

Department of Community Development

240 Columbus Avenue
Sandusky, OH 44870
Phone: 419.627.5783
www.ci.sandusky.oh.us

ECONOMIC DEVELOPMENT INCENTIVE COMMITTEE MEETING AGENDA

**January 14, 2020
1:30pm**

- I. Meeting called to order
- II. Approval of November 19, 2019 minutes
- III. Program financial update
 - a. 2020 Spreadsheet
- IV. Review of staff reviewed applications
NONE
- V. Review of applications
 - a. LAKE ERIE ISLAND CRUISES, LLC
- VI. Reminder of next meeting – FEBRUARY 11, 2020
- VII. Public Participation
- VIII. Meeting Adjournment

Economic Development Incentive Committee
November 19th, 2019
Meeting Minutes

Call To Order

Mr. Nickles called the meeting to order at 1:36pm. The following members were present constituting a quorum: Mr. Paul Koch, Ms. Abbey Bemis, Mr. Al Nickels, and Mr. Trevor Hayberger. Economic Development Specialist John Storey, and Clerk for the Community Development Department Kristen Barone were also present.

Approval of Minutes

Mr. Hayberger moved to approve the minutes from the October 15th, 2019 meeting; Mr. Koch seconded the motion. All members were in favor of the approval.

Program Financial Update

Mr. Storey stated that the remainder balance of funds is currently at \$134,175.00. He said that the one agenda item that was passed at the last meeting and had to go before City Commission was for Vita Urbana Market, in the amount of \$21,454.00.

Mr. Nickles asked what has been budgeted for 2020.

Mr. Storey stated that that the budget should be the same amount of \$500,000, if not more.

Mr. Nickles asked if there are any payments coming due that will carry over. He said that some businesses pay back for agenda items that were passed.

Mr. Koch said that sometimes the committee approved loans instead of grants. Kilbourne Hotel was one that had been making payments, but that is the only one he remembers.

Mr. Storey said that he was not aware of anything outstanding, but will have to check on that.

Application Review

MARKET STREET COLLECTIVE LLC: Mr. Storey stated that MARKET STREET COLLECTIVE is the first Opportunity Zone Investment in the downtown area. The Opportunity Zone Investment is a Federal Tax Incentive Program that is census track driven. This project is all about the redevelopment of the old Kreimes Cardinal Grocery Store. The property has been vacant since 2017. The applicant has presented renderings to develop the property into a micro food hall, a micro-distillery, and a potential entertainment venue. They have done projects like this in the past.

Mr. Nickles asked if they have given a timeframe for opening.

Mr. Storey stated that they are planning on the grand opening being June 1st, 2020.

Mr. Koch stated that the project should be completed by December 31st, 2020.

Mr. Storey stated that the owners are asking for \$139,609.40, which is 10% of their eligible costs.

Mr. Bemis made a motion to approve the request as recommended by staff. Trevor seconded. With no further discussion, all were in favor to approve.

CHESAPEAKE LOFTS CONDOMINIUM ASSOCIATION: Mr. Nickles stated that this application was tabled at the last meeting.

Mr. Hayberger moved to remove the application from the table for discussion. Ms. Bemis seconded the motion. All members were in favor.

Mr. Storey stated that this application was tabled for further discussion as this project is a little different than what the committee usually sees. The project involves the removal and replacement of a deteriorated façade and parapet wall to the East, South, and West Wall. It was done in the 1990's with a latex foam. This project is to remove the foam and restore the parapet wall, bricks, and mortar. The project costs about \$355,000. They are asking the city for \$60,300.00. He stated that the reason that this project falls under the scope of this program is because it does have a commercial space inside the building. The space does not have a tenant in it currently. Mr. Storey stated that The Chesapeake owners feel that they perceive an injustice was done due to the fact that the city was the one who put this foam up to try to prevent the deterioration.

Mr. Koch stated that his concern last month with the Chesapeake application is that the property is currently not being used for commercial space and it has not been used for commercial space for a long time.

Mr. Nickles asked if there was a way to get the funds they are requesting out of the Tax-Increment Financing.

Mr. Hayberger stated that he does not believe that it would qualify for what they want to use the funds for.

Mr. Nickles stated that he would like to see the people that are profiting from the rentals in The Chesapeake to step up and chip in.

Mr. Koch asked if there is a limit on how much funds can be used for signage.

Mr. Storey stated that there is no limit and that they can grant up to 75% of signage cost.

Mr. Koch made a motion to deny the application as presented. Ms. Bemis seconded the motion. All members in favor to deny the application.

Mr. Storey stated that there will not be a meeting in December.

Public Participation

Sharon Johnson stated that she had four things she wanted to say.

- 1) She was not in agreement with The Chesapeake application either since it is mostly residential space in that building. She said that they have a Homeowners Association that is supposed to be collecting fees for maintenance of the building.
- 2) She then said that she is not too enthused about when the committee is short funds and trying to spend next year's money when the money has not yet been received.
- 3) The Chesapeake put the committee in a bad position stating that they needed a vote today when they are applying for a grant.

Mr. Koch stated that the reason for that is probably because they were on the agenda last month and the application was tabled.

Mrs. Johnson said she is not understanding the sign because they were already granted a sign for the front end of the building.

Ms. Bemis stated that the application that they are reviewing today is not for the front of the building, but it on the side of the building. It is a historical sign of the building that they would like to restore, not a conventional sign for The Chesapeake. It is engraved in the building.

4) She wondered if Mr. Nickles should have abstained from the Market Street Collective application because his LLC made \$510,000 from that deal.

Mr. Nickles stated that he does not have an LLC that he has made any money off of.

Mrs. Johnson stated that RKCS LLC is the LLC she is referring to.

Mr. Nickles stated that he does not have anything to do with that LLC.

Mrs. Johnson stated that she would send the paperwork over to City attorney Mr. Hayberger to look over.

Meeting Adjournment

Mr. Hayberger made a motion to adjourn. Mr. Nickles seconded the motion. Meeting ended at 2:32pm.

APPROVED:

Kristen Barone, Clerk

Mr. Nickles, Chairman

ECONOMIC DEVELOPMENT FUNDS

2019 Carryover	New Funds	Beginning Balance	Date Approved	Committed	Spent	Revenue	Ending Balance	Total Project Cost	New Jobs	Notes
\$ 390,158	\$ 500,000	\$ 504,175					\$ 318,930		14.0	

Substantial Development

Resort School, LLC				1/21/2019	\$ 150,000.00	\$ 150.00	\$ 150.00		\$ 13,600,000.00	12.0	\$120,000-2021
Renaissance Too, LLC				6/11/2019	\$ 25,625.00	\$ 150.00	\$ 150.00		\$ 1,210,000.00	2.0	
Market Street Collective, LLC				12/9/2019	\$ 9,620.00	\$ 150.00	\$ 150.00				

Façade

Signage

Small Business Assistance

Miscellaneous

Committed - Not Yet Paid:	
Renaissance Too, LLC (#1)	\$ 90,000.00
Renaissance Too, LLC (#2)	\$ 76,875.00
Market Street Collective	\$ 130,000.00
Wilken Custom Heating	\$ 9,500.00
Erie Residential Living	\$ 9,411.50
Chris Andrews, LLC	\$ 7,500.00
Lake Erie Shores & Islands	\$ 4,000.00
Magroup, LLC	\$ 6,454.00
Omeca, Inc.	\$ 9,500.00
Lake Erie Shores & Islands	\$ 10,000.00
LUCO-Wes Properties	\$ 4,000.00
Toft Funeral Home	\$ 7,500.00
Alittle.Life, LLC	\$ 6,242.39
MAGroup, LLC	\$ 15,000.00
TOTAL	\$ 385,982.89

Carryover (Rounded):	
Committed - Not Yet Spent	385,982.89
2019 Carryover	4,175.00
TOTAL	390,157.89

JANUARY 14, 2020

Economic Development Incentive Committee Summary

LAKE ERIE ISLAND CRUISES, LLC (or its affiliates and assigns)

APPLICANT: Mr. Joe Lamb
109 W. Shoreline Drive
Sandusky, Ohio 44870

CORPORATE STRUCTURE: Limited Liability Company

PRINCIPAL/% OWNERSHIP: Mr. Joe Lamb – 100%

PROGRAM APPLIED FOR: Small Business Assistance

RECOMMENDATION: \$15,000.00 Small Business Assistance grant to be approved by City Commission upon requisite approval by EDIC; contingent upon obtaining title/lien reports, obtaining all relevant permits (if necessary), submitting before and after photographs (if necessary), and displaying a sign evidencing City of Sandusky support for one year after project completion. This project will be complete by October 31, 2020.

BACKGROUND & PROJECT DESCRIPTION

Lake Erie Island Cruises, LLC (the “Company”) was formed in 2007 with the Secretary of State of Ohio and has long operated boat tours of the Lake Erie Islands and Sandusky Bay. The Company will be operating at the Jackson Street Pier location (upon the project completion) and will be serving the public from the newly developed ticket house and pier location along Shoreline Drive. This Jackson Street Pier development and Ticket House construction will result in increased traffic and allow the Company to offer food, beverage, and alcohol options to those patrons waiting for their cruise and/or others enjoying the new lakefront pier and park. The cost of the Ticket House (not including sewer, water, and other utilities) is approximately \$200,000, which is based upon the initial “Base Bid” of approximately \$159,000 and a subsequent \$40,652 additional design and construction increase based upon discussion between the Company and the City (and its engineering and design team). The Company hopes to achieve an additional revenue stream with this food and beverage component to its operations and will add to a more expansive customer experience for travelers and lakefront visitors alike. The Company plans on utilizing this small business assistance grant money to defray costs associated with the design and build-out of the physical space, including equipment installation and operation.

PROJECT FINANCING

The project sources and uses are as follows for the small business assistance:

Uses

Base Bid Construction of Ticket House & Foundation	\$158,994.00
Additional Design and Construction Costs ¹	\$40,652.00

Total	\$199,646.00
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Sources

Owner Equity (City)	\$169,646.00 (85.0%)
Small Business Assistance Grant	\$15,000.00 (7.5%)
Lease Payments (over 5 years)	\$15,000.00 (7.5%)

Total	\$199,646.00 (100%)
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The recommended total grant amount of \$15,000.00 in small business assistance, which is the maximum amount of grant dollars permitted under this program, equates to 7.5% of the total eligible project cost. This percentage is a very small number compared to past projects on a comparison basis. The staff recommendation is based off recent awards to very similar projects – with regards to total project costs, employment, payroll and revenue projections and location.

FINANCIAL SUMMARY – BUSINESS

Annual Sales Revenue (YR1 = \$370,000, YR2 = \$400,000, YR3 = \$400,000). Payroll (YR1 = \$75,000, YR2 = \$80,000, YR3 = \$85,000). The current Company employment levels are expected to be maintained at consistent levels with the opportunity to expand based upon increase in traffic and revenues.

RECOMMENDATION

¹ Additional Design and Construction work includes, but is not limited to: (i) new bollards and chains required by the USCG to secure the area adjacent to the vessel; (ii) interior door to separate concession from ticketing areas; (iii) restrooms for employees only; (iv) additional six feet in length to permit concessions, sink, plumbing, foundations; (v) security closet.

Staff is recommending a \$15,000.00 Small Business Assistance grant to support this Project – in line to what has been recently awarded to very similar projects in terms of economic output, square footage redeveloped and location. This grant will also aid in tenancing the new Jackson Street Pier Ticket House and offer visitors to the Company, Pier, and lakefront as a whole, another food and beverage option at the most convenient of locations to the vessel's location.



SANDUSKY CITY ECONOMIC
DEVELOPMENT APPLICATION –
SMALL BUSINESS ASSISTANCE

CITY OF SANDUSKY

PROGRAM YEAR 2019

INTRODUCTION

The Sandusky City Economic Development (ED) programs intend to spur and support economic development activities within the City of Sandusky (“the City”). Financial assistance is available for new or expanding businesses and/or property owners that will positively affect the economic and employment climates in the City and broader Firelands Region.

The City strongly believes that investments in economic development activities are vital to job creation and attracting and retaining a talented workforce to fill newly created or available positions. Increased economic development will also stimulate investments in underutilized or vacant buildings and sites – which will strengthen the real estate market, increase property values, create a more walkable community and improve overall quality of life.

SANDUSKY CITY ECONOMIC DEVELOPMENT PROGRAMS

The City’s intention is for its programs to be fair, straightforward, and easy to navigate. **A pre-application meeting or conference call is a requirement of ED assistance.** If you have questions prior to the meeting, please do not hesitate to contact the City’s Chief Development Officer, Matt Lasko at (419) 627-5707 or mlasko@ci.sandusky.oh.us. **Please note this application and all related materials are subject to public records requests.**

Section I - GENERAL TERMS:

FUNDING AVAILABILITY: Approximately \$500,000 is available for calendar year 2019 however the City reserves the right to limit the amount of funding set-aside for small business assistance grants.

USE OF FUNDS: ED Funds can be used for the following purposes:

Fixed Assets: examples include new construction or renovation of existing facilities

Non-Fixed Assets: must be depreciable equipment

Pre-Development: examples include architectural drawings, surveys, market studies and environmental due diligence

ELIGIBILITY REQUIREMENTS: The business/property must be located in the City of Sandusky. ED funds are intended, in most instances, to serve as gap financing. In these cases, applicants, prior to application, should attempt to secure private financing, such as traditional bank financing, to finance the project. A Project is eligible to receive ED funds once every five (5) years; however, distinct phases of the same project are eligible. There will be a limited amount of ED funds available for non-profit organizations. All successful applicants/borrowers must provide proof of the ability to secure ownership

of the real estate or (preferably) a two (2) year lease agreement in which the project is located. **All projects must meet applicable zoning requirements. All projects that need approvals from other departments, such as Planning, must obtain these approvals prior to application review.**

APPROVAL PROCESS: Completed applications will be accepted at any time. The Department of Community Development reviews applications and provides recommendations for approval or denial of grants or loans monthly to the Economic Development Incentive Committee (EDIC) in the month after receiving a completed application. Applications for assistance greater than \$10,000 that are approved by the EDIC will require final approval by the Sandusky City Commission. In this case, we require the applicants to attend the City Commission meeting at which the project is reviewed.

AVAILABLE FINANCING: In most instances, ED assistance is intended to be a secondary financing source and is not intended to cover 100% of a potential project's cost. In these instances, **all other sources of funding must be documented and in place before any ED funds are disbursed.** Grant proceeds are provided directly to third party contractors or on a **reimbursable** basis to the applicant at the completion of the project. The City will consider adjustments to the awarded grant amount for substantive changes in the project scope only, but this is not guaranteed.

REQUIRED EQUITY: A minimum of 5% owner equity is preferred and will be required in most instances, even when other third-party sources have been secured. The Department of Community Development or the EDIC may, at its discretion, require a higher equity percentage.

GRANT OR LOAN FEES: **Upon recommendation of approval by the EDIC and prior to loan or grant disbursement, the applicant must remit a \$150 fee that will cover the cost of lien and credit bureau reports.**

Applicants may be subject to personal background checks and credit reviews and must sign any waivers to allow the City of Sandusky to share information with relevant lending institutions and obtain credit reports. Requests for funding will be denied if applicants have outstanding collections, judgment liens, other court judgments, delinquent taxes or other tax liens. Any previous bankruptcy must be fully discharged prior to submitting an application.

No person shall, on the grounds of race, color, national origin, or sex, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity funded in whole or in part with ED funds.

Section II – PROJECT EXCLUSIONS

Individual program categories may have specific and more restrictive eligibility requirements than those listed in this section. The project exclusions outlined in this section generally apply to all applications and projects regardless of the type of financial assistance being requested.

PROJECT EXCLUSIONS: Projects will not be considered for financing assistance if they involve:

1. Financing of businesses that have not identified 100% of the remaining required financing to complete the project outlined in the application. Small businesses and/or startups may be exempt from this provision.
2. Refinancing of existing debts and training costs.
3. Financing of businesses that operate out of a personal residence.
4. Financing of speculative projects, buildings, or activities such as land banking or acquisition of real estate with no planned capital improvements or job creation.
5. Financing of historically unsuccessful ventures or projects with unresolved environmental problems. However, this exclusion does not apply to projects that will address/resolve environmental issues as part of the project scope of work.
6. Financing for businesses with a history of civil rights violations or unfair labor practices.
7. Financing to businesses which are not current with taxes or other loans.
8. Financing to businesses/applicants who are not in good standing on all outstanding forms of City assistance.
9. Financing to projects which cannot demonstrate an ability to repay the loan (if applicable), are intra-family transactions, or involve illegal activities.
10. Financing to projects in which the applicant has ever or currently owns entirely or in part, real estate that is tax delinquent, has code violations, contains non-registered rental units, or is in foreclosure.
11. Financing of projects in which the applicant has been convicted or has a pending conviction of a felony within seven (7) years from the date of application submittal.

Small Business Assistance

The intent of this program is to aid new or existing small business with access to capital that otherwise may not be available from traditional avenues. These resources aim to assist with start-up and due diligence costs and intend to help stabilize cash flow during the infancy stages of new businesses or expansion periods of existing businesses. **The City and / or the EDIC reserve the right to require job creation with Small Business Assistance grants.**

ELIGIBLE USES:

- Physical construction costs (both new construction/expansion or rehabilitation)
- Signage and façade enhancements
- Predevelopment expenses, including, but not limited to:
 - Architectural drawings
 - Surveys
 - Market studies
- Purchase of depreciable capital equipment

REQUIREMENTS:

- City assistance cannot be in excess of \$15,000 per project or 60% of total project costs – whichever is less.
- For small projects, City assistance may cover the entire project cost (up to \$2,500).
- City assistance is intended for brand new businesses or existing businesses seeking expansion opportunities.
- Applicants may be required to seek approval of enhancements and signage (if applicable) by other administrative bodies, including but not limited to, the Landmarks Commission or the Planning Commission.
- Contractors and journeymen utilized must be registered with the City of Sandusky and permits may be required, where applicable.
- The City reserves the right to require applicants to utilize entrepreneurial support services such as RISE

PREFERENCES:

- Projects that involve the redevelopment of vacant, foreclosed or underutilized sites and buildings, especially projects that focus on creating ready-to-lease commercial space.
- Minority or female owned business enterprises.
- Projects which offer proportionately high employment opportunities to persons of low- and moderate-income households.
- Projects involving the beautification and enhancement of properties listed on the National Register of Historic Places or contributing members within Nationally Registered Historic Districts.
- Businesses and/or projects that promote goals and objectives of the City of Sandusky Comprehensive Masterplan and Strategic Plan.

TYPE OF FUNDING: All projects funded under the Small Business Assistance program will receive grant proceeds.

TERM OF GRANT: Provided directly to third party contractors or on a reimbursable basis to the applicant at the completion of the project.

AMOUNT OF GRANT: Grant requests or funding recommendations at or below \$7,500 are able to be considered, reviewed and approved administratively without consideration by the EDIC.

APPLICATION TO FOLLOW ON THE NEXT PAGE

Applicant / Borrower Company:

Joe Lamb

(Applicant Name)

Owner

(Title)

Lake Erie Island Cruises LLC

(Company Name – if different than Applicant Name)

(Street Address)

109 W. Shoreline Dr

(Suite, Apt, etc.)

Sandusky OH 44870

(City, State, Zip)

419 357 4753

(Phone Number)

20 8199950

(Federal Tax ID or last 4 of SSN)

joe@goodfuntimeart.com

(Email)

N/A

(Fax Number)

Existing Business Information:

Type of Business: ☒ Commercial ☐ Retail ☐ Service
☐ Other _____
 Legal Structure: Jackson St Pier
 Primary Product or Service: Tours of Sandusky Bay & Lake Erie
 Date Established: 1985 NAICS-SIC Code: _____
 Website (if applicable): goodtimeboat.com

Principal Officers / Owners:

Name / Title: Joe Lamb owner
 Email: joe@goodtimeboat.com Phone: 419-357-4753
 SSN (last 4): 3602 % Ownership: 100

Name / Title: _____
 Email: _____ Phone: _____
 SSN (last 4): _____ % Ownership: _____

Name / Title: _____
 Email: _____ Phone: _____
 SSN (last 4): _____ % Ownership: _____

Name / Title: _____
 Email: _____ Phone: _____
 SSN (last 4): _____ % Ownership: _____

Location of Proposed Project:

Jackson St Pier

(Address)

Sandusky Oh 44870

(City, State, Zip)

Erie

(County)

If a relocation, indicate from where

Project Type:

☐ Renovation

☒ Expansion

☒ Start-Up/New Construction

Applicant / Business Background Information:

Please provide a brief summary about your background and experience. Please also provide historical information regarding the building or property at which the business will operate, including but not limited to the most recent building use (attach additional page if necessary).

Tours of Lake Erie Islands, private rentals,
Sunset Cruises, etc.

Project Description:

AK

Please provide a brief description of the project to be undertaken for which City assistance is being sought. For existing businesses, please specifically describe the business expansion associated with the project. For new businesses, describe the scope of the project (attach additional page if necessary).

New building for Jackson St. Pier
~~expansion~~ Project, in conjunction with
 governmental entities.

Business/Personal References:

Name / Title: Marty Sennish Chemical Service

Email: _____

Phone: 419 625 6006

Relationship: Business

Name / Title: Deb Bingham Creative Cuisine

Email: _____

Phone: 419 357 8555

Relationship: Business

Name / Title: Jeff Sennish Polon Pure

Email: _____

Phone: 419 656 1819

Relationship: Business

Project Source & Use Of Funds:

Break out total project costs by use of funds and allocate each use cost by source (attach additional page if necessary) (total of B+C+D should = A).

(A) Total Project Cost (itemize below): _____

(B) Owner Equity (dollars and source): \$15,000 - Lease payments

made directly to applicant

(C) Public Private Lending (dollars, source, and terms): \$15,000 - City of Sandusky

(D) Request for City Assistance (dollars and type): \$15,000 Small

Business Assistance Grant

Project Timeline:

Please outline the project timeline. Please include expected completion dates for items including but not limited to obtaining site control, obtaining financing, and construction.

	<u>Start</u>	<u>Complete</u>	<u>N/A</u>
<u>Site Control</u>		N/A	
<u>Financing</u>		2/2020 (upon appropriate/preliminary City approval)	
<u>Construction</u>		4/2020	
<u>Other</u>	Project Done by Donnelly & City of Sandusky		

Project Impact and Employment:

	Current Year	Year One	Year Two	Year Three
Annual Sales Revenue	370,000	400,00	400+	400+
Annual Payroll	75,000	80,000	85,000	85,000
Current Employment (FTE)	1	1	1	1
Average Pay Per Employee	\$10 per hr	\$10 per hr	\$10 per hr	\$10 per hr

Project Concept: Use the space below to address the following:

- How does the proposed project relate to a strategic approach to revitalization of the surrounding area?
- Will the project contribute to a change in the market dynamics, economic status, physical appearance or perception of the area?
- Does the project address specific area needs or missing services?

The proposed ticket house will substantially assist in activating the new Jackson street Pier. This will allow thanks to Gedy able to offer a food and beverage option to those waiting to board the Goodtime I but also just people out enjoying the Pier.

The project greatly helps by generating a new revenue source for the Goodtime I and will also assist in adding the need for a better customer experience when waiting for, and boarding the Goodtime I.

Attachments:

The following should be submitted with your ED Application:

- ☐ Map showing location of Project or business
- ☐ Business plan (if applicable)
- ☐ Three years of historical financial statements (if applicable)
- ☐ Three years of projected financial statements (if applicable)
- ☐ Sources of financing including evidence of private funds and matching funds (if possible)
- ☐ Third party cost estimates, **INCLUDING RENDERINGS** (if applicable)
- ☒ Lease agreement, purchase agreement, or proof of ownership/site control

All Done through City of Sandusky

Attestation of Financial Condition

Do you or your business have any of the following:

	YES	NO
Outstanding collections		X
Judgement liens		X
Other court judgements		X
Delinquent taxes		X
Delinquent loans		X
Other tax liens		X
Previous bankruptcy		X
If yes to bankruptcy, has it been fully discharged?		X
Real estate that is tax delinquent		X
Code violations		X
Non-registered rental units		X
Real estate that is in foreclosure		X

Submission Acknowledgment

The undersigned certifies that he/she is authorized to complete, sign and submit this application on behalf of the applicant/owner. Further, the undersigned certifies that the information contained in this application has been reviewed by him/her and that all information, including exhibits, are, to the best of his/her knowledge, complete and accurate and presents fairly the condition of the applicant and project accurately. Intentionally falsifying information in this document constitutes a criminal offense. The undersigned hereby authorizes the City of Sandusky to investigate the credit worthiness and of the undersigned, and/or applicant. The undersigned understands that information submitted to the City of Sandusky as part of this application is considered a public record. The undersigned also agrees to display signage showing City support on their property for up to one (1) year after project completion.

The undersigned understands that additional information may be required to finalize the approval process, and that, if the project is funded, **Economic Development funds cannot pay for projects completed before grant approval and notice of award.** The undersigned also understands that the submission of the application for financial assistance does not automatically constitute approval.


The undersigned understands that if the business or enterprise receiving grant funding moves or relocates to a different location outside of the municipal boundaries of Sandusky within three (3) years from the effective date of the grant agreement, that the grant funding will be rescinded in its entirety and the undersigned waives any right or claim to the awarded funding. This provision does not include businesses or enterprises that cease operations and close or that open up additional locations outside of the municipal boundaries of Sandusky while maintaining their funded location within the Sandusky city limits.

☒ By checking this box, I acknowledge that I have read, understand, and agree to the policies and procedures outlined in this document. I further agree to be interviewed, photographed and/or have my business photographed for Economic Development marketing purposes. If you have questions, please contact the Department of Community Development.

Company Name: Lake Erie Island Cruises LLC

By: Joe Lamb Owner

(Print or type name and title)


(Signature)

11-23-19
(Date)

Inter-Office Use Only

State the date, time, and City staff member(s) present at the pre-application meeting:

November 20 - 9:00am JD S & ML

Date of Completed Application Submittal: 11/20/19

Staff Reviewer: JD S

Date of Committee Review: January 2020

Approve/Deny: _____

Amount Awarded and terms: _____

CONTACT

Mr. Matt Lasko, Chief Development Officer
Department of Community Development
222 Meigs Street
Sandusky, Ohio 44870

Phone: 419.627.5707

Email: mlasko@ci.sandusky.oh.us

**CITY OF SANDUSKY
BID FORM**

Project Name: **JACKSON STREET PIER REDEVELOPMENT
DESIGN-BUILD PROJECT**

The deadline date for completion of the Project is: **September 15, 2019**

Having read and examined the Contract Documents, including without limitation the Drawings and Specifications, prepared by the City Engineer for the above-referenced Project, and the following Addenda:

Addendum No.	Date of Receipt
Addendum #1	5/4/18
Addendum #2	5/11/18
Addendum #3	5/18/18
Addendum #4	5/30/18
Addendum #5	6/1/18
Addendum #6	6/7/18
Addendum #7	6/13/18
Addendum #8	6/15/18
Accepted Cost Savings	9/14/18

The undersigned Bidder proposes to perform all Work for the applicable Project, in accordance with the Contract Documents, for the following sums:

CONTRACT 1. GENERAL CONTRACT

**CITY OF SANDUSKY
DEPARTMENT OF PUBLIC WORKS
JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT
BID FORM-DATED APRIL 18, 2018
REVISED ADDENDUM 4 - DATED MAY 31, 2018**

LINE NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	TOTAL UNIT COST	TOTAL ITEM COST
1	DEMOLITION OF EXISTING PAVEMENT AND UTILITIES	LS	1		195,567.00
2	ROADWAY AND PAVEMENT (VE1.7a)	LS	1		1,229,324.00 1,219,068.00
3	DRAINAGE	LS	1		164,408.00
4	STORM WATER POLLUTION PREVENTION PLAN	LS	1		62,078.00
5	SANITARY SEWER	LS	1		88,170.00
6	WATER WORKS	LS	1		341,284.00
7	LIGHTING AND ELECTRICAL (VE1.8, VE 1.11, VE1.12)	LS	1		1,694,732.00 1,654,800.00
8	AESTHETICS AND ENHANCEMENTS (VE1.1, VE 1.2, VE1.7a, VE1.15)	LS	1		1,158,912.00 932,710.00
9	TICKET HOUSE AND FOUNDATION	LS	1		158,994.00
10	MAINTENANCE OF PIER ACCESS	LS	1		with GR's
11	PROFESSIONAL LIABILITY INSURANCE	LS	1		Included
12	PREMIUM FOR CONTRACT PERFORMANCE BOND AND PAYMENT BOND (inc. Builder's Risk Insurance)	LS	1		53,243.00 57,716.00
13	CPM PROGRESS SCHEDULE	LS	1		with Staff
14	FIELD OFFICE (inc. VE1.16 savings for reduced phases)	MONTH	12	\$10,603.50 5,576.75	127,242.00 66,921.00
15	FINAL DESIGN AND CONSTRUCTION PLANS (VE1.6)	LS	1		466,480.00 449,440.00
16	RECORD DRAWINGS	LS	1		Included

CONTINGENCY ITEMS:

Actual field conditions encountered during construction may require additions or deletions to the proposed work. The following unit prices shall be used to determine the amount of additional compensation to the DBT and/or credit amount to be reimbursed to the City. No work shall be performed on any Contingency Item without the prior approval of the City. Final payment for Contingency Items shall be based on the quantities installed as determined by the City.

CITY OF SANDUSKY
DEPARTMENT OF PUBLIC WORKS
JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT
BID FORM-DATED APRIL 18, 2018
REVISED ADDENDUM 5 - DATED JUNE 1, 2018
REVISED ADDENDUM 7 – DATED JUNE 13, 2018

LINE NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	TOTAL UNIT COST	TOTAL ITEM COST
17	UNDERCUTTING AND REPLACEMENT OF SUBGRADE (VE1.3) (VE1.3 - cement stabilization in lieu of undercutting & replacement of subgrade)	CU YD	7600	99.33	754,870.00 479,870.00
18	GEOGRID	SQ YD	23000	2.17	49,973.00 9,973.00

DBT CONTINGENCY: 200,902.00

ALLOWANCE FOR CITY ARCHITECTURE AS SUBCONSULTANT (SCOPE OF SERVICES, SECTION 5.2): \$87,500.00

ALLOWANCE FOR WORK INVOLVING PETROLEUM CONTAMINATED MATERIAL (SCOPE OF SERVICES, SECT. 9.2): 25,000.00 ~~\$175,000.00~~

ALLOWANCE FOR SAFETY LADDERS AND SIGNAGE (SCOPE OF SERVICES, SECTION 14.9.B): \$20,000.00

ALLOWANCE FOR RELOCATION AND RENOVATION OF U.S. CUSTOMS (SCOPE OF SERVICES, SECTION 15.3): \$500,000.00

ALLOWANCE FOR RENOVATION OF EXISTING PUBLIC RESTROOMS (SCOPE OF SERVICES, SECTION 15.5): \$75,000.00

ALLOWANCE FOR JACKSON STREET PIER SIGNAGE: \$50,000.00

OWNER'S ALLOWANCE (SCOPE OF SERVICES, SECTION 23.1): \$250,000.00

**UNOFFICIAL TOTAL AMOUNT OF BASE BID (AGGREGATE OF ITEMS 1 THROUGH 18,
PLUS DBT CONTINGENCY AND ALL ALLOWANCES):** \$ 7,903,679.00 \$7,089,403.00

AMOUNT OF BASE BID IN WORDS: Seven Million Nine Hundred Three Thousand Six Hundred Seventy-Nine Dollars

**CITY OF SANDUSKY
DEPARTMENT OF PUBLIC WORKS
JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT
BID FORM-DATED APRIL 18, 2018
REVISED ADDENDUM 4 - DATED MAY 31, 2018**

Alternate Items:

1. The following Alternates may only be awarded if the Base Bid is within the City's budget for the Project. The addition of Add Alternates will be determined by the City after determination of the successful Bidder.
2. Include all costs necessary for the complete items indicated for each Alternate, including (but not limited to) materials, labor, equipment, operations, administration, overhead, profit, and taxes (as applicable).
3. The total cost provided for each Alternate shall also include savings of work that will not be performed with the Base Bid.
4. Refer to Instructions to Bidders Articles 2.8.3 and 3.4.1 for further information regarding Alternates.

ALTERNATE A:	Provide the total cost to construct the Open-air Market Pavilion, including interior and exterior improvements and foundation, as per the Details in the Preliminary Plans.
---------------------	---

Amount for **ALTERNATE A:** \$ 622,146.00

ALTERNATE B:	Provide the total cost to construct the Enclosed Market Pavilion, including interior and exterior improvements and foundations, as per the Details in the Preliminary Plans.
---------------------	--

Amount for **ALTERNATE B:** \$ 832,333.00

ALTERNATE C:	Provide the total cost to replace the roof on the existing US Customs Building to match the roof that will be installed on the Market Pavilion.
---------------------	---

Amount for **ALTERNATE C:** \$ Included in US Customs Building Allowance

ALTERNATE D:	Provide the addition to or deduction from the Total Amount of Base Bid should integrally colored stamped concrete be used in place of the pavers.
---------------------	---

Amount for **ALTERNATE D:** \$ Deduct 55,743.00

**CITY OF SANDUSKY
DEPARTMENT OF PUBLIC WORKS
JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT
BID FORM-DATED APRIL 18, 2018
REVISED ADDENDUM 4 - DATED MAY 31, 2018**

ALTERNATE E:	Provide the deduction from the Total Amount of Base Bid should the DBT be awarded both this Project and the Shoreline Drive Reconstruction Design-Build Project by the City
---------------------	---

Amount for **ALTERNATE E:** \$ See Shoreline Drive Proposal

**CITY OF SANDUSKY
DEPARTMENT OF PUBLIC WORKS
JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT
BID FORM-DATED APRIL 18, 2018
REVISED ADDENDUM 4 - DATED MAY 31, 2018**

Additional enhancements:

Additional enhancements that exceed the requirements may be proposed by the DBT, but are not required. These enhancements are not to be included in the fee proposal. Any additional enhancements will be determined by the City after determination of the successful Bidder, and the amount proposed by the DBT for that enhancement incorporated into the Project Cost.

ENHANCEMENT A:	Provide Description: See Technical Proposal
-----------------------	---

Amount for **ENHANCEMENT A:** \$ See Technical Proposal

ENHANCEMENT B:	Provide Description: See Technical Proposal
-----------------------	---

Amount for **ENHANCEMENT B:** \$ See Technical Proposal

ENHANCEMENT C:	Provide Description: See Technical Proposal
-----------------------	---

Amount for **ENHANCEMENT C:** \$ See Technical Proposal

Provide additional sheets as necessary.

**CITY OF SANDUSKY
DEPARTMENT OF PUBLIC WORKS
JACKSON STREET PIER REDEVELOPMENT DESIGN-BUILD PROJECT
BID FORM-DATED APRIL 18, 2018
REVISED ADDENDUM 4 - DATED MAY 31, 2018**

BIDDER'S NAME	Donley's, Inc.
Authorized Signature:	By: _____
Print Name of Authorized Signature:	_____
Title:	_____
Company Name:	Donley's, Inc.
Mailing Address:	5430 Warner Rd.
	Cleveland, OH 44125

Telephone Number:	216-524-6800
Facsimile Number:	216-642-3216
E-Mail Address:	gconsole@donleyinc.com
Where Incorporated:	Ohio
Federal Identification Number:	34-0187505
DUNS Number:	00-892-7972
Contact Person for Contract processing:	Greg Console

ADDITIONAL SIGNATURE FOR JOINT VENTURE

Authorized Signature:	By: _____
Print Name of Authorized Signature:	_____
Title:	_____
Company Name:	_____
Mailing Address:	_____

Telephone Number:	_____
Facsimile Number:	_____
E-Mail Address:	_____
Where Incorporated:	_____
Federal Identification Number:	_____
Contact Person for Contract processing:	_____



City of Sandusky - Jackson Street Pier
Donley's Job 1114

Contingency/Allowance Item:	OA1
Donley's PCO:	13
Date Submitted:	7/16/2019
Date Required:	7/23/2019

CONTINGENCY/ALLOWANCE REQUEST DESCRIPTION

Description: Revisions to the original tickethouse floorplan, including addition of restroom, interior closet, partition and door, and lengthening structure/area to provide larger concessions area. Additionally, bollards and chains for "secure" area and ticketing que have been added as requested by the Goodtime. See attached plans showing proposed work previously reviewed and approved by COS and Goodtime.

Reference:

CONTINGENCY/ALLOWANCE COST & SCHEDULE SUMMARY

Item	Amount	Notes/Clarifications
Site Security Bollards & Chains	\$ 11,870.00	see attached
Ticket House Plan Changes	\$ 20,800.00	see attached detail of TH revisions
	\$ -	
	\$ -	
Subtotal	\$ 32,670.00	
Design Fees	\$ 7,400.00	City Architecture
D/B Staff & Reimbursables	\$ 582.00	Added Meetings & PM Time - 6 hours
Subtotal	\$ 40,652.00	
D/B Fee	\$ -	
CAT Tax	\$ -	
GRAND TOTAL	\$ 40,652.00	
CONT/ALLOWANCE OFFSET	\$ (-40,652.00)	
NET CONTRACT (GMP) CHANGE	\$ -	
Added Schedule Days	0	

CONTINGENCY/ALLOWANCE APPROVAL

Reason:	<input checked="" type="checkbox"/> Owner Change	Funding Source:	<input type="checkbox"/> Owner (Change Order, CO)
	<input type="checkbox"/> Design Change		<input checked="" type="checkbox"/> Owners Allowance (OA)
	<input type="checkbox"/> Field Condition		<input type="checkbox"/> Signage Allowance (SA)
	<input type="checkbox"/> Other:		<input type="checkbox"/> Restroom Renovation Allowance (RRA)
			<input type="checkbox"/> Customs Allowance (CA)
			<input type="checkbox"/> Safety Ladders Allowance (SLA)
Accepted:	<input type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Petroleum/Contaminated Soils Allowance (PA)
Proceed on Time and Material:	<input type="checkbox"/>		<input type="checkbox"/> D/B Construction Contingency (CC)

Authorized Representatives Signature

Signature

Date

Reviewed By Osborn Engineering

Donley's 8/20/19

Approved & Accepted By City of Sandusky

Donley's 8-21-19

Donley's

Dan Gess
Donley's, Inc.

JSP

Donley's Job 1114

PCO 013

7/16/2019

Ticket House - Goodtime Requested Revisions

Site / Security

See attached layout (still pending Goodtime and USCG review/approval).

Add 25 bollards with chains to create secure area along length of vessel.

Bollards - Material (see attached quote)

8,750

Bollards - Labor

3,120

11,870

Ticket House

See attached floorplan layout (including comparison to original floorplan)

Convert Mech Closet to restroom.

Plumbing Fixtures, Exhaust Fan & Bath Accessories

5,225

Additional Electric Circuits

550

Add FRP finish to restroom interior (full height)

2,600

Lengthen Ticket House to provide 6' open area in concessions, add sink

Lengthen Structure - foundations, exterior

7,300

Plumbing Fixture & Accessories

2,250

Add interior wall and door to Ticketing area; add closet

Framing, doors and finishes

2,875

** Assumes no additional HVAC; single PTAC

Subtotal

20,800



SUBMITTAL PACKAGE FOR APPROVAL
1114. - JACKSON ST. PIER REHABILITATION

DATE: 12/02/2019

PACKAGE NUM: 010515-016

PACKAGE REV: 0

SPEC #: 010000

To:	Sue Schmall Osborn Architects & Engineers 1100 Superior Ave., #300 Cleveland, OH 44114	From:	Michael Schiavoni Donley's, Inc. 5430 Warner Road Cleveland, 44125
E-Mail:	sschmall@osborn-eng.com	E-Mail:	

We are transmitting the following Submittal Package Number: "010515-016", Revision: "0" Description: "BU#3B Ticket Booth & Restroom Drwg. Set - COS" for your review, intended to be compliant with contract Specification Number: "010000".

Please review and respond to: Michael Schiavoni, by: 12/16/2019 in accordance with the contract documents.

Submittal Item	Copies	Status	Activity Date	Notes
010515-012 - BU#3B Ticket Booth & Restroom Drwg. Set - COS	1	NEW		

Additional Notes: Please review the attached complete BU#3B Ticket Booth & Restroom Renovations drawing set for final approval. The following approval letters and drawings have been included:

- Drawing Comments Log
- KS Associates Approval Letter
- Drawings:
 - > C01 - C03
 - > A00 - A12
 - > S01 - S07
 - > P01 - P03
 - > M01 - M03
 - > E01 - E06
 - > Restroom Renovations

Sincerely,

Michael Schiavoni

cc: 1114./OHM Advisors/7.3

City of Sandusky Jackson Street Pier Redevelopment

Submittal Cover Sheet

(To be filled out and submitted with each submittal)


Contractor / Subcontractor: Donley's / OHM

Specification Section: 010515 Sub Specification Section: _____ Title: BU#3B Ticket Booth & Restroom Drwg. Set - COS

Date: 12/2/19 Submittal Item # 010515-012 Revision # _____

Manufacturer/Supplier: OHM Item: BU#3B Ticket Booth & Restroom Drwg. Set - COS

Intended Area of Use, Drawing # and Detail Reference: _____

<u>Donley's Stamp</u>	<u>Architect/Engineer Stamp</u>
REVIEWED/ JOB #: 1114	
 Donley's	
SPEC. SECTION: 010515	
DATE: 12/2/19	
BY: Michael J. Schiavoni	



November 22, 2019

Civil Engineers + Surveyors

Aaron Klein, P.E.
Director of Public Works
City of Sandusky
240 Columbus Avenue
Sandusky, OH 44870

260 Burns Road, Suite 100
Elyria, Ohio 44035
P 440 365 4730
F 440 365 4790
ksassociates.com

RE: Jackson Street Pier, Sandusky, OH
IQM Approval Letter for BU3B Ticket House and Restroom Renovations

Dear Mr. Klein:

KS Associates, Inc., acting in its capacity as Independent Quality Manager (IQM) for the Jackson Street Pier Reconstruction project, has reviewed the following design submittal. Comments have been addressed as shown in the attached QA/QC Comment Disposition spreadsheet. The drawing set includes:

Buildable Unit #3B, sheets dated as noted:

- BU3B C01 Title Sheet – 10/15/19
- BU3B C02 General Notes – 10/15/19
- BU3B C03 General Notes – 10/15/19
- BU3B A00 Overall Hardscape Plan – 10/17/19
- BU3B A01 Ticket House – Floor Plan – 10/17/19
- BU3B A02 Ticket House - Elevations – 10/17/19
- BU3B A03 Ticket House – Building Sections – 10/17/19
- BU3B A04 Ticket House – Section Details – 10/17/19
- BU3B A05 Ticket House – Section Details – 10/17/19
- BU3B A06 Ticket House – Interior Details – 10/17/19
- BU3B A07 Ticket House – Interior Elevations – 10/17/19
- BU3B A08 Ticket House – Door Details - 10/17/19
- BU3B A09 Ticket House – Door Details – 10/17/19
- BU3B A10 Ticket House – Specifications – 10/17/19
- BU3B A11 Ticket House – Specifications – 10/17/19
- BU3B A12 Restroom Renovation – 10/17/19
- BU3B S01 Structural Notes – 10/17/19
- BU3B S02 Structural Specifications – 10/17/19
- BU3B S03 Structural Specifications 10/17/19
- BU3B S04 Foundation Plan – 10/17/19
- BU3B S05 Roof Framing Plan – 10/17/19
- BU3B S06 Foundation Details – 10/17/19
- BU3B S07 Framing Details – 10/17/19
- BU3B P01 General Information 11/18/19
- BU3B P02 Specifications – 11/18/19
- BU3B P03 Plumbing Plans – 11/22/19
- BU3B M01 General Information – 11/18/19

Aaron Klein, P.E.
Director of Public Works
November 22, 2019
Page 2 of 2

KS ASSOCIATES

- BU3B M02 Specifications – 11/18/19
- BU3B M03 HVAC Plan – 11/18/19
- BU3B E01 Electrical Specifications – 11/18/19
- BU3B E02 Electrical Specifications – 11/18/19
- BU3B E03 Ticket House Photometric Plan – 11/18/19
- BU3B E04 Proposed Ticket House Electrical Plans – 11/18/19
- BU3B E05 Ticket House Electrical Details – 11/18/19
- BU3B E06 Existing Restroom Electrical Plans – 11/18/19.

The above-listed design drawings are approved for submittal to the City of Sandusky.

Please contact the undersigned with any questions.

Sincerely,

KS ASSOCIATES, INC.



Lynn S. Miggins, P.E.
President

c: Chad Lewis, P.E., OHM Advisors
Scott Bickley, P.E., OHM Advisors
Benny Chew, RA, City Architecture
Dan Gess, Senior Project Manager, Donley's
Josh Zielinski, Project Superintendent, Donley's
Michael Schiavoni, Assistant Superintendent, Donley's
Andrew Lesnick, Donley's

JACKSON STREET PIER BU-3B Drawing Set Publish Dates as Noted							
Item #	Reviewer	Review Comment for BU#3B Ticket Booth and Restroom (drawing date)	OHM Disposition of Review Comment	City Arch. Disposition of Review Comment	Donley's Disposition of Review Comment	Cost Impact	Accept / Reject
1	KS Associates / Karpinski	Sheet E04 (10/25/19): Restroom TH2: All receptacles in restroom are to be GFCI. The outlet at the homerun is not GFCI.	(11/18/19) Concured. Plan updated	Accepted			IQM Accept 11/22/19
2	KS Associates / Karpinski	Sheet E04 (10/25/19): Restroom exhaust fan is circuited as 120 volt but the HVAC schedule has 208 volt. How is this fan to be controlled since it is an independent circuit from the lights?	(11/18/19) See diagram 1 sheet E05. Circuit should be PP1-1,3	Accepted			IQM Accept 11/22/19
3	KS Associates / Karpinski	Sheet E05 (10/25/19): Ticket House is missing the power connection to the water heater to be located in the lower right corner.	(11/18/19) Plan updated	Accepted			IQM Accept 11/22/19
4	KS Associates / Karpinski	Sheet E05 (10/25/19): Panel PP3 for the Ticket Booth is shown as 3 phase. The underground utility BU2 has this feeder as single phase. Verify the incoming power to confirm the single phase is correct. If it is, update the loading (in Amps) to reflect the higher amps.	(11/18/19) Coordinated with Firelands - to provide 3ø panel	The work will revise the breaker and wire size in phase BU2 that was previously approved. This is acceptable.			IQM Accept 11/22/19
5	KS Associates / Karpinski	Sheet E06 (10/25/19): Restroom Lights type L1 Are Flat panel LED but the ceiling is existing. Not sure the ceiling is grid or gyp. Should this be vandal resistant construction?	(11/18/19) L1 can be surface mounted, surface mount kit part number added to fixture schedule. Vandal resistant is not required - owner preference	Accepted			IQM Accept 11/22/19
6	KS Associates / Karpinski	Is a panic/hold-up alarm push button required for the concessions and ticket counters?	(11/18/19) Not required by code	Correct not required by code but a good practice if money is exchanged			IQM Accept 11/22/19
7	KS Associates / Karpinski	Is there a POS Server location required? If so, provide adequate rough-in.	(11/18/19) Yes, plan updated	Accepted			IQM Accept 11/22/19
8	KS Associates / Karpinski	Is video surveillance cameras required for this space?	(11/18/19) Not required by code	Correct not required by code but a good practice if money is exchanged			IQM Accept 11/22/19
9	KS Associates / Karpinski	Sheet P03: Suggest indicating required work for DF-1. Is an existing drinking fountain being removed? If not, stack diagram should be added.	(11/18/19) Existing restroom, don't have piping as built. Existing drinking fountain was removed at some point. (11-22-19) note added.	Suggest adding Note to describe Scope.			IQM Accept 11/22/19
10	KS Associates / Karpinski	Sheet P03: It's important that water and waste piping is located on the room side of the insulation when installed in an outside wall.	(11/18/19) Added note.	Accepted			IQM Accept 11/22/19
11	KS Associates / Karpinski	Sheet P03: WC-1 is not vented properly. OPC 915: It can't be a combination waste and vent because it receives waste from a water closet and discharge from a food waste disposer. OPC 912: It can't be a wet vent because it receives waste from outside the bathroom group.	(11/18/19) Added vent. (11-22-19) We concur. Diagram updated.	Vent added is not a fixture vent. It is connected to the main. Suggest running the sanitary from the water closet towards the south with a fixture vent off the top of the sanitary within the wall. Then connecting the sanitary from the water closet to the sanitary main.			IQM Accept 11/22/19
12	KS Associates / Karpinski	Sheet P03: Is water pressure adequate to serve a flush valve water closet with a 1.6 gallon per flush rating through a 1" domestic water main?	(11/18/19) We assumed yes. We can change to a tank toilet if desired.	It is the Engineer of Record's responsibility to determine if the water pressure is adequate for the system as designed. If pressure is not adequate, suggest changing to a tank type water closet if acceptable by Owner.			IQM Accept 11/22/19
13	KS Associates / Karpinski	Sheet P03: Question the installation and servicing of the Grinder Pump within the pit. Is there adequate space available?	(11/18/19) Yes there should be adequate space.	Accepted			IQM Accept 11/22/19
14	KS Associates / Karpinski	Sheet P03: Is grinder pump discharging into a gravity or forced main? It's important that pump head is sufficient.	(11/18/19) Gravity main.	Accepted			IQM Accept 11/22/19
15	KS Associates / Karpinski	Sheet M02: 2.05 : This spec section lists only ECH-1 but it also applies to ECH-2	(11/18/19) Added ECH-2.	Accepted			IQM Accept 11/22/19
16	KS Associates / Karpinski	Sheet M02: 206.7 - Controlling exhaust fan with light switch is not recommended. Suggest a separate switch with a timer.	(11/18/19) Light sensor includes a time delay for the exhaust fan. Updated specification to include this.	Accepted			IQM Accept 11/22/19
17	KS Associates / Karpinski	Sheet M03: Exhaust Fan Schedule - Since fan is direct drive, how will it be balanced? Suggest fan is furnished with a speed controller or EC Motor.	(11/18/19) Updated to include an internally mounted speed controller.	Accepted			IQM Accept 11/22/19

BUILDABLE UNIT #3B DESCRIPTION

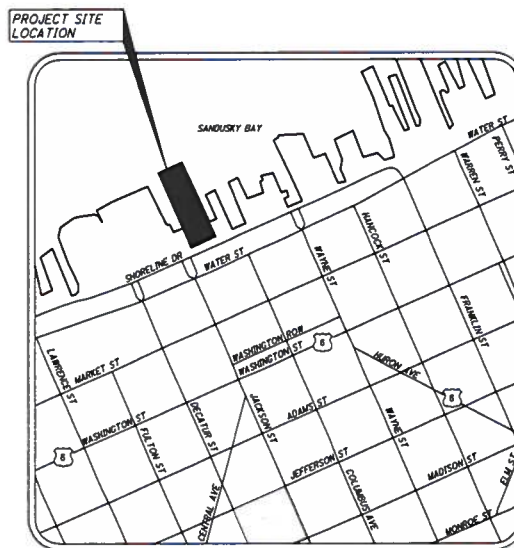
PROPOSED TICKET HOUSE AND EXISTING RESTROOM
RENOVATION AT JACKSON STREET PIER.

BUILDABLE UNIT #3B INDEX OF SHEETS

TITLE SHEET
GENERAL NOTES
OVERALL HARDSCAPE PLAN
TICKET HOUSE - FLOOR PLAN
TICKET HOUSE - ELEVATIONS
TICKET HOUSE - BUILDING SECTIONS
TICKET HOUSE - SECTION DETAILS
TICKET HOUSE - INTERIOR DETAILS
TICKET HOUSE - INTERIOR ELEVATIONS
TICKET HOUSE - DOOR DETAILS
TICKET HOUSE - SPECIFICATIONS
RESTROOM RENOVATION
STRUCTURAL NOTES, LEGEND, AND SPECIFICATIONS
FOUNDATION AND ROOF FRAMING PLANS
FOUNDATION AND FRAMING DETAILS
GENERAL PLUMBING INFORMATION AND SPECIFICATIONS
PLUMBING PLANS
GENERAL MECHANICAL INFORMATION AND SPECIFICATIONS
MECHANICAL HVAC PLAN AND SCHEDULES
ELECTRICAL SPECIFICATIONS
TICKET HOUSE PHOTOMETRIC PLAN
PROPOSED TICKET HOUSE ELECTRICAL PLANS
TICKET HOUSE ELECTRICAL DETAILS
EXISTING RESTROOM ELECTRICAL PLANS

C01
C02-C03
A00
A01
A02
A03
A04-A05
A06
A07
A08-A09
A10-A11
A12
S01-S03
S04-S05
S06-S07
P01-P02
P03
M01-M02
M03
E01-E02
E03
E04
E05
E06

CITY OF SANDUSKY
JACKSON STREET PIER REDEVELOPMENT
BUILDABLE UNIT #3B
233 WEST SHORELINE DRIVE






LOCATION MAP

LATITUDE: N 41°-27'-27" LONGITUDE: W 82°-42'-49"
NOT TO SCALE

PORTION TO BE IMPROVED

INTERSTATE, U.S. AND STATE ROUTES
COUNTY AND OTHER ROADS

[illegible]

MECHANICAL ENGINEER	STRUCTURAL ENGINEER	ELECTRICAL ENGINEER
ENGINEERS SEAL	ENGINEERS SEAL	ENGINEERS SEAL
		
SIGNED: _____ DATE: _____	SIGNED: _____ DATE: _____	SIGNED: _____ DATE: _____

OHIO DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DRAWINGS				SUPPLEMENTAL SPECIFICATIONS		CITY OF SANDUSKY CONSTRUCTION DRAWINGS			
NUMBER	DATE	NUMBER	DATE	NUMBER	DATE	NUMBER	DATE	NUMBER	DATE
LA-1.2	1-16-09			800	10-21-17	J-1	7-1-08	TR-7	8-1-08
MT-110.10	7-19-13			832	1-17-14	J-2	7-1-08	TR-8	6-1-08
						J-3	7-1-08	MH-1	6-1-08
						J-4	7-1-08	CB-3	6-1-08
						J-5	7-1-08	C-1	6-1-08
						J-6	7-1-08	C-3	6-1-08
						SW-1	7-1-08	C-5	6-1-08
						SW-2	9-1-09	FH-1	6-1-08
						TR-2	6-1-08	RB-1	6-1-08
						TR-3	6-1-08	MP-1	6-1-08
						TR-6	6-1-08	MP-2	6-1-08

ERIC WOBSER
CITY MANAGER

DENNIS E. MURRAY JR.

PRESIDENT OF COMMISSION

RICHARD R. BRADY

VICE PRESIDENT OF COMMISSION

NIKKI LLOYD

COMMISSIONER

GREG LOCKHART

COMMISSIONER

C. WESLEY POOLE

COMMISSIONER

NAOMI R. TWINE

COMMISSIONER

DAVE WADDINGTON

COMMISSIONER

ANGELA BYINGTON

ANGELA STINSON
DIRECTOR OF NEIGHBORHOOD DEVELOPMENT AND PLANNING

AARON M. KLEIN, P.E.

DIRECTOR OF PUBLIC WORKS / CITY ENGINEER

2016 SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO
DEPARTMENT OF TRANSPORTATION, INCLUDING CHANGES
AND SUPPLEMENTAL SPECIFICATIONS LISTED IN THE
PROPOSAL SHALL GOVERN THIS IMPROVEMENT.

EARTH DISTURBED AREAS

3.94 ACRES

APPROVED

DATE _____ AARON M. KLEIN, P.E. -
DIRECTOR OF PUBLIC WORKS / CITY ENGINEER

CALL 1-800-925-0988 (TOLL FREE)
OIL AND GAS PRODUCERS
UNDERGROUND PROTECTION SERVICE



PLANS PREPARED BY:
OHM ADVISORS, INC.
6001 EUCLID AVE., SUITE 130
CLEVELAND, OH 44103
216.865.1335

CALCULATED	OHM	CHECKED	CASE
------------	-----	---------	------

JACKSON STREET PIER REDEVELOPMENT - BUILDABLE UNIT #3B
TITLE SHEET

CITY OF SANDUSKY
222 MEIGS STREET
SANDUSKY, OHIO 44870

BU38
C01

GENERAL**SCOPE OF WORK**

THE CONTRACTOR'S RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION PROCEDURES, MATERIALS, INSTALLATION SEQUENCE AND COORDINATION WITH THE OWNER.

THE CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL LICENSES, GOVERNMENT FEES, AND PERMITS THAT MAY BE REQUIRED TO PROPERLY EXECUTE AND COMPLETE THE WORK. COMPLY WITH ALL APPLICABLE CODES, RULES, ORDINANCES AND OTHER LEGAL REQUIREMENTS.

THE CONTRACTOR SHALL IMMEDIATELY LOCATE ALL REFERENCE POINTS, LAYOUT WORK, AND BE RESPONSIBLE FOR ALL MEASUREMENTS AND OTHER WORK TO BE EXECUTED UNDER THE CONTRACT. VERIFY ALL FIGURES SHOWN ON THE PLANS, VERIFY ALL DIMENSIONS OF ANY EXISTING AND NEW WORK, BE RESPONSIBLE FOR THEIR ACCURACY, AND SUBMIT ANY DIFFERENCES FOUND TO THE OWNER BEFORE PROCEEDING WITH THE WORK. NO EXTRA COMPENSATION WILL BE PERMITTED BECAUSE OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND MEASUREMENTS INDICATED ON THE DRAWINGS.

DETAILS AND DIMENSIONS SHOWN ON THIS PLAN PERTAINING TO THE EXISTING UTILITIES HAVE BEEN OBTAINED FROM PLANS OF THE EXISTING FACILITIES AND DO NOT NECESSARILY REPRESENT AS BUILT CONDITIONS. THE CONTRACT BID PRICES SHALL BE BASED ON A RECOGNITION OF THE UNCERTAINTIES DESCRIBED ABOVE AND UPON AN EXAMINATION OF THE WORK SITE BY THE CONTRACTOR. ALL PROJECT WORK SHALL BE BASED UPON THE ACTUAL DETAILS AND DIMENSIONS PRESENTED ON THIS PLAN AND SPECIFICATIONS WHICH HAVE BEEN VERIFIED BY THE CONTRACTOR IN THE FIELD.

2016 SPECIFICATIONS

THE STANDARD SPECIFICATIONS OF THE CITY OF SANDUSKY AND THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION, JANUARY 1, 2016 EDITION SHALL GOVERN THIS PROJECT. THIS SHALL INCLUDE ANY CHANGES OR SUPPLEMENTAL SPECIFICATIONS. SHOULD A CONFLICT ARISE BETWEEN THESE OR OTHER PROJECT SPECIFICATIONS, THE CITY OF SANDUSKY STANDARDS SHALL TAKE PRECEDENCE.

DEFINITIONS AND TERMS

WHEREVER THERE APPEARS IN THE STANDARD SPECIFICATIONS (ODOT ITEMIZED CMS), SUPPLEMENTAL SPECIFICATIONS OF PROPOSAL NOTES, THE TERM "THE STATE", "DIRECTOR OF TRANSPORTATION", "DEPARTMENT", "DISTRICT CONSTRUCTION ENGINEER (DCE)", "ENGINEER", OR ANY OTHER TERM DESIGNATING ANY REPRESENTATIVE OR EMPLOYEE OF THE STATE OR ITS DEPARTMENT OF TRANSPORTATION, SUCH TERM SHALL, FOR THE PURPOSE OF THIS CONTRACT, BE CONSIDERED AND TAKEN AS MEANING AND DESIGNATING THE RESPECTIVE BOARD OFFICER OR EMPLOYEE OF THE CITY OF SANDUSKY WHOSE DUTY OR FUNCTION IT IS TO DEAL WITH THE SUBJECT MATTER IN CONNECTION WITH SUCH TERMS IS USED AND SPECIFICALLY:

THE STATE SHALL MEAN THE CITY OF SANDUSKY.
DEPARTMENT SHALL MEAN THE SANDUSKY PUBLIC WORKS / ENGINEERING.
DIRECTOR SHALL MEAN THE CITY OF SANDUSKY CITY ENGINEER, HIS DEPUTIES OR ANY ENGINEER DESIGNATED AS THE CITY ENGINEER'S REPRESENTATIVE.
DISTRICT CONSTRUCTION SHALL MEAN THE CITY OF SANDUSKY CITY ENGINEER, HIS DEPUTIES OR ANY ENGINEER DESIGNATED AS THE CITY ENGINEER'S REPRESENTATIVE.
LABORATORY SHALL MEAN THE LABORATORY APPROVED BY THE CITY OF SANDUSKY.

BASE MAPPING

BASE MAPPING BY DLZ CORPORATION WAS COMPLETED IN MAY 2017. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ALL EXISTING HORIZONTAL AND VERTICAL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

HORIZONTAL DATUM

SITE CONTROL ESTABLISHED UTILIZING EXISTING MONUMENT BOXES ON JACKSON STREET. SEE SHEET 203.

PLAN DISCREPANCIES

ANY DISCREPANCIES FROM THE PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE CITY AND THE ENGINEER OF RECORD SO THAT THE APPROPRIATE ADJUSTMENTS IN ALIGNMENT AND/OR GRADE MAY BE MADE PRIOR TO THE START OF CONSTRUCTION OR THE CONTINUATION OF THE ABOVE.

FAILURE BY THE CONTRACTOR TO VERIFY AND/OR DETERMINE EXISTING INFORMATION AS INDICATED WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ANY CHANGES NECESSARY TO COMPLETE THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION.

UTILITIES

LISTED BELOW ARE ALL UTILITIES LOCATED WITHIN THE PROJECT CONSTRUCTION LIMITS TOGETHER WITH THEIR RESPECTIVE OWNERS:

SEWER

CITY OF SANDUSKY
ATTN.: LUKE KROMER
240 COLUMBUS AVE.
SANDUSKY, OHIO 44870
PHONE: (419) 627-5965
EMAIL: LKROMER@CI.SANDUSKY.OH.US

WATER

CITY OF SANDUSKY
ATTN.: ADAM KING
240 COLUMBUS AVE.
SANDUSKY, OHIO 44870
PHONE: (419) 627-5819
EMAIL: AKING@CI.SANDUSKY.OH.US

ELECTRIC

OHIO EDISON
ATTN.: JEFF SCHMID
2508 WEST PERKINS AVENUE
SANDUSKY, OHIO 44870
PHONE: (419) 627-6887
EMAIL: JSCHMID@FIRSTENERGYCORP.COM

THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE AS OBTAINED FROM THE OWNERS AS REQUIRED BY SECTION 153.64 O.R.C. THE CITY DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. THE CITY IS NOT LIABLE FOR UTILITIES OR CONNECTIONS NOT SHOWN ON THE PLANS OR ABANDONED UTILITIES OR CONNECTIONS. THE CONTRACTOR SHALL CUT OUT ANY ABANDONED UTILITIES AND ALL COSTS INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE BID ITEM FOR THAT WORK. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE OHIO UTILITIES PROTECTION SERVICE (OUPS), THE OHIO OIL AND GAS PRODUCERS UNDERGROUND PROTECTION SERVICE (OOGUPS), AND ALL NON REGISTERED UTILITY OWNERS AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION IN ALL AREAS.

OUPS 1-800-362-2764 (CONTACT LIMITED BASIS PARTICIPANTS DIRECTLY)
OOGUPS 1-800-925-0988

PLAN INFORMATION RECEIVED FROM UTILITY OWNERS IN RESPONSE TO OUPS DESIGN TICKET NUMBERS B707500358, B709700409 AND B709700416 WAS USED TO SUPPLEMENT FIELD EVIDENCE.

INSPECTION

ALL WORK REQUIRED FOR THIS IMPROVEMENT SHALL BE SUBJECT TO INSPECTION BY THE OWNER, THE CITY OF SANDUSKY ENGINEERING DEPARTMENT, SEWER DEPARTMENT, WATER SERVICES DEPARTMENT, FIRE DEPARTMENT AND THE BUILDING DEPARTMENT OR THEIR DESIGNATED REPRESENTATIVE. THE CONTRACTOR SHALL GIVE A 48 HOUR NOTICE UNLESS OTHERWISE NOTED IN THE SPECIFICATIONS BEFORE STARTING ANY WORK ON THIS PROJECT.

SAFETY

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF THE PUBLIC (INCLUDING EMPLOYEES), WORKERS, GENERAL PUBLIC AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THE CONTRACTOR SHALL PROPERLY SUPPORT AND/OR MAINTAIN ALL EXCAVATIONS PER APPLICABLE SAFETY REQUIREMENTS AND COMPLY WITH ALL O.S.H.A. REGULATIONS. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE PROJECT'S ASSIGNED "COMPETENT PERSON" IN OSHA EXCAVATION STANDARDS.

PUBLIC STREETS SHALL BE KEPT CLEAN AND FREE OF DEBRIS (MUD, STONE, ETC.) AT ALL TIMES.

THE CONTRACTOR SHALL ALERT ALL LOCAL EMERGENCY AGENCIES (FIRE, POLICE, AMBULANCE, ETC.) OF THE NATURE OF THE PROPOSED PROJECT PRIOR TO BEGINNING AND CONSTRUCTION ACTIVITY. ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES IN THE SITE.

TELEPHONE

AT&T
ATTN.: ROBERT FEY
130 NORTH ERIE STREET, ROOM 705
TOLEDO, OHIO 43604
PHONE: (419) 245-5004
EMAIL: RF1281@ATT.COM

TELECOMMUNICATIONS

BUCKEYE CABLE/TELESYSTEM
ATTN.: MIKE SHEAHAN
2700 OREGON ROAD
NORTHWOOD, OHIO 43619
PHONE: (419) 350-9256
EMAIL: MSHEAHAN@TELESYSTEM.US

GAS

COLUMBIA GAS OF OHIO, INC.
ATTN.: JON AMSTUTZ
1800 BROAD AVENUE
FINDLAY, OHIO 45840
PHONE: (419) 615-2930
EMAIL: JAMSTUTZ@NISOURCE.COM

WORK LIMITS

THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE INSTALLATION, AND OPERATION (INCLUDING ERECTION, MAINTENANCE AND REMOVAL) OF ALL WORK ZONE TRAFFIC CONTROL AND WORK ZONE TRAFFIC CONTROL DEVICES REQUIRED BY THESE PLANS, EXCEPT WHERE OTHERWISE NOTED, SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. IT IS ANTICIPATED THAT ALL WORK WILL BE PERFORMED AS SHOWN ON THE PLANS.

COOPERATION BETWEEN CONTRACTORS

IT IS ANTICIPATED THAT OTHER CONTRACTORS MAY BE WORKING ON PROJECTS ADJACENT TO OR WITHIN THE LIMITS OF THIS PROJECT, EITHER FOR THE CITY OR FOR OTHER PUBLIC OR PRIVATE AGENCIES. THE CONTRACTOR SHALL COOPERATE AND COORDINATE HIS OPERATIONS AND THE MAINTENANCE OF TRAFFIC, WITH THE CONTRACTORS OF OTHER PROJECTS THAT MAY BE IN FORCE DURING THE LIFE OF THIS CONTRACT INCLUDING BUT NOT LIMITED TO OHIO EDISON, COLUMBIA GAS OF OHIO, AT&T, BUCKEYE CABLE, CUSTOMS & BORDER CONTROL, GOODTIME II, ECT.

DUST CONTROL

THE CONTRACTOR SHALL FURNISH AND PROVIDE DUST CONTROL PER ODOT 2016 CM&S MANUAL.

CONSTRUCTION OPERATIONS

CONSTRUCTION VEHICLES AND EQUIPMENT WITH LOADS GREATER THAN H-20 HIGHWAY LOADS SHALL NOT CROSS EXISTING UNDERGROUND STRUCTURES WITHOUT BRIDGING. VEHICLES USED TO HAUL DEMOLISHED MATERIALS, UNSUITABLE MATERIAL, EARTH, CONCRETE, ETC. SHALL AVOID CROSSING OVER EXISTING UNDERGROUND STRUCTURES WHENEVER POSSIBLE. WHEN CROSSING CANNOT BE AVOIDED, SUITABLE BRIDGING SHALL BE PROVIDED.

CONFINE OPERATIONS TO AREAS BEING CONSTRUCTED OR REPAIRED. DO NOT UNREASONABLY ENCUMBER THE SITE WITH MATERIALS OR EQUIPMENT. COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE OWNER.

TAKE ALL PRECAUTIONS TO PREVENT INTERFERENCE WITH NORMAL OPERATIONS OF THE OWNER. DO NOT BLOCK NOR INTERFERE WITH REQUIRED LEGAL EXITING.

THE CONTRACTOR SHALL CLOSE UP ALL TRENCHES IMMEDIATELY FOLLOWING INSTALLATION OF STORM SEWERS, SANITARY SEWER, WATER LINES, LATERALS, ETC. TRENCHES TO BE PLATED OVER OR CAUTION TAPED AT NIGHT IF NECESSARY AND MARKED FOR SNOW PLOWS DURING WINTER MONTHS

NO UTILITY TRENCH SHALL BE LEFT OPEN OVERNIGHT. OPEN AREAS ARE TO BE BACKFILLED OR STEEL PLATED. IN CASE OF INCLEMENT WEATHER OR OTHER REASONS, THE TRENCH SHALL BE BACKFILLED OR STEEL PLATED AT THE DIRECTION OF THE OWNER.

ALL OPEN UTILITY TRENCHES ARE TO BE PROTECTED WITH EITHER A CAUTION TAPE/CONE PERIMETER, BACKFILL, OR STEEL PLATE DURING NON WORKING HOURS.

LOCAL LAWS, ORDINANCES, AND REGULATIONS

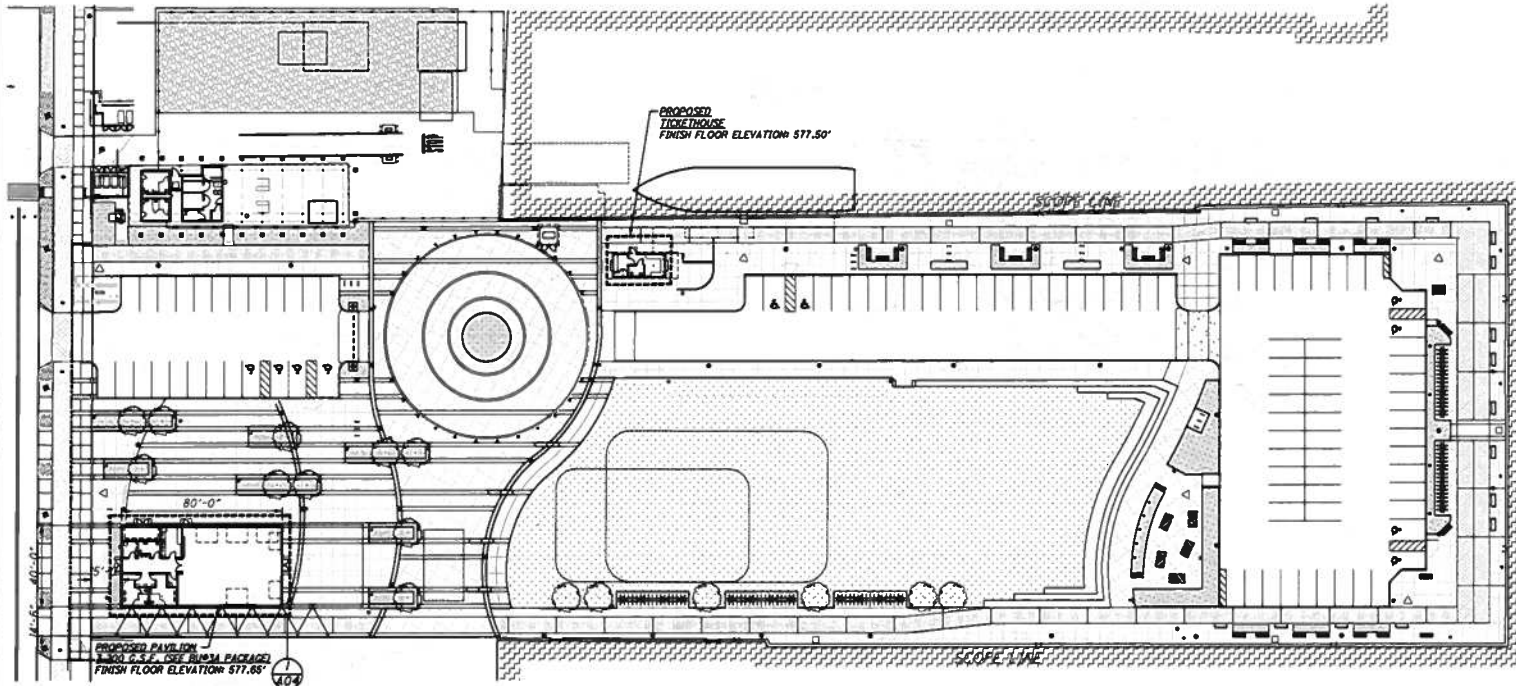
IN ACCORDANCE WITH SECTION 107.01 OF THE GENERAL PROVISIONS, THE CONTRACTOR SHALL STAY FULLY INFORMED OF ALL LOCAL LAWS, ORDINANCES, REGULATIONS, ORDERS, AND DECREES THAT AFFECT THE WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBSERVE AND COMPLY WITH ALL SUCH LAWS, ORDINANCES, REGULATIONS, ORDERS, AND DECREES AT NO ADDITIONAL COST TO THE PROJECT/CITY. CONTRACTOR SHALL FOLLOW THE NOISE CONTROL REGULATIONS SET FORTH IN CHAPTER 519 OF SANDUSKY'S CODIFIED ORDINANCES.

CALCULATED
CHKD
DESIGNED
CML

JACKSON STREET PIER REDEVELOPMENT - BUILDABLE UNIT #3B
GENERAL NOTES

CITY OF SANDUSKY
222 MEIGS STREET
SANDUSKY, OHIO 44870

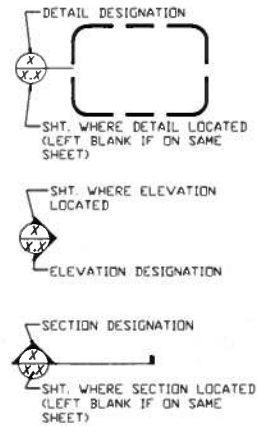
BU3B
CO2



GENERAL NOTES

- A. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AS THEY APPLY TO THE ACCEPTABLE COMPLETION OF THE WORK.
- B. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS.
- C. ALL MATERIAL INSTALLATION PROCEDURES MUST FOLLOW MANUFACTURER'S REQUIRED/RECOMMENDED METHODS FOR INSTALLATION INCLUDING ALL NECESSARY AND/OR RECOMMENDED ACCESSORY ELEMENTS, SUCH AS, BUT NOT LIMITED TO FLASHING, SEALANTS, ANCHORING AND FASTENING DEVICES, ETC. PERSONNEL INSTALLING MATERIALS SHALL BE PROVIDED WITH WRITTEN INSTALLATION PROCEDURES AND/OR SPECIFIC DIRECTION FROM THE MANUFACTURER PRIOR TO INSTALLATION. ITEMS REQUIRED FOR INSTALLATION, NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS, YET NOTED ON THE INSTALLATION INSTRUCTIONS MUST BE ACCOUNTED FOR, PROVIDED, AND INSTALLED BY THE CONTRACTOR. CONTACT ARCHITECT IF THERE ARE ANY GENERAL AND/OR SPECIFIC QUESTIONS REGARDING THESE REQUIREMENTS.
- D. IN PROJECT REQUIRING INVESTIGATION OF EXISTING CONDITIONS AND INFORMATION PROVIDED BY THE OWNER, THERE MAY BE CONDITIONS OR INFORMATION THAT DIFFER FROM AVAILABLE DOCUMENTATION AND OTHER INFORMATION. NOTWITHSTANDING ANYTHING TO THE CONTRARY IN THESE DOCUMENTS, SUCH INVESTIGATION AND VERIFICATION IS NOT INTENDED TO BE AN EXHAUSTIVE CHECK OR DETAILED INSPECTION OF THE EXISTING CONDITIONS, BUT RATHER ARE TO ALLOW THE ARCHITECT, AS AN EXPERIENCED PROFESSIONAL, TO BECOME GENERALLY FAMILIAR WITH THE FACILITIES AND TO BE AWARE OF ANY DISCREPANCIES OR CONDITIONS THAT MAY ARISE. ANY DISCREPANCIES OR CONDITIONS THAT MAY ARISE, EXCEPT TO THE EXTENT SUCH COSTS OR DELAYS ARE THE RESULT OF THE ARCHITECT'S FAILURE TO MEET HIS PROFESSIONAL STANDARD OF CARE.

LEGEND



ACCESSIBLE PARKING NOTES

- 4 SPACES REQUIRED PER OBC
SECTION 1106.1
- 10 SPACES PROPOSED

SYMBOLS LEGEND

- CEILING
- WALLS
- BASE
- FLOORING

GENERAL NOTES

- SUBMIT THREE SAMPLES OF EACH FINISH FOR FINAL APPROVAL.
- FLOORING CONTRACTOR RESPONSIBLE FOR ALL FLOOR PREPARATION PRIOR TO INSTALLATION.

EQUIPMENT NOTES

- FEC - FIRE EXTINGUISHER AND CABINET

FINISH LEGEND

CEILING (SEE RCP FOR PATTERN):

- (ACT-1)** TYPE: ACOUSTIC CEILING TILE 2'X2'
MANUF: USG
STYLE: GRID STYLE DX/DXL
COLOR: 62152 - "ORION 75" WHITE
- (ACT-2)** TYPE: ACOUSTIC CEILING TILE 2'X2'
MANUF: USG
STYLE: GRID STYLE DX/DXL
COLOR: 62152 - "ORION 75" WHITE
- (GCB-1)** TYPE: GYPSUM BOARD CEILING
MANUF: USC, GEORGIA-PACIFIC
NATIONAL GYPSUM, CERTAINTED

WALLS:

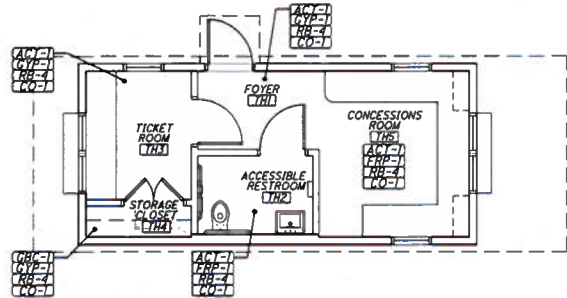
- (GYP-1)** TYPE: GYPSUM WALLBOARD
MANUF: USC, GEORGIA-PACIFIC,
NATIONAL GYPSUM, CERTAINTED
- (FRP-1)** TYPE: FRP PANELS
MANUF: MARLITE
STYLE: ARTIZAN-"STONE GRID"
COLOR: FULL SELECTION - TBD
(WALL FRP TO MEET FLOORING)

BASE:

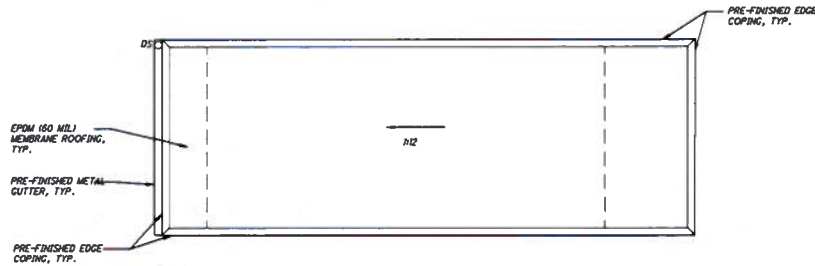
- (RB-1)** TYPE: RUBBER BASE
MANUF: JOHNSONITE
STYLE: RESILIENT COVE
COLOR: FULL STANDARD
RANGE - TBD
HEIGHT: 4" HIGH
- OTHER ACCEPTABLE MANUFACTURERS:
1. ROPPE
2. ALLSTATE

FLOORING:

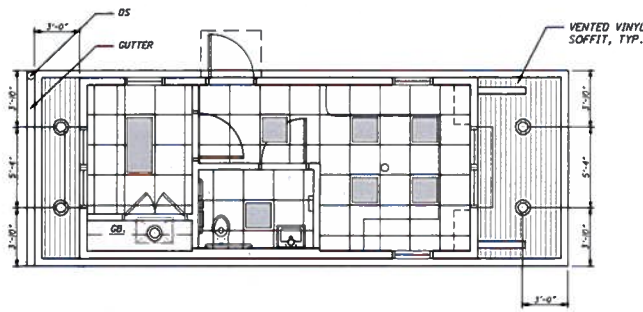
- (CQ-1)** TYPE: CONCRETE W/ SEALER



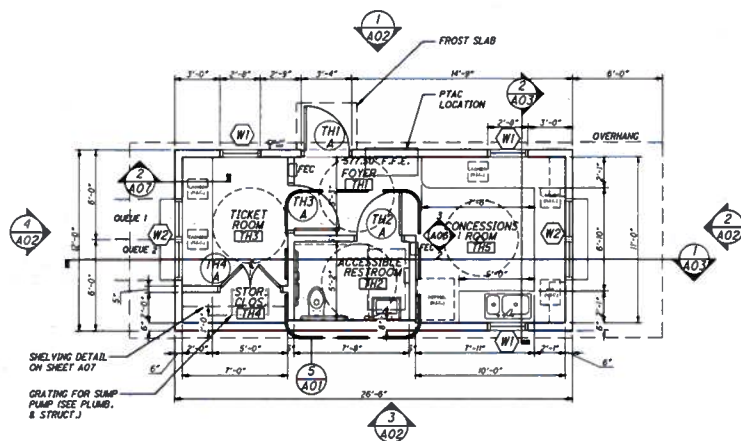
TICKET HOUSE
FINISH PLAN
SCALE 1/4"=1'-0"



TICKET HOUSE
ROOF PLAN
SCALE 1/4"=1'-0"



TICKET HOUSE
REFLECTED CEILING PLAN
SCALE 1/4"=1'-0"



TICKET HOUSE
FLOOR PLAN
SCALE 1/4"=1'-0"

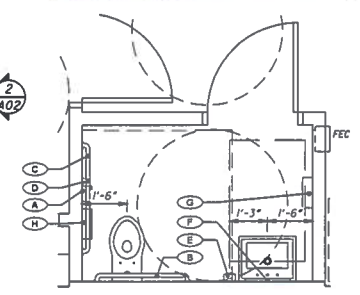
ROOF NOTES

- EPDM MEMBRANE ROOFING
- DS - PRE-FINISHED METAL DOWNSPOUT, TYP.
- REFLECTED CEILING PLAN LEGEND (SEE ALSO ELECT. AND MECH. DWGS)
- 2'X4" RECESSED LED FIXTURE
- 2'X2" RECESSED LED FIXTURE
- RECESSED LED DOWNLIGHT (AL. WET LISTED FOR EXTERIOR)
- WALL MOUNTED FIXTURE (SCORCE/EXTENSION MECH)
- SUPPLY AIR GRILLE (2" X 2" NOMINAL)
- RETURN AIR GRILLE (SEE MECH.)
- EXP. - EXPOSED (PAINTED)
- G.B. - GYPSUM CEILING BOARD (PAINTED)
- ACT - ACOUTICAL CEILING TILE
- REFLECTED CEILING PLAN NOTES: ALL CEILING HEIGHT SHALL BE 8'-0" AFF. U.N.O. ALL DIMENSIONS NOTED ON RCP ARE REFERENCED TO A.F.F., TYP. EX - EXISTING TO REMAIN

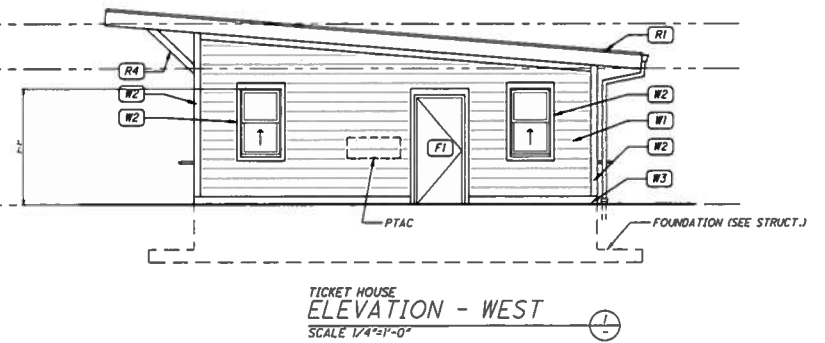
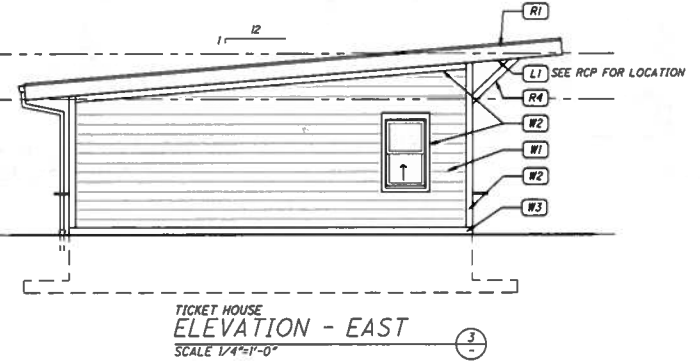
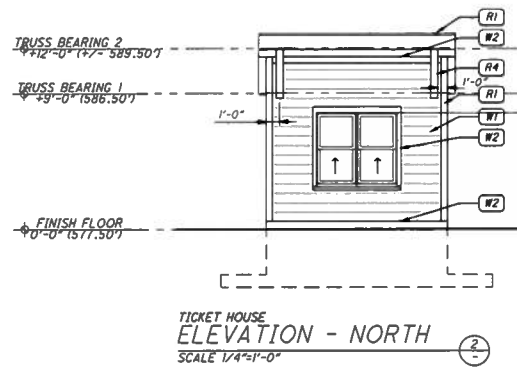
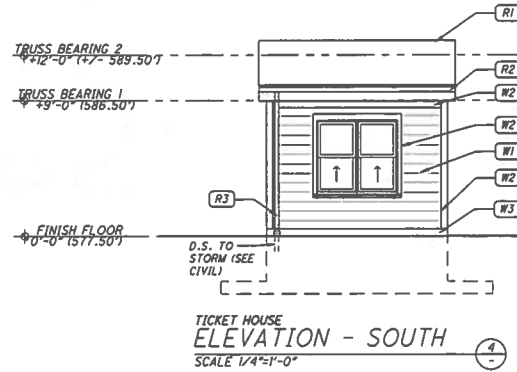
TOILET ROOM ACCESS.

- | TAG | DESCRIPTION |
|-----|-------------------------------|
| A | TOILET TISSUE DISPENSER |
| B | 36" GRAB BAR |
| C | 42" GRAB BAR |
| D | 18" GRAB BAR |
| E | SOAP DISPENSER |
| F | MIRROR |
| G | PAPER TOWEL DISPENSER + WASTE |
| H | SANITARY NAPKIN DISPENSER |

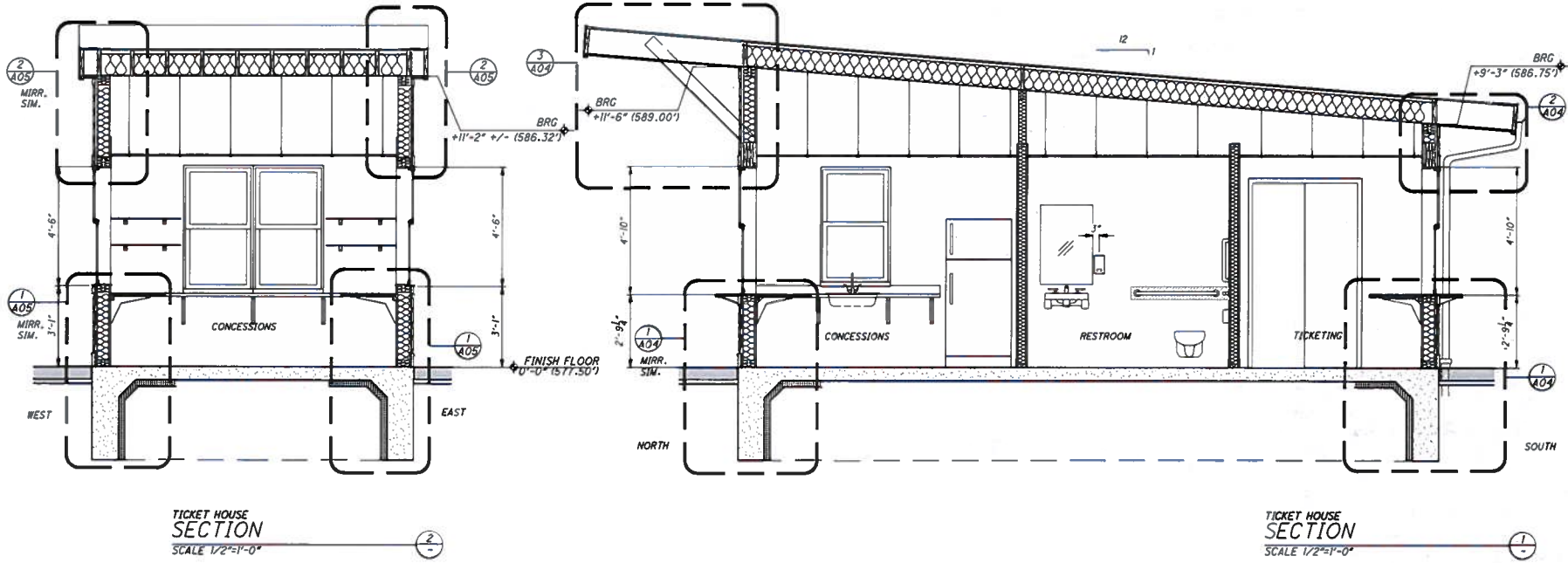
- NOTES:
- REFER TO "INTERIOR ELEVATION MATRIX: PLUMBING ACCESSORIES" ON SHEET A07 FOR TOILET ROOM ACCESSORY PLACEMENT INFORMATION.
 - ITEM NUMBERS BASED ON BOBRICK, CLASSIC SERIES, STAINLESS STEEL FINISH (OR APPROVED EQUAL)
 - WASTE RECEPTACLE BY OWNER.
 - PROVIDE SOLID BLOCKING, AS REQ'D. FOR GRAB BAR INSTALLATION.



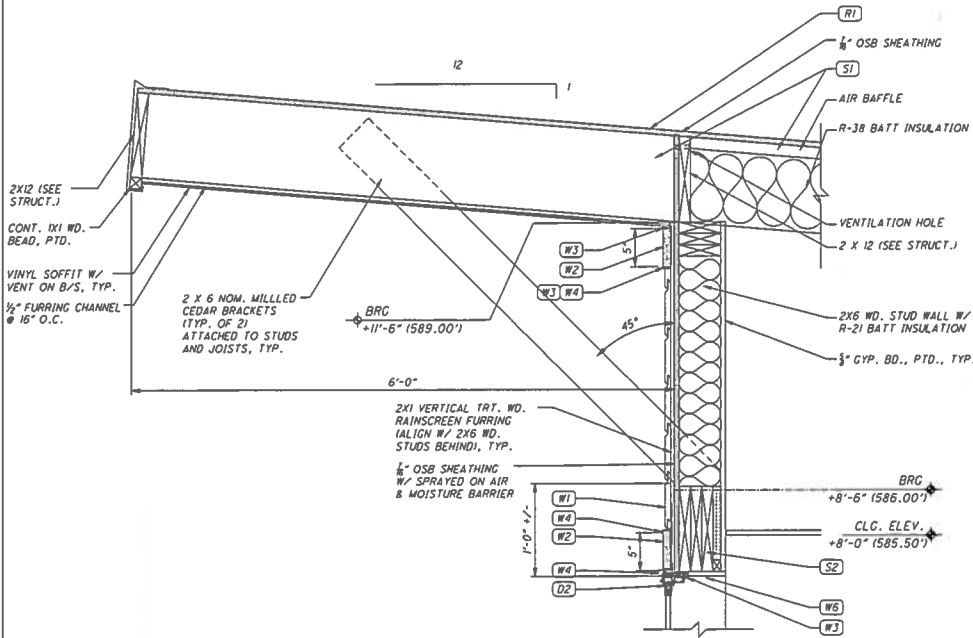
SEE PLUMBING MATRIX FOR ACCESSORY PLACEMENT
TICKET HOUSE RESTROOM
ENLARGED PLAN
SCALE 1/2"=1'-0"



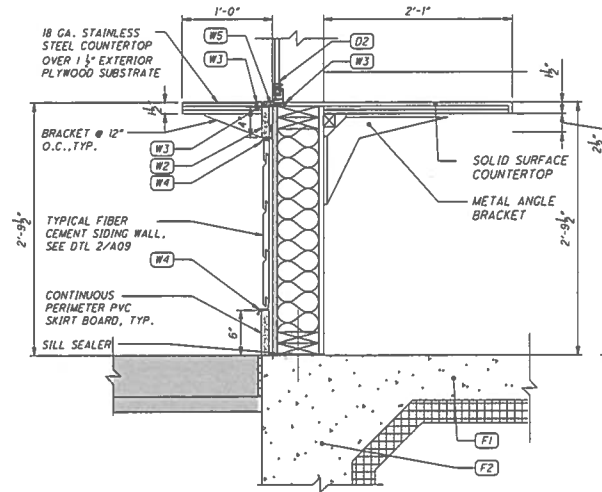
MATERIAL LEGEND (TICKET HOUSE)	
	ALL STRUCTURAL ELEMENTS SHALL BE REFERRED BACK TO STRUCTURAL DRAWINGS FOR DETAILS
F1	3' x 7' INSULATED HOLLOW METAL DOOR
L1	LIGHT FIXTURE - (SEE ELEC.)
R1	EPDM MEMBRANE ROOFING, TYP.
R2	PRE-FINISHED METAL GUTTER, TYP.
R3	PRE-FINISHED METAL DOWNSPOUT, TYP.
R4	CANOPY BRACKET
W1	5" FIBER CEMENT SIDING
W2	PVC TRIM: 5" WIDE AT CORNERS, 3 1/2" WIDE AT ROOFLINE AND DOOR SIDES, 5" WINDOW AND DOOR TOPS, TYP.
W3	6" PVC PERIMETER SKIRT 80.



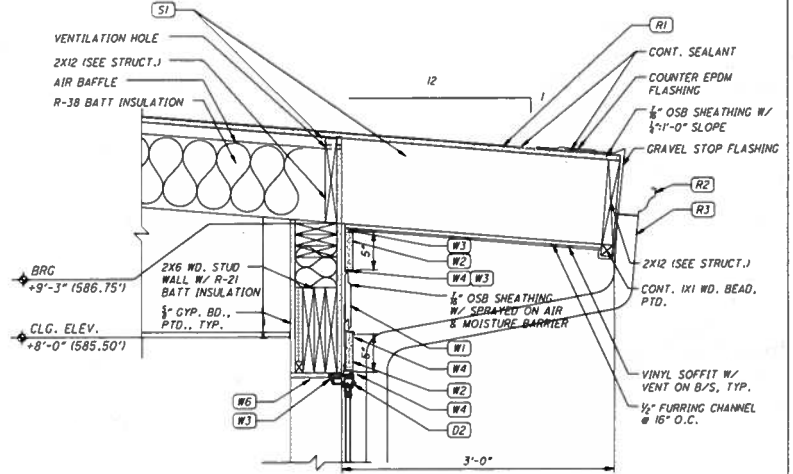
MATERIAL LEGEND (TICKET BLDG-SECTIONS)	
	ALL STRUCTURAL ELEMENTS SHALL BE REFERRED BACK TO STRUCTURAL DRAWINGS FOR DETAILS
D1	DOOR ISEE SCHEDULE AND DOOR DETAILS:
D2	DOOR DOORS TO BE INSULATED
F1	DOOR OR WINDOW FRAME, SEE DOOR AND FRAMING SCHEDULE
F2	FOUNDATION & FOOTING (SEE STRUCT.)
F3	8" THICK CONCRETE FLOOR SLAB ON 2" RIGID INSULATION ON ENGINEERED FILL ON NON-WOVEN GEOTEXTILE FABRIC (SEE STRUCT.)
S1	2X12 WD. RAFTER, TYP. (SEE STRUCT.)
S2	LINTEL FOR DOORS & WINDOWS (SEE STRUCT.)
R1	EPDM (60 MIL.) MEMBRANE ROOFING, TYP. REFER TO ROOF PLAN ON A401 FOR MORE DETAILS.
R2	6" WIDE NOM. PRE-FINISHED 0.040" ALUMINUM GUTTER ATTACHED TO FASCIA BOARD WRAPPED IN BREAK METAL
R3	3"x5" PRE-FINISHED 0.040" ALUMINUM DOWNSPOUT. CONVERT TO CAST-IRON TO TIE TO U.G. STORM LINE
W1	7" FIBER CEMENT SIDING W/ LOCK JOINT (V-GROOVE PROFILE), TYP.
W2	PVC TRIM, SEE DETAILS FOR WIDTHS
W3	CONTINUOUS SEALANT AND BACKER ROD, TYP.
W4	CONT. MTL. FLASHING W/ BUTYL TAPE COUNTERFLASHING, MTL. DRIP EDGE
W5	BLOCKING/SHIM AS REQUIRED
W6	3/4" CYP. BD. RETURN, PTD., SHIM AS NECESSARY, TYP.



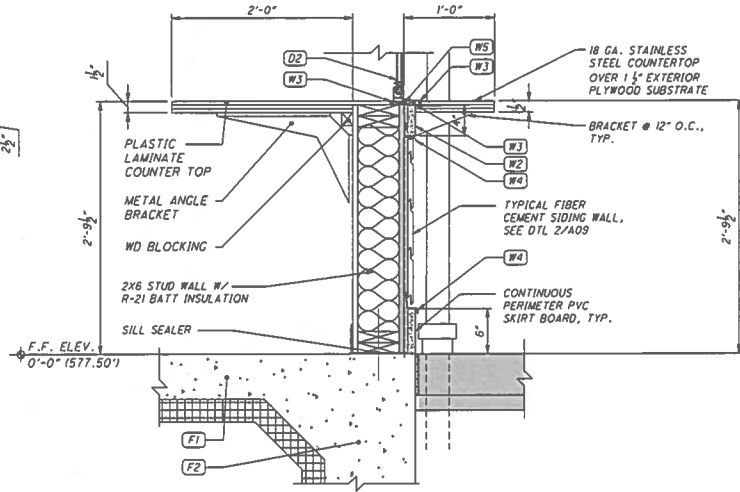
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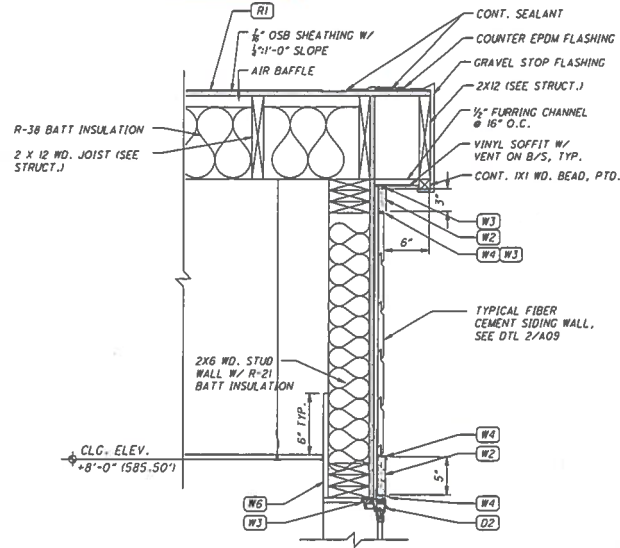
SECTION DETAIL
SCALE 1 1/2"=1'-0"



SECTION DETAIL
SCALE 1 1/2"=1'-0"

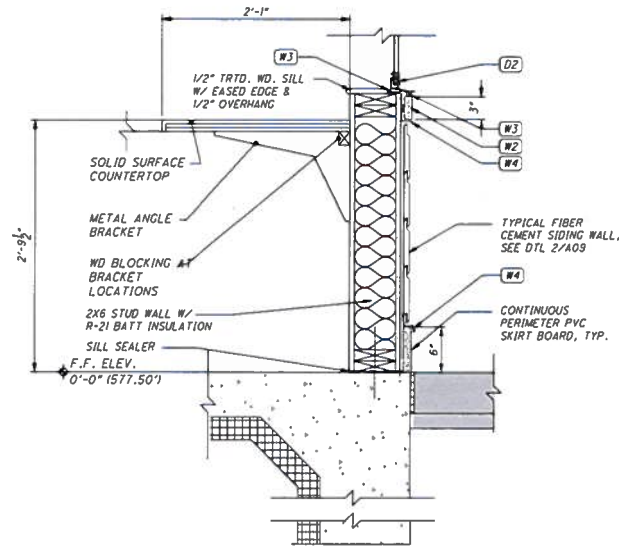


SECTION DETAIL
SCALE 1 1/2"=1'-0"



SECTION DETAIL

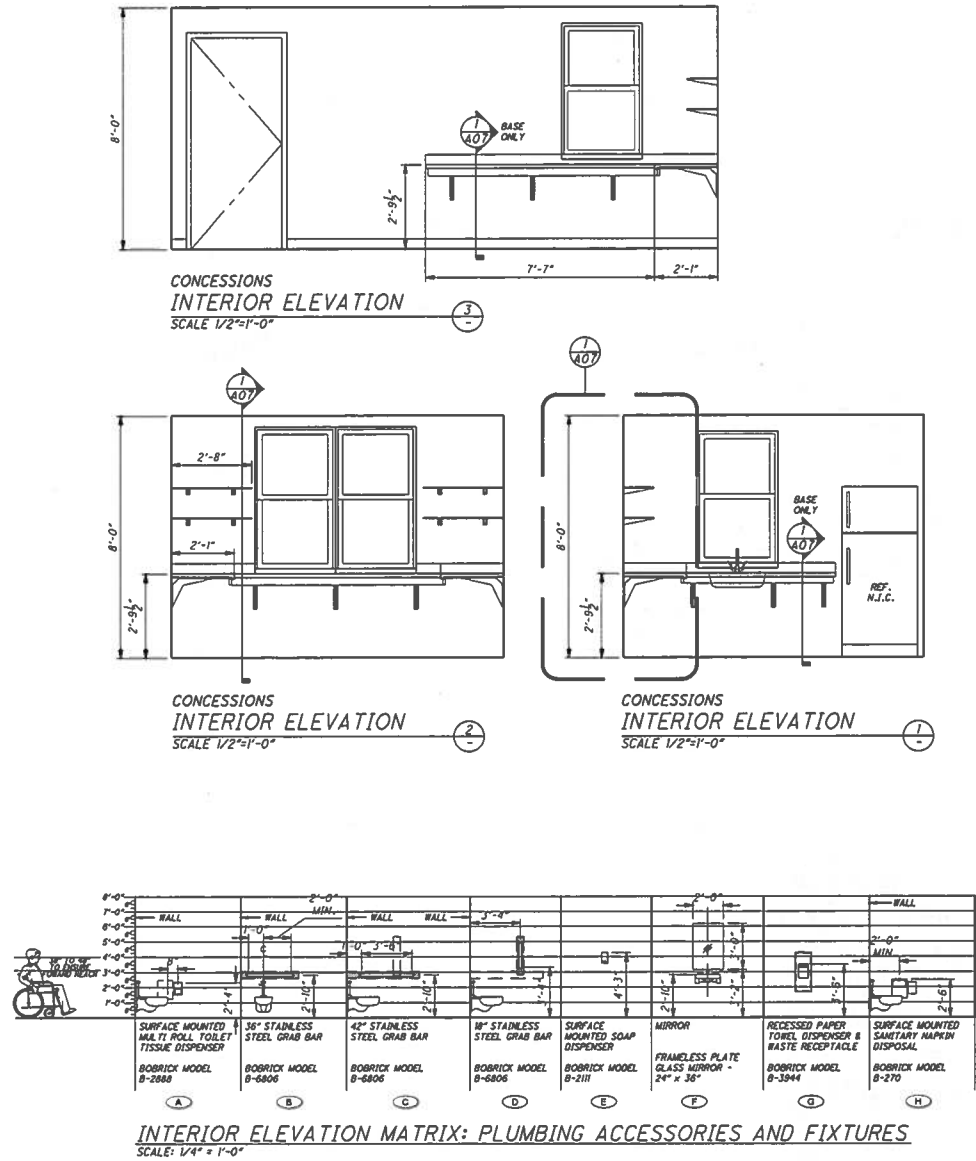
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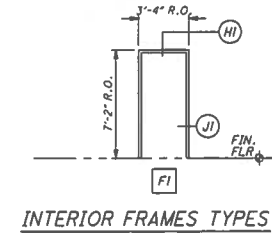
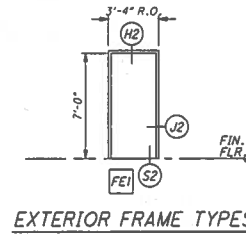
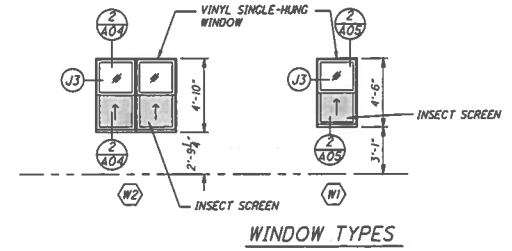
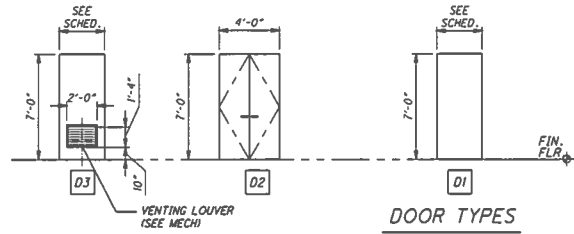


SECTION DETAIL

SCALE 1/4"=1'-0"

MATERIAL LEGEND (TICKET BLDG-SECTIONS)	
	ALL STRUCTURAL ELEMENTS SHALL BE REFERRED BACK TO STRUCTURAL DRAWINGS FOR DETAILS.
(D1)	DOOR (SEE SCHEDULE AND DOOR DETAILS; EXTERIOR DOORS TO BE INSULATED)
(D2)	DOOR OR WINDOW FRAME, SEE DOOR AND FRAMING SCHEDULE
(F1)	FOUNDATION & FOOTING (SEE STRUCT.)
(F2)	8" THICK CONCRETE FLOOR SLAB ON 2" RIGID INSULATION ON ENGINEERED FILL ON NON-WOVEN GEOTEXTILE FABRIC (SEE STRUCT.)
(S1)	2X12 WD. RAFTER, TYP. (SEE STRUCT.)
(S2)	LINTEL FOR DOORS & WINDOWS (SEE STRUCT.)
(R1)	EPDM (60 MIL.) MEMBRANE ROOFING, TYP. REFER TO ROOF PLAN ON A01 FOR MORE DETAILS.
(R2)	6" WIDE NOM. PRE-FINISHED 0.040" ALUMINUM GUTTER ATTACHED TO FASCIA BOARD WRAPPED IN BREAK METAL
(R3)	3"x5" PRE-FINISHED 0.040" ALUMINUM DOWNSPOUT. CONVERT TO CAST-IRON TO TIE TO U.G. STORM LINE
(W1)	7" FIBER CEMENT SIDING W/ LOCK JOINT (V-GROOVE PROFILE), TYP.
(W2)	PVC TRIM, SEE DETAILS FOR WIDTHS
(W3)	CONTINUOUS SEALANT AND BACKER ROD, TYP.
(W4)	CONT. MTL. FLASHING W/ BUTYL TAPE COUNTERFLASHING, MTL. DRIP EDGE
(W5)	BLOCKING/SHIM AS REQUIRED
(W6)	3/4" GYP. BD. RETURN, PTD., SHIM AS NECESSARY, TYP.





DOOR SCHEDULE												
RN	DN	ROOM NAME	SIZE	THICKNESS	FRAME TYPE	FRAME MATERIAL	DOOR TYPE	DOOR MATERIAL	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	RATING
TH1	A	FOYER	3'-0" X 7'-0"	1-3/4"	FE1	HMI	D1	HMI	H2	J2	S2	-
TH2	A	RESTROOM	3'-0" X 7'-0"	1-3/4"	F1	HM	D1	HM	HI	JI	-	-
TH3	A	TICKET ROOM	3'-0" X 7'-0"	1-3/4"	F1	HM	D3	HM	HI	JI	-	-
TH4	A	STORAGE CLOSET	(2) 2'-0" X 7'-0"	1-3/4"	F1	HM	D2	HM	HI	JI	-	-

ABBREVIATIONS

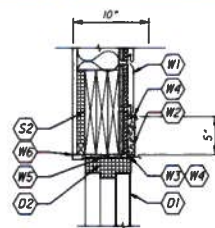
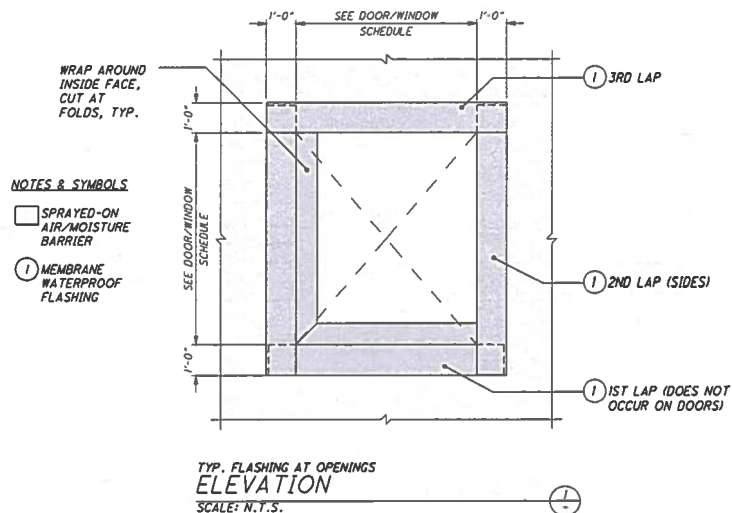
AL = ALUMINUM HMI = HOLLOW METAL
 GL = GLAZING (TEMPERED) INSULATED
 HM = HOLLOW METAL T = TEMPERED

REMARKS (ALL SWING DOORS SHALL HAVE SWING HINGE)

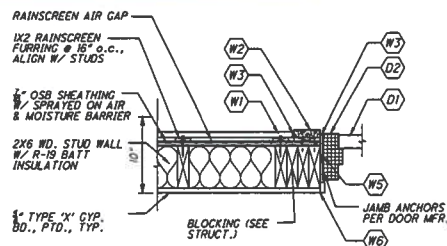
1. STOREROOM LOCK
2. PRIVACY LOCK W/ OCCUPANCY INDICATOR
3. CYLINDRICAL PASSAGE LOCK W/ LEVER
4. DOOR WALL STOP
5. WEATHER STRIPPING
6. INSULATED DOOR
7. KICKPLATE (BOTH SIDES - 8" X 30")
8. PULL HARDWARE
9. ASTRAGAL

MATERIAL LEGEND

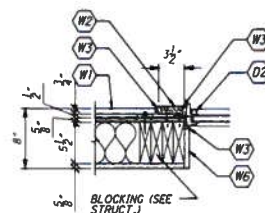
ITEM NO.	DESCRIPTION
D1	DOOR, SEE SCHEDULE. EXTERIOR DOORS TO BE INSULATED
D2	DOOR OR WINDOW FRAME, SEE DOOR AND FRAMING SCHEDULE
S2	LINTEL FOR DOORS & STOREFRONT
	EXTERIOR WALL SYSTEMS (INSIDE-OUT): 5" TYPE "X" GYP. BD. (INT.), 2X6 WD. STUDS @ 16" O.C. W/ #2-21 BATT INSULATION, 1/2" X 5/8" SEALTHANE W/ SPRAYED ON AIR & MOISTURE BARRIER, 42# TRT. WD. RAINSCREEN FURRING, & FIBER CEMENT SHIP LAP SIDING, HORIZONTAL PROFILE, TYP.
W2	PVC TRIM, SEE DETAILS FOR WIDTHS, TYP.
W3	CONTINUOUS SEALANT AND BACKER ROD, BOTH SIDES, TYP.
	CONT. MTL. FLASHING W/ BUTYL TAPE COUNTERFLASHING
W5	BLOCKING/SHIM AS REQUIRED
W6	1/2" GYP. BD. RETURN, PTD., SHIM AS NECESSARY, TYP.



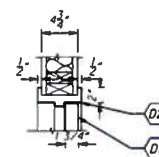
HEADER - EXTERIOR INSULATED HOLLOW METAL FRAME



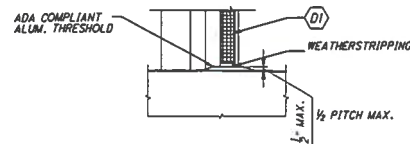
JAMB - EXTERIOR INSULATED HOLLOW METAL FRAME



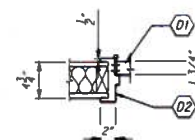
JAMB - EXTERIOR VINYL WINDOW J3



HEADER - INTERIOR HOLLOW METAL FRAME J2



SILL - EXTERIOR INSULATED HOLLOW FRAME



JAMB - INTERIOR HOLLOW METAL FRAME

CITY OF SANDUSKY 222 MEIGS STREET SANDUSKY, OHIO 44870	JACKSON STREET PIER REDEVELOPMENT – BUILDABLE UNIT #3B TICKET HOUSE – SPECIFICATIONS	CALCULATING CP CHECKED BC
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<p>SECTION 10 - SPECIALTIES</p> <p>A. 102000 - CLOSETS</p> <ol style="list-style-type: none"> Clothes closets to have one shelf and rod, linen closets to be provided with five (5) shelves. Closet shelving to be vinyl coated steel ventilated wire shelving with steel brackets and standards. <p>B. 102800 - BATHROOM ACCESSORIES</p> <ol style="list-style-type: none"> Bathroom accessories are referenced to Bobrick Bathroom Accessories as basis-of-design Acceptable manufacturers: <ol style="list-style-type: none"> A. & J. Washroom Accessories, Inc. American Specialties, Inc. Bowley Corporation GAICO Specialty Accessories See sheet BUSAUM16 for the plumbing marks for bathroom accessories. Material: Stainless steel, ASTM A666, type 304 Minors: ASTM C510, mirror glazing quality, clear glass mirrors, nominal 6.0mm thickness <p>C. 104300 - FIRE EXTINGUISHER</p> <ol style="list-style-type: none"> PORTABLE FIRE EXTINGUISHERS <ol style="list-style-type: none"> Chemical Type: UL-rated A-B-C, 10-lb nominal capacity, in enameled-steel container 	<p>1. Length: Fits in manufacturer's standard length.</p> <p>2. Outside and Inside Corners: R5</p> <p>3. Colors: Solid</p> <p>4. Colors and Patterns: As selected by Architect from full range of industry colors.</p> <p>B. 090510 - RESIDENT SHEET FLOORING (RS)</p> <ol style="list-style-type: none"> MANUFACTURER: Basis-of-Design: "Maplewood" Clearwood Flooring, by Gerflor - The Flooring Group. Other manufacturers are acceptable if product meets the following specification requirement described below: <ol style="list-style-type: none"> Certified ISO-9000 Certified to use Class A Clean Rooms Total thickness: 0.06" Roll width/length: 6'-0" x 66'-0" (variation acceptable per manufacturer's size) Fire rating: Class 1 Coefficient of friction (ASTM D2047 and D1029) to meet or exceed Static Load limit: <0.002" under 250 psi, up to 1000 psi. <p>C. 097720 - DECORATIVE FIBERGLASS REINFORCED WALL PANELS</p> <ol style="list-style-type: none"> Reference Manufacturer: Marfilis; 1 Martin Drive, Dover, OH 44622 330-777-1121 FAX (330) 343-6668 Email: info@marfilis.com www.marfilis.com Product: Artizan® FRP with BlueSky® Advanced Finishing PANELS: Fiberglass reinforced thermosetting polyester resin panel sheets complying with ASTM D 5319. <ol style="list-style-type: none"> Finishing: BlueSky™ Advanced Finishing System. High resolution digital imaging with controlled, low-temperature inline curing, water-based UV-cure coatings, free of VOC/UV-cure inks. Dimensions: <ol style="list-style-type: none"> Thickness = 0.090" (2.29mm) nominal Width = 4'-0" (1.22m) nominal Length = 8'-0" (2.44m) nominal Clearance: <ol style="list-style-type: none"> Length and Width: +1/16" (1.57mm) Square = Not to exceed 1/8" for 8 foot (2.4m) panels or 5/32" (3.96mm) for 10 foot (3.05m) panels Properties for Artizan FRP: Resistant to rot, corrosion, denting, peeling, and splintering. <ol style="list-style-type: none"> Impact Strength = 1.7 x 10³ psi per ASTM D 790 Flexural Modulus = 6.0 x 10⁴ psi per ASTM D 790 Tensile Strength = 8.0 x 10⁴ psi per ASTM D 638 Tensile Modulus = 8.43 x 10⁴ psi per ASTM D 638 Water Absorption = 0.17% per ASTM D 570 Barrel Hardness (scratch resistance) 32 J, per ASTM D 2563 Impact Strength = 7.0 ft. lbs. per ASTM D 256 Mod & Midspan = pass per ASTM D 327 Color: To be selected by the manufacturer's full line of Classic Marfilis colors: Color: To be selected by the manufacturer's full line of Classic Marfilis colors: Surface - Marfilis Artizan FRP are available in smooth surface texture. Fire Rating (Specify to choose): Marfilis Artizan FRP Class A (I) Fire Rating Base: <ol style="list-style-type: none"> Marfilis Base Molding for 0.090" (2.29mm) thick FRP Panels Color: Black Profile: <ol style="list-style-type: none"> M 812 FRP Base Molding, 10" length M 851 Inside Corner M 860 Outside Corner M 820 Lin End Cap M 825 90° End Cap Molding: PVC Trim. Thin-wall semi-rigid extruded PVC <ol style="list-style-type: none"> M 350 Inside Corner, [R' length] 10" length M 350 Outside Corner, [R' length] 10" length M 355 Divison, [R' length] 10" length M 370 Edge, [R' length] 10" length M 177 135° Inside Corner [R' length] [White only] M 179 135° Outside Corner [R' length] [White only] Color: [White][Blue][Natural Almond][Grey][Silver][Light Grey][Black] Outside Corner Guard M 961 PVC Outside Corner Guard; Color: Light Grey, 10" length <p>ACCEPTANCES</p> <ol style="list-style-type: none"> Adhesive: Either of the following construction adhesives complying with ASTM C 557 <ol style="list-style-type: none"> Marfilis C-551 FRP Adhesive - Water-resistant, non-flammable adhesive Sealant: Marfilis Brand MS-250 Clear Silicone Sealant. <p>D. 090120 - PAINTING SCHEDULES</p> <ol style="list-style-type: none"> All interior paints and primers to be less than or equal to the following VOC levels: <ol style="list-style-type: none"> Flate: 50 GA. Non-flate: 50 GA. Floor: 100 GA. Painting schedule is based on products manufactured by Sherwin-Williams - Pro Green Series low-voc paint. Comparable products by Zissner, Glidden and Benjamin Moore are also accepted. All color selections to be approved by owner interior designer. Finisher per the following: <ol style="list-style-type: none"> Walls: <ol style="list-style-type: none"> Primer: one coat latex sealer Finish: two coats Pro Green 200 Satin Latex (all one color) Ceilings (except where noted below): <ol style="list-style-type: none"> Primer: one coat latex sealer Finish: two coats Pro Green 200 Flat Latex (all one color) Ceilings at restrooms and kitchenette areas: <ol style="list-style-type: none"> Primer: one coat latex sealer Finish: two coats Pro Green 200 Satin Latex (all one color) Wood trim: <ol style="list-style-type: none"> Primer: one coat latex sealer Finish: two coats Pro Green 200 Gloss Semi-Gloss Latex (all one color) Ceiling finish, except as noted shall be smooth finish in public areas, smooth or knock down finish within apartments and mechanical spaces Wall finish color shall be of contrasting color to adjacent floors Exterior Galvanized-Metal Substrates: <ol style="list-style-type: none"> Epoxy System: <ol style="list-style-type: none"> Primer Coat: Pro-cyl Universal Primer Intermediate Coat: Macropoxy Topcoats: Epoxy, glass: High Solids Poly Urethane Exterior Metal Substrates: <ol style="list-style-type: none"> Epoxy System: <ol style="list-style-type: none"> Primer Coat: Pro-cyl Universal Primer Intermediate Coat: Macropoxy Topcoats: Epoxy, glass: High Solids Poly Urethane 	<p>C. 091110 - DOOR HARDWARE</p> <ol style="list-style-type: none"> Provide door hardware allowance based on components described in the door schedule Hardware finish: satin nickel finish US210 Keying: furnish three (3) keys to owner at acceptance Acceptable manufacturers for each door hardware component: <ol style="list-style-type: none"> Doors and Hinges: Stanley, Hager, Hove Locks and Latch sets: Corbin Russwin Stops: Rockwood, Hager, H.I.B. Hinges Closers: Stanley, LCN Kick, mop, armor plates, push/pull hardware: Rockwood, Hager, Hove Overhead stops: ABH, Ruxton Exit Devices: Precision, Von Duprin Magnetic Locks: Securitron Cylinders: Corbin Russwin Automatic operators: Stanley, LCN All exterior door strike plates shall have a minimum of 1" screw into framing. All hinges shall be fastened in framing. The door, frame, and hardware submitted shall be prepared and sealed by an architectural hardware consultant (AHC) certified by the door and hardware institute. AHC shall affirm that hardware package provides all items necessary for a complete, functional installation in accordance with typical industry standards and functional requirements, including applicable code and accessibility requirements and fire-resistance rating. <p>DIVISION 9 - FINISHES</p> <p>REFER TO FINISH SCHEDULE INCLUDING FLOORING, WALL AND CEILING MATERIAL.</p> <p>A. 090900 - GYPSUM WALLBOARD CONSTRUCTION</p> <ol style="list-style-type: none"> Walls and ceilings shall be 5/8" gypsum board (type "X" or "I" respectively as indicated on the drawings. Walls and ceilings shall be smooth finish. Ceilings to be smooth or knock down finish. metal corner bead shall be provided. All joints, inside corners and at corner bead shall be finished with joint tape and ready mixed vinyl joint compound. All gypsum board to be installed with "crosses and ridges. Windows and doors shall be finished with joints and head. Closets to have rolled drywall texture finish or knock down finish. Install moisture-resistant, non-paper faced backing material at all wet locations: <ol style="list-style-type: none"> Plumbing walls of all bathrooms and kitchens within 48" of any plumbing Walls above tub subrooms Tubi shower units installed against air barrier on studs Metal studs shall be 25 ga. unless noted otherwise for interior steel wall system in the structural drawings. <p>B. 095110 - ACoustICAL PANEL CEILING (ACT1 & 2)</p> <ol style="list-style-type: none"> ACoustICAL PANELS FOR ACoustICAL PANEL CEILING (ACT-1): <ol style="list-style-type: none"> Basic-of-Design Product: Subject to compliance with requirements, provide USG Interiors, Inc. Rafter Acoustical Panel: Class A Item # 2215 or a comparable product by one of the following: <ol style="list-style-type: none"> Armstrong World Industries, Inc. Certaintec Classification: Provide panels complying with ASTM E 1264 for type, form, and pattern as follows: Type and Form: Type III, Form 4, Pattern E Pattern: Lightly textured Color: White LR: 6-80 min. NRC: 0.55 CAC: 35 Edge/Joint Detail: SQ Thickness: 5/8 inch Modular Size: 24" by 24" as indicated on drawings and room finish schedule. Antimicrobial Treatment: Against mildew, yeast, algae, gram-positive/negative odor/causing bacteria/resistant Formaldehyde and VOC Emissions: Low per CHPS spec 01350 testing methods. <ol style="list-style-type: none"> ACoustICAL PANELS FOR ACoustICAL PANEL CEILING (ACT-2): <ol style="list-style-type: none"> Basic-of-Design Product: Subject to compliance with requirements, provide USG Interiors, Inc. Sheetrock Brand Lay-in Gypsum Ceiling Panels Class A Item # 3260 or a comparable product by one of the following: <ol style="list-style-type: none"> Armstrong World Industries, Inc. Certaintec Classification: Provide panels complying with ASTM E 1264 for type, form, and pattern as follows: Type and Form: Type III, Form 4, Pattern E Pattern: Lightly textured Color: White LR: 0-77 NRC: - CAC: 35 Edge/Joint Detail: SQ Thickness: 1/2 inch Modular Size: 24" by 24" as indicated on drawings and room finish schedule. Antimicrobial Treatment: Against mildew
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— DOORS AND LOUVERS
- ETR, CLEAN,
REMOVE LOOSE PAINT,
PRIME, AND RE-PAINT.

— SIDING - CLEAN, —
REMOVE LOOSE
PAINT, PRIME, AND
PAINT.

NORTH ELEVATION
SCALE: N.T.S.



EAST ELEVATION
SCALE: N.T.S.



—SIDING - CLEAN, —
REMOVE LOOSE
PAINT, PRIME, AND
RE-PAINT.

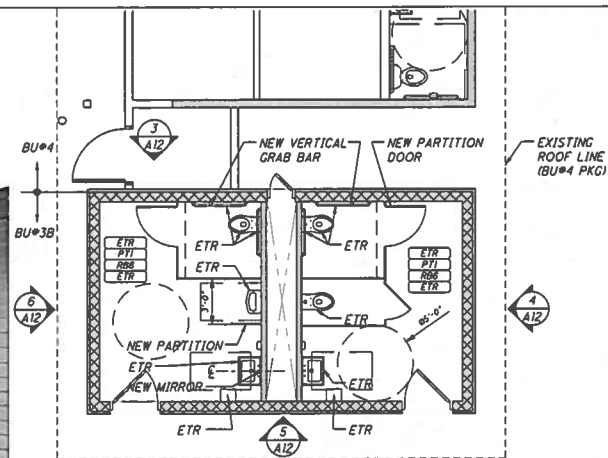
— DOORS - ETR, CLEAN,
REMOVE LOOSE
PAINT, PRIME, AND
RE-PAINT.

— EXPOSED CMU BASE
CLEAN, PRIME, AND
PAINT, TYP. ALL 4
SIDES

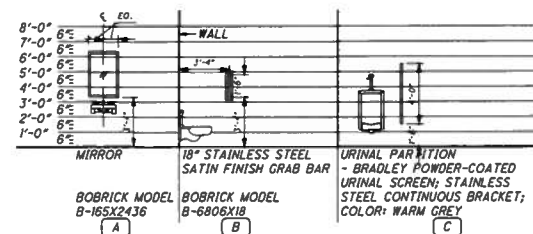
SOUTH ELEVATION
SCALE: N.T.S.



WEST ELEVATION
SCALE: N.T.S.



RESTROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"



PLUMBING MATRIX
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. SUBMIT THREE SAMPLES OF EACH FINISH FOR FINAL APPROVAL.
2. EXTERIOR WORK SHALL EXTEND UP TO TOP OF WALL. ROOF WORK SHALL BE LOCATED ON BUREAU PACKAGE.

SYMBOLS OF FINISH LEGEND

-	CEILING
-	WALLS
-	BASE
-	FLOORING

CEILING:

ETR	EXISTING TO REMAIN
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WALLS:

PT-1	TYPE: GENERAL FIELD PAINT MANUF: SHERWIN-WILLIAMS STYLE: SEMI-GLOSS SHEEN COLOR: T80
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BASE:

NBS	RESILIENT BASE, COVED, 8" HIGH
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FLOORING:

ETR	EXISTING TO REMAIN
-----	--------------------

GENERAL STRUCTURAL NOTES

GENERAL STRUCTURAL NOTES

1. THE GENERAL STRUCTURAL DETAILS ARE INTENDED TO INDICATE THE DRAWINGS AND SPECIFICATIONS, SHOULD COMPLY/CONFORM ACCORD BETWEEN DOCUMENTS, THE STRICTEST PROVISION SHALL GOVERN.
2. THE CONTRACTOR SHALL LIMIT THE AMOUNT OF LOAD IMPOSED UPON THE STRUCTURE TO THE DESIGN INTENDED LOADS. THE CONTRACTOR SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE STRUCTURE. IN THE EVENT OF POTENTIAL CONSTRUCTION OF DESIRED EXCESSIVE BY THE CONTRACTOR.
3. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED SHIP RESPONSIBILITY, STABLE STRUCTURE (UNLESS OTHERWISE INDICATED OTHERWISE). THIS IS THE MEAN OR NET WEIGHT OF THE STRUCTURE. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE DESIGN PROCEDURE, CONSTRUCTION, AND THE WEIGHT OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE STABILITY AND INTEGRITY OF THE STRUCTURE AND ITS COMPONENTS, THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING, BRACING, AND SHORING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EARTH BAKE FORMS, SCAFFOLDING, PLACING, SAFETY NETS, SHORING AND BRACING FOR CORNERS AND GUN POLES, ETC.
4. ALL MATERIALS AND WORKMANSHIP SHALL NOT EXCEED THE MINIMUM REQUIREMENTS OF THE EXISTING BUILDING CODE/US BUILDING CODE, CURRENT EDITION.
5. ALL SHIP DRAWINGS PREPARED BY SUPPLIERS, SUBCONTRACTORS, ETC. SHALL BE REVIEWED BY THE ARCHITECT/ENGINEER FOR CONFORMANCE WITH DESIGN INTENT. ALL SHIP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO THE CONTRACTOR'S AND ENGINEER'S APPROVAL. SHIP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR FIT QUALITY AND CONSTRUCTION QUALITY CONTROL.
6. STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL RELEVANT DIMENSIONS AND ELEVATIONS FOR EQUIPMENT. VERTICALLY LOCATED APPROVED MANUFACTURERS IDENTIFIED EQUIPMENT DRAWINGS AND COORDINATING ANY REQUIREMENTS WITH DRAWINGS AND BIDS.
7. MECHANICAL FRAMING LUGS, OPENINGS SHOWN IN SHIP DRAW FOR BEARING LUGS, CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND OTHER TRADES TO VERIFY EQUIPMENT SIZE AND LOCATIONS, ANY CHANGES IN EQUIPMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.
8. THE CONTRACTOR SHALL INFORM THE ENGINEER OF ANY DEVIATIONS FROM THE CONTRACT. THE CONTRACTOR SHALL INFORM STRUCTURAL MEMBERS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER.
9. DRAWINGS ARE INTENDED TO BE PRINTED PER THE SCALE PROVIDED. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF ADDITIONAL DIMENSIONS ARE REQUIRED.
10. CONTRACTOR SHALL NOT HOT GALVANIZED AND STAINLESS STEEL AT ANY TIME. ANY HOT GALVANIZED CONTACT WITH OTHER METAL PARTS SHALL BE OF A SIMILAR METAL.
11. CONTRACTOR SHALL RECOGNIZE EFFECTS OF NATURAL, MOVABLES AND MOISTURE CONTENT CHANGES OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD AND THE EFFECTS OF THESE EFFECTS DURING CONSTRUCTION AND/OR ERECTION SEQUENCES.

BUILDING LOADS AND CONCRETE NOTES

BUILDING LOADS	BUILDING CLASSIFICATION II
1. DEAD LOADS	
2. LIVE LOADS	
3. WIND LOADS	
4. EARTHQUAKE LOADS	
5. OTHER LOADS	

LIVE LOADS	
LOAD TYPE	
1. UNIFORM FLOOR LIVE LOAD	60 PSF
2. ROOF LOAD - SEE SHOW LOAD	70 PSF
3. INTERIOR WALL	5 PSF
DEAD LOAD	
1. MAX PERIAL DEAD LOAD	30 PSF
2. MECHANICAL DEAD LOAD	10 PSF
SNOW LOADS	
1. BRANDED SNOW	20 PSF
2. CROWNED SNOW (LOAD, P_g)	20 PSF
3. FLAT-ROOF SNOW (LOAD, P_f)	12.4 PSF
4. SNOW EXPOSURE FACTOR, C_e	0.80
5. SNOW LOAD IMPORTANCE FACTOR, I_s	1.0
6. ROOF THERMAL FACTOR, C_t	1.2
7. SLOPED ROOF FACTOR, C_{m1}	1.0 PSF 6/4
8. SLOPED ROOF SNOW LOAD, P_s	70 PSF 6/4
WIND LOADS $V=90$ mph 0.5 IPS $O=0.00$	
LOAD OR VARIABLE	
1. BASIC WIND SPEED 15-SECOND DUTY	15 MPH
2. WIND EXPOSURE CATEGORY	0
3. MAIN WIND FORCE RESISTING SYSTEM	4R PSF
4. MAIN WIND FORCE RESISTING SYSTEM (ALL WALLS)	31 PSF
5. COMPONENTS & CLADDING DESIGN PRESSURE (ZONE 0)	+24, -49 PSF
6. COMPONENTS & CLADDING DESIGN PRESSURE (ZONE 1)	+26, -55 PSF
7. COMPONENTS & CLADDING DESIGN PRESSURE (ZONE 3)	+24, -54 PSF
8. COMPONENTS & CLADDING DESIGN PRESSURE (ZONE 4)	+40, -43 PSF
9. COMPONENTS & CLADDING DESIGN PRESSURE (ZONE 5)	+41, -43 PSF
10. INTERNAL PRESSURE COEFFICIENT, C_{pi} (PARTIALLY ENCLOSED BUILDING)	+0.55
EARTHQUAKE DESIGN DATA	
LOAD VARIABLE	
1. RISK CATEGORY	1
2. SEISMIC IMPORTANCE FACTOR, I_n	1.0
3. HAPPED SPECTRAL RESPONSE ACCELERATION PARAMETER, S_s	0.80
4. HAPPED SPECTRAL RESPONSE ACCELERATION PARAMETER, S_1	0.25
5. SITE CLASS	1
6. SEISMIC DESIGN CATEGORY	1
7. BASIC SEISMIC FORCE RESISTING SYSTEM LIGHT FRAME WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS	
8. SEISMIC RESPONSE COEFFICIENT, C_u (SECTION 2.4.3.1)	0.0300
9. RESPONSE MODIFICATION COEFFICIENT, R (SECTION 2.4.3.2)	6.5
10. ANALYSIS PROCEDURE: CONJOINT LATERAL FORCE PROPORTIONS, SECTION 2.4.3	
MODELLING OUR DESIGN DATA	
LOAD VARIABLE	
1. SPECIAL LOADS	NONE
2. SYSTEMS REQUIRING SPECIAL WIP FOR SEISMIC RESISTANCE	NONE
SEISMIC BEARING STRENGTH DETERMINED USING ANALYTICAL METHODS	
THE FIELD ENGINEER (TECHNICIAN) SHALL OBSERVE THE SURROUND TO SEE THAT CONDITIONS ARE AS ANTICIPATED BY DESIGN ENGINEERS	
NOTES	
1. APPLICABLE CODE IS 2017 OHIO BUILDING CODE	
2. LOADS ARE BASED ON SECTION 6 OF OHIO BUILDING CODE 2017 UNLESS OTHERWISE NOTED.	

CONCRETE

1. PROVIDE MINIMUM 28-DAY CONCRETE COMpressive STRENGTH OF 4,000 PSI \geq 4,000 PSI.
 PROVIDE NORMAL REINFORCED CONCRETE WITH #5 EXTENDED AREA FOR EXTERIOR APPLICATIONS.
 MAXIMUM DBE RATIO IS 6:5, AND MAXIMUM #4 SLAB, MINIMUM SUPER-PLASTICIZERS ARE USED.
 USE OF SUPER-PLASTICIZERS IS SUBJECT TO PRIOR APPROVAL BY THE ENGINEER.
2. PROVIDE READY-MIX CONCRETE CONFORMING TO ASTM C94.
3. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 310, 305R, 306J, AND 308J. LATEST APPLICABLE EDITIONS SHALL APPLY.
4. ALL EXPOSED ROBS SET IN CONCRETE TO RECEIVE STRANDAING STEEL WITHIN TOLERANCES SPECIFIED IN THE LATEST APPLICABLE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES/ TOLERANCES SPECIFIED IN AISC STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS.
5. REINFORCING STEEL CONFORMING TO ASTM A606, GRADE 60 IS REQUIRED. PLATE REINFORCING STEEL IN CONFORMANCE WITH AISC MANUAL OF STANDARD PRACTICE.
6. CONFORM TO ASTM A706/GR706, GRADE 60 FOR REINFORCING STEEL TO BE WELDED.
 PLATE REINFORCING STEEL IN CONFORMANCE WITH AISC MANUAL OF STANDARD PRACTICE, WELD REINFORCED STEEL IN ACCORDANCE WITH AWS D1.1 PERFORM WELDED BY CERTIFIED WELDERS. USE E70XX ELECTRODES.
7. REINFORCING STEEL SHALL HAVE A MINIMUM CONCRETE COVER AS LISTED BELOW UNLESS OTHERWISE NOTED.

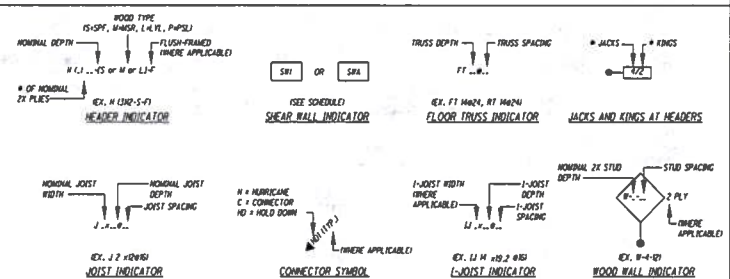
(A) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED EARTH \geq	
(B) CONCRETE CAST AGAINST FORMS BUT EXPOSED TO EARTH OR WEATHER	1 1/2"
(C) 1/2" OR SMALLER	5/8"
(D) GREATER THAN 1/2"	2"
(E) SLAB OR JOINT	FROM 1/2" SLAB
8. POST INSTALLED ANCHORS OR REBAR SHALL BE ANCHORED INTO CONCRETE WITH PEPKOR PEPKOR+ PROTECTON ANCHORS, OR AN APPROVED EQUIV. REFER TO MANUFACTURERS' INSTRUCTIONS FOR DESIGN AND INSTALLATION. SEE DETAILS FOR ANCHORING DETAILMENT.

WOOD FRAMING NOTES

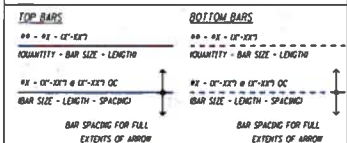
WOOD FRAMING NOTES

- [illegible]

WOOD FRAMING SYSTEM LEGEND



REBAR LEGEND



STRUCTURAL SPECIFICATIONS

- [illegible]

SECTION 05 05 20 - ANCHOR BOLTS AND ANCHORS

- [illegible]

SECTION 06 10 00 - ROUGH CARPENTRY

- [illegible]

2.1 MISCELLANEOUS LUMBER

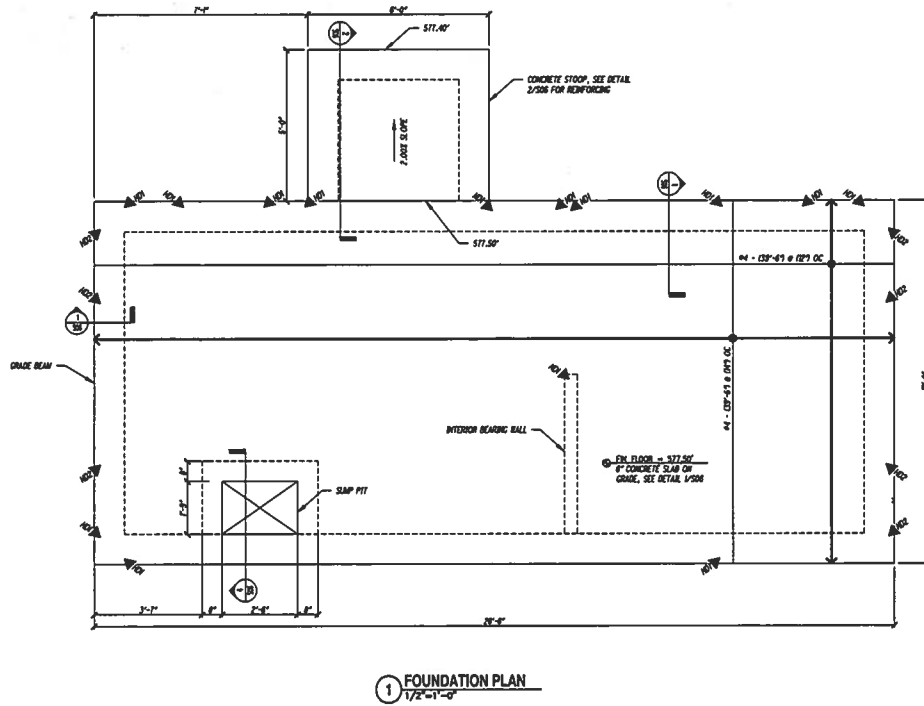
1. Blowing.
2. Spraying.
3. Painting.
4. Coatings.
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6. Other.
7. Other.
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SECTION 06 15 02 - SEATING

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SECTION 31.20.00 - EARTH MOVING/ENGINEERED FILL PLACEMENT AND SURFACE PREPARATION

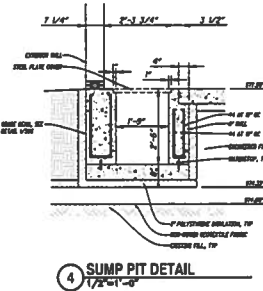
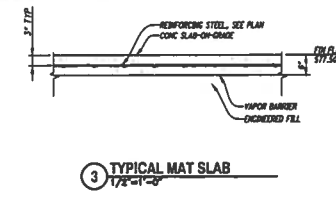
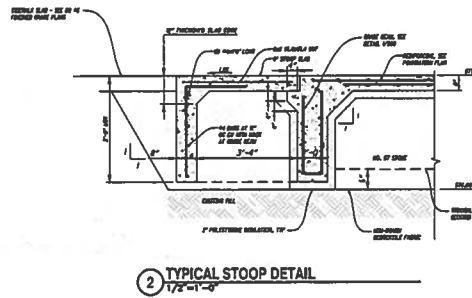
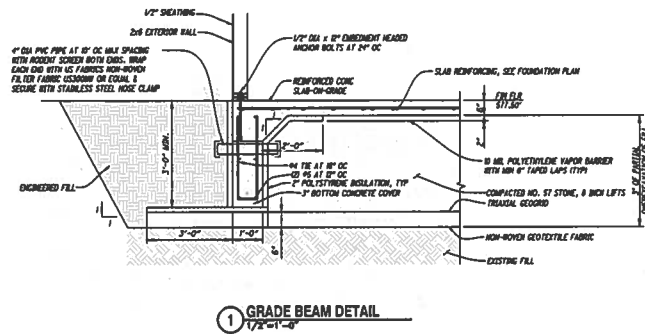
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① FOUNDATION PLAN
1/2"=1'-0"

HOLD DOWN SCHEDULE

TAG	TYPE	CONCRETE ANCHORAGE	WOOD FASTENERS	NOTES
H01	SIMPSON DTT22	1/2" x THREADED ROD x 12" EMBEDMENT AND DOUBLE NUT	(6) 1/4 x 2 1/2" NAILS	
H02	SIMPSON H0U2-S052.5	5/8" x THREADED ROD x 12" EMBEDMENT AND DOUBLE NUT	(6) 1/4 x 2 1/2" SDS	



NO.	NAME	INSTRUCTIONS
1	Visual observation	After excavation of the entire subgrade to approximately 3 feet, careful observation of the subgrade soils by a qualified soils engineer of ground conditions that are out-of-place or other anomalies. This observation may alert us to possible issues that exist below, yet we may not have knowledge of now.
2	Proof roll	Proof roll the entire subgrade using a heavy roller (compactor) operated statically (no vibrations) to check for deflections and ground movement/behavior. Qualified soils engineer needed for the observation. This may be considered a modified proof roll, as most proof rolls are done using a loaded dump truck. With the use of a large, heavy roller, the soils engineer may be able to detect deeper voids or soft ground conditions.
3	T probe	Conduct a number of manual T-probe tests over the subgrade area to get more qualitative evidence that the ground conditions are suitable within a few feet below the bottom of excavation.
4	Dynamic Cone Penetrometer Testing (DCPT)	Conduct a number (TBD) of DCPT to help further quantify the ground conditions (since these tests offer us a penetration test result number/blow count to consider).
5	Ground Penetrating Radar (GPR)	A full GPR (ground penetration radar) sweep over the area, with experienced operator to help identify any voids, former structures, etc. if they exist.
6	Triaxial geogrid	Additional, heavier, geogrid 8" from the base of the excavation and within the engineered fill (No. 57 Stone). This will help to further stiffen the entire mat-engineered fill system, making the mat less prone to internal shears/moments. Note overall, or total, settlement may still be a factor, however.

6 TYP. TOP PLATE SPLICE DETAIL AT SHEAR WALLS
3'-0"

1. ALL PLUMBING EQUIPMENT AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE 2007 STATE OF OHIO PLUMBING CODE.
2. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PLUMBING PERMIT AND INSPECTIONS. A PLAN INSPECTION CERTIFICATE SHALL BE SUBMITTED BEFORE PAID. PAYMENT SHALL BE CASHED.
3. THE PLUMBING CONTRACTOR SHALL FURNISH SHOP DRAWINGS OF FIXTURES, APPLIANCES AND MATERIALS THAT ARE REQUIRED TO FURNISH TO THE CITY ENGINEER FOR REVIEW.
4. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FIXTURES INSTALLED DURING CONSTRUCTION.
5. A BOARD MANAGER SHALL BE OBTAINED UPON COMPLETION WITH MAINTENANCE INSTRUCTIONS, PARTS LISTS, AND MANUFACTURER'S INSTRUCTIONS. AS WELL AS A WARRANTY FROM THE PLUMBING CONTRACTOR ALONG WITH RECORD DRAWINGS.
6. THE PLUMBING CONTRACTOR SHALL PLUMBING PIPES IN ALL AREAS WHERE BUILDINGS ARE BEING DEVELOPED.
7. MATERIALS AND TYPES:
 - a. DOMESTIC HATED ABOVE GROUND, 1/2" AND 3/4" SCHEDULE 40S GALV.
 - b. RHW 1/2" SMOOTH CAST IRON 1/2" UNFLARED CAST IRON 1/2" SCHEDULE 40S GALV.
 - c. DWV 1/2" DWV AND DWV, FETTER, 1/2" UNFLARED CAST IRON 1/2" SCHEDULE 40S GALV.
 - d. GAS PIPING: STEEL PIPE ASTM A53A TYPE 1 OR 5 SCHEDULE 40S BLACK IRON, THICKNESS OF WROUGHT STEEL PIPE SHALL COMPLY WITH ASTM A53-00, COPPER TYPE 662, TYPE 1, ANNEALED TENSILE.

PLUMBING SPECIFICATIONS

PART 1 GENERAL

1.01 SUMMARY

THESE OUTLINE SPECIFICATIONS ARE NOT INTENDED TO COVER ALL NECESSARY ITEMS, BUT TO SERVE AS A GUIDE TO FURNISH AND INSTALL A COMPLETE PLUMBING SYSTEM AS DESCRIBED HEREIN.

1.02 SCOPE OF WORK

FURNISH AND INSTALL THE PLUMBING SYSTEMS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THE PLUMBING SYSTEMS.
- SANITARY WASTE AND VENT PIPING SYSTEM INCLUDING PIPING TO ALL FLOORS OR EQUIPMENT.
- FIRE STOP INCLUDING SLEEVES THRU RATED WALLS AND FLOORS.
- ALL VALVES, FITTINGS, HANGERS, SLEEVES, EXTENSION PLATES, ANCHORS, GUIDES, ETC., REQUIRED FOR THE PLUMBING SYSTEM INSTALLATION.
- INSTRUCTION OF OWNERS PERSONNEL AND OPERATING MANUALS FOR ALL EQUIPMENT.
- PERMITS, APPLICATIONS, TESTS AND ANY OTHER FEES RELATED TO THIS WORK.

1.03 CONTRACT DRAWINGS

IN GENERAL, DRAWINGS ARE SUPPLEMENTARY IN NATURE AND ARE INTENDED AS A GUIDE TO THE CONTRACTOR, BUT DO NOT NECESSARILY SHOW ALL DETAILS, OFFSETS, ETC. ALL DRAWINGS ARE TO BE INTERPRETED AS SUCH. THE CONTRACTOR'S WORK SHALL CONFORM TO THE INFORMATION CONTAINED IN THIS SPECIFICATION AND/OR AS INDICATED IN THE LATEST REVISION OF THE DRAWINGS REFERENCED TO HEREIN. THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER REGARDING ALL QUESTIONS OR WHEN HE MAY BE IN DOUBT BEFORE PROCEEDING WITH FABRICATION OF PARTS AFFECTED. THE CONTRACTOR SHALL PREPARE ALL ADDITIONAL DETAIL OR FIELD INSTALLATION DRAWINGS NECESSARY AT HIS OWN EXPENSE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THE ENGINEER'S LAYOUT DRAWINGS AND RETEAM IF ANY CHANGES ARE REQUIRED IN PIPING RUNS, DRAINS, ETC. TO AVOID INTERFERENCE. WHEN CHANGES SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER. WHILE THE DRAWINGS ARE TO BE ADHERED TO AS CLOSELY AS POSSIBLE, THE CONTRACTOR HAS THE RIGHT TO VARY THE RUN OF CONDUITS, PIPING, AND/OR DUCTS DURING PROGRESS OF WORK IF HE FINDS IT NECESSARY OR DESIRABLE TO AVOID INTERFERENCE. MAJOR REVISIONS SHALL BE REPORTED WITH THE ENGINEER.

1.04 MODIFICATION

BEFORE MAKING ANY PIPING, ETC., WITHIN THE BUILDING, THIS CONTRACTOR SHALL ASSURE HIMSELF THAT THEY CAN BE INSTALLED AS CONTEMPLATED WITHOUT TRIPPING OR INTERFERING WITH CEILING, BEAMS, PIPING, FITTINGS, ETC. ANY NECESSARY MAJOR REVISIONS SHALL BE REFERRED TO THE ENGINEER FOR ADJUSTMENT BEFORE THE LINES ARE RUN, AT NO INCREASE IN CONTRACT PRICE. IF NECESSARY, OPERINGS, SUPPORTING STEEL, FLEX-RIGID CORDS, SPACE REQUIREMENTS, ETC., WERE DESIGNED AROUND SPECIFIC PARAMETERS. WHEN THE CONTRACTOR DETERMINES THE NATURE OF EQUIPMENT TO BE PROVIDED FOR THE JOB, IT SHALL BE HIS RESPONSIBILITY TO VERIFY AND COORDINATE WITH THE GENERAL CONTRACTOR AND ALL OTHER INTERESTED CONTRACTORS ON THE JOB. IT SHALL ALSO BECOME THE CONTRACTOR'S RESPONSIBILITY TO CHANGE AS NECESSARY, THROUGH THE ENGINEER, ALL REQUIRED DIMENSIONS SO THAT OPERINGS, SUPPORTING STEEL, CABLES, ELECTRICAL, DATA, ETC., WILL FIT THE EQUIPMENT SUPPLIED. ANY ADDITIONAL COST WILL BE THE SOLE RESPONSIBILITY OF THIS CONTRACTOR. ELEVATIONS AND RELATIVE LOCATIONS OF EXISTING EQUIPMENT, SINKS, PIPES, DUCTS, CONDUITS, ETC., IN PLACE AS SHOWN ON THE DRAWINGS, ARE TAKEN FROM AS-BUILT AND RECORD DRAWINGS ARE REVIEWED BEFORE ONLY MODIFYING AS GENERAL LAYOUT IS CONCERNED. SUCH DIMENSIONS SHALL NOT BE USED FOR LAYOUT DRAWINGS FOR DETAILING OF COMPONENTS. THE RESPONSIBILITY FOR DETERMINING PLACEMENT SHALL BE THE CONTRACTOR'S. ALL MEASUREMENTS, THE EXACT DETERMINATION OF RELATIVE ELEVATIONS OR LOCATIONS, THE ASCERTAINING OF ACCURACY OF ALL OTHER ELEVATIONS AND DIMENSIONS AND THE OBTAINING OF ALL NECESSARY ADDITIONAL INFORMATION TO INSURE THE PROPER FIT AND COORDINATION OF ALL CONDUIT, EQUIPMENT, DUCTS, AND PIPING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

1.05 SITE VISIT

ALL CONTRACTORS BEGING THE WORK INDICATED THROUGHOUT THESE CONTRACT DOCUMENTS ARE REQUIRED TO VISIT, AND THOROUGHLY EXAMINE THE PROJECT SITE AND ITS ASSOCIATED CONDITIONS. THE CONTRACTOR SHALL FURNISH AND/OR SHALL CALL EXISTING CONDITIONS UNDER WHICH THIS WORK MUST BE PERFORMED. ALL CONTRACTORS SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A BID PROPOSAL. FAILURE TO DO SO SHALL BE DEEMED AS ACCEPTANCE OF EXISTING CONDITIONS. NO ADDITIONAL COMPENSATION WILL BE CONSIDERED FOR ANY DEVIATIONS OR DISCREPANCIES TO THESE PLANS AFTER A CONTRACTOR HAS BEEN SELECTED.

1.06 GUARANTEE

THE CONTRACTOR GUARANTEES BY HIS ACCEPTANCE OF THE CONTRACT THAT ALL WORK WILL BE FREE FROM DEFECTS IN WORKMANSHIP AND/OR MATERIALS AND THAT ALL APPARATUS WILL DEVELOP CAPACITIES AND CHARACTERISTICS SPECIFIED. SHOULD ANY DEFECTS IN WORKMANSHIP, AND/OR MATERIALS REQUIRE REVISION OR ANY PART OF THE ELECTRICAL, MECHANICAL, PLUMBING, OR ARCHITECTURAL LAYOUTS, ALL SUCH REVISIONS AND ALL NEW OPERINGS AND RETAILING REQUIRED HEREON SHALL, WITH THE APPROVAL OF THE ARCHITECT, BE PROVIDED BY THE CONTRACTOR AT HIS OWN EXPENSE. MAKING SUCH APPROVED REVISIONS REQUIRES A DIFFERENT QUANTITY AND AMOUNT OF ELECTRICS, PIPING, FITTING, CONDUIT AND/OR EQUIPMENT REQUIRED BY THE SYSTEM AT NO ADDITIONAL COST TO THE OWNER.

1.07 SUBMITTALS

AFTER RECEIVING APPROVAL OF EQUIPMENT MANUFACTURERS AND PRIOR TO DELIVERY OF ANY MATERIAL TO THE JOB SITE AND SUBSEQUENTLY IN ADVANCE OF THE REQUIREMENTS TO ALLOW ARCHITECT REVIEW TIME FOR CHECKING, SUBMIT DETAILING ENGINEERED DRAWINGS AND/OR EQUIPMENT CUT SHEETS SHOWING CONSTRUCTION SIZE, AMOUNT, OPERATING CLEARANCES, PERFORMANCE CHARACTERISTICS AND CAPACITY OF MATERIAL AND EQUIPMENT. SHOP DRAWINGS SHALL SHOW THE BALANCE OF TIME AND SYSTEMS AND HOW THE COMPONENTS OF AN ITEM AND SYSTEM ARE ASSEMBLED, FUNCTION TOGETHER AND HOW THEY WILL BE INSTALLED ON THE PROJECT. DATA AND SHOP DRAWINGS FOR COMPONENT PARTS OF AN ITEM OR SYSTEM SHALL BE COORDINATED AND SUBMITTED AS A UNIT. IT IS THE RESPONSIBILITY OF THESE CONTRACT DOCUMENTS TO HAVE THE MECHANICAL CONTRACTOR PREPARE "AS-BUILT" RECORD DRAWINGS IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS.

1.08 CUTTING, PATCHING, & FINISHING

PROVIDE CUTTING AND PATCHING OF ALL MATERIALS NECESSARY FOR THE INSTALLATION AS INDICATED OR SPECIFIED. NEARLY REMOVE AND LOCALLY DISPOSE OF THE PLUMBING COMPONENTS AND ITEMS NOT COVERED IN USE. PROTECT THE STRUCTURE, FURNISHINGS, FINISHES AND MATERIALS ADJACENT TO THE AREA OF CUTTING AND PATCHING. PATCH EXISTING FINISHED SURFACES AND EQUIPMENT USING NEW MATERIALS AND METHODS. TO MATCH ADJACENT FLOOR, UTILITY, OPENWORKED INSTALLATIONS. PATCHING OF FIRE RATED PARTITIONS, CEILING AND OTHER ASSEMBLIES SHALL MATCH THE RATING OF THE WATER BARRIER WITH MATERIALS LISTED AND IDENTIFIED FOR SUCH USE. SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE GENERAL TRADES SPECIFICATIONS. IN AREAS WHERE NEW WORK BY THE GENERAL CONTRACTOR IS NOT INCLUDED IN THE PROJECT, THIS CONTRACTOR SHALL REPAIR AND/OR RESTORE FINISHES TO MATCH ADJACENT FINISHES. OPENINGS AROUND PIPING OR IN SLEEVES FOR PIPING PENETRATING FIRE-RATED FLOOR SLABS, WALLS, PARTITIONS, CEILING, OR SHOCK PARTITIONS, SHALL BE SEALED AT BOTH SIDES OF THE PENETRATION. INSULATION SHALL NOT EXTEND THROUGH SLEEVES. PACK OPENINGS WITH CALCEM SILICATE BLOCK, ROOF CORING - 4" HIGH RIGID POLYURETHANE FOAM. IN OTHER CASES, OR IN PUTTY FIRE BARRIER SYSTEM OR MATERIAL, MATCH THE SAME FIRE-RATING AS THE FLOOR OR WALL PENETRATION. FIBERGLASS IS NOT ACCEPTABLE.

1.09 NEW WORK

UNLESS OTHERWISE NOTED, ALL WORK INDICATED THROUGHOUT THESE DRAWINGS SHALL BE CONSIDERED TO BE NEW WORK AND SHALL BE INCLUDED AS AN INTEGRAL PART OF THIS CONTRACT.

1.10 MANUFACTURER STANDARDS

NEW CUTO PLUMBING CODE

PART 2 PRODUCTS

2.01 GENERAL

THE MANUFACTURERS REFERENCED THROUGHOUT THIS OUTLINE SPECIFICATION ARE INCLUDED AS A BASIS OF DESIGN. SUBMISSION OF A TYPICAL MANUFACTURER'S SAMPLE EQUIPMENT IS SUBJECT TO ENGINEER APPROVAL. UNITS OF EQUIPMENT OTHER THAN THOSE LISTED AS THE BASIS OF DESIGN, MUST BE PROVEN TO BE PRACTICALLY ACCEPTABLE, IN ADDITION TO MEETING ALL PERFORMANCE AND EQUIPMENT SPECIFICATIONS. LIABILITY OF NON-COMPLIANCE SHALL LIE WITH THE CONTRACTOR/SUBMITTER.

2.02 FINISHES

A. SANITARY WASTE - INSIDE BUILDING ABOVE GROUND

PLASTIC PVC, SCHEDULE 40 ASTM D3025. MECHANICAL JOINTS CONFORMING TO ASTM CITY, ASTM A302, OR CSA B90.1. FOR SOIL VENT JOINTS WITH PRIMER CONFORMING TO ASTM F841 AND SOIL VENT COUPLER CONFORMING TO ASTM D2526. THIS PIPE SHALL HAVE A FLAME SPREAD RATING OF < 25 AND A SMOKE DEVELOPMENT RATING OF < 50 WHEN TESTED FOR SURFACE BURNING CHARACTERISTICS IN ACCORDANCE WITH CAN/ULC-S502-2-M99 OR EQUIVALENT. TEST PIPE AND JOINTS FOR LEAKS PRIOR TO BACKFILLING.

B. SANITARY WASTE & VENT - INSIDE BUILDING ABOVE GROUND

PLASTIC PVC, SCHEDULE 40 ASTM D3025. MECHANICAL JOINTS CONFORMING TO ASTM CITY, ASTM A302, OR CSA B90.1. FOR SOIL VENT JOINTS WITH PRIMER CONFORMING TO ASTM F841 AND SOIL VENT COUPLER CONFORMING TO ASTM D2526. THIS PIPE SHALL HAVE A FLAME SPREAD RATING OF < 25 AND A SMOKE DEVELOPMENT RATING OF < 50 WHEN TESTED FOR SURFACE BURNING CHARACTERISTICS IN ACCORDANCE WITH CAN/ULC-S502-2-M99 OR EQUIVALENT.

C. FOLLOW UP FOR SOLVENT CEMENTED JOINTS

- SURFACES TO BE CEMENTED SHALL BE CLEAN AND FREE OF FOREIGN MATERIAL.
- JOINTING SURFACES PIPE AND FITTING MUST BE DRY AND FREE OF OIL.
- SUFFICIENT COUPLER MUST BE APPLIED TO FULL GAPS BETWEEN PIPE AND FITTING.
- ASSEMBLY OF PIPE & FITTING MUST BE MADE WHILE THE SURFACES ARE BOTH WET AND FLUID.

D. DOWNCOMER FILTER - ABOVE GRADE

TYPE 1 COPPER PIPING ASTM B722 OR PEX PIPING ASTM F7143. THIS PIPE SHALL HAVE A FLAME SPREAD RATING OF < 25 AND A SMOKE DEVELOPMENT RATING OF < 50 WHEN TESTED FOR SURFACE BURNING CHARACTERISTICS IN ACCORDANCE WITH CAN/ULC-S502-2-M99 OR EQUIVALENT.

2.03 PLUMBING FIXTURES

A. GENERAL

THE CONTRACTOR SHALL FURNISH, INSTALL, AND CONNECT ALL PLUMBING FIXTURES AND SPECIALTIES, AND TIE-IN AS SHOWN ON THE DRAWINGS AND AS HEREINAFTER DESCRIBED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, MOUNTING HEIGHTS, ETC., OF THE FIXTURES WITH THE PLUMBING AND ARCHITECTURAL DRAWINGS.

B. ACCESSORIES AND TIE-IN

PLUMBING FIXTURES SHALL BE COMPLETE, WITH ALL REQUIRED TIE-IN, INCLUDING FAUCETS, WASTE PLACES, TRAPS, SUPPLIES, STOP VALVES, EXHAUSTION, BOLT CAPS AND ALL NECESSARY HANGERS, CLAMPERS, PLATES, BRACKETS, ANCHORS AND SUPPORTS. ALL HANGERS AND SUPPORTS TO BE STAINLESS STEEL.

C. FIXTURE SETTING

FIXTURES SHALL BE SET IN A NEAT, FINISHED, AND UNIFORM MANNER. MAKE THE CONNECTIONS TO ALL FIXTURES AT RIGHT ANGLES TO THE WALL, UNLESS OTHERWISE DIRECTED.

D. TRAPS

ALL FIXTURES INCLUDING TRAPS SHALL BE FURNISHED WITH CPVC SCHEDULE 40 FOR ABOVE GRADE AND SCHEDULE 80 FOR BELOW GRADE, ASTM D268, TYPE IV, GRADE 1, CORROSION RESISTANT PRESSURE PIPE. PIPE TRAP MATERIALS TO MATCH SECTION 2.02, ITEM A AND B.

E. EXISTING SCHEDULE

REFER TO THE EXISTING SCHEDULE ON DRAWINGS FOR ADDITIONAL REQUIREMENTS.

PART 3 EXECUTION

ALL EQUIPMENT INSTALLATION PROCEDURES SHALL BE BASED ON FURNISHMENT, ENGINEERING AND CONSTRUCTION PRINCIPALS IN CONFORMANCE WITH ALL APPLICABLE CODES, STANDARDS, AND ORDINANCES.

THE PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING EQUIPMENT IN CONFORMANCE WITH MANUFACTURER ISSUED INSTRUCTIONS AND RECOMMENDATIONS.

THE PLUMBING CONTRACTOR SHALL NOT GUARANTEE INSTALLATION WORK THAT IS IN ERROR.

PROVIDE ONE YEAR WARRANTY ON ALL LABOR AND MATERIALS UNLESS NOTED OTHERWISE.

THE PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES ON THIS PROJECT.

PART 4 EXECUTION

1.01 CLOSE-OUT

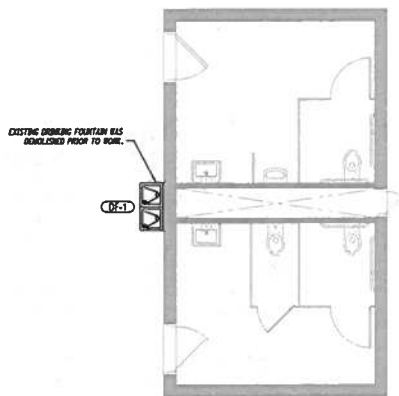
CONTRACTOR SHALL PROVIDE FIELD TESTING, CHECK-OUT AND SYSTEM DEMONSTRATIONS TO THE OWNER TO ASSURE PROPER PERFORMANCE AND ADJUSTMENT OF ITEMS PROVIDED UNDER THE CONTRACT. REMOVE ALL DEBRIS CREATED BY THE CONSTRUCTION WORK AND CLEAN ALL EQUIPMENT, AIR OUTLETS, ETC., INSIDE AND OUTSIDE. PROVIDE MAINTENANCE BOOKS WHICH INCLUDE COPIES OF EACH SHOP DRAWING, PREVENTATIVE MAINTENANCE PROCEDURES, OPERATION AND INSTRUCTION MANUALS, LITERATURE SUPPLIED WITH PLUMBING EQUIPMENT, AND A LIST OF ALL CONTRACTOR'S PURCHASE ORDERS WITH SUPPLIERS, MANUALS, ADDRESSES AND PHONE NUMBERS FOR ALL MATERIALS. PROVIDE AT LEAST 2 HOURS OF INSTRUCTION TO PERSONNEL SELECTED BY THE OWNER, TO FAMILIARIZE THEM WITH THE LOCATION OF SIGNIFICANT EQUIPMENT, TIE-IN TIE-IN ON EQUIPMENT FUNCTIONS, REVIEW MAINTENANCE PROCEDURES AND COORDINATE INFORMATION AVAILABLE IN THE CLOSE-OUT BOOK.

CALCULATED
OWN
CHECKED
DATE

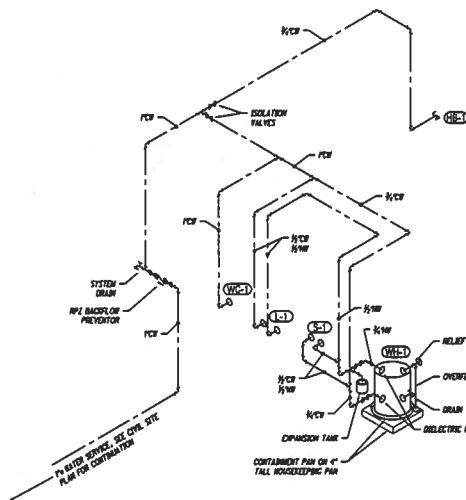
JACKSON STREET PIER REDEVELOPMENT - BUILDABLE UNIT #3B
SPECIFICATIONS

CITY OF SANDUSKY
222 MEIGS STREET
SANDUSKY, OHIO 44870

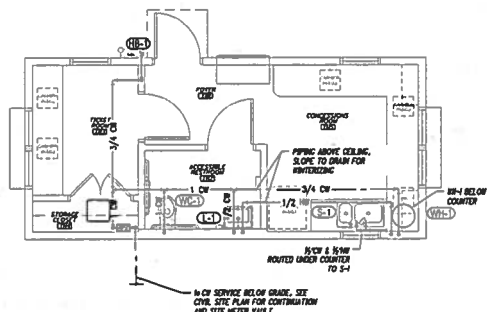
BU3B
P02



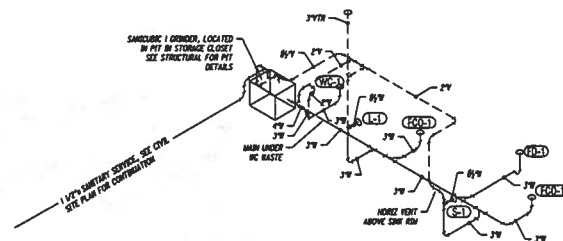
5 PLUMBING PLAN - EXISTING RESTROOMS
NO SCALE



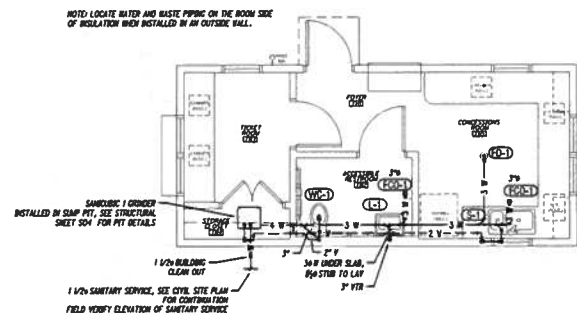
4 DOMESTIC WATER ISOMETRIC
NO SCALE



2 DOMESTIC WATER PLAN
1/4" = 1'-0"








































3 DRAIN WASTE VENT ISOMETRIC



1 DRAIN WASTE VENT PLAN
1/4" = 1'-0"

HVAC LEGEND

PROPOSED	EXISTING	CONNECTION	RECT	CIRCLE	RECT	CIRCLE	SUPPLY AIR (SA)
							SUPPLY AIR (SA)
							RETURN AIR (RA)
							EXHAUST AIR (EA)

	CEILING DIFFUSER		VOLUME DAMPER
	LINEAR SLOT DIFFUSER		MOTORIZED DAMPER
	BALL DIFFUSER/GRILLE		FIRE DAMPER
	FLOOR REGISTER		SMOKE DAMPER
	CEILING GRILLE		COMBINATION DAMPER
	TURNING VANES		THERMOSTAT
	DUCT WIDTH X HEIGHT		HUMIDISTAT
	ROUND DUCT DIAMETER		EQUIPMENT TAG

PIPING LEGEND

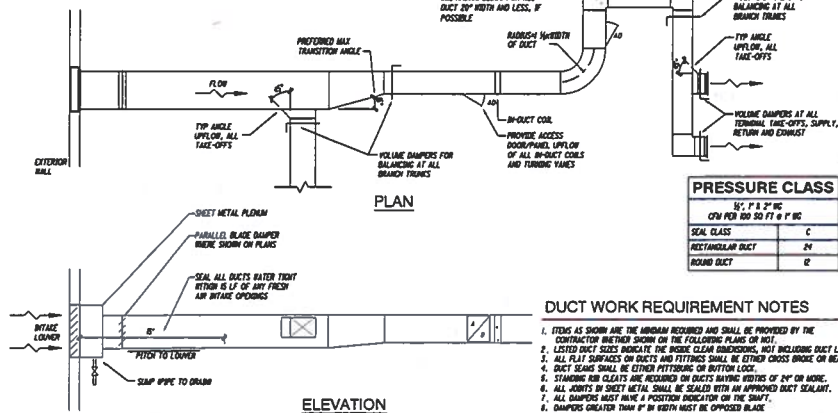
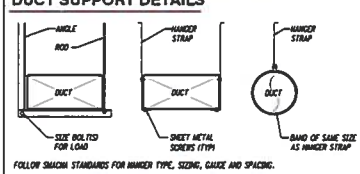
PROPOSED	EXISTING	DEMOLITION	
HWS	HWS	HWS	HEATING WATER SUPPLY
HWR	HWR	HWR	HEATING WATER RETURN
CWS	CWS	CWS	CHILLED WATER SUPPLY
CWR	CWR	CWR	CHILLED WATER RETURN
STW	STW	STW	STEAM
CR	CR	CR	CONDENSATE RETURN
G	G	G	NATURALGAS
CA	CA	CA	COMPRESSED AIR

ABBREVIATIONS

A	AB	AUTOMATIC AIR VENT	K	KA	KITCHEN HOOD
AA	ACCESS DOOR/HAM				
AB	ABOUT THIRD FLOOR				
AC	AIR BRICKING UNIT				
AD	AIR BRICK				
AE	AIR SEPARATOR				
B	BOILER				
BA	BOLD BRIST DAMPER				
BB	BOLD FLOOR PREVENTOR				
C					
CA	CURVE FEET PER MINUTE				
CB	CURVE FEET PER MINUTE				
CC	CURVE FEET PER MINUTE				
CD	CURVE FEET PER MINUTE				
CE	CURVE FEET PER MINUTE				
CF	CURVE FEET PER MINUTE				
CG	CURVE FEET PER MINUTE				
CH	CURVE FEET PER MINUTE				
CI	CURVE FEET PER MINUTE				
CJ	CURVE FEET PER MINUTE				
CK	CURVE FEET PER MINUTE				
CL	CURVE FEET PER MINUTE				
CM	CURVE FEET PER MINUTE				
CN	CURVE FEET PER MINUTE				
CO	CURVE FEET PER MINUTE				
CP	CURVE FEET PER MINUTE				
CQ	CURVE FEET PER MINUTE				
CR	CURVE FEET PER MINUTE				
CS	CURVE FEET PER MINUTE				
CT	CURVE FEET PER MINUTE				
CU	CURVE FEET PER MINUTE				
CV	CURVE FEET PER MINUTE				
CW	CURVE FEET PER MINUTE				
CX	CURVE FEET PER MINUTE				
CY	CURVE FEET PER MINUTE				
CZ	CURVE FEET PER MINUTE				
D	DA	DAMP			
DB	DA	DAMP			
DC	DA	DAMP			
DD	DA	DAMP			
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DF	DA	DAMP			
DG	DA	DAMP			
DH	DA	DAMP			
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DL	DA	DAMP			
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DP	DA	DAMP			
DQ	DA	DAMP			
DR	DA	DAMP			
DS	DA	DAMP			
DT	DA	DAMP			
DU	DA	DAMP			
DV	DA	DAMP			
DW	DA	DAMP			
DX	DA	DAMP			
DY	DA	DAMP			
DZ	DA	DAMP			
E	EA	ENTERING AIR TEMPERATURE			
EB	EA	ENTERING AIR TEMPERATURE			
EC	EA	ENTERING AIR TEMPERATURE			
ED	EA	ENTERING AIR TEMPERATURE			
EE	EA	ENTERING AIR TEMPERATURE			
EF	EA	ENTERING AIR TEMPERATURE			
EG	EA	ENTERING AIR TEMPERATURE			
EH	EA	ENTERING AIR TEMPERATURE			
EI	EA	ENTERING AIR TEMPERATURE			
EJ	EA	ENTERING AIR TEMPERATURE			
EK	EA	ENTERING AIR TEMPERATURE			
EL	EA	ENTERING AIR TEMPERATURE			
EM	EA	ENTERING AIR TEMPERATURE			
EN	EA	ENTERING AIR TEMPERATURE			
EO	EA	ENTERING AIR TEMPERATURE			
EP	EA	ENTERING AIR TEMPERATURE			
EQ	EA	ENTERING AIR TEMPERATURE			
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EV	EA	ENTERING AIR TEMPERATURE			
EW	EA	ENTERING AIR TEMPERATURE			
EX	EA	ENTERING AIR TEMPERATURE			
EY	EA	ENTERING AIR TEMPERATURE			
EZ	EA	ENTERING AIR TEMPERATURE			
F	FA	FAN/HEATING REGRATE			
FB	FA	FAN/HEATING REGRATE			
FC	FA	FAN/HEATING REGRATE			
FD	FA	FAN/HEATING REGRATE			
FE	FA	FAN/HEATING REGRATE			
FF	FA	FAN/HEATING REGRATE			
FG	FA	FAN/HEATING REGRATE			
FH	FA	FAN/HEATING REGRATE			
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FJ	FA	FAN/HEATING REGRATE			
FK	FA	FAN/HEATING REGRATE			
FL	FA	FAN/HEATING REGRATE			
FM	FA	FAN/HEATING REGRATE			
FN	FA	FAN/HEATING REGRATE			
FO	FA	FAN/HEATING REGRATE			
FP	FA	FAN/HEATING REGRATE			
FQ	FA	FAN/HEATING REGRATE			
FR	FA	FAN/HEATING REGRATE			
FS	FA	FAN/HEATING REGRATE			
FT	FA	FAN/HEATING REGRATE			
FU	FA	FAN/HEATING REGRATE			
FV	FA	FAN/HEATING REGRATE			
FW	FA	FAN/HEATING REGRATE			
FX	FA	FAN/HEATING REGRATE			
FY	FA	FAN/HEATING REGRATE			
FZ	FA	FAN/HEATING REGRATE			
G	GA	GALLONS/HOUR GAS			
GB	GA	GALLONS/HOUR GAS			
GC	GA	GALLONS/HOUR GAS			
GD	GA	GALLONS/HOUR GAS			
GE	GA	GALLONS/HOUR GAS			
GF	GA	GALLONS/HOUR GAS			
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GH	GA	GALLONS/HOUR GAS			
GI	GA	GALLONS/HOUR GAS			
GJ	GA	GALLONS/HOUR GAS			
GK	GA	GALLONS/HOUR GAS			
GL	GA	GALLONS/HOUR GAS			
GM	GA	GALLONS/HOUR GAS			
GN	GA	GALLONS/HOUR GAS			
GO	GA	GALLONS/HOUR GAS			
GP	GA	GALLONS/HOUR GAS			
GQ	GA	GALLONS/HOUR GAS			
GR	GA	GALLONS/HOUR GAS			
GS	GA	GALLONS/HOUR GAS			
GT	GA	GALLONS/HOUR GAS			
GU	GA	GALLONS/HOUR GAS			
GV	GA	GALLONS/HOUR GAS			
GW	GA	GALLONS/HOUR GAS			
GX	GA	GALLONS/HOUR GAS			
GY	GA	GALLONS/HOUR GAS			
GZ	GA	GALLONS/HOUR GAS			
H	HA	HOT WATER COIL			
HB	HA	HOT WATER COIL			
HC	HA	HOT WATER COIL			
HD	HA	HOT WATER COIL			
HE	HA	HOT WATER COIL			
HF	HA	HOT WATER COIL			
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HX	HA	HOT WATER COIL			
HY	HA	HOT WATER COIL			
HZ	HA	HOT WATER COIL			
I	IA	INDUSTRIAL GAS			
IB	IA	INDUSTRIAL GAS			
IC	IA	INDUSTRIAL GAS			
ID	IA	INDUSTRIAL GAS			
IE	IA	INDUSTRIAL GAS			
IF	IA	INDUSTRIAL GAS			
IG	IA	INDUSTRIAL GAS			
IH	IA	INDUSTRIAL GAS			
II	IA	INDUSTRIAL GAS			
IJ	IA	INDUSTRIAL GAS			
IK	IA	INDUSTRIAL GAS			
IL	IA	INDUSTRIAL GAS			
IM	IA	INDUSTRIAL GAS			
IN	IA	INDUSTRIAL GAS			
IO	IA	INDUSTRIAL GAS			
IP	IA	INDUSTRIAL GAS			
IQ	IA	INDUSTRIAL GAS			
IR	IA	INDUSTRIAL GAS			
IS	IA	INDUSTRIAL GAS			
IT	IA	INDUSTRIAL GAS			
IU	IA	INDUSTRIAL GAS			
IV	IA	INDUSTRIAL GAS			
IW	IA	INDUSTRIAL GAS			
IX	IA	INDUSTRIAL GAS			
IY	IA	INDUSTRIAL GAS			
IZ	IA	INDUSTRIAL GAS			
J	JA	JACKET			
JB	JA	JACKET			
JC	JA	JACKET			
JD	JA	JACKET			
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JG	JA	JACKET			
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JV	JA	JACKET			
JW	JA	JACKET			
JX	JA	JACKET			
JY	JA	JACKET			
JZ	JA	JACKET			
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KB	KA	KITCHEN HOOD			
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KV	KA	KITCHEN HOOD			
KW	KA	KITCHEN HOOD			
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KY	KA	KITCHEN HOOD			
KZ	KA	KITCHEN HOOD			
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LC	LA	LEAKAGE			
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MY	MA	MATERIAL			
MZ	MA	MATERIAL			
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NV	NA	NATURAL GAS			
NW	NA	NATURAL GAS			
NX	NA	NATURAL GAS			
NY	NA	NATURAL GAS			
NZ	NA	NATURAL GAS			
O	OA	OUTSIDE AIR			
OB	OA	OUTSIDE AIR			
OC	OA	OUTSIDE AIR			
OD	OA	OUTSIDE AIR			
OE	OA	OUTSIDE AIR			
OF	OA	OUTSIDE AIR			
OG	OA	OUTSIDE AIR			
OH	OA	OUTSIDE AIR			
OI	OA	OUTSIDE AIR			
OJ	OA	OUTSIDE AIR			
OK	OA	OUTSIDE AIR			
OL	OA	OUTSIDE AIR			
OM	OA	OUTSIDE AIR			
ON	OA	OUTSIDE AIR			
OO	OA	OUTSIDE AIR			

DUCTWORK REQUIREMENTS

DUCT SUPPORT DETAILS



DUCT WORK REQUIREMENT NOTES

1. ITEMS AS SHOWN ARE THE MINIMUM REQUIRED AND SHALL BE PROVIDED BY THE CONTRACTOR UNLESS SHOWN ON THE FOLLOWING PLANS OR NOT.
2. LISTED DUCT SIZES INDICATE THE INSIDE CLARE DIMENSIONS, NOT INCLUDING DUCT LINER.
3. ALL PLAT SURFACES ON DUCTS AND FITTINGS SHALL BE EITHER CROSS BRIDGE OR BEADED.
4. DUCT SEAMS SHALL BE EITHER PITTSBURGH OR BUTTON LOCK.
5. STANDING RIB CLEATS ARE REQUIRED ON DUCTS HAVING WIDTHS OF 24" OR MORE.
6. ALL JOINTS IN SHEET METAL SHALL BE SEALED WITH AN APPROVED DUCT SEALANT.
7. ALL DAMPERS MUST HAVE A POSITION INDICATOR ON THE SHAFT.
8. DAMPERS GREATER THAN 18" IN WIDTH MUST BE OPPOSED BLADE

ROOM VENTILATION DATA

[illegible]

PIPE SPECIALTIES LEGEND

	VALVE		REDUCER
	MODULATING VALVE		PIPE RISE
	CHECK VALVE		PIPE DROP
	PRESS. REDUCING VALVE		CAP
	CONNECT TO EXIST		UNION
	PIPE BREAK		THERMOMETER

INSULATION SCHEDULE

ITEM	THICKNESS	TYPE	REMARKS
HOT WATER SUPPLY	8/32" SEE NOTE 4	FIBERGLASS	SELF SEALING W/MP FITTING COVERS
HOT WATER RETURN	8/32" SEE NOTE 4	FIBERGLASS	SELF SEALING W/MP FITTING COVERS
OUTSIDE AIR DUCT	2"	FIBERGLASS	TYPE FSX
SUPPLY DUCT	8/1"	FIBERGLASS	TYPE FSX
EXHAUST DUCT	2"	FIBERGLASS	TYPE FSX
ATTORCH EXHAUST	2"	FIBERGLASS	TYPE FSX

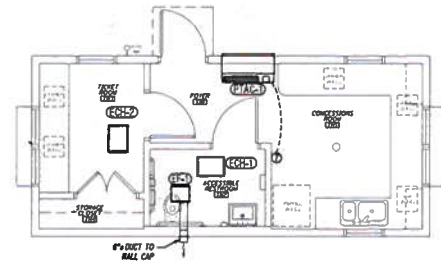
1. ALL DUCTS WITHIN 25' OF MOTORS, INSTALL 1" MINIWILLE LIRO-COUSTIC DUCT LINER OR EQUAL, EXCLUDING ON DUCT.
2. EXPOSED DUCTWORK SHALL BE INSULATED WITH RIGID FIBERGLASS GUT INSULATION AND JACKET.
3. ISOLATE EXHAUST DUCTS WITHIN 10' OF EXTERIOR OPENINGS AND EXHAUST DUCTS EXPOSED TO OUTSIDE AIR.
4. FOR PIPING NO LARGER THAN 1/2", INSULATION THICKNESS SHALL BE 1/2"; FOR PIPING 1/2" AND LARGER, INSULATION THICKNESS SHALL BE 2".

GENERAL HVAC NOTES

1. FIELD VERIFY LOCATIONS OF CASTING PIPING THAT MAY CONFLICT WITH NEW CONSTRUCTION AND RELOCATE AS NEEDED.
2. COORDINATE LOCATIONS OF THE THERMISTATS WITH OTHER TRADES.
3. PROVIDE LAYOUT CHANGERS FOR EACH DIFFERSPECIFIABLE AND BRUSHED DUCT.
4. COORDINATE THE DIFFERSPECIFIABLE AND BRUSHED DUCT WITH THE NEW CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD VERIFY THE SIZES, LOCATION, ELEVATIONS, AND DETAILS OF ALL EXISTING CONDITIONS THAT MAY AFFECT THE WORK.
6. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EQUIPMENT AND MATERIALS IN A "GOOD" CONDITION DURING CONSTRUCTION.
7. ALL EXTERNALLY ISOLATED PIPING EQUIPMENT SHALL HAVE FLEXIBLE DUCT CONNECTORS.
8. ALL CONDENSATE DRAIN PIPING TO TERMINATE TO DRAIN VAP AIR CAP.
9. ADVISE THE OWNER OF ANY REPAIRS TO EXISTING EQUIPMENT, PIPES AND DUCTS AND SUGGESTED REPAIRS. IT IS THE OWNER'S INTENTION THE USE OF BRUSHINGS TO MODULATE ALL NECESSARY OFFSETS. INITIAL WORK IN ORDER TO PROVIDE TO STRUCTURE, AVOID OBSTRUCTIONS, RESISTIVE HEADROOM AND KEEP CONFORMS AND PARALLELISM CLEAR. DO NOT

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EXHAUST FAN SCHEDULE									
MARK	MANUFACTURER	MODEL	SERVICE	CFM	FAN RPM	EXP BR-80	FAN BAITS	ELEC.	REMARKS
CF-1	CHRYSLER	2D-880	700	75	800	0.25	18	16/10/1	SEE NOTE 1, 2, 3
1. COILING UNIT. 2. DIRECT DRIVE. 3. INCLUDE INTERNALLY MOUNTED SPEED CONTROLLER.									
ELECTRIC CEILING HEATER SCHEDULE									
MARK	MANUFACTURER	MODEL	SERVICE	CFM	BAITS	ELEC.	REMARKS		
EDH-1	INDOCO	CC3 SERIES	700	100	1.25	20A/16A	SEE NOTE 1, 2		
EDH-2	INDOCO	CC3 SERIES	700	100	1.50	20A/16A	SEE NOTE 1, 2		
1. PROVIDE WITH REMOTE THERMOSTAT. 2. PROVIDE WITH 2 1/2" x 1 1/2" x 1/4" 1-5/8" ADAPTOR.									



1 MECHANICAL HVAC PLAN
1/4" = 1'-0"

F. PULL BOXES AND JUNCTION BOXES

1. PROVIDE CODE GAUGE GALVANIZED STEEL JUNCTION AND PULL BOXES FOR CONDUIT 1-1/4" TRADE SIZE AND LARGER, WHERE NECESSARY TO FACILITATE INSTALLATION, OF REQUIRED DIMENSIONS, WITH ACCESSIBLE, REMOVABLE SCREW-ON COVERS. PROVIDE JUNCTION AND PULL BOXES IN SPECIAL SIZES AND SHAPES DETERMINED IN FIELD WHERE NECESSARY. PULL BOXES EXPOSED TO RAIN OR IN WET LOCATIONS SHALL BE WEATHERPROOF (NEMA 3P).
2. PROVIDE CONCRETE BOXES FOR UNDERGROUND WORK UNLESS OTHERWISE INDICATED ON THE DRAWINGS. FURNISH STEEL FRAME AND COVERS WITH THE COVER ATTACHED TO THE FRAME WITH HEXAGON HEAD, BRASS OR BRONZE CAP SCREWS, 3/8" IN. DIAMETER. PROVIDE A RUBBER GASKET FOR SEALING BETWEEN THE COVER AND THE FRAME. PAINT THE COVER WITH TWO COATS OF HEAVY ASPHALTUM.
3. INSTALL PULL AND JUNCTION BOXES WHERE SHOWN ON THE DRAWINGS, AND WHERE REQUIRED FOR CHANGES IN DIRECTION, AT JUNCTION POINTS, AND TO FACILITATE WIRE PULLING. FURNISH BOX SIZES IN ACCORDANCE WITH NEC UNLESS LARGER BOXES ARE INDICATED.
4. PULL BOXES SHALL BE SUPPORTED ADEQUATELY TO MAINTAIN SHAPE. LARGER BOXES SHALL HAVE STRUCTURAL STEEL BRACING WELDED INTO RIGID ASSEMBLY FORMED ADEQUATELY TO MAINTAIN ALIGNMENT IN SHIPMENT AND INSTALLATION. SECURE COVERS WITH CORROSION RESISTANT SCREWS.
 - a. PROVIDE CLAMPS, GRIDS AND OTHER APPURTENANCES TO SECURE CABLES WITHIN PULL BOX. NO CABLE SHALL BE UNSUPPORTED FOR MORE THAN 30".
 - b. PULL BOXES CONNECTED TO CONCEALED CONDUITS SHALL BE MOUNTED WITH COVERS FLUSH WITH FINISHED WALL OR CEILING.

G. NAMEPLATES AND ELECTRICAL SYSTEM IDENTIFICATION

1. EQUIPMENT IDENTIFICATION NAMEPLATES SHALL BE ENGRAVED, LAMINATED ACRYLIC OR MELAMINE WITH A MINIMUM LETTER HEIGHT OF 1/2". REFER TO DRAWINGS FOR NAMEPLATE DETAILS.
2. EQUIPMENT REQUIRING IDENTIFICATION NAMEPLATES SHALL BE AS FOLLOWS:
 - a. BRANCH CIRCUIT PANELBOARDS
 - b. SAFETY SWITCHES (FUSED AND NON-FUSED)
3. ALL WIRING SHALL BE IDENTIFIED BY PANELBOARD AND CIRCUIT NUMBER(S) IN ALL CABINETS, JUNCTION BOXES, WIRING TROUGHS, ENCLOSURES, SPLICE OR TERMINATION POINTS, ETC.

H. WIRING DEVICES

1. ACCEPTABLE MANUFACTURERS SHALL BE HUBBELL, PASS & SEYMOUR, EATON (COOPER WIRING DEVICES), OR LEVITON.
2. GFCI RECEPTACLES:
 - a. STRAIGHT BLADE GFCI TYPE RECEPTACLE DEVICES SHALL BE, NON FEED THROUGH TYPE, COMPLY WITH NEMA WD 1, NEMA WD 6, UL 498, AND UL 943, CLASS A, GROUP 1 SOLID STATE SENSING AND SIGNALING WITH FIVE (5) MILLI-AMPERE FAULT TRIP LEVEL AND INCLUDE INDICATOR LIGHT THAT IS LIGHTED WHEN DEVICE IS TRIPPED.
 - b. DUPLEX GFCI RECEPTACLES, 20 A, 125V, 2-POLE, 3-WIRE, GROUNDING TYPE WITH SELF GROUNDING FEATURE.
 - c. COLOR SHALL BE AS SELECTED BY OWNER REPRESENTATIVE.
3. RECEPTACLES REQUIRING AMPERAGES, VOLTAGES OR NEMA CONFIGURATIONS DIFFERENT FROM THE DUPLEX GFCI RECEPTACLES ABOVE SHALL BE AS INDICATED ON THE DRAWINGS, OR AS REQUIRED BY EQUIPMENT MANUFACTURER.
4. PROVIDE OTHER RECEPTACLES OF A QUALITY, MATERIAL AND WORKMANSHIP EQUAL TO THAT SPECIFIED FOR DUPLEX GFCI RECEPTACLES.
5. ALL RECEPTACLES, SWITCHES AND OTHER WIRING DEVICES SHALL BE LABELED WITH CIRCUIT NUMBER AND PANEL NAME ON COVER. USE ENGRAVED BLACK LETTERS ON PLASTIC COVERS OR CLEAR TAPE WITH BLACK LETTERS ON OTHER FACEPLATE

TYPES.

6. WIRING DEVICE WALL PLATES: SINGLE AND COMBINATION TYPES TO MATCH CORRESPONDING WIRING DEVICES.
- a. EXTERIOR SPACES: COPPER FREE ALUMINUM WITH GRAY, POWDER EPOXY FINISH, GASKET, WEATHERPROOF, "HUBBELL WPBM" WEATHERPROOF WHILE IN USE COVER.
 - b. DEVICES PLATES SHALL BE BY THE SAME MANUFACTURER AS THE WIRING DEVICE.
 - c. COLOR SHALL BE AS SELECTED BY OWNER REPRESENTATIVE.
 - d. ALL OUTLET AND/OR JUNCTION BOXES SHALL BE COMPLETE WITH A COVER PLATE BY THIS CONTRACTOR.

1. LUMINAIRES

1. ALL LUMINAIRES, LAMPING (INCLUDING LED MODULES, ETC.), EQUIPMENT, AND COMPONENTS SHALL BE PROVIDED WHERE SHOWN ON DRAWINGS, AS LISTED IN LUMINAIRE SCHEDULE, AND AS SPECIFIED, WIRED AND ASSEMBLED. PROVIDE APPROVED ALIGNING EQUIPMENT, CANOPIES, HANGERS AND OTHER APPURTENANCES AS REQUIRED FOR A COMPLETE SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND N.E.C. REQUIREMENTS.
2. REFER TO LUMINAIRE SCHEDULE FOR THE FOLLOWING REQUIREMENTS:
 - a. LUMINAIRE DESCRIPTION AND DIMENSIONS.
 - b. MANUFACTURER.
 - c. CATALOG SERIES AND/OR MODEL/PART NUMBER.
 - d. LIGHT SOURCE/LAMPING REQUIREMENTS.
 - e. BALLAST/DRIVER REQUIREMENTS.
 - f. VOLTAGE REQUIREMENTS.
3. ALL LUMINAIRES SHALL BEAR THE UL LABEL AND SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
4. METHOD REQUIRED FOR THE CEILING SYSTEM SET FORTH ON THE ARCHITECTURAL DRAWINGS, SUCH AS THE REFLECTED CEILING PLANS, ROOM FINISH SCHEDULES, ETC.
5. COORDINATE INSTALLATION OF ALL LUMINAIRES WITH ALL TRADES PRIOR TO ANY ROUGH-INS.
6. LUMINAIRES WITH LOUVERS, BASKETS, OR LENSES SHALL BE PROVIDED WITH PLYESTER COVERS TO PROTECT LUMINAIRES DURING CONSTRUCTION.
7. DO NOT INSTALL LUMINAIRES UNTIL WORK OF OTHER TRADES THAT MAY DAMAGE LUMINAIRES IS COMPLETED.
8. INVESTIGATE LUMINAIRE LOCATIONS AND SUPPORTS TO ENSURE THAT NO INTERFERENCE EXISTS WITH ANY OTHER EQUIPMENT.
9. SUPPORT SURFACE-MOUNTED LUMINAIRES FROM AT LEAST TWO POINTS TO PREVENT ROTATION.
10. ALL ADJUSTABLE LUMINAIRES SHALL BE AIMED AND ADJUSTED DURING EVENING HOURS TO THE SATISFACTION OF THE OWNER REPRESENTATIVE.

J. INTERIOR LIGHTING CONTROL DEVICES

1. VACANCY SENSORS
 - a. VACANCY SENSOR: A TIME DELAY OTHERWISE INDICATED, TURNS LIGHTS OFF WHEN UNOCCUPIED; WITH A TIME DELAY FOR TURNING LIGHTS OFF, ADJUSTABLE OVER A MINIMUM RANGE OF 1 TO 30 MINUTES.
 - b. SENSOR OUTPUT: CONTACTS RATED TO OPERATE THE CONNECTED RELAY, COMPLYING WITH UL 773A SENSOR IS POWERED FROM THE POWER PACK.
 - c. POWER: LINE VOLTAGE.
 - d. POWER PACK: DRY CONTACTS RATED FOR 20-A LED LOAD AT 120- AND 277-VAC; FOR 13-A TUNGSTEN AT 120-VAC, AND FOR 1 HP AT 120-VAC. SENSOR HAS 24-V-DC, 150-MA, CLASS 2 POWER SOURCE, AS DEFINED BY NFPA 70.
 - e. MOUNTING:
 - e.a. SENSOR: SUITABLE FOR MOUNTING IN ANY POSITION ON A STANDARD OUTLET BOX.

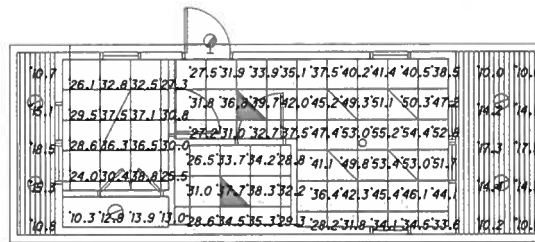
- e.b. RELAY: EXTERNALLY MOUNTED THROUGH A 1/2-INCH KNOCKOUT IN A STANDARD ELECTRICAL ENCLOSURE.
- e.c. TIME-DELAY AND SENSITIVITY ADJUSTMENTS: RECESSED AND CONCEALED BEHIND HINGED DOOR.
- f. INDICATOR: DIGITAL DISPLAY, TO SHOW WHEN MOTION IS DETECTED DURING TESTING AND NORMAL OPERATION OF SENSOR.
- g. BYPASS SWITCH: OVERRIDE THE "ON" FUNCTION IN CASE OF SENSOR FAILURE.
- h. AUTOMATIC LIGHT-LEVEL SENSOR: ADJUSTABLE FROM 2 TO 200 FC; TURN LIGHTS OFF WHEN SELECTED LIGHTING LEVEL IS PRESENT.

K. EXTERIOR LIGHTING CONTROL PANEL ASSEMBLY

1. HANDS OFF AUTO SWITCH
 - a. HANDS OFF AUTO 3 POSITION SELECTOR SWITCH WITH CENTER OFF POSITION.
2. TIME SWITCHES
 - a. ELECTRONIC TIME SWITCHES: SOLID STATE, PROGRAMMABLE, WITH ALPHANUMERIC DISPLAY; COMPLYING WITH UL 917.
 - b. CONTACT CONFIGURATION: DPST.
 - c. CONTACT RATING: 30-A INDUCTIVE OR RESISTIVE, 240-VAC.
 - d. PROGRAMS: TWO ON-OFF SET POINTS ON A 24-HOUR SCHEDULE, ALLOWING DIFFERENT SET POINTS FOR EACH DAY OF THE WEEK AND AN ANNUAL HOLIDAY SCHEDULE THAT OVERRIDES THE WEEKLY OPERATION ON HOLIDAYS.
 - e. CIRCUITRY: ALLOW CONNECTION OF A PHOTOELECTRIC RELAY AS SUBSTITUTE FOR ON-OFF FUNCTION OF A PROGRAM ON SELECTED CHANNELS.
 - f. ASTRONOMIC TIME: ALL CHANNELS.
 - g. AUTOMATIC DAYLIGHT SAVINGS TIME CHANGEOVER.
 - h. BATTERY BACKUP: NOT LESS THAN SEVEN DAYS RESERVE, TO MAINTAIN SCHEDULES AND TIME CLOCK.
3. OUTDOOR PHOTOELECTRIC SWITCHES
 - a. SOLID STATE, WITH SPST DRY CONTACTS RATED FOR 1800 VA INDUCTIVE, TO OPERATE CONNECTED RELAY, CONTACTOR COILS, OR MICROPROCESSOR INPUT; COMPLYING WITH UL 773A, AND COMPATIBLE WITH BALLASTS AND LED LAMPS.
 - b. LISTED AND LABELED AS DEFINED IN NFPA 70, BY A QUALIFIED TESTING AGENCY, AND MARKED FOR INTENDED LOCATION AND APPLICATION.
 - c. LIGHT-LEVEL MONITORING RANGE: 1.5 TO 10 FC, WITH AN ADJUSTMENT FOR TURN-ON AND TURN-OFF LEVELS WITHIN THAT RANGE, AND A DIRECTIONAL LENS IN FRONT OF THE PHOTOCELL TO PREVENT FIXED LIGHT SOURCES FROM CAUSING TURN-OFF.
 - d. TIME DELAY: FIFTEEN-SECOND MINIMUM, TO PREVENT FALSE OPERATION.
 - e. SURGE PROTECTION: METAL-OXIDE VARISTOR.
 - f. MOUNTING: TWIST LOCK COMPLIES WITH NEMA C136.10, WITH BASE-AND-STEM MOUNTING OR STEM-AND-SWIVEL MOUNTING ACCESSORIES AS REQUIRED TO DIRECT SENSOR TO THE NORTH SKY EXPOSURE.
 - g. FAILURE MODE: LUMINAIRE STAYS ON.

4. LIGHTING CONTACTORS

- a. ELECTRICALLY OPERATED AND MECHANICALLY HELD, COMBINATION-TYPE LIGHTING CONTACTORS WITH FUSIBLE SWITCH, COMPLYING WITH NEMA ICS 2 AND UL 508.
- b. CURRENT RATING FOR SWITCHING: LISTING OR RATING CONSISTENT WITH TYPE OF LOAD SERVED, INCLUDING TUNGSTEN FILAMENT, INDUCTIVE, AND HIGH-INRUSH BALLAST (BALLAST WITH 15 PERCENT OR LESS THD OF NORMAL LOAD CURRENT).
- c. FAULT CURRENT WITHSTAND RATING: EQUAL TO OR EXCEEDING THE AVAILABLE FAULT CURRENT AT THE POINT OF INSTALLATION.
- d. ENCLOSURE: COMPLY WITH NEMA 250.
- e. PROVIDE WITH CONTROL AND PILOT DEVICES AS INDICATED ON DRAWINGS, MATCHING THE NEMA TYPE SPECIFIED FOR THE ENCLOSURE.



PHOTOMETRIC ANALYSIS PLAN - PAVILION

LEGEND

XX.X PHOTOMETRIC ANALYSIS
 FOOT-CANDLE LEVEL
 CALCULATION POINT

PHOTOMETRIC ANALYSIS SUMMARY

ROOM	AVERAGE (FC)	MAXIMUM (FC)	MINIMUM (FC)	MAX:MIN RATIO
BATHROOM	32.51	38.3	26.5	1.45
CONCESSION CANOPY	13.45	17.9	10.0	1.79
CONCESSION	41.35	55.2	27.2	2.03
STORAGE	12.53	13.9	10.3	1.35
TICKET SALES	38.20	46.8	27.3	1.71
TICKET SALES CANOPY	14.08	18.5	10.7	1.73



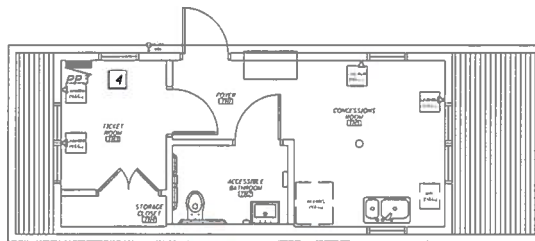
0 4
 HORIZONTAL
 SCALE IN FEET

CALCULATED
 DIM
 CHECKED
 CML

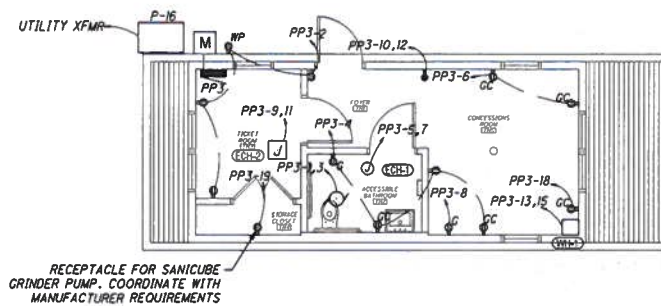
JACKSON STREET PIER REDEVELOPMENT - BUILDABLE UNIT #3B
 TICKET HOUSE PHOTOMETRIC PLAN

CITY OF SANDUSKY
 222 MEIGS STREET
 SANDUSKY, OHIO 44870

8U3B
 E03



PROPOSED LOW VOLTAGE PLAN



PROPOSED POWER PLAN

NOTES

- 1 REFER TO LIGHT FIXTURE SCHEDULE ON DETAILS SHEET FOR FIXTURE CATALOG NUMBERS.
- 2 ROOMS WITH VACANCY SENSORS SHALL HAVE THE FOLLOWING ORDER OF OPERATIONS: LIGHTS AUTOMATICALLY TURN OFF 30 MINUTES AFTER THE ROOM HAS BEEN VACATED.
- 3 ROOMS WITH OCCUPANCY SENSORS SHALL HAVE THE FOLLOWING ORDER OF OPERATIONS: LIGHTS AUTOMATICALLY TURN ON WHEN OCCUPANT ENTERS ROOM AND AUTOMATICALLY OFF 30 MINUTES AFTER THE ROOM HAS BEEN VACATED.
- 4 PROVIDE ROUGH-IN FOR POINT OF SALE ETHERNET SWITCH. COORDINATE EXACT LOCATION WITH OWNER.

FIXTURE TYPE LEGEND

- L1 METALUX 24FP LED
 L2 METALUX 22FP LED
 L3 HALO COMMERCIAL HC4/HM4
 LSI LUMIERE LANTERRA 9002-W1 DOWN
 XXE SUFFIX "E" INDICATES BATTERY PACK

LIGHTING SYMBOLS LEGEND

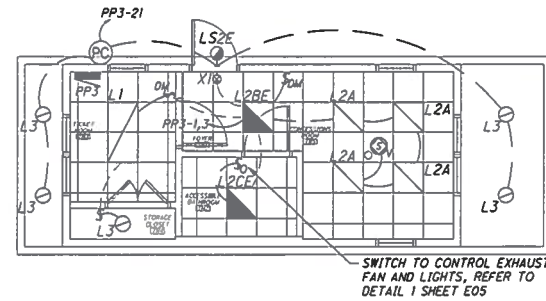
- S SINGLE POLE SWITCH
 S₃ THREE WAY SWITCH
 S_{DM} DIMMING SWITCH
 S_{DM} SENSOR SWITCH
 S_{DM} SENSOR TYPE DESIGNATION:
 O = OCCUPANCY
 D = DAYLIGHT
 V = VACANCY
- 2X2 RECESSED LIGHT FIXTURE
 2X4 RECESSED LIGHT FIXTURE
 RECESSED CAN LIGHT
 WALL MOUNTED LIGHT FIXTURE
 PHOTOCELL
 LIGHT CIRCUIT WIRING
 UN-SWITCHED HOT WIRING

POWER SYMBOLS LEGEND

- DUPLUX RECEPTACLE
 GFCI RECEPTACLE
 GFCI RECEPTACLE, COUNTER HEIGHT
 WEATHER PROOF GFCI RECEPTACLE
 PROPOSED POWER PANEL
 MOTOR
 JUNCTION BOX
 ELECTRIC UTILITY METER
 BRANCH CIRCUIT WIRING

LOW VOLTAGE SYMBOLS LEGEND

- POS DATA CONNECTION



PROPOSED LIGHTING PLAN



CALCULATED
 OHM
 CHECKED
 CML

JACKSON STREET PIER REDEVELOPMENT - BUILDABLE UNIT #3B
 PROPOSED TICKET HOUSE ELECTRICAL PLANS

CITY OF SANDUSKY
 222 MEigs STREET
 SANDUSKY, OHIO 44870

BU36
 E04

DEMOLITION NOTES

- 01 DISCONNECT EXISTING CIRCUITS, TO BE REFEED.
- 02 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES, CONDUCTORS, CONDUITS AND SWITCHES.

NOTES

- 1 REFEED EXISTING BRANCH CIRCUITS TO POWER PANEL PPI LOCATED IN E-1 ENCLOSURE. REFER TO BU2 DRAWING PACKAGE FOR ENCLOSURE LOCATION.
- 2 LIGHTING CONTROL, RESTRICTED TO MANUAL ON AND AUTOMATIC FULL SHUT-OFF, 20 MINUTES AFTER OCCUPANT LEAVES THE ROOM.

FIXTURE TYPE LEGEND

L1 METALUX 24FP LED
XXE SUFFIX 'E' INDICATES BATTERY PACK

PHOTOMETRIC SUMMARY LEGEND

XX.X PHOTOMETRIC ANALYSIS
FOOT-CANDLE LEVEL
CALCULATION POINT

LIGHTING SYMBOLS LEGEND

\$ SINGLE POLE SWITCH
SENSOR SWITCH
SENSOR TYPE DESIGNATION:
O = OCCUPANCY
D = DAYLIGHT
V = VACANCY
2X4 SURFACE MOUNT LIGHT FIXTURE
LIGHT CIRCUIT WIRING
UN-SWITCHED HOT WIRING

PANEL NAME		PP1 - PIER SITE		LOCATION		EXTERIOR					
SERVICE:		L-L 208		MOUNTING		ENCLOSURE					
		L-N 120		BUS		COPPER					
* - Denotes GFCI Type Breaker ** - Denotes Shunt Trip Type Breaker											
DESCRIPTION	LOAD AMPS	BREAKER POLE/AMPS	KILOVOLT-AMPS			KILOVOLT-AMPS			BREAKER POLE/AMPS	LOAD AMPS	DESCRIPTION
LTG - PIER (SOUTH)	2.8	3 20	0.33			1	2	0.72	1	20	6.0 REC - TREE PLANTER (SOUTH)
-	2.8	-	-	0.33		3	4	0.54	1	20	4.5 REC - TREE PLANTER (SOUTH)
-	2.8	-	-	0.33	5	6		0.54	1	20	4.5 REC - TREE PLANTER (SOUTH)
LTG - PIER (NORTH)	3.9	3 20	0.46			7	8	0.36	1	20	3.0 REC - TREE PLANTER (WEST)
-	3.9	-	-	0.46		9	10	0.36	1	20	3.0 REC - TREE PLANTER (WEST)
-	3.9	-	-	0.46	11	12		0.36	1	20	3.0 REC - TREE PLANTER (WEST)
REC - LIGHT POLE	9.0	1 20	1.08			13	14	0.54	1	20	4.5 REC - TREE PLANTER (NORTH)
REC - LIGHT POLE	9.0	1 20		1.08		15	16	0.54	1	20	4.5 REC - TREE PLANTER (NORTH)
REC - LIGHT POLE	9.0	1 20		1.08	17	18		0.54	1	20	4.5 REC - TREE PLANTER (NORTH)
REC - LIGHT POLE	9.0	1 20	1.08			19	20	0.18	1	20	1.5 REC - AT PANEL
REC - LIGHT POLE	9.0	1 20	1.08			21	22	0.18	1	20	1.5 REC - POST
REC - LIGHT POLE	7.5	1 20		0.90	23	24		0.30	1	20	2.5 LIGHTING CONTROL POWER
REC - AT PP-1	4.5	1 20	0.54			25	26	0.54	1	20	4.5 REC/USB - EAST
REC - AT PP-1	4.5	1 20		0.54	27	28		0.54	1	20	4.5 REC/USB - EAST
RESTROOM LIGHTING	1.7	1 20		0.20	29	30		0.54	1	20	4.5 REC/USB - EAST
SPACE	0.0	x x	0.00			31	32	0.00	x	x	0.0 SPACE
SPACE	0.0	x x		0.00		33	34	0.00	x	x	0.0 SPACE
SPACE	0.0	x x		0.00	35	36		0.00	x	x	0.0 SPACE
SPACE	0.0	x x		0.00	35	36		0.00	x	x	0.0 SPACE
PROVISIONAL SPACE	0.0	x x	0.00			37	38	0.00	x	x	0.0 PROVISIONAL SPACE
PROVISIONAL SPACE	0.0	x x		0.00		39	40	0.00	x	x	0.0 PROVISIONAL SPACE
PROVISIONAL SPACE	0.0	x x		0.00	41	42		0.00	x	x	0.0 PROVISIONAL SPACE
TOTAL	AMPS	KVA	MAIN BREAKER			MLO			BUS RATING		
BUS A	48.6	5.832	CONDUIT SIZE			SEE ONE LINE			A.I.C. SYM.		
BUS B	47.1	5.652	FEEDER SIZE			SEE ONE LINE			Total Connected Load		
BUS C	43.8	5.252	SOURCE			PDP			Estimated Demand Load		
									225A		
									35AIC		
									46.5 A		
									16.736 KVA		
									41.1 A		
									14.806 KVA		

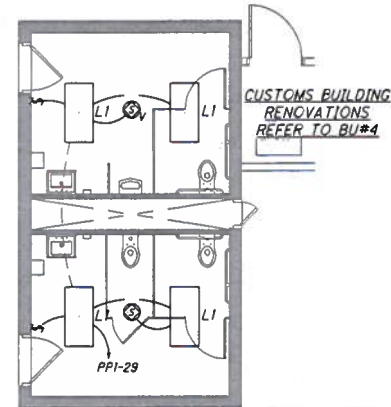
REFER TO BU2 DRAWING SET FOR ONE-LINE DIAGRAM

PHOTOMETRIC ANALYSIS SUMMARY

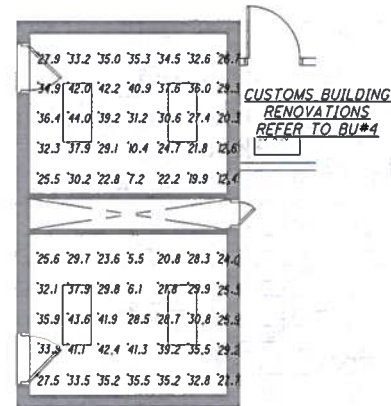
ROOM	AVERAGE (FC)	MAXIMUM (FC)	MINIMUM (FC)	MAX:MIN RATIO
MENS ROOM	29.32	44.0	7.2	6.11
WOMENS ROOM	30.45	43.6	5.5	7.93

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	CATALOG #	LAMPS	WATTS	REMARKS
L1	2x4 LED PANEL	METALUX	24FP4735C	LED	40.4	PROVIDE SURFACE MOUNT KIT FPSURF24.



PROPOSED LIGHTING PLAN - EXISTING RESTROOMS



PHOTOMETRIC ANALYSIS PLAN - EXISTING RESTROOMS