



Planning Commission

240 Columbus Ave

Sandusky, Ohio 44870

419.627.5973

www.cityofsandusky.com

Agenda

December 21st, 2020

4:30 pm

Meeting via Microsoft Teams & Live Streamed on

www.Youtube.com/CityofSanduskyOH

-
1. Meeting called to order – Roll Call
 2. Approval of minutes from November 16th, 2020 meeting

Adjudication Hearing

3. THE CITY OF SANDUSKY HAS SUBMITTED AN APPLICATION FOR AN AMENDMENT TO THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG 1ST AND 2ND STREET: 57-00057.000, 57-00923.000, 57-00924.000, 57-00925.000, 57-00926.000, 57-01977.000, 57-02060.000, 57-02304.000, 57-02507.000, 57-02667.000, 57-02925.000, 57-03247.000, 57-03690.000, 57-03694.000, 57-03695.000, 57-03842.000, 57-03843.000, 57-03844.000, 57-03845.000, 57-03847.000, 57-03848.000, 57-03849.000, 57-03850.000, 57-03859.000, 57-03861.000, 57-03863.000, 57-03961.000, 57-03962.000, 57-04022.000, 57-04024.000, 57-05755.000, 57-05756.000, 57-60034.000.
4. BOB WALDOCK, ON BEHALF OF WALDOCK PROPERTIES II, HAS SUBMITTED AN APPLICATION FOR AN AMENDMENT TO THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG FIRST STREET: 57-00925.000, 57-00926.000, 57-00923.000, 57-04024.000, 57-04022.000, 57-0924.000, 57-03694.000, 57-03695.000 (LOT NUMBERS 408, 409, 410, 411, 412, 413, 414, 415).
5. D. JEFFERY RENGEL, ON BEHALF OF RLR PROPERTIES, LTD., HAS SUBMITTED AN APPLICATION FOR AN AMENDMENT OT THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG SECOND STREET: 57-03859.000, 57-03861.000, 57-03863.000, 57-03864.000, 57-03865.000, 57-03866.000, 57-03867.000, 57-03868.000, 57-03869.000, 57-03853.000, 57-03854.000, 57-03855.000 (LOTS 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382) AND THE FOLLOWING PARCELS LOCATED ALONG THIRD STREET: 57-03875.000, 57-03876.000 (LOTS 461, 462, 463).

New Business

6. GREG SCHMID, ON BEHALF OF THE ERIE COUNTY COMBINED GENERAL HEALTH DISTRICT BOARD OF HEALTH, HAS SUBMITTED A SITE PLAN APPLICATION FOR A NEW BUILDING ADDITION AND ADDITIONAL PARKING AREA AT 420 SUPERIOR STREET.

Old Business

7. Meeting Adjourned

NEXT MEETING: Monday January 27th, 2021 at 4:30pm.

Please notify staff at least 2 days in advance of the meeting if you cannot attend. Thank you.

**Planning Commission
November 16th, 2020
Meeting Minutes**

Meeting called to order:

Chairman McGory called the meeting to order at 4:43pm. The meeting took place virtually. The following members were present: David Miller, Mike Zuilhof, and Jim Jackson. Conor Whelan, Mike Meinzer, and Jade Castile were not present. Greg Voltz represented the Planning Department and Brendan Heil represented the Law Department.

Approval of minutes from the October 28th, 2020 meeting:

Mr. Miller made a motion to approve the minutes as submitted and Mr. Jackson seconded the motion. All voting members present were in favor of the motion.

New Business:

1. 2101 Perkins Avenue:

Mr. McGory stated that the first application on the agenda is for an amendment to the zoning map for parcel 58-68009.000 (2101 Perkins Avenue). This rezoning from "PF"/Public Facilities to "LM"/Limited Manufacturing is requested to allow the applicant to utilize the site for a limited manufacturing use. The application was submitted by Rosalyn Ahner, on behalf of RL Ahner Properties, LLC. Mr. Voltz stated that since this is an adjudication hearing, he will ask the Law Director to swear in those wishing to speak on behalf of this application. Mr. Heil then did so. Mr. Voltz stated that he believes the proposal is in line with the City's Bicentennial Vision Comprehensive Plan as a rezoning could offer potential for a growing small business. He then explained that staff recommends approval of the application and that approval would grant a favorable recommendation to City Commission. Mr. Voltz also stated that notices were sent out to surrounding property owners and he did not receive any feedback. Mr. Miller asked if the applicant is the current owner of the property. Mr. Voltz replied no, but that they have permission through a purchase agreement to submit the application. Mr. Miller stated that he will then need to recuse himself from this application. Mr. Zuilhof made a motion to approve the application and Mr. Jackson seconded. All voting members were in favor of the motion except for Mr. Miller who had recused himself. The application was approved.

2. Parcels 60-00286.000 and 60-00285.000 located off Venice Road:

Mr. McGory stated that the second application on the agenda is a site plan application for a drive and storage area at parcels 60-00286.000 and 60-00285.000 located off Venice Road. The application was submitted by Mark Spear, on behalf of NCO Properties, LLC. Mr. Voltz stated that the applicant is proposing to utilize this site long term in a manner that it is currently being used for temporarily. It was set up as the staging area for the current project along Venice Road, which includes new underground infrastructure as well as a portion of the Sandusky Bay Pathway. With this project the applicant is looking to utilize the temporary stone drive and lay down area long term which would require Planning Commission to waive the paving requirements for drives and parking areas. Planning Staff recommends approval of the proposed site plan with the following conditions: 1. If tracking of stone or mud occurs onto the street, the applicant must pave or concrete a portion of the drive so that it no longer occurs, 2. Obtain all applicable permits and approvals through the Building Department, Engineering Department, and/or any other agency, 3. If lighting is installed, it must be reviewed at the staff level and if beyond two lighting fixtures are proposed it will require Planning Commission approval. Mr. Jackson stated that they are dumping thousands of gallons of water every day on Venice Road, so tracking of stone or mud onto the street is currently already occurring. Mr. Spear stated that the amount of water that is being dumped onto the road is for dust control due to all of the truck traffic that the Venice Road project is creating. He stated that there will not be this amount of truck traffic once this project is completed. Mr. McGory moved to approve the application subject to staff conditions and Mr. Zuilhof seconded the motion. With three members for the motion and one member against, the motion passed.

3. 1801 George Street:

Mr. McGory stated that next on the agenda is a site plan application for an additional building at 1801 George Street, submitted by Chris Andrews. Mr. Voltz stated that the property is zoned "GM" General Manufacturing and the existing use will be maintained and expanded. He said that Planning Staff recommends approval with the following conditions: 1. The applicant will need to address comments and concerns of the Engineering Department and the Erie Soil and Water Conservation District before any building permits will be issued, 2. The applicant must provide a lighting cut sheet of the lights that are to be installed and they must be dark sky friendly and only shine to the ground. This is to be approved by Planning Staff, 3. Parcels are combined or altered so that the building does not sit on two separate parcels. Mr. McGory made a motion to approve the application subject to staff conditions and Mr. Miller seconded the motion.

Old Business:

- 1. Bob Waldock, on behalf of Waldock Properties II, has submitted an application for an amendment to the zoning map for the following parcels located along First Street: 57-00925.000, 57-00926.000, 57-00923.000, 57-04024.000, 57-04022.000, 57-0924.000, 57-03694.000, 57-03695.000 (lot numbers 408, 409, 410, 411, 412, 413, 414, 415).**
- 2. D. Jeffery Rengel, on behalf of RLR Properties, LTD., has submitted an application for an amendment to the zoning map for the following parcels located along Second Street: 57-03859.000, 57-03861.000, 57-03863.000, 57-03864.000, 57-03865.000, 57-03866.000, 57-03867.000, 57-03868.000, 57-03869.000, 57-03853.000, 57-03854.000, 57-03855.000 (lots 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382) and the following parcels located along Third Street: 57-03875.000, 57-03876.000 (lot numbers 461, 462, 463).**

Mr. Voltz asked if the Planning Commission could remove these two applications from the table in order to resume discussion at next month's meeting. Mr. Zuilhof moved to remove both applications from the table and resume discussion at next month's meeting and Mr. Miller seconded the motion. All voting members were in favor.

Next Meeting:

December 21st, 2020

Meeting Adjourned:

Mr. Miller moved to adjourn and the meeting and Mr. Jackson seconded. All voting members were in favor and the meeting ended at 5:55pm.

Approved:

Kristen Barone, Clerk

Pete McGory, Chairman

PLANNING COMMISSION REPORT

APPLICATION FOR AN AMENDMENT TO
THE ZONING MAP FOR THE FOLLOWING
PARCELS LOCATED ALONG 1ST AND 2ND

STREET: 57-00057.000, 57-00923.000, 57-
00924.000, 57-00925.000, 57-00926.000, 57-
01977.000, 57-02060.000, 57-02304.000, 57-
02507.000, 57-02667.000, 57-02925.000, 57-
03247.000, 57-03690.000, 57-03694.000, 57-
03695.000, 57-03842.000, 57-03843.000, 57-
03844.000, 57-03845.000, 57-03847.000, 57-
03848.000, 57-03849.000, 57-03850.000, 57-
03859.000, 57-03861.000, 57-03863.000, 57-
03961.000, 57-03962.000, 57-04022.000, 57-
04024.000, 57-05755.000, 57-05756.000, 57-
60034.000.

Reference Number: PRZ20-0004

Date of Report: December 16, 2020

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

The City of Sandusky is requesting the rezoning of property from R1-40 -Single-Family Residential to CR Commercial Recreation. The following information is relevant to this application:

Applicant: City of Sandusky
420 Superior Street
Sandusky, Ohio 44870

Site Location: LOTS 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 431, 432, 433, 434, 435, 436, 437, 438, 439, 584, 585, 586, 596, 597, 599, 600, 601, 602, 603, 604 on First Street and Second Street.

Current Zoning: “R1-40” Single-Family Residential

Surrounding Zoning: North- “R1-40” Single-Family Residential District and “CR” Commercial Recreation / Use: Residential and storage
East- “R1-40” Single-Family Residential District and “CR” Commercial Recreation / Use: Cedar Point Dormitories
South- “R1-40” Single-Family Residential District /Use: Vacant and Residential
West- “R1-40” Single-Family Residential District / Use: Residential

Existing Use: Residential and Vacant Land

Proposed Zoning: “CR” Commercial Recreation

Applicable Plans & Regulations: City of Sandusky Bicentennial Comprehensive Plan
City of Sandusky Planning and Zoning Code Chapters:
1129 Residential Districts
1137 Commercial Districts

The subject properties are currently located within an R1-40 Single-Family Residential District. The subject property is adjacent to a R1-40 Single Family Residential District on two sides and near other CR Commercial Recreation Districts. The parcels of the subject properties are pointed out:

Subject Parcels Outlined in White (Top) and Blue (Bottom):



Photos of various properties

Looking Northwest on 2nd Street near unimproved Austin Street



First Street near Cedar Point Dorm exit looking West



Looking Southeast at the intersection of First Street and Farwell Street



PLANNING DEPARTMENT COMMENTS

The lots are mostly adjacent to other R1-40 residential districts, and across the street or adjacent to some parcels previously rezoned to Commercial Recreation district, which are being used primarily as private storage or still vacant land.

According to the City's Bicentennial Vision Comprehensive Plan, the vacant land in the eastern neighborhoods along First Street are called to be residential stabilization and infill and mixed-use infill. Since the adoption of that plan, there have been proposed residential projects, as well as proposed investments in infrastructure such as the Sandusky Bay Pathway. The city has also implemented a residential tax abatement program. The plan described this area as a great opportunity for residential development within close proximity of recreation areas.

The Bicentennial Comprehensive Plan outlines a number of priorities for the eastern neighborhoods. Some of the priorities related to this site are:

- 1) Creation of the Sandusky Bay Pathway multi-purpose trail along First Street.
- 2) Redevelop vacant land and infill to extend and stabilize single family neighborhoods.
- 3) Target areas around First Street for residential stabilization and infill and mixed-use residential development.

When Staff received the two rezoning applications for this area in July of 2020, we received feedback from residents and owners in the area that had concerns with a potential rezoning. With those comments in mind, and reasons discussed later in this report we wanted to take a holistic look and approach at the entire area. Staff requested the items be tabled at the July 2020 meeting so that we could gain more feedback from the residents in the neighborhood. In October of 2020 Staff walked around the neighborhood and knocked on doors to discuss the potential rezoning with neighbors. Most people along 1st and 2nd Street did not answer the doors but notes were left requesting them to call staff to discuss. Staff did have an opportunity to talk to people along 3rd Street at the time. In these discussions it was evident that these homeowners take deep pride in their house and neighborhood and were not in favor of a rezoning that could impact.

Planning Commission may recall that applications for parcels in this area previously came for a rezoning in 2018-2019. At that time Planning Commission had requested that staff gather additional information regarding the area in the immediate vicinity of the subject parcels. It was determined about 25% of the housing units on First and Second Streets to the east of Farwell are owner-occupied. Staff at that time had concerns about how a change to Commercial Recreation zoning would impact the existing residents in this neighborhood. Commercial Recreation allows for the following uses:

- (1) One- and two-family dwellings, boathouses, motels;
- (2) The following amusement establishments, whether open or enclosed:
 - A. Beaches and swimming pools, with accessory bath houses and locker rooms;
 - B. Manufacturing, rental, repair, and storage of boats, marinas; sale of live bait for fishing;
 - C. Hunting and fishing clubs, shooting ranges;
 - D. Arenas, auditoriums;
 - E. Golf courses, driving ranges;
 - F. Riding academies, stables, race tracks;
 - G. Assembly and meeting halls, bowling alleys, dance halls, skating rinks.
 - H. All retail stores, services and offices as permitted in General Business Districts.
 - I. Transient Occupancy.

As it states under section G, Commercial Recreation zoning districts allow for uses that are permitted in General Business Districts, which thus also allows for uses in Roadside and Local Business districts. This would allow for by-right development of many various uses, some of which could negatively impact the surrounding single-family residences. Even though the land to the north of First Street is zoned as Commercial Recreation, it does not immediately adjoin the subject parcels as it is separated by First Street, and the current use in that part of the Commercial Recreation district is residential boathouses.

Staff has also reexamined the City's Bicentennial Vision Comprehensive Plan as it relates to this area. The plan often mentions the opportunities of the redevelopment of land along the First Street corridor, particularly pointing out its advantages of being in close proximity to Cedar Point. The plan touts this neighborhood as being one of the largest redevelopment opportunities in the city. Mixed-use development is called for on Cedar Point Drive, along with areas slightly to the east on First Street. Beyond that, the plan states the city should "redevelop vacant land and infill to extend and stabilize single family neighborhoods" for the area south of First Street and to "develop waterfront residential on former industrial sites while maintaining and/or creating public access..." for the area on the north side of First Street.

This residential section of the city has had many challenges over the past few decades, and little residential development has taken place in recent years. However, the planned investments of the Sandusky Bay Pathway and other private investments, along with the recent implementation of Sandusky's residential tax abatement program, staff believes that this neighborhood could be well-poised for residential development in the future. This has become even more evident with the Planned Unite Development that is proposed to the Northwest of the proposed rezoning location. The area's proximity to Cedar Point and the waterfront also present it with many opportunities. Staff believes that the land along the First Street Corridor should be developed in line with the goals laid out in the Bicentennial Vision Comprehensive Plan and that development here should not negatively impact the existing residents in the neighborhood.

Chapter 1113 Amendments, of the Zoning Code states that the Zoning Map may be amended periodically in order to keep it abreast of new zoning techniques, as well as when the following general conditions arise:

- (1) Whenever a general hardship prevails throughout a given district;
- (2) Whenever a change occurs in land use, transportation, or other sociological trends, either within or surrounding the community; and
- (3) Whenever extensive developments are proposed that do not comply but would be in the public interest.

Understanding the goals set for this area by the city's Comprehensive Plan and the reasons previously stated in this report staff believes the rezoning could satisfy the above conditions. Staff believes the rezoning of these parcels between 1st Street and 2nd Street could create an opportunity for investment that could attract new infill development further south into the neighborhood. Commercial Recreation also still permits single-family residential and permits transient rental.

However, staff believes there will need to be precautions put in place to limit the type of uses permitted in this area to ensure that future development in this area does continue to be a contribution to the area and not a detriment. Types of development that staff believes would not be ideal would include boat storage buildings, gas stations, and other developments that would prohibit residential infill on the interior of this neighborhood south of 2nd Street.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed zoning amendment and we have not received objects at the time of writing the report.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

CONCLUSION/RECOMMENDATION

In conclusion, staff recommends the approval of the proposed amendment to the Zone Map for the above referenced parcels from “R1-40” Single Family Residential to “CR” Commercial Recreation.

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Parcel Numbers	Legal Descriptions
57-00057.000	435 SECOND ST WOOCKWOOD SUB WH 40'X135' & 5' VAC ALLEY
57-00923.000	410 FIRST WH LOCKWOOD SUBDN 40'X135'
57-00924.000	413 FIRST ST WH 40'X135'
57-00925.000	408 FIRST ST WH LOCKWOOD SUB 40'X135'
57-00926.000	409 FIRST ST WH LOCKWOOD SUB
57-01977.000	599 FIRST STREET WH LOCKWOOD SUB
57-02060.000	585 SECOND ST LOCKWOOD SUB WH
57-02304.000	584 SECOND ST LOCKWOOD SUB WH 40'X135'
57-02507.000	432 SECOND STREET WH LOCKWOOD SUB 40'X135' & VAC ALLEY REAR OF LOT 40X5'
57-02667.000	586 SECOND ST LOCKWOOD SUB WH 40'X135'
57-02925.000	600 601 602 FIRST STREET WH
57-03247.000	596 FIRST STREET WH 40'X135'
57-03690.000	597 FIRST ST LOCKWD SUB 40'X135 598 FIRST ST LOCKWD SUB40'X135'
57-03694.000	414 FIRST ST WH LOCKWOOD SUB
57-03695.000	415 FIRST ST WH LOCKWOOD SUBDN 40'X135'
57-03842.000	416 FIRST ST W 30' OF N 89' PARCEL A
57-03843.000	416 FIRST ST E 10' & W 12' OF 417 OF N 89' PARCEL B
57-03844.000	417 FIRST ST E 28' OF N 89' PARCEL C
57-03845.000	418 FIRST ST N 89' PARCEL D
57-03847.000	419 FIRST ST INCL PTVAC ALLEY EXW4' OF S56.63' PARCEL G
57-03848.000	420 FIRST ST LOCKWD SUB W 40X135'& VAC ALLEY REAR OF L
57-03849.000	421 423 424 FIRST ST WH LOCKWOOD SUB & VAC ALLEY R OF LOT
57-03850.000	422 FIRST ST WH 40'X135' VAC ALLEY R OF LOT
57-03859.000	433 SECOND ST W 40'X 135' VACATED ALLEY & VAC ALLEY REAR
57-03861.000	434 SECOND ST LOCKWOOD SUB WH & VAC ALLEY REAR OF LOT
57-03863.000	436 437 438 439 SECOND ST WH LOCKWD SUB VAC ALLEY R
57-03961.000	603 FIRST ST WH
57-03962.000	604 FIRST ST WH
57-04022.000	412 FIRST ST WH
57-04024.000	411 FIRST ST WH 40'X135'
57-05755.000	416-417 FIRST ST INCL PTVAC ALLEY PCL E
57-05756.000	418-FIRST ST S 46.63 INC PT OF VACALLEY-419FIRST ST ETC PARCEL F
57-60034.000	431 SECOND ST LOCKWOOD SUB

PLANNING COMMISSION REPORT

APPLICATION FOR MAP AMENDMENT OF
THE ZONING MAP FOR THE FOLLOWING
PARCELS LOCATED ALONG FIRST STREET:
57-00925.000, 57-00926.000, 57-00923.000, 57-
04024.000, 57-04022.000, 57-00924.000, 57-
03694.000, 57-03695.000 (LOTS: 408, 409, 410,
411, 412, 413, 414, 415)

Reference Number: PRZ20-0002

Date of Report: July 15, 2020

Updated Report: December 16, 2020

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

Bob Waldock, as an authorized agent of Waldock Properties II Ltd., has applied for a rezoning of property from R1-40/Single-Family Residential to CR/Commercial Recreation. The following information is relevant to this application:

Applicant: Waldock Properties II
PO Box 1489
Sandusky, Ohio 44870-1489

Authorized Agent: Bob Waldock
PO Box 1489
Sandusky, Ohio 44870-1489

Site Location: LOTS 408, 409, 410, 411, 412, 413, 414, 415 located along First Street between Farwell Street and Wildman Street.

Current Zoning: "R1-40" Single-Family Residential

Surrounding Zoning: North- "CR" Commercial Recreation / Use: Vacant but residential developed proposed
East- "CR" Commercial Recreation / Use: Personal Storage
South- "R1-40" Single-Family Residential District / Use: Residential
West- "CS" Commercial Service / Use: Manufacturing

Existing Use: Vacant Lots

Proposed Zoning: "CR" Commercial Recreation

Applicable Plans & Regulations: City of Sandusky Bicentennial Comprehensive Plan
City of Sandusky Planning and Zoning Code Chapters:
1129 Residential Districts
1137 Commercial Districts

SITE DESCRIPTION

The subject properties are currently located within an R1-40 Single-Family Residential District. The subject property is adjacent to a “R1-40” Single Family Residential District to the south “CR” Commercial Recreation District to the north and east and “CS” Commercial Service District to the west. The parcels of the subject properties are pointed out:

Subject Parcels Outlined in Red (Top) and Blue (Bottom):





Photo of site

Looking Southwest from First Street



PLANNING DEPARTMENT COMMENTS

The lots are mostly adjacent to other R1-40 residential districts, adjacent to some parcels previously rezoned to Commercial Recreation district, which is now being developed as private personal storage, and to the south of a proposed residential Planned Unit Development. These parcels are owned by the same applicant of the Planned Unit Development proposed to the north of the site.

According to the City's Bicentennial Vision Comprehensive Plan, the vacant land in the eastern neighborhoods along First Street are called to be residential stabilization and infill and mixed-use infill. Since the adoption of that plan, there have been proposed residential projects, as well as proposed investments in infrastructure such as the Sandusky Bay Pathway. The city has also implemented a residential tax abatement program. The plan described this area as a great opportunity for residential development within close proximity of recreation areas.

The Bicentennial Comprehensive Plan outlines a number of priorities for the eastern neighborhoods. Some of the priorities related to this site are:

- 1) Creation of the Sandusky Bay Pathway multi-purpose trail along First Street.
- 2) Redevelop vacant land and infill to extend and stabilize single family neighborhoods.
- 3) Target areas around First Street for residential stabilization and infill and mixed-use residential development.

An application was previously came to the Planning Commission in 2018-2019 to rezone a few parcels in this general area. At that time the Planning Commission had requested that staff gather additional information regarding the area in the immediate vicinity of the subject parcels. It was determined about 25% of the housing units on First and Second Streets to the east of Farwell are owner-occupied. Staff at that time had concerns about how a change to Commercial Recreation zoning would impact the existing residents in this neighborhood. Commercial Recreation allows for the following uses:

- (1) One- and two-family dwellings, boathouses, motels;
- (2) The following amusement establishments, whether open or enclosed:
 - A. Beaches and swimming pools, with accessory bath houses and locker rooms;
 - B. Manufacturing, rental, repair, and storage of boats, marinas; sale of live bait for fishing;
 - C. Hunting and fishing clubs, shooting ranges;
 - D. Arenas, auditoriums;
 - E. Golf courses, driving ranges;
 - F. Riding academies, stables, race tracks;
 - G. Assembly and meeting halls, bowling alleys, dance halls, skating rinks.
 - H. All retail stores, services and offices as permitted in General Business Districts.
 - I. Transient Occupancy.

As it states under section G, Commercial Recreation zoning districts allow for uses that are permitted in General Business Districts, which thus also allows for uses in Roadside and Local Business districts. This would allow for by-right development of many various uses, some of which could negatively impact the surrounding single-family residences. Even though the land to the north of First Street is zoned as Commercial Recreation, it does not immediately adjoin the subject parcels as

it is separated by First Street, and the current use in that part of the Commercial Recreation district is residential boathouses.

Staff has also reexamined the City's Bicentennial Vision Comprehensive Plan as it relates to this area. The plan often mentions the opportunities of the redevelopment of land along the First Street corridor, particularly pointing out its advantages of being in close proximity to Cedar Point. The plan touts this neighborhood as being one of the largest redevelopment opportunities in the city. Mixed-use development is called for on Cedar Point Drive, along with areas slightly to the east on First Street. Beyond that, the plan states the city should "redevelop vacant land and infill to extend and stabilize single family neighborhoods" for the area south of First Street and to "develop waterfront residential on former industrial sites while maintaining and/or creating public access..." for the area on the north side of First Street.

This residential section of the city has had many challenges over the past few decades, and little residential development has taken place in recent years. However, the planned investments of the Sandusky Bay Pathway and other private investments, along with the recent implementation of Sandusky's residential tax abatement program, staff believes that this neighborhood could be well-poised for residential development in the future. The area's proximity to Cedar Point and the waterfront also present it with many opportunities. Staff believes that the land along the First Street Corridor should be developed in line with the goals laid out in the Bicentennial Vision Comprehensive Plan and that development here should not negatively impact the existing residents in the neighborhood.

Chapter 1113 Amendments, of the Zoning Code states that the Zoning Map may be amended periodically in order to keep it abreast of new zoning techniques, as well as when the following general conditions arise:

- (1) Whenever a general hardship prevails throughout a given district;
- (2) Whenever a change occurs in land use, transportation, or other sociological trends, either within or surrounding the community; and
- (3) Whenever extensive developments are proposed that do not comply but would be in the public interest.

Understanding the goals set for this area by the city's Comprehensive Plan and the reasons previously stated in this report staff believes the rezoning could satisfy the above conditions. However, staff believes there will need to be precautions put in place to limit the type of uses permitted in this area so as to ensure that future development in this area does continue to be a contribution to the area and not a detriment. Types of development that staff believes would not be ideal would include developments such as gas stations, automotive repair shops, drive through fast food, etc...

This application was incorporated into the City of Sandusky's rezoning proposal.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed zoning amendment and we have not received objects at the time of writing the report.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

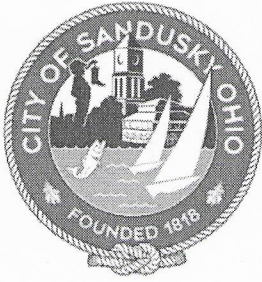
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

CONCLUSION/RECOMMENDATION

Note: The above-mentioned parcels were included in the City of Sandusky's rezoning application.

In conclusion, staff continues recommends the approval of the proposed amendment to the Zone Map for the above referenced parcels from "R1-40" Single Family Residential to "CR" Commercial Recreation.



PLANNING COMMISSION

Application for Zoning Map Amendment

Department of Planning

240 Columbus Ave

Sandusky, Ohio 44870

419.627.5891

www.cityofsandusky.com

APPLICANT/AGENT INFORMATION:

Property Owner Name:

Waldock Properties II

Property Owner Address:

Po Box 1489

Sandusky OH 44871-1489

Property Owner Telephone:

419-626-1979

Email

Authorized Agent Name:

Bob Waldock

Authorized Agent Address:

Po Box 1489

Sandusky OH 44871-1489

Authorized Agent Telephone:

419-626-1979

Email

rl.waldock@a+reality.com

LOCATION AND DESCRIPTION OF PROPERTY:

please see Attached:

Municipal Street Address:

Legal Description of Property (check property deed for description):

Parcel Number:

Zoning District:

Residential-single family

DETAILED SITE INFORMATION:

Land Area of Property: combined 43,401.6 (sq. ft. or acres) (Plots 40x135.63)

Total Building Coverage (of each existing building on property):

Building #1: 0 (in sq. ft.)

Building #2: _____

Building #3: _____

Additional: _____

Total Building Coverage (as % of lot area): 0

Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:

0

Proposed Building Height (for any new construction): 0

Number of Dwelling Units (if applicable): 0

Number of Off-Street Parking Spaces Provided: 0

Parking Area Coverage (including driveways): 0 (in sq. ft.)

Landscaped Area: 43,401.6 (in sq. ft.)

Requested Zoning District Classification: Commercial Recreation

APPLICATION AUTHORIZATION:

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.

Robert L. Waldock
Signature of Owner or Agent

06/25/2020
Date

PERMISSION TO ACT AS AUTHORIZED AGENT:

As owner of Waldock Properties II (municipal street address of property), I hereby authorize Bob Waldock to act on my behalf during the Planning Commission approval process.

Robert L. Waldock, member
Signature of Property Owner

06/25/2020
Date

REQUIRED SUBMITTALS:

15 copies of a site plan/off-street parking plan for property
1 copy of the deed or legal description for property
\$300.00 application fee

STAFF USE ONLY:

Date Application Accepted: _____ Permit Number: _____

Date of Planning Commission Meeting: _____

Planning Commission File Number: _____

Application for Waldock Properties, II

I am asking the Planning Commission to consider changing the zoning on these 8 lots in order to be consistent with the recent change to the 8 lots to the east and in order to spur development on First Street. I do not personally believe these lots should be developed as single-family lots.

I am asking that the zoning be changed from residential single family to commercial recreation.

Legal description:

Situated in the City of Sandusky, County of Erie and State of Ohio: Being Lot Number four hundred eight (408,) Lot Number four hundred nine (409,) Lot Number four hundred ten (410,) Lot Number four hundred eleven (411,) Lot Number four hundred twelve (412,) Lot Number four hundred thirteen (413,) Lot Number four hundred fourteen (414,) and Lot Number four hundred fifteen (415) on First Street in The Sandusky Business Men's Association Lockwood Subdivision, as per plat recorded in Volume 6 of Plats, page 37 and 38.

Lot Number	Parcel Number
Lot 408	57-00925
Lot 409	57-00926
Lot 410	57-00923
Lot 411	57-04024
Lot 412	57-04022
Lot 413	57-00924
Lot 414	57-03694
Lot 415	57-03695

PLANNING COMMISSION REPORT

APPLICATION FOR MAP AMENDMENT OF
THE ZONING MAP FOR THE FOLLOWING
PARCELS LOCATED ALONG SECOND
STREET: 57-03859.000, 57-03861.000, 57-
03863.000, 57-03864.000, 57-03865.000, 57-
03866.000, 57-03867.000, 57-03868.000, 57-
03869.000, 57-03853.000, 57-03854.000, 57-
03855.000 (LOTS 433, 434, 439, 438, 437, 436,
441, 442, 446, 447, 448, 451, 380, 381, 382) AND
THE FOLLOWING PARCELS LOCATED
ALONG THIRD STREET: 57-03875.000, 57-
03876.000 (LOTS 461, 462, 463).

Reference Number: PRZ20-0001

Date of Report: July 15, 2020

Updated Report: December 16, 2020

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

D. Jeffrey Rengel, as an authorized agent of RLR Properties Ltd., has applied for a rezoning of property from R1-40/Single-Family Residential to CR/Commercial Recreation. The following information is relevant to this application:

Applicant: D. Jeffrey Rengel
421 Jackson Street
Sandusky, Ohio 44870

Site Location: LOTS 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382.
461, 462, 463 located along Second Street and Third Street between
undeveloped Austin Street and Farwell Street.

Current Zoning: “R1-40” Single-Family Residential

Surrounding Zoning: North- “R1-40” Single-Family Residential District and “CR” Commercial
Recreation / Use: Residential and storage
East- “R1-40” Single-Family Residential District and “CR” Commercial
Recreation / Use: Residential and Vacant Land
South- “R1-40” Single-Family Residential District /Use: Vacant and
Residential
West- “R1-40” Single-Family Residential District / Use: Residential

Existing Use: Vacant Lots

Proposed Zoning: “CR” Commercial Recreation

Applicable Plans & Regulations: City of Sandusky Bicentennial Comprehensive Plan
City of Sandusky Planning and Zoning Code Chapters:
1129 Residential Districts
1137 Commercial Districts

SITE DESCRIPTION

The subject properties are currently located within an R1-40 Single-Family Residential District. The subject property is adjacent to a R1-40 Single Family Residential District on three sides and near other CR Commercial Recreation District. The parcels of the subject properties are pointed out:

Subject Parcels Outlined in Red (Top) and Blue (Bottom):





Photos of various properties

Looking Northwest on Second Street by Austin Street



Intersection of Wildman Street and Second Street looking East



Looking Northeast at the intersection of Third Street and Wildman Street



PLANNING DEPARTMENT COMMENTS

The lots are mostly adjacent to other R1-40 residential districts, and across the street or adjacent to some parcels previously rezoned to Commercial Recreation district, which are being used primarily as private storage or still vacant land.

According to the City's Bicentennial Vision Comprehensive Plan, the vacant land in the eastern neighborhoods along First Street are called to be residential stabilization and infill and mixed-use infill. Since the adoption of that plan, there have been proposed residential projects, as well as proposed investments in infrastructure such as the Sandusky Bay Pathway. The city has also

implemented a residential tax abatement program. The plan described this area as a great opportunity for residential development within close proximity of recreation areas.

The Bicentennial Comprehensive Plan outlines a number of priorities for the eastern neighborhoods. Some of the priorities related to this site are:

- 1) Creation of the Sandusky Bay Pathway multi-purpose trail along First Street.
- 2) Redevelop vacant land and infill to extend and stabilize single family neighborhoods.
- 3) Target areas around First Street for residential stabilization and infill and mixed-use residential development.

When this applicant previous came to rezone a few parcels in this general area in 2018-2019 the Planning Commission had requested that staff gather additional information regarding the area in the immediate vicinity of the subject parcels. It was determined about 25% of the housing units on First and Second Streets to the east of Farwell are owner-occupied. Staff at that time had concerns about how a change to Commercial Recreation zoning would impact the existing residents in this neighborhood. Commercial Recreation allows for the following uses:

- (1) One- and two-family dwellings, boathouses, motels;
- (2) The following amusement establishments, whether open or enclosed:
 - A. Beaches and swimming pools, with accessory bath houses and locker rooms;
 - B. Manufacturing, rental, repair, and storage of boats, marinas; sale of live bait for fishing;
 - C. Hunting and fishing clubs, shooting ranges;
 - D. Arenas, auditoriums;
 - E. Golf courses, driving ranges;
 - F. Riding academies, stables, race tracks;
 - G. Assembly and meeting halls, bowling alleys, dance halls, skating rinks.
 - H. All retail stores, services and offices as permitted in General Business Districts.
 - I. Transient Occupancy.

As it states under section G, Commercial Recreation zoning districts allow for uses that are permitted in General Business Districts, which thus also allows for uses in Roadside and Local Business districts. This would allow for by-right development of many various uses, some of which could negatively impact the surrounding single-family residences. Even though the land to the north of First Street is zoned as Commercial Recreation, it does not immediately adjoin the subject parcels as it is separated by First Street, and the current use in that part of the Commercial Recreation district is residential boathouses.

Staff has also reexamined the City's Bicentennial Vision Comprehensive Plan as it relates to this area. The plan often mentions the opportunities of the redevelopment of land along the First Street corridor, particularly pointing out its advantages of being in close proximity to Cedar Point. The plan touts this neighborhood as being one of the largest redevelopment opportunities in the city. Mixed-use development is called for on Cedar Point Drive, along with areas slightly to the east on First Street. Beyond that, the plan states the city should "redevelop vacant land and infill to extend and stabilize single family neighborhoods" for the area south of First Street and to "develop waterfront residential on former industrial sites while maintaining and/or creating public access..." for the area on the north side of First Street.

This residential section of the city has had many challenges over the past few decades, and little residential development has taken place in recent years. However, the planned investments of the

Sandusky Bay Pathway and other private investments, along with the recent implementation of Sandusky's residential tax abatement program, staff believes that this neighborhood could be well-poised for residential development in the future. The area's proximity to Cedar Point and the waterfront also present it with many opportunities. Staff believes that the land along the First Street Corridor should be developed in line with the goals laid out in the Bicentennial Vision Comprehensive Plan and that development here should not negatively impact the existing residents in the neighborhood.

Chapter 1113 Amendments, of the Zoning Code states that the Zoning Map may be amended periodically in order to keep it abreast of new zoning techniques, as well as when the following general conditions arise:

- (1) Whenever a general hardship prevails throughout a given district;
- (2) Whenever a change occurs in land use, transportation, or other sociological trends, either within or surrounding the community; and
- (3) Whenever extensive developments are proposed that do not comply but would be in the public interest.

Understanding the goals set for this area by the city's Comprehensive Plan and the reasons previously stated in this report staff believes the rezoning could satisfy the above conditions. However, staff believes there will need to be precautions put in place to limit the type of uses permitted in this area so as to ensure that future development in this area does continue to be a contribution to the area and not a detriment. Types of development that staff believes would not be ideal would include developments such as gas stations, automotive repair shops, drive through fast food, etc...

After the outreach and further research, Staff believes that while the application could satisfy the above conditions for a rezoning it would not be in the best interest of the neighborhood. By encroaching commercial uses inside a primarily residential neighborhood, it could inhibit further single-family residential infill.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed zoning amendment and we have not received objects at the time of writing the report.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

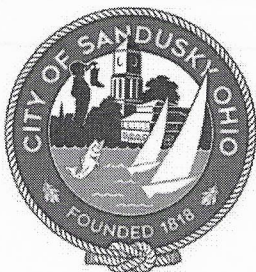
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

CONCLUSION/RECOMMENDATION

~~In conclusion, staff continues recommends the approval of the proposed amendment to the Zone Map for the above referenced parcels from “R1-40” Single Family Residential to “CR” Commercial Recreation.~~

In conclusion, staff does not recommend the approval of the proposed amendments to the Zone Map for the above reference parcels from “R1-40” Single-Family Residential to “CR” Commercial Recreation



PLANNING COMMISSION

Application for Zoning Map Amendment

Department of Planning

240 Columbus Ave

Sandusky, Ohio 44870

419.627.5891

www.cityofsandusky.com

APPLICANT/AGENT INFORMATION:

Property Owner Name: RLR Properties, Ltd.

Property Owner Address: 421 Jackson Street, Sandusky, OH 44870

Property Owner Telephone: 419-627-0400 (w) 419-239-4360 (cell)

Email: jrengel@rengellaw.com

Authorized Agent Name: D. Jeffery Rengel, Attorney at Law

Authorized Agent Address: (same as above)

Authorized Agent Telephone: (same as above)

Email: (same as above)

LOCATION AND DESCRIPTION OF PROPERTY:

Municipal Street Address: Second Street

Legal Description of Property (check property deed for description):

SEE ATTACHED

Parcel Number: SEE ATTACHED

Zoning District: R-1

DETAILED SITE INFORMATION:

Land Area of Property: standard lot size (sq. ft. or acres)

Total Building Coverage (of each existing building on property):

Building #1: N/A (in sq. ft.)

Building #2: _____

Building #3: _____

Additional: _____

Total Building Coverage (as % of lot area): N/A

Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:

N/A

Proposed Building Height (for any new construction): N/A

Number of Dwelling Units (if applicable): N/A

Number of Off-Street Parking Spaces Provided: N/A

Parking Area Coverage (including driveways): _____ (in sq. ft.)

Landscaped Area: N/A (in sq. ft.)

Requested Zoning District Classification: CR

APPLICATION AUTHORIZATION:

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.


Signature of Owner or Agent

6-1-2020
Date

PERMISSION TO ACT AS AUTHORIZED AGENT:

As owner of _____ (municipal street address of property), I hereby authorize _____ to act on my behalf during the Planning Commission approval process.

Signature of Property Owner

Date

REQUIRED SUBMITTALS:

15 copies of a site plan/off-street parking plan for property
1 copy of the deed or legal description for property
\$300.00 application fee

STAFF USE ONLY:

Date Application Accepted: _____ Permit Number: _____

Date of Planning Commission Meeting: _____

Planning Commission File Number: _____

**2020
PLANNING COMMISSION
MEETING DATES AND FILING DEADLINES**

	FILING DEADLINE	MEETING DATE
JANUARY	12/18	1/22
FEBRUARY	1/22	2/26
MARCH	2/26	3/26
APRIL	3/16	4/22
MAY	4/22	5/27
JUNE	5/27	6/24
JULY	6/24	7/22
AUGUST	7/22	8/26
SEPTEMBER	8/26	9/23
OCTOBER	9/23	10/28
NOVEMBER	10/28	11/25
DECEMBER	11/25	12/21

The Planning Commission will typically meet on the fourth Wednesday of every month. The meetings are held in the City Commission Chamber, 240 Columbus Ave at 4:30 p.m. Meeting times, locations, and dates are subject to change with prior notice. Any changes will be posted to the City website. **Contact Greg Voltz, Planner, at 419-627-5973 or gvoltz@ci.sandusky.oh.us with any questions.**

**Application for Zoning Map Amendment Addendum
of
RLR Properties, Ltd.**

The following are the 18 lot designations to which this Application applies with Permanent Parcel numbers:

<u>Lot#</u>	<u>Permanent Parcel #</u>
433 Second St.	57-03859.000
434 Second St.	57-03861.000
439, 438, 437 & 436 Second St.	57-03863.000
441 Second St.	57-03864.000
442 Second St.	57-03865.000
446 Second St.	57-03866.000
447 Second St.	57-03867.000
448 Second St.	57-03868.000
451 Second St.	57-03869.000
380 Second St.	57-03853.000
381 Second St.	57-03854.000
382 Second St.	57-03855.000
461-462 Third St.	57-03875.000
463 Third St	57-03876.000

The owner seeks re-zoning from R-1 to CR (Commercial Recreational) to comport with nearby CR zoning and because of immediate developer interest in those vacant lots lying east of Wildman Street on the north side of Second Street for boat and RV storage bays with condominiums directly above such storage bays. No interest has been shown by potential purchasers/developers in single lot-single home residential development but, rather, all inquiries have been regarding development requiring multiple contiguous lot acreage.

The owner feels that because this is the only interest that has been shown for these lots (which have been vacant since the founding of the City) that more flexibility in zoning allowances is required. The anticipated use will not result in appreciable increase in traffic or safety issues. Development within a CR zoning classification is in keeping with the area and development trends on the immediate north side of First Street, on the NW corner of Wildman and Second Streets and with recent development in the Third/Fourth Street area by Cedar Fair under CR zoning.



A
Z

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 433 Second Street in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page
37, together with the South 1/2, between the East and
West lines of Lot 433 extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 434 Second Street in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page 37,
together with the South 1/2 between the East and West
lines of Lot 434 extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 436, Second Street, in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page 37,
together with the south 1/2, between the East and West
lines of Lot 436, extended Northerly, of a vacated
alley.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 437, Second Street, in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page 37,
together with the south 1/2, between the East and West
lines of Lot 436, extended Northerly, of a vacated
alley.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 438, Second Street, in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page 37,
together with the south 1/2, between the East and West
lines of Lot 436, extended Northerly, of a vacated
alley.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 439, Second Street, in the

Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37, together with the south 1/2, between the East and West lines of Lot 436, extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 441 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 442 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 446 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 447 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 448 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 451 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 380 Second Street in the Sandusky Business Men's Association Subdivision NO.

1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 381 Second Street in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being Lot 382 Second Street in the Sandusky Business
Men's Association Subdivision Number 1, as recorded
in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 461 Third Street in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 462 Third Street in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie
and State of Ohio:

Being known as Sublot No. 463 Third Street in the
Sandusky Business Men's Association Subdivision No.
1, as recorded in Erie County Plat Volume 6, Page 37.

PLANNING COMMISSION REPORT

APPLICATION FOR SITE PLAN APPROVAL FOR A
BUILDING ADDITION AND ADDITIONAL PARKING
AREA AT 420 SUPERIOR STREET.

Reference Number: PSPOS20-0015

Date of Report: December 16, 2020

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

Greg Schmid, on behalf of the Erie County Combined General Health District Board of Health, has submitted a site plan application for a new building addition and additional parking area at 420 Superior Street. The following information is relevant to this application:

Applicant: Erie County Combined General Health District Board of Health
420 Superior Street
Sandusky, Ohio 44870

Authorized Agent: Greg Schmid
1717 E. Perkins Avenue
Sandusky, Ohio 44870

Site Location: 420 Superior Street

Zoning: Primary affected area: "PF" Public Facilities
Other affected areas: "R2F" – Two-Family Residential

Adjacent Zoning: North: "GM" – General Manufacturing
East: "GM" General Manufacturing
South: "R2F" Two-Family Residential
West: "CR" Commercial Recreation

Existing Uses: Offices and Health Care

Proposed Uses: Offices and Health Care

Additional Parking: 22

Applicable Plans & Regulations:

Sandusky Zoning Code Chapter
Chapter 1149 Site Plan Review & Off-Street Parking
Chapter 1123 Public Facilities District
Chapter 1129 Residential Districts

SITE DESCRIPTION

The subject property is Erie County's Health Department and a vital health care service provider for our City. The site is adjacent to a marina, some residential housing to the south and, and near other parcels zoned "PF" – Public Facilities. The area is primarily zoned "PF" Public Facilities District, which permits the following:

1123.02 USE REGULATIONS.

Buildings and land shall be used, and buildings shall be designed, erected, altered, moved or maintained only for the following:

Schedule of Permitted Buildings and Uses for Public Facilities District

Main Buildings and Uses

- (a) **Governmental: municipal, county, state buildings, and uses for administrative functions.**
- (b) Civic: art galleries, libraries, museums, places for public assembly, memorials, monuments, cemeteries.
- (c) Education: primary and secondary schools, colleges, universities (excluding business-colleges.)
- (d) Religious: churches, parochial schools.
- (e) Welfare: general, mental, or special hospitals, health centers or clinics, nursing or convalescing homes, institutions for children and for the aged.
- (f) Recreational: public parks and play- grounds, public harbors, beaches, pools, and golf courses.
- (g) Transportation: railroad and bus passenger stations, airports.

(1980 Code 151.02)

Accessory Buildings and Uses

- Public parking areas or storage garage.
- Parish houses and residences for custodians or guards.
- Refreshment stands designed and located to attract primarily persons using the public facility.
- Maintenance and heating facilities.
- Bulletin boards as hereinafter regulated.
- Recreational area in connection with schools.
- Airport hangars.

A picture of the property along with a location map are found below.

420 Superior Street





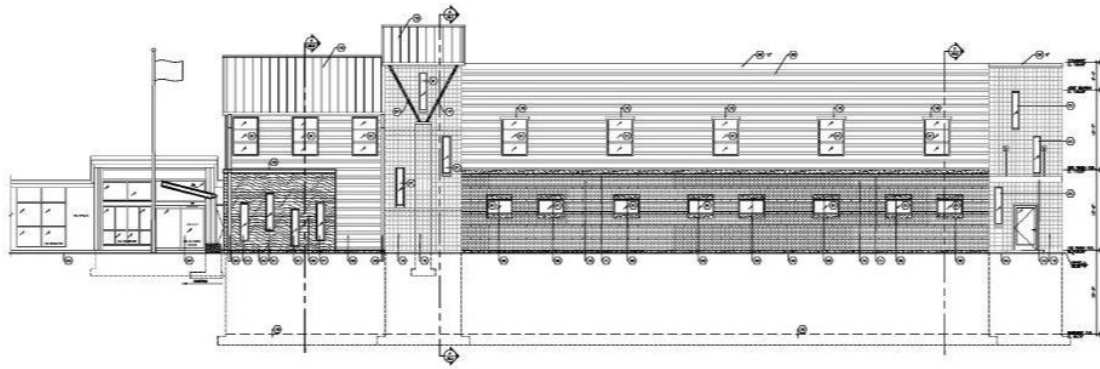
Zone Map – Parcels Indicated



Zone Map Setbacks	Zoning	
	AG - Agriculture	R1-40 - Single Family Residential
PUD - Planned Unit Development	CA - Commercial Amusement	R1-50 - Single Family Residential
	CR - Commercial Recreation	R1-60 - Single Family Residential
Parcels	CS - Commercial Service	R1-75 - Single Family Residential
	DBD - Downtown Business	R2F Two-Family Residential
TRO - Transient Rental Overlay	GB - General Business	RB - Roadside Business
	GM - General MAnufacturing	RMF - Multi-Family Residential
	LB - Local Business	RRB - Residential/Business
	LM - Local Manufacturing	RS - Residential Suburban
	P - Auto Parking	
	PF - Public Facilities	

DIVISION OF PLANNING COMMENTS

The applicant is proposing to add an additional building at 420 Superior Street to be used as a new conference area, medical area, and offices for staff. The applicant is also increasing on site parking for the area up to 119 spaces and 7 handicap spaces.

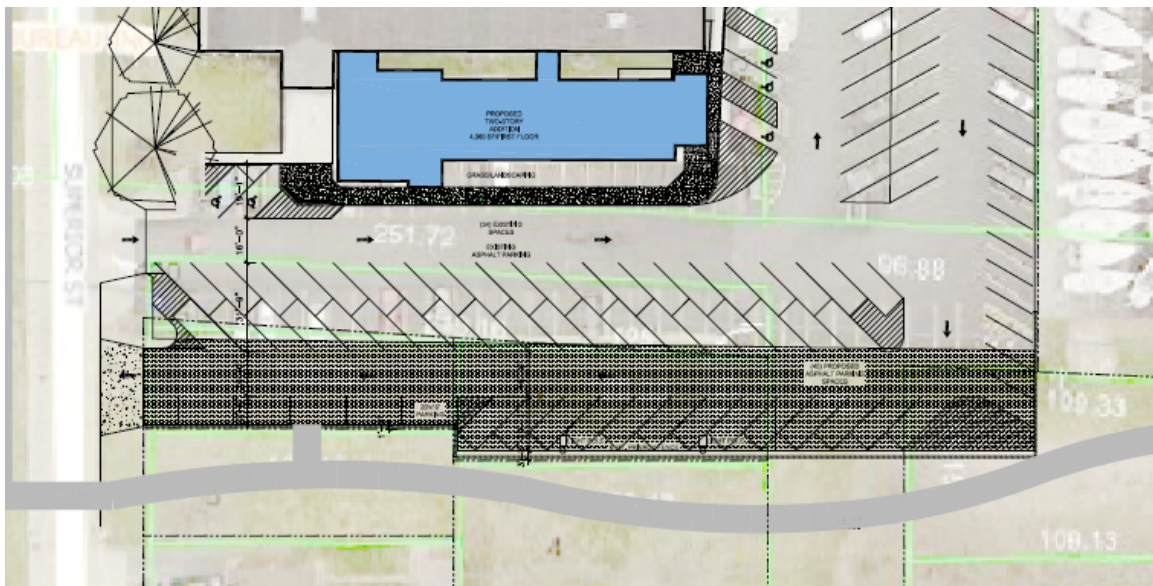


Staff did have general comments about circulation through the site. We ask the applicant to explore switching the entry and exit aisles so that traffic wouldn't have to exit across the north bound travel lane. The applicant said they were comfortable with the site plan circulation as shown. On the supplied drawings the stalls depth are shown as 18' instead of the required 19'. Staff spoke to the applicant and they do intend to install 19' stalls and reduce the aisle widths to make this accommodation to meet code requirements.

The applicant is adding the required two new landscape islands in the new site plan. Right now the site doesn't have any landscaping islands and will offer a location for a couple shade trees.

The applicant is proposing to expand its parking area onto parcels to the south and more city of Right of Way. The right of way improvements are at the risk of the applicant; however, Public Works staff has no issues of this usage at this time. The applicant has submitted an application for a Conditional Use Permit to utilize the properties zoned R2F for a public facilities use for the parking area. This will be heard at the January meeting.

Staff from both Planning and Public Works have been talking to the Health Department for the past year about the Sandusky Bay Pathway, and its potential relation to the Health Department. The applicant did show the pathway on an early version of the site plan shown below, however, this alignment is not completely on Health Department controlled property. The pathway will offer another way for local residents to gain vital medical care without using a vehicle. Multi-modal transportation options ultimately lead to a healthier population. The creation of the Sandusky Bay Pathway and other safe multi-modal infrastructure align well with the Health Departments mission. Staff is hopeful that once construction of the pathway occurs the pedestrian accessibility to the site is increased by adding a pedestrian crossing area. Staff would also like to make note that as of right now there doesn't appear to be bicycle parking on site.



Planning Department Staff does request that the applicant provides a detailed landscaping plan for the islands showing the type of tree to be installed and ensuring that it is of a 2" caliper. There does not appear to be any new exterior lighting.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed site plan and the applicant has provided all requested documentation requested by the City Engineer and they have no further concerns regarding this site plan application.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the application and has no concerns regarding the proposed site plan.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the application and has no objections to the proposed site plan.

FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the application and has no objections or concerns regarding the site plan application.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends approval of the proposed site plan for 420 Superior Street with the following conditions:

1. The applicant provides, for staff approval, a revised landscaping plan that shows types and locations of plantings, as well as types, locations, specifications and examples of specific fencing to be installed, if any is to be installed.

ERIE COUNTY GENERAL HEALTH

TWO STORY ADDITION – 2020
ERIE COUNTY HEALTH DEPARTMENT
420 SUPERIOR ST.
CITY OF SANDUSKY, ERIE COUNTY, OHIO

GENERAL NOTES

All work and materials, unless otherwise noted, shall be in accordance with the current State of Ohio Department of Transportation Construction and Material Specifications including all supplements thereto, and the current Construction and Materials Specifications of the City of Sandusky Engineering Department. Zoning and site plan shall conform to the standards and recommendations of the zoning ordinance of City of Sandusky, latest issuance and revision.

All traffic control devices, signs and markings shall conform to the current Ohio Manual of Uniform Traffic Control Devices and City of Sandusky Engineering Department standards and specifications.

MODIFICATIONS:

Any modifications or changes to the work as shown on the drawings must have prior written approval of the owner and the City of Sandusky Engineer's office, as applicable.

1.0 UTILITIES ADJUSTMENT:

Any and all work required for the adjustment of public and private utilities shall be done at the expense of the Contractor, including City utilities which shall be adjusted by contractor with the project.

1.2 CALCULATION OF QUANTITIES:

Payment for all work under this contract shall be on a lump sum price basis for work shown on the plans and described in the plans and specifications.

1.4 CLEARING AND GRUBBING:

Any clearing and grubbing shall be incidental to excavation and embankment for the project and included in the cost thereof.

1.5 REMOVALS:

Any removals of existing pipe, tile, structures, or pavement shall be included in the various items and included in the cost thereof.

1.6 UNDERGROUND UTILITIES:

The location of the utilities shown on the plans was established from records and from field survey of above ground facilities. Contractor shall investigate and locate all existing utilities within his work area, whether or not said utilities are shown or indicated on this plan, and take all necessary precautions to protect said utilities. Contractor acknowledges and further agrees by contracting for the work shown on these plans to indemnify Owner, and Engineer in his capacity to provide design, surveying and construction layout, against any and all claims arising from damage to existing utilities, above or below ground, caused by himself or his subcontractors.

1.7 UTILITIES NOTIFICATION:

At least two working days prior to commencing construction operations, the Contractor shall notify the Engineer, the registered utility protection service, and the owners of each underground and overhead utility facility shown on the plan or existing on the property.

The owners of underground utility facilities shall, within 48 hours, excluding Saturdays, Sundays and legal holidays, after notice is received, stake, mark, or otherwise designate the location of the underground utility facilities in the construction area in such a manner as to indicate their course together with the approximate depth at which they were installed. The marking or locating shall be coordinated to stay approximately two days ahead of the planned construction.

Agencies and utility companies to be notified include but are not limited to the following:

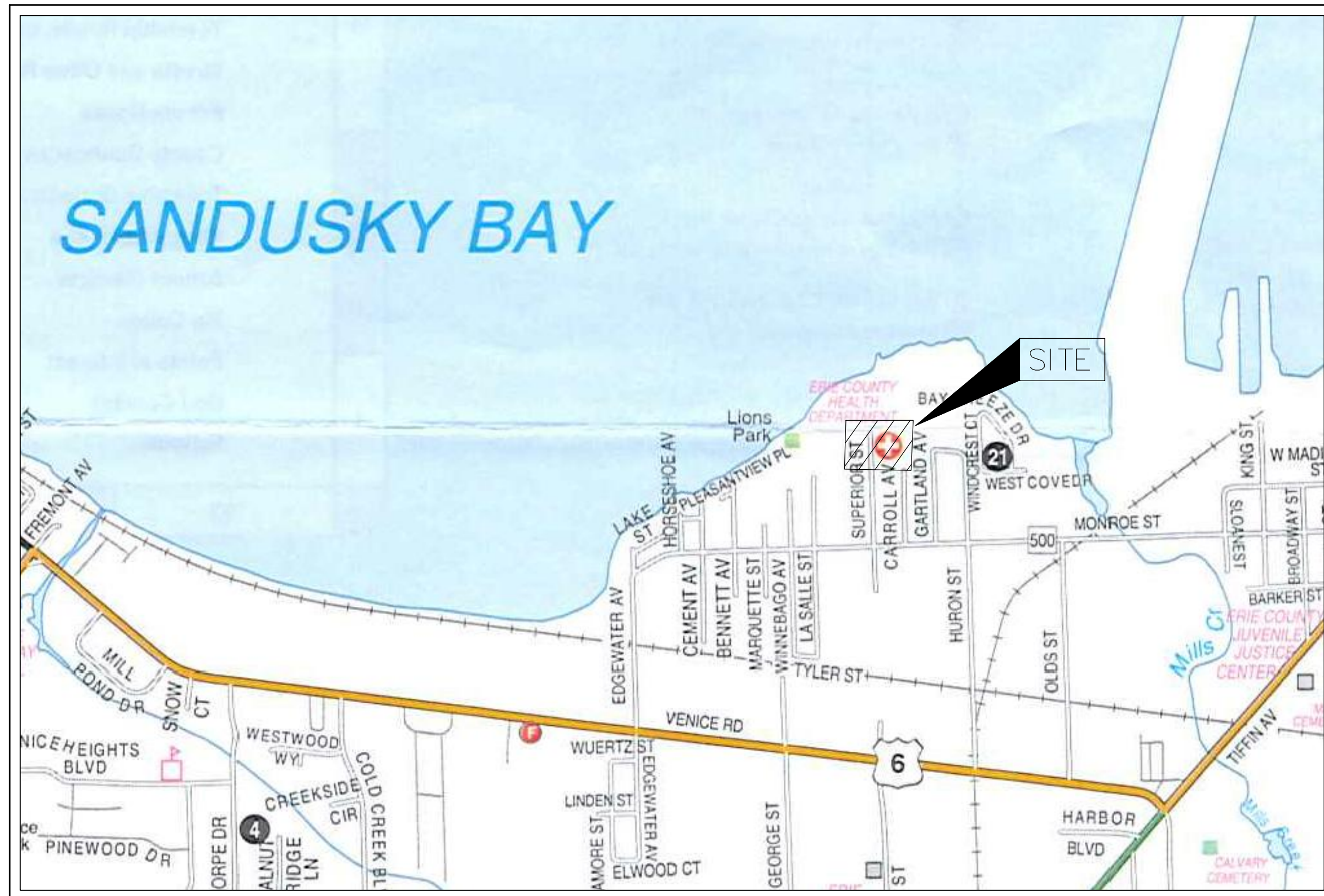
Sanitary Sewer and Water: City of Sandusky Engineering Department
240 Columbus Ave.
Sandusky, Ohio 44870
(419) 627-5829

Telephone: AT&T
Room 207
121 North Huron
Toledo, Ohio 43624
(419) 245-5004

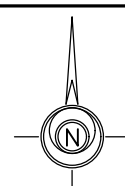
Electric: First Energy (Ohio Edison)
2508 West Perkins Avenue
Sandusky, Ohio 44870
(419) 627-6881

Natural Gas: Columbia Gas of Ohio, Inc.
1800 Broad Avenue
Findlay, Ohio 45840
(419) 427-3230

Cable TV: Buckeye Broadband
774 Crossings Road
Sandusky, Ohio 44870
(419) 627-0800



LOCATION MAP
NOT TO SCALE



UNDERGROUND UTILITIES

CONTACT BOTH SERVICES
CALL TWO WORKING DAYS
BEFORE YOU DIG



CALL
1-800-362-2764
(TOLL FREE)



OHIO UTILITIES PROTECTIVE SERVICE
NON-MEMBERS
MUST BE CALLED DIRECTLY

SHEET INDEX	
SHEET #	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING & UTILITY PLAN
C3.1	GRADING & UTILITY PLAN
C4.0	SWPPP LAYOUT SHEET
C4.1	SWPPP NOTES & DETAILS
C4.2	SWPPP NOTES & DETAILS
C4.3	SWPPP NOTES & DETAILS
C5.0	GENERAL DETAILS
C5.1	GENERAL DETAILS

STANDARD DETAILS ODOT DETAILS

CB-1.1
CB-1.2
MH-1.2

CATCH BASIN No. 2-2
CATCH BASIN No. 2-4
MANHOLE No. 3

ISSUED FOR BIDDING
PLAN SET
DATE: NOVEMBER 6, 2020

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Sandusky, OH 44870
(419) 625-7838
www.hancockengineers.com

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PRELIMINARY
PLAN

DESIGN KMB

DRAWN KMB

CHECKED JRK

REV/SUBMITTAL	DATE								
BID SET	11/06/20								

PROJECT NAME:
TWO STORY ADDITION – 2020
ERIE COUNTY GENERAL HEALTH

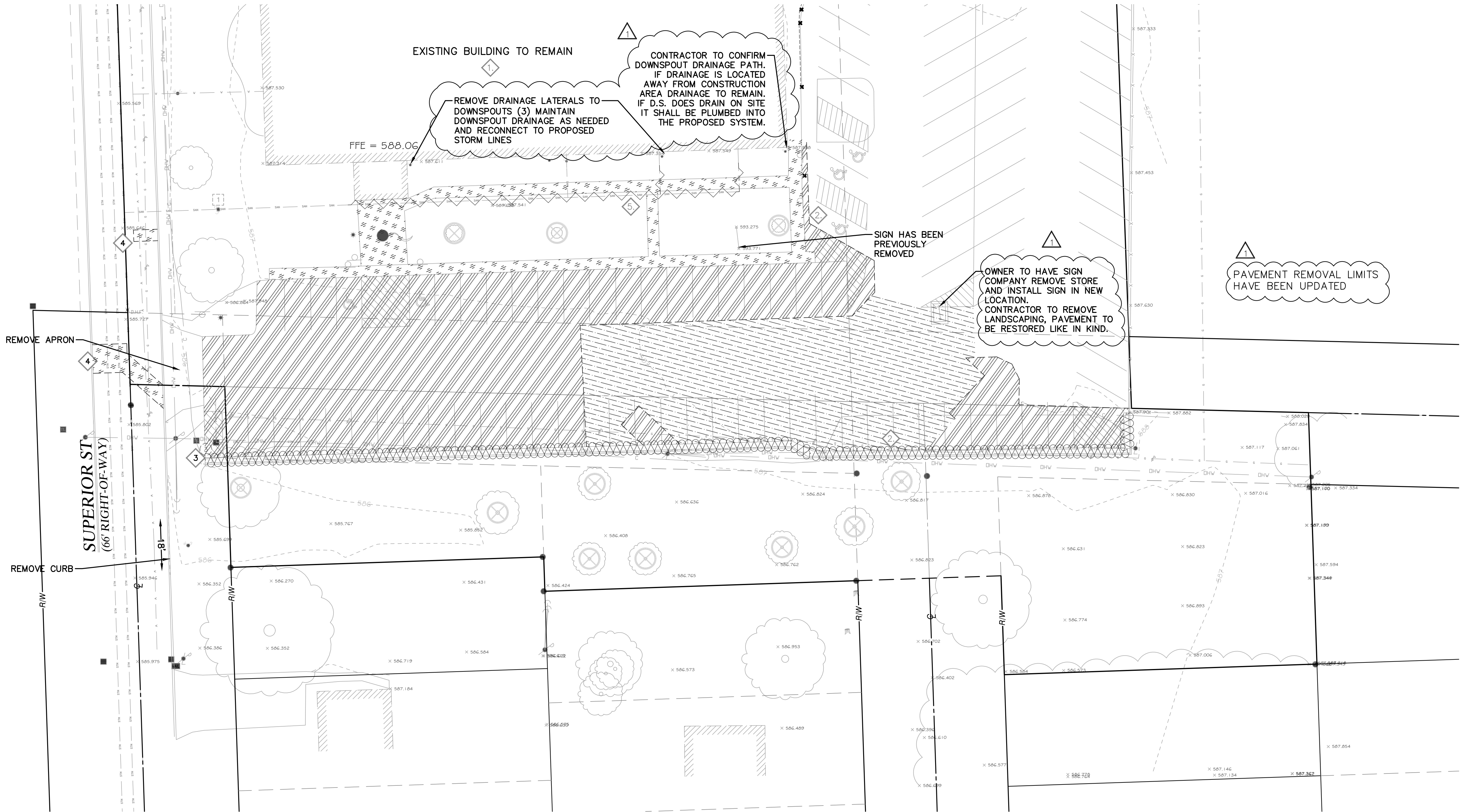
PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
COVER SHEET

SHEET NO.:
C0.0

RB PROJECT NO.:
280620

22"x34" - C:\X SITE.dwg 2020-11-30 5:58 PM (KEVIN BOEHLER)



EXISTING STORM SEWER

- 1 STORM MANHOLE
POINT # 4
TOP OF CASTING: 586.40
12" CONC - 582.80 E
54" CONC - 579.70 N4S
- 2 STORM MANHOLE
POINT # 3
TOP OF CASTING: 585.84
12" CONC - 581.14 E
54" CONC - 575.89 N4S
- 3 CATCH BASIN
POINT # 103
TOP OF CASTING: 585.29
4" PVC - 583.99 E
6" CONC - 583.89 N
- 4 CATCH BASIN
POINT # 11
TOP OF CASTING: 585.12
- 5 CATCH BASIN
POINT # 10
TOP OF CASTING: 585.02
- 6 CATCH BASIN
POINT # 8
TOP OF CASTING: 585.61
NOT OPENED

- 7 CATCH BASIN
POINT # 7
TOP OF CASTING: 585.48
12" CONC - 580.18 S
15" PVC - 580.03 N
- 8 CATCH BASIN
POINT # 18
TOP OF CASTING: 586.09
4" PVC - 582.89 S
8" PVC - 582.34 E
12" PVC - 582.06 W
12" PVC - 581.20 N
- 9 CATCH BASIN
POINT # 43
TOP OF CASTING: 587.35
6" PVC - 582.35 N
6" PVC - 583.45 S
6" PVC - 582.55 S
12" PVC - 582.25 E
- 10 CATCH BASIN
POINT # 47
TOP OF CASTING: 587.01
6" PVC - 584.01 S
6" PVC - 583.66 N
- 11 CATCH BASIN
POINT # 121
TOP OF CASTING: 586.49
4" PVC - 584.49 N, E, S, W
6" PVC - 584.39 W

EXISTING SANITARY SEWER

- 1 SANITARY CLEAN OUT
POINT # 10545
TOP OF CASTING: 587.07
PVC - 583.40 THRU

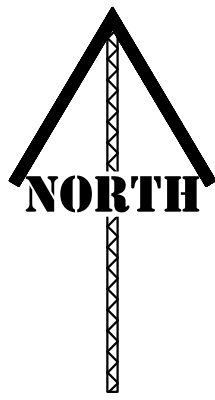
DEMO CODED NOTE:

- 1. CONTRACTOR TO COORDINATE BUILDING INTERIOR RENOVATION AND PROPOSED BUILDING CONSTRUCTION. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 2. PAVEMENT EDGE MAY NEED TO BE SAWCUT TO ACHIEVE A CLEAN NEAT EDGE TO PAVE AGAINST.
- 3. STORM SEWER CATCHBASIN TO BE REMOVED UNDERDRAIN TO BE REROUTED INTO PROPOSED SYSTEM.
- 4. PAVEMENT REMOVAL FOR INSTALLATION OF UTILITIES IN ROADWAY, WORK TO BE COORDINATED WITH CITY OF SANDUSKY AND ERIE COUNTY ENGINEER AS NEED FOR WORK TO PROCEED.
- 5. CONTRACTOR TO CONFIRM SANITARY LINE LOCATION AND COORDINATE WITH PLUMBING DESIGNER FOR REMOVAL AND INSTALLATION OF SANITARY LATERAL SERVICING EXISTING BUILDING.

DEMO LEGEND

- CONCRETE REMOVAL
- ASPHALT PAVEMENT REMOVAL
- PAVEMENT MARKING REMOVAL
- CURB REMOVAL
- UTILITY LINE REMOVAL
- SAWCUT LINE FOR CONCRETE SAWCUT TO BE MADE AT THE NEXT AVAILABLE CONTROL JOINT
- TREE TO BE REMOVED BY OWNER
- DEMO CODED NOTE

ADDITIONAL PAVEMENT REMOVAL MAYBE REQUIRED TO INSTALL UTILITY SERVICES.



20 0 20
SCALE IN FEET

NOTES

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ODOT CURRENT STANDARD SPECIFICATIONS.

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PRELIMINARY
PLAN

DESIGN KMB

DRAWN KMB

CHECKED JRK

REV/SUBMITTAL
DATE
BID SET
11/06/20
APPENDUM 4
12/01/20

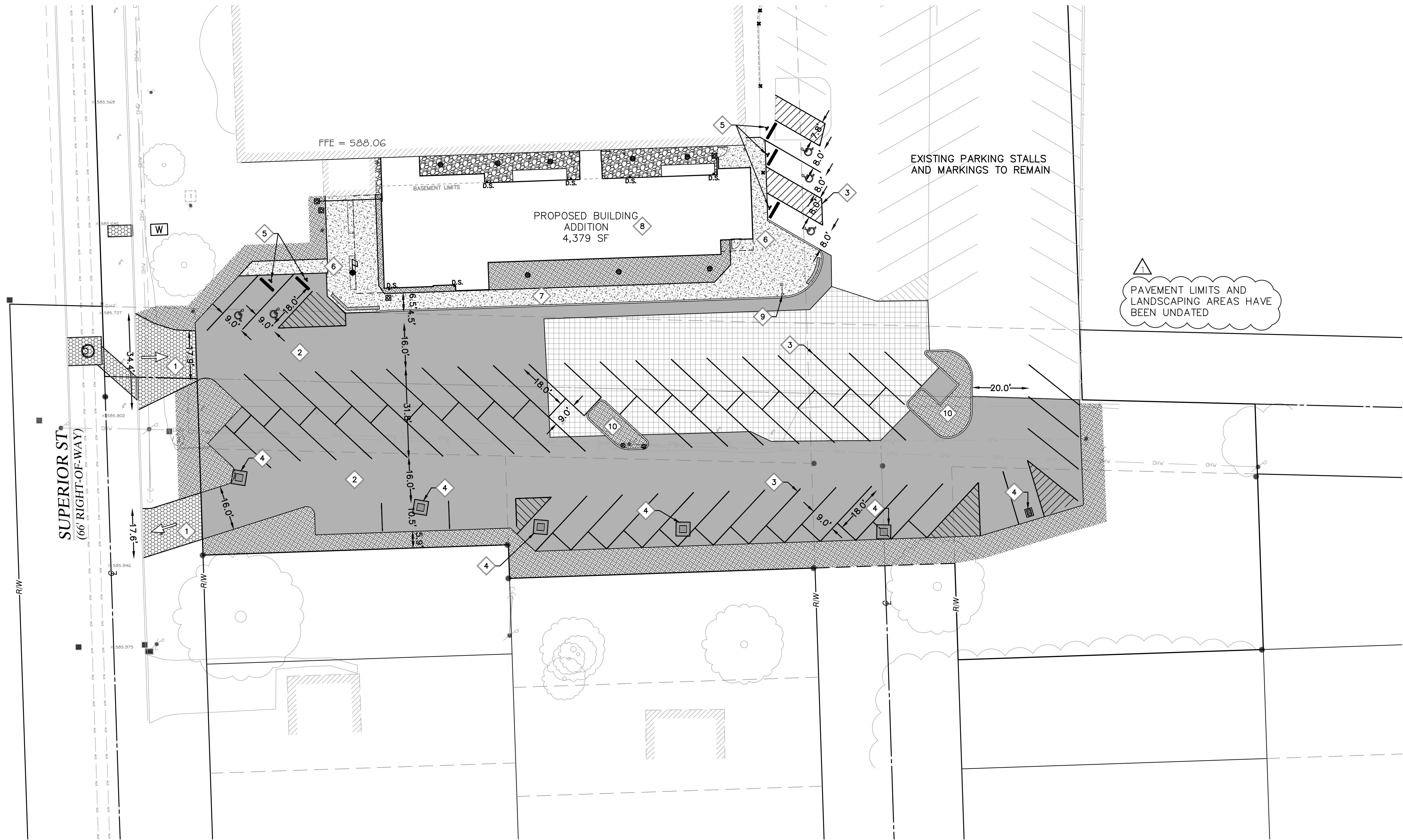
PROJECT NAME:
TWO STORY ADDITION - 2020
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
EXISTING &
DEMOLITION PLAN

SHEET NO.:
C1.0

RB PROJECT NO.:
280620



PROPOSED LEGEND

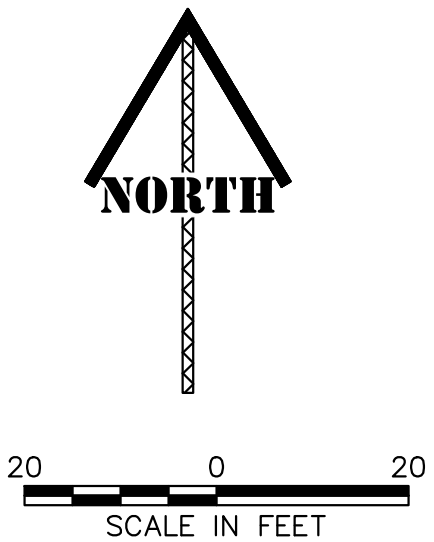
- | | | | |
|--|--|--|---|
| | PROPOSED ASPHALT PAVEMENT | | SITE SIGN POST |
| | PROPOSED ASPHALT PAVEMENT SEALING TO COVER PAVEMENT MARKINGS | | SITE BOLLARD PER DETAIL |
| | PROPOSED CONCRETE APRON PER COS STANDARD DETAIL | | WHEEL STOP - 4"H X 6"W X 6"L. PRECAST CONCRETE WHEEL STOP, SLOTTED FOR DRAINAGE. 1/2" X 2' IRON ROD TO SECURE THRU ASPHALT. |
| | PROPOSED CONCRETE SIDEWALK PER DETAIL | | FLAG POLE |
| | PROPOSED LANDSCAPING AREA BY OWNER | | CATCH BASIN |
| | PROPOSED GRAVEL AREA 3" WASHED STONE TO BE APPROVED BY OWNER OVER A GEOTEXTILE FABRIC WEED BARRIER | | |

SITE CODED NOTE:

1. CONCRETE APRON SEE COS DETAIL ON SHEET C5.1.
2. ASPHALT PAVEMENT SEE DETAIL ON SHEET C5.0.
3. PARKING SPACE MARKINGS SEE DETAIL ON SHEET C5.1.
4. CONCRETE COLLAR SEE DETAIL ON SHEET C5.0.
5. ACCESSIBLE SIGNAGE SEE DETAIL ON SHEET C5.1.
6. CONCRETE SIDEWALK SEE DETAIL ON SHEET C5.0.
7. INTEGRAL CONCRETE WALK AND CURB SEE DETAIL ON SHEET C5.0.
8. PROPOSED BUILDING ADDITION SHOWN FOR INTENT ONLY SEE ARCHITECTURAL, STRUCTURAL AND MEP PLANS FOR DETAILS.
9. RELOCATED SITE SIGNAGE.
10. PROPOSED LANDSCAPED ISLAND WITH ODOT TYPE 6 VERTICAL CURB.

GENERAL SITE NOTE:

1. CONCRETE ROADWAY REPLACEMENT PER CITY OF SANDUSKY STANDARDS. WORK TO BE COORDINATED WITH TAPS AND APPROVALS TO MINIMIZE ROADWAY CLOSURE.
2. CURB AND GUTTER TO BE REPLACED AS NEEDED FOR UTILITY INSTALLATION.



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PRELIMINARY PLAN

DESIGN KMB
DRAWN KMB
CHECKED JRK

REV/SUBMITTAL	DATE								
BID SET	11/06/20								
ADDENDUM 4	12/01/20								

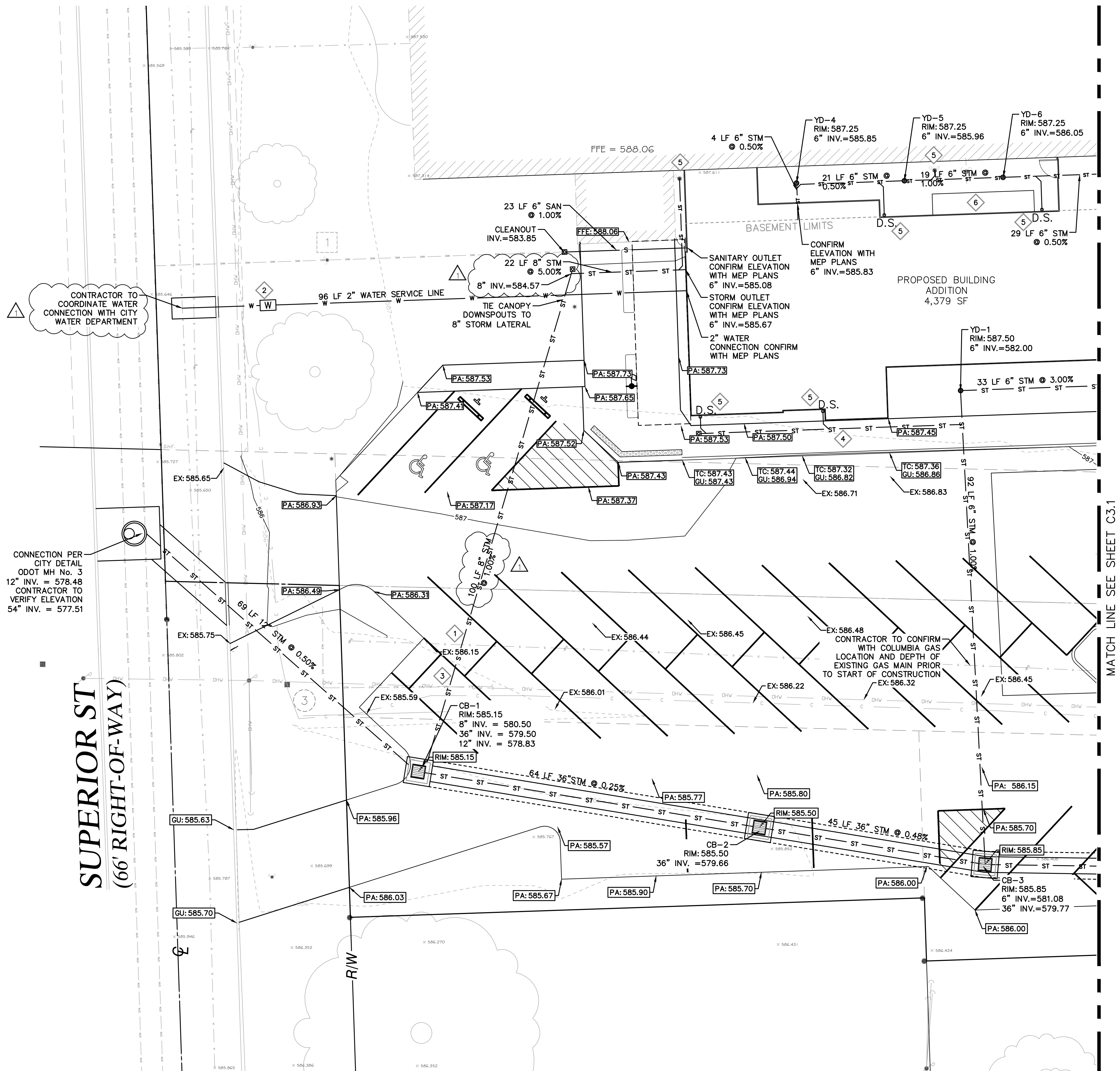
PROJECT NAME:
TWO STORY ADDITION - 2020
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
PRELIMINARY SITE
PLAN

SHEET NO.:
C2.0

RB PROJECT NO.:
280620



LEGEND:

PROPOSED UTILITY

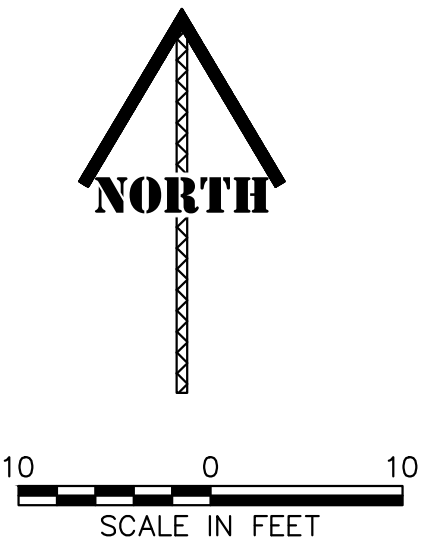
- 36" PERFORATED STORM SEWER
- ST ST DETENTION PIPE
- ST ST STORM SEWER
- S S SANITARY SEWER
- W W WATER SERVICE LINE
- E E ELECTRICAL CONDUIT
- PROPOSED STORM MANHOLE
- PROPOSED 2-4 CATCH BASIN
- PROPOSED 2-2 CATCH BASIN
- PROPOSED YARD DRAIN
- PROPOSED CLEAN OUT
- PROPOSED METER PIT

PROPOSED GRADING

- MAJOR CONTOUR INTERVAL
- MINOR CONTOUR INTERVAL
- 613.00 PROPOSED SPOT ELEVATION
- EX: 613.00 EXISTING SPOT ELEVATION
- RIM: 613.00 PROPOSED TOP OF CASTING ELEVATION
- PA: 613.00 PAVEMENT ELEVATION
- TC: 613.00 TOP OF CURB ELEVATION
- GU: 613.00 FLOWLINE AT PAVEMENT

- SITE CODED NOTE:**
1. CONTRACTOR TO CONFIRM ELEVATION OF GAS LINE PRIOR TO RUNNING STORM LINE. CONTRACTOR TO MAINTAIN SEPARATION BETWEEN UTILITIES. SLOPE OF PIPE CAN BE UPDATED IN THE FIELD BUT MUST MAINTAIN A MINIMUM OF 1% SLOPE.
 2. WATER METER PER THE CITY OF SANDUSKY STANDARD DETAIL.
 3. STORM UNDERDRAIN TO BE TIED INTO PROPOSED STORM LINE.
 4. 6" STORM LATERAL @ MIN. 1.00% SLOPE.
 5. TIE DOWNSPOUT INTO PROPOSED STORM LINE.
 6. LIGHT WELL DRAINAGE TO BE TIED INTO FOOTER DRAIN PER ARCHITECTURAL AND STRUCTURAL DRAWINGS

- GENERAL NOTE:**
1. CB-1, 2, 3, 4 & 5 ARE ODOT 2-4 CATCH BASINS
 2. CB-6 IS ODOT 2-2 CATCH BASIN



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PRELIMINARY
PLAN

DESIGN KMB
DRAWN KMB
CHECKED JRK

REV/SUBMITTAL	DATE
BID SET	11/06/20
ADDENDUM 4	12/01/20

PROJECT NAME:
TWO STORY ADDITION - 2020
ERIE COUNTY GENERAL HEALTH

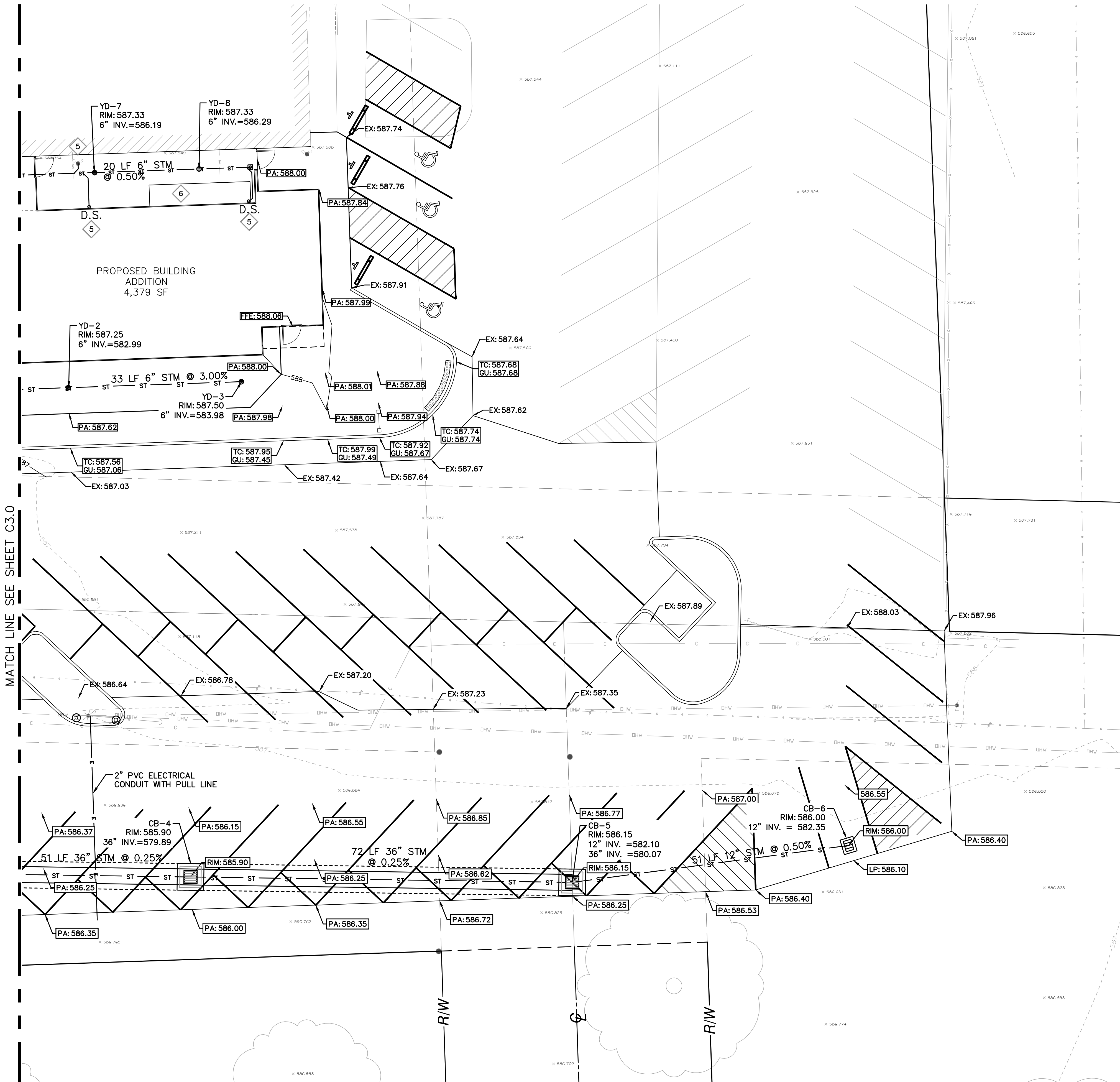
PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
PRELIMINARY GRADING
& UTILITY PLAN

SHEET NO.:
C3.0

RB PROJECT NO.:
280620

22"x34" - C:\X SITE.dwg 2020-11-30 5:45 PM (KEVIN BOEHLER)



LEGEND:

PROPOSED UTILITY

- 36" PERFORATED STORM SEWER DETENTION PIPE
- ST ST STORM SEWER
- S SANITARY SEWER
- W WATER SERVICE LINE
- E ELECTRICAL CONDUIT
- PROPOSED STORM MANHOLE
- PROPOSED 2-4 CATCH BASIN
- PROPOSED 2-2 CATCH BASIN
- PROPOSED YARD DRAIN
- PROPOSED CLEAN OUT
- PROPOSED METER PIT

PROPOSED GRADING

- MAJOR CONTOUR INTERVAL
- MINOR CONTOUR INTERVAL
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED TOP OF CASTING ELEVATION
- PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- FLOWLINE AT PAVEMENT

SITE CODED NOTE:

- CONTRACTOR TO CONFIRM ELEVATION OF GAS LINE PRIOR TO RUNNING STORM LINE. CONTRACTOR TO MAINTAIN SEPARATION BETWEEN UTILITIES. SLOPE OF PIPE CAN BE UPDATED IN THE FIELD BUT MUST MAINTAIN A MINIMUM OF 1% SLOPE.
- WATER METER PER THE CITY OF SANDUSKY STANDARD DETAIL.
- STORM UNDERDRAIN TO BE TIED INTO PROPOSED STORM LINE.
- 6" STORM LATERAL @ MIN. 1.00% SLOPE.
- TIE DOWNSPOUT INTO PROPOSED STORM LINE.
- LIGHT WELL DRAINAGE TO BE TIED INTO FOOTER DRAIN PER ARCHITECTURAL AND STRUCTURAL DRAWINGS

GENERAL NOTE:

- CB-1, 2, 3, 4 & 5 ARE ODOT 2-4 CATCH BASINS
- CB-6 IS ODOT 2-2 CATCH BASIN

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DRAWN KMB

CHECKED JRK

REV/SUBMITTAL	DATE
BID SET	11/06/20
ADDENDUM 4	12/01/20

PROJECT NAME:
TWO STORY ADDITION - 2020
ERIE COUNTY GENERAL HEALTH

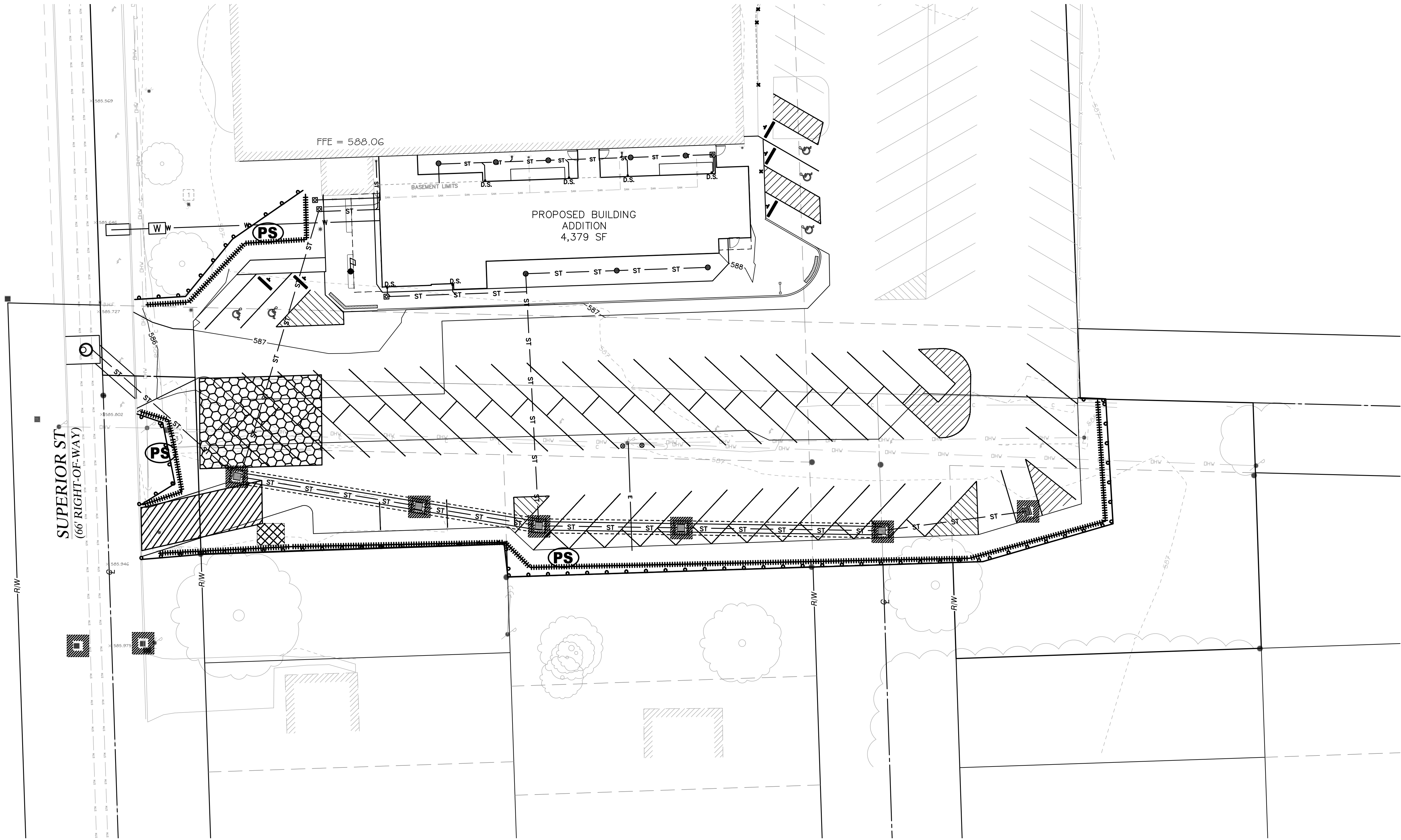
PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
PRELIMINARY GRADING
& UTILITY PLAN

SHEET NO.:
C3.1

RB PROJECT NO.:
280620

22"x34" - C:\X SITE.dwg 2020-11-05 10:30 AM (KEVIN BOELLER)



LEGEND:

TS

TEMPORARY STABILIZATION

PS

PERMANENT SEEDING
TO BE COMPLETED BY CONTRACTOR. SEEDING SPECIFICATION TO BE PROVIDED TO THEM BY LANDSCAPER.

DS

DISTURBED AREA

IP

INLET PROTECTION

CE

CONSTRUCTION ENTRANCE
TO BE INSTALLED AS NEEDED

CW

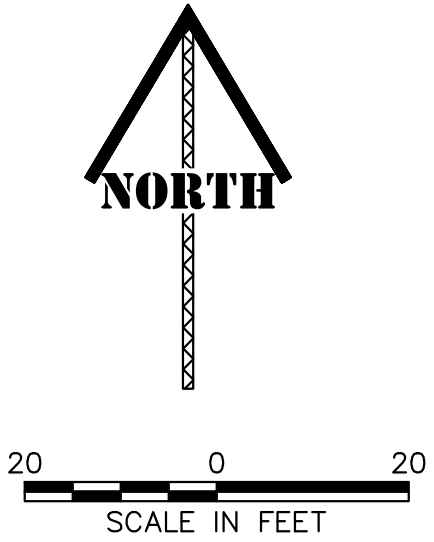
CONCRETE WASHOUT

SF

FILTER BARRIER
(SILT FENCE OR FILTER SOCK)

SA

STAGING AREA



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PLAN

DESIGN	KMB
DRAWN	KMB
CHECKED	JRK

REV/SUBMITTAL	DATE
BID SET	11/06/20

PROJECT NAME:
TWO STORY ADDITION – 2020
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
SWPPP SHEET

SHEET NO.:
C4.0

RB PROJECT NO.:
280620

22"x34" - 20-XXXX SWPPP.dwg 2020-11-05 10:59 AM (KEVIN BOEHLER)

FUELING AREA AND VEHICLE AND EQUIPMENT MAINTENANCE/MATERIAL STORAGE NOTES:

- FUELING AREA:
- ON-SITE VEHICLE AND EQUIPMENT FUELING SHALL ONLY BE USED WHERE IT IS IMPRACTICAL TO SEND VEHICLES AND EQUIPMENT OFF-SITE FOR FUELING.
 - IF ON-SITE FUELING IS NECESSARY, CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED, UTILIZING DUAL WALL TANKS OR A DIKE.
 - CONTRACTOR SHALL SUPPLY, CLEARLY MARK AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE IN FUELING AREAS.
 - CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT FUELING UNLESS FUELING IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA.
 - FUELING AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES.
 - CONTRACTOR SHALL USE FUELING NOZZLES WITH AUTOMATIC SHUT-OFFS. FUELING OPERATIONS SHALL NOT BE LEFT UNATTENDED.
 - CONTRACTOR SHALL PROTECT FUELING AREAS WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
 - CONTRACTOR SHALL NOT "TOP-OFF" FUEL TANKS.
 - CONTRACTOR SHALL INSPECT VEHICLES AND EQUIPMENT EACH DAY FOR LEAKS. IF LEAKS ARE FOUND, THEY MUST BE REPAIRED AND CLEANED-UP IMMEDIATELY AND/OR THE LEAKING VEHICLES OR EQUIPMENT REMOVED FROM THE PROJECT SITE.
 - CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.

VEHICLE AND EQUIPMENT MAINTENANCE/MATERIAL STORAGE AREA:

- CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED IF STORING MATERIALS, MAINTAINING OR STORING VEHICLES AND EQUIPMENT ON-SITE.
- STORAGE/MAINTENANCE AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES.
- CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT MAINTENANCE UNLESS MAINTENANCE IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA.
- CONTRACTOR SHALL SUPPLY, CLEARLY MARK AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE IN STORAGE/MAINTENANCE AREAS.
- CONTRACTOR SHALL PROTECT STORAGE/MAINTENANCE WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
- CONTRACTOR SHALL PROVIDE IMPERMEABLE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL AND CHEMICAL DRUMS.
- CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.

PETROLEUM PRODUCTS:

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL ONLY BE APPLIED ACCORDING TO THE MANUFACTURERS INSTRUCTION. ALL ON-SITE VEHICLE MAINTENANCE WILL BE ACCOMPLISHED IN DESIGNATED AREAS WITH ALL FLUIDS BEING COLLECTED AND DISPOSED OF PROPERLY. PER OHIO EPA COP PART 6.5.

SPILL CONTROL PRACTICES:

MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SHOVELS, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE. ADDITIONAL EQUIPMENT AND MATERIALS WILL BE ADDED TO THIS LIST IF RECOMMENDED BY THE MANUFACTURER OF ANY PRODUCT TO BE USED ON THIS SITE.

ALL SPILLS WILL BE CLEANED IMMEDIATELY AFTER DISCOVERY. THE OWNER, OR ITS DESIGNATED REPRESENTATIVE IS TO BE IMMEDIATELY NOTIFIED OF ANY SPILLS. THE SPILL AREA WILL BE KEPT VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS MATERIAL.

SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE OHIO EPA, REGARDLESS OF THE SIZE OF THE SPILL.

SPILL CONTROL PRACTICES WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THE REOCCURRENCE OF ANY SPILL AND INCLUDE MEASURES OF HOW TO RESPOND TO SIMILAR OCCURRENCES. A DESCRIPTION OF ANY SPILL THAT OCCURS WILL BE RECORDED INCLUDING WHAT CAUSED IT AND HOW EASY IT WAS TO CLEAN UP.

THE GENERAL CONTRACTOR WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THE GENERAL CONTRACTOR WILL DESIGNATE THREE SITE PERSONNEL WHO WILL RELIEVE SPILL PREVENTION AND CLEANUP TRAINING. THE NAMES OF THESE INDIVIDUALS WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE SITE OFFICE.

NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS, OR BY BURYING, BURNING, OR MIXING WASTES.

ALL CONTAINERS USED FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES MUST BE COVERED AND LEAK-PROOF.

ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDF'S).

IN THE EVENT OF A SMALL RELEASE OF PETROLEUM WASTE (LESS THAN 25 GALLONS), PETROLEUM BASED AND CONCRETE CURING COMPOUNDS TO HAVE SPECIAL HANDLING PROCEDURES, CONTACT CONSTRUCTION MANAGER.

IN THE EVENT OF A LARGE RELEASE OF PETROLEUM WASTE (MORE THAN 25 GALLONS), OF PETROLEUM WASTE, MUST CONTACT OHIO EPA AT 1-800-282-9378, THE LOCAL FIRE DEPARTMENT 419-627-5822, AND THE LOCAL EMERGENCY PLANNING COMMISSION (POLICE DEPARTMENT) 419-627-5870 WITHIN 30 MINUTES OF THE SPILL.

LIQUIDS:

NON-HAZARDOUS LIQUIDS FROM DECONTAMINATION OR OTHER ACTIVITIES WILL BE STORED IN US DOT-APPROVED DRUMS OR HOLDING TANKS PENDING RECEIPT OF ANALYTICAL CHARACTERIZATION DATA. LIQUIDS, IF ANY, WILL BE TRANSPORTED BY A LICENSED HAULER TO AN APPROVED TREATMENT, STORAGE OR DISPOSAL FACILITY ("TSDF") OR WILL BE DISCHARGED DIRECTLY TO THE SANITARY SEWER WITH THE APPROVAL OF THE LOCAL PUBLICLY-OWNED TREATMENT WORKS ("POTW")

HAZARDOUS MATERIALS:

- HAZARDOUS WASTES, IF ENCOUNTERED, WILL BE COLLECTED DAILY AND DISPOSED OF IN SECURELY LIDDED CONTAINERS.
- A SUFFICIENT NUMBER OF CONTAINERS WILL BE PROVIDED FOR HAZARDOUS BUILDING MATERIAL DISPOSAL. THESE WILL BE PROVIDED BY THE GENERAL CONTRACTOR.
 - SIGNS WILL BE PLACED ON BUILDING MATERIAL STORAGE CONTAINERS AUTHORIZING THE DISPOSAL OF SOLVENTS, OIL BASED PAINTS AND STAINS, CEMENT PRODUCTS, AND ASPHALTIC MATERIALS.
 - A SUFFICIENT NUMBER OF CONTAINERS WILL BE SUPPLIED BY THE GENERAL CONTRACTOR FOR THE DISPOSAL OF GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, AND ANTIFREEZE.
 - THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ASSURING THAT ALL HAZARDOUS WASTE MATERIALS ARE COLLECTED DAILY AND DISPOSED OF PROPERLY.
 - SIGNS WILL BE POSTED NOTIFYING PERSONNEL THAT NO WASTE IS TO BE DISPOSED OF DOWN ANY DRAIN, OR ANY SEWER OR SEPTIC TANK. WASTES ARE NOT TO BE DUMPED ON THE GROUND, OR ANY WATERWAY. WASTES ARE NOT TO BE BURNED, BURIED, OR MIXED WITH OTHER WASTES UNLESS PERMITTED BY THE MANUFACTURER.

HAZARDOUS PRODUCTS:

- THESE PRACTICES ARE USED TO REDUCE THE RISK ASSOCIATED WITH HAZARDOUS MATERIALS.
- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESALABLE.
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED. THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
 - IF SURPLUS PRODUCTS MUST BE DISPOSED OF MANUFACTURE RECOMMENDED METHODS WILL BE FOLLOWED.

SOLID WASTE MATERIALS:

- SOLID WASTE MATERIALS MEETING THE EPA DEFINITION OF SOLID WASTE IDENTIFIED FOR OFFSITE DISPOSAL WILL BE COLLECTED DAILY AND STORED IN SECURELY LIDDED CONTAINERS (TRASH ENCLOSURE).
- A SUFFICIENT NUMBER OF METAL DUMPSTERS WILL BE PROVIDED BY THE GENERAL CONTRACTOR.
 - A SUFFICIENT NUMBER OF METAL TRASH CANS WITH LIDS WILL BE USED ON-SITE.
 - SIGNS WILL BE AFFIXED TO WASTE CONTAINER ADVISING WHO SHOULD BE CONTACTED WHEN CONTAINERS NEED EMPTYING.
 - SIGNS WILL BE PERMANENTLY DISPLAYED AS WASTE STORAGE AREAS AGAINST DUMPING OF LIQUID OR HAZARDOUS WASTES CONTAINERS NOT SPECIFICALLY MARKED FOR SUCH DISPOSAL.
 - SITE PERSONNEL WILL BE ADVISED THAT NO CONSTRUCTION RELATED MATERIALS ARE TO BE BURIED ON-SITE AND THAT DISCIPLINARY ACTIONS WILL BE TAKEN AGAINST ALL OFFENDERS OF THIS POLICY. ALL SUBCONTRACTORS WILL BE GIVEN A WRITTEN COPY OF THIS POLICY.

SANITARY WASTES:

- A SUFFICIENT NUMBER OF PORTABLE SANITARY WASTE UNITS WILL BE PLACED ON-SITE; WASTES FROM THESE UNITS WILL BE COLLECTED AS SPECIFIED BY THE WASTE HAULER.
- SIGNS WILL BE POSTED SPECIFYING WHERE NEAR BY OFF-SITE FACILITIES ARE AVAILABLE.

GOOD HOUSEKEEPING:

- THE FOLLOWING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.
- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER LABEL.
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER LABEL.
 - SUBSTANCES WILL NOT BE MIXED UNLESS RECOMMENDED BY THE MANUFACTURER.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSAL OF THE CONTAINER.
 - MANUFACTURERS RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - THE GENERAL CONTRACTOR WILL INSPECT DAILY TO INSURE PROPER USE OF ALL MATERIALS.
 - WRITTEN COPIES OF THESE PROCEDURES WILL BE DISTRIBUTED TO ALL EMPLOYEES AND SUBCONTRACTORS. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING THESE PROCEDURES WITH SITE PERSONNEL AND FOR INSURING THAT THEY ARE ADHERED TO.

OFFSITE VEHICLE TRACKING:

- AT MINIMUM, ALL STREETS SHALL BE CLEANED AT THE END OF THE WORK WEEK JUST PRIOR TO THE CLOSING OF THE SITE.
- A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED WITHIN SEVEN (7) DAYS OF THE ONSET OF SITE DISTURBING ACTIVITIES.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE DAILY SWEEPING OF PAVED AREAS ADJACENT TO THE SITE ENTRANCE ON A DAILY BASIS AND PRIOR TO ENDING WORK FOR THE WEEK.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSURING THAT ALL DUMP TRUCKS HAULING MATERIALS FROM THE CONSTRUCTION SITE WILL BE COVERED WITH TARPAULINS.
- TRUCK WASH AREAS WILL ONLY BE LOCATED IN BERMED AREAS OR IN AREAS THAT DRAIN TO SEDIMENT REMOVAL BASINS.
- WASTE FROM EQUIPMENT WASHING AND CONCRETE WASHOUT TO BE DISPOSED OF AT A CERTIFIED LANDFILL AND/OR TREATMENT PLANT.

CONSTRUCTION & DEMOLITION DEBRIS

ALL CONSTRUCTION & DEMOLITION DEBRIS (C&D) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&D LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714, OR PROCESSED FOR RECYCLING

DUST AND DEBRIS CONTROL:

CONTRACTOR IS TO CONTROL DUST AT ALL TIMES, INCLUDING NON-WORKING DAYS, WEEKENDS, AND HOLIDAYS. ACTIVE WORK AREAS SHALL BE WET DOWN USING CONTRACTOR'S WATER SUPPLY OR TREATED WITH DUST SUPPRESSANTS AS REQUIRED AND APPROVED. STORM WATER BMPs SHALL BE MAINTAINED AND IMPROVED, AS NECESSARY, TO LIMIT DISCHARGE OF DUST AND DEBRIS.

TEMPORARY OR PERMANENT STABILIZATION OF WORK AREAS SHALL BE PERFORMED PROMPTLY.

WET-CUTTING METHODS SHALL BE USED, WHERE FEASIBLE, FOR CUTTING CONCRETE, ASPHALT AND MASONRY.

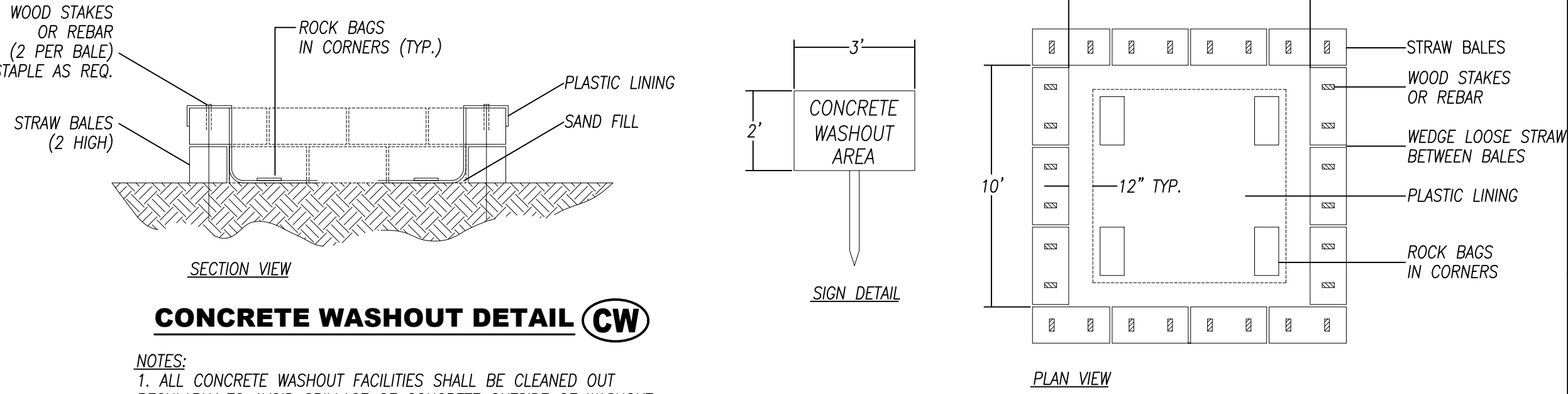
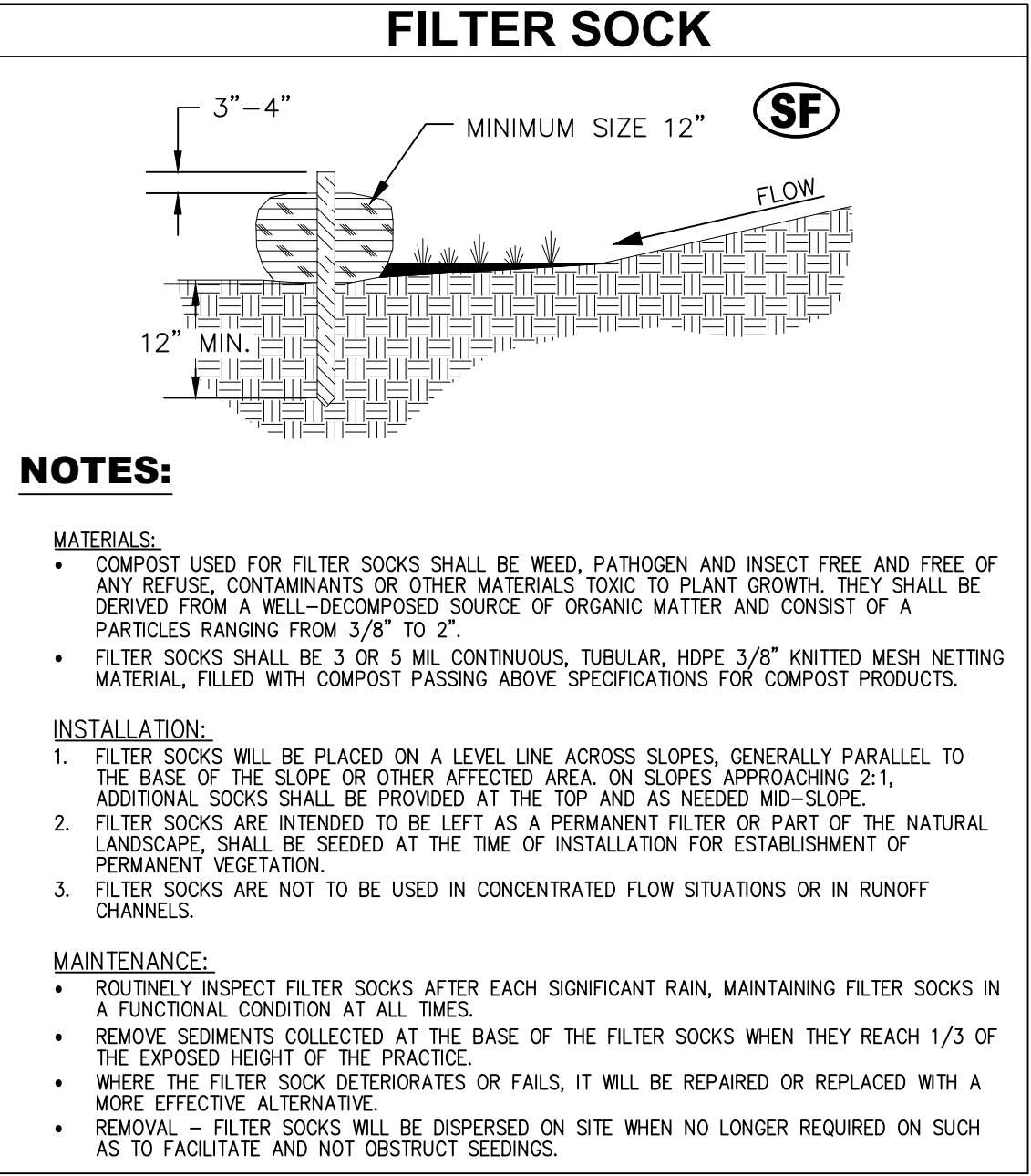
CONTRACTOR SHALL CONTROL OFFSITE TRACKING OF DUST AND DEBRIS FROM CONTRACTOR'S VEHICLES AND CONTRACTOR'S SUBCONTRACTORS.

CONTRACTOR SHALL PERFORM STREET SWEEPING OR OTHER DUST AND DEBRIS MANAGEMENT MEASURES, AS NEEDED, TO FULFILL THE OBJECTIVES OF THIS SECTION.

CONCRETE TRUCKS

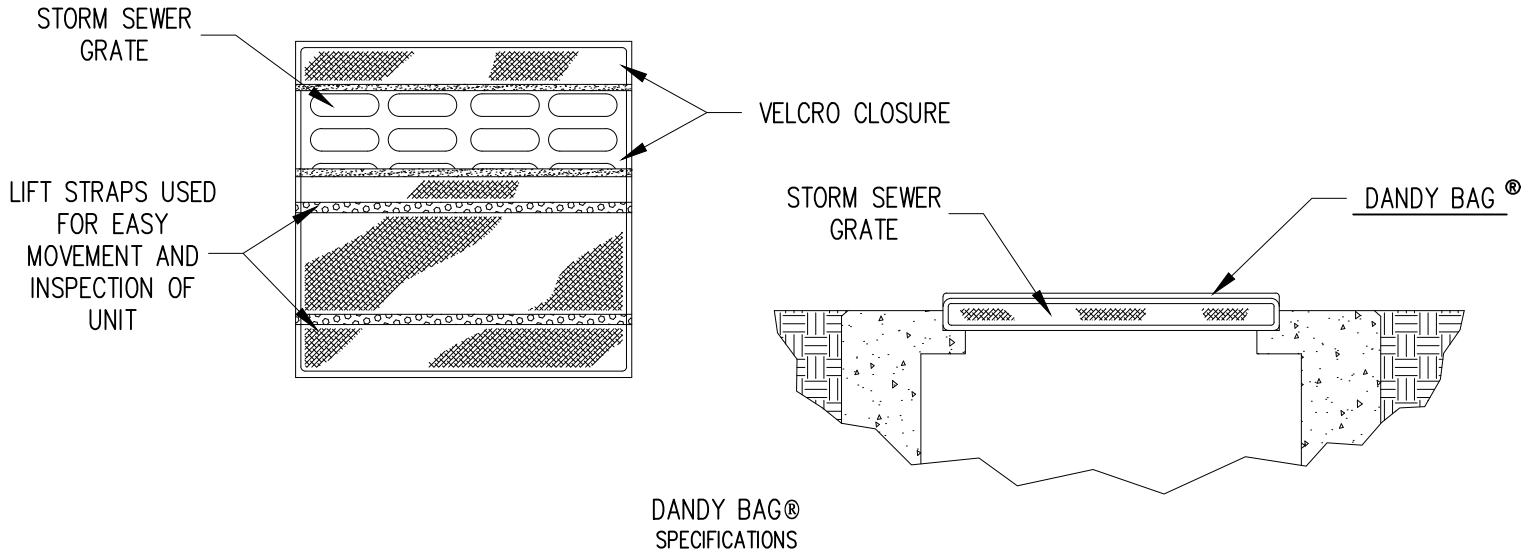
CONCRETE TRUCKS WILL ONLY BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WATER WASH WATER IN AREAS APPROVED, DESIGNATED CONCRETE WASH OUT PIT LOCATION ON SITE.

THE OWNER RESERVES THE RIGHT TO REQUIRE THE GENERAL CONTRACTOR TO EMPLOY SEDIMENT CONTROL TECHNIQUES TO LIMIT CONCRETE SPOILAGE RUNOFF.

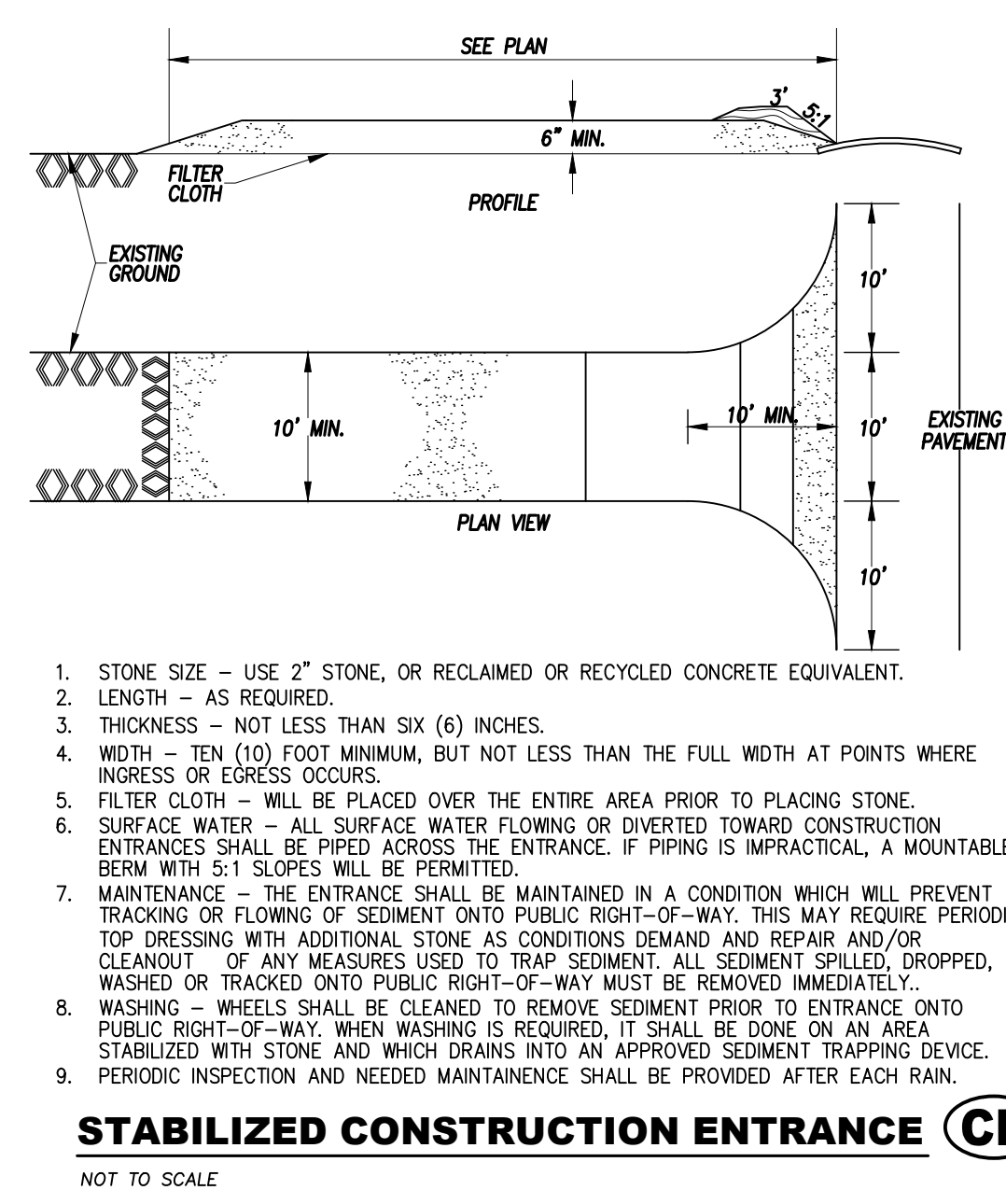


STORM DRAIN INLET PROTECTION

OPTIONS FOR USE INCLUDE DANDY BAG® GEOTEXTILE INLET PROTECTION, OR BLOCKSOM INLET FILTER.

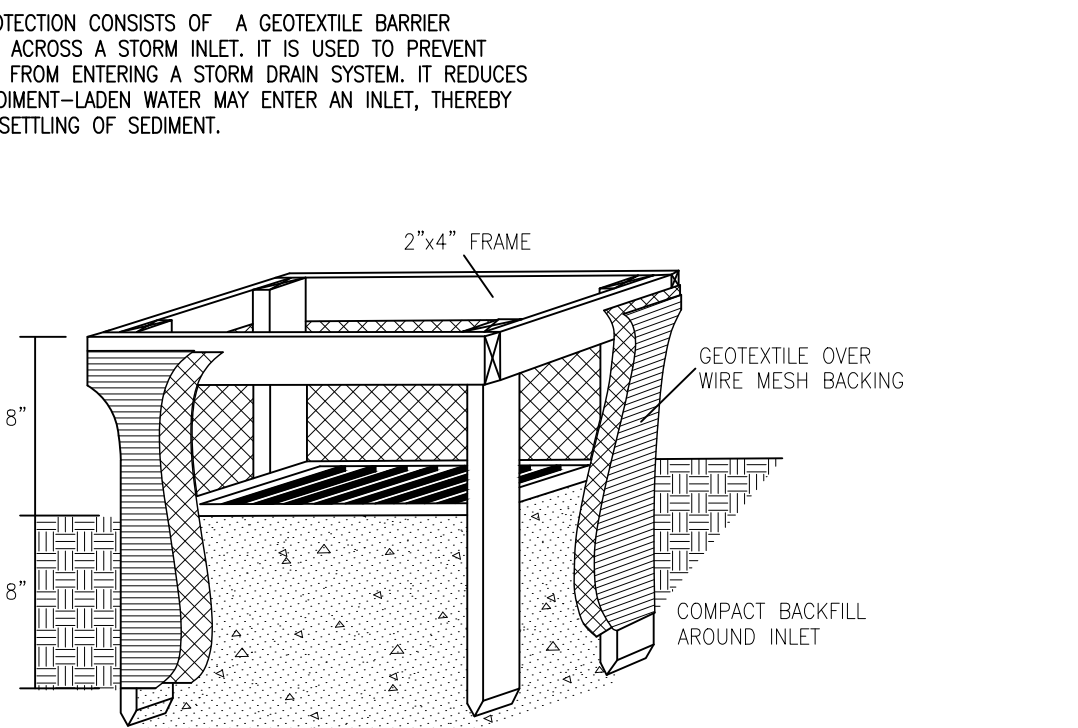
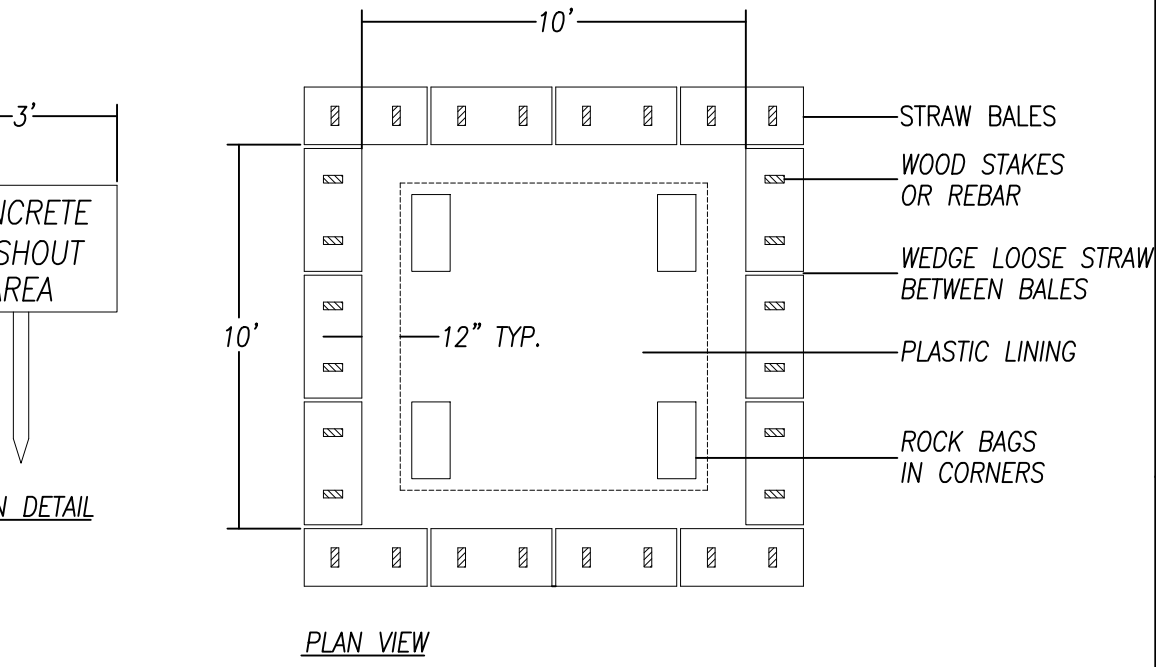


DANDY BAG® IP
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE


NOT TO SCALE



- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH OF 18 INCHES.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 Sieve AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

REFERENCE:
2006 RAINWATER AND LAND DEVELOPMENT MANUAL

GEOTEXTILE INLET PROTETION IP
N.T.S.

Hancock & Associates
ENGINEERS · SURVEYORS
a division of Red Barn 

326 E. Market Street
Sandusky, OH 44870
(419) 625-7838
www.hancockengineers.com

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PRELIMINARY
PLAN

DESIGN	KMB
DRAWN	KMB
CHECKED	JRK

REV/SUBMITTAL	DATE								
BID SET	11/06/20								

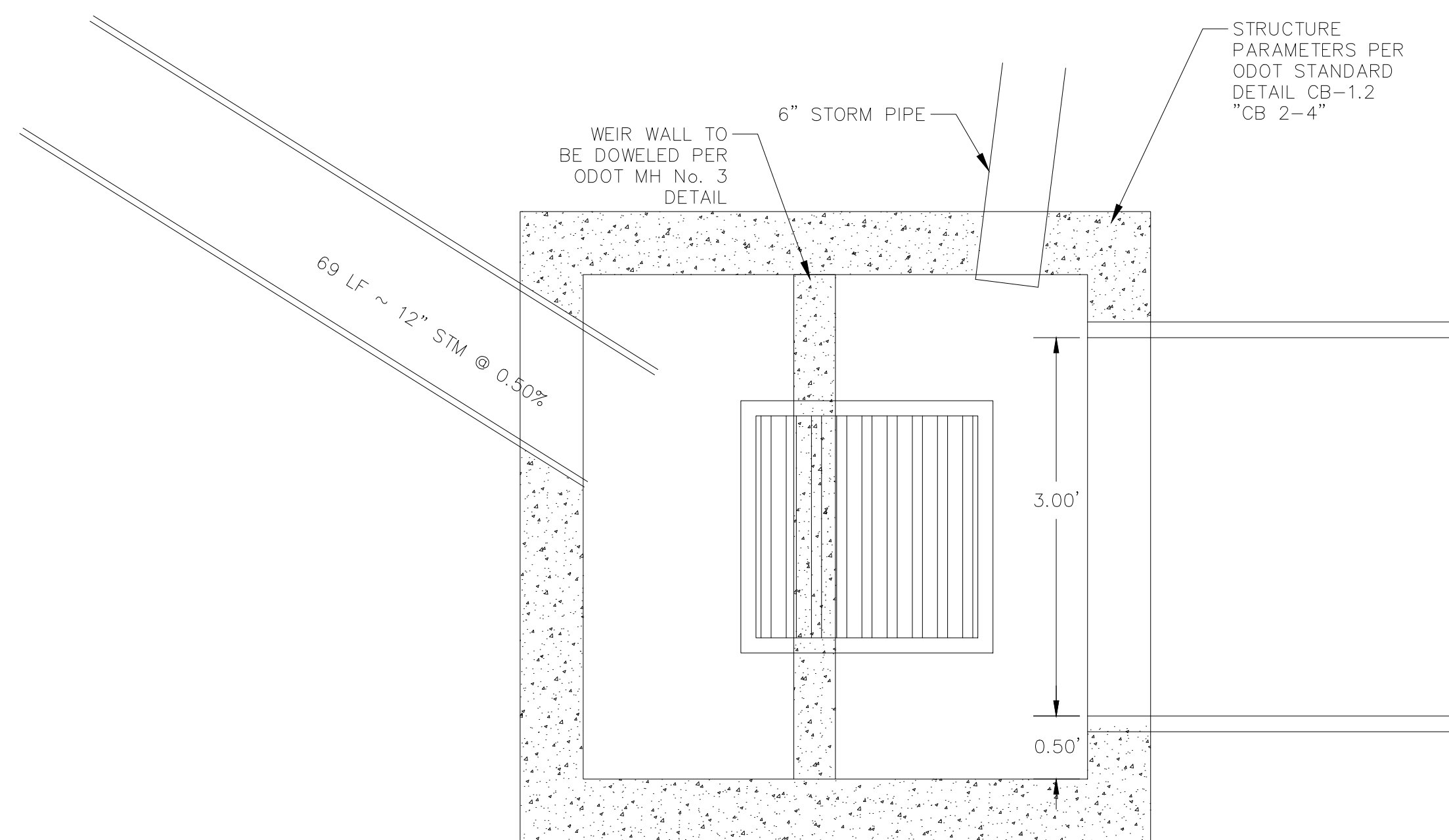
PROJECT NAME:
OFFICE ADDITION
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
SWPPP NOTES &
DETAILS

SHEET NO.:
C4.2

RB PROJECT NO.:
280620



OUTLET CATCH BASIN
PLAN VIEW

STORM WATER CALCULATIONS				
YEAR	RAINFALL	EXISTING RUNOFF (CFS)	STORAGE DEPTH (FEET)	PROPOSED RUNOFF (CFS)
1	2.02	1.922	581.09	1.740
2	2.44	2.629	581.48	2.185
5	3.07	3.728	582.15	2.802
10	3.59	4.653	582.92	3.353
25	4.35	6.015	583.74	5.798
50	4.99	7.165	584.14	6.929
100	5.68	8.403	584.90	7.637

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PRELIMINARY PLAN

DESIGN	KMB
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DRAWN KMB

CHECKED JRK

[illegible]

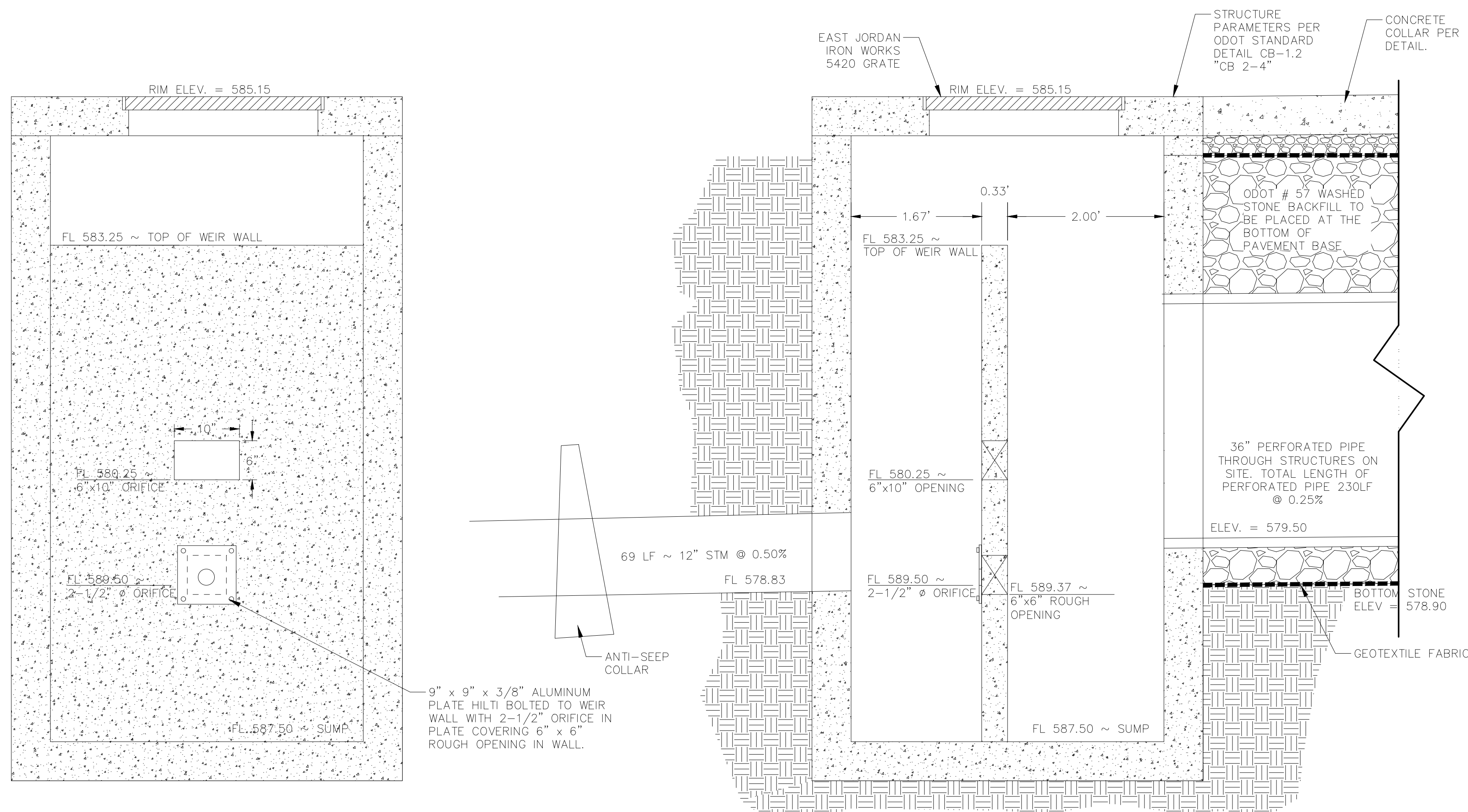
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ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

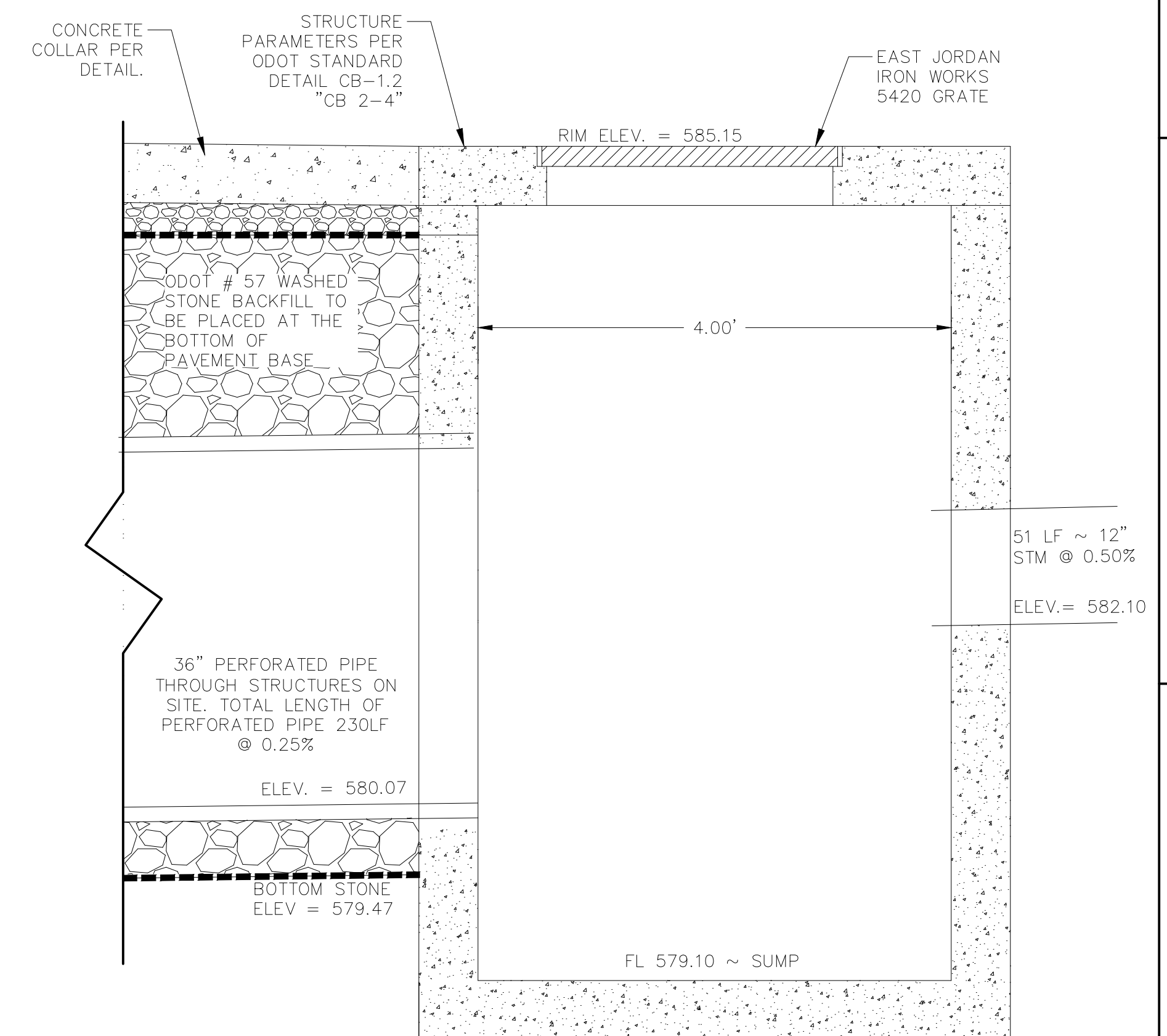
SHEET TITLE:
SWPPP NOTES &
DETAILS

SHEET NO.:
C4.3

RB PROJECT NO.:
280620



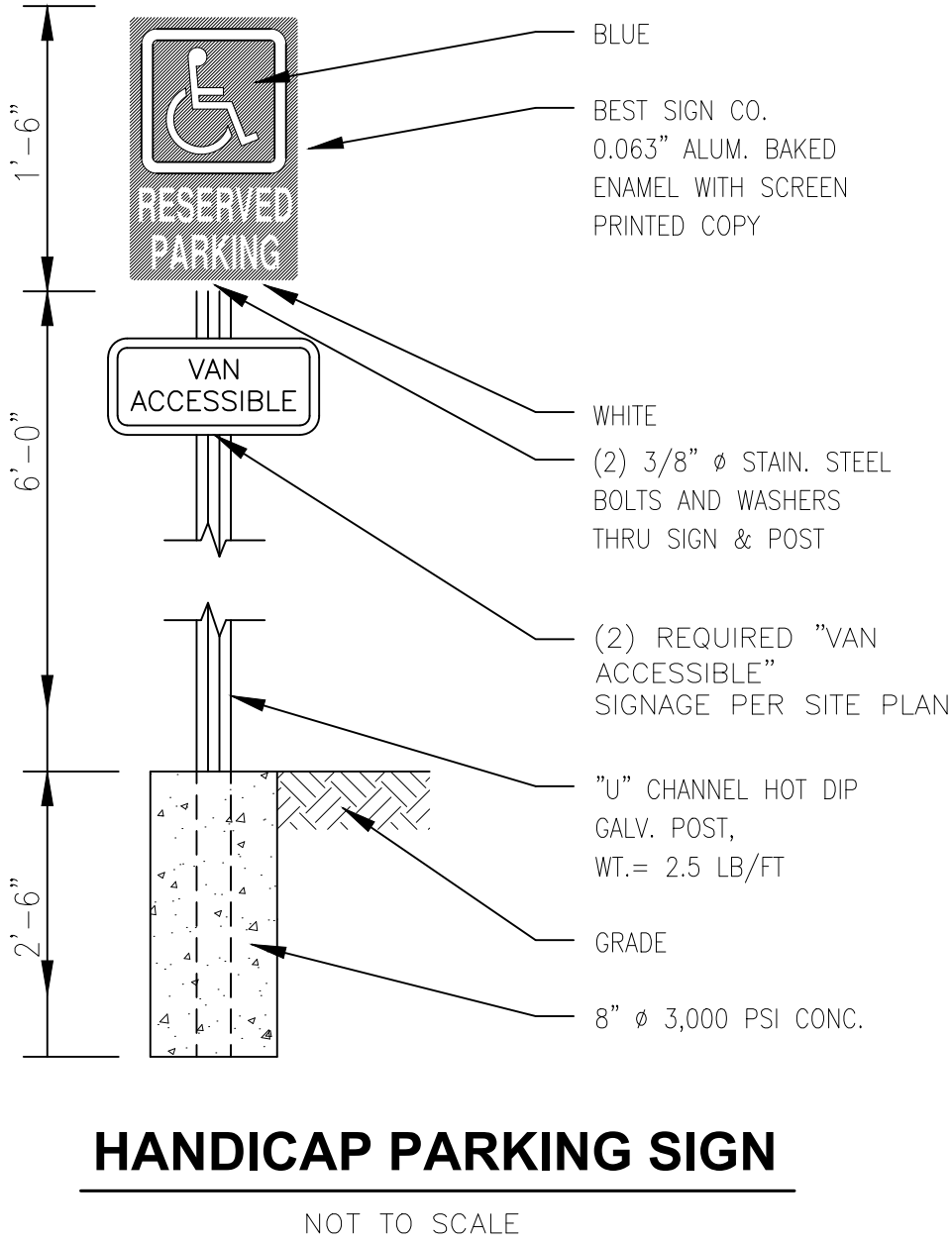
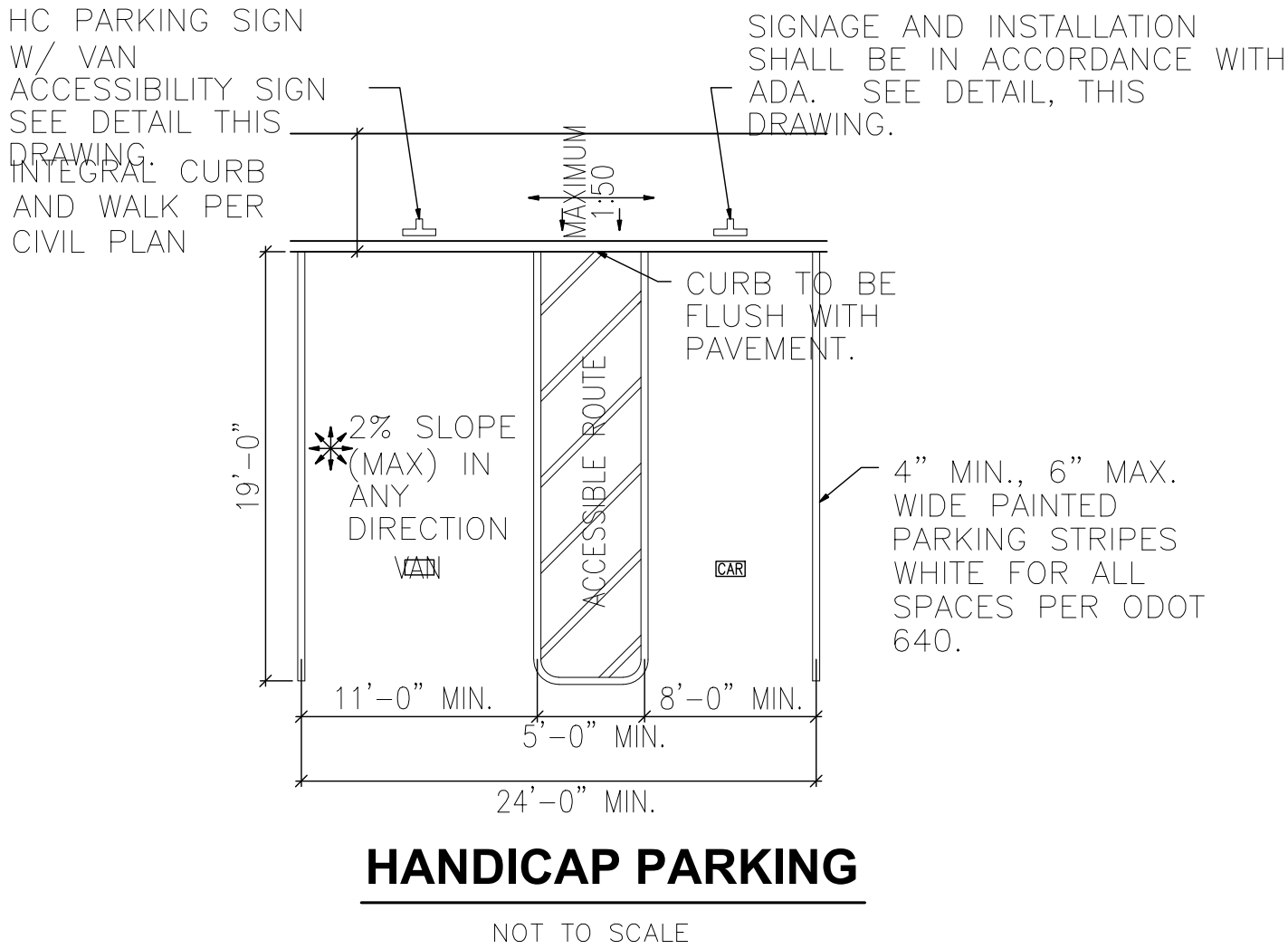
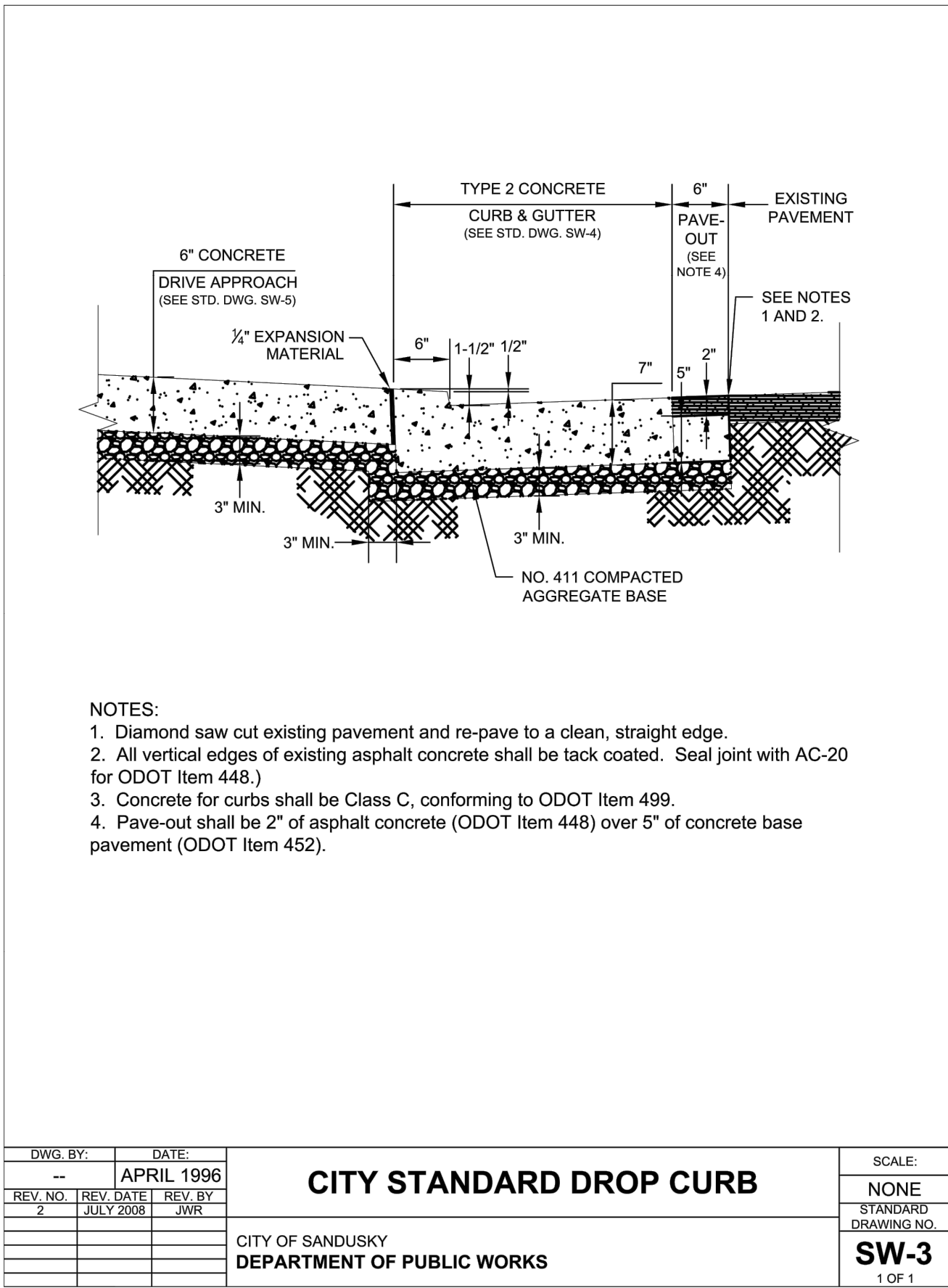
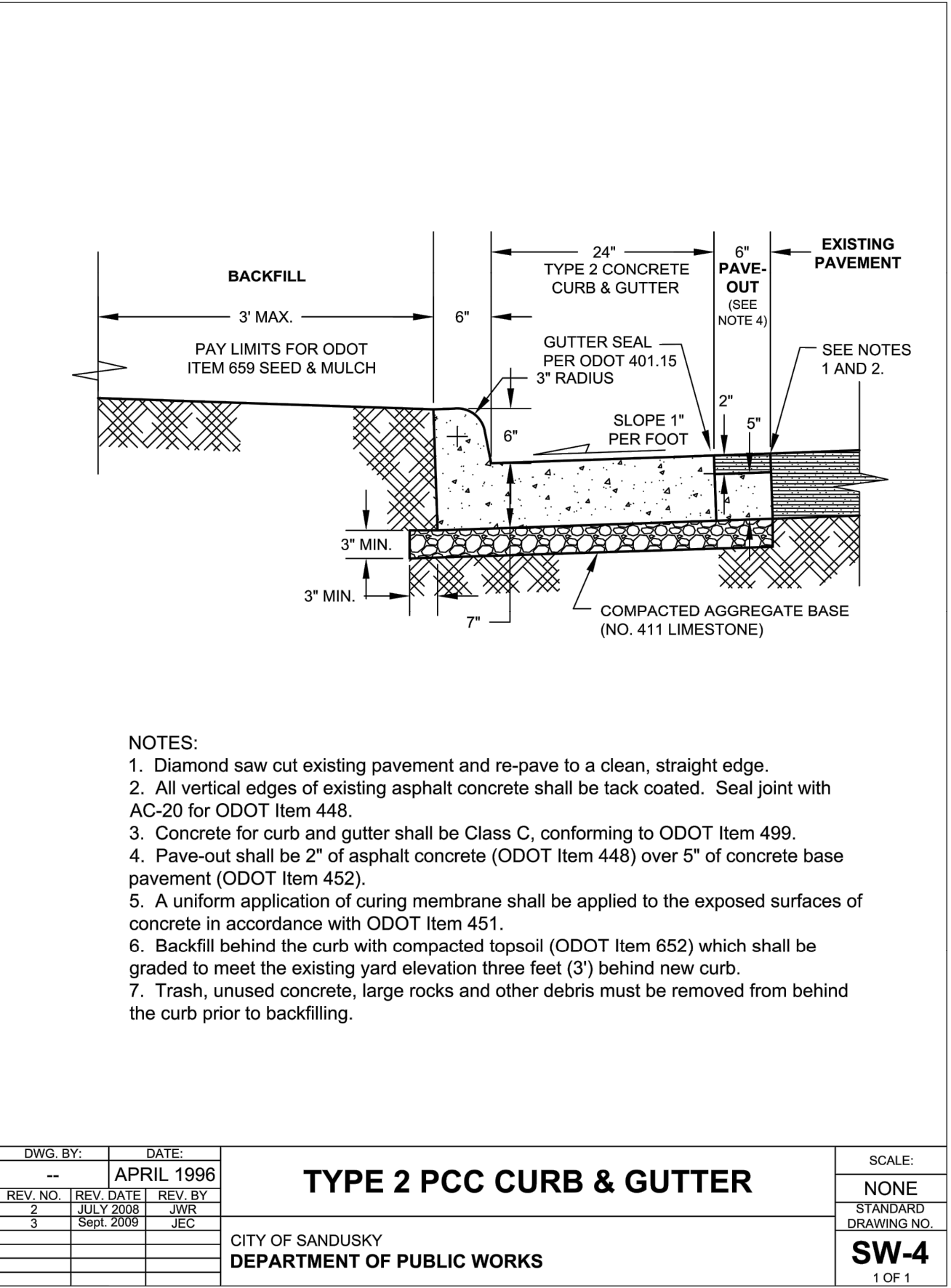
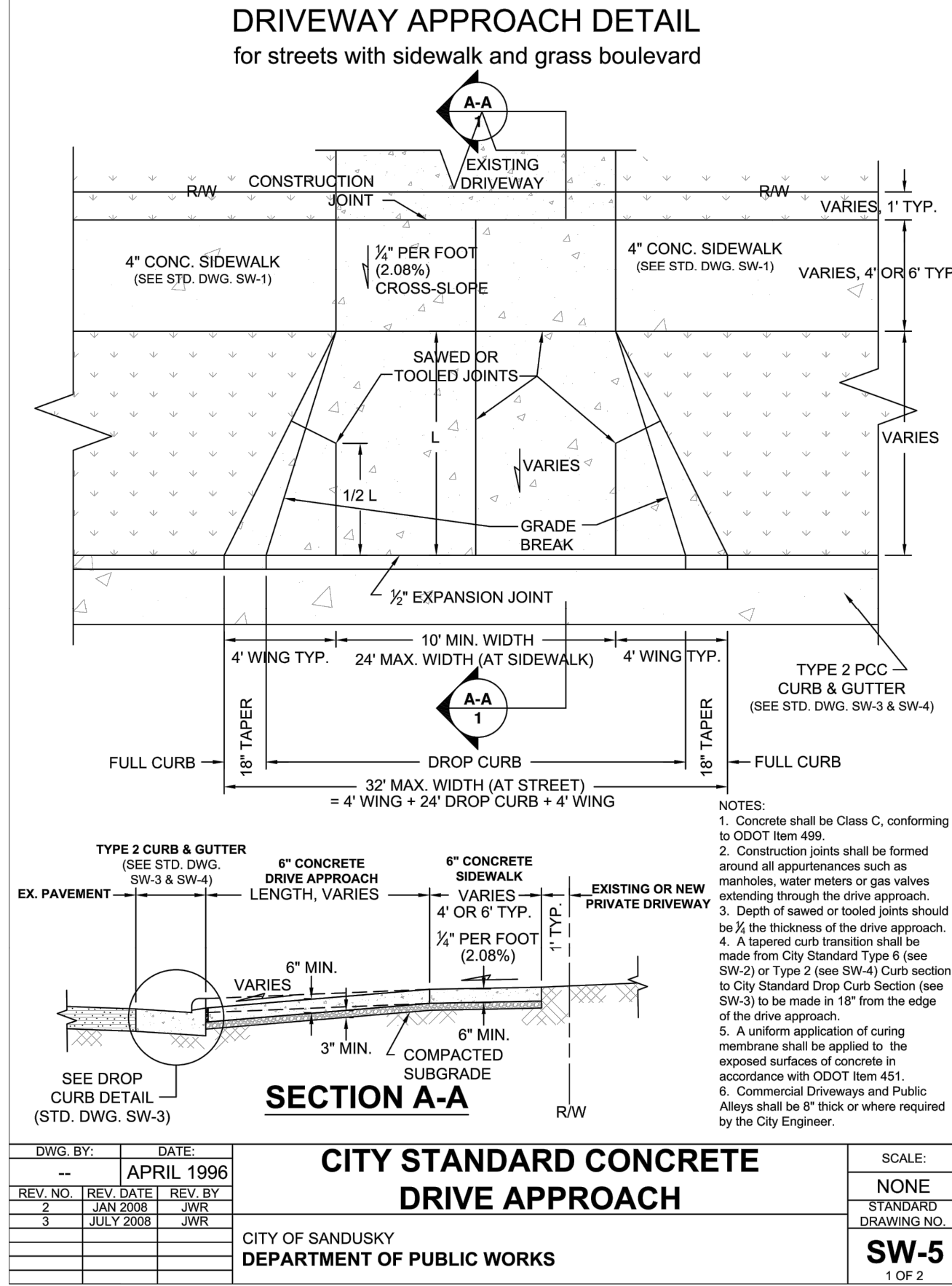
CATCH BASIN OUTLET STRUCTURE CB-1 AND DETENTION CROSS SECTION




CATCH BASIN OUTLET STRUCTURE CB-6 AND DETENTION CROSS SECTION

CATCH BASIN OUTLET STRUCTURE

SCALE: NTS



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PRELIMINARY
PLAN

DESIGN	KMB
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REV/SUBMITTAL	DATE								
BID SET	11/06/20								

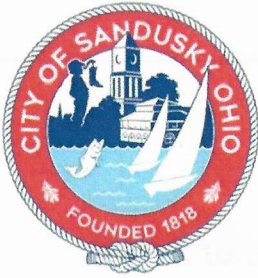
PROJECT NAME:
OFFICE ADDITION
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
GENERAL DETAILS

SHEET NO.:
C5.1

RB PROJECT NO.:
280620



PLANNING COMMISSION

Application for Site Plan Approval

Department of Planning
240 Columbus Ave
Sandusky, Ohio 44870
419.627.5891
www.cityofsandusky.com

APPLICANT/AGENT INFORMATION:

Property Owner Name: Erie County Combined General Health District Board of Health

Property Owner Address: 420 Superior Street
Sandusky, OH 44870

Property Owner Telephone: 419-626-5623

Property Owner Email: Schade Peter (pschade@echdohio.org)

Authorized Agent Name: GREG SCHMID - POLLIST SCHMID D.G.

Authorized Agent Address: 1717 E. PERKINS AVE.
SANDUSKY, OH 44870

Authorized Agent Telephone: 419.625.0009 EXT. 19

Authorized Agent Email: GREG@PSDG.US

LOCATION AND DESCRIPTION OF PROPERTY:

Municipal Street Address: 420 Superior Street

Legal Description of Property (check property deed for description):

OL 51 EAST OF SUPERIOR ST

Parcel Number: 59-62001.00, 59-62003.000,
59-64010.000, 59-62005.000

Zoning District: Public Facilities,
Two Family Resid.

DETAILED SITE INFORMATION:

Land Area of Property: 128,334 S.F. (sq. ft. or acres)
Includes R/W

Total Building Coverage (of each existing building on property):

Building #1: 29,700 (in sq. ft.)

Building #2: _____

Building #3: _____

Additional: _____

Total Building Coverage (as % of lot area): 23.1

Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:

All building area is a medical facility
with some administrative areas

Proposed Building Height (for any new construction): 34.67' from FF

Number of Dwelling Units (if applicable): N/A

Number of Off-Street Parking Spaces Provided: 119 Spaces
7 Handicap

Parking Area Coverage (including driveways): 59,580 (in sq. ft.)

Landscaped Area: 21,275 (in sq. ft.)

PROPOSED DEVELOPMENT (check those that apply):

- ☐ New Construction (new building(s))
☒ Addition to Existing Building(s)
☐ Change of Use in Existing Building(s)

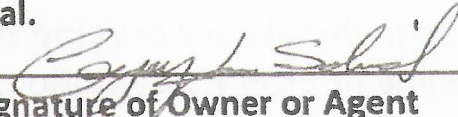
Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):

Proposed construction of a 4,380 s.f. (building footprint) multi-story building addition to the existing county health department complex. The proposed construction will encompass modification and expansion of the existing parking lot, storm sewer construction and construction of a new storm sewer tap.

The proposed development will keep with the same hours of operations as the existing facilities. The proposed addition will encompass a new conference area, medical area, and offices for the staff

APPLICATION AUTHORIZATION:

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.

 11/25/2020
Signature of Owner or Agent Date

PERMISSION TO ACT AS AUTHORIZED AGENT:

As owner of 420 Superior Street (municipal street address of property), I hereby authorize Greg Schind to act on my behalf during the Planning Commission approval process.

 11/25/2020
Signature of Property Owner Date

REQUIRED SUBMITTALS:

15 copies of a site plan/off-street parking plan for property
\$25.00 application fee

APPLICATION MUST BE FILLED OUT COMPLETELY

STAFF USE ONLY:

Date Application Accepted: _____ Permit Number: _____

Date of Planning Commission Meeting: _____

Planning Commission File Number: _____


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