



Planning Commission

240 Columbus Ave

Sandusky, Ohio 44870

419.627.5973

www.cityofsandusky.com

Agenda

January 27, 2021

5:00 pm

Meeting via Microsoft Teams and

Live Streamed on [www.Youtube.com/CityofSanduskyOH](https://www.youtube.com/CityofSanduskyOH)

1. Meeting called to order – Roll Call
2. Approval of minutes from December 21, 2020 meeting
3. Election of officers

Adjudication Hearing

4. Greg Schmid, on behalf of the Erie County Combined General Health District Board of Health, has submitted an application for a Conditional Use Permit to allow a “PF” – Public Facilities use within the “R2F” - Two-Family Residential District at parcels 59-62003.000 and 59-62001.000 near 420 Superior Street.

New Business

5. Rosalyn Ahner, as an authorized agent of RL Ahner Properties LLC., has applied for site plan approval for 2101 W. Perkins Avenue.
6. David Maison, on behalf of Name One Yellowstone LLC, has submitted an application for a Special Residency Occupancy Permit for 333 E Washington Street to allow for the re-establishment of a residential, nonconforming use where a prior legal nonconforming residential use has expired and the structure remains.

7. David Maison, on behalf of Name One Yellowstone LLC, has submitted a site plan application for 333 E Washington Street.

Old Business

7:00 PM - Presentation

8. Presentation of the Downtown Sandusky Master Plan by MKSK.
9. Meeting Adjourned

NEXT MEETING: February 24, 2021 at 5:00pm.

Please notify staff at least 2 days in advance of the meeting if you cannot attend. Thank you.

**Planning Commission
December 21, 2020
Meeting Minutes**

Meeting called to order:

Chairman McGory called the meeting to order at 4:31pm. The meeting took place virtually. The following members were present: Mike Zuilhof, Jim Jackson, Conor Whelan, Mike Meinzer, and Jade Castile. David Miller was not present. Greg Voltz represented the Planning Department and Brendan Heil represented the Law Department.

Approval of minutes from the November 16th, 2020 meeting:

Mr. Jackson made a motion to approve the minutes and Mr. Meinzer seconded the motion. Mr. Zuilhof then stated that item three on the minutes has a motion and a second, but no vote on the motion is recorded. He then made a motion to amend the former motion, to approve the minutes with that correction. Mr. McGory seconded the motion. All members were in favor of the motion.

Swearing in of those wishing to speak on adjudication hearings: Law Director Brendan Heil swore in those wishing to do so.

Adjudication Hearing:

1. ***The City of Sandusky submitted an application for an amendment to the zoning map for the following parcels located along First and Second Street: 57-00057.000, 57-00923.000, 57-00924.000, 57-00925.000, 57-00926.000, 57-01977.000, 57-02060.000, 57-02304.000, 57-02507.000, 57-02667.000, 57-02925.000, 57-03247.000, 57-03690.000, 57-03694.000, 57-03695.000, 57-03842.000, 57-03843.000, 57-03844.000, 57-03845.000, 57-03847.000, 57-03848.000, 57-03849.000, 57-03850.000, 57-03859.000, 57-03861.000, 57-03863.000, 57-03961.000, 57-03962.000, 57-04022.000, 57-04024.000, 57-05755.000, 57-05756.000, 57-60034.000.***

Mr. Voltz stated that after a couple of applications from earlier this year regarding properties within this general area were tabled, staff reviewed options, walked the neighborhood, and spoke to residents. He stated that the Bicentennial Comprehensive Plan outlines a number of priorities for the eastern neighborhoods which include: 1) Creation of the Sandusky Bay Pathway multipurpose trail along First Street, 2) Redevelop vacant land and infill to extend and stabilize single family neighborhoods, and 3) Target areas around First Street for residential stabilization and infill and mixed-use residential development. Staff believe the rezoning could create an opportunity for investment that could attract new infill development further south into the neighborhood. Commercial Recreation also still permits single-family residential and permits transient rental. When staff talked with residents in the area, most of them were south of Second Street and their concern was that a Commercial Recreation use would allow for more boat storage and they would like to keep their neighborhood feel. Ms. Castile stated that in the staff report it is mentioned that staff believe precautions will need to be put in place to limit the type of uses permitted in the area to ensure future development in the area continues to be a contribution and not a detriment. She asked what those precautions would be. Mr. Voltz stated that staff did explore a complete overlay rezoning. The issue with that is an overlay district would need created which does not exist in code and is a three month process. The area would need rezoned which is another three month process. All of that is possible, but the hope is to see how this rezoning plays out first. He said that he did receive two public comments. The first one is from Velma Brown at 1825 Fourth Street via phone call. She stated that she wished that the property next-door, to the east of her was better maintained and the lawn mowed more frequently as there are a lot of overgrown bushes and some ground hogs that live there. She said she also wished the alley was better maintained and that the tree in front of her house might need to be checked out. The second comment came from John Hoty who stated that "as the owners of Lake Ridge Investments, Bay Boat Storage, and Sandusky Boat Storage, all properties just to the west of the requested zoning changes – we are in full support of all the requests on First Street. We are not directly affected by the requests on Second or Third Street and have no objections." Mr. Zuilhof stated that another option would be a new zoning category that would not allow the undesirable uses. He then said that the PUD ordinance allows quite a bit of flexibility in any category. He said that he was hoping that an option would not be

rejected due to it taking six months. Mr. McGory asked that if the Planning Commission decides to approve this application, how could they prohibit undesirable uses. Mr. Voltz stated that they would not be able to the way things currently sit which is why they have considered creating a new category, but staff struggled to find a good answer for this. It seems that if there are strict uses then things that are beneficial may be prohibited, but if you leave things vague then undesirable uses may pop up. However, if somebody did want to build in that area, the Planning Commission would need to hear that application for site plan approval as long as it met all requirements. D. Jeffery Rengel, on behalf of RLR Properties, Ltd. stated that he is opposed to rezoning just the northern side of Second Street and not the southern side as well. Mr. Whelan asked if staff could ask why staff decided to do it that way. Mr. Voltz stated that the reason staff decided to rezone the area that way was due to the residents' concerns, this rezoning creates a little bit of a buffer for the residents, while still allowing some new development. If the rezoning did occur on the southern side of Second Street, then those who live on Third Street may possibly open their back door to a development. Mr. Whelan then stated that it would make sense to him to leave off the two properties Bob Waldock has on the southern side of Third Street as that would then include a whole other street, but do not necessarily see the southern side of Second Street as a worse or better cutoff point between commercial and residential. Mr. Jackson stated that if the south side of Second Street is rezoned, the residents that currently live there are going to be on an island with commercial properties on both sides of them, north and south sides of them. Mr. Zuilhof stated that we are as concerned with the form of development as we are with the use. He said that it is a concern what it is going to look like there, not just what is going to happen there. That is what the benefit of using a PUD is. He said that the reason these properties are being asked to be rezoned may be because they are worth more when they are sold with a different category, which would not be a good reason to rezone a property. Mr. Voltz stated that staff's reasoning for rezoning this area is because this area has been stagnant for some time now and would like to see some development there. Bob Waldock, on behalf of Waldock Properties II, stated that regarding his parcels included in this application, they do not plan on selling those properties and he has been in discussion with staff regarding their plans as they develop the PUD to the north. Mr. Meinzer made a motion to approve the application and Mr. Whelan seconded. With five members in favor of the motion and one against, the motion passed.

- 2. Bob Waldock, on behalf of Waldock Properties II, has submitted an application for an amendment to the zoning map for the following parcels located along 1st Street: 57-00925.000, 57-00926.000, 57-00923.000, 57-04024.000, 57-04022.000, 57-0924.000, 57-03694.000, 57-03695.000 (LOT NUMBERS 408, 409, 410, 411, 412, 413, 414, 415).**

Mr. Zuilhof made a motion to table this application and Mr. Jackson seconded. All members were in favor of the motion.

- 3. D. Jeffery Rengel on behalf of RLR Properties, Ltd., has submitted an application for an amendment to the zoning map for the following parcels located along 2nd Street: 57-03859.000, 57-03861.000, 57-03863.000, 57-03864.000, 57-03865.000, 57-03866.000, 57-03867.000, 57-03868.000, 57-03869.000, 57-03853.000, 57-03854.000, 57-03855.000 (LOTS 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382) AND THE FOLLOWING PARCELS LOCATED ALONG THIRD STREET: 57-03875.000, 57-03876.000 (LOTS 461, 462, 463).**

Mr. Rengel stated that he would go ahead and withdraw his application after hearing the previous discussion regarding the City's application.

New Business:

- 1. Greg Schmid, on behalf of the Erie County Combined General Health District Board of Health, has submitted a site plan application for a new building addition and additional parking area at 420 Superior Street.**

Mr. Voltz explained that staff from Planning and Public Works have been talking to the Health Department this past year about the Sandusky Bay Pathway, and its potential relation to the Health Department. Staff are hopeful that once construction of the pathway occurs, the pedestrian accessibility to the site is increased by adding a pedestrian crossing area. Staff recommend approval with the following condition: The applicant provides, for staff approval, a revised landscaping plan that shows types and locations of plantings, as well as types, locations, specifications and examples of specific fencing to be installed, if any is to be installed. Mr. Schmid stated that there are site lighting wall packs that will

light up the new site walk of the new addition, but there will be no change to what is already existing. Mr. Zuilhof stated that most of the wall packs he has seen are not fully shielded. He stated that he thinks the commission needs to insist on that. He also stated that he thinks the commission needs to make sure that those who do not have an automobile are not an afterthought. Mr. Meinzer made a motion to approve the application subject to staff conditions and Mr. Zuilhof seconded the motion. All members were in favor of the motion.

Old Business:

Mr. Voltz stated that staff has been asked to see if Planning Commission members would be willing to move the start time of the meeting back a little bit to make it easier for those who work to attend the meetings. Members all agreed to give it a try starting next month to start meetings at 5:00pm.

Mr. Voltz then stated that staff are exploring training opportunities for the Planning Commissioners and more information will be coming soon on that.

Next Meeting:

January 27th, 2021 at 5:00pm

Meeting Adjourned:

Mr. Zuilhof moved to adjourn the meeting and Mr. McGory seconded the motion. All members were in favor of the motion and the meeting ended at 5:45pm.

Approved:

Kristen Barone, Clerk

Pete McGory, Chairman

PLANNING COMMISSION REPORT

APPLICATION FOR CONDITIONAL USE PERMIT TO
ALLOW A "PF" - PUBLIC FACILITIES USE WITHIN
THE "R2F" – TWO-FAMILY RESIDENTIAL DISTRICT
AT PARCELS 59-62003.000 AND 59-62001.000
NEAR 420 SUPERIOR STREET

Reference Number: PCONDU20-0006

Date of Report: January 18, 2021

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

Greg Schmid, on behalf of the Erie County Combined General Health District Board of Health, has submitted an application for a Conditional Use Permit to allow a “PF” – Public Facilities Use within the “R2F” – Two-Family Residential Zoning District at parcels 59-62003.000 and 59-62001.000 for additional parking area at 420 Superior Street. The following information is relevant to this application:

Applicant: Erie County Combined General Health District Board of Health
420 Superior Street
Sandusky, Ohio 44870

Authorized Agent: Greg Schmid
1717 E. Perkins Avenue
Sandusky, Ohio 44870

Site Location: 420 Superior Street

Zoning: Primary affected area: “PF” Public Facilities
Other affected areas: “R2F” – Two-Family Residential

Adjacent Zoning: North: “GM” – General Manufacturing
East: “GM” General Manufacturing
South: “R2F” Two-Family Residential
West: “CR” Commercial Recreation

Existing Uses: Vacant

Proposed Uses: Public Facilities Parking

Additional Parking: 22

Applicable Plans & Regulations: Sandusky Zoning Code Chapter
Chapter 1149 Site Plan Review & Off-Street Parking
Chapter 1123 Public Facilities District
Chapter 1129 Residential Districts

SITE DESCRIPTION

The subject property is Erie County's Health Department and a vital health care service provider for our City. The site is adjacent to a marina, some residential housing to the south and, and near other parcels zoned "PF" – Public Facilities. The area is primarily zoned "PF" Public Facilities District, which permits the following:

1123.02 USE REGULATIONS.

Buildings and land shall be used, and buildings shall be designed, erected, altered, moved or maintained only for the following:

Schedule of Permitted Buildings and Uses for Public Facilities District

Main Buildings and Uses

- (a) **Governmental: municipal, county, state buildings, and uses for administrative functions.**
- (b) Civic: art galleries, libraries, museums, places for public assembly, memorials, monuments, cemeteries.
- (c) Education: primary and secondary schools, colleges, universities (excluding business-colleges.)
- (d) Religious: churches, parochial schools.
- (e) Welfare: general, mental, or special hospitals, health centers or clinics, nursing or convalescing homes, institutions for children and for the aged.
- (f) Recreational: public parks and play- grounds, public harbors, beaches, pools, and golf courses.
- (g) Transportation: railroad and bus passenger stations, airports.

(1980 Code 151.02)

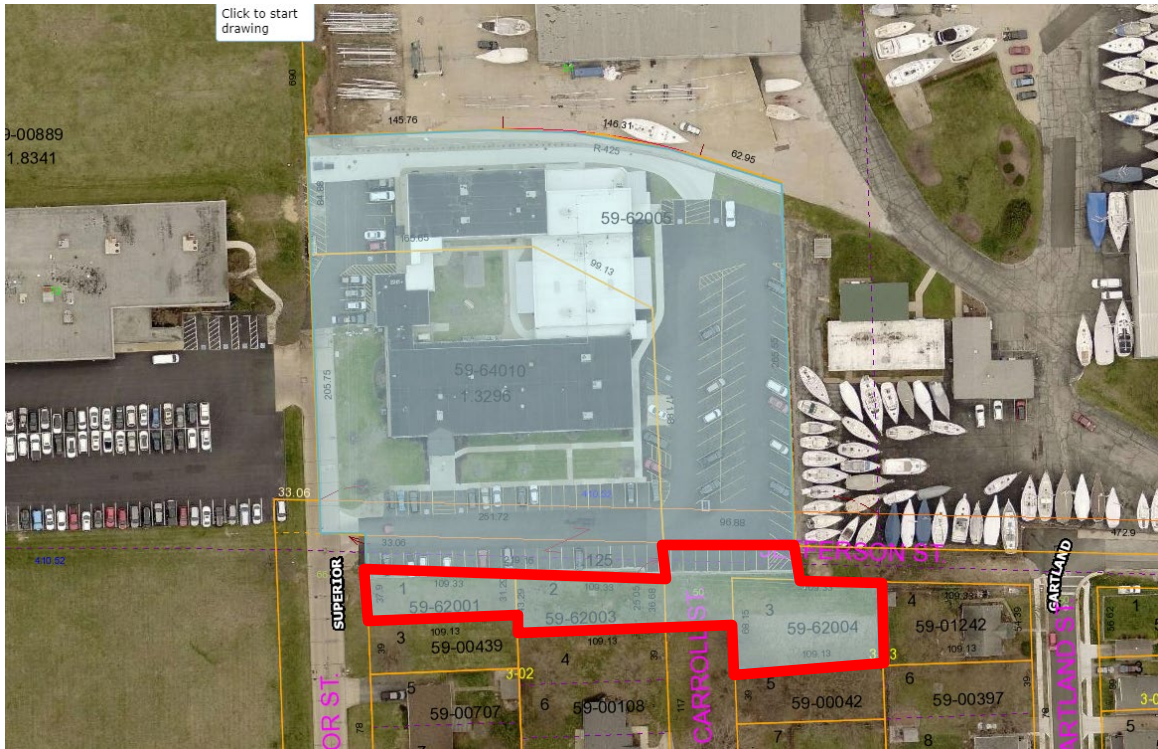
Accessory Buildings and Uses

- Public parking areas or storage garage.
- Parish houses and residences for custodians or guards.
- Refreshment stands designed and located to attract primarily persons using the public facility.
- Maintenance and heating facilities.
- Bulletin boards as hereinafter regulated.
- Recreational area in connection with schools.
- Airport hangars.

A picture of the property along with a location map are found below.

420 Superior Street





Zone Map – Parcels Indicated

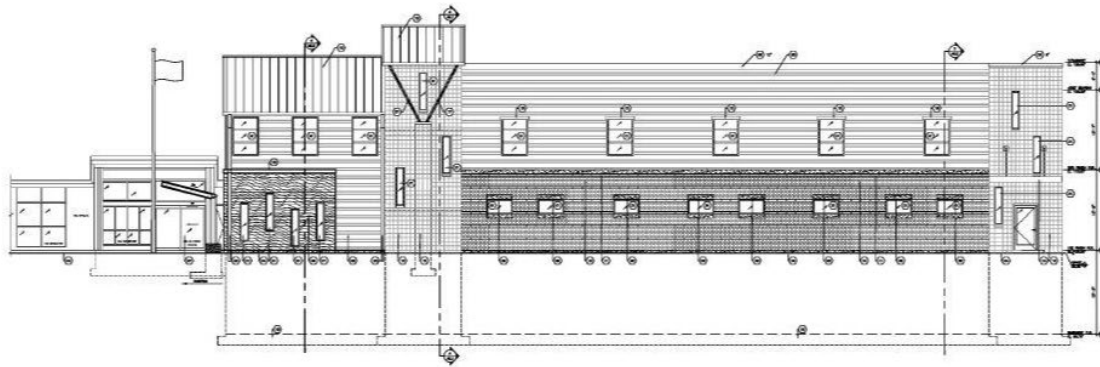


Zone Map Setbacks	Zoning	
	AG - Agriculture	R1-40 - Single Family Residential
PUD - Planned Unit Development	CA - Commercial Amusement	R1-50 - Single Family Residential
	CR - Commercial Recreation	R1-60 - Single Family Residential
Parcels	CS - Commercial Service	R1-75 - Single Family Residential
	DBD - Downtown Business	R2F Two-Family Residential
TRO - Transient Rental Overlay	GB - General Business	RB - Roadside Business
	GM - General MAnufacturing	RMF - Multi-Family Residential
	LB - Local Business	RRB - Residential/Business
	LM - Local Manufacturing	RS - Residential Suburban
	P - Auto Parking	
	PF - Public Facilities	

DIVISION OF PLANNING COMMENTS

The applicant is proposing to add an additional building at 420 Superior Street to be used as a new conference area, medical area, and offices for staff. The applicant is also increasing on site

parking for the area up to 119 spaces and 7 handicap spaces. This site plan was approved at the December 2020 Planning Commission.



In order for the Health Department to expand into the three parcels to the south, they have applied for a Conditional Use Permit to use the land as a Public Facilities use. The right of way improvements are at the risk of the applicant; however, Public Works staff has no issues of this usage at this time. The Two-Family Residentially zoned parcels and right of way impacted by this Conditional Use Permit are highlighted on the site plan.

Site Plan approval was approved conditionally on the applicant providing a detailed landscaping plan for the islands showing the type of tree to be installed and ensuring that it is of a 2" caliper. Staff believes this is also important for the Conditional Use Permit. There does not appear to be any new exterior lighting.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed site plan and the applicant has provided all requested documentation requested by the City Engineer and they have no further concerns regarding this application.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the application and has no concerns regarding the proposed application.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the application and has no objections to the proposed application.

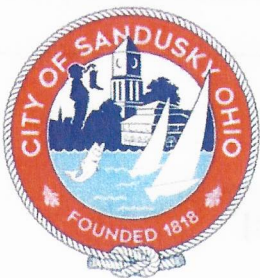
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the application and has no objections or concerns regarding the application.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends approval of the proposed site plan for 420 Superior Street with the following conditions:

1. The applicant provides, for staff approval, a revised landscaping plan that shows types and locations of plantings, as well as types, locations, specifications and examples of specific fencing to be installed, if any is to be installed.
2. Shrubs or low fencing may be requested to block potential head light glare coming from vehicles to the neighboring residential areas.
3. When construction of the Sandusky Bay Pathway is completed, bicycle parking and pedestrian access must be incorporated from the pathway to the entryway of the Health Department.



PLANNING COMMISSION

Application for Approval

Department of Planning
240 Columbus Ave
Sandusky, Ohio 44870
419.627.5891
www.cityofsandusky.com

TYPE OF APPLICATION:

☒ Conditional Use Permit
☐ Flood Plain Variance
☐ Other

☐ Similar Main Use
☐ Front Yard Fence

APPLICANT/AGENT INFORMATION:

Property Owner Name: Erie County Combined General Health
District Board of Health

Property Owner Address: 420 Superior Street
Sandusky, OH 44870

Property Owner Telephone: 419-626-5623

Property Owner Email: Schade Peter (pschade@echdohio.org)

Authorized Agent Name: GREG SCHMID - POLLOS + SCHMID D.G.

Authorized Agent Address: 1717 E. PERKINS AVE, SANDUSKY, OH

Authorized Agent Telephone: 419.625.0009 EXT. 19

Authorized Agent Email: GREG@PSDG.US

LOCATION AND DESCRIPTION OF PROPERTY:

Municipal Street Address: 420 Superior Street

Legal Description of Property (check property deed for description):
OL 51 EAST OF SUPERIOR ST

Parcel Number: 59-62001.00, 59-62003.000, 59-64010.000, 59-62005.000 Zoning District: Public Facilities,
Two Family Resid.

DETAILED SITE INFORMATION:

Land Area of Property: 128,334 S.F. (sq. ft. or acres)
Includes R/W

Total Building Coverage (of each existing building on property):

Building #1: 29,700 (in sq. ft.)

Building #2: _____

Building #3: _____

Additional: _____

Total Building Coverage (as % of lot area): 23.1

Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:

All building area is a medical facility
with some administrative areas

Proposed Building Height (for any new construction): 34.67' from FF

Number of Dwelling Units (if applicable): N/A

119 Spaces

Number of Off-Street Parking Spaces Provided: 7 Handicap

Parking Area Coverage (including driveways): 59,580 (in sq. ft.)

Landscaped Area: 21,275 (in sq. ft.)

PROPOSED DEVELOPMENT (check those that apply):

- ☐ New Construction (new building(s))
☒ Addition to Existing Building(s)
☐ Change of Use in Existing Building(s)

Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):

Proposed construction of a 4,380 s.f. (building footprint) multi-story building addition to the existing county health department complex. The proposed construction will encompass modification and expansion of the existing parking lot, storm sewer construction and construction of a new storm sewer tap.

The proposed development will keep with the same hours of operations as the existing facilities. The proposed addition will encompass a new conference area, medical area, and offices for the staff

REQUIRED SUBMITTALS:

15 copies of a site plan/off-street parking plan for property

Application Fee:

Similar Main Use: \$100.00

Front Yard Fence: no charge

Conditional Use Permit: \$100.00

Flood Plan Variance: \$100.00

Other: check with staff for fee

APPLICATION MUST BE COMPLETELY FILLED OUT

APPLICATION AUTHORIZATION:

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.

[Signature]
Signature of Owner or Agent

11/25/2020
Date

PERMISSION TO ACT AS AUTHORIZED AGENT:

As owner of _____ (municipal street address of property), I hereby authorize _____ to act on my behalf during the Planning Commission approval process.

[Signature]
Signature of Property Owner

[Signature]
Date

STAFF USE ONLY:

Date Application Accepted: _____ Permit Number: _____

Date of Planning Commission Meeting: _____

Planning Commission File Number: _____

REQUIRED SUBMITTALS:

15 copies of a site plan/off-street parking plan for property

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Other: check with staff for fee

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APPLICATION AUTHORIZATION:

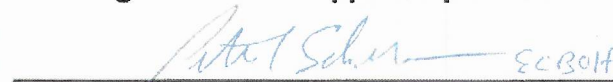
If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.


Signature of Owner or Agent

11/25/2020
Date

PERMISSION TO ACT AS AUTHORIZED AGENT:

As owner of 420 Superior St. (municipal street address of property), I hereby authorize Greg Schmitz to act on my behalf during the Planning Commission approval process.


Signature of Property Owner

11/25/2020
Date

STAFF USE ONLY:

Date Application Accepted: _____ Permit Number: _____

Date of Planning Commission Meeting: _____

Planning Commission File Number: _____

ERIE COUNTY GENERAL HEALTH

TWO STORY ADDITION – 2020
ERIE COUNTY HEALTH DEPARTMENT
420 SUPERIOR ST.
CITY OF SANDUSKY, ERIE COUNTY, OHIO

GENERAL NOTES

All work and materials, unless otherwise noted, shall be in accordance with the current State of Ohio Department of Transportation Construction and Material Specifications including all supplements thereto, and the current Construction and Materials Specifications of the City of Sandusky Engineering Department. Zoning and site plan shall conform to the standards and recommendations of the zoning ordinance of City of Sandusky, latest issuance and revision.

All traffic control devices, signs and markings shall conform to the current Ohio Manual of Uniform Traffic Control Devices and City of Sandusky Engineering Department standards and specifications.

MODIFICATIONS:

Any modifications or changes to the work as shown on the drawings must have prior written approval of the owner and the City of Sandusky Engineer's office, as applicable.

1.0 UTILITIES ADJUSTMENT:

Any and all work required for the adjustment of public and private utilities shall be done at the expense of the Contractor, including City utilities which shall be adjusted by contractor with the project.

1.2 CALCULATION OF QUANTITIES:

Payment for all work under this contract shall be on a lump sum price basis for work shown on the plans and described in the plans and specifications.

1.4 CLEARING AND GRUBBING:

Any clearing and grubbing shall be incidental to excavation and embankment for the project and included in the cost thereof.

1.5 REMOVALS:

Any removals of existing pipe, tile, structures, or pavement shall be included in the various items and included in the cost thereof.

1.6 UNDERGROUND UTILITIES:

The location of the utilities shown on the plans was established from records and from field survey of above ground facilities. Contractor shall investigate and locate all existing utilities within his work area, whether or not said utilities are shown or indicated on this plan, and take all necessary precautions to protect said utilities. Contractor acknowledges and further agrees by contracting for the work shown on these plans to indemnify Owner, and Engineer in his capacity to provide design, surveying and construction layout, against any and all claims arising from damage to existing utilities, above or below ground, caused by himself or his subcontractors.

1.7 UTILITIES NOTIFICATION:

At least two working days prior to commencing construction operations, the Contractor shall notify the Engineer, the registered utility protection service, and the owners of each underground and overhead utility facility shown on the plan or existing on the property.

The owners of underground utility facilities shall, within 48 hours, excluding Saturdays, Sundays and legal holidays, after notice is received, stake, mark, or otherwise designate the location of the underground utility facilities in the construction area in such a manner as to indicate their course together with the approximate depth at which they were installed. The marking or locating shall be coordinated to stay approximately two days ahead of the planned construction.

Agencies and utility companies to be notified include but are not limited to the following:

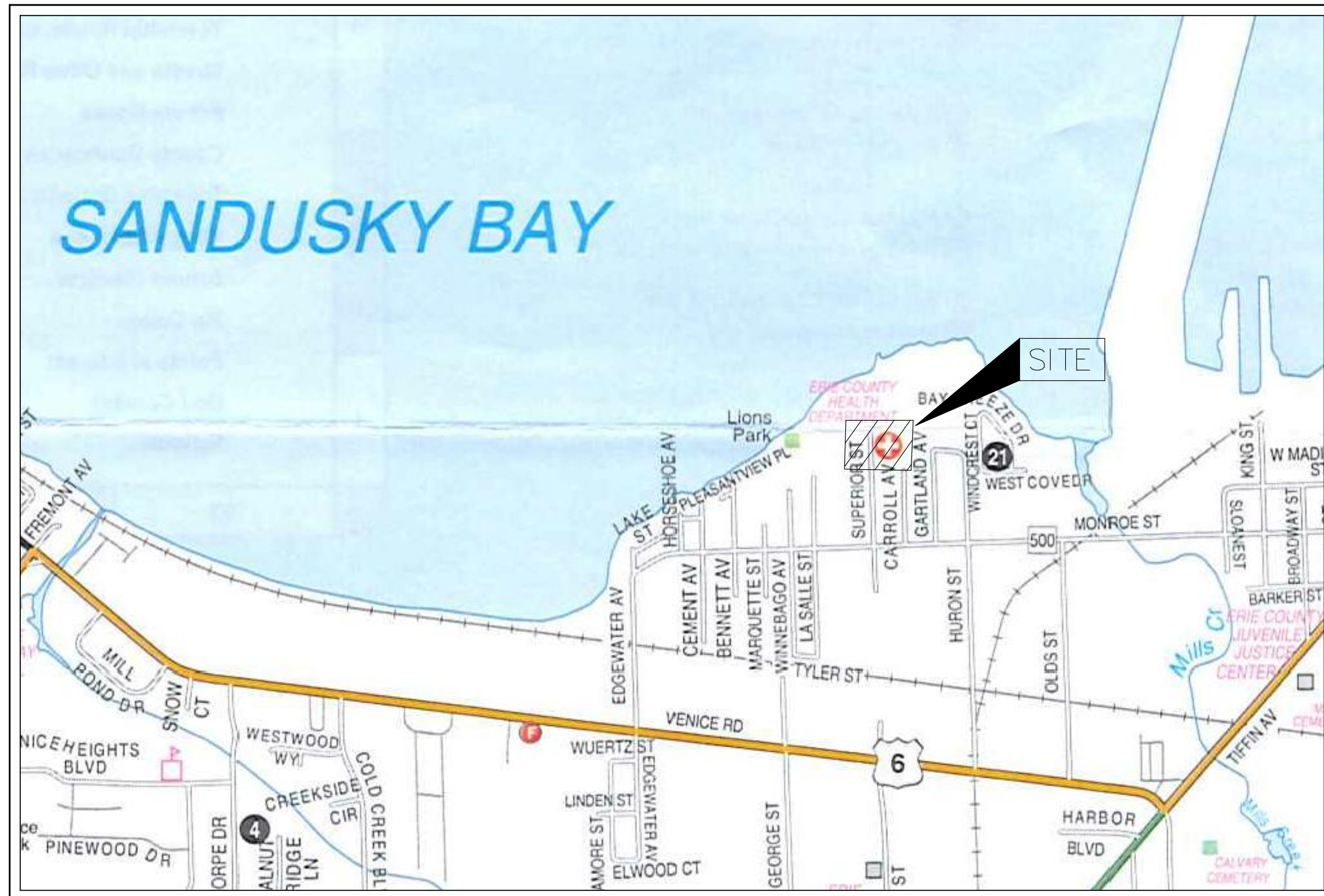
Sanitary Sewer and Water: City of Sandusky Engineering Department
240 Columbus Ave.
Sandusky, Ohio 44870
(419) 627-5829

Telephone: AT&T
Room 207
121 North Huron
Toledo, Ohio 43624
(419) 245-5004

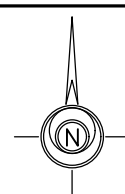
Electric: First Energy (Ohio Edison)
2508 West Perkins Avenue
Sandusky, Ohio 44870
(419) 627-6881

Natural Gas: Columbia Gas of Ohio, Inc.
1800 Broad Avenue
Findlay, Ohio 45840
(419) 427-3230

Cable TV: Buckeye Broadband
774 Crossings Road
Sandusky, Ohio 44870
(419) 627-0800



LOCATION MAP
NOT TO SCALE



UNDERGROUND UTILITIES

CONTACT BOTH SERVICES
CALL TWO WORKING DAYS
BEFORE YOU DIG



CALL
1-800-362-2764
(TOLL FREE)



OHIO UTILITIES PROTECTIVE SERVICE
NON-MEMBERS
MUST BE CALLED DIRECTLY

STANDARD DETAILS ODOT DETAILS

CB-1.1
CB-1.2
MH-1.2

CATCH BASIN No. 2-2
CATCH BASIN No. 2-4
MANHOLE No. 3

SHEET INDEX	
SHEET #	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING & UTILITY PLAN
C3.1	GRADING & UTILITY PLAN
C4.0	SWPPP LAYOUT SHEET
C4.1	SWPPP NOTES & DETAILS
C4.2	SWPPP NOTES & DETAILS
C4.3	SWPPP NOTES & DETAILS
C5.0	GENERAL DETAILS
C5.1	GENERAL DETAILS

ISSUED FOR BIDDING
PLAN SET
DATE: NOVEMBER 6, 2020

Hancock & Associates
ENGINEERS · SURVEYORS
a division of Red Barn
326 E. Market Street
Sandusky, OH 44870
(419) 625-7838
www.hancockengineers.com

811

CALL BEFORE YOU DIG

PRELIMINARY
PLAN

DESIGN KMB

DRAWN KMB

CHECKED JRK

REV/SUBMITTAL	DATE								
BID SET	11/06/20								

PROJECT NAME:
TWO STORY ADDITION – 2020
ERIE COUNTY GENERAL HEALTH

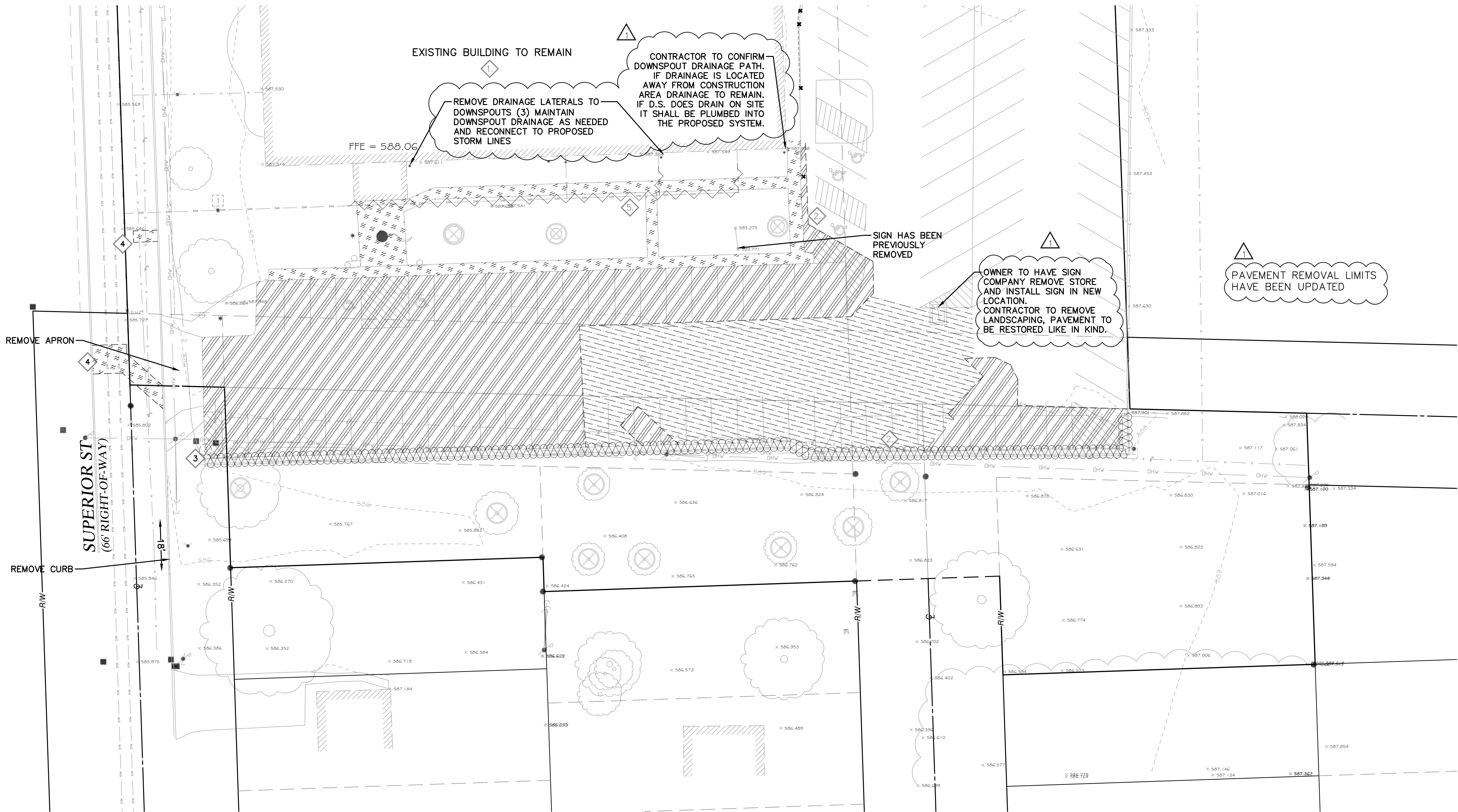
PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
COVER SHEET

SHEET NO.:
C0.0

RB PROJECT NO.:
280620

22"x34" - C:\X SITE.dwg 2020-11-30 5:58 PM (KEVIN BOEHLER)



EXISTING STORM SEWER

1. STORM MANHOLE
POINT # 4
TOP OF CASTING: 586.40
12" CONC - 582.80 E
54" CONC - 579.70 N4S
2. STORM MANHOLE
POINT # 3
TOP OF CASTING: 585.84
12" CONC - 581.14 E
54" CONC - 575.89 N4S
3. CATCH BASIN
POINT # 103
TOP OF CASTING: 585.29
4" PVC - 583.99 E
6" CONC - 583.89 N
4. CATCH BASIN
POINT # 11
TOP OF CASTING: 585.12
5. CATCH BASIN
POINT # 10
TOP OF CASTING: 585.02
6. CATCH BASIN
POINT # 8
TOP OF CASTING: 585.61
NOT OPENED

7. CATCH BASIN
POINT # 7
TOP OF CASTING: 585.48
12" CONC - 580.18 S
15" PVC - 580.03 N
8. CATCH BASIN
POINT # 18
TOP OF CASTING: 586.09
4" PVC - 582.89 S
8" PVC - 582.34 E
12" PVC - 582.06 W
12" PVC - 581.20 N
9. CATCH BASIN
POINT # 43
TOP OF CASTING: 587.35
6" PVC - 582.35 N
6" PVC - 583.45 S
6" PVC - 582.55 S
12" PVC - 582.25 E
10. CATCH BASIN
POINT # 47
TOP OF CASTING: 587.01
6" PVC - 584.01 S
6" PVC - 583.66 N
11. CATCH BASIN
POINT # 121
TOP OF CASTING: 586.49
4" PVC - 584.49 N, E, S, W
6" PVC - 584.39 W

EXISTING SANITARY SEWER

1. SANITARY CLEAN OUT
POINT # 10545
TOP OF CASTING: 587.07
PVC - 583.40 THRU

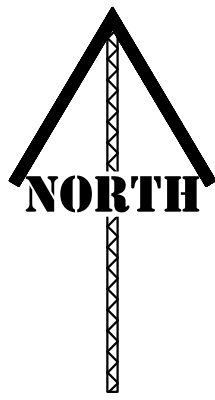
DEMO CODED NOTE:

1. CONTRACTOR TO COORDINATE BUILDING INTERIOR RENOVATION AND PROPOSED BUILDING CONSTRUCTION. SEE ARCHITECTURAL PLANS FOR DETAILS.
2. PAVEMENT EDGE MAY NEED TO BE SAWCUT TO ACHIEVE A CLEAN NEAT EDGE TO PAVE AGAINST.
3. STORM SEWER CATCHBASIN TO BE REMOVED UNDERDRAIN TO BE REROUTED INTO PROPOSED SYSTEM.
4. PAVEMENT REMOVAL FOR INSTALLATION OF UTILITIES IN ROADWAY, WORK TO BE COORDINATED WITH CITY OF SANDUSKY AND ERIE COUNTY ENGINEER AS NEED FOR WORK TO PROCEED.
5. CONTRACTOR TO CONFIRM SANITARY LINE LOCATION AND COORDINATE WITH PLUMBING DESIGNER FOR REMOVAL AND INSTALLATION OF SANITARY LATERAL SERVICING EXISTING BUILDING.

DEMO LEGEND

- CONCRETE REMOVAL
- ASPHALT PAVEMENT REMOVAL
- PAVEMENT MARKING REMOVAL
- CURB REMOVAL
- UTILITY LINE REMOVAL
- SAWCUT LINE FOR CONCRETE SAWCUT TO BE MADE AT THE NEXT AVAILABLE CONTROL JOINT
- TREE TO BE REMOVED BY OWNER
- DEMO CODED NOTE

ADDITIONAL PAVEMENT REMOVAL MAYBE REQUIRED TO INSTALL UTILITY SERVICES.



20 0 20
SCALE IN FEET

NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ODOT CURRENT STANDARD SPECIFICATIONS.

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a division of Red Barn
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Sandusky, OH 44870
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www.hancockengineers.com

811

CALL BEFORE YOU DIG

PRELIMINARY
PLAN

DESIGN KMB

DRAWN KMB

CHECKED JRK

REV/SUBMITTAL
DATE
BID SET
11/06/20
ADDENDUM 4
12/01/20

PROJECT NAME:
TWO STORY ADDITION - 2020
ERIE COUNTY GENERAL HEALTH

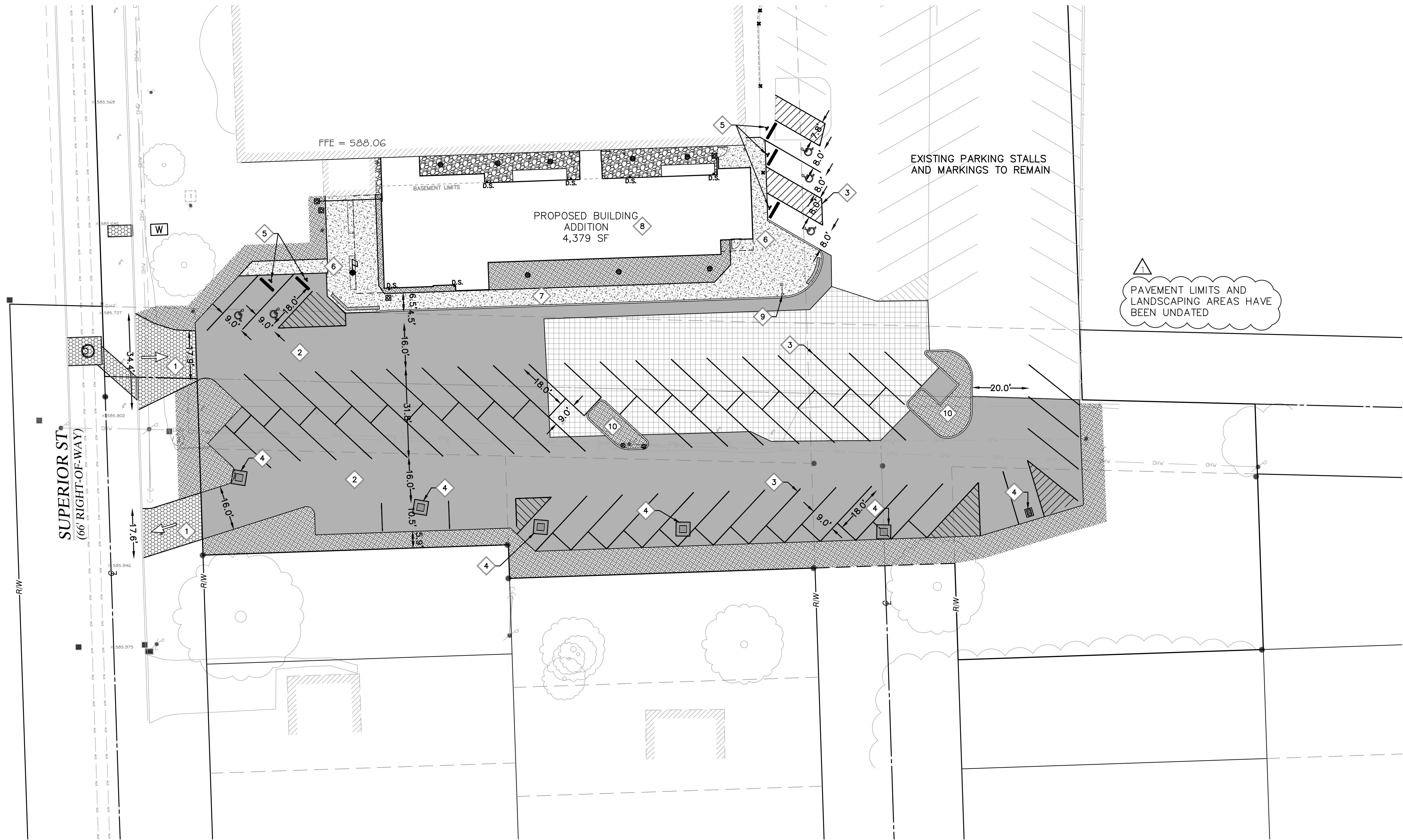
PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
EXISTING &
DEMOLITION PLAN

SHEET NO.:
C1.0

RB PROJECT NO.:
280620

22"x34" - C:\X SITE.dwg 2020-11-30 5:58 PM (KEVIN BOEHLER)



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PLAN

DESIGN KMB

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REV/SUBMITTAL	DATE
BID SET	11/06/20
ADDENDUM 4	12/01/20

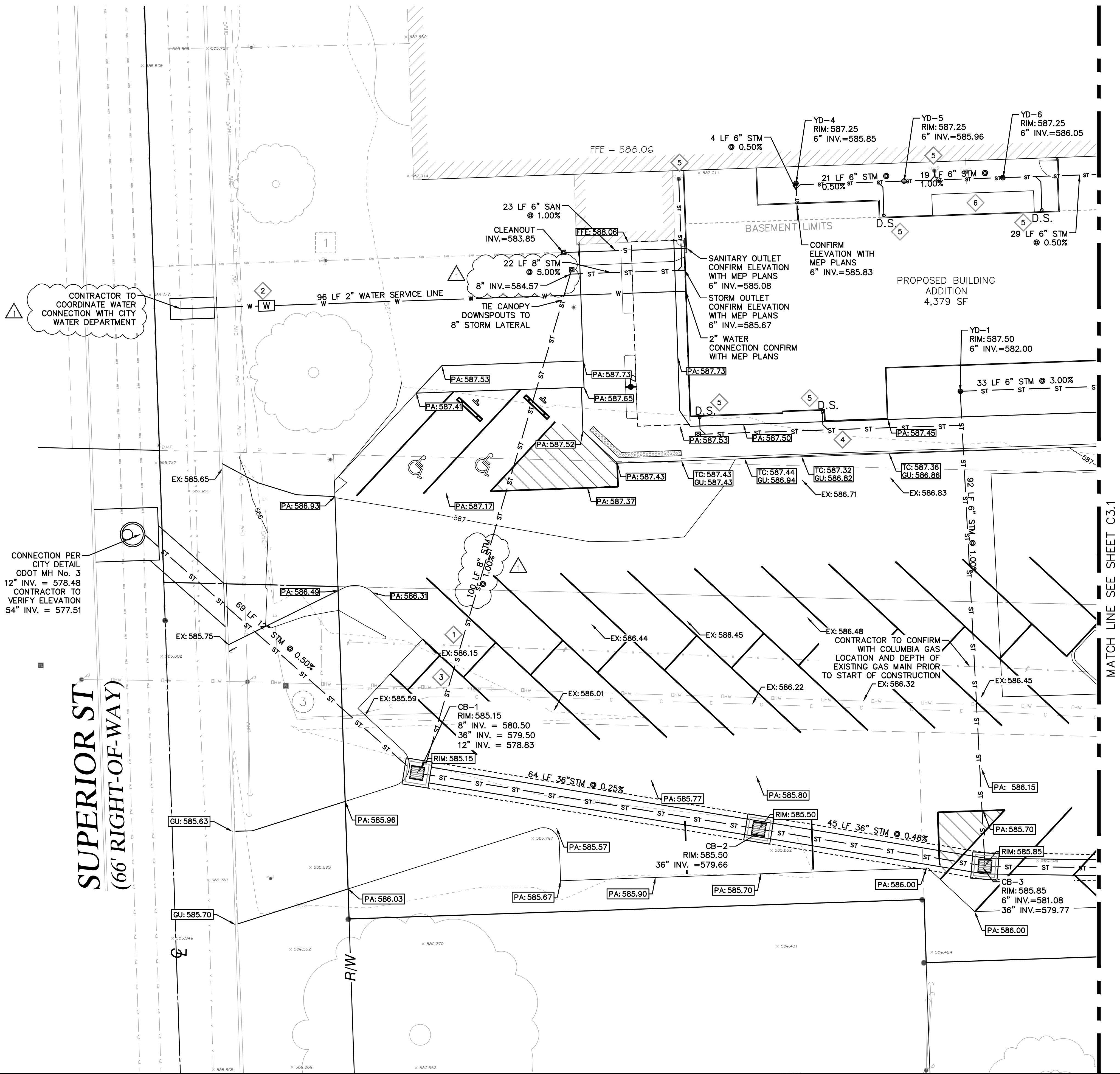
PROJECT NAME:
TWO STORY ADDITION - 2020
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
PRELIMINARY SITE
PLAN

SHEET NO.:
C2.0

RB PROJECT NO.:
280620



LEGEND:

PROPOSED UTILITY

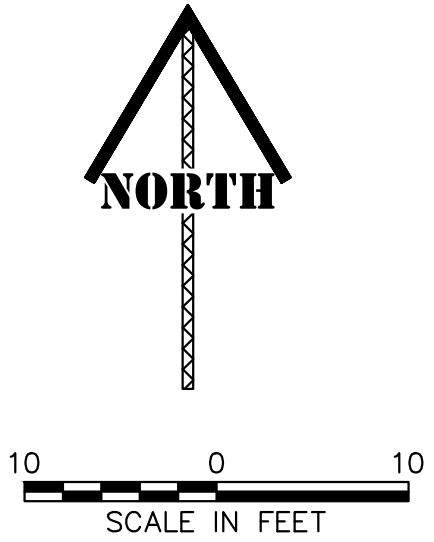
- 36" PERFORATED STORM SEWER
- ST ST DETENTION PIPE
- ST ST STORM SEWER
- S S SANITARY SEWER
- W W WATER SERVICE LINE
- E E ELECTRICAL CONDUIT
- PROPOSED STORM MANHOLE
- PROPOSED 2-4 CATCH BASIN
- PROPOSED 2-2 CATCH BASIN
- PROPOSED YARD DRAIN
- PROPOSED CLEAN OUT
- PROPOSED METER PIT

PROPOSED GRADING

- MAJOR CONTOUR INTERVAL
- MINOR CONTOUR INTERVAL
- 613.00 PROPOSED SPOT ELEVATION
- EX: 613.00 EXISTING SPOT ELEVATION
- RIM: 613.00 PROPOSED TOP OF CASTING ELEVATION
- PA: 613.00 PAVEMENT ELEVATION
- TC: 613.00 TOP OF CURB ELEVATION
- GU: 613.00 FLOWLINE AT PAVEMENT

- SITE CODED NOTE:**
1. CONTRACTOR TO CONFIRM ELEVATION OF GAS LINE PRIOR TO RUNNING STORM LINE. CONTRACTOR TO MAINTAIN SEPARATION BETWEEN UTILITIES. SLOPE OF PIPE CAN BE UPDATED IN THE FIELD BUT MUST MAINTAIN A MINIMUM OF 1% SLOPE.
 2. WATER METER PER THE CITY OF SANDUSKY STANDARD DETAIL.
 3. STORM UNDERDRAIN TO BE TIED INTO PROPOSED STORM LINE.
 4. 6" STORM LATERAL @ MIN. 1.00% SLOPE.
 5. TIE DOWNSPOUT INTO PROPOSED STORM LINE.
 6. LIGHT WELL DRAINAGE TO BE TIED INTO FOOTER DRAIN PER ARCHITECTURAL AND STRUCTURAL DRAWINGS

- GENERAL NOTE:**
1. CB-1, 2, 3, 4 & 5 ARE ODOT 2-4 CATCH BASINS
 2. CB-6 IS ODOT 2-2 CATCH BASIN



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PRELIMINARY
PLAN

DESIGN KMB

DRAWN KMB

CHECKED JRK

REV/SUBMITTAL	DATE
BID SET	11/06/20
ADDENDUM 4	12/01/20

PROJECT NAME:
TWO STORY ADDITION - 2020
ERIE COUNTY GENERAL HEALTH

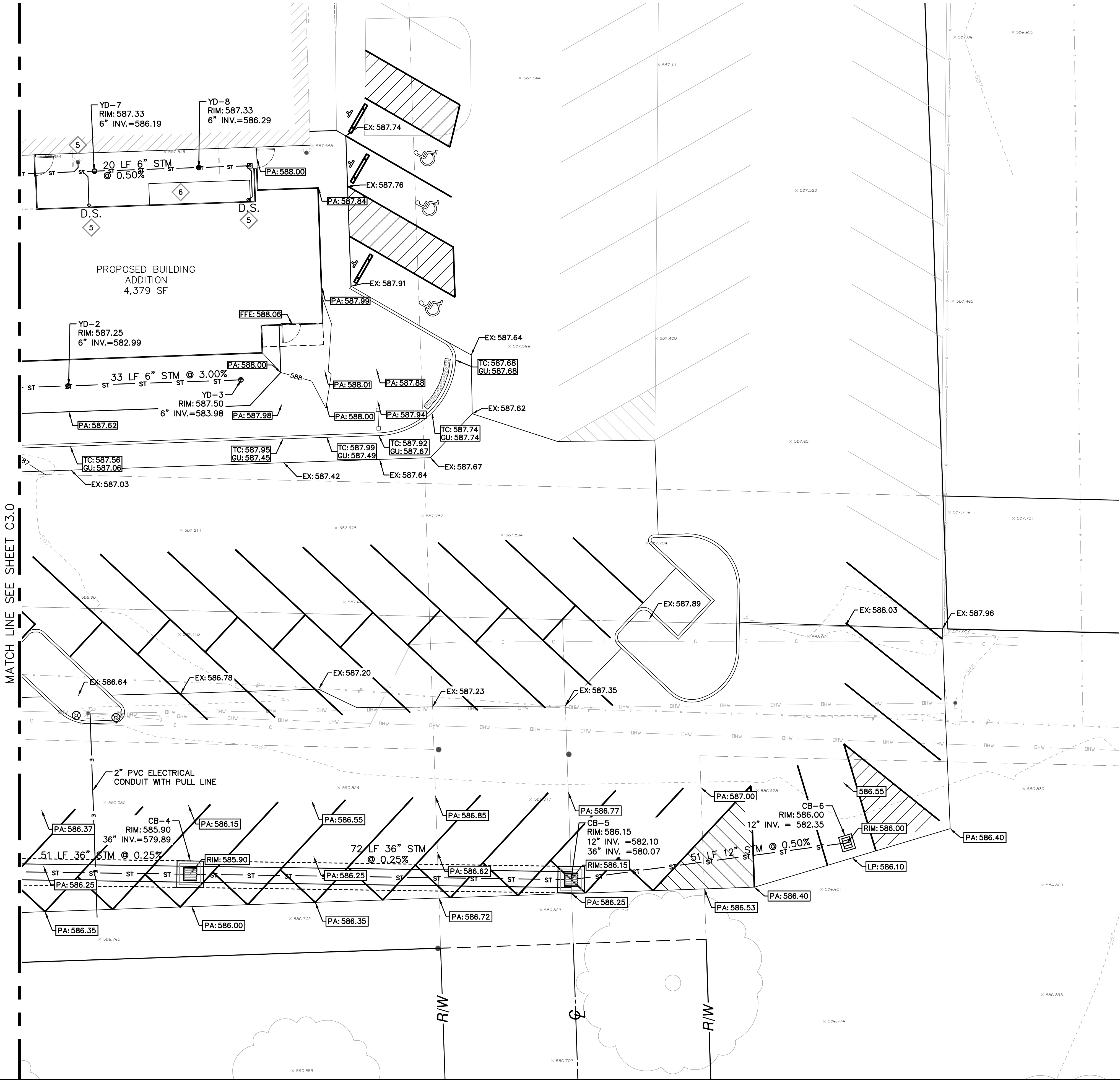
PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
PRELIMINARY GRADING
& UTILITY PLAN

SHEET NO.:
C3.0

RB PROJECT NO.:
280620

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LEGEND:

PROPOSED UTILITY

ST

ST

36" PERFORATED STORM SEWER
DETENTION PIPE

ST

ST

STORM SEWER

S

S

W

W

E

E

PROPOSED STORM MANHOLEPROPOSED 2-4 CATCH BASINPROPOSED 2-2 CATCH BASINPROPOSED YARD DRAINPROPOSED CLEAN OUTPROPOSED METER PIT**PROPOSED GRADING**MAJOR CONTOUR INTERVALMINOR CONTOUR INTERVAL

613.00

PROPOSED SPOT ELEVATION

EX: 613.00

EXISTING SPOT ELEVATION

RIM: 613.00

PROPOSED TOP OF CASTING ELEVATION

PA: 613.00

PAVEMENT ELEVATION

TC: 613.00

TOP OF CURB ELEVATION

GU: 613.00

FLOWLINE AT PAVEMENT

SITE CODED NOTE:

1. CONTRACTOR TO CONFIRM ELEVATION OF GAS LINE PRIOR TO RUNNING STORM LINE. CONTRACTOR TO MAINTAIN SEPARATION BETWEEN UTILITIES. SLOPE OF PIPE CAN BE UPDATED IN THE FIELD BUT MUST MAINTAIN A MINIMUM OF 1% SLOPE.
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4. 6" STORM LATERAL @ MIN. 1.00% SLOPE.
5. TIE DOWNSPOUT INTO PROPOSED STORM LINE.
6. LIGHT WELL DRAINAGE TO BE TIED INTO FOOTER DRAIN PER ARCHITECTURAL AND STRUCTURAL DRAWINGS

GENERAL NOTE:

1. CB-1, 2, 3, 4 & 5 ARE ODOT 2-4 CATCH BASINS
2. CB-6 IS ODOT 2-2 CATCH BASIN

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PRELIMINARY
PLAN

DESIGN KMB

DRAWN KMB

CHECKED JRK

REV/SUBMITTAL	DATE								
BID SET	11/06/20								
ADDENDUM 4	12/01/20								

PROJECT NAME:
TWO STORY ADDITION - 2020
ERIE COUNTY GENERAL HEALTH

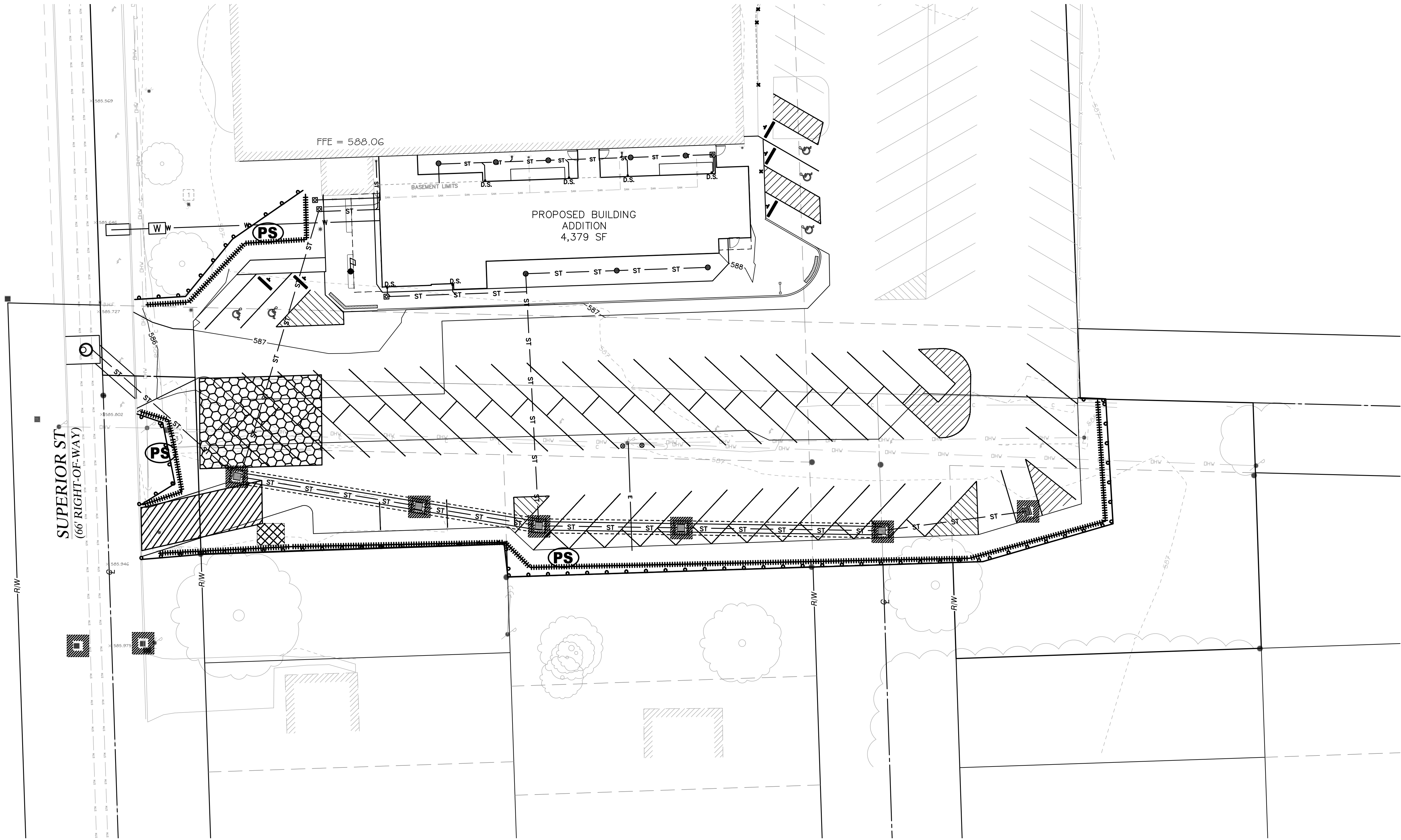
PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
PRELIMINARY GRADING
& UTILITY PLAN

SHEET NO.:
C3.1

RB PROJECT NO.:
280620

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LEGEND:

TS

TEMPORARY STABILIZATION

PS

PERMANENT SEEDING
TO BE COMPLETED BY CONTRACTOR. SEEDING SPECIFICATION TO BE PROVIDED TO THEM BY LANDSCAPER.

DS

DISTURBED AREA

IP

INLET PROTECTION

CE

CONSTRUCTION ENTRANCE
TO BE INSTALLED AS NEEDED

CW

CONCRETE WASHOUT

SF

FILTER BARRIER
(SILT FENCE OR FILTER SOCK)

SA

STAGING AREA

NORTH

SCALE IN FEET

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PRELIMINARY
PLAN

DESIGN	KMB
DRAWN	KMB
CHECKED	JRK

REV/SUBMITTAL	DATE
BID SET	11/06/20

PROJECT NAME:
TWO STORY ADDITION – 2020
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
SWPPP SHEET

SHEET NO.:
C4.0

RB PROJECT NO.:
280620

FUELING AREA:

1. ON-SITE VEHICLE AND EQUIPMENT FUELING SHALL ONLY BE USED WHERE IT IS IMPRACTICAL TO SEND VEHICLES AND EQUIPMENT OFF-SITE FOR FUELING.
2. IF ON-SITE FUELING IS NECESSARY, CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED, UTILIZING DUAL WALL TANKS OR A DIKE.
3. CONTRACTOR SHALL SUPPLY, CLEARLY MARK AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE IN FUELING AREAS.
4. CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT FUELING UNLESS FUELING IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA.
5. IF ON-SITE FUELING IS NECESSARY, CONTRACTOR SHALL PROTECT FROM STORM WATER RUN-ON AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES.
6. CONTRACTOR SHALL USE FUELING NOZZLES WITH AUTOMATIC SHUT-OFFS. FUELING OPERATIONS SHALL NOT BE LEFT UNATTENDED.
7. CONTRACTOR SHALL PROTECT FUELING AREAS WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
8. CONTRACTOR SHALL NOT "TOP-OFF" FUEL TANKS.
9. CONTRACTOR SHALL INSPECT VEHICLES AND EQUIPMENT EACH DAY FOR LEAKS. IF LEAKS ARE FOUND, THEY MUST BE REPAIRED AND CLEANED-UP IMMEDIATELY AND/OR THE LEAKING VEHICLES OR EQUIPMENT REMOVED FROM THE PROJECT SITE.
10. CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.

1. CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED IF STORING MATERIALS, MAINTAINING OR STORING VEHICLES AND EQUIPMENT ON-SITE.
2. STORAGE/MAINTENANCE AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON AND RUN-OFF AND BE SEPARATE FROM DOWNSTEAM DRAINAGE FACILITIES AND WATERCOURSES.
3. CONTRACTOR SHALL USE DRAIN PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT MAINTENANCE. UNLESS MAINTENANCE IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA.
4. CONTRACTOR SHALL SUPPLY, CLEARLY MARK AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE IN STORAGE/MAINTENANCE AREAS.
5. CONTRACTOR SHALL PROTECT STORAGE/MAINTENANCE WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
6. CONTRACTOR SHALL PROVIDE IMPERMEABLE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OILS AND CHEMICAL DRUMS.
7. CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL ONLY BE APPLIED ACCORDING TO THE MANUFACTURERS INSTRUCTION. ALL ON-SITE VEHICLE MAINTENANCE WILL BE ACCOMPLISHED IN DESIGNATED AREAS WITH ALL FLUIDS BEING COLLECTED AND DISPOSED OF PROPERLY. PER OHIO EPA CGP PART B.5.

MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE. ADDITIONAL EQUIPMENT AND MATERIALS WILL BE ADDED TO THIS LIST IF RECOMMENDED BY THE MANUFACTURER OF ANY PRODUCT TO BE USED ON THIS SITE.

ALL SPILLS WILL BE CLEANED IMMEDIATELY AFTER DISCOVERY. THE OWNER, OR ITS DESIGNATED REPRESENTATIVE IS TO BE IMMEDIATELY NOTIFIED OF ANY SPILLS. THE SPILL AREA WILL BE KEPT VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS MATERIAL.

SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE OHIO EPA, REGARDLESS OF THE SIZE OF THE SPILL.

SPILL CONTROL PRACTICES WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THE REOCCURRENCE OF ANY SPILL AND INCLUDE MEASURES OF HOW TO RESPOND TO SIMILAR OCCURRENCES. A DESCRIPTION OF ANY SPILL THAT OCCUR WILL BE RECORDED INCLUDING WHAT CAUSED IT AND HOW EASY IT WAS TO CLEAN UP.

THE GENERAL CONTRACTOR WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THE GENERAL CONTRACTOR WILL DESIGNATE THREE SITE PERSONNEL WHO WILL RECIEVE SPILL PREVENTION AND CLEANUP TRAINING. THE NAMES OF THESE INDIVIDUALS WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE SITE OFFICE.

NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS, OR BY BURYING, BURNING OR MIXING WASTES.

ALL CONTAINERS USED FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES MUST BE COVERED AND LEAK-PROOF.

ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFS).

IN THE EVENT OF A SMALL RELEASE OF PETROLEUM WASTE (LESS THAN 25 GALLONS), PETROLEUM BASED AND CONCRETE CURING COMPOUNDS TO HAVE SPECIAL HANDLING PROCEDURES. CONTACT CONSTRUCTION MANAGER.

IN THE EVENT OF A LARGE RELEASE OF PETROLEUM WASTE (MORE THAN 25 GALLONS), OF PETROLEUM WASTE, MUST CONTACT OHIO EPA AT 1-800-282-9378, THE LOCAL FIRE DEPARTMENT 419-627-5822, AND THE LOCAL EMERGENCY PLANNING COMMISSION (POLICE DEPARTMENT) 419-627-5870 WITHIN 30 MINUTES OF THE SPILL.

NON-HAZARDOUS LIQUIDS FROM DECONTAMINATION OR OTHER ACTIVITIES WILL BE STORED IN US DOT-APPROVED DRUMS OR HOLDING TANKS PENDING RECEIPT OF ANALYTICAL CHARACTERIZATION DATA. LIQUIDS, IF ANY, WILL BE TRANSPORTED BY A LICENSED HAULER TO AN APPROVED TREATMENT, STORAGE OR DISPOSAL FACILITY ("TSD") OR WILL BE DISCHARGED DIRECTLY TO THE SANITARY SEWER WITH THE APPROVAL OF THE LOCAL PUBLICLY-OWNED TREATMENT WORKS ("POTW")

HAZARDOUS WASTES, IF ENCOUNTERED, WILL BE COLLECTED DAILY AND DISPOSED OF IN SECURELY LIDDED CONTAINERS.

1. A SUFFICIENT NUMBER OF CONTAINERS WILL BE PROVIDED FOR HAZARDOUS BUILDING MATERIAL DISPOSAL. THESE WILL BE PROVIDED BY THE GENERAL CONTRACTOR.
2. SIGNS WILL BE POSTED NOTIFYING THE PUBLIC OF STORAGE CONTAINERS AUTHORIZING THE DISPOSAL OF SOLVENTS, OIL BASED PAINTS AND STAINS, CEMENT, CONCRETE, AND ASPHALTIC MATERIALS.
3. A SUFFICIENT NUMBER OF CONTAINERS WILL BE SUPPLIED BY THE GENERAL CONTRACTOR FOR THE DISPOSAL OF GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, AND ANTIFREEZE.
4. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ASSURING THAT ALL HAZARDOUS WASTE MATERIALS ARE COLLECTED DAILY AND DISPOSED OF PROPERLY.
5. SOLIDS NOT POSTED NOTIFYING THE PUBLIC THAT NO WASTE IS TO BE DISPOSED OF DOWN ANY DRAIN, OR ANY SEWER OR SEPTIC TANK, WASTES ARE NOT TO BE DUMPED ON THE GROUND, OR ANY WATERWAY. WASTES ARE NOT TO BE BURNED, BURIED, OR MIXED WITH OTHER WASTES UNLESS PERMITTED BY THE MANUFACTURER.

THESE PRACTICES ARE USED TO REDUCE THE RISK ASSOCIATED WITH HAZARDOUS MATERIALS.

1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESALABLE.
2. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED, THEY CONTAIN IMPORTANT PRODUCT INFORMATION
3. IF SURPLUS PRODUCTS MUST BE DISPOSED OF MANUFACTURE RECOMMENDED METHODS WILL BE FOLLOWED.

1. ALL WASTE MATERIALS MEETING THE EPA DEFINITION OF SOLID WASTE IDENTIFIED FOR OFFSITE DISPOSAL WILL BE COLLECTED DAILY AND STORED IN SECURELY LIDDED CONTAINERS (TRASH ENCLOSURE).
2. A SUFFICIENT NUMBER OF DUMPSTERS WITH LIDS WILL BE PROVIDED BY THE CONTRACTOR.
3. A SUFFICIENT NUMBER OF METAL TRASH CANS WITH LIDS WILL BE USED ON-SITE.
4. SIGNS WILL BE AFFIXED TO WASTE CONTAINERS ADVISING WHO SHOULD BE CONTACTED WHEN CONTAINERS NEED EMPTYING.
5. SIGNS WILL BE PERMANENTLY DISPLAYED AS WASTE STORAGE AREAS DURING DUMPING OF LIQUID OR HAZARDOUS WASTES. CONTAINERS NOT SPECIFICALLY MARKED FOR SUCH DISPOSAL.
6. SITE PERSONNEL WILL BE ADVISED THAT NO CONSTRUCTION RELATED MATERIALS ARE TO BE BURIED ON-SITE AND THAT ANY DISSEMINARY ACTION WILL BE TAKEN AGAINST ALL OFFENDERS OF THIS POLICY. ALL SUBCONTRACTORS WILL BE GIVEN A WRITTEN COPY OF THIS POLICY.

1. A SUFFICIENT NUMBER OF PORTABLE SANITARY WASTE UNITS WILL BE PLACED ON-SITE; WASTES FROM THESE UNITS WILL BE COLLECTED AS SPECIFIED BY THE WASTE HAULER.
2. SIGNS WILL BE POSTED SPECIFYING WHERE NEAR BY OFF-SITE FACILITIES ARE AVAILABLE.

- THE FOLLOWING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.
1. AN EFFORT WILL BE MADE TO STORE ONLY THOSE PRODUCTS REQUIRED TO DO THE JOB.
2. ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THE APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
3. PRODUCTS WILL BE KEPT IN THE ORIGINAL CONTAINERS WITH THE MANUFACTURER LABEL.
4. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER LABEL.
5. SUBSTANCES WILL NOT BE MIXED UNLESS RECOMMENDED BY THE MANUFACTURER.
6. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED BEFORE DISPOSAL OF THE CONTAINER.
7. MANUFACTURER RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
8. THE GENERAL CONTRACTOR WILL INSURE DAILY TO INSURE PROPER USE OF ALL MATERIALS.
9. WRITTEN COPIES OF THESE PROCEDURES WILL BE DISTRIBUTED TO ALL EMPLOYEES AND SUBCONTRACTORS. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING THESE PROCEDURES WITH SITE PERSONNEL AND FOR INSURING THAT THEY ARE ADHERED TO.

1. AT MINIMUM, ALL STREETS SHALL BE CLEANED AT THE END OF THE WORK WEEK JUST PRIOR TO THE CLOSING OF THE SITE.
2. STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED WITHIN SEVEN (7) DAYS OF THE ONSET OF SITE DISTURBING ACTIVITIES.
3. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE DAILY SWEEPING OF PAVED AREAS ADJACENT TO THE SITE ENTRANCE ON A DAILY BASIS AND PRIOR TO ENDING WORK FOR THE WEEK.
4. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSURING THAT ALL DUMP TRUCKS, HAULING MATERIALS FROM THE CONSTRUCTION SITE WILL BE COVERED WITH TARPULAINS.
5. TRUCK WASH AREAS WILL ONLY BE LOCATED IN BERMED AREAS OR IN AREAS THAT DRAIN TO SEDIMENT REMOVAL BASINS.
6. WASTE FRESH EQUIPMENT WASHING AND CONCRETE WASHOUT TO BE DISPOSED OF AT A CERTIFIED LANDFILL AND/OR TREATMENT PLANT.

ALL CONSTRUCTION & DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714, OR PROCESSED FOR RECYCLING

CONTRACTOR IS TO CONTROL DUST AT ALL TIMES, INCLUDING NON-WORKING DAYS, WEEKENDS, AND HOLIDAYS. ACTIVE WORK AREAS SHALL BE WET DOWN USING CONTRACTOR'S WATER SUPPLY OR TREATED WITH DUST SUPPRESSANTS AS REQUIRED AND APPROVED. STORM WATER BMPs SHALL MAINTAIN AND IMPROVED, AS NECESSARY, TO LIMIT DISCHARGE OF DUST AND DEBRIS.

TEMPORARY OR PERMANENT STABILIZATION OF WORK AREAS SHALL BE PERFORMED PROMPTLY.

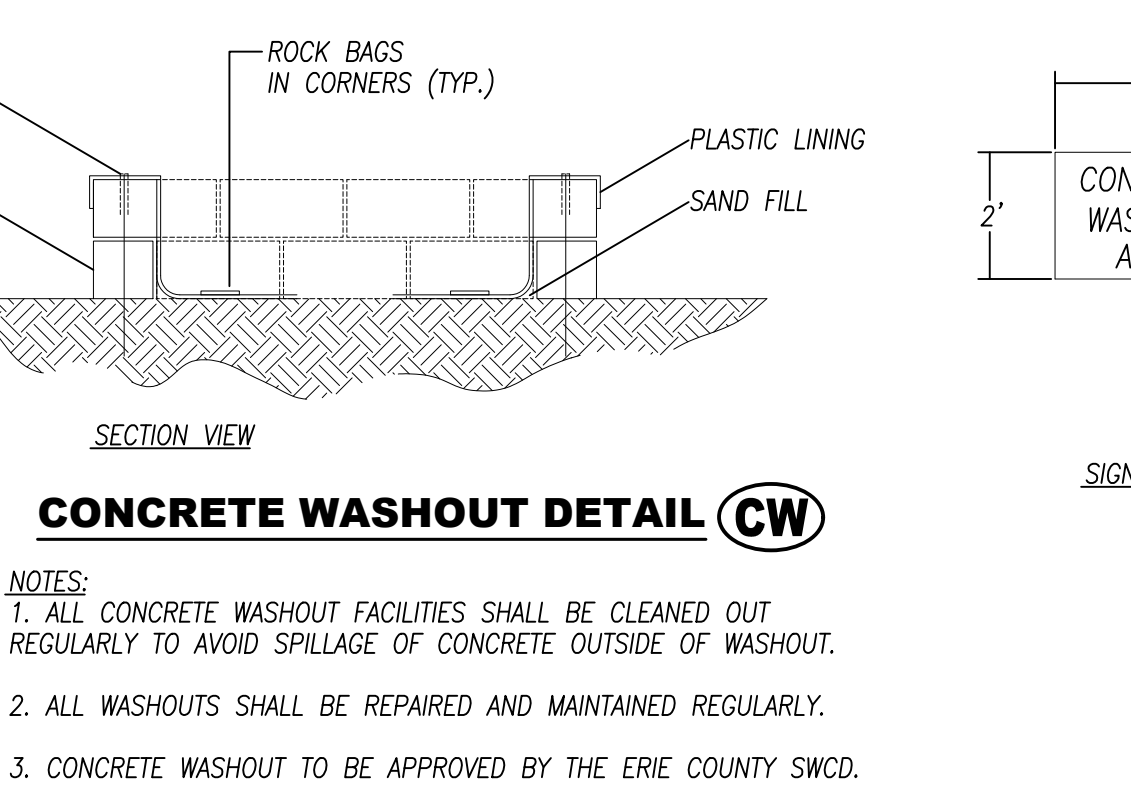
WET-CUTTING METHODS SHALL BE USED, WHERE FEASIBLE, FOR CUTTING CONCRETE, ASPHALT AND MASONRY.

CONTRACTOR SHALL CONTROL OFFSITE TRACKING OF DUST AND DEBRIS FROM CONTRACTOR'S VEHICLES AND CONTRACTOR'S SUBCONTRACTORS.

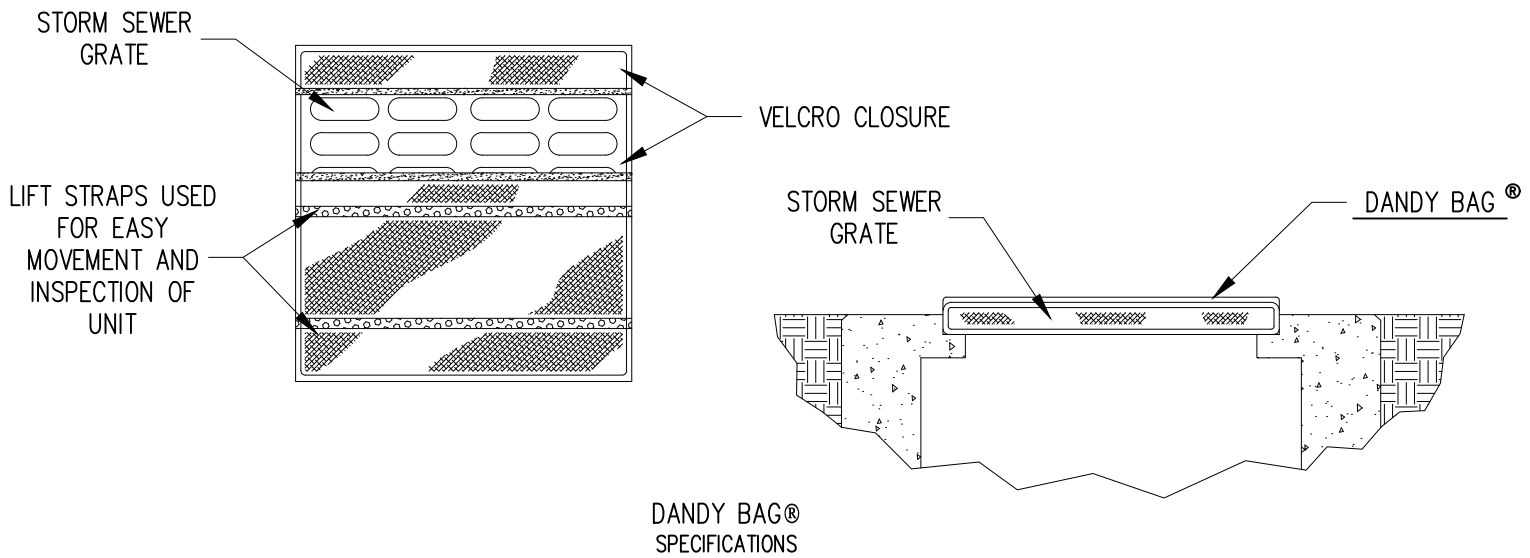
CONTRACTOR SHALL PERFORM STREET SWEEPING OR OTHER DUST AND DEBRIS MANAGEMENT MEASURES, AS NEEDED, TO FULFILL THE OBJECTIVES OF THIS SECTION.

CONCRETE TRUCKS WILL ONLY BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS
CONCRETE OR DRUM WATER WASH WATER IN AREAS APPROVED, DESIGNATED CONCRETE W
OUT PIT LOCATION ON SITE.

THE OWNER RESERVES THE RIGHT TO REQUIRE THE GENERAL CONTRACTOR TO EMPLOY SEDIMENT CONTROL TECHNIQUES TO LIMIT CONCRETE SPOILAGE RUNOFF.



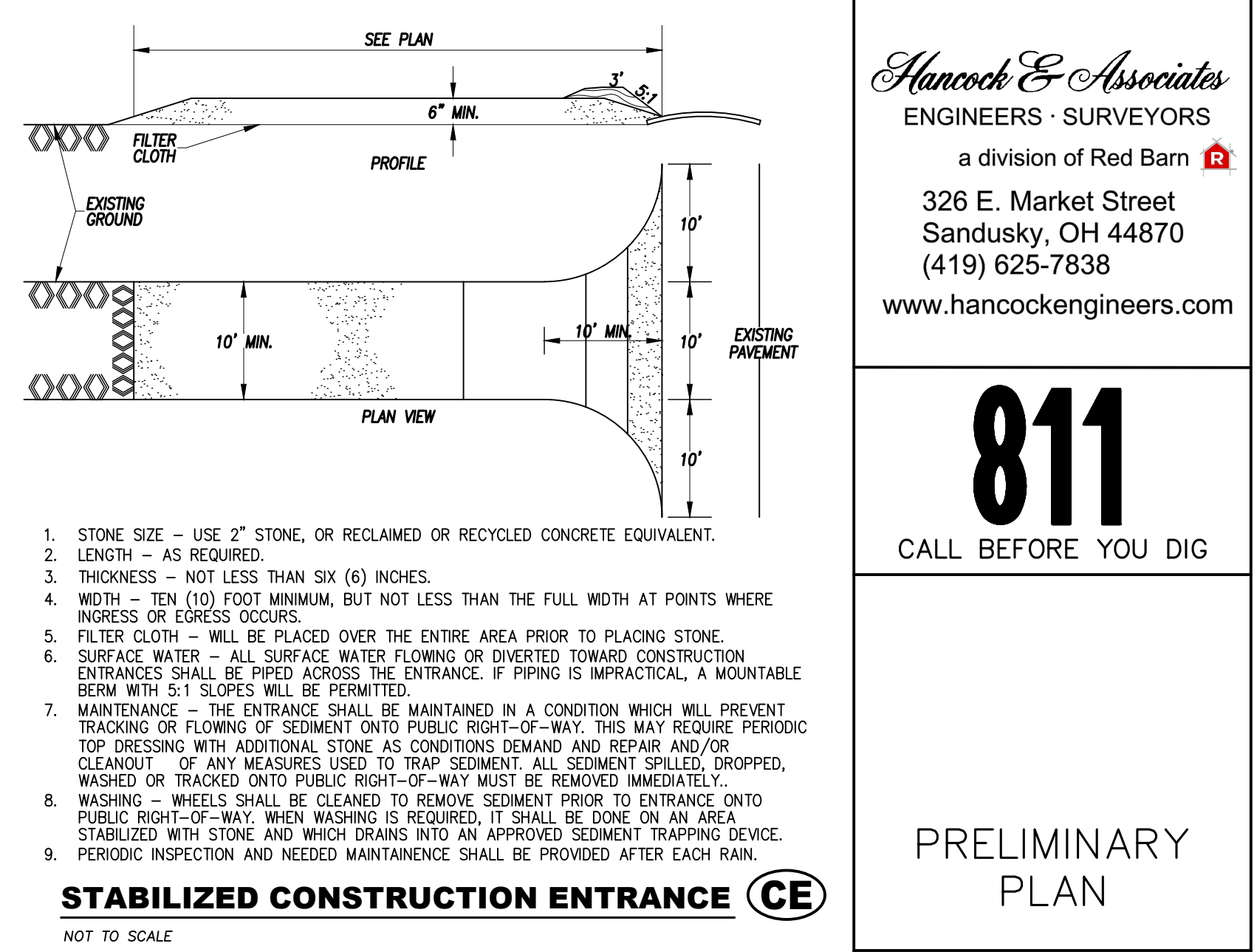
OPTIONS FOR USE INCLUDE DANDY BAG®, GEOTEXTILE INLET PROTECTION, OR BLOCKSOM INLET FILTER.



NOTE: THE DANDY BAG® WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOCLONAL FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:			
HI-FLOW DANDY BAG® (SAFETY ORANGE)			
Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365 X 0.89 (200))
Grab Tensile Elongation	ASTM D 4632	%	24 (25 X 10)
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (75)
UV Resistance	ASTM D 4533	%	80
Apparent Opening Size	ASTM D 4751	µm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/min/m ² (gal/min/ft ²)	5907 (145)
Permeability	ASTM D 4491	Sec ⁻¹	2.1

*Note: All Dandy Bags® can be ordered with our optional oil absorbent pillows.

DANDY BAG® 
N.T.S.



DESIGN	KMB
DRAWN	KMB
CHECKED	JRK

[illegible]

PROJECT NAME:
OFFICE ADDITION
ERIE COUNTY GENERAL HEALTH

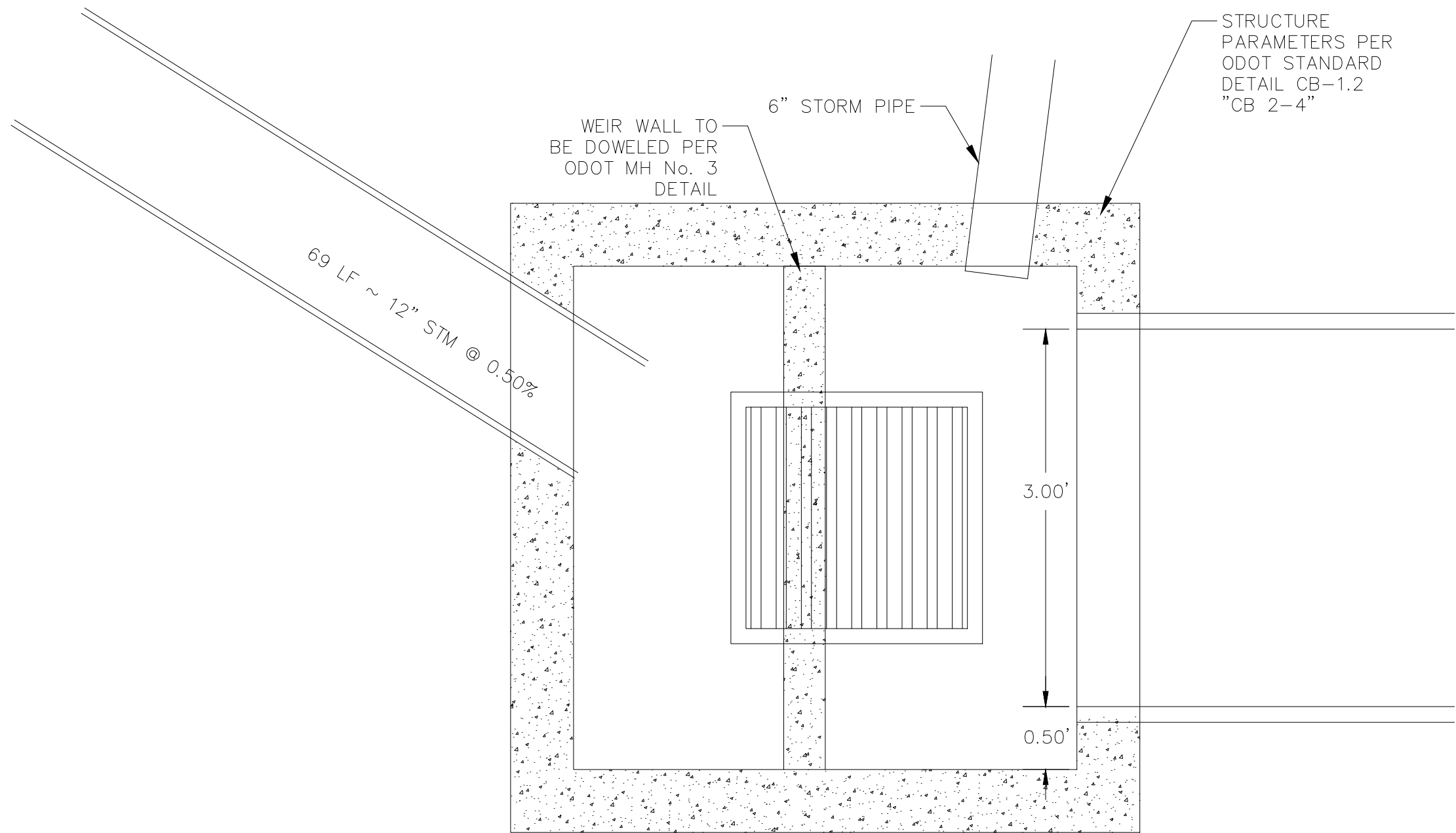
PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
SWPPP NOTES &
DETAILS

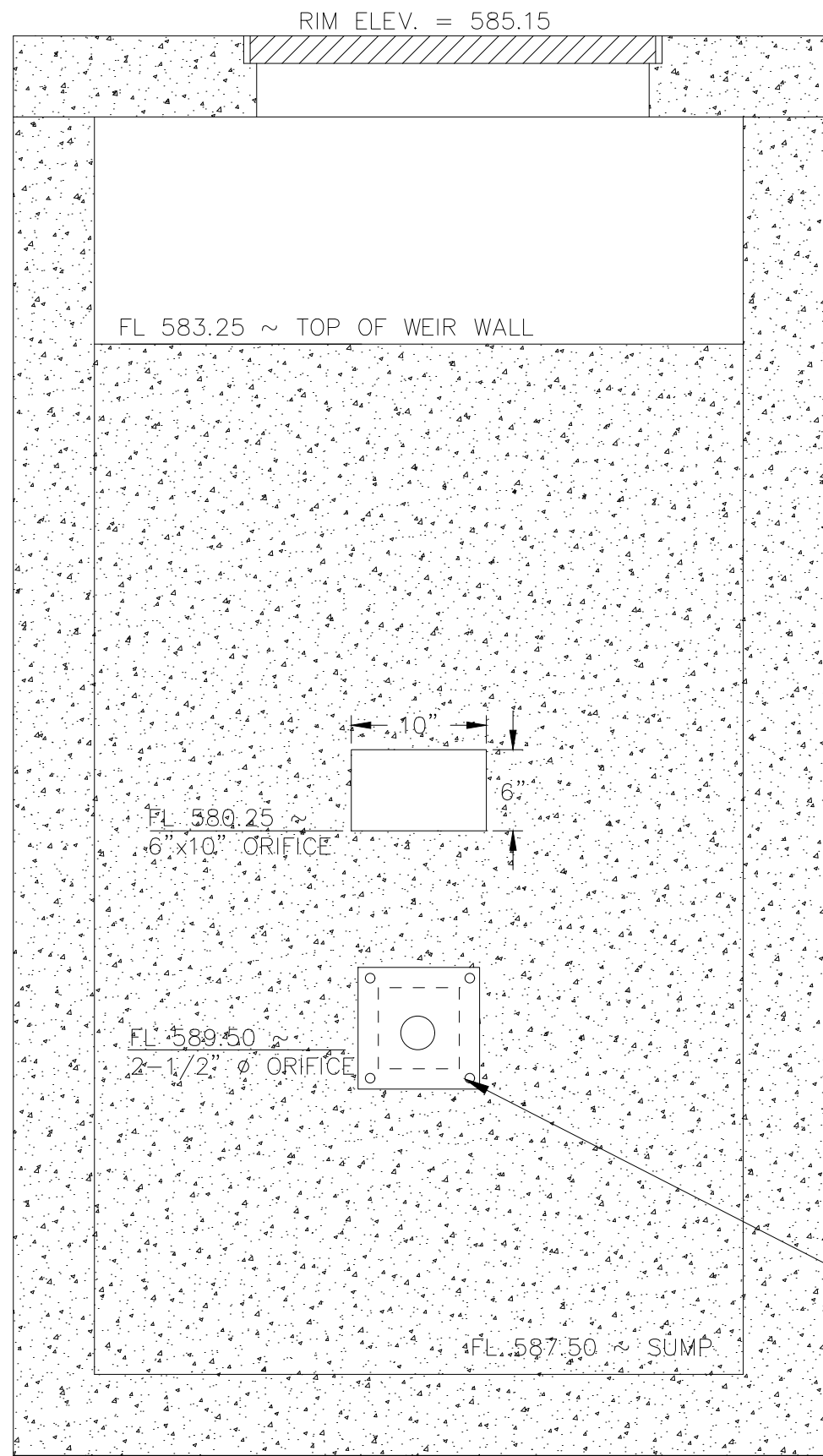
SHEET NO.:
C4.2

RB PROJECT NO.:
280620

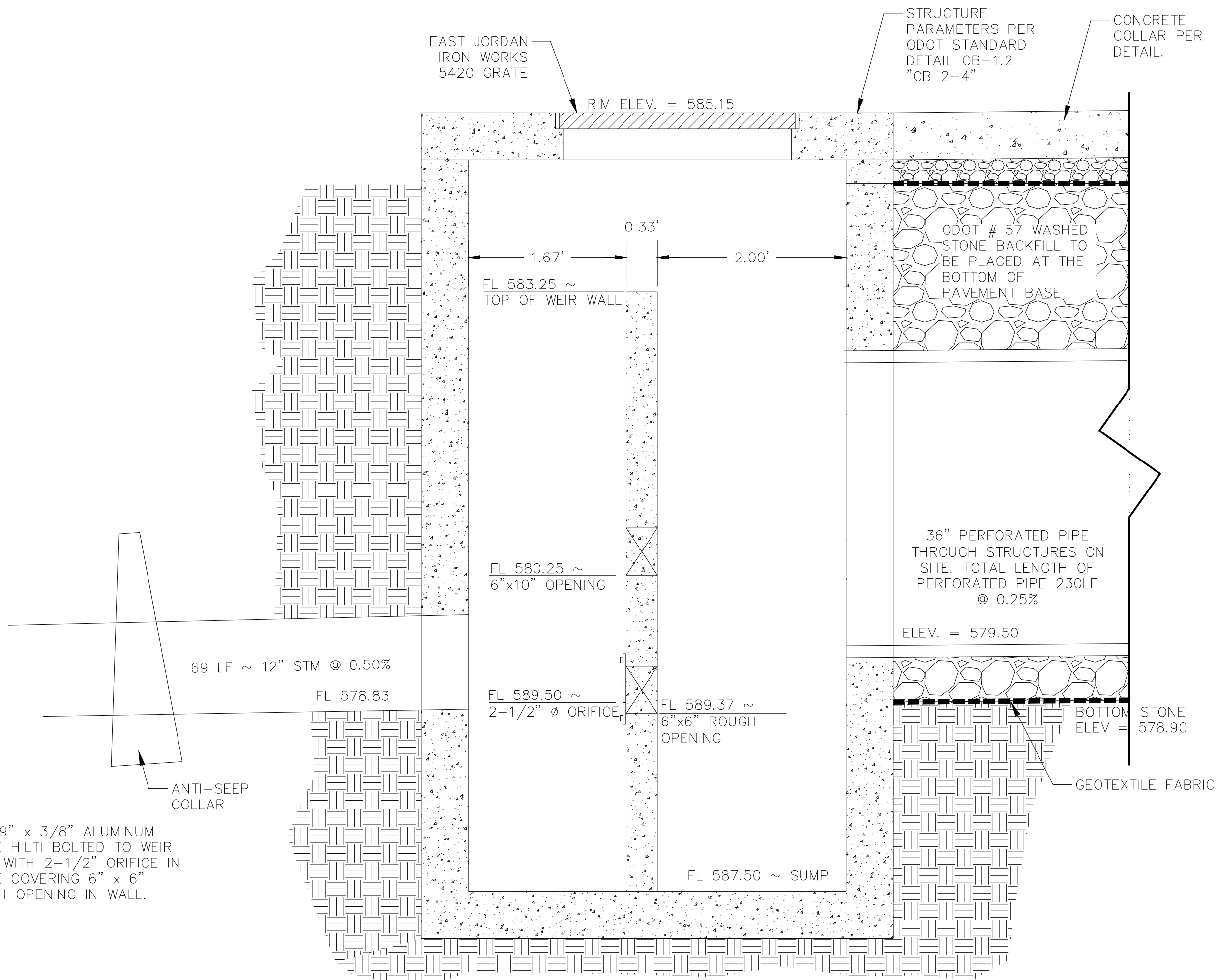
22"x34" - 20-XXXX SWPPP.dwg 2020-11-05 11:00 AM (KEVIN BOEHLER)



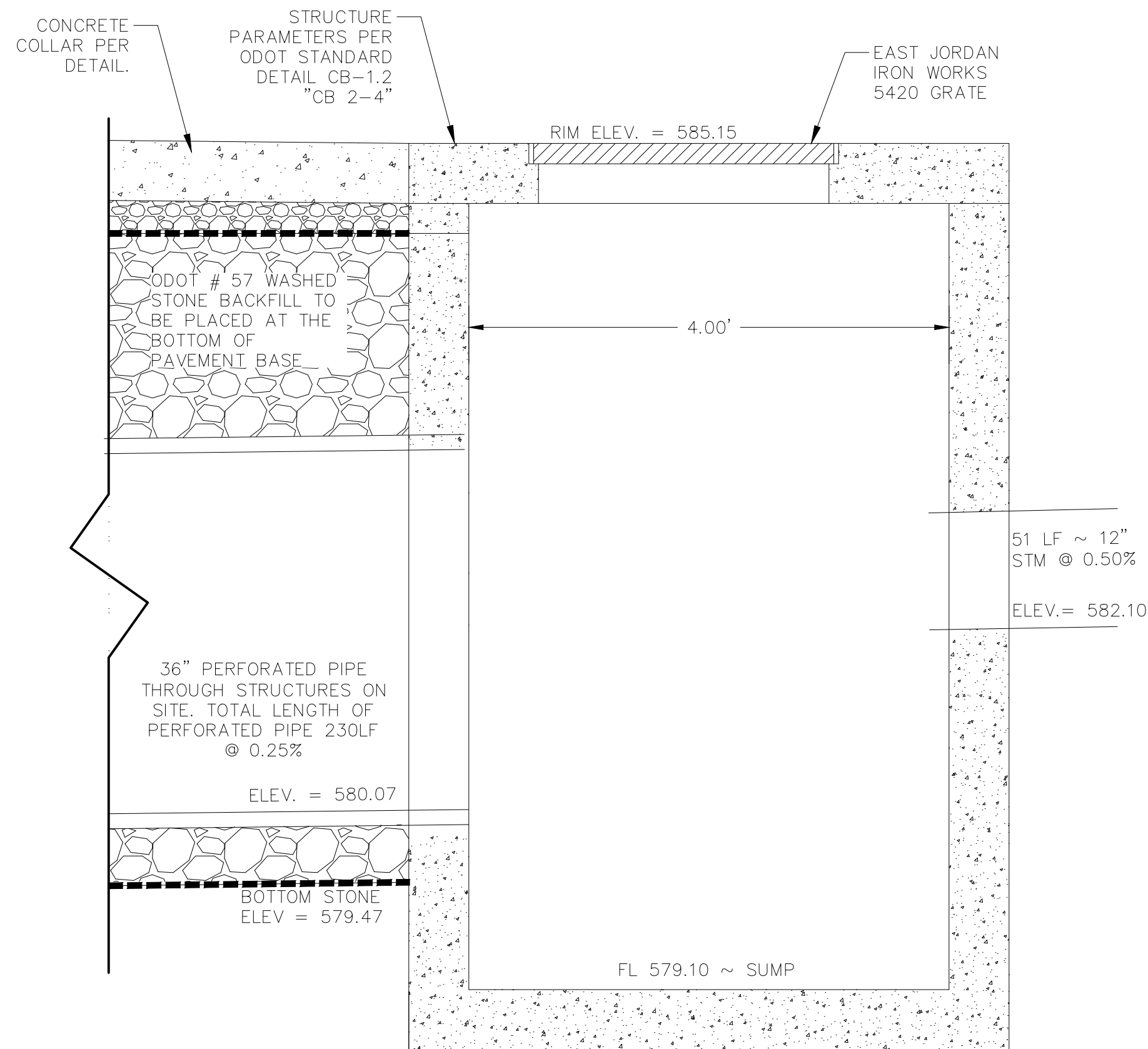
OUTLET CATCH BASIN
PLAN VIEW



CATCH BASIN WEIR WALL
CROSS SECTION



CATCH BASIN OUTLET STRUCTURE CB-1
AND DETENTION CROSS SECTION



CATCH BASIN OUTLET STRUCTURE CB-6
AND DETENTION CROSS SECTION

CATCH BASIN OUTLET STRUCTURE
SCALE: NTS

STORM WATER CALCULATIONS				
YEAR	RAINFALL	EXISTING RUNOFF (CFS)	STORAGE DEPTH (FEET)	PROPOSED RUNOFF (CFS)
1	2.02	1.922	581.09	1.740
2	2.44	2.629	581.48	2.185
5	3.07	3.728	582.15	2.802
10	3.59	4.653	582.92	3.353
25	4.35	6.015	583.74	5.798
50	4.99	7.165	584.14	6.929
100	5.68	8.403	584.90	7.637

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DESIGN KMB
DRAWN KMB
CHECKED JRK

REV/SUBMITTAL	DATE								
BID SET	11/06/20								

PROJECT NAME:
OFFICE ADDITION
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

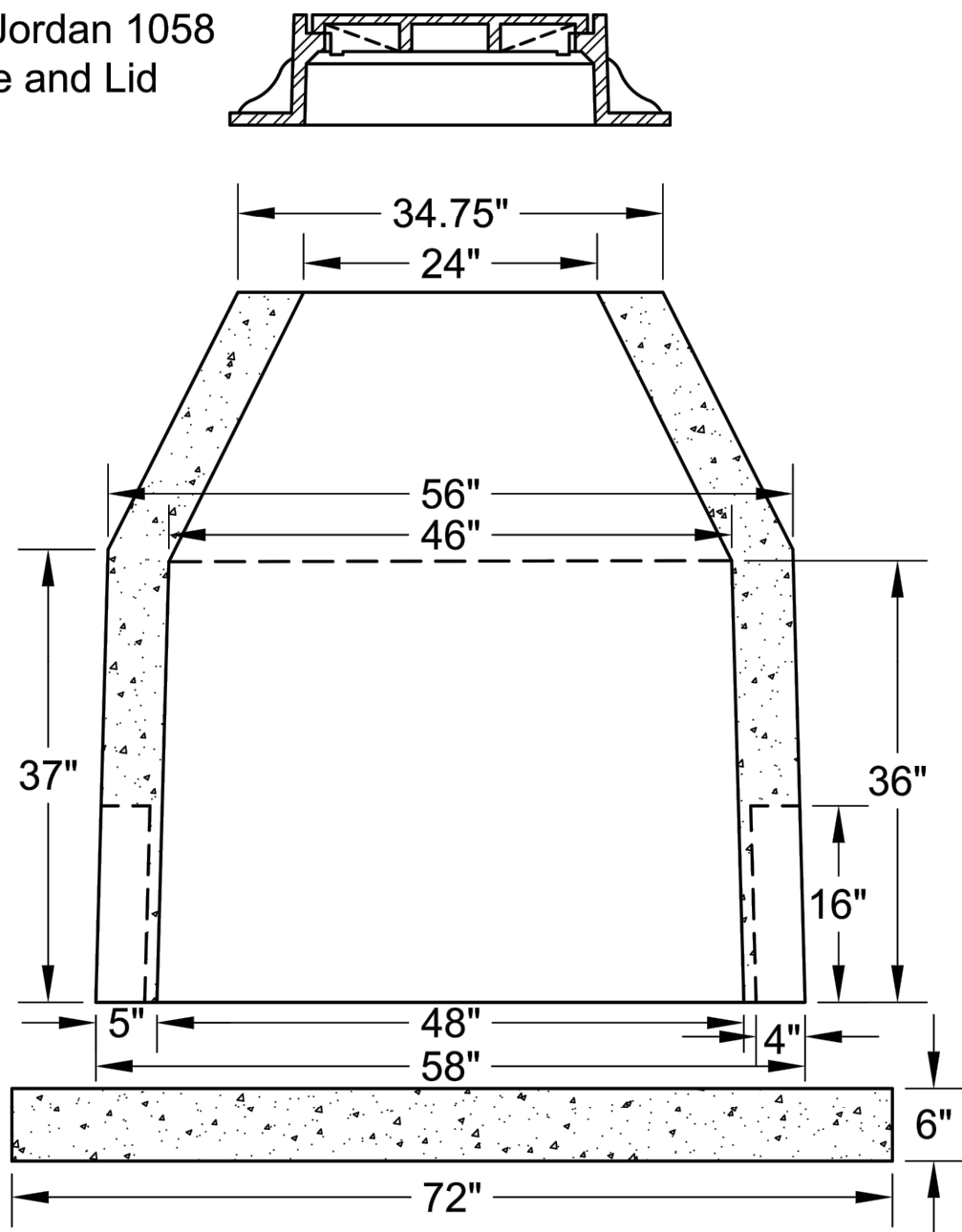
SHEET TITLE:
SWPPP NOTES &
DETAILS

SHEET NO.:
C4.3

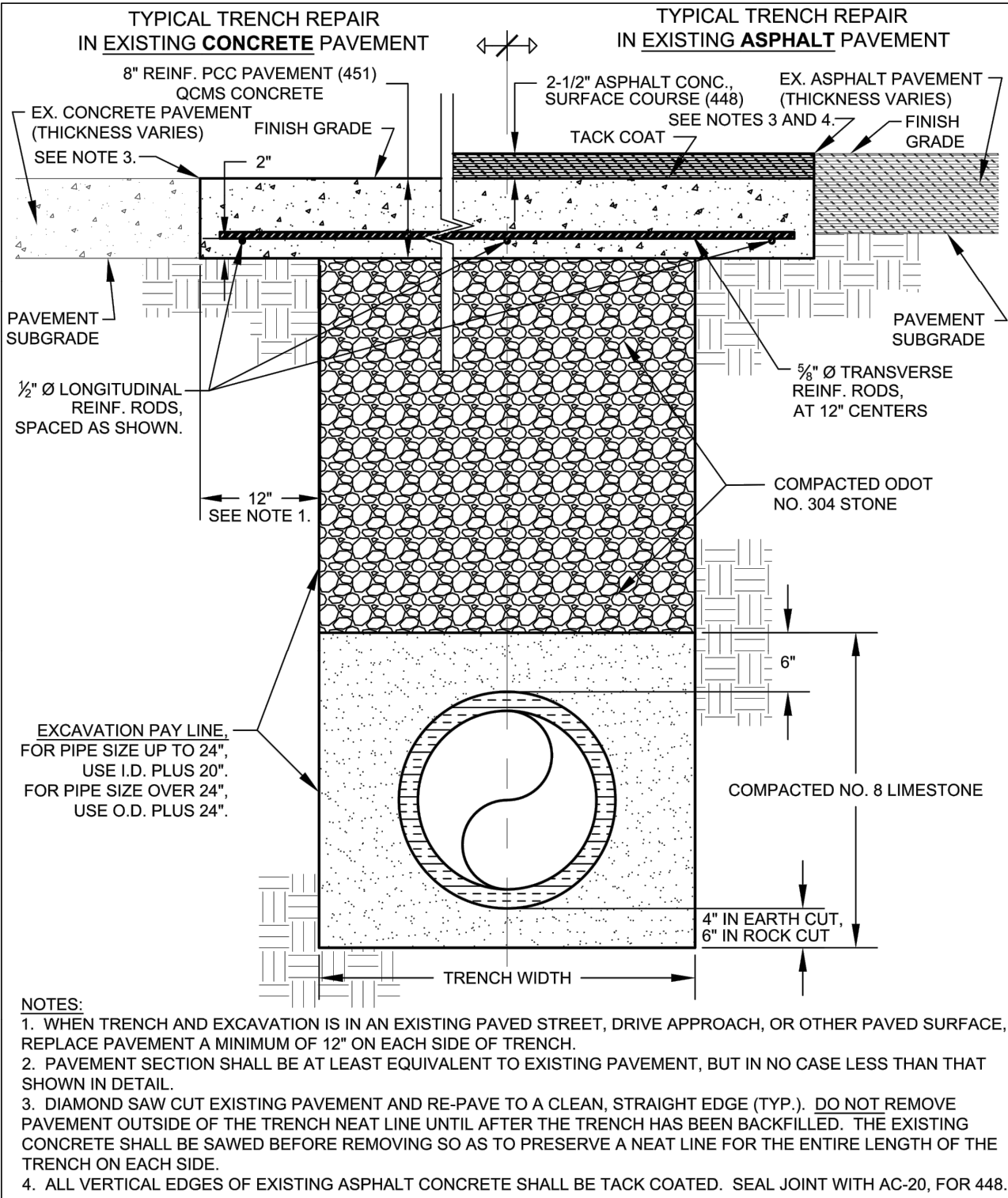
RB PROJECT NO.:
280620

22"x34" - 20-XXXX SWPPP.dwg 2020-11-05 11:00 AM (KEVIN BOEHLER)

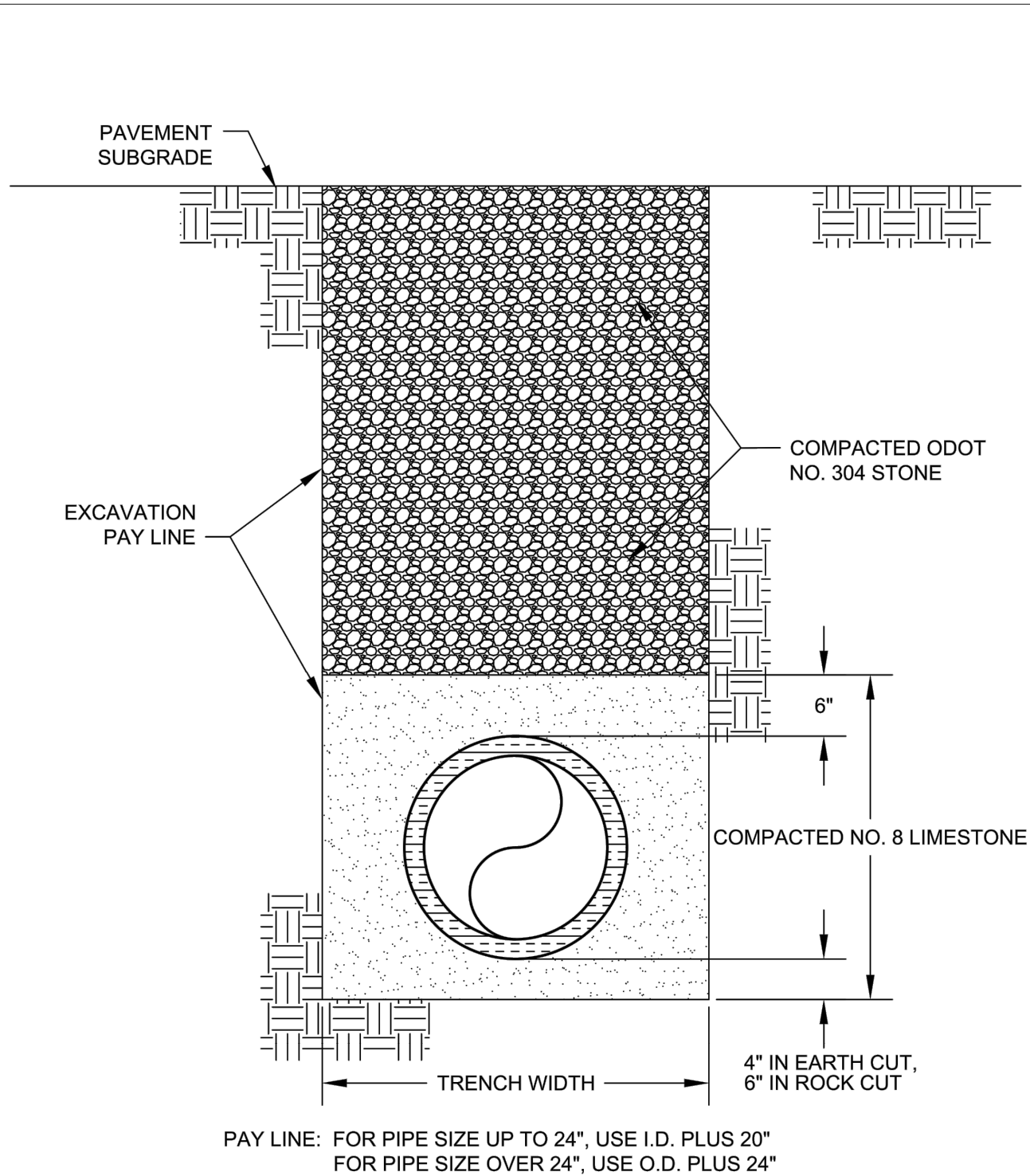
East Jordan 1058
Frame and Lid



DWG. BY:	DATE:	CITY STANDARD		SCALE:
--	APRIL 1996	1.5" THRU 2" METER PIT		NONE
REV. NO.	REV. DATE	REV. BY	STANDARD	DRAWING NO.
2	JUNE 2008	JWR		MP-2
CITY OF SANDUSKY			1 OF 1	
DEPARTMENT OF PUBLIC WORKS				

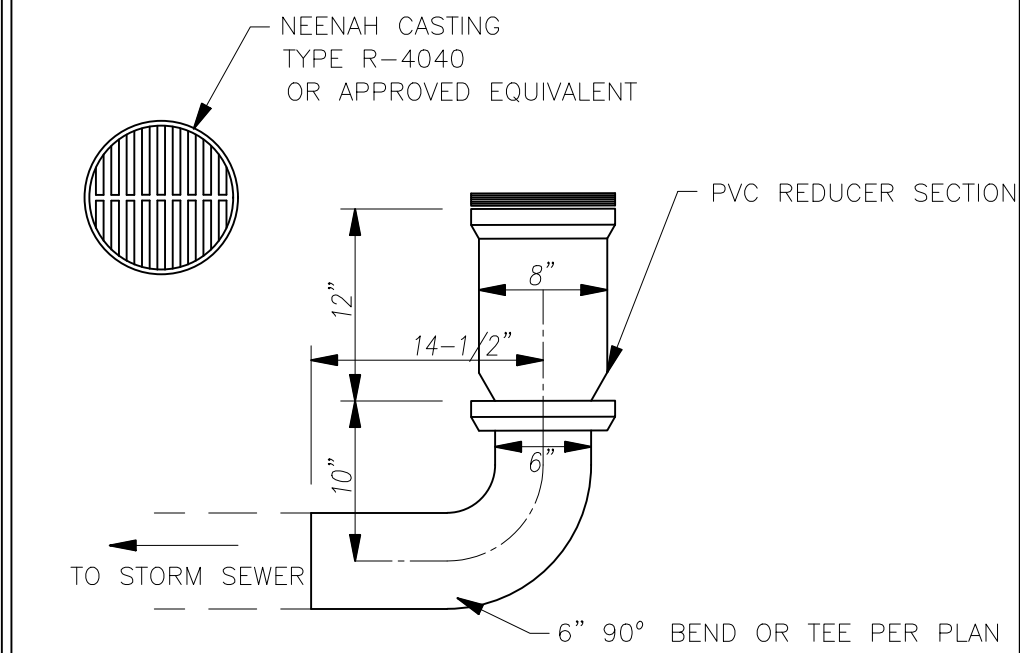


DWG. BY:	DATE:	TRENCH REPAIR SECTION		SCALE:
--	JULY 2005	IN EXISTING PAVEMENT		NONE
REV. NO.	REV. DATE	REV. BY	STANDARD	DRAWING NO.
2	JUNE 2008	JWR		TR-4
3	JUNE 2016	JRK		
4	NOV 2018	JEC		
CITY OF SANDUSKY			1 OF 1	
DEPARTMENT OF PUBLIC WORKS				



DWG. BY:	DATE:	TRENCH REPAIR SECTION		SCALE:
--	APRIL 1996	IN PROPOSED PAVED AREAS		NONE
REV. NO.	REV. DATE	REV. BY	STANDARD	DRAWING NO.
2	JUNE 2008	JWR		TR-3
CITY OF SANDUSKY			1 OF 1	
DEPARTMENT OF PUBLIC WORKS				

YARD DRAIN DETAIL

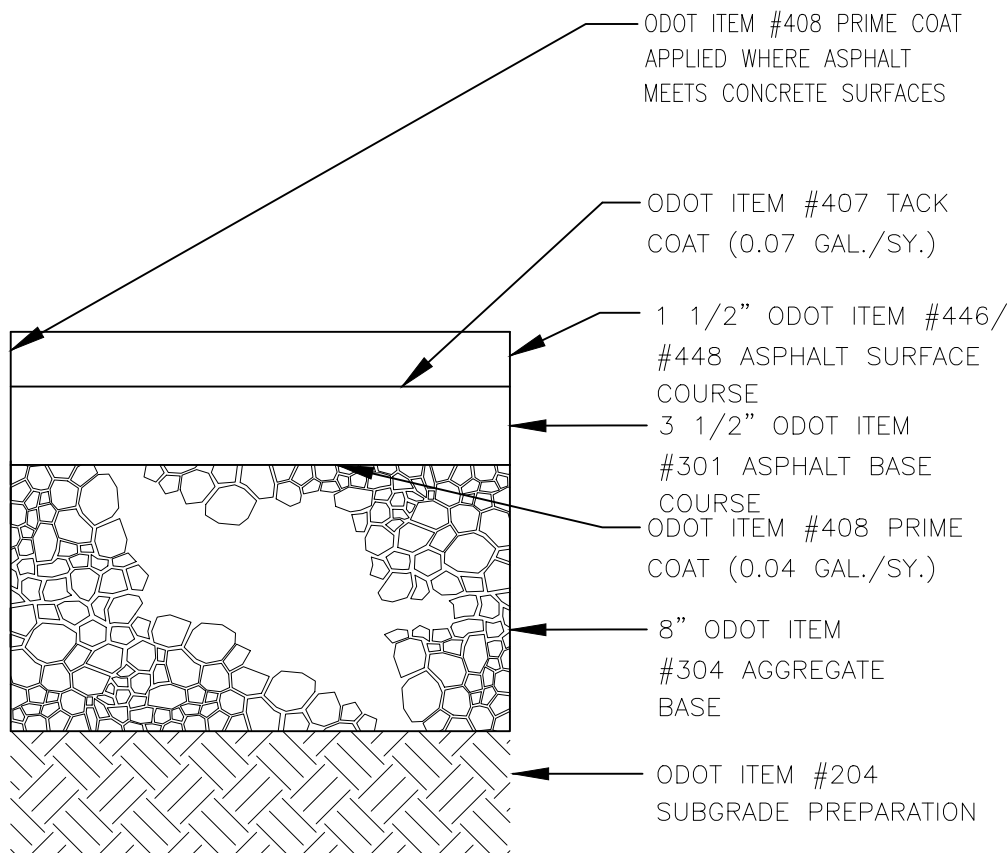


NORMAL DUTY CONCRETE PAVEMENT SECTION

NOT TO SCALE

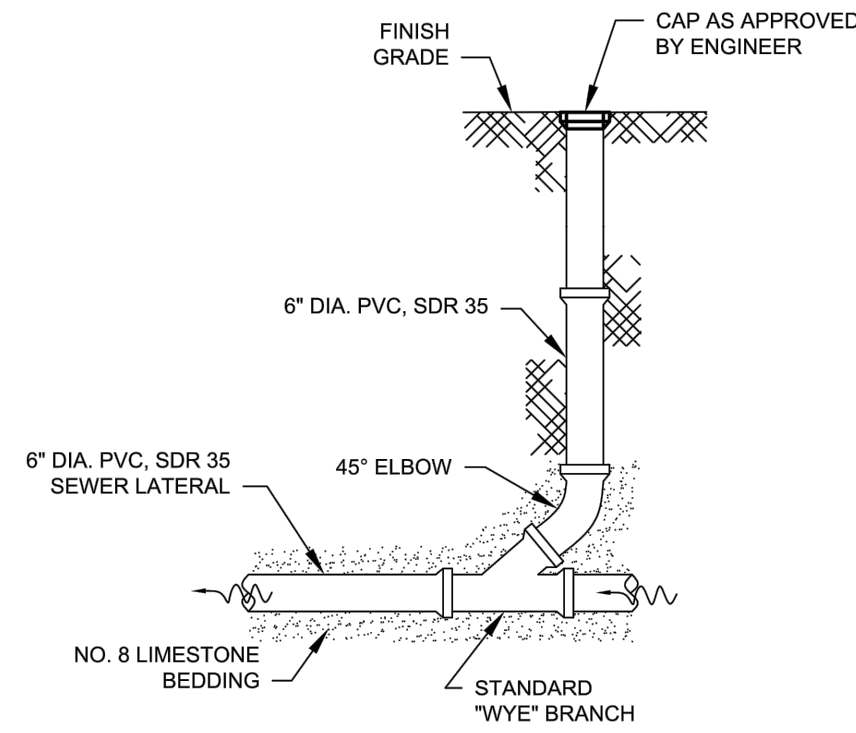
NOTE:

SEE TYPICAL CONSTRUCTION JOINT DETAIL FOR DOWEL REQUIREMENTS.



ASPHALT PAVEMENT SECTION HEAVY DUTY

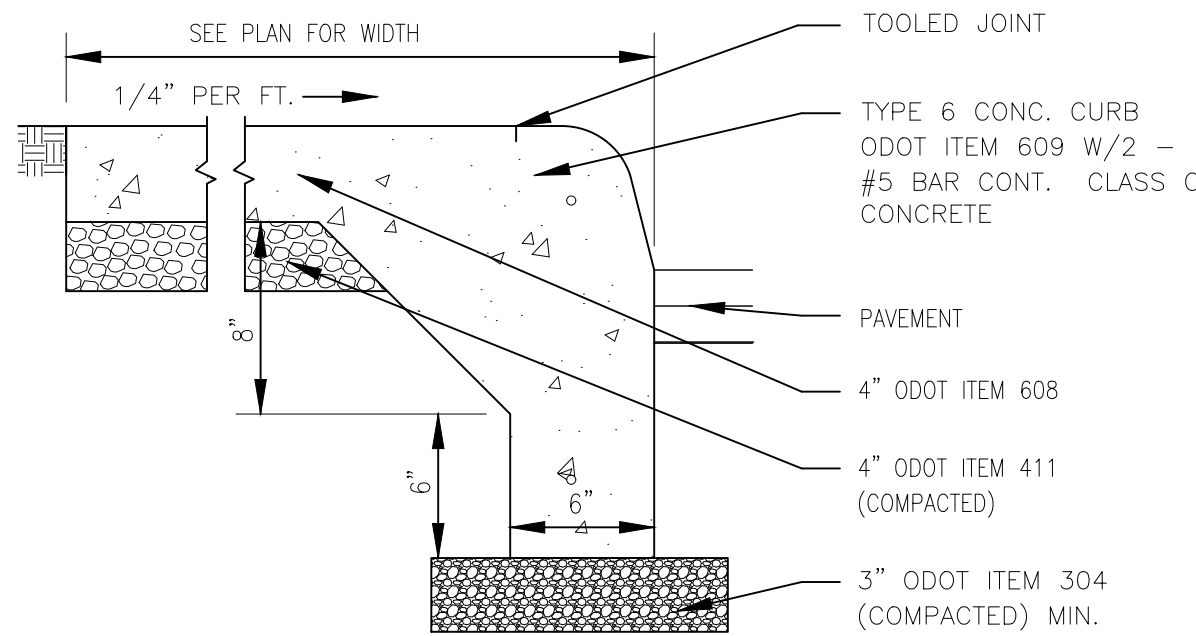
NOT TO SCALE



NOTES:

- Cleanout pipe to be same size and material as sewer lateral or main, up to 8".
- Backfill to top of 45° bend with No. Crushed Limestone.
- Encase cap in 6" Class C Concrete collar if cleanout is located in a paved surface.

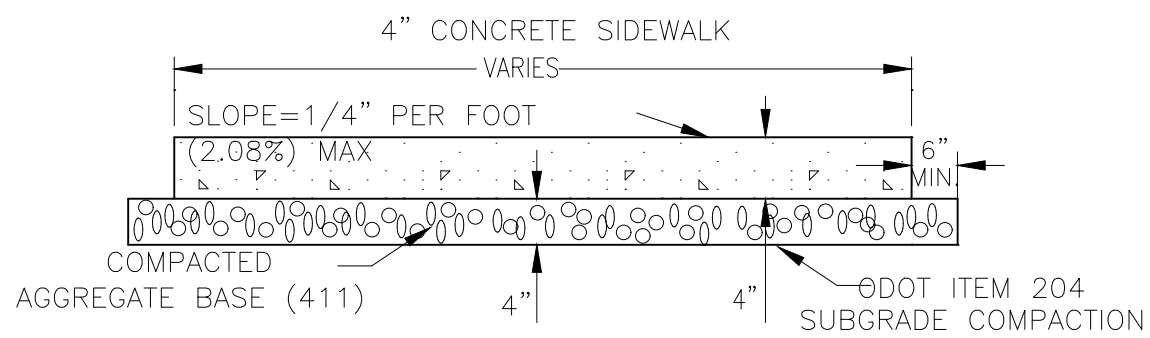
DWG. BY:	DATE:	SEWER LATERAL CLEANOUT		SCALE:
JWR	AUG 2008			NONE
REV. NO.	REV. DATE	REV. BY	STANDARD	DRAWING NO.
2	JUNE 2008	JWR		TR-7
CITY OF SANDUSKY			1 OF 1	
DEPARTMENT OF PUBLIC WORKS				



CONCRETE WALK WITH INTEGRAL TYPE 6 CURB

NOT TO SCALE

- SIDEWALKS TO BE A MINIMUM OF 4" THICK WITH TOOLED JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO TRAVEL DIRECTION.
- CONCRETE FOR SIDEWALKS SHALL BE CLASS C AND CONFORM TO ODOT ITEM 499 WITH 6x6-W2.9x2.9 WWF.
- SEE ARCHITECTURAL SITE PLAN FOR JOINT SPACING AND DIMENSIONS. (IF AVAILABLE)
- CONSTRUCTION JOINTS SHALL BE FORMED AROUND ALL APPURTENANCES SUCH AS MANHOLES OR UTILITY POLES EXTENDING INTO AND THROUGH THE SIDEWALK.
- EXPANSION JOINT FILLER 1/4" THICK SHALL BE INSTALLED BETWEEN THE WALK AND FIXED STRUCTURE EXTENDING THE FULL DEPTH OF THE WALK.
- DEPTH OF SAWCUTS SHALL BE 1/4 THE THICKNESS OF THE WALK.
- A UNIFORM APPLICATION OF CURING MEMBRANE SHALL BE APPLIED TO THE EXPOSED SURFACES OF CONCRETE IN ACCORDANCE WITH ODOT ITEM 451.

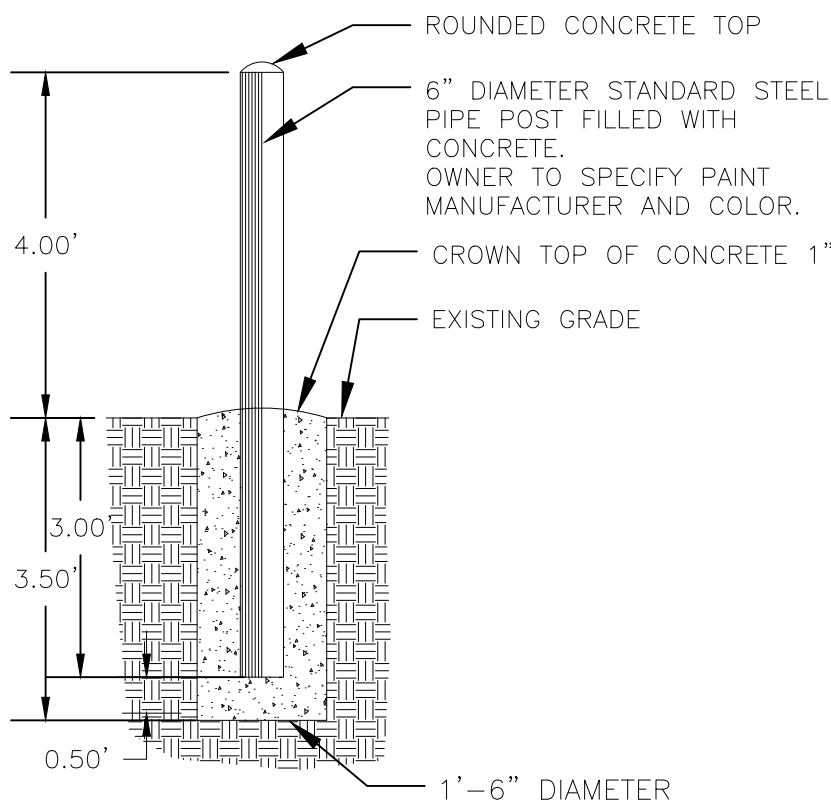


CONCRETE SIDEWALK ODOT ITEM 608

NOT TO SCALE

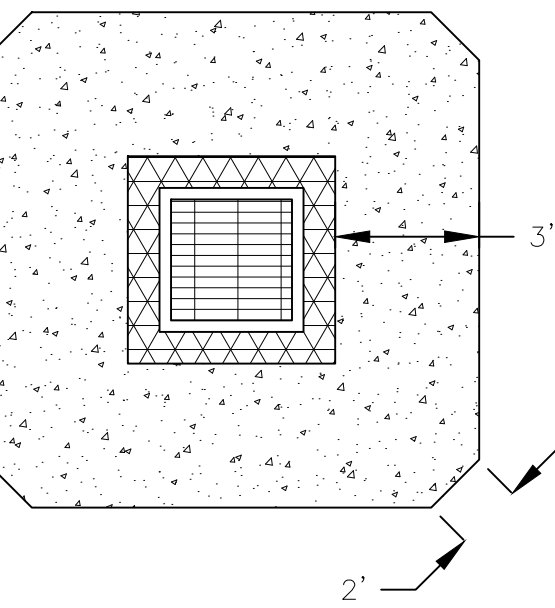
NOTE:

- SIDEWALKS TO BE A MINIMUM OF 4" THICK WITH TOOLED JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO TRAVEL DIRECTION.
- CONCRETE FOR SIDEWALKS SHALL BE CLASS QC1 OR QC MISC. AND CONFORM TO ODOT ITEM 499.
- SEE ARCHITECTURAL SITE PLAN FOR JOINT SPACING AND DIMENSIONS. (IF AVAILABLE)
- CONSTRUCTION JOINTS SHALL BE FORMED AROUND ALL APPURTENANCES SUCH AS MANHOLES OR UTILITY POLES EXTENDING INTO AND THROUGH THE SIDEWALK.
- EXPANSION JOINT FILLER 1/2" THICK SHALL BE INSTALLED BETWEEN THE WALK AND FIXED STRUCTURE EXTENDING THE FULL DEPTH OF THE WALK.
- THE SURFACE OF THE WALK SHALL HAVE A TRAVERSE SLOPE OF 1/4" PER FOOT, WITH THE LOW SIDE ADJACENT TO THE ROAD.
- DEPTH OF SAWCUTS SHALL BE 1/4 THE THICKNESS OF THE WALK.
- A UNIFORM APPLICATION OF CURING MEMBRANE SHALL BE APPLIED TO THE EXPOSED SURFACES OF CONCRETE IN ACCORDANCE WITH ODOT ITEM 608.
- WHEN THE SIDEWALK IS IN THE RIGHT OF WAY AND ADJACENT TO A CURB, SIDEWALK SHALL BE A MINIMUM OF FIVE FEET (5') WIDE.
- WHEN A SIDEWALK IS ADJACENT TO A CURB WITHIN THE RIGHT OF WAY, SIDEWALK SHALL BE A MINIMUM OF 7'-6" WIDE.
- CONCRETE FOR SIDEWALKS SHALL BE CLASS C AND CONFORM TO ODOT ITEM 499 WITH 6X6-W2.9X2.9 WWF.



BOLLARD DETAIL

NOT TO SCALE



CONCRETE COLLAR

NOT TO SCALE

NOTE:

CONCRETE TO BE ODOT ITEM #452 8" CLASS C CONCRETE W/ FIBER MESH REINFORCEMENT.

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DESIGN	KMB
DRAWN	KMB
CHECKED	JRK

REV./SUBMITTAL	DATE								
BID SET	11/06/20								

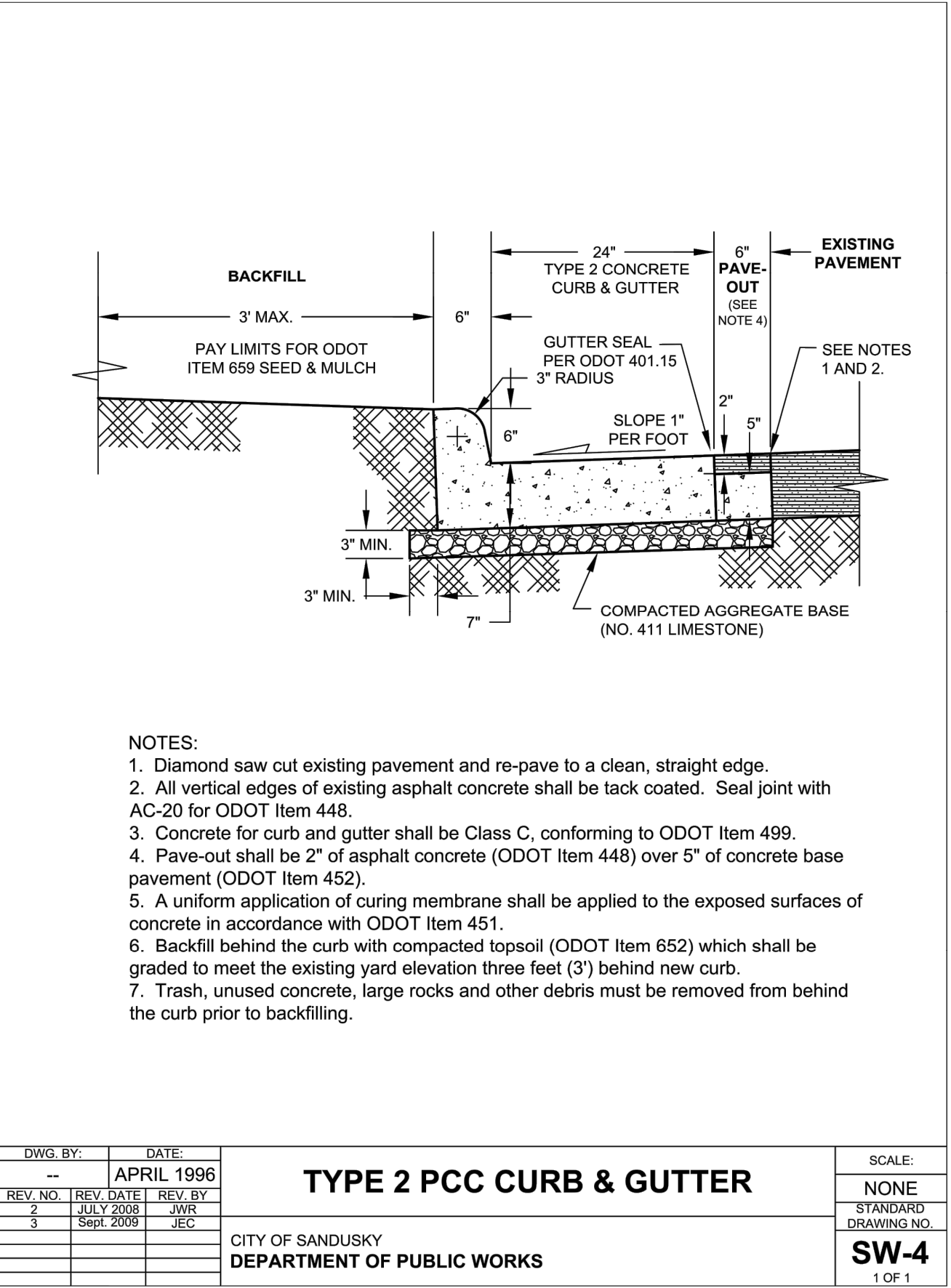
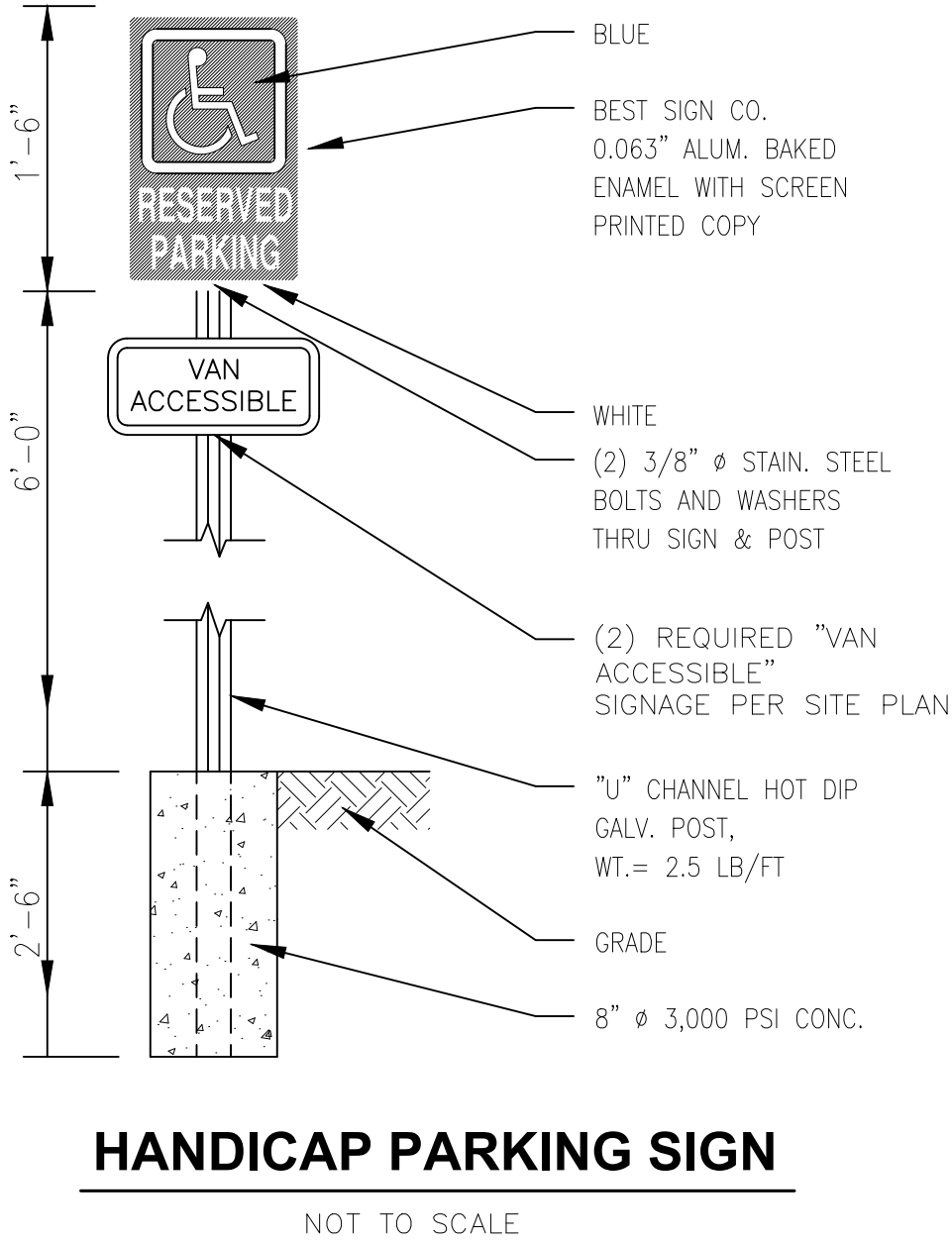
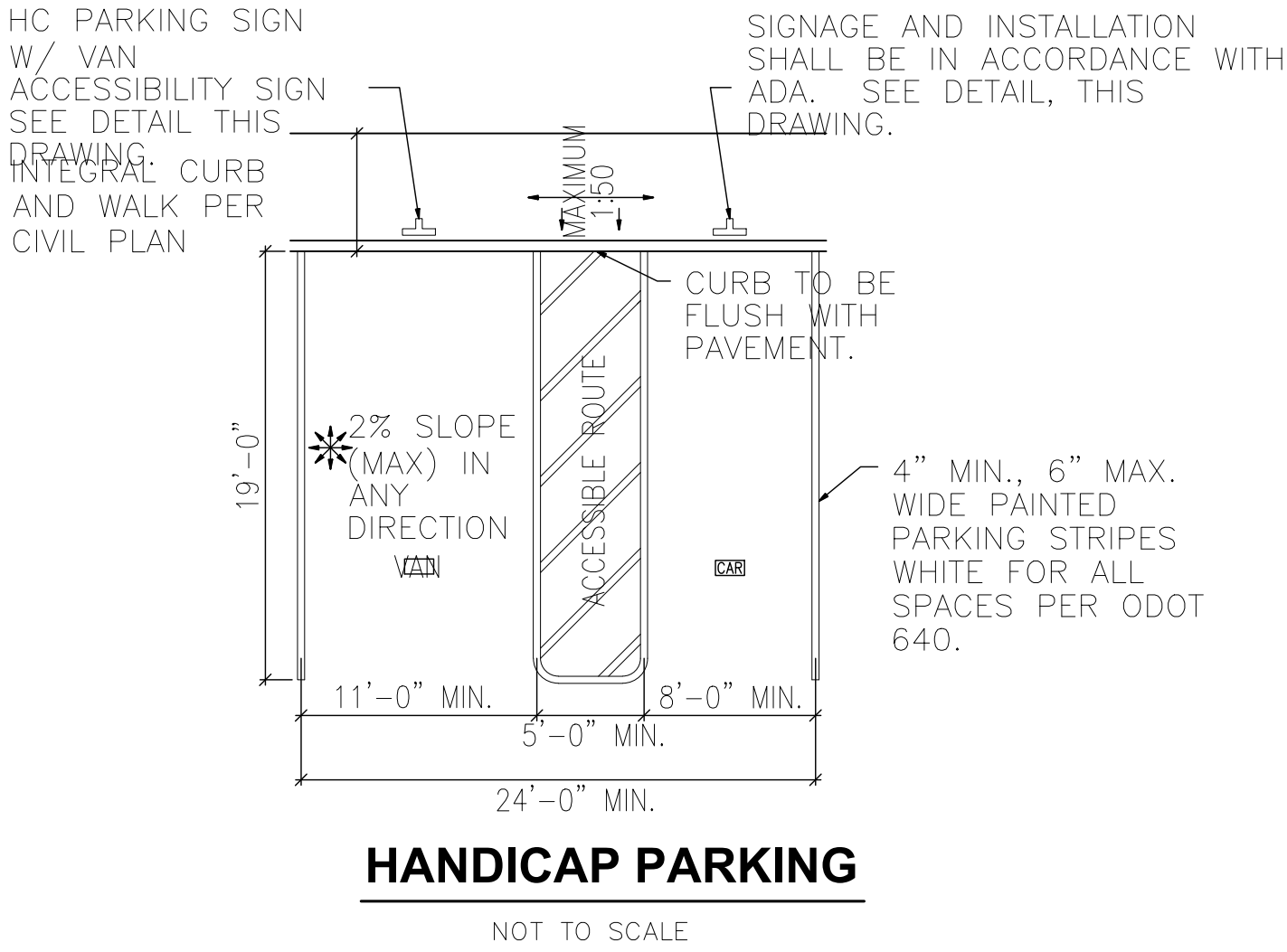
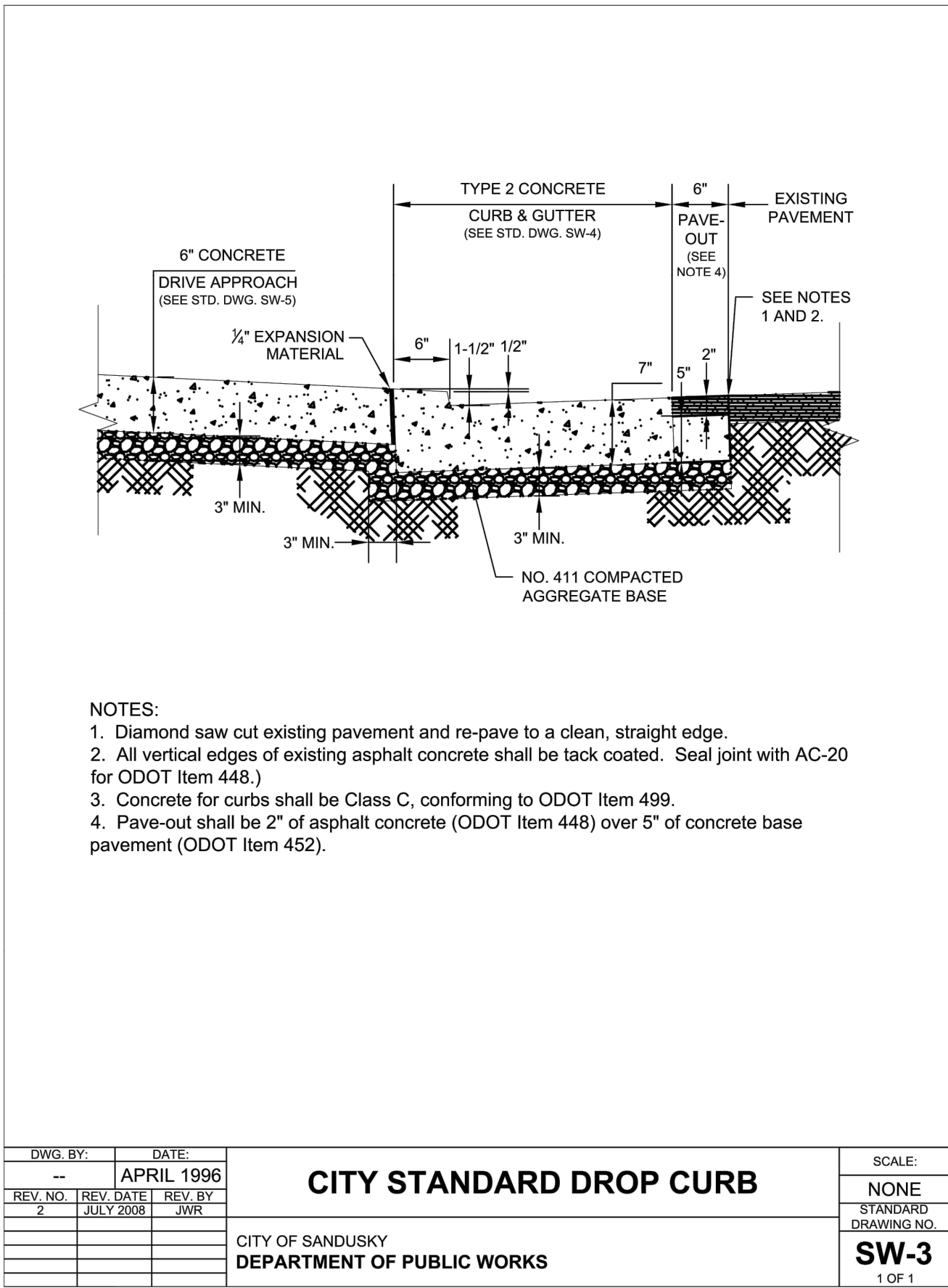
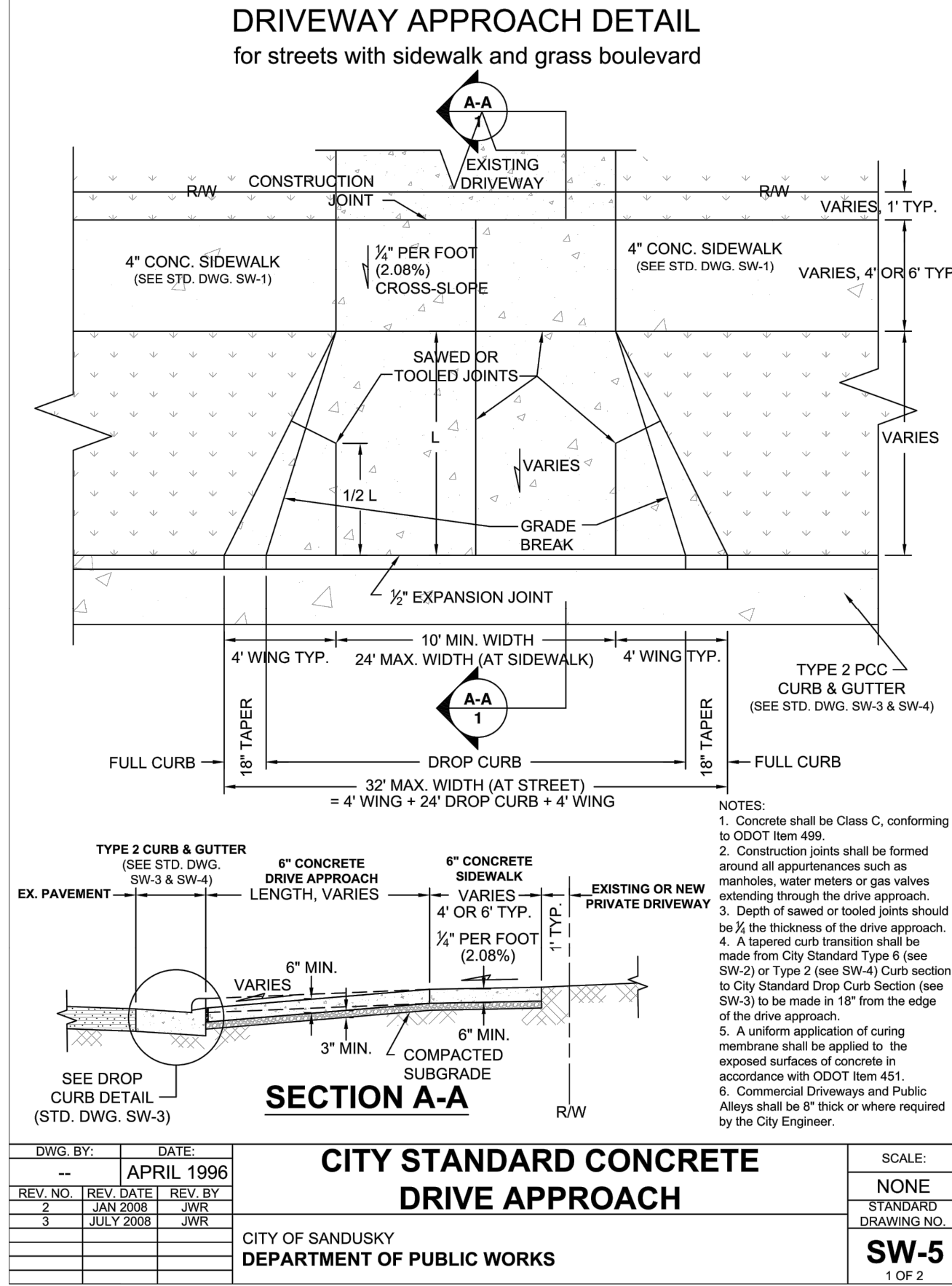
PROJECT NAME:
OFFICE ADDITION
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE: GENERAL DETAILS

SHEET NO.:
C5.0

RB PROJECT NO.:
280620



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PLAN

DESIGN KMB
DRAWN KMB
CHECKED JRK

REV/SUBMITTAL	DATE								
BID SET	11/06/20								

PROJECT NAME:
OFFICE ADDITION
ERIE COUNTY GENERAL HEALTH

PROJECT ADDRESS:
420 SUPERIOR ST.
SANDUSKY, OH 44870

SHEET TITLE:
GENERAL DETAILS

SHEET NO.:
C5.1

RB PROJECT NO.:
280620

PLANNING COMMISSION REPORT

APPLICATION FOR SITE PLAN APPROVAL FOR 2101 W PERKINS AVENUE.

Reference Number: PSPOS-0001

Date of Report: January 20, 2021

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

Rosalyn Ahner, as an authorized agent of RL Ahner Properties LLC., has applied for site plan approval for 2101 W. Perkins Avenue. The following information is relevant to this application:

Applicant: RL Ahner Properties LLC
5214 Ransom Road
Sandusky, Ohio 44870

Authorized Agent: Rosalyn Ahner
5214 Ransom Road
Sandusky, Ohio 44870

Site Location: 2101 Perkins Avenue/Parcel 58-68009.000

Current Zoning: "LM" – Limited Manufacturing

Surrounding Zoning: North- "PF" Public Facilities / Use: Wooded area and golf course
East- "PF" Public Facilities / Use: Religious Institution
South- "I-2" Heavy Industrial (Perkins Township)/Use: Land
West- "PF" Public Facilities / Use: Golf Course

Existing Use: Vacant

Proposed Use: Light manufacturing – metal storefronts

Applicable Plans & Regulations: 1149 Site Plan Review and Off-Street Parking
1139 Manufacturing Districts

SITE DESCRIPTION

The subject property is currently located within a “LM” Limited Manufacturing District. The subject property is adjacent to other “PF” Public Facilities zoned parcels and to “I-2” Heavy Industrial property located to the South in Perkins Township. The parcel of the subject properties are pointed out below but the Zone Map has not been updated to reflect the new zoning classification yet:

Subject Parcels Outlined in Red (Top) and Blue (Bottom):



Zone Map Setbacks



PUD - Planned Unit Development



Parcels



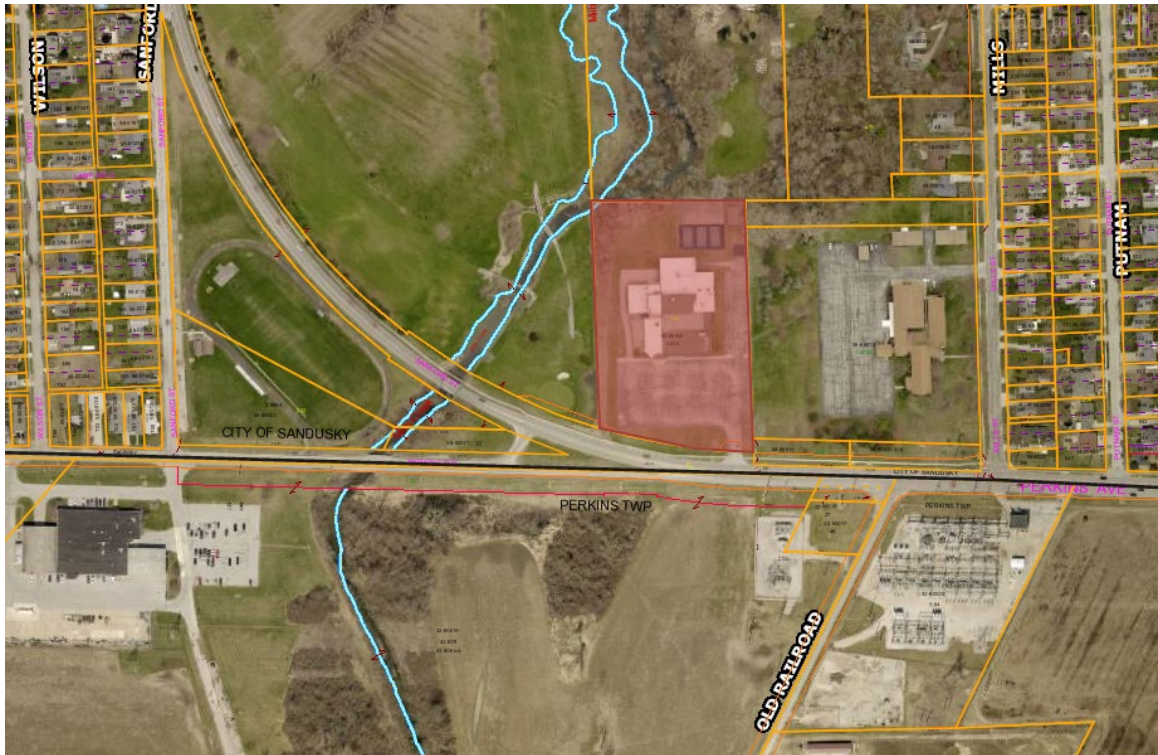
TRO - Transient Rental Overlay



Zoning

- AG - Agriculture
- CA - Commercial Amusement
- CR - Commercial Recreation
- CS - Commercial Service
- DBD - Downtown Business
- GB - General Business
- GM - General MAnufacturing
- LB - Local Business
- LM - Local Manufacturing
- P - Auto Parking

- PF - Public Facilities
- R1-40 - Single Family Residential
- R1-50 - Single Family Residential
- R1-60 - Single Family Residential
- R1-75 - Single Family Residential
- R2F Two-Family Residential
- RB - Roadside Business
- RMF - Multi-Family Residential
- RRB - Residential/Business
- RS - Residential Suburban



Perkins Township Zoning in relation to site



I-2 - Heavy Industrial

Photo of site



PLANNING DEPARTMENT COMMENTS

This parcel is mostly adjacent to other public facilities districts, and to the north is land that is zoned heavy industrial in Perkins Township. The applicant is proposing the rezoning of this land as they look to relocate their light manufacturing facility to Sandusky to provide jobs and ancillary benefits to the community.

While the loss of the YMCA has left a vacancy for recreation in Sandusky the repurposing of the building for a light manufacturing use could offer great opportunity for the neighborhood and Sandusky. The applicant is not only looking to move their business into Sandusky but also use portions of the building as spaces for other companies to also utilize, with the potential of some of it being a 'makerspace' or co-work type concept, however final decisions on the remaining space is still to be determined.

The building itself is not likely to be able to be re-used as a public facilities use any longer as its floorplan is not easily adaptable for modern codes required for a recreational facility. The building has also been vandalized, and now sits in a somewhat precarious state of disrepair. Staff believes it is important to be reminded that the property directly to the south of this property is zoned for a much higher industrial use.

The applicant has worked with the Planning Department on ensuring there is an appropriate number of parking spaces, for the current proposed use, as well as future expansion. The site will also be enhanced with the addition of a large landscaped island in the middle of the parking area that will include canopy trees and shrubbery, as required by code.

The 74 proposed parking stalls would be sufficient for a factory of 96,000 SF of gross floor area. The applicant is also proposing stall widths and depths greater than required by code which, while not ideal from a stormwater perspective can leave room for more parking stalls in the future if expansion occurs.

The applicant also shows additional canopy trees through the site and along the Perkins Avenue frontage. They are also proposing to reuse the existing light fixtures on site. While not full dark sky light fixtures, they appear to have the ability to be tilted down to reduce light pollution.



ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed site plan and did relay some feedback about potentially adding an additional access aisle to the site at a future date.

This was left with this statement :

"This can be reviewed at the point when occupancy and ultimately traffic generated by this development becomes burdensome. I'm just recalling some safety concerns we previously had when it was a Y. The speeds around this curve area have been notably concerning in the past."

BUILDING STAFF COMMENTS

The City Building Official has reviewed the proposed site plan and has expressed no objections.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the proposed site plan and has expressed no objections.

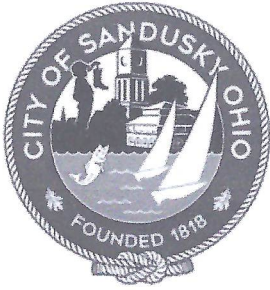
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the proposed site plan and has expressed no objections.

CONCLUSION/RECOMMENDATION

In conclusion, staff continues recommends the approval of the proposed site plan for 2101 W Perkins Avenue with the following conditions:

1. All applicable permits are obtained through the Building Department, Public Works Department, or any other applicable departments or agencies.



PLANNING COMMISSION

Application for Site Plan Approval

Department of Planning

240 Columbus Ave

Sandusky, Ohio 44870

419.627.5891

www.cityofsandusky.com

APPLICANT/AGENT INFORMATION:

Property Owner Name:

RDMJA, LLC

Property Owner Address:

933 Lakeshore Dr.

Kelleys Island, OH 43438

Property Owner Telephone:

419 366 6206

Property Owner Email:

RAhner@ahnercommercial.com

Authorized Agent Name:

Rosalyn Ahner

Authorized Agent Address:

5214 Ransom Rd

Sandusky OH 44870

Authorized Agent Telephone:

419 366 6206

Authorized Agent Email:

RAhner@ahnercommercial.com

LOCATION AND DESCRIPTION OF PROPERTY:

Municipal Street Address:

2101 Perkins Ave. Sandusky OH
44870

Legal Description of Property (check property deed for description):

land fronting Perkins Ave and Mills Creek Golf Course

Parcel Number:

58-68009-000

Zoning District:

ward 3

DETAILED SITE INFORMATION:

Land Area of Property: 4.934 Acres (sq. ft. or acres)

Total Building Coverage (of each existing building on property):

Building #1: 40,000.00 (in sq. ft.)

Building #2: 720.00 Garage

Building #3: 1600.00 Shelter

Additional: _____

Total Building Coverage (as % of lot area): 20%

Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:

Currently 40,000.00 sqft. recreational
future 5000.00 Sqft. office/retail/commercial for lease
2500.00 Sqft. office/retail/commercial for lease
22500.00 Sqft. Commercial for Ahner Commercial use
10,000.00 sqft. warehouse for lease

Proposed Building Height (for any new construction): 0

Number of Dwelling Units (if applicable): 0

Number of Off-Street Parking Spaces Provided: 75

Parking Area Coverage (including driveways): 60,000 (in sq. ft.)

Landscaped Area: 300 (in sq. ft.)

PROPOSED DEVELOPMENT (check those that apply):

- ☐ New Construction (new building(s))
☒ Addition to Existing Building(s)
☐ Change of Use in Existing Building(s)

Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):

We intend on using the existing 40K sqft. building to manufacture and distribute commercial doors and windows

Hours of Operation 8:00am - 5:00pm Mon through Fri

We plan on updating the parking lot and grounds as well as the interior of the building over the next 18 months

APPLICATION AUTHORIZATION:

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.

Rosalyn Abner

Signature of Owner or Agent

1-19-2021

Date

PERMISSION TO ACT AS AUTHORIZED AGENT:

As owner of _____ (municipal street address of property), I hereby authorize _____ to act on my behalf during the Planning Commission approval process.

Signature of Property Owner

Date

REQUIRED SUBMITTALS:

15 copies of a site plan/off-street parking plan for property
\$25.00 application fee

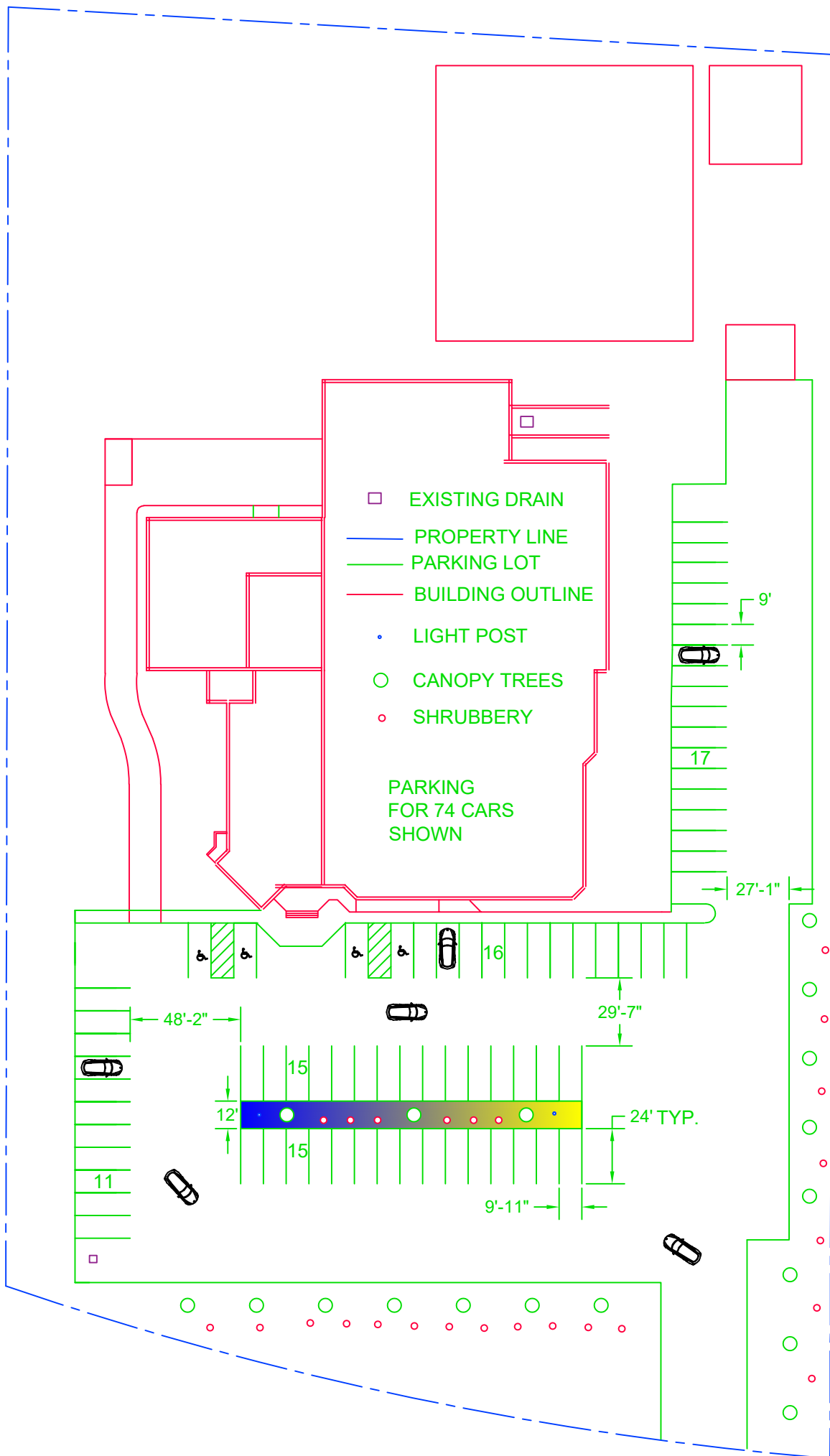
APPLICATION MUST BE FILLED OUT COMPLETELY

STAFF USE ONLY:

Date Application Accepted: _____ Permit Number: _____

Date of Planning Commission Meeting: _____

Planning Commission File Number: _____



PLANNING COMMISSION REPORT

APPLICATION FOR A SPECIAL RESIDENCY
OCCUPANCY PERMIT FOR 333 E WASHINGTON
STREET TO ALLOW FOR THE RE-ESTABLISHMENT
OF A RESIDENTIAL, NONCONFORMING USE
WHERE A PRIOR LEGAL NONCONFORMING
RESIDENTIAL USE HAS EXPIRED AND THE
STRUCTURE STILL REMAINS.

Reference Number: PSR020-0001

Date of Report: January 19, 2021

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

David Maison, on behalf of Name One Yellowstone LLC, has submitted an application an application for a Special Residency Occupancy Permit for 333 E Washington Street to allow for the re-establishment of a residential, nonconforming use where a prior legal nonconforming residential use has expired and the structure still remains. The following information is relevant to this application:

Applicant: Name One Yellowstone LLC
333 E Washington Street
Sandusky, Ohio 44870

Authorized Agent: David Maison
32110 Deerfield Drive
Avon Lake, OH 44012

Site Location: 333 E Washington Street

Zoning: "DBD" - Downtown Business

Adjacent Zoning: North: "DBD" – Downtown Business
East: "R2F" – Residential Two-Family
South: "R2F" – Residential Two-Family
West: "R2F" - Residential Two-Family

Existing Uses: Vacant

Proposed Uses: Residential/Transient Rental

Additional Parking: 6 – on site
10 – on street

Applicable Plans & Regulations: Sandusky Zoning Code Chapter
Chapter 1149 Site Plan Review & Off-Street Parking
Chapter 1129 Residential Districts
Chapter 1151.03 Special Residential Occupancy Permit.

SITE DESCRIPTION

The subject property is 333 E Washington Street located at the corner of Franklin Street and Washington Street. The site is nearby the core of downtown, the waterfront, some residential housing to the south and, and near other parcels zoned “DBD” – Downtown Business. The area is zoned “DBD” Downtown Business District, which permits the following:

1133.07 DOWNTOWN BUSINESS DISTRICT; INTENT.

The purpose of this district is to allow for a variety of mixed uses including business, commercial, and residential. This district was created to specifically address downtown, water-related, residential and mixed-use activities. This district shall promote density of uses and the increase of tourism related activities in the downtown area in general. The goal of these regulations is to maintain continuity in the development of the land and implementation of the goals of the Port Development Plan, while preserving the character of downtown.

1133.08 PERMITTED BUILDINGS AND USES; DOWNTOWN BUSINESS DISTRICT.

(a) Main Buildings and Uses.

(1) Single, two and multi-family residential uses above the first floor.

(2) All stores and services permitted in the General Business District;

(3) Public uses as follows and as defined in Section [1123.02](#): governmental, civic, education, religious, recreational and transportation.

(4) Transient Occupancy.

(b) Similar Main Uses. Any other business, service or recreation activity not listed above or in any subsequent use classification and determined as similar by the Commission.

(c) Conditional Uses Permitted: Outdoor recreational facilities such as beaches, waterparks, amphitheaters, marinas, swimming pools, etc.

(d) Accessory Buildings or Uses:

(1) Accessory off-street parking and loading facilities as required and set forth in Chapter [1149](#);

(2) Any accessory use and building clearly incident to the conduct of a permitted main use, providing the use has no injurious effect on adjoining residential districts.

(Ord. 17-088. Passed 5-8-17.)

1151.03 SPECIAL RESIDENTIAL OCCUPANCY PERMIT.

Only for a legal nonconforming residential use, may a special residential occupancy permit be granted to allow for the re-establishment of a residential, nonconforming use where a prior legal nonconforming residential use has expired and the structure still

remains. The expired legal nonconforming residential use may be reinstated provided the following standards are fulfilled and the Planning Commission grants a permit.

(a) The proposed residential use shall be harmonious and in accordance with the intent of the residential district in which it is to be located and other objectives of this Zoning Code and the Comprehensive Plan.

(b) The proposed residential use shall be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and shall not change the essential character of the same area.

(c) The proposed residential use shall not be in conflict with existing or future neighboring uses.

(d) The proposed residential use shall be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer services; or the person or agencies responsible for the establishment of the proposed use shall be able to provide any service adequately.

(e) The proposed re-institution of the nonconforming residential use shall not be detrimental to any existing uses, activities, processes, materials, equipment or conditions in the neighborhood.

(f) The cost of improvements to the existing nonconforming building to bring such structure up the standards established by the City Building Code shall not be greater than sixty percent (60%) of the value of the building structure. The Building Official may require that the value of the building be established by an appraisal submitted by a qualified appraiser.

(g) The Planning Commission may revoke the special residential use permit if the property is not maintained in a manner that would conform to the policies detailed above.

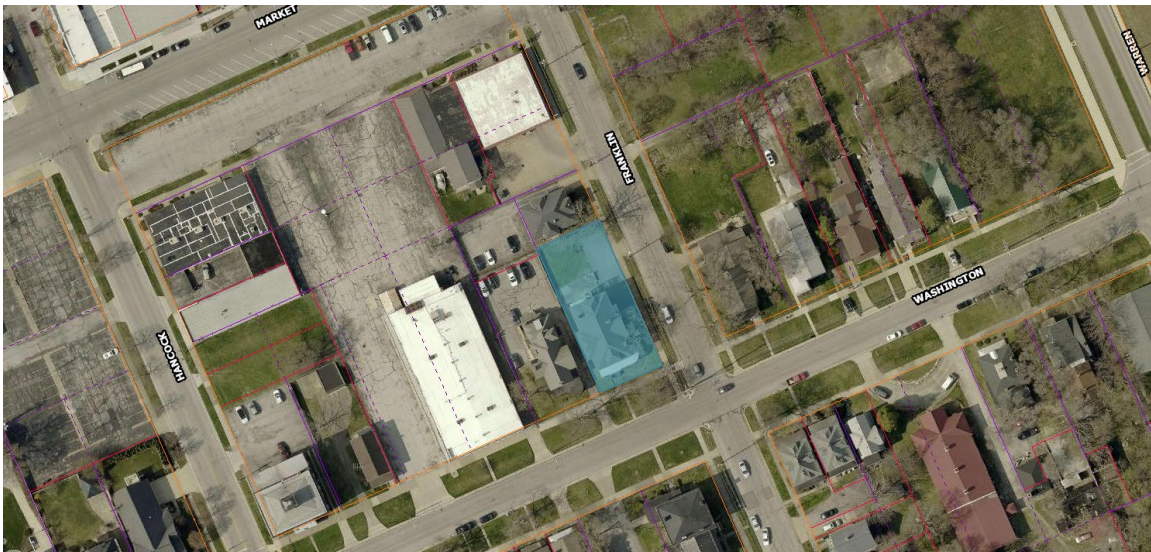
(h) The initial application shall have a processing fee established by the City Manager and approved by the City Commission and published in the Index of Fees maintained by the Community Development Department.

(i) It is required that the Special Residential Occupancy Permit be annually renewed. No fee is required for the annual renewal.

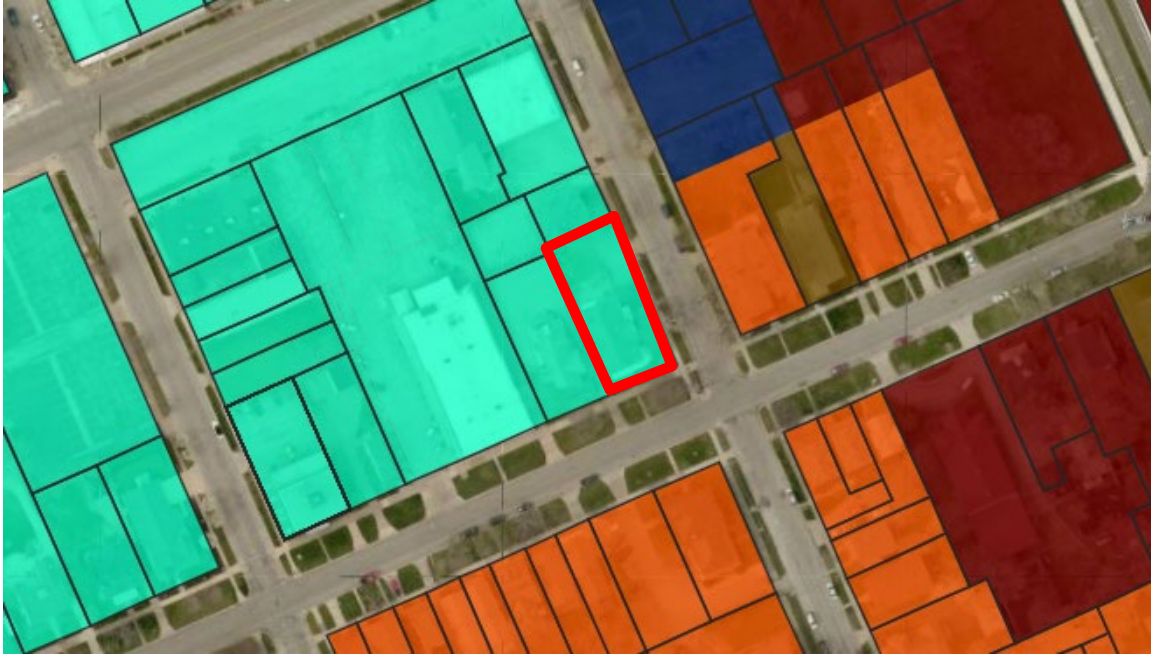
(Ord. 02-191. Passed 12-9-02.)

A picture of the property along with a location map are found below.

333 E Washington Street



Zone Map – Parcels Indicated



Zone Map Setbacks		Zoning	
		AG - Agriculture	R1-40 - Single Family Residential
	PUD - Planned Unit Development	CA - Commercial Amusement	R1-50 - Single Family Residential
	Parcels	CR - Commercial Recreation	R1-60 - Single Family Residential
	TRO - Transient Rental Overlay	CS - Commercial Service	R1-75 - Single Family Residential
		DBD - Downtown Business	R2F Two-Family Residential
		GB - General Business	RB - Roadside Business
		GM - General MAnufacturing	RMF - Multi-Family Residential
		LB - Local Business	RRB - Residential/Business
		LM - Local Manufacturing	RS - Residential Suburban
		P - Auto Parking	
		PF - Public Facilities	

DIVISION OF PLANNING COMMENTS

The applicant is proposing to rehab the existing residential structure in hopes that it can continued to be utilized for residential purposes, as well as for transient occupancy use. Both uses are permitted within the Downtown Business District. The applicant is also increasing on site parking for the site with 6 on-site spaces and is requesting that Planning Commission waives

the remaining requirement for 10 more spaces as the applicant believes there is adequate on street spaces nearby.

The reason for the Special Residency Occupancy Permit is due to the fact that the Downtown Business District does not permit residential on the first floor. However, this building was built as a residence and has been used for residential purposes. This Special Residency Occupancy Permit will allow the new property owner to move forward in their rehabilitation of the property and ensure that the building is in good repair. This property is not located with a historic district nor is it individually listed, but it is on the Ohio Historic Inventory.

Staff believe that the standards set forth in section 1151.03 can be fulfilled for the Special Residency Occupancy Permit. The proposed residential use will be harmonious and in accordance with the intent of the residential district in which it is to be located and other objectives of this Zoning Code and the Comprehensive Plan. It is staffs understand that the applicant is proposing to rehabilitate the building so that it is designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and shall not change the essential character of the same area. As the property sits on the same block with other Downtown Business zoned parcels staff believes that the proposed residential use shall not be in conflict with existing or future neighboring uses. Staff also believes the property is adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer services; and that the proposed re-institution of the nonconforming residential use shall not be detrimental to any existing uses, activities, processes, materials, equipment or conditions in the neighborhood.

Staff would also like to note that the Planning Commission may revoke the special residential use permit if the property is not maintained in a manner that would conform to the policies detailed above.

ENGINEERING STAFF COMMENTS

The City Engineer is currently reviewing the application and has not supplied comments at time of report writing.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the application and has no concerns regarding the proposal.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the application and has no objections to the proposal.

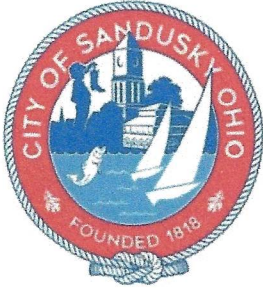
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the application and did have questions about sprinkling the facility. These questions were relayed to the Building Department.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends Planning Commission grant a Special Residency Occupancy Permit for 333 E Washington Street with the following conditions:

1. Unless otherwise requested by Planning Commission, the Special Residency Occupancy permit will be administratively reviewed annually.
2. Planning Commission could request a parking management plan from the applicant if consistent complaints are heard from neighboring property owners and residents.



PLANNING COMMISSION

Application for Approval

Department of Planning
240 Columbus Ave
Sandusky, Ohio 44870
419.627.5891
www.cityofsandusky.com

TYPE OF APPLICATION:

☐ Conditional Use Permit
☐ Flood Plain Variance
☐ Other

☐ Similar Main Use
☐ Front Yard Fence

APPLICANT/AGENT INFORMATION:

Property Owner Name: NAME ONE TELEPHONE LLC

Property Owner Address: 333 E. WASHINGTON ST.

Property Owner Telephone: 617 823 0025

Property Owner Email: BRENT.ZIMMERMAN
@CAULYBROWWORKS.COM

Authorized Agent Name: DAVID MALCON

Authorized Agent Address: 32110 DEERFIELD DR. AVALAR
19410 44012

Authorized Agent Telephone: 216 832 2434

Authorized Agent Email: DAVID@MALCONDESIGN.CO

LOCATION AND DESCRIPTION OF PROPERTY:

Municipal Street Address: 333 E. WASHINGTON ST

Legal Description of Property (check property deed for description):
37 WASHINGTON STREET WH EX N52' 60' x 146'

Parcel Number: 56 01157.000 Zoning District: _____

DETAILED SITE INFORMATION:

Land Area of Property: 0.1212 ALDELO (sq. ft. or acres)

Total Building Coverage (of each existing building on property):

Building #1: 2,959 (in sq. ft.) PHASE I

Building #2: 1,285 PHASE II

Building #3: _____

Additional: _____

Total Building Coverage (as % of lot area): 30% PHASE I

44% PHASE II

Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:

2,167 - INTERIOR AREA

787 - PORCH / ADA ACCESS PATH PHASE I

1,285 - PHASE II

Proposed Building Height (for any new construction): N/A

Number of Dwelling Units (if applicable): 6-0

Number of Off-Street Parking Spaces Provided: 10

Parking Area Coverage (including driveways): 2,363 (in sq. ft.)

Landscaped Area: _____ (in sq. ft.)

PROPOSED DEVELOPMENT (check those that apply):

- ☒ New Construction (new building(s)) ~~PHASE II~~
- ☐ N/A Addition to Existing Building(s)
- ☒ Change of Use in Existing Building(s) R₂ MULTI-FAMILY TO R₁

Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):

PHASE I. RENOVATION OF EXISTING 1ST, 2ND & 3RD FLOOR
APARTMENT UNITS (6 TOTAL) WITH POSSIBLE ADDITION
OF 1 OR 2 BASEMENT UNITS. USE CHANGE FROM
R₂ TO R₁

PHASE II. SMALL GROUND FLOOR SEASONAL
RETAIL SPACE W/ 1 OR 2 2ND FLOOR R₁ UNITS.

REQUIRED SUBMITTALS:

15 copies of a site plan/off-street parking plan for property

Application Fee:

Conditional Use Permit: \$100.00

Similar Main Use: \$100.00

Flood Plan Variance: \$100.00

Front Yard Fence: no charge

Other: check with staff for fee

APPLICATION MUST BE COMPLETELY FILLED OUT

APPLICATION AUTHORIZATION:

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.



Signature of Owner or Agent

12.10.20

Date

PERMISSION TO ACT AS AUTHORIZED AGENT:

As owner of _____ (municipal street address of property), I hereby authorize _____ to act on my behalf during the Planning Commission approval process.



Signature of Property Owner

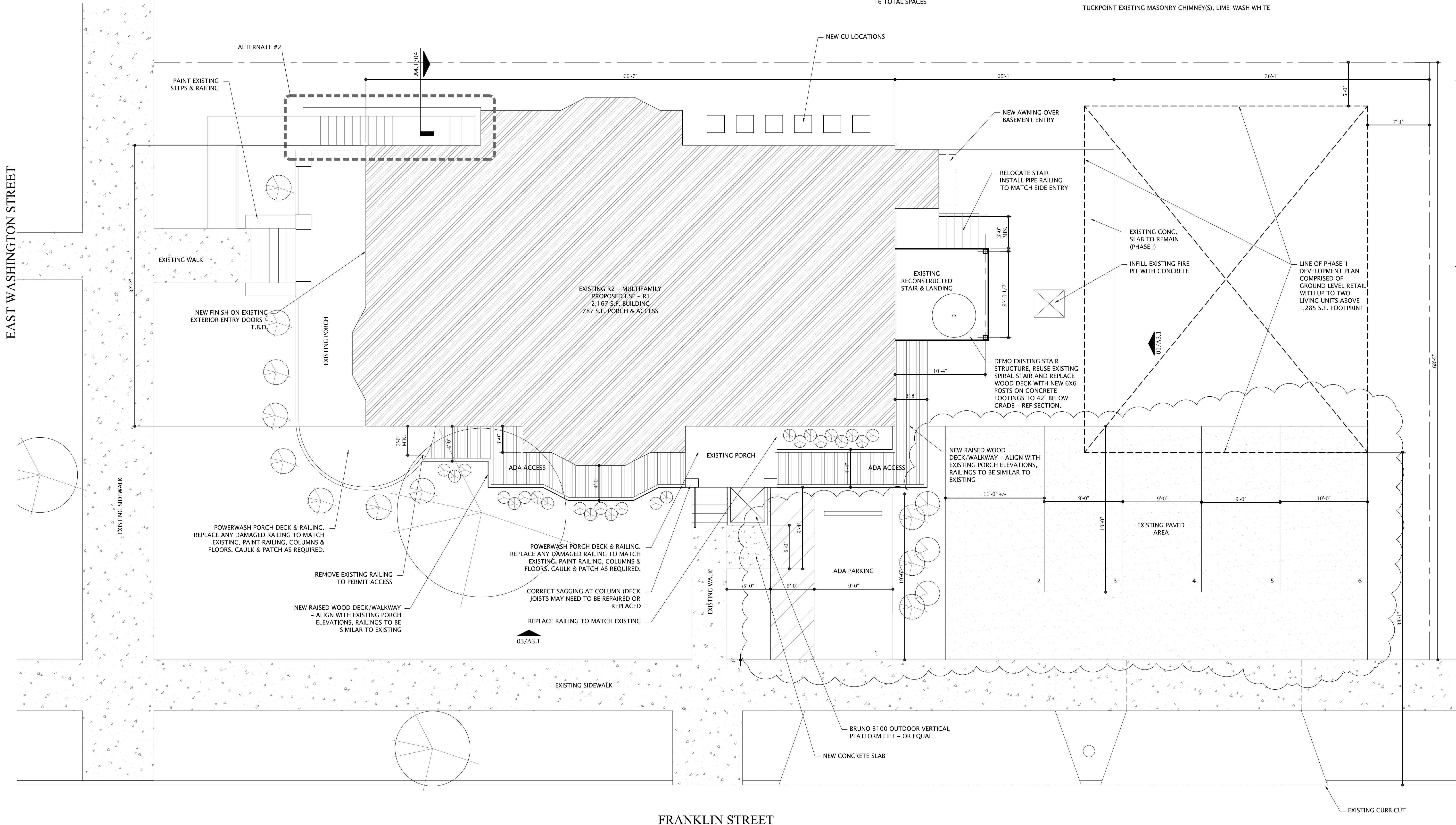
Date

STAFF USE ONLY:

Date Application Accepted: _____ Permit Number: _____

Date of Planning Commission Meeting: _____

Planning Commission File Number: _____



PROJECT DATA LEGEND

LOT AREA -	9,636 S.F.
BUILDING COVERAGE -	2,959 (PHASE I) 30%
	4,251 (PHASE II) 44%
TOTAL FLOOR AREA -	7,690 (PHASE I W/ BASEMENT OPTION)
AREA OF ADDITION -	1,285 S.F. (PHASE II)
BUILDING HEIGHT -	24' MAX. (PHASE II)
LANDSCAPED AREA -	489 S.F. (EXISTING AND NEW)
PARKING PROVIDED -	6 OFF STREET SPACES
	12 ON STREET (ORDINANCE 1149.06d)
	16 TOTAL SPACES

EXTERIOR GENERAL NOTES

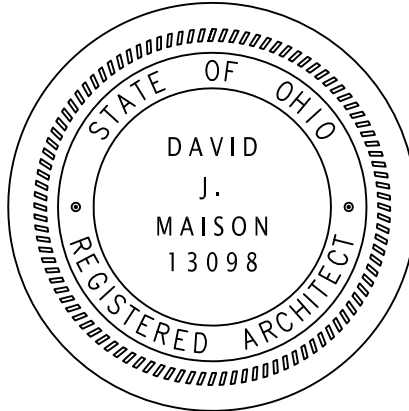
TUCKPOINT ALL EXTERIOR FOUNDATION MASONRY

POWERWASH ALL SIDING. REPAIR/REPLACE ANY DAMAGED SIDING OR TRIM (MATCH EXISTING); CAULK & RE-PAINT WHITE

NEW GUTTERS & DOWNSPOUTS, TYP. - WHITE ALUMINUM HALF ROUND GUTTERS AND ROUND DOWNSPOUTS

EXISTING ROOF TO REMAIN

TUCKPOINT EXISTING MASONRY CHIMNEY(S), LIME-WASH WHITE



DAVID J. MAISON

LICENSE #13098

EXP. DATE 12/31/2020

333 EAST WASHINGTON STREET

MULTI-FAMILY RESIDENTIAL RENOVATION

333 EAST WASHINGTON STREET

SANDUSKY, OHIO

PERMIT: DECEMBER 28 2020

PLANNING: DECEMBER 15 2020

POST BID MTG.: AUGUST 07 2020

BID MEETING: AUGUST 05 2020

PROJECT #: 201001

PLANNING COMMISSION REPORT

APPLICATION FOR SITE PLAN APPROVAL AT 333 E WASHINGTON STREET

Reference Number: PSPOS20-0016

Date of Report: January 19, 2021

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

David Maison, on behalf of Name One Yellowstone LLC, has submitted a site plan application for 333 E Washington Street. The following information is relevant to this application:

Applicant: Name One Yellowstone LLC
333 E Washington Street
Sandusky, Ohio 44870

Authorized Agent: David Maison
32110 Deerfield Drive
Avon Lake, OH 44012

Site Location: 333 E Washington Street

Zoning: "DBD" - Downtown Business

Adjacent Zoning: North: "DBD" – Downtown Business
East: "R2F" – Residential Two-Family
South: "R2F" – Residential Two-Family
West: "R2F" - Residential Two-Family

Existing Uses: Vacant

Proposed Uses: Residential/Transient Rental

Additional Parking: 6 – on site
10 – on street

Applicable Plans & Regulations: Sandusky Zoning Code Chapter
Chapter 1149 Site Plan Review & Off-Street Parking
Chapter 1129 Residential Districts
Chapter 1151.03 Special Residential Occupancy Permit.

SITE DESCRIPTION

The subject property is 333 E Washington Street located at the corner of Franklin Street and Washington Street. The site is nearby the core of downtown, the waterfront, some residential housing to the south and, and near other parcels zoned “DBD” – Downtown Business. The area is zoned “DBD” Downtown Business District, which permits the following:

1133.07 DOWNTOWN BUSINESS DISTRICT; INTENT.

The purpose of this district is to allow for a variety of mixed uses including business, commercial, and residential. This district was created to specifically address downtown, water-related, residential and mixed-use activities. This district shall promote density of uses and the increase of tourism related activities in the downtown area in general. The goal of these regulations is to maintain continuity in the development of the land and implementation of the goals of the Port Development Plan, while preserving the character of downtown.

1133.08 PERMITTED BUILDINGS AND USES; DOWNTOWN BUSINESS DISTRICT.

(a) Main Buildings and Uses.

- (1) **Single, two and multi-family residential uses above the first floor.**
- (2) All stores and services permitted in the General Business District;
- (3) Public uses as follows and as defined in Section [1123.02](#): governmental, civic, education, religious, recreational and transportation.

(4) **Transient Occupancy.**

(b) Similar Main Uses. Any other business, service or recreation activity not listed above or in any subsequent use classification and determined as similar by the Commission.

(c) Conditional Uses Permitted: Outdoor recreational facilities such as beaches, waterparks, amphitheaters, marinas, swimming pools, etc.

(d) Accessory Buildings or Uses:

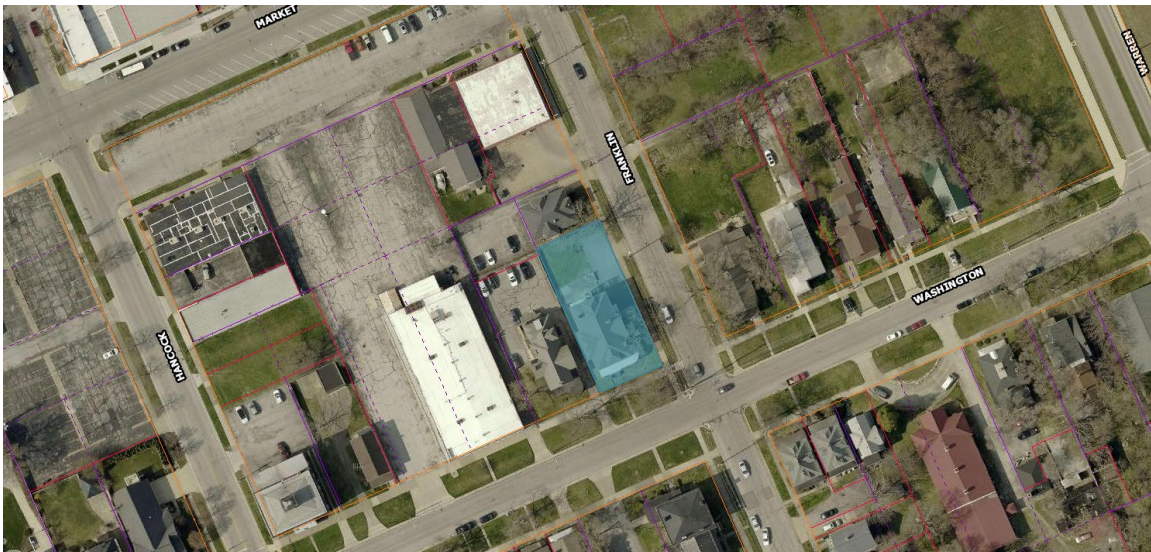
(1) Accessory off-street parking and loading facilities as required and set forth in Chapter [1149](#);

(2) Any accessory use and building clearly incident to the conduct of a permitted main use, providing the use has no injurious effect on adjoining residential districts.

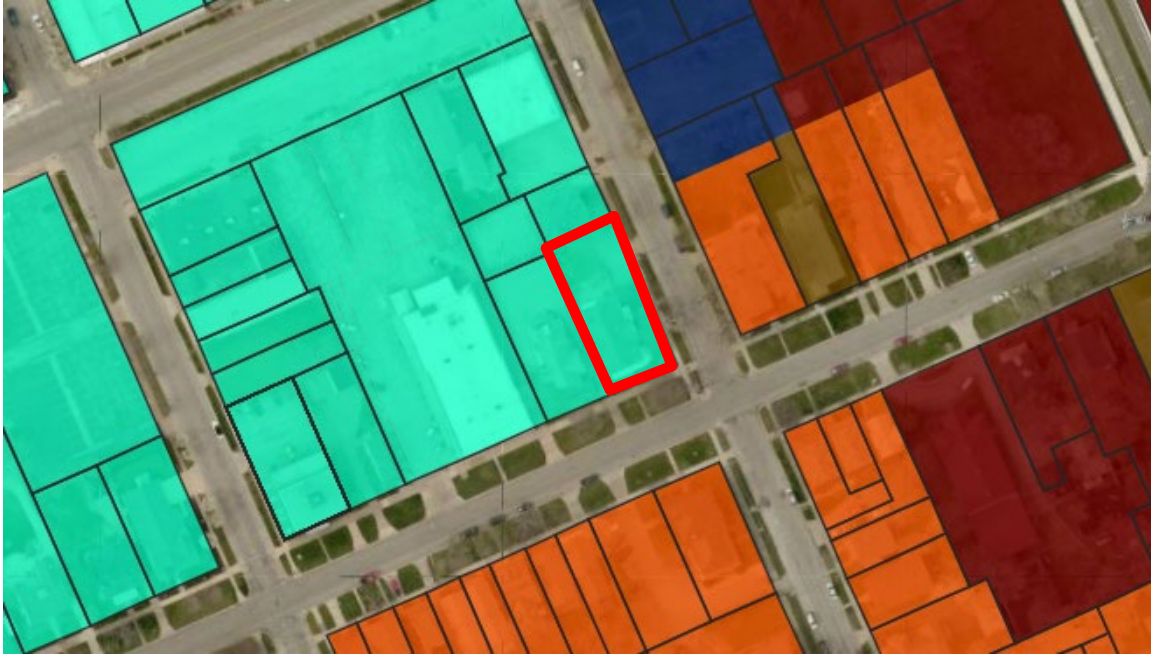
(Ord. 17-088. Passed 5-8-17.)

A picture of the property along with a location map are found below.

333 E Washington Street



Zone Map – Parcels Indicated



Zone Map Setbacks		Zoning	
		AG - Agriculture	R1-40 - Single Family Residential
	PUD - Planned Unit Development	CA - Commercial Amusement	R1-50 - Single Family Residential
	Parcels	CR - Commercial Recreation	R1-60 - Single Family Residential
	TRO - Transient Rental Overlay	CS - Commercial Service	R1-75 - Single Family Residential
		DBD - Downtown Business	R2F Two-Family Residential
		GB - General Business	RB - Roadside Business
		GM - General MAnufacturing	RMF - Multi-Family Residential
		LB - Local Business	RRB - Residential/Business
		LM - Local Manufacturing	RS - Residential Suburban
		P - Auto Parking	
		PF - Public Facilities	

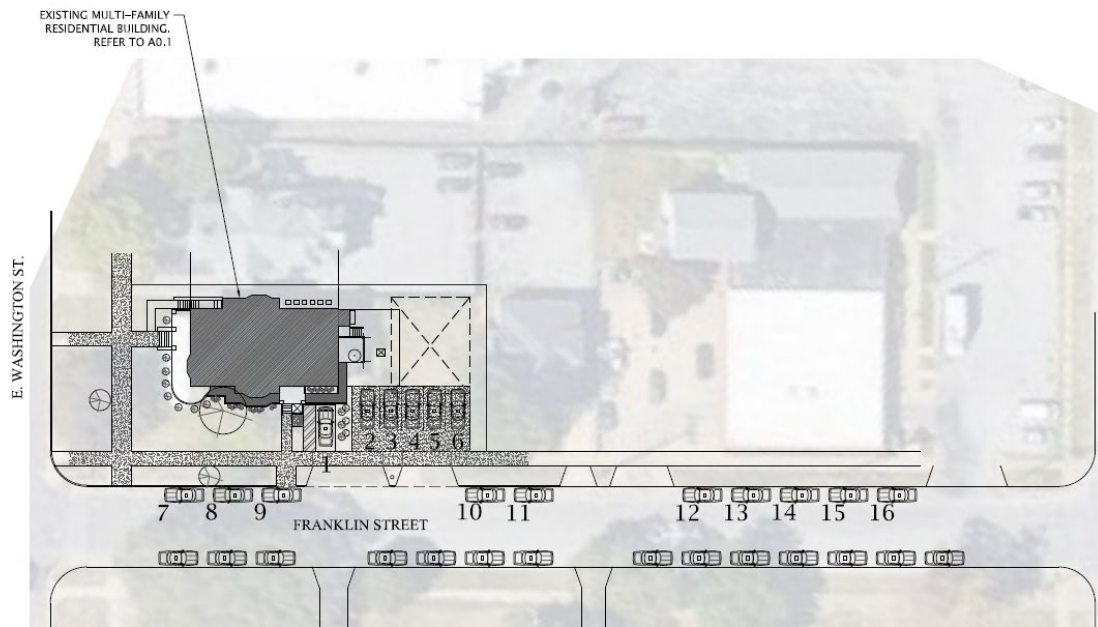
DIVISION OF PLANNING COMMENTS

The applicant is proposing to rehab the existing residential structure in hopes that it can continued to be utilized for residential purposes, as well as for transient occupancy use. Both uses are permitted within the Downtown Business District. The applicant is also increasing on site parking for the site with 6 on-site spaces and is requesting that Planning Commission waives

the remaining requirement for 10 more spaces as the applicant believes there is adequate on street spaces nearby.

The property owner is hoping to utilize the house primarily for Transient Occupancy. Approval of this site plan will permit the applicant to move forward in their rehabilitation of the property and ensure that the building is in good repair. This property is not located with a historic district nor is it individually listed, but it is on the Ohio Historic Inventory.

The site location is just about 350 feet east of the downtown parking area that does not require any onsite parking with projects. Due to the nature of the rehabilitation staff does believe it is important to have some onsite parking for the visitors/occupants of the building. The applicant has worked with staff on maximizing on site spaces and is requesting that the Planning Commission modify the remaining required spaces due to on street parking availability. This ability by Planning Commission is set forth within Section 1149.06 (d).



SITE PARKING PLAN

SCALE: N.T.S.



As the applicant shows on the site parking plan, there would be 16 available spaces on Franklin Street. This portion of the street is rarely, if ever, parked currently. All adjacent property owners have adequate onsite parking for their respective properties. If this property was built as hotel this property would be required to have no more than 10 spaces available to it. Staff believes that the 16 spaces will be more than sufficient to serve the needs of the property even with proposed phase 2. The 16 spaces comes from calculating the required parking if the property was used as residential apartments, not just transient rental.

Staff would also like to mention that the requirement of the onsite parking spaces drastically alters the ability of the property owner to create a more inviting Franklin Street sidewalk frontage. The required parking creates a large swath of property that could otherwise be landscaped, reducing the walkability of this portion of Franklin Street, which is already negatively impacted by non-contributing frontage and vehicle focused uses.

ENGINEERING STAFF COMMENTS

The City Engineer is currently reviewing the application and has not supplied comments at time of report writing.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the application and has no concerns regarding the proposal.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the application and has no objections to the proposal.

FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the application and did have questions about sprinkling the facility. These questions were relayed to the Building Department.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends Planning Commission grant a Special Residency Occupancy Permit for 333 E Washington Street with the following conditions:

1. Exterior lighting be dark sky friendly and the applicant provides exterior lighting cut sheets for staff approval.
2. As part of the Special Residency Occupancy Permit Planning Commission could request a parking management plan from the applicant if consistent, complaints are heard from neighboring property owners and residents.
3. If the property is used for transient rental the applicant, obtain necessary transient rental occupancy permits through the City of Sandusky.
4. The applicant obtain all necessary building, public works, or other necessary permits.

333 E. WASHINGTON STREET

EXISTING MULTI-FAMILY RESIDENTIAL RENOVATION

GENERAL NOTES

THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN INTERPRETATION OF THE CONSTRUCTION DOCUMENTS.

DO NOT SCALE DRAWINGS.

VERIFY FIELD CONDITIONS AND COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED TO THE ARCHITECT.

THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTIONS MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.

THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF BUILDING SYSTEMS AND EQUIPMENT AND VERIFY THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE EQUIPMENT AND ASSOCIATED WORK ARE PROVIDED. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING SYSTEMS: MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, TELEPHONE AND SPRINKLER EQUIPMENT.

THE CONTRACTOR SHALL COORDINATE WITH ALL BUILDING TRADES INVOLVED IN THE PROJECT TO INSURE PROPER CLEARANCES FOR FIXTURES, DUCTS, CEILING, ETC., CONTRACTOR SHALL COORDINATE ALL TRADES INCLUDED TO MAINTAIN THE CEILING HEIGHTS NOTED ON THE DRAWINGS. ANY CONFLICTS SHALL BE REPORTED TO THE ARCHITECT.

FIRE EXTINGUISHER, ELECTRICAL PANELS, TELEPHONE EQUIPMENT BOARDS, ETC., SHALL BE LOCATED IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING AGENCIES. ANY LOCATIONS NOT SHOWN SHALL BE VERIFIED WITH ARCHITECT PRIOR TO ROUGH-OUT AND INSTALLATION. UNLESS OTHERWISE NOTED, THE ABOVE PANELS AND/OR EQUIPMENT SHALL BE FULLY RECESSED AND MAINTAIN INTEGRITY OF WALL FIRE RATING REQUIREMENTS.

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK.

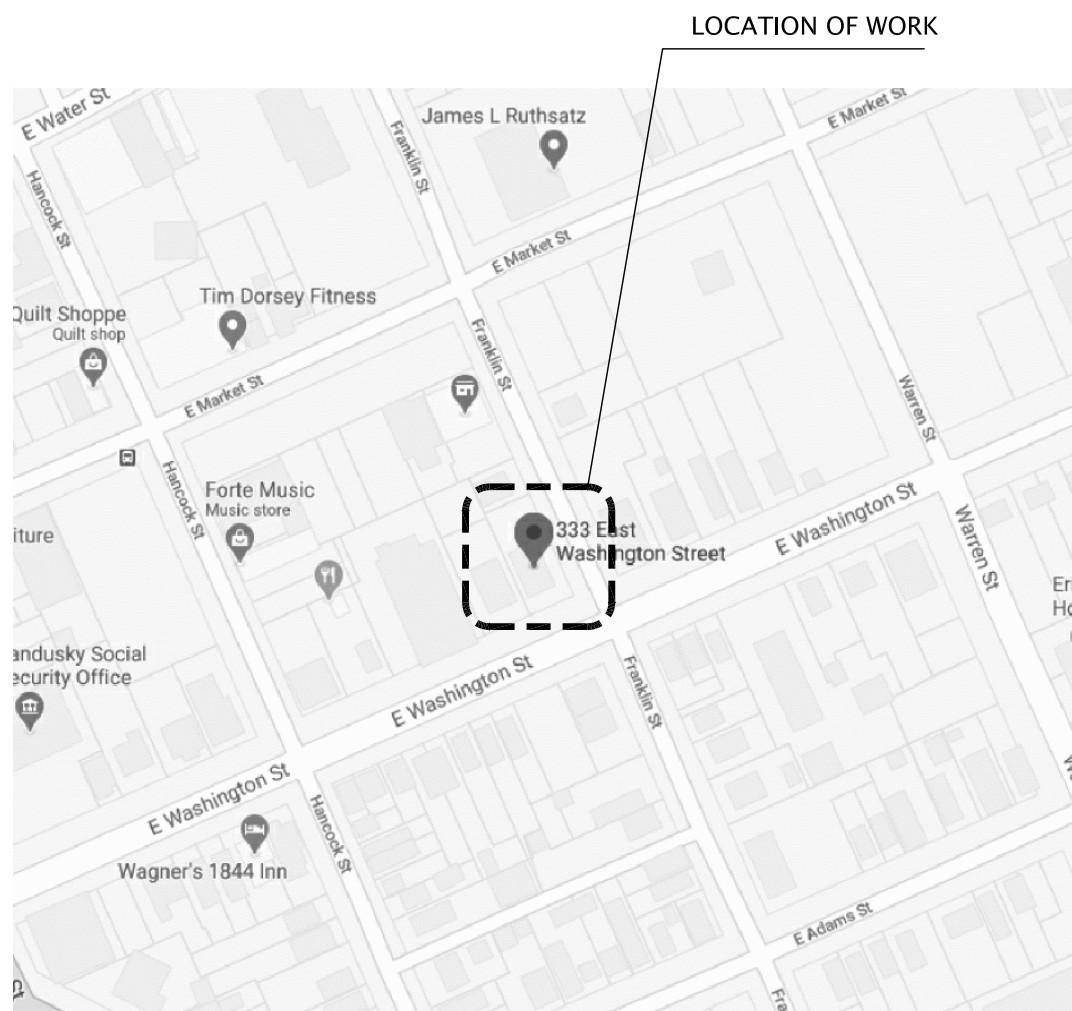
IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PBC) OR OTHER TOXIC MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION IN WRITING TO THE OWNER.

PROJECT SCOPE

INTERIOR RENOVATION, DECK & STAIR ALTERATION OF A 3 STORY EXISTING MULTI-FAMILY RESIDENTIAL BUILDING

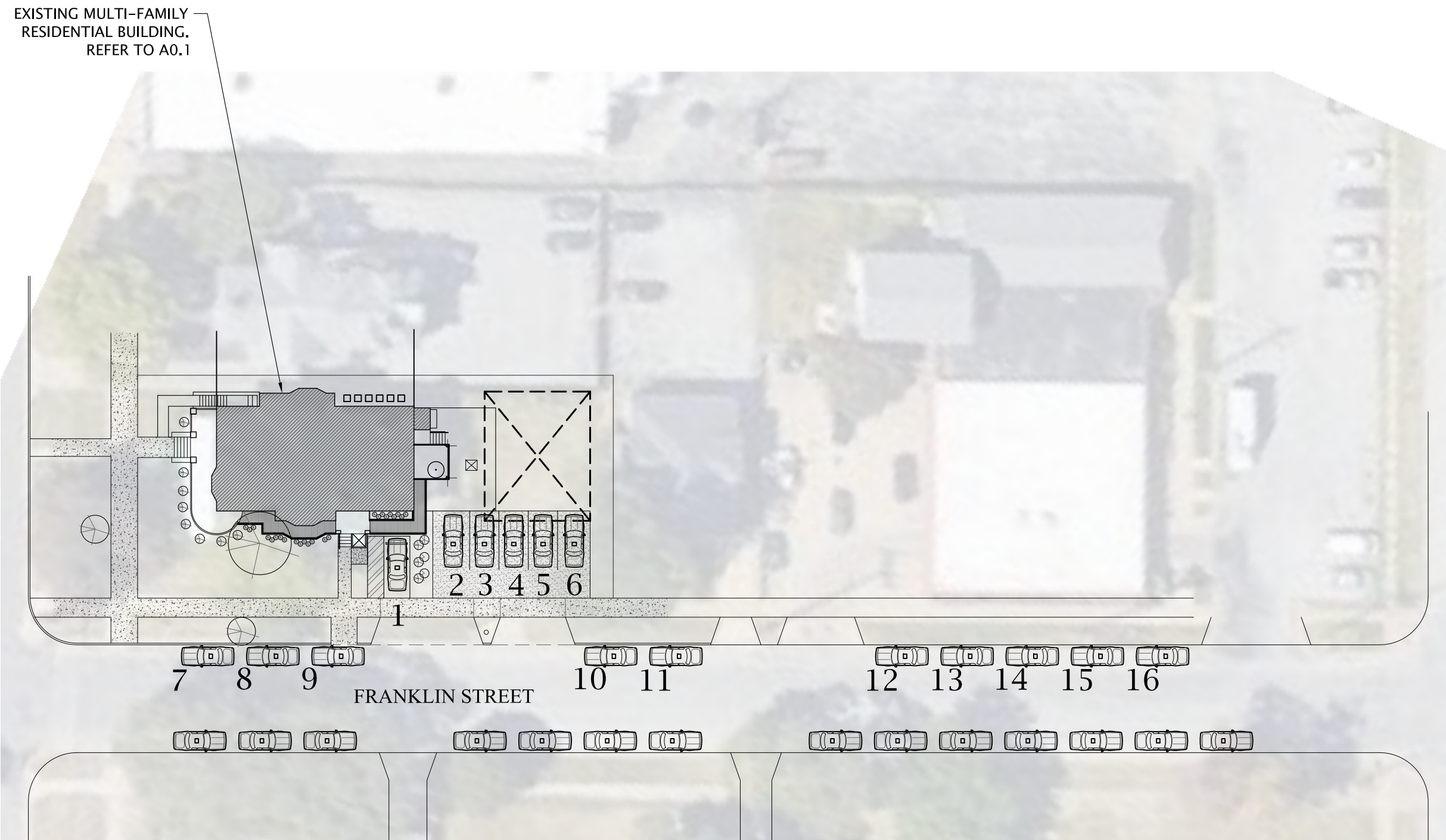
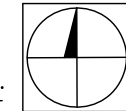
WORK SHALL INCLUDE, BUT NOT LIMITED TO:

- NEW CONCRETE WALKWAYS & LANDSCAPING
- NEW INTERIOR WALLS, CEILINGS & FINISHES
- NEW MECHANICAL HVAC UNITS & DISTRIBUTION
- NEW PLUMBING FIXTURES & DISTRIBUTION
- NEW ELECTRICAL / TELEPHONE / DATA & DISTRIBUTION
- NEW UTILITIES



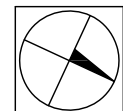
SITE LOCATION MAP

SCALE: N.T.S.



SITE PARKING PLAN

SCALE: N.T.S.



INDEX OF DRAWINGS

A.REF GENERAL REFERENCE
D1.0 BASEMENT ALTERNATE DEMO PLANS
D1.1 FIRST FLOOR DEMO PLAN
D1.2 SECOND FLOOR DEMO PLAN
D1.3 THIRD FLOOR DEMO PLAN

A0.1 SITE PLAN
A1.0 BASEMENT PLAN (BASE BID)
A1.0.1 BASEMENT PLAN (ALTERNATE #1)
A1.0.2 BASEMENT PLAN (ALTERNATE #2)
A1.1 FIRST FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A1.3 THIRD FLOOR PLAN
A3.1 EXTERIOR ELEVATIONS
A4.1 WALL SECTIONS/DETAILS

E1.0 BASEMENT UTILITY PLAN
E1.0.1 BASEMENT UTILITY PLAN (ALTERNATE #1)
E1.0.2 BASEMENT UTILITY PLAN (ALTERNATE #2)
E1.1 FIRST FLOOR UTILITY PLAN
E1.2 SECOND FLOOR UTILITY PLAN
E1.3 THIRD FLOOR UTILITY PLAN

PLAN REVIEW DATA

GOVERNING CODES:

BUILDING 2017 OBC
MECHANICAL 2017 OBC
PLUMBING 2017 OBC

OCCUPANCY CLASSIFICATION:

RESIDENTIAL - GROUP R2 OBC SECTION 310.4
EXISTING USE - GROUP R2 (APARTMENTS)
PROPOSED USE - GROUP R2 (HOTEL)

CONSTRUCTION TYPE:

TYPE VB (EXISTING BUILDING) OBC TABLE 601
NON - SPRINKLERED OBC 903

BUILD-OUT RESTRICTIONS:

TOTAL BUILD-OUT AREA (EXISTING)	5,525 S.F. TOTAL
EXISTING BASEMENT AREA (NON-LIVING)	1,674 S.F.
BASEMENT AREA (ALTERNATE #1)	960 S.F. (LIVING SPACE - ONE UNIT)
BASEMENT AREA (ALTERNATE #2)	1,410 S.F. (LIVING SPACE - TWO UNITS)
EXISTING FIRST FLOOR AREA	1,890 S.F.
EXISTING SECOND FLOOR AREA	1,875 S.F.
EXISTING THIRD FLOOR AREA	1,758 S.F.

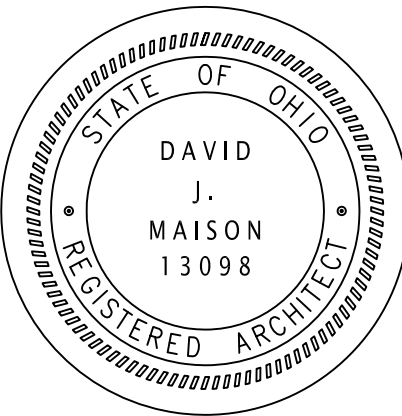
MATERIALS LEGEND

EARTH		GRAVEL FILL		METAL		SMALL SCALE METAL	
CONCRETE		SAND, GROUT		INSULATION		RIGID INSULATION	
MASONRY		CMU		MISC		EXPANSION MATERIAL	
STONE		CUT STONE			QWB	MEMBRANE/FLEXIBLE FLASHING	
WOOD		ROUGH WOOD			ACoustICAL COATING	CARPET	
					ACoustICAL MATERIAL/DUCTLINER		

SYMBOL LEGEND

 SECTION MARK INDICATES DIRECTION A1.1 / 01 SHEET # / DETAIL #	 ELEVATION REFERENCE INDICATES DIRECTION A1.1 / 01 SHEET # / DETAIL #	 SPOT ELEVATIONS IN PLANS, REFLECTED CEILING PLANS, ETC. 0'-0"	 FLOOR ELEVATION IN SECTIONS ELEV. 0'-0"	 EXTENT OF FLOOR FINISH NOTED FIXX1 FIXX2
 DETAIL REFERENCE 01 DETAIL NUMBER A1.1 SHEET NUMBER INDICATES AREA	 NORTH ARROW	 HARDWARE DOOR TYPE A	 TOILET ACCESSORIES SYMBOL AB	 EXTENT OF WALL FINISH NOTED WIXX1 WIXX2
 COLUMN CENTERLINE 8	 CORRIDOR 100	 WALL DESIGNATION SYMBOL W PT1 B RB1 F CP1	 KEYNOTE SYMBOL REFER TO NOTE ON SPECIFIC SHEET 1	 EXTENT OF WALL FINISH NOTED WIXX1
	 FINISH TAG			 RCP ELEVATION 0'-0"
				 CEILING FINISH XXX1

MAISON^{A+D}
ARCHITECTURE & DESIGN | CLEVELAND, OH
1101 AUBURN AVE. TREMONT, OHIO 44113
PHONE: 216.832.3434



DAVID J. MAISON
LICENSE #13098
EXP. DATE 12/31/2020

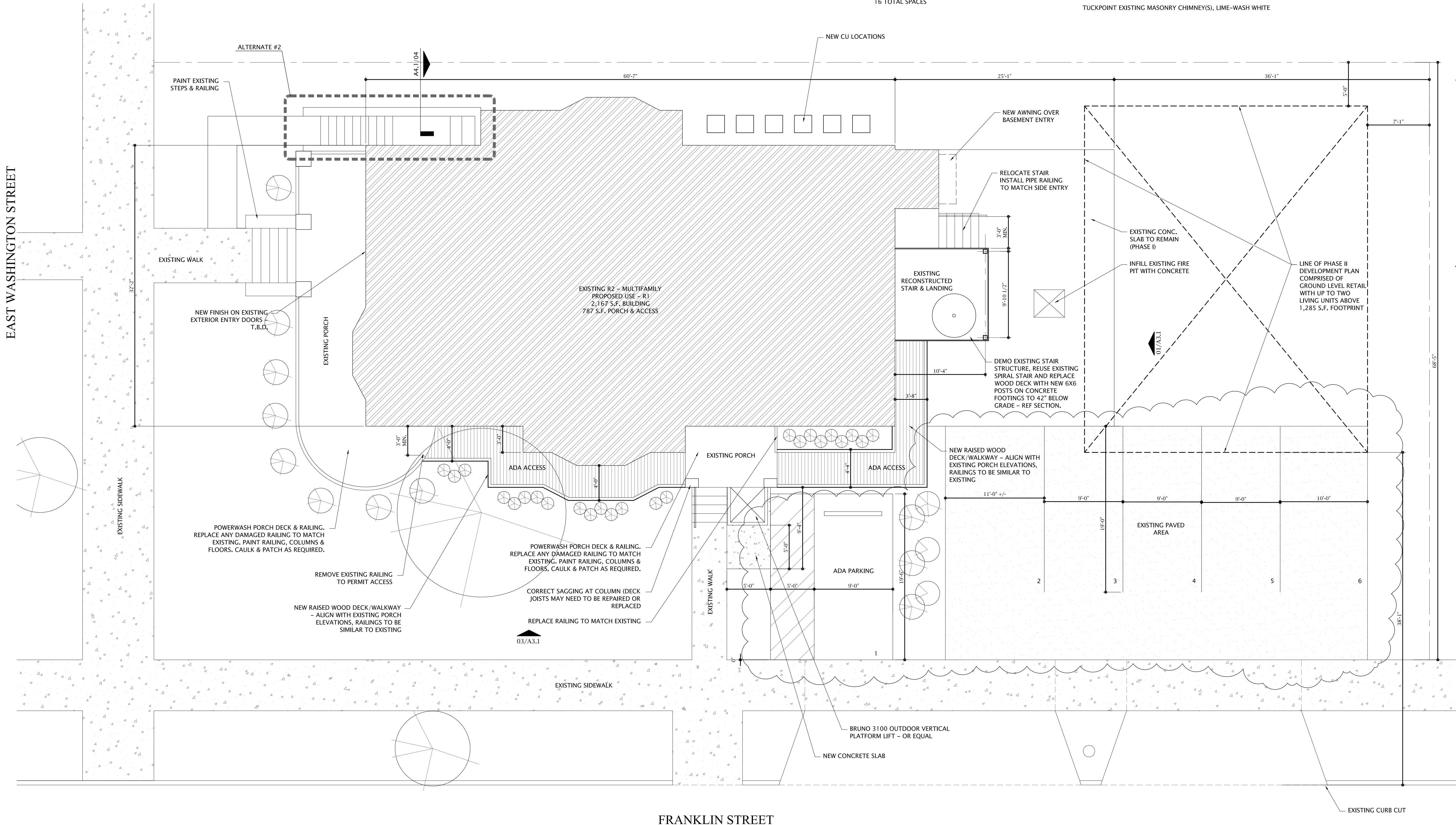
333 EAST WASHINGTON STREET

MULTI-FAMILY RESIDENTIAL RENOVATION
333 EAST WASHINGTON STREET
SANDUSKY, OHIO

PLANNING DECEMBER 15 2020
POST BID MTG. AUGUST 07 2020
BID MEETING AUGUST 05 2020
PROJECT #: 201001

A
REF

LOCATION MAP/
GENERAL REFERENCE



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LANDSCAPED AREA -	489 S.F. (EXISTING AND NEW)
PARKING PROVIDED -	6 OFF STREET SPACES
	12 ON STREET (ORDINANCE 1149.06d)
	16 TOTAL SPACES

EXTERIOR GENERAL NOTES

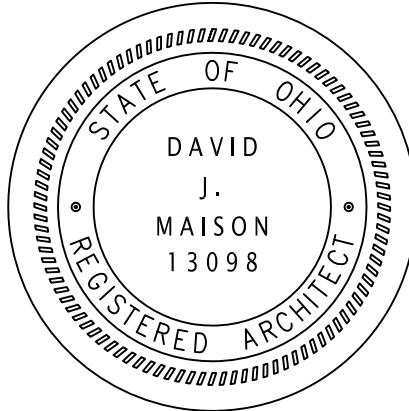
TUCKPOINT ALL EXTERIOR FOUNDATION MASONRY

POWERWASH ALL SIDING. REPAIR/REPLACE ANY DAMAGED SIDING OR TRIM (MATCH EXISTING); CAULK & RE-PAINT WHITE

NEW GUTTERS & DOWNSPOUTS, TYP. - WHITE ALUMINUM HALF ROUND GUTTERS AND ROUND DOWNSPOUTS

EXISTING ROOF TO REMAIN

TUCKPOINT EXISTING MASONRY CHIMNEY(S), LIME-WASH WHITE



DAVID J. MAISON

LICENSE #13098

EXP. DATE 12/31/2020

333 EAST WASHINGTON STREET

MULTI-FAMILY RESIDENTIAL RENOVATION

333 EAST WASHINGTON STREET

SANDUSKY, OHIO

PERMIT: DECEMBER 28 2020

PLANNING: DECEMBER 15 2020

POST BID MTG.: AUGUST 07 2020

BID MEETING: AUGUST 05 2020

PROJECT #: 201001

A

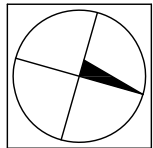
0.1

SITE PLAN

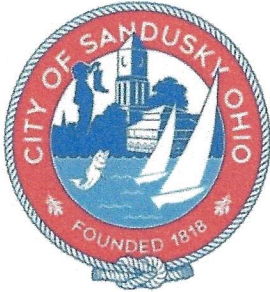
FRANKLIN STREET

SITE PLAN

SCALE: 3/16" = 1'



01



PLANNING COMMISSION

Application for Site Plan Approval

Department of Planning

240 Columbus Ave

Sandusky, Ohio 44870

419.627.5891

www.cityofsandusky.com

APPLICANT/AGENT INFORMATION:

Property Owner Name: NAME ONE, YELLOWSTONE LLC

Property Owner Address: 333 E. WASHINGTON ST

SANDUSKY OH

Property Owner Telephone: 617 823 0025

Property Owner Email: BRENT.ZIMMERMAN@SAULYBREW
WORKS.COM

Authorized Agent Name: DAVID MAISON

Authorized Agent Address: 32110 DEERFIELD DR.

AVON LAKE OH 44012

Authorized Agent Telephone: 216 832 3434

Authorized Agent Email: DAVID@MAISONDESIGN.CO

LOCATION AND DESCRIPTION OF PROPERTY:

Municipal Street Address: 333 E. WASHINGTON

Legal Description of Property (check property deed for description):

37 WASHINGTON STREET WITH EX N 52' 60' x 146'

Parcel Number: 56-01157.000

Zoning District: _____

DETAILED SITE INFORMATION:

Land Area of Property: 0.2212 ACRES (sq. ft. or acres)

Total Building Coverage (of each existing building on property):

Building #1: 2,959 (in sq. ft.) phase I

Building #2: 1,285 phase II

Building #3: _____

Additional: _____

Total Building Coverage (as % of lot area): 30% phase I
44% phase II

Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:

2167 - INTERIOR AREA
787 - PORCH / ADA ACCESS PATH (phase I)
1,285 - PHASE II

Proposed Building Height (for any new construction): N/A

Number of Dwelling Units (if applicable): 68

Number of Off-Street Parking Spaces Provided: 3

Parking Area Coverage (including driveways): 1,292 (in sq. ft.)

Landscaped Area: _____ (in sq. ft.)

PROPOSED DEVELOPMENT (check those that apply):

✓
N/A
✓

New Construction (new building(s))

Addition to Existing Building(s)

Change of Use in Existing Building(s)

(Phase II)

R2-R1
MULTI-FAMILY

Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):

PHASE I - RENOVATION OF EXISTING 1ST, 2ND & 3RD FLOOR
APARTMENT UNITS (6 TOTAL) WITH POSSIBLE ADDITION
OF 1 OR 2 BASEMENT UNITS. USE CHANGE FROM
R2 TO R1.

PHASE II - CHILL GROUND FLOOR SEASONAL RETAIL
SPACE W/ 1 OR 2 2ND FLOOR R1 UNITS.

APPLICATION AUTHORIZATION:

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.



Signature of Owner or Agent

12.07.20

Date

PERMISSION TO ACT AS AUTHORIZED AGENT:

As owner of _____ (municipal street address of property), I hereby authorize _____ to act on my behalf during the Planning Commission approval process.



Signature of Property Owner

Date

REQUIRED SUBMITTALS:

15 copies of a site plan/off-street parking plan for property
\$25.00 application fee

APPLICATION MUST BE FILLED OUT COMPLETELY

STAFF USE ONLY:

Date Application Accepted: _____ Permit Number: _____

Date of Planning Commission Meeting: _____

Planning Commission File Number: _____



City of Sandusky, Ohio

Planning Commission Report

BACKGROUND INFORMATION

Arin Blair, with MKSK, on behalf of HR&A and the City of Sandusky looks forward to presenting the Downtown Sandusky Master Plan to the City of Sandusky Planning Commission. The Downtown Sandusky Master Plan establishes a vision for the public and private realm in Downtown Sandusky. This vision is feasible, market based, flexible to opportunities that arise, founded in community feedback, and built upon the ideas set forth in the Sandusky 2018 Bicentennial Vision.

The planning process was conducted in 2020, amidst the COVID pandemic, and included a robust series of stakeholder interviews, regular meetings with a Steering Committee, and a community survey that received 798 responses. City of Sandusky staff and the consultant team worked in close collaboration throughout the process to ensure the plan is authentic to Sandusky and authored with local, regional, and national downtown planning and economic development expertise.

Staff believes that the Downtown Sandusky Master Plan presents a vision that will help the community leverage Sandusky's small-town appeal to residents and visitors, promote the waterfront appeal of downtown, increase public accessibility to the waterfront, increase activation of the waterfront on private property, ensure there is a continued focus on creating a welcoming downtown for people of all demographics, and become the gateway to the region's destinations.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends approval of the Downtown Sandusky Master Plan and recommends the Planning Commission give a favorable recommendation to the City Commission.