

Planning Commission 240 Columbus Ave Sandusky, Ohio 44870 419.627.5973 www.cityofsandusky.com

Agenda December 21st, 2020 4:30 pm

Meeting via Microsoft Teams & Live Streamed on

www.Youtube.com/CityofSanduskyOH

- 1. Meeting called to order Roll Call
- 2. Approval of minutes from November 16th, 2020 meeting

Adjudication Hearing

- 3. THE CITY OF SANDUSKY HAS SUBMITTED AN APPLICATION FOR AN AMENDMENT TO THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG 1ST AND 2ND STREET: 57-00057.000, 57-00923.000, 57-00924.000, 57-00925.000, 57-00926.000, 57-01977.000, 57-02060.000, 57-02304.000, 57-02507.000, 57-02667.000, 57-02925.000, 57-03247.000, 57-03690.000, 57-03694.000, 57-03695.000, 57-03842.000, 57-03843.000, 57-03844.000, 57-03845.000, 57-03847.000, 57-03848.000, 57-03849.000, 57-03850.000, 57-03859.000, 57-03861.000, 57-03863.000, 57-03961.000, 57-03962.000, 57-04022.000, 57-04024.000, 57-05755.000, 57-05756.000, 57-60034.000.
- 4. BOB WALDOCK, ON BEHALF OF WALDOCK PROPERTIES II, HAS SUBMITTED AN APPLICATION FOR AN AMENDMENT TO THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG FIRST STREET: 57-00925.000, 57-00926.000, 57-00923.000, 57-04024.000, 57-04022.000, 57-0924.000, 57-03694.000, 57-03695.000 (LOT NUMBERS 408, 409, 410, 411, 412, 413, 414, 415).
- D. JEFFERY RENGEL, ON BEHALF OF RLR PROPERTIES, LTD., HAS SUBMITTED AN APPLICATION FOR AN AMENDMENT OT THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG SECOND STREET: 57-03859.000, 57-03861.000, 57-03863.000, 57-03865.000, 57-03865.000, 57-03867.000, 57-03868.000, 57-03869.000, 57-03853.000, 57-03854.000, 57-03855.000 (LOTS 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382) AND THE FOLLOWING PARCELS LOCATED ALONG THIRD STREET: 57-03875.000, 57-03876.000 (LOTS 461, 462, 463).

New Business

6. GREG SCHMID, ON BEHALF OF THE ERIE COUNTY COMBINED GENERAL HEALTH DISTRICT BOARD OF HEALTH, HAS SUBMITTED A SITE PLAN APPLICATION FOR A NEW BUILDING ADDITION AND ADDITIONAL PARKING AREA AT 420 SUPERIOR STREET.

Old Business

7. Meeting Adjourned

NEXT MEETING: Monday January 27th, 2021 at 4:30pm.

Please notify staff at least 2 days in advance of the meeting if you cannot attend. Thank you.

Planning Commission November 16th, 2020 Meeting Minutes

Meeting called to order:

Chairman McGory called the meeting to order at 4:43pm. The meeting took place virtually. The following members were present: David Miller, Mike Zuilhof, and Jim Jackson. Conor Whelan, Mike Meinzer, and Jade Castile were not present. Greg Voltz represented the Planning Department and Brendan Heil represented the Law Department.

Approval of minutes from the October 28th, 2020 meeting:

Mr. Miller made a motion to approve the minutes as submitted and Mr. Jackson seconded the motion. All voting members present were in favor of the motion.

New Business:

1. 2101 Perkins Avenue:

Mr. McGory stated that the first application on the agenda is for an amendment to the zoning map for parcel 58-68009.000 (2101 Perkins Avenue). This rezoning from "PF"/Public Facilities to "LM"/Limited Manufacturing is requested to allow the applicant to utilize the site for a limited manufacturing use. The application was submitted by Rosalyn Ahner, on behalf of RL Ahner Properties, LLC. Mr. Voltz stated that since this is an adjudication hearing, he will ask the Law Director to swear in those wishing to speak on behalf of this application. Mr. Heil then did so. Mr. Voltz stated that he believes the proposal is in line with the City's Bicentennial Vision Comprehensive Plan as a rezoning could offer potential for a growing small business. He then explained that staff recommends approval of the application and that approval would grant a favorable recommendation to City Commission. Mr. Voltz also stated that notices were sent out to surrounding property owners and he did not receive any feedback. Mr. Miller asked if the applicant is the current owner of the property. Mr. Voltz replied no, but that they have permission through a purchase agreement to submit the application. Mr. Miller stated that he will then need to recuse himself from this application. Mr. Zuilhof made a motion to approve the application and Mr. Jackson seconded. All voting members were in favor of the motion except for Mr. Miller who had recused himself. The application was approved.

2. Parcels 60-00286.000 and 60-00285.000 located off Venice Road:

Mr. McGory stated that the second application on the agenda is a site plan application for a drive and storage area at parcels 60-00286.000 and 60-00285.000 located off Venice Road. The application was submitted by Mark Spear, on behalf of NCO Properties, LLC. Mr. Voltz stated that the applicant is proposing to utilize this site long term in a manner that it is currently being used for temporarily. It was set up as the staging area for the current project along Venice Road, which includes new underground infrastructure as well as a portion of the Sandusky Bay Pathway. With this project the applicant is looking to utilize the temporary stone drive and lay down area long term which would require Planning Commission to waive the paving requirements for drives and parking areas. Planning Staff recommends approval of the proposed site plan with the following conditions: 1. If tracking of stone or mud occurs onto the street, the applicant must pave or concrete a portion of the drive so that it no longer occurs, 2. Obtain all applicable permits and approvals through the Building Department, Engineering Department, and/or any other agency, 3. If lighting is installed, it must be reviewed at the staff level and if beyond two lighting fixtures are proposed it will require Planning Commission approval. Mr. Jackson stated that they are dumping thousands of gallons of water every day on Venice Road, so tracking of stone or mud onto the street is currently already occurring. Mr. Speer stated that the amount of water that is being dumped onto the road is for dust control due to all of the truck traffic that the Venice Road project is creating. He stated that there will not be this amount of truck traffic once this project is completed. Mr. McGory moved to approve the application subject to staff conditions and Mr. Zuilhof seconded the motion. With three members for the motion and one member against, the motion passed.

3. 1801 George Street:

Mr. McGory stated that next on the agenda is a site plan application for an additional building at 1801 George Street, submitted by Chris Andrews. Mr. Voltz stated that the property is zoned "GM" General Manufacturing and the existing use will be maintained and expanded. He said that Planning Staff recommends approval with the following conditions:

1. The applicant will need to address comments and concerns of the Engineering Department and the Erie Soil and Water Conservation District before any building permits will be issued, 2. The applicant must provide a lighting cut sheet of the lights that are to be installed and they must be dark sky friendly and only shine to the ground. This is to be approved by Planning Staff, 3. Parcels are combined or altered so that the building does not sit on two separate parcels. Mr. McGory made a motion to approve the application subject to staff conditions and Mr. Miller seconded the motion.

Old Business:

- 1. Bob Waldock, on behalf of Waldock Properties II, has submitted an application for an amendment to the zoning map for the following parcels located along First Street: 57-00925.000, 57-00926.000, 57-00923.000, 57-04024.000, 57-04022.000, 57-0924.000, 57-03694.000, 57-03695.000 (lot numbers 408, 409, 410, 411, 412, 413, 414, 415).
- D. Jeffery Rengel, on behalf of RLR Properties, LTD., has submitted an application for an amendment to the zoning map for the following parcels located along Second Street: 57-03859.000, 57-03861.000, 57-03863.000, 57-03864.000, 57-03865.000, 57-03866.000, 57-03868.000, 57-03869.000, 57-03853.000, 57-03854.000, 57-03855.000 (lots 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382) and the following parcels located along Third Street: 57-03875.000, 57-03876.000 (lot numbers 461, 462, 463).

Mr. Voltz asked if the Planning Commission could remove these two applications from the table in order to resume discussion at next month's meeting. Mr. Zuilhof moved to remove both applications from the table and resume discussion at next month's meeting and Mr. Miller seconded the motion. All voting members were in favor.

Next Meeting:	
December 21 st , 2020	
Meeting Adjourned:	
Mr. Miller moved to adjourn and the meeting and Mr. Ja	ckson seconded. All voting members were in favor and the
meeting ended at 5:55pm.	
Approved:	
Kristen Barone, Clerk	Pete McGory, Chairman

PLANNING COMMISSION REPORT

APPLICATION FOR AN AMENDMENT TO THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG 1ST AND 2ND STREET: 57-00057.000, 57-00923.000, 57-00924.000, 57-00925.000, 57-00926.000, 57-01977.000, 57-02060.000, 57-02304.000, 57-02507.000, 57-02667.000, 57-02925.000, 57-03247.000, 57-03690.000, 57-03694.000, 57-03695.000, 57-03842.000, 57-03843.000, 57-03844.000, 57-03845.000, 57-03847.000, 57-03848.000, 57-03849.000, 57-03850.000, 57-03859.000, 57-03861.000, 57-03863.000, 57-03961.000, 57-03962.000, 57-04022.000, 57-04024.000, 57-05755.000, 57-05756.000, 57-060034.000.

Reference Number: PRZ20-0004

Date of Report: December 16, 2020

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

The City of Sandusky is requesting the rezoning of property from R1-40 -Single-Family Residential to CR Commercial Recreation. The following information is relevant to this application:

Applicant: City of Sandusky

420 Superior Street Sandusky, Ohio 44870

Site Location: LOTS 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422,

423, 424, 431, 432, 433, 434, 435, 436, 437, 438, 439, 584, 585, 586, 596, 597,

599, 600, 601, 602, 603, 604 on First Street and Second Street.

Current Zoning: "R1-40" Single-Family Residential

Surrounding Zoning: North- "R1-40" Single-Family Residential District and "CR" Commercial

Recreation / Use: Residential and storage

East- "R1-40" Single-Family Residential District and "CR" Commercial

Recreation / Use: Cedar Point Dormitories

South- "R1-40" Single-Family Residential District /Use: Vacant and

Residential

West- "R1-40" Single-Family Residential District / Use: Residential

Existing Use: Residential and Vacant Land

Proposed Zoning: "CR" Commercial Recreation

Applicable Plans & Regulations: City of Sandusky Bicentennial Comprehensive Plan

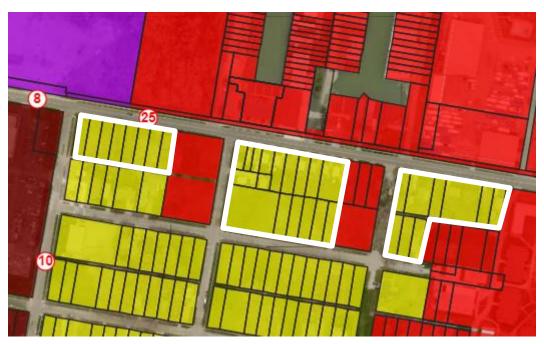
City of Sandusky Planning and Zoning Code Chapters:

1129 Residential Districts1137 Commercial Districts

SITE DESCRIPTION

The subject properties are currently located within an R1-40 Single-Family Residential District. The subject property is adjacent to a R1-40 Single Family Residential District on two sides and near other CR Commercial Recreation Districts. The parcels of the subject properties are pointed out:

Subject Parcels Outlined in White (Top) and Blue (Bottom):





Photos of various properties

Looking Northwest on 2nd Street near unimproved Austin Street



First Street near Cedar Point Dorm exit looking West



Looking Southeast at the intersection of First Street and Farwell Street



PLANNING DEPARTMENT COMMENTS

The lots are mostly adjacent to other R1-40 residential districts, and across the street or adjacent to some parcels previously rezoned to Commercial Recreation district, which are being used primarily as private storage or still vacant land.

According to the City's Bicentennial Vision Comprehensive Plan, the vacant land in the eastern neighborhoods along First Street are called to be residential stabilization and infill and mixed-use infill. Since the adoption of that plan, there have been proposed residential projects, as well as proposed investments in infrastructure such as the Sandusky Bay Pathway. The city has also implemented a residential tax abatement program. The plan described this area as a great opportunity for residential development within close proximity of recreation areas.

The Bicentennial Comprehensive Plan outlines a number of priorities for the eastern neighborhoods. Some of the priorities related to this site are:

- 1) Creation of the Sandusky Bay Pathway multi-purpose trail along First Street.
- 2) Redevelop vacant land and infill to extend and stabilize single family neighborhoods.
- 3) Target areas around First Street for residential stabilization and infill and mixed-use residential development.

When Staff received the two rezoning applications for this area in July of 2020, we received feedback from residents and owners in the area that had concerns with a potential rezoning. With those comments in mind, and reasons discussed later in this report we wanted to take a holistic look and approach at the entire area. Staff requested the items be tabled at at the July 2020 meeting so that we could gain more feedback from the residents in the neighborhood. In October of 2020 Staff walked around the neighborhood and knocked on doors to discuss the potential rezoning with neighbors. Most people along 1st and 2nd Street did not answer the doors but notes were left requesting them to call staff to discuss. Staff did have an opportunity to talk to people along 3rd Street at the time. In these discussions it was evident that these homeowners take deep pride in their house and neighborhood and were not in favor of a rezoning that could impact.

Planning Commission may recall that applications for parcels in this area previously came for a rezoning in 2018-2019. At that time Planning Commission had requested that staff gather additional information regarding the area in the immediate vicinity of the subject parcels. It was determined about 25% of the housing units on First and Second Streets to the east of Farwell are owner-occupied. Staff at that time had concerns about how a change to Commercial Recreation zoning would impact the existing residents in this neighborhood. Commercial Recreation allows for the following uses:

- (1) One- and two-family dwellings, boathouses, motels;
- (2) The following amusement establishments, whether open or enclosed:
 - A. Beaches and swimming pools, with accessory bath houses and locker rooms;
 - B. Manufacturing, rental, repair, and storage of boats, marinas; sale of live bait for fishing;
 - C. Hunting and fishing clubs, shooting ranges;
 - D. Arenas, auditoriums;
 - E. Golf courses, driving ranges;
 - F. Riding academies, stables, race tracks;
 - G. Assembly and meeting halls, bowling alleys, dance halls, skating rinks.
 - H. All retail stores, services and offices as permitted in General Business Districts.
 - I. Transient Occupancy.

As it states under section G, Commercial Recreation zoning districts allow for uses that are permitted in General Business Districts, which thus also allows for uses in Roadside and Local Business districts. This would allow for by-right development of many various uses, some of which could negatively impact the surrounding single-family residences. Even though the land to the north of First Street is zoned as Commercial Recreation, it does not immediately adjoin the subject parcels as it is separated by First Street, and the current use in that part of the Commercial Recreation district is residential boathouses.

Staff has also reexamined the City's Bicentennial Vision Comprehensive Plan as it relates to this area. The plan often mentions the opportunities of the redevelopment of land along the First Street corridor, particularly pointing out its advantages of being in close proximity to Cedar Point. The plan touts this neighborhood as being one of the largest redevelopment opportunities in the city. Mixeduse development is called for on Cedar Point Drive, along with areas slightly to the east on First Street. Beyond that, the plan states the city should "redevelop vacant land and infill to extend and stabilize single family neighborhoods" for the area south of First Street and to "develop waterfront residential on former industrial sites while maintaining and/or creating public access..." for the area on the north side of First Street.

This residential section of the city has had many challenges over the past few decades, and little residential development has taken place in recent years. However, the planned investments of the Sandusky Bay Pathway and other private investments, along with the recent implementation of Sandusky's residential tax abatement program, staff believes that this neighborhood could be well-poised for residential development in the future. This has become even more evident with the Planned Unite Development that is proposed to the Northwest of the proposed rezoning location. The area's proximity to Cedar Point and the waterfront also present it with many opportunities. Staff believes that the land along the First Street Corridor should be developed in line with the goals laid out in the Bicentennial Vision Comprehensive Plan and that development here should not negatively impact the existing residents in the neighborhood.

Chapter 1113 Amendments, of the Zoning Code states that the Zoning Map may be amended periodically in order to keep it abreast of new zoning techniques, as well as when the following general conditions arise:

- (1) Whenever a general hardship prevails throughout a given district;
- (2) Whenever a change occurs in land use, transportation, or other sociological trends, either within or surrounding the community; and
- (3) Whenever extensive developments are proposed that do not comply but would be in the public interest.

Understanding the goals set for this area by the city's Comprehensive Plan and the reasons previously stated in this report staff believes the rezoning could satisfy the above conditions. Staff believes the rezoning of these parcels between 1st Street and 2nd Street could create an opportunity for investment that could attract new infill development further south into the neighborhood. Commercial Recreation also still permits single-family residential and permits transient rental.

However, staff believes there will need to be precautions put in place to limit the type of uses permitted in this area to ensure that future development in this area does continue to be a contribution to the area and not a detriment. Types of development that staff believes would not be ideal would include boat storage buildings, gas stations, and other developments that would prohibit residential infill on the interior of this neighborhood south of 2nd Street.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed zoning amendment and we have not received objects at the time of writing the report.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

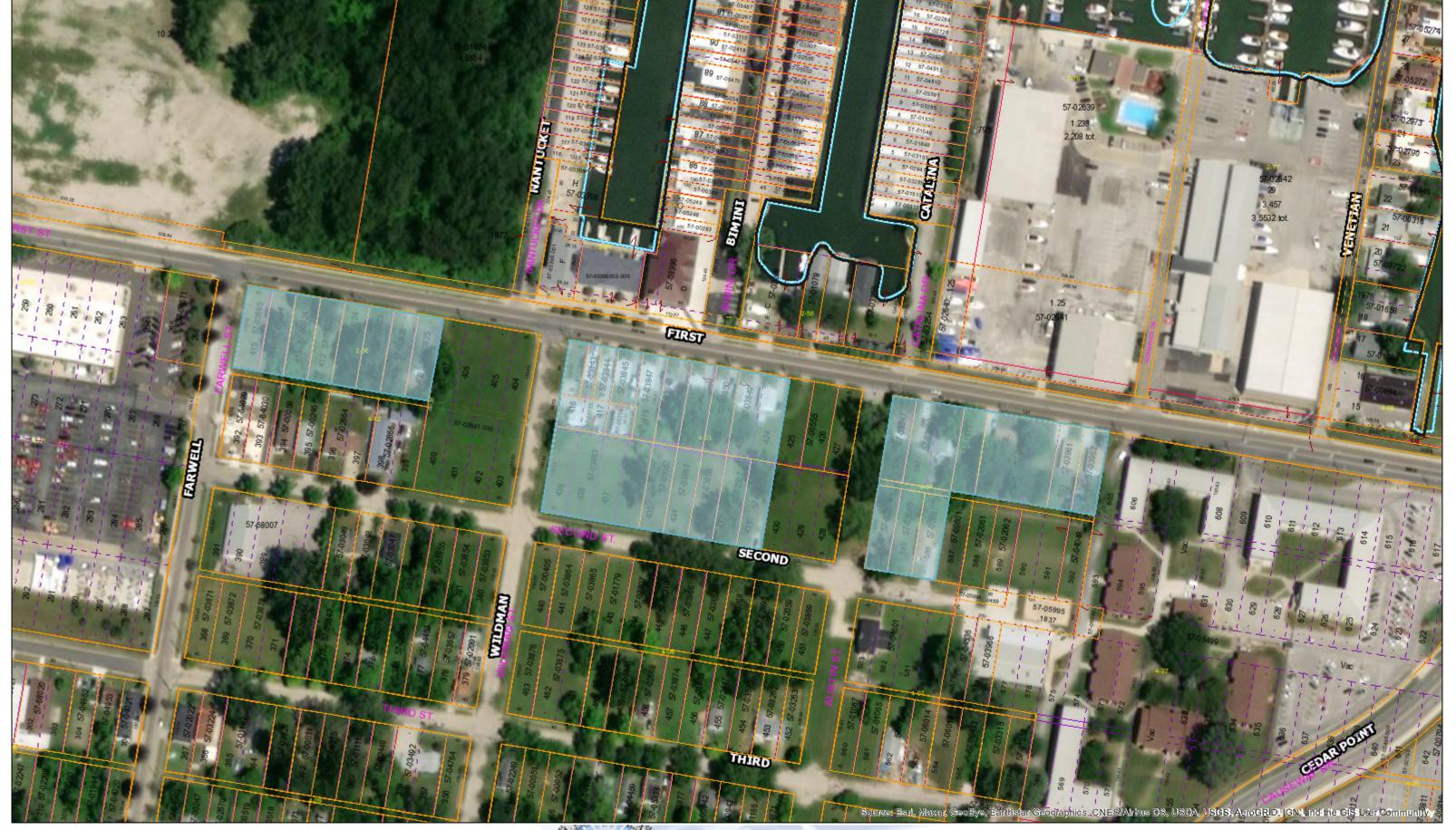
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

CONCLUSION/RECOMMENDATION

In conclusion, staff recommends the approval of the proposed amendment to the Zone Map for the above referenced parcels from "R1-40" Single Family Residential to "CR" Commercial Recreation.

ArcGIS WebMap





Date: 12/16/2020

1 inch = 188 feet



Parcel Numbers Legal Descriptions 57-00057.000 435 SECOND ST WOOCKWOOD SUB WH 40'X135' & 5' VAC ALLEY 57-00923.000 410 FIRST WH LOCKWOOD SUBDN 40'X135' 57-00924.000 413 FIRST ST WH 40'X135' 408 FIRST ST WH LOCKWOOD SUB 40'X135' 57-00925.000 57-00926.000 409 FIRST ST WH LOCKWOOD SUB 57-01977.000 599 FIRST STREET WH LOCKWOOD SUB 57-02060.000 585 SECOND ST LOCKWOOD SUB WH 57-02304.000 584 SECOND ST LOCKWOOD SUB WH 40'X135' 57-02507.000 432 SECOND STREET WH LOCKWOOD SUB 40'X135' & VAC ALLEY REAR OF LOT 40X5' 57-02667.000 586 SECOND ST LOCKWOOD SUB WH 40'X135' 57-02925.000 600 601 602 FIRST STREET WH 57-03247.000 596 FIRST STREET WH 40'X135' 57-03690.000 597 FIRST ST LOCKWD SUB 40'X135 598 FIRST ST LOCKWD SUB40'X135' 57-03694.000 414 FIRST ST WH LOCKWOOD SUB 57-03695.000 415 FIRST ST WH LOCKWOOD SUBDN 40'X135' 57-03842.000 416 FIRST ST W 30' OF N 89' PARCEL A 57-03843.000 416 FIRST ST E 10' & W 12' OF 417 OF N 89' PARCEL B 57-03844.000 417 FIRST ST E 28' OF N 89' PARCEL C 418 FIRST ST N 89' PARCEL D 57-03845.000 419 FIRST ST INCL PTVAC ALLEY EXW4' OF S56.63' PARCEL G 57-03847.000 57-03848.000 420 FIRST ST LOCKWD SUB W 40X135'& VAC ALLEY REAR OF L 421 423 424 FIRST ST WH LOCKWOOD SUB & VAC ALLEY R OF LOT 57-03849.000 57-03850.000 422 FIRST ST WH 40'X135' VAC ALLEY R OF LOT 57-03859.000 433 SECOND ST W 40'X 135' VACATED ALLEY & VAC ALLEY REAR 434 SECOND ST LOCKWOOD SUB WH & VAC ALLEY REAR OF LOT 57-03861.000 436 437 438 439 SECOND ST WH LOCKWD SUB VAC ALLEY R 57-03863.000 57-03961.000 603 FIRST ST WH 57-03962.000 604 FIRST ST WH 57-04022.000 412 FIRST ST WH 57-04024.000 411 FIRST ST WH 40'X135' 57-05755.000 416-417 FIRST ST INCL PTVAC ALLEY PCL E 57-05756.000 418-FIRST ST S 46.63 INC PT OF VACALLEY-419FIRST ST ETC PARCEL F 57-60034.000 431 SECOND ST LOCKWOOD SUB

PLANNING COMMISSION REPORT

APPLICATION FOR MAP AMENDMENT OT THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG FIRST STREET: 57-00925.000, 57-00926.000, 57-00923.000, 57-04024.000, 57-04022.000, 57-00924.000, 57-03694.000, 57-03695.000 (LOTS: 408, 409, 410, 411, 412, 413, 414, 415)

Reference Number: PRZ20-0002

Date of Report: July 15, 2020

Updated Report: December 16, 2020

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

Bob Waldock, as an authorized agent of Waldock Properties II Ltd., has applied for a rezoning of property from R1-40/Single-Family Residential to CR/Commercial Recreation. The following information is relevant to this application:

Applicant: Waldock Properties II

PO Box 1489

Sandusky, Ohio 44870-1489

Authorized Agent: Bob Waldock

PO Box 1489

Sandusky, Ohio 44870-1489

Site Location: LOTS 408, 409, 410, 411, 412, 413, 414, 415 located along First Street between

Farwell Street and Wildman Street.

Current Zoning: "R1-40" Single-Family Residential

Surrounding Zoning: North-"CR" Commercial Recreation / Use: Vacant but residential developed

proposed

East- "CR" Commercial Recreation / Use: Personal Storage

South- "R1-40" Single-Family Residential District / Use: Residential

West- "CS" Commercial Service / Use: Manufacturing

Existing Use: Vacant Lots

Proposed Zoning: "CR" Commercial Recreation

Applicable Plans & Regulations: City of Sandusky Bicentennial Comprehensive Plan

City of Sandusky Planning and Zoning Code Chapters:

1129 Residential Districts1137 Commercial Districts

SITE DESCRIPTION

The subject properties are currently located within an R1-40 Single-Family Residential District. The subject property is adjacent to a "R1-40" Single Family Residential District to the south "CR" Commercial Recreation District to the north and east and "CS" Commercial Service District to the west. The parcels of the subject properties are pointed out:

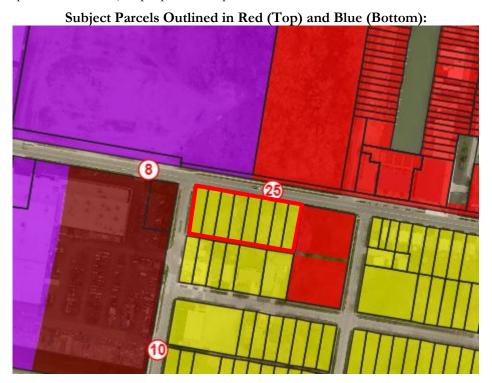




Photo of site



PLANNING DEPARTMENT COMMENTS

The lots are mostly adjacent to other R1-40 residential districts, adjacent to some parcels previously rezoned to Commercial Recreation district, which is now being developed as private personal storage, and to the south of a proposed residential Planned Unit Development. These parcels are owned by the same applicant of the Planned Unit Development proposed to the north of the site.

According to the City's Bicentennial Vision Comprehensive Plan, the vacant land in the eastern neighborhoods along First Street are called to be residential stabilization and infill and mixed-use infill. Since the adoption of that plan, there have been proposed residential projects, as well as proposed investments in infrastructure such as the Sandusky Bay Pathway. The city has also implemented a residential tax abatement program. The plan described this area as a great opportunity for residential development within close proximity of recreation areas.

The Bicentennial Comprehensive Plan outlines a number of priorities for the eastern neighborhoods. Some of the priorities related to this site are:

- 1) Creation of the Sandusky Bay Pathway multi-purpose trail along First Street.
- 2) Redevelop vacant land and infill to extend and stabilize single family neighborhoods.
- 3) Target areas around First Street for residential stabilization and infill and mixed-use residential development.

An application was previously came to the Planning Commission in 2018-2019 to rezone a few parcels in this general area. At that time the Planning Commission had requested that staff gather additional information regarding the area in the immediate vicinity of the subject parcels. It was determined about 25% of the housing units on First and Second Streets to the east of Farwell are owner-occupied. Staff at that time had concerns about how a change to Commercial Recreation zoning would impact the existing residents in this neighborhood. Commercial Recreation allows for the following uses:

- (1) One- and two-family dwellings, boathouses, motels;
- (2) The following amusement establishments, whether open or enclosed:
 - A. Beaches and swimming pools, with accessory bath houses and locker rooms;
 - B. Manufacturing, rental, repair, and storage of boats, marinas; sale of live bait for fishing;
 - C. Hunting and fishing clubs, shooting ranges;
 - D. Arenas, auditoriums:
 - E. Golf courses, driving ranges;
 - F. Riding academies, stables, race tracks;
 - G. Assembly and meeting halls, bowling alleys, dance halls, skating rinks.
 - H. All retail stores, services and offices as permitted in General Business Districts.
 - I. Transient Occupancy.

As it states under section G, Commercial Recreation zoning districts allow for uses that are permitted in General Business Districts, which thus also allows for uses in Roadside and Local Business districts. This would allow for by-right development of many various uses, some of which could negatively impact the surrounding single-family residences. Even though the land to the north of First Street is zoned as Commercial Recreation, it does not immediately adjoin the subject parcels as

it is separated by First Street, and the current use in that part of the Commercial Recreation district is residential boathouses.

Staff has also reexamined the City's Bicentennial Vision Comprehensive Plan as it relates to this area. The plan often mentions the opportunities of the redevelopment of land along the First Street corridor, particularly pointing out its advantages of being in close proximity to Cedar Point. The plan touts this neighborhood as being one of the largest redevelopment opportunities in the city. Mixeduse development is called for on Cedar Point Drive, along with areas slightly to the east on First Street. Beyond that, the plan states the city should "redevelop vacant land and infill to extend and stabilize single family neighborhoods" for the area south of First Street and to "develop waterfront residential on former industrial sites while maintaining and/or creating public access..." for the area on the north side of First Street.

This residential section of the city has had many challenges over the past few decades, and little residential development has taken place in recent years. However, the planned investments of the Sandusky Bay Pathway and other private investments, along with the recent implementation of Sandusky's residential tax abatement program, staff believes that this neighborhood could be well-poised for residential development in the future. The area's proximity to Cedar Point and the waterfront also present it with many opportunities. Staff believes that the land along the First Street Corridor should be developed in line with the goals laid out in the Bicentennial Vision Comprehensive Plan and that development here should not negatively impact the existing residents in the neighborhood.

Chapter 1113 Amendments, of the Zoning Code states that the Zoning Map may be amended periodically in order to keep it abreast of new zoning techniques, as well as when the following general conditions arise:

- (1) Whenever a general hardship prevails throughout a given district;
- (2) Whenever a change occurs in land use, transportation, or other sociological trends, either within or surrounding the community; and
- (3) Whenever extensive developments are proposed that do not comply but would be in the public interest.

Understanding the goals set for this area by the city's Comprehensive Plan and the reasons previously stated in this report staff believes the rezoning could satisfy the above conditions. However, staff believes there will need to be precautions put in place to limit the type of uses permitted in this area so as to ensure that future development in this area does continue to be a contribution to the area and not a detriment. Types of development that staff believes would not be ideal would include developments such as gas stations, automotive repair shops, drive through fast food, etc...

This application was incorporated into the City of Sandusky's rezoning proposal.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed zoning amendment and we have not received objects at the time of writing the report.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

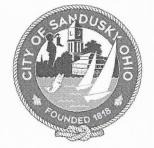
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

CONCLUSION/RECOMMENDATION

Note: The above-mentioned parcels were included in the City of Sandusky's rezoning application.

In conclusion, staff continues recommends the approval of the proposed amendment to the Zone Map for the above referenced parcels from "R1-40" Single Family Residential to "CR" Commercial Recreation.



PLANNING COMMISSION

Application for Zoning Map Amendment

Department of Planning 240 Columbus Ave Sandusky, Ohio 44870 419.627.5891 www.cityofsandusky.com

APPLICANT/AGENT INFORMATION	:
Property Owner Name:	Waldock Properties I
	Po Box 1489
	Sanduck, OH 44871-1489
Property Owner Telephone:	419-626-1979
Email	
Authorized Agent Name:	Bob WAldock
Authorized Agent Address:	Pd Box 1489
_	Sandusky OH 44771-1489
Authorized Agent Telephone:	419, 626-1979
Email	NI. WALdock Ca-treatty. Com
LOCATION AND DESCRIPTION OF PI	ROPERTY: please see Attached:
Municipal Street Address:	
Legal Description of Property (chec	k property deed for description):
Parcel Number:	Zoning District: Residential-single family

APPLICATION #PC-003

UPDATED 07/23/2019 Page 1 of 3

DETAILED SITE INFORMATION:
Land Area of Property: Contined 43, 401.6 (sq. ft. or acres) (\$1015 40 x 135.63)
Total Building Coverage (of each existing building on property): Building #1: (in sq. ft.) Building #2: Building #3: Additional:
Total Building Coverage (as % of lot area):
Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:
Proposed Building Height (for any new construction):
Number of Dwelling Units (if applicable):
Number of Off-Street Parking Spaces Provided:
Parking Area Coverage (including driveways): (in sq. ft.)
Landscaped Area: 43, 401.6 (in sq. ft.)
Requested Zoning District Classification:Commercial Recreation

APPLICATION AUTHORIZATION:
If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal. OC/25/2020
Signature of Owner or Agent Date
PERMISSION TO ACT AS AUTHORIZED AGENT:
As owner of WALLOCK Properties Theresis and street alleges
As owner of WAldock Properties I (municipal street address of property), I hereby authorize Bob WALDOCK to act on my behalf during the Planning
Commission approval process.
Signature of Property Owner Date
Signature of Property Owner Date
REQUIRED SUBMITTALS:
15 copies of a site plan/off-street parking plan for property
1 copy of the deed or legal description for property
\$300.00 application fee
STAFF USE ONLY:
Date Application Accepted: Permit Number:
Date of Planning Commission Meeting:
Planning Commission File Number:

Application for Waldock Properties, II

I am asking the Planning Commission to consider changing the zoning on these 8 lots in order to be consistent with the recent change to the 8 lots to the east and in order to spur development on First Street. I do not personally believe these lots should be developed as single-family lots.

I am asking that the zoning be changed from residential single family to commercial recreation.

Legal description:

Situated in the City of Sandusky, County of Erie and State of Ohio: Being Lot Number four hundred eight (408,) Lot Number four hundred nine (409,) Lot Number four hundred ten (410,) Lot Number four hundred eleven (411,) Lot Number four hundred twelve (412,) Lot Number hour hundred thirteen (413,) Lot Number four hundred fourteen (414,) and Lot Number four hundred fifteen (415) on First Street in The Sandusky Business Men's Association Lockwood Subdivision, as per plat recorded in Volume 6 of Plats, page 37 and 38.

Parcel Number
57-00925
57-00926
57-00923
57-04024
57-04022
57-00924
57-03694
57-03695

PLANNING COMMISSION REPORT

APPLICATION FOR MAP AMENDMENT OT THE ZONING MAP FOR THE FOLLOWING PARCELS LOCATED ALONG SECOND STREET: 57-03859.000, 57-03861.000, 57-03863.000, 57-03864.000, 57-03865.000, 57-03866.000, 57-03867.000, 57-03868.000, 57-03853.000, 57-03854.000, 57-03855.000 (LOTS 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382) AND THE FOLLOWING PARCELS LOCATED ALONG THIRD STREET: 57-03875.000, 57-03876.000 (LOTS 461, 462, 463).

Reference Number: PRZ20-0001

Date of Report: July 15, 2020

Updated Report: December 16, 2020

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

D. Jeffrey Rengel, as an authorized agent of RLR Properties Ltd., has applied for a rezoning of property from R1-40/Single-Family Residential to CR/Commercial Recreation. The following information is relevant to this application:

Applicant: D. Jeffrey Rengel

421 Jackson Street Sandusky, Ohio 44870

Site Location: LOTS 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382.

461, 462, 463 located along Second Street and Third Street between

undeveloped Austin Street and Farwell Street.

Current Zoning: "R1-40" Single-Family Residential

Surrounding Zoning: North- "R1-40" Single-Family Residential District and "CR" Commercial

Recreation / Use: Residential and storage

East- "R1-40" Single-Family Residential District and "CR" Commercial

Recreation / Use: Residential and Vacant Land

South- "R1-40" Single-Family Residential District /Use: Vacant and

Residential

West- "R1-40" Single-Family Residential District / Use: Residential

Existing Use: Vacant Lots

Proposed Zoning: "CR" Commercial Recreation

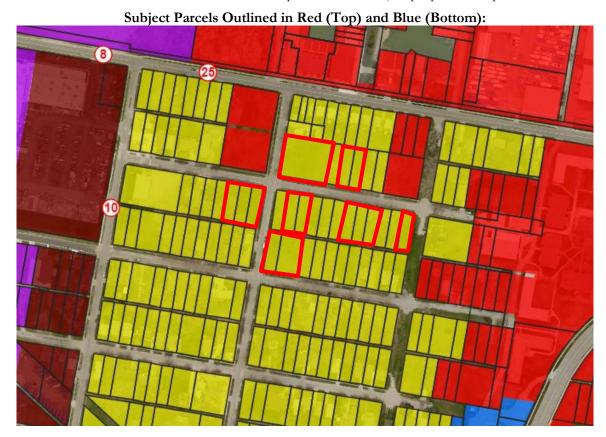
Applicable Plans & Regulations: City of Sandusky Bicentennial Comprehensive Plan

City of Sandusky Planning and Zoning Code Chapters:

1129 Residential Districts1137 Commercial Districts

SITE DESCRIPTION

The subject properties are currently located within an R1-40 Single-Family Residential District. The subject property is adjacent to a R1-40 Single Family Residential District on three sides and near other CR Commercial Recreation District. The parcels of the subject properties are pointed out:





Photos of various properties

Looking Northwast on Second Street by Austin Street



Intersection of Wildman Street and Second Street looking East



Looking Northeast at the intersection of Third Street and Wildman Street



PLANNING DEPARTMENT COMMENTS

The lots are mostly adjacent to other R1-40 residential districts, and across the street or adjacent to some parcels previously rezoned to Commercial Recreation district, which are being used primarily as private storage or still vacant land.

According to the City's Bicentennial Vision Comprehensive Plan, the vacant land in the eastern neighborhoods along First Street are called to be residential stabilization and infill and mixed-use infill. Since the adoption of that plan, there have been proposed residential projects, as well as proposed investments in infrastructure such as the Sandusky Bay Pathway. The city has also

implemented a residential tax abatement program. The plan described this area as a great opportunity for residential development within close proximity of recreation areas.

The Bicentennial Comprehensive Plan outlines a number of priorities for the eastern neighborhoods. Some of the priorities related to this site are:

- 1) Creation of the Sandusky Bay Pathway multi-purpose trail along First Street.
- 2) Redevelop vacant land and infill to extend and stabilize single family neighborhoods.
- 3) Target areas around First Street for residential stabilization and infill and mixed-use residential development.

When this applicant previous came to rezone a few parcels in this general area in 2018-2019 the Planning Commission had requested that staff gather additional information regarding the area in the immediate vicinity of the subject parcels. It was determined about 25% of the housing units on First and Second Streets to the east of Farwell are owner-occupied. Staff at that time had concerns about how a change to Commercial Recreation zoning would impact the existing residents in this neighborhood. Commercial Recreation allows for the following uses:

- (1) One- and two-family dwellings, boathouses, motels;
- (2) The following amusement establishments, whether open or enclosed:
 - A. Beaches and swimming pools, with accessory bath houses and locker rooms;
 - B. Manufacturing, rental, repair, and storage of boats, marinas; sale of live bait for fishing;
 - C. Hunting and fishing clubs, shooting ranges;
 - D. Arenas, auditoriums;
 - E. Golf courses, driving ranges;
 - F. Riding academies, stables, race tracks;
 - G. Assembly and meeting halls, bowling alleys, dance halls, skating rinks.
 - H. All retail stores, services and offices as permitted in General Business Districts.
 - I. Transient Occupancy.

As it states under section G, Commercial Recreation zoning districts allow for uses that are permitted in General Business Districts, which thus also allows for uses in Roadside and Local Business districts. This would allow for by-right development of many various uses, some of which could negatively impact the surrounding single-family residences. Even though the land to the north of First Street is zoned as Commercial Recreation, it does not immediately adjoin the subject parcels as it is separated by First Street, and the current use in that part of the Commercial Recreation district is residential boathouses.

Staff has also reexamined the City's Bicentennial Vision Comprehensive Plan as it relates to this area. The plan often mentions the opportunities of the redevelopment of land along the First Street corridor, particularly pointing out its advantages of being in close proximity to Cedar Point. The plan touts this neighborhood as being one of the largest redevelopment opportunities in the city. Mixeduse development is called for on Cedar Point Drive, along with areas slightly to the east on First Street. Beyond that, the plan states the city should "redevelop vacant land and infill to extend and stabilize single family neighborhoods" for the area south of First Street and to "develop waterfront residential on former industrial sites while maintaining and/or creating public access…" for the area on the north side of First Street.

This residential section of the city has had many challenges over the past few decades, and little residential development has taken place in recent years. However, the planned investments of the

Sandusky Bay Pathway and other private investments, along with the recent implementation of Sandusky's residential tax abatement program, staff believes that this neighborhood could be well-poised for residential development in the future. The area's proximity to Cedar Point and the waterfront also present it with many opportunities. Staff believes that the land along the First Street Corridor should be developed in line with the goals laid out in the Bicentennial Vision Comprehensive Plan and that development here should not negatively impact the existing residents in the neighborhood.

Chapter 1113 Amendments, of the Zoning Code states that the Zoning Map may be amended periodically in order to keep it abreast of new zoning techniques, as well as when the following general conditions arise:

- (1) Whenever a general hardship prevails throughout a given district;
- (2) Whenever a change occurs in land use, transportation, or other sociological trends, either within or surrounding the community; and
- (3) Whenever extensive developments are proposed that do not comply but would be in the public interest.

Understanding the goals set for this area by the city's Comprehensive Plan and the reasons previously stated in this report staff believes the rezoning could satisfy the above conditions. However, staff believes there will need to be precautions put in place to limit the type of uses permitted in this area so as to ensure that future development in this area does continue to be a contribution to the area and not a detriment. Types of development that staff believes would not be ideal would include developments such as gas stations, automotive repair shops, drive through fast food, etc...

After the outreach and further research, Staff believes that while the application could satisfy the above conditions for a rezoning it would not be in the best interest of the neighborhood. By encroaching commercial uses inside a primarily residential neighborhood, it could inhibit further single-family residential infill.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed zoning amendment and we have not received objects at the time of writing the report.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

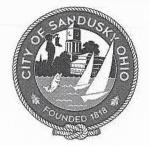
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the proposed zone map amendment and we have not received objects at the time of writing the report.

CONCLUSION/RECOMMENDATION

In conclusion, staff continues recommends the approval of the proposed amendment to the Zone Map for the above referenced parcels from "R1-40" Single Family Residential to "CR" Commercial Recreation.

In conclusion, staff does not recommend the approval of the proposed amendments to the Zone Map for the above reference parcels from "R1-40" Single-Family Residential to "CR" Commercial Recreation



PLANNING COMMISSION

Application for Zoning Map Amendment

Department of Planning 240 Columbus Ave Sandusky, Ohio 44870 419.627.5891 www.cityofsandusky.com

APPLICANT/AGENT INFORMAT	TON:		
Property Owner Name:	RLR Properties, Ltd.		
Property Owner Address:	421 Jackson Street, Sandusky, OH 44870		
Property Owner Telephone:	419-627-0400 (w); ## 419-239-4360 (cell)		
Email	jrengel@rengellaw.com		
Authorized Agent Name:	D. Jeffery Rengel, Attorney at Law		
Authorized Agent Address:	(same as above)		
	oz ari) <u>devembe Undudica di momayak.</u> <u>(10 xo</u>		
Authorized Agent Telephone:	(same as above)		
Email	(same as above)		
LOCATION AND DESCRIPTION O	F PROPERTY:		
Municipal Street Address:	Second St.reet		
Legal Description of Property (cl	neck property deed for description):		

APPLICATION #PC-003

Parcel Number: ___SEE ATTACHED

UPDATED 07/23/2019 Page 1 of 3

Zoning District:

DETAILED SITE INFORMATION:
Land Area of Property: standard lot size (sq. ft. or acres)
Total Building Coverage (of each existing building on property): Building #1:N/A (in sq. ft.) Building #2: Building #3: Additional:
Total Building Coverage (as % of lot area):
Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space: N/A
The company of the co
Proposed Building Height (for any new construction): N/A
Number of Dwelling Units (if applicable):N/A
Number of Off-Street Parking Spaces Provided: N/A
Parking Area Coverage (including driveways): (in sq. ft.)
Landscaped Area:N/A (in sq. ft.)
Requested Zoning District Classification: CR
MARION AND DESCRIPTION OF PROPERTY.
Special content of the state of
Let a sharp gaman and a sharp

APPLICATION #PC-003

UPDATED 07/23/2019 Page 2 of 3

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by a officer of the corporation under corporate seal.				
Signature of Owner or Agent	<u> </u>	-/- 2020 Date		
PERMISSION TO ACT AS AUTHORIZE	D AGENT:			
As owner of	(municipal street address of property), I here			
autil0112e	to act on my be	half during the Planning		
Commission approval process.		1130.		
Signature of Drawarts 2	athe	APRIL		
Signature of Property Owner		Date		
DECLUDED CLIDA METALLA	2514	YAM		
REQUIRED SUBMITTALS:				
15 copies of a site plan/off-street particles of the deed or legal description \$300.00 application fee	rking plan for property on for property			
STAFF USE ONLY:	0.00			
Date Application Accepted:	Permit Number	00 08ER		
Date of Planning Commission Meeting	ь			

2020 PLANNING COMMISSION MEETING DATES AND FILING DEADLINES

	FILING DEADLINE	MEETING DATE
JANUARY	12/18	1/22
FEBRUARY	1/22	2/26
MARCH	2/26	3/26
APRIL	3/16	4/22
MAY	4/22	5/27
JUNE	5/27	6/24
JULY	6/24	7/22
AUGUST	7/22	8/26
SEPTEMBER	8/26	9/23
OCTOBER	9/23	10/28
NOVEMBER	10/28	11/25
DECEMBER	11/25	12/21

The Planning Commission will typically meet on the fourth Wednesday of every month. The meetings are held in the City Commission Chamber, 240 Columbus Ave at 4:30 p.m. Meeting times, locations, and dates are subject to change with prior notice. Any changes will be posted to the City website. Contact Greg Voltz, Planner, at 419-627-5973 or gvoltz@ci.sandusky.oh.us with any questions.

APPLICATION #PC-003

UPDATED 07/23/2019

Page 4 of 3

Application for Zoning Map Amendment Addendum of RLR Properties, Ltd.

The following are the 18 lot designations to which this Application applies with Permanent Parcel numbers:

Lot#	Permanent Parcel #
433 Second St.	57-03859.000
434 Second St.	57-03861.000
439, 438, 437 & 436 Second St.	57-03863.000
441 Second St.	57-03864.000
442 Second St.	57-03865.000
446 Second St.	57-03866.000
447 Second St.	57-03867.000
448 Second St.	57-03868.000
451 Second St.	57-03869.000
380 Second St.	57-03853.000
381 Second St.	57-03854.000
382 Second St.	57-03855.000
461-462 Third St.	57-03875.000
463 Third St	57-03876.000

The owner seeks re-zoning from R-1 to CR (Commercial Recreational) to comport with nearby CR zoning and because of immediate developer interest in those vacant lots lying east of Wildman Street on the north side of Second Street for boat and RV storage bays with condominiums directly above such storage bays. No interest has been shown by potential purchasers/developers in single lot-single home residential development but, rather, all inquiries have been regarding development requiring multiple contiguous lot acreage.

The owner feels that because this is the only interest that has been shown for these lots (which have been vacant since the founding of the City) that more flexibility in zoning allowances is required. The anticipated use will not result in appreciable increase in traffic or safety issues. Development within a CR zoning classification is in keeping with the area and development trends on the immediate north side of First Street, on the NW corner of Wildman and Second Streets and with recent development in the Third/Fourth Street area by Cedar Fair under CR zoning.



Z

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 433 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37, together with the South 1/2, between the East and West lines of Lot 433 extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublet No. 434 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37, together with the South 1/2 between the East and West lines of Lot 434 extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 436, Second Street, in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37, together with the south 1/2, between the East and West lines of Lot 436, extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 437, Second Street, in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37, together with the south 1/2, between the East and West lines of Lot 436, extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 438, Second Street, in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37, together with the south 1/2, between the East and West lines of Lot 436, extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 439, Second Street, in the

Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37, together with the south 1/2, between the East and West lines of Lot 436, extended Northerly, of a vacated alley.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 441 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 442 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 446 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 447 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 448 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 451 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 380 Second Street in the Sandusky Business Men's Association Subdivision NO.

1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 381 Second Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being Lot 382 Second Street in the Sandusky Business Men's Association Subdivision Number 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 461 Third Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 462 Third Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

Situated in the City of Sandusky, County of Erie and State of Ohio:

Being known as Sublot No. 463 Third Street in the Sandusky Business Men's Association Subdivision No. 1, as recorded in Erie County Plat Volume 6, Page 37.

CITY OF SANDUSKY, OHIO DEPARTMENT OF PLANNING

PLANNING COMMISSION REPORT

APPLICATION FOR SITE PLAN APPROVAL FOR A BUILDING ADDITION AND ADDITIONAL PARKING AREA AT 420 SUPERIOR STREET.

Reference Number: PSPOS20-0015

Date of Report: December 16, 2020

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

Greg Schmid, on behalf of the Erie County Combined General Health District Board of Health, has submitted a site plan application for a new building addition and additional parking area at 420 Superior Street. The following information is relevant to this application:

Applicant: Erie County Combined General Health District Board of Health

420 Superior Street Sandusky, Ohio 44870

Authorized Agent: Greg Schmid

1717 E. Perkins Avenue Sandusky, Ohio 44870

Site Location: 420 Superior Street

Zoning: Primary affected area: "PF" Public Facilities

Other affected areas: "R2F" - Two-Family Residential

Adjacent Zoning: North: "GM" – General Manufacturing

East: "GM" General Manufacturing South: "R2F" Two-Family Residential West: "CR" Commercial Recreation

Existing Uses: Offices and Health Care

Proposed Uses: Offices and Health Care

Additional Parking: 22

Applicable Plans & Regulations:

Sandusky Zoning Code Chapter

Chapter 1149 Site Plan Review & Off-Street Parking

Chapter 1123 Public Facilities District Chapter 1129 Residential Districts

SITE DESCRIPTION

The subject property is Erie County's Health Department and a vital health care service provider for our City. The site is adjacent to a marina, some residential housing to the south and, and near other parcels zoned "PF" – Public Facilities. The area is primarily zoned "PF" Public Facilities District, which permits the following:

1123.02 USE REGULATIONS.

Buildings and land shall be used, and buildings shall be designed, erected, altered, moved or maintained only for the following:

Schedule of Permitted Buildings and Uses for Public Facilities District

Main Buildings and Uses

(a) Governmental: municipal, county, state buildings, and uses for administrative functions.

- (b) Civic: art galleries, libraries, museums, places for public assembly, memorials, monuments, cemeteries.
- (c) Education: primary and secondary schools, colleges, universities (excluding business-colleges.)
- (d) Religious: churches, parochial schools.
- (e) Welfare: general, mental, or special hospitals, health centers or clinics, nursing or convalescing homes, institutions for children and for the aged.
- (f) Recreational: public parks and play- grounds, public harbors, beaches, pools, and golf courses.
- (g) Transportation: railroad and bus passenger stations, airports.

(1980 Code 151.02)

Accessory Buildings and Uses

Public parking areas or storage garage.

Parish houses and residences for custodians or guards.

Refreshment stands designed and located to attract primarily persons using the public facility.

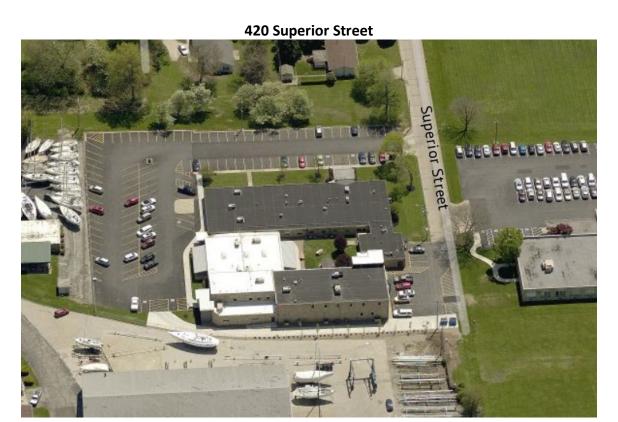
Maintenance and heating facilities.

Bulletin boards as hereinafter regulated.

Recreational area in connection with schools.

Airport hangars.

A picture of the property along with a location map are found below.





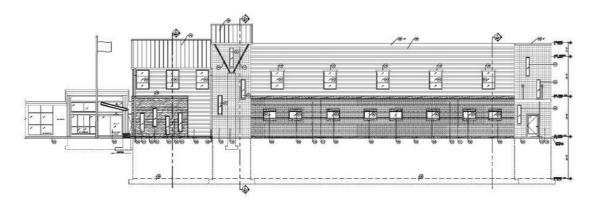
Zone Map – Parcels Indicated





DIVISION OF PLANNING COMMENTS

The applicant is proposing to add an additional building at 420 Superior Street to be used as a new conference area, medical area, and offices for staff. The applicant is also increasing on site parking for the area up to 119 spaces and 7 handicap spaces.



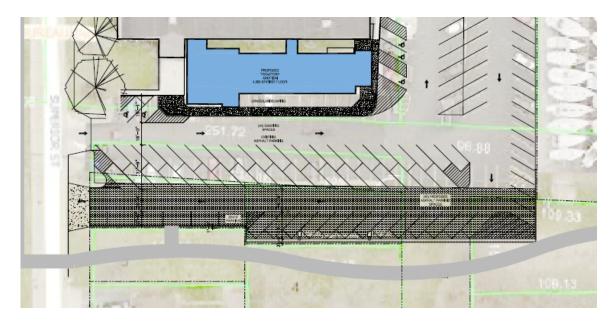


Staff did have general comments about circulation through the site. We ask the applicant to explore switching the entry and exit aisles so that traffic wouldn't have to exit across the north bound travel lane. The applicant said they were comfortable with the site plan circulation as shown. On the supplied drawings the stalls depth are shown as 18' instead of the required 19'. Staff spoke to the applicant and they do intend to install 19' stalls and reduce the aisle widths to make this accommodation to meet code requirements.

The applicant is adding the required two new landscape islands in the new site plan. Right now the site doesn't have any landscaping islands and will offer a location for a couple shade trees.

The applicant is proposing to expand its parking area onto parcels to the south and more city of Right of Way. The right of way improvements are at the risk of the applicant; however, Public Works staff has no issues of this usage at this time. The applicant has submitted an application for a Conditional Use Permit to utilize the properties zoned R2F for a public facilities use for the parking area. This will be heard at the January meeting.

Staff from both Planning and Public Works have been talking to the Health Department for the past year about the Sandusky Bay Pathway, and its potential relation to the Health Department. The applicant did show the pathway on an early version of the site plan shown below, however, this alignment is not completely on Health Department controlled property. The pathway will offer another way for local residents to gain vital medical care without using a vehicle. Multimodal transportation options ultimately lead to a healthier population. The creation of the Sandusky Bay Pathway and other safe multi-modal infrastructure align well with the Health Departments mission. Staff is hopeful that once construction of the pathway occurs the pedestrian accessibility to the site is increased by adding a pedestrian crossing area. Staff would also like to make note that as of right now there doesn't appear to be bicycle parking on site.



Planning Department Staff does request that the applicant provides a detailed landscaping plan for the islands showing the type of tree to be installed and ensuring that it is of a 2" caliper. There does not appear to be any new exterior lighting.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed site plan and the applicant has provided all requested documentation requested by the City Engineer and they have no further concerns regarding this site plan application.



The City Building Official has reviewed the application and has no concerns regarding the proposed site plan.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the application and has no objections to the proposed site plan.

FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the application and has no objections or concerns regarding the site plan application.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends approval of the proposed site plan for 420 Superior Street with the following conditions:

1. The applicant provides, for staff approval, a revised landscaping plan that shows types and locations of plantings, as well as types, locations, specifications and examples of specific fencing to be installed, if any is to be installed.

ERIE COUNTY GENERAL HEALTH

TWO STORY ADDITION — 2020

ERIE COUNTY HEALTH DEPARTMENT

420 SUPERIOR ST.

CITY OF SANDUSKY, ERIE COUNTY, OHIO

GENERAL NOTES

All work and materials, unless otherwise noted, shall be in accordance with the current State of Ohio Department of Transportation Construction and Material Specifications including all supplements thereto, and the current Construction and Materials Specifications of the City of Sandusky Engineering Department. Zoning and site plan shall conform to the standards and recommendations of the zoning ordinance of City of Sandusky, latest issuance and revision.

All traffic control devices, signs and markings shall conform to the current Ohio Manual of Uniform Traffic Control Devices and City of Sandusky Engineering Department standards and specifications.

MODIFICATIONS:

Any modifications or changes to the work as shown on the drawings must have prior written approval of the owner and the City of Sandusky Engineer's office, as applicable.

1.0 UTILITIES ADJUSTMENT:

Any and all work required for the adjustment of public and private utilities shall be done at the expense of the Contractor, including City utilities which shall be adjusted by contractor with the project.

1.2 CALCULATION OF QUANTITIES:

Payment for all work under this contract shall be on a lump sum price basis for work shown on the plans and described in the plans and specifications.

1.4 CLEARING AND GRUBBING:

Any clearing and grubbing shall be incidental to excavation and embankment for the project and included in the cost thereof.

1.5 REMOVALS

Any removals of existing pipe, tile, structures, or pavement shall be included in the various items and included in the cost thereof.

1.6 UNDERGROUND UTILITIES:

The location of the utilities shown on the plans was established from records and from field survey of above ground facilities. Contractor shall investigate and locate all existing utilities within his work area, whether or not said utilities are shown or indicated on this plan, and take all necessary precautions to protect said utilities. Contractor acknowledges and further agrees by contracting for the work shown on these plans to indemnify Owner, and Engineer in his capacity to provide design, surveying and construction layout, against any and all claims arising from damage to existing utilities, above or below ground, caused by himself or his subcontractors.

1.7 UTILITIES NOTIFICATION:

At least two working days prior to commencing construction operations, the Contractor shall notify the Engineer, the registered utility protection service, and the owners of each underground and overhead utility facility shown on the plan or existing on the property.

The owners of underground utility facilities shall, within 48 hours, excluding Saturdays, Sundays and legal holidays, after notice is received, stake, mark, or otherwise designate the location of the underground utility facilities in the construction area in such a manner as to indicate their course together with the approximate depth at which they were installed. The marking or locating shall be coordinated to stay approximately two days ahead of the planned construction.

Agencies and utility companies to be notified include but are not limited to the following:

Sanitary Sewer and Water: City of Sandusky Engineering Department

AT&T

240 Columbus Ave. Sandusky, Ohio 44870 (419) 627-5829

Telephone:

Room 207 121 North Huron Toledo, Ohio 43624 (419) 245-5004

Electric:

c: First Energy (Ohio Edison) 2508 West Perkins Avenue Sandusky, Ohio 44870

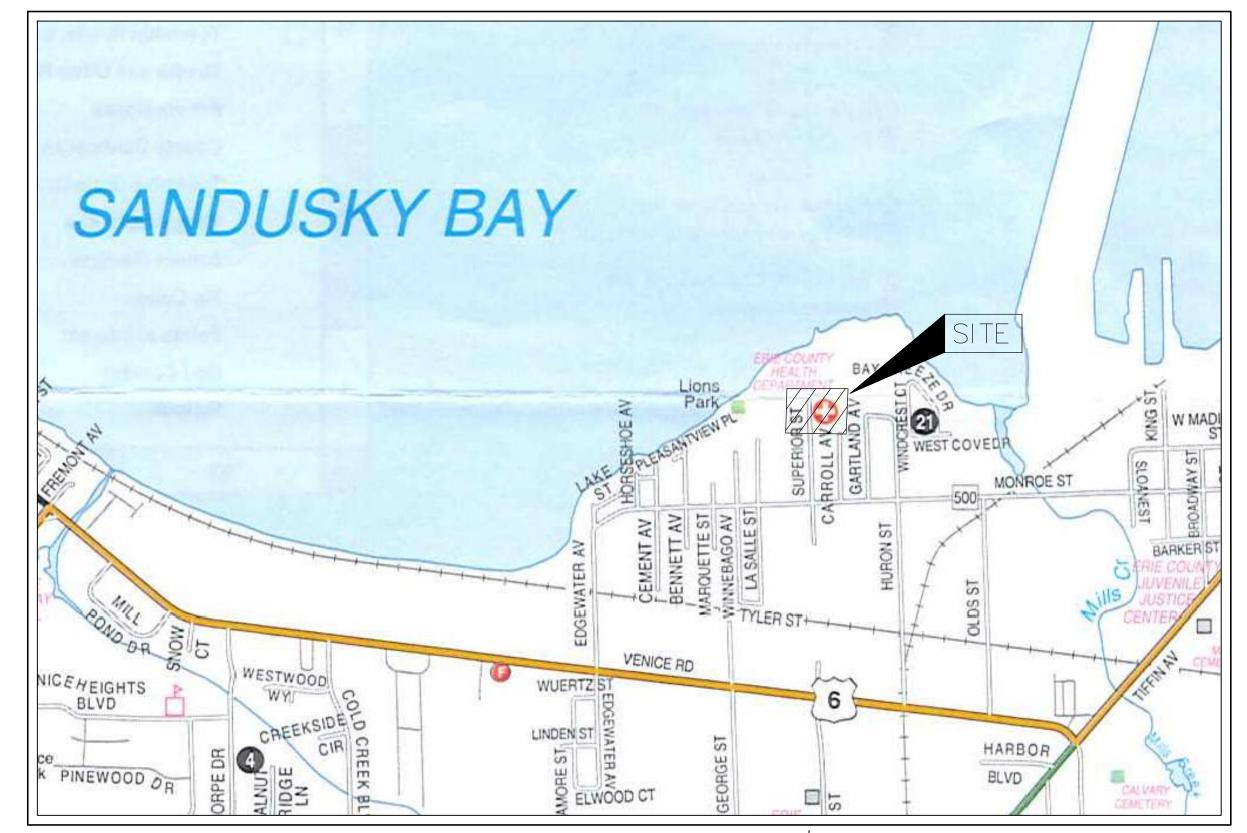
(419) 627-6881

Natural Gas:

Columbia Gas of Ohio, Inc. 1800 Broad Avenue Findlay, Ohio 45840 (419) 427-3230

Cable TV:

Buckeye Broadband 774 Crossings Road Sandusky, Ohio 44870 (419) 627-0800



	SHEET INDEX
SHEET #	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING & UTILITY PLAN
C3.1	GRADING & UTILITY PLAN
C4.0	SWPPP LAYOUT SHEET
C4.1	SWPPP NOTES & DETAILS
C4.2	SWPPP NOTES & DETAILS
C4.3	SWPPP NOTES & DETAILS
C5.0	GENERAL DETAILS
C5.1	GENERAL DETAILS

LOCATION MAP

NOT TO SCALE





STANDARD DETAILS ODOT DETAILS

CB-1.1 CATCH BASIN No. 2-2 CB-1.2 CATCH BASIN No. 2-4 MH-1.2 MANHOLE No. 3

ISSUED FOR BIDDING
PLAN SET
DATE: NOVEMBER 6, 2020

Hancock & Associates

ENGINEERS · SURVEYORS

a division of Red Barn

326 E. Market Street

Sandusky, OH 44870

(419) 625-7838

www.hancockengineers.com

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CALL BEFORE YOU DIG

PRELIMINARY PLAN

REV/SUBMITTAL DATE HORIZO AND SET 11/06/20 AND SET NO SET

PROJECT NAME:

TWO STORY ADDITION — 202

ERIE COUNTY GENERAL HEAL

PROJECT ADDRESS:

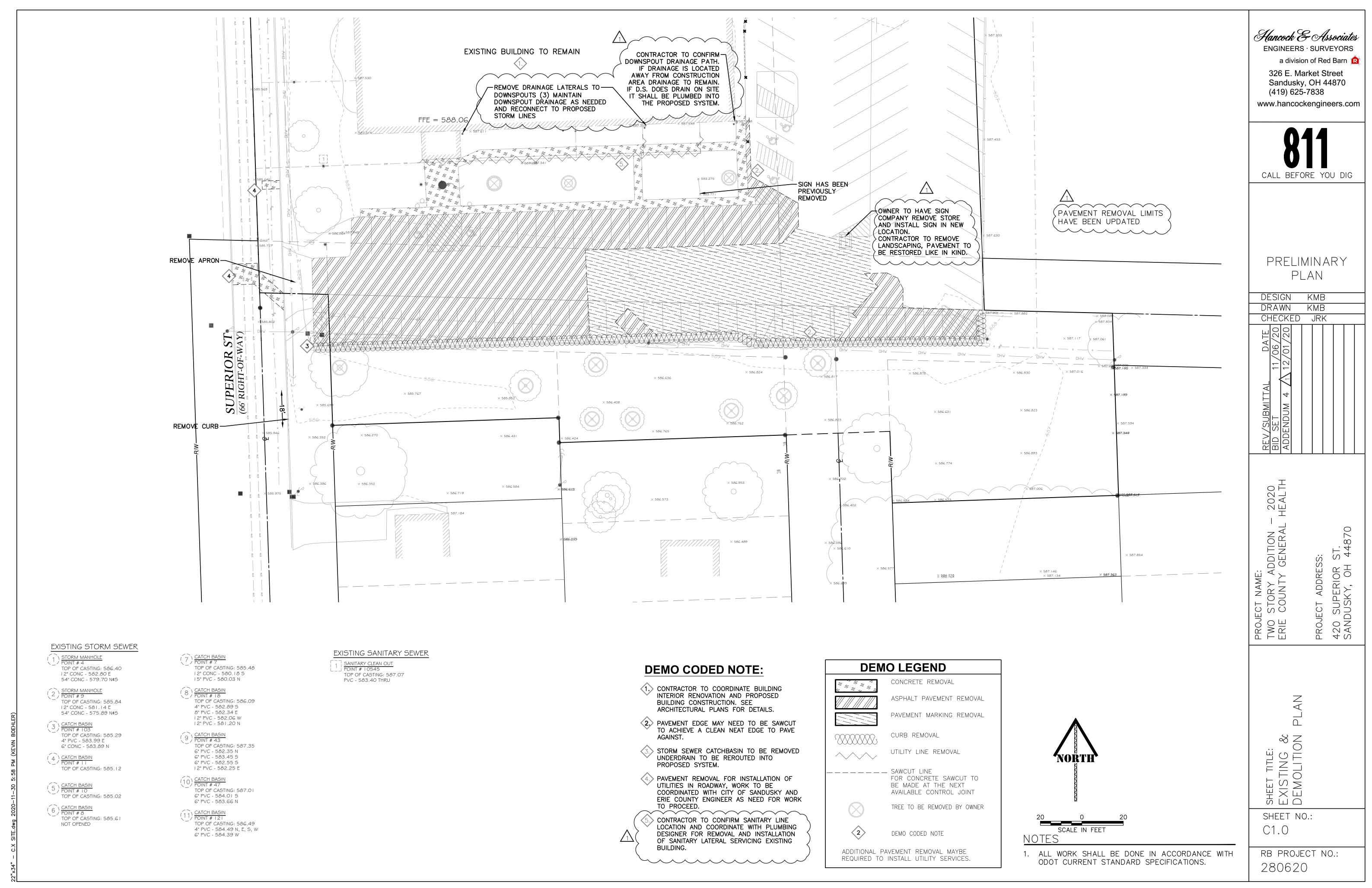
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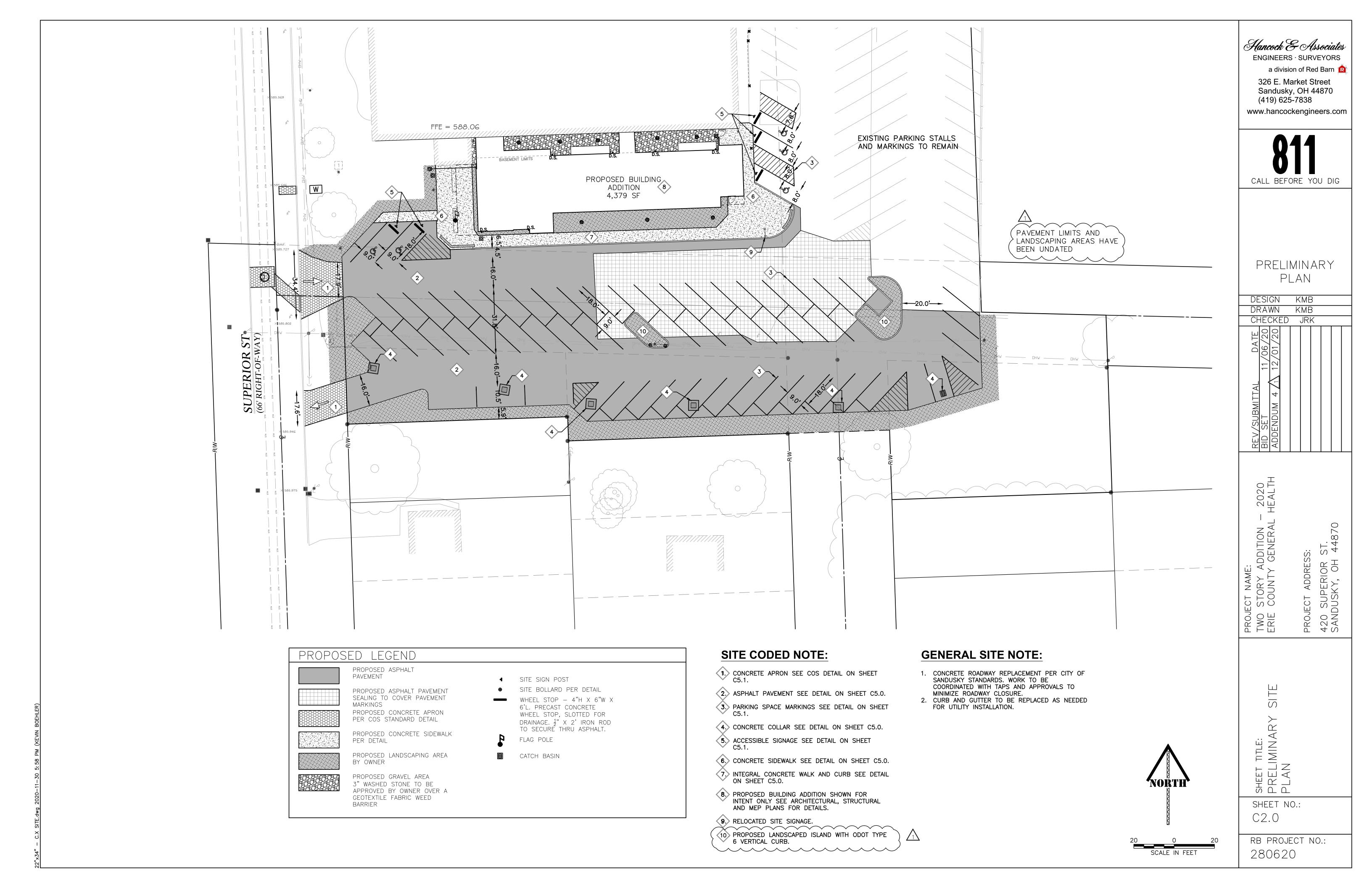
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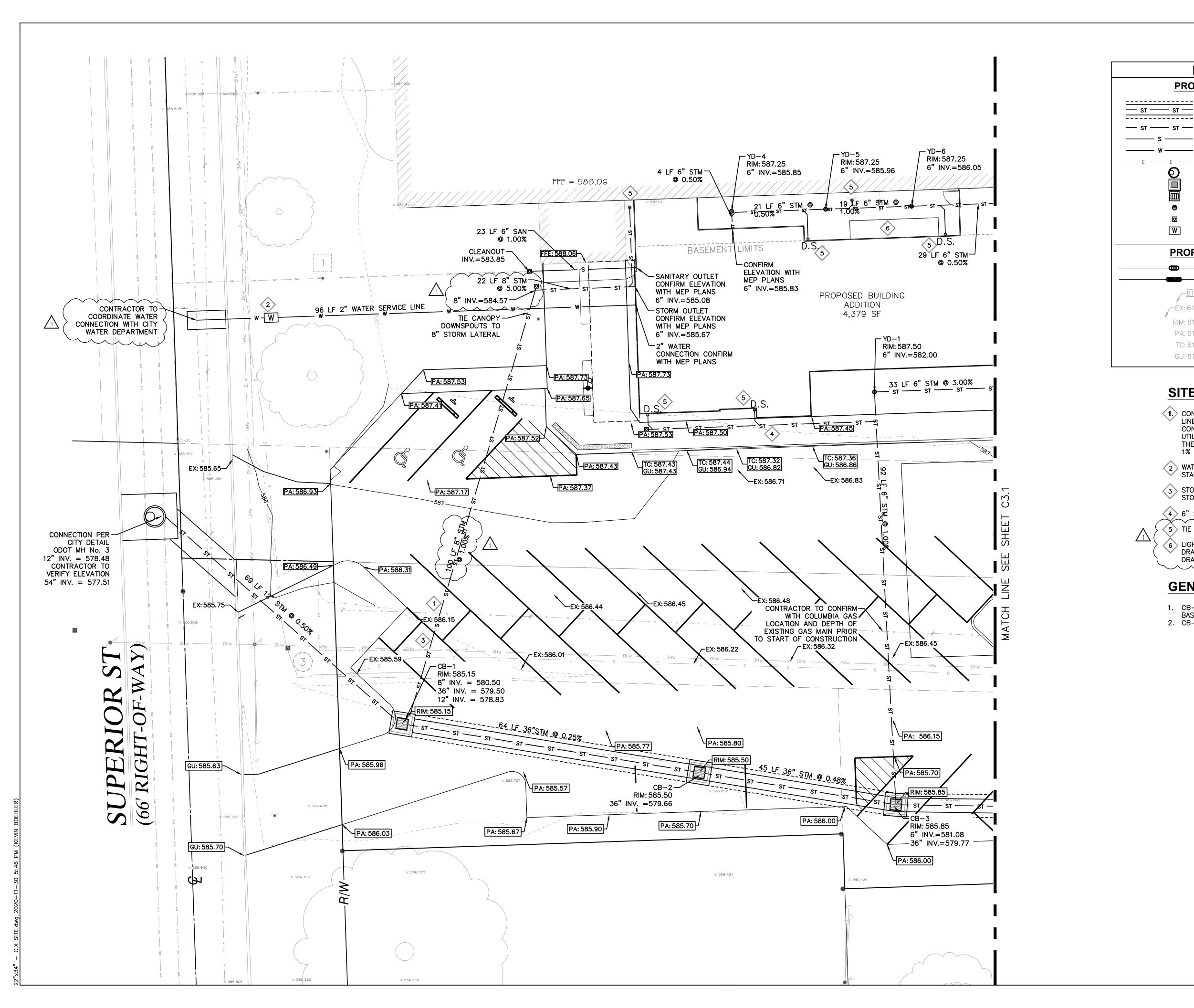
SHEET TITLE: COVER SHEET

SHEET NO.: CO.O

RB PROJECT NO.: 280620







LEGEND:

PROPOSED UTILITY

_____ 36" PERFORATED STORM SEWER — st — st — DETENTION PIPE

— st — st — STORM SEWER

--- E --- E ELECTRICAL CONDUIT

PROPOSED STORM MANHOLE PROPOSED 2-4 CATCH BASIN PROPOSED 2-2 CATCH BSAIN

PROPOSED YARD DRAIN PROPOSED CLEAN OUT PROPOSED METER PIT

PROPOSED GRADING

MAJOR CONTOUR INTERVAL MINOR CONTOUR INTERVAL

613.00 PROPOSED SPOT ELEVATION

_EX: 613.00 EXISTING SPOT ELEVATION

RIM: 613.00 PROPOSED TOP OF CASTING ELEVATION PA: 613.00 PAVEMENT ELEVATION

TC: 613.00 TOP OF CURB ELEVATION GU: 613.00 FLOWLINE AT PAVEMENT

SITE CODED NOTE:

- (1). CONTRACTOR TO CONFIRM ELEVATION OF GAS LINE PRIOR TO RUNNING STORM LINE. CONTRACTOR TO MAINTAIN SEPARATION BETWEEN UTILITIES. SLOPE OF PIPE CAN BE UPDATED IN THE FIELD BUT MUST MAINTAIN A MINIMUM OF 1% SLOPE.
- 2 WATER METER PER THE CITY OF SANDUSKY STANDARD DETAIL.
- 3 STORM UNDERDRAIN TO BE TIED INTO PROPOSED STORM LINE.
- 4 6" STORM LATERAL @ MIN. 1.00% SLOPE. 5 TIE DOWNSPOUT INTO PROPOSED STORM LINE.
- 6 LIGHT WELL DRAINAGE TO BE TIED INTO FOOTER DRAIN PER ARCHITECTURAL AND STRUCTURAL

GENERAL NOTE:

- 1. CB-1, 2, 3, 4 & 5 ARE ODOT 2-4 CATCH
- BASINS
 2. CB-6 IS ODOT 2-2 CATCH BASIN

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PRELIMINARY PLAN

DESIGN KMB			
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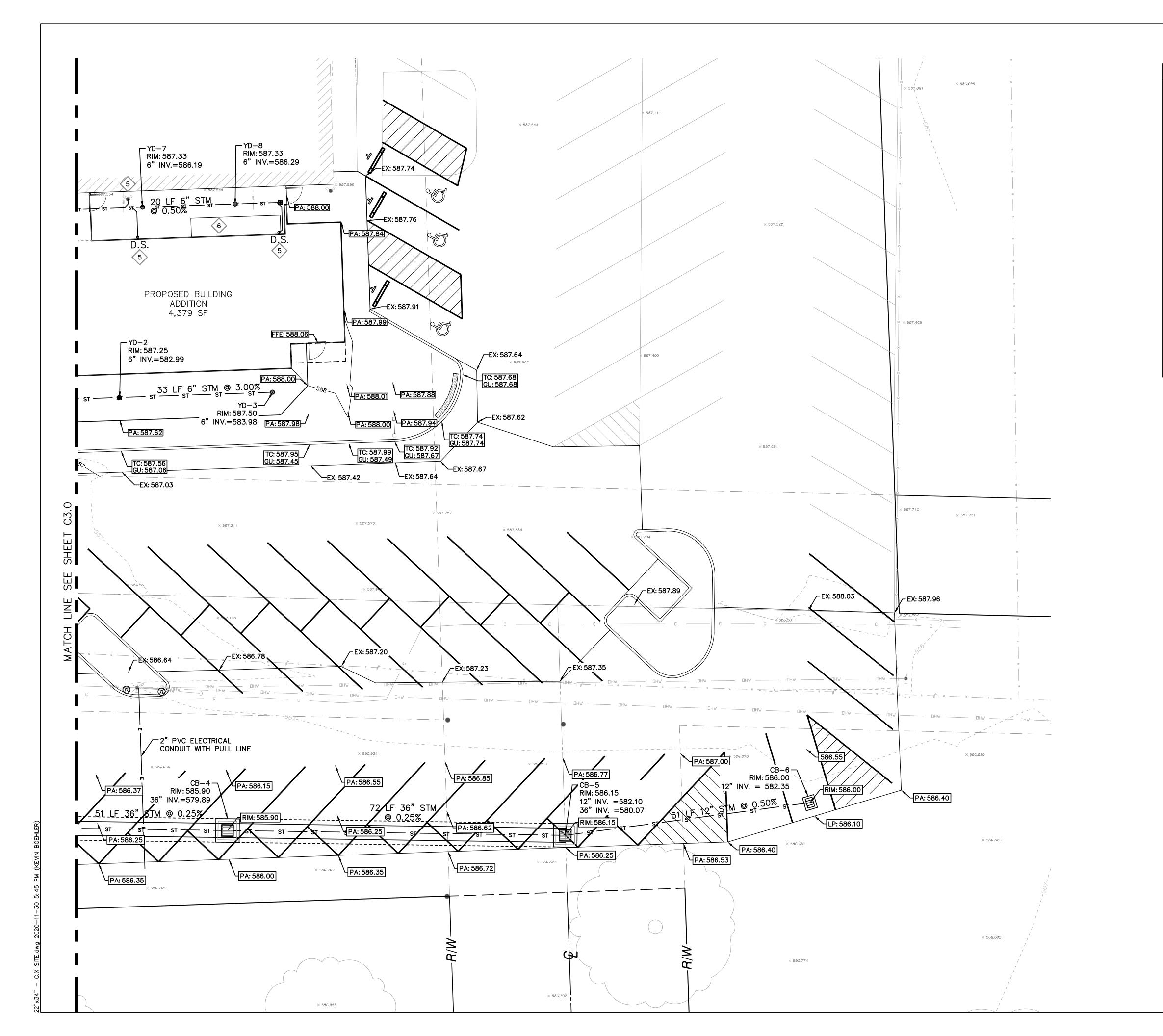
420 SUPERIOR SANDUSKY, OH PROJ TWO ERIE PRO

ADIN $\stackrel{\circ}{\Gamma} \stackrel{\circ}{\simeq} \stackrel{\circ}{\sim}$

SHEET NO .: C3.0

SCALE IN FEET

RB PROJECT NO.: 280620



LEGEND:

PROPOSED UTILITY

_____ 36" PERFORATED STORM SEWER - st - st - DETENTION PIPE _____

— st — st — storm sewer SANITARY SEWER

--- E --- E ELECTRICAL CONDUIT

PROPOSED STORM MANHOLE PROPOSED 2-4 CATCH BASIN PROPOSED 2-2 CATCH BSAIN

PROPOSED YARD DRAIN PROPOSED CLEAN OUT PROPOSED METER PIT

PROPOSED GRADING

MAJOR CONTOUR INTERVAL MINOR CONTOUR INTERVAL

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RIM: 613.00 PROPOSED TOP OF CASTING ELEVATION PA: 613.00 PAVEMENT ELEVATION

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PRELIMINARY PLAN

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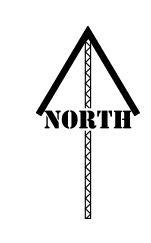
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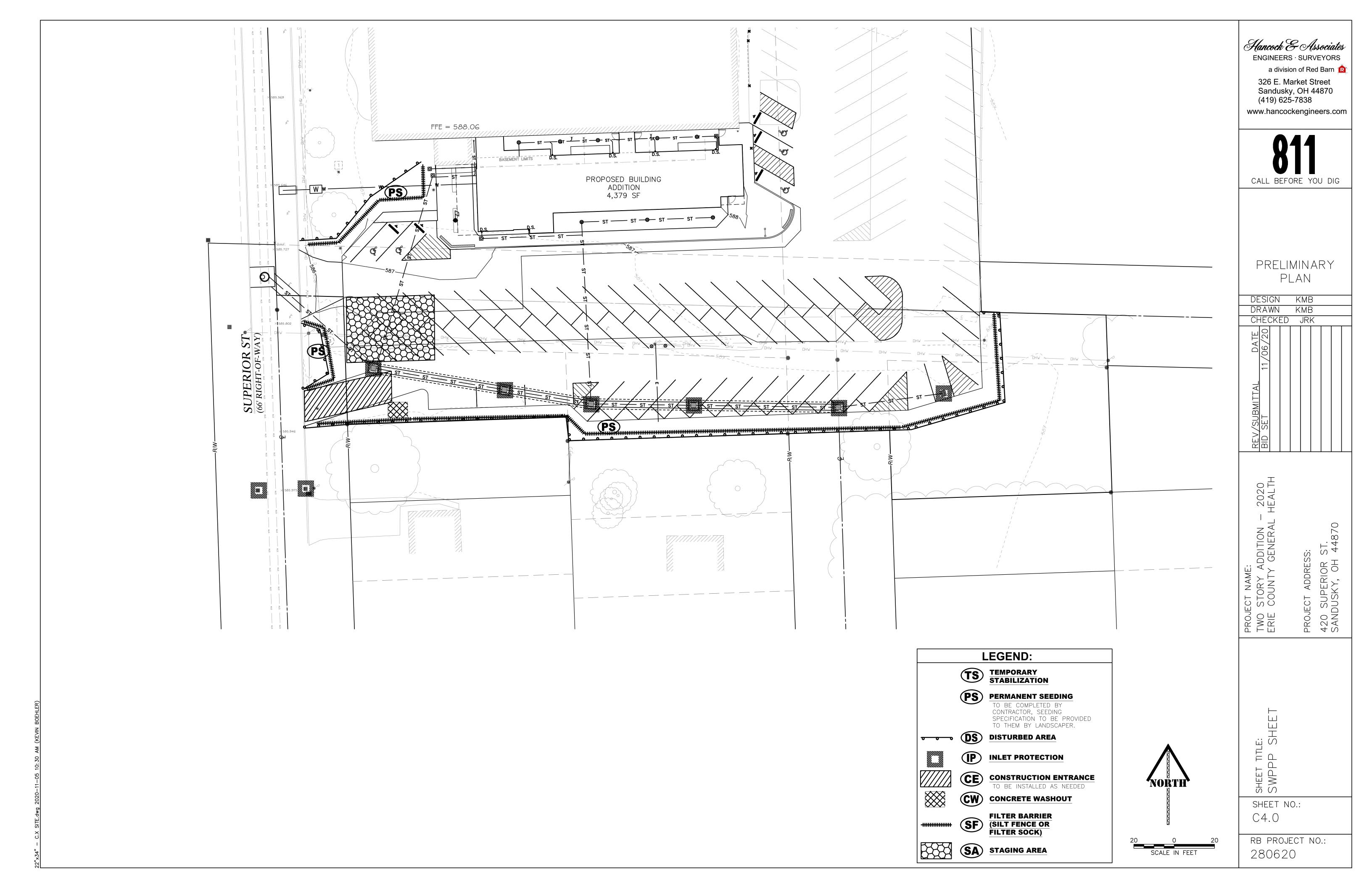
GRADING AN SHEET TITLE:
PRELIMINA
& UTILITY

SHEET NO .: C3.1

RB PROJECT NO.: 280620



SCALE IN FEET



PERMITS TO BE ACQUIRED:

ERIE COUNTY STORMWATER PERMIT -

OHIO EPA NOI PERMIT - TO BE ACQUIRED BY THE CONTRACTOR

- THIS PROJECT SHALL COMPLY WITH THE OHIO EPA CGP OHCCOOOOO5, THE CURRENT EDITION OF THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL AND ERIE COUNTY REQUIREMENTS.
- A LOG DOCUMENTING AND STABILIZATION ACTIVITIES AS WELL AS AMENDMENTS TO THE SWPPP SHALL BE MAINTAINED WITH THE PLANS. THIS LOG SHALL BE INCLUDED WITH INSPECTION REPORT SUBMISSIONS.
- LONG TERM MAINTENANCE OF STRUCTURAL POST-CONSTRUCTION CONTROLS SHALL BE THE RESPONSIBILITY OF THE
- CONTRACTOR AND OWNER SHALL DESIGNATE AN AUTHORIZED REPRESENTATIVE FOR MONITORING AND INSPECTING THE EROSION CONTROL MEASURES. THE INSPECTOR FOR THIS PROJECT IS TO BE SELECTED BY CONTRACTOR
- CONTRACTOR SHALL ABIDE BY ALL APPROPRIATE REGULATIONS SET FORTH BY ERIE COUNTY & OHIO EPA FOR EROSION AND SEDIMENT CONTROL MEASURES.
- PRIOR TO MASS GRADING, ALL SILT FENCE EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING THAT PORTION OF WORK. GRADING AND SLOPES SHALL BE CONSTRUCTED TO MINIMIZE SURFACE RUN-OFF. WHERE POSSIBLE, SURFACES SHALL BE GRADED TOWARDS SEDIMENT TRAPS & DETENTION PONDS OR SWALES.
- GRADED SLOPES AND DENUDED AREAS GREATER THEN 5% SLOPE SHALL BE TEMPORARILY STABILIZED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL ESTABLISH PERMANENT VEGETATION WITHIN THE LIMITS OF CONSTRUCTION.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL ONLY BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WATER WASH WATER IN AREAS APPROVED, DESIGNATED CONCRETE WASH OUT PIT LOCATION ON SITE.

THE OWNER RESERVES THE RIGHT TO REQUIRE THE GENERAL CONTRACTOR TO EMPLOY SEDIMENT CONTROL TECHNIQUES TO LIMIT CONCRETE SPOILAGE RUNOFF.

INSPECTION CODE:

INSPECTIONS SHALL BE PREFORMED PER OHIO EPA REQUIREMENTS AT A MINIMUM AND BE COMPLETED BY SENT TO MELISSA AT THE FRIE CONSERVATION DISTRICT MEETICIANO@FRIECOUNTY.OH.GOV.

AT MINIMUM, ALL EROSION CONTROL AND SEDIMENT CONTROLS ON THE SITE ARE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR

ONLY QUALIFIED INSPECTION PERSONNEL (PROVIDED BY THE GENERAL CONTRACTOR) SHALL CONDUCT A WEEKLY INSPECTION OF THE CONSTRUCTION SITE, AND AFTER A STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, TO VERIFY THAT STABILIZATION AND STRUCTURAL CONTROLS ARE PERFORMING PROPERLY INSPECTION PERSONNEL SHALL ALSO DETERMINE IF ADDITIONAL CONTROLS ARE REQUIRED. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM

DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS.

LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE VEHICLE TRACKING.

REPRODUCIBLE INSPECTION FORMS ARE PROVIDED ON THE OHIO EPA WEB SITE FOR USE BY THE GENERAL CONTRACTOR (COORDINATE WITH THE ENGINEER). INSPECTION CHECKLIST TO BE COMPLETED AND SIGNED BY THE INSPECTOR AFTER EVERY INSPECTION. INSPECTION RECORDS TO BE KEPT FOR 3 YEARS AFTER TERMINATION OF CONSTRUCTION ACTIVITIES.

BEST MANAGEMENT PRACTICES (BMPS):
FOR BMPS NOT MEETING THE INTENDED FUNCTION, A NEW BMP TO BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION. MISSING BMPS REQUIRED FOR INSTALLATION BY THE SWP3 TO BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION.

QUALIFIED INSPECTOR FOR THIS PROJECT IS TO BE SELECTED BY CONTRACTOR.

MAINTENANCE:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENTATION AND EROSION CONTROL FEATURES ON THIS PROJECT. ANY SEDIMENT OR DEBRIS THAT HAS REDUCED THE EFFICIENCY OF A CONTROL SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE IT AT NO COST TO THE OWNER.

CONSTRUCTION SITE SEEDING:

PERMANENT AND TEMPORARY SITE SEEDING INCLUDES THE SEEDBED PREPARATION, SEEDING AND THE ESTABLISHMENT OF PERENIAL VEGETATION USED TO PERMANENTLY STABILIZE SOIL, PREVENT SEDIMENT POLLUTION, REDUCE RUNOFF BY PROMOTING INFILTRATION, AND PROVIDE STORMWATER QUALITY BENEFITS OFFERED BY DENSE VEGETATION.

SPECIFICATIONS FOR PERMANENT SEEDING

- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR
- ESTABLISHING VEGETATION. THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION
- RESOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

SEEDBED PREPARATION

- LIME AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST, IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE 100 LB. PER 1,000 SQUARE FEET OR 2 TONS PER ACRE. FERTILIZER - FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB. PER 1,000 SQUARE FEET OR 500 LB. PER ACRE OF 10-10-10 OR 12-12-12
- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. THESE SEEDING DATES ARE IDEAL BUT, WITH THE USE OF ADDITIONAL MULCH AND IRRIGATION, SEEDINGS MAY BE MADE ANY TIME THROUGHOUT THE GROWING SEASON. TILLAGE/SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT

- SEEDINGS SHALL NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20, DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLE WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING": FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND
- FERTILIZER THEN MULCH AND ANCHOR FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZER, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR, INCREASE RATES BY 60% FOR THIS TYPE
- OF SEEDING APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY
- INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED. WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY OR HOT WEATHER OR ON ADVERSE SITE CONDITIONS AS NEEDED FOR ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH. EXCESSIVE IRRIGATION RATES SHALL BE AVOIDED AND IRRIGATION MONITORED TO PREVENT EROSION AND DAMAGE FROM

SPECIFICATIONS FOR MAINTENANCE OF PERMANENT SEEDING

OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

PERMANENT SEEDING SHALL NOT BE CONSIDERED ESTABLISHED FOR AT LEAST 1 FULL YEAR FROM THE TIME OF PLANTING. SEEDED AREAS SHALL BE INSPECTED FOR FAILURE AND VEGETATION REESTABLISHMENT AS NEEDED. DEPENDING ON SITE CONDITIONS, IT MAY BE NECESSARY TO IRRIGATE, FERTILIZE, OVERSEED, OR REESTABLISH PLANTINGS IN ORDER TO PROVIDE PERMANENT VEGETATION FOR ADEQUATE EROSION CONTROL.

MAINTENANCE FERTILIZATION RATES SHALL BE ESTABLISHED BY SOIL TEST RECOMMENDATIONS OR BY USING THE RATES SHOWN ON THE FOLLOWING TABLE.

TEMPORARY SEEDING PROVIDES EROSION CONTROL ON AREAS BETWEEN OPERATIONS. GRASSES WHICH ARE QUICK GROWING ARE SEEDED AND USUALLY MULCHED TO PROVIDE PROMPT, TEMPORARY SOIL STABILIZATION. IT EFFECTIVELY MINIMIZES THE AREA OF A CONSTRUCTION SITE PRONE TO EROSION AND SHOULD BE USED EVERYWHERE THE SEQUENCE OF CONSTRUCTION OPERATIONS ALLOWS VEGETATION TO BE ESTABLISHED. STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE

- INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF CONSTRUCTION SITE. TEMPORARY SEEDING SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR. THESE IDLE AREAS SHOULD BE SEEDED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS. THE SEEDED BED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER,
- TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE. SOIL AMENDMENTS - APPLICATION OF TEMPORARY VEGETATION SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION, WHICH MAY REQUIRE THE USE OF SOIL AMENDMENT. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED
- FOR LIME AND FERTILIZER SEEDING METHOD - SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER AND A CULTIPACKER. IF HYDROSEEDER IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON SITE, AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

CONSTRUCTION SITE MULCHING

APPLYING A PROTECTIVE LAYER OF MULCH. USUALLY OF STRAW, TO BARE SOIL IS USED TO ABATE EROSION BY SHIELDING IT FROM RAINDROP IMPACT TO HELPING ESTABLISH VEGETATION BY CONSERVING MOISTURE AND CREATING FAVORABLE CONDITIONS FOR SEEDS TO GERMINATE.

SPECIFICATIONS FOR MULCHING

- MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN SEVEN DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 14 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
- DORMANT SEEDING SHALL BE MULCHED. APPLICATIONS OF PERMANENT AND TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING.

1. MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. SEEDING MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.

2.2. STRAW - IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 LB. PER 1,000 SQUARE FEET (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH

- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. HYDROSEEDERS - IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER
- OTHER OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED 6 TONS PER ACRE.
- 3. ANCHORING METHODS STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. 3.1. MECHANICAL - A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER
- 3.2. MULCH NETTINGS NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS CONCENTRATED RUNOFF AND ON CRITICAL SLOPES. ASPHALT EMULSION - ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160
- GALLONS PER ACRE. SYNTHETIC BINDERS - SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD-CELLULOSE FIBER - WOOD CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB. PER

ACRE. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF

EROSION CONTROL SEQUENCING

50 LB. PER 100 GALLONS OF WOOD-CELLULOSE FIBER.

THE FOLLOWING SEQUENCING IS SCHEMATIC IN NATURE. CONTRACTOR SHALL DETERMINE INSTALLATION SCHEDULE TO MINIMIZE

PRE-CONSTRUCTION ACTIVITY:

THAN 6 INCHES.

- 1. CONTACT THE OHIO UTILITIES PROTECTION SERVICE 1-800-362-2764 OR "811" TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT SITE. ESTABLISH STABLE CONSTRUCTION ENTRANCE, EQUIPMENT AND EMPLOYEE PARKING AND STAGING AREAS.
- INSTALL PERIMETER PROTECTION DEVICES AND MEASURES SUCH AS SILT FENCE. PROTECT EXISTING AND PROPOSED STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES WHERE APPLICABLE.

- BEGIN SITE CLEARING AND GRUBBING, STRIPPING OFF TOPSOIL AND GRADE SITE.
- PERMANENTLY OR TEMPORARILY SEED OR MULCH DISTURBED AREAS PER TABLE ON SHEET 10 TO PREVENT SEDIMENT LOSS. INSTALL NATURAL BOULDER SLOPE STABILIZATION IF NECESSARY. CONTRACTOR MAY INSTALL EROSION CONTROL BLANKETS
- OR TURF REINFORCEMENT MATS (TRM'S) IF THERE IS ANY EROSION OR SCOURING. FINE GRADE SITE, PERMANENTLY SEED AND LANDSCAPE. THE CONTRACTOR SHALL NOTIFY ERIE COUNTY OF DISPOSAL SITE IF ONE ACRE OR MORE IS DISTURBED AT THE DISPOSAL SITE. REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED,

AND STABILIZE SOIL WITH PERMANENT SEEDING POST-CONSTRUCTION ACTIVITY

I. REMOVE CONSTRUCTION SEDIMENT AND DEBRIS FROM PERMANENT EROSION CONTROL DEVICES AND MEASURES. 2. SUBMIT NOTICE OF TERMINATION (NOT), WITHIN 45 DAYS ONCE THE SOIL DISTURBING ACTIVITIES ARE COMPLETE AND THE SITE

IS STABILIZED TO THE STANDARDS OF THE OHIO EPA. **EROSION CONTROL NOTES:**

- 1. DIVERSION AND STRUCTURAL MEASURES- WILL BE INSPECTED AT 7 DAY INTERVALS OR AFTER EVERY RAIN EVENT WITH 0.5" OF
- ACCUMULATION OR MORE IN A 24-HR PERIOD. SEDIMENT BASINS AND PONDS - WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.
- VEGETATIVE PLANTING- SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.
- 4. REPAIRS- ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN 3 DAYS OF INSPECTION.

MOWING- DRAINAGEWAYS, DITCHES AND ANY OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY

TO MAINTAIN THAT FLOW. 6. FERTILIZATION- SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER, WILL BE INSPECTED AND FERTILIZED AS

NECESSARY.

DORMANT

SEEDING

MAINTENANCE: HE CONTRACTOR/CONSTRUCTION MANAGER WILL ASSUME RESPONSIBILITY FOR MAINTENANCE OF ALL SOIL EROSION CONTROL DURING CONSTRUCTION. THIS RESPONSIBILITY WILL BE TURNED OVER TO THE OWNER AFTER 100% OF THE DEVELOPMENT IS COMPLETED AND ACCEPTED BY ERIE COUNTY. HOWEVER THE CONTRACTOR SHALL NOT TRANSFER THESE IMPROVEMENTS FOR THE PURPOSE OF MAINTENANCE UNTIL HE HAS COMPLIED WITH THE ABOVE.

GENERAL NOTES:

- THE CONTRACTOR "LAY-DOWN AREA" IS SUBJECT TO CHANGE BY ____ AND/OR CONTRACTOR, THE CONTRACTOR "LAY-DOWN AREA" SHALL INCLUDE TRASH ENCLOSURES, PARKING AREAS, GENERAL CONTRACTOR OFFICES, FUEL TANK STORAGE AREAS, MATERIAL STORAGE AREAS, STAGING AREAS AND CONCRETE TRUCK WASH AREA. CONTRACTOR SHALL RECORD THE LOCATION OF ALL OF THESE AREAS ON THE CONSTRUCTION PLANS
- 2. CONTRACTOR SHALL HAVE THE SWP3 PLAN OF THE PROJECT LOCATED "ON-SITE" IN AN AREA ACCESSIBLE BY SWPPP INSPECTORS - 24 HOURS/DAY & 7 DAYS A WEEK. SWP3 PLAN SHALL BE ACCESSIBLE TO ERIE COUNTY, CITY OF SANDUSKY & OHIO EPA.

CONTRACTOR/SUBCONTRACTOR CERTIFICATION

I ACKNOWLEDGE THAT I HAVE REVIEWED AND UNDERSTAND THE CONDITIONS AND THE RESPONSIBILITIES OF THIS STORM WATER POLLUTION AND PREVENTION PLAN (SWPPP) AND AGREE TO ABIDE BY THE TERMS OF THE

ROLE:	GENERAL CONTRACTOR [CONTROL OF SITE]
CONTACT:	
PHONE:	
SIGNATURE ROLE:	
CONTACT:	

ALL SUBCONTRACTORS SHALL ALSO ACKNOWLEDGE THE SWPPP REQUIREMENTS WITH A SIGNED FORM AND LOGGED IN THE SWPPP BINDER THAT WILL HAVE APPROVED AND AMENDED PLANS (BY THE CONTRACTOR IN THE FIELD). INSPECTION REPORTS AND PERMITS.

CONTRACTOR TO REPORT ANY SWPPP ACTIVITIES INCONSISTENT WITH THIS PLAN ALL SWPPP PLAN UPDATES AND CHANGES TO BE RECORDED AND KEPT ON SITE INSPECTION REPORTS SHALL BE AVAILABLE WITH **APPROVED SWPPP IN SITE**

CONSTRUCTION SEQUENCE:

TENTATIVE CONSTRUCTION SCHEDULE START CONSTRUCTION: 12/1/2020 END CONSTRUCTION: 8/31/2021

- INSTALL CONSTRUCTION ENTRANCE, SILT FENCE OR FILTER SOCK, AND TREE
- PROTECTION/CONSTRUCTION FENCE. CLEAR AND GRUB SITE PER PLAN.
- INSTALL OUTLET STRUCTURE ALONG WITH STORM PIPES A & B. SEED OR PLACE STABILIZATION AT ALL DISTURBED AREAS AFTER BACKFILL AND DETAIL GRADING
- HAS BEEN COMPLETED, SEE STABILIZATION CHART BELOW. 4. PROVIDE TEMPORARY DIVERSIONS AS NEEDED TO PREVENT EXCESS RUNOFF FROM ENTERING NEIGHBORING PROPERTY
- 5. STRIP TOPSOIL FROM THE REST OF THE SITE AND COMMENCE OTHER EARTHWORK
- INSTALL CONCRETE WASHOUT PIT PRIOR TO THE DELIVERY OF ANY CONCRETE. INSTALL REMAINDER OF STORM SEWER SYSTEM.
- INSTALL INLET PROTECTION ON CATCH BASINS AS THEY ARE INSTALLED. GRADE SITE TO ACHIEVE PROPOSED GRADES.
- O. PROVIDED TEMPORARY AND PERMANENT SEEDING PER SPECIFICATIONS THROUGHOUT CONSTRUCTION.
- 11. COMPLETE SITE CONSTRUCTION AND FINAL SEEDING. 12. UPON ESTABLISHMENT OF SITE VEGETATION. 12.1. REMOVE INLET PROTECTION, SILT FENCE OR FILTER SOCK, TREE
- PROTECTION/CONSTRUCTION FENCE, AND CONCRETE WASH OUT PIT. CLEAN AND JET STORM SEWERS AS NEEDED 12.3. CONSTRUCTION ENTRANCE TO BE REMOVED OR MAY REMAIN AT OWNERS REQUEST DEPENDING ON FINAL SITE INSPECTION, AND FOR BASIN

SITE PROJECT DATA:

420 SUPERIOR ST.

SANDUSKY, OHIO 44870 LATITUDE: 41.448495° LOCATION:

LONGITUDE: -82.743476°

ERIE COUNTY HEALTH DEPARTMENT SITE OWNER: 420 SUPERIOR ST. SANDUSKY, OHIO 44870

HANCOCK & ASSOCIATES INC. 326 E. MARKET STREET PROJECT: 280620 SANDUSKY, OHIO 44870 PHONE: (419) 625-7838

SITE ACREAGE SUMMARY

TOTAL SITE TRIBUTARY AREA: 1.301 AC TOTAL PROJECT DISTURBED AREA: 0.75 AC

PERCENTAGE OF SITE DISTURBED: 57% IMPERVIOUS AREA PRIOR TO START OF CONSTRUCTION: 0.535 AC IMPERVIOUS AREA AT COMPLETION OF PROJECT: 0.817 AC PERCENTAGE OF SITE IMPERVIOUS CHANGE: 152% INCREASE

RIBUTARY TO SANDUSKY BAY, ULTIMATELY TRIBUTARY TO LAKE ERIE

ШШШШ

Map unit symbol

Totals for Area of Interes

Map unit name

to 2 percent slopes

Toledo silty clay, 0 to 1

Udorthents, loamy, 0 to 6

percent slopes

percent slopes

Fulton silty clay loam, 0 | C/D

Rating

PRE-CONSTRUCTION CN = 87

POST-CONSTRUCTION CN = 91

<u>SOILS</u> • FuA — FULTON SILTY CLAY LOAM

• ToA - TOLEDO SILTY CLAY UdB – UDORTHENTS

PROJECT DESCRIPTION

EXISTING CONDITIONS:
EXISTING DEVELOPED PARCEL WITH LARGE BUILDING AND PARKING LOT AND GRASS AREA.

STORMWATER MANAGEMENT FOR THIS PORTION OF THE PROJECT.

PROPOSED CONDITIONS:
DEVELOPMENT OF THE SOUTH PORTION OF THE SITE WHICH WILL INCLUDE CONSTRUCTION OF A 4,380 S.F. BUILDING ADDITION, EXPANSION OF THE EXISTING PARKING LOT, AN ADDITIONAL CURB CUT, STORM SEWERS, AND

SWPPP CONTACTS

CITY OF SANDUSKY:

CITY OF SANDUSKY DEPARTMENT OF PUBLIC WORKS CITY OF SANDUKY 240 COLUMBUS AVE. SANDUSKY, OHIO 44870

SWPPP CONTACT MELISSA FELICIANO ERIE CONSERVATION DISTRICT 2900 COLUMBUS AVE. ROOM 131 SANDUSKY, OHIO 44870 PHONE: 419-626-5211

PHONE: 419-627-5885

THE GRADING AND STABILIZATION LOG SHALL BE SUBMITTED WITH ALL WEEKLY OR AFTER RAIN EVENT REPORTS, EMAIL REPORTS TO mfeliciano@eriecounty.oh.gov.

PRELIMINARY PLAN

Hancock & Associates

ENGINEERS · SURVEYORS

326 E. Market Street

(419) 625-7838

Sandusky, OH 44870

www.hancockengineers.com

CALL BEFORE YOU DIG

a division of Red Barn R

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	DRAWN	KMB	
	CHECKE) JRK	
	DATE 11/06/20		
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rcent of	AOI
	17.4%
	55.9%
	26.7%

100.0%

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Acres in AOI

2.2

3.9

UNDERGROUND UTILITIES CONTACT BOTH SERVICES



1-800-362-2764 (TOLL FREE)

NON-MEMBERS

RB PROJECT NO.: 280620

SEEDING RATE

KENTUCKY BLUEGRASS

CREEPING RED FESCUE

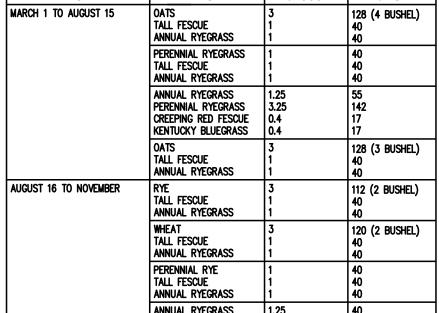
	LB/ACRE	LB./1000 SF		
GENERAL USE				
CREEPING RED FESCUE	20-40	1/2-1	FOR CLOSE MOWING &	
DOMESTIC RYEGRASS	10-20	1/4-1/2	FOR WATERWAYS WITH	
KENTUCKY BLUEGRASS	20-40	1/2 -1	<2.0 FT/SEC VELOCITY	
TALL FESCUE	40-50	1–1 1/4		
TURF-TYPE (DWARF) FESCUE	90	2 1/4		
STEEP BANKS OR CUT SLOPES				
TALL FESCUE	40-50	1-1 1/4		
CROWN VETCH	10-20	1/4-1/2	DO NOT SEED LATER	
TALL FESCUE	20-30	1/2 -3/4	THAN AUGUST	
FLAT PEA	20-25	1/2 -3/4	DO NOT SEED LATER	
TALL FESCUE	20-30	1/2 -3/4	THAN AUGUST	
ROAD DITCHES AND SWALES				

TALL FESCUE	40-50	1-1 1/4		
CROWN VETCH	10-20	1/4-1/2	DO NOT SEED LATER	
TALL FESCUE	20-30	1/2 -3/4	THAN AUGUST	
FLAT PEA	20-25	1/2 -3/4	DO NOT SEED LATER	
TALL FESCUE	20-30	1/2 -3/4	THAN AUGUST	
ROAD DITCHES AND SWALES				
TALL FESCUE	40-50	1–1 1/4		
TURF-TYPE (DWARF) FESCUE	90	2 1/4		
KENTUCKY BLUEGRASS	5	0.1		
LAWNS				
KENTUCKY BLUEGRASS	100-120	2		
PERENNIAL RYEGRASS		2		

100-120

NOTE: OTHER APPROVED SEED SPECIES MY BE SUBSTITUTED

FOR SHADED AREAS



NOTE: OTHER APPROVED SPECIES MY BE SUBSTITUTED. REFERENCE: 2006 RAINWATER AND LAND DEVELOPMENT MANUAL

OLLDING DATIES	0. 20.20	LD./ 1000 OI		1
IARCH 1 TO AUGUST 15	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 (4 BUSHEL) 40 40	
	PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 40 40	2
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	55 142 17 17	
	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 (3 BUSHEL) 40 40	`
JUGUST 16 TO NOVEMBER	RYE TALL FESCUE ANNUAL RYEGRASS	3 1 1	112 (2 BUSHEL) 40 40	4
	WHEAT TALL FESCUE ANNUAL RYEGRASS	3 1 1	120 (2 BUSHEL) 40 40]
	PERENNIAL RYE TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 40 40	
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	40 40 40	
IOVENDED 1 TO FEDRUARY 20	LICE MILICH ONLY OF DOD	MANT SEEDING		ĺ

IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE NOVEMBER 1 TO FEBRUARY 29 USE MULCH ONLY OR DORMANT SEEDING DONE IMMEDIATELY AND WITHOUT

TEMPORARY SEEDING SEEDING DATES | SPECIES | LB./1000 SF | LB/ACRE

A ROLLER OR CULTIPACKER. IF HYDROSEEDING

STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND

Stabilized with temporary seeding prior TO GRADING THE REST OF THE CONSTRUCTION 2. TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR. THESE IDLE AREAS SHALL BE SEEDED WITHIN 7 DAYS AFTER GRADING. 3. THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY seeding should not be postponed if ideal SEEDBED PREPARATION IS NOT POSSIBLE. 4. SOIL AMENDMENTS — TEMPORARY VEGETATION SEEDING RATES SHALL ESTABLISH ADEQUATE STRANDS OF VEGETATION, WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. BASE RATES FOR LIME AND FERTILIZER SHALL BE USED. 5. SEEDING METHOD - SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SPREADER, DRILL CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING and then lightly tamped into place using





OHIO UTILITIES PROTECTIVE SERVICE MUST BE CALLED DIRECTLY

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SHEET NO .:

TEMPORARY SODDING MULCHING

NOTE: ALL CONTROL MEASURES SHALL CONFORM TO THE NPDES PERMIT A = KENTUCKY BLUEGRASS AT 90 LB/AC MIXED WITH PERENNIAL RYEGRASS AT 30 LB/AC B = KENTUCKY BLUEGRASS AT 135 LB/AC MIXED WITH PERENNIAL

RYEGRASS AT 45 LB/AC & 2 TONS STRAW MULCH/AC C = SPRING OATS AT 100 LB/AC

SOIL PROTECTION CHART

D = WHEAT OR CEREAL RYE AT 150 LB/AC

THE STATE AND AT FINAL GRADE

OTHER AREAS AT FINAL GRADE

- E = SODF = STRAW MULCH AT 2 TON/AC
- * = IRRIGATION NEEDED DURING JUNE & JULY **= IRRIGATION NEEDED FOR 2-3 WEEKS AFTER APPLYING SOD

STABILIZATION CHARTS

TEMPORARY STABILIZATION

_	=
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE.	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS.
ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA. FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S).
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER
PERMANENT S	TABILIZATION
AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE

WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN

ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF WITHIN TWO DAYS OF REACHING FINAL GRADE

PERMANENT SEEDING

CEED MIV	OLLDING IVAIL		NOTEC			
SEED MIX	LB/ACRE	LB./1000 SF	NOTES			
GENERAL USE						
reeping red fescue	20-40	1/2-1	FOR CLOSE MOWING &			
DMESTIC RYEGRASS	10-20	1/4-1/2	FOR WATERWAYS WITH			
ENTUCKY BLUEGRASS	20-40	1/2 -1	<2.0 FT/SEC VELOCITY			
ALL FESCUE	40-50	1-1 1/4				
JRF-TYPE (DWARF) FESCUE	90	2 1/4				
(STEEP BAN	NKS OR CUT	SLOPES			
ALL FESCUE	40-50	1-1 1/4				
ROWN VETCH	10-20	1/4-1/2	DO NOT SEED LATER			
ALL FESCUE	20-30	1/2 -3/4	THAN AUGUST			
AT PEA	20-25	1/2 -3/4	DO NOT SEED LATER			
ALL FESCUE	20-30	1/2 -3/4	THAN AUGUST			
ROAD DITCHES AND SWALES						
ALL FESCUE	40-50	1–1 1/4				
JRF-TYPE (DWARF) FESCUE	90	2 1/4				
ENTUCKY BLUEGRASS	5	0.1				
LAWNS						
ENTUCKY BLUEGRASS	100-120	2				

FUELING AREA AND VEHICLE AND EQUIPMENT MAINTENANCE/MATERIAL STORAGE NOTES:

- ON-SITE VEHICLE AND EQUIPMENT FUELING SHALL ONLY BE USED WHERE IT IS IMPRACTICAL TO SEND VEHICLES AND EQUIPMENT OFF-SITE FOR FUELING.
- IF ON-SITE FUELING IS NECESSARY, CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED, UTILIZING DUAL WALL TANKS OR A DIKE.
- CONTRACTOR SHALL SUPPLY, CLEARLY MARK AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE
- IN FUELING AREAS. CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT FUELING UNLESS FUELING IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA.
- FUELING AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES.
- CONTRACTOR SHALL USE FUELING NOZZLES WITH AUTOMATIC SHUT-OFFS. FUELING OPERATIONS SHALL NOT BE LEFT UNATTENDED
- CONTRACTOR SHALL PROTECT FUELING AREAS WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
- CONTRACTOR SHALL NOT "TOP-OFF" FUEL TANKS. CONTRACTOR SHALL INSPECT VEHICLES AND EQUIPMENT EACH DAY FOR LEAKS. IF LEAKS ARE FOUND, THEY MUST BE REPAIRED AND CLEANED-UP IMMEDIATELY AND/OR THE LEAKING VEHICLES OR EQUIPMENT
- REMOVED FROM THE PROJECT SITE. . CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.

VEHICLE AND EQUIPMENT MAINTENANCE/MATERIAL STORAGE AREA:

- CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED IF STORING MATERIALS, MAINTAINING OR STORING VEHICLES AND EQUIPMENT ON-SITE.
- STORAGE/MAINTENANCE AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON
- AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES. CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT MAINTENANCE
- UNLESS MAINTENANCE IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA. CONTRACTOR SHALL SUPPLY, CLEARLY MARK AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE
- CONTRACTOR SHALL PROTECT STORAG/MAINTENANCE WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
- CONTRACTOR SHALL PROVIDE IMPERMEABLE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL AND CHEMICAL DRUMS.
- CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.

PETROLEUM PRODUCTS:

IN STROAGE/MAINTENANCE AREAS.

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE, PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL ONLY BE APPLIED ACCORDING TO THE MANUFACTURERS INSTRUCTION. ALL ON-SITE VEHICLE MAINTENANCE WILL BE ACCOMPLISHED IN DESIGNATED AREAS WITH

SPILL CONTROL PRACTICES:

MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

ALL FLUIDS BEING COLLECTED AND DISPOSED OF PROPERLY. PER OHIO EPA CGP PART B.5.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE ADDITIONAL EQUIPMENT AND MATERIALS WILL BE ADDED TO THIS LIST IF RECOMMENDED BY THE MANUFACTURER OF ANY PRODUCT TO BE USED ON THIS SITE

ALL SPILLS WILL BE CLEANED IMMEDIATELY AFTER DISCOVERY. THE OWNER, OR ITS DESIGNATED REPRESENTATIVE IS TO BE IMMEDIATELY NOTIFIED OF ANY SPILLS. THE SPILL AREA WILL BE KEPT VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS MATERIAL.

SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE OHIO EPA, REGARDLESS OF THE SIZE OF THE

SPILL CONTROL PRACTICES WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THE REOCCURRENCE OF ANY SPILL AND INCLUDE MEASURES OF HOW TO RESPOND TO SIMILAR OCCURRENCES. A DESCRIPTION OF ANY SPILL THAT OCCURS WILL BE RECORDED INCLUDING WHAT CAUSED IT AND HOW EASY IT WAS TO CLEAN UP.

THE GENERAL CONTRACTOR WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THE GENERAL CONTRACTOR WILL DESIGNATE THREE SITE PERSONNEL WHO WILL RECIEVE SPILL PREVENTION AND CLEANUP TRAINING. THE NAMES OF THESE INDIVIDUALS WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE SITE OFFICE.

NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS, OR BY BURYING, BURNING, OR MIXING WASTES.

ALL CONTAINERS USED FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES MUST BE COVERED AND

ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFS).

IN THE EVENT OF A SMALL RELEASE OF PETROLEUM WASTE (LESS THAN 25 GALLONS), PETROLEUM BASED AND CONCRETE CURING COMPOUNDS TO HAVE SPECIAL HANDLING PROCEDURES, CONTACT CONSTRUCTION MANAGER.

IN THE EVENT OF A LARGE RELEASE OF PETROLEUM WASTE (MORE THAN 25 GALLONS), OF PETROLEUM WASTE, MUST CONTACT OHIO EPA AT 1-800-282-9378, THE LOCAL FIRE DEPARTMENT 419-627-5822, AND THE LOCAL EMERGENCY PLANNING COMMISSION (POLICE DEPARTMENT) 419-627-5870 WITHIN 30 MINUTES OF THE SPILL.

LIQUIDS:

NON-HAZARDOUS LIQUIDS FROM DECONTAMINATION OR OTHER ACTIVITIES WILL BE STORED IN US DOT-APPROVED DRUMS OR HOLDING TANKS PENDING RECEIPT OF ANALYTICAL CHARACTERIZATION DATA. LIQUIDS, IF ANY, WILL BE TRANSPORTED BY A LICENSED HAULER TO AN APPROVED TREATMENT, STORAGE OR DISPOSAL FACILITY ("TSDF") OR WILL BE DISCHARGED DIRECTLY TO THE SANITARY SEWER WITH THE APPROVAL OF THE LOCAL PUBLICLY-OWNED TREATMENT WORKS ("POTW")

HAZARDOUS MATERIALS:

- HAZARDOUS WASTES, IF ENCOUNTERED, WILL BE COLLECTED DAILY AND DISPOSED OF IN SECURELY LIDDED CONTAINERS. . A SUFFICIENT NUMBER OF CONTAINERS WILL BE PROVIDED FOR HAZARDOUS BUILDING MATERIAL DISPOSAL. THESE WILL BE PROVIDED BY THE GENERAL CONTRACTOR
- SIGNS WILL BE PLACED ON BUILDING MATERIAL STORAGE CONTAINERS AUTHORIZING THE DISPOSAL OF SOLVENTS, OIL BASED PAINTS AND STAINS, CEMENT PRODUCTS, AND ASPHALTIC MATERIALS.
- A SUFFICIENT NUMBER OF CONTAINERS WILL BE SUPPLIED BY THE GENERAL CONTRACTOR FOR THE DISPOSAL OF GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRALIC FLUID, AND ANTIFREEZE.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ASSURING THAT ALL HAZARDOUS WASTE MATERIALS ARE COLLECTED DAILY AND DISPOSED OF PROPERLY.
- SIGNS WILL BE POSTED NOTIFYING PERSONNEL THAT NO WASTE IS TO BE DISPOSED OF DOWN ANY DRAIN, OR ANY SEWER OR SEPTIC TANK, WASTES ARE NOT TO BE DUMPED ON THE GROUND, OR ANY WATERWAY, WASTES ARE NOT TO BE BURNED, BURIED, OR MIXED WITH OTHER WASTES UNLESS PERMITTED BY THE MANUFACTURER.

HAZARDOUS PRODUCTS:

THESE PRACTICES ARE USED TO REDUCE THE RISK ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESALABLE.

ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED, THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCTS MUST BE DISPOSED OF MANUFACTURE RECOMMENDED METHODS WILL BE FOLLOWED.

SOLID WASTE MATERIALS:

SOLID WASTE MATERIALS MEETING THE EPA DEFINITION OF SOLID WASTE IDENTIFIED FOR OFFSITE DISPOSAL WILL BE COLLECTED DAILY AND STORED IN SECURELY LIDDED CONTAINERS (TRASH ENCLOSURE).

- A SUFFICIENT NUMBER OF METAL DUMPSTERS WILL BE PROVIDED BY THE GENERAL CONTRACTOR. A SUFFICIENT NUMBER OF METAL TRASH CANS WITH LIDS WILL BE USED ON-SITE.
- SIGNS WILL BE AFFIXED TO WASTE CONTAINER ADVISING WHO SHOULD BE CONTACTED WHEN CONTAINERS NEED
- SIGNS WILL BE PERMANENTLY DISPLAYED AS WASTE STORAGE AREAS AGAINST DUMPING OF LIQUID OR HAZARDOUS WASTES CONTAINERS NOT SPECIFICALLY MARKED FOR SUCH DISPOSAL.
- SITE PERSONNEL WILL BE ADVISED THAT NO CONSTRUCTION RELATED MATERIALS ARE TO BE BURIED ON-SITE AND THAT DISCIPLINARY ACTIONS WILL BE TAKEN AGAINST ALL OFFENDERS OF THIS POLICY. ALL SUBCONTRACTORS WILL BE GIVEN A WRITTEN COPY OF THIS POLICY.

SANITARY WASTES:

- A SUFFICIENT NUMBER OF PORTABLE SANITARY WASTE UNITS WILL BE PLACED ON-SITE; WASTES FROM THESE UNITS WILL BE COLLECTED AS SPECIFIED BY THE WASTE HAULER.
- SIGNS WILL BE POSTED SPECIFYING WHERE NEAR BY OFF-SITE FACILITIES ARE AVAILABLE.

GOOD HOUSEKEEPING:

- THE FOLLOWING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.
- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB. ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR
- APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER LABEL
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER LABEL. SUBSTANCES WILL NOT BE MIXED UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSAL OF THE
- MANUFACTURERS RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE GENERAL CONTRACTOR WILL INSPECT DAILY TO INSURE PROPER USE OF ALL MATERIALS WRITTEN COPIES OF THESE PROCEDURES WILL BE DISTRIBUTED TO ALL EMPLOYEES AND SUBCONTRACTORS. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING THESE

OFFSITE VEHICLE TRACKING:

1. AT MINIMUM, ALL STREETS SHALL BE CLEANED AT THE END OF THE WORK WEEK JUST PRIOR TO THE CLOSING OF THE SITE.

PROCEDURES WITH SITE PERSONNEL AND FOR INSURING THAT THEY ARE ADHERED TO.

- 2. A STABALIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED WITHIN SEVEN (7) DAYS OF THE ONSET OF SITE DISTURBING ACTIVITIES.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE DAILY SWEEPING OF PAVED AREAS ADJACENT TO THE SITE ENTRANCE ON A DAILY BASIS AND PRIOR TO ENDING WORK FOR THE
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSURING THAT ALL DUMP TRUCKS HAULING MATERIALS FROM THE CONSTRUCTION SITE WILL BE COVERED WITH TARPAULINS.
- TRUCK WASH AREAS WILL ONLY BE LOCATED IN BERMED AREAS OR IN AREAS THAT DRAIN TO SEDIMENT REMOVAL BASINS. WASTE FROM EQUIPMENT WASHING AND CONCRETE WASHOUT TO BE DISPOSED OF AT A

CERTIFIED LANDFILL AND/OR TREATMENT PLANT. **CONSTRUCTION & DEMOLITION DEBRIS**

ALL CONSTRUCTION & DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714, OR PROCESSED FOR RECYCLING

DUST AND DEBRIS CONTROL:

CONTRACTOR IS TO CONTROL DUST AT ALL TIMES, INCLUDING NON-WORKING DAYS, WEEKENDS, AND HOLIDAYS. ACTIVE WORK AREAS SHALL BE WET DOWN USING CONTRACTOR'S WATER SUPPLY OR TREATED WITH DUST SUPPRESSANTS AS REQUIRED AND APPROVED. STORM WATER BMPS SHALL BE MAINTAINED AND IMPROVED, AS NECESSARY, TO LIMIT DISCHARGE OF DUST AND DEBRIS.

TEMPORARY OR PERMANENT STABILIZATION OF WORK AREAS SHALL BE PERFORMED PROMPTLY.

WET-CUTTING METHODS SHALL BE USED, WHERE FEASIBLE, FOR CUTTING CONCRETE, ASPHALT AND MASONRY.

CONTRACTOR SHALL CONTROL OFFSITE TRACKING OF DUST AND DEBRIS FROM CONTRACTOR'S VEHICLES AND CONTRACTOR'S SUBCONTRACTORS.

CONTRACTOR SHALL PERFORM STREET SWEEPING OR OTHER DUST AND DEBRIS MANAGEMENT MEASURES, AS NEEDED, TO FULFILL THE OBJECTIVES OF THIS SECTION.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL ONLY BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WATER WASH WATER IN AREAS APPROVED, DESIGNATED CONCRETE WASH OUT PIT LOCATION ON SITE.

THE OWNER RESERVES THE RIGHT TO REQUIRE THE GENERAL CONTRACTOR TO EMPLOY SEDIMENT CONTROL TECHNIQUES TO LIMIT CONCRETE SPOILAGE RUNOFF.

FILTER SOCK MINIMUM SIZE 12" 12" MIN.

NOTES:

- COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF A
- FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.

PARTICLES RANGING FROM 3/8" TO 2".

MORE EFFECTIVE ALTERNATIVE.

-ROCK BAGS

IN CORNERS (TYP.)

- 1. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
- 2. FILTER SOCKS ARE INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
- 3. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF

MAINTENANCE:

WOOD STAKES

(2 PER BALE)

STRAW BALES

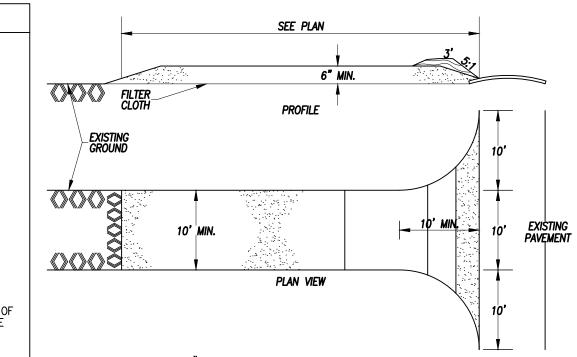
(2 HIGH)

STAPLE AS REQ.

OR REBAR

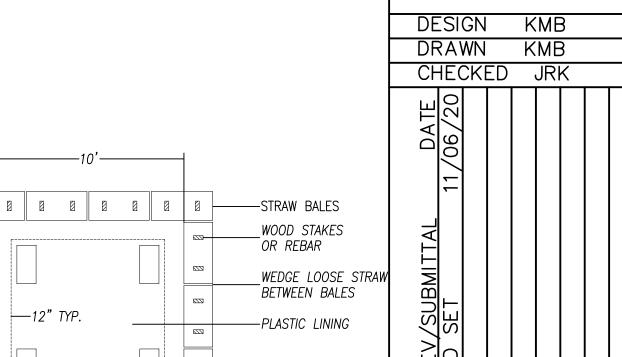
- ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES. • REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THEY REACH 1/3 OF
- THE EXPOSED HEIGHT OF THE PRACTICE • WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A
- REMOVAL FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED ON SUCH AS TO FACILITATE AND NOT OBSTRUCT SEEDINGS

PLASTIC LINING



- 1. STONE SIZE USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. LENGTH - AS REQUIRED
- THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRÉSS OCCURS. 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR
- CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED. WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO
- PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE 9. PERIODIC INSPECTION AND NEEDED MAINTAINENCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE (CE) NOT TO SCALE



ROCK BAGS

IN CORNERS

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<u>PLAN VIEW</u>

1. ALL CONCRETE WASHOUT FACILITIES SHALL BE CLEANED OUT REGULARLY TO AVOID SPILLAGE OF CONCRETE OUTSIDE OF WASHOUT.

2. ALL WASHOUTS SHALL BE REPAIRED AND MAINTAINED REGULARLY.

CONCRETE WASHOUT DETAIL (CW)

3. CONCRETE WASHOUT TO BE APPROVED BY THE ERIE COUNTY SWCD.

STORM DRAIN INLET PROTECTION

SECTION VIEW

OPTIONS FOR USE INCLUDE DANDY BAG®, GEOTEXTILE INLET PROTECTION, OR BLOCKSOM INLET FILTER.

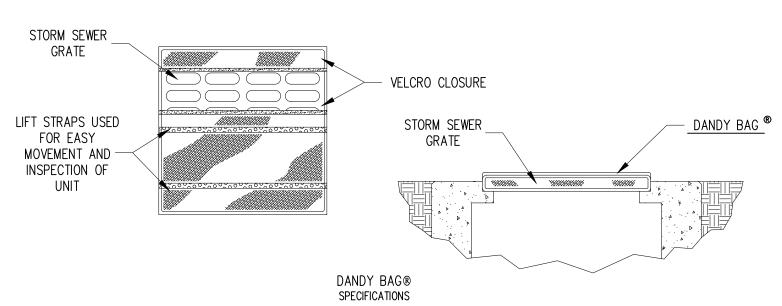
STORM DRAIN INLET PROTECTION CONSISTS OF A GEOTEXTILE BARRIER SUPPORTED AROUND OR ACROSS A STORM INLET. IT IS USED TO PREVENT SEDIMENT-LADEN WATER FROM ENTERING A STORM DRAIN SYSTEM, IT REDUCES THE RATE AT WHICH SEDIMENT-LADEN WATER MAY ENTER AN INLET, THEREBY CAUSING PONDING AND SETTLING OF SEDIMENT.

CONCRETE

WASHOUT

AREA

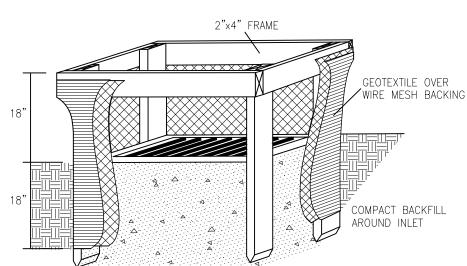
SIGN DETAIL



NOTE: THE DANDY BAG® WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS: HI-FLOW DANDY BAG® (SAFETY ORANGE)

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (75)
UV Resistence	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m²(gal/min/ft²)	5907 (145)
Permittivity	ASTM D 4491	Sec ⁻¹	2.1

DANDY BAG® (IP



- 1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL
- 2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH OF 18 INCHES.
- 3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
- 4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

REFERENCE: 2006 RAINWATER AND LAND DEVELOPMENT MANUAL

GEOTEXTILE COVERS OR PRE-FABRICATED INLET PROTECTION DEVICES SHALL BE SUBMITTED FOR APPROVAL BEFORE USE.

GEOTEXTILE INLET PROTETION

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COUNTY GENER

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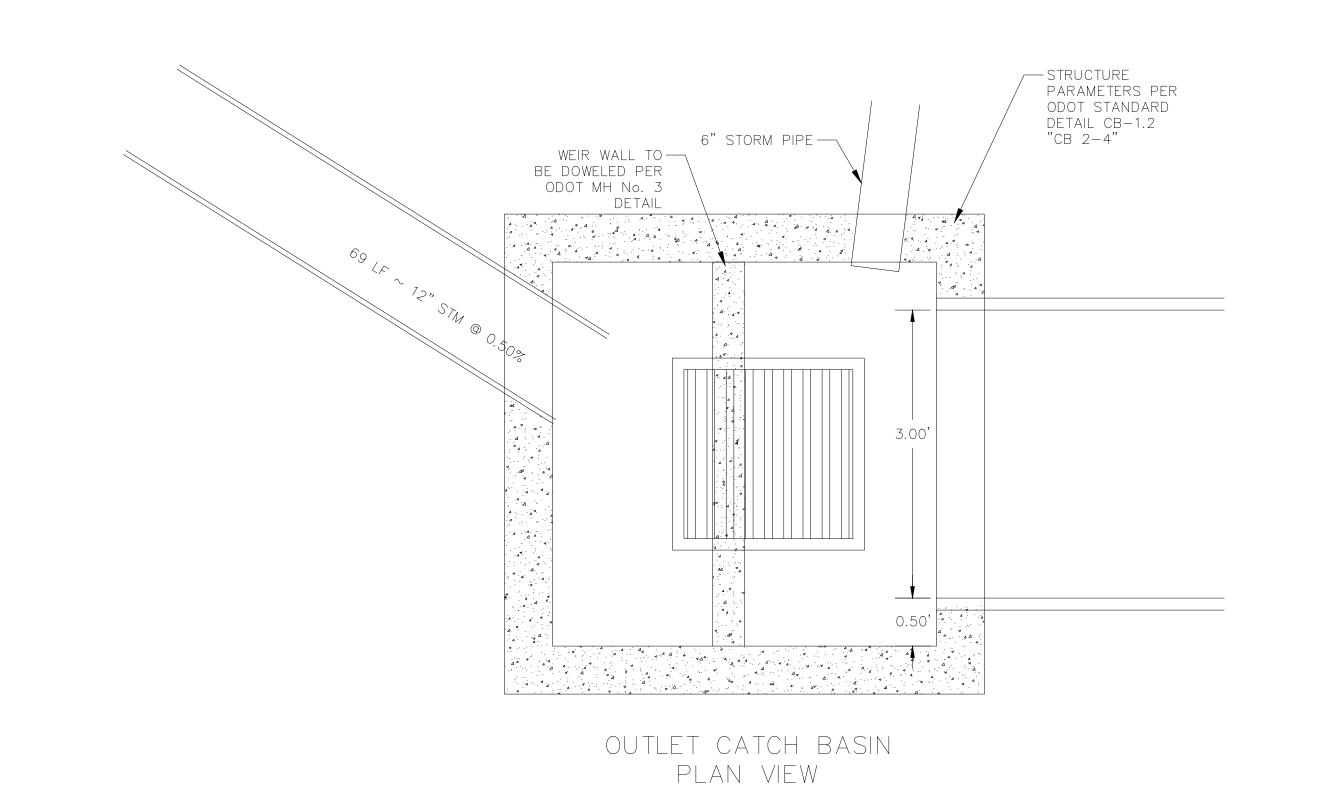
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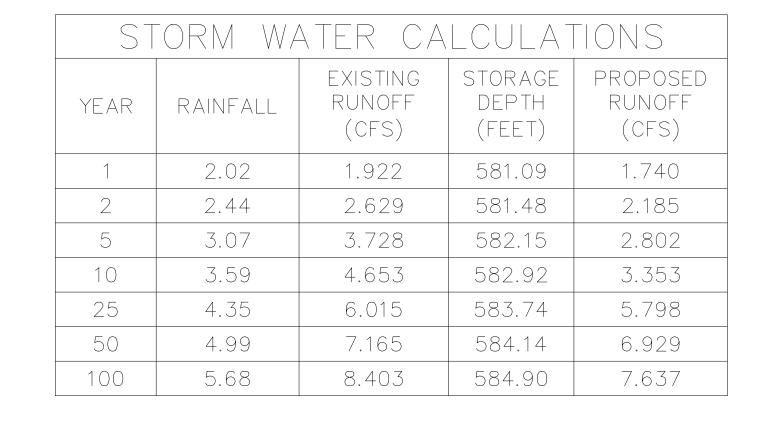
RB PROJECT NO.: 280620



4 4 4 4 4

CATCH BASIN WEIR WALL

CROSS SECTION



CATCH BASIN OUTLET STRUCTURE

SCALE: NTS

PRELIMINARY PLAN DESIGN KMB DRAWN KMB CHECKED JRK DA/

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ST. 44

PROJECT ADDRESS 420 SUPERIOR SANDUSKY, OH PROJE OFFICE ERIE

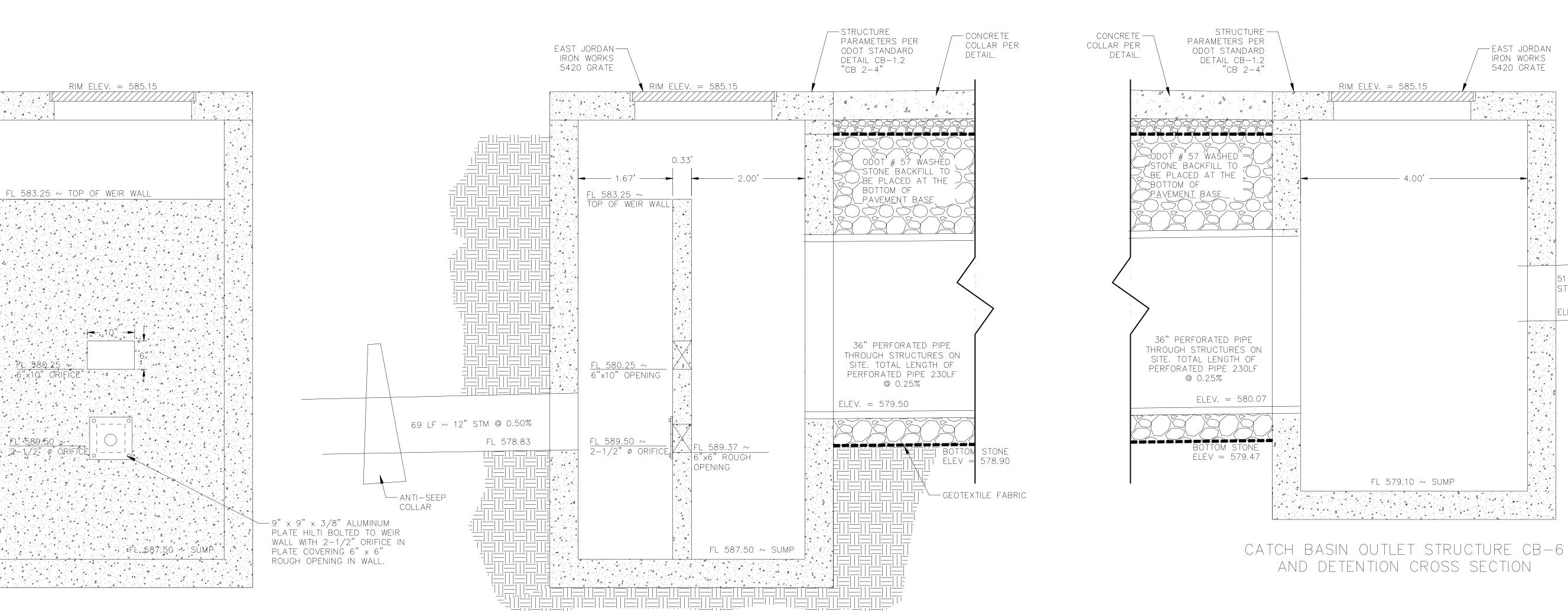
51 LF ~ 12" STM @ 0.50%

ELEV.= 582.10

TITLE: SHEET TI-SWPPP DETAIL

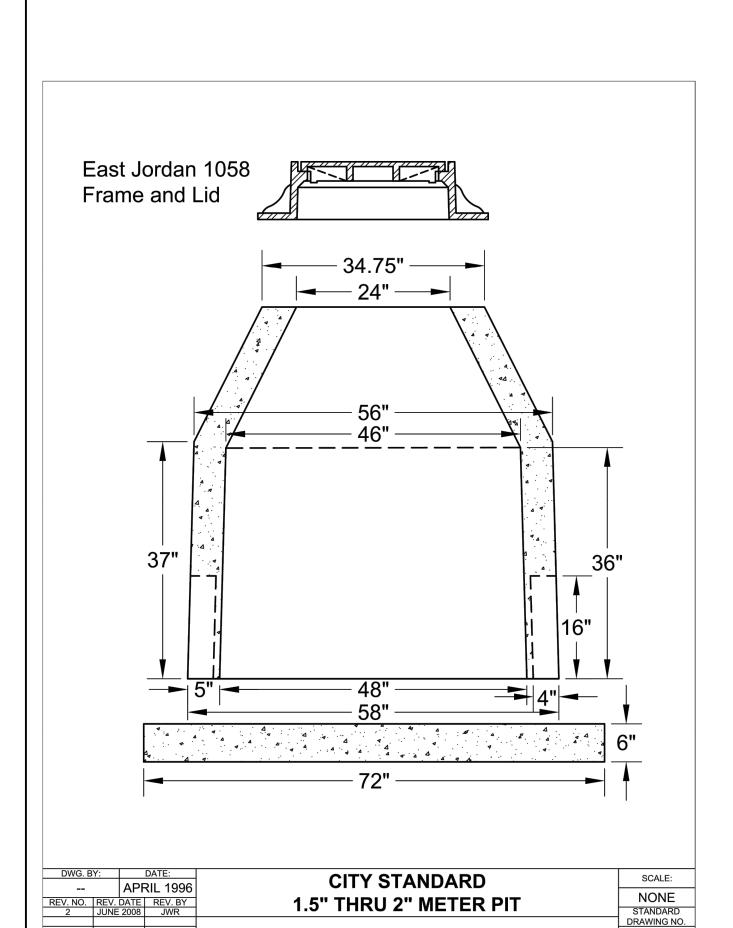
SHEET NO .: C4.3

RB PROJECT NO .: 280620



CATCH BASIN OUTLET STRUCTURE CB-1

AND DETENTION CROSS SECTION



MP-2

1 OF 1

TYPICAL TRENCH REPAIR

IN EXISTING ASPHALT PAVEMENT

SEE NOTES 3 AND 4. — FINISH

SURFACE COURSE (448) (THICKNESS VARIES)

2-1/2" ASPHALT CONC.,

TACK COAT -

EX. ASPHALT PAVEMENT -

- 5/8" Ø TRANSVERSE

REINF. RODS,

COMPACTED ODOT

COMPACTED NO. 8 LIMESTONE

NONE

STANDARD

DRAWING NO.

TR-4

DWG. BY: DATE:

APRIL 1996

CITY OF SANDUSKY

DEPARTMENT OF PUBLIC WORKS

--

6" IN ROCK CUT

NO. 304 STONE

AT 12" CENTERS

✓ GRADE

PAVEMENT

SUBGRADE

CITY OF SANDUSKY

TYPICAL TRENCH REPAIR

IN EXISTING **CONCRETE** PAVEMENT 8" REINF. PCC PAVEMENT (451)

QCMS CONCRETE

FINISH GRADE

SEE NOTE 1.

REPLACE PAVEMENT A MINIMUM OF 12" ON EACH SIDE OF TRENCH.

EX. CONCRETE PAVEMENT

(THICKNESS VARIES)

SEE NOTE 3.

PAVEMENT -

SUBGRADE

1/2" Ø LONGITUDINAL

SPACED AS SHOWN

REINF, RODS.

EXCAVATION PAY LINE, FOR PIPE SIZE UP TO 24",

USE I.D. PLUS 20". FOR PIPE SIZE OVER 24",

USE O.D. PLUS 24".

JULY 2005

| REV. NO. | REV. DATE | REV. BY | 1 | JUNE 2008 | JWR | 2 | JUNE 2016 | JRK | 3 | NOV 2019 | JEC | CITY OF SANDUSKY

DEPARTMENT OF PUBLIC WORKS

- TRENCH WIDTH

2. PAVEMENT SECTION SHALL BE AT LEAST EQUIVALENT TO EXISTING PAVEMENT, BUT IN NO CASE LESS THAN THAT

CONCRETE SHALL BE SAWED BEFORE REMOVING SO AS TO PRESERVE A NEAT LINE FOR THE ENTIRE LENGTH OF THE

4. ALL VERTICAL EDGES OF EXISTING ASPHALT CONCRETE SHALL BE TACK COATED. SEAL JOINT WITH AC-20, FOR 448.

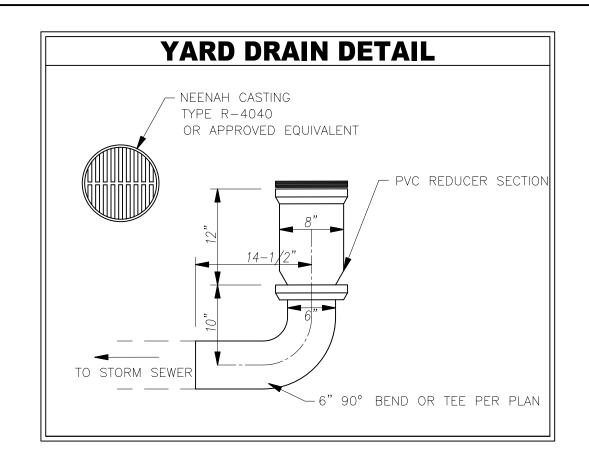
TRENCH REPAIR SECTION

IN EXISTING PAVEMENT

3. DIAMOND SAW CUT EXISTING PAVEMENT AND RE-PAVE TO A CLEAN, STRAIGHT EDGE (TYP.). <u>DO NOT REMOVE</u> PAVEMENT OUTSIDE OF THE TRENCH NEAT LINE UNTIL AFTER THE TRENCH HAS BEEN BACKFILLED. THE EXISTING

DEPARTMENT OF PUBLIC WORKS

. WHEN TRENCH AND EXCAVATION IS IN AN EXISTING PAVED STREET, DRIVE APPROACH, OR OTHER PAVED SURFACE,



PAVEMENT SUBGRADE COMPACTED ODOT NO. 304 STONE **EXCAVATION** PAY LINE COMPACTED NO. 8 LIMESTONE 4" IN EARTH CUT — TRENCH WIDTH -6" IN ROCK CUT PAY LINE: FOR PIPE SIZE UP TO 24", USE I.D. PLUS 20" FOR PIPE SIZE OVER 24", USE O.D. PLUS 24"

TRENCH REPAIR SECTION

IN PROPOSED PAVED AREAS

NONE

1 OF 1

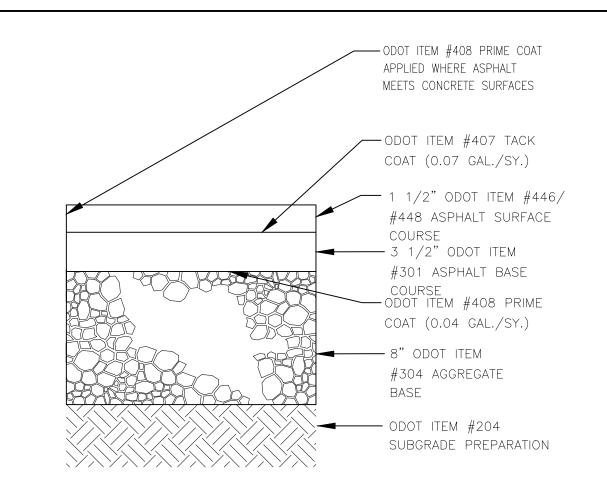
BROOM FINISH — 6" ODOT ITEM #451 1 LAYER 6" X 6" / W2.9 X W2.9 WELDED WIRE AT MIDPOINT 6" MIN ODOT ITEM #304 AGGREGATE BASE. ADDITIONAL AGGREGATE MATERIAL MAY BE REQUIRE TO MEET SUBGRADE. — ODOT ITEM #204 SUBGRADE PREPARATION

NORMAL DUTY CONCRETE **PAVEMENT SECTION**

NOT TO SCALE

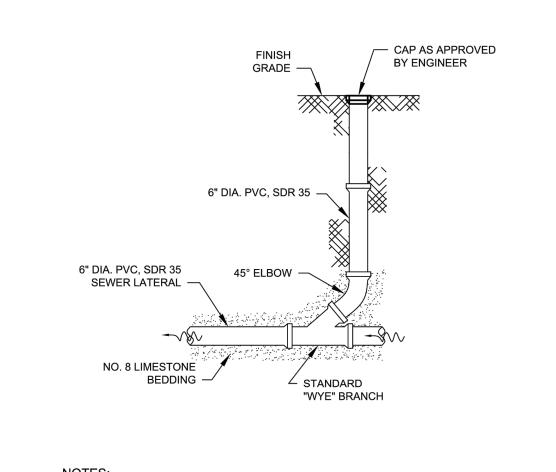
NOTE:

SEE TYPICAL CONSTRUCTION JOINT DETAIL FOR DOWEL REQUIREMENTS.



ASPHALT PAVEMENT SECTION HEAVY DUTY

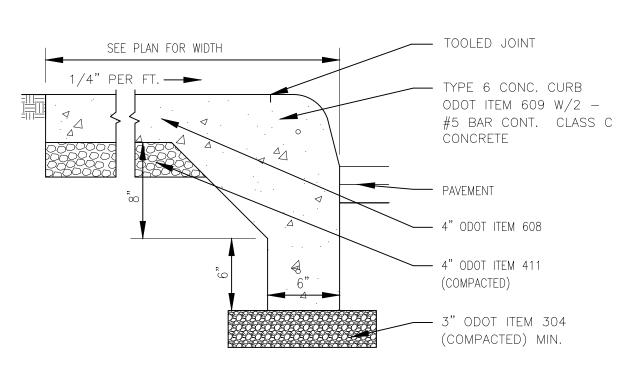
NOT TO SCALE



1. Cleanout pipe to be same size and material as sewer lateral or main, up to 8".

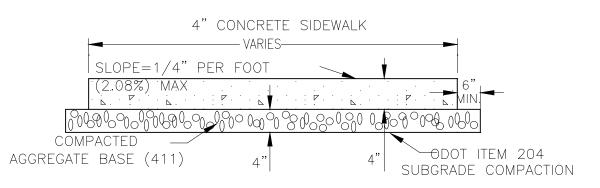
- 2. Backfill to top of 45° bend with No. Crushed Limestone.
- 3. Encase cap in 6" Class C Concrete collar if cleanout is located in a paved surface.

DWG. BY: DATE: SCALE JWR | AUG 2008 SEWER LATERAL CLEANOUT NDNE REV. NO. REV. DATE REV. BY STANDARD STANDARD DRAWING NO. DRAWING NO. TR-3 CITY OF SANDUSKY TR-7 DEPARTMENT OF PUBLIC WORKS



CONCRETE WALK WITH INTEGRAL TYPE 6 CURB

- 1. SIDEWALKS TO BE A MINIMUM OF 4" THICK WITH TOOLED JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO TRAVEL DIRECTION.
- 2. CONCRETE FOR SIDEWALKS SHALL BE CLASS C AND CONFORM TO ODOT ITEM 499 WITH
- 3. SEE ARCHITECTURAL SITE PLAN FOR JOINT SPACING AND DIMENSIONS. (IF AVAILABLE)
- 4. CONSTRUCTION JOINTS SHALL BE FORMED AROUND ALL APPURTENANCES SUCH AS MANHOLES OR UTILITY POLES EXTENDING INTO AND THROUGH THE SIDEWALK.
- 5. EXPANSION JOINT FILLER 1/4" THICK SHALL BE INSTALLED BETWEEN THE WALK AND FIXED STRUCTURE EXTENDING THE FULL DEPTH OF THE WALK.
- 6. DEPTH OF SAWCUTS SHALL BE 1/4 THE THICKNESS OF THE WALK.
- 7. A UNIFORM APPLICATION OF CURING MEMBRANE SHALL BE APPLIED TO THE EXPOSED SURFACES OF CONCRETE IN ACCORDANCE WITH ODOT ITEM 451.



CONCRETE SIDEWALK ODOT ITEM 608

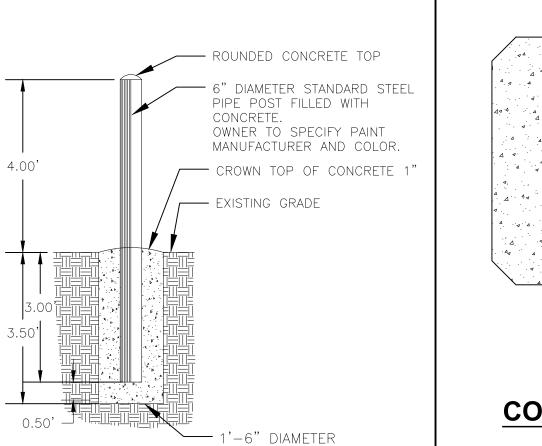
NOT TO SCALE

- SIDEWALKS TO BE A MINIMUM OF 4" THICK WITH TOOLED JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO TRAVEL DIRECTION.
- 2. CONCRETE FOR SIDEWALKS SHALL BE CLASS QC1 OR QC MISC. AND CONFORM TO ODOT ITEM 499.
- 3. SEE ARCHITECTURAL SITE PLAN FOR JOINT SPACING AND DIMENSIONS. (IF AVAILABLE)
- . CONSTRUCTION JOINTS SHALL BE FORMED AROUND ALL APPURTENANCES SUCH AS MANHOLES OR UTILITY POLES EXTENDING INTO AND THROUGH THE SIDEWALK.
- EXPANSION JOINT FILLER 1/2" THICK SHALL BE INSTALLED BETWEEN THE WALK AND FIXED STRUCTURE EXTENDING
- THE FULL DEPTH OF THE WALK. 6. THE SURFACE OF THE WALK SHALL HAVE A TRAVERSE SLOPE
- OF 1/4" PER FOOT, WITH THE LOW SIDE ADJACENT

BOLLARD DETAIL

NOT TO SCALE

- 7. DEPTH OF SAWCUTS SHALL BE 1/4 THE THICKNESS OF THE
- 8. A UNIFORM APPLICATION OF CURING MEMBRANE SHALL BE APPLIED TO THE EXPOSED SURFACES OF CONCRETE IN ACCORDANCE WITH ODOT ITEM
- 9. WHEN THE SIDEWALK IS IN THE RIGHT OF WAY AND ADJACENT TO A CURB, SIDEWALK SHALL BE A MINIMUM OF FIVE FEET (5') WIDE.
- 10. WHEN A SIDEWALK IS ADJACENT TO A CURB WITHIN THE RIGHT OF— WAY, SIDEWALK SHALL BE A MINIMUM OF 7'-6" WIDE.
- 11. CONCRETE FOR SIDEWALKS SHALL BE CLASS C AND CONFORM TO ODOT ITEM 499 WITH 6X6-W2.9X2.9 WWF.



NOTE:

CONCRETE TO BE ODOT ITEM #452 8" CLASS C CONCRETE W/ FIBER MESH REINFORCEMENT.

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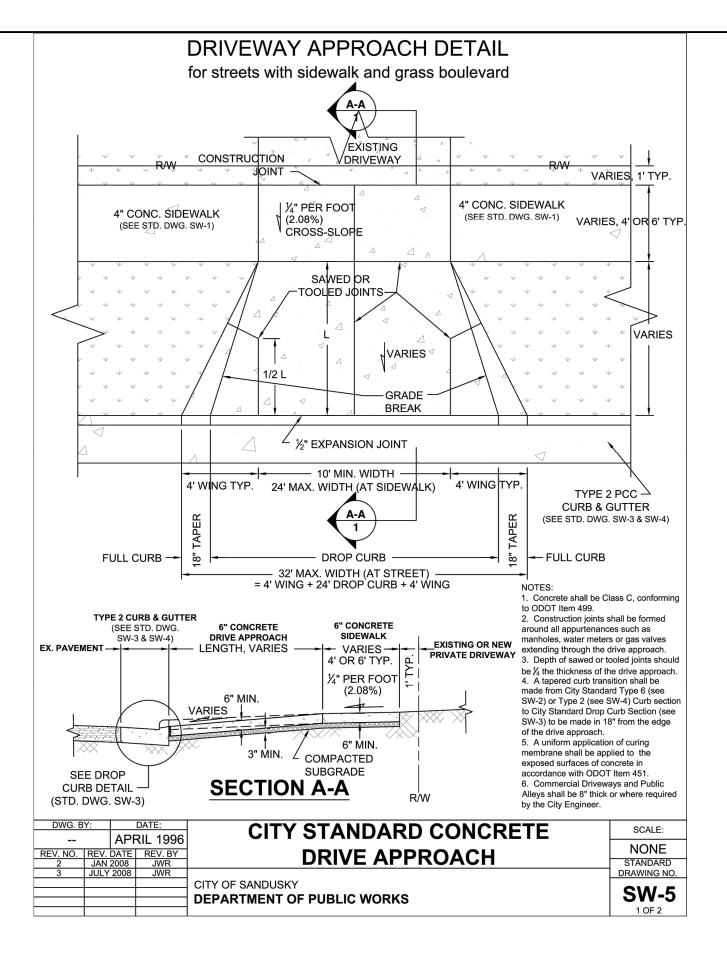
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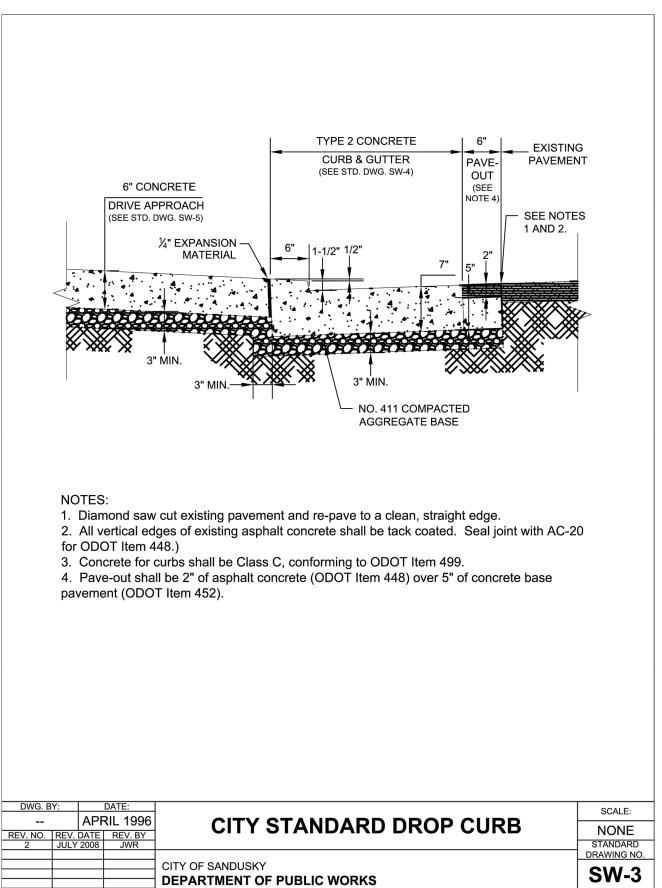
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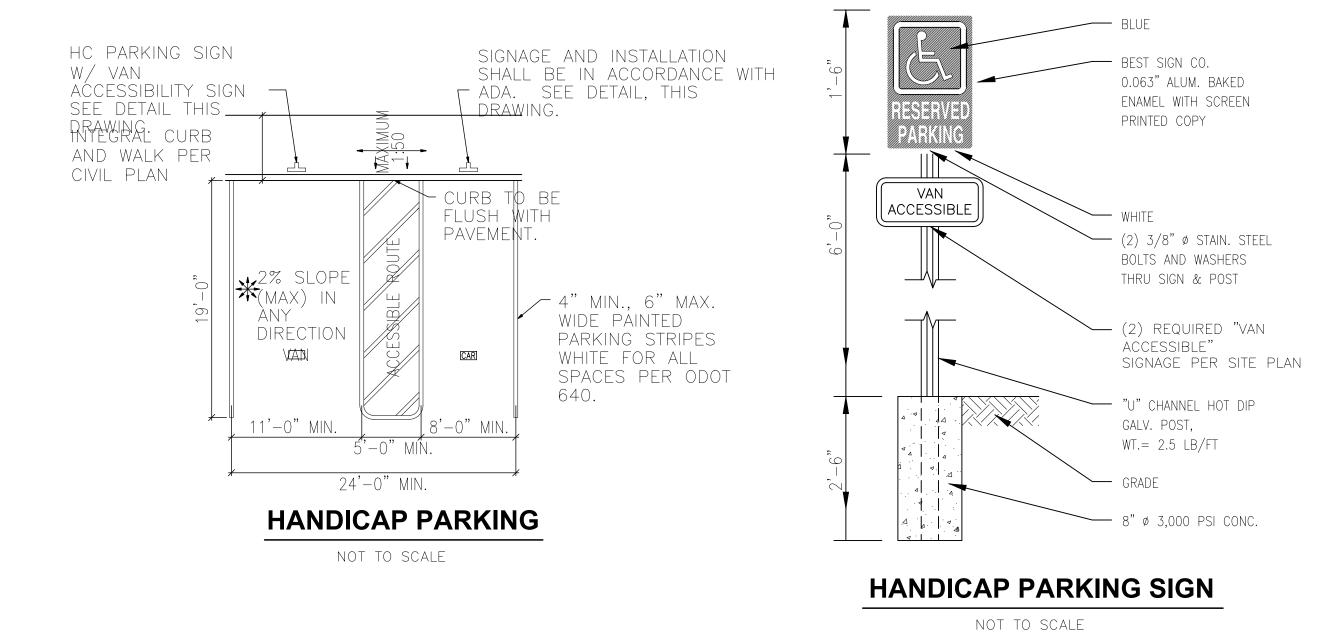
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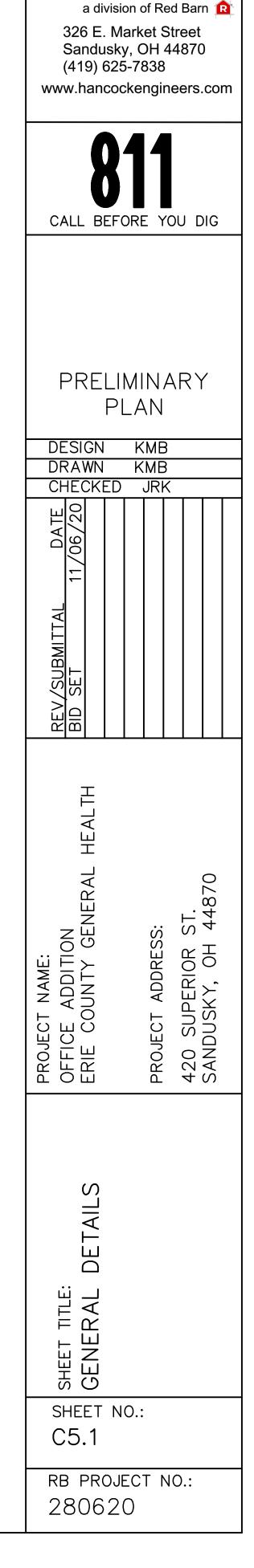
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RB PROJECT NO .: 280620



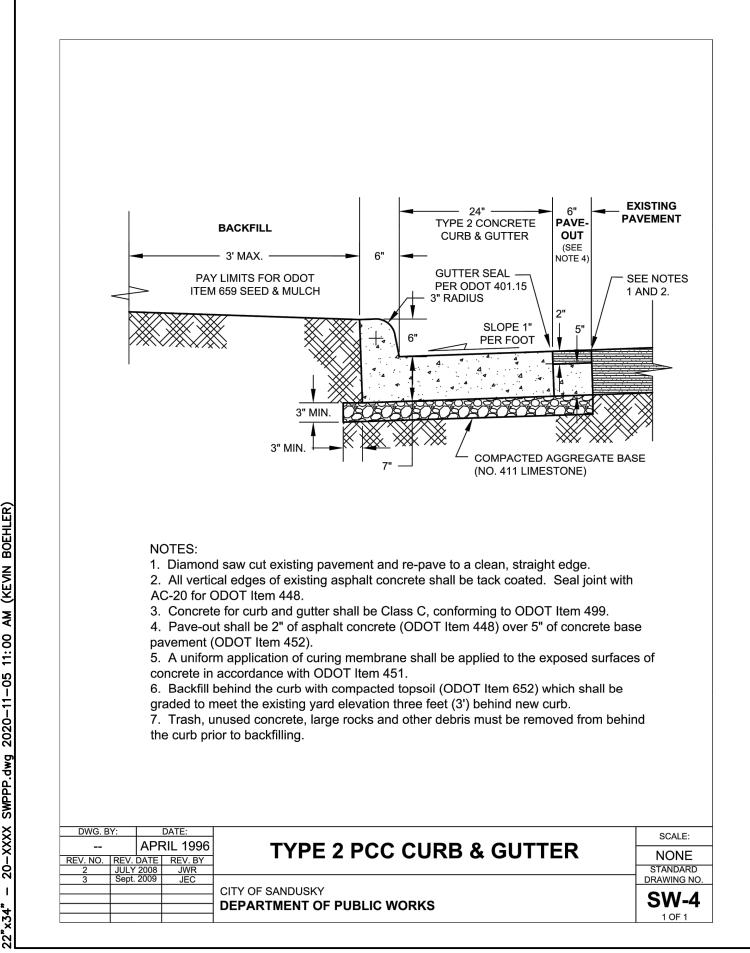






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PLANNING COMMISSION

Application for Site Plan Approval

Department of Planning 240 Columbus Ave Sandusky, Ohio 44870 419.627.5891 www.cityofsandusky.com

APPLICANT/AGENT INFORMATION:

Property Owner Name:

Erie County Combined General Health

District Board of Health

Property Owner Address:

420 Superior Street

Sandusky, OH 44870

Property Owner Telephone:

419-626-5623

Property Owner Email:

Schade Peter (pschade@echdohio.org)

Authorized Agent Name:

GREG SCHMID - POLLOSTSCHMID D.G.

Authorized Agent Address:

1717 E. PERKINS AVE.

SANDUSKY, OH 44870

Authorized Agent Telephone:

419.425.0009 EXT. 19

Authorized Agent Email:

GREG @ PSDG. US

LOCATION AND DESCRIPTION OF PROPERTY:

Municipal Street Address: 420 Superior Street

Legal Description of Property (check property deed for description):

OL 51 EAST OF SUPERIOR ST

59-62001.00, 59-62003.000.

Public Facilities.

Parcel Number: 59-64010.000, 59-62005.000

Zoning District: Two Family Resid.

DETAILED SITE INFORMATION:
Land Area of Property: 128,334 S.F. (sq. ft. or acres)
Total Building Coverage (of each existing building on property): Building #1:29,700 (in sq. ft.) Building #2: Building #3: Additional:
Total Building Coverage (as % of lot area):23.1
Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space: All building area is a medical facility with some administrative areas
Proposed Building Height (for any new construction): 34.67' from FF
Number of Dwelling Units (if applicable): N/A
Number of Off-Street Parking Spaces Provided: 7 Handicap
Parking Area Coverage (including driveways): 59,580 (in sq. ft.)
Landscaped Area: 21,275 (in sq. ft.)

X	New Construction (new building(s)) Addition to Existing Building(s) Change of Use in Existing Building(s)			
Description of Proposed Development (Describe in detail your developmer plans, for example – proposed use, size of building or proposed addition, nours of operation, days of operation, seating capacity, etc.):				
existing count	nstruction of a 4,380 s.f. (building footprint) muilti-story building addition to the ty health department complex. The proposed construction will encompass and expansion of the existing parking lot, storm sewer construction and of a new storm sewer tap.			
	d development will keep with the same hours of operations as the existing proposed addition will encompass a new conference area, medical area, and estaff			
	CIRTINATE CHROCES			
	phismana tot call godine Tueste Bulaniq and a enquyatet			

APPLICATION AUTHORIZATION:	
APPLICATION AUTHORIZATION:	
f this application is signed by an agent, aut egal owner is required. Where owner is a authorization should be by an officer of the	corporation, the signature of
seal.	ulas bass
Signature of Owner or Agent	Date
PERMISSION TO ACT AS AUTHORIZED AGEN	NT:
As owner of 420 Superior Street	_(municipal street address of
property), I hereby authorize 600 Sch	to act on my
behalf during the Planning Commission app	provai process.
Peter / Silv - 808014	11 /2 /2020
Signature of Property Owner	Date
REQUIRED SUBMITTALS:	
15 copies of a site plan/off-street parking p \$25.00 application fee	olan for property
APPLICATION MUST BE FILLED OUT CO	OMPLETELY
STAFF USE ONLY:	
Date Application Accepted:	Permit Number:
Date of Planning Commission Meeting:	
Planning Commission File Number:	
APPLICATION #PC-001 UPDATED 7/23/	2019 Page 4 of 7

APPLICATION AUTHORIZAT	ION:	
legal owner is required. W	by an agent, authorization in wri	signature of
seal.	an officer of the corporation und	der corporate
Signature of Owner or Age	nt Date	
PERMISSION TO ACT AS AU	THORIZED AGENT:	
As owner of 420 Super	and Street (municipal stre	et address of
	ze Greg Schoud	to act on my
behalf during the Planning	Commission approval process.	
Pate, 1. Silv	- ECBOH 11/20)	12020
Signature of Property Own		
REQUIRED SUBMITTALS:		
15 copies of a site plan/off- \$25.00 application fee	street parking plan for property	
\$25.00 application fee		
APPLICATION MUST BE	FILLED OUT COMPLETELY	
STAFF USE ONLY:		
Date Application Accepted:	Permit Number	# 6 & **********************************
Date of Planning Commission	on Meeting:	_
Planning Commission File N	lumber:	
APPLICATION #PC-001	UPDATED 7/23/2019	Page 4 of 7