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## Landmark Commission

240 Columbus Ave  
Sandusky, Ohio 44870

419.627.5715

[www.cityofsandusky.com](http://www.cityofsandusky.com)

### **AGENDA**

**April 21, 2021**

**5:00 P.M.**

**Virtual Meeting via Microsoft Teams and  
Live Streamed on [www.youtube.com/CityofSanduskyOH](https://www.youtube.com/CityofSanduskyOH)**

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1. Call to Order -Roll Call
2. Review of April 21, 2021 Meeting Minutes
3. Applications:
  - a. 131 E. Water Street
  - b. 333 W. Market Street
4. Changes to COA application and process
  - Draft of COA application
  - Changes to process
5. Opportunities and challenges for Landmark Commission
  - List of items from past minutes and commission discussions
6. Identification of proposed city landmarks
  - Copy of Application for Landmark Designation
  - Sandusky Ohio Historic Inventory 1979, Addendum 1986
7. Study of problems and determination of needs of the City in restoring/preserving historic buildings, structures, areas and neighborhoods.
  - Development of needs assessment
8. Historic markers denoting landmark/historic buildings in the City.
  - Image of City of Cleveland marker
9. Liaison on behalf of city to individuals and organizations concerned with historic preservation; educate citizens regarding historic preservation and concerns.
  - Old House Guild of Sandusky

- Erie County Historical Society
- Sandusky Library
- Follett House Museum
- Merry-Go-Round Museum
- Maritime Museum of Sandusky
- Sandusky Children's Museum

**10. Other Business**

**11. Administrative Approvals Report**

**12. Adjournment**

**NEXT MEETING: June 16, 2021**

**Please notify staff at least 2 days in advance of the meeting if you cannot attend.**

**Landmark Commission  
April 21, 2021  
Remote Meeting  
Minutes**

**Meeting called to order:**

Chairman Dr. Berkey called the meeting to order at 5:02pm. The following members were present: Mr. Jon Lawrence, Mr. Joe Galea, Mr. Ryan Nagel, and Mr. Ryan Whaley. Mr. Thomas Horsman represented the Planning Department. Clerk Kristen Barone was also present.

**Review of minutes from March 15, 2021:**

Mr. Lawrence made a motion to approve the minutes and Mr. Nagel seconded. All members were in favor of the motion.

**Review of Chapter 1161 – Landmark Preservation**

Dr. Berkey read aloud to the Landmark Commission the intent of the Landmark Preservation Chapter. He said that the first of the Powers and Duties of the Landmark Commission is to recommend to City Commission legislation for designation of individual landmark properties, sites, and districts that would serve to beautify, protect, preserve, restore, and develop the City. He said that the city has two Landmark Districts, the downtown area and the Erie County Fair Grounds. Dr. Berkey said that would raise the question on if there are other areas that the members would like to explore and consider. He said that the second of the Powers and Duties of the Landmark Commission is to study problems and determine the needs of the City in restoring and preserving historic buildings, structures, areas, and neighborhoods. Dr. Berkey said that this duty sounds like it is calling for a needs assessment. He said that he thinks that would be a good topic to explore and then conduct at some point. Dr. Berkey stated that the third and fourth duties, is what the Commission primarily does, and that is to review and act on applications received. The fifth duty is to work to erect historic markers to denote landmark and historic buildings within the City. He asked if any other members or staff is aware of this ever occurring. Mr. Galea stated that this has not occurred since he has been on the Landmark Commission. Dr. Berkey asked Mr. Horsman if he is aware of a budget for this and Mr. Horsman said that he is not aware of a budget for this activity. Mr. Galea said that this may be something that a fundraiser could assist with. Mr. Horsman stated that is also an allowed activity with the State Historic Preservation Office Ohio History grants. Mr. Nagel said that he remembers that the Historical Society in Avon, where he grew up handed these out to properties in that area, but he was thinking that the owner of the property may have paid for the plaque if they wanted it. The sixth duty is to act as a liaison on behalf of the City of Sandusky to individuals and organizations concerned with historic preservation; educate citizens regarding historic preservation issues and concerns. Dr. Berkey said that there is the Old House Guild and the Erie County Historical Society and asked the members if there are any others they should be connecting with. Mr. Galea stated that the Sandusky Library has some resources on the history of Sandusky and might be a good partner. He also stated that there may be students studying history or journalism at a University that could potentially be a good partner. Dr. Berkey said that the last duty states that The Landmark Commission and City Planning Staff shall maintain a surveyed inventory for historic and cultural resources within the City. The inventory will detail designated districts, sites, and/or structures. This inventory will be submitted to the State Historic Preservation Office and open to the public. The inventory shall be updated periodically to reflect changes, alterations, and demolitions. Mr. Horsman stated that staff keeps a list on file and shares that list with the State Historic Preservation Office, and the list is also on the City's website. He said that he believes the last survey was done by the Old House Guild in the 1970's, of all historic structures in the City. Dr. Berkey asked the committee to think about the above Powers and Duties of the Landmark Commission and let him know if someone wants to volunteer to be a point person in working on one of them. He stated that he has

asked Mr. Nagel to partner with him on reviewing applications from other municipalities to see if there were some changes that could be made to the City of Sandusky's application for a Certificate of Appropriateness. He said that sometimes it seems that the Landmark Committee is not able to get a lot of needed information until the day of the meeting when speaking with the applicant and then has to make a decision without getting much time to think about it. If all information needed was given in the application that would be more helpful for the committee members. Mr. Nagel added that in other cities where he has attended Landmark Commission meetings for work, the applicant or applicant's agent takes the lead in describing the property and the project. In Sandusky, staff take that lead. He said he feels it should be the responsibility of the applicant or applicant's agent to take the lead. Dr. Berkey said that if the application outlines everything that the Landmark Commission needs to know, that should set up the applicant and/or agent to do that. Dr. Berkey stated that after reviewing other applications, he will put together a draft application for the committee members to review at the next meeting.

**Administrative Approvals:**

Mr. Horsman stated that staff did administratively approve the new Paddle Bar signage. The signage was similar to what was there when Maca Root occupied the space. Staff did feel that the signage appropriately met the guidelines.

**Other Business:**

Dr. Berkey said that in the past, applicants that were previously approved for a project would sometimes come back and update the Landmark Commission on their projects. He said that it would be nice to get an update from time to time if the applicants are willing to do that. He asked if staff could reach out to applicant and/or agent of the new Hogrefe/Cooke building that is going up, to see if the committee could get an update on that.

**Meeting adjourned:**

Mr. Lawrence made a motion to adjourn and Mr. Whaley seconded. The meeting ended at 5:43pm.

**Approved by:**

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Kristen Barone, Clerk

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Timothy Berkey, Chairman



# LANDMARK COMMISSION REPORT

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## APPLICATION FOR PAINTING AND AWNING INSTALLATION AT 131 E. MARKET ST.

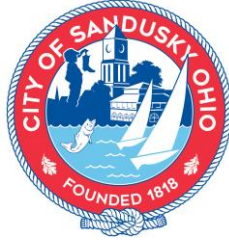
Reference Number: PLC21-0016

Date of Report: May 19, 2021

Report Author: Tom Horsman

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# City of Sandusky, Ohio

## Landmark Commission Report

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### BACKGROUND INFORMATION

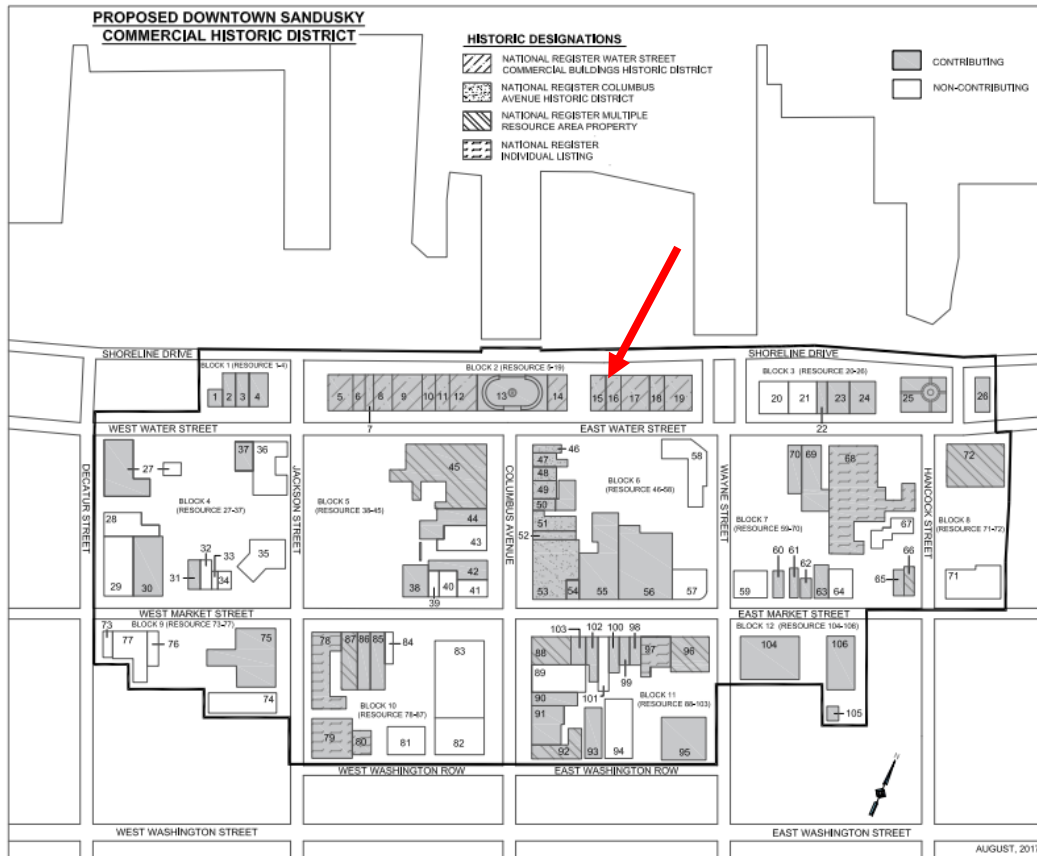
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Applicant	ESP Bikes LLC 6010 Coventry Cir. Huron, Ohio 44839
Site Location:	131 E. Water St.
Historic Status:	Contributing building in Downtown Sandusky Commercial Historic District
Zoning:	"DBD"/Downtown Business District
Existing Uses:	Vacant
Proposed Uses:	Retail store
Proposed Project:	Painting the door and window frames black. Installing a black awning over the storefront.

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## SITE DESCRIPTION

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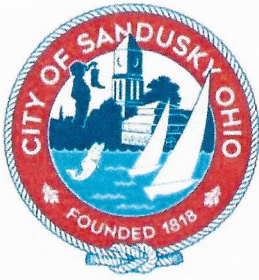


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## CONCLUSION/RECOMMENDATION

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Staff believes the proposal is in line with the Sandusky Preservation Design Guidelines and recommends approval of the Certificate of Appropriateness.



## LANDMARK COMMISSION

### Application for a Certificate of Appropriateness

Department of Planning  
240 Columbus Ave  
Sandusky, Ohio 44870  
419.627.5891  
[www.cityofsandusky.com](http://www.cityofsandusky.com)

### Instructions to Applicants

**MEETINGS:** 3<sup>rd</sup> Wednesday of each month at 5:00 P.M.\* – City Commission Chamber, First Floor of City Hall.

*\*Meeting dates are subject to change. Please check [www.cityofsandusky.com/Landmark](http://www.cityofsandusky.com/Landmark) for an updated schedule.*

**DUE DATE FOR SUBMITTALS:** Applications are due by 5:00 P.M. on the date of the preceding month's Landmark Commission meeting.

**WHO MUST ATTEND:** The property owner, or the authorized agent of the owner, must be present at the Landmark Commission meeting.

**APPLICATION FEE:** No Fee.

**SUBMISSION REQUIREMENTS:** Please provide either a hard copy or electronic copy of the following:

- 1) Completed application
- 2) Supporting documentation:
  - A. New Construction
    - a. Scaled drawings
    - b. Site plan
    - c. Photographs
    - d. Material list
  - B. Additions/Alterations
    - a. Scaled drawings
    - b. Photographs
    - c. Material list
  - C. Signage
    - a. Scaled drawings
    - b. Location of sign
    - c. Photographs
    - d. Width of building
    - e. Lot frontage
  - D. Demolition
    - a. A report as to the structural soundness of the building prepared by professionals experienced in preservation and rehabilitation
    - b. Estimates of the costs and income for rehabilitation of the building
    - c. Estimates of the costs and income for new development
    - d. Valuation of the property
    - e. Preliminary development plans

\*Historic photographs of the structure/property may be requested by Planning Staff or the Landmark Commission

**Please note that the granting of a Certificate of Appropriateness is not a Building Permit. A separate Building Permit must be issued prior to all construction.**

Submit application and materials to:  
City of Sandusky  
Department of Planning  
240 Columbus Ave.  
Sandusky, OH 44870

Contact Thomas Horsman, Assistant Planner, at 419-627-5715 or [thorsman@ci.sandusky.oh.us](mailto:thorsman@ci.sandusky.oh.us) with any questions.

# Application for a Certificate of Appropriateness

## STAFF USE ONLY:

Filing Date: \_\_\_\_\_ Hearing Date: \_\_\_\_\_ Reference Number: \_\_\_\_\_

Address of Property for Certificate of Appropriateness: 131 E. WATER ST  
Name of Property Owner: RENAISSANCE TOO LLC / BNS HAWK  
Mailing Address of Property Owner: PO BOX 1070  
City: SANDUSKY State: OHIO Zip: 44870  
Telephone #: \_\_\_\_\_ Email: \_\_\_\_\_

If same as above check here ☐

Name of Applicant: ESP BIKES LLC DBA Pedego SANDUSKY  
Mailing Address of Applicant: 6010 COVENTRY CIR  
City: Huron State: OH Zip: 44839  
Telephone #: 419-271-4165 Email: neislerjett@gmail.com

Description of Work to be Done:

Bryan Boyan 5-3-2021  
Signature of Property Owner Date  
As MANAGER

[Signature] 5-4-2021  
Signature of Authorized Agent Date



## **The Sandusky Preservation Design Guidelines**

The guidelines can be found on the city's website at

[http://www.cityofsandusky.com/residents/planning\\_and\\_zoning/historic\\_preservation.php](http://www.cityofsandusky.com/residents/planning_and_zoning/historic_preservation.php)

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### **The Secretary of the Interior's Standards for the Treatment of Historic Properties**

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment;
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alternation of features and spaces that characterize a property shall be avoided;
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken;
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved;
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved;
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;
- (9) New additions, exterior, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## Owner Consent for Sign Installation and Permits

I Jeff Nerbler, being the owner, manager  
(Individual's Name)  
of the business/property known as Pedego Sandusky  
(Name of Business)  
and located at 131 E. WATER ST do hereby certify that  
(Address)  
I am allowing Brady Signs (and / or their sub-contractor) to obtain permits  
and install signage at the below mentioned address.

Site Address:

131 E WATER ST  
SANDUSKY Ohio  
44870

Signature

Name:

Date:

Jeff Nerbler  
5/3/2021



27'-5 3/4"



PROPOSED STOREFRONT AWNING

This drawing is not to be used as an exact representation of color. Colors shown represent design intent only for customer's consideration. Copyright © 2021 Brady Signs.

These drawings are the exclusive property of Brady Signs. They represent chargeable time spent. They are submitted for your personal use under the agreement that the use of the design is in its entirety or any part will not be reproduced, copied, lent or used for any purpose without written consent from Brady Signs.

1721 Hancock Street  
Sandusky, OH 44870  
Phone: 419-626-5112  
www.bradydesigns.com



Customer: Pedego Electric Bikes

Date: 04/27/21

Location: 131 Water St., Sandusky, OH 44870

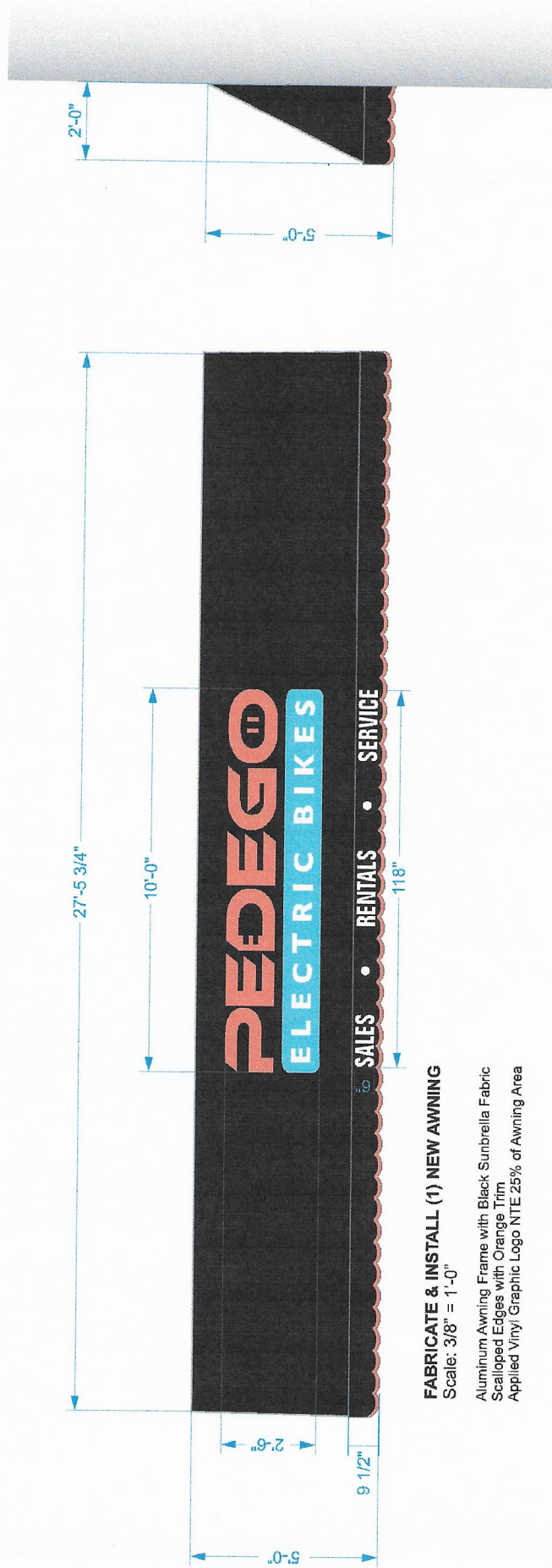
File Name: Dwg75850A

Client Approval:

Title:

Date:






SIDE VIEW

**FABRICATE & INSTALL (1) NEW AWNING**  
 Scale: 3/8" = 1'-0"  
 Aluminum Awning Frame with Black Sunbrella Fabric  
 Scalloped Edges with Orange Trim  
 Applied Vinyl Graphic Logo NTE 25% of Awning Area

This drawing is not to be used as an exact representation of color. Colors shown represent design intent only for customer's consideration. Copyright © 2021 Brady Signs.

 <b>BRADY</b> <b>SIGNS</b>	1721 Hancock Street Sandusky, OH 44870 Phone: 419-626-5112 www.brady signs.com		
	These drawings are the exclusive property of Brady Signs. They represent chargeable time spent. They are submitted for your personal use under the agreement that the use of the design is in its entirety or any part will not be reproduced, copied, lent or used for any purpose without written consent from Brady Signs.		
Customer:	Pedego Electric Bikes	Date:	04/27/21
Location:	131 Water St., Sandusky, OH 44870	File Name:	Dwg75650A
Client Approval:	Title: _____ Date: _____		



Job Site:

Pedego Electric Bikes  
131 Water Street  
Sandusky, OH 448790

Job Description:

BRADY SIGNS TO FURNISH AND INSTALL (1) 27'5" L X 5' W X 2' H AWNING. NEW AWNING TO HAVE BLACK CANVAS (SUNBRELLA) MATERIAL WITH ORANGE TRIM AT THE BOTTOM. PRICE INCLUDES TBD "PEDEGO" GRAPHICS.

CUSTOMER IS REQUESTING THAT THE DOOR AND WINDOW FRAMES BE PAINTED BLACK.

1721 Hancock Street • Sandusky, OH 44870  
p: 419.626.5112 • f: 419.625.5985

**BRADYSIGNS.COM**

# LANDMARK COMMISSION REPORT

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## APPLICATION FOR RENOVATION OF THE HEMMINGER SALOON AT 333 W. MARKET ST.

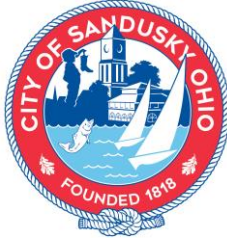
Reference Number: PLC21-0014

Date of Report: May 19, 2021

Report Author: Tom Horsman

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# City of Sandusky, Ohio

## Landmark Commission Report

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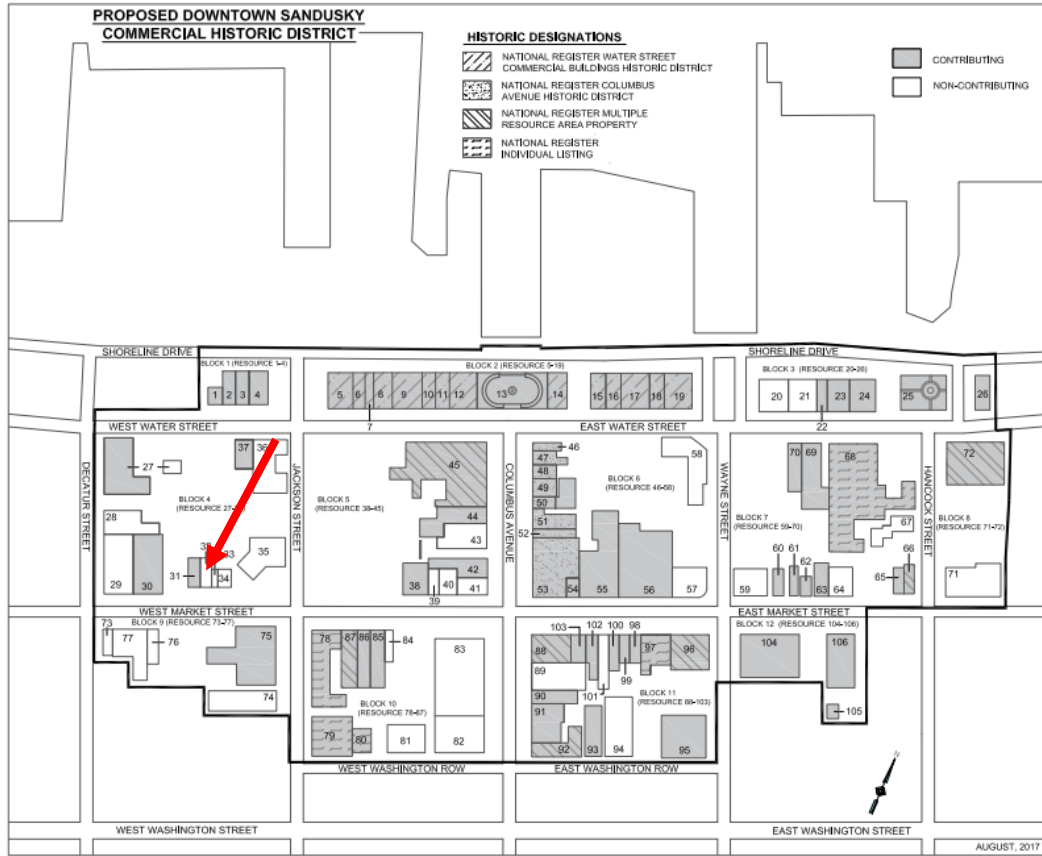
### BACKGROUND INFORMATION

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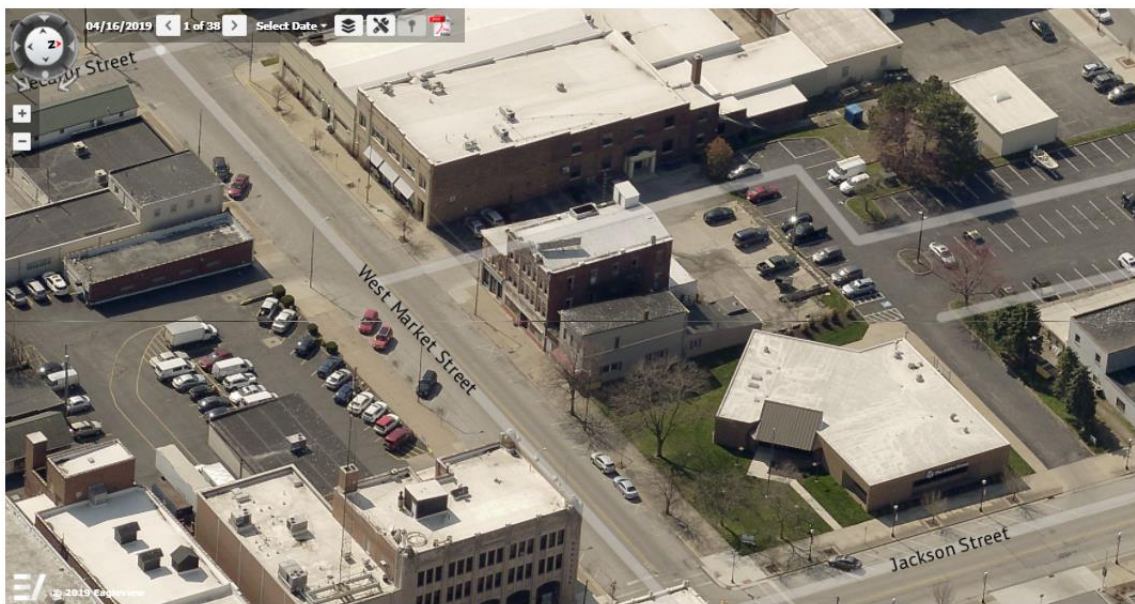
Applicant/ Owner:	Conor Whelan MAC Building and Development 333 W. Market St. Sandusky, OH
Site Location:	333 W. Market St.
Historic Status:	Hemminger Saloon – Individually listed on the National Register of Historic Places and a contributing building to the Downtown Sandusky Commercial Historic District
Zoning:	"DBD"/Downtown Business District
Existing Uses:	Vacant
Proposed Project:	Renovation into apartments and a brewpub on the first floor. Construction of a rooftop deck.



## SITE DESCRIPTION



### Aerial View of the property from spring 2019



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#### DEPARTMENT OF PLANNING COMMENTS

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The Landmark Commission denied an application for a Certificate of Appropriateness for this building in March 2021. The applicant has resubmitted a new application with additional detail and some changes from the previous application. The applicant has provided a description of the exterior work to be done, along with elevation drawings, photos, and renderings.

#### Comments from previous application:

The Hemminger Saloon was originally constructed between 1884-1886. It is listed individually on the National Register and also a contributing building in the downtown historic district. The downtown district National Register nomination form describes the building as follows,

“Listed on the National Register (Criterion C) in October 1982. This building was built in 1884-1886 for Jacob Hemminger for the purpose of a saloon. The Hemminger Saloon is a three-and-a-half story brick building with a stone foundation is designed in the High Victorian style and features a peaked tin cornice with brackets and a three-sided window with stone trim. The pilasters have carved stone trim. Windows have carved stone lintels in front; side windows have plain stone lintels. The first floor has a recessed door. A stone addition has been added in the rear. Although modified from its original design, it retains its historic integrity.”

The upper part of the façade retains most of its historic integrity, however, the first floor storefront has been heavily altered over the years. The applicant is proposing to reconfigure the first floor storefront, add balconies to the rear of the building above the first floor stone addition, and to construct a rooftop deck on top of the building. Work had commenced on a

roof structure in late 2020, but has since been halted for review by the Landmark Commission. This structure encloses the staircase that leads to the roof.

The Sandusky Preservation Design Guidelines do not specifically address additions built on top of historic buildings. The National Park Service's ITS 47 brief, Rooftop Additions on Mid-Size Historic Buildings, of the Secretary of the Interior Guidelines states:

"A successful rooftop addition does not significantly impact the character of the historic building. It is subordinate to the historic building in size and design, and compatible with its massing, scale, materials and features. It must be set far enough back from the primary elevation(s) of the building — usually at least one bay, so that it is not highly visible from the public right-of-way. In most cases, rooftop additions should not be more than one story and, generally, they are not appropriate for buildings consisting of three stories or less."

The Landmark Commission has recently approved a number of rooftop structures on buildings along Water Street and Shoreline Drive. The location of the buildings near the waterfront allows for a unique experience and having publicly accessible rooftop structures enhances the vibrancy of the downtown. The Preservation Guidelines do speak more generally about additions to historic buildings and state that additions should be constructed in a way that it's clear that they are new additions and not meant to blend in with the historic building.

The location of this building on W. Market St. does slightly distinguish itself from the buildings on Water St. in that it is at least one story taller than adjacent buildings, which makes the rooftop addition more visible than some of the other ones that have been constructed downtown.



## LANDMARK COMMISSION

### *Application for a Certificate of Appropriateness*

Department of Planning  
240 Columbus Ave  
Sandusky, Ohio 44870  
419.627.5891

### **Instructions to Applicants**

[www.cityofsandusky.com](http://www.cityofsandusky.com)

**MEETINGS:** 3<sup>rd</sup> Wednesday of each month at 4:30 P.M.\* – City Commission Chamber, First Floor of City Hall.

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    - c. Photographs
    - d. Width of building
    - e. Lot frontage
  - D. Demolition
    - a. A report as to the structural soundness of the building prepared by professionals experienced in preservation and rehabilitation
    - b. Estimates of the costs and income for rehabilitation of the building
    - c. Estimates of the costs and income for new development
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\*Historic photographs of the structure/property may be requested by Planning Staff or the Landmark Commission

**Please note that the granting of a Certificate of Appropriateness is not a Building Permit. A separate Building Permit must be issued prior to all construction.**

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City of Sandusky  
Department of Planning  
240 Columbus Ave.  
Sandusky, OH 44870

Contact Thomas Horsman, Assistant Planner, at 419-627-5715 or [thorsman@ci.sandusky.oh.us](mailto:thorsman@ci.sandusky.oh.us) with any questions.

### **Application for a Certificate of Appropriateness**



**STAFF USE ONLY:**

Filing Date: \_\_\_\_\_ Hearing Date: \_\_\_\_\_ Reference Number: \_\_\_\_\_

Address of Property for Certificate of Appropriateness: \_\_333 W Market St\_\_\_\_\_

Name of Property Owner: \_MAC Building and Development LLC, Conor Whelan and Tony Limberios\_\_

Mailing Address of Property Owner: \_333 W. Market St\_\_\_\_\_

City: \_\_Sandusky\_\_\_\_\_ State: \_\_OH\_\_\_\_\_ Zip: 44870 Telephone

#: \_419-239-4877\_\_\_\_\_ Email: \_\_\_\_\_macbuilders96@gmail.com\_\_\_\_\_

If same as above check here (SAME AS ABOVE)

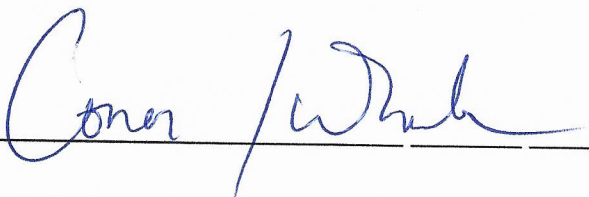
Name of Applicant:

\_\_\_\_\_ Mailing Address of  
Applicant: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone #: \_\_\_\_\_ Email: \_\_\_\_\_

Description of Work to be Done: Please see the attached document (extra pages) with detailed description



4/21/21

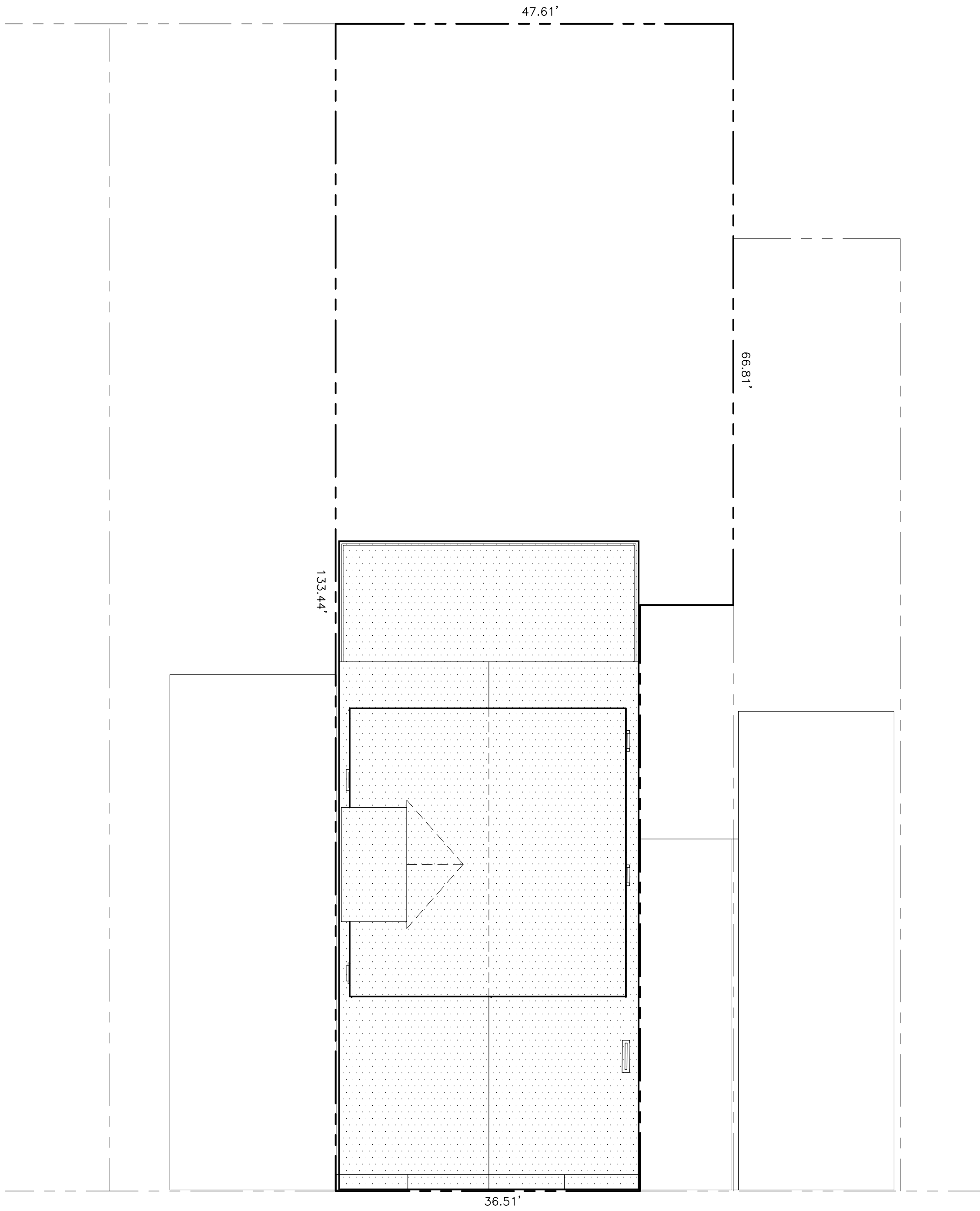
Signature of

Property Owner Date Signature of Authorized Agent Date

The guidelines can be found on the city's website at  
[http://www.cityofsandusky.com/residents/planning\\_and\\_zoning/historic\\_preservation.php](http://www.cityofsandusky.com/residents/planning_and_zoning/historic_preservation.php)

## **The Secretary of the Interior's Standards for the Treatment of Historic Properties**

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- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;
- (9) New additions, exterior, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



MARKET STREET

SITE PLAN

SCALE: 1" = 10'-0"

# Brewpub & Apartments Renovations

Phase I - 2nd & 3rd Floor Apartments

Phase II - 1st Floor & Basement

Phase III - Roof Deck

333 West Market Street Sandusky, Ohio

PHASE 1 OF THE PROJECT CONSISTS OF REMODELING THE EXISTING 2ND FLOOR & 3RD FLOOR APARTMENTS.  
TO BE REVIEWED AS SECTION 3404 EXISTING BUILDINGS AND STRUCTURES - ALTERATIONS

#### CODE REVIEW

BASED ON 2017 OHIO BUILDING CODE WITH UPDATES  
2017 OHIO PLUMBING CODE  
2017 OHIO MECHANICAL CODE  
2017 NATIONAL ELECTRICAL CODE  
2009 ACCESSIBLE AND USABLE BUILDINGS (ICC A117.1)  
2012 INTERNATIONAL ENERGY CONSERVATION CODE

#### CHAPTER 302 USE AND OCCUPANCY CLASSIFICATION

EXISTING: FLOOR 1 - M MERCANTILE, FLOORS 2 & 3 - R2 APARTMENTS  
306.3 PHASE I - FLOOR 2 & 3; R-2 APARTMENTS, PHASE II - CHANGE OF USE FLOOR 1: A-2 BREWPUB  
TABLE 503 ALLOWABLE BUILDING HEIGHTS AND AREAS

ACTUAL HEIGHT - 41'-4"  
ACTUAL STORIES - 3 STORY  
EXISTING AREA - FLOOR 1: 2540 SF,  
FLOOR 2: 2078 SF, NEW 2ND FLR. DECK: 487 SF  
FLOOR 3: 2078 SF, NEW 3RD FLR. DECK: 487 SF

TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES (HOURS)  
2 HOUR SEPARATION BETWEEN THE FIRST FLOOR AND 2ND FLOOR REQUIRED AND 2 HOUR PROVIDED

TABLE 602 & 601 CONSTRUCTION TYPE 3B,

SECTION 903 AUTOMATIC SPRINKLER SYSTEMS  
NONE REQUIRED OR PROVIDED

SECTION 906 PORTABLE FIRE EXTINGUISHERS - ORDINARY(MODERATE)HAZARD OCCUPANCY  
ONE 10B 2-A PROVIDED AT EACH EXIT  
MINIMUM RATED SINGLE EXTINGUISHER - 2-A  
MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER - 75 FEET ACTUAL 40 FEET

SECTION 907 FIRE ALARM & DETECTION SYSTEMS FLR 2 & 3 APTS: SMOKE DETECTORS PROVIDED

#### CHAPTER 10 MEANS OF EGRESS

TABLE 1004.1.1 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT  
A2: 15/SF NET 1154/15 = 77 OCCUPANTS  
R2: 200/SF GROSS FLR 2 - 1658/200 = 8 OCCUPANTS, FLR 3 - 1714 /200 = 8 OCCUPANTS

SECTION 1005 EGRESS WIDTH  
REQUIRED WIDTH 43 X 0.2 INCH = 8.6 INCHES TOTAL PROVIDED = 36 INCHES

TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY

SECTION 1008 MEANS OF EGRESS ILLUMINATION  
ILLUMINATION AND EMERGENCY POWER IS PROVIDED

TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE  
r-2 = 200 FEET 85 FEET PROVIDED

#### GENERAL NOTES

- All work shall be constructed under City of Sandusky inspection. Materials and construction for storm & sanitary sewage, water and highway improvements shall meet all state and local codes. Building materials and construction shall meet Local Building and Zoning Codes and Ohio Building Code.
- All Proper permits must be obtained for all construction work (which has been approved by proper departments) prior to any construction. It shall be the responsibility of each individual contractor to secure and pay for all the required State and Local permits. Plumbing and Electrical Contractors to be responsible for their own permits, fees and ect.
- All contractors, including the General and his Subcontractors, Electrical, Plumbing, must be licensed to do work within the governing municipality.
- All materials to be new or unused quality and installed & finished per manufacturer specifications & industry standards.
- All Contractors shall visit the site and familiarize themselves with existing physical conditions. Before & during construction, contractors will verify all dimensions & elevations & conditions. Any discrepancies or unknowns found will be brought to the owner's representative before proceeding with work.
- Materials and arrangements neither shown nor noted, but obviously necessary to complete the work for proper performance and use, usually included in work of similar character, shall be furnished and installed without additional cost to the Owner.
- Any materials and/or equipment to be removed by contractors will be offered to the Owner after removal. Materials and/or equipment not wanted by the Owner shall be disposed, by the Contractor off the site.
- It is the Contractor's sole responsibility to follow all applicable safety codes and regulations during construction. Contractors will provide all necessary construction barriers to maintain Owner's safety.
- All construction materials, equipment & job trailers shall be stored only in areas designated by the Owner.
- General Contractor shall provide & maintain a refuse container for all construction debris. Contractors working on the site shall clean up work areas on a daily basis to the satisfaction of the Owner.
- Any damage by Contractors to existing surfaces, materials, equipment during construction will be repaired or replaced to Owner's satisfaction.

#### ABBREVIATIONS

AFF ABOVE FINISH FLOOR  
ARCH ARCHITECT(URAL)  
BLDG BUILDING  
CJ CONTROL  
CLG CEILING  
CONC CONCRETE  
CONT CONTINUOUS  
C.T. CERAMIC TILE  
DIA. DIAMETER  
D.S. DOWNSPOUT  
DWG DRAWING  
(E) EXISTING  
EA EACH  
EJ EXPANSION JOINT  
ELEC ELECTRICAL  
EL ELEVATION  
EQUIP EQUIPMENT  
EWC. ELECTRIC WATER COOLER  
F.D. FLOOR DRAIN

F.O.C. FACE OF CONCRETE  
F.O.F. FACE OF FINISH  
F.O.S. FACE OF STUD  
F.R. FIRE-RETARDANT  
GA. GAUGE OR GAGE  
GC. GENERAL CONTRACTOR  
G.I. GALVANIZED  
GYP.BD GYPSUM BOARD  
H.C. HOLLOW CORE  
H.M. HOLLOW METAL  
HORIZ HORIZONTAL  
HT HEIGHT  
I.D. INSIDE DIAMETER  
JT JOINT  
LAV LAVATORY  
MAX MAXIMUM  
MECH MECHANICAL  
MFR MANUFACTURER  
MIN. MINIMUM

M.O. MASONRY OPENING  
(N) NEW  
NIC NOT IN CONTRACT  
NOM NOMINAL  
NTS NOT TO SCALE  
O.C. ON CENTER  
O.D. OUTSIDE DIAMETER  
OPG OPENING  
OPP OPPOSITE  
(P) PAINT  
PR PAIR  
R RISER  
(R) REMOVE  
RE: REFER (TO)  
REQD REQUIRED  
R.D. ROOF DRAIN  
R.O. ROUGH OPENING  
S.C. SOLID CORE  
SF SQUARE FEET

SIM. SIMILAR  
SPEC SPECIFICATIONS  
S.S. STAINLESS STEEL  
STD STANDARD  
STR. STRUCTURAL  
S.A.C SUSPENDED ACOUSTIC CEILG.  
T TREAD  
T.O.B. TOP OF BEAM-STEEL  
T.O.C. TOP OF CONCRETE  
T.O.W. TOP OF WALL  
TYP TYPICAL  
UNQ. UNLESS NOTED OTHERWISE  
VCT. VINYL COMPOSITION TILE  
W/ WITH  
WC WATER CLOSET  
WR WATER RESISTANT  
WWF. WELDED WIRE FABRIC  
MFR. MANUFACTURER  
GWB GYPSUM WALL BOARD

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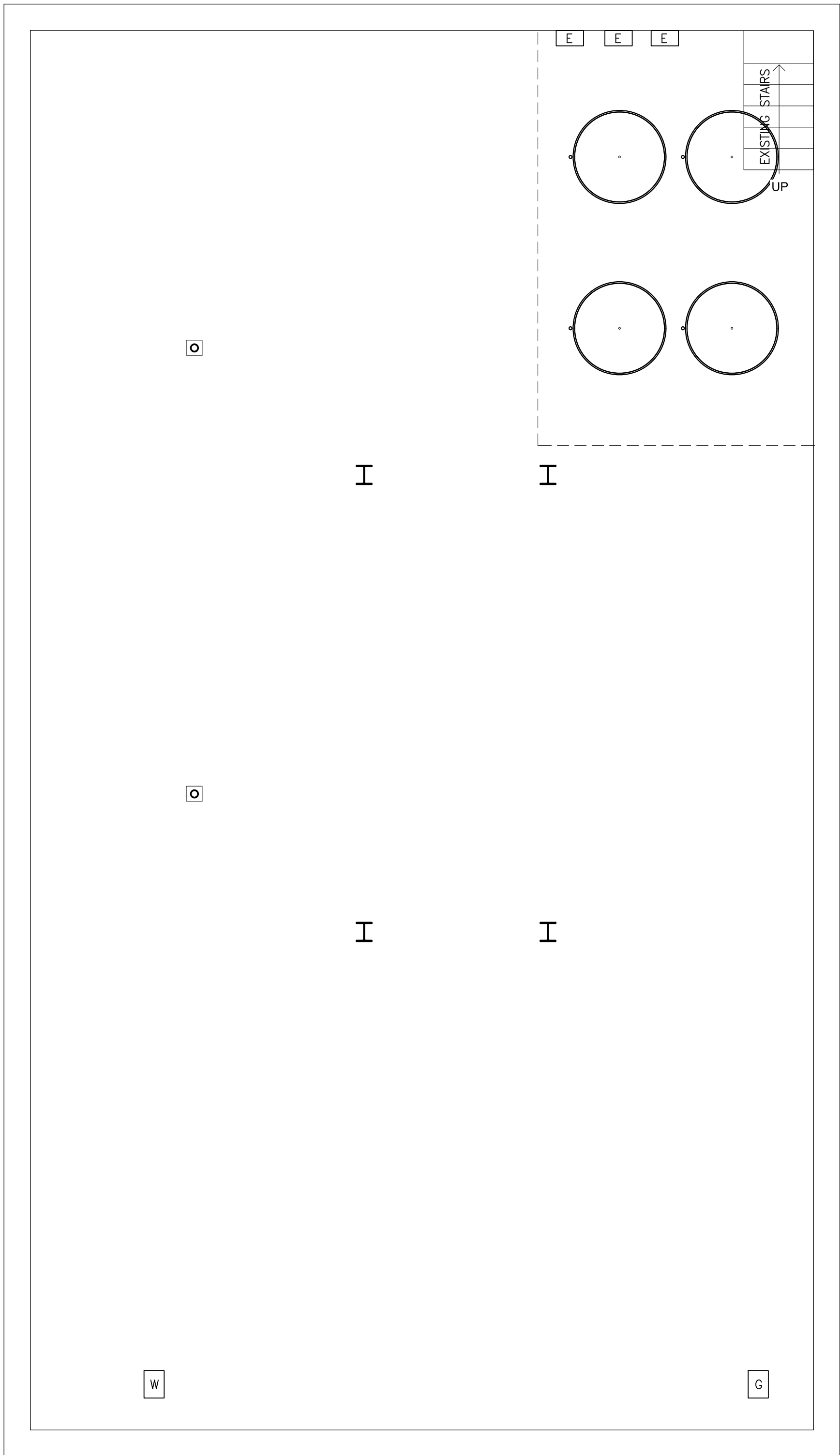
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#### DRAWING LEGEND

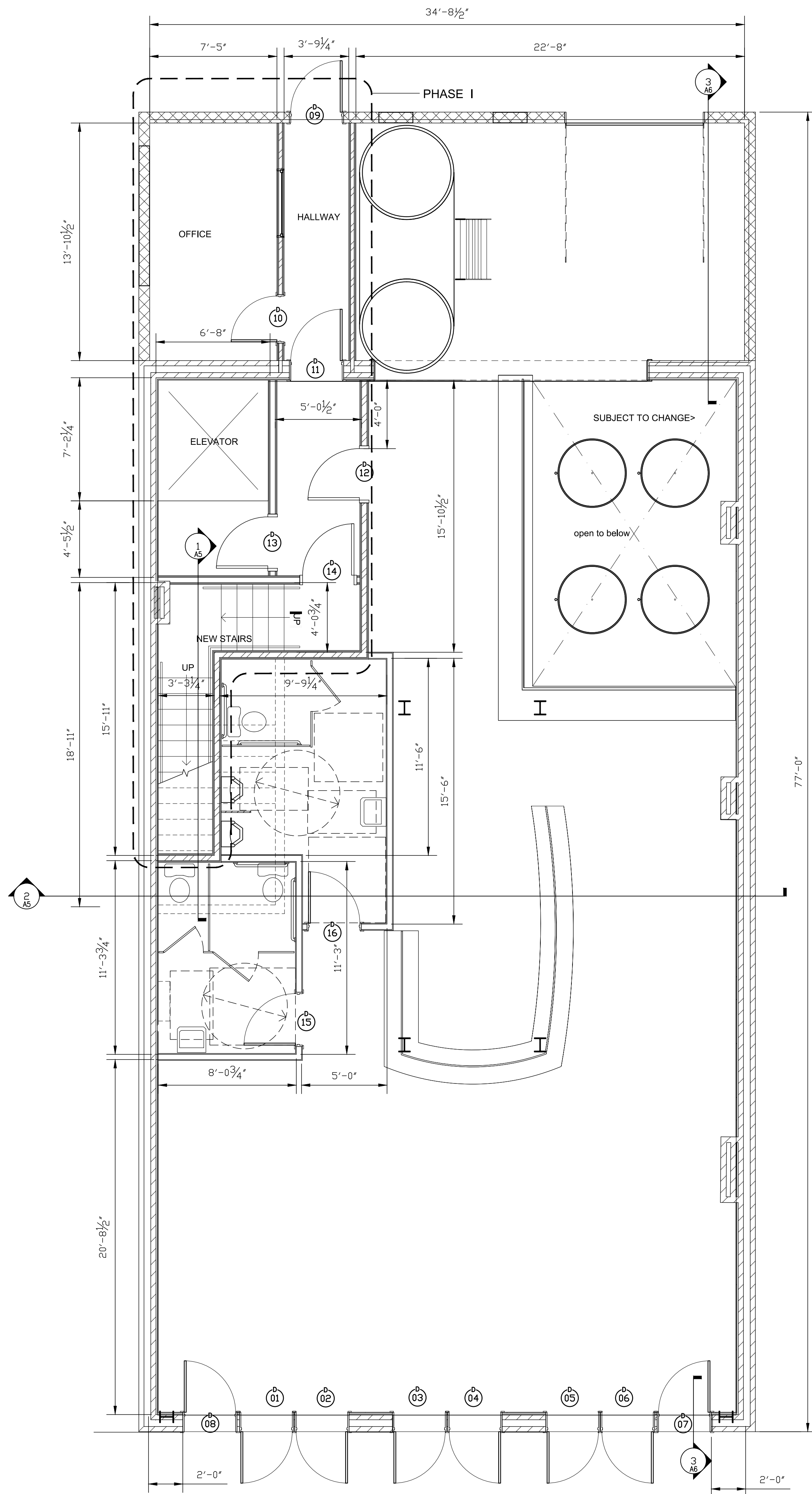
T-1 TITLE PAGE SITE PLAN  
A-1 FLOOR PLAN 1 & BSMT  
A-2 FLOOR PLAN 2 & 3  
A-3 ELEVATIONS  
A-4 ROOF PLAN  
A-5 STAIR SECTIONS  
A-6 SECTIONS, STAIR PLANS  
A-7 SCHEDULES  
S-1 STRUCTURAL PLANS  
S-2 STRUCTURAL ROOF PLANS  
P-1 PLUMBING PLANS  
P-2 PLUMBING PLANS  
M-1 MECHANICAL PLANS  
M-2 MECHANICAL PLANS  
E-1 LIGHTING/POWER PLAN  
E-2 POWER SCHEDULES

Phase II  
Basement Plan

SCALE: 1/4"=1'-0"



- EXISTING MASONRY WALL
- GA FILE No. WP 4136  
NEW WOOD FRAMED 2 HR RATED WALL 2x4  
STUDS @ 16" C/C, (2) LAYERS 5/8" GWB  
COMPLETE DESCRIPTION ON DWG. A2
- GA FILE No. WP 3241  
NEW WOOD FRAMED 1 HR RATED PARTITION WALL  
EACH SIDE 2x4 STUDS @ 16" C/C, (1) LAYERS 5/8" WITH  
RESILIENT CHANNELS ON ONE SIDE. COMPLETE DESCRIPTION  
ON SECTION 2 ON A5



Phase II  
1st Floor Plan

SCALE: 1/4"=1'-0"

FLOOR PLAN

Renovations  
Brewpub & Apartments

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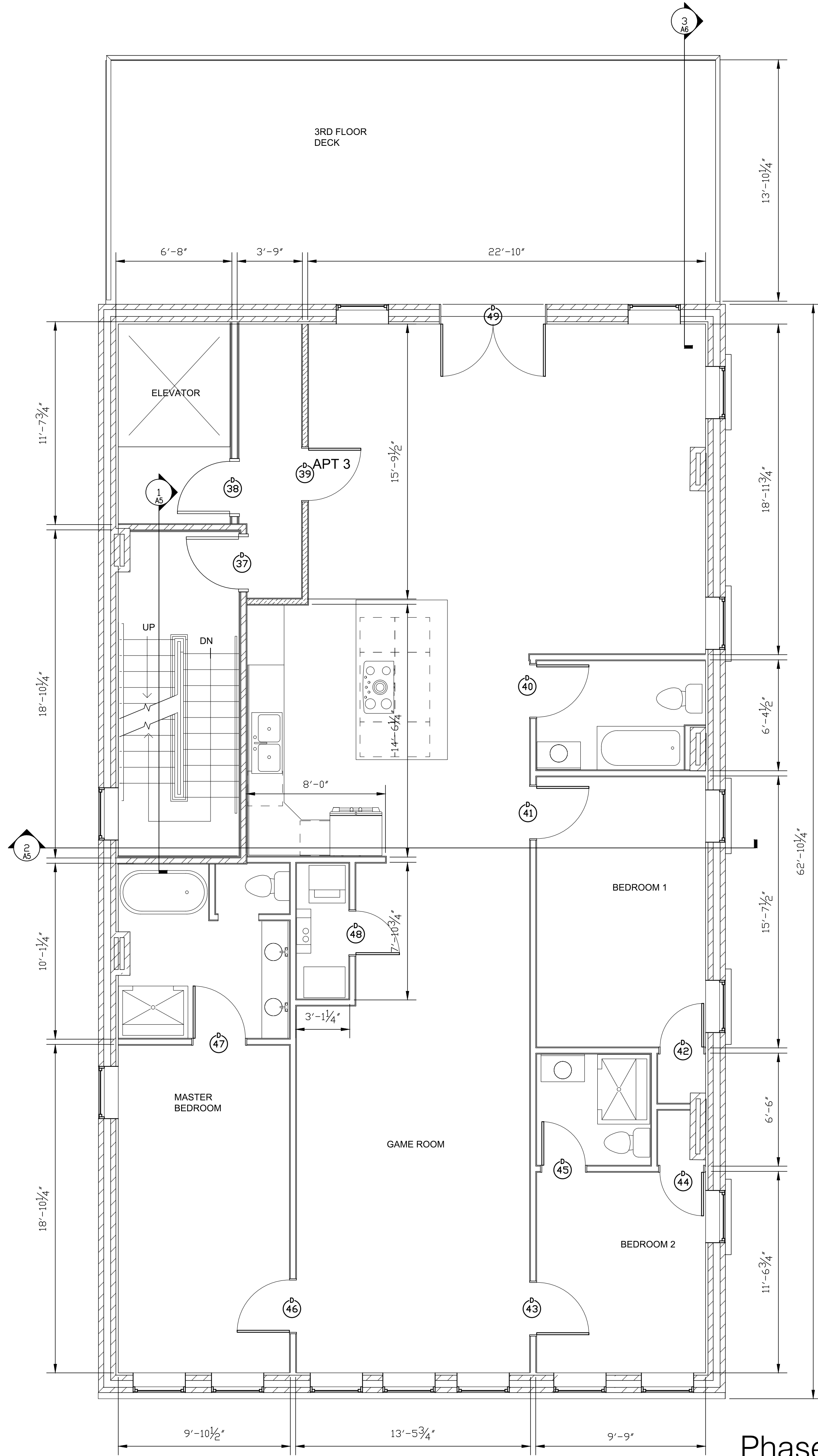
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SHEET 2 OF	
PROJECT NO.	A020-016

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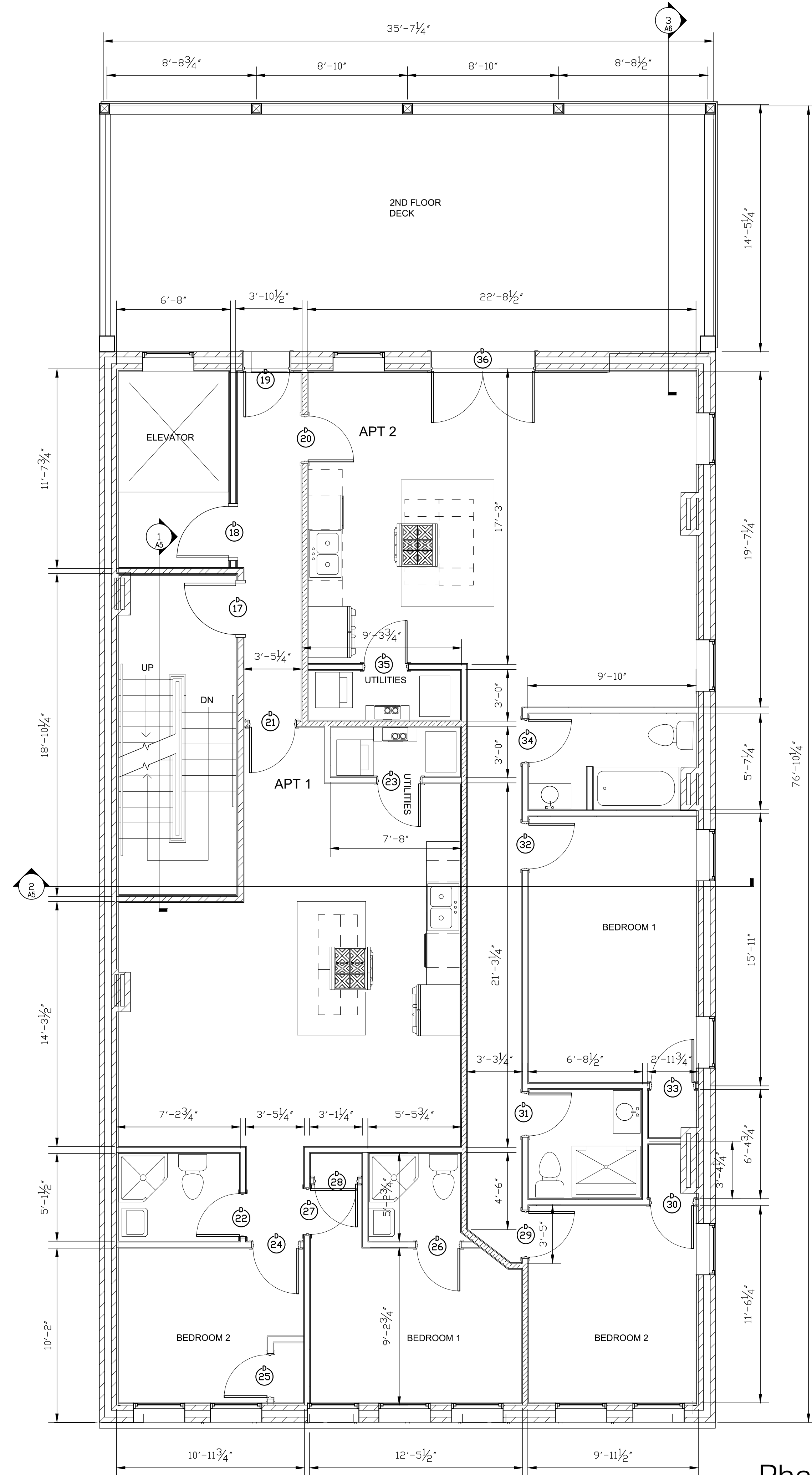
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Phase I  
3rd Floor Plan

SCALE: 1/4"=1'-0"

- EXISTING MASONRY WALL
- GA FILE No. WP 4136  
NEW WOOD FRAMED 2 HR RATED WALL 2x4  
STUDS @ 16" C/C, (2) LAYERS 5/8" GWB  
COMPLETE DESCRIPTION ON DWG. A2
- GA FILE No. WP 3241  
NEW WOOD FRAMED 1 HR RATED PARTITION WALL  
EACH SIDE 2x4 STUDS @ 16" C/C, (1) LAYERS 5/8" WITH  
RESILIENT CHANNELS ON ONE SIDE. COMPLETE DESCRIPTION  
ON SECTION 2 ON A5



Phase I  
2nd Floor Plan

SCALE: 1/4"=1'-0"

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FLOOR PLANS 2 & 3  
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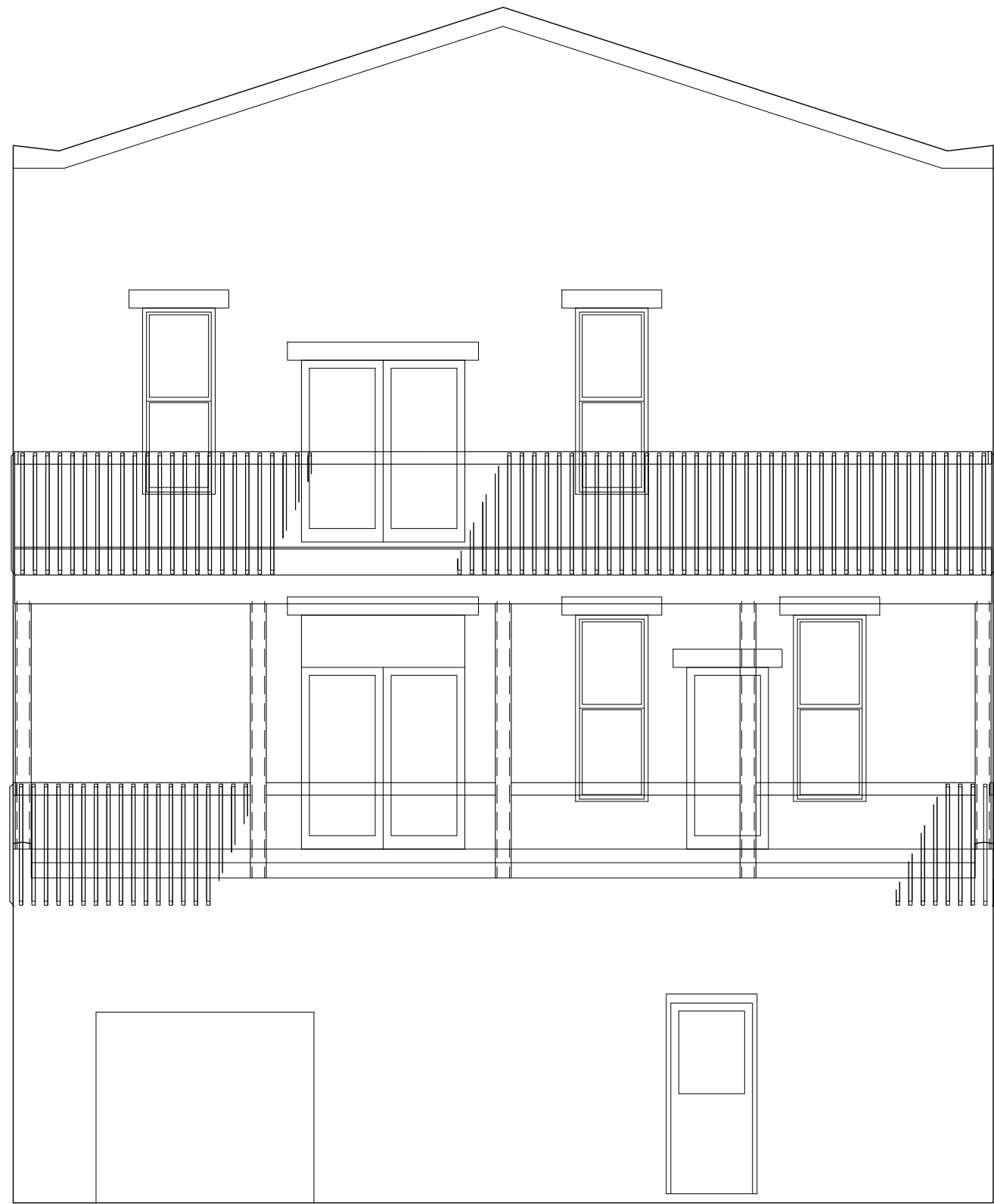
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A2

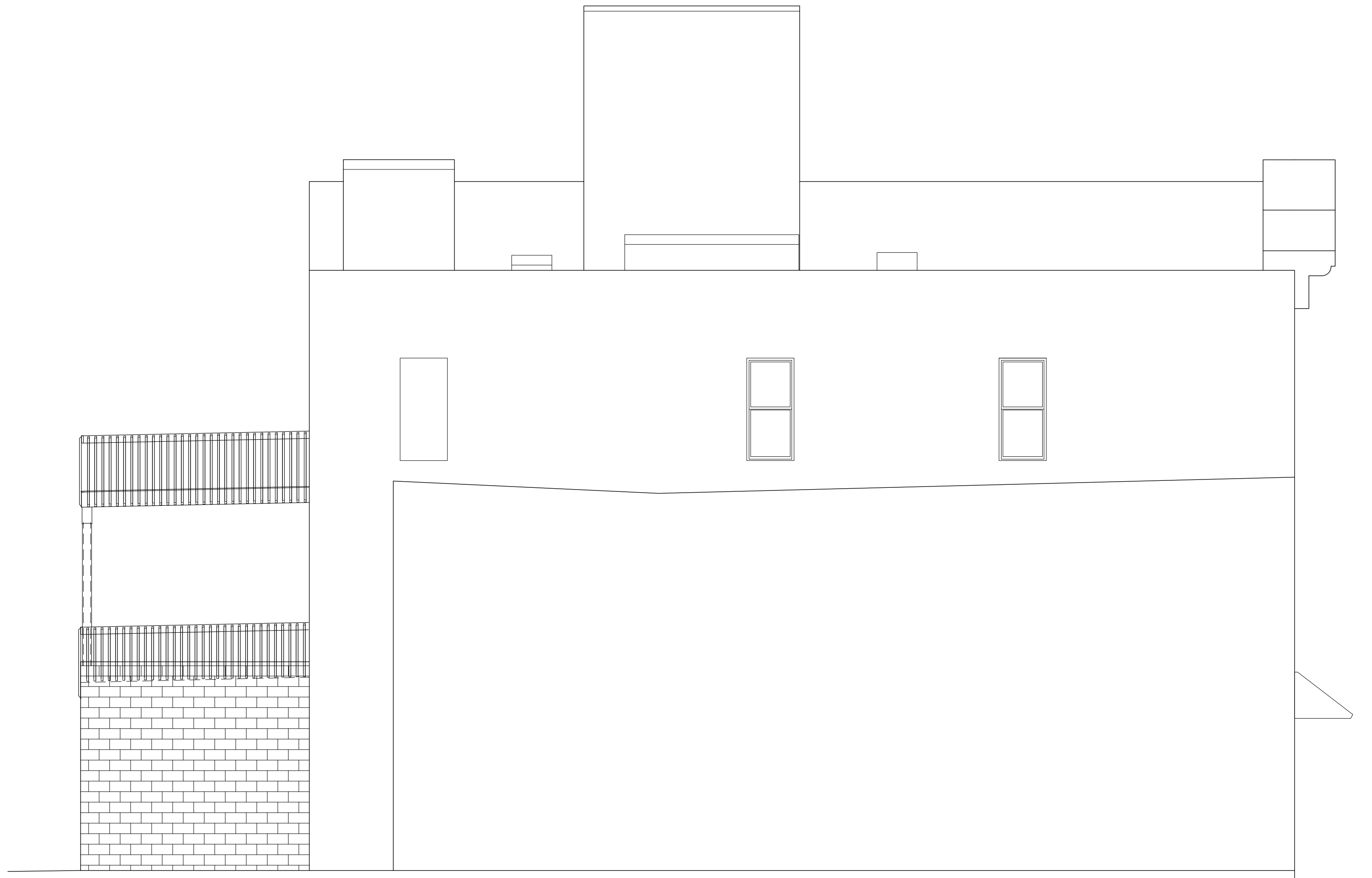
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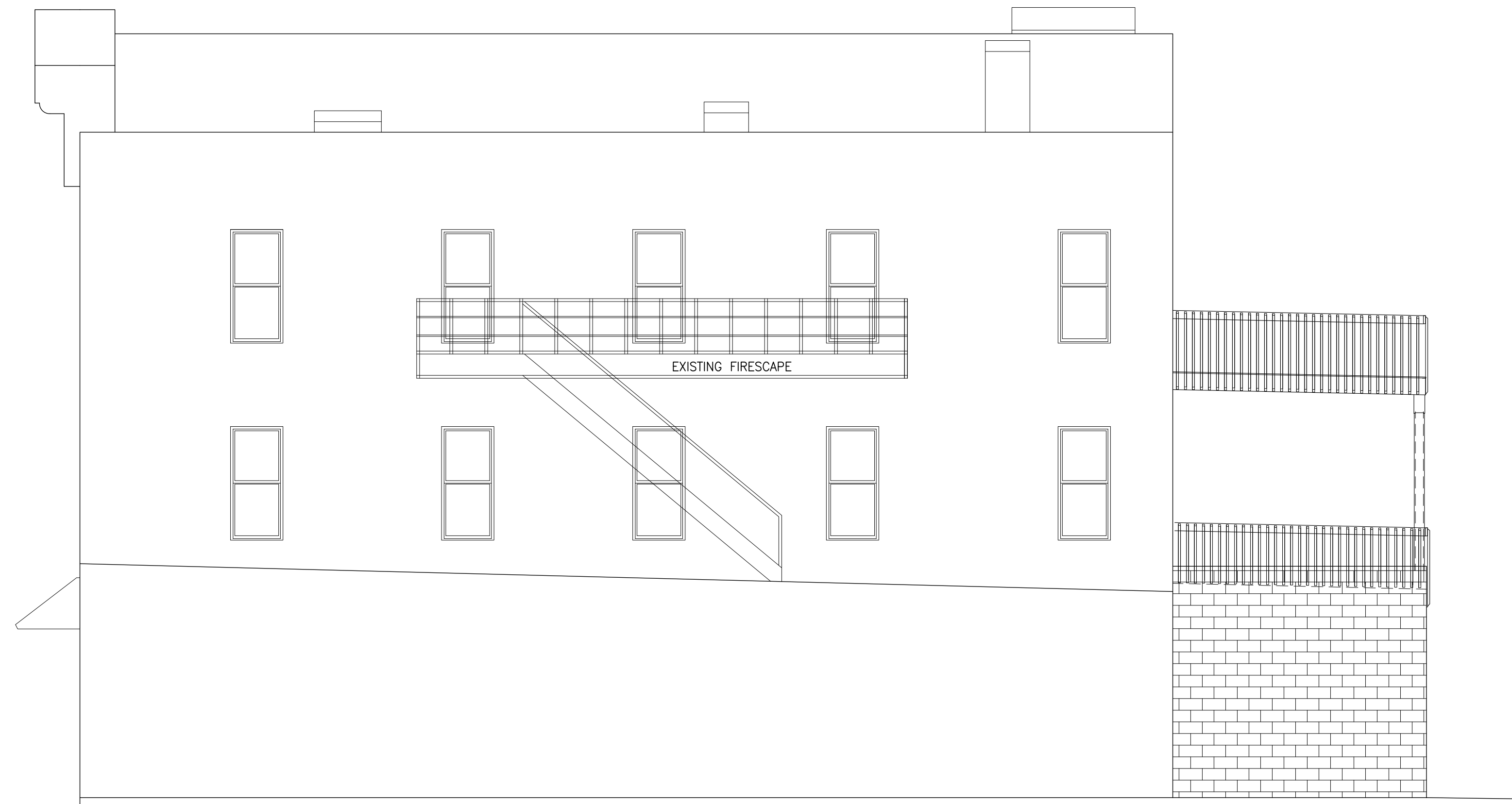
N Elevation

SCALE: 1/4"=1'-0"



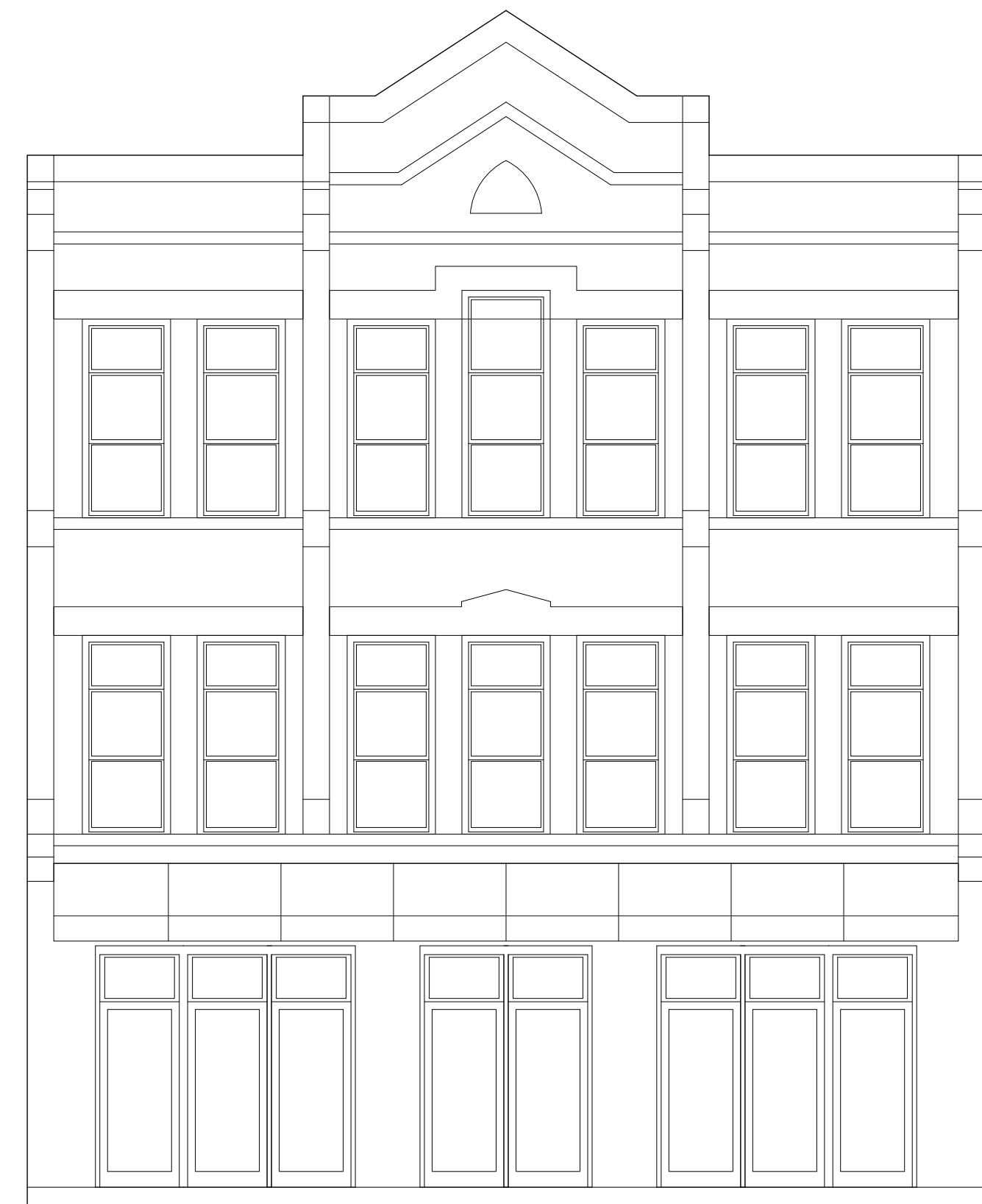
West Elevation

SCALE: 1/4"=1'-0"



East Elevation

SCALE: 1/4"=1'-0"



S Elevation

SCALE: 1/4"=1'-0"

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ELEVATIONS

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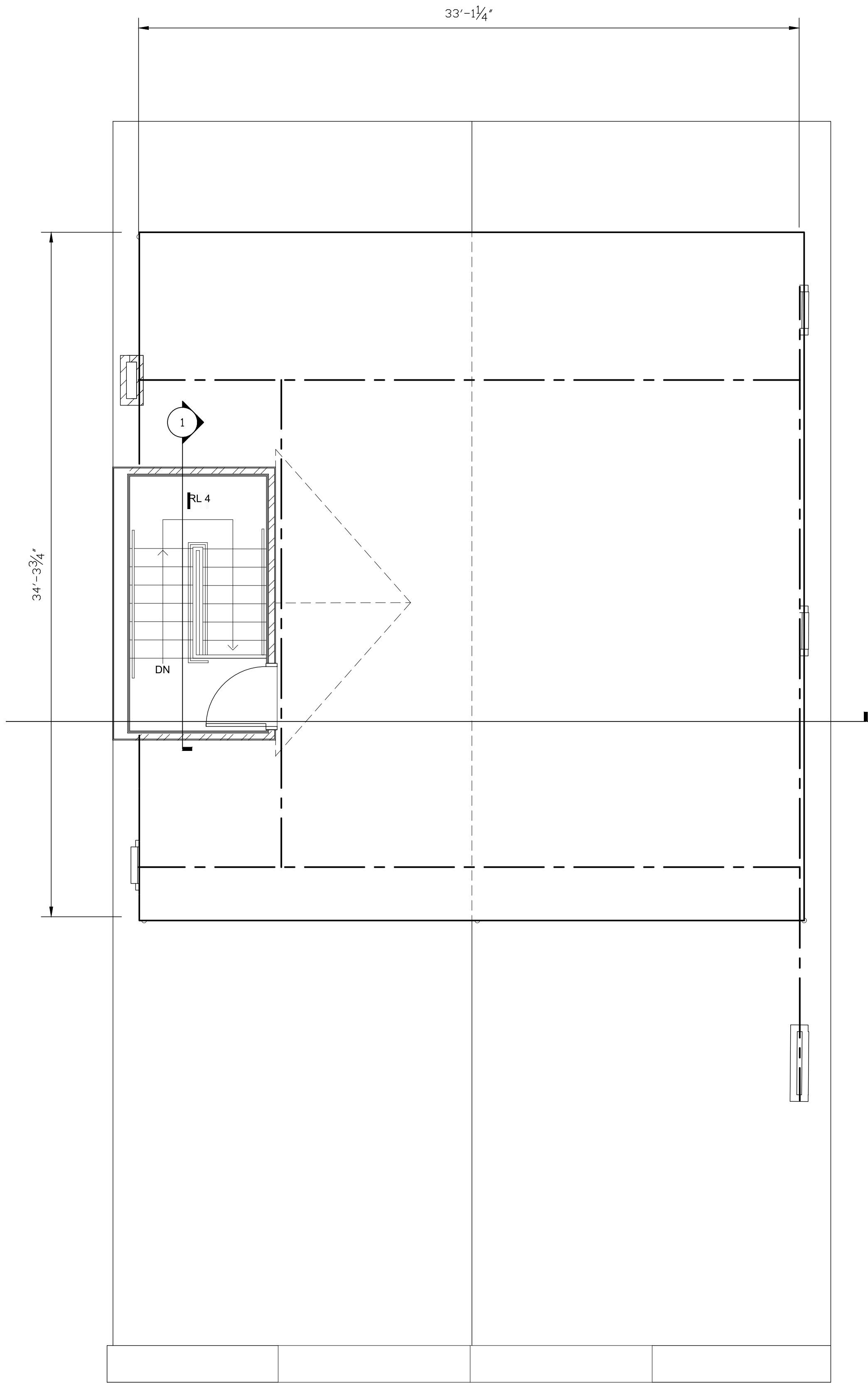
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A3

SHEET 4 OF

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Phase III  
Roof Deck Plan

SCALE: 1/4"=1'-0"

PRELIMINARY ROOF DECK PLAN

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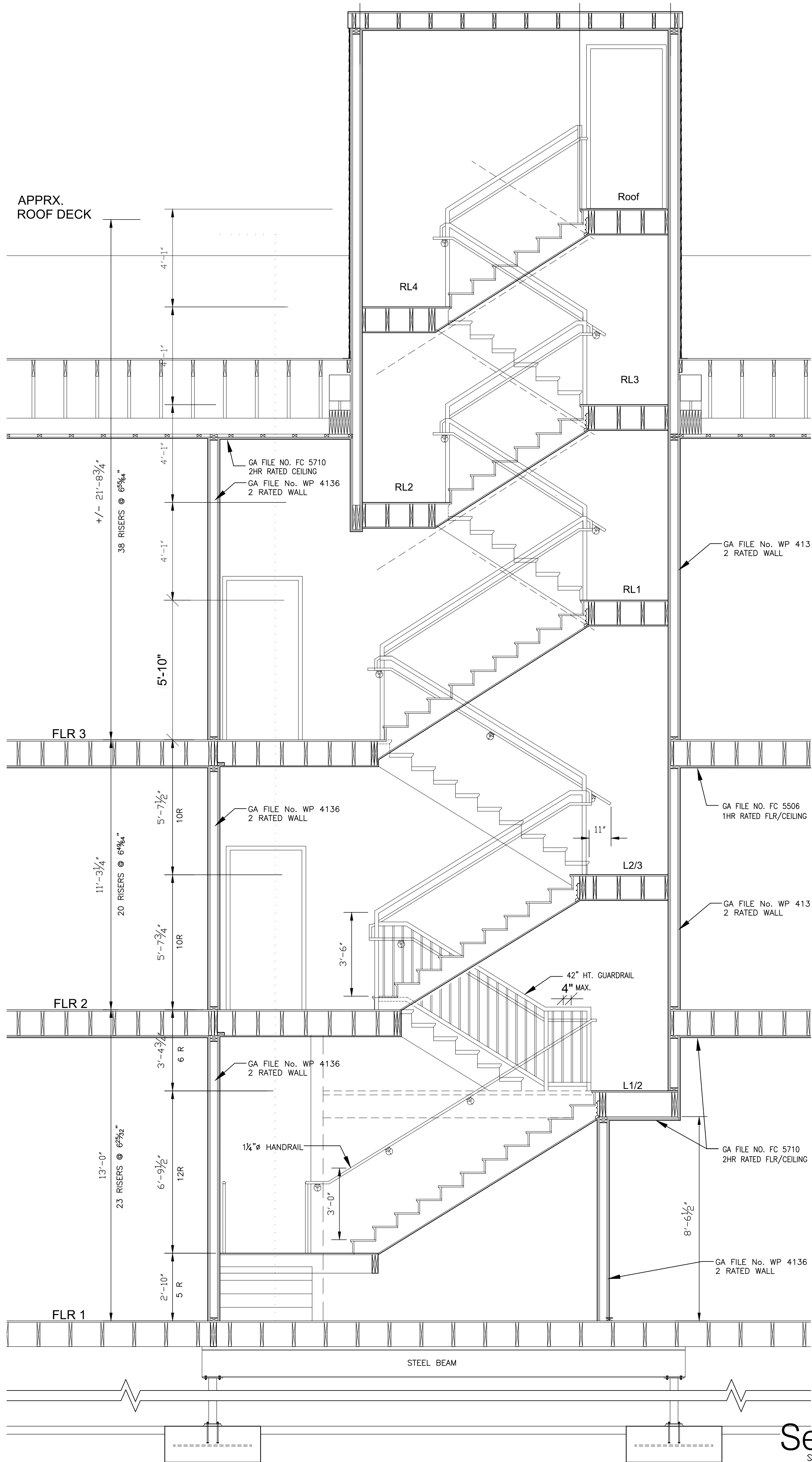
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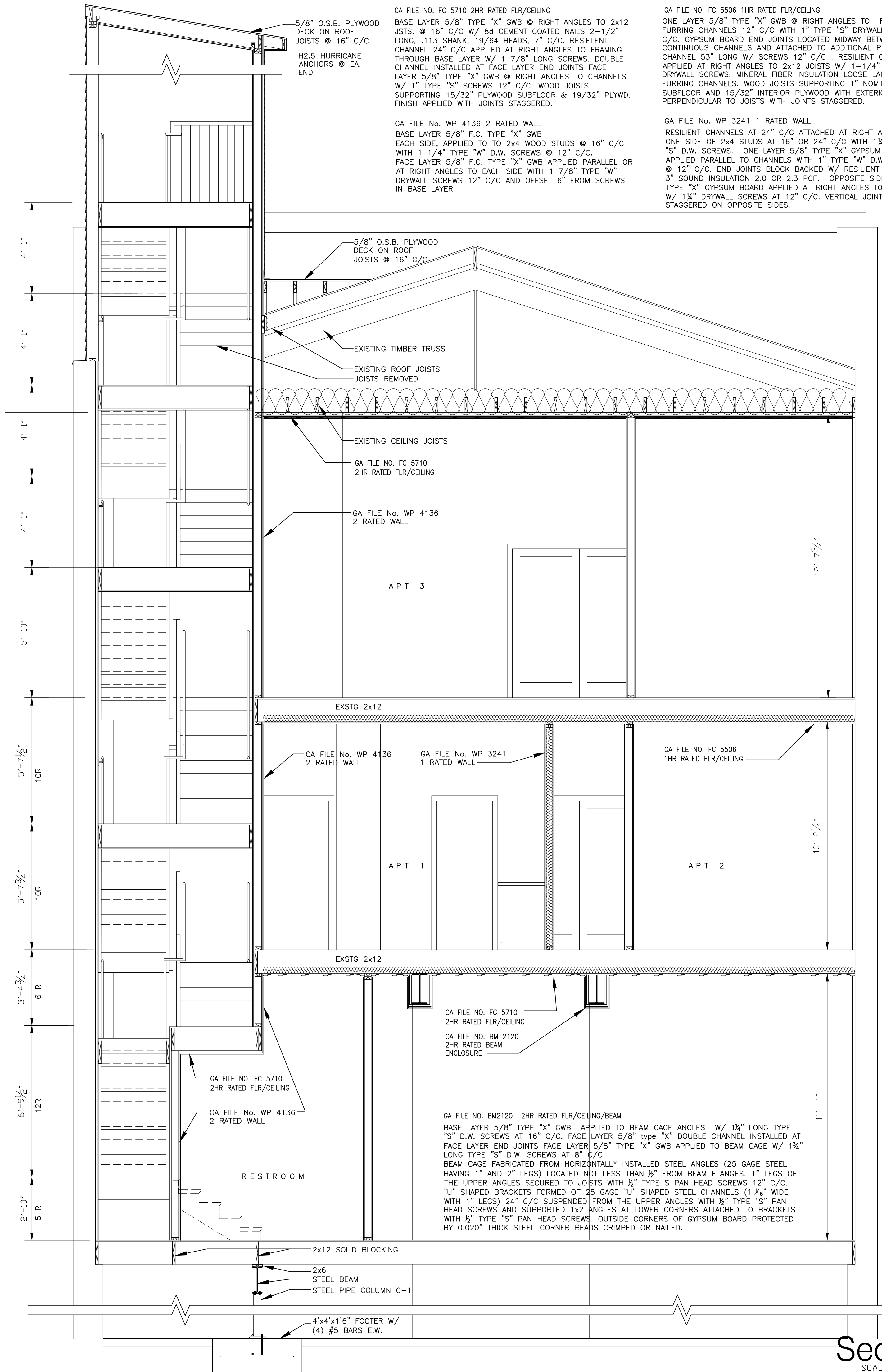
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Section 1  
SCALE: 3/8"=1'-0"



Section 2  
SCALE: 3/8"=1'-0"

24x36

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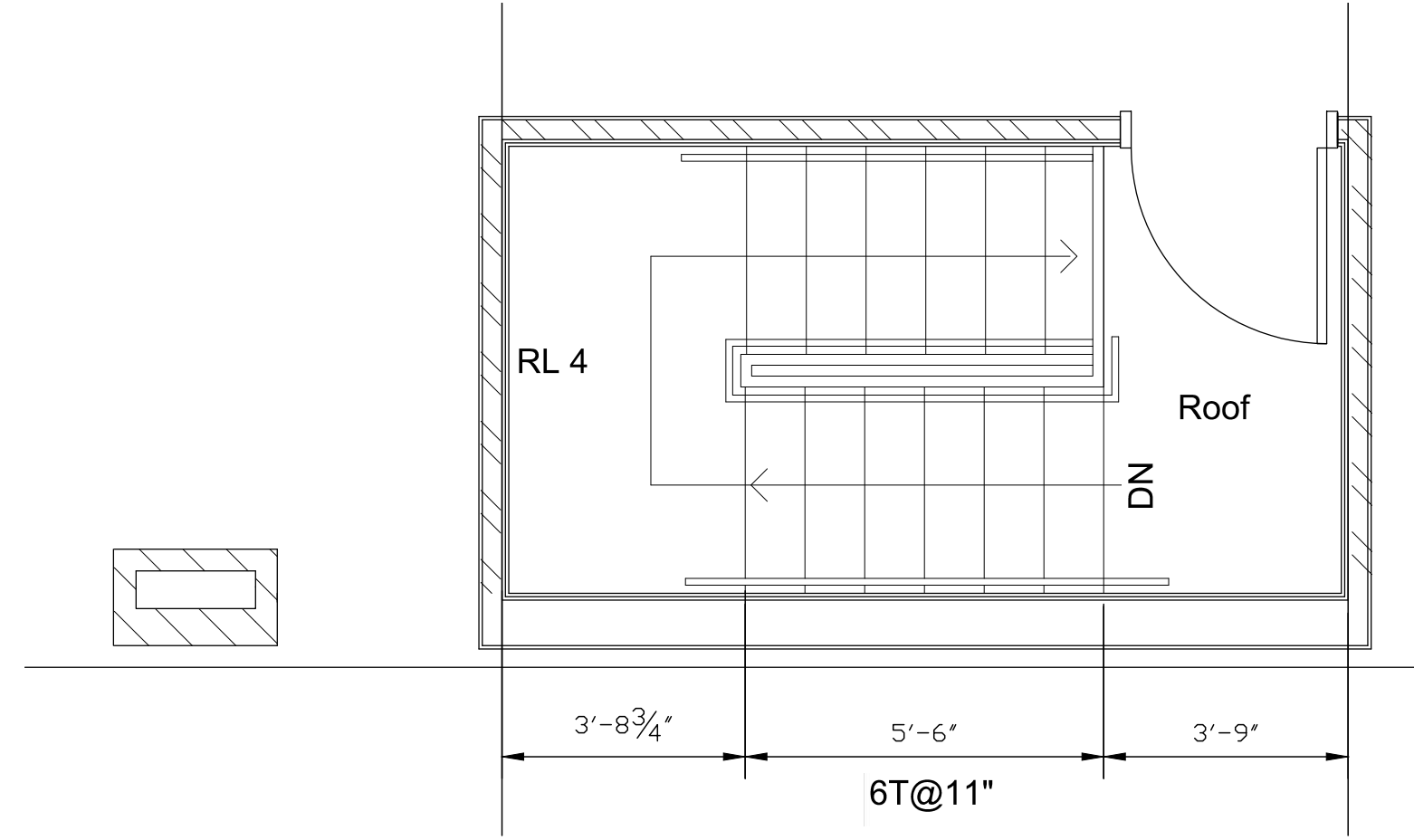
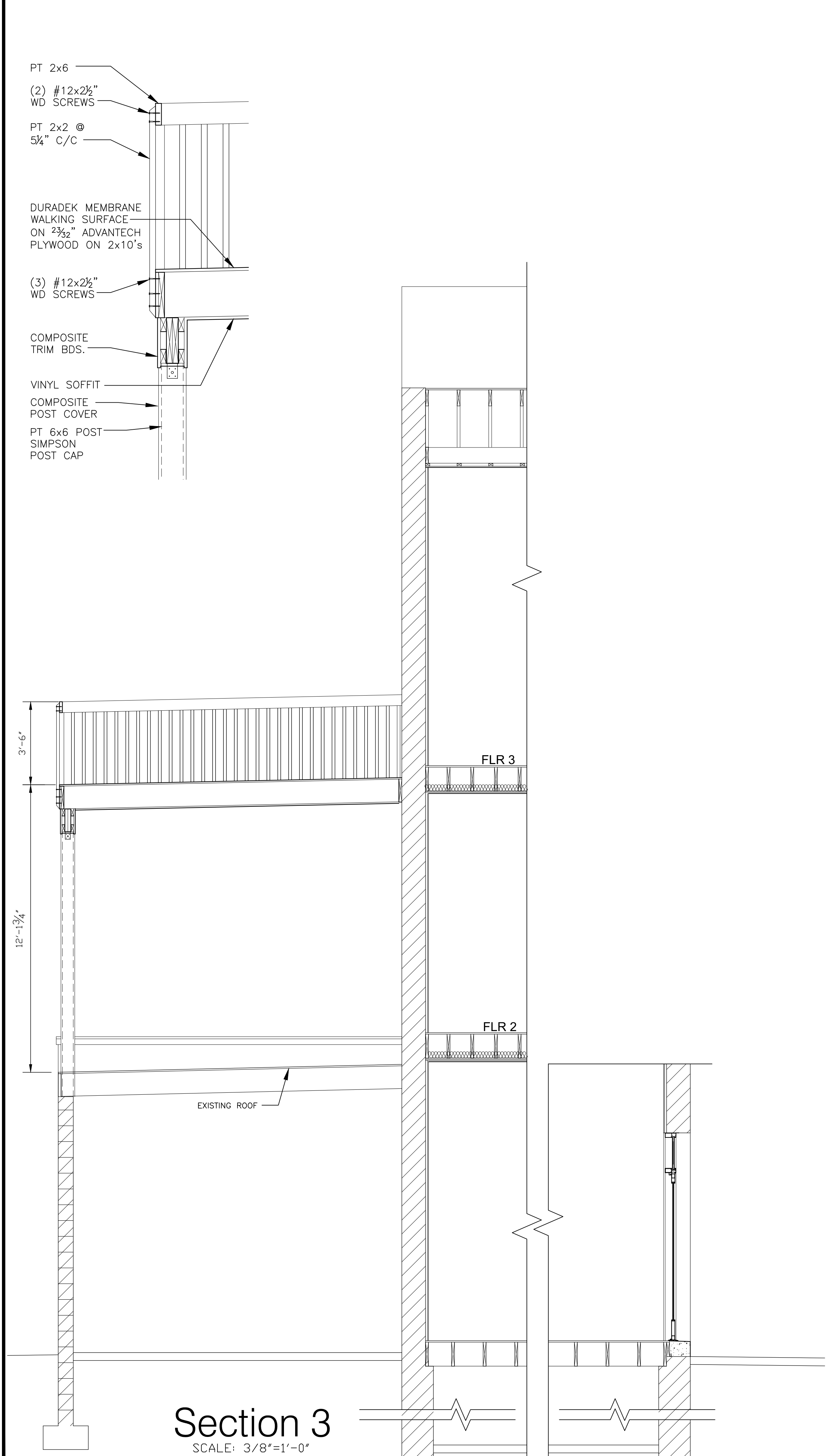
SECTIONS

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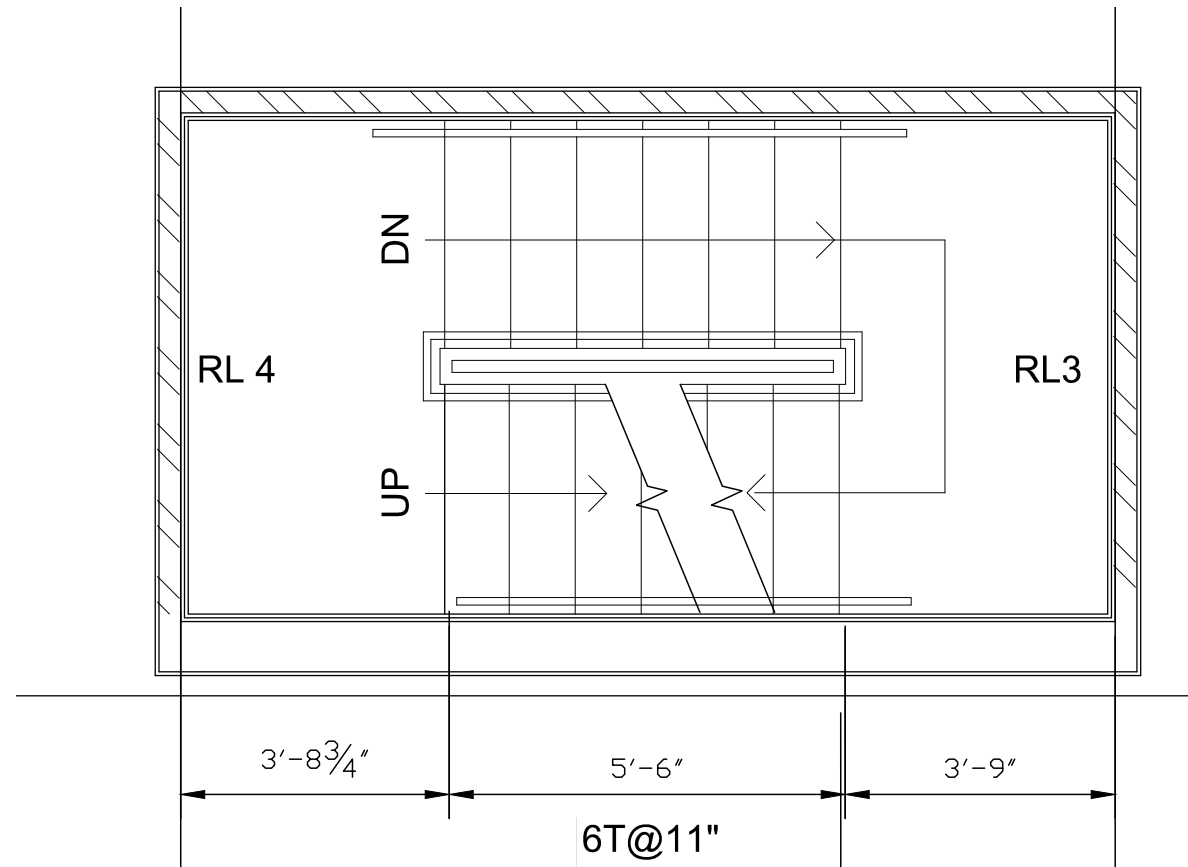
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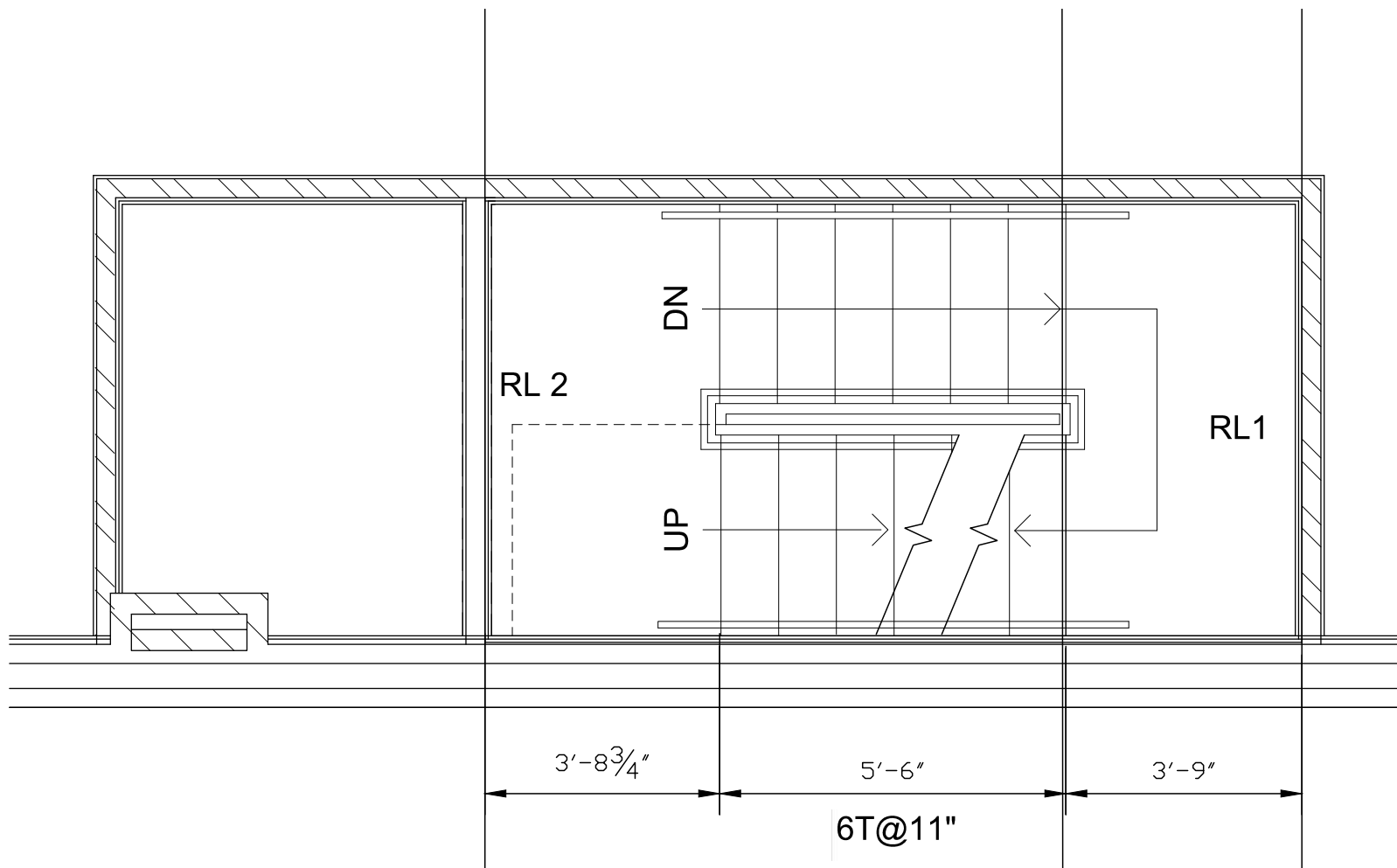
Roof Deck Plan

SCALE: 3/8"=1'-0"



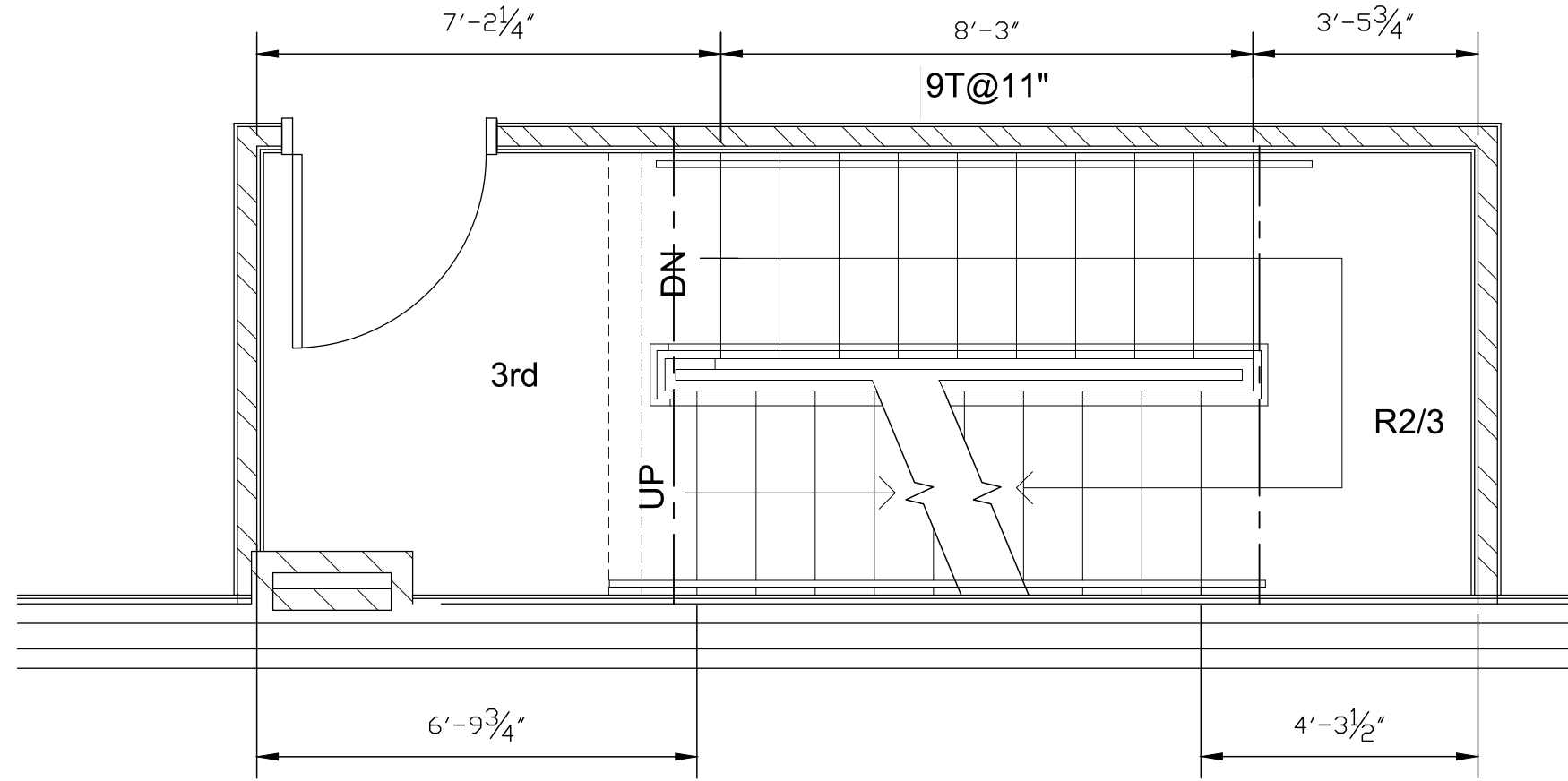
Roof/Flr.3 Plan

SCALE: 3/8"=1'-0"



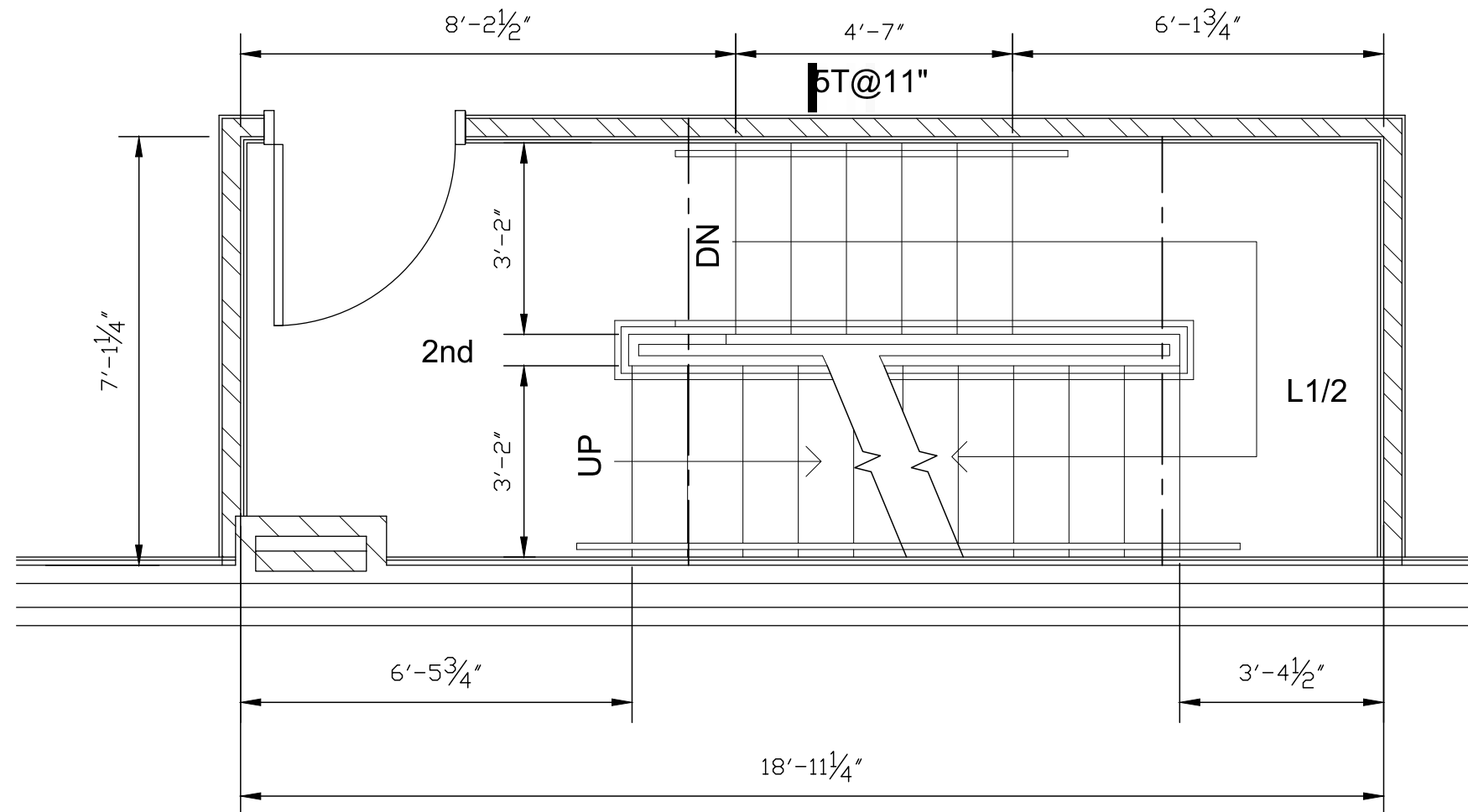
Roof/Flr.3 Plan

SCALE: 3/8"=1'-0"



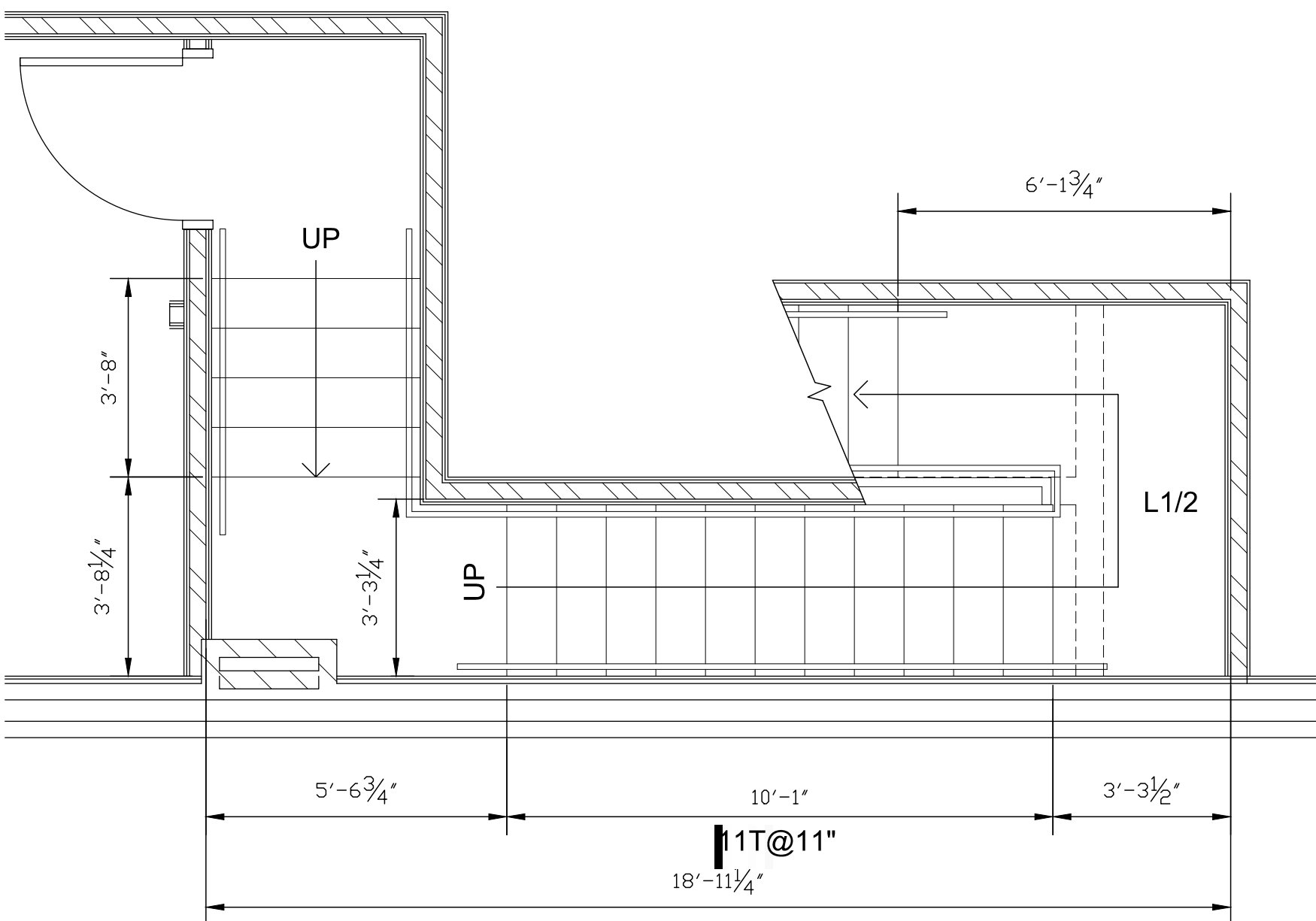
Flr.3 Plan

SCALE: 3/8"=1'-0"



Flr.2 Plan

SCALE: 3/8"=1'-0"



Stair Plans

SCALE: 3/8"=1'-0"

24x36

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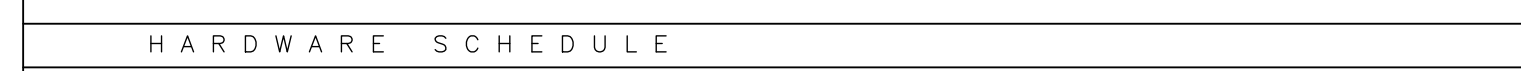
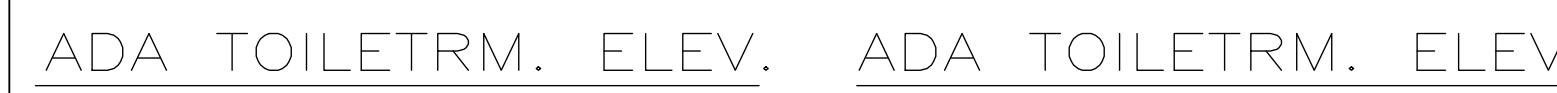
SECTIONS AND STAIR PLANS

Renovations

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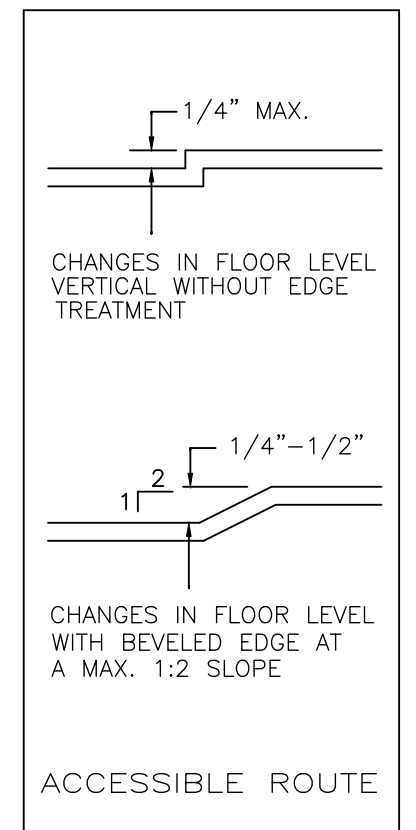
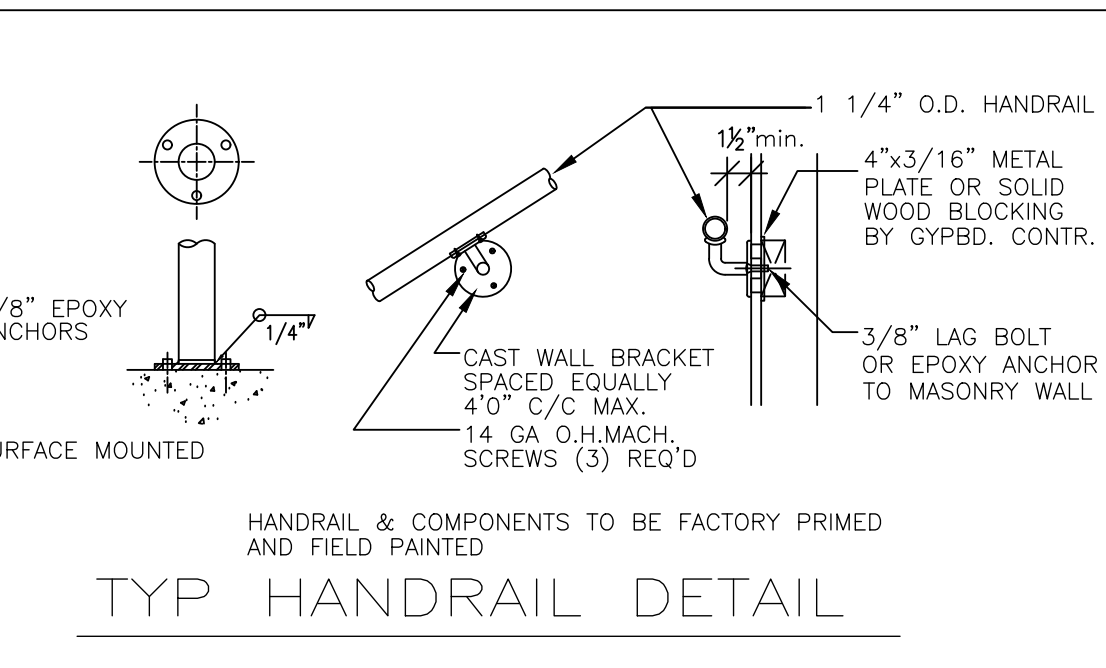
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D O O R S C H E D U L E N O T E S

- c. WOOD, BIRCH VENEER, SOLID CORE
- b. 1 COAT SEALER , TWO COATS FINISH, MATCH EXSTS.
- c. 1 COAT PRIMER , TWO COATS FINISH
- d. BACKSETS, SHALL BE 2-3/4"
- e. THRESHOLD, BOTTOM SWEEP AND WEATHER STRIPPING
- f. KAWNEER TRIPLEX 451T STOREFRONT FRAMING 2"x4" PROFILE; 350 MEDIUM STILE WITH 10" BOTTOM RAIL AND 1" GLASS STOPS. FINISH: BY OWNER, PAINTED. GLASS TO BE 1" CLEAR INSULATED, LOW-E, TEMPERED.



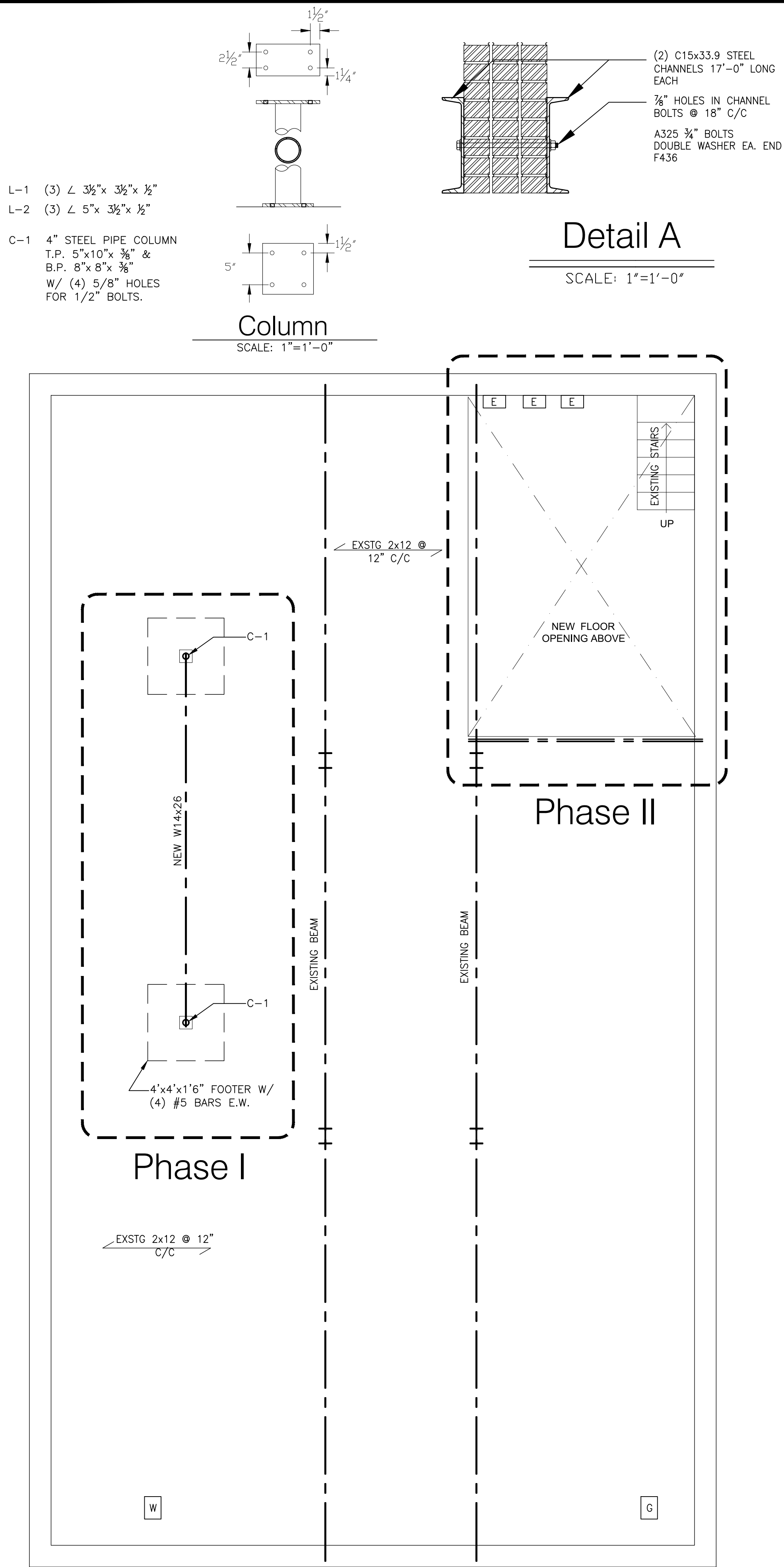
	REST ROOM	ACCESSORIES	SCHEDULE
(2)	36" GRAB BARS	MOUNT ABOVE TOILET TANK	© 36" A.F.F.
(2)	42" GRAB BARS	MOUNT NEXT TO TOILET	© 36" A.F.F.
(2)	18" GRAB BARS	MOUNT VERT. NEXT TO TOILET	© 39"-41" A.F.F.
(2)	18x36 MIRROR	MOUNT ABOVE LAVATORY WITH REFLECTING SURFACE	© 40" A.F.F. BOBRICK B-155-1236
(3)	TOILET PAPER HOLDERS	MOUNT 36" FROM BACK WALL	© 19" A.F.F. BOBRICK B-66997
(2)	SOAP DISPENSER	MOUNT © HT. TO MFR'S INSTRUCTIONS	BOBRICK B-2111
(2)	PAPER TOWEL CABINET	BOBRICK B2621 MOUNT	© 40" SEE DIAGRAM
(2)	ELEC HAND DRYER	MOUNT © HT. TO MFR'S ADA INSTRUCTIONS	EXCEL DRYERS XL-BW, WHITE FIN.
(2)	PAPER TRASH CONTAINER	MOUNT © HT. TO MFR'S ADA INSTRUCTIONS	BOBRICK B-43644

TOILET PARTITIONS

FLOOR MOUNTED/OVERHEAD BRACED SYSTEM OF HDPE MATERIAL BY "ASI"  
 SOLID PLASTIC MATERIAL, FLAME MFT NFPA CLASS B; NFPA 286 FIRE  
 RESISTANCE STANDARDS; SHALL MEET NFPA CLASS B; AND SMOKE DENSITY 450  
 PANELS 1" THICK. STILES & DOORS 1" THICK; HARDWARE: 18-8, TYPE 304  
 STAINLESS STEEL WITH SATIN FINISH CONCEALED HARDWARE ON INSIDE OF  
 COMPARTMENT EXCEPT ON OUT SWING DOORS

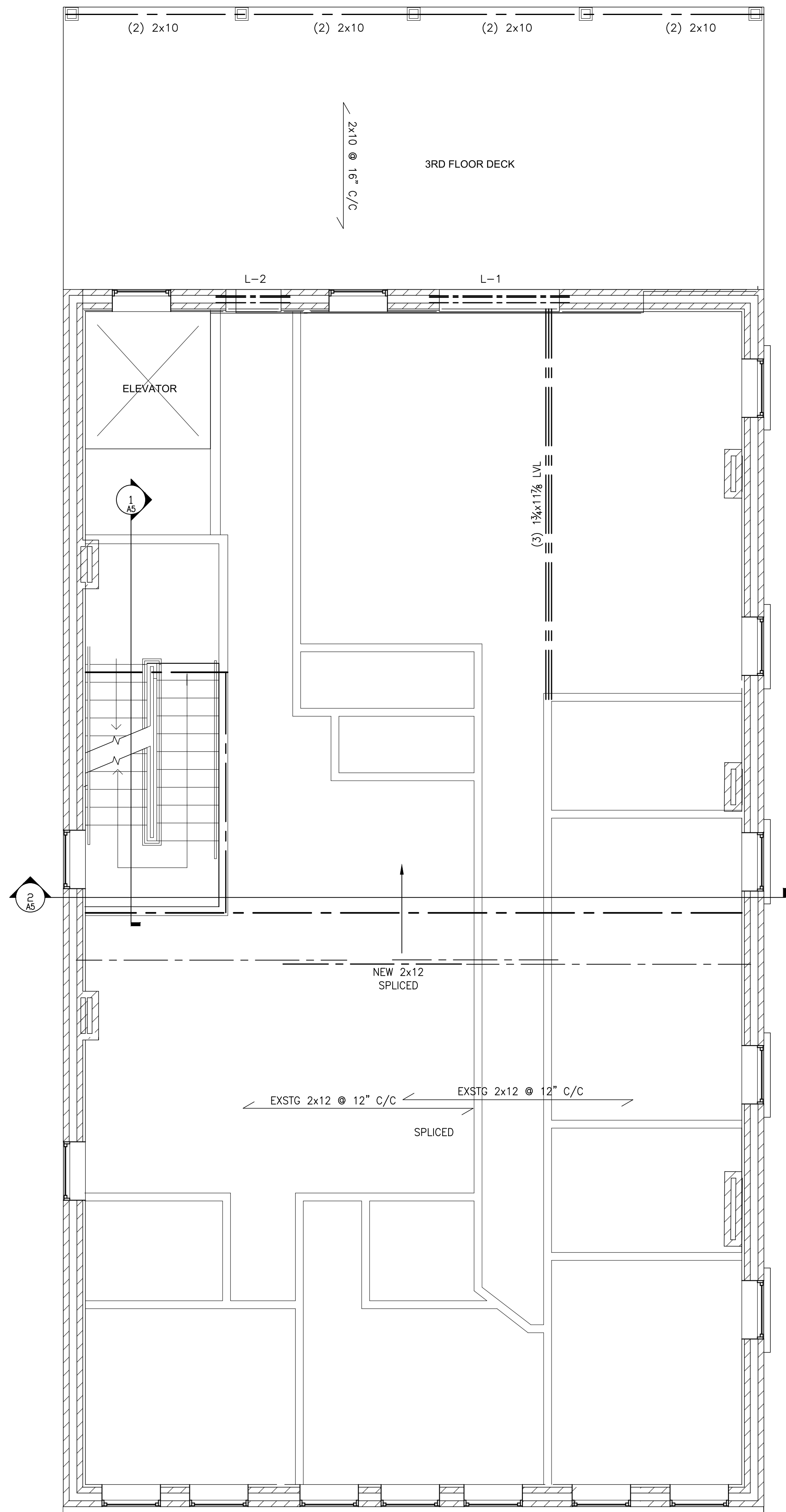
		D O O R						F R A M E									
		DOOR NO.	TYPE	MAT.	FIN.	WIDTH	HT.	THICK	TYPE	MAT.	FIN.	JAMB	HEAD				SILL
FIRST FLOOR		1	FG	ALM	PRE	PR3'-0"	7'-0"	1-3/4"		ALM	PRE	-	-	-		3	e,f
		2	FG	ALM	PRE	PR3'-0"	7'-0"	1-3/4"		ALM	PRE	-	-	-		3	e,f
		3	FG	ALM	PRE	PR3'-0"	7'-0"	1-3/4"		ALM	PRE	-	-	-		3	e,f
		4	FG	ALM	PRE	3'-0"	7'-0"	1-3/4"		ALM	PRE	-	-	-		3	e,f
		5	FG	ALM	PRE	3'-0"	7'-0"	1-3/4"		ALM	PRE	-	-	-		3	e,f
		6	FG	ALM	PRE	PR3'-0"	7'-0"	1-3/4"		ALM	PRE	-	-	-		3	e,f
		7	FG	ALM	PRE	3'-0"	7'-0"	1-3/4"		ALM	PRE	-	-	-			e,f
		8	FG	ALM	PRE	3'-0"	7'-0"	1-3/4"		ALM	PRE	-	-	-			e,f
		9	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	3	3	-		3	c,d,e
		10	F	WD	STN	3'-0"	7'-0"	1-3/4"		WD	-	-	-	-		1	c,d
		11	F	WD	STN	3'-0"	7'-0"	1-3/4"		WD	-	-	-	-		3	c,d
		12	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	2	2	-	B 1½ HR	3	c,d
		13	F	HM	PT	3'-0"	7'-0"	1-1/4"	A	HM	PT	1	1	-	B 1½ HR		c,d
		14	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	2	2	-	B 1½ HR		c,d
		15	F	WD	STN	3'-0"	7'-0"	1-3/4"		WD	PT	-	-	-		2	e
		16	F	WD	STN	3'-0"	7'-0"	1-3/4"		WD	PT	-	-	-		2	c,d
SECOND FLOOR		17	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	1	1	-	B 1½ HR	4	a,b,d
		18	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	1	1	-	B 1½ HR	1	a,b,d
		19	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	1	1	-		1	a,b,d
		20	F	WD	STN	3'-0"	7'-0"	1-3/4"	A	HM	PT	1	1	-	1 HR	1	a,b,d
		21	F	WD	STN	3'-0"	7'-0"	1-3/4"	A	HM	PT	1	1	-	1 HR	1	a,b,d
		22	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b
		23	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b
		24	F	WD	STN	2'-8"	6'-8"	1-1/4"		WD	PT	-	-	-		5	a,b
		25	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	c,d
		26	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	e,d
		27	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b,d
		28	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b,d
		29	F	WD	STN	2'-8"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b,d
		30	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b,d
		31	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b,d
		32	F	WD	STN	2'-8"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b
	33	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b	
	34	F	WD	STN	2'-6"	6'-8"	1-1/4"		WD	PT	-	-	-		5	a,b	
	35	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	c,d	
	36	FR			PR3'-0"	6'-8"	1-3/4"						-			e	
THIRD FLOOR		37	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	1	1	-	B 1½ HR	4	c,d
		38	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	1	1	-	B 1½ HR	1	a,b,d
		39	F	HM	PT	3'-0"	7'-0"	1-3/4"	A	HM	PT	1	1	-	1 HR	1	a,b,d
		40	F	WD	STN	3'-0"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b,d
		41	F	WD	STN	3'-0"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b,d
		42	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b,d
		43	F	WD	STN	3'-0"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b
		44	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5	a,b
		45	F	WD	STN	2'-6"	6'-8"	1-1/4"		WD	PT	-	-	-		5	a,b
		46	F	WD	STN	3'-0"	6'-8"	1-3/4"		WD	PT	-	-	-		5	c,d
	47	F	WD	STN	3'-0"	6'-8"	1-3/4"		WD	PT	-	-	-		5	e	
	48	F	WD	STN	2'-6"	6'-8"	1-3/4"		WD	PT	-	-	-		5		
	49	FR			PR3'-0"	6'-8"	1-3/4"										

24x36	
FEICK DESIGN GROUP, INC. JOHN A. FEICK ARCHITECT 224 EAST WATER STREET SANDUSKY, OHIO (419)-625-2554	
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SCHEDULES	Renovations Brewpub & Apartments 333 WEST MARKET STREET SANDUSKY, OHIO
DATE	SEPTEMBER 10, 2020
DRAWN BY	
CHECKED BY JAF	
SHEET NUMBER A7 SHEET 8 OF	
PROJECT NO. A020-016	



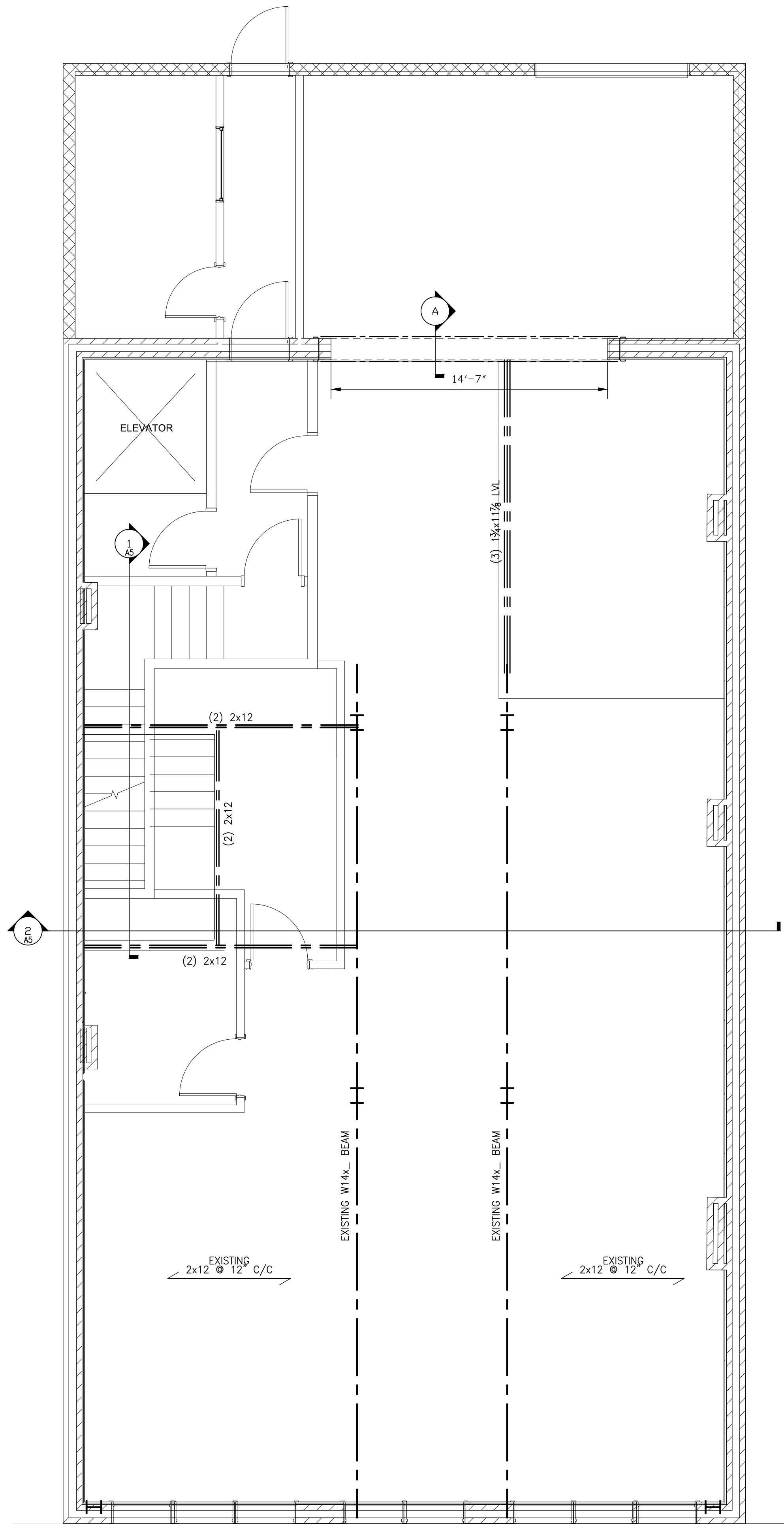
1st Flr Framing Plan

SCALE: 1/4"=1'-0"



Phase I  
3rd Flr Framing Plan

SCALE: 1/4"=1'-0"



Phase I  
2nd Flr Framing Plan

SCALE: 1/4"=1'-0"

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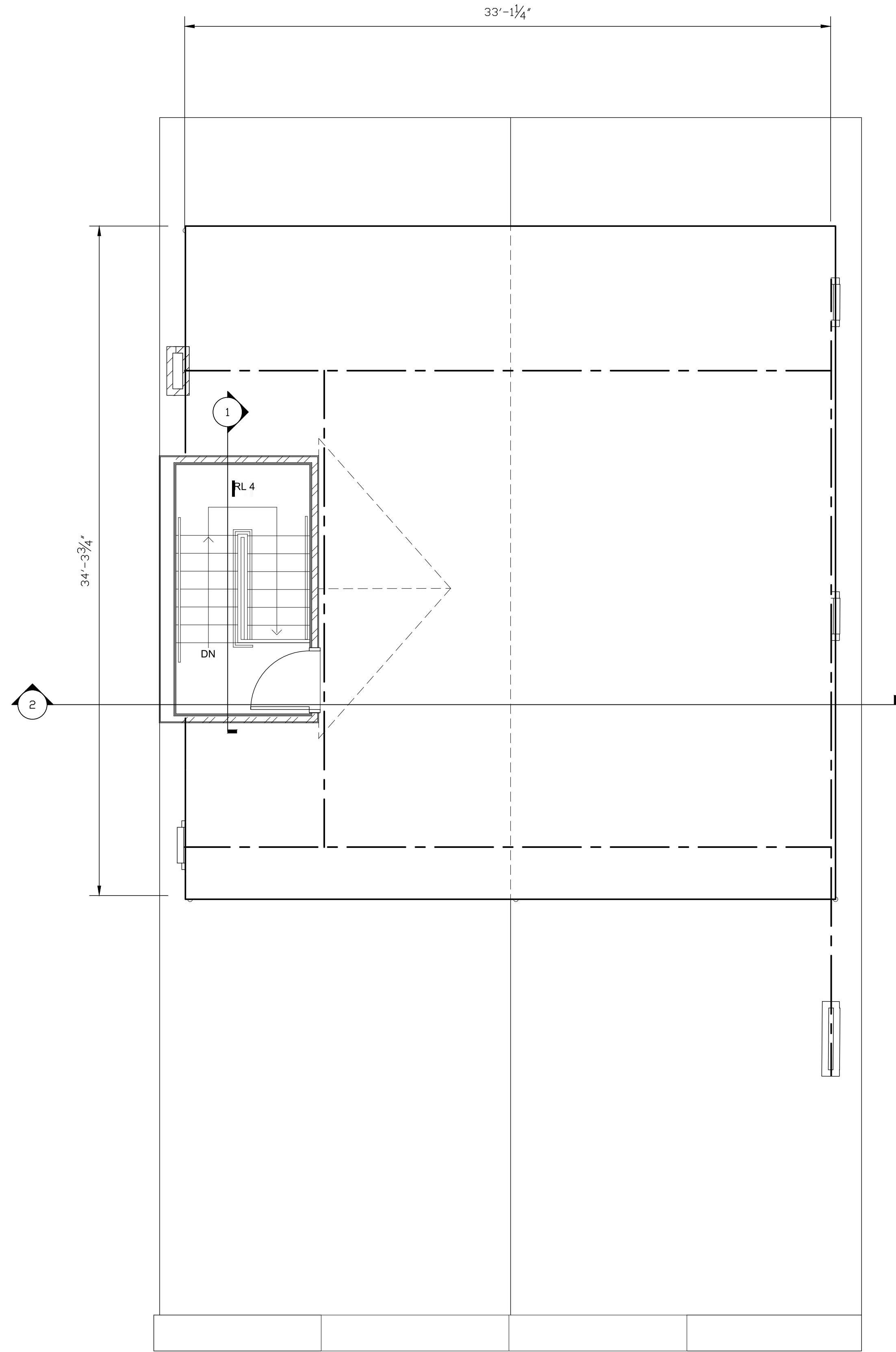
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STRUCTURAL PLANS

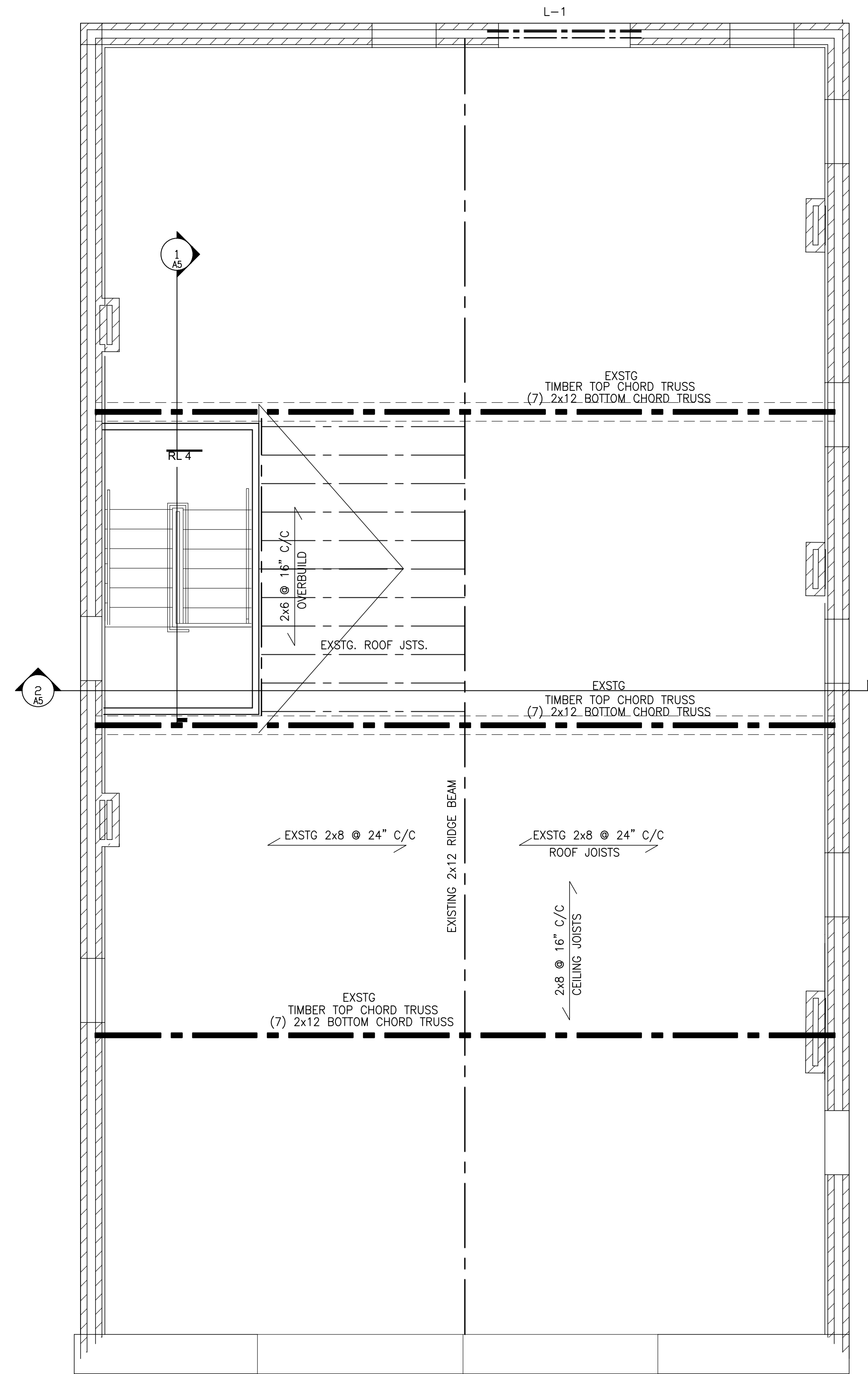
Renovations  
Brewpub & Apartments

333 WEST MARKET STREET SANDUSKY, OHIO

DATE	SEPTEMBER 10, 2020
DRAWN BY	
CHECKED BY	JAF
SHEET NUMBER	S1
SHEET	9 OF
PROJECT NO.	A020-016



Phase III  
Roof Deck Framing Plan



Roof Framing Plan

SCALE: 1/4"=1'-0"

24x36

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224 EAST WATER STREET  
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STRUCTURAL PLANS

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333 WEST MARKET STREET SANDUSKY, OHIO

DATE SEPTEMBER 10, 2020

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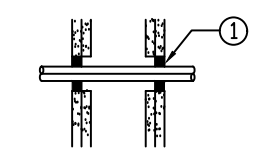
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SHEET NUMBER

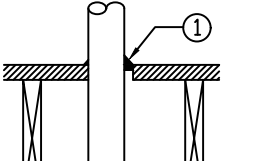
S2

SHEET 10 OF

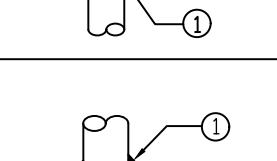
PROJECT NO. A020-016



◦ CABLE PENETRATIONS THROUGH RATED GWB WALLS SHALL BE SEALED W/ TREMCO'S "TREMSTOP 1A" UL SYSTEM # WL 3131 FOR ONE - TWO HOUR WALLS. ANNULAR SPACE MIN. 1/4" TO MAX. 1" MIN. 1/2" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH W/ BOTH SURFACES OF WALL.



◦ ALL METAL PIPE PENETRATIONS THROUGH RATED FRAME FLOORS SHALL BE SEALED W/ TREMCO'S "TREMSTOP 1A/D" UL SYSTEM # FC-1050 MIN. 1/2" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH W/ TOP SURFACE OF FLOOR AND BOTTOM OF FLOOR OR CEILING ASSEMBLIES. INSTALL ADDITIONAL FILL MATERIAL SO THAT A MIN. 1/2" CROWN IS FORMED AROUND PENETRATING ITEM & LAPPING 1/2" BEYOND PERIPHERY OF THE OPENING AT TOP OF FLOOR AND UNDERSIDE OF CEILING OR TOP PLATE INTERFACE

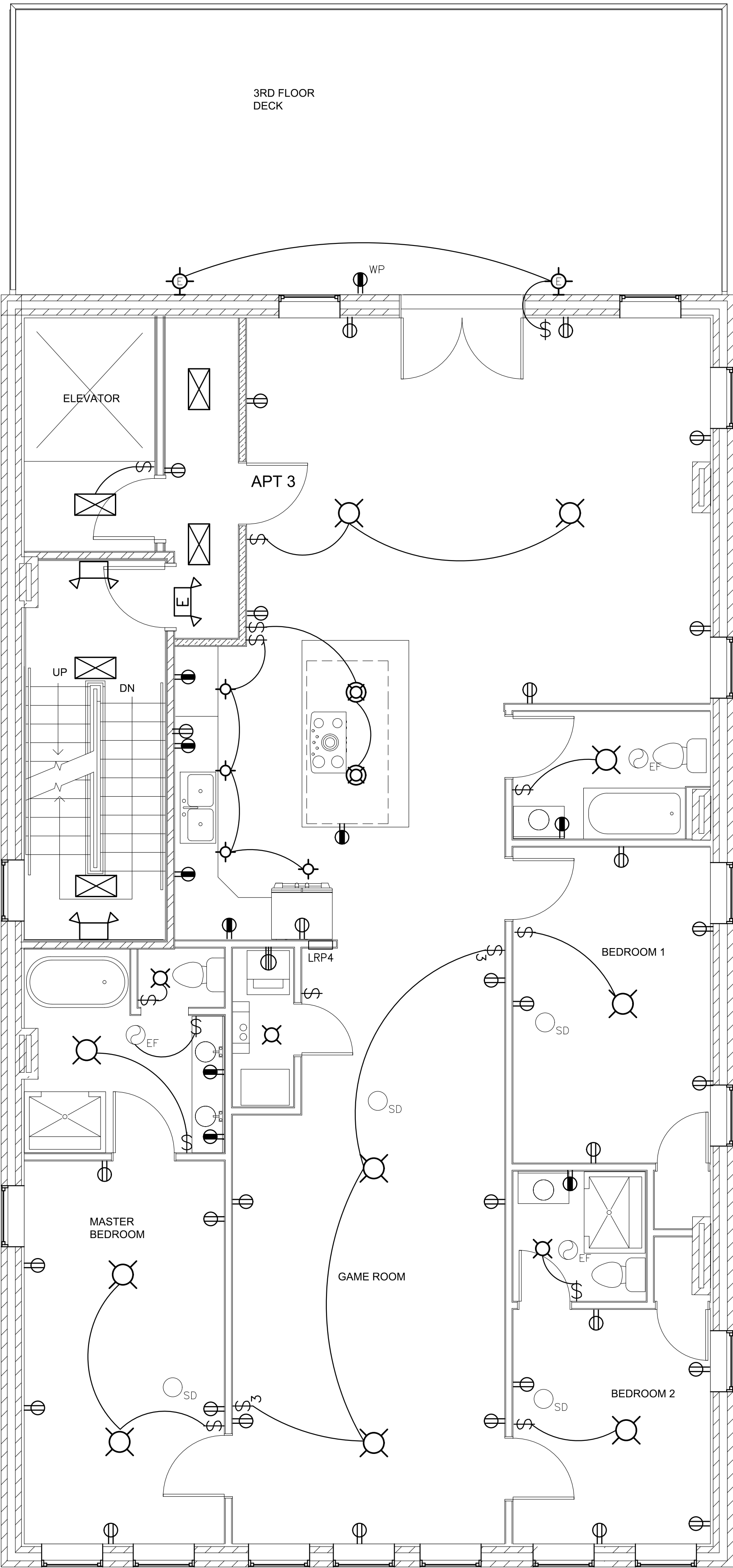


◦ ALL PVC PIPE PENETRATIONS THROUGH RATED FRAME FLOORS SHALL BE SEALED W/ TREMCO'S "TREMSTOP 1A/D" UL SYSTEM # FC-2135 AT CEILING MIN. 1/2" THICKNESS OF FILL MATERIAL APPLIED WITHIN THE ANNULUS. INSTALL ADDITIONAL FILL MATERIAL SO THAT A MIN. 1/2" CROWN IS FORMED AROUND PENETRATING ITEM AND DEVICE/WALLBOARD INTERFACE

◦ "TREMSTOP D" PROPERLY SIZED DEVICE WRAPPED AROUND PIPE AND SECURED USING A HOSE CLAMP AFTER SECURING, MECHANICALLY FASTEN TO CEILING ASSEMBLY

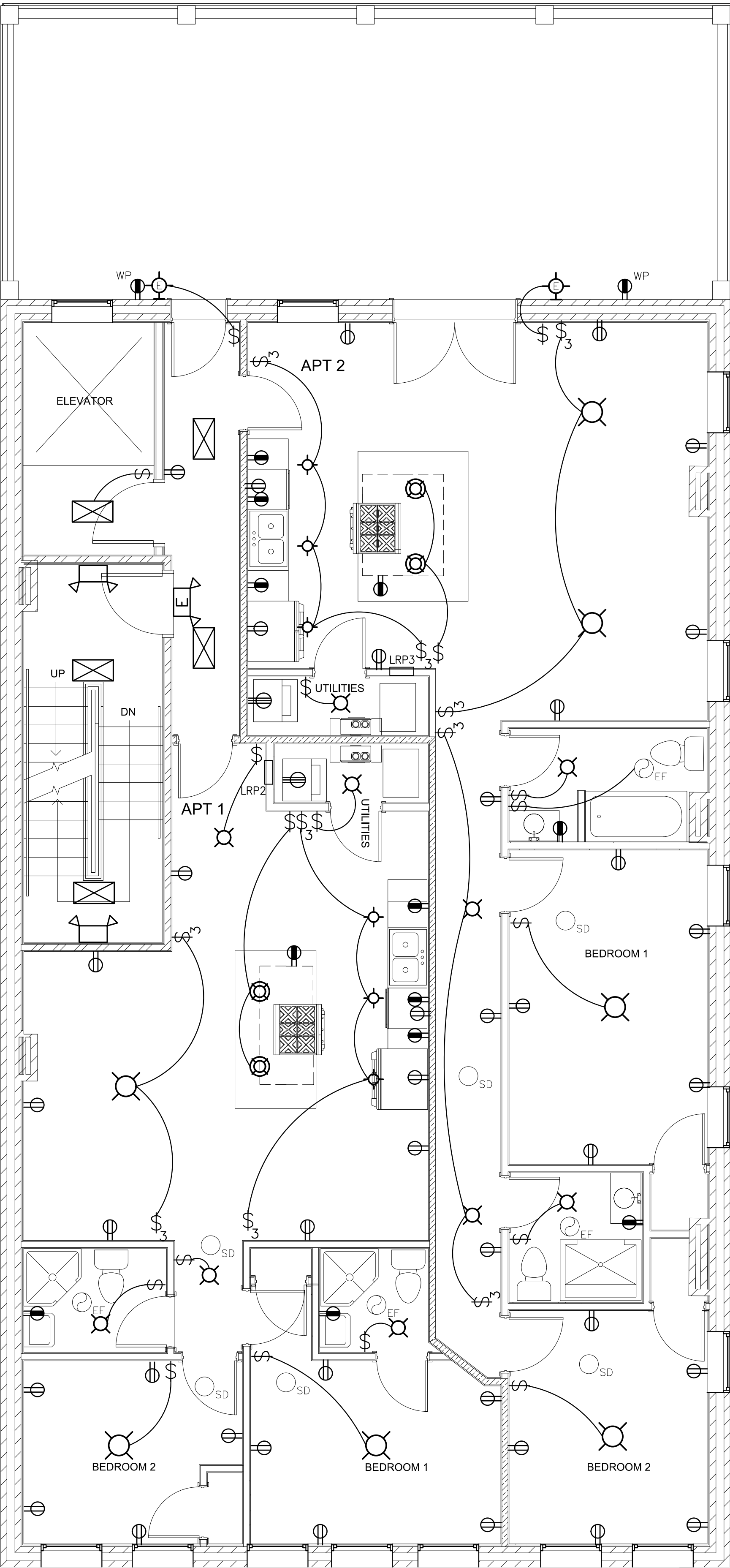
FIRE WALL OR CEILING MEMBRANE PENETRATION BY STEEL ELECTRICAL BOXES MUST BE U.L. LISTED FOR FIRE RESISTANCE, RATED ASSEMBLIES. ANNULAR SPACE BETWEEN BOX AND MEMBRANE NOT TO EXCEED 1/8". SUCH BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY ONE OF THE FOLLOWING:

1. BY THE HORIZONTAL DISTANCE SPECIFIED IN ELECTRICAL BOX LISTING;
2. BY SOLID FIRE BLOCKING PER OBC SECTION 718.2.1;
3. BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS;
4. BY OTHER LISTED MATERIALS AND METHODS.



Phase I  
3rd Flr Ltg/Power Plan

SCALE: 1/4"=1'-0"



Phase I  
2nd Flr Ltg/Power Plan

SCALE: 1/4"=1'-0"

24x36

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PRELIMINARY LIGHTING POWER PLAN

Renovations  
Brewpub & Apartments

333 WEST MARKET STREET SANDUSKY, OHIO

DATE APRIL 27, 2020

DRAWN BY

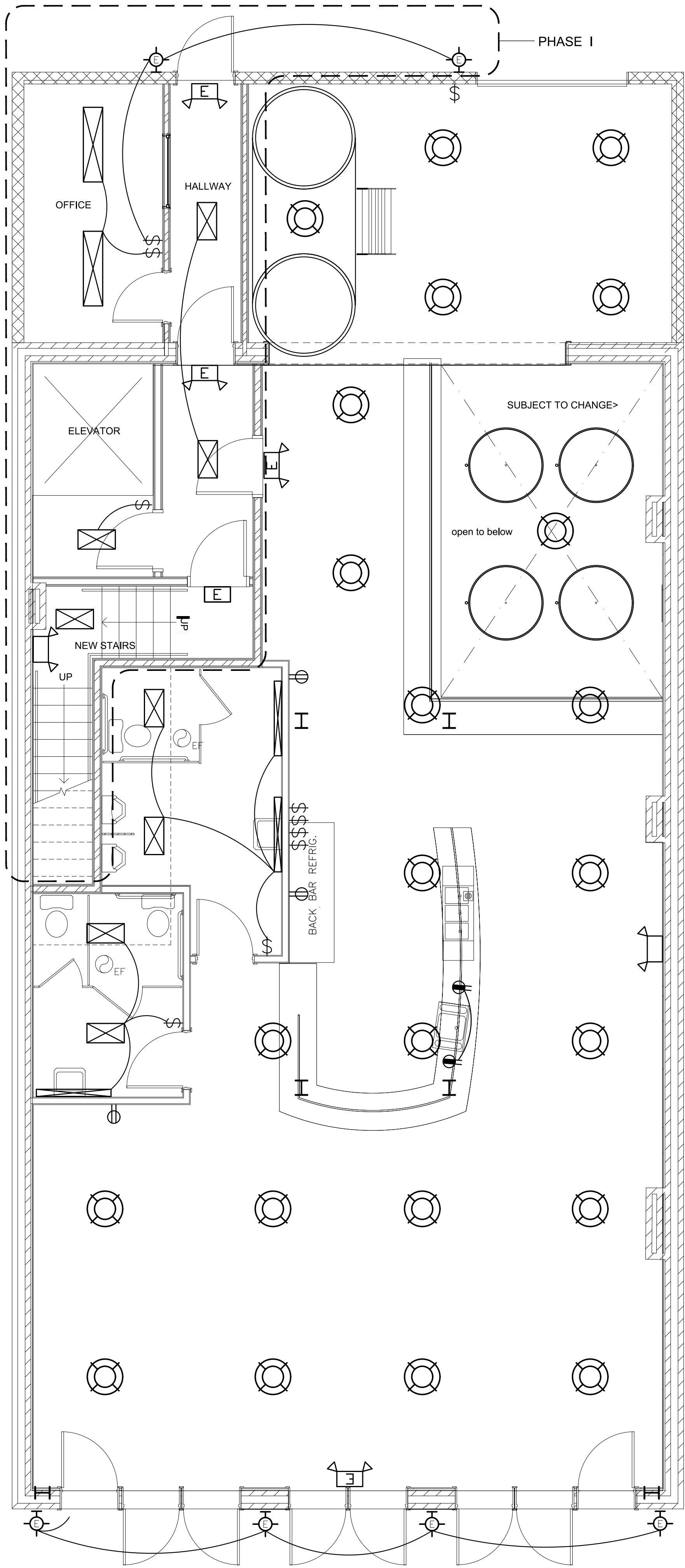
CHECKED BY JAF

SHEET NUMBER

E1

SHEET 1 OF 1

PROJECT NO. A020-016

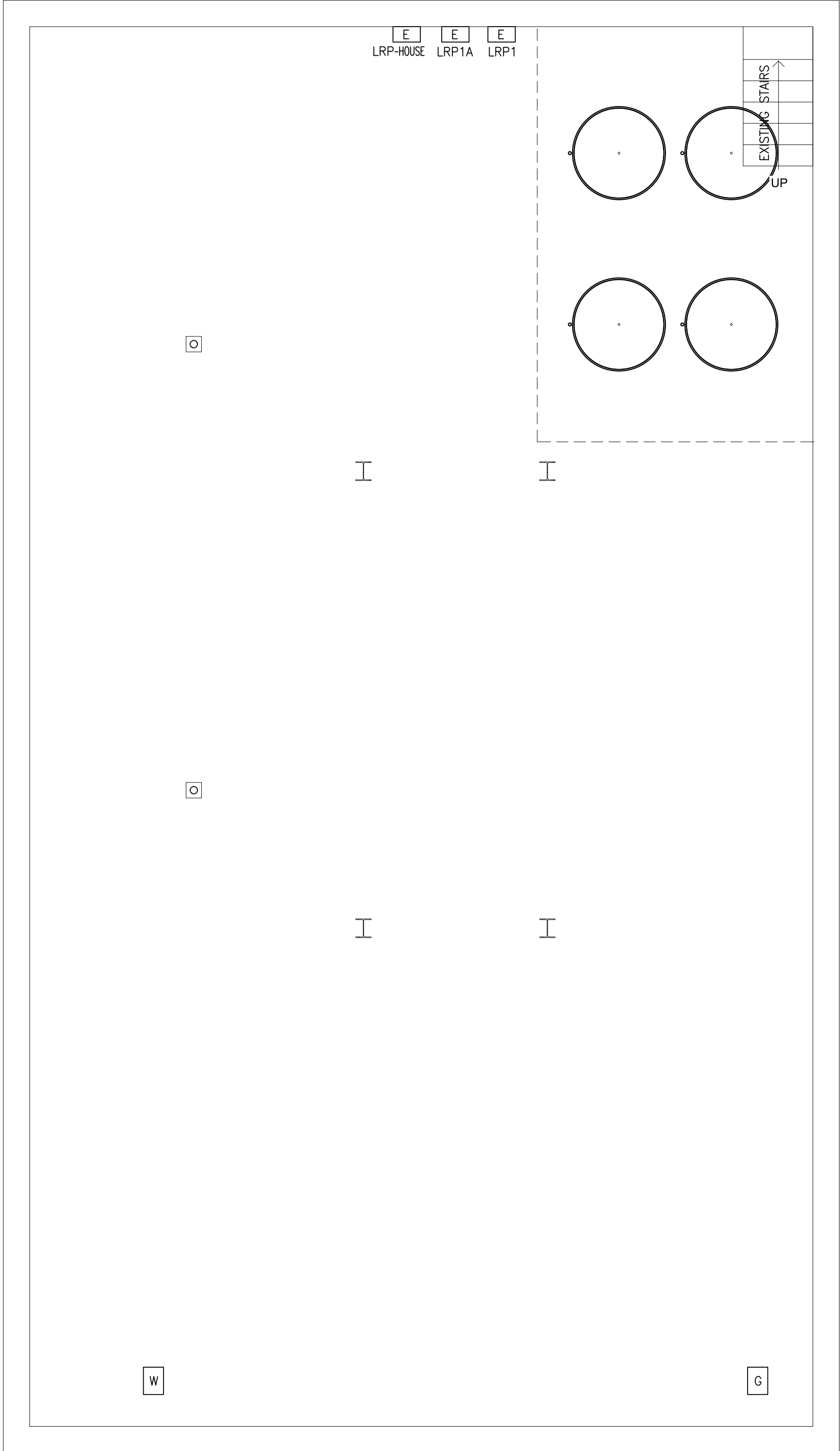


1st Flr Ltg/Power Plan

SCALE: 1/4"=1'-0"

ELECTRIC FIXTURE SCHEDULE		
	Lithonia SBL4 30L MVDLT EZ1 LP835 - LED 1x4 Surface	32W
	Lithonia SBL2 20L MVDLT EZ1 LP835 - LED 1x2 Surface	17W
	20A 120V duplex convenience outlet;	
	20A 120V tamper proof duplex outlet; Provide GFI, ground fault circuit interrupter protection.	
	DECORA WALL SWITCH PIR OCCUPANCY SENSOR MDS-101D	
	Ceiling mounted occupancy sensor, Dual Technology, 20A-120/277, time delay set at 10 Minutes	
	Dual Lite LED Exit/Emergency Light #HCXURW RC12 03L -2 lamp; with battery backup power, 1.5 hour minimum; connect ahead of local switch. With exterior Remote Head	
	Dual Lite LED Emergency Light #LZ2 03L -2 lamp; with battery backup power, 1.5 hour minimum; connect ahead of local switch.	
	MAXLITE MODEL No. SECL 15 U 50 LED PHOTO CONTROL SECURITY LIGHT 6X15W 90W	

ELECTRIC FIXTURE SCHEDULE	
	20A 120V tamper proof duplex convenience outlet; Residential use
	20A 120V tamper proof duplex outlet; Provide GFI, ground fault circuit interrupter protection.
	240V Appliance outlet; DRYER- 10/4 Copper
	All circuits to have Arc-fault protection accept any circuits on GFI.
	Ceiling mounted light fixture chosen by owner.
	PRESCOLITE LT60LIC LB6LEDA10L Fire Rated Recessed LED
	PENDANT light fixture chosen by owner.
	Surface mounted Exterior lite Selected by owner
	SMOKE DETECTOR interconnected to activate all alarms in dwelling, permantly hardwired with battery backup
	PROVIDE CO DETECTORS AS REQUIRED BY SECTION 915 OF OBC
	COMBINATION SMOKE & CO DETECTORS LISTED WITH UL2034 AND UL217 ARE ACCEPTABLE ALTERNATIVES



Bsmt Ltg/Power Plan

SCALE: 1/4"=1'-0"

24x36

FEICK DESIGN GROUP, INC.

JOHN A. FEICK ARCHITECT

224 EAST WATER STREET SANDUSKY, OHIO (419)-625-2554

DATE	REVISIONS

LIGHTING AND POWER PLAN

Renovations

Brewpub & Apartments

333 WEST MARKET STREET SANDUSKY, OHIO

DATE APRIL 27, 2020

DRAWN BY

CHECKED BY JAF

SHEET NUMBER

E2

SHEET 1 OF 1

PROJECT NO. A020-016

Description of exterior work by elevation:

#### Front Facade (South Elevation)

- From the existing stone lintel above the sign up, the only changes are: repainting with city color swatch approved beige, black, and copper colors on the decorative corbels and cornice, and eventual replacement of vinyl windows with wooden double hungs to match the rest of the building's original windows. All original lentels will remain unchanged.
- The street level facade will be removed and rebuilt in a High Victorian Style. The outside posts and steel posts between will be bricked up to the sign, and the sign, windows bays, and double entry will be constructed from wood and painted. Ramp will be ADA approved.

#### East Elevation

- Windows will be repaired and/or rebuilt with wood material and painted black.
  - Brick will be soft scrubbed and tuck pointed.
  - Fire escape restored and will be extended to the rooftop deck
  - All original lentils will remain unchanged.
- (Black metal skirting under the rooftop deck)

#### North Elevation

##### Ground level

- block will be painted in the same beige used throughout or stucco to match the west elevation
- existing garage door will be blocked in, a new black wood/or metal man door will be added, and new garage door with windows and black trim will be installed (as shown on plans).

##### Upper Levels:

- Brick will be soft scrubbed and tuck pointed.
- New doors will be black wood/ or metal and the lentils will be made of sandstone to match existing openings.
- Second and third floors will have decks constructed with black metal/ or wood cased posts and beams, and black metal hand rails with stainless cable rails below. Decking will be wood or composite material.
- All original lentels will remain unchanged.
- A new black metal awning will be constructed to conceal the roof pitch and soften the visual appearance of the rooftop structure.

#### West Elevation

- existing windows will be repaired and/or rebuilt from wood and painted black
- All original lentels remain unchanged.

#### Rooftop deck

- The preexisting elevator doghouse and atrium rooftop access will be reconstructed in order to protect the building from further deterioration between the two preexisting structures where there was major water collection issues and damage. It will be constructed to a height that will allow for eventual ADA accessibility through the elevator to a "temporary accessory" rooftop deck which is inline with the cities updated master plan to "activate and celebrate rooftops", and which allows for the preservation of the original architectural design pitched roof. In doing so we've been able to keep the rooftop structure to a lesser prominence (compared to the side of building) than other rooftop structures approved by this board this year, and we've kept it low enough so as to not change the appearance of the historic facade from across the street.



-The structure will be sided with fiber cement 6" lap siding painted in a neutral beige (from the city approved swatch) to help soften the appearance. Doghouse windows will be black aluminium.

-All roofing materials (doghouse and existing) will be black metal.

-Deck beams and handrails will be constructed with black metal and stainless cable rail below

Work will occur in three phases-

Phase 1-getting 2nd and 3rd floors ready for rent, including restoring windows on all sides but the south, north elevation: decks, new doors and entry.

Phase 2-1st floor brewpub, including renovation of front facade

Phase 3-Rooftop deck

Description of work in regards to Historic Standards

The Secretary of the Interior's Standards for the Treatment of Historic Properties

(1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment;

**-We are returning the building to nearly its exact original purpose and use.**

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alternation of features and spaces that characterize a property shall be avoided;

**-There are no (zero) historical features being removed or altered through this renovation; in fact the opposite is occurring. Historic windows are being restored (and eventually the front windows returned),brick facades are being preserved, and the front facade is being returned to a more historically appropriate condition.**

(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken;

**-Store front will be returned to more time appropriate treatment (it looks like a 1940's storefront not 1880's currently)**

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved;

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved;

**-ALL original architectural features remaining will be preserved**

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;

**-Windows will be repaired**

**-masonry and decorative features will be preserved**

(7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;



**-soft scrub tuck pointing will occur where needed (east/north elevations)**

(8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;

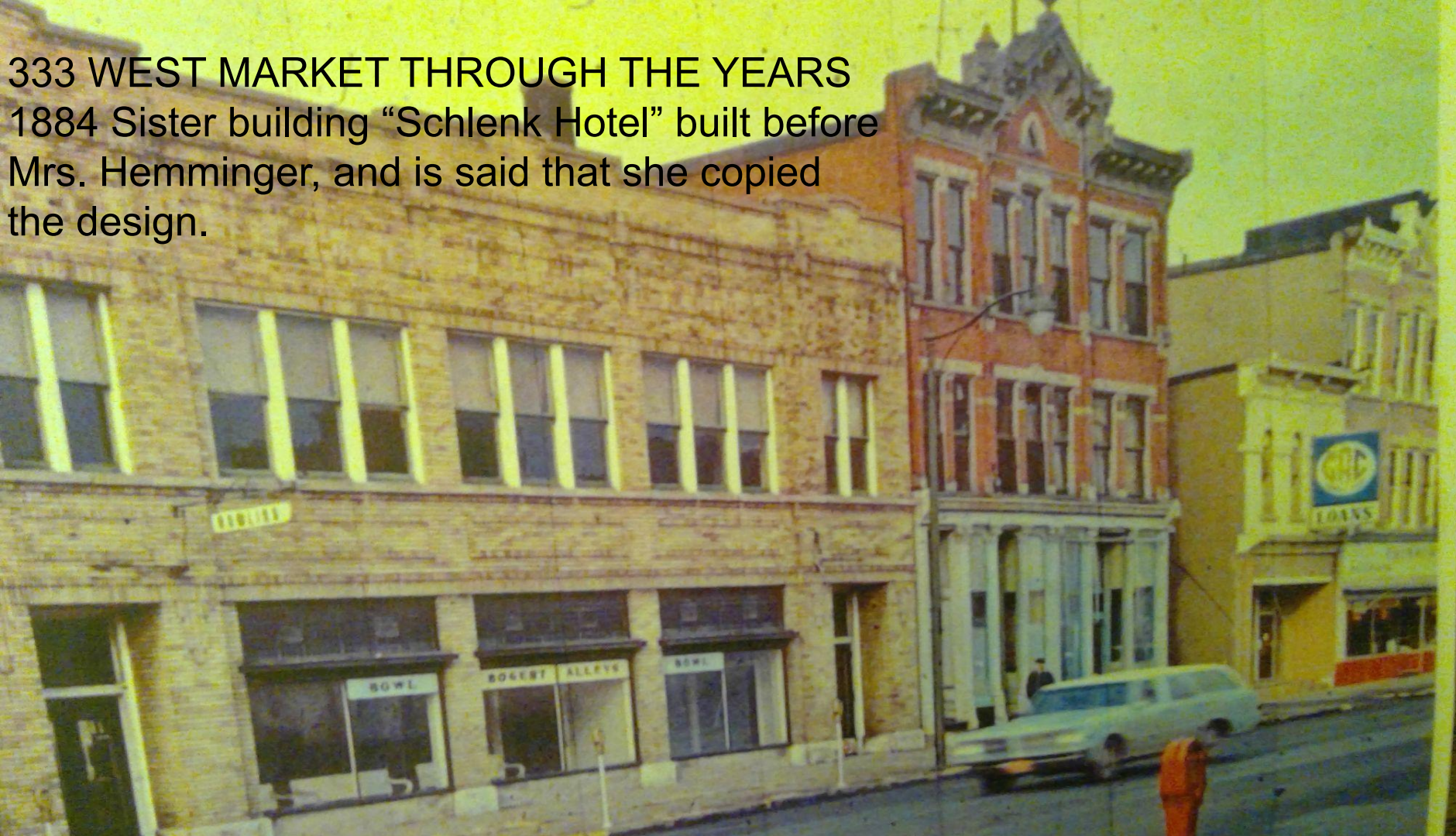
(9) New additions, exterior, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment;

(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**-removable rooftop accessory constructed so that a change in roof architecture is not required**

# 333 WEST MARKET THROUGH THE YEARS

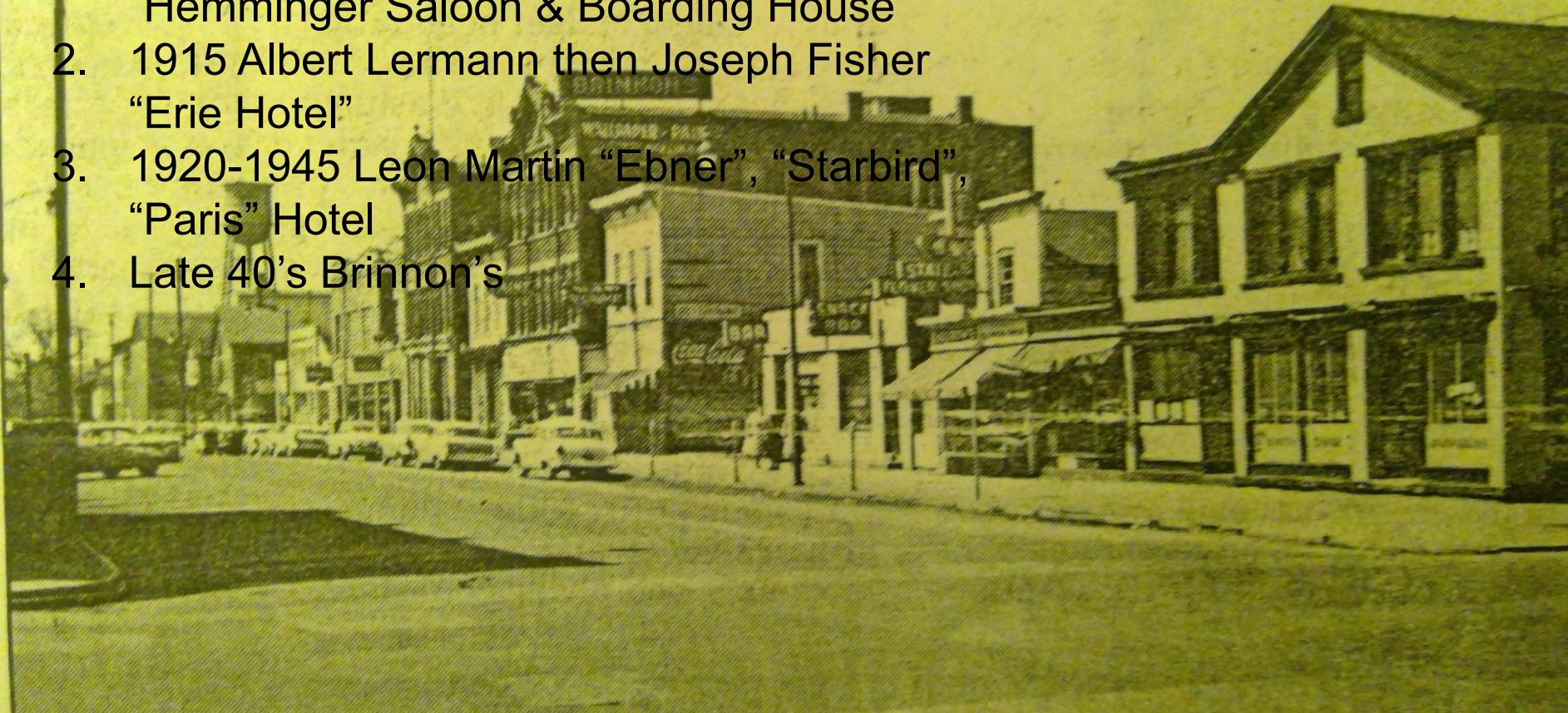
1884 Sister building "Schlenk Hotel" built before Mrs. Hemminger, and is said that she copied the design.





## 333 WEST MARKET THROUGH THE YEARS

1. 1885-1915 Adelheid Hemminger  
“Hemminger Saloon & Boarding House”
2. 1915 Albert Lermann then Joseph Fisher  
“Erie Hotel”
3. 1920-1945 Leon Martin “Ebner”, “Starbird”,  
“Paris” Hotel
4. Late 40’s Brinnon’s





Jerry Lizzi & Eugene Riedy Rented to  
Burl Bernie's Wallpaper & Paint Store





1980's Randall Hassinger Worth-More Furniture  
Improved the exterior of Building



# Present: 333 West Market

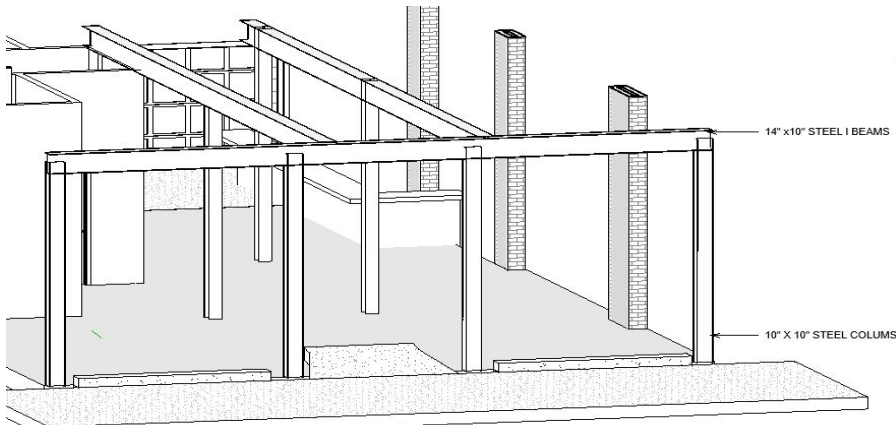
1990's Rich Willson  
"Now And Then Shoppe"

2019 Tony Limberios, Conor  
Whelan  
MAC Building &  
Development-LLC.  
"MAC Apartments &  
Sandusky Bay Brewing"

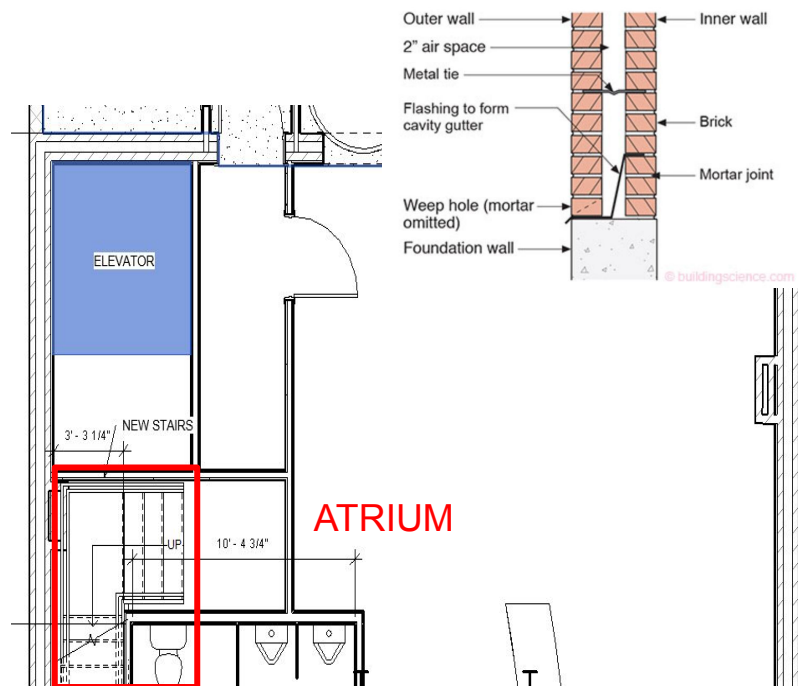


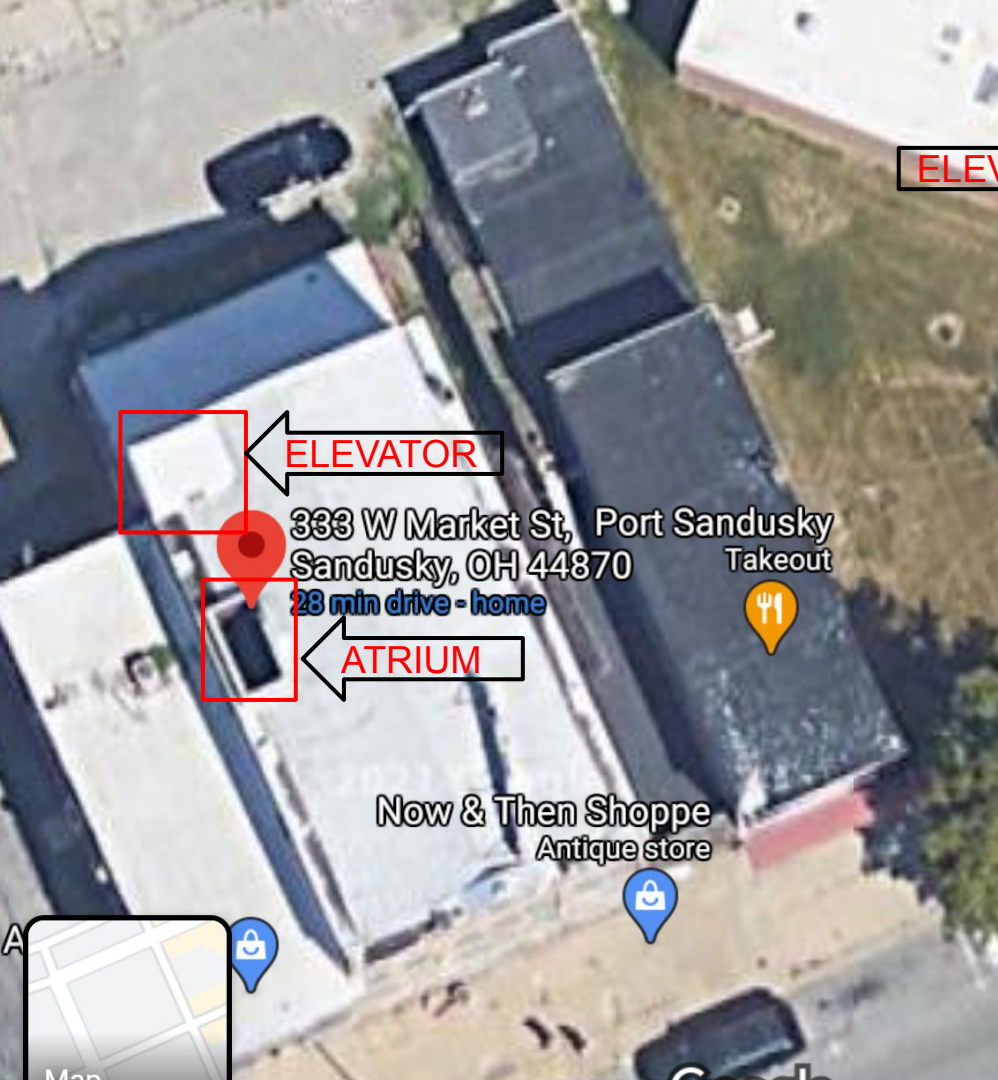


# Major Renovation Approx: Late 40's



- STEEL I BEAMS TO FOOTERS & FOUNDATION
- FREIGHT ELEVATOR: NORTH-WEST SIDE
- ATRIUM FROM 2ND FLOOR THROUGH ROOF
  - STOREFRONT, STOOP & SIGNAGE
- CINDER BLOCK ADDITION ON THE BACK
  - 80'S FRONT WAS TUCKPOINTED









# FIRST PROPOSAL WITH FIECK BUILDING TRANSOM DOORS AND OUTDOOR FENCING





All architectural features on the building front (from stone lintel up) will remain unchanged(including this view from across the street of the historic facade) other than painting corbels and cornice in beige,black, copper color palate

When financially able we plan to rebuild the front windows to match the original wood windows we are restoring on the sides.



# High Victorian Style Features



THERE ARE NO PLANS TO CHANGE THE FRONT FACADE, OTHER THAN THE COMMERCIAL FLOOR FRONTAGE. ALL WOOD WILL BE PAINTED IN THE SAME COLOR PALATE



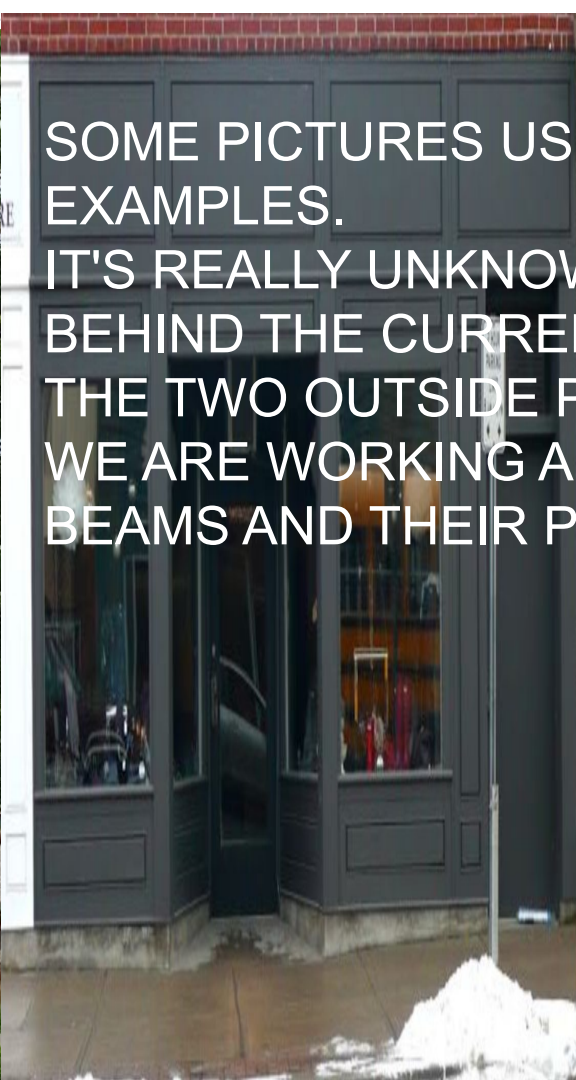


A 3D architectural rendering of the exterior of a building, likely a brewery. The building features a dark grey facade with a prominent gold-colored sign that reads "SANDUSKY BAY BREWING". The sign is mounted on a horizontal band above the entrance. The entrance is a recessed doorway with a dark interior. To the left and right of the entrance are large windows with gold-colored frames. The building is constructed with dark red brickwork. A light grey concrete sidewalk runs along the front of the building. The background shows some bare tree branches and a clear sky.

**SANDUSKY BAY BREWING**



SOME PICTURES USED AS  
EXAMPLES.  
IT'S REALLY UNKNOWN WHAT'S  
BEHIND THE CURRENT PANELS ON  
THE TWO OUTSIDE POSTS. AGAIN  
WE ARE WORKING AROUND STEEL  
BEAMS AND THEIR PLACEMENT.



# NORTH ELEVATION NEW VIEW EXAMPLE OF RAILING

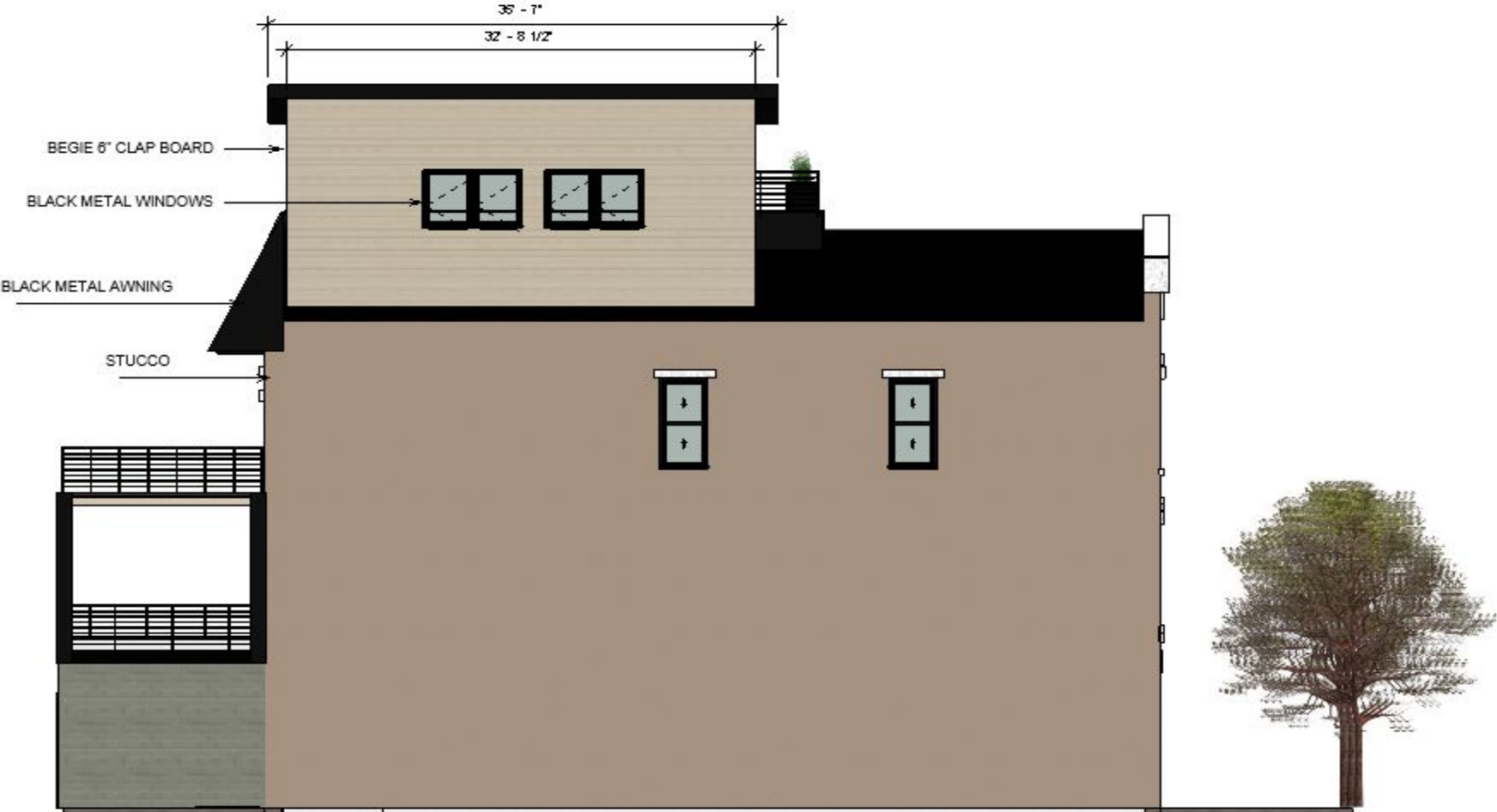


# EAST ELEVATION NEW VIEW

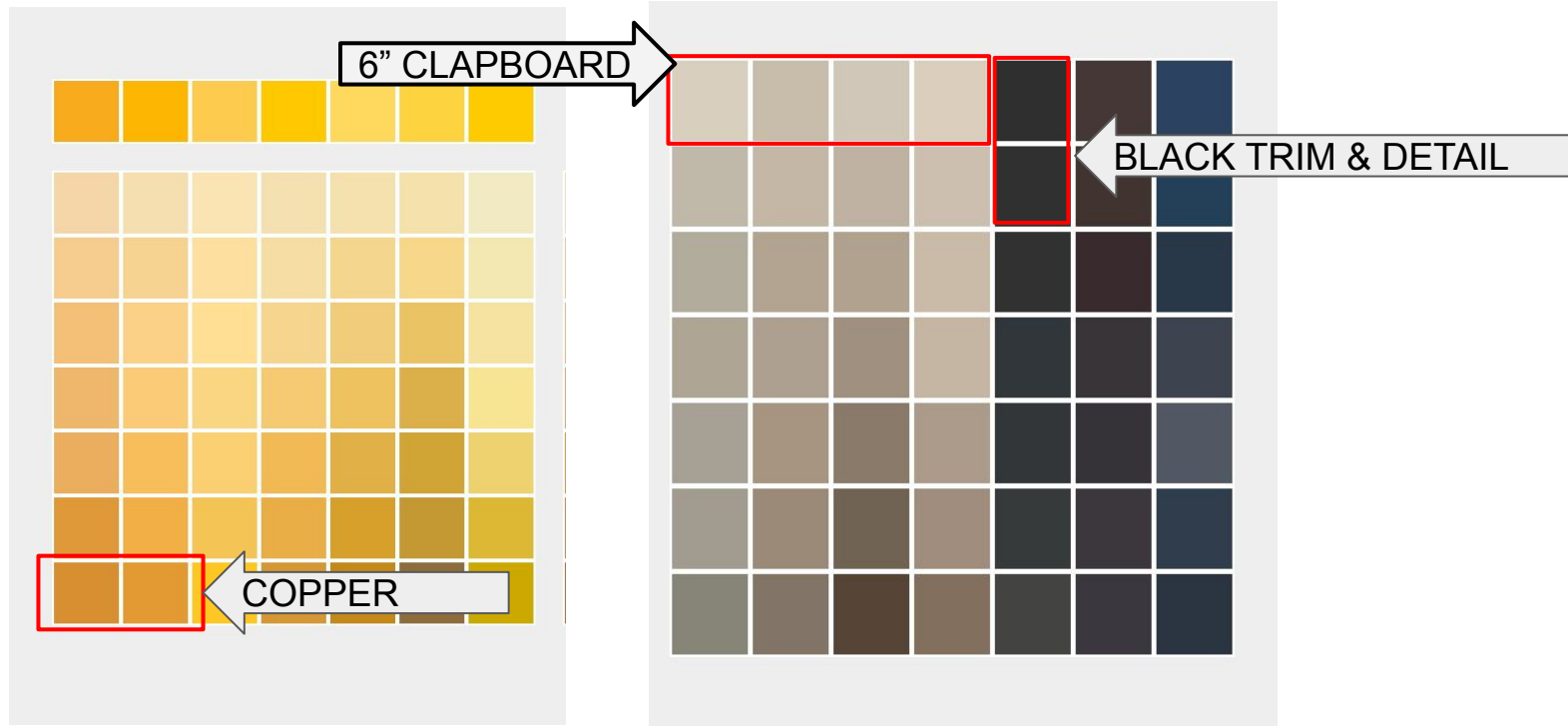




# WEST ELEVATION NEW VIEW



# COLORS: BLACK TRIM, COPPER SIGNINGS & TRIM DETAIL, BEIGE 6" CLAPBOARD, BEIGE FRONT WINDOWS

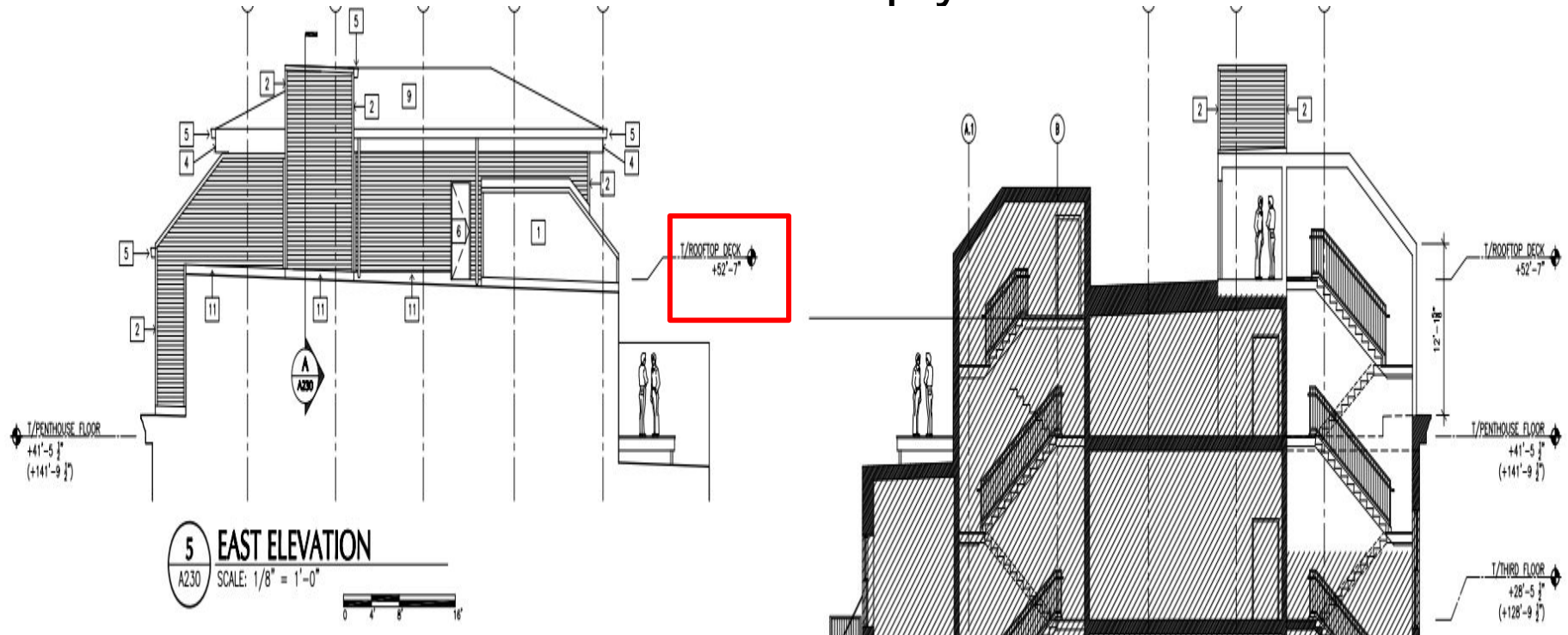


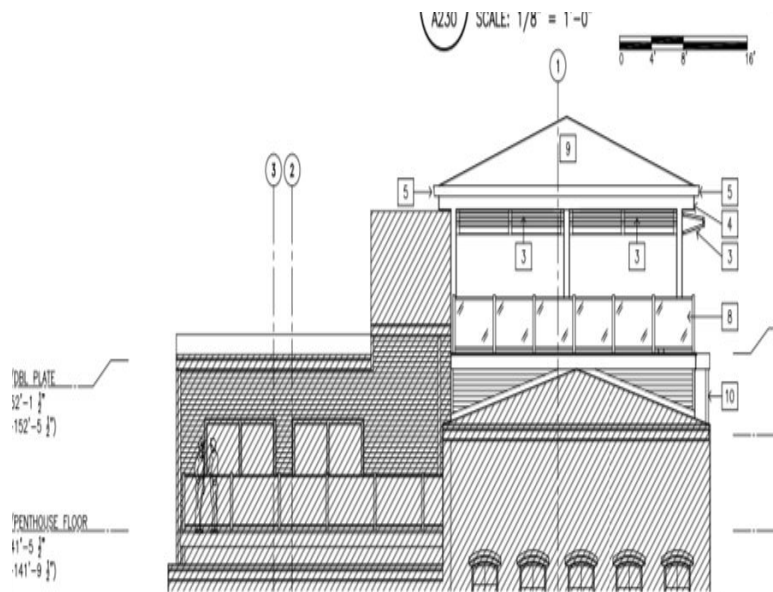
## WHY? BEST PRACTICE:

- WOOD WINDOWS HAVE BEEN NEGLECTED FOR YEARS REPLACEMENTS OF ROTTED WOOD COMPONENTS & MECHANICAL MAY NOT BE COST EFFECTIVE.
- DETERIORATION OF ATRIUM COMPONENTS AND OPENING SIZE MADE THE STAIR PLACEMENT IDEAL
- NEGLECTED ROOF SYSTEM WITH BOX GUTTERS AND THE FACT THEY WERE COVERED, LEAD TO WATER PENETRATION FOR YEARS ESPECIALLY IN THE AREA OF BETWEEN THE ELEVATOR AND ATRIUM
- BUILDING FOR THE FUTURE: A 4 STOP PASSENGER ELEVATOR BRING IT TO CODE FOR ADA ACCESSIBLE ROOFTOP

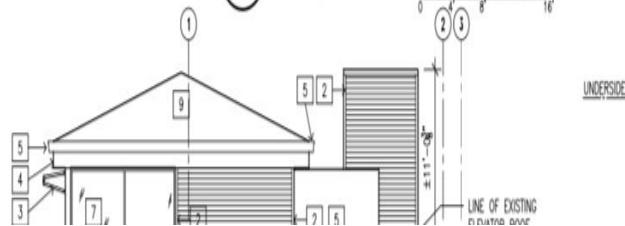


This rooftop structure was approved by this board 3/17/21  
it sits higher above the building's side than our proposed  
structure and it sits next to an empty lot





**2 PARTIAL NORTH ELEVATION**  
A230 SCALE:  $1/8" = 1'-0"$



**5 STREET VIEW**  
A231 NO SCALE



Looking North Jackson Street Pier--(the reason we want to be able to enjoy our rooftop)

Also note all the rooftop structures in this view and on the next few slides

We recognize not all were approved by this board, however it is this board that can ensure that we are allowed equal property rights that our neighbors enjoy





Looking South West





Looking North East



Looking North West





Looking West-It seems illogical to me to think that our stairwell structure would be considered visually offensive with this factory in the background





Looking South East





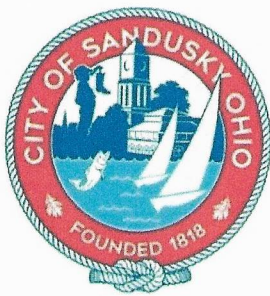
Looking West





Looking South





## LANDMARK COMMISSION

### *Application for a Certificate of Appropriateness*

Department of Planning  
240 Columbus Ave  
Sandusky, Ohio 44870  
419.627.5891

[www.cityofsandusky.com](http://www.cityofsandusky.com)

### Instructions to Applicants

**MEETINGS:** 3<sup>rd</sup> Wednesday of each month at 5:00 P.M.\* – City Commission Chamber, First Floor of City Hall.

*\*Meeting dates are subject to change. Please check [www.cityofsandusky.com/Landmark](http://www.cityofsandusky.com/Landmark) for an updated schedule.*

**DUE DATE FOR SUBMITTALS:** Applications are due by 5:00 P.M. on the date of the preceding month's Landmark Commission meeting. *A staff member of the Department of Planning can meet with you to determine which items listed under submission requirements should be included for review by the commission.*

**WHO MUST ATTEND:** The property owner, or the authorized agent of the owner, must be present at the Landmark Commission meeting.

**PRESENTATION OF APPLICATION:** *The property owner, or the authorized agent shall prepare and present the application. Please contact the Department of Planning to coordinate the preparation of supporting visuals to be used during the presentation.*

**APPLICATION FEE:** No Fee.

**SUBMISSION REQUIREMENTS:** Please provide either a hard copy or electronic copy of the following:

- 1) Completed application
- 2) Supporting documentation:
  - A. New Construction
    - a. Scaled drawings
    - b. Site plan
    - c. Photographs
    - d. Material list
    - e. *Color chart*
  - B. Additions/Alterations
    - a. Scaled drawings
    - b. Photographs
    - c. Material list
    - d. *Color chart*
  - C. Signage
    - a. Scaled drawings
    - b. Location of sign
    - c. Photographs
    - d. *Color chart*
    - e. Width of building
    - f. Lot frontage
  - D. Demolition
    - a. A report as to the structural soundness of the building prepared by professionals experienced in preservation and rehabilitation
    - b. *A comprehensive feasibility analysis including selective demolition*
    - c. Estimates of the costs and income for rehabilitation of the building
    - d. Estimates of the costs and income for new development
    - e. Valuation of the property
    - f. *Completed development plans*

\*Historic photographs of the structure/property may be requested by Planning Staff or the Landmark Commission  
\*Additional materials may be requested at any point during the application process to insure the Commission has adequate information for review.

**Please note that the granting of a Certificate of Appropriateness is not a Building Permit. A separate Building Permit must be issued prior to all construction.**

Submit application and materials to:

City of Sandusky  
Department of Planning  
240 Columbus Ave.  
Sandusky, OH 44870

THE DEPARTMENT OF PLANNING WILL NOT ACCEPT ANY INCOMPLETE APPLICATIONS. ALL MATERIALS MUST BE SUBMITTED BY THE ESTABLISHED DEADLINE. LATE SUBMISSIONS OF SUPPORTING DOCUMENTS WILL CAUSE THE APPLICATION TO BE DELAYED FOR REVIEW.

NOTE: Applications containing prior exterior work performed in violation of city ordinance(s) under chapter 1161 and/or 1305 will not be considered until applicant has restored the property to original condition, paid applicable fine(s) and received approval from the City Building Department and Division of Code Compliance to proceed with the application process.

Contact Thomas Horsman, Assistant Planner, at 419-627-5715 or [thorsman@ci.sandusky.oh.us](mailto:thorsman@ci.sandusky.oh.us) with any questions.



## Application for a Certificate of Appropriateness

### STAFF USE ONLY:

Filing Date:    Hearing Date:    Reference Number:

Address of Property for Certificate of Appropriateness:

Name of Property Owner:

Mailing Address of Property Owner:

City:

State:

Zip:

Telephone #:

Email:

If same as above check here ☐

Name of Applicant:

Mailing Address of Applicant:

City:

State:

Zip:

Telephone #:

Email:

Proposed Changes (check all that apply)

☐ Awning

☐ Facia

☐ Shutters

☐ Cleaning of Stonework

☐ Fencing/Landscaping

☐ Siding

☐ Chimney

☐ Gutters/Spouting

☐ Signage

☐ Corbels

☐ Lighting

☐ Store Facade

☐ Cornice

☐ Masonry Repair

☐ Stucco

☐ Deck/Porch

☐ New Construction

☐ Windows

☐ Demolition

☐ Painting

☐ Other \_\_\_\_\_

☐ Doors

☐ Railing

\_\_\_\_\_

☐ Dumpster/HVAC

☐ Relocation

\_\_\_\_\_

☐ Electrical Box

☐ Roofing

\_\_\_\_\_

**Scope of Work:** Please describe the specific change(s) being proposed; explain the nature of the request and how the project is consistent with the Sandusky Preservation Guidelines and the Secretary of the Interior's Standards for the Treatment of Historic Properties (see attached). Please attach supportive documentation.

**Existing Condition of Property:** Please provide an evaluation of the property and identification of exterior items in need of repair.

**Preservation:** Please cite and explain the measures you will be taking to retain and preserve the historic character of the property. Be specific as to how existing materials are being restored or replaced in like kind.

**Historic Features:** Explain how the distinctive and defining historic features of the structure will be affected or altered by the proposed work.



**New Construction:** How will the new construction honor the historical materials that characterize the property and conform to the massing, size and scale of the historic environment?

**Demolition:** Attach a report on the structural soundness of the building prepared by professionals experienced in preservation and rehabilitation. Provide a comprehensive feasibility analysis including selective demolition. Include a summary of required items c,d,e listed on page one of this application. Attach a completed development plan and narrative description of the structures that will replace the demolition.

By signing this application, I acknowledge that I reviewed the proposed scope of work and am responsible for compliance with the Certificate of Appropriateness as approved/conditioned by the Landmark Commission.

\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Authorized Agent

\_\_\_\_\_  
Date

## The Sandusky Preservation Design Guidelines

The guidelines can be found on the city's website at

[http://www.cityofsandusky.com/residents/planning\\_and\\_zoning/historic\\_preservation.pp](http://www.cityofsandusky.com/residents/planning_and_zoning/historic_preservation.pp)

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In evaluating applications for changes to Landmark and historic buildings, sites or districts, the Landmark Commission shall consider the following standards created by the U.S. Department of Interior. It is recommended that applicants discuss their application with the Department of Planning and review the proposed changes in relationship to the standards.

### The Secretary of the Interior's Standards for the Treatment of Historic Properties

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment;
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alternation of features and spaces that characterize a property shall be avoided;
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken;
- (4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved;
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved;
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;
- (7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;
- (8) Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;
- (9) New additions, exterior, alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



City of Sandusky Landmark Commission  
Opportunities/Challenges  
May, 2021

The following is a list of opportunities and challenges that members of the Landmark Commission have identified during monthly meetings from 2019-present. Many of these were documented in meeting minutes while others through conversations among members.

**Outreach:**

1. Awareness of the Landmark Commission
  2. Outreach program for owners of buildings on National Register/in historic district
  3. Training sessions for Landmark Commission (State Preservation Office)
  4. Increase education/awareness of historic preservation for owners of historic properties
  5. Build relationships with Old House Guild, Erie County Historical Society
  6. Alert new property owners of Landmark guidelines during concept phase
- 
- 

**Identification of Landmarks/National Registry/Historic Districts**

1. Identification of city landmarks/districts
  2. Consider the following for potential landmarks: The Pyramid, Boy with the Boot Fountain, Washington Park Clock, Lighthouse, some of the schools, Tommy Boy landmarks, U.S. Route 6, Route 250, some of the hotels including the Maples on Route 6.
- 
- 

**Language/Ordinances**

1. Illuminated signs in the historic district
2. Added language to address Landmark issues
3. Update Preservation Design Guideline/Landmark Preservation Ordinance
4. Review storefront facades in the historic district and develop policy
5. Update signage regulations under the Landmark Preservation Ordinance
6. Address buildings and fences in disrepair in the historic district

7. Revise demolition section of the Landmark Preservation Ordinance
  8. Add lighting specific language to the Landmark Preservation Ordinance
  9. Eliminate illuminated signs in Downtown/Historic District
  10. New signs should respect size, scale, and design of an historic building; sign placement is important, new signs should not cover up significant features, sign materials should be compatible with those of a historic building, new signs should be attached carefully
- 
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### **Applications for Certificate of Appropriateness**

1. Follow up procedures for approved Certificates of Appropriateness
  2. Expand application to include more information such as inspection/preservation of exterior
  3. Allow for public comment on applications for demolition
  4. Clarify process for putting conditions on Certificate of Appropriateness approvals
- 
- 

### **Process**

1. Enhancement of communication with Division of Building/Code Compliance
  2. Establish influence/input of construction on vacant property in the historic district
  3. Placement of electrical panels/air conditioning units/trash bins in historic district
  4. Inspection of unoccupied buildings on National Registry/in historic district
  5. Becoming involved early in development plans for properties in historic district
  6. Having landmark buildings inspected on an annual basis
  7. Work with Planning Commission on sidewalk encroachment issues in historic district
  8. Discussion with city officials on the “look” desired for historic/downtown district
  9. Process for new builds in the historic district
- 
-

**Enforcement**

1. Work to enforce of existing codes related to Landmark ordinances
  2. Identification of properties in disrepair and work to stabilize and restore them
  3. Work to enforce maintenance requirements under the Landmark Preservation Ordinance
  4. Work to enforce the removal of signs of businesses no longer in operation in the historic district
- 
- 

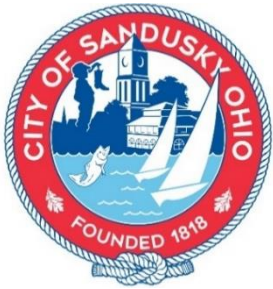
**Other**

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## LANDMARK COMMISSION

### *Application for Landmark Designation*

Department of Planning  
240 Columbus Ave  
Sandusky, Ohio 44870  
419.627.5891  
[www.cityofsandusky.com](http://www.cityofsandusky.com)

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#### Preparing Your Application:

Please type or use black ink and use paper no larger than 11" x 17" for the required supporting information. Planning Department staff is available to assist in the preparation of applications.

#### Filing Your Application:

When completed, the attached application will initiate consideration of a property for designation as a local historic landmark. The application will enable the Sandusky Landmark Commission to determine whether the property qualifies for designation.

*\*The guidelines developed for this application are based on the evaluation process set forth in Chapter 1161 of the City of Sandusky's Code of Ordinances.*

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### **1. Name of Property**

Historic Name: \_\_\_\_\_

Current Name: \_\_\_\_\_

### **2. Location**

Please include the full street address of the property, including its local jurisdiction. Parcel Identification Numbers (PIN) can be found by contacting the Erie County Auditor's office or website.

Street Address: \_\_\_\_\_

City/Town/Jurisdiction: \_\_\_\_\_

PIN Number: \_\_\_\_\_

### **3. Owner Information (If more than one, list primary contact)**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

4. **Applicant/Contact Person** (If other than owner)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

5. **General Data/Site Information**

A. Date of construction and major additions/alterations: \_\_\_\_\_

B. Number, type and date of construction of outbuildings: \_\_\_\_\_

C. Approximate lot size or acreage: \_\_\_\_\_

D. Architect, builder, carpenter, and/or mason: \_\_\_\_\_

E. Original use: \_\_\_\_\_

F. Present use: \_\_\_\_\_

6. **Classification**

A. Category (building(s), structure or site): \_\_\_\_\_

- Building – A “building,” is created principally to shelter any form of human activity. (i.e.: house, barn, hotel, church, school, theater, stable)
- Structure - The term "structure" is used to distinguish from buildings constructions made usually for purposes other than creating human shelter (i.e.: tunnel, bridge, highway, silo)
- Site - A site is the location of a significant event, a prehistoric or historic occupation or activity, or a building or structure, whether standing, ruined, or vanished, where the location itself possesses historic, cultural, or archeological value regardless of the value of any existing structure. (i.e.: battlefield, cemeteries, designed landscape)

B. Ownership (check one): \_\_\_\_\_ Private \_\_\_\_\_ Public

- C. **Number of Contributing and non-contributing resources on the property:** A contributing building, site, structure, or object adds to the historic associations, historic architectural qualities, or archeological values for which a property is significant because it was present during the period of significance, relates to the documented significance of the property, and possesses historic integrity or is capable of yielding important information about the period.

Contributing

Non-Contributing

Buildings \_\_\_\_\_

Structures \_\_\_\_\_

Objects \_\_\_\_\_

Sites \_\_\_\_\_

D. **Previous field documentation (when and bywhom):** \_\_\_\_\_

\_\_\_\_\_

E. **National Register status and date (listed, eligible, study list):** \_\_\_\_\_

\_\_\_\_\_  
*Please contact the National Register Coordinator at the State Historic Preservation Office to determine National Register status.*

7. **Supporting Documentation** (attach to application on separatesheets)

**A. Required Photographs**

- Digital photographs shall be submitted. Please include a printout of the images. To save paper and ink, as many as nine images may be placed on a single 8 X 10 sheet of paper, though images should be a least 3 ¼ "X 2 ½". Proofs may be in black and white on regular paper.
- For buildings and structures, include all facades and at least one (1) photo of all other contributing and non-contributing resources. Also include at least one (1) photo that shows the main building or structure within its setting. For sites, include overall views and any significant details.
- Photos must be identified with the name of the property, its address or location, and the date.

## **B. Maps**

- Include two (2) maps; one (1) clearly indicating the location of the property in relation to the local community, and one (1) showing the boundaries of the property. Tax maps with the boundaries of the property are preferred, but survey or sketch maps are acceptable. Sketch maps should reflect, describe and label all buildings, structures, objects or sites, within the property boundary. Please show street names and numbers and all structures on the property. Mapping information may be obtained from the Erie County Auditor's website: [www.erie.iviewtaxmaps.com](http://www.erie.iviewtaxmaps.com)

## **C. Historical significance (Applies to all classifications)**

- Note any significant events, people, and/or families associated with the property. Please clearly define the significance of the property in the history. (For example, the property may have been the birthplace of an influential citizen, represent historical patterns of commercial or agricultural development, or served as an important center of community activity). Include all major owners.
- Please include a bibliography of sources consulted.

## **D. Architectural description, significance and integrity (Applies to buildings, structures and objects)**

- For buildings and structures, describe, including exterior architectural features, additions, remodeling, and alterations. Also describe significant outbuildings.
- Context of the history (For example, the building or structure might be one of a town's only surviving examples of a Greek Revival building, or it may be a unique local interpretation of the Arts and Crafts movement. An object might be a statue designed by a notable sculptor.)
- Include a statement describing how the building or structure currently conveys its historic integrity. For example, does it retain elements of its original design, materials, location, workmanship, setting, historic associations, or feeling, or any combination thereof?
- Please include a bibliography of sources consulted.

## **E. Property boundary, significance and integrity (Applies to all classifications)**

- Describe the land area to be designated, address any prominent landscape features.
- Clearly explain the significance of the land area proposed for designation and its historical relationship to the **building(s)** or **structure(s)** located within the property boundary or, in the case of sites, the historical event or events that make the land area significant. For **buildings** and **structures**, the designated land area may represent part of or the entire original parcel boundaries, or may encompass vegetative buffers or important outbuildings. For **sites**, the designated area may encompass a landscape that retains its historic integrity (i.e. a battlefield encompassing undisturbed historic view sheds).



## 8. Signatures

**Applicant:** \_\_\_\_\_ **Date:** \_\_\_\_\_

*I have read the general information on landmark designation provided by the City of Sandusky Landmark Commission and affirm that I support landmark designation of the property defined herein.*

**Owner:** \_\_\_\_\_ **Date:** \_\_\_\_\_



**2021**  
**LANDMARK COMMISSION**  
**MEETING DATES AND FILING DEADLINES**

	<b>FILING DEADLINE</b>	<b>MEETING DATE</b>
<b>JANUARY</b>	<b>12/16</b>	<b>1/20</b>
<b>FEBRUARY</b>	<b>1/20</b>	<b>2/17</b>
<b>MARCH</b>	<b>2/17</b>	<b>3/17</b>
<b>APRIL</b>	<b>3/17</b>	<b>4/21</b>
<b>MAY</b>	<b>4/21</b>	<b>5/19</b>
<b>JUNE</b>	<b>5/19</b>	<b>6/16</b>
<b>JULY</b>	<b>6/16</b>	<b>7/21</b>
<b>AUGUST</b>	<b>7/21</b>	<b>8/18</b>
<b>SEPTEMBER</b>	<b>8/18</b>	<b>9/15</b>
<b>OCTOBER</b>	<b>9/15</b>	<b>10/20</b>
<b>NOVEMBER</b>	<b>10/20</b>	<b>11/17</b>
<b>DECEMBER</b>	<b>11/17</b>	<b>12/15</b>

The Landmark Commission will typically meet on the third Wednesday of every month. The meetings are held in the City Commission Chamber, 240 Columbus Ave at 5:00 p.m. Meeting times, locations, and dates are subject to change with prior notice. Any changes will be posted to the City website.

## INTRODUCTION

### BACKGROUND

In September, 1978, the Old House Guild of Sandusky was formed, dedicated to the restoration and preservation of Sandusky's historically significant buildings. The Guild sought advice from Eric Johannesen, regional preservationist for the Ohio Historic Preservation Office. He suggested that it was important to identify Sandusky's historic buildings, structures, sites and objects through the Ohio Historic Inventory.

The Executive Committee of the Old House Guild decided to initiate the Inventory and held a general meeting in January, 1979 to explain the Inventory to the community and to invite its participation. Forty-three people at the meeting signed up to help with the project.

### PURPOSE

The survey was made on the premise that Sandusky had many historic resources that should be recognized, preserved, and woven into the fabric of today's living. Although we knew, for instance, that Sandusky had many limestone buildings, no one knew for sure how many there were. The Old House Guild felt that the Inventory would answer this and other questions about our old buildings. It would point out the rich historic heritage in our community. It would encourage restoration and preservation of all our historic buildings, structures, sites and objects.

The survey can be an important tool for city planners on projects that require compliance with provisions of the Housing and Community Development Act of 1974. One of the objectives of Title 1 of the act is the "restoration and preservation of properties of special value for historic, architectural or aesthetic reasons." Eligible activities for grant aid include the preservation or restoration of historic sites.

Title 1 also requires that "recipients must take into account the effect of a project on any district, site, building, structure or object listed in or found by the Secretary of the Interior, pursuant to 34 CFR Part 800, to be eligible for inclusion in the National Register of Historic Places." These places are identified in the Inventory.

The information in this Inventory will permit early determination of the impact that any federally funded project will have on the historic resources of Sandusky, and should eliminate crisis situations and expedite project approvals.

### METHOD

Ellie Damm coordinated the project and divided the city into 42 districts to be surveyed. Volunteers, working in pairs or alone, checked every building on every street in their district to identify all 19th Century buildings, sites, objects and structures and all early 20th Century buildings, sites, objects and structures. Unique buildings of any age were also sought. Forms supplied by the Ohio Historic Preservation office were filled out for each selection.

As soon as individual districts were completed, Janelle Photographers photographed the selections. The pictures were then catalogued. By May 31, 1979 all pictures were taken and catalogued.

On June 18, volunteers began the task of completing the field sheets. Forms were edited, descriptions filled out, pictures compared, and histories researched. Typing was done, and two copies were made of each Inventory sheet. This was completed by the first of October. Finally, photographs were affixed, numbers assigned, and the Inventory was finalized. The project which began February 1, 1979 was completed October 19, 1979.

It should be noted that the Old House Guild felt that all limestone buildings should be included on the Inventory. All old brick buildings should be included and as many frame buildings that could be recognized as old should be included. Selecting significant buildings is a subjective art. However, the volunteers endeavored to maintain a uniform standard to the buildings selected.

We do not wish to imply that all landmarks noted in the Inventory are equal. We believe that all the large important buildings that fit our guidelines have been included. We also tried to include as many vernacular structures and buildings as we could identify because we thought it important to recognize the dwellings that housed the ordinary working people of the day. If citizens can see that not only the large buildings of our community are worth saving but also the houses that many of us still live in, then everyone can take a personal interest and responsibility for preservation and restoration in our community.

It was impossible to research every building included. However, as many were researched as possible and all were checked with the Sanborn Maps and the current city directory. In addition, "At Home In Early Sandusky", by Helen Hansen; "Portraits From the Past", the Sandusky Sesquicentennial book; "Sandusky, Then and Now", Ernst Von Schulenburg as translated by the Lange's; various works of Charles Frohman's; Sandusky City Directories from 1855 on; and "Identifying American Architecture", by John J. G. Blumenson were important research tools. In addition, Helen Hansen helped with research and added her unpublished notes on many buildings. Barbara Wendt contributed many historical notes from her collection. Lucille and John Martin advised on the history of Venice and many other citizens contributed personal research to individual buildings. John Blakeman and Nanette Guss both contributed knowledge of architectural styles. Eric Johannesen was always ready to answer questions and expedite supplies.

Special thanks are due to Tom Steinemann & Associates for providing us space in their National Register building to work all summer, and for the Sandusky Library Association for providing room in their National Register building for the final assembly. And, of course, thanks to all those people who believed so much in Sandusky's preservation potential that they were willing to volunteer long hours of their time getting our community treasures on to Ohio Historic Inventory forms.



#### NUMBERING SYSTEM

There are 1,457 landmarks on the survey. Twenty-six buildings or groups of buildings were already listed on the National Register of Historic Places. Two were listed on the Ohio Historic Inventory previously. The survey teams identified and recorded these along with 1,432 "new" landmarks.

Landmarks are numbered ERI-54-3 through ERI-1508-3. ERI is the abbreviation for Erie County; 3 is the code number for Sandusky. The numbers in between ERI and 3 are the specific landmark numbers. There were 53 places in Erie County previously given Ohio Historic Inventory numbers, so the first number on this inventory is 54.

Streets are listed in both numerical and alphabetical order.

#### ARCHITECTURAL STYLES

Nothing remains from Sandusky's earliest days. Platted in 1818, the first buildings were built in what is now the downtown area, and they were later torn down and replaced as the city grew. The oldest building still standing is probably the limestone Eleutheros Cooke House (ERI-291-3) at 410 Columbus Ave. This house was probably built circa 1827.

A unique feature of Sandusky's architecture is the large number of limestone buildings erected during the 19th Century in just about every style popular during this period. Sandusky is built on limestone, which is only twelve to eighteen inches below the surface in the oldest section of the community. It was our most available building material. Many stonecutters settled here, and their works are evident all throughout our community. The shallow topsoil also explains the many old houses with "Sandusky basements", i.e., basements with the main part above soil level. The Inventory indicates there are 161 limestone buildings still standing in Sandusky.

Several Federal houses still remain in Sandusky, although they are not numerous. A fine limestone example would be the Samuel White House (ERI-63-3) at 304 E. Adams St.

Greek Revival style buildings are also not numerous, although the community does have several fine examples. Our most famous example is the Oran Pollett House (ERI-1458-3) at 404 Wayne St.

Other styles represented in Sandusky from the 19th Century include: Gothic Revival, Renaissance Revival, High Victorian Gothic, Italianate, Stick, Eastlake, Richardson Revival, Second Empire, and Queen Anne. Later styles such as Sullivanesque, Beaux Arts, Neo Classic, Colonial Revival, Georgian Revival, Art Deco, Bungalow, and Art Moderne were also identified.

The most popular residential styles of architecture were Italianate and Eastlake, both stylish during the period of Sandusky's great growth. Among vernacular dwellings, a large number of two story half houses were built in stone, brick, and wood. Cottages too, were built in stone, brick and wood. Frame cottages often have individualized door and window caps, some especially fine. Sandusky also has several all steel Lustron houses.

Sandusky is unusual in that it has within its limits one of the finest and oldest amusement parks still flourishing. Several of the buildings at Cedar Point have been incorporated into the Inventory.

The Ohio Historic Inventory of Sandusky is certainly not the last word about Sandusky's buildings, structures, sites and objects. One hopes that it is the first word in an on-going document of additions and corrections and will lead to the preservation and renewal of all of our community's buildings. Our fine old buildings, structures, sites and objects are our heritage, speaking to us of the life-styles and values of those who have gone before. They are truly our most important resource and treasure.

--Ellie Dams

### Field Inventory

Judy Bartow	Mary Huth
Virginia Cookrem	Don Lenhart
Marj. Crouch	Michael Lenhart
Jim Damm	Jack Mineo
Ellie Damm	Donna Mineo
Ann Daniel	Al Murschel
John Daniel	Virginia Murschel
Marie Dickson	Don Nath
Des Fernandez	Rose Nath
Marge Fernandez	Betty Newman
Kathy Findley	Joe Ryan
Larry Findley	Sally Ryan
Jane Garretson	Darrell Shirley
Bettyanne Guss	Joyce Shirley
Nanette Guss	Charles Steinbrenner
Helen Hansen	Julie Steinbrenner
Sherry Hargrove	Ann Strickfaden
Jack Hartley	Virginia Taylor
Sue Hartley	Wally Thiel
Bill Hill	Ellie Till
Judee Hill	Mary Truka
	Ken Woetus

### Photography

Lou Janelle	Bonnie Janelle
	Nanette Guss

### Cataloguing

Paula Damm	Lou Janelle
	Bonnie Janelle

### Finalizers

Ellie Damm	Rose Nath
Bettyanne Guss	Janet Spore
Nanette Guss	Ellie Till
Sue Hartley	Barbara Wendt

### Typists

Ellie Damm	Joyce Shirley
Ann Daniel	Janet Spore
Pam Drumm	Ann Strickfaden
Anita Giovagnoli	Paul Strickfaden
Elizabeth Guss	Mary Truka
	Rose Nath

### Coordinates

Mary Ann Chimera	Janet Senne
Ann Daniel	Barbara Wendt

Assembly

Ellie Damm  
Molly Damm  
Elizabeth Guss

Bettyanne Guss  
Marcie Platte  
Janet Spore  
Barbara Wendt

Special Consultants

John Blakeman

Helen Hansen

Coordinator

Ellie Damm





CLEVELAND  
LANDMARK

NO. 10