

240 Columbus Avenue Sandusky, OH 44870 Phone: 419.627.5783 www.ci.sandusky.oh.us

#### ECONOMIC DEVELOPMENT INCENTIVE COMMITTEE MEETING AGENDA

#### January 14, 2020 1:30pm

<ol> <li>Meeting calle</li> </ol>	d to	ordei
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- II. Approval of November 19, 2019 minutes
- III. Program financial update
  - a. 2020 Spreadsheet
- IV. Review of staff reviewed applications NONE
- V. Review of applications
  - a. LAKE ERIE ISLAND CRUISES, LLC
- VI. Reminder of next meeting FEBRUARY 11, 2020
- VII. Public Participation
- VIII. Meeting Adjournment

### Economic Development Incentive Committee November 19<sup>th</sup>, 2019 Meeting Minutes

#### **Call To Order**

Mr. Nickles called the meeting to order at 1:36pm. The following members were present constituting a quorum: Mr. Paul Koch, Ms. Abbey Bemis, Mr. Al Nickels, and Mr. Trevor Hayberger. Economic Development Specialist John Storey, and Clerk for the Community Development Department Kristen Barone were also present.

#### **Approval of Minutes**

Mr. Hayberger moved to approve the minutes from the October 15<sup>th</sup>, 2019 meeting; Mr. Koch seconded the motion. All members were in favor of the approval.

#### **Program Financial Update**

Mr. Storey stated that the remainder balance of funds is currently at \$134,175.00. He said that the one agenda item that was passed at the last meeting and had to go before City Commission was for Vita Urbana Market, in the amount of \$21,454.00.

- Mr. Nickles asked what has been budgeted for 2020.
- Mr. Storey stated that that the budget should be the same amount of \$500,000, if not more.
- Mr. Nickles asked if there are any payments coming due that will carry over. He said that some businesses pay back for agenda items that were passed.
- Mr. Koch said that sometimes the committee approved loans instead of grants. Kilbourne Hotel was one that had been making payments, but that is the only one he remembers.
- Mr. Storey said that he was not aware of anything outstanding, but will have to check on that.

#### **Application Review**

MARKET STREET COLLECTIVE LLC: Mr. Storey stated that MARKET STREET COLLECTIVE is the first Opportunity Zone Investment in the downtown area. The Opportunity Zone Investment is a Federal Tax Incentive Program that is census track driven. This project is all about the redevelopment of the old Kreimes Cardinal Grocery Store. The property has been vacant since 2017. The applicant has presented renderings to develop the property into a micro food hall, a micro-distillery, and a potential entertainment venue. They have done projects like this in the past.

- Mr. Nickles asked if they have given a timeframe for opening.
- Mr. Storey stated that they are planning on the grand opening being June 1<sup>st</sup>, 2020.
- Mr. Koch stated that the project should be completed by December 31<sup>st</sup>, 2020.
- Mr. Storey stated that the owners are asking for \$139,609.40, which is 10% of their eligible costs.
- Mr. Bemis made a motion to approve the request as recommended by staff. Trevor seconded. With no further discussion, all were in favor to approve.

**CHESAPEAKE LOFTS CONDOMINIUM ASSOCIATION:** Mr. Nickles stated that this application was tabled at the last meeting.

Mr. Hayberger moved to remove the application from the table for discussion. Ms. Bemis seconded the motion. All members were in favor.

Mr. Storey stated that this application was tabled for further discussion as this project is a little different than what the committee usually sees. The project involves the removal and replacement of a deteriorated façade and parapet wall to the East, South, and West Wall. It was done in the 1990's with a latex foam. This project is to remove the foam and restore the parapet wall, bricks, and mortar. The project costs about \$355,000. They are asking the city for \$60,300.00. He stated that the reason that this project falls under the scope of this program is because it does have a commercial space inside the building. The space does not have a tenant in it currently. Mr. Storey stated that The Chesapeake owners feel that they perceive an injustice was done due to the fact that the city was the one who put this foam up to try to prevent the deterioration.

Mr. Koch stated that his concern last month with the Chesapeake application is that the property is currently not being used for commercial space and it has not been used for commercial space for a long time.

Mr. Nickles asked if there was a way to get the funds they are requesting out of the Tax-Increment Financing.

Mr. Hayberger stated that he does not believe that it would qualify for what they want to use the funds for.

Mr. Nickles stated that he would like to see the people that are profiting from the rentals in The Chesapeake to step up and chip in.

Mr. Koch asked if there is a limit on how much funds can be used for signage.

Mr. Storey stated that there is no limit and that they can grant up to 75% of signage cost.

Mr. Koch made a motion to deny the application as presented. Ms. Bemis seconded the motion. All members in favor to deny the application.

Mr. Storey stated that there will not be a meeting in December.

#### **Public Participation**

Sharon Johnson stated that she had four things she wanted to say.

- 1) She was not in agreement with The Chesapeake application either since it is mostly residential space in that building. She said that they have a Homeowners Association that is supposed to be collecting fees for maintenance of the building.
- 2) She then said that she is not too enthused about when the committee is short funds and trying to spend next year's money when the money has not yet been received.
- 3) The Chesapeake put the committee in a bad position stating that they needed a vote today when they are applying for a grant.

Mr. Koch stated that the reason for that is probably because they were on the agenda last month and the application was tabled.

Mrs. Johnson said she is not understanding the sign because they were already granted a sign for the front end of the building.

Ms. Bemis stated that the application that they are reviewing today is not for the front of the building, but it on the side of the building. It is a historical sign of the building that they would like to restore, not a conventional sign for The Chesapeake. It is engraved in the building.

4) She wondered if Mr. Nickles should have abstained from the Market Street Collective application because his LLC made \$510,000 from that deal.

Mr. Nickles stated that he does not have an LLC that he has made any money off of.

Mrs. Johnson stated that RKCS LLC is the LLC she is referring to.

Mr. Nickles stated that he does not have anything to do with that LLC.

Mrs. Johnson stated that she would send the paperwork over to City attorney Mr. Hayberger to look over.

#### **Meeting Adjournment**

Kristen Barone, Clerk

2:32pm.			
APPROVED:			

Mr. Nickles, Chairman

Mr. Hayberger made a motion to adjourn. Mr. Nickles seconded the motion. Meeting ended at

#### **ECONOMIC DEVELOPMENT FUNDS**

		2019 Carryover	New Funds	Beginning Balance	<u>Date Approved</u>	Committed	<u>Spent</u>	Revenue	Ending Balance	Total Project Cost	New Jobs	<u>Notes</u>
		\$ 390,158	\$ 500,000	\$ 504,175					\$ 318,930		14.0	
<u>Substantia</u>	Development	•	•	•	•			•	•	•		
	Resort School, LLC				1/21/2019	\$ 150,000.00	\$ 150.00	\$ 150.00		\$ 13,600,000.00	12.0	\$120,000-2021
	Renaissance Too, LLC				6/11/2019		\$ 150.00	\$ 150.00		\$ 1,210,000.00	2.0	
	Market Street Collective, LLC				12/9/2019	\$ 9,620.00	\$ 150.00	\$ 150.00				
<u>Façade</u>		•										
<u>Signage</u>		_						•				
Small Busin	ness Assistance	•										

#### Miscellaneous

	TOTAL \$	385,982.89
MAGroup, LLC	\$	15,000.00
Alittle.Life, LLC	\$	6,242.39
Toft Funeral Home	\$	7,500.00
LUCO-Wes Properties	\$	4,000.00
Lake Erie Shores & Islands	\$	10,000.00
Omeca, Inc.	\$	9,500.00
Magroup, LLC	\$	6,454.00
Lake Erie Shores & Islands	\$	4,000.00
Chris Andrews, LLC	\$	7,500.00
Erie Residential Living	\$	9,411.50
Wilken Custom Heating	\$	9,500.00
Market Street Collective	\$	130,000.00
Renaissance Too, LLC (#2)	\$	76,875.00
Renaissance Too, LLC (#1)	\$	90,000.00
Committed - Not Yet Paid:		

Carryover (Rounded):	
Committed - Not Yet Spent	385,982.89
2019 Carryover	4,175.00
TOTAL	390,157.89

#### **JANUARY 14, 2020**

#### **Economic Development Incentive Committee Summary**

#### LAKE ERIE ISLAND CRUISES, LLC (or its affiliates and assigns)

**APPLICANT:** Mr. Joe Lamb

109 W. Shoreline Drive Sandusky, Ohio 44870

**CORPORATE STRUCTURE:** Limited Liability Company

**PRINCIPAL/% OWNERSHIP**: Mr. Joe Lamb – 100%

**PROGRAM APPLIED FOR:** Small Business Assistance

**RECOMMENDATION:** \$15,000.00 Small Business Assistance grant to be approved by City

Commission upon requisite approval by EDIC; contingent upon obtaining title/lien reports, obtaining all relevant permits (if necessary), submitting before and after photographs (if necessary), and displaying a sign evidencing City of Sandusky support for one year after project completion. This project will be complete by

October 31, 2020.

#### **BACKGROUND & PROJECT DESCRIPTION**

Lake Erie Island Cruises, LLC (the "Company") was formed in 2007 with the Secretary of State of Ohio and has long operated boat tours of the Lake Erie Islands and Sandusky Bay. The Company will be operating at the Jackson Street Pier location (upon the project completion) and will be serving the public from the newly developed ticket house and pier location along Shoreline Drive. This Jackson Street Pier development and Ticket House construction will result in increased traffic and allow the Company to offer food, beverage, and alcohol options to those patrons waiting for their cruise and/or others enjoying the new lakefront pier and park. The cost of the Ticket House (not including sewer, water, and other utilities) is approximately \$200,000, which is based upon the initial "Base Bid" of approximately \$159,000 and a subsequent \$40,652 additional design and construction increase based upon discussion between the Company and the City (and its engineering and design team). The Company hopes to achieve an additional revenue stream with this food and beverage component to its operations and will add to a more expansive customer experience for travelers and lakefront visitors alike. The Company plans on utilizing this small business assistance grant money to defray costs associated with the design and build-out of the physical space, including equipment installation and operation.

#### **PROJECT FINANCING**

The project sources and uses are as follows for the small business assistance:

#### **Uses**

Base Bid Construction of Ticket

House & Foundation \$158,994.00

Additional Design and

Construction Costs<sup>1</sup> \$40,652.00

Total	\$199,646.00
Sources	
Owner Equity (City)	\$169,646.00 (85.0%)
Small Business Assistance Grant	\$15,000.00 (7.5%)
Lease Payments (over 5 years)	\$15,000.00 (7.5%)
	4-00-0-0-0-0-0-0
Total	\$199,646.00 (100%)

The recommended total grant amount of \$15,000.00 in small business assistance, which is the maximum amount of grant dollars permitted under this program, equates to 7.5% of the total eligible project cost. This percentage is a very small number compared to past projects on a comparison basis. The staff recommendation is based off recent awards to very similar projects – with regards to total project costs, employment, payroll and revenue projections and location.

#### FINANCIAL SUMMARY – BUSINESS

Annual Sales Revenue (YR1 = \$370,000, YR2 = \$400,000, YR3 = \$400,000). Payroll (YR1 = \$75,000, YR2 = \$80,000, YR3 = \$85,000). The current Company employment levels are expected to be maintained at consistent levels with the opportunity to expand based upon increase in traffic and revenues.

#### **RECOMMENDATION**

<sup>1</sup> Additional Design and Construction work includes, but is not limited to: (i) new bollards and chains required by the USCG to secure the area adjacent to the vessel; (ii) interior door to separate concession from ticketing areas; (iii) restrooms for employees only; (iv) additional six feet in length to permit concessions, sink, plumbing, foundations; (v) security closet.

Staff is recommending a \$15,000.00 Small Business Assistance grant to support this Project – in line to what has been recently awarded to very similar projects in terms of economic output, square footage redeveloped and location. This grant will also aid in tenanting the new Jackson Street Pier Ticket House and offer visitors to the Company, Pier, and lakefront as a whole, another food and beverage option at the most convenient of locations to the vessel's location.

Loka Erie Islamo Cruses, LLC



## SANDUSKY CITY ECONOMIC DEVELOPMENT APPLICATION – SMALL BUSINESS ASSISTANCE

CITY OF SANDUSKY

PROGRAM YEAR 2019

#### INTRODUCTION

The Sandusky City Economic Development (ED) programs intend to spur and support economic development activities within the City of Sandusky ("the City"). Financial assistance is available for new or expanding businesses and/or property owners that will positively affect the economic and employment climates in the City and broader Firelands Region.

The City strongly believes that investments in economic development activities are vital to job creation and attracting and retaining a talented workforce to fill newly created or available positions. Increased economic development will also stimulate investments in underutilized or vacant buildings and sites — which will strengthen the real estate market, increase property values, create a more walkable community and improve overall quality of life.

#### SANDUSKY CITY ECONOMIC DEVELOPMENT PROGRAMS

The City's intention is for its programs to be fair, straightforward, and easy to navigate. A pre-application meeting or conference call is a requirement of ED assistance. If you have questions prior to the meeting, please do not hesitate to contact the City's Chief Development Officer, Matt Lasko at (419) 627-5707 or mlasko@ci.sandusky.oh.us. Please note this application and all related materials are subject to public records requests.

#### Section I - GENERAL TERMS:

FUNDING AVAILABILITY: Approximately \$500,000 is available for calendar year 2019 however the City reserves the right to limit the amount of funding set-aside for small business assistance grants.

USE OF FUNDS: ED Funds can be used for the following purposes:

Fixed Assets: examples include new construction or renovation of existing facilities

Non-Fixed Assets: must be depreciable equipment

<u>Pre-Development</u>: examples include architectural drawings, surveys, market studies and environmental due diligence

ELIGIBILITY REQUIREMENTS: The business/property must be located in the City of Sandusky. ED funds are intended, in most instances, to serve as gap financing. In these cases, applicants, prior to application, should attempt to secure private financing, such as traditional bank financing, to finance the project. A Project is eligible to receive ED funds once every five (5) years; however, distinct phases of the same project are eligible. There will be a limited amount of ED funds available for non-profit organizations. All successful applicants/borrowers must provide proof of the ability to secure ownership

of the real estate or (preferably) a two (2) year lease agreement in which the project is located. All projects must meet applicable zoning requirements. All projects that need approvals from other departments, such as Planning, must obtain these approvals prior to application review.

APPROVAL PROCESS: Completed applications will be accepted at any time. The Department of Community Development reviews applications and provides recommendations for approval or denial of grants or loans monthly to the Economic Development Incentive Committee (EDIC) in the month after receiving a completed application. Applications for assistance greater than \$10,000 that are approved by the EDIC will require final approval by the Sandusky City Commission. In this case, we require the applicants to attend the City Commission meeting at which the project is reviewed.

AVAILABLE FINANCING: In most instances, ED assistance is intended to be a secondary financing source and is not intended to cover 100% of a potential project's cost. In these instances, all other sources of funding must be documented and in place before any ED funds are disbursed. Grant proceeds are provided directly to third party contractors or on a reimbursable basis to the applicant at the completion of the project. The City will consider adjustments to the awarded grant amount for substantive changes in the project scope only, but this is not guaranteed.

REQUIRED EQUITY: A minimum of 5% owner equity is preferred and will be required in most instances, even when other third-party sources have been secured. The Department of Community Development or the EDIC may, at its discretion, require a higher equity percentage.

GRANT OR LOAN FEES: Upon recommendation of approval by the EDIC and prior to loan or grant disbursement, the applicant must remit a \$150 fee that will cover the cost of lien and credit bureau reports.

Applicants may be subject to personal background checks and credit reviews and must sign any waivers to allow the City of Sandusky to share information with relevant lending institutions and obtain credit reports. Requests for funding will be denied if applicants have outstanding collections, judgment liens, other court judgments, delinquent taxes or other tax liens. Any previous bankruptcy must be fully discharged prior to submitting an application.

No person shall, on the grounds of race, color, national origin, or sex, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity funded in whole or in part with ED funds.

#### Section II - PROJECT EXCLUSIONS

Individual program categories may have specific and more restrictive eligibility requirements than those listed in this section. The project exclusions outlined in this section generally apply to all applications and projects regardless of the type of financial assistance being requested.

PROJECT EXCLUSIONS: Projects will not be considered for financing assistance if they involve:

- Financing of businesses that have not identified 100% of the remaining required financing to complete the project outlined in the application. Small businesses and/or startups may be exempt from this provision.
- 2. Refinancing of existing debts and training costs.
- 3. Financing of businesses that operate out of a personal residence.
- 4. Financing of speculative projects, buildings, or activities such as land banking or acquisition of real estate with no planned capital improvements or job creation.
- 5. Financing of historically unsuccessful ventures or projects with unresolved environmental problems. However, this exclusion does not apply to projects that will address/resolve environmental issues as part of the project scope of work.
- 6. Financing for businesses with a history of civil rights violations or unfair labor practices.
- 7. Financing to businesses which are not current with taxes or other loans.
- 8. Financing to businesses/applicants who are not in good standing on all outstanding forms of City assistance.
- 9. Financing to projects which cannot demonstrate an ability to repay the loan (if applicable), are intra-family transactions, or involve illegal activities.
- 10. Financing to projects in which the applicant has ever or currently owns entirely or in part, real estate that is tax delinquent, has code violations, contains non-registered rental units, or is in foreclosure.
- 11. Financing of projects in which the applicant has been convicted or has a pending conviction of a felony within seven (7) years from the date of application submittal.

#### **Small Business Assistance**

The intent of this program is to aid new or existing small business with access to capital that otherwise may not be available from traditional avenues. These resources aim to assist with start-up and due diligence costs and intend to help stabilize cash flow during the infancy stages of new businesses or expansion periods of existing businesses. The City and / or the EDIC reserve the right to require job creation with Small Business Assistance grants.

#### **ELIGIBLE USES:**

- Physical construction costs (both new construction/expansion or rehabilitation)
- Signage and façade enhancements
- Predevelopment expenses, including, but not limited to:
  - o Architectural drawings
  - o Surveys
  - Market studies
- Purchase of depreciable capital equipment

#### **REQUIREMENTS:**

- City assistance cannot be in excess of \$15,000 per project or 60% of total project costs whichever is less.
- For small projects, City assistance may cover the entire project cost (up to \$2,500).
- City assistance is intended for brand new businesses or existing businesses seeking expansion opportunities.
- Applicants may be required to seek approval of enhancements and signage (if applicable) by other administrative bodies, including but not limited to, the Landmarks Commission or the Planning Commission.
- Contractors and journeymen utilized must be registered with the City of Sandusky and permits may be required, where applicable.
- The City reserves the right to require applicants to utilize entrepreneurial support services such as RISE

#### PREFERENCES:

- Projects that involve the redevelopment of vacant, foreclosed or underutilized sites and buildings, especially projects that focus on creating ready-to-lease commercial space.
- Minority or female owned business enterprises.
- Projects which offer proportionately high employment opportunities to persons of low- and moderate-income households.
- Projects involving the beautification and enhancement of properties listed on the National Register of Historic Places or contributing members within Nationally Registered Historic Districts.
- Businesses and/or projects that promote goals and objectives of the City of Sandusky Comprehensive Masterplan and Strategic Plan.

TYPE OF FUNDING: All projects funded under the Small Business Assistance program will receive grant proceeds.

TERM OF GRANT: Provided directly to third party contractors or on a reimbursable basis to the applicant at the completion of the project.

AMOUNT OF GRANT: Grant requests or funding recommendations at or below \$7,500 are able to be considered, reviewed and approved administratively without consideration by the EDIC.

APPLICATION TO FOLLOW ON THE NEXT PAGE

### Applicant / Borrower Company:

(Applicant Name)

Owner

(Title)

.AKE Erie Island Croises LLC

(Company Name – if different than Applicant Name)

(Street Address)

W. Shoreline Dr

(Suite, Apt, etc.)

Spondusky

(City, State, Zip)

Soe@good temebat.com

(Phone Number)

20 8199950 (Email)

(Federal Tax ID or last 4 of SSN)

(Fax Number)

#### **Existing Business Information:**

•	Type of Business:   ✓ Commercial   ☐ Retail	□ Service
	□ Other	
	Legal Structure: Jackson St Pres	e rease
	Primary Product or Service: Tours of Sand	15 Ky Bay & Lake Eric
,	Date Established: 1985 NAICS	S-SIC Code:
	Website (if applicable):good time boat	·com
	if the second se	
	l Officers / Owners:	
:	Name/Title: Joe LAMB OWNER	
•	Email: Jue @ good time boat com	Phone: 419-357-4753
;	SSN (last 4): 3602	% Ownership: 100
2,000	Name / Title:	-
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;	SSN (last 4):	% Ownership:
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ocation	n of Proposed Project:
_	Jackson St Pur
	(Address) SANZUSICY OH 44870
-	(City, State, Zip)
-	(County)
]	If a relocation, indicate from where
roject '	Type:  ☐ Renovation
pplica	nt / Business Background Information:  Please provide a brief summary about your background and experience. Please also provide
	historical information regarding the building or property at which the business will operate, including but not limited to the most recent building use (attach additional page if necessary).
	Tours DG LAKE Erie Islands, private rentals, Sunset Cryleus & & DD.  ETC:
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#### Project Description:

	e project to be undertaken for which City assistance is please specifically describe the business expansion usinesses, describe the scope of the project (attach
	a Cor Nackson St. Più
xxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxxx	g for Jackson St. Prei Droject, in conjunction with
0	
ess/Personal References:	
	sh Chemical Service
Name / Title: MACTY Senn	
Name / Title: MACTY Senn	Sh Chemical Service Phone: 419 625 600
Name / Title: Marsy Senn	
Name / Title: Macsy Sonn	Phone: 419 625 600
Name/Title: Marsy Senne Email: Relationship: Busmess  Name/Title: Deb Bushan	Phone: 419 625 600  Creative Cusive
Name/Title: Mary Sanna Email:	Phone: 419 625 600  Creative Cusive
Name/Title: Marsy Senne Email: Relationship: Busmess  Name/Title: Deb Bushan	Phone: 419 625 600  Creative Cusine
Name / Title: Marsy Senne Email: Relationship: Business  Name / Title: Deb Bushan Email: Relationship: Business	Phone: 419 625 600  Creative Cusine  Phone: 419 357 855
Name/Title: Mary Sanna Email:	Phone: 419 625 600  Creative Cusine  Phone: 419 357 8553

#### Project Source & Use Of Funds:

Break out total project costs by use of funds and allocate each use cost by source (attach additional page if necessary) (total of B+C+D should = A).
(A) Total Project Cost (itemize below):
(B) Owner Equity (dollars and source): #15,600 - Lease payments  made directly to applicant
(C) Private Lending (dollars, source, and terms): 5)5,000 - (Thy of Smovsky
(D) Request for City Assistance (dollars and type): \$ 15,000 \ mull
- Brisiness Assistance Frant

#### **Project Timeline:**

Please outline the project timeline. Please include expected completion dates for items including but not limited to obtaining site control, obtaining financing, and construction.

	Start	Complete	<u>N/A</u>
Site Control	-	NA	
Financing		2/2020 ( m more)	the marval
Construction	0	12020	
Other	Project Dome	by Donnely & Cityo	f Sandus ly

#### **Project Impact and Employment:**

	Current Year	Year One	Year Two	Year Three
Annual Sales Revenue	370,000	400,00	400+	400 +
Annual Payroll	75,000	80,000	85,000	85,000
Current Employment (FTE)	1	1	1	1
Average Pay Per Employee	\$10 purhs	\$ 10 per hr	5/0 ges h	\$ 10 pum

**<u>Project Concept</u>**: Use the space below to address the following:

- How does the proposed project relate to a strategic approach to revitalization of the surrounding area?
- Will the project contribute to a change in the market dynamics, economic status, physical appearance or perception of the area?
- Does the project address specific area needs or missing services?

The proposed tickethouse will substantially assist
in achlatis the new Jackson street Pier This will
oper thanks to bedy able to ofter a food at beverage
option to Mose waitly to Good the Good the 1 but also
Jost people at ordaning the Place
Tost people at endaging the Pole of governing a
new revenue Source for the Good the 1 and will also
assist & willing the read for a befor customer
experience when with for a bester custome T.

#### Attachments:

The following should be submitted with your ED Application:

- ☐ Map showing location of Project or business
- ☐ Business plan (if applicable)
- ☐ Three years of historical financial statements (if applicable)
- ☐ Three years of projected financial statements (if applicable)
- □ Sources of financing including evidence of private funds and matching funds (if possible)
- ☐ Third party cost estimates, **INCLUDING RENDERINGS** (if applicable)
- Lease agreement, purchase agreement, or proof of ownership/site control

All Dome through City of SANdusky

#### **Attestation of Financial Condition**

Do you or your business have any of the following:

Outstanding collections

Judgement liens

Other court judgements

Delinquent taxes

Delinquent loans

Other tax liens

Previous bankruptcy

If yes to bankruptcy, has it been fully discharged?

Real estate that is tax delinquent

Code violations

Non-registered rental units

Real estate that is in foreclosure

LES	NO
	X
	14
	¥
	X
	X
	X
	Y
	Y
	X
	X
	X
	/x

VEC

NO

#### Submission Acknowledgment

The undersigned certifies that he/she is authorized to complete, sign and submit this application on behalf of the applicant/owner. Further, the undersigned certifies that the information contained in this application has been reviewed by him/her and that all information, including exhibits, are, to the best of his/her knowledge, complete and accurate and presents fairly the condition of the applicant and project accurately. Intentionally falsifying information in this document constitutes a criminal offense. The undersigned hereby authorizes the City of Sandusky to investigate the credit worthiness and of the undersigned, and/or applicant. The undersigned understands that information submitted to the City of Sandusky as part of this application is considered a public record. The undersigned also agrees to display signage showing City support on their property for up to one (1) year after project completion.

The undersigned understands that additional information may be required to finalize the approval process, and that, if the project is funded, **Economic Development funds cannot pay for projects completed before grant approval and notice of award**. The undersigned also understands that the submission of the application for financial assistance does not automatically constitute approval.

The undersigned understands that if the business or enterprise receiving grant funding moves or relocates to a different location outside of the municipal boundaries of Sandusky within three (3) years from the effective date of the grant agreement, that the grant funding will be rescinded in its entirety and the undersigned waives any right or claim to the awarded funding. This provision does not include businesses or enterprises that cease operations and close or that open up additional locations outside of the municipal boundaries of Sandusky while maintaining their funded location within the Sandusky city limits.

By checking this box, I acknowledge that I have read, understand, and agree to the policies and procedures outlined in this document. I further agree to be interviewed, photographed and/or have my business photographed for Economic Development marketing purposes. If you have questions, please contact the Department of Community Development.

P-1000 COLUMN TO S SPECIALISM OF COLUMN	20 Copinsia
Company Name: LAKE Erre Is.	land Cruicus LLC
By: Soe Lamb	Omer
(Print or type name and title)	
Dent	11-23-19
(Signature)	(Date)

#### Inter-Office Use Only

State the date, time, and City staff member(s) present at the pre-application meeting:
November 20-9:00 am JOS &ML
100011/300(1)
Date of Completed Application Submittal:
Date of Completed Application Submittal:
Staff Reviewer: Jok
Date of Committee Review: 2020
Date of Committee Review.
Approve/Deny:
Approvidence of the second of
Amount Awarded and terms:

#### **CONTACT**

Mr. Matt Lasko, Chief Development Officer Department of Community Development 222 Meigs Street Sandusky, Ohio 44870

Phone: 419.627.5707

Email: mlasko@ci.sandusky.oh.us

#### CITY OF SANDUSKY BID FORM

#### Project Name: JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT

The deadline date for completion of the Project is: September 15, 2019

Having read and examined the Contract Documents, including without limitation the Drawings and Specifications, prepared by the City Engineer for the above-referenced Project, and the following Addenda:

Addendum No.	Date of Receipt
Addendum #1	5/4/18
Addendum #2	5/11/18
Addendum #3	5/18/18
Addendum #4	5/30/18
Addendum #5	6/1/18
Addendum #6	6/7/18
Addendum #7	6/13/18
Addendum #8	6/15/18
Accepted Cost Savings	9/14/18

The undersigned Bidder proposes to perform all Work for the applicable Project, in accordance with the Contract Documents, for the following sums:

CONTRACT 1. GENERAL CONTRACT

#### CITY OF SANDUSKY

#### DEPARTMENT OF PUBLIC WORKS

#### JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT BID FORM-DATED APRIL 18, 2018

#### REVISED ADDENDUM 4 - DATED MAY 31, 2018

LINE NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	TOTAL UNIT COST	TOTAL ITEM COST
1	DEMOLITION OF EXISTING PAVEMENT AND UTILITIES	LS	1		195,567.00
2	ROADWAY AND PAVEMENT (VE1.7a)	LS	1		<del>1,229,324.00</del> <b>1,219,068.00</b>
3	DRAINAGE	LS	1		164,408.00
4	STORM WATER POLLUTION PREVENTION PLAN	LS	Ť.		62,078.00
5	SANITARY SEWER	LS	1		88,170.00
6	WATER WORKS	LS	1		341,284.00
7	LIGHTING AND ELECTRICAL (VE1.8, VE 1.11, VE1.12)	LS	1		<del>1,694,732.00</del> <b>1,654,800.00</b>
8	AESTHETICS AND ENHANCEMENTS (VE1.1, VE 1.2, VE1.7a VE1.15)	, LS	1		<del>1,158,912.00</del> 932,710.00
9	TICKET HOUSE AND FOUNDATION	LS	1		158,994.00
10	MAINTENANCE OF PIER ACCESS	LS	1		with GR's
11	FROFESSIONAL LIABILITY INSURANCE	LS	1		Included
12	FREMIUM FOR CONTRACT PERFORMANCE BOND AND FAYMENT BOND (inc. Builder's Risk Insurance)	LS	1		<del>53,243.00</del> 57,716.00
13	CPM PROGRESS SCHEDULE	LS	1		with Staff
14	FIELD OFFICE (inc. VE1.16 savings for reduced phases)	MONTH	12	\$10,603.50 5,576.75	<del>127,242.00</del> 66,921.00
15	FINAL DESIGN AND CONSTRUCTION PLANS (VE1.6)	LS	1		<del>466,480.00</del> 449,440.00
16	RECORD DRAWINGS	LS	1		Included

#### CONTINGENCY ITEMS:

Actual field conditions encountered during construction may require additions or deletions to the proposed work. The following unit prices shall be used to determine the amount of additional compensation to the DBT and/or credit amount to be reimbursed to the City. No work shall be performed on any Contingency Item without the prior approval of the City. Final payment for Contingency Items shall be based on the quantities installed as determined by the City.

### CITY OF SANDUSKY DEPARTMENT OF PUBLIC WORKS JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT BID FORM-DATED APRIL 18, 2018

#### REVISED ADDENDUM 5 - DATED JUNE 1, 2018 REVISED ADDENDUM 7 - DATED JUNE 13, 2018

LINE NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	TOTAL UNIT COST	TOTAL ITI	EM COST
17	UNDERCUTTING AND REPLACEMENT OF SUBGRADE (VE1.3) (VE1.3 - cement stabilization in lieu of undercutting & replacemen	CU YD	7600	99.33	754,870.00	479,870.00
18	GEOGRID	SQ YD	23000	2.17	49,973.00	9,973.00
				DBT CONTI	NGENCY:	200,902.00
	ALLOWANCE FOR CITY ARCHITECTURE AS SU	IBCONSULTAN	T (SCOP	E OF SERVICES, SECT	TON 5.2):	\$87,500.00
Al	LOWANCE FOR WORK INVOLVING PETROLEUM CONTAM	INATED MATE	RIAL (SC	OPE OF SERVICES, SI	ECT. 9.2): <sup>25,000.0</sup>	<sup>)O</sup> <del>\$175,000.00</del>
	ALLOWANCE FOR SAFETY LADDERS A	ND SIGNAGE (	SCOPE O	F SERVICES, SECTIO	N 14.9.B):	\$20,000.00
	ALLOWANCE FOR RELOCATION AND RENOVATION OF	U.S. CUSTOMS	(SCOPE	OF SERVICES, SECTI	ON 15.3):	\$500,000.00
	ALLOWANCE FOR RENOVATION OF EXISTING PUBLIC	C RESTROOMS	(SCOPE	OF SERVICES, SECTI	ON 15.5):	\$75,000.00
		ALLOWANCE	FOR JAC	KSON STREET PIER S	IGNAGE:	\$50,000.00
	UNOFFICIAL TOTAL AMOUNT OF BASI	E BID (AGGREC	ATE OF		<u> </u>	\$250,000.00
	PLUS I	DBT CONTINGI	ENCY AN	D ALL ALLOWANCES)	\$ <del>7,903,679.00</del>	\$7,089,403.00

**AMOUNT OF BASE BID IN WORDS:** Seven Million Nine Hundred Three Thousand Six Hundred Seventy-Nine Dollars

#### CITY OF SANDUSKY

#### DEPARTMENT OF PUBLIC WORKS

#### JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT **BID FORM-DATED APRIL 18, 2018**

REVISED ADDENDUM 4 - DATED MAY 31, 2018

#### Alternate Items:

- 1. The following Alternates may only be awarded if the Base Bid is within the City's budget for the Project. The addition of Add Alternates will be determined by the City after determination of the successful Bidder.
- 2. Include all costs necessary for the complete items indicated for each Alternate, including (but not limited to) materials, labor, equipment, operations, administration, overhead, profit, and taxes (as applicable).
- 3. The total cost provided for each Alternate shall also include savings of work that will not be performed with the Base Bid.
- 4. Refer to Instructions to Bidders Articles 2.6.3 and 3.4.1 for further information regarding Alternates.

ALTERNATE A:	Provide the total cost to construct the Open-air Market Pavilion, including interior and exterior improvements and foundation, as per the Details in the Preliminary Plans		
	Amount for ALTERNATE A: \$ 622,146.00		
ALTERNATE B:	Provide the total cost to construct the Enclosed Market Pavilion, including interior and exterior improvements and foundations, as per the Details in the Preliminary Plans.		
	Amount for ALTERNATE B: \$832,333.00		
ALTERNATE C:	Provide the total cost to replace the roof on the existing US Customs Building to match the roof that will be installed on the Market Pavilion		
	Amount for ALTERNATE C: \$ Included in US Customs Building Allowance		
ALTERNATE D:	Provide the addition to or deduction from the Total Amount of Base Bid should integrally colored stamped concrete be used in place of the pavers.		
	Amount for ALTERNATE D: \$ Deduct 55,743.00		

### CITY OF SANDUSKY DEPARTMENT OF PUBLIC WORKS JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT BID FORM-DATED APRIL 18, 2018 REVISED ADDENDUM 4 · DATED MAY 31, 2018

ALTERNATE E.	Provide the deduction from the Total Amount of Base Bid should the DBT be awarded both this Project and the
ALTERNATE E:	Shoreline Drive Reconstruction Design-Build Project by the City

Amount for ALTERNATE E: \$ See Shoreline Drive Proposal

### CITY OF SANDUSKY DEPARTMENT OF PUBLIC WORKS JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT BID FORM-DATED APRIL 18, 2018 REVISED ADDENDUM 4 - DATED MAY 31, 2018

#### Additional enhancements:

Additional enhancements that exceed the requirements may be proposed by the DBT, but are not required. These enhancements are not to be included in the fee proposal. Any additional enhancements will be determined by the City after determination of the successful Bidder, and the amount proposed by the DBT for that enhancement incorporated into the Project Cost.

	Provide Description:	
ENHANCEMENT A:		
	See Technical Proposal	
	Amount for ENHANCEMENT A: \$ See Technical Proposal	
	See reclinical Troposal	
	Provide Description:	
ENHANCEMENT B:	See Technical Proposal	
	Amount for ENHANCEMENT B: \$ See Technical Proposal	
	Provide Description:	
ENHANCEMENT C:	See Technical Proposal	
	Amount for ENHANCEMENT C: \$ See Technical Proposal	

Provide additional sheets as necessary.

## CITY OF SANDUSKY DEPARTMENT OF PUBLIC WORKS JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT BID FORM-DATED APRIL 18, 2018 REVISED ADDENDUM 4 - DATED MAY 31, 2018

BIDDER'S NAME	Donley's, Inc.	
Authorized Signature:	Ву:	
Print Name of Authorized Signature:		
Title:		
Company Name:	Donley's, Inc.	
Mailing Address:	5430 Warner Rd.	
	Cleveland, OH 44125	
Telephone Number:	216-524-6800	
Facsimile Number:	216-642-3216	
E-Mail Address:	gconsolo@donleyinc.com	
Where Incorporated:	Ohio	
Federal Identification Number:	34-0187505	
DUNS Number:	00-892-7972	
Contact Person for Contract processing:	Greg Consolo	
ADDITIONAL SIGNATU	IRE FOR JOINT VENTURE	
Authorized Signature:	Ву:	
Print Name of Authorized Signature:		
Title:		
Title.		
Company Name: Mailing Address:		
Company Name:		
Company Name:		
Company Name:		
Company Name: Mailing Address:		
Company Name: Mailing Address: Telephone Number:		
Company Name: Mailing Address: Telephone Number: Facsimile Number:		
Company Name: Mailing Address:  Telephone Number: Facsimile Number: E-Mail Address:		



City of Sanducky - Jackson Street Pier Donley's Job 1114

Contingency/Allowance Item:

Donley's PCO:

Date Submitted: Date Required:

OA1 13 7/16/2019 7/23/2019

CONTINGENCY	'/ALLOWNACE REQUEST D	ESCRIPTION

Description: Revisions to the original tickethouse floorplan, including addition of restroom, interior closet, partition and door, and lengthing structure/area to provide larger concessions area. Additionally, bollards and chains for "secure" area and ticketing que have been added as requested by the Goodtime. See attached plans showing proposed work previously reviewed and approved by COS and Goodtime.

Reference:

Item		Amount	Notes/Clarifications	
Site Security Bollards & Chains	\$	11,870.00	see attached	
Ticket House Plan Changes	\$	20,800.00	see attached detail of TH revisions	
	\$			
	\$	-		
Subtotal	\$	32,670.00		
Design Fees	\$	7,400.00	City Architecture	
D/B Staff & Reimburseables	\$	582.00	Added Meetings & PM Time - 6 hours	
Subtotal	\$	40,652.00		
D/B Fee	\$			
CAT Tax	\$			
GRAND TOTAL	\$	40,652 00		
CONT/ALLOWANCE OFFSET	\$	(40.652.00)		
NET CONTRACT (GMP) CHANGE:	\$			
Added Schedule Days		0		

CONTINGEN	CY/ALL	OWANCE APPROVAL				
Reason:	v	Owner Change	Funding Source:		Owner (Change Order: CO)	
		Design Change		11	Owners Allowance (OA)	
		Field Condition		1.1	Signage Allowance (SA)	
191		Other		11	Restroom Renovation Allowand	ce (RRA)
					Customs Allowance (CA)	
				Safety Ladders Allowance (SLA	<b>A)</b>	
Accepted   Yes   No			i I	Petroleum/Contaminated Soils Allowance (PA)		
Proceed on Time and Material:		ΠÌ	D/B Construction Contingency (CC)			
Authorized Representatives Signature				Signature	Date	
Reviewed By Obborn Engineering			Dura Black	8/20/19		
Approved & Accepted By City of Sandusky			Bron MICO.	8-21-19		
1						

Dan Gess Donley's, Inc.

#### Ticket House - Goodtime Requested Revisions

ite / Security		
See attached layout (still pending Goodtime and USCG review/approval).		
Add 25 bollards with chains to create secure area along length of vessel.		
Bollards - Material (see attached quote)	8,750	
Bollards - Labor	3,120	
W 408	E	11,870
icket House		
See attached flooplan layout (including comparison to original floorplan)		
Convert Mech Closet to restroom.		
Plumbing Fixtures, Exhaust Fan & Bath Accessories	5,225	
Additional Electric Circuits	550	
Add FRP finish to restroom interior (full height)	2,600	
Lengthen Ticket House to provide 6' open area in concessions, add sink		
Lengthen Structure - foudations, exterior	7,300	
Plumbing Fixture & Accessories	2,250	
Add interior wall and door to Ticketing area; add closet		
Framing, doors and finishes	2,875	
** Assumes no additionla HVAC; single PTAC		
ubtotal		20,800



#### SUBMITTAL PACKAGE FOR APPROVAL 1114. - JACKSON ST. PIER REHABILITATION

**DATE:** 12/02/2019

**PACKAGE NUM:** 010515-016

PACKAGE REV: 0

**SPEC #:** 010000

To:	Sue Schmall	From:	Michael Schiavoni
	Osborn Architects & Engineers		Donley's, Inc.
	1100 Superior Ave., #300		5430 Warner Road
	Cleveland, OH 44114	Log to being	Cleveland, 44125
E-Mail:	sschmall@osborn-eng.com	E-Mail:	

We are transmitting the following Submittal Package Number: "010515-016", Revision: "0" Description: "BU#3B Ticket Booth & Restroom Drwg. Set - COS" for your review, intended to be compliant with contract Specification Number: "010000".

Please review and respond to: Michael Schiavoni, by: 12/16/2019 in accordance with the contract documents.

Submittal Item	Copie s	Status	Activity Date	Notes
010515-012 - BU#3B Ticket Booth & Restroom Drwg. Set - COS	1	NEW		ELIVER AND

Additional Notes: Please review the attached complete BU#3B Ticket Booth & Restroom Renovations drawing set for final approval. The following approval letters and drawings have been included:

- Drawing Comments Log
- KS Associates Approval Letter
- Drawings:
  - > C01 C03
  - > A00 A12
  - > S01 S07
  - > P01 P03
  - > M01 M03
  - > E01 E06
  - > Restroom Renovations

Sincerely,		
Michael Schiavoni		

cc: 1114./OHM Advisors/7.3

#### City of Sandusky Jackson Street Pier Redevelopment

#### Submittal Cover Sheet

(To be filled out and submitted with each submittal)

Contractor / Subcontractor: Donley's / OHM	
Specification Section: 010515 Sub Specification Section	BU#3B Ticket Booth & Restroom Drwg. Set - COS
Date: 12/2/19 Submittal Item #	010515-012
Manufacturer/Supplier: OHM Item: BU#3B Tic	ket Booth & Restroom Drwg. Set - COS
Intended Area of Use, Drawing # and Detail Reference: _	
<u>Donley's Stamp</u>	Architect/Engineer Stamp
REVIEWED/ JOB #: 1114	, T
<b>Donley's</b>	
SPEC. SECTION: 010515	I All Est of
DATE: 12/2/19	
BY: Michael J. Schiavoni	
2°	
	=



November 22, 2019

Civil Engineers + Surveyors

Aaron Klein, P.E. Director of Public Works City of Sandusky 240 Columbus Avenue Sandusky, OH 44870 260 Burns Road, Suite 100 Elyria, Ohio 44035 P 440 365 4730 F 440 365 4790 ksassociates.com

RE: Jackson Street Pier, Sandusky, OH

IQM Approval Letter for BU3B Ticket House and Restroom Renovations

Dear Mr. Klein:

KS Associates, Inc., acting in its capacity as Independent Quality Manager (IQM) for the Jackson Street Pier Reconstruction project, has reviewed the following design submittal. Comments have been addressed as shown in the attached QA/QC Comment Disposition spreadsheet. The drawing set includes:

Buildable Unit #3B, sheets dated as noted:

- BU3B C01 Title Sheet 10/15/19
- BU3B C02 General Notes 10/15/19
- BU3B C03 General Notes 10/15/19
- BU3B A00 Overall Hardscape Plan 10/17/19
- BU3B A01 Ticket House Floor Plan 10/17/19
- BU3B A02 Ticket House Elevations 10/17/19
- BU3B A03 Ticket House Building Sections 10/17/19
- BU3B A04 Ticket House Section Details 10/17/19
- BU3B A05 Ticket House Section Details 10/17/19
- BU3 A06 Ticket House Interior Details 10/17/19
- BU3 A07 Ticket House Interior Elevations 10/17/19
- BU3B A08 Ticket House Door Details 10/17/19
- BU3B A09 Ticket House Door Details 10/17/19
- BU3B A10 Ticket House Specifications 10/17/19
- BU3B A11 Ticket House Specifications 10/17/19
- BU3B A12 Restroom Renovation 10/17/19
- BU3B S01 Structural Notes 10/17/19
- BU3B S02 Structural Specifications 10/17/19
- BU3B S03 Structural Specifications 10/17/19
- BU3B S04 Foundation Plan 10/17/19
- BU3B S05 Roof Framing Plan 10/17/19
- BU3B S06 Foundation Details 10/17/19
- BU3B S07 Framing Details 10/17/19
- BU3B P01 General Information 11/18/19
- BU3B P02 Specifications 11/18/19
- BU3B P03 Plumbing Plans 11/22/19
- BU3B M01 General Information 11/18/19

Aaron Klein, P.E. Director of Public Works November 22, 2019 Page 2 of 2

- BU3B M02 Specifications 11/18/19
- BU3B M03 HVAC Plan 11/18/19
- BU3B E01 Electrical Specifications 11/18/19
- BU3B E02 Electrical Specifications 11/18/19
- BU3B E03 Ticket House Photometric Plan 11/18/19
- BU3B E04 Proposed Ticket House Electrical Plans 11/18/19
- BU3B E05 Ticket House Electrical Details 11/18/19
- BU3B E06 Existing Restroom Electrical Plans 11/18/19.

The above-listed design drawings are approved for submittal to the City of Sandusky.

Please contact the undersigned with any questions.

Sincerely.

KS ASSÓCIATES, INC.

Lynn S. Miggins, P.E.

President

c: Chad Lewis, P.E., OHM Advisors
Scott Bickley, P.E., OHM Advisors
Benny Chew, RA, City Architecture
Dan Gess, Senior Project Manager, Donley's
Josh Zielinski, Project Superintendent, Donley's
Michael Schiavoni, Assistant Superintendent, Donley's
Andrew Lesnick, Donley's

2 3		BU-3B [	Drawing Set Publish Dates as Noted	for all and the second			
tem #	Reviewer	Review Comment for BU#3B Ticket Booth and Restroom (drawing date)	OHM Disposition of Review  Comment	City Arch. Disposition of Review Comment	Donley's Disposition of Review  Comment	Cost Impact	Accept / Reject
1	KS Associates / Karpinski	Sheet E04 (10/25/19): Restroom TH2: All receptacles in restroom are the be GFCI. The outlet at the homerun is not GFCI.	(11/18/19) Concured. Plan updated	Accepted			IQM Accep 11/22/19
2	KS Associates / Karpinski	Sheet E04 (10/25/19): Restroom exhaust fan is circuited as 120 volt but the HVAC schedule has 208 volt. How is this fan to be controlled since it is an independent circuit from the lights?	(11/18/19) See diagram 1 sheet E05. Circuit should be PP1-1,3	Accepted			IQM Accep 11/22/19
3	KS Associates / Karpinski	Sheet E05 (10/25/19): Ticket House is missing the power connection to the water heater to be located in the lower right comer.	(11/18/19) Plan updated	Accepted			IQM Accep 11/22/19
4	KS Associates / Karpinski	Sheet E05 (10/25/19): Panel PP3 for the Ticket Booth is shown as 3 phase. The underground utility BU2 has this feeder as single phase. Verify the incoming power to confirm the single phase is correct. If it is, update the loading (in Amps) to reflect the higher amps.	(11/18/19) Coordinated with Firelands - to provide 3ø panel	The work will revise the breaker and wire size in phase BU2 that was previously approved. This is acceptable.			IQM Accep 11/22/19
5	KS Associates / Karpinski	Sheet E06 (10/25/19): Restroom Lights type L1 Are Flat panel LED but the ceiling is existing. Not sure the ceiling is grid or gyp. Should this be vandal resistant construction?	(11/18/19) L1 can be surface mounted, surface mount kit part number added to fixture schedule. Vandal resistant is not required - owner preference	Accepted			IQM Accel 11/22/19
6	KS Associates / Karpinski	Is a panic/hold-up alarm push button required for the concessions and ticket counters?	(11/18/19) Not required by code	Correct not required by code but a good practice if money is exchanged			IQM Acce 11/22/19
7	KS Associates / Karpinski	Is there a POS Server location required? If so, provide adequate rough-in.	(11/18/19) Yes, plan updated	Accepted			IQM Acce 11/22/19
8	KS Associates / Karpinski	Is video surveillance cameras required for this space?	(11/18/19) Not required by code	Correct not required by code but a good practice if money is exchanged			IQM Acce 11/22/19
9	KS Associates / Karpinski	Sheet P03: Suggest indicating required work for DF-1. Is an existing drinking fountain being removed? If not, stack diagram should be added.	(11/18/19) Existing restroom, don't have piping as builts. Existing drinking fountain was removed at some point. (11-22-19) note added.	Suggest adding Note to describe Scope.			IQM Acce 11/22/19
10	KS Associates / Karpinski	Sheet P03: It's important that water and waste piping is located on the room side of the insulation when installed in an outside wall.	(11/18/19) Added note.	Accepted			IQM Acce 11/22/19
11	KS Associates / Karpinski	Sheet P03: WC-1 is not vented properly. OPC 915: It can't be a combination waste and vent because it receives waste from a water closet and discharge from a food waste disposer. OPC 912: It can't be a wet vent because it receives waste from outside the bathroom group.	(11/18/19) Added vent. (11-22-19) We concur. Diagram updated.	Vent added is not a fixture vent. It is connected to the main. Suggest running the sanitary from the water closet towards the south with a fixture vent off the top of the sanitary within the wall. Then connecting the sanitary from the water closet to the sanitary main.		1 = 1	IQM Acce 11/22/19
12	KS Associates / Karpinski	Sheet P03: Is water pressure adequate to serve a flush valve water closet with a 1.6 gallon per flush rating through a 1" domestic water main?	(11/18/19) We assumed yes. We can change to a tank toilet if desired.	It is the Engineer of Record's responsibility to determine if the water pressure is adequate for the system as designed. If pressure is not adequate, suggest changing to a tank type water closet if acceptable by Owner.			IQM Acce 11/22/19
13	KS Associates / Karpinski	Sheet P03: Question the installation and servicing of the Grinder Pump within the pit. Is there adequate space available?	(11/18/19) Yes there should be adequate space.	Accepted			IQM Accept 11/22/19
14	KS Associates / Karpinski	Sheet P03: Is grinder pump discharging into a gravity or forced main? It's important that pump head is sufficient.	(11/18/19) Gravity main.	Accepted			IQM Acce 11/22/19
15	KS Associates / Karpinski	Sheet M02: 2.05: This spec section lists only ECH-1 but it also applies to ECH-2	(11/18/19) Added ECH-2.	Accepted			IQM Acce 11/22/19
16	KS Associates / Karpinski	Sheet M02: 206.7 - Controlling exhaust fan with light switch is not recommended. Suggest a separate switch with a timer.	(11/18/19) Light sensor includes a time delay for the exhaust fan. Updated specification to include this.	Accepted			IQM Acce 11/22/19
17	KS Associates / Kaminski		(11/18/19) Updated to include an internally mounted speed controller.	Accepted			IQM Acce 11/22/19

0

LIND

BUILDABLE

REDEVELOPMENT TITLE SHEET

PIER

EET

STR

JACKSON

BUILDABLE UNIT #3B DESCRIPTION

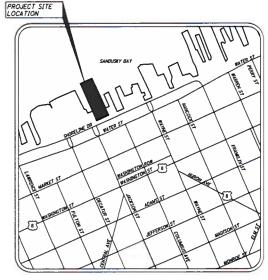
PROPOSED TICKET HOUSE AND EXISTING RESTROOM RENOVATION AT JACKSON STREET PIER.

# **CITY OF SANDUSKY**

# JACKSON STREET PIER REDEVELOPMENT

# **BUILDABLE UNIT #3B** 233 WEST SHORELINE DRIVE

A00 AOI A02 A03 A04-A05 406 A07 408-409 AIO-AII AI2 501-503 S04-S05 506-507 P01-P02 P03 M01-M02 M03 E01-E02 F03 PROPOSED TICKET HOUSE ELECTRICAL PLANS E04 TICKET HOUSE ELECTRICAL DETAILS E05 EXISTING RESTROOM ELECTRICAL PLANS E06



#### **LOCATION MAP** LATITUDE: N 41°-27'-27" LONGITUDE: W 82°-42'-49"

NOT TO SCALE PORTION TO BE IMPROVED

INTERSTATE, U.S. AND STATE ROUTES COUNTY AND OTHER ROADS



CITY OF SANDUSKY OHIO DEPARTMENT OF TRANSPORTATION SUPPLEMENTAL CONSTRUCTION DRAWINGS STANDARD CONSTRUCTION DRAWINGS **SPECIFICATIONS** NUMBER DATE NUMBER DATE DATE NUMBER NUMBER NUMBER 7-1-08 TR-7 8-1-08 7-1-08 TR-8 6-1-08 LA-1.2 1-16-09 MT-110.10 7-19-13 7-1-08 MH-1 7-1-08 CB-3 SW-1 7-1-08 SW-2 9-1-09 TR-2 6-1-08 RB-1 6-1-08 TR-3 6-1-08 MP-1 6-1-08 TR-6 6-1-08 MP-2 6-1-08 DENNIS E. MURRAY JR. PRESIDENT OF COMMISSION

ERIC WOBSER

CITY MANAGER

RICHARD R. BRADY VICE PRESIDENT OF COMMISSION

NIKKI LLOYD COMMISSIONER

GREG LOCKHART COMMISSIONER

WESLEY POOLE COMMISSIONER

NAOMI R. TWINE COMMISSIONER

DAVE WADDINGTON COMMISSIONER

ANGELA BYINGTON DIRECTOR OF NEIGHBORHOOD DEVELOPMENT AND PLANNING

AARON M. KLEIN. P.E. DIRECTOR OF PUBLIC WORKS / CITY ENGINEER

### 2016 SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THE PROPOSAL SHALL GOVERN THIS IMPROVEMENT.

EARTH DISTURBED AREAS

DIRECTOR OF PUBLIC WORKS / CITY ENGINEER

3.94 ACRES

AARON M. KLEIN. P.E. -

APPROVED \_\_

DATE

CALL I-800-925-0988 (TOLL FREE) OIL AND CAS PRODUCERS UNDERGROUND PROTECTION SERVICE



PLANS PREPARED BY: OHM ADVISORS, INC. 6001 EUCLID AVE., SUITE 130 CLEVELAND, OH 44103 216.865.1335

**BUILDABLE UNIT #3B INDEX OF SHEETS** 

TITLE SHEET COI CO2-CO3 GENERAL NOTES OVERALL HARDSCAPE PLAN TICKET HOUSE - FLOOR PLAN TICKET HOUSE - ELEVATIONS TICKET HOUSE - BUILDING SECTIONS TICKET HOUSE - SECTION DETAILS TICKET HOUSE - INTERIOR DETAILS TICKET HOUSE - INTERIOR ELEVATIONS TICKET HOUSE - DOOR DETAILS TICKET HOUSE - SPECIFICATIONS RESTROOM RENOVATION STRUCTURAL NOTES, LEGEND, AND SPECIFICATIONS FOUNDATION AND ROOF FRAMING PLANS FOUNDATION AND FRAMING DETAILS GENERAL PLUMBING INFORMATION AND SPECIFICATIONS PLUMBING PLANS GENERAL MECHANICAL INFORMATION AND SPECIFICATIONS MECHANICAL HVAC PLAN AND SCHEDULES ELECTRICAL SPECIFICATIONS TICKET HOUSE PHOTOMETRIC PLAN

**BUILDABLE UNIT #3B REVISIONS** REV # DATE

SHEETS

MECHANICAL

ENGINEERS SEAL

SIGNED:

STRUCTURAL

SIGNED:

DATE:

ENGINEERS SEAL

ELECTRICAL

ENGINEERS SEAL

SIGNEDS

DATE:

0

0

ST

Z

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DABL

BUIL

#### GENERAL

#### SCOPE OF WORK

THE CONTRACTOR'S RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION PROCEDURES, MATERIALS, INSTALLATION SEQUENCE AND COORDINATION WITH THE OWNER,

THE CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL LICENSES, GOVERNMENT FEES, AND PERMITS THAT MAY BE REQUIRED TO PROPERLY EXECUTE AND COMPLETE THE WORK. COMPLY WITH ALL APPLICABLE CODES, RULES, ORDINANCES AND OTHER LEGAL

THE CONTRACTOR SHALL IMMEDIATELY LOCATE ALL REFERENCE POINTS. LAYOUT WORK. AND BE RESPONSIBLE FOR ALL MEASUREMENTS AND OTHER WORK TO BE EXECUTED UNDER THE CONTRACT. VERIFY ALL FIGURES SHOWN ON THE PLANS, VERIFY ALL DIMENSIONS OF ANY EXISTING AND NEW WORK. BE RESPONSIBLE FOR THEIR ACCURACY. AND SUBMIT ANY DIFFERENCES FOUND TO THE OWNER BEFORE PROCEEDING WITH THE WORK. NO EXTRA COMPENSATION WILL BE PERMITTED BECAUSE OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND MEASUREMENTS INDICATED ON THE DRAWINGS.

DETAILS AND DIMENSIONS SHOWN ON THIS PLAN PERTAINING TO THE EXISTING UTILITIES HAVE BEEN OBTAINED FROM PLANS OF THE EXISTING FACILITIES AND DO NOT NECESSARILY REPRESENT AS BUILT CONDITIONS. THE CONTRACT BID PRICES SHALL BE BASED ON A RECOGNITION OF THE UNCERTAINTIES DESCRIBED ABOVE AND UPON AN EXAMINATION OF THE WORK SITE BY THE CONTRACTOR. ALL PROJECT WORK SHALL BE BASED UPON THE ACTUAL DETAILS AND DIMENSIONS PRESENTED ON THIS PLAN AND SPECIFICATIONS WHICH HAVE BEEN VERIFIED BY THE CONTRACTOR IN THE FIELD.

#### 2016 SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE CITY OF SANDUSKY AND THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION, JANUARY 1, 2016 EDITION SHALL GOVERN THIS PROJECT. THIS SHALL INCLUDE ANY CHANGES OR SUPPLEMENTAL SPECIFICATIONS. SHOULD A CONFLICT ARISE BETWEEN THESE OR OTHER PROJECT SPECIFICATIONS, THE CITY OF SANDUSKY STANDARDS SHALL TAKE PRECEDENCE.

#### DEFINITIONS AND TERMS

WHEREVER THERE APPEARS IN THE STANDARD SPECIFICATIONS (ODOT ITEMIZED CMS). SUPPLEMENTAL SPECIFICATIONS OF PROPOSAL NOTES, THE TERM "THE STATE", "DIRECTOR OF TRANSPORTATION", "DEPARTMENT", "DISTRICT CONSTRUCTION ENGINEER (DCE)". "EMDINEER", OR ANY OTHER TERM DESIGNATING ANY REPRESENTATIVE OR EMPLOYEE OF THE STATE OR ITS DEPARTMENT OF TRANSPORTATION, SUCH TERM SHALL, FOR THE PURPOSE OF THIS CONTRACT, BE CONSIDERED AND TAKEN AS MEANING AND DESIGNATING THE RESPECTIVE BOARD OFFICER OR EMPLOYEE OF THE CITY OF SANDUSKY WHOSE DUTY OR FUNCTION IT IS TO DEAL WITH THE SUBJECT MATTER IN CONNECTION WITH SUCH TERMS IS

THE STATE SHALL MEAN THE CITY OF SANDUSKY. DEPARTMENT SHALL MEAN THE SANDUSKY PUBLIC WORKS / ENGINEERING. DIRECTOR SHALL MEAN THE CITY OF SANDUSKY CITY ENGINEER, HIS DEPUTIES OR ANY ENGINEER DESIGNATED AS THE CITY ENGINEER'S REPRESENTATIVE. DISTRICT CONSTRUCTION SHALL MEAN THE CITY OF SANDUSKY CITY ENGINEER, HIS DEPUTIES OR ANY ENGINEER DESIGNATED AS THE CITY ENGINEER'S REPRESENTATIVE. LABORATORY SHALL MEAN THE LABORATORY APPROVED BY THE CITY OF SANDUSKY.

#### BASE MAPPING

BASE MAPPING BY DLZ CORPORATION WAS COMPLETED IN MAY 2017. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ALL EXISTING HORIZONTAL AND VERTICAL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE

#### ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

#### HORIZONTAL DATUM

SITE CONTROL ESTABLISHED UTILIZING EXISTING MONUMENT BOXES ON JACKSON STREET. SEE SHEET 203.

#### PLAN DISCREPANCIES

ANY DISCREPANCIES FROM THE PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE CITY AND THE ENGINEER OF RECORD SO THAT THE APPROPRIATE ADJUSTMENTS IN ALIGNMENT AND/OR GRADE MAY BE MADE PRIOR TO THE START OF CONSTRUCTION OR THE

FAILURE BY THE CONTRACTOR TO VERIFY AND/OR DETERMINE EXISTING INFORMATION AS INDICATED WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ANY CHANGES NECESSARY TO COMPLETE THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION.

#### UTILITIES

LISTED BELOW ARE ALL UTILITIES LOCATED WITHIN THE PROJECT CONSTRUCTION LIMITS TOGETHER WITH THEIR RESPECTIVE OWNERS:

**TELEPHONE** 

ATTN .: ROBERT FEY

TOLEDO, OHIO 43604 PHONE: (419) 245-5004

EMAIL: RF1281@ATT.COM

**TELECOMMUNICATIONS** 

ATTN.: MIKE SHEAHAN

2700 OREGON ROAD

PHONE: (419) 615-2930

NORTHWOOD, OHIO 43619

BUCKEYE CABLE/TELESYSTEM

130 NORTH ERIE STREET, ROOM 705

ATRT

CITY OF SANDUSKY ATTN .: LUKE KROMER 240 COLUMBUS AVE SANDUSKY, OHIO 44870 EMAIL: LKROMER@CI.SANDUSKY.OH.US

CITY OF SANDUSKY ATTN.: ADAM KING 240 COLUMBUS AVE. SANDUSKY, OHIO 44870 PHONE: (419) 627-5819 EMAIL: AKING@CI.SANDUSKY.OH.US

ELECTRIC OHIO EDISON ATTN: JEFF SCHMID 2508 WEST PERKINS AVENUE SANDUSKY, OHIO 44870 PHONE: (419) 627-6887 FMAIL: SCHMIDJA@FIRSTENERGYCORP.COM

PHONE: (419) 350-9256 EMAIL: MSHEAHAN@TELESYSTEM.US COLUMBIA GAS OF OHIO, INC. ATTN.: JON AMSTUTZ 1800 BROAD AVENUE FINDLAY, OHIO 45840

EMAIL: JAMSTUTZ@NISOURCE.COM

THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE AS OBTAINED FROM THE OWNERS AS REQUIRED BY SECTION 153.64 O.R.C. THE CITY DOES NOT CUARANTEE THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. THE CITY IS NOT LIABLE FOR UTILITIES OR CONNECTIONS NOT SHOWN ON THE PLANS OR ABANDONED UTILITIES OR CONNECTIONS. THE CONTRACTOR SHALL CUT OUT ANY ABANDONED UTILITIES AND ALL COSTS INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE BID ITEM FOR THAT WORK. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO

THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER. THE OHIO UTILITIES PROTECTION SERVICE (OUPS), THE ONIO OIL AND GAS PRODUCERS UNDERGROUND PROTECTION SERVICE (OGPUPS), AND ALL NON REGISTERED UTILITY OWNERS AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION IN ALL AREAS.

OUPS 1-800-362-2764 (CONTACT LIMITED BASIS PARTICIPANTS DIRECTLY)

PLAN INFORMATION RECEIVED FROM UTILITY OWNERS IN RESPONSE TO OUPS DESIGN TICKET NUMBERS 8707500358, 8709700409 AND 8709700416 WAS USED TO SUPPLEMENT

#### INSPECTION

ALL WORK REQUIRED FOR THIS IMPROVEMENT SHALL BE SUBJECT TO INSPECTION BY THE OWNER, THE CITY OF SANDUSKY ENGINEERING DEPARTMENT, SEWER DEPARTMENT, WATER SERVICES DEPARTMENT, FIRE DEPARTMENT AND THE BUILDING DEPARTMENT OR THEIR DESIGNATED REPRESENTATIVE. THE CONTRACTOR SHALL GIVE A 48 HOUR NOTICE UNLESS OTHERWISE NOTED IN THE SPECIFICATIONS BEFORE STARTING ANY WORK ON THIS PROJECT.

#### SAFETY

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL FEDERAL. STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF THE PUBLIC (INCLUDING EMPLOYEES). WORKERS. GENERAL PUBLIC AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE MAINTAIN AND SUPERVISE ALL SAFFTY REQUIREMENTS. PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THE CONTRACTOR SHALL PROPERLY SUPPORT AND/OR MAINTAIN ALL EXCAVATIONS PER APPLICABLE SAFETY REQUIREMENTS AND COMPLY WITH ALL O.S.H.A. REGULATIONS. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE PROJECT'S ASSIGNED "COMPETENT PERSON" IN OSHA EXCAVATION STANDARDS.

PUBLIC STREETS SHALL BE KEPT CLEAN AND FREE OF DEBRIS (MUD. STONE, ETC.) AT ALL

THE CONTRACTOR SHALL ALERT ALL LOCAL EMERGENCY AGENCIES (FIRE, POLICE AMBULANCE, ETC.) OF THE NATURE OF THE PROPOSED PROJECT PRIOR TO BEGINNING AND CONSTRUCTION ACTIVITY. ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES IN THE SITE.

#### WORK LIMITS

THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE INSTALLATION, AND OPERATION (INCLUDING ERECTION, MAINTENANCE AND REMOVAL)
OF ALL WORK ZONE TRAFFIC CONTROL AND WORK ZONE TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS, EXCEPT WHERE OTHERWISE MOTED, SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. IT IS ANTICIPATED THAT ALL WORK WILL BE PERFORMED AS SHOWN ON THE PLANS.

#### COOPERATION BETWEEN CONTRACTORS

IT IS ANTICIPATED THAT OTHER CONTRACTORS MAY BE WORKING ON PROJECTS ADJACENT TO OR WITHIN THE LIMITS OF THIS PROJECT, EITHER FOR THE CITY OR FOR OTHER PUBLIC OR PRIVATE AGENCIES. THE CONTRACTOR SHALL COOPERATE AND COORDINATE HIS OPERATIONS AND THE MAINTENANCE OF TRAFFIC, WITH THE CONTRACTORS OF OTHER PROJECTS THAT MAY BE IN FORCE DURING THE LIFE OF THIS CONTRACT INCLUDING BUT NOT LIMITED TO OHIO EDISON, COLUMBIA GAS OF OHIO, AT&T, BUCKEYE CABLE, CUSTOMS & BORDER CONTROL. GOODTIME II. ECT.

#### DUST CONTROL

THE CONTRACTOR SHALL FURNISH AND PROVIDE DUST CONTROL PER ODOT 2016 CMRS MANUAL.

#### CONSTRUCTION OPERATIONS

CONSTRUCTION VEHICLES AND EQUIPMENT WITH LOADS GREATER THAN H-20 HIGHWAY LOADS SHALL NOT CROSS EXISTING UNDERGROUND STRUCTURES WITHOUT BRIDGING, VEHICLES USED TO HAUL DEMOLISHED MATERIALS, UNSUITABLE MATERIAL, EARTH, CONCRETE, ETC. SHALL AVOID CROSSING OVER EXISTING UNDERGROUND STRUCTURES WHENEVER POSSIBLE. WHEN CROSSING CANNOT BE AVOIDED, SUITABLE BRIDGING SHALL BE PROVIDED.

CONFINE OPERATIONS TO AREAS BEING CONSTRUCTED OR REPAIRED. DO NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS OR EQUIPMENT. COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE OWNER.

TAKE ALL PRECAUTIONS TO PREVENT INTERFERENCE WITH NORMAL OPERATIONS OF THE OWNER. DO NOT BLOCK NOR INTERFERE WITH REQUIRED LEGAL EXITING.

THE CONTRACTOR SHALL CLOSE UP ALL TRENCHES IMMEDIATELY FOLLOWING INSTALLATION OF STORM SEWERS, SANITARY SEWER, WATER LINES, LATERALS, ETC.. TRENCHES TO BE PLATED OVER OR CAUTION TAPED AT NIGHT IF NECESSARY AND MARKED FOR SNOW PLOWS

NO UTILITY TRENCH SHALL BE LEFT OPEN OVERNIGHT. OPEN AREAS ARE TO BE BACKFILLED OR STEEL PLATED. IN CASE OF INCLEMENT WEATHER OR OTHER REASONS, THE TRENCH SHALL BE BACKFILLED OR STEEL PLATED AT THE DIRECTION OF THE OWNER.

ALL OPEN UTILITY TRENCHES ARE TO BE PROTECTED WITH EITHER A CAUTION TAPE/CONE PERIMETER. BACKFILL. OR STEEL PLATE DURING NON WORKING HOURS.

#### LOCAL LAWS, ORDINANCES, AND REGULATIONS

IN ACCORDANCE WITH SECTION 107.01 OF THE GENERAL PROVISIONS, THE CONTRACTOR SHALL STAY FULLY INFORMED OF ALL LOCAL LAWS, ORDINANCES, REGULATIONS, ORDERS, AND DECREES THAT AFFECT THE WORK. IT IS THE CONTRACTORS RESPONSIBILITY TO OBSERVE AND COMPLY WITH ALL SUCH LAWS, ORDINANCES, REGULATIONS, ORDERS, AND DECREES AT NO ADDITIONAL COST TO THE PROJECT/CITY. CONTRACTOR SHALL FOLLOW THE NOISE CONTROL REGULATIONS SET FORTH IN CHAPTER 519 OF SANDUSKY'S CODIFIED ORDINANCES.



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#### UTILITY NOTES

VIEW THE SITE AND COORDINATE WITH THE OWNER REGARDING LOCATION OF EXISTING FACILITIES AND ANY POSSIBLE UTILITY SERVICE INTERRUPTION OR RELOCATION. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE INVESTIGATION, VERIFICATION OF EXISTING UTILITY DIMENSIONS AND LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT.

ALL LITTLITY INFORMATION SHOWN ON THESE PLANS IS BASED ON AVAILABLE RECORD DRAWINGS AND FIELD LOCATION AND IS PROVIDED AS A REFERENCE ONLY. IT IS BELIEVED THAT THESE LOCATIONS ARE REASONABLY CORRECT, HOWEVER, THE OWNER AND ENGINEER DO NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THESE EXISTING UTILITIES.

THE CONTRACTOR SHALL GIVE THE CITY AND ALL UTILITY OWNERS A MINIMUM OF TWO WORKING DAYS NOTICE BEFORE THE BEGINNING OF WORK.

ALL STORM SEWERS, WATER MAINS, ELECTRIC AND TELECOMMUNICATION AND THEIR APPURTENANCES SHALL BE CONSTRUCTED, TESTED AND INSPECTED UNDER THE SUPERVISION OF THE UTILITY OWNER AND THE CITY OF SANDUSKY.

EXCAVATIONS SHALL BE SHORED OR SLOPED AS NECESSARY TO PROVIDE SAFE WORKING CONDITIONS DURING CONSTRUCTION IN DEEP TRENCHES OR WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, A TRENCH BOX OR OTHER METHOD OF EMBANKMENT STABILIZATION WILL BE REQUIRED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DOCUMENTATION OF ALL UNDERGROUND UTILITIES/PIPING AS THEY ARE ENCOUNTERED DURING EXCAVATION ON THE PROJECT.

THESE REQUIREMENTS ARE TO BE FOLLOWED REGARDLESS OF THE MATERIAL USED TO BACKFILL OR FILL. THESE REQUIREMENTS PERTAIN TO INSTALLATION OF ALL UTILITIES.

REGARDLESS OF THE TYPE OF BACKFILL USED ON THIS PROJECT, THE CONTRACTOR WILL PROVIDE THE TESTING SERVICES NECESSARY TO CHECK THE DENSITY OF THE MATERIALS PLACED IN TRENCHES OR FILL AREAS AS DIRECTED BY THE PROJECT ENGINEER. THE CITY WILL OR MAY PROVIDE QUALITY ASSURANCE TESTING.

ANY MATERIALS THAT ARE NOT ABLE TO BE COMPACTED TO THE REQUIRED COMPACTION SHALL NEED TO BE REMOVED AND REPLACED WITH SPECIFIED MATERIALS THAT CAN ACHIEVE THE REQUIRED COMPACTION AT THE CONTRACTOR'S EXPENSE, PROVIDE WRITTEN CERTIFICATION THAT COMPACTION REQUIREMENTS HAVE BEEN MET TO THE OWNER

WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE OWNER APPROVES THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE WORK.

THE CONTRACTOR SHALL AVOID DISTURBANCE OF EXISTING ROADWAY PAVEMENTS THAT ARE TO REMAIN. ONLY AREAS AS INDICATED ON THE PLANS SHALL BE DISTURBED. AT LOCATIONS WHERE DISTURBANCE IS EMINENT, THE CONTRACTOR SHALL CONTACT THE OWNER FOR APPROVAL. ALL REPLACEMENT WILL BE AS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWERAGE SYSTEMS AND ANY OTHER UTILITIES ENCOUNTERED ON THE SITE.

ALL SEWER AND SURFACE DRAINAGE CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF SANDUSKY AND ODOT SPECIFICATIONS. ODOT ITEM 611.13 CONDUIT EVALUATION REQUIREMENTS IS WAIVED.

## WYE BRANCHES, RISERS, AND CONNECTIONS (6" DIAMETER)

THE MATERIAL FOR ALL WYE BRANCHES, RISERS, AND CONNECTIONS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

POLYVINYL CHLORIDE (PVC) ASTM D-3034 (SDR 35) WITH GASKET MATERIAL CONFORMING TO ASTM F-477 AND JOINTS PER ASTM D-3212, APPROPRIATE WYE BRANCHES, BOOTS, OR SADDLES SHALL BE INSTALLED IN CORED HOLES IN THE STORM

#### OHIO E.P.A. GENERAL NOTES

- 1. A MINIMUM 35 PSI PRESSURE SHALL BE DELIVERED TO THE CURB STOP BOXES DURING NORMAL OPERATING CONDITIONS FOR ALL WATER SERVICE CONNECTIONS, AND A MINIMUM 20 PSI PRESSURE AT GROUND LEVEL SHALL BE MAINTAINED UNDER ALL CONDITIONS OF FLOW.
- 2. BOOSTER PUMPS ARE NOT PERMITTED ON WATER SERVICE CONNECTIONS.
- 3. THE SANITARY SEWERS MUST PASS A LEAKAGE TEST WHICH SHALL BE A LOW PRESSURE AIR TEST IN ACCORDANCE WITH THE "TEST STATES STRADARDS" SECTION 33.35, PER ASTM F-1417 FOR PLASTIC PIPE. WATER LEAKAGE TEST LIMIT FOR SANITARY SEWER
- 4. ALL SANITARY MANHOLES SHALL BE AIR TESTED PER ASTM SPECIFICATION CI244-93 TO VERIFY WATER TIGHTNESS AND PROPER CONSTRUCTION PER PLAN DETAILS.
- 5. ALL FLEXIBLE SANITARY SEWERS MUST PASS A DEFLECTION TEST (5% MAX.) DEFLECTION TESTS SHALL BE PERFORMED NO SOONER THAN 30 DAYS FOLLOWING COMPLETION OF BACKFILL. MAXIMUM RING DEFLECTION OF THE PIPE UNDER LOAD SHALL BE LIMITED TO 5% OF THE AVERAGE INSIDE DIAMETER LISTED IN ASTM D-2751 FOR ABS SOLID WALL PIPE AND ASTM D =2680 FOR ABS COMPOSITE WALL PIPE. ASTM D=3034 FOR POLYVINYL CHLORIDE (PVC) PIPE LISTS OUTSIDE DIMENSIONS AND MINIMUM WALL THICKNESSES WHICH MAY BE USED TO CALCULATE APPLICABLE BASE DIAMETERS. THE PROPER SIZED MANDRELS SHALL RE PUBLIED THROUGH THE PIPE. ALL PIPE FAILING TO MAINTAIN THE MINIMUM DEFLECTION DIAMETER OR LARGER FOR THE APPLICABLE TYPE OF PIPE SHALL BE CONSIDERED TO HAVE BEEN IMPROPERLY INSTALLED AND SHALL BE RELAYED OR REPLACED BY THE CONTRACTOR.
- 6. ALL WATER MAIN SHALL BE INSTALLED AND PRESSURE TESTED PER AWWA C600.
- 7. ALL WATER MAIN SHALL BE DISINFECTED PER AWWA C651.
- 8. THE FOLLOWING MINIMUM HORIZONTAL SEPARATIONS (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATER LINE AND THE SEWERS SHALL BE MAINTAINED:
- ) IO FOOT SEPARATION FROM THE STORM SEWER
- ) IO FOOT SEPARATION FROM THE SANITARY SEWER
- 9. THE FOLLOWING MINIMUM VERTICAL CLEARANCES (MEASURED OUT-TO-OUT CLEAR) BETWEEN THE PROPOSED WATER LINE AND THE SEWERS SHALL BE MAINTAINED: ) IB INCH CLEARANCE FROM THE STORM SEWER
- ) 18 INCH CLEARANCE FROM THE SANITARY SEWER h.
- IO. BEDDING CLASSIFICATION FOR SANITARY SEWERS SHALL BE ASTM D-2321 (CLASS IA). 100% OF BEDDING MATERIAL TO PASS 3/4-1 INCH SIEVE.
- II. BRICK SHALL NOT BE USED FOR GRADE ADJUSTMENT ON NEW SANITARY MANHOLES.

#### MISCELLANEOUS NOTES

THE USE OF CRUSHED AIR COOLED BLAST FURNACE SLAG SHALL NOT BE PERMITTED FOR AGGREGATE REQUIREMENTS.

THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL APPLICABLE SECTIONS OF OSHA STANDARD 29 CFR 1910.146 AND OSHA STANDARD 29 CFR 1926.

EXISTING APPURTENANCES SUCH AS UTILITY POLES, VALVE BOXES, ETC., ARE TO BE HELD AND/OR MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION.

IF ANY UNUSUAL SOIL CONDITIONS SUCH AS SPRINGS OR SEEPAGE OF WATER IS ENCOUNTERED, OR WHERE A DIFFERENT BEDDING MATERIAL IS EVIDENT AND THERE IS A QUESTION OF BEDDING CAPACITY, NOTIFY THE OWNER IMMEDIATELY.

NO MATERIAL SHALL BE ALLOWED ON SITE THAT CONTAINS ASBESTOS.

BEFORE OR DURING CONSTRUCTION ANY LEAD BASED PAINT DISCOVERED WITHIN THE PROJECT SHALL BE DISPOSED OF IN AN APPROVED MANNER & COORDINATED WITH THE OWNER'S ENVIRONMENTAL PROFESSIONAL

CONSTRUCTION ACTIVITY SHALL BE LIMITED ON OZONE-ACTION DAYS AS IDENTIFIED BY THE LOCAL AUTHORITY. ACTIVITIES SHALL BE APPROVED BY THE SITE MANAGER.

CONSTRUCTION ACTIVITIES SHALL BE HALTED IF CONTAMINATED SOILS ARE DISCOVERED AND AN ENVIRONMENTAL PROFESSIONAL SHALL BE CONTACTED TO DETERMINE APPROPRIATE

#### STORM SEWER SYSTEMS

- ALL STORM STRUCTURES SHALL MEET THE REQUIREMENTS OF ODOT ITEM 706.13, CONSTRUCTED PER THE STANDARD DRAWING REFERENCED IN THE PLANS, OR AS MODIFIED BY SPECIFIC DETAILS INCLUDED IN THIS PLAN. ACCEPTABLE MATERIALS SHALL BE PRECAST CONCRETE ONLY.
- 2. ALL STORM GRATES SHALL BE "BICYCLE SAFE" AND "ADA COMPLIANT". UNLESS NOTED OTHERWISE ON DESIGN DRAWINGS.
- 3. ALL UNDERDRAINS SHALL MEET THE REQUIREMENTS OF ODOT ITEM 605, OR AS MODIFIED BY SPECIFIC DETAILS INCLUDED IN THIS PLAN. ACCEPTABLE MATERIALS SHALL BE PVC
- 4. BACKFILL FOR ALL PIPES WITHIN THE INFLUENCE LINE OF THE PAYEMENT (STREET DRIVEWAYS, SIDEWALKS, ETC.) SHALL BE FULL DEPTH COMPACTED LIMESTONE 304 MEETING THE REQUIREMENTS OF ODOT ITEM GII OR ODOT ITEM 605, AS APPLICABLE. THE INFLUENCE LINE OF THE PAVEMENT IS DEFINED AS A LINE EXTENDING DOWNWARD AT A 45 DEGREE ANGLE FROM A POINT 2 FEET BEYOND THE PAVEMENT. COMPACTION AND TESTING REQUIREMENTS SHALL MEET THE ODOT SPECIFICATION.
- ALL COSTS FOR THE WORK DESCRIBED ABOVE SHALL BE INCLUDED FOR PAYMENT WITH THE PRICE BID FOR THE VARIOUS CONTRACT ITEMS.

### ADDITIONAL NOTE

ALL SANITARY SEWERS (MAINS & LATERALS)

MATERIAL SPECIFICATION: ASTM D-3034, SDR 35

JOINT SPECIFICATION ASTM D-3212

BEDDING CLASSIFICATION: ASTM D-2321, IA GRANULAR, 100% PASS 3/4" SIEVE

SANITARY FORCE MAIN

MATERIAL SPECIFICATIONS

2" - HOPE 3408 (200 PSI), SOOR 9, ASTM D-2737 4" - PVC AWNA C900, DRIB, ASTM D-1784 WITH

GASKETED JOINTS

CONCRETE BLOCKING AND BENDING: SHALL MEET OR EXCEED WATER SPECIFICATIONS SHALL MEET OR EXCEED WATER SPECIFICATIONS BEDDING CLASSIFICATION:

## ALL SANITARY MANHOLES

TYPE: PRECAST CONCRETE

MATERIAL SPECIFICATION: ASTM C-478 JOINT SPECIFICATION: ASTM C-443

FLEXIBLE GASKET SPECIFICATION: ASTM C-923

## WATERLINE/SANITARY SEWER CROSSINGS

SANITARY SEWERS AND WATERLINES SHALL MAINTAIN A MINIMUM OF 18" VERTICAL AND 10' HORIZONTAL CLEARANCE. WHENEVER A SANITARY SEWER AND WATERLINE CROSS WITH LESS THAN 18" CLEARANCE, THE SANITARY SEWER SHALL BE CONSTRUCTED WITH PRESSURE PIPE OF THE SAME INSIDE DIAMETER AS THE GRAVITY PIPE. 10' SEPARATION SHALL ALSO BE MAINTAINED BETWEEN ALL WATER SERVICES AND SEWER LATERALS.

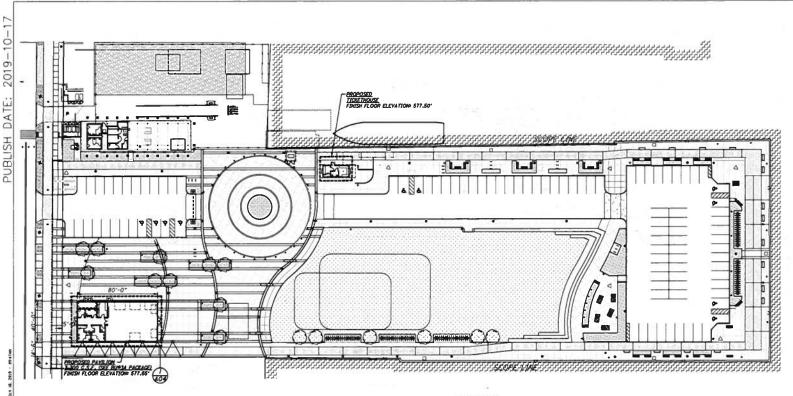
#### CLEAN WATER CONNECTIONS PROHIBITED

FOOTER DRAINS, DOWN SPOUTS, SUMP PUMPS, AND OTHER CLEAN WATER SOURCES SHALL NOT BE CONNECTED TO THE SANITARY SEWER SYSTEM. GENERAL ELECTRICAL NOTES

- 1. ALL ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT NATIONAL ELECTRIC CODE AND ANY STATE/LOCAL AMENDMENTS.
- 2. THE FLECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACQUISITION OF AN ELECTRICAL PERMIT AND SCHEDULING OF THE NECESSARY INSPECTIONS. UPON COMPLETION OF THE WORK THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER EVIDENCE OF INSPECTION APPROVAL.
- 3. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION REQUIRED WITH THE ELECTRIC UTILITY SERVING THE FACILITY. UTILITY COSTS SHALL BE PAID SEPARATELY BY THE OWNER.
- 4. IDENTIFY EACH RECEPTACLE WITH THE APPROPRIATE PANEL AND CIRCUIT NUMBER.
- 5. IDENTIFY JUNCTION BOXES SERVING EQUIPMENT WITH THE APPROPRIATE PANEL AND CIRCUIT NUMBER FOR THE EQUIPMENT SERVED.
- 6. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 7. WIRING DEVICES SHALL BE COMMERCIAL SPECIFICATION GRADE.
- 8. PROVIDE THE OWNER WITH A BOUND MANUAL INCLUDING MAINTENANCE INSTRUCTIONS, EQUIPMENT MODEL NUMBERS WITH PARTS LISTS, AND MANUFACTURERS WARRANTIES.

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## GENERAL NOTES

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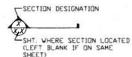
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- A. CONTRACTOR TO CHECK AND VERSEY ALL DIMENSIONS AND CONDITIONS AS THEY APPLY TO THE ACCEPTABLE COMPLETION OF THE WORK.
- B. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS.
- ALL MITSHALL NETALLATION PROCEDURES MET FOLICE MAMPHETISCHE RECURSION PROCEDURES IN MODELE OR RETALLATION NEL (URIC ALL NECESSARY ABRUPA RECOMMENDED ACCESSORY ELECTRIS, SOLIL SE PROVIDED METH RETALLATION FOLICES MAD AND SPECIFIC DIRECTION FROM THE MARKACTURES, PRICE TO BRITISHING EVENTS, THE RECOMMENDING AND ASSESSED OF THE MARKACTURES, PRICE TO BRITISHING FOLICES AND AND SPECIFIC DIRECTION FROM THE MARKACTURES, PRICE TO BRITISHING FOLICES AND AND SPECIFIC DIRECTION FROM THE MARKACTURES, PRICE TO BRITISHING FOLICES AND AND SPECIFIC DIRECTION BRITISHING MAD BRITISHING AND AND ASSESSED OF THE OFFICE AND AND ASSESSED AND AND SPECIFIC OVERSTIONS AND THE CONTRACTOR. CONTACT ARCHITECT IF THERE ARE ANY GENERAL AND OR SPECIFIC OVERSTIONS REGISTRICATED TO THE CONTRACTOR.
- IN PROJECT REQUIRING INVESTIGATION AND VEHICLATION OF EXISTING CONSTITUTES AND INCOMEATION PROVIDED BY THE ORDER, PERR MAY BE CONSTITUTED CONSTITUTION OF CONSTITUTION OF THE CONSTITUTION

## LEGEND

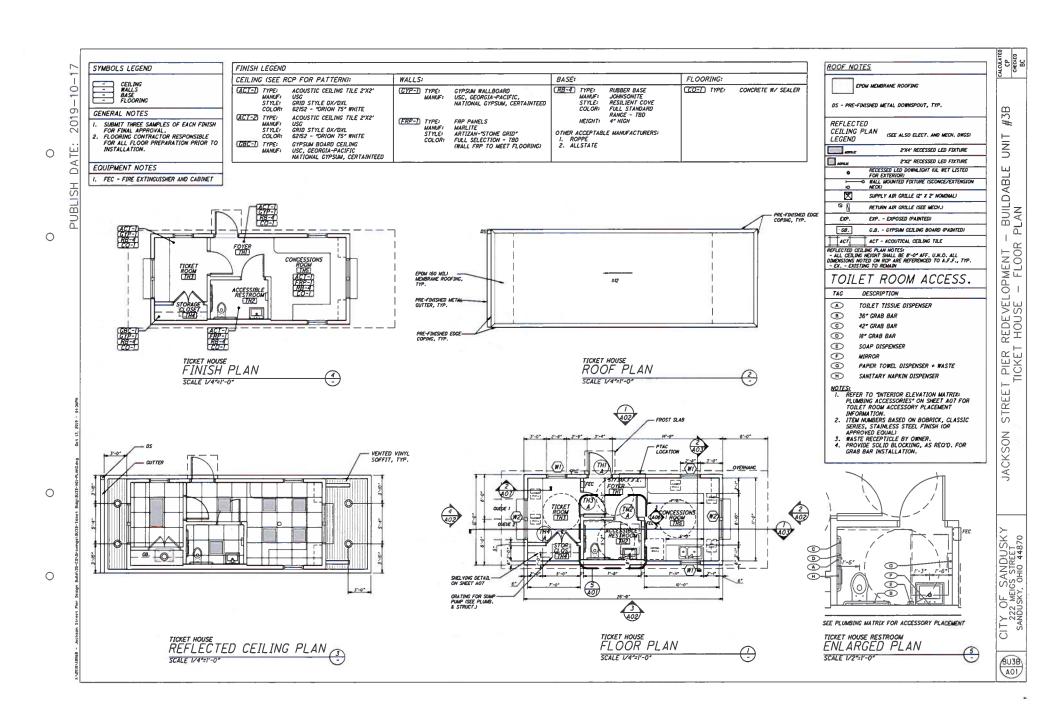


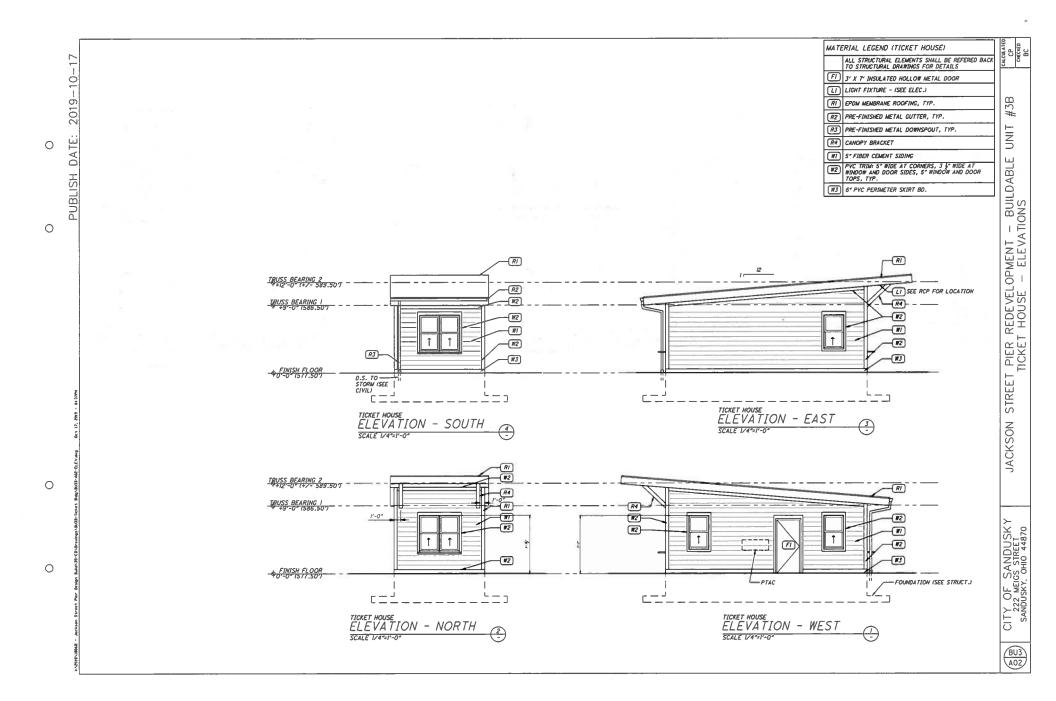


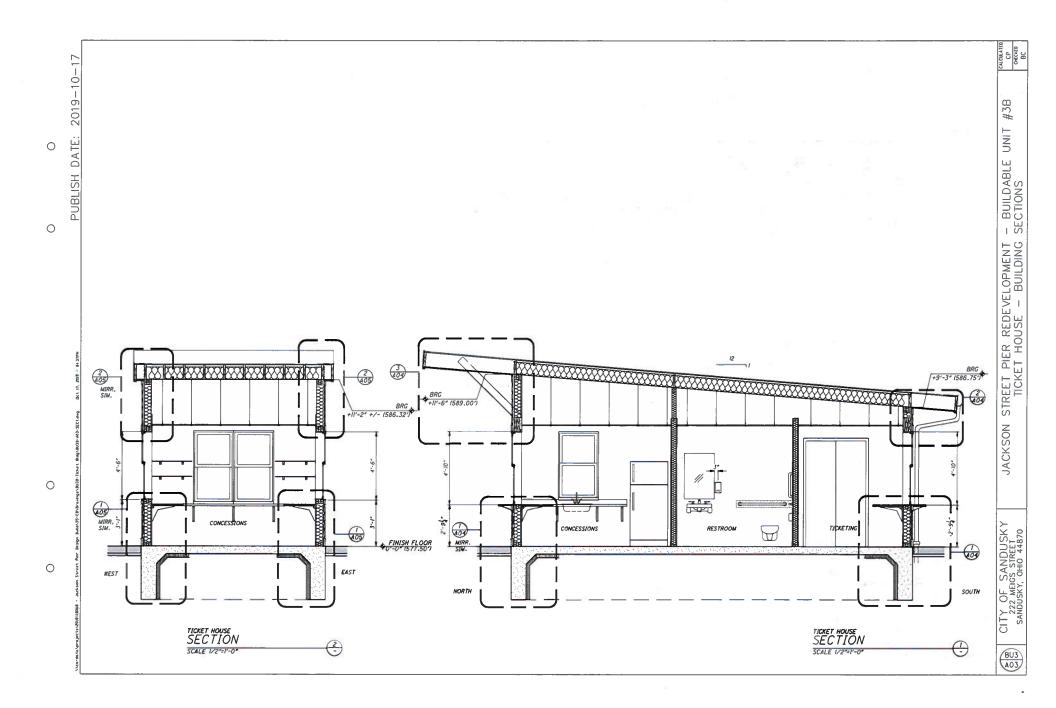


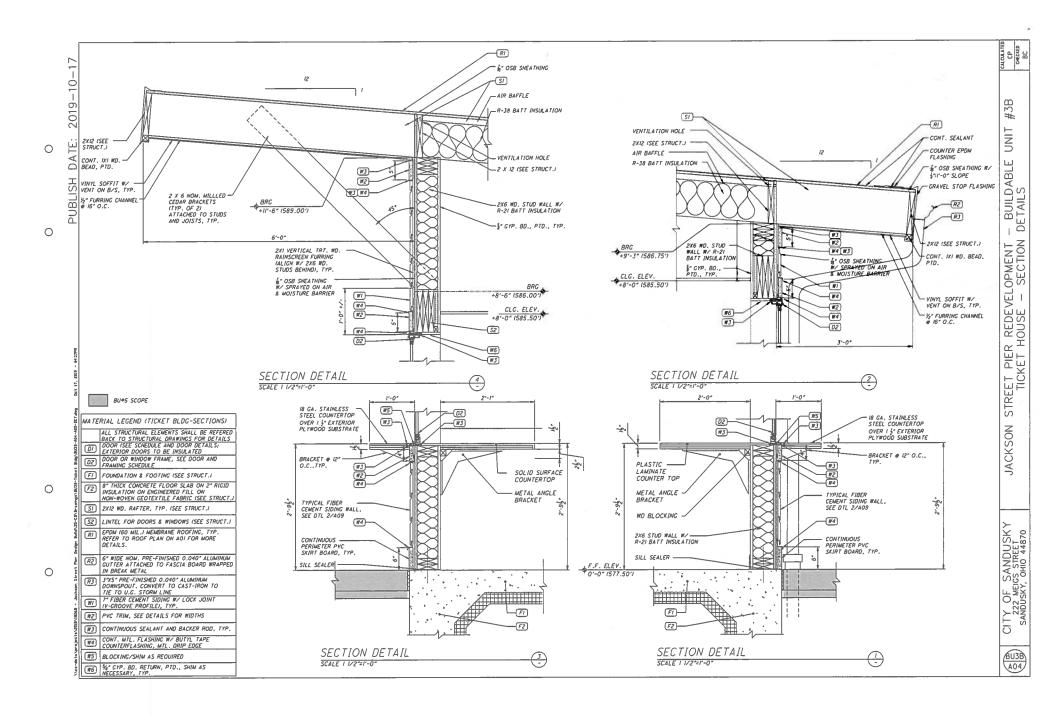
## ACCESSIBLE PARKING NOTES

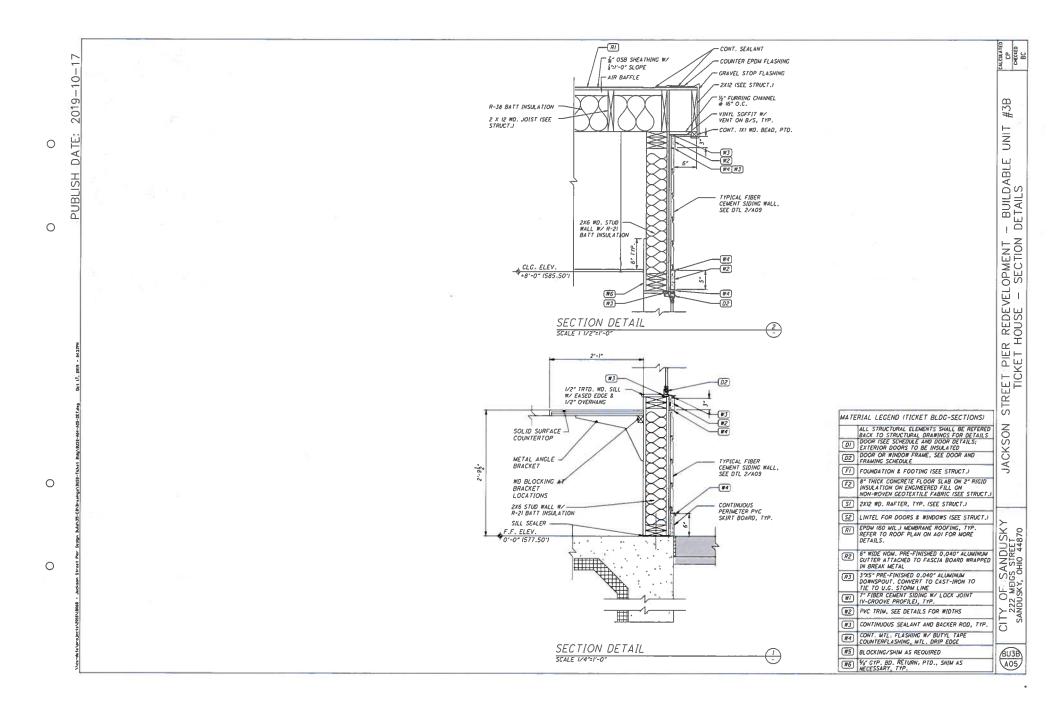
- 4 SPACES REQUIRED PER OBC SECTION 1106.1
- ID SPACES PROPOSED

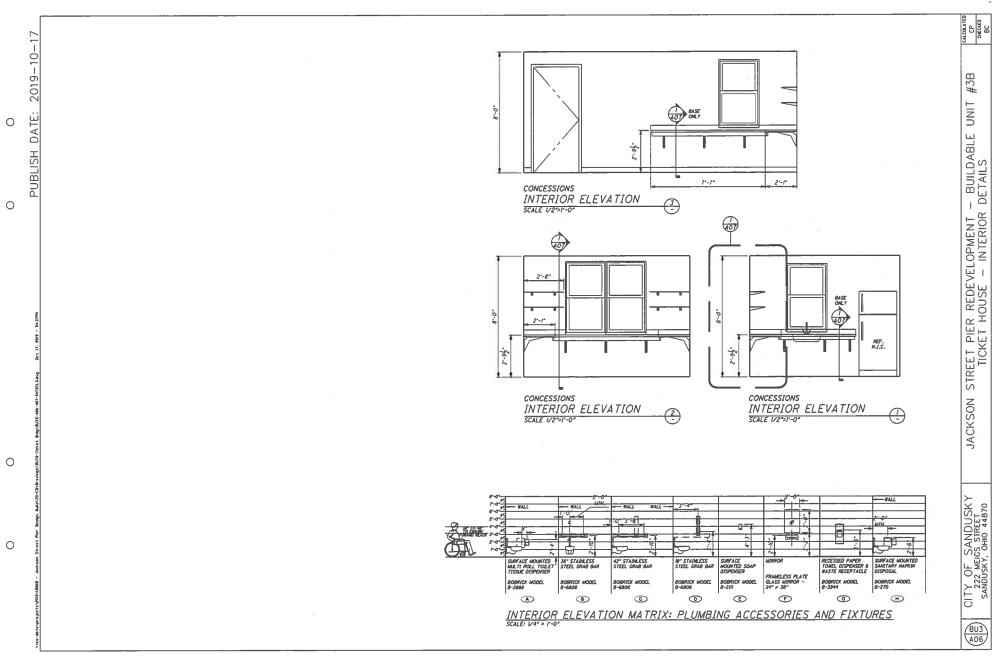


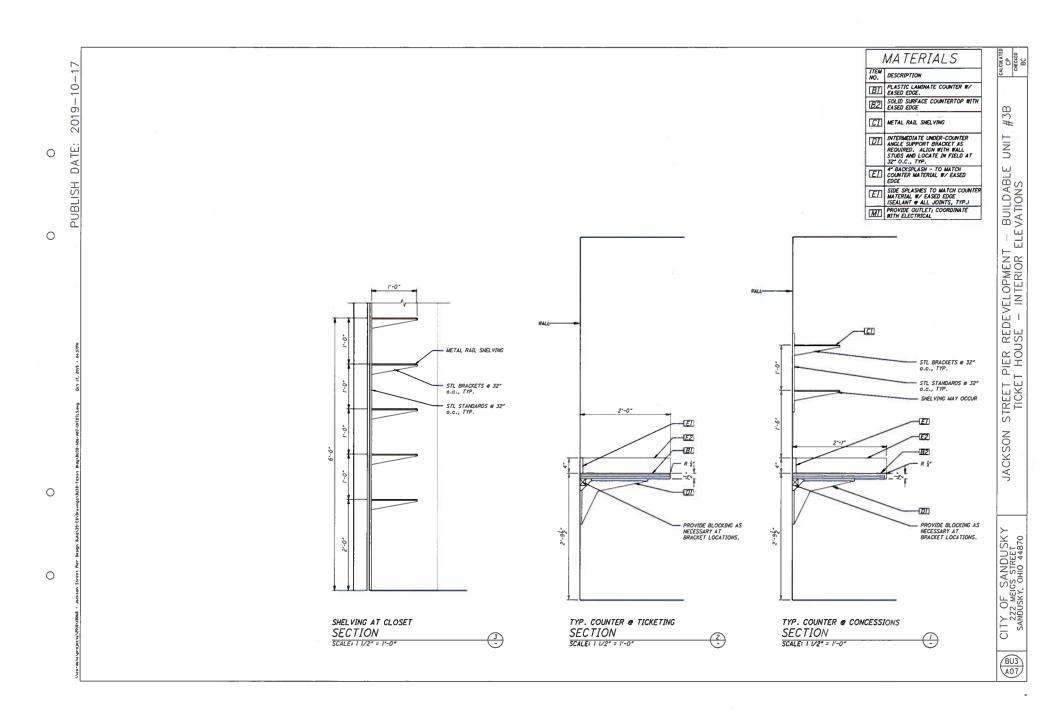




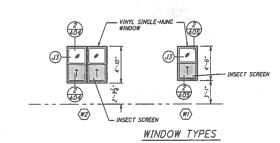


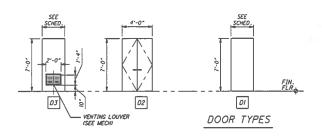












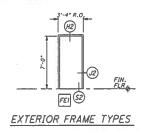
2019-10-17

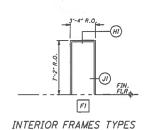
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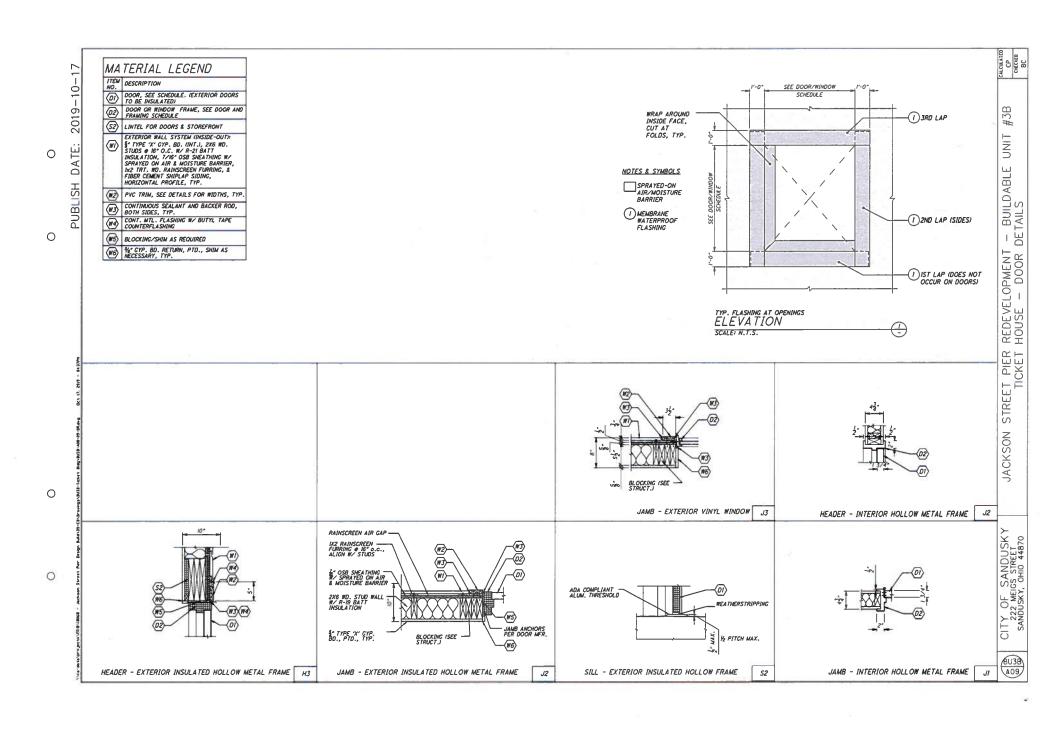




	DOOR SCHEDULE												
RN	DN	ROOM NAME	SIZE	THICKNESS	FRAME TYPE	FRAME MATERIAL	DOOR TYPE	DOOR MATERIAL	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	RATING	REMARKS
THI	A	FOYER	3'-0" X 7'-0"	1-3/4"	FEI	HMI	DI	HMI	H2	J2	52	- 1	8,3,6,7
TH2	A	RESTROOM	3'-0" X 7'-0"	1-3/4"	FI	HM	DI	нм	HI	JI	-		2
TH3	A	TICKET ROOM	3'-0" X 7'-0"	1-3/4"	FÎ	HM	03	HM	HI	JI	-	-	3,5
TH4	A	STORAGE CLOSET	(2) 2'-0" x 7'-0"	1-3/4"	FI	HM	02	HM	HI	JI	-	-	1

_				
١	AL	= ALUMINUM	ниг	= HOLLOW METAL
4	AL GL HM	= GLAZING (TEMPERED) = HOLLOW METAL	r	INSULATED = TEMPERED
┥	RE	MARKS (ALL SWING	DOORS S	HALL HAVE SWING HINGE

- I. STOREROOM LOCK
  2. PRIVACY LOCK W. COCUPANCY INDICATOR
  3. CYLINDRICAL PASSAGE LOCK W. LEVER
  4. DOOR WALL STOP
  5. WEATHER STRIPPING
  6. INSULATED DOOR
  7. KICKPLATE BOOTH SIDES 8" X 307
  6. PULL HANDWARE
  9. ASTRAGA



Seaming Material: Single-component butyl splicing adhesive and splice cleaner or Manufacturer's standard synthetic-rubbar polymer primer and 3-inch- (75-mm-) wide

c. Lap Seelant: Manufacturer's standard single-component seelant, color to match roofing

membrane.

Waser Custor Baselon: Manufacturaris statistica toph mastic cealeurs.

Waser Custor Baselon: Manufacturaris statistica toph mastic cealeurs.

Waser Custor Baselon: Manufacturaris statistica production statistics statistics statistic or aluminum
bors, approximately 1 by 18 linch (25 by 3 mm) slock, with anchorus.

Passaneser: Rechory-coaled stellar statisteries and matter or plassic plates meeting convosionresistance provisions in FAID 4470, designed for fastering membrane to substrate, and
acceptable to membrane rechting system manufacturer.

or numerous General: Provide preformed roof insulation boards that comply with requirements and referenced standards, selected from manufacturer's standard sizes and of thicknesses

Polysocyanurate Board Insulation: ASTM C 1289, Type II, felt or glass-fiber mat facer on

ed equal. ion: Factory tapered boards fabricased to slope indicated on Drawings

Processives

Increase Factory-coeted steel fasteners and metal or plasto plates meeting corrosionsince provisions in FMG 4470, designed for fastening roof insulation to substrate, and 
table to roofing system manufacturer.

1. Provide all components and parts for the complete installation of a pre-engineered Mapes

All sealants must meet Green Communities oritorie, complying with rule 1168 of SCAQMD, All caulits and sealants must comply with regulation 8, rule 51 of the bey area sir quality.

management district.
Seatent shall be low-voc by Tremco, Dymonic or approved equal, FED. Spec. TTS-00230,

by owner.

3. In bathrooms and kilchen, low-voc proglaze, a clear silicone rubber-based, one-part, non-sag, elastrometric seatent, resistent to militiew shall be used.

4. For other tentro prims is low-voc sorpic latter cault that is paintable shall be used.

5. All seatent and causting work shall be done per menufacturer or requirements. Confractor shall propers priors, clean, prime and install back rotis and most breakmas as required.

1. MANUFACTURERS: Subject to compliance with requirements, provide products by one of the

Individual Control Con

sesignation; mill prospriatized. I For anchors built into exterior walls, steel sheet complying with ASTM A 1008/A 1008M or

For incrove sour into construct vesses, seek sheet company with 75 in M oldows follow of ASTMA 1011/A 1011M, hors-flap generalized according to ASTMA 1.53M. 153M, Class B. serts, Bolls, and Fasteners: Hot-dip generalized according to ASTMA 1.53M. 153M, 153M, owder-Adulated resterers: In Contracts: Fasteners system of type suitable for application siculated, fabricated from companies-resistant materials, with clips or other accessory devices

Pototos-custor's results and the control of the con

Bilaminoja vomen.
(0.4-min) yli film Rischess per cost. Province deleterio,si impurities.
(0.4-min) yli film Rischess per cost. Province deleterio,si impurities.
(1. Standard Hollow Metal Doors

1. Ganerat: Provide doors of design indicated, not less than Psichness Indicated; libricated with amonth surfaces, without visible joints or seams on exposed faces unless otherwise indicated. Comply with AVSISDI A2303.

1. Design: Plant panel

2. Core Corratuction: Manufacturer's standard Irath-paper home-poomly, polystyrene, polysveriams, polyscopenariae, mineral-board, or vertical stand-different core.

2. required to province fire-protection and temperature-fee ratings.

in Thermal-Rated (Insulated) Doors: Where indicated, provide doors (abricated with

x sq. m/W) when lested according to ASTM C 1363.

Thermal resistance value (R-value) of not less then 6.0 deg F x h x eq. ft/Blu (1.057 K

x sq. mW) when lessed according to ASTM C 1363.
(a) Locations: Exterior doors: Serviced edge
v Varicast Edges for Single-Acting Doors: Serviced edge
vs. Beveled Edges: 1/8 Inch in 2 Inches (3 mm in 50 mm).
vs. Varicast Edges for Double-Acting Doors: Round vertical edges with 2-1/8-Inch (54-mm)

radius. vis. Top and Bottom Edges: Closed with flush or inverted 0.042-inch- (1.0-mm-) thick, end closures or channels of same material as face sheets.

Tolerances: Comply with SDI 117, "Manufacturing Tolerances for Standard Steel

scale, pitting, or surface defects; pickled and olled.

3. Frame Anchors: ASTM A 591/A 591M, Commercial Steel (CS), 40Z (12G) costing.

Seletient shall be low-vo-up of tremon, Dymonic or approved equal, FLU Sport. ITS-AUCXIN, type C, color to be selected by owner and architect from full fill not distanders. This sealern shall be used for all extension parish between PVC to PVC, PVC to FDer-comment, file-m-comment to alaminum, etc. For hairine crucks in concrete walls, Termono THC 500 to Hybrid multi-component, chemically curing, polyurethane joint sealant shall be used, color to be approved.

a. Cartiste SynTec Incorporated – "Polylsocyanurate HP,"
 b. Johns Marwille – Manufacturer's Standard.
 c. Versico – Manufacturer's Standard.

078180 - BREAK METAL COVERINGS AND AWNINGS

1. Provide all components and parts for the complete instance Camples (Super Lumideck, Hall Soffit Camples (Super Lumideck, Hall Soffit Camples).
2. Provide color-matched fasteners and installation access models, and fasteners weathers instanded for exposed in 3. Install to prevent contact with dissumiter metals
3. Install to prevent contact with dissumiter metals
4. Flash for positive drainage and ehedding of water
5. Provides shop drawwings of all installation details and core

J. 079200 - SEALANTS AND CAULKING

DIVISION 8 - OPENINGS

A. 081113 - HOLLOW METAL DOORS AND FRAMES

designation; mill phosphatized.

ninimum, butyl spilice tape with release film.

F. 076200 - SHEET METAL FLASHING AND TRIM

Varyl soffts, I'm, and accessories shall be AFR's from polyvinyl chloride (PVC) compounded in the state of ASTM C 3879-88 for compound class 2 and 3 materials. Siding littin shall have a smooth finish and average min, thickness of 0,046° and include a limit

stillar ranke e errouse state in the warranty. Some state in the provided, including: ventilated soffits, starter frim, j-molds, and other state in the provided including: ventilated soffits, starter frim, j-molds, and other states in the provided in the

EPDM Roofing Membrane: ASTM D 4637. Type It, scrim or fabric internally reinforced

Bonding Adhesive: Manufacturer's standard bonding adhesive

C. 072723 - COMBINATION WALL SHEATHING, WATER-RESISTIVE AND AIR BARRIER (APPROVED ALTERNATE SYSTEM)

1. Oriented-Strand-Board Wall Sheathing: With Integral water-resistive berrier, Exposure 1

Basis-of-Design Product: Subject to compliance with requirements, provide Huber Engineered Woods LLC, 2IP System Wall Sheeting. Select one of three options in subgengraph below. Contact a Huber Engineered Woods representative for evaluable spen ratings in project area. 716-orch long length penals carry the Structural I panel grands. 716-orch 4ds promot have the ratio sheeting partie.

grade. Spen Rating, Panel Grade and Performance Category: 40/20 Structural 1; 5/8 Performance Category: 40/20 Structural 1; 56 Edge Profile: Sell-specing profile. Provide tastering guide on top panel surface with pre-specied fastering symbols for 16-inches and 24-inches on central specings.

d 24-inches on centers specings. ce Standard: DOC PS2-10 and ICC-ES ESR-1474.

Performance Standard: LDC UPS-21-01 lain LDC-25: LSN-1144.
Factory laminated relargat wister-neistive barrier face.
Perm Rating of Integral Water-Resistive Barrier: 12-16 perms.
Assembly measurem ast lesslage of 0.0072 chrive, it. infiltration and 0.0023 clml sq. ft.
extitution at a pressure officerential of 1.57 per
LEPOPAUT TIME of 1900 per 1900 per 1900 clml sq. ft.
Exposure Time September 1900 per 1900 clml sq. ft.
Exposure Time 1900 perspect to resists weekfore exposure for 190 clays.

FASTENERS
 For wall sheathing, provide fasteners with hol-dip zinc coating complying with ASTM A 153/A 153M.

AS1M A 153/A 153M. Nalls, Brads, and Staples: ASTM F 1667.

3. MISCELLANEOUS MATERIALS

Self-Adhering Seam and Flashing Tape: Pressure-sensitive, self-adhering, cold-applied proprietary seem tape consisting of polyolefin film with acrylic adhesive.

Basis-of-Design Product: Subject to compliance with requirements provide Huber Issati-of-usery inflower. Subject to Companient with requirements provise recognition of the Companient with requirements provise recognition of the Companient with requirements of authorities having jurisdiction and ICC Evuluation Service, Inc. AC146 - Acceptance Citaria for Instable Plasting Materials. Informational Code Council (ICC), ICC-652227 (ZIP System Tape). American Architectural Manufacturar's Associations (AAAP 111.

D. 074620 - FIBER-CEMENT SIDING

nce Manufacturer: James Hardle; Aspyre Collection; Product: "Artisan HZ10" Siding with lock joint system;
2. Profile/Type: V-Groove 8-1/4 inches (210 mm) with 7 inches (178 mm) exposure.

E. 076150 - GUTTERS, DOWNSPOUTS, AND SHEET METAL FLASHINGS AND COVERINGS

1. Gutters and downspouts shall be seamless aluminum outer or econoved sout! 5" Open trop

guiter.

Gutters, downspouts and sheet metal flashings shall be a factory applied bake enamel.

Aluminum shall be 0.027 in. thick. Color to be selected by owner and architect.

gutter hangers and clips. All accessories shall be linished to match gutters and downspouts 4. All gutters shall be pitched a minimum of 1/4" for every ten (10) feet of run, in the direction of

are downspout connection storm sewer is not allowable by local authority having jurisdiction, all downspout to discharge to splash blocks, coordinate all downspout locations with civil, typ.

Provide .032 gauge aluminum material, finished in Kyner 500 finish, color as selected from MFR R, fail range of envitables teanders colors by owner and architect.
 Provide color-instructed Estateness and installation accessives, including termination strips, j-mode, and faistenest weaken Intended for exposed installation.
 Initials lo prevent contact with dissatinal metals.
 Plants for positive dehinage and shedding of waters.
 Provide stop channing of all installation diseate and conditions.

G. 074833 - VINYL AND PVC SIDING TRIM AND ACCESSORIES

ptable manufacturers for vinyl soffits include Alcoe. Alside, and Certainteed

All accessories area on provinces, resolvent and softly vents lotal. Submittal of product internal report for a comprisher installation.
 Net free ventilating area of 45 s.f. for ridge vents and softly vents lotals. Submittal of product shall indicate ventslated softlier and ridge unit area or linear locates, however it is indicated.
 Size of skirt bosent: Nominal 544 x 6 (1° x 5 %) in 16' lengths; 1 %' nailing flange length, with

H. 075323 - EPOM ROOFING

Products specified herein are based on "Fully Adhered – Sureseal" as manufactured by Cartisk-Syntec. Subject to compliance with regulariments, provide specified products or comparable products by one of the manufacturers specified.
 EPDM RODEING MEMBRANE

Class A exterior fire-test rating for either an achieved or mechanically fastened EPDM roofing system may require a specially formulated fire-retardant sheet; verify with

uniform, flexible sheet made from EPDM, and as follows: c. Manufacturers:

For light framing (2" to 4" thick, 2" to 12" wide): No. 2 grade Spruce Pine Fir-Fb. 875 psi min. and surfaced four sides. For unexposed structural framing (2" to 4" thick, 5" and wider): select grade, Southern Pine or Douglas Fir, Fb 1100 psi min. and surfaced four sides. Modukus of Elesticity \*

1,300,000 ppl min.

For exposed structural framing (1 x 4 nominal, 4" x 12" exhal): select grade, Western Red Cader (copeque stained), Fb 1000 ppl min. Ff = 600 ppl, min., Fv = 155 ppl, min., Fc (parp) = 425 ppl.

min, Fc (parallel) = 850 psl., min.
Miscellaneous Lumber: Wood for support or attachment of other work including cant straps. nation; blocking, burling, grounds, stripping, and similar members. of sizes enlocated and worked visit always shows, and as follows. Molasture content: 19% maximum for tumber larger and specified to receive wood

preservation treatment.

Grade: Construction grade light framing size lumber of any species or board size
further as required; No. 3 Common or Standard grade boards per WCLIB or WWPA
rules, or No. 3 boards per SPIB rules.

3. PLYWOOD LTWOOD

Rhywood standards: comply with PS 1 U.S. Product Standard for Construction and Industrial Phywood for phywood parels and, for products not manufactured under PS 1 provisions, with APA Performance Standard and Policies for Structural—Use Panets, Form

it: Factory-mark each construction panel with APA trademark evidencing

HARDWARE AND FASTENING MATERIALS hydrocage and fastening materials: select proper type, size, material, and finish for each application, including neils, screws, nut and bolts, washers, lag screws, lug bolts,

ension shells, and ber or strap and Steel items: comply with ASTM A7 OR A36, use gatverized at exterior locations and in

Machine bolts: Comply with ASTM A307

sales

Use common, except as otherwise noted, for rough carpentry.

Control with Fed. Spec. FF-8-1.

Live common, except as Spec. FF-8-1.

Live first nest be fresh carpentry less from the first part of the first carpentry less from the first firs

5. WOOD-PRESERVATIVE-TREATED MATERIALS

NOU-PRISSERVA (THE-ITE-ITE LIVE) MAIL REVAULS Preservative Treatment by Prissaure Process: AWPA C2 (tumber) and AWPA C9 (plywood), except that tumber that is not in contact with the ground and is continuously protected from fluids water may be treated according to AWPA C3 I with inorganic boron

(SSU).

Preservative Chemicals: Acceptable to authorities having jurisdiction, and containing name or chromaun. Use formulations that do not bleed through or otherwise an anaeste current of the control of the control

c. Mark each treated item with the treatment quality mark of an inspection agency approved by the American Lumber Standards Commisses Board of Review. A Application: Treat ferms incitated not Travings, and the following: I. Wood carns, malars, curta, equipment support bases, blocking, stopping, and similar memorars in connection with ordoring, fastienty, open barriers, and vesterproofing. II. Wood also, also places, plocking, farming, stripping, and similar connected members in contact with memory or contraval.

e. Physicod sheething at roof cents, at high personts.

 STRUCTURAL DESIGN LOADS
 Refer to structural general notes for all loading requirements B. 061600 - SHEATHING

 Sheething over pre-tabricated trusses: 7/16" OSB sheething;
 Sheething over Glu-Leminated truss area: Vented Natable Roof Insulation; Reference Manufacturer: Johns Manville

Nominal panet sizes: 4" x 8" interpretation and the second species of the second species per proposed second species per substitution (R22.5); it penetration: Min. 1" through wood decking;

C. 051516 - WOOD BOOF DECKING

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

BUILDING INSULATION AND AIR-SEALING SHALL COMPLY WITH ASHRAE 2010

A. 072000 - VAPOR BARRIER AND AIR INFILTRATION BARRIER

A vapor barrier shall be provided under all concrete stabs on grade. It shall be a polyethylend film, 10 Mill.S thick with joints tapped 1'-0' min. See structural section for location tayer.

B. 072100 - BUILDING INSULATION

Roof Joist insulation shall be fiberglass insulation with an R-Value of 38 minimum. Provi-ventilation throughout the entire roof joist area and soffit verils to maintain venting, Ref. Manufacturer. Owens-Coming, Product: "Eco Touch Pink Fiberglass insulation". Insulation shall be 10,25" inch depth profels to fill into 2x12 wood joists @ 16" o.c. Exterior well insulation within 2 x 6 wood study shall be 5 % unfaced fiberolass batts to meet

R-21 minimum, No vapor benter on inside face; Ref. Manufacturer: Owens Coming: Product

terior sound attenuation blankets: Ref. Manufacturer; Owens Coming; Product: "Sound literuation Batt Insulation"; 3.5" thick: Sill seeler shall be provided under all wood sill plates at concrete or use @ 3/6" thick, width of

plate, Air infiltration package-caselt, and seel all lumber connections and extenor wall penetrations, treastate all window and door headers with perry loam insulation, to a minimum of R-7, Product: "Crear last?" window and door insulating spray (some sealent, instal 2" rigid iresulation along size permeter and extend 4" vertical, or extend to log of footing, Low-voc caselt and sealent applied and all connections, premetations, or voids for energy star

Building envelope air tightness compliance shall be verified by a visual inspection, and blower door testing for compliance with Energy Star V3 requirements.

SANOUSKY JACKSON STREET PIER - BURGS - TICKET HOUSE/ACCESSORY RESTROOM

DIVISION 1 - GENERAL REQUIREMENTS

A. NOT USED

DIVISION 2 - SITE WORK

a. NOT USED - SEE LANDSCAPE DRAWINGS

DIVISION 3 - CONCRETE

A 013000 - CAST-IN-PLACE CONCRETE - SEE STRUCTURAL DRAWINGS

DIVISION 4 - MASONRY

A. NOT USED

DIVISION 5 - METALS

A. NOT USED

DIVISION 6 - WOOD AND PLASTICS

A 061000 - ROUGH CARPENTRY

NERAL.

Manufacture lumber to comply with PS 20 "American Softwood Lumber Standard" and with epolicable grading rules of impaction agencies certified by American Lumber Standards Committee's (ALSC) Board of Review Inspection agencies and the abstervisionis used to reference with lumber grades and

Inspection agencies and the species include the follows

ecles include the following:

NLGA: National Lumber Grade Authority
SPB: Southern Pine Inspection Bureau
WCUB: West Coast Lumber Inspection Bureau
WCWB: Western Wood Products Associate
Streets

Iv. WHYPA: Western Wood Products Association
C. Grado Stamps
I. Factory-mark seed prison of humber with grades stamp of inspection appency evidencing conceptance with grades fails negatherment and sisterifying grades appency, grades.
8. For exposed lumber, apply grade stamps to which to bed of each piece or own grade stamps enterly well sets contributes of grade compliance from inspection appency in leave of grades stamp.
d. Norminal states are indicated, except as shown by detail dimensions. Provide actuals sizes are required by PS 20, for moistance specified for each use.
Provide days burder, VSA, upon software indicated.
Provide stamps manufacture of the size of the siz

IMBER Demensional Lumber: Normal sizes are indicated, except as shown by detail dimensional. Demensional Europe. Provide actual sizes as required by PSS0 for moisture contant specifies for each use.

1. Provide indicated lumber, 945, unless otherwise indicated.

2. Provide seasoned humber with 19% maximum moisture contant at time of dressing and singment for sizes 2" or less in normal filterineae, unless otherwise indicated.

SANDUSKY JACKSON STREET PIER - BURSS - TICKET HOUSE/ACCESSORY RESTROOM

DIVISION 1 - GENERAL REQUIREMENTS

DIVISION 2 - SITE WORK

a. NOT USED - SEE LANDSCAPE DRAWINGS

DIVISION 3 - CONCRETE

A. 033000 - CAST-IN-PLACE CONCRETE - SEE STRUCTURAL DRAWINGS

DIVISION 4 - MASONRY

DIVISION 6 - METALS

A MOTUSED

DIVISION 6 - WOOD AND PLASTICS

A. 061000 - ROUGH CARPENTRY

наприментации вытовет to comply with PS 20 "American Softwood Lumber Standard" and applicable greating rules of irappection agenties contilled by American Lumber Standard Committees 14,520; Soland of Review Irappection agenties and the abbreviations used to reference with lumber grades and appected include the following: ture lumber to comply with PS 20 "American Softwood Lumber Standard" and with

icies include the following: NLGA: National Lumber Grade Authority SPtB: Southern Pine Inspection Bureau WCLIB: West Coast Lumber Inspecti WWPA: Western Wood Products As

IV-WPA: Western Wood Products Association
 Crade Starrage
 E Radio-y-mark seach piece of lumber with grade starrage of inspection agency evidencing
 complaince with grading rule requirements and clearlying grading agency, grade,
 Crace Starrage
 in the product of the starrage of th

2. LUMBER

UMBER:

Dimensional Lumber, Normal sizes are indicated, except as shown by detail dimensional.

Provide schael sizes are required by PS20 for moisture content specified for each use.

Provide presed Lumber, 945, unless of

ØU3B (A10)

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222 MEIG SANDUSKY,

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DIVISION 10 - SPECIALTIES

Clothes closets to have one shelf and rod, linen closets to be provided with five (5) sholves.
 Closet shelving to be vinyl costed steet ventilated were shelving with steel brackets and

B. 102800 - BATHROOM ACCESSORIES

Restroom accessories are referenced to Bobrick Restroom Accessories as basis-of-design
 Acceptable menufacturer:
 A. A. I Visianovom Accessories, Inc.
 A. Andrew Andrew Accessories, Inc.
 Brafely Coppration
 C. GANCO Specially Accessories
 See sheet DLANPO of or lay plumbing matrix for bethroom accessories.
 Mantrais. Startess steet. ASTIA AGIS, typs 30°.
 Memora. Start 1600. mirror glasting quality, loss glass mirrors, nominal 6.0mm thickness.

C. 104438 - FIRE EXTINGUISHER

1. PORTABLE FIRE EXTINGUISHERS

Chemical Type: UL-rated 40-A: B:C. 10-b nominal capacity, in enameled-steel container

DIVISION 11 - EQUIPMENT

NOT USED

DIVISION 12 - FURNISHING

A. 123216 - MANUFACTURED PLASTIC-LAMINATE-CLAD CASEWORK

unantes and logs shall meet all CHFA and Green Communities design requirements and logs shall meet all CHFA and Green Communities 2.1 for time or review emissions from composite word.

2. Cataines shall be 16/chm Kompact or approved equal. Cataines shall be 16/chm Kompact or approved equal. Cataines shall be 16/chm Kompact or approved equal. Cataines shall be the high experiment of the shall be satisfiant and cataines and doors shall be satisfiant provide a catainer layout for review and approved by owner and doors shall be satisfiant provide a catainer layout for review and approved by owner and architect, Cotor shall be selected by design professional and owner approved.

All catainers yate the installed not complete accordance with manufactures or invest surfaces and flush to floor and variety.

key state de institute in complete accordance with international in recordance, unifaces and flush to floor and wells. All cabinetry shall not be installed until far-as been completed and finish flooring shall run under the front edge of the cab ractor shall install vinyl base at the toe-kick panel of all base cabinetry.

8. 123681 - COUNTERTOPS

1. Concession countertops shall be 3/4" (1/2" min.) thick solid surfacing material on 1/4" high density formaldehyde free particle board and 4" high solid surfacing' backsplash shall be provided. Reference Manufacturer; Dupont-Corian Colors and textures to be selected by

provided. Releterone Menufacture: Duport-Octor Cottors and teatures to be selected architect and owner approved from standards submitted by contractor for the up force gir 19°, Other approved solar submicing manufactures: LG, Wilsoner, Formica, Avonite. Tucketing countries of that the 30° (10° min.) material or 19° high density formatieshyde particle board and 4" high sold surfacing backaptash shall be provided. Reference Manufacture: Duport-Comm: Cotten and Instants to be selected by stribtted and owner Manufacture: Duport-Comm: Cotten and Instants to be selected by stribtted and owner.

roved from standards submitted by contractor for up to price group "8". Other approved d surfacing manufacturers: LG, Wilsonert Formica, Avontte.

C. 125000 – STANDARDS AND SHELF BRACKETS 1. Reference Manufacturer: Knape and voot; Model it: 83/183 series heavy-duty standards and flanged brackets; aingle side with 1" vertical adjustability; a. Load depactly: up to 4600 per pair;

Load capacity; up to 460th per pair;
Standards dimension: 3" wide x 3" depth x 72" long; 18 ga. construction
Provide standards 183C, L and R for center, left and right flanges where applicable;

d. Bracket size: 12", 16 ga. construction

DIVISION 13 - SPECIAL CONSTRUCTION
A NOT USED

DIVISION 14 - CONVEYING EQUIPMENT

DIVISION 22 - PLUMBING B. "SEE PLUMBING DRAWINGS

DIVISION 23 - HEATING, VENTILATION AND AIR CONDITIONING (HVAC)
A. "SEE MECHANICAL DRAWINGS

DIVISION 26 - ELECTRICAL

I. "SEE ELECTRICAL DRAWINGS

DAYISION 31 - EARTHWORK 1 \*SEE CIVIL DRAWINGS

DIVISION 32 - EXTERIOR IMPROVEMENTS
2. "SEE CIVIL AND LANDSCAPE DRAWINGS ON BU # 5

DIVISION 33 - UTILITIES a. "SEE CIVIL DRAWINGS

Lengths: Colls in manufacturer's standard length.
Outside and Inside Corners. Preformed.
Finish: Selfn
Colors and Patterns: As selected by Architect from full range of industry colors.

08516 - RESILENT SHEET FLOORING (RS)
 MANUFACTURER: Basie-of-Design: "Nepotan BioControl" Cleanmonn Flooring, by Gerifor — The Flooring Croup, Driver manufactures are acceptable if product meets the following specification requirement described before:

specification requirement described below: Certified (SO-2) Certified to use Class A Clean Rooms Tools tristicness: 0.06\* Roll width/length; 6"-6" x 66"-0" (variation acceptable per manufacturer's size)

Fire rating: Class 1

g: Cares 1 nt of friction (ASTM D2047 and C1028) to meet or exceed 8. Static Load limit: -0.002" under 250 psi, up to 2,000 psi.

C. 097720 - DECORATIVE FIBERGLASS REINFORCED WALL PANELS

once Manufacturer Madite: 1 Madite Dates Deser OH 44522 R00-377-1221 FAX (330) 343-4668 Email: Info@marine.com www.marine.com. a. Product: Artizen™ FRP with BlueSky™ Advanced Finishing

2. PANELS - Fiberglass reinforced thermosetting polyester resin penel sheets complying with

STM D 5319. Finishing: BlueSky™ Advenced Finishing System: High resolution digital imaging with controlled, low-temperature inline curing, water-based UV-cure coatings, free of VOC UV.

Thickness = 0.090 \* (2.29mm) nominal Wildth - 4\*-0\* (1.22m) nominal Length = 8\*-0\* (2.4m)nominal

The Company of the Co

in, review or renorm—press por A3 IM U 3473.
 iii. Color: To be selected from the manufacturer's full line of Classic Maritie colors;
 Surface - Maritis Artizan FRP are available in smooth surface texture.
 Fine Rating [Specifier to choose.] Maritie Artizan FRP Class A (I) Fine Rating

Marita Base Molding for 0.090" (2.29mm) thick FRP Panets

Color: stans.
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b. M 360 Outside Comer, [8' Inequity] 10' Innight)
c. M 305 Division, [8' Inequity] 10' Innight)
d. M 370 Edys, [8' Inequity] 10' Innight)
e. V 177 135' Inside Corner [8' Innight] (White only)
f. V 179 135' Inside Corner [8' Innight] (White only)
g. Color: [White] Edysigh (White only)
d. Color: [White] Edysigh (White only)
d. With 10' Innight Colors (Lord (L

a. Adhesive: Either of the following construction adhesives complying with ASTM C 557.

. Markte C-551 FRP Adhesive - Water- resistent, non-flammeble adhesive. . Sealant: Markte Brand MS-250 Clear Silicone Sealanti.

O 000123 - PAINTING SCHEDUBES

All interior points and primers to be less than or equal to the following VOC levels:

c. resort 100 U.K.
2. Plaining schedule is based on products manufactured by Sherviet-Williams – Pro Green Series low-not gent. Comparable products by Zasaver, Glodden and Bergamin Moore are also accepted. All color selections to be made by owner! interior designer. Fersither per the following:

Primer: one cost lates/ seale

b. Finish: two costs Pro Green 200 Satin Late: (all one color)

Cellings (except where noted below)

a. Primer: one cost latex/ seator

b. Finish: two costs Pro Green 200 Flat Latex (all one color)

a. Primer; one cost latex/ sealer
 b. Finish: two costs Pro Green 200 Satin Latex (all one color)

Primer; one cost letex! sealer
 Primer; one cost letex! sealer
 Princh: two costs Pro Groon 200 Scmi-gloss Latex (all one color)
 Celling finish: except as noted shall be amooth finish in public areas, smooth or knock down

nts and machanical soace

Walf finish color shall be of contrasting color to adjacent floors
 Exterior Galvanized-Metal Substrates:
 Epoxy System:
 Prime Cost: Procryl Universal Primer

Intermediate Cost: Macropoxy
 2 Topcosts: Epoxy, gloss: High Solids Poly Urethane

6. Exterior Metal Substrates:

Extorine merus vision:
a. Epoxy System:
1 Prime Cost: Pro-cryl Universal Primer
2: intermediate Cost: Macropoxy
3. 2 Topcosts: Epoxy, gloss: High Solids Poly Urethane

C. 067111 - DOOR HARDWARE

Provide door hardware allowance based on components described in the door schedule Hardware finish: satin nickel finish US26D Keying: furnish three (3) keys to owner at acceptance

able manufacturers for each door hardware component

a. Butts and hinges: Stanley, Hagar, Ives b. Locks and Latch sets' Corbin Russwin Stops: Rockwood, Hagar, H.B. Ives

. Closers: Stanley, LCN Kick, mop, armor plates, push/pull hardware: Rockwood, Hagar, Ives

Automatic operators: Stanley, LCN
 All exterior door strike plates shall have a minimum of 1 screw into framing. All hinges shall be

3. At started both size, as assessment were interested in 2 server as of marrier, an implease season of the control of the

ONISION 9 - FINISHES
\*REFER TO FINISH SCHEDULE INCLUDING FLOORING, WALL AND CEILING MATERIAL.

A 199900 - GYPSLIM WALL BOARD CONSTRUCTION

Walts and collings shall be 56° gyasum board (type "x' or "respectively as indicated on the drawings. Walts are to be smooth finish. Cellings to be smooth of brook down finish, maid with joint laps and respectively. The collings are shall be smooth of brook down finish, maid with joint laps and respectively. The company of all gyasum based to be installed with scower and adheative. Windows to have dywall enture at jernice and head. Closests to have related drywall states feithful or froot down finish.

int, non-paper faced backing material at all wel locations: Plumbing walls of all bethrooms and kilchens within 48° of any plumbing

c. Tub/ shower units installed against eir berriers on studs.
Metal studs shall be 25 ca. uniess noted otherwise for interior shear wall system in the

B. 095113 - ACOUSTICAL PANEL CEILINGS (ACT1 & 2)

1. ACQUISTICAL PANELS FOR ACQUISTICAL PANEL CEILINGS (ACT-1):

Basis-of-Design Product: Subject to compliance with requirements, provide USG Interiors, inc., Radar Acoustical Panels Class A Item # 2210 or a comparable product by one of the

Rec., Nation Accusates Present Justs in 1987 in 27 to a comparation product by one or the Coloring.

The Committee of the Co

NRC: 0.55

E. NRC: 0.35

C. CAC: 35

h. Eogst-Lohr Davis: SO

I. Trickness: 56 inch.

Moutar Sox: "A" by 2" as indicated on drawings and room fireish schedule.

Moutar Sox: "A" by 2" as indicated on drawings and room fireish schedule.

Moutar Sox: "A" by 2" as indicated on drawings and room fireish schedule.

Moutar Sox: "A" by 2" as indicated on drawings and room fireish schedule.

L. Formaldehyde and VOC Emissions. Low par CHPS spec 0.1350 sesting methods.

L. Formaldehyde and VOC Emissions. Low par CHPS spec 1.350 sesting methods.

L. Formaldehyde and VOC Emissions. Low par CHPS spec 0.1350 sesting methods. Basis-oi-Design Product: Subject to compliance with requirements, provide inc., Sheetrock Brand Lay-in Gypsum Colling Panels Class A Item # 3260 or product by one of the following.

a. Armstrong World Industries, Inc.

product by one of the following:

a. Amstrong World Industries, Inc.
b. Cartainbeed

Classification: Provide penels complying with ASTM E 1264 for type, form, and pattern as follows: Type and Form: Type III, Form 4, Pattern E

LR: 0.77

NRC: -CAC: 35 Edge/Joint Detail: SQ

Thickness: 178 lech.
 Thickness: 178 lech.
 Modular Size: 24 by 24 as indicated on drawings and room finish schedule.
 Anthinchold Treatment: Against mildlew, yeast, algae, gram-positive/regative is causing bacteriarieg reastant
 I-Formalidelythe and VOC Emissions. Low per CHPS spec 01350 testing methods.

3. METAL SUSPENSION SYSTEM FOR ACQUISTICAL PANEL CEILING (ACT)

ETAL SUSPENSION SYSTEM FOR ACQUISTICAL PANEL CELLING (ACT)
Basis-of-Design Product: Subject to compliance with requirements, provide USG interiors, Inc., Donn DX. (15/16)
Standent-Face, Capped, Double-Web, Steel Suspension System; Main and cross runners. Standard-Face, Capped, Double-Web, Steel Starpension System: Main and cross runners roll formed from cold-rolled tased select, pre-partent, electrophically pin constend, or hot-dip geheating according to ACTIVI A GSSM, roll tess than GSS coaling designation, with I.S. Truchard Economic Start Star

B 095513 - RESILIENT BASE (RB-8)

MANUFACTURERS: Subject to compliance with requirements, evaliable manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:

Johnsonite. Musson, R. C. Rubber Co.

Nora Rubber Flooring: Fraudenberg Building Systems, Inc. Roppe Corporation, USA

Forbo
 RESILIENT BASE STANDARD: ASTM F 1861.
 Material Requirement: Type TS (rubber, vulcanized thermoset).
 Manufacturing Method: Group I (solid, homogeneous).

C. Style:
i. Coved (base with see) at hard surface flooring,
ii. Straight (flat or loeless) at carpeted areas.
d. Milimirum Thickness: 0.125 inch
- Height: 6 inches (Raveal MW-XXFB as manufactured by Johnsonile)

2. Exterior Frames: Fabricated from metallic-coated steel sheet.

Frames for Level 2 Steel Doors (0.053-inch, (1.3-mm-) thick steel sheet

MANUFACTURER

2. PERFORMANCE REQUIREMENTS

Standard Performance: Meets or exceeds AAMAWDMAVCSA 101/I.S.2/A440 Ratings: R-PG35, WDMA

3 VINYL SINGLE-HUNG WINDOWS

essembly. Sill: Fitted with weeks.

Glazing: || Float Glass: ASTM C 1036.

4 MADOWADE

Batances: Inverted Constant Force Stainless Steel Coll Batances.

Locks: Factory-installed, zno-die-cest, self-eligning, cem-action locks located on

(b) Sash Locks: Two sash locks installed on windows with minimum of 29-1/2 inches

5. SCREENS

Screens: Standard half screen. (b) Compliance:

e. ASTM D 3856. b. SMA 1201 SMA 1201 (c) Screen Cibri: Black, vinyl-costed, 18/16 meah, fibergless screen cloth.
 Set in rollformed coll elaminum frame and fitted to exterior of windows.
 Screen Frame Finish: Baked enamel.
 Color: Match window exterior.

Windows shell accommodate the following opening tolerances:
(b) Hotzontal Dimensions Between High and Low Points: Plus 1/4 Inch, minus 0 Inch.
(c) Width Dimensions: Plus 1/4 Inch, minus 0 Inch.
(d) Building Columns or Masonry Openings: Plus or minus 1/4 Inch from plumb.

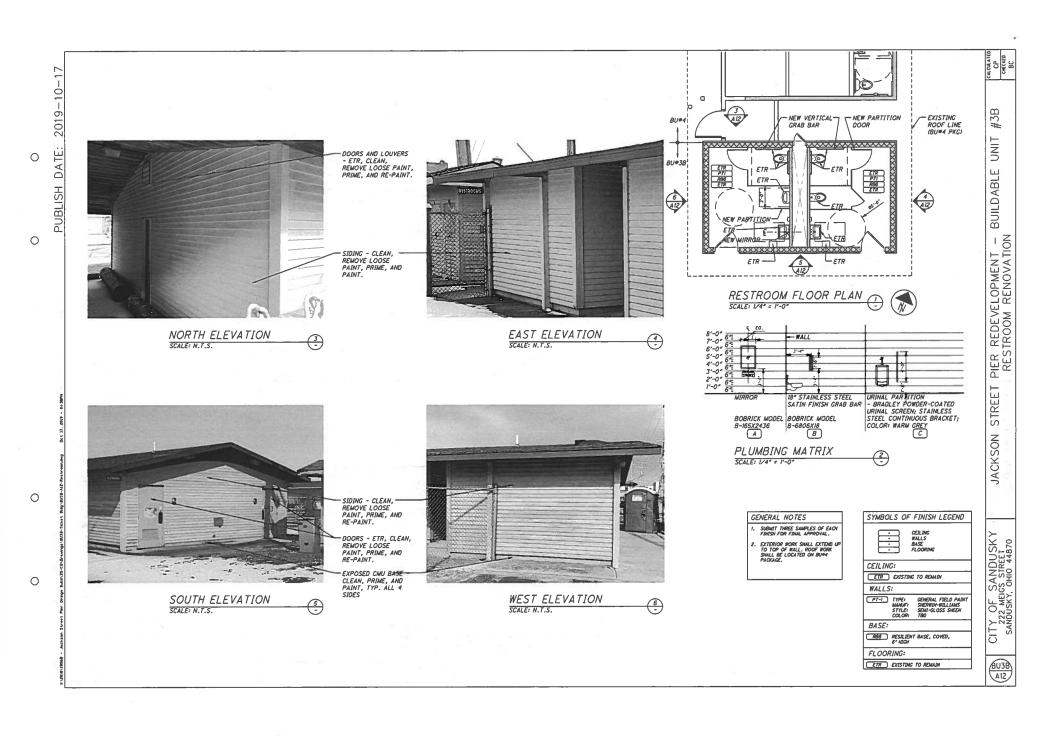
7 FINISH

 Exposed PVC Surfaces: Smooth, glossy, and uniform in appearance.
 Frame Colors: (b) Exterior/interior;a. White; Integral color extruded throughout profiles.



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STRUCTURAL SPECIFICATIONS

SECTION OF 10 OF - CONDICTE FORWING AND ACCESSORES

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SECTION OF NO CO - CAST-IN-PLACE CONCRETE

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SECTION 03 20 00 - CONCRETE REMEDICING

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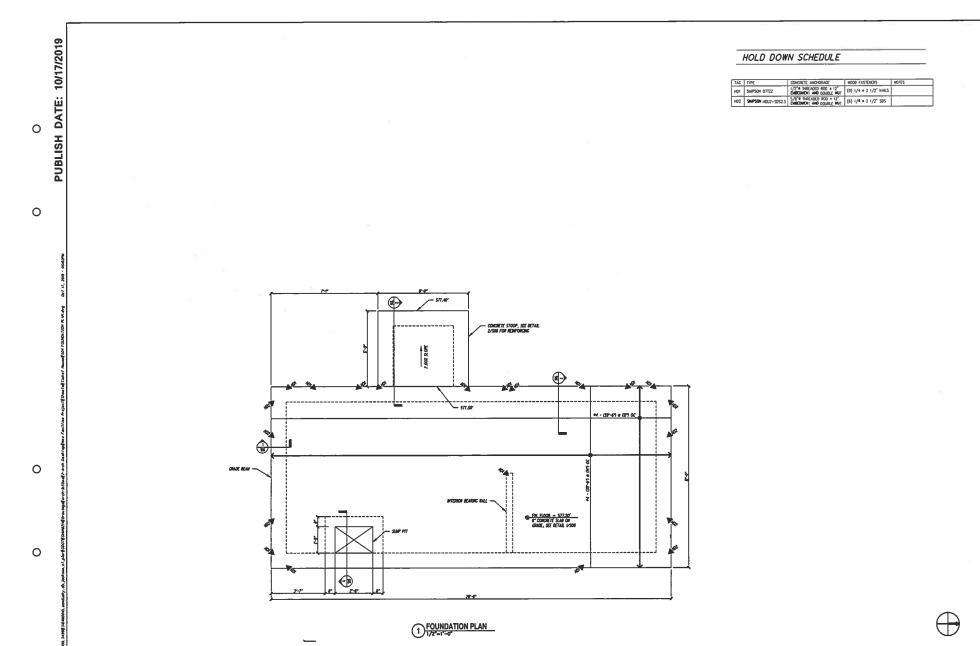
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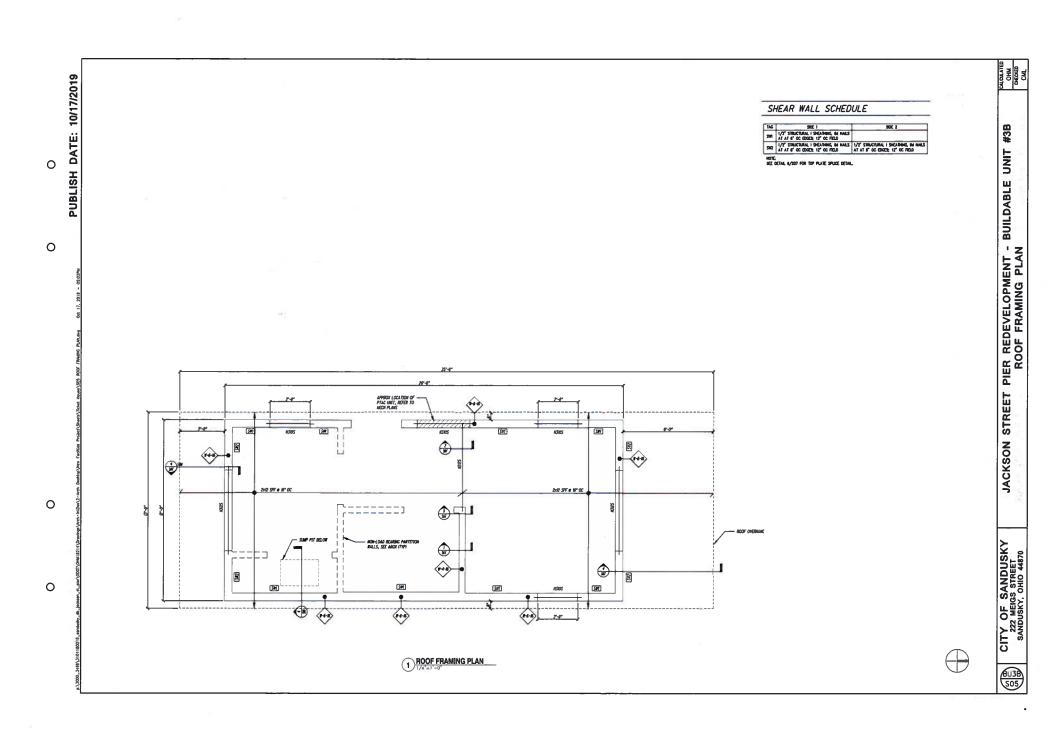
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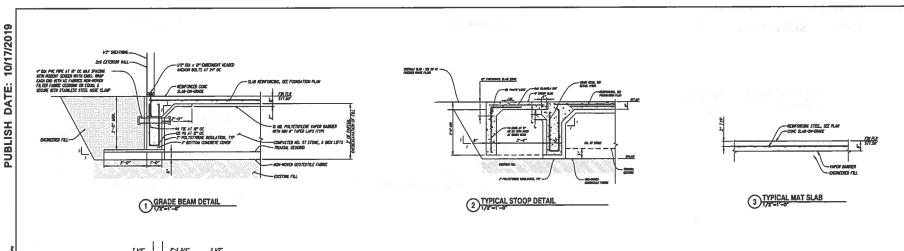


JACKSON STREET PIER REDEVELOPMENT - BUILDABLE UNIT #38 FOUNDATION PLAN



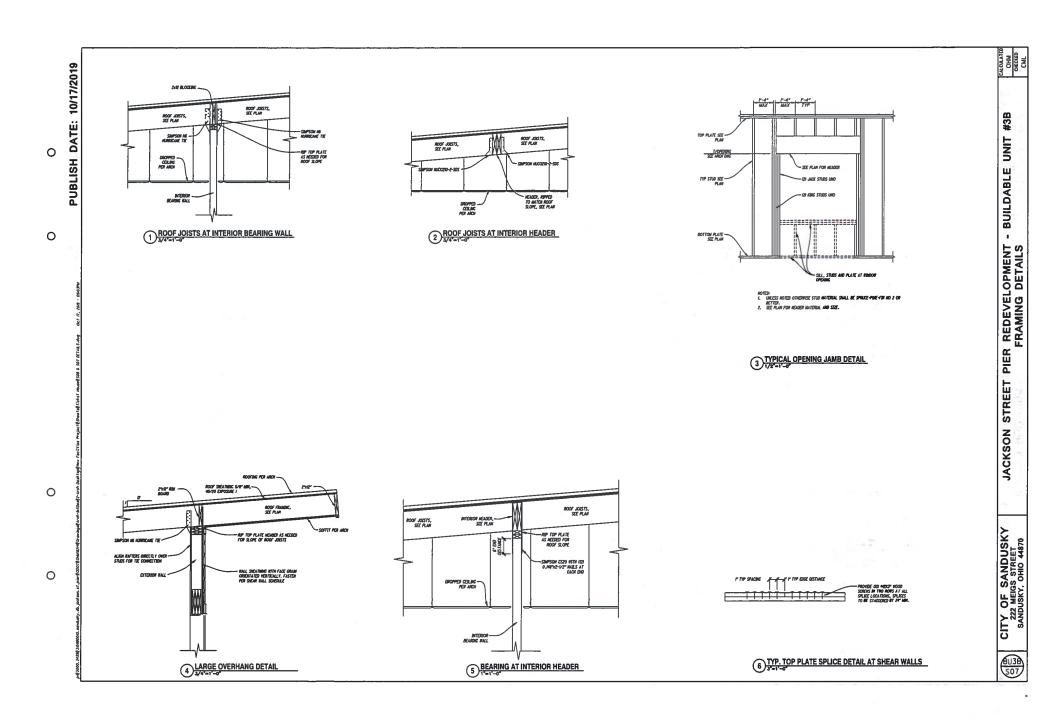






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PASTONIC SOLUTION, FOR CONTROL TO
4 SUMP PIT DETAIL

		SETTLEMENT MITIGATION MEASURES TABLE
NO.	NAME	INSTRUCTIONS
I	Visual observation	After excavation of the entire subgrade to approximately 3 feet, careful observation of the subgrade soils by a qualified soils engineer of ground conditions that are out-of-place or other anomalies. This observation may alert us to possible issues that exist below, yet we may not have knowledge of now.
2	Proof roll	Proof roll the entire subgrade using a heavy roller (compactor) operated statically (no vibrations) to check for deflections and ground movement/behavior. Oualified soils engineer needed for the observation. This may be considered a modified proof roll, as most proof rolls are done using a loaded dump trunk. With the use of a large, heavy roller, the soils engineer may be able to detect deeper voids or soft ground conditions.
3	T probe	Conduct a number of manual I-probe tests over the subgrade area to get more qualitative evidence that the ground conditions are suitable within a few feet below the bottom of excavation.
4	Dynamic Cone Penetromer Testing (DCPT)	Conduct a number (TBD) of DCPT to help further quantify the ground conditions (since these tests offe us a penetration test result number/blow count to consider).
5	Ground Penetrating Radar (GPR)	A full CPR (ground penetration radar) sweep over the area, with experienced operator to help identify any voids, former structures, etc. if they exist.
6	Triaxial geogrid	Additional, heavier, geogrid 8" from the base of the excavation and within the engineered fill (No. 57 Stone). This will help to further stiffen the entire mat-engineered fill system, making the mat less prone to internal shears/moments. Note overall, or total, settlement may still be a factor, however.



#3B

HIGH DENSITY PAPE CONCRING OR RIGHD BESILATION FOR PAPE SIZES 2" OR LANCER.

MUNICER ROD SIZE

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PVC/ABS

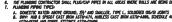
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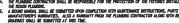
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1 COMMERCIAL ELECTRIC WATER HEATER

**GENERAL PLUMBING NOTES** 

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INSULATION SCHEDULE THICKNESS

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PLUMBING LEGEND AND SYMBOLS

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BOMESTIC COLD BATOR

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ABBREVIATIONS

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FAUCET - DELTA - SERLF-HOF ASSE 1070 MEXING VALVE

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NOT BATER RECIRCULATING

TIPE

/MORGASS

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11/18/2019 DATE: **PUBLISH** 

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PLUMBING FIXTURE SCHEDULE

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THO-LEVEL BALL MOUNTED DRINKING FOLISTAIN

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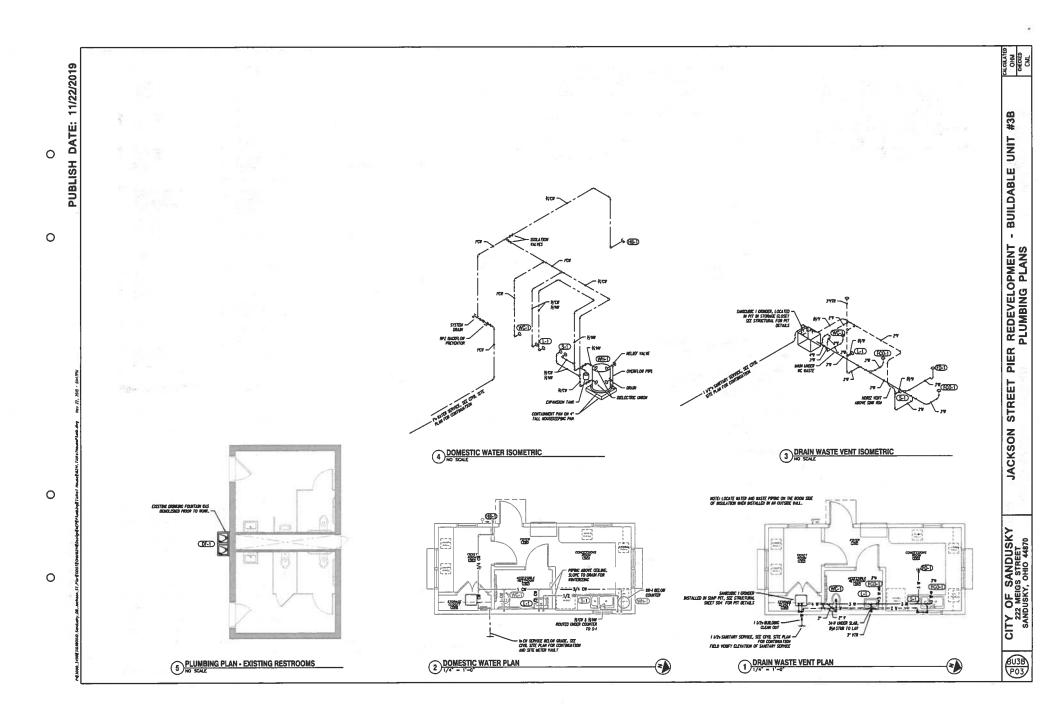
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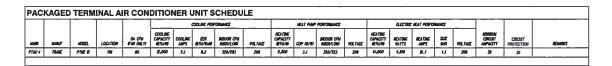


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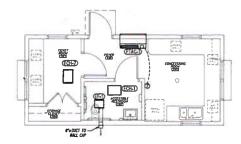
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#### ELECTRICAL SPECIFICATIONS

- A. CODE, PERMITS, AND FEES
- INSTALLATION SHALL BE IN FULL ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OF MUNICIPAL, CITY, COUNTY, STATE, AND PUBLIC UTILITIES, AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE PREMISES.
- 2. COMPLY WITH ANY SPECIFICATION REQUIREMENTS THAT ARE IN EXCESS BUT NOT IN CONFLICT WITH CODE REQUIREMENTS.
- 3. SECURE AND PAY FOR ALL PERMITS AND CERTIFICATES OF INSPECTIONS INCIDENTAL TO THIS WORK, AS REQUIRED BY ALL FOREGOING AUTHORITIES. BE RESPONSIBLE FOR PAYMENTS TO ALL PUBLIC UTILITIES FOR WORK PERFORMED BY THEM IN COMMECTION WITH PROVISION OF SERVICE CONNECTIONS REQUIRED UNDER THIS DIVISION OF SPECIFICATIONS. TURN OVER CERTIFICATES OF APPROVAL TO THE CONSTRUCTION MANAGER AND/OR OWNER PROMPTLY WHEN RECEIVED, AND BEFORE PAYMENT IS MADE FOR THE WORK. DELIVER ALL CERTIFICATES TO ARCHITECT IN DUBY ICATE.
- 4. PROVISIONS OF THE LATEST REVISIONS TO THE FOLLOWING CODES AND STANDARDS SHALL BE FOLLOWED WHERE APPLICABLE:
  - a. OHIO ADOPTED STATE BUILDING CODES (OBC)
  - b. CITY OF SANDUSKY BUILDING CODES
- C. NFPA TO NATIONAL ELECTRIC CODE (NEC)
- d. NEPA 101 LIFE SAFETY CODE
- e. TIA/EIA 568, 569, AND J-STD-607
- f. AMERICANS WITH DISABILITIES ACT (ADA)
- g. FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)
- h. ASHRAF 90 1-2010 ENERGY STANDARD
- B. WIRE AND CABLE
- ACCEPTABLE MANUFACTURER'S SHALL BE GENERAL CABLE CORPORATION, OKONITE, OR SOUTHWIRE COMPANY. ALL WIRE AND CABLE SHALL BE BY THE SAME MANUFACTURER.
- 2. CONDUCTORS SHALL BE SOFT ANNEALED COPPER INSULATED FOR 600 VOLTS UNLESS SPECIFICALLY INDICATED OTHERWISE.
- g. ALUMINUM CONDUCTORS ARE NOT PERMITTED UNDER ANY CIRCUMSTANCES, UNLESS EXPRESSLY PERMITTED BY OWNER IN WRITING.
- 3. INSULATION TYPE SHALL BE TYPE THAN OR THWN, THAN SHALL NOT BE USED IN WET OR DAMP LOCATIONS.
- 4. FLEXIBLE CORD SHALL BE HEAVY DUTY TYPE SO WITH AN EQUIPMENT GROUND CONDUCTOR IN ADDITION TO THE CURRENT CARRYING CONDUCTORS.
- 5. METAL CLAD (MC) CABLE SHALL BE 600 V COPPER WITH FULL-SIZED INSULATED GROUND CONDUCTOR. MINIMUM SIZE SHALL BE 12-AWG UNLESS SPECIFIED OTHERWISE
  - a. METAL CLAD UNCI CABLE SHALL BE PERMITTED TO BE RUN IN CONCEALED WALLS. AND ACCESSIBLE CELLING SPACES WHERE NOT SUBJECT TO PHYSICAL DAMAGE. MC CABLE SHALL ONLY BE PERMITTED FROM LAST JUNCTION/SPLICE BOX TO LAST OUTLET. LIMIT RUNS OF MC CABLE TO 12 LINEAR FEET ON LESS. MC CABLE MAY BE USED FOR LICHTING FIXTURE WINPS NOT TO EXCEED 6 LINEAR FEET. MC CABLE SHALL NOT BE USED FOR HOME RUNS. MC CABLE SHALL NOT BE USED FOR FEEDERS.
- 6. PROVIDE #12 CONDUCTORS, UNLESS OTHERWISE INDICATED.
  - G. CONTROL CONDUCTORS SHALL BE #14 MINIMUM FOR NEC CLASS I AND #16 FOR NEC CLASS II.
- 7. CONDUCTORS #10 AWG AND LARGER SHALL BE STRANDED.
- 8. CONDUCTORS #12 AWG AND SMALLER SHALL BE SOLID.
- COLOR CODE CONDUCTORS LEXCEPT CONTROL AND INSTRUMENTATION CONDUCTORS)
   SYSTEM, SYSTEM PHASE A BLACK, PHASE B RED, PHASE C BLUE, NEUTRAL WHITE, GROUND GREEN GREEN.
- 10. \*12 AND \*10 CONDUCTORS SHALL HAVE CONTINUOUS INSULATION COLOR, AS LISTED ABOVE.

- II. COLOR CODE CONDUCTORS LARGER THAN ABOVE, WHICH DO NOT HAVE CONTINUOUS INSULATION COLOR BY APPLICATION OF AT LEAST TWO LAPS OF COLORED TAPE ON EACH CONDUCTOR AT ALL POINTS OF ACCESS INCLUDING JUNCTION BOXES. COLOR TAPE SHALL BE THE EQUAL OF 3M PRODUCTS SCOTCH #35.
- 12. INSTALL WIRING IN CONDUIT.
- 13. CONNECT \*10 AND SMALLER WIRES WITH CONSTANT PRESSURE EXPANDABLE SPRING TYPE CONNECTORS. "SCOTCHLOK" BY 3M OR B-CAP BY BUCHANAN.
- 14. CONNECT \*8 AND LARGER WIRES WITH COMPRESSION CONNECTORS OR SPLICES AS MANUFACTURED BY BURNDY OR T&B.
- 15. INSULATE SPLICING CONNECTORS TO AT LEAST 200% OF THE WIRE INSULATION. USE PRE-STRETCHED TUBING CONNECTOR INSULATORS, 3M PST FOR \*2 AND LARGER COMMUCTORS.
- 16. MAKE SPLICES IN BRANCH CIRCUIT WIRING WITH UL-LISTED, SOLDERLESS CONNECTORS RATED 600 V, OF SIZES AND TYPES REQUIRED BY MANUFACTURER'S RECOMMENDATIONS WITH TEMPERATURE RATINGS EQUAL TO THOSE OF WIRES. SPLICE CONNECTORS SHALL BE SCREW-ON. INSULATE SPLICES WITH INTEGRAL COVERS OR WITH PLASTIC OR RUBBER FRICTION TAPE TO PRESERVE CHARACTERISTICS OF WIRE AND CABLE INSULATION.
- 17. MAKE TERMINATIONS AND SPLICES FOR CONDUCTORS 6-AWG AND LARGER WITH CORROSION RESISTANT, HIGH CONDUCTIVITY PRESSURE INDENT, HEX SCREW OR BOLT CLAMP CONNECTORS, WITH OR WITHOUT TONGUES, DESIGNED SPECIFICALLY FOR INTENDED SERVICE. CONNECTORS FOR CABLES 250 KCMIL AND LARGER SHALL HAVE TWO CLAMPING ELEMENTS OR COMPRESSION INDENTS. TERMINALS FOR BUS CONNECTIONS SHALL HAVE TWO BOLT HOLES.
- 18. AMPACITY OF SPLICES AND CONNECTORS SHALL BE EQUAL TO THOSE OF ASSOCIATED WIRES AND CABLES.
- 19. PULL CONDUCTORS USING RECOGNIZED METHODS AND EQUIPMENT LEAVING AT LEAST 6" WIRE AT ALL JUNCTION BOXES FOR CONNECTIONS. CLEAN OUT EACH CONDUIT SYSTEM REFORE PULLING WIRE.
- 20. PROVIDE POLYETHYLENE ROPES FOR PULLING WIRE.
- 21. PROVIDE FISH WIRES IN TELEPHONE CONDUITS AND OTHER EMPTY CONDUIT SYSTEMS REQUIRED, WITHOUT SPLICES AND WITH AMPLE EXPOSED LENGTHS AT EACH END.
- 22. PROVIDE WIRE PULLING LUBRICANTS THAT MEET APPLICABLE UL REQUIREMENTS AS NECESSARY.
- 23. FORM AND TIE ALL WIRING IN PANELBOARDS.
- 24. THERE SHALL BE NO WIRENUT JOINTS OR SPLICES MADE INSIDE SWITCHBOARDS/PANELBOARDS.
- 25. BRANCH CIRCUIT WIRE SIZES (AND CONDUITS) SHALL BE INCREASED FROM THOSE INDICATED ON THE PLANS TO PREVENT EXCESSIVE VOLTAGE DROP. BRANCH CIRCUITS SHALL BE INSTALLED WITH WIRES OF SUFFICIENT SIZE SO THAT VOLTAGE DROP BETWEEN THE PANEL AND THE LOADS DOES NOT EXCEED LIMIT OF 3%.
- 26. WIRE SIZES SHALL BE BASED ON THE 75 DEGREES C. AMPACITIES FOR WIRE SIZES NO. 14-1 A.W.G., AND \*1/O A.W.G. AND LARGER.
- 27. CIRCUITS MAY BE MULTI-PLEXED IN CONDUIT PROVIDED WIRE IS PROPERLY DERATED AND CONDUIT SIZED PER CODE. UNDER NO CIRCUMSTANCES SHALL MORE THAN (9) CURRENT CARRYING CONDUITORS BE RUN IN A SINGLE CONDUIT.
- 28. NEUTRAL WIRES SHALL NOT BE SHARED ON ANY CIRCUITS.
- C. GROUNDING
- 1. GROUND ALL EQUIPMENT PER N.E.C.
- 2. PROVIDE EQUIPMENT GROUNDING SYSTEM AS SHOWN ON DRAWINGS. EQUIPMENT GROUNDING SYSTEM SHALL BE DESIGNED SO METALLC STRUCTURES, ENCLOSURES, RACEWAYS, JUNCTION BOXES, OUTLET BOXES, CABINETS, MACHINE FRAMES, PORTABLE EQUIPMENT AND OTHER CONDUCTIVE ITEMS IN CLOSE PROXIMITY WITH ELECTRICAL CIRCUITS OPERATE CONTINUOUSLY AT GROUND POTENTIAL AND PROVIDE LOW IMPEDANCE PATH FOR POSSIBLE GROUND FAULT CURRENTS.

- 3. GROUND EACH OUTSIDE LIGHTING STANDARD SEPARATELY WITH ONE GROUND ROD AND A \*6 GROUND WIRE.
- 4. PROVIDE SEPARATE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR FOR EACH BRANCH CIRCUIT. INSTALL GROUNDING CONDUCTOR IN COMMON COMDUIT WITH RELATED PHASE AND/OR NEUTRAL CONDUCTORS. PARALLEL FEEDERS INSTALLED IN MORE THAN ONE RACEWAY SHALL HAVE INDIVIDUAL FULL SIZE GREEN INSULATED EQUIPMENT GROUNDING CONDUCTORS. WHERE CIRCUIT CONDUCTORS ARE INGREASED IN SIZE FOR YOLTAGE DROP, THE EQUIPMENT GROUNDING CONDUCTOR SIZE SHALL BE INCREASED PROPORTIONATELY.
- 5. WHERE AN ISOLATED, INSULATED GROUND IS REQUIRED A SEPARATE GREEN GROUND SHALL BE RUN FROM THE PANEL GROUND BUS TO THE ISOLATED GROUND WIRE CONNECTION OF THE DEVICE SERVED. IN NO CASE SHALL THE SYSTEM GROUND WIRE AND ASSOCIATED OUTLET BOXES, CONDUIT AND BUILDING STEELJ BE ALLOWED TO CONTACT THE ISOLATED GROUND (GREEN WIRE AND DEVICE GROUND).
- 6. DETERMINE NUMBERS AND SIZES OF SCREW TERMINALS FOR EQUIPMENT GROUNDING BARS IN PANELBOARDS AND OTHER ELECTRICAL EQUIPMENT. PROVIDE SCREW TERMINALS FOR ACTIVE CIRCUITS, SPARES AND SPACES.
- D. RACEWAYS
- I. CONDUIT EXPANSION FITTINGS SHALL BE THREADED HOT-DIPPED GALVANIZED MALLEABLE IRON WITH INTERNAL BONDING ASSEMBLY.
- 2. PROVIDE THREADED MALLEABLE IRON OR STEEL CONNECTORS AND COUPLINGS WITH INSULATED THROATS, MAMUREATURED ELBOWS; LOCKNUTS; AND PLASTIC OR BAKELTE BUSHINGS AT TERMINATIONS, AS NECESSARY. COUPLINGS AND CONNECTORS SHALL BE CLAND AND RING COMPRESSION OR STAINLESS STEEL MULTIPLE POINT LOCKING OR STEEL CONCRETE-TIGHT SET SCREW. COMPRESSION COUPLINGS AND CONNECTORS SHALL FORM POSITIVE GROUND. SET-SCREW CONNECTORS AND COUPLINGS SHALL HAVE WALL THICKNESS EQUAL TO CONDUIT, CASE-HARDEWED, HEX-HEAD SCREWS AND SEPARATE GROUND WIRE. BUSHINGS FOR RICID STEEL AND CONNECTORS FOR ENTIRE THALL HAVE INSULATION INSERTS THAT MEET REQUIREMENTS OF U. S14 FLAME TEST.
- 3. COMPLY WITH THE FOLLOWING INDOOR APPLICATIONS, UNLESS OTHERWISE INDICATED:
  - a. EXPOSED, DRY, NOT SUBJECT TO PHYSICAL DAMAGE: EMT
  - b. EXPOSED AND SUBJECT TO PHYSICAL DAMAGE: RIGID STEEL CONDUIT
  - c. CONCEALED IN CEILINGS AND INTERIOR WALLS AND PARTITIONS: RIGID STEEL CONDUIT, IMC OR EMT.
  - d. CONNECTION TO VIBRATING EQUIPMENT (INCLUDING TRANSFORMERS AND HYDRAULIC, PHEUMATIC, ELECTRIC SOLENDID, OR MOTOR-DRIVEN EQUIPMENT): FMC, EXCEPT USE LEMC IN DAMP OR WET LOCATIONS.
  - e. DAMP OR WET LOCATIONS: PVC COATED RIGID CALVANIZED STEEL CONDUIT.
  - f. HAZARDOUS LOCATIONS: USE PVC COATED RIGID GALVANIZED STEEL.
- g. CORROSIVE ENVIRONMENT: USE ONLY NON-METALLIC BOXES, RACEWAYS AND FITTINGS EPC-40-PVC, WITH STAINLESS FASTENERS.
- h. UNDERGROUND WITHIN BUILDINGS: USE ONLY EPC-40-PVC.
- BOXES AND ENCLOSURES: NEMA 250, TYPE I, EXCEPT USE NEMA 250, TYPE 4X, STAINLESS STEEL IN DAMP OR WET LOCATIONS.
- 5. CONDUIT RUN EXPOSED TO THE WEATHER SHALL BE HEAVY WALL, METAL THREADED TYPE.
- 6. CONDUIT SIZE SHALL BE 3/4" MINIMUM UNLESS OTHERWISE NOTED.
- 7. CONDUIT SHALL BE SECURELY FASTENED IN PLACE.
- 8. USE WATERTIGHT JOINTS WITH BURIED AND CONCRETE ENCASED CONDUIT. ALL BURIED CONDUITS OUTSIDE OF BUILDINGS SHALL HAVE A MINIMUM OF 24° OR COVER. METAL CONDUITS BURIED IN EARTH SHALL BE PAINTED (TWO COATS) WITH HEAVY AS
- 9. SUPPORT RUNS OF CONDUIT AS DETAILED IN THE APPROPRIATE TABLE OF THE NATIONAL ELECTRICAL CODE (NEC).
- THREAD LUBRICATION/SEALANT IS REQUIRED ON OUTDOOR AND UNDERGROUND THREADED METAL JOINTS.
- II. INCLUDE PULL CORD IN CONDUITS FOR FUTURE USE, STUP UP 6" AND CAP.



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#### F. PULL BOXES AND JUNCTION BOXES

- PROVIDE CODE GAUGE GALVANIZED STEEL JUNCTION AND PULL BOXES FOR CONDUIT I-I/4" TRADE SIZE AND LARGER. WHERE NECESSARY TO FACILITATE INSTALLATION. OF REQUIRED DIMENSIONS, WITH ACCESSIBLE, REMOVABLE SCREW-ON COVERS. PROVIDE JUNCTION AND PULL BOXES IN SPECIAL SIZES AND SHAPES DETERMINED IN FIELD WHERE NECESSARY, PULL BOXES EXPOSED TO RAIN OR IN WET LOCATIONS SHALL BE WEATHERPROOF (NEWA 3R).
- 2. PROVIDE CONCRETE BOXES FOR UNDERGROUND WORK UNLESS OTHERWISE INDICATED ON THE DRAWINGS. FURNISH STEEL FRAMES AND COVERS WITH THE COVER ATTACHED TO THE FRAME WITH HEXAGON HEAD, BRASS OR BRONZE CAP SCREWS, 3/8" IN. DIAMETER. PROVIDE A RUBBER GASKET FOR SEALING BETWEEN THE COVER AND THE FRAME, PAINT THE COVER WITH TWO COATS OF HEAVY ASPHALTUM
- 3. INSTALL PULL AND JUNCTION BOXES WHERE SHOWN ON THE DRAWINGS, AND WHERE REQUIRED FOR CHANGES IN DIRECTION, AT JUNCTION POINTS, AND TO FACILITATE WIRE PULLING, FURNISH BOX SIZES IN ACCORDANCE WITH NEC UNLESS LARGER BOXES
- 4. PULL BOXES SHALL BE SUPPORTED ADEQUATELY TO MAINTAIN SHAPE. LARGER BOXES SHALL HAVE STRUCTURAL STEEL BRACING WELDED INTO RIGID ASSEMBLY FORMED ADEQUATELY TO MAINTAIN ALIGNMENT IN SHIPMENT AND INSTALLATION SECURE COVERS WITH CORROSION RESISTANT SCREWS.
  - a. PROVIDE CLAMPS, GRIDS AND OTHER APPURTENANCES TO SECURE CABLES WITHIN PULL BOX. NO CABLE SHALL BE UNSUPPORTED FOR MORE THAN 30°.
  - PULL BOXES CONNECTED TO CONCEALED CONDUITS SHALL BE MOUNTED WITH COVERS FLUSH WITH FINISHED WALL OR CEILING.
- G. NAMEPLATES AND ELECTRICAL SYSTEM IDENTIFICATION
- EQUIPMENT IDENTIFICATION NAMEPLATES SHALL BE ENGRAVED, LAMINATED ACRYLIC OR MELAMINE WITH A MINIMUM LETTER HEIGHT OF 1/2". REFER TO DRAWINGS FOR NAMERI ATE DETAILS.
- 2. EQUIPMENT REQUIRING IDENTIFICATION NAMEPLATES SHALL BE AS FOLLOWS:
  - a. BRANCH CIRCUIT PANELBOARDS
  - b. SAFETY SWITCHES (FUSED AND NON-FUSED)
- 3. ALL WIRING SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBER(S) IN ALL CABINETS, JUNCTION BOXES, WIRING TROUGHS, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.
- H. WIRING DEVICES
- 1. ACCEPTABLE MANUFACTURERS SHALL BE HUBBELL, PASS & SEYMOUR, EATON (COOPER WIRING DEVICES), OR LEVITON.
- 2. GFCI RECEPTACLES:
  - a. STRAIGHT BLADE GFCI TYPE RECEPTACLE DEVICES SHALL BE, NON FEED THROUGH TYPE. COMPLY WITH NEMA WD 1, NEMA WD 6, UL 498, AND UL 943, CLASS A. GROUP I SOLID STATE SENSING AND SIGNALING WITH FIVE (5) MILLI-AMPERE FAULT TRIP LEVEL AND INCLUDE INDICATOR LIGHT THAT IS LIGHTED WHEN DEVICE IS TRIPPED.
  - b. DUPLEX GFCI RECEPTACLES, 20 A, 125V, 2-POLE, 3-WIRE, GROUNDING TYPE WITH SELE GROUNDING FEATURE.
  - C. COLOR SHALL BE AS SELECTED BY OWNER REPRESENTATIVE.
- 3. RECEPTACLES REQUIRING AMPERAGES, VOLTAGES OR NEMA CONFIGURATIONS DIFFERENT FROM THE DUPLEX GFCI RECEPTACLES ABOVE SHALL BE AS INDICATED ON THE DRAWINGS. OR AS REQUIRED BY EQUIPMENT MANUFACTURER.
- 4. PROVIDE OTHER RECEPTACLES OF A QUALITY, MATERIAL AND WORKMANSHIP EQUAL TO THAT SPECIFIED FOR DUPLEX GECL RECEPTACLES.
- 5. ALL RECEPTACLES, SWITCHES AND OTHER WIRING DEVICES SHALL BE LABELED WITH CIRCUIT NUMBER AND PANEL NAME ON COVER, USE ENGRAVED BLACK LETTERS ON PLASTIC COVERS OR CLEAR TAPE WITH BLACK LETTERS ON OTHER FACEPLATE

#### TYPES.

- 6. WIRING DEVICE WALL PLATES: SINGLE AND COMBINATION TYPES TO MATCH CORRESPONDING WIRING DEVICES.
  - G. EXTERIOR SPACES: COPPER FREE ALUMINUM WITH GRAY, POWDER EPOXY FINISH, GASKET, WEATHERPROOF, "HUBBELL WPBM" WEATHERPROOF WHILE IN USE COVER.
  - b. DEVICES PLATES SHALL BE BY THE SAME MANUFACTURER AS THE WIRING DEVICE.
  - C. COLOR SHALL BE AS SELECTED BY OWNER REPRESENTATIVE.
  - d. ALL OUTLET AND/OR JUNCTION BOXES SHALL BE COMPLETE WITH A COVER PLATE BY THIS CONTRACTOR.

#### I. LUMINAIRES

- 1. ALL LUMINAIRES, LAMPING (INCLUDING LED MODULES, ETC.), EQUIPMENT, AND COMPONENTS SHALL BE PROVIDED WHERE SHOWN ON DRAWINGS, AS LISTED IN LUMINAIRE SCHEDULE, AND AS SPECIFIED, WIRED AND ASSEMBLED. PROVIDE APPROVED ALIGNING EQUIPMENT, CANOPIES, HANGERS AND OTHER APPURTENANCES AS REQUIRED FOR A COMPLETE SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND N.E.C. REQUIREMENTS.
- 2. REFER TO LUMINAIRE SCHEDULE FOR THE FOLLOWING REQUIREMENTS:
  - a. LUMINAIRE DESCRIPTION AND DIMENSIONS.
  - b. MANUFACTURER.
  - C. CATALOG SERIES AND/OR MODEL/PART NUMBER
  - d. LIGHT SOURCE/LAMPING REQUIREMENTS.
  - A. BALLAST/DRIVER REQUIREMENTS.
  - f. VOLTAGE REQUIREMENTS.
- 3. ALL LUMINAIRES SHALL BEAR THE UL LABEL AND SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- 4. METHOD REQUIRED FOR THE CEILING SYSTEM SET FORTH ON THE ARCHITECTURAL DRAWINGS, SUCH AS THE REFLECTED CEILING PLANS, ROOM FINISH SCHEDULES, ETC.
- 5. COORDINATE INSTALLATION OF ALL LUMINAIRES WITH ALL TRADES PRIOR TO ANY
- 6. LUMINAIRES WITH LOUVERS, BASKETS, OR LENSES SHALL BE PROVIDED WITH POLYESTER COVERS TO PROTECT LUMINAIRES DURING CONSTRUCTION.
- 7. DO NOT INSTALL LUMINAIRES UNTIL WORK OF OTHER TRADES THAT MAY DAMAGE LUMINAIRES IS COMPLETED.
- 8. INVESTIGATE LUMINAIRE LOCATIONS AND SUPPORTS TO ENSURE THAT NO INTERFERENCE EXISTS WITH ANY OTHER EQUIPMENT.
- 9. SUPPORT SURFACE-MOUNTED LUMINAIRES FROM AT LEAST TWO POINTS TO PREVENT
- 10. ALL ADJUSTABLE LUMINAIRES SHALL BE AIMED AND ADJUSTED DURING EVENING HOURS TO THE SATISFACTION OF THE OWNER REPRESENTATIVE.
- J. INTERIOR LIGHTING CONTROL DEVICES
- I. VACANCY SENSORS
  - A VACANCY SENSOR: UNLESS OTHERWISE INDICATED. TURN LIGHTS OFF WHEN UNOCCUPIED: WITH A TIME DELAY FOR TURNING LIGHTS OFF, ADJUSTABLE OVER A MINIMUM RANGE OF I TO 30 MINUTES.
  - b. SENSOR OUTPUT: CONTACTS RATED TO OPERATE THE CONNECTED RELAY. COMPLYING WITH UL 773A SENSOR IS POWERED FROM THE POWER PACK.
  - c. POWER: LINE VOLTAGE.
  - d. POWER PACK: DRY CONTACTS RATED FOR 20-A LED LOAD AT 120- AND 277-VAC, FOR 13-A TUNGSTEN AT 120-VAC, AND FOR I HP AT 120-VAC. SENSOR HAS 24-V DC, 150-MA, CLASS 2 POWER SOURCE, AS DEFINED BY NFPA 70.
- e. MOUNTING:
  - e.a. SENSOR: SUITABLE FOR MOUNTING IN ANY POSITION ON A STANDARD OUTLET BOX.

- RELAY: EXTERNALLY MOUNTED THROUGH A 1/2-INCH KNOCKOUT IN A STANDARD ELECTRICAL ENCLOSURE.
- TIME-DELAY AND SENSITIVITY ADJUSTMENTS: RECESSED AND CONCEALED BEHIND HINGED DOOR.
- f. INDICATOR: DIGITAL DISPLAY, TO SHOW WHEN MOTION IS DETECTED DURING TESTING AND NORMAL OPERATION OF SENSOR.
- g. BYPASS SWITCH: OVERRIDE THE "ON" FUNCTION IN CASE OF SENSOR FAILURE.
- h. AUTOMATIC LIGHT-LEVEL SENSOR: ADJUSTABLE FROM 2 TO 200 FC; TURN LIGHTS OFF WHEN SELECTED LIGHTING LEVEL IS PRESENT.
- K. EXTERIOR LIGHTING CONTROL PANEL ASSEMBLY
- I. HANDS OFF AUTO SWITCH
  - a. HANDS OFF AUTO 3 POSITION SELECTOR SWITCH WITH CENTER OFF POSITION.

#### 2. TIME SWITCHES

- a. ELECTRONIC TIME SWITCHES: SOLID STATE, PROGRAMMABLE, WITH ALPHANUMERIC DISPLAY: COMPLYING WITH UL 917.
- b. CONTACT CONFIGURATION: DPST.
- C. CONTACT RATING: 30-A INDUCTIVE OR RESISTIVE, 240-V AC.
- d. PROGRAMS: TWO ON-OFF SET POINTS ON A 24-HOUR SCHEDULE. ALLOWING DIFFERENT SET POINTS FOR EACH DAY OF THE WEEK AND AN ANNUAL HOLIDAY SCHEDULE THAT OVERRIDES THE WEEKLY OPERATION ON HOLIDAYS.
- e. CIRCUITRY: ALLOW CONNECTION OF A PHOTOELECTRIC RELAY AS SUBSTITUTE FOR ON-OFF FUNCTION OF A PROGRAM ON SELECTED CHANNELS.
- f. ASTRONOMIC TIME: ALL CHANNELS.
- Q. AUTOMATIC DAYLIGHT SAVINGS TIME CHANGEOVER.
- h. BATTERY BACKUP: NOT LESS THAN SEVEN DAYS RESERVE, TO MAINTAIN SCHEDULES AND TIME CLOCK.
- 3. OUTDOOR PHOTOELECTRIC SWITCHES
  - a. SOLID STATE, WITH SPST DRY CONTACTS RATED FOR 1800 VA INDUCTIVE, TO OPERATE CONNECTED RELAY, CONTACTOR COILS, OR MICROPROCESSOR INPUT: COMPLYING WITH UL 773A. AND COMPATIBLE WITH BALLASTS AND LED LAMPS.
- b. LISTED AND LABELED AS DEFINED IN NFPA TO, BY A QUALIFIED TESTING AGENCY. AND MARKED FOR INTENDED LOCATION AND APPLICATION.
- C. LIGHT-LEVEL MONITORING RANGE: 1.5 TO 10 FC, WITH AN ADJUSTMENT FOR TURN-ON AND TURN-OFF LEVELS WITHIN THAT RANGE, AND A DIRECTIONAL LENS IN FRONT OF THE PHOTOCELL TO PREVENT FIXED LIGHT SOURCES FROM CAUSING TURN-OFF.
- d. TIME DELAY: FIFTEEN-SECOND MINIMUM, TO PREVENT FALSE OPERATION.
- e. SURGE PROTECTION: METAL-OXIDE VARISTOR.
- f. MOUNTING: TWIST LOCK COMPLIES WITH NEWA CI36.10, WITH BASE-AND-STEM MOUNTING OR STEM-AND-SWIYEL MOUNTING ACCESSORIES AS REQUIRED TO DIRECT SENSOR TO THE NORTH SKY EXPOSURE.
- g. FAILURE MODE: LUMINAIRE STAYS ON.

#### 4. LIGHTING CONTACTORS

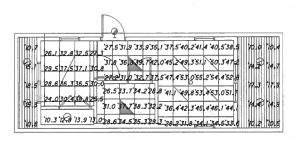
- O. ELECTRICALLY OPERATED AND MECHANICALLY HELD, COMBINATION-TYPE LIGHTING CONTACTORS WITH FUSIBLE SWITCH, COMPLYING WITH NEMA ICS 2 AND
- b. CURRENT RATING FOR SWITCHING: LISTING OR RATING CONSISTENT WITH TYPE OF LOAD SERVED, INCLUDING TUNGSTEN FILAMENT, INDUCTIVE, AND HIGH-INRUSH BALLAST (BALLAST WITH 15 PERCENT OR LESS THO OF NORMAL LOAD CURRENT).
- G. FAULT CURRENT WITHSTAND RATING: EQUAL TO OR EXCEEDING THE AVAILABLE FAULT CURRENT AT THE POINT OF INSTALLATION.
- d. ENCLOSURE: COMPLY WITH NEMA 250.
- e. PROVIDE WITH CONTROL AND PILOT DEVICES AS INDICATED ON DRAWINGS. MATCHING THE NEMA TYPE SPECIFIED FOR THE ENCLOSURE.



LEGEND

AXX.X PHOTOMETRIC ANALYSIS
FOOT-CANDLE LEVEL
CALCULATION POINT

PHOTOMETRIC ANALYSIS SUMMARY								
ROOM	AVERAGE (FC)	MAXIMUM (FC)	MINIMUM (FC)	MAXIMIN RATIO				
BATHROOM	32.51	38.3	26.5	1.45				
CONCESSION CANOPY	13.45	17.9	10.0	1.79				
CONCESSION	41.35	55.2	27.2	2.03				
STORAGE	12.53	13.9	10.3	1.35				
TICKET SALES	38.20	46.8	27.3	1.71				
TICKET SALES CANOPY	14.08	18.5	10.7	1.73				



PHOTOMETRIC ANALYSIS PLAN - PAVILION

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PUBLISH DATE: 11/18/2019

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PIER REDEVELOPMENT - BUILDABLE UNIT TICKET HOUSE ELECTRICAL PLANS

JACKSON STREET
PROPOSED

PHOTOCELL

LIGHT CIRCUIT WIRING

- UN-SWITCHED HOT WIRING

#### POWER SYMBOLS LEGEND

- DUPLEX RECEPTACLE
- GFCI RECEPTACLE
- GFCI RECEPTACLE, COUNTER HEIGHT
- WEATHER PROOF GFCI
- PROPOSED POWER PANEL
- JUNCTION BOX
- ELECTRIC UTILITY METER

BRANCH CIRCUIT WIRING

### LOW VOLTAGE SYMBOLS LEGEND

POS DATA CONNECTION



F SANDUSKY AEIGS STREET SKY, OHIO 44870



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LOCATION MISC. STORAGE PANEL NAME PP3 - TICKET HOUSE\_ MOUNTING" L-N 120 BUS COPPER SERVICE: L-L 208 \* - Denotes GFCI Type Breaker | \*\* - Denotes Shunt Trip Type Breaker LOAD BREAKER KILOVOLT-AMPS
AMPS POLE AMPS A B C.

1.5 2 20 0.18 KILOVOLT-AMPS BREAKER LOAD DESCRIPTION DESCRIPTION A B C POLE AMPS AMPS DESCRIPTION OF THE PROPERTY OF THE PROPER LIGHTS & EF-1 1 2 0.72 2 1 20 6.0 RECEPTACLES
2 0.54 1 20 4.5 RECEPTACLES
1 20 8.8 FRIGE
6 2 30 17.1 PTAC-1 0.60 5 6 7 8 1.05 9 9 10 0.79 11 12 ECH-1 5.0 2 15 6.0 - - 0.60 6.6 2 15 ECH-2 2.05 - - 17.1 -6.6 - -13 14 0.00 WH-1 28.8 2 30 3.46 15 16 0.60 1 20 5.0 MECHANICAL CONTROLS 28.8 - -0.0 1 20 90 1 20 5.0 MECHANICAL (
0.00 1 20 0.0 MICROWAVE

1 20 0.0
1 20 0.0
1 20 0.0
1 20 0.0
1 20 0.0 SPARE 0.00 17 18 GRINDER PUMP 10.0 1 20 1.20 EXTERIOR LIGHTS 0.8 - -0.0 - - 0.00 0.00 1 20 0.0 0.00 1 20 0.0 27 28 0.00 29 30 1 20 0.0 SPARE x x 0.0 SPACE 31 32 0.00 33 34 ( 0.00 0.00 35 38 0.00 x x 0.0 SPACE 0.0 x x 37 38 0.00 x x 0.0 PROVISIONAL SPACE 38 40 0.00 x x 0.0 PROVISIONAL SPACE PROVISIONAL SPACE 0.0 x x 0.00 0.0 x x 0 0.00

0.00 41 42 MAIN BREAKER

CONDUIT SIZE

FEEDER SZE

MCB

SOURCE UTILITY XFMR

0.00 x x 0.0 PROVISIONAL SPACE

BUS RATING

100A

A.I.C. SYM. 36k.AIC

Total Connected Load 53.0 A 19.086 kVA

Estimated Demand Loed 65.1 A 19.838 kVA

REFER TO BUZ DRAWING SET FOR ONE-LINE DIAGRAM

kVA

7.208

3.984

AMPS

60.1 65.8

33.2

PROVISIONAL SPACE

TOTAL

BUS A

BUS B

BUS C

LINE (HOT) 120 VAC	BLACK	NOTE: SELECT BATHROOM MO OPTION. FAN TO TURN OFF 8 MINUTES AFTER LIGHTS.
NEUTRAL		

WALL SWITCH FAN AND LIGHT CONTROL DIAGRAM NOT TO SCALE

PE	DESCRIPTION	MANUFACTURER	CATALOG *	LAMPS	WATTS	REMARKS
.1	2x4 LED PANEL	METALUX	24FP4735C	LED	40.4	14 13 3 50 3
.2A	2x2 LED PANEL	METALUX	22FP2I35C	LED	20.7	
L28	2x2 LED PANEL	METALUX	22FP3235C	LED	29.4	SUFFIX "E" INDICATES EMERGENCY LIGHTING OPTION ELTW
LZC	2x2 LED PANEL	METALUX	22FP4235C	LED	38.9	SUFFIX "E" INDICATES EMERGENCY LIGHTING OPTION ELTW
L3	4" LED DOWNLIGHT	HALO	HC420D010-HM412835-41WDC	LED	21.3	SUFFIX "E" INDICATES EMERGENCY LIGHTING OPTION REM7
L4	LENSED STRIPLIGHT	METALUX AP	8SLCTP8035DD-UNV	LED	20	
LS2	EXTERIOR WALL PACK	LUMIERE	9002-W2-R1-LED3590-M-BZ-L1-UNV-RSM	LED	10	SUFFIX "E" INDICATES EMERGENCY LIGHTING PROVIDE BATTERY PACK EBPLEDTW
ΧI	LED EXIT LIGHT	SURE LITES	ES7170RW	LED	4.8	

ALL MOTION, VACANCY AND DAYLIGHT SENSORS NOT INTEGRAL TO THE FIXTURE SHALL BE INSTALLED ON THE CEILING UNLESS OTHERWISE NOTED ON THE PLAN SHEETS.



#3B

LIND

- BUILDABLE DETAILS

STREET PIER REDEVELOPMENT
TICKET HOUSE ELECTRICAL

JACKSON

JACKSON

STREET PIER REDEVELOPMENT - BUILDABLE EXISTING RESTROOM ELECTRICAL PLANS

DEMOLITION NOTES

- DI DISCONNECT EXISTING CIRCUITS, TO BE REFED.
- DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES, CONDUCTORS, CONDUITS AND SWITCHES.

## NOTES

- REFEED EXISTING BRANCH CIRCUITS
  TO POWER PANEL PPI LOCATED IN E-I ENCLOSURE. REFER TO BUZ DRAWING PACKAGE FOR ENCLOSURE LOCATION.
- 2 LIGHTING CONTROL, RESTRICTED TO MANUAL ON AND AUTOMATIC FULL SHUT-OFF, 20 MINUTES AFTER OCCUPANT LEAVES THE ROOM.

### FIXTURE TYPE LEGEND

METALUX 24FP LED

XXE SUFFIX "E" INDICATES BATTERY PACK

## PHOTOMETRIC SUMMARY LEGEND

XX.X PHOTOMETRIC ANALYSIS
FOOT-CANDLE LEVEL
CALCULATION POINT

### LIGHTING SYMBOLS LEGEND

SINGLE POLE SWITCH

SENSOR SWITCH
SENSOR TYPE DESIGNATION:
O = OCCUPANCY
D = DAYLIGHT V = VACANCY

2X4 SURFACE MOUNT LIGHT FIXTURE

LIGHT CIRCUIT WIRING

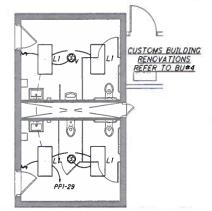
- UN-SWITCHED HOT WIRING

			P	ANEL	NAME		PP1	- PIER	SITE				ATION		IXTERIOR ICLOSURE
				SE	RVICE:	L-L	208		L-N	120			BUS		COPPER
			Denote	s GF	З Туре	Breal	ter	D	enotes	Shum	Trip 1	уре В	reaker	]	
DESCRIPTION	LOAD		AKER AMPS		VOLT-					VOLT#			AKER AMPS	LOAD	DESCRIPTION
LTG - PIER (SOUTH)	2.8	POLE.	20	A 0.33	В	С		2	D.72	В	C	POLE	20 20		REC - TREE PLANTER (SOUT)
LIG-FIER (SCOTH)	2.8	-	20	0.33	0.33		3	4	0.72	0.54	_	1	20	4.5	REC - TREE PLANTER (SOUTH
•	2.8	١÷	· ·		0.33	0.33	5	6	_	0.54	0.54	1	20		REC - TREE PLANTER (SOUTH
LTG - PIER (NORTH)	3.9	3	20	0.46	-	0.33	7	B	0.36	-	0.54	1	20		REC - TREE PLANTER (WEST
LIG - FIER (NORTH)	3.9	3	-	U. 40	0.46	$\vdash$	9	10	0.30	0.36	-	+	20	3.0	REC - TREE PLANTER (WEST
	3.9	÷	-	_	U.40	0.46	11	12	-	υ.30	0.36	1	20	3.0	REC - TREE PLANTER (WEST
REC - LIGHT POLE	9.0	1	20	1.08	-	0.40	13	14	0.54		0.30		20	4.5	REC - TREE PLANTER (NORTH
REC - LIGHT POLE	9.0	+	20	1.00	1.08	-	15	16	U 54	0.54	_	-	20	4.5	REC - TREE PLANTER (NORTH
REC - LIGHT POLE	90	1	20	_	1.08	1.08	17	18		0.54	0.54	1	20	4.5	REC - TREE PLANTER (NORTH
REC - LIGHT POLE	9.0	1	20	1.08	_	1.00	19	20	0.18	_	0.54	1	20	1.5	REC - AT PANEL
REC - LIGHT POLE	9.0	Η	20	1.00	1.08	-	21	22	9.10	0.18	-	Ť	20		REC - POST
REC - LIGHT POLE	7.5	1	20	-	1.60	0.90	23	24		0.10	0.30	1	20	2.5	LIGHTING CONTROL POWER
REC - AT FP-1	4.5	1	20	0.54	$\vdash$		25	26	0.54			1	20	4.5	REC/USB - EAST
REC-ATFP-1	4.5	1	20		0.54		27	28		0.54		1	20	4.5	REC/USB - EAST
RESTROOM LIGHTING	1.7	1	20			0.20	29	30			0.54	1	20	4.5	REC/USB - EAST
SPACE	0.0	×	х	0.00			31	32	0.00			×	x	0.0	SPACE
SPACE	0.0	×	X		0.00		33	34		0.00		×	х	0.0	SPACE
SPACE	0.0	Х	х		-	0.00	35	36			0.00	х	х	0.0	SPACE
PROVISIONAL SPACE	0.0	х	х	0.00			37	38	0.00			х	х	0.0	PROVISIONAL SPACE
PROVISIONAL SPACE	0.0	x	х		0.00		39	40		0.00		×	×	0.0	PROVISIONAL SPACE
PROVISIONAL SPACE	0.0	Х	X			0.00	41	42			0.00	х	х	0.0	PROVISIONAL SPACE
TOTAL: AMPS	kV	Α			MA	IN BRE	AKER		MLO				BUS	RATING	225A
BUS A 48.6	5.8	32			C	ONDU	TSIZE	SEE	ONE	UNE			A.I.C	C. SYM.	35kAIC
BUS B 47.1	5.6		•		F	EEDE	R SIZE		ONE		•			ed Load	
BUS C 43.8	5.2	52	•			SC	URCE		PDP		E:	timate	d Dema	nd Load	

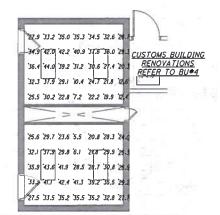
REFER TO BUZ DRAWING SET FOR ONE-LINE DIAGRAM

PHOTOMETRIC ANALYSIS SUMMARY									
ROOM	AVERAGE (FC)	MAXIMUM (FC)	MINIMUM (FC)	MAX:MIN RATIO					
MENS ROOM	29.32	44.0	7.2	6.11					
WOMENS ROOM	30.45	43.6	5.5	7.93					

LIGHT FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MANUFACTURER	CATALOG #	LAMPS	WATTS	REMARKS			
LI	2×4 LED PANEL	METALUX	24FP4735C	LED		PROVIDE SURFACE MOUNT KIT FPSURF24.			



PROPOSED LIGHTING PLAN - EXISTING RESTROOMS



PHOTOMETRIC ANALYSIS PLAN - EXISTING RESTROOMS

