#### CITY OF BERKLEY PUBLIC NOTICE REGULAR CITY COUNCIL MEETING Monday, June 20, 2022 7:00 P.M. – City Hall 248-658-3300

CALL 39<sup>th</sup> COUNCIL TO ORDER APPROVAL OF AGENDA INVOCATION – RABBI MATT ZERWEKH PLEDGE OF ALLEGIANCE PUBLIC COMMENT ORDER OF BUSINESS

#### **Consent Agenda**

- 1. <u>APPROVAL OF THE MINUTES</u>: Matter of approving the minutes of the 39<sup>th</sup> Regular City Council meeting on Monday, June 6, 2022.
- 2. WARRANT: Matter of approving Warrant No. 1375.
- 3. **<u>RESOLUTION NO. R-13-22</u>**: Matter of recognizing the outgoing City of Berkley Planning Commissioner Martin Smith.
- 4. **PROCLAMATION NO. P-22-22**: Matter of proclaiming July 2022 as Parks and Recreation Month.

#### **Regular Agenda**

- 1. **<u>RECOGNITIONS/PRESENTATIONS</u>**: Matter of any recognitions or presentations from the Consent Agenda.
- 2. <u>MOTION NO. M-53-22</u>: Matter of approving marihuana business license #PMA20-0010 for Attitude Wellness dba Lume to be located at 1949 12 Mile Road.
- 3. <u>MOTION NO. M-54-22</u>: Matter of approving marihuana business license #PMA20-0015 for Quality Roots to be located at 3916 W. 11 Mile Road.
- 4. MOTION NO. M-55-22: Matter of approving the appointments to various boards and commissions.
- MOTION NO. M-56-22: Matter of awarding the contract for the repair and resurfacing of the tennis courts at Friends Park at a cost not to exceed \$31,500 to the lowest qualified bidder, Laser Striping and Sport Surfacing, 9965 Lapham Way, Plymouth, MI 48170. In addition, allocate \$3,150 for contingencies. Funds for this expenditure will come from account 614-950-974-000.
- 6. <u>MOTION NO. M-57-22</u>: Matter of approving the purchase of official Woodward Dream Cruise merchandise to be sold at various locations during the month of August at a cost not to exceed \$28,000. Funds for this expenditure will come from the account 614-915-818-000.
- 7. MOTION NO. M-58-22: Matter of considering an application to hold the "County Oakland Irish Fest" event 5-11:30 p.m. Friday, September 9, 2022 on Robina Ave. and 10 a.m.-11:30 p.m. Saturday, September 10, 2022 on 12 Mile Road from Buckingham to Wakefield. The event is hosted by the County Oakland Irish Fest, 3074 12 Mile Road, Berkley, MI 48072. Approval is conditional upon the submission of required items and documents prior to event dates. Council reserves the right to rescind the permit due to State and/or County health and pandemic protocols.
- 8. <u>MOTION NO. M-59-22</u>: Matter of approving a Downtown Development Authority (DDA) event, "Trick or Treat Stroll" and "Monster Mash Block Party" on Coolidge between 12 Mile Road and Catalpa Road and on Dorothea Road between Coolidge and alleyway from noon to 6 p.m. on Saturday, October 29, 2022. Approval is conditional upon the submission of required items and documents prior to the event date. Council reserves the right to rescind the permit due to State and/or County health and pandemic protocols.

- MOTION NO. M-60-22: Matter of authorizing Gallagher Benefit Services, Inc. for a Human Resource Audit related to our current Merit System of Human Resource Management and Administrative Directives and Work Place Policies at a cost not to exceed \$15,000. Funding has been allocated in the FY 22-23 Contractual Services - Consultant account 101-172-817-000.
- <u>ORDINANCE NO. 0-03-22</u>: Matter of considering the First Reading of an Ordinance of the City Council of the City of Berkley, Michigan to Amend Articles II and III, of Chapter 130, Vegetation, of the City of Berkley Code of Ordinances to Modify Trees, Bushes and Shrubs, and Noxious Weeds and to add Article IV, Invasive Species.
- 11. <u>MOTION NO. M-61-22</u>: Matter of adopting a memo of understanding with Oakland County Cooperative Invasive Species Management Area (CISMA).
- 12. <u>MOTION NO. M-62-22</u>: Matter of authorizing the City Manager to sign the Application for Additional Service Credit Purchase for Michael Hunyor approving the purchase of two years of Generic additional service credit. This purchase is allowed by the MAPE Contract Agreement dated 7/1/2021 through 6/30/2024 and the MERS Plan Document for active members. The total cost calculated by MERS included in the Application for Additional Service Credit is \$21,733 and the City of Berkley's share of that cost is \$17,269.
- MOTION NO. M-63-22: Matter of authorizing the City Treasurer to place Special Assessment items onto the 2022 Summer Tax Roll by parcel ID number, including unpaid invoices, unpaid sidewalk assessment balances from 2020, and delinquent water amounts; and to add a \$20 administrative fee to those bills as allowed by City Charter.
- 14. <u>**RESOLUTION NO. R-14-22**</u>: Matter of approving a resolution of the Council of the City of Berkley, Michigan establishing the Policy and Guidelines for Granting an Exemption from Payment of Property Taxes.
- 15. MOTION NO. M-64-22: Matter of authorizing the amendment of the 2021-2022 Budget as presented.

#### COMMUNICATIONS

#### ADJOURN

Note: The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days notice to the City. Individuals with disabilities requiring auxiliary aids or services should contact the City by writing or calling: Victoria Mitchell, ADA Contact, Berkley City Hall, 3338 Coolidge Highway, Berkley, MI 48072 (1-248-658-3310).

Note: Official minutes of City Council Meetings and supporting documents for Council packets are available for public review in the City Clerk's Office during normal working hours. Anyone wishing to submit correspondence for the meeting may send an email to clerk@berkleymich.net or call 248-658-3310 by 5 p.m. on the day of the meeting.

# THE REGULAR MEETING OF THE THIRTY-NINTH COUNCIL OF THE CITY OF BERKLEY, MICHIGAN WAS CALLED TO ORDER AT 7:00 PM ON MONDAY, JUNE 6, 2022 BY MAYOR TERBRACK

PRESENT:	Bridget Dean Natalie Price	Dennis Hennen Daniel Terbrack
ABSENT:	Steve Baker	Ross Gavin

Jessica Vilani

#### **APPROVAL OF AGENDA**

Mayor Pro Tem Dean moved to approve the Agenda Seconded by Councilmember Price Ayes: Dean, Hennen, Price, and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved.

**INVOCATION:** Pastor Rachel Dunlap

#### **PUBLIC COMMENT**

Mike McGuinness, Downtown Development Authority Executive Director, thanked the Berkley Public Works Department and Public Works Director, Shawn Young, for the installation of the American flags throughout the downtown and the entire community.

Tal Sullivan, Berkley, commented that at the last City Council meeting a proclamation was passed recognizing the month of June as LGBTQIA+ Pride Month in the City of Berkley. He said that himself along with the support of the leadership teams of Berkley Community Church and Church of the King commit to love and pray for their LGBTQIA+ friends and neighbors. He further commented about not affirming society's attempt of redefining God's design of gender and sexuality and God's life changing power in this community.

#### Consent Agenda

Councilmember Price moved to approve the following Consent Agenda, seconded by Councilmember Hennen:

**<u>APPROVAL OF THE MINUTES</u>**: Matter of approving the minutes of the 39<sup>th</sup> Regular City Council meeting on Monday, May 16, 2022 and the Special City Council meetings on May 9 and 10, 2022.

**RESOLUTION NO. R-10-22**: Matter of considering a resolution to receive a partial reimbursement of larvicide product costs from Oakland County. This is an annual program involving the placement of larvicide tablets in approximately 1,600 City catch basins to inhibit the growth of mosquito larvae.

**PROCLAMATION NO. P-20-22:** Matter of proclaiming June 19, 2022 to be Juneteenth Celebration Day.

**PROCLAMATION NO. P-21-22**: Matter of proclaiming the week of June 19-25, 2022 to be Lightning Safety Week.

Ayes: Hennen, Price, Dean, and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved.

#### Regular Agenda

**<u>RECOGNITIONS/PRESENTATIONS</u>**: Matter of any recognitions or presentations from the Consent Agenda.

Mayor Terbrack read Proclamation No. P-20-22 into record.

**OATH OF OFFICE:** Oath of Office to appoint Public Safety Officer Jean-Pierre Cormier.

City Clerk Victoria Mitchell administered the oath of office to Public Safety Officer Jean-Pierre Cormier.

Public Safety Officer Cormier thanked everyone and said that Berkley has always been a familyoriented community. He said to be humble and grateful to be here is an understatement. He said he will serve here for many years as God will let him and thanked everyone once again. Finally, he introduced his family.

Berkley Public Safety Chief, Matt Koehn, welcomed Public Safety Officer Cormier and said he is appreciative to have someone like him back working for the community.

**RESOLUTION NO. R-11-22**: Matter of recognizing Maureen Monte for her service and dedication to the Berkley Public Safety Department and awarding her with the Berkley Public Safety Civilian Citation Award 2022. Mayor Pro Tem Dean moved to approve Resolution No. R-11-22 Seconded by Councilmember Price Ayes: Hennen, Price, Dean, and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved.

**MOTION NO. M-48-22**: Matter of approving the purchase of Next Generation 911 Equipment and Services from Motorola Solutions, Inc. f/k/a Emergency CallWorks, Inc. ("MSI" or "ECW"), 1900 International Park Dr., Ste. 300 Birmingham, AL 35243, at a cost of \$54,946 from the Dispatch Equipment Account 101-306-982-000. Councilmember Hennen moved to approve Motion No. M-48-22 Seconded by Mayor Pro Tem Dean Ayes: Price, Dean, Hennen, and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved.

MOTION NO. M-49-22: Matter of approving the purchase of a 2023 Prodigy HHX Hydroexcavation Unit at a total cost not to exceed \$460,000 from Jack Doheny Companies. Councilmember Price moved to approve Motion No. M-49-22 Seconded by Councilmember Hennen Ayes: Dean, Hennen, Price and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved. **MOTION NO. M-50-22**: Matter of Approving a five-year agreement with PSLZ, LLC as submitted and signed by Managing Partner Rana Emmons in a proposal dated May 12, 2022, to provide Professional Auditing Services for the City of Berkley as the lowest qualified and recommended bidder in the amount of \$30,000 in Fiscal Year 2022-2023, and the following four years as follows; \$31,000 in year two, \$32,000 in year three, \$32,000 in year four, and \$33,000 in year five. Also, for PSLZ, LLC to provide services to file a Single Audit, if necessary, for \$5,000 each, in year one and two and \$6,000 each year in years three through five.

Mayor Pro Tem Dean moved to approve Motion No. M-50-22 Seconded by Councilmember Price Ayes: Dean, Hennen, Price, and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved.

**MOTION NO. M-51-22**: Matter of approving a Downtown Development Authority (DDA) event, "Berkley Pride Block Party" on Robina north of 12 Mile Road on Sunday, June 26, 2022 from noon to 4 p.m. Approval is conditional upon the submission of required items and documents prior to the event date. Councilmember Price moved to approve Motion No. M-51-22 Seconded by Mayor Pro Tem Dean Ayes: Dean, Price, and Terbrack Nays: Hennen

Absent: Baker, Gavin, and Vilani Motion Approved.

## Public Comment for Motion M-51-22:

Jack Blanchard, Berkley Emergency Manager, said he looked at this and put it in the emergency events plan and provided a more detailed layout of what will happen. He said the big difference is we always stopped at the alley in the past, but this year we are going beyond the alley. This produced some additional challenges.

Tal Sullivan, Berkley, questioned regarding city sponsoring this versus a special interest group sponsored event and asked where the line will be drawn by special interest groups and promotion of their activities in the future?

Jessica Worrall, Berkley, wanted to give her thoughts regarding the pride themed block party hosted by the Downtown Development Authority. She said her wife and her are the founders of the Berkley Cares Food Pantry. She said by the end of the month they will have given out approximately 1,000 pantry boxes. She said she and her wife have lived her over 16 years and are deeply woven into the fabric of this community. She talked about how she works for the Berkley School District and the other ways she volunteers her time with the City as well. She said since moving here they have found unanimous support and inclusion in this community. She said as years progress the inclusion has grown. She said she would like to see this unanimous support today and she said she voted for every councilmember up there. She said it shouldn't be voted on and they should not have to hear religious views and beliefs on their lives. She said a block party showing support for a small group of people is morally right. She talked about comments previously made. She said to those that oppose, you are actively damaging the reputation of the City and its progressiveness.

Julie Lambert, Berkley, she said she is a parent of a third-grader that is a trans female. She said her daughter very clearly and strongly expressed that when she would be returning to school after COVID that she would dress as a girl, use her female pronouns, and use the girl's bathroom. She said her daughter had no fear. She said frankly, they could not have been more thankful for all at Rogers Elementary who helped with her daughter's transition. She said she feared hatred and backlash from the community. She said she was overwhelmed by support. She said we not only have need to teach academics, but also the skills to become adults that function with kindness, humility, and grace within the

world. She said that suicide and depression rates among the LGBTQIA+ children are staggeringly high. She said the Berkley Pride Block Party may seem like a small or even an unnecessary event given all the other pride events in the area, but this event is something her daughter, family, and other members of the LGBTQIA+ community are looking forward to. She said events that celebrate any marginalized community are important to move towards change and they also need their non-marginalized neighbors to stand with them.

Chris Copacia, Berkley, said that he is a lifelong resident of Berkley. He talked about how he had an educator in high school, Mrs. Price, who provided a safe and supportive environment for LGBTQIA+ students. He said he knows how important it is to provide space and inclusivity. He said something as small as a block party does go a long way. He mentioned the Ruth Ellis Center and how they are great resource that are saving people's lives. He said he wanted to voice his support for this and he thinks it is really important.

**MOTION NO. M-52-22**: Matter of amending the City of Berkley's Fee Schedule for the Public Library effective July 1, 2022 to eliminate overdue charges for Children's books, Adult and teen books, DVD's and videos, and Nonprint materials; and increase collection agency referral fee to \$12. Councilmember Hennen moved to approve Motion No. M-52-22 Seconded by Councilmember Price Ayes: Hennen, Price, Dean, and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved.

**RESOLUTION NO. R-12-22**: Matter of considering a Resolution to temporarily suspend enforcement of Residential Grading and Drainage Standards, in City Code Chapter 26, Article XII, in regard to small projects, accessory structures, and improvements to existing residential buildings and structures. Mayor Pro Tem Dean moved to approve Resolution No. R-12-22 Seconded by Councilmember Hennen Ayes: Hennen, Price, Dean and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved.

#### COMMUNICATIONS

**COUNCILMEMBER PRICE:** announced that the Beautification Advisory Committee (BAC) is encouraging everyone to participate in a community wide "edge your sidewalk" campaign. She gave a quote from the campaign, "Let's beautify our neighborhoods. Proper edging uncovers the entire surface area of your sidewalk, giving your property better overall dimensions, a cleaner look, and it is safer for pedestrians by eliminating trip hazards." She said that if someone is either in need of an edger or if someone has one and is willing to help a neighbor, they can email the Berkley BAC at berkleybac@gmail.com. The deadline to patriciate in the campaign is June 23<sup>rd</sup>. She said that the Berkley Public Library has a fantastic summer reading program planned. She continued to say that there are activities for all ages and as well as listed some of the highlights. She said you can find out more information about the library's summer reading program by either visiting their website or giving them a call. Finally, she thanked everyone who either emailed or called about supporting the LGBTQIA+ proclamation that was passed at the last City Council meeting and the Berkley Pride Block Party that was approved today. She said that she knows that Berkley is a welcoming and inclusive community and her family is proud to be a part of it.

**MAYOR PRO TEM DEAN**: gave up quick Parks and Recreation Department update. She said they will be kicking of their Movie in the Park series on Thursday, June 16<sup>th</sup> at Community Park. She said the first Concert in the Park is Wednesday, June 22<sup>nd</sup> at 7:00 pm and will be at Community Park as well. She

also said to check the parks and recreation website to see all the summer camps that are available. She quoted Parks and Recreation Director, Theresa McArleton, "We cannot to see you in our parks over the next few busy months. There is a little bit of something for everyone this summer to come out and enjoy." Finally, she thanked the Downtown Development Authority and the Berkley Chamber of Commerce for all their hard work to uplift the way the City has looked lately.

**COUNCILMEMBER HENNEN:** said that the Tree Board had met but will be taking a summer hiatus so their next meeting will not be till September. He did say in the meantime; the Tree Board will have a committee to work on one of the grants they are looking at for a tree canopy study. He also said that the spring tree planting for 30 new trees should have taken place on May 31<sup>st</sup> and this was made available through the grants they had received. He said that the Zoning Board of Appeals (ZBA) will be having their next meeting on Monday, June 13<sup>th</sup> to consider a variance for larger signs than normal.

<u>CITY MANAGER BAUMGARTEN</u>: announced that the Berkley Historical Committee had released their new 15 oz. mug this year and costs \$15 or can be mailed to anyone for \$21. He also thanked the American Legion as well as the VFW for hosting their Memorial Day ceremony

ATTORNEY CHRIST: had nothing to report this evening.

**MAYOR TERBRACK**: congratulated the Berkley Bears Varsity Softball team for winning their second straight district title. He also said that the Berkley Art Bash will be this coming Saturday from 10:00am – 6:00pm as well as the Lids for Kids event.

## ADJOURNMENT

Mayor Pro Tem Dean moved to adjourn the Regular Meeting at 8:32 p.m. Seconded by Councilmember Hennen Ayes: Dean, Hennen, Price, and Terbrack Nays: None Absent: Baker, Gavin, and Vilani Motion Approved.



Check Date Ch	heck	Vendor Name	Description	Amount Voided
05/05/2022 68	8735	SANDOVAL HOMES LLC	3679 ROYAL - TO REPLACE LOST CHECK #6275	850.00
05/12/2022 68	8736	MiSDU	CHILD SUPPORT CASE NO. 913340822 - PR #1	82.99
.0, 12, 2022 00	0,00		CHILD SUPPORT CASE NO. 913286400 - PR #1	128.05
				211.04
05/12/2022 68	8737	NATIONWIDE RETIREMENT SOLUTIONS	EMPL. DEDUCT. (NATIONWIDE 457) - PR #10	4,800.60
-, ,			EMPL. DEDUCT. (ROTH) - PR #10	1,513.75
				6,314.35
5/12/2022 68	8738	VANTAGEPOINT TRNSFR AGENTS-107930	EE/ER CONTRIB. (401) - PR #10	570.77
05/12/2022 68	8739	VANTAGEPOINT TRNSFR AGENTS-303792	EMPLOYEE DEDUCT. (ICMA 457) - PR #10	3,080.77
			EMPLOYEE DEDUCT LOAN - PR #10	203.30
				3,284.07
5/12/2022 68	8740	VANTAGEPOINT TRNSFR AGENTS-706259	EMPLOYEE DEDUCT. (ICMA ROTH) - PR #10	205.00
5/16/2022 68	8741	21ST CENTURY MEDIA - MICHIGAN	NOTICE FOR ZBA	213.41
			NOTICE FOR ZBA	183.05
				396.46
5/16/2022 68	8742	ACCU LAMINATION	TALE ON THE TRAIL LAMINATION	45.00
5/16/2022 68		AIRGAS USA, LLC	CYLINDER RENTAL APRIL 2022	31.98
5/16/2022 68	8744	ALL ABOUT JUMPING	2 BOUNCE HOUSES - LIDS FOR KIDS	350.00
5/16/2022 68	8745	ALLIANCE MOBILE HEALTH	BLOOD DRAW 22-1957	148.00
			BLOOD DRAWS	592.00
				740.00
5/16/2022 68	8746	AMAZON CAPITAL SERVICES	OFFICE SUPPLIES	144.67
			USB ADAPTER PACK X 3	28.27
				172.94
5/16/2022 68	8747	APPLIED IMAGING	DPW COPIER	0.56
5/16/2022 68	8748	APRIL SHOWLER	PARTIAL CAMP REFUND - YOUNG REMBRANDTS	68.00
5/16/2022 68	8749	APWA - MICHIGAN CHAPTER	WATER CLASS - RIC CHALMERS	725.00
			WATER CLASS - ADAM WOZNIAK	725.00
				1,450.00
5/16/2022 68	8750	AT&T	ACCT. NO. 24854624000218 - 04/25/22 - 05	778.33
5/16/2022 68		AT&T	FIBER INTERNET - ACCT. NO. 311160118	158.99
5/16/2022 68	8752	BIG D LOCK CITY	DOOR REPAIR	85.00
			KEY CONTAINER	4.00
			RE - COMB DB SAFE	145.00
				234.00
5/16/2022 68	8753	BILLINGS LAWN EQUIPMENT	DPW NEW MOWER	1,848.96
			FILTER FOR DPW MOWERS - APPLY CM 422043	130.79
				1,979.75
5/16/2022 68		BLUE CROSS BLUE SHIELD OF MICH	APRIL 2022 CLAIMS	99,620.64
5/16/2022 68 5/16/2022 68		BRENDA CASTANEDA CAMELOT CLEANERS	SENIOR CONTRACTUAL PRISONER BLANKETS - APRIL	604.10 121.40
5/16/2022 68		CARDCONNECT	CONTRACTUAL SERVICES	25.00
5/16/2022 68	8758	CARNIVAL BOUNCE RENTALS	SNOW CONE MACH & DUNK TANK - LIDS FOR KI	500.00
5/16/2022 68		CDW GOVERNMENT, INC.	LASER PRINTER	398.05
5/16/2022 68		CHRISTOPHER COPACIA	REFUND FOR AUCTIONED PHONE	130.00

05/16/2022 68761 CONTRACTORS CLOTHING CO. UNIFORMS MYKE HUNYOR UNIFORMS - J. GROZDE UNIFORMS MYKE HUNYOR	76.45
UNIFORMS - J. GROZDE	70.45
	152.05
	66.50
	295.00
05/16/2022 68762 CONTRACTORS CONNECTION BATTERY FOR AERO BOARDS	342.60
PAINT - BLUE AND WHITE FOR DREAM CRUISE	928.80
	528.80
	1,271.40
05/16/2022 68763 CUMMINS SALES AND SERVICE DPW GARBAGE TRUCKS OUTSIDE REPAIR	140.28
05/16/2022 68764 DALE A. CARLSON DALE CARLSON PROGRAM	200.00
05/16/2022 68765 DEALER AUTO PARTS SALES PS PARTS & BRAKE CLEANER - APPLY CM 7307	127.34
	150.92
05/16/2022 68767 DETROIT DIAMOND DRILLING, INC. MARKING PAINT	231.36
05/16/2022 68768 DISCOUNT OFFICE EQUIPMENT FURNITURE CDD	325.00
05/16/2022 68769 DON'S LIL JOHNS AND SEPTIC PUMPING PORTA JOHNS	405.00
05/16/2022 68770 DORIS SHEIKH SENIOR CONTRACTUAL	264.60
05/16/2022 68771 ED RINKE CHEVROLET #53 CAMERA VAN	146.44
05/16/2022 68772 EJ USA, INC. OPT RANGE CPL	561.62
WATER	2,288.16
	2,849.78
05/16/2022 68773 ELLIOTT SAW WORKS INC. OUTSIDE REPAIR SHARPENING	36.00
	50.00
	24.42
05/16/2022 68774 FEDEX OFFICE FOLA COPIES	21.18
FOIA COPIES	21.62
FOIA COPIES	32.44
	75.24
	70121
	400.08
05/16/2022 68775 FERGUSON WATERWORKS #3386 FERNCO	460.08
05/16/2022 68776 FIRE DEFENSE EQUIPMENT COMPANY DPW EXTINGUISHER RECONDITIONED	47.25
05/16/2022 68777 GDI SERVICES INC. CUSTODIAL - APRIL	1,703.19
MONTHLY JANITORIAL AT CITY HALL	1,666.45
JANITORIAL MONTHLY	1,957.17
DPW CUSTODIAL SERVICES APRIL 2022	216.48
	1,003.68
CUSTODIAL SERVICES	
	249.12
CUSTODIAL SERVICES	
CUSTODIAL SERVICES	
CUSTODIAL SERVICES	249.12
CUSTODIAL SERVICES CUSTODIAL SERVICES - OXFORD PARK	249.12 6,796.09
05/16/2022 68778 GFL ENVIRONMENTAL SERVICES USA INC. USED OIL FILTERS	249.12 6,796.09 82.46
CUSTODIAL SERVICES CUSTODIAL SERVICES - OXFORD PARK	249.12 6,796.09
05/16/2022 68778 GFL ENVIRONMENTAL SERVICES USA INC. USED OIL FILTERS	249.12 6,796.09 82.46
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05/16/2022 68778 GFL ENVIRONMENTAL SERVICES USA INC. USED OIL FILTERS	249.12 6,796.09 82.46 82.46
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05/16/2022 68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022 68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL	249.12 6,796.09 82.46 82.46 164.92 77.51
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL PICK UP         05/16/2022       68779       GORDON FOOD SERVICE INC. GRANITE INLINER, LLC       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL PICK UP         05/16/2022       68779       GORDON FOOD SERVICE INC. GRANITE INLINER, LLC       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT SADDLE & CURBSTOP	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL PICK UP         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT 05/16/2022       68780         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SEWER LINING ANNUAL CONTRACT SADDLE & CURBSTOP         05/16/2022       68782       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL PICK UP         05/16/2022       68779       GORDON FOOD SERVICE INC. GRANITE INLINER, LLC       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT SADDLE & CURBSTOP	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022       68780       GRANITE INLINER, LLC       SEWER LINING ANNUAL CONTRACT SADDLE & CURBSTOP         05/16/2022       68782       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       EIGAL SERVICES FOR APRIL 2022	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL PICK UP         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT 05/16/2022       68780         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SEWER LINING ANNUAL CONTRACT SADDLE & CURBSTOP         05/16/2022       68782       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT 05/16/2022       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT SADDLE & CURBSTOP         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022       68783       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2022	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL PICK UP         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT SEWER LINING ANNUAL CONTRACT O5/16/2022       68780         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SEWER LINING ANNUAL CONTRACT SADDLE & CURBSTOP         05/16/2022       68783       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2 LEGAL SERVICES FOR APRIL 2022         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022       68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SENIOR CONTRACTUAL         05/16/2022       68782       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       LEGAL SERVICES FOR APRIL 2022         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT DESIGN - KENMORE AND CORNWALL PROJECT 2021 ROAD IMPROVEMENT CE SERVICES	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022       68780       GRANITE INLINER, LLC       SEWER LINING ANNUAL CONTRACT         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         D5/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL PICK UP         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT OS/16/2022       68780         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SENIOR CONTRACTUAL SEWER LINING ANNUAL CONTRACT SEWER LINING ANNUAL CONTRACT SOS/16/2022       68781         05/16/2022       68783       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2 LEGAL SERVICES FOR APRIL 2022         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT DESIGN - KENMORE AND CORNWALL PROJECT 2021 ROAD IMPROVEMENT CE SERVICES (ES CROW)	249.12 6,796.09 82.46 82.46 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022       68780       GRANITE INLINER, LLC       SEWER LINING ANNUAL CONTRACT         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         D5/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       USED OIL FILTERS         05/16/2022       68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SEWER LINING ANNUAL CONTRACT         05/16/2022       68783       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT	249.12 6,796.09 82.46 82.46 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       USED OIL FILTERS         05/16/2022       68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SEWER LINING ANNUAL CONTRACT         05/16/2022       68783       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT	249.12 6,796.09 82.46 82.46 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       USED OIL FILTERS         05/16/2022       68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SEWER LINING ANNUAL CONTRACT         05/16/2022       68783       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT	249.12 6,796.09 82.46 82.46 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       USED OIL FILTERS         05/16/2022       68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SEWER LINING ANNUAL CONTRACT         05/16/2022       68783       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT	249.12 6,796.09 82.46 82.46 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022       68780       GRANITE INLINER, LLC       SEWIOR CONTRACTUAL         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SADULE & CURBSTOP         05/16/2022       68783       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES FOR APRIL 2022         05/16/2022       68784       HUBBELL, ROTH & CLARK       DESIGN - KENMORE AND CORNWALL PROJECT         2021       ROAD L       SHIFMAN P.C.       LEGAL SERVICES FOR AND CORNWALL PROJECT         2021       68784       HUBBELL, ROTH & CLARK       DESIGN - KENMORE AND CORNWALL PROJECT         2021       ROAD L       SHIFMAN P.C.       DESIGN - KENMORE AND CORNWALL PROJECT         2021       ROAD L       SHIFMAN P.C.       DESIGN - KENMORE AND CORNWALL PROJECT         2021       ROAD L       SHIFMAN P.C.       DESIGN - KENMORE AND CORNWALL PROJECT         2021       ROAD L       SHIFMAN P.C.       DESIGN - KENMORE AND CORNWALL PROJECT         2021       ROAD L       SHIFMAN P.C.       DESIGN - KENMORE AND CORNWALL PROJECT	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76
05/16/2022 68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS         05/16/2022 68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022 68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022 68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022 68782       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022 68783       HOWARD L. SHIFMAN P.C.       LEGAL SERVICES FOR APRIL 2022         05/16/2022 68784       HUBBELL, ROTH & CLARK       PROF SERVICES FOR APRIL 2022         05/16/2022 68785       HYDROCORP       APRIL 2022 CROSS CONNECTION SERVICES	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76 1,658.00
05/16/2022 68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS         05/16/2022 68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022 68780       GRANITE INLINER, LLC       SEWER LINING ANNUAL CONTRACT         05/16/2022 68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022 68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022 68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022 68785       HYDROCORP       APRIL 2022 CROSS CONNECTION SERVICES         05/16/2022 68786       J.H. HART URBAN FORESTRY       TREE TRIM, STUMP, LOGGING 4/25/22 - 4/29	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76 1,658.00 7,145.36
05/16/2022 68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL FILTERS         05/16/2022 68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022 68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022 68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022 68783       HAFELI, STAAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022 68784       HUBBELL, ROTH & CLARK       PROF SERVICES FOR APRIL 2022         05/16/2022 68785       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT DESIGN - KENMORE AND CORNWALL PROJECT 2021 ROAD IMPROVEMENT CE SERVICES MAP UPDATES & BS&A ASSISTANCE OXFORD & PHILLIPS CE SERVICES (ESCROW) OAKLAND COUNTY INFRASTRUCTURE GRANT APP         05/16/2022 68785       HYDROCORP       APRIL 2022 CROSS CONNECTION SERVICES         05/16/2022 68786       J.H. HART URBAN FORESTRY       TREE TRIM, STUMP, LOGGING 4/25/22 - 4/29 TREE TRIM, LOG, STUMP 4/18/22 - 4/22/22	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76 1,658.00 7,145.36 6,844.36
05/16/2022       68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022       68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022       68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022       68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022       68783       HOWARD L. SHIFMAN P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022       68784       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022       68785       HVDROCORP       APRIL 2022 CROSS CONNECTION SERVICES         05/16/2022       68785       J.H. HART URBAN FORESTRY       TREE TRIM, STUMP, LOGGING 4/25/22 - 4/29	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76 1,658.00 7,145.36
05/16/2022 68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL FILTERS         05/16/2022 68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022 68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022 68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022 68783       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022 68784       HUBBELL, ROTH & CLARK       PROF SERVICES FOR APRIL 2022         05/16/2022 68785       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT DESIGN - KENMORE AND CORNWALL PROJECT 2021 ROAD IMPROVEMENT CE SERVICES MAP UPDATES & BS&A ASSISTANCE OXFORD & PHILLIPS CE SERVICES (SECROW) OAKLAND COUNTY INFRASTRUCTURE GRANT APP         05/16/2022 68785       HYDROCORP       APRIL 2022 CROSS CONNECTION SERVICES         05/16/2022 68786       J.H. HART URBAN FORESTRY       TREE TRIM, STUMP, LOGGING 4/25/22 - 4/29 TREE TRIM, LOG, STUMP 4/18/22 - 4/22/22	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76 1,658.00 7,145.36 6,844.36
CUSTODIAL SERVICES         05/16/2022 68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022 68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022 68780       GRANITE INLINER, LLC       SEWIOR CONTRACTUAL         05/16/2022 68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022 68783       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022 68784       HUBBELL, ROTH & CLARK       PROF SERVICES FOR APRIL 2022         05/16/2022 68785       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022 68785       HUBDELL, ROTH & CLARK       PROF SERVICES CONNECTION SERVICES         05/16/2022 68786       J.H. HART URBAN FORESTRY       TREE TRIM, STUMP, LOGGING 4/25/22 - 4/29	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76 1,658.00 7,145.36 6,844.36
CUSTODIAL SERVICES         05/16/2022 68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS         05/16/2022 68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022 68780       GRANITE INLINER, LLC       SEWIOR CONTRACTUAL         05/16/2022 68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022 68783       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022 68784       HUBBELL, ROTH & CLARK       PROF SERVICES FOR APRIL 2022         05/16/2022 68785       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT         05/16/2022 68785       HUBDELL, ROTH & CLARK       PROF SERVICES CONNECTION SERVICES         05/16/2022 68786       J.H. HART URBAN FORESTRY       TREE TRIM, STUMP, LOGGING 4/25/22 - 4/29	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76 1,658.00 7,145.36 6,844.36 4,927.65
05/16/2022 68778       GFL ENVIRONMENTAL SERVICES USA INC.       USED OIL FILTERS USED OIL FILTERS USED OIL FILTERS         05/16/2022 68779       GORDON FOOD SERVICE INC.       SENIOR CONTRACTUAL         05/16/2022 68780       GRANITE INLINER, LLC       SENIOR CONTRACTUAL         05/16/2022 68781       GUNNERS METERS & PARTS INC.       SADDLE & CURBSTOP         05/16/2022 68783       HAFELI, STARAN, & CHRIST, P.C.       CITY ATTORNEY LEGAL SERVICES FOR APRIL 2         05/16/2022 68784       HUBBELL, ROTH & CLARK       PROF SERVICES FOR APRIL 2022         05/16/2022 68785       HUBBELL, ROTH & CLARK       PROF SERVICES END 4/16/22 - SIGN INVENT DESIGN - KENMORE AND CORNWALL PROJECT 2021 ROAD IMPROVEMENT CE SERVICES MAP UPDATES & BS&A ASSISTANCE OXFORD & PHILLIPS CE SERVICES (SECROW) OAKLAND COUNTY INFRASTRUCTURE GRANT APP         05/16/2022 68785       HYDROCORP       APRIL 2022 CROSS CONNECTION SERVICES         05/16/2022 68786       J.H. HART URBAN FORESTRY       TREE TRIM, STUMP, LOGGING 4/25/22 - 4/29 TREE TRIM, LOG, STUMP 4/18/22 - 4/22/22	249.12 6,796.09 82.46 82.46 164.92 77.51 32,976.50 410.00 10,521.25 1,160.00 3,735.20 12,448.43 149.21 5,872.14 369.60 2,995.18 25,569.76 1,658.00 7,145.36 6,844.36 4,927.65

		15101013,17125	525.75
			848.46
05/16/2022 68788	JAY'S SEPTIC TANK SERVICE	DPW PORTA JOHNS - CONSTRUCTION	420.00
05/16/2022 68789	KANOPY, INC.	DIGITAL CONTENT	212.40
05/16/2022 68790	KENT COUNTY DEPT. OF PUBLIC WORKS	EVIDENCE DESTRUCTION	90.00
05/16/2022 68791	KONICA MINOLTA BUSINESS SOLUTIONS	COPIER USAGE	8.13
		DPW COPIER APRIL 2022	90.27
		PDF OPTION	9.10
		OFFICE EQUIPMENT RENTAL	99.00
		OFFICE EQUIPMENT RENTAL	91.48
			297.98
05/16/2022 68792	LARRY'S WELDING SUPPLY	APRIL 2022 CYLINDER RENTAL	62.65
05/16/2022 68793	LISA LITTELL	PUBLIC ART - BEE DOOR MURAL	800.00
05/16/2022 68794		HAUL OUT CONCRETE / HAUL IN SAND	905.00
05/16/2022 68795 05/16/2022 68796	MARINE CITY NURSERY CO METRO PUMP SERVICE	TREES ON PHILLIPS ARBOR DAY APRIL 2022 FUEL ISLAND MAINT.	486.00 428.00
05/16/2022 68797	MICHIGAN PETROLEUM	OIL (MECHANICS)	673.53
05/16/2022 68798	MIDWEST TAPE	DIGITAL CONTENT	1,272.23
05/16/2022 68799	MOTOR CITY FASTENER, LLC	NUTS FOR METERS	148.68
05/16/2022 68800	NEWEGG BUSINESS, INC.	LEIN PRINTER PARTS	31.24
05/16/2022 68801	NYE UNIFORM	HARMON - BOOTS	159.50
		EMBROID. FOR HAT - KOBERNICK	17.00
		GEARY - 2 CAPS CORMIER NAME BAR X 2	61.00 6.30
			0.50
			243.80
05/16/2022 68802	O'REILLY AUTOMOTIVE, INC.	OIL (MECHANICS)	65.94
		53A GENERATOR CAMERA VAN	17.66
		GARAGE GASKET SEALER	8.29
			91.89
05/16/2022 68803	OD KIT LLC	40 KYDEX OD KITS	1,519.68
05/16/2022 68804	OVERDRIVE, INC.	DIGITAL CONTENT	1,214.88
05/16/2022 68805	PITNEY BOWES INC.	MARCH 2022 POSTAGE FEE & PSX SORT FEE	85.13
05/16/2022 68806	QUADRATE CONSTRUCTION, LLC	PAY APP #1 DPW RENOVATION PROJECT	100,980.70
05/16/2022 68807	RKA PETROLEUM COS, INC	#2 ULTRA LOW SULFUR DIESEL	2,228.60
05/16/2022 68808 05/16/2022 68809	ROCHESTER MIDLAND ROSE PEST SOLUTIONS	SANOR SERVICE FOR CTY HALL BUILDING MAINTENANCE	71.46 204.00
05/16/2022 68810	S/E OAK. CTY WATER AUTHORITY	APRIL 2022 BULK WATER	71,503.88
05/15/2022 68811			51 044 00
05/16/2022 68811	S/E OAK.CTY RESOURCE REC. AUTH	TRASH, RECYCLE, PICKUPS - APRIL 2022 APRIL 2022 CITY PICK UPS & SPECIALS	51,044.00 905.48
			51,949.48
05/16/2022 68812	SANCHIN SYSTEMS INC. & THE O.S.K.A.	CONTRACTUAL SERVICES	462.00
		CONTRACTUAL SERVICES	336.00
		CONTRACTUAL SERVICES	315.00
		CONTRACTUAL SERVICES	441.00
		CONTRACTUAL SERVICES	588.00
		CONTRACTUAL SERVICES	504.00
			2,646.00
05/16/2022 68813	SOUTHERN MICH DOG OBEDIENCE TRAIN.	CONTRACTUAL SERVICES	1,485.00
05/16/2022 68814	SOYSOLV BIOSOLVENTS LLC	ASPHALT RELEASE AGENT	1,160.00
05/16/2022 68815	STAPLES	OFFICE SUPPLIES	90.37
		CAMP PROGRAM SUPPLIES / OFFICE SUPPLIES	44.57
			134.94
05/16/2022 68816	STATE OF MICH-DEPT OF TREASURY	APRIL 2022 MI TAX WITHHOLDING FOR ACTIVE	17,207.95
05/16/2022 68817	STATE OF MICH-DEPT OF TREASURY	APRIL 2022 MI TAX WITHHOLDING FOR RETIRE	3,289.70
05/16/2022 68818	SWANK MOTION PICTURES, INC.	SUMMERFEST CONTRACTUAL	465.00
05/16/2022 68819 05/16/2022 68820	T-MOBILE TAYLORED EVENTS LLC	HOT SPOTS - ACCT. #971364489 BLOCK PARTY RENTAL (MAY 1 EVENT)	180.60 300.00
05/16/2022 68821	TECHRADIUM, INC.	IRIS SERV FEE - ANNUAL	92.00

05/16/2022 68822	TRANSUNION RISK AND ALTERNATIVE	TLOXP INVEST. SERVICES - APRIL	110.00
05/16/2022 68823	TURTLE STORAGE, LTD.	STREETSCAPE IMPROVEMENTS - BIKE RACKS	6,725.00
05/16/2022 68824	ULINE	3 TOTES	58.48
05/16/2022 68825	UNIQUE MANAGEMENT SERVICES, INC.	UNIQUE COLLECTION AGENCY	17.90
05/16/2022 68826	UNITED FACILITY SUPPLIES	TRASH LINERS, SOAP, TOILET PAPER, PAPER	306.05
		SUPPLIES - GARAGE WYPALLS	123.16
		MAINTENANCE SUPPLIES	206.48
			635.69
05/16/2022 68827	UNITED RENTALS	2 CONTAINERS 5/10/22 - 6/7/22	250.00
05/16/2022 68828	USA SOFTBALL OF METRO DETROIT	WOMENS SOFTBALL PROGRAM SUPPLIES	492.00
05/16/2022 68829	WCI CONTRACTORS, INC.	BERKLEY PLAZA PROJECT - PAY APP #4	25,736.20
05/16/2022 68830	WINDER POLICE EQUIPMENT	ENG 4 BACKUP CAM/INSTALL	3,141.00
05/16/2022 68831	WINDSTREAM	PHONE SERVICE	660.20
05/16/2022 68832	WOW! BUSINESS	OXFORD PARK INTERNET- ACCT. NO. 01971667	775.98
05/16/2022 68833	XEROX CORPORATION	XEROX USER FEES 3/21 - 4/21/22	125.95
05/20/2022 68834	ALEX PUDVAY		74.00
05/20/2022 68835	ANNABELLE VOLLMAR		205.00
05/20/2022 68836	ANNELIESE RINGE ASHLIN WHITEHEAD	PRECINCT WORKER PRECINCT WORKER	123.33 74.00
05/20/2022 68837 05/20/2022 68838	ASHLIN WHITEHEAD AVA HEILER	PRECINCT WORKER PRECINCT WORKER	74.00 96.00
05/20/2022 68838	AVA HEILEK BARBARA CAMERON	PRECINCT WORKER PRECINCT WORKER	96.00 185.00
05/20/2022 68839	BERNADETTE M. THEBOLT	PRECINCT WORKER	225.00
05/20/2022 68841	BRANDON URICH	PRECINCT WORKER	96.00
05/20/2022 68842	BRIAN MARKHAM	PRECINCT WORKER	195.00
05/20/2022 68843	BRIDGET KAVANAUGH	PET LICENSE REFUND	5.00
05/20/2022 68844	CATHERINE DUGALIN	PRECINCT WORKER	185.00
05/20/2022 68845	CATHERINE WADE	PRECINCT WORKER	86.67
05/20/2022 68846	COLLEEN HILL-STRAMSAK	PRECINCT WORKER	148.33
05/20/2022 68847	DONNA TOMASZYCKI	PRECINCT WORKER	195.00
05/20/2022 68848	DURST LUMBER CO	MISC. ITEMS	738.97
05/20/2022 68849	ELIZABETH SWANCHARA	PRECINCT WORKER	185.00
05/20/2022 68850	EVA MITCHELL	PRECINCT WORKER	84.00
05/20/2022 68851	GABRIELLE CONNORS		205.00
05/20/2022 68852	GERALD CHANDLER	PRECINCT WORKER MILEAGE REIMBURSEMENT	205.00 25.74
05/20/2022 68853 05/20/2022 68854	GINA HAROLD GIOVANNI HERNANDEZ	PRECINCT WORKER	25.74 92.50
05/20/2022 68855	ISABELLA JANSEN	PRECINCT WORKER	92.50
05/20/2022 68855	JAMES ALLEN	PRECINCT WORKER	225.00
05/20/2022 68857	JAMES HABROWSKI	PRECINCT WORKER	205.00
05/20/2022 68858	JOSEPHINE BERG	PRECINCT WORKER	205.00
05/20/2022 68859	JUDITH HARNOIS	PRECINCT WORKER	111.00
05/20/2022 68860	KATHERINE T. BELL	PRECINCT WORKER	205.00
05/20/2022 68861	KEVIN MCLAUGHLIN	PRECINCT WORKER	185.00
05/20/2022 68862	KIM BERNREUTER	PRECINCT WORKER	195.00
05/20/2022 68863	LETHA DEHOYOS	PRECINCT WORKER	108.00
05/20/2022 68864	LISA PEREZ	PRECINCT WORKER	225.00
05/20/2022 68865	MARIE BESSLER	PRECINCT WORKER	205.00
05/20/2022 68866			205.00
05/20/2022 68867 05/20/2022 68868	MEGAN MITCHELL	PRECINCT WORKER	100.00 92.50
05/20/2022 68868	MELISSA TWISS MERS OF MICHIGAN	PRECINCT WORKER SERVICE CREDIT PURCHASE CREDIT FOR JOHN	92.50 16,509.00
05/20/2022 68869	MICHELE J. BUCKLER	PRECINCT WORKER	92.50
05/20/2022 68871	MICHELLE KREBS	PRECINCT WORKER	108.00
05/20/2022 68872	NANCY KEEGAN	PRECINCT WORKER	195.00
05/20/2022 68873	NATALIE SMITH	PRECINCT WORKER	61.67
05/20/2022 68874	NORMAN MORRIS	PRECINCT WORKER	215.00
05/20/2022 68875	PENNY CHANDLER	PRECINCT WORKER	185.00
05/20/2022 68876	RAE KHOURY	PRECINCT WORKER	215.00
05/20/2022 68877	SOPHIA JANSEN	PRECINCT WORKER	60.00
05/20/2022 68878	UNITED STATES POSTAL SERVICE	BULK MAILING FOR ABSENTEE BALLOT APPLICA	1,000.00
05/26/2022 68879	MiSDU	CHILD SUPPORT CASE NO. 913340822 - PR #1	82.99
		CHILD SUPPORT CASE NO. 913286400 - PR #1	128.05
05/26/2022 68880	NATIONWIDE RETIREMENT SOLUTIONS	EMPL. DEDUCT. (NATIONWIDE 457) - PR #11	<b>211.04</b> 6,782.20
		EMPL. DEDUCT. (ROTH) - PR #11	1,455.00
			8,237.20
05/26/2022 68881	VANTAGEPOINT TRNSFR AGENTS-107930	EE/ER CONTRIB. (401) - PR #11	570.77

05/26/2022 68882	VANTAGEPOINT TRNSFR AGENTS-303792	EMPLOYEE DEDUCT. (ICMA 457) - PR #11 EMPLOYEE DEDUCT LOAN - PR #11	3,505.68 203.30
			3,708.98
05/26/2022 68883	VANTAGEPOINT TRNSFR AGENTS-706259	EMPLOYEE DEDUCT. (ICMA ROTH) - PR #11	205.00
05/31/2022 68884	4 TECH SIGNS INC.	2870 COOLIDGE HWY.	50.00
05/31/2022 68885		CUSTOMER CANCELLED JOB	54.00
	ACTION FENCE OF MI LLC		
05/31/2022 68886	ADN ADMINISTRATORS, INC.	ADMINISTRATIVE FEE FOR JUNE 2022	966.00
05/31/2022 68887	ADT COMMERCIAL LLC	5/27/22 - 6/26/22 DPW ALARM MONITORING	81.63
05/31/2022 68888	ALBERT C. SANOM RES. BUILDER	1940 MORTENSON	410.00
05/31/2022 68889	ALLIANCE MOBILE HEALTH	BLOOD DRAWS	740.00
05/31/2022 68890	AMAZON CAPITAL SERVICES	1 AXE	16.99
		GEAR WRENCH	25.40
			42.39
05/31/2022 68891	AMERICAN LEGION	2079 TWELVE MILE RD.	100.00
05/31/2022 68892	AT-LESS DRAIN CLEANING	1641 CAMBRIDGE RD.	500.00
05/31/2022 68893	BASEMENT CRACKS & LEAKS METRO INC.	2175 HARVARD RD.	100.00
05/31/2022 68894	BASIC	ADMINISTRATION FEE FOR MAY 2022	80.00
05/31/2022 68895	BCD CONSTRUCTION	2036 GARDNER AVE.	75.00
05/31/2022 68896	BCM HOME IMPROVEMENT	2362 BERKLEY AVE.	100.00
05/31/2022 68897	BELLE ISLE AWNING CO	1904 ELEVEN MILE RD.	50.00
05/31/2022 68898	BIG D LOCK CITY	DPW KEYS	4.00
		KEY (P&R) FOR FLAGPOLE	10.00
			14.00
05/31/2022 68899	BISON PLUMBING INC.	3277 ROBINA AVE.	500.00
05/24/2022 00000			4 (27 20
05/31/2022 68900	BLUE CROSS BLUE SHIELD OF MICHIGAN	JUNE 2022 PREMIUM FOR SUFFIX 600	4,637.28
		JUNE 2022 PREMIUM FOR SUFFIX 601	21,286.80
			25,924.08
05/31/2022 68901	BRENTEN PAUL LAMKIN	1959 MORTENSON BLVD.	75.00
05/31/2022 68902	BRIANNA M. SZIKSZAY	3188 THOMAS AVE.	50.00
		HOMEOWNER CANCELLED PERMIT - DECK WAS NO	126.00
			176.00
05/31/2022 68903	BUILD-RIGHT DEVELOPMENT	1559 EATON RD.	100.00
05/31/2022 68904	CAPITAL PLUMBING	2667 CATALPA DR.	500.00
05/31/2022 68905	CARDCONNECT	CONTRACTUAL SERVICES	25.00
03/31/2022 08905	CARDCONNECT	CONTRACTORE SERVICES	23.00
05/31/2022 68906	CARLISLE / WORTMAN	1949 TWELVE MILE SITE PLAN ESCROW	375.00
		2684 COOLIDGE SITE PLAN - ENGINEERING	437.50
		IVY SITE PLAN ENGINEERING	427.50
			1,240.00
05/04/0000 0000-	0070		
05/31/2022 68907	CBTS	DISPATCH PHONE SYSTEM UPGRADE	4,673.67
05/31/2022 68908	CENTER LINE VETERINARY HOSPITAL	BEAR SHOTS	128.00
05/31/2022 68909	CINTAS	FLOOR MATS	198.24
		MED BOX REFILL	91.04
		CONTRACTUAL SERVICES	123.16
		DPW FIRST AID SUPPLIES	96.37
			508.81
05/31/2022 68910	CODY GOLDSWORTHY	1596 ELEVEN MILE RD.	50.00
03/31/2022 08910	CODI GOLDSWORTHI	1596 ELEVEN MILE RD. 1596 ELEVEN MILE RD.	50.00
		—	400.00
			100.00
05/31/2022 68911	COLLABORATIVE SUMMER LIBRARY PROG.	SUMMER READING PROGRAM MATERIALS	714.23
05/31/2022 68912	CONTRACTORS CONNECTION	GROUND PROTECTION MATS	3,449.40
, . ,		PAINT	67.80
		—	

05/31/2022 68913	CREGGER PLUMBING	3238 ELLWOOD AVE.	500.00
33, 31, 2022 00313	CAEGGENT EGMIDING	3611 ELLWOOD AVE.	500.00
		1692 PRINCETON RD.	500.00
			1,500.00
05/21/2022 69014			75.40
05/31/2022 68914	CUMMINS SALES AND SERVICE	DPW FILTERS TRUCK #40	75.40
05/31/2022 68915	CYNERGY PRODUCTS	RIC'S RADIO OUTSIDE REPAIR	211.00
05/31/2022 68916	DAN ROEMER PLUMBING	3494 CUMMINGS AVE.	500.00
05/31/2022 68917	DEALER AUTO PARTS SALES	PS AIR FILTERS	52.68
		PS ROTORS, BRAKES	356.95
		DPW/PS/P&R WIPER & FILTERS	415.88
			825.51
05/31/2022 68918	DEAN SELLERS FORD	PS REPAIR HGA04383	960.46
		HGA04383 PS WHEEL ALIGNMENT	119.96
			1,080.42
05/31/2022 68919	DELWOOD SUPPLY CO.	WATER PVC FOR FOUNTAINS	5.00
05/31/2022 68920	DETROIT BUILD, INC.	1936 ROSEMONT	465.00
05/31/2022 68921	DEWOLF AND ASSOCIATES	KWIECINSKI & TYLER FTO SCHOOL	1,590.00
	DRAIN DETECTIVES LLC	2023 DOROTHEA RD.	500.00
05/31/2022 68922			500.00
15/31/2022 60022	ED RINKE CHEVROLET	#1 DPW SENSOR	48.24
05/31/2022 68923			
		#79 (P&R) ROTORS, PADS, PULLEYS, BELTS	622.57
			670.81
- / /			
05/31/2022 68924	ELIZABETH PACARELLA & GARETH GABRIE	3025 KIPLING AVE.	50.00
05/31/2022 68925	ERIC OSTROWSKI	CONTRACTUAL SERVICES	616.70
05/31/2022 68926	EVERDRY WATERPROOFING	3309 ROYAL	70.00
		2464 ELLWOOD	65.00
			135.00
05/31/2022 68927	FERGUSON WATERWORKS #3386	METERS	57,750.00
		WATER FITTINGS	152.12
		FERNCOS	115.02
		WATER METERS	2,898.67
			2,000.07
			60,915.81
5/31/2022 68928	FIRE DEFENSE EQUIPMENT COMPANY	EXT. INSP. MAINT., EXT. W/ EXCHG	60,915.81 45.10
	FIRE DEFENSE EQUIPMENT COMPANY FOREMAN CONSTRUCTION CO.	EXT. INSP. MAINT., EXT. W/ EXCHG 1876 LARKMOOR BLVD.	
5/31/2022 68929			45.10
5/31/2022 68929 5/31/2022 68930	FOREMAN CONSTRUCTION CO.	1876 LARKMOOR BLVD.	45.10 50.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE.	45.10 50.00 75.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING	45.10 50.00 75.00 14,509.17
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING	45.10 50.00 75.00 14,509.17
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4	45.10 50.00 75.00 14,509.17 99.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES	45.10 50.00 75.00 14,509.17 99.00 1,003.68
05/31/2022 68929 05/31/2022 68930 05/31/2022 68931 05/31/2022 68932	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12
05/31/2022 68928 05/31/2022 68929 05/31/2022 68930 05/31/2022 68931 05/31/2022 68932 05/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12
05/31/2022 68929 05/31/2022 68930 05/31/2022 68931 05/31/2022 68932	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933 5/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 75.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933 5/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00
95/31/2022 68929 95/31/2022 68930 95/31/2022 68931 95/31/2022 68932 95/31/2022 68933 95/31/2022 68933	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 75.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933 5/31/2022 68934 5/31/2022 68935 5/31/2022 68935	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 75.00 155.00 3,147.06
05/31/2022       68929         05/31/2022       68930         05/31/2022       68931         05/31/2022       68932         05/31/2022       68933         05/31/2022       68934         05/31/2022       68935         05/31/2022       68935         05/31/2022       68936         05/31/2022       68936	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 40.00 75.00 155.00 3,147.06 800.00
35/31/2022       68929         35/31/2022       68930         35/31/2022       68931         35/31/2022       68932         35/31/2022       68933         35/31/2022       68934         35/31/2022       68935         35/31/2022       68935         35/31/2022       68936         35/31/2022       68937         35/31/2022       68937         35/31/2022       68937	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 75.00 155.00 3,147.06
15/31/2022       68929         15/31/2022       68930         15/31/2022       68931         15/31/2022       68932         15/31/2022       68933         15/31/2022       68934         15/31/2022       68935         15/31/2022       68935         15/31/2022       68936         15/31/2022       68936	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 40.00 75.00 155.00 3,147.06 800.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933 5/31/2022 68934 5/31/2022 68935 5/31/2022 68935 5/31/2022 68937 5/31/2022 68937 5/31/2022 68938 5/31/2022 68939	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO GREAT LAKES WATER AUTHORITY GREENLEAF HOME SERVICES, LLC. HEANEY PLUMBING & HEATING, INC	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 40.00 75.00 155.00 3,147.06 800.00 5,000.00 423.30
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933 5/31/2022 68934 5/31/2022 68935 5/31/2022 68935 5/31/2022 68937 5/31/2022 68938 5/31/2022 68939	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO GREAT LAKES WATER AUTHORITY GREENLEAF HOME SERVICES, LLC. HEANEY PLUMBING & HEATING, INC	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 40.00 75.00 155.00 3,147.06 800.00 5,000.00
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933 5/31/2022 68934 5/31/2022 68935 5/31/2022 68935 5/31/2022 68937 5/31/2022 68937 5/31/2022 68938	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO GREAT LAKES WATER AUTHORITY GREENLEAF HOME SERVICES, LLC. HEANEY PLUMBING & HEATING, INC HENDERSON GLASS, INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS IWC APRIL 2022 - ACCT. NO. 300-2011-S 2928 ROBINA AVE. 1646 EARLMONT RD. CH VEHICLE WINDSHIELD	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 40.00 75.00 155.00 3,147.06 800.00 5,000.00 423.30
5/31/2022 68929 5/31/2022 68930 5/31/2022 68931 5/31/2022 68932 5/31/2022 68933 5/31/2022 68934 5/31/2022 68935 5/31/2022 68935 5/31/2022 68935 5/31/2022 68937 5/31/2022 68938	FOREMAN CONSTRUCTION CO. FOUNDATION SYSTEMS OF MICHIGAN FRANKS LANDSCAPING & SUPPLIES LLC. FRONT LINE SERVICES, INC. GDI SERVICES INC. GEM FENCING LLC GREAT LAKES PEST CONTROL CO GREAT LAKES WATER AUTHORITY GREENLEAF HOME SERVICES, LLC. HEANEY PLUMBING & HEATING, INC HENDERSON GLASS, INC.	1876 LARKMOOR BLVD. 2943 PHILLIPS AVE. FLOWER BASKETS AND LANDSCAPING REPLACEMENT CAP FIRE PUMP S-4 CUSTODIAL SERVICES CUSTODIAL SERVICES CUSTODIAL - MAY LAND IMPROVEMENTS DPW PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL - MAY 2022 MONTHLY PEST CONTROL PEST CONTROL - RATS	45.10 50.00 75.00 14,509.17 99.00 1,003.68 249.12 1,703.19 2,955.99 34,883.00 40.00 40.00 40.00 75.00 155.00 3,147.06 800.00 5,000.00 423.30

		3737 TWELVE MILE SITE PLAN - ENGINEERING 3916 ELEVEN MILE SITE PLAN ESCROW 2222 ELEVEN MILE SITE PLAN ENGINEERING 1949 TWELVE MILE SITE PLAN - ESCROW PSP-04-21 THE IVY SITE PLAN ENGINEERING	332.36 441.64 305.66 537.34 334.01
XX 05/31/2022 68941	HUNT SIGN CO LTD	STREET SIGNS ENGRAV. PLATES	<b>3,696.99</b> 2,670.00 67.50
			2,737.50
05/31/2022 68942 05/31/2022 68943	IMAGE PRINTING ITALY AMERICAN CONSTRUCTION	REGULAR #10 ENVELOPES 2482 PHILLIPS AVE.	300.00 100.00
05/31/2022 68944	J.H. HART URBAN FORESTRY	TREE TRIM, STUMP REMOVAL 5/9/22 - 5/13/2 TREE TRIMS 5/16/22 - 5/20/22	6,847.36 5,369.42
			12,216.78
05/31/2022 68945	JACK DEMMER FORD, INC.	PS ROTORS, PADS - HGA04383 #82 P&R VAN - RADIATOR, BOLTS, NUTS	476.41 397.74
			874.15
05/31/2022 68946	JADE STRATEGIES, INC.	LEADERSHIP COACHING SESSIONS	2,200.00
05/31/2022 68947 05/31/2022 68948	JASON & SARAH KILLIPS JAY'S SEPTIC TANK SERVICE	1642 PRINCETON RD. DPW PORTA JOHNS - CONSTRUCTION	50.00 680.00
03/31/2022 08948	JAT 3 SEFTIC TANK SERVICE	Drw Pokta Johns - construction	080.00
05/31/2022 68949	KEARNS BROS. INC.	1659 WEST BLVD. 4237 WAKEFIELD RD.	50.00 50.00
		2376 ELLWOOD AVE.	100.00
			200.00
05/31/2022 68950	KONICA MINOLTA BUSINESS SOLUTIONS	PDF OPTION	340.71
		PDF OPTION	340.71
			681.42
05/31/2022 68951	KOPASETIC DECKS & MORE LLC	3446 THOMAS AVE.	50.00
05/31/2022 68952	LAKE POINTE CONSTRUCTION INC.	2550 ELLWOOD AVE.	100.00
05/31/2022 68953 05/31/2022 68954	LIGHTING SUPPLY COMPANY LRH HOMES	LED RETROFIT KITS FOR CITY HALL 1035 COLUMBIA RD.	235.88 100.00
05/31/2022 68955	MAIN DRAIN SEWER & REPAIR LLC	2384 MORTENSON BLVD.	5,000.00
05/31/2022 68956	MAIN'S LANDSCAPE SUPPLY	TOPSOIL TREES TREES	271.90 543.80
			815.70
05/31/2022 68957	MALONEY TRUCKING	HAUL OUT HAUL OUT CONCRETE	895.00 350.00
			1,245.00
05/31/2022 68958	MARC THOMAS BACH	2156 CAMBRIDGE RD.	75.00
05/31/2022 68959	MCKENNA	INSPECTIONS FOR MARCH 2022 INSPECTIONS FOR APRIL 2022	29,081.63 44,103.00
			73,184.63
05/31/2022 68960	MELISSA KALISH	PARTIAL CAMP REFUND	330.00
05/31/2022 68961 05/31/2022 68962	MICH MUN. WORKERS COMP FUND MICHAEL SMITH	RENEWAL PREMIUM FOR 07/01/22 - 06/30/23 MILEAGE REIMBURSEMENT	150,250.00 87.46
05/31/2022 68962	MICHAEL SMITH MICHIGAN RURAL WATER ASSOCIATION	B. LAPINE MRWA - WATER CLASS	87.46 175.00
05/31/2022 68964	MOBILE COMMUNICATIONS AMERICA, INC.	MOUNT THE OUTDOOR ANTENNA	2,300.00
05/31/2022 68965	NELSON BROTHERS SEWER & PLUMBING	WORK WAS NEVER PERFORMED	40.50
05/31/2022 68966	NORFIELD DEVELOPMENT PARTNERS, LLC	DPW JUNE 2022 MISS DIG SOFTWARE	199.00
05/31/2022 68967 05/31/2022 68968	NYE UNIFORM O'REILLY AUTOMOTIVE, INC.	STARON - 2 SHIRTS OIL (MECHANICS)	97.90 39.96
05/31/2022 68968	OAKLAND COUNTY	SEWAGE TREATMENT / APRIL 2022	243,570.51
05/31/2022 68970	OLIVER CONSTRUCTION	3179 CUMBERLAND RD.	100.00
05/31/2022 68971	OPENSPOT THEATRE	PROGRAM FEE	275.00

6/31/2022 68972			
5/31/2022 68973	P. A. MORRIS COMPANY PATRICIA CALLAHAN	MEETING ATTENDANCE/MINUTES FOR 05/11/22 SENIOR TRIP REFUND	150.00 70.00
5/31/2022 68974	POBLETE CEMENT CONTRACTING	3025 KIPLING	15.00
		2391 CUMMINGS AVE.	50.00
			65.00
/31/2022 68975	POWERDMS, INC.	ANNUAL SUBSCRIPTION	7,131.34
31/2022 68976	RADIANT SIGN CO.	3052 TWELVE MILE RD.	50.00
31/2022 68977	RANDY WICKHAM CONCRETE LLC	2855 WILTSHIRE RD.	200.00
31/2022 68978	READY DIG EXCAVATION	2755 FERRIS	3,568.04
31/2022 68979	REBECCA STOUT	REIMBURSEMENT FOR SUMMER READING SUPPLIE	166.92
31/2022 68980	RENEWAL BY ANDERSEN	3563 CUMBERLAND	55.00
31/2022 68981	RKA PETROLEUM COS, INC	89 MIDGRADE OIL	22,482.78
31/2022 68982	ROAD COMMISSION OF OAKLAND CO	SIGNAL MAINT APRIL 2022	1,003.62
31/2022 68983	ROCKET ENTERPRISE INC.	FLAGS	796.80
31/2022 68984	ROOF ONE LLC	2464 CUMMINGS AVE.	50.00
31/2022 68985	ROSS NORMAN SCHOENHERR	1436 PRINCETON RD.	100.00
31/2022 68986	ROYAL OAK CONCERT BAND	SUMMERFEST CONTRACTUAL/PROGRAM SUPPLIES	500.00
1/2022 68987	S/E OAK. CTY WATER AUTHORITY	LEAD SERVICE LINE REPLACEMENTS 3/28/22 -	174,316.20
1/2022 68988	S/E OAK.CTY RESOURCE REC. AUTH	TRASH, RECYCLE, PICK-UPS - MAY 2022 MID	44,740.00
1/2022 68989	SARAH L. PACHOLSKI	3634 ROBINA AVE.	50.00
1/2022 68990	SAS SERVICES	1659 WEST BLVD.	75.00
1/2022 68991	SEAN PHANEUF	2520 OAKSHIRE AVE.	50.00
1/2022 68992	SHELVING, INC.	PALLET HOLDER SHELVING	780.00
1/2022 68993	SIGNATURE FORD	NEW #42	37,443.00
1/2022 68994	SMOLYANOV HOME IMPROVEMENT	2191 BACON AVE.	100.00
1/2022 68995	SPONSORSHIP SOLUTIONS LLC	PROGRAM SUPPLIES	950.00
/2022 68996	STATE OF MICHIGAN	TAB RENEWAL	13.00
			78.00
/2022 68997	STEVEN J. ALLEN	2660 COLUMBIA	15.00
/2022 68998	SWIFT SERVICES LLC	4014 GRIFFITH AVE.	75.00
/2022 68999	SYSTEMP CORPORATION	QUARTERLY HVAC MAINTENANCE	625.00
		DPW BLDG. MAINTENANCE HVAC ANNUAL INSPEC	350.00
		BUILDING MAINTENANCE	1,364.10
		HVAC ISSUE	
		HVAC ISSUE	280.00
		HVAC ISSUE	280.00 2,619.10
1/2022 69000	T & M HOME IMPROVEMENT SERVICES	= 2251 EDGEWOOD BLVD.	280.00 2,619.10 50.00
	T & M HOME IMPROVEMENT SERVICES TELVUE CORPORATION	_	280.00 2,619.10 50.00
/2022 69001		= 2251 EDGEWOOD BLVD.	280.00 2,619.10 50.00 4,320.00
1/2022 69001 1/2022 69002	TELVUE CORPORATION	== 2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS	280.00
1/2022 69001 1/2022 69002	TELVUE CORPORATION THE KITCHEN INC.	== 2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS	280.00 2,619.10 50.00 4,320.00 184.04 375.00
/2022 69001 /2022 69002	TELVUE CORPORATION THE KITCHEN INC.	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00
/2022 69001 /2022 69002	TELVUE CORPORATION THE KITCHEN INC.	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00
1/2022 69001 1/2022 69002	TELVUE CORPORATION THE KITCHEN INC.	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00
1/2022 69001 1/2022 69002	TELVUE CORPORATION THE KITCHEN INC.	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB	280.00 2,619.10 50.00 4,320.00 184.04
/2022 69001 /2022 69002 /2022 69003 /2022 69004	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00
/2022 69001 /2022 69002 /2022 69003 /2022 69004 /2022 69005	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00
<ul> <li>/2022 69001</li> <li>/2022 69002</li> <li>/2022 69003</li> <li>/2022 69004</li> <li>/2022 69005</li> </ul>	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 50.00 276.00
<ul> <li>(2022 69001</li> <li>(2022 69002</li> <li>(2022 69003</li> <li>(2022 69004</li> <li>(2022 69005</li> </ul>	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 50.00 276.00 578.16
<ul> <li>/2022 69001</li> <li>/2022 69002</li> <li>/2022 69003</li> <li>/2022 69004</li> <li>/2022 69005</li> </ul>	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL TIRES PS	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 50.00 578.16 498.40
/2022 69001 /2022 69002 /2022 69003 /2022 69004 /2022 69005	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL TIRES PS	280.00 2,619.10 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 50.00 578.16 498.40
1/2022 69001 1/2022 69002 1/2022 69003 1/2022 69004 1/2022 69005 1/2022 69006	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL TIRES PS	280.00 2,619.10 4,320.00 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 50.00 578.16 498.40 1,352.56
1/2022 69001 1/2022 69002 1/2022 69003 1/2022 69004 1/2022 69005 1/2022 69006	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI TREDROC TIRE SERVICES LLC	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL TIRES PS P&R VAN #82 TIRES	280.00 2,619.10 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 50.00 578.16 498.40 1,352.56 2,241.88
1/2022 69000 1/2022 69001 1/2022 69002 1/2022 69003 1/2022 69005 1/2022 69005 1/2022 69006	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI TREDROC TIRE SERVICES LLC TRUCK & TRAILER SPECIALTIES, INC.	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL TIRES PS P&R VAN #82 TIRES #23 SALT TRUCK PARTS - APPLY CM HSO01050	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00 471.00
/2022 69001 /2022 69002 /2022 69003 /2022 69004 /2022 69005 /2022 69006	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI TREDROC TIRE SERVICES LLC TRUCK & TRAILER SPECIALTIES, INC. UNITED FACILITY SUPPLIES	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL TIRES PS P&R VAN #82 TIRES #23 SALT TRUCK PARTS - APPLY CM HSO01050 JANITORIAL SUPPLIES FOR CITY HALL	280.00 2,619.10 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 578.16 498.40 1,352.56 2,241.88 123.91
<ul> <li>/2022 69001</li> <li>/2022 69003</li> <li>/2022 69004</li> <li>/2022 69005</li> <li>/2022 69005</li> <li>/2022 69006</li> <li>/2022 69007</li> <li>/2022 69008</li> <li>/2022 69008</li> <li>/2022 69010</li> </ul>	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI TREDROC TIRE SERVICES LLC TRUCK & TRAILER SPECIALTIES, INC. UNITED FACILITY SUPPLIES VERIZON WIRELESS	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL TIRES PS P&R VAN #82 TIRES #23 SALT TRUCK PARTS - APPLY CM HSO01050 JANITORIAL SUPPLIES FOR CITY HALL PHONE SERVICE FOR 04/21/22 - 05/20/22	280.00 2,619.10 50.00 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 578.16 498.40 1,352.56 2,241.88 123.91 1,789.36
1/2022 69001 1/2022 69002 1/2022 69003 1/2022 69004 1/2022 69005 1/2022 69006	TELVUE CORPORATION THE KITCHEN INC. THE PRINT STOP, INC THOMAS JOSEPH BERTA TRAVIS FOURMONT AND ABBY NOWAKOWSKI TREDROC TIRE SERVICES LLC TRUCK & TRAILER SPECIALTIES, INC. UNITED FACILITY SUPPLIES VERIZON WIRELESS WARREN WOODS CONSTRUCTION LLC	2251 EDGEWOOD BLVD. CONNECT-BROADCAST WORKFLOW/BASIC CMS PRISONER MEALS GOLF OUTING FLYERS SIGNS - BBALL FIELDS - MEDIC/REF PARKING LOCKER TAGS - DB 4231 CUMMINGS AVE. 2968 PHILLIPS AVE. #33 DPW MOWER TIRES & DISPOSAL TIRES PS P&R VAN #82 TIRES #23 SALT TRUCK PARTS - APPLY CM HSO01050 JANITORIAL SUPPLIES FOR CITY HALL PHONE SERVICE FOR 04/21/22 - 05/20/22 3340 ELLWOOD AVE.	280.00 2,619.10 4,320.00 184.04 375.00 84.00 12.00 471.00 50.00 578.16 498.40 1,352.56 2,241.88 123.91 1,789.36 75.00

#### 3,114.55

Total of 283 Checks:	1,609,238.99
Less 0 Void Checks:	0.00
Total of 283 Disbursements:	1,609,238.99

#### CITY OF BERKLEY ACH TRANSFERS

#### VENDOR

	\$ 249,887.40
5/31/2022 DTE ENERGY	\$ 6,931.19
5/31/2022 DTE ENERGY	\$ 15,883.34
5/31/2022 CONSUMERS ENERGY	\$ 6,707.67
5/31/2022 ALERUS	\$ 24,865.44
5/31/2022 THE HARTFORD	\$ 4,172.11
5/27/2022 PS COMMAND UNION DUES	\$ 400.00
5/27/2022 PSO UNION DUES	\$ 720.00
5/27/2022 INTERNAL REVENUE SERVICE	\$ 46,402.50
5/26/2022 PITNEY BOWES	\$ 4,000.00
5/23/2022 MERS	\$ 93,024.93
5/16/2022 INTERNAL REVENUE SERVICE	\$ 44,290.22
5/13/2022 DPW UNION DUES	\$ 330.00
5/13/2022 PS COMMAND UNION DUES	\$ 400.00
5/13/2022 PSO UNION DUES	\$ 680.00
5/3/2022 PS COMMAND UNION DUES	\$ 400.00
5/3/2022 PSO UNION DUES	\$ 680.00

We hereby certify that the foregoing is a true and correct list of bills and that they have been approved by the City Council and this is the authority to issue checks in the amounts stated and charge them in the various accounts.

Daniel J. Terbrack, Mayor

Victoria Mitchell, City Clerk

## <u>A RESOLUTION</u> <u>Of the Council of the City of Berkley, Michigan</u> <u>Recognizing the Outgoing Planning Commissioner</u> <u>Martin Smith</u>

- **WHEREAS**, Martin Smith began his tenure with the City of Berkley Planning Commission in 2000; and
- **WHEREAS,** In 2007, Martin was elected to Vice-Chairperson and during his tenure has been an invaluable member who has mentored numerous members of the Commission; and
- **WHEREAS**, Martin has resided in the City of Berkley for decades and has been a tireless advocate for the City in doing what is best for Berkley while balancing that with trying to mitigate individual residents' concerns in all of his decisions; and
- **WHEREAS**, Martin is a graduate of Lawrence Technological University and has been a longserving Vice President, Principal Vice President with Siegal/Tuomaala Associates, Architects & Planners, Inc. where he has used this experience to provide the detail-oriented architectural expertise in noticing issues many of the Commission overlooked through the years; and
- **WHEREAS,** Martin has devoted himself to professional development by being a Michigan Master Citizen Planner, holding Certification for the National Council of Architectural Registration Boards and a LEED Accredited Professional for the U.S. Green Building Council; and
- **WHEREAS,** Martin will be missed not only for his expertise but also for his willingness to say what he thought was right and for keeping his integrity during the planning process in all of his decisions; and
- **WHEREAS,** Martin is an esteemed colleague, an author, carpenter, and furniture builder and will be sorely missed by the Planning Commission.

## Now, Therefore, the City of Berkley Resolves:

*Section 1:* That the City Council does hereby recognize and honor

# Martin Smith

For the extraordinary service, he has provided to the Berkley community over the past 22 years serving on the City of Berkley Planning Commission, and notably leading as Vice-Chairperson for the past 15 years.

Introduced and passed at a Regular City Council Meeting on Monday, June 20th, 2022.

Daniel J. Terbrack, Mayor

Attest:

Victoria Mitchell, City Clerk

#### <u>A PROCLAMATION</u> of the Council of the City of Berkley, Michigan Proclaiming July 2022 as Parks and Recreation Month

- **WHEREAS,** Parks and recreation programs are an integral part of communities throughout the country, including the City of Berkley; and
- **WHEREAS,** Our parks and recreation are vitally important to establishing and maintaining the quality of life in our community, ensuring the health of all citizens, and contributing to the economic and environmental well-being of a community and region; and
- WHEREAS, Parks and recreation programs build healthy, active communities that aid in the prevention of chronic disease, provide therapeutic recreation services for individuals with mental or physical disabilities, and also improve the mental and emotional health of all citizens; and
- **WHEREAS,** Parks and recreation programs increase a community's economic prosperity through increased property values, expansion of the local tax base, increased tourism, the attraction and retention of businesses, and crime reduction; and
- **WHEREAS,** Parks and recreation areas are fundamental to the environmental well-being of the community; assisting in preserving greenspace, providing vegetative buffers from development, producing a habitat for wildlife, and mitigating stormwater runoff; and
- WHEREAS, The use of the City's parks and recreation has proven to be paramount in keeping the community physically, mentally, and emotionally healthy especially during the COVID-19 public health crisis; and
- **WHEREAS,** The City of Berkley recognizes the outstanding benefits derived from parks and recreation resources.

#### NOW, THEREFORE, THE COUNCIL OF THE CITY OF BERKLEY HEREBY PROCLAIMS

- **SECTION 1:** That the month of July 2022 is hereby proclaimed as *Parks and Recreation Month* in the City of Berkley, and City Council encourages all citizens to celebrate healthy, active lifestyles by enjoying their choice of the fantastic park locations here in the City of Berkley.
- **SECTION 2:** That the City Council extends gratitude and recognizes the City of Berkley Parks and Recreation Department for their outstanding work in providing the community with recreation opportunities during the COVID-19 pandemic and their continued success in maintaining and adding to the City's beautiful park locations.

Proclaimed this 20<sup>th</sup> day of June, 2022 at a Regular Meeting of the Berkley City Council.

Daniel J. Terbrack, Mayor

Attest:

Victoria Mitchell, City Clerk

June 20, 2022 City Council Meeting

Moved by Councilmember\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_to approve marihuana business license #PMA20-0010 for Attitude Wellness dba Lume to be located at 1949 12 Mile Road.

Ayes:

Nays:

Motion:



# **MEMORANDUM**

То:	Mayor Terbrack and City Council
From:	Matthew Baumgarten, City Manager
Date:	June 20, 2022
Subject:	Final Approval of Attitude Wellness for Marijuana Business License

In accordance with <u>Sec. 30-806</u> (g) I am recommending final license approval for Attitude Wellness LLC dba as Lume operating at 1949 Twelve Mile Rd. For reference, this is application number PMA20-0010 which received a final score of 301 out of 315. Final scores of all applicants can be found <u>here</u>.

After the application scoring and appeals process, Attitude Wellness was allowed to proceed to site plan review before the Planning Commission and has now obtained site plan approval (with conditions) from the Planning Commission. I have included the draft minutes from the May 24, 2022 regular meeting of the body. These minutes include an account of the public comment, Commissioners comments, as well as the motion for approval with conditions. The motion was unanimously approved by all five commissioners present at the meeting. A copy of the site plan and submitted materials can be viewed as part of the May 24<sup>th</sup> agenda packet here.

Since the May 24<sup>th</sup> Planning Commission meeting, the City has properly noticed this meeting and agenda item in accordance with the subsequent sections of the same ordinance (Sec. 30-806 (h) and (i)).

Should the City Council grant final approval of this license, then Sec. 30-806 (j) requires the following:

All marihuana business licenses shall be effective for one year following its original issuance date. Annual renewal of the license shall follow the process as outlined within this article. The improvements made pursuant to site plan approval by the planning commission shall be commenced after license approval by the city council and be completed within one year after the license is approved by the city council.

Thank you for you time and consideration on this matter,

no long

Matthew Baumgarten Berkley City Manager

Application Number	Applicant Entity	Principal Address	Final Score as Adopted by City Council on January 18, 2022	
PMA20-0003	Operation Grow / butter	2222 W. Eleven Mile Road	315	
PMA20-0015	Quality Roots	3916 W. Eleven Mile Road	310	
PMA20-0007	Yellow Tail Ventures LLC #1	3120 Eleven Mile	301	
PMA20-0010	Attitude Wellness dba Lume	1949 Twelve Mile Road	301	
PMA20-0029	Seven Points Dispensing of Michigan LLC	28557 Woodward Ave	301	
PMA20-0025	Berkley Corners PRV LLC	28297 Woodward Ave.	297	
PMA20-0011	Green Bronco III	2200 W. Eleven Mile Road	296	
PMA20-0013	FPAW Michigan LLC	3750 W. Eleven Mile Road	289	
PMA20-0024	3895 Euclid LLC dba Dispo	27733 Woodward Ave	286	
PMA20-0002	Bud McCool's	27253 Woodward Ave	281	
PMA20-0031	Oak Flint LLC	27723 Woodward Ave	279	
PMA20-0005	BDE Warren LLC	2033 Coolidge	278	
PMA20-0004	Nature's Remedy	2351 Twelve Mile Road	275	
PMA20-0027	GS Ashley, LLC	3890 W. Eleven Mile Road	274	
PMA20-0016	SJMB	3376 Twelve Mile Road	273	
PMA20-0009 Yellow Tail Ventures LLC #2		28401 & 28453 Woodward	271	
PMA20-0028	Warren Capital Holdings, LLC	2640 Eleven Mile Road	266	
PMA20-0019	Pure Roots	28173 Woodward	265	
PMA20-0023	Grassroots ReLeaf LLC	27423 Woodward AVe.	256	
PMA20-0008	CAK Holdings	4129 Twelve Mile	242	
PMA20-0012	DSD Investors LLC	3515 Twelve Mile Road	226	
PMA20-0021	Leaf Master dba Puff Cannabis	3171 Twelve Mile Road	226	
PMA20-0026	Fire Farm LLC	3670 Twelve Mile Road	217	
PMA20-0030	Candid Labs LLC	28505 Woodward Ave	208	
PMA20-0006	PBG Enterprises dba Pleasantrees	2448 Eleven Mile Road	DNQ	
PMA20-0014	Berkley Herbal Center	3280 W. Eleven Mile Road	DNQ	
PMA20-0017	123 Ventures	1716 Coolidge	DNQ	
PMA20-0018	GS Bay City LLC	3800 W. Eleven Mile	DNQ	
PMA20-0020	Pure Life I	2998 Eleven Mile Road	DNQ	
PMA20-0022	Pure Life II	2114 Eleven Mile Road	DNQ	
	Applicant is able to apply for Site Plan Review be	fore Planning Commission		
	Applicants are tied for third ranking but are able	to apply for Site Plan Review at own ri	sk.	

# THE REGULAR MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:01 PM, MAY 24, 2022 AT BERKLEY CITY HALL BY CHAIR KRISTEN KAPELANSKI.

The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, on-demand, on the city's YouTube channel: https://www.youtube.com/user/cityofberkley.

PRESENT:	Kristen Kapelanski Greg Patterson Lisa Kempner	Joe Bartus Julie Stearn
ABSENT:	Daniel Petrosky (Unexcused; pending re Shiloh Dahlin (Excused) Mark Richardson (Excused)	esignation)
ALSO, PRESENT: Megan Masson-Minock, Interim Community Developm Ross Gavin, City Council Liaison Bill Scarmeas, 1878 Rosemont, Berkley Aaron Geyer, 1722 Roszel, Royal Oak Aric Klar, 637 Overbrook, Bloomfield Township Michael Klar, 5071 Village Place, West Bloomfield Tow		wnship

Motion by Commissioner Patterson to excuse the absences of Commissioner Dahlin and Commissioner Richardson. Motion supported by Commissioner Stearn.

Voice Vote to approve the absences of Commissioner Dahlin and Commissioner Richardson.

AYES: 5 NAYS: 0 ABSENT: Dahlin, Petrosky, Richardson

#### MOTION CARRIED

\* \* \* \* \* \* \* \* \*

## **APPROVAL OF AGENDA**

Motion by Commissioner Kempner to approve the agenda supported by Commissioner Patterson. With clarification from Interim Community Development Director Masson-Minock stating under new business item one, the "on behalf" individuals stated after that has changed based on a request from the applicant.

Voice vote to approve the agenda

AYES: 5 NAYS: 0 ABSENT: Dahlin, Petrosky, Richardson

#### **MOTION CARRIED**

\* \* \* \* \* \* \* \* \*

#### **APPROVAL OF THE MINUTES**

Motion by Commission Kempner to approve the minutes from the regular Planning Commission meeting on April 26, 2022 and supported by Commissioner Bartus.

Approved Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Voice vote to approve the meeting minutes on April 26, 2022.

AYES: 5 NAYS: 0 ABSENT: Dahlin, Petrosky, Richardson

#### **MOTION CARRIED**

\* \* \* \* \* \* \* \* \*

## **COMMUNICATIONS**

Community Development Department Report Emails from Mr. & Mrs. Scarmeas on Lume Email from Scott Gordon on Quality Roots

\* \* \* \* \* \* \* \* \*

## **CITIZEN COMMENTS**

Robert Rivait, 4292 Ellwood - Addressed the Planning Commission on an Airbnb that is next to his property. Mr. Rivait stated that last month in April nine people were killed in an Airbnb. He stated that the Airbnb next to his house is a party house. Mr. Rivait stated the garbage has been constant and all over his yard. Across the country, they are trying to curtail or ban Airbnb's because they are taking always from our kids and the schools, the crime has increased tremendously with Airbnb's. You do not know who your neighbor is going to be and Mr. Rivait stated that they are parking in front of his garage/driveway.

\* \* \* \* \* \* \* \* \*

#### **OLD BUSINESS**

NONE

\* \* \* \* \* \* \* \* \*

#### **NEW BUSINESS**

1. <u>PSP-03-22: 1949 Twelve Mile - Lume:</u> Christopher Enright, on behalf of Attitude Wellness LLC and Monarch Acquisitions LLC, 1949 Twelve Mile Rd., Parcels #25-17-126-002 and #25-17-126-003, is requisition site plan approval for the conversion of 6,764 square feet of the existing building to a retail marihuana dispensary and office use for the remaining 17,677 square feet.

Interim Community Development Director Masson-Minock provided an overview of this applicant and highlights from the review letter with five suggested conditions of approval.

#### **APPLICANT PRESENTATION**

Chris Enright Christopher Enright Architects PC 628 E Parent Ave #106, Royal Oak, MI 48067

Mr. Enright clarified the changes that were made based on the discussion from when the sketch plan was before the Planning Commissions. Mr. Enright stated the plans with the most current submission include the entire parking lot.

## PUBLIC COMMENT

Bill Scarmeas, 1878 Earlmont - Stated his objection on the dispensary location on 1949 Twelve Mile road. Mr. Scarmeas stated that his first concern is that this property backs up residents on Rosemont, being too close to residents affecting the property value. The second objection is that Lume will be 1,000 ft from a pre-existing private educational facility KinderCare. He also stated his concern on parking and traffic patterns along the Brookline entrance, with close proximity to KinderCare and kids getting picked up there. Mr. Scarmeas stated that he is opposed to this and hopes that the Planning Commission takes these points into consideration while voting on the final approval.

Larry Sermo, 1890 Rosemont - Stated that he lives right next to Bill Scarmeas and addressed concerns about drainage. Mr. Sermo stated that his house on Rosemont floods every time. Mr. Sermo stated that towards the end of the summer where KinderCare and the projected project is going there was a new parking lot put in about two years ago that is uneven, can't walk in it after it rains, and wondered if that drainage is going to be addressed? Mr. Sermo stated that last year the city brought out drain cleaners and the parking lot has not had much flooding since. The drains run through Rosemont to the back of that parking lot and there is an issue there and does not want to see this project put pavers in and ultimately rip them out again. Mr. Sermo stated that since this backs up to his lot, he does not want the lights shining in his yard, if there are shields that are going on these lights. Mr. Sermo stated he is worried about through traffic and what the city is going to do, and suggested putting no thru traffic signs up.

Larry Fonz, 1908 Rosemont - Mr. Fonz questioned the installation of the fan that is going on the building, how loud are the fans going to be, does it generate electricity?

Interim Community Development Director Masson-Minock addressed the question on lighting concerns from public comment.

Mr. Enright clarified the questions on the wind turbine as well as the drainage on Twelve Mile with parking and the sidewalk. Mr. Enright stated that since they will be changing the use and voluntarily making changes to the exterior of the site, it triggers the requirement that the entire property has to be brought up to current drainage standards. The drainage and parking will be improved.

Interim Community Development Director Masson-Minock included that there was a concern about the existing pipe lead. From HRC there was a requirement to have the sanitary lead inspected and video footage submitted to the city verifying the lead is suitable for reuse. The lead is suitable for use. Mr. Enright stated that the lead inspected was a sanitary sewer lead but the storm sewer pipe on site would be replaced.

The Planning Commission determined that the landscaping is adequate and meets the standards.

Commissioner Bartus stated that the shared parking agreement is something the city attorney would follow up with. The parking calculations look fine, and adequate for future use. He also addressed the RCOC permit on Twelve Mile. Commission Bartus also addressed two other items that will come later in the process of the application.

Commissioner Stearn asked Mr. Enright on clarification on the traffic pattern, arrows that are presented, stating that it is not wide enough for two cars and wants to ensure that Mr. Enright is going to have proper signage so people are not driving the wrong way.

Mr. Enright clarified and explained the intention and plan with the way the parking is and how the parking and traffic pattern will theoretically work.

Commissioner Stearn recommended a do not enter sign to help mitigate the traffic pattern.

Approved Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Motion by Commissioner Kempner to approve application PSP 03-22; with the condition that the applicant work with the City to work on signage for the alley direction and the items mentioned in the staff cover letter dated May 19, 2022, and a finding that the landscaping meets the site plan approval standards of Section 130-37 of the Zoning Ordinance. The motion was supported by Commissioner Bartus.

AYES: Patterson, Stearn, Bartus, Kempner, Kapelanski NAYS: NONE ABSENT: Dahlin, Petrosky, Richardson

#### **MOTION CARRIED**

\* \* \* \* \* \* \* \* \*

 <u>PSP-09-22: 3916 W. Eleven Mile - Quality Roots:</u> John Vitale, on behalf of L & L Development LLC, 3916 W. Eleven Mile Rd., Parcels #25-18-353-030 and #25-18-353-027, is requesting site plan approval for the renovation of the existing building to a retail marihuana dispensary and office tenant space.

Interim Community Development Director Masson-Minock provided an overview of the proposed renovation of the existing multi-unit tenant building on 3316 W Eleven Mile. Interim Community Development Director Masson-Minock stated specific details that are presented in the application, wanting more clarification on some things that were in the application. There were multiple comments from DPW, but can be taken care of in between site plan and the pre-construction meeting. Interim Community Development Director Masson-Minock stated what needed to be discussed by the Planning Commission.

## APPLICANT PRESENTATION

Michal Klar Vice president, Co-founder of Quality Roots Andrew Danaher, Architect Stucky-Vitale Architects

Mr. Danaher clarified the comments that were presented from Interim Community Development Director Masson-Minock. Mr. Danaher explained the lighting concerns, trash and storage, the windmill, permeable pavers, and landscaping.

## PUBLIC COMMENT

Email from Scott Gordon, 1760 Thomas - in favor of this particular project.

Commissioner Kempner asked Mr. Danaher about the back-parking area and landscaping aspect of the design. Mr. Danaher explained that there is no additional parking proposed in this site plan anymore. It is being proposed as the parking presents itself today. They are only requesting to make the alley bigger. Mr. Klar stated that the extra six spots are not a need, but would be utilized as employee parking, asking about it now because to go back in to add those six spots it would be very costly.

The Planning Commission agreed that they would rather see more landscaping than parking in the back area.

There was also discussion with Mr. Danaher, Interim Community Development Director Masson-Minock and the Planning Commission about the neighboring building, conversations with the property owner, and the potential future use of that building with the limited parking on-site and current zoning.

The Commission discussed with Mr. Danaher and Mr. Klar about the permeable pavers, and snow removal. The Planning Commission determined that the landscaping is adequate and meets the standards.

Approved Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Motion by Commissioner Bartus to approve application PSP 09-09-22 subject to the recommendations in the staff letter dated May 19, 2022, and a finding that the landscaping meets the site plan approval standards of Section 130-37 of the Zoning Ordinance. The motion was seconded by Commissioner Stern.

AYES: Kempner, Patterson, Stearn, Bartus, Kapelanski NAYS: NONE ABSENT: Dahlin, Petrosky, Richardson

#### **MOTION CARRIED**

\* \* \* \* \* \* \* \* \*

#### **LIAISON REPORT**

Commissioner Kempner reported that the DDA is focused on trying to reopen or add some more crosswalks especially across Coolidge. The DDA is trying to get the Coolidge Task Force to meet to give recommendations so they can go to the City Council.

Events that are happening in June are Ladies Night Out on June 2nd from 5 p.m. to 9 p.m., Art Bash on June 11th from 10 a.m. to 6 p.m., and the Pride Block Party at Robina North, on June 26th from 12 p.m. to 4 p.m.

Commissioner Bartus asked Commissioner Kempner on what the DDA is looking to install on the crosswalks, flashing lights? Commissioner Kempner stated that they are looking for signs right now then reactivating the lights that Berkley does have right now.

\* \* \* \* \* \* \* \* \*

#### **COMMISSIONER COMMENTS**

Commissioner Patterson stated that from the last meeting he was stunned that Commissioner Smith had stepped down. Commissioner Patterson gave a huge thank you to Commissioner Smith's multiple decades of service, wealth of knowledge, and it was always an asset to have him on the Commission.

#### \* \* \* \* \* \* \* \* \*

#### STAFF COMMENTS

Interim Community Development Director Masson-Minock clarified that with the pending resignation of Dan Petrosky, the Planning Commission has seven members, and per the bylaws they need to have five for quorum, so their presence is essential. She thanked the members of the Commission that were there today.

Interim Community Development Director Masson-Minock also told the Commission to please let staff know if they know anyone who would serve well on the planning commission because of the vacancies. The City Council looks at appointments in June and training and attendance.

Interim Community Development Director Masson-Minock also stated to let staff know of any comments for Huntington Woods Master Plan. There will be a write up with a review for the packet on June 7th. At that meeting, the Commission will have a sketch plan for the proposed Seven Point Provisioning Center and The Ivy has resubmitted plans.

#### **ADJOURNMENT**

Motion to adjourn by Commissioner Kempner supported by Commissioner Patterson.

Voice vote for adjournment

AYES: 5 NAYS: 0 ABSENT: Dahlin, Petrosky, Richardson

#### With no further business, the meeting was adjourned at 8:13 p.m.



## **APPLICATION FOR SITE PLAN REVIEW**

**NOTICE TO APPLICANT:** Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

## TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name:	Lume Berkley Provisioning Center			
Applicant:	Christopher Enright			
Mailing Address:				
Telephone:				
Email:				
Property Owner(s), if diff	ferent from Applicant: David Farbman			
Mailing Address:				
Telephone:				
Email:				
Applicant's Legal Interes	st in Property:			
LOCATION OF PROPE	RTY:			
Street Address:	1949 Twelve Mile Road			
learest Cross Streets: Woodward Ave. / Rosemont Road				
Sidwell Number(s):	25-17-126-002. 25-17-126-003			

#### PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				and the second
Office	3	17,677 SF	87	
Commercial	1	6,764 SF	30	APPROX. 9
Industrial				
Other				

## **PROFESSIONALS WHO PREPARED PLANS:**

Α.	Name:	Stucky Vitale Architects
	Mailing Address	
	Telephone:	
	Email:	
	Design Respons	sibility (engineer, surveyor, architect, etc.): <u>Architect</u>
B.	Name:	PEA GROUP
	Mailing Address	
	Telephone:	
	Email:	
	Design Respons	sibility: Surveyor Civil Engineer

#### SUBMIT THE FOLLOWING:

- 1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
- 2. A pdf file of the site plans, submitted to the Community Development Director.
- 3. Proof of property ownership (title insurance policy or registered deed with County stamp).
- 4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:
- Road Commission for Oakland County
- Oakland County Health Division
- MI Dept. of Transportation
- MI Dept. of Environment, Great Lakes & Energy

**PLEASE NOTE:** The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

## PROPERTY-OWNER'S APPROVAL: (Initial each line)

\_\_\_\_\_Lbereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

## APPLICANT'S ENDORSEMENT: (Initial each line)

CVE All information contained therein is true and accurate to the best of my knowledge.

<u>CVE</u> I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

**CVE** I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

DocuSign Envelope ID: 18894905-B8AF-4529-A860-D5EBDC91D9EE

Property Owner Name (Print)

e

Signature of Applicant CHRISTOPHER ENRICHT Applicant Name (Print) Signature of Applicant Date Applicant Name (Print) DocuSigned by: 7-14-21 Signature of Property Owner Authorizing this Application Date David Farbman, Manager of Monarch Acquisitions LLC

: \$100



# **MEMORANDUM**

То:	Planning Commission
From:	Megan A. Masson-Minock, Interim Community Development Director
Subject:	<u>PSP-03-22: 1949 Twelve Mile Road – Lume Provisioning Center</u> Site Plan Approval <u>Plan Date:  April 25, 2022</u>
Date:	May 19, 2022

Attached are the following reviews for the site plan submitted:

## Planning Review from Carlisle Wortman Associates (CWA) dated April 26, 2022

In their review, CWA noted that the Planning Commission should review the landscaping and make a finding as to whether the plans presented meet the standard in Section 130-37.

CWA recommended preliminary site plan approval with the condition that the Shared Parking Agreement be reviewed by the City Attorney.

## Review from City of Berkley Department of Public Works (DPW) dated May 9, 2022

DPW had the following comments:

- 1. In lieu of a parcel combination, the applicant is working with the City Attorney on a perpetual easement to address drainage and stormwater detention, which must be approved by the City Attorney, signed by all parties and recorded with the County, prior to the preconstruction meeting.
- The replacement of the existing fire hydrant within the Twelve Mile right-of-way must be coordinated with the Department of Public Works, Department of Public Safety and the Road Commission for Oakland County (RCOC).
- 3. HRC will review the updated Geotechnical Report and revised stormwater detention calculations.
- 4. Twelve Mile Road is under the jurisdiction of the RCOC. The applicant must share with the Department of Public Works feedback from the RCOC and the approved RCOC plan.
- 5. A stormwater maintenance agreement and exhibits shall be signed and finalized.

Please note that a copy of the draft easement and water management agreement are included in your packet but have not been approved the City Attorney as of yet.

# Review from Hubbell, Roth & Clark (HRC) dated May 9, 2022

HRC recommended approval of the proposed site plan, subject to the applicant submitting the full traffic control plan with sequence of construction, the stormwater maintenance agreement, and any required permits to the City of Berkley. The Planning Commission should note the following requested plan revisions and permits:

- 1. A permit will be required from the RCOC for proposed work within the12-Mile Road right-of-way as well as for construction signage.
- 2. A sequence of construction with lane closure estimates must be submitted prior to construction.
- 3. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The applicant must contact the City DPW regarding this item prior to commencing construction.

## Review from City of Berkley Fire Inspector dated February 3, 2022

Fire Inspector Pete Kelly approved the plans with the following conditions:

- 1. Sprinkler system modifications are not shown and must be submitted for review.
- 2. Existing/new fire extinguishers are not shown and must be shown.
- 3. No processing of marijuana is permitted in the City in buildings within 300 feet of residential property.

## Summary and Recommendation

The Planning Commission needs to make the following determination:

1. <u>Standards for Site Plan Approval – Landscaping:</u> CWA stated in their review that the applicant was proposing a robust plan with building planting, ROW planting, parking lot planting, and a green roof. The Planning Commission must determine whether the landscaping, as presented, meets the standards for Site Plan approval, per Section 138-678.

If the Planning Commission chooses to grant site plan approval, we recommend that the following items be conditions of approval:

- 1. The Shared Parking Agreement is reviewed and approved by the City Attorney.
- 2. A pre-construction meeting is required. Before scheduling of that meeting, all items listed the City's DPW review letter, dated May 9, 2022, must be received by the City.

- 3. Approval from the City's Engineer that the full traffic control plan with sequence of construction, the stormwater maintenance agreement, and any required permits to the City of Berkley, as noted in their review letter dated May 9, 2022, have been submitted and/or met.
- 4. Approval from the Fire Inspector that the conditions in his letter dated February 3, 2022 have been met.
- 5. All signs and mural must be approved under a separate permit and meet the requirements of Chapter 94 Signs of the City of Berkley's Code of Ordinances.



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 7, 2022 March 29, 2022 April 26, 2022

# Site Plan Review For City of Berkley, Michigan

Applicant:	Monarch Acquisitions LLC
Project Name:	Lume Berkley Provisions
Plan Date:	July 14, 2021
Location:	1949 Twelve Mile Road
Zoning:	Local Business District
Action Requested:	Site Plan Approval

# SITE DESCRIPTION

The subject site is on the south side of Tweleve Mile, south of Roseland Park Cemetary, between Henley Avenue and Brookline Street. The building includes a basement and two stories above grade. The applicant proposes to remodel the existing 24,000 sq/ft and two small staircase, and vestibule additions to the existing office building.

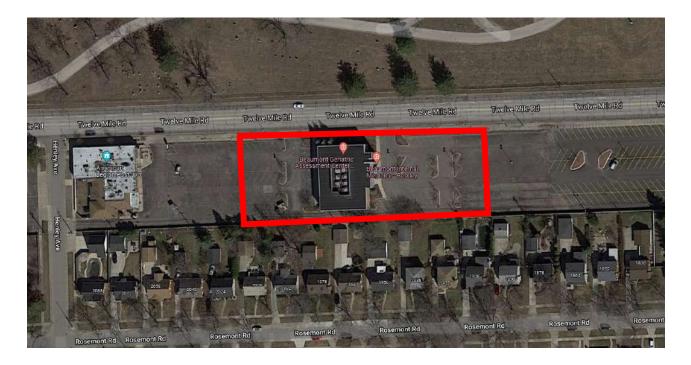
One small addition is located at the northwest corner (adjacent to Twelve Mile) of the building and at the southeast corner of the building. The propose uses include a mix of uses including a

marihuana provisioning center. There are no proposed changes or enlargement to the existing building. Site improvements include:

- Removal of existing asphalt and replacement with pervious pavers
- Installation of rain gardens, and rain cisterns
- Decorative bike rake
- Installation of benches
- Increased landscaping
- Quality architecture improvements
- Green roof:
  - Solar system
  - $\circ \quad \text{Wind system} \\$
  - o Rain capture

The site is zoned Local Business District. Marihuana use is a permitted use but must meet the zoning requirements set forth in Section 138-528 Marihuana Business Regulations.

# Site Location:



# Proposed Use of Subject Parcel:

24,000 sq/ft mixed tenant commercial building including a marihuana provisioning use.

Current Use of Subject Property:

# 24,000 sq/ft mixed tenant commercial building

# Surrounding Property Details:

Direction	Zoning	Use	
North	Cemetery District	Roseland Park Cemetery	
South	R1-C, Single Family Residential	Single Family Residential	
East	Office District	Medical Office	
West	Local Business District	Institutional (Legions Club)	

## Items to be addressed: None.

The site has been graded for an office building and parking lot. There are no existing natural resources.

The site and building layout will remain in its current configuration. The square foot arrangement of the building is as follows:

Floor	Tenant/Use (squ	Tenant/Use (square feet)		
Lower Level	Lume: 1,075	Vacant: 6,506	Utility Area: 475	8,056
First	Lume: 581	Beaumont Health: 7,357	Utility Area: 475	8,413
Second	Lume: 5,108	Vacant: 2,977		8,085
Total				24,554

Items to be addressed: None

Sec. 138-526. - Schedule of regulations of the Zoning Ordinance establishes the dimensional requirements for the Local Commercial District.

	Required / Allowed	Provided	Compliance	
Front (Twelve Mile)				
Front yard setbacks shall be ten feet or equal to the setback of the adjacent buildings, whichever is less.	0-feet setback based upon adjacent building to east	5-feet	Complies	
Side (east and west)	0-feet	Greater than 0 feet	Complies	
Rear (South)	10-foot minimum setback	20 feet	Complies	
Building Height	40-feet maximum height	35-8 feet	Complies	

### Items to be addressed: None

## PARKING

The applicant has provided a parking table on Sheet SP-01. This is a multiple tenant building. The parking required is a total of all uses combined in the building:

	Required	Provided
LUME (Retail) 1 space per 225 usable square feet	3,721 usable sq.ft / 225 = 17 spaces	124 spaces
BEAUMONT (Medical office) 1 per	5, 177 usable sq.ft / 100 =	
100 usable square feet	52	
Vacant +/- 10,000	TBD	
Barrier Free	2	4
Total	69 spaces + future parking	124 spaces
	for vacant space (see	

Carlisle Wortman Associates, Inc.

discussion below)	
-------------------	--

Though only required 17 spaces based on the retail parking calculations, Lume from other locations notes an anticipated need of a maximum of 34 spaces. There are a total of 124 spaces at 1949 Twelve Mile Road. Of those 124, 30 spaces are shared with the adjacent American Legion though a shared parking agreement. The remaining 94 spaces are unencumbered for use solely of tenants of 1949 Twelve Mile Road. Based on anticipated need, Beaumont and Lume will need a total of 86 spaces.

Parking is sufficient for the Beaumont and Lume use at this site. However it should be noted that the future use of the vacant space in the building may be limited to uses that do not need a large amount of parking.

The shared parking agreement should be reviewed by the City Attorney to ensure it allows for shared parking in perpetuity.

*Items to be Addressed:* Shared Parking Agreement to be reviewed by the City Attorney.

## SITE ACCESS AND CIRCULATION

Site access and circulation remain as currently situated. There are two points of access off Twelve Mile, and cross-access with adjacent parcels. Furthermore, there is 20-foot alley that runs behind the building. There is an existing 10-foot sidewalk on Twelve Mile and there is direct pedestrian access from Twelve Mile to front entrances.

## Items to be Addressed: None

## LANDSCAPING AND SITE AMENITIES

A landscaping plan has been provided on sheet L-1.1 and L-1.2. The applicant is proposing a robust plan which includes building planting, ROW planting, parking lot planting, and a green roof. As set forth in section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require additional landscaping to be planted on or near the site consistent with the elements of the adopted city master plan.

## Trash Enclosure:

The existing trash enclosure to remain.

*Items to be Addressed*: *Planning Commission to review landscaping.* 

The applicant is proposing a green roof, which includes

- Solar panels
- Wind turbines
- Water collection

We support the sustainable and creative use of the green roof. Wind turbines are regulated by Section 138-99. Requirements include:

Maximum Height from Roof	Setback	Other Regulations
10 feet	No portion of the system's blades, rotor or other exposed moving part shall extend beyond the edge of the building line to which it is attached	Wind energy systems with a rated capacity of up to 2 kilowatts (2 kW) and solar energy systems shall be allowed as an accessory use subject to the required standards of this section; provided they are incidental and subordinate to a use on the same parcel, and shall supply electrical power exclusively for on-site consumption

The roof top wind system has been redesigned to comply with all provisions of Section 138-99

## Items to be Addressed: None

## PHOTOMETRICS

The applicant is proposing four 20-foot-tall parking lot poles, each with two lights attached. Applicant notes that they are not providing any external building lighting. Exterior of the building will be lit by the parking lot lights.

## Items to be Addressed: None

### EXTERIOR APPLIANCES

Applicant has shown exterior appliances (air conditioners, generators, etc.) on site plan to ensure that they are in compliance with Sec. 138-73.

## Items to be Addressed: None

Floor plans and elevations have been provided. The applicant is making significant elevation improvements to the existing building including stairwell addition, new stain existing brick, new

Carlisle Wortman Associates, Inc.

sign lettering (reviewed under separate sign permit), green roof, public art mural, landscape growing cable system, and architectural accent fins.

### Items to be Addressed: None

## MARIHUANA BUSINESS REGULATIONS

Section 138-528 Marihuana Business Regulations, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

a) A marihuana business must front on a major thoroughfare with the primary ingress/egress onto a major thoroughfare.

CWA Response: The marihuana business fronts on Twelve Mile Road, with ingress/egress onto a major throughfare.

b) The marihuana business must have all applicable state and local licenses and approvals to operate.

CWA Response: The marihuana business will be required to obtain all applicable state license prior to any final approvals.

c) The property where the marihuana business will be located must be entirely within the boundaries of the city and must not be within 1,000 feet of a pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.

CWA Response: The marihuana business will not be located with 1,000 feet of any pre-existing public or private school.

d) Notwithstanding any other provision in the zoning ordinance, a marihuana business must operate within a fully enclosed building.

CWA Response: The marihuana business will operation within a fully enclosed building.

- e) Pursuant to article XV of <u>chapter 30</u> of the Berkley City Code, all marihuana business license approvals are subject to the following:
  - i. Public notice requirements as outlined in section 30-806; and
  - ii. Site plan approval from the planning commission must be obtained prior to receiving license approval from the city council. Failure to do so will result in license denial as outlined in <u>section 30-813</u>.

CWA Response: 1). Public notice requirement was met; and 2). The applicant is seeking site plan approval from the Planning Commission. If granted site plan approval, the applicant would then seek license approval from the City Council.

Items to be Addressed: None

## RECOMMENDATION

Overall the applicant is making a significant investment into the site as noted in our report. We recommend preliminary site plan approval with the condition that the Shared Parking Agreement be reviewed by the City Attorney.

Sincerely,

R. Cali

CARLISLE/WORTMAN ASSOC., INC. Benjamin R. Carlisle, LEED AP, AICP



# Transmittal Memo

To:	Megan Masson-Minock, Interim Community Development Director (via email)
Co:	Kim Anderson, Community Development Department (via email) Ric Chalmers, Assistant DPW Director (via email) Eddie Zmich, HRC (via email)
From:	Shawn Young, DPW Director
Date:	May 9th, 2022
Subject:	Lume Provisioning Center 1949 Twelve Mile Road

We have reviewed the revised site plans provided by the Community Development Department on April 25<sup>th</sup>, 2022. Please find below our comments:

- 1. In leu of a parcel combination, we understand the applicant is working with the City Attorney on a perpetual easement to address drainage and stormwater detention. This easement shall be approved, signed and recorded with the County prior to the preconstruction meeting.
- 2. The revised site plans indicate the removal of the existing fire hydrant near the southwest corner of the building. A new fire hydrant is proposed within the 12 Mile right-of-way. This work will need to be coordinated with the Department of Public Works, the Department of Public Safety, and the Road Commission for Oakland County.
- 3. The eastern parking lot has now been added to the detention calculations. City's engineering consultant, Hubbell, Roth & Clark (HRC), will review the recently updated Geotechnical Report and revised stormwater detention calculations.
- 4. 12 Mile is under the jurisdiction of the Road Commission for Oakland County. The applicant shall share feedback received from the County and/or an approved RCOC plan.
- 5. A stormwater maintenance agreement shall be signed and finalized. An agreement template, as approved by the City Attorney, was previously provided to the applicant and shall be merged with the Exhibits. Note the porous pavement recommendations from the Geotechnical Report shall be incorporated into the agreement (vacuum sweeping should be performed three to four times per year to remove sediment and fines from the porous pavement).

A response letter from the applicant to the comments noted above would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.

Shawn Young Director of Public Works

# City of Berkley 3338 Coolidge Highway, Berkley, MI 48072



"We Care"

Fire Inspector Office: 248-658-3326 Fax: 248-658-3301 Email: pkelly@berkleymich.net

TO: John Vitale, Architect John Lipchick, Building Official Monarch Acquisitions, Owner

RE: 1949 W. Twelve Mile Rd.

Dear Interested Parties:

2/3/2022

I have received and reviewed the site plan/conceptual design package for the above address, and approved them subject to the following:

- 1) Sprinkler system modifications not shown, must be submitted for review.
- 2) Existing/new fire extinguishers not shown.
- 3) Note that no processing of marijuana is permitted in the City in buildings within 300' of residential property.

Please contact me if you have any questions regarding this communication.

Respectfully,

2 Hella

Pete Kelly Fire Inspector



May 9, 2022

City of Berkley 3338 Coolidge Highway Berkley, Michigan 48072

Attention: Ms. Megan Masson-Minock, Community Development Director Mr. Matthew Baumgarten, City Manager

Re: Lume 1949 Twelve Mile Road Engineering Site Plan - Review No. 3 City of Berkley, MI

Dear Ms. Masson-Minock and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development located at 1949 Twelve Mile Road for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Stucky-Vitale Architects of Royal Oak, Michigan with the engineering site plan created by PEA Group of Brighton, Michigan. The plans have a revision date of April 15, 2022. The proposed project scope includes the renovation of the existing building and replacement of the existing parking lot and other site features. We hereby offer the following comments:

### General:

- 1. A Road Commission for Oakland County (RCOC) permit will be required for proposed work within the 12-Mile Road right-of-way as well as for construction signage. This item is still Applicable.
- 2. A traffic control, or Maintenance of Traffic (MOT), plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required. A traffic control plan has been added to the plans. A sequence of construction with lane closure estimates must be submitted prior to construction.
- 3. A separate demolition sheet must be provided in the plan set that shows all site demolition work including any exterior building work which may impact the site. A demolition sheet has been provided. This item has been satisfactorily addressed.
- 4. The extent of curb, sidewalk, and pavement removal and replacement must be clearly shown on the plans. In addition, the City may require additional sections of existing curb and gutter and sidewalks along 12 Mile Road to be removed and replaced as part of the proposed project in order to address the current deteriorated conditions and will defer comment to the City. A demolition sheet has been provided as well as further detail on the proposed sheets to clarify the extent of pavement work. This item has been satisfactorily addressed.

MAILING: PO Box 824 Bloomfield Hills, MI 48303-0824

SHIPPING: 555 Hulet Drive Bloomfield Hills, MI 48302-0360

PHONE: 248-454-6300 WEBSITE: hrcengr.com

HRC Job No. 20200908.02

Lansing 215 S. Washington SQ Suite D Lansing, MI 48933 Kalamazoo MI 49001 517-292-1488

Kalamazoo

Suite 107

269-665-2005

834 King Highway



### Water and Fire Protection Services:

- 1. The proposed 8" water main has a note stating "connect to existing water service into building". It appears that this connection would be to the existing 8" main for the south hydrant, not for the building service, and the note must be updated to reflect this. *The connection note has been revised. This item has been satisfactorily addressed.*
- 2. The relocation of the 8" water main will require a new connection with a new tapping sleeve, valve and well. *This type of connection has been shown for the relocated hydrant. This item has been satisfactorily addressed.*

### Storm Drainage and Detention/Sanitary Sewer:

- 1. Stormwater runoff calculations are provided using a 100-year, 24-hour storm event and show the required storage volume for the proposed site. Calculations and details must also be added to the plans demonstrating that the storage volume provided by the proposed stormwater management system meets or exceeds this requirement. Further, sources for the values of the runoff coefficients must be cited on the plans for the proposed permeable pavement areas. *Stormwater calculations have been provided; however, the construction limits have been expanded from the previous submittal to include the remainder of the parking lots to the west and east of what was previously shown for replacement. These areas also must included in the stormwater calculations and must have stormwater detention provided for them.* The stormwater calculations have been proposed to detain the required storage for the full site. This item has been satisfactorily addressed.
- 2. A geotechnical investigation must be performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs must be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system. *The geotechnical report has been submitted which states that the proposed stormwater system and cross sections are feasible in the site soils. Any further changes made to the detention system or site stormwater management as stated in the previous comment must be made in accordance with the recommendations provided in the soils report.* An addendum to the geotechnical report has been submitted for the additional site areas. This item has been satisfactorily addressed.
- 3. Grades must be provided for inverts of proposed storm sewer and structures. *Rim and invert grades of structures have been provided. This item has been satisfactorily addressed.*
- 4. Details of the proposed outlet control structure and diversion manholes must be shown on the plans. *Details have been shown on the plans. This item has been satisfactorily addressed.*
- 5. Cross-sectional details and proposed composition of the rain gardens must be shown on the plans. *These have been provided on the plans. This item has been satisfactorily addressed.*
- 6. The types of pre-treatment proposed for each area of collection must be specified. *These have been provided on the plans. This item has been satisfactorily addressed.*
- 7. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction. **This item is still applicable.**



8. A note indicates the existing building sanitary lead will remain in place and be re-utilized. The applicant must have the sanitary lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction. The inspection video and report have been submitted and show that the existing lead is in suitable condition for re-use. This item has been satisfactorily addressed.

### Recommendation:

Based on our aforementioned comments, we recommend approval of the proposed Site Plan subject to the Applicant submitting the full traffic control plan with sequence of construction, the stormwater maintenance agreement, and any required permits to the City of Berkley.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.

Edward D. Zmich Project Manager

Mitch Stark Review Engineer

EDZ/MAS/mas pc: City of Berkley; Mr. Derrick Schueller, Mr. Shawn Young HRC; R. Alix, File PEA Group; S. Peruski Stucky-Vitale; M. Dragan

# LUME | BERKLEY | PROVISIONING CENTER 1949 12 MILE RD., BERKLEY, MI 48237

# **OWNER:**

MONARCH ACQUISITIONS LLC

# LESSEE:

ATTITUDE WELLNESS LLC D/B/A LUME CANNABIS CO.

# **ARCHITECT:**

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE **ROYAL OAK, MICHIGAN 48067** (248) 546-6700

# **CIVIL ENGINEER:**

PEA GROUP 7927 NEMCO WAY, SUITE 115 BRIGHTON, MICHIGAN, 48116 (517) 546-8583 **PROJECT DATA:** 

BUILDING CODE AUTHORITY: CITY OF BERKLEY

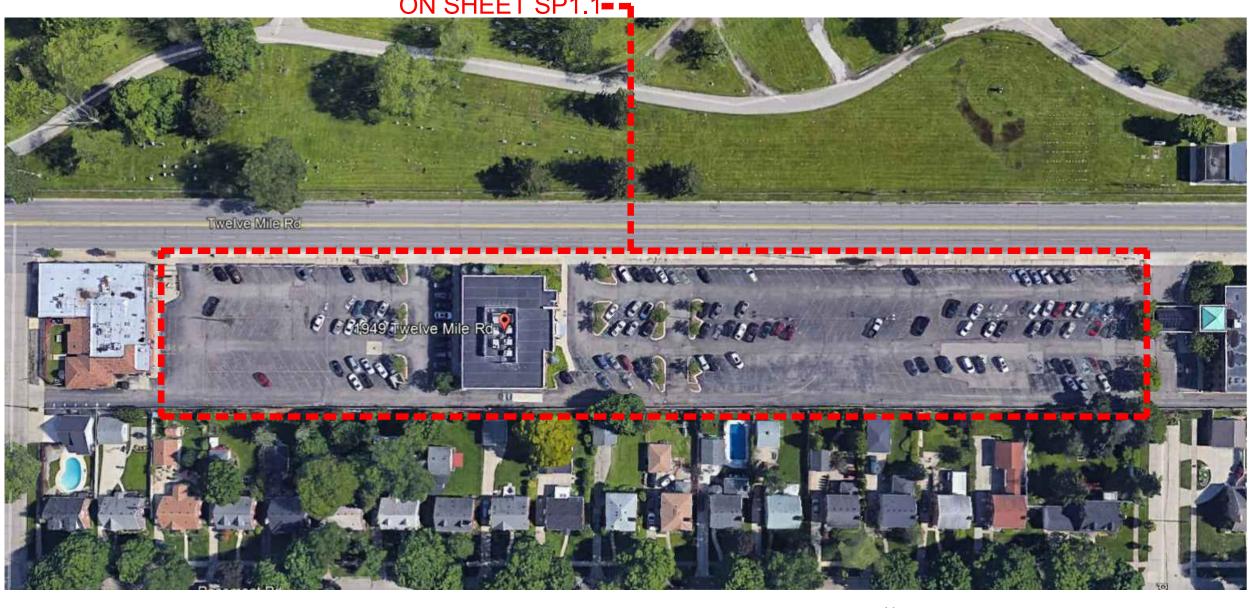
TYPE OF CONSTRUCTION: II-B

**USE GROUP:** M - MERCANTILE

# PROJECT AREA:

EXISTING BUILDING BASEMENT +2 STORY ABOVE GROUND				
EXISTING GROSS FLOOR AREA :	+/- 22,650 SF			
GROSS FLOOR AREA AFTER REMODEL :	+/- 22,956 SF			
LOWER LEVEL	7,666 SF			
FIRST FLOOR :	7,826 SF			
SECOND FLOOR:	7,464 SF			
+/-	22,956 SF			
ROOF AREA TOTAL :	8,607 SF			
(LIVE ROOF + SOLAR PANELS :	4,544 SF)			
PROPOSED LUME TENANT REMODEL				
LUME PROVISIONING CENTER:				
LOWER LEVEL AREA:	0SF			
FIRST FLOOR AREA +ELEVATOR LOBBY AND STAIR:	430 SF			
SECOND FLOOR AREA :	4,887 SF			
TOTAL GROSS FLOOR AREA	5,317 SF			
EXISTING TENANTS				
LOWER LEVEL:				
VACANT TENANT SPACE :	7,666 SF (APPROX.)			
<u>GROUND FLOOR:</u> WILLIAM BEAUMONT HOSPITAL NORTHPOINTE HEALTH CENTER				
INTERNAL MEDICINE AND GERIATRICS SUITE:	7,246 SF			
ACCESS TO LOWER LEVEL	150 SF			
<u>SECOND FLOOR:</u> VACANT TENANT SUITE:	2,577 SF (APPROX.)			







2020.154

LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI

REFER TO ENLARGED SITE PLAN ON SHEET SP1.1=



# CONCEPTUAL DESIGN PACKAGE

		ISS	UE	D FC	R	
	SHEET INDEX					
	DRAWING INDEX KEY:					
	NOT ISSUED				R CITY	
					SPA REV.PER CITY	
	ISSUED	SPA	SPA	SPA REV.	SPA R	
		06.24.21	07.14.21	03.26.22	04.25.22	
GENE	ERAL					
TS1.1	TITLE SHEET AND SHEET INDEX AND OVERALL SITE PLAN		0	0	•	
CIVIL				•		·
	COVER PAGE	0	0	0	•	
C-1.0 C-1.1	TOPOGRAPHIC SURVEY DEMOLITION PLAN	0				
C-2.0	DIMENSION AND PAVING PLAN (WEST)	0	0	0		
C-2.1	DIMENSION AND PAVING PLAN (EAST)				•	
C-3.0	GRADING PLAN (WEST)	0	0	0	•	
C-3.1	GRADING PLAN (EAST)	_			•	
C-4.0	UTILITY PLAN (WEST)	0	0	0		
C-4.1	UTILITY PLAN (EAST)				•	
C-5.0	STORM WATER MANAGEMENT PLAN (WEST)		0	0	•	
C-5.1 C-5.2	STORM WATER MANAGEMENT PLAN (EAST) STORM WATER SYSTEM CALCULATIONS (WEST)	-		0		
C-5.3	STORM WATER SYSTEM CALCULATIONS (EAST)				Ō	
		_				
C-6.0	NOTES AND DETAILS	0	0	0	•	
C-7.0	MAINTENANCE OF TRAFFIC CONTROL PLAN				•	
L-1.0	OVERALL SITE AMENITIES PLAN	0	0	0	•	
L-1.1 L-1.2	LANDSCAPE PLAN LANDSCAPE DETAILS		0	0		
L-1.2						
10F1	PHOTOMETRIC SITE PLAN				•	
ARCH	HITECTURAL					
EC1.1	EXISTING CONDITIONS	0	0	0	•	_
SP0.1 SP1.0	PARKING ALLOCATION DIAGRAM SITE VICINITY	0	0	0		
A1.0	LOWER LEVEL FLOOR PLAN	$\neg$	0			_
A1.1	FIRST FLOOR PLAN	0	0	0		
A1.2 A1.3	SECOND FLOOR PLAN ARCHITECTURAL ROOF PLAN		$\left  \begin{array}{c} 0 \\ 0 \end{array} \right $	0	•	
		$\square$			-	
A1.4	SECURITY PLAN	_		0	•	
A3.1	EXTERIOR ELEVATIONS	0	0	0	•	
A3.2	EXTERIOR ELEVATIONS - COLORED		$\left  \begin{array}{c} 0 \\ 0 \end{array} \right $	$\left  \begin{array}{c} 0 \\ 0 \end{array} \right $		
A3.3	CONCEPTUAL RENDERINGS	$\pm$				



# SITE PLAN APPROVAL

SHEET:

**TS1.1** 

# DESIGN TEAM

# OWNER

MONARCH ACQUISITIONS LLC 28400 NORTHWESTERN HIGHWAY SOUTHFIELD, MI 48034

## APPLICANT/LESSEE

ATTITUDE WELLNESS LLC D/B/A LUME CANNABIS CO. 769 CHICAGO ROAD TROY, MI 48083 CONTACT: JOHN ABBO PHONE: 248.877.2336 EMAIL: JOHN.ABBO@LUME.COM

# ARCHITECT

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MI 48067 CONTACT: MONICA DRAGAN PHONE: 248.546.6700 EMAIL: MDRAGAN@STUCKYVITALE.COM

# CIVIL ENGINEER

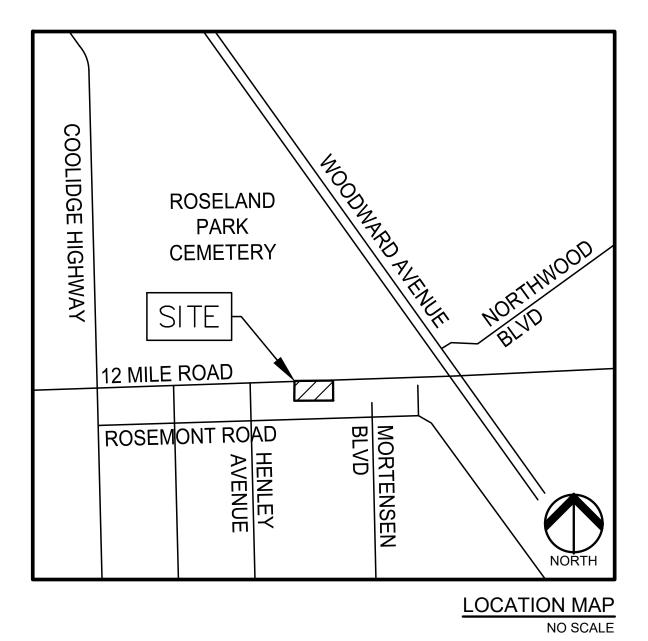
PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: SCOTT A. PERUSKI, PE PHONE: 844.813.2949 EMAIL: SPERUSKI@PEAGROUP.COM

# LANDSCAPE ARCHITECT

PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM SITE PLANS

# **LUME - BERKLEY** 1949 12 MILE ROAD CITY OF BERKLEY, OAKLAND COUNTY, MICHIGAN





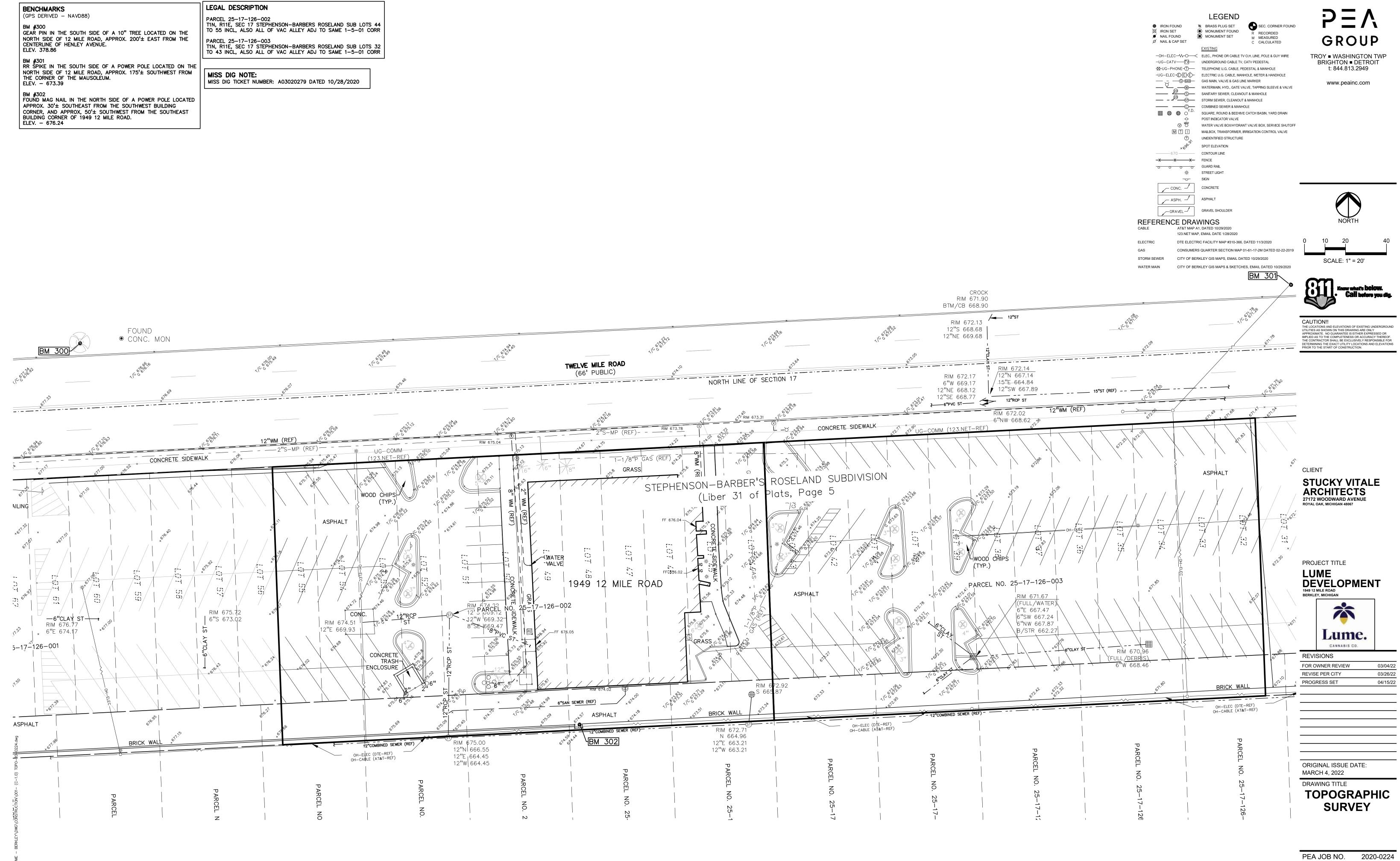
PEK GROUP

	INDEX OF DRAWINGS
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-1.1	DEMOLITION PLAN
C-2.0	DIMENSION AND PAVING PLAN (WEST)
C-2.1	DIMENSION AND PAVING PLAN (EAST)
C-3.0	GRADING PLAN (WEST)
C-3.1	GRADING PLAN (EAST)
C-4.0	UTILITY PLAN (WEST)
C-4.1	UTILITY PLAN (EAST)
C-5.0	STORM WATER MANAGEMENT PLAN (WEST)
C-5.1	STORM WATER MANAGEMENT PLAN (EAST)
C-5.2	STORM WATER SYSTEM CALCULATIONS (WEST)
C-5.3	STORM WATER SYSTEM CALCULATIONS (EAST)
C-6.0	NOTES AND DETAILS
C-7.0	MAINTENANCE OF TRAFFIC CONTROL PLAN
L-1.0	OVERALL SITE AMENITIES PLAN
L-1.1	LANDSCAPE PLAN
L-1.2	LANDSCAPE DETAILS
1 of 1	PHOTOMETRIC SITE PLAN

REVISIONS

DESCRIPTION ORIGINAL ISSUE DATE REVISE PER CITY PROGRESS SET REVISE PER CITY DATE 3/4/2022 3/26/2022 4/15/2022 4/25/2022





C-1.0

DRAWING NUMBER:

P.M.

DES.

DN

SAP

SAP

SAP

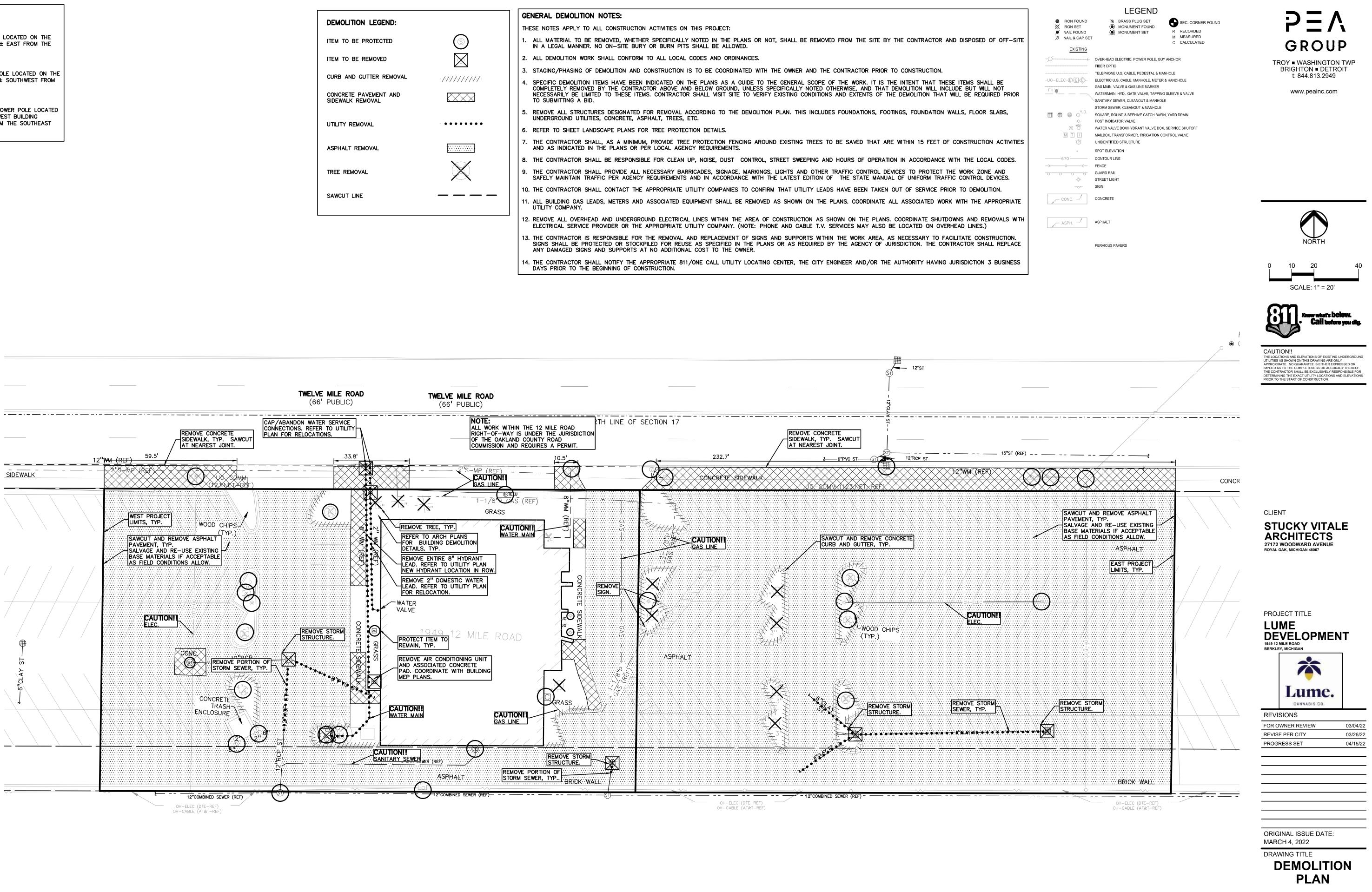
# BENCHMARKS

(GPS DERIVED - NAVD88) BM #300

GEAR PIN IN THE SOUTH SIDE OF A 10" TREE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 200'± EAST FROM THE CENTERLINE OF HENLEY AVENUE. ELEV. 378.86

BM #301 RR SPIKE IN THE SOUTH SIDE OF A POWER POLE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 175'± SOUTHWEST FROM THE CORNER OF THE MAUSOLEUM. ELEV. - 673.39

BM #302 FOUND MAG NAIL IN THE NORTH SIDE OF A POWER POLE LOCATED APPROX. 30<sup>1</sup>± SOUTHEAST FROM THE SOUTHWEST BUILDING CORNER, AND APPROX, 50'± SOUTHWEST FROM THE SOUTHEAST BUILDING CORNER OF 1949 12 MILE ROAD. ELEV. - 676.24



BE PROTECTED	S
BE REMOVED	$\boxtimes$
ND GUTTER REMOVAL	· [·[·[·[·[·[·[·[·[·]·]·]·
TE PAVEMENT AND K REMOVAL	
REMOVAL	· • • • • • • • •
T REMOVAL	
EMOVAL	$\times$

NOT FOR CONSTRUCTION

C-1.1

DRAWING NUMBER:

PEA JOB NO.

РM

DN.

DES.

2020-0224

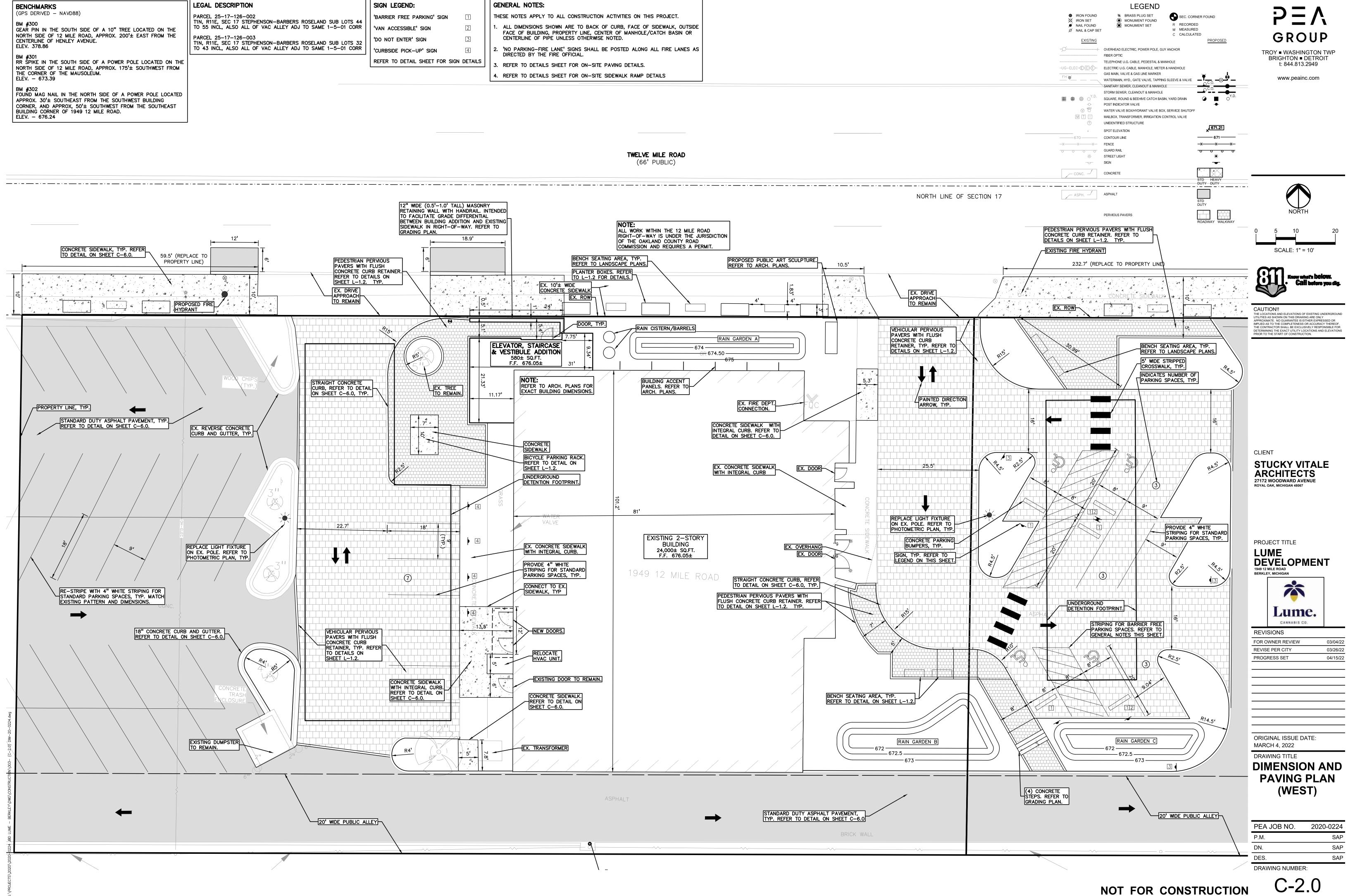
SAP

SAP

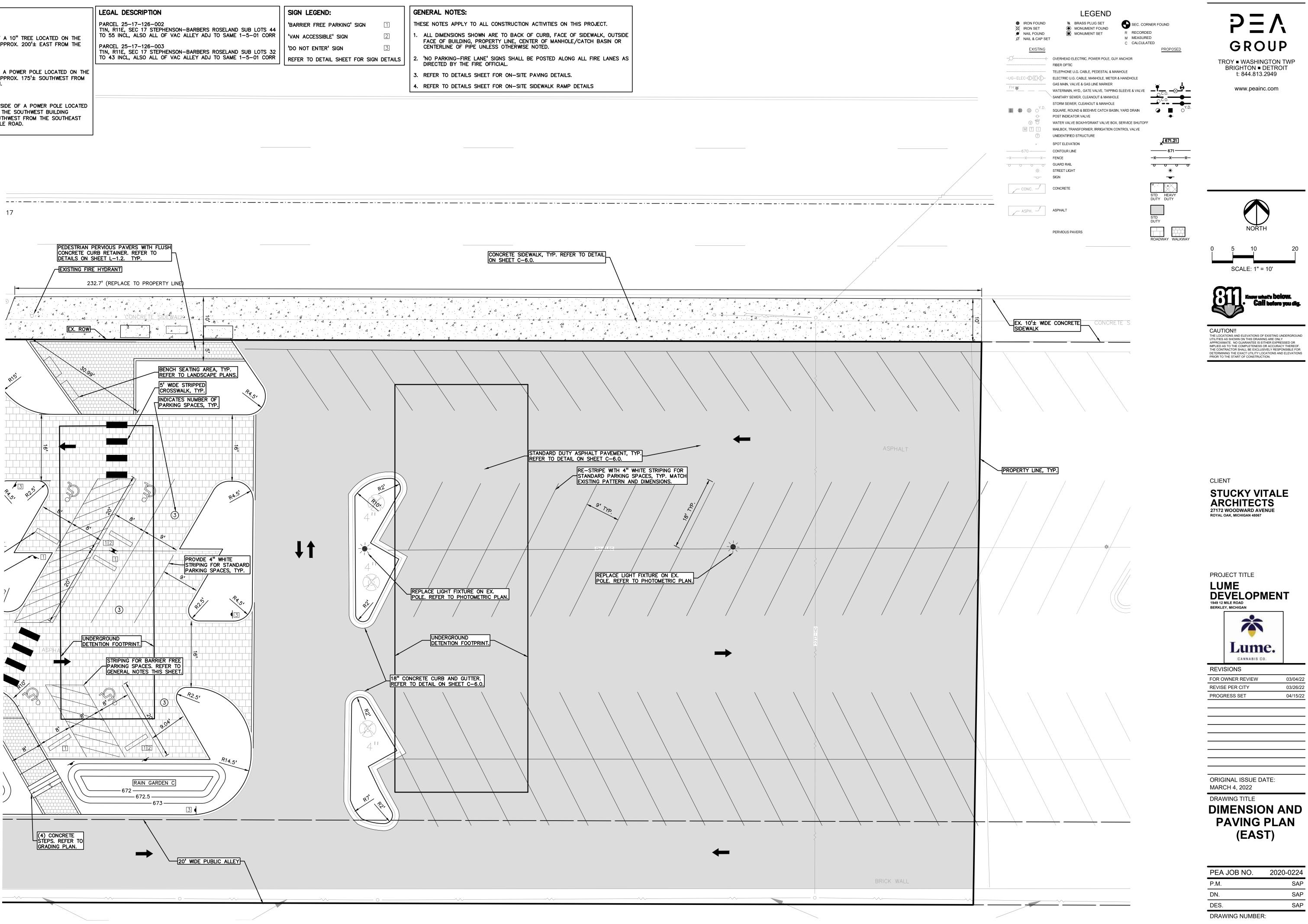
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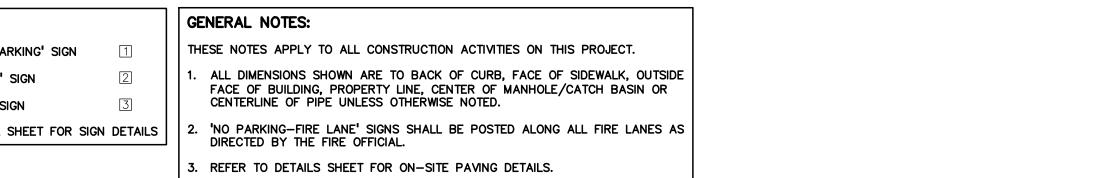


SIGN LEGEND:
'BARRIER FREE PARKING' SI
'VAN ACCESSIBLE' SIGN
'DO NOT ENTER' SIGN
CURBSIDE PICK-UP' SIGN
REFER TO DETAIL SHEET FO



LEGAL DESCRIPTION BENCHMARKS (GPS DERIVED - NAVD88) PARCEL 25-17-126-002 TIN, R11E, SEC 17 STEPHENSON-BARBERS ROSELAND SUB LOTS 44 TO 55 INCL, ALSO ALL OF VAC ALLEY ADJ TO SAME 1-5-01 CORR BM #300 GEAR PIN IN THE SOUTH SIDE OF A 10" TREE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 200'± EAST FROM THE PARCEL 25-17-126-003 CENTERLINE OF HENLEY AVENUE. TIN, R11E, SEC 17 STEPHENSON-BARBERS ROSELAND SUB LOTS 32 ELEV. 378.86 TO 43 INCL, ALSO ALL OF VAC ALLEY ADJ TO SAME 1-5-01 CORR BM #301 RR SPIKE IN THE SOUTH SIDE OF A POWER POLE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 175'± SOUTHWEST FROM THE CORNER OF THE MAUSOLEUM. ELEV. - 673.39 BM #302 FOUND MAG NAIL IN THE NORTH SIDE OF A POWER POLE LOCATED APPROX. 30<sup>1</sup>± SOUTHEAST FROM THE SOUTHWEST BUILDING CORNER, AND APPROX, 50'± SOUTHWEST FROM THE SOUTHEAST BUILDING CORNER OF 1949 12 MILE ROAD. ELEV. – 676.24 17

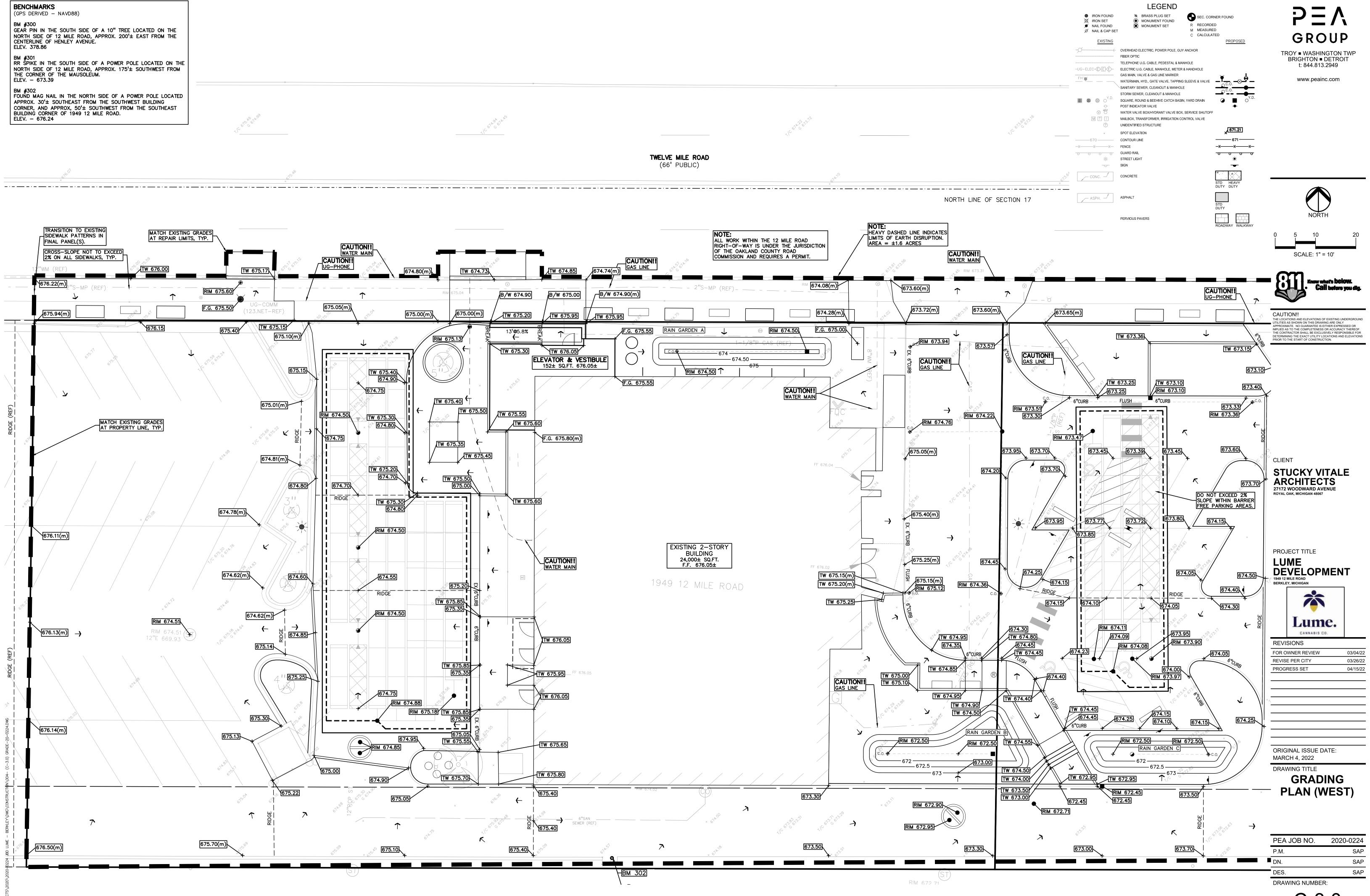




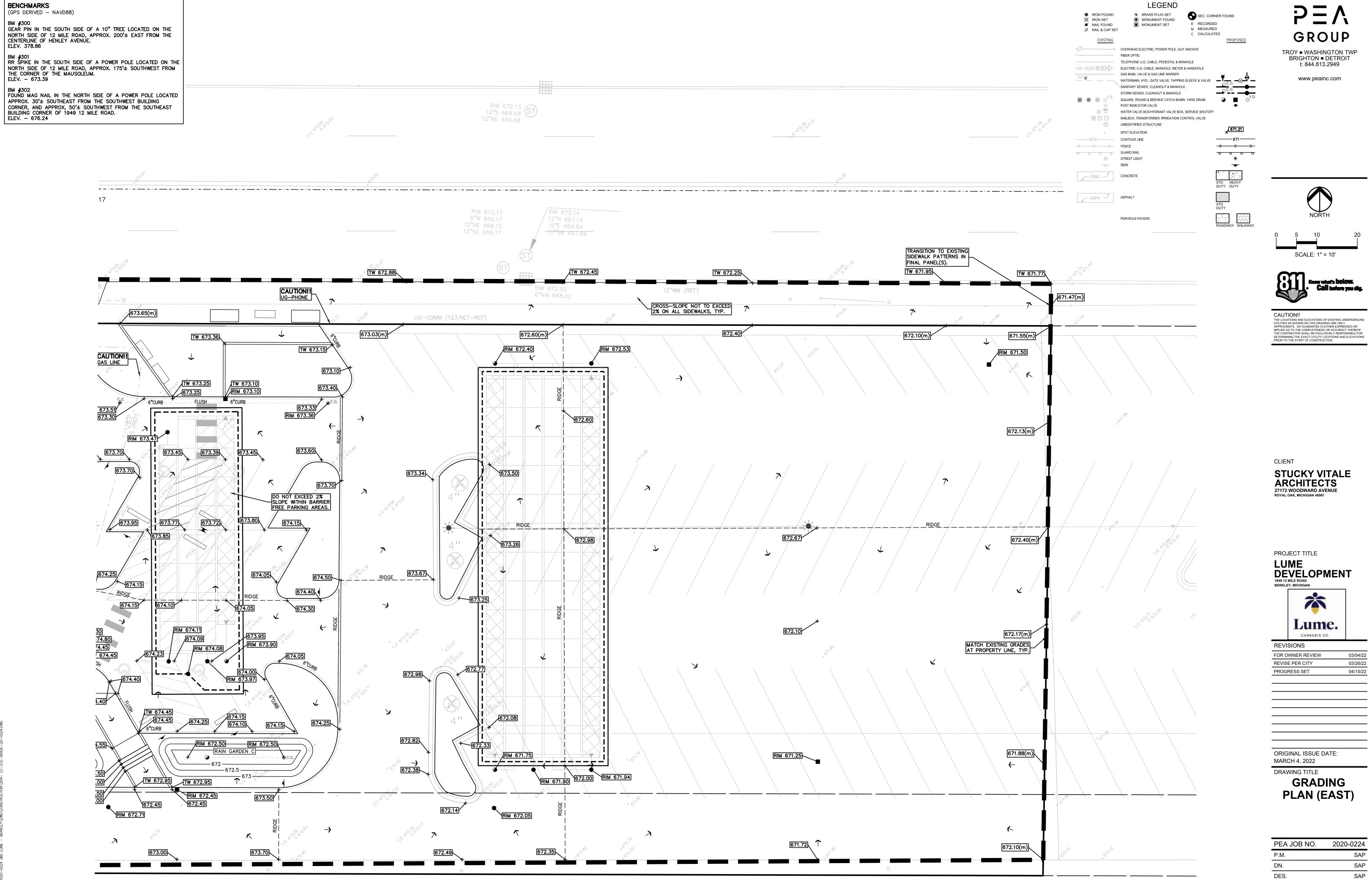
NOT FOR CONSTRUCTION

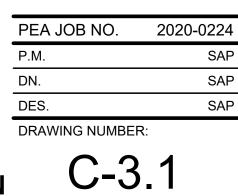
C-2.1

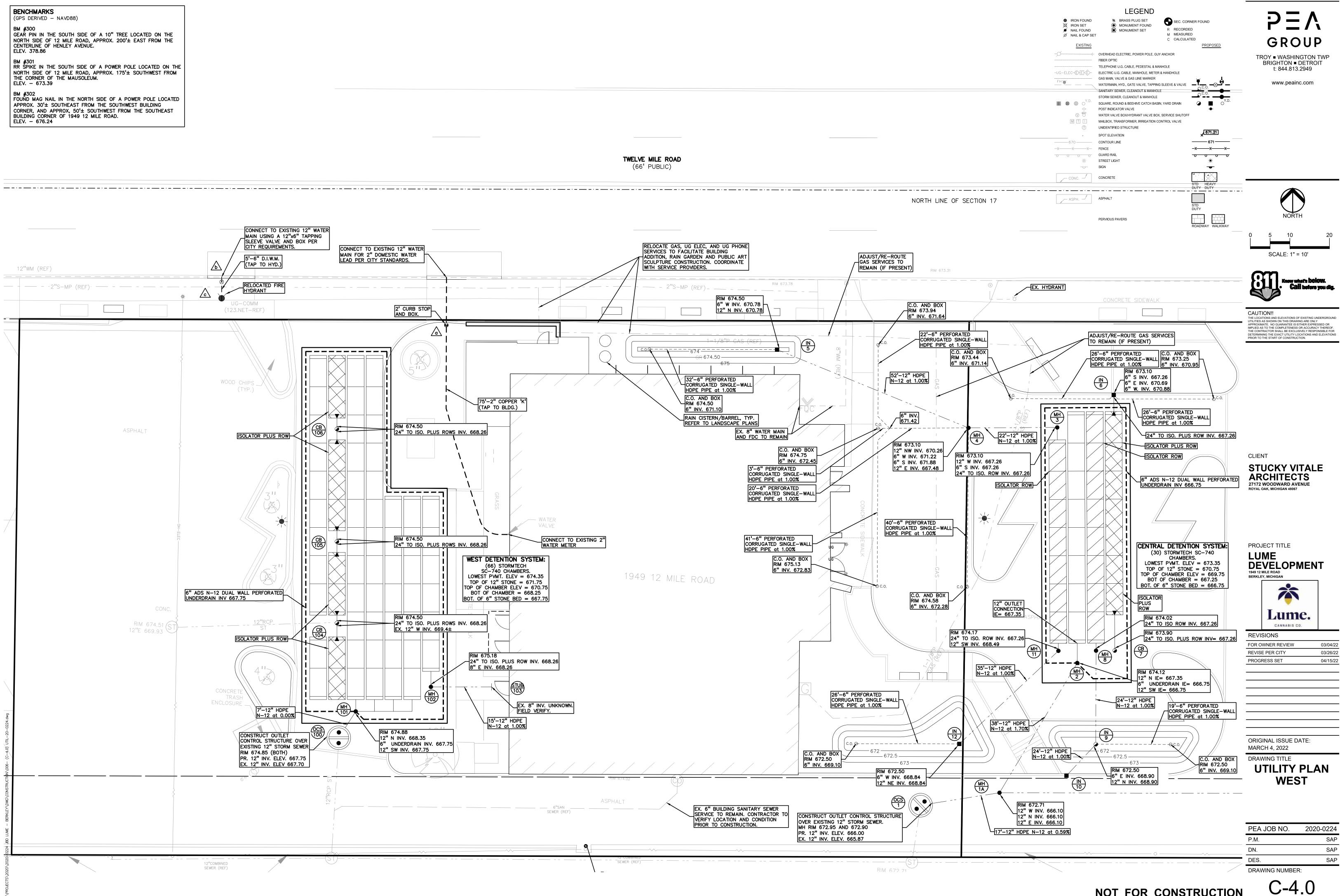


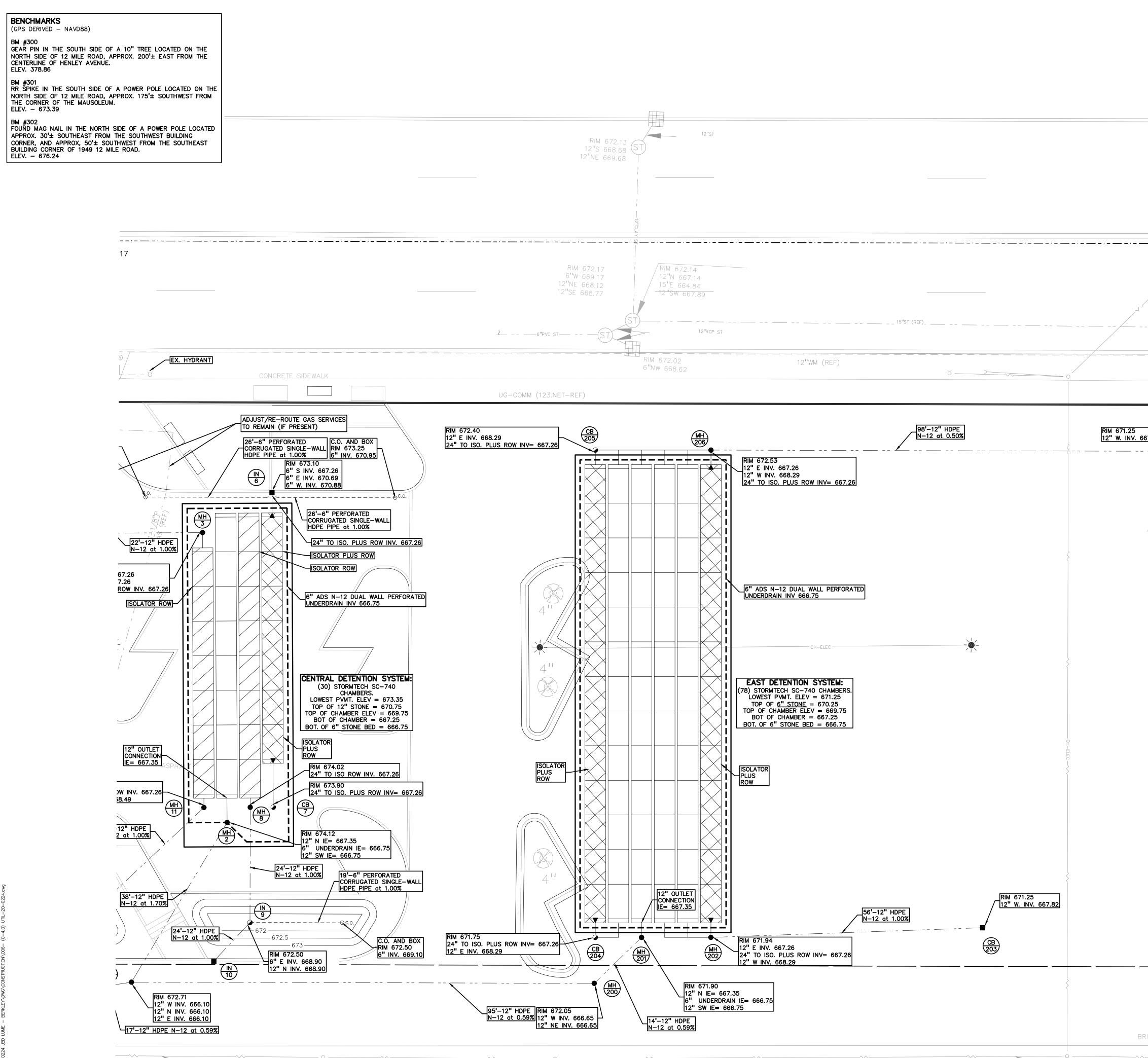


C-3.0





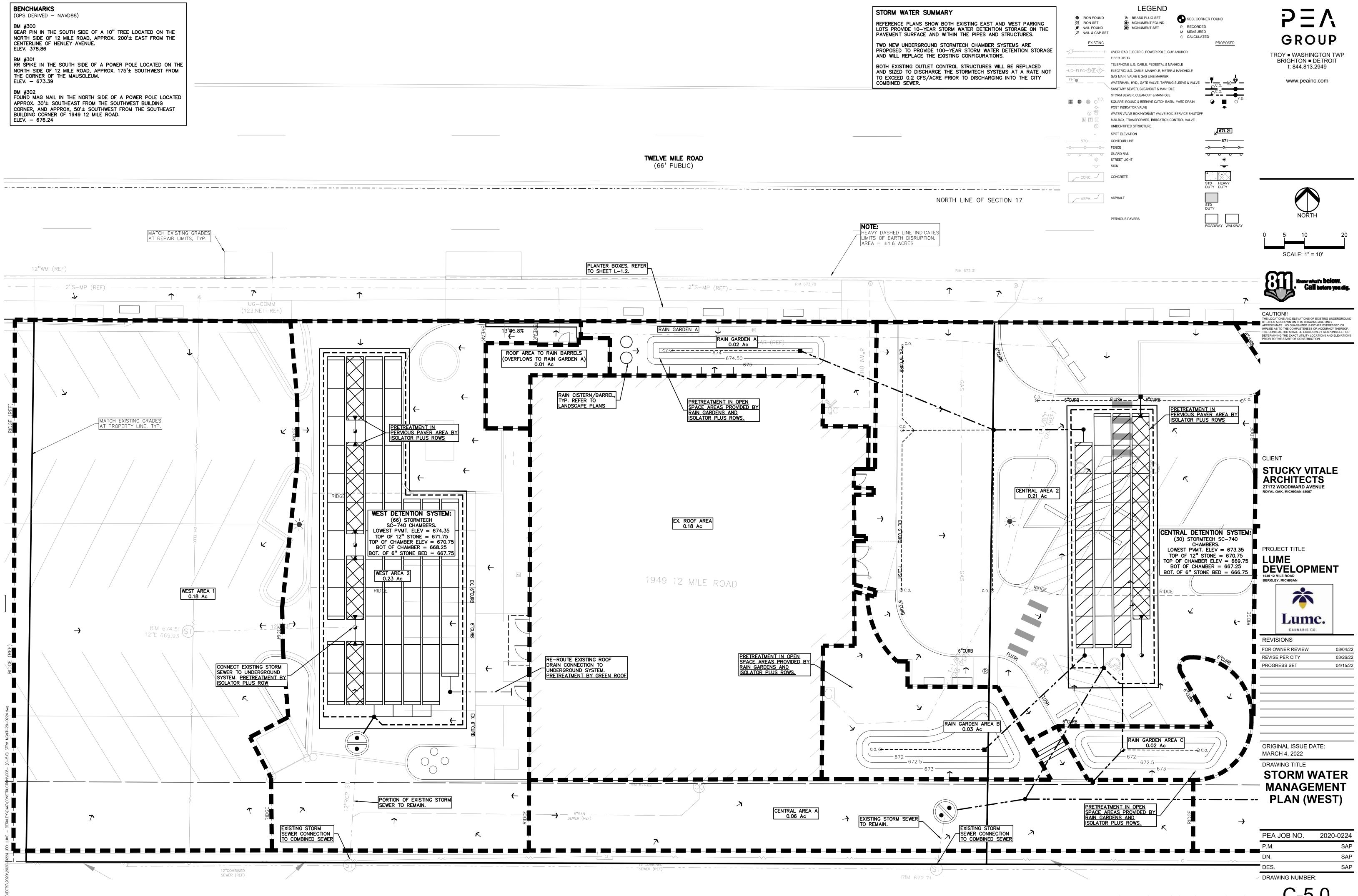




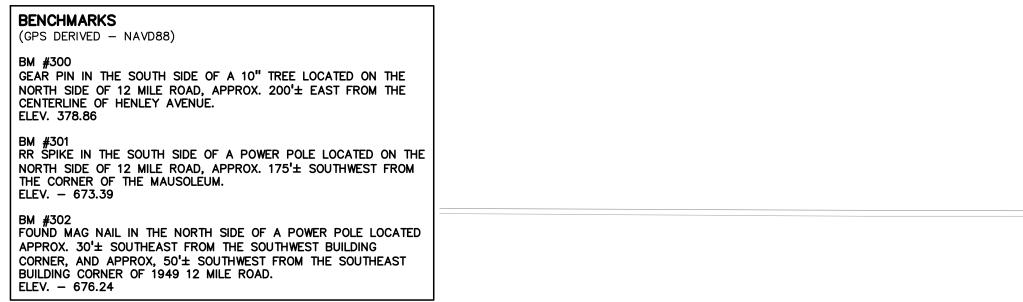
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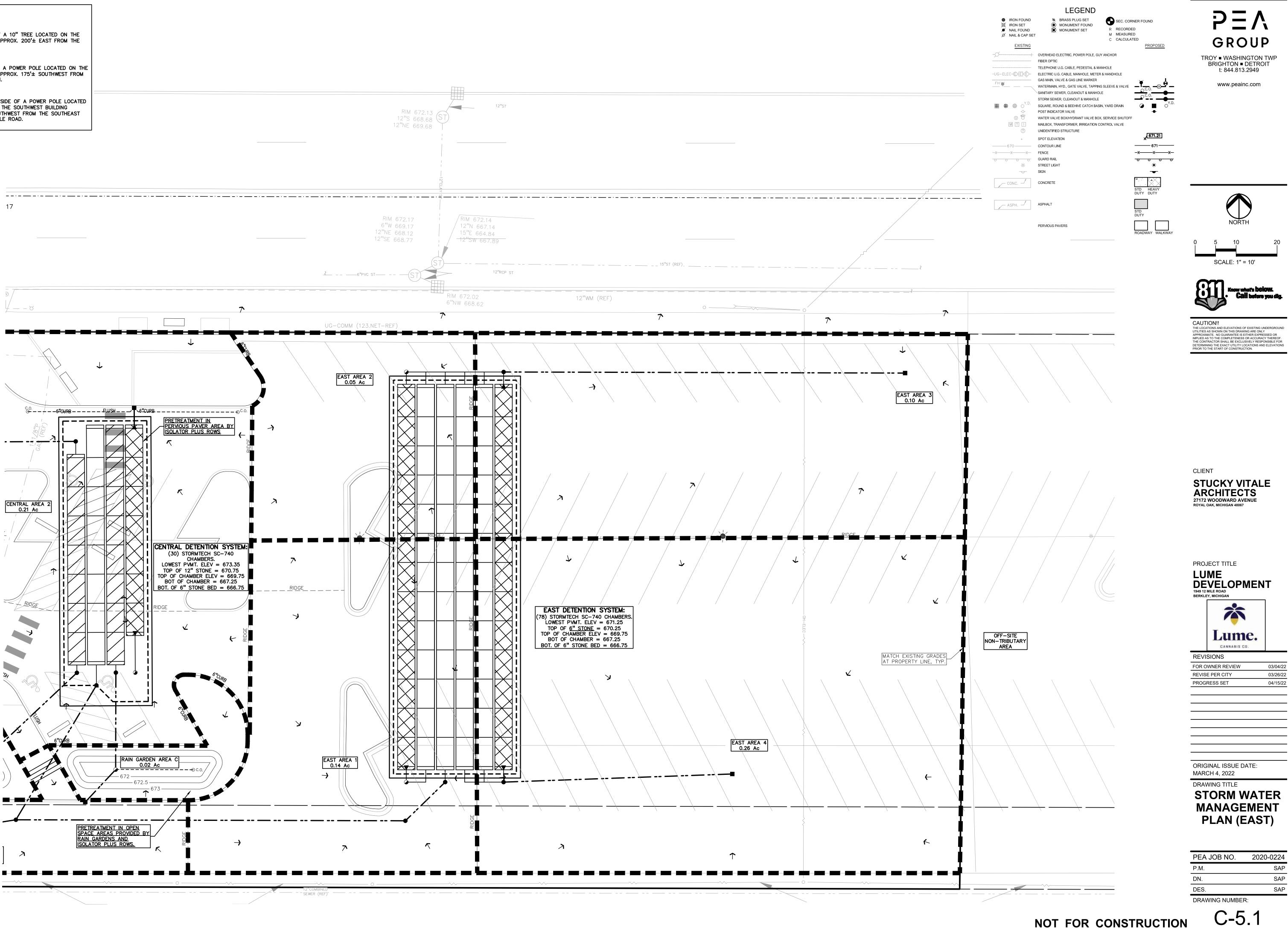
	$\begin{array}{c} \blacksquare \\ \blacksquare $	LEGEND BRASS PLUG SET MONUMENT FOUND MONUMENT FOUND MONUMENT SET OVERHEAD ELECTRIC, POWER POLE, GUY FIBER OPTIC TELEPHONE U.G. CABLE, PEDESTAL & MAI ELECTRIC U.G. CABLE, PEDESTAL & MAI ELECTRIC U.G. CABLE, MANHOLE, METER GAS MAIN, VALVE & GAS LINE MARKER WATERMAIN, HYD., GATE VALVE, TAPPING SANITARY SEWER, CLEANOUT & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX MAILBOX, TRANSFORMER, IRRIGATION CO UNIDENTIFIED STRUCTURE SPOT ELEVATION CONTOUR LINE FENCE GUARD RAL STREFT LIGHT	NHOLE & HANDHOLE SLEEVE & VALVE U, YARD DRAIN SERVICE SHUTOFF	-	P N TWP ROIT
2	ASPH.	STREET LIGHT SIGN CONCRETE ASPHALT PERVIOUS PAVERS	TO TO TO TO TO TO TO TO TO TO	$0 \qquad 5 \qquad 10$ SCALE: 1" = 10'	20
27.75 		CONCRE	TES	CONTRACTOR OF A STATE	NG UNDERGROUND ONLY KPRESSED OR JRACY THEREOF. ESPONSIBLE FOR
ASPHALT		*		<section-header><section-header><section-header><section-header><text><section-header><text></text></section-header></text></section-header></section-header></section-header></section-header>	NT
				REVISIONS         FOR OWNER REVIEW         REVISE PER CITY         PROGRESS SET         Image: state stat	
ICK WALL				PEA JOB NO. 20 P.M. DN. DES. DRAWING NUMBER:	020-0224 SAP SAP SAP

NOT FOR CONSTRUCTION C-4.1



C-5.0





BENCHMARKS (GPS DERIVED - NAVD88)

BM #300 GEAR PIN IN THE SOUTH SIDE OF A 10" TREE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX.  $200'\pm$  EAST FROM THE CENTERLINE OF HENLEY AVENUE. ELEV. 378.86

BM #301 RR SPIKE IN THE SOUTH SIDE OF A POWER POLE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 175'± SOUTHWEST FROM THE CORNER OF THE MAUSOLEUM. ELEV. - 673.39

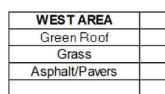
BM #302 FOUND MAG NAIL IN THE NORTH SIDE OF A POWER POLE LOCATED APPROX. 30' $\pm$  SOUTHEAST FROM THE SOUTHWEST BUILDING CORNER, AND APPROX,  $50'\pm$  SOUTHWEST FROM THE SOUTHEAST BUILDING CORNER OF 1949 12 MILE ROAD. ELEV. - 676.24

Project:	Lume Berkley- West System (03-28-22)

Chamber Model -	SC-740	StormTech Detention • Relention • Water Quality
Units -	Imperial Click Here for Metric	A division of
Number of chambers -	66	
Voids in the stone (porosity) -	40 %	
Base of Stone Elevation -	667.75 ft	
Amount of Stone Above Chambers -	12 in Indu	de Perimeter Stone in Calculations
Amount of Stone Below Chambers -	6 in	
Area of system -	2984 sf Min. Area - 2	231 sf min. area

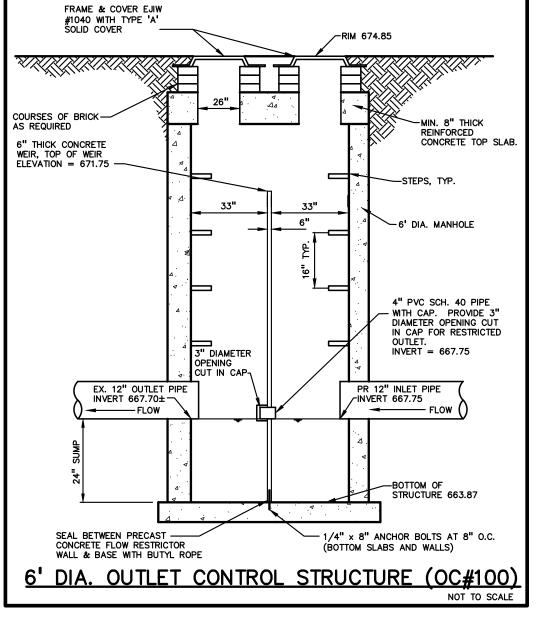
29

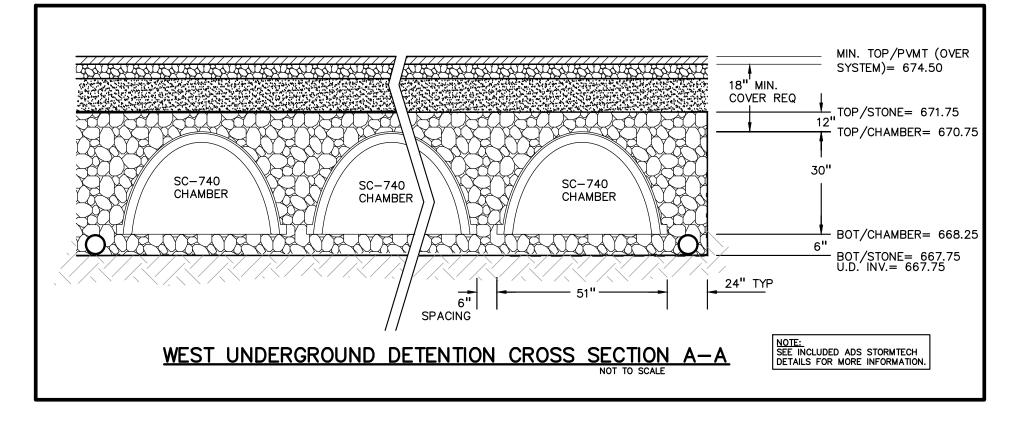
StormTech SC-740 Cumulative Storage Volumes								
Height of	Incremental Single	Incremental	Incremental	Incremental	Cumulative			
System	Chamber	Total Chamber	Stone	Ch & St	Chamber	Elevation		
(inches)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(feet)		
48	0.00	0.00	99.47	99.47	6594.05	671.75		
47	0.00	0.00	99.47	99.47	6494.59	671.67		
46	0.00	0.00	99.47	99.47	6395.12	671.58		
45	0.00	0.00	99.47	99.47	6295.65	671.50		
44	0.00	0.00	99.47	99.47	6196.19	671.42		
43	0.00	0.00	99.47	99.47	6096.72	671.33		
42	0.00	0.00	99.47	99.47	5997.25	671.25		
41	0.00	0.00	99.47	99.47	5897.79	671.17		
40	0.00	0.00	99.47	99.47	5798.32	671.08		
39	0.00	0.00	99.47	99.47	5698.85	671.00		
38	0.00	0.00	99.47	99.47	5599.39	670.92		
37	0.00	0.00	99.47	99.47	5499.92	670.83		
36	0.05	3.63	98.01	101.64	5400.45	670.75		
35	0.16	10.75	95.17	105.92	5298.81	670.67		
34	0.28	18.61	92.02	110.63	5192.89	670.58		
33	0.60	39.86	83.52	123.38	5082.26	670.50		
32	0.80	52.91	78.30	131.21	4958.88	670.42		
31	0.95	62.74	74.37	137.11	4827.66	670.33		
30	1.07	70.92	71.10	142.02	4690.55	670.25		
29	1.18	77.91	68.30	146.21	4548.53	670.17		
28	1.27	83.53	66.05	149.59	4402.32	670.08		
27	1.36	89.43	63.69	153.13	4252.73	670.00		
26	1.45	95.97	61.08	157.05	4099.60	669.92		
25	1.52	100.63	59.21	159.85	3942.56	669.83		
24	1.58	104.43	57.69	162.13	3782.71	669.75		
23	1.64	108.39	56.11	164.50	3620.58	669.67		
22	1.70	112.17	54.60	166.77	3456.08	669.58		
21	1.75	115.69	53.19	168.88	3289.31	669.50		
20	1.80	118.99	51.87	170.86	3120.43	669.42		
19	1.85	122.43	50.49	172.92	2949.57	669.33		
18	1.89	124.94	49.49	174.43	2776.65	669.25		
17	1.93	127.64	48.41	176.05	2602.22	669.17		
16	1.97	130.35	47.33	177.68	2426.16	669.08		
15	2.01	132.65	46.40	179.06	2248.49	669.00		
14	2.04	134.97	45.48	180.45	2069.43	668.92		
13	2.07	136.95	44.69	181.64	1888.98	668.83		
12	2.10	138.92	43.90	182.82	1707.34	668.75		
11	2.13	140.70	43.19	183.89	1524.52	668.67		
10	2.15	142.15	42.60	184.76	1340.64	668.58		
9	2.18	143.69	41.99	185.68	1155.88	668.50		
8	2.20	145.09	41.43	186.52	970.20	668.42		
7	2.21	145.68	41.19	186.88	783.68	668.33		
6	0.00	0.00	99.47	99.47	596.80	668.25		
5	0.00	0.00	99.47	99.47	497.33	668.17		
4	0.00	0.00	99.47	99.47	397.87	668.08		
3	0.00	0.00	99.47	99.47	298.40	668.00		
2	0.00	0.00	99.47	99.47	198.93	667.92		
1	0.00	0.00	99.47	99.47	99.47	667.83		
155.5	22520776270	(3323675871)K	1024725301550	00000000000	33707E/36078E()	201223410000000		



# 100 YEAR STORM DETENT (OAKLAND COUNTY DESI

Site Drainage Data			
Contributing Area (A):	0.59	acre	
Allowable Discharge (Qa)	0.12	cfs (0.2*area)	
Coefficient of Runoff (Cr):	0.84		
100-yr Design Storm Calculations			
Qo = ((Qa)/(A)(Cr))	0.24	cfs/acre impervious	
T = -25 + ((10312.5/Qo))^0.5:	182.29	minutes	
Vs = (16500(T)/(T+25)) - 40Qo(T):	12,760	cf/acre impervious	
Vt = (Vs)(A)(Cr):	6,303	cft	
T = -25 + ((2700/Qo))^0.5:	81.07	minutes	
Vs = (16500(T)/(T+25)) - 40Qo(T):	2,524	cf/acre impervious	
Vt = (Vs)(A)(Cr):	1,247	cft	
Outlet Control Restriction Calculations			
Detention System Invert:	667.75	ft	
Maximum Storage Elevation:	671.75	ft	
Restriction Hole Invert:	667.75	ft	
Max. Head (H):	4.00	ft	





	C	AxC
0.18	0.80	0.144
0.03	0.30	0.008
0.38	0.90	0.342
0.59		0.494
	Composite C =	0.84

# NOT FOR CONSTRUCTION

PEA JOB NO.	2020-0224
Р.М.	SAF
ON.	SAF
DES.	SAF
DRAWING NUMBER:	
C-5.	2

**STORM WATER** SYSTEM CALCULATIONS (WEST)

ORIGINAL ISSUE DATE: MARCH 4, 2022 DRAWING TITLE

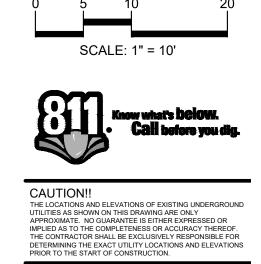
CANNABIS CO. REVISIONS FOR OWNER REVIEW 03/04/22 REVISE PER CITY 03/26/22 PROGRESS SET 04/15/22



PROJECT TITLE LUME

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MICHIGAN 48067

CLIENT



ΡΞΛ GROUP TROY 
WASHINGTON TWP BRIGHTON 

DETROIT t: 844.813.2949 www.peainc.com

BENCHMARKS (GPS DERIVED - NAVD88)

BM #300 GEAR PIN IN THE SOUTH SIDE OF A 10" TREE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 200'± EAST FROM THE CENTERLINE OF HENLEY AVENUE. ELEV. 378.86

BM #301 RR SPIKE IN THE SOUTH SIDE OF A POWER POLE LOCATED ON THE NORTH SIDE OF 12 MILE ROAD, APPROX. 175'± SOUTHWEST FROM THE CORNER OF THE MAUSOLEUM. ELEV. - 673.39

BM #302 FOUND MAG NAIL IN THE NORTH SIDE OF A POWER POLE LOCATED APPROX. 30'± SOUTHEAST FROM THE SOUTHWEST BUILDING CORNER, AND APPROX,  $50'\pm$  SOUTHWEST FROM THE SOUTHEAST BUILDING CORNER OF 1949 12 MILE ROAD. ELEV. - 676.24

# Project: Lume Berkley- Central Syst. (4-14-22)

Chamber Model -	SC-740			StormTech*
Units -	Imperial	Click Her	e for Metric	A division of
Number of chambers -	30			
Voids in the stone (porosity) -	40	%		
Base of Stone Elevation -	666.75	ft		
Amount of Stone Above Chambers -	12	in		e Perimeter Stone in Calculations
Amount of Stone Below Chambers -	6	lin		

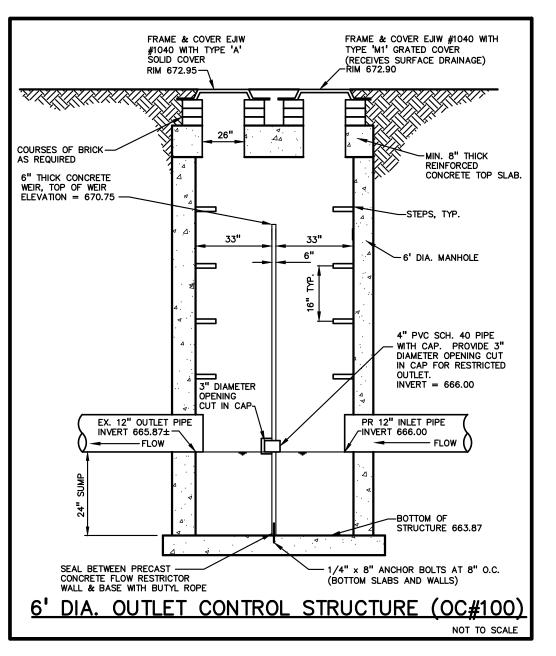
Area of system -

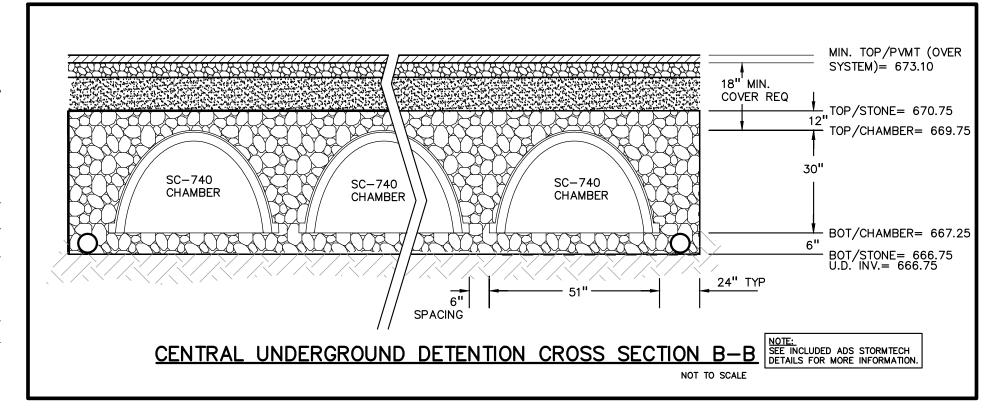
1587 sf Min. Area - 1014 sf min. area

-

StormT	StormTech SC-740 Cumulative Storage Volumes						
Height of	Incremental Single		Incremental	Incremental	Cumulative		
System	Chamber	Total Chamber	Stone	Ch & St	Chamber	Elevation	
(inches)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(feet)	
48	0.00	0.00	52.90	52.90	3366.32	670.75	
47	0.00	0.00	52.90	52.90	3313.42	670.67	
46	0.00	0.00	52.90	52.90	3260.52	670.58	
45	0.00	0.00	52.90	52.90	3207.62	670.50	
44	0.00	0.00	52.90	52.90	3154.72	670.42	
43	0.00	0.00	52.90	52.90	3101.82	670.33	
42	0.00	0.00	52.90	52.90	3048.92	670.25	
41	0.00	0.00	52.90	52.90	2996.02	670.17	
40	0.00	0.00	52.90	52.90	2943.12	670.08	
39	0.00	0.00	52.90	52.90	2890.22	670.00	
38	0.00	0.00	52.90	52.90	2837.32	669.92	
37	0.00	0.00	52.90	52.90	2784.42	669.83	
36	0.05	1.65	52.24	53.89	2731.52	669.75	
35	0.16	4.89	50.94	55.83	2677.63	669.67	
34	0.28	8.46	49.52	57.97	2621.79	669.58	
33	0.60	18.12	45.65	63.77	2563.82	669.50	
32	0.80	24.05	43.28	67.33	2500.05	669.42	
31	0.95	28.52	41.49	70.01	2432.72	669.33	
30	1.07	32.24	40.01	72.24	2362.70	669.25	
29	1.18	35.41	38.73	74.15	2290.46	669.17	
28	1.27	37.97	37.71	75.68	2216.31	669.08	
27	1.36	40.65	36.64	77.29	2140.63	669.00	
26	1.45	43.62	35.45	79.07	2063.34	668.92	
25	1.52	45.74	34.60	80.35	1984.27	668.83	
24	1.58	47.47	33.91	81.38	1903.92	668.75	
23	1.64	49.27	33.19	82.46	1822.54	668.67	
22	1.70	50.99	32.51	83.49	1740.08	668.58	
21	1.75	52.59	31.86	84.45	1656.59	668.50	
20	1.80	54.08	31.27	85.35	1572.14	668.42	
19	1.85	55.65	30.64	86.29	1486.78	668.33	
18	1.89	56.79	30.18	86.98	1400.49	668.25	
17	1.93	58.02	29.69	87.71	1313.52	668.17	
16	1.97	59.25	29.20	88.45	1225.81	668.08	
15	2.01	60.30	28.78	89.08	1137.36	668.00	
14	2.04	61.35	28.36	89.71	1048.28	667.92	
13	2.07	62.25	28.00	90.25	958.57	667.83	
12	2.10	63.15	27.64	90.79	868.32	667.75	
11	2.13	63.95	27.32	91.27	777.53	667.67	
10	2.15	64.62	27.05	91.67	686.26	667.58	
9	2.18	65.31	26.78	92.09	594.59	667.50	
8	2.20	65.95	26.52	92.47	502.50	667.42	
7	2.20	66.22	26.41	92.63	410.03	667.33	
6	0.00	0.00	52.90	52.90	317.40	667.25	
5	0.00	0.00	52.90	52.90	264.50	667.17	
4	0.00	0.00	52.90	52.90	211.60	667.08	
	0.00	0.00	52.90	52.90	158.70	667.00	
3 2	0.00	0.00	52.90	52.90	105.80	666.92	
1	0.00	0.00	52.90	52.90	52.90	666.83	
	0.00	0.00	02.00	02.00	02.00	500.05	

CENTRAL AREA	Α	С	AxC	:	
Asphalt/Pavers	0.26	0.90	0.234	4	
Rain Garden/Grass	0.09	0.30	0.02	7	
	0.35		0.26	1	
		Composite (	= 0.75	e	
100 YEAR STORM DE		SIGN			
(OAKLAND COUNTY					
Site Drainage Data					
Contributing Area (A):			0.35	acre	
Allowable Discharge (	Qa)		0.07	cfs (0.2*area)	
Coefficient of Runoff (C	አ):		0.75		
(Repre	sents Future	Developed Co	onditions)		
100-yr Design Storm	Calculations	5			
Qo = ((Qa)/(A)(Cr):			0.27	cfs/acre imper	vious
T = -25 + ((10312.5/Qo))^0.5:				minutes	
Vs = (16500(T)/(T+25)			12,549	cf/acre impervious	
Vt = (Vs)(A)(Cr):			3,275		
1-yr Design Storm Ca	alculations				
Qo = ((Qa)/(A)(Cr):				cfs/acre imper	vious
T = -25 + ((2700/Qo))^				minutes	
Vs = (16500(T)/(T+25)	) - 40Qo(T):			cf/acre impervi	ous
Vt = (Vs)(A)(Cr):			634	cft	
Outlat Control Dest	ation Calavi	ations (Card	ral 9 Fact C	voto ma Cambi	ined)
Outlet Control Restri Detention System Inve		ations (Cen	666.00		ineu)
Maximum Storage Ele			670.75		
Restriction Hole Invert			667.75		
Max Head (H):			4.75		
Restriction Hole Dia.:					size per OCWRC
Restriction Hole Area:	8		0.04909		
Average Flow thru Res			0.04909		
Average Flow thru Res	sulction note.		0.55	015	





# Project: Lume Berkley- East Sys. (4-14-22)

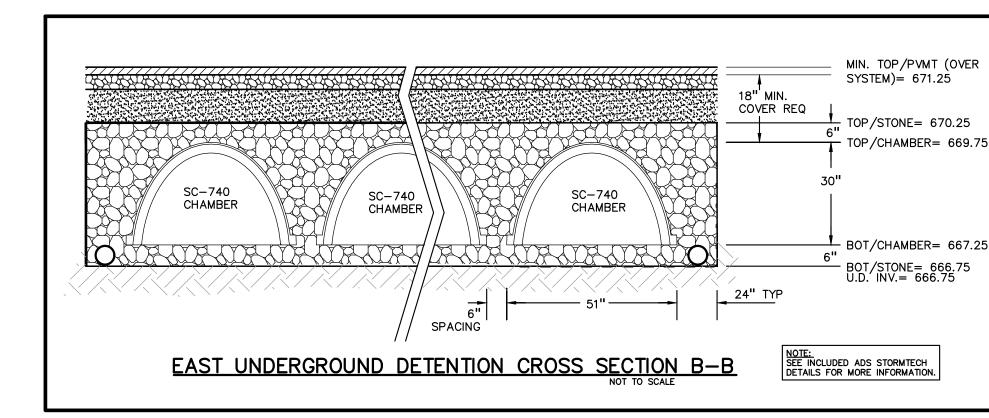
Chamber Model -Units -Number of chambers -Voids in the stone (porosity) -Base of Stone Elevation -Amount of Stone Above Chambers -Amount of Stone Below Chambers -



Area of system -

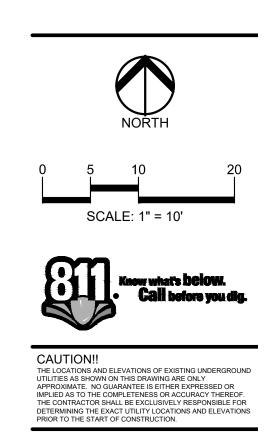
3238 sf Min. Area - 2637 sf min. area

leight of	ech SC-740 C		Incremental	Incremental	Cumulative	
System	Chamber	Total Chamber	Stone	Ch & St	Chamber	Elevation
(inches)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(cubic feet)	(feet)
42	0.00	0.00	107.93	107.93	6683.70	670.25
42	0.00	0.00	107.93	107.93	6575.77	670.25
40	0.00	0.00	107.93	107.93	6467.83	670.08
39	0.00	0.00	107.93	107.93	6359.90	670.00
38	0.00	0.00	107.93	107.93	6251.97	669.92
37	0.00	0.00		107.93	6144.03	669.83
36	0.05	4.29	107.93 106.22	110.51	6036.10	669.75
35	0.05	12.71			5925.59	669.67
35		21.99	102.85 99.14	115.56		
	0.28 0.60			121.13	5810.03	669.58
33		47.11	89.09	136.20	5688.91	669.50
32 31	0.80	62.53	82.92	145.45	5552.71	669.42
	0.95	74.15	78.27	152.42	5407.25	669.33
30	1.07	83.81	74.41	158.22	5254.83	669.25
29	1.18	92.08	71.10	163.18	5096.61	669.17 669.08
28 27	1.27	98.72	68.44	167.17	4933.43	669.00
	1.36	105.69	65.66	171.35	4766.26	
26	1.45	113.42	62.57	175.99	4594.91	668.92
25	1.52	118.93	60.36	179.29	4418.93	668.83
24	1.58	123.42	58.56	181.99	4239.64	668.75
23	1.64	128.10	56.69	184.79	4057.65	668.67
22	1.70	132.56	54.91	187.47	3872.86	668.58
21	1.75	136.73	53.24	189.97	3685.39	668.50
20	1.80	140.62	51.69	192.30	3495.42	668.42
19	1.85	144.69	50.06	194.75	3303.11	668.33
18	1.89	147.66	48.87	196.53	3108.37	668.25
17	1.93	150.85	47.59	198.44	2911.84	668.17
16	1.97	154.05	46.31	200.36	2713.39	668.08
15	2.01	156.77	45.22	202.00	2513.03	668.00
14	2.04	159.51	44.13	203.64	2311.03	667.92
13	2.07	161.85	43.19	205.04	2107.39	667.83
12	2.10	164.18	42.26	206.44	1902.35	667.75
11	2.13	166.28	41.42	207.70	1695.91	667.67
10	2.15	168.00	40.73	208.73	1488.21	667.58
9	2.18	169.81	40.01	209.82	1279.47	667.50
8	2.20	171.47	39.34	210.82	1069.65	667.42
7	2.21	172.17	39.06	211.24	858.84	667.33
6	0.00	0.00	107.93	107.93	647.60	667.25
5	0.00	0.00	107.93	107.93	539.67	667.17
4	0.00	0.00	107.93	107.93	431.73	667.08
3	0.00	0.00	107.93	107.93	323.80	667.00
2	0.00	0.00	107.93	107.93	215.87	666.92
1	0.00	0.00	107.93	107.93	107.93	666.83





EAST AREA	Α	С	AxC	
Asphalt/Pavers	0.54	0.90	0.486	1
Grass	0.01	0.30	0.003	
	0.55		0.489	
		Composite C	= 0.89	
100 YEAR STORM D	ETENTION D	ESIGN		
OAKLAND COUNT	DESIGN ME	THOD)		
Site Drainage Data				
Contributing Area (A)			0.55	acre
Allowable Discharge			0.11	cfs (0.2*area)
Coefficient of Runoff	(Cr):		0.89	
		Developed Co	nditions)	
100-yr Design Storn	n Calculation	S		
Qo = ((Qa)/(A)(Cr))			0.22	cfs/acre impervious
T = -25 + ((10312.5/0	20))^0.5:			minutes
Vs = (16500(T)/(T+25	and the second		12,909	cf/acre impervious
Vt = (Vs)(A)(Cr):			6,314	
1-yr Design Storm (	Calculations			
Qo = ((Qa)/(A)(Cr):			0.22	cfs/acre impervious
T = -25 + ((2700/Qo))	^0.5:		85.78	minutes
Vs = (16500(T)/(T+25	5)) - 40Qo(T):		2,590	cf/acre impervious
Vt = (Vs)(A)(Cr):			1,267	



# CLIENT STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MICHIGAN 48067

PROJECT TITLE LUME





REVISIONS FOR OWNER REVIEW

REVISE PER CITY PROGRESS SET

03/04/22 03/26/22 04/15/22

ORIGINAL ISSUE DATE:

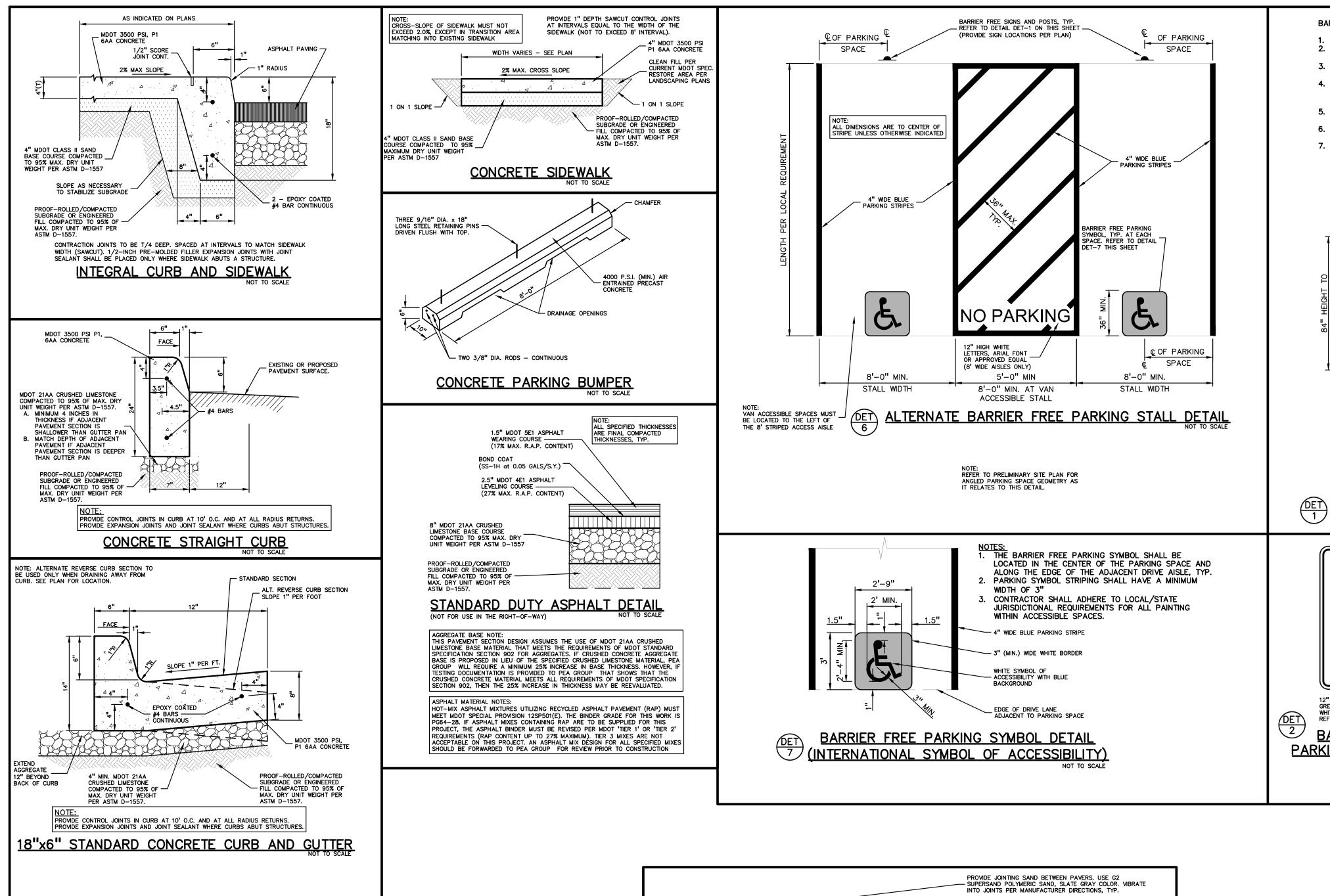
MARCH 4, 2022

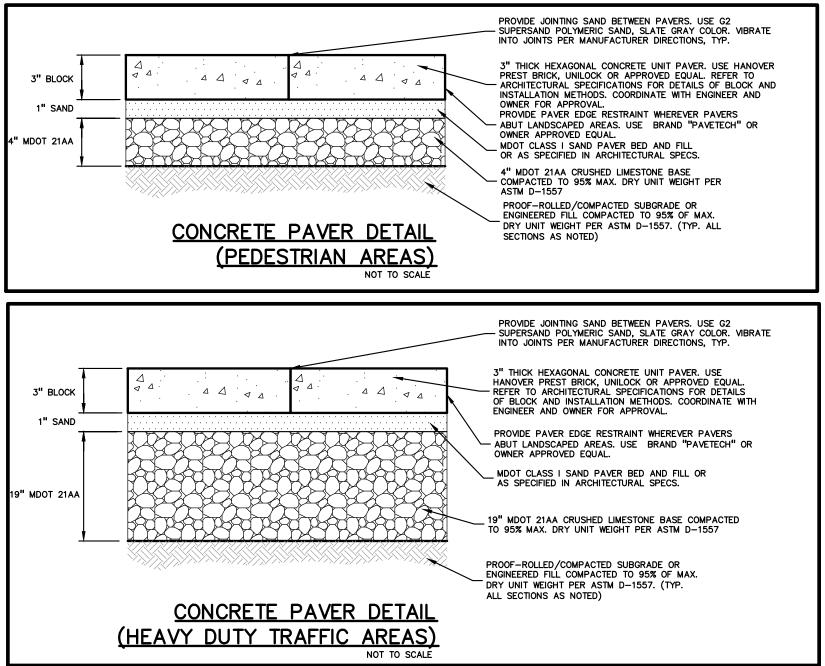
DRAWING TITLE **STORM WATER** SYSTEM CALCULATIONS (EAST)

PEA JOB NO.	2020-0224
P.M.	SAP
DN.	SAP
DES.	SAP
DRAWING NUMBER	R:

# NOT FOR CONSTRUCTION

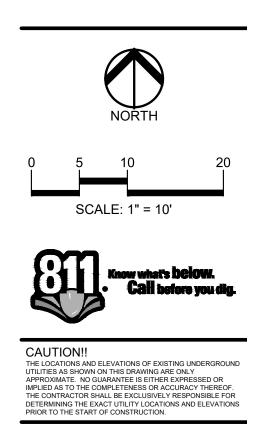
C-5.3





BARRIER FREE SIGN NOTES: ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
 ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD). 3. WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST. 4. SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12". 5. ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG. 6. IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED. 7. ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS. 12"x18" x 0.080" ALUMINUM BARRIER FREE PARKING SIGN (R7-8). BOLT SIGN TO STEEL TUBE WITH %" CADMIUM PLATED BOLTS, NUTS, AND WASHERS. 6"x12" x 0.080" ALUMINUM VAN - ACCESSIBLE SIGN (R7-8P) WHERE APPLICABLE. SECONDARY/PENALTY SIGNAGE - PER JURISDICTIONAL REQUIREMENTS WHERE APPLICABLE 2"x2"x.188" GALVANIZED STEEL TUBE. EXTEND INTO CONCRETE FILLED PIPE BOLLARD A MINIMUM OF 2'-0". PROVIDE WELDED WATERTIGHT CAP. ମର ଗ୍ର 6" DIA, SCHEDULE 40 GALVANIZED STEEL PIPE 6° DIA, SCHEDULE 40 GALVANIZED STEEL PIPE FILLED WITH CONCRETE (WHEN SIGN IS LOCATED IN PAVED AREA OR SIDEWALK). PROVIDE ROUNDED WASH AT TOP OF CONCRETE FILL WITH 1% FINISHED SLOPE. PAINT BOLLARD WITH 2 COATS OF SAFETY YELLOW PAINT, OR PROVIDE YELLOW BOLLARD SLEEVE.. HEIGHT LOWEST MIN. P 18" DIA. CONCRETE FOOTING USING - M.D.O.T. 'P1' CONCRETE, 3500 PSI, 6AA OR APPROVED EQUAL - PAVEMENT SURFACE INSTALL BREAKAWAY TUBE POST — IN SIGN LOCATIONS WHERE PIPE BOLLARD IS NOT REQUIRED. BARRIER FREE SIGN AND POST DETAIL RESERVED RESERVED PARKING PARKING 12" x 18" (R7–8 GREEN BORDER ANI LEGEND WHITE SYMBOL, BLUE BACKGROUND. REFLECTORIZE NOTE: MAY ONLY BE USED AT 11' WIDE SPACES LOCATED ON THE LEFT SIDE OF A 5' WIDE AISLE, OR 8' WIDE SPACES LOCATED TO THE LEFT OF 8' WIDE AISLES ONLY ONLY VAN 12" x 18" (R7-8) GREEN BORDER AND LEGEND WHITE SYMBOL, BLUE BACKGROUND. REFLECTORIZED 6" × 12" (R7-8P) GREEN BORDER AND LEGEND REFLECTORIZED ACCESSIBLE DET 3 BARRIER FREE VAN ACCESSIBLE PARKING SIGN DETAIL PARKING SIGN DETAIL







PROJECT TITLE LUME JAMPE ROAD BERKLEY, MICHIGAN FOR OWNER REVIEW PROGRESS SET 04/15/22

ORIGINAL ISSUE DATE: MARCH 4, 2022 DRAWING TITLE

> NOTES AND DETAILS

PEA JOB NO.	2020-0224
PM	SAP
	SAP
DN.	
DES.	SAP
DRAWING NUMBER:	

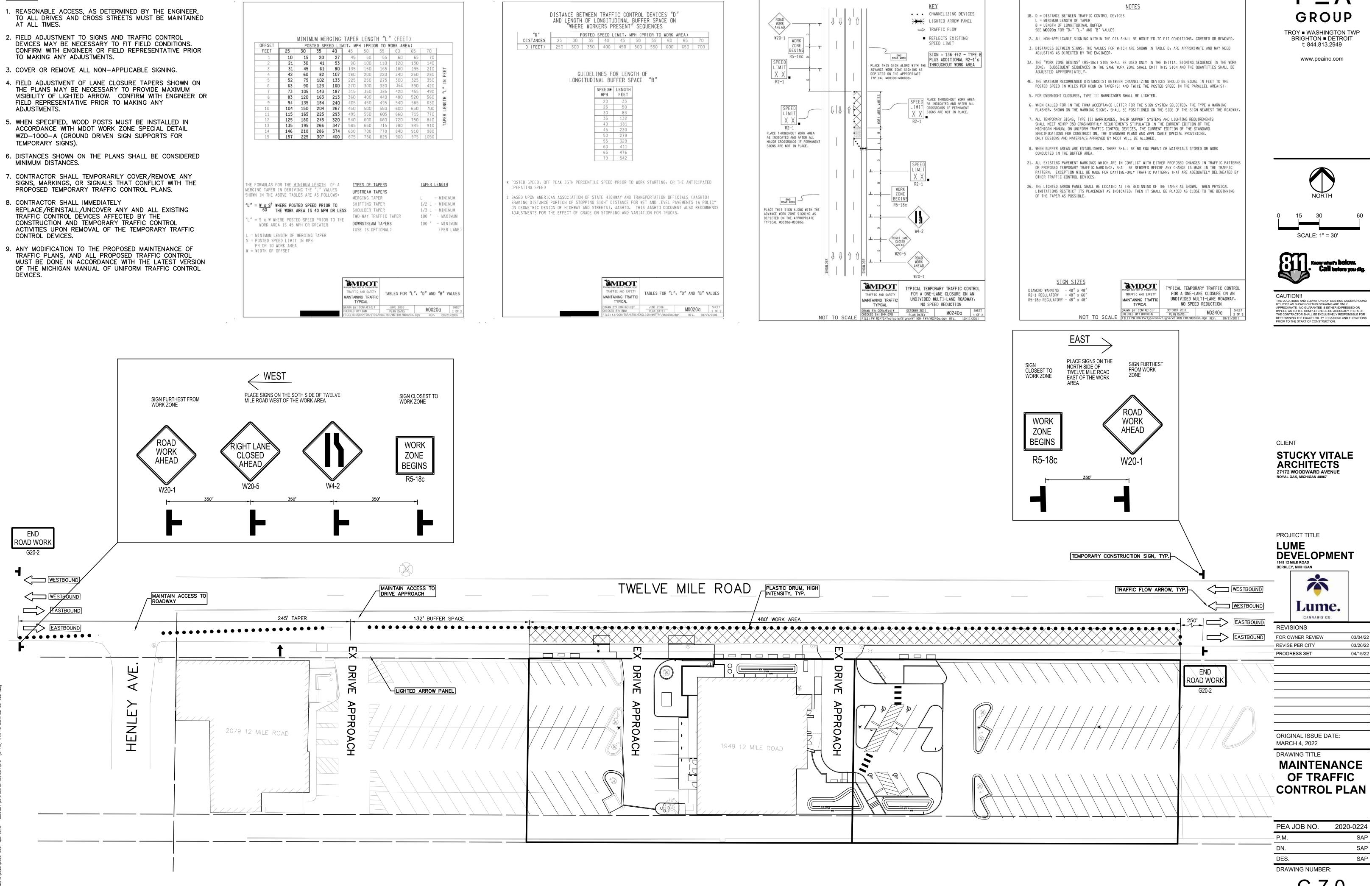
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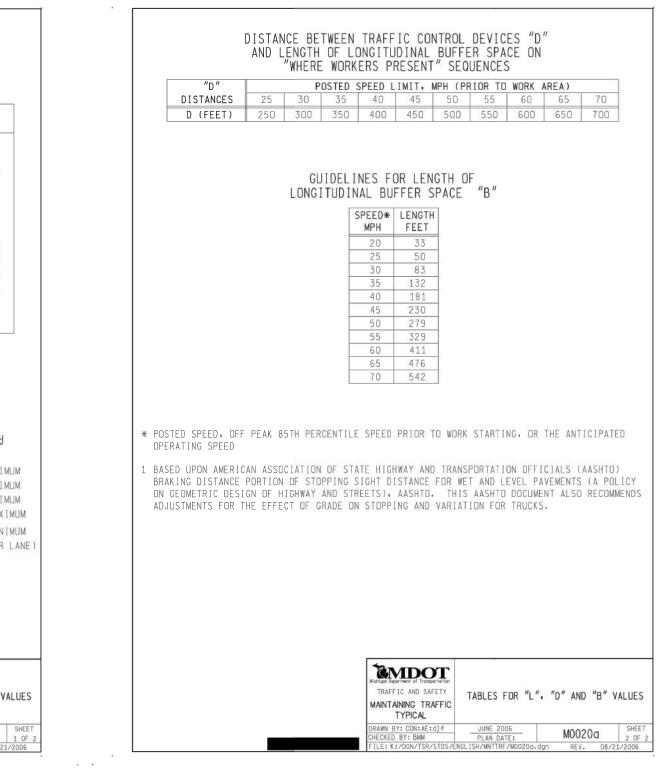
NOT FOR CONSTRUCTION

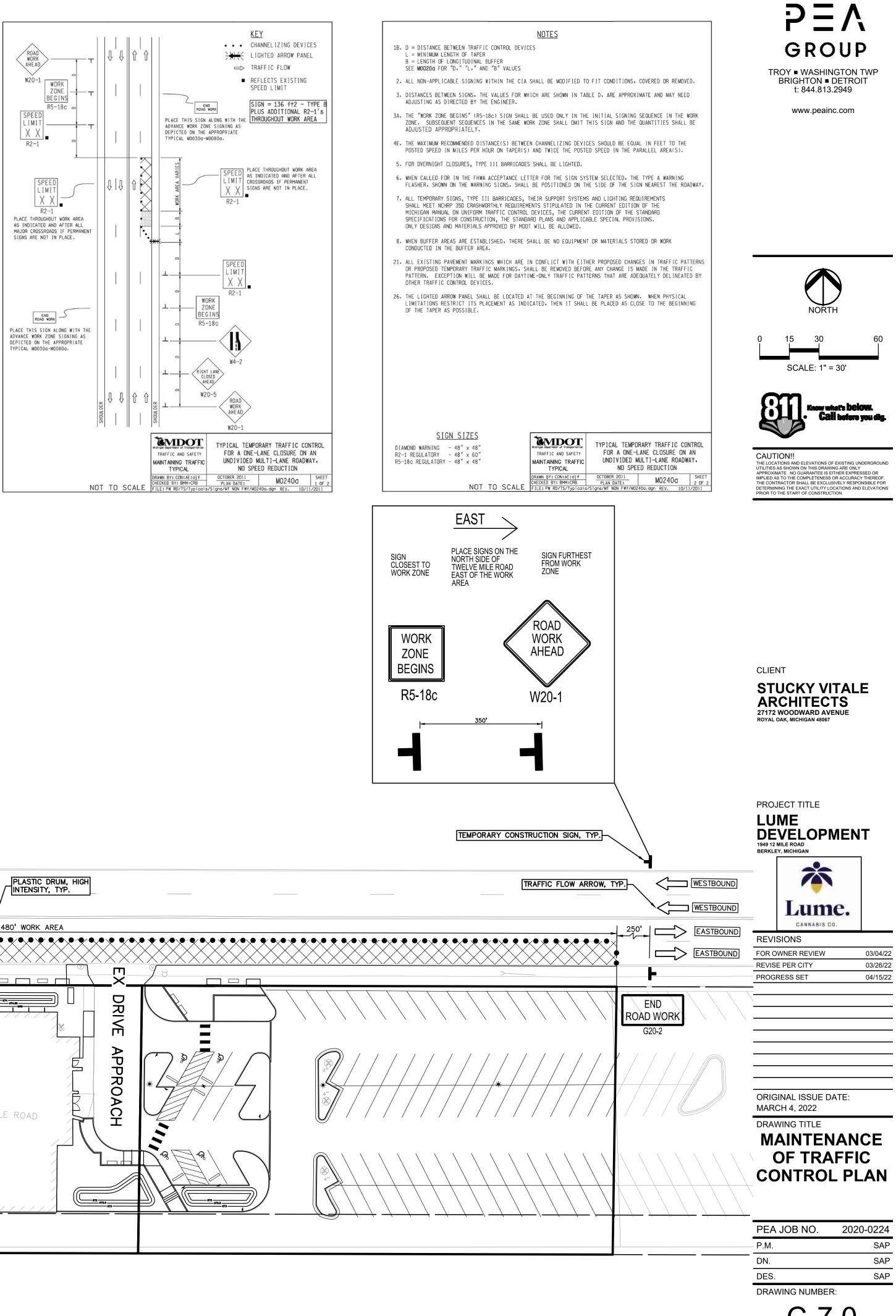
# <u>NOTES</u>

- AT ALL TIMES.
- DEVICES MAY BE NECESSARY TO FIT FIELD CONDITIONS.
- THE PLANS MAY BE NECESSARY TO PROVIDE MAXIMUM FIELD REPRESENTATIVE PRIOR TO MAKING ANY ADJUSTMENTS.
- ACCORDANCE WITH MDOT WORK ZONE SPECIAL DETAIL WZD-1000-A (GROUND DRIVEN SIGN SUPPORTS FOR TEMPORARY SIGNS).
- MINIMUM DISTANCES.
- PROPOSED TEMPORARY TRAFFIC CONTROL PLANS.
- REPLACE/REINSTALL/UNCOVER ANY AND ALL EXISTING TRAFFIC CONTROL DEVICES AFFECTED BY THE CONSTRUCTION AND TEMPORARY TRAFFIC CONTROL ACTIVITIES UPON REMOVAL OF THE TEMPORARY TRAFFIC CONTROL DEVICES.
- TRAFFIC PLANS, AND ALL PROPOSED TRAFFIC CONTROL OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

	OFFSET		POS	STED SP	EED LIN	IT, MP	H (PRIC	OR TO W	ORK ARE	EA)		
	FEET	25	30	35	40	45	50	55	60	65	70	
	1	10	15	20	27	45	50	55	60	65	70	
	2	21	30	41	53	90	100	110	120	130	140	
	3	31	45	61	80	135	150	165	180	195	210	FEET
	4	42	60	82	107	180	200	220	240	260	280	
	5	52	75	102	133	225	250	275	300	325	350	IN
	6	63	90	123	160	270	300	330	360	390	420	2
	7	73 83	105 120	143 163	187 213	315 360	350 400	385 440	420	455 520	490 560	۳,
	9	94	120	163	213	405	400	440	480 540	520	630	STH
	10	104	150	204	240	405	500	550	600	650	700	ENC
	10	115	165	204	293	495	550	605	660	715	700	TAPER LENGTH
	12	125	180	245	320	540	600	660	720	7.80	840	PER
	13	135	195	266	347	585	650	715	780	845	910	TA
											5.5.5	
	14		210	286					840	910	980	
	14 15	146 157	210 225	286 307	374 400	630 675	700 750	770 825	840 900	910 975	980 1050	
	15 FORMULAS FO	146 157	225	307	374 400	630 675	700 750	770 825		975		ENGTI
RG IOW	FORMULAS FO ING TAPER N IN THE AU	146 157 DR THE <u>M</u> IN DERIV BOVE TAB	225	307 LENGTH "L" VA AS FOL	0F A LUES	630 675 <u>TYP</u> UPS MER	700 750 ES OF 1 STREAM 1 GING TA	APERS PER		975	1050 TAPER L	MIN
ERG 101	FORMULAS FO ING TAPER N IN THE AU = W_X_S <sup>2</sup> WH	146 157 DR THE M IN DERIV BOVE TAB	225 IINIMUM ING THE LES ARE	307 LENGTH "L" VA AS FOL	OF A LUES LOWS:	630 675 UPS MER SHI	TOD T50 TES OF 1 TREAM 1 GING TA FTING 1	APERS APER APER APER		975	1050 TAPER L L – 1/2 L –	MIN MIN
ierg How ' <b>L</b> "	FORMULAS FOR	DR THE M IN DERIV BOVE TAB HERE POS HE WORK	11NIMUM TING THE LES ARE TED SPE AREA IS	307 LENGTH E "L" VA E AS FOL EED PRIC S 40 MPF	OF A 400 KLUES LOWS: DR TO F OR LES	630 675 UPS MER SHI S SHC	TOD T50 T50 TES OF 1 TREAM 1 GING TA FTING 1 ULDER 1	APERS APER APER APER APER APER	900	975	1050 TAPER L L – 1/2 L – 1/2 L – 1/3 L –	MIN MIN MIN
ERG HON L″	FORMULAS FOR	DR THE M IN DERIV BOVE TAB HERE POS HE WORK ERE POST	11NIMUM TING THE LES ARE TED SPE TED SPEE	307 <u>LENGTH</u> <u>"L" VA</u> <u>ED PRIO</u> <u>ED PRIO</u> <u>ED PRIO</u>	OF A 400 ULUES LOWS: DR TO I OR LES	630 675 UPS MER SHI SHU TWC	TOD TSO TREAM I GING TA FTING I ULDER I I-WAY TF	APERS APER APER APER APER APER AFFIC	900 FAPER	975	1050 <u>TAPER L</u> L – 1/2 L – 1/3 L – 1/3 L – 100 '	MIN MIN MIN - MAX
ERG IOW	FORMULAS FOR	DR THE M IN DERIV BOVE TAB HERE POS HE WORK ERE POST	11NIMUM TING THE LES ARE TED SPE TED SPEE	307 <u>LENGTH</u> <u>"L" VA</u> <u>ED PRIO</u> <u>ED PRIO</u> <u>ED PRIO</u>	OF A 400 ULUES LOWS: DR TO I OR LES	630 675 UPS MER SHI SHU TWC DOM	TOD TSO TREAM 1 GING TA FTING 1 ULDER 1 I-WAY TF INSTREAM	APERS APER APER APER APER AFFIC APER	900 FAPER	975	1050 TAPER L L – 1/2 L – 1/2 L – 1/3 L –	MIN MIN MIN - MA3 - MII
ERG How L"	FORMULAS F( ING TAPER N IN THE AE 60 TH = <u>W x S<sup>2</sup> W</u> 60 TH = S x W WHE WORK ARE	DR THE M IN DERIV BOVE TAB HERE POS HE WORK ERE POST A IS 45	225 ING THE LES ARE TED SPE AREA IS ED SPEE MPH OR	307 LENGTH "L" VA EAS FOL ED PRICE GREATEF	OF A 400 ULUES LOWS: DR TO I OR LES	630 675 UPS MER SHI SHU TWC DOM	TOD TSO TREAM I GING TA FTING I ULDER I I-WAY TF	APERS APER APER APER APER AFFIC APER	900 FAPER	975	1050 <u>TAPER L</u> L – 1/2 L – 1/3 L – 1/3 L – 100 '	MIN MIN MIN - MAX
	FORMULAS F( ING TAPER N IN THE AE = <u>W x S<sup>2</sup> WH</u> = S x W WHE WORK AREA	DR THE M IN DERIV BOVE TAB HERE POST HE WORK ERE POST A IS 45 NGTH OF	11NIMUM ING THE LES ARE TED SPEE AREA 15 ED SPEE MPH OR MERGIN	307 LENGTH "L" VJ E AS FOL ED PRIO GREATEF G TAPER	OF A 400 ULUES LOWS: DR TO I OR LES	630 675 UPS MER SHI SHU TWC DOM	TOD TSO TREAM 1 GING TA FTING 1 ULDER 1 I-WAY TF INSTREAM	APERS APER APER APER APER AFFIC APER	900 FAPER	975	1050 <u>TAPER L</u> L – 1/2 L – 1/3 L – 1/3 L – 100 '	MIN MIN MIN - MA3 - MII
ERG HOW L"	FORMULAS F( ING TAPER N IN THE AE 60 TH = <u>W x S<sup>2</sup> W</u> 60 TH = S x W WHE WORK ARE	DR THE M IN DERIV BOVE TAB HERE POST A IS 45 NGTH OF ED LIMIT	225 INIMUM ING THE ILES ARE TED SPEE AREA IS ED SPEE MPH OR MERGIN F IN MP	307 LENGTH "L" VJ E AS FOL ED PRIO GREATEF G TAPER	OF A 400 ULUES LOWS: DR TO I OR LES	630 675 UPS MER SHI SHU TWC DOM	TOD TSO TREAM 1 GING TA FTING 1 ULDER 1 I-WAY TF INSTREAM	APERS APER APER APER APER AFFIC APER	900 FAPER	975	1050 <u>TAPER L</u> L – 1/2 L – 1/3 L – 1/3 L – 100 '	MIN MIN MIN - MA - MII

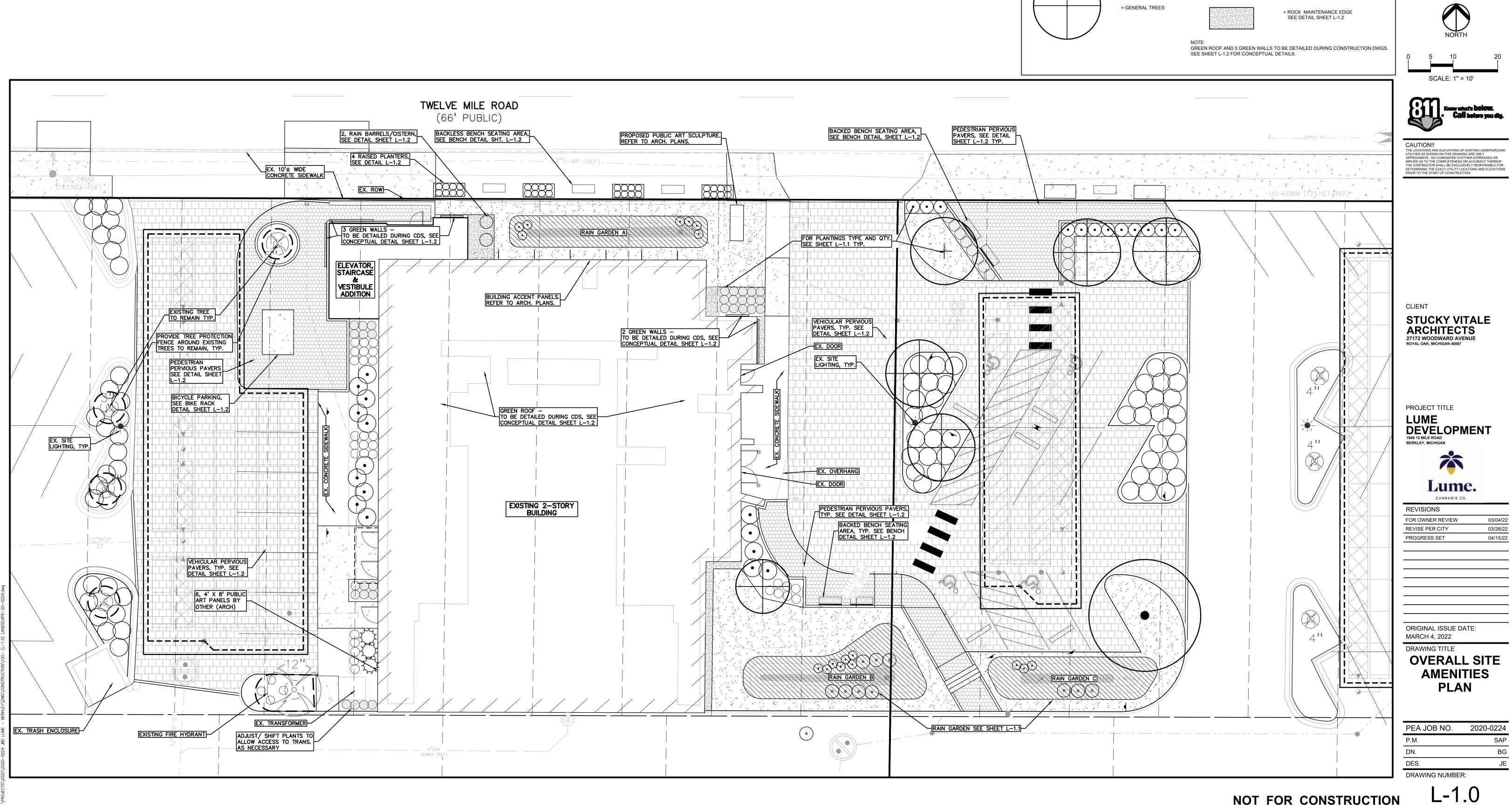






NOT FOR CONSTRUCTION

C-7.0



KEY:

LANDSCAPE CALCULATIONS: PER CITY OF BERKLEY ZONING ORDINANCE GREENBELT @ 12 MILE RD. REQUIRED: 1 TREE ALONG GREENBELT PROVIDED: 1 DEC. TREE

TREE REPLACEMENT

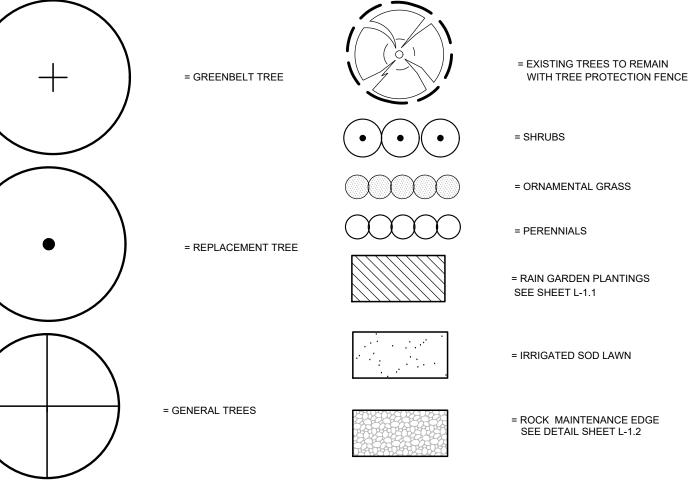
REQUIRED: 8-11" DBH REPLACEMENT AT 1:1 REMOVING 1, 8" TREE PROVIDED: 1, 2.5" CAL DEC TREE

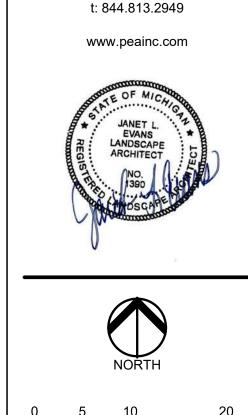
RAIN GARDENS

PROVIDED: SHRUBS AND PERENNIALS SEE SHEET L-1.1

GENERAL SITE TREES PROVIDED: 5 DEC. TREES





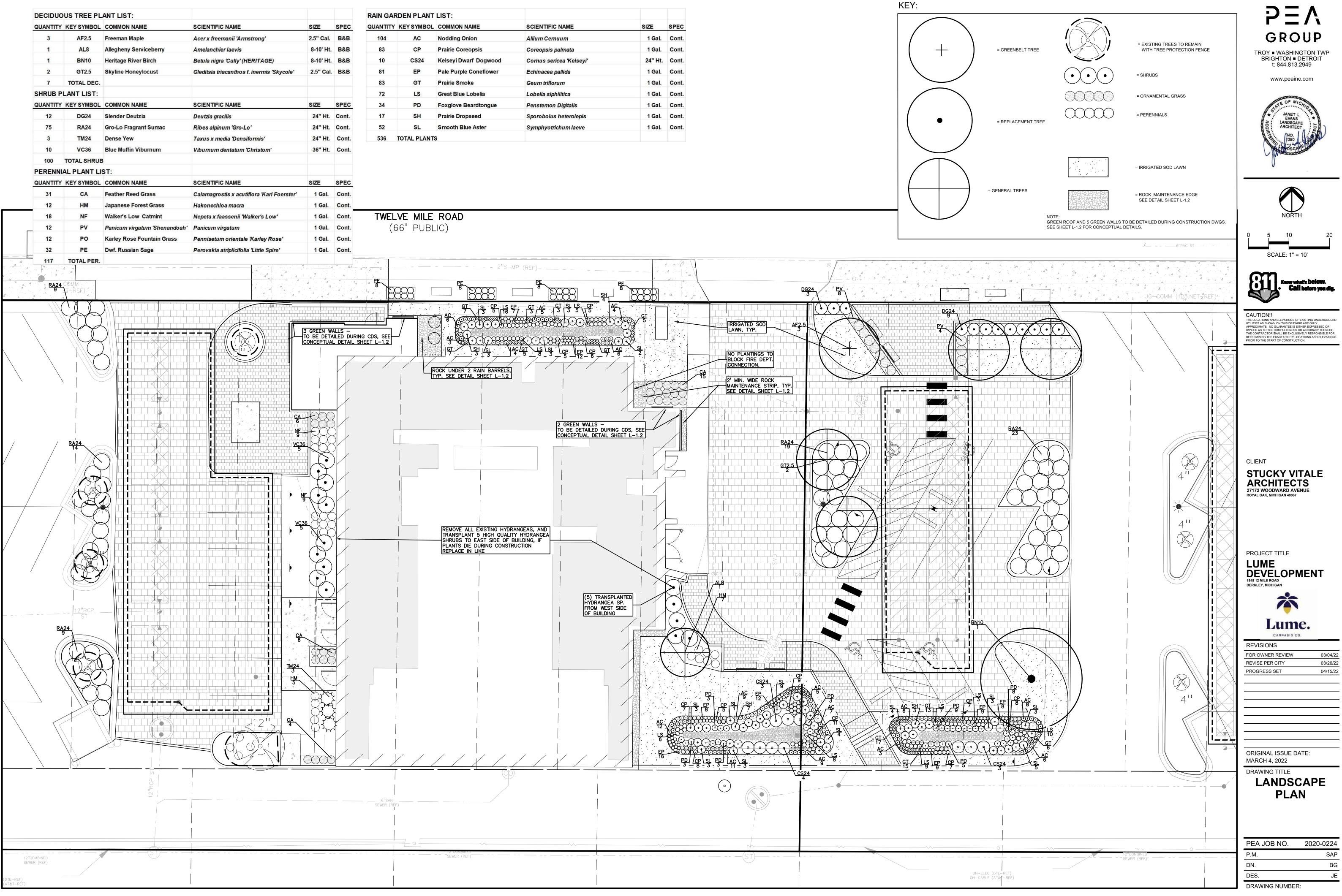


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GROUP

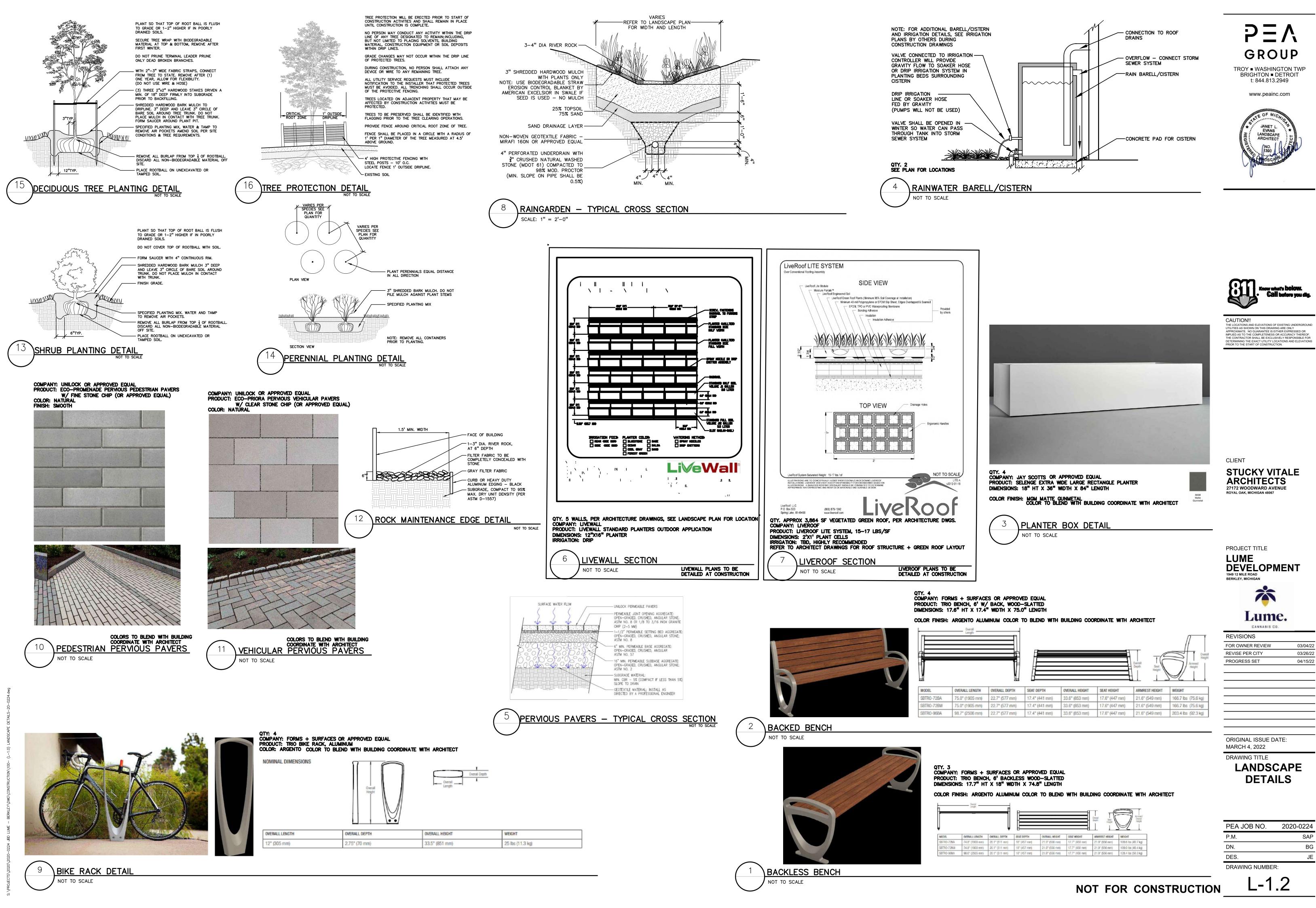
TROY 
WASHINGTON TWP BRIGHTON 

DETROIT

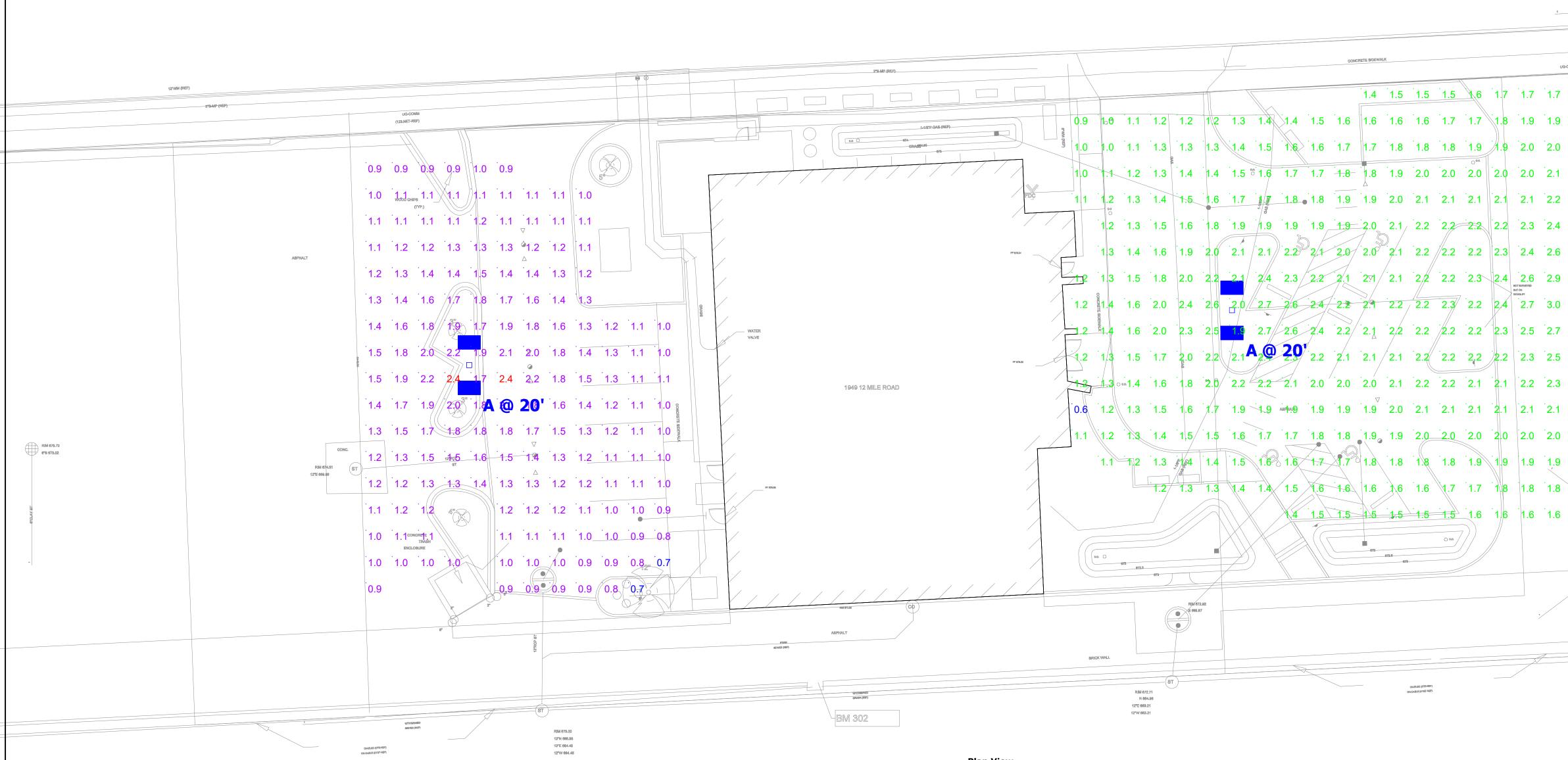


PLANT	LIST:			
YMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
AC	Nodding Onion	Allium Cernuum	1 Gal.	Cont.
CP	Prairie Coreopsis	Coreopsis palmata	1 Gal.	Cont.
S24	Kelseyi Dwarf Dogwood	Cornus sericea 'Kelseyi'	24" Ht.	Cont.
EP	Pale Purple Coneflower	Echinacea pallida	1 Gal.	Cont.
GT	Prairie Smoke	Geum triflorum	1 Gal.	Cont.
LS	Great Blue Lobelia	Lobelia siphilitica	1 Gal.	Cont.
PD	Foxglove Beardtongue	Penstemon Digitalis	1 Gal.	Cont.
SH	Prairie Dropseed	Sporobolus heterolepis	1 Gal.	Cont.
SL	Smooth Blue Aster	Symphyotrichum laeve	1 Gal.	Cont.
PLANT	s			

L-1.1



PEA JOB NO.	2020-0224
P.M.	SAP
DN.	BG
DES.	JE
DRAWING NUMBER	र:



TWELVE MILE ROAD

NORTH LINE OF SECTION 17

# General Note

West Lot

- 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' 0"
- 3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Schedule														
Symbol	Label	Quantity	Manufacturer	Catalog N	lumber	Descri	iption			Lamp	Lum Po Lai	er	Light Loss Factor	Wattage
•	Α	4	Lithonia Lighting	DSX0 LED MVOLT	P4 40K T5W	DSX0 I	LED P4 40K T5W N	IVOLT		LED	108	89	0.9	184
Statis	stics									1	•			
Desc	riptio	n			Symb	ol	Avg	Мах	Min	Max/Min	Avg/M	in	Avg	/Max
East L	ot				+		1.9 fc	3.3 fc	0.6 fc	5.5:1	3.2:1		0.	6:1

1.3 fc | 2.4 fc | 0.7 fc |

3.4:1

1.9:1

0.5:1

Plan View Scale - 1" = 12ft

2       2.3       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.4       2.5       2.6       2.6       2.5       2.4       2.4       2.4       2.5       2.6       2.6       2.4       2.2       2.2       1.9       1.6       1.4       1.3       1.2         3       2.8       2.6       2.6       2.5       2.5       2.5       2.5       2.5       2.5       2.6       2.6       2.4       2.1       1.7       1.5       1.4       1.3       1.2         3       3.2       3.1       3.0       2.7       2.6       2.5       2.6       2.8       3.1       3.2       2.7       2.7       2.7       2.3       1.8       1.5       1.4       1.2         3.2       3.3       3.2       3.0       2.8       2.6       2.5       2.6 <th></th>	
Normalian         Normalian         1.5       1.4       1.4       1.3       1.3       1.2       1.2       1.0       0.9         7       1.7       1.8       1.8       1.8       1.8       1.8       1.8       1.8       1.8       1.8       1.7       1.6       1.6       1.5       1.4       1.4       1.3       1.1       1.0       0.9         7       1.7       1.8       1.8       1.8       1.7       1.6       1.6       1.5       1.4       1.4       1.3       1.1       1.0       0.9         2.0       2.0       2.0       2.0       2.0       2.0       2.0       1.9       1.8       1.7       1.6       1.5       1.4       1.3       1.2       1.1         2.0       2.0       2.0       2.0       2.0       2.0       2.0       1.9       1.8       1.7       1.6       1.5       1.4       1.3       1.2       1.1         2.1       2.2       2.2       2.2       2.2       2.1       1.7       1.6       1.4       1.3       1.2         2.3       2.4       2.4       2.4       2.5       2.6	
7       1.7       1.8       1.8       1.8       1.8       1.8       1.8       1.8       1.7       1.7       1.6       1.6       1.5       1.4       1.4       1.3       1.1       1.0         9       1.9       1.9       2.0       2.0       2.0       2.0       2.0       1.9       1.9       1.8       1.8       1.7       1.6       1.5       1.4       1.3       1.1       1.0         0       2.0       2.0       2.1       2.1       2.1       2.1       2.1       2.0       2.0       1.9       1.8       1.7       1.6       1.5       1.4       1.3       1.2       1.1         1       2.1       2.2       2.2       2.3       2.3       2.3       2.3       2.3       2.3       2.3       2.4       2.4       2.4       2.3       2.3       2.4       2.4       2.4       2.5       2.6       2.6       2.6       2.4       2.1       1.7       1.6       1.5       1.4       1.3       1.2         2.3       2.4       2.4       2.4       2.4       2.5       2.6       2.6       2.6       2.6       2.6       2.6       2.6       2.6       2.6	
9       1.9       1.9       1.9       2.0       2.0       2.0       2.0       1.9       1.9       1.8       1.8       1.7       1.6       1.5       1.5       1.3       1.2       1.1         0       2.0       2.0       2.1       1.1       1.3       1.2       1.4       1.3       1.2         2.1       2.4       2.4       2.4       2.4       2.4       2.2       2.2       1.1       1.7       1.5       1.4       1.2         2.8       2.6       2.5       2.6 </th <th></th>	
0       2.0       2.0       2.1       1.1       1.5       1.4       1.3       1.2         2       2.3       2.4       2.4       2.4       2.4       2.5       2.6       2.4       2.5       2.5       2.6       2.6 </th <th></th>	
1       2.1       2.2       2.2       2.3       2.1       1.9       1.7       1.6       1.4       1.3       1.2         2       2.3       2.4       2.4       2.4       2.4       2.4       2.4       2.5       2.6       2.6       2.4       2.2       2.2       1.9       1.6       1.4       1.3       1.2         4       2.6       2.7       2.7       2.6       2.5       2.5       2.7       2.8       2.6       2.4       2.1       1.7       1.5       1.4       1.3       1.2         3       3.2       3.1       3.0       2.7       2.6       2.5       2.6       2.6       2.5       2.3       2.2       1.8       1.5       1.4       1.2         3.2       3.2       3.2       3.2       2.7       2.3       2.8       2.4       2.1       1.8       1.5	
4       2.6       2.7       2.7       2.6       2.6       2.4       2.4       2.4       2.4       2.5       2.6       2.6       2.2       1.9       1.6       1.4       1.3       1.2         5       2.8       2.8       2.6       2.9       2.7       2.6       2.5       2.5       2.7       2.8       2.8       2.6       2.4       2.1       1.7       1.5       1.3       1.2         6       2.8       3.2       3.1       3.0       2.7       2.6       2.5       2.6       2.8       3.1       3.2       3.2       2.7       2.7       2.3       1.8       1.5       1.4       1.2         3.1       2.8       2.6       2.5       2.6       2.7       2.8       2.8       2.7       2.3       1.8       1.5       1.4       1.2         3.2       3.3       3.2       3.0       2.8       2.6       2.5       2.6       2.7       2.8       2.8       2.3       2.4       2.1       1.8       1.5       1.3       1.2         7       2.8       2.6       2.5       2.4       2.4       2.4       2.3       2.3       2.2       2.0       1.8	
5       2.8       2.8       2.6       2.9       2.7       2.6       2.5       2.5       2.5       2.7       2.8       2.8       2.6       2.4       2.1       1.7       1.5       1.3       1.2         9       3.1       3.2       3.1       3.0       2.7       2.6       2.5       2.6       2.8       3.1       3.2       3.2       3.1       1.2       1.4       1.2         9       3.1       3.2       3.0       2.8       2.6       2.7       2.7       2.7       2.3       1.8       1.5       1.4       1.2         9       3.1       3.2       3.0       2.8       2.6       2.5       2.6       2.7       2.8       2.6       2.7       2.3       1.8       1.5       1.4       1.2         10       3.2       3.0       2.8       2.6       2.5       2.6       2.6       2.5       2.3       2.2       1.9       1.6       1.5       1.3       1.2         12       2.6       2.6       2.7       2.6       2.5       2.4       2.4       2.3       2.3       2.2       2.0       1.8       1.6       1.4       1.3       1.2	
9       3.1       2.8       3.2       3.1       3.0       2.7       2.6       2.8       3.1       3.2       3.2       2.7       2.7       2.3       1.8       1.5       1.4       1.2         0       3.2       3.3       3.2       3.0       2.8       2.6       2.5       2.6       2.7       2.8       2.8       2.5       A       0       2.5       1.8       1.5       1.3       1.2         7       2.8       2.5       A       0       2.5       2.6       2.5       2.6       2.5       2.6       2.5       2.3       2.2       1.9       1.6       1.5       1.3       1.2         7       2.8       2.6       2.5       2.4       2.5       2.5       2.6       2.6       2.5       2.3       2.2       1.9       1.6       1.5       1.3       1.2         7       2.8       2.6       2.7       2.6       2.5       2.4       2.4       2.4       2.3       2.3       2.2       1.0       1.8       1.6       1.4       1.3       1.2         3       2.4       2.5       2.5       2.4       2.4       2.3       2.3       2.2       2.	
3.2       3.3       3.2       3.0       2.8       2.6       2.7       2.8       2.8       2.5       A 26       20       2.1       1.8       1.5       1.3       1.2         7       2.8       2.5       A 20       2.0       2.8       2.6       2.5       2.4       2.5       2.6       2.6       2.5       2.3       2.2       1.9       1.6       1.5       1.3       1.2         7       2.8       2.6       2.7       2.6       2.5       2.4       2.5       2.5       2.6       2.6       2.5       2.3       2.2       1.9       1.6       1.5       1.3       1.2         3       2.4       2.5       2.5       2.4       2.4       2.4       2.3       2.3       2.2       2.0       1.8       1.6       1.4       1.3       1         1       2.1       2.2       2.2       2.2       2.1       2.0       1.9       1.7       1.6       1.5       1.4       1.3       1.1         1       2.1       2.2       2.2       2.2       2.1       2.0       1.9       1.7       1.6       1.5       1.4       1.3       1.2       1.1	
7       2.8       2.5       A       Q       20       2.8       2.6       2.5       2.6       2.6       2.5       2.3       2.2       1.9       1.6       1.5       1.3       1.2         5       2.6       2.6       2.7       2.6       2.5       2.4       2.4       2.4       2.4       2.3       2.3       2.2       2.0       1.8       1.6       1.4       1.3       1       2         3       2.4       2.5       2.5       2.4       2.4       2.4       2.4       2.3       2.3       2.2       2.0       1.8       1.6       1.4       1.3       1       2         3       2.4       2.5       2.5       2.4       2.4       2.3       2.3       2.2       2.0       1.8       1.6       1.4       1.3       1         1       2.1       2.2       2.2       2.2       2.2       2.1       2.0       1.9       1.7       1.6       1.5       1.4       1.3       1.2       1.1         0       2.0       2.0       2.1       2.1       2.0       2.0       1.9       1.8       1.7       1.6       1.5       1.4       1.4       1.3	
5       2.6       2.6       2.7       2.6       2.5       2.4       2.4       2.4       2.4       2.3       2.3       2.2       2.0       1.8       1.6       1.4       1.3       1         3       2.4       2.5       2.5       2.4       2.4       2.3       2.3       2.2       2.1       2.0       1.8       1.6       1.4       1.3       1         1       2.1       2.2       2.2       2.2       2.1       2.0       1.9       1.7       1.6       1.5       1.4       1.3       1         1       2.1       2.2       2.2       2.2       2.2       2.1       2.0       1.9       1.7       1.6       1.5       1.4       1.3       1.1         1       2.1       2.2       2.2       2.2       2.2       2.1       1.0       1.9       1.7       1.6       1.5       1.4       1.3       1.2       1.1         1       2.0       2.0       2.0       1.9       1.8       1.7       1.6       1.5       1.4       1.4       1.3       1.2       1.1       1.0         2       1.9       1.9       1.8       1.8       1.7       1.	
1       2.1       2.2       2.2       2.2       2.2       2.1       2.0       1.9       1.9       1.7       1.6       1.5       1.4       1.3       1.2       1.1         0       2.0       2.0       2.1       2.1       2.0       1.9       1.9       1.7       1.6       1.5       1.4       1.3       1.2       1.1         0       2.0       2.1       2.1       2.0       1.9       1.8       1.7       1.6       1.5       1.4       1.3       1.2       1.1         0       2.0       2.1       2.1       2.1       2.0       2.0       1.9       1.8       1.7       1.6       1.5       1.5       1.3       1.2       1.1       1.0         9       1.9       1.9       1.8       1.8       1.7       1.6       1.5       1.4       1.4       1.3       1.1       1.0       0.9         9       1.9       1.9       1.8       1.8       1.7       1.6       1.6       1.5       1.4       1.4       1.3       1.1       1.0       0.9         8       1.8       1.8       1.7       1.7       1.7       1.6       1.5       1.4	
0       2.0       2.0       2.1       2.1       2.1       2.1       2.1       2.0       2.0       1.9       1.8       1.7       1.6       1.5       1.3       1.2       1.1       1.0         9       1.9       1.9       1.9       1.8       1.7       1.6       1.5       1.5       1.3       1.2       1.1       1.0         9       1.9       1.9       1.9       1.8       1.7       1.6       1.5       1.4       1.4       1.3       1.1       1.0       0.9         9       1.9       1.9       1.9       1.8       1.8       1.7       1.6       1.5       1.4       1.4       1.3       1.1       1.0       0.9         8       1.8       1.8       1.8       1.7       1.6       1.5       1.4       1.4       1.3       1.1       0.9       0.8	
9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.	
BISTR 602.27 3 1.8 1.8 1.8 1.8 1.7 1.7 1.7 1.6 1.6 1.5 1.4 1.4 1.3 1.2 1.2 1.1 0.9 0.8	
6 1.6 1.6 1.6 1.6 1.6 1.5 1.5 1.5 1.4 1.3	
PGUNIOT         RIM 570.96           (FULLDEBRIS)         8W 680.46	
ATES	5
ERKLEY C SITE PLAN ASSOCIATES	
LUME B BHOTOMETRI GASSER BUSH	
D-Series Size 0	
d"series is it is item is an A+ capable luminaire, which has been	
Specifications designed and tested to provide consistent color appearance and system-level interoperability.	
Length: 26" 160 mm 400	
Width:       13"       Controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1         Height:       7"       L       Image: Controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1	
Weight (max): 16 lbs (725\u0)	
w simple commissioning, when ordered with drivers and control options marked by a shaded background <sup>1</sup> To learn more about A+,	
visit <u>www.acuitybrands.com/aplus</u> . 1. See ordering tree for details. 2. A+ Certified Solutions for ROAM require the order	
A+ Capable options indicated by this color background.	
Ordering Information EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DDBXD	
DSX0 LED         LEDs         Cofor temperature         Distribution         Voltage         Mounting	
DSX0LED         Forward optics         30K         300 K         T1S         Type I short         TSS         Type V short         MV0LT 45         Shipped included           P1         P4         P7         40K         4000 K         T2S         Type I short         T5M         Type V medium         120 %         SPA         Square pole mounting           P2         P5         S0K         5000 K         T2M         Type II medium         T5W         Type V wide         208 <sup>14</sup> RPA         Round pole mounting	
P3     P6     AMBPC     Amber phosphor converted*     T3S     Type II short     BLC     Backlight control <sup>12</sup> 240 %     WBA     Wall bracket       Rotated optics     converted*     T3M     Type II medium     LCC0     Left correr cutol <sup>17,1</sup> 277 %     SPUMBA     Square pole universal mounting adaptor *       P10'     P12'     T4M     Type IV medium     RCC0     Right correr     347 %**     RPUMBA     Round pole universal mounting adaptor *       P11'     P12'     T5TM     Expresent threes     cutolf <sup>172</sup> 490 %*/     Shineed executolfs/     Shineed executolfs/	
P11' P13' TFTM Forward throw cutoff's 480 %3 Shipped separately medium TSVS Type V very short (specify finish)*	
Control options Other options Finish acquired	
Shipped installed     PIRH1FC3V     Bi-level, motion/ambient sensor, 15-30 mounting height, ambient sensor, enabled at 1k <sup>±10.4</sup> Shipped installed     DOBXD     Data bronze       PER     NEMA twist-lock receptace only (control ordered separate) <sup>10</sup> BL30     Bi-level switched dimming, 30% 5%/r     Shipped installed     DDBXD     Data bronze       SF     Single fuse (120, 277, 3470) <sup>10</sup> DNAXD     Matural aluminum	
PERS     Five-wire receptade only (control ordered separate)     I/I/I       PERS     Seven-wire receptade only (control ordered separate)     I/I/I       PER7     Seven-wire receptade only (control ordered separate)     I/I/I       DMG     0-10V dimming extend out back of housing for external control (control ordered separate)     I/I     DF     Duble fase (208, 240, 480V) <sup>A</sup> DWHXD     White       DMG     0-10V dimming extend out back of housing for external control (control ordered separate)     PArt reight, dim till dawn <sup>3/B</sup> DF     Duble fase (208, 240, 480V) <sup>A</sup> DWHXD     White       DMG     0-10V dimming extend out back of housing for external control (control ordered separate)     Part reight, dim till dawn <sup>3/B</sup> B90     Right rotated optics <sup>1</sup> DBLXD     Textured black     DB	
PIR       6-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 55 <sup>c</sup> . <sup>112,M</sup> PMMT603       Part night, dim 6 hrs. <sup>110</sup> DDL       Diffused dop lens. <sup>10</sup> DMATXD       Textured natural aluminum         PIRH       8-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 55 <sup>c</sup> . <sup>112,M</sup> PMMT603       Part night, dim 6 hrs. <sup>110</sup> DDL       Diffused dop lens. <sup>10</sup> DMATXD       Textured natural aluminum       D03/28/2022         PIRHN       Network, Bi-Level motion/ambient sensor <sup>II</sup> FAO       Heid adjustable output <sup>III</sup> BS       Bird spikes <sup>10</sup> DWHGXD       Textured white       03/28/2022       04/18/2022	
Disklow       Disklow       Disklow       Disklow       Disklow       Disklow       Disklow         Image: State of the state of	

QUICK CALC V2 **1 of 1** 





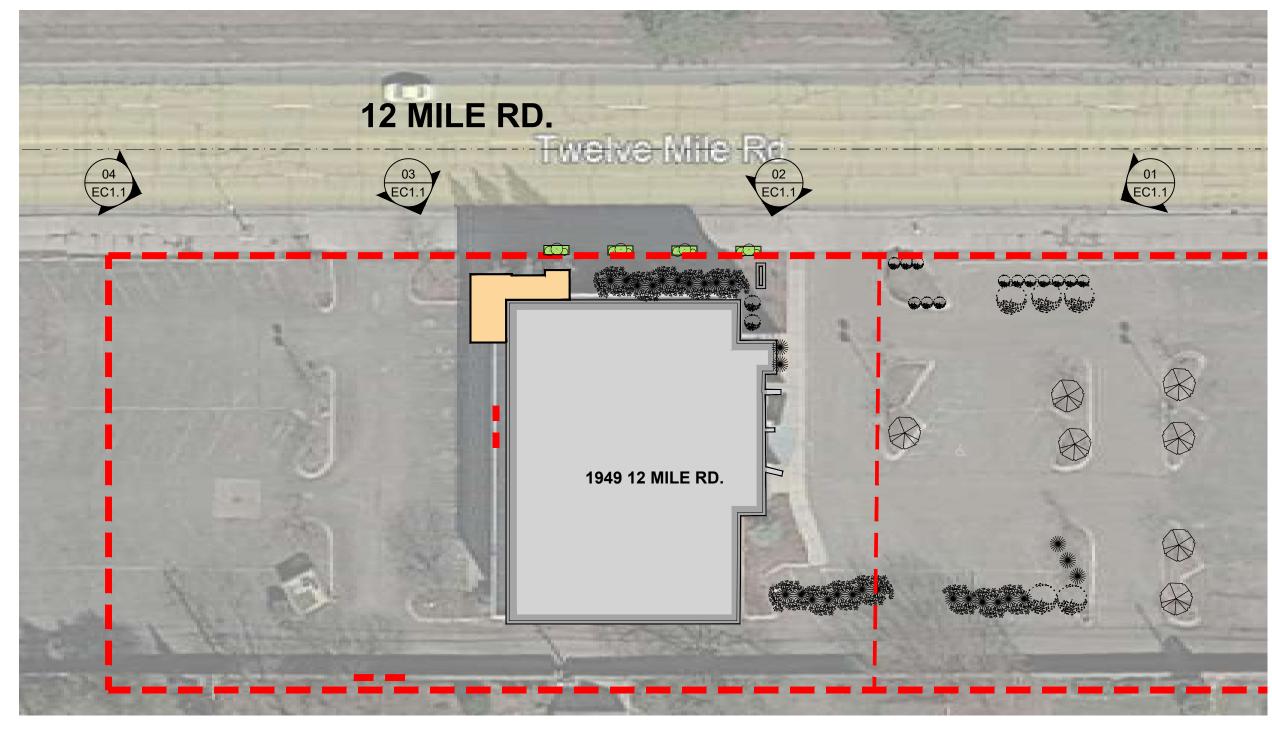




LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI

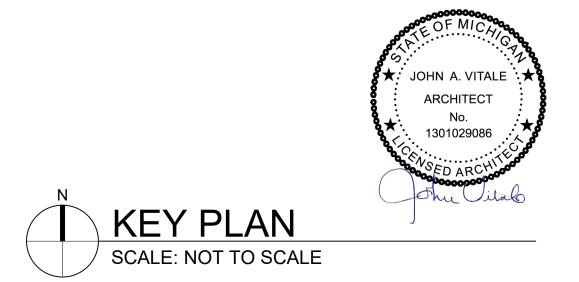






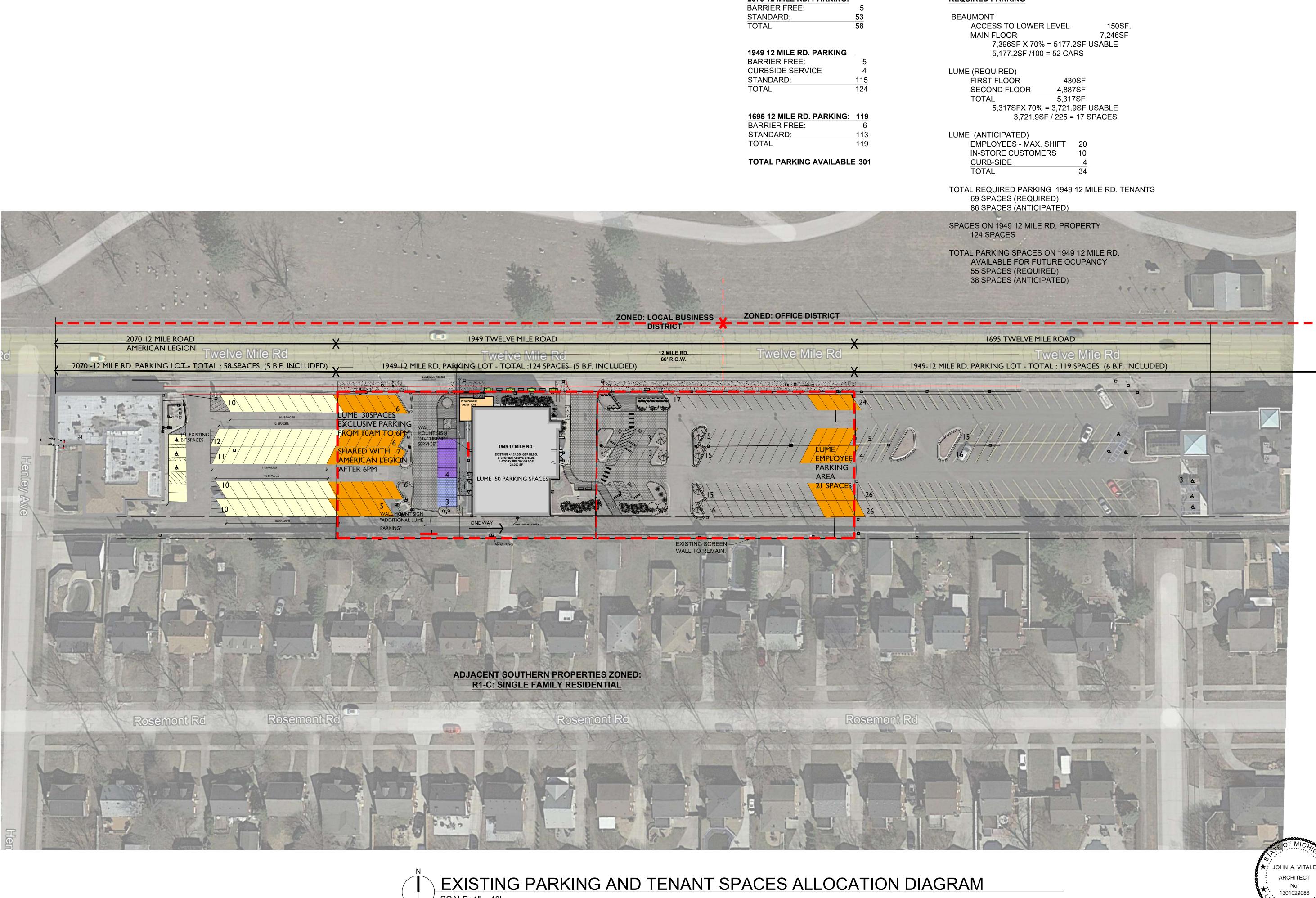
# CONCEPTUAL DESIGN PACKAGE

# Ζ 5 Q ш $\mathbf{m}$ Ш SHEET: EC1.1



SITE PLAN APPROVAL

APRIL25, 2022





LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI

2070 12 MILE RD. PARKING BARRIER FREE:	<u>:</u> 5	REC
STANDARD:	53	BE
TOTAL	58	
<u>1949 12 MILE RD. PARKING</u> BARRIER FREE:	5	
CURBSIDE SERVICE	4	LUN
STANDARD:	115	LON
TOTAL	124	
1695 12 MILE RD. PARKING		
BARRIER FREE:	6	
STANDARD:	113	LUN
TOTAL	119	

SCALE: 1" = 40' TOTAL PARKING EAST AND WEST SIDE 301

# CONCEPTUAL DESIGN PACKAGE

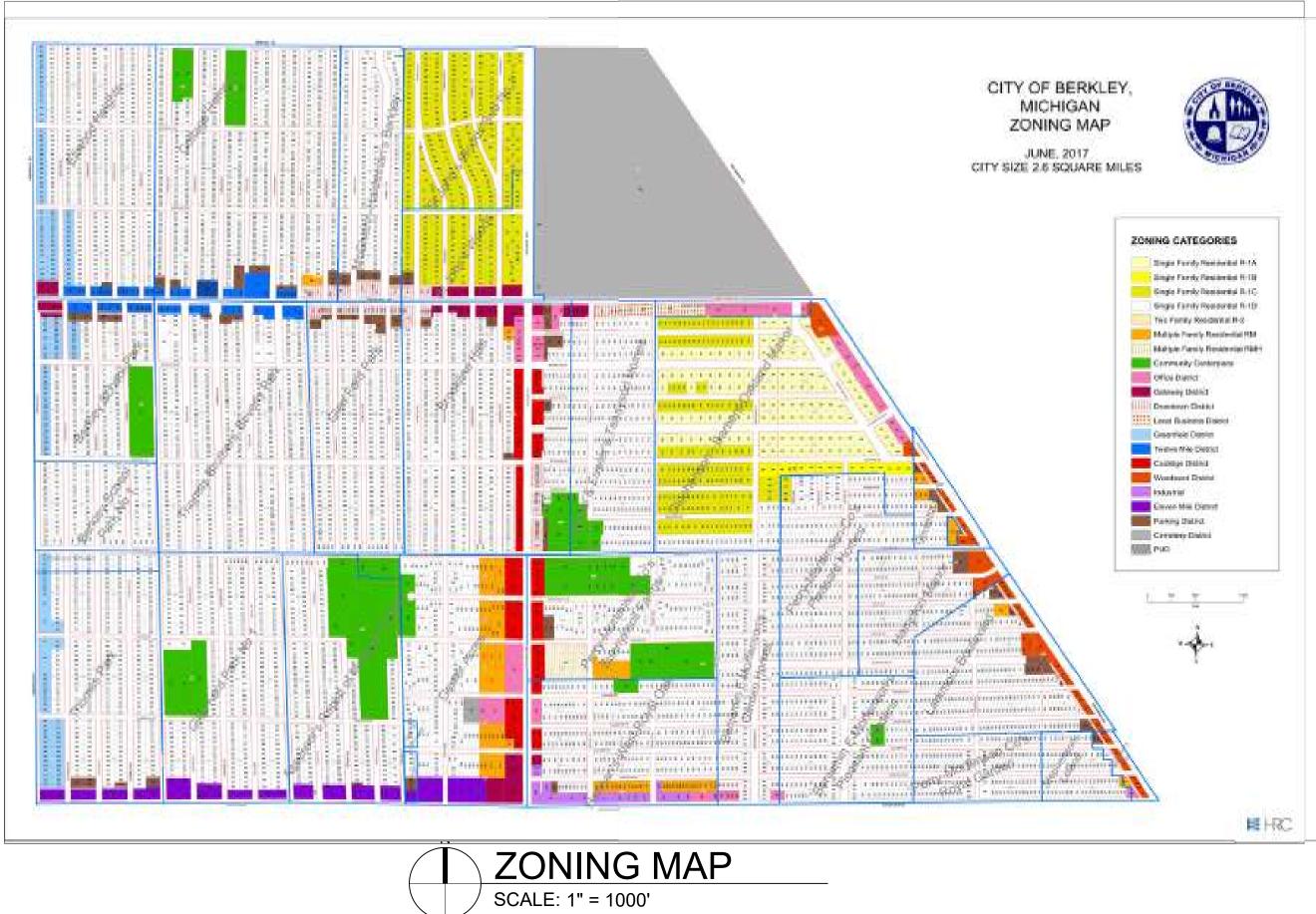
# EQUIRED PARKING

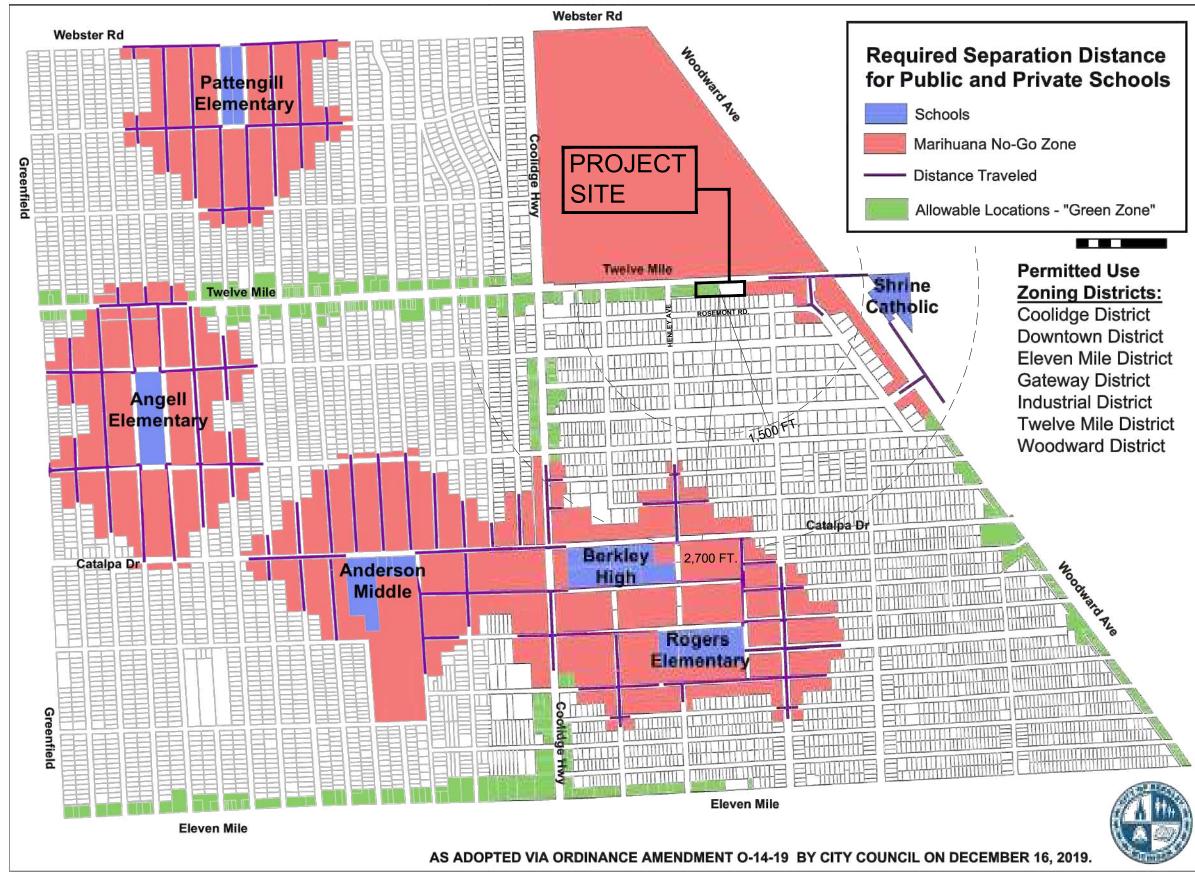


**SP01** 

# SITE PLAN APPROVAL

APRIL 25,2022





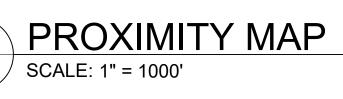




LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI

\* THE PROPOSED USE DOES NOT REQUIRE ANY ZONING MAP AMENDMENTS OR VARIANCES AT THE TIME OF APPLICATION

# CITY OF BERKLEY - MARIHUANA BUSINESS ALLOWABLE LOCATION MAP



# Key Terms Defined:

**Common Control:** contract, or otherwise.

Managing Stakeholder:

**Redevelopment:** previous development

Scientifically backed: As included in point value 12, scientifically backed shall refer to stormwater management systems that are supported and "green infrastructure" by the U.S. Environment Protection Agency.

Stakeholder:

Requirements*	Pass/Fail
Application submitted has all required materials	P/F
Subject Parcel falls outside of designated proximity to a school	P/F
Cannabis business complies with Existing Zoning	P/F
Off-street parking requirements for retail use has been met, per Section 138-219 of the Zoning Ordinance.	P/F
Odor control system preventing dispersion in neighborhood	P/F
All disclosed stakeholders are clear of recorded detrimental acts to public good	P/F
*These items must all be satisfied to be considered for the point evaluation.	

Adopted by City Council Resolution R-01-20 on February 3, 2020

The proposed uses sub scores.



# CITY OF BERKLEY MARIHUANA BUSINESS LICENSE APPLICATION EVALUATION MERIT POINT SYSTEM

For purposes of these criteria, under common control means having the power to direct or cause the direction of management, operations, and policies of a person, organization, or entity, whether by stock ownership, voting rights,

For purposes of these criteria, Managing stakeholder refers to any stakeholder or employee involved in managing the business or making management decisions.

For purposes of these criteria, redevelopment means any proposed expansion, addition, or major facade change to an existing building, structure, or parking facility. Site redevelopment includes equal or greater stormwater control than the

As outlined within the Licensing ordinance (Chapter 30 Article XV), stakeholder means, with respect to a trust, the trustee and beneficiaries; with respect to a limited liability company, all members and managers; with respect to a corporation, whether profit or non-profit, all stockholders, directors, corporate officers or persons with equivalent titles; and with respect to a partnership or limited liability partnership, all partners and investors.

Merit Based Criteria	Point Value**
<ul> <li>Applicant can demonstrate the ability to successfully operate a marihuana business by means of:</li> <li>-Has a supply with a State licensed cultivation facility. (Sub score: 16)</li> <li>-At least one Managing Stakeholder demonstrates at least 1 year of experience operating a licensed marihuana business (caregiver, provisioning, grower, etc.) in Michigan. (sub score: 5)</li> <li>-At least one Managing Stakeholder demonstrates at least 1 year of experience operating a licensed marihuana business (caregiver, provisioning, grower, etc.) in Michigan. (sub score: 5)</li> <li>-At least one Managing Stakeholder demonstrates at least 1 year of experience operating a licensed marihuana business (caregiver, provisioning, grower, etc.) in other legal jurisdictions. (sub score: 5)</li> </ul>	26 (Total dependent on satisfaction of sub scoring)
Application Proposes the Redevelopment of Vacant or Underused building or property. (Defined as a structure or property that has been at least 50% vacant for a period of 4 months or longer)	25
Proposed redevelopment is comprised of a multi-tenant building or buildings, on the same or contiguous parcels. Separate tenant spaces within a single building must have separate means of public ingress/egress from the exterior or from a common lobby area.	24
All Managing Stakeholders can demonstrate a history of lawfully operating a business compliant with applicable federal, state, and local regulations.	23
Proposed development does not displace existing operational business in Berkley	22
The marihuana business and property are under common ownership or control	21
Proposed development demonstrates and provides physical improvements to the area around the property or other areas contiguous to the property: -Trees; noninvasive species (Sub score: 5) -Public art; e.g. murals, sculptures, installations as approved by appropriate body (Sub score: 5) -Green Space (Sub score: 5) -Public areas such as alleyways, parking areas, sidewalks, plazas, etc. (Sub score: 5)	20 (Total dependent on satisfaction of sub scoring)
Proposed Site is located in the following areas, as permitted by the Zoning Ordinance: Eleven Mile Road, Woodward Ave, Twelve Mile Road (Coolidge to Woodward)	19
Proposed redevelopment is projected to add 15 or more new jobs (includes cannabis and non- cannabis uses) The majority of the jobs must be full time.	18
At least one Stakeholder is either a current property owner in Berkley or is a current majority owner or stakeholder of an existing Berkley Business. (Purchase agreements or similar mechanisms do not count towards the majority ownership criteria.)	17
Proposed marihuana business property does not immediately abut or share a common boundary line with one-family residential zoned property. (For purposes of this criterion, parcels of property that are separated by a public or private street or alley are not considered to abut or to share a common boundary).	16
Application has disclosed 100% of owners and stakeholders, including those with less than 10% stake.	15
Proposed development eliminates or brings into compliance an existing nonconforming use or structure	14
Sustainable building materials and energy efficient elements will be used during construction and/or renovation of the structure.	13
Proposed development incorporates Green Infrastructure into Stormwater management plan: -Pervious Parking; e.g. pervious concrete or pavement, pavers, infiltration systems, etc. (Sub score: 4) -Green Roof (Sub score: 4) -Rain Garden, Bioswales, or Stormwater Planters (Sub score: 2) -Other scientifically backed stormwater infrastructure systems (Sub score: 2)	12 (Total dependent on satisfaction of sub scoring)
Application demonstrates benefits to the community other than an increase in taxable value	11
Proposed development adds streetscape elements to the publicly owned right-of-way, including but not limited to benches, bike racks, planters, etc.	10
The proposed uses do not require any zoning map amendments or variances at the time of application.	9







SHEET:

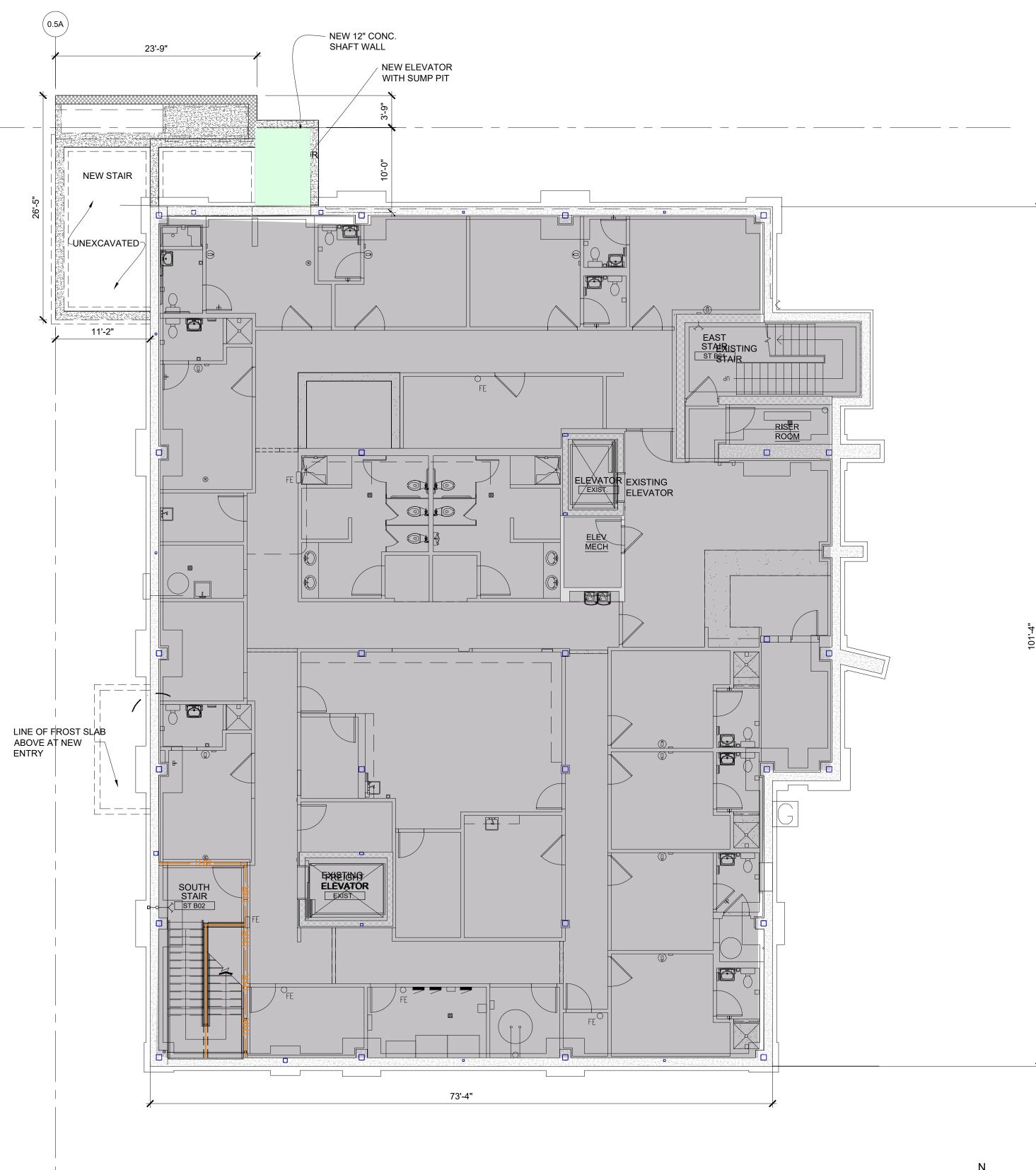
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SITE PLAN APPROVAL



APRIL 25, 2022



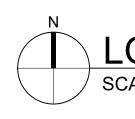


LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI

2020.154

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# CONCEPTUAL DESIGN PACKAGE



LUME TENANT SPACE	ØSF
VACANT TENANT SPACE :	7,666 SF
TOTAL GROSS AREA	7,666 SF



LOWER LEVEL FLOOR PLAN SCALE: 1/8" = 1'-0"

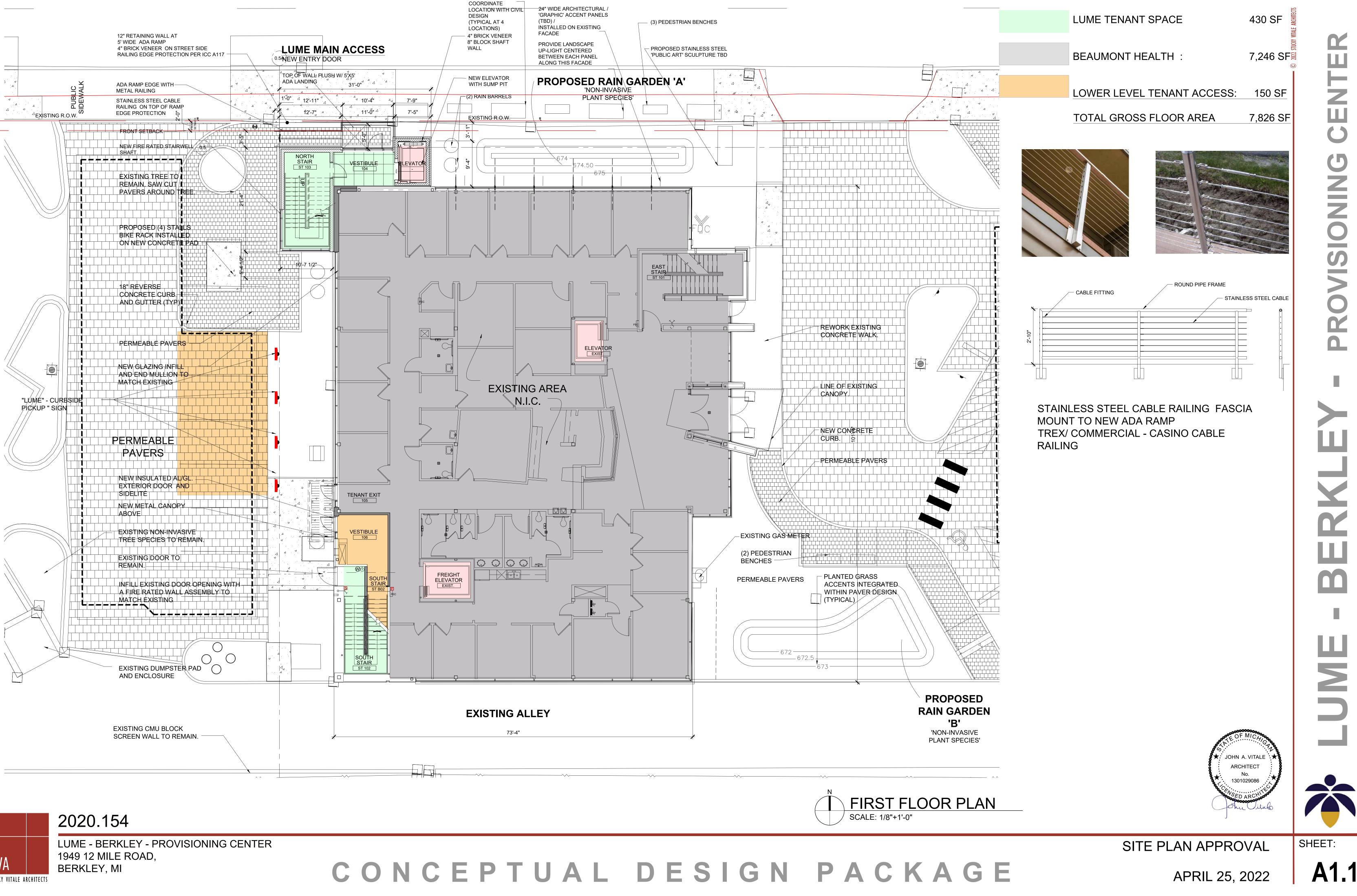




APRIL 25, 2022

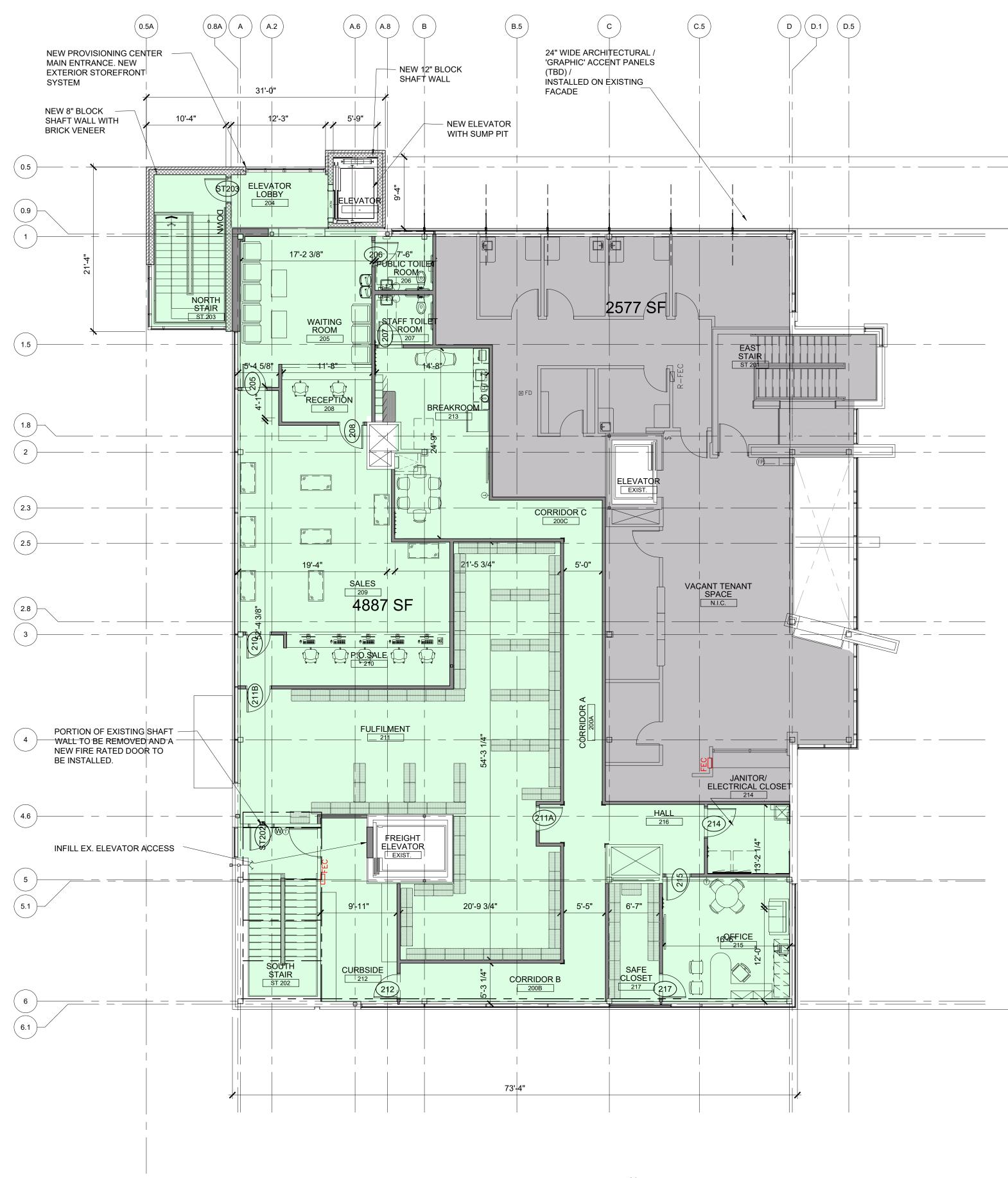
A1.0

SHEET:





STORM-WATER PLANTER BOXES





LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI SCALE: 1/8"+1'-0"

CONCEPTUAL DESIGN PACKAGE

UME	TENANT	SPACE

2,577 SF

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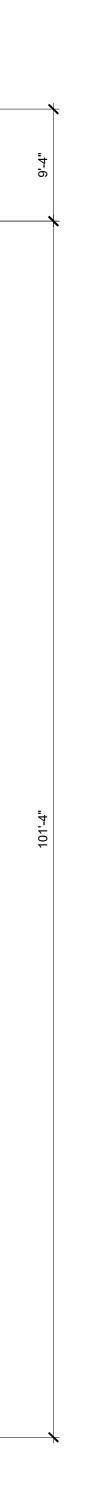
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VACANT SPACE :

TOTAL GROSS FLOOR AREA 7,464 SF

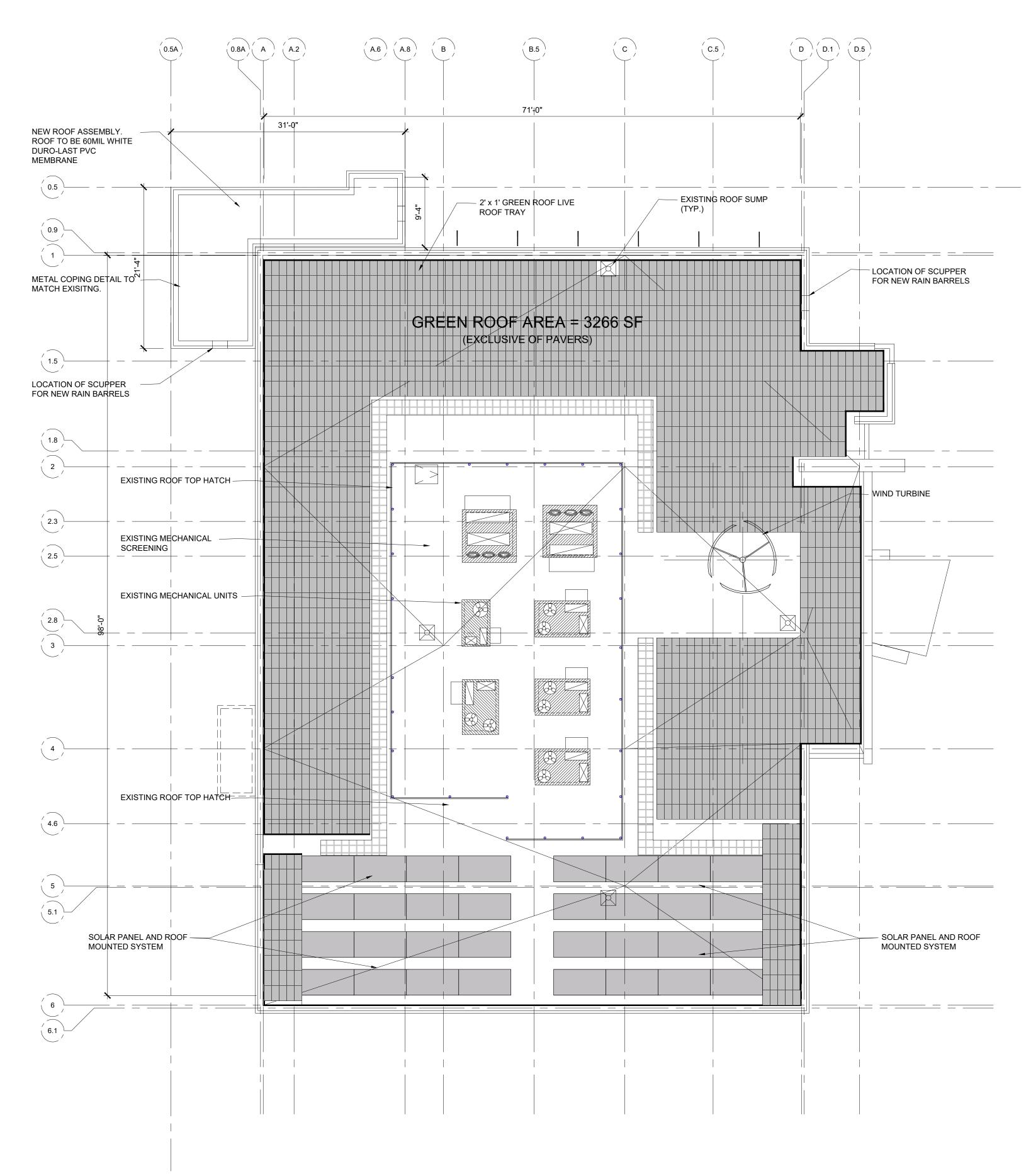




# SITE PLAN APPROVAL

SHEET: **A1.2** 

APRIL 25, 2022





2020.154

LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI





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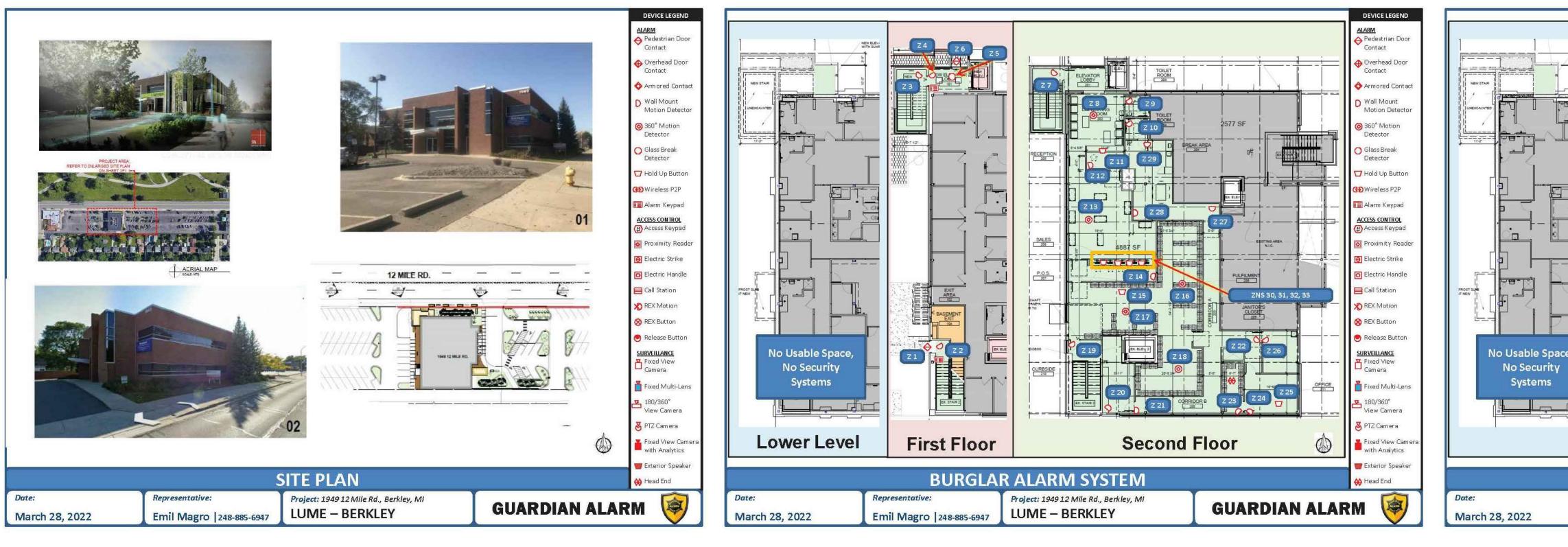


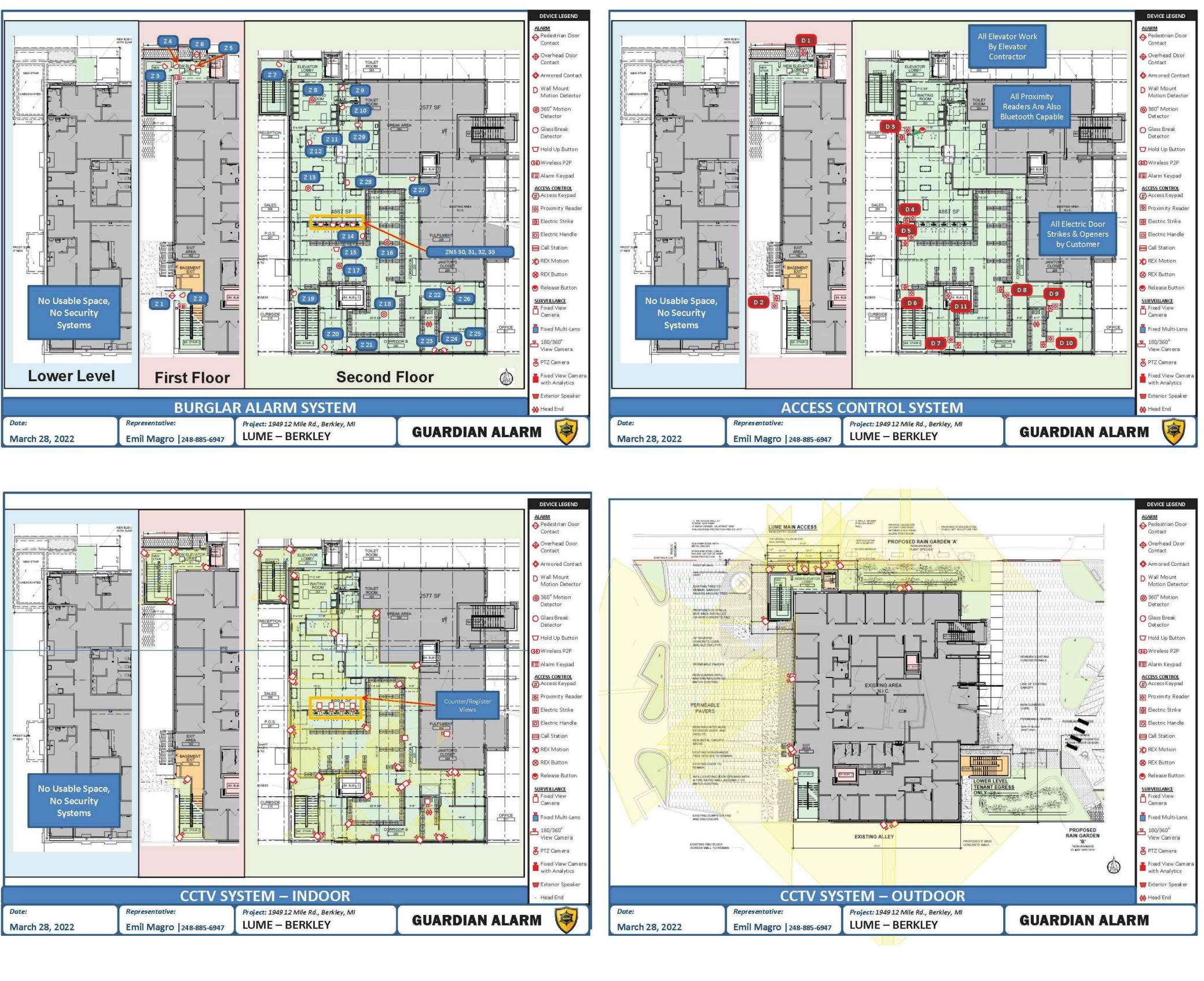
## SITE PLAN APPROVAL

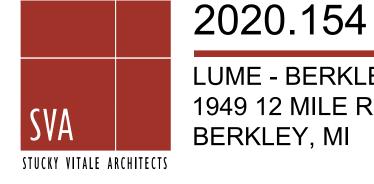
APRIL25, 2022

SHEET: A1.3









LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI



CONCEPTUAL DESIGN PACKAGE

APRIL 25, 2022

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SHEET:

A1.4



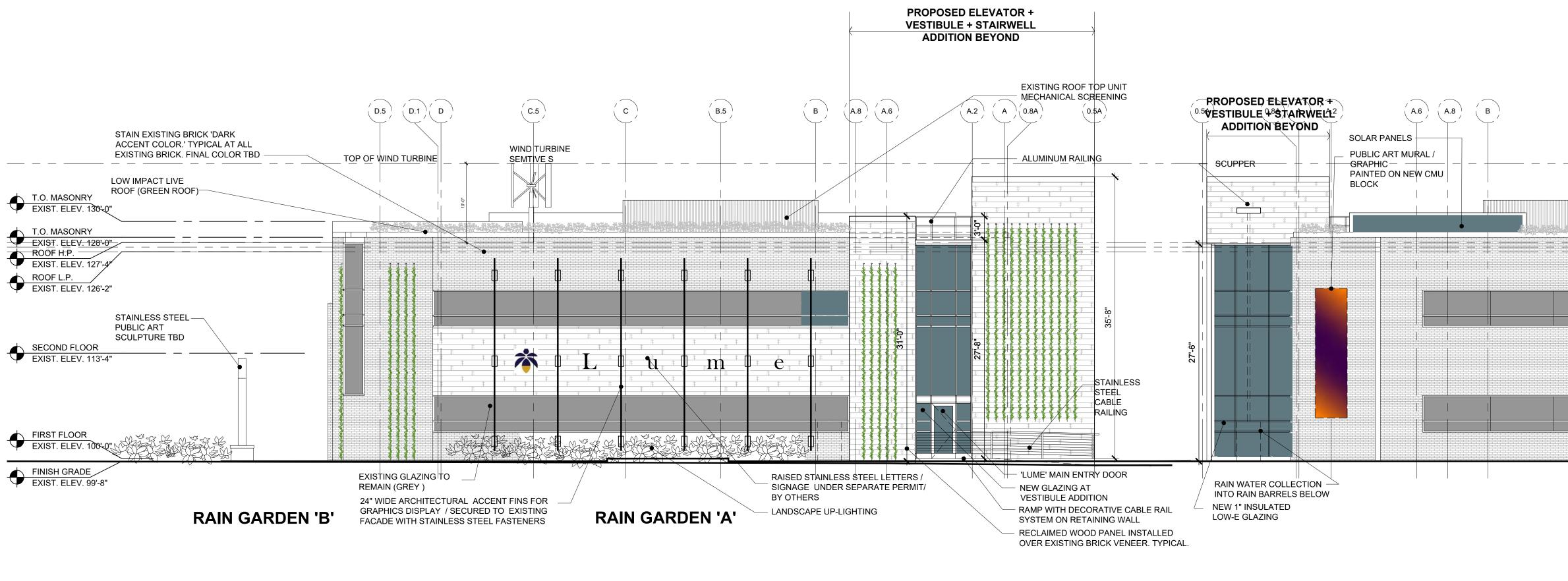
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LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI



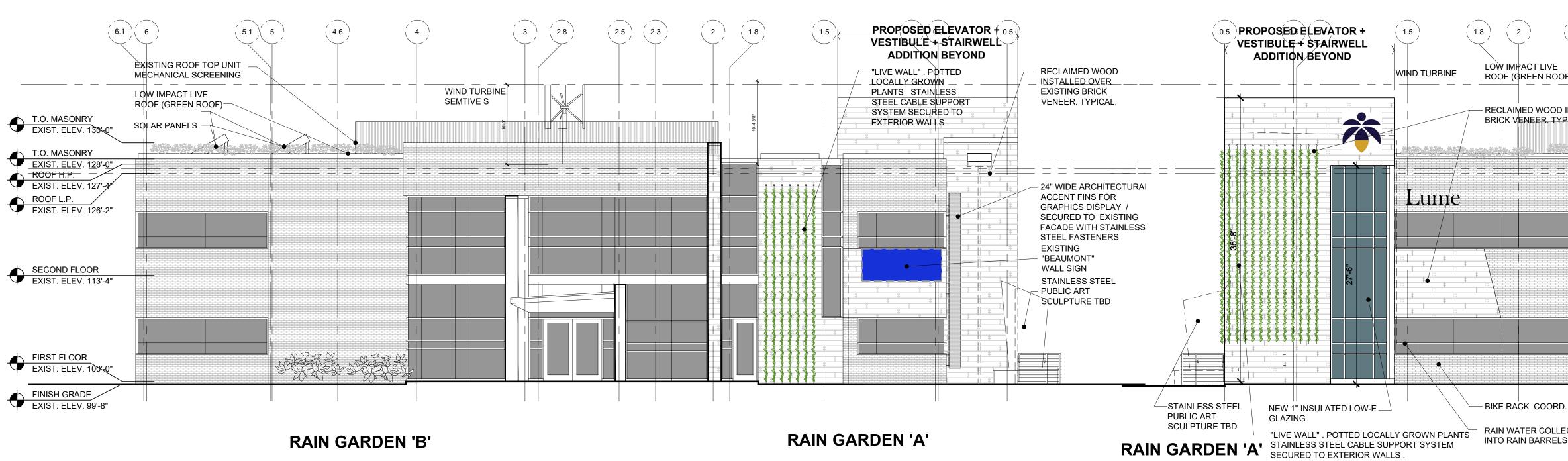
STUCKY VITALE ARCHITECTS

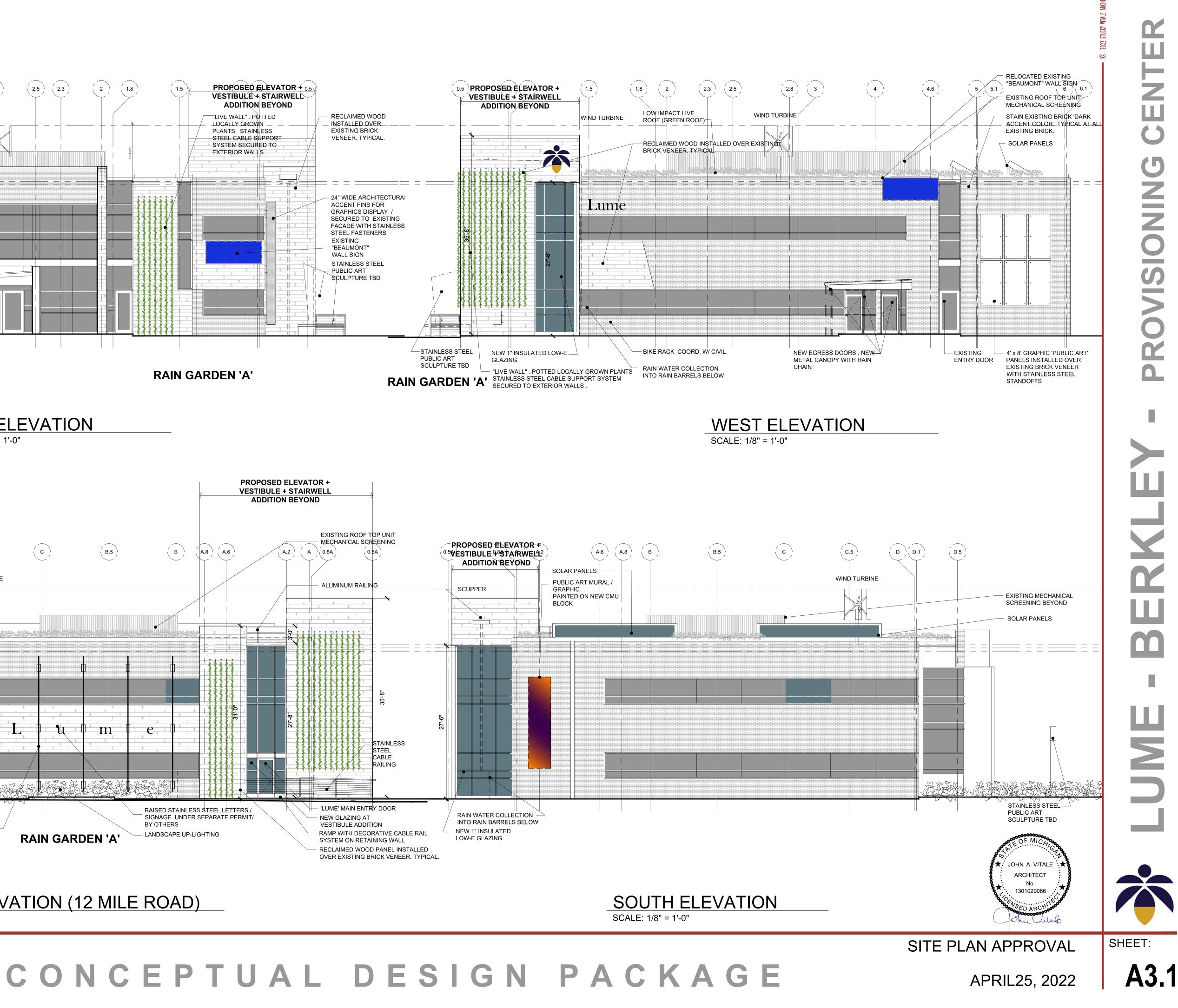
NORTH ELEVATION (12 MILE ROAD) SCALE: 1/8" = 1'-0"



EAST ELEVATION SCALE: 1/8" = 1'-0"



















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## NOTE:

THE IMAGERY ON THIS SHEET IS STRICTLY FOR GRAPHICAL **REPRESENTATION & MEANT TO** CONVEY OVERALL DESIGN INTENT.

**REFER TO SHEET A3.2 FOR** FURTHER INFORMATION ON EXTERIOR ELEVATIONS AND EXTERIOR MATERIALS





## 2020.154

LUME - BERKLEY - PROVISIONING CENTER 1949 12 MILE ROAD, BERKLEY, MI

# **02 - CONCEPTUAL BIRDSEYE AERIAL**



# CONCEPTUAL DESIGN PACKAGE





# **01 - CONCEPTUAL STREETVIEW PERSPECTIVE**

## SITE PLAN APPROVALUA





A3.3

SHEET:

APRIL25, 2022

June 20, 2022 City Council Meeting

Moved by Councilmember\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_to approve marihuana business license #PMA20-0015 for Quality Roots to be located at 3916 W. 11 Mile Road.

Ayes:

Nays:

Motion:



## **MEMORANDUM**

То:	Mayor Terbrack and City Council
From:	Matthew Baumgarten, City Manager
Date:	June 20, 2022
Subject:	Final Approval of Quality Roots for Marijuana Business License

In accordance with <u>Sec. 30-806</u> (g) I am recommending final license approval for Quality Roots operating at 3916 W. Eleven Mile. For reference, this is application number PMA20-0015 which received a final score of 310 out of 315. Final scores of all applicants can be found <u>here</u>.

After the application scoring and appeals process, Quality Roots was allowed to proceed to site plan review before the Planning Commission and has now obtained site plan approval (with conditions) from the Planning Commission. I have included the draft minutes from the May 24, 2022 regular meeting of the body. These minutes include an account of the public comment, Commissioners comments, as well as the motion for approval with conditions. The motion was unanimously approved by all five commissioners present at the meeting. A copy of the site plan and submitted materials can be viewed as part of the May 24<sup>th</sup> agenda packet here.

Since the May 24<sup>th</sup> Planning Commission meeting, the City has properly noticed this meeting and agenda item in accordance with the subsequent sections of the same ordinance (Sec. 30-806 (h) and (i)).

Should the City Council grant final approval of this license, then Sec. 30-806 (j) requires the following:

All marihuana business licenses shall be effective for one year following its original issuance date. Annual renewal of the license shall follow the process as outlined within this article. The improvements made pursuant to site plan approval by the planning commission shall be commenced after license approval by the city council and be completed within one year after the license is approved by the city council.

Thank you for you time and consideration on this matter,

Matthew Baumgarten Berkley City Manager

Application Number	Applicant Entity	Principal Address	Final Score as Adopted by City Council on January 18, 2022
PMA20-0003	Operation Grow / butter	2222 W. Eleven Mile Road	315
PMA20-0015	Quality Roots	3916 W. Eleven Mile Road	310
PMA20-0007	Yellow Tail Ventures LLC #1	3120 Eleven Mile	301
PMA20-0010	Attitude Wellness dba Lume	1949 Twelve Mile Road	301
PMA20-0029	Seven Points Dispensing of Michigan LLC	28557 Woodward Ave	301
PMA20-0025	Berkley Corners PRV LLC	28297 Woodward Ave.	297
PMA20-0011	Green Bronco III	2200 W. Eleven Mile Road	296
PMA20-0013	FPAW Michigan LLC	3750 W. Eleven Mile Road	289
PMA20-0024	3895 Euclid LLC dba Dispo	27733 Woodward Ave	286
PMA20-0002	Bud McCool's	27253 Woodward Ave	281
PMA20-0031	Oak Flint LLC	27723 Woodward Ave	279
PMA20-0005	BDE Warren LLC	2033 Coolidge	278
PMA20-0004	Nature's Remedy	2351 Twelve Mile Road	275
PMA20-0027	GS Ashley, LLC	3890 W. Eleven Mile Road	274
PMA20-0016	SJMB	3376 Twelve Mile Road	273
PMA20-0009	Yellow Tail Ventures LLC #2	28401 & 28453 Woodward	271
PMA20-0028	Warren Capital Holdings, LLC	2640 Eleven Mile Road	266
PMA20-0019	Pure Roots	28173 Woodward	265
PMA20-0023	Grassroots ReLeaf LLC	27423 Woodward AVe.	256
PMA20-0008	CAK Holdings	4129 Twelve Mile	242
PMA20-0012	DSD Investors LLC	3515 Twelve Mile Road	226
PMA20-0021	Leaf Master dba Puff Cannabis	3171 Twelve Mile Road	226
PMA20-0026	Fire Farm LLC	3670 Twelve Mile Road	217
PMA20-0030	Candid Labs LLC	28505 Woodward Ave	208
PMA20-0006	PBG Enterprises dba Pleasantrees	2448 Eleven Mile Road	DNQ
PMA20-0014	Berkley Herbal Center	3280 W. Eleven Mile Road	DNQ
PMA20-0017	123 Ventures	1716 Coolidge	DNQ
PMA20-0018	GS Bay City LLC	3800 W. Eleven Mile	DNQ
PMA20-0020	Pure Life I	2998 Eleven Mile Road	DNQ
PMA20-0022	Pure Life II	2114 Eleven Mile Road	DNQ
	Applicant is able to apply for Site Plan Review be	fore Planning Commission	
	Applicants are tied for third ranking but are able	to apply for Site Plan Review at own ri	isk.

## THE REGULAR MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:01 PM, MAY 24, 2022 AT BERKLEY CITY HALL BY CHAIR KRISTEN KAPELANSKI.

The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, on-demand, on the city's YouTube channel: https://www.youtube.com/user/cityofberkley.

PRESENT:	Kristen Kapelanski Greg Patterson Lisa Kempner	Joe Bartus Julie Stearn	
ABSENT:	Daniel Petrosky (Unexcused; pending re Shiloh Dahlin (Excused) Mark Richardson (Excused)	esignation)	
ALSO, PRESENT:	Ross Gavin, City Council Liaison Bill Scarmeas, 1878 Rosemont, Berkley Aaron Geyer, 1722 Roszel, Royal Oak Aric Klar, 637 Overbrook, Bloomfield To	rmeas, 1878 Rosemont, Berkley Seyer, 1722 Roszel, Royal Oak	

Motion by Commissioner Patterson to excuse the absences of Commissioner Dahlin and Commissioner Richardson. Motion supported by Commissioner Stearn.

Voice Vote to approve the absences of Commissioner Dahlin and Commissioner Richardson.

AYES: 5 NAYS: 0 ABSENT: Dahlin, Petrosky, Richardson

#### MOTION CARRIED

\* \* \* \* \* \* \* \* \*

#### **APPROVAL OF AGENDA**

Motion by Commissioner Kempner to approve the agenda supported by Commissioner Patterson. With clarification from Interim Community Development Director Masson-Minock stating under new business item one, the "on behalf" individuals stated after that has changed based on a request from the applicant.

Voice vote to approve the agenda

AYES: 5 NAYS: 0 ABSENT: Dahlin, Petrosky, Richardson

#### **MOTION CARRIED**

\* \* \* \* \* \* \* \* \*

#### **APPROVAL OF THE MINUTES**

Motion by Commission Kempner to approve the minutes from the regular Planning Commission meeting on April 26, 2022 and supported by Commissioner Bartus.

Approved Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Voice vote to approve the meeting minutes on April 26, 2022.

AYES: 5 NAYS: 0 ABSENT: Dahlin, Petrosky, Richardson

#### **MOTION CARRIED**

\* \* \* \* \* \* \* \* \*

#### **COMMUNICATIONS**

Community Development Department Report Emails from Mr. & Mrs. Scarmeas on Lume Email from Scott Gordon on Quality Roots

\* \* \* \* \* \* \* \* \*

#### **CITIZEN COMMENTS**

Robert Rivait, 4292 Ellwood - Addressed the Planning Commission on an Airbnb that is next to his property. Mr. Rivait stated that last month in April nine people were killed in an Airbnb. He stated that the Airbnb next to his house is a party house. Mr. Rivait stated the garbage has been constant and all over his yard. Across the country, they are trying to curtail or ban Airbnb's because they are taking always from our kids and the schools, the crime has increased tremendously with Airbnb's. You do not know who your neighbor is going to be and Mr. Rivait stated that they are parking in front of his garage/driveway.

\* \* \* \* \* \* \* \* \*

#### **OLD BUSINESS**

NONE

\* \* \* \* \* \* \* \* \*

#### **NEW BUSINESS**

1. <u>PSP-03-22: 1949 Twelve Mile - Lume:</u> Christopher Enright, on behalf of Attitude Wellness LLC and Monarch Acquisitions LLC, 1949 Twelve Mile Rd., Parcels #25-17-126-002 and #25-17-126-003, is requisition site plan approval for the conversion of 6,764 square feet of the existing building to a retail marihuana dispensary and office use for the remaining 17,677 square feet.

Interim Community Development Director Masson-Minock provided an overview of this applicant and highlights from the review letter with five suggested conditions of approval.

#### **APPLICANT PRESENTATION**

Chris Enright Christopher Enright Architects PC 628 E Parent Ave #106, Royal Oak, MI 48067

Mr. Enright clarified the changes that were made based on the discussion from when the sketch plan was before the Planning Commissions. Mr. Enright stated the plans with the most current submission include the entire parking lot.

#### PUBLIC COMMENT

Bill Scarmeas, 1878 Earlmont - Stated his objection on the dispensary location on 1949 Twelve Mile road. Mr. Scarmeas stated that his first concern is that this property backs up residents on Rosemont, being too close to residents affecting the property value. The second objection is that Lume will be 1,000 ft from a pre-existing private educational facility KinderCare. He also stated his concern on parking and traffic patterns along the Brookline entrance, with close proximity to KinderCare and kids getting picked up there. Mr. Scarmeas stated that he is opposed to this and hopes that the Planning Commission takes these points into consideration while voting on the final approval.

Larry Sermo, 1890 Rosemont - Stated that he lives right next to Bill Scarmeas and addressed concerns about drainage. Mr. Sermo stated that his house on Rosemont floods every time. Mr. Sermo stated that towards the end of the summer where KinderCare and the projected project is going there was a new parking lot put in about two years ago that is uneven, can't walk in it after it rains, and wondered if that drainage is going to be addressed? Mr. Sermo stated that last year the city brought out drain cleaners and the parking lot has not had much flooding since. The drains run through Rosemont to the back of that parking lot and there is an issue there and does not want to see this project put pavers in and ultimately rip them out again. Mr. Sermo stated that since this backs up to his lot, he does not want the lights shining in his yard, if there are shields that are going on these lights. Mr. Sermo stated he is worried about through traffic and what the city is going to do, and suggested putting no thru traffic signs up.

Larry Fonz, 1908 Rosemont - Mr. Fonz questioned the installation of the fan that is going on the building, how loud are the fans going to be, does it generate electricity?

Interim Community Development Director Masson-Minock addressed the question on lighting concerns from public comment.

Mr. Enright clarified the questions on the wind turbine as well as the drainage on Twelve Mile with parking and the sidewalk. Mr. Enright stated that since they will be changing the use and voluntarily making changes to the exterior of the site, it triggers the requirement that the entire property has to be brought up to current drainage standards. The drainage and parking will be improved.

Interim Community Development Director Masson-Minock included that there was a concern about the existing pipe lead. From HRC there was a requirement to have the sanitary lead inspected and video footage submitted to the city verifying the lead is suitable for reuse. The lead is suitable for use. Mr. Enright stated that the lead inspected was a sanitary sewer lead but the storm sewer pipe on site would be replaced.

The Planning Commission determined that the landscaping is adequate and meets the standards.

Commissioner Bartus stated that the shared parking agreement is something the city attorney would follow up with. The parking calculations look fine, and adequate for future use. He also addressed the RCOC permit on Twelve Mile. Commission Bartus also addressed two other items that will come later in the process of the application.

Commissioner Stearn asked Mr. Enright on clarification on the traffic pattern, arrows that are presented, stating that it is not wide enough for two cars and wants to ensure that Mr. Enright is going to have proper signage so people are not driving the wrong way.

Mr. Enright clarified and explained the intention and plan with the way the parking is and how the parking and traffic pattern will theoretically work.

Commissioner Stearn recommended a do not enter sign to help mitigate the traffic pattern.

Approved Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Motion by Commissioner Kempner to approve application PSP 03-22; with the condition that the applicant work with the City to work on signage for the alley direction and the items mentioned in the staff cover letter dated May 19, 2022, and a finding that the landscaping meets the site plan approval standards of Section 130-37 of the Zoning Ordinance. The motion was supported by Commissioner Bartus.

AYES: Patterson, Stearn, Bartus, Kempner, Kapelanski NAYS: NONE ABSENT: Dahlin, Petrosky, Richardson

#### **MOTION CARRIED**

\* \* \* \* \* \* \* \* \*

 <u>PSP-09-22: 3916 W. Eleven Mile - Quality Roots:</u> John Vitale, on behalf of L & L Development LLC, 3916 W. Eleven Mile Rd., Parcels #25-18-353-030 and #25-18-353-027, is requesting site plan approval for the renovation of the existing building to a retail marihuana dispensary and office tenant space.

Interim Community Development Director Masson-Minock provided an overview of the proposed renovation of the existing multi-unit tenant building on 3316 W Eleven Mile. Interim Community Development Director Masson-Minock stated specific details that are presented in the application, wanting more clarification on some things that were in the application. There were multiple comments from DPW, but can be taken care of in between site plan and the pre-construction meeting. Interim Community Development Director Masson-Minock stated what needed to be discussed by the Planning Commission.

#### APPLICANT PRESENTATION

Michal Klar Vice president, Co-founder of Quality Roots Andrew Danaher, Architect Stucky-Vitale Architects

Mr. Danaher clarified the comments that were presented from Interim Community Development Director Masson-Minock. Mr. Danaher explained the lighting concerns, trash and storage, the windmill, permeable pavers, and landscaping.

#### PUBLIC COMMENT

Email from Scott Gordon, 1760 Thomas - in favor of this particular project.

Commissioner Kempner asked Mr. Danaher about the back-parking area and landscaping aspect of the design. Mr. Danaher explained that there is no additional parking proposed in this site plan anymore. It is being proposed as the parking presents itself today. They are only requesting to make the alley bigger. Mr. Klar stated that the extra six spots are not a need, but would be utilized as employee parking, asking about it now because to go back in to add those six spots it would be very costly.

The Planning Commission agreed that they would rather see more landscaping than parking in the back area.

There was also discussion with Mr. Danaher, Interim Community Development Director Masson-Minock and the Planning Commission about the neighboring building, conversations with the property owner, and the potential future use of that building with the limited parking on-site and current zoning.

The Commission discussed with Mr. Danaher and Mr. Klar about the permeable pavers, and snow removal. The Planning Commission determined that the landscaping is adequate and meets the standards.

Approved Minutes of May 24, 2022 City of Berkley Planning Commission Meeting

Motion by Commissioner Bartus to approve application PSP 09-09-22 subject to the recommendations in the staff letter dated May 19, 2022, and a finding that the landscaping meets the site plan approval standards of Section 130-37 of the Zoning Ordinance. The motion was seconded by Commissioner Stern.

AYES: Kempner, Patterson, Stearn, Bartus, Kapelanski NAYS: NONE ABSENT: Dahlin, Petrosky, Richardson

#### **MOTION CARRIED**

\* \* \* \* \* \* \* \* \*

#### **LIAISON REPORT**

Commissioner Kempner reported that the DDA is focused on trying to reopen or add some more crosswalks especially across Coolidge. The DDA is trying to get the Coolidge Task Force to meet to give recommendations so they can go to the City Council.

Events that are happening in June are Ladies Night Out on June 2nd from 5 p.m. to 9 p.m., Art Bash on June 11th from 10 a.m. to 6 p.m., and the Pride Block Party at Robina North, on June 26th from 12 p.m. to 4 p.m.

Commissioner Bartus asked Commissioner Kempner on what the DDA is looking to install on the crosswalks, flashing lights? Commissioner Kempner stated that they are looking for signs right now then reactivating the lights that Berkley does have right now.

\* \* \* \* \* \* \* \* \*

#### **COMMISSIONER COMMENTS**

Commissioner Patterson stated that from the last meeting he was stunned that Commissioner Smith had stepped down. Commissioner Patterson gave a huge thank you to Commissioner Smith's multiple decades of service, wealth of knowledge, and it was always an asset to have him on the Commission.

#### \* \* \* \* \* \* \* \* \*

#### STAFF COMMENTS

Interim Community Development Director Masson-Minock clarified that with the pending resignation of Dan Petrosky, the Planning Commission has seven members, and per the bylaws they need to have five for quorum, so their presence is essential. She thanked the members of the Commission that were there today.

Interim Community Development Director Masson-Minock also told the Commission to please let staff know if they know anyone who would serve well on the planning commission because of the vacancies. The City Council looks at appointments in June and training and attendance.

Interim Community Development Director Masson-Minock also stated to let staff know of any comments for Huntington Woods Master Plan. There will be a write up with a review for the packet on June 7th. At that meeting, the Commission will have a sketch plan for the proposed Seven Point Provisioning Center and The Ivy has resubmitted plans.

#### **ADJOURNMENT**

Motion to adjourn by Commissioner Kempner supported by Commissioner Patterson.

Voice vote for adjournment

AYES: 5 NAYS: 0 ABSENT: Dahlin, Petrosky, Richardson

#### With no further business, the meeting was adjourned at 8:13 p.m.

7



#### **APPLICATION FOR SITE PLAN REVIEW**

**NOTICE TO APPLICANT:** Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

#### TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name:	Quality Roots	
Applicant:	Michael Klar	
Mailing Address:		
Telephone:		
Email:		
Property Owner(s), if diff	erent from Applicant: L & L Developments	
Mailing Address:		
Telephone:	3	
Email:		
Applicant's Legal Interes	t in Property: Future Tenant	
LOCATION OF PROPE	RTY:	
Street Address:	3916 Eleven Mile Road, Berkley, MI 48237	
Nearest Cross Streets:	Cummings	
Sidwell Number(s):	25-18-353-030 and 25-18-353-027	

#### PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office		686 G, 481 U		1
Commercial				
Industrial				
Other Retail		5724 G, 2837 U	19	11

#### PROFESSIONALS WHO PREPARED PLANS:

Α.	Name:	Stucky Vitale Architects
	Mailing Address:	
	Telephone:	
	Email:	
	Design Responsibility	(engineer, surveyor, architect, etc.):
8.	Name:	Nowak and Fraus
	Mailing Address:	
	Telephone:	
	Email:	
	Design Responsibility	Civil Engineer

#### SUBMIT THE FOLLOWING:

- 1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
- 2. A pdf file of the site plans, submitted to the Community Development Director.
- 3. Proof of property ownership (title insurance policy or registered deed with County stamp).
- 4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:
- Road Commission for Oakland County
- Oakland County Health Division

MI Dept. of Transportation

MI Dept. of Environment, Great Lakes & Energy

**PLEASE NOTE:** The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

#### PROPERTY OWNER'S APPROVAL: (Initial each line)

\_\_\_\_\_ I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

#### APPLICANT'S ENDORSEMENT: (Initial each line)

M All information contained therein is true and accurate to the best of my knowledge.

<u>M</u> I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

<u>M</u> I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

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Michael Klar	03.25.2022
Signature of Applicant	Date
Michael Klar	
Applicant Name (Print)	
Signature of Applicant	Date
Applicant Name (Print)	
Linus Drags	3/25/2022   07:48:49 PDT
Signature of Property Owner Authorizing this Application	Date
Linus Drogs	
Property Owner Name (Print)	

OFFICE U	SEONLY		
Received	5/28/22 Receipt # 00097	Meeting Date	case # <u>PSP-09-22</u>
Fees:	Site Plan Review \$600	Façade Change: \$200	Revision: \$300
	Extension \$200	Engineering: Multi-family \$ Commercial \$	
	Escrow (New construction) \$1	,000	



#### **MEMORANDUM**

То:	Planning Commission
From:	Megan A. Masson-Minock, Interim Community Development Director
Subject:	<u>PSP-09-22: 3916 Eleven Mile Road – Quality Roots Provisioning Center</u> Site Plan Approval <u>Plan Date:  April 19, 2022</u>
Date:	May 19, 2022

Attached are the following reviews for the site plan submitted:

#### Planning Review from Carlisle Wortman Associates (CWA) dated May 3, 2022

In their review, CWA flagged inconsistencies between the site rendering and the landscape plan as to plantings proposed in the right-of-way of Eleven Mile Road. They also asked for clarification on trash storage and removal. After clarification of what is proposed, CWA noted that the Planning Commission should review the landscaping and make a finding as to whether the plans presented meet the standard in Section 130-37.

CWA also noted that a flexible lighting tube is proposed on the Eleven Mile façade, but the color had not been included nor had it been shown on the renderings. They requested that color rendering with the lighting tube color at night be shared with the Planning Commission to understand the effect of the proposed colored tubes. The Planning Commission and applicant should note that unshielded lighting tubes have not been allowed in Berkley, since they are illuminated signs with blank faces and shine light directly onto traffic or adjacent property, prohibited signs under Section 94-6 of the Sign Ordinance. Tube lighting covered by an awning, eave or soffit has been allowed.

CWA recommended preliminary site plan approval with the following conditions:

- 1. Clarification of the planting proposed along Eleven Mile.
- 2. Indication of the method of trash storage and removal.
- 3. Inclusion on revised plans of any additional landscaping based on Planning Commission review.
- 4. Confirmation that the roof top wind system has been designed to comply with all provisions of Section 138-99 at time of building permit review.

#### Review from City of Berkley Department of Public Works (DPW) dated May 6, 2022

DPW had the following comments:

- 1. HRC will review the geotechnical report, storm water detention calculations and grading.
- 2. The proposed stormwater management system will be a private system under the maintenance of the property owner. A stormwater management agreement with exhibits, which includes vacuum requirements for the permeable pavers, must be approved by the City Attorney.
- 3. More details on the new permanent and temporary easements are required with the adjacent parcel (25-18-353-029) shown on Sheet C1 are needed. The permanent easement shall be included in storm water detention calculations.
- 4. The applicant shall verify the new development will not negatively impact the adjacent properties and existing drainage conditions.
- 5. More information is needed regarding the adjacent properties broken sanitary sewer during excavation on Sheet C-4.
- 6. The Community Development Department will review the striping plan for verification of number of stalls required, sizing, handicap considerations and general site circulation.
- 7. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area).

#### Review from Hubbell, Roth & Clark (HRC) dated May 9, 2022

HRC recommended approval of the proposed site plan, subject to the applicant revising the permeable paver cross section on the plans as stated in their letter and submitting the maintenance agreement as well as any required permits to the City of Berkley. The Planning Commission should note the following requested plan revisions and permits:

- The geotechnical report submitted by the applicant states that the proposed stormwater system is feasible provided a geotextile separator followed by a minimum of 12" of 6A stone under a 3" layer of 17A stone is used under the permeable pavers. The proposed permeable paver cross section on the plan set must reflect the recommended cross section.
- 2. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The applicant must contact the City DPW regarding this item prior to commencing construction.

#### **Review from City of Berkley Fire Inspector**

Fire Inspector Pete Kelly stamped the plan set dated as revised on March 24, 2022 as approved on April 1, 2022.

#### Summary and Recommendation

The applicant should provide clarification on the of following:

- 1. The planting proposed along Eleven Mile.
- 2. Trash storage and removal.
- 3. The color and mounting location of the proposed light tubing on the Eleven Mile façade.

The Planning Commission needs to make the following determination:

 <u>Standards for Site Plan Approval – Landscaping and Trash Enclosure:</u> CWA stated in their review that the applicant was providing landscaping on the side elevation, Eleven Mile frontage and in the bioswale stormwater management system. The Planning Commission must determine whether the landscaping, as presented, meets the standards for Site Plan approval, per Section 138-678.

If the Planning Commission chooses to grant site plan approval, we recommend that the following items be conditions of approval:

- 1. Revisions of the site plan to reflect any changes to the site plan required by the Planning Commission to meet the standards of Section 138-678. The required changes should be specifically stated in the motion.
- 2. At time of building permit review, confirmation that the roof top wind system has been designed to comply with all provisions of Section 138-99.
- 3. A pre-construction meeting is required. Before scheduling of that meeting, all items and information listed the City's DPW review letter, dated May 6, 2022, must be received by the City.
- 4. Approval from the City's Engineer that the permeable paver cross section on the plans meets the requirements of their review letter dated May 9, 2022, the maintenance agreement, and any required permits to the City of Berkley, as noted in their review letter dated May 9, 2022, have been submitted and/or met.
- 5. All signs and mural must be approved under a separate permit and meet the requirements of Chapter 94 Signs of the City of Berkley's Code of Ordinances.



117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: March 31, 2022 May 3, 2022

## Site Plan Review For City of Berkley, Michigan

Applicant:	Aric Klar, Quality Roots
Project Name:	Quality Roots
Plan Date:	April 19, 2022
Location:	3916 Eleven Mile Road
Zoning:	Eleven Mile District
Action Requested:	Site Plan Approval

#### SITE DESCRIPTION

The subject site is two parcels. One parcel is located on the north side of Eleven Mile, between Cummings Avenue and Thomas Avenue. The second parcel is directly north, across a public alley, and fronts on Cummings Avenue. Currently the +/-6,400 sq.ft building is located on the Eleven Mile parcel, and small garage and parking area is located on the Cummings Avenue parcel.

The applicant proposes to remodel the existing +/-6,400 sq. ft. building for a marihuana provisioning center on the first floor and a small accounting office on the second floor. An accounting firm currently utilizes the second story and the applicant is renovating that space for their continued use in the future. In addition, the applicant proposes to remove the existing

garage on the Cummings Avenue parcel and convert that parcel in to parking and stormwater management.

Other than façade improvements there are no proposed changes or enlargement to the existing building. Site improvements include:

- Wall art mural
- Sun shade
- Benches along Eleven Mile
- Permeable parking pavers
- Increased landscaping
- Quality architecture improvements
- Green stormwater management in the form of a bioswale
- Roof amenities:
  - Solar panels
  - Wind turbines
  - Stormwater runoff water collection
  - o Green roof
  - PVC Roof

The site is zoned Eleven Mile District. Marihuana use is a permitted use but must meet the zoning requirements in Section 138-528 Marihuana Business Regulations.

### Site Location:



#### Carlisle Wortman Associates, Inc.

#### Proposed Use of Subject Parcel:

6,400 sq. ft. building for marihuana provisioning use and small accounting office.

Surrounding Property Details:

Direction	Zoning	Use
North	Single Family Residential R-1D	Single Family Residential
South	Oak Park / NA	Vacant/Light Industrial
East	Eleven Mile District	Commercial
West	Eleven Mile District	Office

#### Items to be addressed: None.

#### NATURAL FEATURES

The site has been graded for a building and parking lot. There are no existing natural resources.

#### **BUILDING ARRANGEMENT AND SITE DESIGN**

The site and building layout will remain in its current configuration. The square foot arrangement of the building is as follows:

Floor	Tenant/Use	Total Square
		Footage
First	Quality Roots	5,724
Second	Accounting Office	686
Total		6,410

#### Items to be addressed: None

#### AREA, WIDTH, HEIGHT, SETBACKS

Sec. 138-526. - Schedule of regulations of the Zoning Ordinance establishes the dimensional requirements for the Local Commercial District.

	Required / Allowed	Provided	Compliance
Front (Eleven Mile)			
Front yard setbacks shall be ten feet or equal to the setback	0-feet setback based upon adjacent building to east	0-feet	Complies

Carlisle Wortman Associates, Inc.

	Required / Allowed	Provided	Compliance
of the adjacent buildings, whichever is less.			
Side (east and west)	0-feet (east) 25-feet (west)	Greater than 0 feet	Complies
Rear (north)	10-foot minimum setback	25 feet	Complies
Building Height	40-feet maximum height	9'8" to canopy 18'2" to top of parapet	Complies

#### Items to be addressed: None

#### PARKING

The applicant has provided a parking table on Sheet TS1.1. This is a multiple tenant building. The parking required is a total of all uses combined in the building:

	Required	Provided
Quality Roots (Retail) 1 space per 225 usable square feet	2,837 usable sq. ft. / 225 = 13 spaces	19 spaces
Accounting Office 1 per 300 usable	481 usable sq. ft. / 300 = 2	
square feet	spaces	
Barrier Free	1	1
Bicycle Parking Credit	Reduces parking	
	requirement by two	
Total	13 spaces	19 spaces

The applicant has provided sufficient parking.

#### Items to be Addressed: None

### SITE ACCESS AND CIRCULATION

Site access and circulation remain as currently situated. There is one point of access off Eleven Mile and access via the alley. There is an existing sidewalk on Eleven Mile that will remain as is.

#### Items to be Addressed: None

#### LANDSCAPING

A landscaping plan has been provided on sheet L-1. The site is limited with regards to plantable area; however, the applicant is adding landscaping where they can, including along the side elevation to the east and in the bioswale stormwater management system. One of the site rendering shows planting along and in the right-of-way of Eleven Mile. However, this planting is not indicated on the landscape plan. Applicant should clarify planting along Eleven Mile.

As set forth in section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require additional landscaping to be planted on or near the site consistent with the elements of the adopted city master plan.

#### Trash Enclosure:

There is not an outside trash enclosure shown on the site plan. There is an internal waste room, and it is assumed that a truck will come to the back of the site to pick up trash. The applicant shall clarify trash storage and removal.

*Items to be Addressed*: 1). Clarify Planting along Eleven Mile; 2). Planning Commission to review landscaping; and 3). Indicate trash storage and removal.

#### SITE AMENTIES

The applicant is proposing a number of site amenities including:

- Wall art mural
- Sun shade
- Benches along Eleven Mile
- Permeable parking pavers
- Green stormwater management in the form of a bioswale
- Roof amenities:
  - Solar panels
  - Wind turbines
  - Stormwater runoff water collection
  - $\circ \quad \text{Green roof} \quad$
  - PVC Roof

We support the sustainable and creative use of the green roof. Wind turbines are regulated by Section 138-99. Requirements include:

Maximum Height from Roof	Setback	Other Regulations
10 feet	No portion of the system's blades, rotor or other exposed moving part shall extend beyond the edge of the building line to which it is attached	Wind energy systems with a rated capacity of up to 2 kilowatts (2 kW) and solar energy systems shall be allowed as an accessory use subject to the required standards of this section; provided they are incidental and subordinate to a use on the same parcel, and shall supply electrical power exclusively for on-site consumption

No details of the rooftop system were provided; however, the applicant has added a note that the roof top wind system will be designed to comply with all provisions of Section 138-99.

*Items to be Addressed:* Confirm that the roof top wind system has been designed to comply with all provisions of Section 138-99 with building permit review.

#### PHOTOMETRICS

The applicant is proposing three (3) pole mounted lights in between the bioswale and the rear parking. As requested, due to the proximity of the adjacent single-family home, the pole height has been reduced to 12-feet. In addition, the applicant is proposing various forms of building lighting.

Along 11-Mile the applicant is proposing a flexible lighting "tube" that can be various colors. The applicant should confirm color. The renderings don't show the lighting. In order to better understand the effect of the tubes the applicant should show a color rendering at night.

*Items to be Addressed:* 1). Indicate color tubes; and 2). Show a color rendering at night.

#### EXTERIOR APPLIANCES

Applicant has shown exterior appliances (air conditioners, generators, etc.) on site plan to ensure that they are in compliance with Sec. 138-73.

#### Items to be Addressed: None.

#### FLOOR PLAN AND ELEVATIONS

Floor plans and elevations have been provided. The applicant is making significant elevation improvements to the existing building including wood siding veneer parapet, metal paneling, storefront glass, aluminum canopy, new sign lettering (reviewed under separate sign permit), green roof, and public art mural.

Carlisle Wortman Associates, Inc.

#### Items to be Addressed: None

#### MARIHUANA BUSINESS REGULATIONS

Section 138-528 Marihuana Business Regulations, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

a) A marihuana business must front on a major thoroughfare with the primary ingress/egress onto a major thoroughfare.

CWA Response: The marihuana business fronts on Eleven Mile Road, with ingress/egress onto a major throughfare.

b) The marihuana business must have all applicable state and local licenses and approvals to operate.

CWA Response: The marihuana business will be required to obtain all applicable state license prior to any final approvals.

c) The property where the marihuana business will be located must be entirely within the boundaries of the city and must not be within 1,000 feet of a pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.

CWA Response: The marihuana business will not be located with 1,000 feet of any pre-existing public or private school.

d) Notwithstanding any other provision in the zoning ordinance, a marihuana business must operate within a fully enclosed building.

CWA Response: The marihuana business will operation within a fully enclosed building.

- e) Pursuant to article XV of <u>chapter 30</u> of the Berkley City Code, all marihuana business license approvals are subject to the following:
  - i. Public notice requirements as outlined in section 30-806; and
  - ii. Site plan approval from the planning commission must be obtained prior to receiving license approval from the city council. Failure to do so will result in license denial as outlined in <u>section 30-813</u>.

CWA Response: 1). Public notice requirements are expected to be met; and 2). The applicant is seeking site plan approval from the Planning Commission. If granted

site plan approval, the applicant would then seek license approval from the City Council.

#### Items to be Addressed: None

#### RECOMMENDATION

Overall, the applicant is making a significant investment into the site as noted in our report. As part of their discussion, the Planning Commission should consider the use of the flexible light tubes on the 11-Mile elevation. The applicant should indicate color and show rendering to assist in this evaluation.

Based on that discussion, we recommend preliminary site plan approval with the following conditions:

- 1. Clarify Planting along Eleven Mile.
- 2. Indicate trash storage and removal.
- 3. Any additional landscaping based on Planning Commission review.
- 4. Confirmation that the roof top wind system has been designed to comply with all provisions of Section 138-99 at time of building permit review.

Sincerely,

R. Cali

CARLISLE/WORTMAN ASSOC., INC. Benjamin R. Carlisle, LEED AP, AICP



## **Transmittal Memo**

To:	Megan Masson-Minock, Interim Community Development Director (via email)
Cc:	Kim Anderson, Community Development Department (via email)
	Ric Chalmers, Assistant DPW Director (via email)
	Eddie Zmich, HRC (via email)
From:	Shawn Young, DPW Director
Date:	May 6th, 2022
Subject:	Quality Roots Provisioning Center 3916 11 Mile Rd Site Plan Review #2

We have reviewed the site plans provided by the Community Development Department on March 28 and prepared by Stucky Vitale Architects and Nowak & Fraus Engineers. Please find below our initial comments:

- The site plans will be reviewed by the City's engineering consultant, Hubbell, Roth & Clark (HRC). Among other things, HRC will review the geotechnical report, storm water detention calculations and grading.
- 2. Please note the proposed stormwater management system will be a private system under the maintenance of the property owner. A template approved by the City Attorney is attached for use and should also include vacuum requirements for the permeable pavers. Exhibits will also need to be prepared by the applicant and included with the document.
- 3. Sheet C1 notes new permanent and temporary easements are required with the adjacent parcel (25-18-353-029). Please provide more details on these proposed easements. The permanent easement shall be included in storm water detention calculations.
- 4. The applicant shall verify the new development will not negatively impact the adjacent properties and existing drainage conditions.
- 5. Sheet C-4 mentions addressing the adjacent properties broken sanitary sewer during excavation. Please provide more information regarding this issue.

- 6. Note the Community Development Department will review the striping plan for verification of number of stalls required, sizing, handicap considerations and general site circulation.
- 7. A Storm Water Service Fixed Charge will be assessed upon completion of construction. This charge will be reflected on the regular utility bill and is based on an Equivalent Residential Units (impervious area). Note the two parcels will be combined from an ERU perspective.

A response letter from the applicant to the comments noted above would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.



May 9, 2022

City of Berkley 3338 Coolidge Highway Berkley, Michigan 48072

Attention: Ms. Megan Masson-Minock, Community Development Director Mr. Matthew Baumgarten, City Manager

Re: uality Roots 3916 Eleven Mile Road Engineering Site Plan – Review No. 2 City of Berkley, MI

Dear Ms. Masson-Minock and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development located at 3916 Eleven Mile Road for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Stucky-Vitale Architects of Royal Oak, Michigan with the engineering site plan created by Nowak & Fraus Engineers of Pontiac, Michigan. The plans have a revision date of April 19, 2022. The proposed project scope includes the renovation of the existing building and replacement of the existing parking lot and other site features. We hereby offer the following comments:

#### Water and Fire Protection Services:

- 1. A note indicates the existing water service lead will remain in place and be re-utilized. The applicant must have the lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction. The plans have been revised to include removal and replacement of the water service lead. This item is no longer applicable.
- 2. The plans must include REU value calculations demonstrating that the existing water lead is sufficiently calculations have been shown on the plans. sized to be reused for the proposed new establishment. This item has been satisfactorily addressed.

#### Storm Drainage and Detention/Sanitary Sewer:

- 1. Stormwater runoff calculations have been provided using a 100-year, 24-hour storm event and appear to show that the proposed pavement section and detention system will provide adequate storage for the site. The provided storage calculations have been updated to reflect the recommended porosity values for the proposed section in the geotechnical report. This item has been satisfactorily addressed.
- 2. A geotechnical investigation must be performed to evaluate the feasibility of the proposed stormwater management system. The report and soil logs must be submitted along with the plans, including the elevation of the groundwater table, soil types encountered, and the design recommendations or comments on the proposed stormwater collection system. The geotechnical report has been submitted along with the revised plans. The report recommends that the proposed stormwater system is feasible provided

Delhi Township	Detroit	Grand Rapids	Howell	Jackson
2101 Aurelius Rd.	535 Griswold St.	801 Broadway NW	105 W. Grand River	401 S. Me
Suite 2A	Buhl Building, Ste 1650	Suite 215	Howell, MI 48843	Suite B
Holt, MI 48842	Detroit, MI 48226	Grand Rapids, MI 49504	517-552-9199	Jackson, I
517-694-7760	313-965-3330	616-454-4286		517-292-

Kalamazoo S. Mechanic St. 834 King Highway Suite 107 son. MI 49201 -292-1295 269-665-2005

Kalamazoo. MI 49001

Lansing 215 S. Washington SQ Suite D Lansing, MI 48933 517-292-1488

MAILING: PO Box 824 Bloomfield Hills, MI 48303-0824

SHIPPING: 555 Hulet Drive Bloomfield Hills, MI 48302-0360

PHONE: 248-454-6300 WEBSITE: hrcengr.com

HRC Job No. 20200910.02

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that the recommended cross section be used under the permeable pavers. The geotechnical report recommends a geotextile separator followed by a minimum of of A stone under a layer of A stone. The layer of A stone must be reflected in the proposed permeable paver cross section on the plan set.

- 3. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction. **This item is still applicable.**
- 4. A new sanitary connection must be made rather than reusing the existing connection. The connection must be a TwisTee sewer saddle, as per the City DPW, or approved equal. The Applicant is responsible for any roadwork and restoration associated with the new utility connections which must be shown on the submitted plans. The DPW must be contacted prior to the commencement of work within the right-of-way (ROW). This connection and note have been shown on the plans. This item has been satisfactorily addressed.
- 5. The existing sanitary sewer lead must be properly abandoned via a spot liner or another DPW approved method. The DPW must be contacted prior to the commencement of work within the right-of-way (ROW). The sewer lead abandonment has been shown on the plans. This item has been satisfactorily addressed.

#### Recommendation:

Based on our aforementioned comments, we recommend approval of the proposed Site Plan subject to the applicant revising the permeable paver cross section on the plans as stated above and submitting the maintenance agreement as well as any required permits to the City of Berkley.

If you have any questions or require any additional information, please contact the undersigned. Very truly yours,

#### HUBBELL, ROTH & CLARK, INC.

Edward D. Zmich Project Manager

Mitch Stark Review Engineer

EDZ/MAS/mas pc: City of Berkley; Mr. Derrick Schueller, Mr. Shawn Young HRC; R. Alix, File Nowak & Fraus; P. Tulikangas Stucky-Vitale; A. Danaher



QUALITY ROOTS

MICHIGAN'S PREMIER CANNABIS COMPANY

# QUALITY ROOTS | BERKLEY **PROVISIONING CENTER 3916 ELEVEN MILE ROAD BERKLEY, MI 48237**



**PROJECT TEAM:** 



QUALITY ROOTS

MICHIGAN'S PREMIER CANNABIS COMPANY

## **OWNER:**

QUALITY ROOTS 2075 E. 14 MILE RD **BIRMINGHAM, MI 58009** 248.912.7173 CONTACT: ARIC KLAR

2020.153



**DEVELOPEMENT:** SHOSTAK BROTHERS & COMPANY 17800 LAUREL PARK DR. NORTH LIVONIA, MI 48152 248.357.6272 CONTACT: STEVE DUCZYNSKI



**CONSTRUCTION MANAGER:** PCI CONSTRUCTION 21717 REPUBLIC ST **OAK PARK, MI 48237** 248.255.3316 CONTACT: KYLE KNOLL



QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAIL DISPENSARY 3916 ELEVEN MILE RD. SITE PLAN REVIEW PACKAGE BERKLEY, MI



APPLICABLE CODES: (COMMERCIAL): BUILDING CODE: 2015 MICHIGAN REHABILITATION FOR EXISTING BUI

MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE: 2015 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE: 2017 NATIONAL ELECTRIC CODE (NEC) AS AMENDED AMENDMENTS PART 8.

FIRE CODE: 2015 INTERNATIONAL FIRE CODE REFERENCED IN 2

BUILDING CODE

BARRIER FREE REQUIREMENTS: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (De MBC-2012 (CHAPTER 11) ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

LIFE SAFETY CODES: 2015 NFPA 101 LIFE SAFETY CODE 2013 NFPA 13 STANDARD FOR INSTALLATION OF S 2013 NFPA 72 NATIONAL FIRE ALARM CODE

SVA STUCKY VITALE ARCHITECTS **ARCHITECT:** 

QUALITY ROOTS

STUCKY VITALE ARCHITECTS 27172 WOODWARD AVENUE ROYAL OAK, MICHIGAN 48067 248.546.6700 CONTACT: ANDREW DANAHER



**CIVIL ENGINEER:** NOWAK AND FRAUS 46777 WOODWARD AVENUE PONTIAC, MI 48342 248.332.7931 CONTACT: PAUL TULIKANGAS

**CONCEPTUAL RENDERING** 

. JOHN A. VITALE

ARCHITECT

1301029086

Strategic Energy Solutions

**MECHANICAL / ELECTRICAL ENGINEER:** STRATEGIC ENERGY SOLUTIONS 400 W. ELEVEN MILE RD BERKLEY, MI 48072 248.399.1900 CONTACT: TROY FOSTER

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	A1.1	ARCHITECTURAL FLOOR PLAN	0		
	A1.4	SECURITY PLAN PLAN	0		
	A3.0	EXISTING EXTERIOR ELEVATIONS - DEMO NOTES	0		
	A3.1	EXTERIOR ELEVATIONS - NEW WORK	0		
	A3.2	EXTERIOR RENDERINGS	0		
	A3.3	EXTERIOR RENDERINGS	0		
	A4.1	INTERIOR RENDERINGS	0		
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## **PROJECT DATA:**

**BUILDING CODE AUTHORITY:** CITY OF BERKLEY, MI

TYPE OF CONSTRUCTION: 5-B (EXISTING - UNCHANGED)

USE GROUP: M - MERCANTILE & B - OFFICE (LEVEL 2)

**PROJECT AREA:** EXISTING FIRST FLOOR = 5,724 SF QUALITY ROOTS - RETAIL

SECOND FLOOR = 686 SF EXISTING (TENANT B) - BUSINESS

### OFF STREET PARKING REQUIREMENTS (USEABLE FLOOR AREA) : SEC. 138-217 BERKLEY ORDINANCE

FI	RST FLOOR	= 2,837 SF
•	OFFICE: 102 SF	
•	RECEIVING ROOM:	236 SF

- TRANSACTION AREA: 394 SF • SHOWROOM: 1,672 SF
- WAITING ROOM: 375 SF • CHECK IN: 58 SF
- 2,837/225 = 12.61 = 13 PARKING STALLS

### SECOND FLOOR OFFICE: 300 USF

481/225 = 2.14 = 3 PARKING STALLS

13 + 3 = 16 PARKING STALLS

SEC. 138-268 BERKLEY ORDINANCE: PARKING CREDIT Bicycle parking may be used to reduce the number of require off-street parking spaces. Existing developments may elect to reduce the required off-street parking by two car parking spaces by providing four bicycle parking spaces (i.e., by installing two inverted U, loop style, or other approved style of bicycle rack).

= 481 SF

REQUIRED PARKING = 16 - 2 = 14 SPACES PROVIDED PARKING = 19 SPACES

**TS1.1** 

APRIL 18, 2022

## OWNER

Quality Roots

CONTACT: Michael Klar Tel. (248) 914-2183 Email. michael@getqualityroots.com

## DEVELOPER

Schostak Brothers & Company Inc.

### CONTACT: Stephen E. Duczynski Tel. (248) 262-1000 (Office) Tel. (248) 357-6272 (Direct)

## ARCHITECT

Stucky Vitale Architects

CONTACT: Andrew J. Danaher P. (248) 546-6700 C. (248) 227-5860

## **CIVIL ENGINEER / LANDSCAPE ARCHITECT**

NOWAK & FRAUS ENGINEERS 46777 Woodward Ave. Pontiac, MI 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257

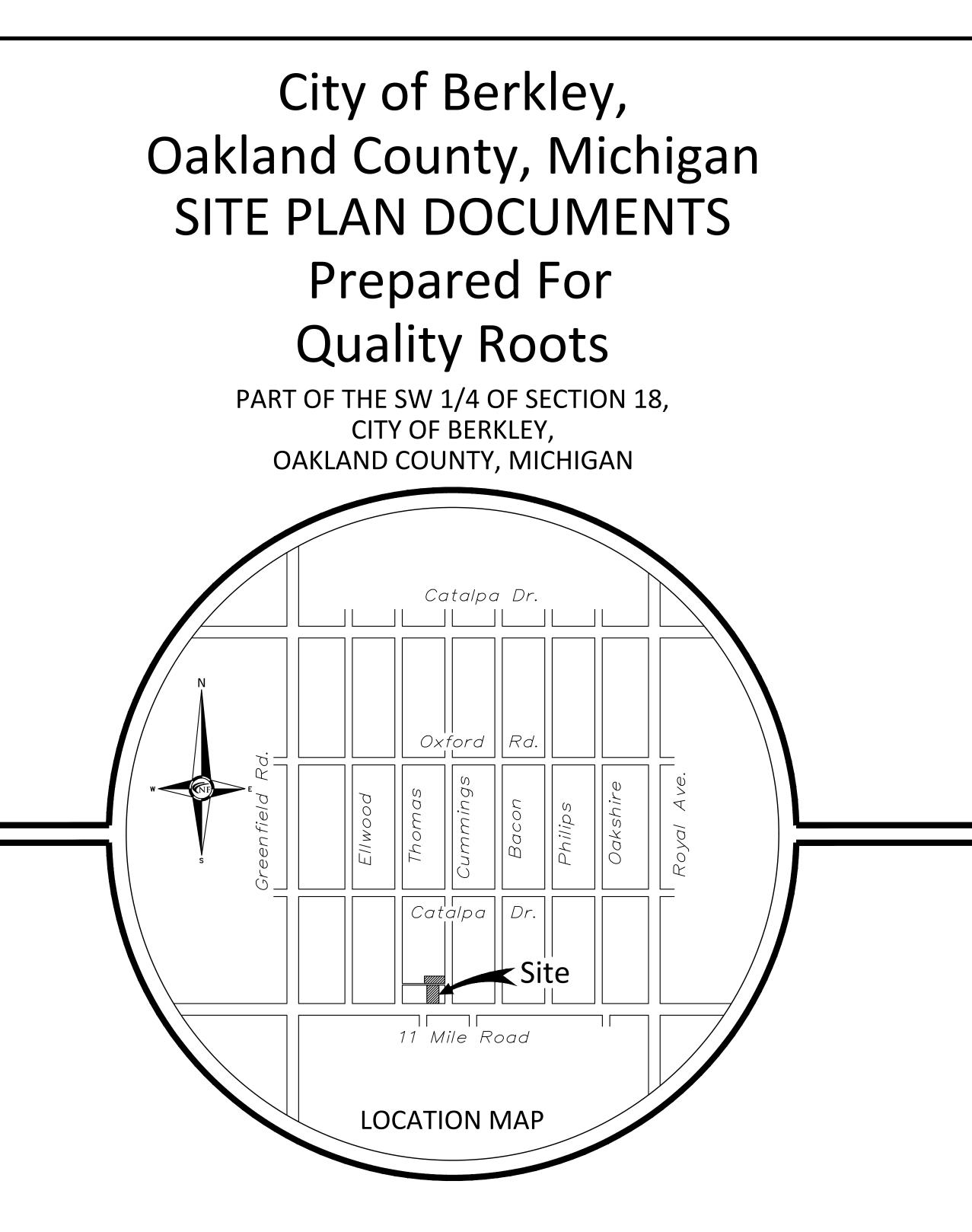
CONTACT: Paul Tulikangas, PE Tel. (248) 332-7931 Fax. (248) 332-8257

## **LEGAL DESCRIPTION - PER TITLE COMMITMENT**

LAND SITUATED IN THE CITY OF BERKLEY, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

LOTS 274, 275, 276, 277 AND 279, THOMAS PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 29 OF PLATS, PAGE 19, OAKLAND COUNTY RECORDS.

ADDRESS: TAX ID NUMBER: 3916 W 11 MILE ROAD, BERKLEY, MI 48072 25-18-353-030 (LOTS 274-277) 25-18-353-027 (LOT 279)



# Project Name

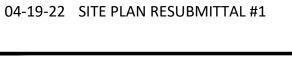
# Quality Roots Berkley

## CIVIL/LANDSCAPE SHEET INDEX

C0	Cover Sheet

- 1 of 1 ALTA/NSPS Land Title / Topographic Survey
- C1 Overall Site Plan
- C2 Demolition Plan
- C3 Paving & Grading PlanC4 Utility and Storm Water Management Plan
- C5 Soil Erosion Control Plan
- C6 Notes & Details Plan
- L1 Landscape Plan

REVISIONS: 03-04-22 CLIENT REVIEW 03-25-22 SITE PLAN SUBMITTAL



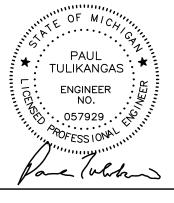


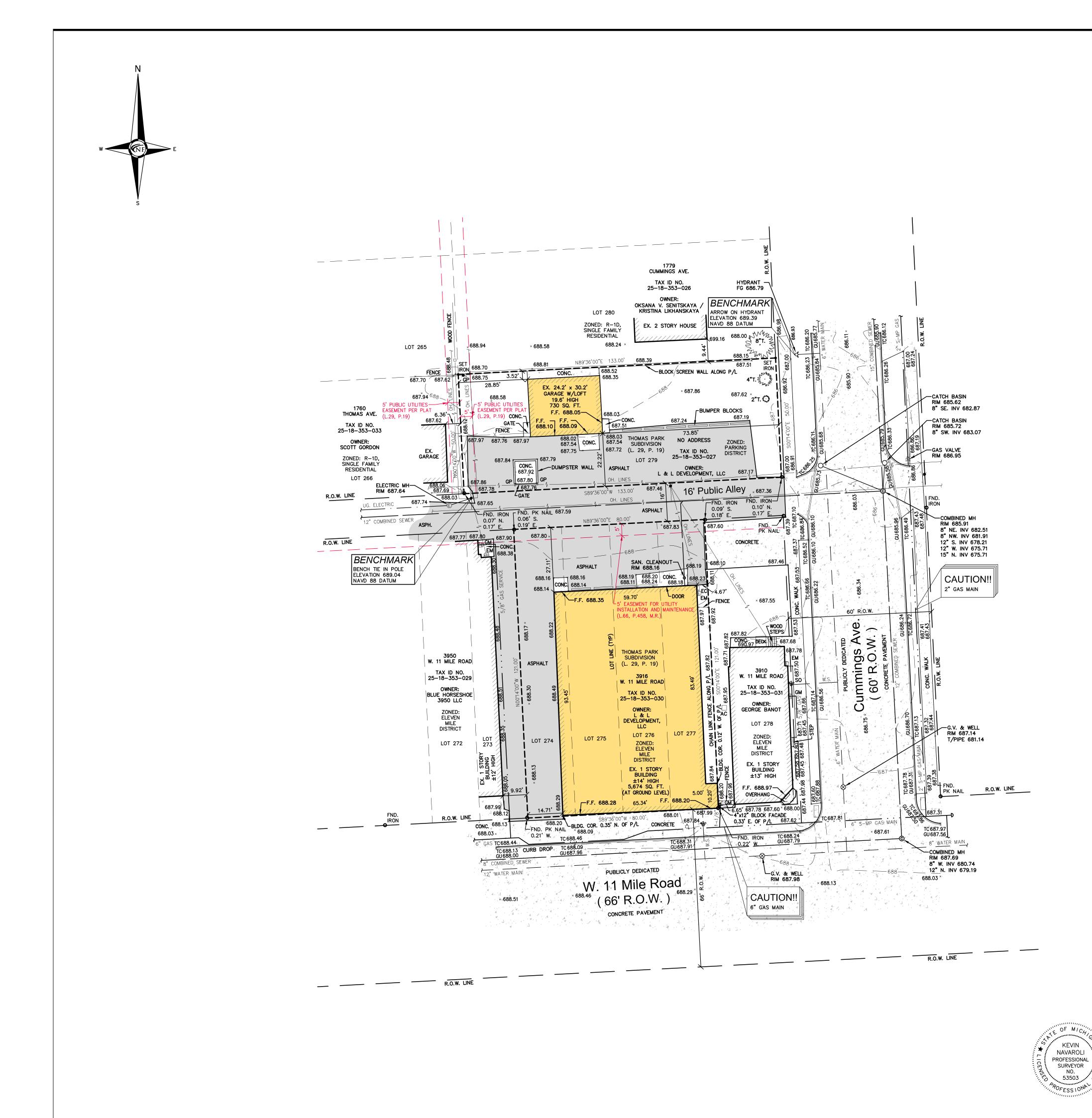
CIVIL ENGINEERS Land Surveyors Land Planners

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. Pontiac, mi 48342-5032 Tel. (248) 332-7931 Fax. (248) 332-8257 WWW.Nowakfraus.com



N & F JOB #C360-02





## TITLE REPORT NOTES

COMMITMENT DATE: DECEMBER 11, 2019. SCHEDULE B, PART II - EXCEPTIONS: EXCEPTIONS: 1, 2, 5, 6, 12, 13, 14 AND 15 REFER TO THE THE PUBLIC RECORDS. PUBLIC RECORDS. HIGHWAY PURPOSES.

THE FRONT LOT LINE, SHALL BE LOCATED NEARER THAN 5 FEET TO ANY SIDE LOT LINE.

CAPTIONED LAND.

TENANTS ONLY.

FLOOD HAZARD NOTE PANEL NOT PRINTED.

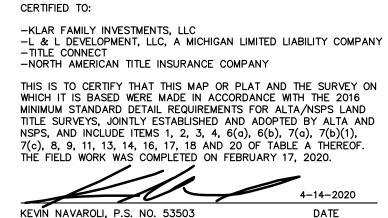
MISS DIG / UTILITY DISCLAIMER NOTE A MISS DIG TICKET NUMBER A000520244, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON FEBRUARY 21, 2020. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE

THE OWNER.

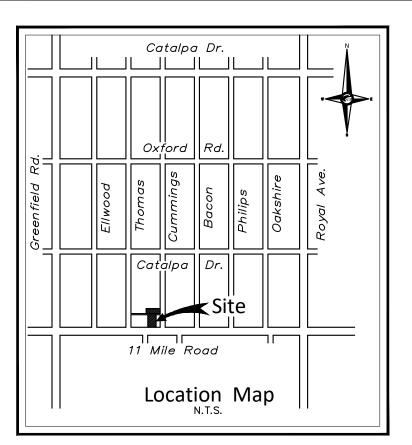
DTE DISCLAIMER NOTE

## CERTIFICATE OF SURVEY



KEVIN NAVAROLI, P.S. NO. 53503

NO. 53503



### LEGAL DESCRIPTION -PER TITLE COMMITMENT

LAND SITUATED IN THE CITY OF BERKLEY, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS: LOTS 274, 275, 276, 277 AND 279, THOMAS PARK, ACCORDING TO

THE PLAT THEREOF, AS RECORDED IN LIBER 29 OF PLATS, PAGE 19, OAKLAND COUNTY RECORDS. 3916 W 11 MILE ROAD, BERKLEY, MI 48072 ADDRESS:

TAX ID NUMBER: 25-18-353-030 (LOTS 274-277) 25–18–353–027 (LOT 279)

## SURVEY DATA

<u>SITE_AREA:</u> LOTS_274-277: LOT_279:	9,679.96 SQUARE FEET OR 0.222 ACRES 6,649.97 SQUARE FEET OR 0.153 ACRES
TOTAL:	16,329.93 SQUARE FEET OR 0.375 ACRES
<u>ZONED:</u>	

## NO STRIPED PARKING SPACES NO STRIPED PARKING SPACES

MAXIMUM BUILDING HEIGHT: ELEVEN MILE DISTRICT: 40 FEET

BUILDING SETBACKS: FRONT

LE DISTRICT: DISTRICT:	<u>FRONT:</u> 10 FEET (J, K) 10 FEET (J, K)	<u>SIDE:</u> (M) (M)

ÀPROVAL OF THE PARKING PLAN LAYOUT AND POINTS OF ACCESS BY THE PLANNING COMMISSION. THE SETBACK SHALL BE MEASURED FROM THE NEAREST SIDE OF EXISTING AND/OR PROPOSED RIGHT-OF-WAY LINES.

(K): FRONT YARD SETBACKS SHALL BE TEN FEET OR EQUAL TO THE SETBACK OF THE ADJACENT BUILDINGS, WHICHEVER IS LESS.

NO SIDE YARDS ARE REQUIRED ALONG THE INTERIOR SIDE COT LINES EXCEPT AS OTHERWISE SPECIFIED IN THE BUILDING CODE. ON THE EXTERIOR SIDE YARD THAT BORDERS ON A RESIDENTIAL DISTRICT, THERE SHALL BE PROVIDED A SETBACK OF AT LEAST TEN FEET ON THE SIDE OR RESIDENTIAL STREET.

A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE CITY OF BERKLEY TO INSURE CONFORMITY AS WELL AS MAKE A FINAL DETERMINATION OF THE REQUIRED BUILDING SETBACK REQUIREMENTS.

### ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS. HERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY

THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THERE IS NO VISIBLE EVIDENCE OF ANY WETLAND AREAS.

AS DETERMINED BY: OBSERVED EVIDENCE OR EVIDENCE FROM PLANS REQUESTED BY THE SURVEYOR AND OBTAINED FROM UTILITY COMPANIES.

THE SUBJECT PROPERTY HAS ACCESS TO 11 MILE ROAD, BEING A PUBLICLY DEDICATED ROAD AND ACCESS TO CUMMINGS AVENUE,

## **BASIS OF BEARING NOTE**

ALL BEARINGS ARE IN RELATION TO THE PREVIOUSLY ESTABLISHED WEST RIGHT-OF-WAY LINE OF CUMMINGS AVENUE (60' WIDE) OF THOMAS PARK SUBDIVISION AS RECORDED IN LIBER 29 OF PLATS, PAGE 19, OAKLAND COUNTY RECORDS. (N.0°14'W.)

LEGEND	
	EXISTING SANITARY SEWER EXISTING SAN. CLEAN OUT
HYDRANT(HYD) GATE_VALVE(GVW) MANHOLE(MH) CATCH BASIN(CB) CBB	EXISTING WATER MAIN EXISTING STORM SEWER EX. BEEHIVE CATCH BASIN
	EX. UNDERGROUND (UG.) CABLE OVERHEAD (OH.) LINES
لية LP ا	LIGHT POLE SIGN EXISTING GAS MAIN
ASPH. CONC.	ASPHALT CONCRETE
FD. / FND. RET. WALL	FOUND RETAINING WALL
R.O.W. SPK	RIGHT-OF-WAY SET PK NAIL
(TYP) (R) (M)	TYPICAL RECORD MEASURED
P/L SO GM	PROPERTY LINE SHUT OFF GAS METER
EM EC AC GP	ELECTRIC METER ELECTRIC CABINET AIR CONDITIONING UNIT GUARD POST



## **NOWAK & FRAUS** ENGINEERS

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

PROJECT Quality Roots Berkley 3916 11 Mile Road

Berkley, MI 48072-1005

CLIENT Quality Roots

REAR:

10 FEET

SEAL

## PROJECT LOCATION

Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan

SHEET ALTA/NSPS Land Title / Topographic Survey



**Call** before you dig.

DATE ISSUED/REVISED 03-04-22 CLIENT REVIEW 03-25-22 SITE PLAN SUBMITTAL 04-19-22 SITE PLAN RESUBMITTAL 1

DRAWN BY:			
M. Carnaghi			
DESIGNED BY:			
APPROVED BY: K. Navaroli			
DATE: February 25, 20	)20		
SCALE: $1'' = 20'$	10	20	30
		20	
NFE JOB NO.	SI	HEET N	О.
C360-02	-	1 of 1	_

REFERENCE TITLE CONNECT (AGENT FOR: NORTH AMERICAN TITLE INSURANCE COMPANY) COMMITMENT NUMBER: TC13-89984C,

OWNERSHIP OF THE PROPERTY AND/OR ARE NOT PLOTTABLE 3. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT RECORDED IN

4. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT RECORDED IN THE

7. RIGHTS OF THE PUBLIC AND ANY GOVERNMENTAL UNIT IN ANY PART OF THE LAND TAKEN, DEEDED OR USED FOR STREET, ROAD OR

8. COVENANTS, CONDITIONS AND RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 66MR, PAGE 458, OAKLAND COUNTY RECORDS. (RESTRICTIONS: C) NO BUILDING SHALL BE ERECTED ON ANY RESIDENTIAL BUILDING PLOT NEARER THAN 30 FEET TO THE FRONT LOT LINE, NOR NEARER THAN 5 FEET TO ANY SIDE STREET LINE. NO BUILDING, EXCEPT A GARAGE OR OTHER OUTBUILDING LOCATED 100 FEET OR MORE FROM

D) NO RESIDENTIAL STRUCTURE SHALL BE ERECTED OR PLACED ON ANY BUILDING PLOT, WHICH PLOT HAS AN AREA OF LESS THAN 6600 SQUARE FEET NOR A WIDTH OF LESS THAN 50 FEET AT THE FRONT BUILDING SET BACK LINE, EXCEPT THAT A RESIDENCE MAY BE ERECTED OR PLACED ON LOTS 236, 293, 309, 322, 335, 349, 365 403 AND 421 AS SHOWN ON THE RECORDED PLAT. I) AN EASEMENT IS RESERVED OVER THE REAR FIVE FEET OF EACH LOT FOR UTILITY INSTALLATION AND MAINTENANCE. (PLOTTED HEREON) J) NO BUILDING SHALL BE ERECTED ON ANY LOT FRONTING ON NORTH

AND SOUTH STREETS NEARER THAN 10 FEET TO THE SOUTH SIDE LOT LINE NOR NEARER THAN 5 FEET TO THE NORTH SIDE LOT LINE; AND NO BUILDING SHALL BE ERECTED ON ANY LOT FRONTING ON EAST AND WEST STREETS NEARER THEN 10 FEET TO THE WEST SIDE LOT LINE NOR NEARER THAN 5 FEET TO THE EAST SIDE LOT LINE. 9. SUBJECT TO THE EASEMENTS, RESTRICTIONS AND RESERVATIONS CONTAINED IN THE THOMAS PARK PLAT RECORDED AT LIBER 29, PAGE(S) 19, OAKLAND COUNTY RECORDS. (PLOTTED HEREON)

10. INTEREST OF OTHERS IN OIL, GAS AND MINERAL RIGHTS, IF ANY, WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS 11. INTEREST, IF ANY, OF THE UNITED STATES, STATE OF MICHIGAN, OR ANY POLITICAL SUBDIVISION THEREOF, IN THE OIL, GAS AND MINERALS IN AND UNDER AND THAT MAY BE PRODUCED FROM THE

16. RIGHTS OF TENANTS UNDER ANY UNRECORDED LEASES, AS TO

THE PROPERTY DESCRIBED ON THIS SURVEY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND NO MAP HAS BEEN PUBLISHED FOR THIS COMMUNITY ACCORDING TO THE MAP INDEX FOR OAKLAND COUNTY, INDICATING MAP NUMBER 26125C0677F,

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

LOTS 274–277: ELEVEN MILE DISTRICT LOT 279: PARKING DISTRICT PARKING SPACES: LOTS 274-277: LOT 279:

PARKING DISTRICT: 15 FEET

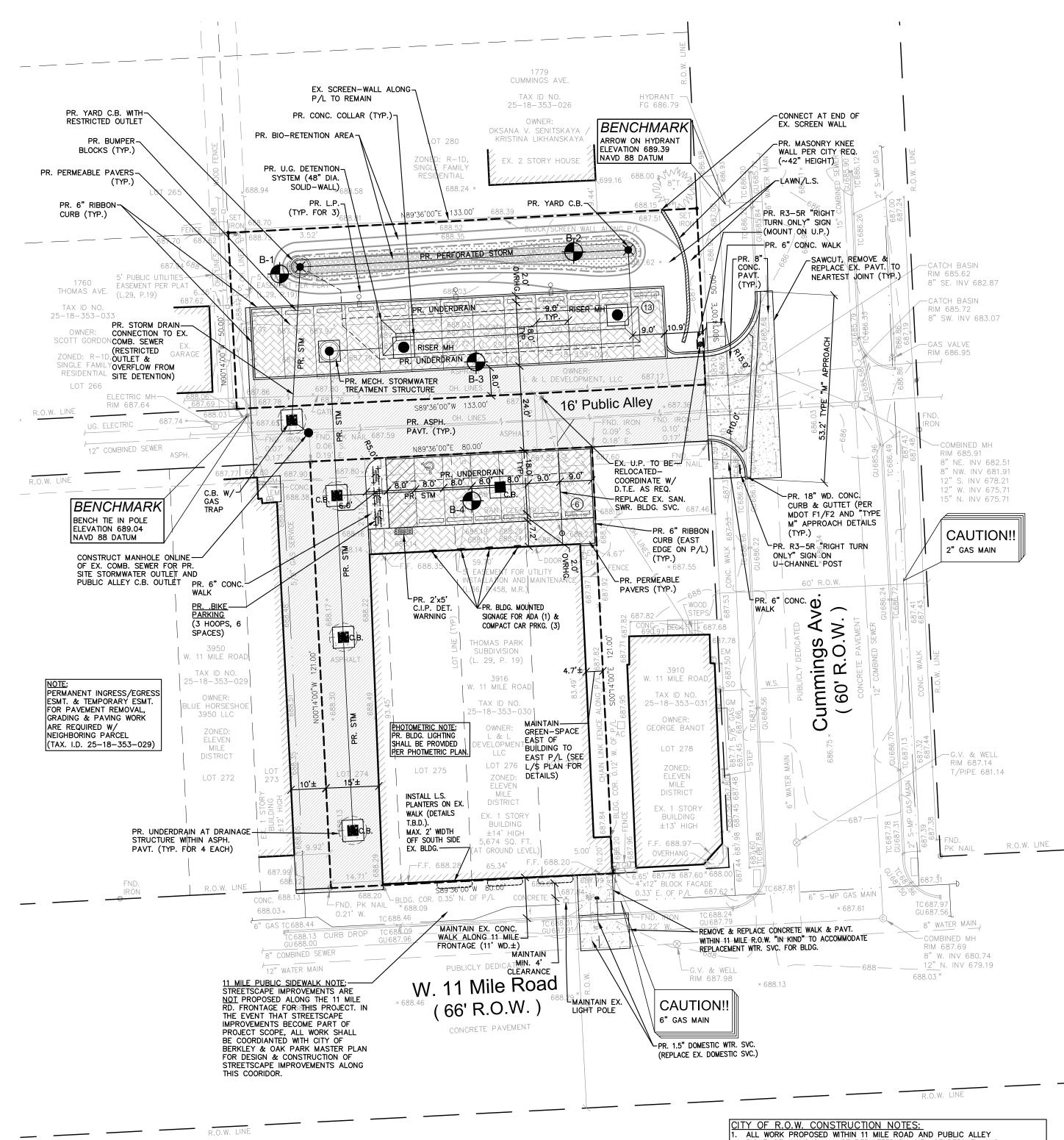
ELEVEN MILE

10 FEET PARKING DIS (J): PARKING SHALL BE PERMITTED IN THE FRONT YARD AFTER

LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE PROPERTY

BEING A PUBLICLY DEDICATED ROAD THROUGH A PUBLIC ALLEY.

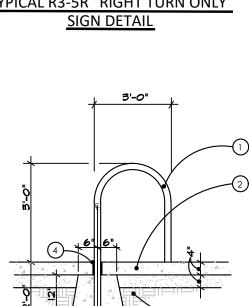


 CITY OF R.O.W. CONSTRUCTION NOTES:

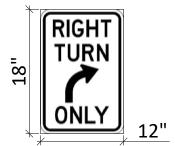
 ALL WORK PROPOSED WITHIN 11 MILE ROAD AND PUBLIC ALLEY RIGHT-OF-WAYS SHALL BE PERMITTED BY CITY OF BERKLEY AND COORDIANTED WITH THE BERKLEY DPW DEPARTMENT.
 NECESSARY TRAFFIC MANAGEMENT CONTROLS SHALL BE PROVIDED ALONG 11 MILE ROAD FRONTAGE PER APPLICABLE M.D.O.T. STANDARDS. A SINGLE TEMPORARY LANE CLOSURE FOR THE NORTHERLY, WEST-BOUND LANE SHALL BE PROVIDED AS NEEDED FOR UTILITY AND PAVEMENT REPLACEMENTS. FLAG CONTROL SHALL BE PROVIDED BY CONTRACTOR WHERE REQUIRED.

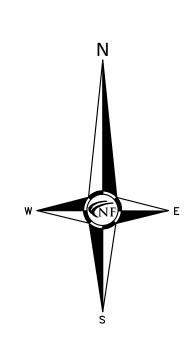


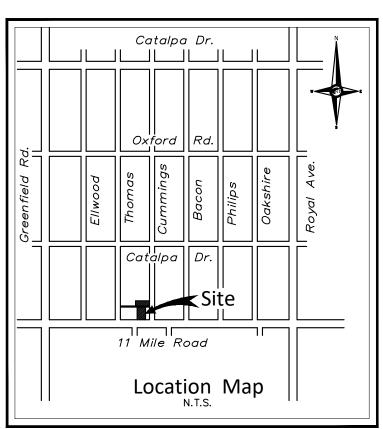
18"











#### LEGAL DESCRIPTION -PER TITLE COMMITMENT

LAND SITUATED IN THE CITY OF BERKLEY, COUNTY OF OAKLAND,

STATE OF MICHIGAN, DESCRIBED AS FOLLOWS: LOTS 274, 275, 276, 277 AND 279, THOMAS PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 29 OF PLATS, PAGE 19, OAKLAND COUNTY RECORDS.

ADDRESS: 3916 W 11 MILE ROAD, BERKLEY, MI 48072 TAX ID NUMBER: 25–18–353–030 (LOTS 274–277) 25–18–353–027 (LOT 279)

## EXISTING SITE DATA

<u>SITE_AREA:</u> LOTS_274-277: LOT_279:	9,679.96 SQUARE FEET OR 0.222 ACRES 6,649.97 SQUARE FEET OR 0.153 ACRES	
TOTAL:	16,329.93 SQUARE FEET OR 0.375 ACRE	S

ZONED: LOTS 274–277: ELEVEN MILE DISTRICT LOT 279: PARKING DISTRICT

PARKING SPACES:LOTS 274-277:LOT 279:NO STRIPED PARKING SPACESNO STRIPED PARKING SPACES

MAXIMUM BUILDING HEIGHT: ELEVEN MILE DISTRICT: 40 FEET PARKING DISTRICT: 15 FEET

BUILDING SETBACKS: FRONT: SIDE:

 FRONT:
 SIDE:
 REAR:

 ELEVEN MILE DISTRICT:
 10 FEET (J, K)
 (M)
 10 FEET

 PARKING DISTRICT:
 10 FEET (J, K)
 (M)
 10 FEET

(J): PARKING SHALL BE PERMITTED IN THE FRONT YARD AFTER APPROVAL OF THE PARKING PLAN LAYOUT AND POINTS OF ACCESS BY THE PLANNING COMMISSION. THE SETBACK SHALL BE MEASURED FROM THE NEAREST SIDE OF EXISTING AND/OR PROPOSED RIGHT-OF-WAY LINES.

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## PROPOSED SITE DATA

EXISTING BUILDING FOOTPRINT AREA (APPROX.) = 5.673 s.f. (0.13 ACRES) (NO EXTERIOR BUILDING ADDITIONS ARE PROPOSED) T.1N., R.11E., City of Berkley

CURRENT LOT COVERAGE (PARCEL 25-18-353-030): TOTAL BUILDING AREA/ CURRENT PARCEL AREA

0.13 AC / 0.222 AC = 58.6%

EXISTING/PROPOSED BUILDING SETBACKS PROVIDED (APPROX.): FRONT (SOUTH) = 0.0 FEET SIDE (EAST) = 4.7 FEET

SIDE (WEST) = 15.0 FEET REAR (NORTH) = 27.2 FEET

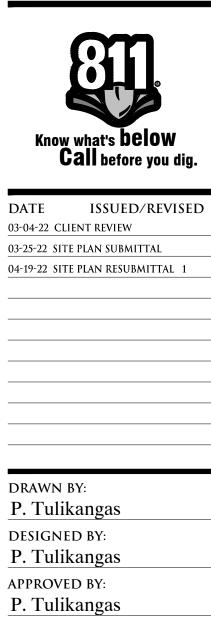
PROPOSED PARKING:

- STANDARD PARKING SPACES (MIN. 9'x18') 15 SPACES
- COMPACT CAR SPACES (MIN. 8'x18') 3 SPACES
- A.D.A. BARRIER FREE SPACES (8'x18' W/ 8' ACCESS AISLE) 1 SPACE
   TOTAL PROPOSED PARKING = 19 SPACES

PAVING LEGEND		
	PROPOSED CONCRETE PAVT./WALK	
	PROPOSED ASPHALT PAVEMENT	
	PROPOSED PERMEABLE PAVERS	

LEGEND	
MANHOLE S HYDRANT GATE VALVE MANHOLE CATCH BASIN	EXISTING SANITARY SEWER SAN. CLEAN OUT EXISTING WATERMAIN EXISTING STORM SEWER EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES OVERHEAD LINES LIGHT POLE SIGN
C.O. HYDRANT GATE VALVE INLET C.B. MANHOLE	EXISTING GAS MAIN PR. SANITARY SEWER PR. WATER MAIN PR. STORM SEWER PR. R. Y. CATCH BASIN PROPOSED LIGHT POLE

NGINEE 1969 - 2019 **NOWAK & FRAUS** ENGINEERS CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM SEAL OF M/ PAUL TULIKANGAS ENGINEER NO. • 057929 • POFESSIONAL Vare (whole) PROJECT Quality Roots Berkley 3916 11 Mile Road Berkley, MI 48072-1005 CLIENT Quality Roots PROJECT LOCATION Part of the SW 1/4 of Section 18 City of Berkley, Oakland County, Michigan SHEET **Overall Site Plan** 



DATE:

20

February 25, 2020

0

10

SHEET NO.

**C1** 

Scale: 1'' = 20'

10

NFE JOB NO. **C360-02** 

SOIL BORING LEGEND INDICATES APPROXIMATE SOIL BORING LOCATIONS PER GEOTECHNICAL EVALUATION REPORT BY S.M.E., DATED 01/11/20

18"	RESERVED PARKING	12"
.9	VAN	<u>}                                    </u>
OLORS ACKGROUND: EGEND: GREE ORDER: GREE	WHITE EN	

BORDER: GREEN SYMBOL: WHITE ON BLUE BACKGROUND TYPICAL R7-8 BARRIER FREE PARKING SIGN DETAIL

> POWDER COATED BIKE LOOP. COLOR SHALL BE BLACK.

(3) COMP. SUBGRADE TO

(800) 722-8546

MFR:

95% MOD. PROC.

2 4" CONC. SLAB THICKENED TO ACCEPT BIKE RACK INSTALLATION

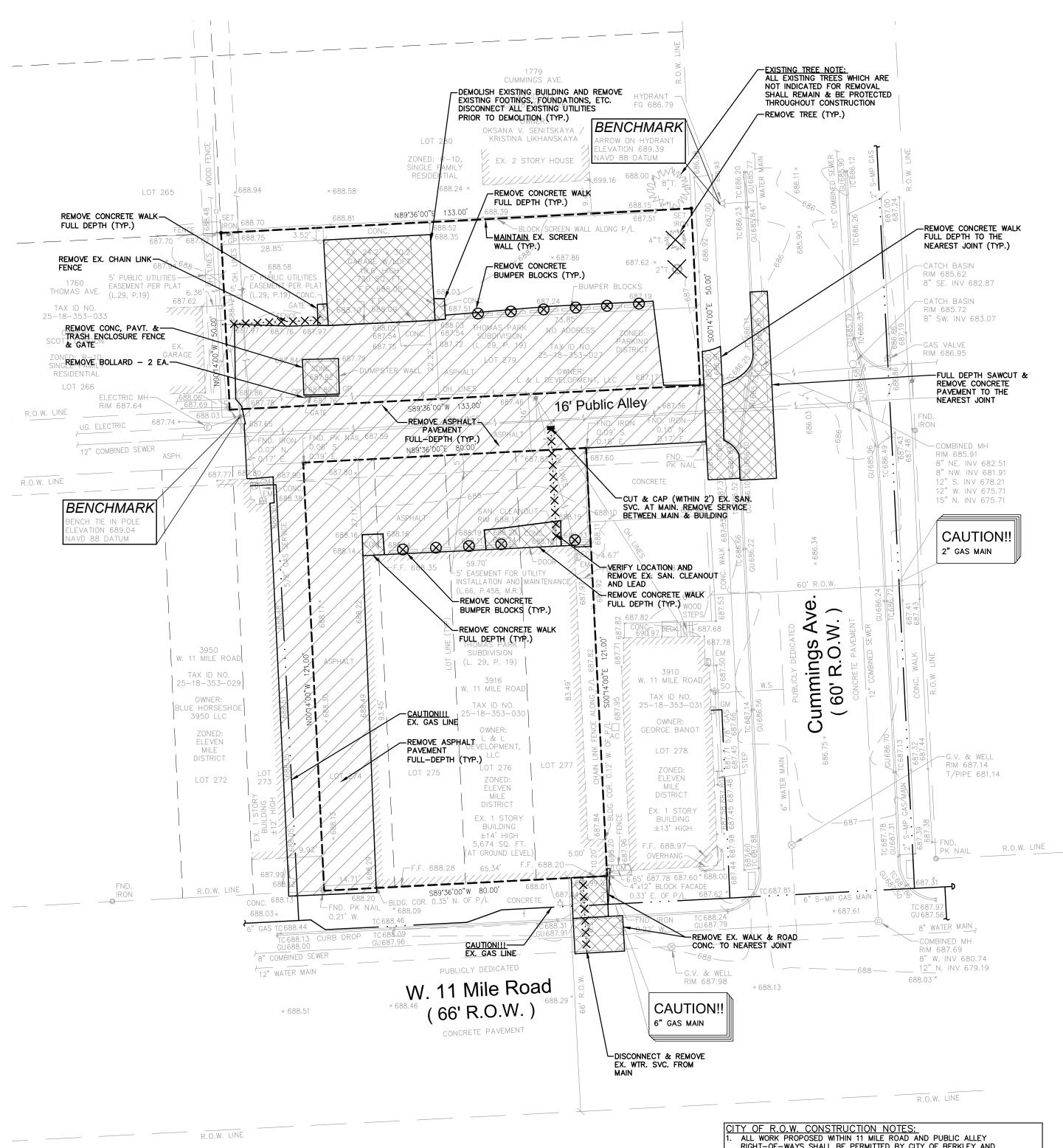
ON 4" COMP. SAND AS SHOWN.

(4) EXPANSION JOINT W/ SEALANT- SEE SPECS.

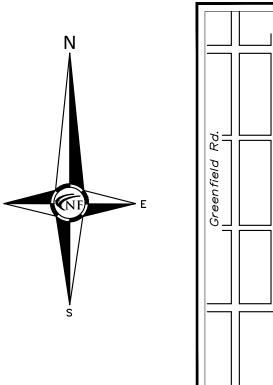
FINISH OR APPROVED SUBSTITUTE.

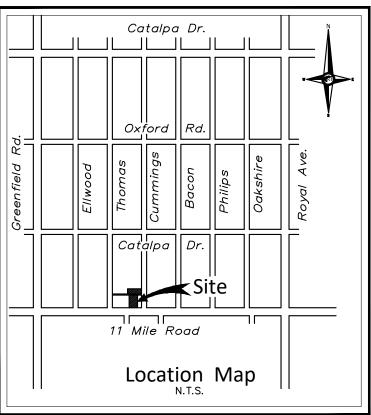
MADRAX MODEL NO. U910-IG W/ TGIC POWDER COAT

AVAILABLE THRU: ENGAN-TOOLEY- DOYLE AND ASSOC., INC.



ALL WORK PROPOSED WITHIN 11 MILE ROAD AND PUBLIC ALLEY RIGHT-OF-WAYS SHALL BE PERMITTED BY CITY OF BERKLEY AND COORDIANTED WITH THE BERKLEY DPW DEPARTMENT. NECESSARY TRAFFIC MANAGEMENT CONTROLS SHALL BE PROVIDED ALONG 11 MILE ROAD FRONTAGE PER APPLICABLE M.D.O.T. STANDARDS. A SINGLE TEMPORARY LANE CLOSURE FOR THE NORTHERLY, WEST-BOUND LANE SHALL BE PROVIDED AS NEEDED FOR UTILITY AND PAVEMENT REPLACEMENTS. FLAG CONTROL SHALL BE PROVIDED BY CONTRACTOR WHERE REQUIRED.





### DEMOLITION NOTES

INSPECTIONS.

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION. FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LIKEWISE SHALL ARRANGE FOR ALL SITE

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE

CONTRACTOR PRIOR TO SITE DEMOLITION. \* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE DETROIT EDISON COMPANY. REMOVAL OF DETROIT EDISON ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF DETROIT EDISON.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH CONSUMERS ENERGY/MICHCON. REMOVAL OF CONSUMERS ENERGY/ MICHCON GAS SERVICES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF CONSUMERS ENERGY/MICHCON.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH AMERITECH. REMOVAL OF AMERITECH COMMUNICATION SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF AMERITECH.

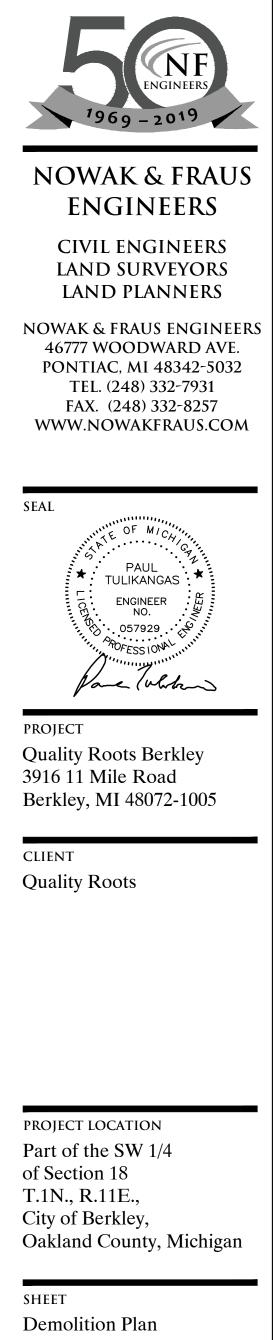
THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY. ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS. PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION. WHERE EXISTING BUILDINGS PLANED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT

PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH MOOT CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.





# TOPOGRAPHIC SURVEY NOTES

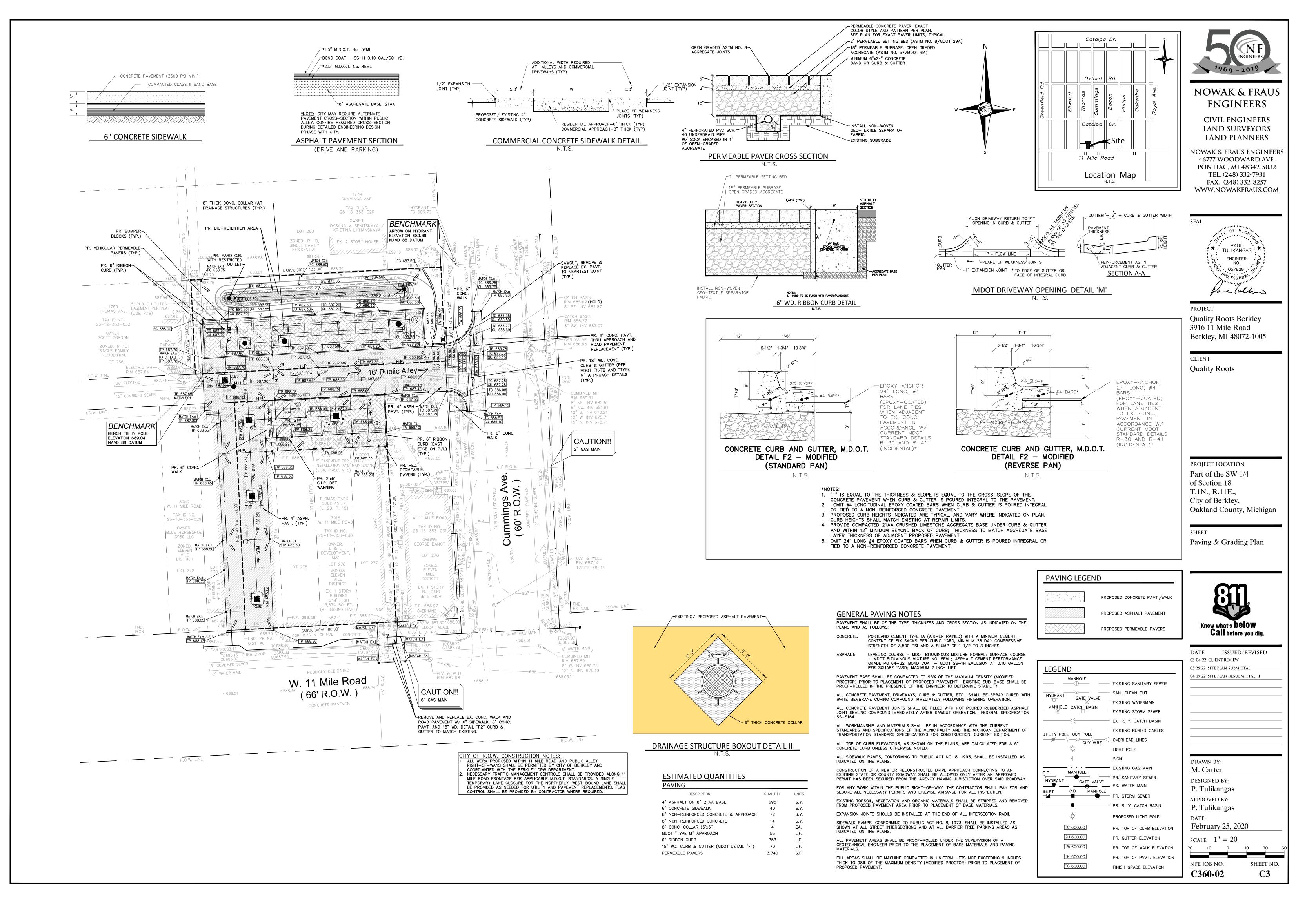
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

THE OWNER

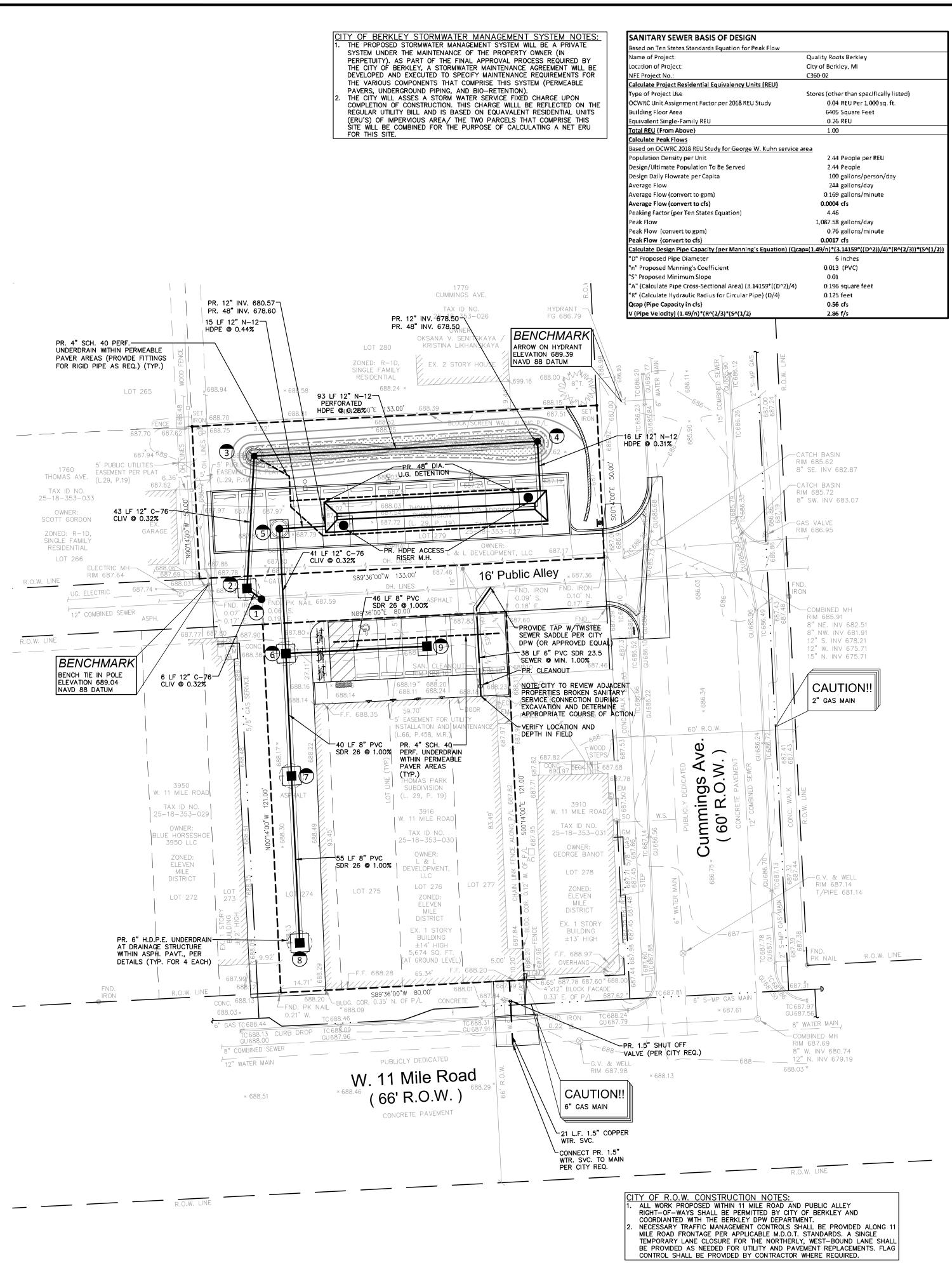
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION. THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY

LEGEND	
	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
MANHOLE CATCH BASIN	EXISTING STORM SEWER
X	EX. R. Y. CATCH BASIN
UTILITY POLE GUY POLE	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
d	SIGN
· · · ·	EXISTING GAS MAIN
$\cdot \times \cdot \times$	EXISTING UTILITY TO BE REMOVED
· //· //· //· //·	EXISTING UTILITY TO BE ABANDONED
12" MAPLE	INDICATES EXISTING TREE TO BE REMOVED
	INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED

DATE	ISSUED	/REVISE	D
03-04-22 0	LIENT REVIEW		
03-25-22 S	ITE PLAN SUBMI	TTAL	
04-19-22 \$	ITE PLAN RESUB	MITTAL 1	
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M. Ca	rter		
APPROV	ED BY:		
P. Tul	ikangas		
DATE:			
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<b>C36</b> 0	-02	(	<u> </u>



SYSTEM UNDER THE MAINTENANCE OF THE PROPERTY OWNER (IN PAVERS, UNDERGROUND PIPING, AND BIO-RETENTION).



PROJECT NO:			C360-01		
PROJECT NAME:			Quality Roots-Berkley	, MI	
LOCATION:			Berkley, MI		
DATE:			3/3/2022		
REVISED:		-	-		
	0.050				
C - Pervious	No. Illiantesi				
C - Pavement C-Permeable Pavers	0.950	-			
C-Permeable Pavers C-Roof (Standard)	0.950				
C-Roof (Green)	0.750				
TOTAL SITE AREA	Pervious Area	Pavement Area	Permeable Paver	Roof (Standard)	
			Area		Ro
0.375	0.078	0.077	0.089	0.098	
	Weighted C Factor	0.78			
		•	•		
REQUIRED DETI					
-					
Based on Oakland Cou	inty Water Resour	ces Commissioner	r Equations for 100 Y	ear Storm	
Name of Project:			Q	uality Roots	
Location of Project:			Be	erkley, MI	
NFE Project No.:			Câ	360-02	
Contributing Acreage '	'A":			0.375 acres	
Weighted Runoff Coeff				0.780	
1. Calculate Required V	Water Quality Con	trol (Vwg) (1" rair	ıfall event)		
Vwq = 3630(C)(A)	···· ··· ···		<b>-</b>	1,062 cft	
2. Calculate Required V	Water Quality Rati	e for Manufacture	d Treatment	1,002 (jt	
System (Qwq)	<b>-,</b>				
Input Time of Concenti	ration (Tc)			10.00 minutes	
Qwq=[(C)(A)(30.20/(Tc	• •				
3. Required Channel P		Control (CPVC) (1	3 <sup>e</sup> rainfall event)	0.808 cfs	
Calculate Channel Prot					
	-				
Vcp = 4719(C)(A) = Req 4. Required Channel P			ninfall avant)	1,380 cft	
4. Required Channel P Calculate Extended De			raintait event j		
Ved = 6897(C)(A) = Mir			D B (40)	2,017 cft <sup>2</sup>	
5. Calculate Extended discharge)	Detention Volum	e Discharge Rate IC	<u>2ed) (48 hour</u>		
Qed = Ved / [(48 hr)(60				0.012 cfs	
6. Calculate 100-year 5	itorm Inlet Rate ((	<u>2''' -in)</u>			
Input Time of Concenti	ration (Tc) (From S	Storm Sewer Design	n)	10.00 minutes	
Calculate 100-year rai	infall intensity, l	= 83.3018/(Tc+9.	1747)^0.8069))	7.685 in/hr	
Q" -in =(C)(I)(A) 7. Calculate 100-year \$	torm Allowable C	utlat Pata (O''''''	Masser of	2.248 cfs	
Variable Release Rate					
			<del></del>	1.31 cfs/acre	
CHECK: Calculate Qvrr					
Use maximum all wabl	e Qvrr per OCWR(	÷		1.000 cfs/acre(I	Per OCV
Q" = Qvrr(A)				0.375 cfs	
8. Calculate Storage Cu	arve Factor (R)				
R = 0.206-(0.15)(LN(Q	/Q` -in)			0.475	
9. Calculate 100-year S	itorm Volume In (	<u>v)</u>			
V = 18,985(C)(A)				5,553 cft	
10. Calculate 100-γear	Storm Detention	Storage Volume P	WITTE A	5,555 CIL	
TO Calculate TOO-year	Storm Detention	Storage volume t	<u>v1</u>		
Vcp(cr <del>e</del> dit)				0 cft 1	
V100D = (V100R)(R)-V	cp(credit) <sup>2</sup>			2,636 cft <sup>2</sup>	
				•	
Notes:					
1. Since infiltration po					
2. Since V <sup>™</sup> is larger	tnan Ved, V100-de	t represents the n	nınımum required sto	orm detention volume.	
PROVIDED DE				BIO-RETENT	ΩN

#### **PROVIDED DETENTION VOLUME CALCULATIONS - BIO-RETENTION** BIO-RETENTION - DETERMINE SURFACE STORAGE VOLUME PROVIDED

BIO-RETENTION - DETERMINE SURFACE STORAGE VOLUME PROVIDED		
Area of Intermediate Elevation "A" (685.50 Contour):	767	square feet
Area of Intermediate Elevation "B" (685.00 Contour):	200	square feet
Storage Height "H <sub>AB</sub> ":	0.50	feet
Volume of Frustum <sub>AB</sub> = H ( A + B + V AB )/ 3:	226	cubic feet
Area of Intermediate Elevation "B" (685.00 Contour):	200	square feet
Area of Intermediate Elevation "C" (684.50 Contour):	10	square feet
Storage Height "H <sub>BC</sub> ":	0.50	feet
Volume of Frustum <sub>BC</sub> = H ( B + C + V BC )/ 3:	42	cubic feet
Volume of BIO-RETENTION (SURFACE STORAGE) (685.50 to 684.50):	268	cubic feet
BIO-RETENTION - DETERMINE SUB-SURFACE STORAGE VOLUME PROVIDED		
Area of Intermediate Elevation "A" (685.00 Contour):	640	square feet
Approximate Depth of Porous Backfill Soils (to underdrain invert)	6.5	feet
Approximate Volume of Porous Backfill Soils	4,160.00	cubic feet
Approximate Porosity of Porous Backfill Soils (Average)	<b>1</b> 5. <b>0</b> 0	%
Volume of BIO-RETENTION (SUB-SURFACE STORAGE)	624	cubic feet
TOTAL APPROXIMATE BIO-RETENTION STORAGE VOLUME	892	cubic feet
<b>PROVIDED DETENTION VOLUME CALCULATIONS - PERM</b>	IEABLE	PAVERS
Calculate Provided Detention Volume in Permeable Pavers		
PERMEABLE PAVERS - DETERMINE STORAGE VOLUME PROVIDED		
Total Area of Permeable Paver Cross-Section	3,740	square feet
Depth of Permeable Paver Subbase Material	1.5	feet
Estimated Porosity of Subbase Material	20.0%	
Estimated Absorbtion Rate of Paver Surface`	15.0%	
TOTAL DETENTION VOLUME PROVIDED (PERMEABLE PAVERS)	168	CUBIC FEET
U.G. DETENTION SYSTEM - DETERMINE STORAGE VOLUME PROVIDED		
Total Linear Feet of Proposed U.G. Detention Pipe	150	feet
Calculate Pipe Cross-Sectional Storage Area		
Proposed Pipe Diameter	48	inches
Proposed Pipe Cross-Sectional Area	12.57	square feet
Total Storage Provided in Pipe	1,885	cubic feet
TOTAL DETENTION VOLUME PROVIDED (U.G. DETENTION)	1,885	CUBIC FEET
TOTAL DETENTION VOLUME PROVIDED	2.945	CUBIC FE





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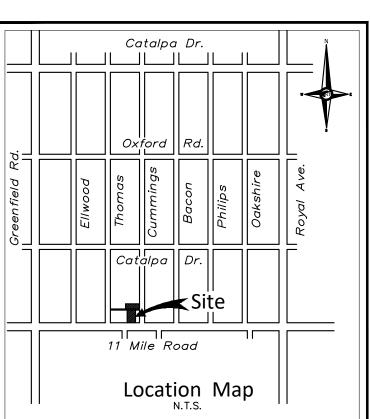
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Storm Sewer Str	ucture Schedule
Structure Name	Structure Details
#1 4' DIA. COMBINED SEWER MANHOLE (CONSTRUCT OVER EXISTING LINE)	PR. RIM 687.75 PR. 12" NW. INV. 678.03 EX. 12" E. INV. 676.31 EX. 12" W. INV. 676.31
#2 4' DIA. CATCH BASIN & TRAP W/ 2' SUMP	PR. RIM 687.55 PR. 12" N. INV. 678.05 PR. 12" SE. INV. 678.05
#3 5' DIA. R.Y.C.B. W/ 2' SUMP PER OVERFLOW STRUCTURE DETAIL	PR. RIM 685.50 PR. 12" E. INV. 678.19 PR. 12" S. INV. 678.19
#4 4' DIA. R.Y.C.B. W/ 2' SUMP	PR. RIM 685.50 PR. 12" S. INV. 678.45 PR. 12" W. INV. 678.45
#5 PR. PRE-TREATMENT STRUCTURE (CONTECH CASCADE CS-4 OR EQUAL)	PR. RIM 687.60 PR. 12" E. INV. 680.55 PR. 12" S. INV. 682.94
#6 4' DIA. CATCH BASIN W/ 2' SUMP	PR. RIM 687.95 PR. 12" N. INV. 682.81 PR. 8" E. INV. 683.75 PR. 8" S. INV. 683.60
#7 4' DIA. CATCH BASIN W/ 2' SUMP	PR. RIM 687.85 PR. 8" N. INV. 683.20 PR. 8" S. INV. 684.15
#8 2' DIA. INLET	PR. RIM 687.85 PR. 8" N. INV. 683.60
#9 2' DIA. INLET	PR. RIM 687.90 PR. 8" W. INV. 684.21

<b>ESTIMATED QUANTITIES</b>

<u>STORM SEWER</u>		
DESCRIPTION	QUANTITY	UNITS
12" C-76, CLASS IV, SEWER PIPE	84	L.F.
48" N-12 HDPE, SEWER PIPE	150	L.F.
12" N-12 HDPE, SEWER PIPE (SOLID-WALL)	31	L.F.
12" N-12 HDPE, SEWER PIPE (PERFORATED)	93	L.F.
8" PVC, SDR 26, SEWER PIPE	141	L.F.
6"H.D.P.E. PERF. UNDERDRAIN	120	L.F.
4" PVC SCH. 40 PERF. UNDERDRAIN	250	L.F.
PRE-TREATMENT STRUCTURE	1	EA.
5' OUTLET CONTROL YARD CATCH BASIN (PER DETAIL)	1	EA.
4' DIA. CATCH BASIN W/ 2' SUMP	3	EA.
4' DIA. REAR YARD CATCH BASIN W/ 2' SUMP	1	EA.
4' DIA. COMBINED SEWER MANHOLE (CONSTRUCT ONLINE	) 1	EA.
2' DIA. INLET	2	EA.
SEWER TAP/CONNECTION	1	EA.
HDPE ACCESS RISER MANHOLE	2	EA.
SANITARY SEWER		
DESCRIPTION	QUANTITY	UNITS
6" PVC SDR 23.5 SEWER PIPE	38	L.F.
TAP/CONNECTION	1	EA.
WATER SERVICE		
DESCRIPTION	QUANTITY	UNITS
1-1/2" 'K' COPPER BUILDING SERVICE	21	L.F.
WATER SERVICE, SHUT OFF VALVE	1	EA.
TAP/CONNECTION	1	EA.

M. Carter

DATE:

20 10

NFE JOB NO. C360-02

APPROVED BY:

P. Tulikangas

February 25, 2020

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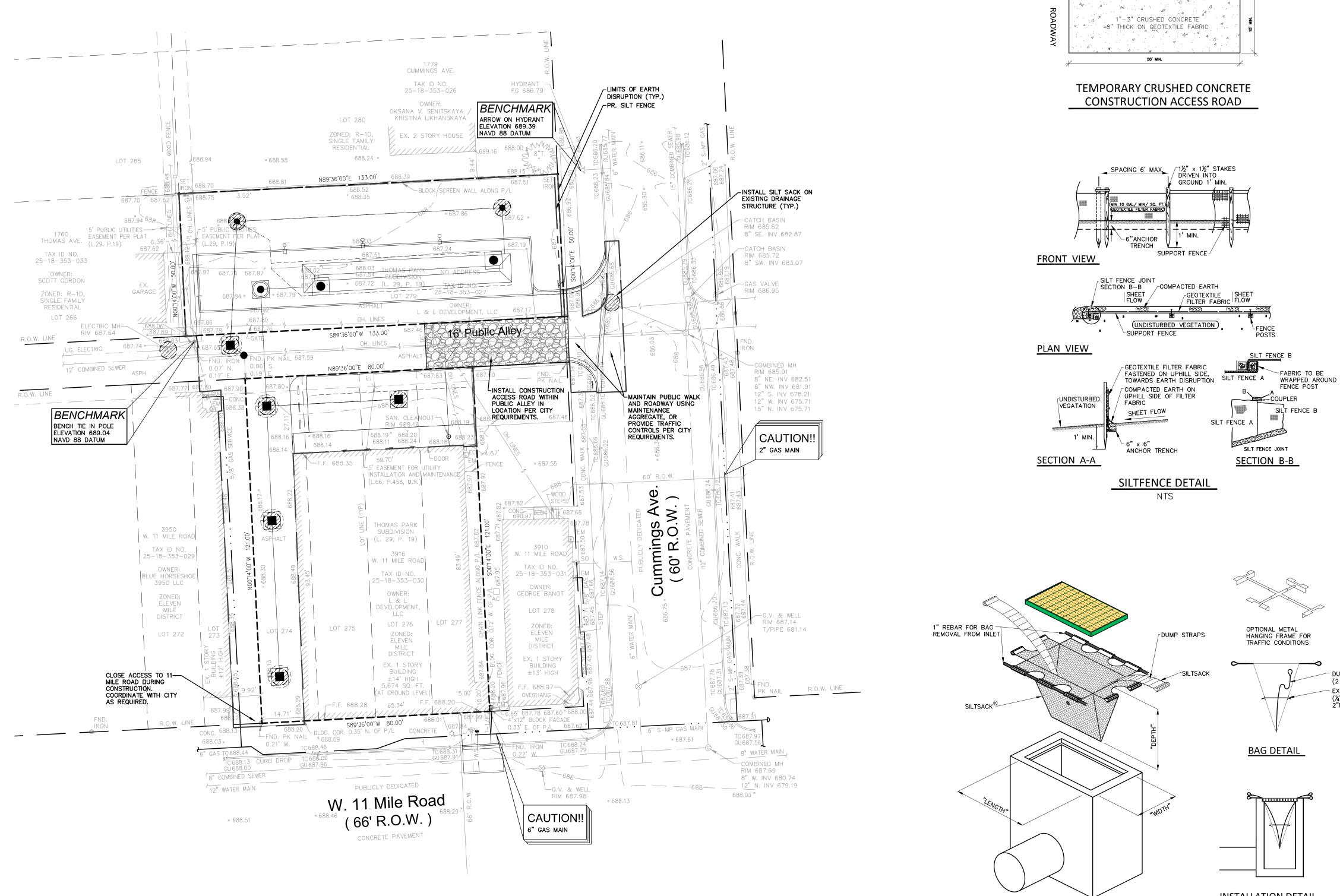
SHEET NO.

**C4** 

Scale: 1'' = 20'

LEGEND	
MANHOLE	EXISTING SANITARY SEWER
HYDRANT	SAN. CLEAN OUT
	EXISTING WATER MAIN
MANHOLE CATCH BASIN	EXISTING STORM SEWER
X	EX. R. Y. CATCH BASIN
UTILITY POLE GUY POLE	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
۹	SIGN
 C.OMANHOLE	EXISTING GAS MAIN
C.O. MANHOLE OHYDRANT GATE VALVE	PR. SANITARY SEWER
	PR. WATER MAIN
INLET C.B. MANHOLE	PR. STORM SEWER
——— <del>———</del> ——————————————————————————————	PR. R. Y. CATCH BASIN
	SAND BACKFILL (95 % DENSITY)
- Ale	PROPOSED LIGHT POLE

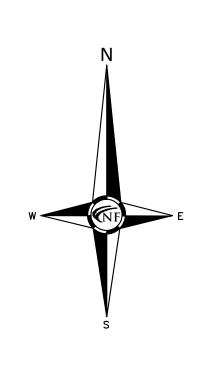
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ENGINEERS CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS NOWAK & FRAUS ENGINEEF 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM SEAL FORMEER NOWAKFRAUS.COM PAUL TULIKANGAS ENGINEER NO PAUL TULIKANGAS PROJECT Quality Roots Berkley 3916 11 Mile Road Berkley, MI 48072-1005 CLIENT Quality Roots CLIENT Quality Roots PROJECT IOCATION Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan SHEET Utility and Storm Water		
LAND SURVEYORS LAND PLANNERS NOWAK & FRAUS ENGINEEF 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM SEAL PAUL TULIKANGAS ENGINEER NO. COST929 CESSION PAUL TULIKANGAS PROJECT Quality Roots Berkley 3916 11 Mile Road Berkley, MI 48072-1005 CLIENT Quality Roots CLIENT Quality Roots PROJECT LOCATION Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan	N	• • • • • • • • • • • • • • • • • •
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PROJECT Quality Roots Berkley 3916 11 Mile Road Berkley, MI 48072-1005 CLIENT Quality Roots PROJECT LOCATION Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan	SEAL	PAUL PAUL TULIKANGAS ENGINEER NO. POFESSIONA
Quality Roots Berkley 3916 11 Mile Road Berkley, MI 48072-1005 CLIENT Quality Roots PROJECT LOCATION Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan SHEET Utility and Storm Water	PRO	/
Quality Roots PROJECT LOCATION Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan SHEET Utility and Storm Water	Qua 391	ality Roots Berkley 6 11 Mile Road
PROJECT LOCATION Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan SHEET Utility and Storm Water	CLIE	NT
Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan SHEET Utility and Storm Water	Qua	lity Roots
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	I	Know what's below Call before you dig.
Know what's below Call before you dig.	03-04- 03-25-2	22 CLIENT REVIEW 22 SITE PLAN SUBMITTAL
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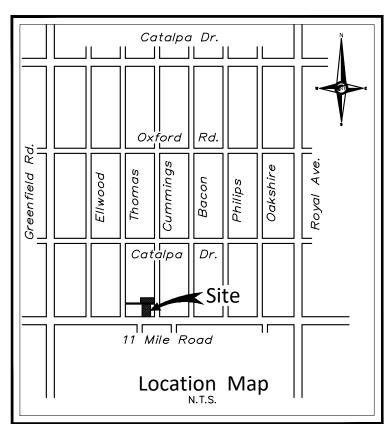


# SILT SACK FILTER DETAIL

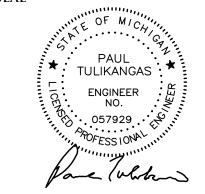
# CONSTRUCTION SEQUENCE / TIMING SCHEDULE

- INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED.
- 2. MASS GRADE SITE.
- 3. COMMENCE UNDERGROUND UTILITY WORK.
- 4. INSTALL INLET FILTERS ON PROPOSED DRAINAGE STRUCTURES.
- 5. FILL IN SEDIMENTATION TRAPS AND PAVE SITE.
- 6. COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.
- 7. JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.
- 8. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.









PROJECT Quality Roots Berkley 3916 11 Mile Road Berkley, MI 48072-1005

CLIENT Quality Roots

PROJECT LOCATION Part of the SW 1/4 of Section 18 T.1N., R.11E., City of Berkley, Oakland County, Michigan

SHEET Soil Erosion Control Plan



DATE	ISSUE	D/REVI	SED	
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# SOIL EROSION CONTROL

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE. SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN

THE DISTURBED AREA AND ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES; WETLANDS; OR ROADWAYS ON OR NEAR THE SITE. SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVES FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE

SITE TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED

TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY. TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT

SOIL EROSION CONTROL MEASURES. IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVER RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.

WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.

ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PUBLISHED BY THE OAKLAND SOIL CONSERVATION DISTRICT.

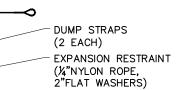
# NOTES

REFER TO THE WRC SOIL EROSION AND SEDIMENTATION CONTROL DETAIL SHEET FOR ALL ADDITIONAL NOTES & DETAILS (TYP) A DISTANCE OF 1.95 MILES TO THE NEAREST BODY OF WATER RIVER ROUGE

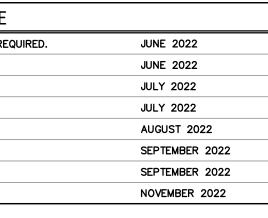
THE TOTAL AREA OF EARTH DISRUPTION IS 0.33 ACRES. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND

AFTER EVERY STORM EVENT BY THE CONTRACTOR. A SOIL EROSION PERMIT MAY BE REQUIRED FROM OAKLAND COUNTY.

SOIL DATA THIS SITE CONSISTS OF URBAN LAND-BLOUNT-LENAWEE COMPLEX, 0 TO 3 PERCENT SLOPES AND UNDORTHENTS AND UNDIPSAMMENTS, NEARLY LEVEL TO HILLY. BASED ON DATA PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE. ESTIMATED QUANTITIES SOIL EROSION DESCRIPTION QUANTITY UNITS SILT FABRIC FENCING 50 L.F. SILT SACK OR EQUAL ΕA CONSTRUCTION ACCESS ROAD SYD LEGEND INDICATES LIMITS OF SILT FABRIC FENCE INDICATES LIMITS OF DRAINAGE INDICATES LIMITS OF SOIL DISRUPTION INDICATES SILT SACK OR EQUAL ON EXISTING & PROPOSED DRAINAGE STRUCTURES AREA A INDICATES DRAINAGE 0.00 AC DISTRICT AREA



INSTALLATION DETAIL





AT LEAST 72 HOURS (3 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY MISS DIG AND THE LOCAL COMMUNITY (WHERE APPLICABLE) TO STAKE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL EXPOSE AND VERIFY EXISTING UTILITIES FOR LOCATION, SIZE, DEPTH, MATERIAL AND CONFIGURATION PRIOR TO CONSTRUCTION. COSTS FOR EXPLORATORY EXCAVATION IS AN INCIDENTAL COST AND SHALL NOT BE CONSIDERED AN EXTRA TO THE CONTRACT.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING UTILITIES WHICH DO NOT MATCH THE PLANS AND SPECIFICATIONS PRIOR TO COMMENCING WORK. ANY FIELD CHANGES OF THE PROPOSED UTILITIES SHALL BE APPROVED BY THE OWNER AND ENGINEER BEFORE THE WORK IS DONE. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE. ANY SERVICE OR UTILITY DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR, IN CONFORMANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY PROVIDER.

DAMAGE TO PRIVATE PROPERTY

ALL SIDEWALKS, DRIVEWAYS, LAWNS, FENCING, TREES, SHRUBS, SPRINKLERS, LANDSCAPING, ETC., THAT ARE DAMAGED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED, IN KIND OR BETTER, BY THE CONTRACTOR. ALL STREET SIGNS, MAIL BOXES, ETC., REMOVED SHALL BE REPLACED IN KIND OR BETTER, BY THE CONTRACTOR. ALL THE REPAIRS OR REPLACEMENTS DUE TO THE CONTRACTOR'S

WORK ARE TO BE INCLUDED IN THE CONTRACT PRICE(S) AND SHALL NOT BE AN EXTRA TO THE

THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM ADJACENT PROPERTY OWNERS PRIOR TO ENTERING UPON ANY ADJOINING PROPERTIES, UNLESS OFFSITE PERMITS HAVE ALREADY BEEN OBTAINED BY THE OWNER AND ARE PART OF THE CONTRACT DOCUMENTS.

DEWATERING OF TRENCH AND EXCAVATIONS

IF NOT SPECIFICALLY PROVIDED FOR IN THE CONSTRUCTION DESIGN DOCUMENTS, THE DESIGN OR QUALITATIVE ANALYSIS OF GROUND WATER DEWATERING SYSTEMS IS BEYOND THE SCOPE OF DESIGN

FOR THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING AND PROVIDING APPROPRIATE EXCAVATION DEWATERING SYSTEMS FOR USE DURING CONSTRUCTION.

THE DEWATERING METHOD SELECTED BY THE CONTRACTOR WILL NOT ADVERSELY AFFECT ADJACENT PAVEMENTS OR STRUCTURES PRIOR TO BEGINNING DEWATERING CONDITIONS. MEANS AND METHODS OF DEWATERING ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF DEWATERING WILL BE CONSIDERED INCLUDED IN THE WORK OF CONSTRUCTING THE UNDERGROUND UTILITIES UNLESS SPECIFICALLY INDICATED OTHERWISE.

**BY-PASS PUMPING** 

FROM TIME TO TIME IT MAY BE NECESSARY FOR THE CONTRACTOR TO BY-PASS PUMP TO COMPLETE THE WORK INDICATED ON THE PLANS. THE COST OF BY-PASS PUMPING, THE METHODS, EQUIPMENT AND MEANS OF PROVIDING THAT WORK ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE CONSIDERED PART OF THE WORK WHETHER SPECIFICALLY CALLED OUT ON THE PLANS OR NOT.

MEANS AND METHODS FOR PIPE CONSTRUCTION

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEANS AND METHODS FOR CONSTRUCTING THE UNDERGROUND PIPE SYSTEMS PROPOSED ON THE PLANS, INCLUDING BUT NOT LIMITED TO THE NEED FOR SHORING/BRACING OF TRENCHES, DEWATERING OF TRENCHES, SCHEDULING THE WORK AT OFF PEAK HOURS, AND/OR MAINTAINING EXISTING FLOWS THAT MAY BE ENCOUNTERED VIA PUMPING, BY-PASS PIPING OR OTHER MEANS. THE CONTRACTOR SHALL NOT BE PAID ANY ADDITIONAL COMPENSATION TO IMPLEMENT ANY MEANS AND METHODS TO SATISFACTORILY COMPLETE THE CONSTRUCTION.

# PAVEMENT REMOVAL

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE THICKNESS OF THE PAVEMENT REMOVAL. PAVEMENT CORE SAMPLES ARE FOR INFORMATIONAL PURPOSES ONLY AS TO THE THICKNESS OF THE PAVEMENT AT THE LOCATION OF THE SAMPLE. THE OWNER AND ENGINEER MAKE NO REPRESENTATION, WARRANTY OR GUARANTY THAT THE SAMPLES ACCURATELY REFLECT THE PAVEMENT THICKNESS ON THE PROJECT.

# MAINTENANCE OF TRAFFIC

THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL ACCOMMODATE BOTH VEHICULAR AND PEDESTRIAN TRAFFIC IN THE ROAD RIGHTS OF WAY. THE CONTRACTOR'S EQUIPMENT AND OPERATIONS ON PUBLIC STREETS SHALL BE GOVERNED BY ALL APPLICABLE LOCAL, COUNTY AND STATE ORDINANCES, REGULATIONS AND LAWS. THE CONTRACTOR SHALL OBTAIN AND SATISFY ANY AND ALL PERMIT REQUIREMENTS BY THE LOCAL, COUNTY AND STATE GOVERNMENTAL AGENCIES. IN ADDITION, WHERE THE WORK REQUIRES THE CLOSURE OF ONE OR MORE LANES OR IS WITHIN THE INFLUENCE OF THE ROAD OR PEDESTRIAN RIGHT OF WAY, THE CONTRACTOR SHALL PROVIDE ALL SIGNS, BARRICADES, FLAG PERSONS AND OTHER TRAFFIC CONTROL MEASURES AS REQUIRED BY MDOT, E COUNTY, OR THE COMMUNITY HAVING JURISDICTION OF THE ROAD AND IN CONFORMANCE WITH

COMPENSATION FOR TRAFFIC CONTROL SHALL BE CONSIDERED INCLUDED IN THE CONTRACT PRICE(S) UNLESS SPECIFIC TRAFFIC CONTROL ITEMS ARE INCLUDED IN THE ACCEPTED BID PROPOSAL.

# IRRIGATION

THE CONTRACTOR SHALL MAINTAIN OR REPAIR ANY EXISTING IRRIGATION SYSTEMS WITHIN THE PROJECT AREA UNLESS THE DRAWINGS CALL FOR THE IRRIGATION SYSTEM TO BE REMOVED. THE OWNER AND NFE MAKE NO REPRESENTATIONS, WARRANTY OR GUARANTY AS TO THE LOCATION O THE IRRIGATION SYSTEM. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE IRRIGATION SYSTEM DURING CONSTRUCTION ACTIVITIES. COMPENSATION FOR MAINTAINING OR REPAIRING EXISTING IRRIGATIONS SYSTEMS SHALL BE CONSIDERED INCLUDED IN THE CONTRACT PRICE(S) UNLESS SPECIFIC IRRIGATION SYSTEM REPAIR ITEMS ARE INCLUDED IN THE ACCEPTED BID PROPOSAL

# SUB-SOIL CONDITIONS

ANY SOIL BORING PROVIDED BY THE OWNER AND/OR ENGINEER IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THIS INFORMATION IS NOT OFFERED AS EVIDENCE OF GROUND CONDITIONS THROUGHOUT THE PROJECT AND ONLY REFLECT THE GROUND CONDITIONS AT THE LOCATION OF THE BORING ON THE DATE THEY WERE TAKEN.

THE ACCURACY AND RELIABILITY OF THE SOIL LOGS AND REPORT ARE NOT WARRANTED OR GUARANTEED IN ANY WAY BY THE OWNER OR ENGINEER AS TO THE SUB-SOIL CONDITIONS FOUND ON THE SITE. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION AND SUB-SOIL INVESTIGATION AND SECURE OTHER SUCH INFORMATION AS THE CONTRACTOR CONSIDERS NECESSARY TO DO THE WORK OPPOPORED AND IN DEPENDENTION OF THE RUD PUD WORK PROPOSED AND IN PREPARATION OF THEIR BID.

# SUBGRADE UNDERCUTTING AND PREPARTION

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY AND ALL SOILS WHICH DO NOT CONFORM TO THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A SUBGRADE IN CONFORMANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS. THE MEANS AND METHODS USED TO ACHIEVE THE REQUIRED RESULT SHALL REST SOLELY WITH THE CONTRACTOR. ANY AREAS OF UNDERCUTTING THAT RESULT IN ADDITIONAL OR EXTRA WORK BECAUSE THEY COULD NOT BE IDENTIFIED BY THE CONTRACTOR'S PRE-BID SITE OBSERVATION OR ARE NOT SET FORTH IN THE PLANS AND SPECIFICATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE ANY EXTRA WORK IS PERFORMED. THE CONTRACTOR SHALL MAKE A REQUEST FOR ANY ADDITIONAL COMPENSATION FOR THE UNDERCUTTING IN WRITING AND THE REQUEST SHALL CONFORM TO THE CONTRACT'S CHANGE ORDER PROVISIONS.

# STRUCTURE BACKFILL

STRUCTURAL BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PROJECT PLANS, SPECIFICATIONS OR AS REQUIRED BY THE COMMUNITY, GOVERNMENT AGENCY OR UTILITY THAT HAS JURISDICTION OVER THE WORK.

# **TRENCH BACKFILL**

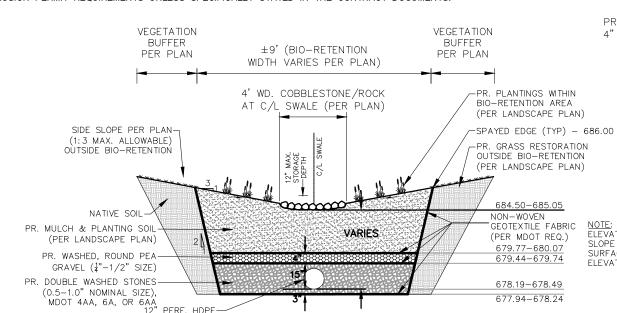
TRENCH BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PLANS AND/OR SPECIFICATIONS. TRENCH BACKFILL SHALL ALSO BE INSTALLED IN CONFORMANCE WITH THE COMMUNITY REQUIREMENTS OR AGENCY/UTILITY GOVERNING SAID TRENCH CONSTRUCTION. IN THE CASE OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.

# EARTH BALANCE / GRADING

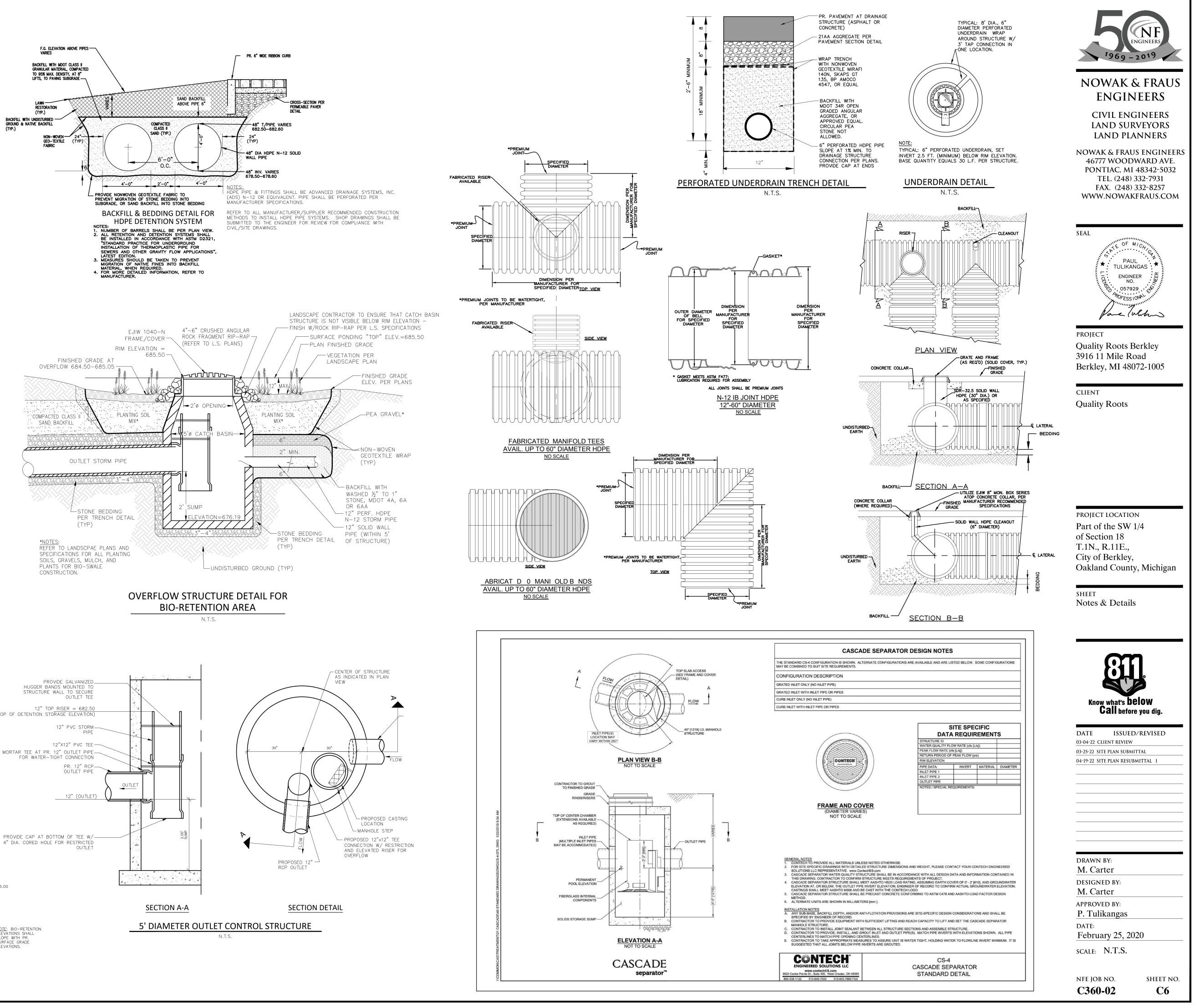
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHETHER THE SITE EARTHWORK BALANCES OR NOT. ANY EXCESS CUT MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR. IN A LIKE MANNER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT APPROVED FILL MATERIAL AND PLACE IT AS REQUIRED TO ATTAIN THE SITE GRADE AND COMPACTION REQUIREMENTS PER THE ENGINEER'S PLAN AND ALL APPLICABLE GOVERNMENTAL STANDARDS. THE ENGINEER AND OWNER MAKE NO REPRESENTATION AS TO THE QUANTITIES THAT MAY BE NEEDED TO CREATE A BALANCED EARTHWORK CONDITION OR THAT THE SITE EARTHWORK IS BALANCED.

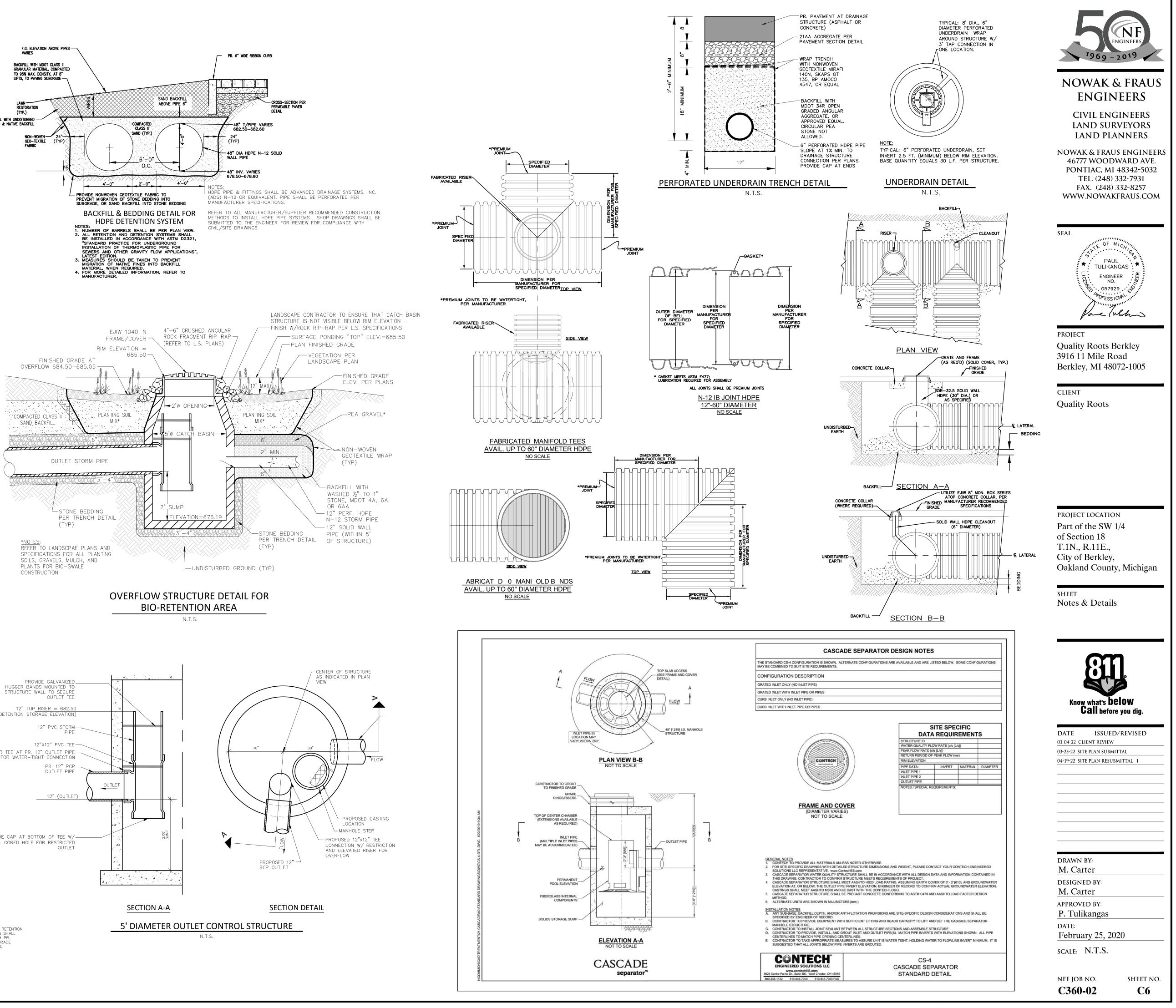


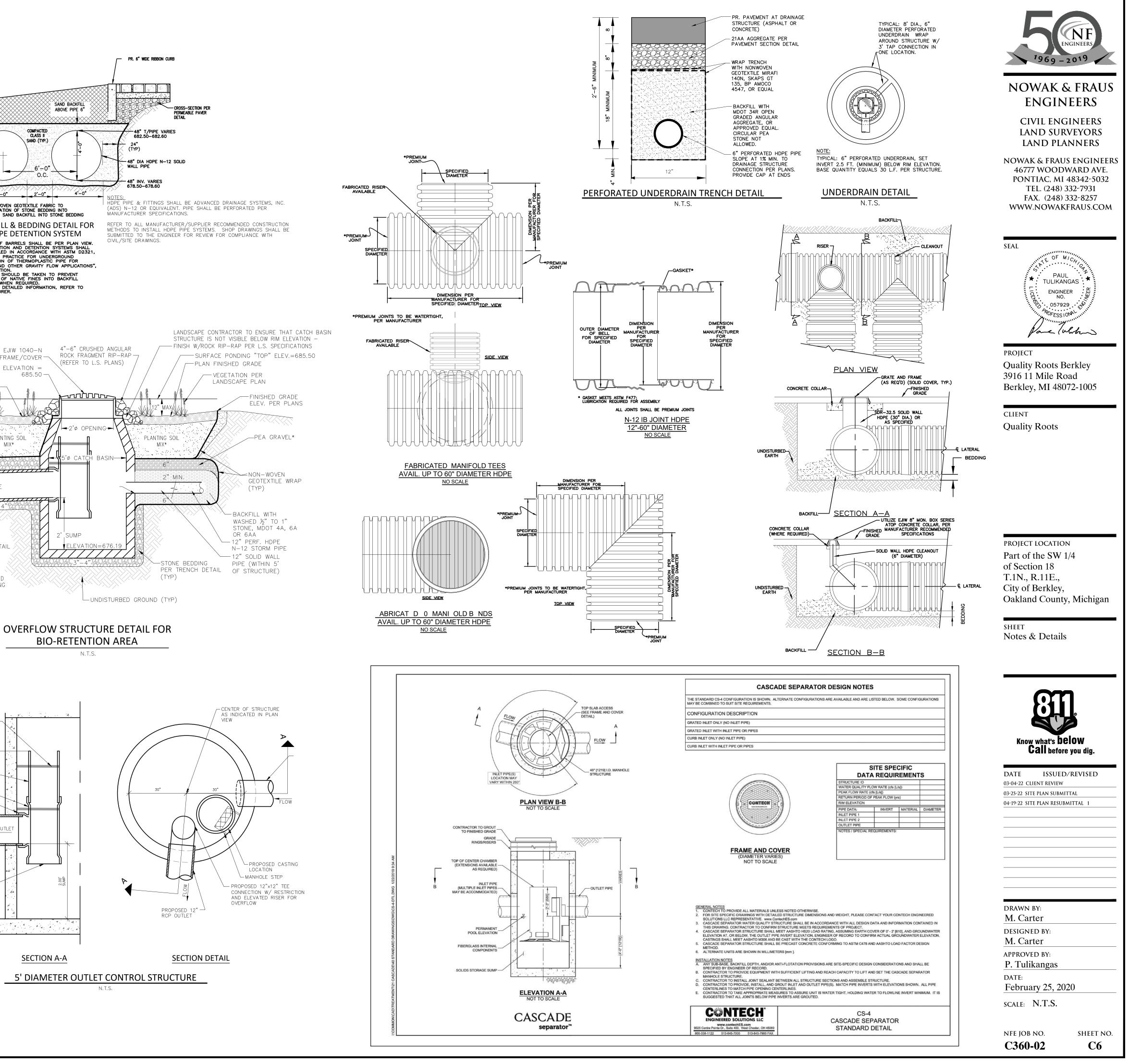
THE CONTRACTOR SHALL OBTAIN THE REQUIRED SOIL EROSION PERMIT AND SATISFY ALL REGULATORY REQUIREMENTS FOR CONTROLLING SOIL EROSION AND SEDIMENT TRANSPORT. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR INSPECTION OR APPROVAL OF THE CONTRACTOR'S WORK IN CONNECTION WITH SATISFYING THE SOIL EROSION PERMIT REQUIREMENTS UNLESS SPECIFICALLY STATED IN THE CONTRACT DOCUMENTS.

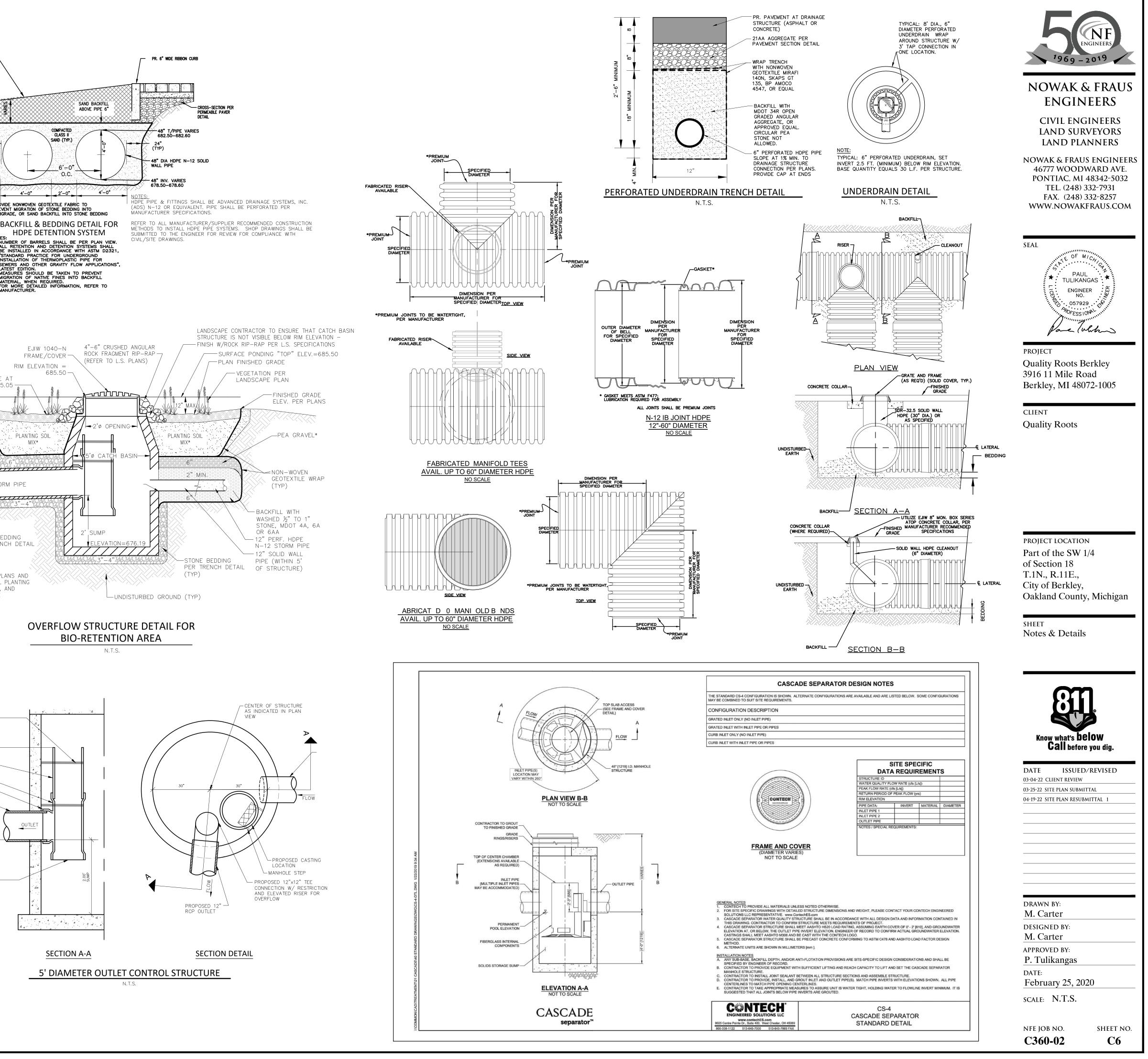


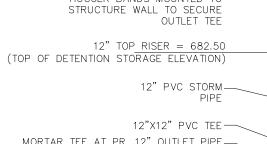
-12 STORM **BIO-RETENTION CROSS-SECTION DETAIL** 





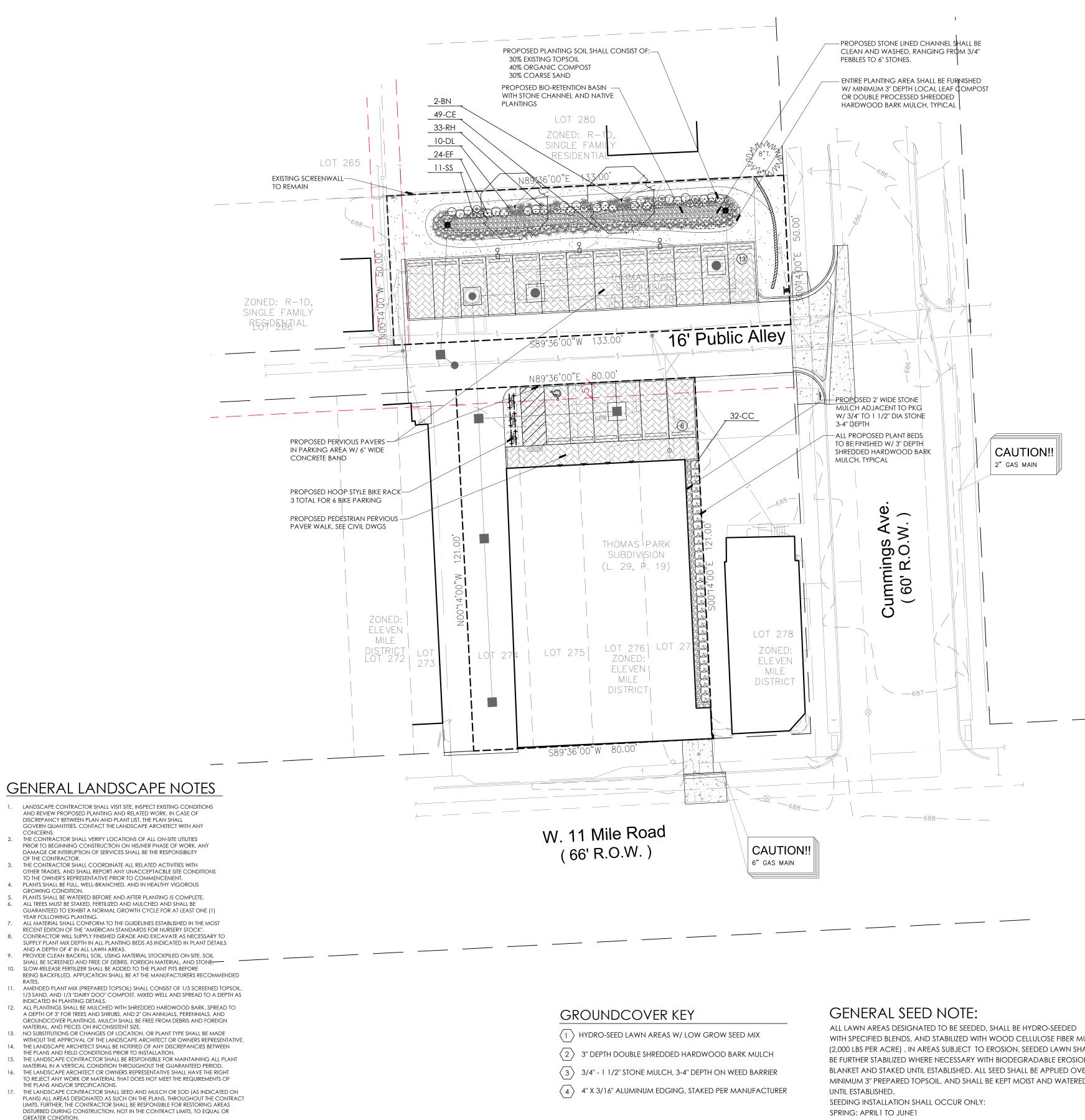






MORTAR TEE AT PR. 12" OUTLET PIPE-

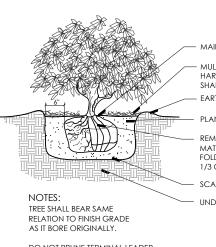
SEOTEXTILE FABRIC <u>NOTE</u>: BIO-RETENTION PER MDOT REQ.) ELEVATIONS SHALL 679 77-680 07 SLOPE WITH PR. SURFACE GRADE ELEVATIONS.



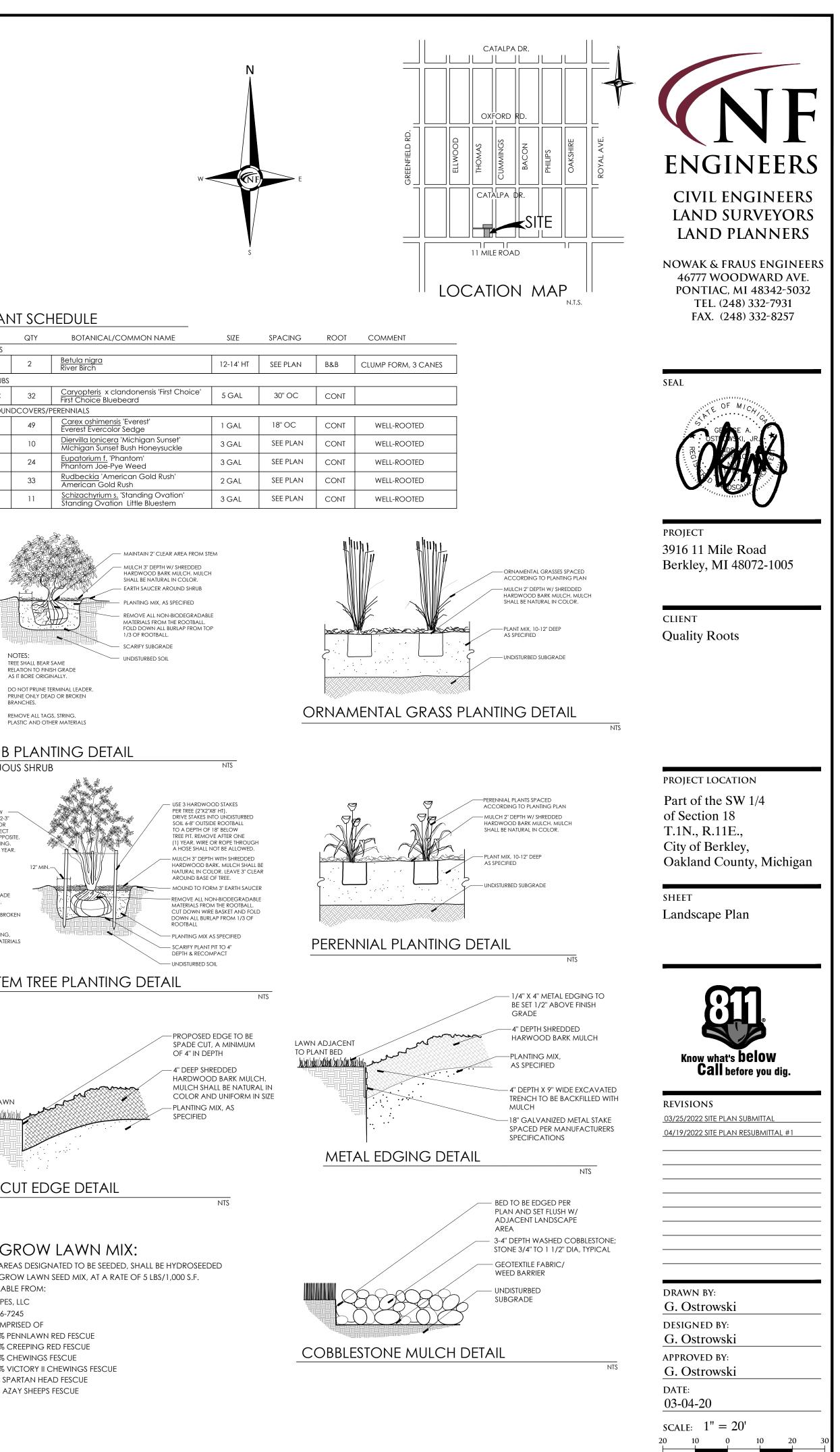
18. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS. 19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND

SYSTEM.

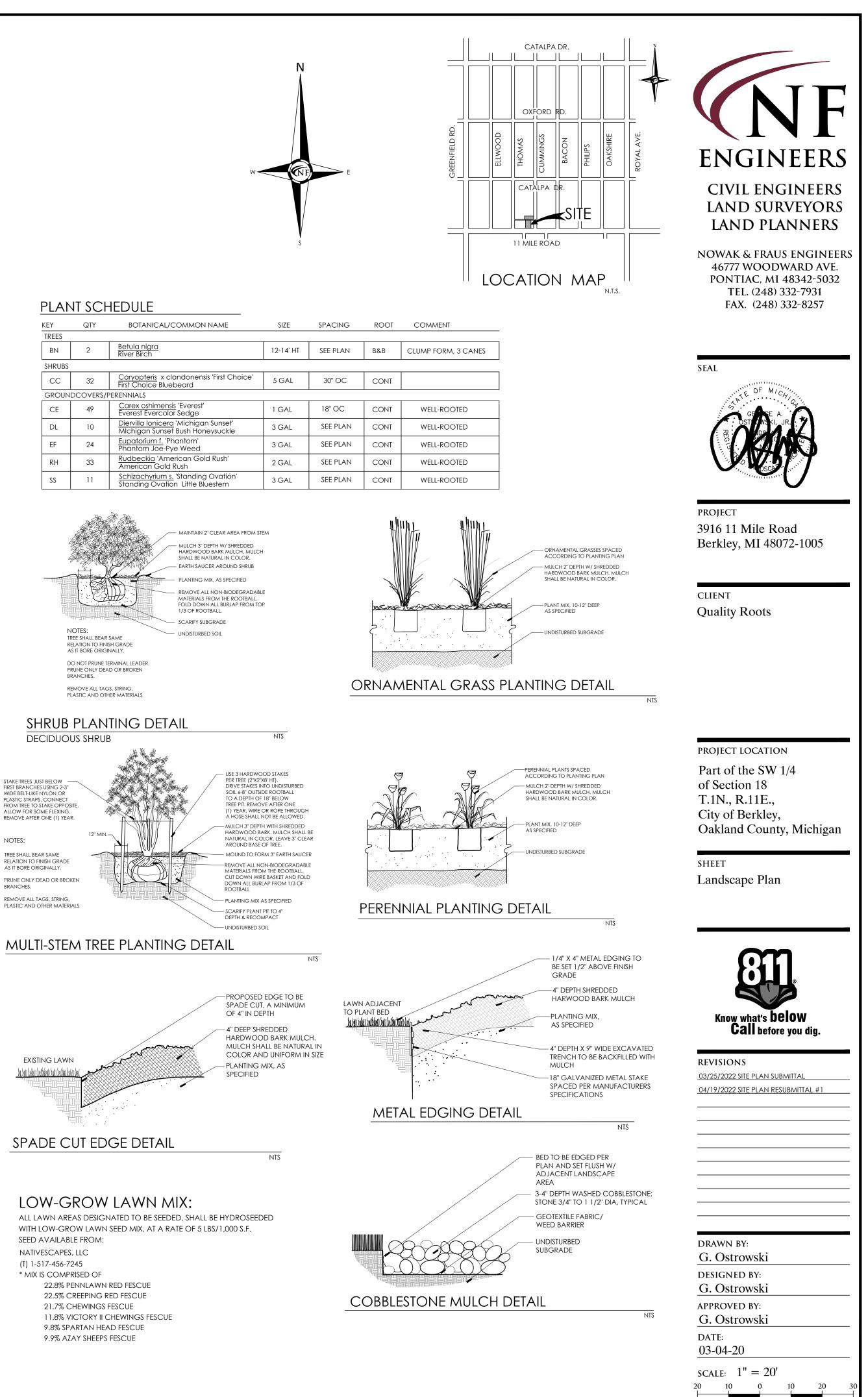
KEY	QTY	BOTANICAL/COMMON NAME
TREES		
BN	2	Betula nigra River Birch
SHRUBS		
СС	32	Caryopteris x clandonensis 'First Cho First Choice Bluebeard
GROUN	DCOVERS/F	PERENNIALS
CE	49	Carex oshimensis 'Everest' Everest Evercolor Sedge
DL	10	Diervilla lonicera 'Michigan Sunset' MIchigan Sunset Bush Honeysuckle
EF	24	Eupatorium f. 'Phantom' Phantom Joe-Pye Weed
RH	33	Rudbeckia 'American Gold Rush' American Gold Rush
SS	11	Schizachyrium s. 'Standing Ovation' Standing Ovation Little Bluestem



WIDE BELT-LIKE NYLON OR ALLOW FOR SOME FLEXING. REMOVE AFTER ONE (1) YEAR. NOTES: TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY. BRANCHES.



# MULTI-STEM TREE PLANTING DETAIL



WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE) . IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY FALL: AUGUST 15 TO OCTOBER 15

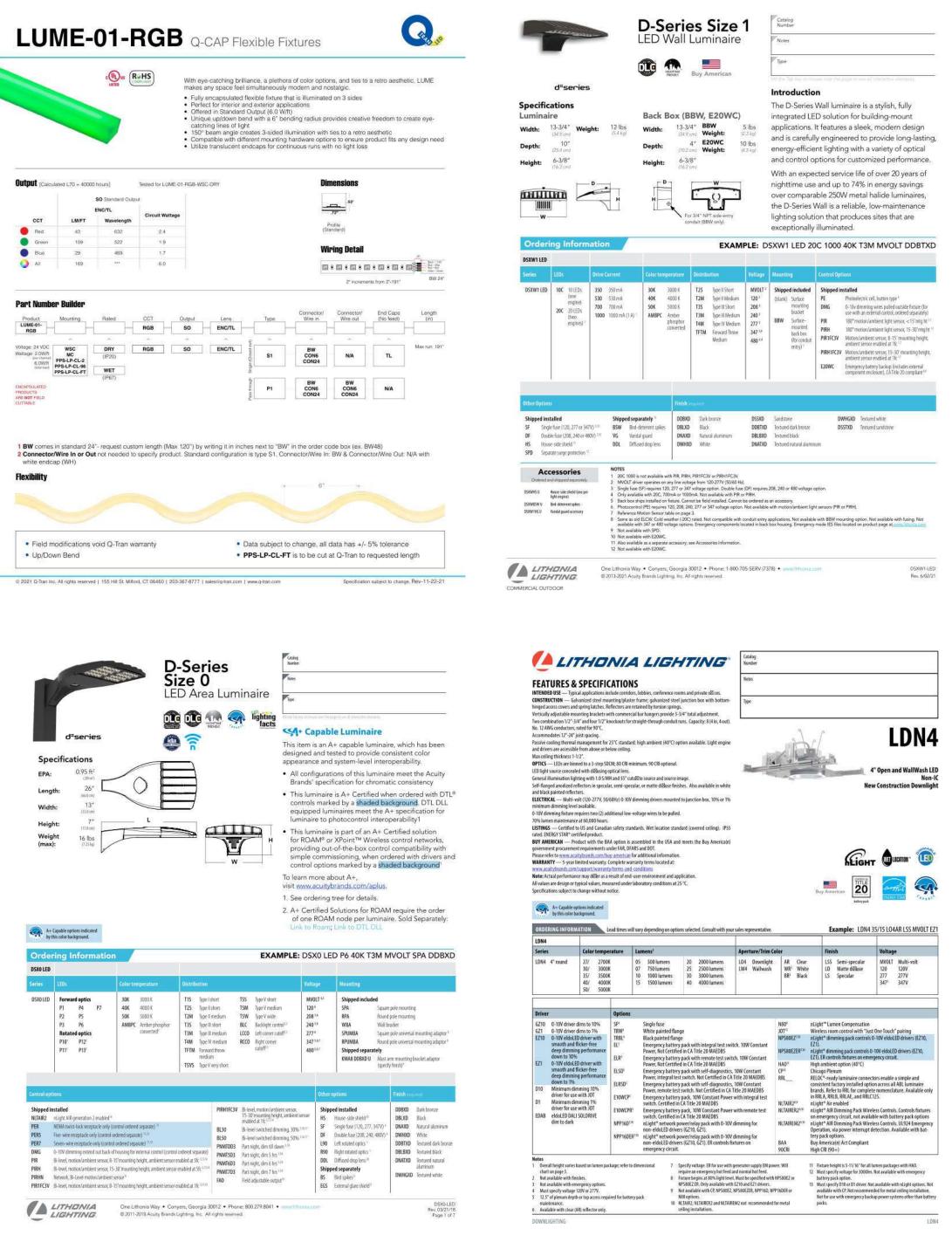
# **IRRIGATION NOTE:**

ALL LANDSCAPE AREAS, INCLUDING THOSE WITHIN THE R.O.W. SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL OPERATE IN COMPLIANCE WITH LOCAL STANDARDS AND SEASONAL RESTRICTIONS. SEPARATE ZONES SHALL BE PROVIDED FOR LAWN AREAS AND PLANTING BEDS. IRRIGATION SHALL BE DESIGNED IN THE THE MOST EFFICIENT MANNER NECESSARY TO FULLY IRRIGATE ALL PLANTING AREAS.

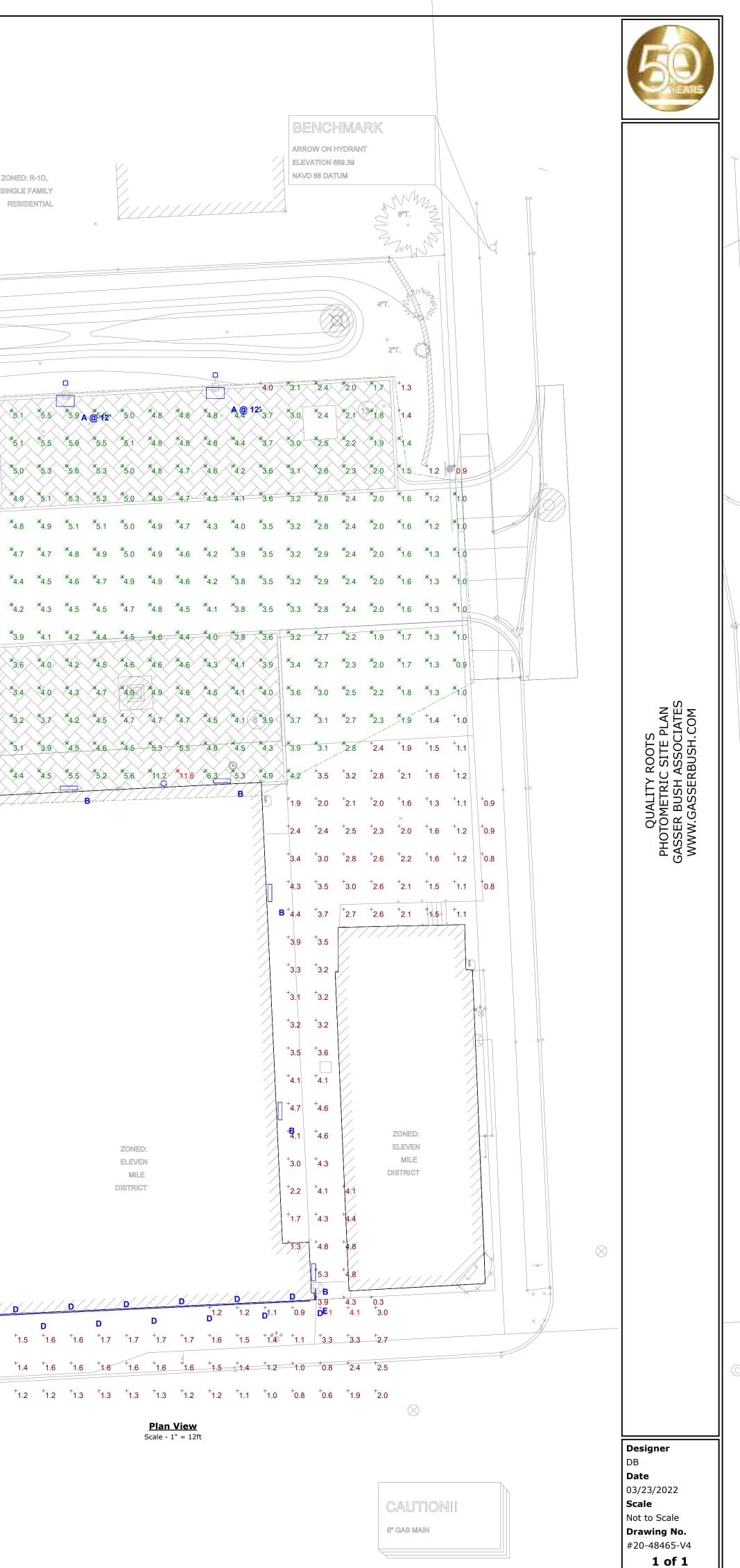
NFE JOB NO. **C360-02** 

SHEET NO. **L1** 

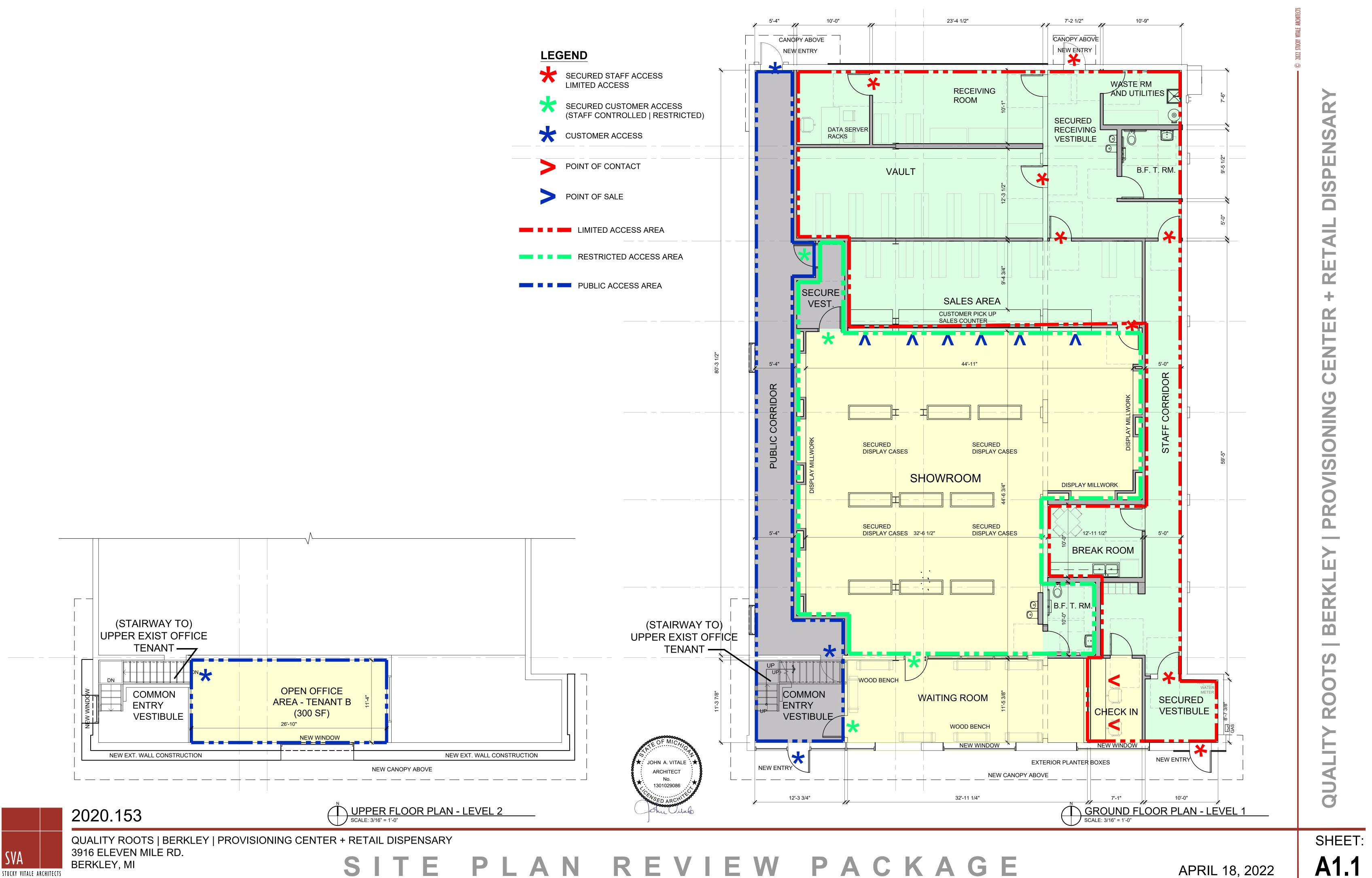
								Schedule													
General Note 1. SEE SCHEDULE FOR LUMINAIRE MO	UNTING HEIGHT.							Symbol	Label	Quantity	Manufacturer	Catalog Number	Description				Lamp	Lumens Per	Light Loss Factor	Wattage	
<ol> <li>CALCULATIONS ARE SHOWN IN FOC</li> <li>LIGHTING ALTERNATES REQUIRE N</li> </ol>	OTCANDLES AT: 0'		ION AND RES	SUBMISSION		APPROVAL.			Α	3	Lithonia Lighting	DSX0 LED P6 40K T5 MVOLT HS	5W DSX0 LED P6	40K T5W MVOLT w	ith houseside shie	d	LED	Lamp 10881	0.9	134	
THE ENGINEER AND/OR ARCHITECT MU							N		В	7	Lithonia Lighting	DSXW1 LED 20C 100 40K TFTM MVOLT	00 DSXW1 LED W @ 1000mA.	/ITH (2) 10 LED LI	GHT ENGINES, TY	PE TFTM OPTIC, 4000	K, LED	7711	0.9	73.2	
CONDITIONS. THIS LIGHTING LAYOUT UNDER CONTROLLED CONDITIONS IN ACTUAL PERFORMANCE OF ANY MANUF	ACCORDANCE WI	TH ILLUMIN	ATING ENGIN	IEERING SO	CIETY APPROVE	D METHODS.	N		D		Q-Tran	LUME		B-WSC-DRY-RGB-A	ALL-SO-ENC-TL		LED	169	0.9	30	
TOLERANCE IN LAMPS, AND OTHER VA AND/OR FLOOR UP.						,			Е	2	Q-Tran	LUME	Q-LUME-1-RG	B-WSC-DRY-RGB-A	ALL-SO-ENC-TL		LED	169	0.9	12	Z
THESE LIGHTING CALCULATIONS ARE SYSTEM SUITABILITY AND SAFETY. TH ENERGY CODE AND LIGHTING QUALITY	HE ENGINEER AND								С	2	Lithonia Lighting	LDN4 40/10 LO4AR	LD 4IN LDN, 4000	DK, 1000LM, CLEAI	R, MATTE DIFFUSE	REFLECTOR, 80CRI	LED	936	0.9	10.58	
UNLESS EXEMPT, PROJECT MUST COMP SPECIFIC INFORMATION CONTACT GBA			-			90.1 2013. FOR													×		
FOR ORDERING INQUIRIES CONTACT	GASSER BUSH AT	QUOTES@G	ASSERBUSH.	COM OR 734	4-266-6705.												0		×		
THIS DRAWING WAS GENERATED FROM IN FIELD BY OTHERS.	M AN ELECTRONIC	IMAGE FOR	R ESTIMATIO	N PURPOSE	ONLY. LAYOUT	TO BE VERIFIEI	D								×						
MOUNTING HEIGHT IS MEASURED FRO MOUNTING HEIGHT LESS BASE HEIGHT		E OF FIXTUF	RE. POLE HEI	GHT SHOULI	D BE CALCULAT	ED AS THE												×			
Statistics															77,			*2.0 *2.4 *3.1		A@	12'
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Mir	n Avg/M	lax										*2.1 *2.5 *3.1 *2.2 *2.5 *3.0			
Grade	+	3.1 fc	11.6 fc	0.2 fc	58.0:1	15.5:1	0.3:1	1					ZONED: R-1D, SINGLE FAMILY					*2.2 *2.6 *3.0			
Parking/Alleyway	*				14.5:1	4.3:1	0.3:1						RESIDENTIAL				+14 1.7	*2.1 *2.5 *2.9	*3.3 *3	8 <sup>*</sup> 4.2	*4.5 *4.7
Grade	+	1.3 fc	4.1 fc	0.3 fc	13.7:1	4.3:1	0.3:1	1							//		*1.6	*1.9 *2.3 <sup>*</sup> 2.7	, * <sub>3.1</sub> * <sub>3</sub>	.5 <sup>*</sup> 3.9	*4.3 *4.6
LUME-01-RGB Q-CAP Flexible	le Fixtures	Q		D- LE	<b>-Series Size 1</b> D Wall Luminaire	Cetalog Number Notes							)					*1.8 2.1 *2.5 *1.6 *1.9 *2.2			*3.9 *4.3 *3.6 *3.9
	plethora of color options, and ties to a retro ae neously modern and nostalgic.	Annual Advance			Hormer Buy American		staff interactive advances						、					*1.2 *1.5 *1.8			*3.0 *3.4
Fully encapsulated flexible fix     Perfect for interior and exteri     Offered in Standard Output (     Unique up/down bend with a	fixture that is illuminated on 3 sides rior applications		Specification Luminaire	15	ack Box (BBW, E20WC)	Introduction The D-Series Wall luminaire is integrated LED solution for b	building-mount										*0.8	*0.9 *1.1 *1.3	*1.6 <sup>*</sup> 2	0 *22	*2.5 *2.9
catching lines of light • 150° beam angle creates 3-s Compatible with different mo • Utilize translucent endcaps fo	sided illumination with ties to a retro aesthetic ounting hardware options to ensure product fits for continuous runs with no light loss	s any design need	Width:         13-3/4' (34 9 cm)           Depth:         10' (25 A cm)           Height:         6-3/8' (62 cm)		dth:         13-3/4"         BBW         5 lbs           (54.9,cm)         Weight:         (2.3/g)           pth:         4"         E20WC         10 lbs           (10.2,cm)         Weight:         (4.5/g)           ight:         6-3/8"         (4.5/g)	applications. It features a slee and is carefully engineered to energy-efficient lighting with and control options for custo	o provide long-lasting, a variety of optical										0.4	<b>0.8 *</b> 0.9 <b>*</b> 1.1	*1.3 *1	7	*2.3 *2.9
Output (Calculated L70 = 40000 hours) Tested for LUME-01-RGB-WSC-DRY SO Standard Output	Dimensions		Height: 6-3/8 (b.2 or Will) W			With an expected service life nighttime use and up to 74% over comparable 250W meta	of over 20 years of in energy savings al halide luminaires,						BENCH	HMARK			1	0.9 *0.9 *1.1	*1.3 *1	.7 *2. <b>0</b>	*2.2 *2.7
CCT         ENC/TL         Circuit Wattage           Red         LM/FT         Wavelength         Circuit Wattage           Red         632         2.4           Comm         100         532         1.0	Profile (Standard)				For 3/4" NPT side-entry conduit (BBW only)	the D-Series Wall is a reliable, lighting solution that produce exceptionally illuminated.	es sites that are						BENCH TIE IN ELEVATION 6	89.04				+1.0 <sup>+</sup> 1.2 <sup>+</sup> 1.3			*2.8 *2.7
Green         109         522         1.9           Blue         29         469         1.7           AB         169         ***         .6.0	Wiring Detail	Divort	Ordering In DSXW1 LED Series LEDS			psXW1 LED 20C 1000 40K T3	3M MVOLT DDBTXD						NAVD 88 DAT	UM				+1.2 +1.4 +1.6			*4.8 *7.8
Part Number Builder Product Mounting Rated CCT Output Lens Typ	2" increments from 2"-15 ype Connector/ Connector/ End Ca ype Wire in Wire out (No fee	41	200	190	XX         3000 K         T25         Type.II Short         MV00           XX         4400 K         T2M         Type.II Medium         120 <sup>3</sup> XX         5000 K         T3S         Type.II Medium         208 <sup>3</sup> MBPC         Amber         T3M         Type.III Medium         240 <sup>3</sup>	bracket use with an	ric cell, button type <sup>1</sup> ming wires pulled outside fixture (for external control, ordered separately) oxinamient toler server. < 15 min th <sup>117</sup>										/		3 <sup>+</sup> 1.8 <sup>+</sup> 1 0 <sup>+</sup> 1.9 <sup>+</sup> 1		<i> </i> <b>c</b> +-+
LUME-01- RGB SO ENC/TL Voltage: 24 VDC WSC DRY RGB SO ENC/TL	S1 BW CONS CON24 N/A TL	Max run: 191*		ngines) <sup>1</sup>	phosphor converted TFTM Type IV Medium 277 * TFTM Forward Throw 347 * Medium 480 *	A mounted back box (for conduit entry) PIRH 180° motion A (for conduit entry) PIRHFC3V Motion/ami	n/ambient light sensor, <-15 mtg ht <sup>12</sup> sn/ambient light sensor, 15-30 mtg ht <sup>12</sup> bibent sensor, 8-15 mounting height, ensor enabled at 11c <sup>12</sup> sibent sensor, 15-30 mounting height, ensor enabled at 11c <sup>12</sup>										, , ,	1.8 2.0 +2.2 +2.5			
6.0%TH PPSLP-CL-96 WET (IP67) ENCAPSULATED (IP67) (IP67) PODUCTS ARE NOT FILD P	P1 CON6 CON6 N/A CON6 N/A				Balt	E20WC Emergency	rou reaurea in it. 'sattery bachup (includes external enclosure). CA Tale 20 compliant <sup>co</sup>											+2.7 +2.8		+	
CUTTABLE			Other Options Shipped installed SF Single fixe (12) DF Double fixe (20) HS House-side shie	8, 240 or 480V) <sup>330</sup> <b>VG</b> Vandal guard	nt spikes DBLXD Black DDBT d DNAXD Natural aluminum DBLB	ID Sandstone DWHGXD Text TXD Textured dark bronze DSSTXD Text IXD Textured black TXD Textured black												+2.8 +2.9	) <sup>+</sup> 3.3 <sup>+</sup> 3	9 +42	
<ol> <li>BW comes in standard 24"- request custom length (Max 120") by writing it in inches next t</li> <li>Connector/Wire In or Out not needed to specify product. Standard configuration is type 5 white endcap (WH)</li> <li>Flexibility</li> </ol>	S1, Connector/Wire In: BW & Connector/Wire (	Out: N/A with	HS House-side she SPD Separate surge ( Accesso) Ordered and adjusted	ries NOTES 1 200 1000 is not av	VIENS DWHXD White DNAI	AAUGU JAGURA AUJIHIJUM												+3.1 +3.1	+3.5 +4	1 4.6	
	· · · · ·		DSXWISU Hypes DSXWISU Bird determine DSXWISU Bird determine DSXWISU Varial gaine	2 NVCU drver ope 3 Single fuse (SF) req 4 Only available with trapkes 5 Back box ships inst 5 Back box ships inst 6 Photocontrol (PE) (accessity 7 Reference Motion: 8 Same as old ELCW	pures 120, 217 or 347 voltage option. Double fuse (DF) requ 20C, 700mA or 1000mA. Not available with PIR or PIRH. Tabled on foture. Cannot be field installed. Cannot be ordere requires 120, 208, 240, 277 or 347 voltage option. Not avail Sensor table on page 3. C fold weather (20C) rated. Not compatible with conduit er	ed as an accessory. Jable with motion/ambient light sensors (PIR or PIRH). ntry applications. Not available with BBW mounting option	n. Not available with fusing. Not											+3.4 +3.4	+ <sup>+</sup> 3.4 <sup>+</sup> 3	9 +4.0	
	bject to change, all data has +/- 5% tolera	1883 - 1985 - 1985 - 1986 - 1986 - 1986 - 1986 - 1986 - 1986 - 1986 - 1986 - 1986 - 1986 - 1986 - 1986 - 1986 -		available with 347 9 Not available with 10 Not available with	or 480 voltage options. Emergency components located in b SPD. E20WC. Expanse accessory; see Accessories information.	back box housing. Emergency mode IES files located on pr	woduct page at <u>users lither is cont</u>											+3.3 +3.6		+	
© 2021 Q-Tran Inc. All rights reserved   155 Hill St. Millord, CT 06460   203-367-8777   salesilig-tran.com   www.q-tran		change. Rév-11-22-21			ionyers, Georgia 30012 • Phone: 1-800-705-SERV ds Lighting, Inc, All rights reserved.	(7378) • www.informa.com	DSXW1-LED Rev: 6/02/21											+3.1 +3.5	+ +	0 <sup>+</sup> 3.1	,
																ZONED:		3.0 3.5 +3.2 +3.5	+ +	0 3.0 2 <sup>+</sup> 3.1	
D-Series	Caulog Mariber			ITHONIA L	Catalog Kumber											ELEVEN MILE		3.2 3.5 +3.2 +3.4	+ +	.2 3.1 .5 <sup>+</sup> 3.7	
D-Series Size 0 LED Area Luminaire	Fine		INTENDED USE CONSTRUCTION	& SPECIFICATIONS Typical applications include corridors, lobbies, Galvanized steel mounting/plaster frame; g and spring latches. Reflectors are retained by	alvanized steel junction box with bottom-											DISTRICT			+ +	.5 5.7 .8 <sup>+</sup> 4. <u>3</u>	; ; ;
d <sup>a</sup> series 🚑 🛜	4 Capable Luminaire	which has been	Vertically adjustable Two combination 1/ No. 12 AWG conduct Accommodates 12*- Passive cooling ther	e mounting brackets with commercial bar han 2°-3/4° and four 1/2° knockouts for straight-th ors, rated for 90°C. 24° joist spacing. mail management for 25°C standard; high am	gers provide 3-3/4" total adjustment. rough conduit runs. Capacity: 8 (4 in, 4 out).	22-1	LDN4											+2.6 +2.9	+ +	.7 <sup>+</sup> 4.4	/
Specifications	This item is an A+ capable luminaire, designed and tested to provide cons appearance and system-level interop • All configurations of this luminaire	sistent color perability. meet the Acuity	and drivers are acce Max ceiling thicknes <b>OPTICS</b> — LEDs are LED light source con	ssible from above or below ceiling.	O CRI optional.		4" Open and WallWash LED Non-IC											+2.5 +2.8		.1 <sup>+</sup> 3.3	/
Length: 250m Width: 13"	<ul> <li>Brands' specification for chromatic</li> <li>This luminaire is A+ Certified wher controls marked by a shaded back equipped luminaires meet the A+</li> </ul>	n ordered with DTL® ground. DTL DLL specification for	Self-flanged anodiz and black painted re ELECTRICAL — Mu minimum dimming 0-10V dimming fixt	ed reflectors in specular, semi-specular, or ma flectors. Iti-volt (120-2779, 50/60Hz) 0-10V dimming d level available. ure requires two (2) additional low-voltage wi	rtte diBuse finishes. Also available in white drivers mounted to junction box, 10% or 1%		New Construction Downlight												5 <sup>+</sup> 2.4 <sup>+</sup> 2	4 <sup>+</sup> 2.4	
Height: 7* Weight 16 lbs (max): 0/2140	luminaire to photocontrol interope • This luminaire is part of an A+ Cer for ROAM <sup>®</sup> or XPoint <sup>™</sup> Wireless of providing out-of-the-box control c	erability1 tified solution ontrol networks, ompatibility with	70% lumen mainter LISTINGS — Certif rated. ENERGY STAR BUY AMERICAN — government procur	ance at 60,000 hours. ied to US and Canadian safety standards. We " certified product. Product with the BAA option is assembled ement requirements under FAR, DFARS and DO	et location standard (covered ceiling). IPSS in the USA and meets the Buy America(n) JT.		a and a contract												-+2.0 +1		
w	<ul> <li>simple commissioning, when orde control options marked by a shade</li> <li>To learn more about A+, visit www.acuitybrands.com/aplus.</li> </ul>	red with drivers and	WARRANTY — 5-y www.acuitybrands Note: Actual perfor All values are design	Lacuitybrands.com/buy-american for addition ear limited warranty. Complete warranty term com/support/warranty/terms-and-conditions mance may d&ger as a result of end-user envir- tor typical values, measured under laboratory ct to change without notice.	ns located at: 3 onment and application.	Buy American	рнт фиклок <sup>.</sup> 🗐											+1.4 +1.7	, <sup>+</sup> 1.7 <sup>+</sup> 1	.4 <sup>+</sup> 1.5	
A+ Capable options indicated by this color background.	<ol> <li>See ordering tree for details.</li> <li>A+ Certified Solutions for ROAM r of one ROAM node per luminaire Link to Roam; Link to DTL DLL</li> </ol>		A+ Capat by this co	ele options indicated for background.	ending on options selected. Consult with your sales represen	bathery pa	N4 35/15 LO4AR LSS MVOLT EZ1											+1.2 +1.3	<sup>+</sup> 1.2 <sup>+</sup> 1	.1 <sup>+</sup> 1.2	/
	XAMPLE: DSX0 LED P6 40K T3M MV	OLT SPA DDBXD	LDN4 Series LDN4 4" round	Color temperature         Lumens           27/         2700K         05         50           30/         3000K         07         75           35/         3500K         10         10	Aperture/           00 lumens         20         2000 lumens         1.04         Down           80 lumens         25         2500 lumens         1.04         Mall           00 lumens         30         3000 lumens         1.04         Mall	Trim Color Finish rnlight AR Clear LSS Semi-specular	120 120V												9 0.9 +	1 1.4 1.1 <sup>+</sup> 1.3	<b>6</b> .8 <b>D</b> 1.0 1.3
Series         LEDs         Color temperature         Oistribution           DSX0.LED         Forward optics P1         30K         300K         T15         Type I short         T55         Type V short           P1         P4         P7         40K         4000 K         T25         T5M Type I modum         T5M Type V module           P2         P5         50K 5000 K         T04         T5M Type I modum         T5M Type V module	medium 120 * SPA Square pol	le mounting e mounting	Driver		300 Jumens 30 3000 Jumens 300 Jumens 40 4000 Jumens	a prevalation	277 277V 347 <sup>1</sup> 347V										)	+0.6 +0.	.6 <sup>+</sup> 0.7 <sup>+</sup>	0.8 <sup>+</sup> 1.0	<sup>+</sup> 1.0 <sup>+</sup> 1.3
P3         P6         AMBPC         Amber phosphor         T3S         Type II short         BLC         Backlight           Rotated optics         Convertied*         T3M         Type II medium         LCCO         Left convertied*           P10*         P12*         T4M         Type IV medium         RCCO         Right convertied*           P11*         P13*         TFTIN         Reveard theory         cuntiff**	pht control <sup>1-3</sup> 240 <sup>5.6</sup> WBA Wall brack mer cutalf <sup>1-3</sup> 277 <sup>4</sup> SPUMBA Square pol pomer 347 <sup>5.47</sup> RPUMBA Round pol <sup>3</sup> A80 <sup>6.07</sup> Shipped separately	et le universal mounting adaptor <sup>4</sup> le universal mounting adaptor <sup>8</sup>	GZ1 0-10V dr EZ10 0-10V ele smooth a deep dim	iver dims to 1% TRW <sup>®</sup> While doLED driver with TRBL <sup>®</sup> Black and flicker-free EL <sup>®</sup> Eme sming performance Pow	le fuse te painted flange k painted flange regncy battery pack with integral test switch. 10W Const er, Not Certified in CA Title 20 MAEDBS	NPS80EZER <sup>3,30</sup> nLight <sup>®</sup> dimming pack control	"Just One Touch" pairing rols 0-10V eldoLED drivers (EZ10, ols 0-10V eldoLED drivers (EZ10,											×× +0.4 +0.	4 +0.5 +	0.6 <sup>+</sup> 0.7	<sup>+</sup> 0.8 <sup>+</sup> 1.0
medium TSVS Type V very short	KMA8 DOBXD U Asst arm typedy fr		down to EZ1 0-10V tel smooth deep dim down to D10 Minimum	10%         ELR <sup>3</sup> Eme Pow           IoLED driver with und flicker-free ming performance         ELSD <sup>3</sup> Eme Pow           1%         ELRSD <sup>5</sup> Eme Pow           1%         ELRSD <sup>5</sup> Eme Pow	rgency battery pack with remote test switch. TOW Consta er, Not Certified in CA Title 20 MAEDBS regncy battery pack with self-folgonostics, TOW Constant er, integral test switch. Not Certified in CA Title 20 MAEDB rgency battery pack with self-folgonostics, TOW Constant er, remote test switch. Not Certified in CA Title 20 MAEDB	Ant EZI). ER controli fixtures on er HAO" High ambient option (40°C) t CPU Chicago Plenum BS RRL_ RELOC*-ready luminaire cont t consistent factory installed o brands. Refer to RRL for com	emergency circuit. Intectors enable a simple and option across all ABL luminaire opter on omechature. Available only										)	<sup>+</sup> 0.3 <sup>+</sup> 0.	.3 <sup>+</sup> 0.3 <sup>+</sup>	0.4 <sup>+</sup> 0.5	<sup>+</sup> 0.6 <sup>+</sup> 0.8
PER NEMA twist-lock recentacle only (control ordered senarate). <sup>11</sup>	n/ambient sensor, ng height, ambient sensor UTSV SF Since Free (120, 277, 3420)*	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum	D1 Minimun	ruse with JOT ETOWCP <sup>1</sup> Erne n dirmming T% ruse with JOT ETOWCP <sup>2</sup> Erne DALI SOLDRIVE Erne DALI SOLDRIVE swit rrk NPP16D <sup>7/6</sup> nLig	regency battery pack, TOW Constant Power with integral t ch. Certified in CA Title 20 MAEDBS regency battery pack, TOW Constant Power with remote to ch. Certified in CA Title 20 MAEDBS ht <sup>**</sup> network power/relay pack with 0-10V dimming for eldoLED drivers (G210, G21).	test In RRLA, BRLB, BRLAF, and Ri NLTAIR2 <sup>24</sup> nLight <sup>+</sup> Air enabled est NLTAIRER2 <sup>250</sup> nLight <sup>+</sup> Air Dimming Pack W on emergency circuit, not av NLTAIREM2 <sup>340</sup> nLight <sup>+</sup> Air Dimming Pack W Operation, via power interrup	RLC125. Wireless Controls. Controls fixtures vailable with battery pack options										(				
PERS Two-wire receptade only (control ordered separate) <sup>11,0</sup> BLSO Bi-level switcher PER7 Seven-wire receptade only (control ordered separate) <sup>11,0</sup> PM/IDDO Part night, dim f	red dimming, 50% 5/8/7 DF Double fuse (208, 240, 480V) *	DWHXD White DDBTXD Textured dark bronze		NPP16DER <sup>110</sup> nLig	ht* network power/relay pack with 0-10V dimming for eldoLED drivers (G210, G21). ER controls fixtures on responder circuit	tery pack options. BAA Buy America(n) Act Complian															

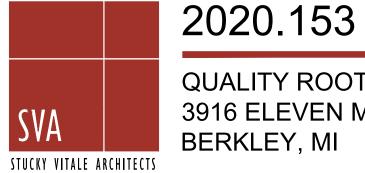








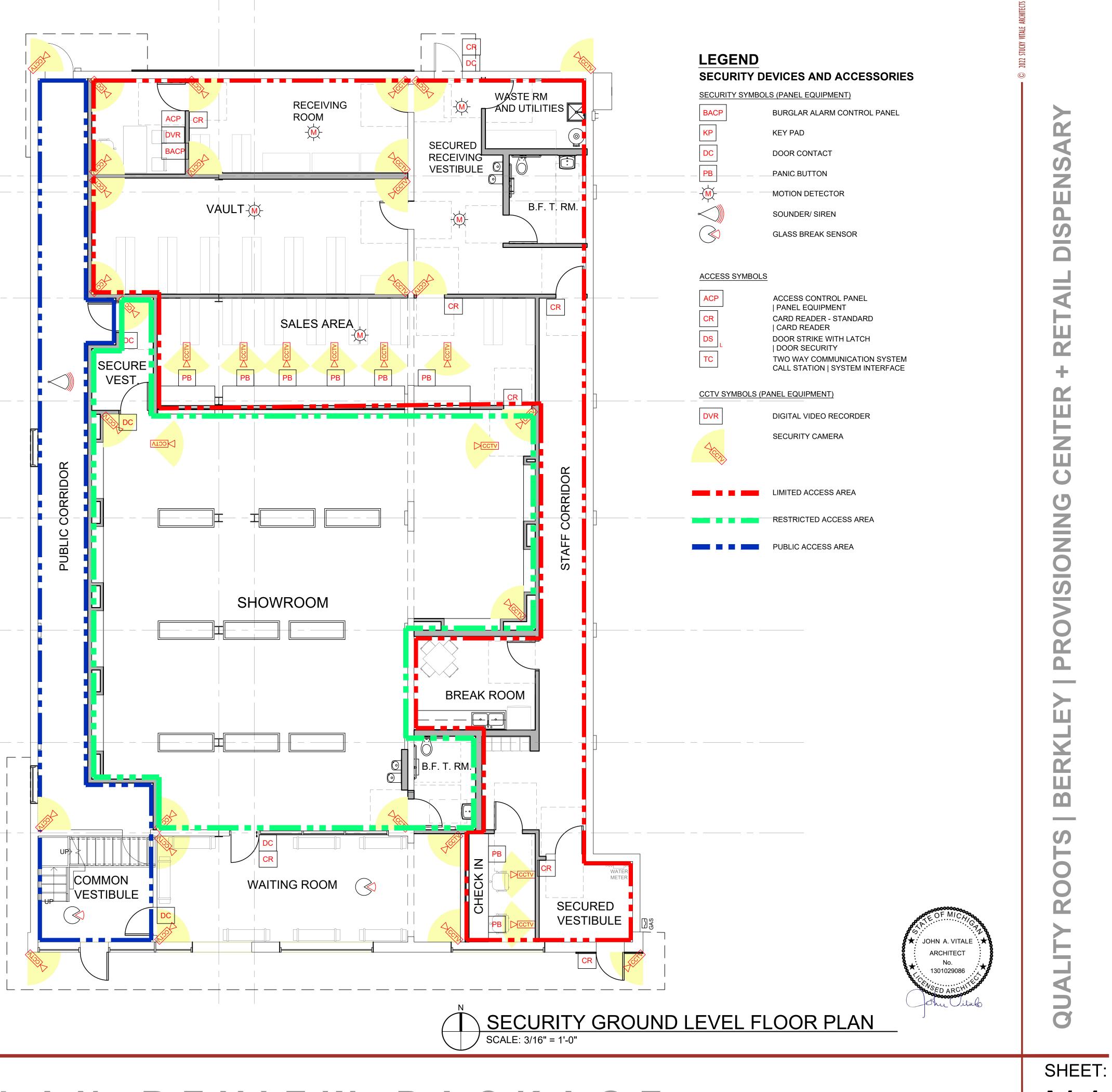




QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAIL DISPENSARY 3916 ELEVEN MILE RD. BERKLEY, MI



# SITE PLAN REVIEW PACKAGE



APRIL 18, 2022

A1.4



EXIST. PHOTO - REFERENCE SCALE: 3/16" = 1'-0"



EXIST. PHOTO - REFERENCE SCALE: 3/16" = 1'-0"



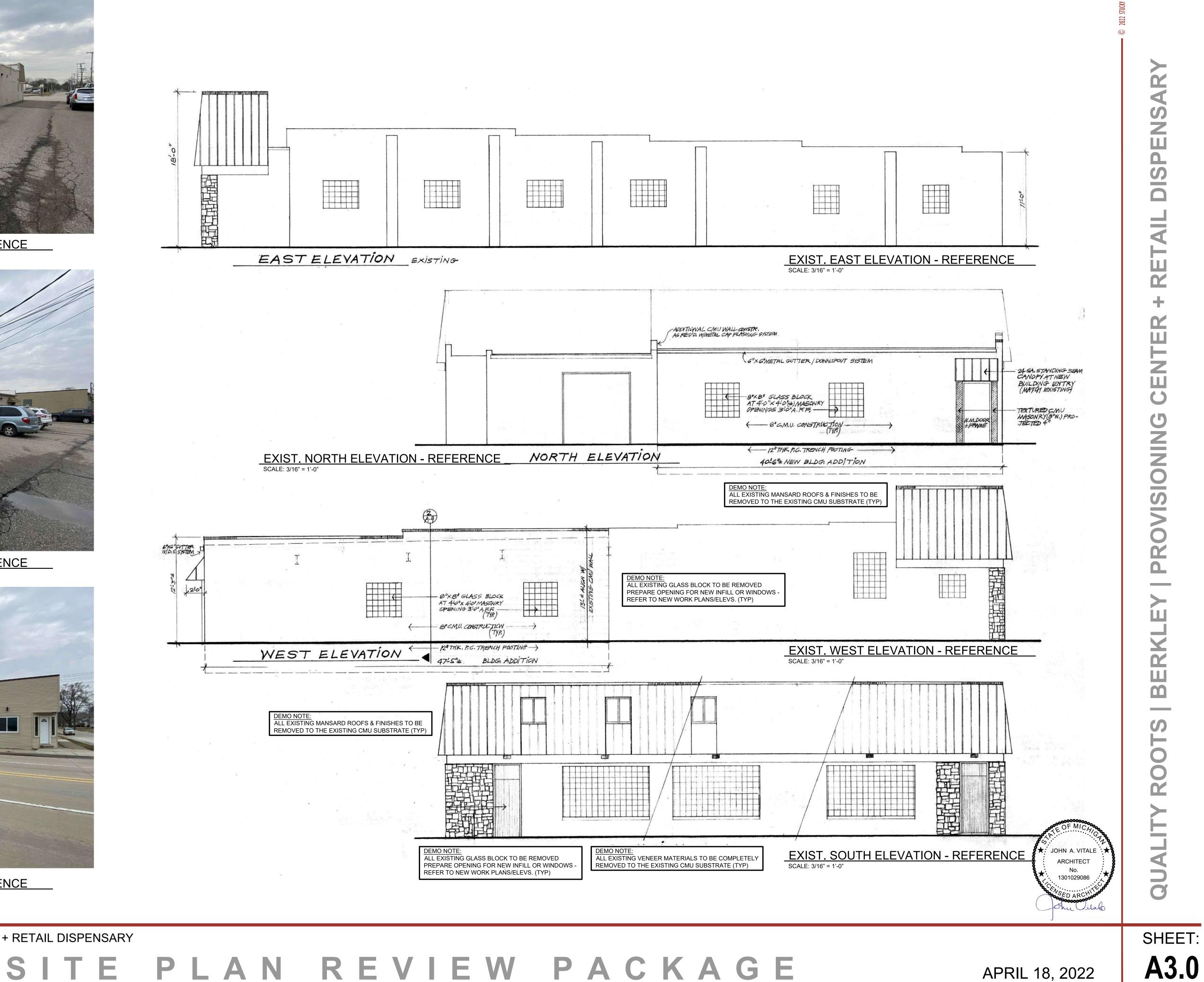
EXIST. PHOTO - REFERENCE SCALE: 3/16" = 1'-0"



# 2020.153

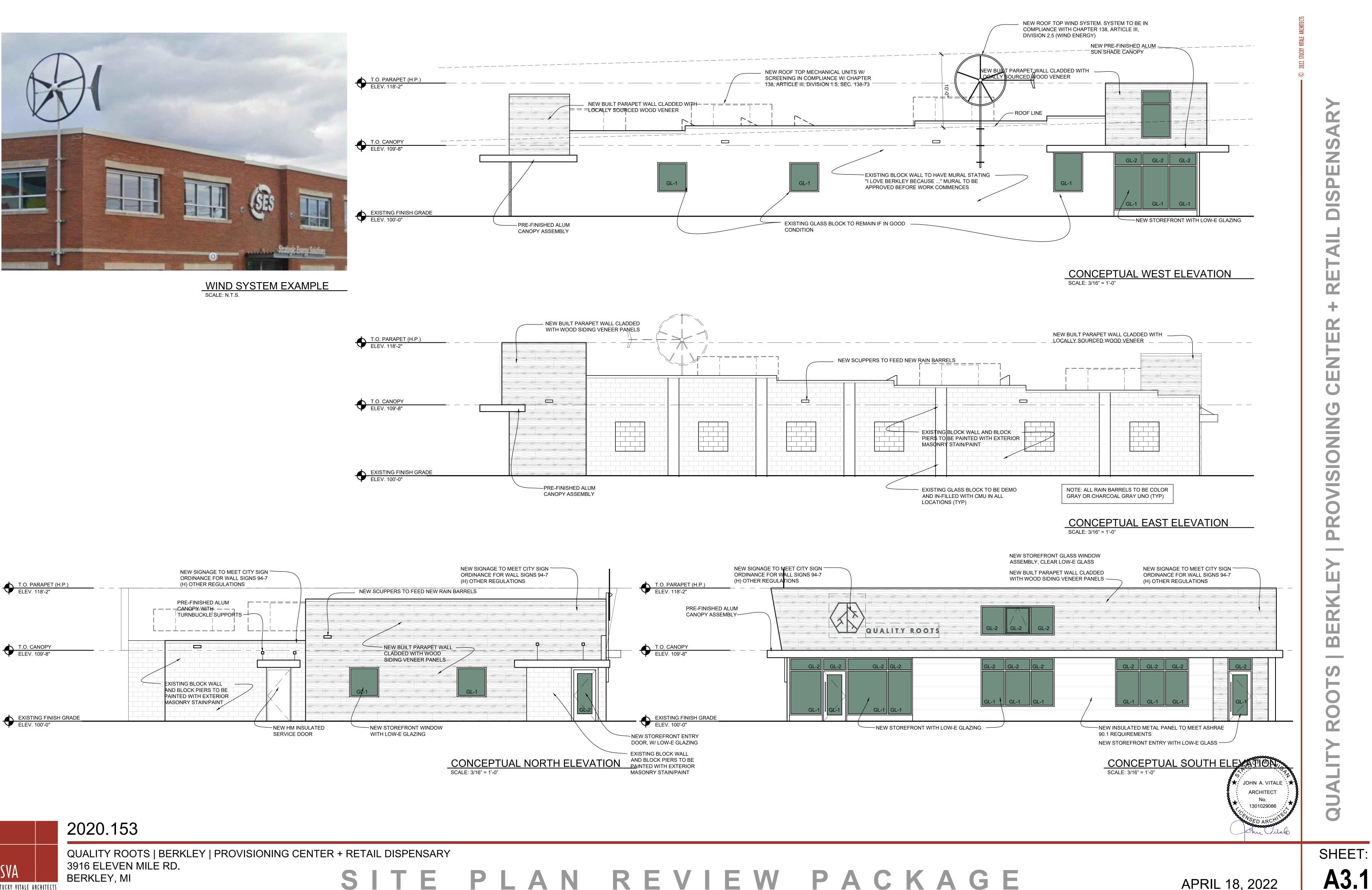
QUALITY ROOTS | BERKLEY | PROVISIONING CENTER + RETAIL DISPENSARY 3916 ELEVEN MILE RD. BERKLEY, MI





APRIL 18, 2022

A3.0

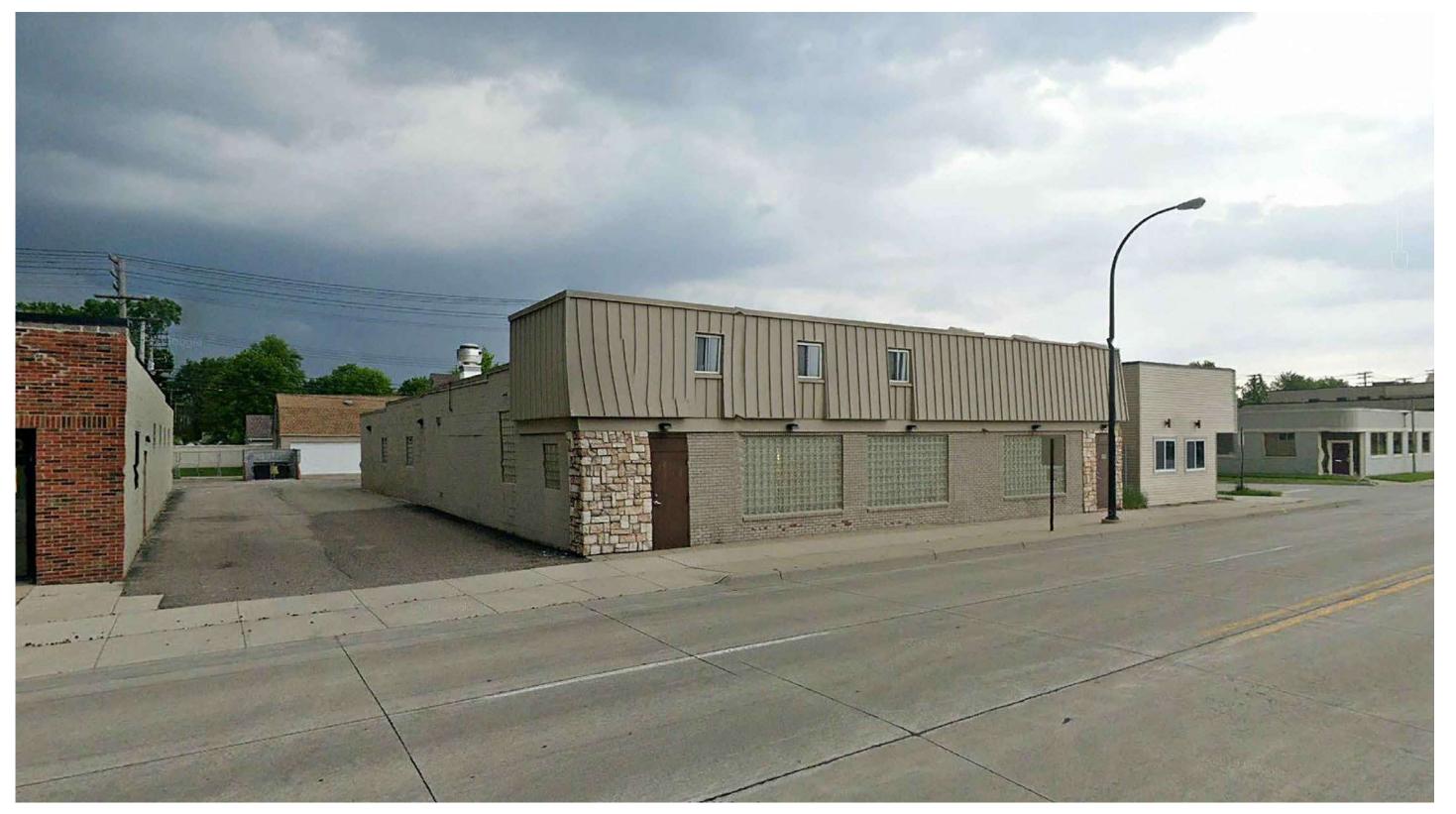




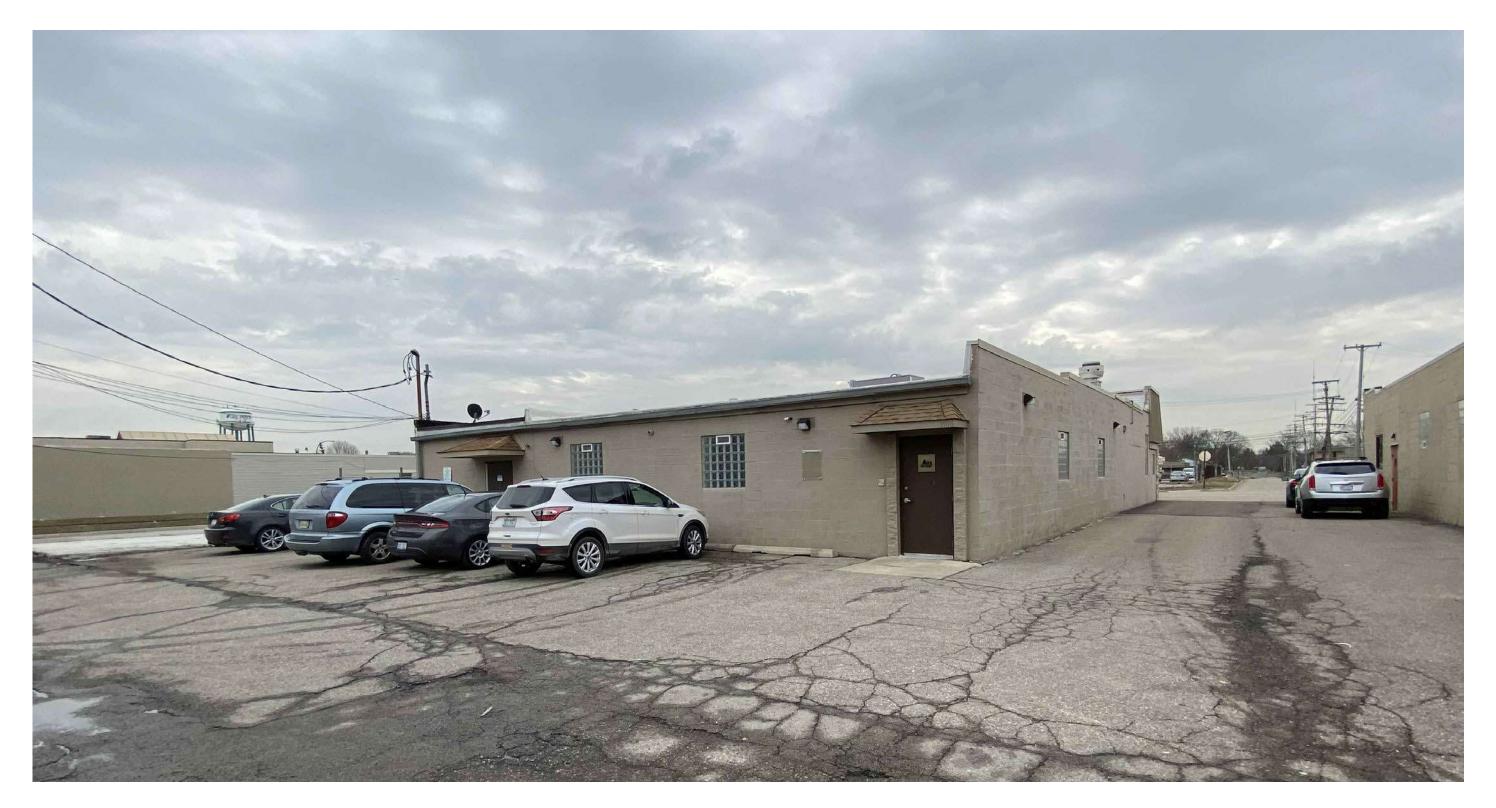
BERKLEY, MI

# SITE PLAN REVIEW PACKAGE

APRIL 18, 2022



EXISTING VIEW FROM 11 MILE SCALE: N.T.S.



EXISTING VIEW FROM REAR PARKING LOT SCALE: N.T.S.



2020.153

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# SITE PLAN REVIEW PACKAGE

CONCEPTUAL RENDERING VIEW FROM 11 MILE (DAY TIME) SCALE: N.T.S.

CONCEPTUAL RENDERING VIEW FROM THE PARKING LOT (DAY TIME) SCALE: N.T.S.

A3.2



APRIL 18, 2022



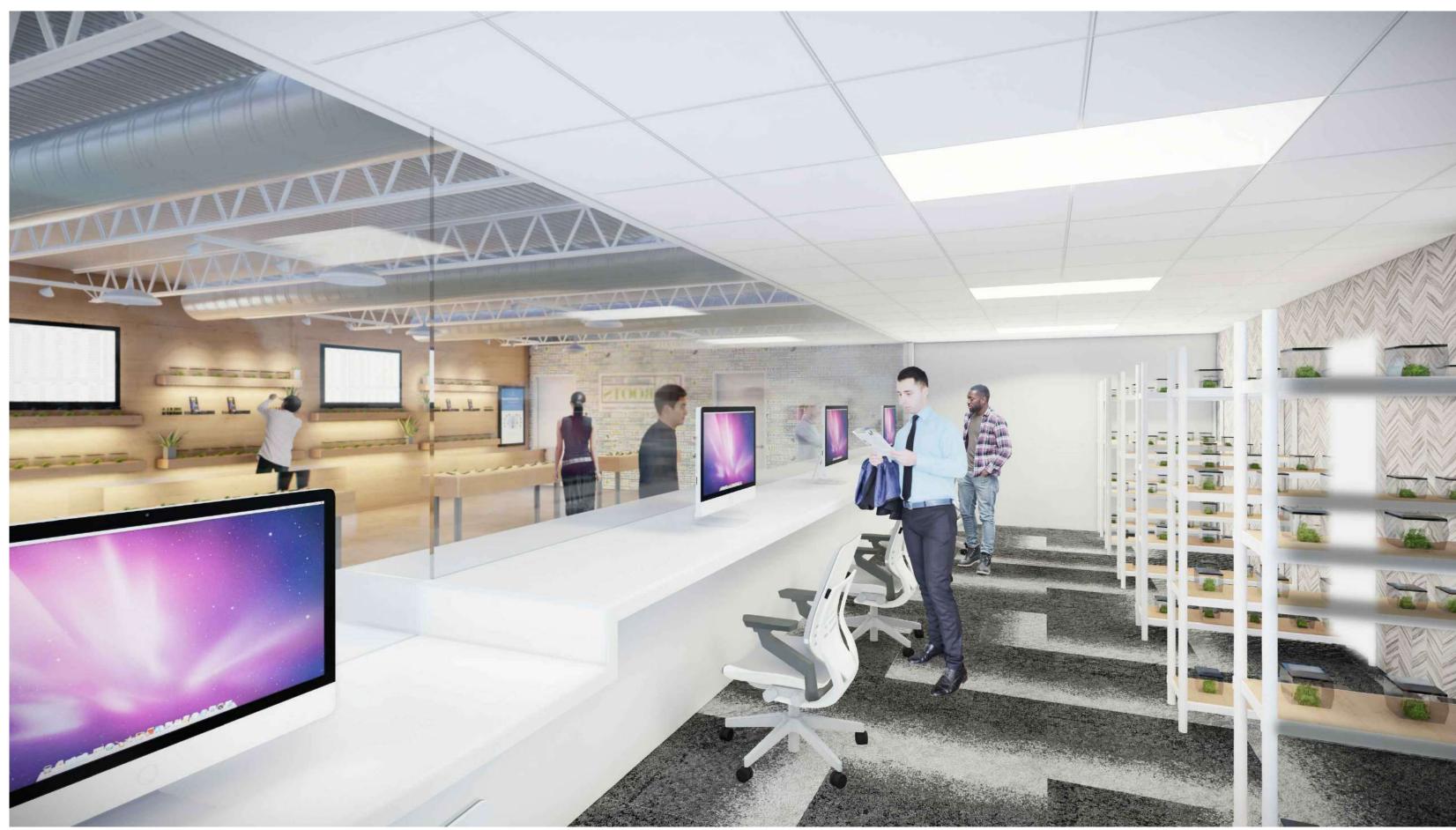
INTERIOR RENDERING FROM THE SHOWROOM SCALE: N.T.S.



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2020.153

ILOVE BERKIEY BECAUSE. Great Community love the pe Diversity All the parks! Myta



# SITE PLAN REVIEW PACKAGE



INTERIOR RENDERING FROM THE TRANSACTION AREA SCALE: N.T.S.

SHEET:

A4.1

APRIL 18, 2022

June 20, 2022 City Council Meeting

Moved by Councilmember \_\_\_\_\_\_and seconded by Councilmember

\_\_\_\_ to approve the appointments to various boards and commissions:

#### **Planning Commission**

Lisa Hamameh - appointment to a partial term expiring July 2024 Shiloh Dhalin - appointment to a term expiring July 2025 Lisa Kempner - appointment to a term expiring July 2025 Matteo Passalaqua - appointment to a term expiring July 2025

#### **Environmental Advisory Committee**

Caroline Dicks - appointment to a partial term expiring July 2023 Stephanie Pandolfi - appointment to a term expiring July 2025 Rebekah Randle - appointment to a term expiring July 2025 Noel Rendleman - appointment to a term expiring July 2025

#### Zoning Board of Appeals

Joseph Krug - appointment to a term expiring July 2025 Maria Ward - appointment to a term expiring July 2025 Joann Serr - appointment to a term expiring July 2025 Steve Allen - appointment to a term expiring July 2025 Andrew Creal - appointment to a partial term expiring July 2024

#### Tree Board

Lora Price - appointment to a term expiring July 2025

#### **DDA Board**

Ashley Poirier (reappointment to a full term) - appointment to a term expiring July 2026

Ayes:

Nays:

Motion:

June 20, 2022 City Council Meeting

Moved by Councilmember\_\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_to award the contract for the repair and resurfacing of the tennis courts at Friends Park at a cost not to exceed \$31,500 to the lowest qualified bidder, Laser Striping and Sport Surfacing, 9965 Lapham Way, Plymouth, MI 48170. In addition, allocate \$3,150 for contingencies. Funds for this expenditure will come from account 614-950-974-000.

Ayes:

Nays:

Motion:

# **Parks & Recreation**

#### Meno

To:	Matthew Baumgarten, City Manager
Cc:	Mark Pollock, Finance Director
From:	Theresa McArleton, Parks & Recreation Director
Date:	6/8/22
Subject:	Recommendation for Award of new Play Equipment at Community Park

As part of the FY 2021-2022 budget, funding was allocated for the repair of the Friends Park tennis courts. Originally, I considered a complete removal of the asphalt courts and installation of new asphalt. However, after review of the repairs needed by the department and industry experts, a decision was made to adjust the project and to plan and execute a resurfacing of the court surface.

The work to be performed at the courts consists of power-washing cleaning, major crack repair, complete resurfacing and lines for both pickleball and tennis to be painted. A typical tennis court resurfacing last anywhere from 5-9 years. At this point, I believe this is the most cost-effective way to update the courts.

An open bid was put on MITN for the work to be done at the courts and opened on Wednesday, May 25, 2022. Though only one bid was received, for this type of work one to two bids is fairly common. The bid price was also fair based on estimates other industry experts had previously provided to the department.

I recommend approval of a contract with Laser Striping and Sport Surfacing 9965 Lapham Way Plymouth, Michigan at a cost not to exceed \$31,500 with an additional \$3,150 allocated for contingencies. Funds for this expenditure are allocated in account number 614-950-974-000. I spoke with two different representatives from two school districts that spoke highly of similar work that Laser Striping and Sport Surfacing had done for their tennis courts. They come highly regarded with quality references.

The resurfacing of the tennis courts on Harvard at the recently renamed Friends Park is one of the stated projects in the city's most recent Five Year Recreation Master Plan. Having the ability to compete projects that are identified in the plan is a great thing for the department and city.

Please do not hesitate to call me with any questions or concerns.

#### ATTACHMENTS

# CITY OF BERKLEY "Repair and Resurface Tennis Courts at Friends Park " For the Department of Parks & Recreaon Bid Opening: Wednesday, May 25, 2022 @ 11 AM

Business Name	Address	Bid (Base Services)	References Non-Collusive Affidavit Non-Discriminaon	Conflict of Interest Hold Harmless Iran Affidavit
Laser Striping and Sport Surfacing	9965 Lapham Way Plymouth, Michigan, 48170	\$31,500.00	Y/Y/Y	Y/Y/Y

June 20, 2022 City Council Meeting

Moved by Councilmember\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_to approve the purchase of official Woodward Dream Cruise merchandise to be sold at various locations during the month of August at a cost not to exceed \$28,000. Funds for this expenditure will come from the account 614-915-818-000.

Ayes:

Nays:

Motion:

# **Parks & Recreation**

# Memo

Matthew Baumgarten, City Manager
Mark Pollock, Finance Director
Theresa McArleton, Director of Parks & Recreation
6/8/22
Motion for Approval of Dream Cruise Merchandise Purchase

As you know, every year the Cruisefest Committee through the Parks & Recreation Department comes before the City Council to ask for approval for funds to purchase official Dream Cruise merchandise for sales during Dream Cruise weekend and the week leading up to it. The Parks & Recreation Department is once again looking to purchase official Woodward Dream Cruise merchandise for community groups to sell at various booth locations during Dream Cruise and Cruisefest.

We plan to work closely with the Cruisfest Committee Chair, Mark Coon to select the right amount of merchandise to be ordered. The request for the expenditure of \$28,000 is the allowable and budgeted limit, but in past years we have not utilized the entire budget. We plan to proceed accordingly and methodically in purchasing in 2021 as well.

The Cruisefest Committee and our department look forward to a successful and safe 2022 Berkley Cruisefest and Woodward Dream Cruise.

As always, please do not hesitate to contact me should you have any questions regarding this memo or any other issues.

June 20, 2022 City Council Meeting

Moved by Councilmember \_\_\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_\_to consider an application to hold the "County Oakland Irish Fest" event 5-11:30 p.m. Friday, September 9, 2022 on Robina Ave. and 10 a.m.-11:30 p.m. Saturday, September 10, 2022 on 12 Mile Road from Buckingham to Wakefield. The event is hosted by the County Oakland Irish Fest, 3074 12 Mile Road, Berkley, MI 48072. Approval is conditional upon the submission of required items and documents prior to event dates. Council reserves the right to rescind the permit due to State and/or County health and pandemic protocols.

Ayes:

Nays:

Motion:



**CITY OF** 



City:

#### **CITY OF BERKLEY** COMMUNITY SPECIAL EVENT BERKLEY, MICHIGAN PERMIT APPLICATION DISPOSITION CHECKLIST

Event Name: COUNTY Oakland Irth Fest Event Date(s) Sept. 9,2022 Robina only 5:pm - 11:30 Sept. 10,2022 Robina Only 5:pm - 11:30 Sept. 10,2022 Robina Only 5:pm - 11:30 Diamon Duckingham to WakeFell 10:Am - 11:30 Diamon Duckingham to Wak -11:20PM **ORGANIZATION: Organization Name:** COUNT Oakland Irish Fest Headquarters Street Address: e State: Zip Code: Phone: 48072 Reckley MI Website: county oakland irishfest org Tax Exempt Status (as defined by the US Internal Revenue Service): Non-Profit \_\_\_\_\_\_ 501(c)(3) \_\_\_\_\_\_ N/A \_\_\_\_\_ Other (specify) \_\_\_\_ The following documents have been submitted: **Completed application** YYES NO  $\succ$  YES NO Valid IRS tax exempt verification Financial report for the preceding fiscal year YES NO YES NO **Proof of Commercial Liability Coverage** YES NO Estimated cost to execute the solicitation / event  $\gamma$  yes \_ no Charitable Solicitation / Special Event Hold Harmless Agreement Public Safety Application reviewed by: Building Official **Comments:** 

**Presented to City Council:** Approved: **Organization Notified** Date: YES NO YES NO Date



**City Clerk's Office** 3338 Coolidge Hwy. Berkley, MI 48072 248-658-3300 Fax: 248-658-3301 hashlasses tak

# **CITY OF BERKLEY, MICHIGAN COMMUNITY SPECIAL EVENT APPLICATION**

and merkediliering
Name of Event: County Oakland Irish Fest
Or anization / Co
Contact's Name: <u>Reggy Spiller</u> Addressey State/zip: MI 48072
Telephone:24 Hour Emergency Contact: Peogy Spiller
If event will be on private property owned by someone else, then a letter of permission from the property owner must be submitted with the application.
Event Location: 12 MILE Rd BERKLEY FROM BUCKingham to Wake Field for 9/10/22 Robina North from 12 MUL to the allows If the event involves city streets or sidewalks, include a map showing the location. A petition from affected businesses may be required.
Dates and Hours of Event: Sept 9.5-11:30 PM Sept. 10th 10: AM to 11:30 PM
How many employees or volunteers? 30 Plus volunteers
How will site be secured during off-hours? the area on Pabina will be closed in with snow fencing and the main tent. The bar stuff will be lockely What type of merchandise will be sold? We may sell + shifts and small frinkets we will have vendors selling artuard, crafts , je welry + shifts etc
What type of merchandise will be sold? We may sell + shirts and small trinkets we will have vendors selling artwork, crafts jewelry + shirts etc
If you are selling food, include a copy of your receipt from Oakland County Hea th Department. We will not be selling food our vendors will be their ow
Will there be a rs, lights)? es
If yes, an electrical inspection by the City will be required after set up and before opening.
Include a Site Plan showing where merchandise will be sold, how pedestrian and vehicular traffic will circulate on the site.
What are your plans for set up and removal? We will have designated volunteers to set up the tents and stage areas
Tax Exempt Status (as defined by the US Internal Revenue Service):
Non-Profit 501.C3 Other (specify)
Include the following documents:

- Å Internal Revenue Service tax exempt documentation for the organization.
- Organization's financial report for the preceding fiscal year.
- Proof of Commercial Liability Coverage on an "occurrence basis", naming the City of Berkley as additional insured, with no less than \$1,000,000 per occurrence and/or combined single limit, Personal injury, Bodily injury, and Property Damage
- Liquor Liability, \$500,000 per occurrence and \$500,000 aggregate. (if applicable)
- X S ecial Event Hold Harmless A reement si ned b an authorized re resentative

By Ordinance, each Community Special Event is limited to a maximum of 7 days.

Applications must be received at least 45 days prior to the event. Events involving the public right of way will require Clty Council approval. I understand that a representative of the organization will need to attend the City Council meeting. The City will notify me of the meeting date and time.

An application will be denied or an event shut down if complete and accurate information is not provided.

. Spilker Signature of Applicant

april 18, 2022

**Print Form** 

# **APPROVALS**

DEPARTMENT	Approve (YES/NO)	Signature	Date
Planning/Building		NA	
Comments:		t to make the second	
Public Safety	yes	Mr. Kon	6-6-22
Comments:	0		
Notify SMART, ambula	ance, and waste	collection of any road closures.	
Public Works:	ye	AIN	6-10-22
Comments:	/	1	
Parks/Recreation	465	-72	5126122
Comments:	1-1-2-		- / - 01
City Clerk	Yes	Victoria metabel	6-8-202
Comments:		۵۰۰۰۰ ۳۰۰۰ ۲۰۰۰ ۲۰۰۰ ۲۰۰۰ ۳۰۰۰ ۲۰۰۰ ۲۰۰۰	
City Manager	Yes	M	
Comments:			

# For City Use Only:

Date Application Received	4-29-22	Receipt Number	PTU:22-0009
---------------------------	---------	----------------	-------------

Received	Receipt Number	Date Received
Application Fee (\$200.00)		4-29-22
Clean up Bond (\$100.00)		4-29-22 4-29-22
Fee Walved	City Manager's approval required	k
City Manager's Signature:	City Manager's approval required	Date: 6/1/002
City Manager's Signature:	City Manager's approval required	Date: 6/1/002
City Manager's Signature:	City Manager's approval required	Date: 6/1/0002
City Manager's Signature:	City Manager's approval required	_ Date: 6/1/032



# CITY OF BERKLEY COMMUNITY SPECIAL EVENT HOLD HARMLESS AGREEMENT

# This Hold Harmless Agreement is between $\underline{County}$ OALAW <u>LEVER</u> (the Organization) and the City of Berkley, Michigan, (City) for the date(s) specified below.

Organization Nan	ne County Calland Irish Fest
Address	mile RJ
1.	State <u>M</u> / Zip <u>48072</u> Phone
	County Oakland Irish Fest
Event Location(s)	Retina from 12 mile North to the Hiley Event Date(s) 9/9/22 = 9/10/22 12 mile Rd from Buckingham to Wakefield

To the fullest extent permitted by law, the Organization expressly agrees to indemnify and hold harmless the City of Berkley, Its elected and appointed officials, its employees and volunteers and others working on behalf of the City, from and against all loss, cost, expense, damage, liability or claims (whether groundless or not) arising out of bodily injury, sickness or disease (including death resulting at any time there from) which may be sustained or claimed by any person or persons participating in the above named event.

This includes damage or destruction of any property (including loss of use) based on any act or omission (negligent or otherwise) of the Organization or anyone acting on its behalf in connection with or incidental to this agreement. The Organization shall, at its own cost and expense, defend any such claim and any suit, action, or proceeding which may be commenced hereunder. In the event of any suit, action or proceeding, the Organization shall pay:

- Any and all judgments which may be recovered.
- Any and all expenses, including, but not limited to, costs, attorneys' fees and settlement expenses which may be incurred.

The Organization shall not be responsible to the City on indemnity for damages caused by or resulting from the City's sole negligence.

Authorized Representative	Margaret Spilker (Please print)	Title Co-Chairman
Signature	Margaret Lipelker	Date Optil 18, 2022



# CITY OF BERKLEY COMMUNITY SPECIAL EVENT HOLD HARMLESS AGREEMENT

This Hold Harmless Agreement is between BERILLEY AMERICAN LEGION (the Organization) and the City of Berkley, Michigan, (City) for the date(s) specified below.

Organization Nam Address	Ne BERKLEY AMERICAN LEBION POST 374
City BERKL	
Event Name	COUNTY OAKLAND IRISH ERST BEER TENT
Event Location(s)	ROBINASTREET- 12 MILE NORTH Event Date(s) 9/9/22 To 9/10/22
	To THE ALLEY

To the fullest extent permitted by law, the Organization expressly agrees to indemnify and hold harmless the City of Berkley, Its elected and appointed officials, its employees and volunteers and others working on behalf of the City, from and against all loss, cost, expense, damage, liability or claims (whether groundless or not) arising out of bodily injury, sickness or disease (including death resulting at any time there from) which may be sustained or claimed by any person or persons participating in the above named event.

This includes damage or destruction of any property (including loss of use) based on any act or omission (negligent or otherwise) of the Organization or anyone acting on its behalf in connection with or incidental to this agreement. The Organization shall, at its own cost and expense, defend any such claim and any suit, action, or proceeding which may be commenced hereunder. In the event of any suit, action or proceeding, the Organization shall pay:

- Any and all judgments which may be recovered.
- Any and all expenses, including, but not limited to, costs, attorneys' fees and settlement expenses which may be incurred.

The Organization shall not be responsible to the City on indemnity for damages caused by or resulting from the City's sole negligence.

Authorized	William D. ISENHOUR	Title COMMANDER
Representative	(Please print)	BERKLEY AMERICAN LEGIONE
Signature	W. D. Dsenhous	Date 6/8/2022

### CITY OF BERKLEY MICHIGAN TEMPORARY TRAFFIC CONTROL ORDER

#### (TCO NUMBER)

# In accordance with the duly adopted Uniform Traffic Code for Cities, Townships, and Villages, the Traffic Engineer hereby issues the following Temporary Traffic Control Order.

Film Permit Applicant: Please provide the information requested in the shaded area. Submit this page with your application.

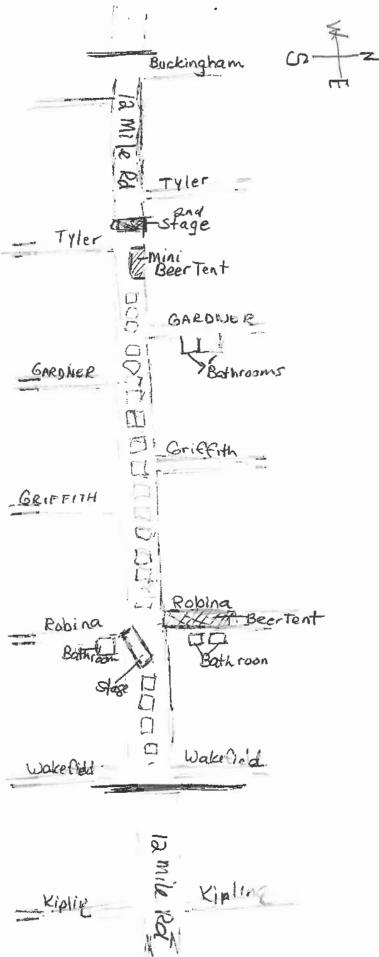
PROJECT NAME:	COUNTY Oakland IRISH FEST
Location FRI	the action of the second
DATE/S/TIMES:	FRI Spm to 11:30 pm - Sept 9, 20:22
	Sat 10:00 AM to 11:30 PM - Sept. 10, 2022
<b>RESPONSIBLE PARTY:</b>	
Contact Phone:	
Email address:	

#### For Official Use Only:

Action required by City :	
(Attach additional pages if needed)	

Approved by: (Print name and title below)	Signature:	Date:	
Public Safety	m. Kon	6-6-22	
Public Works	IN	6-10-22	
Building Official	NIA	Ĭ	

\*\*Original - Traffic Control File





Form 1023-EZ
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Department of the Treasury

Internal Revenue Service

(Rev. April 2021)

#### Streamlined Application for Recognition of Exemption Under Section 501(c)(3) of the Internal Revenue Code

Do not enter Social Security numbers on this form as it will be made public.

Information about Form 1023-EZ and its separate instructions is at <a href="https://www.irs.gov/form1023ez">www.irs.gov/form1023ez</a>

Check this box to attest that you have completed the Form 1023-EZ Eligibility Worksheet in the current instructions, are eligible to apply for exemption using Form 1023-EZ, and have read and understand the requirements to be exempt under section 501(c)(3).

Have your annual gross receipts exceeded \$50,000 in any of the past 3 years and/or do you project that your annual gross receipts will exceed \$50,000 in any of the next 3 years? If yes, stop. Do not file Form 1023-EZ. See Instructions.	Yes	No
---	-----	----

Do you have total assets the fair market value of which is in excess of \$250,000? If yes, stop. Do not file Form 1023-EZ. See Instructions.

Daut	Identification of Applica	-							_		
Part 1a	Full Name of Organization	nu					b	Care Of Name (i	if applicabl	e)	
COUNTY OAKLAND IRISH FEST  Mailing Address (number, street, and room/suite). If a P.O. box, see instruction				ee instructions		d City BERKLEY			e State Ml	f Zip code + 4 48072-1302	
2	Employer Identification Number 3 Month Tax Year Ends (MM) 12			Person to Contact if More Information is Needed     FERAS SHAMMAMI							
5					6 Fax Number (optional) \$275.00			\$275.00		7 User Fee Submitted	
<b>8</b> First N	List the names, titles, and mailing addr ame:	esses of yo	our officers, di	rectors, and/o	or trust	ees. (If you have r	more	than five, see i Title:	instructions	.)	
Street	Address:					City:	St	ate: MI	Zip c	:ode + 4:	
First N	ame:						-	Title:			
Street	Address:			City:	-		St	ate: MI	Zipo	:ode + 4:	
First N	ame:		Last Name:				1	Title:			
				City:			Sta	ate: MI	Zipo	:ode + 4:	
			Last Name:				_	Title:			
		_		LITTLE	_		Sta	ate: Ma	Zipo	ode + 4:	
			1					Title:			
				City: BEB			Sta		Zinc	ode + 4:	
		14/14/14/1	OUNTYO/	BEI	KLEY		5.	M			
9a b	Organization's Website (if available): Organization's Email (optional): CO			AKLANDIRIS AKLANDIRIS			_				
Partl			jooonno				-				
1	To file this form, you must be a corpora	tion, an un	incorporated	association, o	or a tru	st. Select the bo	<b>x</b> fo	the type of org	ganization.		
	Corporation Unincorp	orated ass	ociation	Trus	t						
2	Check this box to attest that you (See the instructions for an explar						nal s	tructure indicate	ed above.		
3	Date incorporated if a corporation, or fe	ormed if ot	her than a coi	rporation (MM	IDDYY	YY):	051	62018			
4	State of Incorporation or other formation	on:	MI								
5	Section 501(c)(3) requires that your org	anizing do	cument must	limit your pu	rposes	to one or more ex	kem	ot purposes wit	hin section	501(c)(3).	
	Check this box to attest that you	r organizin	g document o	contains this l	imitatio	on.					
6								tantial part of your activities,			
	<b>Check this box</b> to attest that you activities, in activities that in them							je, otherwise th	an as an ins	substantial part of your	
7	Section 501(c)(3) requires that your org exempt purposes. Depending on your										
	Check this box to attest that you express dissolution provision in you dissolution provision.	-	-							-	

OMB No. 1545-0047

Note: If exempt status is approved,

.No

this application will be open for

public inspection.

Yes

Form	1023-EZ	(Rev. 4-2021)	Ĺ
------	---------	---------------	---

1	III Your Specific Activit	s mission or most significant activities (limit 250 sharestare)							
•	Briefly describe the organization's mission or most significant activities (limit 250 characters) The organization puts on an Irish Themed Music Festival in the City of Berkley, Oakland County, Michigan. The purpose is to								
	promote the Irish Culture a	promote the Irish Culture and provide a family event for the residents of Oakland County and the City of Berkley.							
2	Enter the appropriate 3-characte	A20							
3	<sup>3</sup> To qualify for exemption as a section 501(c)(3) organization, you must be organized and operated exclusively to further one or more of the followic checking the box or boxes below, you attest that you are organized and operated exclusively to further the purposes indicated. <b>Check all that ap</b>								
	Charitable	Religious	Educational						
	Scientific	Literary	Testing for public safety						
	To foster national or interna	tional amateur sports competition	Prevention of cruelty to children or a	animals					
4	To qualify for exemption as a sec	tion 501(c)(3) organization, you must:							
	Refrain from supporting or c	pposing candidates in political campaigns in any way.							
	<ul> <li>Ensure that your net earning management employees, or</li> </ul>	s do not inure in whole or in part to the benefit of private shareholde other insiders).	ers or individuals (that is, board members	, officers, key					
	Not further non-exempt pur	poses (such as purposes that benefit private interests) more than ins	ubstantially.						
	Not be organized or operate	d for the primary purpose of conducting a trade or business that is n	ot related to your exempt purpose(s).						
		ubstantial part of your activities attempting to influence legislation of penditure limitations outlined in section 501(h).	x, if you made a section 501(h) election, r	not normally make					
	Not provide commercial-typ	e insurance as a substantial part of your activities.							
	Check this box to attest that	t you have not conducted and will not conduct activities that violate	these prohibitions and restrictions.						
5	Do you or will you attempt to infl (If yes, consider filing Form 5768.	uence legislation?	🌔 Yes	No No					
6	Do you or will you pay compensa (Refer to the instructions for a de	tion to any of your officers, directors, or trustees?	问 Yes	No					
7	Do you or will you donate funds t	o or pay expenses for individual(s)?	🕑 Yes	No					
8	Do you or will you conduct activit	ies or provide grants or other assistance to individual(s) or organizati	on(s) outside the United	Ala					
9		icial transactions (for example, loans, payments, rents, etc.) with any		No					
2		vn or control?		No					
10	Do you or will you have unrelated	business gross income of \$1,000 or more during a tax year?	Yes	No					
11	Do you or will you operate bingo	or other gaming activities?	💭 Yes	No					
12	Do you or will you provide disaste	r relief?	Ves	No No					
Part I	V Foundation Classifica	ation							
	/ is designed to classify you as ble tax status than private fo	an organization that is either a private foundation or a updation status	public charity. Public charity state	us is a more					
1	Are you applying for recognition a	is a church, school, or hospital (described in section 170(b)(1)(A)(i), (i of file Form 1023-EZ. See Instructions	i), or (iii) of the Internal 👘 Yes	No					

- 2 If you qualify for public charity status, check the appropriate box (2a - 2c below) and skip to Part V below.
  - Select this box to attest that you normally receive at least one-third of your support from public sources or you normally receive at least 10 percent of a your support from public sources and you have other characteristics of a publicly supported organization. Sections 509(a)(1) and 170(b)(1)(A)(vi).
  - Select this box to attest that you normally receive more than one-third of your support from a combination of gifts, grants, contributions, membership Ь fees, and gross receipts (from permitted sources) from activities related to your exempt functions and normally receive not more than one-third of your support from investment income and unrelated business taxable income. Section 509(a)(2).
  - Select this box to attest that you are operated for the benefit of a college or university that is owned or operated by a governmental unit. Sections ¢ 509(a)(1) and 170(b)(1)(A)(iv).
- If you are not described in items 2a 2c above, you are a private foundation. As a private foundation, you are required by section 508(e) to have specific 3 provisions in your organizing document, unless you rely on the operation of state law in the state in which you were formed to meet these requirements. These specific provisions require that you operate to avoid liability for private foundation excise taxes under sections 4941-4945.

Select this box to attest that your organizing document contains the provisions required by section 508(e) or that your organizing document does not need to include the provisions required by section 508(e) because you rely on the operation of state law in your particular state to meet the requirements of section 508(e). (See the instructions for explanation of the section 508(e) requirements.)

2

Complete this section only if you are applying for reinstatement of exemption after being automatically revoked for failure to file required annual returns or notices for three consecutive years, and you are applying for reinstatement under section 4 or 7 of Revenue Procedure 2014-11. (Check only one box.)

- 1 Check this box If you are seeking retroactive reinstatement under section 4 of Revenue Procedure 2014-11. By checking this box, you attest that you meet the specified requirements of section 4, that your failure to file was not intentional, and that you have put in place procedures to file required returns or notices in the future. (See the instructions for requirements.)
  - Check this box if you are seeking reinstatement under section 7 of Revenue Procedure 2014-11, effective the date you are filing this application.

#### Part VI Signature

2

I declare under the penalties of perjury that I am authorized to sign this application on behalf of the above organization and that I have examined this application, and to the best of my knowledge it is true, correct, and complete.

#### MARGARET SPILKER

(Type name of signer)

PRESIDENT

(Type title or authority of signer)

09292021

(Date)

Form 1023-EZ (Rev. 4-2021)



The County Oakland Irish Festival is a free, open air street fair that celebrates Irish culture in Oakland County. This year our main event takes place on <u>Saturday September 10, 2022</u>.

**12 Mile Rd will be closed down from Buckingham to Wakefield from 8:00AM until 11:30PM.** We are hoping to benefit the local businesses right along with our festival.

We need signatures from the local businesses to support this event.

Thank you,

~ The County Oakland Irish Fest Committee

Name of Business Signature lies na Peninsulas mangers provisions OW door W COURTS MUSTC TWISTE THE

Tue 5/10/2022 10:49 AM

• You

?

Hi Peggy,

To:

Yes please include my signature or agreement with the Irish fest.

Thank you!

Sent from my iPhone

Please note: I have been having a difficult fime getting signatures only because When I stop by the locations the correct people are not in, or the businesses aren't open. (1) Above is a reply from Katic from Berkley Common agreeing that she would sign. (2) I also have a verbal agreement from Cinda Coon from the Winch Cafe.

# **County Oakland Irish Fest 2019**

## Berkley, MI

#### Income:

Beer Tent Sales (split with American Legion) **3277.84** Vendor Booth Income **5030.00** T-Shirt Sales **1620.00** Sponsor income **2550.00** Total Income **12477.84** 

#### Expenses:

Bands 5,100.00

T-shirts 1281.50

Highland/Irish Dancers 650.00

Printing (print stop) 449.44

Fire extinguishers 84.78

CNA Surety 50.00

United irish Society (advertising) 300.00

ASCAP 125.00

Sweet & Assoc.-Insurance 552.93

Gary Rydell -sound guy 1500.00

Port-O-Potties 715.00

USPS-P.O Box 153.00

City of Berkley 300.00

City of Southfield – Stage 500.00

Generators 461.76

Total Expenses 12,223.00

Income: 254.84



Sweet Insurance Agency

Complete Insurance Services BUSINESS HOMEOWNERS AUTOMOBILE HEALTH LIFE

April 25, 2022

County Oakland Irish Fest PO Box 725103 Berkely, MI 48072

RE: September 2022 Irish Fest

Dear Mr. Zanetti,

As we have done in the prior years insuring County Oakland Irish Fest, we will place the required insurances for the festival a month prior to the actual festival. Proof of insurance will be provided to the City of Berkley via accord form 25. If the city has any questions, please feel free to have them contact me to discuss. I look forward to you having another safe and successful festival.

Sincerely,

Kristopher Butler

# **County Oakland Irish Fest**

APPROXIMATE COST TO EXECUTE THE EVENT:

Approximate Cost to execute the event is between \$5000 to \$9000.

Along with selling some festival t shirts and fundraisers that we have ,we count on sponsorships and vendors fees and other donations to allow us to put this event on each year.

¢



City of Berkley Department of Public Safety



#### INTEROFFICE CORRESPONDENCE

- DATE: June 6, 2022
- TO: Matthew Baumgarten, City Manager

FROM: Matt Koehn, Director of Public Safety

SUBJECT: Oakland County Irish Festival

The Oakland County Irish Fest has submitted an application for the "Oakland County Irish Fest" which will take place on Friday, September 9, 2022 and Saturday, September 10, 2022. Friday's event will take place from 5 PM to 11:30 PM on Robina north of 12 Mile road and will require the closure of Robina north of 12 Mile Road (to the alley) beginning at 10 AM for set up. Saturday's event will be held on 12 Mile Road between Buckingham and Coolidge between the hours of 10 AM and 11:30 PM and will require the closure of 12 Mile Road from Buckingham to Coolidge from 6 AM to midnight for set up and take down. It should be noted that the application requests the closure of 12 Mile Road from Buckingham to Wakefield, However, based on past events, it is the recommendation of DPS and DPW to have the road closed all of the way to Coolidge, in order to increase the safety of the attendees. The activities on Robina will continue until 11:30 PM on Saturday night. Friday and Saturday nights events will future a beer tent operated by the Berkley American Legion, and entertainment. Saturday's event features a second beer tent operated by the Berkley American Legion, local pubs and restaurants, shops, local Irish musicians, Irish dancers, pipers, food trucks, as well as local vendors. There will also be an Irish Heritage tent.

The Department of Public Safety has reviewed the application and discussed the event with Ms. Peggy Spiker. The Oakland County Irish Festival is a 501(c) (3) (EIN 82-4334993). The event will be staffed over 30 volunteers. Volunteers will be stationed at the road closure locations, especially from 6 AM to 10 AM and 11 PM to midnight when the barricades are moved for the set up and take down. DPS will work with Ms. Spiker to obtain additional details as to the locations of food vendors/trucks and other vendors and work with DPW personnel to make plans for the event. Ms. Spiker was advised that she will need to provide the following documents/information:

- Proof of Commercial Liability Coverage with the required language to include the City of Berkley
- A Special Event Hold Harmless Agreement signed by a representative of the American Legion

The Department of Public Safety will collaborate with the Oakland County Irish Fest and Berkley Department of Public Works to work out all of the details of the event and create an Emergency Operations Plan (EOP). A Traffic Control Orders (TCO) have been prepared for the event.

There have not been significant problems at previous Oakland County Irish Fests. The Department of Public Safety will assign personnel to monitor the event.

The Department of Public Safety recommends approval of the Oakland County Irish Fest, contingent upon the submission of the required documents and approval of other city departments.

## **CITY OF BERKLEY MICHIGAN**

#### TRAFFIC CONTROL ORDER

## <u>T-16-22</u>

In accordance with the duly adopted <u>Uniform Traffic Code for Cities</u>, <u>Townships</u>, and <u>Villages</u>, the Traffic Engineer hereby issues the following Traffic Control Order.

PURPOSE:	Temporary vehicular traffic restriction for Oakland County Irish Fest
LOCATION:	W. Twelve Mile Road, from Buckingham to Coolidge, City of Berkley
<u>DATE/S:</u>	Saturday, September 10, 2022 from 6 AM through Sunday, September 11, 2022 6 AM or completion of cleanup. (Event is 10 AM until 11:30 PM)
ACTION:	<ul> <li>DPW to add barricades and "road closed ahead" as appropriate and necessary on 12 Mile at Coolidge as well as 12 Mile and Buckingham, diverting traffic north and south onto Buckingham or Coolidge.</li> <li>DPW to also shut down the north and south side of Kenmore, Cumberland, Kipling, Wakefield, Robina, Griffith, Gardner and Tyler to restrict vehicular access to 12 Mile.</li> <li>Additional "No Parking" temporary signs to be installed along side streets of Kenmore, Cumberland, Wakefield, Robina, Griffith, Gardner and Tyler, near 12 Mile, as well as on east/west roads of Beverly and Edwards as necessary. Public Safety or DPW to adjust accordingly if needed.</li> <li>Shutdown to begin at 6:00 AM, and closed until cleanup is completed at approximately midnight.</li> <li>No parking/posting on 12 Mile Road between Buckingham and Coolidge</li> <li>DPW to notify Oakland County Road Commission of closure to divert emergency, bus and vehicular traffic in the area.</li> </ul> Public Safety to monitor and assist as necessary, as well as notification to Surrounding Police / Fire / EMS agencies. Matt Koehn Public Safety Director, Traffic Engineer June 6, 2022
Distribution Copies	

- 1. Public Works Director/Deputy Traffic Engineer
- 2. Public Safety Director
- 3. Original Traffic Control File

## **CITY OF BERKLEY MICHIGAN**

## TRAFFIC CONTROL ORDER

## <u>T-15-22</u>

In accordance with the duly adopted <u>Uniform Traffic Code for Cities</u>, Townships, and <u>Villages</u>, the Traffic Engineer hereby issues the following Traffic Control Order.

<u>PURPOSE:</u>	Temporary vehicular traffic restriction for Oakland County Irish Festival
LOCATION:	Robina Ave. from 12 Mile (North Side) to Alley north of 12 Mile
DATE/S:	Friday Sept 9, 2022 from 10 PM- Sunday Sept 11th at 6 AM
ACTION:	Barricades / cones to be set up on corners prior to event. DPW to provide signage for Road Closed ahead as well as barricades and cones as needed / required. Road to remain closed for event duration.

Public Safety to monitor / assist as needed

mr. Kn

Matt Koehn Public Safety Director, Traffic Engineer June 6, 2022

**Distribution Copies** 

- 1. Public Works Director/Deputy Traffic Engineer
- 2. Public Safety Director
- 3. Original Traffic Control File



Mon. N

#### Irish Fest Application

4 messages

Victoria Mitchell <vmitchell@berkleymich.net>

To: Matthew Baumgarten <mbaumgarten@berkleymich.net>, Shawn Young <syoung@berkleymich.net>, Matthew Koehn <mkoehn@berkleypublicsafety.net>, Corey I <cmiller@berkleypublicsafety.net>, Theresa McArleton <tmcarleton@berkleymich.net>

Good evening,

Please find attached the Irish Fest event application. The hard copy will be in the Clerk's Office for your signature.

Thank you,

Victoria Mitchell, MiPMC City Clerk City of Berkley 3338 Coolidge Highway Berkley, Mi 48072 vmitchell@Berkleymich.net 248-658-3319

(she, her, hers)

. . . . . . . . . . .

Parallelication.pdf 789K

Shawn Young <syoung@berkleymich.net>

To: Victoria Mitchell </mitchell@berkleymich.net>

Cc: Matthew Baumgarten <mbaumgarten@berkleymich.net>, Matthew Koshn <mkoehn@berkleypublicsafety.net>, Corey Miller <cmiller@berkleypublicsafety.net>, Thu

Hello Victoria-

Public Works has reviewed the application for 2022 Irish Fest and offer the following comments at this time:

1. RCOC will need to approve the 12 Mile Road closure from Buckingham to Wakefield on Saturday. DPW will submit an application to RCOC upon receiving a signe

2. DPW will need confirmation on the closure dates and times. In previous years this closure has remained past the requested date and time to allow for the removal

3. Once the confirmation of closure dates and times has been received DPW may request to modify the scope and time of the closure to limit the impacts on the surro

3. Volunteer assistance is a critical piece to the overall success of this event. Volunteers should be stationed at the closure locations to maintain barricade placament

4. The applicant is responsible for providing all resources necessary to safety operate the event, including fencing for the beer tent areas and portable power sources

5. We recommend prior written notification be provided to all of the businesses and residents in the immediate area.

Please note the cost to the City for DPW labor and equipment is approximately \$5,000 for this event.

Please share these comments with the applicant. Thank you. [Quoted text hidden]

---

Shawn Young Director of Public Works City Of Berkley 3238 Bacon Ave Berkley, Michigan 48072 248.658.3490 248.658.3491 fax syoung@berkleymich.net June 20, 2022 City Council Meeting

Moved by Councilmember \_\_\_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_\_\_ to approve a Downtown Development Authority (DDA) event, "Trick or Treat Stroll" and "Monster Mash Block Party" on Coolidge between 12 Mile Road and Catalpa Road and on Dorothea Road between Coolidge and alleyway from noon to 6 p.m. on Saturday, October 29, 2022. Approval is conditional upon the submission of required items and documents prior to the event date. Council reserves the right to rescind the permit due to State and/or County health and pandemic protocols.

Ayes:

Nays:

Motion:

JOF	BERA
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Sta Aller	UGAN

## CITY OF BERKLEY COMMUNITY SPECIAL EVENT PERMIT APPLICATION DISPOSITION CHECKLIST

"TRICK OR TREAT STROLL" AND EVENT NAME: "MONSTER MASH BLOCK PARTY"

0-29-2022 ORGANIZATION: Organization Name: BERKLEY DOWN Headquarters Street Address: 3338 COOLID City:	TOWN DE	VELOPMENT /		2:00 - 6:00 PM
Organization Name: BERKLEY DOWN Headquarters Street Address: 3338 COOLID	TOWN DE	VELOPMENT /		
Organization Name: BERKLEY DOWN Headquarters Street Address: 3338 COOLID	SE HIGH		AUTHORIT	1
BERKLEY DOWN Headquarters Street Address 3338 COOLID	SE HIGH		AUTHORIT	1
Headquarters Street Address: 3338 COOLID	SE HIGH		AUTHORIT	
3338 COOLID	SE HIGH	+WAN		
	Judic.	Zip Code:	Phone:	
-	ML	48072		58-3353
Website:	****		(	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
WWW, DOWI	JTOWNBE	RELEY, COM		
Tax Exempt Status (as defined by			PL	BLIC
Non-Profit	501(c)(3)	N/A	Other (specify) AU	THORITY
The following documents have	e been submitte	d:		
	•••			
Completed applica	tion		$\underline{V}$ YES	NO
Valid IRS tax exem	pt verification		YES	<sup>NO</sup>
Financial report for	r the preceding	fiscal year	🖌 YES	NO
Proof of Commerci	ial Liability Cove	rage	· YES	NO
Estimated cost to e	execute the solid	itation / event	VES	NO
Charitable Solicitat	ion / Special Ev	ent Hold Harmless Agreer	ment 🗸 YES	NO /
				1
Application reviewed by:	<b>Public Safety</b>	M5K 6-6-22	– Public Works 🛛 🛩	Jeg -
R	uilding Official	NIA		
Comments:			1	
Normality				
Presented to City Council:				
Date:	Approved:	Organiza	tion Notified	
······	YES	NO YES	NO	Date





**City Clerk's Office** 3338 Coolidge Hwy. Berkley, MI 48072 248-658-3300 Fax: 248-658-3301 www.berkleymich.org

## **CITY OF BERKLEY, MICHIGAN COMMUNITY SPECIAL EVENT APPLICATION**

Name of Event: "TRICK OR TREAT STROLL" AND "MONSTER MASI BLOCK PARTY	
Organization / Contact:	3
Name of Organization: BERKLEY DDA Contact's Name: MICHAEL MCGUINNESS	
Address: 3338 COOLIDGE HIGHWAY City: BERKLEY State/zip: MI 48072	
Telephone: (248) (58 - 3353 24 Hour Emergency Contact:	
If event will be on private property owned by someone else, then a letter of permission from the property owner must be submitted with the application.	
Event Location: COOLIDGE, BETWEEN 12 MILE AND CATALPA, AND D	OROTHEA
If the event involves city streets or sidewalks, include a map showing the location. BETWEEN COOLIDGE AND	ALLEY
A petition from affected businesses may be required.	ALLEY
Dates and Hours of Event: SATLIEDAY, OC:TOBER 29, 2022 FROM 12 TO	5 PM
How many employees or volunteers?   EMPLOYEE, 38 VOLUNTEERS	
How will site be secured during off-hours? NO SETUP OR MATERIALS WILL REMAIN BEYOND THE EVENT'S SAME DAY	
What type of merchandise will be sold?	
If you are selling food, include a copy of your receipt from Oakland County Health Department.	
Will there be any electricity outside the building (e.g., extension cords, heaters, lights)? If yes, an electrical inspection by the City will be required after set up and before opening. $\gamma \in S$	
Include a Site Plan showing where merchandise will be sold, how pedestrian and vehicular traffic will circulate on the site.	
What are your plans for set up and removal? HANDLED BY DDA EMPLOYEE AND VOLUNITEERS, SAME DAY OF EVENT	
Tax Exempt Status (as defined by the US Internal Revenue Service):	21 3
Non-Profit 501.C3 Other (specify) X PUBLIC AUTHORITY, ALTHOUGH THERE ALSO A 501(C) 3 NON-PROFIT	
Include the following documents:	
□ Internal Revenue Service tax exempt documentation for the organization.	
<ul> <li>Organization's financial report for the preceding fiscal year.</li> <li>Proof of Commercial Liability Coverage on an "occurrence basis", naming the City of Berkley as additional insured, with</li> </ul>	
no less than \$1,000,000 per occurrence and/or combined single limit, Personal injury, Bodily injury, and Property	
Damage. (C/TY OF BETWLEY COVERACE) Liquor Liability, \$500,000 per occurrence and \$500,000 aggregate. (if applicable)	
Special Event Hold Harmless Agreement signed by an authorized representative	

By Ordinance, each Community Special Event is limited to a maximum of 7 days.

Applications must be received at least 45 days prior to the event. Events involving the public right of way will require City Council approval. I understand that a representative of the organization will need to attend the City Council meeting. The City will notify me of the meeting date and time.

An application will be denied or an event shut down if complete and accurate information is not provided.

Signature of Applicant

MAY 10, 2022 Date

## **APPROVALS**

DEPARTMENT	Approve (YES/NO)	Signature	Date
Planning/Building			
Comments:			
Public Safety	4c	Mr. K	6-622
Comments:	0.0		
Notify SMART, ambui	ance, and waste	collection of any road closures.	
Public Works:	VY	IN	6-2-22
Comments:	/		
Parks/Recreation	Ja	222	5126122
Comments:	1745	1 1 10	
City Clerk	Yes	Vata mittel	6-7-22
Comments:			
City Manager	Yes	2	5/18/22
Comments:			
For City Use O	nly:		
Date Ap	plication Receive	d 5-17-2⊋ Receipt Number ₽	TU 22-0011

Received	Receipt Number	Date Received
Application Fee (\$200.00)		
Clean up Bond (\$100.00)		
Fee Waived	City Manager's approval required	m
City Manager's Signature:	2	Date: 5/18/22
F APPLICABLE:		
Aotion Number:		
Notion Number: Conditions (if any):		



## CITY OF BERKLEY COMMUNITY SPECIAL EVENT HOLD HARMLESS AGREEMENT

# This Hold Harmless Agreement is between $\underline{BERKLEY}$ DDA, (the Organization) and the City of Berkley, Michigan, (City) for the date(s) specified below.

Organizati	ON NAME BERKLEY DOWNTOWN DEVELOPMENT ALTHORITY (DDA)
Address	3338 COOLIDGE HIGHWAY
City B	ERKLEY State MI Zip 48072 Phone 248 658-3353
Event Nam	"TRICK OR TREAT STROLL" AND "MONSTER MASH BLOCK"
Event Loca	ation(s) COOLIDGE (MILE AND CATALRA) Event Date(s) OCTOBER 27, 2022
	DOROTHEA (BETWEEN COOLIDGE) AND ALLEYWAY

To the fullest extent permitted by law, the Organization expressly agrees to indemnify and hold harmless the City of Berkley, Its elected and appointed officials, its employees and volunteers and others working on behalf of the City, from and against all loss, cost, expense, damage, liability or claims (whether groundless or not) arising out of bodily injury, sickness or disease (including death resulting at any time there from) which may be sustained or claimed by any person or persons participating in the above named event.

This includes damage or destruction of any property (including loss of use) based on any act or omission (negligent or otherwise) of the Organization or anyone acting on its behalf in connection with or incidental to this agreement. The Organization shall, at its own cost and expense, defend any such claim and any suit, action, or proceeding which may be commenced hereunder. In the event of any suit, action or proceeding, the Organization shall pay:

- Any and all judgments which may be recovered.
- Any and all expenses, including, but not limited to, costs, attorneys' fees and settlement expenses which may be incurred.

The Organization shall not be responsible to the City on indemnity for damages caused by or resulting from the City's sole negligence.

Authorized Representative	MICHAEL	MEGUINNESS	Title EXECUTIVE DIRECTOR
		(Please print)	
Signatured	an'	Mul	Date MAY 10, 2022

## CITY OF BERKLEY MICHIGAN TEMPORARY TRAFFIC CONTROL ORDER

## (TCO NUMBER)

In accordance with the duly adopted Uniform Traffic Code for Cities, Townships, and Villages, the Traffic Engineer hereby issues the following Temporary Traffic Control Order.

Film Permit Applicant: Please provide the information requested in the shaded area. Submit this page with your application.

	(j (j		
PROJECT NAME:	TRICK OR TREAT STROLL AND		
	"MONSTER MASH BLOCK PARTY"		
Location	COOLIDGE, BETWEEN 12 MILE AND CATALPA, AND	DOPOTHE	
DATE/\$/TIMES:	SATURDAY, OCTOBER 29, 2022 AT	COOLIDE	
	9:00 AM TO 12:00 PM SETUP		
	12:00 PM TO GOOPM EVENT TIME		
	GOO PM TO STOO PM CLEANUP		
RESPONSIBLE PARTY:	BERKLEY DOWNTOWN DEVELOPMENT AUTHORITY		
	MICHAEL MCGLINNESS		
Street Address:	3338 COOLIDGE HIGHWAY		
City/State/ZIP:	BERKLEY, MICHIGAN 48072		
	(248) 658-3353		
Email address:	MMCGUINNESS @BERKLEYMICH. NET		

## For Official Use Only:

.

Action required by City :	
(Attach additional pages if needed)	

Approved by: (Print name and title below)	Signature:	Date:
Public Safety	mikn	6-6-22
Public Works	ll	6/2/22
Building Official	NIA	

\*\*Original – Traffic Control File

Return copy of completed form to City Clerk's Office

**Berkley Downtown Development Authority** 

## BOO!KLEY Trick or Treat Stroll Saturday, October 29<sup>th</sup>, 2022 – 12pm to 3 pm

## Monster Mash Block Party Saturday, October 29<sup>th</sup>, 2022 - 2pm to 6pm

Target Location: Coolidge and Dorothea, pending municipal approval

Objective: Elevate the Monster Mash Block Party for its second year and build upon the momentum of the BOO!KLEY season; Make Berkley more centrally a destination during Halloween time; Continue our expanded Downtown Berkley promotional events calendar and our newer Downtown Block Party Series; Stimulate additional exposure of the unique experiences and shopping opportunities offered in dynamic Downtown Berkley; Provide family-friendly draws to Downtown Berkley; Ensure young pedestrians and their chaperones are able to safely enjoy the event and explore our downtown.

Inspired by the City of Berkley's beloved tradition of neighborhood block parties throughout residential sections of our community, and building off of our continued downtown promotional events success, our Berkley Downtown Development Authority launched a series of downtown 'Block Party' events last October, with the Monster Mash Block Party intentionally happening on the same day as the Downtown Trick or Treat Stroll, as part of our BOO!KLEY promotional season. Last year, hundreds and hundreds of families came out in forth (even with poor weather). As with the Trick or Treat Stroll, we are bringing it back again and building it even stronger and more high-impact than the inaugural BOO!KLEY season offering. The day will feature family-friendly Halloweenthemed activities, crafts, games, prizes, and more. Dozens of community groups will be enlisted to share the spotlight, help make the fun possible, and benefit from the large crowds gathered.

Estimated Budget: \$2,800

Costs to Cover:

- Paid Social Media Marketing and Promotional Efforts
- Downtown Berkley Promotional Items for Distribution
- Décor to Enhance the BOO!KLEY Streetscape Staging
- Arts and Craft Station Supplies
- Face Painting Station Materials
- Anticipated Stipend for Musical DJ Service
- Promotional Shirts for Downtown Berkley Volunteers





retro feel. metro appeal.

# **RESTAURANT WEEKEND: SEPT. 30 - OCT. 1**

**NIGHT MARKET: OCTOBER 1 (5-9 PM)** FEATURING FREE DOWNTOWN TROLLEY RIDES

# LADIES NIGHT OUT: OCTOBER 20 (5-9 PM)

TRICK OR TREAT STROLL: OCTOBER 29 (12-3 PM) COLLECT CANDY AT PARTICIPATING DOWNTOWN BUSINESSES

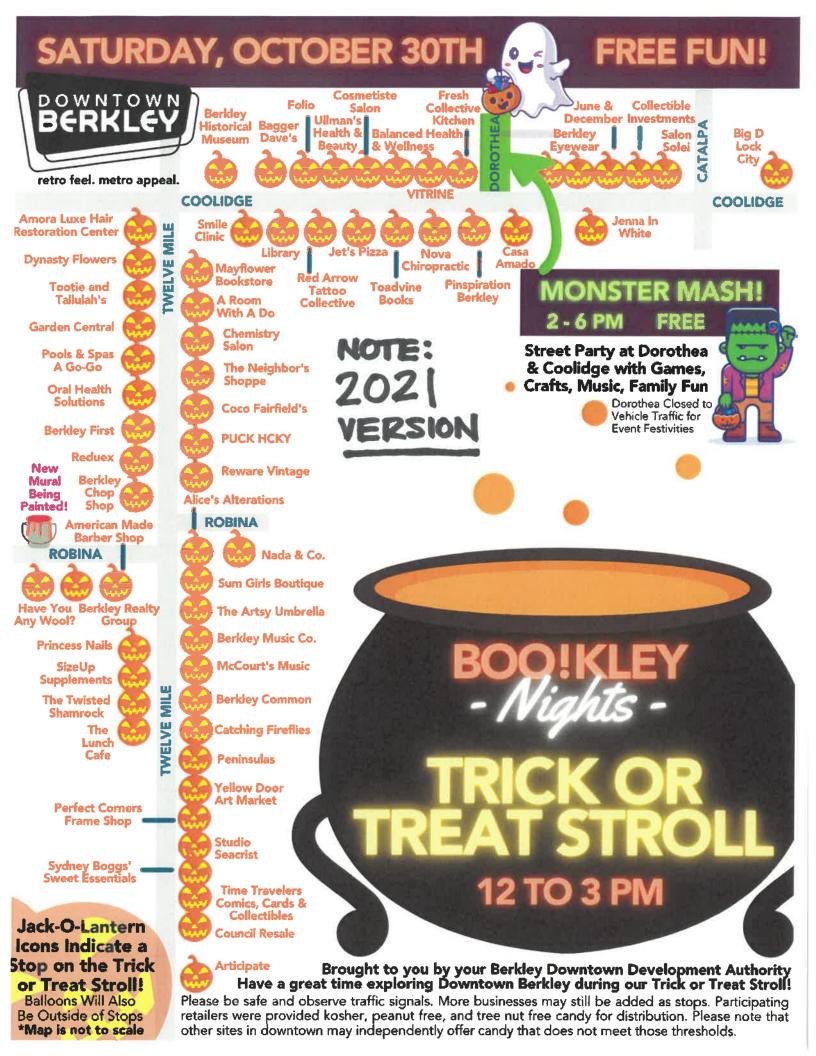
MONSTER MASH: OCTOBER 29 (2-6 PM) BLOCK PARTY AT COOLIDGE AND DOROTHEA

> PLUS! SPOOKY STOREFRONTS DOWNTOWN THIS FALL

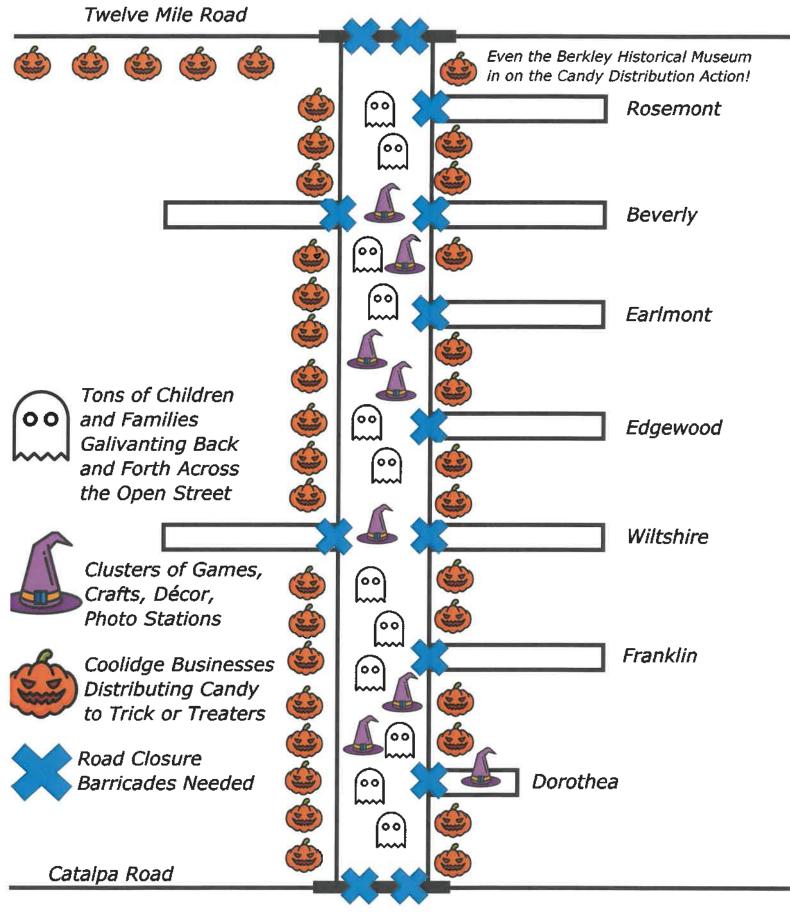
# FOF

DOWNTOWNBERKLEY.COM/BOOKLEY

Shop Downtown - Dine Downtown - Explore Downtown



# TRICK OR TREAT STROLL AND MONSTER MASH BLOCK PARTY



#### BALANCE SHEET FOR CITY OF BERKLEY Period Ending 04/30/2022

1/1	/1	1,	
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	Fund 814 DDA	Current Year	
GL Number	Description	Beg. Balance	Balanc
*** Assets ***			
Cash 814-000-001-000		270 760 01	50C 511 45
814-000-004-000	CASH IN BANK Cash - Imprest Payroll	379,768.01 0.00	386,311.47 (6,436.91
814-000-005-000	PETTY CASH	300.00	300.00
Cash		380,068.01	380,174.50
Accounts Receiv			
814-000-026-000 814-000-040-001	DELINQUENT PPT RECEIVABLE ACCOUNTS RECEIVABLE - MANUAL	7,809.21 26.97	2,488.62 0.00
Accounts	Receivable	7,836.18	2,488.62
Other Assets			
Other As	sets	0.00	0.00
Total As	sets	387,904.19	382,663.18
		·	,
*** Liabilities	: ***		
Accounts Payabl 814-000-202-000	e ACCOUNTS PAYABLE	146,50	0.00
Accounts	Payable	146.50	0.00
Liabilities-ST			
814-000-232-000	EMPLOYEE PENSION DEDUCTIONS	0.00	1,482.50
814-000-241-000	FICA TAXES	89.32	89.32
814-000-257-000	ACCRUED PAYROLL	1,167.61	1,167.61
814-000-259-000 814-000-285-000	ACCRUED HEALTH CARE UNEARNED REVENUE	0.01 0.00	596.84 (1,586.87
Liabilit	ies-ST	1,256.94	1,749.40
Total Li	abilities	1,403.44	1,749.40
		2,100.11	-,
*** Fund Balanc	e ***		
Unassigned 314-000-390-000	FUND BALANCE	386,500.75	386,500.75
Unassign		386,500.75	386,500.75
Total Fu	nd Balance	386,500.75	386,500.75
Beginnin	g Fund Balance		386,500.75
Ending F	evenues VS Expenditures und Balance abilities And Fund Balance		(5,586.97 380,913.78 382,663.18

BND BALANCE GL NUMBER         DESCRIPTION         AVAILABLE NORM         201-22 NORM         201-22 AVAILABLE 201-22         201 AVAILABLE CONSTRUE         AVAILABLE CONSTRUE           GL NUMBER         DESCRIPTION         NORM         (ABNORM)         BLDGET         MARNED BLDGET         04/30/2022 RCBM         AVAILABLE 00/32         NALANCE AVAILABLE           Dept 001 - REVENUES         38/-001-0100         PROPERTY TAKES CONTINE - DOA 302,073.84         315,000.00         312,000.00         322,440.02         (17,440.02)           814-001-01-000         PROPERTY TAKES - CANGERACKS         4,000.00         (2,500.00)         (1,500.00)         (1,500.00)         (1,500.00)         (1,500.00)         (1,600.00)	User: mpollock DB: City Of Berk	kley	D EXPENDITURE REP PERIOD ENDING % Fiscal Year Com LY CREATED FUND RI	04/30/2022 pleted: 83.29			Page: 1/2	
Dept 101 - REVENUES 814-001-0100 F PROPERTY TAXES 814-001-01-000 FROPERTY TAXES 814-001-01-001 FROPERTY TAXES 814-001-01-001 FROPERTY TAXES 814-001-01-850 PPT - CORRENT Y BEL 814-001-01-850 PPT - CORRENT Y BEL 814-001-01-850 PPT - CORRENT Y BEL 814-001-01-850 PPT - CORRENT Y BEL 814-001-415-000 FROPERTY TAXES - CHARGERACKS 0.00 0.00 0.00 (1,170.37) 1,170.37 814-001-45000 FROPERTY TAXES - CHARGERACKS 0.00 0.00 0.00 (1,170.37) 1,170.37 814-001-45000 FROPERTY TAXES - CHARGERACKS 0.00 0.00 0.00 1,800.38 814-001-674-000 INVERSIT AND FRANLIES ON TAXES 9,775.66 0.00 1,500.00 1,500.00 0.00 1,800.00 0.00 0.00 814-001-675-005 CORPERTY TAXES EXPENDE 814-001-675-005 CORPERTY ENDICATIONS 814-001-675-015 CORPERTY ENDICATIONS 814-001-675-014 CORPERTY FROM ENDINGS 814-001-675-117 COOREATING AND FROM TOOLS 814-001-675-117 COOREATING AND FROM TOOLS 814-001-75-117 COOREATING AND FROM TOOLS 814-001-75-117 COOREATING AND FROM TOOLS 814-001-675-117 COOREATING AND FROM TOOLS 814-001-75-117 FOOD FILL THE EMPLOYEES 82,855.07 69,360.00 423,930.00 421,200.99 12,270.00 814-175-704-000 FFLCS EMPLOYEES 82,855.07 59,360.00 43,900.00 1,500.00 1,500.00 1,200.00 10,000 814-175-704-000 FFLCS EMPLOYEES 82,855.07 0,000 0,00 0,00 0,00 0,00 0,00 814-175-704-000 FFLCS EMPLOYEES 82,855.07 0,000 0,000 0,000 0,00 0,00 0,00 814-175-704-000 FFLCS EMPLOYEES 82,855.07 0,000 0,000 0,000 0,00 0,00 0,00 814-175-704-000 FFLCS EMPLOYEES 82,000 0,00	GL NUMBER	DESCRIPTION	06/30/2021	ORIGINAL		04/30/2022	BALANCE	% BDGT USED
814-001-401-000       PROPERTY TAXES       38,505.21       37,680.00       37,680.00       322,73.58       (1,591.58)         814-001-401-001       PROPERTY TAXES       302,073.83       315,000.00       312,081.00       (1,70.37)       (1,70.37)         814-001-401-850       PPT - CURRENT TAXES       0.00       (2,500.00)       0.00       (1,70.37)       (1,70.37)         814-001-401-000       PPT - CURRENT TAXES       0.00       0.00       (1,70.37)       (1,70.37)         814-001-401-000       PPT - CURRENT TAXES       0.00       1.50.00       (1,60.02)       (1,60.02)         814-001-475-000       PPT - CURRENT TAXES       0.00       1.50.00       (1,70.37)       (1,70.37)         814-001-75-005       STATE GRANTS RANDIAS REVENDE       0.00       2.50.00       7.50.00       7.40.25       2.255.75         814-001-75-005       CORDARINES REVENDE       0.00       2.50.00       2.50.00       0.05       1.50.00.00       1.50.00.00         814-001-75-005       CORDARINES REVENDE       0.00       15,00.00       0.00       1.50.00.00       1.2,723.01         814-001-REVENDES       366,722.9E       384,930.00       433,950.00       55,115.92       14,244.08         814-175-105       LARANTINISTRATION       52,5	Fund 814 - DDA							
81-001-001-001       PROPERTY TAX CAPTURE DAA       322,073.83       315,000.00       315,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       325,000.00       0.00       (2,500.00)       0.00       (2,500.00)       0.00       (2,500.00)       0.00       (2,500.00)       0.00       (2,500.00)       0.00       (2,500.00)       0.00       (2,500.00)       0.00       (2,500.00)       0.00       (2,500.00)       0.00       14,601.40       0.00       14,601.40       0.00       0.00       14,601.40       0.00       14,601.40       0.00       14,601.40       0.00       14,601.40       0.00       14,601.40       0.00       14,601.40       0.00       14,601.40       0.00       14,601.40       0.00       14,601.40       0.00       15,600.00       14,601.40       0.00       15,600.00       14,601.40       0.00       15,600.00       15,600.00       15,600.00       15,600.00       15,600.00       15,600.00       15,600.00       15,600.00       15,600.00       15,600.00       14,70.70       0.00       12,729.01       12,729.01       12,729.01       12,729.01	Dept 001 - REVENUE	ES						
814-001-401-001       PROPERTY TAX CAPTURE DDA       302,073.83       315,000.00       315,000.00       315,000.00       315,000.00       74.025       2.725.75       0.00       2.00.00       2		PROPERTY TAXES	38,505,21	37,680.00	37,680.00	39,273.58	(1,593,58)	104.23
B14-001-401-850       PPT - COMPARTY TAY DEL       4,787.24       (2,500.00)       0.00       0.00       (2,500.00)       (2,500.00)       (2,500.00)       (2,500.00)       (2,500.00)       (2,500.00)       (2,500.00)       (1,70.37) <td< td=""><td></td><td></td><td>302,073.83</td><td>315,000.00</td><td>315,000.00</td><td></td><td></td><td>105.66</td></td<>			302,073.83	315,000.00	315,000.00			105.66
814-001-445-000       INTEREST AND FENALTIES ON TAXES       0.00       0.00       1.00       1.7166.567       1.465.567         814-001-537-000       LOCAL COMMUNITY STABLIZATION SHARE-PFT       14,559.46       14,000.00       14,000.00       1.500.00       0.00         814-001-577-005       LOCAL COMMUNITY STABLIZATION SHARE-PFT       14,559.46       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.00       14,000.25       2,259.75       14,001.57.00       17,000.00       15,000.00       47,500.00       12,729.00       12,729.00       12,729.00       12,729.00       12,729.00       12,729.00       12,729.00       12,729.00       12,729.00       12,729.00       12,729.00       12,729.00       14,241.08       134-175-734.00       14,241.08       134-175-734.00       14,241.08       134-175-734.00       14,241.08       14,115.95       14,241.08       14,115.95       14,241.00       14,241.08       14,115.95       14,115.95       14,115.95       14,115.95       14,115.95       14,115.95       14,115.95       14,115.95       14,115.95       14,115.95       14,115.95       14,115.95       14,115.					(2,500.00)	0.00		0.00
914-001-539-000       STATE GRANTS       5,775.52       0.00       1,500.00       1,500.00       1,500.00       1,500.00       1,500.00       1,500.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       14,000.00       0.00       15,000.00       0.00       15,000.00       0.00       15,000.00       0.00       15,000.00       0.00       15,000.00       14,173.713.729.700 <td< td=""><td></td><td></td><td></td><td></td><td></td><td>(1,170.37)</td><td></td><td>100.00</td></td<>						(1,170.37)		100.00
814-001-573-000       LOCAL COMMUNITY STABLIZATION SHARE-EPT       14,569.46       14,000.00       74,000.00       740.25       32,255.75         814-001-674-005       MERCHANDISE REVENUE       0.00       250.00       275.00       (225.07)         814-001-675-005       CORPRATE FORMATIONS       0.00       15,000.00       740.25       32,255.75         814-001-675-117       COOPERATIVE ANVERTISING INCOME       0.00       15,000.00       14,250.00       275.00       120.00       125,000.00         814-001-675-117       COOPERATIVE ANVERTISING INCOME       0.00       15,000.00       15,000.00       120.00       120.00       120.00       120.00       127.729.01         Net - Dept 001 - REVENUES       366,722.98       384,930.00       423,930.00       421,200.99       12,729.01         B14-175-704-000       FLL TIME EMPLOYERS       52,856.07       69,360.00       69,360.00       55,115.92       14,244.08         814-175-784-001       MESTER       225.77       0.00       1,500.00       1,300.00       1,313.93         814-175-814-001       MESTER       225.77       0.00       1,500.00       1,300.00       1,300.00       1,300.00       1,300.00       1,300.00       1,300.00       1,300.00       1,300.00       1,300.00       1,30								100.00
814-001-664-000       INVESTMENT EARNINGS       1,011.62       3,000.00       3,000.00       740.25       2,259.75         814-001-675-005       CORPORATE DONATIONS       0.00       250.00       250.00       275.00       (25.00)         814-001-675-005       CORPORATE DONATIONS       0.00       15,000.00       47,500.00       47,407         814-001-675-814       EVENT SPONSORSHIPS       0.00       15,000.00       15,000.00       2,300.00         Net - Dept 001 - REVENUES       366,722.98       384,930.00       433,930.00       421,200.99       12,729.01         Dept 175 - DDA ADMINISTRATION       814-175-704-000       FULL THRE EMPLOYEES       52,856.07       69,360.00       55,115.92       14,244.08         814-175-704-000       FULZ THRE EMPLOYEES       199.33       1,500.00       1,500.00       1,000.00       0.00       0.00         814-175-704       OFFECT       199.33       1,500.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       0.00       0.00         814-175-7049       DEAD DRATINNES       225.77       0.00       0.00       0.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,015.00         814-175 -506-000       PROFESSIONAL DEV								100.00
814-001-674-005       MRRCHANDISE REVENUE       1.0.00       250.00       255.00       275.05								0.00
814-001-675-005       COAPCRATE DONATIONS       0.00       -0.00       47,500.00       47,251.33       174,00.00         814-001-675-814       EVENT SPONSORSHIPS       0.00       15,000.00       15,000.00       2,500.00       2,500.00       2,370.00         Nat - Dept 001 - REVENUES       366,722.98       384,930.00       423,930.00       421,200.99       12,729.01         Dept 175 - DDA ADMINISTRATION       814-175-704-000       FULL TIME EMPLOYERS       52,856.07       69,360.00       65,366.00       55,115.92       14,244.08         814-175-704-000       FULL TIME EMPLOYERS       52,856.07       69,360.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       14,043,930.00       421,200.99       12,729.01       0.00       0.00       0.00       0.00       14,043,930.00       421,200.99       12,729.01       0.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       14,024.08       14,244.08       14,244.08       14,244.08       14,244.08       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00								24.68
814-001-675-117       COOPERATIVE ADVERTISING INCOME       0.00       15,000.00       15,000.00       15,000.00       15,000.00       2,300.00         814-001-675-814       SVENT SPONSORSHIPS       0.00       2,500.00       2,500.00       130.00       2,370.00         Net - Dept 001 - REVENUES       366,722.98       384,930.00       433,930.00       421,200.99       12,729.01         Dept 175 - DUA ADMINISTRATION       52,856.07       59,360.00       55,115.92       14,244.08         814-175-728-000       PTICA       4,006.47       5,306.00       55,005.00       4,190.10       1,115.90         814-175-728-000       PTICA       4,006.47       5,306.00       50.05       0.00       150.05       14,244.08         814-175-814-001       MEBSITE       225.77       0.00       0.00       100.00       0.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,000.00       3,01.50       0.00       2,500.00       2,500.00       2,500.00       2,500.00       2,500.00       2,500.00       2,500.00       2,500.00       2,500.00       2,500.00       2,500.00       2,500.00								110.00
814-001-675-814         EVENT SPONSORSHIPS         0.00         2,500.00								99.84 0.00
Dept 175 - DDA ADMINISTRATION         Higher Hi								5.20
Dept 175 - DDA ADMINISTRATION         52,856.07         69,360.00         69,360.00         55,115.92         14,244.08           814-175-704-000         FULL TIME EMPLOYEES         52,856.07         69,360.00         5,306.00         4,190.10         1,115.92           814-175-715-000         FICA         4,006.47         5,306.00         5,306.00         4,190.10         1,115.92           814-175-814-001         MEBSITE         225.77         0.00         0.00         0.00         0.00           814-175-960-000         PROFESSIONAL DEVELOPMENT         0.00         4,000.00         4,000.00         3,000.00         0.00         3,000.00           814-175-960-000         PROFESSIONAL DEVELOPMENT         0.00         4,000.00         4,000.00         585.00         3,415.00           Net - Dept 175 - DDA ADMINISTRATION         (57,287.64)         (83,166.00)         (60,041.07)         (23,124.93)           Dept 265 - CITY HAIL         0.00         2,500.00         2,500.00         0.00         2,500.00           814-822-730-000         TRIBUNAL/BOARD OF REVIEW TAX EXPENSE         0.00         2,500.00         2,500.00         2,500.00         2,500.00         2,500.00         2,500.00         2,500.00         2,500.00         2,500.00         2,500.00         2,500.00 <td>Net - Dept 001 - F</td> <td>REVENUES</td> <td>366,722.98</td> <td>384,930.00</td> <td>433,930.00</td> <td>421,200.99</td> <td>12,729.01</td> <td></td>	Net - Dept 001 - F	REVENUES	366,722.98	384,930.00	433,930.00	421,200.99	12,729.01	
a11-175-704-000       FULL TIME EMPLOYEES       52,856.07       69,360.00       69,360.00       55,115.92       14,244.08         a14-175-715-000       FICE       SUPPLIES       199.33       1,500.00       5,306.00       5,015.92       14,244.08         a14-175-715-000       OFFICE SUPPLIES       199.33       1,500.00       1,500.00       1,500.00       1,500.00       1,300.00       10,000       0.00 </td <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>,</td> <td></td>							,	
814-175-715-000       FICA       4,006.47       5,366.00       5,366.00       64,190.12       1,12.20         814-175-728-000       OFFICE SUPPLIES       199.33       1,500.00       1,500.00       150.05       1,349.93         814-175-814-001       WEBSITE       225.77       0.00       0.00       0.00       3,000.00         814-175-917-009       BOARD TRAININGS       0.00       3,000.00       3,000.00       3,000.00       3,000.00         814-175-960-000       PROFESSIONAL DEVELOPMENT       0.00       4,000.00       4,000.00       4,000.00       3,000.00         814-175-960-000       PROFESSIONAL DEVELOPMENT       0.00       2,500.00       0.00       3,000.00         Net - Dept 175 - DDA ADMINISTRATION       (57,287.64)       (83,166.00)       (60,041.07)       (23,124.93)         Dept 265 - CITY HALL       0.00       2,500.00       0.00       2,500.00       0.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       10,000.00       10,000.00       10,000.00       2,500.00       0.00       2,500.00         814-822-730-000       INTERNAL SEVC - LABOR & ADMIN       10,000.00       10,000.00       10,000.00       300.00       300.00       300.00       300.00       300.00       300.00	-							
814-175-728-000       OFTICE SUPPLIES       199.33       1,500.00       1,500.00       1500.00       1500.00       1500.00       1,349.95         814-175-817-008       BOARD TRAININGS       225.77       0.00       0.00       3,000.00       3,000.00 <td< td=""><td></td><td></td><td></td><td></td><td>69,360.00</td><td>55,115.92</td><td>14,244.08</td><td>79.46</td></td<>					69,360.00	55,115.92	14,244.08	79.46
814-175-814-001       WEBSITE       225.77       0.00       0.00       0.00       0.00         814-175-817-008       BOARD TRAININGS       0.00       3,000.00       3,000.00       0.00       3,000.00         814-175-960-000       PROFESSIONAL DEVELOPMENT       0.00       4,000.00       4,000.00       585.00       3,415.00         Net - Dept 175 - DDA ADMINISTRATION       (57,287.64)       (83,166.00)       (83,166.00)       (60,041.07)       (23,124.93)         Dept 265 - CITY HALL       814-265-921-100       TRIBUNAL/BOARD OF REVIEW TAX EXPENSE       0.00       2,500.00       0.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       10,000.00       10,000.00       10,000.00       2,500.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       10,000.00       10,000.00       10,000.00       2,500.00       2,500.00         B14-822-730-000       POSTAGE-PRINTING-MALLING       0.00       300.00       300.00       300.00       300.00       300.00         814-822-803-000       MEMBERSHIPS AND DUES       937.00       1,030.00       1,710.00       1,710.00       0.00         814-822-818-000       CONSULTANT       0.00       15,000.00       15,000.00       0.00       15,000.00       15,000.00 <td></td> <td></td> <td>Ŧ</td> <td></td> <td>5,306.00</td> <td>4,190.10</td> <td></td> <td>78.97</td>			Ŧ		5,306.00	4,190.10		78.97
814-175-817-008       BOARD TRAININGS       0.00       3,000.00       3,000.00       3,000.00         814-175-960-000       PROFESSIONAL DEVELOPMENT       0.00       4,000.00       4,000.00       585.00       3,415.00         Net - Dept 175 - DDA ADMINISTRATION       (57,287.64)       (83,166.00)       (60,041.07)       (23,124.93)       -         Dept 265 - CITY HALL       10.00       2,500.00       2,500.00       0.00       2,500.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       (2,500.00)       (2,500.00)       0.00       2,500.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       (2,500.00)       (2,500.00)       0.00       2,500.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       10,000.00       10,000.00       7,500.00       2,500.00       2,500.00         B14-822-727-100       INTERNAL SRVC - LABOR & ADMIN       10,000.00       10,000.00       10,000.00       7,500.00       2,500.00         814-822-807-000       MEMERRSHIPS AND DUES       937.00       1,030.00       1,030.00       300.00       300.00       300.00         814-822-817-000       CONSULTANT       0.00       15,000.00       1,710.00       1,710.00       15,000.00       16,000.00 <t< td=""><td></td><td></td><td></td><td>•</td><td></td><td>150.05</td><td>1,349.95</td><td>10.00</td></t<>				•		150.05	1,349.95	10.00
814-175-960-000       PROFESSIONAL DEVELOPMENT       0.00       4,000.00       4,000.00       585.00       3,415.00         Net - Dept 175 - DDA ADMINISTRATION       (57,287.64)       (83,166.00)       (83,166.00)       (60,041.07)       (23,124.93)         Dept 265 - CITY HALL       814-265-921-100       TRIBUNAL/BOARD OF REVIEW TAX EXPENSE       0.00       2,500.00       0.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       (2,500.00)       0.00       (2,500.00)       0.00       (2,500.00)         Dept 822 - DDA OPERATIONS       814-822-737-100       INTERNAL SEVC - LABOR & ADMIN       10,000.00       10,000.00       10,000.00       7,500.00       2,500.00         814-822-730-000       POSTAGE-PRINTING-MAILING       0.00       300.00       300.00       300.00       300.00         814-822-807-000       AUDES       937.00       1,030.00       1,710.00       1,710.00       1,700.00       1,700.00         814-822-818-000       CONSULTANT       0.00       15,000.00       15,000.00       15,000.00       15,000.00       15,000.00         814-822-818-000       LEGRAL SERVICES       1,470.00       1,500.00       2,500.00       2,500.00         814-822-824-000       LEGRAL SERVICES       1,470.00       1,500.00       1,5							0.00	0.00
Dept 265 - CITY HALL       R14-265-921-100       TRIBUNAL/BOARD OF REVIEW TAX EXPENSE       0.00       2,500.00       0.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       (2,500.00)       (2,500.00)       0.00       (2,500.00)         Dept 822 - DDA OPERATIONS       814-822-727-100       INTERNAL SRVC - LABOR & ADMIN       10,000.00       10,000.00       10,000.00       7,500.00       2,500.00         814-822-730-000       POSTAGE-PRIVING-MAILING       0.00       300.00       300.00       300.00       300.00       300.00         814-822-803-000       MEMBERSHIPS AND DUES       937.00       1,030.00       1,030.00       350.00       680.00         814-822-807-000       AUDIT SERVICES       1,470.00       1,500.00       1,710.00       0.00       15,000.00         814-822-818-205       SECRETARIAL SERVICES       1,425.00       2,000.00       15,000.00       15,000.00         814-822-824-000       LEGAL SERVICES       1,425.00       2,000.00       2,500.00       500.00         814-822-824-000       LEGAL SERVICES       573.75       2,500.00       2,500.00       2,500.00         814-822-865-000       DUMUTYOW BERKLEY PARTNERS NON FROFIT       25.00       1,500.00       1,500.00       1,500.00         814-822-								0.00 14.63
Dept 265 - CITY HALL       R14-265-921-100       TRIBUNAL/BOARD OF REVIEW TAX EXPENSE       0.00       2,500.00       0.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       (2,500.00)       (2,500.00)       0.00       (2,500.00)         Dept 822 - DDA OPERATIONS       814-822-727-100       INTERNAL SRVC - LABOR & ADMIN       10,000.00       10,000.00       10,000.00       7,500.00       2,500.00         814-822-730-000       POSTAGE-PRIVING-MAILING       0.00       300.00       300.00       300.00       300.00       300.00         814-822-803-000       MEMBERGHIPS AND DUES       937.00       1,030.00       1,030.00       350.00       680.00         814-822-807-000       AUDIT SERVICES       1,470.00       1,500.00       1,710.00       1,710.00       0.00         814-822-817-000       CONSULTANT       0.00       15,000.00       15,000.00       15,000.00       15,000.00         814-822-818-205       SECRETARIAL SERVICES       1,825.00       2,000.00       2,500.00       2,500.00         814-822-824-000       LEGAL SERVICES       573.75       2,500.00       2,500.00       2,500.00         814-822-824-000       LEGAL SERVICES       573.75       2,500.00       2,500.00       2,500.00       2,500.00	Net - Dept 175 - [	DDA ADMINISTRATION	(57,287,64)	(83 166 00)	(83 166 00)	(60 041 07)	(22 124 02)	
814-265-921-100       TRIBUNAL/BOARD OF REVIEW TAX EXPENSE       0.00       2,500.00       2,500.00       2,500.00       2,500.00         Net - Dept 265 - CITY HALL       0.00       (2,500.00)       (2,500.00)       0.00       (2,500.00)         Dept 822 - DDA OPERATIONS         814-822-730-000       POSTAGE-PRINTING-MAILING       0.00       10,000.00       10,000.00       7,500.00       2,500.00         814-822-730-000       POSTAGE-PRINTING-MAILING       0.00       300.00       300.00       300.00       300.00         814-822-807-000       MEMBERSHIPS AND DUES       937.00       1,030.00       1,030.00       1,710.00       0.00         814-822-807-000       AUDIT SERVICES       1,470.00       1,500.00       1,710.00       1,710.00       0.00         814-822-818-205       SECRETARIAL SERVICES       1,825.00       2,000.00       1,500.00       1,500.00       1,500.00         814-822-828-000       LEGAL SERVICES       1,825.00       2,500.00       2,500.00       2,500.00         814-822-828-000       LEGAL SERVICES       573.75       2,500.00       2,500.00       2,500.00         814-822-828-000       LEGAL SERVICES       0.00       1,500.00       1,500.00       0.00       1,500.00         814-822-			(01)207104)	(00/100.00/	(03,100.00)	(00,041.07)	(25,124.93)	
Net - Dept 265 - CITY HALL       0.00       (2,500.00)       0.00       (2,500.00)         Dept 822 - DDA OPERATIONS       814-822-727-100       INTERNAL SRVC - LABOR & ADMIN       10,000.00       10,000.00       10,000.00       7,500.00       2,500.00         814-822-737-100       INTERNAL SRVC - LABOR & ADMIN       10,000.00       10,000.00       10,000.00       7,500.00       2,500.00         814-822-730-000       POSTAGE-PRINTING-MAILING       0.00       300.00       300.00       300.00       300.00         814-822-803-000       MEMBERSHIPS AND DUES       937.00       1,030.00       1,030.00       350.00       680.00         814-822-817-000       AUDIT SERVICES       1,470.00       1,500.00       1,710.00       0.00         814-822-817-000       CONSULTANT       0.00       15,000.00       15,000.00       15,000.00       15,000.00         814-822-818-205       SECRETARIAL SERVICES       1,825.00       2,000.00       2,500.00       500.00         814-822-838-000       LEGAL SERVICES       573.75       2,500.00       2,500.00       2,500.00         814-822-865-000       DOWNTOWN BERKLEY PARTNERS NON FROFIT       25.00       1,500.00       404.87       195.13         814-822-865-000       DOWNTOWN BERKLEY PARTNERS       0.		ALL						
Dept 822 - DDA OPERATIONS         814-822-727-100       INTERNAL SRVC - LABOR & ADMIN       10,000.00       10,000.00       10,000.00       7,500.00       2,500.00         814-822-730-000       POSTAGE-PRINTING-MAILING       0.00       300.00       300.00       0.00       300.00       300.00         814-822-803-000       MEMBERSHIPS AND DUES       937.00       1,030.00       1,030.00       350.00       680.00         814-822-807-000       AUDIT SERVICES       1,470.00       1,500.00       1,710.00       1,710.00       0.00         814-822-817-000       CONSULTANT       0.00       15,000.00       15,000.00       500.00         814-822-818-205       SECRETARIAL SERVICES       1,825.00       2,000.00       2,500.00       500.00         814-822-818-205       SECRETARIAL SERVICES       573.75       2,500.00       2,500.00       2,500.00         814-822-853-000       TELEPHONE       488.17       600.00       600.00       404.87       195.13         814-822-865-000       DOWNTOWN BERKLEY PARTNERS NON FROFIT       25.00       1,500.00       1,500.00       1,500.00         814-822-866-000       SUBSCRIPTION SERVICES       0.00       300.00       300.00       300.00	814-265-921-100	TRIBUNAL/BOARD OF REVIEW TAX EXPENSE	0.00	2,500.00	2,500.00	0.00	2,500.00	0.00
814-822-727-100         INTERNAL SRVC - LABOR & ADMIN         10,000.00         10,000.00         10,000.00         7,500.00         2,500.00           814-822-730-000         POSTAGE-PRINTING-MAILING         0.00         300.00         300.00         0.00         300.00	Net - Dept 265 - (	CITY HALL -	0.00	(2,500.00)	(2,500.00)	0.00	(2,500.00)	
814-822-727-100         INTERNAL SRVC - LABOR & ADMIN         10,000.00         10,000.00         10,000.00         7,500.00         2,500.00           814-822-730-000         POSTAGE-PRINTING-MAILING         0.00         300.00								
814-822-730-000         POSTAGE-PRINTING-MAILING         0.00         300.00         300.00         0.00         300.00           814-822-803-000         MEMBERSHIPS AND DUES         937.00         1,030.00         1,030.00         350.00         680.00           814-822-807-000         AUDIT SERVICES         1,470.00         1,500.00         1,710.00         1,710.00         0.00           814-822-817-000         CONSULTANT         0.00         15,000.00         15,000.00         0.00         15,000.00           814-822-817-000         CONSULTANT         0.00         15,000.00         15,000.00         0.00         15,000.00         0.00         15,000.00         1,500.00         15,00								
814-822-803-000         MEMBERSHIPS AND DUES         937.00         1,030.00         1,030.00         300.00           814-822-807-000         AUDIT SERVICES         1,470.00         1,500.00         1,710.00         1,710.00         0.00           814-822-817-000         CONSULTANT         0.00         15,000.00         15,000.00         0.00         15,000								75.00
814-822-807-000         AUDIT SERVICES         1,470.00         1,500.00         1,710.00         1,710.00         0.00           814-822-817-000         CONSULTANT         0.00         15,000.00         15,000.00         0.00         15,000.								0.00
814-822-817-000         CONSULTANT         0.00         15,000.00         15,000.00         0.00         15,000.00           814-822-818-205         SECRETARIAL SERVICES         1,825.00         2,000.00         2,000.00         1,500.00         500.00           814-822-824-000         LEGAL SERVICES         573.75         2,500.00         2,500.00         2,500.00         2,500.00           814-822-853-000         TELEPHONE         488.17         600.00         600.00         404.87         195.13           814-822-865-000         DOWNTOWN BERKLEY PARTNERS NON PROFIT         25.00         1,500.00         1,500.00         0.00         300.00           814-822-866-000         SUBSCRIPTION SERVICES         0.00         300.00         300.00         300.00         300.00								33.98
814-822-818-205         SECRETARIAL SERVICES         1,825.00         2,000.00         1,500.00         15,000.00           814-822-824-000         LEGAL SERVICES         573.75         2,500.00         2,500.00         0.00         2,000.00           814-822-853-000         TELEPHONE         488.17         600.00         600.00         404.87         195.13           814-822-865-000         DOWNTOWN BERKLEY PARTNERS NON PROFIT         25.00         1,500.00         1,500.00         1,500.00           814-822-866-000         SUBSCRIPTION SERVICES         0.00         300.00         300.00         300.00								100.00
814-922-824-000         LEGAL SERVICES         573.75         2,500.00         2,500.00         2,500.00         2,500.00           814-822-853-000         TELEPHONE         488.17         600.00         600.00         404.87         195.13           814-822-865-000         DOWNTOWN BERKLEY PARTNERS NON PROFIT         25.00         1,500.00         1,500.00         0.00         1,500.00           814-822-866-000         SUBSCRIPTION SERVICES         0.00         300.00         300.00         300.00								0.00 75.00
814-822-853-000         TELEPHONE         488.17         600.00         600.00         404.87         195.13           814-822-865-000         DOWNTOWN BERKLEY PARTNERS NON PROFIT         25.00         1,500.00         1,500.00         0.00         1,500.00           814-822-866-000         SUBSCRIPTION SERVICES         0.00         300.00         300.00         300.00	814-822-824-000	LEGAL SERVICES						0.00
814-822-865-000         DOWNTOWN BERKLEY PARTNERS NON PROFIT         25.00         1,500.00         1,500.00         0.00         1,500.00           814-822-866-000         SUBSCRIPTION SERVICES         0.00         300.00		TELEPHONE						67.48
814-822-866-000 SUBSCRIPTION SERVICES 0.00 300.00 0.00 300.00 300.00								0.00
814-822-904-000 PRINTING 0.00 300.00 300.00 0.00 300.00					300.00			0.00
	814-822-904-000	PRINTING	0.00	300.00	300.00	0.00	300.00	0.00
Net - Dept 822 - DDA OPERATIONS (15,318.92) (35,030.00) (35,240.00) (11,464.87) (23,775.13)	Net - Dept 822 - [	DDA OPERATIONS -	(15,318.92)	(35,030.00)	(35,240.00)	(11,464.87)	(23,775.13)	
Dept 824 - SPECIAL EVENTS	-							
814-824-817-004 DDA - EVENTS 746.38 14,700.00 14,700.00 14,599.99 100.01					14,700.00	14,599.99	100.01	99.32
814-824-81/-015 HOLIDAY LIGHTS 25,001.44 30,000.00 31,000.00 32,723.03 (1,723.03)				· · · · · · · · · · · · · · · · · · ·				105.56
814-824-901-000 ADVERTISING 580.00 0.00 0.00 0.00 0.00	014-024-30 <b>1-</b> 000	ADVERTISING	580.00	0.00	0.00	0.00	0.00	0.00

05/09/2022 08:48 AM User: mpollock DB: City Of Berkley	REVENUE AND EXPENDITURE REF FERIOD ENDING % Fiscal Year Con NEWLY CREATED FUND R	TURE REPORT FOR CITY OF E ENDING 04/30/2022 (ear Completed: 83.29 FUND REV AND EXP REPORT	OF BERKLEY		Page: 2/2	
GL NUMBER DESCRIPTION	END BALANCE 06/30/2021 NORM (ABNORM)	2021-22 ORIGINAL BUDGET	2021-22 AMENDED BUDGET	YTD BALANCE 04/30/2022 NORM (ABNORM)	AVAILABLE BALANCE NORM (ABNORM)	8 BDGT USED
Fund 814 - DDA Net - Dept 824 - SPECIAL EVENTS	(26, 327.82)	(44,700.00)	(45,700.00)	(47, 323.02)	1, 623.02	
DEPT 826 - MARKETING AND ADVERTISING 814-826-814-000 WEEBSITE 814-826-817-002 DOWNTOWN MERCHANDISE EXFENDITURES 814-826-818-000 CONTRACTUAL SERVICES 814-826-818-000 ADVERTISING/MARKETING 814-826-901-000 ADVERTISING/MARKETING 814-826-901-001 MAP UPDATE & REFRINT	0.00 0.00 390.00 38,990.27 1,390.00	312.00 1,500.00 6,000.00 29,000.00 1,500.00	312,00 1,500,00 6,000,00 29,000,00 1,500.00	312.00 0.00 6,000.00 27,313.08 0,00	0,00 1,500,00 1,686.92 1,500.00	100.00 0.00 100.00 94.18 0.00
Net - Dept 826 - Marketing and AdvErtising	(40, 770.27)	(38,312.00)	(38, 312.00)	(33, 625.08)	(4,686.92)	
Dept 829 - STREETSCAPE & DESIGN 814-829-818-000 CONTRACTUAL SERVICES 814-829-818-200 FLOWER BASKET PROGRAM 814-829-818-201 PUBLIC ART/PLACEMAKING 814-829-818-207 PEST CONTROL 814-829-914-001 FACADE GRANT INCENTIVE PROGRAM	0.00 32,410.85 11,416.67 480.00 12,408.00	28,000.00 25,000.00 550.00 15,000.00	2,000.00 28,000.00 30,000.00 30,000.00 15,000.00	1,615,00 12,920.85 34,126.48 320.00 7,862.77	385.00 15,079.15 (4,126.48) 180.00 7,137.23	80,75 80,75 46.15 64.00 52.42
Net - Dept 829 - STREETSCAFE & DESIGN	(56, 715.52)	(68,500.00)	(75,500.00)	(56, 845.10)	(18, 654.90)	
DEPt 940 - PUBLIC IMPROVEMENT 814-940-974-002 STREETSCAFE IMPROVEMENTS 814-940-974-003 SIDEWALK REPAIR 814-940-974-005 WAYFINDING 814-940-974-007 BERKLEY PLAZA PROJECT	1,615.00 0.00 71,202.75	55,000.00 25,000.00 55,000.00 60,000.00	55,000.00 25,000.00 60,000.00 90,000.00	27,104.07 17,599.48 57,943.59 100,966.87	27,895.93 7,400.52 2,056.41 (10,966.87)	49.28 70.40 96.57 112.19
Net - Dept 940 - FUBLIC IMPROVEMENT	(72, 817.75)	(195,000.00)	(230,000.00)	(203, 614.01)	(26, 385.99)	
Dept 952 - ACTIVE EMPLOYEE BENRFITS 814-952-716-000 DENTAL/VISION/LIFE-LTD/RHCS 814-952-716-500 HEALTH CARE COSTS - BC/BS 814-952-718-000 RETIREMENT-DB MERS	1,000.00 9,437.65 25,937.17	1,000.00 10,300.00 26,520.00	1,000.00 10,300.00 26,520.00	1,373.03 3,468.38 9,033.40	(373.03) 6,831.62 17,486.60	137.30 33.67 34.06
Net - Dept 952 - ACTIVE EMPLOYEE BENEFITS	(36, 374.82)	(37,820.00)	(37,820.00)	(13,874.81)	(23,945.19)	
Fund 814 - DDA: TOTAL REVENUES TOTAL EXFENDITURES NET OF REVENUES & EXFENDITURES BEG. FUND BALANCE END FUND BALANCE	366, 722.98 305, 612.74 61, 110.24 325, 390.51 386, 500.75	384, 930.00 505, 028.00 (120, 098.00) 386, 500.75 266, 402.75	433,930.00 548,238.00 548,238.00 (114,308.00) 386,500.75 272,192.75	421,200.99 426,787.96 (5,586.97) 386,500.75 380,913.78	12,729.01 121,450.04 (108,721.03)	97.07 77.85 4.89



#### Victoria Mitchell <vmltchell@berkleymich.net>

## **Community Special Events Applications**

Shawn Young <syoung@berkleymich.net>

Wed, May 25, 2022 at 9:33 AM

To: Gina Harold <gharold@berkleymich.net> Cc: Department Directors <directors@berkleymich.net>, Michael Smith <mdsmith@berkleymich.net>, Ric Chalmers <rchalmers@berkleymich.net>

After reviewing the Application for the 2022 Trick or Treat Stroll/ monster Mash Block Party I have the following recommendations.

1. Volunteer assistance is a critical piece to the overall success of this event. Volunteers should be stationed at the closure locations to maintain barricade placements (especially during early set-up and at the end of the event).

2. The applicant is responsible for providing all resources necessary to safely operate the event. The street light plugs are not to be used to support the food trucks and vendors. There is limited power available at the end of Dorothea near the municipal parking lot.

3. Protective measures such as concrete barriers may be used with this closure which means that the coordination of opening and closing times will be extremely important. All items must be removed from the closure areas within the requested closure times.

4. DPW may request to modify the scope and time of the closure to limit the impacts on the surrounding residential neighborhood and allow time to safely install and remove any barricades or barriers

5. We recommend prior written notification be provided to all of the businesses and residents in the immediate area.

6. A signed TCO will be required from Public Safety prior to the start of the event.

7. Please note the cost to the City for DPW labor and equipment will be approximately \$5,000 for this event.

[Quoted text hidden]



City of Berkley Department of Public Safety



## INTEROFFICE CORRESPONDENCE

- DATE: June 6, 2022
- TO: Matthew Baumgarten, City Manager
- FROM: Matt Koehn, Director of Public Safety
- SUBJECT: Boolkley Nights and Trick or Treat Stroll/Monster Mash Block Party

The Berkley Downtown Development Authority has submitted an application for the "Boolkley Nights and Trick or Treat Stroll/Monster Mash Block Party" which will take place on Saturday, October 29, 2022. The application indicates that the event will be held on Coolidge Highway between Catalpa and 12 Mile Road between the hours of 12 PM and 3 PM and on Dorothea between the hours of 2 PM and 6 PM.

This event will require the closure of Coolidge Highway from 9 AM to 8 PM for set up and take down. The Boolkley Nights and Trick or Treat Stroll/Monster Mash Block Party features businesses handing out candy to trick or treaters and a "block party" on Dorothea, which features games, crafts, music, and family fun.

The event will be staffed by one employee and 38 volunteers. Volunteers will be stationed at the road closure locations, especially from 9 AM to 12 PM and 6 PM to 8 PM when the barricades are moved for the set up and take down.

The Department of Public Safety will collaborate with the Berkley Downtown Development Authority and the Berkley Department of Public Works to work out all of the details of the event and create an Emergency Operations Plan (EOP). Alliance Mobile Health, the Oak Park Department of Public Safety, the Huntington Woods Department of Public Safety, Suburban Mobility Authority for Regional Transportation (SMART), and Beaumont Hospital Royal Oak will all be notified of the road closure. A Traffic Control Order (TCO) has been prepared.

The Department of Public Safety recommends approval of the Boo!kley Nights and Trick or Treat Stroll/Monster Mash Block Party, contingent upon the submission of:

 A petition of the majority of business owners in the footprint of the event requesting the road closure

### **CITY OF BERKLEY MICHIGAN**

#### TRAFFIC CONTROL ORDER

## <u>T-17-22</u>

In accordance with the duly adopted <u>Uniform Traffic Code for Cities</u>, <u>Townships</u>, and <u>Villages</u>, the Traffic Engineer hereby issues the following Traffic Control Order.

PURPOSE:	Temporary vehicular traffic restriction for Berkley Street Art Fest
LOCATION:	Coolidge, From Catalpa to 12 Mile Road

<u>DATE/S:</u> October 29, 2022 from 9 AM until 8 PM (Event 12 PM – 6 PM)

ACTION: DPW to drop off barricades/cones along Coolidge from Catalpa to 12 Mile, blocking all vehicular traffic from proceeding through Coolidge. DPW to set up signs notifying "Road Closed ahead" as well as other markings are required and routing traffic down Catalpa east/west and 12 Mile east/west. NB Coolidge to be closed from Catalpa to Beverly and SB Coolidge to be closed from 12 Mile to Catalpa. DPW to also close access to Coolidge from Alley ways along Coolidge and all east/west side streets within the closure, including Dorothea from Coolidge to the Alley.

> Berkley Public Safety to notify Alliance Mobile Health, Oak Park DPS, Huntington Woods DPS, Royal Oak PD/FD, and SMART in regards to the road closure. Public Safety to monitor and assist and mitigate traffic hazards as necessary.

Parking will be monitored and enforced in area due to traffic restrictions.

Chamber of Commerce is responsible for event planning, maps, clean up.

Mr. Ker

Matt Koehn Public Safety Director, Traffic Engineer June 6, 2022

**Distribution Copies** 

- 1. Public Works Director/Deputy Traffic Engineer
- 2. Public Safety Director
- 3. Original Traffic Control File

June 20, 2022 City Council Meeting

Moved by Councilmember\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_to authorize Gallagher Benefit Services, Inc. for a Human Resource Audit related to our current Merit System of Human Resource Management and Administrative Directives and Work Place Policies at a cost not to exceed \$15,000. Funding has been allocated in the FY 22-23 Contractual Services - Consultant account 101-172-817-000.

Ayes:

Nays:

Motion:

# Memo



ncil
en, City Manager
ce Director/Treasurer
stant to the City Manager
udit Proposal

The City of Berkley has 82 full-time employees and 24 permanent part-time staff members. The multiple processes of updating labor contracts and Merit Rules have created a need to evaluate current best practices when it comes to personnel policies and procedures. We need to provide a new approach to provide a higher level of support to our staff. With that being said we must establish the foundation from where to work and a professional audit of our existing HR policies and procedures is a necessary step to ensure we understand where we can improve.

The City Manager tasked me to seek out information on how best to provide these services and I reached out to three companies: Trion, GovHR, and Gallagher. After numerous discussions with key stakeholders on staff, we did an informal request for information process from three companies. Trion did not provide the exact information we were requesting as they were wanting to do more outside of our scope of services. The two other companies did provide information to use in the form of proposals: GovHR provided their proposal for a cost of \$13,500. Gallagher's cost was a total of \$8,900 with the potential for some added costs (if required). We have a long-standing working relationship with Gallagher and they know our City and needs. We feel they would work well with staff and the Merit Committee.

Therefore, after careful evaluation, we have decided to request Council approval of the proposal from Gallagher Benefit Services, Inc. for a Human Resource Audit related to our current Merit System of Human Resource Management and Administrative Directives and Work Place Policies at a cost not to exceed \$15,000. Funding has been allocated in the FY 22-23 Contractual Services - Consultant account 101-172-817-000.

While we know they will not come near the allocated \$15,000 we want the option to have that budgeted amount in total before we start their process. We would like to get this project started in the first week of July which is under the new Fiscal Year.



Insurance Risk Management Consulting

Mr. Michael Smith Assistant to the City Manager City of Berkley Berkley, MI

**Dear Michael** 

Thanks so much for the conversation in late April and the update on some of the challenges and opportunities present for you and the employees of the City of Berkley (the City). As we discussed, the Gallagher's Human Resources & Compensation Consulting practice has a team of seasoned HR practitioners. We customize each project to fit the current situation and culture of each organization.

We understand the City is looking for assistance with the following:

- 1. The City is looking for a company to do a review of the City's current Merit System of Human Resources Management Manual and:
  - a. Determine those policies applicable to the merit program
  - b. Identify those better placed with other administrative policies (currently residing in the Administrative Directives Workplace Policies section of the City intranet)
- 2. Development of a stand-alone Human Resources Policy Manual, to include all appropriate administrative policies not associated with our Merit System.
- 3. Update all current administrative policies, where applicable
- 4. Provide suggestions for new administrative policies, where applicable.

The goal is to provide the City with new administrative policies and procedures which reflect current state and federal regulations.

An employee handbook is an important tool for the employees as well as the organization. For the employees, it often provides background and cultural information on the organization to help them become acquainted with their employer. It can also provide them with information on the organization's policies/procedures, their benefits, their responsibilities as an employee, and the organization's expectations for them. It can also assist the organization in complying with regulations requiring notifications to employees and possibly aid them in a defense of a charge or lawsuit from a current or former employee.

Gallagher will rewrite your employee handbook for best practices and legal compliance on both the federal and state level. We will use our extensive experience in writing employee handbooks to provide The City with an overview of your current document and make necessary changes for your new handbook.

We believe our proposal demonstrates our commitment to providing the City with the highest level of service in an efficient and timely manner, while maintaining a cost structure which fits within your budget. We recommend four phases, detailed below, to best assist the company with your HR needs.



## Human Resources Policy Manual Rewrite

Gallagher will partner with The City to develop a Human Resources Policy Manual that includes new policies as appropriate, and covers both best practice and legal compliance at the federal and state level.

The outcomes of this project include:

- Specific recommendations on administrative policies based on HR best practices and that meet compliance requirements.
- Draft new policies and/or amend existing policy language, as appropriate, to ensure that relevant policies governing the employment relationship are sufficiently addressed to meet the needs of The City.
- Develop The City's Human Resources Policy Manual that will act as a universal resource for all employees, regardless of state of employment.
- Review existing language and documentation related to merit procedures and processes, identify opportunities for clarity, and develop a merit policy document that is distinct within the larger context of the manual.
- Develop, if necessary, any policies based on state-specific requirements that The City does not recognize Organization-wide.
- Final Handbook and addendums delivered in Word and PDF formats.

Gallagher and the City will meet via conference call and review best practices and information regarding relevant laws. While we are not attorneys, we are familiar with applicable laws as they apply to employee issues.

### Methodology

The Harmonization methodology is designed to keep consulting costs to a minimum. Most work is done at the Consultant's office in order to reduce expenses. However, the Consultant may spend a portion of the time on-site, as necessary. Typically, the schedule is structured as follows:

Gallagher meets with the human resources leadership/staff via telephone (or, on-site visit, if preferred) for a formal "kick-off meeting" to discuss the process, objectives, and conduct an intake session to ascertain pertinent information (e.g. practices, processes, systems) that may influence policy decisions and policy creation. At the conclusion of the planning meeting, Gallagher will develop a formal project plan, including assignments and timeline to be signed off of by relevant HR and/or management stakeholders.

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The next step will involve the collection of any additional, relevant policies for review and analysis. Gallagher will create a policy grid which lays out each policy and allows for side-by-side comparison of the respective company policies. Based upon feedback from the HR Department, will group policies and assign priority to each policy within the grouping, as appropriate. Gallagher will conduct a written gap analysis noting any disparities, including lapses in policy, and make recommendations based on HR best practices and legal compliance. During this phase of the assessment the Consultant will work closely with the Human Resources department to exchange information, reach consensus on guiding principles and resolve issues or questions via phone or email. Gallagher will partner with the HR Department in deciding what policies to retain/discard, and to ensure that resulting Handbook of policies mirror organizational practices and culture.

## **Project Timeline**

Gallagher can begin working on your project directly after proposal acceptance. The Human Resources Policy Manual Rewrite will be completed within four weeks of receipt of The City's current manual.

Handbook Review Project Steps	Gallagher HR Consulting Time Anticipated	Anticipated Timeframe
Client provides Gallagher with Word version of current employee handbook	Upon proposal acceptance	N/A
Gallagher completes the Human Resources Policy Manual Rewrite	20 hours	4 weeks
Gallagher and Client discuss changes based on completed Policy Manual Rewrite	2 hours	Up to 7 business days





Project Team Kenya Spann, MHRM, CSSGB

Principal, HR Consulting

Kenya Spann is a Principal Consultant in the Gallagher Benefit Services' Human Resources & Compensation Consulting Practice. Kenya has a broad range of human resources experience with over 25 years of working closely with business leaders at all levels, in a variety of industries to build winning cultures, performance leadership, and HR solutions that drive results. She is known as a superior relationship manager and consensus builder, with the talent for helping organizations link people strategies to business strategies.

Prior to joining GBS, Ms. Spann held human resources leadership positions in a variety of industries. Among some of the other roles include Associate Vice Chancellor of Human Resources at City Colleges of Chicago and Director of Human Resources and Administration at the Chicago Urban League. In her current role as a consultant and a trusted advisor, she partners with clients on a variety of projects including HR skills & functional assessments, compliance trainings, policy creations, recruitment strategies, performance development, and HR business process improvements.

Kenya holds a Master's degree in Human Resources Management, with Distinction from Keller Graduate School of Management. She is a certified Six Sigma Green Belt and member of Sigma Beta Delta. Kenya volunteers with the Chicago Urban League and is passionate about the need to provide quality education for underserved youth in efforts to secure future employment.

## Erik Henry-Smetant, MBA, SHRM-SCP

Principal Consultant

Mr. Henry- Smetana provides high quality consulting services by leading projects specific to client needs and managing relationships between Gallagher experts and clients. Erik's 20-plus year work history has led him to serve in a variety of diverse roles across human resource management, particularly in compensation and benefits, talent management and organizational development, people analytics, and employee relations and policy development. Erik has extensive experience in both private and public sectors, working with an eclectic mix of dynamic organizations including Fortune 500 companies across multiple industries, international not-for-profit organizations, membership associations, media outlets (e.g. NPR and NBC affiliates), institutions of higher education and research, and others. Prior to joining Gallagher, he served as the enterprise-wide Deputy CHRO with the University of Missouri System and for Vanderbilt University as the Executive Director of People & Engagement leading, designing, and implementing compensation and people-focused programs and initiatives. Erik has a Bachelor's degree in Psychology, an MBA, and Master's degree in Writing. He has previously earned professional



certifications with the Human Resources Certification Institute (SPHR), Society for Human Resource Management (SHRM-SCP), and the Human Capital Institute (Strategic Workforce Planner and Human Capital Strategist).

## Your Investment

Service	Total Fees
Human Resources Policy Manual Rewrite	\$7,700
Merit Policies	\$1,200
Hourly Fee	\$385-\$400

Your investment in the Human Resources Consulting services are listed below.

Gallagher is available to provide commentary on policy changes and/or facilitate team meetings to discuss policies and assist the organization in making final decisions. Should these steps be requested, they will be billed as needed at the hourly rate listed above. Any hours needed beyond this, and/or continual review and revision of the draft provided will also be billed as incurred if the hours required are in excess of the hours shown in the table above.

This project cost estimate is in effect for 45 days. The City will be billed on a monthly basis as work is completed and payment is due within 30 days.

These estimated costs represent our knowledge of The City as described to us by your representative(s), as well as our experiences in providing similar services to other clients. However, if over the course of the project, any unusual information surfaces, it may be necessary to revise our initial proposal. While we do not anticipate a change in these projected estimated costs, we want to note that it may be necessary to revise our pricing if the scope of services changes.





## **PROPOSAL ACCEPTANCE – Handbook Review**

We thank you for the opportunity to propose on this handbook review. We look forward to working with you to provide The City with this impactful project that will support your organization and staff as you grow and develop into the future.

Regards,

Kenya Spann

Kenya Spann

**Terms** Upon execution this proposal becomes a project assignment.

I agree to the scope of services outlined in this proposal provided by Gallagher for the handbook review and merit policies as described above.

Authorized Signature

Date

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#### Disclosure

Consulting and insurance brokerage services to be provided by Gallagher Benefit Services, Inc. and/or its affiliate Gallagher Benefit Services (Canada) Group Inc. Gallagher Benefit Services, Inc. is a licensed insurance agency that does business in California as "Gallagher Benefit Services of California Insurance Services" and in Massachusetts as "Gallagher Benefit Insurance Services." Neither Arthur J. Gallagher & Co., nor its affiliates provide accounting, legal or tax advice.

#### **Privacy Policy**

Gallagher Benefit Services, Inc. (Gallagher), treats client privacy with care and respect. We do not disclose a client's nonpublic personal, financial and health information to third parties, except for the purposes of placing your insurance coverage(s) and as otherwise permitted by law.

Gallagher has always been mindful of our clients' privacy. We maintain physical, electronic and procedural safeguards that comply with federal and state regulations to guard your nonpublic personal, financial and health information, and that of your employees. Applicable law requires Gallagher to provide our clients with a copy of our Privacy Policy, which can be accessed at <a href="http://www.aig.com/privacy-policy/">http://www.aig.com/privacy-policy/</a>. This policy does not apply to our efforts to market our products and services to our clients so you may receive information from us about products that may suit your needs.



City of Berkley, MI March 17, 2022

Principal Contact: Rachel Glisper

RGlisper@GovHRusa.com

339-222-6963

630 Dundee Road, Suite 130, Northbrook, IL 60062 847.380.3240 Fax: 866.401.3100 GovHRUSA.com

EXECUTIVE RECRUITMENT INTERIM STAFFING MANAGEMENT AND HUMAN RESOURCE CONSULTING



Matthew Baumgarten City Manager 3338 Coolidge Highway Berkley, MI 48072

Dear Mr. Baumgarten:

Thank you for the opportunity to provide a proposal for the review and update of your current Merit Program and suggestions and development of a stand-alone Human Resources Policy Manual. Since GOVHR USA (GOVHR) tailors our projects to meet the needs of our clients – collaboration is key! If this proposal doesn't include everything you were expecting, let's discuss how we can update it to your satisfaction.

GovHR is a certified woman-owned business that provides comprehensive executive recruitment, interim staffing, human resources consulting and organizational analysis services to local governments, intergovernmental organizations, school districts, non-profits and other governmental entities. GovHR consultants have worked in all areas of local government leadership including city/county management, human resources, public safety, finance, public works, parks and recreation, utilities and school districts. This combined hands-on knowledge and experience has made GovHR a proven leader in public sector consulting.

GovHR was founded by Heidi Voorhees and Joellen Cademartori to serve as a vehicle for excellence in public service across the United States. Throughout their careers Ms. Voorhees and Ms. Cademartori have strongly believed in the importance of local innovation, cost effectiveness, and responsiveness for local government. Both Ms. Voorhees and Ms. Cademartori have served and excelled in local government leadership positions, working closely with elected officials, employees, residents, businesses, and related stakeholders to enhance the quality of life in the communities they serve. GovHR has a staff of over thirty (30) consultants and eight (8) support staff personnel.

If selected to complete this Study for the City of Berkley, this project will be completed by Ms. Rachel Glisper, Vice President and Ms. Joan Walko, Senior Vice President. Both have extensive background and expertise in human resources management and operations with local and state governments.

It is a pleasure for GovHR to provide the City of Berkley with a Proposal for this service. The terms and conditions of our proposal will be good for three months following the date of submission. We appreciate your consideration and look forward to the opportunity to work with the Berkley.

Sincerely,

Joellen Cademartori

Joellen Cademartori Chief Executive Officer GovHR USA, LLC



## PROJECT FOR CONSIDERATION

#### **POLICY REVIEW**

#### Overview:

The City of Berkley, Michigan (population 15,279) is seeking a proposal for:

- Review of the City's current Merit System of Human Resources Management Manual
  - Determine those policies applicable to the merit program
  - Identify those better placed with other administrative policies (currently residing in the Administrative Directives Workplace Policies section of your City intranet)
- Development of a stand-alone Human Resources Policy Manual, to include all appropriate administrative policies not associated with your Merit System
- Update of all current administrative policies, where applicable
- Suggestions for new administrative policies, where applicable

The goal is to provide the City with new administrative policies and procedures which reflect current state and federal regulations.

#### **Project Approach:**

The consultant will undertake the following process:

- Meet with key Stakeholders, City Manager, Assistant City Manager, Finance Director, and Benefits Coordinator to discuss existing policies, suggested new policies, any actual procedures that might conflict with current policy and discuss peer communities.
- The consultants will continue to gather all documents that are required to be updated by the City.
- The consultants will update or create new administrative policies to ensure compliance with applicable federal, state and local regulations and incorporate best practices.
- Consultant Recommendation Report will be presented to the City Manager and Assistant City Manager for review and discussion.
- The City should review all updated and new policies with its local counsel, insurer, and/or risk manager, prior to adopting and implementing policies.

#### Proposal Hours and Fees:

The cost of this service is based on the time and expertise of professional staff to complete the project including report production. The estimate is the maximum cost of the project on the basis of the above factors and proposes a not-to-exceed fee. An invoice will be submitted at the conclusion of the project and is payable within thirty (30) days of receipt. All work on the project will be completed virtually.

#### Total Cost: 90 hours at \$13,500

An additional fee of \$150.00 / hour will be billed, if the City would like consultant assistance in presentation of final recommendations to stakeholders, the City's leadership team and/or staff groups.

#### Project Timeline:

After receiving a signed contract, the project can begin the week of April 18, 2022, and will conclude by July 22, 2022.

## AN ORDINANCE

## <u>of the City Council of the City of Berkley, Michigan</u> <u>to Amend Articles II and III, of Chapter 130, Vegetation,</u> <u>of the City of Berkley Code of Ordinances</u> <u>to Modify Trees, Bushes and Shrubs, and Noxious Weeds</u> <u>and to add Article IV, Invasive Species</u>

## THE CITY OF BERKLEY ORDAINS:

<u>SECTION 1</u>: Articles II and III, of Chapter 130 of the Berkley Code of Ordinances, shall be amended as follows:

## ARTICLE II. – TREES, BUSHES AND SHRUBS

### Sec. 130-31. Purpose of article.

The purpose of this article is to promote the general welfare, health and safety of the public by protecting and preserving city water and sewer lines, public streets and sidewalks, the delivery of necessary heat and light to city residents and by controlling certain diseases and destructive pests through the regulation of the planting, maintenance and removal of all trees within the city.

Berkley's urban forest profoundly affects the community's distinctive character and enhances its visual appeal. The trees are a vital part of that appeal and an important asset to the natural ecosystem. Furthermore, the city finds that continued development and alteration of the land without specific regulations to protect trees results in unnecessary encroachment upon, damage to, or elimination of trees that are important physical, aesthetic, recreational, and economic assets to the community as a whole. The city is charged with protecting the health, safety and welfare of its current and future residents and the urban forest is an integral part. This article will establish standards for appropriate selection, location and maintenance of those trees.

The protection of such natural resources is a matter of paramount public concern, as provided by Article IV, Section 52 of the Constitution of 1963, and the Natural Resources and Environmental Protection Act of 1994, Act No. 451 of the Public Acts of Michigan of 1994 (MCL 324.101 et seq. as amended).

Specifically, the city finds that:

- (a) Trees protect health through the absorption of air pollutants and contaminants, the reduction of excessive noise and the production of oxygen;
- (b) Trees contribute to the stabilization of the land and prevention of flooding and erosion;
- (c) Deciduous trees reduce energy consumption by shading and cooling the land in the summer and allowing sun to penetrate the land during the winter;
- (d) Trees provide habitat for birds and animals, an essential part of the natural ecosystem;

- (e) Trees provide economic support of local property values;
- (f) Large trees, in particular,
  - (1) Produce more oxygen than smaller trees,
  - (2) Occur with less frequency than smaller trees,
  - (3) Are more valuable than smaller trees,
  - (4) Offer the community more intangible benefits, such as providing a living link between generations, and
  - (5) Are, for all intents and purposes, irreplaceable.

### Sec. 130-32. Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

*Boulevard:* A street or road with a landscaped center island running the length of the street or road.

Bond: Cash, certified check or surety bond.

*Contractor:* Any person, proprietorship, partnership or corporation engaged in the business of planting, removing, cutting, trimming, pruning, spraying or otherwise treating trees.

*Diameter breast height (d.b.h.):* The diameter in inches of a tree measured at four and one-half feet above the existing grade.

*Drip line:* An imaginary vertical line that extends downward from the outermost tips of the tree branches to the ground.

*Greenbelt:* All land located between the public sidewalk and the curb of any public street or roadway.

*Material:* Includes soil, sand, gravel, clay, peat, mud, debris and refuse, or any other material organic or inorganic.

*Park:* Any park, tot lot or area owned by the city to which the public has free access for any use thereon permitted by law.

*Private tree:* Any tree now existing or which may exist on private property.

*Protective barrier:* A physical structure limiting access to a protected area, composed of wood or other suitable material which ensures compliance with the intent of this article. Variations of these methods maybe permitted upon written request if they satisfy the intent of this article.

*Public tree:* Any tree now existing or which may exist on any public land or within the public right-of-way.

*Public utility:* Any utility company owning or operating a pole, line, pipe, wire, cable or conduit used for the transmission of electricity, gas, telecommunications, signals, pictures, data, water, sewage or cable television service.

*Root protection zone:* A tree drip line that the city manager or designee may expand or contract depending on the species of the trees and based on site-specific conditions, so as to improve the chances that the tree will not be damaged during construction and to permit construction to take place.

*Topping:* The severe cutting back of limbs to stubs larger than three inches within the tree's crown to the extent that the natural canopy is removed and the tree is disfigured.

*Transplant:* The digging up by a property owner of a tree from one place on a property and the planting of the same tree in another place on the same property.

*Tree:* A woody plant with erect perennial trunk, which at maturity is 13 feet or more in height and which has a more or less definite crown of foliage.

*Tree fund:* A fund established and managed by the city for tree planting, maintenance, and replacement.

*Tree location survey and protection plan:* A written plan having text and graphic illustrations and the methods to be used to preserve all trees during development.

## Sec. 130-33. Authority of city manager or designee.

- (a) The city manager or designee shall have the power and control over all trees now existing or which may be planted within the boundaries of the city. The city manager or designee shall be authorized to interpret and enforce the provisions of these articles.
- (b) Preserve or remove. The city manager or designee shall have the authority to plant, trim, spray, preserve and remove trees and other plants and grassy areas in public places to insure safety, public utility access or to preserve the symmetry and beauty of such public spaces.
- (c) Order to preserve or remove. The city manager or designee shall have the authority to order the trimming, preservation or removal of trees or plants on private property when they shall find such action necessary for public safety or to prevent the spread of disease or pests to public trees and places.

## Sec. 130-34. Administration of article.

(a) *Administration*. The city manager or designee shall have the power to administer this article by adhering to the recommended practices of the United States and state departments of agriculture, all federal and state forestry and environmental regulations and the practices of tree preservation which are generally accepted by qualified persons in the field of forestry and tree management. The city manager or designee shall also have the power to promulgate and delegate the rules and regulations consistent with the recommended practices of these agencies. All rules and regulations adopted by the city manager or designee in the administration of this article shall be placed in writing, retained by the city manager or

designee and be made immediately available for review by any member of the public who requests them or who may be affected by the provisions of this article. Any person requesting copies of these rules or regulations may be required to pay a fee for their copying providing that such fee is identical to the fee charged by the city for the copying of any other matter of public record.

(b) *Exceptions*. The city manager or designee may grant an exception from the requirements of this chapter when undue hardship will result from strict compliance. In granting an exception, the city may attach whatever conditions they deem necessary to further tree protection. Those seeking an exception shall apply for an exception as prescribed by the city manager or designee, pay fees established in the schedule of fees, charges, bonds and insurance, and provide such additional information as may be required by the city manager or designee.

## Sec. 130-35. Enforcement of article.

Violation of any portion of this article by any person shall be deemed a municipal civil infraction. Also, each violation of this article shall constitute a nuisance for which the city may seek abatement under any provision allowed by law.

## Sec. 130-36. Tree board.

- (a) *Established; terms; membership; compensation.* A tree board is hereby created. It shall consist of nine members appointed from the citizenry of the city, one of whom may be a member of the city council. The term of each member shall be three years, except for when a city councilmember is appointed who will serve for a one-year term. The director of the department of public works shall be an ex-officio member of the tree board. If a candidate is available, the council shall also appoint for a one-year term, beginning each October, one high school student who is a resident of the city and who shall serve as an advisory member of the tree board, but who shall have no voting powers. Members shall receive no compensation.
- (b) *Qualifications of members*. Members of the tree board must demonstrate a genuine interest in and a reasonable amount of knowledge of tree management and preservation.
- (c) *Tree management/preservation program.* The tree board shall assist the city manager in developing a comprehensive tree management and preservation program for the city. It shall serve as a clearing house for information on trees. It shall present to the city council an annual report on its activities.
- (d) *Officers; rules/regulations; journal; meetings*. The tree board shall choose its own officers and make its own rules and regulations concerning its meetings. Its meeting shall be open to the public. It shall keep minutes of its meetings and properly file them with the city manager. The city shall provide reasonable assistance to the tree board to enable it to function properly.
- (e) *Requests.* The tree board shall consider, investigate and report on any matter within the scope of its responsibilities when requested to do so by the city council or the city manager.

## Sec. 130-37. Site plans.

- (a) When the development of any property requiring site plan approval occurs, the city planning commission shall review landscaping plans and may require trees to be planted on or near the site consistent with the elements of the adopted city master plan.
- (b) When the development of any property requires, under city ordinance, a site plan review and approval or demolition permit, a tree location survey and protection plan containing the information in section 130-44 hereof must be submitted to and approved by the city manager or his designee (where site plan review is by the planning commission, the tree location survey and protection plan must be submitted to and approved by the planning commission).

## Sec. 130-38. Contractors.

- (a) *Bond and insurance required.* No contractor shall engage in the business of removing or trimming any public tree in the city except upon presentation of a bond and necessary insurance certificates in such form as to protect the city and any person in the city from damage to person or property resulting from the contractor's negligence.
- (b) *Conditions*. Any person or entity who trims or removes any public or private tree must remove from this city all tree trunks, limbs, branches and debris of any kind resulting from the trimming or removing of each tree within a timely manner of the actual cutting of the tree and that no tree trunks, limbs, branches or debris of any kind shall block, cover or impede any public sidewalk or street after the end of work on any day.

# Sec. 130-40. Tree planting.

- (a) *Payment.* Public trees planted on a greenbelt shall be planted at the city's expense if the planting is required by the city, unless the requirement is due to the tree replacement requirements of Sec 130-42 (a) or Sec 130-44 (b) (7); or are required as part of a site plan review, a planned unit development, a conditional rezoning, a Zoning Board of Appeals ruling, a court ruling, or any similar legally required conditions or rulings. If a property owner requests the planting of a public tree on a greenbelt, the city may, at its discretion, charge the owner the cost of such a planting.
- (b) *Restrictions*. The city manager or designee shall approve the species and location of any public tree planting. When approving a tree species, the following must be considered:

(1) The mature size of the tree in relationship to the size of the planting space and proximity to above ground obstructions;

(2) The nature of the tree's root system and its compatibility with obstructions or infrastructure at or below grade;

(3) That the mature tree will not generate noxious odors or undue amounts of leaves, nuts, seeds, flowers, or similar debris in such quantity to become a nuisance; and

(4) That the tree species is resilient to the weather and climate conditions of the city and to known diseases and pests.

## Sec. 130-41. Tree maintenance and protection.

- (a) *Injuring; mutilating*. No person shall break, injure, mutilate, kill, destroy, set fire to or permit a fire to be set to any public tree or shrub. No person shall knowingly cause or permit to be caused the seepage, drainage, injection or emptying of any chemicals or other materials harmful or injurious to a tree. Normal treatment of lawns with weed killer and lawn fertilizer shall be exempt from this section unless the weed killer or lawn fertilizer used is contained on a list of prohibited chemicals published by any agency of the governments of the United States or the state.
- (b) Hanging material on. No person shall use any public tree as an anchor. No person shall fasten or hang any material of any kind to any public tree. No person shall attach any electrical wire or insulation to any public tree. This subsection does not apply to residential holiday decorations or when special permission is given a residential owner by the city manager or designee. Such information as species, size, location and condition shall be used in judging individual requests.
- (c) *Permits.* The city manager or designee shall cause the issuance of annual permits for public utilities to trim and remove trees within the city in such a manner as to keep the overhead lines of a public utility safe and accessible. These permits shall require reasonable prior notice to the city before any work is commenced thereunder except if the trimming or removal of a tree occurs under an emergency. The term "emergency" in this subsection means any event or occurrence which could not have been reasonably foreseen by the public utility in the reasonable exercise of care and foresight and which may cause damage to the overhead lines of the public utility.
- (d) *Replacement.* When the city removes a public tree, when possible, the tree will be replaced by the city on public land.
- (e) *Utilities.* Public utilities have the responsibility to maintain their overhead or underground pipes, conduit mains or lines in such a manner as to prevent any leakage therefrom. In the event of such a leakage, the public utility charged with maintaining the line as to prevent leakage shall be charged the cost of removal and replacement of any public or private trees which occur in order to repair the leak.
- (f) *Topping*. The topping of any public tree is prohibited without written authorization of the city manager or designee.
- (g) *Excavation*. No excavation or driveway may be placed within six feet of any public tree. These requirements shall be given to any person who applies for a permit to make such an excavation or build such a driveway.
- (h) *Impeding passage of water and nutrients*. No person shall place in any street right-of-way or any greenbelt any sand, stone, concrete, brick or material of any other kind which will in any way impede the full and free passage of air, water or fertilizer to the roots of any public tree.
- (i) Unlawful interference. No one shall interfere with persons acting under the direction of the city manager or designee who are engaged in planting, mulching, maintaining, pruning, or removing any public tree, shrub or planting in any street or public place in the city.

- (j) *Maintenance by owners*. All property owners shall maintain or treat such trees located upon their property so that the trees do not become a danger to the public or to adjacent property and so that the trees do not harbor dangerous or communicable pest infestations or tree diseases.
  - (1) Any privately-owned tree, shrub or plant overhanging a sidewalk of the city shall be trimmed so that there shall be a clear space of 12 feet above the surface of such sidewalk;
  - (2) No privately-owned tree, shrub or plant shall be allowed to encroach upon, under or over any sidewalk in a manner to interfere with the free passage of persons using such sidewalk;
  - (3) When the city manager or designee discovers that any privately-owned tree, shrub or plant is in violation of this section, they shall forthwith serve written notice upon the owner, their agent or the occupant of the subject private property. The notice shall describe the tree, shrub or plant, its location, the nature of the violation, and order the owner, agent, or occupant to trim, prune or remove the tree, shrub or plant. Any such notice shall be complied within 30 days after service of notice on the owner, agent or occupant of the subject private property, or within such additional time as the notice specifies; and,
  - (4) All privately owned dead, diseased or dangerous trees, or broken or decayed limbs that constitute a menace to the safety of the public shall be removed.
- (k) *Greenbelt*. On residential streets, the abutting owner or occupants shall maintain the greenbelt between the sidewalk and the street therein in conformity with this chapter. No person shall willfully injure or destroy any grass, flower or tree upon any such planting strip or throw papers, refuse, or any other thing thereon. No person shall drive an automobile, bicycle or any other vehicle upon or over any such planting strip.

# Sec. 130-42. Tree removal.

- (a) *Authorization*. No person may remove or cut down a public tree without written authorization from the city manager or designee. Any person who violates this subsection shall be required, in addition to any other penalties imposed by this article or any other law, to replace all public trees so removed or cut down at the violator's expense.
- (b) *City rights.* The city shall have the right to cause the removal of any private tree or any part thereof which meets the definition of the nuisance as set forth in section 78-1. In order to cause the removal of any such private tree, the city shall follow and fully comply with the procedures for abating such a nuisance as set forth in chapter 78.
- (c) *Hazardous, infectious and nuisance conditions.* It shall be unlawful for the person owning or occupying property to possess or keep on said property trees, plants, vines or parts thereof in a dead or dying condition that may be considered a hazardous condition or serve as breeding places for infectious diseases or pests that can become destructive within the city.

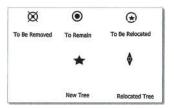
### Sec. 130-43. Management of extreme infectious tree diseases or destructive tree pests.

For trees listed on the city's tree schedule for management of extreme infectious diseases or destructive tree pests:

- (a) A person, firm or entity shall only prune or trim trees being managed for infectious disease when the tree is dormant, regardless of location. Exceptions include pruning from storm damage, construction, utility work or accidents;
- (b) When a tree is not dormant the property owner, developer and/or contractor shall repair or cause to be repaired any injured trees being managed for infectious diseases;
- (c) Property owners, developers and/or contractors shall, to the extent known to them, report to the department of public works any trees that exhibit symptoms of infectious disease or pest infestation and/or show signs of decline or death;
- (d) Private property owners, developers or contractors shall perform or cause to be performed upon trees confirmed to have an infectious disease or pest infestation one or several of the following practices:
  - (1) Trees not infected, but potentially root-grafted to a tree that was killed or diseased, should be treated by injection of an approved fungicide by a company licensed within the state and registered with the city;
  - (2) In lieu of or in addition to fungicide injections for disease management, infected trees may be treated by trenching, and if this options is elected, "MISS DIG" protocol must be followed;
  - (3) Dead trees that have an infectious disease shall be removed and properly disposed of; and,
  - (4) Stumps left by removal trees that had infectious disease shall be promptly removed.
- (e) Responsibility for infectious trees in this section will reside with the property owner(s). In right-of-way situations, the responsibility will reside with the road commission for the county or the city. In utility easements, the relevant utility company shall perform all pruning or trimming when the trees are dormant.
- (f) Trees of all species and varieties determined by the city manager or his designee to be hazardous, infectious or infested by pests, are hereby declared to be a public nuisance, and shall be removed within 30 days following notification to the property owner of the discovery of such infection. Any person given notice of the existence of such a tree may, within five days, appeal to the city manager or designee.
- (g) The city manager or designee shall have the authority to enter upon private premises, as permitted by state and federal law, for the purpose of examining any trees, shrubs, plants, or vines for the presence of destructive pest infestations or plant diseases. No damages shall be awarded for the destruction of any tree, shrub, or plant or fruit or injury to the same, if done by the city manager or designee in accordance with this chapter.

## Sec. 130-44. Construction provisions.

- (a) *Tree location survey.* Prior to development or construction that requires site plan review by the city or a demolition permit, a tree location survey and protection plan shall be submitted to the city for review and approval. All tree location survey and tree protection plans shall apply to public trees in the adjacent greenbelt and to all privately-owned trees that encroach onto a construction site. The plans shall meet the following requirements:
  - (1) Indicate the location of all trees located on property and within 25 feet of abutting property lines including the entire greenbelt. Identify the species, size and drip line area;
  - (2) Indicate the location of privately owned trees on adjacent property within 25 feet of the property line;
  - (3) Clearly denote trees proposed to be planted, removed or relocated with a unique symbol in the tree survey and protection plan. Any relocated tree shall identify the new location. Required symbols for denoting trees are:



- (4) If the tree(s) to be removed is not located within the proposed building footprint or within ten feet thereof, the reason for removal must be stated and approved by the city manager or designee.
- (5) Tree removal must be shown as necessary for the location of a building, structure, or site improvement and no reasonable or prudent alternative location exists.
- (6) Tree location survey and protection plans are to be approved by the city manager or designee.
- (b) *Tree protection plan: city and privately-owned trees.* The current tree protection standards established by the International Society of Arboriculture shall be used as a guideline. The tree protection plan shall identify at a minimum:
  - (1) An indication of the size and type of fencing to be used during construction for any public trees;
  - (2) Clearly describe how all remaining trees are to be protected during demolition and construction. Privately owned trees are limited to those that encroach within the open space of the construction site as required by the current set back regulations of the city, unless the developer or owner has been granted a variance by the board of zoning appeals. No protection is required for portions whose limbs or roots exceed the open space of the adjacent property where construction activities are proposed;
  - (3) Clearly describe how public trees are to be relocated on a permanent basis, including the proposed use of tree wells, protective barriers, tunneling or retaining walls;

- (4) Clearly describe how the mitigation of removed trees would be accomplished, including the proposed location and care of replacement trees; and,
- (5) Indicate how privately-owned trees on adjacent property within 25 feet of the property line will be protected during demolition and construction. Protection afforded privately owned trees is for the construction period only. All disputes regarding privately owned trees between property owners after the certificate of occupancy is issued shall be a civil matter between those private property owners and not subject to the regulations of this article.
- (6) Where tree relocation or replacement is not feasible on the property where the activity is to be conducted, the permit grantee shall pay into the city tree fund monies for tree replacement and a per tree amount representing the current market value for the tree replacement that would otherwise be required.
- (7) These trees which cannot be reasonably expected to survive shall be approved for removal. The trees removed pursuant to this section shall be considered in the calculation replacement trees as follows. Whenever an approved tree survey and protection plan use allows the removal of trees eight-inch d.b.h. or greater, such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be minimum two inches caliper or greater. Tree replacement shall be at the following ratio:

Removed Tree	Ratio
d.b.h.	Replacement for
(in inches)	Removed Trees
8 < 11	1
>11 < 20	2
> 20 < 29	3
> 30	4

- (8) All replacement trees shall satisfy American Nursery and Landscape Association standards, and be:
  - a. Nursery grown;
  - b. State department of agriculture inspected;
  - c. Tree spade transplanted while in the dormant state or, if not in the dormant state, having been balled and burlapped with a solid well-laced root ball when in the dormant state;
  - d. No. 1 grade, with a straight unscarred trunk and a well-developed uniform crown (park grade trees are unacceptable);
  - e. Staked, watered and mulched in accordance with standard planting practices and approved by the city manager or designee.
  - f. Guaranteed for one year, including labor to remove and dispose of dead material;

- g. Planted in accordance with the city tree planting detail and approved through inspection by the city.
- h. Trees must come from the approved list of city trees.
- (c) *Greenbelt requirement.* All new build properties that do not have an existing tree on the greenbelt, shall plant an approved tree or pay into the tree fund to have one planted during the city fall tree planting.
- (d) *Tree protection measures.* 
  - (1) Prior to development activities adjacent to publicly owned trees, the developer or contractor shall erect protective barriers as approved by the city manager or designee for the protection of those public trees. Protective barriers shall remain until all site activities have been completed. Protective barriers may not be relocated or removed without prior approval of the city manager or designee. Protective barriers shall be freestanding and in no way adhered to or attached to the city-owned tree. Protective barriers shall be visible and strong enough to withstand pressure from anything piled against it.
  - (2) The following activities are prohibited in regard to activity within the root protection zone of public trees; changing grade, stripping topsoil, dumping or placing of solvents, building materials, construction equipment or soil deposits. Additional pruning of any portions of public trees required for clearance during construction must be performed by a certified arborist and requires prior approval from the city manager or designee.
  - (3) If a city-owned tree is damaged during construction, it shall be reported immediately by the developer or property owner and evaluated by the city manager or designee for recommended treatments to be applied. Any roots damaged during grading or development shall be exposed to sound tissue and cut cleanly with a saw. If temporary haul or access roads are required over root areas of public trees, a roadbed of six inches of mulch shall be created to protect the roots. Maintenance of the six-inch depth is required during the time needed for such use.
  - (4) When protective barriers may be ineffectual in protecting roots in the root protection zone, the developer or contractor shall provide temporary buffers to prevent root damage as approved by the city manager or designee. The developer or contractor shall maintain a 4—6" thickness for coverage by material for protecting roots until final grading has been completed.
  - (5) Building material or other debris must be at least six feet from public trees and must not be placed in public right-of-way.

# Secs. 130-45—130-75. Reserved.

# ARTICLE III. NOXIOUS WEEDS<sup>1</sup>

<sup>&</sup>lt;sup>1</sup> Cross reference(s)—Nuisances, ch. 78; noxious weeds at intersections, § 106-110.

State law reference(s)—Depositing of noxious weeds on highways prohibited, MCL 247.51.

### Sec. 130-76. Exemptions.

Exempted from the provisions of this article are flower gardens, plots of shrubbery, vegetable gardens and small grain plots, except that under no circumstances are invasive species as defined in Section 130-90 allowed. An exemption under the terms of this section cannot be claimed unless the land has been cultivated and cared for in a manner appropriate to such exempt categories.

### Sec. 130-77. Cutting required.

No person occupying any premises and no person owning any unoccupied premises shall permit or maintain on any such premises any growth of weeds, grass or other rank vegetation to a greater height than eight inches, or any accumulation of dead weeds, grass or brush. No such occupant or owner shall cause, suffer or allow poison ivy, ragweed, poisonous plants, or plants detrimental to health, to grow on any premises in such manner that any part of such ivy, ragweed, poisonous or harmful weed shall extend upon, overhang or border any public place, or allow seed, pollen or other poisonous particles or emanations therefrom to be carried through the air into any public place.

### Sec. 130-78. Duty of occupant or owner.

It shall be the duty of the occupant of every premises and the owner of unoccupied premises within the city to cut and remove or destroy by lawful means, all such weeds, grass or rank, poisonous or harmful vegetation, except compost, which shall be maintained by proper composting procedures, as often as may be necessary to comply with the provisions of section 130-77; provided, however, that the cutting, removing or destroying of such weeds, grass and vegetation between April 15 and November 15 of each year, shall be deemed to be in compliance with the requirements of this article. Sec. 130-79. Abatement by city.

Notice of violation of sections 130-77 or 130-78 shall be given by delivering the notice personally to the owner of the property, by leaving notification at his residence, office or place of business or by mailing notice to such owner at his last known address; or in the alternative, if the owner is unknown, by posting the notice in a conspicuous place on the premises for five days. One notification for failure to comply with the provisions of either sections 130-77 and 130-78 shall be given for the growing season between April 15 and November 16 of each year.

Upon notification, the occupant or owner of unoccupied premises shall cause the weeds, grass and other vegetation to be removed or destroyed within five days and continue to maintain such vegetation at a height of no greater than eight inches. Failure to cure a violation of section 130-77 or 130-78 in a timely manner will cause the city to abate the violation(s). The actual cost of such cutting, removal or destruction, plus 20 percent for inspection, enforcement and administrative costs in connection therewith, shall be collected as a special assessment against the property as provided in Chapter102.

### Sec. 130-80. Violations.

A person who violates any section of this article shall be responsible for a municipal civil infraction.

**SECTION 2**: Article IV, of Chapter 130 of the Berkley Code of Ordinances, shall be added as follows:

# ARTICLE IV. INVASIVE SPECIES

# Sec. 130-90. Definitions.

*Control:* When it is impossible or impractical to remove or destroy an invasive species, *control* is the use of any lawful technique to eliminate or reduce to the maximum extent possible the potential for the invasive species to be spread.

*Invasive species*: Any vegetative species on the Oakland County Cooperative Invasive Species Management Area ("OC CISMA") lists of Priority Species and Early Detection Species.

## Sec. 130-91. Purpose.

The purpose of this article is to provide procedures to address invasive species on properties within the City. The spread of invasive species can drive out native plant species, destroy wildlife habitat, and negatively impact property values. Invasive species are not halted by traditional legal boundaries between parcels, and if left unchecked, invasive species infestations can become very large and dense, creating a fire hazard and reducing visual quality for the community. Preventing the spread of invasive species is in the interest of health, safety, and welfare of the residents and property owners in the City.

## Sec. 130-92. Invasive Species Prohibited.

It is the duty of every property owner within the city to remove, destroy, or control by lawful means any invasive species found on their property.

# Sec. 130-93. - Abatement by city

- (a) *Administration:* Notice of violation of section 130-92 shall be given by delivering the notice personally to the owner of the property, by leaving notification at their residence, office or place of business or by mailing notice to such owner at his last known address; or in the alternative, if the owner is unknown, by posting the notice in a conspicuous place on the premises for five days.
- (b) *Contents of Notice*: The notice must include, but is not limited to, the following:
  - (1) Information regarding the methods of treatment for the specific invasive species as outlined by Oakland County Cooperative Invasive Species Management Area ("OC CISMA"); and
  - (2) A deadline for a property owner to remove, destroy or control the invasive species, where the deadline may be different for different types of invasive species due to different optimal times for treatment and control.
- (c) Upon notification of a violation of section 130-92, the property owner must remove, destroy, or control the invasive species by the deadline provided in the notice. The city may abate any violation of section 130-92 if the violation is not cured by the deadline provided in the notice.

The actual cost of such removal, destruction, or control, plus 20 percent for inspection, enforcement and administrative costs in connection therewith, may be collected as a special assessment against the property as provided in Chapter 102

(d) *Exceptions*. The city manager or designee may grant an exception from the requirements of this article when undue hardship will result from strict compliance. In granting an exception, the city may attach whatever conditions they deem necessary to further protection from invasive species. Those seeking an exception must apply for an exception as prescribed by the city manager or designee, pay fees established in the schedule of fees, charges, bonds and insurance, and provide such additional information as may be required by the city manager or designee.

# **<u>SECTION 3:</u>** Severability Clause

Should any word, phrase, sentence, paragraph, or section of this Ordinance be held invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

# **SECTION 4:** Penalty

All violations of this ordinance shall be misdemeanors and upon conviction thereof shall be punishable by a sentence of not more than 90 days of confinement to jail or by a fine of not more than \$500, or both, in the Court's discretion.

# **<u>SECTION 5</u>**: Effective Date

This Ordinance shall become effective 30 days following the date of adoption.

# **<u>SECTION 6</u>**: Publication

The City Council directs the City Clerk to publish a summary of this ordinance in compliance with Public Act 182 of 1991, as amended, and Section 6.5 of the Berkley City Charter.

Introduced on the First Reading at the Regular City Council Meeting on Monday, June 20, 2022.

Dan Terbrack Mayor

Attest:

Victoria Mitchell, City Clerk

June 20, 2022 City Council Meeting

Moved by Councilmember\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_to adopt a memo of understanding with Oakland County Cooperative Invasive Species Management Area (CISMA).

Ayes:

Nays:

Motion:



June 6, 2022

Matt Baumgarten, City Manager City of Berkley 3338 Coolidge Hwy. Berkley, MI 49072

Dear Mr. Baumgarten,

I was recently delighted to learn that the nearby community, City of Berkley, may be considering joining the Oakland County Cooperative Invasive Species Management Area (OC CISMA)!

Since the Village of Beverly Hills joined the OC CISMA in 2019, we have had nothing but positive experiences. The OC CISMA has provided us with access to expertise in invasive species control, mapping, surveying/monitoring of emerging invasives, public education/outreach, and information specific to invasive species in our area.

As you may be aware, the Village of Beverly Hills has been undergoing an extensive Buckthorn eradication project at two of our parks – Beverly Park and Riverside Park. Through a grant funding opportunity provided by the OC CISMA and Oakland County Parks, Beverly Hills was awarded \$15,000.00 last year to help remove and control woody invasives at our parks. Additionally, through our partnership with the OC CISMA, Riverside Park was selected as a treatment site for Bohemian Knotweed at no cost to the Village. The OC CISMA also provides matching funds for Phragmites treatment in our public right of way. These opportunities would not be possible without our membership in the OC CISMA.

I strongly encourage the City of Berkley to join the 40+ municipalities, non-profits, and County organizations that currently make up the OC CISMA to help control invasive species in our community and promote a healthy ecosystem.

If you have any questions or concerns, please feel free to reach out to me at the number listed below.

Sincerely,

Kristin Rutkowski Assistant Manager/Village Clerk Village of Beverly Hills

Member-at-Large OC CISMA Executive Committee June 20, 2022 City Council Meeting

Moved by Councilmember \_\_\_\_\_\_\_ and seconded by Councilmember \_\_\_\_\_\_\_ to authorize the City Manager to sign the Application for Additional Service Credit Purchase for Michael Hunyor approving the purchase of two years of Generic additional service credit. This purchase is allowed by the MAPE Contract Agreement dated 7/1/2021 through 6/30/2024 and the MERS Plan Document for active members. The total cost calculated by MERS included in the Application for Additional Service Credit is \$21,733 and the City of Berkley's share of that cost is \$17,269.

Ayes:

Nays:

Motion:

# City of Berkley-Finance Department

# Memorandum

To: Matt Baumgarten, City Manager

From: Mark Pollock, Finance Director

Date: June 13, 2022

Subject: Application for Additional Service Purchase Credit

Attached is the MERS estimate for additional purchase of service time for Michael Hunyor. The current estimate from MERS is \$21,733, of which the employee will pay \$4,464 and the City would pay the balance of \$17,269. Since Mike is relatively close to his retirement date, the cost to him is significantly lower than the current cost to the City. The approximated present value cost still anticipates that the City would pay more to MERS over two years of him continuing to work than this lump sum plus the anticipated interest earnings on this amount would at the time of his retirement. This is because the calculation utilizes a formula that approximates the net present value of the service cost which is lower than the future cost over time.

This purchase is allowed under the MAPE Agreement and the MERS Plan Document. Feel free to call or e-mail me if you have any questions.

June 20, 2022 City Council Meeting

Moved by Councilmember\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_to authorize the City Treasurer to place Special Assessment items onto the 2022 Summer Tax Roll by parcel ID number, including unpaid invoices, unpaid sidewalk assessment balances from 2020, and delinquent water amounts; and to add a \$20 administrative fee to those bills as allowed by City Charter.

Ayes:

Nays:

Motion:

# City of Berkley Finance Department

To: Matt Baumgarten, City Manager

From: Mark Pollock, Finance Director

Subject: Special Assessments for Summer 2022 Tax Roll

Date: June 13, 2022

Attached is a summary of the delinquent water rollover and the sidewalk and grass cutting invoices that are still due. Bryan, Janis, and I all agreed to roll water delinquencies that had a delinquent balance over \$300 and that had no payments made for 6 months or longer. That resulted in a delinquent water roll of \$534,967.80 as of June 1, 2022. The summary sheet shows a breakdown by section totals.

The second list is for unpaid weed cutting invoices. Those total \$345.80.

The third list is a list of remaining balances from the first year of sidewalk repairs. As we agreed, the residents and businesses have been allowed up to two years to complete their sidewalk payment cycle. This will complete the payments for the first year of sidewalk repairs. We will continue to assess on the summer and winter taxes allowing up to two years to pay the balance in full for those who wish to do so. That list is included on the attached sheets and totals \$13,911.29.

The total amounts from the attached lists will be added to the summer tax roll by parcel ID number with a \$20.00 administrative fee added to the total as allowed by Berkley City Charter

I am recommending that Council approve all of the attached special assessments and that they be rolled onto the 2022 summer taxes as presented.

combined totals	2022				
sec 1 & 4	208,545.12	3,200.00	211,745.12	DELQ COMBINED	534,967.80
04-25-17-302-030	600.59	20.00	620.59	PLUS PENALTY	9,080.00
04-25-07-381-038	1,290.74	20.00	1,310.74	TOTAL ROLL	544,047.80
<mark>04-25-07-381-038</mark>	1,025.94	20.00	1,045.94	TOTAL ROLL	550,179.37 original
total	205,627.85	3,140.00	208,767.85		
sec 2	145,901.30	2,900.00	148,801.30		
total	145,901.30	2,900.00	148,801.30		
sec 3	186,552.95	3,080.00	189,632.95		
04-25-07-385-018	1,495.68	20.00	1,515.68		
04-25-18-176-006	1618.62	20.00	1,638.62		
total	183 <i>,</i> 438.65	3,040.00	186,478.65		

PARCEL ID	PROPERTY	AMOUNT	
NUMBER	ADDRESS		
25-18-307-014	2044 THOMAS AVE	546.44	SIDEWALK ASSESSMENT
25-18-307-016	2012 THOMAS AVE	556.44	SIDEWALK ASSESSMENT
25-18-308-016	2012 CUMMINGS AVE	728.94	SIDEWALK ASSESSMENT
25-18-327-023	2445 OAKSHIRE AVE	343.94	SIDEWALK ASSESSMENT
25-18-328-006	3511 CATALPA DR	428.94	SIDEWALK ASSESSMENT
25-18-332-007	2160 ROYAL AVE	581.44	SIDEWALK ASSESSMENT
25-18-332-015	2028 ROYAL AVE	131.44	SIDEWALK ASSESSMENT
25-18-351-021	1881 ELLWOOD AVE	396.44	SIDEWALK ASSESSMENT
25-18-352-001	1992 ELLWOOD AVE	1,293.94	SIDEWALK ASSESSMENT
25-18-352-016	1975 THOMAS AVE	543.94	SIDEWALK ASSESSMENT
25-18-354-010	1828 CUMMINGS AVE	168.94	SIDEWALK ASSESSMENT
25-18-354-015	1991 BACON AVE	543.94	SIDEWALK ASSESSMENT
25-18-379-004	1944 ROYAL AVE	478.94	SIDEWALK ASSESSMENT
25-18-402-024	2194 GARDNER AVE	168.94	SIDEWALK ASSESSMENT
25-18-402-046	2071 ROBINA AVE	288.94	SIDEWALK ASSESSMENT
25-18-427-035	2485 COOLIDGE HWY	1,736.44	SIDEWALK ASSESSMENT
25-18-429-042	2375 COOLIDGE HWY	1,124.94	SIDEWALK ASSESSMENT
25-18-454-011	1830 GRIFFITH AVE	668.94	SIDEWALK ASSESSMENT
25-18-454-024	3080 ELEVEN MILE	2,153.99	SIDEWALK ASSESSMENT
25-18-477-026	2660 COLUMBIA AVE	731.44	SIDEWALK ASSESSMENT
25-18-478-016	1877 KIPLING AVE	293.94	SIDEWALK ASSESSMENT
		13,911.29	

I	PARCEL ID	PROPERTY	INVOICE	INVOICE	SERVICE	INVOICE	DESCRIPTION
I	NUMBER	ADDRESS	NUMBER	AMOUNT	DATE	DATE	ON INVOICE
	25-18-104-018	3238 CUMMINGS AVE	22896	57.60	6/23/2021	8/31/2021	WEED CUTTING
	25-18-105-008	3084 GREENFIELD RD	22897	57.50	7/2/2021	8/31/2021	WEED CUTTING
	25-18-105-008	3084 GREENFIELD RD	23045	115.20	9/2/2021	10/13/2021	WEED CUTTING
	25-18-330-029	3701 OXFORD RD	22898	38.40	6/10/2021	8/31/2021	WEED CUTTING
	25-18-330-030	2279 PHILLIPS	22898	38.40	6/10/2021	8/31/2021	WEED CUTTING
	25-18-330-031	VACANT OXFORD	22898	38.70	6/10/2021	8/31/2021	WEED CUTTING
				345.80			

### RESOLUTION

## Of the Council of the City of Berkley, Michigan Establishing the Policy and Guidelines for Granting an Exemption from Payment of Property Taxes

**WHEREAS:** Public Act 390 of 1994, as requires that the governing body of each city and township determine and make available to the public the policy and guidelines the Board of Review utilizes in granting reductions in property assessments due to limited income and assets, referred to as "Poverty Exemptions."

**WHEREAS:** Public Act 253 of 2020 amended MCL 211.7u related to Poverty Exemptions in the State of Michigan was adopted into law on December 23, 2020.

WHEREAS: It is the intent of the City Council to adopt guidelines in compliance with both of the acts.

### NOW THEREFORE, THE BERKLEY CITY COUNCIL RESOLVES:

**SECTION 1:** To be eligible for a poverty exemption, a person shall do all of the following on an annual basis:

- 1. Be an owner of, and occupy as a principal residence, the property for which an exemption is requested.
- The subject property must be classified as a single-family residential parcel or residential condominium property with a valid homeowner's Principal Residence Exemption (PRE) currently in effect.
- 3. File a completed application with the Board of Review on a form provided by the city. Such form must be notarized, and all supporting documentation must be included.
- 4. Submit the most recent year's copies of the following:
  - a. Federal and State of Michigan Income Tax Returns for all individuals residing in the homestead.
  - b. Most recent Homestead Property Tax Form MI-1040CR-1 (attached to the most current State Income Tax Return).
  - c. Statement from Social Security Administration and/or the Michigan Social Services as to monies paid to applicant(s) during the previous calendar year along with a current Form 4988 Poverty Exemption Affidavit if this is the sole source of income.
- 5. Produce a copy of the applicant's valid driver's license or other form of identification such as a passport or State Identification Card.
- 6. Produce a copy of the deed, land contract or other evidence of parcel ownership of all real property owned by the applicant if requested by the Board of Review.

**SECTION 2:** The Board of Review can request any other additional information including additional tax returns, financial statements, land contracts, personal or family trust documents, vehicle titles and any other record or affidavits that the Board may deem necessary in order to make a poverty exemption determination, asset limit determination or income level determination.

**SECTION 3:** Poverty exemption applications must be filed after January 1<sup>st</sup>, but before the day prior to the last day of the Board of Review<del>.</del>

**SECTION 4:** The Board of Review shall follow the policy and guidelines set forth above when granting or denying poverty exemptions requests. The same standards shall apply to each taxpayer within the city claiming the poverty exemption for the assessment year.

**SECTION 5:** If all items requested are received, reviewed, and approved by the Board of Review and a determination is made that the poverty exemption application meets the established guidelines for household income level and household assets will result in a partial exemption for all approved applicants of 50% of taxable value.

**SECTION 6:** The applicant's total household income cannot exceed the most current Federal Poverty Guidelines from the prior tax year, set forth by the U.S. Department of Health and Human Services as established by the State Tax Commission-to be updated annually.

**SECTION 7:** A poverty exemption shall not be granted to any applicant whose assets exceed \$35,000. An applicant's homestead and principal vehicle shall be excluded from consideration as an asset. All other property, including property owned by all other persons residing in the household, shall be included as an asset. Property shall include, but is not limited to: cash, savings, stocks, mutual funds, insurance commodities, coin collections, art, motor vehicles, recreation vehicles, etc.

**SECTION 8:** Any reduction in the State Equalized Value of a property is granted for one year only and must be applied for and reviewed annually based on the applicant's current situation.

**SECTION 9**: All Notices of Assessment Change and all advertisements of the Board of Review meetings are to include a statement that the resident taxpayer may protest the property assessment, in writing, to the Board of Review.

**SECTION 10:** To conform to the provisions of PA 253 of 2020, this resolution is hereby given immediate effect and will stay in effect for subsequent years until amended or voided.

Introduced and Passed at a regular meeting of the Berkley City Council on June 20, 2022.

Daniel J. Terbrack, Mayor

Attest:

Victoria Mitchell, City Clerk

# City of Berkley Finance Department

To: Matt Baumgarten, City Manager

From: Mark Pollock, Finance Director

Subject: Poverty Exemptions

Date: June 14, 2022

I have attached the updated Resolution for Council consideration and approval for the amended Poverty Exemptions. After an audit of the approved resolution from March 2021, a paragraph regarding property ownership had to be removed from the Resolution to meet the new standards.

I have attached the edited email draft from Sarah Beathard, our Real Property Assessor from OCE to explain the need for this change.

We are recommending this change and Council approval of this updated Resolution.



#### Mark Pollock <mpollock@berkleymich.net>

# Poverty Resolution Changes from AMAR

4 messages

#### Beathard, Sarah <beathards@oakgov.com>

Tue, Jun 14, 2022 at 10:34 AM

To: Bryan Bemis <bbemis@berkleymich.net>, Mark Pollock <mpollock@berkleymich.net>, Victoria Mitchell <vmitchell@berkleymich.net>, Matthew Baumgarten <mbaumgarten@berkleymich.net> Cc: "Paris, Bryan Joseph" <parisb@oakgov.com>

Good morning,

On June 8, 2022, an auditor reviewed the Assessment Rolls for the City of Berkley and found that the Poverty Exemption Resolution & Application failed the audit due to non-permissible items found in both. The failed poverty exemption review also prevents the Board of Review from hearing poverties until the corrections are made. The next scheduled meeting of the Board of Review is July 19, 2022, and applications cannot be heard until the resolutions and applications are corrected.

We are asking that the city council make the required revisions and submit the revised, signed resolution to OCED before July 15th.

I have attached the poverty resolution that need updates per our recent AMAR. The highlighted items were flagged by the auditor with a request for removal. Once the resolution is updated, we will make the corrections to the application and send them to you for posting to the website.

The following changes need to be made:

Remove the following paragraph from page 2 of the resolution.

#### SECTION 9: A poverty exemption shall not be granted to any applicant who owns real property, whether singly or jointly, regardless of location, other than his or her homestead.

The reason we need to remove this verbiage is because property other than the principal residence should be considered an asset and included in the asset test. If an applicant met the income criteria but owned other property, and that property was valued high enough to put the applicants' assets in excess of the asset test value, then it would fail the asset test-and the poverty exemption would not be granted.

If you have any questions please feel free to reach out.

Thank you,

https://mail.google.com/mail/u/0/?ik=3551059b9c&view=pt&search=all&permthId=thread-f%3A1735621100829296130&sImpl=msg-f%3A17356211008... 1/3

#### Sarah Beathard

### **Equalization Appraiser II Certified**

Oakland County Equalization Division

Department of Management and Budget

Oakland County, Michigan

All ways, moving forward

Phone: (248) 858-0980

Mobile: (248) 836-8372

Email: beathards@oakgov.com

Oakland Pointe Office Building

250 Elizabeth Lake Road, Suite 1000W Pontiac, MI 48341

### www.OakGov.com/Equal

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June 20, 2022 City Council Meeting

Moved by Councilmember\_\_\_\_\_and seconded by Councilmember \_\_\_\_\_\_to authorize the amendment of the 2021-2022 Budget as presented.

Ayes:

Nays:

Motion:

# City of Berkley Finance Department

To: Matt Baumgarten, City Manager

From: Mark Pollock, Finance Director

Subject: Budget Amendments

Date: June 10, 2022

Attached are the proposed Budget Amendments for the fiscal year ending 6/30/2022 for City Council approval. This final round of budget amendments are adjustments to line items that have exceeded or will exceed their original budgeted amounts, or adjusting those that we will rollover to next budget year. There are also many revenue line items that are requested to be amended either up or down.

I am requesting approval of budget amendments for the following funds: General Fund, Major and Local Street Funds, Solid Waste and Refuse Fund, Water and Sewer Fund, and Recreation Revolving Fund.

As we discussed in the 2022-2023 budget work sessions, our focus for the General Fund reserve balance will be to maintain the balance above the policy minimum of 25%. These proposed amendments will increase our proposed budgeted revenues by \$425,780 and decrease our budgeted expenditures by \$530,068. The net impact will reduce the budgeted deficit for the fiscal year end of 6/30/2022 by the combined total of \$955,848. This would drop the budgeted deficit down to \$581,370 and leave the 6/30/2022 fund balance at \$4,522,306. We will add some of the capital items back to the 2022-2023 budget with the August/September budget amendments while making sure we maintain a fund balance reserve above 25%. To summarize the General Fund budget amendments, many revenue amendments are due to an increase in building trade permits. We also reduced budgeted cable franchise fees since many households are moving away from cable television and toward streaming services. The expected transfer from the Court Building Fund has been reduced since many items for the City Hall improvements are delayed until next fiscal year. On the expenditure side, many proposed amendments are due to personnel adjustments and the largest amendment coming from the building improvements being delayed as I mentioned earlier. We will end the fiscal year well above the 25% fund balance policy minimum.

In the Major and Local Streets Funds we are recommending amendments to the accounts listed on the page with funds 202 and 203 listed. We are getting a bit more than originally budgeted in ACT 51 state shared revenues in each fund. We have a few amendments in the personnel and project side of each fund, but the net impact of these budget amendments is net increase in surplus of \$14,303.

In the Solid Waste Fund there are a few amendments proposed due to increased billing for special trash and adjustments to personnel billed to that fund at contract settlement. The net impact of the budget amendments would be an increase in surplus of \$3,697.

In the Water & Sewer Fund I am proposing amendments to items that will carry forward into the 2022-2023 budget year, or will be completed on a smaller scale. I am also amending the personnel line for laborers after settlement of the contract and assigning costs to personnel in the DPW. I am also removing Debt Principle as an expense as we discussed during the budget workshops since it is not really an expense. Payment of debt principle for the GWK drain bonds is a reduction in long-term debt and only the interest payment is an expense. The net impact of the proposed amendments is a reduction of the budgeted deficit of \$753,536. Our working capital will remain well above the target rate of over \$3 million after these amendments.

For the Recreation Revolving Fund and the Senior Program Services I am recommending budget amendments for several of the revenue line items for programs that picked up after the COVID shutdowns and a few expenditure adjustments as a result of those increased programs. I am also amending the line item for the Jaycee Park fundraiser, which will be matched with a MEDC grant and will make for a bigger park plan for the all-inclusive playscape. The net impact of these budget amendments for Recreation and Seniors is a reduction in the budgeted deficit of \$54,322. With very little fund balance in the Recreation Revolving Fund this will just reduce the amount we will need to transfer from the General Fund to keep the ending fund balance as a positive amount.

I will make sure that the Sidewalk Fund ends the year with a positive fund balance which may require a year-end transfer which I will make sure Council is aware of the amount. None of the other funds require budget amendments at this time.

I am recommending that Council approve all of the budget amendments as presented as of 6/30/2022.

Post Date: 06/21/2022

Entry Date: 06/08/2022 Description: BUDGET AMENDMENTS GEN FUND FYE 6/30/2022

### Entered By: mpollock Journal: BA

GL #	Description	Increase/(Decrease)
101-001-447-000	TAX ADMINISTRATION FEE	11,000.00
101-001-476-000	VACANT PROPERTY INSPECTIONS	1,500.00
101-001-477-000	LANDLORD LICENSES	5,000.00
101-001-478-000	BUILDING PERMITS	65,000.00
101-001-479-000	ELECTRICAL PERMITS	27,000.00
101-001-480-000	HEATING PERMITS	(4,000.00)
101-001-482-000	BUSINESS LICENSE INSPECTION	(20,000.00)
101-001-501-000	FEDERAL SOURCES/GRANTS	3,700.00
101-001-539-000	STATE GRANTS	13,150.00
101-001-539-003	FEDERAL GRANT - VESTS	1,000.00
101-001-573-000	LOCAL COMMUNITY STABILIZATION SHARE-PPT	(6,000.00)
101-001-574-000	STATE CONSTITUTIONAL SALES TAX	194,500.00
101-001-574-001	STATE STATUTORY SALES TAX	18,130.00
101-001-617-000	PLANNING/ENG REVIEWS	(5,000.00)
101-001-628-000	ACCIDENT REPORT FEE	1,400.00
101-001-628-002	AUDIO OR VIDEO DUPLICATION FEES	1,300.00
101-001-630-000	LIBRARY SERVICES	(2,000.00)
101-001-633-000	ACCESS OAKLAND	700.00
101-001-651-000	CABLE FRANCHISE FEES	(50,000.00)
101-001-657-000	OVERDUE LIBRARY BOOKS	(3,700.00)
101-001-664-000	INVESTMENT EARNINGS	(19,000.00)
101-001-667-100	ANTENNA CO-LOCATION RECEIPTS	16,500.00
101-001-670-080	INSURANCE DIVIDEND	15,600.00
101-001-671-000	SUNDRY REVENUE	. (10,000.00)
	PUBLIC SAFETY SUNDRY REVENUE	2,000.00
101-001-673-000 101-001-675-102	SALE OF FIXED ASSETS	44,000.00
101-001-675-738	K9 PROGRAM DONATIONS	(4,200.00)
101-001-675-739	LIBRARY CONTRIBUTIONS	2,300.00
101-001-675-740	LIBRARY BOOK CONTRIBUTIONS LIBRARY CAPITAL CONTRIBUTIONS	2,000.00
101-001-699-266	TRANSFER IN FROM COURT FUND	(2,600.00)
101-172-707-000	PART TIME EMPLOYEES	(290,000.00)
101-172-709-000	OVERTIME	(6,600.00)
101-191-704-000	FULL TIME EMPLOYEES	500.00
101-191-707-000	PART TIME EMPLOYEES	3,368.00
101-191-709-000	OVERTIME	(1,976.00) 1,170.00
101-191-715-000	FICA	213.00
101-191-730-000	POSTAGE-PRINTING-MAILING	2,000.00
101-191-960-000	PROFESSIONAL DEVELOPMENT	(1,860.00)
101-201-704-000	FULL TIME EMPLOYEES	1,066.00
101-201-715-000	FICA	169.00
101-201-729-000	STATIONARY	550.00
101-201-960-000	PROFESSIONAL DEVELOPMENT	(2,000.00)
101-210-824-000	LEGAL SERVICES - LABOR	(3,000.00)
101-265-811-000	CUSTODIAL SERVICES	2,000.00
101-265-818-000	CONTRACTUAL SERVICES	(10,000.00)
101-265-821-030	PLANNING/WAYFINDING	(35,000.00)
101-265-915-000	LIABILITY INSURANCE CLAIMS/NET LOSS	15,000.00
101-265-976-000	BUILDING IMPROVEMENTS	(226,000.00)
101-284-996-000	BERKLEY BUZZ	3,000.00
101-302-704-000	FULL TIME EMPLOYEES	2,119.00
101-302-707-000	PART TIME EMPLOYEES	(2,000.00)
101-302-934-000	OFFICE EQUIPMENT MAINTENANCE	400.00
101-302-960-000	PROFESSIONAL DEVELOPMENT	(1,000.00)
101-306-707-000	PART TIME EMPLOYEES	(10,000.00)
101-306-960-000	PROFESSIONAL DEVELOPMENT	(1,000.00)
101-307-707-000	PART TIME EMPLOYEES	(2,500.00)
101-307-744-000	UNIFORMS-CLEANING & PURCHASES	500.00
101-307-751-000	FUEL & OIL	500.00
101-307-818-000	CONTRACTUAL SERVICES	(500.00)
101-307-960-000	PROFESSIONAL DEVELOPMENT	(500.00)
101-310-709-000	OVERTIME	25,000.00
101-310-709-003	DREAM CRUISE	(3,000.00)
101-310-715-000	FICA	679.00
101-310-725-000	WORKERS COMPENSATION	7,950.00

101-310-728-000	SUPPLIES	1,000.00
101-310-742-000	BIKE PATROL EXPENSE	(1,000.00)
101-310-744-000	UNIFORMS-CLEANING & PURCHASES	3,000.00
101-310-751-000	FUEL & OIL	12,000.00
101-310-753-000	PRISONER BOARD	(1,500.00)
101-310-758-202	K9 PROGRAM EXPENSES	(5,000.00)
101-310-776-000	MAINTENANCE SUPPLIES	(1,000.00)
101-310-818-000	CONTRACTUAL SERVICES	(1,600.00)
101-310-818-012	BLOOD DRAWS	4,500.00
101-310-835-000	PUBLIC SAFETY MEDICAL EXPENSES	1,200.00
101-310-931-000	BUILDING MAINTENANCE	(12,400.00)
101-310-933-000	EQUIPMENT MAINTENANCE	(2,300.00)
101-310-939-002	VEHICLE MAINTENANCE - DPW	10,000.00
101-310-960-001	REIMBURSABLE PROF DEVELOPMENT	(50,000.00)
101-310-976-000	BUILDING IMPROVEMENTS	(65,000.00)
101-371-704-000	FULL TIME EMPLOYEES	(27,582.00)
101-371-709-000	OVERTIME	2,500.00
101-371-715-000	FICA	(450.00)
101-371-758-000	PROGRAM SUPPLIES	(500.00)
101-371-822-002	HOUSE INSPECTIONS-RENTALS	(7,500.00)
101-371-822-006	BUSINESS LICENSE INSPECTION-ALL	1,500.00
101-371-822-008	VACANT HOUSING INSPECTION	(350.00)
101-371-960-000	PROFESSIONAL DEVELOPMENT	(500.00)
101-441-704-000	FULL TIME EMPLOYEES	10,558.00
101-441-707-000	PART TIME EMPLOYEES	(7,150.00)
101-441-728-000	OFFICE SUPPLIES	(250.00)
101-441-751-000	FUEL & OIL	16,650.00
101-441-776-000	MAINTENANCE SUPPLIES	500.00
101-441-787-000	TOOLS	(350.00)
101-441-818-000	CONTRACTUAL SERVICES	(5,400.00)
101-441-920-000	UTILITIES	1,850.00
101-441-93 <b>1-</b> 000	BUILDING MAINTENANCE	8,880.00
101-441-946-000	OFFICE EQUIPMENT RENTAL	80.00
101-441-960-000	PROFESSIONAL DEVELOPMENT	(800.00)
101-442-781-000	VEHICLE SUPPLIES	35,000.00
101-442-939-000	VEHICLE MAINTENANCE	(26,000.00)
101-738-704-000	FULL TIME EMPLOYEES	(28,130.00)
101-738-707-000	PART TIME EMPLOYEES	21,728.00
101-738-811-000	CUSTODIAL SERVICES	2,500.00
101-738-931-000	BUILDING MAINTENANCE	4,000.00
101-738-976-000	BUILDING IMPROVEMENTS	(17,000.00)
101-755-803-000	MEMBERSHIPS	1,100.00
101-755-818-000	CONTRACTUAL SERVICES	(2,600.00)
101-952-716-000	DENTAL/VISION/LIFE-LTD/RHCS	29,000.00
101-952-716-500	HEALTH CARE COSTS - BC/BS	(30,000.00)
101-954-716-000	DENTAL/VISION/LIFE-LTD/RHCS	7,000.00
101-954-716-500	HEALTH CARE COSTS - BC/BS	(20,000.00)
101-954-716-600	HEALTH CARE-BC/BS RETIREE-MED ADVANTAGE	(10,000.00)
101-954-716-718	HEALTH BENEFITS-MERS RHFV RETIREES	(100,000.00)
101-954-718-100	MERS-SERVICE CREDIT PURCHASE	5,000.00
101-955-716-000	DENTAL/VISION/LIFE-LTD/RHCS	(9,500.00)
101-955-716-500	HEALTH CARE COSTS - BC/BS	(5,000.00)
101-955-716-718	HEALTH BENEFITS-MERS RHFV RETIREES	(30,000.00)
	Revenue Change:	425,780.00
	Expenditure Change:	(530,068.00)
	Budgeted Change To Fund Balance:	955,848.00

APPROVED BY: \_\_\_\_\_

Post Date: 06/21/2022

Entry Date: 06/08/2022 Description: BUDGET AMEND MAJ/LOC ST FYE 6/30/2022

### Entered By: mpollock Journal: BA

GL #	Description	Increase/(Decrease)
202-001-546-000	ACT 51 STATE REVENUE	41,800.00
202-001-548-000	METRO ACT	10,000.00
202-001-642-000	SALT	17,725.00
202-464-706-000	LABORERS	14,754.00
202-464-715-000	FICA	210.00
202-464-725-000	WORKERS COMPENSATION	3,970.00
202-464-758-000	PROGRAM SUPPLIES	500.00
202-464-782-000	ROAD SUPPLIES	(5,000.00)
202-464-914-001	LIABILITY INSURANCE-STORAGE TANK	4,800.00
202-468-758-000	PROGRAM SUPPLIES	2,000.00
202-468-818-000	CONTRACTUAL SERVICES	30,390.00
202-475-758-000	PROGRAM SUPPLIES	500.00
202-478-758-000	PROGRAM SUPPLIES	4,540.00
202-478-940-000	EQUIPMENT RENTAL	6,300.00
202-952-716-000	DENTAL/VISION/LIFE-LTD/RHCS	1,200.00
202-952-716-500	HEALTH CARE COSTS - BC/BS	(4,000.00)
203-001-546-000	ACT 51 STATE REVENUE	16,380.00
203-001-645-000	TREE PROGRAM SALES	2,150.00
203-464-706-000	LABORERS	8,978.00
203-464-758-000	PROGRAM SUPPLIES	500.00
203-464-782-000	ROAD SUPPLIES	(2,000.00)
203-464-818-000	CONTRACTUAL SERVICES	(25,000.00)
203-468-758-000	PROGRAM SUPPLIES	2,500.00
203-468-818-000	CONTRACTUAL SERVICES	30,910.00
203-483-807-000	AUDIT SERVICES	700.00
203-952-716-000	DENTAL/VISION/LIFE-LTD/RHCS	1,000.00
203-952-716-500	HEALTH CARE COSTS - BC/BS	(4,000.00)
	Revenue Change:	88,055.00
	Expenditure Change:	73,752.00
	Budgeted Change To Fund Balance:	14,303.00

APPROVED BY: \_\_\_\_\_

Post Date: 06/21/2022 Entry Date: 06/09/2022 Description: BUDGET AMEND REFUSE FYE 6/30/2022

### Entered By: mpollock Journal: BA

GL #	Description	Increase/(Decrease)
226-001-629-003	SPECIAL TRASH	22,600.00
226-001-664-000	INVESTMENT EARNINGS	(650.00)
226-528-706-000	LABORERS	12,497.00
226-528-709-000	OVERTIME	4,000.00
226-528-715-000	FICA	986.00
226-528-758-000	PROGRAM SUPPLIES	250.00
226-528-807-000	AUDIT SERVICES	300.00
226-528-818-000	CONTRACTUAL SERVICES	20.00
226-952-716-000	DENTAL/VISION/LIFE-LTD/RHCS	850.00
	Revenue Change:	22,600.00
	Expenditure Change:	18,903.00
	Budgeted Change To Fund Balance:	3,697.00

APPROVED BY:

Post Date: 06/21/2022 Entry Date: 06/09/2022 Description: BUDG AMEND WATER & SEWER FYE 6/30/2022

### Entered By: mpollock Journal: BA

Increase/(Decrease)	Description	GL #
(2,500.00)	INVESTMENT EARNINGS	592-001-664-000
25,000.00	SUNDRY REVENUE	592-001-671-000
3,107.00	FULL TIME EMPLOYEES	592-536-704-000
17,972.00	LABORERS	592-536-706-000
(6,772.00)	PART TIME EMPLOYEES	592-536-707-000
4,000.00	WORKERS COMP	592-536-725-000
(2,000.00)	TOOLS	592-536-787-000
(33,000.00)	CONSULTANT	592-536-817-000
850.00	UTILITIES	592-536-920-000
(10,000.00)	VEHICLE MAINTENANCE	592-536-939-000
(250,000.00)	CONSTRUCTION	592-536-975-000
20,000.00	CONCRETE REPAIR	592-536-982-000
9,266.00	LABORERS	592-537-706-000
10,000.00	OVERTIME	592-537-709-000
800.00	FICA	592-537-715-000
(492,759.00)	DEBT PRINCIPAL	592-537-993-000
25,000.00	Revenue Change:	
(728,536.00)	Expenditure Change:	
753,536.00	Budgeted Change To Fund Balance:	

APPROVED BY: \_\_\_\_\_

Post Date: 06/21/2022

Entry Date: 06/09/2022 Description: BUDGET AMEND REC REVOLVING FYE 6/30/2022

### Entered By: mpollock Journal: BA

GL #	Description	Increase/(Decrease)
614-001-626-112	YOUTH CAMP	8,000.00
614-001-626-318	PILTO BOLTO	950.00
614-001-626-411	GIRLS B-BALL CLINIC	325.00
614-001-626-412	GIRL'S VOLLEYBALL CAMP	1,010.00
614-001-626-416	BOYS B-BALL CLINIC	11,960.00
614-001-626-803	TENNIS CONTRACT	7,700.00
614-001-626-901	COMMUNITY CENTER USE	(2,000.00)
614-001-626-950	MISCELLANEOUS PROGRAMS	8,000.00
614-001-664-000	INVESTMENT EARNINGS	(2,180.00)
614-001-675-002	MARQUEE	125.00
614-001-675-003	PARK RENTALS	1,250.00
614-001-675-500	PARK DONATIONS-PATRONICITY & DIRECT	32,000.00
614-105-704-000	FULL TIME EMPLOYEES	8,823.00
614-105-751-000	FUEL & OIL	600.00
614-105-811-000	CUSTODIAL SERVICES	2,000.00
614-105-939-000	VEHICLE MAINTENANCE	300.00
614-105-986-000	COMPUTER SOFTWARE	2,750.00
614-318-707-000	PART TIME EMPLOYEES	350.00
614-318-715-000	FICA	25,00
614-318-758-000	PROGRAM SUPPLIES	150.00
614-416-818-000	CONTRACTUAL SERVICES	3,850.00
614-901-709-000	OVERTIME	150.00
614-950-801-000	BANK CHARGES	500.00
615-001-651-000	SENIOR PROGRAMS	7,000.00
615-110-818-000	CONTRACTUAL SERVICES	4,500.00
	Revenue Change:	78,320.00
	Expenditure Change:	23,998.00
	Budgeted Change To Fund Balance:	54,322.00

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APPROVED BY: \_\_\_\_\_