

Board of Zoning Appeals

240 Columbus Ave
Sandusky, Ohio 44870
419.627.5973

www.cityofsandusky.com

Agenda May 16, 2024 4:30 pm

**Virtual Meeting via Microsoft Teams and
Live Streamed on www.Youtube.com/CityofSanduskyOH**

1. Meeting called to order – Roll Call
2. Review of minutes from:
 - April 18, 2024 Meeting
3. Swear in audience and staff members that will offer testimony on any agenda items.
4. Adjudication hearing to consider the following:
 - **209 Meigs St.**
An area variance to Zoning Code Section 1129.14 to allow the construction of a residential structure which creates a rear yard setback of less than the required setback in an R2F – Two Family Zoning District.
 - **2035 First St.**
An area variance to Zoning Code Section 1143.08 (c)(1) to allow the placement of a mural that exceeds the maximum area allowance for signage at this location.
 - **889 Crosstree Ln.**
An area variance to Zoning Code Section 1129.14 and Admirals Harbour Residential Planned Unit Development – Ordinance No. 97-082 section (K) to allow the construction of a residential structure which creates a rear yard setback of less than the required setback in an R1-75 – Single Family Zoning District per Ordinance no. 97-082 section (K).
 - **1503 Columbus Ave.**
An area variance to Zoning Code Section 1129.14 to allow the construction of a residential structure addition which creates a rear yard setback of less than the required setback in an R2F – Two Family Zoning District.
 - **1827 Clinton St.**
An area variance to Zoning Code Section 1129.14 to allow the construction of a residential structure which creates a front yard setback of less than the required setback in R2F – Two Family Zoning District.
5. Other Business
6. Adjournment Next Meeting: May 16, 2024

Please notify staff at least 2 days in advance of the meeting if you cannot attend.

Board of Zoning Appeals
April 18, 2024
Meeting Minutes

Meeting called to order:

Chair Feick called the meeting to order at 4:30 pm. The following voting members were present: Chair Feick, Mr. Harris, and Vice Chair Semans. Alec Ochs represented the Community Development Department, Stewart Hastings represented the Law Department, and clerk, Quinn Rambo, was present as well. Board members, Mr. Delahunt, Mr. Peugeot, and Commissioner Vargo, notified Staff in advance that they were unable to attend the meeting.

Review of Minutes from March 21, 2024:

Chair Feick called for a motion on the minutes from the March 21st, 2024, meeting. Vice Chair Semans moved to approve the minutes as presented. Mr. Harris seconded the motion. All voting members were in favor of the motion and the minutes were approved unanimously, as presented.

Chair Feick swore in all parties that were present to speak about adjudication agenda item.

Adjudication Hearing:

- 1. 515 Cedar Point Road- An area variance to Zoning Code Section 1145.15 (a) to allow the construction of an accessory structure in the “front yard” and allow setbacks of less than three feet in a R 1-75- Single Family Zoning District.**

Chair Feick introduced the application and asked for Staff report. Mr. Ochs asked for the Board to untable the application to discuss the application. Mr. Harris made a motion to untable the application and the motion was seconded by Vice Chair Semans. A vote was called and the motion to untable the item was approved, unanimously. Mr. Ochs stated the applicant was in the pre-process of replacing a lakefront accessory structure and added that Cedar Point Road separated the secondary part of the parcel from the main part of the parcel. The proposed structure would be a 14' x 20' pavilion/deck on the lakefront / secondary parcel. The zoning code required that all accessory structures were located in the rear yard and must also comply with a 3-foot setback from the side and rear property lines. The applicant requested two variances, the first was to allow an accessory structure in the “front yard,” and second was to allow an accessory structure to be located less than 3 feet from the property lines. Staff agreed the variances sought for this property would result in a built condition that fits within the neighborhood. Staff observed a street perspective from 2011 showing a structure in a similar location to what was proposed. Planning Staff supported the requested variances at 515 Cedar Point Road (parcel 55-00129.000) and suggested the following conditions, if approved, that all applicable permits were obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency prior to any construction, the foot print would not expand beyond what was proposed, nor that there were other accessory structures built in the front yard- unless a separate variance was obtained.

**Board of Zoning Appeals
April 18, 2024
Meeting Minutes**

Chair Feick asked if there was anyone present to speak about the request. Mr. John Tillery, the applicant and property owner, came forward to speak about the request. Chair Feick asked if the neighbors were notified. Mr. Ochs stated that neighbors were notified via the mail. Mr. Feick asked if there were any questions. There were none.

Chair Feick called for a motion. Vice Chair Semans made motion to approve the application with Staff conditions. The motion was seconded by Mr. Harris. A vote was called and the motion to approve the application with Staff conditions passed, unanimously.

2. 1102-1104 W. Market Street- An area variance to Zoning Code Section 1129.14 to allow the construction of a one family dwelling that encroaches into the required rear yard setback of 40 feet or 30% in an RRB- Residential Business Zoning District.

Chair Feick introduced the application and asked for Staff report. Mr. Ochs stated the applicant was in the pre-process of building a single-family residential home. The lots proposed were currently owned by the City of Sandusky and were both in the Land Bank program. The lots were vacant prior to 2013. Due to the shallow depth of the 1102 W. Market Street lot and the narrow width of the 1104 W. Market Street lot, the lots were determined to be unbuildable as separate parcels without a variance and when combined, the shallow lot depth would make building without a variance extremely difficult. A lot combination was required as part of the regular Sandusky Land Bank process. Staff noted that the older, surrounding structures also have a rear yard setback that would not meet the current zoning standards. The applicant requested a variance of a 10-foot rear yard setback relief for a total of 10-foot setback. Staff had worked with the applicant for several months to create a site plan that limited the variances needed at this location. Staff determined the setback relief sought for this property would result in a built condition that fits within the existing neighborhood. Planning Staff supported the variance request at 1102 – 1104 W. Market Street (parcels 59-00185.000, 59-00186.000) and suggested the following condition, if approved, that all applicable permits were obtained through the Building Department, Engineering Department, Division of Planning, and any other applicable agency prior to any construction.

Chair Feick asked if there was anyone present to speak about the request. The applicants, Rebeka Skrinak and Daniel Martinez, were present to speak on behalf of the request. Chair Feick asked if there were any questions from the Board. There were none.

Mr. Harris made a motion to approve the application as presented with Staff conditions. The motion was seconded by Vice Chair Semans. A vote was called and the motion to approve the application with conditions passed unanimously.

Other Business:

There was no other business.

**Board of Zoning Appeals
April 18, 2024
Meeting Minutes**

Adjournment:

Mr. Harris moved to adjourn the meeting. Mr. Semans seconded the motion. All members approved the motion, and the meeting ended at 4:44 pm.

Next meeting:

May 16, 2024

APPROVED:

Clerk

Chair/ Vice Chair

BOARD OF ZONING APPEALS REPORT

APPLICATION FOR AN AREA VARIANCE TO ALLOW
THE CONSTRUCTION OF A NEW RESIDENTIAL
STRUCTURE WHICH CREATES A REAR YARD
SETBACK OF LESS THAN THE REQUIREMENTS AT
209 MEIGS ST. PARCEL (56-00550.000)

Reference Number: PVAR24-0010

Date of Report: May 3, 2024

Report Author: Alec Ochs, Assistant Planner



City of Sandusky, Ohio

Board of Zoning Appeals Report

BACKGROUND INFORMATION

Property Owner: Brenda Jackson Realty, LLC
2130 Callie Dr.
Walled Lake, MI 483950

Site Location: 209 Meigs st.
Sandusky, OH 44870

Current Zoning: R2F – Two Family Residential

Surrounding Zoning:

North: R2F – Two Family Residential
South: DBD – Downtown Business
East: PF – Public Facilities
West: R2F – Two Family Residential

Surrounding Uses: Residential

Existing Use: Residential

Proposed Use: Residential

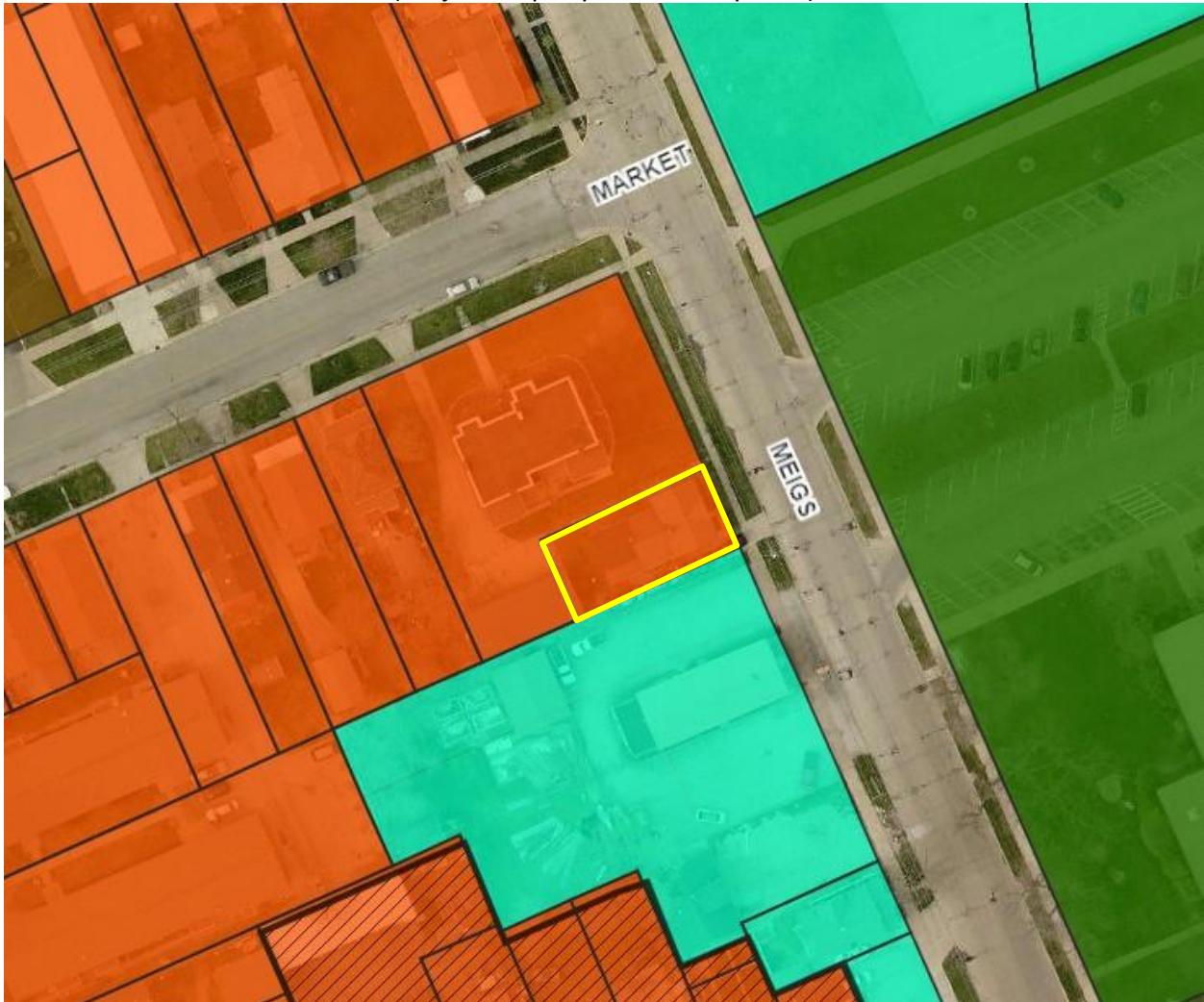
Applicable Plans & Regulations: City of Sandusky Zoning Code Sections 1129.14

Variances Requested:

1. A 10.5' rear yard setback with a relief of 13.5'.

SITE DESCRIPTION

(Subject Property Outlined in yellow)



Zone Map Setbacks



PUD - Planned Unit Development



Parcels



TRO - Transient Rental Overlay



Zoning

- AG - Agriculture
- CA - Commercial Amusement
- CR - Commercial Recreation
- CS - Commercial Service
- DBD - Downtown Business
- GB - General Business
- GM - General MANufacturing
- LB - Local Business
- LM - Local Manufacturing
- P - Auto Parking

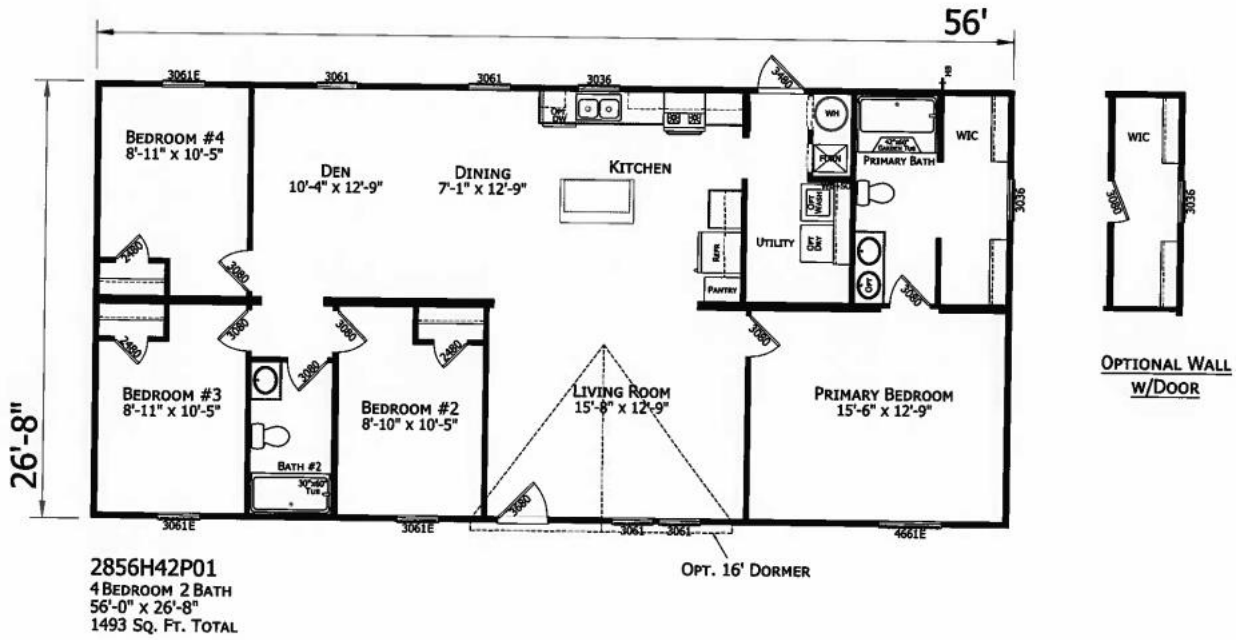
- PF - Public Facilities
- R1-40 - Single Family Residential
- R1-50 - Single Family Residential
- R1-60 - Single Family Residential
- R1-75 - Single Family Residential
- R2F Two-Family Residential
- RB - Roadside Business
- RMF - Multi-Family Residential
- RRB - Residential/Business
- RS - Residential Suburban

County Auditor Property Map (subject property outlined in red)

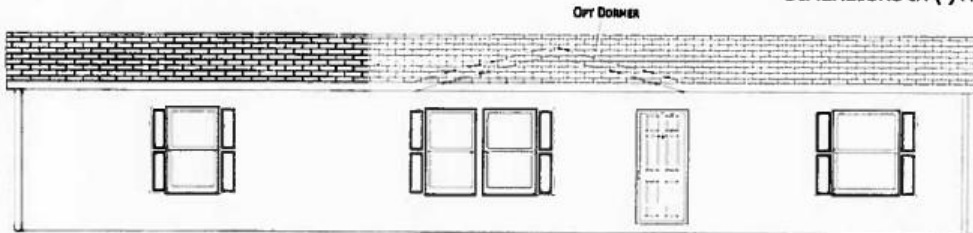


Street Perspective





DIMENSIONS IN () ARE FOR 2x6 SIDEWALLS



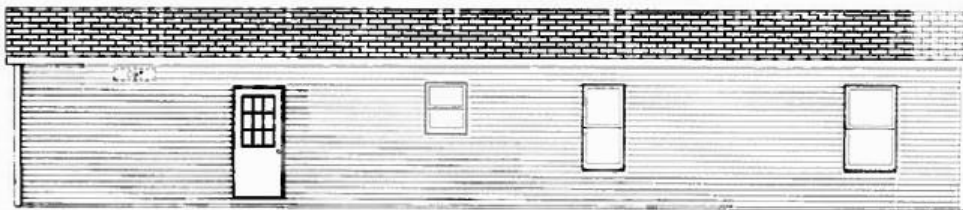
FRONT ELEVATION



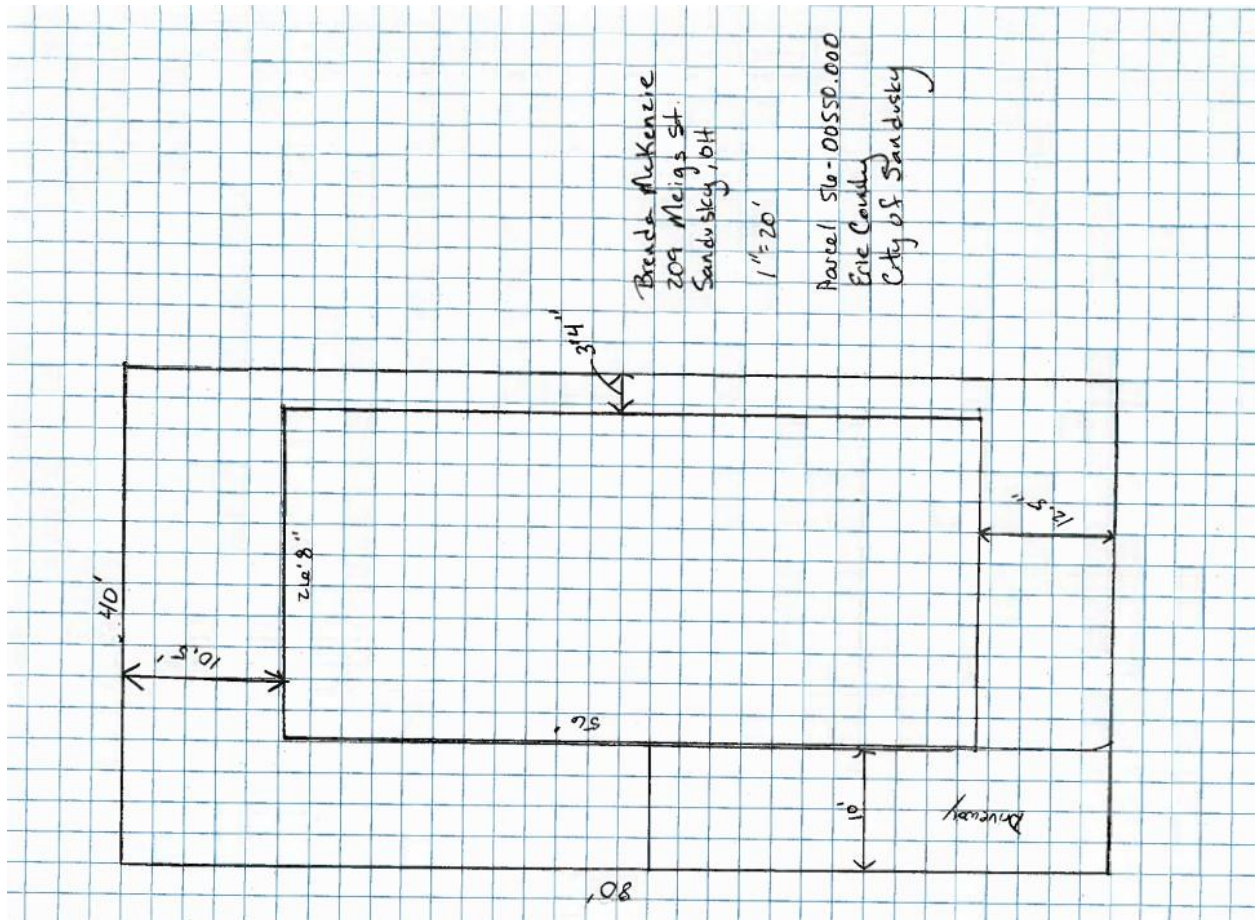
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



PROJECT DESCRIPTION

The applicant is in the pre-process of rebuilding a single family residential home. The original home was determined a total loss from a fire. The applicant is planning on placing manufactured home on the site. Due to the shallowness of the parcel, the manufactured home layout that meets the applicants needs does not comply with the setbacks requirements.

The owner is looking to rebuild in a swfit timeframe. A variance must be obtained before they seek any permits.

Staff notes that the proposed structure would have an increase of setback standards being met compared to the previous house. The setbacks of the previous and the pprosed house are:

	Previous house	Proposed house	
Front yard	8'	12.5'	Adequate
North side yard	~0	3.3'	Inadequate
South Side yard	12'	10'	
Rear	16'	10.5'	
Combined side setback	10'	13.3'	

The zoning code requires a minimum 24 foot rear yard setback. The proposed rear yard setback is 10.5' feet. All other setback requirements are met.

Variances Requested:

2. A 10.5' rear yard setback with a relief of 13.5'.

RELEVANT CODE SECTIONS

1129.14 SCHEDULE OF AREA, YARD, AND HEIGHT REQUIREMENTS.

		Minimum lot size			Minimum yard dimensions			Max. Height	
		Area per unit (sq. ft.)	Width at Front building depth line		Side Width		Rear Depth	Main Building	
District	Dwelling or building type		(ft.)	(ft.)	Single (ft.)	Total (ft.)	30% or (ft.)	Story	Ft.
R2F	1 Fam. Dw.	4,300	33	25	3	10	40	2	30
	2 Fam. Dw.	2,750	40	25	3	10	40	2	30

**CHAPTER 1147
Manufactured Homes**

1147.01 DEFINITIONS.

"Manufactured home" means a factory-built structure that is manufactured or constructed under the authority of 42 United States Code Section 540 and is to be used as a place for human habitation, but which is not constructed or equipped with a permanent hitch or other device allowing it to be moved other than for the purpose of moving to a permanent site and which does not have permanently

attached to its body or frame any wheels or axles. For the purpose of this Zoning Code, a "mobile home" is not considered to be a "manufactured home."

1147.02 DESIGN CRITERIA.

Manufactured homes shall comply with the following minimum standards:

(a) Exterior Siding. Exterior siding shall be made of nonreflective and nonmetallic materials unless approved by the City Engineer. Acceptable siding materials include: vinyl, wood, stucco, brick, stone or other masonry materials, or any combination of these materials or any material that the City Engineer deems to meet the intent of this Zoning Code.

(b) Color/Texture. Color and texture of exterior materials shall be compatible with the adjacent single-family structures.

(c) Roof Structure. Except for authorized deck areas, all roof structures shall be sloped and provide an eave projection of no less than six inches and no greater than thirty inches.

(d) Roofing Material. All roofing material shall consist of one of the following categories: wood, shingle, wood shake, synthetic composite shingle, concrete tile or any other material that the City Engineer deems to meet the intent of this Zoning Code. Metallic roofing surfaces shall not be permitted on a residential structure or on any garage or carport unless approved by the City Engineer.

(e) Minimum Floor Area. The minimum floor area for every dwelling located on a lot in an R Zoning District, which is not a part of a mobile home subdivision, shall be 800 square feet, excluding the area of the garage or carport.

(f) Minimum Width. The minimum width of a dwelling located on a lot outside of a mobile home subdivision shall be twenty feet.

(g) Foundations. All manufactured homes shall be placed on a permanent foundation that meets applicable Building Code requirements of the City, such that the floor elevation of the proposed dwelling is reasonably compatible with the floor elevations of surrounding dwelling units.

(1980 Code 151.41)

1145.08 FRONT YARDS OF PARTIALLY BUILT-UP BLOCKS.

Where a building line has not been established, and where 50% or more of the aggregate street frontage between 2 successive intersecting streets is occupied by buildings of the type and use permitted in the district before the effective date of the Zoning Code, the average setback distance of conforming buildings located within 100 feet on either side of a given lot shall be the minimum front yard setback for that lot; provided, however, the depth of the front yard resulting therefrom shall be not less than one-half of the dimensions set forth in Sections 1129.13 and 1129.14.

(1980 Code 151.29)

(1980 Code 151.31)

CHAPTER 1111

Board of Zoning Appeals

1111.06 POWERS OF THE BOARD OF ZONING APPEALS.

1111.06(c)(1)

The Code states that no variance to the provision or requirements of the Zoning Code shall be granted by the Board unless the Board has determined that a practical difficulty does exist or will result from the literal enforcement of the Zoning Code. The factors to be considered and weighed by the Board in determining whether a property owner has proved practical difficulty include:

The applicant has stated:

- 1. Whether the variance is substantial;**
 - i. It is a reduction of 24 ft. to 10 ft.

- 2. Whether the essential character of the neighborhood would be substantially altered or whether adjoining property would suffer a substantial detriment as a result of the variance;**
 - i. No.

- 3. Whether the variance would adversely affect the delivery of government services (i.e. water, sewer, garbage, fire, police or other);**
 - i. No.

- 4. Whether the property owner purchased the property with the knowledge of the zoning restriction;**
 - i. No.

- 5. Whether the property owner's predicament can be resolved through some method other than a variance;**
 - i. Yes, but at a greater cost.

- 6. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance;**
 - i. Yes.

- 7. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without a variance; and**
 - i. No.

- 8. Whether the granting of the variance will be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City.**
 - i. No.

DIVISION OF PLANNING COMMENTS

The setback relief sought for this property could enable a built condition that fits within the neighborhood and would enable the owner to house a tenant in a new home. However, in review of the proposed ranch-style home the applicant is currently considering building on the property, the design of the home would put the entrance and primary façade (see “front elevation” photo) along the south side lot line of the property and put the side wall of the home (see “right elevation” photo) along the front lot line. This is not a desirable result for the frontage of the property and would not fit within the character of the neighborhood. Staff strongly recommends the applicant build a home that has a front façade (including windows, entrance, optional porch, and other entry features) facing Meigs Street.

CONCLUSION/RECOMMENDATION

Planning staff is not opposed to the variance request at 209 Meigs St. parcel (56-00550.000) and suggests the following conditions upon approval:

1. All applicable permits must be obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency prior to any construction.

Application for Board of Zoning Appeals

STAFF USE ONLY:

Filing Date: _____ Hearing Date: _____ Reference Number: _____

Address of Property (or parcel number) for Variance Request: 209 Meigs St

Name of Property Owner: Brenda McKenzie

Mailing Address of Property Owner: 2130 Callie Dr

City: Walled Lake State: MI Zip: 48390

Telephone #: 614-432-0935 Email: b.latoya823@gmail.com

If same as above check here

Name of Applicant: Heather McCurdy Clayton Homes

Mailing Address of Applicant: 1850 Marion Mt. Gilead Rd.

City: Marion State: OH Zip: 43302

Telephone #: 740-225-1844 Email: hdmccurdy@hotmail.com

Description of Proposal:

Due to home fire, we are demolishing the existing structure and would like to construct a Hud double wide on a permanent masonry crawl space foundation

Variance Requested:

To reduce the rear set back to maintain approximately the same square footage as the original home.

Section(s) of Zoning Code:

Signature of Property Owner

Date

Heather J. McCurdy
Signature of Authorized Agent

3-26-24
Date

APPLICATION #BZA-001

UPDATED 12/2/2019

PRACTICAL DIFFICULTIES

(For ALL variance requests)

According to Chapter 1111.06(c)(1) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that a “practical difficulty” exists in order to approve a variance. The Board must consider the following factors. Please completely fill out all sections:

- 1) Would the variance be substantial?

It is a reduction from 24 ft to 10 ft.

- 2) Would the variance substantially alter the character of the neighborhood or would adjoining property owners suffer a substantial detriment because of the variance?

No

- 3) Would the variance adversely affect the delivery of government services (e.g. water, sewer, fire, police)?

No

- 4) Was the property purchased with the knowledge of the zoning restrictions?

No

- 5) Can the property owner’s predicament be resolved through some method other than a variance?

Yes but at greater cost

- 6) Would the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance?

Yes

- 7) Would the property yield a reasonable return or can there be a beneficial use of the property without a variance?

No

- 8) Would the granting of the variance be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City?

No

UNNECESSARY HARDSHIP

(ONLY for variance requests involving a use of the property that is not permitted by the Zoning Code)

According to Chapter 1111.06(c)(2) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that an “unnecessary hardship” exists in order to approve a use variance. The Board must determine that ALL of the following conditions have been met. Please completely fill out all sections:

- 1) Does the variance request arises from such a condition which is unique and which is not ordinarily found in the same zoning district; and is created by the Zoning Code and not be an action or actions of the property owner or the applicant?

The request is due to the depth of the lot as it is smaller than adjacent lots.

- 2) Would the granting of the variance will adversely affect the rights of the adjacent property owners or residents?

no

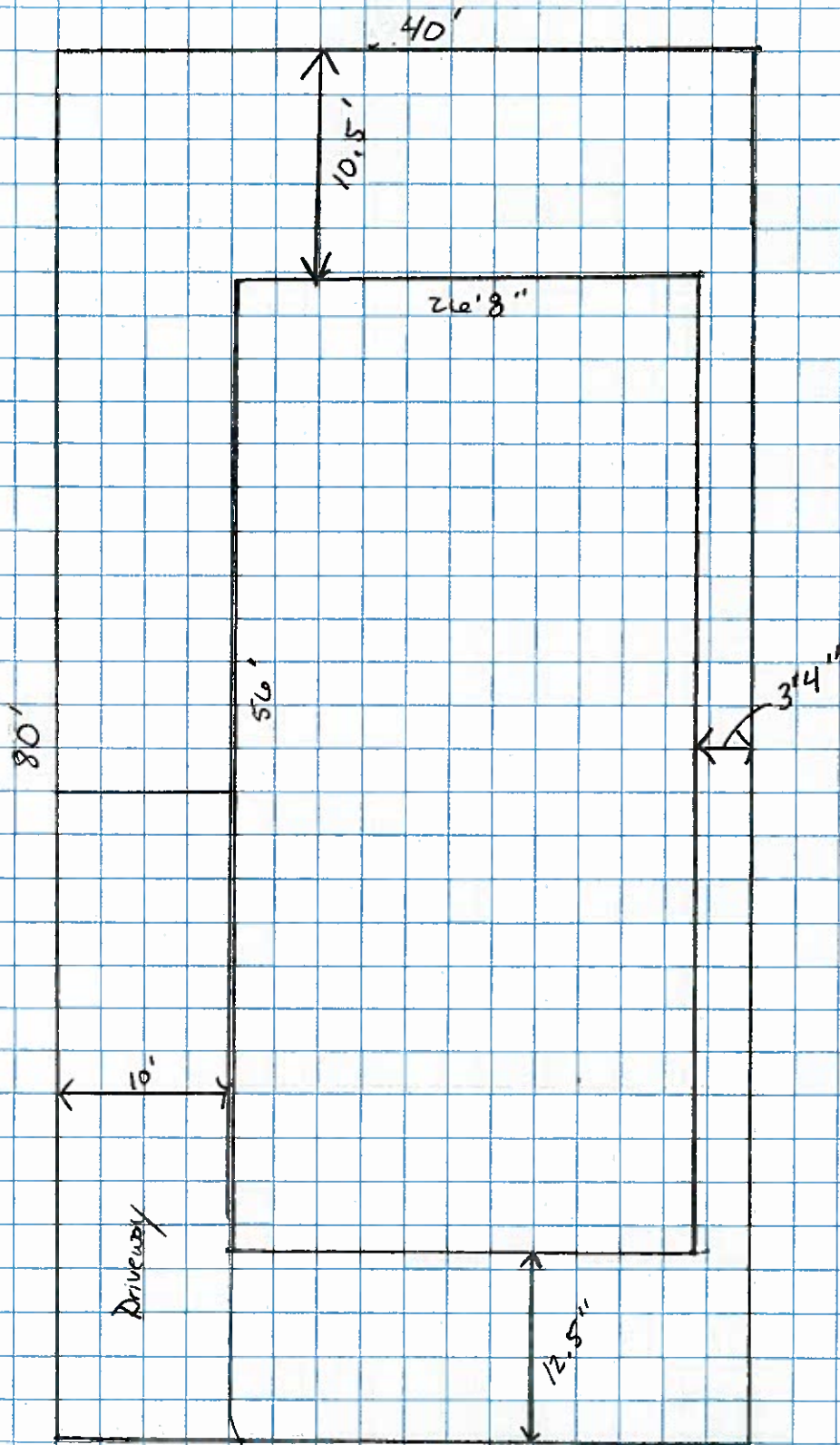
- 3) Does the strict application of the Zoning Code of which the variance is requested constitute unnecessary hardship upon the property owner or the applicant?

Yes as it would add financial burden past the funds from the insurance co due to the fire.

- 4) That the variance desired will not adversely affect the public health, safety, morals or general welfare.
- No it will not.

- 5) That the granting of the variance desired will not be opposed to the general spirit and intent of the Zoning Ordinance

No it will not.

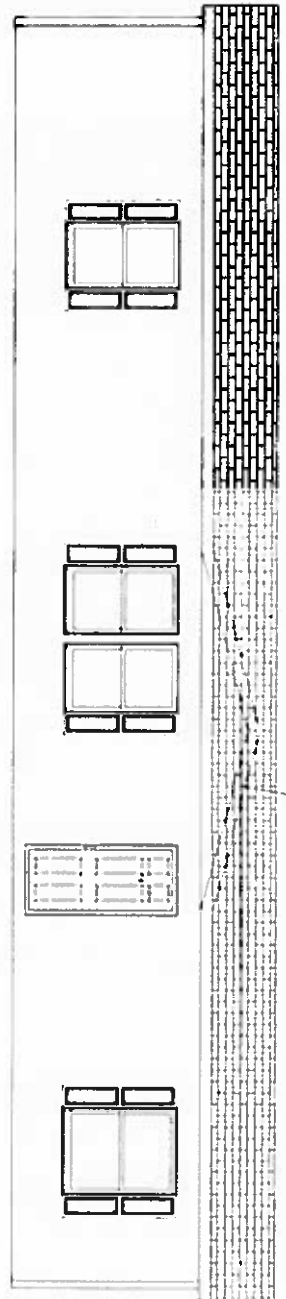


Brenda McKenzie
 209 Meigs St.
 Sandusky, OH

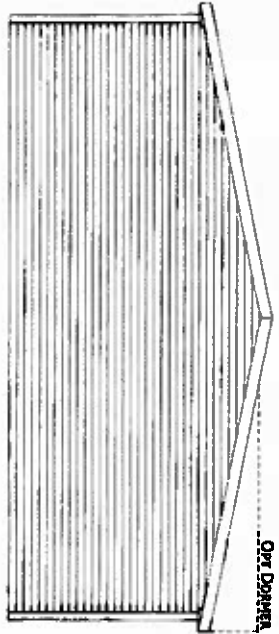
1" = 20'

Parcel 56-00550.000
 Erie County
 City of Sandusky

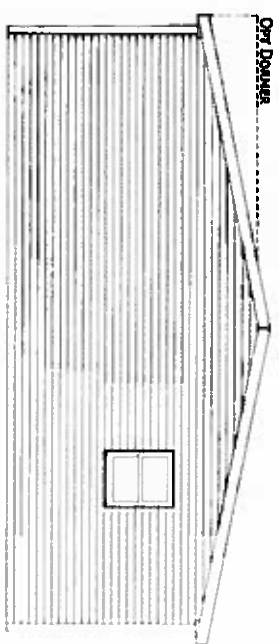
DIMENSIONS IN () ARE FOR 2X6 SIDEWALLS



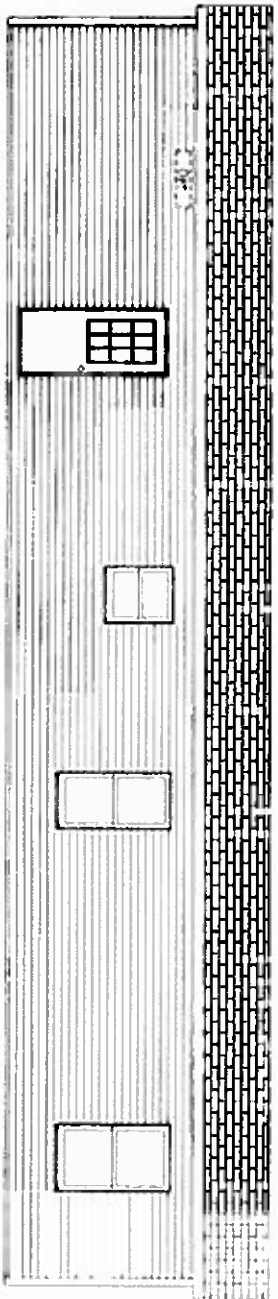
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

CHAMPION
HOME BUILDERS

285 N. 100 EAST AVENUE, SUITE 100, DENVER, CO 80202

NO. 2856H32P01

2856H32P01
56'-0" x 26'-8"
3 BD 2 BT

ELEVATIONS

EV-101

FOR SETTING AND/OR DIMENSIONS
SEE ARCHITECTURAL DRAWINGS
DATE: 10/18/00

725 W. 800 SOUTH ROAD, SUITE 1200, TROY, MI 48064
 PHONE: 248-414-4200

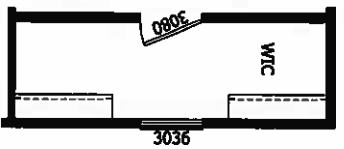
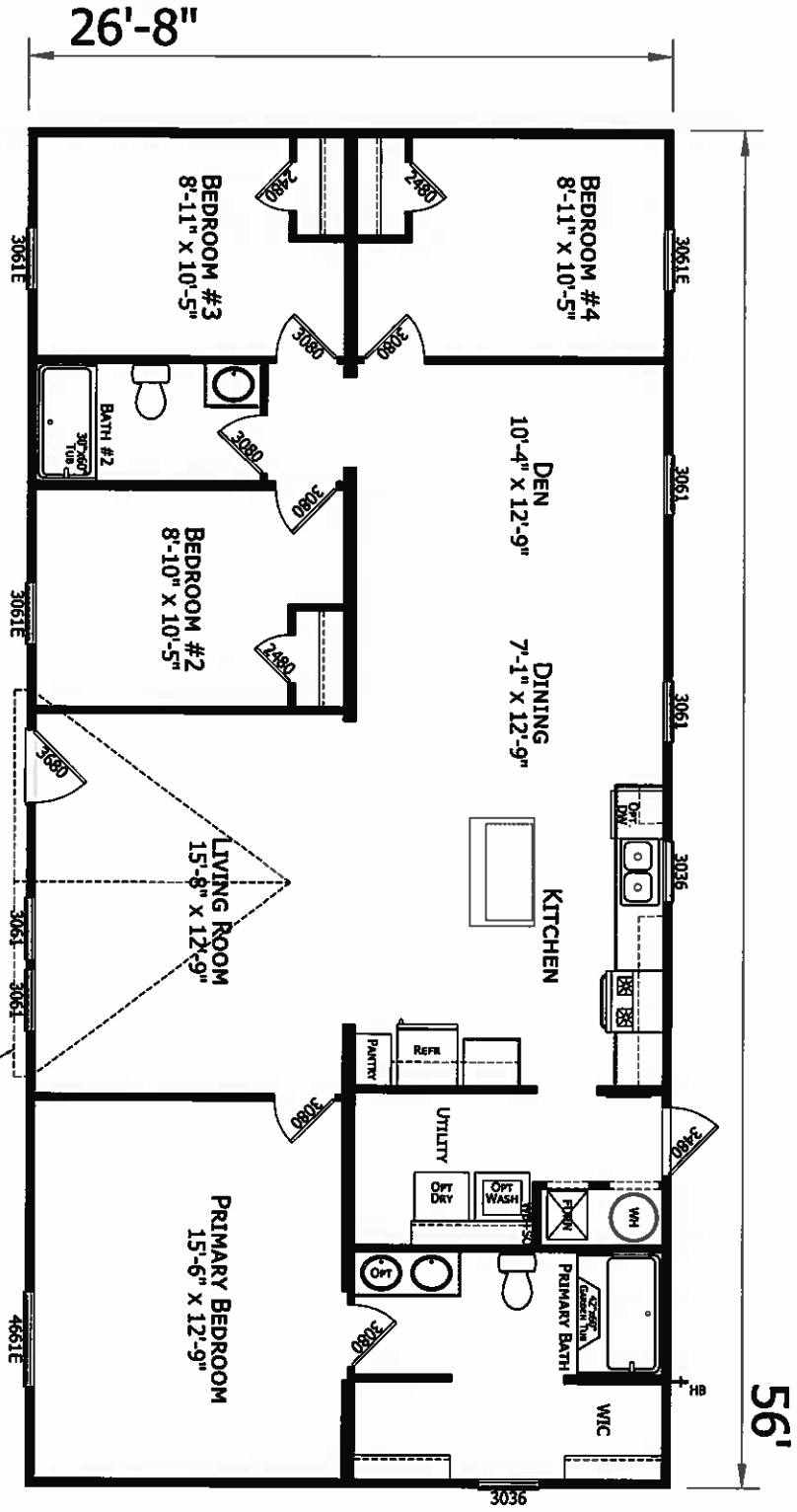
PROJECT: 2856H42P01
 56'-0" X 26'-8"
 4 BD 2 BT

TITLE: LITERATURE PLAN

SHEET: L-101

MODIFICATIONS

2856H42P01
 4 BEDROOM 2 BATH
 56'-0" X 26'-8"
 1493 SQ. FT. TOTAL

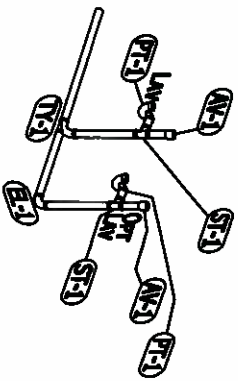
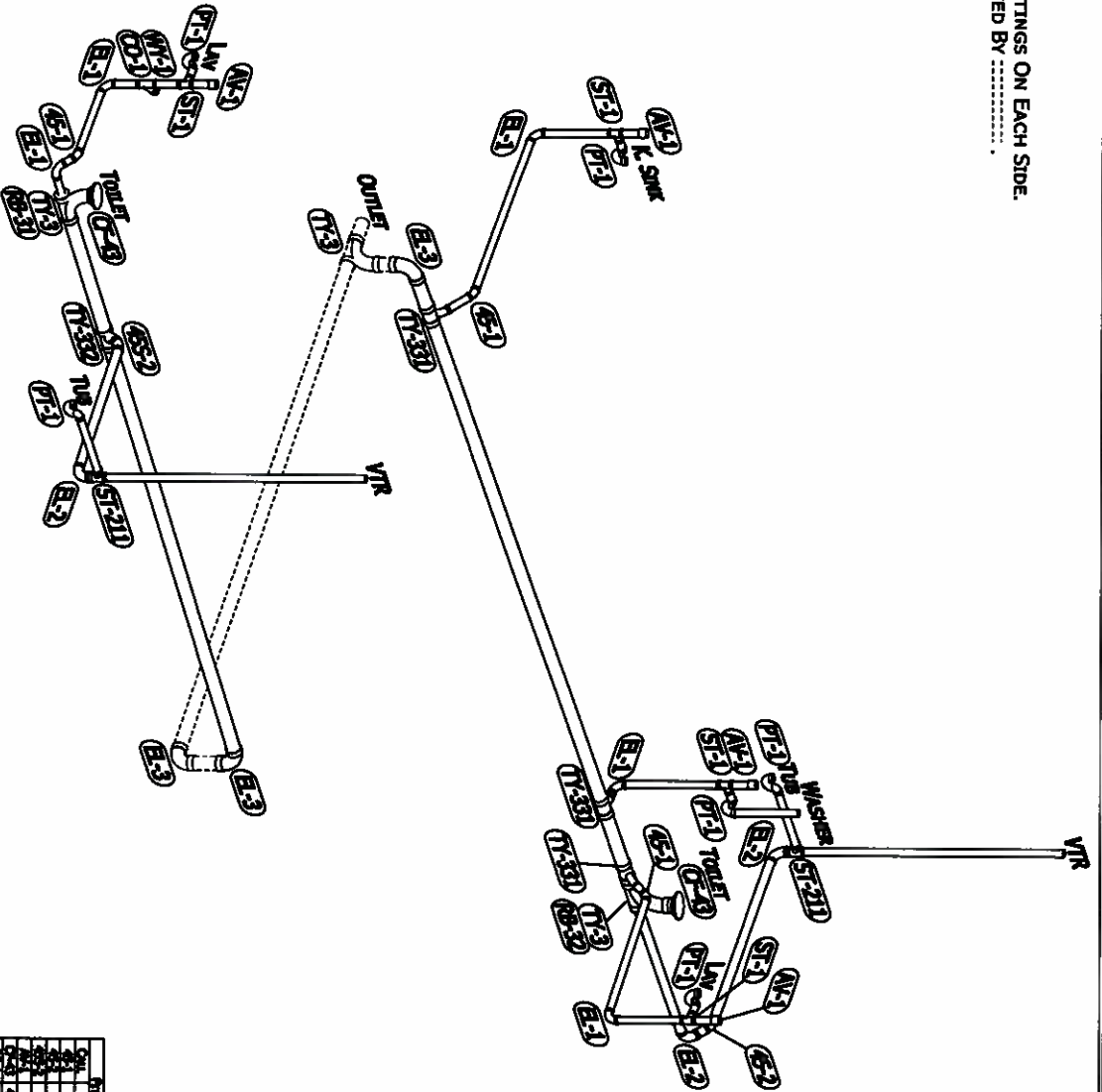


**OPTIONAL WALL
w/DOOR**

PROFESSIONAL AND CONFIDENTIAL
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 PROPERTY OF CHAMPION HOME BUILDERS. ANY REUSE OR
 REPRODUCTION WITHOUT WRITTEN PERMISSION IS STRICTLY
 PROHIBITED. © 2011 CHAMPION HOME BUILDERS

NOTES:

1. PIPE SIZES DETERMINED BY FITTINGS ON EACH SIDE.
2. SITE INSTALLED PLUMBING NOTED BY



OPT. DOUBLE LAVY

QTY	DESCRIPTION	UNIT	QTY	DESCRIPTION	UNIT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT
1	1/2" x 20' GALV. BR.	FT	1	3/4" x 20' GALV. BR.	FT

MODIFICATIONS

CHAMPION HOME BUILDERS
 THE M. AND S. BROS. CO., 3001 SOUTH 10TH AVE., AUSTIN, TEXAS 78741
 PHONE: 512-471-2800

PFS #122
 Consulting to HUD FINANCES
 5912

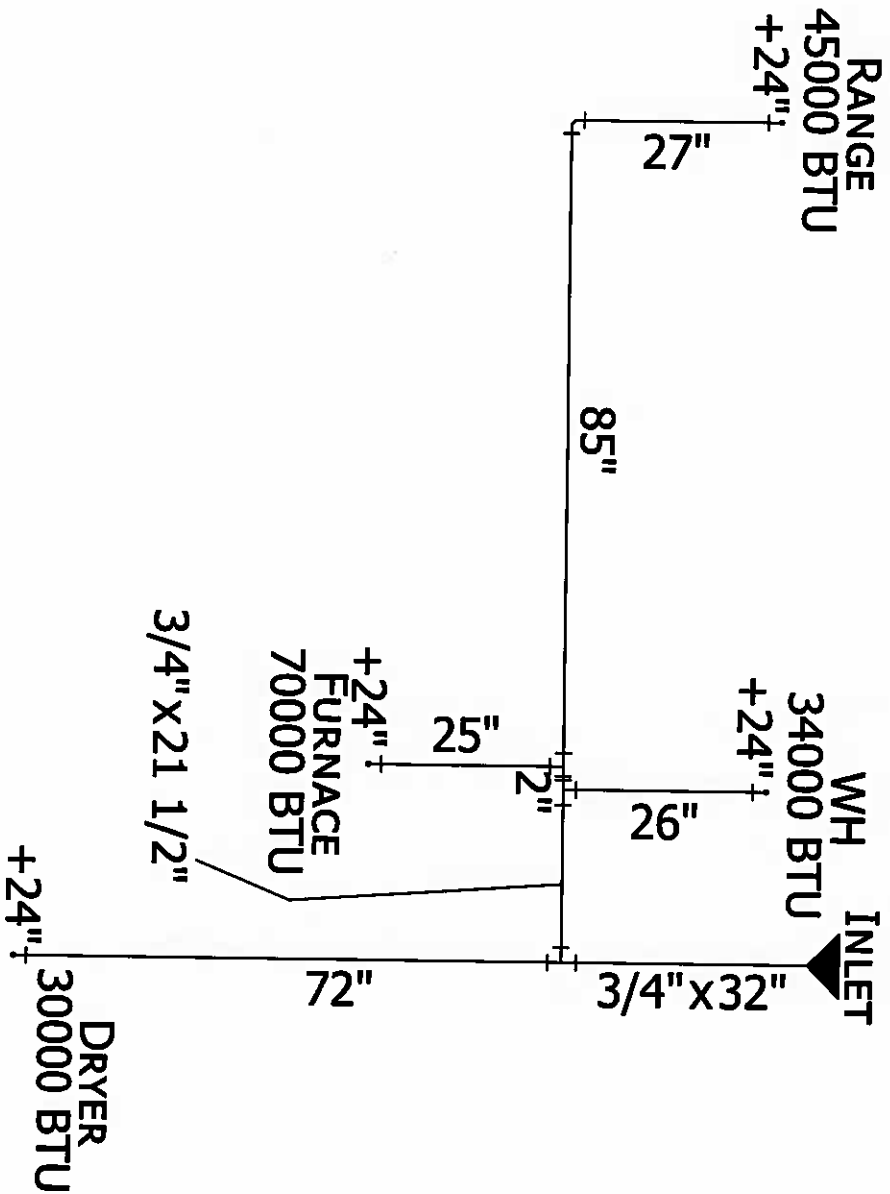
PROJECT: 2856H42P01
 56'-0" x 26'-8"
 4 BD 2 BT
 DRAWN BY: SWW
 DATE: 05-04-83
 SCALE: 3/16" = 1'-0"

TITLE: DRAIN LINE PLAN
 REVIEWER: ZISSHAWANI

SHEET: D-101
 PROPRIETARY AND CONFIDENTIAL
 THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CHAMPION HOME BUILDERS AND SHALL REMAIN THEIR PROPERTY. ANY REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED.

NOTES:

1. ALL PIPE SIZES 1/2" UNLESS OTHERWISE SPECIFIED
2. TOTAL BTU = 179,000
3. COLUMN LENGTH = 20'-0"
4. GAS APPLIANCES ARE OPTIONAL



<p>CHAMPION HOME BUILDERS</p> <p style="font-size: small;">781 W. 1000 SOUTH AVENUE, SUITE 1000, MO., 63041 PHONE 368-1480</p>	 <p>PFS CONFIDENTIAL HUB BUILDERS 5973</p>	<p>MODIFICATIONS</p>	<p>PROJECT: 2856H42P01 56'-0" X 26'-8" 4 BD 2 BT</p> <p>DATE: 04-10-23 SCALE: 1/2" = 1'-0"</p>
		<p>TITLE: GAS LINE PLAN</p> <p>REVISION: 2856H42P01</p>	<p>SHEET: G-101</p> <p style="font-size: x-small;">PROPRIETARY AND CONFIDENTIAL THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF CHAMPION HOME BUILDERS AND SHALL REMAIN THE PROPERTY OF CHAMPION HOME BUILDERS. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF CHAMPION HOME BUILDERS IS STRICTLY PROHIBITED.</p>

OVERALL CHECK PASS

WIND ZONE	1	PSF
WIND LOAD	15	
MODULE WIDTH	160	IN.
NUMBER OF BONES	96	
WALL HEIGHT	2	IN.
ROOF PITCH	4.36	:12
ANGLE	20	°
ROOF OVERHANG	12	IN.
FLOOR JOIST SPACING	16	IN. O.C.
RIM JOIST PILES	1	IN.
FRAME SPACING	99.5	IN.
BEAM DEPTH	10	IN.
OPEN PORCH	0	PT.
HOME LENGTH	56	PT.

DIAHRAGM CONSTRUCTION

DIAPHRAGM TYPE	WOOD ROOF
FOAM BRAND	N/A
MINIMUM WIDTH	IN.
MAX PLF	176.3
MAX. END WALL REACTION	4701
MAX. INTERIOR REACTION	9403
MAX. SPAN	112

FLOOR CONSTRUCTION

FLOOR JOIST SIZE	2X6
FLOOR JOIST SPECIES	SF
FLOOR JOIST GRADE	#2
DECORING GUIDED TO JOISTS	YES

WALL CONSTRUCTION

BOTTOM PLATE THICKNESS	2x
TOP PLATE THICKNESS	2x
WALL TO FLOOR JOIST	#10
WALL TO CEILING FRAMING	#10
WALL TO WALL FASTENER	#10
WALL TO WALL FASTENER	3.5"
WALL TO WALL FASTENER	3.5"

GROUND TIE CHART

PIER HEIGHT (IN.)	NEAR BEAM ANGLE (DEG.)	FAR BEAM ANGLE (DEG.)	GROUND TIE SPACING (FT.)	MAX SPACING (FT.)
12	39.97		11.92	11'-11"
20	48.81		10.24	10'-2"
28	55.36		8.92	8'-11"
36	60.29		20.09	14'-7"
44	64.08	23.24	14.29	14'-3"
52	67.05	26.25	13.95	13'-11"
60	69.44	29.1	13.59	13'-7"
68	71.4	31.81	13.22	13'-2"

VERTICAL TRIB

King Post Height*	4	PT.
Porch End Wall	--	IN.

VERTICAL TRIB

King Post Height*	4	PT.
Porch End Wall	--	IN.

VERTICAL TRIB

King Post Height*	4	PT.
Porch End Wall	--	IN.

VERTICAL TRIB

King Post Height*	4	PT.
Porch End Wall	--	IN.

VERTICAL TRIB

King Post Height*	4	PT.
Porch End Wall	--	IN.

LEFT END WALL SHEAR WALL

DIST. TO NEXT SW	56	PT.
MANUAL INPUT	--	IN.
LOAD TO SHEARWALL	1680	LBS

DIST. TO NEXT SW	--	PT.
MANUAL INPUT	1680	LBS

DIST. TO NEXT SW	--	PT.
MANUAL INPUT	0	LBS

DIST. TO NEXT SW	--	PT.
MANUAL INPUT	0	LBS

DIST. TO NEXT SW	--	PT.
MANUAL INPUT	0	LBS

PANEL LAYOUT

FROM MODULE EDGE	4	IN.
PANEL LENGTH	156	IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

PANEL LAYOUT

FROM MODULE EDGE	4	IN.
PANEL LENGTH	156	IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

PANEL LAYOUT

FROM MODULE EDGE		IN.
PANEL LENGTH		IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

PANEL LAYOUT

FROM MODULE EDGE		IN.
PANEL LENGTH		IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

PANEL LAYOUT

FROM MODULE EDGE		IN.
PANEL LENGTH		IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

SHEARWALL PLF

SHEARWALL PLF	129.2	PLF
---------------	-------	-----

SHEARWALL PANEL

GYP. BRAND	GRYSUM	
GYP. BRAND	U.S.G.	
FASTENERS	YES	
ADHESIVE	PVA	
ONE SIDE OR TWO	1	
MAX. SHEARWALL PLF	247	PLF

SHEARWALL PLF

SHEARWALL PLF	129.2	PLF
---------------	-------	-----

SHEARWALL PANEL

GYP. BRAND	GRYSUM	
GYP. BRAND	U.S.G.	
FASTENERS	YES	
ADHESIVE	PVA	
ONE SIDE OR TWO	1	
MAX. SHEARWALL PLF	247	PLF

SHEARWALL PLF

SHEARWALL PLF		PLF
---------------	--	-----

SHEARWALL PANEL

GYP. BRAND		
GYP. BRAND	U.S.G.	
FASTENERS		
ADHESIVE		
ONE SIDE OR TWO		
MAX. SHEARWALL PLF		PLF

SHEARWALL PLF

SHEARWALL PLF		PLF
---------------	--	-----

SHEARWALL PANEL

GYP. BRAND		
GYP. BRAND	U.S.G.	
FASTENERS		
ADHESIVE		
ONE SIDE OR TWO		
MAX. SHEARWALL PLF		PLF

SHEARWALL PLF

SHEARWALL PLF		PLF
---------------	--	-----

SHEARWALL PANEL

GYP. BRAND		
GYP. BRAND	U.S.G.	
FASTENERS		
ADHESIVE		
ONE SIDE OR TWO		
MAX. SHEARWALL PLF		PLF

ZONE-ID

ZONE-ID	Z1-1
JOIST	1
WALL SCR.	8
SC.O.C.	18 @ 9
SF.O.C.	18 @ 9
BEAM LAG	2

ZONE-ID

ZONE-ID	Z1-2
JOIST	1
WALL SCR.	8
SC.O.C.	18 @ 9
SF.O.C.	18 @ 9
BEAM LAG	2

ZONE-ID

ZONE-ID	
JOIST	
WALL SCR.	
SC.O.C.	
SF.O.C.	
BEAM LAG	

ZONE-ID

ZONE-ID	
JOIST	
WALL SCR.	
SC.O.C.	
SF.O.C.	
BEAM LAG	

ZONE-ID

ZONE-ID	
JOIST	
WALL SCR.	
SC.O.C.	
SF.O.C.	
BEAM LAG	

ZONE-ID

ZONE-ID	
JOIST	
WALL SCR.	
SC.O.C.	
SF.O.C.	
BEAM LAG	

RESULT PASS

RESULT PASS

RESULT

RESULT

RESULT

RESULT

CHAMPION HOME BUILDERS

PFS #21
 Certified by HUD MICHIGAN
 59023

MODIFICATIONS

PROJECT: 2856H42P01
 56'-0" x 26'-8"
 4 BD 2 BT

TITLE: WIND ZONE I
 SHEARWALL CALC

SHEET: SW-Z01

726 W. 30 STREET, LANSING, MICHIGAN 48208
 PHONE: 313-487-1000

DATE: 04-10-23

FILENAME: 2856H42P01

PROFESSIONAL AND CONFIDENTIAL
 THESE DRAWINGS AND CALCULATIONS ARE THE PROPERTY OF CHAMPION HOME BUILDERS
 CONTRACT # 2856H42P01

Overall Check PASS

WIND ZONE	II	PSF
WIND LOAD	39	
MODULE WIDTH	160	IN.
NUMBER OF BOXES	2	
WALL HEIGHT	96	IN.
ROOF PITCH	4.36	:12
ANGLE	20	°
ROOF OVERHANG	12	IN.
FLOOR JOIST SPACING	16	IN. O.C.
RIM JOIST PLYS	1	
FRAME SPACING	99.5	IN.
BEAM DEPTH	10	IN.
OPEN PORCH	0	FT.
HOME LENGTH	56	FT.

DIAPHRAGM CONSTRUCTION

DIAPHRAGM TYPE	WOOD ROOF
FOAM BRAND	N/A
MINIMUM WIDTH	IN.
MAX PLF	176.3
MAX. END WALL REACTION	4701
MAX. INTERIOR REACTION	9403
MAX. SPAN	60.17

WALL CONSTRUCTION

BOTTOM PLATE THICKNESS	2x
TOP PLATE THICKNESS	2x
WALL TO FLOOR JOIST	#10
WALL TO CEILING FRAMING	#10
WALL TO WALL FASTENER	#10

GROUND TIE CHART

PIER HEIGHT (IN.)	NEAR BEAM ANGLE (DEG.)	FAR BEAM ANGLE (DEG.)	GROUND TIE SPACING (FT.)	MAX SPACING (FT.)
12	39.97		5.33	5'-4"
20	48.81		5.33	5'-4"
28	55.36		5.05	5'-0"
36	60.29	20.09	5.33	5'-4"
44	64.08	23.24	5.33	5'-4"
52	67.05	26.25	5.33	5'-4"
60	69.44	29.1	5.33	5'-4"
68	71.4	31.81	5.33	5'-4"

FLOOR CONSTRUCTION

FLOOR JOIST SIZE	2X6
FLOOR JOIST SPECIES	SPE
FLOOR JOIST GRADE	#2
DECKING GLUED TO JOISTS	YES

VERTICAL TRIB 4 FT. King Post Height* IN. Porch End Wall --

LEFT END WALL SHEAR WALL

DIST. TO NEXT SW 56 FT. MANUAL INPUT -- LBS LOAD TO SHEARWALL 4368

PANEL LAYOUT

FROM MODULE EDGE	4	IN.
PANEL LENGTH	156	IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

SHEARWALL PLF 336 PLF

SHEARWALL PANEL GYP/SPUM GYP. BRAND U.S.G. FASTENERS YES ADHESIVE PVA ONE SIDE OR TWO 2 PLF MAX. SHEARWALL PLF 432

Result PASS

VERTICAL TRIB 4 FT. King Post Height* IN. Porch End Wall --

SHEAR WALL 2

DIST. TO NEXT SW -- FT. MANUAL INPUT -- LBS LOAD TO SHEARWALL 4368

PANEL LAYOUT

FROM MODULE EDGE	4	IN.
PANEL LENGTH	156	IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

SHEARWALL PLF 336 PLF

SHEARWALL PANEL GYP/SPUM GYP. BRAND U.S.G. FASTENERS YES ADHESIVE PVA ONE SIDE OR TWO 2 PLF MAX. SHEARWALL PLF 432

Result PASS

VERTICAL TRIB 4 FT. King Post Height* IN. Porch End Wall --

SHEAR WALL 3

DIST. TO NEXT SW -- FT. MANUAL INPUT 0 LBS LOAD TO SHEARWALL 0

PANEL LAYOUT

FROM MODULE EDGE		IN.
PANEL LENGTH		IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

SHEARWALL PLF PLF

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE ONE SIDE OR TWO PLF MAX. SHEARWALL PLF

Result

VERTICAL TRIB 4 FT. King Post Height* IN. Porch End Wall --

SHEAR WALL 4

DIST. TO NEXT SW -- FT. MANUAL INPUT 0 LBS LOAD TO SHEARWALL 0

PANEL LAYOUT

FROM MODULE EDGE		IN.
PANEL LENGTH		IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

SHEARWALL PLF PLF

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE ONE SIDE OR TWO PLF MAX. SHEARWALL PLF

Result

VERTICAL TRIB 4 FT. King Post Height* IN. Porch End Wall --

SHEAR WALL 5

DIST. TO NEXT SW -- FT. MANUAL INPUT 0 LBS LOAD TO SHEARWALL 0

PANEL LAYOUT

FROM MODULE EDGE		IN.
PANEL LENGTH		IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

SHEARWALL PLF PLF

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE ONE SIDE OR TWO PLF MAX. SHEARWALL PLF

Result

VERTICAL TRIB 4 FT. King Post Height* IN. Porch End Wall --

SHEAR WALL 6

DIST. TO NEXT SW -- FT. MANUAL INPUT 0 LBS LOAD TO SHEARWALL 0

PANEL LAYOUT

FROM MODULE EDGE		IN.
PANEL LENGTH		IN.
FROM MODULE EDGE		IN.
PANEL LENGTH		IN.

SHEARWALL PLF PLF

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE ONE SIDE OR TWO PLF MAX. SHEARWALL PLF

Result

ZONE-ID	Z2-1
JOIST	3
WALL SCR.	8
SC O.C.	45 @ 3.5
SF O.C.	45 @ 3.5
BEAM LAG	5

ZONE-ID	Z2-2
JOIST	3
WALL SCR.	8
SC O.C.	45 @ 3.5
SF O.C.	45 @ 3.5
BEAM LAG	5

ZONE-ID	
JOIST	
WALL SCR.	
SC O.C.	
SF O.C.	
BEAM LAG	

ZONE-ID	
JOIST	
WALL SCR.	
SC O.C.	
SF O.C.	
BEAM LAG	

ZONE-ID	
JOIST	
WALL SCR.	
SC O.C.	
SF O.C.	
BEAM LAG	

ZONE-ID	
JOIST	
WALL SCR.	
SC O.C.	
SF O.C.	
BEAM LAG	

CHAMPION HOME BUILDERS

724 W. JOHNSON RD., SUITE 1000, TROY, MI 48064
PHONE: 313-441-4400



RECOMMENDATIONS

PROJECT: 2856H42P01
56'-0" X 26'-8"
4 BD 2 BT

TITLE: WIND ZONE II
SHEARWALL CALC

SHEET: SW-Z02

DRAWN BY: Steve
DATE: 04-10-13
SCALE: N.T.S.

FILENAME: 2856H42P01

PROFESSIONAL ENGINEER AND ARCHITECT
THESE DOCUMENTS ARE THE PROPERTY OF CHAMPION HOME BUILDERS AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF CHAMPION HOME BUILDERS

OVERALL CHECK PASS

WIND ZONE	III	PSF
WIND LOAD	47	
MODULE WIDTH	160	IN.
NUMBER OF BOXES	2	
WALL HEIGHT	96	IN.
ROOF PITCH	4.36	:12
ANGLE	20	°
ROOF OVERHANG	12	IN.
FLOOR JOIST SPACING	16	IN. O.C.
RIM JOIST PILES	1	
FRAME SPACING	99.5	IN.
BEAM DEPTH	10	IN.
OPEN PORCH	0	FT.
HOME LENGTH	36	FT.

DIAPHRAGM CONSTRUCTION

DIAPHRAGM TYPE	Gypsum Ceiling	
FOAM BRAND	F-2100	
MINIMUM WIDTH	160	IN.
MAX PLF	219	PLF
MAX. END WALL REACTION	5840	LBS
MAX. INTERIOR REACTION	11980	LBS
MAX. SPAN	48	FT.

FLOOR CONSTRUCTION

FLOOR JOIST SIZE	2x6
FLOOR JOIST SPECIES	SPE
FLOOR JOIST GRADE	#2
DECKING GLUED TO JOISTS	YES

WALL CONSTRUCTION

BOTTOM PLATE THICKNESS	2x
TOP PLATE THICKNESS	2x
WALL TO FLOOR JOIST	#10
WALL TO CEILING FRAMING	#10
WALL TO WALL FASTENER	#10
	3.5"
	3.5"
	3.5"

GROUND TIE CHART

PIER HEIGHT (IN.)	NEAR BEAM ANGLE (DEG.)	FAR BEAM ANGLE (DEG.)	GROUND TIE SPACING (FT.)	MAX SPACING (FT.)
12	39.97		4	4'-0"
20	48.81		4	4'-0"
28	55.36	16.81	4	4'-0"
36	60.29	20.09	4	4'-0"
44	64.08	23.24	4	4'-0"
52	67.05	26.25	4	4'-0"
60	69.44	29.1	4	4'-0"
68	71.4	31.81	4	4'-0"

VERTICAL TRIB King Post Height* Porch End Wall

4	PT.
IN.	IN.

LEFT END WALL SHEAR WALL

DIST. TO NEXT SW MANUAL INPUT LOAD TO SHEARWALL

24	PT.
2256	LBS

PANEL LAYOUT

FROM MODULE EDGE PANEL LENGTH IN. FROM MODULE EDGE PANEL LENGTH IN.

4	IN.
156	IN.

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE

U.S.G.	YES	PVA
1		
247		

ONE SIDE OR TWO MAX. SHEARWALL PLF

VERTICAL TRIB King Post Height* Porch End Wall

4	PT.
IN.	IN.

SHEAR WALL 2

DIST. TO NEXT SW MANUAL INPUT LOAD TO SHEARWALL

32	PT.
5264	LBS

PANEL LAYOUT

FROM MODULE EDGE PANEL LENGTH IN. FROM MODULE EDGE PANEL LENGTH IN.

3	IN.
153	IN.

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE

U.S.G.	YES	PVA
2		
432		

ONE SIDE OR TWO MAX. SHEARWALL PLF

VERTICAL TRIB King Post Height* Porch End Wall

4	PT.
IN.	IN.

SHEAR WALL 3

DIST. TO NEXT SW MANUAL INPUT LOAD TO SHEARWALL

3008	LBS
------	-----

PANEL LAYOUT

FROM MODULE EDGE PANEL LENGTH IN. FROM MODULE EDGE PANEL LENGTH IN.

4	IN.
156	IN.

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE

U.S.G.	YES	PVA
1		
247		

ONE SIDE OR TWO MAX. SHEARWALL PLF

VERTICAL TRIB King Post Height* Porch End Wall

4	PT.
IN.	IN.

SHEAR WALL 4

DIST. TO NEXT SW MANUAL INPUT LOAD TO SHEARWALL

0	PT.
0	LBS

PANEL LAYOUT

FROM MODULE EDGE PANEL LENGTH IN. FROM MODULE EDGE PANEL LENGTH IN.

IN.	IN.
IN.	IN.

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE

ONE SIDE OR TWO MAX. SHEARWALL PLF

VERTICAL TRIB King Post Height* Porch End Wall

4	PT.
IN.	IN.

SHEAR WALL 5

DIST. TO NEXT SW MANUAL INPUT LOAD TO SHEARWALL

0	PT.
0	LBS

PANEL LAYOUT

FROM MODULE EDGE PANEL LENGTH IN. FROM MODULE EDGE PANEL LENGTH IN.

IN.	IN.
IN.	IN.

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE

ONE SIDE OR TWO MAX. SHEARWALL PLF

VERTICAL TRIB King Post Height* Porch End Wall

4	PT.
IN.	IN.

SHEAR WALL 6

DIST. TO NEXT SW MANUAL INPUT LOAD TO SHEARWALL

0	PT.
0	LBS

PANEL LAYOUT

FROM MODULE EDGE PANEL LENGTH IN. FROM MODULE EDGE PANEL LENGTH IN.

IN.	IN.
IN.	IN.

SHEARWALL PANEL GYP. BRAND FASTENERS ADHESIVE

ONE SIDE OR TWO MAX. SHEARWALL PLF

ZONE-ID Z3-1

JOIST	2
WALL SCR.	8
SC O.C.	23 @ 7
SF O.C.	26 @ 6
BEAM LAG	3

RESULT PASS

ZONE-ID Z3-2

JOIST	3
WALL SCR.	8
SC O.C.	51 @ 3
SF O.C.	62 @ 2.5
BEAM LAG	5

RESULT PASS

ZONE-ID Z3-3

JOIST	2
WALL SCR.	8
SC O.C.	29 @ 5.5
SF O.C.	32 @ 5
BEAM LAG	3

RESULT PASS

ZONE-ID

JOIST	
WALL SCR.	
SC O.C.	
SF O.C.	
BEAM LAG	

RESULT PASS

ZONE-ID

JOIST	
WALL SCR.	
SC O.C.	
SF O.C.	
BEAM LAG	

RESULT PASS

ZONE-ID

JOIST	
WALL SCR.	
SC O.C.	
SF O.C.	
BEAM LAG	

RESULT PASS

CHAMPION HOME BUILDERS

780 W. 430 SW, SUITE 100, PORTLAND, OREGON 97201
PHONE: 503.241.1000

PFS #11
Produced by
HILD HILCO
5/9/02

MODIFICATIONS

PROJECT: 2856H42P01
56'-0" X 26'-8"
4 BD 2 BT

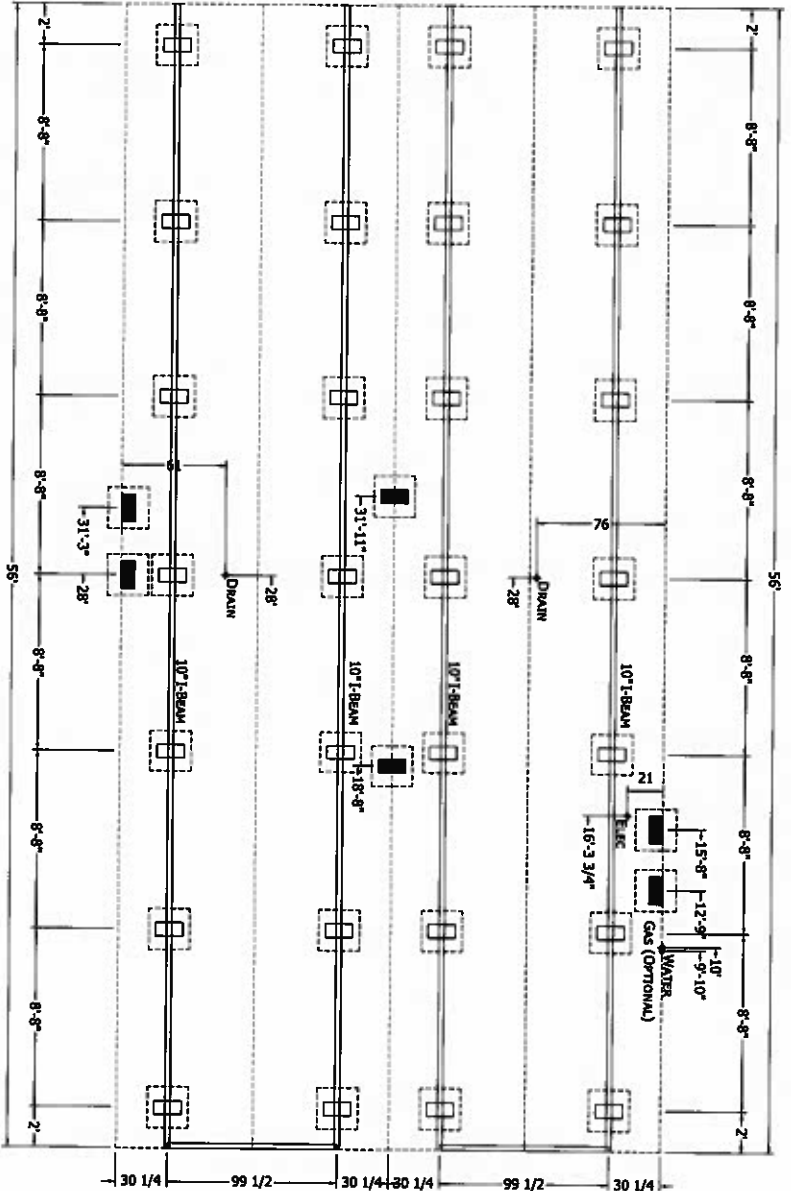
DATE: 04-10-23
SCALE: N.T.S.

TITLE: WIND ZONE III
SHEARWALL CALC

DESIGNER: ZEPHANZOU

SHEET: SW-Z03

INDUSTRIAL AND COMMERCIAL
ROOFING AND CEILING MATERIALS OF OREGON
CORPORATION 8 THRU 10 ST SW



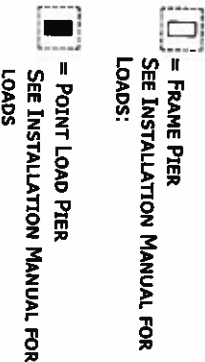
PLEASE READ AND UNDERSTAND THE FOLLOWING INFORMATION. THE MANUFACTURER DOES NOT DO FOUNDATION INSTALLATION OF HOMES. IT WILL BE THE RESPONSIBILITY OF THE DEALERSITE CONTRACTOR TO INSURE THAT ALL SITE WORK WILL CORRELATE WITH THE UNIT ORDERED.

NOTICE TO HOME INSTALLERS: MANUFACTURED HOMES WEIGH SEVERAL TONS. DO NOT ATTEMPT TO INSTALL ANY HOME ON SITE WITHOUT HAVING EXPERIENCE, KNOWLEDGE, AND UNDERSTANDING OF ALL INSTALLATION REQUIREMENTS. FAILURE TO MEET THESE REQUIREMENTS MAY RESULT IN SERIOUS INJURY OR DEATH TO AN INEXPERIENCED INSTALLER. INSTALLERS: PLEASE READ AND UNDERSTAND THE SET-UP AND INSTALLATION MANUAL SUPPLIED WITH THE HOME BEFORE ATTEMPTING ANY INSTALLATION OF ANY MANUFACTURED HOME.

- 1) THE MANUFACTURER ASSUMES NO RESPONSIBILITY FOR ACTUAL FOUNDATION DESIGN AND CONSTRUCTION.
- 2) ADDITIONAL BLOCKING IS REQUIRED AT EACH SIDE OF EXTERIOR DOORS AND AT EACH SIDE OF SIDEWALL OPENINGS GREATER THAN 4 FEET IN WIDTH (I.E., PATIO DOORS, PICTURE WINDOWS, ETC.).
- 3) FOR PIER REQUIREMENTS AT ENDWALL SEE FIGURE 8 IN THE INSTALLATION MANUAL.
- 4) ALL DWV, PLUMBING, GAS SUPPLY, ETC., DIMENSIONS ON PRINT MAY BE + OR - 12".

- 5) IT WILL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO VERIFY THE PROPER LOCATION OF COLUMN SUPPORT BLOCKING AND TO VERIFY THE PROPER MATING LINE GROWTH DIMENSIONS BASED UPON ACTUAL SITE CONDITIONS AND REQUIREMENTS (DOUBLE WIDS ONLY).
- 6) ALLOW 1/2" AT MATING LINE FOR MATE UP GROWTH.
- 7) SEE SET-UP AND INSTALLATION MANUAL FOR PERIMETER BLOCKING REQUIREMENTS.
- 8) FOOTER SIZES ARE DEPENDENT ON MATERIAL, USED, SOIL CONDITIONS, AND LOADS GENERATED FROM THE INSTALLATION MANUAL.

PERMANENT FOUNDATIONS: CHECK LOCAL BUILDING CODES AND REGULATIONS AND CONSULT A REGISTERED PROFESSIONAL OR STRUCTURAL ENGINEER WHEN YOU ARE SITING YOUR HOME ON A PERMANENT FOUNDATION (SUCH AS A FULL BASEMENT, CRAWL SPACE, OR LOAD BEARING PERIMETER FOUNDATION).



MODIFICATIONS

PROJECT: 2856H42P01
56'-0" x 26'-8"
4 BD 2 BT

TITLE: PIER FOUNDATION PLAN

SHEET: PR-101

DRAWN BY: STW
DATE: 04-10-23
SCALE: 3/8" = 1'-0"

FILENAME: 2856H42P01

PROFESSIONAL ENGINEER AND ARCHITECT
REGISTERED AND LICENSED IN THE STATE OF MICHIGAN
COMMITTEE # 3172-200 BY DIVISION

CITY OF SANDUSKY, OHIO
DEPARTMENT OF PLANNING

BOARD OF ZONING APPEALS REPORT

APPLICATION FOR AN AREA VARIANCE TO PERMIT
A MURAL FACING THE PUBLIC RIGHT-OF-WAY AT
2035 FIRST ST. PARCEL (57-02639.000)

Reference Number: PVAR24-0012

Date of Report: May 3, 2024

Report Author: Alec Ochs, Assistant Planner



City of Sandusky, Ohio Board of Zoning Appeals Report

BACKGROUND INFORMATION

Property Owner: Hoty Marine Group
5003 Milan Rd.
Sandusky, OH 44870

Authorized Agent: Kula Lynch
5003 Milan Rd.
Sandusky, OH 44870

Site Location: 2035 First St.
Sandusky, Ohio 44839

Current Zoning: CR - Commercial Recreation

Surrounding Zoning:
North: CR - Commercial Recreation
South: CR - Commercial Recreation
East: CR - Commercial Recreation
West: CR - Commercial Recreation

Surrounding Uses: Business, Residential

Existing Use: Marina

Proposed Use: Marina

Applicable Plans & Regulations: 1137 Commercial Districts

Variance Requested: 1) A variance to allow a sign that exceeds the maximum mass factor requirements.

SITE DESCRIPTION

(Subject Property Outlined in Yellow)



Zone Map Setbacks



PUD - Planned Unit Development



Parcels



TRO - Transient Rental Overlay



Zoning

AG - Agriculture

CA - Commercial Amusement

CR - Commercial Recreation

CS - Commercial Service

DBD - Downtown Business

GB - General Business

GM - General MANufacturing

LB - Local Business

LM - Local Manufacturing

P - Auto Parking

PF - Public Facilities

R1-40 - Single Family Residential

R1-50 - Single Family Residential

R1-60 - Single Family Residential

R1-75 - Single Family Residential

R2F Two-Family Residential

RB - Roadside Business

RMF - Multi-Family Residential

RRB - Residential/Business

RS - Residential Suburban

County Auditor Property Map (subject property outlined in red)



Bird eye photo (taken March 2024)



Northwest Facing Perspective – Potential mural location – May 2024



PROJECT DESCRIPTION

The applicant proposes to place an approximately 1,500 sq. ft. mural on the southern facing building façade along First St.

PLANNING DIVISION COMMENTS

The code has a maximum mass factor allowance of 222.75 sq. ft. for exterior wall signage on this façade. At approximately 135'x11', the mural would cover a maximum of 1,500 square feet. Total coverage is anticipated to be smaller than this, but it is uncertain due to the nature of "free-style artwork".

In August of 2023, the site plan of the building used for the proposed façade was brought to the Planning Commission for site plan approval. Prior to the meeting, Staff discussed and recommended the placement of a mural at this site to add curb appeal and to offset additional obstructions blocking views of the lake from the sidewalk.

In December of 2023, the applicant applied for a Destination Development grant from Shores & Islands Ohio to complete the mural project and the Planning Division provided a letter of support for the project. In March of 2024, staff was notified that they were awarded a grant from Shores & Island Ohio and began working with them on the next steps of implementing the project including this variance application.

Excerpt from the support letter provided by the city for the grant proposal:

The proposed project will be located on a prominent roadway that connects the center of our city to our largest destination (Cedar Point) and adjacent land uses that attract boaters and

summer visitors from across the state and beyond. In addition to vehicular traffic, the 1st Street corrido is the future location of the extended Sandusky Bay Pathway, an ongoing project to connect the entire City of Sandusky with a multi-use pathway, which will also create a bikeable connection between Cedar Point and downtown. The prominence of this location and its visibility to such a broad range of residents and visitors make it a great applicant for this program.

Further, the Sandusky Public Arts & Culture Commission rates mural projects as highest in importance for their positive community impact over any type of public art project.

If installed, the proposed mural will have immediate destination impact as a widely accessible piece of public art in the city, and ongoing destination impact as a celebrated amenity along the Sandusky Bay Pathway. In addition to community enjoyment and increased access to the arts, this type of placemaking project is expected to increase the economic development potential of the surrounding neighborhood and contribute to the destination economy in the city overall.

RELEVANT CODE SECTIONS

CHAPTER.1143
Sign Regulations

1143.02 Definitions

Building or Structure Murals. Any decorative pictorial that is painted on a wall surface of a building or structure.

Wall Sign. A sign that is in any manner affixed to any exterior wall of a building or structure that projects not more than 12 inches from the building or structure wall, including signs affixed to architectural projections from a building provided the copy area of such signs remains on a parallel plane to the face of the building façade or to the face or faces of the architectural projection to which it is affixed.

1143.08 ALLOWABLE SIGNAGE.

- (c) Business and Commercial Districts.
- (1) Wall signage **per building wall facing a public right-of-way** based on the following chart:

Speed limit on street	Mass factor
25 mph	1.00
35 mph, single lane	1.65
35 mph, multi lane or 45 mph single lane	1.75
45 mph, multi lane or single lane greater than 45 mph	2.00
Downtown Design Review District	1.00

135' façade * 1.65 mass factor = 222.75 sq. ft.

CHAPTER 1111

Board of Zoning Appeals

1111.06 POWERS OF THE BOARD OF ZONING APPEALS.

1111.06(c)(1)

The Code states that no variance to the provision or requirements of the Zoning Code shall be granted by the Board unless the Board has determined that a practical difficulty does exist or will result from the literal enforcement of the Zoning Code. The factors to be considered and weighed by the Board in determining whether a property owner has proved practical difficulty include:

The applicant has stated:

1. Whether the variance is substantial;

- i. Yes, but we feel the value to the community outweighs concerns over scope of the project, especially since it is affixed to the building wall.

2. Whether the essential character of the neighborhood would be substantially altered or whether adjoining property would suffer a substantial detriment as a result of the variance;

- i. No.

3. Whether the variance would adversely affect the delivery of government services (i.e. water, sewer, garbage, fire, police or other);

- i. No, this is a mural affixed to a wall.

4. Whether the property owner purchased the property with the knowledge of the zoning restriction;

- i. The property was purchased prior to the adoption of the current zoning regulations.

5. Whether the property owner's predicament can be resolved through some method other than a variance;

- i. We could greatly reduce the scope of the mural but are looking to make a visual artistic impact on the area.

6. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance;

- i. Yes – art is part of the Bicentennial Vision Plan, and this planned installation would greatly add to First St.

7. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without a variance; and

- i. Yes, the property can still yield reasonable return but this installation is not solely for advertising purposes.

8. Whether the granting of the variance will be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City.

- i. No – See #6 above

DIVISION OF PLANNING COMMENTS

The proposed mural placement would not be contrary to the general purpose, intent or objectives of the Zoning Code or the Comprehensive Plan. Permitting new murals in the city have been stated as high importance in the adopted 2018 Public Art Plan and 2022 - 2024 Public Art Work Plans, and are aligned with goals and recommendations in the 2021 Downtown Master Plan. The mural has been awarded funding from Shores & Islands Ohio as a Destination Development project.

CONCLUSION/RECOMMENDATION

Planning staff strongly supports this proposal for creating a new piece of public art in the city and recommends approval of the requested variance at 2035 First St. parcel (57-02639.000) with the following conditions:

1. All necessary permits are obtained through the Building, Engineering, and Division of Planning and any other applicable agency prior to any work.

Application for Board of Zoning Appeals

STAFF USE ONLY:

Filing Date: _____ Hearing Date: _____ Reference Number: _____

Address of Property (or parcel number) for Variance Request: 2035 First Street

Name of Property Owner: Hoty Marine Group, LLC

Mailing Address of Property Owner: 5003 Milan Rd.

City: Sandusky State: OH Zip: 44870

Telephone #: 419-609-7000 Email: kula@hoty.com with copy to kris@hoty.cc

If same as above check here

Name of Applicant: _____

Mailing Address of Applicant: _____

City: _____ State: _____ Zip: _____

Telephone #: _____ Email: _____

Description of Proposal:

Mural on side of building

Variance Requested:

To increase size of allowable sign on the building wall from 222.75 SF (135' frontage x 1.65 mass factor) to 1,500 SF. We anticipate mural will be slightly smaller than this, but since this is free-style artwork, we would like to accommodate potential overage.

Section(s) of Zoning Code:

1143.08

Hoty Marine Group, LLC

pm


Signature of Property Owner

4/22/21

Date

Signature of Authorized Agent Date

APPLICATION #BZA-001

PRACTICAL DIFFICULTIES

(For ALL variance requests)

According to Chapter 1111.06(c)(1) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that a “practical difficulty” exists in order to approve a variance. The Board must consider the following factors. Please completely fill out all sections:

- 1) Would the variance be substantial?
Yes, but we feel the value to the community outweighs concerns over scope of the project, especially since it is affixed to the building wall.
- 2) Would the variance substantially alter the character of the neighborhood or would adjoining property owners suffer a substantial detriment because of the variance?
No.
- 3) Would the variance adversely affect the delivery of government services (e.g. water, sewer, fire, police)?
No, this is a mural affixed to a wall.
- 4) Was the property purchased with the knowledge of the zoning restrictions?
This property was purchased prior to the adoption of the current zoning regulations.
- 5) Can the property owner’s predicament be resolved through some method other than a variance?
We could greatly reduce the scope of the mural but are looking to make a visual artistic impact on the area.
- 6) Would the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance?
Yes - art is part of the Bicentennial Vision Plan and this planned installation would greatly add to First Street.
- 7) Would the property yield a reasonable return or can there be a beneficial use of the property without a variance?
Yes the property can still yield reasonable return but this installation is not for solely for advertising purposes.
- 8) Would the granting of the variance be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City?
No - see #6 above

UNNECESSARY HARDSHIP

(ONLY for variance requests involving a use of the property that is not permitted by the Zoning Code)

According to Chapter 1111.06(c)(2) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that an “unnecessary hardship” exists in order to approve a use variance. The Board must determine that ALL of the following conditions have been met. Please completely fill out all sections:

- 1) Does the variance request arises from such a condition which is unique and which is not ordinarily found in the same zoning district; and is created by the Zoning Code and not be an action or actions of the property owner or the applicant?

- 2) Would the granting of the variance will adversely affect the rights of the adjacent property owners or residents?

- 3) Does the strict application of the Zoning Code of which the variance is requested constitute unnecessary hardship upon the property owner or the applicant?

- 4) That the variance desired will not adversely affect the public health, safety, morals or general welfare.

- 5) That the granting of the variance desired will not be opposed to the general spirit and intent of the Zoning Ordinance

BOARD OF ZONING APPEALS REPORT

APPLICATION FOR AN AREA VARIANCE TO ALLOW
THE CONSTRUCTION OF A NEW RESIDENTIAL
STRUCTURE WHICH CREATES A REAR YARD
SETBACK OF LESS THAN THE REQUIREMENTS AT
889 CROSSTREE LN. PARCEL (57-05728.264)

Reference Number: PVAR24-0009

Date of Report: May 7, 2024

Report Author: Alec Ochs, Assistant Planner



City of Sandusky, Ohio

Board of Zoning Appeals Report

BACKGROUND INFORMATION

Property Owner: Nicole and Kenneth Ganley
2383 Springside Oval
Brecksville, OH 44141

Site Location: 889 Crosstree Ln.
Sandusky, OH 44870

Current Zoning: Admirals Harbour Residential Planned Unit Development – Harbour Lagoons Lot 32
– compliance with R1-75 Single Family Residential District standards.

Surrounding Zoning:

North: N/A

South: Admirals Harbour Residential Planned Unit Development – Harbour Lagoons Lot 33 – compliance with R1-60 Single Family Residential District standards.

East: Admirals Harbour Residential Planned Unit Development - Reserve Land

West: Admirals Harbour Residential Planned Unit Development – Harbour Lagoons Lot 31 – compliance with R1-75 Single Family Residential District standards.

Surrounding Uses: Residential

Existing Use: Residential

Proposed Use: Residential

Applicable Plans & Regulations: City of Sandusky Zoning Code Sections 1129.14 & Admirals Harbour Residential Planned Unit Development – Ordinance No. 97-082

Variances Requested:

1. A 21.13' rear yard setback - a relief of 28.87'.

SITE DESCRIPTION

(Subject Planned Unit Development Outlined in black | Subject property outlined in yellow)



Zone Map Setbacks



PUD - Planned Unit Development



Parcels



TRO - Transient Rental Overlay

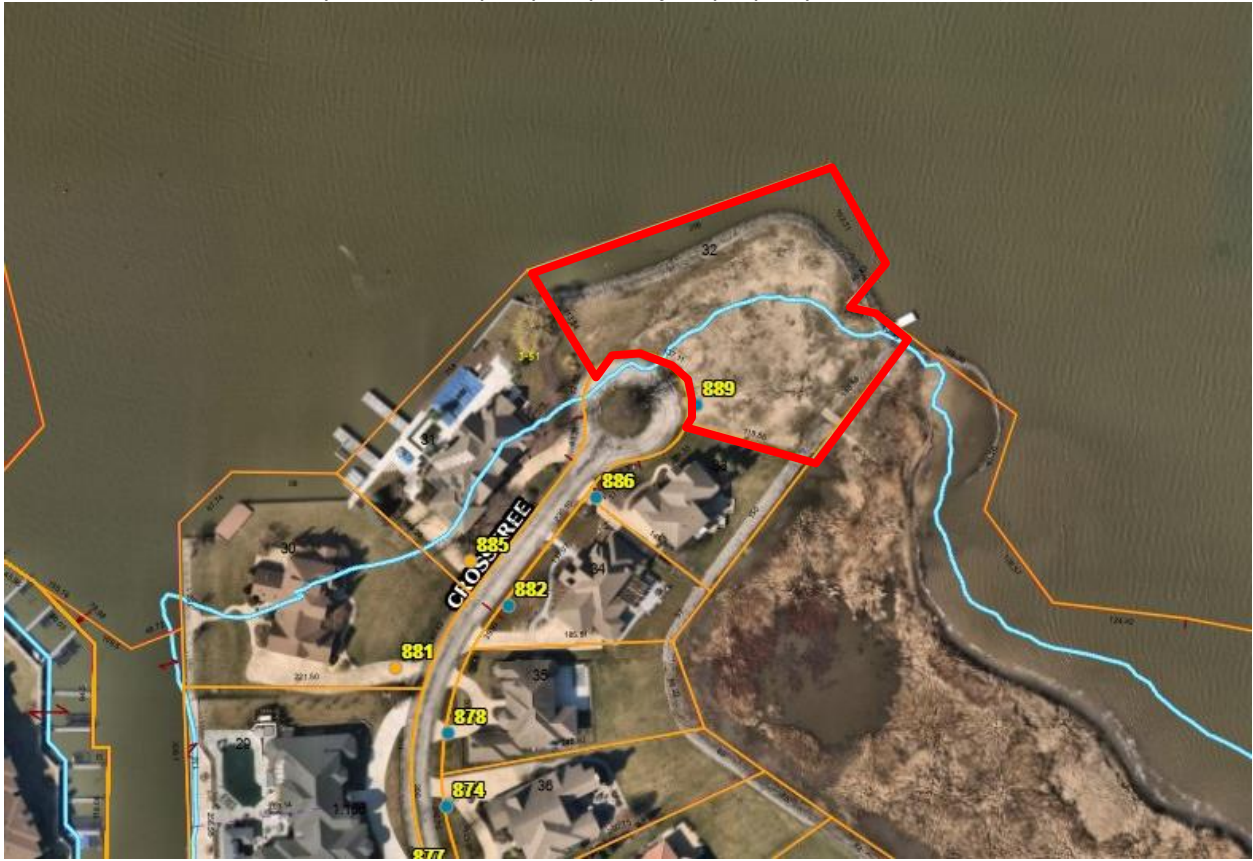


Zoning

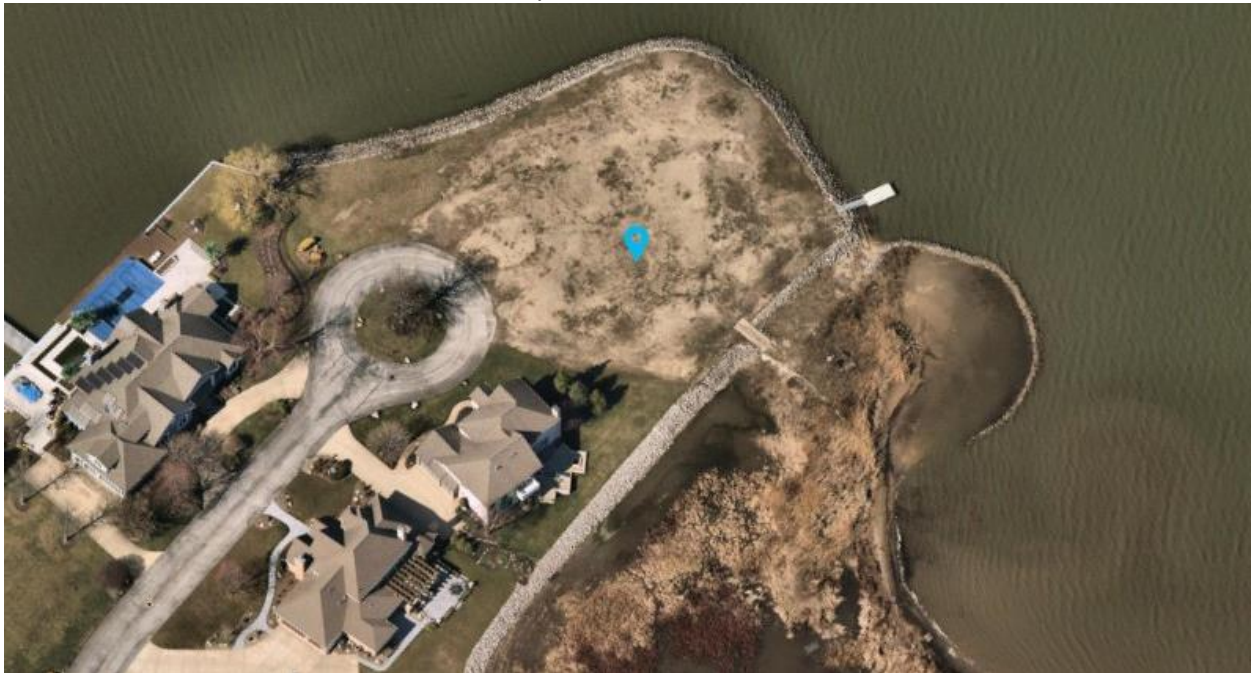
- AG - Agriculture
- CA - Commercial Amusement
- CR - Commercial Recreation
- CS - Commercial Service
- DBD - Downtown Business
- GB - General Business
- GM - General MAnufacturing
- LB - Local Business
- LM - Local Manufacturing
- P - Auto Parking

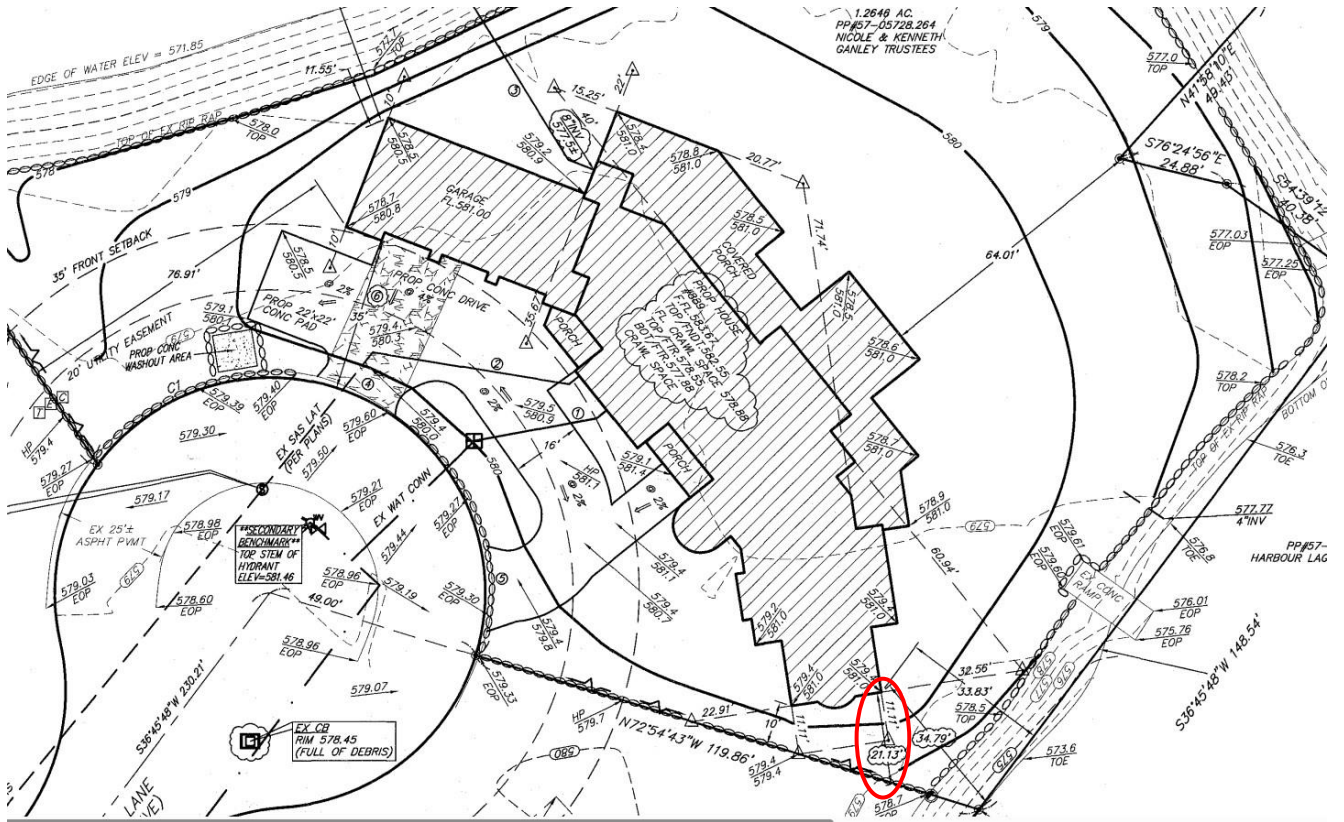
- PF - Public Facilities
- R1-40 - Single Family Residential
- R1-50 - Single Family Residential
- R1-60 - Single Family Residential
- R1-75 - Single Family Residential
- R2F Two-Family Residential
- RB - Roadside Business
- RMF - Multi-Family Residential
- RRB - Residential/Business
- RS - Residential Suburban

County Auditor Property Map (subject property outlined in red)



Bird eye view - March, 2024





PROJECT DESCRIPTION

The applicant is in the pre-process of building an new single family home. Due to the large width of the house and the semi-horseshoe shape, the home does not comply with the setback requirements.

Admirals Harbour Residential Planned Unit Development – Ordinance No. 97-082 references that lots 15 to 32 shall comply with R1-75/One-Family Residential Districts standards for front, side, and rear yard setback distances. R1-75 – Single Family Residential Districts requires a minimum 50 foot rear yard setback. The proposed rear yard setback is apprximeely 21.13’ feet. All other setback requirements are met.

The shape of the yard and home creates a rear yard that does not meet the R1-75 – Single Family Residential Zoning District standards. The smallest rear-yard measurement, measuring from the closest rear wall of the building across the full width of the nearest lot line, is 21.13 feet. This is the number used for the variance request.

Variences Requested:

1. A 21.13’ rear yard setback - a relief of 28.87’.

RELEVANT CODE SECTIONS

1129.14 SCHEDULE OF AREA, YARD, AND HEIGHT REQUIREMENTS.

		Minimum lot size			Minimum yard dimensions			Max. Height	
		Area per unit (sq. ft.)	Width at Front building depth line		Side Width		Rear Depth	Main Building	
District	Dwelling or building type		(ft.)	(ft.)	Single (ft.)	Total (ft.)	30% or (ft.)	Story	Ft.
R1-75	1 Fam. Dw.	12,000	75	35	5	15	50	2	30

(..)

(e) The rear yard of a zoning lot for main buildings shall be not less than 30% of the depth of lot or the depth set forth in Section 1129.14, for the district in which it is located, whichever is the lesser. (1980 Code 151.20)

PAGE 2 - ORDINANCE NO. 97-082

K. That all new dwellings on proposed Lots 15 to 32, inclusive, and Lots 35 to 45, inclusive, comply with the "R1-75"/One-Family Residential Districts standards for front, side and rear yard setback distances from those respective lot lines;

(1980 Code 151.31)

CHAPTER 1111

Board of Zoning Appeals

1111.06 POWERS OF THE BOARD OF ZONING APPEALS.

1111.06(c)(1)

The Code states that no variance to the provision or requirements of the Zoning Code shall be granted by the Board unless the Board has determined that a practical difficulty does exist or will result from the literal enforcement of the Zoning Code. The factors to be considered and weighed by the Board in determining whether a property owner has proved practical difficulty include:

The applicant has stated:

1. Whether the variance is substantial;

i. No.

2. Whether the essential character of the neighborhood would be substantially altered or whether adjoining property would suffer a substantial detriment as a result of the variance;

i. No.

3. Whether the variance would adversely affect the delivery of government services (i.e. water, sewer, garbage, fire, police or other);

i. No.

4. Whether the property owner purchased the property with the knowledge of the zoning restriction;

i. The property owner is aware of the existence of the zoning code but not this specific requirement.

5. Whether the property owner's predicament can be resolved through some method other than a variance;

i. No.

6. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance;

i. Yes.

7. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without a variance; and

i. No.

8. Whether the granting of the variance will be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City.

i. No.

DIVISION OF PLANNING COMMENTS

The house footprint will have a 70' – 75' buffer between the closest façade of the house to the south as proposed. The rear yard is surrounded by the bay and the wetland reserve with no neighboring rear properties.

CONCLUSION/RECOMMENDATION

Planning staff supports the variance request at 889 Crosstree Ln. parcel (57-05728.264) and suggests the following conditions upon approval:

1. All applicable permits must be obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency prior to any construction.

Application for Board of Zoning Appeals

STAFF USE ONLY:

Filing Date: _____ Hearing Date: _____ Reference Number: _____

Address of Property (or parcel number) for Variance Request: 889 Crosstree Lane

Name of Property Owner: Nicole and Kenneth Ganley

Mailing Address of Property Owner: 2383 Springside Oval

City: Brecksville State: OH Zip: 44141

Telephone #: 216-375-7979 Email: ken_ganley@yahoo.com

If same as above check here

Name of Applicant: Brian VanDenHaute

Mailing Address of Applicant: 587 Lear Road

City: Avon Lake State: OH Zip: 44012

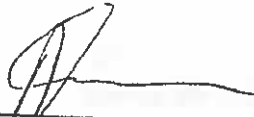
Telephone #: 440-552-7223 Email: Brian@dutchvalleyhomes.com

Description of Proposal:

Requesting a variance to allow a new, single family home to be constructed with a rear/side setback of 33.83' due to the unique shape of the lot. The proposed location of the setback creates confusion as to it being either a side or rear setback. The prior home that was constructed on this lot was approved and had a shorter setback than what is proposed. Additionally, numerous homes on this street are not situated in accordance with R1-75. Variance Requested: 33.83' as opposed to the standard 50' for R1-75 zoned parcels. *However, because of the ambiguity of interpretation of whether the setback is a rear or side yard the variance request is being submitted in an abundance of caution in order to promote compliance with the intent of the zoning code.*

Section(s) of Zoning Code:

Ordinance 97-082 , Section K. R1-75



Signature of Property Owner

5/1/24

Date

Brian Van Den Haute

Signature of Authorized Agent

5/1/24

Date

APPLICATION #BZA-001

PRACTICAL DIFFICULTIES

(For ALL variance requests)

According to Chapter 1111.06(c)(1) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that a "practical difficulty" exists in order to approve a variance. The Board must consider the following factors. Please completely fill out all sections:

- 1) Would the variance be substantial?
No

- 2) Would the variance substantially alter the character of the neighborhood or would adjoining property owners suffer a substantial detriment because of the variance?
No

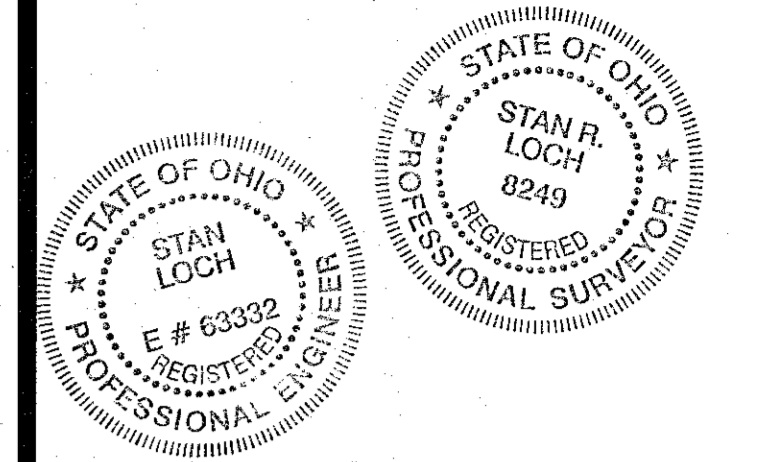
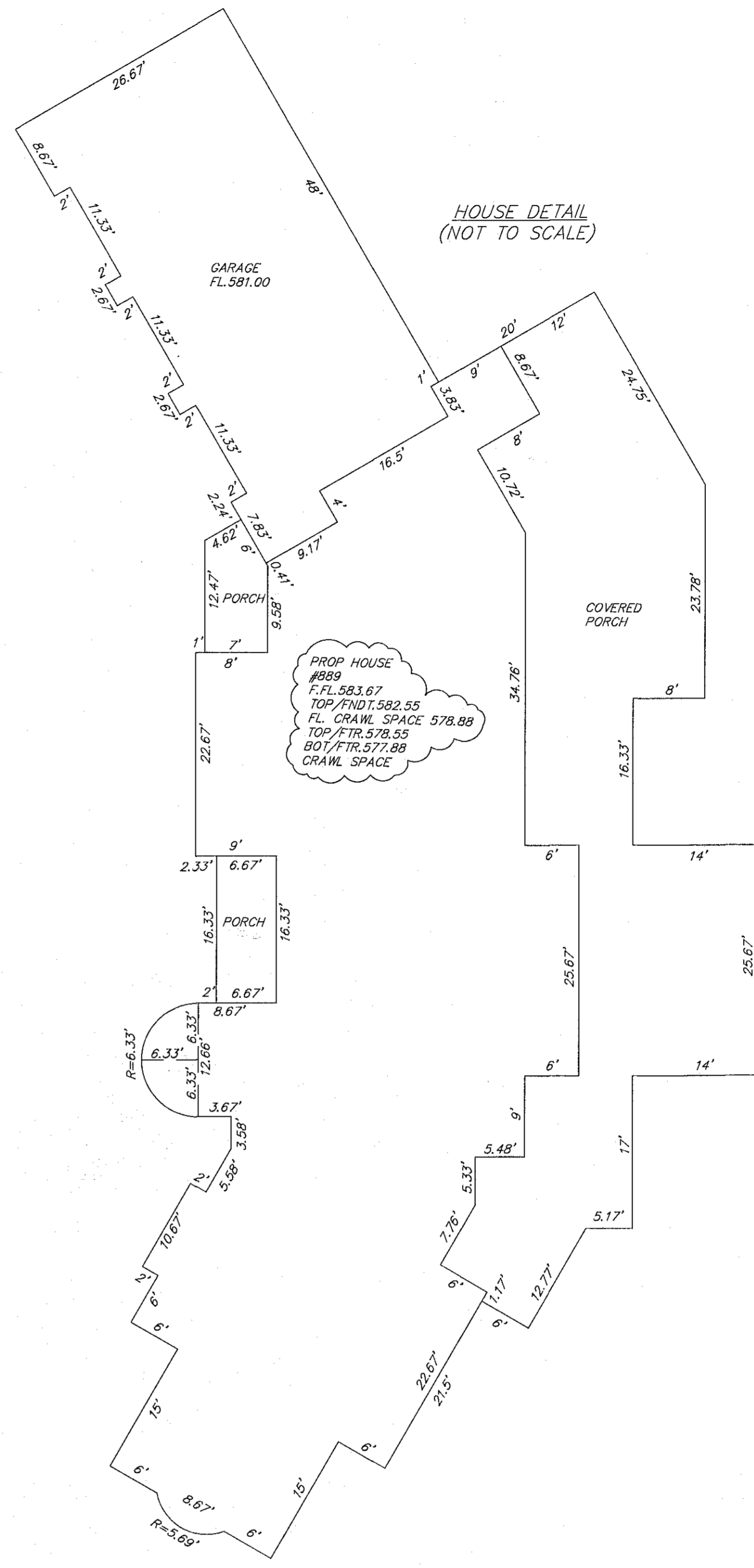
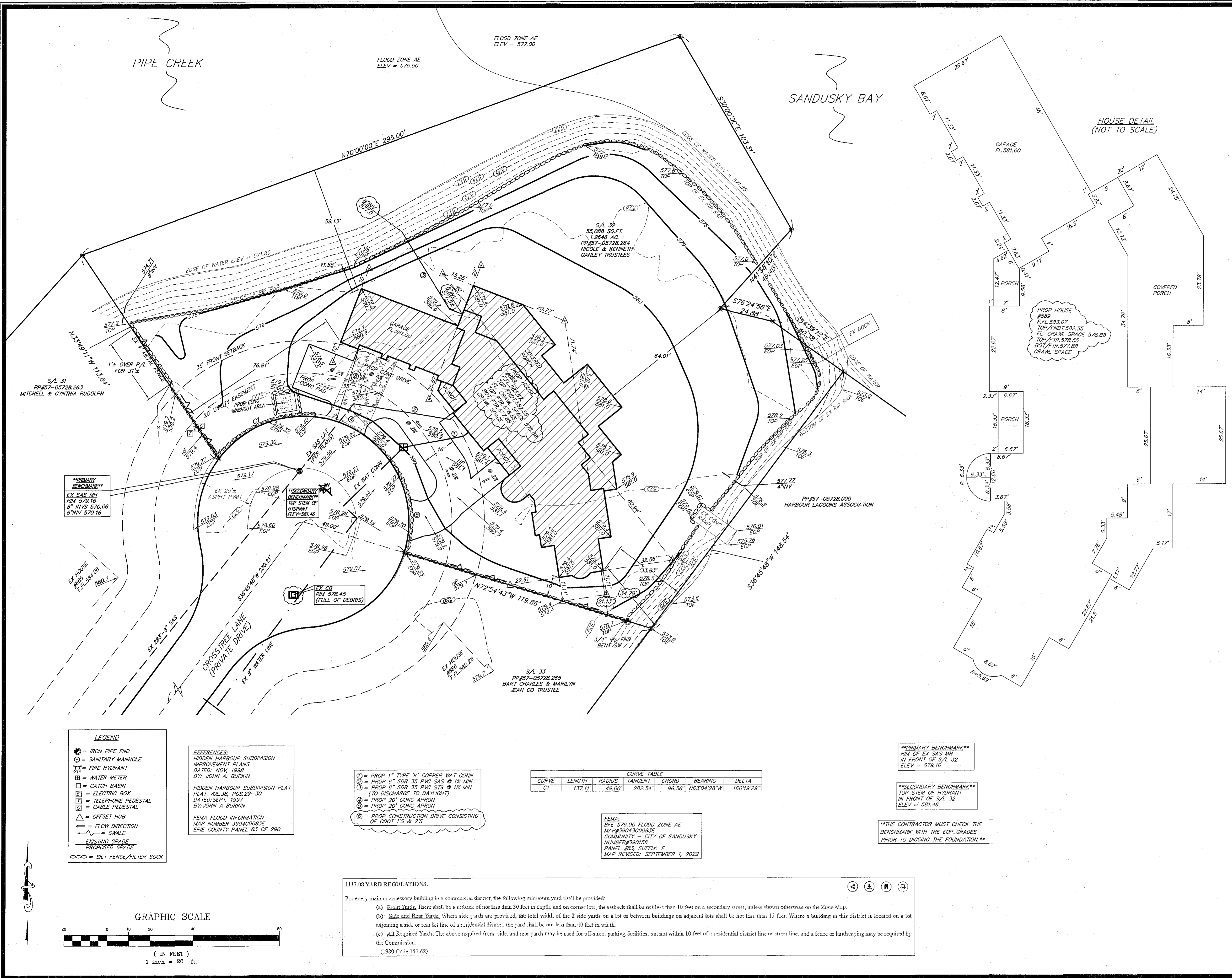
- 3) Would the variance adversely affect the delivery of government services (e.g. water, sewer, fire, police)?
No

- 4) Was the property purchased with the knowledge of the zoning restrictions?
No, because the prior home was constructed with a shorter setback than what is being requested herein, and there is no recorded variance for that prior home that would have shown the same
- 5) Can the property owner's predicament be resolved through some method other than a variance?
No

- 6) Would the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance?
Yes

- 7) Would the property yield a reasonable return or can there be a beneficial use of the property without a variance?
No

- 8) Would the granting of the variance be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City?
No



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF
 STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071



ENGINEERING and SURVEYING
 Civil Engineering · Land Surveying

SHEET CONTENT

SITE PLAN
 FOR
DUTCH VALLEY HOMES
 889 CROSSTREE LANE
 SUBLOT 32 OF THE
 HIDDEN HARBOUR
 SUBDIVISION
 PLAT VOL.38, PGS.29-30
 CITY OF SANDUSKY
 ERIE COUNTY
 STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	3/5/2024	RAISED HOUSE	JDC
2	4/19/2024	PER CITY	JDC
3	5/7/2024	ADDED DIMENSIONS	JDC

HORIZ. SCALE	VERT. SCALE
1" = 20'	
DRAWN BY	DATE
JDC	2-26-2024
CHECKED BY	DRAWING NO
SRL	20233947
JOB NO	SHEET
20233947	1 OF 1

- LEGEND**
- = IRON PIPE FND
 - = SANITARY MANHOLE
 - ⊕ = FIRE HYDRANT
 - ⊕ = WATER METER
 - = CATCH BASIN
 - ⊕ = ELECTRIC BOX
 - ⊕ = TELEPHONE PEDESTAL
 - ⊕ = CABLE PEDESTAL
 - △ = OFFSET HUB
 - = FLOW DIRECTION
 - = SWALE
 - = EXISTING GRADE
 - - - = PROPOSED GRADE
 - ∞ = SILT FENCE/FILTER SOCK

REFERENCES:
 HIDDEN HARBOUR SUBDIVISION
 IMPROVEMENT PLANS
 DATED: NOV 1998
 BY: JOHN A. BURKIN
 HIDDEN HARBOUR SUBDIVISION PLAT
 PLAT VOL.38, PGS.29-30
 DATED: SEPT. 1997
 BY: JOHN A. BURKIN
 FEMA FLOOD INFORMATION
 MAP NUMBER 3904C0083E
 ERIE COUNTY PANEL 83 OF 290

- ① = PROP 1" TYPE 'K' COPPER WAT CONN
- ② = PROP 6" SDR 35 PVC SAS @ 1% MIN
- ③ = PROP 6" SDR 35 PVC SIS @ 1% MIN (TO DISCHARGE TO DAYLIGHT)
- ④ = PROP 20" CONC APRON
- ⑤ = PROP 20" CONC APRON
- ⑥ = PROP CONSTRUCTION DRIVE CONSISTING OF 000T 1'S & 2'S

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	137.11'	49.00'	292.54'	96.56'	N63°04'28"W	160°19'29"

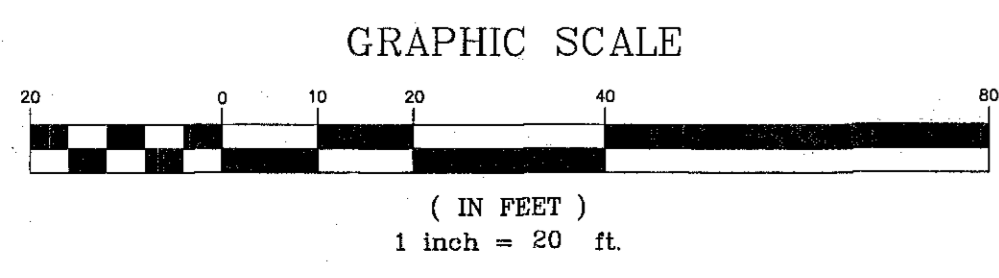
FEMA:
 BFE 576.00 FLOOD ZONE AE
 MAP#3904C0083E
 COMMUNITY - CITY OF SANDUSKY
 NUMBER#390156
 PANEL #83, SUFFIX: E
 MAP REVISED: SEPTEMBER 1, 2022

****PRIMARY BENCHMARK****
 RIM OF EX SAS MH
 IN FRONT OF S/L 32
 ELEV = 579.16

****SECONDARY BENCHMARK****
 TOP STEM OF HYDRANT
 IN FRONT OF S/L 32
 ELEV = 581.46

****THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE EOP GRADES PRIOR TO DIGGING THE FOUNDATION.****

1117.08 YARD REGULATIONS.
 For every main or accessory building in a commercial district, the following minimum yard shall be provided:
 (a) **Front Yards.** There shall be a setback of not less than 30 feet in depth, and on corner lots, the setback shall be not less than 10 feet on a secondary street, unless shown otherwise on the Zone Map.
 (b) **Side and Rear Yards.** Where side yards are provided, the total width of the 2 side yards on a lot or between buildings on adjacent lots shall be not less than 15 feet. Where a building in this district is located on a lot adjoining a side or rear lot line of a residential district, the yard shall be not less than 40 feet in width.
 (c) **All Required Yards.** The above required front, side, and rear yards may be used for off-street parking facilities, but not within 10 feet of a residential district line or street line, and a fence or landscaping may be required by the Commission.
 (1990 Code 151.83)



BOARD OF ZONING APPEALS REPORT

APPLICATION FOR AN AREA VARIANCE TO ALLOW
THE CONSTRUCTION OF A NEW RESIDENTIAL
ADDITION TO THE MAIN STRUCTURE WHICH
CREATES A REAR YARD SETBACK OF LESS THAN
THE REQUIREMENTS AT 1503 COLUMBUS AVE.
PARCEL (57-02120.000)

Reference Number: PVAR24-0009

Date of Report: May 7, 2024

Report Author: Alec Ochs, Assistant Planner



City of Sandusky, Ohio

Board of Zoning Appeals Report

BACKGROUND INFORMATION

Property Owner: Will Michael J & Allison M
1503 Columbus Ave.
Sandusky, OH 44870

Site Location: 1503 Columbus Ave.
Sandusky, OH 44870

Current Zoning: R2F – Two Family Residential

Surrounding Zoning:
North: R1-60 – Single Family Residential
South: R2F – Two Family Residential
East: R2F – Two Family Residential
West: R2F – Two Family Residential

Surrounding Uses: Residential

Existing Use: Residential

Proposed Use: Residential

Applicable Plans & Regulations: City of Sandusky Zoning Code Sections 1129.14

VariANCES Requested:

1. A 10.5' rear yard setback with a relief of 13.5'.

SITE DESCRIPTION

(Subject Property Outlined in yellow)



Zone Map Setbacks



PUD - Planned Unit Development



Parcels



TRO - Transient Rental Overlay

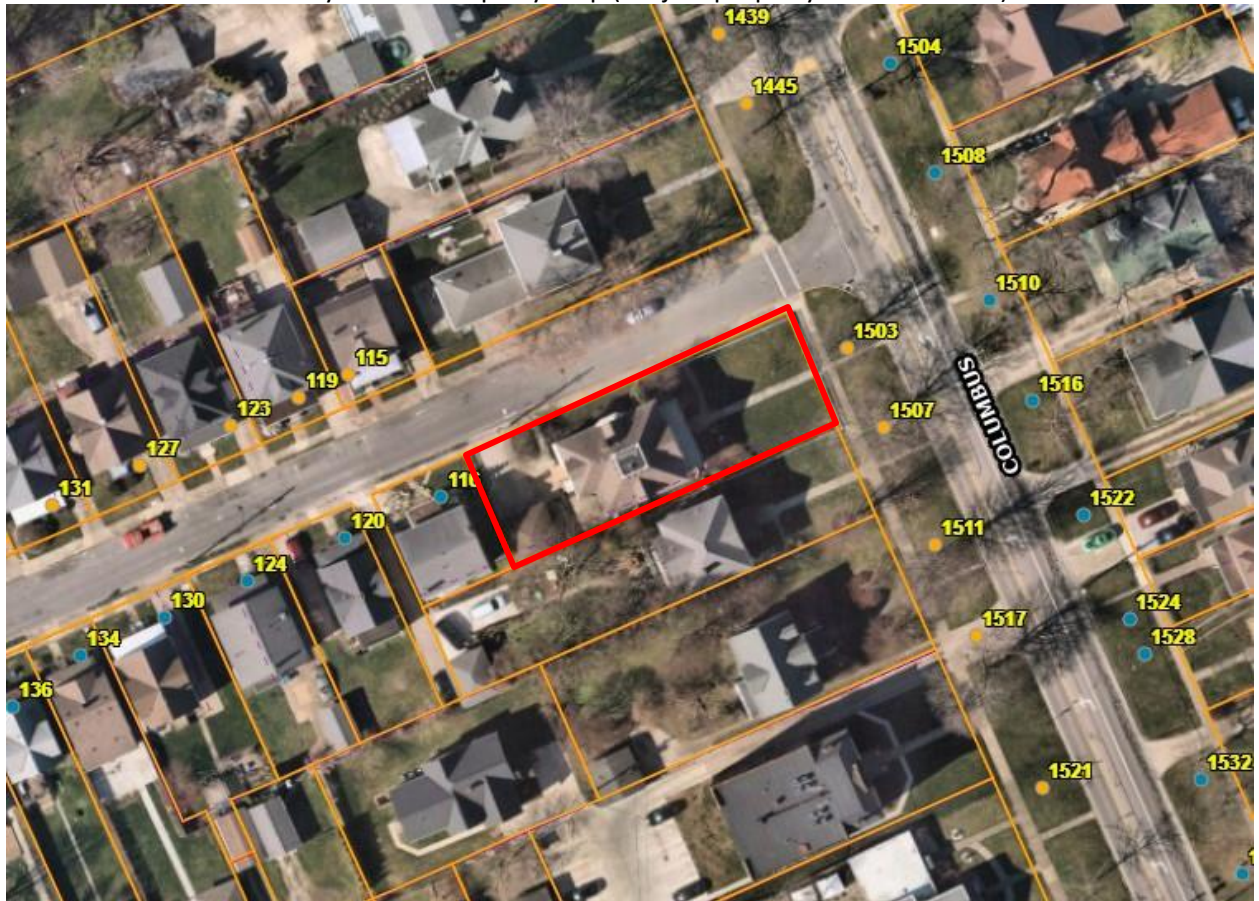


Zoning

- AG - Agriculture
- CA - Commercial Amusement
- CR - Commercial Recreation
- CS - Commercial Service
- DBD - Downtown Business
- GB - General Business
- GM - General MAnufacturing
- LB - Local Business
- LM - Local Manufacturing
- P - Auto Parking

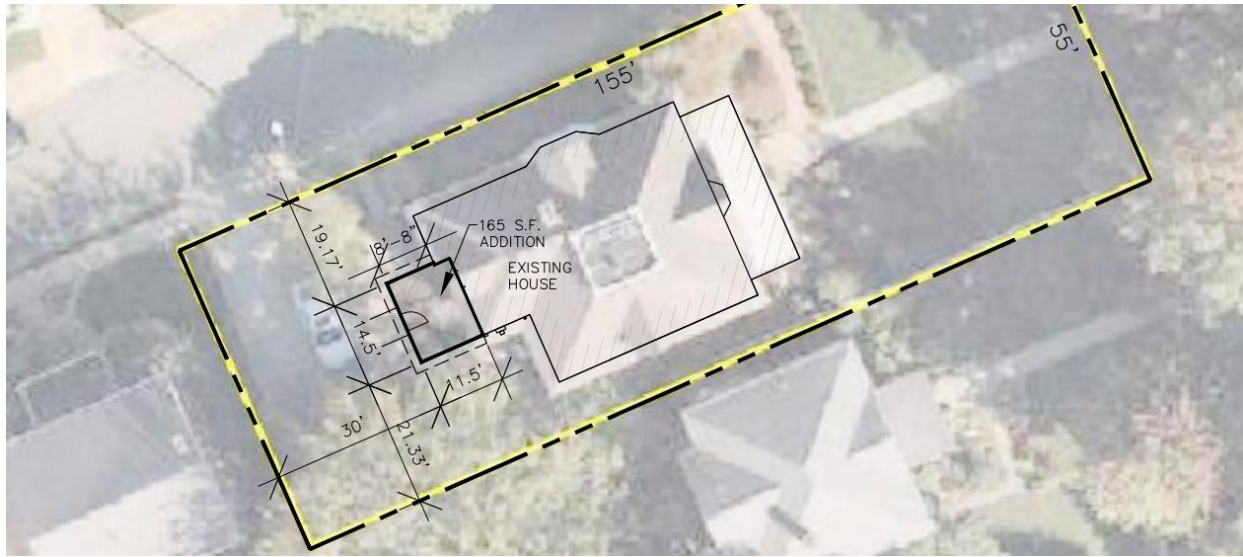
- PF - Public Facilities
- R1.40 - Single Family Residential
- R1.50 - Single Family Residential
- R1.60 - Single Family Residential
- R1.75 - Single Family Residential
- R2F Two-Family Residential
- RB - Roadside Business
- RMF - Multi-Family Residential
- RRB - Residential/Business
- RS - Residential Suburban

County Auditor Property Map (subject property outlined in red)



Street Perspective – July 2019





PROJECT DESCRIPTION

The applicant is in the pre-process of building an addition on the rear of the existing single family home. Due to the large front yard setback, the addition does not comply with the setback requirements.

The zoning code requires a minimum 40 foot rear yard setback at this location. The proposed rear yard setback is approximately 26.5' feet. All other setback requirements are met.

Variations Requested:

2. A 26.5' rear yard setback with a relief of 13.5'.

RELEVANT CODE SECTIONS

1129.14 SCHEDULE OF AREA, YARD, AND HEIGHT REQUIREMENTS.

District	Dwelling or building type	Minimum lot size		Minimum yard dimensions			Max. Height		
		Area per unit (sq. ft.)	Width (ft.)	at Front building depth (ft.)	Side Width (ft.)	Rear Depth (ft.)	Story	Ft.	
R2F	1 Fam. Dw.	4,300	33	25	3	10	30% or (ft.)	2	30
	2 Fam. Dw.	2,750	40	25	3	10	40	2	30

(..)

(e) The rear yard of a zoning lot for main buildings shall be not less than 30% of the depth of lot or the depth set forth in Section 1129.14, for the district in which it is located, whichever is the lesser.

(1980 Code 151.31)

CHAPTER 1111

Board of Zoning Appeals

1111.06 POWERS OF THE BOARD OF ZONING APPEALS.

1111.06(c)(1)

The Code states that no variance to the provision or requirements of the Zoning Code shall be granted by the Board unless the Board has determined that a practical difficulty does exist or will result from the literal enforcement of the Zoning Code. The factors to be considered and weighed by the Board in determining whether a property owner has proved practical difficulty include:

The applicant has stated:

1. Whether the variance is substantial;

i. No.

2. Whether the essential character of the neighborhood would be substantially altered or whether adjoining property would suffer a substantial detriment as a result of the variance;

i. No, the addition is not in the line of sight of the neighbors,

3. Whether the variance would adversely affect the delivery of government services (i.e. water, sewer, garbage, fire, police or other);

i. There would be no affect to the delivery of government services.

4. Whether the property owner purchased the property with the knowledge of the zoning restriction;

i. The property owner is aware of the existence of the zoning code but not this specific requirement.

5. Whether the property owner's predicament can be resolved through some method other than a variance;

i. There is not enough room in the side yards for the rear entrance.

6. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance;

i. Yes. Huntington place is a one way street and there would be no impact to anyone.

7. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without a variance; and

- i. The owner is planning on major interior renovations and this addition will allow them the access required for that work. Without this addition the owners would have to relocate to a different house to accommodate their family.

8. Whether the granting of the variance will be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City.

- i. No it would not be contrary. There is no affect.

DIVISION OF PLANNING COMMENTS

This home is an example of historic architecture in Sandusky, but is not registered as a landmark, so is not subject to design review. Staff recommends the applicant consider using the Sandusky Preservation Design Guidelines for direction in choosing the exterior façade design, materials and colors to best complement the original structure.

CONCLUSION/RECOMMENDATION

Planning staff supports the variance request at 1503 Columbus Ave. parcel (57-02120.000) and suggests the following conditions upon approval:

1. All applicable permits must be obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency prior to any construction.

Application for Board of Zoning Appeals

STAFF USE ONLY:

Filing Date: _____ Hearing Date: _____ Reference Number: _____

Address of Property (or parcel number) for Variance Request: 5702120.000

Name of Property Owner: WILL MICHAEL J & ALLISON M

Mailing Address of Property Owner: 1503 COLUMBUS AVE

City: SANDUSKY OH 44870 State: _____ Zip: _____

Telephone #: 419-366-6344 Email: gdlv326@aol.com

If same as above check here

Name of Applicant: John A. Feick

Mailing Address of Applicant: 224 E Water Street

City: Sandusky State: Ohio Zip: 44870

Telephone #: 419-625-2554 Email: feickja3@gmail.com

Description of Proposal:

To allow a 11'-5" rear entrance addition to the back of the house in the rear yard.

Variance Requested:

encroach into the rear yard 14'-5"

Section(s) of Zoning Code:

1129.13(e)

Signature of Property Owner

Date


Signature of Authorized Agent

3/28/24
Date

APPLICATION #BZA-001

UPDATED 12/2/2019

PRACTICAL DIFFICULTIES

(For ALL variance requests)

According to Chapter 1111.06(c)(1) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that a "practical difficulty" exists in order to approve a variance. The Board must consider the following factors. Please completely fill out all sections:

- 1) Would the variance be substantial?
no

- 2) Would the variance substantially alter the character of the neighborhood or would adjoining property owners suffer a substantial detriment because of the variance?
No, the addition is not in the line of sight of the neighbors

- 3) Would the variance adversely affect the delivery of government services (e.g. water, sewer, fire, police)?
There would be no affect to the delivery of government services

- 4) Was the property purchased with the knowledge of the zoning restrictions?
The property owner is aware of the existance of the zoning code but not this specific requirement.

- 5) Can the property owner's predicament be resolved through some method other than a variance?
There is not enough room in the side yards for the rear entance.

- 6) Would the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance?
Yes. Huntington Place is a one way street and there would be no impact on anyone.

- 7) Would the property yield a reasonable return or can there be a beneficial use of the property without a variance?
The Owner is planning on major interior renovations and this addition will allow them the access required for that work. Without this addition the Owners would have to relocate to a different house to accommodate their family.

- 8) Would the granting of the variance be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City?
No it wold not be contrary. Thire is no affect.

UNNECESSARY HARDSHIP

(ONLY for variance requests involving a use of the property that is not permitted by the Zoning Code)

According to Chapter 1111.06(c)(2) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that an "unnecessary hardship" exists in order to approve a use variance. The Board must determine that ALL of the following conditions have been met. Please completely fill out all sections:

- 1) Does the variance request arise from such a condition which is unique and which is not ordinarily found in the same zoning district; and is created by the Zoning Code and not be an action or actions of the property owner or the applicant?

With the detached garage and a corner lot there is no other location to construct a rear entrance.

- 2) Would the granting of the variance will adversely affect the rights of the adjacent property owners or residents?

The would be no affect on the neighbors. Only the neighbor to the south can even see the addition and there is major landscaping blocking their view.

- 3) Does the strict application of the Zoning Code of which the variance is requested constitute unnecessary hardship upon the property owner or the applicant?

Yes as there is no other location on the property to locate the rear entrance.

- 4) That the variance desired will not adversely affect the public health, safety, morals or general welfare. Since only one neighbor can even possibly see the proposed addition, and there will be no impact of the Will's accessing their property from Hintington Place.

- 5) That the granting of the variance desired will not be opposed to the general spirit and intent of the Zoning Ordinance

No, due to the narrow side yards and a garage already in the rear yard, the addition will not change the use of the rear yard and access either for their cars or walking.

FEICK DESIGN GROUP, INC.



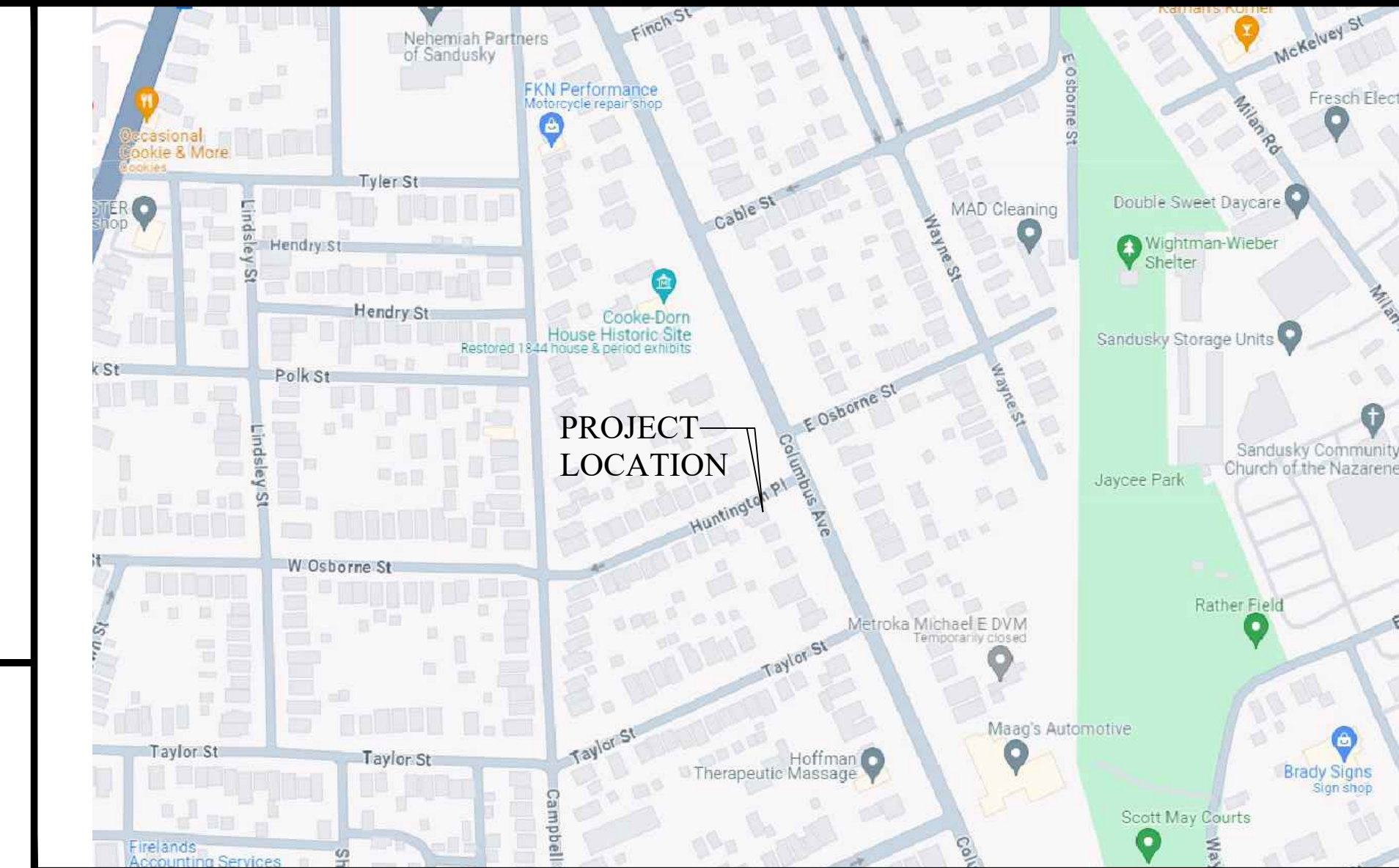
224 EAST WATER STREET
SANDUSKY, OHIO 44870
(419) 625-2554

REMODELING & ENTRY ADDITION for:

MIKE and ALLISON WILL

1503 COLUMBUS AVE. SANDUSKY, OHIO 44870

ERIE COUNTY PARCEL #57-02120.000



FEICK DESIGN GROUP, INC.
JOHN A. FEICK, ARCHITECT
224 EAST WATER STREET
SANDUSKY, OHIO
(419)-625-2554



GENERAL NOTES:

- ALL CONTRACTORS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING PHYSICAL CONDITIONS. BEFORE AND DURING CONSTRUCTION, CONTRACTORS WILL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS. EACH TRADE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT AND ERRORS, INCONSISTENCY OR OMISSION HE MAY DISCOVER. ANY DISCREPANCIES OR UNKNOWN FOUND SHALL BE BROUGHT TO THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- ALL PROPER PERMITS AND FEES PAID MUST BE OBTAINED PRIOR TO THE START OF ANY CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF EACH INDIVIDUAL CONTRACTOR TO SECURE AND PAY FOR THE REQUIRED STATE AND LOCAL PERMITS.
- ALL CONTRACTORS MUST BE LICENSED TO PERFORM WORK WITHIN THE GOVERNING MUNICIPALITY.
- AS A MINIMUM STANDARD, ALL WORK AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION. ALL ELEMENTS OF CONSTRUCTION SHALL CONFORM TO LOCAL AND OHIO BUILDING CODES. ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL AND NATIONAL ELECTRICAL CODES, AND ALL HARDWARE SHALL CONFORM TO THE OHIO BUILDING CODE.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS ON THE CONSTRUCTION FLOOR DURING ALL PHASES OF THE CONSTRUCTION FOR USE BY ALL TRADES. THE BUILDING DEPARTMENT APPROVED DRAWINGS SHALL BE FOR THE USE OF THE BUILDING INSPECTORS ONLY.
- THE DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW APPROXIMATE LOCATIONS, UNLESS SPECIFICALLY DIMENSIONED. DO NOT SCALE DRAWINGS. ANY INCIDENTAL ITEMS OR LABOR ETC NOT INCLUDED IN THESE DRAWINGS OR SPECIFICATIONS, BUT ARE REASONABLY IMPLIED AS NECESSARY FOR THE COMPLETE INSTALLATION OF ANY APPARATUS, ARE TO BE FURNISHED WITHOUT ADDITIONAL COST.
- THE DRAWINGS ARE INTENDED TO CONVEY THE SALIENT FEATURES AND FUNCTIONS OF EACH PIECE OF EQUIPMENT AND DO NOT ILLUSTRATE EVERY DETAIL NECESSARY FOR THE PROPER INSTALLATION AND OPERATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THE INSTALLATION MEETS THE MANUFACTURER'S REQUIREMENTS FOR PROPER OPERATION OF EACH PIECE OF EQUIPMENT.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING CONSTRUCTION. CONTRACTORS SHALL SUPPLY ALL NECESSARY CONSTRUCTION BARRIER'S AND SAFETY EQUIPMENT TO MAINTAIN OWNER'S SAFETY.
- GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN A REFUSE CONTAINER FOR ALL CONSTRUCTION DEBRIS. CONTRACTORS WORKING ON THE SITE SHALL CLEAN-UP WORK AREAS ON A DAILY BASIS TO THE SATISFACTION OF THE OWNER.
- ALL CUTTING AND PATCHING OF EXISTING STRUCTURE REQUIRED BY THIS WORK SHALL BE COMPLETED BY THE GENERAL CONTRACTOR (UNLESS OTHERWISE NOTED). STRUCTURAL CHANGES SHALL BE REVIEWED BY THE ARCHITECT.
- ANY DAMAGE BY CONTRACTORS TO EXISTING SURFACES, MATERIALS AND EQUIPMENT DURING THE CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION.
- INSTALL ALL MANUFACTURER'S ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY NOTED AND REVIEWED BY THE ARCHITECT. THE CONTRACTOR SHALL FURNISH TO THE OWNER ALL WARRANTIES & GUARANTEES REQUIRED AT THE CONCLUSION OF THE WORK.
- ALL MATERIALS SHALL BE NEW OR UNUSED QUALITY AND INSTALLED & FINISHED PER MANUFACTURER'S SPECIFICATIONS AND INDUSTRY STANDARDS.
- THE WORD "PROVIDE" WHEN USED SHALL MEAN "FURNISH AND INSTALL COMPLETE AND READY TO USE".
- ALL PENETRATIONS (PIPES, CONDUITS, DUCTS, ETC) THROUGH WALLS SHALL BE SLEEVED AND/OR SEALED AS DETAILED ELSEWHERE ON THESE DRAWINGS. FIRE RATED WALLS AND FLOOR ASSEMBLIES (AS INDICATED ON THE ARCHITECTURAL PLANS) SHALL RECEIVE FIRESTOP SEALANTS MATCHING THE FIRE WALL RATING, AND MEETING ASTM #E-814, E-119, UL-1479, & UL-263. ALL MATERIALS SHALL BE APPROVED BY THE LOCAL BUILDING CODE AUTHORITIES.
- DIMENSIONS INDICATED ARE TO ROUGH FRAMING OR TO EXISTING FINISHED SURFACES, UNLESS OTHERWISE NOTED. DIMENSIONS INDICATED FOR MASONRY ARE NOMINAL. DO NOT SCALE THE DRAWINGS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL CONTROL ALL LOCATIONS. ISSUE AN RFI TO THE ARCHITECT IF CONDITIONS ARE DIFFERENT THAN THE DRAWINGS CONVEY.
- PLUMBING, MECHANICAL OR ELECTRICAL CONTRACTORS SHALL NOT PENETRATE OR CUT STRUCTURAL MEMBERS WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.
- IF ANY TRADE CONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO APPLICABLE LOCAL, STATE OR FEDERAL APPLICABLE LAWS STATUTES, BUILDING CODES AND REGULATIONS, AND ORDINANCES, AND WITHOUT SUCH NOTICE TO THE ARCHITECT, HE SHALL BEAR ALL COSTS OF CORRECTING ATTRIBUTABLE THERE TO.
- MATERIALS AND ARRANGEMENTS NEITHER SHOWN NOR NOTED, BUT OBVIOUSLY NECESSARY TO COMPLETE THE WORK FOR PROPER PERFORMANCE AND USE, USUALLY INCLUDED IN WORK OF SIMILAR CHARACTER, SHALL BE FURNISHED AND INSTALLED WITHOUT ADDITIONAL COST TO THE OWNER.
- BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS OF THE WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN THE ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS.
- THE ARCHITECT IS NOT A SURVEYING COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THE OWNER TO RETAIN THE SERVICES OF A STATE OF OHIO REGISTERED SURVEYOR TO LAYOUT THE STRUCTURES ON THE SITE.
- THE ARCHITECT WILL NOT BE RESPONSIBLE AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS OR SEQUENCES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SAFETY PRECAUTIONS IN CONNECTION OF THE WORK.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ARCHITECT WILL NOT BE RESPONSIBLE AND WILL NOT HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE OWNER, TRADE CONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSON PERFORMING ANY OF THE WORK.

BUILDING CODE NOTES:

- 2019 RESIDENTIAL CODE OF OHIO WITH UPDATES
- 2017 OHIO PLUMBING CODE
- 2017 OHIO MECHANICAL CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2009 ACCESSIBLE AND USABLE BUILDINGS (ICC A117.1)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

BASIC WIND SPEED 115 MPH WIND EXPOSURE CATEGORY C

SEISMIC DESIGN CATEGORY A

SOIL TYPE B₉ - BENNINGTON SILT LOAM - CLAY LOAM AT FOUNDATION DEPTH -
SOIL BEARING CAPACITY 2,000 PSF

ATTIC CHORD OF TRUSS)	LIVE LOAD	20 PSF	(BOTTOM
ROOF	LIVE LOAD	20 PSF	
	SNOW LOAD	25 PSF	
	DEAD LOAD	15 PSF	
	COLL. LOAD	5 PSF	
SECOND FLOOR	LIVE LOAD	30 PSF	
	DEAD LOAD	15 PSF	
	COLL. LOAD	5 PSF	
FIRST FLOOR	LIVE LOAD	40 PSF	
	DEAD LOAD	15 PSF	
	COLL. LOAD	5 PSF	

- ROOF TRUSSES SHALL BE DESIGNED BY A STATE OF OHIO LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE BUILDING DEPARTMENT AS A SHOP DRAWING PRIOR TO THE START OF CONSTRUCTION.
- ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SPACE BY VENTILATION OPENINGS. PROTECT OPENINGS AGAINST THE ENTRANCE OF SNOW AND RAIN. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA VENTILATED. PROVIDE SOFFIT AND RIDGE VENYS AS REQUIRED.
- FIRE STOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR, OR ROOF LEVELS; AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS THEY OCCUR SUCH AS SOFFITS, OVER CABINETS, DROP CEILINGS, ETC.; AND AT OPENINGS AROUND VENTS, PIPES, DUCTS AND CHIMNEYS, AT CEILING AND FLOOR LEVELS; INSTALL WITH NON-COMBUSTIBLE MATERIALS.
- SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, AND IN THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING ROOM. THEY SHALL ALSO BE LOCATED ON EACH STORY INCLUDING BASEMENT AND CELLARS. ALL DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED.
- A READILY ACCESSIBLE OPENING OF NOT LESS THAN 22-INCHES BY 30-INCHES SHALL BE PROVIDED TO ALL ATTIC AREAS HAVING A CLEAR HEIGHT OVER 30-INCHES. ACCESS HATCH MUST BE INSULATED WITH A MINIMUM OF 2-INCH RIGID INSULATION.

DRAWING LEGEND

- T-1 TITLE SHEET, SITE PLAN, CODE NOTES
- A-1 FLOOR, FOUNDATION/ BSMT. and MEP PLANS
- A-2 ELEVATIONS and SECTIONS
- S-1 STRUCTURAL PLAN and DETAILS

DATE	REVISIONS

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TITLE SHEET, SITE PLAN

ENTRY ADDITION & REMODELING for:
MIKE & ALLISON WILL

1503 COLUMBUS AVE. SANDUSKY, OHIO 44870

DATE MARCH 21, 2024

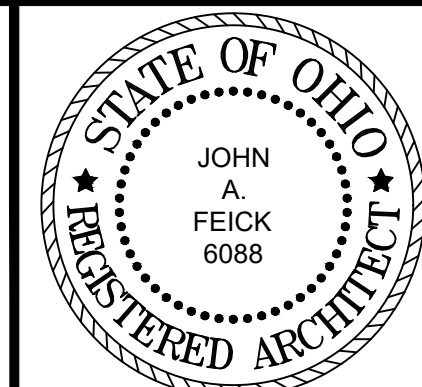
DRAWN BY SRD

CHECKED BY

SHEET NUMBER

T-1

PROJECT NO. E0036



FEICK DESIGN GROUP, INC.
JOHN A. FEICK, ARCHITECT
224 EAST WATER STREET
SANDUSKY, OHIO
(419) 625-2554

DATE	REVISIONS
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FLOOR PLAN, BSMT./ FND. PLAN & M.E.P. PLAN

ENTRY ADDITION & REMODELING for:

MIKE & ALLISON WILL

1503 COLUMBUS AVE. SANDUSKY, OHIO 44870

DATE MARCH 21, 2024

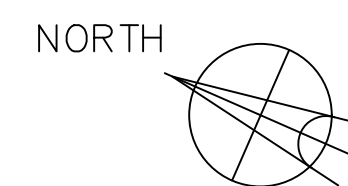
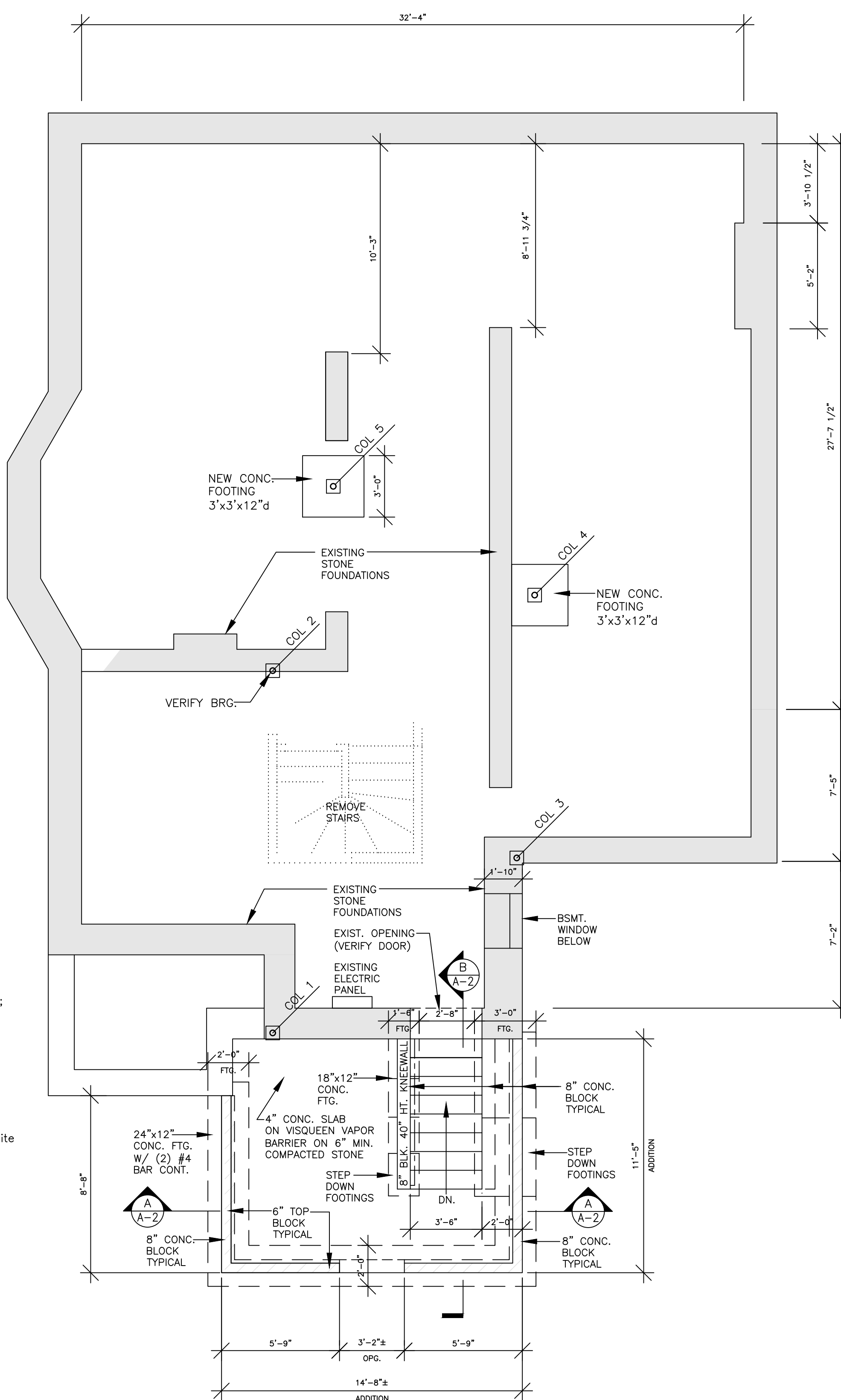
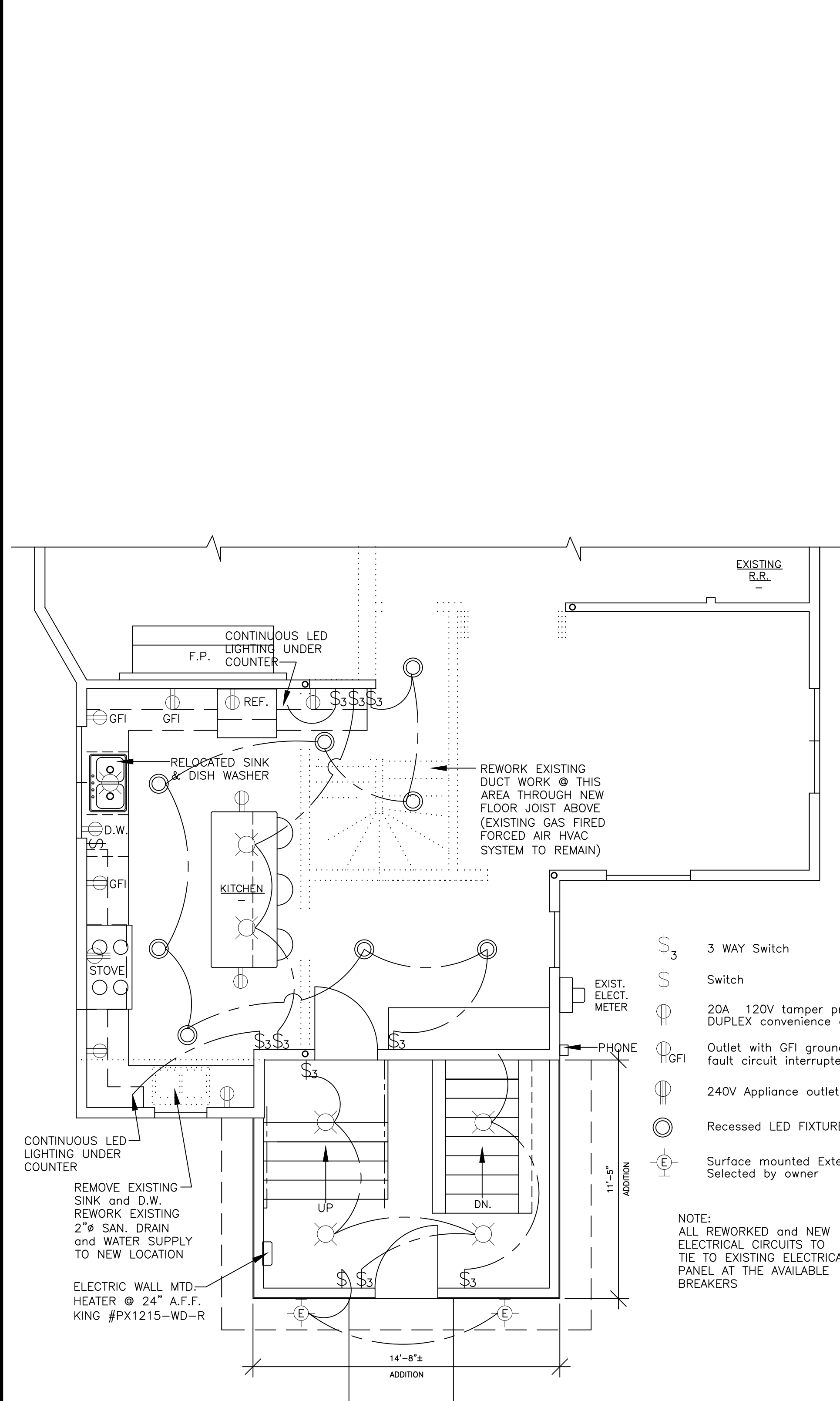
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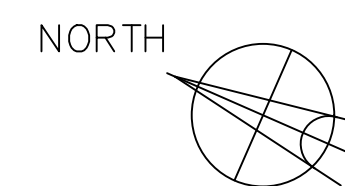
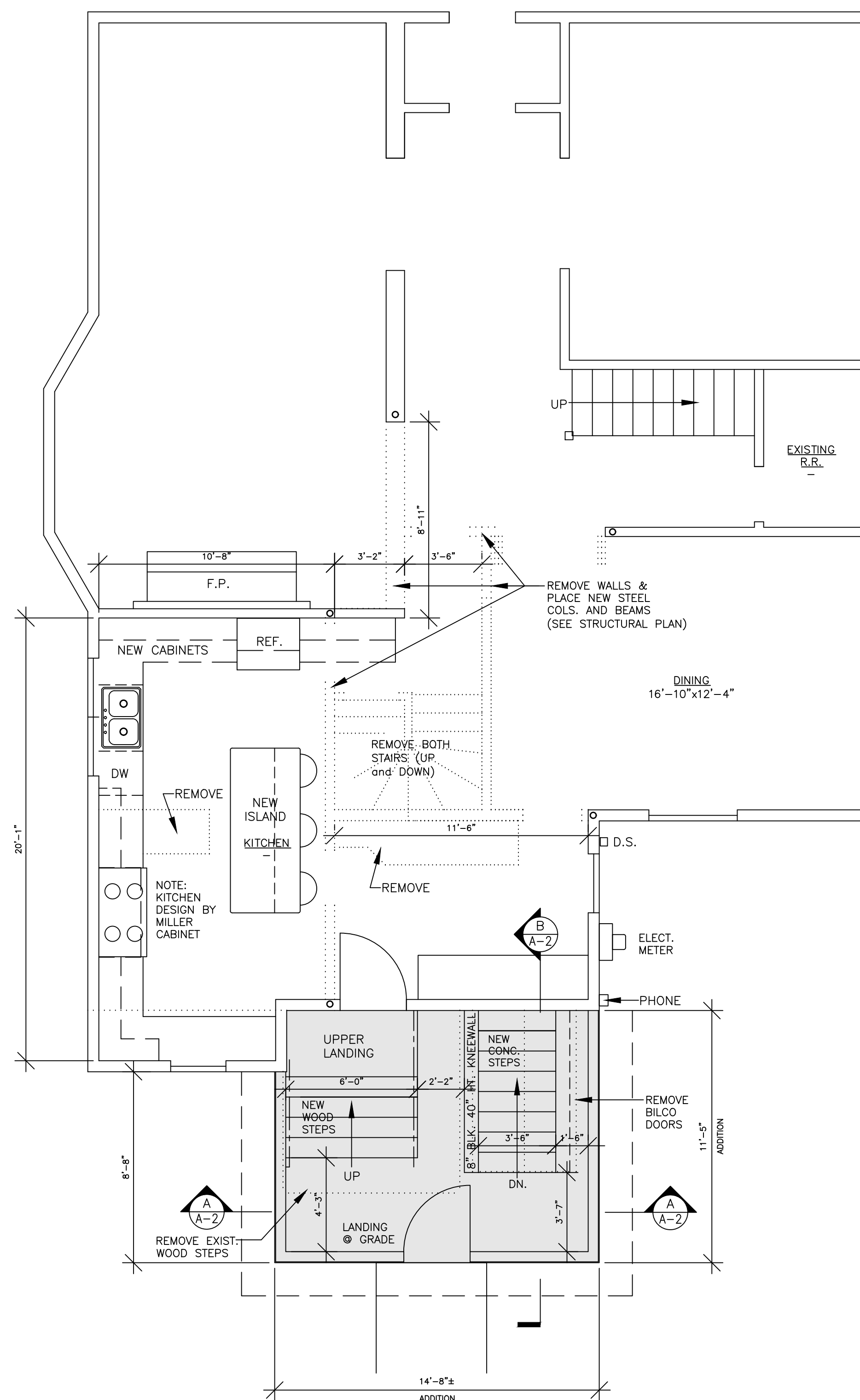
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A-1

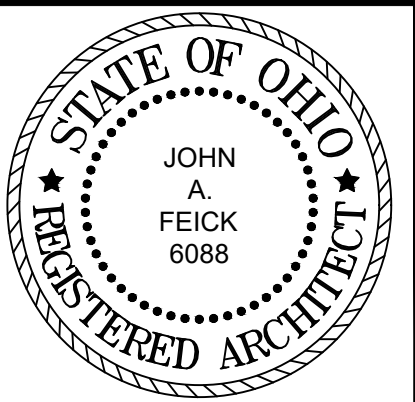
PROJECT NO. E0036



BASEMENT/ FOUNDATION PLAN
1/4"=1'-0"



FIRST FLOOR PLAN
1/4"=1'-0"



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 JOHN A. FEICK, ARCHITECT
 224 EAST WATER STREET SANDUSKY, OHIO
 (419) 625-2564

DATE	REVISIONS

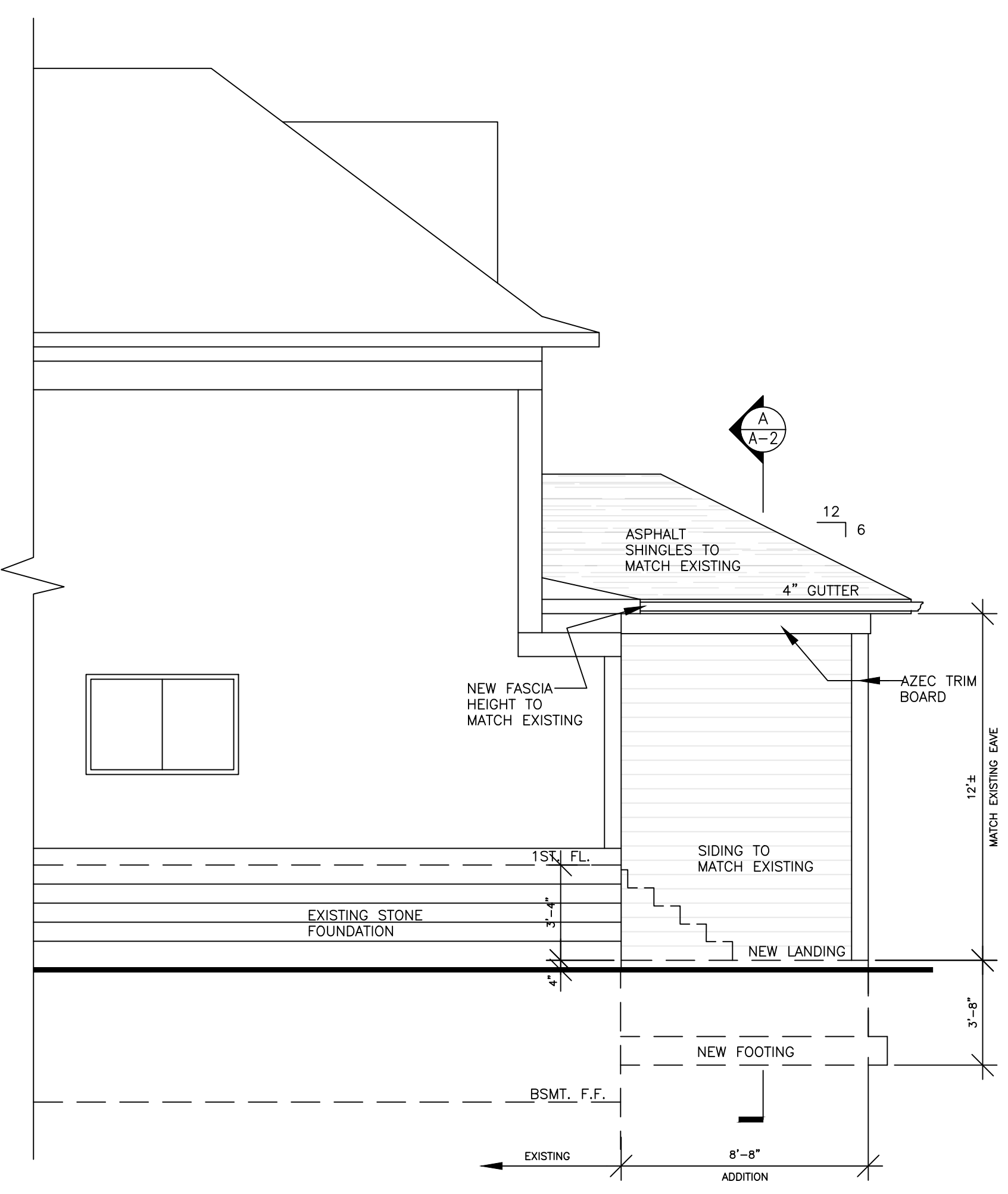
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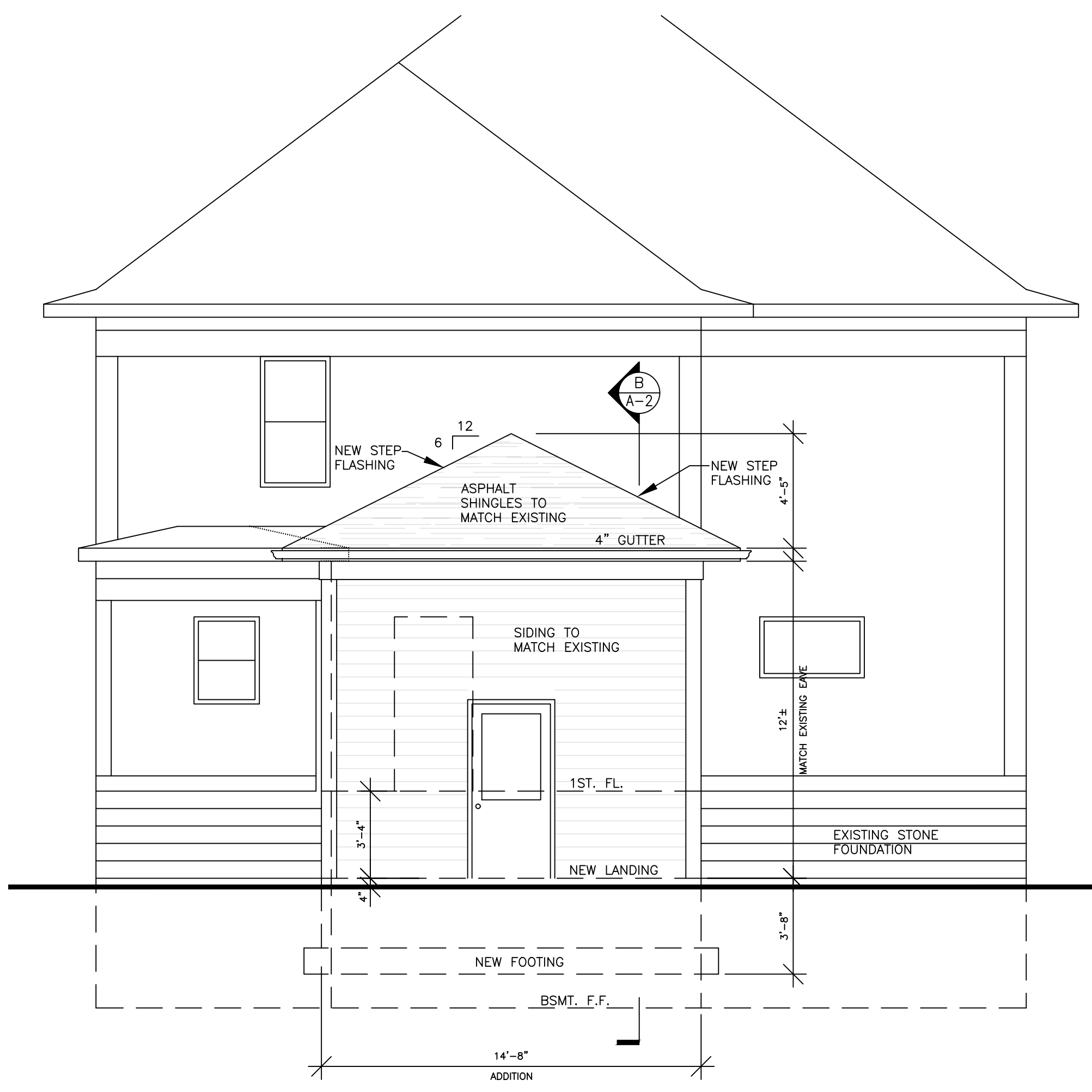
ELEVATIONS and SECTIONS

ENTRY ADDITION & REMODELING for:
MIKE & ALLISON WILL
 1503 COLUMBUS AVE. SANDUSKY, OHIO 44870

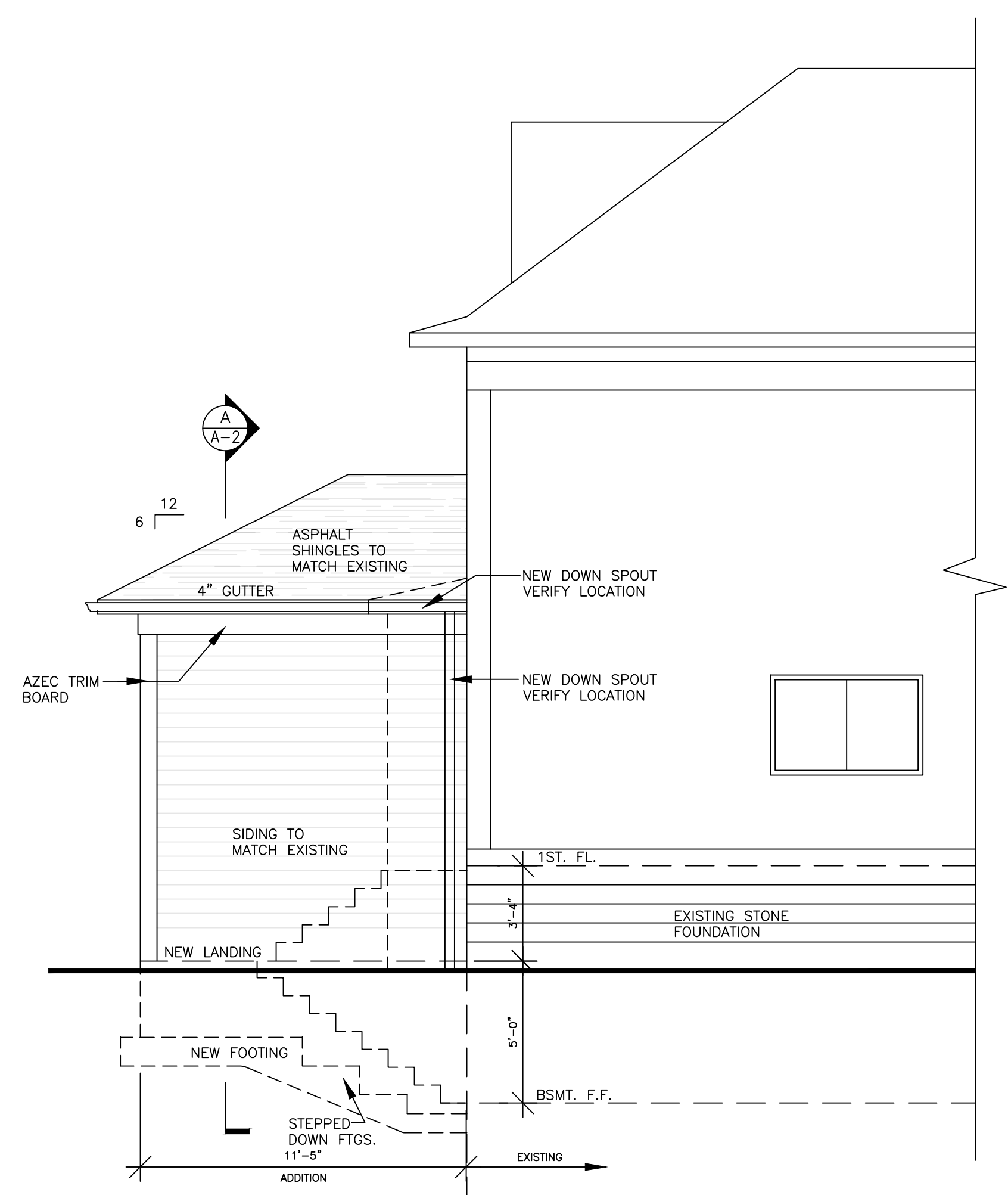
DATE	MARCH 21, 2024
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SHEET NUMBER	A-2
PROJECT NO.	E0036



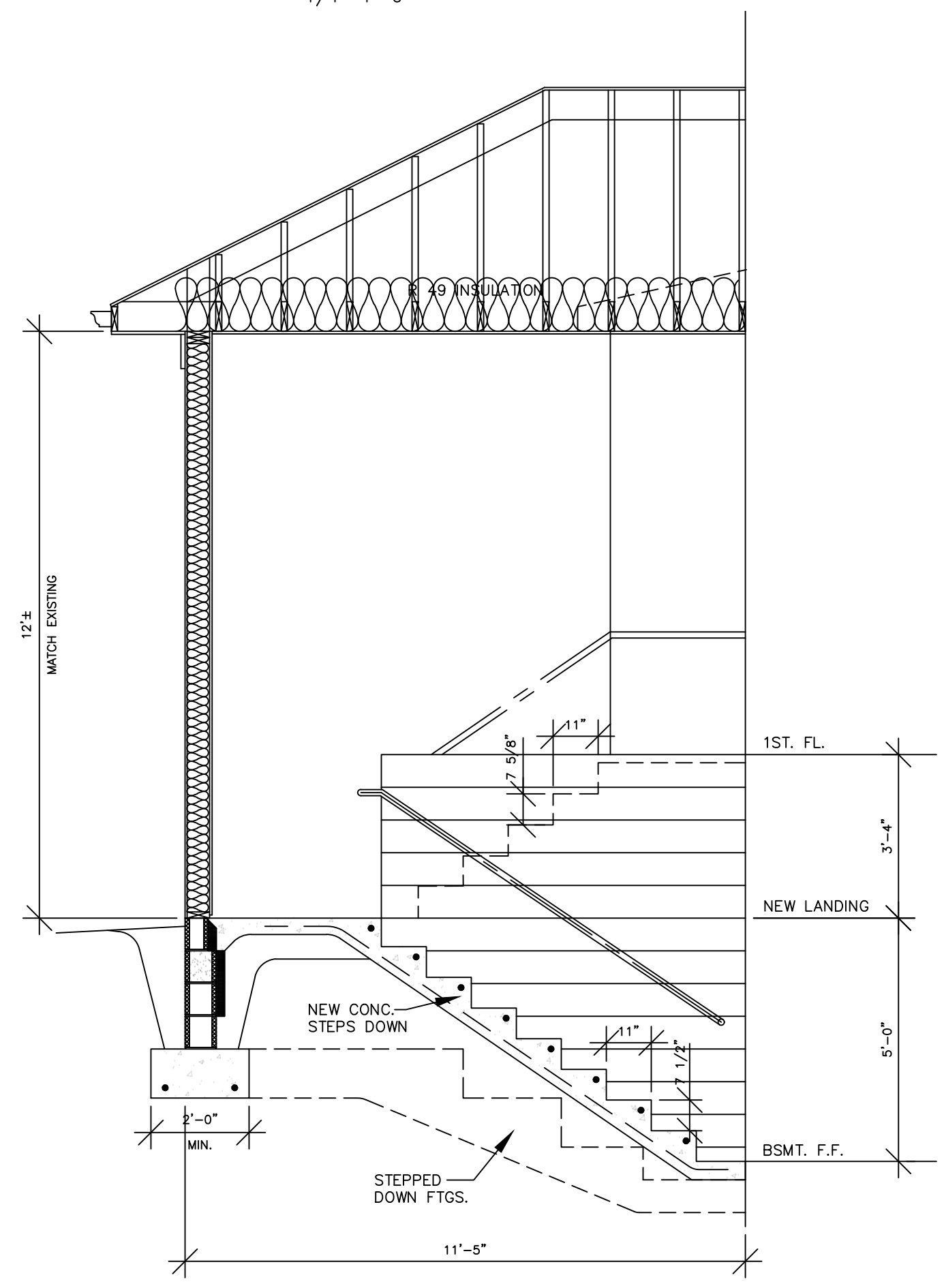
NORTH ELEVATION
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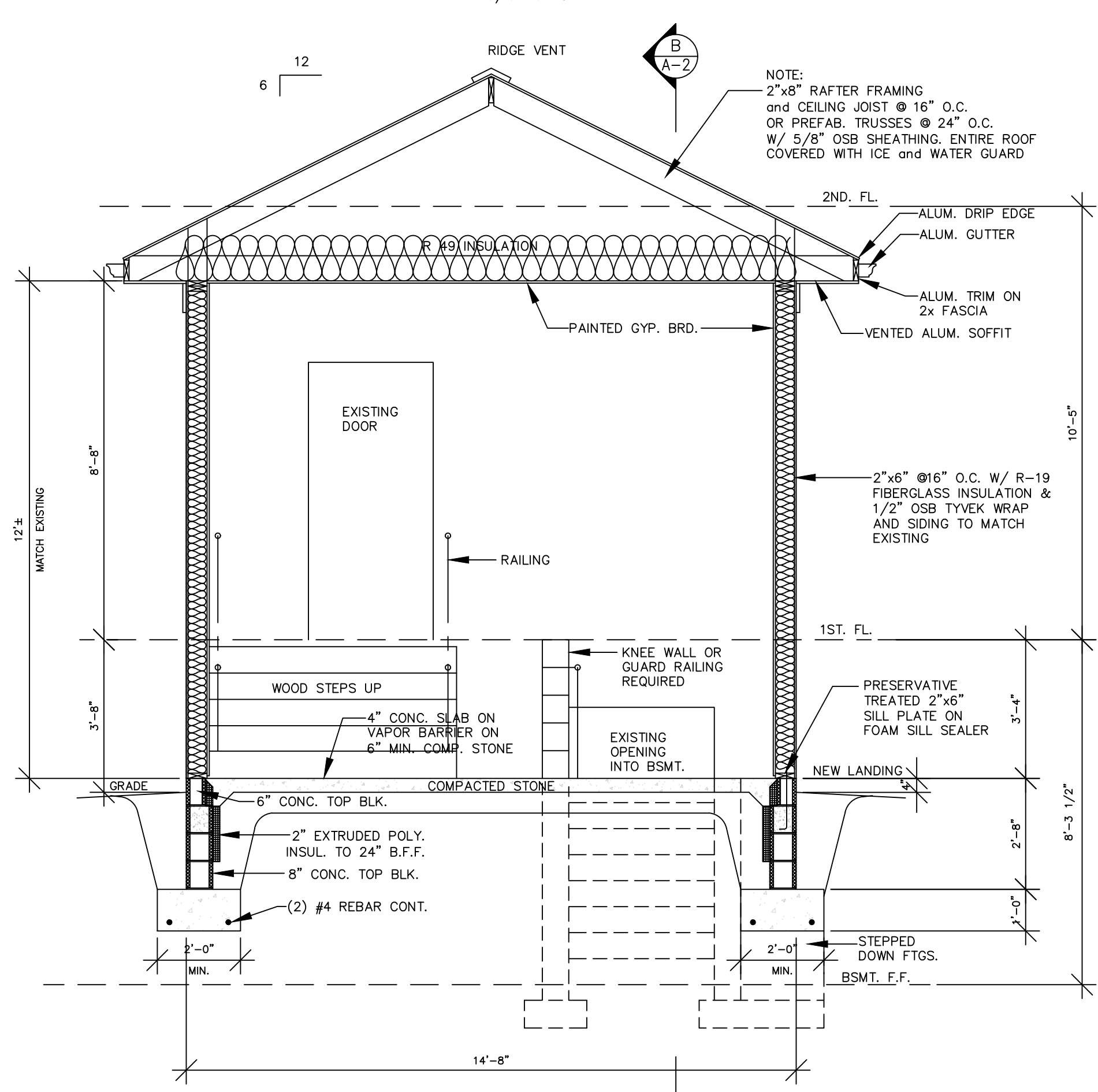
WEST ELEVATION
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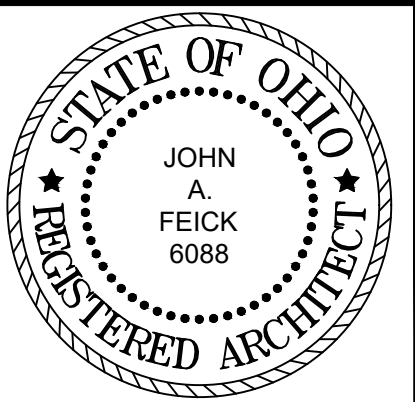
SOUTH ELEVATION
 1/4"=1'-0"



SECTION B
 SCALE: 3/8"=1'-0"
 A-1



SECTION A
 SCALE: 3/8"=1'-0"
 A-1



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 SANDUSKY, OHIO
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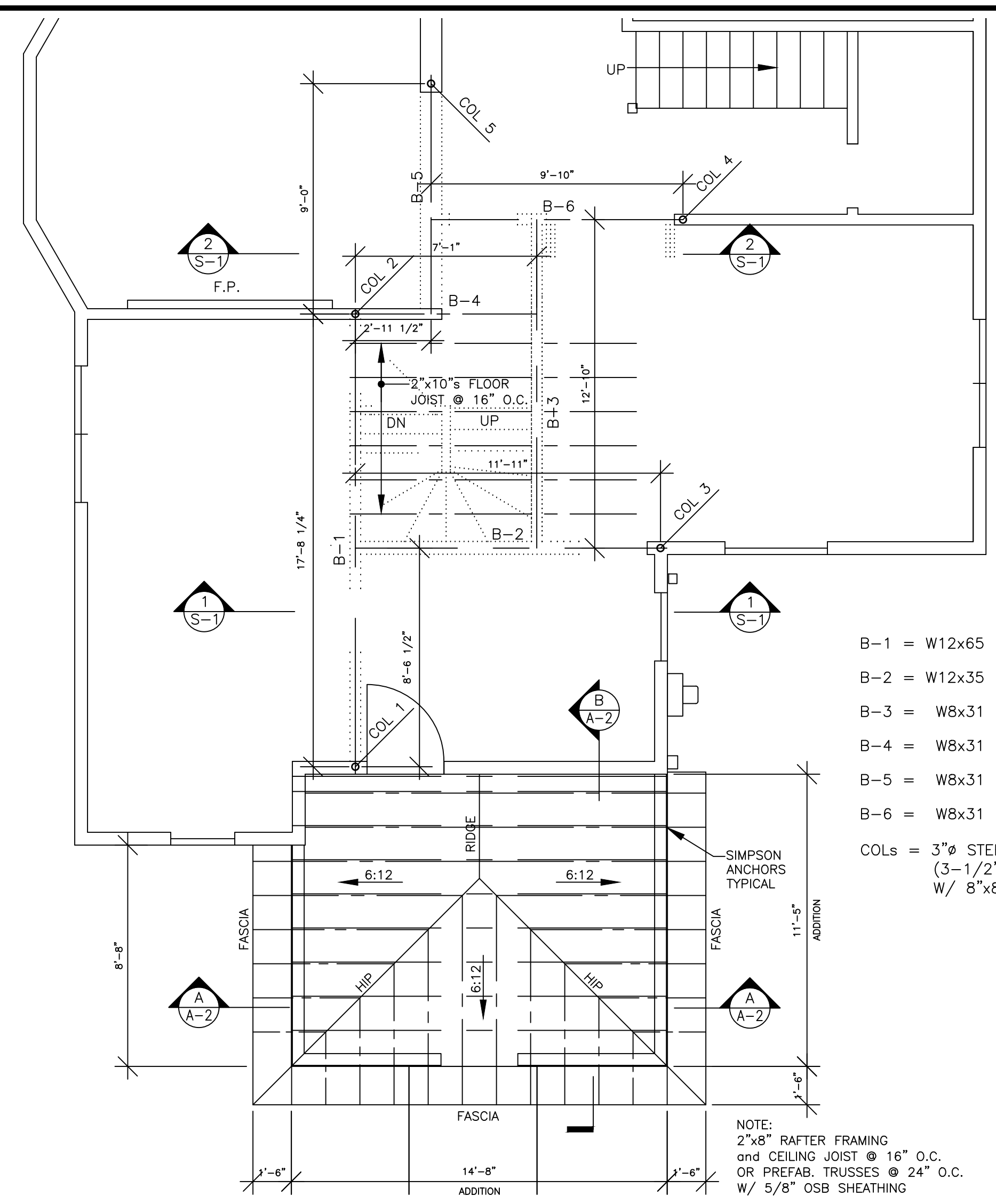
DATE	REVISIONS

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STRUCTURAL PLANS and DETAILS
 ENTRY ADDITION & REMODELING for:
MIKE & ALLISON WILL
 1503 COLUMBUS AVE. SANDUSKY, OHIO 44870

DATE	MARCH 21, 2024
DRAWN BY	SRD
CHECKED BY	
SHEET NUMBER	S-1
PROJECT NO.	E0036



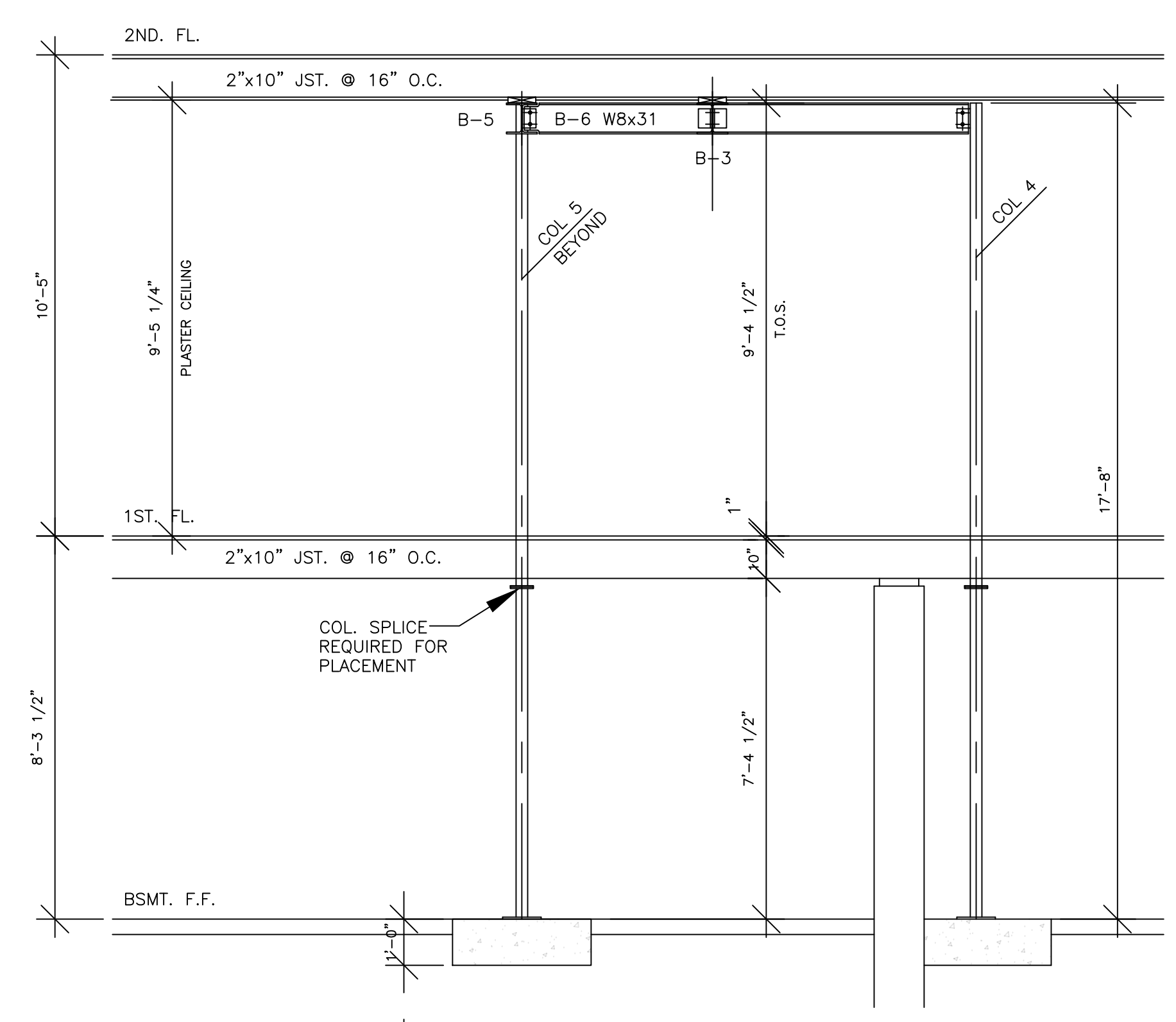
- STRUCTURAL NOTES**
- ALL BOLTS SHALL BE 3/8-INCH DIAMETER A325
 - ALL WASHERS SHALL BE 3/8-INCH DIAMETER A325
 - ALL BOLT HOLES SHALL BE 13/16-INCH DIAMETER
 - ALL BEAM-TO-BEAM CONNECTIONS SHALL BE 5 x 5 x 3/8 ANGLES
 - ALL BEAM TO COLUMN CONNECTIONS SHALL BE 3/8-INCH PLATE
 - ALL STEEL SHALL BE PRIMED WITH RUST INHIBITIVE PAINT
 - HOLES FOR WOOD TO BEAM CONNECTIONS SHALL BE 5/8-INCH DIAMETER SPACED AT 2'-0" CENTER TO CENTER, STAGGERED

B-1 = W12x65
 B-2 = W12x35
 B-3 = W8x31
 B-4 = W8x31
 B-5 = W8x31
 B-6 = W8x31

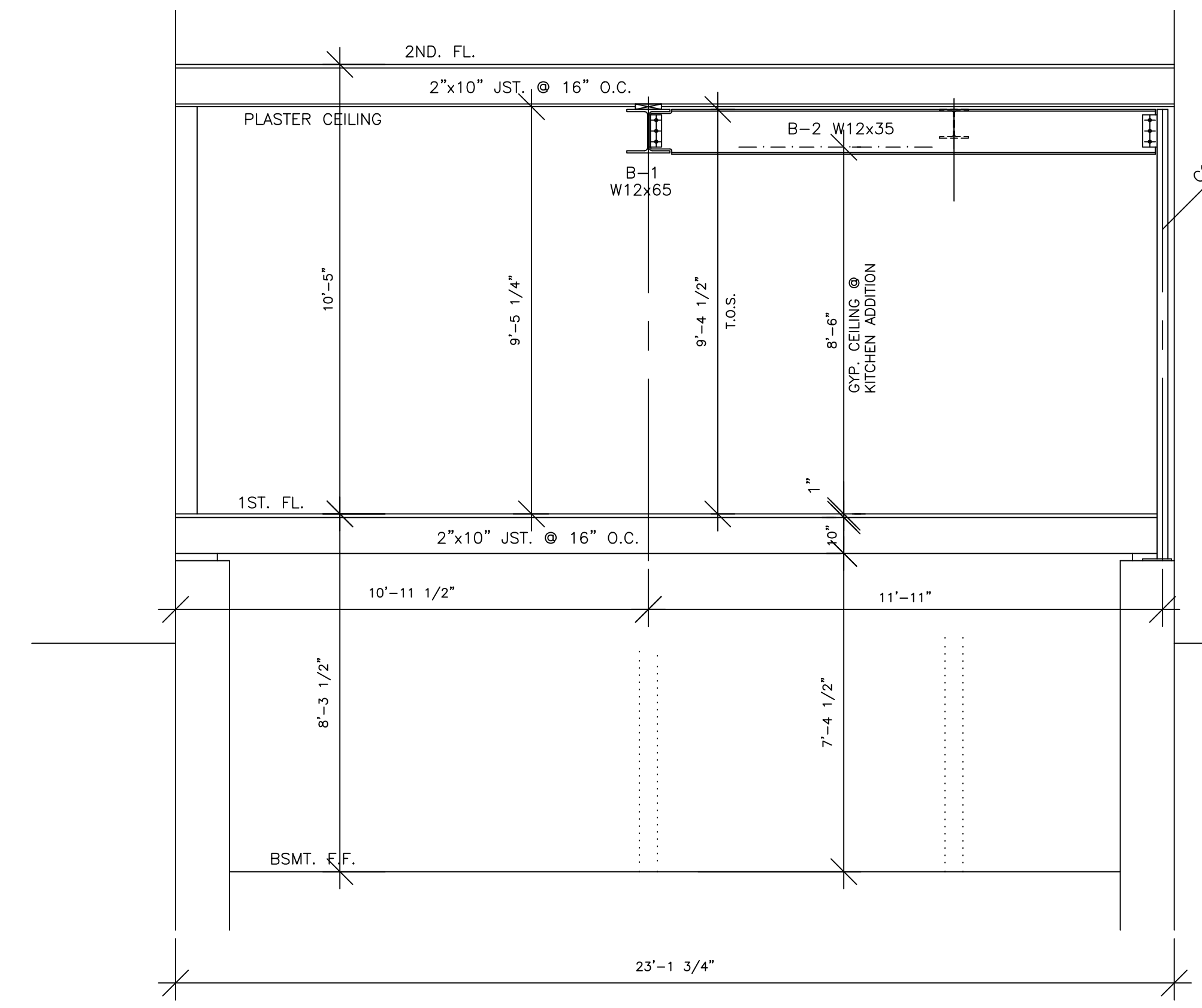
COLS = 3"Ø STEEL PIPE OR (3-1/2"x3-1/2"x3/16" T.S.) W/ 8"x8"x 1/2" B.P.

NOTE:
 2"x8" RAFTER FRAMING and CEILING JOIST @ 16" O.C. OR PREFAB. TRUSSES @ 24" O.C. W/ 5/8" OSB SHEATHING

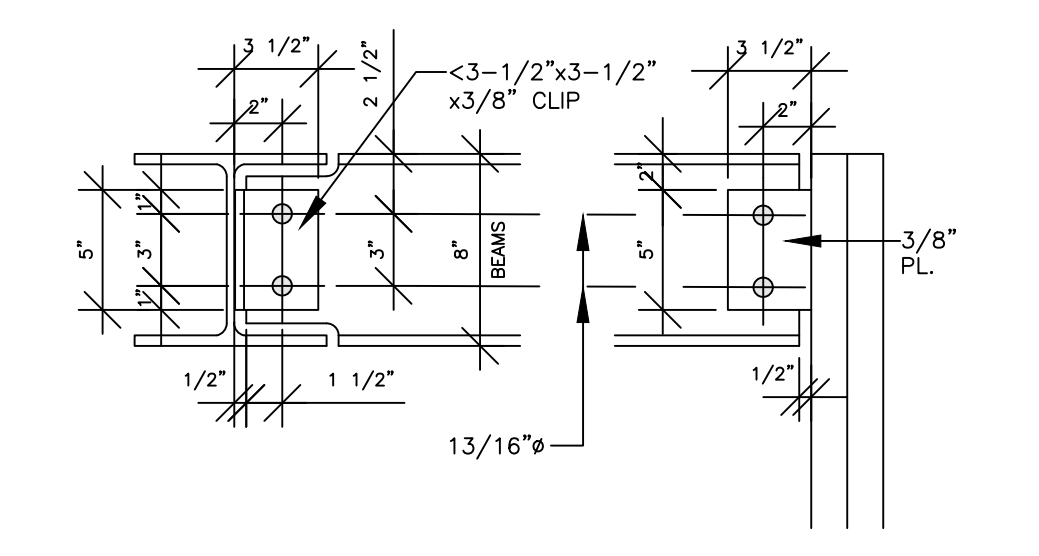
STRUCTURAL PLAN
 1/4"=1'-0"



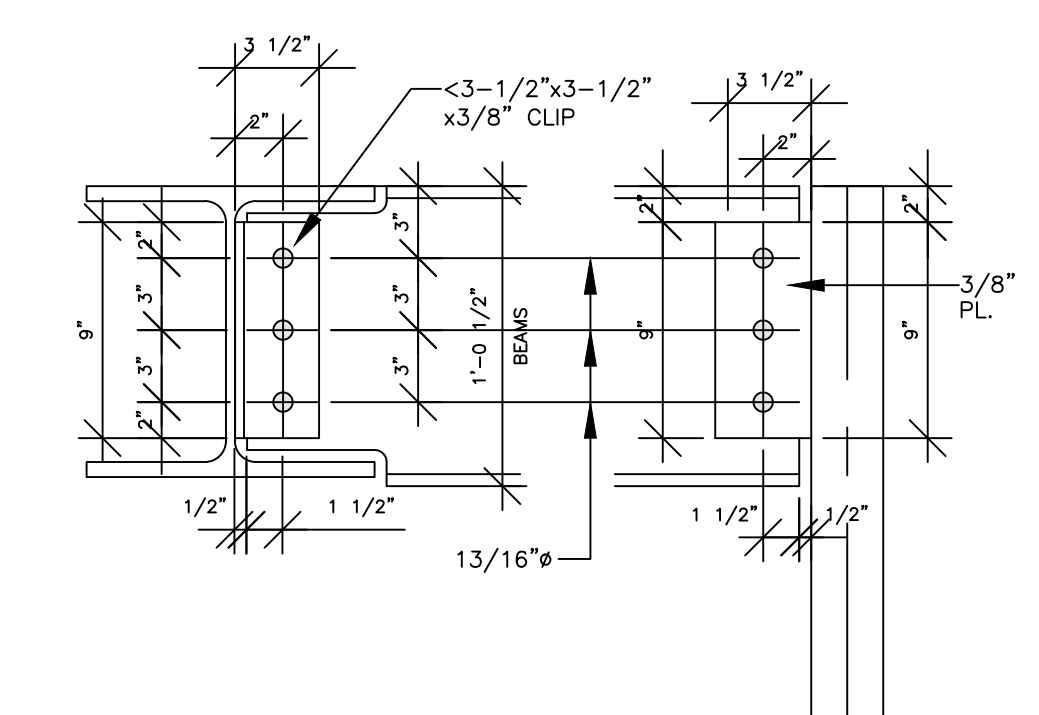
SECTION 2
 SCALE: 3/8"=1'-0"



SECTION 1
 SCALE: 3/8"=1'-0"



8" BEAM CONNECTIONS
 SCALE: 1-1/2"=1'-0"



12" BEAM CONNECTIONS
 SCALE: 1-1/2"=1'-0"

BOARD OF ZONING APPEALS REPORT

APPLICATION FOR AN AREA VARIANCE TO ALLOW
THE CONSTRUCTION OF A NEW RESIDENTIAL
STRUCTURE WHICH CREATES A FRONT YARD
SETBACK OF LESS THAN THE REQUIREMENTS AT
1827 CLINTON ST. PARCEL (58-60019.000)

Reference Number: PVAR23-0011

Date of Report: May 7, 2024

Report Author: Alec Ochs, Assistant Planner



City of Sandusky, Ohio

Board of Zoning Appeals Report

BACKGROUND INFORMATION

Property Owner: Erie Metropolitan Housing Authority
322 Warren St.
Sandusky, OH 44870

Site Location: 1827 Clinton St.
Sandusky, OH 44870

Current Zoning: R2F – Two Family Residential

Surrounding Zoning:

North: GM – General Manufacturing
South: R2F – Two Family Residential
East: R2F – Two Family Residential
West: R2F – Two Family Residential

Surrounding Uses: Residential, vacant land

Existing Use: Residential

Proposed Use: Residential

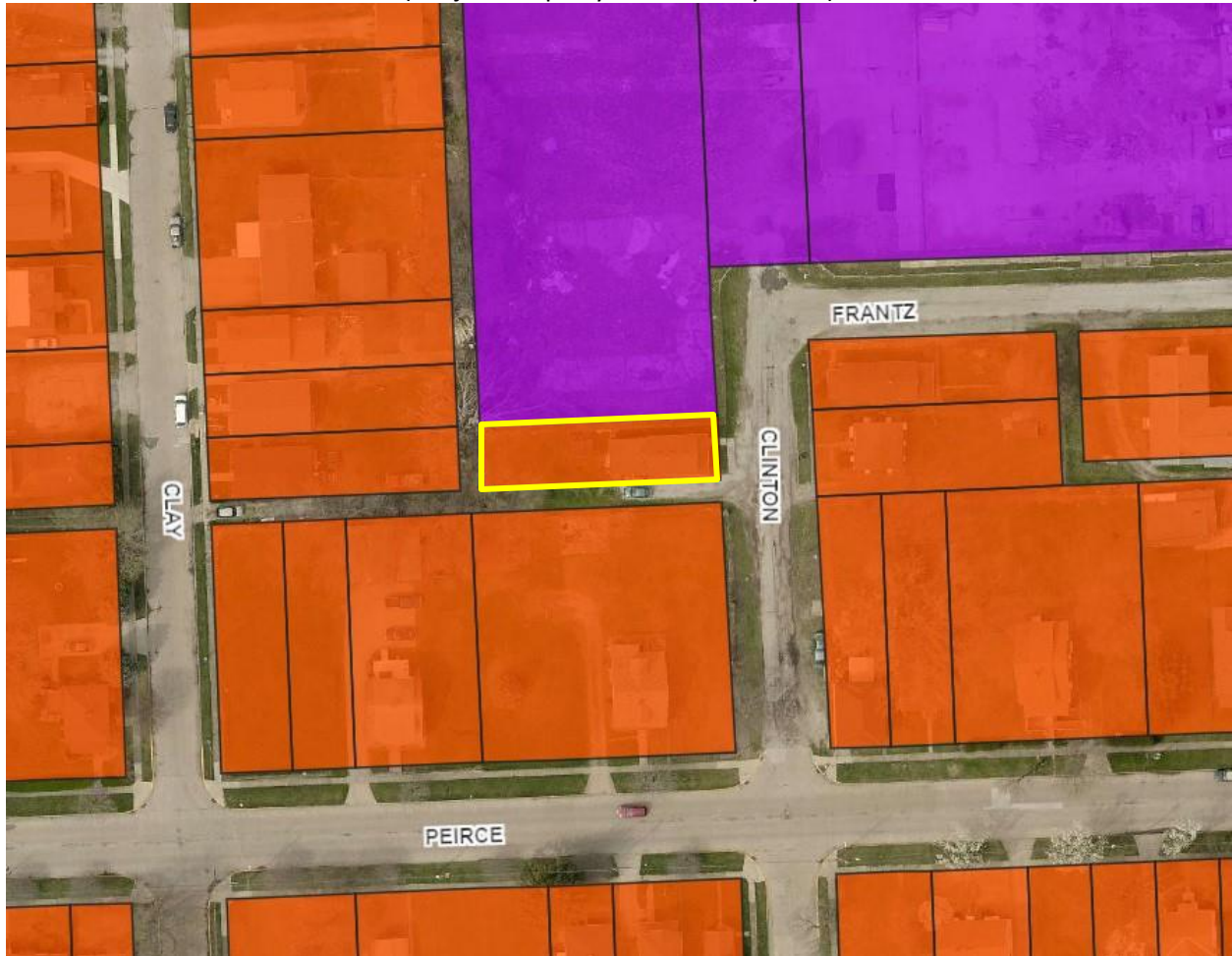
Applicable Plans & Regulations: City of Sandusky Zoning Code Sections 1129.14

Variances Requested:

1. Front yard setback of less than the required 25 feet – a relief of 15 feet.

SITE DESCRIPTION

(Subject Property Outlined in yellow)



Zone Map Setbacks



PUD - Planned Unit Development



Parcels



TRO - Transient Rental Overlay



Zoning

- AG - Agriculture
- CA - Commercial Amusement
- CR - Commercial Recreation
- CS - Commercial Service
- DBD - Downtown Business
- GB - General Business
- GM - General MAnufacturing
- LB - Local Business
- LM - Local Manufacturing
- P - Auto Parking

- PF - Public Facilities
- R1-40 - Single Family Residential
- R1-50 - Single Family Residential
- R1-60 - Single Family Residential
- R1-75 - Single Family Residential
- R2F Two-Family Residential
- RB - Roadside Business
- RMF - Multi-Family Residential
- RRB - Residential/Business
- RS - Residential Suburban

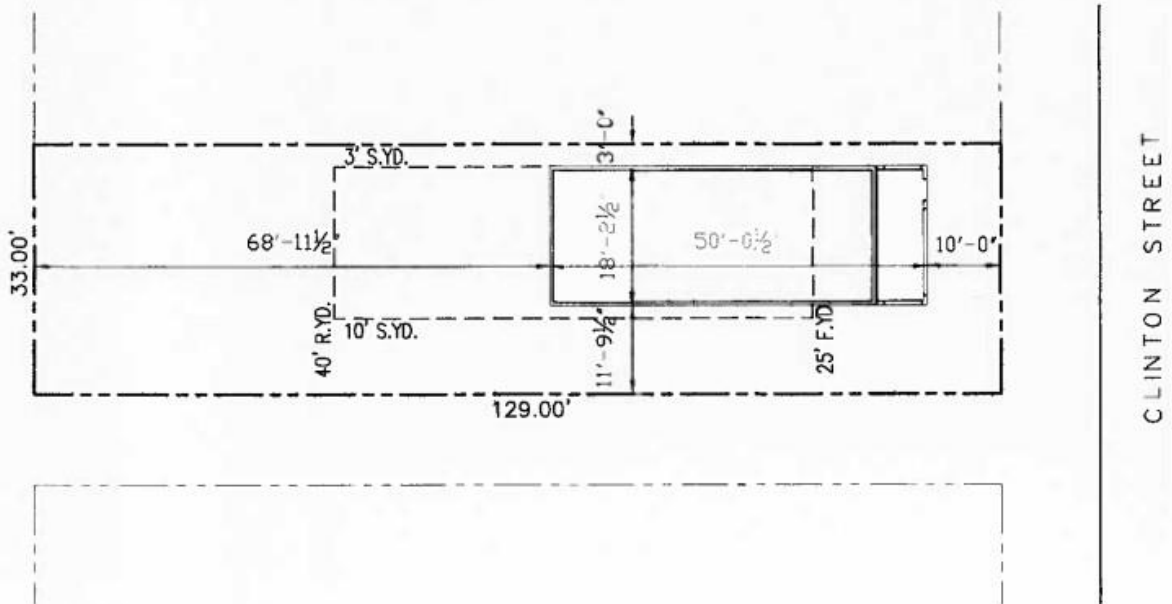
County Auditor Property Map (subject property outlined in red)



Street Perspective – May 2024



Site Plan



PROJECT DESCRIPTION

The applicant is in the pre-process of rebuilding a single family residential home. The original home was determined a total loss from a fire. The applicant is planning on rebuilding on the same footprint as the previous home. A new home on a new foundation would exceed the money available to rebuild at this location.

The owner is looking to rebuild in a swift timeframe. A variance must be obtained before they seek any permits.

The applicant is requesting a 10' frontyard setback.

Variations Requested:

1. Front yard setback of less than the required 25' – a relief of 15'.

RELEVANT CODE SECTIONS

1129.14 SCHEDULE OF AREA, YARD, AND HEIGHT REQUIREMENTS.

		Minimum lot size			Minimum yard dimensions			Max. Height	
		Area per unit (sq. ft.)	Width at Front building depth line		Side Width		Rear Depth	Main Building	
District	Dwelling or building type		(ft.)	(ft.)	Single (ft.)	Total (ft.)	30% or (ft.)	Story	Ft.
R2F	1 Fam. Dw.	4,300	33	25	3	10	40	2	30
	2 Fam. Dw.	2,750	40	25	3	10	40	2	30

(1980 Code 151.31)

CHAPTER 1111

Board of Zoning Appeals

1111.06 POWERS OF THE BOARD OF ZONING APPEALS.

1111.06(c)(1)

The Code states that no variance to the provision or requirements of the Zoning Code shall be granted by the Board unless the Board has determined that a practical difficulty does exist or will result from the literal enforcement of the Zoning Code. The factors to be considered and weighed by the Board in determining whether a property owner has proved practical difficulty include:

The applicant has stated:

1. Whether the variance is substantial;

- i. Yes, when based on strictly numericals. – Staff believes the applicant meant to put no

2. Whether the essential character of the neighborhood would be substantially altered or whether adjoining property would suffer a substantial detriment as a result of the variance;

- i. No. All of the property to the north of this lot is part of a business and all of the property to the south are.

3. Whether the variance would adversely affect the delivery of government services (i.e. water, sewer, garbage, fire, police or other);

i. There would be no change in the delivery of governmental services.

4. Whether the property owner purchased the property with the knowledge of the zoning restriction;

i. No.

5. Whether the property owner’s predicament can be resolved through some method other than a variance;

i. The house could be pushed back further on the property, but the construction cost is funded by insurance and it would not be economically feasible

6. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance;

i. Yes. If the house couldn’t be rebuilt, the lot would remain vacant.

7. Whether the property will yield a reasonable return or whether there can be a beneficial use of the property without a variance; and

i. No. It would be a total loss as they would not be able to rebuild.

8. Whether the granting of the variance will be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City.

i. The lot size was determined prior to zoning and the house was also constructed prior to zoning.

DIVISION OF PLANNING COMMENTS

The setback relief sought for this property would result in a built condition that fits the historic character of the property and would enable the family to continue to live in the neighborhood despite losing their former home.

CONCLUSION/RECOMMENDATION

Planning staff supports the variance request at 1827 Clinton St. parcel (58-60019.000) and suggests the following conditions upon approval:

1. All applicable permits must be obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency prior to any construction.

Application for Board of Zoning Appeals

STAFF USE ONLY:

Filing Date: _____ Hearing Date: _____ Reference Number: _____

Address of Property (or parcel number) for Variance Request: 1827 Clinton Street

Name of Property Owner: Erie Metropolitan Housing Authority

Mailing Address of Property Owner: 322 Warren Street

City: Sandusky State: OH Zip: 44870

Telephone #: 4195022330 Email: cfrankart@eriemetrohousing.org

If same as above check here

Name of Applicant: Feick Design Group, Inc.

Mailing Address of Applicant: 224 E Water Street

City: Sandusky State: OH Zip: 44870

Telephone #: 4196252554 Email: feickja3@gmail.com

Description of Proposal:

The existing 1-family house was damaged by a fire. The Owner wants to rebuild with the funds available. If the house has to be relocated on the lot, on a new foundation, the costs to rebuild exceed the money available.

Variance Requested:

To allow the house to remain 10'-0" from the front property line, where 25'-0" is required.

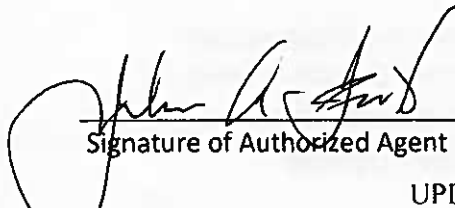
Section(s) of Zoning Code:

1129.13 variance to the required front yard depth

Signature of Property Owner

Date

APPLICATION #BZA-001


Signature of Authorized Agent

4-11-2024
Date

UPDATED 12/2/2019

PRACTICAL DIFFICULTIES

(For ALL variance requests)

According to Chapter 1111.06(c)(1) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that a "practical difficulty" exists in order to approve a variance. The Board must consider the following factors. Please completely fill out all sections:

- 1) Would the variance be substantial?

Yes, when based on strictly numericals.

- 2) Would the variance substantially alter the character of the neighborhood or would adjoining property owners suffer a substantial detriment because of the variance?

No. all the property to the north of this lot is part of a business and all of the property to the south are

- 3) Would the variance adversely affect the delivery of government services (e.g. water, sewer, fire, police)?

There would be no change in the delivery of governmental services.

- 4) Was the property purchased with the knowledge of the zoning restrictions?

No

- 5) Can the property owner's predicament be resolved through some method other than a variance?

The house could be pushed back further on the property, but the construction cost is funded by insurance and it would be economically not feasible.

- 6) Would the spirit and intent behind the zoning requirement would be observed and substantial justice done by the granting of the variance?

Yes. If the house couldn't be rebuilt, the lot would remain vacant.

- 7) Would the property yield a reasonable return or can there be a beneficial use of the property without a variance?

No. It would be a total loss as they would not be able to rebuild.

- 8) Would the granting of the variance be contrary to the general purpose, intent and objective of the Zoning Code or other adopted plans of the City?

The lot size was determined prior to zoning and the house was also constructed prior to zoning.

UNNECESSARY HARDSHIP

(ONLY for variance requests involving a use of the property that is not permitted by the Zoning Code)

According to Chapter 1111.06(c)(2) of the Sandusky Code of Ordinances, the Board of Zoning Appeals must determine that an "unnecessary hardship" exists in order to approve a use variance. The Board must determine that ALL of the following conditions have been met. Please completely fill out all sections:

- 1) Does the variance request arises from such a condition which is unique and which is not ordinarily found in the same zoning district; and is created by the Zoning Code and not be an action or actions of the property owner or the applicant?

The house was constructed prior to zoning being enacted.

- 2) Would the granting of the variance will adversely affect the rights of the adjacent property owners or residents?

The property to the north is vacant and part of a storage business. There is an alley on the south and west sides.

- 3) Does the strict application of the Zoning Code of which the variance is requested constitute unnecessary hardship upon the property owner or the applicant?

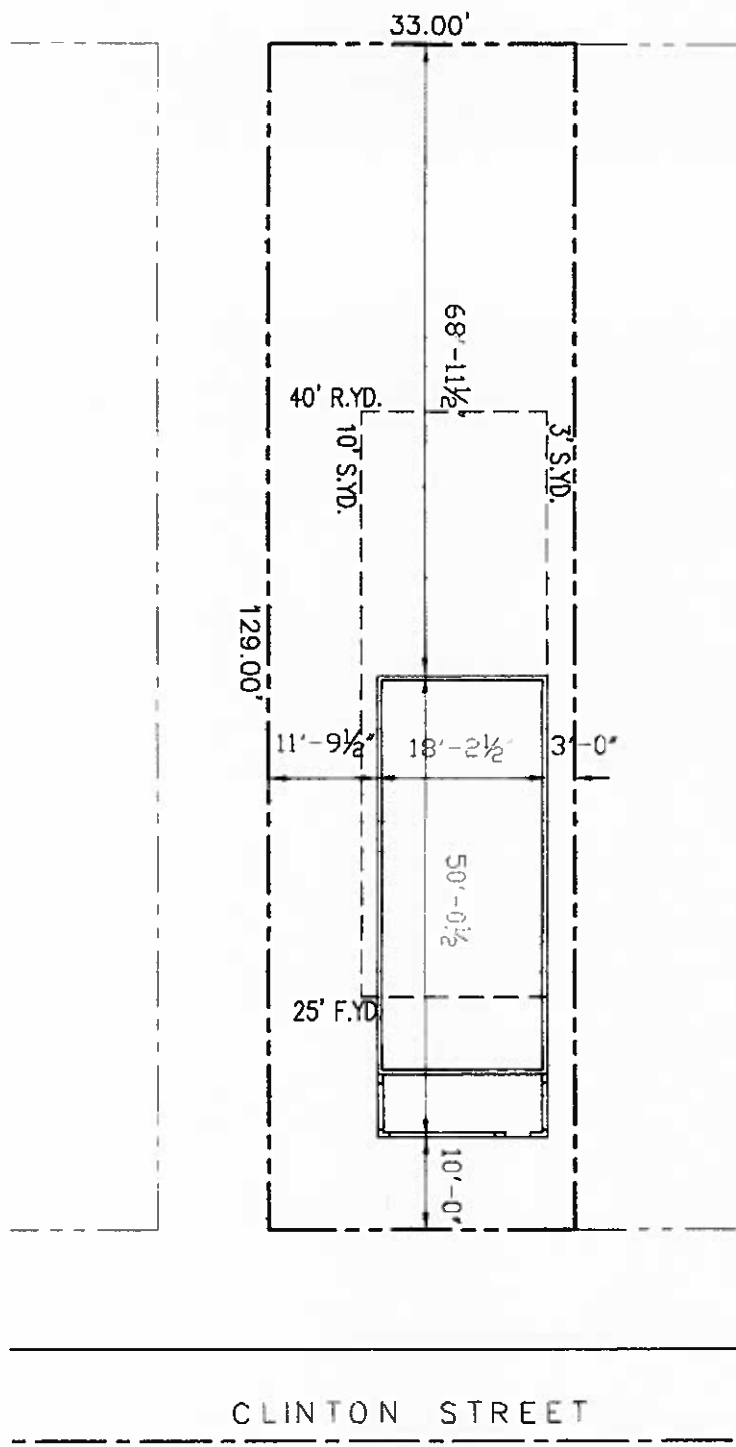
Yes, due to construction costs, not securing the variance will has the house demolished and not rebuilt.

- 4) That the variance desired will not adversely affect the public health, safety, morals or general welfare.

There will be no negative affect on he public.

- 5) That the granting of the variance desired will not be opposed to the general spirit and intent of the Zoning Ordinance

The house complies with the side and rear yard setbacks. So the general spirt and intent is not visible affected.



Site Plan

SCALE: 1"=20'-0"



CLINTON STREET

PRELIMINARY SITE PLAN Fire Repair Erie Metro Housing Authority 1827 CLINTON STREET SANDUSKY, OH		DATE: APRIL 11, 2004 DRAWN BY: JAF CHECKED BY: JAF SHEET NUMBER: 5 1 OF 1 PROJECT NO. 10018	FEICK DESIGN GROUP, INC. JOHN A. FEICK, ARCHITECT 224 EAST WATER STREET SANDUSKY, OH (419) 482-2064