

RESOLUTION NO. 018-24R

A RESOLUTION ADOPTED PURSUANT TO SECTION 1506.11 OF THE OHIO REVISED CODE FINDING AND DETERMINING THAT BASED UPON THE REPRESENTATIONS AND APPLICATION FILED BY JOHN & TERRI WELKENER FOR PROPERTY LOCATED AT 427 CEDAR POINT ROAD, THE USE AND DEVELOPMENT OF THE TERRITORY SO DESCRIBED, A SUBMERGED LANDS LEASE MAY BE ENTERED INTO BY THE STATE'S DIRECTOR OF NATURAL RESOURCES; AND DECLARING THAT THIS RESOLUTION SHALL TAKE IMMEDIATE EFFECT IN ACCORDANCE WITH SECTION 14 OF THE CITY CHARTER.

WHEREAS, John L. and Terri S. Welkener are the upland property owners of land located at 427 Cedar Point Road within the City of Sandusky; and

WHEREAS, the upland property owners have made certain representations and filed an original application and site plan consistent therewith, with the State Director of Natural Resources, a copy of which is attached marked "Exhibit A" and incorporated herein, indicating a desire to use and develop a part of the territory as specified in their application and site plan without impairment of the public's right of navigation, water commerce and fishery; and

WHEREAS, this City Commission determines that based upon the upland property owners' representations, the territory as described in their application and site plan filed by the upland property owners is not necessary or required for the construction, maintenance, or operation, by the City of Sandusky, of breakwaters, piers, docks, wharves, bulkheads, connecting ways, water terminal facilities, and improvements and marginal highways, in aid of navigation and water commerce; and

WHEREAS, this City Commission determines that based upon the upland property owners' representations the land uses specified in the application and site plan filed with the State's Director of Natural Resources comply with the regulations of permissible land use under all waterfront plans adopted by the City of Sandusky; and

WHEREAS, this Resolution should be passed as an emergency measure and in accordance with Section 14 of the City Charter in order to ensure that the administrative review process can continue in a timely manner; and

WHEREAS, in that it is deemed necessary in order to provide for the immediate preservation of the public peace, property, health, and safety of the City of Sandusky, Ohio, and its citizens, and to provide for the efficient daily operation of the Municipal Departments, including the Department of Public Works, of the City of Sandusky, Ohio, the City Commission of the City of Sandusky, Ohio, finds that an emergency exists regarding the aforesaid, and that it is advisable that this **Resolution** be declared an emergency measure which will take immediate effect in accordance with Section 14 of the City Charter upon its adoption; and NOW, THEREFORE,

BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF SANDUSKY, OHIO, THAT:

Section 1. This City Commission finds and determines that based upon the upland property owners' representations as contained in attached "Exhibit A" the

PAGE 2 - RESOLUTION NO. 018-24R

territory as described in their application and site plan is not necessary or required for the construction, maintenance, or operation, by the City of Sandusky of breakwaters, piers, docks, wharves, bulkheads, connecting ways, water terminal facilities, and improvements and marginal highways, in aid of navigation and water commerce.

Section 2. This City Commission finds and determines that based upon the upland property owners' representations contained in attached "Exhibit A" the land uses specified in the application and site plan filed with the State's Director of Natural Resources comply with the regulations of permissible land use under all waterfront plans adopted by the City of Sandusky.

Section 3. If any section, phrase, sentence, or portion of this Resolution is for any reason held invalid or unconstitutional by any Court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions thereof.

Section 4. This City Commission finds and determines that all formal actions of this City Commission concerning and relating to the passage of this Resolution were taken in an open meeting of this City Commission and that all deliberations of this City Commission and of any of its committees that resulted in those formal actions were in meetings open to the public in compliance with the law.

Section 5. That for the reasons set forth in the preamble hereto, this Resolution is hereby declared to be an emergency measure which shall take immediate effect in accordance with Section 14 of the City Charter after its adoption and due authentication by the President and the Clerk of the City Commission of the City of Sandusky, Ohio.



RICHARD R. BRADY
PRESIDENT OF THE CITY COMMISSION



ATTEST:

CATHLEEN A. MYERS
CLERK OF THE CITY COMMISSION

Passed: April 9, 2024

COASTAL PERMITS AND LEASE APPLICATION

Please consult the instructions prior to completing this form. Please type or print clearly using blue or black ink.

GENERAL INFORMATION

1. Property owner name: John L. Welkener, Jr. and Terri S. Welkener	
2. Mailing address: 427 Cedar Point Rd. Sandusky, OH 44870	3. Home telephone number: 440-225-3784
	4. Alternate telephone number: 216-213-6285
	5. Email address: twelkener@gmail.com
6. Authorized agent/representative name: N/A	
7. Mailing address:	8. Telephone number:
	9. Fax Number:
	10. Email address

11. Street address: 427 Cedar Point Rd., Sandusky, OH 44870	
12. Permanent parcel number(s): 55-00122.000	
13. City or township: Sandusky	14. County: Erie
15. Site location description (if necessary):	16. Submittals (check if enclosed): <input checked="" type="checkbox"/> Location map

17. Name of adjoining shoreline property owner(s)	Site address/city/state/zip code	Mailing address/city/state/zip code
Robert F. & Catherine Long	429 Cedar Point Rd.	26070 Westwood Westlake, OH 44145
Jeffrey & Valerie A. Downs	423 Cedar Point Rd.	423 Cedar Point Rd. Sandusky, OH 44870
Cedar Point Park LLC	Roadway	PO Box 543185 Dallas, TX 75354

18. Brief description of the proposed structure or project (attach additional sheets if necessary): Install EZ-Dock dock system with 39"x10' gangway originating from current location of stairs shown on the Erie County Auditor's map (copy attached). This gangway will lead to a 10'x10' floating docket with attached kayak launcher. We have not yet received a start date yet for the project, but it is expected to be summer of 2024, with the actual project taking less than a week.	
19. Anticipated start date: June 15, 2024	20. Anticipated finish date: September 15, 2024

21. To apply for an authorization, check the box below and complete the application on the reverse page:		
<input type="checkbox"/> Shore Structure Permit	<input checked="" type="checkbox"/> Submerged Lands Lease	<input type="checkbox"/> Coastal Erosion Area Permit
<input type="checkbox"/> Submerged Lands Permit	<input type="checkbox"/> Submerged Lands Lease Modification	<input checked="" type="checkbox"/> Consistency Statement

SHORE STRUCTURE PERMIT APPLICATION**\$1506.40 ORC**

1. Professional Engineer:		2. Ohio registration number:
3. Mailing address:	4. Phone number:	7. Submittals (check if enclosed) <input type="checkbox"/> Construction drawings (by professional engineer) <input type="checkbox"/> Design information
	5. Fax number:	
	6. Email address:	

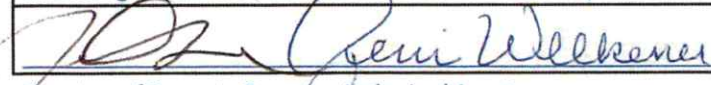
SUBMERGED LANDS LEASE APPLICATION**\$1506.11 ORC**

1. Total Area of Submerged Lands to be Occupied: approximately 586 sq. ft.	
2. Upland deed recording information [Deed book]	[Deed page] RN 202303130 (3 pages)
3. Local Authority Issuing Resolution:	Date issued:
4. Was any Portion of the Structure Erected in Lake Erie Prior to October 13, 1955?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
5. Brief Explanation of the Purpose of the Structure or Project (<i>attach additional sheets if necessary</i>): Dock for access to launch kayaks and other water sports equipment (drop-off is too high to safely enter Sandusky Bay).	6. Submittals (check if enclosed): <input checked="" type="checkbox"/> Construction drawings <input checked="" type="checkbox"/> Copy of title deed <input checked="" type="checkbox"/> Metes & bounds description and plat <input type="checkbox"/> Local resolution or ordinance <input type="checkbox"/> Legal documentation of signature authority

COASTAL EROSION AREA PERMIT APPLICATION**\$1506.07 ORC**

1. Authorization Type:	<input type="checkbox"/> Existing <input checked="" type="checkbox"/> New Measure	Date Built (if existing):
2. Upland deed recording information [Deed book]	[Deed page]	
3. Construction start date for the building or addition:		
4. Brief description of the building or addition (<i>attach additional sheets if necessary</i>):	5. Submittals (check if enclosed): <input type="checkbox"/> Construction drawings <input type="checkbox"/> Permanent structure drawings <input type="checkbox"/> Copy of title deed <input type="checkbox"/> Construction schedule <input type="checkbox"/> Design information	

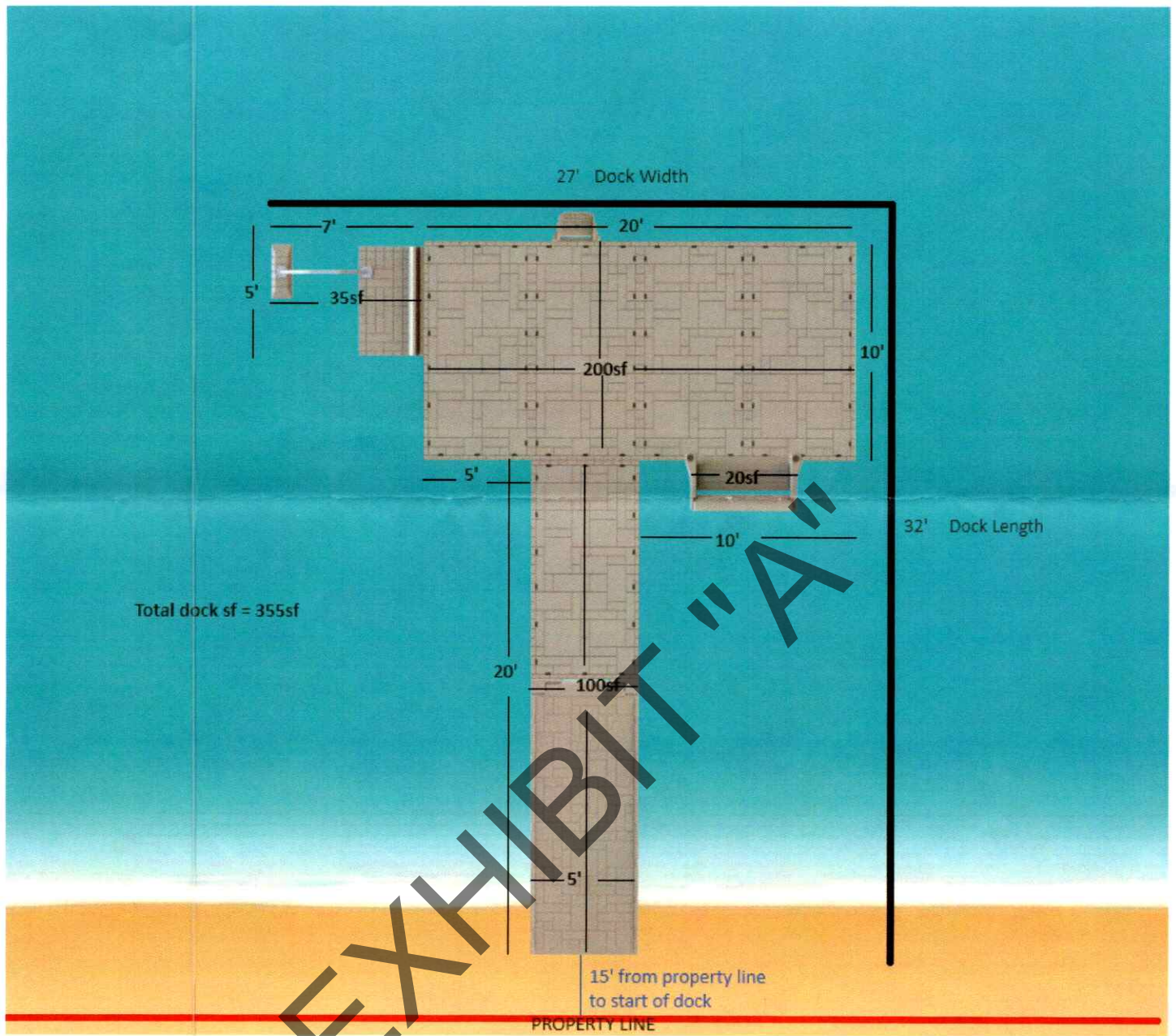
SIGNATURE AND CONSISTENCY STATEMENT**\$1506.03 ORC**

I certify that the proposed activity identified in this application shall comply with Ohio's approved Coastal Management Program and will be conducted in a manner consistent with such program (15 CFR 930.57 and ORC 1506.03). I do additionally certify that I am familiar with the information contained in this application and, to the best of my knowledge and belief, such information is true, complete and accurate.	
Signature of Property Owner or Authorized Agent 	Date 2-3-2024

Application page 2 of 2

EMAIL TO (preferred): coastal.regulatory@dnr.ohio.gov

or MAIL TO: Ohio DNR Office of Coastal Management, 2514 Cleveland Road East, Huron, Ohio 44839

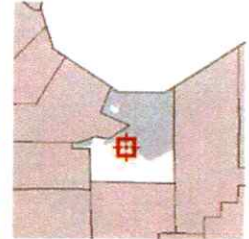




Richard H. Jeffrey
ERIE COUNTY AUDITOR | ERIE COUNTY, OHIO



Overview



Legend

- Parcels
- Parcel Dimensions
- Parcel Dimensions (Original)
- Lot Lines
- Lot Line Labels
- Streets
- Addresses
 - 0
 - 1
 - <all other values>

Parcel ID	55-00122.000	Acreage	0.86	Last 2 Sales	Date	Price	Vol/Page
Owner	WELKENER TERRIS & JOHN LENARD WELKENER JR (Owner Address)				5/4/2023	\$688000	202303130
	WELKENER TERRIS & JOHN LENARD WELKENER JR (Tax Payer Address)				5/10/2017	\$310000	201704109
Property Address	427 CEDAR POINT RD SANDUSKY						

Date created: 1/25/2024

Last Data Uploaded: 1/25/2024 7:28:39 AM

Developed by Schneider
GEOSPATIAL

Block 48

423 CEDAR POINT ROAD
JEFFREY J. & VALERIE A.
DOWNS
RN 201303525
55-00306.000

Block 49

429 CEDAR POINT ROAD
ROBERT F. & CATHERINE LONG
D.V. 490, PG. 507
55-00027.000

CEDAR POINT ROAD
(50' RIGHT-OF-WAY)

GARAGE
ONE STORY - FRAME
VINYL SIDING
ASPHALT SHINGLE ROOF

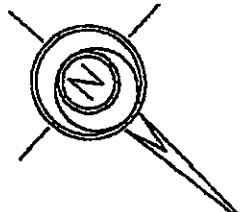
HOUSE
ONE STORY - FRAME
ALUMINUM & STONE SIDING
ASPHALT SHINGLE ROOF

CLEARCUTL. MARK

SPRINKLED PIT

LOW WATER
MARK (DEED)

SCALE: 1" = 30'



5/8" IR SET

1" CR PND.
(6.37' N)

100'

N 41°51'10" E 377.64'

S 41°51'10" W 293.75'

75.00'

N 48°08'50" W 85.00'

75.00'

150.00'

5/8" IR SET

1" SP PND.

1/2" IR PND.

BLOCK 48
BLOCK 49

BLOCK 49
BLOCK 50

EDGE OF WATER
4/12/17

S 41°51'10" W 100.25'±

75.00'
N 48°08'50" W 85.00'

LAKE ERIE

JOHN & TERRI WELKENER
427 CEDAR POINT RD.
SANDUSKY, OH 44870
(440) 225-3784
twelkener@gmail.com

ENGINEERING

MAR 15 2024

CITY OF SANDUSKY

February 13, 2024

To Whom It May Concern:

We have applied to both the U.S. Army Corps of Engineers and the Ohio Department of Natural Resources to place a structure (drawing enclosed) on the submerged lands of Lake Erie adjacent to our property (PPN: 55-00122.000).

One of the necessary components for obtaining a lease from the State of Ohio is an ordinance or resolution from the local authority stating that the area of submerged lands in question is not needed by the local authority for future improvements (i.e., breakwaters, harbors, marinas, piers, etc.) and that the land uses in my application comply with regulation of permissible land use of the local authority.

Please consider and act on my request for this resolution or ordinance at your next possible meeting. I greatly appreciate your assistance, and have provided my address, email and phone number above for your convenience.

Thank you,



John & Terri Welkener

Enclosures