

Landmark Commission

240 Columbus Ave
Sandusky, Ohio 44870

419.627.5715

www.cityofsandusky.com

AGENDA

February 15, 2023

5:00 P.M.

City Commission Chamber

Live Streamed on www.youtube.com/CityofSanduskyOH

1. Call to Order- Roll Call
2. Review of January 18, 2023 Meeting Minutes
3. Applications
 - 149 E. Water Street
4. Other Business
5. Adjournment

NEXT MEETING: March 15, 2023

Please notify staff at least 2 days in advance of the meeting if you cannot attend.

Landmark Commission
January 18, 2023
Meeting Minutes

Meeting called to order:

Chair Griffiths called the meeting to order. The following members were present: Vice Chair Truka, Commissioner Schultz, and Commissioner Yandell. Arin Blair and Alec Ochs represented the Community Development Department, and Sarah Chiappone represented the Law Department. Commissioners Defreitas, Meinzer, and Whaley were absent. Commissioner Whaley informed Staff in advance that he would be unable to attend.

Election of Officers

Chair Griffiths asked for a motion to elect officers. Commissioner Schultz made a motion to have Chair Griffiths and Vice Chair Truka continue in their same roles for 2023. The motion was seconded by Commissioner Yandell. The vote passed unanimously to keep the officers in the same roles.

Review of minutes from November 16, 2022:

Chair Griffiths asked for a motion on the minutes. Vice Chair Truka made a motion to approve the minutes as presented and Commissioner Schultz seconded the motion. All voting members approved the minutes as presented.

Applications:

221 East Market Street

Mr. Ochs presented that 221 East Market Street application was heard by the Commission at the November 2022 Landmark Commission Meeting. All items were approved by the Commission, except for the paint color. The property owner, John Parker, was present to provide a sample of the new paint color. The Commission asked if the color was from a historic color palette. Mr. Parker stated it was not but was very close to historic colors. Ms. Blair agreed that it was similar to other colors that have been approved previously. Vice Chair Truka, stated that he thought the paint color would look great but thought that the process of the Commission approving colors need to be refined to make approval easier of the Commission and applicants. Commissioner Schultz made a motion to approve the color presented and the motion was seconded by Commissioner Yandell. All voting members approved the new paint color unanimously.

125 East Water Street (Marquee/ Blade signs)

Mr. Ochs presented the application for 125 East Water Street for marquee/ blade signs. The applicant planned to use existing signs for their logo. The proposed signs did not meet the design guidelines as presented with the white background. Ms. Amanda Smith-Rasnack and Mr. Larry Fletcher were present on behalf of the application. They were asking to leave the background white because of brand recognition and would like to keep the logo consistent. Vice Chair Truka asked if the Commission can approve items that don't meet the guidelines. Ms. Blair and Chair Griffiths confirmed the Commission could approve applications that do not meet the guidelines. Commissioner Yandell asked the applicant if they had considered blue for the background. Ms. Smith-Rasnack stated they did consider other colors but those colors were not consistent with the applicant's other signage and did not have same impact as the white background did. Commissioner Yandell mentioned the community value of the welcome center being more visible, and the commissioners agreed the welcome center should be able to be found. Commissioner Schultz made a motion to approve the application as submitted with the sign being permitted to have a white background and seconded by Vice Chair Truka. Chair Griffiths amended the motion to add that approval of this application was on an exceptional basis. The amended motion was approved unanimously.

1118 West Washington Street

Mr. Ochs presented the application for 1118 West Washington Street for (6) exterior request changes, which included: windows, porch material alteration, doors, fence, exterior lighting, and paint color. Staff recommended approval of the application with the following conditions: 1. All applicable permits are obtained through the Building Department, Engineering Department, and any other applicable agency prior to construction, 2. window replacements and new window additions are aluminum clad or wood framed, and align in features, size, scale and proportion, and massing to existing windows, 3. This includes window replacements being sized appropriately to fill the existing façade openings in entirety without filler material, 4. Existing window sill of small lower story window on the west façade is preserved as is possible to accommodate the new window placement below it, 5. Window additions on the west are aligned with primary features on the west façade including existing small window on lower story, upper story windows, and storefront windows, 6. The porch railing is either wood, cable wiring or a metal material, 7. Storefront door uses a historically appropriate design and material, and 8. All proposed fencing is either metal or wood. Carrie

Haskins, the applicant, attended the meeting through video call and Mr. Feick the applicant's representative was present to speak on behalf of the project. Ms. Haskins stated she wanted to follow the guidelines and would like guidance from the Commission on how to do so. She was willing to adapt her plans to meet guideline requirements. The applicant provided pictures and addresses of other local properties that had amenities similar to what she was requesting. The applicant agreed to wood fencing. Mr. Feick explained the windows would not be able to be aligned because the new windows would be in bedrooms and they did not want windows to the floor for bedrooms. The Commission asked about the window tint and the applicant wanted some privacy and sun protection for the office space that will be in the front of the building. The Commission recommended applying a film to the windows and the applicant was agreeable to that suggestion. Chair Griffiths stated that the Commission would give Staff the authority to approve the tint issue for the application. Chair Griffiths called for a motion and Commissioner Schultz made a motion to approve all Staff conditions, excluding item 4 of window alignment. The motion was seconded by Commissioner Yandell. The vote resulted in unanimous approval of the application per Staff conditions, excluding item 4.

Administrative Approvals

125 East Water Street (Wall Signs)

Chair Griffiths introduced the administrative approval of 125 East Water Street Wall Signage and asked for the Staff report. Mr. Ochs explained it was originally submitted as a package with the marquee/ blade signs. Staff talked with the applicants to separate the application as to not delay their deal. Staff approved two wall signs, one on the north façade and one on the south façade with white lettering and black background that met zoning code requirements. Staff granted approval of the signs on December 14, 2022.

Other Business:

Chair Griffiths asked if there was any other business. Ms. Blair stated she would like to brief the Commission on the progress of the design guidelines update. She continued that at the end of 2022, the City released a RFQ, and based on the applications received, Staff has been working with Designing Local to update the guidelines. Their expertise include historic preservation, landscape architects, and planners. Staff would present the scope of work based on the grant that was received to City Commission at their next meeting.

Meeting adjourned:

Chair Griffiths called for a motion to adjourn the meeting. The Commission adjourned the meeting at 5:47 pm.

Approved by:

Clerk

Chair/ Vice Chair

LANDMARK COMMISSION REPORT

APPLICATION FOR A CERTIFICATE OF
APPROPRIATENESS FOR EXTERIOR ADDITIONS
AND ALTERATIONS AT

149 E. WATER ST.

THE GRANARY BUILDING

Reference Number: PLC 23-0001

Date of Report: January 31, 2023

Report Author: Alec Ochs, Assistant Planner



City of Sandusky, Ohio

Landmark Commission Report

BACKGROUND INFORMATION

Applicant: Family Health Services
1912 Hayes Ave.
Sandusky, OH 44870

Site Location: 149 E. Water St.
Sandusky, OH 44870

Zoning: "DBD" / Downtown Business District

Historic Status: Contributing building in the Downtown Sandusky Commercial Historic District

Existing Uses: Business / Residential

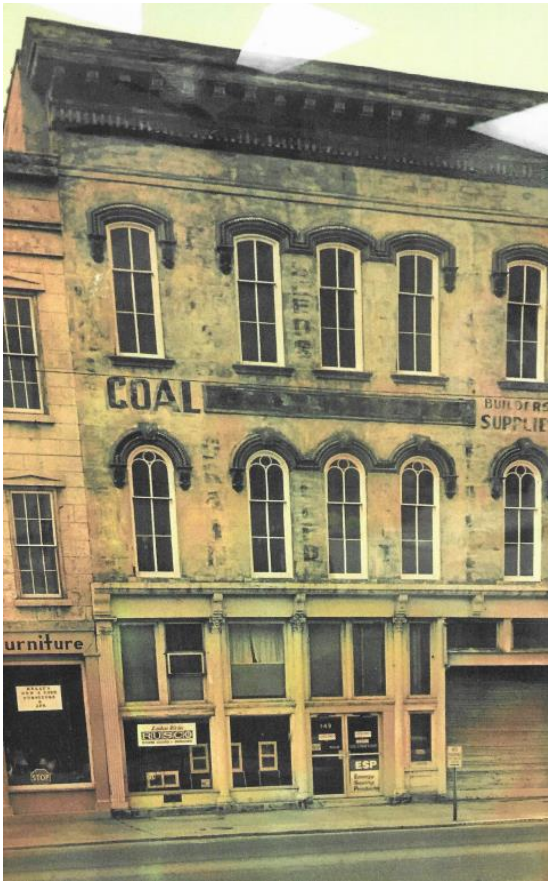
Proposed Uses: Business / Residential

Project:

1. Façade Paint Color
2. Storefront
 - a. Windows
 - b. Framing
 - c. Door
3. Windows
4. Deck
5. Rooftop
6. Exterior Lighting

SITE PICTURES





PROPERTY DESCRIPTION

The building at 149 E. Water St. was built around 1860. There is little known historical data on this property other than is operated as a grain and construction supply store for over 87 years. The property at 231 E. Market St. has been minimally altered from its original condition.

The Ohio historic Inventory of 1979 states the following regarding the buildings important features:

“Rounded arch 2nd & 3rd story windows with ornate cement “braiding” over arches. Brackets on 1st floor cornice. Metalwork pilasters at doorways”.

PROJECT SCOPE

1. Façade Paint Color

The applicant seeks to make paint color alterations, the documents submitted includes two proposed options. Family Health Services expressed a preference for the blue/green color scheme Option B on the left. Staff discussed with the applicant that using the dark accent color on the decorative moldings with a lighter color for the “braiding” above the windows would provide a contrast similar to the historic photograph while also showcasing an important historic feature and they agreed to modify the concept to include this detail.



2. Storefront Alteration

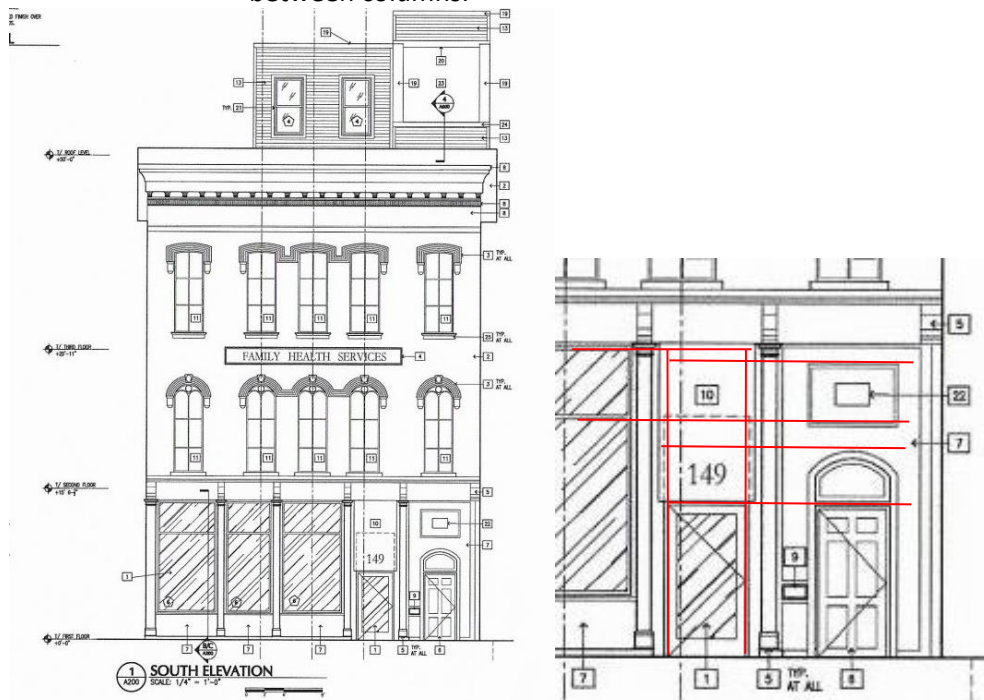
The applicant seeks to make alterations to the storefront, the work includes:

a. Storefront Windows/Framing

- i. The existing aluminum storefront windows are being replaced with new aluminum storefront in a dark bronze finish. The applicant has stated the framing is not historic, but for the columns. The historic columns will remain intact.

b. Door

- i. New entry doors. The existing door will remain and will serve as an emergency exit for the stairwell. The new door will be located to the left of the existing door, where there is currently a window. Staff expressed the new door design would benefit from being aligned with the existing door design in rhythm and number of features: specifically, a rounded transom above the door and signage placement in similar size and alignment. The applicant stated they would provide a concept for the tenant to review before presenting it to the commission. At the least, the proposed signage should align with the new doorway and not span the entirety of the space between columns.



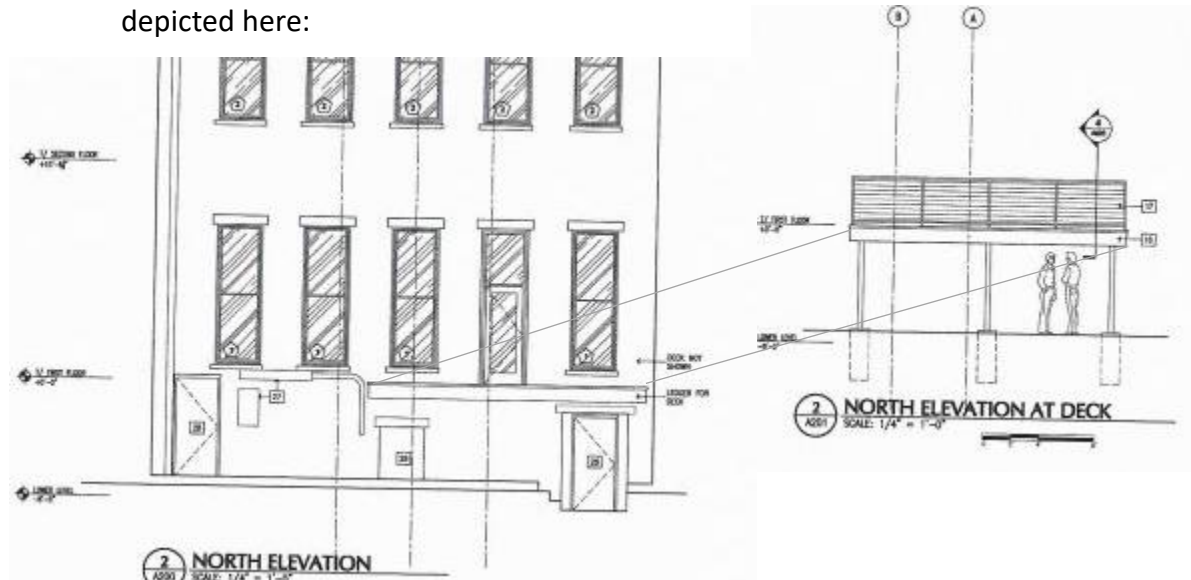
Recommended alignment of new door and signage design with existing features

3. Windows

- a. The windows of the 2nd and 3rd floors facing Water St. are historic and will remain in place, with restoration and painting as necessary.
- b. The applicant seeks to replace all north facing windows. The applicant has stated the windows are non-historic and will be replaced with new traditional, wood, double-hung doors such as Pella Architectural Series – Traditional or a comparable alternate.

4. Deck

The applicant seeks to add a composite outdoor deck with metal cable railings on the north façade facing Shoreline Dr., spanning the exterior door and two windows as depicted here:



5. Rooftop

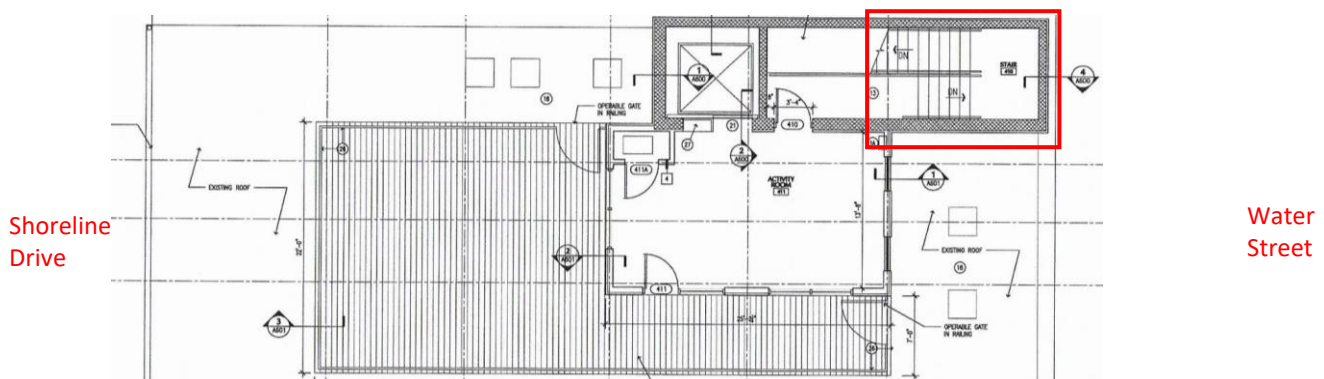
The applicant seeks to add:

- a. Open patio
 - i. Setback from Water St. façade ~15'
 - ii. Setback from the Shoreline Dr. façade ~15'
- b. Roofed patio section
 - i. Setback from the Water St. façade ~15'
 - ii. 10 feet in height
- c. Stairwell
 - i. Is proposed to be in line with the Water St. façade
 - ii. 15 feet in height

The drawings included depict the following:



Red outline highlights area of staff concern



- **Entrances and Doors – page 19**
(Summarized)
 - a) Preserve original entrance features
 - b) Consider Architectural design of building when selecting a door
 - c) Residential Doors are not used on commercial buildings
- **Windows – page 20**
(Summarized)
 - a) Replacements should duplicate existing windows
 - b) Avoid altering window openings
- **Deck Addition – page 24**
(Summarized)
 - a) Should be clear it is not part of original structure
 - b) Additions should be placed at rear of building
- **Storefronts – page 30**
(Summarized)
 - a) Avoid removal of historic storefront materials
 - b) Use historic materials & designs during restoration
 - c) Avoid “theme” restoration
- **Exterior Lighting - page 27**
(Summarized)
 - a) **Avoid large, ornate fixtures**
 - b) Keep lighting devices simple in design
 - c) Fixture heads should be 12 inches high max.
 - d) **Avoid excessively bright lights - Use ordinary incandescent bulbs**
 - e) **Mounting on posts or buildings is appropriate**
 - f) Consider small contemporary flood / spotlights mounted near eaves or gable

The Secretary of the Interiors’ Standards for Rehabilitation

“New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The **new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment**”.

“New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired”.

- Storefronts

Guidelines for Preserving Storefronts:

| STOREFRONTS | |
|--|---|
| RECOMMENDED | NOT RECOMMENDED |
| <i>Identifying, retaining, and preserving</i> storefronts and their functional and decorative features that are important in defining the overall historic character of the building. The storefront materials (including wood, masonry, metals, ceramic tile, clear glass, and pigmented structural glass) and the configuration of the storefront are significant, as are features, such as display windows, base panels, bulkheads, signs, doors, transoms, kick plates, corner posts, piers, and entablatures. | Altering storefronts and their features which are important in defining the overall historic character of the building so that, as a result, the character is diminished. Replacing historic storefront features instead of repairing or replacing only the deteriorated material. |
| <i>Stabilizing</i> deteriorated or damaged storefronts as a preliminary measure, when necessary, prior to undertaking preservation work. | Failing to stabilize a deteriorated or damaged storefront until additional work is undertaken, thereby allowing further damage to occur to the historic building. |
| <i>Protecting and maintaining</i> masonry, wood, glass, ceramic tile, and metals which comprise storefronts through appropriate treatments, such as cleaning, paint removal, and reapplication of protective coating systems. | Failing to protect and maintain historic materials on a cyclical basis so that deterioration of storefront features results. |
| Protecting storefronts against arson and vandalism before work begins by covering windows and doors and by installing alarm systems keyed into local protection agencies. | Leaving the storefront unprotected and subject to vandalism before work begins, thereby also allowing the interior to be damaged if it can be accessed through an unprotected storefront. |
| Protecting the storefront when working on other features of the building. | Failing to protect the storefront when working on other features of the building. |

- Rooftop

ITS (Interpreting the Standards) #36: Rooftop Additions

“With regard to rooftop additions, the Guidelines for Rehabilitating Historic Buildings recommend that **new rooftop additions be designed so that they are inconspicuous from the public right-of-way, are set back from the primary elevation of the building, and do not damage character-defining features of the historic building.** Rooftop additions are almost never appropriate for buildings that are less than four stories high. Generally, rooftop additions should not be more than one story in height, and are more compatible on buildings that are adjacent to taller buildings or dense urban environments. Rooftop additions that do not meet these principles generally will not meet the Standards”.

ITS (Interpreting the Standards) #47: Rooftop Additions on Mid-Size Historic Buildings

“The roofline is often an important character-defining feature of a historic building. A large cornice, tall tower, or a projecting dormer can identify a building in the skyline. Even a simple roofline defines a building’s character. Accordingly, rooftop additions proposed as part of a rehabilitation project must be carefully designed in order to preserve the building’s historic character. Although a rooftop addition is not appropriate for all historic buildings, under certain circumstances a compatible rooftop addition may be constructed that meets the Secretary of the Interior’s Standards for Rehabilitation. A successful rooftop addition does not significantly impact the character of the historic building. It is subordinate to the historic building in size and design, and compatible with its massing, scale, materials and features. **It must be set far enough back from the primary elevation(s) of the building — usually at least one bay, so that it is not highly visible from the public right-of-way.** In most cases, rooftop additions should not be more than one story and, generally, they are not appropriate for buildings consisting of three stories or less”.



Appropriate Rooftop Additions



Inappropriate Rooftop Addition

SUPPLEMENTAL NOTES / PLANNING DIVISION COMMENTS

Façade Paint Color

Either option A or B meet the Paint Selection guidelines. Option B is preferred by the applicant, and as mentioned they updated the proposed color scheme to include the dark accent trim on the decorative moldings and the lighter color for the “braiding” of the molding’s of the second and third story Water Street façade windows.

Storefront Alteration

Like most downtown buildings, the storefronts have been renovated multiple times over the life of the buildings. The window replacement and addition of a doorway are appropriate for the storefront. Keeping the columns is preferred, and the proposed plans do so. For the new additions to balance with existing features, staff recommends altering the proposed door addition design to align with the existing door, transom, and signage in width and height.

Windows

All proposed window replacements are appropriate in style and materials such as wood and aluminum. The existing window openings (aside from the storefront) are not being altered in shape or size.

Rear Deck

The deck addition is appropriate since it is in what's considered the back of the building. The proposed materials are also appropriate according to the guidelines. The color of the cable railing system was not specified in the application materials. Staff recommends dark colors such as dark bronze to match the storefront aluminum, or matching the dark accent color in the painted color scheme.

Rooftop Addition

North Elevation – Internal Staircase

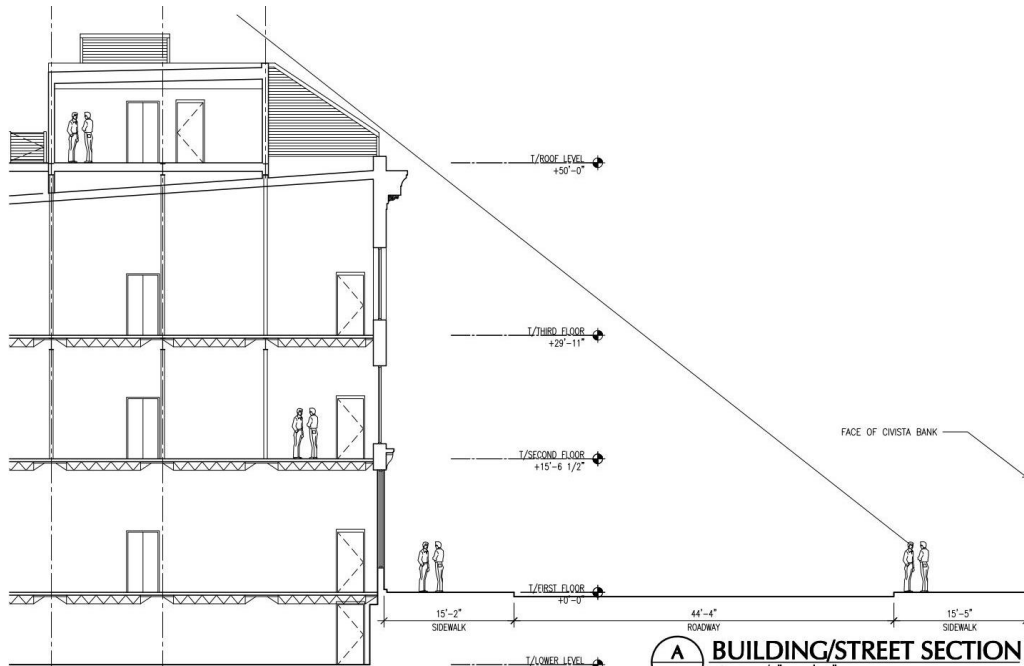
The staircase structure is placed up to the front façade of E. Water St. Due to the shape of the staircase structure- only ~3 ft. of the staircase would be visible from the vantage point of across the street. Therefore that addition is not “substantially visible” and is appropriate according to the national guidelines.

Design and materials

The proposed design and materials of the rooftop addition are otherwise appropriate as proposed.

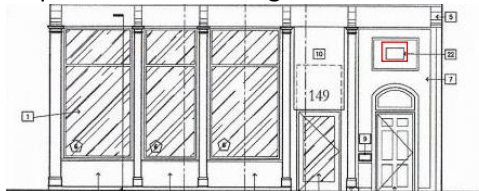


Rendering provided by applicant to represent the street view perspective.



Exterior Lighting

The guidelines encourage to use small lighting features with a simple design with fixture heads not exceeding 12 inches in height and to avoid excessive brightness. More information is requested for staff to give a recommendation.



CONCLUSION / RECOMMENDATION

The renovation and improvements of “The Granary” building will add life and activity to all floors of this historic structure and activate this area of downtown. Overall, staff supports of the project and supports the granting of the Certificate of Appropriateness’s with the following conditions:

1. All applicable permits are obtained through the Building Department, Engineering Department, and any other applicable agency prior to construction.
2. The new proposed doorway and signage design is aligned with primary features of the existing doorway, including the consideration of adding a transom window above the new door. Signage does not expand above the height of new storefront windows.

Application for a Certificate of Appropriateness

STAFF USE ONLY:

Filing Date: _____ Hearing Date: _____ Reference Number: _____

Address of Property for Certificate of Appropriateness: 149 E Water Street Sandusky OH 44870Name of Property Owner: Family Health ServicesMailing Address of Property Owner: 1912 Hayes AveCity: Sandusky State: OH Zip: 44870Telephone #: 419-502-2822 Email: davidt@familyhs.orgIf same as above check here ☐Name of Applicant: Beagua LLCMailing Address of Applicant: 2007 Cedar Point Rd.City: Sandusky State: OH Zip: 44870Telephone #: 4192716411 Email: mmccombs@hundok.com

Description of Work to be Done:



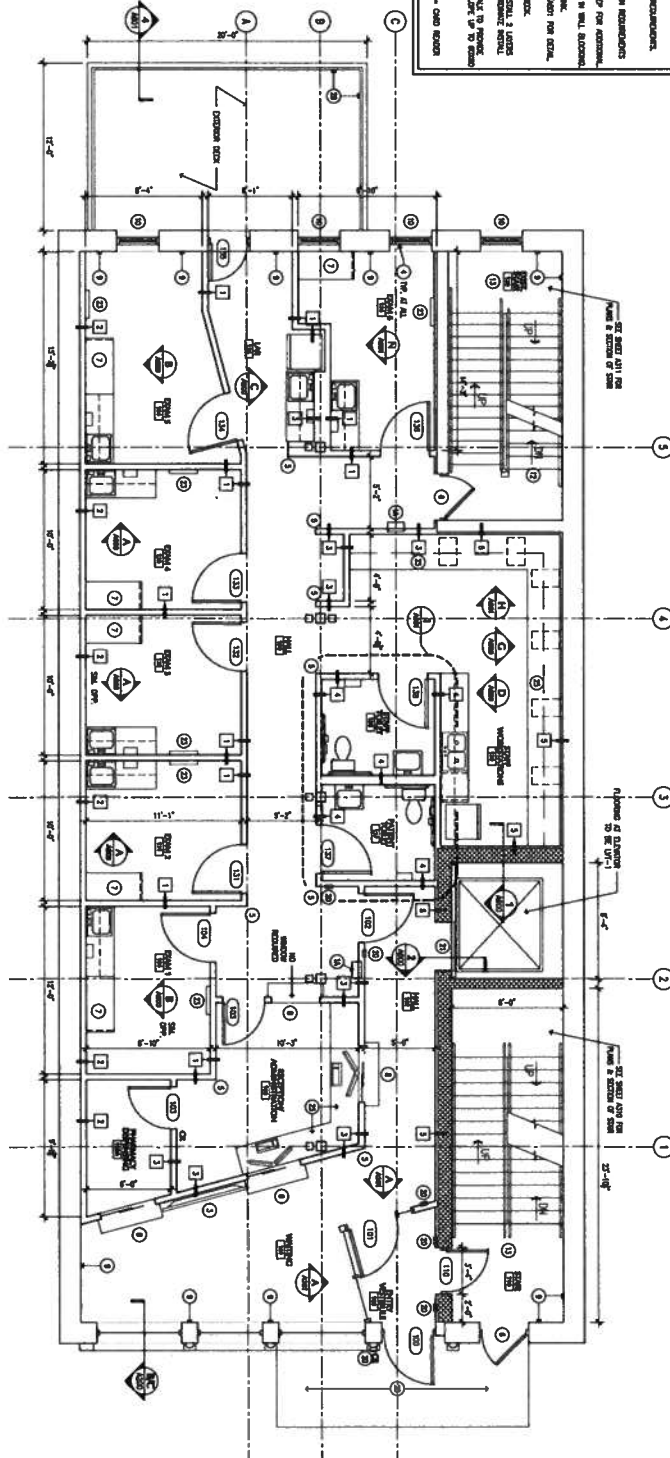
Signature of Property Owner

1/13/23
Date

Signature of Authorized Agent

1/13/23
Date

1. RESEARCH AND ANALYSIS OF THE ISSUE.
2. IDENTIFY THE PROBLEM.
3. CONDUCT A THOROUGH RESEARCH OF THE PROBLEM.
4. ANALYZE THE PROBLEM AND DETERMINE THE CAUSE.
5. DEVELOP A STRATEGY TO RESOLVE THE PROBLEM.
6. IMPLEMENT THE STRATEGY AND MONITOR THE PROGRESS.
7. EVALUATE THE RESULTS AND ADJUST THE STRATEGY AS NECESSARY.
8. CONCLUDE THE PROCESS AND REPORT THE RESULTS.
9. REFLECT ON THE PROCESS AND LEARN FROM THE EXPERIENCE.
10. APPLY THE LESSONS LEARNED TO OTHER SITUATIONS.
11. SHARE THE EXPERIENCE WITH OTHERS.
12. CONTINUE TO LEARN AND GROW AS A PROFESSIONAL.
13. MAINTAIN A POSITIVE ATTITUDE AND ETHICS AT ALL TIMES.
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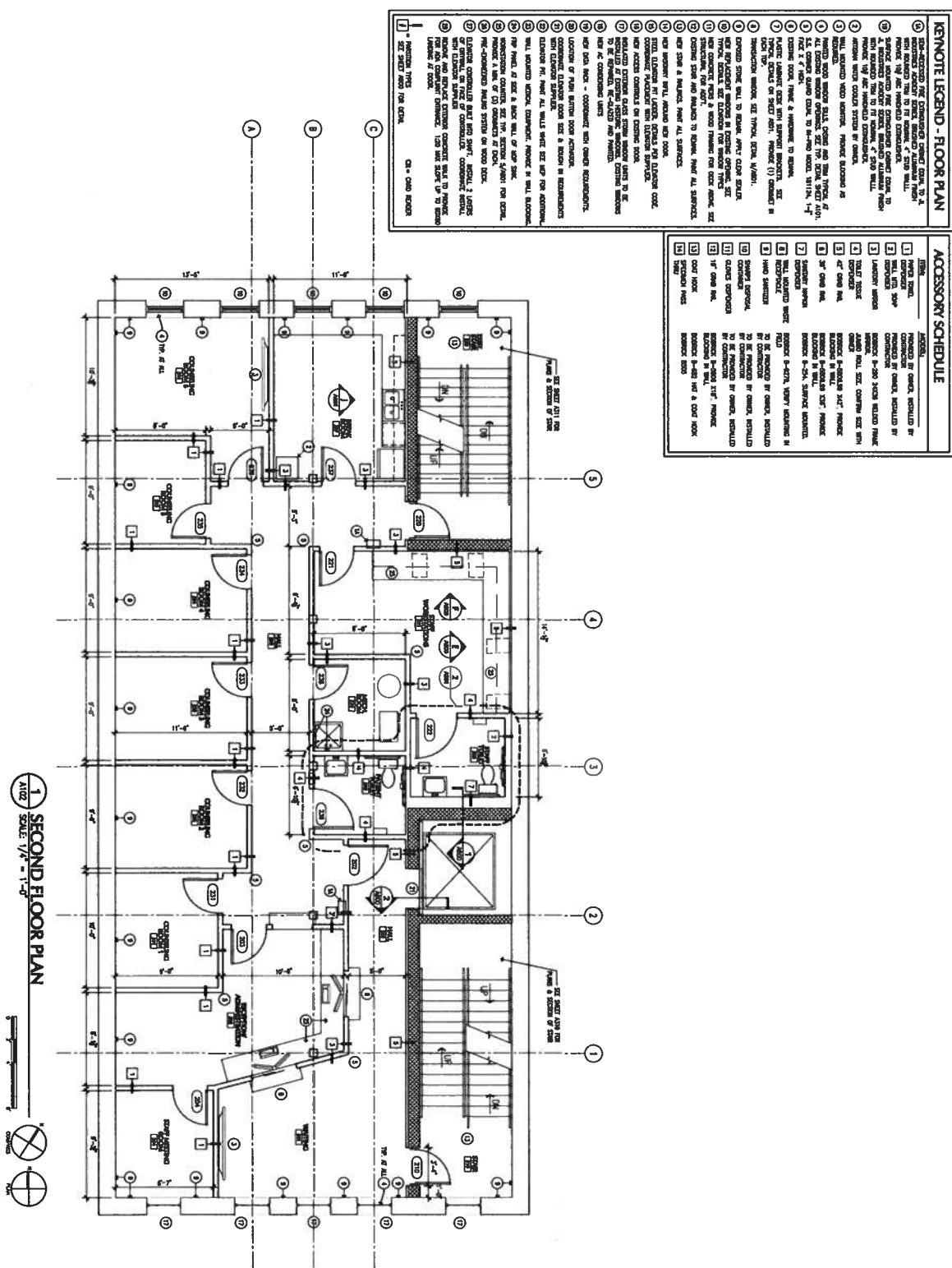
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DETAIL - TYPICAL JAMB
SCALE: 3/16"=1'-0"

D DETAIL - TYPICAL SILL
SCALE: 3/16"=1'-0"
A101

8 DETAIL - TYPICAL HEAD
SCALE: 3"=1'-0"

A
A101
INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



KEYNOTE LEGEND - FLOOR PLAN

1. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.
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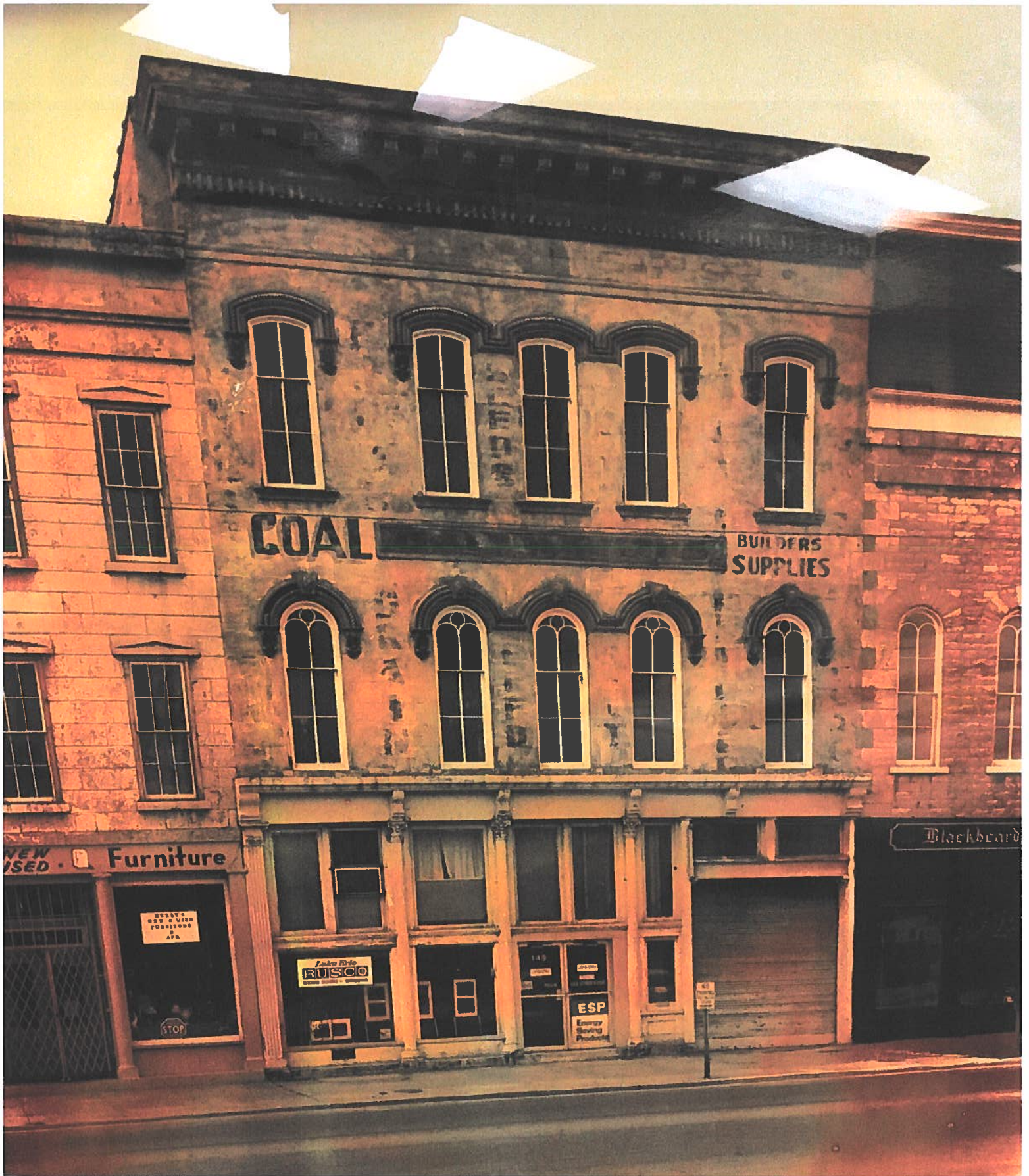
ACCESSORY SCHEDULE

1. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.
2. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.
3. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.
4. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.
5. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.
6. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.
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12. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.
13. SEE DETAIL FOR CONCRETE CONCRETE WALL, TO A MINIMUM OF 12" THICK, 4" MIN. WALL. PROVIDE 1/2" AIR SPACE BETWEEN CONCRETE WALLS.

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Description of work to be done:

Color Change of south side of building facing water street. (See attached file named "149 E Water Street South Wall Color Change")

At the Water Street level, the existing aluminum storefront (non-historic element) is being replaced with new aluminum storefront in a dark bronze finish. This includes new entry doors. The existing entry door will serve as an emergency exit from the expanded egress stair. Windows along the water street elevation are historic and will be restored and painted.

Windows on the Shoreline Drive elevation are non-historic and will be replaced with new units. The muntin pattern is to be as shown on the elevations.

Replacement of all north facing windows

Addition of Rooftop deck and vestibule

The new stairwell and elevator are being extended to the rooftop. The new vestibule and rooftop structures are clad in painted fiber cement siding, color to match the balance of the building. Railing and deck structures at the rooftop are set back from the perimeter edges and are not visible from the ground plane.

Complete interior renovation of building from ground up. Medical offices.

Addition of Outdoor deck on north facing side of building (pressure treated lumber)

1. Supporting documentation:

Additions/Alterations

a. scaled drawings

See attached files named, "FHS exterior Elevations" and, "FHS floor plans"

b. photographs

See attached files named "149 E water Street South wall Exterior Current"

"149 E Water Street South Wall Historical"

"149 E Water Street South Wall Color Change"

c. material list

North facing deck will be constructed of pressure treated lumber

Roof top deck to be finished with outdoor composite decking board, vestibule to be sided with fiber cement siding in a shade that blends in with the sky

South side Color change with Commercial grade exterior paint, first floor south side vestibule

2. Signage

a. scaled drawings

See attached files named, "FHS exterior Elevations"

b. Location of sign

Centered on the south side of build between second and third floor, this is the existing location.

c. Photographs

See attached files named "149 E water Street South wall Exterior Current"

"149 E Water Street South Wall Historical"

"149 E Water Street South Wall Color Change"

d. width of building

40 ft

e. Lot frontage

40ft

3. Demolition

- 1. A report as to the structural soundness of the building prepared by professionals experienced in preservation and rehabilitation:**

The building structure is being significantly re-designed and re-constructed to accommodate the additional floor and rooftop loads. The current building structure was not fully designed or constructed to accommodate the build out of the interior levels or the rooftop construction. Exterior facades have been evaluated and they are in good condition.

- 2. Estimates of the costs and income for rehabilitation of the building**

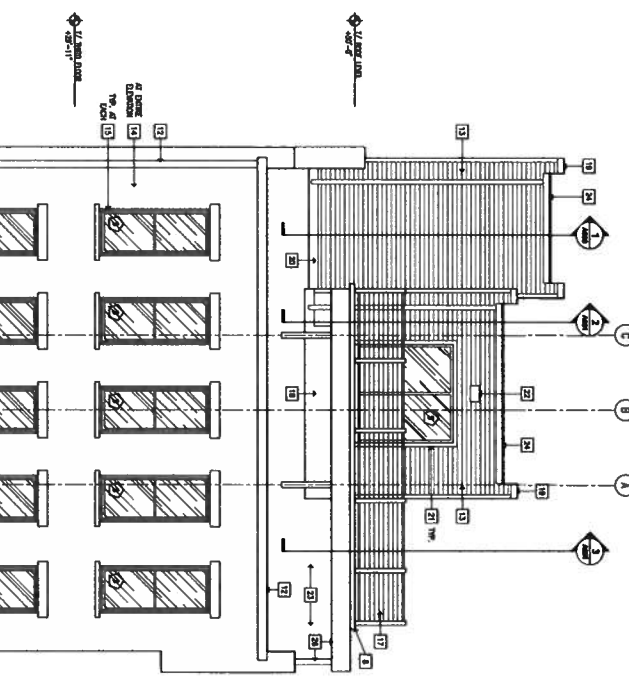
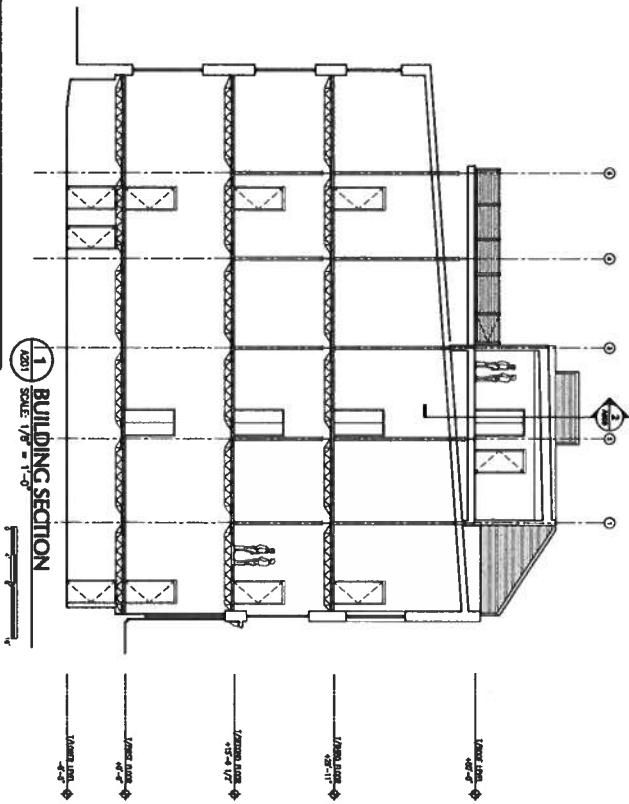
Cost 3.5-4 Million

- 3. Valuation of the property**

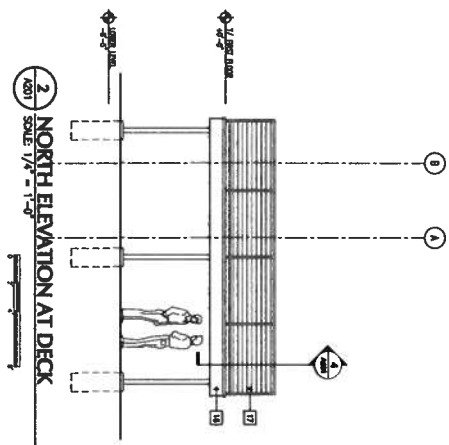
Current Valuation 500,000

- 4. Preliminary development plans.**

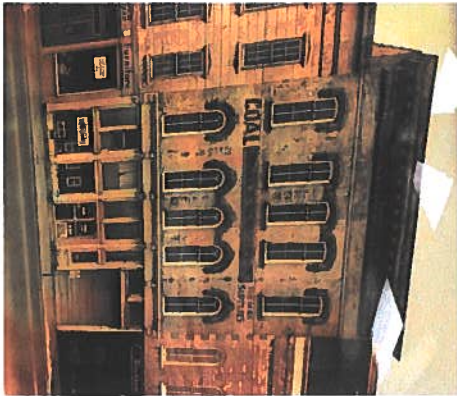
Final development plans/prints have been submitted to building department and landmark commission.



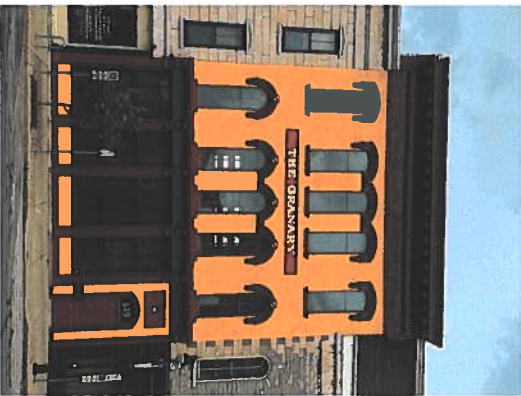
- KEYNOTE LEGEND - ELEVATIONS**
- 1 1/2\"/>



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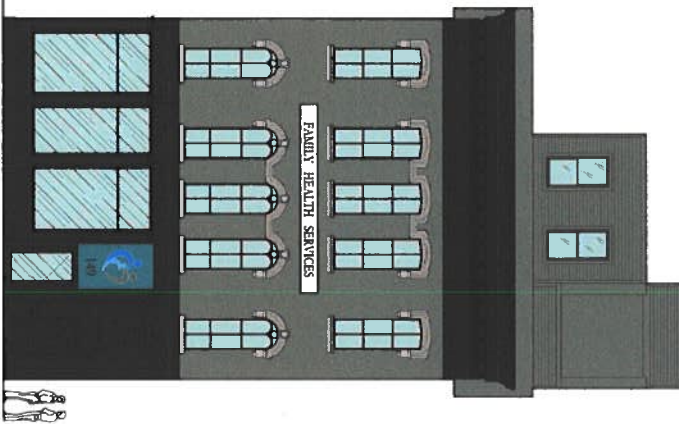
4 SOUTH ELEVATION PRE-1983
A210 NO SCALE



3 SOUTH ELEVATION EXISTING
A210 NO SCALE



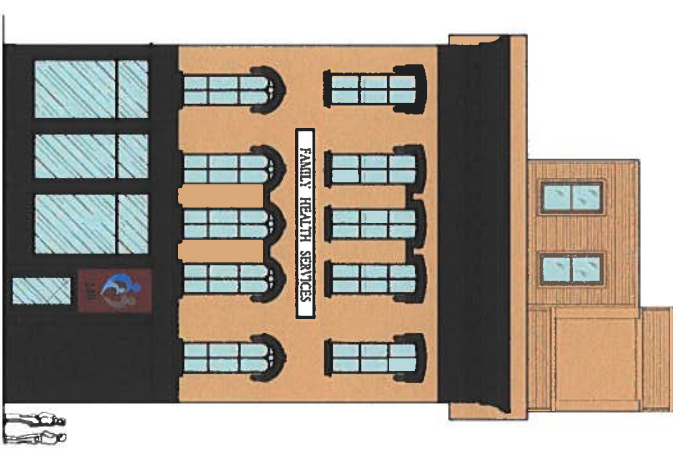
COLOR SCHEME - OPTION A



2 SOUTH ELEVATION COLOR OPTION B
A210 NO SCALE



COLOR SCHEME - OPTION A



1 SOUTH ELEVATION COLOR OPTION A
A210 NO SCALE

DATE: 11/11/11
DRAWN: J. H. H. H.
CHECKED: J. H. H. H.
APPROVED: J. H. H. H.
SCALE: 1/8" = 1'-0"

FAMILY HEALTH SERVICES
INTERIOR BUILD OUT OF THE GRANARY
149 E. WATER ST., SANDUSKY, OH 44870

PAYTO Architects
400 BRADLEY BUILDING 1230 WEST SIXTH STREET CLEVELAND, OHIO 44113
PHONE: (216) 241-4800
WWW.PAYTOARCHITECTS.COM

PROPOSED EXTERIOR
IMPROVEMENTS &
EXISTING IMAGES

A210
DATE: 11/11/11
DRAWN: J. H. H. H.
CHECKED: J. H. H. H.
APPROVED: J. H. H. H.

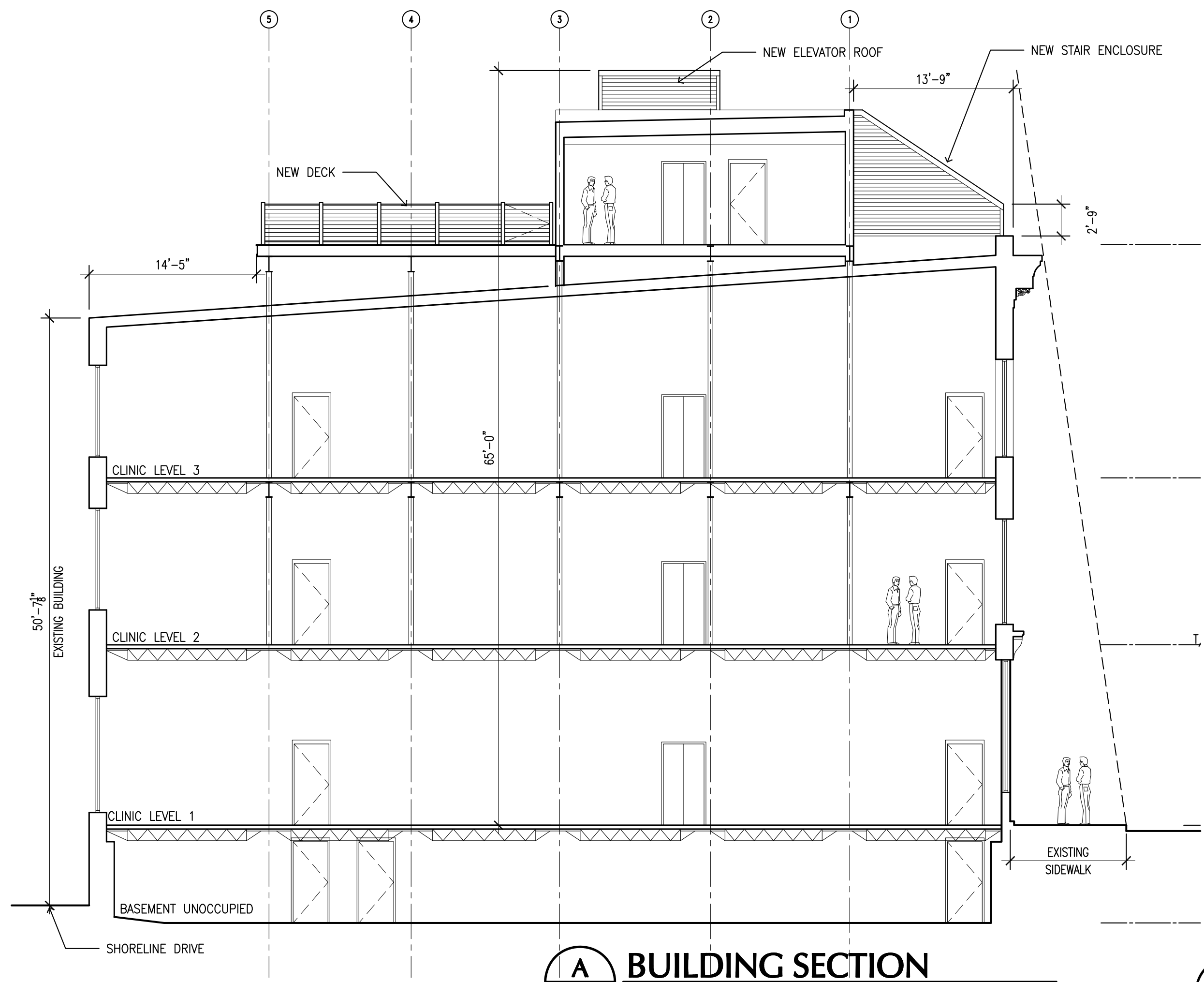
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149

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A BUILDING SECTION
A210
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION PRE-1983
A210
NO SCALE

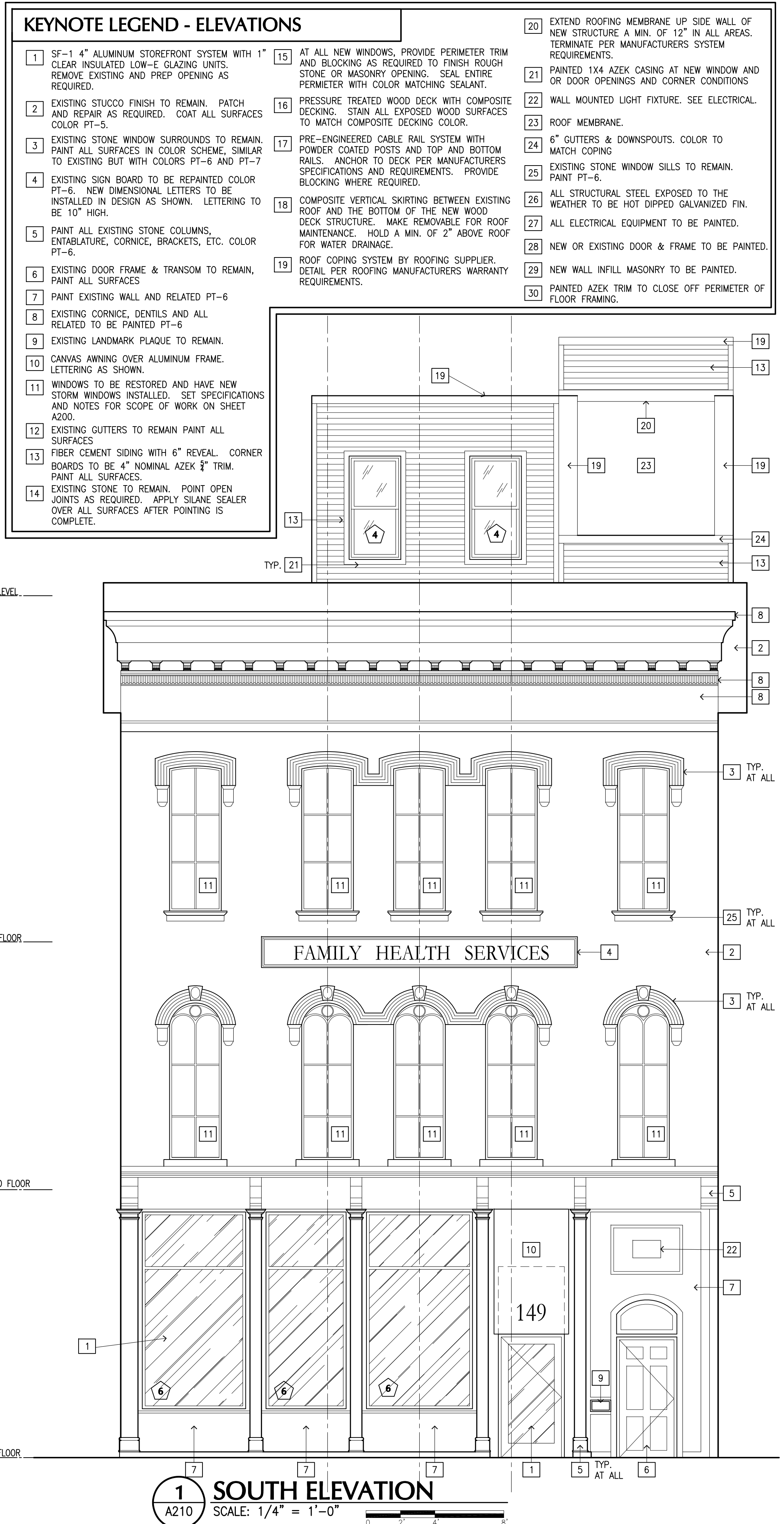


COLOR SCHEME

2 SOUTH ELEVATION RENDERED VIEW
A210
NO SCALE



3 SOUTH ELEVATION EXISTING
A210
NO SCALE



1 SOUTH ELEVATION
A210
SCALE: 1/4" = 1'-0"

