

Planning Commission 240 Columbus Ave Sandusky, Ohio 44870 419.627.5973 www.cityofsandusky.com

Agenda January 27, 2021 5:00 pm

Meeting via Microsoft Teams and

Live Streamed on www.Youtube.com/CityofSanduskyOH

- 1. Meeting called to order Roll Call
- 2. Approval of minutes from December 21, 2020 meeting
- 3. Election of officers

Adjudication Hearing

4. Greg Schmid, on behalf of the Erie County Combined General Health District Board of Health, has submitted an application for a Conditional Use Permit to allow a "PF" – Public Facilities use within the "R2F" - Two-Family Residential District at parcels 59-62003.000 and 59-62001.000 near 420 Superior Street.

New Business

- 5. Rosalyn Ahner, as an authorized agent of RL Ahner Properties LLC., has applied for site plan approval for 2101 W. Perkins Avenue.
- 6. David Maison, on behalf of Name One Yellowstone LLC, has submitted an application for a Special Residency Occupancy Permit for 333 E Washington Street to allow for the reestablishment of a residential, nonconforming use where a prior legal nonconforming residential use has expired and the structure remains.

7. David Maison, on behalf of Name One Yellowstone LLC, has submitted a site plan application for 333 E Washington Street.

Old Business

7:00 PM - Presentation

- 8. Presentation of the Downtown Sandusky Master Plan by MKSK.
- 9. Meeting Adjourned

NEXT MEETING: February 24, 2021 at 5:00pm.

Please notify staff at least 2 days in advance of the meeting if you cannot attend. Thank you.

Planning Commission December 21, 2020 Meeting Minutes

Meeting called to order:

Chairman McGory called the meeting to order at 4:31pm. The meeting took place virtually. The following members were present: Mike Zuilhof, Jim Jackson, Conor Whelan, Mike Meinzer, and Jade Castile. David Miller was not present. Greg Voltz represented the Planning Department and Brendan Heil represented the Law Department.

Approval of minutes from the November 16th, 2020 meeting:

Mr. Jackson made a motion to approve the minutes and Mr. Meinzer seconded the motion. Mr. Zuilhof then stated that item three on the minutes has a motion and a second, but no vote on the motion is recorded. He then made a motion to amend the former motion, to approve the minutes with that correction. Mr. McGory seconded the motion. All members were in favor of the motion.

Swearing in of those wishing to speak on adjudication hearings: Law Director Brendan Heil swore in those wishing to do so.

Adjudication Hearing:

The City of Sandusky submitted an application for an amendment to the zoning map for the following parcels located along First and Second Street: 57-00057.000, 57-00923.000, 57-00924.000, 57-00925.000, 57-00926.000, 57-01977.000, 57-02060.000, 57-02304.000, 57-02507.000, 57-02667.000, 57-02925.000, 57-03247.000, 57-03690.000, 57-03694.000, 57-03695.000, 57-03842.000, 57-03843.000, 57-03844.000, 57-03845.000, 57-03847.000, 57-03848.000, 57-03849.000, 57-03859.000, 57-03861.000, 57-03863.000, 57-03961.000, 57-03962.000, 57-04022.000, 57-04024.000, 57-05755.000, 57-05756.000, 57-60034.000.

Mr. Voltz stated that after a couple of applications from earlier this year regarding properties within this general area were tabled, staff reviewed options, walked the neighborhood, and spoke to residents. He stated that the Bicentennial Comprehensive Plan outlines a number of priorities for the eastern neighborhoods which include: 1) Creation of the Sandusky Bay Pathway multipurpose trail along First Street, 2) Redevelop vacant land and infill to extend and stabilize single family neighborhoods, and 3) Target areas around First Street for residential stabilization and infill and mixed-use residential development. Staff believe the rezoning could create an opportunity for investment that could attract new infill development further south into the neighborhood. Commercial Recreation also still permits single-family residential and permits transient rental. When staff talked with residents in the area, most of them were south of Second Street and their concern was that a Commercial Recreation use would allow for more boat storage and they would like to keep their neighborhood feel. Ms. Castile stated that in the staff report it is mentioned that staff believe precautions will need to be put in place to limit the type of uses permitted in the area to ensure future development in the area continues to be a contribution and not a detriment. She asked what those precautions would be. Mr. Voltz stated that staff did explore a complete overlay rezoning. The issue with that is an overlay district would need created which does not exist in code and is a three month process. The area would need rezoned which is another three month process. All of that is possible, but the hope is to see how this rezoning plays out first. He said that he did receive two public comments. The first one is from Velma Brown at 1825 Fourth Street via phone call. She stated that she wished that the property next-door, to the east of her was better maintained and the lawn mowed more frequently as there are a lot of overgrown bushes and some ground hogs that live there. She said she also wished the alley was better maintained and that the tree in front of her house might need to be checked out. The second comment came from John Hoty who stated that "as the owners of Lake Ridge Investments, Bay Boat Storage, and Sandusky Boat Storage, all properties just to the west of the requested zoning changes – we are in full support of all the requests on First Street. We are not directly affected by the requests on Second or Third Street and have no objections." Mr. Zuiholf stated that another option would be a new zoning category that would not allow the undesirable uses. He then said that the PUD ordinance allows quite a bit of flexibility in any category. He said that he was hoping that an option would not be

rejected due to it taking six months. Mr. McGory asked that if the Planning Commission decides to approve this application, how could they prohibit undesirable uses. Mr. Voltz stated that they would not be able to the way things currently sit which is why they have considered creating a new category, but staff struggled to find a good answer for this. It seems that if there are strict uses then things that are beneficial may be prohibited, but if you leave things vague then undesirable uses may pop up. However, if somebody did want to build in that area, the Planning Commission would need to hear that application for site plan approval as long as it met all requirements. D. Jeffery Rengel, on behalf of RLR Properties, Ltd. stated that he is opposed to rezoning just the northern side of Second Street and not the southern side as well. Mr. Whelan asked if staff could ask why staff decided to do it that way. Mr. Voltz stated that the reason staff decided to rezone the area that way was due to the residents' concerns, this rezoning creates a little bit of a buffer for the residents, while still allowing some new development. If the rezoning did occur on the southern side of Second Street, then those who live on Third Street may possibly open their back door to a development. Mr. Whelan then stated that it would make sense to him to leave off the two properties Bob Waldock has on the southern side of Third Street as that would then include a whole other street, but do not necessarily see the southern side of Second Street as a worse or better cutoff point between commercial and residential. Mr. Jackson stated that if the south side of Second Street is rezoned, the residents that currently live there are going to be on an island with commercial properties on both sides of them, north and south sides of them. Mr. Zuilhof stated that we are as concerned with the form of development as we are with the use. He said that it is a concern what it is going to look like there, not just what is going to happen there. That is what the benefit of using a PUD is. He said that the reason these properties are being asked to be rezoned may be because they are worth more when they are sold with a different category, which would not be a good reason to rezone a property. Mr. Voltz stated that staff's reasoning for rezoning this area is because this area has been stagnant for some time now and would like to see some development there. Bob Waldock, on behalf of Waldock Properties II, stated that regarding his parcels included in this application, they do not plan on selling those properties and he has been in discussion with staff regarding their plans as they develop the PUD to the north. Mr. Meinzer made a motion to approve the application and Mr. Whelan seconded. With five members in favor of the motion and one against, the motion passed.

2. Bob Waldock, on behalf of Waldock Properties II, has submitted an application for an amendment to the zoning map for the following parcels located along 1st Street: 57-00925.000, 57-00926.000, 57-00923.000, 57-04024.000, 57-04022.000, 57-0924.000, 57-03694.000, 57-03695.000 (LOT NUMBERS 408, 409, 410, 411, 412, 413, 414, 415).

Mr. Zuilhof made a motion to table this application and Mr. Jackson seconded. All members were in favor of the motion.

3. D. Jeffery Rengel on behalf of RLR Properties, Ltd., has submitted an application for an amendment to the zoning map for the following parcels located along 2nd Street: 57-03859.000, 57-03861.000, 57-03863.000, 57-03864.000, 57-03865.000, 57-03866.000, 57-03867.000, 57-03868.000, 57-03869.000, 57-03853.000, 57-03854.000, 57-03855.000 (LOTS 433, 434, 439, 438, 437, 436, 441, 442, 446, 447, 448, 451, 380, 381, 382) AND THE FOLLOWING PARCELS LOCATED ALONG THIRD STREET: 57-03875.000, 57-03876.000 (LOTS 461, 462, 463).

Mr. Rengel stated that he would go ahead and withdraw his application after hearing the previous discussion regarding the City's application.

New Business:

 Greg Schmid, on behalf of the Erie County Combined General Health District Board of Health, has submitted a site plan application for a new building addition and additional parking area at 420 Superior Street.

Mr. Voltz explained that staff from Planning and Public Works have been talking to the Health Department this past year about the Sandusky Bay Pathway, and its potential relation to the Health Department. Staff are hopeful that once construction of the pathway occurs, the pedestrian accessibility to the site is increased by adding a pedestrian crossing area. Staff recommend approval with the following condition: The applicant provides, for staff approval, a revised landscaping plan that shows types and locations of plantings, as well as types, locations, specifications and examples of specific fencing to be installed, if any is to be installed. Mr. Schmid stated that there are site lighting wall packs that will

light up the new site walk of the new addition, but there will be no change to what is already existing. Mr. Zuilhof stated that most of the wall packs he has seen are not fully shielded. He stated that he thinks the commission needs to insist on that. He also stated that he thinks the commission needs to make sure that those who do not have an automobile are not an afterthought. Mr. Meinzer made a motion to approve the application subject to staff conditions and Mr. Zuilhof seconded the motion. All members were in favor of the motion.

Old Business:

Mr. Voltz stated that staff has been asked to see if Planning Commission members would be willing to move the start time of the meeting back a little bit to make it easier for those who work to attend the meetings. Members all agreed to give it a try starting next month to start meetings at 5:00pm.

Mr. Voltz then stated that staff are exploring training opportunities for the Planning Commissioners and more information will be coming soon on that.

Next Meeting:

January 27th, 2021 at 5:00pm

Meeting Adjourned:

Mr. Zuilhof moved to adjourn the meeting and Mr. McGory seconded the motion. All members were in favor of the motion and the meeting ended at 5:45pm.

Approved:	
Kristen Barone, Clerk	Pete McGory, Chairman

PLANNING COMMISSION REPORT

APPLICATION FOR CONDITIONAL USE PERMIT TO ALLOW A "PF" - PUBLIC FACILITIES USE WTHIN THE "R2F" - TWO-FAMILY RESIDENTIAL DISTRICT AT PARCELS 59-62003.000 AND 59-62001.000 NEAR 420 SUPERIOR STREET

Reference Number: PCONDU20-0006

Date of Report: January 18, 2021

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

Greg Schmid, on behalf of the Erie County Combined General Health District Board of Health, has submitted an application for a Conditional Use Permit to allow a "PF" – Public Facilities Use within the "R2F" – Two-Family Residential Zoning District at parcels 59-62003.000 and 59-62001.000 for additional parking area at 420 Superior Street. The following information is relevant to this application:

Applicant: Erie County Combined General Health District Board of Health

420 Superior Street Sandusky, Ohio 44870

Authorized Agent: Greg Schmid

1717 E. Perkins Avenue Sandusky, Ohio 44870

Site Location: 420 Superior Street

Zoning: Primary affected area: "PF" Public Facilities

Other affected areas: "R2F" - Two-Family Residential

Adjacent Zoning: North: "GM" – General Manufacturing

East: "GM" General Manufacturing South: "R2F" Two-Family Residential West: "CR" Commercial Recreation

Existing Uses: Vacant

Proposed Uses: Public Facilities Parking

Additional Parking: 22

Applicable Plans & Regulations: Sandusky Zoning Code Chapter

Chapter 1149 Site Plan Review & Off-Street Parking

Chapter 1123 Public Facilities District Chapter 1129 Residential Districts

SITE DESCRIPTION

The subject property is Erie County's Health Department and a vital health care service provider for our City. The site is adjacent to a marina, some residential housing to the south and, and near other parcels zoned "PF" – Public Facilities. The area is primarily zoned "PF" Public Facilities District, which permits the following:

1123.02 USE REGULATIONS.

Buildings and land shall be used, and buildings shall be designed, erected, altered, moved or maintained only for the following:

Schedule of Permitted Buildings and Uses for Public Facilities District

Main Buildings and Uses

- (a) Governmental: municipal, county, state buildings, and uses for administrative functions.
- (b) Civic: art galleries, libraries, museums, places for public assembly, memorials, monuments, cemeteries.
- (c) Education: primary and secondary schools, colleges, universities (excluding business-colleges.)
- (d) Religious: churches, parochial schools.
- (e) Welfare: general, mental, or special hospitals, health centers or clinics, nursing or convalescing homes, institutions for children and for the aged.
- (f) Recreational: public parks and play- grounds, public harbors, beaches, pools, and golf courses.
- (g) Transportation: railroad and bus passenger stations, airports.

(1980 Code 151.02)

Accessory Buildings and Uses

Public parking areas or storage garage.

Parish houses and residences for custodians or guards.

Refreshment stands designed and located to attract primarily persons using the public facility.

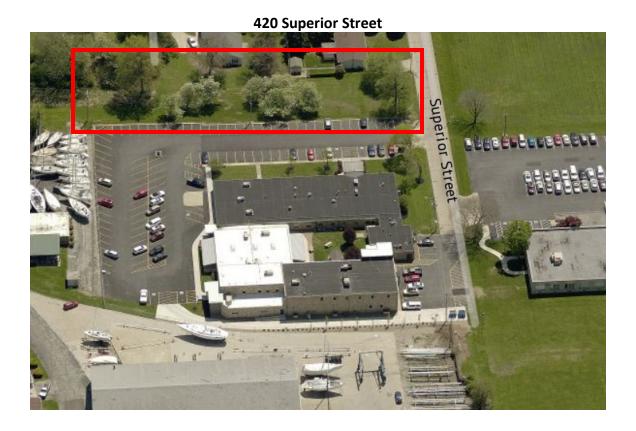
Maintenance and heating facilities.

Bulletin boards as hereinafter regulated.

Recreational area in connection with schools.

Airport hangars.

A picture of the property along with a location map are found below.





Zone Map – Parcels Indicated

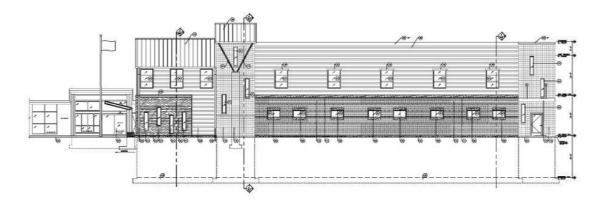




DIVISION OF PLANNING COMMENTS

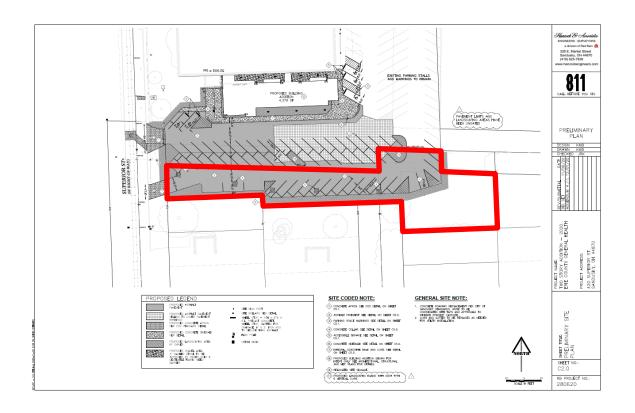
The applicant is proposing to add an additional building at 420 Superior Street to be used as a new conference area, medical area, and offices for staff. The applicant is also increasing on site

parking for the area up to 119 spaces and 7 handicap spaces. This site plan was approved at the December 2020 Planning Commission.

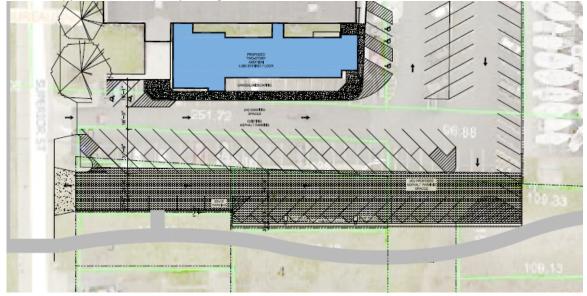




In order for the Health Department to expand into the three parcels to the south, they have applied for a Conditional Use Permit to use the land as a Public Facilities use. The right of way improvements are at the risk of the applicant; however, Public Works staff has no issues of this usage at this time. The Two-Family Residentially zoned parcels and right of way impacted by this Conditional Use Permit are highlighted on the site plan.



Staff from both Planning and Public Works have been talking to the Health Department for the past year about the Sandusky Bay Pathway, and its potential relation to the Health Department. The expansion of the parking area onto these parcels means that the City will have to work through other property owners for the pathway to travel though this area. The pathway will offer another way for local residents to gain vital medical care without using a vehicle. Multimodal transportation options ultimately lead to a healthier population. Staff is hopeful that once construction of the pathway occurs the pedestrian accessibility to the site is increased by adding a pedestrian crossing area. Staff would also like to make note that as of right now there doesn't appear to be bicycle parking on site.



Site Plan approval was approved conditionally on the applicant providing a detailed landscaping plan for the islands showing the type of tree to be installed and ensuring that it is of a 2" caliper. Staff believes this is also important for the Conditional Use Permit. There does not appear to be any new exterior lighting.

ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed site plan and the applicant has provided all requested documentation requested by the City Engineer and they have no further concerns regarding this application.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the application and has no concerns regarding the proposed application.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the application and has no objections to the proposed application.

FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the application and has no objections or concerns regarding the application.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends approval of the proposed site plan for 420 Superior Street with the following conditions:

- 1. The applicant provides, for staff approval, a revised landscaping plan that shows types and locations of plantings, as well as types, locations, specifications and examples of specific fencing to be installed, if any is to be installed.
- 2. Shrubs or low fencing may be requested to block potential head light glare coming from vehicles to the neighboring residential areas.
- 3. When construction of the Sandusky Bay Pathway is completed, bicycle parking and pedestrian access must be incorporated from the pathway to the entryway of the Health Department.



PLANNING COMMISSION

Application for Approval

Department of Planning 240 Columbus Ave Sandusky, Ohio 44870 419.627.5891 www.cityofsandusky.com

	www.cityofsandusky.com	
TYPE OF APPLICATION:	cit gettilled	
X Conditional Use Permit Flood Plain Variance Other	Similar Main Use Front Yard Fence	
APPLICANT/AGENT INFORMA	ATION:	
Property Owner Name:	Erie County Combined General Health District Board of Health	
Property Owner Address:	420 Superior Street Sandusky, OH 44870	
Property Owner Telephone:	419-626-5623	
Property Owner Email:	Schade Peter (pschade@echdohio.org)	
Authorized Agent Name:	GREG SCHMID- POLLOS + SCHMID D.G.	
Authorized Agent Address:	1717 E. PERKINS AVE, SANDUSKY, OH	
Authorized Agent Telephone:	419.625.0009 EXT. 19	
Authorized Agent Email:	GREGO PSDG. US	
LOCATION AND DESCRIPTION	I OF PROPERTY:	
Municipal Street Address:	420 Superior Street	
Legal Description of Property OL 51 EAST OF SUPERIOR S	(check property deed for description):	
59-62001.00, 5 Parcel Number:5 <u>9-64010.000,</u>	9-62003.000, Public Facilities, 59-62005.000 Zoning District: Two Family Resid.	

DETAILED SITE INFORMATION:	
Land Area of Property: 128,334 S.F. Includes R/W	(sq. ft. or acres)
Total Building Coverage (of each existing building Building #1: 29,700 (in sq. ft.)	ng on property):
Building #2: Building #3:	
Additional:	
Total Building Coverage (as % of lot area):	23.1
Gross Floor Area of Building(s) on Property (sep	parate out the square footage of
different uses – for example, 800 sq. ft. is retail	space and 500 sq. ft. is storage space:
All building area is a medical facility	
with some administrative areas	A CONTRACT SERVICES : LEADER THE REPORT OF T
	F 220-272 Isun isale From (2 et desc
Proposed Building Height (for any new constru	ction):34.67' from FF
Number of Dwelling Units (if applicable): N/A	and the section of th
	119 Spaces
Number of Off-Street Parking Spaces Provided:	7 Handicap
Parking Area Coverage (including driveways):	59,580 (in sq. ft.)
Landscaped Area: 21,275 (in sq. ft.)	

ew building(s)) Building(s)
Dullulig(3)
sting Building(s)
ment (Describe in detail your development plans, for building or proposed addition, hours of operation, day c.):
.f. (building footprint) muilti-story building addition to the complex. The proposed construction will encompass existing parking lot, storm sewer construction and tap.
ep with the same hours of operations as the existing
l encompass a new conference area, medical area, and
E TOPOSTO DE AGOSTO A CAUTE AGOSTO

5 copies of a site plan/off-street parking plan for property	
Application Fee: Conditional Use Permit	
Similar Main Use: \$100.00 Flood Plan Variance: \$1	
Front Yard Fence: no charge Other: check with staff	for fee
APPLICATION MUST BE COMPLETELY FILLED OUT	
APPLICATION AUTHORIZATION:	
If this application is signed by an agent, authorization in writ	ing from the legal owne
is required. Where owner is a corporation, the signature of	authorization should be
by an officer of the corporation under corporate seal.	7020
Signature of Owner or Agent Date	
Signature of owner of Agont	
PERMISSION TO ACT AS AUTHORIZED AGENT: As owner of (municipal street)	et address of property),
As owner of (municipal street)	et address of property), my behalf during the
	et address of property), my behalf during the
As owner of (municipal stree hereby authorize to act on	et address of property), my behalf during the
As owner of (municipal streethereby authorize to act on Planning Commission approval process.	my behalf during the
As owner of (municipal streethereby authorize to act on Planning Commission approval process.	my behalf during the
As owner of (municipal streethereby authorize to act on Planning Commission approval process.	my behalf during the
As owner of	e e
As owner of (municipal streethereby authorize to act on Planning Commission approval process. Signature of Property Owner Dat	e

REQUIRED SUBMITTALS:	
15 copies of a site plan/off-street	parking plan for property
Application Fee:	Conditional Use Permit: \$100.00
Similar Main Use: \$100.00	
Front Yard Fence: no charge	Other: check with staff for fee
APPLICATION MUST BE COMPLET	ELY FILLED OUT
APPLICATION AUTHORIZATION:	
If this application is signed by an	agent, authorization in writing from the legal owner
•	rporation, the signature of authorization should be
by an officer of the corporation up	nder corporate seal. /
Jag Sold	11/25/2020
Signature of Owner or Agent	Date
PERMISSION TO ACT AS AUTHORI	IZED AGENT:
As owner of 420 Superior	(municipal street address of property) I
hereby authorize Grea Schau	(municipal street address of property), I
Planning Commission approval pr	
fate 1 Scher	ECBOH 11/25/2000
Signature of Property Owner	Date
STAFF USE ONLY:	
Date Application Accepted:	Permit Number:
Date of Planning Commission Me	
Planning Commission File Numbe	
APPLICATION #PC-002	UPDATED 7/23/2019 Page 4 of 8

ERIE COUNTY GENERAL HEALTH

TWO STORY ADDITION — 2020

ERIE COUNTY HEALTH DEPARTMENT

420 SUPERIOR ST.

CITY OF SANDUSKY, ERIE COUNTY, OHIO

GENERAL NOTES

All work and materials, unless otherwise noted, shall be in accordance with the current State of Ohio Department of Transportation Construction and Material Specifications including all supplements thereto, and the current Construction and Materials Specifications of the City of Sandusky Engineering Department. Zoning and site plan shall conform to the standards and recommendations of the zoning ordinance of City of Sandusky, latest issuance and revision.

All traffic control devices, signs and markings shall conform to the current Ohio Manual of Uniform Traffic Control Devices and City of Sandusky Engineering Department standards and specifications.

MODIFICATIONS:

Any modifications or changes to the work as shown on the drawings must have prior written approval of the owner and the City of Sandusky Engineer's office, as applicable.

1.0 UTILITIES ADJUSTMENT:

Any and all work required for the adjustment of public and private utilities shall be done at the expense of the Contractor, including City utilities which shall be adjusted by contractor with the project.

1.2 CALCULATION OF QUANTITIES:

Payment for all work under this contract shall be on a lump sum price basis for work shown on the plans and described in the plans and specifications.

1.4 CLEARING AND GRUBBING:

Any clearing and grubbing shall be incidental to excavation and embankment for the project and included in the cost thereof.

1.5 REMOVALS

Any removals of existing pipe, tile, structures, or pavement shall be included in the various items and included in the cost thereof.

1.6 UNDERGROUND UTILITIES:

The location of the utilities shown on the plans was established from records and from field survey of above ground facilities. Contractor shall investigate and locate all existing utilities within his work area, whether or not said utilities are shown or indicated on this plan, and take all necessary precautions to protect said utilities. Contractor acknowledges and further agrees by contracting for the work shown on these plans to indemnify Owner, and Engineer in his capacity to provide design, surveying and construction layout, against any and all claims arising from damage to existing utilities, above or below ground, caused by himself or his subcontractors.

1.7 UTILITIES NOTIFICATION:

At least two working days prior to commencing construction operations, the Contractor shall notify the Engineer, the registered utility protection service, and the owners of each underground and overhead utility facility shown on the plan or existing on the property.

The owners of underground utility facilities shall, within 48 hours, excluding Saturdays, Sundays and legal holidays, after notice is received, stake, mark, or otherwise designate the location of the underground utility facilities in the construction area in such a manner as to indicate their course together with the approximate depth at which they were installed. The marking or locating shall be coordinated to stay approximately two days ahead of the planned construction.

Agencies and utility companies to be notified include but are not limited to the following:

Sanitary Sewer and Water: City of Sandusky Engineering Department

AT&T

240 Columbus Ave. Sandusky, Ohio 44870 (419) 627-5829

Telephone:

Room 207 121 North Huron Toledo, Ohio 43624 (419) 245-5004

Electric:

c: First Energy (Ohio Edison) 2508 West Perkins Avenue Sandusky, Ohio 44870

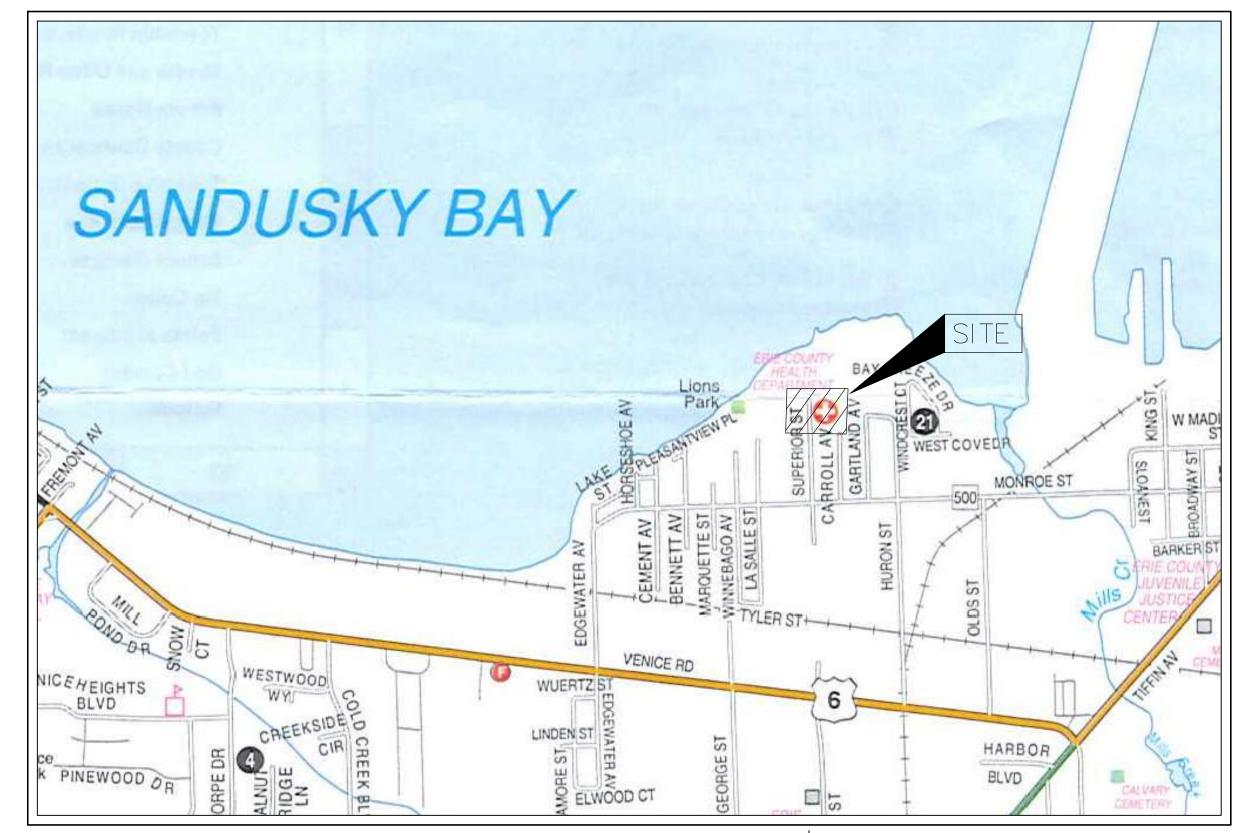
(419) 627-6881

Natural Gas:

Columbia Gas of Ohio, Inc. 1800 Broad Avenue Findlay, Ohio 45840 (419) 427-3230

Cable TV:

Buckeye Broadband 774 Crossings Road Sandusky, Ohio 44870 (419) 627-0800



	SHEET INDEX
SHEET # SHEET TITLE	
C0.0	COVER SHEET
C1.0	EXISTING & DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING & UTILITY PLAN
C3.1	GRADING & UTILITY PLAN
C4.0	SWPPP LAYOUT SHEET
C4.1	SWPPP NOTES & DETAILS
C4.2	SWPPP NOTES & DETAILS
C4.3	SWPPP NOTES & DETAILS
C5.0	GENERAL DETAILS
C5.1	GENERAL DETAILS

LOCATION MAP

NOT TO SCALE





STANDARD DETAILS ODOT DETAILS

CB-1.1 CATCH BASIN No. 2-2 CB-1.2 CATCH BASIN No. 2-4 MH-1.2 MANHOLE No. 3

ISSUED FOR BIDDING
PLAN SET
DATE: NOVEMBER 6, 2020

Hancock & Associates

ENGINEERS · SURVEYORS

a division of Red Barn

326 E. Market Street

Sandusky, OH 44870

(419) 625-7838

www.hancockengineers.com

811

CALL BEFORE YOU DIG

PRELIMINARY PLAN

REV/SUBMITTAL DATE HORIZO AND SET 11/06/20 AND SET NO SET

PROJECT NAME:

TWO STORY ADDITION — 202

ERIE COUNTY GENERAL HEAL

PROJECT ADDRESS:

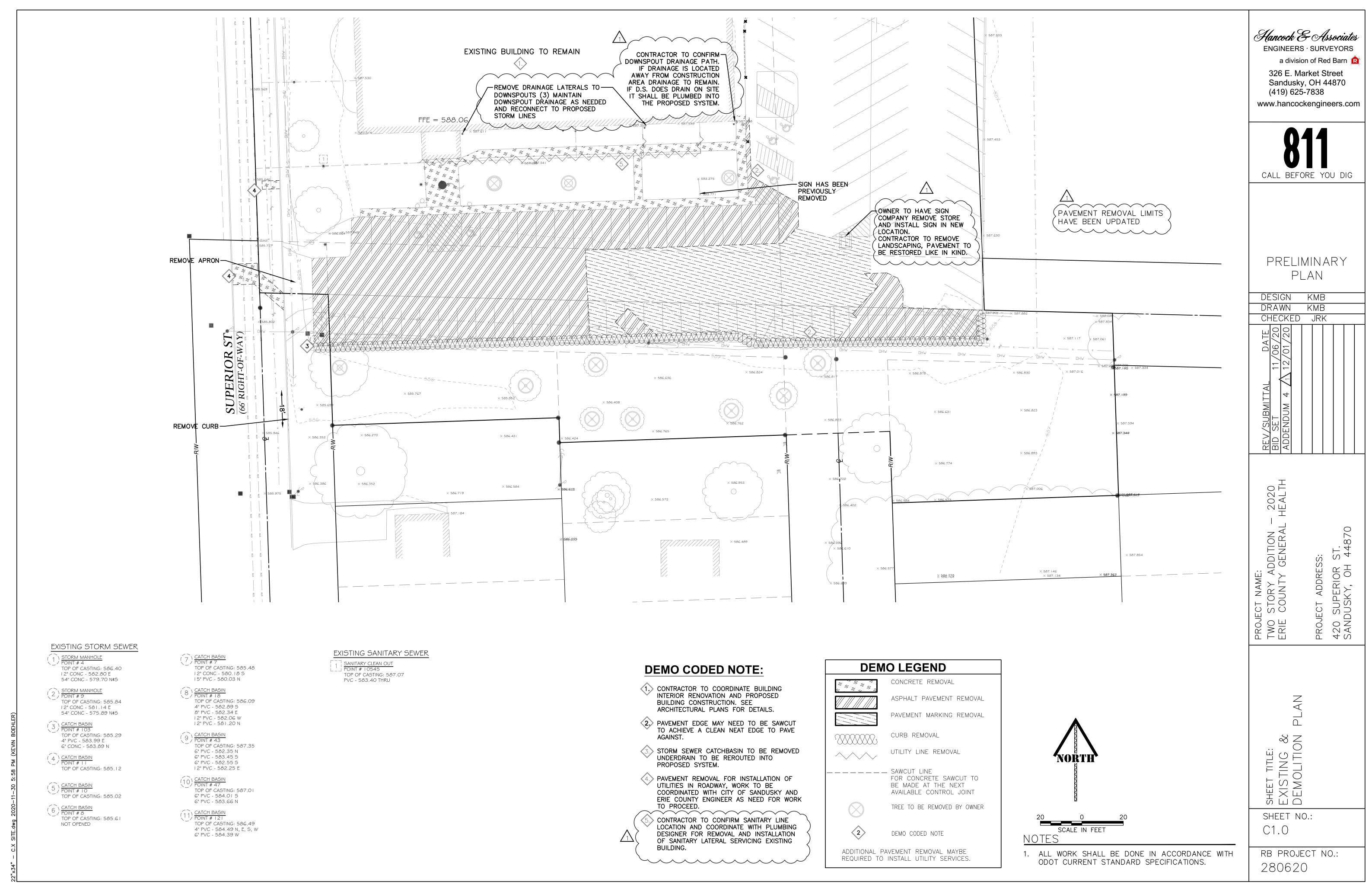
\$20 SUPERIOR ST.

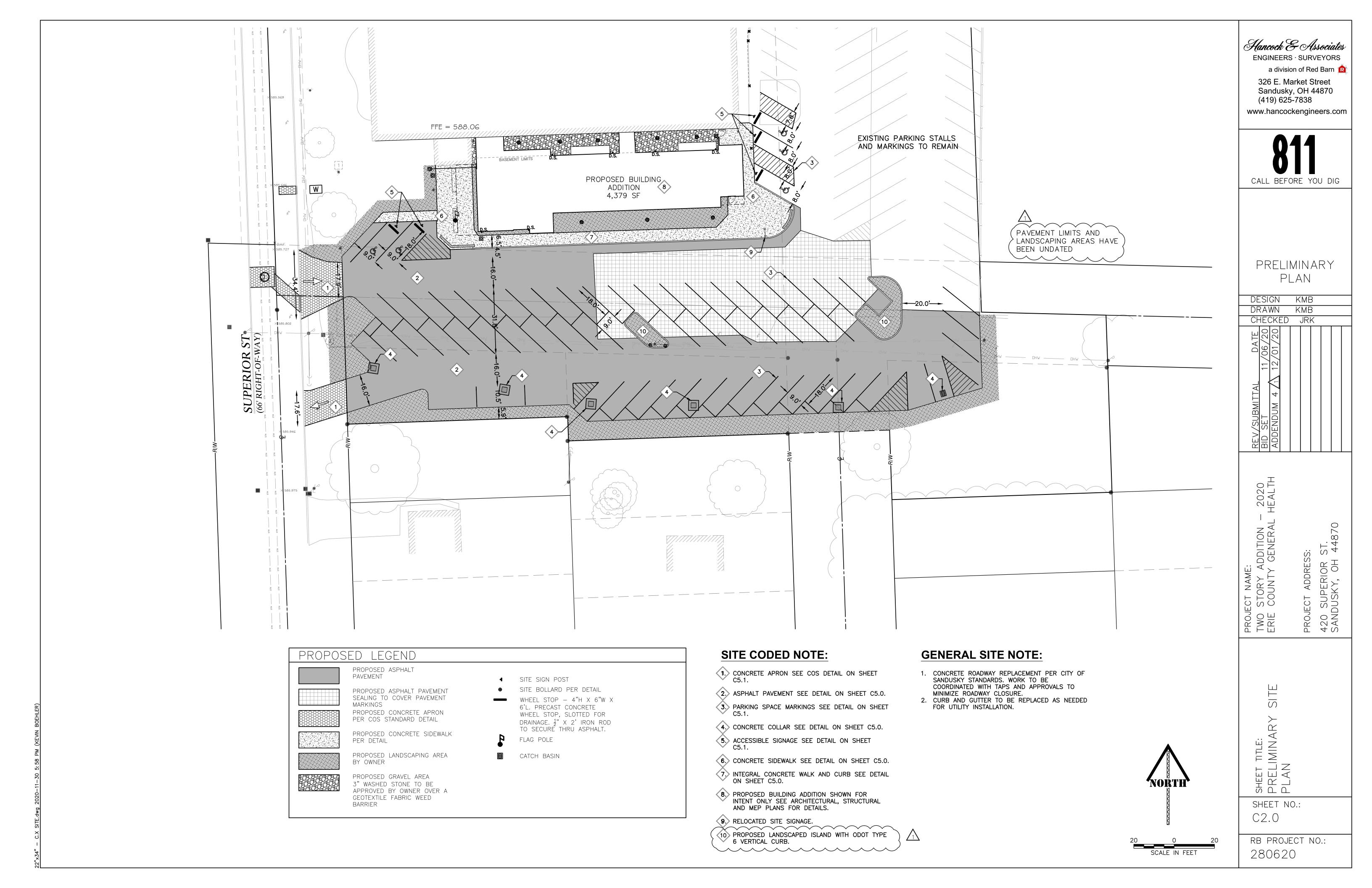
\$ANDUSKY, OH 44870

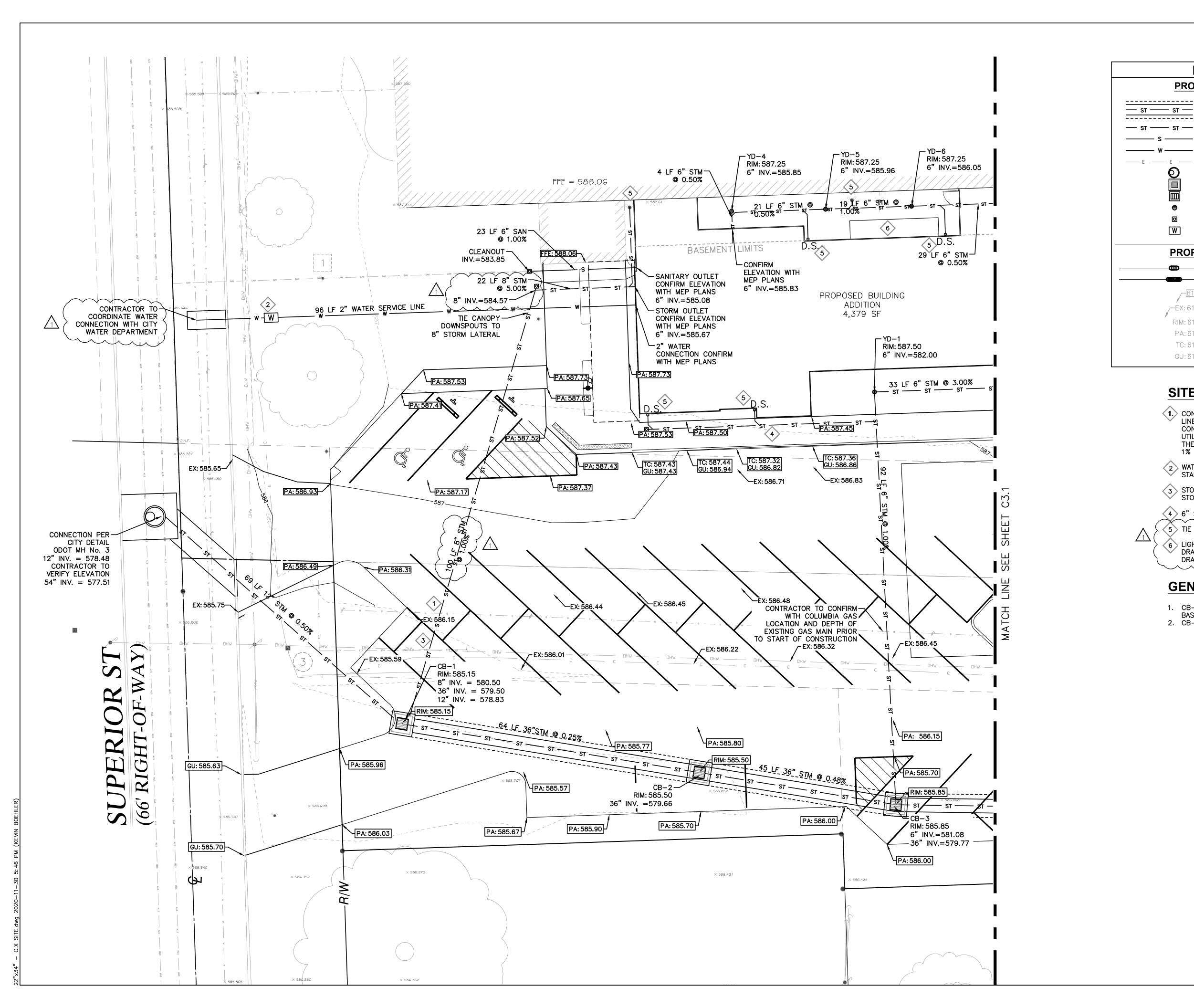
SHEET TITLE: COVER SHEET

SHEET NO.: CO.O

RB PROJECT NO.: 280620







LEGEND:

PROPOSED UTILITY

_____ 36" PERFORATED STORM SEWER — st — st — DETENTION PIPE

— st — st — STORM SEWER

--- E --- E ELECTRICAL CONDUIT

PROPOSED STORM MANHOLE PROPOSED 2-4 CATCH BASIN PROPOSED 2-2 CATCH BSAIN

PROPOSED YARD DRAIN PROPOSED CLEAN OUT PROPOSED METER PIT

PROPOSED GRADING

MAJOR CONTOUR INTERVAL MINOR CONTOUR INTERVAL

613.00 PROPOSED SPOT ELEVATION

_EX: 613.00 EXISTING SPOT ELEVATION

RIM: 613.00 PROPOSED TOP OF CASTING ELEVATION PA: 613.00 PAVEMENT ELEVATION

TC: 613.00 TOP OF CURB ELEVATION GU: 613.00 FLOWLINE AT PAVEMENT

SITE CODED NOTE:

- (1). CONTRACTOR TO CONFIRM ELEVATION OF GAS LINE PRIOR TO RUNNING STORM LINE. CONTRACTOR TO MAINTAIN SEPARATION BETWEEN UTILITIES. SLOPE OF PIPE CAN BE UPDATED IN THE FIELD BUT MUST MAINTAIN A MINIMUM OF 1% SLOPE.
- 2 WATER METER PER THE CITY OF SANDUSKY STANDARD DETAIL.
- 3 STORM UNDERDRAIN TO BE TIED INTO PROPOSED STORM LINE.
- 4 6" STORM LATERAL @ MIN. 1.00% SLOPE. 5 TIE DOWNSPOUT INTO PROPOSED STORM LINE.
- 6 LIGHT WELL DRAINAGE TO BE TIED INTO FOOTER DRAIN PER ARCHITECTURAL AND STRUCTURAL

GENERAL NOTE:

- 1. CB-1, 2, 3, 4 & 5 ARE ODOT 2-4 CATCH
- BASINS
 2. CB-6 IS ODOT 2-2 CATCH BASIN

Hancock & Associates **ENGINEERS · SURVEYORS**

> a division of Red Barn 👔 326 E. Market Street Sandusky, OH 44870 (419) 625-7838

www.hancockengineers.com

CALL BEFORE YOU DIG

PRELIMINARY PLAN

DESI		KMB	
DRA		KMB	
CHE	CKED	JRK	
REV/SUBMITTAL DATE BID SET 11/06/20	ADDENDUM 4 /1 12/01/20		

02 AL ADDITION TY GENERA

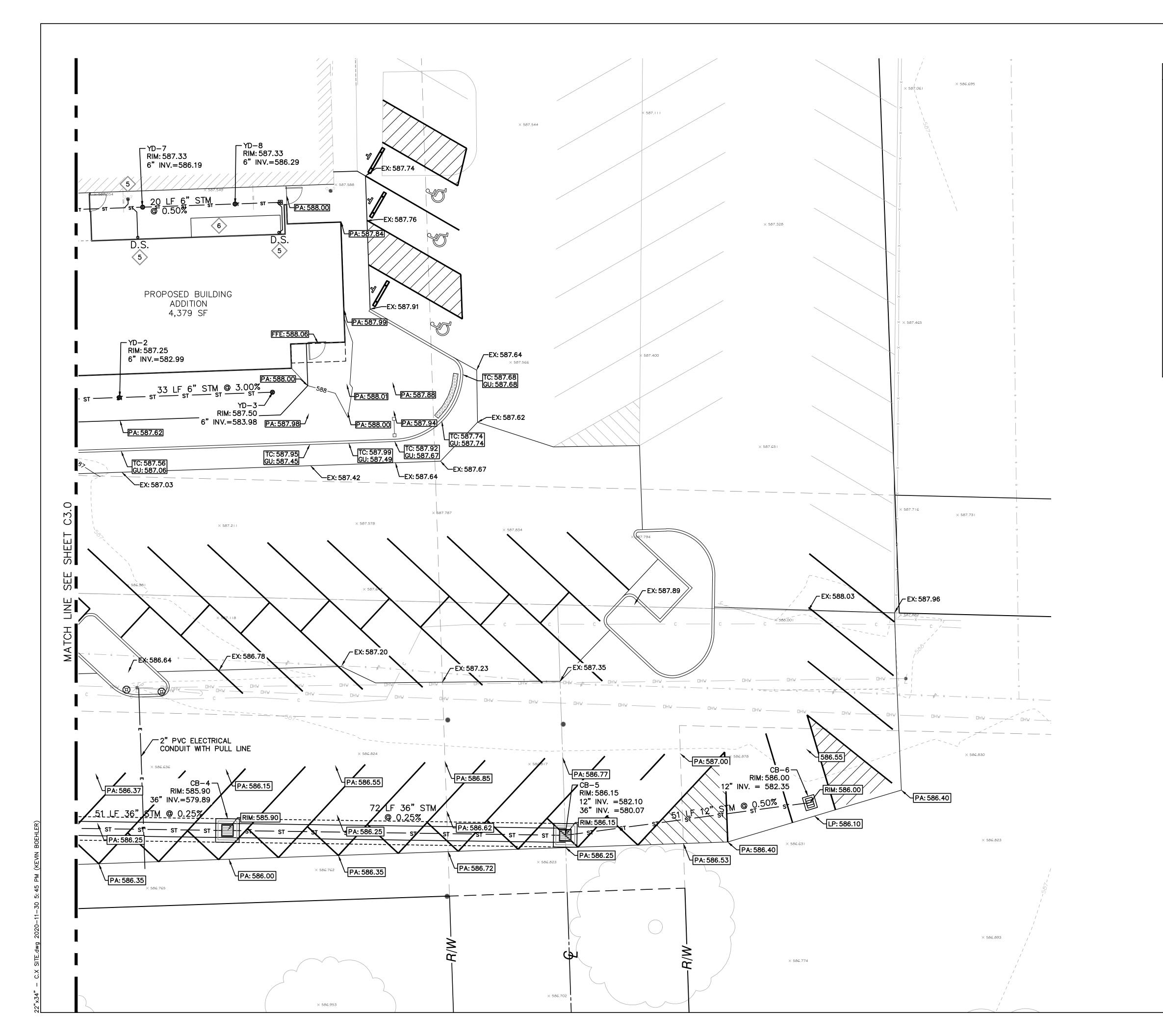
420 SUPERIOR SANDUSKY, OH PROJ TWO ERIE PRO

ADIN $\stackrel{\circ}{\Gamma} \stackrel{\circ}{\simeq} \otimes$

SHEET NO .: C3.0

SCALE IN FEET

RB PROJECT NO.: 280620



LEGEND:

PROPOSED UTILITY

_____ 36" PERFORATED STORM SEWER - st - st - DETENTION PIPE _____

— st — st — storm sewer SANITARY SEWER

--- E --- E ELECTRICAL CONDUIT

PROPOSED STORM MANHOLE PROPOSED 2-4 CATCH BASIN PROPOSED 2-2 CATCH BSAIN

PROPOSED YARD DRAIN PROPOSED CLEAN OUT PROPOSED METER PIT

PROPOSED GRADING

MAJOR CONTOUR INTERVAL MINOR CONTOUR INTERVAL

613.00 PROPOSED SPOT ELEVATION

_EX: 613.00 EXISTING SPOT ELEVATION

RIM: 613.00 PROPOSED TOP OF CASTING ELEVATION PA: 613.00 PAVEMENT ELEVATION

TC: 613.00 TOP OF CURB ELEVATION GU: 613.00 FLOWLINE AT PAVEMENT

SITE CODED NOTE:

- 11. CONTRACTOR TO CONFIRM ELEVATION OF GAS LINE PRIOR TO RUNNING STORM LINE. CONTRACTOR TO MAINTAIN SEPARATION BETWEEN UTILITIES. SLOPE OF PIPE CAN BE UPDATED IN THE FIELD BUT MUST MAINTAIN A MINIMUM OF 1% SLOPE.
- WATER METER PER THE CITY OF SANDUSKY STANDARD DETAIL.
- STORM UNDERDRAIN TO BE TIED INTO PROPOSED STORM LINE.
- 4 6" STORM LATERAL @ MIN. 1.00% SLOPE.
- 5 TIE DOWNSPOUT INTO PROPOSED STORM LINE.
- 6 LIGHT WELL DRAINAGE TO BE TIED INTO FOOTER DRAIN PER ARCHITECTURAL AND STRUCTURAL

GENERAL NOTE:

- CB-1, 2, 3, 4 & 5 ARE ODOT 2-4 CATCH BASINS
 CB-6 IS ODOT 2-2 CATCH BASIN

Hancock & Associates **ENGINEERS · SURVEYORS**

> a division of Red Barn 🔃 326 E. Market Street Sandusky, OH 44870 (419) 625-7838

www.hancockengineers.com

CALL BEFORE YOU DIG

PRELIMINARY PLAN

ESIGN	KMB	
RAWN	KMB	
HECKED	JRK	
NEV/SUBMITTAL DATE DATE DATE DATE DATE DATE DATE DA		

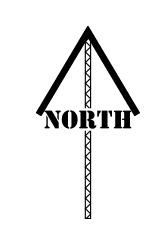
ADDITION FY GENERAL 420 SUPERIOR SANDUSKY, OH

020 ALTH

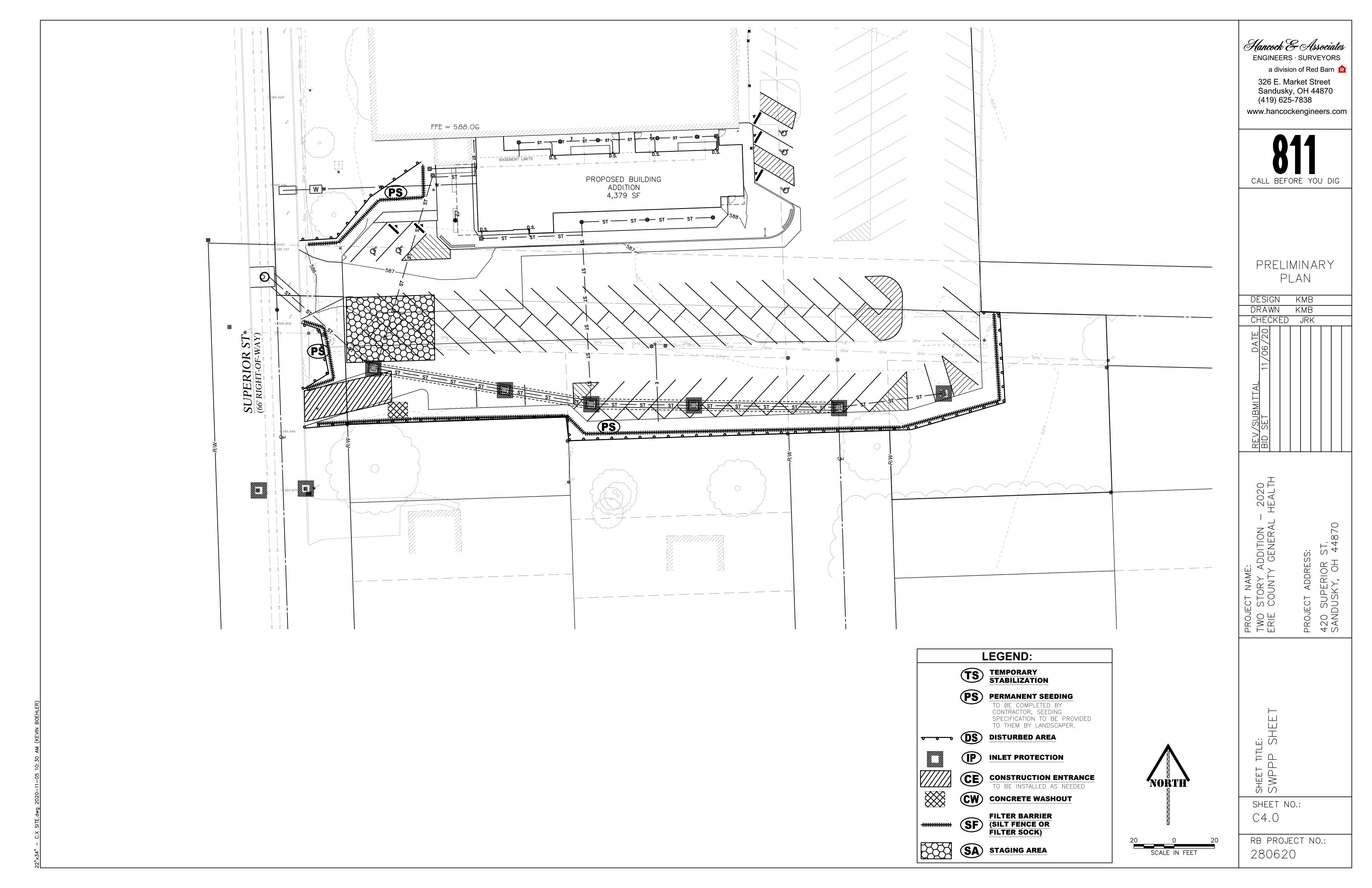
GRADING AN SHEET TITLE:
PRELIMINA
& UTILITY

SHEET NO .: C3.1

RB PROJECT NO.: 280620



SCALE IN FEET



PERMITS TO BE ACQUIRED:

ERIE COUNTY STORMWATER PERMIT -

OHIO EPA NOI PERMIT - TO BE ACQUIRED BY THE CONTRACTOR

- THIS PROJECT SHALL COMPLY WITH THE OHIO EPA CGP OHCCOOOOO5, THE CURRENT EDITION OF THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL AND ERIE COUNTY REQUIREMENTS.
- A LOG DOCUMENTING AND STABILIZATION ACTIVITIES AS WELL AS AMENDMENTS TO THE SWPPP SHALL BE MAINTAINED WITH THE PLANS. THIS LOG SHALL BE INCLUDED WITH INSPECTION REPORT SUBMISSIONS.
- LONG TERM MAINTENANCE OF STRUCTURAL POST-CONSTRUCTION CONTROLS SHALL BE THE RESPONSIBILITY OF THE
- CONTRACTOR AND OWNER SHALL DESIGNATE AN AUTHORIZED REPRESENTATIVE FOR MONITORING AND INSPECTING THE EROSION CONTROL MEASURES. THE INSPECTOR FOR THIS PROJECT IS TO BE SELECTED BY CONTRACTOR
- CONTRACTOR SHALL ABIDE BY ALL APPROPRIATE REGULATIONS SET FORTH BY ERIE COUNTY & OHIO EPA FOR EROSION AND SEDIMENT CONTROL MEASURES.
- PRIOR TO MASS GRADING, ALL SILT FENCE EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING THAT PORTION OF WORK. GRADING AND SLOPES SHALL BE CONSTRUCTED TO MINIMIZE SURFACE RUN-OFF. WHERE POSSIBLE, SURFACES SHALL BE GRADED TOWARDS SEDIMENT TRAPS & DETENTION PONDS OR SWALES.
- GRADED SLOPES AND DENUDED AREAS GREATER THEN 5% SLOPE SHALL BE TEMPORARILY STABILIZED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL ESTABLISH PERMANENT VEGETATION WITHIN THE LIMITS OF CONSTRUCTION.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL ONLY BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WATER WASH WATER IN AREAS APPROVED, DESIGNATED CONCRETE WASH OUT PIT LOCATION ON SITE.

THE OWNER RESERVES THE RIGHT TO REQUIRE THE GENERAL CONTRACTOR TO EMPLOY SEDIMENT CONTROL TECHNIQUES TO LIMIT CONCRETE SPOILAGE RUNOFF.

INSPECTION CODE:

INSPECTIONS SHALL BE PREFORMED PER OHIO EPA REQUIREMENTS AT A MINIMUM AND BE COMPLETED BY SENT TO MELISSA AT THE FRIE CONSERVATION DISTRICT MEETICIANO@FRIECOUNTY.OH.GOV.

AT MINIMUM, ALL EROSION CONTROL AND SEDIMENT CONTROLS ON THE SITE ARE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR

ONLY QUALIFIED INSPECTION PERSONNEL (PROVIDED BY THE GENERAL CONTRACTOR) SHALL CONDUCT A WEEKLY INSPECTION OF THE CONSTRUCTION SITE, AND AFTER A STORM EVENT GREATER THAN 0.5 INCHES OF RAIN PER 24 HOUR PERIOD, TO VERIFY THAT STABILIZATION AND STRUCTURAL CONTROLS ARE PERFORMING PROPERLY INSPECTION PERSONNEL SHALL ALSO DETERMINE IF ADDITIONAL CONTROLS ARE REQUIRED. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM

DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS.

LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE VEHICLE TRACKING.

REPRODUCIBLE INSPECTION FORMS ARE PROVIDED ON THE OHIO EPA WEB SITE FOR USE BY THE GENERAL CONTRACTOR (COORDINATE WITH THE ENGINEER). INSPECTION CHECKLIST TO BE COMPLETED AND SIGNED BY THE INSPECTOR AFTER EVERY INSPECTION. INSPECTION RECORDS TO BE KEPT FOR 3 YEARS AFTER TERMINATION OF CONSTRUCTION ACTIVITIES.

BEST MANAGEMENT PRACTICES (BMPS):
FOR BMPS NOT MEETING THE INTENDED FUNCTION, A NEW BMP TO BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION. MISSING BMPS REQUIRED FOR INSTALLATION BY THE SWP3 TO BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION.

QUALIFIED INSPECTOR FOR THIS PROJECT IS TO BE SELECTED BY CONTRACTOR.

MAINTENANCE:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SEDIMENTATION AND EROSION CONTROL FEATURES ON THIS PROJECT. ANY SEDIMENT OR DEBRIS THAT HAS REDUCED THE EFFICIENCY OF A CONTROL SHALL BE REMOVED IMMEDIATELY. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE IT AT NO COST TO THE OWNER.

CONSTRUCTION SITE SEEDING:

PERMANENT AND TEMPORARY SITE SEEDING INCLUDES THE SEEDBED PREPARATION, SEEDING AND THE ESTABLISHMENT OF PERENIAL VEGETATION USED TO PERMANENTLY STABILIZE SOIL, PREVENT SEDIMENT POLLUTION, REDUCE RUNOFF BY PROMOTING INFILTRATION, AND PROVIDE STORMWATER QUALITY BENEFITS OFFERED BY DENSE VEGETATION.

SPECIFICATIONS FOR PERMANENT SEEDING

- A SUBSOILER, PLOW OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR
- ESTABLISHING VEGETATION. THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION
- RESOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

SEEDBED PREPARATION

- LIME AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST, IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE 100 LB. PER 1,000 SQUARE FEET OR 2 TONS PER ACRE. FERTILIZER - FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST FERTILIZER SHALL BE APPLIED AT A RATE OF 12 LB. PER 1,000 SQUARE FEET OR 500 LB. PER ACRE OF 10-10-10 OR 12-12-12
- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. THESE SEEDING DATES ARE IDEAL BUT, WITH THE USE OF ADDITIONAL MULCH AND IRRIGATION, SEEDINGS MAY BE MADE ANY TIME THROUGHOUT THE GROWING SEASON. TILLAGE/SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT

- SEEDINGS SHALL NOT BE PLANTED FROM OCTOBER 1 THROUGH NOVEMBER 20, DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLE WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING": FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED, ADD THE REQUIRED AMOUNTS OF LIME AND
- FERTILIZER THEN MULCH AND ANCHOR FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZER, APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR, INCREASE RATES BY 60% FOR THIS TYPE
- OF SEEDING APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY
- INCLUDE SEED AND FERTILIZER) ON A FIRM, MOIST SEEDBED WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING

PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY OR HOT WEATHER OR ON ADVERSE SITE CONDITIONS AS NEEDED FOR ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH. EXCESSIVE IRRIGATION RATES SHALL BE AVOIDED AND IRRIGATION MONITORED TO PREVENT EROSION AND DAMAGE FROM

SPECIFICATIONS FOR MAINTENANCE OF PERMANENT SEEDING

OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

PERMANENT SEEDING SHALL NOT BE CONSIDERED ESTABLISHED FOR AT LEAST 1 FULL YEAR FROM THE TIME OF PLANTING. SEEDED AREAS SHALL BE INSPECTED FOR FAILURE AND VEGETATION REESTABLISHMENT AS NEEDED. DEPENDING ON SITE CONDITIONS, IT MAY BE NECESSARY TO IRRIGATE, FERTILIZE, OVERSEED, OR REESTABLISH PLANTINGS IN ORDER TO PROVIDE PERMANENT VEGETATION FOR ADEQUATE EROSION CONTROL.

MAINTENANCE FERTILIZATION RATES SHALL BE ESTABLISHED BY SOIL TEST RECOMMENDATIONS OR BY USING THE RATES SHOWN ON THE FOLLOWING TABLE.

TEMPORARY SEEDING PROVIDES EROSION CONTROL ON AREAS BETWEEN OPERATIONS. GRASSES WHICH ARE QUICK GROWING ARE SEEDED AND USUALLY MULCHED TO PROVIDE PROMPT, TEMPORARY SOIL STABILIZATION. IT EFFECTIVELY MINIMIZES THE AREA OF A CONSTRUCTION SITE PRONE TO EROSION AND SHOULD BE USED EVERYWHERE THE SEQUENCE OF CONSTRUCTION OPERATIONS ALLOWS VEGETATION TO BE ESTABLISHED. STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE

- INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF CONSTRUCTION SITE. TEMPORARY SEEDING SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OF REWORKED FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR. THESE IDLE AREAS SHOULD BE SEEDED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEEDED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS. THE SEEDED BED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER,
- TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE. SOIL AMENDMENTS - APPLICATION OF TEMPORARY VEGETATION SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION, WHICH MAY REQUIRE THE USE OF SOIL AMENDMENT. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER
- SEEDING METHOD SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER AND A CULTIPACKER. IF HYDROSEEDER IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON SITE, AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

CONSTRUCTION SITE MULCHING

APPLYING A PROTECTIVE LAYER OF MULCH, USUALLY OF STRAW, TO BARE SOIL IS USED TO ABATE EROSION BY SHIELDING IT FROM RAINDROP IMPACT TO HELPING ESTABLISH VEGETATION BY CONSERVING MOISTURE AND CREATING FAVORABLE CONDITIONS FOR SEEDS TO GERMINATE.

SPECIFICATIONS FOR MULCHING

- MULCH AND/OR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN SEVEN DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 14 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.
- DORMANT SEEDING SHALL BE MULCHED. APPLICATIONS OF PERMANENT AND TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING.

1. MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. SEEDING MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.

2.2. STRAW - IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 LB. PER 1,000 SQUARE FEET (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH

- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. HYDROSEEDERS - IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER
- OTHER OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED 6 TONS PER ACRE.
- 3. ANCHORING METHODS STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. 3.1. MECHANICAL - A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER
- THAN 6 INCHES. 3.2. MULCH NETTINGS - NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
- ASPHALT EMULSION ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GALLONS PER ACRE. SYNTHETIC BINDERS - SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR
- EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. WOOD-CELLULOSE FIBER - WOOD CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB. PER ACRE. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. PER 100 GALLONS OF WOOD-CELLULOSE FIBER.

EROSION CONTROL SEQUENCING

THE FOLLOWING SEQUENCING IS SCHEMATIC IN NATURE. CONTRACTOR SHALL DETERMINE INSTALLATION SCHEDULE TO MINIMIZE

PRE-CONSTRUCTION ACTIVITY:

- 1. CONTACT THE OHIO UTILITIES PROTECTION SERVICE 1-800-362-2764 OR "811" TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT SITE. ESTABLISH STABLE CONSTRUCTION ENTRANCE, EQUIPMENT AND EMPLOYEE PARKING AND STAGING AREAS.
- INSTALL PERIMETER PROTECTION DEVICES AND MEASURES SUCH AS SILT FENCE. PROTECT EXISTING AND PROPOSED STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES WHERE APPLICABLE.

- BEGIN SITE CLEARING AND GRUBBING, STRIPPING OFF TOPSOIL AND GRADE SITE. PERMANENTLY OR TEMPORARILY SEED OR MULCH DISTURBED AREAS PER TABLE ON SHEET 10 TO PREVENT SEDIMENT LOSS.
- INSTALL NATURAL BOULDER SLOPE STABILIZATION IF NECESSARY. CONTRACTOR MAY INSTALL EROSION CONTROL BLANKETS OR TURF REINFORCEMENT MATS (TRM'S) IF THERE IS ANY EROSION OR SCOURING.
- FINE GRADE SITE, PERMANENTLY SEED AND LANDSCAPE. THE CONTRACTOR SHALL NOTIFY ERIE COUNTY OF DISPOSAL SITE IF ONE ACRE OR MORE IS DISTURBED AT THE DISPOSAL SITE.
- 5. REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, AND STABILIZE SOIL WITH PERMANENT SEEDING
- POST-CONSTRUCTION ACTIVITY I. REMOVE CONSTRUCTION SEDIMENT AND DEBRIS FROM PERMANENT EROSION CONTROL DEVICES AND MEASURES. 2. SUBMIT NOTICE OF TERMINATION (NOT), WITHIN 45 DAYS ONCE THE SOIL DISTURBING ACTIVITIES ARE COMPLETE AND THE SITE

IS STABILIZED TO THE STANDARDS OF THE OHIO EPA. **EROSION CONTROL NOTES:**

SOIL PROTECTION CHART

STABLIZATION J F M A M J J A S O N D

NOTE: ALL CONTROL MEASURES SHALL CONFORM TO THE NPDES PERMIT

A = KENTUCKY BLUEGRASS AT 90 LB/AC MIXED WITH PERENNIAL

B = KENTUCKY BLUEGRASS AT 135 LB/AC MIXED WITH PERENNIAL

RYEGRASS AT 45 LB/AC & 2 TONS STRAW MULCH/AC

**= IRRIGATION NEEDED FOR 2-3 WEEKS AFTER APPLYING SOD

MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND WITHIN THE AREA.

STABILIZATION CHARTS

TEMPORARY STABILIZATION

THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS.

WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE

FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST

TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL

WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN

BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO

AREA REQUIRING TEMPORARY STABILIZATION | TIME FRAME TO APPLY EROSION CONTROLS

PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION | TIME FRAME TO APPLY EROSION CONTROLS

ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR | WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE

ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE | WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF

DISTURBED AREAS THAT WILL BE IDLE OVER WINTER PRIOR TO THE ONSET OF WINTER WEATHER

ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF WITHIN TWO DAYS OF REACHING FINAL GRADE

- 1. DIVERSION AND STRUCTURAL MEASURES- WILL BE INSPECTED AT 7 DAY INTERVALS OR AFTER EVERY RAIN EVENT WITH 0.5" OF
- ACCUMULATION OR MORE IN A 24-HR PERIOD.
- SEDIMENT BASINS AND PONDS WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION. VEGETATIVE PLANTING- SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.
- 4. REPAIRS- ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN 3 DAYS OF INSPECTION.
- MOWING- DRAINAGEWAYS, DITCHES AND ANY OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW. 6. FERTILIZATION- SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER, WILL BE INSPECTED AND FERTILIZED AS

NECESSARY.

DORMANT

SEEDING

TEMPORARY

SODDING

MULCHING

E = SOD

RYEGRASS AT 30 LB/AC

C = SPRING OATS AT 100 LB/AC

F = STRAW MULCH AT 2 TON/AC

D = WHEAT OR CEREAL RYE AT 150 LB/AC

WATER OF THE STATE AND NOT AT FINAL GRADE.

NOT WITHIN 50 FEET OF A SURFACE WATER OF THE

THE STATE AND AT FINAL GRADE

OTHER AREAS AT FINAL GRADE

ANY DISTURBED AREAS THAT WILL BE DORMANT FOR

* = IRRIGATION NEEDED DURING JUNE & JULY

MAINTENANCE: HE CONTRACTOR/CONSTRUCTION MANAGER WILL ASSUME RESPONSIBILITY FOR MAINTENANCE OF ALL SOIL EROSION CONTROL DURING CONSTRUCTION. THIS RESPONSIBILITY WILL BE TURNED OVER TO THE OWNER AFTER 100% OF THE DEVELOPMENT IS COMPLETED AND ACCEPTED BY ERIE COUNTY. HOWEVER THE CONTRACTOR SHALL NOT TRANSFER THESE IMPROVEMENTS FOR THE PURPOSE OF MAINTENANCE UNTIL HE HAS COMPLIED WITH THE ABOVE.

GENERAL NOTES:

- THE CONTRACTOR "LAY-DOWN AREA" IS SUBJECT TO CHANGE BY ____ AND/OR CONTRACTOR, THE CONTRACTOR "LAY-DOWN AREA" SHALL INCLUDE TRASH ENCLOSURES, PARKING AREAS, GENERAL CONTRACTOR OFFICES, FUEL TANK STORAGE AREAS, MATERIAL STORAGE AREAS, STAGING AREAS AND CONCRETE TRUCK WASH AREA. CONTRACTOR SHALL RECORD THE LOCATION OF ALL OF THESE AREAS ON THE CONSTRUCTION PLANS
- 2. CONTRACTOR SHALL HAVE THE SWP3 PLAN OF THE PROJECT LOCATED "ON-SITE" IN AN AREA ACCESSIBLE BY SWPPP INSPECTORS - 24 HOURS/DAY & 7 DAYS A WEEK. SWP3 PLAN SHALL BE ACCESSIBLE TO ERIE COUNTY, CITY OF SANDUSKY & OHIO EPA.

CONTRACTOR/SUBCONTRACTOR CERTIFICATION

I ACKNOWLEDGE THAT I HAVE REVIEWED AND UNDERSTAND THE CONDITIONS AND THE RESPONSIBILITIES OF THIS STORM WATER POLLUTION AND PREVENTION PLAN (SWPPP) AND AGREE TO ABIDE BY THE TERMS OF THE

ROLE:	GENERAL CONTRACTOR [CONTROL OF SITE]	_
CONTACT:		
PHONE:		
SIGNATURE ROLE:		DA
CONTACT:		

ALL SUBCONTRACTORS SHALL ALSO ACKNOWLEDGE THE SWPPP REQUIREMENTS WITH A SIGNED FORM AND LOGGED IN THE SWPPP BINDER THAT WILL HAVE APPROVED AND AMENDED PLANS (BY THE CONTRACTOR IN THE FIELD). INSPECTION REPORTS AND PERMITS.

CONTRACTOR TO REPORT ANY SWPPP ACTIVITIES INCONSISTENT WITH THIS PLAN ALL SWPPP PLAN UPDATES AND CHANGES TO BE RECORDED AND KEPT ON SITE INSPECTION REPORTS SHALL BE AVAILABLE WITH **APPROVED SWPPP IN SITE**

CONSTRUCTION SEQUENCE:

TENTATIVE CONSTRUCTION SCHEDULE START CONSTRUCTION: 12/1/2020 END CONSTRUCTION: 8/31/2021

- INSTALL CONSTRUCTION ENTRANCE, SILT FENCE OR FILTER SOCK, AND TREE
- PROTECTION/CONSTRUCTION FENCE.
- CLEAR AND GRUB SITE PER PLAN. INSTALL OUTLET STRUCTURE ALONG WITH STORM PIPES A & B. SEED OR PLACE STABILIZATION AT ALL DISTURBED AREAS AFTER BACKFILL AND DETAIL GRADING
- 4. PROVIDE TEMPORARY DIVERSIONS AS NEEDED TO PREVENT EXCESS RUNOFF FROM ENTERING NEIGHBORING PROPERTY
- 5. STRIP TOPSOIL FROM THE REST OF THE SITE AND COMMENCE OTHER EARTHWORK INSTALL CONCRETE WASHOUT PIT PRIOR TO THE DELIVERY OF ANY CONCRETE.
- INSTALL REMAINDER OF STORM SEWER SYSTEM. INSTALL INLET PROTECTION ON CATCH BASINS AS THEY ARE INSTALLED.

HAS BEEN COMPLETED, SEE STABILIZATION CHART BELOW.

- GRADE SITE TO ACHIEVE PROPOSED GRADES.
- O. PROVIDED TEMPORARY AND PERMANENT SEEDING PER SPECIFICATIONS THROUGHOUT CONSTRUCTION.
- 11. COMPLETE SITE CONSTRUCTION AND FINAL SEEDING. 12. UPON ESTABLISHMENT OF SITE VEGETATION. 12.1. REMOVE INLET PROTECTION, SILT FENCE OR FILTER SOCK, TREE
- PROTECTION/CONSTRUCTION FENCE, AND CONCRETE WASH OUT PIT. CLEAN AND JET STORM SEWERS AS NEEDED 12.3. CONSTRUCTION ENTRANCE TO BE REMOVED OR MAY REMAIN AT OWNERS REQUEST DEPENDING ON FINAL SITE INSPECTION, AND FOR BASIN

SITE PROJECT DATA:

420 SUPERIOR ST.

SANDUSKY, OHIO 44870

326 E. MARKET STREET

PROJECT: 280620 SANDUSKY, OHIO 44870

SITE ACREAGE SUMMARY

TOTAL SITE TRIBUTARY AREA: 1.301 AC

PRE-CONSTRUCTION CN = 87

POST-CONSTRUCTION CN = 91

SOILS

• FuA — FULTON SILTY CLAY LOAM

ToA - TOLEDO SILTY CLAY

UdB – UDORTHENTS

TOTAL PROJECT DISTURBED AREA: 0.75 AC

PERCENTAGE OF SITE DISTURBED: 57%

HANCOCK & ASSOCIATES INC.

PHONE: (419) 625-7838

IMPERVIOUS AREA PRIOR TO START OF CONSTRUCTION: 0.535 AC

RIBUTARY TO SANDUSKY BAY, ULTIMATELY TRIBUTARY TO LAKE ERIE

Map unit symbol

Totals for Area of Interes

Map unit name

to 2 percent slopes

Toledo silty clay, 0 to 1

Udorthents, loamy, 0 to 6

percent slopes

percent slopes

Fulton silty clay loam, 0 | C/D

Rating

IMPERVIOUS AREA AT COMPLETION OF PROJECT: 0.817 AC

PERCENTAGE OF SITE IMPERVIOUS CHANGE: 152% INCREASE

420 SUPERIOR ST.

SITE OWNER:

SANDUSKY, OHIO 44870 LATITUDE: 41.448495° LOCATION:

ERIE COUNTY HEALTH DEPARTMENT

EXISTING CONDITIONS:
EXISTING DEVELOPED PARCEL WITH LARGE BUILDING AND PARKING LOT AND GRASS AREA. LONGITUDE: -82.743476°

PROPOSED CONDITIONS:
DEVELOPMENT OF THE SOUTH PORTION OF THE SITE WHICH WILL INCLUDE CONSTRUCTION OF A 4,380 S.F. BUILDING ADDITION, EXPANSION OF THE EXISTING PARKING LOT, AN ADDITIONAL CURB CUT, STORM SEWERS, AND

STORMWATER MANAGEMENT FOR THIS PORTION OF THE PROJECT.

PROJECT DESCRIPTION

SWPPP CONTACTS

CITY OF SANDUSKY:

CITY OF SANDUSKY DEPARTMENT OF PUBLIC WORKS CITY OF SANDUKY 240 COLUMBUS AVE. SANDUSKY, OHIO 44870

SWPPP CONTACT MELISSA FELICIANO ERIE CONSERVATION DISTRICT 2900 COLUMBUS AVE. ROOM 131 SANDUSKY, OHIO 44870 PHONE: 419-626-5211

PHONE: 419-627-5885

THE GRADING AND STABILIZATION LOG SHALL BE SUBMITTED WITH ALL WEEKLY OR AFTER RAIN EVENT REPORTS, EMAIL REPORTS TO mfeliciano@eriecounty.oh.gov.

Hancock & Associates **ENGINEERS · SURVEYORS** a division of Red Barn R

326 E. Market Street Sandusky, OH 44870 (419) 625-7838

www.hancockengineers.com

CALL BEFORE YOU DIG

PRELIMINARY PLAN

15 100					
	DES	IGN	KME	3	
	DRA	WN	KME	}	
	CHE	CKED	JRł	<	
	DATE 11 /06 /20				
	REV/SUBMITTAL BID SFT				
1000					

17.4% 55.9% 26.7% 100.0%

S 4 ERIOR (Y, OH ADDI OUNT $\dot{\mathbf{C}}$ SI $\circ z$ 옷 뜨 쪼 \sim 4 S

0

UNDERGROUND UTILITIES CONTACT BOTH SERVICES CALL TWO WORKING DAYS

BEFORE YOU DIG

Acres in AOI

2.2

1.0

3.9

Percent of AOI



1-800-362-2764 (TOLL FREE)

NON-MEMBERS



MUST BE CALLED DIRECTLY

RB PROJECT NO.: 280620

S

SHEET NO .:

SEED MIX	SEEDING RATE		NOTEC		
SEED MIX	LB/ACRE LB./1000 SF		NOTES		
GENERAL USE					
PING RED FESCUE	20-40	1/2-1	FOR CLOSE MOWING &		
STIC RYEGRASS	10–20	1/4-1/2	FOR WATERWAYS WITH		
JCKY BLUEGRASS	20-40	1/2 –1	<2.0 FT/SEC VELOCITY		
FESCUE	40-50	1–1 1/4			
-TYPE (DWARF) FESCUE	90	2 1/4			
S	STEEP BAN	NKS OR CUT	SLOPES		
FESCUE	40-50	1-1 1/4			
n vetch	10-20	1/4-1/2	DO NOT SEED LATER		
FESCUE	20-30	1/2 -3/4	THAN AUGUST		
PEA	20-25	1/2 -3/4	DO NOT SEED LATER		
FESCUE	20-30	1/2 -3/4	THAN AUGUST		
ROAD DITCHES AND SWALES					
FESCUE	40-50	1-1 1/4			
-TYPE (DWARF) FESCUE	90	2 1/4			
JCKY BLUEGRASS	5	0.1			
LAWNS					
JCKY BLUEGRASS	100-120	2			
NNIAL RYEGRASS		2			
JCKY BLUEGRASS	100-120	2	FOR SHADED AREAS		

PERMANENT SEEDING

CEED MIX	SEEDING RATE		NOTES		
SEED MIX	LB/ACRE	LB./1000 SF	NOTES		
GENERAL USE					
EPING RED FESCUE MESTIC RYEGRASS ITUCKY BLUEGRASS	20-40 10-20 20-40	1/2-1 1/4-1/2 1/2 -1	FOR CLOSE MOWING & FOR WATERWAYS WITH <2.0 FT/SEC VELOCITY		
l fescue	40-50	1-1 1/4			
F-TYPE (DWARF) FESCUE	90	2 1/4			
STEEP BANKS OR CUT SLOPES					
l fescue	40-50	1-1 1/4			
DWN VETCH L FESCUE	10-20 20-30	1/4-1/2 1/2 -3/4	do not seed later Than august		
t pea L fescue	20-25 20-30	1/2 -3/4 1/2 -3/4	DO NOT SEED LATER THAN AUGUST		
ROAD DITCHES AND SWALES					
l fescue	40-50	1-1 1/4			
F-TYPE (DWARF) FESCUE ITUCKY BLUEGRASS	90 5	2 1/4 0.1			
LAWNS					
ITUCKY BLUEGRASS ENNIAL RYEGRASS	100–120	2 2			
ITUCKY BLUEGRASS EPING RED FESCUE	100–120	2 1–1/2	FOR SHADED AREAS		
E: OTHER APPROVED SEED SPECIES MY BE SUBSTITUTED.					

SEEDING DATES	SPECIES	LB./ 1000 SF	LD/ACKE	l "
MARCH 1 TO AUGUST 15	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 (4 BUSHEL) 40 40	
	PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 40 40	2.
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	55 142 17 17	3.
	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 (3 BUSHEL) 40 40] ".
AUGUST 16 TO NOVEMBER	RYE TALL FESCUE ANNUAL RYEGRASS	3 1 1	112 (2 BUSHEL) 40 40	4.
	WHEAT TALL FESCUE ANNUAL RYEGRASS	3 1 1	120 (2 BUSHEL) 40 40	5.
	PERENNIAL RYE TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 40 40	
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	40 40 40	
NOVEMBER 1 TO FEBRUARY 29	USE MULCH ONLY OR DOR	RMANT SEEDING		

NOTE: OTHER APPROVED SPECIES MY BE SUBSTITUTED. REFERENCE: 2006 RAINWATER AND LAND DEVELOPMENT MANUAL

TEMPORARY SEEDING

SEEDING DATES	SPECIES	LB./1000 SF	LB/ACRE	1.
MARCH 1 TO AUGUST 15	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 (4 BUSHEL) 40 40	
	PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 40 40	2.
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	55 142 17 17	3.
	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 (3 BUSHEL) 40 40] "
AUGUST 16 TO NOVEMBER	RYE TALL FESCUE ANNUAL RYEGRASS	3 1 1	112 (2 BUSHEL) 40 40	4.
	WHEAT TALL FESCUE ANNUAL RYEGRASS	3 1 1	120 (2 BUSHEL) 40 40	5.
	PERENNIAL RYE TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 40 40	
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	40 40 40	
NOVEMBER 1 TO FEBRUARY 29	USE MULCH ONLY OR DOR	MANT SEEDING		1

SEEDING DATES | SPECIES | I R /1000 SE | I R/ACRE | STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND

1 1 10 AUGUST 15	TALL FESCUE ANNUAL RYEGRASS	1 1	128 (4 BUSHEL) 40 40		SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION
	PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 1 1 1	40 40 40	2.	SITE. TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTUCKY BLUEGRASS	1.25 3.25 0.4 0.4	55 142 17 17	3.	WILL NOT BE GRADED OR REWORKED FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR. THESE IDLE AREAS SHALL BE SEEDED WITHIN 7 DAYS AFTER GRADING. THE SEEDBED SHOULD BE PULVERIZED AND
	OATS TALL FESCUE ANNUAL RYEGRASS	3 1 1	128 (3 BUSHEL) 40 40)	LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY SEEDING SHOULD NOT BE POSTPONED IF IDEAL
ST 16 TO NOVEMBER	RYE TALL FESCUE ANNUAL RYEGRASS	3 1 1	112 (2 BUSHEL) 40 40	4.	SEEDBED PREPARATION IS NOT POSSIBLE. SOIL AMENDMENTS — TEMPORARY VEGETATION SEEDING RATES SHALL ESTABLISH ADEQUATE
	WHEAT TALL FESCUE ANNUAL RYEGRASS	3 1 1	120 (2 BUSHEL) 40 40	5.	STRANDS OF VEGETATION, WHICH MAY REQUIR THE USE OF SOIL AMENDMENTS. BASE RATES FOR LIME AND FERTILIZER SHALL BE USED. SEEDING METHOD — SEED SHALL BE APPLIED
	PERENNIAL RYE TALL FESCUE ANNUAL RYEGRASS	1 1 1	40 40 40] "	UNIFORMLY WITH A CYCLONE SPREADER, DRILL CULTIPACKER SEEDER, OR HYDROSEEDER. WHE FEASIBLE, SEED THAT HAS BEEN BROADCAST
	ANNUAL RYEGRASS PERENNIAL RYEGRASS CREEPING RED FESCUE KENTLICKY BLUFGRASS	1.25 3.25 0.4 0.4	40 40 40		SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE

EDING RATES SHALL ESTABLISH ADEQUATE RANDS OF VEGETATION, WHICH MAY REQUIRE HE USE OF SOIL AMENDMENTS. BASE RATES or lime and fertilizer shall be used. EDING METHOD - SEED SHALL BE APPLIED NIFORMLY WITH A CYCLONE SPREADER, DRILL JLTIPACKER SEEDER, OR HYDROSEEDER. WHEN ASIBLE, SEED THAT HAS BEEN BROADCAST

IALL BE COVERED BY RAKING OR DRAGGING ID THEN LIGHTLY TAMPED INTO PLACE USING ROLLER OR CULTIPACKER. IF HYDROSEEDING USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT

FUELING AREA AND VEHICLE AND EQUIPMENT MAINTENANCE/MATERIAL STORAGE NOTES:

- ON-SITE VEHICLE AND EQUIPMENT FUELING SHALL ONLY BE USED WHERE IT IS IMPRACTICAL TO SEND VEHICLES AND EQUIPMENT OFF-SITE FOR FUELING.
- IF ON-SITE FUELING IS NECESSARY, CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED, UTILIZING DUAL WALL TANKS OR A DIKE.
- CONTRACTOR SHALL SUPPLY, CLEARLY MARK AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE
- IN FUELING AREAS. CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT FUELING UNLESS FUELING IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA.
- FUELING AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES.
- CONTRACTOR SHALL USE FUELING NOZZLES WITH AUTOMATIC SHUT-OFFS. FUELING OPERATIONS SHALL NOT BE LEFT UNATTENDED
- CONTRACTOR SHALL PROTECT FUELING AREAS WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
- CONTRACTOR SHALL NOT "TOP-OFF" FUEL TANKS. CONTRACTOR SHALL INSPECT VEHICLES AND EQUIPMENT EACH DAY FOR LEAKS. IF LEAKS ARE FOUND, THEY MUST BE REPAIRED AND CLEANED-UP IMMEDIATELY AND/OR THE LEAKING VEHICLES OR EQUIPMENT
- REMOVED FROM THE PROJECT SITE. . CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.

VEHICLE AND EQUIPMENT MAINTENANCE/MATERIAL STORAGE AREA:

- CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED IF STORING MATERIALS, MAINTAINING OR STORING VEHICLES AND EQUIPMENT ON-SITE.
- STORAGE/MAINTENANCE AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON
- AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES. CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT MAINTENANCE
- UNLESS MAINTENANCE IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA. CONTRACTOR SHALL SUPPLY, CLEARLY MARK AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE
- CONTRACTOR SHALL PROTECT STORAG/MAINTENANCE WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
- CONTRACTOR SHALL PROVIDE IMPERMEABLE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL AND CHEMICAL DRUMS.
- CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.

PETROLEUM PRODUCTS:

IN STROAGE/MAINTENANCE AREAS.

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE, PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL ONLY BE APPLIED ACCORDING TO THE MANUFACTURERS INSTRUCTION. ALL ON-SITE VEHICLE MAINTENANCE WILL BE ACCOMPLISHED IN DESIGNATED AREAS WITH

SPILL CONTROL PRACTICES:

MANUFACTURERS RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

ALL FLUIDS BEING COLLECTED AND DISPOSED OF PROPERLY. PER OHIO EPA CGP PART B.5.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE ADDITIONAL EQUIPMENT AND MATERIALS WILL BE ADDED TO THIS LIST IF RECOMMENDED BY THE MANUFACTURER OF ANY PRODUCT TO BE USED ON THIS SITE

ALL SPILLS WILL BE CLEANED IMMEDIATELY AFTER DISCOVERY. THE OWNER, OR ITS DESIGNATED REPRESENTATIVE IS TO BE IMMEDIATELY NOTIFIED OF ANY SPILLS. THE SPILL AREA WILL BE KEPT VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH HAZARDOUS MATERIAL.

SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE OHIO EPA, REGARDLESS OF THE SIZE OF THE

SPILL CONTROL PRACTICES WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THE REOCCURRENCE OF ANY SPILL AND INCLUDE MEASURES OF HOW TO RESPOND TO SIMILAR OCCURRENCES. A DESCRIPTION OF ANY SPILL THAT OCCURS WILL BE RECORDED INCLUDING WHAT CAUSED IT AND HOW EASY IT WAS TO CLEAN UP.

THE GENERAL CONTRACTOR WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THE GENERAL CONTRACTOR WILL DESIGNATE THREE SITE PERSONNEL WHO WILL RECIEVE SPILL PREVENTION AND CLEANUP TRAINING. THE NAMES OF THESE INDIVIDUALS WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE SITE OFFICE.

NO TOXIC OR HAZARDOUS WASTES SHALL BE DISPOSED INTO STORM DRAINS, SEPTIC TANKS, OR BY BURYING, BURNING, OR MIXING WASTES.

ALL CONTAINERS USED FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES MUST BE COVERED AND

ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFS).

IN THE EVENT OF A SMALL RELEASE OF PETROLEUM WASTE (LESS THAN 25 GALLONS), PETROLEUM BASED AND CONCRETE CURING COMPOUNDS TO HAVE SPECIAL HANDLING PROCEDURES, CONTACT CONSTRUCTION MANAGER.

IN THE EVENT OF A LARGE RELEASE OF PETROLEUM WASTE (MORE THAN 25 GALLONS), OF PETROLEUM WASTE, MUST CONTACT OHIO EPA AT 1-800-282-9378, THE LOCAL FIRE DEPARTMENT 419-627-5822, AND THE LOCAL EMERGENCY PLANNING COMMISSION (POLICE DEPARTMENT) 419-627-5870 WITHIN 30 MINUTES OF THE SPILL.

LIQUIDS:

NON-HAZARDOUS LIQUIDS FROM DECONTAMINATION OR OTHER ACTIVITIES WILL BE STORED IN US DOT-APPROVED DRUMS OR HOLDING TANKS PENDING RECEIPT OF ANALYTICAL CHARACTERIZATION DATA. LIQUIDS, IF ANY, WILL BE TRANSPORTED BY A LICENSED HAULER TO AN APPROVED TREATMENT, STORAGE OR DISPOSAL FACILITY ("TSDF") OR WILL BE DISCHARGED DIRECTLY TO THE SANITARY SEWER WITH THE APPROVAL OF THE LOCAL PUBLICLY-OWNED TREATMENT WORKS ("POTW")

HAZARDOUS MATERIALS:

- HAZARDOUS WASTES, IF ENCOUNTERED, WILL BE COLLECTED DAILY AND DISPOSED OF IN SECURELY LIDDED CONTAINERS. . A SUFFICIENT NUMBER OF CONTAINERS WILL BE PROVIDED FOR HAZARDOUS BUILDING MATERIAL DISPOSAL. THESE WILL BE PROVIDED BY THE GENERAL CONTRACTOR.
- SIGNS WILL BE PLACED ON BUILDING MATERIAL STORAGE CONTAINERS AUTHORIZING THE DISPOSAL OF SOLVENTS, OIL BASED PAINTS AND STAINS, CEMENT PRODUCTS, AND ASPHALTIC MATERIALS.
- A SUFFICIENT NUMBER OF CONTAINERS WILL BE SUPPLIED BY THE GENERAL CONTRACTOR FOR THE DISPOSAL OF GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRALIC FLUID, AND ANTIFREEZE.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ASSURING THAT ALL HAZARDOUS WASTE MATERIALS ARE COLLECTED DAILY AND DISPOSED OF PROPERLY.
- SIGNS WILL BE POSTED NOTIFYING PERSONNEL THAT NO WASTE IS TO BE DISPOSED OF DOWN ANY DRAIN, OR ANY SEWER OR SEPTIC TANK, WASTES ARE NOT TO BE DUMPED ON THE GROUND, OR ANY WATERWAY, WASTES ARE NOT TO BE BURNED, BURIED, OR MIXED WITH OTHER WASTES UNLESS PERMITTED BY THE MANUFACTURER.

HAZARDOUS PRODUCTS:

THESE PRACTICES ARE USED TO REDUCE THE RISK ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESALABLE.

ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED, THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCTS MUST BE DISPOSED OF MANUFACTURE RECOMMENDED METHODS WILL BE FOLLOWED.

SOLID WASTE MATERIALS:

SOLID WASTE MATERIALS MEETING THE EPA DEFINITION OF SOLID WASTE IDENTIFIED FOR OFFSITE DISPOSAL WILL BE COLLECTED DAILY AND STORED IN SECURELY LIDDED CONTAINERS (TRASH ENCLOSURE).

- A SUFFICIENT NUMBER OF METAL DUMPSTERS WILL BE PROVIDED BY THE GENERAL CONTRACTOR. A SUFFICIENT NUMBER OF METAL TRASH CANS WITH LIDS WILL BE USED ON-SITE.
- SIGNS WILL BE AFFIXED TO WASTE CONTAINER ADVISING WHO SHOULD BE CONTACTED WHEN CONTAINERS NEED
- SIGNS WILL BE PERMANENTLY DISPLAYED AS WASTE STORAGE AREAS AGAINST DUMPING OF LIQUID OR HAZARDOUS WASTES CONTAINERS NOT SPECIFICALLY MARKED FOR SUCH DISPOSAL.
- SITE PERSONNEL WILL BE ADVISED THAT NO CONSTRUCTION RELATED MATERIALS ARE TO BE BURIED ON-SITE AND THAT DISCIPLINARY ACTIONS WILL BE TAKEN AGAINST ALL OFFENDERS OF THIS POLICY. ALL SUBCONTRACTORS WILL BE GIVEN A WRITTEN COPY OF THIS POLICY.

SANITARY WASTES:

- A SUFFICIENT NUMBER OF PORTABLE SANITARY WASTE UNITS WILL BE PLACED ON-SITE; WASTES FROM THESE UNITS WILL BE COLLECTED AS SPECIFIED BY THE WASTE HAULER.
- SIGNS WILL BE POSTED SPECIFYING WHERE NEAR BY OFF-SITE FACILITIES ARE AVAILABLE.

GOOD HOUSEKEEPING:

- THE FOLLOWING PRACTICES WILL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.
- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB. ALL MATERIALS STORED ON-SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR
- APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER LABEL
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER LABEL. SUBSTANCES WILL NOT BE MIXED UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSAL OF THE
- MANUFACTURERS RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- THE GENERAL CONTRACTOR WILL INSPECT DAILY TO INSURE PROPER USE OF ALL MATERIALS WRITTEN COPIES OF THESE PROCEDURES WILL BE DISTRIBUTED TO ALL EMPLOYEES AND SUBCONTRACTORS. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING THESE

PROCEDURES WITH SITE PERSONNEL AND FOR INSURING THAT THEY ARE ADHERED TO.

OFFSITE VEHICLE TRACKING:

- 1. AT MINIMUM, ALL STREETS SHALL BE CLEANED AT THE END OF THE WORK WEEK JUST PRIOR TO THE CLOSING OF THE SITE.
- 2. A STABALIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED WITHIN SEVEN (7) DAYS OF THE ONSET OF SITE DISTURBING ACTIVITIES.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE DAILY SWEEPING OF PAVED AREAS ADJACENT TO THE SITE ENTRANCE ON A DAILY BASIS AND PRIOR TO ENDING WORK FOR THE
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSURING THAT ALL DUMP TRUCKS HAULING MATERIALS FROM THE CONSTRUCTION SITE WILL BE COVERED WITH TARPAULINS.
- TRUCK WASH AREAS WILL ONLY BE LOCATED IN BERMED AREAS OR IN AREAS THAT DRAIN TO SEDIMENT REMOVAL BASINS.

WASTE FROM EQUIPMENT WASHING AND CONCRETE WASHOUT TO BE DISPOSED OF AT A CERTIFIED LANDFILL AND/OR TREATMENT PLANT.

ALL CONSTRUCTION & DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE 3714, OR

CONSTRUCTION & DEMOLITION DEBRIS

PROCESSED FOR RECYCLING **DUST AND DEBRIS CONTROL:**

CONTRACTOR IS TO CONTROL DUST AT ALL TIMES, INCLUDING NON-WORKING DAYS, WEEKENDS, AND HOLIDAYS. ACTIVE WORK AREAS SHALL BE WET DOWN USING CONTRACTOR'S WATER SUPPLY OR TREATED WITH DUST SUPPRESSANTS AS REQUIRED AND APPROVED. STORM WATER BMPS SHALL BE MAINTAINED AND IMPROVED, AS NECESSARY, TO LIMIT DISCHARGE OF DUST AND DEBRIS.

TEMPORARY OR PERMANENT STABILIZATION OF WORK AREAS SHALL BE PERFORMED PROMPTLY.

WET-CUTTING METHODS SHALL BE USED, WHERE FEASIBLE, FOR CUTTING CONCRETE, ASPHALT AND MASONRY.

CONTRACTOR SHALL CONTROL OFFSITE TRACKING OF DUST AND DEBRIS FROM CONTRACTOR'S VEHICLES AND CONTRACTOR'S SUBCONTRACTORS.

CONTRACTOR SHALL PERFORM STREET SWEEPING OR OTHER DUST AND DEBRIS MANAGEMENT MEASURES, AS NEEDED, TO FULFILL THE OBJECTIVES OF THIS SECTION.

CONCRETE TRUCKS

CONCRETE TRUCKS WILL ONLY BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WATER WASH WATER IN AREAS APPROVED, DESIGNATED CONCRETE WASH OUT PIT LOCATION ON SITE.

THE OWNER RESERVES THE RIGHT TO REQUIRE THE GENERAL CONTRACTOR TO EMPLOY SEDIMENT CONTROL TECHNIQUES TO LIMIT CONCRETE SPOILAGE RUNOFF.

FILTER SOCK MINIMUM SIZE 12" 12" MIN.

NOTES:

- COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF A
- FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.

PERMANENT VEGETATION.

MORE EFFECTIVE ALTERNATIVE.

PARTICLES RANGING FROM 3/8" TO 2".

- 1. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.
- 2. FILTER SOCKS ARE INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF
- 3. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF

MAINTENANCE:

WOOD STAKES

(2 PER BALE)

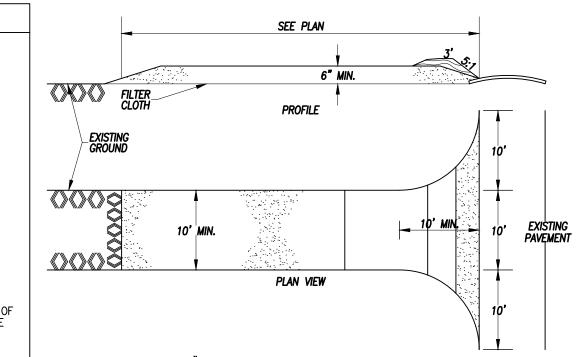
STRAW BALES

(2 HIGH)

STAPLE AS REQ.

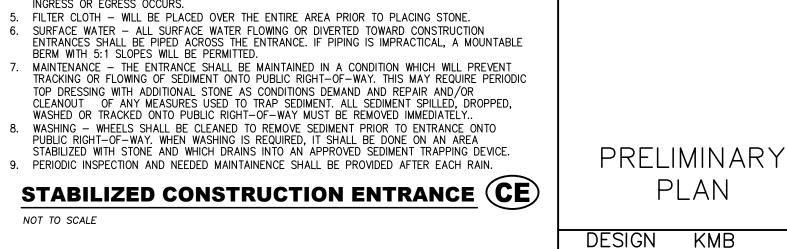
OR REBAR

- ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES. • REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THEY REACH 1/3 OF
- THE EXPOSED HEIGHT OF THE PRACTICE • WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A
- REMOVAL FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED ON SUCH AS TO FACILITATE AND NOT OBSTRUCT SEEDINGS



- 1. STONE SIZE USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. LENGTH - AS REQUIRED
- THICKNESS NOT LESS THAN SIX (6) INCHES.
- 4. WIDTH TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRÉSS OCCURS.
- 5. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
- BERM WITH 5:1 SLOPES WILL BE PERMITTED. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC
- TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED. WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY..
- WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE

STABILIZED CONSTRUCTION ENTRANCE (CE) NOT TO SCALE



ENGINEERS · SURVEYORS

326 E. Market Street

(419) 625-7838

Sandusky, OH 44870

www.hancockengineers.com

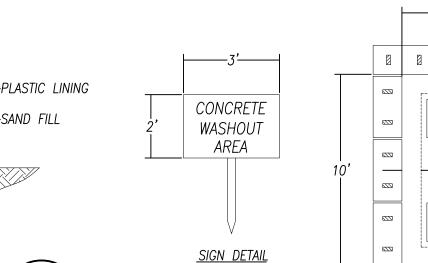
CALL BEFORE YOU DIG

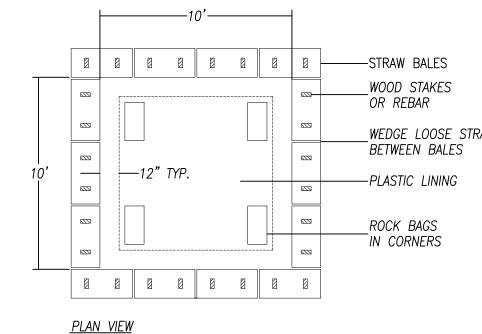
KMB

DRAWN

CHECKED JRK

a division of Red Barn R





CONCRETE WASHOUT DETAIL (CW)

— ROCK BAGS

IN CORNERS (TYP.)

1. ALL CONCRETE WASHOUT FACILITIES SHALL BE CLEANED OUT REGULARLY TO AVOID SPILLAGE OF CONCRETE OUTSIDE OF WASHOUT.

2. ALL WASHOUTS SHALL BE REPAIRED AND MAINTAINED REGULARLY.

3. CONCRETE WASHOUT TO BE APPROVED BY THE ERIE COUNTY SWCD.

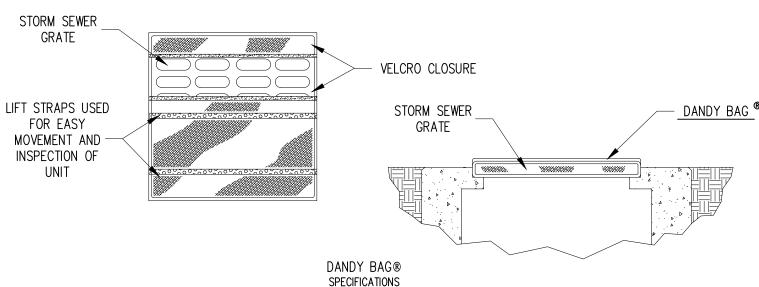
STORM DRAIN INLET PROTECTION

OPTIONS FOR USE INCLUDE DANDY BAG®, GEOTEXTILE INLET PROTECTION, OR BLOCKSOM INLET FILTER.

SECTION VIEW

STORM DRAIN INLET PROTECTION CONSISTS OF A GEOTEXTILE BARRIER SUPPORTED AROUND OR ACROSS A STORM INLET. IT IS USED TO PREVENT SEDIMENT-LADEN WATER FROM ENTERING A STORM DRAIN SYSTEM, IT REDUCES THE RATE AT WHICH SEDIMENT-LADEN WATER MAY ENTER AN INLET, THEREBY CAUSING PONDING AND SETTLING OF SEDIMENT.

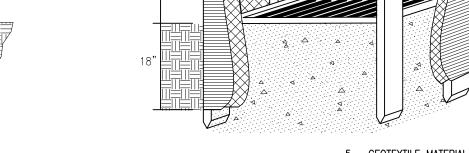
2"x4" FRAME



NOTE: THE DANDY BAG® WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS: HI-FLOW DANDY BAG® (SAFETY ORANGE)

Mechanical Properties	Test Method	Units	MARV	
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) X 0.89 (200)	
Grab Tensile Elongation	ASTM D 4632	%	24 X 10	
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)	
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)	
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) X 0.33 (75)	
UV Resistence	ASTM D 4355	%	90	
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)	
Flow Rate	ASTM D 4491	1/min/m²(gal/min/ft²)	5907 (145)	
Permittivity	ASTM D 4491	Sec ⁻¹	2.1	
*Note: All Dandy Bags® can be ordered with our optional oil absorbent pillows				

DANDY BAG® (IP



1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL

2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY

TO A DEPTH OF 18 INCHES. 3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT

ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.

- 4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.

GEOTEXTILE OVER

WIRE MESH BACKING

- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

REFERENCE: 2006 RAINWATER AND LAND DEVELOPMENT MANUAL

GEOTEXTILE COVERS OR PRE-FABRICATED INLET PROTECTION DEVICES SHALL BE SUBMITTED FOR APPROVAL BEFORE USE.

GEOTEXTILE INLET PROTETION

COMPACT BACKFILI AROUND INLET 0 HEE WP S C

SHEET NO .:

T NAME: DADITION OUNTY GENE

مَ لـ ٨

S 4

ERIOR <7, OH

SI

 $\circ z$

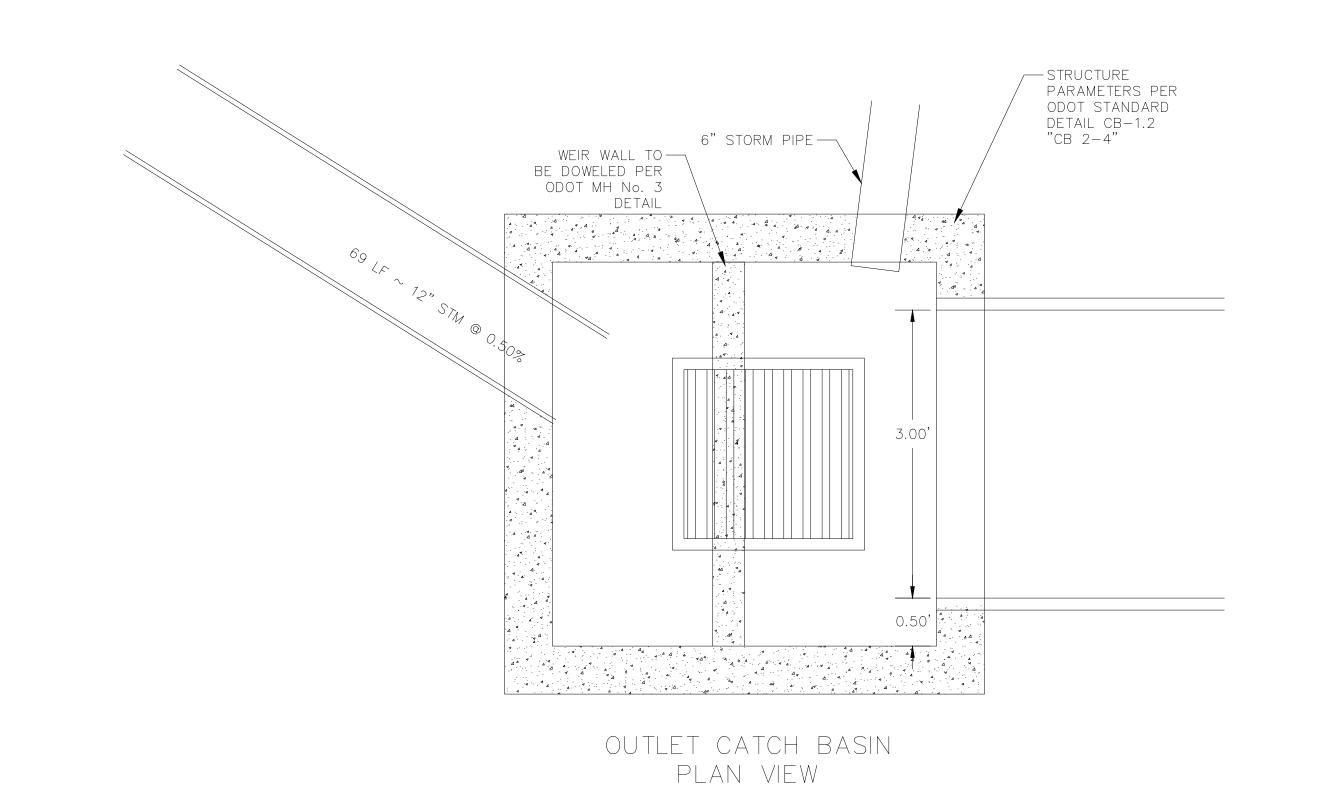
 \sim

4 S

CT

PR

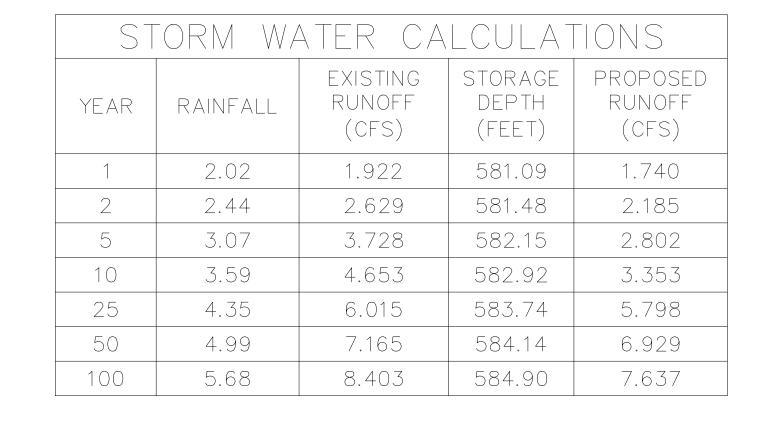
RB PROJECT NO.: 280620



4 4 4 4 4

CATCH BASIN WEIR WALL

CROSS SECTION



CATCH BASIN OUTLET STRUCTURE

SCALE: NTS

PRELIMINARY PLAN DESIGN KMB DRAWN KMB CHECKED JRK DA/

Hancock & Associates

ENGINEERS · SURVEYORS

326 E. Market Street

Sandusky, OH 44870

www.hancockengineers.com

CALL BEFORE YOU DIG

(419) 625-7838

a division of Red Barn 👔

ST. 44

PROJECT ADDRESS 420 SUPERIOR SANDUSKY, OH PROJE OFFICE ERIE

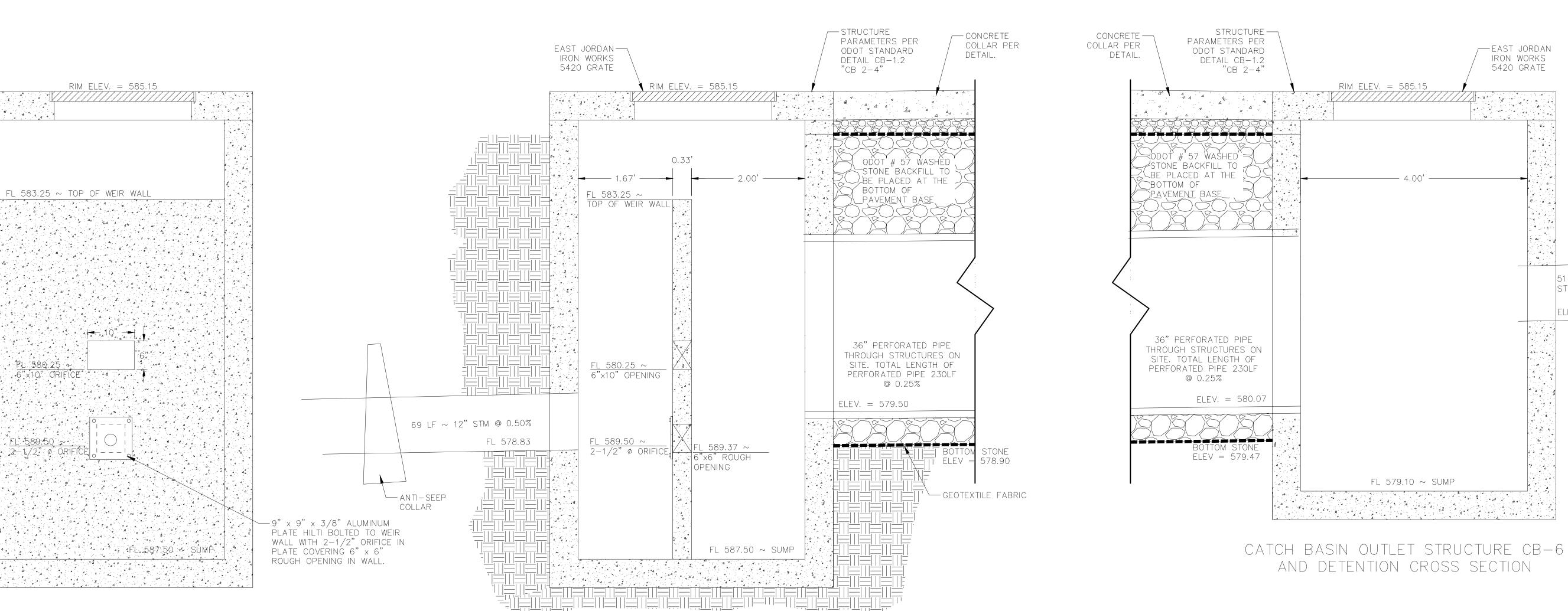
51 LF ~ 12" STM @ 0.50%

ELEV.= 582.10

TITLE: SHEET TI-SWPPP DETAIL

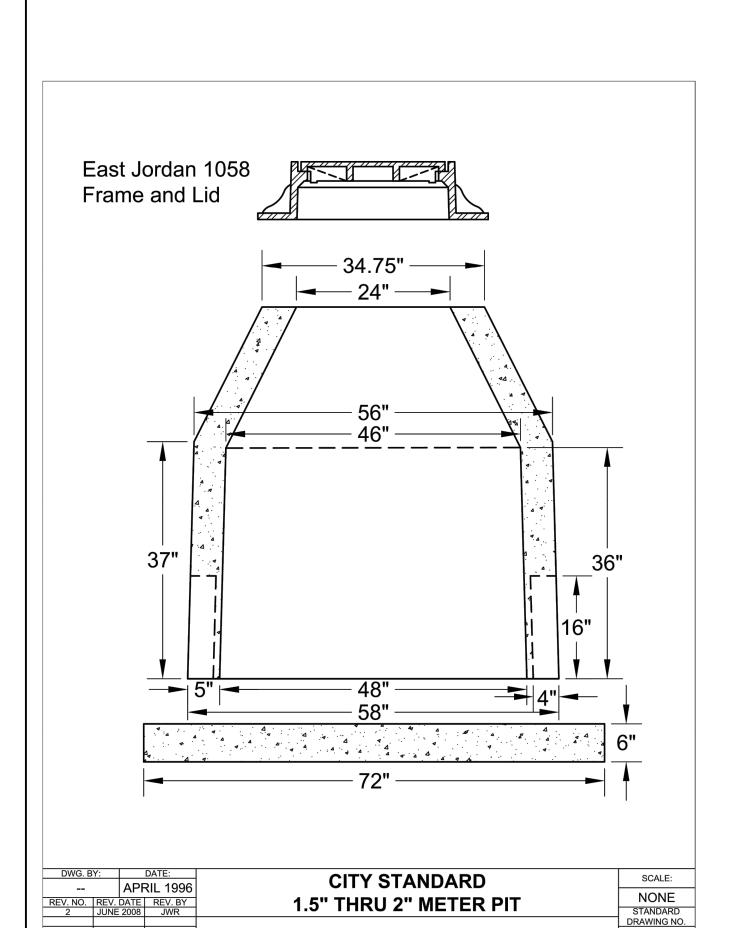
SHEET NO .: C4.3

RB PROJECT NO .: 280620



CATCH BASIN OUTLET STRUCTURE CB-1

AND DETENTION CROSS SECTION



MP-2

1 OF 1

TYPICAL TRENCH REPAIR

IN EXISTING ASPHALT PAVEMENT

SEE NOTES 3 AND 4. — FINISH

SURFACE COURSE (448) (THICKNESS VARIES)

2-1/2" ASPHALT CONC.,

TACK COAT -

EX. ASPHALT PAVEMENT -

- 5/8" Ø TRANSVERSE

REINF. RODS,

COMPACTED ODOT

COMPACTED NO. 8 LIMESTONE

NONE

STANDARD

DRAWING NO.

TR-4

DWG. BY: DATE:

APRIL 1996

CITY OF SANDUSKY

DEPARTMENT OF PUBLIC WORKS

--

6" IN ROCK CUT

NO. 304 STONE

AT 12" CENTERS

✓ GRADE

PAVEMENT

SUBGRADE

CITY OF SANDUSKY

TYPICAL TRENCH REPAIR

IN EXISTING **CONCRETE** PAVEMENT 8" REINF. PCC PAVEMENT (451)

QCMS CONCRETE

FINISH GRADE

SEE NOTE 1.

REPLACE PAVEMENT A MINIMUM OF 12" ON EACH SIDE OF TRENCH.

EX. CONCRETE PAVEMENT

(THICKNESS VARIES)

SEE NOTE 3.

PAVEMENT -

SUBGRADE

1/2" Ø LONGITUDINAL

SPACED AS SHOWN

REINF, RODS.

EXCAVATION PAY LINE, FOR PIPE SIZE UP TO 24",

USE I.D. PLUS 20". FOR PIPE SIZE OVER 24",

USE O.D. PLUS 24".

JULY 2005

| REV. NO. | REV. DATE | REV. BY | 1 | JUNE 2008 | JWR | 2 | JUNE 2016 | JRK | 3 | NOV 2019 | JEC | CITY OF SANDUSKY

DEPARTMENT OF PUBLIC WORKS

- TRENCH WIDTH

2. PAVEMENT SECTION SHALL BE AT LEAST EQUIVALENT TO EXISTING PAVEMENT, BUT IN NO CASE LESS THAN THAT

CONCRETE SHALL BE SAWED BEFORE REMOVING SO AS TO PRESERVE A NEAT LINE FOR THE ENTIRE LENGTH OF THE

4. ALL VERTICAL EDGES OF EXISTING ASPHALT CONCRETE SHALL BE TACK COATED. SEAL JOINT WITH AC-20, FOR 448.

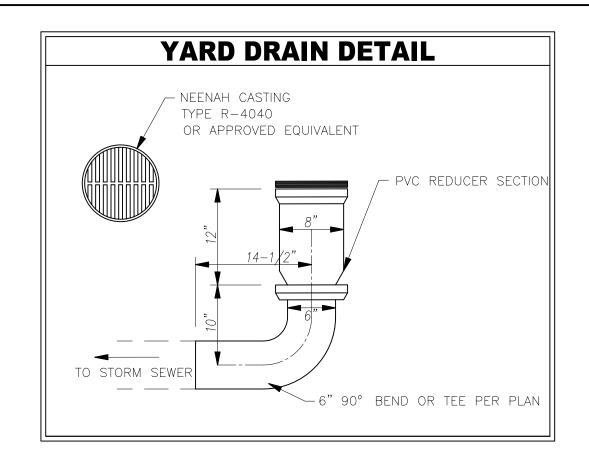
TRENCH REPAIR SECTION

IN EXISTING PAVEMENT

3. DIAMOND SAW CUT EXISTING PAVEMENT AND RE-PAVE TO A CLEAN, STRAIGHT EDGE (TYP.). <u>DO NOT REMOVE</u> PAVEMENT OUTSIDE OF THE TRENCH NEAT LINE UNTIL AFTER THE TRENCH HAS BEEN BACKFILLED. THE EXISTING

DEPARTMENT OF PUBLIC WORKS

. WHEN TRENCH AND EXCAVATION IS IN AN EXISTING PAVED STREET, DRIVE APPROACH, OR OTHER PAVED SURFACE,



PAVEMENT SUBGRADE COMPACTED ODOT NO. 304 STONE **EXCAVATION** PAY LINE COMPACTED NO. 8 LIMESTONE 4" IN EARTH CUT — TRENCH WIDTH -6" IN ROCK CUT PAY LINE: FOR PIPE SIZE UP TO 24", USE I.D. PLUS 20" FOR PIPE SIZE OVER 24", USE O.D. PLUS 24"

TRENCH REPAIR SECTION

IN PROPOSED PAVED AREAS

NONE

1 OF 1

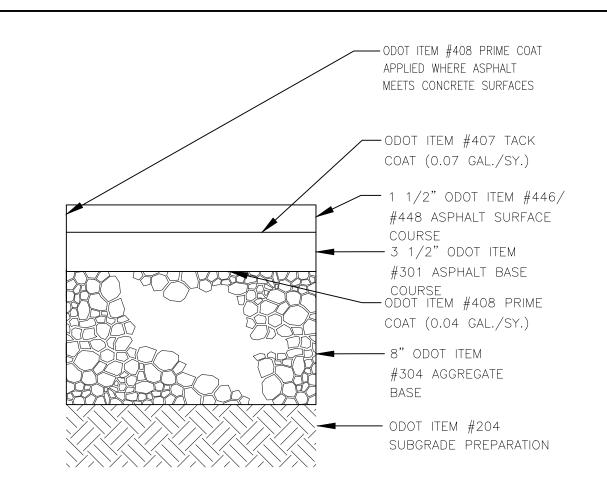
BROOM FINISH — 6" ODOT ITEM #451 1 LAYER 6" X 6" / W2.9 X W2.9 WELDED WIRE AT MIDPOINT 6" MIN ODOT ITEM #304 AGGREGATE BASE. ADDITIONAL AGGREGATE MATERIAL MAY BE REQUIRE TO MEET SUBGRADE. — ODOT ITEM #204 SUBGRADE PREPARATION

NORMAL DUTY CONCRETE **PAVEMENT SECTION**

NOT TO SCALE

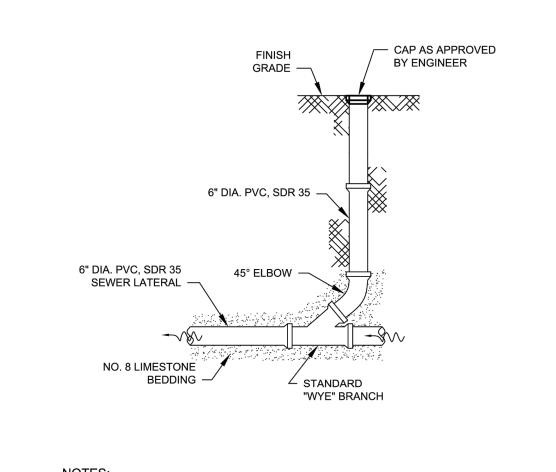
NOTE:

SEE TYPICAL CONSTRUCTION JOINT DETAIL FOR DOWEL REQUIREMENTS.



ASPHALT PAVEMENT SECTION HEAVY DUTY

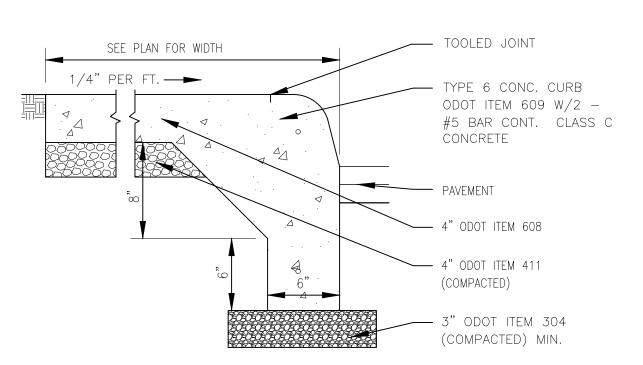
NOT TO SCALE



1. Cleanout pipe to be same size and material as sewer lateral or main, up to 8".

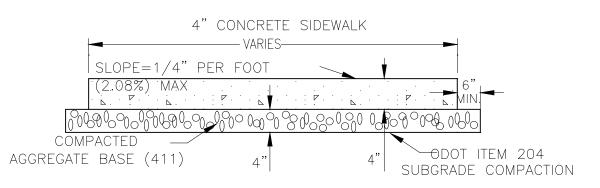
- 2. Backfill to top of 45° bend with No. Crushed Limestone.
- 3. Encase cap in 6" Class C Concrete collar if cleanout is located in a paved surface.

DWG. BY: DATE: SCALE JWR | AUG 2008 SEWER LATERAL CLEANOUT NDNE REV. NO. REV. DATE REV. BY STANDARD STANDARD DRAWING NO. DRAWING NO. TR-3 CITY OF SANDUSKY TR-7 DEPARTMENT OF PUBLIC WORKS



CONCRETE WALK WITH INTEGRAL TYPE 6 CURB

- 1. SIDEWALKS TO BE A MINIMUM OF 4" THICK WITH TOOLED JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO TRAVEL DIRECTION.
- 2. CONCRETE FOR SIDEWALKS SHALL BE CLASS C AND CONFORM TO ODOT ITEM 499 WITH
- 3. SEE ARCHITECTURAL SITE PLAN FOR JOINT SPACING AND DIMENSIONS. (IF AVAILABLE)
- 4. CONSTRUCTION JOINTS SHALL BE FORMED AROUND ALL APPURTENANCES SUCH AS MANHOLES OR UTILITY POLES EXTENDING INTO AND THROUGH THE SIDEWALK.
- 5. EXPANSION JOINT FILLER 1/4" THICK SHALL BE INSTALLED BETWEEN THE WALK AND FIXED STRUCTURE EXTENDING THE FULL DEPTH OF THE WALK.
- 6. DEPTH OF SAWCUTS SHALL BE 1/4 THE THICKNESS OF THE WALK.
- 7. A UNIFORM APPLICATION OF CURING MEMBRANE SHALL BE APPLIED TO THE EXPOSED SURFACES OF CONCRETE IN ACCORDANCE WITH ODOT ITEM 451.



CONCRETE SIDEWALK ODOT ITEM 608

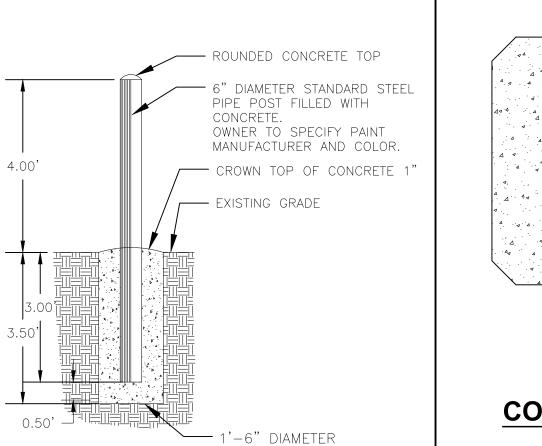
NOT TO SCALE

- SIDEWALKS TO BE A MINIMUM OF 4" THICK WITH TOOLED JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO TRAVEL DIRECTION.
- 2. CONCRETE FOR SIDEWALKS SHALL BE CLASS QC1 OR QC MISC. AND CONFORM TO ODOT ITEM 499.
- 3. SEE ARCHITECTURAL SITE PLAN FOR JOINT SPACING AND DIMENSIONS. (IF AVAILABLE)
- . CONSTRUCTION JOINTS SHALL BE FORMED AROUND ALL APPURTENANCES SUCH AS MANHOLES OR UTILITY POLES EXTENDING INTO AND THROUGH THE SIDEWALK.
- EXPANSION JOINT FILLER 1/2" THICK SHALL BE INSTALLED BETWEEN THE WALK AND FIXED STRUCTURE EXTENDING
- THE FULL DEPTH OF THE WALK. 6. THE SURFACE OF THE WALK SHALL HAVE A TRAVERSE SLOPE
- OF 1/4" PER FOOT, WITH THE LOW SIDE ADJACENT

BOLLARD DETAIL

NOT TO SCALE

- 7. DEPTH OF SAWCUTS SHALL BE 1/4 THE THICKNESS OF THE
- 8. A UNIFORM APPLICATION OF CURING MEMBRANE SHALL BE APPLIED TO THE EXPOSED SURFACES OF CONCRETE IN ACCORDANCE WITH ODOT ITEM
- 9. WHEN THE SIDEWALK IS IN THE RIGHT OF WAY AND ADJACENT TO A CURB, SIDEWALK SHALL BE A MINIMUM OF FIVE FEET (5') WIDE.
- 10. WHEN A SIDEWALK IS ADJACENT TO A CURB WITHIN THE RIGHT OF— WAY, SIDEWALK SHALL BE A MINIMUM OF 7'-6" WIDE.
- 11. CONCRETE FOR SIDEWALKS SHALL BE CLASS C AND CONFORM TO ODOT ITEM 499 WITH 6X6-W2.9X2.9 WWF.



NOTE:

CONCRETE TO BE ODOT ITEM #452 8" CLASS C CONCRETE W/ FIBER MESH REINFORCEMENT.

oZPR(OFF \nearrow 4 N ALE ALE SHEET GENI SHEET NO .: C5.0

ü ⊢ ≻

T NAMI ADDI OUNT

.N 4

SUPERIOR IDUSKY, OH

CT

Hancock & Associates

ENGINEERS · SURVEYORS

326 E. Market Street

Sandusky, OH 44870

www.hancockengineers.com

CALL BEFORE YOU DIG

PRELIMINARY

PLAN

DESIGN KMB

DRAWN KMB

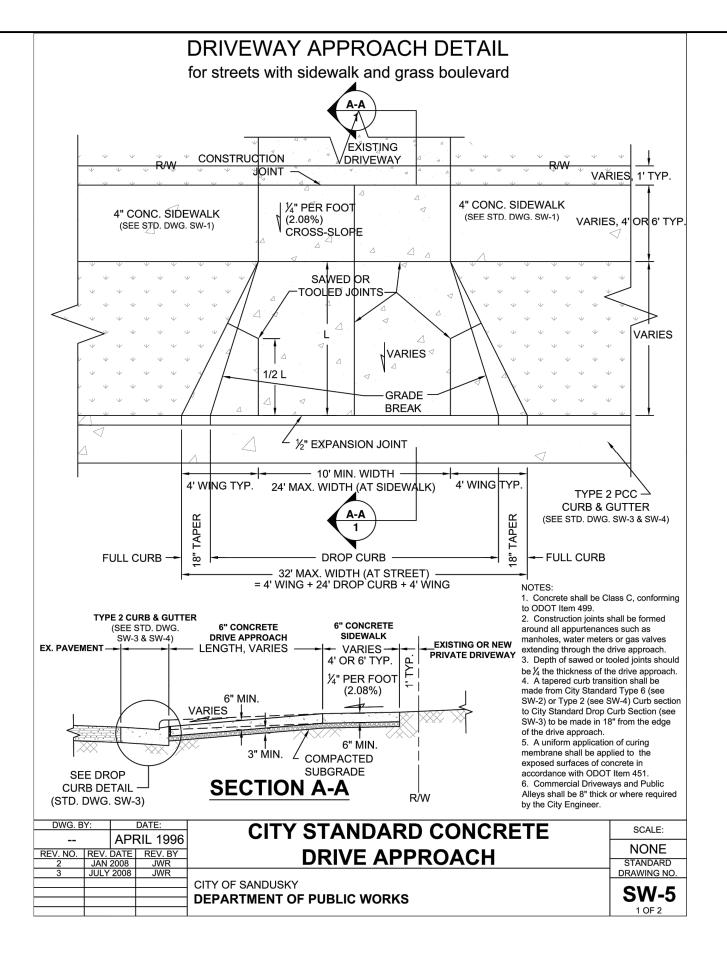
CHECKED JRK

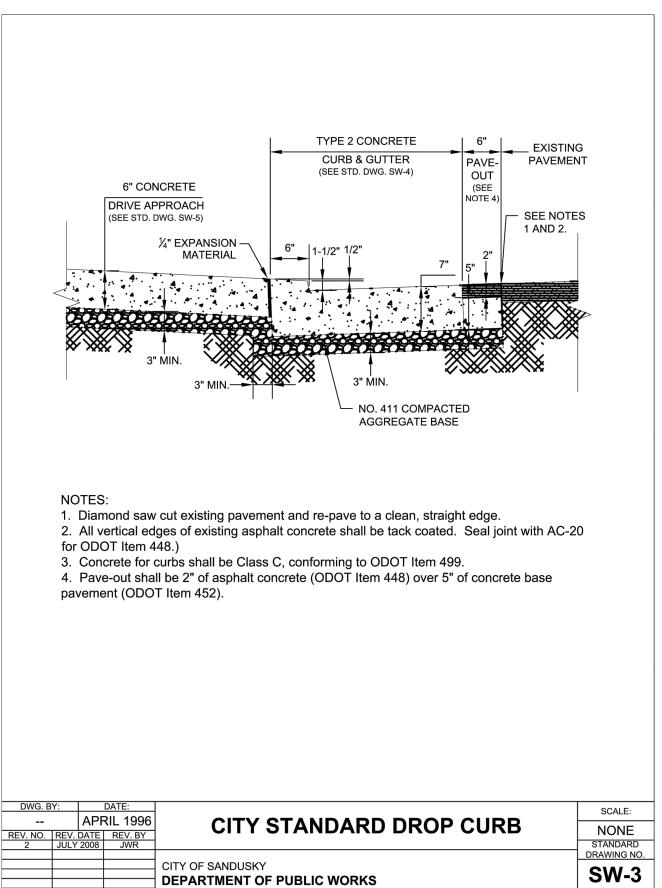
(419) 625-7838

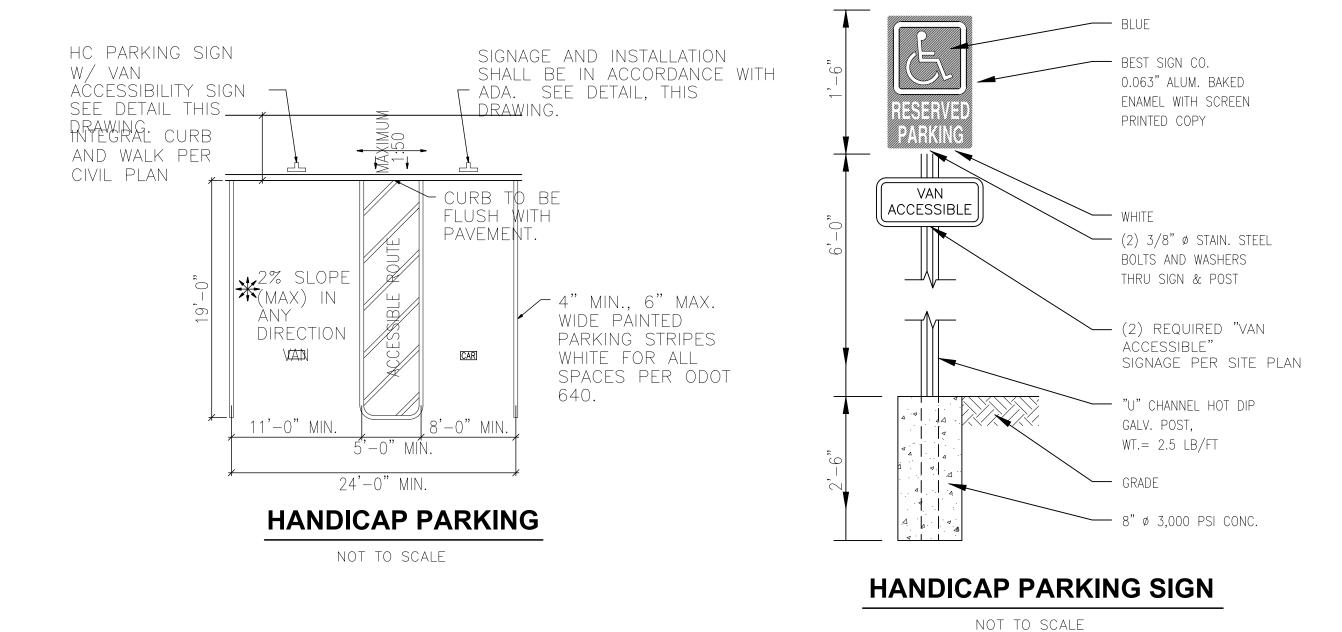
a division of Red Barn 🔞

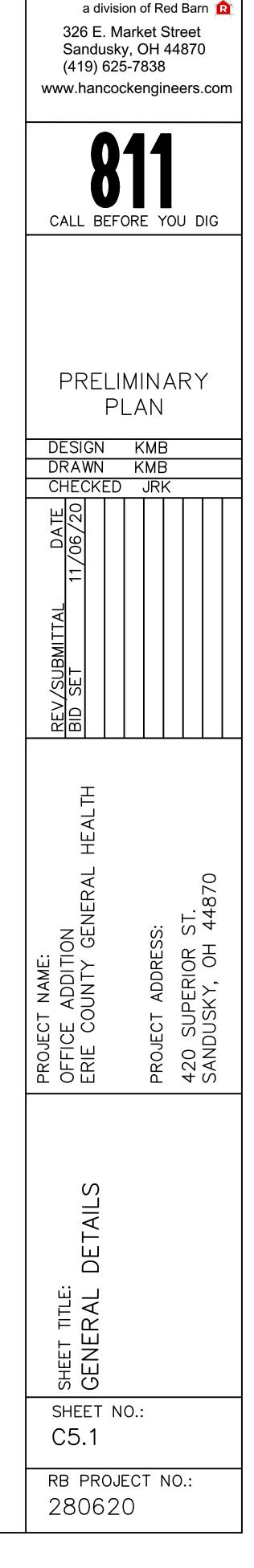
CONCRETE COLLAR NOT TO SCALE

RB PROJECT NO .: 280620



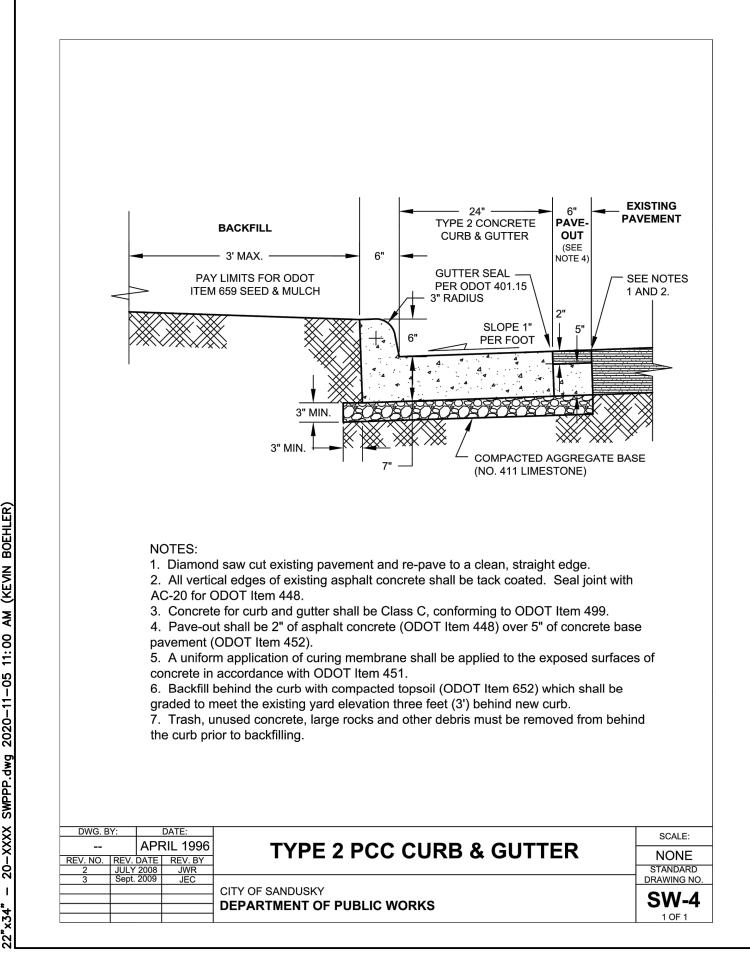






Hancock & Associates

ENGINEERS · SURVEYORS



CITY OF SANDUSKY, OHIO PLANNING DEPARTMENT

PLANNING COMMISSION REPORT

APPLICATION FOR SITE PLAN APPROVAL FOR 2101 W PERKINS AVENUE.

Reference Number: PSPOS-0001

Date of Report: January 20, 2021

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

Rosalyn Ahner, as an authorized agent of RL Ahner Properties LLC., has applied for site plan approval for 2101 W. Perkins Avenue. The following information is relevant to this application:

Applicant: RL Ahner Properties LLC

5214 Ransom Road Sandusky, Ohio 44870

Authorized Agent: Rosalyn Ahner

5214 Ransom Road Sandusky, Ohio 44870

Site Location: 2101 Perkins Avenue/Parcel 58-68009.000

Current Zoning: "LM" – Limited Manufacturing

Surrounding Zoning: North- "PF" Public Facilities / Use: Wooded area and golf course

East- "PF" Public Facilities / Use: Religious Institution

South- "I-2" Heavy Industrial (Perkins Township)/Use: Land

West- "PF" Public Facilities / Use: Golf Course

Existing Use: Vacant

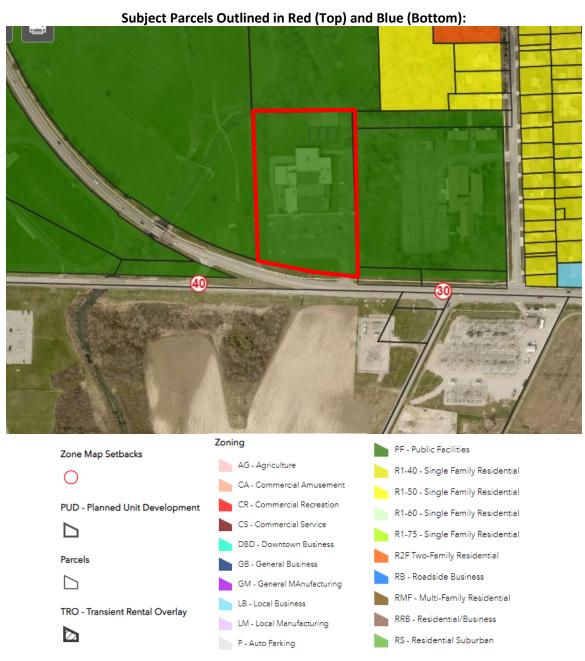
Proposed Use: Light manufacturing – metal storefronts

Applicable Plans & Regulations: 1149 Site Plan Review and Off-Street Parking

1139 Manufacturing Districts

SITE DESCRIPTION

The subject property is currently located within a "LM" Limited Manufacturing District. The subject property is adjacent to other "PF" Public Facilities zoned parcels and to "I-2" Heavy Industrial property located to the South in Perkins Township. The parcel of the subject properties are pointed out below but the Zone Map has not been updated to reflect the new zoning classification yet:





Perkins Township Zoning in relation to site



I-2 - Heavy Industrial

Photo of site



PLANNING DEPARTMENT COMMENTS

This parcel is mostly adjacent to other public facilities districts, and to the north is land that is zoned heavy industrial in Perkins Township. The applicant is proposing the rezoning of this land as they look to relocate their light manufacturing facility to Sandusky to provide jobs and ancillary benefits to the community.

While the loss of the YMCA has left a vacancy for recreation in Sandusky the repurposing of the building for a light manufacturing use could offer great opportunity for the neighborhood and Sandusky. The applicant is not only looking to move their business into Sandusky but also use portions of the building as spaces for other companies to also utilize, with the potential of some of it being a 'makerspace' or co-work type concept, however final decisions on the remaining space is still to be determined.

The building itself is not likely to be able to be re-used as a public facilities use any longer as its floorplan is not easily adaptable for modern codes required for a recreational facility. The building has also been vandalized, and now sits in a somewhat precarious state of disrepair. Staff believes it is important to be reminded that the property directly to the south of this property is zoned for a much higher industrial use.

The applicant has worked with the Planning Department on ensuring there is an appropriate number of parking spaces, for the current proposed use, as well as future expansion. The site will also be enhanced with the addition of a large landscaped island in the middle of the parking area that will include canopy trees and shrubbery, as required by code.

The 74 proposed parking stalls would be sufficient for a factory of 96,000 SF of gross floor area. The applicant is also proposing stall widths and depths greater than required by code which, while not ideal from a stormwater perspective can leave room for more parking stalls in the future if expansion occurs.

The applicant also shows additional canopy trees through the site and along the Perkins Avenue frontage. They are also proposing to reuse the existing light fixtures on site. While not full dark sky light fixtures, they appear to have the ability to be tilted down to reduce light pollution.



ENGINEERING STAFF COMMENTS

The City Engineer has reviewed the proposed site plan and did relay some feedback about potentially adding an additional access aisle to the site at a future date.

This was left with this statement:

"This can be reviewed at the point when occupancy and ultimately traffic generated by this development becomes burdensome. I'm just recalling some safety concerns we previously had when it was a Y. The speeds around this curve area have been notably concerning in the past."

BUILDING STAFF COMMENTS

The City Building Official has reviewed the proposed site plan and has expressed no objections.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the proposed site plan and has expressed no objections.

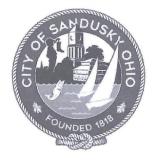
FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the proposed site plan and has expressed no objections.

CONCLUSION/RECOMMENDATION

In conclusion, staff continues recommends the approval of the proposed site plan for 2101 W Perkins Avenue with the following conditions:

1. All applicable permits are obtained through the Building Department, Public Works Department, or any other applicable departments or agencies.



PLANNING COMMISSION

Application for Site Plan Approval

Department of Planning 240 Columbus Ave Sandusky, Ohio 44870 419.627.5891 www.cityofsandusky.com

APPLICANT/AGENT INFORMATION:	
Property Owner Name:	RDMJA, LIC
Property Owner Address:	933 Lakeshore Dr.
	Kelley Sland, BH 43438
Property Owner Telephone:	419 366 6206
Property Owner Email:	RAnner @ ahner commercial.com
Authorized Agent Name:	RosalynAhner
Authorized Agent Address:	5214 Ranson Rd
	Saudusky 07+ 44870
Authorized Agent Telephone:	419 366 6206
Authorized Agent Email:	RAhner Cahner commercial, com
LOCATION AND DESCRIPTION O	F PROPERTY:
Municipal Street Address:	2101 Perlins Ave. Sounduskey DH Jugoto
Legal Description of Property (check property deed for description): Land fronting Perkins Are and Mills Creek Golf Course	
Parcel Number: 58~(\$7009 -	-000 Zoning District: Ward 3

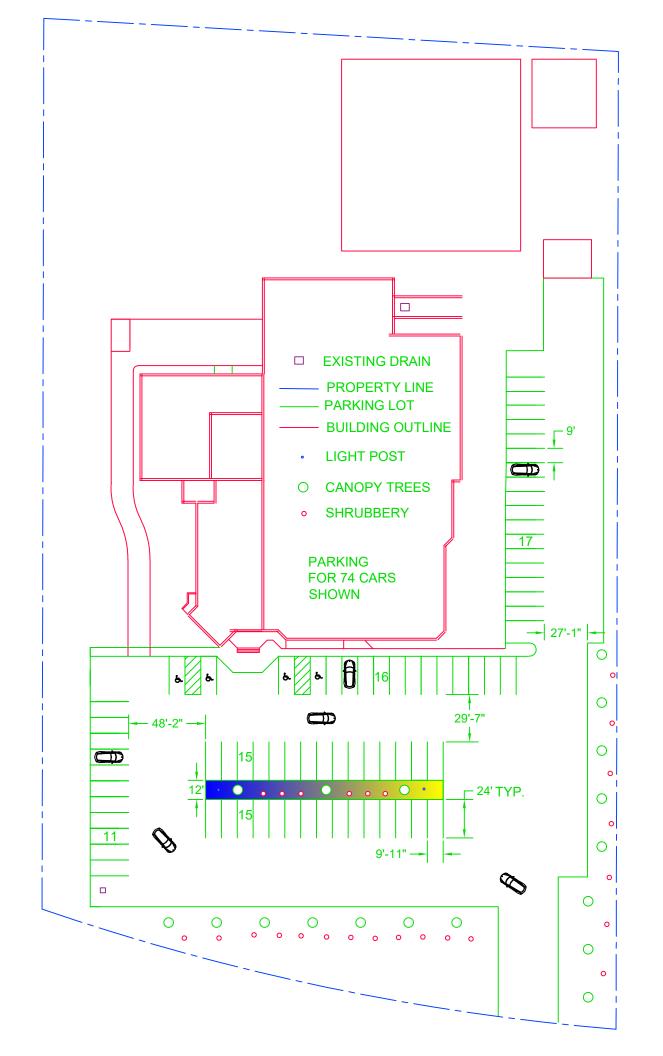
PROPOSED DEVELOPMENT (check those that apply):
New Construction (new building(s)) Addition to Existing Building(s) Change of Use in Existing Building(s)
Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):
We intend on using the existing 40K Soft. building to manufacture and distribute commercial doors and
Hours of Operation 8:00 cm - 5:00 pm Monthrough Fre
as well as the interior of the building over the
next 18 months

UPDATED 7/23/2019

Page 3 of 7

APPLICATION #PC-001

APPLICATION AUTHORIZATION:	
If this application is signed by an agent, autlegal owner is required. Where owner is a authorization should be by an officer of the seal. Rasalyn (Ann.)	corporation, the signature of ecorporation under corporate
Signature of Owner or Agent	Date
PERMISSION TO ACT AS AUTHORIZED AGEN	
As owner of	_ (municipal street address of
property), I nereby authorize	to act on my
behalf during the Planning Commission app	proval process.
Signature of Property Owner	Date
REQUIRED SUBMITTALS: 15 copies of a site plan/off-street parking pl \$25.00 application fee APPLICATION MUST BE FILLED OUT CO	
STAFF USE ONLY:	
Date Application Accepted:	Permit Number:
Date of Planning Commission Meeting:	
Planning Commission File Number:	
APPLICATION #PC-001 UPDATED 7/23/201	19 Page 4 of 7



PLANNING COMMISSION REPORT

APPLICATION FOR A SPECIAL RESIDENCY
OCCUPANCY PERMIT FOR 333 E WASHINGTON
STREET TO ALLOW FOR THE RE-ESTABLISHMENT
OF A RESIDENTIAL, NONCONFORMING USE
WHERE A PRIOR LEGAL NONCONFORMING
RESIDENTIAL USE HAS EXPIRED AND THE
STRUCTURE STILL REMAINS.

Reference Number: PSR020-0001

Date of Report: January 19, 2021

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

David Maison, on behalf of Name One Yellowstone LLC, has submitted an application an application for a Special Residency Occupancy Permit for 333 E Washington Street to allow for the re-establishment of a residential, nonconforming use where a prior legal nonconforming residential use has expired and the structure still remains. The following information is relevant to this application:

Applicant: Name One Yellowstone LLC

333 E Washington Street Sandusky, Ohio 44870

Authorized Agent: David Maison

32110 Deerfield Drive Avon Lake, OH 44012

Site Location: 333 E Washington Street

Zoning: "DBD" - Downtown Business

Adjacent Zoning: North: "DBD" – Downtown Business

East: "R2F" – Residential Two-Family South: "R2F" – Residential Two-Family West: "R2F" - Residential Two-Family

Existing Uses: Vacant

Proposed Uses: Residential/Transient Rental

Additional Parking: 6 – on site

10 – on street

Applicable Plans & Regulations: Sandusky Zoning Code Chapter

Chapter 1149 Site Plan Review & Off-Street Parking

Chapter 1129 Residential Districts

Chapter 1151.03 Special Residential Occupancy Permit.

SITE DESCRIPTION

The subject property is 333 E Washington Street located at the corner of Franklin Street and Washington Street. The site is nearby the core of downtown, the waterfront, some residential housing to the south and, and near other parcels zoned "DBD" – Downtown Business. The area is zoned "DBD" Downtown Business District, which permits the following:

1133.07 DOWNTOWN BUSINESS DISTRICT; INTENT.

The purpose of this district is to allow for a variety of mixed uses including business, commercial, and residential. This district was created to specifically address downtown, water-related, residential and mixed-use activities. This district shall promote density of uses and the increase of tourism related activities in the downtown area in general. The goal of these regulations is to maintain continuity in the development of the land and implementation of the goals of the Port Development Plan, while preserving the character of downtown.

1133.08 PERMITTED BUILDINGS AND USES; DOWNTOWN BUSINESS DISTRICT.

- (a) Main Buildings and Uses.
 - (1) Single, two and multi-family residential uses above the first floor.
 - (2) All stores and services permitted in the General Business District;
- (3) Public uses as follows and as defined in Section <u>1123.02</u>: governmental, civic, education, religious, recreational and transportation.
 - (4) Transient Occupancy.
- (b) <u>Similar Main Uses.</u> Any other business, service or recreation activity not listed above or in any subsequent use classification and determined as similar by the Commission.
- (c) <u>Conditional Uses Permitted:</u> Outdoor recreational facilities such as beaches, waterparks, amphitheaters, marinas, swimming pools, etc.
 - (d) Accessory Buildings or Uses:
- (1) Accessory off-street parking and loading facilities as required and set forth in Chapter 1149;
- (2) Any accessory use and building clearly incident to the conduct of a permitted main use, providing the use has no injurious effect on adjoining residential districts.

(Ord. 17-088. Passed 5-8-17.)

1151.03 SPECIAL RESIDENTIAL OCCUPANCY PERMIT.

Only for a legal nonconforming residential use, may a special residential occupancy permit be granted to allow for the re-establishment of a residential, nonconforming use where a prior legal nonconforming residential use has expired and the structure still

remains. The expired legal nonconforming residential use may be reinstated provided the following standards are fulfilled and the Planning Commission grants a permit.

- (a) The proposed residential use shall be harmonious and in accordance with the intent of the residential district in which it is to be located and other objectives of this Zoning Code and the Comprehensive Plan.
- (b) The proposed residential use shall be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and shall not change the essential character of the same area.
- (c) The proposed residential use shall not be in conflict with existing or future neighboring uses.
- (d) The proposed residential use shall be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer services; or the person or agencies responsible for the establishment of the proposed use shall be able to provide any service adequately.
- (e) The proposed re-institution of the nonconforming residential use shall not be detrimental to any existing uses, activities, processes, materials, equipment or conditions in the neighborhood.
- (f) The cost of improvements to the existing nonconforming building to bring such structure up the standards established by the City Building Code shall not be greater than sixty percent (60%) of the value of the building structure. The Building Official may require that the value of the building be established by an appraisal submitted by a qualified appraiser.
- (g) The Planning Commission may revoke the special residential use permit if the property is not maintained in a manner that would conform to the policies detailed above.
- (h) The initial application shall have a processing fee established by the City Manager and approved by the City Commission and published in the Index of Fees maintained by the Community Development Department.
- (i) It is required that the Special Residential Occupancy Permit be annually renewed. No fee is required for the annual renewal.

(Ord. 02-191. Passed 12-9-02.)

A picture of the property along with a location map are found below.

333 E Washington Street





Zone Map - Parcels Indicated





DIVISION OF PLANNING COMMENTS

The applicant is proposing to rehab the existing residential structure in hopes that it can continued to be utilized for residential purposes, as well as for transient occupancy use. Both uses are permitted within the Downtown Business District. The applicant is also increasing on site parking for the site with 6 on-site spaces and is requesting that Planning Commission waives

the remaining requirement for 10 more spaces as the applicant believes there is adequate on street spaces nearby.

The reason for the Special Residency Occupancy Permit is due to the fact that the Downtown Business District does not permit residential on the first floor. However, this building was built as a residence and has been used for residential purposes. This Special Residency Occupancy Permit will allow the new property owner to move forward in their rehabilitation of the property and ensure that the building is in good repair. This property is not located with a historic district nor is it individually listed, but it is on the Ohio Historic Inventory.

Staff believe that the standards set forth is section 1151.03 can be fulfilled for the Special Residency Occupancy Permit. The proposed residential use will be harmonious and in accordance with the intent of the residential district in which it is to be located and other objectives of this Zoning Code and the Comprehensive Plan. It is staffs understand that the applicant is proposing to rehabilitate the building so that it is designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and shall not change the essential character of the same area. As the property sits on the same block with other Downtown Business zoned parcels staff believes that the proposed residential use shall not be in conflict with existing or future neighboring uses. Staff also believes the property is adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer services; and that the proposed re-institution of the nonconforming residential use shall not be detrimental to any existing uses, activities, processes, materials, equipment or conditions in the neighborhood.

Staff would also like to note that the Planning Commission may revoke the special residential use permit if the property is not maintained in a manner that would conform to the policies detailed above.

ENGINEERING STAFF COMMENTS

The City Engineer is currently reviewing the application and has not supplied comments at time of report writing.

BUILDING STAFF COMMENTS

The City Building Official has reviewed the application and has no concerns regarding the proposal.

POLICE DEPARTMENT COMMENTS

The City Police Chief has reviewed the application and has no objections to the proposal.

FIRE DEPARTMENT COMMENTS

The City Fire Chief has reviewed the application and did have questions about sprinkling the facility. These questions were relayed to the Building Department.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends Planning Commission grant a Special Residency Occupancy Permit for 333 E Washington Street with the following conditions:

- 1. Unless otherwise requested by Planning Commission, the Special Residency Occupancy permit will be administratively reviewed annually.
- 2. Planning Commission could request a parking management plan from the applicant if consistent complaints are heard from neighboring property owners and residents.



PLANNING COMMISSION

Application for Approval

Department of Planning 240 Columbus Ave Sandusky, Ohio 44870 419.627.5891

	www.cityotsandusky.com
TYPE OF APPLICATION:	
Conditional Use Permit Flood Plain Variance Other	Similar Main Use Front Yard Fence
APPLICANT/AGENT INFORMA	TION:
Property Owner Name:	NAME ONE YELLOWETONE LLC
Property Owner Address:	333 E. WASHINGTON ST.
Property Owner Telephone:	617 823 002F3
Property Owner Email:	BIZENT. ZIMMEZMAN @COAUCY PSZOLI WOTZKO.COM
Authorized Agent Name:	DAVID HAKAON
Authorized Agent Address:	32110 TERFIELD DR. 1941044012
Authorized Agent Telephone:	216832 3434
Authorized Agent Email:	DEVID @ MAKGON TEUGH. CO
LOCATION AND DESCRIPTION	OF PROPERTY:
Municipal Street Address:	32,25 E. WAGHINLATON GT
Legal Description of Property (37 WASHINGTON	check property deed for description):
Parcel Number: 560115	Zoning District:

DETAILED SITE INFORMATION:
Land Area of Property: <u>0.1212 ALIZERO</u> (sq. ft. or acres)
Total Building Coverage (of each existing building on property): Building #1: 2959 (in sq. ft.) THATE Building #2: 1,285 (PAME Building #3: Additional:
Total Building Coverage (as % of lot area): <u>30% 円ムより</u> 44% アリムモリ
Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:
2,167 · INTERVOR LIZEA 787 · PORH / ADA ALEGE PATH PHATE! 1285 · FHATE!
Proposed Building Height (for any new construction):
Number of Dwelling Units (if applicable): 6.62
Number of Off-Street Parking Spaces Provided:
Parking Area Coverage (including driveways): $\frac{236}{3}$ (in sq. ft.)
Landscaped Area: (in sq. ft.)

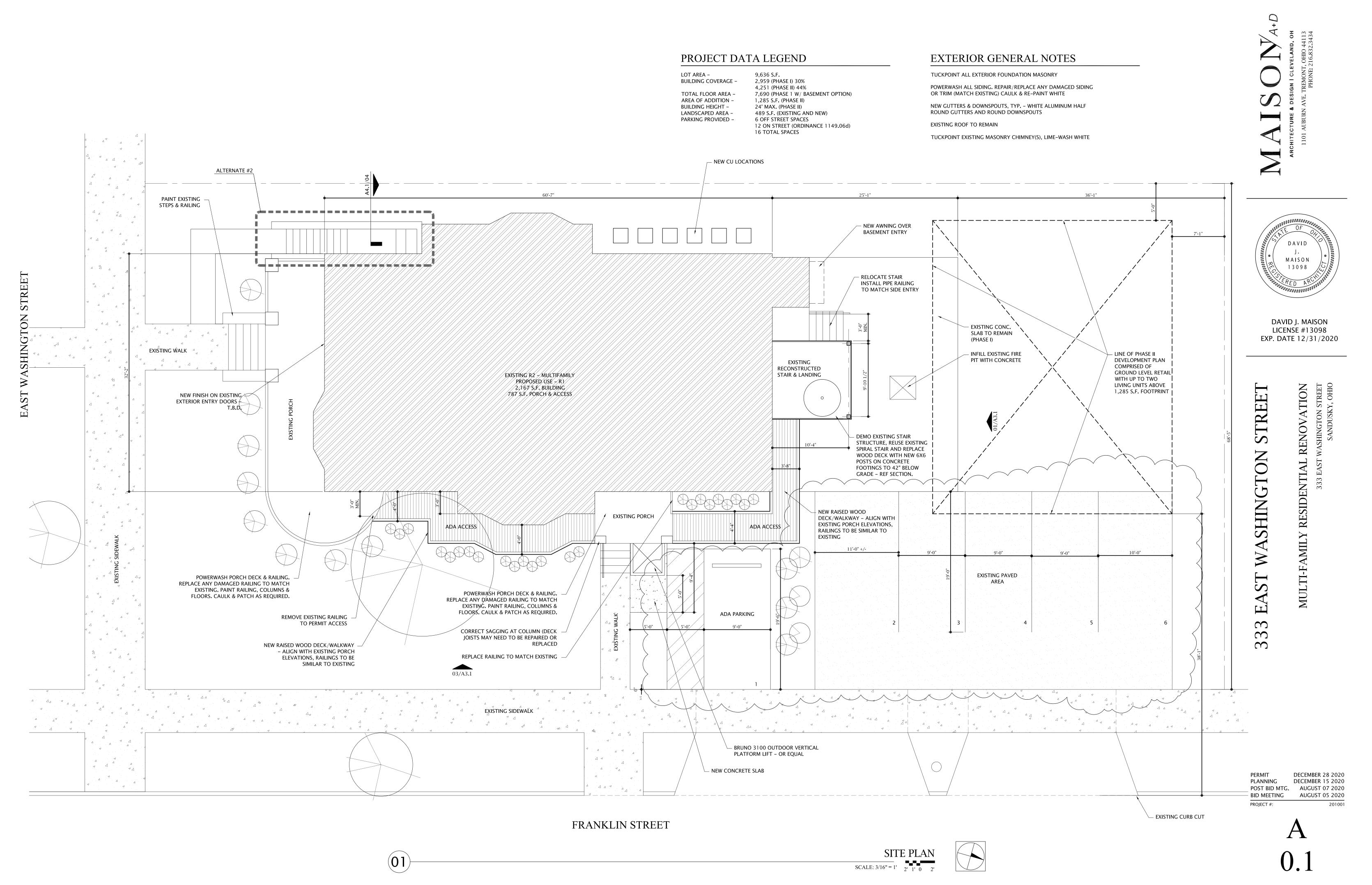
PROPOSED DEVELOPMENT (check those that apply):
New Construction (new building(s)) Note: The property of the
Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):
PHARE I REMOVATION OF EXECUTAGE 1ST 2MD & 300 HOOK
APARTMENT UNITS (GETTL) WITH POLENTELL ADDITION
OP OR 2 BANGEMENT CHUTES. UNE CHANGE FROM
R2 to R1
PALSE 11. WHILL GROWN FLOR GERMAL
RETAIL OPERE W/ 1 OR 2 240 HOUR P, CINIPS.

REQUIRED SUBMITTALS:	
15 copies of a site plan/off-street parking plan for property	
Application Fee:	Conditional Use Permit: \$100.00
Similar Main Use: \$100.00	Flood Plan Variance: \$100.00
Front Yard Fence: no charge	Other: check with staff for fee
APPLICATION MUST BE COMPLET	ELY FILLED OUT
APPLICATION AUTHORIZATION:	
If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal. Signature of Owner or Agent Date	
PERMISSION TO ACT AS AUTHOR	IZED AGENT:
As owner of	(municipal street address of property), I
	to act on my behalf during the
Planning Commission approval pr	rocess.
(25)	
Signature of Property Owner	Date
STAFF USE ONLY:	
	Permit Number:
Date of Planning Commission Me Planning Commission File Numbe	

UPDATED 7/23/2019

Page 4 of 8

APPLICATION #PC-002



PLANNING COMMISSION REPORT

APPLICATION FOR SITE PLAN APPROVAL AT 333 E WASHINGTON STREET

Reference Number: PSPOS20-0016

Date of Report: January 19, 2021

Report Author: Greg Voltz, Planner



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

David Maison, on behalf of Name One Yellowstone LLC, has submitted a site plan application for 333 E Washington Street. The following information is relevant to this application:

Applicant: Name One Yellowstone LLC

333 E Washington Street Sandusky, Ohio 44870

Authorized Agent: David Maison

32110 Deerfield Drive Avon Lake, OH 44012

Site Location: 333 E Washington Street

Zoning: "DBD" - Downtown Business

Adjacent Zoning: North: "DBD" – Downtown Business

East: "R2F" – Residential Two-Family South: "R2F" – Residential Two-Family West: "R2F" - Residential Two-Family

Existing Uses: Vacant

Proposed Uses: Residential/Transient Rental

Additional Parking: 6 – on site

10 – on street

Applicable Plans & Regulations: Sandusky Zoning Code Chapter

Chapter 1149 Site Plan Review & Off-Street Parking

Chapter 1129 Residential Districts

Chapter 1151.03 Special Residential Occupancy Permit.

SITE DESCRIPTION

The subject property is 333 E Washington Street located at the corner of Franklin Street and Washington Street. The site is nearby the core of downtown, the waterfront, some residential housing to the south and, and near other parcels zoned "DBD" – Downtown Business. The area is zoned "DBD" Downtown Business District, which permits the following:

1133.07 DOWNTOWN BUSINESS DISTRICT; INTENT.

The purpose of this district is to allow for a variety of mixed uses including business, commercial, and residential. This district was created to specifically address downtown, water-related, residential and mixed-use activities. This district shall promote density of uses and the increase of tourism related activities in the downtown area in general. The goal of these regulations is to maintain continuity in the development of the land and implementation of the goals of the Port Development Plan, while preserving the character of downtown.

1133.08 PERMITTED BUILDINGS AND USES; DOWNTOWN BUSINESS DISTRICT.

- (a) Main Buildings and Uses.
 - (1) Single, two and multi-family residential uses above the first floor.
 - (2) All stores and services permitted in the General Business District;
- (3) Public uses as follows and as defined in Section <u>1123.02</u>: governmental, civic, education, religious, recreational and transportation.
 - (4) Transient Occupancy.
- (b) <u>Similar Main Uses.</u> Any other business, service or recreation activity not listed above or in any subsequent use classification and determined as similar by the Commission.
- (c) <u>Conditional Uses Permitted:</u> Outdoor recreational facilities such as beaches, waterparks, amphitheaters, marinas, swimming pools, etc.
 - (d) Accessory Buildings or Uses:
- (1) Accessory off-street parking and loading facilities as required and set forth in Chapter <u>1149</u>;
- (2) Any accessory use and building clearly incident to the conduct of a permitted main use, providing the use has no injurious effect on adjoining residential districts.

(Ord. 17-088. Passed 5-8-17.)

A picture of the property along with a location map are found below.

333 E Washington Street





Zone Map - Parcels Indicated





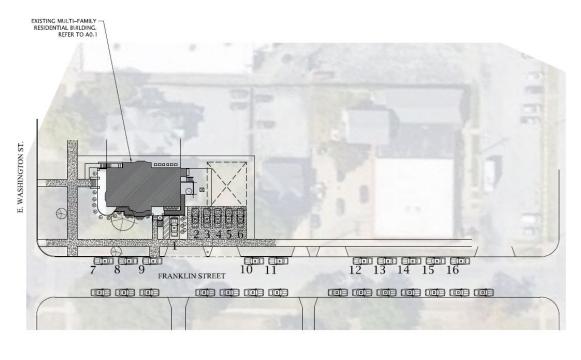
DIVISION OF PLANNING COMMENTS

The applicant is proposing to rehab the existing residential structure in hopes that it can continued to be utilized for residential purposes, as well as for transient occupancy use. Both uses are permitted within the Downtown Business District. The applicant is also increasing on site parking for the site with 6 on-site spaces and is requesting that Planning Commission waives

the remaining requirement for 10 more spaces as the applicant believes there is adequate on street spaces nearby.

The property owner is hoping to utilize the house primarily for Transient Occupancy. Approval of this site plan will permit the applicant to move forward in their rehabilitation of the property and ensure that the building is in good repair. This property is not located with a historic district nor is it individually listed, but it is on the Ohio Historic Inventory.

The site location is just about 350 feet east of the downtown parking area that does not require any onsite parking with projects. Due to the nature of the rehabilitation staff does believe it is important to have some onsite parking for the visitors/occupants of the building. The applicant has worked with staff on maximizing on site spaces and is requesting that the Planning Commission modify the remaining required spaces due to on street parking availability. This ability by Planning Commission is set forth within Section 1149.06 (d).



SITE PARKING PLAN SCALE: N.T.S.

As the applicant shows on the site parking plan, there would be 16 available spaces on Franklin Street. This portion of the street is rarely, if ever, parked currently. All adjacent property owners have adequate onsite parking for their respective properties. If this property was built as hotel this property would be required to have no more than 10 spaces available to it. Staff believes that the 16 spaces will be more than sufficient to serve the needs of the property even with proposed phase 2. The 16 spaces comes from calculating the required parking if the property was used as residential apartments, not just transient rental.

Staff would also like to mention that the requirement of the onsite parking spaces drastically alters the ability of the property owner to create a more inviting Franklin Street sidewalk frontage. The required parking creates a large swath of property that could otherwise be landscaped, reducing the walkability of this portion of Franklin Street, which is already negatively impacted by non-contributing frontage and vehicle focused uses.

The City Engineer is currently reviewing the application and has not supplied comments at time of report writing. BUILDING STAFF COMMENTS The City Building Official has reviewed the application and has no concerns regarding the proposal. POLICE DEPARTMENT COMMENTS The City Police Chief has reviewed the application and has no objections to the proposal. FIRE DEPARTMENT COMMENTS The City Fire Chief has reviewed the application and did have questions about sprinkling the facility. These questions were relayed to the Building Department.

In conclusion, Planning Staff recommends Planning Commission grant a Special Residency Occupancy Permit for 333 E Washington Street with the following conditions:

- 1. Exterior lighting be dark sky friendly and the applicant provides exterior lighting cut sheets for staff approval.
- 2. As part of the Special Residency Occupancy Permit Planning Commission could request a parking management plan from the applicant if consistent, complaints are heard from neighboring property owners and residents.
- 3. If the property is used for transient rental the applicant, obtain necessary transient rental occupancy permits through the City of Sandusky.
- 4. The applicant obtain all necessary building, public works, or other necessary permits.

SHINGI

ГŢ

1,674 S.F.

BASEMENT AREA (ALTERNATE #2) 1,410 S.F. (LIVING SPACE – TWO UNITS)

1,875 S.F. EXISTING THIRD FLOOR AREA 1,758 S.F.

333 E. WASHINGTON STREET

EXISTING MULTI-FAMILY RESIDENTIAL RENOVATION

GENERAL NOTES

THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN

DO NOT SCALE DRAWINGS.

VERIFY FIELD CONDITIONS AND COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED TO THE ARCHITECT.

THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTIONS MEANS, METHODS, TECHNIQUES, SEOUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING

THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF BUILDING SYSTEMS AND EQUIPMENT AND VERIFY THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE EQUIPMENT AND ASSOCIATED WORK ARE PROVIDED. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING SYSTEMS: MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, TELEPHONE AND SPRINKLER EQUIPMENT.

THE CONTRACTOR SHALL COORDINATE WITH ALL BUILDING TRADES FIXTURES, DUCTS, CEILING, ETC., CONTRACTOR SHALL COORDINATE ALL TRADES INCLUDED TO MAINTAIN THE CEILING HEIGHTS NOTED ON THE DRAWINGS. ANY CONFLICTS SHALL BE REPORTED TO THE

FIRE EXTINGUISHER, ELECTRICAL PANELS, TELEPHONE EQUIPMENT BOARDS, ETC., SHALL BE LOCATED IN ACCORDANCE WITH REOUIREMENTS OF GOVERNING AGENCIES. ANY LOCATIONS NOT SHOWN SHALL BE VERIFIED WITH ARCHITECT PRIOR TO ROUGH-OUT AND INSTALLATION. UNLESS OTHERWISE NOTED, THE ABOVE PANELS AND/OR EQUIPMENT SHALL BE FULLY RECESSED AND MAINTAIN INTEGRITY OF WALL FIRE RATING REQUIREMENTS.

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK.

IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS. POLYCHLORINATED BIPHENYL (PBC) OR OTHER TOXIC MATERIAI WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND

REPORT THE CONDITION IN WRITING TO THE OWNER.

PROJECT SCOPE

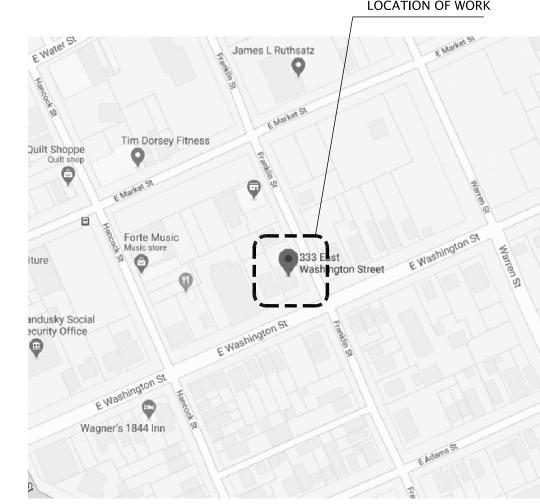
INTERIOR RENOVATION. DECK & STAIR ALTERATION OF A 3 STORY EXISTING MULTI-FAMILY RESIDENTIAL BUILDING

WORK SHALL INCLUDE, BUT NOT LIMITED TO:

NEW CONCRETE WALKWAYS & LANDSCAPING

- NEW INTERIOR WALLS, CEILINGS & FINISHES NEW MECHANICAL HVAC UNITS & DISTRIBUTION
- NEW PLUMBING FIXTURES & DISTRIBUTION NEW ELECTRICAL / TELEPHONE / DATA & DISTRIBUTION
- NEW UTILITIES

LOCATION OF WORK



SITE LOCATION MAP

SCALE: N.T.S.

PROJECT TEAM

GENERAL CONTRACTOR:

ZIMMERMAN REMODELING & CONSTRUCTION P 419 483 7250 2382 COUNTY ROAD 292 BELLEVUE, OH 44811

ARCHITECTURAL:

MAISON A+D 2153 PROFESSOR AVE. TREMONT, OHIO 44113 CONTACT: DAVID MAISON EMAIL: DAVID@MAISONDESIGN.CO P 216 832 3434

EXISTING MULTI-FAMILY RESIDENTIAL BUILDING.

REFER TO A0.1

SITE PARKING PLAN

SCALE: N.T.S.

GENERAL REFERENCE

INDEX OF DRAWINGS

BASEMENT ALTERNATE DEMO PLANS FIRST FLOOR DEMO PLAN SECOND FLOOR DEMO PLAN

THIRD FLOOR DEMO PLAN

BASEMENT PLAN (BASE BID) BASEMENT PLAN (ALTERNATE #1) BASEMENT PLAN (ALTERNATE #2)

FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN

EXTERIOR ELEVATIONS WALL SECTIONS/DETAILS BASEMENT UTILITY PLAN

BASEMENT UTILITY PLAN (ALTERNATE #1) BASEMENT UTILITY PLAN (ALTERNATE #2) FIRST FLOOR UTILITY PLAN

SECOND FLOOR UTILITY PLAN THIRD FLOOR UTILITY PLAN

PLAN REVIEW DATA

GOVERNING CODES: BUILDING 2017 OBC

MECHANICAL 2017 OBC PLUMBING 2017 OBC

OCCUPANY CLASSIFICATION: RESIDENTIAL - GROUP R2 OBC SECTION 310.4

EXISTING USE – GROUP R2 (APARTMENTS) PROPOSED USE – GROUP R2 (HOTEL)

CONSTRUCTION TYPE: TYPE VB (EXISTING BUILDING) NON – SPRINKLERED

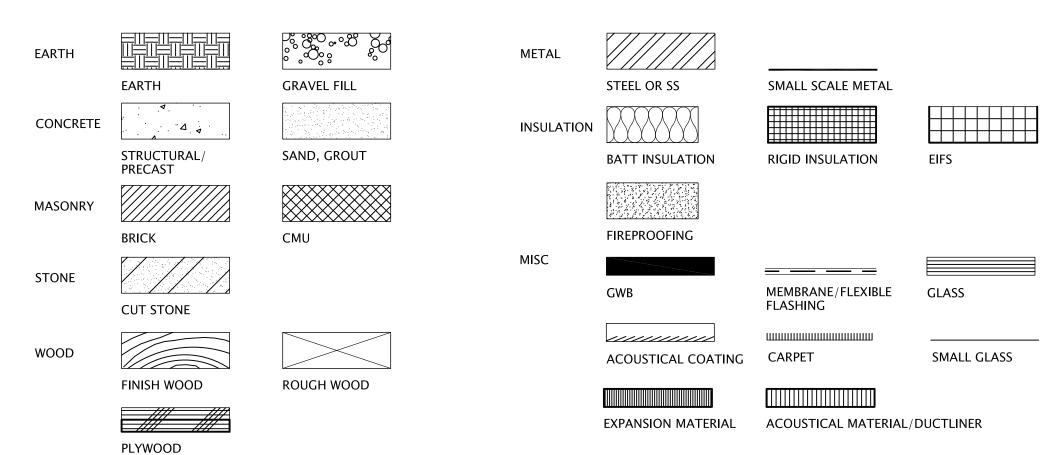
BUILD-OUT RESTRICTIONS:

5,525 S.F. TOTAL TOTAL BUILD-OUT AREA (EXISTING) EXISTING BASEMENT AREA (NON-LIVING)

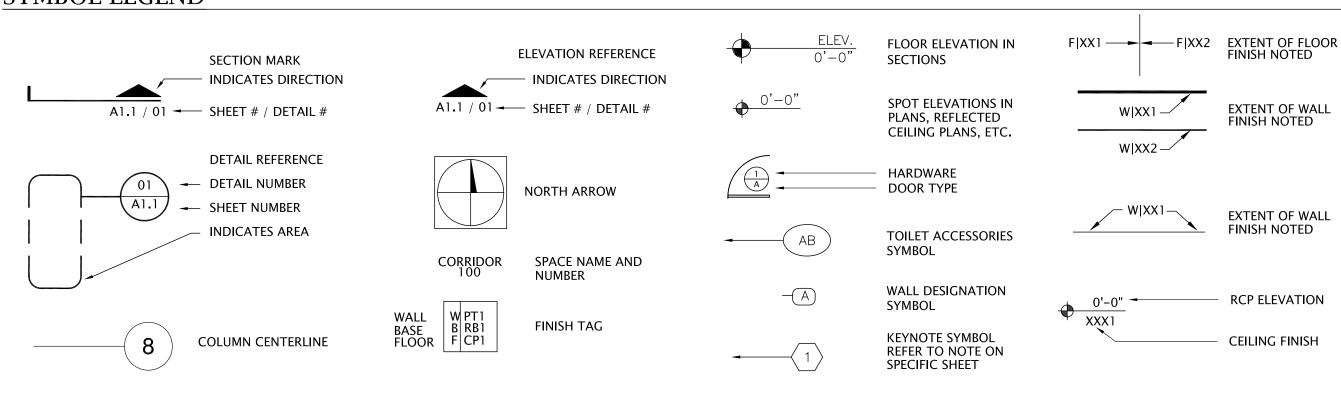
960 S.F. (LIVING SPACE - ONE UNIT) BASEMENT AREA (ALTERNATE #1)

EXISTING FIRST FLOOR AREA 1,890 S.F. EXISTING SECOND FLOOR AREA

MATERIALS LEGEND

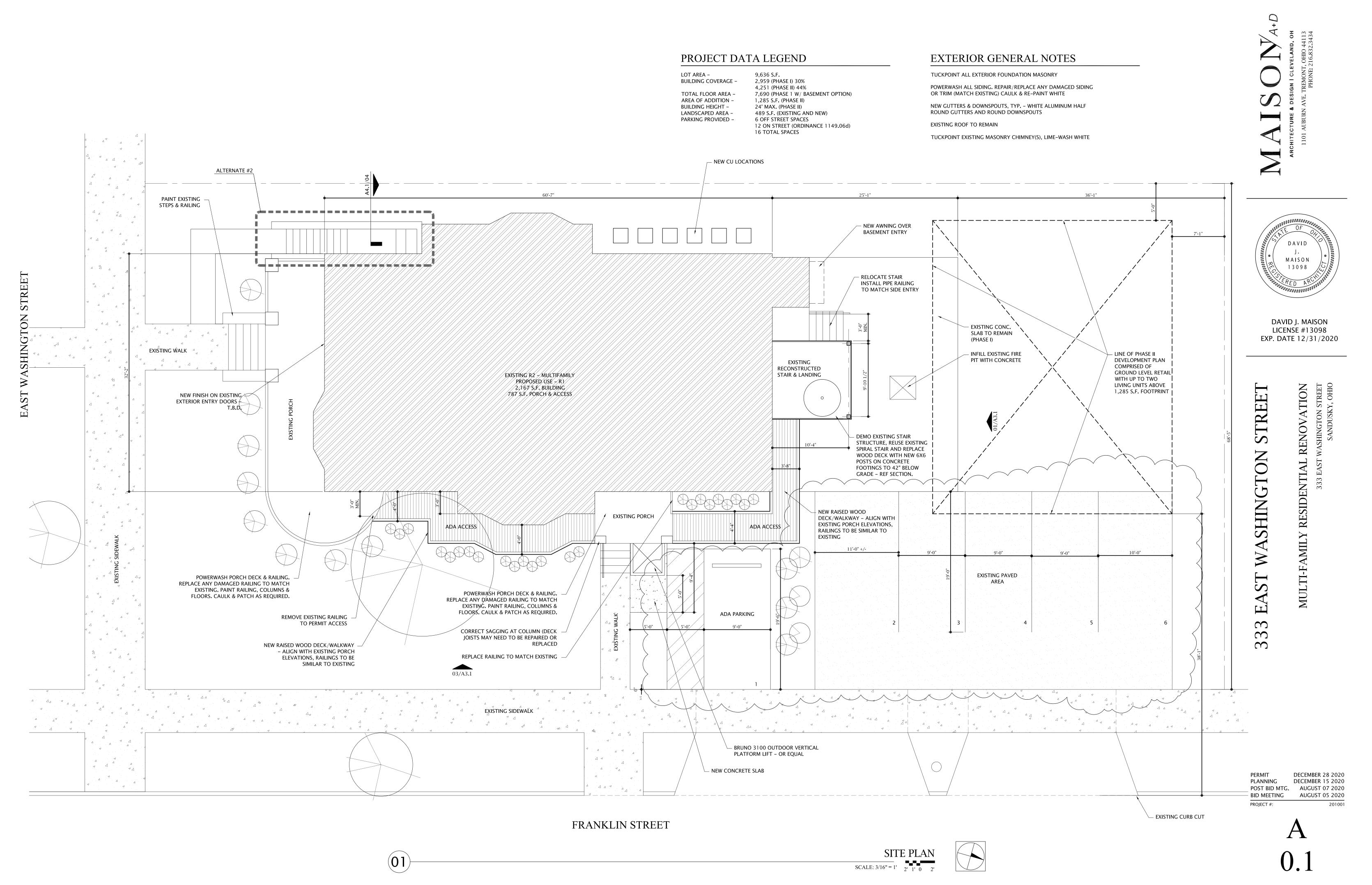


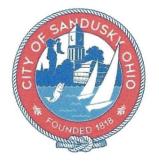
SYMBOL LEGEND



DECEMBER 15 2020 PLANNING POST BID MTG. AUGUST 07 2020 BID MEETING AUGUST 05 2020 201001

LOCATION MAP/ GENERAL REFERENCE





PLANNING COMMISSION

Application for Site Plan Approval

Department of Planning 240 Columbus Ave Sandusky, Ohio 44870 419.627.5891

	www.cityofsandusky.com
APPLICANT/AGENT INFORMAT	ION:
Property Owner Name:	NAME ONE, YELLOWISTONE LLC
Property Owner Address:	333 E. WAGHINGTON ST
	CANTUCKYOH
Property Owner Telephone:	617 823 0025
Property Owner Email:	BRENT. ZIMMERMAN @ GAULY BRE
Authorized Agent Name:	DAVID MAIGON WORKS.COM
Authorized Agent Address:	32110 DEERFHELTS DR.
	AVON LAVE OH 44012
Authorized Agent Telephone:	240 832 3434
Authorized Agent Email:	DAVID @ MAIGON DEGIGN.CO
LOCATION AND DESCRIPTION C	F PROPERTY:

LOCATION AND DESCRIPTION OF PROPERTY:	
Municipal Street Address: 333 E. WACHINGTON	
Legal Description of Property (check property deed for description): 37 WAGHINGTON STREET WH EX N. 1572' (do' x 146'	mino
Parcel Number: 56.01\57.000 Zoning District:	

DETAILED SITE INFORMATION:
Land Area of Property: 0.22/2 ACCC (sq. ft. or acres)
Total Building Coverage (of each existing building on property): Building #1: 2959 (in sq. ft.) These (Building #2: 1265) These (Building #3: Additional:
Total Building Coverage (as % of lot area): 30% Physe! 44% Have!
Gross Floor Area of Building(s) on Property (separate out the square footage
of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is
storage space: 2107 · INTERIOR APPA ALLERS PATH (Manel)
1,295. PHAZO 11
Proposed Building Height (for any new construction):
Number of Dwelling Units (if applicable): 640
Number of Off-Street Parking Spaces Provided:
Parking Area Coverage (including driveways): 1292 (in sq. ft.)
Landscaped Area: (in sq. ft.)

PROPOSED DEVELOPMENT (check those that apply): New Construction (new building(s)) Addition to Existing Building(s) Change of Use in Existing Building(s) Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition,
hours of operation, days of operation, seating capacity, etc.):
TAKE 1- PENOVATION OF EXECUTIVE 15, 2ND & 3PD FLOOR
APARTMENT UNITS (6 TOTAL) WITH FOUNTSUL ANDITION
OF 1 OR 2 PORMENT CINITION. USE CHANGE FROM
Rz to RI.
PHANE 11 - COHALL GROUND FLOOR GRASSONAL PETAL
apacte W/ 1 02 2 2ND Place R, UNITES.

APPLICATION AUTHORIZATION:	
If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.	
Signature of Owner or Agent Date	
PERMISSION TO ACT AS AUTHORIZED AGENT:	
As owner of (municipal street a property), I hereby authorize behalf during the Planning Commission approval process.	
Signature of Property Owner Date	
REQUIRED SUBMITTALS:	
15 copies of a site plan/off-street parking plan for property \$25.00 application fee	
APPLICATION MUST BE FILLED OUT COMPLETELY	
STAFF USE ONLY:	
Date Application Accepted: Permit Number:	
Date of Planning Commission Meeting:	
Planning Commission File Number:	

UPDATED 7/23/2019

Page 4 of 7

APPLICATION #PC-001



City of Sandusky, Ohio Planning Commission Report

BACKGROUND INFORMATION

Arin Blair, with MKSK, on behalf of HR&A and the City of Sandusky looks forward to presenting the Downtown Sandusky Master Plan to the City of Sandusky Planning Commission. The Downtown Sandusky Master Plan establishes a vision for the public and private realm in Downtown Sandusky. This vision is feasible, market based, flexible to opportunities that arise, founded in community feedback, and built upon the ideas set forth in the Sandusky 2018 Bicentennial Vision.

The planning process was conducted in 2020, amidst the COVID pandemic, and included a robust series of stakeholder interviews, regular meetings with a Steering Committee, and a community survey that received 798 responses. City of Sandusky staff and the consultant team worked in close collaboration throughout the process to ensure the plan is authentic to Sandusky and authored with local, regional, and national downtown planning and economic development expertise.

Staff believes that the Downtown Sandusky Master Plan presents a vision that will help the community leverage Sandusky's small-town appeal to residents and visitors, promote the waterfront appeal of downtown, increase public accessibility to the waterfront, increase activation of the waterfront on private property, ensure there is a continued focus on creating a welcoming downtown for people of all demographics, and become the gateway to the region's destinations.

CONCLUSION/RECOMMENDATION

In conclusion, Planning Staff recommends approval of the Downtown Sandusky Master Plan and recommends the Planning Commission give a favorable recommendation to the City Commission.