

Landmark Commission

240 Columbus Ave
Sandusky, Ohio 44870

419.627.5715

www.cityofsandusky.com

AGENDA

July 14, 2020

4:30 P.M.

Virtual Meeting Viewed on www.youtube.com/CityofSanduskyOH

-
- 1. Call to Order – Roll Call**
 - 2. Review of June 23, 2020 Meeting Minutes**
 - 3. Presentation from the Sandusky State Theatre**
 - 4. Certificates of Appropriateness**
 - a. 142 Columbus Ave. – Exterior Alterations
 - b. Demolition of 119 E. Market St.
 - c. New construction of Hogrefe-Cooke Building
 - 5. Staff Updates**
 - 6. Adjournment**

NEXT MEETING: August 19, 2020

Please notify staff at least 2 days in advance of the meeting if you cannot attend.

**Landmark Commission
June 23, 2020
Remote Meeting
Minutes**

Meeting called to order:

Chairman Dr. Berkey called the meeting to order at 4:30pm. The following members were present: Mr. Michael Zuilhof, Mr. Jon Lawrence, Mr. Joe Galea, Dr. Tim Berkey, Mr. Alan Griffiths, Mr. Ryan Nagel, and Commissioner Mike Meinzer. Mr. Thomas Horsman represented the Planning Department. Mr. Trevor Hayberger represented the Law Department.

Review of minutes from May 20, 2020:

Mr. Griffiths motioned to approve the minutes and Mr. Galea seconded the motion. All members were in favor of the motion and the minutes were approved.

1st application:

Dr. Berkey stated that the first application on the agenda is for a Certificate of Appropriateness for exterior alterations at 138 East Market Street.

Mr. Horsman explained that this is the Sandusky Artisans building. He stated that there are four proposed exterior alterations, all of which staff believe meet the Design Review Guidelines, therefore staff recommend approval of the alterations.

Mr. Zuilhof made a motion to approve the application and Mr. Galea seconded the motion. All members were in favor of the motion and the application was approved.

2nd application:

Dr. Berkey stated that the next application on the agenda is for a Certificate of Appropriateness for exterior alterations at 503 Columbus Avenue, which is the Zion Lutheran Church.

Mr. Horsman explained that there are eight proposed exterior alterations: 1) New sign location, 2) Two-faced digital message board sign, 3) Replacing handrails on entrance stairs, 4) Replacing existing stone steps with concrete steps, 5) Replacing sidewalks along Columbus Ave and Jefferson St, 6) Removing lexan windows on south façade and replace with limestone veneer with aluminum louvers at the top, 7) Cover stained glass window on south façade with vented aluminum louver, and 8) Install aluminum louver of west façade portico. He then explained that staff recommend approval of items one, three, five, and eight only, as the others do not conform to the guidelines.

Mr. Zuilhof made a motion to deny the entire sign portion of the application (items one and two) and Mr. Griffiths seconded the motion.

Mr. Galea stated that he is in favor of approving both items one and two as he believes the Grace Episcopal digital sign looks great and digital message boards are a way to provide information to the community.

Mr. Greg Schmid with Poulos and Schmid Design Group, Inc stated that the reason they are proposing to change the sign from being parallel to the road to perpendicular to the road, is so that cars driving along the road can see the sign. He also explained that the proposed size of the sign is due to that reason as well. He also said that the church offers many programs to the community and days and times of programs are always changing, so having a digital sign is the easiest way to communicate any changes as many people do not have the internet to look up this information and it is not possible to call everyone.

All members then voted against the motion to deny items one and two.

Mr. Zuilhof made a motion to approve items one and two, with the condition that the sign is not to be internally illuminated. Mr. Nagel seconded the motion. One member voted against the motion and the rest of the members voted for the motion. Therefore the motion passed.

Mr. Zuilhof made a motion to approve item three (replacing handrails on entrance stairs) and Mr. Lawrence seconded the motion. All members were in favor of the motion, and the motion passed.

Mr. Zuilhof made a motion to deny item four (replacing existing stone steps with concrete steps) and Mr. Lawrence seconded the motion.

Mr. Schmid stated that the current state of the steps do not meet code as they are cracked and chipped. They are also not able to be repaired to their original condition.

Commissioner Meinzer asked what the cost difference is to do the steps in concrete as proposed, versus the sandstone, which is currently there.

Pastor Eric of Zion Lutheran Church, replied that the sandstone would cost about five times the amount of the concrete.

All members voted against the motion.

Mr. Galea then made a motion to approve item three. Mr. Griffiths seconded the motion. All members were in favor of the motion and the motion passed.

Mr. Lawrence made a motion to approve item five as presented by the applicant (replacing the sidewalks along Columbus Ave and Jefferson St) and Mr. Galea seconded the motion. All members were in favor of the motion and the motion passed.

Mr. Griffiths asked if Mr. Schmid could explain the rational behind items six (removing the lexan windows on the south façade and replacing with limestone veneer and aluminum louvers at the top) and seven (cover stained glass window on south façade with vented aluminum louver) before making a motion.

Mr. Schmid stated that part of the rational behind the proposed alterations in item six is due to the limestone veneer and aluminum louvers are already present in other parts of the building, so this would carry that look on to the south side of the building. He then explained that it would cost about \$80,000 to restore the stained glass windows and about \$35,000-\$40,000 to safely remove the window and store it until someone wanted to cover the cost of restoring that window. Therefore, they made the decision to cover the window until someone offers to cover the cost of restoring the window, and covering the window would not hurt the window in any way.

Mr. Griffiths made a motion to approve items six and seven and Mr. Zuilhof seconded the motion. All members were in favor of the motion and the motion passed.

Mr. Lawrence made a motion to approve item eight (install aluminum louver of west façade portico) and Mr. Galea seconded the motion. All members were in favor of the motion, and the motion passed.

Staff updates/new business:

Dr. Berkey stated that during demolition of the Cooke building, there was some damage done to the building on Market Street that was supposed to be protected during demolition. He stated that along with that, there is a list of other things that are now apparently beyond repair. The owners and/or their agent asked last week if they could present at today's Landmark Commission and ask the commission to make a decision at today's meeting on demolition of that building while all of the equipment is already there. He stated that he declined that offer as he would like a construction report regarding their claims, along with an application for demolition, and allow the Landmark Commission to take a tour of the building that they would like to demolish. He stated he would also like to give the public notice of the meeting and allow them to give input.

Mr. Zuilhof asked the law director if a public hearing would be out of order.

Mr. Trevor Hayberger stated that he would have to look into that.

Mr. Zuilhof stated that it would be a good idea to review the Cooke Building demolition application and meeting minutes before touring the Market Street tour and meeting date.

Mr. Horsman stated that staff were asked by the City Commission Clerk to reschedule the July 15th Landmark meeting, due to another meeting taking place at that time, and so staff are proposing to meet the day before on July 14th at the normal meeting time. Mr. Horsman asked if members could check their calendars and staff will follow up with them via email on that proposed date.

Mr. Griffiths stated that he took a tour of the Sandusky State Theater and viewed the damage done by the recent storm. He stated that he spoke with the state theater board and executive director and he wanted to let the Landmark Commission know that they are actively involved with trying to save as much of the building that is able to be saved. He said that they would like to come brief the commission on the status of the building, demolition plans for the parts not salvageable, and preliminary reconstruction plans at the next meeting.

Meeting adjourned:

Mr. Griffiths moved to adjourn the meeting at 6:22pm.

Approved by:

Kristen Barone, Clerk

Timothy Berkey, Chairman

LANDMARK COMMISSION REPORT

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR EXTERIOR ALTERATIONS TO 142 COLUMBUS AVE.

Reference Number: PLC 20-0014

Date of Report: July 7, 2020

Report Author: Thomas Horsman, Assistant Planner



City of Sandusky, Ohio

Landmark Commission Report

BACKGROUND INFORMATION

| | |
|-------------------|--|
| Applicant: | Aaron Byington 142 Columbus Ave. Sandusky, OH 44870 |
| Owner: | Zeller Gaming Enterprises, LLC 142 Columbus Ave. Sandusky, OH 44870 |
| Site Location: | 142 Columbus Ave. Sandusky, OH 44870 |
| Historic Status: | Contributing building in the Downtown Sandusky Commercial Historic District |
| Existing Uses: | Bar and restaurant |
| Proposed Project: | Renovating the second floor into additional restaurant space and replacing the second story windows with a singular sliding window unit and replacing the front door |

SITE DESCRIPTION

Building location at 142 Columbus Ave.



142 Columbus Ave throughout the decades.



DEPARTMENT OF PLANNING COMMENTS

The building at 142 Columbus Ave. was originally the home of Union Bank and was constructed in 1853. The building underwent a modernization circa 1870, which is when the mansard roof was added. At some point, the front façade of the building was drastically altered from its original appearance. On the Ohio Historic Inventory survey form from 1979, it was stated that the second floor windows and ground floor storefront had been altered. Since that time, the second floor windows were altered again and reduced in size.

This property last received a Certificate of Appropriateness from the Landmark Commission in 2017. Those approved items included removing stucco on the façade to open up the transom window, adding signage, replacing the doorway, and replacing the front storefront windows.

This application is requesting to add a singular sliding window that would replace the three smaller windows on the second floor. The window would be made of aluminum and black in color. An example photo of the folding window system has been included with the application packet.

CONCLUSION/RECOMMENDATION

The façade of the building has been so heavily altered over the years that the first and second stories retain little to no original historic features. The window openings were significantly reduced in size and are much smaller than the original windows in the building. Replacing the three windows with a singular sliding window would not be detrimental to the historic character of the building. Staff recommends approval of the certificate of appropriateness.

Application for a Certificate of Appropriateness

STAFF USE ONLY:

Filing Date: _____ Hearing Date: _____ Reference Number: _____

Address of Property for Certificate of Appropriateness: 142 Columbus Ave.
Name of Property Owner: AAON Byington / ~~Barra~~ Barra Properties
Mailing Address of Property Owner: 142 Columbus Ave Sandusky, OH
City: Sandusky State: OH Zip: 44870
Telephone #: 419-656-4499 Email: Abyington4@aol.com

If same as above check here ☐

Name of Applicant: _____

Mailing Address of Applicant: _____

City: _____ State: _____ Zip: _____

Telephone #: _____ Email: _____

Description of Work to be Done:


Signature of Property Owner

6-18-20
Date

Signature of Authorized Agent

Date

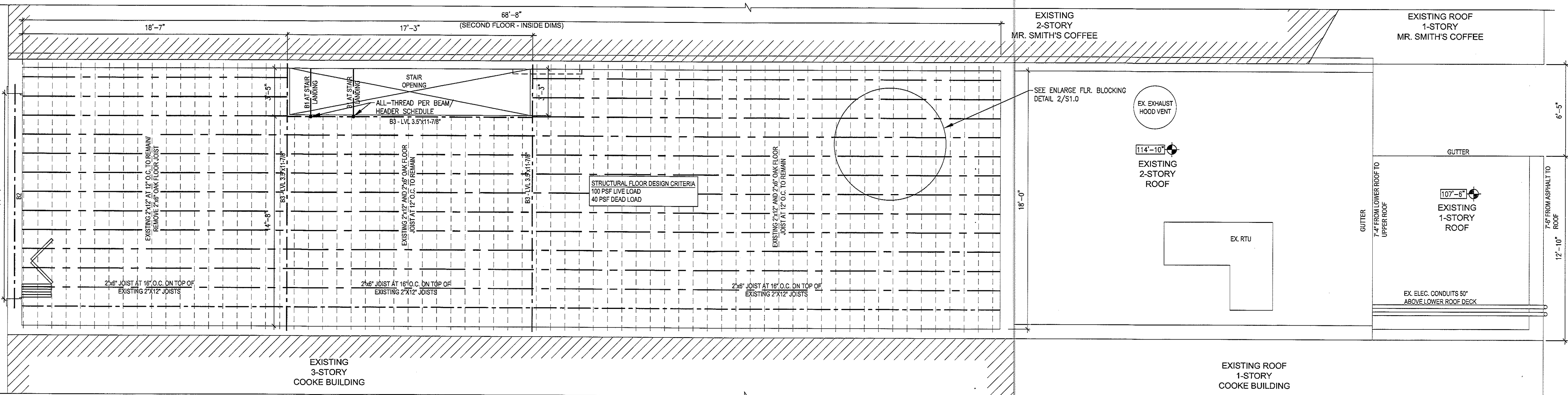
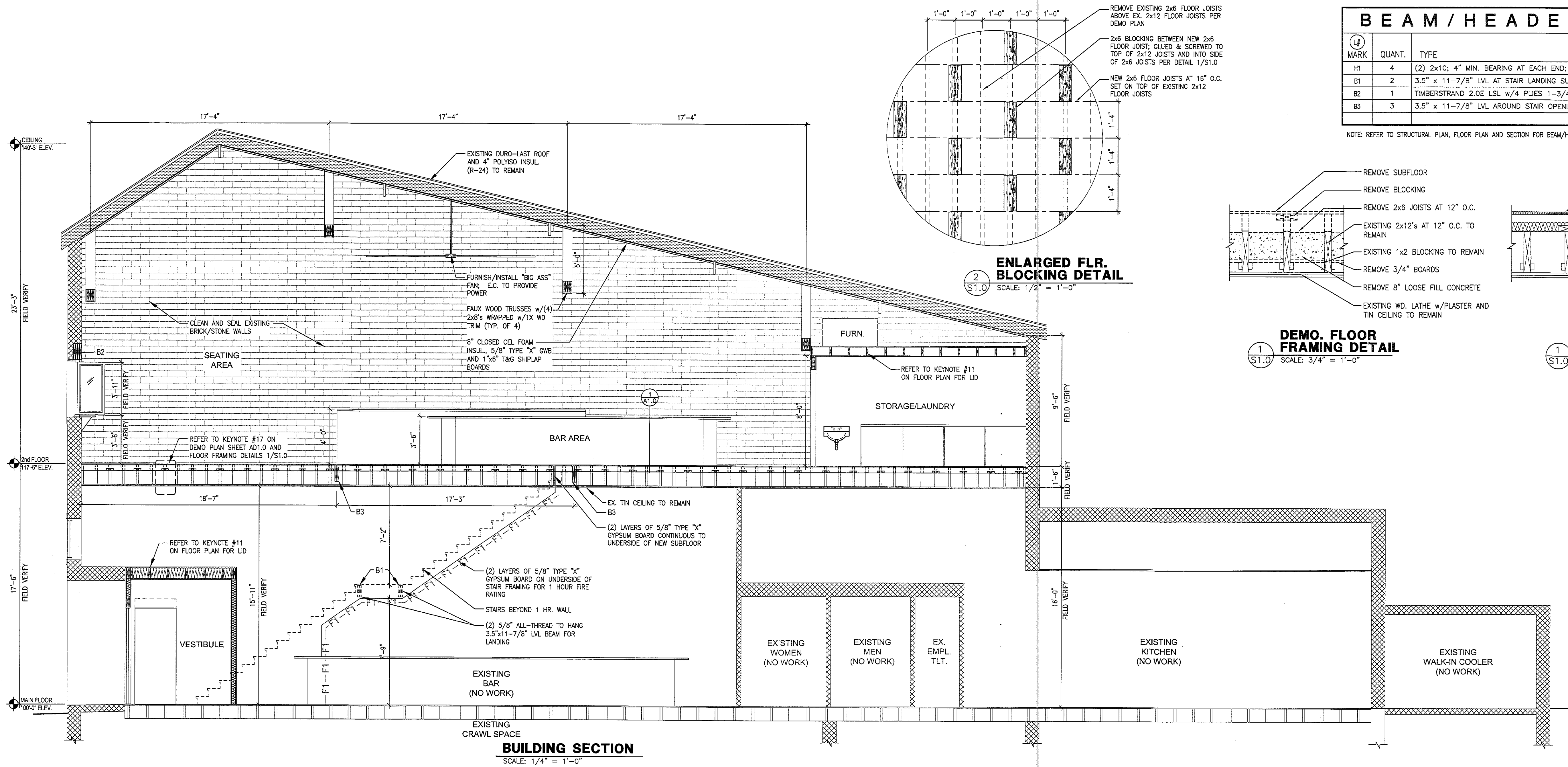
Example Photos from EZ-Fold-A-Door Catalog



Aluminium Folding Doors
[EZ-FD54]

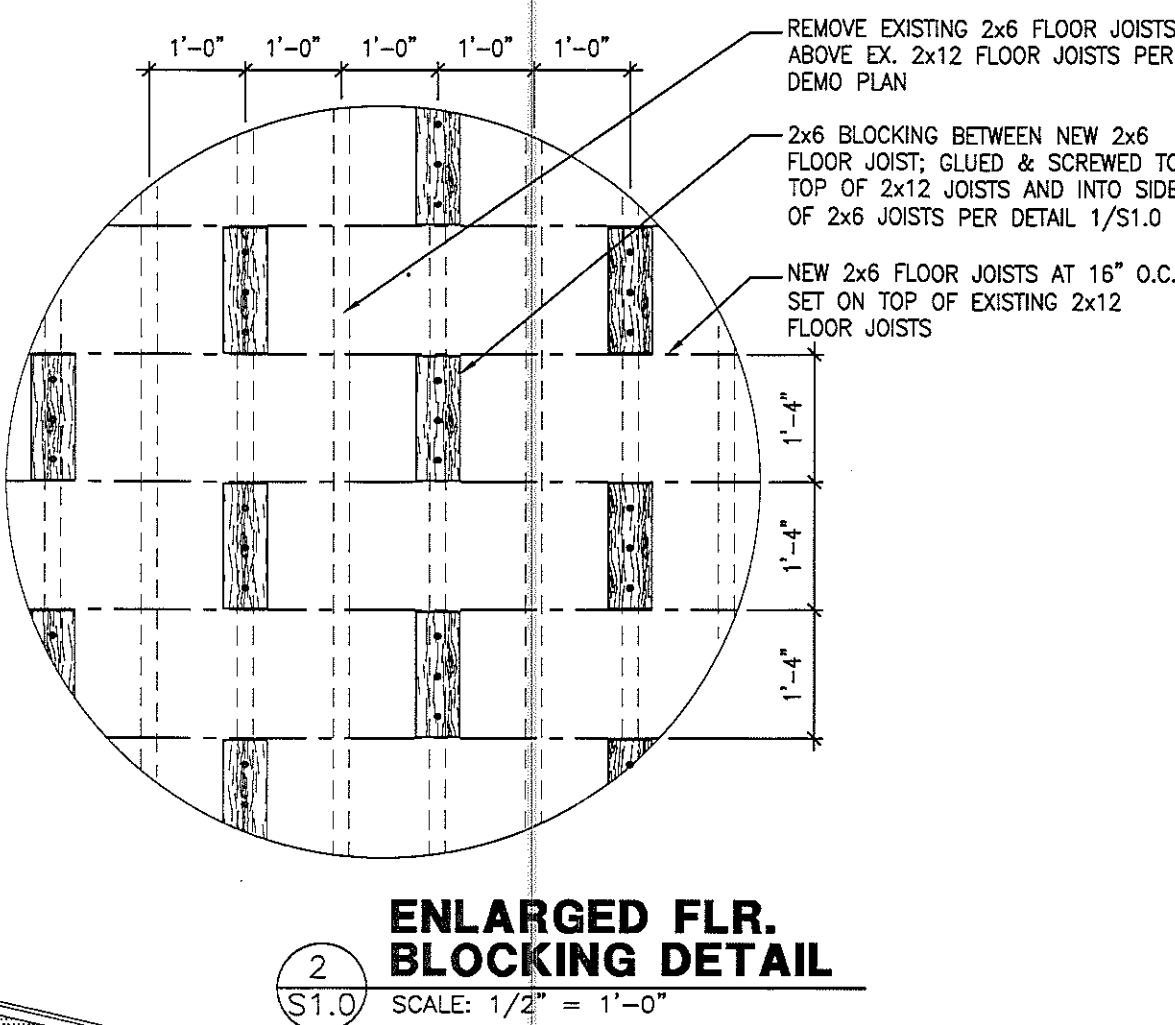
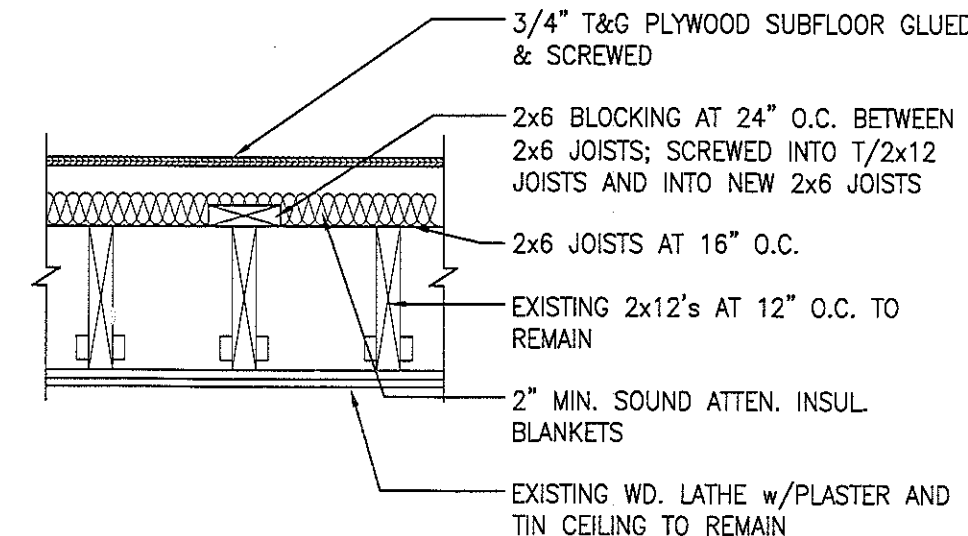
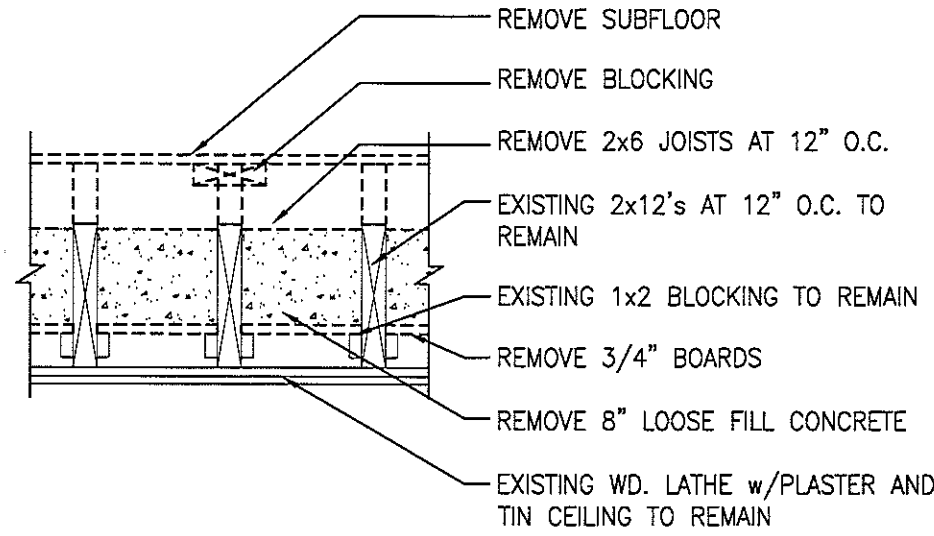
\$ Economical ⚡ Easy Installation 👍 Our Most Popular
Our most popular model, that fits well in commercial, residential and other environments.





| BEAM/HEADER SCHEDULE | | |
|----------------------|--------|---|
| MARK | QUANT. | TYPE |
| H1 | 4 | (2) 2x10; 4" MIN. BEARING AT EACH END; TYP. U.N.O. |
| B1 | 2 | 3.5" x 11-7/8" LVL AT STAIR LANDING SUSPENDED WITH 5/8" ALLTHREAD FROM B3 ABOVE |
| B2 | 1 | TIMBERSTRAND 2.0E LSL w/4 PLIES 1-3/4"x14" (TOTAL WIDTH 7") WITH MIN. 4" BEARING EACH END |
| B3 | 3 | 3.5" x 11-7/8" LVL AROUND STAIR OPENING |

NOTE: REFER TO STRUCTURAL PLAN, FLOOR PLAN AND SECTION FOR BEAM/HEADER LOCATIONS



| REVISIONS | |
|-----------|--|
| | |
| | |
| | |
| | |

POULOS + SCHMID
DESIGN GROUP

PS
ARCHITECTURE
CONSTRUCTION
MANAGEMENT

TITLE: SECOND FLOOR FRAMING PLAN
SECOND FLOOR ALTERATIONS
ARRIBA BAR
142 COLUMBUS AVE. SANDUSKY, OH

STATE OF OHIO
GREGORY
SCHMID
10827
REGISTERED ARCHITECT

DATE: MAY 4, 2020
PROJ. NO. 6919
SHEET
S1.0

| FINISH SCHEDULE | | | | | | | |
|-----------------|---------------------|----------------|----------|---------|--------|-----------|-----------------------------|
| NAME | FLOOR | WALLS | WAINSCOT | BASE | CLG. | CLG. HGT. | REMARKS |
| VESTIBULE | ENTRY MATTE | PAINTED GWB/WD | | WOOD | GWB/WD | 9'-0" | 1 HR RATED WALL AND CEILING |
| CLOSET #1 | ETR | PAINTED GWB | | WOOD | GWB | | 1 HR RATED WALL AND CEILING |
| STAIR | RUBBER TREAD/RISERS | PAINTED GWB | | WOOD | GWB/WD | 15'-6" | 1 HR RATED WALL AND CEILING |
| WOMENS RR | TILE | PAINTED MR/GWB | 64" TILE | 4" TILE | GWB/WD | 8'-0" | |
| MENS RR | TILE | PAINTED MR/GWB | 64" TILE | 4" TILE | GWB/WD | 8'-0" | |
| STORAGE/LAUNDRY | LVT | FRP | | WOOD | GWB | 8'-0" | |
| BAR | LVT | BRICK/STONE | | WOOD | GWB/WD | VARIES | |
| SPRINKLER RM. | ETR | PAINTED GWB | | ETR | GWB | 15'-6" | |

- INTERIOR FINISH TRIM AND DECORATIVE MATERIALS SHALL BE CLASS A TO CONFORM TO THE REQUIREMENTS OF SECTION 803.11 OF THE O.B.C.
- AREAS WHERE FLOOR, CEILING AND WALL FINISHES ARE TO REMAIN, IT WILL BE THE GC'S RESPONSIBILITY TO MATCH EXISTING FINISHES IN AREAS DISTURBED BY THE NEW CONSTRUCTION.
- ALL FINISHES TO EXISTING FLOOR, CEILING AND WALLS THAT ARE EFFECTED BY CUTTING AND PATCHING FOR THE NEW CONSTRUCTION AND WORK SHALL RECEIVE NEW FINISHES, PER THE FINISH SCHEDULE, FOR THE ENTIRE AREA OF THE FLOOR, WALL OR CEILING DISTURBED BY THE NEW CONSTRUCTION.
- FIREBLOCKING AND DRAFTSTOPPING MATERIALS SHALL BE INSTALLED PER THE REQUIREMENTS OF SECTION 716.0 OF THE O.B.C.
- THERMAL AND SOUND INSULATING MATERIALS SHALL BE INSTALLED PER THE REQUIREMENTS OF SECTION 718.0 OF THE O.B.C.

PAINTING SPECIFICATIONS:

MANUFACTURER: SHERWIN WILLIAMS OR APPROVED EQUAL. PAINT SUPPLIER SHALL FURNISH MSDS DATA FOR ALL PAINT IN COMPLIANCE WITH THE LATEST EDITION OF OBC AND VOC RATING SYSTEM. COLORS BY OWNER. PAINT SUPPLIER TO SELECT APPROPRIATE PRODUCTS FOR PROPER CLEANING, PREP, PRIMING AND PAINTING OF NEW AND/OR EXISTING SUBSTRATES.

- HOLLOW DOOR & FRAMES
1ST COAT-PROCRYL UNIVERSAL METAL PRIMER B66W310
2ND COAT-PRO INDUSTRIAL PRECATALYZED EPOXY SEMI GLOSS K46W151
3RD COAT-PRO INDUSTRIAL PRECATALYZED EPOXY SEMI GLOSS K46W151
- PAINTED STEEL LINTELS
1ST COAT-UTM PRIMER FINISH B66W1 OR PROCRYL UNIVERSAL METAL PRIMER B66W310
2ND COAT-A100 SATIN FINISH A82 SERIES
3RD COAT-A100 SATIN FINISH A82 SERIES
- GYP SUM BOARD
1ST COAT-PRIMER 200 LATEX PRIMER B28W8200
2ND COAT-PRIMER 200 EG SHELL B20 SERIES OR PROGREEN 200 EG SHELL B20W551
3RD COAT-PRIMER 200 EG SHELL B20 SERIES OR PROGREEN 200 EG SHELL B20W551

- INTERIOR WOOD
1ST COAT-PRIMER WALL & WOOD PRIMER B28W8111
2ND COAT-PRIMER 200 LATEX SEMI-GLOSS 931 SERIES OR PROGREEN 200 SEMI-GLOSS B31W651
3RD COAT-PRIMER 200 LATEX SEMI-GLOSS 931 SERIES OR PROGREEN 200 SEMI-GLOSS B31W651

- INTERIOR WOOD STAINING
1ST COAT-WOODCLASSIC 250 VOC
2ND COAT-MINWAX HI BUILD POLY
3RD COAT-MINWAX HI BUILD POLY

ABBREVIATIONS:
ETR - EXISTING TO REMAIN; PATCH AND REPAIR AS REQUIRED
FLOORING:
ENTRY MATTE - BASIS OF DESIGN IS "FORBO" CORAL DUO; COLOR: BLACK
LVT - BASIS OF DESIGN IS "MANNINGTON" COMMERCIAL LINE, "CITY PARK" OR "CROWN COLLECTION" FLOATING FLOOR w/ACOUSTICAL AND EXPANSION JOINTS; PATTERN AND COLOR: TBD. SALES REP: BARB MARTINSON (216) 440.0379 BARB_MARTINSON@MANNINGTON.COM
FLOOR TILE - 24"x12" RECTIFIED FIELD TILE; "AMERICAN OLEAN" - THEORETICAL; COLOR: TBD; VIRGINIA TILE REP: NATASHA CATLIN (216) 278-0117 ncatlins@virginiatile.com; EPOXY GROUT
EPOXY GROUT (ALL TILE) "TEC" OR "CUSTOM EPOXY GROUT FROM THOMAS BRICK REPS: KATE MILLS kmills@thomasbrick.com (440)892-9400. COLOR: TBD
RUBBER TREAD/RISERS - BASIS OF DESIGN IS "JOHNSONITE" OR "ROPPE"; RUBBER TREADS TO INCLUDE SLIP RESISTANT NOSINGS; COLOR: TBD
WALLS:
PAINTED GWB - 5/8" TYPE "X" GYPSUM WALL BOARD (PRIME/PAINT); LEVEL 4 FINISH
PAINTED MR/GWB - 5/8" TYPE "X" GYPSUM WALL BOARD AND BEAD BOARD PANELING (PRIME/PAINT)
PAINTED MR/GWB - MOISTURE RESISTANT GYP. BRD. IN ALL TOILET ROOMS WITH WASHABLE PAINTED SURFACES AND 1/2" CEMENT BOARD UNDER TILE WAINSCOT.
FRP - STANDARD 0.50" FIBERGLASS REINFORCED PANELS w/PEBBLE FINISH; BASIS OF DESIGN IS "MARLITE".
BRICK/STONE - REMOVE LOOSE DEBRIS, CLEAN ENTIRE SURFACE AND SEAL w/3 COATS OF CLEAR BRICK SEALER
WALL TILE - 24"x8" WALL TILE, "AM. OLEAN PERSPECTA" - COLOR: TBD; "SCHLUTER" SOARED METAL EDGE ALUM. TRIM AT TOP OF WALL
TILE; EPOXY GROUT.
EPOXY GROUT (ALL TILE) "TEC" OR "CUSTOM EPOXY GROUT FROM THOMAS BRICK REPS: KATE MILLS kmills@thomasbrick.com (440)892-9400. COLOR: TBD
CEILING:
GWB - 5/8" TYPE "X" GYPSUM WALL BOARD (PRIME/PAINT)
MTL/ETR - METAL CEILING TILES/EXISTING TO REMAIN; REPAIR AS REQUIRED.
GWB/WD - 5/8" TYPE "X" GYPSUM BOARD ON CEILING WITH 1"x6" T&G SHIPLAP WOOD GLUED & SCREWED AS FINISH
BASE:
WOOD BASE - MATCH PROFILE OF EXISTING WOOD BASE; PRIME AND PAINT; COLOR: TBD.
BASE TILE - "AM. OLEAN PERSPECTA" - COLOR: TBD; "SCHLUTER" COVED TRIM AT FLOOR/WALL TRANSITION
MILLWORK:
FURNITURE:
CABINETS AND COUNTERTOPS: "WILSONART" PREMIUM LAMINATE; COLOR: TBD; BENNETT SUPPLY, AMY MURRAY, murray@bennettsupply.com (800)292-5577
PAINT:
P-T - PAINT COLORS SELECTED BY ARCHITECT; REFER TO PAINT SPECS

- ### GENERAL KEYNOTES
- REFER TO HEADER/BEAM SCHEDULE FOR ALL DOOR HEADERS AND STEEL BEAMS
FURNISHINGS AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY OWNER (TYPICAL UNLESS NOTED OTHERWISE); REFER TO FINISH PLAN SHEET. REFER TO KITCHEN EQUIPMENT SUPPLIER'S PLAN AND EQUIPMENT SCHEDULE FOR PLACEMENT AND QUICK CONNECTION UTILITIES.
- BUILT-IN BAR, COUNTERTOPS, SHELVING AND CABINETS BY MILLWORK CONTRACTOR USING RECLAIMED WOOD; SUBMIT SHOP DWGS. FOR APPROVAL.
- 5/8" MOISTURE RESISTANT (M.R.) GWB IN TOILET ROOMS w/WASHABLE PAINT
- TOILET ACCESSORIES FURNISHED/INSTALLED BY G.C.; REFER TO INTERIOR ELEVATIONS AND ACCESSORY SCHEDULE.
- ALL INTERIOR SIGNAGE FURNISHED/INSTALLED BY G.C. AND PER ACCESSIBILITY GUIDELINES. BASIS OF DESIGN IS "REM GRAPHICS & SIGNS"; REFER TO INTERIOR SIGNAGE DETAILS ON SHEET A2.0.
- FIRE EXTINGUISHER & SEMI-RECESSED CABINET PER ACCESSORY SCHEDULE (TYP. OF 2).
- FRP ON WALLS IN STORAGE/LAUNDRY ROOM PER ROOM FINISH SCHEDULE
- WOOD HANDRAIL (STAINED) AT 34" A.F.F. w/WALL SUPPORT BRACKETS AT 4'-0" O.C. MAXIMUM (TYP. ON BOTH SIDES OF STAIRS). EXTEND 12" PAST BOTTOM AND TOP LANDINGS OR RETURN TO WALL
- GLASS/ALUM. GUARDRAIL SYSTEM AT 48" A.F.F. WITH ALL COMPONENTS FOR A COMPLETE INSTALLATION; BASIS OF DESIGN IS CRL 05 7310 WET GLAZED RAILING BY C.R. LAURENCE CO. (800) 421-6144; MONOLITHIC TEMPERED THICKNESS 3/4" GLASS, CRL #85A SHOE BASE; ALUM. 6063-T52; CRL10 METAL CAP RAILING w/LOW PROFILE; ALUM. HANDRAIL BRACKETS; HRH15 HEAVY WALL 1.5" DIA.
- 2x4 TRIPLE JACK STUD COLUMN WRAPPED w/WOOD TRIM TO MATCH WOOD CASING AROUND WINDOWS AND DOOR
- 2x8 JOISTS AT 16" O.C. WITH 3/4" PLYW. SHEATHING ON TOP AND 5/8" GYP. BRD. w/T&G BOARDS ON BOTTOM FOR CEILING FINISH IN VESTIBULE.
- (2) LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ON UNDERSIDE OF STAIRS FOR 1 HOUR FIRE RATED CEILING PER OBC TABLE 722.8.2(1) TIME ASSIGNED TO WALLBOARD MEMBRANES.
- CLEAR AND TEMPERED GLASS PER WINDOW SCHEDULE. GYP BRD WRAPPED OPENING WITH WOOD STOPS, JAMBS AND CASING TRIM
- 4"x3"-3" STAIR LANDING AT ELEV. 8'-9"; (4) 2x12 STRINGERS; SEE STRUCTURAL PLAN FOR BEAMS AT LANDING.
- 2x8 JOISTS AT 16" O.C. WITH 3/4" PLYW. SHEATHING ON TOP AND 5/8" GYP. BRD. FINISHED ON BOTTOM (TYPICAL OVER MENS TLT. RM., WOMENS TLT. RM. AND STORAGE ROOM).
- NEW WOOD STAIRS w/(3) 2x12 STRINGERS; SEE STRUCTURAL PLAN FOR BEAMS AT LANDING; MAX. RISER IS 7" HEIGHT AND MIN. TREAD IS 11"
- FOLDING WINDOW SYSTEM w/RETRACTABLE SCREENS, TRACK, HARDWARE AND ALL NECESSARY COMPONENTS FOR A COMPLETE INSTALLATION; REFER TO WINDOW SCHEDULE.

- ### GENERAL PARTITION NOTES
- REFER TO ROOM FINISH SCHEDULE FOR ALL FINISHES.
 - WALL TYPES SHOW ONLY BASE WALL CONSTRUCTION.
 - SEE FLOOR PLANS FOR SPECIFIC LOCATIONS OF PARTITION WALLS
 - INTERIOR FINISH TRIM AND DECORATIVE MATERIALS SHALL CONFORM TO THE LATEST EDITION OF O.B.C. SECTION 803.11 FOR INTERIOR FINISHES.
 - INTERIOR SIGNAGE SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR IN COMPLIANCE WITH OHIO ACCESSIBILITY GUIDELINES.

- ### WALL LEGEND
- EXISTING WALLS TO REMAIN (ETR)
- 2x4 WOOD STUDS AT 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDES AND 3.5" SOUND ATTENUATION INSULATION; CONTINUOUS TO GWB CEILING ABOVE APPROX. 8'-0" A.F.F.
 - 2x4 WOOD STUDS AT 16" O.C. WITH 5/8" MR MOISTURE RESISTANT GWB ON INTERIOR SIDE OF TOILET ROOM, 5/8" TYPE "X" GWB ON EXTERIOR SIDE AND 3.5" SOUND ATTENUATION INSULATION; CONTINUOUS TO GWB CEILING ABOVE APPROX. 10'-0" A.F.F.
 - 1 HOUR FIRE RATED STAIRS ENCLOSURE UL-LISOS 2x4 WOOD STUDS AT 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON BOTH SIDES AND 3.5" SOUND ATTENUATION INSULATION; CONTINUOUS TO GWB CEILING ABOVE APPROX. 15'-6" A.F.F.; (2) LAYERS OF 5/8" TYPE "X" ON INSIDE AND (3) LAYERS ON EXTERIOR SIDE OF STAIR WALLS INSTALLED.
 - GUARDRAIL SYSTEM OR KNEEWALL WITH 2x4 WOOD STUDS AT 16" O.C. AT 48" HT.
 - 2x6 WOOD STUDS AT 16" O.C. WITH 5/8" MR MOISTURE RESISTANT GWB ON INTERIOR SIDE OF TOILET ROOM, 5/8" TYPE "X" GWB ON EXTERIOR SIDE AND 3.5" SOUND ATTENUATION INSULATION; CONTINUOUS TO GWB CEILING ABOVE APPROX. 10'-0" A.F.F.
 - 2ND FLOOR PERIMETER WALLS - CLEAN EXISTING BRICK, REMOVE EXCESS MORTAR, TUCK-POINT AS REQUIRED AND APPLY SEALANT

REVISIONS

| | |
|--|--|
| | |
| | |
| | |
| | |

THESE DRAWINGS AND THE INFORMATION ON THEM REPRESENT THE ORIGINAL AND UNPUBLISHED WORK OF POULOS + SCHMID DESIGN GROUP, INC. REGISTERED ARCHITECTS AND SHALL NOT BE COPIED AND/OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECTS. 2020 ©

POULOS + SCHMID DESIGN GROUP

ARCHITECTURE
CONSTRUCTION
MANAGEMENT

777 E. BREKING AVE. SANDUSKY, OHIO 44870
WWW.PSDG.US • 419.625.0009

TITLE: FIRST AND SECOND FLOOR PLANS

SECOND FLOOR ALTERATIONS

ARRIBA BAR

142 COLUMBUS AVE. SANDUSKY, OH

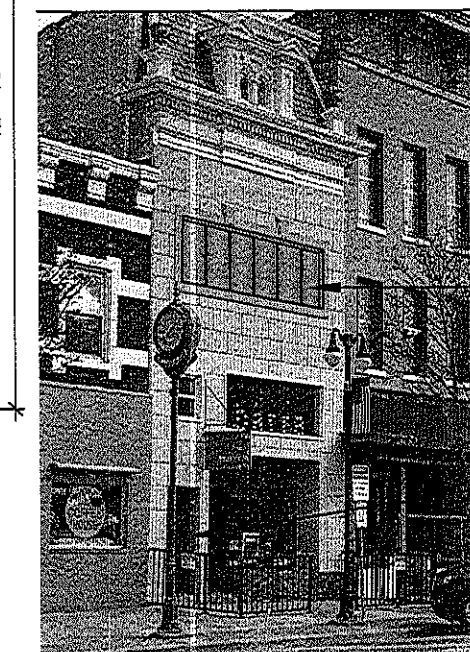
STATE OF OHIO
REGISTERED ARCHITECT
GREGORY L. SCHMID
10627

DATE: MAY 4, 2020

PROJ. No. 6919

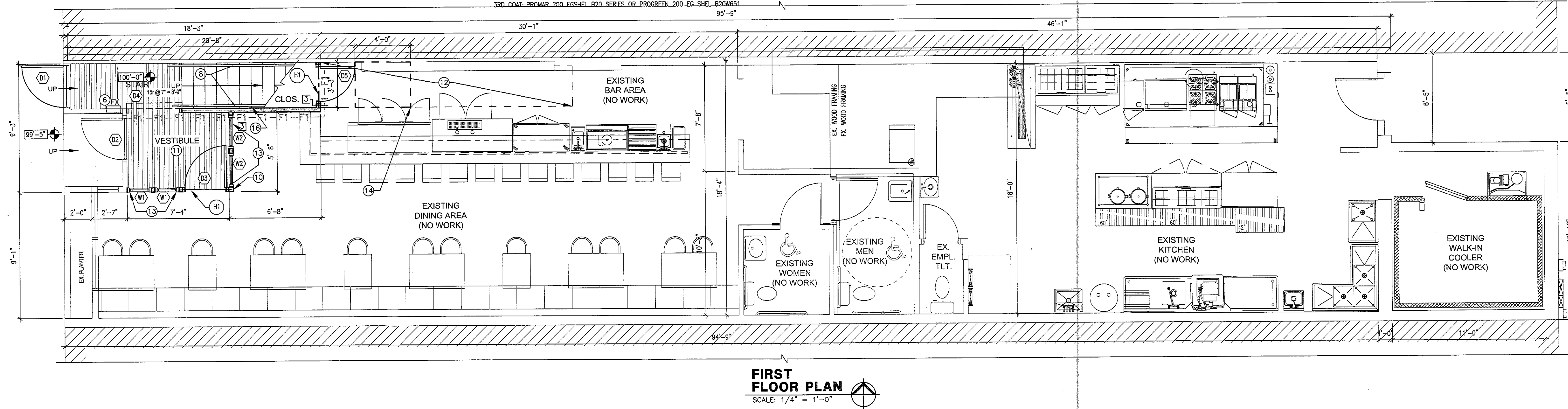
SHEET

A1.0

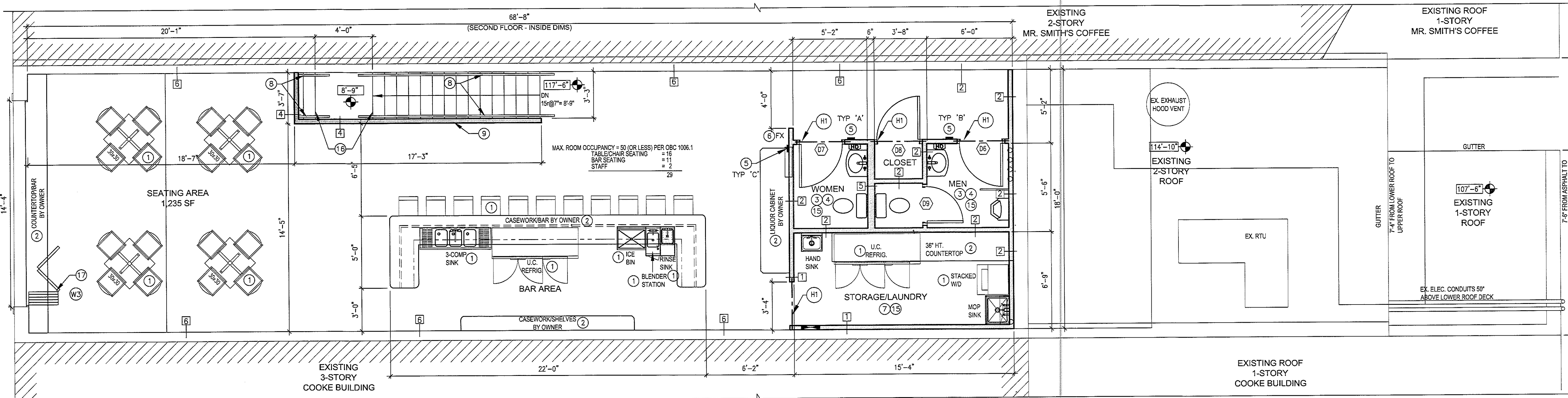


- NEW FOLDING WINDOW UNIT w/RETRACTABLE SCREEN PER WINDOW SCHEDULE; THIS REPLACES (3) DBL. HUNG WINDOWS WITHIN EXISTING EIFS SYSTEM.
- REPLACE EXIST'G ENTRY DOOR w/NEW PER DOOR SCHEDULE

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

| MARK | DESCRIPTION | MOUNTING HGT. | QTY. |
|--------|---|-----------------------------------|------|
| NOTE: | BASIC OF DESIGN IS "BOBRICK" — "BRADLEY" ACCESSORIES ARE AN APPROVED EQUAL. | | |
| (A-01) | TRASH CONTAINERS BY OWNER | | |
| (A-02) | SURFACE MOUNTED MULTI-ROLL TOILET PAPER DISPENSER BOBRICK MATRIX B-5289 | 28" A.F.F. | 2 |
| (A-03) | "SLOAN" XLERATOR ELECTRIC HAND DRYER; w/ELEC PROVIDED BY E.C. PER ELEC. DWGS. | 40" A.F.F. (A.D.A.) TO AIR OUTLET | 2 |
| (A-04) | SOAP DISPENSER BY OWNER | SET ON C.TOP | 2 |
| (A-05) | CUSTOM, DESIGNER MIRROR | 42" A.F.F. (BOT.) | 2 |
| (A-06) | STAINLESS STEEL SANITARY NAPKIN DISPOSAL BOBRICK D-234 SURFACE MOUNTED | 28" A.F.F. | 1 |
| (A-07) | #10 ABC FIRE EXTINGUISHER w/WALL MOUNTED BRACKET | WALL MOUNTED | 2 |

1. OWNER TO FURNISH/INSTALL TRASH CONTAINERS, SOAP DISPENSERS, HAND SANITIZERS, MIRRORS AND OTHER EQUIPMENT AS LISTED IN ACCESSORIES SCHEDULE.
2. G.C. TO FURNISH /INSTALL TOILET PAPER DISPENSERS, ELEC. HAND DRYERS, SANITARY NAPKIN DISPOSALS, INTERIOR SIGNAGE, FIRE EXTINGUISHERS/CABINETS AND SIGNAGE ABOVE FIRE EXTINGUISHERS.
3. REFER TO FINISH FLOOR PLAN ON A1.0 FOR OTHER EQUIPMENT/ACCESSORIES.
4. OWNER TO FURNISH/INSTALL ALL FURNITURE. CHAIRS SHALL HAVE HEAVY DUTY FELT PROTECTORS FROM WWW.1877FLOORGY.COM OR WWW.ALLGLIDES.COM.

- NOTE: REFER TO MILLWORK AND TOILET ACCESSORIES STANDARD MANUF'S SPECIFICATIONS.
1. CASEWORK & ARCHITECTURAL WOODWORK CONTRACTOR(S) SHALL CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS TO PROPERLY DETERMINE CONTRACTUAL RESPONSIBILITIES.
2. FOR ACTUAL ROOM DIMENSIONS REFER TO FLOOR PLANS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION.
3. OVERLAP WITH ADJACENT CABINETS SHALL BE PROVIDED. CABINETRY DIMENSIONS AS INDICATED ON PLANS - TOPS SHALL OVERLAP 1" AT EACH END AND 1" FROM THE FRONT OF BASE CABINET WHEN OVERALL DIMENSIONS ARE GIVEN, 1" OVERHANG IS NOT INCLUDED.
4. OVERALL HEIGHT OF BASE CABINET TOPS MUST BE MAINTAINED AS SHOWN ON INTERIOR ELEVATIONS.
5. INSTALLATION OF CASEWORK SHALL BEGIN AT THE HIGH POINT OF THE ROOM WITH THE LEVELERS IN AS FAR AS POSSIBLE.
6. COUNTERTOPS AND SPLASHES SHALL BE SCRIBED TO MATCH IRREGULARITIES AND CONTOURS OF WALLS. ALL C/TOPS AND SPLASHES ARE SOLID SURFACE (NO J-LAM).
7. CASEWORK SHALL BE INSTALLED ON TOP OF FINISHED FL FLOORING, BUT NOT OVER CARPET.
8. PROVIDE FINISHED BACK AND END PANELS TO COMPLETE THE ENCLOSURE OF ALL CABINERY TO WALLS AND ADJACENT CABINERY.
9. REFER TO ELECTRICAL GENERAL NOTES AND DRAWINGS FOR ADDITIONAL INFORMATION. OUTLETS ARE "B" TO CENTERLINE OF OUTLET BOX ABOVE ALL COUNTERTOPS. LOCATE OUTLETS WHEN FIELD VERIFYING C.A. DIMS.
10. PROVIDE 1/2" THICK FLAME RETARDANT FILLED ALUMINUM SUPPORTS OF CASEWORK ABUTS TWO WALLS.
11. PROVIDE "4" X "M HARDWARE" (OR EQUAL) 15" X 21" METAL SUPPORTS BRACKET (BLACK) AT ANY COUNTER OR SHELF SPANNING MORE THAN 4'-0" UNSUPPORTED.
12. SEE INT. FLOORING & CASEWORK LEGEND FOR LOCKING CONFIGURATIONS AND LOCATIONS
13. ALL EXPOSED, SEMI-EXPOSED AND CONCEALED WOOD (NOT COVERED BY PLASTIC LAMINATE) SHALL BE SEALED WITH A PIGMENTED SEALER.
14. ROUGH CARPENTRY CONTRACTOR TO FURNISH/INSTALL ALL FASTENERS AND WOOD/METAL BLOCKING IN WALLS FOR PROPER MOUNTING OF ACCESSORIES, GRAB BARS, DOOR STOPS, ETC., ETC.
15. MOUNTING HEIGHTS LISTED ARE PER MANUFACTURER'S RECOMMENDATIONS FOR BARRIER FREE DESIGN. SEE INTERIOR ELEVATIONS FOR LOCATIONS.
16. CABINET SUPPLIER TO PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION OF CABINETS.
17. CAULK ALL EDGES OF COUNTERTOPS, BACKSPLASH AND CABINETS AT WALLS.
18. REFER TO MATERIAL FINISH LIST PROVIDED BY OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTIONS.
19. CABINETS - FULL OVERLAY CONSTRUCTION MEETING AMI CUSTOM GRADE STANDARDS, WITH ALL EXPOSED SURFACES FINISHED WITH PREMIUM PLAST LAMINATE. ALL UNNOTED SURFACES ARE MELAMINE. CABINETS, SHELVES AND DRAWERS MADE OF 3/4" PLY PARTICLE BOARD CORE EQUAL TO U.S. PLYWOOD "NOVOPLY".
20. COUNTERTOPS - SOLID SURFACE w/INTERGRAL 4" BACKSPLASH IN "WET" LOCATIONS - ALL OTHERS SHALL BE PLASTIC LAMINATE. RADIUS EXTERIOR CORNERS. MADE OF 3/4" PLY PARTICLE BOARD CORE EQUAL TO U.S. PLYWOOD "NOVOPLY".

| Q# | MARK | TYPE | MAT'L | WIDTH | HCT. | THICK | FRAME | | | HDWE. | REMARKS |
|----|------|---|-------|-------|--------|---------|-------------------|------|------|-------|----------------------|
| | | | | | | | HEAD | JAMB | SILL | | |
| D1 | A | FIBERGL/INSUL | 3'-0" | 7'-0" | 1 3/4" | PREHUNG | ALUM | | 1 | | |
| D2 | | EXISTING DOOR/FRAME/HARDWARE TO REMAIN: | | | | | RESTORE AND PAINT | | | | |
| D3 | B | WOOD | 3'-0" | 7'-0" | 1 3/4" | H1 | J1 | - | 2 | | |
| D4 | D | STEEL | 4'-0" | 7'-0" | - | H2 | J2 | - | 5 | | 60 MIN. FIRE SHUTTER |
| D5 | C | WOOD | 3'-0" | 5'-0" | 1 3/4" | H1 | J1 | - | 3 | | |
| D6 | D | WOOD | 3'-0" | 7'-0" | 1 3/4" | H1 | J1 | - | 7 | | |
| D7 | D | WOOD | 3'-0" | 7'-0" | 1 3/4" | H1 | J1 | - | 4 | | |
| D8 | C | WOOD | 3'-0" | 7'-0" | 1 3/4" | H1 | J1 | - | 6 | | |
| D9 | C | WOOD | 2'-6" | 7'-0" | 1 3/4" | H1 | J1 | - | 4 | | |

1. HARDWARE FOR ALL EGRESS DOORS SHALL MEET THE REQUIREMENTS OF THE OBC SECTION 1017.4, 1017.4.1, & 1017.4.1.4 AND OHIO ACCESSIBILITY GUIDELINES. HARDWARE SUPPLIER SHALL SUBMIT AN AFFIDAVIT TO THE ARCHITECT STATING COMPLIANCE WITH CODE. REFER TO HARDWARE SCHEDULE BELOW.
 2. ALL BACKSETS 1/2"
 3. H.M. INDICATES DOOR FRAMES TO BE "STEELCRAFT" OR "AMWELD" 16 GA PRE-PRIMED HOLLOW METAL WITH 3 JAMB ANCHORS PER JAMB, UNLESS NOTED OTHERWISE. FINISH HOLLOW METAL FRAMES WITH 1 COAT PRIMER 2 COATS OF PAINT PER SCHEDULE. FILL WITH FOAM INSULATION
 4. PROVIDE WHITE (PAINTABLE) CAULK AROUND PERIMETER OF ALL HOLLOW METAL AND WOOD FRAMES AT INTERSECTIONS W/ADJACENT WALL
 5. ALL NEW DOORS SHALL CARRY A MINIMUM ONE YEAR WARRANTY OR GREATER IF PROVIDED BY MANUF.
- FIBERGL/NSUL SIX PANEL PRE-HUNG AND INSULATED FIBERGLASS ENTRY DOOR TO REPLACE OLD DOOR AND TO SWING OUT. PROVIDE ALL INTERNAL REINFORCING, ANCHORS, FASTENERS AND EXPANSION DEVICES AS REQUIRED.
- WOOD 5-PLY, BIRCH VENEER, SOLID CORE WOOD DOORS, PRE-FINISHED EQUAL TO MOHAWK. STAIN COLOR BY ARCHITECT.
- STEEL 60 MIN. FIRE RATED COILING SHUTTER DOOR WITH TRACKS AND ALL NECESSARY HARDWARE; PRIME AND PAINT (2) FINISH COATS.
- T TEMPERED GLASS IN ALL DOORS. TEMPERED GLASS IN ALL WINDOWS WITHIN 18" A.F.F. AND ADJACENT TO DOORS.

SCALE: 1-1/2" = 1'-0"

4 3/4"

5/8" 3 1/2" 5/8"

2" FACE

CAULK (TYPICAL)

16 GAGE COLD ROLLED MTL. FRAME

H1 2x4 WOOD STUDS

2x4 WOOD STUDS AT 16"o.c WITH 3 1/2" SOUND ATTENUATION INSULATION (TYP. PARTITION WALL CONSTRUCTION)

2" FACE

J1 2x4 WOOD STUDS

16 GAGE COLD ROLLED MTL. FRAME

CAULK (TYPICAL)

| W# | TYPE | MAT'L | R.O. SIZE | GLAZING | MANUF. | MUNTIN | FRAME COLOR | REMARKS |
|----|------|-------|----------------|---------|--------|--------|-------------|---------|
| W1 | A | HM | 1'-9" x 5'-0" | G-1 | — | — | | |
| W2 | A | HM | 2'-5" x 5'-0" | G-1 | — | — | | |
| W3 | B | ALUM | 14'-4" x 4'-0" | G-2 | — | — | | |

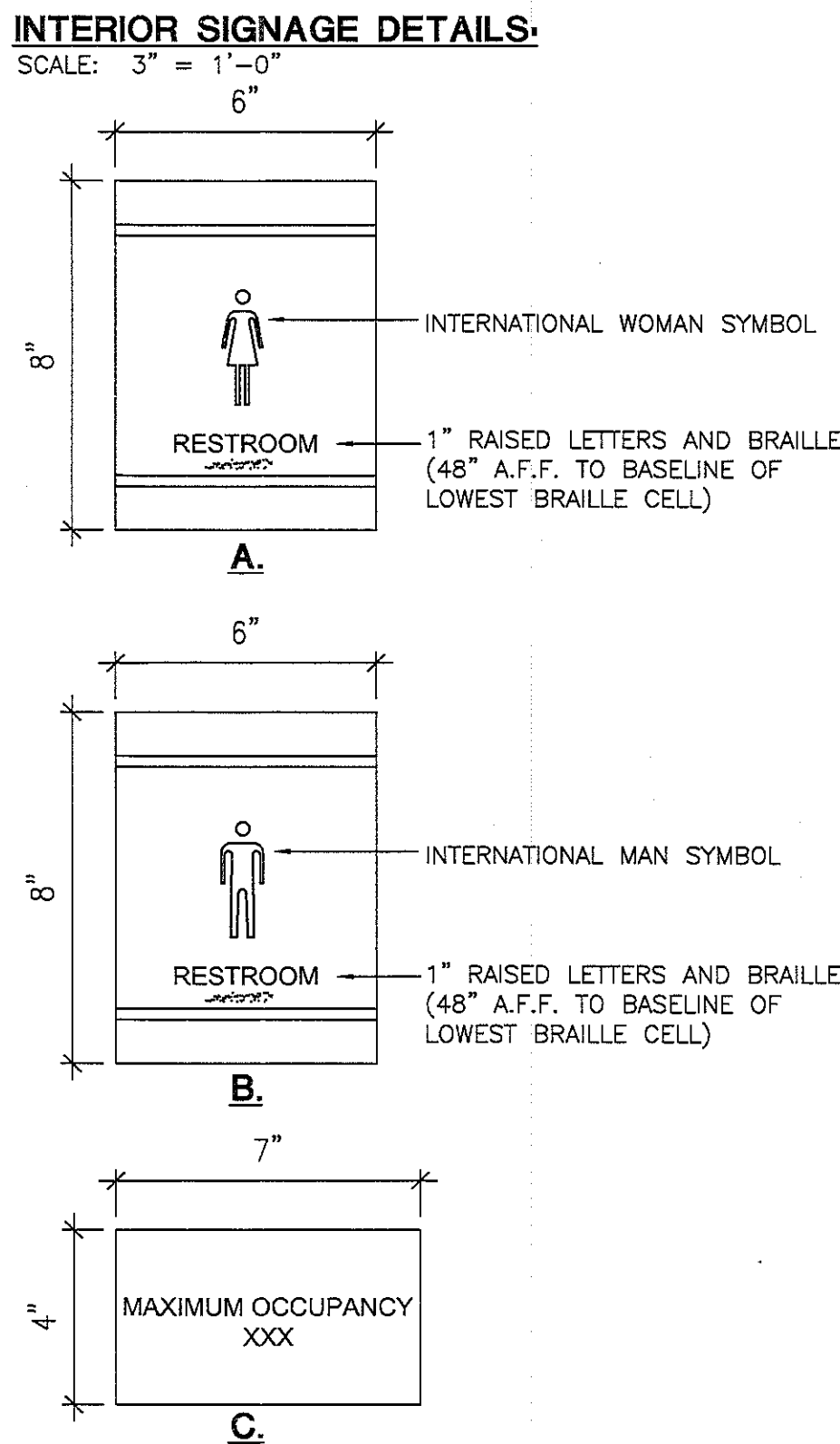
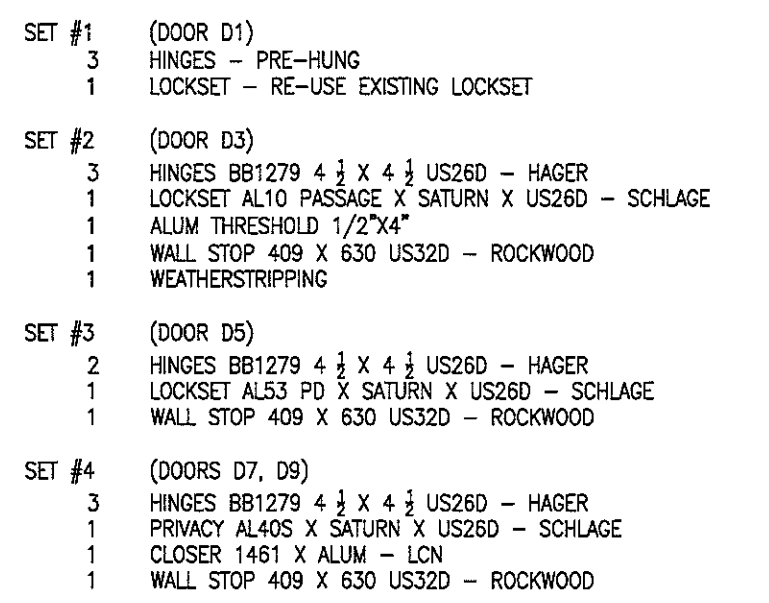
G-1 1 HOUR FIRE RESISTANT GLAZING, W-60 PER OBC TABLE 716.5

G-2 1" INSULATED, CLEAR, TEMPERED GLAZING IN EZFOLD WINDOW SYSTEM

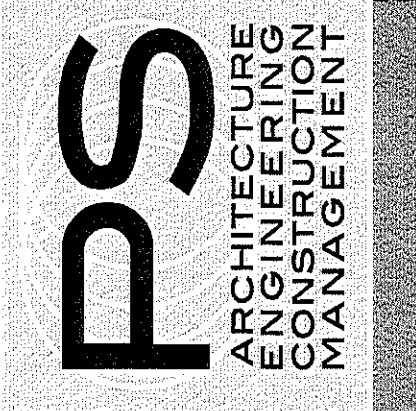
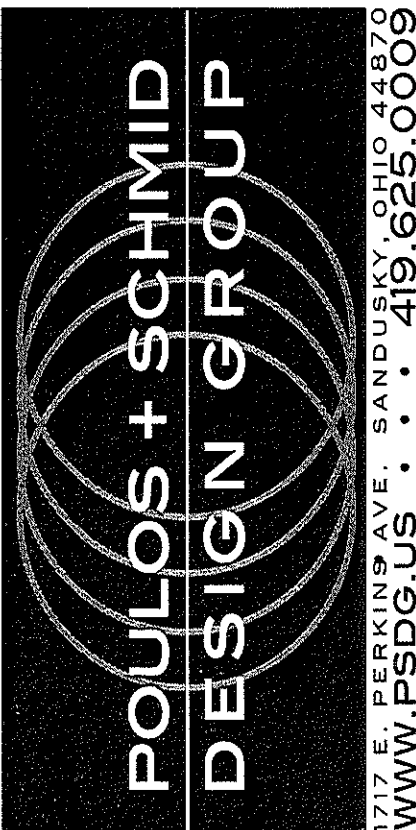
HM WELDED HOLLOW METAL BORROWLITE FRAME BY "STEELCRAFT"; PRIMED AND (2) FINISH COATS.

ALUM INSULATED AND THERMALLY BROKEN, FOLDING WINDOW SYSTEM w/RETRACTABLE SCREENS, TRACK, HARDWARE AND ALL NECESSARY COMPONENTS FOR A COMPLETE INSTALLATION; BASIS OF DESIGN IS WWW.EZFOLDADDOOR.COM "FOLD-A-DOOR" STANDARD EFFICIENCY ARCHITECTURAL ALUMINUM FD54; DUAL PANE TEMPERED FOLD OPTION:70; COLOR: BLACK (448); THRESHOLD: WINDOW: HARDWARE COLOR: BLACK

1. NEW SOLID SURFACE COUNTERTOP/ WINDOW SILL ON WINDOW W3.
2. REFER TO DOOR ELEVATIONS AND WINDOW ELEVATIONS FOR WINDOW TYPES AND SIZES.
3. ALL INTERIOR PERIMETER OF FRAMES TO BE CAULKED, COLOR TO MATCH HM FRAMES.
4. TEMPERED GLASS TYPICAL ON ALL INTERIOR WINDOWS WITHIN 18" OF FLOOR OR ADJACENT TO DOORS. TEMPERED GLASS TYPICAL IN ALL DOORS SCHEDULED FOR GLASS.
5. WOOD TRIM/CASING AROUND ALL WINDOWS INCLUDING HM BORROW LITES AND ALUMINUM FRAMES



| | |
|--|--|
| REVISIONS | |
| | |
| | |
| | |
| | |
| <p>THESE DRAWINGS AND THE INFORMATION ON THEM REPRESENT THE ORIGINAL AND UNPUBLISHED WORK OF FOULGOS + SCHMID DESIGN GROUP, INC. REGISTERED ARCHITECTS AND SHALL NOT BE COPIED AND/OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECTS. 2020 ©</p> | |

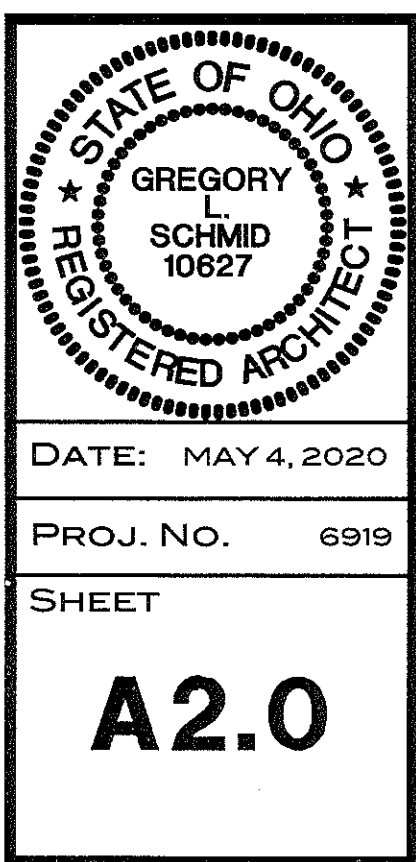


TITLE: INTERIOR ELEVATIONS, SIGNAGE, DOOR/WINDOW SCHEDULES

SECOND FLOOR ALTERATIONS

ARRIBA BAR

142 COLUMBUS AVE. SANDUSKY, OH



LANDMARK COMMISSION REPORT

APPLICATION FOR DEMOLITION OF 119 EAST MARKET STREET AND CONSTRUCTION OF THE HOGREFE-COOKE BUILDING

Reference Number: PLC 20-00113

Date of Report: July 7, 2020

Report Author: Thomas Horsman, Assistant Planner



City of Sandusky, Ohio

Landmark Commission Report

BACKGROUND INFORMATION

| | |
|-------------------|--|
| Applicant: | Jeff Foster Payto Architects 1220 West Sixth St., Suite 405 Cleveland, OH 44113 |
| Owner: | Cooke Building, LLC 201 West Water St. Sandusky, Ohio 44870 |
| Site Location: | 150-162 Columbus Ave. & 119 E. Market St. Sandusky, Ohio 44870 |
| Historic Status: | Contributing building in a National Register Historic District |
| Existing Uses: | Vacant |
| Proposed Use: | New construction and demolition |
| Proposed Project: | New construction and demolition |

SITE DESCRIPTION

Site of demolished Cooke Building outlined in blue. 119 E. Market St. outlined in red.



DEPARTMENT OF PLANNING COMMENTS

Demolition of the Cooke Building was approved by the Landmark Commission in September 2019. The application for demolition stated that the structure at 119 E. Market Street would remain and would be incorporated into the new structure that would be built on the Cooke site. The applicant presented preliminary development plans for new construction at the same September Landmark meeting. As part of the demolition approval, the Landmark Commission imposed the conditions that redevelopment plans must be approved within 90 days of the commencing of demolition and that construction must begin within 180 days. In November 2019, the Landmark Commission extended those deadlines to 180 days and 270 days respectively. Demolition of the Cooke began on June 11th and was mostly completed by June 12th.

Proposed New Cooke-Hogrefe Building

The new building is proposed to be 3-stories and 35,000 square feet in total. The planned uses are commercial on the first floor, offices on the second floor, and residential on third floor. There will also be a rooftop deck for tenants to use. The building will have interior connections to the adjacent Marketplace at the Cooke complex.

Sandusky's Preservation Design Guidelines contain seven different categories of guidelines for new construction in the historic district. They are: building plan, height, materials, scale and proportion, front setback, building space, rhythm of building openings, roof shapes, and relationship of materials, textures, and colors.

Building plan: It is apparent that the building plan is appropriate for the site, as it closely resembles that of the former Cooke Building that was on the site.

Height: As part of the conditions imposed by the Landmark Commission during demolition, the height of the new structure was required to be three stories and comparable to the old Cooke Building. The proposed height of three stories is appropriate for this location.

Materials: The proposed materials are a mix of brick veneer, synthetic stucco (using EIFS) and aluminum. The surrounding buildings on this block of Columbus Ave. and Market St. are made of a wide variety of materials, and the variation in colors and materials in the new Hogrefe-Cooke Building are appropriate.

Scale and proportion: The building's scale and proportion will be in line with the old Cooke Building and it fits in appropriately with the surrounding buildings.

Front setback: The building is planned to be right up against the sidewalk and not setback, as is consistent with other buildings in the downtown district.

Building spacing: The building will not have any spacing between itself and neighboring buildings, as recommended by the guidelines.

Roof shapes: The roof shapes are mostly consistent with those of the former Cooke Building that stood on the site, with some minor modifications. Most surrounding buildings have flat roofs, but the pitched roof of the corner part is appropriate in context.

Relationship of materials, textures, and colors: The colors and materials of buildings in the downtown district are of a wide variety—mostly consisting of brick or stone. The color and material variation of the new building fit within the context of the surrounding building and they also break up the building into smaller sections that make it visually more appealing.

The guidelines also recommend against adding curb cuts in the downtown district, and staff had originally expressed concern about the proposed drive entrance off of Market Street. The plans have since been revised and the size of the driveway has been reduced to minimize the effects to the sidewalk.

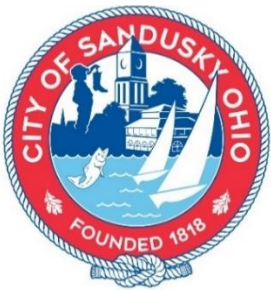
119 East Market Street Building

The application for demolition in 2019 indicated that the building at 119 E. Market would be retained and incorporated into the new structure. This building was originally constructed in 1879. The second floor façade and cornice are believed to be original to the building, however the original first floor storefront was altered many decades ago. After demolition of the Cooke Building was completed, the applicant communicated to the city that there was significant damage to 119 E. Market and that they recommend tearing the building down. They stated the intention was to use materials from the building and reconstruct it to be visually the same.

The city's chief building official toured the building and stated that the structure is in very poor structural condition, particularly the western wall that previously abutted the Cooke Building. This wall was not reinforced as was done to the southern wall of the Barra building before demolition commenced. The applicant also submitted a report from a structural engineer. The report stated that in their opinion, "the masonry should be removed as required down to sound structure and rebuilt to match the original elevation. Further investigation is required to determine if there are additional structural deficiencies concealed by current wall finishes." Both the city's chief building official's email and the structural engineer's report are included with the application packet.

CONCLUSION/RECOMMENDATION

Staff believes the plans for the new Hogrefe-Cooke Building conform with the Sandusky Preservation Design Guidelines as well as the Secretary of the Interior Standards and recommends approval of the Certificate of Appropriateness for the new build parts of the project. Regarding 119 E. Market St., staff's preference is always to maintain historical buildings as opposed to tearing them down. Staff also recognizes that the building is currently in a poor structural state and that the applicant has proposed maintaining as much of the material from the original structure as possible. The structural engineer's report stated that their opinion was that the masonry on the building should be removed as required down to sound structure and then rebuilt, but parts of the report indicated that further investigation is required to understand the full extent of the damage. Considering all the factors, staff does not have a conclusive recommendation on the demolition of 119 E. Market.



LANDMARK COMMISSION

Application for a Certificate of Appropriateness

Department of Planning
240 Columbus Ave
Sandusky, Ohio 44870
419.627.5891
www.cityofsandusky.com

Instructions to Applicants

MEETINGS: 3rd Wednesday of each month at 4:30 P.M.* – City Commission Chamber, First Floor of City Hall.

**Meeting dates are subject to change. Please check www.cityofsandusky.com/Landmark for an updated schedule.*

DUE DATE FOR SUBMITTALS: Applications are due by 5:00 P.M. on the date of the preceding month's Landmark Commission meeting.

WHO MUST ATTEND: The property owner, or the authorized agent of the owner, must be present at the Landmark Commission meeting.

APPLICATION FEE: No Fee.

SUBMISSION REQUIREMENTS: Please provide either a hard copy or electronic copy of the following:

- 1) Completed application
- 2) Supporting documentation:
 - A. New Construction
 - a. Scaled drawings
 - b. Site plan
 - c. Photographs
 - d. Material list
 - B. Additions/Alterations
 - a. Scaled drawings
 - b. Photographs
 - c. Material list
 - C. Signage
 - a. Scaled drawings
 - b. Location of sign
 - c. Photographs
 - d. Width of building
 - e. Lot frontage
 - D. Demolition
 - a. A report as to the structural soundness of the building prepared by professionals experienced in preservation and rehabilitation
 - b. Estimates of the costs and income for rehabilitation of the building
 - c. Estimates of the costs and income for new development
 - d. Valuation of the property
 - e. Preliminary development plans

*Historic photographs of the structure/property may be requested by Planning Staff or the Landmark Commission

Please note that the granting of a Certificate of Appropriateness is not a Building Permit. A separate Building Permit must be issued prior to all construction.

Submit application and materials to:

City of Sandusky
Department of Planning
240 Columbus Ave.
Sandusky, OH 44870

Contact Thomas Horsman, Assistant Planner, at 419-627-5715 or thorsman@ci.sandusky.oh.us with any questions.

Application for a Certificate of Appropriateness

STAFF USE ONLY:

Filing Date: _____ Hearing Date: _____ Reference Number: _____

Address of Property for Certificate of Appropriateness: _____

Name of Property Owner: _____

Mailing Address of Property Owner: _____

City: _____ State: _____ Zip: _____

Telephone #: _____ Email: _____

If same as above check here ☐

Name of Applicant: _____

Mailing Address of Applicant: _____

City: _____ State: _____ Zip: _____

Telephone #: _____ Email: _____

Description of Work to be Done:



Signature of Property Owner

Date



Signature of Authorized Agent

Date

The Sandusky Preservation Design Guidelines

The guidelines can be found on the city's website at

http://www.cityofsandusky.com/residents/planning_and_zoning/historic_preservation.php

The Secretary of the Interior's Standards for the Treatment of Historic Properties

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment;
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alternation of features and spaces that characterize a property shall be avoided;
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken;
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved;
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved;
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;
- (9) New additions, exterior, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

LANDMARK COMMISSION SUBMISSION FOR:
THE HOGREFE / COOKE
BUILDING
NEW DEVELOPMENT
150-162 COLUMBUS AVE.
SANDUSKY, OH 44870

OWNER:
COOKE BUILDING, LLC
225 1/2 WEST WATER STREET
SANDUSKY, OH 44870

OWNER'S REPRESENTATIVE:
H2 PROPERTY MANAGEMENT
225 1/2 WEST WATER STREET
SANDUSKY, OH 44870



405 Bradley Building 1220 West Sixth Street Cleveland, Ohio 44113 (216)241-6800 WWW.PAYTOARCHITECTS.COM

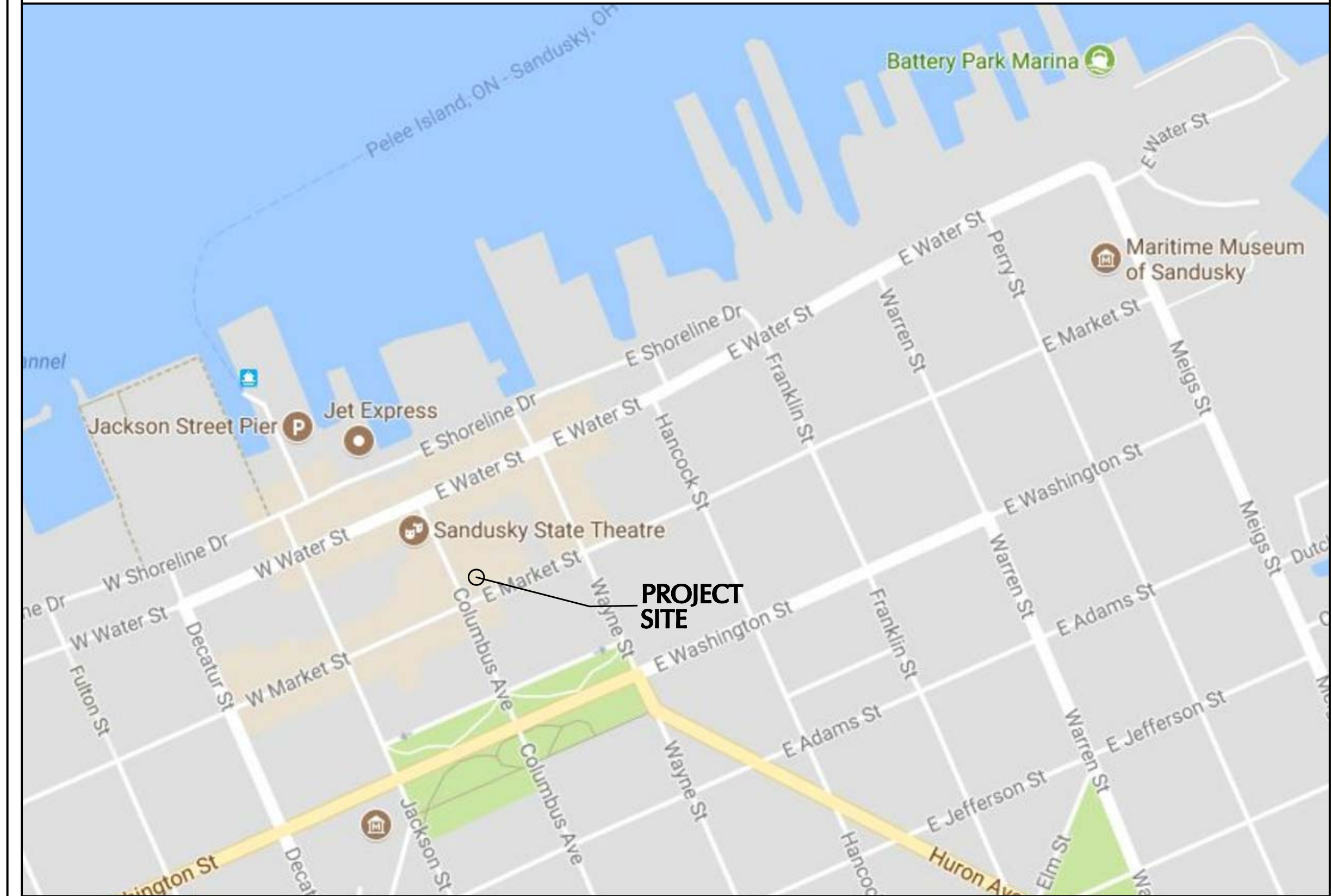
STRUCTURAL ENGINEER:
OREVEC DESIGN BUILD
9329 RAVENNA RD. SUITE E
TWINSBURG, OH 44087
(330) 552-8211

MEP/FP ENGINEER:
DENK ASSOCIATES
503 EAST 200TH STREET
CLEVELAND, OH 44119
(216) 531-8880

CIVIL ENGINEER:
JOHN HANCOCK & ASSOCIATES
326 E. MARKET ST.
SANDUSKY, OH 44870
(419) 625-7838

CONSTRUCTION MANAGER:
REGENCY CONSTRUCTION SERVICES
5475 ENGLE ROAD
BROOKPARK, OH 44142
(216) 529-1188

LOCATION MAP



DRAWING INDEX

TITLE SHEET

TS100 TITLE SHEET, LOCATOR MAP,
DRAWING INDEX

ARCHITECTURAL

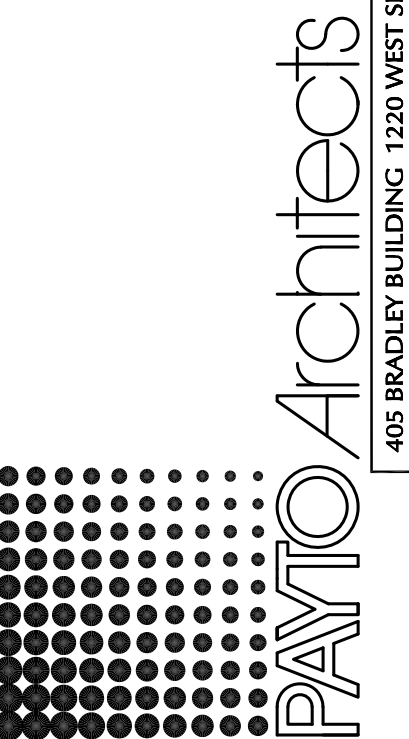
A101 FIRST FLOOR PLAN
A102 SECOND FLOOR PLAN
A103 THIRD FLOOR PLAN
A104 ROOF PLAN
A200 EXTERIOR ELEVATIONS
A201 EXTERIOR ELEVATIONS
A202 EXTERIOR ELEVATIONS
A203 EXTERIOR ELEVATIONS
A210 RENDERED EXTERIOR VIEWS

LANDMARK COMMISSION SUBMISSION:
JUNE 1, 2020

ISSUE DATE: 06.01.20

PRELIMINARY
NOT FOR CONSTRUCTION
PRINTS FULL SCALE
ON 24"X36" SHEET

THE HOGREFE/COOKE BUILDING
NEW CONSTRUCTION DEVELOPMENT
150-162 COLUMBUS AVENUE
SANDUSKY, OH 44870



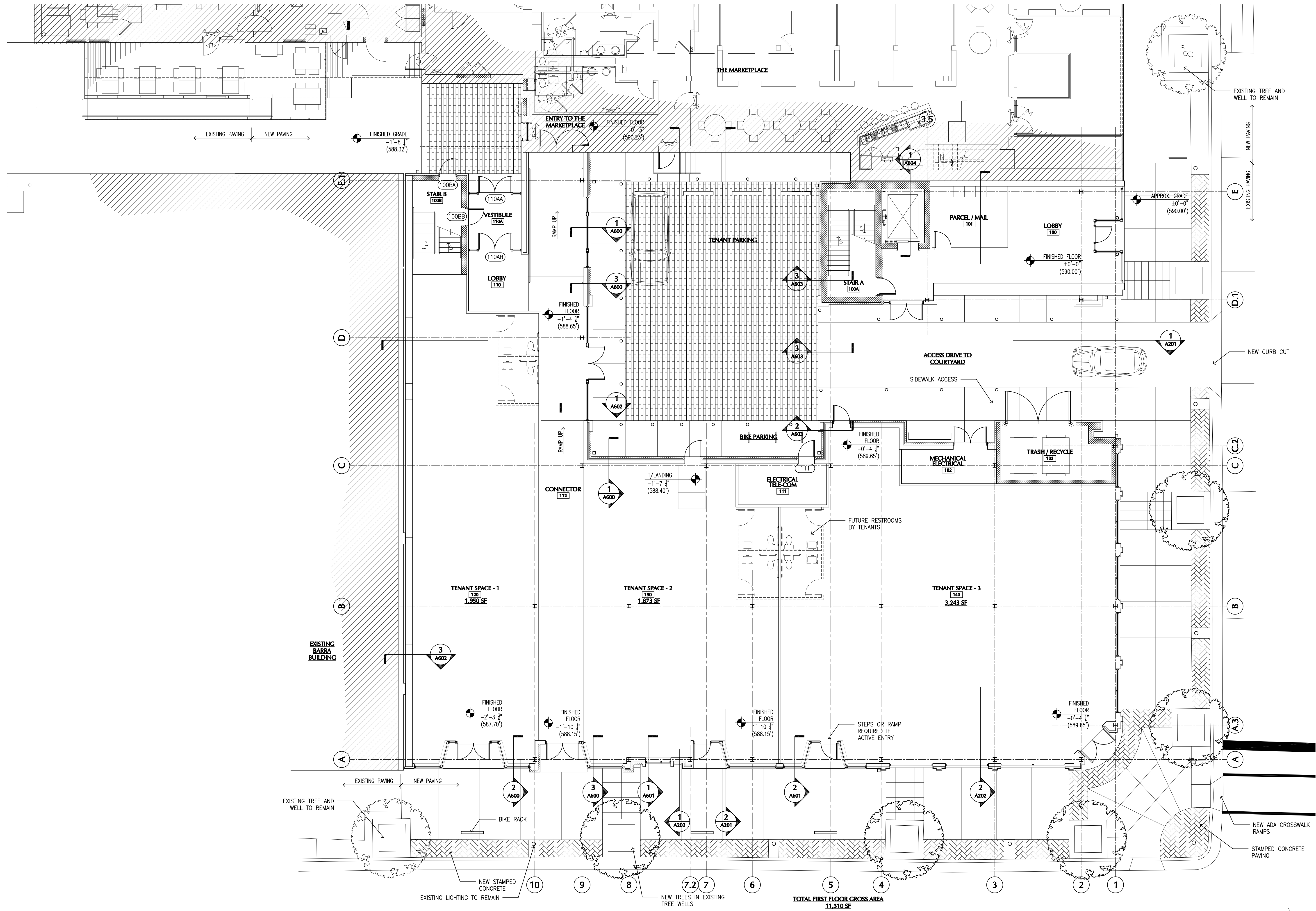
TITLE SHEET, LOCATOR
MAP, DRAWING
INDEX

PA PROJECT NO. 2019-23
CURRENT DATE 06.01.20

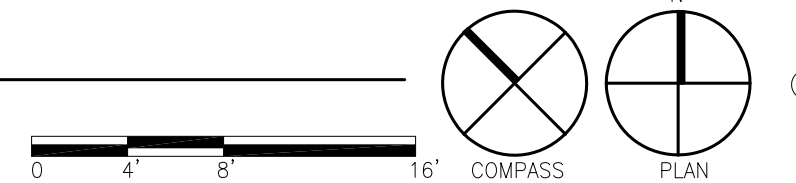
TS100

LANDMARK SUBMISSION
DOCUMENTS

Copyright © 2020 Payto Architects, Inc.



1 FIRST FLOOR PLAN
A101 SCALE: 1/8" = 1'-0"



ISSUE DATE: 06.01.20

**PRELIMINARY
NOT FOR CONSTRUCTION
PRINTS FULL SCALE
ON 24"X36" SHEET**

THE HOGREFE/COOKE BUILDING
NEW CONSTRUCTION DEVELOPMENT
150-162 COLUMBUS AVENUE
SANDUSKY, OH 44870

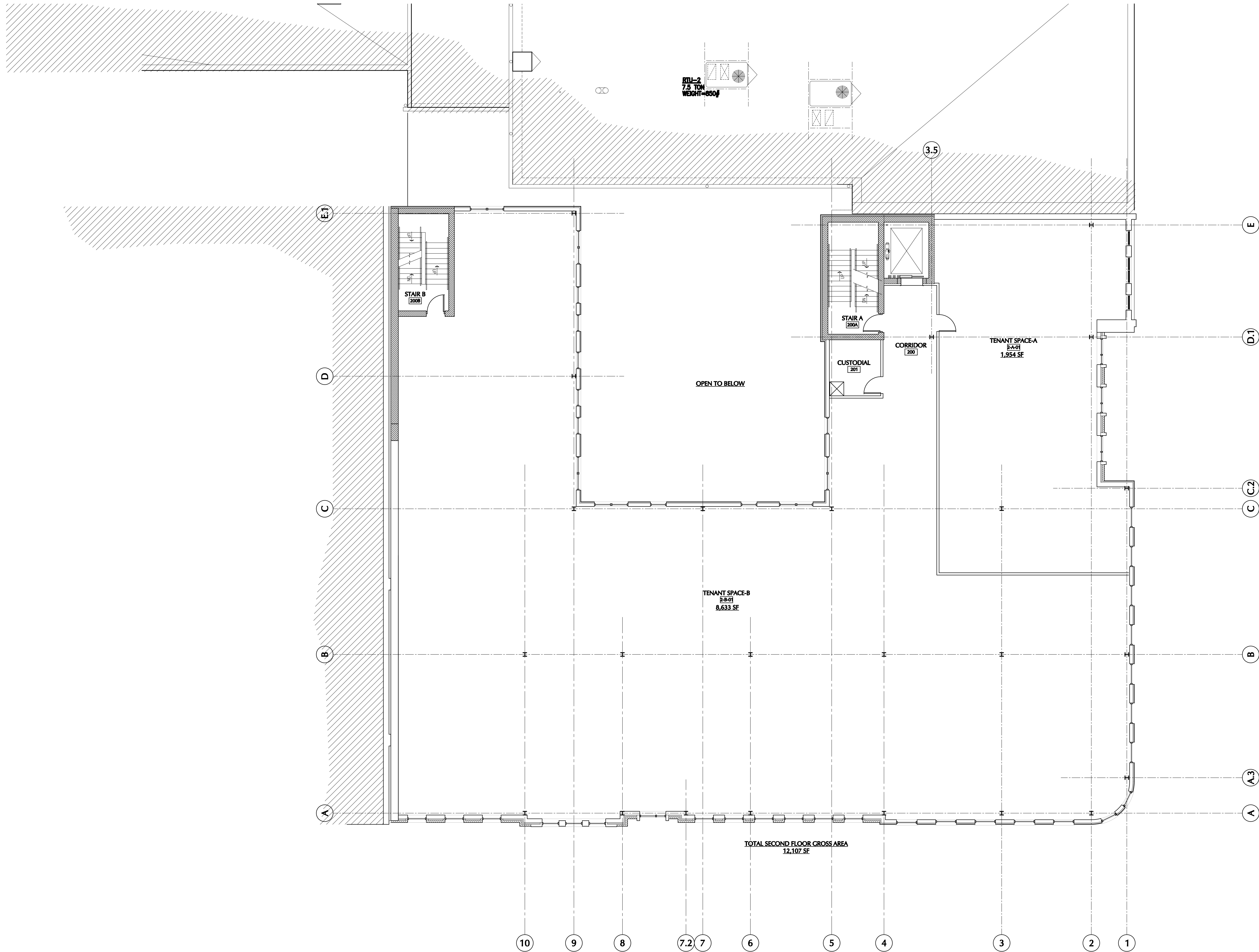
PAYTO Architects
405 BRADLEY BUILDING 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE : (216) 241-6800
WWW.PAYTOARCHITECTS.COM

FIRST FLOOR PLAN

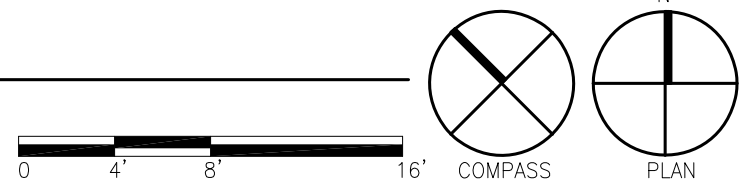
PA PROJECT NO. 2019-23
CURRENT DATE 06.01.20

A101

LANDMARK SUBMISSION
DOCUMENTS



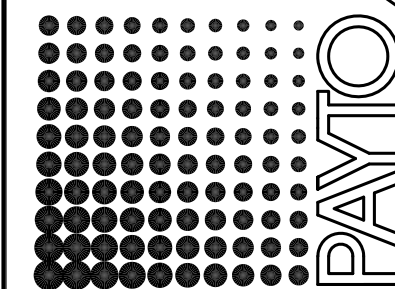
1 SECOND FLOOR PLAN
A102
SCALE: 1/8" = 1'-0"



ISSUE DATE: 06.01.20

PRELIMINARY
NOT FOR CONSTRUCTION
PRINTS FULL SCALE
ON 24"X36" SHEET

THE HOGREFE/COOKE BUILDING
NEW CONSTRUCTION DEVELOPMENT
150-162 COLUMBUS AVENUE
SANDUSKY, OH 44870



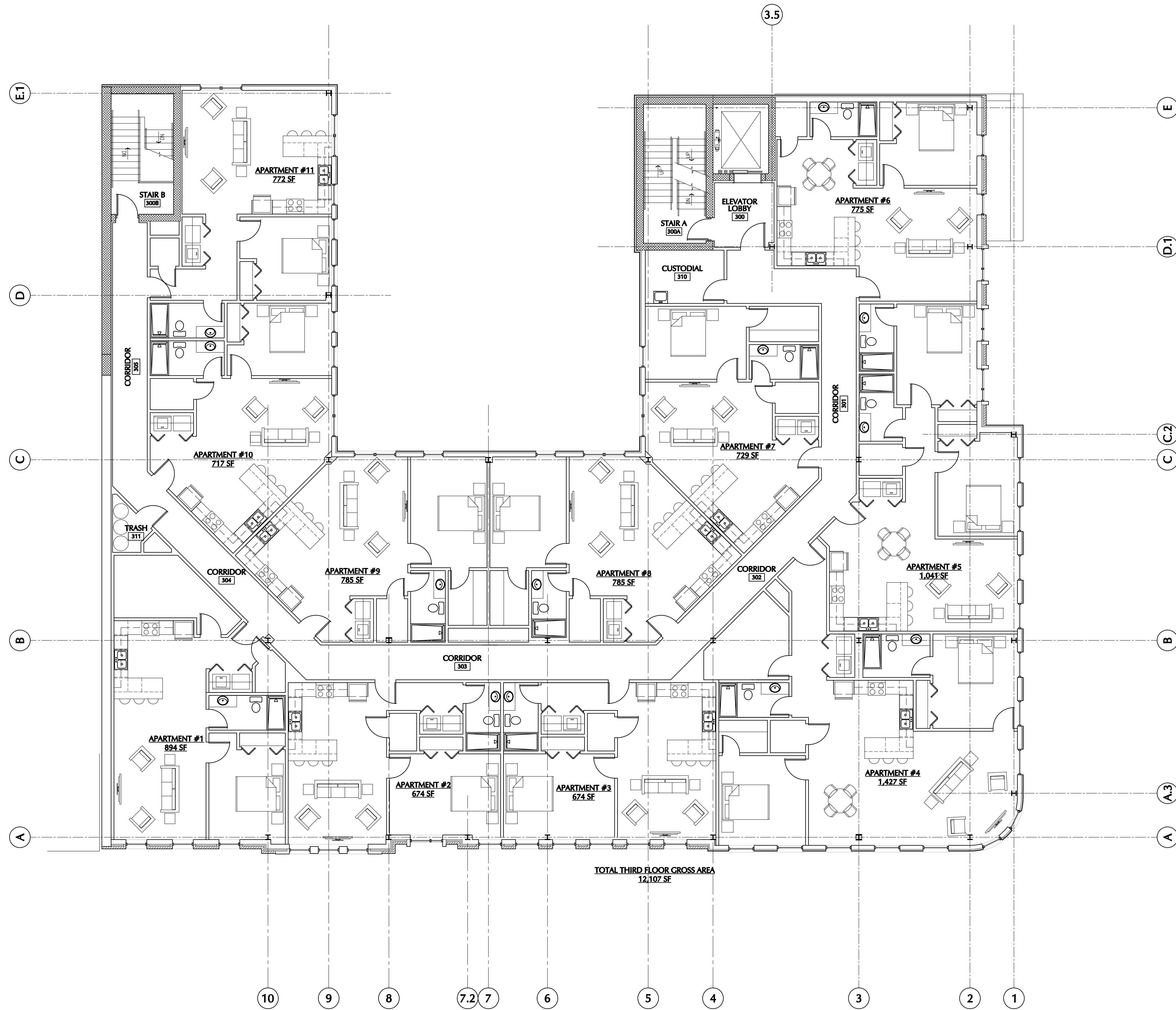
SECOND FLOOR PLAN

PA PROJECT NO. 2019-23
CURRENT DATE 06.01.20

A102

LANDMARK SUBMISSION
DOCUMENTS

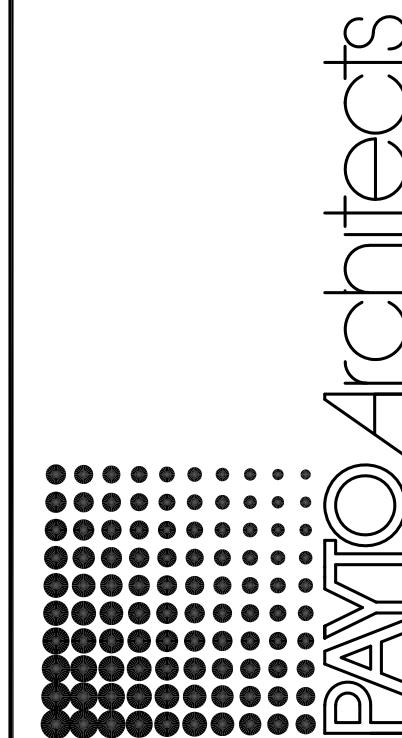
405 BRADLEY BUILDING 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE : (216) 241-6800
WWW.PAYTOARCHITECTS.COM



ISSUE DATE: 06.01.20

PRELIMINARY
NOT FOR CONSTRUCTION
PRINTS FULL SCALE
ON 24"X36" SHEET

THE HOGREFE/COOKE BUILDING
NEW CONSTRUCTION DEVELOPMENT
150-162 COLUMBUS AVENUE
SANDUSKY, OH 44870



THIRD FLOOR PLAN

PA PROJECT NO. 2019-23
CURRENT DATE 06.01.20

A103

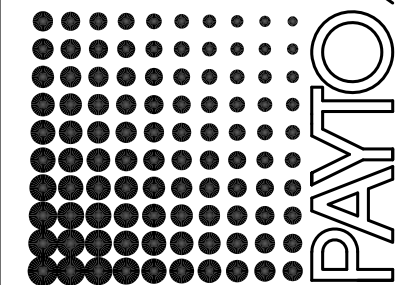
LANDMARK SUBMISSION
DOCUMENTS

Copyright © 2020 Payto Architects Inc.

405 BRADLEY BUILDING 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE : (216) 241-6800
WWW.PAYTOARCHITECTS.COM

PRELIMINARY
NOT FOR CONSTRUCTION
PRINTS FULL SCALE
ON 24"X36" SHEET

THE HOGREFE/COOKE BUILDING
NEW CONSTRUCTION DEVELOPMENT
150-162 COLUMBUS AVENUE
SANDUSKY, OH 44870



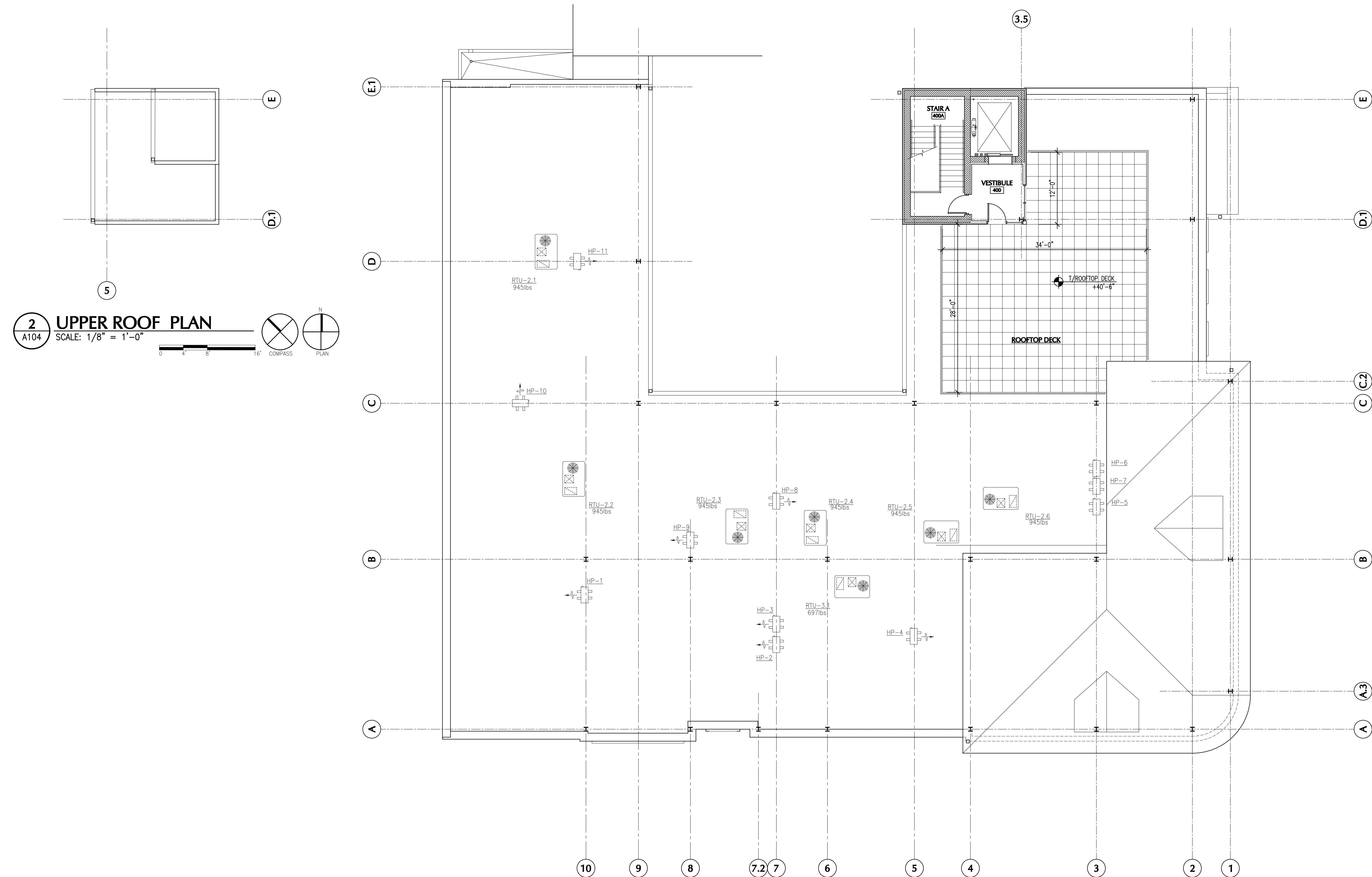
ROOF PLANS

PA PROJECT NO. 2019-23
CURRENT DATE 06.01.20

A104
LANDMARK SUBMISSION
DOCUMENTS

Copyright © 2020 Payto Architects Inc.

405 BRADLEY BUILDING 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE : (216) 241-6800
WWW.PAYTOARCHITECTS.COM



2 UPPER ROOF PLAN
A104 SCALE: 1/8" = 1'-0"
0 4' 8' 16' COMPASS PLAN

1 ROOF PLAN
A104 SCALE: 1/8" = 1'-0"
0 4' 8' 16' COMPASS PLAN

KEYNOTE LEGEND - ELEVATIONS

- 1

4" ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED LOW-E GLAZING UNITS.
- 2

FACE BRICK #1 VENEER ON CMU BACK UP. SEE SECTIONS FOR ADDITIONAL.
- 3

FACE BRICK #2 VENEER ON METAL STUD BACK UP. SEE SECTIONS FOR ADDITIONAL.
- 4

FACE BRICK #3 VENEER ON METAL STUD BACK UP. SEE SECTIONS FOR ADDITIONAL.
- 5

SYNTHETIC STUCCO SYSTEM OVER METAL STUD FRAMING AND SHEATHING. EIFS-1.
- 6

SYNTHETIC STUCCO SYSTEM OVER METAL STUD FRAMING AND SHEATHING. EIFS-2.
- 7

CEMENT BOARD SIDING OVER METAL STUD FRAMING.
- 8

MASONRY STONE VENEER EQUAL TO OLDCASTLE FRANKLIN STONE, SMOOTH FACE, COLOR TO BE _____
- 9

ALUMINUM DOWNSPOUT TIED INTO UNDERGROUND STORM LINES OR ROOF DRAIN LEADERS IN BUILDING. PROVIDE CAST IRON BOOT AT GRADE.
- 10

SALVAGE STONE ACCENTS TO BE RE-INSTALLED FROM DEMOLISHED BUILDING.
- 11

HOLLOW METAL DOOR AND FRAME WITH PAINTED FINISH. PAINT TO MATCH ADJACENT SURFACES.
- 12

GUTTER SYSTEM WITH DOWNSPOUTS. SEE ROOF PLAN FOR SIZES
- 13

ALUM. ENTRANCE DOOR IN ALUMINUM FRAME WITH TEMPERED GLASS LITE.
- 14

METAL SIDING EQUAL TO ATAS BWC374 CORRUGATED, EXPOSED FASTENER PANEL OVER METAL STUD FRAMING. 1-1/2" WIDE BREAK METAL TRIM AT PERIMETER TO MATCH.
- 15

FIBERGLASS CORNICE OVER METAL FRAME EQUAL TO EDON PRODUCTS CR-149.
- 16

FIBERGLASS CORNICE AND BRACKETS OVER METAL FRAME EQUAL TO EDON PRODUCTS CR-145 WITH BR-101A BRACKETS.
- 17

COMPOSITE WOOD CORNICE AND BRACKETS TO REPLICATE THAT SALVAGED FROM DEMOLISHED BUILDING.
- 18

SMOOTH FACE EXTERIOR GRADE SHEATHING PANEL FACE FOR MURAL INSTALLATION.
- 19

MASONRY STONE CAP, SEE SECTION FOR PROFILE. METAL ROOF EDGE AT TOP SIDE.
- 20

ALUMINUM TUBE CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE WITH AIRCRAFT CABLE.
- 21

APPLIED ALUMICORE SIGN BOARD WITH PVC TRIM.
- 22

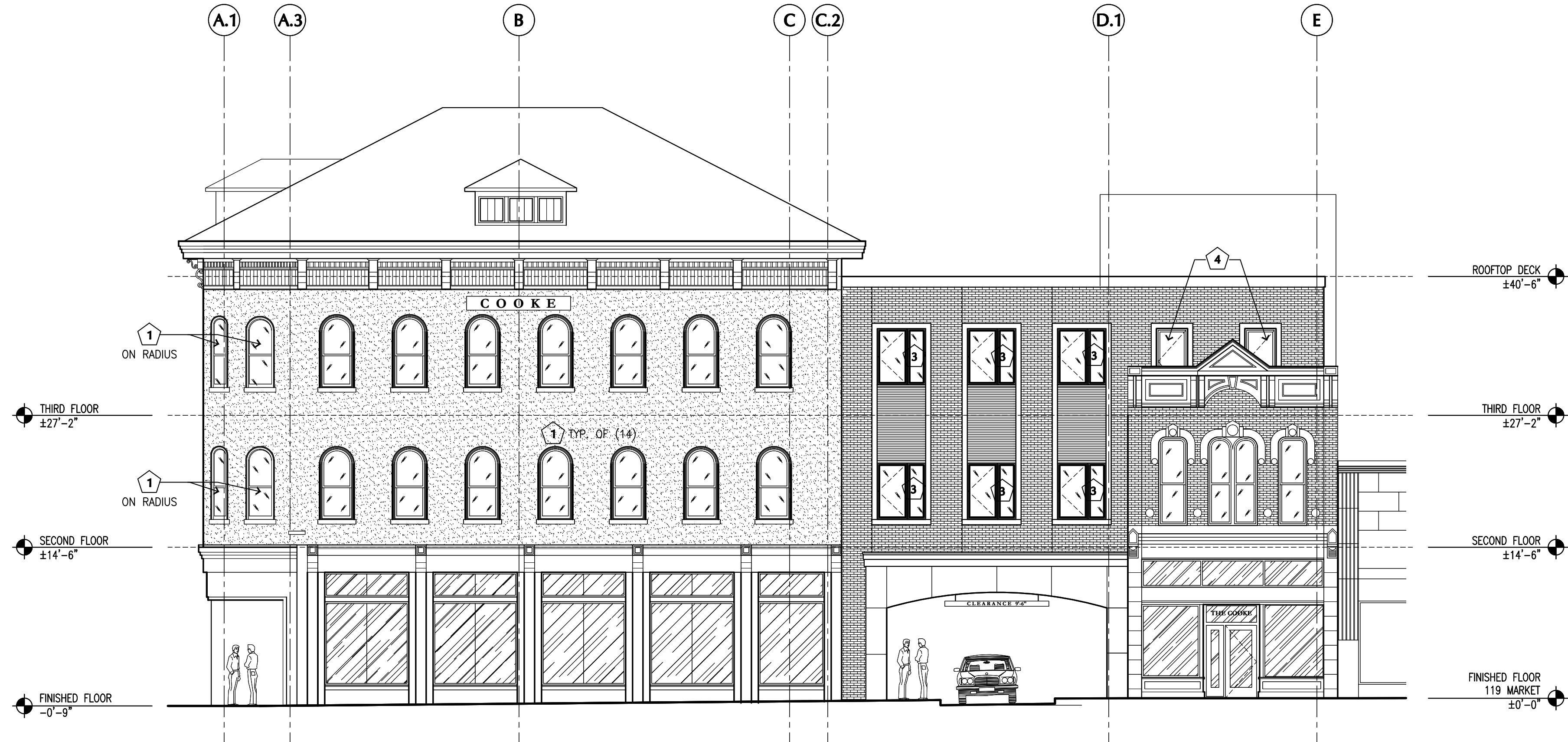
AZEK AND PVC PANEL STOREFRONT BULKHEAD WITH PAINTED FINISH. SEE SECTION FOR ADDITIONAL.
- 23

LASER ETCHED BUILDING NAME AND ERECTION DATE IN MASONRY STONE UNITS.
- 24

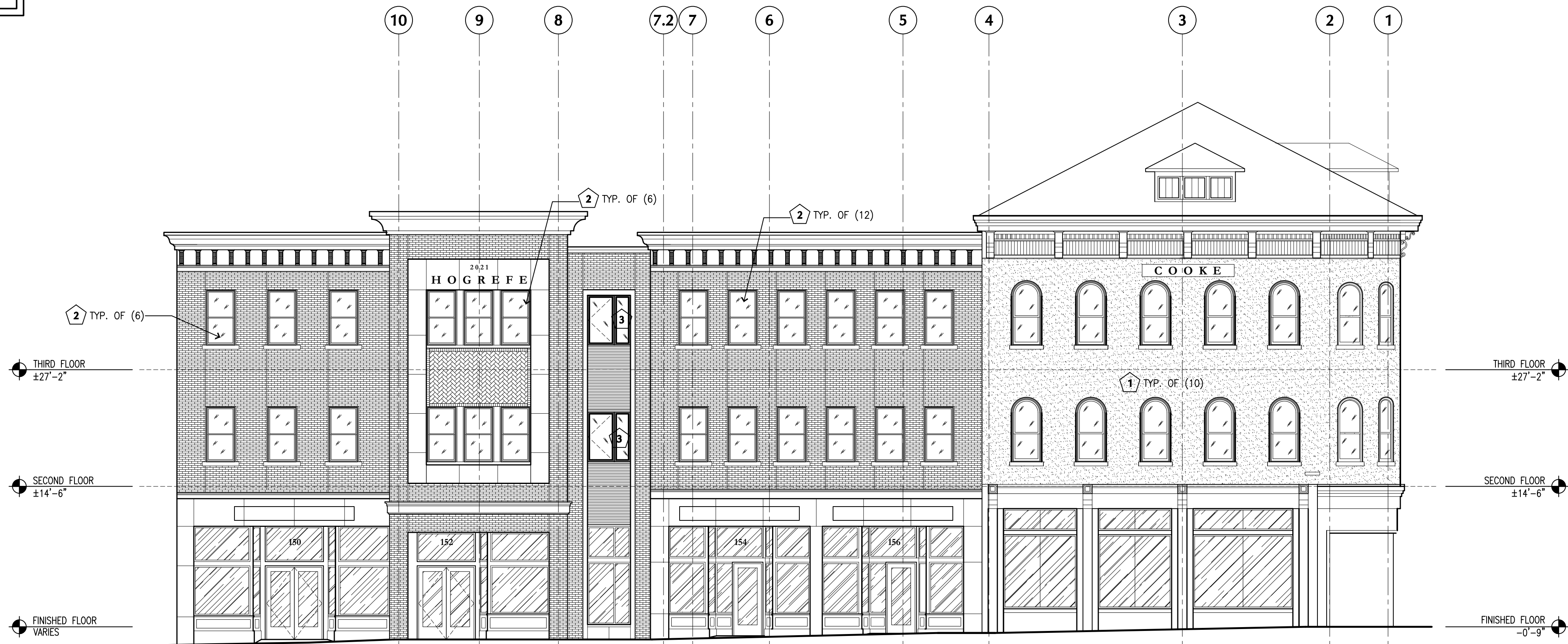
DIE CUT VINYL LETTERING OR ADDRESS NUMBERS ADHERED TO GLASS TRANSOM ASSUME 5" HIGH FOR BIDDING.
- 25

EXISTING BRICK TO BE TUCKPOINTED AS REQUIRED. COAT ALL EXISTING BRICK AS NOTED ON SECTION.

- FACE BRICK VENEER - SEE KEYNOTES FOR TYPES
- ALUMINUM STOREFRONT WITH INSULATED GLASS
- EIFS SYNTHETIC STUCCO SYSTEM
- D.S. = DOWNSPOUT TIED INTO UNDERGROUND
- CJ = MASONRY CONTROL JOINT.
- WINDOW TYPES SEE SHEET A700 FOR DETAIL



2 SOUTH ELEVATION
A200 SCALE: 1/8" = 1'-0"

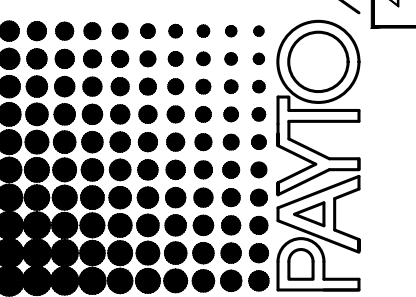


1 WEST ELEVATION
A200 SCALE: 1/8" = 1'-0"

ISSUE DATE: 06.01.20

PRELIMINARY
NOT FOR CONSTRUCTION
PRINTS FULL SCALE
ON 24"X36" SHEET

THE HOGREFE/COOKE BUILDING
NEW CONSTRUCTION DEVELOPMENT
150-162 COLUMBUS AVENUE
SANDUSKY, OH 44870



EXTERIOR ELEVATIONS
& BUILDING SECTIONS

PA PROJECT NO. 2019-23
CURRENT DATE 06.01.20

A200

LANDMARK SUBMISSION
DOCUMENTS

Copyright © 2020 Payto Architects Inc.

405 BRADLEY BUILDING, 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE: (216) 241-6800
WWW.PAYTOARCHITECTS.COM

KEYNOTE LEGEND - ELEVATIONS

1

4" ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED LOW-E GLAZING UNITS.

2

FACE BRICK #1 VENEER ON CMU BACK UP. SEE SECTIONS FOR ADDITIONAL.

3

FACE BRICK #2 VENEER ON METAL STUD BACK UP. SEE SECTIONS FOR ADDITIONAL.

4

FACE BRICK #3 VENEER ON METAL STUD BACK UP. SEE SECTIONS FOR ADDITIONAL.

5

SYNTHETIC STUCCO SYSTEM OVER METAL STUD FRAMING AND SHEATHING. EIFS-1.

6

SYNTHETIC STUCCO SYSTEM OVER METAL STUD FRAMING AND SHEATHING. EIFS-2.

7

CEMENT BOARD SIDING OVER METAL STUD FRAMING.

8

MASONRY STONE VENEER EQUAL TO OLDCASTLE FRANKLIN STONE, SMOOTH FACE, COLOR TO BE _____

9

ALUMINUM DOWNSPOUT TIED INTO UNDERGROUND STORM LINES OR ROOF DRAIN LEADERS IN BUILDING. PROVIDE CAST IRON BOOT AT GRADE.

10

SALVAGE STONE ACCENTS TO BE RE-INSTALLED FROM DEMOLISHED BUILDING.

11

HOLLOW METAL DOOR AND FRAME WITH PAINTED FINISH. PAINT TO MATCH ADJACENT SURFACES.

12

GUTTER SYSTEM WITH DOWNSPOUTS. SEE ROOF PLAN FOR SIZES

13

ALUM. ENTRANCE DOOR IN ALUMINUM FRAME WITH TEMPERED GLASS LITE.

14

METAL SIDING EQUAL TO ATAS BWC374 CORRUGATED, EXPOSED FASTENER PANEL OVER METAL STUD FRAMING. 1-1/2" WIDE BREAK METAL TRIM AT PERIMETER TO MATCH.

15

FIBERGLASS CORNICE OVER METAL FRAME EQUAL TO EDON PRODUCTS CR-149.

16

FIBERGLASS CORNICE AND BRACKETS OVER METAL FRAME EQUAL TO EDON PRODUCTS CR-145 WITH BR-101A BRACKETS.

17

COMPOSITE WOOD CORNICE AND BRACKETS TO REPLICATE THAT SALVAGED FROM DEMOLISHED BUILDING.

18

SMOOTH FACE EXTERIOR GRADE SHEATHING PANEL FACE FOR MURAL INSTALLATION.

19

MASONRY STONE CAP, SEE SECTION FOR PROFILE. METAL ROOF EDGE AT TOP SIDE.

20

ALUMINUM TUBE CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE WITH AIRCRAFT CABLE.

21

APPLIED ALUMICORE SIGN BOARD WITH PVC TRIM.

22

AZEK AND PVC PANEL STOREFRONT BULKHEAD WITH PAINTED FINISH. SEE SECTION FOR ADDITIONAL.

23

LASER ETCHED BUILDING NAME AND ERECTION DATE IN MASONRY STONE UNITS.

24

DIE CUT VINYL LETTERING OR ADDRESS NUMBERS ADHERED TO GLASS TRANSOM ASSUME 5" HIGH FOR BIDDING.

25

EXISTING BRICK TO BE TUCKPOINTED AS REQUIRED. COAT ALL EXISTING BRICK AS NOTED ON SECTION.

FACE BRICK VENEER - SEE KEYNOTES FOR TYPES

ALUMINUM STOREFRONT WITH INSULATED GLASS

EIFS SYNTHETIC STUCCO SYSTEM

D.S. = DOWNSPOUT TIED INTO UNDERGROUND

CJ = MASONRY CONTROL JOINT.

#

WINDOW TYPES SEE SHEET A700 FOR DETAIL

ISSUE DATE: 06.01.20

PRELIMINARY
NOT FOR CONSTRUCTION
PRINTS FULL SCALE
ON 24"X36" SHEET

THE HOGREFE/COOKE BUILDING
NEW CONSTRUCTION DEVELOPMENT
150-162 COLUMBUS AVENUE
SANDUSKY, OH 44870

Payto Architects

405 BRADLEY BUILDING 1220 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE: (216) 241-6800
WWW.PAYTOARCHITECTS.COM

EXTERIOR ELEVATIONS
& BUILDING SECTIONS

PA PROJECT NO. 2019-23
CURRENT DATE 06.01.20

A201

LANDMARK SUBMISSION
DOCUMENTS

Copyright © 2020 Payto Architects Inc.

2019-23
06.01.20

KEYNOTE LEGEND - ELEVATIONS

- 1

4" ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED LOW-E GLAZING UNITS.

2

FACE BRICK #1 VENEER ON CMU BACK UP. SEE SECTIONS FOR ADDITIONAL.

3

FACE BRICK #2 VENEER ON METAL STUD BACK UP. SEE SECTIONS FOR ADDITIONAL.

4

FACE BRICK #3 VENEER ON METAL STUD BACK UP. SEE SECTIONS FOR ADDITIONAL.

5

SYNTHETIC STUCCO SYSTEM OVER METAL STUD FRAMING AND SHEATHING. EIFS-1.

6

SYNTHETIC STUCCO SYSTEM OVER METAL STUD FRAMING AND SHEATHING. EIFS-2.

7

CEMENT BOARD SIDING OVER METAL STUD FRAMING.

8

MASONRY STONE VENEER EQUAL TO OLDCASTLE FRANKLIN STONE, SMOOTH FACE, COLOR TO BE _____

9

ALUMINUM DOWNSPOUT TIED INTO UNDERGROUND STORM LINES OR ROOF DRAIN LEADERS IN BUILDING. PROVIDE CAST IRON BOOT AT GRADE.

10

SALVAGE STONE ACCENTS TO BE RE-INSTALLED FROM DEMOLISHED BUILDING.

11

HOLLOW METAL DOOR AND FRAME WITH PAINTED FINISH. PAINT TO MATCH ADJACENT SURFACES.

12

GUTTER SYSTEM WITH DOWNSPOUTS. SEE ROOF PLAN FOR SIZES

13

ALUM. ENTRANCE DOOR IN ALUMINUM FRAME WITH TEMPERED GLASS LITE.

14

METAL SIDING EQUAL TO ATAS BWC374 CORRUGATED, EXPOSED FASTENER PANEL OVER METAL STUD FRAMING. 1-1/2" WIDE BREAK METAL TRIM AT PERIMETER TO MATCH.

15

FIBERGLASS CORNICE OVER METAL FRAME EQUAL TO EDON PRODUCTS CR-149.

16

FIBERGLASS CORNICE AND BRACKETS OVER METAL FRAME EQUAL TO EDON PRODUCTS CR-145 WITH BR-101A BRACKETS.

17

COMPOSITE WOOD CORNICE AND BRACKETS TO REPLICATE THAT SALVAGED FROM DEMOLISHED BUILDING.

18

SMOOTH FACE EXTERIOR GRADE SHEATHING PANEL FACE FOR MURAL INSTALLATION.

19

MASONRY STONE CAP, SEE SECTION FOR PROFILE. METAL ROOF EDGE AT TOP SIDE.

20

ALUMINUM TUBE CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE WITH AIRCRAFT CABLE.

21

APPLIED ALUMICORE SIGN BOARD WITH PVC TRIM.

22

AZEK AND PVC PANEL STOREFRONT BULKHEAD WITH PAINTED FINISH. SEE SECTION FOR ADDITIONAL.

23

LASER ETCHED BUILDING NAME AND ERECTION DATE IN MASONRY STONE UNITS.

24

DIE CUT VINYL LETTERING OR ADDRESS NUMBERS ADHERED TO GLASS TRANSOM ASSUME 5" HIGH FOR BIDDING.

25

EXISTING BRICK TO BE TUCKPOINTED AS REQUIRED. COAT ALL EXISTING BRICK AS NOTED ON SECTION.
- FACE BRICK VENEER - SEE KEYNOTES FOR TYPES

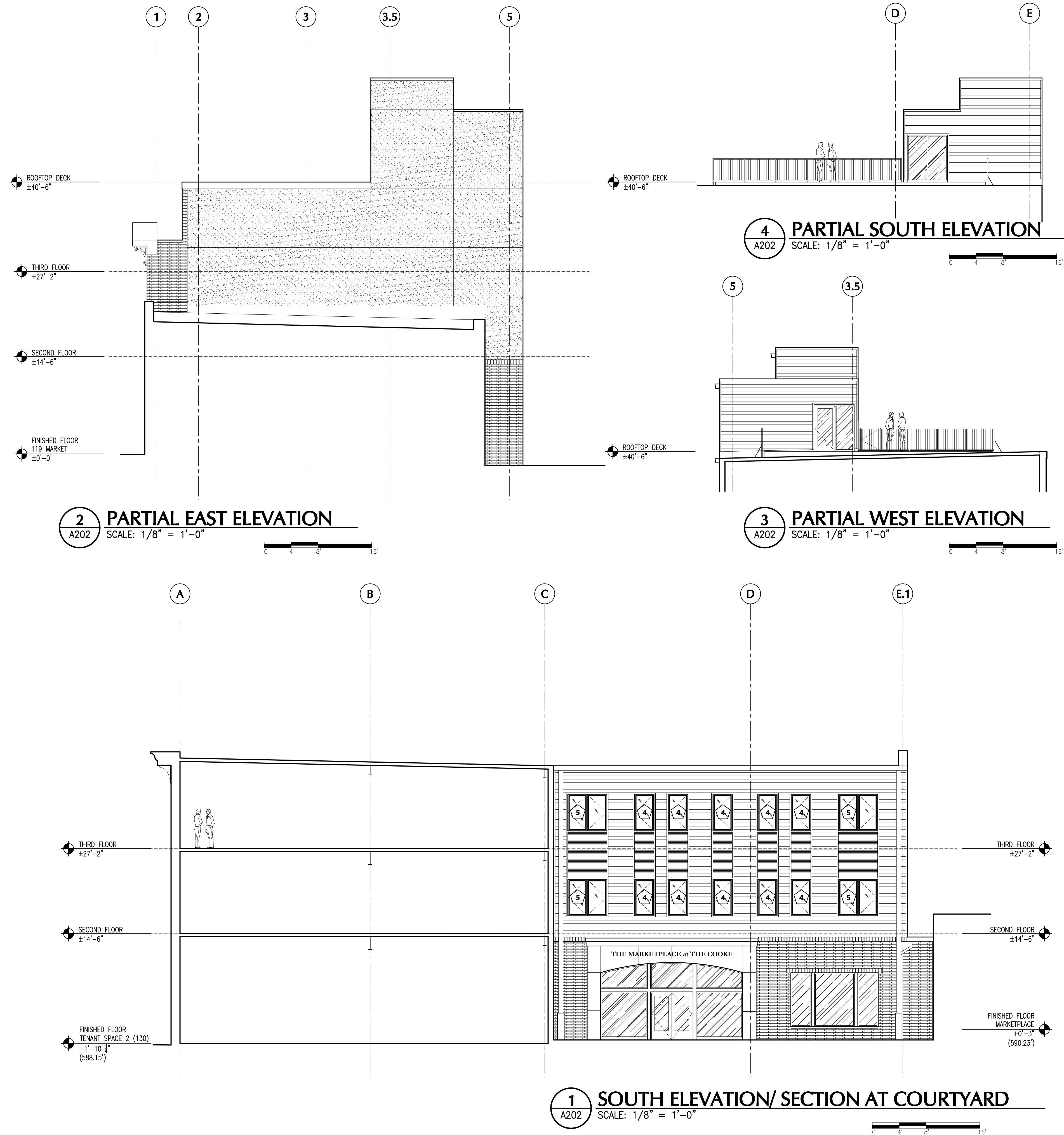
ALUMINUM STOREFRONT WITH INSULATED GLASS

EIFS SYNTHETIC STUCCO SYSTEM

D.S. = DOWNSPOUT TIED INTO UNDERGROUND

CJ = MASONRY CONTROL JOINT.

WINDOW TYPES SEE SHEET A700 FOR DETAIL



KEYNOTE LEGEND - ELEVATIONS

- 1

4" ALUMINUM STOREFRONT SYSTEM WITH 1" CLEAR INSULATED LOW-E GLAZING UNITS.
- 2

FACE BRICK #1 VENEER ON CMU BACK UP. SEE SECTIONS FOR ADDITIONAL.
- 3

FACE BRICK #2 VENEER ON METAL STUD BACK UP. SEE SECTIONS FOR ADDITIONAL.
- 4

FACE BRICK #3 VENEER ON METAL STUD BACK UP. SEE SECTIONS FOR ADDITIONAL.
- 5

SYNTHETIC STUCCO SYSTEM OVER METAL STUD FRAMING AND SHEATHING. EIFS-1.
- 6

SYNTHETIC STUCCO SYSTEM OVER METAL STUD FRAMING AND SHEATHING. EIFS-2.
- 7

CEMENT BOARD SIDING OVER METAL STUD FRAMING.
- 8

MASONRY STONE VENEER EQUAL TO OLDCASTLE FRANKLIN STONE, SMOOTH FACE, COLOR TO BE _____
- 9

ALUMINUM DOWNSPOUT TIED INTO UNDERGROUND STORM LINES OR ROOF DRAIN LEADERS IN BUILDING. PROVIDE CAST IRON BOOT AT GRADE.
- 10

SALVAGE STONE ACCENTS TO BE RE-INSTALLED FROM DEMOLISHED BUILDING.
- 11

HOLLOW METAL DOOR AND FRAME WITH PAINTED FINISH. PAINT TO MATCH ADJACENT SURFACES.
- 12

GUTTER SYSTEM WITH DOWNSPOUTS. SEE ROOF PLAN FOR SIZES
- 13

ALUM. ENTRANCE DOOR IN ALUMINUM FRAME WITH TEMPERED GLASS LITE.
- 14

METAL SIDING EQUAL TO ATAS BWC374 CORRUGATED, EXPOSED FASTENER PANEL OVER METAL FRAMING. 1-1/2" WIDE BREAK METAL TRIM AT PERIMETER TO MATCH.
- 15

FIBERGLASS CORNICE OVER METAL FRAME EQUAL TO EDON PRODUCTS CR-149.
- 16

FIBERGLASS CORNICE AND BRACKETS OVER METAL FRAME EQUAL TO EDON PRODUCTS CR-145 WITH BR-101A BRACKETS.
- 17

COMPOSITE WOOD CORNICE AND BRACKETS TO REPLICATE THAT SALVAGED FROM DEMOLISHED BUILDING.
- 18

SMOOTH FACE EXTERIOR GRADE SHEATHING PANEL FACE FOR MURAL INSTALLATION.
- 19

MASONRY STONE CAP, SEE SECTION FOR PROFILE. METAL ROOF EDGE AT TOP SIDE.
- 20

ALUMINUM TUBE CLEARANCE BAR SUSPENDED FROM STRUCTURE ABOVE WITH AIRCRAFT CABLE.
- 21

APPLIED ALUMICORE SIGN BOARD WITH PVC TRIM.
- 22

AZEK AND PVC PANEL STOREFRONT BULKHEAD WITH PAINTED FINISH. SEE SECTION FOR ADDITIONAL.
- 23

LASER ETCHED BUILDING NAME AND ERECTION DATE IN MASONRY STONE UNITS.
- 24

DIE CUT VINYL LETTERING OR ADDRESS NUMBERS ADHERED TO GLASS TRANSOM ASSUME 5" HIGH FOR BIDDING.
- 25

EXISTING BRICK TO BE TUCKPOINTED AS REQUIRED. COAT ALL EXISTING BRICK AS NOTED ON SECTION.

FACE BRICK VENEER - SEE KEYNOTES FOR TYPES

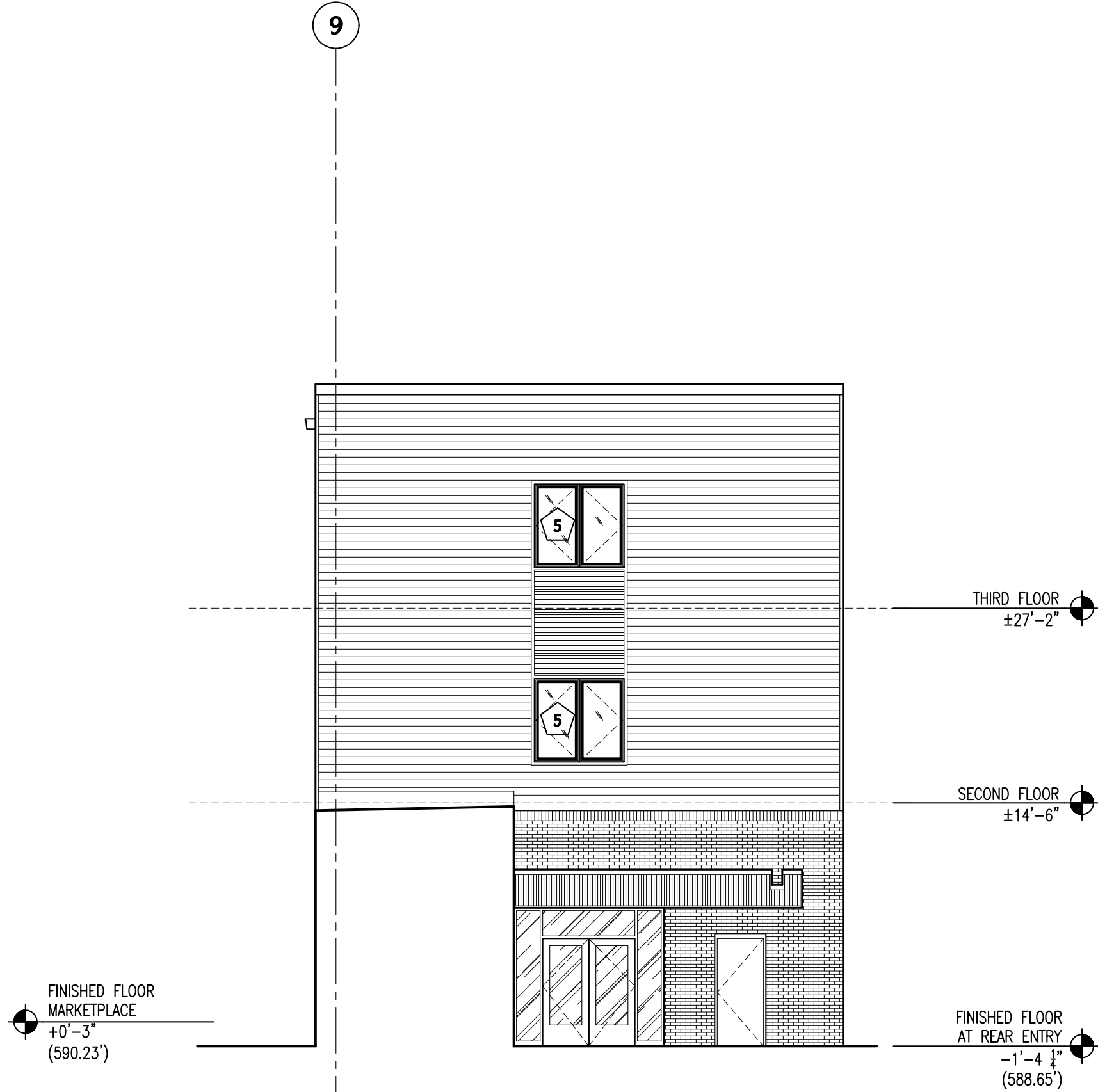
ALUMINUM STOREFRONT WITH INSULATED GLASS

EIFS SYNTHETIC STUCCO SYSTEM

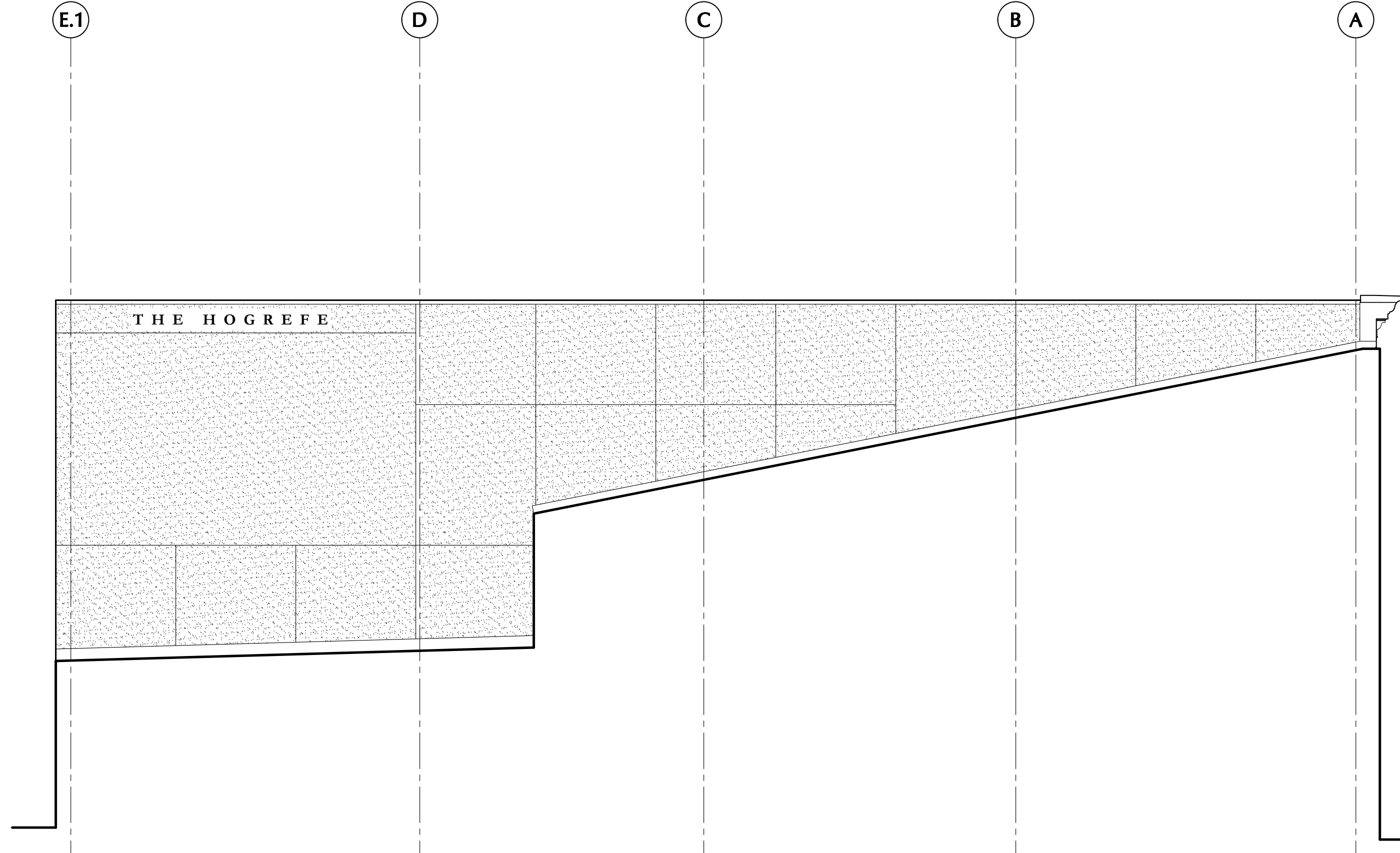
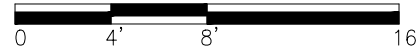
D.S. = DOWNSPOUT TIED INTO UNDERGROUND

CJ = MASONRY CONTROL JOINT.

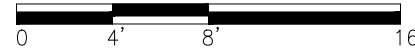
WINDOW TYPES SEE SHEET A700 FOR DETAIL



2 PARTIAL EAST ELEVATION
A203 SCALE: 1/8" = 1'-0"



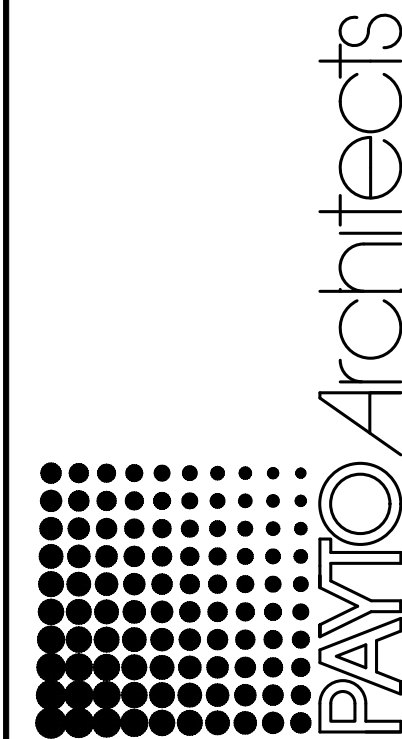
1 PARTIAL NORTH ELEVATION - AT ADJOINING BUILDING
A203 SCALE: 1/8" = 1'-0"



| | |
|-------------|----------|
| ISSUE DATE: | 06.01.20 |
| | |
| | |
| | |
| | |
| | |
| | |

PRELIMINARY
NOT FOR CONSTRUCTION
PRINTS FULL SCALE
ON 24"X36" SHEET

THE HOGREFE/COOKE BUILDING
NEW CONSTRUCTION DEVELOPMENT
150-162 COLUMBUS AVENUE
SANDUSKY, OH 44870



EXTERIOR ELEVATIONS
& BUILDING SECTIONS

PA PROJECT NO. 2019-23
CURRENT DATE 06.01.20

A203

LANDMARK SUBMISSION
DOCUMENTS

Copyright © 2020 Payto Architects Inc.



5 **VIEW OF ROOFTOP**
A210 NO SCALE



4 **VIEW OF ROOFTOP**
A210 NO SCALE



3 **COLUMBUS AVENUE FACING SOUTH**
A210 NO SCALE



2 **MARKET STREET ELEVATION**
A210 NO SCALE



1 **CORNER OF COLUMBUS AVE AND MARKET STREET**
A210 NO SCALE



Face Brick #2



Cast Stone

Alum. Storefronts

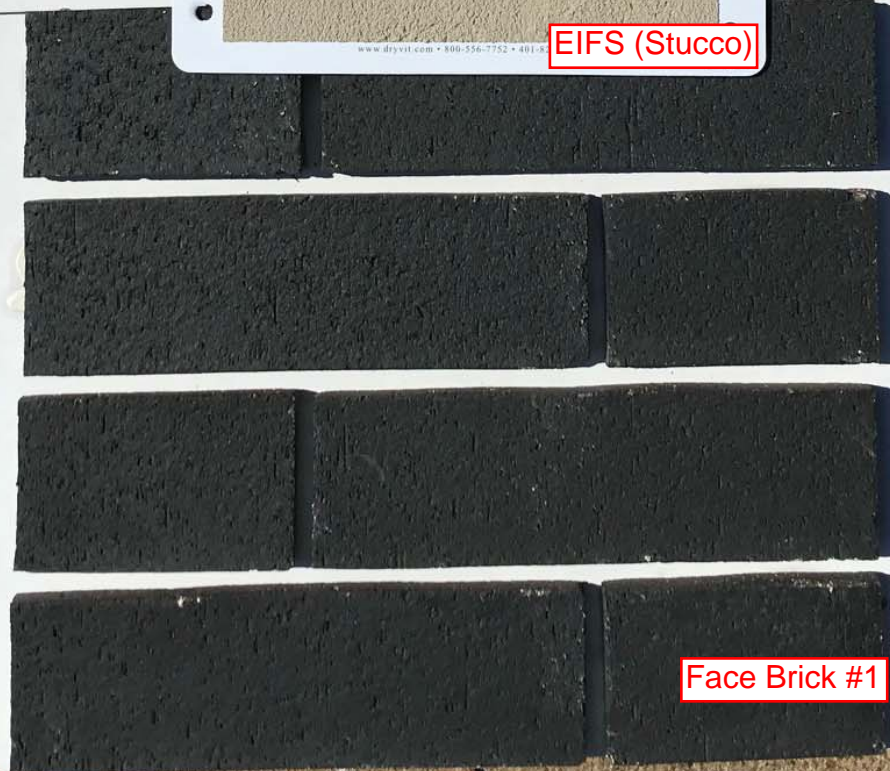


Window Finish #1

EIFS (Stucco)



Face Brick #3



Face Brick #1

Material finish samples for
The Hogrefe / Cooke
Building
6/16/20
Payto Architects Inc.

Pocketing of beams at adjacent building removal caused a large hole to occur and the dislodging of the brick at the entire length.

This facade will be replicated with new construction.

Brick has been significantly altered over the years.

Stone window surrounds, "C" brackets will be salvaged and reinstalled in new facade.

There is no historic material remaining in storefront.

Condition of 119 E Market upon removal of Cooke. Project team intends to demolish entire building and replicate existing facade with new construction.
Photos take 6/17/20









June 22, 2020

Mr. Jeffery Foster
Payto Architects Inc.

119 Market Street, Sandusky, Ohio – Existing Building Evaluation

Dear Mr. Foster:

Per your request we are writing this letter to summarize our site visit to 119 Market Street to visually assess its current condition and offer our professional opinion on the condition of the existing façade construction.

It was brought to our attention that during the demolition of the adjacent Cooke building there was a portion of existing roof framing that shared a common bearing wall. When demolition occurred next to 119 Market Street, a portion of the existing bearing wall collapsed leaving a large hole in the side of the building. While looking closer at the current bearing wall, the general contractor expressed concerns on the existing condition of the south wall of 119 Market Street.



Figure 1 - West bearing wall and south facade wall

Upon closer examination it was evident that there is a large bulge in the southwest corner of the façade between the decorative window head and decorative molding. The bulge appears to have been improperly repaired in the past. The bulging portion of masonry additionally leads into a horizontal crack continuing across the south wall to a stair step crack above the right-most window (Figures 2 and 3, for reference). Since the bulge shows a lateral translation, the mortar bed joint is assumed to have minimal to no bond between the courses of masonry. This bulge location should be repaired or replaced as required. Further investigation is needed to determine the extent of the horizontal crack as the exterior had a layer of paint concealing portions of that area.



Figure 2 - Close up of south wall



Figure 3 - South wall elevation view

The damage to the west wall of the building occurred along a bearing wall. Oravec Design Build recommends immediately shoring up the existing roof framing and supporting the floating brick at the wall opening. Further investigation is required to determine the full extent of damage to the structure caused by the neighboring building demolition.

Based on experience with other buildings of this age, it can be assumed that the existing mortar along these damaged locations is brittle and may crumble during repair work. It is our professional opinion that the masonry should be removed as required down to sound structure and rebuilt to match the original elevation. Further investigation is required to determine if there are additional structural deficiencies concealed by current wall finishes.



ODB's visual examination was a cursory review. No destructive testing was performed while on site. ODB assumes no liability for concealed conditions that may affect this analysis nor any defects in construction, whether observed or not, since this office was not involved in the original design and construction of this building. The opinions, conclusions, and recommendations contained in this letter are based on this writer's judgment and experience as a practicing Structural Engineer.

Please feel free to contact ODB's office with any questions or comments regarding this evaluation.

Best regards,

Matthew M. Oravec, P.E.

President

Oravec Design Build, LLC

Attachment: Beam Splice @ Column Connection



Thomas Horsman

To: Scott Thom
Subject: RE: 119 East Market

From: Scott Thom <sthom@ci.sandusky.oh.us>
Sent: Friday, June 26, 2020 9:09 AM
To: Thomas Horsman <thorsman@ci.sandusky.oh.us>
Cc: Mike Salmon (msalmon@h2productions.co) <msalmon@h2productions.co>; Jeff Foster <JFoster@paytoarchitects.com>; Matt Lasko <mlasko@ci.sandusky.oh.us>
Subject: RE: 119 East Market

Good morning gentlemen,

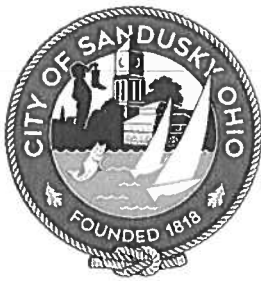
I did meet at the building with Mike Salmon to discuss what was planned for the structure, it had visible 5' – 6' round hole in the upper portion of the southwest corner. I was not on the premises to conduct an inspection at that time. I did an inspection of it the morning of June 26, 2020.

I am in agreement that the structure is in very poor condition structurally. All mechanical systems (electrical, plumbing & HVAC) have been removed. It is essentially a shell of a structure that is not stable in the current condition. The 5' - 6' hole in the southwest corner has substantially compromised the west wall and upper front facade, that coupled with the rear portion of the west wall at the 2nd floor assembly line, a timber was placed onto existing brick wall and additional masonry was laid on top of it creating a hinge point. In my professional opinion the west wall is very unstable and under the right weather conditions could collapse.

I am in favor of a controlled demolition in stead of a weather related collapse.

Respectfully,

Scott Thom



Scott T. Thom | *Chief Building Official*
Community Development – Building Division
222 Meigs Street | Sandusky, OH 44870
T: 419.627.5555 | F: 419.627.5555
O: 419.627.5989 | M: 419.515.1141
www.ci.sandusky.oh.us

