE	8.513

(7) NET BUILDABLE SITE AREA	
BASE SITE AREA	23.265
SUBTRACT REQUIRED OPEN SPACE	8.513
NET BUILDABLE SITE AREA	14.752

(8) NUMBER OF DWELLING UNITS / LOTS	
BASE SITE AREA	23.265
MULTIPLY BY MAXIMUM DENSITY	4 UNITS / ACRE
NUMBER OF DWELLING UNITS	93.1 UNITS

(9) IMPERVIOUS SURFACES	
BASE SITE AREA	23.265
MULTIPLY BY MAXIMUM IMPERVIOUS SURFACE RATIO (30%)	x 0.30
IMPERVIOUS SURFACES	8.143

(10) SITE CAPACITY SUMMARY	
REQUIRED OPEN SPACE (6)	8.513
NET BUILDABLE SITE AREA (7)	14.752
MAXIMUM DWELLING UNITS / LOTS (8)	93.1 UNITS
NUMBER OF DWELLING UNITS PROPOSED	93 UNITS

(11) TOWNSHIP QUALIFIED OPEN SPACE	
REQUIRED OPEN SPACE (6)	8.513
TOTAL OPEN SPACE	10.669
POTENTIAL STORMWATER MANAGEMENT FACILITIES	1.718
PROVIDED TOWNSHIP QUALIFIED OPEN SPACE	8.941

(12) PARKING REQUIREMENTS	
SINGLE FAMILY DWELLING	
2.25 SPACES PER DWELLING UNIT	93 UNITS x 2.25 = 210
PROPOSED	
2 SPACES PER DRIVEWAY (54 TWIN / 18 END UNITS)	144
1 SPACE PER DRIVEWAY (21 INTERNAL UNITS)	21
PARKING STALLS	63
TOTAL PROPOSED	218

RECORD PLAN LEGEND	
	PROPERTY LINE (PL)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (INTERIOR)
	PROP. PROPERTY LINE (ROW)
	PROP. ROADWAY CENTERLINE
	BUFFER LINE
	PROP. EASEMENT LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS

BUILDING UNIT TYPES		
60% MAXIMUM	TOWNHOUSE UNITS	39 = 39 / 93 = 41.9%
15% MINIMUM	TWIN UNITS	54 = 54 / 93 = 58.1%

ZONING DATA		
DATA TAKEN FROM NEW HANOVER TOWNSHIP ZONING DISTRICT CLASSIFICATION:		
R-15 (RESIDENTIAL DISTRICT)		
B2 PERFORMANCE DEVELOPMENT (TWIN)		
PROPOSED USE: RESIDENTIAL DEVELOPMENT		
CRITERIA	REQUIRED	PROPOSED
MINIMUM LOT AREA (SF)	4,000	4,079
MINIMUM LOT WIDTH @ SETBACK (FT)	30	30
MINIMUM FRONT YARD (FT)	30	30
MINIMUM SIDE YARD (FT)	10	10
MINIMUM REAR YARD (FT)	20	20
MAXIMUM BUILDING COVERAGE (SF)	1,400	1,100
MAXIMUM BUILDING COVERAGE (%)	35%	27.0%
MAXIMUM BUILDING HEIGHT (FT)	35	< 35

DATA TAKEN FROM NEW HANOVER TOWNSHIP ZONING DISTRICT CLASSIFICATION:		
R-15 (RESIDENTIAL DISTRICT)		
B2 PERFORMANCE DEVELOPMENT (TOWNHOUSE)		
PROPOSED USE: RESIDENTIAL DEVELOPMENT		
CRITERIA	REQUIRED	PROPOSED
MINIMUM LOT AREA (SF)	2,000	2,621
MINIMUM LOT WIDTH (FT)	22	22
MINIMUM STREET LINE SETBACK (FT)	30	30
MINIMUM REAR YARD (FT)	20	20
MINIMUM BUILDING SEPARATION (FT)	30	30
MINIMUM PARKING AREA SETBACK (FT)	10	20.8
MINIMUM PEDESTRIAN WALKWAY SETBACK (FT)	5	31.4
MINIMUM BUILDING COVERAGE (SF)	1,000	1,100
MINIMUM BUILDING COVERAGE (%)	50%	42.0%
MAXIMUM BUILDING HEIGHT (FT)	35	< 35

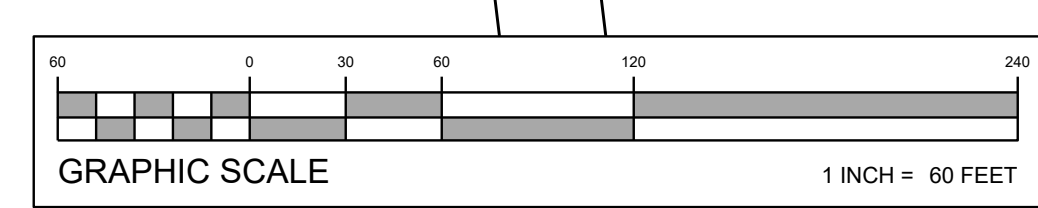
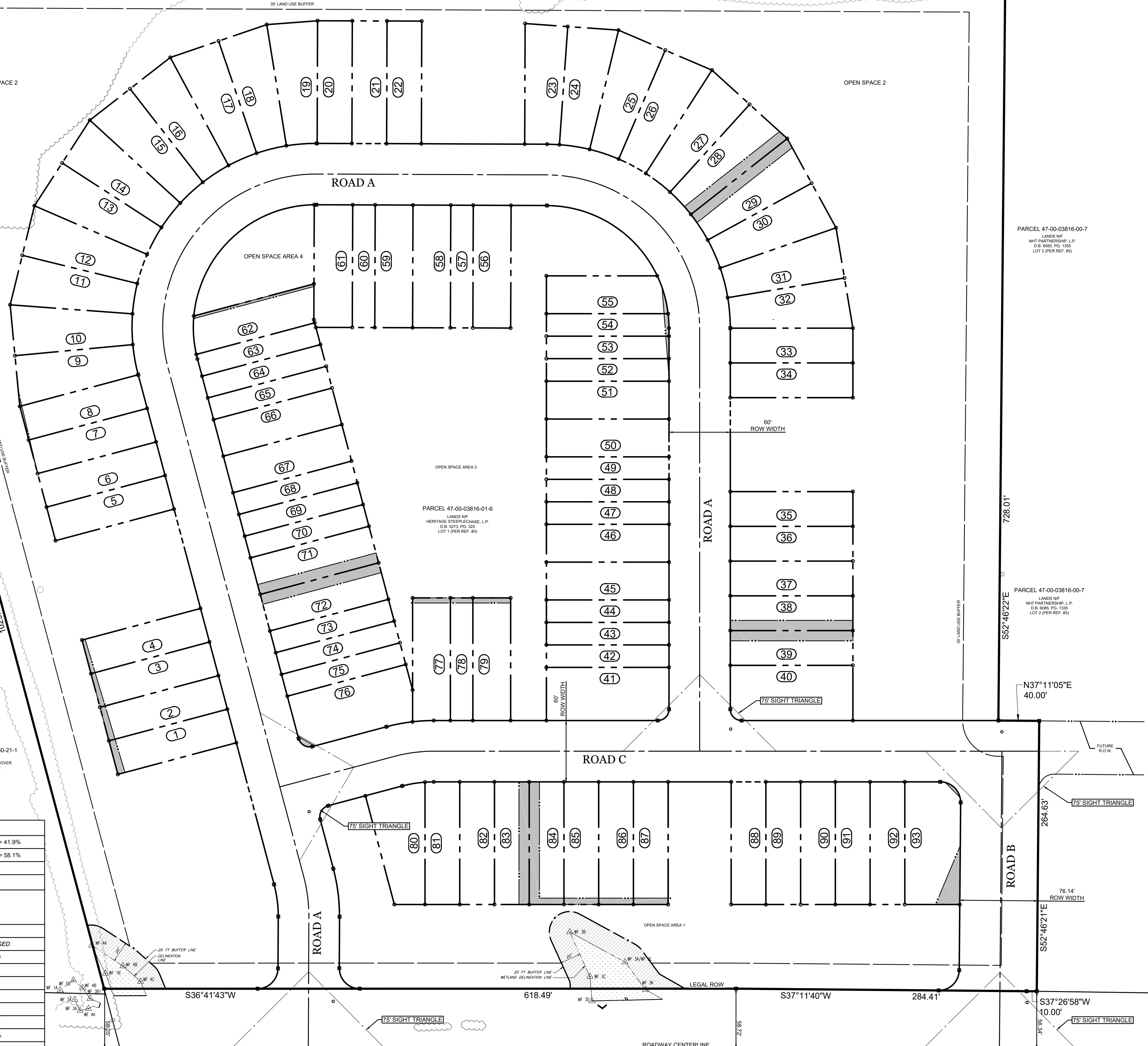
PARCEL 47-00-03360-21-1  
TOWNSHIP OF NEW HANOVER  
D.B. 4718, PG. 121

PARCEL 47-00-00236-00-5  
LANDS NE  
BOYERTOWN AREA SCHOOL DISTRICT  
D.B. 4718, PG. 141  
BLOCK 36, LOT 1

PARCEL 47-00-00236-00-5  
LANDS NE  
BOYERTOWN AREA SCHOOL DISTRICT  
D.B. 4718, PG. 141  
BLOCK 36, LOT 18

PARCEL 47-00-03816-00-7  
LANDS NE  
NHT PARTNERSHIP, L.P.  
D.B. 6086, PG. 133  
LOT 2 (PER REF. #5)

PARCEL 47-00-03816-00-7  
LANDS NE  
NHT PARTNERSHIP, L.P.  
D.B. 6086, PG. 133  
LOT 2 (PER REF. #5)



PROJECT: 210015  
DRAWN BY: M. RIEDEL  
CHECKED BY: R. GRAF  
CADD ID: 02-03-04\_RP\_210015

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

PRELIMINARY PLAN  
NOT TO BE RECORDED

**LANDCORE**  
Engineering Consultants, P.C.  
PO BOX 3558 #8387  
PHILADELPHIA, PENNSYLVANIA 19104-0835  
PHONE 215-588-8800 | FAX 215-588-8840  
LANDCORECONSULTING.COM

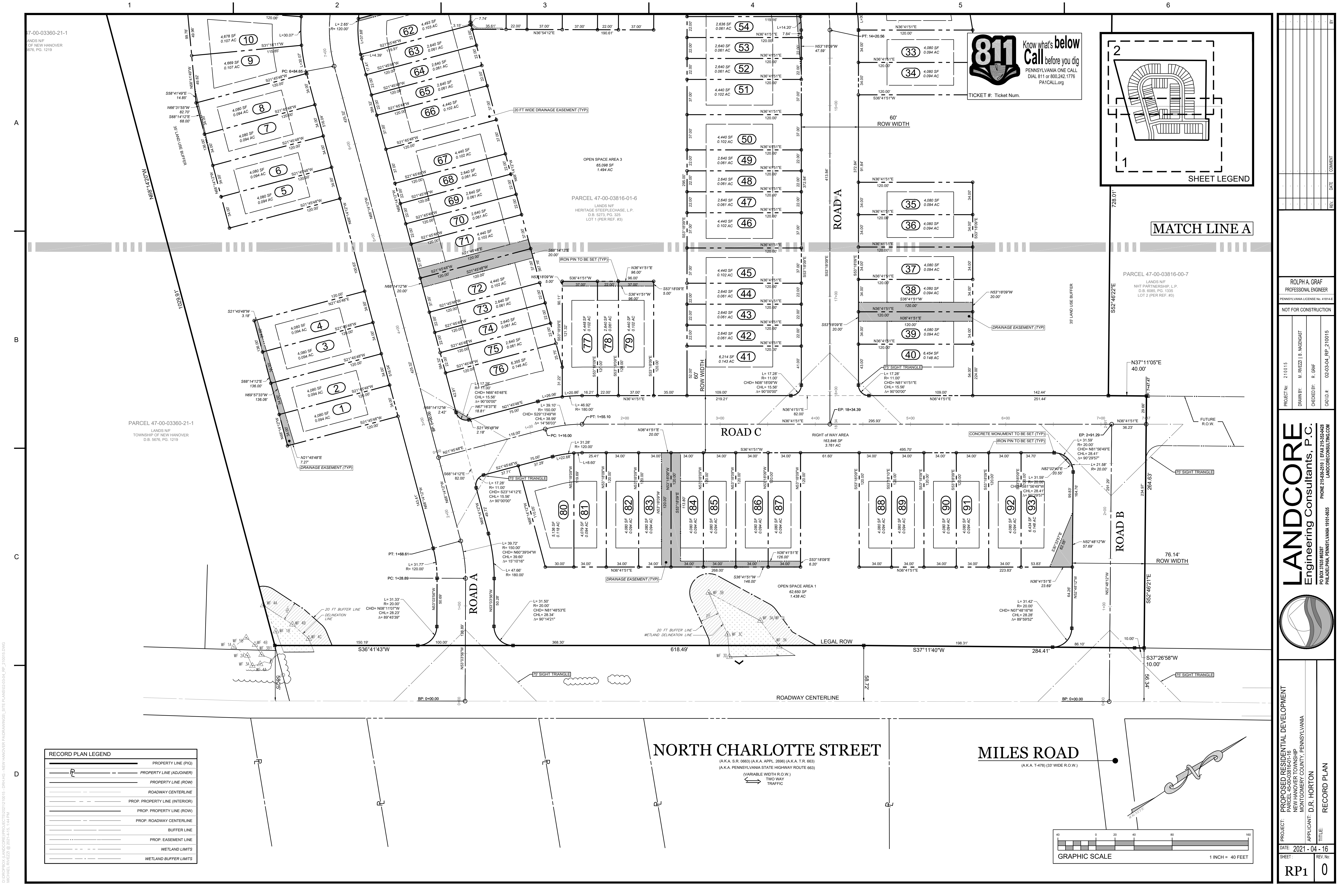
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICANT: D.R. HORTON

TITLE: OVERALL RECORD PLAN

DATE: 2021-04-16  
SHEET: 2 of 27  
REV. NO.: 0





7-00-03360-21-1 LANDS N/F OF NEW HANOVER #676, PG. 1219	1	2	3	4	5	6
A	<div>811 Know what's below Call before you dig PENNSYLVANIA ONE CALL DIAL 811 or 800.242.1776 PA1CALL.org TICKET #: Ticket Num.</div>					
B	<div>SHEET LEGEND</div>					
C	<div>MATCH LINE A</div>					
D	<div>PARCEL 47-00-03360-21-1 LANDS N/F TOWNSHIP OF NEW HANOVER D.B. 5276, PG. 1219</div>					

RECORD PLAN LEGEND	
	PROPERTY LINE (PIQ)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (INTERIOR)
	PROP. PROPERTY LINE (ROW)
	PROP. ROADWAY CENTERLINE
	BUFFER LINE
	PROP. EASEMENT LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS

PROJECT: 210015  
DRAWN BY: M. RIEDEL  
CHECKED BY: R. GRAF  
CADD: R. GRAF

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E  
NOT FOR CONSTRUCTION

**LANDCORE**  
Engineering Consultants, P.C.  
PHILADELPHIA, PENNSYLVANIA 19104-0633  
PHONE 215-588-8800 | FAX 215-588-8800  
PO BOX 3558 #8337

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA  
APPLICANT: D.R. HORTON  
TITLE: RECORD PLAN  
DATE: 2021-04-16  
SHEET: RP1  
REV. NO.: 0



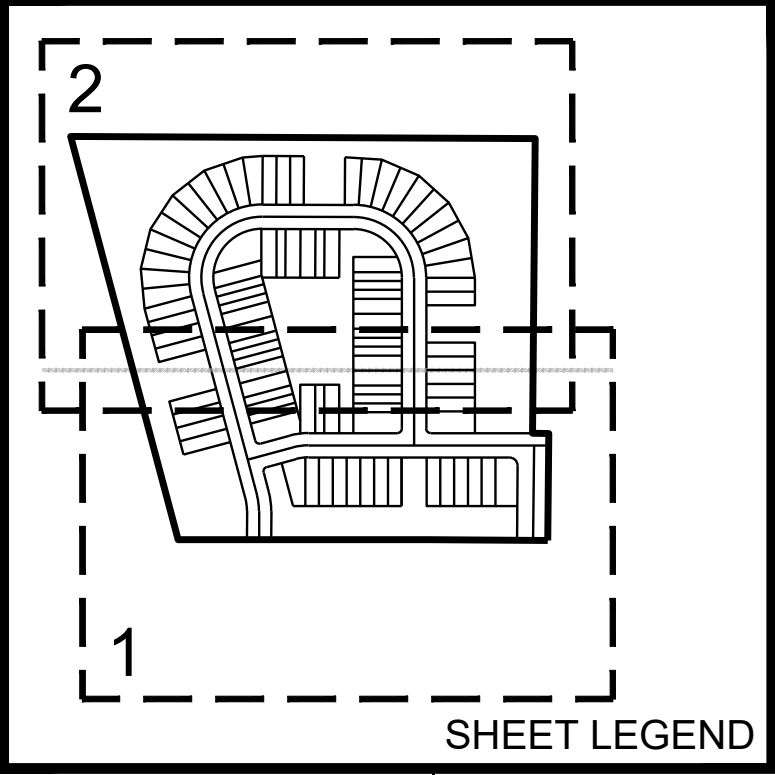
RECORD PLAN LEGEND	
	PROPERTY LINE (PIQ)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (INTERIOR)
	PROP. PROPERTY LINE (ROW)
	PROP. ROADWAY CENTERLINE
	BUFFER LINE
	PROP. EASEMENT LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS

811

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TICKET #: Ticket Num.



PARCEL 47-00-00236-00-5  
LANDS N/F  
BOYERTOWN AREA SCHOOL DISTRICT  
D.B. 4718, PG. 141  
BLOCK 42, LOT 1

PARCEL 47-00-00236-00-5  
LANDS N/F  
BOYERTOWN AREA SCHOOL DISTRICT  
D.B. 4718, PG. 141  
BLOCK 36, LOT 19

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E  
NOT FOR CONSTRUCTION

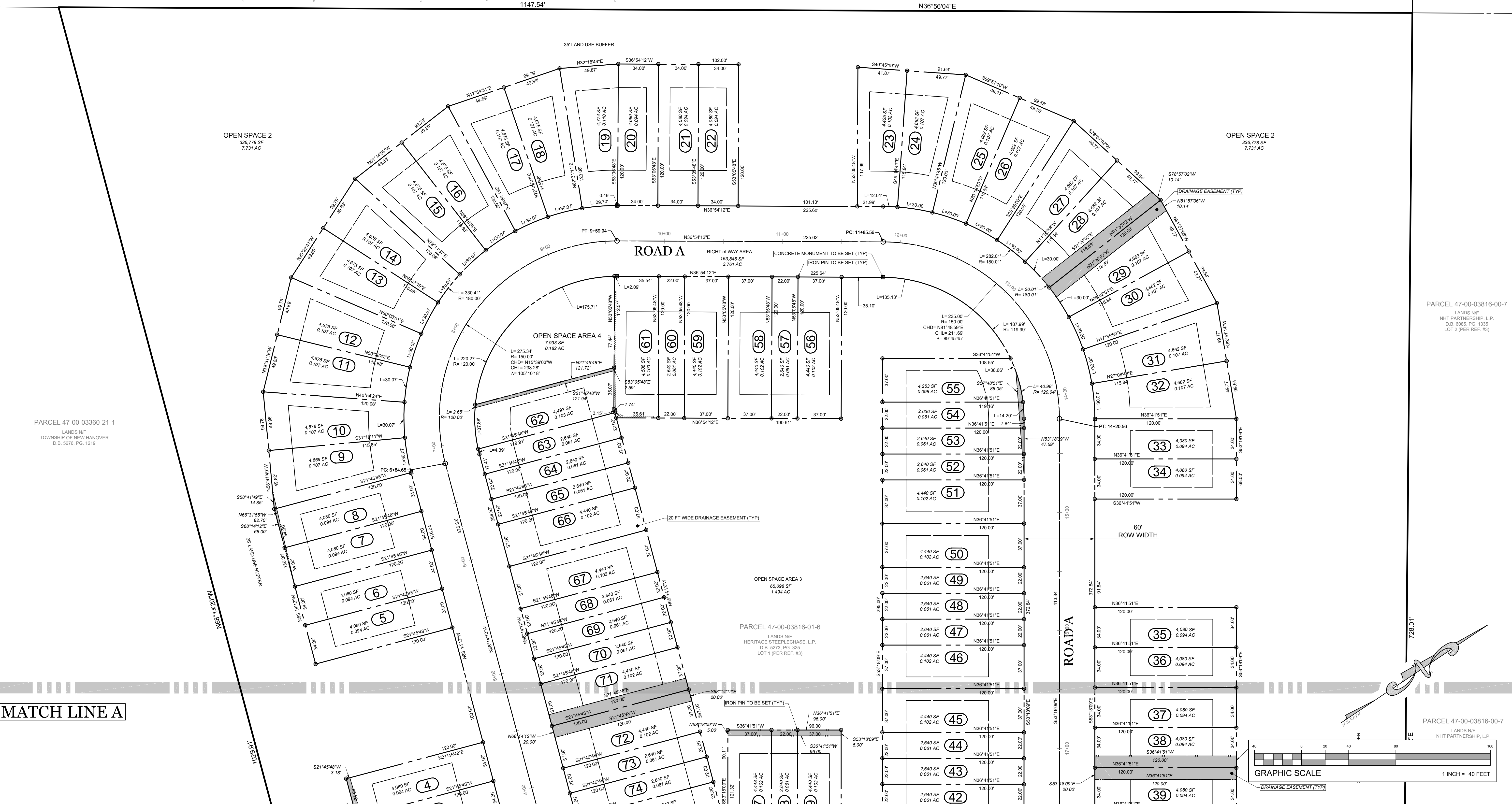
PROJECT NO: 210015  
DRAWN BY: M. RIEZEL  
CHECKED BY: R. GRAF  
CADD I.D. #: 02-03-04\_RP\_210015

LANDCORE

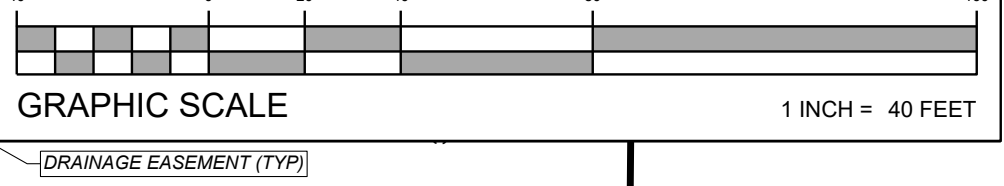
Engineering Consultants, P.C.

PHILADELPHIA, PENNSYLVANIA 19104-0633  
PHONE 215-583-8837  
FAX 215-583-8840  
EMAIL INFO@LANDCORECONSULTING.COM

PROJECT:	PROPOSED RESIDENTIAL DEVELOPMENT NEW HANOVER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA
APPLICANT:	D.R. HORTON
TITLE:	RECORD PLAN
DATE:	2021-04-16
SHEET:	RP2
REV. NO.:	0



MATCH LINE A





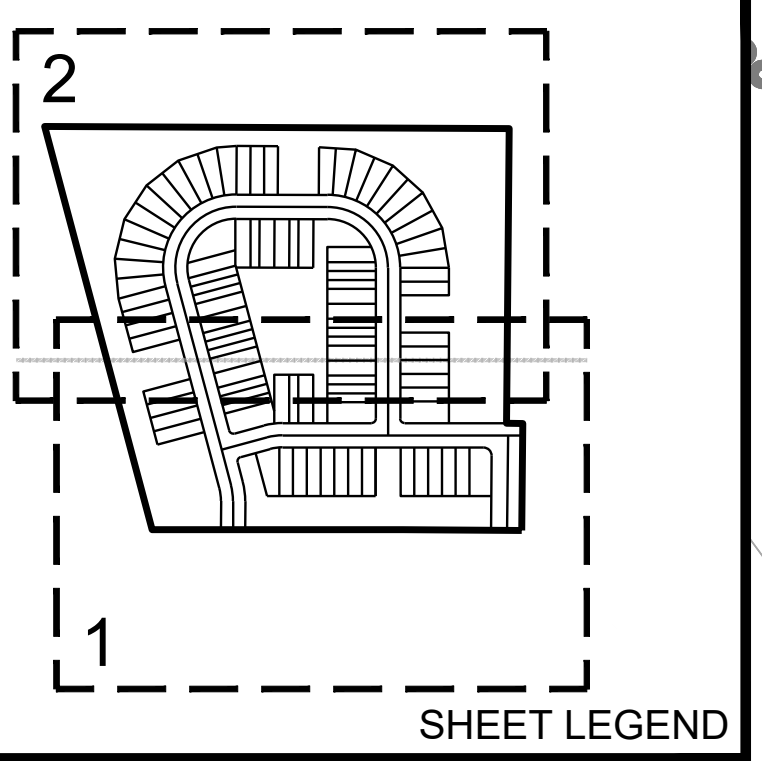
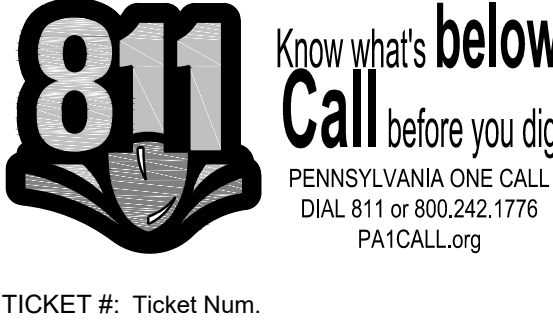
D:\PROJECTS\LANDCORE\PROJECTS\2021\01015 - DRHAG - NEW HANOVER TOWNSHIP\SITE PLANS\050400\_ECD\_2101015.DWG  
MICHAEL INVERNIZZI @ 2021-04-15, 1:41 PM

EXISTING CONDITIONS/DEMOLITION NOTES

- NEITHER LANDCORE ENGINEERING CONSULTANTS, P.C. NOR THE OWNER IS RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER FOLLOWING ALL OSHA, STATE, AND MUNICIPAL REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO LANDCORE ENGINEERING CONSULTANTS, P.C. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS / CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE ANY OTHER DIRECTION. ALL DEMOLITION MEANS AND METHODS ARE TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL AND JURISDICTIONAL REQUIREMENTS.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE TO / FOR THE FOLLOWING:
  - ENSURING COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE NATIONAL UTILITY NOTIFICATION SYSTEM (811) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING THE DEMOLITION ACTIVITIES.
- FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDERS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING ANY TEMPORARY OR PERMANENT DISCONNECTION, REMOVAL AND/OR RELOCATION OF UTILITIES FOR ANY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT OF THE AFFECTED PARTIES.
- CONTACTING THE APPROPRIATE UTILITY OWNERS TO DISCONNECT EXISTING UTILITY SERVICES TO BUILDINGS/STRUCTURES SCHEDULED FOR DEMOLITION.
- AN INSPECTION AND ASSESSMENT BY A LICENSED ENVIRONMENTAL TESTING AGENCY OF ANY HAZARDOUS MATERIALS WITHIN THE BUILDINGS AND / OR STRUCTURES REQUIRED TO BE ABATED OR REMOVED IN ACCORDANCE WITH FEDERAL, STATE, OR LOCAL LAWS PRIOR TO DEMOLITION. THE INSPECTION AND ASSESSMENT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING REMEDIATION, ABATEMENT OR REMOVAL OF HAZARDOUS MATERIALS, SOILS, ASBESTOS, LEAD-BASED PAINT, OR ANY OTHER ENVIRONMENTAL WORK REQUIRED SHALL BE OVERSEEN BY A LICENSED ENVIRONMENTAL CONSULTANT AND PERFORMED BY LICENSED TRADES.
- THE CONTRACTOR SHALL PROVIDE ALL THE MEANS AND METHODS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF EXISTING STRUCTURES OR ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF THE SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF THEIR ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN AUTHORIZATION OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS OF WAY.
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET/BIKEWALK CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE OR APPROVED LIMITS OF DISTURBANCE FOR THE PROJECT WITHOUT WRITTEN PERMISSION OF THE OWNER AND / OR APPROPRIATE GOVERNMENT AGENCY.
- CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE AND / OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR PRE-DEMOLITION CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD AND SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE (CRUSHED STONE/CONCRETE CERTIFIED AND USED AS CLEAN FILL SHALL BE EXCLUDED). ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS, REGULATIONS, AND CODES.
- ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS.

SOIL CLASSIFICATION TABLE		
SOIL SYMBOL	SOIL NAME	SOIL RATING
AbA	ABBOTSTOWN SILT LOAM 0 TO 3 PERCENT SLOPES	D
ABb	ABBOTSTOWN SILT LOAM 3 TO 8 PERCENT SLOPES	D
BwA	BUCKINGHAM SILT LOAM 0 TO 3 PERCENT SLOPES	B / D
RaA	RARITAN SILT LOAM 0 TO 3 PERCENT SLOPES	C / D
ReA	READINGTON SILT LOAM 0 TO 3 PERCENT SLOPES	C
RbA	REAVILLE SILT LOAM 0 TO 3 PERCENT SLOPES	D

EXISTING CONDITIONS / DEMOLITION PLAN LEGEND	
ITEM TO BE REMOVED	
	PROPERTY LINE (PIQ)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	BUFFER LINE
	SOILS TYPE BOUNDARY LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREE LINE
	PROP. TREE LINE
	SAWCUT LIMITS
	OVERHEAD WIRES
	MAJOR CONTOUR
	MINOR CONTOUR
	STORM SEWER MAIN



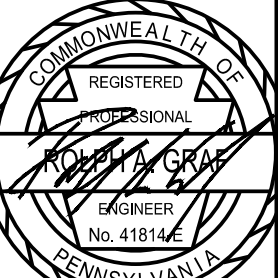
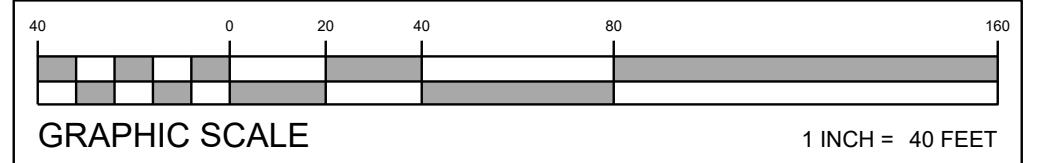
PARCEL 47-00-03816-01-6  
LANDS NF  
HERITAGE STEEPLECHASE, L.P.  
D.B. 5273, PG. 325  
LOT 1 (PER REF. #3)

PARCEL 47-00-03816-00-7  
LANDS NF  
NHT PARTNERSHIP, L.P.  
D.B. 6086, PG. 1335  
LOT 2 (PER REF. #3)

PARCEL 47-00-03360-21-1  
LANDS NF  
TOWNSHIP OF NEW HANOVER  
D.B. 5176, PG. 1219

NORTH CHARLOTTE STREET  
(A.K.A. S.R. 0663) (A.K.A. APPL. 2006) (A.K.A. T.R. 663)  
(A.K.A. PENNSYLVANIA STATE HIGHWAY ROUTE 663)  
(VARIABLE WIDTH R.O.W.)  
TWO WAY TRAFFIC

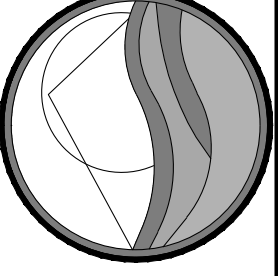
MILES ROAD  
(A.K.A. T-478) (33' WIDE R.O.W.)



ROLPHA A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E  
NOT FOR CONSTRUCTION

PROJECT No.: 2101015  
DRAWN BY: M. RIEDEL, E. NIEDEGAST  
CHECKED BY: R. GRAF  
CADD I.D. #: 05-06\_ECD\_2101015

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LANDCORECONSULTING.COM

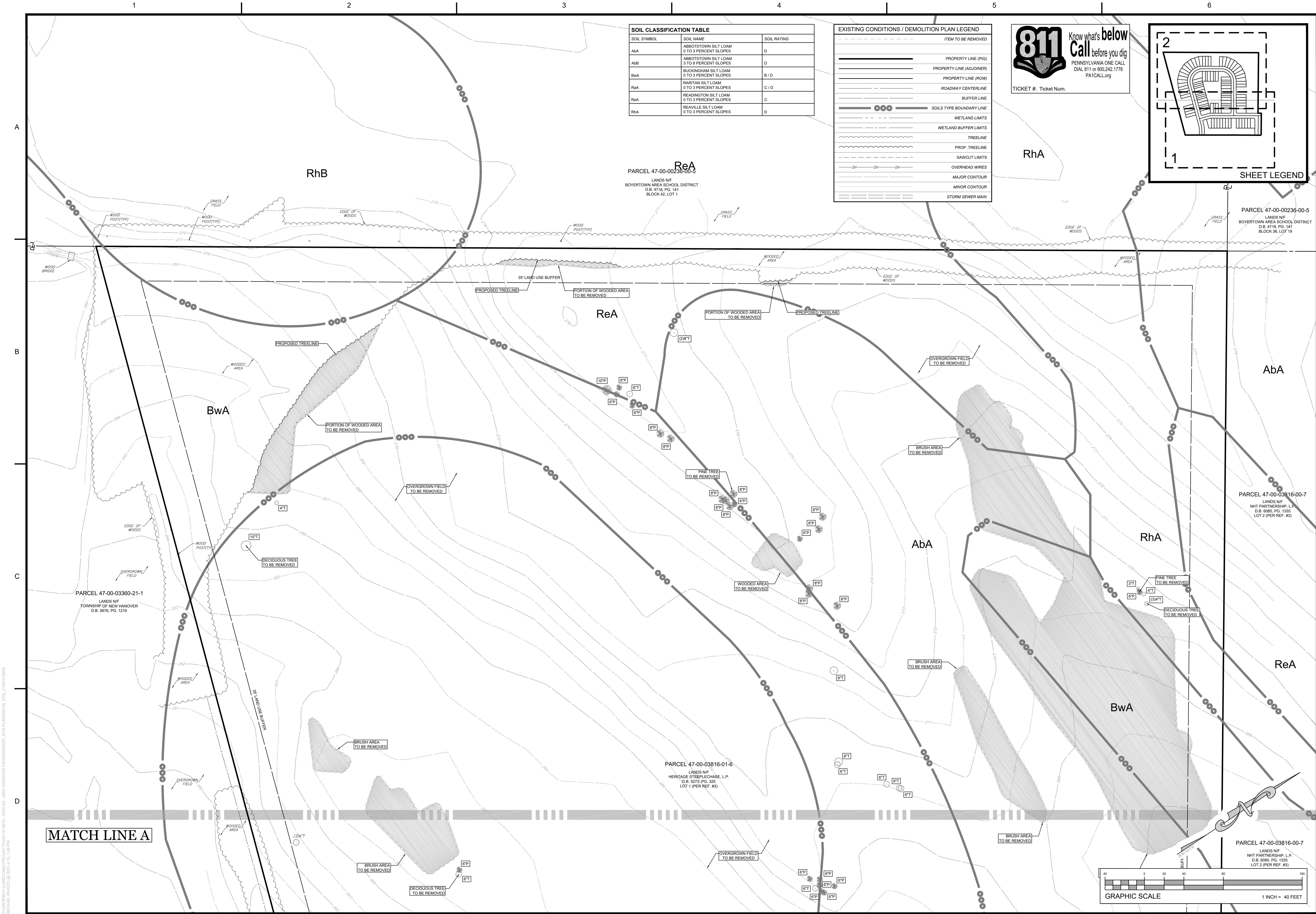


PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA  
APPLICANT: D.R. HORTON  
TITLE: EXISTING CONDITIONS / DEMOLITION PLAN

DATE: 2021-04-16  
SHEET: ECD1  
REV. NO.: 0



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MICHAEL W. GREGG © 2021-04-15, 1:44 PM



PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT PARCEL 45-00-03816-01-16 NEW HANOVER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA		APPLICANT: D.R. HORTON	
DATE: 2021-04-16		TITLE: EXISTING CONDITIONS / DEMOLITION PLAN	
SHEET: ECD2		REV. NO: 0	

**LANDCORE Engineering Consultants, P.C.**  
REGISTERED PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E  
NOT FOR CONSTRUCTION

PROJECT No. 210015  
DRAWN BY: M. RIEZEL, B. NIGENGAST  
CHECKED BY: R. GRAF  
CAD D.R. 05-06\_ECD\_210015

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DATE: 07-08-09 10:54:45  
DRAWN BY: R. GRAF  
CHECKED BY: M. RIEZEL  
DATE: 07-08-09 10:54:45  
SCALE: 1"=60'

LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
1	4.080	0.094
2	4.080	0.094
3	4.080	0.094
4	4.080	0.094
5	4.080	0.094
6	4.080	0.094
7	4.080	0.094
8	4.080	0.094
9	4.669	0.107
10	4.678	0.107
11	4.675	0.107
12	4.675	0.107
13	4.675	0.107
14	4.675	0.107
15	4.675	0.107
16	4.675	0.107
17	4.675	0.107
18	4.675	0.107
19	4.774	0.110
20	4.080	0.094
21	4.080	0.094
22	4.080	0.094
23	4.425	0.102
24	4.662	0.107
25	4.662	0.107
26	4.662	0.107
27	4.662	0.107
28	4.662	0.107
29	4.662	0.107
30	4.662	0.107
31	4.662	0.107
32	4.662	0.107
33	4.080	0.094
34	4.080	0.094
35	4.080	0.094
36	4.080	0.094
37	4.080	0.094
38	4.080	0.094
39	4.080	0.094
40	6.454	0.148
41	6.214	0.143
42	2.640	0.061
43	2.640	0.061
44	2.640	0.061
45	4.440	0.102
46	4.440	0.102
47	2.640	0.061
48	2.640	0.061
49	2.640	0.061
50	4.440	0.102
51	4.440	0.102
52	2.640	0.061
53	2.640	0.061
54	2.638	0.061
55	4.253	0.098
56	4.440	0.102
57	2.640	0.061
58	4.440	0.102
59	4.440	0.102
60	2.640	0.061
61	4.508	0.103
62	4.493	0.103
63	2.640	0.061
64	2.640	0.061
65	2.640	0.061
66	4.440	0.102
67	4.440	0.102
68	2.640	0.061
69	2.640	0.061
70	2.640	0.061
71	4.440	0.102
72	4.440	0.102
73	2.640	0.061
74	2.640	0.061
75	2.640	0.061
76	6.355	0.146
77	4.448	0.102
78	2.640	0.061
79	4.440	0.102
80	5.136	0.118
81	4.079	0.094
82	4.080	0.094
83	4.080	0.094
84	4.080	0.094
85	4.079	0.094
86	4.080	0.094
87	4.079	0.094
88	4.080	0.094
89	4.080	0.094
90	4.080	0.094
91	4.080	0.094
92	4.080	0.094
93	6.434	0.148
OPEN SPACE 1	62.477	1.434
OPEN SPACE 2	336.778	7.731
OPEN SPACE 3	65.098	1.494
ROW	163.846	3.761

### CONTRACTOR NOTES

- THE CONTRACTOR, IN ADDITION TO OTHER NOTES PROVIDED WITHIN THE APPROVED PLANS, SHALL BE RESPONSIBLE FOR THE FOLLOWING:
  - SHALL FULLY COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.
  - IS RESPONSIBLE TO MAINTAIN AS-BUILT RECORDS OF THE WORK.
  - SHALL ENSURE COMPLIANCE WITH ALL TERMS AND CONDITIONS SET FORTH IN THE APPROVALS AND PERMITS ISSUED BY MUNICIPAL, COUNTY, STATE AND FEDERAL AGENCIES RELATING TO THE WORK. CONTRACTOR, AT ITS SOLE EXPENSE, SHALL PROMPTLY CORRECT ALL VIOLATIONS REPORTED OR NOTED BY MUNICIPAL, COUNTY, STATE OR FEDERAL OFFICIALS RELATING TO OR ARISING FROM CONTRACTORS OR ITS SUBCONTRACTORS FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE TERMS AND CONDITIONS SET FORTH IN THE APPROVALS AND PERMITS.
  - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
  - CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ADJACENT TO PAVEMENT, STRUCTURES, ETC. SLATED TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE PROTECTION AND STABILITY OF STRUCTURES, SIDEWALKS, PAVEMENT, AND ANY OTHER IMPROVEMENTS TO REMAIN ON THE PROPERTY, AND TO PROVIDE A SAFE WORK AREA.
  - ALL CONTRACTORS MUST CARRY STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME IN ADDITION TO OWNER, LANDCORE ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH OWNER AND ENGINEER WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY THE LAW, INDEMNIFY AND HOLD HARMLESS OWNER AND LANDCORE ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF ENGINEER NOR THE PRESENCE OF ENGINEER OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. ENGINEER AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY.
- ENGINEER WILL REVIEW AND ACCEPT OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN, NOT CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ENGINEER'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT ENGINEER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF ENGINEER IN WRITING BY THE CONTRACTOR. ENGINEER SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- NEITHER OWNER NOR ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS / SCOPE REVISIONS WHICH RESULT FROM THE SAME. NEITHER OWNER NOR CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS / MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND CONTRACTOR IS RESPONSIBLE TO PROMPTLY NOTIFY OWNER AND ENGINEER, IN WRITING, WHEN A CONFLICT IS IDENTIFIED.

### RECORD/SITE NOTES

- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO LANDCORE ENGINEERING CONSULTANTS, P.C. (HEREINAFTER "THE ENGINEER") AT THE TIME OF PREPARATION. ALL ELEVATIONS SHOWN CORRELATE TO THE REFERENCED SURVEYORS BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDWORK. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY. IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES, ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO ORDER AND/OR FABRICATION OF STRUCTURES AND MATERIALS; OR COMMENCEMENT WITH CONSTRUCTION ACTIVITIES.
- ALL WORK AND MATERIALS SHALL COMPLY WITH OR EXCEED ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND CODES, AND OSHA STANDARDS.
- THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY / ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FAMILIARIZING THEMSELVES WITH ALL PROJECT RELATED RESOURCES, TECHNICAL REPORTS AND DESIGN DOCUMENTS PREPARED FOR THE PROJECT, INCLUDING, BUT NOT LIMITED TO, ANY PREPARED GEOTECHNICAL REPORTS, ENVIRONMENTAL REPORTS, PERMIT GUIDANCE, ET AL. UPON REVIEW OF PROJECT RELATED RESOURCES, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF ANY CONFLICTS BETWEEN THE PLANS AND RESOURCES AND SUCH DISCREPANCY SHALL BE REVIEWED WITH ENGINEER PRIOR TO COMMENCING ANY WORK RELATED TO SUCH.
- IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. LANDCORE ENGINEERING CONSULTANTS HAS MADE A POINT IN THE PROVIDED NOTES AND DETAILS, AS WELL AS IN THE DRAWINGS TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS (AS LAST REVISED) AS WELL AS APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, LATEST EDITIONS. IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO NOTIFY THE OWNER, IN WRITING, IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK. THE CONTRACTOR SHALL CONFIRM THE DESIGNATED ADA ACCESSIBLE AREAS AND ROUTES PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE DESIGNATED AREAS AND ROUTES IN ACCORDANCE WITH THE MOST CURRENT ADA GUIDELINES AS APPLICABLE TO THE PROJECT.
- STORMWATER MANAGEMENT FACILITIES:
  - THE PROPOSED ON-SITE STORMWATER MANAGEMENT FACILITIES SHALL BE OWNED AND MAINTAINED BY THE APPLICANT, UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.
  - A BLANKET EASEMENT IS HEREBY GRANTED TO THE MUNICIPALITY FOR ACCESS AND INSPECTION OF THE STORMWATER BEST MANAGEMENT PRACTICES (BMPs) AS INDICATED ON THESE PLANS. THE MUNICIPALITY SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF REASONABLE ACCESS AT REASONABLE TIMES TO EVERY BMP AND CONVEYANCE FROM A PUBLIC RIGHT-OF-WAY OR ROADWAY ONTO THE PROPERTY TO CONDUCT PERIODIC INSPECTIONS AS OUTLINED IN ANY APPLICABLE EASEMENT AGREEMENT AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, AND ANY APPLICABLE OPERATION AND MAINTENANCE PLANS AND/OR OPERATION AND MAINTENANCE AGREEMENTS.
  - THE STORMWATER MANAGEMENT FACILITIES, AS DEPICTED HEREIN, ARE PERMANENT STRUCTURES. NO PERSON OR ENTITY SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR OTHERWISE ALTER ANY STORMWATER MANAGEMENT FACILITY WHICH HAS BEEN INSTALLED ON A PROPERTY UNLESS A STORMWATER MANAGEMENT PLAN REVISION HAS BEEN SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, ALONG WITH THE REVIEW AND ADVICE OF THE MUNICIPAL ENGINEER AND THE COUNTY CONSERVATION DISTRICT, WHICH AUTHORIZES SUCH MODIFICATION, REMOVAL, FILLING, LANDSCAPING OR ALTERATION. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING OR ALTERATION ON ANY WETLAND AREAS WHETHER OR NOT DELINEATED ON THE SAID PLAN AND ANY ENCROACHMENT THEREON FOR ANY REASON WHATSOEVER SHALL BE THE SOLE RESPONSIBILITY OF THE DEVELOPER. HIS HEIRS AND ASSIGNS AND SHALL BE SUBJECT TO THE JURISDICTION OF THE ARMY CORPS OF ENGINEERS AND/OR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS THE SAID ENCROACHMENT SHALL CONFORM TO THE RULES AND REGULATIONS OF THE JURISDICTIONAL AGENCIES.
  - TWO (2) SMALL POCKETS OF WETLAND ARE PRESENT ON SITE AS CONFIRMED BY PENNS TRAIL ENVIRONMENTAL, LLC ON AUGUST 28, 2020.
- FLOODPLAIN: THE SITE DOES NOT LIE WITHIN A REGULATED FLOOD AREA. FEMA'S FLOOD INSURANCE RATE MAP FOR MONTGOMERY COUNTY, PA, MAP NUMBERS 42091/02079G & 42091/02087G, EFFECTIVE ON 3/20/2016, DESIGNATES THE SITE AND SURROUNDING AREA AS "ZONE X" OR "AREA OF MINIMAL FLOOD HAZARD".
- HIGHWAY OCCUPANCY PERMIT NOTE: A HIGHWAY OCCUPANCY PERMIT IS REQUIRED PURSUANT TO SECTION 42.0 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAW", BEFORE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
- MONUMENTATION NOTE: MONUMENTS AND MARKERS SHALL BE SET AT ALL PROPERTY BOUNDARY CORNERS IN ACCORDANCE WITH NEW HANOVER TOWNSHIP AND AS INDICATED ON THESE PLANS. SUITABLE MARKERS SHALL BE SUBSTITUTED FOR MONUMENTS TO BE SET IN PAVEMENT OR CONCRETE AREAS. DETAILS OF THE LOCATION AND TYPE OF SUCH MARKERS SHALL BE PROVIDED TO THE MUNICIPAL ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.



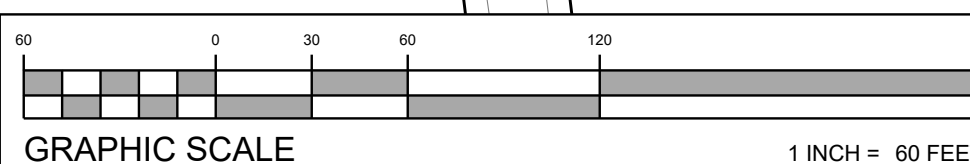
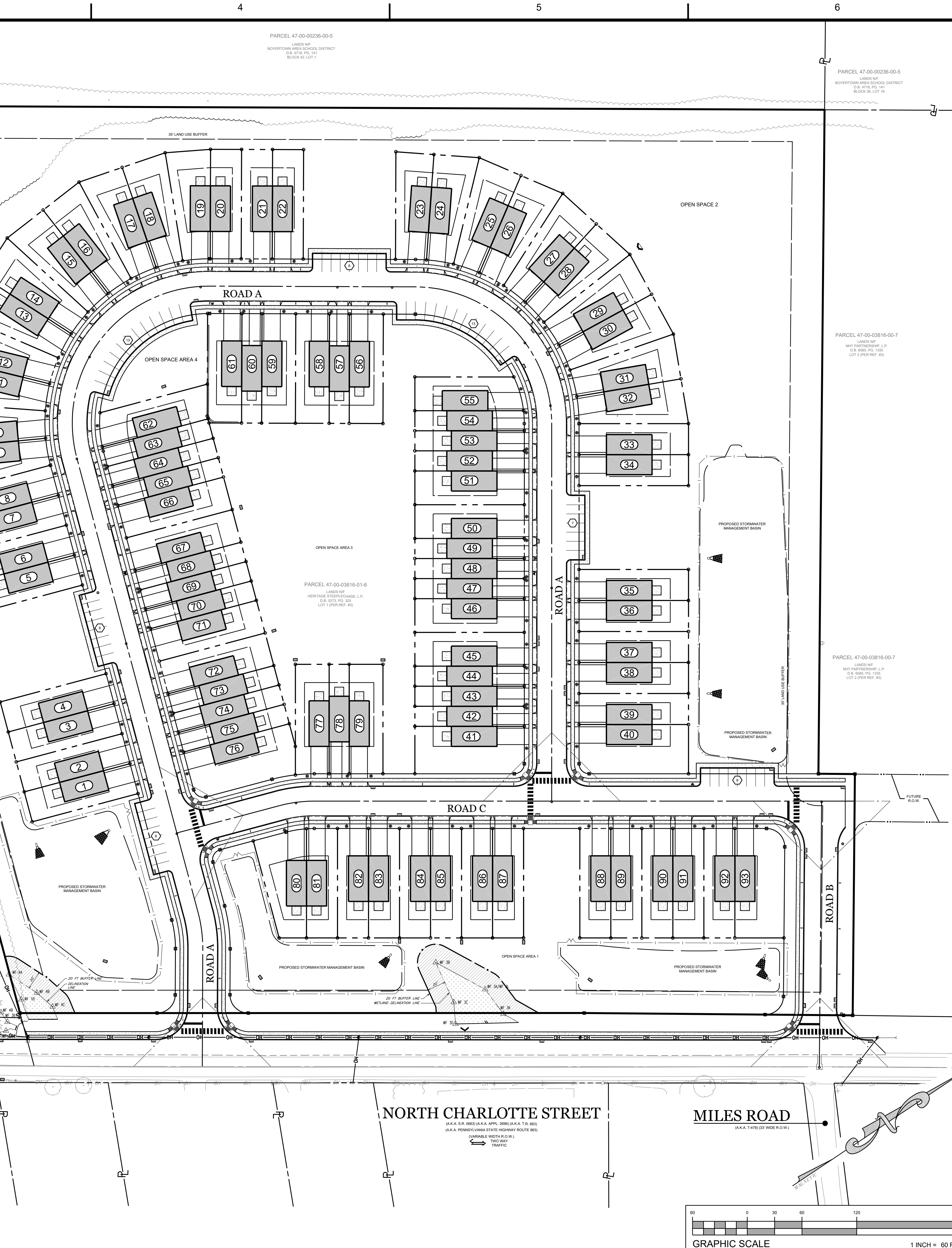
TICKET #: Ticket Num.

### SITE PLAN LEGEND

	PROPERTY LINE (PIO)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (INTERIOR)
	PROP. PROPERTY LINE (ROW)
	BUILDING SETBACK LINE
	BUFFER LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE
	SAWCUT LIMITS
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES

### GENERAL NOTES

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL APPLICABLE PERMITTING AUTHORITIES. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- DEBRIS, UNSUITABLE SOIL AND DEMOLITION MATERIAL SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE SOIL, DEMOLITION MATERIAL, DEBRIS AND ANY OTHER WASTE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL LAWS, REGULATIONS AND CODES SITE (CRUSHED STONE/CONCRETE CERTIFIED AND USED AS CLEAN FILL SHALL BE EXCLUDED).
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND / OR GEOTECHNICAL REPORT.
- UNLESS OTHERWISE INDICATED WITHIN THE APPROVED PLANS, ALL DISTURBED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL PROPOSED RADII ARE 5'0" UNLESS OTHERWISE NOTED.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED, AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- FOR MATERIALS AND/OR SPECIFICATIONS NOT SPECIFICALLY REFERENCED ON THESE PLANS OR STATE AND LOCAL REQUIREMENTS, THE PROJECT SHALL BE CONSTRUCTED IN CONFORMANCE WITH PENNDOT PUB 408 AS LAST REVISED.



PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICANT: D.R. HORTON  
TITLE: OVERALL SITE PLAN

DATE: 2021-04-16  
SHEET: 0

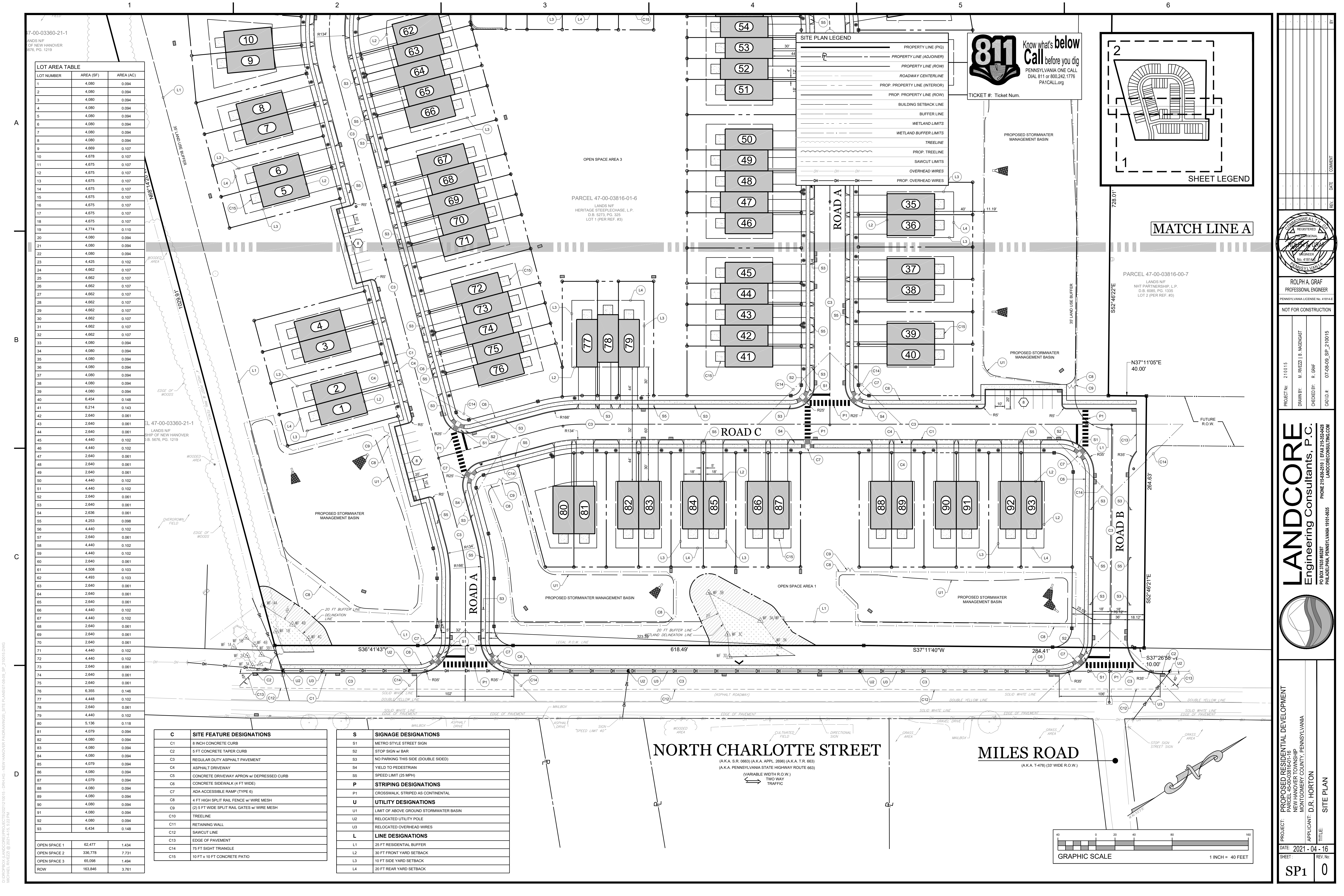
PROJECT No.: 210015  
DRAWN BY: M. RIEZEL & MAGEAUST  
CHECKED BY: R. GRAF  
CAD D.R. #:  
07-08-09 SP\_210015

PHILADELPHIA, PENNSYLVANIA 19104-0833  
PHONE 215-588-8800 | FAX 215-588-8840  
LANDCORECONSULTING.COM

REGISTERED PROFESSIONAL ENGINEER  
No. 41814-E  
PENNSYLVANIA LICENSE No. 41814-E

NOT FOR CONSTRUCTION






LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
1	4,080	0.094
2	4,080	0.094
3	4,080	0.094
4	4,080	0.094
5	4,080	0.094
6	4,080	0.094
7	4,080	0.094
8	4,080	0.094
9	4,080	0.094
10	4,080	0.094
11	4,675	0.107
12	4,675	0.107
13	4,675	0.107
14	4,675	0.107
15	4,675	0.107
16	4,675	0.107
17	4,675	0.107
18	4,675	0.107
19	4,774	0.110
20	4,080	0.094
21	4,080	0.094
22	4,080	0.094
23	4,425	0.102
24	4,662	0.107
25	4,662	0.107
26	4,662	0.107
27	4,662	0.107
28	4,662	0.107
29	4,662	0.107
30	4,662	0.107
31	4,662	0.107
32	4,662	0.107
33	4,080	0.094
34	4,080	0.094
35	4,080	0.094
36	4,080	0.094
37	4,080	0.094
38	4,080	0.094
39	4,080	0.094
40	6,454	0.148
41	6,214	0.143
42	2,640	0.061
43	2,640	0.061
44	2,640	0.061
45	4,440	0.102
46	4,440	0.102
47	2,640	0.061
48	2,640	0.061
49	2,640	0.061
50	4,440	0.102
51	4,440	0.102
52	2,640	0.061
53	2,640	0.061
54	2,636	0.061
55	4,253	0.098
56	4,440	0.102
57	2,640	0.061
58	4,440	0.102
59	4,440	0.102
60	2,640	0.061
61	4,508	0.103
62	4,493	0.103
63	2,640	0.061
64	2,640	0.061
65	2,640	0.061
66	4,440	0.102
67	4,440	0.102
68	2,640	0.061
69	2,640	0.061
70	2,640	0.061
71	4,440	0.102
72	4,440	0.102
73	2,640	0.061
74	2,640	0.061
75	2,640	0.061
76	6,355	0.146
77	4,448	0.102
78	2,640	0.061
79	4,440	0.102
80	5,136	0.118
81	4,079	0.094
82	4,080	0.094
83	4,080	0.094
84	4,080	0.094
85	4,079	0.094
86	4,080	0.094
87	4,079	0.094
88	4,080	0.094
89	4,080	0.094
90	4,080	0.094
91	4,080	0.094
92	4,080	0.094
93	6,434	0.148
OPEN SPACE 1	62,477	1.434
OPEN SPACE 2	336,778	7.731
OPEN SPACE 3	65,098	1.494
ROW	163,846	3.761

C	SITE FEATURE DESIGNATIONS
C1	8 INCH CONCRETE CURB
C2	5 FT CONCRETE TAPER CURB
C3	REGULAR DUTY ASPHALT PAVEMENT
C4	ASPHALT DRIVEWAY
C5	CONCRETE DRIVEWAY APRON w/ DEPRESSED CURB
C6	CONCRETE SIDEWALK (4 FT WIDE)
C7	ADA ACCESSIBLE RAMP (TYPE 6)
C8	4 FT HIGH SPLIT RAIL FENCE w/ WIRE MESH
C9	(2) 5 FT WIDE SPLIT RAIL GATES w/ WIRE MESH
C10	TREELINE
C11	RETAINING WALL
C12	SAWCUT LINE
C13	EDGE OF PAVEMENT
C14	75 FT SIGHT TRIANGLE
C15	10 FT x 10 FT CONCRETE PATIO

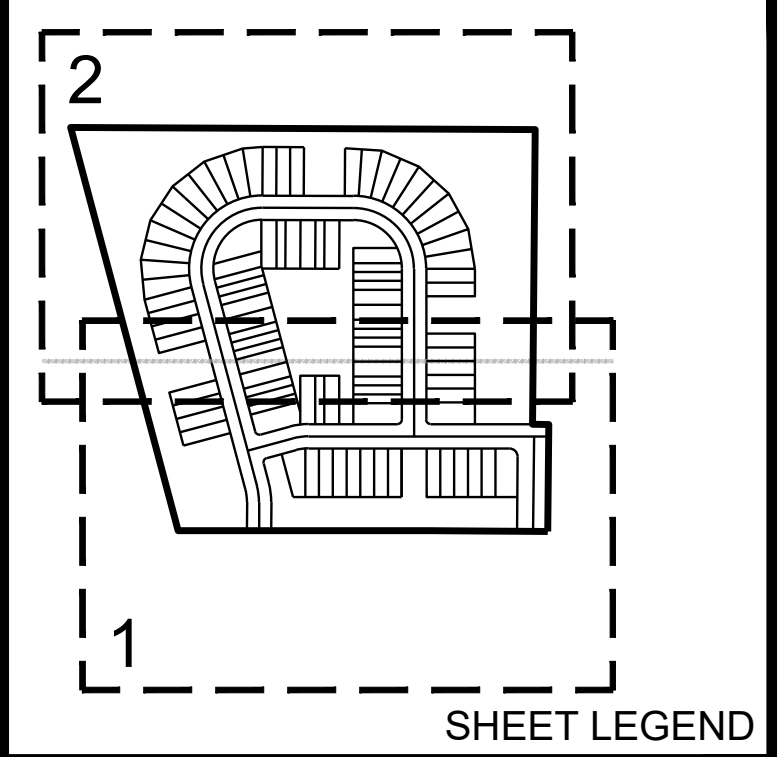
S	SIGNAGE DESIGNATIONS
S1	METRO STYLE STREET SIGN
S2	STOP SIGN w/ BAR
S3	NO PARKING THIS SIDE (DOUBLE SIDED)
S4	YIELD TO PEDESTRIAN
S5	SPEED LIMIT (25 MPH)
P	STRIPING DESIGNATIONS
P1	CROSSWALK, STRIPED AS CONTINENTAL
U	UTILITY DESIGNATIONS
U1	LIMIT OF ABOVE GROUND STORMWATER BASIN
U2	RELOCATED UTILITY POLE
U3	RELOCATED OVERHEAD WIRES
L	LINE DESIGNATIONS
L1	25 FT RESIDENTIAL BUFFER
L2	30 FT FRONT YARD SETBACK
L3	10 FT SIDE YARD SETBACK
L4	20 FT REAR YARD SETBACK

SITE PLAN LEGEND	
	PROPERTY LINE (P1)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (INTERIOR)
	PROP. PROPERTY LINE (ROW)
	BUILDING SETBACK LINE
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	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE
	SAWCUT LIMITS
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES



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PA1CALL.org

TICKET #: Ticket Num.

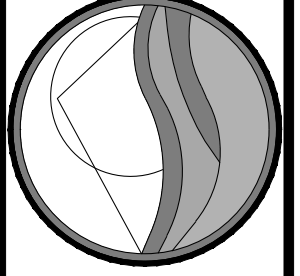


MATCH LINE A



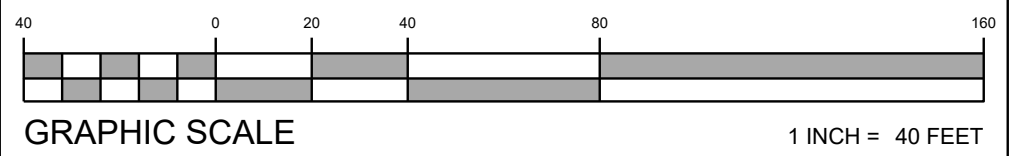
ROLPHA A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E  
NOT FOR CONSTRUCTION

PROJECT NO.	210015
DRAWN BY	M. RIEDEL
CHECKED BY	R. GRAF
CAD D.R.	07-08-09 SP_210015



**LANDCORE**  
Engineering Consultants, P.C.  
PO BOX 375548 PHILADELPHIA, PENNSYLVANIA 19104-0635  
PHONE 215-588-8800 | FAX 215-588-8800  
LANDCORECONSULTING.COM

PROJECT:	PROPOSED RESIDENTIAL DEVELOPMENT PARCEL 45-00-03816-01-16 NEW HANOVER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA
APPLICANT:	D.R. HORTON
TITLE:	SITE PLAN
DATE:	2021-04-16
SHEET:	SP1
REV. NO.:	0





LOT AREA TABLE		
LOT NUMBER	AREA (SF)	AREA (AC)
1	4,080	0.094
2	4,080	0.094
3	4,080	0.094
4	4,080	0.094
5	4,080	0.094
6	4,080	0.094
7	4,080	0.094
8	4,080	0.094
9	4,669	0.107
10	4,678	0.107
11	4,675	0.107
12	4,675	0.107
13	4,675	0.107
14	4,675	0.107
15	4,675	0.107
16	4,675	0.107
17	4,675	0.107
18	4,675	0.107
19	4,774	0.110
20	4,080	0.094
21	4,080	0.094
22	4,080	0.094
23	4,425	0.102
24	4,662	0.107
25	4,662	0.107
26	4,662	0.107
27	4,662	0.107
28	4,662	0.107
29	4,662	0.107
30	4,662	0.107
31	4,662	0.107
32	4,662	0.107
33	4,080	0.094
34	4,080	0.094
35	4,080	0.094
36	4,080	0.094
37	4,080	0.094
38	4,080	0.094
39	4,080	0.094
40	6,454	0.148
41	6,214	0.143
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43	2,640	0.061
44	2,640	0.061
45	4,440	0.102
46	4,440	0.102
47	2,640	0.061
48	2,640	0.061
49	2,640	0.061
50	4,440	0.102
51	4,440	0.102
52	2,640	0.061
53	2,640	0.061
54	2,638	0.061
55	4,253	0.098
56	4,440	0.102
57	2,640	0.061
58	4,440	0.102
59	4,440	0.102
60	2,640	0.061
61	4,508	0.103
62	4,493	0.103
63	2,640	0.061
64	2,640	0.061
65	2,640	0.061
66	4,440	0.102
67	4,440	0.102
68	2,640	0.061
69	2,640	0.061
70	2,640	0.061
71	4,440	0.102
72	4,440	0.102
73	2,640	0.061
74	2,640	0.061
75	2,640	0.061
76	6,355	0.146
77	4,448	0.102
78	2,640	0.061
79	4,440	0.102
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83	4,080	0.094
84	4,080	0.094
85	4,079	0.094
86	4,080	0.094
87	4,079	0.094
88	4,080	0.094
89	4,080	0.094
90	4,080	0.094
91	4,080	0.094
92	4,080	0.094
93	6,434	0.148

OPEN SPACE 1	62,477	1.434
OPEN SPACE 2	336,778	7.731
OPEN SPACE 3	65,098	1.494
ROW	163,846	3.761

C	SITE FEATURE DESIGNATIONS
C1	8 INCH CONCRETE CURB
C2	5 FT CONCRETE TAPER CURB
C3	REGULAR DUTY ASPHALT PAVEMENT
C4	ASPHALT DRIVEWAY
C5	CONCRETE DRIVEWAY APRON w/ DEPRESSED CURB
C6	CONCRETE SIDEWALK (4 FT WIDE)
C7	ADA ACCESSIBLE RAMP (TYPE 6)
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C11	RETAINING WALL
C12	SAWCUT LINE
C13	EDGE OF PAVEMENT
C14	75 FT SIGHT TRIANGLE
C15	10 FT x 10 FT CONCRETE PATIO

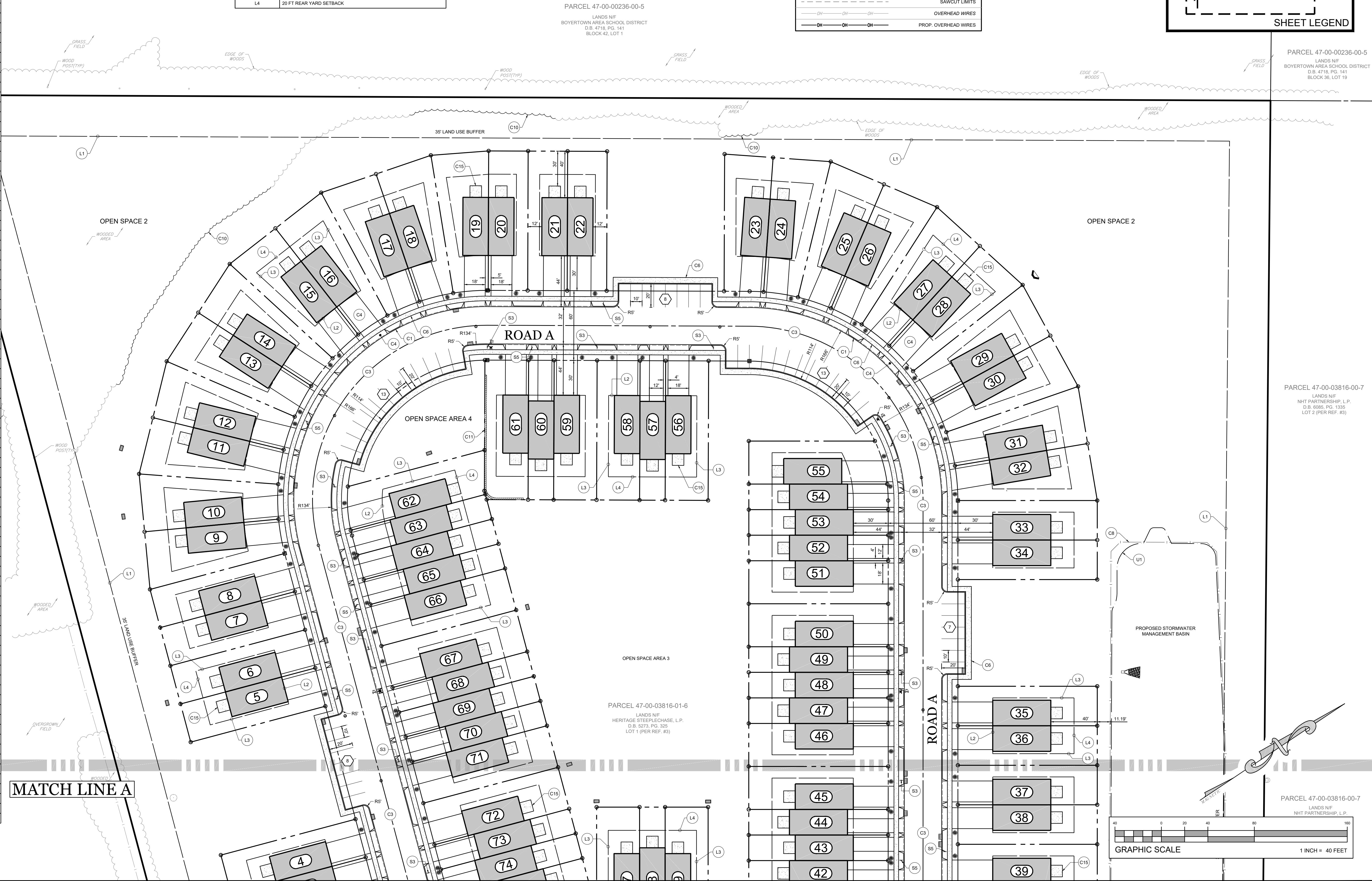
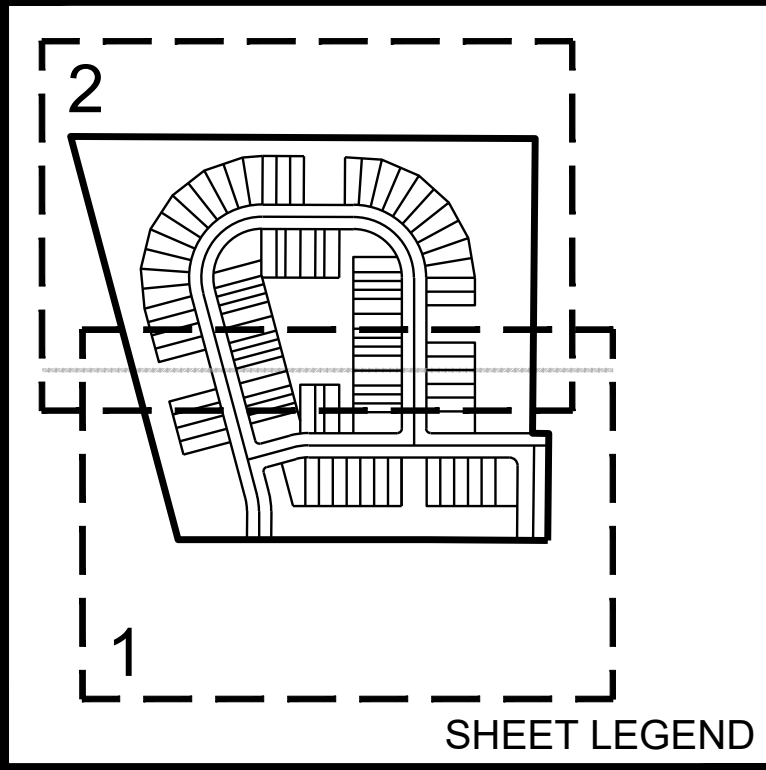
S	SIGNAGE DESIGNATIONS
S1	METRO STYLE STREET SIGN
S2	STOP SIGN w/ BAR
S3	NO PARKING THIS SIDE (DOUBLE SIDED)
S4	YIELD TO PEDESTRIAN
S5	SPEED LIMIT (25 MPH)
P	STRIPING DESIGNATIONS
P1	CROSSWALK, STRIPED AS CONTINENTAL
U	UTILITY DESIGNATIONS
U1	LIMIT OF ABOVE GROUND STORMWATER BASIN
U2	RELOCATED UTILITY POLE
U3	RELOCATED OVERHEAD WIRES
L	LINE DESIGNATIONS
L1	25 FT RESIDENTIAL BUFFER
L2	30 FT FRONT YARD SETBACK
L3	10 FT SIDE YARD SETBACK
L4	20 FT REAR YARD SETBACK

SITE PLAN LEGEND	
	PROPERTY LINE (P10)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (INTERIOR)
	PROP. PROPERTY LINE (ROW)
	BUILDING SETBACK LINE
	BUFFER LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE
	SAWCUT LIMITS
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES



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TICKET #: Ticket Num.



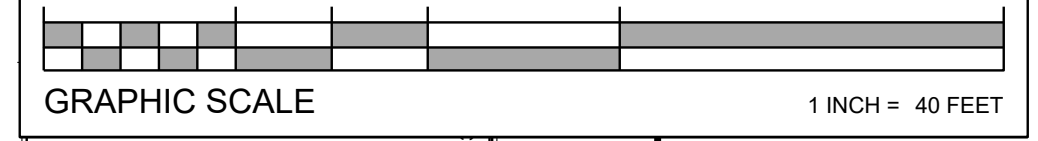
PARCEL 47-00-00236-00-5  
LANDS N/F  
BOYERTOWN AREA SCHOOL DISTRICT  
D.B. 4718, PG. 141  
BLOCK 42, LOT 1

PARCEL 47-00-00236-00-5  
LANDS N/F  
BOYERTOWN AREA SCHOOL DISTRICT  
D.B. 4718, PG. 141  
BLOCK 36, LOT 19

PARCEL 47-00-03816-00-7  
LANDS N/F  
NHT PARTNERSHIP, L.P.  
D.B. 6085, PG. 1335  
LOT 2 (PER REF. #3)

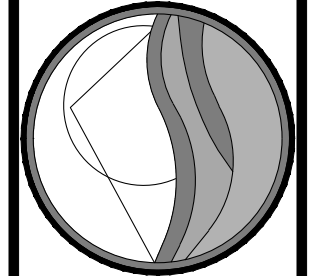
PARCEL 47-00-03816-01-6  
LANDS N/F  
HERITAGE STEEPLECHASE, L.P.  
D.B. 5273, PG. 325  
LOT 1 (PER REF. #3)

PARCEL 47-00-03816-00-7  
LANDS N/F  
NHT PARTNERSHIP, L.P.



MATCH LINE A

PROJECT:	PROPOSED RESIDENTIAL DEVELOPMENT	DATE:	2021-04-16
PARCEL:	47-00-03816-01-6	SHEET:	SP2
TOWNSHIP:	NEW HANOVER TOWNSHIP	REV. NO.:	0
COUNTY:	MONTGOMERY COUNTY, PENNSYLVANIA		
APPLICANT:	D.R. HORTON		
TITLE:	SITE PLAN		



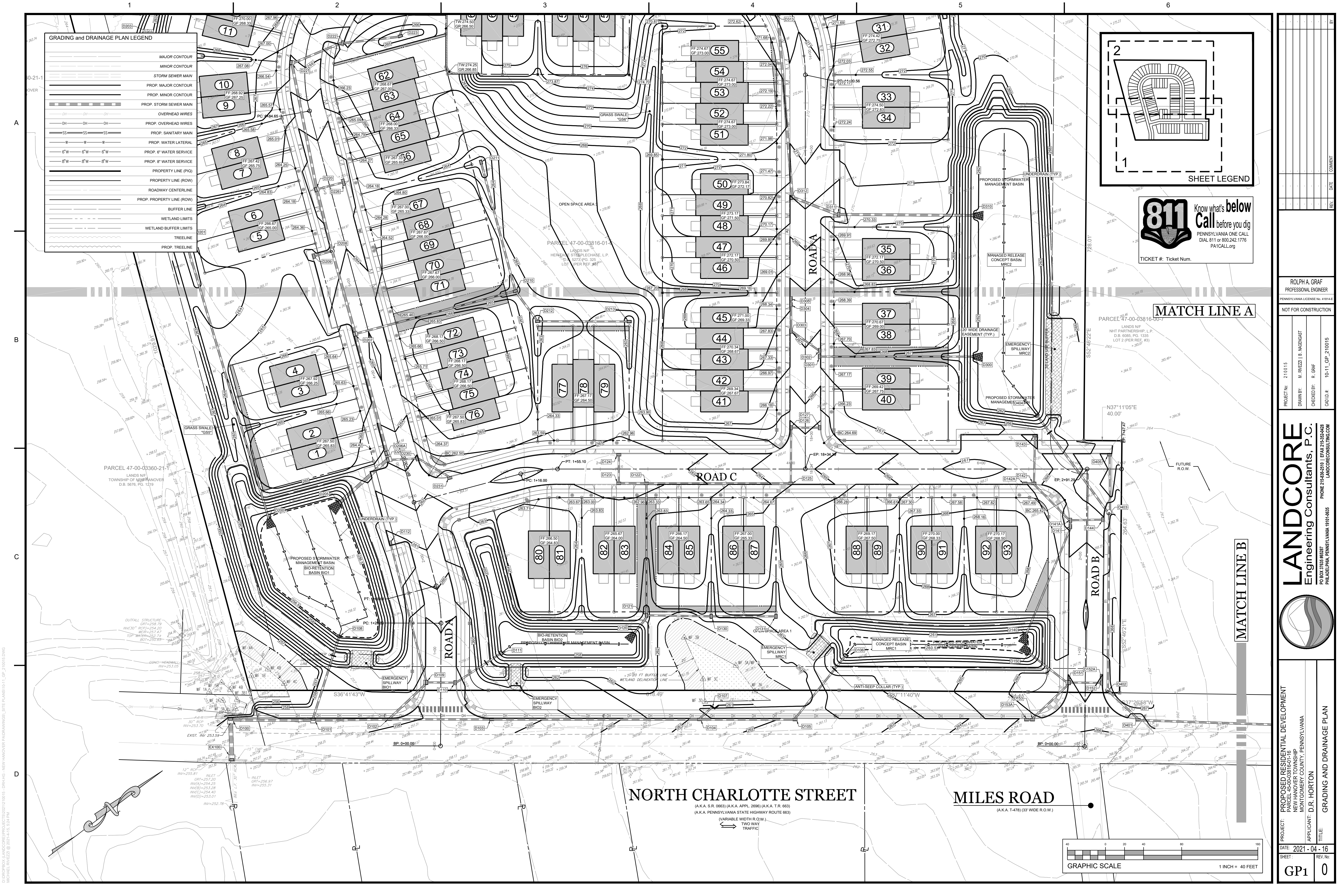
**LANDCORE**  
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PHILADELPHIA, PENNSYLVANIA 19104-0633  
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LANDCORECONSULTING.COM

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

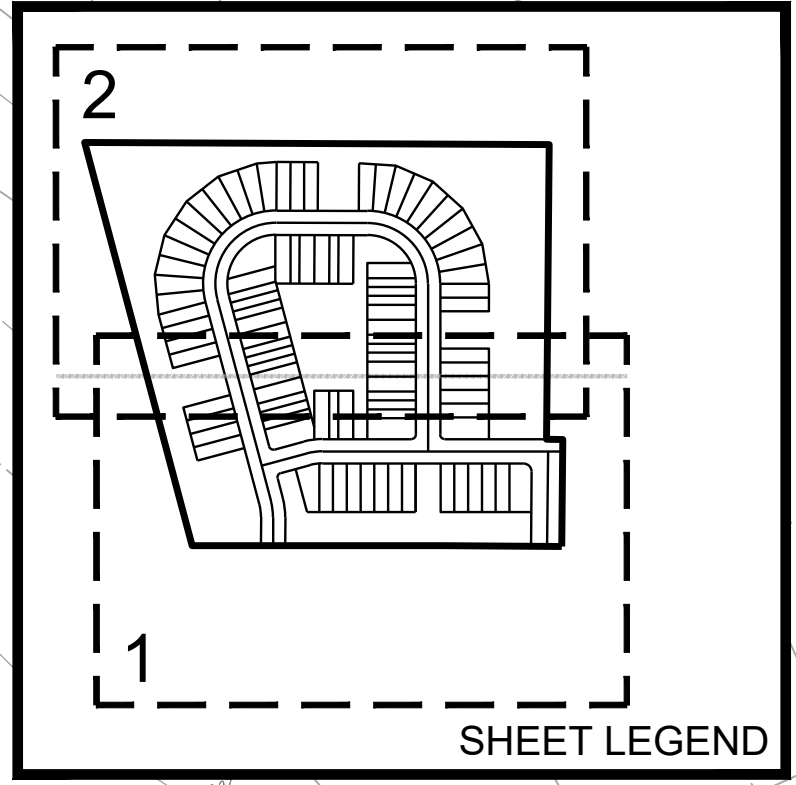
NOT FOR CONSTRUCTION

PROJECT NO.: 210015  
DRAWN BY: M. RIEZEL  
CHECKED BY: R. GRAF  
CADD ID: 07-08-09\_SP\_210015





GRADING and DRAINAGE PLAN LEGEND	
	MAJOR CONTOUR
	MINOR CONTOUR
	STORM SEWER MAIN
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	PROP. STORM SEWER MAIN
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	PROP. SANITARY MAIN
	PROP. WATER LATERAL
	PROP. 6\"/>
	PROP. 8\"/>
	PROPERTY LINE (P/L)
	PROPERTY LINE (R/W)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (R/W)
	BUFFER LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE



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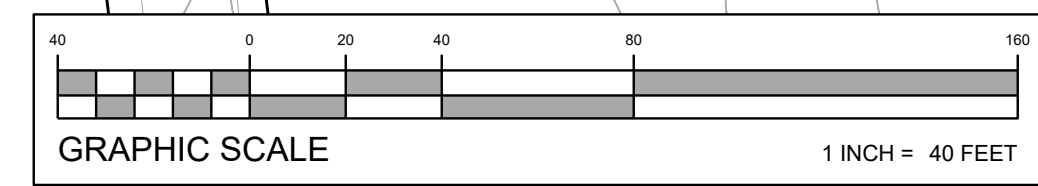
TICKET #: Ticket Num.

MATCH LINE A

MATCH LINE B

NORTH CHARLOTTE STREET  
(A.K.A. S.R. 6603 (A.K.A. APPL. 2886) (A.K.A. T.R. 663)  
(A.K.A. PENNSYLVANIA STATE HIGHWAY ROUTE 663)  
(VARIABLE WIDTH R.O.W.)  
TWO WAY TRAFFIC

MILES ROAD  
(A.K.A. T-478) (33' WIDE R.O.W.)



PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICANT: D.R. HORTON

TITLE: GRADING AND DRAINAGE PLAN

DATE: 2021-04-16

SHEET: GP1

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

NOT FOR CONSTRUCTION

PROJECT NO.: 210015  
DRAWN BY: M. RIEZEL, B. NIEGASCH  
CHECKED BY: R. GRAF  
CAD D.R.: 10-11\_GP\_210015

**LANDCORE**  
Engineering Consultants, P.C.  
PO BOX 3555 #8387  
PHILADELPHIA, PENNSYLVANIA 19104-0835  
PHONE 215-588-8801 | FAX 215-588-8802  
LANDCORECONSULTING.COM

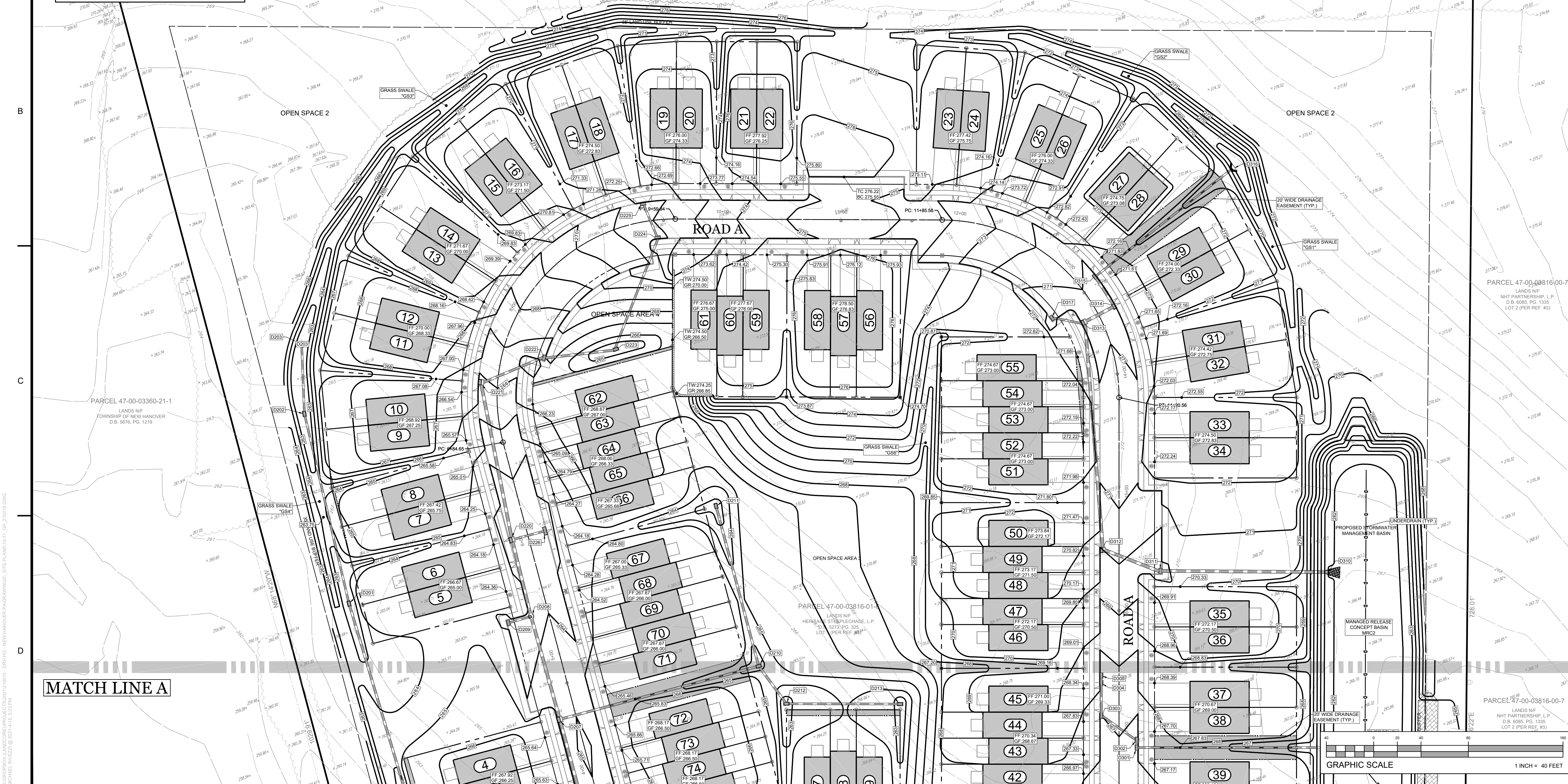
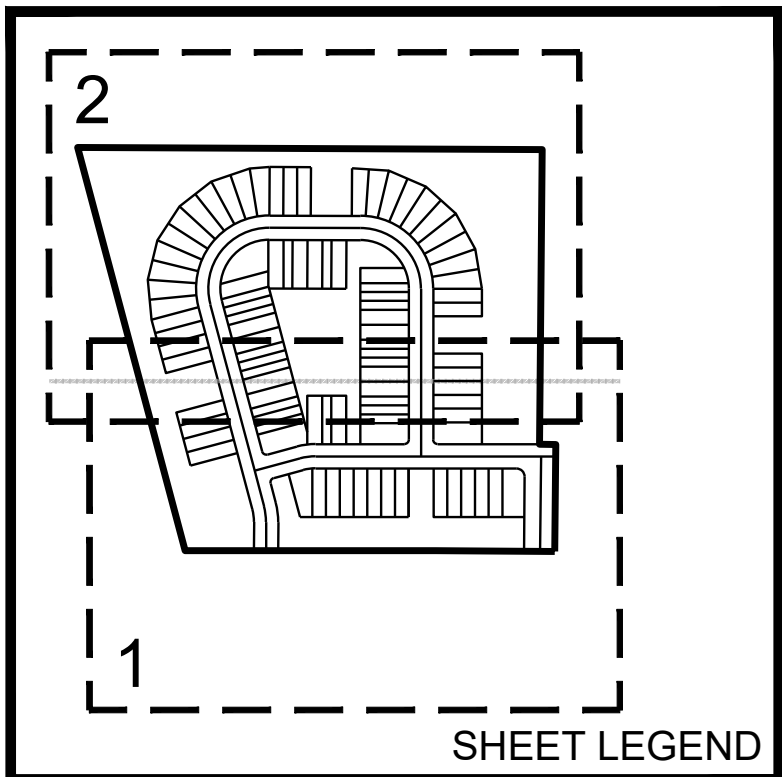
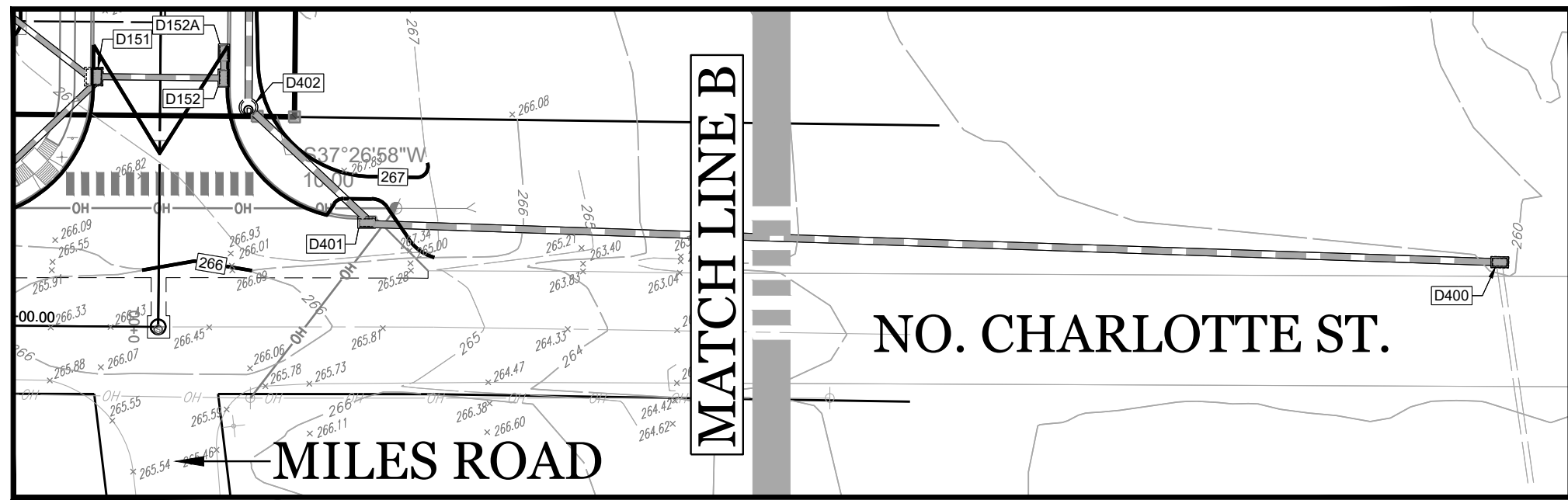


GRADING and DRAINAGE PLAN LEGEND

	MAJOR CONTOUR
	MINOR CONTOUR
	STORM SEWER MAIN
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	PROP. STORM SEWER MAIN
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	PROP. SANITARY MAIN
	PROP. WATER LATERAL
	PROP. 6" WATER SERVICE
	PROP. 8" WATER SERVICE
	PROPERTY LINE (PL)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (ROW)
	BUFFER LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE

GRADING & DRAINAGE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK. CONTRACTOR TO ENSURE THE FOLLOWING MINIMUM GRADING STANDARDS TO ENSURE PROPER DRAINAGE AND PREVENTION OF POONDING.
  - 1.1. 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS RECEIVING DRAINAGE.
  - 1.2. 1.0% ON ALL CONCRETE AND ASPHALT AND 2% MINIMUM ON ALL PAVEMENT SURFACES.
2. SPOT GRADE ELEVATIONS (GR) INDICATED ON THE PLANS SIGNIFY FINISHED GRADE ELEVATION OR FINISHED GRADE AT FACE OF CURB TOP OF CURB (TC) ELEVATION ARE GENERALLY 6" ABOVE ASPHALT UNLESS NOTED OTHERWISE. SPOT ELEVATIONS SHOWN AT DRAINAGE STRUCTURES REPRESENT THE TOP OF UNIT ELEVATION AT THE CENTER OF THE STRUCTURE.
3. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS. GRADE ADJUSTMENTS SHALL BE MADE PRIOR TO THE INSTALLATION OF PAVEMENT WEARING COURSE OR PLACEMENT OF TOPSOIL IN UNPAVED AREAS.
4. ALL STORMWATER PIPING INSTALLED WITHIN THE REINFORCING ZONE OF THE PROPOSED RETAINING WALLS MUST BE INSTALLED WITH A WATERTIGHT SEAL.
5. HIGH DENSITY POLYETHYLENE (HDPE) PIPES SHALL BE 14" DUAL WALL, SMOOTH LINED OR EQUIVALENT IN ACCORDANCE WITH ASTM STANDARDS, UNLESS OTHERWISE SPECIFIED.
6. REINFORCED CONCRETE PIPES (RCP) SHALL BE CLASS III, UNLESS OTHERWISE SPECIFIED.
7. WITH GEOTECH REPORT: SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS INDICATED IN THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT.



PROJECT: 210015  
DRAWN BY: M. RIZZI  
CHECKED BY: R. GRAF  
CADD: R. 10-11\_GP\_210015

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

NOT FOR CONSTRUCTION

LANDCORE  
Engineering Consultants, P.C.  
PHILADELPHIA, PENNSYLVANIA 19104-0633  
PHONE 215-588-8800 | FAX 215-588-8800  
LANDCORECONSULTING.COM

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

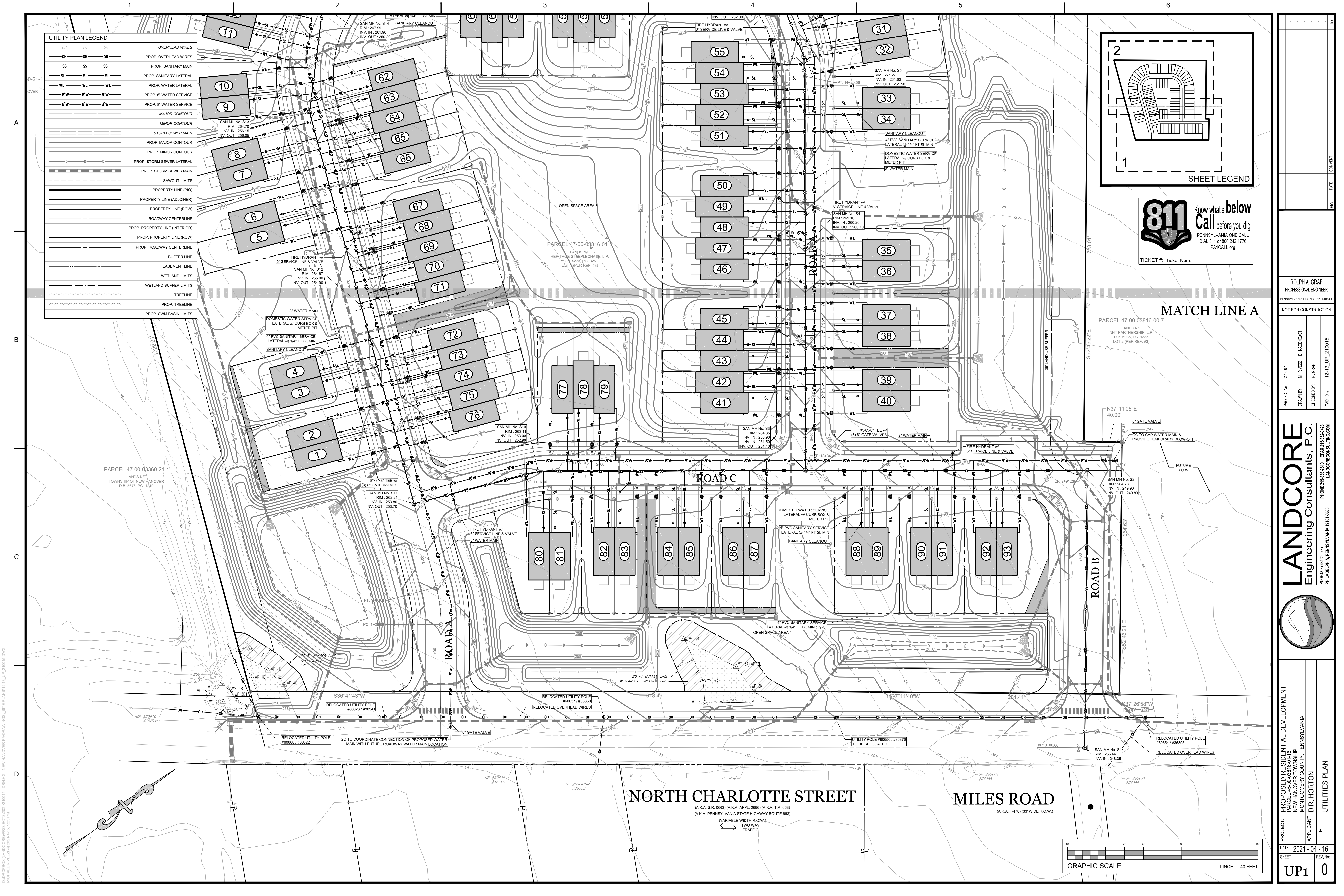
APPLICANT: D.R. HORTON

TITLE: GRADING AND DRAINAGE PLAN

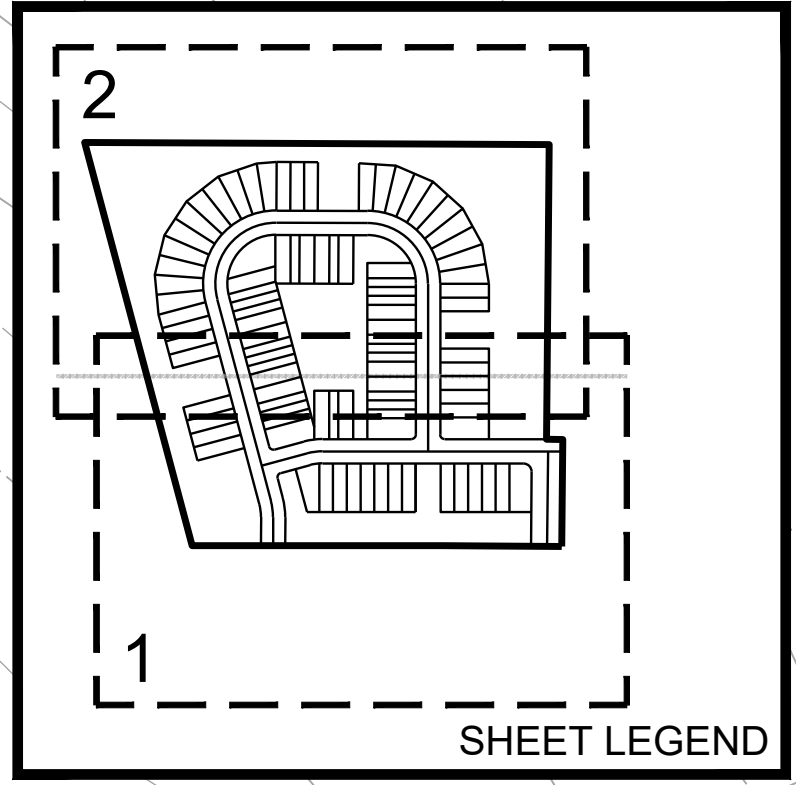
DATE: 2021-04-16  
SHEET: GP2  
REV. NO: 0

D:\PROJECTS\LANDCORE\PROJECTS\2021\210015 - DRHAG - NEW HANOVER PA\DRAWINGS\ SITE PLANS\10-11\_GP\_210015.DWG  
MICHAEL W. RIZZI (E) 41814-E, 41814-F





UTILITY PLAN LEGEND	
OH	OVERHEAD WIRE
SS	PROP. OVERHEAD WIRE
SL	PROP. SANITARY MAIN
WL	PROP. WATER LATERAL
6"W	PROP. 6" WATER SERVICE
8"W	PROP. 8" WATER SERVICE
MAJOR CONTOUR	
MINOR CONTOUR	
STORM SEWER MAIN	
PROP. MAJOR CONTOUR	
PROP. MINOR CONTOUR	
PROP. STORM SEWER LATERAL	
SAWCUT LIMITS	
PROPERTY LINE (PIQ)	
PROPERTY LINE (ADJOINER)	
PROPERTY LINE (ROW)	
ROADWAY CENTERLINE	
PROP. PROPERTY LINE (INTERIOR)	
PROP. PROPERTY LINE (ROW)	
PROP. ROADWAY CENTERLINE	
BUFFER LINE	
EASEMENT LINE	
WETLAND LIMITS	
WETLAND BUFFER LIMITS	
TREELINE	
PROP. TREELINE	
PROP. SWM BASIN LIMITS	

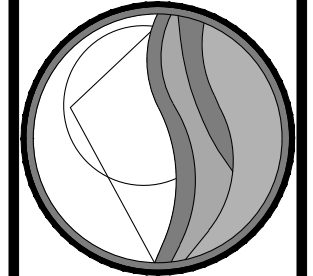


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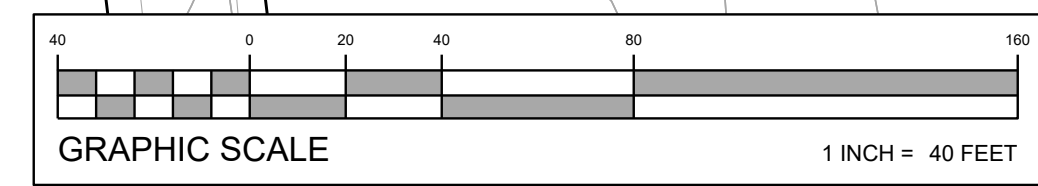
MATCH LINE A

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E  
NOT FOR CONSTRUCTION

**LANDCORE**  
Engineering Consultants, P.C.  
PHILADELPHIA, PENNSYLVANIA 19104-0635  
PHONE 215-585-8800 / FAX 215-585-8801  
PO BOX 335548 PHILADELPHIA, PENNSYLVANIA 19104-0635




PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA  
APPLICANT: D.R. HORTON  
TITLE: UTILITIES PLAN  
DATE: 2021-04-16  
SHEET: UP1  
REV. NO: 0



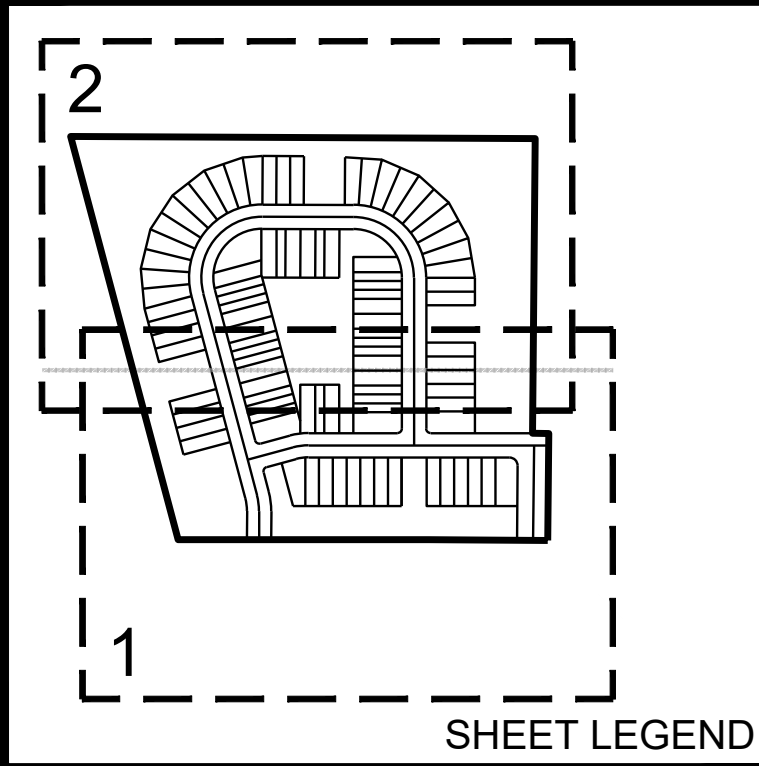


UTILITY PLAN LEGEND	
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	PROP. SANITARY MAIN
	PROP. SANITARY LATERAL
	PROP. WATER LATERAL
	PROP. 6\"/>
	PROP. 8\"/>
	MAJOR CONTOUR
	MINOR CONTOUR
	STORM SEWER MAIN
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	PROP. STORM SEWER LATERAL
	SAWCUT LIMITS
	PROPERTY LINE (PIO)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (INTERIOR)
	PROP. PROPERTY LINE (ROW)
	PROP. ROADWAY CENTERLINE
	BUFFER LINE
	EASEMENT LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE
	PROP. SWM BASIN LIMITS

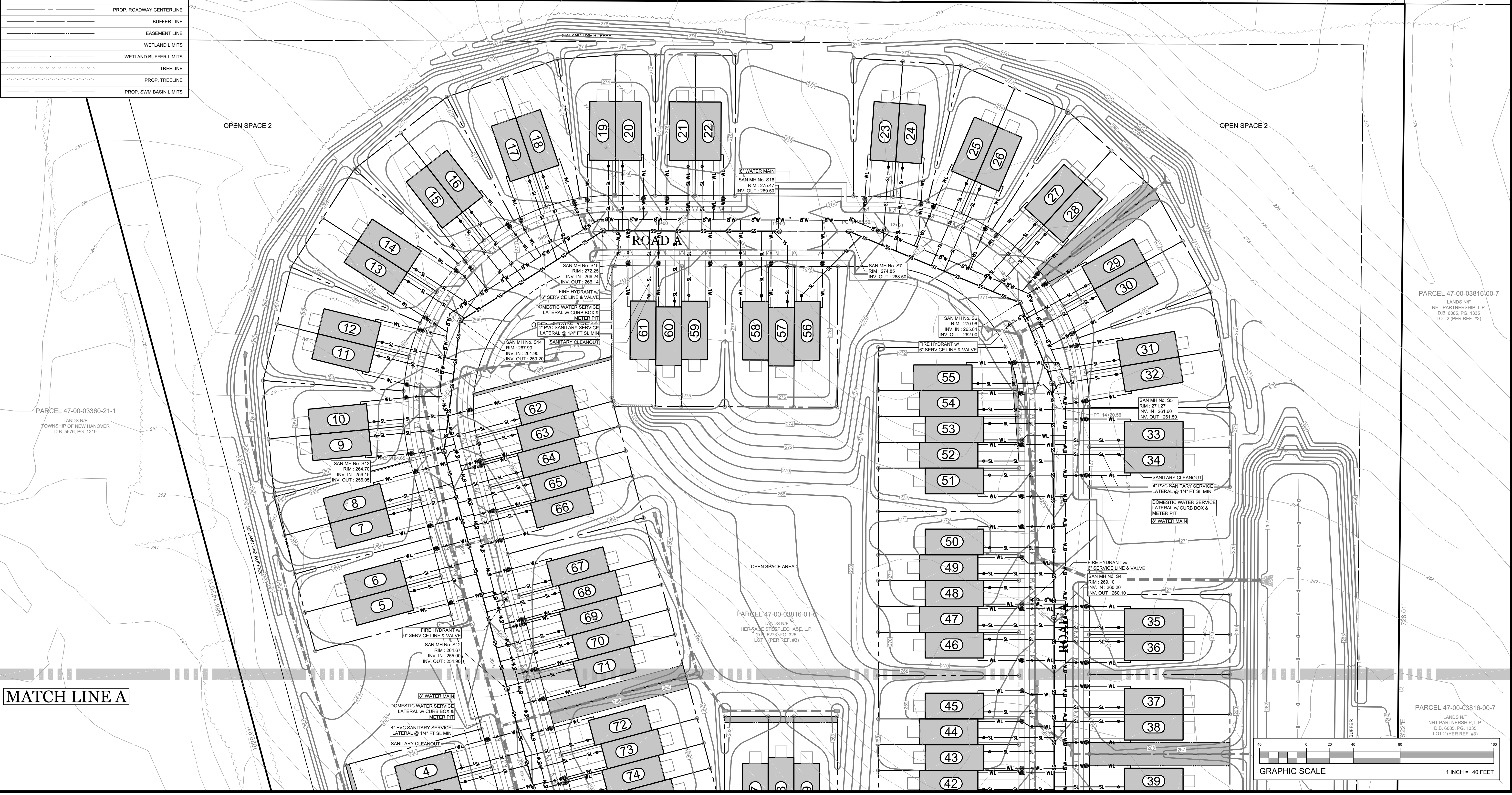


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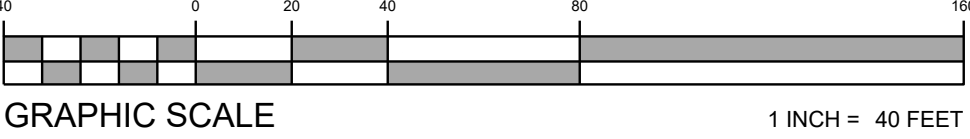
TICKET #: Ticket Num.



A  
B  
C  
D



MATCH LINE A



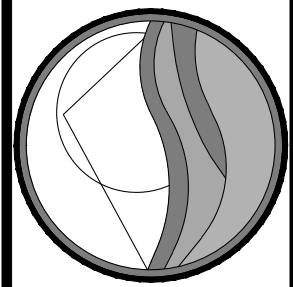
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT PARCEL 45-00-03816-01-16 NEW HANOVER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA	APPLICANT: D.R. HORTON TITLE: UTILITIES PLAN
DATE: 2021-04-16 SHEET: UP2	REV. NO: 0
ROLPH A. GRAF PROFESSIONAL ENGINEER PENNSYLVANIA LICENSE NO. 41814-E NOT FOR CONSTRUCTION	
PROJECT NO: 210015 DRAWN BY: M. RIEZEL & NIGENGAST CHECKED BY: R. GRAF CADD ID: 12-13_UP_210015	PHONE 215-988-8800   FAX 215-988-8800 PO BOX 3558 #8037 PHILADELPHIA, PENNSYLVANIA 19104-0835 LANDCORECONSULTING.COM
 <b>LANDCORE</b> Engineering Consultants, P.C.	



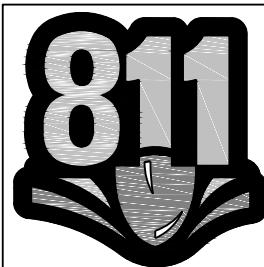
D

PIPE TABLE				
PIPE RUN	SIZE	LENGTH (FEET)	SLOPE (F/T)	
DP100-101	24" RCP	83	0.0051	
DP101-102	18" RCP	77	0.0050	
DP101-108	18" RCP	91	0.0077	
DP102-109	15" RCP	104	0.0050	
DP103-104	18" RCP CL V	215	0.0067	
DP104-105	18" RCP	97	0.0050	
DP104-107	15" RCP	19	0.1078	
DP105-106	15" RCP	85	0.0056	
DP109-110	15" RCP	33	0.0051	
DP109-112	15" RCP	148	0.0134	
DP110-111	15" RCP	57	0.0056	
DP120-121	18" RCP	22	0.0052	
DP121-122	18" RCP	138	0.0050	
DP121-130	15" RCP	69	0.0056	
DP122-123	18" RCP	26	0.0052	
DP122-125	15" RCP	148	0.0125	
DP123-124	15" RCP CL V	32	0.0050	
DP125-126	15" RCP	58	0.0087	
DP126-127	15" RCP	33	0.0050	
DP130-131	15" RCP	89	0.0147	
DP140-141	15" RCP	121	0.0112	
DP141-141A	15" RCP	3	0.0188	
DP141A-142	15" RCP	54	0.0056	
DP141A-144	15" RCP	37	0.0056	
DP142-142A	15" RCP	6	0.0174	
DP142-143	15" RCP	51	0.0050	
DP150-151	15" RCP	50	0.0101	
DP151-152	15" RCP	36	0.0056	
DP151-153	15" RCP	53	0.0052	
DP152-152A	15" RCP	4	0.0164	
DP153-153A	15" RCP	3	0.0248	
DP200-201	18" RCP	305	0.0051	
DP201-202	15" RCP	165	0.0053	
DP202-203	15" RCP	58	0.0051	
DP205-206	30" RCP	68	0.0052	
DP206-206A	24" RCP	3	0.0072	
DP206-230	15" RCP	33	0.0061	
DP206A-207	24" RCP	126	0.0050	
DP207-208	24" RCP	89	0.0050	
DP207-210	18" RCP	177	0.0050	
DP208-209	15" RCP	21	0.0052	
DP208-220	24" RCP	63	0.0053	
DP210-211	18" RCP	141	0.0054	
DP210-212	18" RCP	40	0.0051	
DP212-213	15" RCP	97	0.0052	
DP220-221	24" RCP	132	0.0078	
DP220-226	15" RCP	32	0.0083	
DP221-222	18" RCP	56	0.0055	
DP222-223	18" RCP	59	0.0051	
DP223-224	15" RCP	100	0.0689	
DP224-225	15" RCP	34	0.0060	
DP230-231	15" RCP	39	0.0052	
DP300-301	15" RCP	161	0.0059	
DP301-302	15" RCP	3	0.0172	
DP302-303	15" RCP	35	0.0217	
DP303-304	15" RCP	25	0.0104	
DP304-305	15" RCP	3	0.0193	
DP310-311	24" RCP	141	0.0053	
DP311-312	24" RCP	50	0.0060	
DP312-313	24" RCP	190	0.0050	
DP313-314	24" RCP	33	0.0052	
DP313-317	15" RCP	25	0.0080	
DP314-315	18" RCP	27	0.0076	
DP315-316	15" RCP	147	0.0106	
DP400-401	18" RCP CL V	306	0.0051	
DP401-402	18" RCP	44	0.0057	
DP402-403	18" RCP	187	0.0048	
DP403-404	18" RCP	127	0.0052	
DP404-405	18" RCP	38	0.0050	
DP405-1010	29 x 45" ERCP	30	0.0054	

		<b>LANDCORE</b> <b>Engineering Consultants, P.C.</b> PO BOX 37855 68207 PHILADELPHIA, PENNSYLVANIA 19101-0635 PHONE 215-636-2500   FAX 215-532-4408 LANDCORECONSULTING.COM	
PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT PARCEL 45-00-03816A-116 NEW HANOVER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA APPLICANT: D.R. HORTON		TITLE: STORM SEWER CHART	
DATE: 2021-04-16 SHEET: SC		REV. NO: 0	

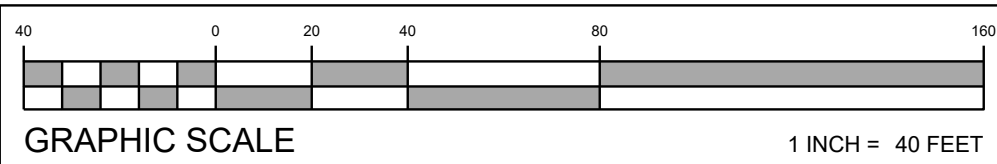


PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT PARCEL 45-00-03816-01-16 NEW HANOVER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA	
APPLICANT: D.R. HORTON	
TITLE: STORM SEWER CHART	
DATE: 2021 - 04 - 16	SHEET : SC
REV. No: 0	

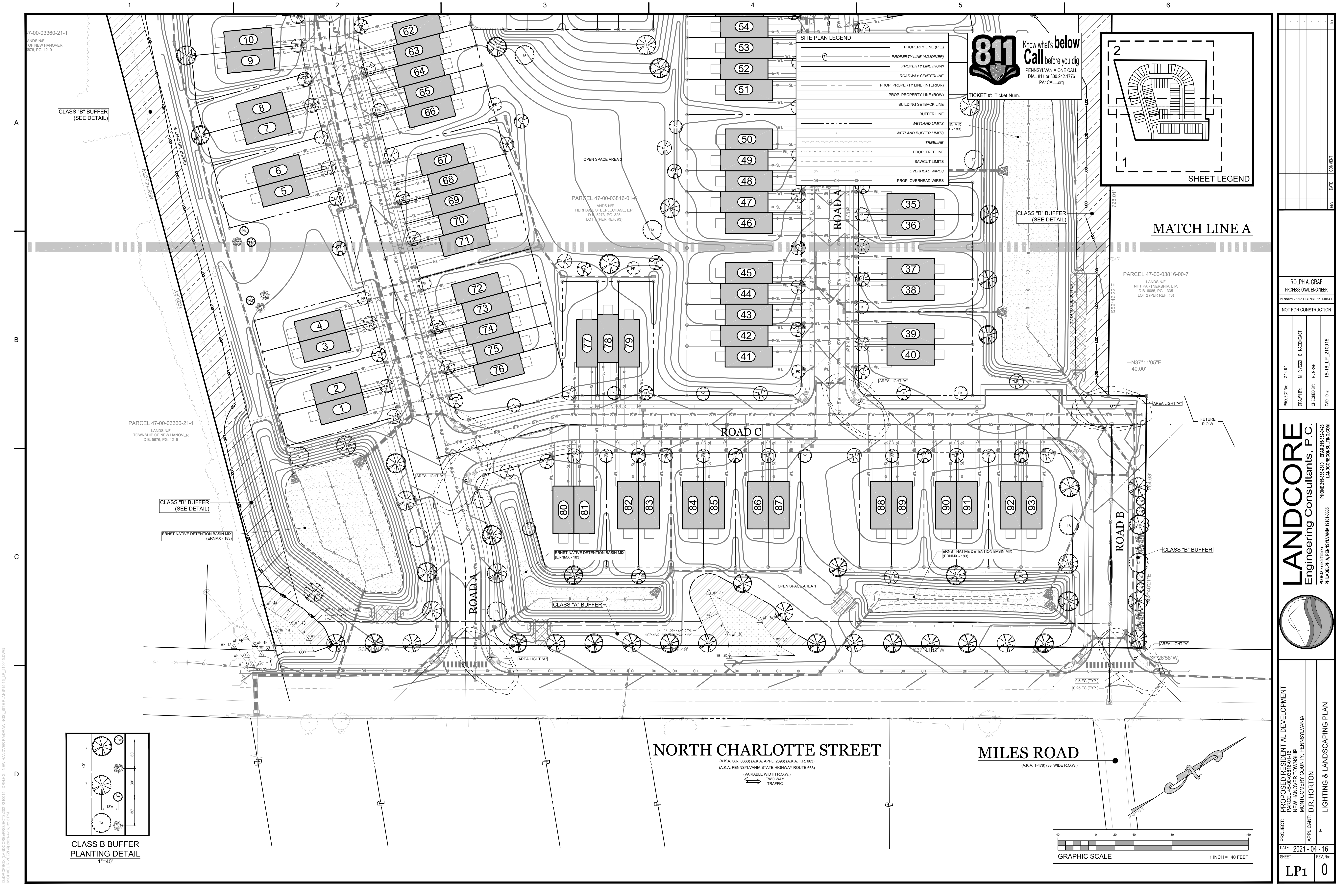


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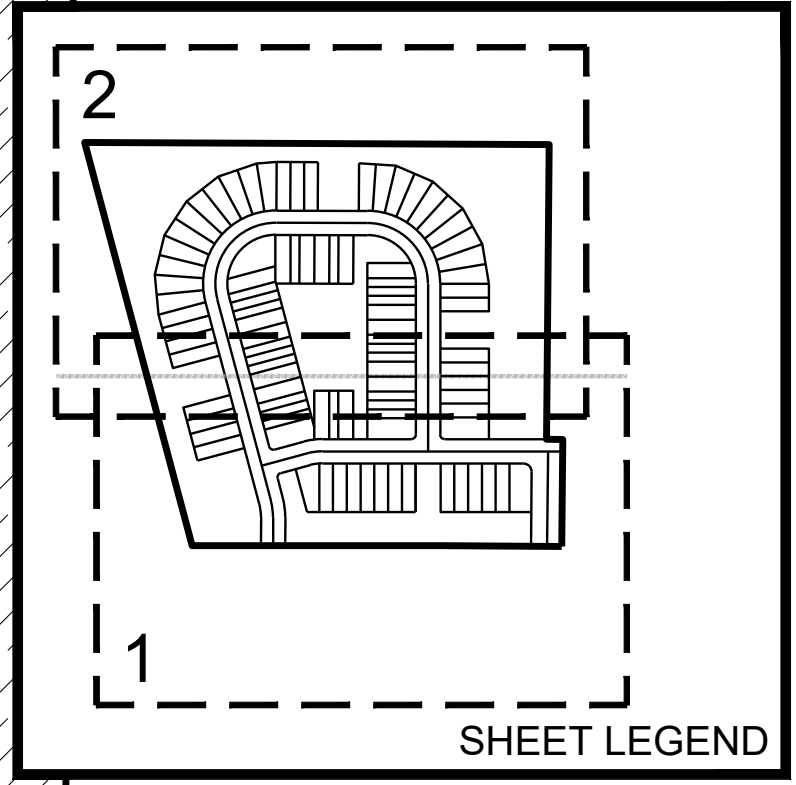




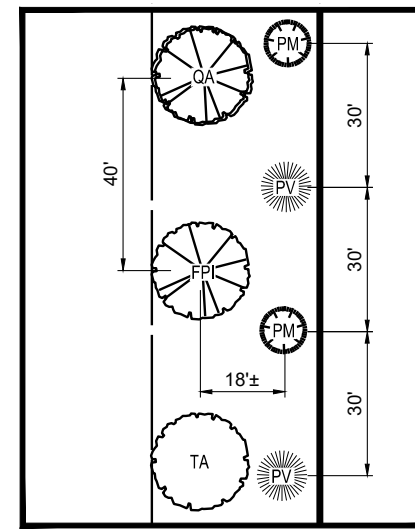
SITE PLAN LEGEND	
	PROPERTY LINE (PQ)
	PROPERTY LINE (ADJOUER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (INTERIOR)
	PROP. PROPERTY LINE (ROW)
	BUILDING SETBACK LINE
	BUFFER LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE
	SAWCUT LIMITS
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES

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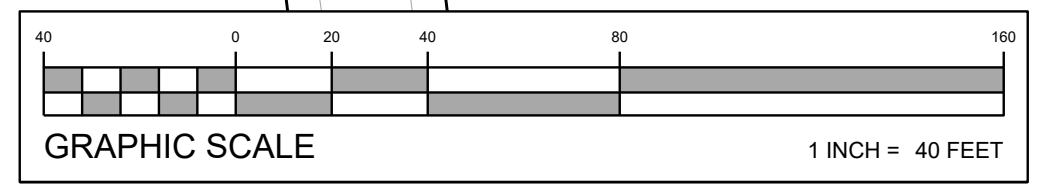
TICKET #: Ticket Num.



MATCH LINE A



CLASS B BUFFER  
PLANTING DETAIL  
1"=40'



PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICANT: D.R. HORTON

TITLE: LIGHTING & LANDSCAPING PLAN

DATE: 2021-04-16

SHEET: LP1

REV. NO.: 0

REV. DATE: 2021-04-16

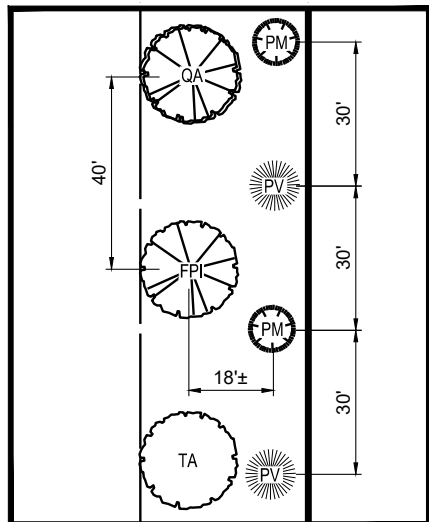
ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

NOT FOR CONSTRUCTION

PROJECT NO: 210015  
DRAWN BY: M. RIEZEL  
CHECKED BY: R. GRAF  
CADD ID: 15-16\_LP\_210015

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CLASS B BUFFER  
PLANTING DETAIL  
1"=40'

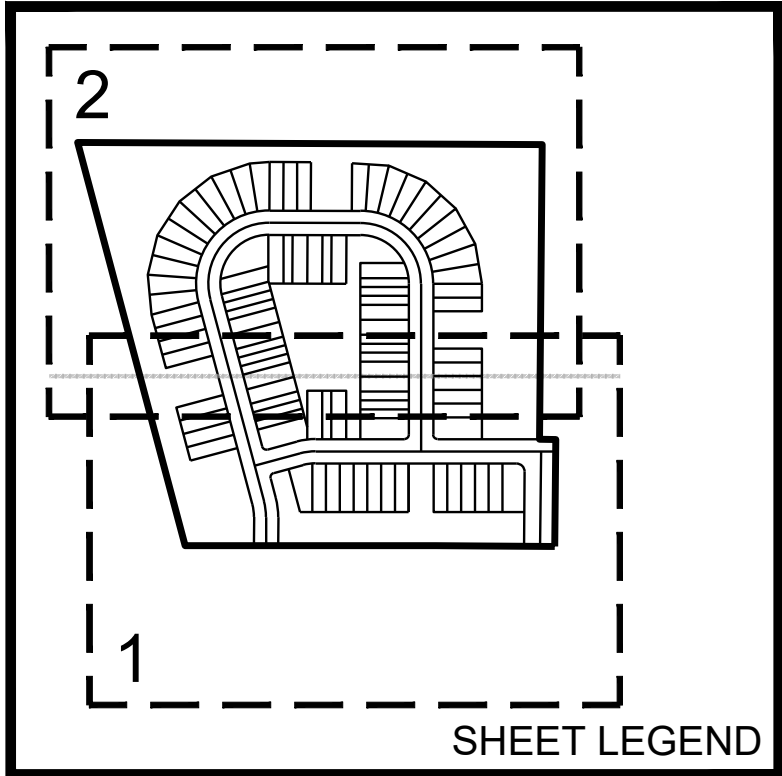
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	PLANTING SPREAD	MIN. PLANTING HEIGHT	REMARKS
SHADE TREES							
AR	13	ACER RUBRUM	RED MAPLE	2.5" CAL.	40'	12-15'	B&B
FPI	27	FRAXIMUS PENNSYLVANIA LANCEOLATA	GREEN ASH	2.5" CAL.	40'	12-15'	B&B
QA	26	QUERCUS ALBA	WHITE OAK	2.5" CAL.	40'	12-15'	B&B
QB	15	QUERCUS BOREALIS	RED OAK	2.5" CAL.	40'	12-15'	B&B
TA	25	TILIA AMERICANA	AMERICAN LINDEN	2.5" CAL.	40'	12-15'	B&B
	106						
FLOWERING TREES							
CF	36	CORNUS FLORIDA	FLOWERING DOGWOOD	1.5" CAL.	60'	6-8'	B&B
MF	42	MALUS FLORIBUNDA	JAPANESE FLOWERING CRAB	1.5" CAL.	60'	6-8'	B&B
PK	38	PRUNUS KWANSAN	KWANSAN CHERRY	1.5" CAL.	60'	6-8'	B&B
	116						
EVERGREEN TREES							
PM	46	PSEUDOTSUGA MENZIESLI	DOUGLAS FIR	6'-7'	40'	6'	B&B
PV	45	PINUS VIRGINIANA	VIRPINIA PINE	6'-7'	40'	6'	B&B
	91						

PARCEL 47-00-00236-00-5  
LANDS NIF  
BOYERTOWN AREA SCHOOL DISTRICT  
D.B. 4718, PG. 141  
BLOCK 42, LOT 1

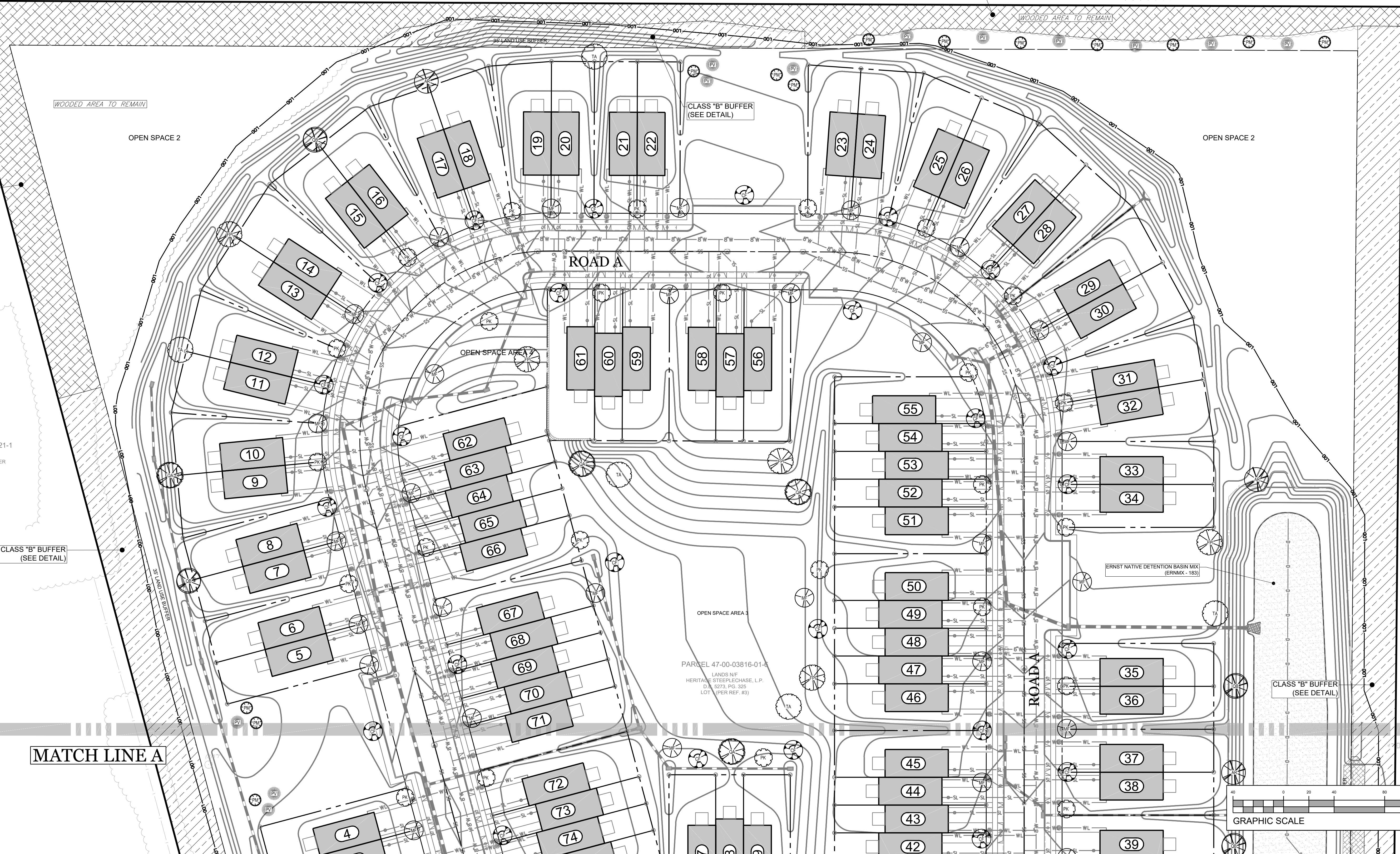
ERNST SEED CO. NATIVE DETENTION BASIN MIX SEED SPECIFICATIONS  
(ERNMX - 183)

COMMON NAME	SCIENTIFIC NAME	PERCENTAGE
SWITCHGRASS, "SHELTER"	PANICUM VIRGATUM	25
DEERTONGUE, "HOGA"	PANICUM CLANDESTINUM	24
FOX SEDGE, PA ECOTYPE	CAREX VULPINODEA, PA ECOTYPE	22
VIRGINIA WILDRYE, PA ECOTYPE	ELYMUS VIRGINICUS, PA ECOTYPE	21
AUTUMN BENTGRASS, ALBANY PINE BUSH - NY ECOTYPE	AGROSTIS PERENNANS	6
SOFT RUSH	JUNCUS EFFUSUS	1
REDTOP PANICGRASS, PA ECOTYPE	PANICUM RIGIDULUM	1
TOTAL:		100

1. SOW ABOVE MIX AT A RATE OF 0.5 LBS PER 1,000 SF. THE USE OF SEED FILLER 9.5 LB FILLER TO 0.5 LB SEED CAN BE USED TO PROVIDE A MIX APPLIED AT 10 LB PER 1,000 SF.
2. SUPPLEMENT ABOVE MIX WITH ANNUAL RYE OR OATS AT A RATE OF 10 LBS/ACRE, PREFERABLY A NATIVE SPECIES.



PARCEL 47-00-00236-00-5  
LANDS NIF  
BOYERTOWN AREA SCHOOL DISTRICT  
D.B. 4718, PG. 141  
BLOCK 36, LOT 19

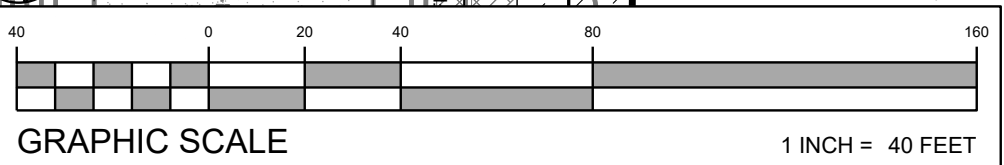


PARCEL 47-00-03360-21-1  
LANDS NIF  
TOWNSHIP OF NEW HANOVER  
D.B. 5076, PG. 1219

PARCEL 47-00-03816-00-7  
LANDS NIF  
NHT PARTNERSHIP, L.P.  
D.B. 6085, PG. 1335  
LOT 2 (PER REF. #3)

PARCEL 47-00-03816-01-5  
LANDS NIF  
HERITAGE STEEPLECHASE, L.P.  
D.B. 5270, PG. 325  
LOT 1 (PER REF. #3)

PARCEL 47-00-03816-00-7  
LANDS NIF  
NHT PARTNERSHIP, L.P.



PROJECT: 210015  
DRAWN BY: M. RIEZEL, B. NUGENT  
CHECKED BY: R. GRAF  
CADD ID: R. 15-16\_LP\_210015

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

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Engineering Consultants, P.C.  
PHONE 215-585-8800 | FAX 215-585-8800  
PO BOX 375548 PHILADELPHIA, PENNSYLVANIA 19104-0635

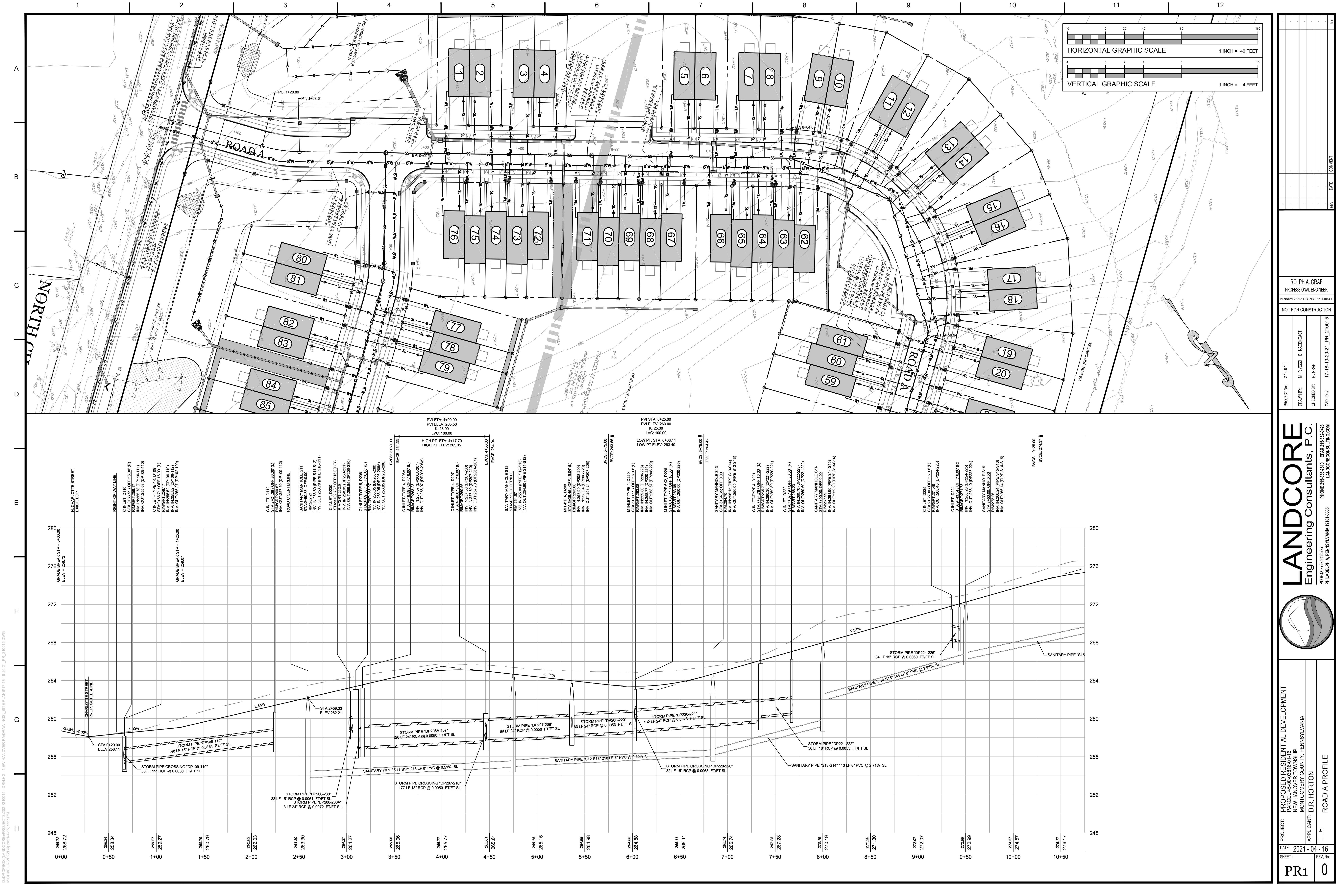
PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICANT: D.R. HORTON  
TITLE: LIGHTING & LANDSCAPING PLAN

DATE: 2021-04-16  
SHEET: LP2  
REV. NO: 0

D:\WORK\PROJECTS\2021\0015 - DRHAG - NEW HANOVER PARADISE\SITE PLANS\15-16\_LP\_210015.DWG  
MICHAEL RIEZEL 0 210015 210015





REV.	DATE	COMMENT
1		
2		
3		
4		
5		
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9		
10		
11		
12		

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E  
NOT FOR CONSTRUCTION

PROJECT No. 210015  
DRAWN BY: M. RIEZEL B. NIGEMAST  
CHECKED BY: R. GRAF  
CADD ID: 17-18-19-20-21\_PR\_210015

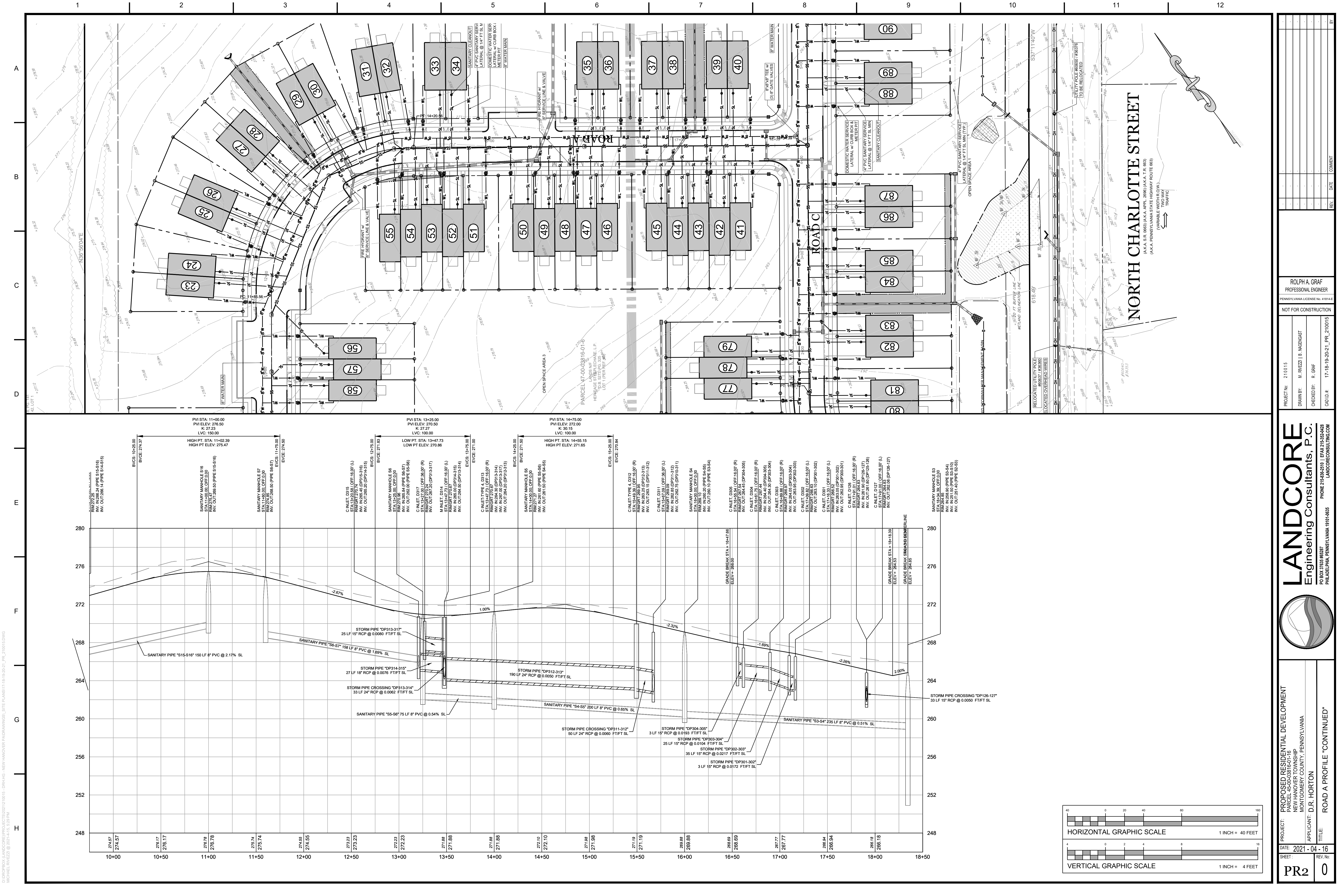
**LANDCORE**  
Engineering Consultants, P.C.  
PO BOX 3554 #8307  
PHILADELPHIA, PENNSYLVANIA 19104-0635  
PHONE 215-588-5600 | FAX 215-585-6440  
LANDCORECONSULTING.COM

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICANT: D.R. HORTON  
TITLE: ROAD A PROFILE

DATE: 2021-04-16  
SHEET: PR1 0  
REV. NO:





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MICHAEL W. GREGG © 2021

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT PARCEL 45-00-03816-01-16 NEW HANOVER TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA		APPLICANT: D.R. HORTON	
DATE: 2021-04-16		TITLE: ROAD A PROFILE "CONTINUED"	
SHEET: PR2		REV. NO: 0	

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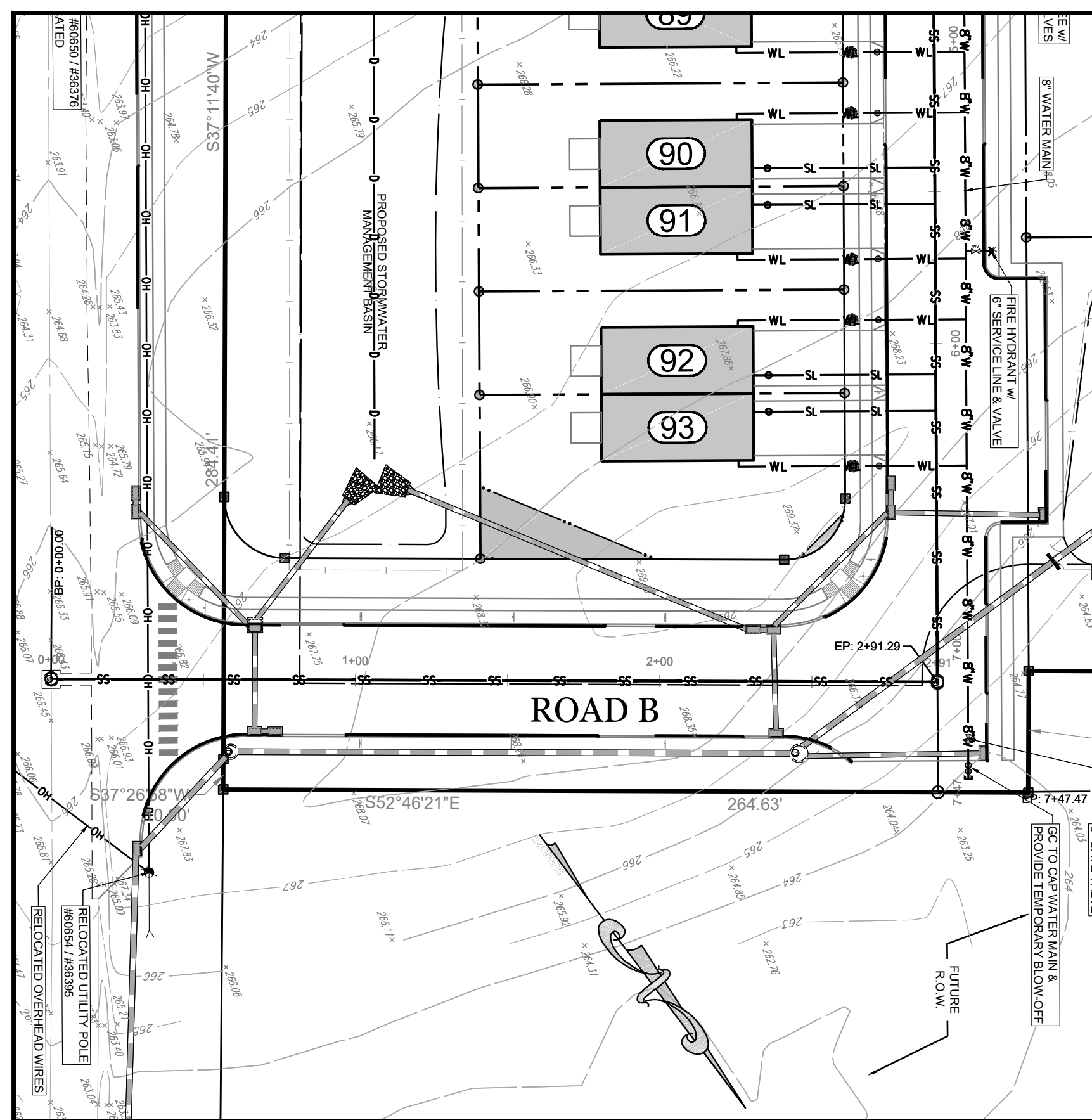
PHILADELPHIA, PENNSYLVANIA 19104-0633  
PHONE 215-585-8800 / FAX 215-585-8800  
PO BOX 37554 PHILADELPHIA, PENNSYLVANIA 19104-0633

PROJECT NO.	210015
DRAWN BY	M. RIEZEL, M. NIGEMAST
CHECKED BY	R. GRAF
CAD D.R.	17-18-19-20-21_PR_210015
DATE	17-18-19-20-21
REV.	0
COMMENT	

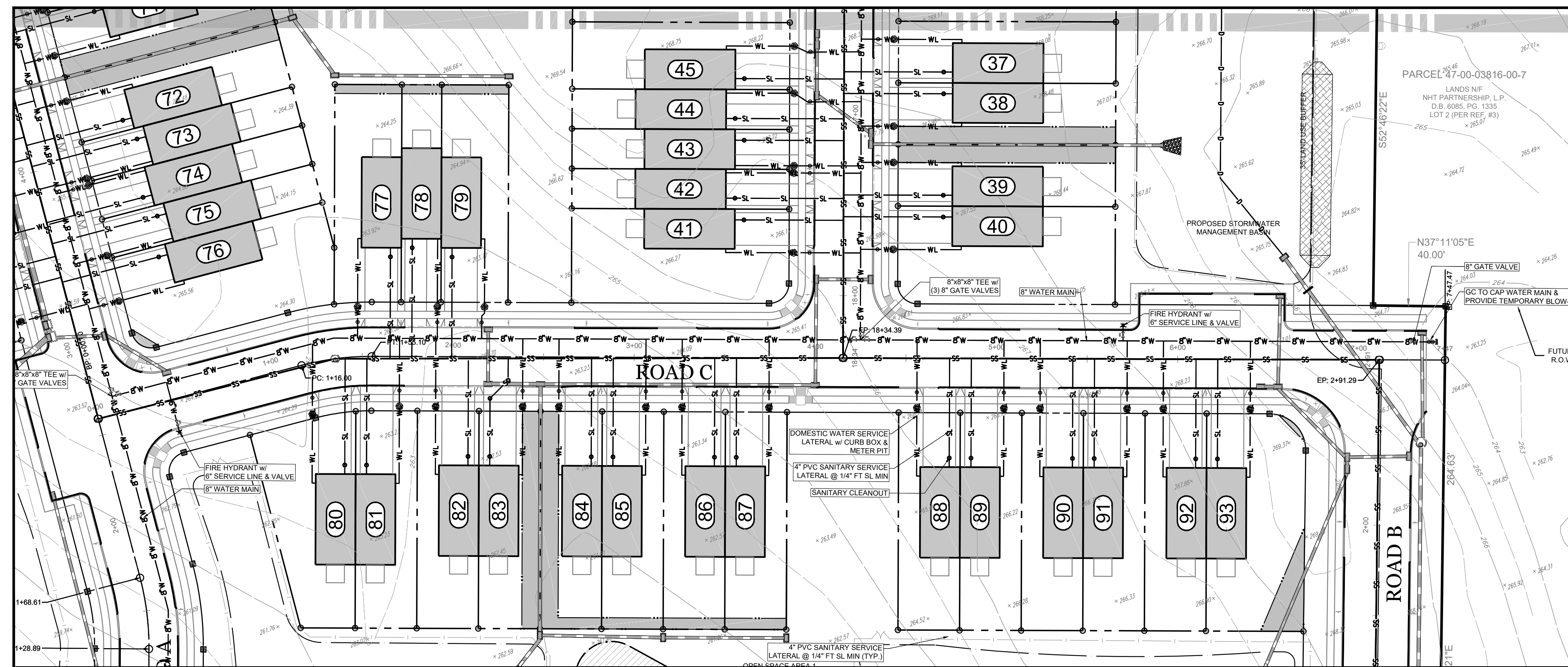
ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

NOT FOR CONSTRUCTION

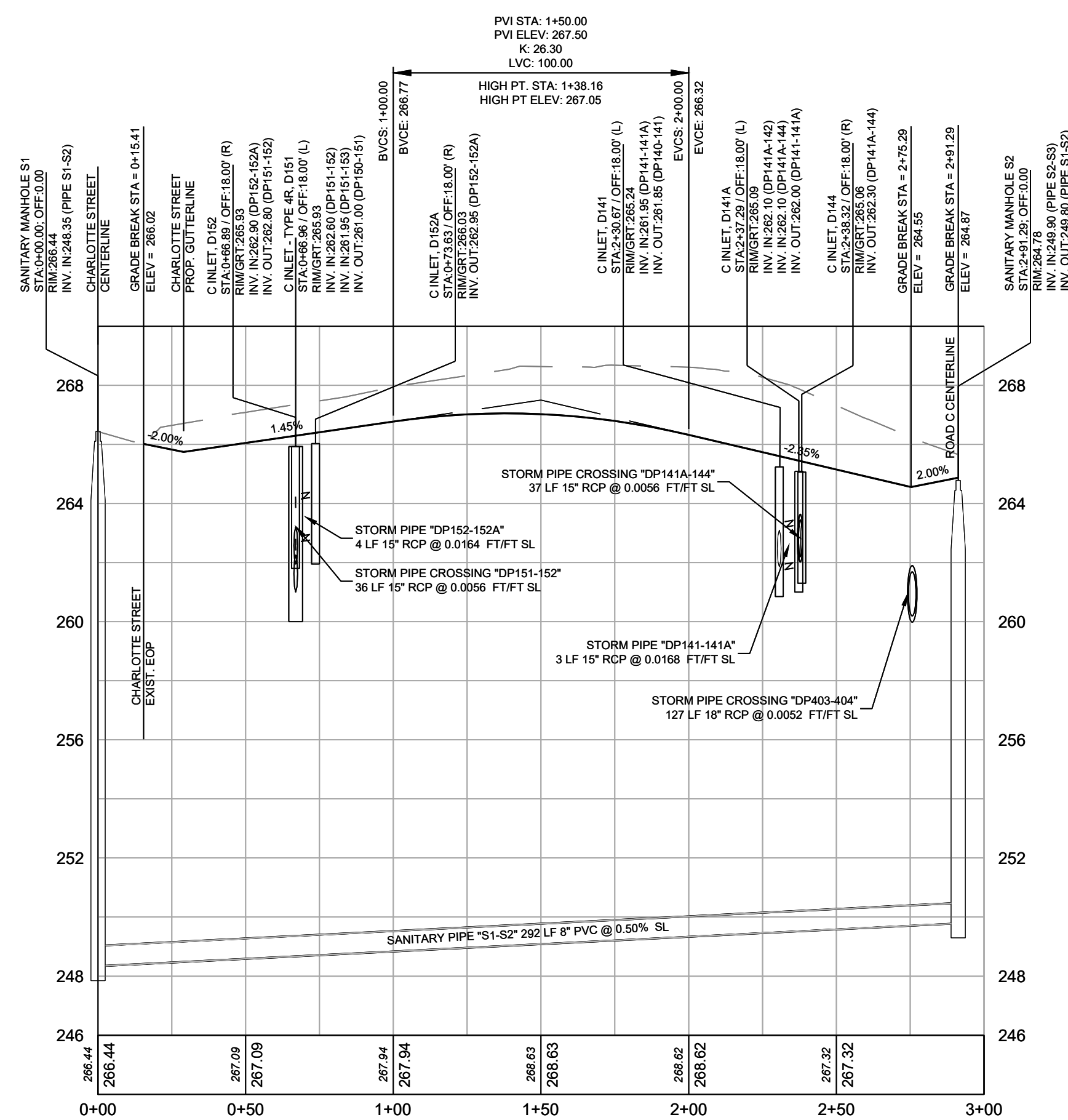




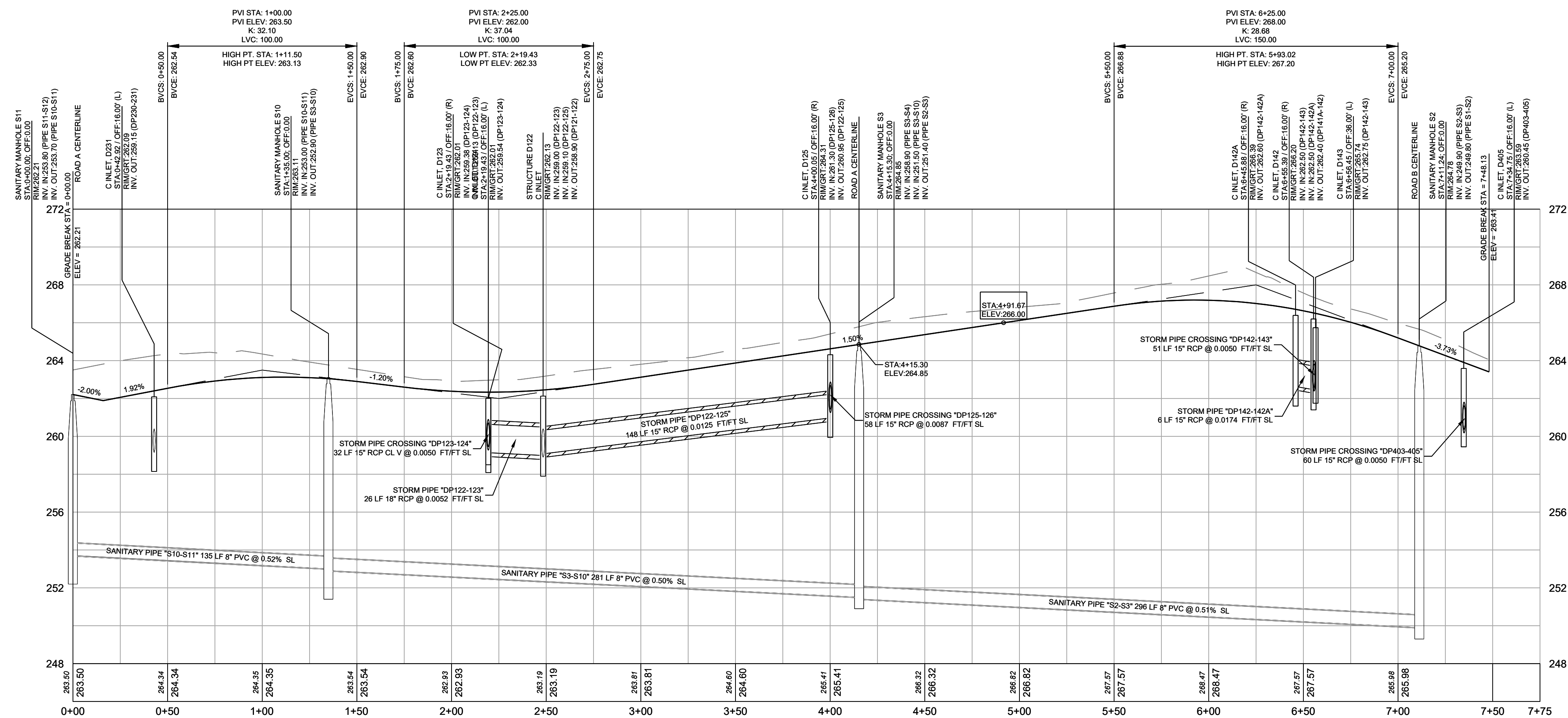
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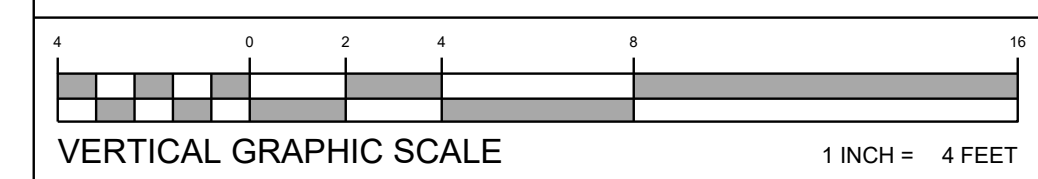
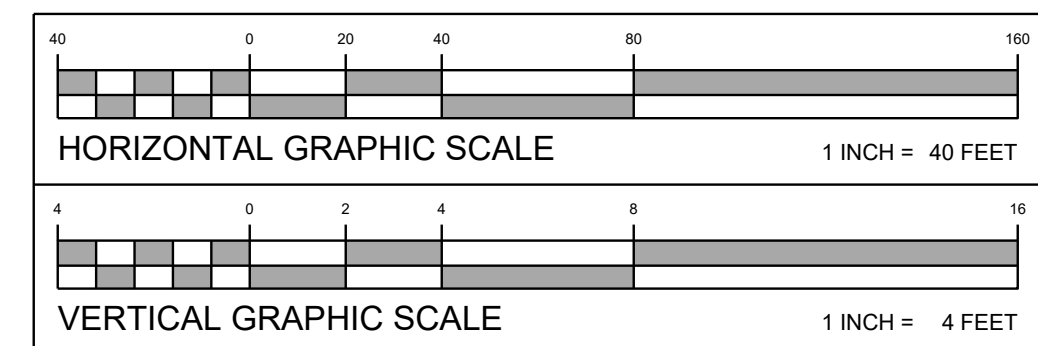
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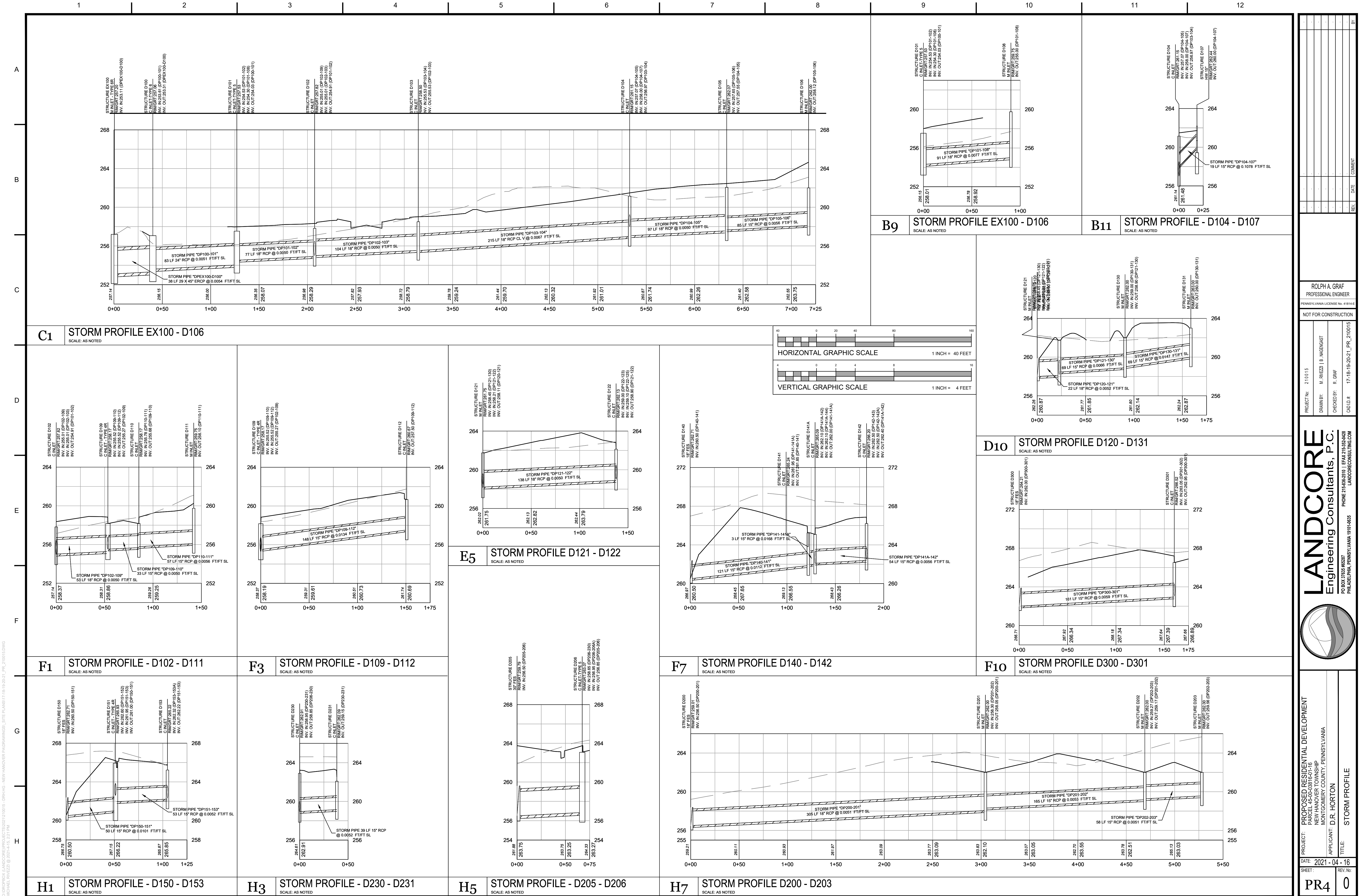
### ROAD B PROFILE



ROAD C PROFILE







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M. HANOVER TOWNSHIP

REV.	DATE	COMMENT
1		
2		
3		
4		
5		
6		
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8		
9		
10		
11		
12		

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

NOT FOR CONSTRUCTION

PROJECT No. 210015  
DRAWN BY: M. RIEDEL, B. NIEDEGAST  
CHECKED BY: R. GRAF  
CADD ID: 17-18-19-20-21\_PR\_210015

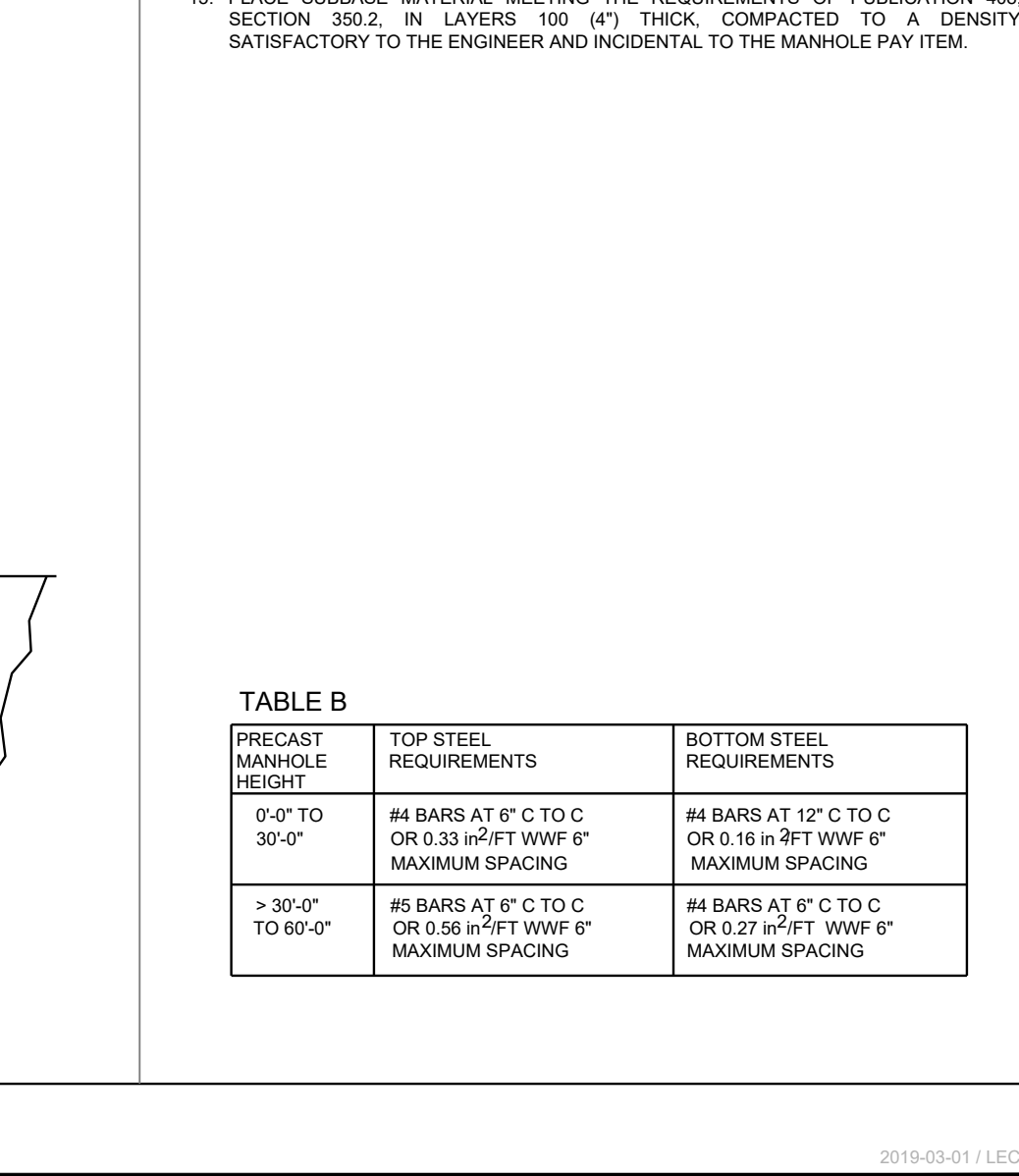
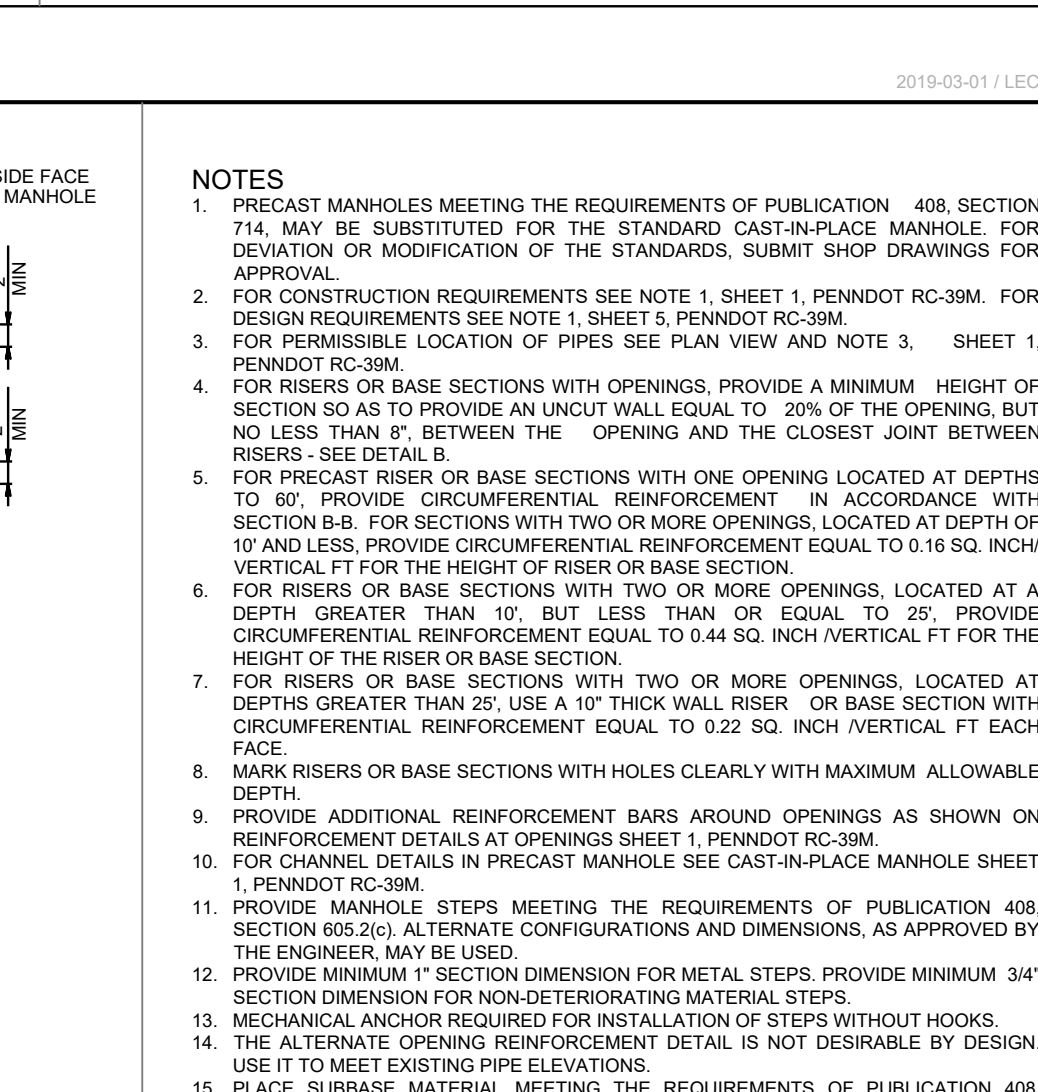
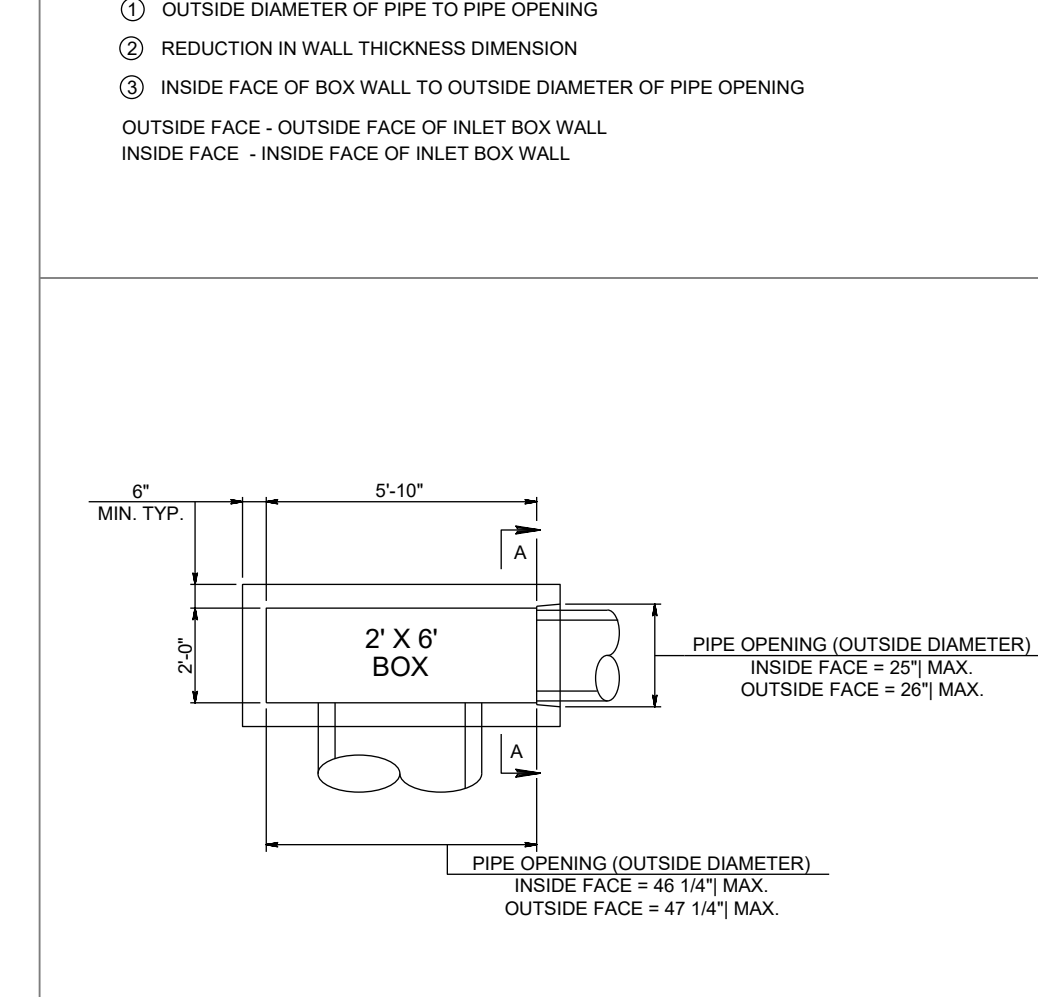
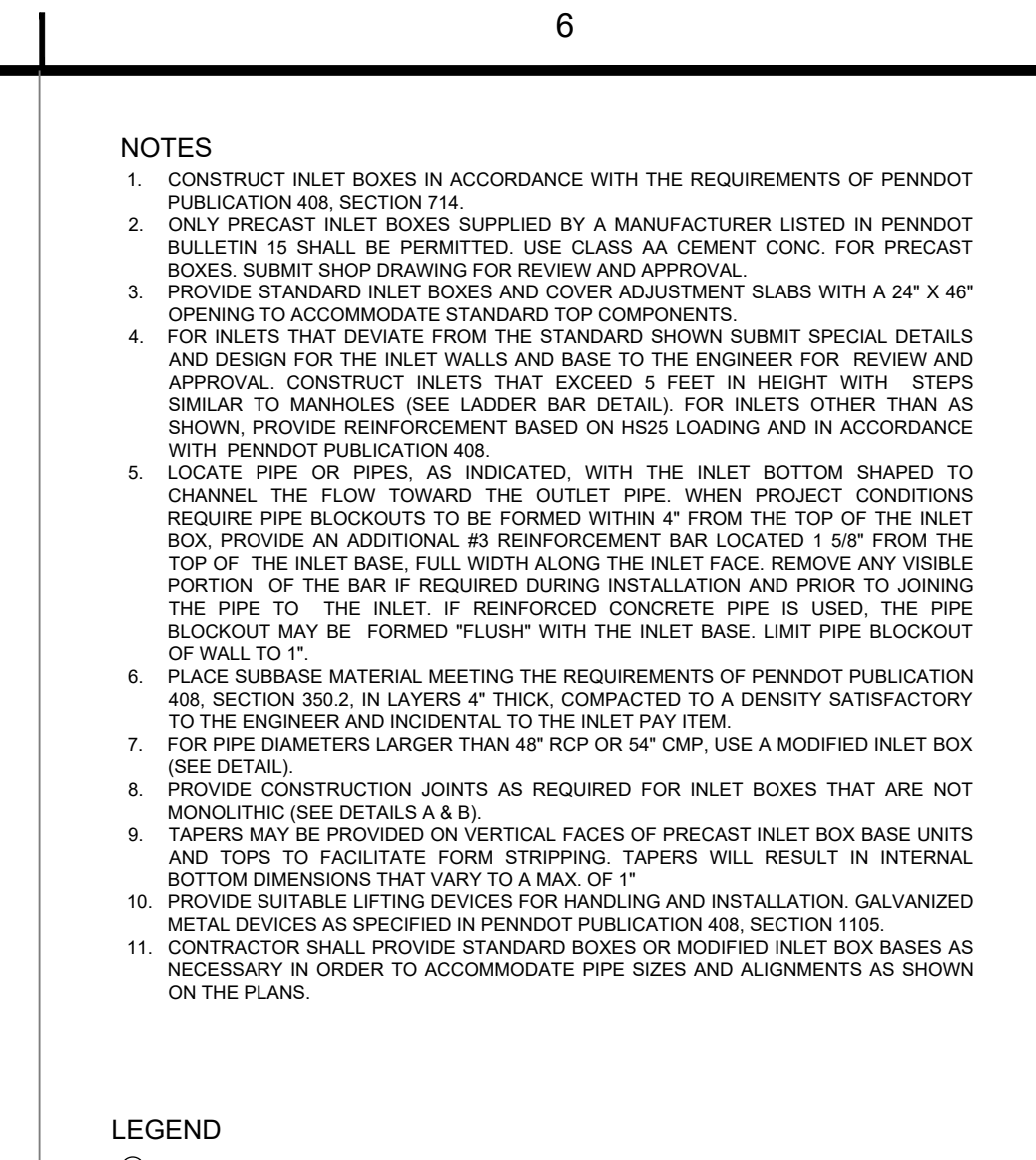
**LANDCORE**  
Engineering Consultants, P.C.  
PO BOX 3554 #8387 PHILADELPHIA, PENNSYLVANIA 19104-0835  
PHONE 215-588-5800 | FAX 215-582-6440  
LANDCORECONSULTING.COM

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA  
APPLICANT: D.R. HORTON  
TITLE: STORM PROFILE  
DATE: 2021-04-16  
SHEET: PR4  
REV. NO.: 0





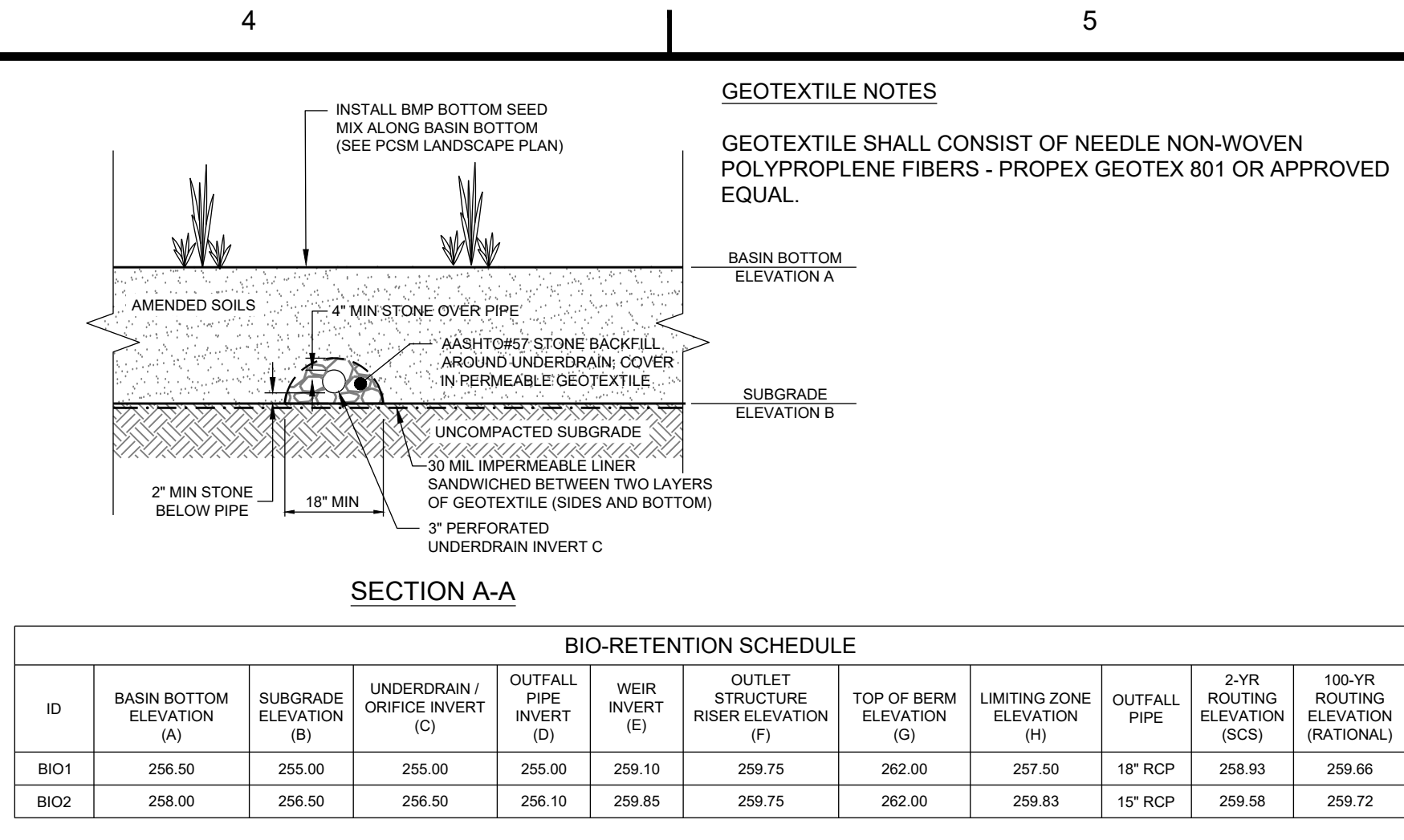
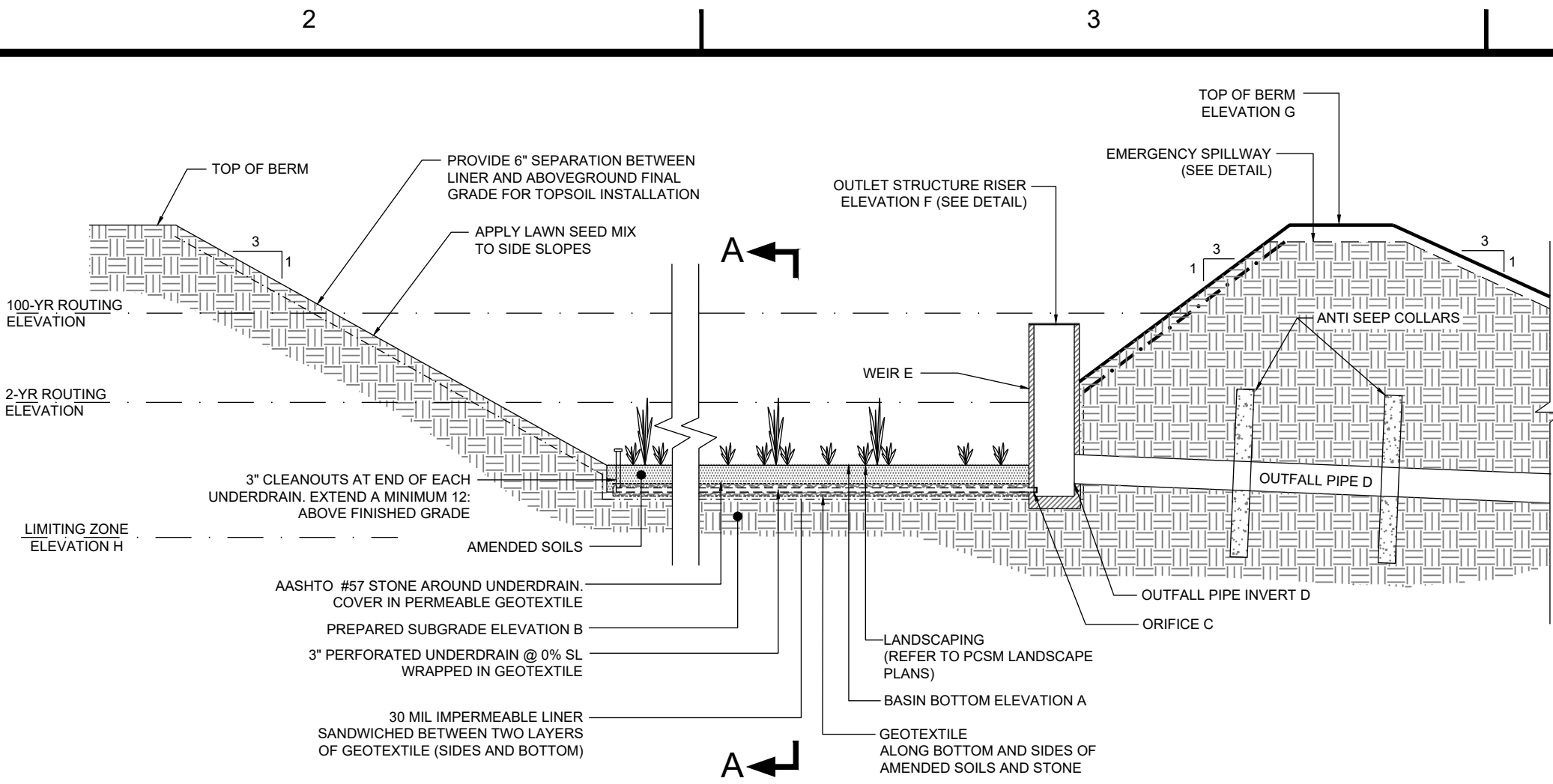
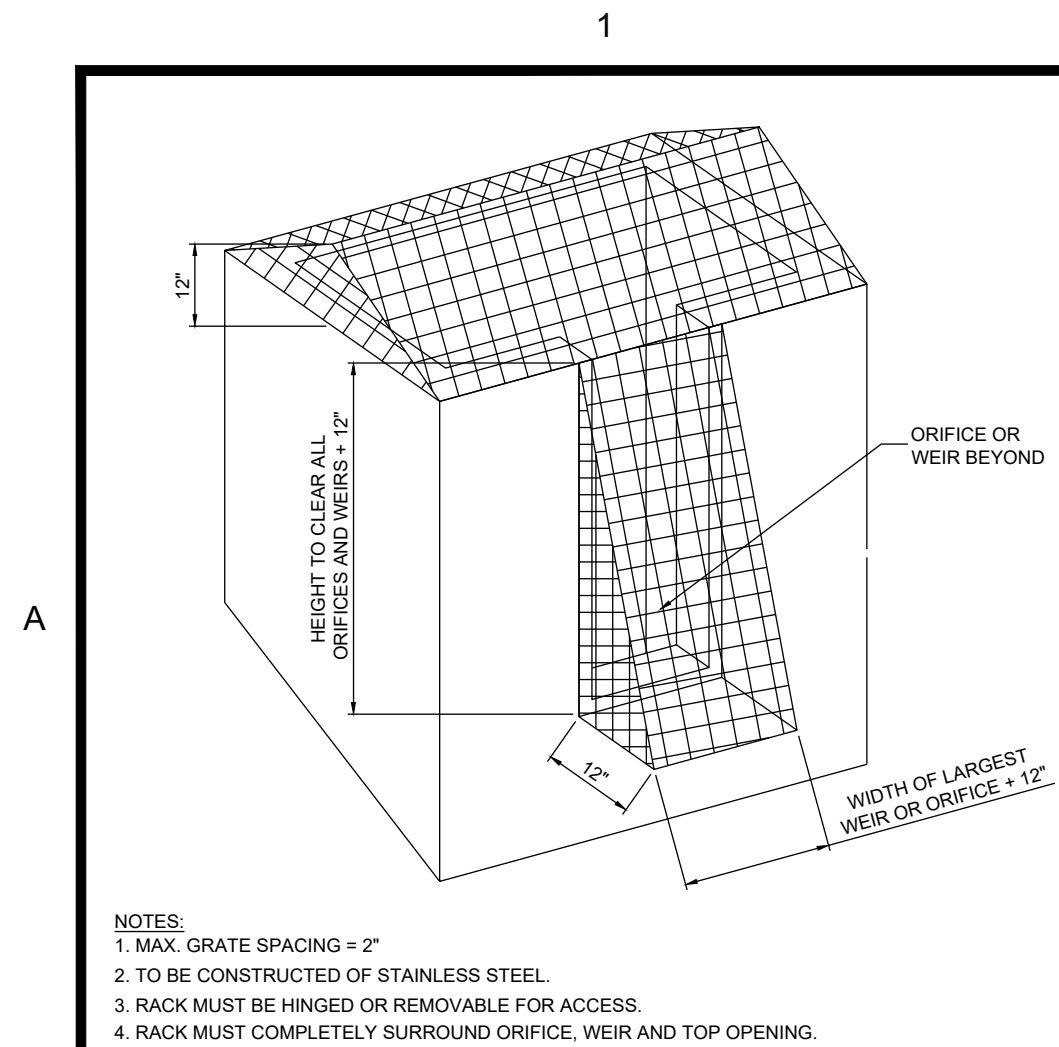










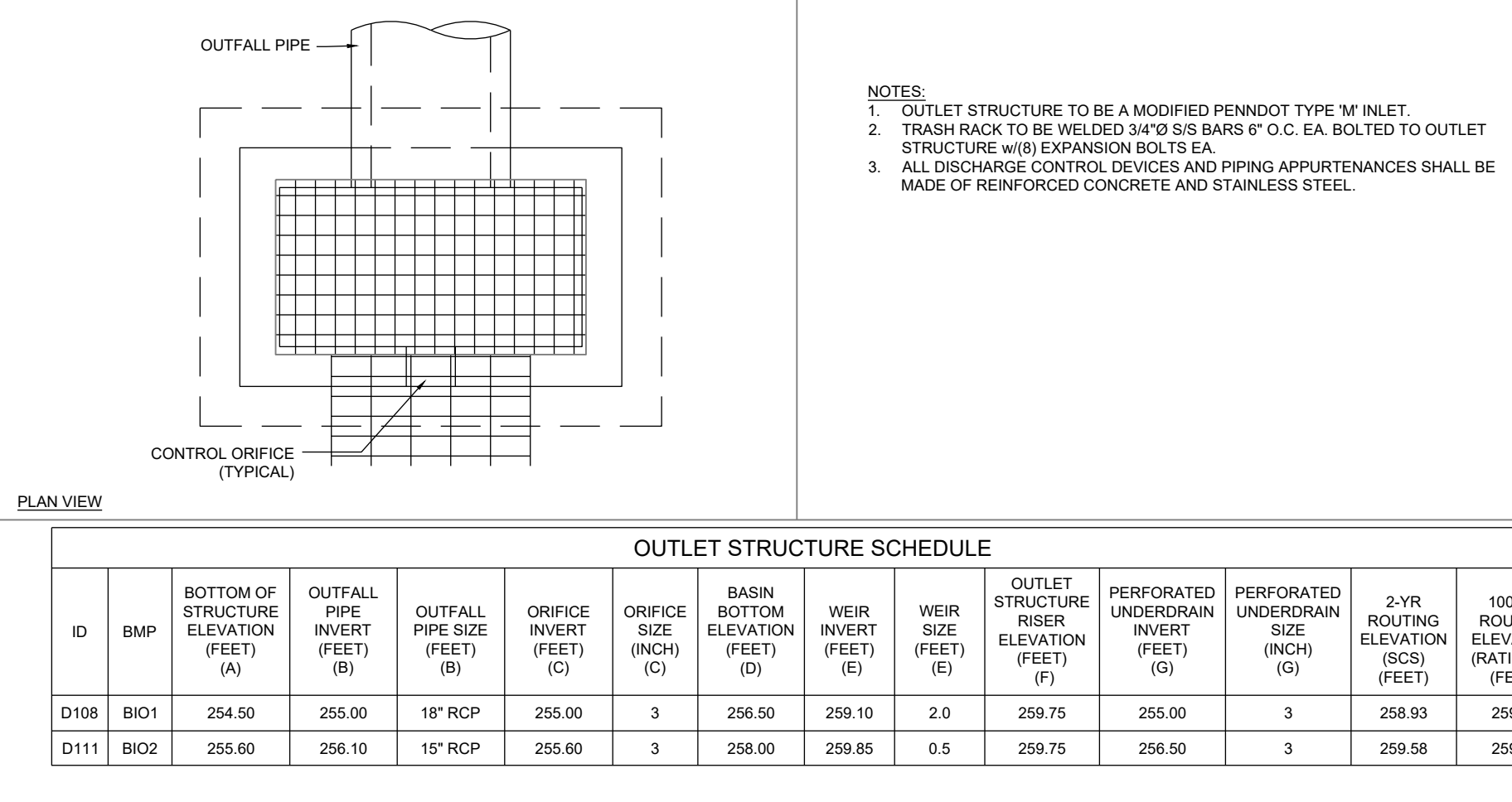
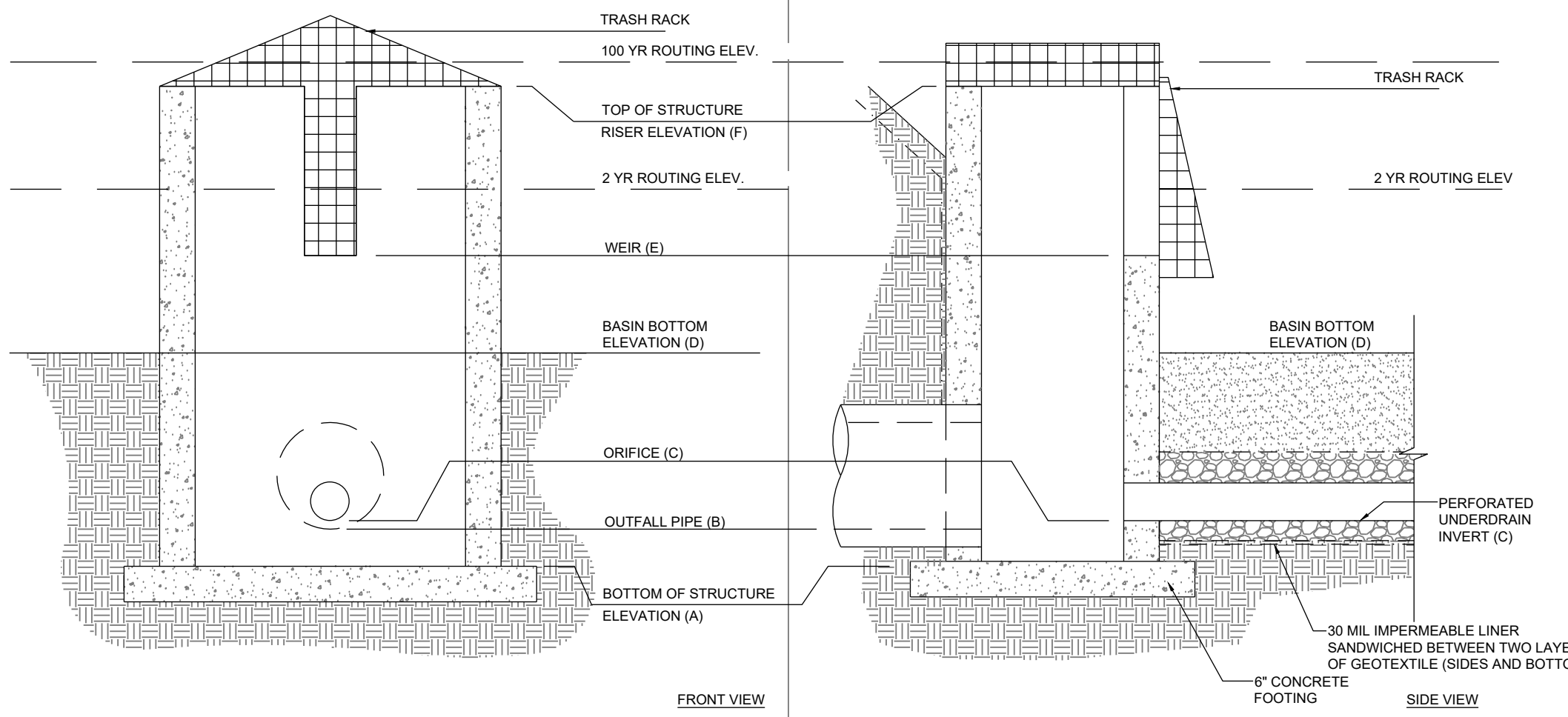


- ## CONSTRUCTION SEQUENCE
1. GRADE EACH BMP TO TEMPORARY SEDIMENT TRAP ELEVATION. DO NOT INSTALL AMENDED SOILS WHILE THE BMPs ARE BEING UTILIZED AS A SEDIMENT TRAPS.
  2. INSTALL DOWNSTREAM CONVEYANCE SYSTEMS, OUTLET STRUCTURES AND EMERGENCY SPILLWAYS.
  3. CONVERT BMPs TO SEDIMENT TRAPS AND INSTALL ASSOCIATED RISERS, BAFFLE WALLS AND CLEANOUTS.
  4. INSTALL AND MAINTAIN PROPER E&S BMPs DURING CONSTRUCTION.
  5. UPON DECOMMISSIONING OF SEDIMENT TRAPS, EXCAVATE BMPs TO MRC'S SOIL AMENDMENT BOTTOM ELEVATION.
  6. INSTALL LINER.
  7. INSTALL UNDERDRAIN PIPING WITH AGGREGATE ENVELOPE, CLEANOUTS, ETC.
  8. PLACE SOIL MEDIA GENTLY. DO NOT COMPACT SOIL MEDIA OR THE BASIN BOTTOM. THE PLACEMENT OF SOIL MEDIA SHOULD BE DONE FROM OUTSIDE THE BMP FOOTPRINT TO AVOID COMPACTING BY CONSTRUCTION EQUIPMENT. LOW GRADE PRESSURE EQUIPMENT MAY BE USED ON ANY NECESSARY GRADING WITHIN THE FOOTPRINT OF THE BMP. ALL PRECAUTIONS SHOULD BE TAKEN TO MINIMIZE COMPACTION OF THE SOIL MEDIA DURING CONSTRUCTION.
  9. SEED AND STABILIZE DISTURBED AREA. VEGETATE WITH NATIVE PLANTINGS.
  10. MAINTAIN INLET PROTECTION AND OTHER E&S CONTROLS UNTIL THE SITE IS FULLY STABILIZED

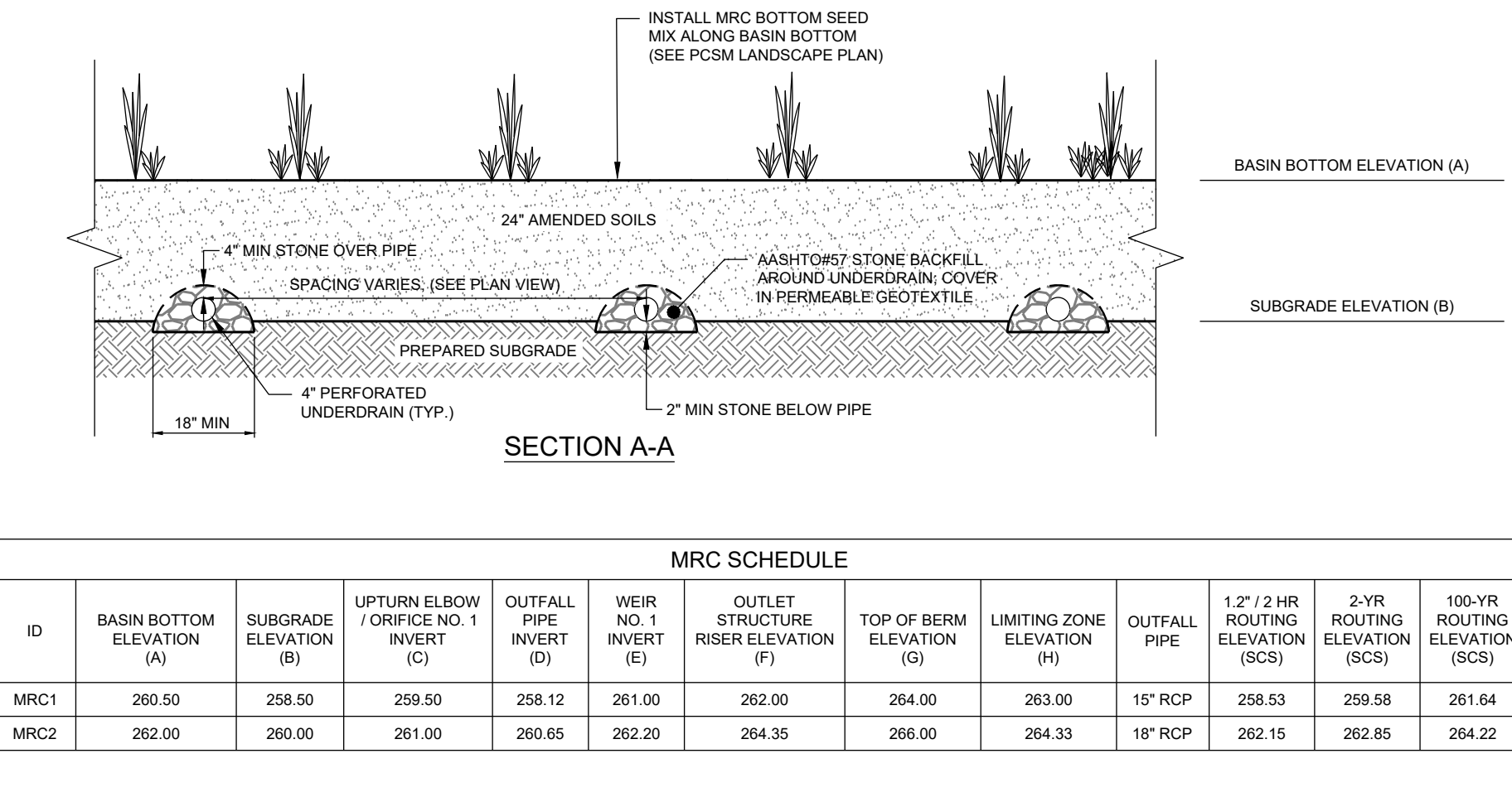
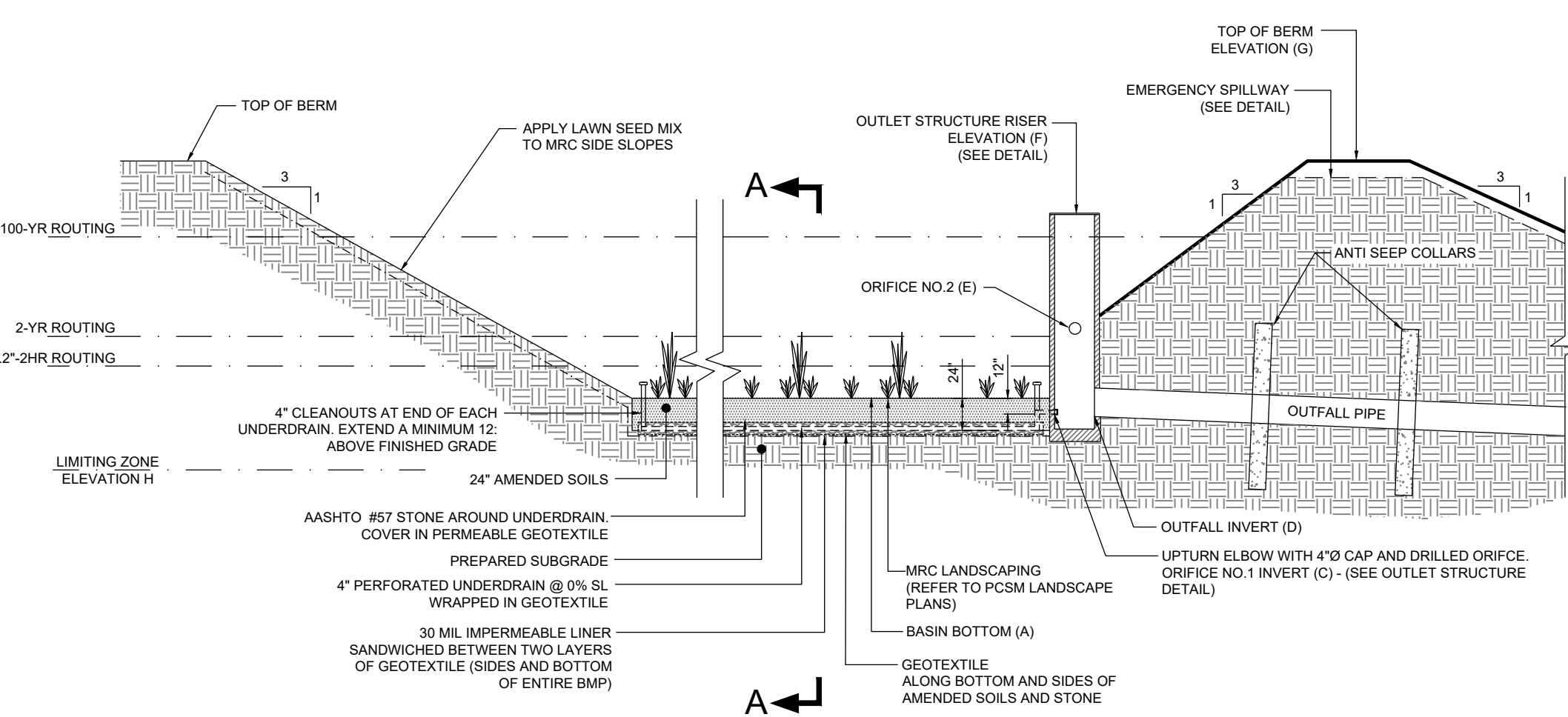
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A1	TRASH RACK NOT TO SCALE
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**A2** **BIO-RETENTION BASIN BIO1 & BIO2**  
NOT TO SCALE

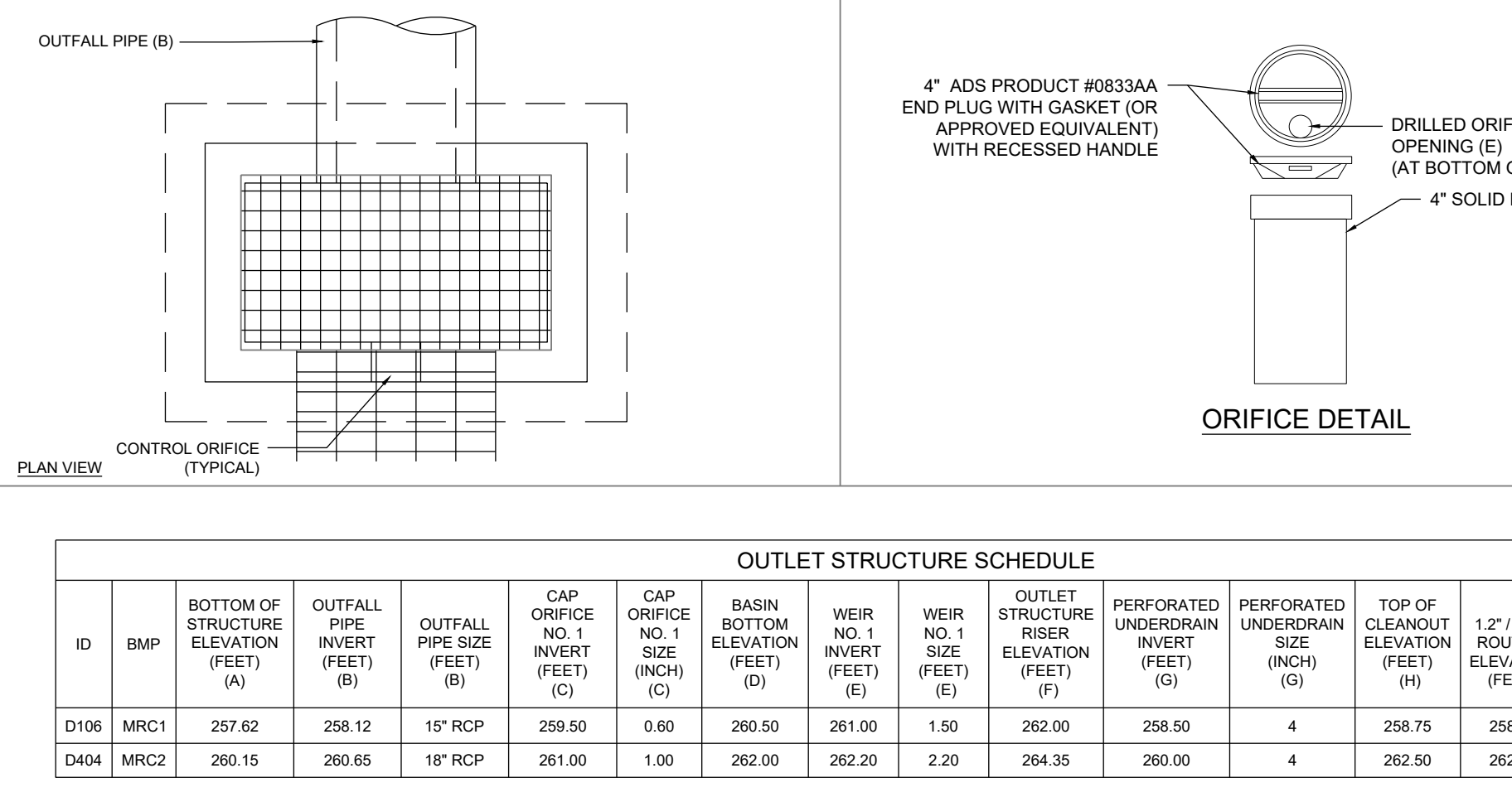
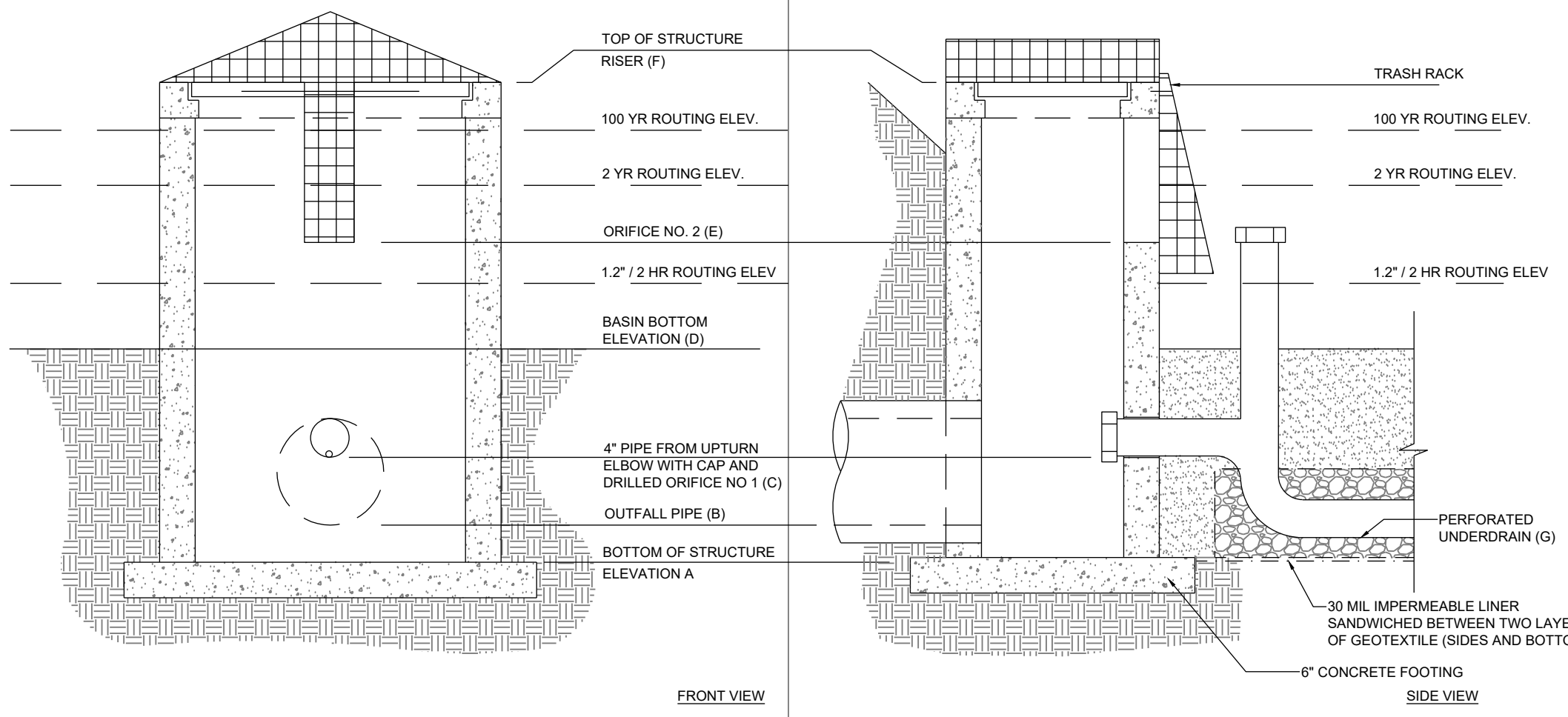


<b>B2</b>	<b>BIO RETENTIN BASIN OUTLET STRUCTURE D108 &amp; D111</b> NOT TO SCALE
-----------	--



- ## CONSTRUCTION SEQUENCE
1. GRADE EACH BMP TO TEMPORARY SEDIMENT TRAP ELEVATION. DO NOT INSTALL AMENDED SOILS WHILE THE BMPs ARE BEING UTILIZED AS A SEDIMENT TRAPS.
  2. INSTALL DOWNSTREAM CONVEYANCE SYSTEMS, OUTLET STRUCTURES AND EMERGENCY SPILLWAYS.
  3. CONVERT BMPs TO SEDIMENT TRAPS AND INSTALL ASSOCIATED RISERS, BAFFLE WALLS AND CLEANOUTS.
  4. INSTALL AND MAINTAIN PROPER E&S BMPs DURING CONSTRUCTION.
  5. UPON DECOMMISSIONING OF SEDIMENT TRAPS, EXCAVATE BMPs TO MRC'S SOIL AMENDMENT BOTTOM ELEVATION.
  6. INSTALL UNDERDRAIN PIPING WITH AGGREGATE ENVELOPE, CLEANOUTS, ETC.
  7. PLACE SOIL MEDIA GENTLY. DO NOT COMPACT SOIL MEDIA OR THE BASIN BOTTOM. THE PLACEMENT OF SOIL MEDIA SHOULD BE DONE FROM OUTSIDE THE BASIN FOOTPRINT TO AVOID COMPACTION BY CONSTRUCTION EQUIPMENT. LOW GROUND PRESSURE EQUIPMENT MAY BE USED ON ANY NECESSARY GRADING WITHIN THE FOOTPRINT OF THE BMP. ALL PRECAUTIONS SHOULD BE TAKEN TO MINIMIZE COMPACTION OF THE SOIL MEDIA DURING CONSTRUCTION.
  8. SEED AND STABILIZE DISTURBED AREA. VEGETATE WITH NATIVE PLANTINGS.
  9. MAINTAIN INLET PROTECTION AND OTHER E&S CONTROLS UNTIL THE SITE IS FULLY STABILIZED.
- ### GEOTEXTILE NOTES
- GEOTEXTILE SHALL CONSIST OF NON-WEAVER NON-WOVEN POLYPROPYLENE FIBERS, PROBEF GEOTEXT 801 OR EQUIVALENT FIBRAL

C2	MANAGED RELEASE CONCEPT BASINS MRC1 & MRC2 NOT TO SCALE
----	--



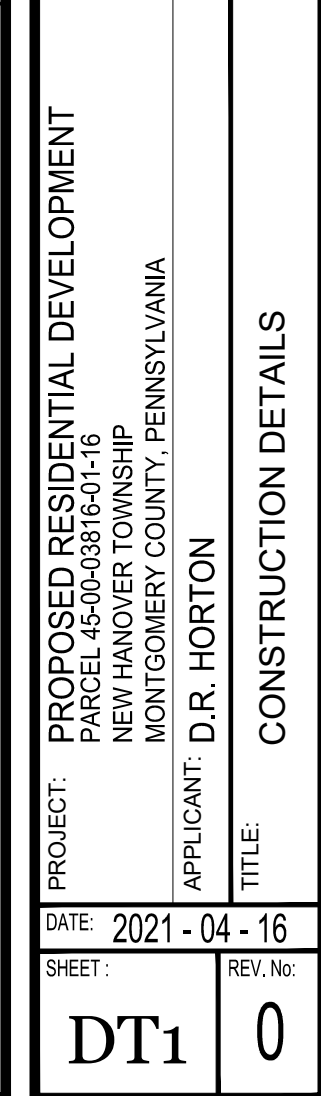
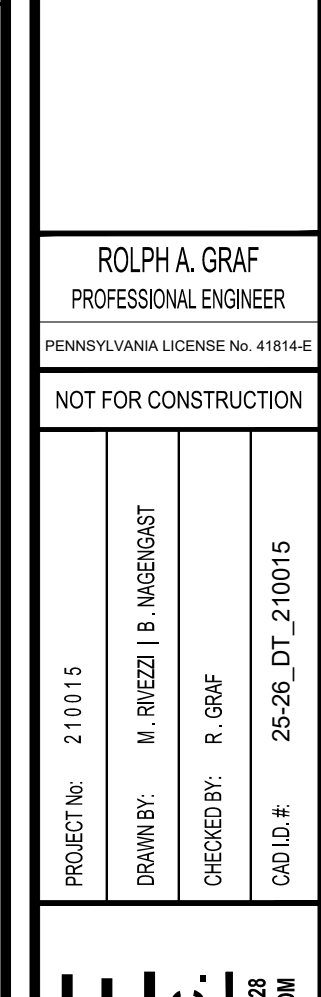
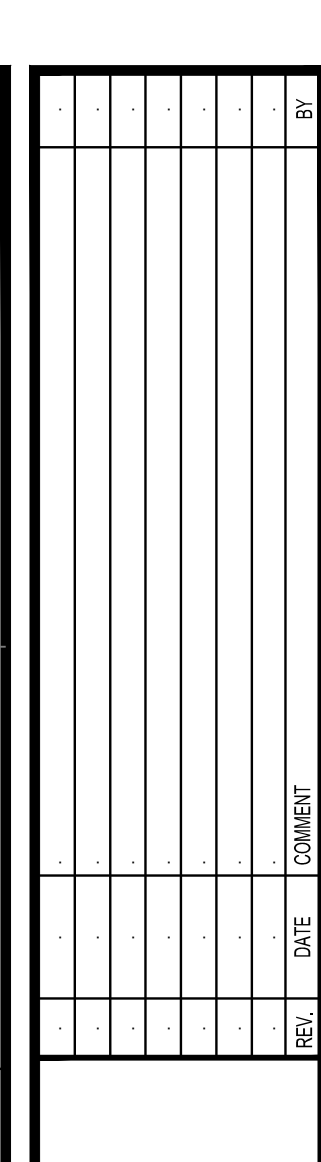
- NOTES:**

  1. OUTLET STRUCTURE TO BE A MODIFIED PENNDOT TYPE 'M' INLET.
  2. "TRASH RACK" TO BE WELDED 3/4"D SIS BARS 6" O.C. EA. BOLTED TO OUTLET STRUCTURE w/B EXPANSION BOLTS EA.
  3. ALL DISCHARGE CONTROL DEVICES AND PIPING APPURTENANCES SHALL BE MADE OF REINFORCED CONCRETE AND STAINLESS STEEL.

D2	MRC BASIN OUTLET STRUCTURES D106 & D404 NOT TO SCALE
----	---

<b>PROJECT:</b>	<b>PROPOSED RESIDENTIAL DEVELOPMENT</b>		
<b>DATE:</b>	<b>2021 - 04 - 16</b>	<b>TITLE:</b>	<b>SHEET NAME</b>
<b>APPLICANT:</b>	<b>D.R. HORTON</b>		
<b>PARCEL:</b>	<b>45-0003876-01-16</b>		
<b>NEW HANOVER TOWNSHIP</b>			
<b>MONTGOMERY COUNTY, PENNSYLVANIA</b>			
<b>REPRESENTS</b>	<b>DS3</b>	<b>REV. No:</b>	<b>0</b>

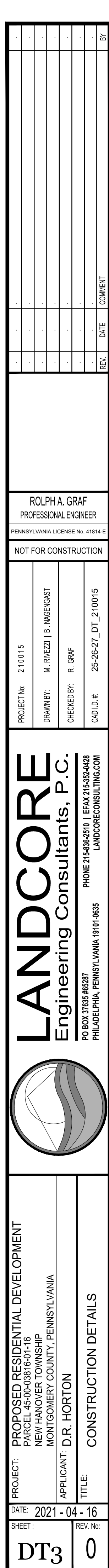
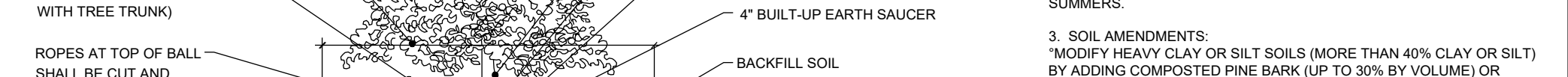
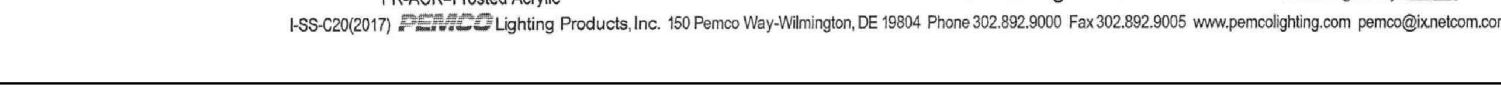
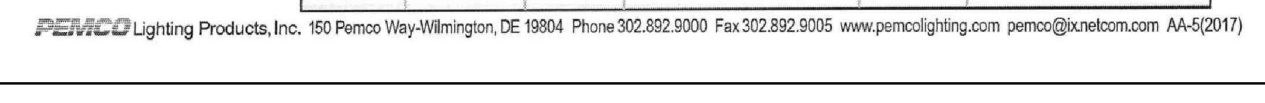
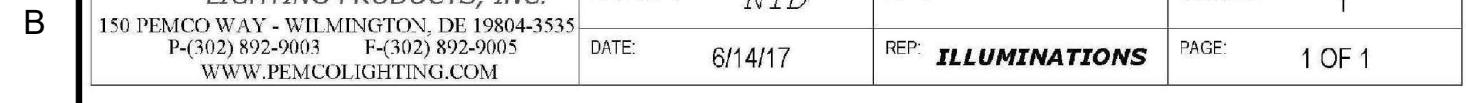






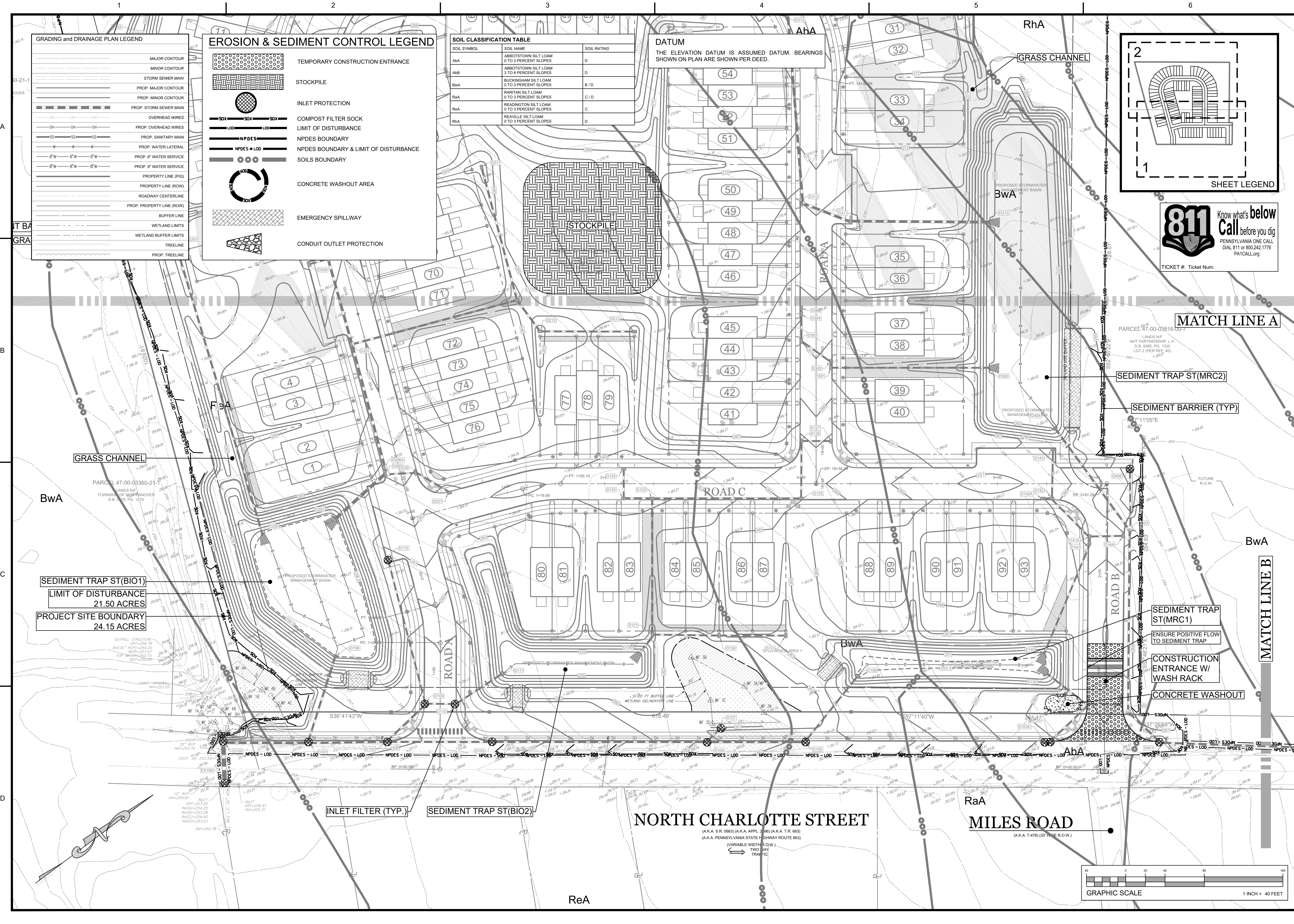








DISKORP (LANDCORE) PROJECT 202101015 - DRHAG - NEW HANOVER TOWNSHIP, SITE PLANS 202101015.DWG  
MICHAEL W. GREGG © 2021-2024



GRADING and DRAINAGE PLAN LEGEND

	MAJOR CONTOUR
	MINOR CONTOUR
	STORM SEWER MAIN
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	PROP. STORM SEWER MAIN
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	PROP. SANITARY MAIN
	PROP. WATER LATERAL
	PROP. 6\"/>
	PROP. 8\"/>
	PROPERTY LINE (PL)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (ROW)
	BUFFER LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE

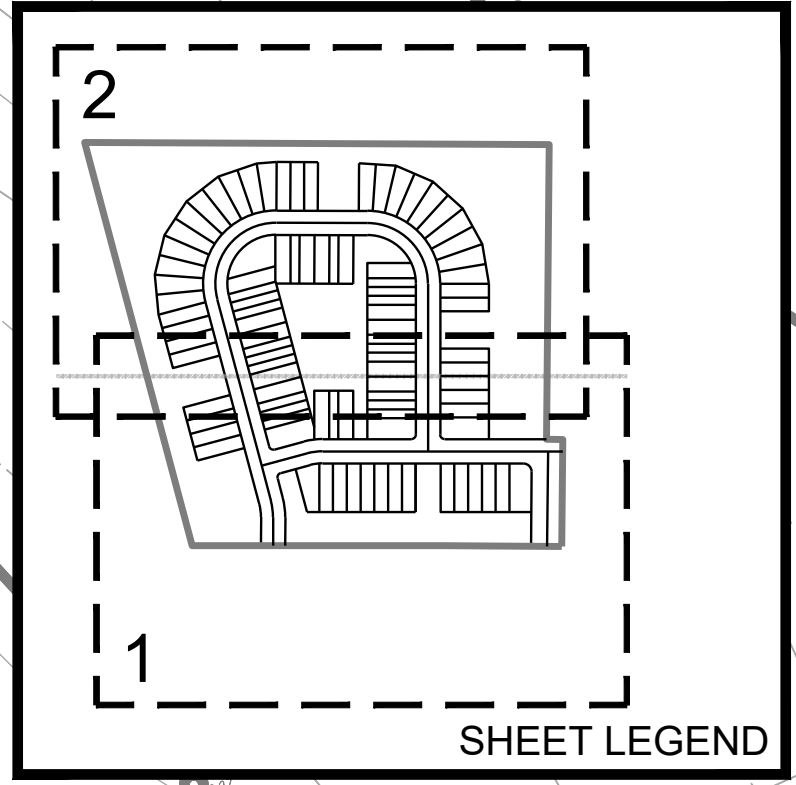
EROSION & SEDIMENT CONTROL LEGEND

	TEMPORARY CONSTRUCTION ENTRANCE
	STOCKPILE
	INLET PROTECTION
	COMPOST FILTER SOCK
	LIMIT OF DISTURBANCE
	NPDES BOUNDARY
	NPDES BOUNDARY & LIMIT OF DISTURBANCE
	SOILS BOUNDARY
	CONCRETE WASHOUT AREA
	EMERGENCY SPILLWAY
	CONDUIT OUTLET PROTECTION

SOIL CLASSIFICATION TABLE

SOIL SYMBOL	SOIL NAME	SOIL RATING
AbA	ABBOTTSTOWN SILT LOAM 0 TO 3 PERCENT SLOPES	D
AbB	ABBOTTSTOWN SILT LOAM 3 TO 8 PERCENT SLOPES	D
BwA	BUCKINGHAM SILT LOAM 0 TO 3 PERCENT SLOPES	B / D
RaA	RARITAN SILT LOAM 0 TO 3 PERCENT SLOPES	C / D
RaB	READINGTON SILT LOAM 0 TO 3 PERCENT SLOPES	C
RhA	REARVILLE SILT LOAM 0 TO 3 PERCENT SLOPES	D

DATUM  
THE ELEVATION DATUM IS ASSUMED DATUM. BEARINGS  
SHOWN ON PLAN ARE SHOWN PER DEED.



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TICKET #: Ticket Num.

ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

PRELIMINARY PLAN  
NOT TO BE RECORDED

PROJECT NO.: 210015  
DRAWN BY: M. RIEZEL, B. NIGELGAST  
CHECKED BY: R. GRAF  
CAD D.R.: 28-29\_ES\_210015

**LANDCORE**  
Engineering Consultants, P.C.  
PO BOX 35548 PHILADELPHIA, PENNSYLVANIA 19104-0535  
PHONE 215.584.8837 FAX 215.584.8838  
LANDCORECONSULTING.COM

PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

APPLICANT: D.R. HORTON

TITLE: EROSION & SEDIMENT CONTROL PLAN

DATE: 2021-04-16  
SHEET: 28 of 31  
REV. NO.: 0

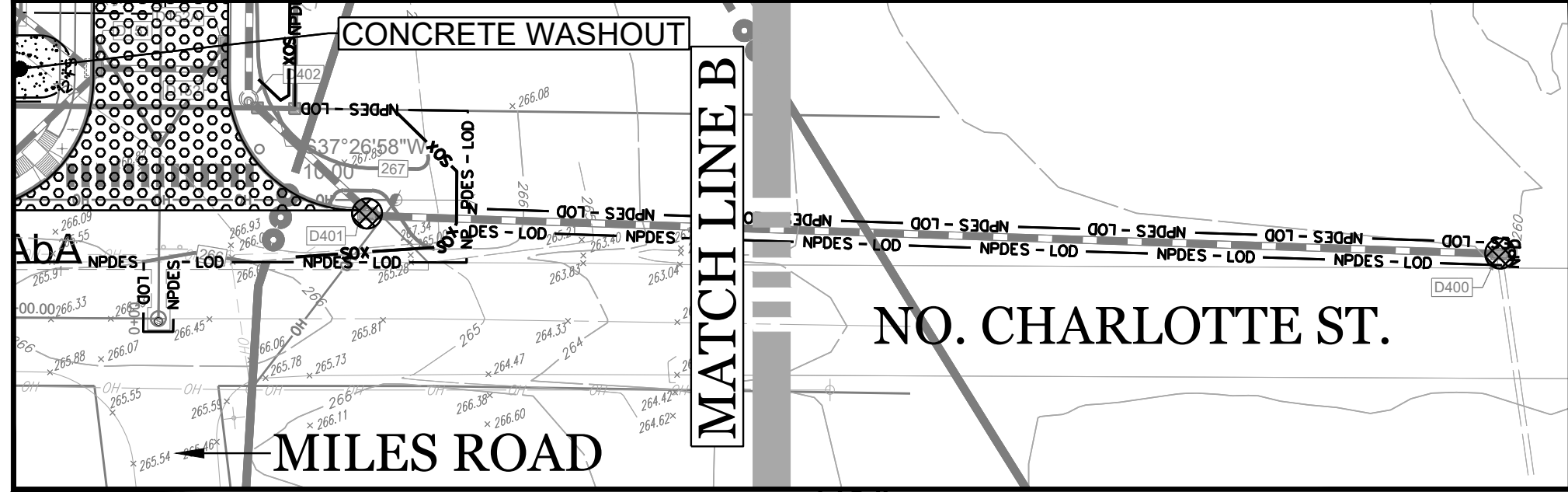


GRADING and DRAINAGE PLAN LEGEND

	MAJOR CONTOUR
	MINOR CONTOUR
	STORM SEWER MAIN
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	PROP. STORM SEWER MAIN
	OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	PROP. SANITARY MAIN
	PROP. WATER LATERAL
	PROP. 6" WATER SERVICE
	PROP. 8" WATER SERVICE
	PROPERTY LINE (PL)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	PROP. PROPERTY LINE (ROW)
	BUFFER LINE
	WETLAND LIMITS
	WETLAND BUFFER LIMITS
	TREELINE
	PROP. TREELINE

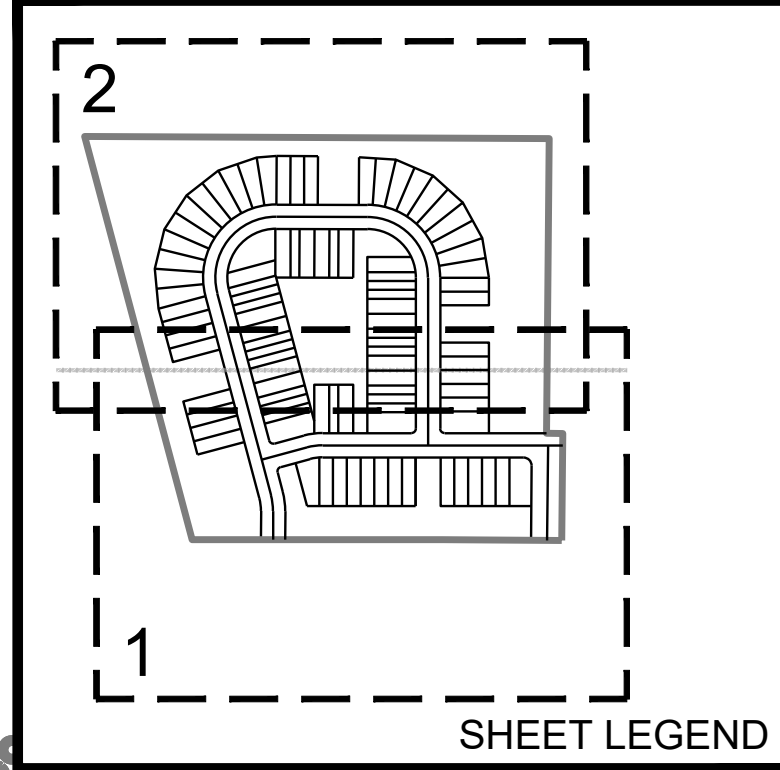
EROSION & SEDIMENT CONTROL LEGEND

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	STOCKPILE
	INLET PROTECTION
	COMPOST FILTER SOCK
	LIMIT OF DISTURBANCE
	NPDES BOUNDARY
	NPDES BOUNDARY & LIMIT OF DISTURBANCE
	SOILS BOUNDARY
	CONCRETE WASHOUT AREA
	EMERGENCY SPILLWAY
	CONDUIT OUTLET PROTECTION



DATUM  
THE ELEVATION DATUM IS ASSUMED DATUM. BEARINGS SHOWN ON PLAN ARE SHOWN PER DEED.

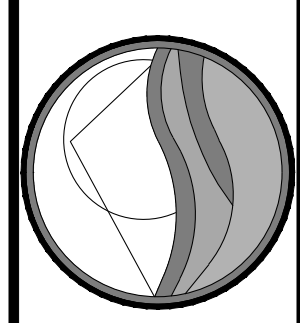
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AbB	ABBOTSTOWN SILT LOAM 3 TO 8 PERCENT SLOPES	D
BwA	BUCKINGHAM SILT LOAM 0 TO 3 PERCENT SLOPES	B / D
RaA	RARITAN SILT LOAM 0 TO 3 PERCENT SLOPES	C / D
RaB	READING SILT LOAM 0 TO 3 PERCENT SLOPES	C
RhA	REAVILLE SILT LOAM 0 TO 3 PERCENT SLOPES	D



ROLPH A. GRAF  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 41814-E

PROJECT NO: 210015  
DRAWN BY: M. RIZZO / B. NIGEMAST  
CHECKED BY: R. GRAF  
CAD ID: 28-29\_ES\_210015

**LANDCORE**  
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PHILADELPHIA, PENNSYLVANIA 19104-0633  
PHONE 215-588-8800 | FAX 215-588-8800  
LANDCORECONSULTING.COM



PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT  
PARCEL 45-00-03816-01-16  
NEW HANOVER TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA  
APPLICANT: D.R. HORTON  
TITLE: EROSION & SEDIMENT CONTROL PLAN  
DATE: 2021-04-16  
SHEET: 29 of 31  
REV. NO: 0  
ES2



**MINIMIZE EXTENT AND DURATION OF EARTH DISTURBANCE**

THE FOLLOWING PLAN SHALL BE IMPLEMENTED THROUGH CONSTRUCTION TO MINIMIZE ACCELERATED EROSION AND SEDIMENTATION DURING EARTH DISTURBANCE ACTIVITIES BY MINIMIZING THE AMOUNT OF EXISTING VEGETATIVE COVER TO BE REMOVED AND PROVIDING TEMPORARY AND PERMANENT STABILIZATION MEASURES ON DISTURBED AREAS AS SOON AS PRACTICABLE. THE PRIMARY CONTROL FOR CAPTURING SEDIMENT BEFORE LEAVING THE SITE WILL BE SEDIMENT BARRIERS AND SEDIMENT TRAP. THE AMOUNT OF DISTURBED AREA AND THE DURATION OF EXPOSURE SHALL BE KEPT TO A MINIMUM AND THE PERMANENT VEGETATION AND STORMWATER CONTROL SYSTEMS WILL BE INSTALLED AS SOON AS POSSIBLE TO PREVENT EROSION AND THEREFORE MINIMIZE THE AMOUNT OF SEDIMENT TO BE CONTROLLED.

CONSTRUCTION WILL BEGIN ONLY AFTER THE EROSION AND SEDIMENT CONTROLS HAVE BEEN INSTALLED.

**MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION**

EXISTING DRAINAGE FEATURES AND VEGETATION WILL BE PROTECTED DURING CONSTRUCTION BY ENSURING THE EROSIONS AND SEDIMENT CONTROL BMPs REMAIN IN PLACE AND OPERATIONAL FOR THE ENTIRE DURATION OF THE CONSTRUCTION. SEDIMENT BARRIERS WILL PREVENT SILT-LADEN RUNOFF FROM LEAVING THE SITE.

**MINIMIZE SOIL COMPACTION**

SOIL COMPACTION WILL BE MINIMIZED DURING CONSTRUCTION BY KEEPING THE CONSTRUCTION ACTIVITIES WITHIN THE LIMITS OF DISTURBANCE. IN ADDITION, ALL AREAS DESIGNATED AS INFILTRATION BMPs WILL BE PROTECTED DURING CONSTRUCTION FROM HEAVY EQUIPMENT ENTERING THE BMP AREA BY INSTALLING ORANGE "VISI" FENCING AROUND THE PERIMETER OF THE BMPs AND INSTRUCTING CONTRACTOR TO AVOID COMPACTING THESE AREAS.

**OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF**

BY MINIMIZING THE AMOUNT OF EXISTING VEGETATIVE COVER TO BE REMOVED, AND BY PROVIDING TEMPORARY AND PERMANENT STABILIZATION MEASURES ON DISTURBED AREAS AS SOON AS PRACTICABLE, RUNOFF WILL BE MINIMIZED DURING CONSTRUCTION.

**THERMAL IMPACTS DURING CONSTRUCTION AND MITIGATION**

BY MINIMIZING THE AMOUNT OF EXISTING VEGETATIVE COVER TO BE REMOVED, AND BY PROVIDING TEMPORARY AND PERMANENT STABILIZATION MEASURES ON DISTURBED AREAS AS SOON AS PRACTICABLE, RUNOFF WILL BE MINIMIZED DURING CONSTRUCTION, WHICH IN TURN WILL MINIMIZE THERMAL IMPACTS.

**RECEIVING SURFACE WATERS**

UNT SKIPPACK CREEK

DESIGNATED AND EXISTING USE : TROUT STOCKING FISHES - MIGRATORY FISH (TSF - MF)

UNT PERKIONEN CREEK

DESIGNATED AND EXISTING USE : TROUT STOCKING FISHES - MIGRATORY FISH (TSF - MF)

**GEOLOGICAL FORMATIONS / SOIL CONDITIONS**

THE SITE IS NOT LOCATED IN AN AREA KNOWN FOR NATURALLY OCCURRING GEOLOGICAL FORMATIONS OR SOIL CONDITIONS THAT MAY HAVE THE POTENTIAL TO CAUSE POLLUTION DURING EARTH DISTURBANCE ACTIVITIES. IN THE EVENT ANY GEOLOGICAL FORMATION OR SOIL CONDITIONS ARE DISCOVERED DURING CONSTRUCTION, THE PERMITTEE SHALL NOTIFY THE ENGINEER OR RECORD AND COUNTY CONSERVATION DISTRICT FOR ACTIONS TO BE TAKEN.

**MONTGOMERY COUNTY EROSION / SEDIMENT CONTROL PLAN STANDARD NOTES**

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED BY THE PERMITTEE PRIOR TO IMPLEMENTATION OF ANY CHANGES TO THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE DESIGNED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 5 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED IN THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIALS.
6. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE AND PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS INTENDED IN THIS E&S PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED (AT THE LOCATIONS) SHOWN ON THE PLAN MAPS IN THE AMOUNT NECESSARY TO COMPLET THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ. 2711, AND 2601 ET. SEC. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE PROJECT SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT. ALL THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE. CLEAN FILL SHALL BE USED TO ANALYZE AND IDENTIFY THE FILL.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, RE-SEEDING, RE-MULCHING AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WERE REQUIRED.
15. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SIFTED INTO ANY ROADWAY, DITCH, STORM SEWER, SURFACE WATER.
17. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES, 6 TO 12 INCHES ON COMPACTED SOILS. PRIOR TO PLACEMENT OF TOPSOIL, AREAS TO BE TOPSOILED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTCROPS SHALL HAVE A MINIMUM 0.2 INCHES OF TOPSOIL.
19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK NOT BACK FILLED, SEE SEEDING AND MULCHING. AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE E&S PLAN. NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR. MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION, CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING OR OTHER MOVEMENTS.
28. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
30. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION IF E&S BMPs ARE NOT FUNCTIONING MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 622 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
31. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.

**UTILITY LINE TRENCH EXCAVATION NOTES**

1. LIMIT AVOIDANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
2. WORKING CREW EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, FILL CONSTRUCTION AND BACKFILLING AREA WILL BE SELF-CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
3. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
4. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUS INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
5. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND /OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
6. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.
7. SOILS EXCAVATED FROM ANY TRENCH SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.

**MONITORING, INSPECTION, AND REPORTING REQUIREMENTS**

**VISUAL INSPECTIONS**

THE PERMITTEE AND CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH RAINFALL EVENT OF 0.25 INCHES OR GREATER THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOT BY THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED IN A FORMAT PROVIDED BY THE DEPARTMENT, AND CONDUCTED BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL. TO ASCERTAIN THAT E&S BMPs AND PCSM BMPs ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THIS COMMONWEALTH, A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM:

- (1) A SUMMARY OF SITE CONDITIONS, E&S BMP AND PCSM BMP, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS; AND
- (2) THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION.

**NONCOMPLIANCE REPORTING**

WHEREAS E&S, PCSM OR PPC BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION, OR ANY OTHER TIME, THE PERMITTEE AND CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN 5 DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:

- (1) ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION;
- (2) THE PERIOD OF NONCOMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE;
- (3) STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE; AND
- (4) THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

**REDUCTION, LOSS, OR FAILURE OF THE BMPs**

UPON REDUCTION, LOSS, OR FAILURE OF THE BMPs, THE PERMITTEE AND CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMPs OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMPs OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMPs.

**TERMINATION OF COVERAGE**

NOT, UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION ACTIVITY THAT ARE AUTHORIZED BY THIS PERMIT AND WHEN BMPs IDENTIFIED IN THE PCSM PLAN HAVE BEEN PROPERLY INSTALLED, THE PERMITTEE AND/OR CO-PERMITTEE OF THE FACILITY MUST SUBMIT A NOT FORM THAT IS SIGNED IN ACCORDANCE WITH SECTION 8, SECTION 1.C, SIGNATORY REQUIREMENTS, OF THIS PERMIT. ALL LETTERS CERTIFYING DISCHARGE TERMINATION ARE TO BE SENT TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT. THE NOT FORM MUST INCLUDE THE FOLLOWING INFORMATION: FACILITY NAME, ADDRESS, AND LOCATION; OPERATOR NAME AND ADDRESS; PERMIT NUMBER, IDENTIFICATION AND PROOF OF ACKNOWLEDGMENT FROM THE PERSON(S) WHO WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, AND THE REASON FOR PERMIT TERMINATION. UNTIL THE PERMITTEE HAS RECEIVED WRITTEN ACKNOWLEDGEMENT OF THE NOT, THE PERMITTEE WILL REMAIN RESPONSIBLE FOR OPERATING AND MAINTAINING ALL E&S BMPs AND PCSM BMPs ON THE PROJECT SITE AND WILL BE RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.

**COMPLETION CERTIFICATE AND FINAL PLANS**

WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE AND PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS INTENDED IN THIS E&S PLAN.

**SOIL EROSION AND SEDIMENT POLLUTION BMP MAINTENANCE PROGRAM**

UNTIL THE SITE IS STABILIZED, ALL TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT POLLUTION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. RECORDS OF EACH INSPECTION, NOTES OF DEFICIENCIES, AND THE CORRECTIVE ACTIONS TAKEN MUST BE KEPT AT THE PROJECT SITE FOR REVIEW BY THE ENGINEER OF RECORD, APPLICABLE COUNTY CONSERVATION DISTRICT AND/OR PADEP (AS APPLICABLE).

1. CONTRACTOR IS RESPONSIBLE TO CONSTRUCT AND MAINTAIN ALL REQUIRED EROSION AND SEDIMENT POLLUTION CONTROL BMPs THROUGHOUT THE CONSTRUCTION PROCESS. THE CONTRACTOR IS ALSO RESPONSIBLE TO INSPECT AND EVALUATE THE EFFECTIVENESS OF THE EROSION AND SEDIMENT POLLUTION CONTROL BMPs AND IMPLEMENT ANY ADDITIONAL BMPs REQUIRED TO CONTROL UNFORESEEN PROBLEMS ON THE SITE.
2. OWNER/DEVELOPER IS RESPONSIBLE TO ENSURE THAT THE CONTRACTOR CONDUCTS HIS OPERATIONS AND MAINTENANCE ACCORDING TO THE APPROVED EROSION AND SEDIMENT POLLUTION CONTROL PLAN.
3. OWNER AND/OR CONTRACTOR SHALL ASSIGN ONE INDIVIDUAL TO BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT POLLUTION CONTROL BMPs THROUGHOUT THE CONSTRUCTION PROCESS.
4. THE E&S PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF EROSION AND SEDIMENT POLLUTION CONTROL BMPs. ADDITIONAL BMPs SHALL BE INSTALLED WHERE NECESSARY OR WHERE DIRECTED BY EITHER THE TOWNSHIP OR THE COUNTY CONSERVATION DISTRICT AS CONSTRUCTION PROGRESSES.
5. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
6. THE PERMITTEE AND CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL. TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION TO THE WATERS OF THE COMMONWEALTH, A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:

- 1) A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
- 2) THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION.

7. AFTER EACH RUNOFF EVENT, ALL TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL BMPs SHALL BE INSPECTED, CLEANED AND REPAIRED AS NECESSARY.
8. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY.
9. IF THE INSTALLED EROSION AND SEDIMENT POLLUTION CONTROL BMPs FAIL TO PERFORM AS INTENDED, REPLACEMENT BMPs OR MODIFICATIONS OF THE INSTALLED BMPs WILL BE REQUIRED.
10. SHOULD ANY EROSION AND SEDIMENT POLLUTION CONTROL BMPs CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE (OR PRIOR TO STABILIZING THE PERMANENT SURFACES), ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED TO ELIMINATE SUCH PROBLEMS.
11. CONTRACTOR SHALL SEPARATE WATER ORIGINATING OUTSIDE OF THE PROJECT BOUNDARY FROM WATER THAT ORIGINATING WITHIN THE PROJECT BOUNDARY.
12. CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENTS AS REQUIRED AND AT A MINIMUM PRIOR TO THE SEDIMENT REACHING ONE-HALF OF THE ABOVE GROUND HEIGHT OF THE SILT FENCE TO KEEP THE SILT FENCE FUNCTIONAL. REPAIR ALL UNDERCUTTING OR EROSION OF THE TOE ANCHOR IMMEDIATELY WITH COMPACTED BACKFILL MATERIALS.
13. ANY SEDIMENT BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY.
14. ROCK CONSTRUCTION ENTRANCE(S) THICKNESS MUST BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL MUST BE MAINTAINED ON THE PROJECT SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS MUST BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF ROCKS AND THE ROADWAY WITH WATER IS NOT PERMITTED UNLESS A VACUUM TRUCK IS UTILIZED FOR THIS PROCESS.
15. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, WATERS OF THE COMMONWEALTH, FLOODPLAINS OR DRAINAGE SWALES AND MUST BE IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AN EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR ALL OFF-SITE BORROW AND WASTE AREAS. THIS PLAN MUST BE SUBMITTED TO THE ENGINEER OF RECORD, APPLICABLE COUNTY CONSERVATION DISTRICT, AND PADEP (AS REQUIRED) FOR REVIEW AND APPROVAL.
17. CONTRACTOR SHALL STABILIZE ALL OFF-SITE BORROW AND WASTE AREAS BY SEEDING AND MULCHING AS SPECIFIED IN THE APPROVED EROSION AND SEDIMENT POLLUTION CONTROL PLAN.
18. IF SIGNS OF BMPs FAILURE ARE NOTED, AN ENGINEER OR OTHER QUALIFIED PROFESSIONAL SHOULD BE CONTACTED.
19. MAINTENANCE OF THE PERMANENT STORMWATER CONTROL BMPs SHALL BE THE RESPONSIBILITY OF OWNER.

**CLEAN FILL NOTES**

IF THE SITE WILL NOT IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE CONTRACTOR.

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECONSIDERABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENTS' POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE SOIL TO A DEPTH OF FOUR (4) INCHES PRIOR TO SEEDING.)

ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES INCLUDING, BUT NOT LIMITED TO: VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 267 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ONLINE AT [WWW.PADCOE.COM](http://WWW.PADCOE.COM).

**SUMMARY OF PROPOSED EROSION AND SEDIMENT POLLUTION CONTROL BMPs**

SEVERAL TYPES OF EROSION AND SEDIMENT POLLUTION CONTROL BMPs WERE DESIGNED FOR THE PROJECT SITE. EACH ITEM IS IDENTIFIED AND DISCUSSED BELOW. (REFER TO THE SOIL EROSION AND SEDIMENT POLLUTION BMP MAINTENANCE PROGRAM FOR MAINTENANCE REQUIREMENTS FOR EACH BMP.)

1. **ROCK CONSTRUCTION ENTRANCE, WITH WASH RACK:** A DESIGNATED ENTRANCE FOR ALL CONSTRUCTION VEHICLES, ENTERING AND LEAVING THE PROJECT SITE, SHALL BE MAINTAINED TO ELIMINATE MUD AND DEBRIS FROM BEING TRACKED ONTO THE ADJACENT STREET AND/OR HIGHWAY.
2. **COMPOST FILTER SOCK:** COMPOST FILTER SOCK IS PROPOSED TO CONTROL RUN-OFF FROM SMALL DISTURBED AREAS, WHICH IS DISCHARGED TO STABLE AREAS.
3. **SEEDING AND MULCHING:** SEEDING AND MULCHING OF DISTURBED AREAS (AFTER THE GRADING IS COMPLETE) WILL HELP TO ESTABLISH NEW VEGETATION AND PROMOTE STABILIZATION OF THE DISTURBED SOILS.
4. **INLET PROTECTION:** PRIOR TO STABILIZATION, INLET PROTECTION WILL PROVIDE A TEMPORARY CONTROL MEASURE TO HELP PREVENT SEDIMENT AND DEBRIS FROM ENTERING THE STORM SEWER PIPES DURING CONSTRUCTION.
5. **CONCRETE WASH WATER:** A SUITABLE WASHOUT FACILITY FOR THE CLEANING OF CHUTES, MIXERS AND HOPPERS OF DELIVERY VEHICLES.
6. **VEGETATED CHANNELS:** UTILIZED AS TEMPORARY AND PERMANENT BMPs TO CONTROL STORMWATER RUNOFF.
7. **EROSION CONTROL BLANKETS:** UTILIZED TO STABILIZED SLOPES 1:1 AND GREATER.
8. **DUMPED WATER FILTER BAGS:** UTILIZED TO FILTER WATER PUMPED FROM DISTURBED AREAS.
9. **PERSION SWALE:** FILTER BAGS TO BE USED TO CONVEY STORMWATER RUNOFF TO SEDIMENT TRAP.
10. **SEDIMENT TRAP:** DETAIN SEDIMENT LADEN RUNOFF AND ALLOW PARTICLES TO SETTLE OUT BETWEEN 2 AND 7 DAYS PRIOR TO BEING RELEASED. ACCUMULATED SEDIMENT IS PERIODICALLY REMOVED FROM THE TRAP AND SPREAD ACROSS STABLE AREAS OF THE SITE.
11. **ROCK FILTERS:** TO CONTROL RUNOFF FROM SWALES.

**TEMPORARY STABILIZATION NOTES:**

**SURFACE STABILIZATION CRITERIA:**

ALL DENuded SOIL SURFACES, INCLUDING SOIL STOCKPILES, ARE SUBJECT TO EROSION AND SHALL BE STABILIZED EITHER TEMPORARILY OR PERMANENTLY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT RECOMMENDED RATES. CRUSHED STONE ON PAVEMENT SUB-GRASSES IS CONSIDERED ADEQUATE STABILIZATION. ALL DISTURBED ZONES AND VEGETATED REGIONS SHALL BE STABILIZED, PREFERABLY WITH A PERMANENT TREATMENT AS FOLLOWS:

- A. **TEMPORARY COVER ON DISTURBED AREAS:**
  - 1. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE (1) YEAR MAY BE SEEDDED AND MULCHED WITH A TEMPORARY COVER. PREPARATION OF THE SURFACE, FERTILIZATION AND SEEDING WITH EITHER ANNUAL OR WINTER RYE GRASS SHALL BE DONE IN COMPLIANCE WITH THE PENN. STATE GUIDELINES UNDER "EROSION CONTROL & CONSERVATION PLANTING ON NON-CROPPED AND NON-FORESTED LANDS".
  - 2. ANNUAL RYEGRASS SHALL BE APPLIED AT A RATE OF 1.0 TONS/ACRE OR 46 LBS/1,000 S.F.
  - 3. FERTILIZER 10-10-10 SHALL BE APPLIED AT A RATE OF 500 LBS/ACRE. (BOTH FERTILIZER AND LIMESTONE SHALL BE WORKED INTO THE SOIL TO A DEPTH OF FOUR (4) INCHES PRIOR TO SEEDING.)
  - 4. ANNUAL RYEGRASS SHALL BE APPLIED AT A RATE OF 46 LBS/ACRE OR 1,181,000 S.F. (15% PLS)
  - 5. WINTER RYEGRASS SHALL BE APPLIED AT A RATE OF 168 LBS/ACRE OR 3.9 LBS/1,000 S.F. (15% PLS)
  - 6. AFTER SEEDING, MULCH WITH HAY OR STRAW AT 3.0 TONS/ACRE OR 138 LBS /1,000 S.F. (MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING.)
- B. **GENERAL INFORMATION:**
  - 1. AREAS THAT FAIL TO GERMINATE MUST BE RE-SEEDDED.
  - 2. WHERE DISTURBED AREAS ARE DIFFICULT TO STABILIZE, NETTING SHOULD BE USED TO HOLD SEEDS AND MULCH IN PLACE. THIS IS ESPECIALLY IMPORTANT AROUND WATERCOURSES, WITHIN SWALES AND AREAS OF CONCENTRATED FLOWS, AND ON (STEEP) SLOPES.

- B. **STANDARD FOR STABILIZATION WITH MULCH:**
- B. **PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.**
- B. **STRAW AND HAY MULCH SHOULD BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT WIND BLOWING.**
- C. **GRADE AS NEEDED AND FEASIBLE. USE STANDARD FOR LAND GRADING.**
- C. **PROTECTIVE MATERIALS TO BE USED:**
  - 1. NON-ROTATED SMALL-GRAIN STRAW OR HAY AT 3.0 TONS/ACRE, SPREAD UNIFORMY AT 140 LBS/1,000 S.F. AND ANCHORED WITH LIQUID MULCH BINDER, OR BY A HYDRO-SEEDER OR HYDRO-MULCHER.
  - 2. MULCHING AND SEEDING SHALL BE DONE IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- D. **LIQUID MULCH BINDERS:** APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. IF EMULSIFIED ASPHALT (CONTAINING NO SOLVENTS OR OTHER DILUTING AGENTS TOXIC TO PLANT OR ANIMAL LIFE), APPLY AT A RATE OF 3.5 GAL/1,000 S.F.
- C. **STANDARD FOR LAND GRADING:**
  - A. **DEFINITION:** RESHAPING THE GROUND SURFACE BY GRADING TO PLANNED GRADINGS WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT.
  - B. **PROVISIONS:** SHALL BE MADE TO SAFELY CONVEY SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
  - C. **ADJOINING PROPERTY(IES) SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.**
  - D. **TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETATIVE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR WHICH THE PLANNED STABILITY OF FILL AREAS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPROVED DISposal REGULATIONS.**
  - E. **FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND TRUNKS IN AMOUNTS THAT WILL BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.**
  - F. **ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SUBSIDIARY EROSION OR EXCESS SATURATION. REFER TO GEOTECHNICAL REQUIREMENTS OF THE PROJECT SITE FOR SPECIFIC STANDARD FOR FILL PLACEMENT AND COMPACTION.)**
- G. **PROTECTIVE MATERIALS TO BE USED:**
  - 1. **SOIL STABILIZATION:** SHALL BE LEFT WITH A CLEAN AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION USING APPROVED EROSION AND SEDIMENT POLLUTION CONTROL BMPs.

**SEQUENCE OF CONSTRUCTION**

NOTES:

- NO DEMOLITION IS ALLOWED UNTIL AFTER THE NPDES PERMIT HAS BEEN ISSUED AND THE PRECONSTRUCTION MEETING HELD AT SUPPLY TOWNSHIP.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STEP SHALL BE COMPLETED BEFORE ANY FOLLOWING STEP IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STEP.
- AN ON-SITE PERMANENT STABILIZATION IS REQUIRED TO OCCUR NO LESS THAN 7 DAYS PRIOR TO ANY EARTH DISTURBANCE ACTIVITIES. THE SEQUENCE OF STEPS, NOTICES BY THE MONTGOMERY COUNTY CONSERVATION DISTRICT, MEETINGS, CO-PERMITTEES, OPERATORS, ALL APPROPRIATE MUNICIPAL, OFFICIALS, REPRESENTATIVES FROM THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND LICENSED PROFESSIONALS OR DESIGNERS RESPONSIBLE FOR THE EARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF E&S AND PCSM PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN, SHALL ATTEND A PRE-CONSTRUCTION MEETING.
- CESSATION OF ACTIVITY LONGER THAN 4 DAYS REQUIRES TEMPORARY STABILIZATION.
- NO MORE THAN 15,000 SQUARE FEET OF DISTURBED AREA REACH FINAL GRADE BEFORE INITIATING SEEDING AND MULCHING OPERATIONS

1. INSTALL CONSTRUCTION ENTRANCE WITH WASH RACK.
2. INSTALL ORANGE "VISI" FENCE ALONG ENTIRE LIMIT OF DISTURBANCE AND WETLANDS BUFFER. NO DISTURBANCE ALLOWED BEYOND FENCE. STAKE OUT PERIMETER OF INFILTRATION, BIO-RETENTION AND MANHOLE AREAS WITHIN 50 FEET OF THE FENCE. HEAVY DUTY EQUIPMENT SHALL BE NOT ALLOWED OVER THESE AREA TO AVOID SOIL COMPACTION.
3. INSTALL SEDIMENT BARRIERS AND CONCRETE WASHOUT.
4. CRITICAL STAGE REQUIRES ENGINEERING OVERSIGHT (SEE PCSM PLAN). GRADE BMP BIO1, BIO2 MRC1, AND MRC2 FOR USE AS TEMPORARY SEDIMENT TRAPS ST-BIO1, ST-BIO2, ST-MRC1 AND ST-MRC2. DO NOT INSTALL SILT MEDIA AND UNDERDRAINS AT THIS TIME. INSTALL ASSOCIATED DOWNSTREAM CONVEYANCE SYSTEMS TO CONVEY BMPs TO CONVEY BMPs TO CONVEY BMPs TO CONVEY BMPs. CLEANOUT STAKES AND RISERS. TEMPORARILY STABILIZE TRAPS AND ALL DISTURBED AREAS.
5. UPON THE INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR MONTGOMERY COUNTY CONSERVATION DISTRICT.
6. STRIP TOPSOIL WITHIN LIMIT OF DISTURBANCE AND PLACE IN STOCKPILE.
7. DEMOLISH



