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Planning Commission

240 Columbus Ave

Sandusky, Ohio 44870

419.627.5973

[www.cityofsandusky.com](http://www.cityofsandusky.com)

**Agenda**

**March 27, 2024**

**5:00 pm**

**City Commission Chamber**

**Live Streamed on [www.Youtube.com/CityofSanduskyOH](https://www.youtube.com/CityofSanduskyOH)**

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1. **Meeting called to order – Roll Call**
2. **Approval of minutes from January 24, 2024**

3. **New Business**

1636 Hayes Ave.

Steve Ruff, on behalf of Ruff Bros LLC, has submitted a site plan application for a new storage building at 1636 Hayes Ave.

1737 Tiffin Ave.

Miles Heiberger has submitted a site plan application for a drive-through restaurant and parking area.

4. **Old Business**

Dark Sky Lighting Regulations

Discussion

5. **Adjournment**

**NEXT MEETING: April 4, 2024 at 5:00pm**

**Please notify staff at least 2 days in advance of the meeting if you cannot attend. Thank you.**

**Planning Commission  
January 24, 2024  
Meeting Minutes**

**Meeting Called to Order**

Chair McGory called the Planning Commission meeting to order at 5:01 pm. The following Commissioners were present: Commissioner Castile, Commissioner Jackson, Chair McGory, Commissioner Poggiali, Commissioner Whelan, and Commissioner Zuilhof. Arin Blair and Alec Ochs were present on behalf of the Community Development Department, Stewart Hastings was present on behalf of the Law Department and Quinn Rambo was the acting clerk.

**Approval of Minutes from November 22, 2023**

Chair McGory introduced the first item on the agenda, which was the approval of the minutes from the November 22, 2023 Planning Meeting. Commissioner Zuilhof made a motion to approve the minutes as presented and Vice Chair Miller seconded the motion. Chair McGory called for a vote to approve the minutes as presented, and the motion passed unanimously.

**Election of Officers**

Chair McGory stated the next item on the agenda was election of officers. Chair McGory made a motion to nominate Mr. Poggiali as Chair and Mr. Miller to remain the Vice Chair. Commissioner Jackson seconded the motion. A vote was called and the Commission unanimously approved Mr. Poggiali as Chair and for Mr. Miller to remain the Vice Chair.

Commissioner Zuilhof asked who the guest was in the audience. Chair Poggiali introduced new City Commissioner, Dr. Richard Koonce, who was present to observe the Planning Commission.

Chair Poggiali added that he wanted to go over some housekeeping items. He asked if a Commissioner would like to speak to ask for the Chair's permission and that for each agenda item Staff would present their report and then the applicant would be asked to speak and then questions would be allowed by the Commissioners.

Chair Poggiali swore in all parties that were present to speak on behalf of adjudication items.

**Adjudication Hearing**

**149 E. Water Street-**

**Monica Fletcher with Brady Sign Company, on behalf of the Family Health Services of Erie County, has submitted an application for a conditional use permit at 149 E. Water Street to allow an externally illuminated wall sign above the ground floor.**

Chair Poggiali introduced the application and asked for the Staff report. Mr. Ochs stated the site of 149 E. Water Street was transitioning into an office and clinic for Family Health Services of Erie County. The applicant wished to install an externally illuminated wall sign above

the first floor. Per zoning code, any wall signage above what was considered the first floor required a conditional use permit. The building was being renovated into a medical center to provide primary care, behavioral health, a retail pharmacy, and a rooftop space. The first floor was planned for a primary care clinic, the second floor would be for behavioral health, the third floor would accommodate a pharmacy and office space. The hours of operation proposed would be Monday through Friday 8:00 am- 5:00 pm. Staff supported approval of the proposed Conditional Use permit at 149 E. Water Street parcel (56-00846.000) with the following conditions, that all permits were obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency prior to construction, light sources shall not be of excessive brightness, or cause a glare hazardous to pedestrians or auto drivers or objectionable to adjacent residential uses, the fixture was dimmable and could be turned down, and the light would be warm toned (3,000K or lower) white light, amber light, or filtered LED light sources. The proposed 36 square foot sign on the front façade would meet the Zoning Code Standards. Chair Poggiali asked if the applicant or the applicant's representative would like to speak. Mr. Nathan Glass of Brady Signs came forward to answer any questions. Commissioner Zuilhof asked if everything was in compliance with the exception of internal illumination. Mr. Ochs answered that everything for review tonight was for the location of the sign and that the illumination would be a Landmark Commission reviewed item. Mr. Ochs stated that the signage size was correct and allowed. Commissioner Jackson asked if an elevator would be installed. Mr. Voll, the applicant's representative, stated there was an elevator being installed. Commissioner McGory wanted clarification on if the Planning Commission was being asked to approve the dimensions and placement of the signs. Mr. Ochs stated the Commission was being asked to approve the location above the ground floor. Chair Poggiali asked if there were any other questions. There were none.

Commissioner McGory made a motion to approve the application subject to the comments, restrictions, and limitations made by Staff. The motion was seconded by Commissioner Zuilhof. Chair Poggiali called for the vote and all Commissioners voted to approve the motion, unanimously.

### **New Business**

#### **1033 Cleveland Road-**

**Kyle Grathwol, on behalf of 1033 Cleveland Road Holdings, LLC has submitted a similar main use permit application to allow automobile sales and automobile repair & maintenance as permitted main uses.**

Chair Poggiali introduced the application and asked for the Staff report. Mr. Ochs stated the applicant wished to obtain a similar main use permit to allow the sales/ services of vehicles at this site. The property was currently zoned LB - Local Business zoning, which would not allow car sales as a permitted use. Car servicing would be limited to lubrication and minor repair services and would only be performed within an enclosed building. The site was situated on a highly trafficked and highly commercial corridor of Cleveland Road. The proposed use was not

out of line or out of harmony with the surrounding uses along Cleveland Road, the surrounding properties, or the previous use of the site. Staff determined the proposed similar main use was appropriate. The hours of operation proposed would be Monday from 10am to 3pm. All other days would be by appointment only and appointments would only be available between the hours of 8:15 am to 3:15 pm on most days. The neighbor to the north requested that the installation of a privacy fence not be required as part of this process and preferred for there not to be a privacy fence between his and the subject property. Staff supported the approval of the proposed Similar Main use at 1033 Cleveland Road (parcel 57-04642.000) with the following conditions, that all permits were obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency prior to construction, the automotive repair services were limited to operations within an enclosed building, the sale of motor vehicles be permitted on an open lot, provided that all requirements for front yards in the Business District as set forth in the Zoning Code were met, and for the business not to leave vehicles that were in their possession or care parked on the street overnight, nor customers to park on the street overnight. Chair Poggiali asked if the applicant would like to come forward to speak. Mr. Kyle Grathwol, the applicant, came forward to speak. He asked if any services would be allowed outside of the shop, such as airing tires and battery checks, because people stop at his shop because of the previous owner/ use of the building and did not want to turn away people in need. Mr. Ochs stated he took the language from the zoning district requirements and recommended minor services not be required to be completed in an enclosed space, but it would be at the discretion of the Commission. Mr. Hastings stated that a motion could be made to amend the wording to include minor repairs outside. Mr. Whelan stated he did not consider battery checks or airing tires to be repairs. He asked the applicant if there were any other services he could think of that may be included in this request. The applicant stated he is not a general repair shop. Mr. Jackson agreed with Mr. Whelan. Vice Chair Miller also agreed, adding that auto part stores were able to change windshield wipers, and batteries outside. Vice Chair Miller asked for clarification about the privacy fence issue. Mr. Grathwol stated the neighbor, and he had agreed that leaving the current fence was beneficial to both properties because of the lighting and a privacy fence could possibly provide cover for someone trying to break into either property. Commissioner Zuilhof asked if the privacy fence was required per the code. Mr. Ochs stated the Commission had the authority to require up to a five- and half-foot fence but it was not required. Chair Poggiali stated that he thought the applicant had given the property some great curb appeal. Commissioner Castile asked how many vehicles were usually in possession by the applicant. Mr. Grathwol stated right now he has four vehicles but two were stored offsite. Mr. Grathwol added that a neighbor had asked permission to use the parking lot on the weekend for parties at neighbor's residence, and Mr. Grathwol had agreed.

Commissioner Zuilhof made a motion to approve the application with the conditions recommended by staff. The motion was seconded by Commissioner Castile. Chair Poggiali called for the vote and all Commissioners voted to approve the motion, unanimously.



### **Zoning Code Amendment for Exterior Light Fixtures**

Chair Poggiali introduced Ms. Blair to present the zoning code amendment for exterior light fixtures. Ms. Blair stated that Staff proposed, with encouragement from City and Planning Commissions, to initiate change in the zoning code to include a “fully shielded design” lighting definition and to add “fully shielded design” language and related exterior lighting regulation to zoning code sections 1107- definitions, 1145.17- Landscape Features and Yard Structures, 1149.10 Site Illumination, and 1183.06 Streets. The proposed amendment would establish requirements for dark sky friendly development and help prevent light pollution in the City. This would benefit public interest by protecting maritime navigation safety as a port city and prevent glare or over brightness that could cause nuisance and/ or safety concerns. Staff researched other cities for existing regulations for dark sky lighting or exterior lighting. Staff then drafted a simple straight forward amendment that was reviewed by the Law Department and City Leadership before being brought forward to the Planning Commission. Ms. Blair then reviewed each component of the amendment, which included definitions, fixture design, color temperature, and façade/ feature lighting for the Commission. Chair Poggiali thanked Ms. Blair for her presentation and the helpfulness of the graphics in the presentation and asked if the Commission had any questions. Vice Chair Miller asked about how lighting the flag would work with these regulations. Ms. Blair stated that the site feature should be absorbing the light and that a targeted light would be the best solution. Commissioner Jackson and Commissioner Castile both suggested a light above the flag shining down would be preferable. Commissioner Zuilhof gave a description of past attempts by the Planning Commission to implement a dark sky ordinance language and how the technology of lighting, such as the introduction of LED lighting, impacted passing any previous legislation. Commissioner Whelan asked where the City’s current streetlights fell in the diagram shown on best options to unacceptable options. Ms. Blair stated that many of the City’s streetlights would may under the unacceptable design depicted in the graphic. Commissioner Whelan asked what the relevance of this ordinance would be on what is already existing in the City. Ms. Blair stated it would apply to new development only. Commissioner Whelan stated he was worried the language would penalize future applicants who were trying to light their buildings in a good way and thought the language of the amendment needed more clarification. Commissioner Jackson asked if the State had any regulations regarding lighting and how does the proposed amendment compare. Ms. Blair answered that to her knowledge that there were not any that she was aware of and asked Mr. Hastings if he knew of any. Mr. Hastings stated there were Federal regulations regarding lighting around airports and regulations regarding colored lights around ports that could be confused with navigation aids. Commissioner Castile asked if the 3000k or lower would address excessive lighting. Ms. Blair confirmed that was correct. Chair Poggiali stated that this amendment was forward-looking and could be challenged down the road, and stated enforcement is an open question. Mr. Hastings reiterated the regulations would be prospective only and not retrospective. Commissioner Zuilhof asked how this amendment addressed the luminosity intensity and if the Commission was being asked to recommend this amendment to City Commission. Ms. Blair stated that to the city does not have the capability to measure

luminous intensity and that she would leave it up to the discretion of the Commission whether they wanted to recommend this amendment to the City Commission. Commissioner Zuilhof stated he would want to see some type of quantifiable standard for luminous intensity established and that it could not be left to arbitrary evaluation. Chair Poggiali asked the Commission if they would like to table the item for the next meeting and give Ms. Blair their suggestions at the next meeting. Commissioner Whelan stated that for the last 5 years the Commission had not approved a new site plan without requiring lights that meet the criteria mentioned in the amendment. Commissioner Whelan made a motion to table the item and the motion was seconded by Commissioner McGory. Chair Poggiali asked the Commissioners to send their questions and comments to Ms. Blair within the week to be addressed at the next meeting. Commissioner McGory asked if the amendment was needed or could recommendations be used for new projects. Commissioner Mr. Ochs stated currently Staff could recommend dark sky friendly fixtures, but the issue was that there was currently no definition in the code, so there is not a clear standard to apply to each case. Commissioner Zuilhof stated that City needed an ordinance for lighting and asked for the law director's comments. Mr. Hastings stated that light and sound were very similar in that enforcement was difficult because of the inverse square rule and it was very difficult to have an objective standard, but he felt that this was a step in the right direction. Commissioner Jackson stated that the problem wasn't how bright the light was but where the light goes. Commissioner Castile asked if it was possible for the City to set a quantifiable standard for luminous intensity and if there was standard, was it realistic to expect the City to be able to enforce the standard. Ms. Blair stated that Staff selected a simple and enforceable plan to the extent that the City could ask site plan applicants to provide the design of the fixtures and a manufacturer's document of the bulb capability. Chair Poggiali asked how many complaints the City had received regarding this topic in the last year. Mr. Ochs stated that he had not received any complaints, but he could not speak for the Code Compliance Department. Commissioner McGory stated that the Sports Force Park was a good example of nuisance light issue.

Chair Poggiali asked the clerk to read the motion. Ms. Rambo stated the motion was to table the item until the next Planning Commission Meeting. The motion was made by Commissioner Whelan and seconded by Commissioner McGory. Chair Poggiali asked for the vote to be called. The motion passed with (4) votes in favor of tabling the item and (3) against the motion. Commissioners Castile, Jackson, and Vice Chair Miller were opposed to tabling the item.

**Adjournment**

Chair Poggiali adjourned the meeting at 6:23 pm

**Next Meeting:**

February 28, 2024, at 5:00pm.

**Approved:**

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Clerk

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Chair/ Vice Chair

CITY OF SANDUSKY, OHIO  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
DIVISION OF PLANNING

# PLANNING COMMISSION REPORT

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APPLICATION FOR SITE PLAN APPROVAL AT  
1636 HAYES AVE. PARCEL (57-05666.000)

Reference Number: PSPOS24-0001

Date of Report: March 15, 2024

Report Author: Alec Ochs, Assistant Planner



# City of Sandusky, Ohio

## Planning Commission Report

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### BACKGROUND INFORMATION

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Property Owner: Ruff Bros, LLC  
1031 Perry St.  
Sandusky, OH 44870

Authorized Agent: Steve Ruff  
1031 Perry St.  
Sandusky, OH 44870

Site Location: 1636 Hayes Ave.  
Sandusky, OH 44870

Current Zoning: LM – Limited Manufacturing

Adjacent Zoning: North: RRB – Residential Business  
East: Limited Manufacturing  
West: Limited Manufacturing  
South: Limited Manufacturing

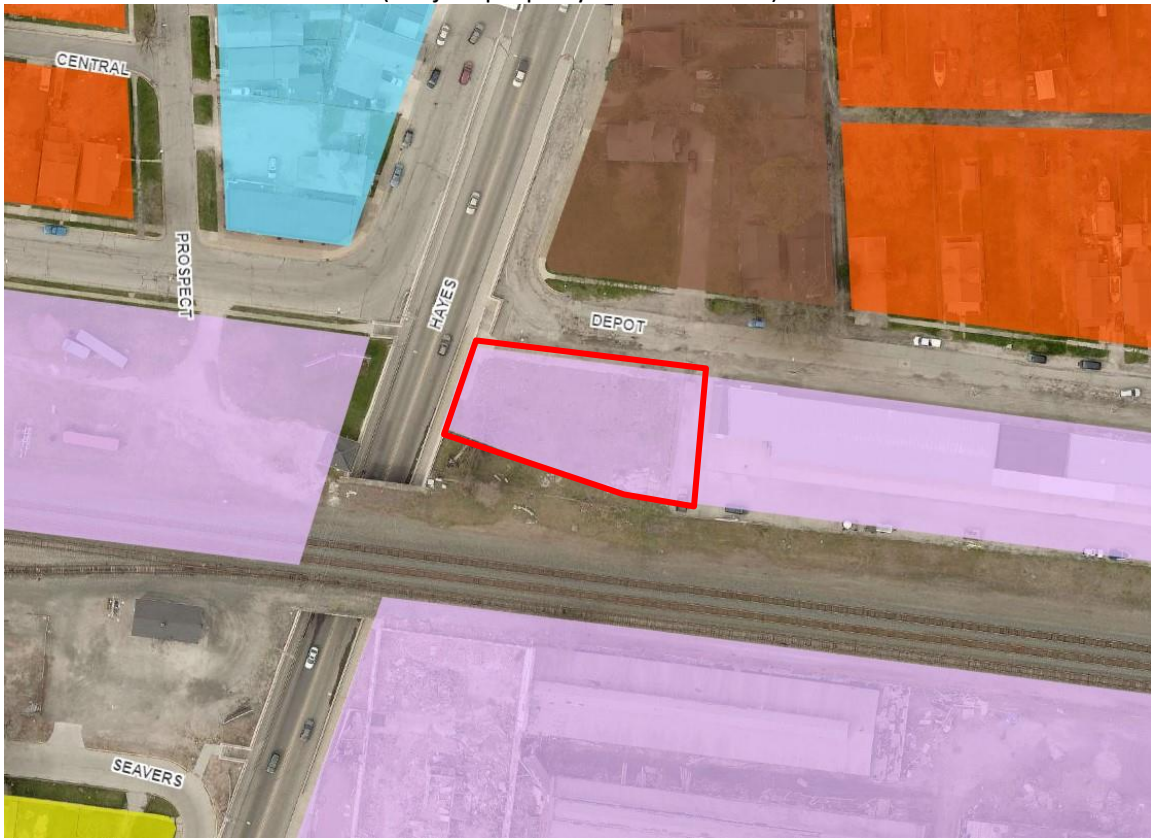
Existing Use: Vacant

Surrounding Uses: Residential, Commercial

Proposed Use: Commercial

Applicable Plans & Regulations: 1149 Site Plan Review and Off-Street Parking  
1139 Manufacturing Districts

(Subject property outlined in red)



#### Zone Map Setbacks



#### PUD - Planned Unit Development



#### Parcels



#### TRO - Transient Rental Overlay



#### Zoning



AG - Agriculture



CA - Commercial Amusement



CR - Commercial Recreation



CS - Commercial Service



DBD - Downtown Business



GB - General Business



GM - General MANufacturing



LB - Local Business



LM - Local Manufacturing



P - Auto Parking



PF - Public Facilities



R1-40 - Single Family Residential



R1-50 - Single Family Residential



R1-60 - Single Family Residential



R1-75 - Single Family Residential



R2F Two-Family Residential



RB - Roadside Business



RMF - Multi-Family Residential



RRB - Residential/Business



RS - Residential Suburban



This aerial map displays a residential neighborhood with property boundaries and lot numbers. A red rectangle highlights a specific lot, labeled '27', which is situated along a street named 'HAYES'. The map includes various other lot numbers, such as 108, 1621, 1627, 1616, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200. A 'DEPOT' is visible on the right side of the map. The map also shows a 'PROSPECT' street on the left and a 'HAYES' street at the bottom. The lot numbers are displayed in various colors (yellow, green, blue, red) and sizes. The red rectangle highlights lot 27, which is adjacent to the 'HAYES' street. The map also shows a 'DEPOT' on the right side, with a large building and a parking lot. The map includes a scale bar at the bottom left, indicating distances in feet and miles. The map is oriented with North at the top.

An aerial photograph showing a large, rectangular, brownish field. A blue location pin is placed in the center of the field. To the left of the field is a road with a white car and a red car. To the right is a large building with a grey roof. At the bottom of the image are railroad tracks.



A photograph of a large, multi-story industrial building, likely a factory or warehouse, situated behind a grassy field. A red car is parked in the field, and there are trees and utility poles visible in the background.





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## PROJECT DESCRIPTION

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The site is approximately .27 acres. The property to the east is also owned by the applicant. It is used as a storage building. The new storage building will be the same front yard setbacks as the adjacent building and the same use. A front yard setback variance was granted to 1636 Hayes Ave. on July 20, 2023 to allow a 5 foot front yard setback.

This property currently vacant. The new building will be 40' x 130' and will add 5,200 sq. ft. of storage. The site coverage will be 41.6%, below the 50% threshold. There will be 26 10'x20' storage units. The units on the front side of the building will have 24 hour access and the rear units will have access from 8am – 5pm 7 days a week.

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## APPLICABLE CODE SECTIONS

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### CHAPTER 1139

#### Manufacturing Districts

##### **1139.03 PERMITTED BUILDINGS AND USES; LIMITED MANUFACTURING DISTRICTS.**

###### (a) Main Buildings and Uses.

- (1) Living accommodations for watchmen and other personnel required to live in close proximity to their operation and their families;
- (2) Retail stores and services as permitted in the General Business District;
- (3) Offices, research and development parks and facilities;
- (4) Wholesale business, services, and storage and manufacturing uses as permitted in Commercial Service Districts;

### CHAPTER 1149

#### Site Plan Review and Off-Street Parking

##### **1149.04 MEASUREMENT STANDARDS.**

For the purpose of determining accessory off-street parking requirements definitions and standards shall be as follows:

(..)

(c) Floor Area. The total area of all the floors measured from the exterior faces of the building (except the floor, or part thereof, used for the storage or warehousing may be waived with administrative approval and if not approved by the administration, the Planning Commission may approve the waiver), or where set forth in the following schedule, only the floor area used by specific use.

##### **1149.05 SCHEDULE OF REQUIRED OFF-STREET PARKING.**

(Commercial and Manufacturing)

(...)

(1)Commercial services, laboratories, storage machine shops and similar establishments – 1 space per 650 square feet of gross floor area

**1149.09 SURFACE IMPROVEMENTS OF PARKING AREAS.**

(a) All parking areas and access driveways shall be a paved surface unless otherwise approved by the Planning Commission. These surfaces shall have adequate drainage so as not to negatively effect adjoining properties. Water shall not drain across public roads or walkways. Appropriate bumper guards or curbs shall be provided, to prevent the location of vehicles within required setbacks or right-of-ways.

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**SUPPLEMENTAL NOTES / PLANNING DIVISION COMMENTS**

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According to the requirements in Section 1149.04 of the Zoning Code, Measurement Standards (c) “Storage or warehousing may be waived with administrative approval and if not approved by the administration, the Planning Commission may approve the waiver”. Staff recommends waiving any parking requirements. However, the code still requires all access driveways be paved.

With no additional parking requirements, no additional landscaping is required. In general, staff recommends adding trees as part of any site-plan improvement, in this case adjacent to Hayes Ave. to beautify the site.

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**OTHER DEPARTMENT COMMENTS**

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**Engineering Staff:**

Engineering has noted: There is a need to re-work stormwater drainage, reduce pipe outlet size 6” max, “bowl” out areas around catch basins, stone swales leading to catch basins. On 3.20.24, Engineering stated they were satisfied with the updated plans restricting the storm outlet from the added paved site. No further concerns.

**Building Staff:**

The Building Department would like applicant to combine the parcel to the east (parcel 57-05665.001) to the parcel in this application (parcel 57-05666.000). Per code, an access point to the site may not be on a separate parcel. No further concerns.

**Police Department:**

No objections have been received as of the writing of this report.

**Fire Department:**

No objections have been received as of the writing of this report.

**Code Compliance**

The Code Compliance Department has no objections to this request.

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**CONCLUSION/RECOMMENDATION**

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Staff recommends the approval of the proposed site plan 1636 Hayes Ave. parcel (57-05666.000) with the following conditions:

1. All applicable permits are obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency prior to construction.
2. Parcel 57-05665.001 and the parcel 57-05666.000 are combined prior to construction.



## PLANNING COMMISSION

### Application for Site Plan Approval

Division of Planning  
240 Columbus Ave  
Sandusky, Ohio 44870  
419.627.5891  
www.cityofsandusky.com

#### APPLICANT/AGENT INFORMATION:

Property Owner Name: Ruff Bros LLC

Property Owner Address: 1031 Perry St  
Sandusky, Ohio 44870

Property Owner Telephone: (419) 656-0535

Property Owner Email: lesnacks@sbcglobal.net

Authorized Agent Name: Adam E. Weaver, P.E., P.S.

Authorized Agent Address: 1623 Old State Road  
Norwalk, Ohio 44857

Authorized Agent Telephone: (419) 663-0885 ext. 601

Authorized Agent Email: adam@contractorsdesigneng.com

#### LOCATION AND DESCRIPTION OF PROPERTY:

Municipal Street Address: 1636 Hayes Ave.

Legal Description of Property (check property deed for description):

Parts of Outlot 40 & 43, Second Ward

Parcel Number: Parcel # 57-05666.000

Zoning District: LM- Variance

**DETAILED SITE INFORMATION:**

**Land Area of Property:** 0.273 acres (sq. ft. or acres)

**Total Building Coverage (of each existing building on property):**

**Building #1:** 5200 sq. ft. (Prop.) (in sq. ft.)

**Building #2:** \_\_\_\_\_

**Building #3:** \_\_\_\_\_

**Additional:** \_\_\_\_\_

**Total Building Coverage (as % of lot area):** 43%

**Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:** \_\_\_\_\_

5200 sq. ft. min Storage

**Proposed Building Height (for any new construction):** 8'6"

**Number of Dwelling Units (if applicable):** n/a

**Number of Off-Street Parking Spaces Provided:** na

**Parking Area Coverage (including driveways):** 8,988 (in sq. ft.)

**Landscaped Area:** na (in sq. ft.)

**PROPOSED DEVELOPMENT (check those that apply):**

- ☒ **New Construction (new building(s))**  
☐ **Addition to Existing Building(s)**  
☐ **Change of Use in Existing Building(s)**

**Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):**

\_\_\_\_\_

This will be a 40 x 130 Building consisting of 26 10x20 storage units. There will be a 24hour access to  
\_\_\_\_\_

the front units and 8:00am to 5:00 pm access to the rear units 7 days a week.  
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**APPLICATION AUTHORIZATION:**

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.

Steven Ruff 02-01-2024  
Signature of Owner or Agent Date

**PERMISSION TO ACT AS AUTHORIZED AGENT:**

As owner of \_\_\_\_\_ (municipal street address of property), I hereby authorize \_\_\_\_\_ to act on my behalf during the Planning Commission approval process.

\_\_\_\_\_  
Signature of Property Owner Date

**REQUIRED SUBMITTALS:**

1 copy of a site plan/off-street parking plan for property  
\$25.00 application fee

**APPLICATION MUST BE FILLED OUT COMPLETELY**

**STAFF USE ONLY:**

Date Application Accepted: \_\_\_\_\_ Permit Number: \_\_\_\_\_

Date of Planning Commission Meeting: \_\_\_\_\_

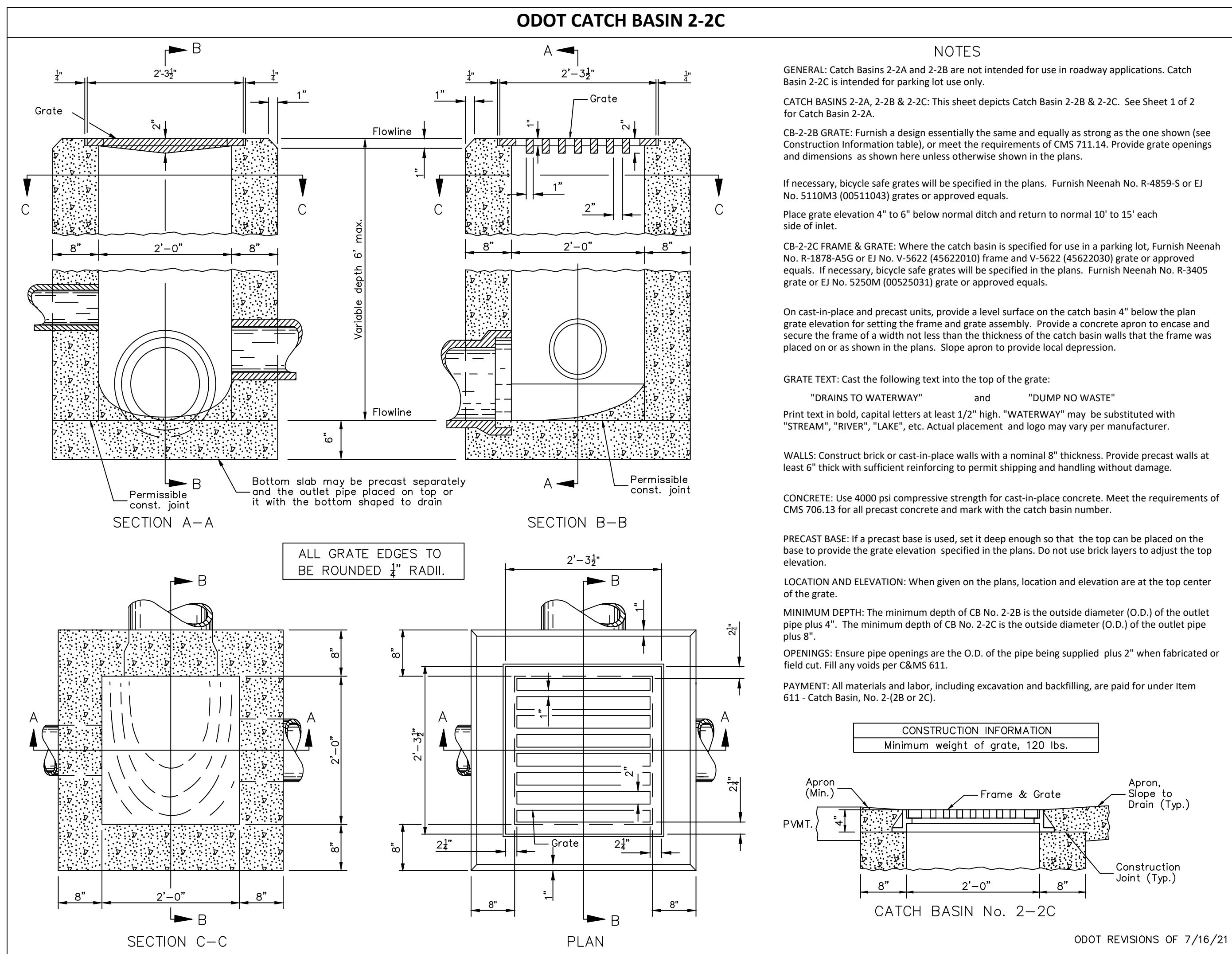
Planning Commission File Number: \_\_\_\_\_





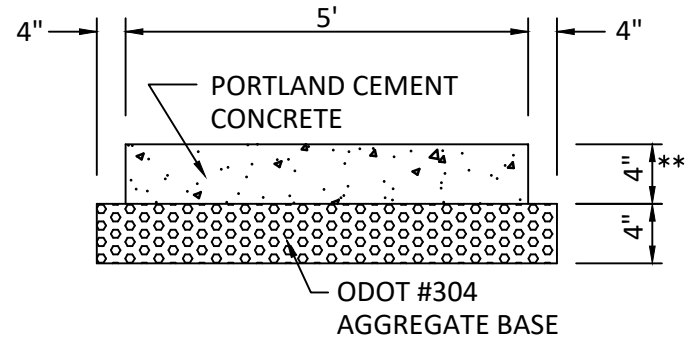


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**GENERAL NOTES**

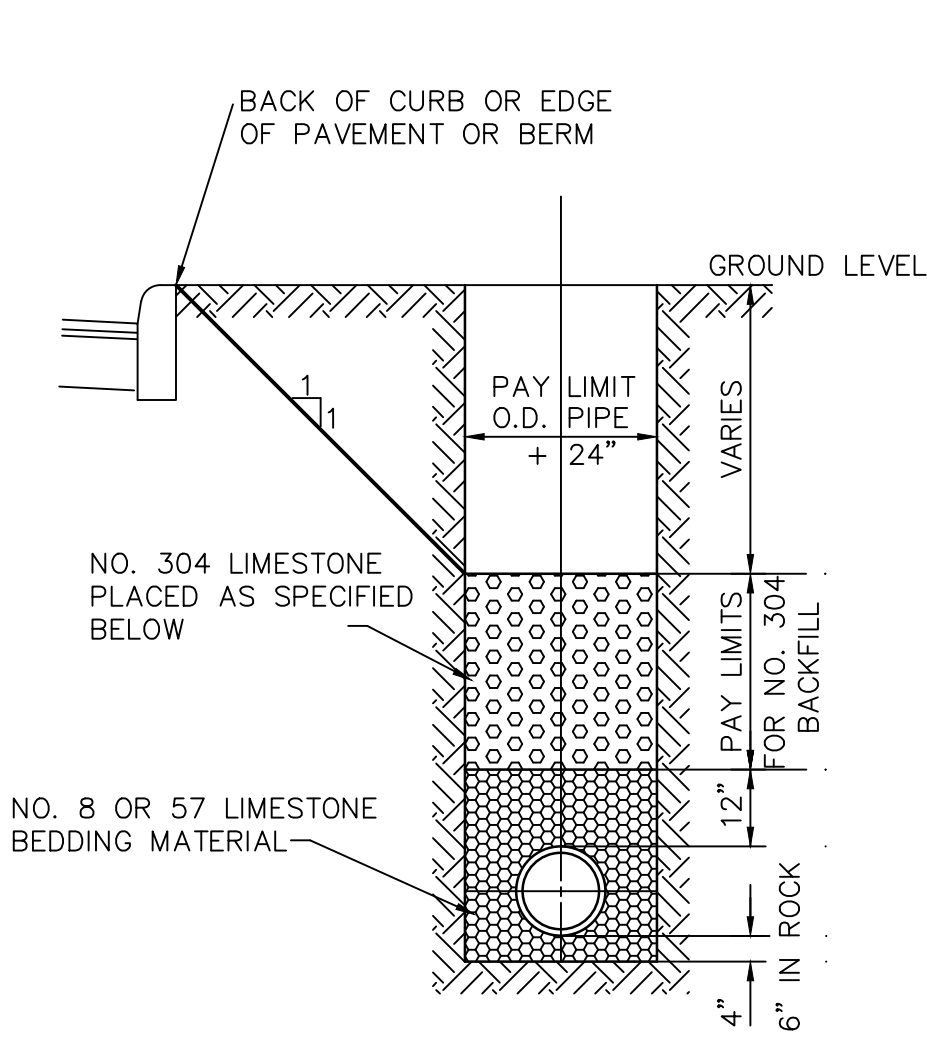
- UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION SO THAT EACH CAN LOCATE AND/OR PROTECT THEIR UTILITIES.
- WORK UNDER THIS CONTRACT SHALL BE LIMITED TO PUBLIC RIGHT-OF-WAY AND PROPERTY OWNED BY THE OWNER AS SHOWN ON THE DRAWINGS. ANY ADDITIONAL CONSTRUCTION EASEMENTS REQUIRED FOR COMPLETION OF WORK UNDER THIS CONTRACT SHALL BE OBTAINED BY THE CONTRACTOR.
  - GAS AND SOME WATER SERVICE LINES MAY NOT BE SHOWN ON THE DRAWINGS. CONTRACTOR SHOULD ASSUME A GAS AND WATER SERVICE FOR EVERY EXISTING STRUCTURE. SERVICE LINES WILL BE LOCATED BY THE UTILITY OWNER AT THE TIME OF CONSTRUCTION.
  - THE CONTRACTOR SHALL PERFORM THE WORK IN SUCH MANNER AS TO NOT REQUIRE CLOSING ANY STREET, ROAD, PARKING LOT OR HIGHWAY TO TRAFFIC AT ANY TIME WITHOUT PRIOR WRITTEN PERMISSION TO DO SO FROM THE OWNER OR COUNTY. ALL SIGNS DETOURING AND BARRICADING MUST BE PRE-APPROVED BY THE OWNER AND SHALL BE IN ACCORDANCE WITH THE 'OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS'.
  - WHERE IT IS NECESSARY TO DISTURB SIGNS, LAWNS, DRIVEWAYS, LANDSCAPING, FENCES, SHRUBS, MAILBOXES, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RESTORE THE AREA TO A CONDITION AT LEAST AS GOOD AS IT WAS PRIOR TO THE ONSET OF CONSTRUCTION.
  - WHEREVER IN THE CONTRACT DOCUMENTS REFERENCE IS MADE TO THE CONSTRUCTION AND MATERIALS SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT) CURRENT EDITION, THE PROVISIONS OF THE REFERENCED ITEM SHALL HAVE THE FULL FORCE AND EFFECT AS IF REPRODUCED HEREIN IN THEIR ENTIRETY. HOWEVER, THE METHOD OF MEASUREMENTS, BASIS OF PAYMENT AND PAY ITEMS SHALL BE AS DIRECTED IN THE MATERIAL SPECIFICATIONS OR BID PROPOSAL FORMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN COPY OF THE ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS.
  - ALL PROPERTY PINS OR MONUMENTS WHICH ARE REMOVED OR DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN THE SAME LOCATION THEY OCCUPIED PRIOR TO CONSTRUCTION. THIS WORK SHALL BE COMPLETED BY A PROFESSIONAL SURVEYOR REGISTERED IN THE STATE OF OHIO.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST, DIRT AND MUD DUE TO CONSTRUCTION IN THE PROJECT AREA DURING THE LIFE OF THE PROJECT. DUST CONTROL OPERATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT THE TIME, LOCATION AND IN THE AMOUNT ORDERED BY THE OWNER AND SHALL BE IN ACCORDANCE WITH ITEM 616 OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. THE COST FOR THESE OPERATIONS SHALL BE CONSIDERED AS GENERAL OVERHEAD COSTS AND NO SEPARATE COMPENSATION WILL BE MADE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY WATER POLLUTION, SOIL EROSION AND SILTATION CONTROL DUE TO CONSTRUCTION WITHIN THE PROJECT AREA AND DURING THE LIFE OF THE PROJECT. THESE TEMPORARY OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH ODOT #207, LATEST REVISION AND AS DIRECTED BY THE ENGINEER. COST FOR SAID CONTROLS SHALL BE CONSIDERED AS GENERAL OVERHEAD COSTS AND NO SEPARATE COMPENSATION WILL BE MADE.
  - NOT ALL GAS LINES AND FIBER OPTICS LINES MAY HAVE BEEN MARKED IN RESPONSE TO THE O.U.P.S. CALL. THE GAS LINES SHOWN ARE BASED ON A COMBINATION OF FIELD LOCATION AND MAPS PROVIDED BY COLUMBIA GAS AND ARE SHOWN IN THEIR APPROXIMATE LOCATION.



**SIDEWALK**

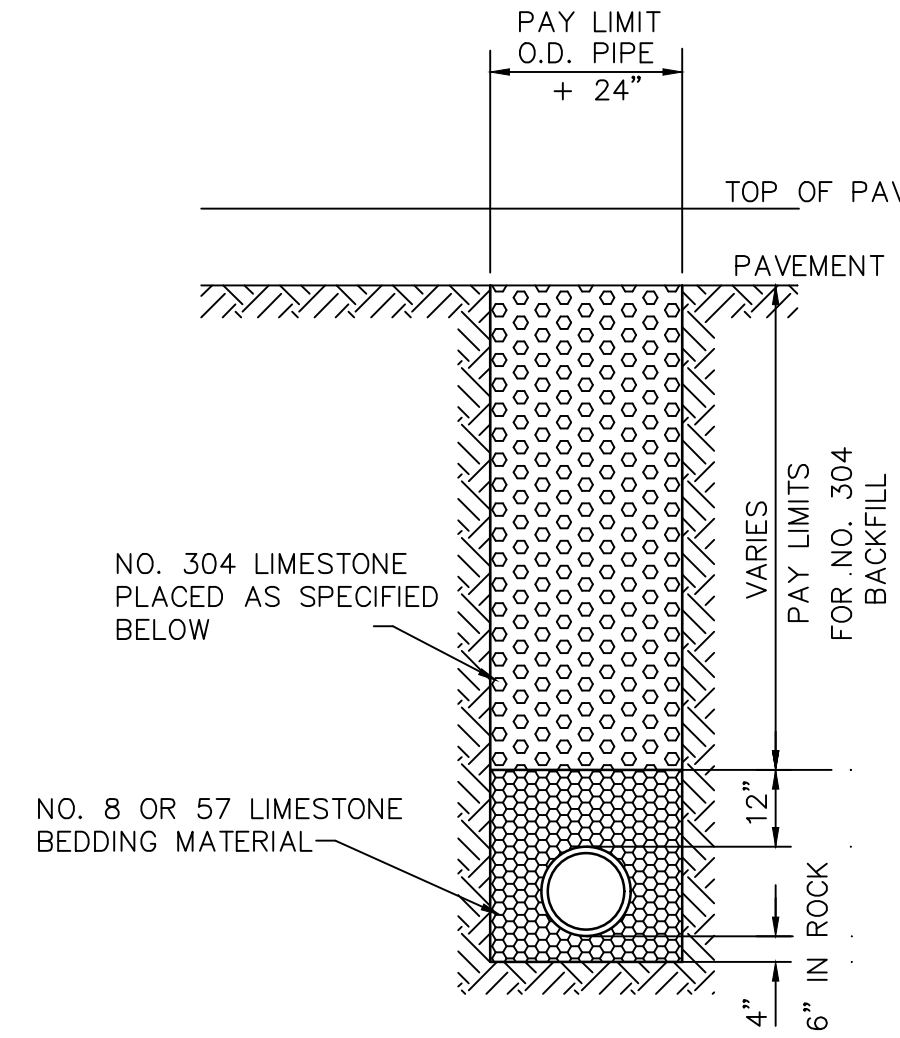
- A. The Portland cement concrete walk with ODOT Item 304 aggregate base shall be in accordance with ODOT Item 608.

**SIDEWALK DETAIL**



**STORM & SANITARY SEWER & WATER MAIN TRENCH**

- COMPACTED TO 95% (MODIFIED PROCTOR) AND INSTALLED BY ONE OF THE FOLLOWING METHODS
- A. SEWERS AND WATER MAINS
- 1' - 0" LIFTS MECHANICALLY COMPACTED
  2. PER ODOT ITEM 603.08

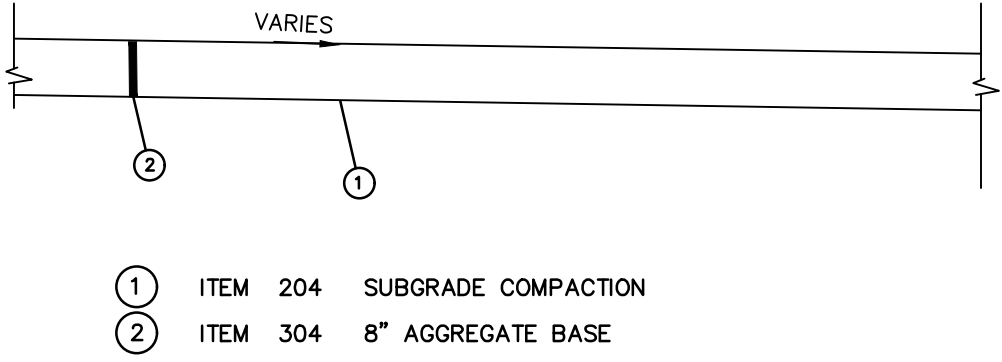


**STORM & SANITARY SEWER & WATER MAIN TRENCH**

**IN PAVEMENT AREA**

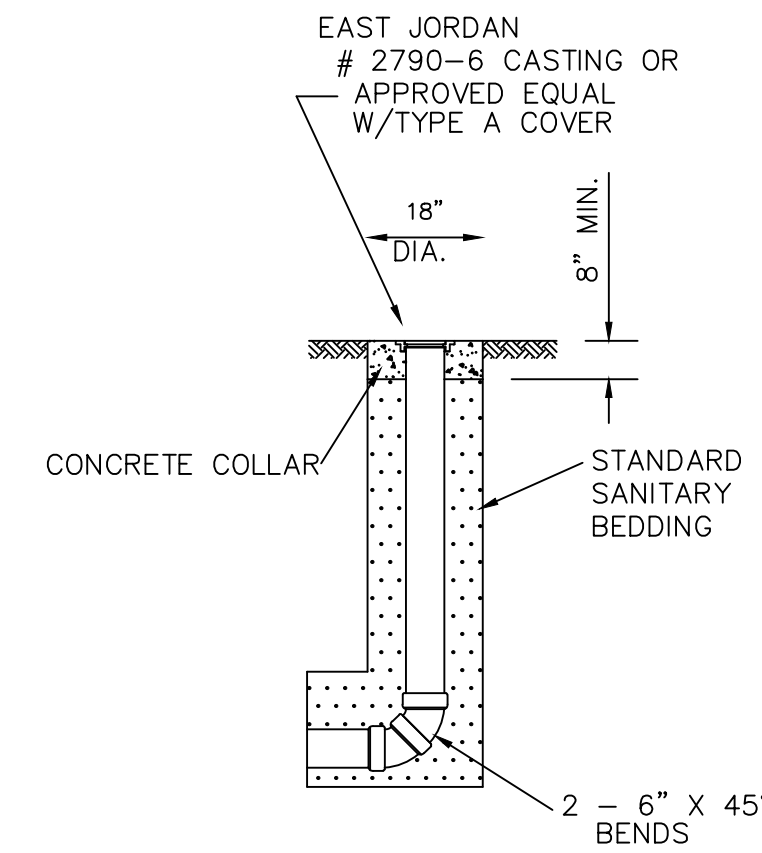
(UNDER ALL PAVEMENTS EXCEPT ROADWAY AREAS)

- COMPACTED TO 95% (MODIFIED PROCTOR) AND INSTALLED BY ONE OF THE FOLLOWING METHODS:
- A. SEWERS & WATER MAINS
- 1' - 0" LIFTS MECHANICALLY COMPACTED
  2. PER ODOT ITEM 603.08



- 1 ITEM 204 SUBGRADE COMPACTION
- 2 ITEM 304 8" AGGREGATE BASE

**TYPICAL SECTION - PAVEMENT**



**SANITARY CLEANOUT DETAIL**

**STORM SEWER SPECIFICATIONS:**

PIPE All storm sewer work shall be in accordance with ODOT Specification 603 for types B and C conduit, except conduit shall be PVC conforming to the requirements of A.S.T.M. specification D3034 (SDR 35) for PVC sewer pipe. Fittings shall be furnished by the pipe manufacturer. Field cut openings will not be permitted.

JOINTS Joints for PVC pipe and fittings shall be rubber gasket, Johns-Manville "Ring-Tite", or equal conforming to the requirements of A.S.T.M. specification D-3212.

PIPE Storm sewer work may be in accordance with ODOT Specification 603 for types B, C and D conduit, except conduit, joints and fittings shall be Corrugated Polyethylene conforming to ODOT 707.16 and AASHTO specification M 294 Type 5 and shall be Advanced Drainage Systems, Inc. "N-12" or approved equal. Fittings shall be furnished by the pipe manufacturer. Field cut openings will not be permitted.

TESTING After backfill procedures have been completed for 30 days at least two sections of each size of PVC or Corrugated Polyethylene sewer selected by the engineer shall be tested for deflection by a deflectometer test approved by the engineer. If any portion of the section of sewer tested deflects more than five percent (5) selected by the engineer will be tested.

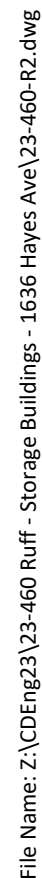
RUFF BROTHERS  
STORAGE BUILDING - SITE PLAN  
NORTH DEPOT STREET, SANDUSKY, OHIO  
DETAILS SHEET

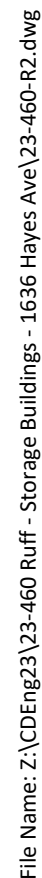
**CONTRACTORS**  
**DESIGN ENGINEERING**  
CONSULTING ENGINEERS & SURVEYORS  
NORWALK, OHIO

7/6/22	TR-3	TRENCH REPAIR SECTION IN PROPOSED PAVED AREAS
7/6/22	TR-2	TRENCH REPAIR SECTION IN GRASS AREAS
7/6/22	MP-1	5/8" TO 1" WATER METER PIT SETTING (BLVD. AREA)
DATE	DWG.	DESCRIPTION
CITY OF SANDUSKY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS		

DATE	BY	DESCRIPTION	NO.	
REVISIONS				

SCALE:	DATE: DEC. 2023	CK'D: BLS	AEW	PROJECT NO.
	DR. BY: BLS	REV'D BY:		23-460









CITY OF SANDUSKY, OHIO  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
DIVISION OF PLANNING

# PLANNING COMMISSION REPORT

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APPLICATION FOR SITE PLAN APPROVAL AT  
1737 TIFFIN AVE. (PARCEL 58-02862.000)

Reference Number: PSPOS23-0011

Date of Report: March 18, 2024

Report Author: Alec Ochs, Assistant Planner



# City of Sandusky, Ohio

## Planning Commission Report

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### BACKGROUND INFORMATION

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Applicant/Owner: Miles Heiberger  
1737 Tiffin Ave.  
Sandusky, Ohio 44839

Authorized Agent: Brandi Schroeder  
1623 Old State Rd.  
Norwalk, OH 44857

Site Location: 1737 Tiffin Ave.  
Sandusky, Ohio 44839

Zoning: RB - Roadside Business

Surrounding Zoning:  
North: GB – General Business  
South: GB – General Business  
East: GB – General Business  
West: RMF – Multi-family Residential

Surrounding Uses: Business, Residential

Existing Use: Vacant land

Proposed Use: Restaurant, food truck venue

Applicable Plans & Regulations: 1149 Site Plan Review and Off-Street Parking  
1133 Business Districts

Subject property outlined in red



#### Zone Map Setbacks



#### PUD - Planned Unit Development



#### Parcels



#### TRO - Transient Rental Overlay



#### Zoning

- AG - Agriculture
- CA - Commercial Amusement
- CR - Commercial Recreation
- CS - Commercial Service
- DBD - Downtown Business
- GB - General Business
- GM - General MAnufacturing
- LB - Local Business
- LM - Local Manufacturing
- P - Auto Parking

- PF - Public Facilities
- R1-40 - Single Family Residential
- R1-50 - Single Family Residential
- R1-60 - Single Family Residential
- R1-75 - Single Family Residential
- R2F Two-Family Residential
- RB - Roadside Business
- RMF - Multi-Family Residential
- RRB - Residential/Business
- RS - Residential Suburban



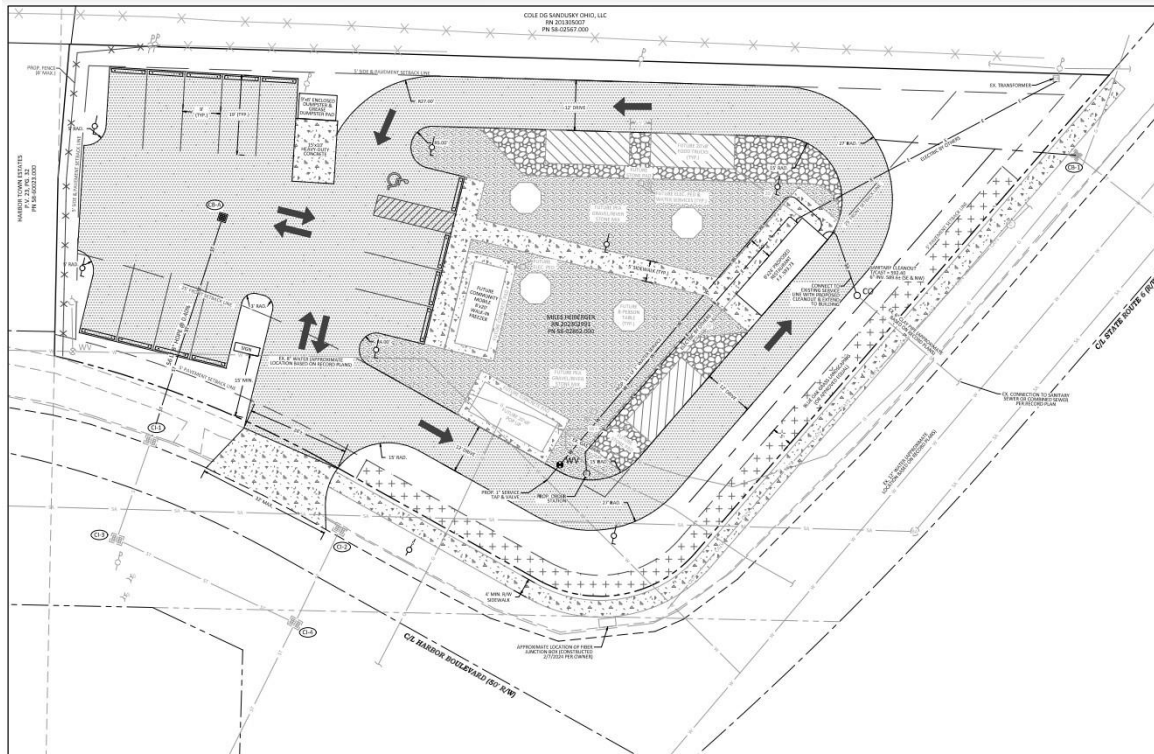
County Auditor Property Map (subject property outlined in red)



Birds Eye Photo (taken September 2023)







The site is approximately 0.4915 acres. The applicant has purchased the property to develop it for a quick service Caribbean themed restaurant structure. There are future

plans for adding three 20' x 8' parking areas for transient food trucks, a walk in cooler and a pad for a pop-up vendor. The permanent structure will be approximately 8' x 24' and will total 192 sq. ft. The project requires 2 off-street parking spaces. The site plan proposal includes 13 parking spaces and a one-way drive-through lane with access from Harbor Boulevard. This development will create two jobs. The building coverage will be 0.9%. The parking coverage area will be 8.988 sq. ft. and the landscaped area will be 11.481 sq. ft.

The proposed hours of operation will be from 10am – 8pm Monday-Saturday, and 11am – 7pm Sundays. There will be no indoor seating and will be predominantly drive-through/walk up service. There will be outdoor seating for up to 24 people.

A 6 foot fence along the Multi-family residential zoning district to the west will have a 6 foot fence along the entirety of the property line.

A monument sign will be placed along the entrance along Harbor Boulevard. A sign permit will be required before construction of the sign.

The proposed site lighting are LED, dark sky compliant the applicant is planning on using. See picture below.



## CHAPTER 1107

### Definitions

“Accessory parking area” means an open or enclosed area (other than a street or driveway), accessory to a dwelling or other building, and used for the parking of passenger automobiles for occupants, their guests, or customers, of the building.

### 1133.05 PERMITTED BUILDINGS AND USES; ROADSIDE BUSINESS DISTRICT.

(a) Main Buildings and Uses.

(1) All stores, services, dwellings, and other uses permitted in Local Business Districts;

(2) Additional retail business stores and services conducted wholly within enclosed buildings, or adjoining and operated in connection with an establishment in an enclosed building to the following extent:

A. The sale and serving of all beverages, and eating places of all types permitting dancing and live entertainment. Conditional use permits shall be obtained by places selling or serving alcoholic beverages, and by all drive-in establishments; (...)

(c) Accessory Buildings or Uses.

(1) Accessory off-street parking and loading facilities as required and set forth in Chapter 1149;

(2) Any accessory use, such as the storage of goods and processing operations clearly incident to the conduct of a retail business or service establishment permitted as main uses, provided the use has no injurious effect on adjoining residential districts.

(Ord. 23-080. Passed 3-27-23.)

### 1133.11 YARD REGULATIONS; BUSINESS DISTRICTS.

For every main or accessory building in business districts, the following minimum yards shall be provided:

(...)

(3) General Business District, Downtown Business District. Buildings may be located on the front lot line, unless shown otherwise on the Zone Map. If a front yard is provided, it may be used for parking, but not within 5 feet of the front property line if the site plan showing the parking location is approved by the Commission.

(4) All Business Districts.

A. If a business building is located on a lot abutting a side street and adjoins a residential district, the building or parking area shall have a setback from a side

street line of not less than 5 feet, unless shown otherwise on the Zone Map, or determined otherwise by the Commission.

B. No structure shall be erected or merchandise displayed in front of a building line or closer than 5 feet to the street line if there is no building line, except that gasoline pumps constituting part of a service station or garage may be erected in front of a building line, but not less than 15 feet from a street lot line, provided all driveways, platforms, and curbs of the service stations are designed to service vehicles standing only within the premises.

C. Where parking is provided in front yards, a curb or other attractive barrier shall be erected to prevent vehicles projecting over an established setback line, and the front yards between the barrier and sidewalk shall be landscaped and maintained attractively.

(c) Side Yards.

(1) Local Business, Roadside Business, General Business Districts.

A. Business buildings, when located on a lot adjoining a residential district, shall have a side yard of not less than 12 feet on the adjoining side; a wall or solid fence, approximately 5-1/2 feet high, may be required by the Commission on the side yard line of the business lot.

B. Business buildings shall either have no side yard, or be located not less than 5 feet from the nearest business building.

(d) Rear Yards.

Local Business, Roadside Business, General Business, Downtown Business Districts\_ Main and accessory business buildings shall have a rear yard of not less than 20 feet when adjoining a residential district. A wall or solid fence, approximately 5-1/2 feet high, may be required by the Commission on the rear yard line of a business lot adjoining a residential district. Properties north of Shoreline Drive Extended: buildings must maintain a 20' setback from the water. (Ord. 04-057. Passed 1-12-04.)

**1133.12 HEIGHT REGULATIONS; ALL BUSINESS DISTRICTS.**

The height of any main or accessory building shall not exceed 2 stories or 35 feet, in Automobile Parking, Local or Roadside Business Districts, and not exceed 125 feet in General Business.

**CHAPTER 1149**

**Site Plan Review and Off-Street Parking**

**1149.04 MEASUREMENT STANDARDS.**

For the purpose of determining accessory off-street parking requirements definitions and standards shall be as follows:

(..)

(c) Floor Area. The total area of all the floors measured from the exterior faces of the building (except the floor, or part thereof, used for the storage or warehousing may be waived with administrative approval and if not approved by the administration, the



Planning Commission may approve the waiver), or where set forth in the following schedule, only the floor area used by specific use.

#### **1149.05 SCHEDULE OF REQUIRED OFF-STREET PARKING.**

(Commercial and Manufacturing)

(...)

##### (d) Business.

(1)	Gasoline service stations	1 space per 2 gas pumps plus 2 spaces per bay
(2)	Medical and dental offices and clinics	1 space per 200 sq. ft. floor area
(3)	Retail stores, banks, other office buildings, service establishments and auto repair shops	1 space per 250 square feet gross floor area of ground floor; 1 space per 300 sq. ft. of other floors
(4)	Eating places, bars, taverns	1 space per 100 square feet gross floor area

**Required Parking Spaces: 2 spaces**

#### **1149.09 SURFACE IMPROVEMENTS OF PARKING AREAS.**

(a) All parking areas and access driveways shall be a paved surface unless otherwise approved by the Planning Commission. These surfaces shall have adequate drainage so as not to negatively effect adjoining properties. Water shall not drain across public roads or walkways. Appropriate bumper guards or curbs shall be provided, to prevent the location of vehicles within required setbacks or right-of-ways.

#### **1149.10 ILLUMINATION OF PARKING AREAS.**

Parking areas shall be adequately illuminated whenever necessary to protect the public safety. Illumination shall be so designed and located that light sources are shielded from adjoining residential districts and streets, and shall not be of excessive brightness or cause a glare hazardous to pedestrians or auto drivers.

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##### **SUPPLEMENTAL NOTES / PLANNING DIVISION COMMENTS**

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The parking proposal is below the 25 space threshold with 23 spaces and does not require landscaping standards. With no additional parking requirements, no additional landscaping is required. In general, staff recommends adding trees as part of any site-plan improvement, in this case in the recommended landscaping areas of focus. See attached image below.

All area, yard, height and parking standards are satisfied.  
This is a permitted use.

[illegible]

 Potential greenspace / landscaping area  
Staff recommends a mix of shrubbery and tree's

**OTHER DEPARTMENT COMMENTS**

**Engineering Staff:**

The Engineering Department has concerns about the transient food vendors dumping used cooking oil into the catch basin on the site. They have recommended adding a grease trap in-line to minimize damage to city infrastructure. If food vendors were to misuse the drain on site, Engineering recommended adding an additional grease dumpster for the transient vendors if needed.

**Building Staff:**

The Building Department has no objections to this request. Additional submittals showing compliance with Ohio Building Code & ADA codes will be required.

**Police Department:**

The Police Department has no objections to this request.

**Fire Department:**

All transient food trucks remain at least 3 feet apart from each other and 10 feet away from any openings in the permanent restaurant

**Code Compliance**

The Code Compliance Department has no objections to this request.

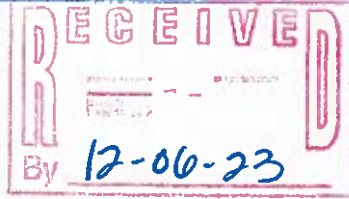
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**CONCLUSION/RECOMMENDATION**

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Staff recommends the approval of the proposed site plan for 1737 Tiffin Ave. (parcel 58-02862.000) with the following conditions:

1. All applicable permits are obtained through the Building Department, Engineering Department, Division of Planning and any other applicable agency.
2. Grease trap is constructed within catch basin CB-A in the parking area
3. Illumination shall be so designed and located that light sources are shielded from adjoining Residential Districts



## PLANNING COMMISSION

*Application for Site Plan Approval*

Division of Planning  
240 Columbus Ave  
Sandusky, Ohio 44870  
419.627.5891

[www.cityofsandusky.com](http://www.cityofsandusky.com)

### APPLICANT/AGENT INFORMATION:

**Property Owner Name:** Miles Heiberger

**Property Owner Address:** 1737 Tiffin Ave.  
Sandusky, Ohio 44870

**Property Owner Telephone:** (419) 975-4293

**Property Owner Email:** miles.heiberger@gmail.com

**Authorized Agent Name:** Brandi Schroeder, P.E., S.I., CESSWI

**Authorized Agent Address:** 1623 Old State Road  
Norwalk, Ohio 44857

**Authorized Agent Telephone:** (419) 663-0885 ext. 603

**Authorized Agent Email:** brandi@contractorsdesigneng.com

### LOCATION AND DESCRIPTION OF PROPERTY:

**Municipal Street Address:** 1737 Tiffin Ave.

#### **Legal Description of Property (check property deed for description):**

0.4915 acres in part of Outlot 4 in the Subdivision of the part of Mills Tract recorded in PV 1, Page 47 and part of a portion of vacated Harbor Boulevard in Harbor Town Estates in PV 23, Pg. 32

**Parcel Number:** 58-02862.000 **Zoning District:** RB



**DETAILED SITE INFORMATION:**

**Land Area of Property:** 0.4915 acres (sq. ft. or acres)

**Total Building Coverage (of each existing building on property):**

**Building #1:** 192 sq. ft. (Prop.) (in sq. ft.)

**Building #2:** \_\_\_\_\_

**Building #3:** \_\_\_\_\_

**Additional:** \_\_\_\_\_

**Total Building Coverage (as % of lot area):** 0.90%

**Gross Floor Area of Building(s) on Property (separate out the square footage of different uses – for example, 800 sq. ft. is retail space and 500 sq. ft. is storage space:** \_\_\_\_\_

192 sq. ft. restaurant

**Proposed Building Height (for any new construction):** 12.5 ft.

**Number of Dwelling Units (if applicable):** n/a

**Number of Off-Street Parking Spaces Provided:** 13

**Parking Area Coverage (including driveways):** 8,988 (in sq. ft.)

**Landscaped Area:** 11,481 (in sq. ft.)

**PROPOSED DEVELOPMENT (check those that apply):**

- ☒ **New Construction (new building(s))**  
☐ **Addition to Existing Building(s)**  
☐ **Change of Use in Existing Building(s)**

**Description of Proposed Development (Describe in detail your development plans, for example – proposed use, size of building or proposed addition, hours of operation, days of operation, seating capacity, etc.):**

Caribbean themed Quick Service Restaurant

192 square foot opened 10am-8pm Mon-Sat

11am-7pm Sundays. No indoor Seating.

Predominantly Drive through customer service.

Outdoor Seating for up to 24 people.

Two total employees.

**APPLICATION AUTHORIZATION:**

If this application is signed by an agent, authorization in writing from the legal owner is required. Where owner is a corporation, the signature of authorization should be by an officer of the corporation under corporate seal.

 \_\_\_\_\_ 12/4/23  
Signature of Owner or Agent Date

**PERMISSION TO ACT AS AUTHORIZED AGENT:**

As owner of \_\_\_\_\_ (municipal street address of property), I hereby authorize \_\_\_\_\_ to act on my behalf during the Planning Commission approval process.

\_\_\_\_\_  
Signature of Property Owner Date

**REQUIRED SUBMITTALS:**

1 copy of a site plan/off-street parking plan for property  
\$25.00 application fee

**APPLICATION MUST BE FILLED OUT COMPLETELY**

**STAFF USE ONLY:**

Date Application Accepted: \_\_\_\_\_ Permit Number: \_\_\_\_\_

Date of Planning Commission Meeting: \_\_\_\_\_

Planning Commission File Number: \_\_\_\_\_

IMPROVEMENT PLANS FOR MILES HEIBERGER AT  
1737 TIFFIN AVE  
CITY OF SANDUSKY, ERIE COUNTY, OHIO

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
SA	SA	SANITARY SEWER
ST	ST	STORM SEWER
W	W	WATER MAIN
G	G	GAS LINE
T	T	TELEPHONE LINE
OE	OE	OVERHEAD ELECTRIC LINE
E	E	ELECTRIC LINE
CATV	CATV	CABLE & TELEVISION LINE
1	1	FENCE LINE
2	2	CENTER LINE
		BASE LINE
		RIGHT OF WAY LINE
		MANHOLE
		CATCH BASIN
		CLEANOUT
		WATER VALVE
		FIRE HYDRANT
		WATER METER
		GAS METER
		WATER SERVICE
		GAS VALVE
		POWER POLE
		LIGHT POLE
		POLE W/ DOWN GUY
		TREE
		HEDGE
		SIGN



SITE MAP  
N.T.S.

PROJECT DESCRIPTION
This project will include the construction of a proposed coffee shop with sanitary, water and electric services. Additionally, construction of proposed sidewalks to a proposed parking lot, construction of a one-way drive thru lane and storm sewer.

CONTROL POINTS	
Bearings are based on Grid North of the Ohio State Plane Coordinate System, NAD'83 Datum, Geoid 18, by ODOT VRS.	
CONTROL POINT #50 5/8" iron pin with CDE cap Northing: 645842.250 Easting: 1903948.073 Elevation: 592.97 NAVD '88	CONTROL POINT #53 5/8" iron pin with CDE cap Northing: 645889.075 Easting: 1903795.413 Elevation: 591.06 NAVD '88
CONTROL POINT #51 5/8" iron pin with CDE cap Northing: 645963.349 Easting: 1903799.055 Elevation: 591.03 NAVD '88	CONTROL POINT #54 5/8" iron pin with CDE cap Northing: 645956.002 Easting: 1904046.652 Elevation: 592.45 NAVD '88

INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS SHEET
3	EXISTING SITE & DEMOLITION PLAN
4	PROPOSED SITE & UTILITY PLAN
5	PROPOSED GRADING PLAN

GENERAL NOTES			
<b>SPECIFICATIONS:</b> The current Construction and Material Specifications (CMS) of the State of Ohio Department of Transportation, including any changes and supplemental specifications listed hereon, shall govern this project.  Item numbers referred to herein conform to the State of Ohio Department of Transportation, Construction and Material Specifications, Current Edition.			
<b>ELEVATION DATUM</b> All elevations are based on NAVD '88 Datum and verified by a Surveyor.			
<b>PERMITS</b> The contractor shall be responsible for obtaining all necessary permits.			
<b>UNDERGROUND UTILITIES</b> The locations of the underground utilities shown on the plans have been obtained by diligent field checks and searches of available records. It is believed that they are essentially correct, but Contractors Design Engineering, nor City of Sandusky guarantee their accuracy or completeness. The exact location and projection of the underground utilities are the responsibility of the contractor.			
<b>OHIO UTILITY PROTECTION SERVICE:</b> The contractor shall notify the Ohio Utility Protection Service [800-362-2764] forty-eight [48] hours before his work is in progress and shall make such arrangements as are necessary in the event emergency repairs should become necessary.			
<b>LIST OF UTILITIES</b>			
Gas	Columbia Gas of Ohio, Inc. 1800 Broad Ave. Findlay, Ohio 45840 Phone: 419-277-1349	Sanitary Sewers & Water Mains	City of Sandusky 240 Columbus Ave. Sandusky, Ohio 44870 Phone: 419-627-5844
Telephone	AT & T 130 N. Erie Street, Room 206 Toledo, Ohio 43604 Phone: 419-245-7491	Electric	Ohio Edison Company 2508 W. Perkins Ave. Sandusky, Ohio 44870 Phone: 419-627-6881
Cable T.V.	Buckeye Broadband 2700 Oregon Road Northwood, Ohio 43619 Phone: 419-724-3713	Street & Storm	City of Sandusky 240 Columbus Ave. Sandusky, Ohio 44870 Phone: 419-627-5844
<b>EXISTING ROADWAY DRAINAGE</b> Existing roadway ditches, culverts pipes and drives disturbed during construction shall be regraded and replaced to conform to conditions prior to construction and shall be seeded as directed by the Engineer or the City.			
<b>LAWN AREAS:</b> Existing lawn areas disturbed during construction shall be replaced to a condition equal to or exceeding original condition and as approved by the Engineer or the City.			
<b>EXISTING TREES</b> Existing trees not indicated for removal shall not be disturbed during construction operations. All cuts or wounds measuring one or more inches in diameter and all exposed wood or scars resulting from this construction shall be painted with an approved paint or tree wound dressing.			
<b>ITEM 614, MAINTAINING TRAFFIC</b> Traffic shall be maintained on all roads of this project at all times.			
<b>UTILITY SERVICES</b> Relocation or repair of utility services, disturbed by the work will be the responsibility of the contractor. The cost shall be included in the cost of the project.			
<b>CONSTRUCTION LAYOUT</b> All construction layout shall be the responsibility of the contractor and shall be provided by a Licensed Professional Surveyor.			

PLANS PREPARED BY	
<b>Engineer &amp; Surveyor</b> Contractors Design Engineering, Ltd. 1623 Old State Road Norwalk, Ohio 44857 Phone: (419) 663-0885 Fax: (419) 663-2805 E-Mail: brandi@contractorsdesigneng.com	
<i>Brandi Schroeder</i> Brandi L. Schroeder, P.E., S.I., CESSWI	
the 9th day of February, 2024	

UNDERGROUND UTILITIES
Contact Two Working Days Before You Dig
OHIO811, 8-1-1, or 1-800-362-2764 (Non-members must be called directly)

IMPROVEMENT PLAN FOR MILES HEIBERGER  
1737 TIFFIN AVE., CITY OF SANDUSKY, ERIE COUNTY, OHIO  
TITLE SHEET

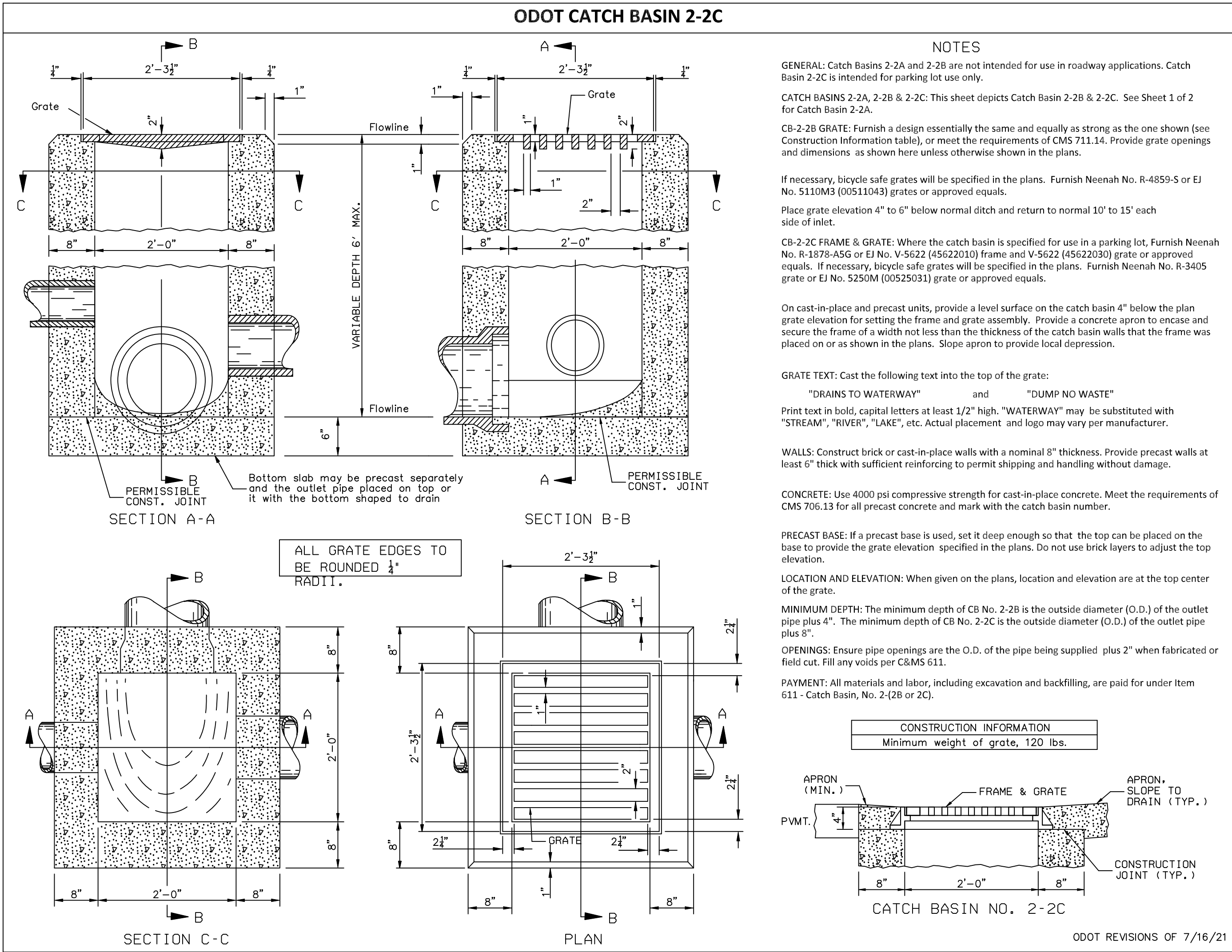
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**CONTRACTORS**  
**DESIGN ENGINEERING**  
CONSULTING ENGINEERS & SURVEYORS  
NORWALK, OHIO

					<div><div></div><div>DESIGN ENGINEERING</div><div>CONSULTING ENGINEERS &amp; SURVEYORS</div><div>NORWALK, OHIO</div></div>				
02/09/24	BLS	ADDRESS CITY OF SANDUSKY'S INITIAL COMMENTS OF 1/9/24 MEETING		1	SCALE:	DATE: NOV., 2023	CK'D BY: AEW	PROJECT NO.  23-436	
DATE	BY	DESCRIPTION		NO.		DR. BY: BLS	REV'D BY:		
REVISIONS									



File Name: Z:\CD\Eng\23\23-436 Heiberger - Topo & Plans - 1737 Tiffin Ave\23-436-SITE.dwg



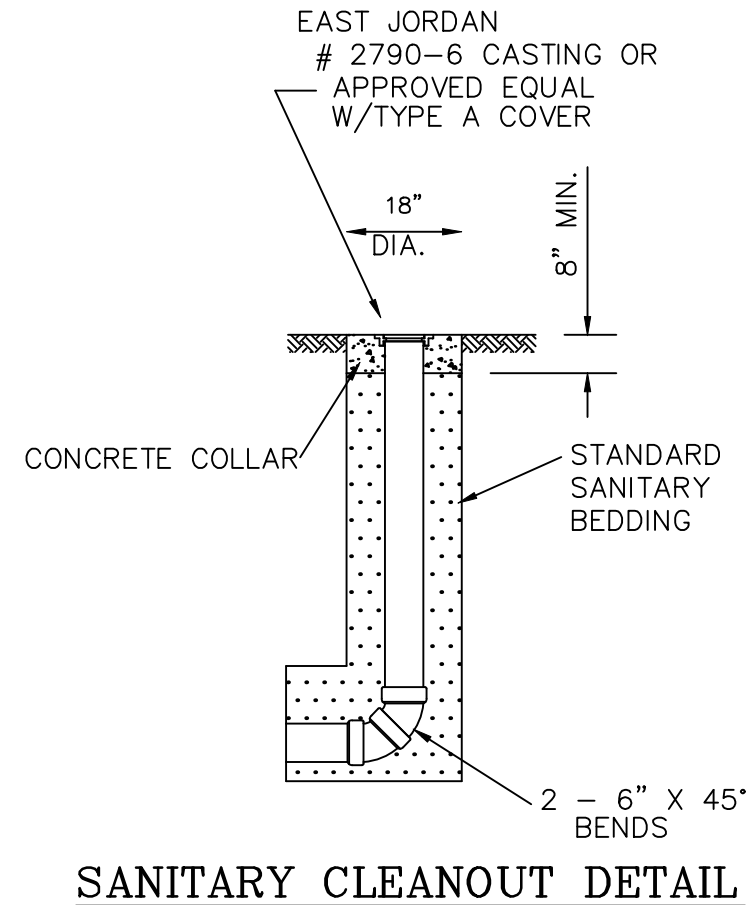
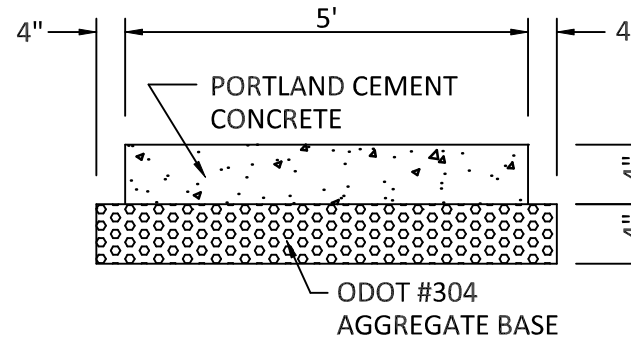
**GENERAL NOTES**

- UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION SO THAT EACH CAN LOCATE AND/OR PROTECT THEIR UTILITIES.
- WORK UNDER THIS CONTRACT SHALL BE LIMITED TO PUBLIC RIGHT-OF-WAY AND PROPERTY OWNED BY THE OWNER AS SHOWN ON THE DRAWINGS. ANY ADDITIONAL CONSTRUCTION EASEMENTS REQUIRED FOR COMPLETION OF WORK UNDER THIS CONTRACT SHALL BE OBTAINED BY THE CONTRACTOR.
- GAS AND SOME WATER SERVICE LINES MAY NOT BE SHOWN ON THE DRAWINGS, CONTRACTOR SHOULD ASSUME A GAS AND WATER SERVICE FOR EVERY EXISTING STRUCTURE. SERVICE LINES WILL BE LOCATED BY THE UTILITY OWNER AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM THE WORK IN SUCH MANNER AS TO NOT REQUIRE CLOSING ANY STREET, ROAD PARKING LOT OR HIGHWAY TO TRAFFIC AT ANY TIME WITHOUT PRIOR WRITTEN PERMISSION TO DO SO FROM THE OWNER OR COUNTY. ALL SIGNS DETOURING AND BARRICADING MUST BE PRE-APPROVED BY THE OWNER AND SHALL BE IN ACCORDANCE WITH THE 'OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS'.
- WHERE IT IS NECESSARY TO DISTURB SIGNS, LAWNS, DRIVEWAYS, LANDSCAPING, FENCES, SHRUBS, MAILBOXES, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RESTORE THE AREA TO A CONDITION AT LEAST AS GOOD AS IT WAS PRIOR TO THE ONSET OF CONSTRUCTION.
- WHEREVER IN THE CONTRACT DOCUMENTS REFERENCE IS MADE TO THE CONSTRUCTION AND MATERIALS SPECIFICATIONS OF THE OHIO DEPARTMENT OF TRANSPORTATION (ODOT) CURRENT EDITION, THE PROVISIONS OF THE REFERENCED ITEM SHALL HAVE THE FULL FORCE AND EFFECT AS IF REPRODUCED HEREIN IN THEIR ENTIRETY. HOWEVER, THE METHOD OF MEASUREMENTS, BASIS OF PAYMENT AND PAY ITEMS SHALL BE AS DIRECTED IN THE MATERIAL SPECIFICATIONS OR BID PROPOSAL FORMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN COPY OF THE ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS.
- ALL PROPERTY PINS OR MONUMENTS WHICH ARE REMOVED OR DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN THE SAME LOCATION THEY OCCUPIED PRIOR TO CONSTRUCTION. THIS WORK SHALL BE COMPLETED BY A PROFESSIONAL SURVEYOR REGISTERED IN THE STATE OF OHIO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST, DIRT AND MUD DUE TO CONSTRUCTION IN THE PROJECT AREA DURING THE LIFE OF THE PROJECT. DUST CONTROL OPERATIONS SHALL BE PERFORMED BY THE CONTRACTOR AT THE TIME, LOCATION AND IN THE AMOUNT ORDERED BY THE OWNER AND SHALL BE IN ACCORDANCE WITH ITEM 616 OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS. THE COST FOR THESE OPERATIONS SHALL BE CONSIDERED AS GENERAL OVERHEAD COSTS AND NO SEPARATE COMPENSATION WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY WATER POLLUTION, SOIL EROSION AND SILTATION CONTROL DUE TO CONSTRUCTION WITHIN THE PROJECT AREA AND DURING THE LIFE OF THE PROJECT. THESE TEMPORARY OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH ODOT #207, LATEST REVISION AND AS DIRECTED BY THE ENGINEER. COST FOR SAID CONTROLS SHALL BE CONSIDERED AS GENERAL OVERHEAD COSTS AND NO SEPARATE COMPENSATION WILL BE MADE.
- NOT ALL GAS LINES AND FIBER OPTICS LINES MAY HAVE BEEN MARKED IN RESPONSE TO THE O.U.P.S. CALL. THE GAS LINES SHOWN ARE BASED ON A COMBINATION OF FIELD LOCATION AND MAPS PROVIDED BY COLUMBIA GAS AND ARE SHOWN IN THEIR APPROXIMATE LOCATION.

**SIDEWALK**

- A. The Portland cement concrete walk with ODOT Item 304 aggregate base shall be in accordance with ODOT Item 606.

**SIDEWALK DETAIL**



**Polyethylene (PE) Water Service**

PE water service tubing shall be high density, blue or black with blue stripes, copper tube size (CTS), DR 9 (outside diameter-based dimension ratio), PE 3408/3608 - pressure class 200 psi or PE 4710 - pressure class 250 psi. In conformance with the requirements of ANSI/AWWA C901 and ASTM D2737 Standard Specification for Polyethylene (PE) PE3608 Plastic Tubing, in sizes 1 inch, 1-1/2 inch and 2 inches. Copper Tube sizes shall be used to allow the use of compression fittings without special adapters.

PE water service tubing shall bear permanent identification markings that will remain legible during normal handling, storage, installation and service life and that will not reduce strength or otherwise damage tubing. Markings shall be applied at intervals not more than 5 feet and shall include: nominal size, standard PE code designation, dimension ratio, AWWA pressure class, AWWA designation number C901, manufacturer's name or trademark and production record code, seal or mark of testing agency that certified suitability of tubing material for potable water products.

**Tracer Wire for Polyethylene (PE) Water Service**

Tracer wire for PE water service tubing shall be in conformance with the requirements of Section S901 Water Main Pipe and Fittings for tracer wire.

**CONSTRUCTION DETAILS**

**General**

Minimum cover over water service tubing and fittings, as measured between finished grade and top of exterior limit of water service tubing and fittings is to be 4 feet 6 inches

Water service tubing shall be installed in a single piece without joints between corporation stop and curb stop. Water service tubing may be curved around obstructions in the trench. Water service tubing shall be laid at a right angle to the water main and in a straight path from the corporation stop to the curb stop. There shall be no kinks, joints, gouges or crimps in the water service tubing, and Contractor shall avoid any unnecessary flexing and bending of the water service tubing.

Water service tubing shall be connected to corporation stop, curb stop and existing water service tubing by using approved and appropriate gaskets, joint and connection materials, or fittings required to make the connections.

Service saddles are required for connecting all water service tubing to PVC/PVCO water main pipe. Service saddles shall be used as specified.

**Tracer Wire Installation with Polyethylene (PE) Water Service**

Tracer wire shall be HMW-PE, 45 mils, 12-AWG solid copper and installed along PE water service tubing. Tracer wire shall be installed in such a manner as to enable its detection with electronic locating equipment.

Tracer wire shall be from corporation stop extended continuously along polyethylene (PE) water service tubing to the curb stop and up to top of curb stop box. Where PE water service is installed on ductile iron water mains, tracer wire shall be secured at the corporation stop. Where PE water service is installed on PVC water mains, tracer wire for PE water service tubing shall be spliced to the tracer wire for the PVC water main. For curb boxes located in grassy areas, tracer wire shall travel up the outside of curb box and wrap 3 times around underside of box lip. For curb boxes located in concrete or asphalt areas, tracer wire shall travel up inside curb box shaft and extend 1 foot longer than top of box with wire tucked inside box.

**SANITARY SEWER PIPE AND SPECIALS PIPE**

P.V.C. sewer pipe and fittings shall conform to the requirements of A.S.T.M. specification D-3034 (SDR-35) for P.V.C. sewer pipe. Minimum wall thickness shall be as follows: 12" - 0.360", 10" - 0.300", 8" - 0.240", and 6" - 0.180".

Fittings shall be furnished by the manufacturer.

Field cut openings will not be permitted.

JOINTS Joints for PVC pipe and fittings shall be rubber gasket, Johns-Manville "Ring-Tite", or equal conforming to the requirements of A.S.T.M. specification D-3212.

TESTING Before completion and final acceptance, the sewer will be inspected and tested by low pressure air testing in conformance with Erie County and/or Huron Township standards. Sewer pipe shall also be tested for deflection by a deflectometer test in conformance with Erie County and/or Huron Township Standards. The test shall be conducted after the final backfill has been in place at least 30 days. No pipe shall have a deflection exceeding 5

**STORM SEWER SPECIFICATIONS:**

PIPE All storm sewer work shall be in accordance with ODOT Specification 603 for types B and C conduit, except conduit shall be PVC conforming to the requirements of A.S.T.M. specification D3034 (SDR 35) for PVC sewer pipe. Fittings shall be furnished by the pipe manufacturer. Field cut openings will not be permitted.

JOINTS Joints for PVC pipe and fittings shall be rubber gasket, Johns-Manville "Ring-Tite", or equal conforming to the requirements of A.S.T.M. specification D-3212.

PIPE Storm sewer work may be in accordance with ODOT Specification 603 for types B, C and D conduit, except conduit, joints and fittings shall be Corrugated Polyethylene conforming to ODOT 707.16 and AASHTO specification M 254 Type S and shall be Advanced Drainage Systems, Inc. "N-12" or approved equal. Fittings shall be furnished by the pipe manufacturer. Field cut openings will not be permitted.

TESTING After backfill procedures have been completed for 30 days at least two sections of each size of PVC or Corrugated Polyethylene sewer selected by the engineer shall be tested for deflection by a deflectometer test approved by the engineer. If any portion of the section of sewer tested defects more than five percent (5 selected by the engineer will be tested.

IMPROVEMENT PLAN FOR MILES HEIBERGER  
1737 TIFFIN AVE., CITY OF SANDUSKY, ERIE COUNTY, OHIO  
DETAILS SHEET

**CONTRACTORS**  
**DESIGN ENGINEERING**  
CONSULTING ENGINEERS & SURVEYORS  
NORWALK, OHIO

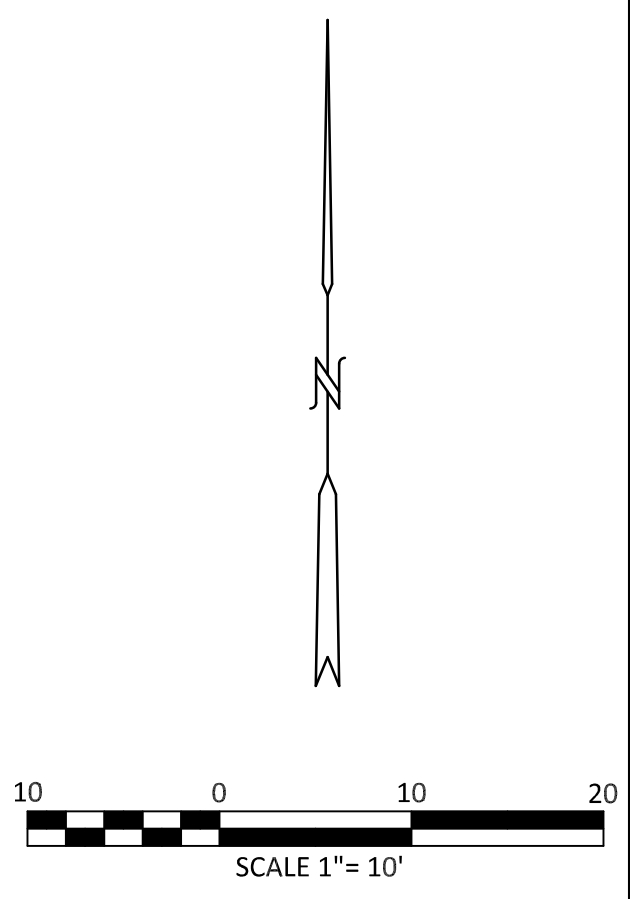
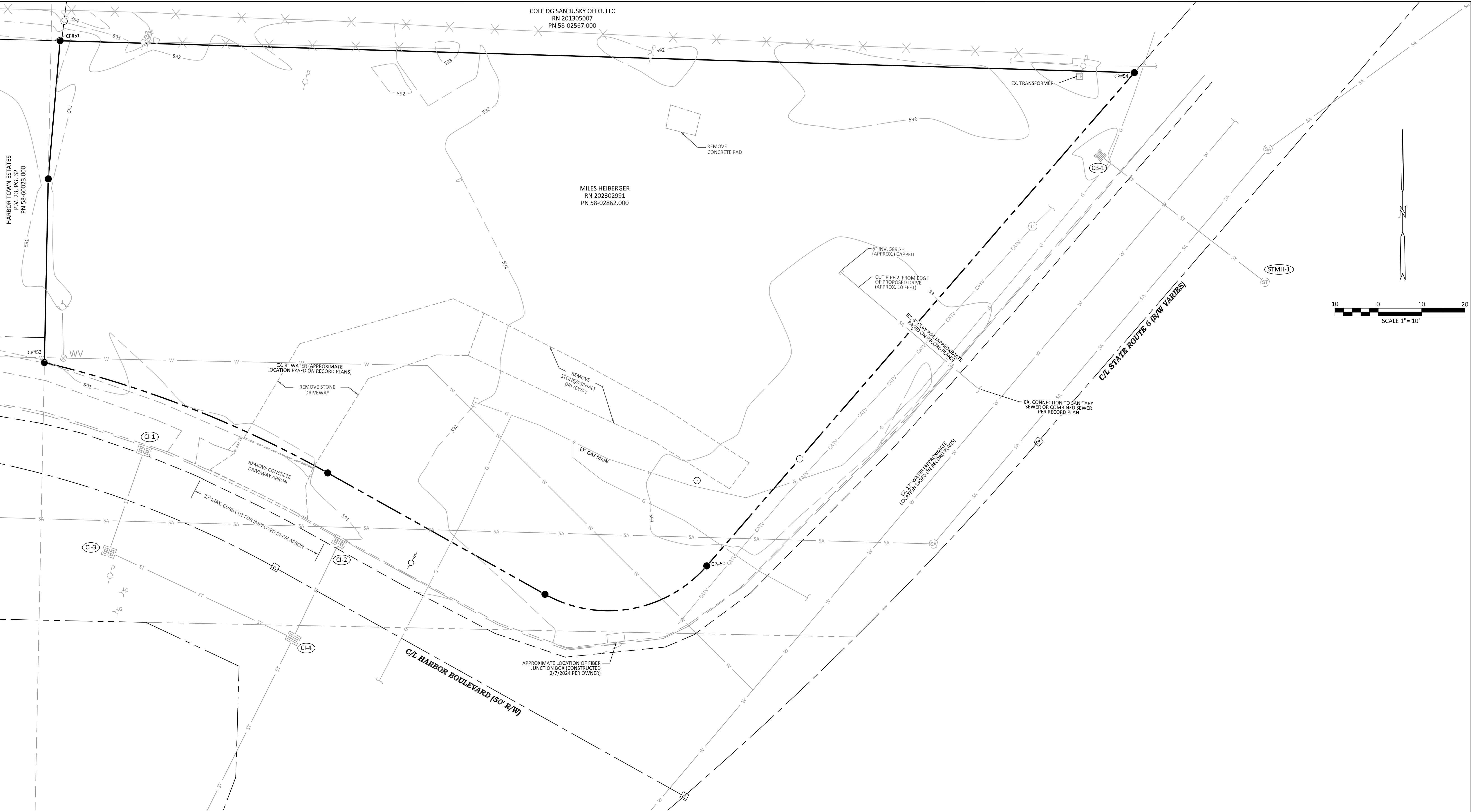
SCALE: DATE: NOV., 2023 BY: AEW PROJECT NO. 23-436  
DR. BLS REV'D BY:

7/8/22	PVMT-2	FULL DEPTH ASPHALT PAVEMENT - LIGHT TRAFFIC
7/5/22	SW-1	4" CONCRETE SIDEWALK
7/6/22		ODOT 608 & 609 CITY STANDARD CONCRETE DRIVE APPROACH
7/6/22	TR-3	TRENCH REPAIR SECTION IN PROPOSED PAVED AREAS
7/5/22	TR-2	TRENCH REPAIR SECTION IN GRASS AREAS
7/6/22	MP-1	5/8" TO 1" WATER METER PIT SETTING (BLVD. AREA)
DATE	DWG.	DESCRIPTION
CITY OF SANDUSKY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS		

02/09/24	BLS	ADDRESS CITY OF SANDUSKY'S INITIAL COMMENTS OF 1/9/24 MEETING	1
DATE	BY	DESCRIPTION	NO.
REVISIONS			



File Name: Z:\CD\Eng\23\23-436 Heiberger - Topo & Plans - 1737 Tiffin Ave\23-436 SITE.dwg



STORM SEWER TABLE						
STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
CI-1	EX. CURB INLET	590.07	SW	12"	587.46	RPP
			N	8"	587.56	PVC
CI-2	EX. CURB INLET	590.51	SW	12"	587.73	RPP
CI-3	EX. CURB INLET	590.18	NW	12"	587.56	RPP
			SE	12"	587.53	RPP
CI-4	EX. CURB INLET	590.49	NE	12"	586.68	RPP
			NW	12"	586.85	RPP
			SW	18"	586.14	RPP
CB-1	EX. CATCH BASIN	591.77	SE	4"	587.20	CPP
			SE	10"	586.80	PVC

02/09/24	BLS	ADDRESS CITY OF SANDUSKY'S INITIAL COMMENTS OF 1/9/24 MEETING	1
DATE	BY	DESCRIPTION	NO.
REVISIONS			

IMPROVEMENT PLAN FOR MILES HEIBERGER  
1737 TIFFIN AVE., CITY OF SANDUSKY, ERIE COUNTY, OHIO  
EXISTING SITE & DEMOLITION PLAN

CONTRACTORS  
DESIGN ENGINEERING  
CONSULTING ENGINEERS & SURVEYORS  
NORWALK, OHIO

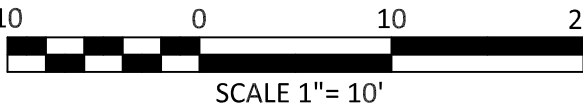
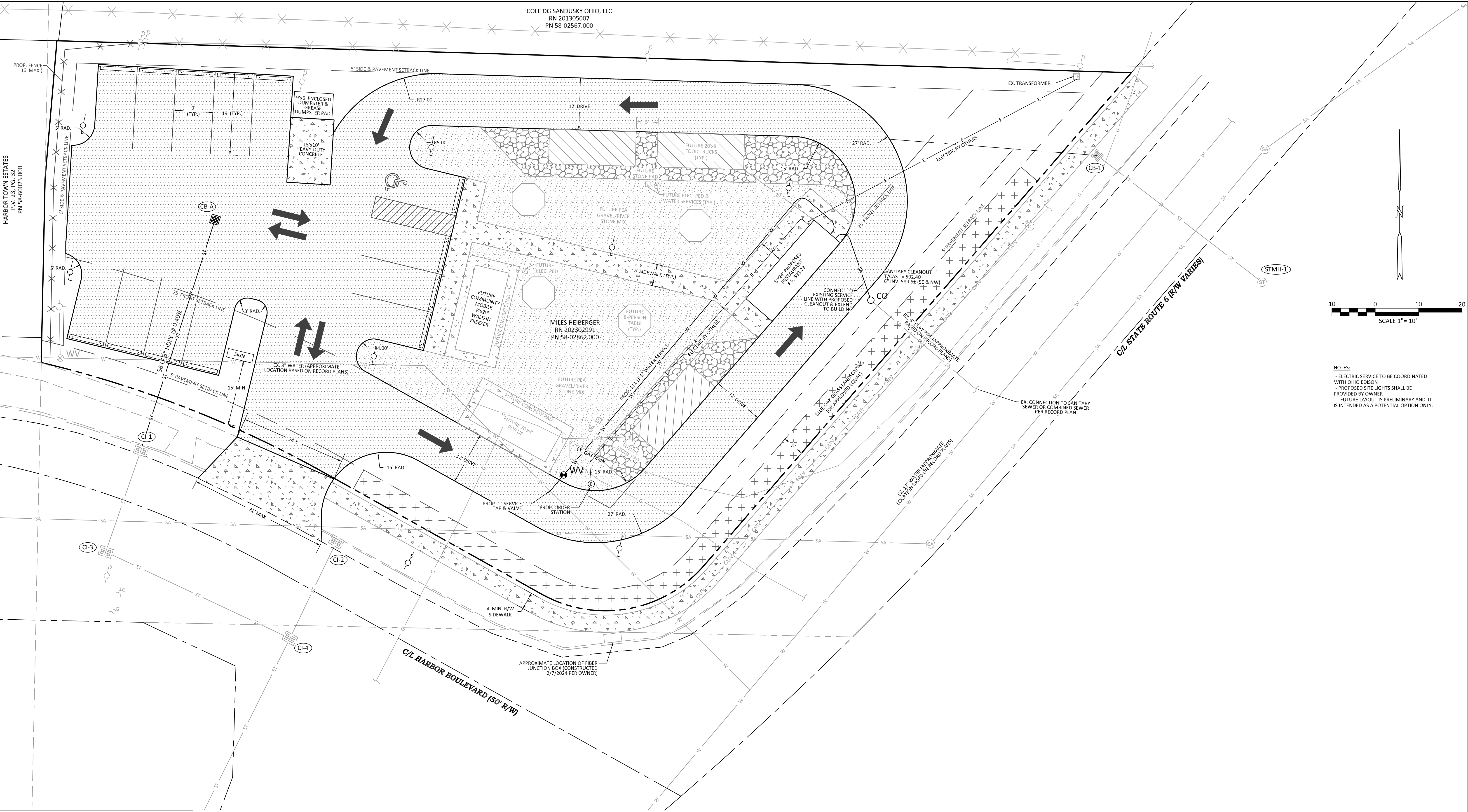
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5

SCALE: 1"=10'

DATE: NOV., 2023  
DR. BY: BLS

CHK'D BY: AEW  
REV'D BY:

PROJECT NO. 23-436



- NOTES:
- ELECTRIC SERVICE TO BE COORDINATED WITH OHIO EDISON
  - PROPOSED SITE LIGHTS SHALL BE PROVIDED BY OWNER
  - FUTURE LAYOUT IS PRELIMINARY AND IT IS INTENDED AS A POTENTIAL OPTION ONLY.

#### PARKING TABLE

Size of Parking Space:	
Each parking space shall be at least nine (9) feet wide and nineteen (19) feet long for right angle parking.	
Number of Spaces Provided:	
Handicap Spaces	01
Regular Spaces	12
Total Spaces	13

#### STORM SEWER TABLE

STRUCTURE	TYPE	CASTING	DIRECTION	PIPE SIZE	PIPE ELEVATION	PIPE TYPE
CI-1	EX. CURB INLET	590.07	SW	12"	587.46	RPP
CI-2	EX. CURB INLET	590.51	N	8"	587.56	PVC
CI-3	EX. CURB INLET	590.18	SW	12"	587.73	RPP
CI-4	EX. CURB INLET	590.18	NE	12"	587.56	RPP
CI-5	EX. CURB INLET	590.49	SE	12"	587.53	RPP
CI-6	EX. CURB INLET	590.49	NE	12"	586.68	RPP
CI-7	EX. CURB INLET	590.49	NW	12"	586.85	RPP
CI-8	EX. CURB INLET	590.49	SW	18"	586.14	RPP
CB-1	EX. CATCH BASIN	591.77	SE	4"	587.20	CPP
CB-2	EX. CATCH BASIN	591.77	SE	10"	586.80	PVC
CB-3	PR. ODOT CB 2-2C	591.00	S	8"	587.78	PVC

#### PROPERTY & PROJECT DETAILS

LOT AREA:	0.49 ACRES
BUILDING COVERAGE:	0.9%
TOTAL FLOOR AREA:	192 SQ. FT.
AREA OF ADDITION:	N/A
BUILDING HEIGHT:	9 FEET

#### HATCH LEGEND

	PROPOSED CONCRETE		FUTURE CONCRETE
	PROPOSED ASPHALT		FUTURE PEA GRAVEL
	PROPOSED LANDSCAPING		FUTURE STONE

1 Proposed plan additions based on initial City comments of 1/9/2024: Dumpster area, extended utility laterals, parking curb stops, western privacy fence, right-of-way sidewalk extension, improved driveway apron, drive-thru landscaping buffer, light pole locations, monument sign, seating area, walk-in freezer, and preliminary future layout.

IMPROVEMENT PLAN FOR MILES HEIBERGER  
1737 TIFFIN AVE., CITY OF SANDUSKY, ERIE COUNTY, OHIO  
PROPOSED SITE & UTILITY PLAN

**CONTRACTORS**  
**DESIGN ENGINEERING**  
CONSULTING ENGINEERS & SURVEYORS  
NORWALK, OHIO

DATE	BY	DESCRIPTION	NO.
02/09/24	BLS	ADDRESS CITY OF SANDUSKY'S INITIAL COMMENTS OF 1/9/24 MEETING	1
REVISIONS			

SCALE: 1"=10'	DATE: NOV., 2023 DR. BY: BLS	CK'D BY: AEW REV'D BY:	PROJECT NO. 23-436
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IMPROVEMENT PLAN FOR MILES HEIBERGER  
1737 TIFFIN AVE., CITY OF SANDUSKY, ERIE COUNTY, OHIO  
PROPOSED GRADING PLAN

SCALE: 1"=10'	DATE: NOV., 2023	CK'D. BY: AEW	PROJECT NO: 23-436
	DR. BY: BLS	REV'D BY:	



